



TOWN OF NORTH HAVEN
MEMORIAL TOWN HALL / 18 CHURCH STREET
NORTH HAVEN, CONNECTICUT 06473



REPLY TO:

Tel. (203) 239-5321
Fax (203) 234-2130

**PLANNING AND ZONING COMMENTS
FOR 1 JUNE 2020**

#P20-08

**158 WASHINGTON AVENUE
(MAP 73, LOT 33)**

CB-20

**158 WASHINGTON, LLC, APPLICANT & OWNER
SITE PLAN APPLICATION**

Review Comments:

1. This application is intended to permit the construction of a new, approximately 2,000 square feet, single story bank. The existing structure on the property is proposed to be demolished in its entirety.

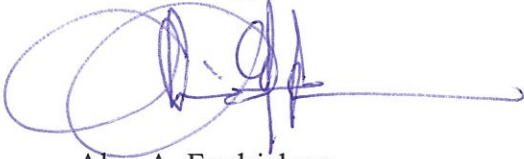
Recommended Conditions of Approval, if granted:

1. Submit revised plans which include:
 - * a. A note indicating “#P20-08, Site Plan Approval”.
 - * b. A note indicating there will be no outdoor storage on the site.
 - * c. Indication that all lawn and landscaped areas will be serviced by an automatic sprinkler system.
 - * d. Actual proposed building height in zoning data table.
 - * e. Size and location of any proposed mechanical and/or electrical equipment.
 - * f. Demolition note indicating that the existing building will be removed in its entirety, including all existing footings and foundations.
 - * g. Revised drawing index to eliminate drawings LL501 & LP501 and to revise drawing titles for drawings LL101 & LP101.
 - * h. Revised side yard setback to 15’.
 - * i. A note indicating all variances previously granted by the ZBA.
 - * j. Revised lighting layout to eliminate light trespass exceeding (1) footcandle.
 - * k. One (1) minimum 2” caliper deciduous tree in all islands at ends of rows of parking (5 trees required).
2. Any approval is contingent on the approval of the State of Connecticut D.O.T. for traffic and drainage conditions.
3. Soil and erosion controls must be inspected by the Zoning Enforcement Officer before work may commence.

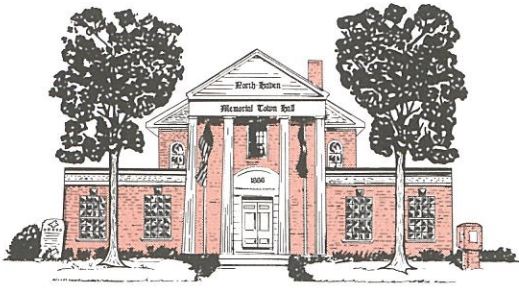
4. The property owner, and/or his/her agents, must maintain (repair/replace) when necessary, the siltation control until all development activity is completed and all disturbed areas are permanently stabilized.
5. Any proposed signage or fencing will require the filing of applications with the Zoning Enforcement Officer.
6. Submit an as-built plan prior to bond release.
7. Post bond, as required.

*** Indicates that these items have been resolved.**

Submitted by,

A handwritten signature in blue ink, appearing to read 'Alan A. Fredricksen', with a long horizontal flourish extending to the right.

Alan A. Fredricksen
Land Use Administrator
AAF/lc
#P20-08



TOWN OF NORTH HAVEN
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REPLY TO: Engineering

Tel. (203) 239-5321
Fax (203) 234-2130

PLANNING AND ZONING

Date of Meeting: 06/15/2020

Dev: Site Plan
Loc: 158 Washington Avenue
File: P20-08

Comments (Updates are in Bold):

1. We are concerned over proper traffic circulation at this site. Since the drive through by-pass lane is used for all traffic entering from Washington Avenue, it should be widened to 12' and the drive through lane widened to 10' minimum. More signage and possibly additional pavement markings are needed to properly inform drivers of one-way circulation around the site. **Revisions to the lane width, markings and signings have been made and are acceptable.**
2. The driveway entrance off of Washington Avenue is problematic due to its proximity to the Blakeslee Avenue intersection. We would prefer to see this entrance eliminated in its entirety, or narrowed to allow entrance only. Approvals will be needed from CT DOT for the proposed driveway curb cut, and the connection of the proposed site drainage system. **The entrance is now designated with a right turn only sign for exiting vehicles. As this is a State road, we will defer to CT DOT on the final configuration of the intersection.**
3. The proposed stormwater management systems rely on infiltration in order to properly function. Please provide soils testing data to confirm that the soils are suitable for infiltration. **A note has been added indicating that testing will be performed during construction. Testing should be performed very early in the construction stage in case soils issues are discovered and alternate plans must be explored.**
4. Roof leader laterals must be shown. **Roof leader laterals have now been provided**
5. The sidewalk crossing at the Blakeslee Avenue entrance is awkward. If the existing utility pole cannot be relocation, the sidewalk and ramp on the east side should wrap around the curb radius (as the west side ramp is proposed to do), in order to allow pedestrians a straight direct route across the intersection. If the sidewalk does not continue through the driveway entrance, cross walk markings should be provided. **The cross-walk layout has been revised.**
6. Tress are required at the end of all parking rows. **Tree have now been added**
7. Additional lighting should be provided at the handicap parking spaces and the southeast corner of the rear parking lot. **Slight revisions have been made to the lighting plan to improve light levels at the handicap parking spaces. Lighting levels at the southeast parking area is still a bit low, but should be sufficient.**
8. Based on the inverts provided, the slope on the sanitary lateral is incorrect. Due to the depth of the sanitary sewer, a sewer chimney is preferable to a direct saddle connection. **Engineering has worked closely with the applicant on possible reuse of the existing sanitary lateral. CCTV inspections have been provided, and inspection and possible repair of a single questionable pipe joint has been requested.**

[] Above comments are relatively minor in nature and can be addressed subsequent to an approval.

BOND RECOMMENDATION: \$7,500

DATE REVIEWED: 06/11/2020

TOWN ENGINEER: J. Andrew Bevilacqua, P.E.

[] Above comments (*) should be addressed prior to deliberations