

SURVEY LEGEND

--- (dashed line)	Street Line
— (solid line)	Property Line
- - - - (long dashed line)	Easement Line
— (solid line)	Curb
— (solid line)	Wood/Vinyl Fence
— (solid line)	Wire Fence
— (solid line)	Stone Wall
— (solid line)	Elevation Contour
x xxx	Spot Elevation
- - - - (dotted line)	Watercourse Line
WF XX	Inland Wetland Boundary
WF XX	Wetland Flag (Number)
— (solid line)	Vegetation/Tree Line
— (solid line)	Deciduous Tree
— (solid line)	Coniferous Tree
— (solid line)	Catch Basin
— (solid line)	Manhole
— (solid line)	Utility Pole (With Guy)
— (solid line)	Water Valve/Meter Pit
— (solid line)	Over Head Wire
— (solid line)	Water Main/Service
— (solid line)	Sanitary Sewer
— (solid line)	Gas Line
— (solid line)	Stormwater Pipe <12" Diameter
— (solid line)	Stormwater Pipe ≥12" Diameter
XX/XX	Assessor's Map/Lot Number
— (solid line)	Lamp Post
— (solid line)	Mailbox

BENCHMARK:
MAG. NAIL IN POLE
ELEV.=31.00

BENCHMARK:
RR SPIKE
ELEV.=30.83

- GENERAL NOTES:**
- LOT IS WITHIN A IL-80 ZONE.
 - LOT AREA = 120,180 SF OR 2.759 ACRES.
 - NORTH ARROW AND BEARINGS ARE BASED ON REFERENCE MAP 4A.
 - REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
 - "PROPERTY & TOPOGRAPHIC SURVEY - EXISTING CONDITIONS - PROPERTY LOCATED AT #2 GRASSO AVENUE, NORTH HAVEN, CONNECTICUT" - PREPARED FOR EDC PROPERTIES, LLC - SCALE: 1"=30' - DATED: 9/22/2020 AND PREPARED BY CRISCUOLO ENGINEERING, LLC
 - PROPERTY LINE, TOPOGRAPHIC AND PLANIMETRIC INFORMATION DEPICTED HEREON WAS REPRODUCED FROM THE REFERENCE MAP NOTED. ALL EXISTING CONDITIONS AND FEATURES ARE NOT NECESSARILY INDICATED ON THE DRAWING.
 - ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - UTILITY LOCATIONS DEPICTED ON THE DRAWINGS HAVE BEEN COMPILED FROM UTILITY COMPANY MAPPING AND FIELD LOCATIONS OF ABOVE GROUND FACILITIES AND UTILITY COMPANY MARKOUTS. ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND FOR THE MAINTENANCE AND PROTECTION THEREOF. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) PRIOR TO THE START OF WORK TO ESTABLISH AND HAVE MARKED ON THE GROUND THE LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT A UTILITY IS LOCATED OR IS UNCOVERED DURING THE PROGRESS OF THE WORK THAT WAS NOT INDICATED ON OR IS NOT IN ACCORDANCE WITH THE DRAWINGS.
 - THE CONTRACTOR SHALL ADHERE TO THE REGULATIONS AND STANDARDS OF THE TOWN OF NORTH HAVEN, ALL APPLICABLE STATE AND FEDERAL REGULATORY AUTHORITIES, THE PROVISIONS OF THE CONTRACT DOCUMENTS, AND ANY APPROVALS AND/OR PERMITS ATTACHED THERETO.
 - UNLESS OTHERWISE NOTED, ALL WORK AND MATERIALS SHALL CONFORM TO THE "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM 817", DATED 2016, AND ALL SUPPLEMENTS THERETO.
 - THE INSTALLATION OF ALL PUBLIC UTILITIES SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE GRASSO AVENUE RIGHT OF WAY WITH THE RESPECTIVE UTILITY COMPANIES AND THE CONNECTICUT DEPARTMENT OF TRANSPORTATION.

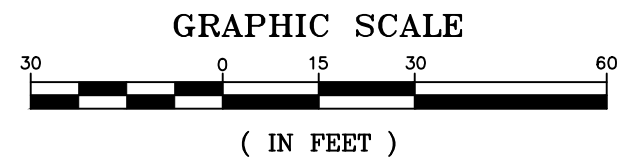
- GENERAL NOTES CONTINUED:**
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONTRACT DOCUMENTS AND THE SITE OF THE WORK AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND FEATURES. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS AND FEATURES IN THE FIELD PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES WITHIN THE PROJECT SITE PROPERTY LINES AND/OR THE CONTRACT LIMITS SHOWN ON THE DRAWINGS.
 - EXISTING CONDITIONS AND FEATURES SHALL BE MAINTAINED WHERE NEW CONSTRUCTION IS NOT SHOWN ON THE DRAWINGS UNLESS OTHERWISE DIRECTED BY THE ENGINEER. EXISTING CONDITIONS AND FEATURES DISTURBED AS A RESULT OF THE CONTRACTOR'S OPERATIONS OR ACTIVITIES WHERE NEW CONSTRUCTION IS NOT SHOWN SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS OTHERWISE SPECIFIED OR DIRECTED BY THE ENGINEER.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE DRAWINGS OR AS DIRECTED. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
 - SHOULD DEWATERING OF EXCAVATIONS, STRUCTURES, PIPELINES, ETC. BE REQUIRED, THE DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED TO A SETTLING AND/OR FILTER FACILITY CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND IN A LOCATION APPROVED BY THE ENGINEER.
 - IN THE EVENT OF A CONTAMINANT SPILL THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OIL AND CHEMICAL SPILL DEPARTMENT (860-424-3338) AND THE TOWN OF NORTH HAVEN.
 - DRAINAGE IMPROVEMENTS SHALL BE CONDUCTED DURING A DRY PERIOD OF TIME, ALL ACTIVITY SHALL BE SUSPENDED FOR 48 HOURS FOR STORM EVENTS OR 1" OF RAIN OR MORE WITHIN A 24 HOUR PERIOD.
 - JOB SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE ENGINEER IS FOR CONFORMANCE WITH THE DESIGN ASPECTS ONLY, NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOB SITE SAFETY. LACK OF COMMENT ON THE PART OF THE ENGINEER WITH REGARD TO THE JOB SITE IS NOT TO BE INTERPRETED AS APPROVAL OF JOB SITE SAFETY ASPECTS.

ZONING STANDARDS NORTH HAVEN

ZONING DATA TABLE	ZONE =IL-80	EXISTING	PROPOSED
MINIMUM LOT AREA, SQ. FT.	80,000 SF	120,180 SF	N/C
MINIMUM LOT WIDTH, FT.	200 FT	405± FT	N/C
MINIMUM FRONT YARD, FT.	75 FT	63.9± FT	N/C
MINIMUM SIDE YARDS, EACH, FT.	25 FT	28.1± FT	N/C
MINIMUM REAR YARD, FT.	75 FT	103.5± FT	N/C
MAXIMUM BUILDING COVERAGE, %	35 %	6.5%	N/C
MAXIMUM HEIGHT, FT.	60 FT	17.5± FT	24.0± FT

PARKING CALCULATIONS:

OFFICE = 1/250 SF	WAREHOUSE STORAGE = 1/1500 SF
EXISTING: 1,010 SF	PROPOSED: 976 SF
PARKING REQUIRED: 1,986 SF @ 1/250 SF = 8 SPACES	PARKING EXISTING: 11 SPACES
WAREHOUSE: EXISTING: 6,000 SF	PARKING REQUIRED: 6,000 SF @ 1/1500 SF = 4 SPACES
	PARKING EXISTING: 9 SPACES



CRISCUOLO ENGINEERING LLC
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LAND SURVEYORS

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DATE: 10/5/2020
SCALE: 1"=30'
CHECKED: J.M.P.
JOB: 2020.069

JOB TITLE: PROPERTY LOCATED AT #2 GRASSO AVENUE NORTH HAVEN, CONNECTICUT
PREPARED FOR: EDC PROPERTIES, LLC
DRAWING TITLE: PROPOSED SITE PLAN
DRAWING NO.: 1 OF 1
ASSESSOR'S MAP 36, LOT 37
CADD FILE: 2020-069JOB

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