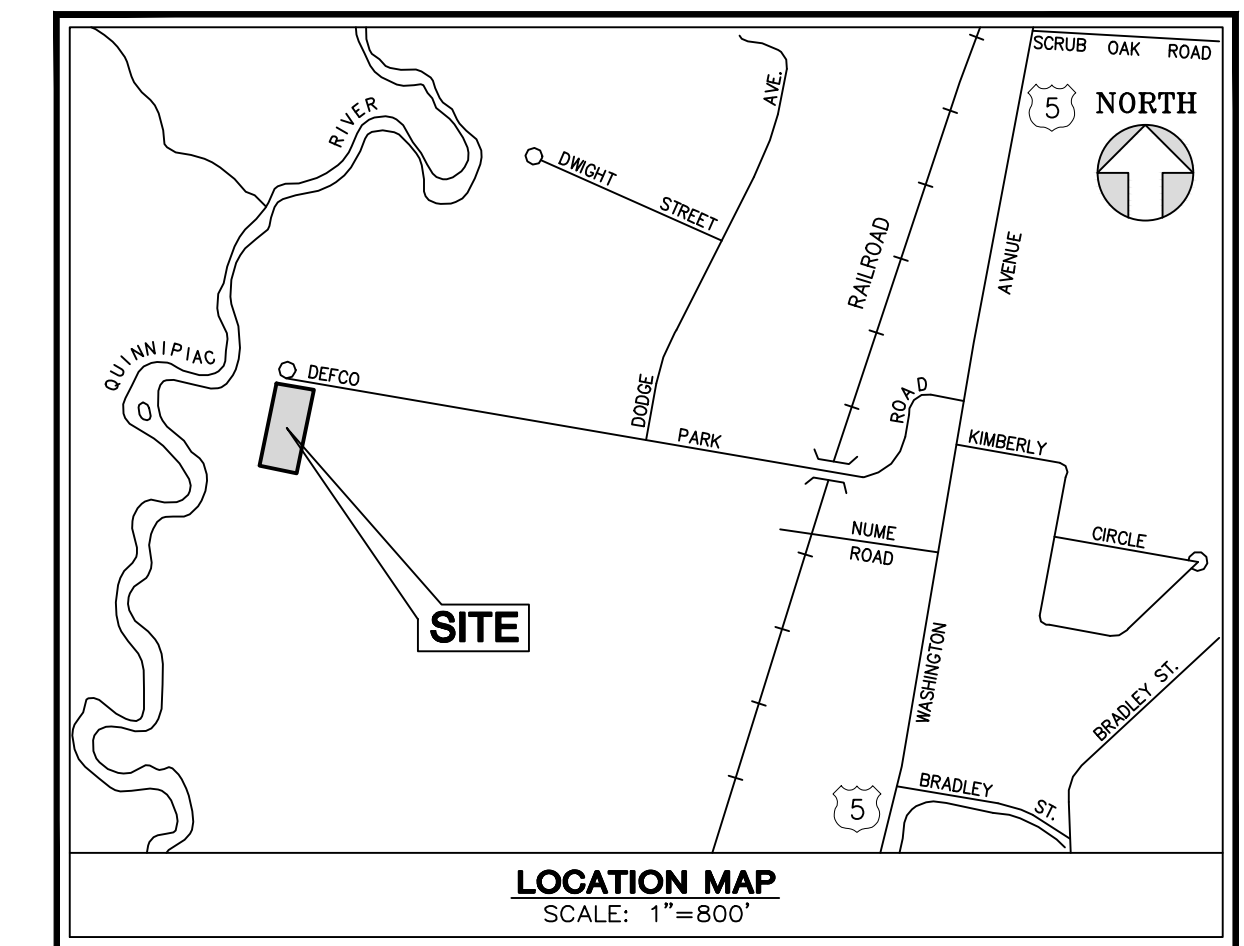
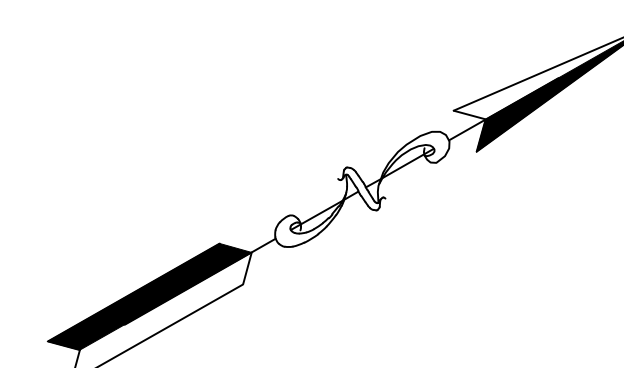


GENERAL NOTES:

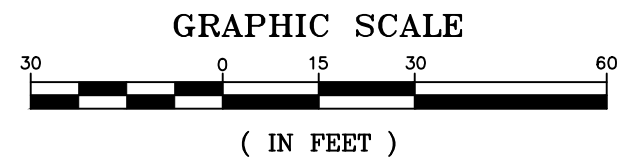
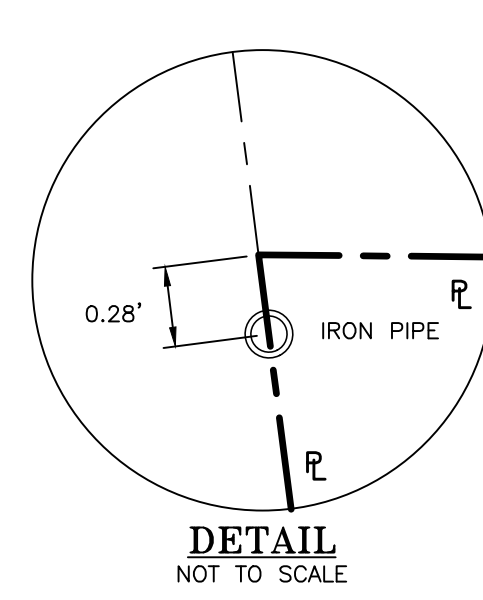
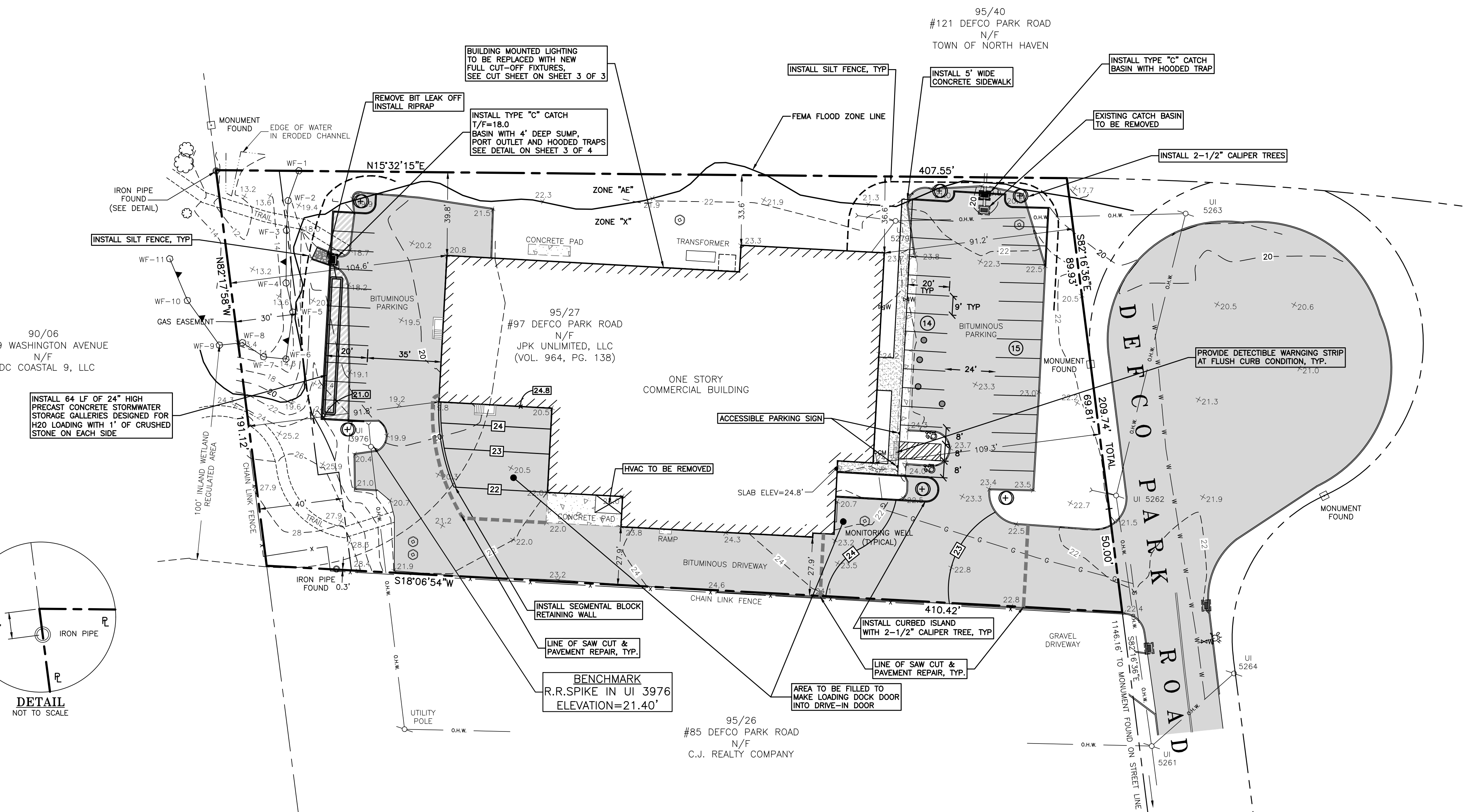
- LOT IS WITHIN A IL-80 ZONE.
- LOT AREA = 80,916 SF OR 1.858 ACRES.
- NORTH ARROW AND BEARINGS ARE BASED ON REFERENCE MAP 4A.
- REFERENCE IS HEREBY MADE TO THE FOLLOWING MAPS:
 - "PROPERTY & TOPOGRAPHIC SURVEY - EXISTING CONDITIONS - PROPERTY LOCATED AT #97 DEFCO PARK, NORTH HAVEN, CONNECTICUT" - PREPARED FOR PRO-KLEAN - SCALE: 1"=30' - DATED: 8/12/2020 AND PREPARED BY CRISCUOLO ENGINEERING, LLC
- PROPERTY LINE, TOPOGRAPHIC AND PLANIMETRIC INFORMATION DEPICTED HEREON WAS REPRODUCED FROM THE REFERENCE MAP NOTED. ALL EXISTING CONDITIONS AND FEATURES ARE NOT NECESSARILY INDICATED ON THE DRAWING.
- ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- UTILITY LOCATIONS DEPICTED ON THE DRAWINGS HAVE BEEN COMPILED FROM UTILITY COMPANY MAPPING AND FIELD LOCATIONS OF ABOVE GROUND FACILITIES AND UTILITY COMPANY MARKOUTS. ALL LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY AND ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND FOR THE MAINTENANCE AND PROTECTION THEREOF. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (1-800-922-4455) PRIOR TO THE START OF WORK TO ESTABLISH AND HAVE MARKED ON THE GROUND THE LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT A UTILITY IS LOCATED OR IS UNCOVERED DURING THE PROGRESS OF THE WORK THAT WAS NOT INDICATED ON OR IS NOT IN ACCORDANCE WITH THE DRAWINGS.
- THE CONTRACTOR SHALL ADHERE TO THE REGULATIONS AND STANDARDS OF THE TOWN OF NORTH HAVEN, ALL APPLICABLE STATE AND FEDERAL REGULATORY AUTHORITIES, THE PROVISIONS OF THE CONTRACT DOCUMENTS, AND ANY APPROVALS AND/OR PERMITS ATTACHED THERETO.
- UNLESS OTHERWISE NOTED, ALL WORK AND MATERIALS SHALL CONFORM TO THE "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM 817", DATED 2016, AND ALL SUPPLEMENTS THERETO.
- THE INSTALLATION OF ALL PUBLIC UTILITIES SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE DEFCO PARK RIGHT OF WAY WITH THE RESPECTIVE UTILITY COMPANIES AND THE CONNECTICUT DEPARTMENT OF TRANSPORTATION.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONTRACT DOCUMENTS AND THE SITE OF THE WORK AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND FEATURES. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS AND FEATURES IN THE FIELD PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES WITHIN THE PROJECT SITE PROPERTY LINES AND/OR THE CONTRACT LIMITS SHOWN ON THE DRAWINGS.

GENERAL NOTES CONTINUED:

- EXISTING CONDITIONS AND FEATURES SHALL BE MAINTAINED WHERE NEW CONSTRUCTION IS NOT SHOWN ON THE DRAWINGS UNLESS OTHERWISE DIRECTED BY THE ENGINEER. EXISTING CONDITIONS AND FEATURES DISTURBED AS A RESULT OF THE CONTRACTOR'S OPERATIONS OR ACTIVITIES WHERE NEW CONSTRUCTION IS NOT SHOWN SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS OTHERWISE SPECIFIED OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE DRAWINGS OR AS DIRECTED. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- SHOULD DEWATERING OF EXCAVATIONS, STRUCTURES, PIPELINES, ETC. BE REQUIRED, THE DISCHARGE FROM DEWATERING OPERATIONS SHALL BE DIRECTED TO A SETTLING AND/OR FILTER FACILITY CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND IN A LOCATION APPROVED BY THE ENGINEER.
- IN THE EVENT OF A CONTAMINANT SPILL THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OIL AND CHEMICAL SPILL DEPARTMENT (860-424-3338) AND THE TOWN OF NORTH HAVEN.
- DRAINAGE IMPROVEMENTS SHALL BE CONDUCTED DURING A DRY PERIOD OF TIME, ALL ACTIVITY SHALL BE SUSPENDED FOR 48 HOURS FOR STORM EVENTS OR 1" OF RAIN OR MORE WITHIN A 24 HOUR PERIOD.
- ALL PARKING SPACES SHALL BE LINE STRIPED.
- JOB SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW OF THE CONSTRUCTION BY THE ENGINEER IS FOR CONFORMANCE WITH THE DESIGN ASPECTS ONLY, NOT TO REVIEW THE CONTRACTOR'S PROVISIONS FOR JOB SITE SAFETY. LACK OF COMMENT ON THE PART OF THE ENGINEER WITH REGARD TO THE JOB SITE IS NOT TO BE INTERPRETED AS APPROVAL OF JOB SITE SAFETY ASPECTS.
- REMOVAL OF PAVEMENT MARKINGS ALONG STATE ROADWAYS WILL BE COMPLETED BY A NON-DESTRUCTIVE METHOD IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 817-SECTION 12.11 AS REVISED.
- NEW PAVEMENT MARKINGS ARE TO BE PAINTED WITH EPOXY RESIN PAINT IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM 817-SECTION 12.09 AS REVISED.
- ALL SIGNS AND PAVEMENT MARKINGS INSTALLED ALONG THE STATE ROAD MUST CONFORM WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," THE LATEST STATE OF CONNECTICUT CATALOG OF SIGNS AND STANDARD AS REVISED.
- ANY DAMAGE TO THE EXISTING CURB, SIDEWALK OR ANY OTHER HIGHWAY APPURTENANCES DURING THE DEVELOPMENT OF THE PERMITTED SITE WILL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE DISTRICT 3 PERMIT SECTION AT NO COST TO THE STATE.
- ALL WORK WITHIN THE STATE RIGHT OF WAY WILL COMPLY WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM 817 WITH THE LATEST SPECIAL PROVISIONS AND TYPICAL STATE STANDARD DETAILS.
- SOIL AND EROSION CONTROLS MUST BE INSPECTED BY THE ZONING ENFORCEMENT OFFICER PRIOR TO THE START OF CONSTRUCTION.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE) WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.



EXISTING		LEGEND		PROPOSED	
	Street Line		Property Line		Tie Line
	Easement Line		Curb		Wood Fence
	Wire Fence		Stone Wall		Wire Fence
	Elevation Contour		Spot Elevation		Stone Wall
	Inland Wetland Boundary		Wetland Flag (Number)		Elevation Contour
	Vegetation Line		Deciduous Tree		Spot Elevation
	Catch Basin		Coniferous Tree		Wetland Flag (Number)
	Manhole		Catch Basin		Vegetation Line
	Utility Pole (With Guy)		Manhole		Inland Wetland Boundary
	Water Valve/Meter Pit		Utility Pole (With Guy)		Wetland Flag (Number)
	Over Head Wire		Water Valve/Meter Pit		Vegetation Line
	Water Main/Service		Over Head Wire		Deciduous Tree
	Sanitary Lateral		Water Main/Service		Coniferous Tree
	Sanitary Sewer		Sanitary Lateral		Catch Basin
	Gas Line		Sanitary Sewer		Manhole
	Roof Drain		Gas Line		Utility Pole (With Guy)
	Footing Drain		Roof Drain		Water Valve/Meter Pit
	Stormwater Pipe <12" Diameter		Footing Drain		Over Head Wire
	Stormwater Pipe >12" Diameter		Stormwater Pipe <12" Diameter		Water Main/Service
	Grade To Drain		Stormwater Pipe >12" Diameter		Sanitary Lateral
	Assessor's Map/Block/Lot Number		Grade To Drain		Sanitary Sewer
	Deep Test Pit		Assessor's Map/Block/Lot Number		Gas Line
	Percolation Test		Deep Test Pit		Roof Drain
			Percolation Test		Footing Drain
					Stormwater Pipe <12" Diameter
					Stormwater Pipe >12" Diameter
					Grade To Drain
					Assessor's Map/Block/Lot Number
					Deep Test Pit
					Percolation Test



CRISCUOLO ENGINEERING LLC CONSULTING ENGINEERS LAND SURVEYORS 420 East Main Street Building 1 - Suite 9 Branford, CT 06405 TEL: 203-481-0807 FAX: 203-488-6729	DATE: 2/19/2021 SCALE: 1"=30' DRAWN: J.T.G. CHECKED: J.M.P. JOB: 2020-051	JOB TITLE: PROPERTY LOCATED AT #97 DEFCO PARK ROAD NORTH HAVEN, CONNECTICUT PREPARED FOR: PRO-KLEAN DRAWING TITLE: PROPOSED SITE PLAN DRAWING NO.: 2 OF 4 CADD FILE: 2020-051P08
	REV. DATE: 4/27/2021 DESCRIPTION: WETLANDS ADDED	ASSESSOR'S MAP 95, LOT 27

2/20/2021 09:45:10 AM D:\2020\051P08.dwg, 5/12/2021 12:15:30 PM