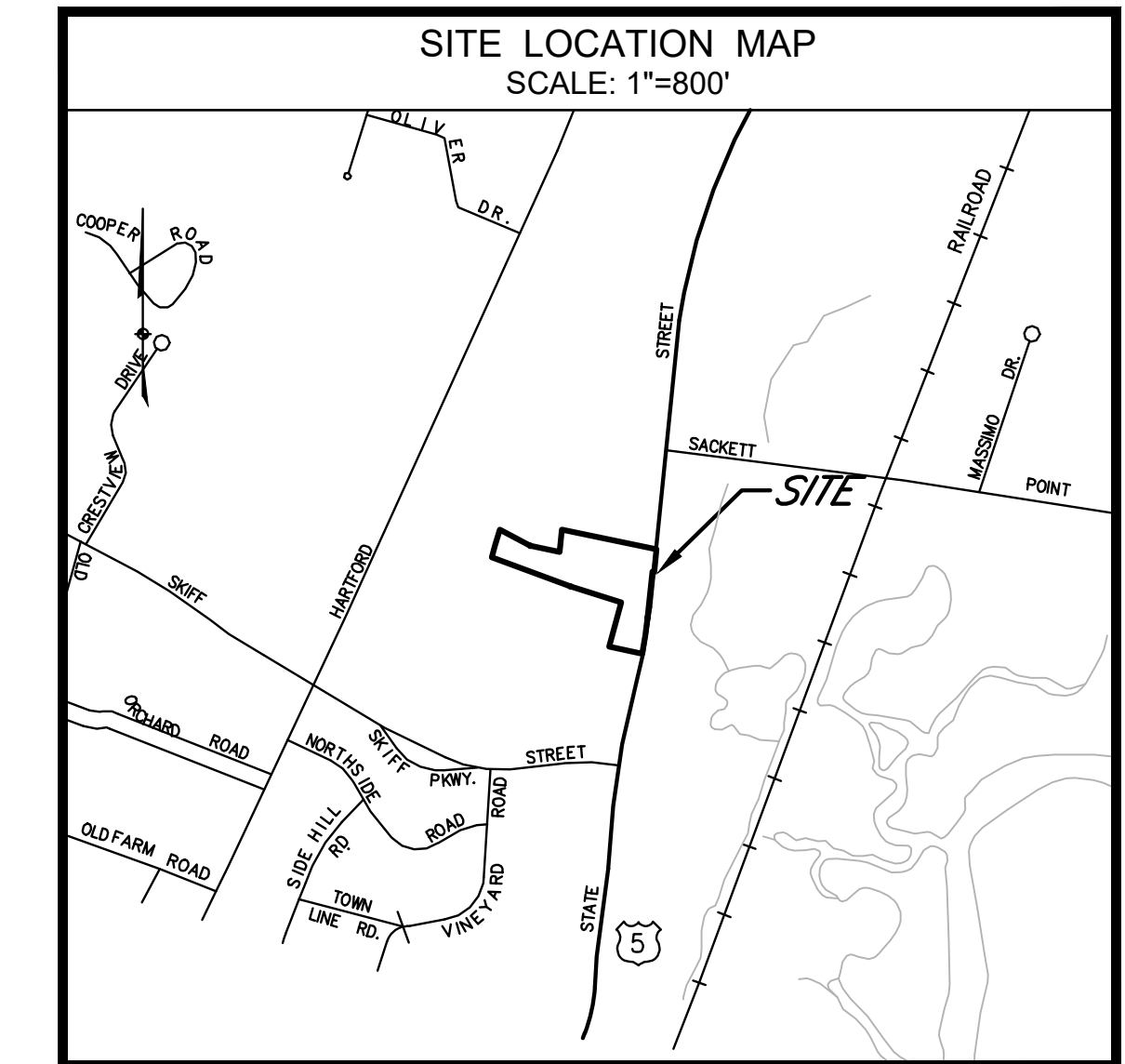


GENERAL NOTES

- THESE DRAWINGS ARE FOR REVIEW AND APPROVAL BY THE TOWN OF NORTH HAVEN, AND ARE NOT TO BE USED FOR CONSTRUCTION. ADDITIONAL DETAILS WILL BE REQUIRED FOR CONSTRUCTION. REFER TO DRAWINGS FOR APPROPRIATE INFORMATION.
- TOPOGRAPHICAL, PROPERTY LINES, EXISTING SITE FEATURES, AND UTILITY INFORMATION TAKEN FROM MAPS PREPARED BY GODFREY-HOFFMAN ASSOCIATES, LLC. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR AND/OR RESPONSIBLE PARTY IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ELEVATIONS, PROPERTY LINES, LOCATION OF UTILITIES AND SITE CONDITIONS IN THE FIELD. IF AN UNFORESEEN INTERFERENCE EXISTS BETWEEN AN EXISTING AND A PROPOSED STRUCTURE, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE APPROPRIATE REVISIONS CAN BE MADE.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM STATE AND LOCAL AUTHORITIES AND ANY CONSTRUCTION RIGHTS AND/OR SLOPE RIGHTS AS MAY BE REQUIRED FROM THE PROPERTY OWNERS.
- THE CONTRACTOR IS TO CONTACT "CALL BEFORE YOU DIG" TO HAVE ALL UTILITY LINES CLEARLY MARKED PRIOR TO ANY EXCAVATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PIPING IS PROPERLY BEDDED AND STABILIZED IN AREAS OF HIGH GROUND WATER AND/OR UNSTABLE SOIL CONDITIONS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY CORPORATIONS, AND INDIVIDUALS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING NEAR OR UNDER OVERHEAD AND UNDERGROUND UTILITIES. THE CONTRACTOR IS TO NOTIFY THE UTILITY COMPANIES OF HIS INTENT PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH HAVEN STANDARDS AND/OR CONNECTICUT DEPARTMENT OF TRANSPORTATION (CT-DOT) FORM 817, LATEST EDITION.
- ANY DRAINAGE STRUCTURES, DITCHES, ASPHALT, CURBS OR GRASSED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION.
- ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY MULCHING OR OTHER MEANS. SEEDING OF GRASSED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL AS AN EROSION AND SILTATION CONTROL MEASURE.
- ALL STORM SEWER LINES ARE TO BE INSTALLED USING INVERT ELEVATIONS, PIPE SLOPES SHOWN ARE APPROXIMATE AND ARE FOR REFERENCE ONLY.
- APPLICABLE STORM SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF NORTH HAVEN STORM SEWER SPECIFICATIONS.
- STORM DRAINAGE PIPING SHALL BE AS FOLLOWS:
 CPP-ADS N-12 OR HANCOR CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR HIQ-HANCOR HI-Q CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR RCP-REINFORCED CONCRETE PIPE
- ALL ROOF DRAINS ARE TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM WHERE SHOWN.
- THE REQUIREMENTS FOR ADDITIONAL UNDERDRAINAGE, DRAINAGE, CATCH BASINS, RETAINING AND/OR HEADWALLS NOT SHOWN ON THESE PLANS IS TO BE FIELD DETERMINED AFTER DRIVEWAYS AND PARKING AREAS HAVE BEEN CUT TO SUBGRADE.
- THE ON-SITE DRAINAGE SYSTEM WILL REMAIN PRIVATE. THE PROPERTY OWNER IS TO PROVIDE REGULAR MAINTENANCE OF THE SYSTEM TO ALLOW IT TO CONTINUALLY FUNCTION AS INTENDED. AFTER CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE AN AS-BUILT OF THE DRAINAGE SYSTEM TO THE PROJECT ENGINEER.
- COMPACTION OF FILL IS TO BE PROVIDED IN ACCORDANCE WITH CT-DOT FORM 817.
- UTILITY SERVICES ARE TO BE ABANDONED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS PRIOR TO BUILDING DEMOLITION AND SITE WORK.
- RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.

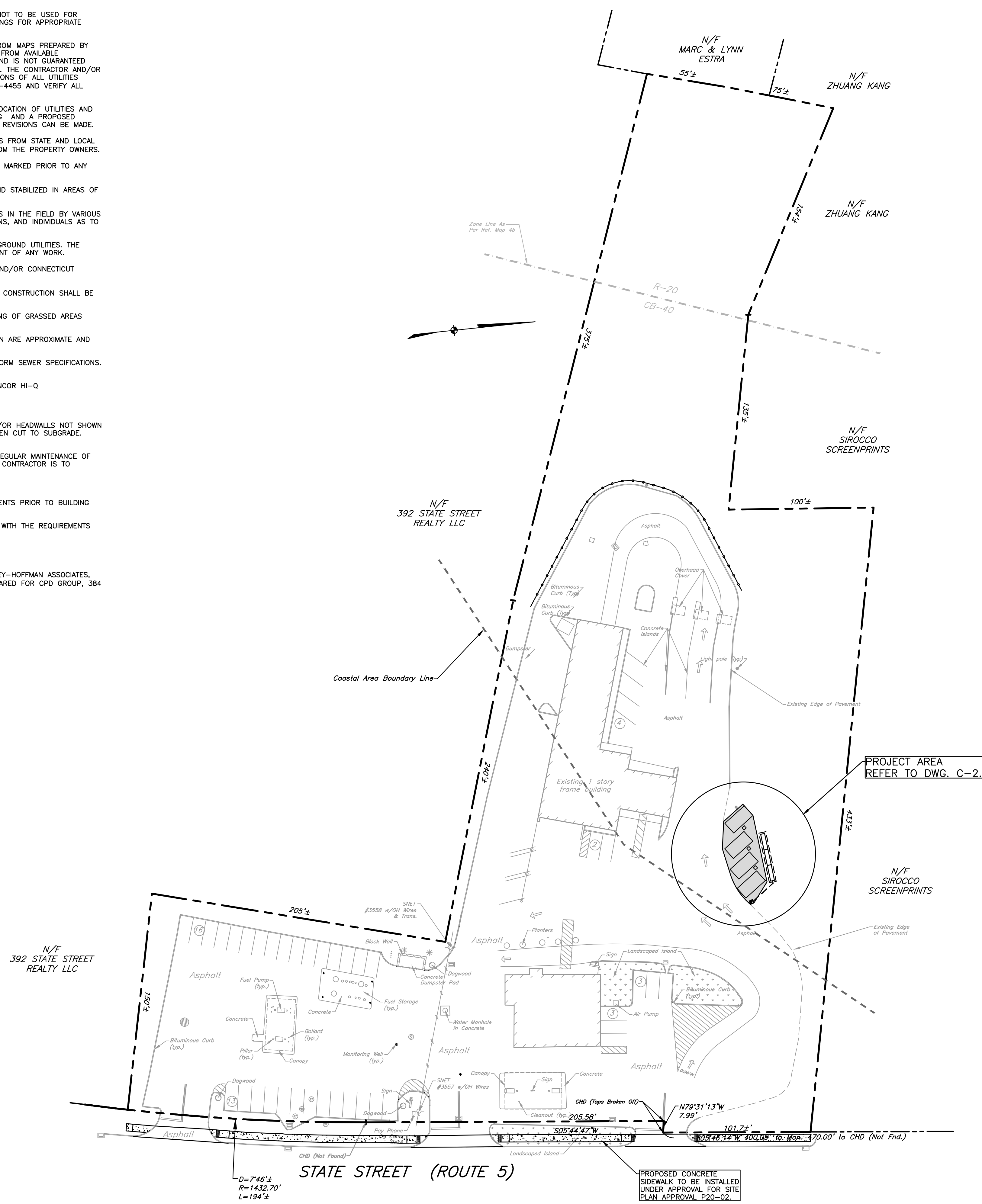
MAP REFERENCE:

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION OBTAINED FROM MAP PREPARED BY GODFREY-HOFFMAN ASSOCIATES, LLC, 26 BROADWAY NORTH HAVEN, CT 06473, ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, PREPARED FOR CPD GROUP, 384 STATE STREET, NORTH HAVEN, CT.



OWNER:
 FULTON FORBES INCORPORATED
 16 LUNAR DRIVE
 WOODBRIDGE, CT 06525

APPLICANT:
 PREMIER CAR CENTER
 384 STATE STREET
 NORTH HAVEN, CT 06473



OVERALL SITE PLAN
 SCALE: 1" = 40'

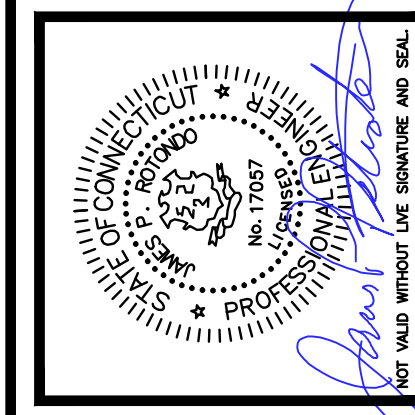
PARKING CRITERIA

USE	AREA / UNITS	RATIO	SPACES REQUIRED
INDUSTRIAL	14 EMPLOYEES	1 SP / 2 EMP	7 SPACES
RETAIL	1,887 SF	1 SP / 200 SF GFA	10 SPACES
RESTAURANT	1,240 SF	1 SP / 75 SF GFA	17 SPACES
TOTAL SPACES REQUIRED:			34 SPACES
TOTAL SPACES PROVIDED:			41 SPACES

BULK REQUIREMENTS

ZONE:	CB-40 / R-20			
USE:	SERVICE STATION, CAR WASH			
MINIMUM LOT AREA (SQ.FT.)	40,000	170,440±	170,440±	
MINIMUM LOT WIDTH (FT)	150	470±	470±	
MINIMUM FRONT YARD (FT)	50	51.6±	51.6±	
MINIMUM REAR YARD (FT)	40	344±	344±	
MINIMUM SIDE YARD (FT)	20	42±	42±	
MAXIMUM BUILDING COVERAGE (%)	20	5.80	5.80	
MAXIMUM HEIGHT (FT)	55	18±	18±	

GODFREY-HOFFMAN
HODGE, LLC
 PROFESSIONAL ENGINEERS
 26 BROADWAY NORTH HAVEN, CT 06473 TEL: 203.239.2371 WWW.GODFREYHOFFMAN.COM
 1783 FARMINGTON AVENUE, UNIONVILLE, CT 06866 TEL: 860.673.0444 WWW.HODGELLCC.COM



ALL WORK, MATERIALS AND METHODS TO BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE STATE OF CONNECTICUT AND THE CITY OF NORTH HAVEN. THE WORD "SHALL" OR "SHOULD" IS UNDERSTOOD TO BE MANDATORY UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM THE TOWN OF NORTH HAVEN AND THE STATE OF CONNECTICUT. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF GODFREY-HOFFMAN ASSOCIATES, LLC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GODFREY-HOFFMAN ASSOCIATES, LLC. THIS DRAWING IS THE PROPERTY OF GODFREY-HOFFMAN ASSOCIATES, LLC. © COPYRIGHT 2020. ALL RIGHTS RESERVED.

NO.	DATE	REVISION SCHEDULE	DESCRIPTION

PROJECT:
PROPOSED SELF VACUUM STATIONS
 384 STATE STREET
 NORTH HAVEN, CT

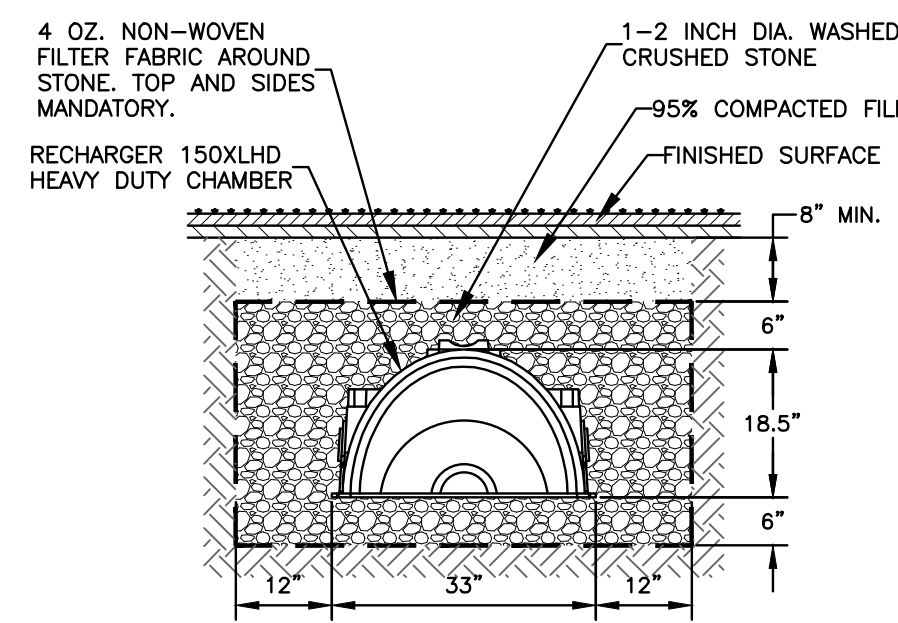
PREPARED FOR:
PREMIER CAR CARE CENTER
 384 STATE STREET
 NORTH HAVEN, CT

OVERALL SITE PLAN

DRAWN BY: JR
 CHECKED BY: JR
 SCALE: 1"=40'
 PROJECT: 18-034
 DATE: 08.07.2020

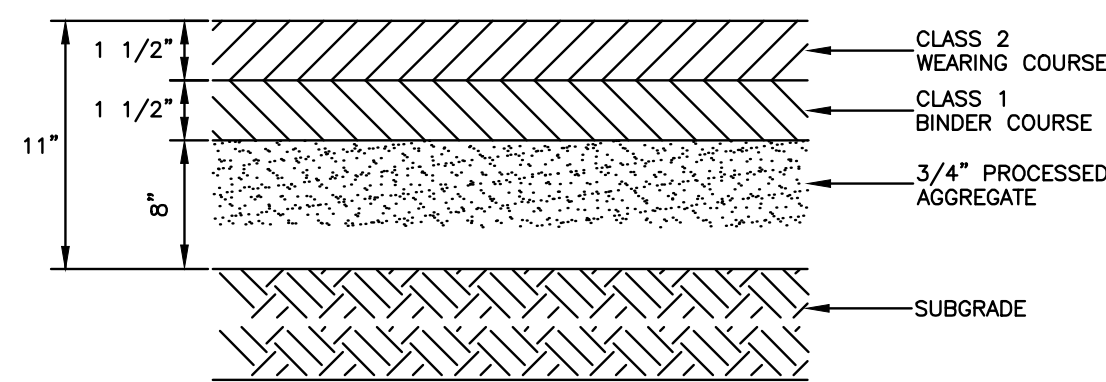
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IMPORTANT NOTE:
 ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTACT:
 "CALL BEFORE YOU DIG" 1-800-922-4455



CULTEC RECHARGER 150 XLHD

NOT TO SCALE

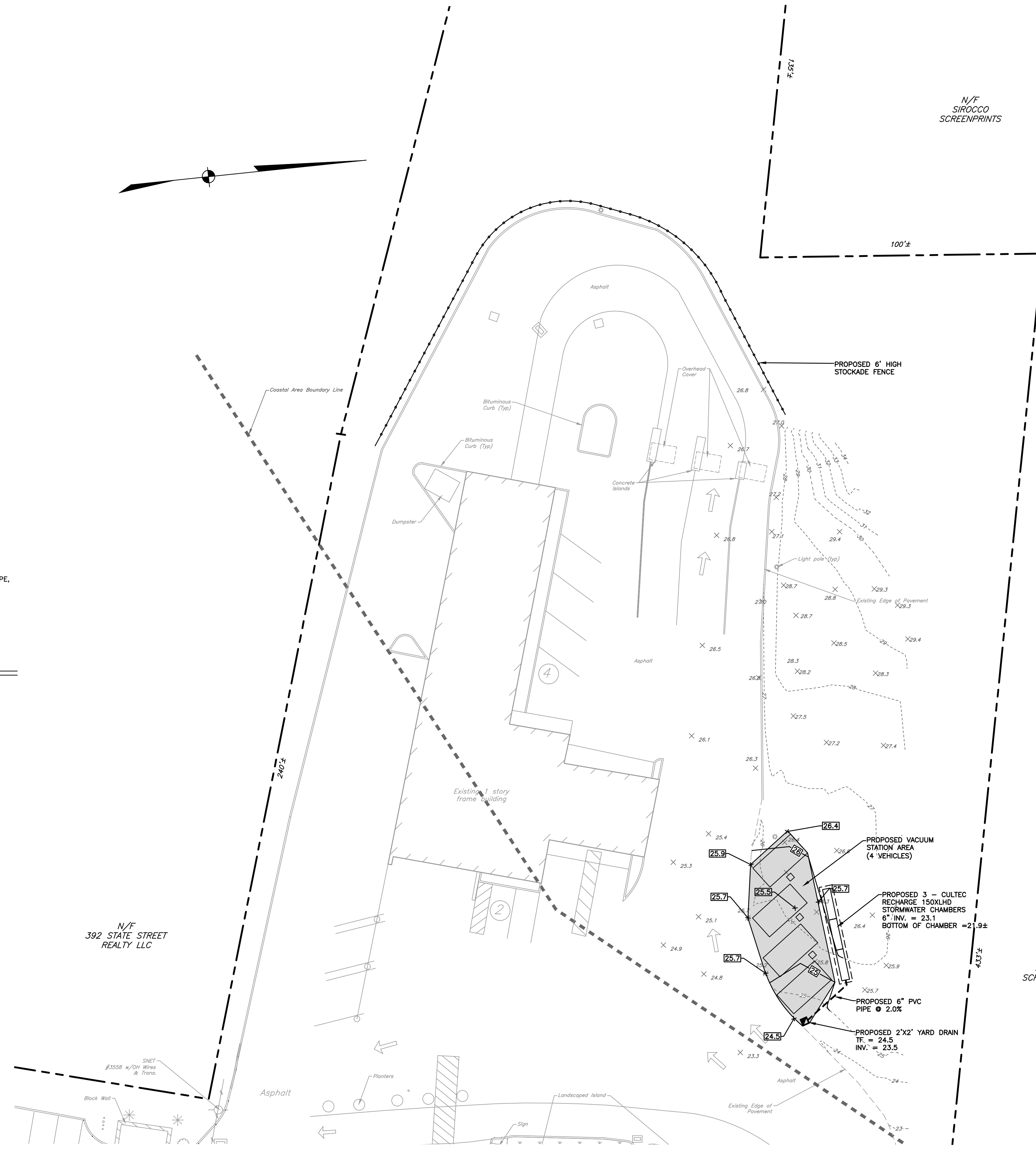


NOTES:

1. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF NORTH HAVEN STANDARDS AND CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 816.
2. PAVEMENT SECTIONS SHALL CONFORM TO THE TYPICAL SECTIONS SHOWN ON THE DETAIL DRAWING. PROCESSED AGGREGATE BASE SHALL CONFORM TO SECTION M.05.01, BANK RUN GRAVEL SUBBASE SHALL CONFORM TO SECTION M.02.02 AND SECTION 2.12. BITUMINOUS CONCRETE PAVEMENT SHALL CONFORM TO SECTION M.04.01.
3. SUBGRADE SHALL BE PREPARED PRIOR TO CONSTRUCTING SUBBASE. REMOVE ALL DELETERIOUS OR ORGANIC MATERIALS, FROST OR TOPSOIL FROM SUBGRADE. SHAPE, GRADE AND COMPACT IN ACCORDANCE WITH SECTION 2.09.
4. THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, DRIVEWAY, ROADWAY AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST) OR AS DIRECTED BY THE SITE ENGINEER.
5. ALL PAVEMENT MATERIAL THICKNESSES SHOWN ARE AFTER COMPACTION.

STANDARD DUTY PAVEMENT

NOT TO SCALE



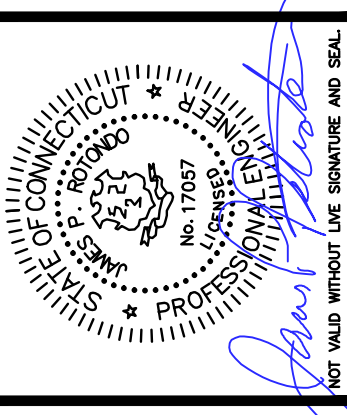
N/F
392 STATE STREET
REALTY LLC

N/F
SIROCCO
SCREENPRINTS



IMPORTANT NOTE:
ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTACT:
"CALL BEFORE YOU DIG" 1-800-922-4455

GODFREY & HOFFMAN
HODGE, LLC
PROFESSIONAL ENGINEERS
28 BROADWAY NORTH HAVEN, CT 06473 TEL: 203.239.8277 WWW.GODFREYHOFFMAN.COM
1785 FARMINGTON AVENUE, UNIONVILLE, CT 06866 TEL: 866.673.0444 WWW.HODGELL.COM



ALL WORK, PERMITS, AND MATERIALS TO BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 816. THE WORD "SHALL" OR "SHOULD" IS UNDERSTOOD TO BE MANDATORY UNLESS OTHERWISE SPECIFIED. THE WORD "MAY" IS UNDERSTOOD TO BE PERMISSIVE UNLESS OTHERWISE SPECIFIED. THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY INFORMATION OF GODFREY & HOFFMAN/HODGE, LLC. NO REPRODUCTION, IN ANY MANNER, OR DISTRIBUTION OF ANY PART OF THIS DOCUMENT IS PERMITTED WITHOUT THE WRITTEN CONSENT OF GODFREY & HOFFMAN/HODGE, LLC. COPYRIGHT 2020. ALL RIGHTS RESERVED.

NO.	DATE	DESCRIPTION

PROJECT:

PROPOSED SELF VACUUM STATIONS
384 STATE STREET
NORTH HAVEN, CT

PREPARED FOR:

PREMIER CAR CARE CENTER
384 STATE STREET
NORTH HAVEN, CT

SITE DEVELOPMENT PLAN

DRAWN BY: JJR
CHECKED BY: JJR
SCALE: 1"=20'
PROJECT: 18-034
DATE: 08.07.2020

C-2.0