

TOWN OF NORTH HAVEN

MEMORIAL TOWN HALL / 18 CHURCH STREET

NORTH HAVEN, CONNECTICUT 06473



REPLY TO:

#P20-23

PLANNING AND ZONING COMMENTS

for 14 SEPTEMBER 2020

475 WASHINGTON AVENUE

(MAP 90, LOT 15)

PAT MUNGER CONSTRUCTION CO., INC., APPLICANT

CLASSIC DEPOT, LLC, OWNER

SITE PLAN APPLICATION

Tel. (203) 239-5321

Fax (203) 234-2130

IL-30

Review Comments:

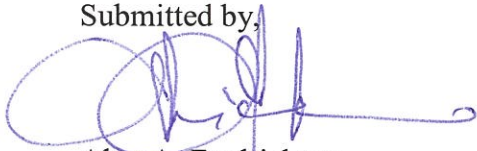
1. This application is intended to modify Phase II of application #P16-04, approved by the Commission on 7 March 2016. This application increases the size of the proposed "second" building from 2,400 to 3,000 square feet, and modifies portions of the parking lot configuration.

Recommended Conditions of Approval, if granted:

1. Submit revised drawings which include:
 - a. A note indicating, "#P20-23, Site Plan Approval".
 - b. Labeled, dimensioned building setback lines.
 - c. 8' wide landscaped islands, each containing one (1) minimum 2" caliper deciduous tree must be provided at all ends of rows of parking and both sides of individual or double spaces.
 - d. Tree size and species for proposed trees.
 - e. Site location map.
 - f. Parking calculations.
 - g. A note indicating there will be no outdoor storage on the property.
 - h. Proposed type, design, mounting height, location, direction, power and timing of all outdoor lighting.
 - i. Building height for both buildings.
2. Any approval granted is subject to CT D.O.T. approval/acceptance of all traffic and drainage conditions as well as the procurement of an Encroachment Permit.
3. Soil and erosion controls must be inspected by the Zoning Enforcement Officer before work may commence.

4. The property owner, and/or his/her agents, must maintain (repair/replace) when necessary, the siltation control until all development activity is completed and all disturbed areas are permanently stabilized.
5. Any proposed signage or fencing will require the filing of applications with the Zoning Enforcement Officer.
6. Submit an as-built plan prior to bond release.
7. Post bond, as required.

Submitted by,



Alan A. Fredricksen
Land Use Administrator
AAF/llc
#P20-13



TOWN OF NORTH HAVEN

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NORTH HAVEN, CONNECTICUT 06473



REPLY TO:

Engineering

Tel. (203) 239-5321

Fax (203) 234-2130

PLANNING AND ZONING

Date of Meeting: 09/14/2020

Dev: New Building Construction

Loc: 475 Washington Avenue

File: P20-23

Comments:

1. Calculations for sizing of the proposed stormwater management system must be provided.
2. A long-term maintenance plan shall be provided for inspection and cleaning of the proposed stormwater management systems.
3. Soil testing is required at the proposed stormwater management system to ensure that site soils have sufficient infiltrative capacity to fully drain the system within 24 hours of a storm event.
4. A landscape island with a tree is required at the ends of all parking rows.
5. The proposed anti-tracking pad must be oriented 90 degrees to that which is shown.
6. It is assumed that the drainage lines shown collecting the roof leaders from the existing building are proposed, not existing. The limits of this proposed line should reflect the pipe lengths indicated.
7. Inlet protection is needed at existing and proposed drainage inlets in the vicinity of the proposed improvements.
8. Locations of proposed soil stockpiles shall be shown on the Site Plan with proper siltation control protection.
9. The size, inverts, slope, and condition of the existing sanitary lateral shall be verified and shown on the site plan. If the existing lateral is to be utilized for the proposed building, its condition shall be verified via CCTV, and submitted for review.
10. Location of the proposed building water service must be shown. If the existing water lateral is going to also service this new building, capacity of this line will need to be verified and coordinated with Regional Water Authority.
11. The proposed use of the new building should be discussed.

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- [] Above comments are relatively minor in nature and can be addressed subsequent to an approval. BOND RECOMMENDATION: \$3,500 ESC
DATE REVIEWED: 09/10/2020
TOWN ENGINEER: J. Andrew Bevilacqua, P.E. *AB*
- [] Above comments (*) should be addressed prior to deliberations