

**NORTHFIELD TOWNSHIP PLANNING COMMISSION**  
**NOTICE OF REGULAR MEETING**  
**April 1, 2015 at 7:00 p.m.**  
**Second Floor, Public Safety Building**  
**8350 Main Street, Whitmore Lake, MI 48189**

**AGENDA**

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**
- 5. CALL TO THE PUBLIC**
- 6. CORRESPONDENCE**
- 7. REPORTS**
  - A. Board of Trustees Report**
  - B. ZBA**
  - C. Staff Report**
  - D. Planning Consultant Report**
- 8. PUBLIC HEARINGS**
  - A. Case JPC#150003** – Rohani Foulkes, owner of Fete Farm, 9623 Earhart Rd, South Lyon, MI 48178 is requesting a conditional use permit to allow re-purposing of an existing outbuilding for an Agricultural Commercial/Tourism Business under Section 36-730 AG Commercial/Tourism Business of the Zoning Ordinance. Parcel number B-02-01-200-022 is zoned AR - Agriculture.
- 9. OLD BUSINESS**
  - A. Case #JPC140003** – Approve, approve with conditions, or deny the request of Nowatzke Truck & Trailer, Inc., 6900 Whitmore Lake Rd, Whitmore Lake, MI 48189 for site plan approval for a convenience store and gasoline/diesel fueling station. The parcel number is B-02-20-300-036 and is zoned GC – General Commercial.
  - B. Master Plan Update**
  - C. Citizen Survey** – status of request for proposal
- 10. NEW BUSINESS**
  - A. Case JPC#150003** – Approve, deny, or postpone the request of Rohani Foulkes, owner of Fete Farm, 9623 Earhart Rd, South Lyon, MI 48178, for a conditional use permit to allow re-purposing of an existing outbuilding for an Agricultural Commercial/Tourism Business under Section 36-730 AG Commercial/Tourism Business of the Zoning Ordinance. Parcel number B-02-01-200-022.
  - B. Sewer Capacity Report** – presentation and discussion
- 11. MINUTES:** March 18, 2015 Regular Meeting
- 12. POLICY REVIEW AND DISCUSSION**

Leapfrogging of Sewer Service, Calendar, Development of Planning Commission Agenda
- 13. CALL TO THE PUBLIC**
- 14. COMMENTS FROM THE COMMISSIONERS**
- 15. ANNOUNCEMENT:** Next Regular Meeting – April 15, 2015
- 16. ADJOURNMENT**

This notice is posted in compliance with PA 267 Of 1976 as amended (open meetings act) MCLA 41.7 2A (2) (3) and the Americans with Disabilities Act. (ADA) Individuals with disabilities requiring auxiliary aids or services should contact the Northfield Township Office, (734) 449-5000 seven days in advance.



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: March 26, 2015

## Conditional Land Use For Northfield Township, Michigan

**Applicant:** Rohani Foulkes  
9623 Earhart Road  
South Lyon, MI 48178

**Project Name:** Fete Farm

**Plan Date:** March 11, 2015

**Date Stamped:** March 12, 2015

**Location:** 9623 Earhart Road – West side of road between Eight Mile and Seven Mile

**Zoning:** AR, General Agriculture. Agricultural /Tourism Business is a conditional land use in the AR District.

**Action Requested:** Conditional land use approval.

**Required Information:** Deficiencies are noted in the following sections of this review.

### PROJECT AND SITE DESCRIPTION

The applicant is proposing to utilize their recently purchased existing farmstead as a special event venue. The area of the property containing building and site improvements encompasses 8.42 acres containing an existing house, two (2) barns, a pond and a gazebo.

The applicant has indicated their intent is to re-purpose the existing large barn structure for an agriculture tourism business to establish a community space. Further, the re-purposed structure would act as a multi-purpose space to host community and educational events. Such events would include program offerings associated with the production, preservation and consumption of food and nutrition practices as well as provide an organized meeting and consumption of food and nutrition practices as well as provide an organized meeting space to accommodate special events such as graduations, family reunions and weddings.

Agricultural/tourism businesses are listed as a conditional use in the AR district.



## LAND USE AND ZONING

Due to the rural nature and limited operational timeframe of the proposed use, it would appear to be in conformance with the adjacent rural and agricultural land uses and zoning.

**Site:** The subject site is currently agriculture / residential and is zoned AR, General Agriculture.

- North:** An existing residence and agriculture / vacant land are north of the subject site.
- South:** South of the subject site is agriculture / residential.
- East:** East of the subject site is agriculture / vacant
- West:** An existing residence and agriculture / vacant land are west of the subject site.

*Items to be Addressed: None.*

## **MASTER PLAN**

The Township's Master Land Use Plan designates the subject site as Agricultural. The intent of this land use classification is to protect existing agricultural land uses, maintain rural character, minimize population density and preserve open spaces. This land use designation is intended to allow low-density residential development only when it promotes open space preservation and is compatible with agricultural operations.

As described by the applicant, the use as proposed allows the applicant to maintain and improve existing barn structure, as well as, maintain the existing rural character of the property. We believe the proposed use is in keeping with the Master Plan.

*Items to be Addressed: None.*

## **NATURAL RESOURCES**

Current aerial photography was used for this section of the review. No significant natural features would be affected by the proposed use.

- Topography:** The property appears relatively flat. Topographic information will be required during site plan review.
- Wetlands:** An existing pond is located on the western (rear) portion of the site. No wetlands are evident based upon the aerial photo provided. Wetlands will be confirmed during site plan review.
- Woodlands:** The western (rear) portion of the parcel has a densely wooded area. Based upon the information provided, it appears all modifications to the site will be adjacent to the existing barn, and will not impact the wooded area. Tree removal, if applicable will be reviewed during site plan review.

**Soil:** The USDA/Natural Resources Conservation Service Web Soil Survey identifies the soils on the site as Boyer Loamy Sand 1-6% slopes, Matherton Sandy Loam 0-4% slopes, Sebewa Loam, and Houghton Muck the eastern portion of the site demonstrates little or no development constraints. However, the western portion contains severe development constraints.

**Items to be Addressed:** *Topography, wetland, woodland and soil information will be further reviewed during site plan review.*

## **ESSENTIAL FACILITIES AND SERVICES**

The site is to be served by an existing well and proposed septic system. The applicant will be required to contact the County Health Department regarding essential services to be provided as part of the special event venue, and we defer any comments related to the site's essential services to them. We note the application states a single restroom is provided within the facility; however, the location for additional temporary toilet facilities should be provided on the site plan.

**Items to be Addressed:** *1) County Health Department approval of the site's existing and proposed essential services. 2) Provide location of temporary toilet facilities at site plan review.*

## **CONDITIONAL USE STANDARDS**

The Zoning Ordinance identifies seven (7) standards and findings that must be met (Section 63.07 A.-G.). We note that most of these issues are addressed in the body of this analysis; however, we will provide the following brief commentary for reference.

- 1. Will be harmonious with and in accordance with the general objectives, intent and purposes of this Ordinance.*

A special event venue would be secondary to the primary agricultural land use. The applicant is not proposing any additional buildings or site improvements that would detract from the agricultural use and the surrounding rural properties. It appears that the primary residential/agricultural land use will remain unchanged.

- 2. Will be designed, constructed, operated, maintained and managed so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity.*

The site will continue to be utilized for agricultural/residential purposes. The applicant intends to maintain the property in its original state, while providing a service generating a second income for the property. Development of the site has been limited to the eastern portion of the property. We are hesitant to claim that the proposed use

will be compatible with adjacent uses of land due to the potential to create traffic and noise nuisance to existing and future neighbors. Additional information demonstrating specific noise control measures and landscape buffering will need to be provided, as well, as a traffic impact study to determine if the existing infrastructure can handle the additional traffic generated by the proposed use.

3. *Will be compatible with the natural environment and existing and future land uses in the vicinity.*

The applicant provides the property's unique natural resources will be preserved on the site. We note site improvements are proposed within the developed areas of the existing site.

4. *Will be compatible with the Northfield Township Land Use Development Plan.*

As noted above the use is in general conformance with the Township's Master Land Use Plan.

5. *Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service.*

The subject site has access to Earhart Road, and is serviced by a well and septic system. We defer the technical engineering issues to the Township Engineer. The Township Fire Department should provide comment on the general assembly portion of this proposal. In association with the Fire Department review, the applicant should provide information from the Washtenaw County Building Department regarding the conversion of the barn to an assembly use. Further, septic and water facilities will require review and approval by the County Health Department.

6. *Will not be hazardous or disturbing to the existing or future neighboring uses.*

This criterion is a key factor regarding this application. The project narrative submitted indicates that the events at Fete Farm are scheduled May -October, and will include one (1) small event (education/tour) and one (1) large event (wedding) per week. The small event (40 attendees) will take place between 10am and 8pm during the week, and the large event (250 attendees) will take place on a Friday or Saturday between 9am and 11pm.

Noise control is outlined in the application materials to include: limiting events to 11pm; providing buffer plantings along the property line adjacent to neighboring residences, and having all activities confined to an indoor venue. We note, however, the application indicates the first phase of the use will include utilizing the rear of the

property with temporary tents to hold events. This will impact the noise control measures provided within the application. Additional information should be provided demonstrating specific noise control measures for both phase 1 and phase 2 of the proposed use.

The applicant indicates that food trash will be handled by the caterer who will take all food remnants away the night of the event so not to attract animals. Based on the information provided by the applicant, we are concerned that during the first phase of the applicant's proposed use (temporary tent facilities) a negatively impact will result disturbing existing or future neighboring uses.

7. *Will not create excessive additional requirements at public cost for public facilities and services.*

The proposed use shall not create additional public facilities or services.

***Items to be Addressed:*** 1) *Township Fire Department review of general assembly use.* 2) *Provide County Building Department review of barn for assembly use.* 3) *Demonstrate specific measures how noise control will be handled so the proposed use will not to be detrimental to surrounding neighbors.* 4) *Provide a traffic impact study.*

## **SPECIFIC USE STANDARDS**

In addition to the general conditional use standards in the previous section supplemental regulations for Agricultural /Tourism Business are found in Section 60.33 D. The intent is to allow uses of a commercial/tourism nature as conditional land uses when they are determined to be complementary and accessory to the primary agricultural land use in the AR zoning district. Specifically, organized meeting space (e.g. for use by weddings, birthday parties, and corporate events) and educational classes, lectures, seminars are listed as an allowable complementary and accessory use to the primary agricultural land use of the subject property.

The following supplemental regulations shall be met for such agricultural tourism businesses:

- (1) *Minimum lot area of ten (10) acres.*

The subject site under consideration for review is 8.42 acres. A variance will have to be obtained by the Zoning Board of Appeals in order to allow this use on the subject site.

- (2) *All uses permitted by this section may have access on any road type within the Township with the condition that the increase in traffic shall not create a nuisance, as defined in this Zoning Ordinance, to nearby residents by way of traffic or noise or increase of the public cost in maintaining the roadway.*

The subject site has an existing driveway (gravel millings) that will be utilized from Earhart Road (gravel). The applicant anticipates 30 vehicles per small event and a maximum of 85 vehicles for a large event.

- (3) *A two hundred (200) foot open buffer shall be provided on all sides of the property not abutting a roadway. Agricultural Commercial/Tourism Business activities shall not be allowed within this buffer area. Where possible crops shall remain within this buffer area to help maintain the agricultural character of the site.*

A 200-foot open buffer cannot be accommodated on the north and south sides of the property which are adjacent to residential neighbors, nor the east (front) side of the property. Existing placement of the buildings does not meet this requirement. We note from the information provided, the venue is located 200 feet from the adjacent residential structures. A variance should be obtained from the Zoning Board of Appeals to allow for a reduction in the 200-foot open buffer requirement on the north, south and east sides.

- (4) *Buffer plantings shall be provided along the property line where there is an abutting residence. Greenbelt plantings are intended to screen views of the proposed operation from the adjacent home or property. Buffer plantings shall meet the standards of Section 60.25*

The applicant indicates buffer plantings will be provided. This item will be reviewed during site plan review.

- (5) *Must provide off-street parking to accommodate use as outlined in 61.04 C.*
- a. *Parking facilities may be located on grass or gravel area for seasonal uses such as roadside stands, u-pick operations, and agricultural mazes. All parking areas shall be defined by either gravel, cut lawn, sand, or other visible marking.*
  - b. *All parking areas shall be located in such a manner to avoid traffic hazards associated with entering and exiting the public roadway.*
  - c. *Paved or unpaved parking areas shall not be located in required setback or buffer areas. Paved parking areas must meet all design, and landscape screening requirements as set forth in this Zoning Ordinance.*

Section 61.04 (27) requires private clubs and lodge halls to provide *one (1) parking space for each three (3) persons based upon maximum occupancy*. The applicant provides a maximum of 250 persons would be allowed at the facility requiring 83 parking spaces. Eighty-five (85) parking spaces are demonstrated on the concept site plan provided including four (4) barrier-free spaces.

The parking area will be reviewed further during site plan review to determine whether traffic hazards exist (no dimensions have been provided on the concept plan). The

Washtenaw County Road Commission will review the existing access drive and Earhart Road for additional necessary improvements during site plan review.

The surface construction of the proposed parking area is noted as gravel. The plan should be more specific as to the surface of the parking area, if gravel is proposed a typical cross-section should be provided during site plan review.

*(6) The following additional operational information must also be provided as applicable:*

- a. Ownership of the property* –Rohani Foulkes and Matthew Lenhoff, 9623 Earhart Road, South Lyon, MI 48178
- b. Months (season) of operation* – Year round for fruit, vegetable and flower cultivation and care of small animals / May through October one (1) small event and one (1) large event per week.
- c. Hours of Operation* – 10am-8pm; one (1) education/tour event per week anticipated to be no longer that 4 hours. Friday and Saturday 9am-11pm; one (1) large event per week.
- d. Anticipated number of customers* – 40 attendees per small event / up to 250 attendees per large event.
- e. Maintenance plan for disposal, etc.* – curb cart (no dumpster)
- f. Any proposed signs* – “Fete Farm” name at property frontage. Signage will be review during site plan review.
- g. Any proposed lighting* – Any proposed lighting will be in conformance with Northfield Township requirements, and will generally be low wattage directed away from neighbors and Earhart traffic. Lighting will be reviewed during site plan review.
- h. Maximum number of employees at any one time* – 2 to 4 on-site and up to 10 external vendors. An owner’s manager will be on-site at all times during every event.
- i. Restroom facilities* – Currently the indoor space is equipped with one (1) toilet and sink. Additional toilet and washing facilities will be provided by professional, temporary, portable facilities, screened from view and service regularly.
- j. Verification that all outside agency permits have been granted, i.e. Federal, State and local permits* - Washtenaw County Environmental Health Department Approval, Washtenaw County Road Commission, Washtenaw County Building Department, and Northfield Township Fire Department all will be required to review and approve the proposed use/site plan.

*(7) All areas of the property to be used including all structures on site must be clearly identified.*

All site features will need to be clearly identified for a complete site plan review.

**Items to be Addressed:** 1) A variance be obtained by the Zoning Board of Appeals to allow a reduced parcel area. 2) A variance be obtained from the Zoning Board of Appeals to allow for a reduction in the 200-foot open buffer requirement on the north, south and east sides. 3) Buffer plantings will be reviewed during site plan review. 4) Township Engineer and Washtenaw County review of parking and driveway facilities during site plan review. 5) Signage, lighting and restroom facilities be reviewed during site plan review. 6) Review of site plan by all applicable agencies, including: Washtenaw County Environmental Health Department, Washtenaw County Road Commission, Washtenaw County Building Department, and the Northfield Township Fire Department. 7) All site features will need to be clearly identified for a complete site plan review.

## VARIANCES

The following variances should be obtained prior to final approval:

1. A variance should be obtained from the Zoning Board of Appeals to allow for a reduction in minimum lot area (Section 60.33 D.(1)).
2. A variance should be obtained from the Zoning Board of Appeals to allow for a reduction in the 200-foot open buffer requirement on the north, south and east sides (Section 60.33 D.(3)).

## RECOMMENDATIONS

Based upon the information provided by the applicant and the comments of this analysis, we recommend the following items be addressed to the satisfaction of the Planning Commission prior to taking action on the proposed conditional land use to allow the subject site to be used for *organized meeting space which is complementary and accessory to the primary agricultural land use of the subject property*:

- (1) Demonstrate specific noise control measures so the proposed use will not to be detrimental to surrounding neighbors.
- (2) Provide a traffic study.
- (3) A variance be obtained by the Zoning Board of Appeals to allow for a reduction in the minimum lot area.
- (4) A variance be obtained by the Zoning Board of Appeals to allow for a reduction in the 200-foot buffer requirements on the north, south and east sides.
- (5) Provide location of temporary toilet facilities.

Fete Farm  
3-26-15

- (6) Township Fire Department review of general assembly use.
- (7) Provide a concept landscape plan.
- (8) Provide detail of signage and lighting.

Additionally, the following items will be required to be addressed during site plan review:

**Site Plan Review Recommendation:**

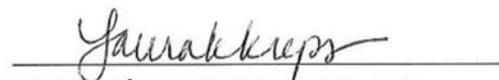
- (1) Provide topography, wetland, woodland and soil information.
- (2) County Health Department approval of the site's existing and proposed essential services.
- (3) Provide County Building Department review of barn for assembly use.
- (4) Township Engineer and Washtenaw County Road Commission review of driveway and parking facilities.
- (5) Review of site plan by all applicable agencies, including: Washtenaw County Environmental Health Department, Washtenaw County Road Commission, Washtenaw County Building Department, and the Northfield Township Fire Department.
- (6) All site features will need to be clearly identified for a complete site plan review.

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CARLISLE/WORTMAN ASSOC., INC.  
Douglas J. Lewan, PCP, AICP  
Principal

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CARLISLE/WORTMAN ASSOC., INC.  
Laura K. Kreps, AICP  
Associate

#124-1415

cc: Rohani Foulkes via [fetefarm@gmail.com](mailto:fetefarm@gmail.com)  
Engineering Technologies via [etc@etcinc.com](mailto:etc@etcinc.com)

March 25, 2015

**Northfield Township**  
**Building & Zoning Department**  
8350 Main Street, Suite A  
Whitmore Lake, Michigan 48189

Regarding: **Fete Farm**  
Conditional Use Review No. 1  
OHM Job No. 0151-15-1047

We have reviewed the material, dated March 11, 2015 and received by this office on March 16, 2015, for the above-referenced project at the Foulkes & Lenhoff property located at 9623 Earhart Road. Plans were reviewed according to Township guidelines and engineering standards. The Applicant is requesting an agricultural commercial/tourism business Conditional Use approval for an existing 8.4-acre agricultural site. A general summary of the site, followed by our review comments and recommendations, are noted below.

### **General**

The Applicant is requesting an agricultural commercial/tourism business Conditional Use approval for an 8.4-acre agricultural site. The Applicant is proposing to re-purpose an existing agricultural outbuilding, in an effort to establish a rentable community space. A gravel/grass parking lot providing 85 spots is proposed. The existing barn is proposed to house portions of larger events, and shall be included in the proposal for re-purposing. Due to the close proximity of neighboring buildings, consideration will need to be given to noise control. An existing conditions plan should be provided for reference.

### **Utilities**

The site is currently served by a private water supply well and two on-site septic fields. No utility changes are proposed. Approval will be required from the Washtenaw County Health Department to verify that the existing septic fields are adequate for the increased use generated from the proposed site use.

### **Paving/Access/Traffic**

Access to the site will remain along Earhart Road through a 24' wide gravel millings drive. The Applicant is proposing a gravel/grass parking lot providing 11 spots to the north of and 74 spots to the west of the existing outbuilding. The Applicant shall provide dimensions for the proposed parallel parking. Access to the existing outbuilding and barn must meet all applicable ADA requirements regarding van accessible parking spaces and dedicated access ways into the buildings. The Applicant shall include provisions for allowing adequate space for emergency vehicle access and circulation in the main parking lot area, and shall define all parking areas by gravel, cut lawn, sand, or other visible marking.

According to the Applicant's proposal, 65 directional trips are estimated to occur at the peak operation of the proposed re-purposed site. *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities* requires traffic impact assessments for developments with more than 50 directional trips during the peak operational hours. Based on this criterion, we recommend a traffic impact assessment be performed and reviewed prior to consideration for approval.



### **Drainage/Grading**

A pond exists on the west end of the site. No other stormwater management facilities have been provided on the Conditional Use plan. Additional information regarding proposed stormwater management shall be provided with the site plan submittal.

No existing or proposed contours or spot grades have been provided on the plan, so it is unclear what grading changes may be proposed with the site improvements. This information shall be provided with the site plan submittal.

### **Recommendations**

As submitted, the Conditional Use application does not appear to be in substantial compliance with the Township requirements. We recommend that the following comments be addressed prior to submitting a conditional use application to the Planning Commission for their consideration. Please note that additional comments may be generated on future reviews based upon the material presented.

1. A site plan and survey drawing, correlated with legal description showing all existing site buildings, drives, and improvements must be submitted with a Conditional Use application.
2. A traffic impact assessment shall be prepared by the applicant and submitted for review.
3. A minimum lot area of ten acres is required by the Northfield Township Building & Zoning Department and may require a variance.
4. A 200-foot open buffer on all sides of the property not abutting a roadway is required by the Northfield Township Building & Zoning Department and may require a variance.
5. Additional noise control may be required by the Northfield Township Building & Zoning Department or may require a variance.

Please feel free to contact Jacob Rushlow at (734) 466-4517 or [jacob.rushlow@ohm-advisors.com](mailto:jacob.rushlow@ohm-advisors.com) if you have any questions or concerns regarding this review.

Sincerely,

**OHM ADVISORS**

A handwritten signature in blue ink that reads "Jacob Rushlow". The signature is written over a horizontal line.

Jacob Rushlow, P.E.  
Township Engineer

cc: Howard Fink, Township Manager (via e-mail)  
William Wagner, Public Safety Director (via e-mail)  
Pam Boegler, Northfield Township (via e-mail)  
Kurt Weiland, Building/Zoning Official (via e-mail)  
Marlene Chockley, Planning Commission Chair (via e-mail)  
Doug Lewan, Carlisle/Wortman Associates (via e-mail)  
Kenneth Cousins, Engineering Technologies Corporation (via e-mail)  
Rohani Foulkes (via e-mail)  
Matthew Lenhoff (via e-mail)  
File

**Northfield Township**

**Conditional Use Application Form**

Applicant  
Name ROHANI FOULKES  
Address 9623 EARHART RD.  
SOUTH LYON - MI 48178  
Phone 845 915 0132

Owner  
Name \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_

If applicant is NOT the property owner, then a statement from the owner MUST be attached authorizing the application.

**RECEIVED**

MAR 12 2015

**NORTHFIELD TOWNSHIP**

\_\_\_\_ Statement has been attached, applicant is not owner  
 Applicant is owner

Parcel ID number B-02-01-200-022  
Address 9623 EARHART ROAD SOUTH LYON  
MICHIGAN. 48178  
Zoning District AR  
Development Name Fete Farm  
Proposed Use Agricultural Commercial Tourism business  
General Location Off Earhart Road between 7 Mile and  
8 Mile Roads  
Applicants Interest in Property Owner

Conditional Use is sought under Section 36-730  
of the Northfield Township Zoning Ordinance.

An application for a conditional use permit shall contain the following information:

- Proof of ownership
- Legal Description
- Scaled and accurate survey drawing, with existing building, drives and other improvements
- A detailed description of the proposed use
- A site plan, meeting the requirements of a preliminary site plan, as set forth in Section 64.03, herein.

\_\_\_\_ Fee of ~~\$500.00~~ for CUP / ~~\$500.00~~ for PSP = ~~\$1,100.00~~ as established by Northfield Township Board, must accompany application.

I have read the attached provisions of the Northfield Zoning Ordinance in regards to Article 63.0, Conditional Use and understand a public hearing will be established within sixty-five (65) days of the filing date.

Date 3/11/15 Applicant [Signature]

The Northfield Township Planning Commission has reviewed the particular circumstances of the above proposed use relative to Section 63.0 Conditional Uses; and

**Approved / Disapproved** same on \_\_\_\_\_, 20\_\_\_\_. Supporting evidence is attached.

Conditions imposed on the conditional use of the above described property are as follows:

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Breach of such conditions shall automatically invalidate this permit.

\_\_\_\_\_  
Chair, Planning Commission

\_\_\_\_\_  
Date

\_\_\_\_\_  
Secretary, Planning Commission

\_\_\_\_\_  
Date

I / We \_\_\_\_\_ applicant (s)  
for this Conditional Use application and permit hereby agree to comply with the above imposed conditions as specified by the Northfield Township Zoning Ordinance and the Planning Commission of Northfield Township.

Date \_\_\_\_\_  
\_\_\_\_\_

RECEIVED

MAR 12 2015

NORTHFIELD TOWNSHIP

# Fete Farm

## Cultivate - Collaborate - Celebrate

**9623 Earhart Road, Northfield Township // Site Plan Program**

### **Proposal Summary**

The owners of 9623 Earhart Road, South Lyon an 8.42 acre property zoned Agricultural (AR), seek a conditional land use permit. Approval will be applied to the re-purposing of an existing outbuilding for Agricultural Commercial/Tourism Business to establish a community space. Complementary to primary agricultural efforts, the re-purposed structure would act as a multi-purpose space to host community and educational events. Such events would include program offerings associated with the production, preservation and consumption of food and nutrition practices as well as provide an organized meeting space to accommodate special events such as graduations, family reunions and weddings.

*Applicants and Property owners // Rohani Foulkes & Matthew Lenhoff*

*Property // 9623 Earhart Road. South Lyon, MI. 48178*

*Parcel ID // B -02-01-200-022*

*Rohani Foulkes // (845) 915 0132 // rfou30@gmail.com*

*Matthew Lenhoff // (734) 276 8627 // mlenhoff@gmail.com*

# Fete Farm

Cultivate - Collaborate - Celebrate

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# Fete Farm

Cultivate - Collaborate - Celebrate

## Background Information

### Rationale

*"It is key to support new and beginning farmers and ranchers. They are our future and we must do everything we can in the present to enable them to get started and to help them share in and grow the successes of American agriculture."*

*The United States Department of Agriculture (USDA) Deputy Secretary Krysta Harden.*

The nature of conventional farming has changed. Declining prices for agricultural commodities, costly technologies and intensified global competition by foreign producers have all contributed to problems faced by today's existing and new generation farmers. At the same time, farmland in the state's suburban fringe is valued more highly. According to the USDA, non-traditional forms of income are becoming typically more important to farm owners and new generation farmers are looking to innovative commerce opportunities to establish sustainable farming endeavours. Not uncommon in generational farm enterprises in the last decade has seen increased utilization of the natural appeal of resources and amenities available on their farms and in their operations, most recently termed "Agritourism".

Reports studying the impact of Agritourism in Michigan found benefits of such enterprises to include the customer's personal experience with farm product, activity, and transaction processes while providing additional income so owners are able to maintain a way of life and keep a family farm. Important benefits of Agritourism to the state include maintaining the viability of agriculture in Michigan, increasing understanding of agriculture among non-farmers, and preserving open space and farmland while keeping Michigan tourists' dollars in-state.

Our project will complement our primary agricultural land use but also aims to generate revenue to sustain and hopefully grow those functions while contributing to our community in a broader, innovative and valuable way. Approving a conditional land use permit for commercial/tourism in the township will be encouraging new agriculturally based businesses that contribute to the general economic conditions of the Township and surrounding region.

### Purpose

*Develop a workable space offering valuable resources year round.*

Our existing Agricultural (AR) zoned property contains 8.42 acres with outbuildings and a residential homestead. Our primary function will be a peri-urban farm growing small scale specialty items sold to generate local commerce. We are committed to preserving our property's agricultural integrity and aim to utilize innovative farming and related resource activities to sustain this effort. We believe that utilizing the full potential of our property and personal skills will lead to greater sustainability and functionality. We propose the re-

# Fete Farm

Cultivate - Collaborate - Celebrate

purpose and use of our unique outbuilding as an organized community meeting space. Uses would include the cultivation, education and celebration of our practice and passion for agricultural preservation. Re-purposing aims to include community/agriculture use such as the cultivation of plants and a community space to accommodate education and celebration type events and allow for many more years of viable use of our property and outbuildings.

## Mission Statement

Our mission is to contribute to the promotion of a healthful environment, provide commerce for future growth in our community and establish economic sustainability for our farm. We aim to achieve this through creative initiatives that complement our natural environment and provide for community engagement and prosperity.

<p><b>Goal</b> <i>Cultivate - Educate – Celebrate</i> Develop a workable space offering valuable resources year round.</p>	<p><b>Goal</b> <i>Collective Commerce</i> Provide opportunities for collective commerce</p>	<p><b>Goal</b> <i>Economic sustainability</i> Establish a maintainable revenue making enterprise</p>
<p><b>Objective</b></p> <p>Land use to grow warm season produce as well as contained use production for limited cold season yields.</p> <p>Identify and offer opportunities related to food and recreation for educational and social engagement throughout the year.</p>	<p><b>Objective</b></p> <p>Develop on-going seasonal partnerships with other cultivation and nutrition ed organizations to maximize our scope and abilities.</p> <p>Engage local business to offer contracted one time trade opportunities.</p> <p>Create a customer referral program to complementary local business offering periodical commerce.</p>	<p><b>Objective</b></p> <p>Generate adequate income to sustain our farming enterprise.</p> <p>Develop our scope and abilities.</p> <p>Identify and establish a client base.</p>

## Owner Profiles

### Rohani Foulkes

Originally from Queensland Australia, Rohani Foulkes has an extensive background working in food, education, community development and event organization. A trade qualified chef, experienced educator and knowledgeable community program coordinator she currently works as a Program Coordinator, for the national organization Share our Strength, at Gleaners Community Food Bank in Detroit. She works to increase access to and

# Fete Farm

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knowledge about local food, promote healthy habits and teach basic skills as well as found and develop community event and engagement programs. With a collective 20 years of experience working in culinary arts, food access, community education, and event management, Rohani holds an Undergraduate Degree in Education, a Master's Degree in International Education & Policy Development and many years of community program and event organization. She is a highly organized and detail-oriented educator and event manager with a passion for building sustainable relationships that promote valuable community experiences.

## **Matthew Lenhoff**

Matt Lenhoff has years of experience in management in a variety of industries. Working with diverse groups of people has taught him to value the different perspectives. Matt grew up in the Metro-Detroit area. After a decade away in New York City he has come back to enjoy the bucolic surrounds of South Lyon. With an interest in agriculture and farming, but without the experience, he is hoping to learn as much as he can from those around him about a new way of life. While in New York, Matt worked for the Word Trade Center Medical Monitoring Program, which reinforced the value of working with the community to make a positive difference and the fulfillment found in forging strong community bonds. He is looking to do the same in his new community.

## **Project Details**

### **Required Standards and Findings for Making Determinations**

*A. Will be harmonious with and in accordance with the general objectives, intent and purposes of this Ordinance;*

With respect to allowable land uses set forth in Sec. 36-838, Article xxvii – Conditional Uses, our project's scope is of a commercial/tourism nature that is complementary and accessory to the primary agricultural land use of our property within the AR Zoning District of Northfield Township. Should our application for conditional use as an organized meeting space (e.g. for use by weddings, birthday parties, and corporate events.) and activities such as community education and educational tours be approved, it is our foremost intent to preserve and sustain the agricultural uses and history of our property while promoting new agriculturally based businesses that contribute to the general economic conditions of the Township, its residence and our surrounding community. We aim to do this by sustaining small scale farming practices, minimizing the physical and aesthetic modifications of our project to preserve rural character and limit any disruptive impact on neighboring properties.

*B. Will be designed, constructed, operated, maintained and managed so as to be*

# Fete Farm

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*harmonious and appropriate in appearance with the existing or intended character of the general vicinity;*

The project shall be designed to minimize alteration of the natural environment in accordance with Sec. 36-838, Article xxvii – Conditional Use. As demonstrated in the site plan, our project will not require additional streets, drainage or other public facilities nor will it cause significant impacts on the existing public infrastructure. Use density including traffic, septic, water, parking and noise will be addressed. Where relevant, impact to neighboring properties will be minimized, as outlined in the detailed “Operational Information” below. The project will uphold required standards set forth by Northfield Township and adhere to expert civil engineer, landscape and sound technician advice.

The landscape plan will be designed to achieve harmonious integration with various elements of the property. The plan will preserve and enhance the identity and character of the site, screen or filter views, where necessary; help unify the various parts of the site, blend inharmonious land uses, buffer incompatible uses, control soil erosion, moderate harsh or unpleasant sounds and create a more usable microclimate.

*C. Will be compatible with the natural environment and existing and future land uses in the vicinity;*

Our property, as described on page 64 of the Townships Master Plan, falls within a significant concentration of active farmlands, therefore zoned Agricultural and is considered of primary crop and/or livestock production land use. Accordingly, our primary focus is on the maintenance of a small scale agricultural operation as well as the preservation of our woodland, wetland, habitat for wildlife and open space. It is our understanding that the preservation of natural resources is essential to maintain the character and quality of life for the current and future residents and workers in Northfield Township and for those who may visit the Township to participate in recreational or other activities.

Specific natural features on our property include forested wetland, woodland and open space that act as habitat for wildlife species and groundwater recharge. As described on page 63 of Northfield Township’s Master Plan, our property contains forested wetland, an indispensable fragile resource providing many public benefits, including maintenance of water quality through nutrient cycling and sediment trapping as well as flood and storm water runoff control through temporary water storage, slow release, and groundwater recharge. In addition, wetlands provide open space, passive outdoor recreation opportunities, fish and wildlife habitat for many forms of wildlife, including migratory waterfowl, and rare, threatened or endangered wildlife and plant species and pollution treatment by serving as biological and chemical oxidation basin. Preservation of the remaining Township wetlands in a natural condition is necessary to maintain hydrological, economic, recreational, and aesthetic natural resource values for existing and future

# Fete Farm

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residents. Wetlands provide force for groundwater recharge and discharge to other waters as well. Groundwater recharge, typical in small wetlands, can contribute significantly to recharge of regional groundwater resources. Thoughtful landscaping and open space preservation will significantly aid in decreasing the impact of human activities including paving, development, or logging which can result in reduced habitat and water recharge activity.

Our property's woodlands are defined as low-density forest supporting an under growth of various shrubs plants and grasses. Our woodland exists in association with a wetland and remains intact because of its minimal agricultural value. This natural feature does however provide habitat, habitat linkages, and scenic features as well as act as an important physical, aesthetic, recreational and economic asset for both present and future generations. Specifically, it is found that this combined natural wetland and woodland feature provides for public safety through the prevention of erosion, siltation, and flooding, protects public health through the absorption of air pollutants and contamination, trees, vegetation, and associated natural resources provide a material aspect of the character of the Township and serve as an essential component of the general welfare by maintaining natural beauty, recreation, and irreplaceable natural heritage.

Our projects development and landscape plan will prohibit the unnecessary removal of trees on undeveloped land and provide for the protection, preservation, proper maintenance, and use of trees and woodlands in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat.

*D. Will be compatible with the Northfield Township Land Use Development Plan;*

Our projects design, construction, operation, maintainance and management aims to be harmonious and appropriate with the existing and intended character and land use of the general vicinity. It is our intent that the project will promote new agriculturally based businesses while being complementary to the agricultural heritage of our property through supporting cultivation practices, maintaining rural character and preserving open space.

*E - G. Will be served adequately by essential public facilities and services, such as highways, streets, police, and fire protection, drainage structures, refuse disposal or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; Will not be hazardous or disturbing to existing or future neighboring uses; and Will not create excessive additional requirements at public cost for public facilities and services.*

The project shall be designed to minimize alteration to the natural environment as well as the impact on essential public facilities and services and shall achieve this through adhering to the detailed specifications set forth by an expert site plan that addresses and

# Fete Farm

Cultivate - Collaborate - Celebrate

complies with all Township Ordinances and design standards, and any other applicable county and public service departments. Our project will be backed by an expert site plan adhering to detailed Northfield Township requirements for conditional land use of a Commercial Tourism Business nature. Accredited civil engineer and landscaping services as well as the requirements of local health, fire, disposal and other relevant departments will be adhered to. As will be seen in the expert civil engineer's site plan, our project will not require additional streets, drainage or other public facilities, nor will it cause significant impact on the availability of already available public infrastructure. Use density including traffic, septic, water, parking and noise will be addressed, where relevant, impact to neighboring properties will be minimized, as outlined in the detailed "Operational Information" below. The project will uphold required standards set forth by the Township and adhere to expert civil engineer, landscape and sound technician advice.

## **Criteria of Site Plan Review**

The proposed use aims not to be injurious to the general health, safety and welfare of the Township and surrounding neighborhood. The site plan will address and comply with all Township ordinances and design standards, and any other applicable laws. Criteria A-N of the Site Plan Review will be addressed by the civil engineer site plan and in accordance with all other necessary county and public service departments.

## **Phasing of Development**

Phase I - Use rear of property for events with temporary tent facilities

Phase II - Use of Arena as indoor event space

## **SUPPLEMENTARY REGULATIONS AND STANDARDS**

### **Agricultural Commercial/Tourism Business**

The Agricultural Commercial/Tourism Businesses permitted after conditional land use review (Article xxvii), pursuant to Section 36-730 of Article xxiv.

### **Operational Information**

*Conditional Land Use Permit - detailed description of the proposed use pertaining to Agricultural Commercial/Tourism Business.*

### **Management of the property**

Property owners: Rohani Foulkes & Matthew Lenhoff

### **Areas of the property to be used including all structures on site**

Existing driveway, proposed parking area, rear paddocks, and large outbuilding.

# Fete Farm

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## Months of operation

Year round – fruit, vegetable and flower cultivation & care of small animals i.e. chickens/sheep

Including the months May-October - 1 small education/tour & 1 special large event per week

## Hours of operation

10am – 8pm; 1 education/tour event per week anticipated to be no longer than 4 hours

Friday & Saturday 9am – 11 pm; one special large event per week

## Anticipated number of customers

40 attendees per small event

Up to 250 attendees per large Events

## Outdoor event space

Pond/Gazebo Area

Paddock Fenced Area at rear of large outbuilding

Temporary Tent Space

## Indoor event space

Large Outbuilding

**Design features** shall take into account the following specific design considerations, as necessary to ensure compliance with all applicable regulations and to ensure the compatibility of the project with adjoining properties and the general area in which the property is located:

- The preservation of natural resources and natural features.
- Landscape screening and buffering with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.
- Perimeter setbacks.
- Utility design with respect to location, availability, ownership and compatibility.
- Underground installation of utilities.
- Installation of separate pedestrian ways apart from vehicular streets and ways.
- Achievement of integrated and harmonious development with respect to signs, lighting, landscaping and construction materials.
- Landscape and insulation noise reduction and visual screening mechanisms from adjoining residential uses
- Ingress and egress to the property with respect to automotive and pedestrian safety and convenience, traffic flow and control, street capacity, and emergency access.

# Fete Farm

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- Landscape screening and buffering with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.

## **Noise Control measures**

Areas of the property to be used including all structures on site;

Existing driveway, proposed parking area, rear paddocks, large outbuilding

**Noise control** will be accomplished through the following land and resource utilization Primary sources of noise to adjoining properties would include music, dancing and general conversation. Such activities will be confined to the indoor event space with little to no outside noise to disturb neighbors

- Events will end no later than 11 pm.
- Buffer plantings shall be provided along the property line where there is an abutting residence, with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.
- Landscape and insulation noise reduction and visual screening mechanisms from adjoining residential uses.

## **Anticipated traffic**

Approximately 30 vehicles per small event, and approximately 80 vehicles per large event, with a maximum attendance of 250 for large events, the project would see a traffic increase of maximum 85 vehicles. It is anticipated that most people will arrive close to event start times, increasing traffic by approximately 65 vehicles in an hour max peak period.

## **Parking**

Parking facilities will be located on a grass or gravel area, defined by either gravel, cut lawn, or other visible marking and located in such a manner to avoid traffic hazards associated with entering and exiting the public roadway.

**Noise control landscape and parking** design features shall also take into account the following as necessary to ensure compliance with all applicable regulations and to ensure the compatibility of the project with adjoining properties and the general area in which the property is located:

- Perimeter setbacks.
- Utility design with respect to location, availability, ownership and compatibility.
- Underground installation of utilities.
- Installation of separate pedestrian ways apart from vehicular streets and ways.
- If required, installation of separate vehicular access
- Achievement of integrated and harmonious development with respect to signs, lighting, landscaping and construction materials.
- Landscape and insulation noise reduction and visual screening mechanisms from adjoining residential uses

# Fete Farm

Cultivate - Collaborate - Celebrate

- Ingress and egress to the property with respect to automotive and pedestrian safety and convenience, traffic flow and control, street capacity, and emergency access.
- Off-street parking, loading, refuse and other service areas with respect to ingress and egress and the potential effects of noise, glare, vibration and odor emanating from such facilities on adjoining properties or uses.
- Landscape screening and buffering with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.
- The preservation of natural resources and natural features.
- The preservation of natural resources and natural features.
- Landscape screening and buffering with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.
- Perimeter setbacks.
- Utility design with respect to location, availability, ownership and compatibility.
- Underground installation of utilities.
- Installation of separate pedestrian ways apart from vehicular streets and ways.
- Achievement of integrated and harmonious development with respect to signs, lighting, landscaping and construction materials.
- Landscape and insulation noise reduction and visual screening mechanisms from adjoining residential uses
- Ingress and egress to the property with respect to automotive and pedestrian safety and convenience, traffic flow and control, street capacity, and emergency access.
- Landscape screening and buffering with the respect to dimensions and character of our own yard areas and other open space as well as that of adjoining properties.
- Maintenance plan for disposal
- General Waste – Regular contracted disposal
- Recyclables - Private company
- Perishables - Private Caterer to remove all perishables at completion of an event

## **Delivery/Loading Operations**

Delivery and loading areas will be incorporated into the overall design of the site layout and the landscaping so that the visual and acoustic impacts of these functions are contained and out of view from adjacent properties and public streets. No delivery, loading, trash removal or compaction, of other such operations will occur between the hours of 7:00 PM and 7:00 AM.

## **Proposed signage**

“Fete Farm” name at property frontage – with address per Northfield Township requirements.

## **Proposed lighting**

Any proposed lighting (Entrance, Parking, Walkways, Landscape, Sign) will be in conformance with Northfield Township requirements, and will generally be low wattage directed away from neighbors and Earhart traffic. Lighting placement and design will

# Fete Farm

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remain in keeping with the rural and small town character of Northfield Township, to promote safety and security, will reduce off-site lighting impacts, will prevent the reflection and glare of light in a manner, which creates a nuisance or safety hazard to operators of motor vehicles, pedestrians, and neighboring land uses, and will promote energy efficiency.

## **Anticipated number of employees**

2-4 on-site and up to 10 external vendor. An Owner's manager will be on the site at all times during every event.

## **Restroom facilities**

The proposed indoor event space is currently equipped with one functioning toilet and hand washing sink. Additional toilet and washing facilities will be provided by professional, temporary, portable facilities, screened from view and serviced regularly.

## **Vendor facilities**

The indoor event space is equipped with a private area intended to be used as a staging area only. With access to water and electricity for food warming and serving only. No cooking is proposed on the site, and caterers will be responsible for providing all other requirements for preparation, serving, clean-up and removal of all trash and perishable remains.

## **Phasing of Development**

An applicant may divide a proposed development into two (2) or more phases with the approval of the Planning Commission. Such phasing shall be in conformance with Sec. 36-868 of Article xxviii.

Phase One - Events in tent/outdoor event area, beginning in 2015

Phase Two - Events in the existing large Arena upon completion of required interior code improvements

## **Project Personnel**

### **On-site Personnel**

Property owner and venue manager Rohani Foulkes will manage the business with the support of partner Matthew Lenhoff. Operations will likely require the aid of facilities assistants and contracted work from labor and accounts specialists on a needs basis. Outlined below are personnel and potential commerce relations. Venue Managers duties will include overseeing the general operation, sales, marketing accounts and human resource management of the business. Operations will include communication and collaboration with clients and outside businesses, general maintenance and staff management Assistants, reporting to the Venue Manager, duties will include assistance with general site maintenance and operation, human resource management and communication with clients and outside businesses.

# Fete Farm

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## Partner Opportunities

*Provide opportunities for collective commerce*

The project is founded on a model of collaboration, engaging local business, and aims to contribute to future township growth. Operations will effect on-going opportunities to form partnerships with various local businesses.

Cultivate	Educate	Celebrate
Farms	Libraries	Caterers/Restaurants
Farmers Markets	Community Centers	Lanscaping
Schools	Town Halls	Hairdressers & Beauticians
Restaurants	Artists	Transport & Rental companies
Supply companies	Specialty Artisians	Florists
Food Banks (Gleaning)	Farms	Photographers & Videographers
Specialty Artisians	Farmers Markets	Carpenters
Gernal stores/Providors	Schools	Lanscaping
Lanscaping	Restaurants	General labor services
General labor	Lanscaping	Accommodation services
Carpenters	General labor	Cleaners
Irrigation services	Carpenters	Event coordinators & Designers

## Comparable establishments

### Brighton Township

*Stone Coop Farm* offers clients a CSA membership and sells at farmers market and wholesale. The farm is active in the community, offering regular farm tours and donating produce for Gleaners Community Food Bank. The farm strives for sustainability in farming practices as well as maintaining a vibrant ecosystem.

*Tutthill Farms* offers Equine therapy and Equine Assisted Therapy workshops for anxiety, eating disorders, addiction and more.

### Milford Township

Lazy J's offers 2 event spaces situated on 30 acres in the farming area of Milford, Michigan. Scio Township

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*Misty Farm* is an outdoor community space with a 2400 sq. ft. barn and can accommodate up to 130. *Misty Valley*, the partner space, located only 1/2 mile east, can accommodate up to 275 people.

## Springfield Township

*Ellis Barn* is a county owned historical barn in Davisburg MI boasting a large historical barn and outdoor event spaces.

*Upland Hills Farm* is a large multi purpose farm in Oxford MI, with multiple structures and spaces on offer. Limited services are available at each site, with some farm related and staffing extras available.

## Rochester Hills

*Van Hoosen Barn and the Rochester Hills Museum* at Van Hoosen Farm is available for indoor and outdoor events located in historic Stony Creek Village.

## Webster Township

*Tantré Farm* produces organic produce, while serving as an educational, sustainable, and social network for their community. Offering a CSA, Farm' Market, Farm-to-School program, tours, community pot luck, internships and various other educational events.

*Zingermans Cornman Farms* sits on a 42 acre parcel of land outside of Dexter. The barn offers a venue to support Zingerman's vision of farm-to-table dining and a dynamic, unique event space.

*Firesign Family Farm* is located on 53-acres, Firesign Family Farm offers a "Hands On" opportunity to experience the day-to-day operation of a small family farm. Other programs include animal husbandry, Cheese, butter and yogurt making, plant growing, harvesting, usage and preservation, Bread baking, animal butchery and farm tours.

*Cottonwood Barn* is situated on five acres in north central Washtenaw County at 4569 Farrell Rd, the resored barn boasts 3600 square feet of renovated space.

*Redtail Farm* is set on 32 acres 5 minutes from the Village of Dexter. The pole barn seats up to 70 guests for events.



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MAR 12 2015

NORTHFIELD TOWNSHIP

10 March 2015

Northfield Township Planning Commission  
8350 Main Street, Suite A  
Whitmore Lake, Michigan 48189

RE: **Fête Farm** Agricultural Commercial/Tourism Business – Conditional Use  
Preliminary Site Plan 9623 Earhart Road

Dear Commissioners,

Over the past several months the owner of the above property has been in discussion at Northfield Twp with Howard Fink, Manager, Kurt Weiland, Zoning Administrator and Doug Lewan, Planner regarding the development of an event barn business in Northfield Township. Engineering Technologies Corporation is the design engineer for the site plan for the Conditional Use under the recently adopted Section 36-730 AG Commercial/Tourism Business ordinance.

The concept plan was reviewed for preliminary Zoning Compliance, which identified that the plan will need consideration by the Planning Commission for potential variance from the 10 acre requirement and the 200 foot buffer setbacks for this proposed Commercial/Tourism use on the existing AG 8.42 acre parcel. This property is a legally existing parcel site that meets all required setbacks and uses of the AG district, including raising crops and farm animals. This parcel is ideally situated for the proposed Commercial/Tourism use with a large, existing barn located at the rear of the property that is suitable to host events. The proposed conditional use is compatible with the on-going agricultural uses on the property.

The existing barn is well situated away from the existing neighboring residential uses on the adjacent properties with natural screening, as well as good isolation distances. Safe access to the site is provided onto Earhart Road that has very good sight distance, and sufficient capacity for the additional traffic generated by this proposed commercial use. Attached please find a scaled aerial map of the property, along with a preliminary layout of the proposed uses on the Fête Farm property, as discussed with the Twp staff and planner. If you have any questions or require any additional information, please contact us or the Owner at your earliest convenience.

Sincerely,  
Engineering Technologies Corporation

A handwritten signature in black ink, appearing to read 'Kenneth Cousino', written over a horizontal line.

Kenneth Cousino, P.E., President

Cc: Rohani Foulkes, Owner

Encl: Site Plan Review and Conditional Use Applications w/ Review Fees (\$2,045)  
Proposed Events Program & Site Plan Layout (2 Sheets)

**NORTHFIELD TOWNSHIP**  
SITE PLAN REVIEW APPLICATION

**PROJECT NAME:**

**PROJECT ADDRESS:** 9623 EARHART RD, SOUTH LYON MI 48178

**Applicant Information:**

**Owner Information:**

Name: ROHAMI FOLICKES

Name:

Address: 9623 EARHART RD, SOUTH LYON

Address:

Phone: 815 915 0132

Phone:

Email: FETE FARM @ GMAIL . COM

Email:

If the applicant is not the property owner, then a statement from the owner **MUST** be attached authorizing the application.

Proof of ownership OR Statement if applicant is not owner is attached.

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If applicant is not the owner, describe applicant's interest in the property

**PROPERTY DESCRIPTION**

**Legal Description:**  Attached  On Site Plan

**Parcel ID(s):**

NORTHFIELD TOWNSHIP

**Description of Proposed Use:**

Community events facility under Section 36-730  
Agricultural commercial Tourism business

**Total Acreage of Site:**

8.42 acres

**Total Floor Area:**

Existing: 12,573 SF Barn

Proposed: N/A No change

**Height of Structure(s) (In stories & feet):**

Barn is approx. 30 feet tall

**Sanitary Facilities:**  Sewer  Septic

**Water:**  Municipal  Private Well

**Zoning Classification(s):**

RC  AR  LR  SR1  SR2  MR  VC  LC  GC  ES  HC  GI  LI  Other \_\_\_\_\_

**SITE PLAN REVIEW OPTIONS**

**Administrative Site Plan Review:**

- Expansion or reduction of an existing, conforming structure less than 2,000 sq. ft. / 5% of floor area
- Additional parking, loading / unloading spaces and landscape improvements

**Site Plan Review:**

- New Construction
- Building Addition

Conditional Use Site Plan

**Development Plan Review:**

- Planned Unit Development
- Planned Residential Development
- Site Condominium Plan

**Amendment to Approved Site Plan or Development Plan:**

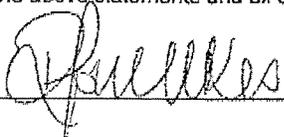
- Site Plan
- Development Plan

Site or Development Plan Review in conjunction with:  Rezoning Request  Special Land Use Request

Application # \_\_\_\_\_

**AUTHORIZED SIGNATURE**

I hereby state that all of the above statements and all of the accompanying information are true and correct.

Applicant's Signature:  Date: 5/16/2015

**FOR OFFICE USE ONLY**

Application Received Date: \_\_\_\_\_ Planning Commission Received Date: \_\_\_\_\_

Planning Commission Action:  Approved Date: \_\_\_\_\_  Denied Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Fee Received:  Cash  Check # \_\_\_\_\_

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MAR 12 2015

LIBERTY TITLE AGENCY  
(734)677-3389

SCHEDULE C

NORTHFIELD TOWNSHIP

File Number: M105743

Policy Number: 72306-91792813

PARCEL A:

Part of a parcel of land in the Northwest fractional 1/4 of Section 1, Town 1 South, Range 6 East, Northfield Township, Washtenaw County, Michigan, said part being more particularly described as: Beginning at a point on the centerline of Earhart Road, distant from the North 1/4 corner of said Section South 88° West 390.72 feet along the North line of Section 1 to its intersection with the aforesaid centerline of Earhart Road; thence South 0°10' West 815.4 feet and South 2°10' West 536.2 feet along said centerline to the Point of Beginning; thence proceeding South 2°10' West 228.7 feet; thence South 88° West 951 feet; thence North 0°17' 45" West 228.2 feet; thence North 88° East 960.8 feet to the Point of Beginning.

PARCEL B:

That part of a parcel of land in the Northwest fractional 1/4 of Section 1, Town 1 South, Range 6 East, Northfield Township, Washtenaw County, Michigan, said part being more particularly described as: Beginning at a point on the centerline of Earhart Road; distant from the North 1/4 corner of said section; South 88° West 390.72 feet along the North line of Section 1 to its intersection with the aforesaid centerline of Earhart Road; thence South 0°10' West 815.4 feet and South 2°10' West 450.5 feet along said centerline to the aforesaid Point of Beginning; thence proceeding South 2°10' West 85.7 feet; thence South 88° West 960.8 feet; thence North 0°17'45" West 225.8 feet; thence North 88° West 481.5 feet; thence South 2°10' West 140.4 feet to a point; thence North 88° East 489 feet to the Point of Beginning.

Commonly known as: 9623 Earhart Rd, South Lyon, MI 48178.

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NORTHFIELD TOWNSHIP

KURT & LAUREL RATERING  
9513 EARHART RD  
TAX ID: B-02-01-200-014  
12.02AC

481.50'

140.60'

489'

ROHANI FOUKES & MATTHEW LENDHOFF  
9823 EARHART RD  
TAX ID: B-02-01-200-022  
ZONED AR AGRICULTURE  
8.42AC

RICHARD & ELVERA TRAPP  
9707 EARHART RD  
TAX ID: B-02-01-200-013  
1.58AC

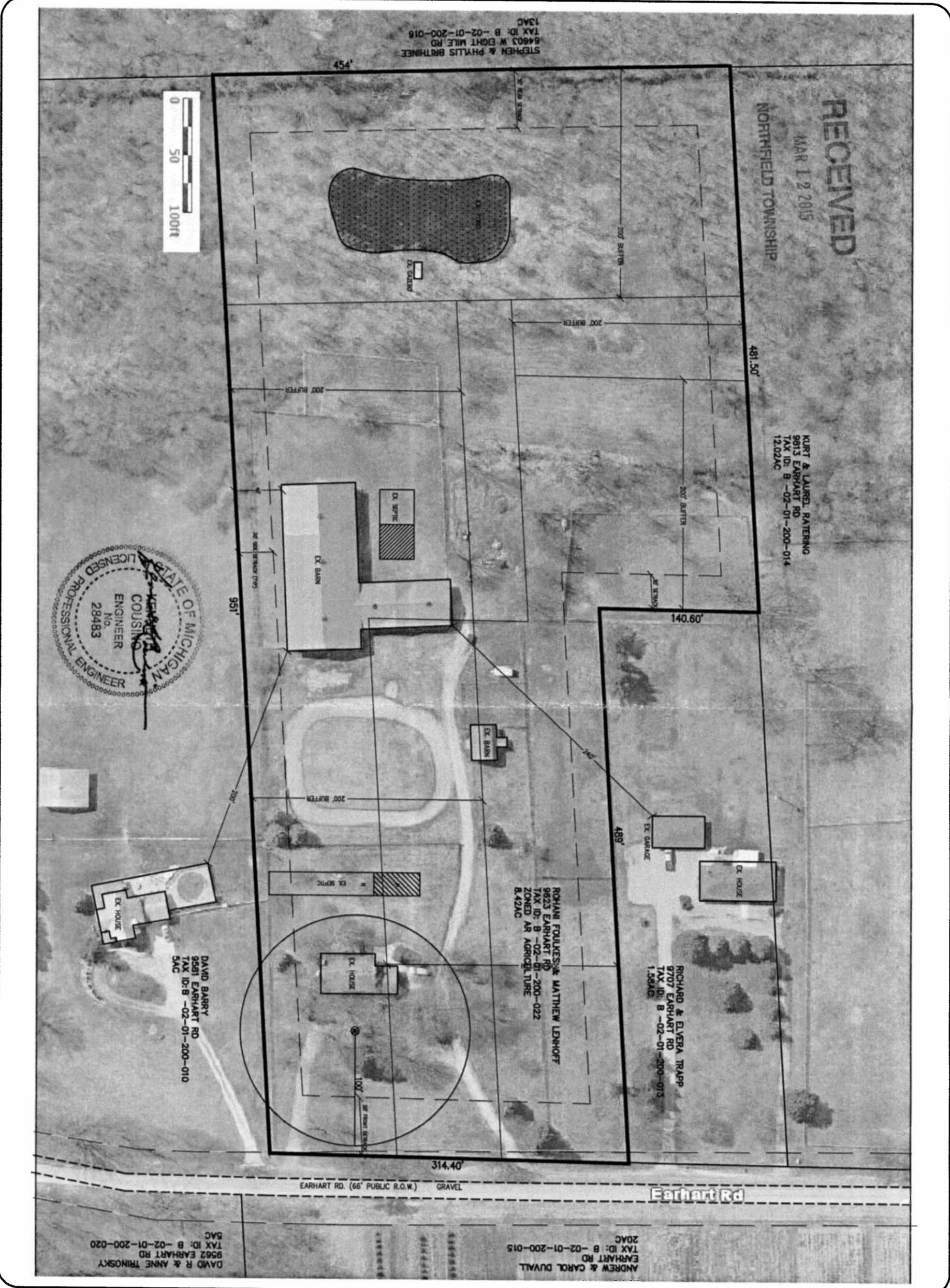
ANDREW & CAROL DUVALL  
EARHART RD  
TAX ID: B-02-01-200-015  
20AC

DAVID R & ANNE TRINOSKY  
9562 EARHART RD  
TAX ID: B-02-01-200-020  
5AC

DAVID BARRY  
9581 EARHART RD  
TAX ID: B-02-01-200-010  
5AC

STEPHEN & PHYLLIS BRTHINEE  
64603 W EIGHT MILE RD  
TAX ID: B-02-01-200-016  
13AC

454'



FETE FARM  
9823 EARHART RD.

OWNER:  
ROHANI FOUKES  
& MATTHEW LENDHOFF  
9823 EARHART ROAD  
SOUTH LINDA, MI 48178  
846.915.0132  
fete@fete.com

ENGINEER:  
ENGINEERING TECHNOLOGIES  
CORPORATION  
3824 CARMEN ROAD  
YPSILANTI, MI 48197  
TEL: (734) 904-7440  
FAX: (734) 888-3824  
ETOC@ETOC.COM  
WWW.ETOC.COM



SCALE: 1"=80'

REVISIONS:  
NO. DESCRIPTION DATE  
1.00 11 MARCH 2015

DATE: 11 MARCH 2015  
SHEET NO.: 1  
DRAWING TITLE: EXISTING CONDITIONS

**FÊTE FARM**  
9623 EARHART RD.

**OWNER:**  
ROHANI FOULKES  
& MATTHEW LENHOFF  
9623 EARHART ROAD  
SOUTH LYON, MI 48178  
845.915.0132  
fof@fete.com

**ENGINEER:**  
ENGINEERING TECHNOLOGIES  
CORPORATION  
3824 CARPENTER ROAD  
YPSILANTI, MI 48197  
TEL: (734) 904-7440  
FAX: (734) 988-3824  
ETOCORP.COM  
WWW.ETOCORP.COM



SCALE: 1"=80'

**REVISIONS:**

NO.	DESCRIPTION	DATE

**DESIGNED TITLE:**  
PRELIMINARY  
SITE PLAN  
LAYOUT

**DATE:**  
11 MARCH 2015

**SHEET NO.:**  
2.

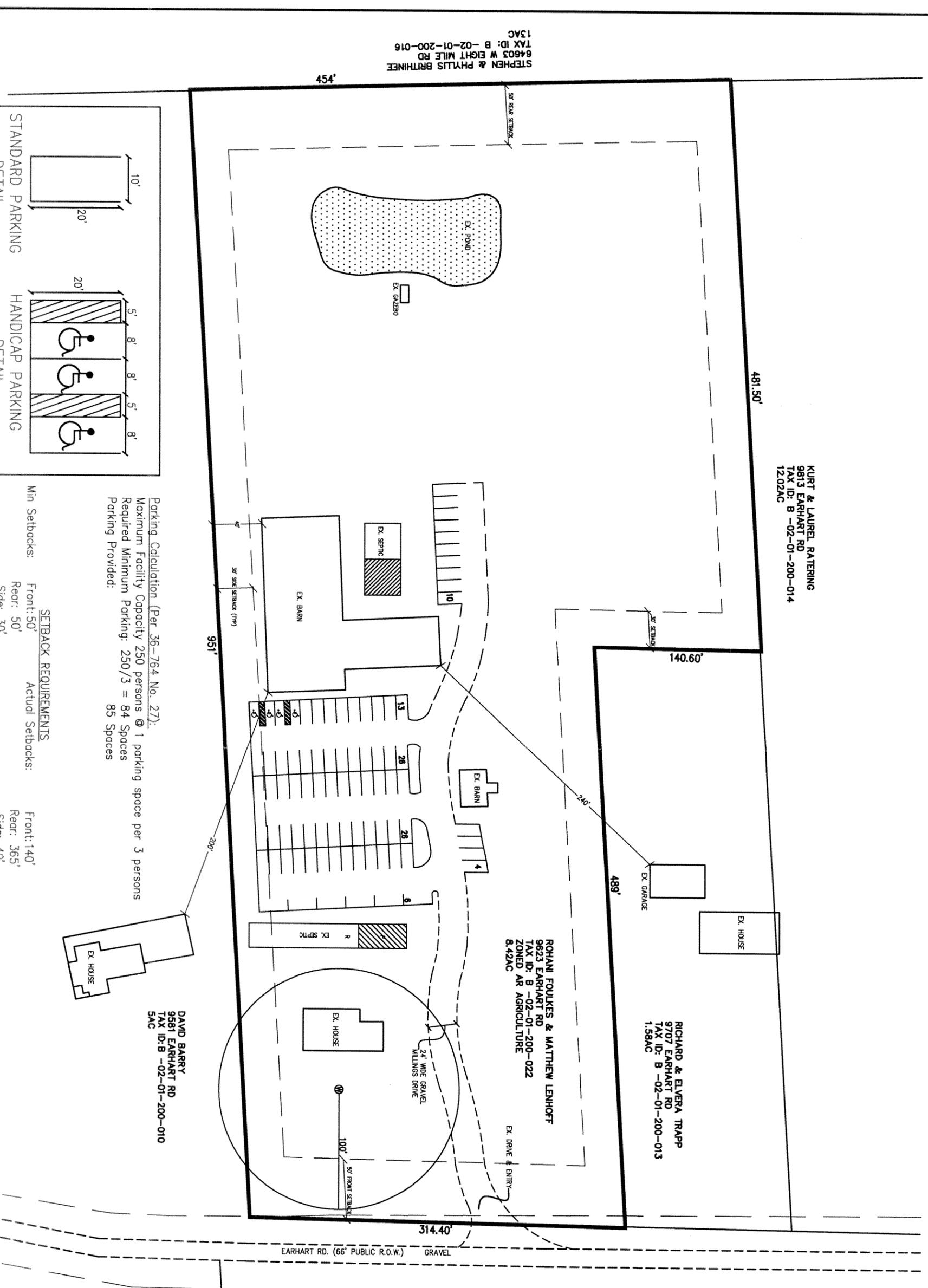
DAVID R & ANNE TRINOSKY  
9562 EARHART RD  
TAX ID: B -02-01-200-020  
5AC

ANDREW & CAROL DUVAL  
EARHART RD  
TAX ID: B -02-01-200-015  
20AC

RICHARD & ELVERA TRAPP  
9707 EARHART RD  
TAX ID: B -02-01-200-013  
1.59AC

ROHANI FOULKES & MATTHEW LENHOFF  
9623 EARHART RD  
TAX ID: B -02-01-200-022  
ZONED AR AGRICULTURE  
8.42AC

DAVID BARRY  
9561 EARHART RD  
TAX ID: B -02-01-200-010  
5AC



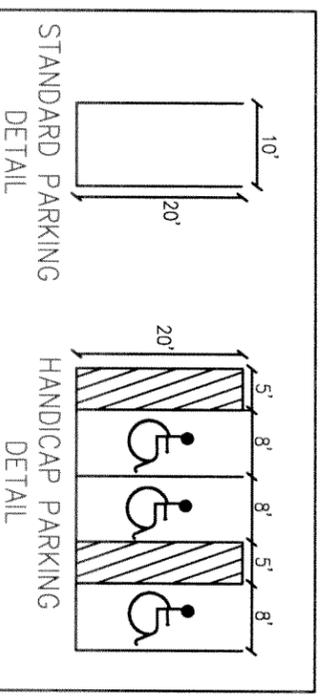
KURT & LAUREL RATERING  
9813 EARHART RD  
TAX ID: B -02-01-200-014  
12.02AC

STEPHEN & PHYLLIS BRITHINEE  
64603 W EIGHT MILE RD  
TAX ID: B -02-01-200-016  
13AC

Parking Calculation (Per 36-764 No. 27):  
Maximum Facility Capacity 250 persons @ 1 parking space per 3 persons  
Required Minimum Parking: 250/3 = 84 Spaces  
Parking Provided: 85 Spaces

**SETBACK REQUIREMENTS:**

Min Setbacks:	Actual Setbacks:
Front: 50'	Front: 140'
Rear: 50'	Rear: 365'
Side: 30'	Side: 40'



## Mary Kendall

---

**From:** Kurt Weiland <WeilandK@pittsfield-mi.gov>  
**Sent:** Monday, March 16, 2015 4:31 PM  
**To:** Mary Kendall  
**Subject:** RE: 9623 Earhart - Fete Farm

This is good information, I warned them that the zoning was just the beginning and that they should talk with an Architect to see what it would take for compliance with the State Building Code, but no they were going to go forward. She mentioned the other day that they were looking at having 300 people at a time. I believe if they have over 99 and serve food and drink the building would not only need to meet all building design standards but be sprinkled. The septic field alone is going to cost a chunk, but I warned them

---

**From:** Mary Kendall [<mailto:kendallm@twp.northfield.mi.us>]  
**Sent:** Monday, March 16, 2015 3:22 PM  
**To:** Kurt Weiland  
**Subject:** 9623 Earhart - Fete Farm

Kurt:

I do not know if you are aware that for 9623 Earhart Road – the pole barn that the owners are wanting to put a Commercial/Tourism business in - there was no Building Permit on that structure and no inspections were performed. That pole barn was an Ag Building – Permit #PZ040005 - ADDITION TO RIDING ARENA - AGRICULTURAL USE. No inspection has ever been called on this and is now expired.

Also, there was a building permit – pulled 2/19/2004 (which was Cancelled) #PB040012 - ERECT AN ADDITION TO EXISTING RIDING ARENA. EXISTING 8,955 SQ FT, NEW ADDITION 2,412 SQ FT FOR TOTAL OF 11,367 SQ FT. PERMIT CANCELED DUE TO CONFORMITY WITH STATE STATUTE - ZONING PERMIT ONLY. SEE LETTER DATED 04/04/04 IN FILE STATING FOR PERSONAL AGRICULTURAL USE - – this was cancelled 2/20/2004.

Just thought you should know.

Thanks,

*Mary Kendall*

**NORTHFIELD TOWNSHIP**

**Building Department**

8350 Main Street

Whitmore Lake, MI 48189

(734) 449-5000

(734) 449-0123 fax

[kendallm@twp.northfield.mi.us](mailto:kendallm@twp.northfield.mi.us)

*“When the power of love overcomes the love of power the world will know peace.”*

*Jimi Hendrix*

This e-mail and any attachments may contain confidential and privileged information. If you are not the intended recipient, please notify the sender immediately by return e-mail, delete this e-mail and destroy any copies. Any dissemination or use of this information by a person other than the intended recipient is unauthorized and may be illegal.

RECEIVED

MAR 23 2015

NORTHFIELD TOWNSHIP

March 23, 2015

Angela Westover, Clerk  
Northfield Township  
Whitmore Lake, Mi 48189

We recently received a letter in regards to the Fete Farm application to allow re-purposing of an existing outbuilding for Agricultural Commercial/Tourism Business at 9623 Earhart R. South Lyon, MI.

We object to this proposed application, because all it will do is decrease our property value and increase traffic on our road.

We have lived here since 1974 and have enjoyed the peace and quiet on Earhart Road, we do not need or want a Commercial/Tourism/Business in our neighborhood.

Please do not allow this proposed request to be approved.

Thank You

Richard & Sharon Hinkle  
9989 Earhart Rd.  
South Lyon, Mi. 48178

*Richard Hinkle*  
*Sharon Hinkle*



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: October 28, 2014  
Revised: December 10, 2014  
January 30, 2015  
March 20, 2015

## Site Plan Review For Northfield Township, Michigan

**Applicant:** Damrath Group, LLC – John Damrath

**Project Name:** Nowatzke Truck + Trailer, Inc. Fuel Center

**Plan Date:** October 10, 2014

**Revised Plan Date:** March 6, 2015

**Location:** 6900 Whitmore Lake Road (B-02-20-300-036)

**Zoning:** GC, General Commercial

**Action Requested:** Site Plan Approval.

**Required Information:** Deficiencies are noted in the sections below.

### PROJECT AND SITE DESCRIPTION

The applicant proposes to construct a new 2,285 square foot convenience store (as a renovation within the existing building), four (4) gasoline dispensers with canopy and three (3) diesel fuel dispensers with canopy.

Automotive service station, including minor repair services is listed as a conditional use in the GC, General Commercial zoning district. The applicant received a recommendation of Planning Commission approval for the conditional use request, and conditional use approval by the Township Board on September 23, 2014 with the following conditions of approval:

1. The traffic impact study be reviewed and approved by the County Road Commission as a part of the detailed site plan review process. (WCRC approved the Traffic Study – see letter from WCRC dated January 7, 2015.)
2. The applicant apply for full (detailed) site plan review.
3. Items 1 through 7 listed in the Engineer’s August 13, 2014 letter be addressed as a part of the detailed site plan review process and noted as such by Orchard, Hiltz and McCliment. (See Engineer’s review.)
4. Any non-conformities on the existing site be remediated according to the zoning ordinance. (Applicant is working through non-conformities with the building inspector.)

**Figure 1. - Aerial Photograph**



**AREA, WIDTH, HEIGHT, SETBACKS**

The dimensional requirements of the GC, General Commercial district are noted on the following page;

	<u>Required</u>	<u>Provided</u>	<u>Compliant</u>
<b>Lot Area</b>	10,000 sq.ft.(with sanitary sewer)	7.28 acres	Complies
<b>Lot Width</b>	80 feet (with sanitary sewer)	approx. 455 feet	Complies
<b><u>Setbacks</u></b>			
<b>Front</b>	35 feet	80 feet to proposed canopy	Complies
<b>Side</b>	20 feet	45 feet to existing building (south) 123 feet to proposed canopy (north)	Complies
<b>Rear</b>	20 feet	110 feet to existing building	Complies
<b>Lot Coverage</b>	25%	41.28% - existing	Existing non-conformity
<b>Building Height</b>	45 feet	18 feet – canopy Convenience store height existing condition (renovation to existing structure)	Complies

Building setbacks were scale measured as distance to buildings and other site features have not been dimensioned. Scaled elevation drawings of the proposed convenience store have been included in the plan set.

**Items to be Addressed:** None.

## NATURAL RESOURCES

The proposed site is currently built and contains a paved surface in the locations where the proposed convenience store and gasoline/diesel pumps and canopies will be constructed. No natural resources will be compromised in the construction of the proposed uses.

Further, the underground storage tank location is noted north of the proposed gasoline canopy area. An Underground Storage Tank Plan Review Report conducted by MDEQ has been included in the applicant’s latest submittal indicating no major deficiencies have been noted. Tank detail sheets (T-300 and T-301) have been provided as requested. Permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.

**Items to be Addressed:** *Underground storage tank permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.*

## BUILDING LOCATION AND SITE ARRANGEMENT

As noted above, the proposed building location is acceptable and meets ordinance standards. The proposed location of the fuel canopies appears logical in relation to the rest of the site. In our previous review, we questioned whether the distance between the diesel pump canopy and the adjacent parking spaces allows adequate maneuverability for vehicles. The applicant

has demonstrated truck maneuverability north of the convenience store, and demonstrated an 18-foot aisle width as required.

Further trailer storage and display is not depicted on the eastern portion of the property adjacent to US-23, and should not be allowed within or adjacent to the detention basin area. Note B-6 on Sheet C-100 indicates vehicles within the detention area will be relocated to appropriate parking areas. We had recommended previously that the detention basin be planted with native wetland plantings. The applicant's cover letter indicates a note has been added to Sheet L-100 describing native wetland plantings in the detention pond, which provides for a native seed mixture to be applied.

**Items to be addressed:** None.

## **PARKING, LOADING**

Section 61.04 outlines off-street parking requirements for various uses. The most similar use to the existing trailer repair facility listed in the parking requirements is "automobile service stations". In addition to the parking required for the existing trailer repair facility, the proposed convenience store parking requirement is noted under "general retail sales establishments, not elsewhere classified". The following table demonstrates both the proposed and required parking for the uses on the site:

	<b>Required</b>	<b>Total Parking Provided</b>
Retail (1 per 200 s.f. – 2,285 s.f. / 200 = 12 spaces)	59	46
Auto Service Station (1 per 800 s.f. + 1 per 4 employees + 5 per each service bay = (21,288.7 s.f./800)=27 + 2 +30 =		
Barrier Free	2	2

Based upon the required parking calculations, the uses on site require 59 parking spaces, thirty-eight (38) automobile spaces are provided, and an additional 41 truck stalls. Section 61.03 G. allows for a reduction in parking when a parking lot serves two (2) or more uses where the operating hours of the uses do not overlap.

The applicant has provided the hours of operation for the convenience store will be 24 hours and the trailer repair business will operate from 8AM to 8PM. The applicant indicates further while the two (2) uses will be utilized on the same property, they will not interact with one another or have the need to "share" parking spaces.

Two (2) barrier-free parking spaces have been provided as required.

**Items to be addressed:** None.

## **SITE ACCESS AND CIRCULATION**

As provided in the conditional use review information, the site plan demonstrates a left turn lane at the north driveway as recommended in the traffic impact assessment study produced by Fleis + Vandenbrink. Review and approval of the traffic impact assessment and the associated improvements to Whitmore Lake Road has been approved by the WCRC (approved at their March 3, 2015 meeting).

The Sheet C-200 provides the boundary survey of the site, and calls out the various easements within the subject parcel. It notes the location of the recorded easement agreement for the ingress, egress, utilities, signs and drainage at the Washtenaw County Registrar of Deeds. A copy of the easement document has been provided for review.

Sheet C-202 demonstrates truck turning radii throughout the site. We note the circulation path demonstrates trucks will be traversing upon existing paved surfaces within the site.

***Items to be addressed: None.***

## **LANDSCAPING**

A separate landscape plan is required to demonstrate that the existing landscape material meets current standards. A signed and sealed landscape plan has been provided as part of the submitted plan set.

One (1) tree per each 8 parking spaces is required. Thirteen (13) parking spaces are proposed adjacent to the convenience store, in addition twenty-five (25) parking spaces currently exist adjacent to the south driveway, and 41 trailer parking spaces are demonstrated along the northern property line. Based on the parking demonstrated on the plan, six (6) parking lot trees are required.

In addition to existing landscaping, two (2) new Red Maple trees and six (6) Colorado Spruce trees are proposed in the northwest corner of the site. Additional Juniper shrubs are also proposed at both sides of the driveway from Whitmore Lake Road (northern drive). We had previously suggested additional plantings south of the driveway along Whitmore Lake Road. In response, five (5) additional Armstrong Maple trees have been added along the Whitmore Lake Road ROW as suggested.

We had also previously suggested that additional landscaping adjacent to Whitmore Lake Road, particularly screening the propane tank would greatly enhance the site's aesthetics. Additional screening of the propane tank has been provided.

Further, landscaping adjacent to US-23 would enhance the aesthetics of the area and further screen the site from view. The applicant has provided groupings of shrubbery along the periphery of the detention basin. We suggest in addition to the shrubbery, the applicant

provide a row of spruce trees along the eastern perimeter of the detention area to provide screening of the site from US 23.

**Items to be addressed:** Consider addition of a row of spruce trees along the eastern perimeter of the detention area to provide screening from US 23.

## LIGHTING

A lighting plan has been provided demonstrating photometrics and fixture details. Section 60.31 requires all fixtures be downward directed; all proposed fixtures appear to be downward directed.

In addition, all lighting fixtures shall not exceed 16 feet in height. All proposed fixtures are shown with a height of 14 or 15 feet. Four (4) fixtures are shown at 24 and 25 feet in height; these are noted as existing non-conforming light poles to remain.

Further, lighting illumination levels at property lines meet the standards of Section 60.31 E.1. However, the maximum lighting levels cannot exceed 25 foot-candles directly beneath a fixture, and shall not exceed 3 foot-candles directly between two (2) light fixtures. The lighting levels beneath and adjacent to the fuel canopies have been modified from the previous submittal to meet the required illumination levels.

**Items to be addressed:** None.

## SIGNS

Two (2) existing freestanding signs are depicted along Whitmore Lake Road to be removed, as well as detail for a new freestanding ID/Price Sign (Sheet AG-100) which will be located north of the driveway.

The proposed freestanding meets the requirements outlined in Section 62.06. In addition to the freestanding sign, one (1) wall sign is proposed on the south elevation of the gasoline fuel canopy. Section 62.08 allows the permitted signs set forth in Section 62.06 A.1. To be attached either to a wall of the building or to the canopy of a fuel pump island. Section 62.06 A.1. allows for one wall sign.

**Items to be Addressed:** None.

## FLOOR PLAN AND ELEVATIONS

Floor plans have been provided and appear acceptable. Elevations of the canopy and fuel dispensers have been provided on Sheets A-201 and A-202. Elevations demonstrating the new convenience store have been included in the plan set.

**Items to be Addressed:** None.

## VARIANCES

None requested or required.

*Items to be Addressed: None.*

## RECOMMENDATIONS

We recommend the following items be addressed prior to site plan approval:

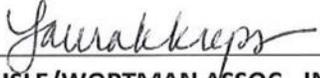
1. Items 1 through 7 listed in the Engineer's August 13, 2014 letter be addressed as a part of the detailed site plan review process and noted as such by Orchard, Hiltz and McCliment.
2. Any non-conformities on the existing site be remediated according to the Zoning Ordinance.
3. Underground storage tank permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.
4. Consider addition of a row of spruce trees along the eastern perimeter of the detention area to provide screening from US 23.

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CARLISLE/WORTMAN ASSOC., INC.  
Douglas J. Lewan, PCP, AICP  
Principal

---



CARLISLE/WORTMAN ASSOC., INC.  
Laura K. Kreps, AICP  
Associate

#271-02-1305

cc: Tom Nowatzke via [tomnowatzkesr@msn.com](mailto:tomnowatzkesr@msn.com)  
John Damrath via [jd@damrath.com](mailto:jd@damrath.com)

March 20, 2015

**Northfield Township**  
**Building & Zoning Department**  
8350 Main Street, Suite A  
Whitmore Lake, Michigan 48189

Regarding: **Nowatzke Fuel Station**  
Site Plan Review No. 4  
OHM Job No. 0151-14-1021

We have reviewed the site plan material, dated March 6, 2015 and received by this office on March 13, 2015, for proposed site improvements to the Nowatzke Truck & Trailer, Inc. property located at 6900 Whitmore Lake Road. Plans were reviewed according to Township guidelines and engineering standards. A brief description of the project, followed by our comments, is provided below.

The applicant is requesting site plan approval for gasoline and diesel dispensers with fueling pads and canopies of 2,592 square feet and 1,440 square feet, respectively. Two underground storage tanks of 20,000 gallons and 30,000 gallons are also proposed. A convenience store is proposed to occupy 2,285 square feet of the existing building on-site.

#### **Site Drainage**

1. A drainage area map for the overall system, including any runoff from neighboring properties and County ROW contributing to the drainage area, shall be included. It appears that the drainage area on the southwest side of Whitmore Lake Road drains through an 18 inch storm sewer under Whitmore Lake Road towards the existing detention basin, and has not been included in the on-site stormwater system. We are aware that the existing pond was designed and constructed to include some amount of offsite flow from the Whitmore Lake Road ROW and surrounding properties, and this must be accounted for in the volume calculations.
2. The proposed expansion to the existing detention basin appears to be insufficient to store the as-calculated 100-year storm volume.
3. An emergency spillway shall be provided for the existing detention basin.
4. The Applicant shall provide the impervious cover post-development 100-year storm volume, and the total 100-year storm volume in the runoff summary.

#### **Permits and Other Agency Approvals**

Copies of all permits and/or letters of waiver, obtained to date, shall be forwarded to this office. The current status of all necessary permits should be included on the cover sheet. Before construction plan approval can be issued, the applicant must submit all necessary permits/approvals, including but not limited to the following agencies:

- Washtenaw County Road Commission (WCRC) for the work within the Whitmore Lake Road right-of-way and approval of the traffic impact assessment.
- Washtenaw County Water Resources Commissioner's Office (WCWRC) for drainage, soil erosion and sedimentation control.
- Northfield Township Building Department.
- Northfield Township Fire Department approval for fire code compliance.



**Conclusion and Recommendations**

As submitted, the site plan appears to be in substantial compliance with The Charter Township of Northfield requirements. We take no exception to the proposed site plan and recommend the Planning Commission consider approval of the site plan conditional upon the above mentioned comments being addressed administratively.

Please feel free to contact Jacob Rushlow at (734) 466-4517 or [jacob.rushlow@ohm-advisors.com](mailto:jacob.rushlow@ohm-advisors.com) if you have any questions or concerns regarding this review.

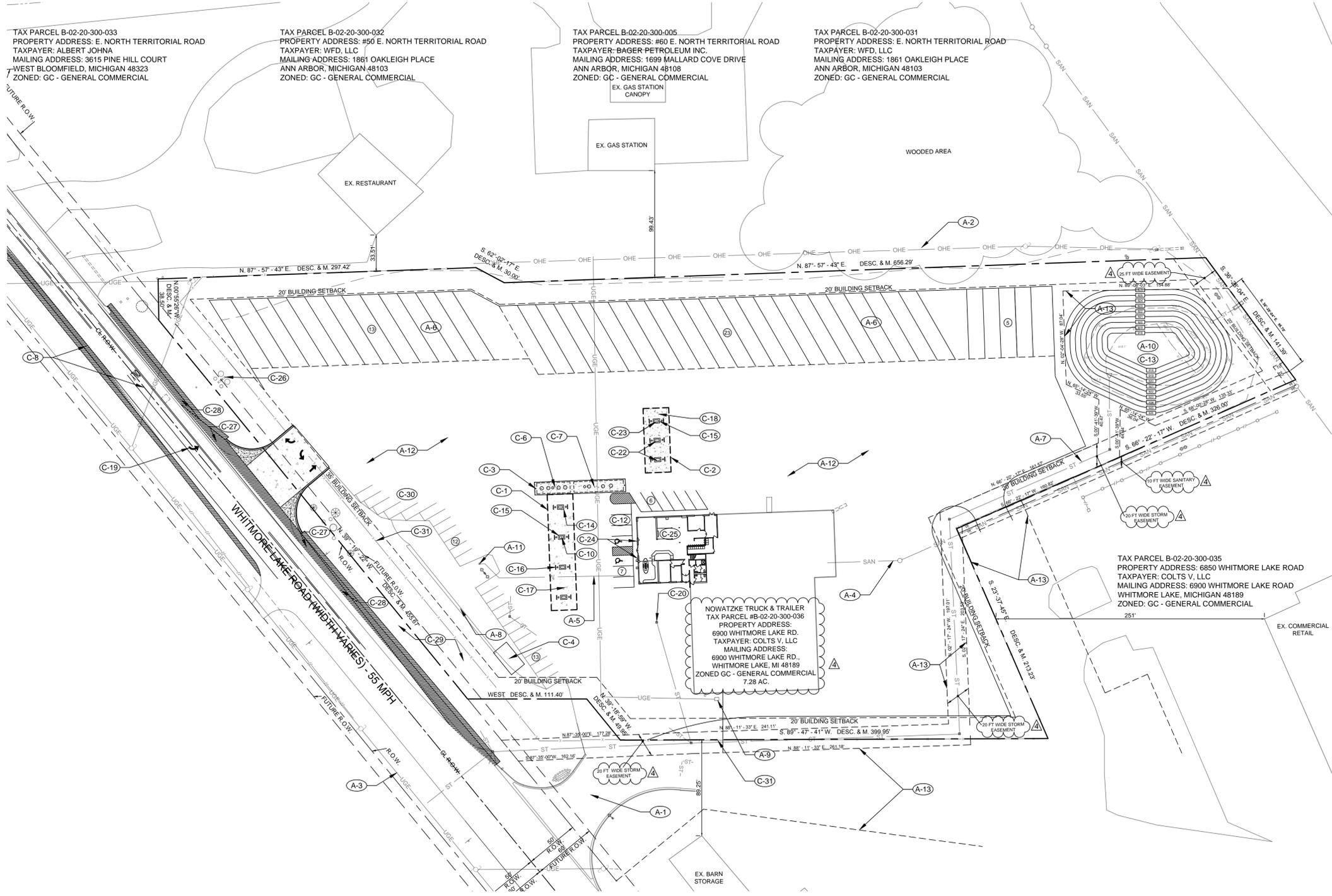
Sincerely,

**OHM ADVISORS**

Jacob Rushlow, P.E.  
Township Engineer

cc: Howard Fink, Township Manager (via e-mail)  
William Wagner, Public Safety Director (via e-mail)  
Pam Boegler, Northfield Township (via e-mail)  
Kurt Weiland, Building/Zoning Official (via e-mail)  
Marlene Chockley, Planning Commission Chair (via e-mail)  
Doug Lewan, Carlisle/Wortman Associates (via e-mail)  
John Damrath, Damrath Group, LLC, (via e-mail)  
Tom Nowatzke, Nowatzke Truck and Trailer, Inc., (via e-mail)  
File

P:\0126\_0165\SITE\_NorthfieldTwp\2014\0151141020\_Nowatzke\_Fuel\_Station\1021-SP\Nowatzke\_Fuel\_Station\_SP4.docx

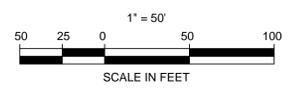


EXISTING		PROPOSED	
W	CURB & GUTTER	W	CURB & GUTTER
san	SANITARY SEWER	san	SANITARY SEWER
g	GAS LINE	g	GAS LINE
u-ge	UNDERGROUND ELECTRIC	u-ge	UNDERGROUND ELECTRIC
o-ge	OVERHEAD ELECTRIC	o-ge	OVERHEAD ELECTRIC
u-a	UNDERGROUND AIR LINE	u-a	UNDERGROUND AIR LINE
o-a	OVERHEAD AIR LINE	o-a	OVERHEAD AIR LINE
u-t	UNDERGROUND TELEPHONE	u-t	UNDERGROUND TELEPHONE
o-t	OVERHEAD TELEPHONE	o-t	OVERHEAD TELEPHONE
st	STORM SEWER	st	STORM SEWER
sl	SETBACK LINE	sl	PROPERTY LINE
MH	MANHOLE	MH	MANHOLE
CB	CATCH BASIN	CB	CATCH BASIN
YL	YARDAREA LIGHT	YL	YARDAREA LIGHT
U.G.	U.G. ELECTRIC CONDUIT	U.G.	U.G. ELECTRIC CONDUIT
PP	POWER POLE	PP	POWER POLE
FH	FIRE HYDRANT	FH	FIRE HYDRANT
TR	TELEPHONE RISER	TR	TELEPHONE RISER
TMH	TELEPHONE MANHOLE	TMH	TELEPHONE MANHOLE
LP	LIGHT POLE	LP	LIGHT POLE
VL	STUFF OFF VALVE	VL	STUFF OFF VALVE
TR	ELECTRIC METER	TR	ELECTRIC METER
GM	GAS METER	GM	GAS METER
GV	GATE VALVE	GV	GATE VALVE
YB	YARD BASIN	YB	YARD BASIN
CO	CLEAN OUT	CO	CLEAN OUT
CO	CLEAN OUT WITH CONC.	CO	CLEAN OUT WITH CONC.
EW	EDGE OF WOODS	EW	EDGE OF WOODS/BRUSH
ED	EDGE OF BRUSH	ED	EDGE OF BRUSH
CT	CONIFER TREE/SHRUB	CT	CONIFER TREE/SHRUB
CT	CONIFER TREE/SHRUB	CT	CONIFER TREE/SHRUB
ELEV	EXISTING SPOT ELEVATIONS	ELEV	PROPOSED SPOT ELEVATIONS
000.00	CONTOUR LINES	000.00	CONTOUR LINES (MATCH EXST)
	TO REMAIN	TR	TO REMAIN
	TO BE REMOVED	TBR	TO BE REMOVED
	LIMITS OF WORK		LIMITS OF WORK
	SAWCUT		SAWCUT

**NOTES TO GENERAL CONTRACTOR**

- UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATION/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFORMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
- SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.
- TOTAL DISTURBED AREA OF THIS PROJECT IS 1.82 ACRES (79,091.78 S.F.)
- NO EXPANSION OF IMPERVIOUS AREA IS MADE PART OF THIS PROJECT.
- DETENTION POND SHALL BE ENLARGED BY 760 C.Y. TO MEET CURRENT WRCR STANDARDS
- SITE SHALL CONTINUE TO UTILIZE EXISTING WATER, STORM AND SANITARY SYSTEMS IN PLACE.
- NO UTILITY ALTERATIONS ARE PROPOSED AS PART OF THIS PROJECT.

**SITE PLAN**  
SCALE: 1" = 50'-0"



**SCOPE OF WORK**

**C - PROPOSED SITE IMPROVEMENTS**

- C-1 24.00' X 108.00' CANOPY (2,592 S.F.), COLUMNS AND FOOTINGS. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A-101
- C-2 24.00' X 60.00' CANOPY (1,440 S.F.), COLUMNS AND FOOTINGS. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A-101
- C-3 6" MONITORING WELL
- C-4 RELOCATED PROPANE TANK
- C-5 12 FT X 85 FT X 8" CONCRETE TANK MAT (SEE PAVEMENT DETAIL SHEET)
- C-6 20,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK. 4,000 GALLONS PREMIUM/16,000 REGULAR (SEE TANK DETAIL SHEET)
- C-7 30,000 GALLON DOUBLE-WALL UNDERGROUND DIESEL STORAGE TANK (SEE TANK DETAIL SHEET)
- C-8 WIDEN ROAD AND ADD LEFT TURN LANE. (SEE SHEET C-501)
- C-9 GASOLINE DISPENSER WITH CARD READER (SEE DISPENSE AND PIPING DETAILS SHEET)
- C-10 AUTOMOBILE MULTI-PRODUCT DISPENSER (3+1 GASOLINE/DIESEL) (SEE DISPENSER AND PIPING DETAILS SHEET)
- C-11 HEAVY DUTY BITUMINOUS PAVEMENT (SEE PAVEMENT DETAIL SHEET)
- C-12 ACCESS TO THE CONVENIENCE STORE MUST MEET ALL APPLICABLE ADA REQUIREMENTS REGARDING VAN ACCESSIBLE PARKING SPACES AND DEDICATED ACCESS WAYS INTO THE BUILDING
- C-13 EXCAVATE, REMOVE, LEGALLY DISPOSE OF APPROXIMATELY 760 CUBIC YARDS FROM DETENTION POND (SEE SHEET C-301) PLANT NATIVE WETLAND PLANTINGS WITHIN DETENTION BASIN AREA (SEE LANDSCAPE PLAN)
- C-14 TANK VENT RISER (SEE DISPENSER AND PIPING DETAILS SHEET)
- C-15 4.00' X 6.00' DISPENSER ISLAND TYP 7 PLACES (SEE DISPENSER AND PIPING DETAILS SHEET)
- C-16 U-SHAPED BOLLARD AT CANOPY COLUMNS (SEE DISPENSER AND PIPING DETAILS SHEET)
- C-17 24 FT X 108 FT X 6" CONCRETE CANOPY MAT (SEE PAVEMENT DETAIL SHEET)
- C-18 24 FT X 80 FT X 8" CONCRETE CANOPY MAT (SEE PAVEMENT DETAIL SHEET)
- C-19 DIRECTIONAL PAVEMENT "LEFT TURN" MARKINGS. (SEE SHEET C-502)
- C-20 INSTALL INLET FILTERS (SEE DETAIL 1 ON SHEET C-500)
- C-21 DIMENSION CONTROL POINT. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE NORTH/SOUTH PROPERTY LINE ON EAST SIDE OF THE SITE UNLESS OTHERWISE STATED.
- C-22 MASTER/SATELLITE DISPENSER
- C-23 DUAL MASTER DISPENSER
- C-24 POST MOUNTED VAN ACCESSIBLE PARKING SIGN
- C-25 CONVERT APPROX. 2,285 S.F. OF EXISTING BLDG INTO NEW CONVENIENCE STORE
- C-26 NEW ID SIGN (SEE SHEET C-504)
- C-27 INSTALL NEW TAPERS (SEE SHEET C-501)
- C-28 WIDEN PAVEMENT AND SHOULDER PER SHEET C-501
- C-29 NEW LANDSCAPING (SEE SHEET L-100)
- C-30 EMPLOYEE PARKING (12 SPACES)
- C-31 REPAIR EXISTING CHAIN LINK FENCE AS NEEDED AND ADD NEW VINYL SLATS FOR SCREENING

- A - EXISTING SITE FEATURES TO REMAIN**
- A-1 ENTRANCE TO REMAIN
  - A-2 OVERHEAD ELECTRIC (TYP.)
  - A-3 UNDERGROUND ELECTRIC (TYP.)
  - A-4 SANITARY LINE (TYP.)
  - A-5 WATER LINE (TYP.)
  - A-6 TRAILER STORAGE
  - A-7 STORM SEWER (TYP.)

- A-8 ROCK WALL
- A-9 TRANSFORMER
- A-10 DETENTION POND
- A-11 WELL
- A-12 EXISTING DRIVE TO REMAIN
- A-13 EASEMENTS (SEE DAVID C. ADAMS & SON SURVEY NO. 19933 DATED 9/18/14)

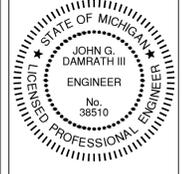
**DAMRATH GROUP**  
development support services  
Damrath Group, LLC  
Northville, MI 48167  
Office: 248.880.2158

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**NOWATZKE TRUCK & TRAILER, INC.**  
6900 Whitmore Lake Rd., Whitmore Lake, MI 48189  
(734) 995-9600

**NOWATZKE TRUCK & TRAILER, INC.**  
6900 WHITMORE LAKE RD.  
WHITMORE LAKE, MI 48189  
(734) 995-9600

REV	DATE	DESCRIPTION
1	10/31/14	REVIEW COMMENTS
2	12/02/14	REVIEW COMMENTS
3	12/31/14	REVIEW COMMENTS
4	03/06/15	REVIEW COMMENTS



DATE: 12/31/14  
PROJECT NO.: 000000  
DESIGNED BY: JD  
DRAWN BY: BH  
CHECKED BY: JD

**SITE PLAN**  
SHEET NO. **C-200**



**WASHTENAW COUNTY ROAD COMMISSION**  
**MEMORANDUM**

**TO:** Gary Streight (Engineering)

**FROM:** C. Ryan

**SUBJECT:** Board Action – March 3, 2015  
Nowatzke Truck & Trailer – Road Improvement Agreement  
RC15-090

**DATE:** March 3, 2015

Moved...

That upon the recommendation of the County Highway Engineer and concurrence of the Managing Director, the Board hereby approves and authorizes the Managing Director to sign the Road Improvement Agreement between the Washtenaw County Road Commission and Nowatzke Truck & Trailer, Inc. in connection with the construction of a fueling station at the existing Nowatzke Truck & Trailer site located at 6900 Whitmore Lake Road, Section 20 of Northfield Township.

Voice Vote: YEAS: 3 NAYS: 0 ABSENT: 0 Motion Carried

## ROAD IMPROVEMENT AGREEMENT

THIS ROAD IMPROVEMENT AGREEMENT ("Agreement"), is entered into as of the 3<sup>rd</sup> day of MARCH, 2015, and memorializes and confirms certain verbal commitments and understandings previously made by the **Board of County Road Commissioners of the County of Washtenaw**, a Michigan Municipal body corporate, with offices at 555 N. Zeeb Road, Ann Arbor, Michigan 48103 ("WCRC") and Nowatzke Truck & Trailer, Inc., 6900 Whitmore Lake Road, Whitmore Lake, MI 48189 ("NTT").

### STATEMENT OF FACTS

A. NTT is the owner of certain property adjacent to Whitmore Lake Road just south of the North Territorial Road intersection in Section 20, Northfield Township, Washtenaw County, Michigan. Access to the property is dependent upon Whitmore Lake Road, a public road under the jurisdiction of WCRC.

B. NTT is expanding the use of the property to include a fueling station and convenience store ("NTT Fuel Station").

C. In connection with the use and expansion of the property and its proposed access connection to Whitmore Lake Road NTT is required to obtain WCRC permits to construct a commercial drive approach to Whitmore Lake Road.

D. NTT has agreed and desires to perform the following improvements to Whitmore Lake Road ("**Road Improvements**") pursuant to the terms of Article 1 below:

1. Construct a continuous center left turn lane on Whitmore Lake Road connecting the existing center left turn lane to the north and south.
2. Construct an auxiliary lane on Whitmore Lake Road between the proposed commercial driveway for NTT and the existing commercial driveway to the south.
3. Construct the commercial drive approach to NTT in accordance with WCRC Procedures and Regulations for Permit Activities.

E. In addition NTT desires to make a financial contribution to future Whitmore Lake Road and North Territorial Road "**Intersection Improvements**" pursuant to the terms of Article 2 of this Agreement below.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is acknowledged, the parties agree as follows:

### ARTICLE 1 ROAD IMPROVEMENTS

**1.1 Project Cost and Administration.** Subject to the terms of this Agreement, NTT shall be responsible for any and all costs associated with the Road Improvements, including without limitation preliminary engineering, right-of-way acquisition, construction, construction engineering, utility relocation, and project administration.

**1.2 Preliminary Engineering.** Damrath Group (the “**Design Engineer**”) shall prepare the Preliminary Engineering documents, including plans and specifications for the Road Improvements (“**Road Improvements Plan**”). The Road Improvements shall be designed in accordance with all applicable WCRC specifications, procedures, and regulations and all applicable standards and guidelines of the American Association of State Highway and Transportation (“**AASHTO**”), MMUTCD, and MDOT. WCRC and NTT shall fully cooperate with respect to the design and engineering of the Road Improvements so that the Road Improvements may be constructed in a cost-effective and efficient manner and made operational as soon as reasonably practicable. The Road Improvements Plan prepared by the Design Engineer must be reviewed and approved by WCRC, which review and approval shall not be unreasonably withheld, conditioned or delayed.

**1.3 Right-of-Way Acquisition.** In the event additional right-of-way or grading permits are required to construct the Road Improvements, WCRC will acquire, at NTT’s expense, any required right-of-way or grading permits at fair market value. All costs and expenses to obtain such right-of-way or grading permits shall be paid by NTT.

**1.4 Permit Applications.** Prior to commencing work NTT shall submit to WCRC permit applications to perform the work. It is understood that no work within the right-of-ways shall occur until NTT and its contractor have obtained all necessary permits, which shall not be unreasonably withheld or delayed by WCRC. WCRC shall issue the necessary permits, subject to its standard permit process and terms, for the Road Improvements without the imposition of any additional conditions or requirements or the payment of any permit application fees, upon NTT’s compliance with the provisions of this Agreement.

**1.5 Security.** As security for the completion of the Road Improvements, NTT or its contractor shall, prior to WCRC’s issuance of the permits necessary to construct the Road Improvements, deliver to WCRC an irrevocable bank letter of credit, issued by a southeast Michigan bank, in an amount equal to 100% of the approved cost estimate for the Road Improvements, plus a 10% contingency (the “**Security**”). If the construction cost stated in the Road Construction Contract is greater or less than the amount of the approved cost estimate (not including the contingency amount), NTT shall increase or decrease the amount of the Security accordingly. Upon substantial completion of the Road Improvements and WCRC’s inspection and approval of the work performed by NTT’s contractor, NTT shall be entitled to the return of the Security.

**1.6 Construction Contract.** NTT shall have the right to select the contractor for the construction of the Road Improvements, provided that such contractor is MDOT pre-qualified. NTT will enter into a contract with the contractor for the installation of the Road Improvements (“**Road Construction Contract**”) in accordance with the Road Improvements Plan and WCRC’s permit.

**1.7 Inspection & Administrative Costs; Deposit.** NTT shall be responsible for payment of all costs of administration, inspection and all other reasonable expenses incurred by WCRC in connection with the Road Improvements. Concurrent with the issuance of the permits necessary to construct the Road Improvements, NTT shall deposit with WCRC an amount equal to three percent (3%) of the Cost Estimate, representing a deposit against said costs and expenses. Following the satisfactory completion of the Road Improvements, WCRC will promptly refund to NTT any unexpended portion of the deposit. NTT shall, prior to WCRC’s approval and acceptance of the Road Improvements, pay any shortfall between the amount of the deposit and the actual costs and expenses.

**1.8 Liability Insurance.** Prior to commencing the Road Improvements, NTT’s contractor shall furnish proof of general liability insurance in amounts not less than \$1,000,000 each occurrence and general aggregate and proof of automobile liability insurance in amounts not less than \$1,000,000

per accident for bodily injury and property damage. Such proof of insurance shall include a valid certificate of insurance demonstrating that WCRC is an additional insured party on the policy. Such insurance shall cover a period not less than the term of this Agreement and shall provide that it cannot be cancelled without 30 days advance written notice to WCRC, by certified mail, first-class, return receipt requested.

**1.9 Pre-Construction Meeting.** NTT's Construction Engineer shall schedule and WCRC will conduct a pre-construction meeting with all parties prior to commencing work on the Road Improvements. The contractor shall furnish a detailed progress schedule for the Road Improvements per Section 102.14 of the MDOT 2012 Standard Specifications for Construction.

**1.10 Construction of Road Improvements.** NTT shall, at its sole cost and expense, perform the Road Improvements. Performance of the Road Improvements shall include all construction, survey and design work, inspection, testing, construction surveying and staking, and utility coordination/relocation to ensure that the Road Improvements are completed in accordance with the approved Road Improvements Plan. All work shall be performed in accordance with WCRC, MDOT, MMUTCD, and AASHTO requirements and in accordance with all terms and conditions set forth in the WCRC permits, provided such terms and conditions are consistent with the terms of this Agreement. NTT shall retain, at its sole cost and expense, a licensed professional engineer who is MDOT pre-qualified (the "Construction Engineer") to conduct all required construction engineering in accordance with all applicable WCRC procedures and regulations and then current MDOT Standard Specifications for Construction.

**1.11 Timing and Completion of Construction.** Failure to comply with the progress schedule as approved by WCRC, subject to any causes beyond NTT's or its contractor's reasonable control, shall result in WCRC's demand on the Security as defined in Section 1.5. In any case NTT shall not open to the public the NTT Fuel Station until the Road Improvements have been completed and inspected and approved by WCRC. Upon NTT's timely completion of the Road Improvements WCRC shall promptly schedule and perform its inspections of the Road Improvements.

## **ARTICLE 2**

### **CONTRIBUTION TOWARD WHITMORE LAKE ROAD AND NORTH TERRITORIAL ROAD INTERSECTION IMPROVEMENTS**

**2.1 Intersection Improvements.** NTT shall contribute to WCRC the sum of ten thousand dollars (\$10,000) toward the future design and construction of the Intersection Improvements. The timing and details of design and construction of the Intersection Improvements shall remain within the sole discretion of WCRC.

**2.2 Payment.** The payment of ten thousand dollars (\$10,000) for the Intersection Improvements shall be submitted to WCRC prior to the issuance of any WCRC permits for the Road Improvements.

**ARTICLE 3  
MISCELLANEOUS**

**3.1 Permits and Authorizations.** WCRC shall issue to NTT all WCRC permits, including commercial driveway permits and authorizations necessary to develop and access the NTT Fuel Station in accordance with the Site Plan, provided that NTT has made all required filings and submissions. WCRC shall not unreasonably withhold or delay the issuance of any permits, authorizations or inspections required in connection with NTT Fuel Station. Upon NTT's submission of an application for any such permit or authorization with respect to the foregoing project, WCRC shall confer with NTT to identify any permits that will be required for the project and the requirements for the issuance of such permits.

**3.2 Extent of Obligations.** Provided it complies fully with the terms of this Agreement NTT shall have no further development or financial obligations to WCRC regarding any off-site improvements pertaining to the NTT Fuel Station.

**3.3 Agreement Subject to Declaratory Judgment.** The parties acknowledge and agree that the validity and enforceability of this Agreement shall be finalized by entry of a declaratory judgment, so declaring, to be entered by the Washtenaw County Circuit Court. The parties agree to cooperate in good faith and utilize their best efforts to obtain the entry of such declaratory judgment with the Washtenaw County Circuit Court.

**3.4 Binding Agreement.** This Agreement shall be binding on and inure to the benefit of the parties hereto and their respective successors and assigns when fully executed by an authorized representative of each party.

**3.5 Time of the Essence.** Time is of the essence of all undertakings and agreements of the parties hereto.

**3.6 Amendment.** This Agreement may not be modified, replaced, amended or terminated without the prior written consent of the parties.

**3.7 Governing Law.** This Agreement shall be governed by and interpreted in accordance with the laws of the State of Michigan. In case any one or more of the provisions contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, that invalidity, illegality or unenforceability shall not affect any other provisions of this Agreement, and this Agreement shall be construed as if the invalid, illegal or unenforceable provisions had never been contained within the body of this Agreement.

**3.8 Execution in Counterparts/Fax Signature.** This Agreement may be executed in multiple counterparts, each of which shall be deemed an original, but all of which shall constitute one agreement. In addition, facsimile signatures shall have the same force and effect as an original signature.

**3.9 Conditional Withdrawal.** If at any time before beginning construction of the Road Improvements NTT elects, in its sole discretion, not to proceed with the development of NTT Fuel Station then this Agreement may be terminated by NTT upon written notice to WCRC. In such case the parties shall have no further obligation under this Agreement other than for the cost of any work performed or expenses incurred as of the date of such termination. All letters of credit, deposits, and other security, and the contribution for Intersection Improvements shall be released and returned to NTT; provided, however, that NTT shall in such case remain obligated for the cost of any WCRC resources expended on the project, which will be deducted from the return of Security. If NTT decides not to construct the NTT Fuel Station at any time after beginning construction, WCRC shall be entitled to

proceed as described in paragraph 1.11 and shall retain ownership of the contribution for Intersection Improvements paid pursuant to Article 2.

IN WITNESS WHEREOF, the parties hereto have executed this Road Improvement Agreement by affixing the signatures below effective as of the date set in the caption.

WITNESSED:

Nowatzke Truck & Trailer, Inc.

By: \_\_\_\_\_



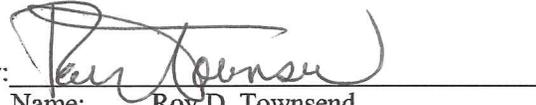
Name: Tom Nowatzke

Its:

\_\_\_\_\_

BOARD OF COUNTY ROAD COMMISSIONERS  
OF WASHTENAW COUNTY,  
a Michigan Municipal Body Corporate.

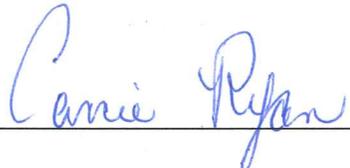
By: \_\_\_\_\_



Name: Roy D. Townsend

Its: Managing Director

\_\_\_\_\_



# Northfield Township WWTP Capacity Evaluation Report

March 18, 2015

## PRESENTED TO

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### **Northfield Township**

8350 Main Street

Suite A

Whitmore Lake, Michigan 48189

## PRESENTED BY

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### **Tetra Tech**

710 Avis Drive

Suite 100

Ann Arbor, Michigan 48108

**P** +1-734-665-6000

[tetrattech.com](http://tetrattech.com)

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## ACRONYMS AND ABBREVIATIONS

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Acronym/Abbreviations	Definition
gpd	gallons per day
I/I	infiltration and inflow
MDEQ	Michigan Department of Environmental Quality
MG	million gallons
MGD	million gallons per day
NPDES	National Pollution Discharge Elimination System
REU	residential equivalent unit
SAD	special assessment district
SRF	State Revolving Fund
SSES	Sewer System Evaluation Survey
WWTP	wastewater treatment plant

### EXECUTIVE SUMMARY

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Northfield Township owns and operates a wastewater treatment plant and sanitary collection system, which has an average flow rate of 0.7 MGD and can be as high as 0.9 MGD during the spring season. This is less than the treatment capacity of 1.3 MGD, but with potential future development, improvements will be necessary. The Township engaged Tetra Tech to define the potential growth within the existing wastewater service area and identify improvements necessary at the wastewater treatment plant to meet the growth. Tetra Tech used flow data measured at the influent of the wastewater treatment plant as a basis point to estimate the magnitude and timeline for the improvements. The purpose of this report is to document the level of projected growth, summarize the analysis used to develop recommendations, and summarize the recommendations.

In addition to service areas within Northfield Township, flows from neighboring Green Oak Township are also treated at the Northfield Township wastewater treatment plant. Two service agreements between the two townships specifies that Green Oak Township can discharge an additional 227,000 gallons per day (equivalent to 873 REUs) to Northfield Township than it does currently.

The four sanitary sewer special assessment districts in Northfield Township have a potential to include an additional 1,865 REUs with a design average day flow of 485,000 gallons per day. Three of these SADs have been in place several years with only modest recent interest in development and in new connections being made.

However, should this development occur, improvements will be needed to meet both the additional daily flow and to meet the requirements of the state for wet weather flows up to the 25-year, 24-hour design storm. An increase in treatment capacity will address dry weather flow requirements, while a long-planned storage basin at the wastewater treatment plant will address wet weather flow requirements.

The initial recommendation is to construct a storage basin large enough to meet future needs up to the next expansion in treatment capacity because the cost of the storage will be less than the cost of the facilities required to increase the treatment rate. A 1.7 million gallon storage basin is recommended in the near term before much growth occurs. The basin size may be able to be made smaller through a more detailed analysis during the preliminary design of the facility. Previous analysis of the WWTP indicated the basin will equalize peak flows and allow an even higher rate of flow to be treated. When between 800 and 1,500 REUs of growth occurs (the lower end corresponding to no storage basin and the upper end corresponding to a condition where the storage basin is in place), a commitment to increase the WWTP capacity will need to be made.

If the Township decides to construct the recommended storage and wants to pursue construction funding through the State Revolving Fund Loan Program, additional intermediate studies are required to secure the funding. These intermediate studies will take multiple years to complete; therefore, pursuit of funds through the state's loan program will likely mean that funding will not be available until at least July 2017. Should the Township desire to initiate construction earlier, the Township will need to arrange its funding through another source.

## 1.0 INTRODUCTION

Northfield Township owns and operates a wastewater collection and treatment system that serves portions of Northfield and Green Oak Townships, but has not previously adopted a defined sanitary sewer service area. The Township has evaluated developments on a case-by-case basis. A formal sanitary sewer master plan has been discussed but is yet to be completed. Developing a wastewater master plan for Northfield Township is a large undertaking. As an initial step in better understanding the sewer system needs, the Board of Trustees elected to initiate this study of the sewer system to better understand the Township's wastewater treatment needs. This study has the following objectives:

- Update the Township's sanitary sewer map to include changes since the last map was created in 1996
- Identify potential development in the existing special assessment districts within Northfield Township and the likely flow impact on the Township's wastewater treatment plant (WWTP)
- Understand the commitment to provide sewer service to Green Oak Township and the likely flow impact at the WWTP
- Conceptually size a wet weather storage tank (also referred to as an equalization basin) at the Township's WWTP

A smaller scale revised sewer map is included in this document, and a full scale map will be delivered to the Township separately.

Two other components that are commonly included in a master plan have been deferred to a later time, including the detailed analysis of wastewater treatment plant expansion(s) and impacts to the collection system caused by potential growth. Impacts to the collection system generally require flow monitoring and detailed calculations to fully understand.

## 2.0 EXISTING WASTEWATER INFRASTRUCTURE

### 2.1 INFRASTRUCTURE HISTORY AND CONFIGURATION

The Township's WWTP was originally constructed in 1961 to serve a State of Michigan correctional facility. The WWTP was then purchased by Northfield Township and sewer systems were constructed through the 1970s to initially serve portions of Green Oak Township and Northfield Township around Whitmore Lake and portions of Northfield Township around Horseshoe Lake. Expansion of the system continued in the 1980s and 1990s to serve growing residential development.

The Township's existing wastewater treatment plant has a National Pollution Discharge Elimination System (NPDES) permit limit of 1.3 MGD. This is a nominal limit on the average daily flow that the WWTP may accept, treat and discharge. Peak flows into the WWTP may be higher than this and are allowed as long as the WWTP can acceptably process and treat the water. Calculations by Tetra Tech in 2005 suggest that the WWTP may be able to treat up to 1.5 MGD on average and meet limits if the peak flows into the WWTP are controlled through the use of a storage basin.

The WWTP has been expanded and upgraded numerous times since its 1961 construction. In its current configuration, the plant provides primary treatment (clarification), secondary treatment with a trickling filter and a second stage activated sludge process, and tertiary treatment with travelling bridge sand filters. The wastewater is disinfected with chlorine gas and receives post aeration by a cascade before being discharged to the Horseshoe Lake Drain.

WWTP operations staff indicate that they can routinely treat a peak flow rate of 2.5 to 3.0 MGD. However, they also indicate that the sand filters have reduced capacity due to suspected biological fouling of the underplates. These plates are due to be refurbished in the next few years. In its present configuration, the sand filters can only process a peak flow rate of approximately 2 MGD.

## 2.2 WWTP FLOW RATES

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Average flows to the WWTP are lower than the permit limit of 1.3 MGD. Between 2011 and 2014, the WWTP averaged 0.7 MGD of influent flow. In the spring, when more precipitation and a higher groundwater table typically occur, the average flow was 0.9 MGD.

During wet weather, influent flows to the WWTP increase. On several occasions the Township has observed the peak flow into the WWTP reaching 3 MGD, which is the limit that can be measured at the WWTP. This increase in flows with wet weather is typical of older systems and is due to stormwater and groundwater being allowed to enter the sewer system. This water is referred to as infiltration/inflow (I/I) and can occur due to leaks in the public sewer, leaks in the privately-owned laterals, and improper connections made to either the publicly-owned system (such as storm drains) or to privately-owned parts of the system (such as basement sump pumps).

The Township has not previously conducted a comprehensive evaluation of I/I. However, in 1999, a brief flow monitoring program was conducted that showed that most parts of the Township's sewer system experienced flow increases with rainfall. Thus, the I/I was not isolated to a single part of the system. The Township also conducted a survey that showed that several homeowners had sump pumps connected to the sanitary sewer. While these connections are in violation of the Township's sewer use ordinance, there is no record that the Township followed up on removing these sources of I/I. It is also known that high water levels in Horseshoe Lake have submerged toilets and other sewer inlets creating lake inflow.

## 3.0 WASTEWATER SERVICE TO GREEN OAK TOWNSHIP

Wastewater service to Green Oak Township originated in the 1960s and 1970s concurrently with service to Northfield Township. The majority of this early service area occurred around the perimeter of Whitmore Lake.

A 2001 agreement between the Townships allows an additional 124 REUs to be connected within the existing service area around Whitmore Lake. Mr. St. Charles, Green Oak Township Supervisor, indicated in a telephone call that Green Oak Township's records show that 20 REUs around the lake have been connected since the 2001 agreement. Therefore, 104 REUs remain to be connected from Green Oak Township around Whitmore Lake. At 260 gallons/day, these 104 REUs produce an average daily flow of 27,040 gallons/day.

Sometime after 2001, Green Oak Township approached Northfield Township about serving an additional area in Green Oak Township. Northfield and Green Oak Township entered into a sewer service agreement dated November 11, 2004, to serve development in a designated area west of US-23 and north of 8 Mile Road. This agreement specifies that an additional 200,000 gallons of average daily flow will be allowed from Green Oak Township equivalent to 1,600 residential equivalent units (REUs). These agreements with Green Oak Township are presented in Appendix A.

Recent discussions with Green Oak Township resulted in a determination that a negligible amount of development has occurred in this new service area, so Northfield Township has a remaining obligation of approximately 200,000 gallons per day (gpd) to Green Oak Township. The discussions with Green Oak Township also addressed the 1,600 REUs mentioned in the agreement. Northfield Township's engineering standards define one REU equal to 260 gpd of average daily flow. Thus, 200,000 gallons equates to 769 REUs, not the 1,600 REUs listed in the agreement. Green Oak Township Supervisor Mark St. Charles indicated that Green Oak Township was likely to honor the 769 REU allocation.

In summary, the agreement with Green Oak Township suggests that Northfield Township is obligated to provide an additional 873 REUs, or an equivalent average daily flow rate of 227,040 gpd.

## 4.0 FUTURE WASTEWATER SERVICE IN NORTHFIELD TOWNSHIP

Northfield Township has existing obligations to provide wastewater service to four special assessment districts (SADs). The SADs were created specifically to provide wastewater service. The four SADs include the Lake Point SAD, North Territorial SAD, Seven Mile Road SAD, and Whitmore Lake Road SAD, and are shown on Figure 1.

Northfield Township’s design standard for average daily wastewater flow is 260 gpd per REU. The density of REUs for a particular zoning type is an estimate based on minimum lot size in the Township’s zoning ordinance and values used on past planning projects.

### 4.1 LAKE POINT SAD

The Lake Point SAD was established in 2003. The SAD is small, consisting of four parcels along Lake Point Drive on a peninsula extending into Whitmore Lake. All of the parcels are zoned single family residential or low density residential and appear to be developed and understood to be already connected to the WWTP. There are four total REUs in this SAD, all of which are currently connected to the WWTP.

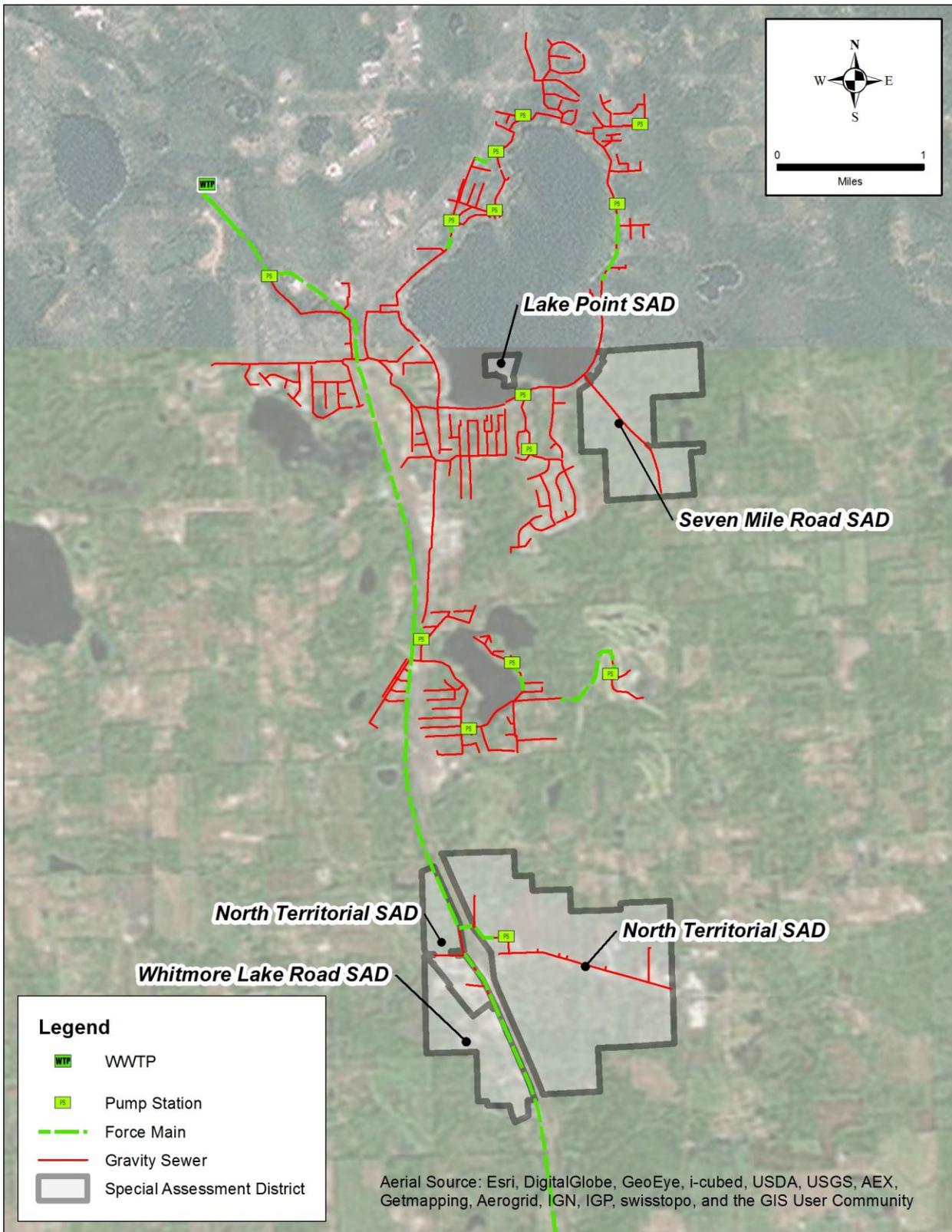
### 4.2 NORTH TERRITORIAL SAD

The North Territorial SAD was established around 2000 to provide wastewater service to a planned commercial area. A trunk sewer, pump, station, and force main were constructed. The force main discharges to the Township’s Eight Mile Road Pump Station. To date, only a few parcels within the SAD have connected to the trunk sewer representing about 49 REUs. The concept for this SAD was that the area could be expanded both west and east as development demanded more wastewater service. Only the area within the current SAD is depicted on Figure 1. Table 1 shows the estimated wastewater demand for parcels within the current district limits.

**Table 1: REUs and Average Daily Wastewater Flow in the North Territorial SAD**

Zoning	Parcel Density, REUs / acre	Current Parcels	Total Area, acres	Ultimate REUs	Average Daily Wastewater Flow, gpd
Local commercial	3.0	3	16.59	50	13,000
General commercial	3.0	14	167.95	504	131,040
Planned shopping center	3.5	4	87.29	306	79,560
Research, technology, manufacturing	2.5	18	323.58	809	210,340
<b>Total</b>	-	<b>39</b>	<b>595.41</b>	<b>1,669</b>	<b>433,940</b>

Figure 1: Map of Special Assessment Districts



### 4.3 SEVEN MILE ROAD SAD

The Seven Mile Road SAD was established in approximately 2003 to serve the area along Seven Mile Road southeast of Whitmore Lake. The sewer has been constructed but only three connections have been made consisting of three REUs. Table 2 shows the estimated wastewater demand for the SAD.

**Table 2: REUs and Average Daily Wastewater Flow in the Seven Mile Road SAD**

Zoning	Parcel Density, REUs / acre	Current Parcels	Total Area, acres	Ultimate REUs	Average Daily Wastewater Flow, gpd	Notes
Agricultural	0.2	5	43.89	8	2,080	Assumes 3 parcels are split into two parcels each
Low density residential	0.5	10	21.60	13	3,380	Assumes 1 parcel is split
Recreational conservation	0.1	5	108.80	11	2,860	Assumes 1 parcel is split
Single family residential	4.0	2	45.14	140	36,400	20 percent of area allotted for right-of-ways. Remaining area developed at 4 parcels per acre
<b>Total</b>	-	<b>22</b>	<b>219.43</b>	<b>172</b>	<b>44,720</b>	-

### 4.4 WHITMORE LAKE ROAD SAD

The Whitmore Lake Road SAD was established in 2013 to provide sewer service to 24 parcels along Whitmore Lake Road south of North Territorial Road. The Whitmore Lake SAD is tributary to the sewer improvements funded by the North Territorial SAD. No sewers have yet been constructed. Table 3 shows the estimated wastewater demand for the SAD. The basis of design for the Whitmore Lake Road district estimated a total of 76 REUs to be served.

**Table 3: REUs and Average Daily Wastewater Flow in the Whitmore Lake Road SAD**

Zoning	Parcel Density, REUs / acre	Current Parcels	Total Area, acres	Ultimate REUs	Average Daily Wastewater Flow, gpd
Agricultural	0.2	14	64.61	14	3,640
Limited industrial	1.0	8	45.27	43	11,180
Local commercial	3.0	2	6.52	19	4,940
<b>Total</b>	-	<b>24</b>	<b>116.40</b>	<b>76</b>	<b>19,760</b>

## 5.0 SUMMARY OF ADDITIONAL FLOWS TRIBUTARY TO THE WWTP

In the build-out condition, a total of 2,794 REUs were estimated to be served by the WWTP within the current SAD boundaries and growth areas within Green Oak Township. Of these 2,794 REUs, 56 are already connected to the sewer system leaving 2,738 to potentially connect. These REUs would increase the average daily flow beyond the existing WWTP capacity. Furthermore, as the existing treatment capacity is approached, there will be a greater need to provide storage for both daily fluctuations in the flow and wet weather peaks. A summary of the growth is provided in Table 4.

**Table 4: Summary of Additional Flows Tributary to the Northfield Township WWTP**

Community	Location	Additional REUs	Additional Average Daily Wastewater Flow, gpd
Green Oak Township	around Whitmore Lake (2001 agreement)	104	27,040
	west of US-23 (2004 agreement)	769	200,000
	<b>Subtotal</b>	<b>873</b>	<b>227,040</b>
Northfield Township	Lake Point SAD <sup>1</sup>	0	0
	North Territorial SAD	1,620	421,200
	Seven Mile Road SAD	169	43,940
	Whitmore Lake Road SAD	76	19,760
	<b>Subtotal</b>	<b>1,865</b>	<b>484,900</b>
<b>Total</b>		<b>2,738</b>	<b>711,940</b>

<sup>1</sup> These properties are already developed and connected to the WWTP.

## 6.0 ALTERNATIVES TO MANAGE NEW CONNECTIONS

Determining available capacity is not a straightforward determination. A wastewater utility must consider treatment capacity during dry weather, treatment capacity during wet weather, and sewer system capacity. Analysis of the sewer system capacity was not an objective of this evaluation, however, average and wet weather conditions are discussed below.

## 6.1 AVERAGE FLOWS

---

The average flow for existing conditions is approximately 0.7 MGD and 0.9 MGD during springtime highs. The WWTP’s rated capacity is presently 1.3 MGD with the potential of 1.5 MGD if storage is provided. Thus, there is existing WWTP capacity during average conditions to accommodate new connections.

The Michigan Department of Environmental Quality (MDEQ) is generally reluctant to allow new connections to a WWTP when the flow approaches 85 percent of the facility’s rated capacity. Assuming a treatment capacity of 1.3 MGD, this necessitates a decision on an expansion when rates reach 1.1 MGD (1.3 x 0.85). Assuming a treatment capacity of 1.5 MGD, this necessitates a decision on an expansion when rates reach 1.3 MGD (1.5 x 0.85).

In 2005, Northfield Township explored a WWTP expansion to address the new connections it committed to in the 2004 agreement with Green Oak Township. That expansion was conceived to construct a storage basin and expand the treatment capacity to 2.25 MGD. Development did not occur and this expansion was not implemented.

Available capacity calculations are found below for various scenarios. The first two calculations consider growth without differentiating new connections between Green Oak Township and Northfield Township. The last two scenarios were calculated assuming the capacity in the Green Oak contract is reserved.

A summary of potential capacity available during average conditions without reserving capacity for Green Oak Township follows (assuming no storage provided):

Allowable Rate before Expansion (MGD)	Springtime Rates (MGD)	Allowable Increase (MGD)	Allowable Increase (REU)
1.1	0.9	0.2	800

The summary of potential capacity available during average conditions without reserving capacity for Green Oak Township follows (assuming storage provided):

Allowable Rate before Expansion (MGD)	Springtime Rates (MGD)	Allowable Increase (MGD)	Allowable Increase (REU)
1.3	0.9	0.4	1,500

The summary of potential capacity available during average conditions and reserving 0.227 MGD for Green Oak Township follows (assuming no storage provided):

Allowable Rate before Expansion (MGD)	Springtime Rates (MGD)	Allowable Increase (MGD)	Allowable Increase (REU)
1.1	0.9	0	0

The summary of potential capacity available during average conditions and reserving 0.227 MGD for Green Oak Township follows (assuming storage provided):

Allowable Rate before Expansion (MGD)	Springtime Rates (MGD)	Allowable Increase (MGD)	Allowable Increase (REU)
1.3	0.9	0.173	700

## 6.2 WET WEATHER FLOWS

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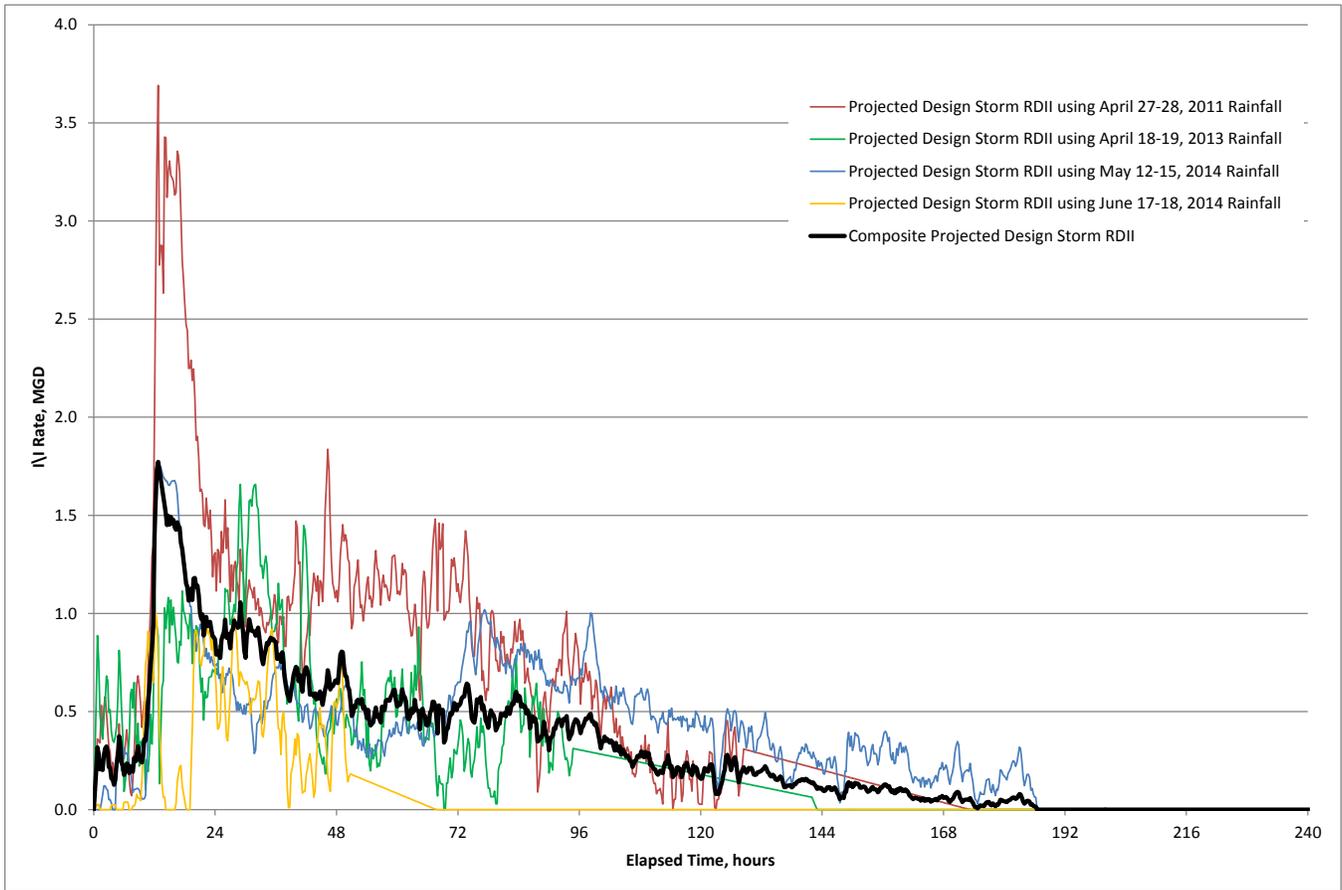
Storing wastewater during peak flow rates is a proven technique for managing flows in excess of the treatment capacity. Flows in excess of the treatment capacity are temporarily stored and returned to the system after the peak flows abate. Many, and perhaps most, wastewater treatment plants have storage tanks. The existing Northfield WWTP does not have any storage capacity. However, storage has been discussed for the WWTP since at least 1988 without the construction occurring.

In 2002, the State of Michigan adopted a policy on controlling untreated overflows from sewer systems. This policy requires that sewer systems control overflows for storms up to and including the 25-year, 24-hour storm. This storm is defined as 3.9 inches of rainfall in 24 hours throughout the state.

Flows measured at the WWTP for four severe storms between 2011 and 2014 were used to project a hydrograph for the 25-year, 24-hour storm, which can be added to a base flow to estimate the storage volume that would be necessary to eliminate overflows at the WWTP for events up to that size. The procedure used to create the hydrograph used for the 25-year, 24-hour storm followed these steps:

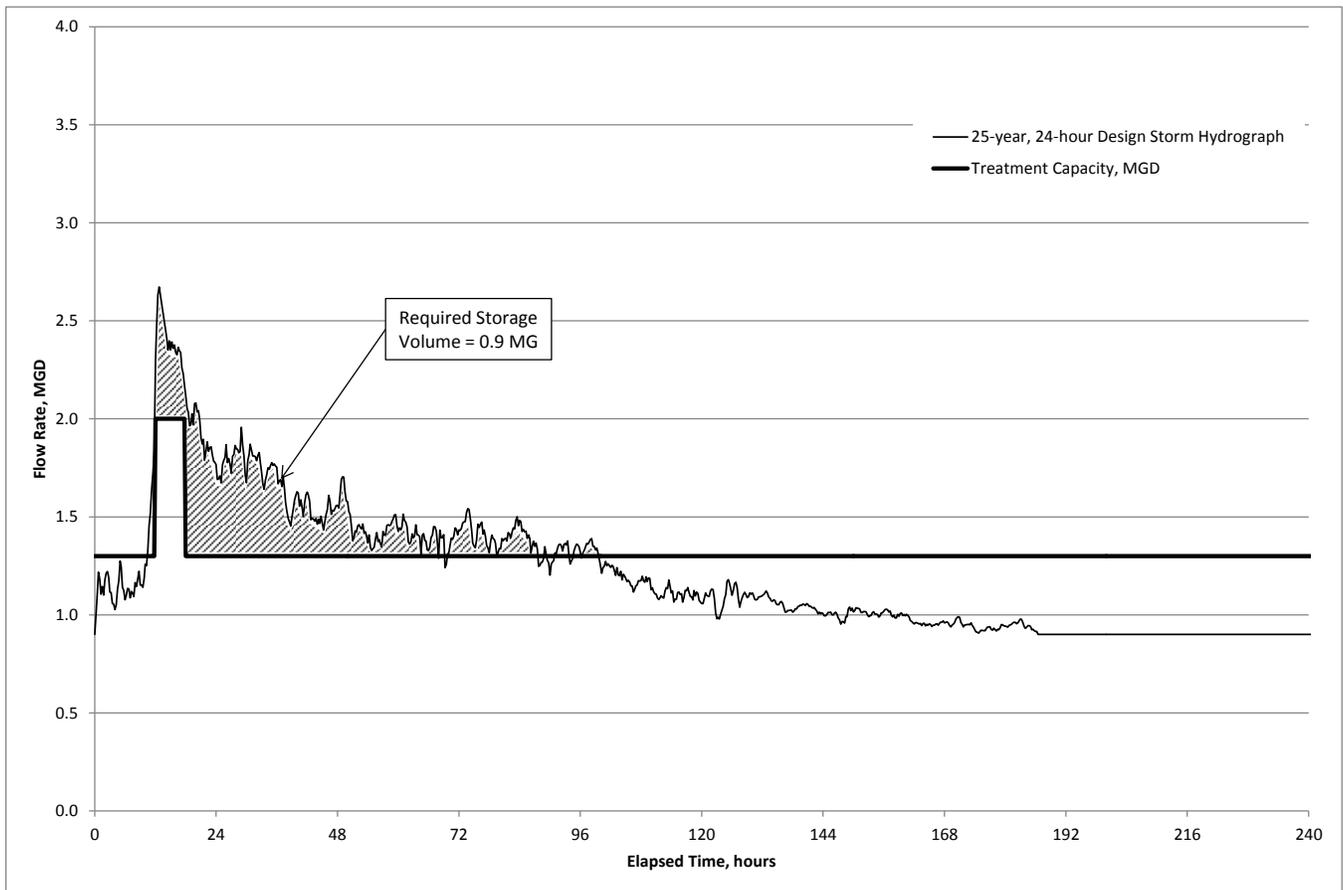
- The second through fifth most extreme events from 2011 to 2014 between April and October of each of those years, in terms of volume measured at the WWTP, were identified. The most extreme event, beginning on May 25, 2011, was excluded because it is known that inflow from Horseshoe Lake was occurring during and following this rainfall. The four rainfalls used in the analysis included:
  - April 27-28, 2011, 2.17 inches of rain, 3.0 million gallons (MG) of I/I estimated at the WWTP
  - April 18-19, 2013, 2.43 inches of rain, 1.7 MG of I/I
  - May 12-15, 2014, 4.30 inches of rain, 4.3 MG of I/I
  - June 17-18, 2014, 2.03 inches of rain, 0.5 MG of I/I
- The I/I and base flow components of the hydrograph were estimated. Plots of the components for each of the events are shown in Appendix B.
- The I/I component of the flow was projected to the 25-year, 24-hour design storm using a ratio of the design storm rainfall to the actual rainfall.
- The individual projections were averaged over an hourly period to smooth the peaks and valleys in the hydrograph using the 15-minute data from the WWTP.
- A composite of the four individual projections was created by averaging the four individual event projections. The composite projection is similar to the projection made for the May 12, 2014 event, which had the closest rainfall volume to the design storm. The individual and composite projections (with base flow removed) for the 25-year, 24-hour design storm is shown in Figure 2. The composite hydrograph was used for all analyses in this report. The tail of the hydrograph extends well beyond the end of the rainfall because of infiltration following the rainfall.

Figure 2: Composite 25-year, 24-hour I/I Hydrograph Constructed from Individual Event Projections



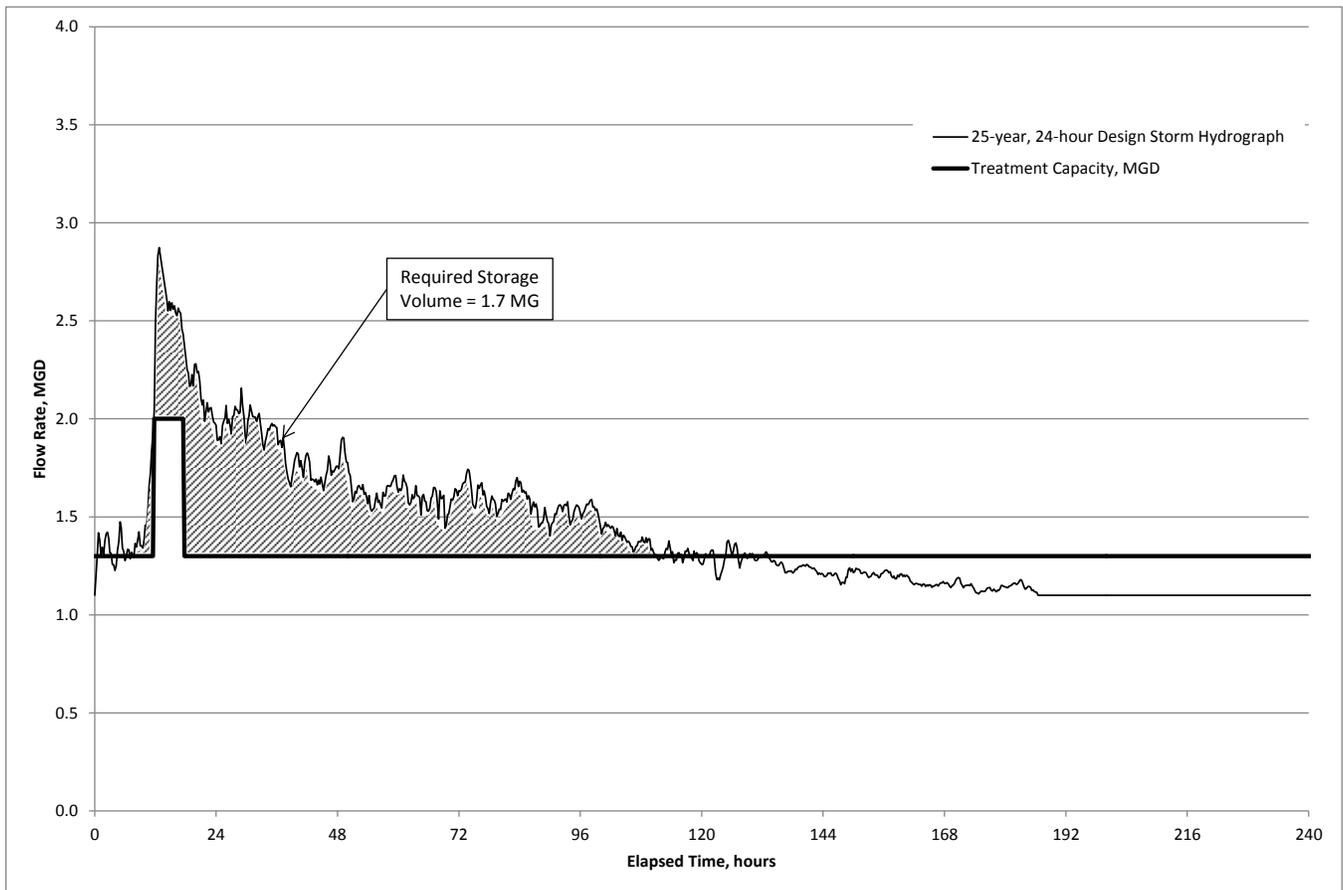
The required storage volume can now be estimated by adding the design storm I/I flows onto a base flow. For all the storage calculations it was assumed that the WWTP could treat 150 percent of its sustained treatment capacity for up to 6 hours and still meet its effluent limits. The remaining time, the WWTP could only treat its sustained capacity. For example, for the existing conditions, the WWTP could treat 2.0 MGD for 6 hours and 1.3 MGD for the remaining time. For existing conditions, we project that the required storage volume is 0.9 MG during spring (April and May) conditions. This is visually depicted in the hydrograph shown in Figure 3.

Figure 3: Spring Design Storm Hydrograph with Treatment Capacity of 1.3 MGD and No Growth



As growth occurs, the daily flow will increase and use more of the WWTP capacity. This will require that more of the flow during wet weather be stored. We project that the necessary storage volume will be 1.7 MG for an increase of 800 REUs or 0.2 MGD within the service area. This is visually depicted in the hydrograph shown in Figure 4.

Figure 4: Spring Design Storm Hydrograph with Treatment Capacity of 1.3 MGD, and 800 REUs Growth



Above this level of growth, the treatment capacity should be increased (see the *Average Flows* section), which will lessen the need for storage.

The MDEQ policy also provides an alternative methodology to demonstrate that the system will not overflow more than once every ten years. This analysis generally shows that a smaller basin size will meet the state’s requirements, but requires a much more detailed approach and is best deferred as a preliminary design step if a storage project proceeds.

The cost for a storage tank will be dependent upon the type of construction (steel versus concrete) and features desired for the tank such as flushing or aeration. We suggest the Township budget \$2.5 million to \$3.0 million for a glass-lined steel tank. A concrete tank would have a higher initial cost but may also have a longer useful life.

## 7.0 GROWTH POLICY

Policy decisions on when to allow or deny new connections to the sewer system rest solely with the Northfield Township Board of Trustees. The MDEQ will occasionally deny new connections when there are obvious capacity problems with a sewer system (not presently the case with Northfield Township’s system).

One important consideration is the SAD parcels. The Township has facilitated the construction of sewers in these areas. The property owners are paying an assessment for the construction of the sewers. However, these parcels are largely undeveloped and as such, have not connected to the sewer and have not paid the Township’s system development charge (connection fee). This connection fee is established to recover the prorated share of the parcel’s use of the treatment plant and downstream sewers.

A conservative policy decision could consider the 0.227 MGD commitment to Green Oak Township, the future SAD demands, and the higher springtime flows and determine that no other connections should be allowed until the wastewater plant is expanded. An alternate policy would be to consider that no significant development in Green Oak and the SADs has occurred in the last ten years, that new connections can be allowed and the WWTP will be expanded prior to the plant being overloaded.

Tetra Tech can appear at a future board meeting to answer any technical questions that will better allow the Board of Trustees to determine their policy regarding new connections.

## 8.0 PROJECT FUNDING

Wastewater utilities have the choice of financing capital projects with local funds (such as from reserves, connection fees and/or bonds) or from a state-funded loan. A self-financed project has few prerequisites and construction could be initiated within a few months of beginning.

The MDEQ administers a low interest, state funded loan program for wastewater improvements. This program is entitled the State Revolving Fund loan and abbreviated as SRF. A condition of receipt of the loan is that the loan monies are used to construct the cost-effective solution. This requires a series of studies to demonstrate that building storage is cost effective over removing the I/I at its source. Loan applications are due by July 1 each year and the prerequisite studies need to be completed ahead of this application date. Should Northfield Township begin the studies in the spring of 2015, it is likely that the loan could not be applied for until July 1, 2017, or later.

The first study that would be needed is termed an Infiltration/Inflow Study which measures flow throughout the system and makes projections regarding its likely sources and costs to remove. This study may cost \$150,000 to \$200,000 to complete. This study makes a recommendation that looking for I/I sources will likely be fruitful, but generally concludes that some level of detailed investigation is needed.

The second study is referred to as a Sewer System Evaluation Survey (SSES). It includes detailed investigations within the system to locate specific sources of I/I. This may involve inspecting manholes, sewer pipes, and quantifying illicit sump pumps among many other tasks. The cost of an SSES of Northfield Township's collection system cannot be determined until after completion of the I/I Study, but could range from \$150,000 to \$300,000.

## 9.0 SUMMARY AND RECOMMENDATIONS

### 9.1 SUMMARY

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A capacity summary was completed that shows that Northfield Township has significant wastewater treatment obligations to both Green Oak Township and special assessment districts within Northfield Township. An additional 712,000 gallons per day (0.712 MGD) could be added to the system from these obligations.

Capacity determination in a wastewater system involves more than comparing a single set of numbers. An evaluation must be conducted that looks at the WWTP performance during average (dry weather), during wet weather, and in the sewer systems. This report evaluated conditions during average and wet weather conditions and deferred sewer analysis to a later time.

The Township has sufficient treatment capacity available to continue to accept new connections during average conditions (dry weather). Our analysis shows that approximately 800 REUs can be added until the WWTP flows will reach 1.1 MGD during the spring conditions and approximately 1,500 REUs until the WWTP reaches 1.3 MGD during these same spring conditions. A growth of 800 REUs is estimated to increase flows to 85 percent of the WWTP's permit limit during spring conditions, which is a typical threshold upon which the MDEQ may request

a WWTP expansion be considered. Past calculations suggest the WWTP may be able to treat 1.5 MGD if storage is built and thus the higher number of 1,500 REUs may be achievable.

However, during large storms, the Township’s WWTP will struggle to treat the peak flow that arrives and meet permit limits. The Township has long discussed a storage basin to be constructed at the WWTP. The size of this basin is dependent upon the level of growth and the available WWTP capacity. A basin is significantly less expensive than a plant expansion. Therefore, the basin should be sized for a future flow condition to postpone a WWTP expansion as long as possible. The MDEQ requires that the basin be sized to contain wastewater for the 25-year, 24-hour storm of 3.9 inches. This condition suggests the basin be sized for 1.7 MG. As discussed in the report, a more sophisticated statistical analysis may show this size can be slightly reduced before it is built.

The basin will assist with existing WWTP operations and be even more critical as growth occurs. It is recommended that the basin be constructed prior to any large developments occurring. For the purpose of quantifying a threshold, it is suggested that the basin be constructed prior to allowing more than 100 REUs to connect.

Table 5 provides a timeline for recommended improvements to summarize the number of new connections (expressed as REUs) and thresholds that initiate new projects.

**Table 5: Timeline of Recommended Improvements**

<b>Number of Additional REUs</b>	<b>Average Dry Weather Flow, MGD</b>	<b>Average Dry Weather Flow during Peak Months, MGD</b>	<b>Recommended Improvement</b>
0 – 100	0.7	0.9	Construct 1.7 MG storage basin
800 – 1,500	0.9 – 1.1	1.1 – 1.3	Expand WWTP

The REUs in Table 5 must consider new connections made from Green Oak Township and the 873 REUs committed to Green Oak. If Green Oak develops to the amounts included in the intergovernmental agreements, most or all of the surplus capacity in the existing wastewater treatment plant would be utilized.

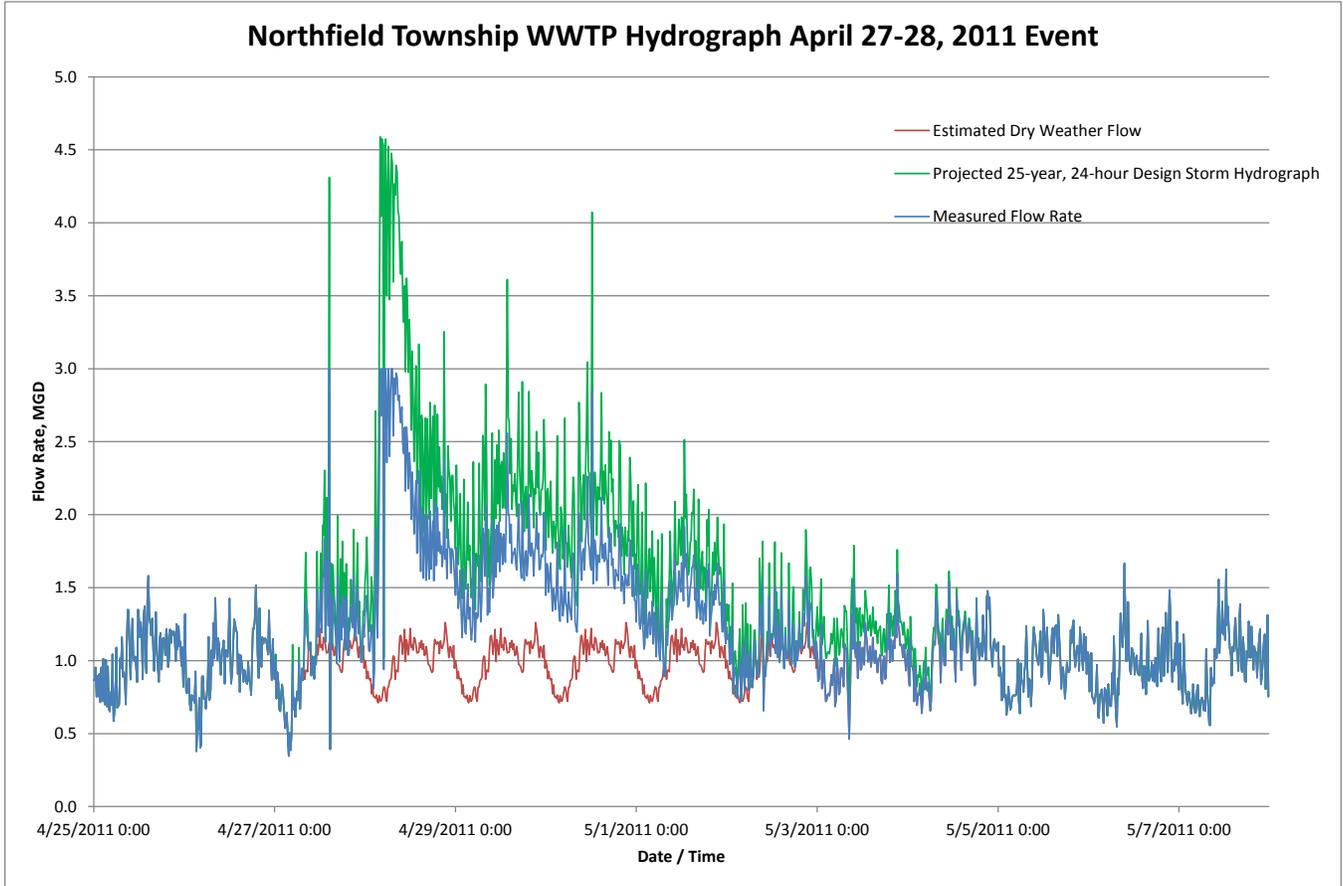
## **9.2 RECOMMENDATIONS**

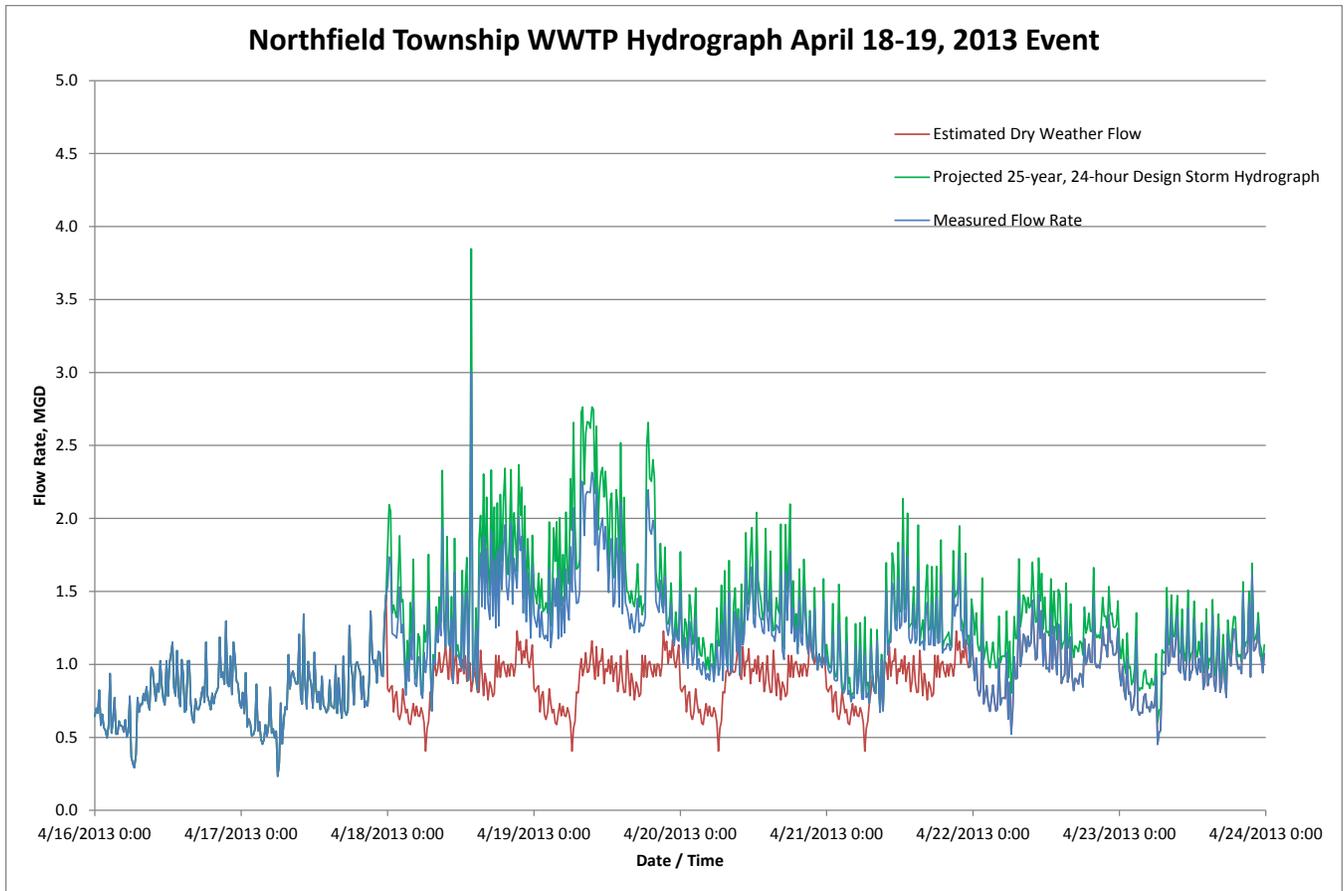
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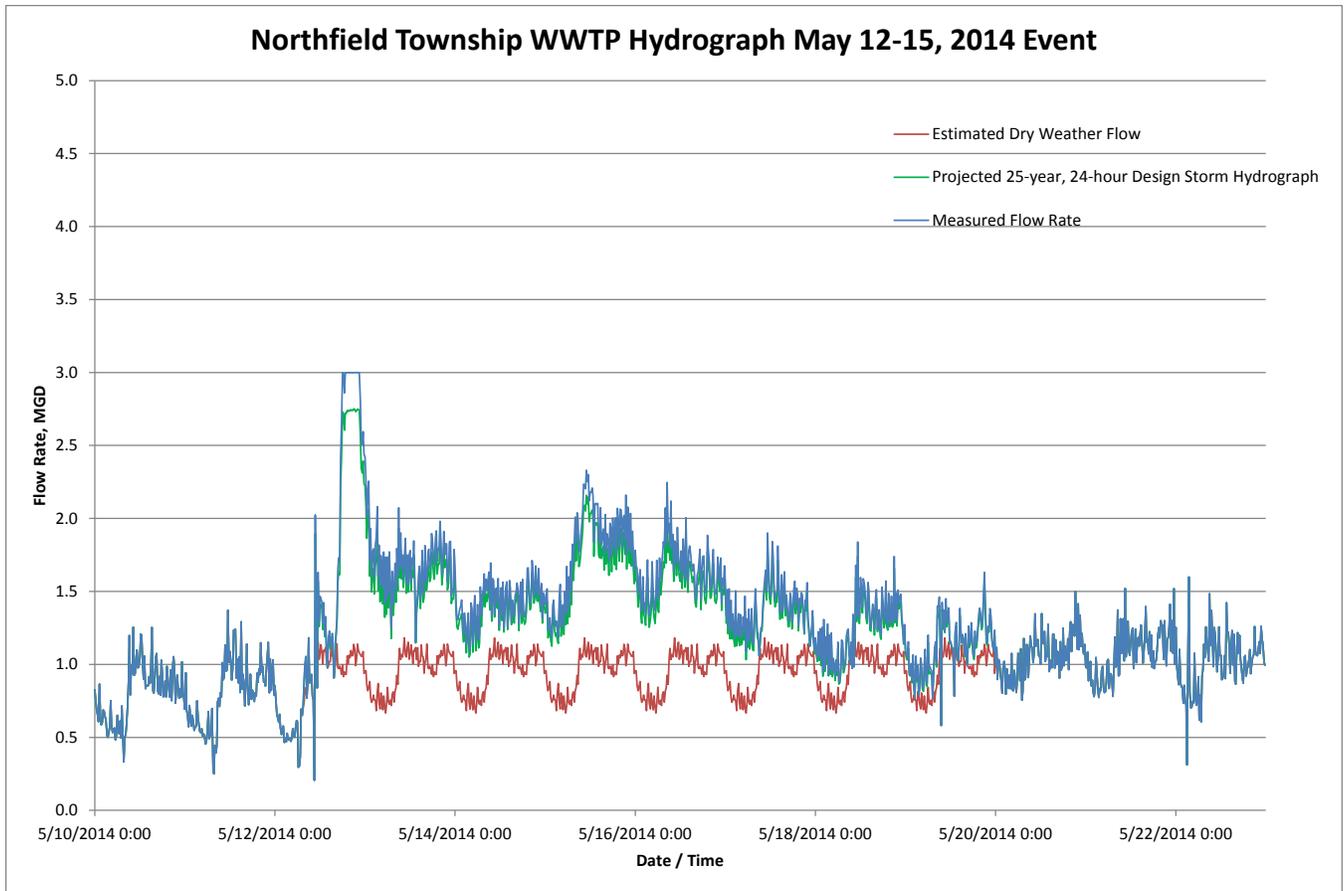
The Township should begin planning for the storage basin that has long been identified for the WWTP. The Township may also wish to revisit its 2005 thoughts about expanding the WWTP to confirm the size and cost of the expansion. The next step toward implementing the storage basin or WWTP expansion is to consider how these projects will be financed, because the method of financing may determine additional steps necessary. At a minimum, we recommend Northfield Township evaluate its system development charge (also referred to as connection fee) so that some of the cost of the basin and WWTP expansion is recovered through fees charged to new connections.

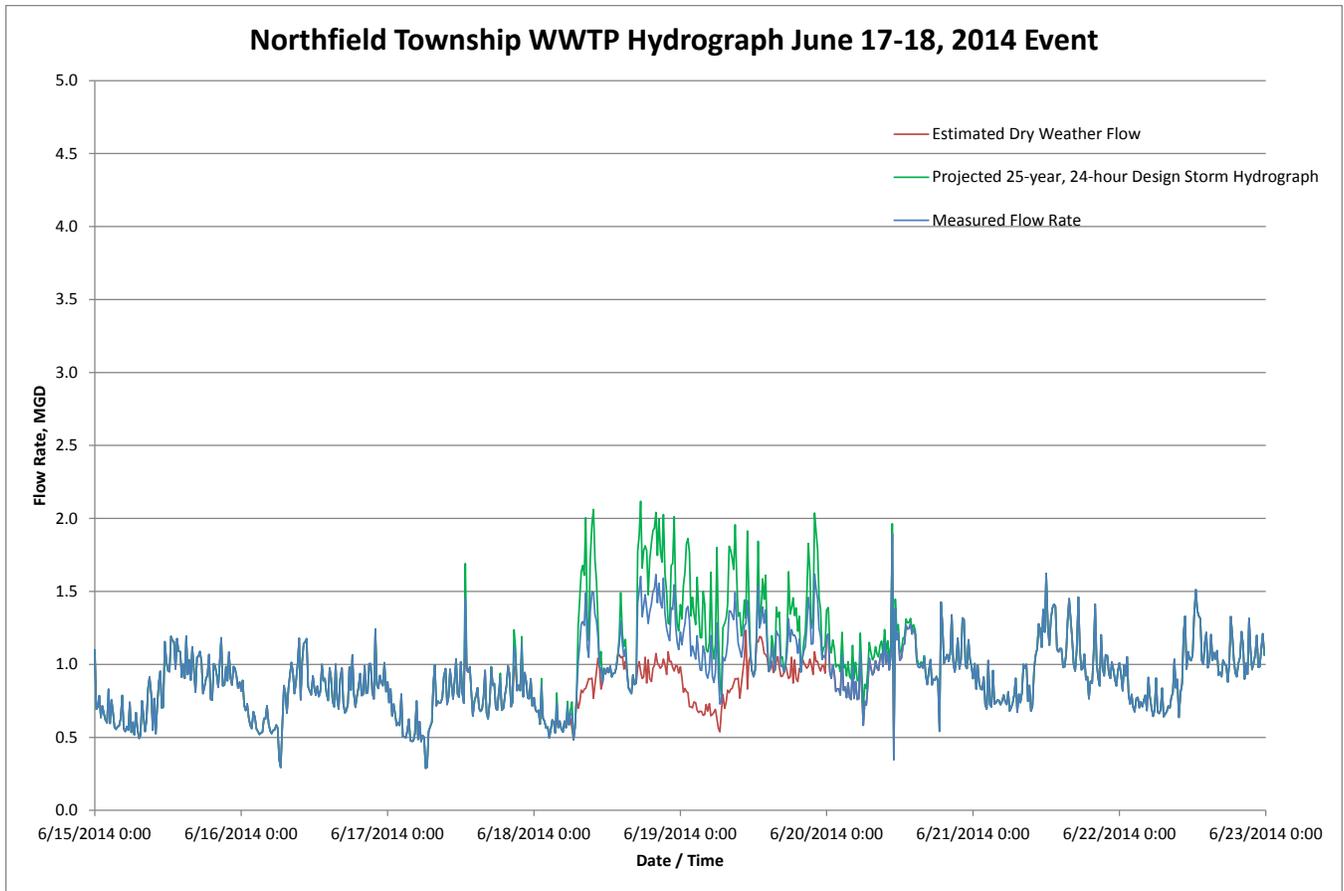
## APPENDIX A: GREEN OAK TOWNSHIP AGREEMENTS

**APPENDIX B: DATA USED FOR THE DEVELOPMENT OF THE 25-YEAR, 24-HOUR HYDROGRAPH**











CARLISLE

WORTMAN  
associates, inc.

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Ann Arbor, MI 48104

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(734) 662-1935 Fax

**MEMORANDUM**

**TO:** Northfield Township Board of Trustees

**FROM:** Douglas J. Lewan, Community Planner

**DATE:** November 5, 2012

**RE:** Sanitary Sewer Service Expansion Policy

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At the October 17, 2012 regular meeting of the Planning Commission a policy for the expansion of sanitary sewer service was recommended for approval to the Township Board. The proposed policy is in keeping with the newly adopted Township Master Plan with regard to sewer expansion. If adopted by the Township Board the attached policy will help guide future developers in their requests to expand the current Township sewer service area.

To assist in your review of the proposed policy I have attached the following:

1. *The draft version of the policy that was approved by the Township Planning Commission.* Please note this is in memorandum format. I would point out that one of the key components of the policy is the requirement for a public hearing for any requests to expand the current district.
2. *The sections of the Master Plan that relate to the policy as recommended by the Planning Commission.* Actions that follow an adopted community Master Plan are more likely to be upheld if challenged.
3. *The current sewer service map as found in the Master Plan.* It is the intention that expansion be allowed only when adjacent to the existing sewer service area.
4. *The current future land use map.* Please note the policy does not allow the expansion of sewer into areas planned for AG, Agriculture, LDR, Low Density Residential, or RC,

Project  
date

Recreation/Conservation. This is to allow a deliberate expansion into areas planned for growth.

5. *Planning Commission memo regarding funding.* The Planning Commission requested the subject memo to outline basic funding sources for the expansion of services. The proposed policy indicates that service expansions are the responsibility of the applicant.

I hope this information helps in your consideration of this important subject. Should you have any questions prior to your meeting please don't hesitate to contact me.

Sincerely:



---

**CARLISLE/WORTMAN ASSOC., INC.**  
Douglas J. Lewan, PCP, AICP  
Principal

cc. file.



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Ann Arbor, MI 48104

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(734) 662-1935 Fax

**MEMORANDUM**

**TO:** Northfield Township Planning Commission

**FROM:** Douglas Lewan, Township Planner  
Laura Kreps, Township Planner

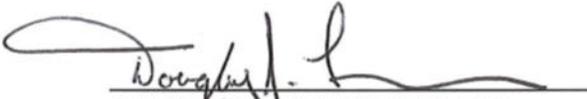
**DATE:** October 11, 2012

**RE:** Municipal Services Expansion Funding Options

In researching the expansion of municipal services, we have found that the following funding sources are typical of these types of service expansion projects:

- Special assessment district(s)
- Municipal bonds
- State government low-interest loans
- User fees
- General Fund
- Costs covered by developer

We can discuss these options in greater detail at the Planning Commission meeting.

  
CARLISLE/WORTMAN ASSOC., INC.  
Douglas J. Lewan, PCP, AICP  
Principal

  
CARLISLE/WORTMAN ASSOC., INC.  
Laura K. Kreps, AICP



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## **MEMORANDUM**

**TO:** Northfield Township Planning Commission  
**FROM:** Douglas Lewan, Township Planner  
**DATE:** September 25, 2012  
**RE:** DRAFT Sewer Service Expansion Policy

In February, we provided the Planning Commission with three (3) varying examples of sewer/water extension policies for review and discussion. Since that time, we have compiled the following DRAFT Sewer Expansion Policy in accordance with the Municipal Service Expansion Policies outlined in the newly adopted Northfield Township Master Plan. A form of this policy will have to be adopted by the Township Board of Trustees to become effective.

### **DRAFT Northfield Township Sewer Service Expansion Policy**

This policy sets forth criteria for extending the public sewer mains to serve new residential, commercial and industrial developments within the Township of Northfield.

#### **Application:**

An application for the extension of municipal services shall be completed and submitted to the Township for review by the Planning Commission and Township Board. Once a complete application is received for review, it shall be set for public hearing per Section 69.01, Public Notification and be placed upon the next available Planning Commission meeting to hear public comment and review the request. The Planning Commission will consider the public comments and make a recommendation on the application to the Township Board of Trustees. The Township Board of Trustees will review and take action on the Sewer Service Expansion Application after receiving a recommendation from the Planning Commission.

#### **Criteria for Review:**

Both the Planning Commission and Township Board of Trustees will review the Municipal Service Expansion application based upon the following criteria:

1. The area seeking inclusion within the district is contiguous to the current Northfield Sewer Service Area as depicted in Figure 18 of the 2012 Northfield Township Master Plan. The “leapfrogging” of Township areas to provide municipal services which create an island of services within the Township shall be prohibited. The idea of contiguous development requires that municipal services be expanded from one (1) fully developed area to the next adjacent area.
2. The extension of such facilities would serve a purpose consistent with the Northfield Township Master Plan, such as planned residential development adjacent to existing higher density commercial or residential development, the retention and expansion of existing businesses and industry or the attraction of new business and industry. Municipal sewer service shall not be extended into areas planned for AG, Agriculture, LDR, Low Density Residential, or RC, Recreation/Conservation.
3. The applicant has provided studies demonstrating the estimated sewer demand of the proposed extension area(s) to be included within an expanded service area, the current system capacity, and the proposed capacity to be encumbered by the proposed expansion.
4. The applicant / property owner will be responsible for all costs to extend the municipal sewer system to provide service to their property including design, easements, construction, and all review costs of the Township Engineer, Planner, and/or other Township staff.
5. If the Board of Trustees finds that the absence of such facilities would result in a threat to public health or safety sewer service may be extended beyond those areas noted above. The threat to public health or safety must be verified by either the Washtenaw County Department of Environmental Health or the Michigan Department of Community Health Public Safety and Environmental Health Division.

Please feel free to contact us with questions.



**CARLISLE/WORTMAN ASSOC., INC.**  
**Douglas J. Lewan, PCP, AICP**  
**Principal**

**NORTHFIELD TOWNSHIP  
Township Board  
Minutes  
November 13, 2012**

**CALL TO ORDER**

The meeting was called to order at 7:00 P.M. by Supervisor Mozurkewich at 8350 Main Street.

**PLEDGE/INVOCATION**

Supervisor Mozurkewich led those present in the Pledge of Allegiance and Mozurkewich provided a brief prayer.

**ROLL CALL**

Debra Mozurkewich	Present
Michele Manning	Present
Cynthia Wilson	Absent with notice
Wayne Dockett	Present
Samuel Iaquinto	Present
Michael Magda	Absent
Mark Stanalajczo	Present

Also present:

Wastewater Treatment Plant Superintendent  
Tim Hardesty  
Public Safety Director William Wagner  
Police Lt. Tim Greene  
Senior Center Director Susan Laity  
Recording Secretary Lisa Lemble  
Members of the community

**CONSENT AGENDA:**

- **Minutes**
- **Bills**
- **Other**

Dockett asked that Minutes and Bills be removed from the Consent Agenda.

- ▶ **Motion:** Stanalajczo moved, Manning supported, that the "Other" items in the consent agenda be approved as presented.  
**Motion carried 5—0 on a voice vote.**

**ADOPT BALANCE OF AGENDA**

Iaquinto asked that *Discussion of NSF Charges* be added as Discussion/Action item 5. Stanalajczo asked that *Shooting Range at 5991 Sutton Road* be added as item 6, and *Provision of New Supervisor with an Unencrypted Copy of the Supervisor's Hard Drive* be added as item 7.

- ▶ **Motion:** Iaquinto moved, Stanalajczo supported, that balance of the agenda be adopted as amended.  
**Motion carried 5—0 on a voice vote.**

**FIRST CALL TO THE PUBLIC**

Mary Devlin, 9211 Brookside, thanked outgoing Board members and several members of the community for their service.

**REPORTS**

**Supervisor**

Mozurkewich thanked all those who kept her in their thoughts and prayers following her recent surgery. She provided updates on various public and private development projects in the Township.

**Department Heads**

*Fire.* Public Safety Director Wagner briefly reviewed the October report and answered questions about the new marine vessel.

*Interim Township Manager.* Wagner reviewed the report about removal of the old underground storage tank at Fire Station #1.

- ▶ **Motion:** Iaquinto moved, Mozurkewich supported, that the expenditure of \$750 for soil testing for samples taken at 75 Barker Road while the underground storage tank was being removed be approved. **Motion carried 5—0 on a voice vote.**

Wagner referred to the two bids for snow removal for the 2012-13 season.

- ▶ **Motion:** Iaquinto moved, Stanalajczo supported, that the plowing and salting contract from J&M for the 2012-13 calendar year be approved as presented. **Motion carried 5—0 on a voice vote.**

Regarding sewer backup damage in the Public Safety Building, Wagner said the total of the expenses will probably reach the \$25,000 insurance coverage.

- ▶ **Motion:** Iaquinto moved, Stanalajczo supported, that the Township Manager be authorized to spend up to \$25,000—the limit of the insurance coverage—for sewer backup cleanup and repairs in the Public Safety Building.  
**Motion carried 5—0 on a voice vote.**

**Northfield Township Board Meeting  
Minutes of Regular Meeting  
Public Safety Building; 8350 Main Street  
November 12, 2013**

**POLICE DEPARTMENT PRESENTATION**

Amy Griffith Schultz described fundraising efforts she has been engaged in to provide equipment for the Police Department—an effort she began as a gesture of gratitude after the department's response to a break-in of her home.

**PRESENTATION OF 2011-2012 AUDIT REPORT**

John Pfeffer of Pfeffer, Hanniford & Palka presented the report for the audit of the fiscal year ending June 30, 2012. He said his firm is issuing the highest opinion possible—an unqualified opinion—about the Township's finances. He said over the past several years, during the economic downturn when valuations were going down, the Township has been able to add to its fund balances and get them to a comfortable level. He added that the Township has also increased its insured funds to 76%, which is very good.

Pfeffer said the Supervisor, Clerk, and Deputy Treasurer were all very helpful during the audit and he answered questions from Board members.

**REPORTS (continued)**

*Police.* Police Lt. Greene reviewed the written report for October.

- ▶ **Motion:** Iaquinto moved, Mozurkewich supported, that \$64,105.50 be authorized for the purchase of two new vehicles with outfitting to be paid for from the Narcotics Fund. **Motion carried 5—0 on a voice vote.**

*Senior Center.* Laity said on November 26<sup>th</sup> a Medicare representative will be at the Center to help people with insurance.

*Wastewater Treatment Plant.* Hardesty referred to his written report.

- ▶ **Motion:** Mozurkewich moved, Stanalajczo supported, that up to \$3,860 be authorized for payment to B.J. Heating & Cooling, Inc. for installation of a 1.5" natural gas line. **Motion carried 5—0 on a voice vote.**

Hardesty reported that the sewer line serving 11786 Kenton was repaired on an emergency basis.

**Downtown Development Authority**

Nothing to report.

**Zoning Board of Appeals**

Stanalajczo reported that the ZBA has not met since the last Township Board meeting.

**Planning Commission**

Iaquinto referred to Item #2 on the agenda.

**MINUTES and BILLS**

Dockett and Stanalajczo made three corrections to the minutes of October 9, 2012.

- ▶ **Motion:** Mozurkewich moved, Manning supported, that the minutes of October 9, 2012, be accepted as amended, and to dispense with the reading. **Motion carried 5—0 on a voice vote.**
- ▶ **Motion:** Mozurkewich moved, Manning supported, that the bills be approved as presented. **Motion carried 5—0 on a voice vote.**

**DISCUSSION/ACTION ITEMS**

**1.**

**Consider Purchase of 9142 Main Street**

Manning explained that the taxes on this property have continually gone unpaid with the property owner then redeeming the property prior to tax sale. She said the Township has a lien on the property, and the Township Treasurer is offering it to Northfield Township for \$5,876 prior to it going to tax sale. She said this is across from the Senior Center which is in need of overflow parking area.

- ▶ **Motion:** Stanalajczo moved, Manning supported, that the expenditure of \$5,876 be authorized for the purchase of Parcel 02-05-368-013, 9142 Main Street. **Motion carried 6—0 on a voice vote.**

**2.**

**Consider Sanitary Sewer Service Expansion Policy as Recommended by the Planning Commission**

- ▶ **Motion:** Iaquinto moved, Stanalajczo supported, that the Sewer Service Expansion Policy as recommended by the Planning Commission be approved. **Motion carried 6—0 on a voice vote.**

**3.**

**Investment Policy**

Stanalajczo recalled that the auditors' reports for the last several years has noted that some of the Township's investment funds are not insured. He said the Township's current investment policy has a lot of holes in it, with the Treasurer being entrusted with making the Township's investment. He said he has drafted a new investment policy to increase transparency and accountability and he read it aloud.

**Northfield Township Board Meeting  
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Public Safety Building; 8350 Main Street  
November 12, 2013**

- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, that the Investment Policy be adopted as presented.

Mozurkewich said she would not support this because it is a weighty matter and she would have preferred to have the opportunity to consider it in advance of the meeting.

**Motion carried 4—1 on a voice vote, Mozurkewich opposed.**

**4.  
Discussion on Phase 2 of the  
Barker Road Non-Motorized Bike Path**

Stanalajczo said it was found that necessary easements had not been secured, so Phase 2 was divided into two parts— Part A from the Main Street to the railroad tracks was approved last month, and Part B is supposed to extend to under the US-23 overpass. He said it appears that part B will never be built because easements will not be granted by two property owners.

- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, to sever any further professional and contractual relationship with Boss Engineering concerning Phase 2B of the Northfield Township non-motorized bike path and to instruct the Township attorney to negotiate payment terms with Boss engineering for services already provided in connection with the above mentioned. **Motion carried 3—2 on a voice vote, Mozurkewich and Manning opposed.**
- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, that engineering services be put out for bid for Phase 2B of the non-motorized bike path be for construction of said path from just east of the railroad tracks west along the north side of Barker Road and extending under US-23 terminating just west of US-23. Advertisements for the bids are to be placed by the Township Manager with an end date for submission of December 7, 2012, for consideration at the December 10, 2012, Township Board meeting. Point of contact for specifications for the project shall be the Township Manager.

Mozurkewich said she will not support this because a traffic study showed that there are more traffic conflicts on the other side of the road. Iaquinto said it is much more hazardous to cross highway ramps than driveways. Stanalajczo asked Wagner to comment. Wagner said he is not an expert, but it seems that it would be safer on the other side of the road. Manning said the traffic at the end of the exit ramp stops at a stop sign.

**Motion carried 3—2 on a voice vote, Mozurkewich and Manning opposed.**

**5.  
Discussion of NSF Charges**

The Board discussed recent overdraft charges and late fees on bills..

- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, that the Township Controller be required to report to the Township Board monthly any and all late fees on any bills and/or overdrafts charged to the Township during that month. The Controller is also directed to set up a separate line item in each fund budget to account for these charges and fees. An annual total of all late and overdraft fees for that fiscal year is to be provided to the Township Board by June 1<sup>st</sup> of that fiscal year. That total will then be posted predominantly on the Township website for public review. **Motion carried 5—0 on a voice vote.**
- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, that the Township Clerk be required to provide monthly to the Township Board institutions and balances for all funds that monies are being disbursed from or checks are being written from as of the last day of each month. That way the Township Board will know exactly what is in there and we will not be having these negative balances coming up again. **Motion carried 5—0 on a voice vote.**

**6.  
Shooting Range at 5991 Sutton Road**

- ▶ **Motion:** Stanalajczo supported, that information on the issues regarding the shooting range at 5991 Sutton Road be directed to Mr. Fred Lucas for review and opinion to be sent back to the Township Board to be contacted by Mr. Bill Wagner. **Motion carried 5—0 on a voice vote.**

**7.  
Provision of New Supervisor with an  
Unencrypted Copy of the Supervisor's Hard Drive**

- ▶ **Motion:** Stanalajczo moved, Iaquinto supported, that SRR be directed to provide an unencrypted USB hard drive copy of the currently encrypted hard drive that they have that was the current Supervisor's to be given to Mr. Wagner to be presented to the new Supervisor once her oath of office has been taken at a cost not to exceed \$400. **Motion carried 4—1 on a voice vote, Mozurkewich opposed.**

**SECOND CALL TO THE PUBLIC**

No comments.

**Northfield Township Board Meeting  
Minutes of Regular Meeting  
Public Safety Building; 8350 Main Street  
November 12, 2013**

**BOARD MEMBER COMMENTS**

- Mozurkewich, Iaquinto, and Stanalajczo each read prepared statements about their experiences of serving as Township Board Trustees. Dockett also made a brief statement. Pond Hockey Classic
- Iaquinto noted the Pond Hockey Classic will be held January 25<sup>th</sup>, 26<sup>th</sup>, and 27<sup>th</sup>.
- Manning thanked all of the voters who participated in the general election on November 6<sup>th</sup> and she encouraged anyone who has comments about the election process to contact her.

- Misc. Stanalajczo asked everyone to remember those serving in the armed forces. Dockett asked everyone to remember military veterans and to buy locally.

**ADJOURNMENT**

- ▶ **Motion:** Manning moved, Mozurkewich supported, that the meeting be adjourned.  
**Motion carried 5—0 on a voice vote.**

The meeting adjourned at 9:37 P.M.

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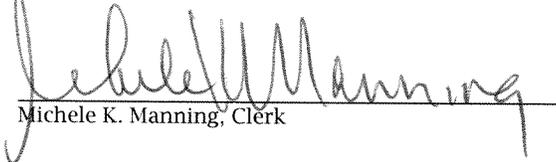
Submitted by Lisa Lemble.

Corrections to the originally issued minutes are indicated as follows:

Wording removed is ~~stricken through~~;

Wording added is underlined.

Approved by the Township Board on December 11, 2012.

  
Michele K. Manning, Clerk

Official minutes of all meetings, as well as expanded notes, are available on the Township's website at [http://twp.northfield.mi.us/boards/twp\\_board](http://twp.northfield.mi.us/boards/twp_board)

# NORTHFIELD TOWNSHIP PLANNING COMMISSION Minutes of Regular Meeting March 18, 2015

## 1. CALL TO ORDER

The meeting was called to order by Chair Marlene Chockley at 7:00 P.M. at 8350 Main Street.

## 2. PLEDGE OF ALLEGIANCE

## 3. ROLL CALL AND DETERMINATION OF QUORUM

Roll call:

Janet Chick	Present
Marlene Chockley	Present
Brad Cousino	Present
Kenneth Dignan	Present
Sam Iaquinto	Present
Larry Roman	Present
Mark Stanalajczo	Absent with notice

Also present:

Township Manager Howard Fink  
Planning Consultant Douglas Lewan,  
Carlisle/Wortman Associates  
Township Engineer Jacob Rushlow  
Recording Secretary Lisa Lemble  
Members of the Community

## 4. APPROVAL OF AGENDA

Chockley asked that item 10A be moved to follow Reports.

- ▶ **Motion:** Iaquinto moved, Dignan supported, that the agenda be adopted as amended.  
**Motion carried 6—0 on a voice vote.**

## 5. FIRST CALL TO THE PUBLIC

**Community Survey.** David Gordon, 5558 Hellner Road, suggested that the scope of the community survey being considered include questions about farmland and open space preservation as well as the items included in the 1996 survey, and that a wide range of constituents be included in developing the questions. He also provided a copy of Ann Arbor Township's community survey.

## 6. CORRESPONDENCE

Chockley said she received an email from Susan Shink about the value of equestrian developments in the Township.

## 7. REPORTS

### 7A. Board of Trustees

Chick reported that on March 10<sup>th</sup> the Board:

- Hired two staff people (Assessing Assistant and Deputy Clerk) and made the position of Deputy Clerk fulltime.
- Approved a contract to convert Public Safety Building lighting to LED to save money.
- Approved the amendment to the zoning ordinance for manufactured housing and the library conditional use permit.
- Voted to be the body that prepares the Capital Improvements Project, rather than the Planning Commission.
- Approved a resolution in support of the US-23 project.

### 7B. ZBA

Has not met since the last Planning Commission meeting.

### 7C. Staff Report

Nothing to report.

### 7D. Planning Consultant

Nothing to report.

## 10. NEW BUSINESS

### 10A. Presentation: Huron River Watershed Council Americana Grant for Green Infrastructure Mapping.

Kristine Olson of the Huron River Watershed Council (HRWC) handed out information about the Americana Grant and reviewed the steps the HRWC would take with Northfield Township for this mapping project:

- Conduct a workshop/charrette with Township officials and members of the public to identify the Township's green infrastructure.
- Identify plan elements (master plan, zoning ordinance) it would be good for the community to have.
- Work on the County's Bioreserve map by doing field assessments of areas of interest.

Olson said there is no cost to the Township for this and the Township would not be obligated to do anything following the assessment. She explained that this is only an inventory of physical conditions in the Township, and it would then be up to the Township to decide to make decisions about potential use of land. She noted they have done this for Ann Arbor Township and are already working with Webster Township, and she will be giving a presentation to Salem Township. In answer to a question from Chick, Olson said if Northfield Township decides to proceed with this, the

HRWC's available time to work with 2-3 Townships will be filled.

Chockley said this would be a valuable piece of work to have and asked if there would be any objections to doing this. There were none. Olson said the HRWC would need to set a date for the workshop (about 2 hours) and that could be at a Planning Commission meeting or at a different time, and after that the Commission would meet with her to review recommendations.

- ▶ **Motion:** Chockley moved, Chick supported, that the Planning Commission work with the Huron River Watershed Council to take advantage of the Americana grant for the purpose of green infrastructure planning.  
**Motion carried 6—0 on a roll call vote.**

## **8. PUBLIC HEARINGS**

None.

## **9. OLD BUSINESS**

- 9A. Master Plan Update—Discussion of past studies associated with a 2006-2007 residential development proposal denied in the southwest quadrant.**

Chockley noted that Fink had provided copies of documentation from a 2006-7 residential proposal—Stratton Farms—which was denied by the Township as an example of what a dense type of project would look like. Lewan noted it was proposed as a rezoning via PUD with some clustering of housing and about 56% open space. He said it included a traffic study and cost of service study—items Commissioners have been interested in seeing related to the request for amendment of the Master Plan from Biltmore Development.

In answer to questions, Lewan confirmed that main reason the proposal was denied was that it did not conform to the Master Plan at the time which called for one unit per 10 acres for that property. Chockley said she found it interesting that the projection was for over 8,000 residents, 4,000 of which would be senior citizens, so the developer knew even then that the population is aging and took into consideration the idea of planning for people to age in place. Lewan said it is interesting that 56% of the site was proposed as open space, which is the type of thing the Township would like to see in submittals now. Chick said it was useful to have this information. Iaquinto said despite being very active in the community he does not remember hearing about this proposal; other Commissioners said they also do not remember it. Iaquinto says this shows how self-serving the Planning Commission was at that time. Chockley said the cost information included addressed only revenue (taxes, Senior Center dues), but not expenses for providing services.

- 9B. Residential Densities—follow-up discussion to the March 4<sup>th</sup> presentation.**

Lewan briefly reviewed the presentation he made on March 4<sup>th</sup> about the development possibilities for an 80 acre parcel of land in various zoning districts. He called for questions; there were none.

## **10. NEW BUSINESS**

- 10A. Presentation: Huron River Watershed Council Americana Grant for Green Infrastructure Mapping.**

[Heard following Agenda Item 7].

- 10B. Citizen Survey—Status of request for proposal.**

Lewan reported that a request for proposals was sent to seven research/marketing firms in the area asking for responses by April 3<sup>rd</sup>. He said the firm chosen will work with the Township to choose questions and prepare a fair, representative survey. In answer to a question from Iaquinto, Lewan said he estimated the cost at about \$10,000. Chockley said she wants this to be a comprehensive survey that asks questions in a non-leading way.

- 10C. Traffic Study—Discussion of available studies and request for additional information.**

Lewan said he put together as much information as they could find from available sources, including from SEMCOG, but they have not been able to get any level of service information from the Washtenaw County Road Commission. He said Rushlow's office has quite a bit of information that they will be adding to this.

Dignan said if the US-23 project proceeds it could have a dramatic effect on area roadways and would make any traffic study between now and then useless. Lewan agreed, but said the idea behind gathering this information was to find out what information is currently available without going to the expense of undertaking a traffic study.

Chockley asked whether there are any plans to replace the N. Territorial bridge over US-23. Fink said the US-23 (Active Traffic Management) ATM lane improvement project is not guaranteed to be done, and at a Washtenaw Area Transportation Study (WATS) meeting today there was a lot of debate with significant opposition to it, and this resulted in them delaying their vote until April. He said replacement of the North Territorial and Six Mile bridges, the roundabouts on either side of the bridge on North Territorial, and the relocation of Five Mile Road are being planned separately from the US-23 lane improvement proposal because they are considered to be safety improvements, rather than traffic management, and will probably be done even if the US-23 project is not approved. He noted the North Territorial bridge is

being planned at only the current two lane width despite efforts by him and Rushlow to upgrade it to four lanes and include bike lanes, but MDOT did agree to put the infrastructure in place to allow it to be widened in the future.

Fink said he is a vocal supporter of the US-23 ATM project, and he believes it will be approved, but there is no guarantee. He said it is not a perfect project, but from a policy standpoint he tries never to allow "perfect" to get in the way of "good."

In answer to a question from Iaquinto, Fink said the traffic circles at Lee Road have allowed the system to handle a greatly increased amount of traffic. Rushlow added they reduce the risk for backups on the bridge and onto the freeway.

Regarding the issue of traffic planning for future development, Rushlow said rather than a traffic impact study for a specific proposal or area, a Small Area Forecast can be done using demographics and other data to identify stress points in systems to help determine what specific things should be planned for (paving, road widening, shifting traffic, etc.). He said other improvements and proposed developments also need to be considered, even things like the proposed WALLY line which could develop far in the future. Chockley said this type of thing seems more valuable in revising the master plan, and she asked whether zoning of the land in the area would be considered. Rushlow said those thing should be considered.

### 11. MINUTES

#### March 4, 2015, Regular Meeting

Chockley and Chick made several corrections.

- ▶ **Motion:** Iaquinto moved, Chick supported, that the minutes of the March 4, 2015, regular meeting be approved as corrected, and to dispense with the reading. **Motion carried 6—0 on a voice vote.**

### 12. POLICY REVIEW AND DISCUSSION

Chick said at the last Township Board meeting the issue came up of what distance constitutes leapfrogging in reference to development. Lewan said

he found the actual policy the Board adopted several years ago and he can provide that.

### 13. SECOND CALL TO THE PUBLIC

**Biltmore/Master Plan Amendment.** David Gordon said it is disturbing that there has been no discussion yet about whether or how the public will be involved in developing the community survey that is being planned. He also said it would be interesting to know how much development would be possible in the Township without any rezoning.

Gordon said regarding the Stratton Farms development, the consideration of that development was all open to the public.

Craig Warburton, 450 W. Joy Road, said it is clear the Commission is modifying its Master Plan to meet the needs of one developer.

### 14. COMMENTS FROM THE COMMISSIONERS

**High Speed Internet.** Cousino asked if the Commission can have any influence on getting high speed internet in the Township. He said this is a big problem. Fink said he encourages the Commission to talk about it, but unless the Township wants to build infrastructure there is probably no influence the Township can have.

Dignan said anyone wanting to help a local family that lost a child in a tragic accident this week they can contact him.

### 15. ANNOUNCEMENT OF NEXT MEETING

**April 1, 2015,** at 7:00 P.M. at the Public Safety Building was announced as the next regular Commission meeting time and location. Chockley noted there is a potential for requests from three applicants.

### 16. ADJOURNMENT

- ▶ **Motion:** Roman moved, Dignan supported, that the meeting be adjourned. **Motion carried 6—0 on a voice vote.**

The meeting was adjourned at 8:33 P.M.

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Prepared by Lisa Lemble.

Corrections to the originally issued minutes are indicated as follows:

Wording removed is ~~stricken through~~;

Wording added is underlined.

Adopted on \_\_\_\_\_, 2015.

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Marlene Chockley, Chair

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Mark Stanalajczo, Secretary

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