

**NORTHFIELD TOWNSHIP PLANNING COMMISSION
NOTICE OF REGULAR MEETING**

**December 16, 2015 at 7:00 p.m.
Second Floor, Public Safety Building
8350 Main Street, Whitmore Lake, MI 48189**

AGENDA

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**
- 5. CALL TO THE PUBLIC**
- 6. CORRESPONDENCE**
- 7. REPORTS**
 - A. Board of Trustees Report**
 - B. ZBA**
 - C. Staff Report**
 - D. Planning Consultant Report**
- 8. PUBLIC HEARINGS**
 - A. Case #JPC150006 Washtenaw County Parks and Recreation, 2230 Platt Road, Ann Arbor, MI 48107: Rezone from Local Commercial District and Agriculture District to Recreation Conservation District (Section 36-125). The parcel numbers are B-02-04-100-002, B-02-04-300-001, B-02-04-400-003 and B-02-09-200-001 and are zoned AR, RC, AR and LC, and LC.**
 - B. Case #JPC150006 Washtenaw County Parks and Recreation, 2230 Platt Road, Ann Arbor, MI 48107: Site plan review to propose installation of a 4 car, gravel parking lot with a paved apron, a kiosk, entry sign and bike racks (Section 36-864).**
- 9. UNFINISHED BUSINESS**
 - A. Bylaws: Final review of proposed language.**
 - B. Webster Township Master Plan: Approval of proposed letter of response.**
- 10. NEW BUSINESS**
 - A. Case #JPC150006 Washtenaw County Parks and Recreation, 2230 Platt Road, Ann Arbor, MI 48107: Rezone from Local Commercial District and Agriculture District to Recreation Conservation District (Section 36-125). The parcel numbers are B-02-04-100-002, B-02-04-300-001, B-02-04-400-003 and B-02-09-200-001 and are zoned AR, RC, AR and LC, and LC.**
 - B. Case #JPC150006 Washtenaw County Parks and Recreation, 2230 Platt Road, Ann Arbor, MI 48107: Site plan review to propose installation of a 4 car, gravel parking lot with a paved apron, a kiosk, entry sign and bike racks (Section 36-864).**
 - C. Case #JPC150007 Nowatzke Truck and Trailer / Damrath Group, LLC, 6900 Whitmore Lake Road, Whitmore Lake, MI 48189: Site plan amendment to retain an existing chain link fence rather than build the 8' cedar screening fence shown on the site plan approved 4-15-2015.**
- 11. MINUTES: December 2, 2015 Meeting**
- 12. POLICY REVIEW AND DISCUSSION**

This notice is posted in compliance with PA 267 Of 1976 as amended (open meetings act) MCLA 41.7 2A (2) (3) and the Americans with Disabilities Act (ADA). Individuals with disabilities requiring auxiliary aids or services should contact the Northfield Township Office, (734) 449-5000, seven days in advance.

13. CALL TO THE PUBLIC

14. COMMENTS FROM THE COMMISSIONERS

15. ANNOUNCEMENT: Next Regular Meeting – January 6, 2015

16. ADJOURNMENT

This notice is posted in compliance with PA 267 Of 1976 as amended (open meetings act) MCLA 41.7 2A (2) (3) and the Americans with Disabilities Act (ADA). Individuals with disabilities requiring auxiliary aids or services should contact the Northfield Township Office, (734) 449-5000, seven days in advance.

8350 Main Street, Whitmore Lake, MI 48189-0576
Website: www.twp.northfield.mi.us

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Northfield Township Planning Commission By-Laws

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STATEMENT OF BY-LAWS

Northfield Township Planning Commission

ARTICLE I - PREAMBLE

SECTION 1.1 - BASIS:

Pursuant to the Michigan Planning Enabling Act 33 of 2008 and the Michigan Zoning Enabling Act 110 of 2006, as amended. The Northfield Township Board created the Northfield Township Planning Commission by resolution with the power to make, adopt, extend, add to, or otherwise amend, and to carry out plans for the unincorporated portions of Northfield Township.

SECTION 1.2 - TITLE:

The official title of this Commission shall be the "Northfield Township Planning Commission."

ARTICLE II - AREA

SECTION 2.1 - AREA:

The area served by the Northfield Township Planning Commission shall include all lands legally within the present or future boundaries of Northfield Township.

ARTICLE III - PURPOSES

SECTION 3.1 - PURPOSES:

The purposes of the Commission shall be to:

- A. Promote and carry out policy and physical planning actions regarding the preservation, protection, and appropriate use of the township's resources.
- B. Manage suitable development of the economic, social, physical, natural, and cultural resources of Northfield Township.

- C. Promote and protect public health, safety, and general welfare of the people residing in Northfield Township.
- D. Encourage use of township resources in accordance with their character and suitability.
- E. Prepare a master plan pursuant to Act 33 of the Public Acts of 2008, as amended, for the purpose of guiding the “planned and orderly” physical development of Northfield Township.
- F. Carry out research and responsibilities as directed by the Township Board.
- G. Promote cooperation between governmental units and private entities towards the fulfillment of these bylaws.
- ~~H. Promote a network of public roads and streets that functions efficiently.~~
- H. Facilitate provision for a system of transportation, sewage disposal, safe and adequate water supply, recreation, and other public improvements.
- ~~J.I. Effect-Affect~~ economies in the Township through the recommendation of expenditure of funds in order to implement plans prepared for sound and orderly development of the Township.
- ~~K. Consider the character of the Township and its suitability for particular uses judged in terms of such factors as the suitability of the land and the trends in land use and population developments.~~
- L.J. Promote the adoption and execution of plans by the Township, School Districts, County, State, Federal, and other governments and agencies responsible for making or influencing public or other improvements in the Township.
- ~~M.K.~~ Encourage and assist public and private entities in improving the attractiveness of the Township.
- N.L. Preserve and protect fragile lands, natural features, water resources, and the environmental safety of Northfield Township.

ARTICLE IV - RESPONSIBILITIES AND DUTIES

SECTION 4.1 - ADOPTION OF A MASTER PLAN

The Planning Commission shall make and adopt a master plan pursuant to statute as a guide for the management of the unincorporated portions of the Township. The contents of the plan shall include maps, plats, charts and descriptions, explanations, and other related materials and shall show recommendations for the physical development of the Township.

SECTION 4.2 - THE CONTENTS OF THE PLAN MAY INCLUDE:

- A. A statement of community goals and policies.
- B. A land use plan and implementation program.
- C. Recommendations as to the general location, character, and extent of traffic ways, waterways, flood prevention works, and sewer and water systems, and public utilities and structures.
- D. Recommendations as to the redevelopment or rehabilitation of blighted districts.
- E. Recommendations for the removal, widening, narrowing, vacating, abandonment, changes, or use of extension of ways, grounds, open spaces, buildings, utilities, or other facilities.
- F. Recommendations for the protection of important natural features, resources, and fragile lands.
- G. Recommendations for implementing any of the Planning Commission's proposals.

SECTION 4.3 - REVIEW OF THE MASTER PLAN

The Planning Commission shall formally review the adopted Master Plan every five (5) years and shall take action by resolution to make amendments of the plan, in whole or in part, or may determine that no amendments are in order as a result of the review.

SECTION 4.4 - AMENDMENT OF MASTER PLAN

Any amendment to the Master Plan must include notice, publishing, or posting of text, and a public hearing, and must be adopted pursuant to statute.

SECTION 4.5 - PUBLIC WORKS REVIEW

The Commission may make recommendations of either approval or disapproval to the Township Board concerning large expansions of public works projects.

SECTION 4.6 - REVIEW PUBLIC DIRECTIVES

Review and make recommendations to The Township Board on those directives of federal, state, and local public agencies that affect the physical development of the community. Examples of activities with which directives may deal are highways, airports, public transit, urban renewal and housing, parks, public buildings and structures, commercial and industrial developments, utilities, and all other public facilities or services.

SECTION 4.7 - CAPITAL IMPROVEMENT PLAN

In lieu of the Township Board accepting responsibility for the preparation of a Capital Improvements Plan, the Planning Commission shall create a public works Capital Improvements Plan containing all projects identified in the master plan, including public needs, estimated cost, and proposed method of financing. The Township Board may delegate this responsibility to the Planning Commission. Assist the local governmental unit in preparing a public works capital improvement plan, based upon the land use plan, which defines all "project type" public needs, estimated cost, and the proposed method of financing.

SECTION 4.8 - ZONING ORDINANCE

Prepare a zoning ordinance to be submitted for adoption and/or review to the Township Board and/or review, and make recommendations on all amendments or changes to be made in the zoning maps or the regulations of a zoning ordinance. It shall be the responsibility of the Planning Commission to review and make recommendations on special types of development permitted under the zoning ordinance.

SECTION 4.9 - SUBDIVISION REGULATIONS

Prepare subdivision (plat) regulations to be submitted for adoption by the Township Board; review, make recommendations, and participate in the approval or disapproval of all subdivision plats, street openings and other developments which involve expansion of the community's developed area.

SECTION 4.10 – DEVELOPMENT REVIEW

Review, revise, recommend, and/or approve plans and programs presented to the Planning Commission.

SECTION 9.14.11 - ANNUAL REPORT:

By March 1 of each year, the Commission shall make an annual report of its activities to the Northfield Township Board concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.

SECTION 4.10-12 - SPECIAL STUDIES

Initiate or make special studies and reports on all matters that may be referred by the Township Board, by an operating department federal or state agency, subject to the approval of the Township Board.

SECTION 4.11-13 - INQUIRIES

Make inquiries, investigations, and surveys of all the resources of the Township.

SECTION 4.12-14 - ASSEMBLE DATA

To assemble and analyze data and formulate plans for the proper conservation and uses of all resources; including a determination of lands having various use potentials, and for services, facilities, and utilities required to equip such lands.

SECTION 4.13-15 - CONSULT

In the adoption of a Master Plan, the Planning Commission shall consult with representatives of the adjacent Townships, Washtenaw County, and the regional Planning Commission (SEMCOG).

On other issues of Township concern, the Commission may consult with adjacent communities.

SECTION 4.14-16 - ADOPT RULES

The Planning Commission shall adopt rules and regulations for the transaction of its business. The regulations may address but are not limited to such matters as forms and number of copies of material to be submitted to the Commission and requirements as to time such materials must be submitted.

Such regulations shall be adopted by resolution of the Commission and shall be published and readily available to all citizens having business before the Commission.

SECTION 4.15-17 - APPOINTMENT:

The Commission may appoint and authorize advisory committees whose members may consist of governmental officials and individuals whose experience, training, and interest in the Commission's work qualifies them to lend valuable assistance to the Commission. The Commission may also appoint various committees of citizens to collect information and prepare reports to the Commission on the various phases of the comprehensive planning program for which the Commission is primarily responsible.

SECTION 4.18 - TRAINING:

Encourage attendance at training sessions, conferences, or meetings for which appropriate funds have been approved by the Township Board as needed.

ARTICLE V - MEMBERSHIP

SECTION 5.1 - NUMBER:

The Northfield Township Planning Commission shall consist of 5, 7, or 9 members who shall be qualified electors of Northfield Township except that one member may be an individual who is not a qualified elector of the Township. Members shall be representative of important segments of the community, such as the economic, governmental, educational, and social development, as well as the entire geography of the Township to the extent practicable. One member of the Township Board shall be a member of the Planning Commission. One member of the Planning Commission shall be appointed to the Zoning Board of Appeals.

SECTION 5.2 - APPOINTMENT:

All members of the Planning Commission shall be appointed by the Township Supervisor with the approval of the Township Board. The Township Board may remove a member of the planning commission for misfeasance, malfeasance, or nonfeasance in office upon written charges and after a public hearing.

SECTION 5.3 - TERM:

The term of each member shall be for three (3) years such that, as nearly as possible, the terms of 1/3 of all the planning commission members will expire each year, except that of the members first appointed; one third (1/3) shall serve one (1) year, one third (1/3) shall serve two (2) years and one third (1/3) shall serve three (3) years. The term of the member of the Township Board shall expire with his or her elected term.

SECTION 5.4 - SUCCESSION:

Each member shall serve until his/her term shall expire. Members may be re-appointed by the Township Supervisor with the approval of the Township Board. Vacancies resulting from resignation and/or removal shall be filled in the same manner and shall be appointed for the remainder of the term of the resigning member.

SECTION 5.5 - COMPENSATION

- A. Planning Commissioners may be compensated as provided by the Township Board.
- B. Planning Commissioners may be compensated for travel expenses incurred as travel to conferences and meetings.

~~**SECTION 5.6 - OPERATING FUNDS**~~

- ~~A. The Planning Commission shall prepare a budget at its regular meeting during the month of February for transmittal to the Township Supervisor for consideration.~~
- ~~B. Operating funds are provided annually by the Township Board.~~

~~C. The Township Board may accept gifts and grants for Planning Commission purposes.~~

~~D. It is the Chairperson's responsibility to properly manage the Planning Commission's budget so as not to exceed the amount approved by the Township Board. The Planning Commission shall keep the Board advised of its financial activities and request an adjustment in the allocated amount if necessary.~~

SECTION 5.7-6 - COMMISSION EMPLOYEES

The Township Board may employ appropriate and other employees and/or contract for part-time or full-time service of individuals or firms to assist the Planning Commission in its responsibilities and duties.

ARTICLE VI - OFFICERS

SECTION 6.1 - SELECTION:

The first meeting in January shall be considered the Planning Commission's organizational meeting, at which ~~At the January meeting of each year,~~ the Planning Commission shall elect from its membership a Chairperson, Vice Chairperson, Secretary and any other officers deemed necessary. All officers are eligible for re-election. The Township Supervisor shall not serve as Chairperson of the Planning Commission.
(Amended 03/17/99)

SECTION 6.2 - TERM:

The term of all officers shall be one year and each officer shall serve until re-elected or his/her successor shall have been elected.

SECTION 6.3 - ELECTION:

The chair, vice chair, and secretary shall be elected by a majority vote of the membership of the Commission present at the time of election.

ARTICLE VII - DUTIES OF OFFICERS

SECTION 7.1 - CHAIRPERSON:

The Chairperson shall be the chief executive officer of the Commission and shall preside at all meetings of the Commission. The Chairperson shall appoint, with the approval of the Commission, all committees or advisory committees established and provided by the Commission and shall be an ex-officio member of all committees. The Chair shall have a vote on all resolutions as a commissioner. The Chair has no authority to sign contracts or legal documents authorized by the Commission, but shall refer such to the Township Board. The Chair shall also be responsible for such other duties as outlined herein.

SECTION 7.2 – VICE CHAIRPERSON:

In the event that the office of Chairperson becomes vacant by death, resignation, or otherwise, the Vice Chairperson shall serve as Chairperson until a new Chairperson is elected. A new Chairperson shall be elected by the Planning Commission at its next regular or special meeting. In the event of the absence of the Chairperson or inability to discharge the duties of that office, such duties shall, for the time being, devolve upon the Vice Chairperson.

SECTION 7.3 - SECRETARY:

~~The secretary shall serve as the liaison between the commission and the designated Northfield Township staff responsible for the execution of documents in the name of the commission. The Secretary shall attend all meetings of the Commission and shall see to the safe keeping of the official minute books and records of the Commission. The Secretary shall be the facilitator for the receipt and transmission for all correspondence, notices, and minutes pertaining to meetings and official acts of the Commission and such other duties as the Commission may direct including but not limited to:~~

~~A. Signing all approved site plans.~~

~~B.A. Signing ~~and record~~ approved minutes.~~

~~C.B. Submitting attendance records of Planning Commission meetings to Township Clerk.~~

~~D.C. Reading, upon request, correspondence at Planning Commission meetings.~~

~~E.D. Calling and noticing special meetings.~~

~~F.E. Restating Planning Commission motions made prior to a vote.~~

In the event of the absence of both the chairperson and vice chairperson, such duties shall, for the time being, devolve upon the Secretary. In the event of the absence of the Secretary, the Chair shall appoint a deputy Secretary to perform such duties.

A recording secretary may be employed to record and prepare proposed meeting minutes. Compensation for the recording secretary shall be recommended by the Planning Commission and approved by the Township Board.

ARTICLE VIII - MEETINGS

SECTION 8.1 - REGULAR MEETINGS:

The regular meetings of the Commission shall be held at 7 p.m. on the first and third Wednesday of each calendar month at the Northfield Township Office, excluding legal

holidays. ~~(Amended 02/18/98)~~

A schedule of regular meetings for the forthcoming year will be ~~determined~~ approved during the December meeting. This schedule and time of meetings will be delivered to the Township Clerk and posted in general view of the public at the Township Hall. The Chairperson in consultation with the Secretary, or a majority vote of the members, may cancel a meeting for lack of agenda.

SECTION 8.2 - AGENDA:

The Planning Commission shall establish deadlines for items to be included on the agenda. Applications may only be considered for placement on the agenda when all required documentation has been submitted and included for review in the Planning Commissioners' packet. Unless proper notice is required or necessary, items may be added to the agenda upon the majority consent of the Commissioners present at a regular meeting. Agenda items shall be listed in order of those items closest to needing deadline action.

SECTION 8.3 - SPECIAL MEETINGS:

Special meetings may be held as required, subject to the call of the Chair or by two (2) members upon written request to the Secretary. Special meetings may be requested by members of the public by making application for said meeting with the Township Clerk. Notice of Special meetings shall be given by the Secretary to members of the Planning Commission at least forty-eight hours prior to such meeting and shall state the purpose and time of the meeting.

Agenda items that may be legally added without public notice may not be added at a special meeting unless all Commissioners are present and unanimously approve an addition to the agenda.

SECTION 8.4 - WORKSHOP MEETINGS

Workshop meetings for the purpose of performing Commission studies or preparing planning reports or documents may be called at the request of the Chairperson or any three members of the Planning Commission. No formal action by motion or resolution may be voted upon at a workshop meeting.

SECTION 8.5 - PUBLIC

All regular, workshop, and special meetings shall be open to the public. All meetings of the Planning Commission, hearings, records, and accounts are subject to the Open Meetings Act and shall be properly publicized prior to being held.

SECTION 8.6 - QUORUM:

A majority of the total number of members shall constitute a quorum for the transaction

of business and the taking of official action for all matters. A majority vote of members present at a regular or special meeting may effectuate an action or a decision of the Planning Commission in all other matters of business.

~~Whenever a quorum is not present at a regular or special meeting, those present may adjourn the meeting to another day or hold an informal discussion for the purpose of considering such matters as are on the agenda. No action taken at such a meeting shall be final or official.~~

~~The affirmative vote of six members shall be necessary for the adoption of a master plan or any part thereof.~~

SECTION 8.7 - ORDER OF BUSINESS:

The order of business for regular and special meetings shall be:

A. Call to order by the Chair.

B. Pledge of Allegiance

C. Roll call.

- Determination of a quorum.

D. Adoption of agenda.

E. Call to Public

~~E.F.~~ Clarifications from Commission

~~F.G.~~ Correspondence

~~G.H.~~ Public Hearings

~~H.I.~~ Reports of committees.

~~I.J.~~ Old Unfinished business.

~~J.K.~~ New business.

~~K.L.~~ Approval of the minutes of the last preceding meeting

~~L.M.~~ Final Call to Public

~~M.N.~~ Comments From Commission

~~N.~~ Final Call to Public

O. Adjournment

SECTION 8.8 - MOTIONS

Motions shall be restated by the Secretary before a vote is taken. The name of the maker and the supporter of a motion shall be recorded for the minutes.

SECTION 8.9 -- VOTING

Voting on minutes, opening and closing of public hearings, election of officers, adoption of agenda, recess and adjournment shall be by voice and shall be recorded by yeas and nays, unless a roll call vote is requested by any member of the Commission. Roll call votes will be recorded on all other matters before the Commission. A member of the Planning Commission can only abstain from voting on a motion if he/she finds a conflict of interest on a motion.

Before casting a vote on a matter on which a member may reasonably be considered to have a conflict of interest, the member shall disclose the potential conflict of interest to the planning commission. The member may abstain from voting on the matter, and may absent him- or herself from the room in which discussion of the matter takes place. In addition, the member may be disqualified from voting on the matter if so provided by the bylaws or by a majority vote of the remaining members of the planning commission. Failure of a member to disclose a potential conflict of interest as noted above constitutes malfeasance in office.

Potential conflict of interest is defined by the Northfield Township Planning Commission as involving~~This can occur only if a matter involves:~~

- A. Property the Commissioner owns, leases, or rents.
- B. Property owned by a Commissioner's relative or employer.
- C. A party with whom a Commissioner shares ~~financial-pecuniary~~ interests (such as partner, employer, lender, renter, or investor); ~~or~~

~~D. A matter that would give rise to the appearance of impropriety.~~

~~Failure of a member to disclose a potential conflict of interest as noted above constitutes malfeasance in office.~~

The affirmative vote of ~~six members~~ a majority of Commissioners shall be necessary for the adoption of a master plan or any part thereof.

SECTION 8.10 - NOTICE OF DECISION

A written notice containing the decision of the Planning Commission will be transmitted to petitioners and originators of a request for the Planning Commission to study an issue within the purview of the Commission. Such notice shall be transmitted by the Planning Commission Secretary.

SECTION 8.11 - ADJOURNMENT OF MEETING

Planning Commission meetings should adjourn no later than 10:00 pm. New agenda

items shall not be taken up after 10:00 p.m. unless an agenda item is approaching an ordinance deadline for Planning Commission action or Commissioners decide by majority vote to continue with one or more agenda items after 11:00 p.m.

~~ARTICLE IX - ANNUAL REPORT~~

~~SECTION 9.1 - ANNUAL REPORT:~~

~~The Commission shall make an annual report of its activities to the Northfield Township Board concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.~~

ARTICLE IX - FISCAL YEAR

SECTION 109.1 - FISCAL YEAR:

The fiscal year of the Commission shall be the same as the fiscal year of the Northfield Township Board.

ARTICLE XI - AMENDMENTS

SECTION 110.1 - AMENDMENTS:

The ~~rules of procedure bylaws~~, in whole or in part, may be altered, amended, added to, or repealed by an affirmative vote of two-thirds of the Commission at any regular or special meeting provided that notice of proposed alterations, amendment, or repeal shall be submitted by mail to all members of the Commission at least fifteen (15) days before the regular or special meeting of the Commission at which they are to be considered. Public notice of any proposed alteration, amendment, or repeal shall be posted in general view at Township Hall and on the homepage of the Township website published in a newspaper of general circulation in the Township at least 15 days prior to the meeting at which they are to be considered. The notice shall either publish the text of the proposed change or advise the public of when and where the text may be inspected.

ARTICLE XII - PARLIAMENTARY PRACTICE

SECTION 1211.1 - PARLIAMENTARY PRACTICE:

For meetings of the Commission and the advisory committees, the rules of parliamentary practice ~~as set forth in "Roberts' Rules of Parliamentary Procedure"~~ shall be adopted at the Commission's organizational meeting in January and shall govern in all cases in which they are not inconsistent with the provisions of these bylaws and not contrary to any

Chair - Planning Commission

Secretary - Planning Commission

REVIEW 4

December 16, 2016

Rob Mitzel, Chair

Webster Township Planning Commission
5665 Webster Church Road
Dexter, MI 48130

Regarding: Webster Township Proposed Master Plan

Dear Mr. Mitzel and Members of the Webster Township Planning Commission:

Thank you for the opportunity to review your proposed Master Plan. The Northfield Township Planning Commission found it thorough, descriptive, and well-done. We have just one comment, and two requests for information.

In Table 3, the minimum lot size in the Northfield Township Agricultural district is 5 acres, rather than 10 acres as is listed. Also in Table 3, clustering provisions in the Low Density Residential district allow for an increased effective density of 1 unit per acre if not served by sanitary sewer, and 1 unit per 33,000 square feet if served by sanitary sewer. The standard minimum lot size in the LDR district is 2 acres as listed.

Northfield Township is interested in the participation rate of your 2014 Master Plan Survey, if you would be willing to share that information with us. We would also greatly appreciate the results of the housing analysis recommended in the plan if and when they become available.

Sincerely,

The Northfield Township Planning Commission

Northfield Township Site Plan Review

| | |
|------------------------|---|
| Applicant: | Washtenaw County Parks and Recreation |
| Project: | Whitmore Lake Preserve |
| Address: | Seven Mile Road at Nollar Road |
| Date: | Issued 11/24/2015 Public Hearing 12/16/2015 |
| Request: | Rezoning Site plan approval |
| Recommendation: | Recommend rezoning to Township Board Approve site plan |

PROJECT AND SITE DESCRIPTION

The subject site is on the northern edge of the Township, east of Whitmore Lake. The land is currently undeveloped and contains portions of Lawton Lake and two smaller kettle ponds. Wetlands and woodlands comprise the majority of the site; a cleared field at the westernmost portion of the site makes up most of the remainder.

The applicant proposes to permanently retain the land in an undeveloped state as a nature preserve under the stewardship of Washtenaw County. The proposed improvements on the southernmost end of the site provide access to the preserved site via a four-car gravel parking lot with bike racks, entry sign, map and rules kiosk, and landscaping.

Figure 1: Aerial Photo



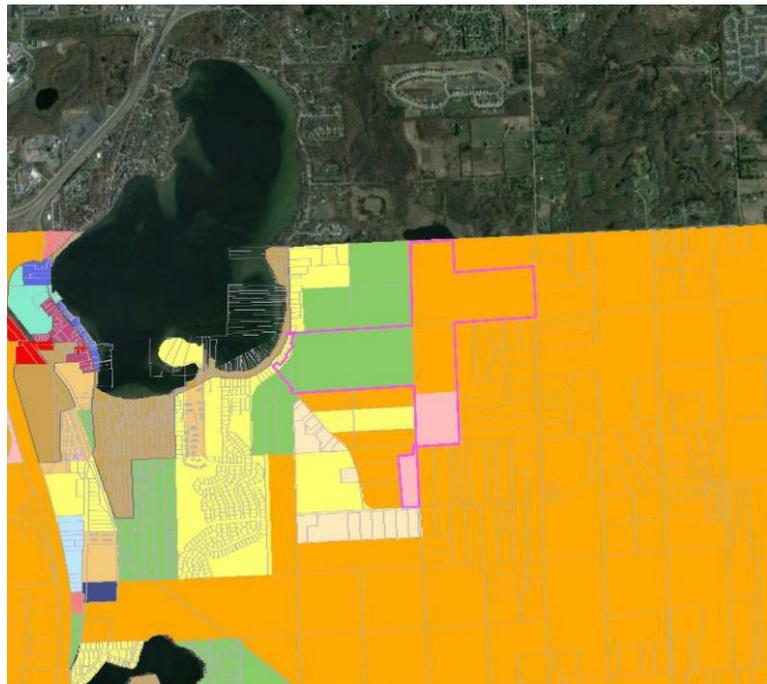
LAND USE AND ZONING

No structures currently exist on the site. The land is currently zoned AR (Agricultural), RC (Recreation Conservation), and LC (local commercial). The applicant proposes to rezone all of the land in the subject site RC (Recreation Conservation). Permitted uses in the Recreation Conservation district include public and private preservation and conservation.

Surrounding Land Uses

| | |
|---------------|--|
| <i>North:</i> | Residential; conservation; Green Oak Township (lake) |
| <i>East:</i> | Residential; agricultural |
| <i>South:</i> | Residential; agricultural |
| <i>West:</i> | Conservation; residential |

Figure 2: Land Use and Zoning



MASTER PLAN

The subject site is in the Lakes Sub-Area (5) as described in the 2012 Northfield Township Master Plan.

Applicable development strategies outlined for this sub-area are:

- Develop non-motorized transportation to connect parks, Township facilities, and adjacent communities through an interconnected system of trails along major roads;
- Establish parks in proximity to higher density population areas to meet the needs of the residents and include passive uses; and
- Coordinate with Washtenaw County for parkland and open space acquisition and development.

Applicable design guidelines for this sub-area are:

- Maintain and develop greenways and wildlife corridors to and from natural areas; and
- Promote low impact development techniques for stormwater management.

The master planned future land use for the western portion of the subject site is Recreation Conservation; the future land use for the eastern portion of the site is Low Density Residential. The southernmost parcel on the site, which is proposed to host the parking and access to the Preserve, is designated Medium Density Residential.

The table below describes the intent, relationship to natural features, and compatible uses of each future land use category.

| | Recreation Conservation | Low Density Residential | Medium Density Residential |
|---|---|---|---|
| <i>Intent</i> | To provide areas for an open space system that preserves and enhances significant natural features and provides recreational opportunities for Township residents | To accommodate housing not intended to be served by sanitary sewer, and to preserve a predominantly rural character including agricultural operations | Residential development with a suburban character at a density of 1-4 units per acre |
| <i>Relationship to natural features</i> | Includes environmentally sensitive features which are to be protected | Significant natural features may exist | Lesser degree of significant natural features; access to collector and internal subdivision roads |
| <i>Desirable uses and elements</i> | Conservation; active and passive recreation | Parks, open space, conservation | Parks, open space, and conservation areas |

Items to be addressed

None

DIMENSIONAL STANDARDS

The dimensional requirements of the Recreation Conservation district are described in the chart below.

| | Required | Provided | Compliance |
|------------------------|-----------------|------------------------------------|-------------------|
| <i>Lot Area</i> | > 10 acres | 260 acres | Met |
| <i>Lot Width</i> | > 300 feet | 375 feet (frontage on 7 Mile Road) | Met |
| <i>Setback - Front</i> | > 60 feet | N/A | N/A |
| <i>Setback - Side</i> | > 30 feet | N/A | N/A |
| <i>Setback - Rear</i> | > 50 feet | N/A | N/A |
| <i>Lot Coverage</i> | < 10% | 0.0002% | Met |
| <i>Building Height</i> | < 40 feet | N/A | N/A |

Items to be addressed

None

NATURAL FEATURES AND RESOURCES

Approximately 45% of the land (119 acres) is classified as protected wetland by the Michigan Department of Natural Resources, and 58% (151 acres) is classified as woodland, with considerable overlap. A Green Infrastructure analysis conducted by the Huron River Watershed Council in 2015 identified the area as the Davis Creek Headwaters. These are the features that the project is designed to preserve.



Figure 3: Natural Features



Figure 4: Green Infrastructure

In addition to the contiguous tract of wetland identified by MDNR, 0.148 acres of wetlands were delineated by Mannik & Smith Group on June 28, 2015 along the entire western edge of the proposed

parking lot. The proposed preparation plan shows approximately 600 square feet of wetland (0.01 acre) within the vegetation removal zone, and the site plan shows the southwest corner of the parking lot apparently grazing the limits of the delineated wetland. Due to the proximity of the wetland to an observed stream, Mannik & Smith Group determined that it would be regulated by the State of Michigan and noted that a field review by MDEQ will be necessary in order to finalize the regulatory status of the wetland.

One 27-inch oak tree immediately west of the site’s driveway is proposed to be saved, though part of its dripline is shown within the limits of vegetative clearance. Appropriate tree protection and preservation strategies are outlined in the plan. Three trees are shown to be removed from the site, but no detail is provided about them. Three 2”-2.5” caliper swamp white oak are proposed to be planted.

Items to be addressed

- Secure permits associated with wetland disturbance from MDEQ
- Identify the size and species of trees to be removed

BUILDING LOCATION AND SITE ARRANGEMENT

No buildings are proposed.

Items to be addressed

None

PARKING AND LOADING

The parking requirements of the Recreation Conservation district are described in the chart below.

| Required | Provided | Compliance |
|--|---|---------------------------|
| > 10 feet from property line or wall, screen, planting strip | 10 feet | Met |
| Shall not be in front yard setback (60 feet) | 60 feet | Met |
| Drained | Sloped to back corner and into treatment pond | More information required |
| Paved (may be waived to gravel) | Gravel | Met |
| Aisles: > 22 feet | 22 feet | Met |
| Spaces: > 200 square feet | 240 feet | Met |

The applicant proposes a parking area which accommodates four vehicles and four bicycles. Section 36-762(3) requires all areas to be paved and striped, but allows for the planning commission to waive this requirement to a gravel surface if all of the following conditions apply:

1. The property is zoned AR, agricultural;
2. The use does not require more than 45 spaces;
3. Dust or scattered gravel will not affect neighboring properties; and
4. The engineer certifies that it will be well-drained and not injurious to neighboring properties.

Criteria 2 and 3 are met. Criteria 4 requires engineering affirmation. Criteria 1 is not met in letter. However, the proposed zoning and associated use are even less intense than the zoning / use at which the less-intense parking treatment is permitted. Further, it is not clear that any parking at all is required, so its provision and the manner thereof are entirely at the discretion of the applicant.

Items to be addressed

- Planning Commission waiver requested for gravel parking lot*
- Existing drainage patterns and alterations arising from proposed improvements shall be submitted to Engineering*
- First flush capture basin shall meet Washtenaw County Water Resources Commissioner's Office standards.*

SITE ACCESS AND CIRCULATION

Access to the site is proposed via one driveway. The drive is part of a shared approach that is directly across the street from Nollar Road. The proposed project will pave the entire shared approach with asphalt, and an 18' wide gravel driveway will lead to the parking stalls. A review by the Township engineer notes that this is likely too narrow for two-way traffic. Additional engineering comments include recommending a construction detail of the proposed tire stops and noting that a detailed grading with spot elevations will be required.

Items to be addressed

- Increase proposed drive to 20' in order to accommodate two-way traffic.*
- Provide construction detail of the proposed tire stops*
- Secure permits associated with driveway improvements from the Washtenaw County Road Commission.*

LANDSCAPING

No landscaping is specifically required for a recreational development. Three swamp white oaks of 2.5" caliper are proposed on the site.

Items to be addressed

None

LIGHTING

No lighting is proposed.

Items to be addressed

None

SIGNS

Three signs are shown on the proposed site layout: one road sign to be installed by the Washtenaw County Road Commission, one entry sign placed 15' from the road ROW, and a trailhead sign at the interior end of the parking lot. The road sign is outside the jurisdiction of this review. The trailhead sign is exempt from provisions of the sign ordinance via Section 36-797 (1), which states that "signs of a noncommercial nature and in the public inters, erected by, or on the order of, a public officer in the performance of his public duty, such as directional signs, regulatory signs, and informational signs. The standards which apply to the entry sign are described in the table below.

| Required | Provided | Compliance |
|-----------------------|----------------|------------|
| ≥ 15' setback | 15' setback | Met |
| ≥ 15 feet height | 7 feet height | Met |
| ≥ 18 square feet area | 18 square feet | Met |

Items to be addressed

None

FLOOR PLAN AND ELEVATIONS

No buildings are proposed.

Items to be addressed

None

VARIANCES

No variances are required.

Items to be addressed

None

RECOMMENDATIONS

1. The Planning Commission moves to **recommend** to the Township Board approval of the rezoning request Case #JPC150006, Washtenaw County Parks and Recreation, as follows:

| Parcel | Current Zoning | Proposed Zoning |
|-----------------|-----------------------------------|-------------------------|
| B-02-04-100-002 | Agricultural | Recreation Conservation |
| B-02-04-400-003 | Agricultural and Local Commercial | Recreation Conservation |
| B-02-09-200-001 | Local Commercial | Recreation Conservation |

2. The Planning Commission moves to **approve** the site plan with the following findings, conditions, and waivers.

Findings:

This application is substantially in compliance with Section 36-867, Criteria of Site Plan Review.

Conditions:

- Secure permits associated with wetland disturbance from MDEQ
- Identify the size and species of trees to be removed
- Existing drainage patterns and alterations arising from proposed improvements shall be submitted to Engineering
- First flush capture basin shall meet Washtenaw County Water Resources Commissioner’s Office standards.
- Increase proposed drive to 20’ in order to accommodate two-way traffic.
- Provide construction detail of the proposed tire stops
- Secure permits associated with driveway improvements from the Washtenaw County Road Commission.

Waivers:

- Planning Commission waiver requested for gravel parking lot

December 8, 2015

Northfield Township
Building & Zoning Department
Attn: Mary Bird
8350 Main Street, Suite A
Whitmore Lake, Michigan 48189

Regarding: Whitmore Lake Preserve – Seven Mile Road at Nollar Road
Site Plan Review #1
OHM Job #0151-15-1081

We have reviewed the plans, received by this office on December 3, 2015, for the proposed site improvements to the Whitmore Lake Preserve located at Seven Mile Road at Nollar Road, according to Township guidelines and general engineering standards. A brief description of the project has been provided below, followed by our comments.

The applicant is proposing to construct a four-car gravel parking lot to service proposed Nature Preserve land with detention basin in the northwest corner of the site. The total site area is 235 acres, with limits of work totaling 9,900 square. Additional site elements include bike racks, entry sign, kiosk with maps and rules, and landscaping. Site Access is proposed with improved paved driveways at locations of the existing gravel drives.

General

1. A detailed project narrative shall be shown on the plan cover sheet of the plans outlining the intent of this project.
2. Three trees are identified to be removed but the tree sizes (DBH) and species have not been identified and tree replacement may be required. We note that the plans do indicate planting three swamp white oak trees at a size of 2-2.5 inches.
3. The applicant shall provide a legend for both existing and proposed site symbols and line types.
4. The applicant shall show and label the road right-of-way on all existing and proposed plans.
5. The applicant shall note that the plans must be signed and sealed by a Professional Engineering licensed in the State of Michigan.

Storm Water Management

6. Existing drainage patterns shall be provided on Sheet C-02 to illustrate current conditions and how proposed improvements will/will not alter these drainage patterns.
7. We note that a wetland area has been delineated on the site plan and we recognize this wetland may be regulated by the Michigan Department of Environmental Quality. Any proposed areas of wetland fill shall be identified on the plans and a permit may be required under Part 303, Wetlands Protection of the National Resources and Environmental Protection Act, 1994 PA 451 (NREPA).
8. The applicant shall note that the first flush capture basin shall be designed in accordance with the Washtenaw County Water Resources Commissioner's Office current design guidelines.

Paving and Grading

9. We note that the proposed drive to the parking area has a width of 18 feet. In order to accommodate 2-way traffic this drive should be widened to a minimum width of 20 feet.
10. It is recommended that a construction detail be provided for the proposed concrete tire stops.



11. Proposed paved driveway improvements within the Seven Mile Road right-of-way will need to be reviewed, approved, and permitted through the Washtenaw County Road Commission.
12. The applicant shall note that detailed grading with spot elevations slopes will be required during detailed engineering review of the construction plans.

Permits and other Agency Approvals

It should be noted that copies of all permits and permit applications shall be forwarded to this office. Before final engineering approval can be issued, the applicant must submit all necessary permits/approvals, including but not limited to the following agencies:

- Northfield Township Fire Department approval for fire code compliance
- Washtenaw County Road Commission approval for paving and grading
- Washtenaw County Water Resources Commission for soil erosion and sedimentation control

Recommendations

As submitted, the site plan appears to be in substantial compliance with the Northfield Township requirements. We take no exception to the proposed site plan and recommend the Planning Commission consider approval of the site plan conditional upon the above mentioned comments being addressed administratively.

Please feel free to contact Jacob Rushlow at (734) 466-4517 or jacob.rushlow@ohm-advisors.com if you have any questions or concerns regarding this review.

Sincerely,

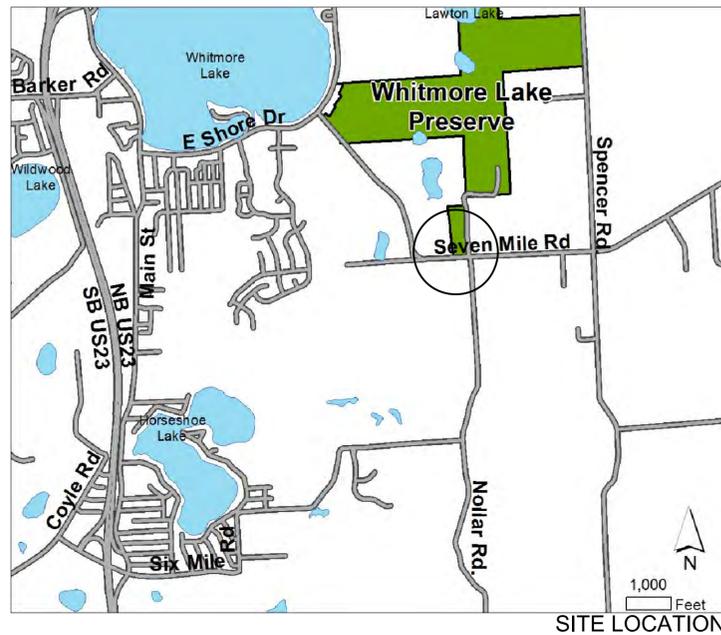
OHM ADVISORS

Jacob Rushlow, P.E.
Township Engineer

cc: Howard Fink, Township Manager (via e-mail)
William Wagner, Public Safety Director (via e-mail)
Marlene Chockley, Planning Commission Chair (via e-mail)
Leah DuMouchel, Becket & Raeder (via e-mail)
Kurt Weiland, Building Official (via e-mail)
Peter Sanderson, Washtenaw County Parks and Recreation Commission (via e-mail)
File

WHITMORE LAKE PRESERVE ENTRANCE AND PARKING - 2015

NORTHFIELD TOWNSHIP, MICHIGAN
WASHTENAW COUNTY PARKS AND RECREATION COMMISSION



PARCEL INFORMATION

PARCEL NUMBER & ADDRESS:
B -02-09-200-001
No Address, Seven Mile Road
Whitmore Lake, MI 48189

OWNER NAME & ADDRESS:
Washtenaw County Parks & Recreation Commission
PO Box 8645, 2230 Platt Road
Ann Arbor, MI, 48107

STAFF CONTACT:
Peter Sanderson, Park Planner
PO Box 8645, 2230 Platt Road
Ann Arbor, MI 48107
(734) 971-6337 X-332

PARCEL LEGAL DESCRIPTION:
*OLD SID - B 02-009-029-00 NO 9-2D COM AT NW COR OF SEC, TH ELY1184.6 FT IN N LN OF SEC, THS 15-15-30 E 506.85 FT, TH S 4-43 E 811.56 FT, TH S 87-16-30 E 842.5 FT TO POB, TH N 1117.37 FT, TH S 87-34-20E345 FT, TH N TO A PT 51 FT NOF N LN SEC 9 TH S 87-34-20E60 FT TH S 51.03 FT TO N1/4POST SEC 9, TH S TO C/L RD TH W'LY ALONG C/L TO POB PT OF SW 1/4 SEC 4 & NW 1/4 SEC 9 T1S R6E 10.66 AC.

SITE DATA

ZONEING:
PROPOSED: RC - RECREATION CONSERVATION
EXISTING: LC - LOCAL COMMERCIAL (PROJECT AREA)
AR - AGRICULTURE
RC - RECREATION CONSERVATION

PROJECT AREA:
TOTAL SITE: 434 ACRES
LIMITS OF WORK: 9,900 SF (0.23 AC.)

SOILS:
MoB/MoC: Morley Loam, 2-12% slopes

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--|
| 00 | TITLE SHEET |
| C-01 | EXISTING CONDITIONS, PREPARATION & SESC |
| C-02 | SITE LAYOUT, GRADING, RESTORATION & PLANTING |
| D-01 | SITE DETAILS |

SUBMITTALS

| DATE | DESCRIPTION |
|------------|-----------------------------|
| 08/31/2015 | ISSUED FOR PERMITTING |
| 11/24/2015 | ISSUED FOR SITE PLAN REVIEW |



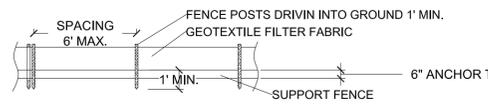
'MISS DIG' NOTES

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAY, SUNDAYS & HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. THE 'MISS DIG' ALERT SYSTEM MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE 'MISS DIG' ALERT SYSTEM.

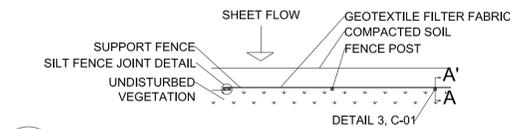


Know what's below.
Call before you dig.

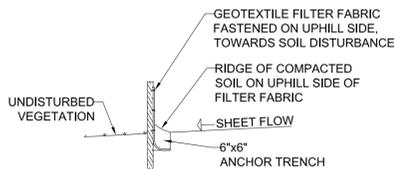
| | | |
|---|--|---|
| PREPARED BY: PETER SANDERSON, PLA NAME | 001616 REGISTRATION NUMBER 08/31/2015 DATE |  |
| 2230 PLATT ROAD, P.O. BOX 8645 ANN ARBOR, MICHIGAN 48107 PHONE: 734-971-6337 FAX: 734-971-6386 parks@ewashtenaw.org | | |
| REVISIONS | DATE | PROJECT NUMBER RFP # 6XXX |



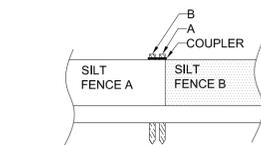
1 SILT FENCE
C-01 NO SCALE - PARTIAL FRONT ELEVATION



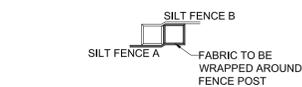
2 SILT FENCE
C-01 NO SCALE - PARTIAL PLAN VIEW



3 SILT FENCE
C-01 NO SCALE - SECTION



4 SILT FENCE JOINT DETAIL
C-01 NO SCALE - PARTIAL SECTION



5 SILT FENCE JOINT DETAIL
C-01 NO SCALE - PARTIAL PLAN VIEW

SESC SEQUENCE:

| | |
|--------------|---|
| MAY 2016 | INSTALL TEMPORARY SESC MEASURES |
| MAY 2016 | INITIATE LAND CLEARING |
| JUNE 2016 | FINAL SITE GRADING |
| JUNE 2016 | INSTALL TEMPORARY SESC COVER CROP |
| OCTOBER 2016 | INSTALL PERMANENT SESC MEASURES (NATIVE SEED MIX) |
| SPRING 2017 | REMOVE SILT FENCES |

PERMANENT SESC MEASURES:

- ALL AREAS WITHIN THE LIMITS OF WORK SHALL BE STABILIZED WITH A NATIVE SEED MIX AND COVER CROP (SEE SHEET C-02). REMAINING SITE AREA WILL REMAIN AS ACTIVE AGRICULTURE.
- A STORMWATER BASIN SHALL CAPTURE RUNOFF GENERATED FROM IMPERVIOUS SURFACES AS OUTLINED BY THE RULES OF THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER'S OFFICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIAL ESTABLISHMENT OF SEED AND COVER CROP FOR THE MAINTENANCE PERIOD AS OUTLINED IN THE BID DOCUMENTS.
- WASHTENAW COUNTY PARKS STAFF SHALL BE RESPONSIBLE FOR THE LONG TERM, REGULAR MAINTENANCE OF ALL SEEDED AREAS AND STORMWATER STRUCTURES.

STONE TRACKING MAT:

STONE TRACKING MAT IS NOT INCLUDED AS PART OF THIS PROJECT BECAUSE THERE IS AN EXISTING GRAVEL DRIVEWAY IN PLACE THAT WILL SERVE THE SAME PURPOSE. ADDITIONALLY, ALL EXCAVATED MATERIALS WILL BE SPOILED ON-SITE. THE CONTRACTOR SHALL MAINTAIN THE ROADWAY IN GOOD TRAVELING CONDITION FOR ALL VEHICLES AND SHALL REMOVE ANY CONSTRUCTION DEBRIS GENERATED AS A PART OF THIS PROJECT.

TREE PROTECTION AND PRESERVATION

*TREE PROTECTION METHODS SHALL COMPLY WITH THE FOLLOWING PRACTICES WITHIN THE DRIPLINE OF A TREE'S CRITICAL ROOT ZONE AREA: NO GRADE CHANGES, NO STORAGE OF EQUIPMENT, TOOLS, MATERIALS SOIL OR DEBRIS OF ANY KIND. AVOID ANY ROOT ZONE SOIL COMPACTION AND ADDITION OF SOIL OVER THE TREE ROOT ZONE.

*ALL VEGETATION THAT IS NOT DESIGNATED ON THE PLANS TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. TREES THAT ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

*TREE ROOTS SCARRED BY EQUIPMENT SHALL BE CUT CLEANLY AND COVERED WITH TOPSOIL.

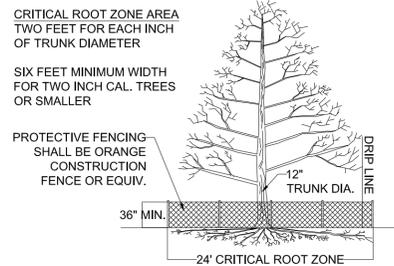
*ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 2 INCHES IS PERMITTED ON THE ROOT FLARE OF ANY TREE.

*TREE PROTECTION MEASURES SHALL BE INSTALLED AT THE CRITICAL ROOT ZONE OR BEYOND PRIOR TO THE START OF CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITY.

*A TEMPORARY TREE PROTECTION BARRIER SHALL BE INSTALLED AT THE PERIMETER OF THE CRITICAL ROOT ZONE OF REGULATED TREES THAT ARE LOCATED WITHIN A DISTURBANCE AREA. IF ENCROACHMENT MAY INCUR INTO THE CRITICAL ROOT ZONE AREA THE TREE PROTECTION MUST BE A MINIMUM OF 10' FROM THE TRUNK.

*NO GRUBBING SHALL OCCUR WITHIN THE DRIPLINE OF TREES TO BE PRESERVED. DEAD TREES, SCRUB OR UNDERGROWTH SHALL BE CUT FLUSH WITH GRADE, KILLED WITH ROUNDUP (OR SIMILAR HERBICIDE) AND REMOVED FROM SITE.

*NO GRADING SHALL OCCUR WITHIN THE DRIPLINE OF TREES TO BE SAVED. CONTOURS SHOWN FOR NEW GRADING SHALL BE FIELD VERIFIED AGAINST EXISTING CONTOURS. NEW CONTOURS ARE TO BE BLENDED WITH EXISTING CONTOURS, STARTING AT THE DRIP LINE OF THE TREES, AS SHOWN ON THE DRAWINGS. TRANSITION GRADES LESS THAN OR EQUAL TO TWENTY PERCENT ARE ACCEPTABLE. GRADES GREATER THAN TWENTY PERCENT SLOPE SHALL REQUIRE A RETAINING WALL.



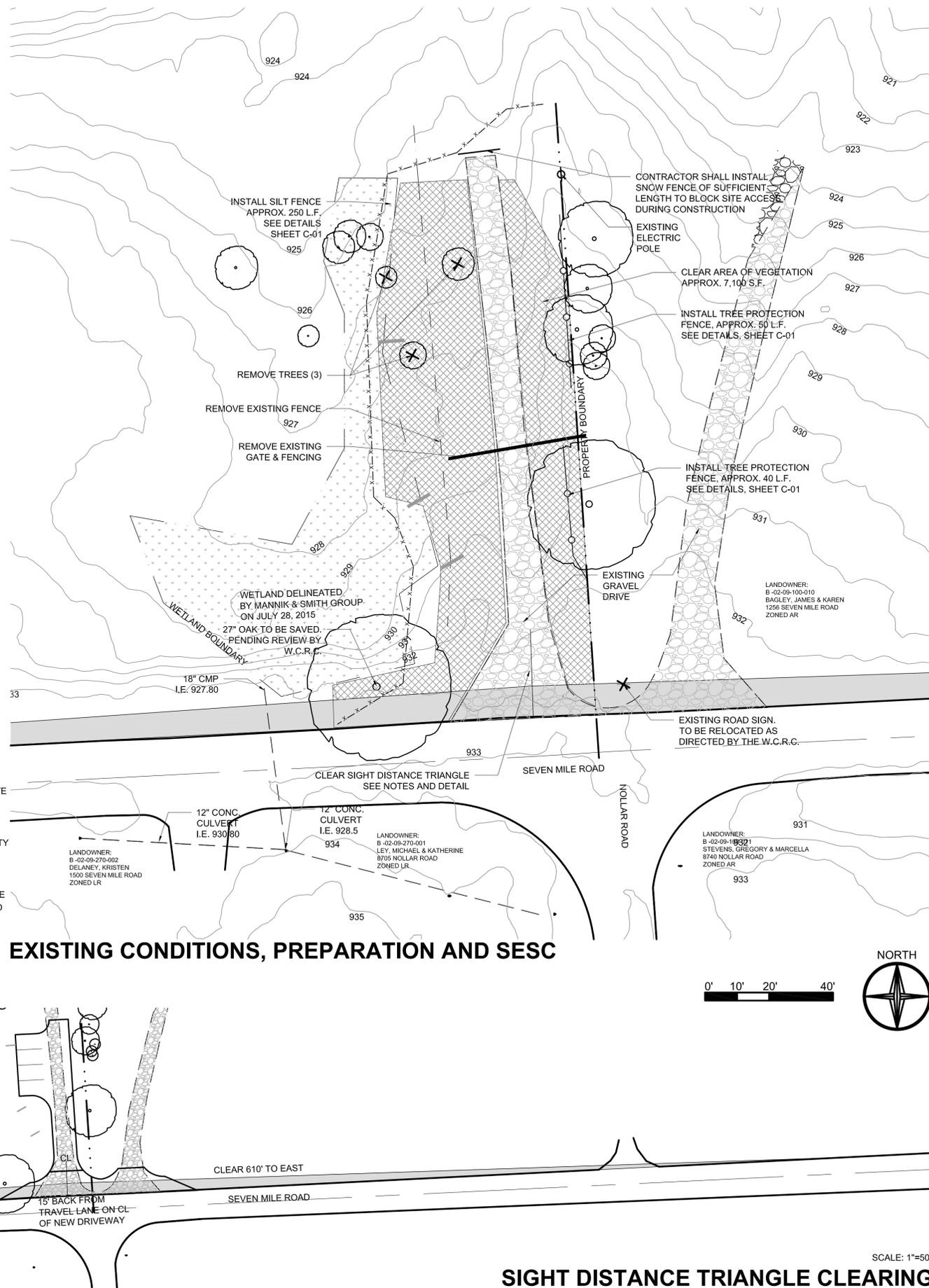
6 TREE PROTECTION FENCING
C-01 NO SCALE - SECTION

TEMPORARY CONSTRUCTION SIGNS:

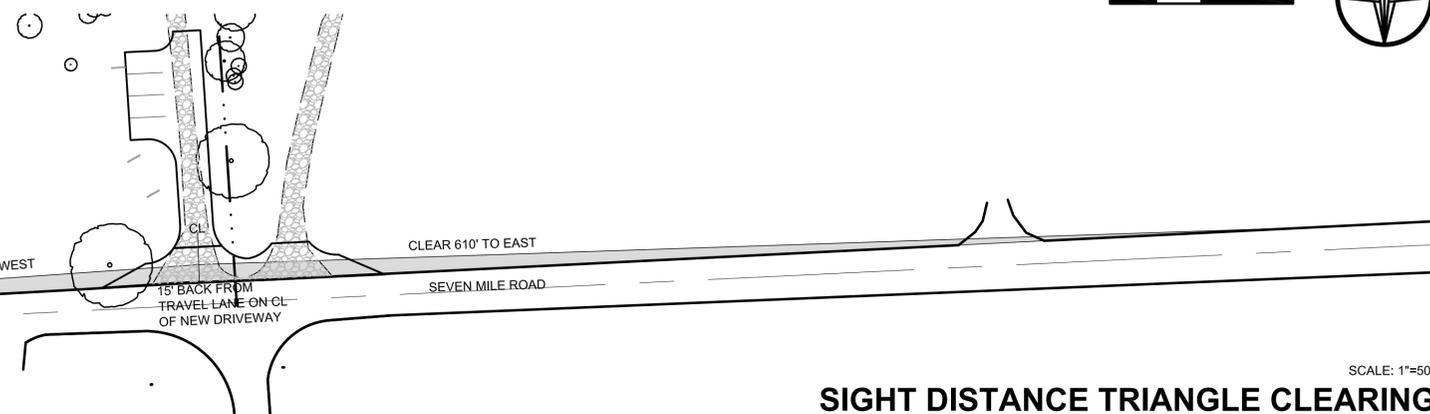
- SEE TEMPORARY CONSTRUCTION SIGN LAYOUT PLAN (SHEET D-01)
- TEMPORARY CONSTRUCTION SIGNS MUST BE INSTALLED PRIOR TO COMMENCING OTHER SITE WORK AND MUST BE MAINTAINED IN GOOD CONDITION UNTIL NOTICE OF SUBSTANTIAL COMPLETION IS GIVEN BY OWNER.
- ALL SIGNS MUST COMPLY WITH THE MOST RECENT VERSION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUCTD) AND SHALL MEET AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) QUALITY STANDARDS.
- ALL CONSTRUCTION WARNING SIGNS SHALL BE SUPPLEMENTED WITH TWO FLUORESCENT ORANGE WARNING FLAGS POSITIONED ABOVE THE SIGN. THOSE USED IN DARKNESS SHALL ALSO INCLUDE PRISMATIC SHEETING. PLASTIC DRUMS AND TYPE III BARRICADES SHALL HAVE ONE AND THREE TYPE C STEADY-BURNING WARNING LIGHTS ATTACHED, RESPECTIVELY, AND INCLUDE PRISMATIC SHEETING.

SIGHT DISTANCE TRIANGLE

ALL AREAS WITHIN THE SIGHT DISTANCE TRIANGLE MUST BE FREE OF OBSTRUCTIONS THAT MIGHT BLOCK AN APPROACHING OR STOPPED DRIVER'S VIEW (TREES, BRUSH, EMBANKMENT, ETC). TRIANGLE IS MEASURED ALONG THE CENTERLINE OF THE NEW DRIVEWAY, 10 FEET BACK FROM THE TRAVELED PORTION OF THE ROAD 610 FEET TO THE WEST AND 530 FEET TO THE EAST. DRIVER'S EYE IS MEASURED AT 3.5 FEET ABOVE THE DRIVEWAY SURFACE. THE OBJECT TO BE SEEN IS 2 FEET ABOVE THE ROAD SURFACE.



EXISTING CONDITIONS, PREPARATION AND SESC



SIGHT DISTANCE TRIANGLE CLEARING

SCALE: 1"=50'



2230 PLATT ROAD, P.O. BOX 8645
ANN ARBOR, MICHIGAN 48107
PHONE: 734-971-6337
FAX: 734-971-6386
parks@ewashtenaw.org

PROJECT NAME
WHITMORE LAKE PRESERVE ENTRANCE AND PARKING

SHEET TITLE
EX. CONDITIONS, SITE PREPARATION & SESC

| | |
|------------|-----------|
| PWS | 8/31/2015 |
| DESIGN BY | DATE |
| PWS | 8/31/2015 |
| DRAWN BY | APPROVED |
| JHD | 8/31/2015 |
| CHECKED BY | APPROVED |

| | |
|-------------------|------------|
| REVISIONS | DATE |
| STORMWATER & WCRC | 11/24/2015 |

SHEET NUMBER
C-01



2230 PLATT ROAD, P.O. BOX 8645
ANN ARBOR, MICHIGAN 48107
PHONE: 734-971-6337
FAX: 734-971-6386
parks@ewashtenaw.org

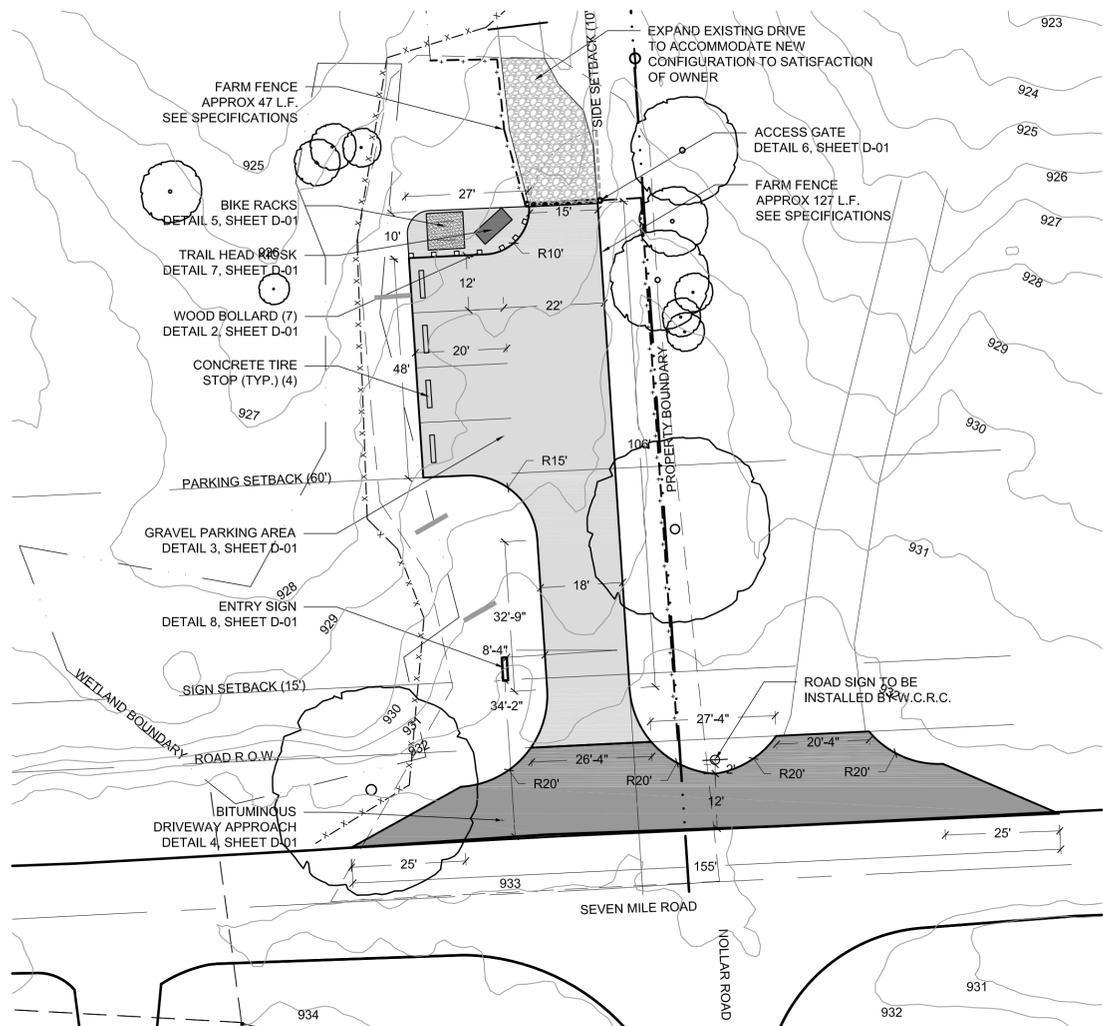
PROJECT NAME
WHITMORE LAKE PRESERVE ENTRANCE AND PARKING

SHEET TITLE
SITE LAYOUT, GRADING, PLANTING, & RESTORATION

| | |
|------------|-----------|
| PWS | 8/31/2015 |
| DESIGN BY | DATE |
| PWS | 8/31/2015 |
| DRAWN BY | APPROVED |
| JHD | 8/31/2015 |
| CHECKED BY | APPROVED |

| | |
|-------------------|------------|
| REVISIONS | DATE |
| STORMWATER & WCRC | 11/24/2015 |

SHEET NUMBER
C-02



SITE LAYOUT



SITE LAYOUT NOTES:

- DRIVEWAY SHALL BE PERPENDICULAR TO SEVEN MILE ROAD
- CONCRETE TIRE STOPS SHALL BE STANDARD DIMENSIONS (8 FEET IN LENGTH, 5 INCHES HIGH, AND 9 INCHES WIDE). TIRE STOPS SHALL BE REINFORCED WITH STEEL REINFORCING ROD. TIRE STOPS SHALL BE ANCHORED BY 2 PIECES OF #5 REBAR MIN. 36" LENGTH EACH.
- WORK WITHIN THE ROAD R.O.W. MAY REQUIRE FIELD REVIEW BY THE WASHTENAW COUNTY ROAD COMMISSION PRIOR TO FINALIZING INSTALLATION (PAVING BASE DEPTH, SIGN INSTALLATION, ETC.). CONTRACTOR SHALL APPROPRIATELY COORDINATE WORK AND REVIEWS WITH THE ROAD COMMISSION.
- DRIVEWAY TAPERS AND APPROACHES SHALL BE A CONTINUATION OF THE CROSS SLOPE OF THE EXISTING ROAD PAVEMENT.

SITE PLANTING NOTES:

- SEED SUPPLIERS (OTHER SOURCES AND SEED MIXES MUST BE APPROVED BY OWNER):
 - NATIVE SEED: Cardno JFNew, (574) 586-2412, www.cardnonativeplantnursery.com
 - TURF GRASS: Rhino Seed, (810) 632-5640, www.rhinoseed.com
- SEE SPECIFICATIONS FOR ADDITIONAL DETAILS, PLANTING INFORMATION, REPLACEMENT, AND MAINTENANCE REQUIREMENTS

PLANT & SEED LIST:

| ID | Botanical Name | Common Name | Qty | Size & Condition | Notes |
|-----|-----------------|-----------------|-----|------------------|-------|
| SWO | Quercus bicolor | Swamp White Oak | 3 | 2-2.5" Cal., B&B | |

| Seed Mix Name | Area for Coverage | Seed Rate |
|-----------------|-------------------------|----------------|
| Swale | 0.02 acres (930 s.f.) | 32.30 PLS/Acre |
| School Lawn Mix | 0.05 acres (2,300 s.f.) | 6 LBS/1,000 SF |

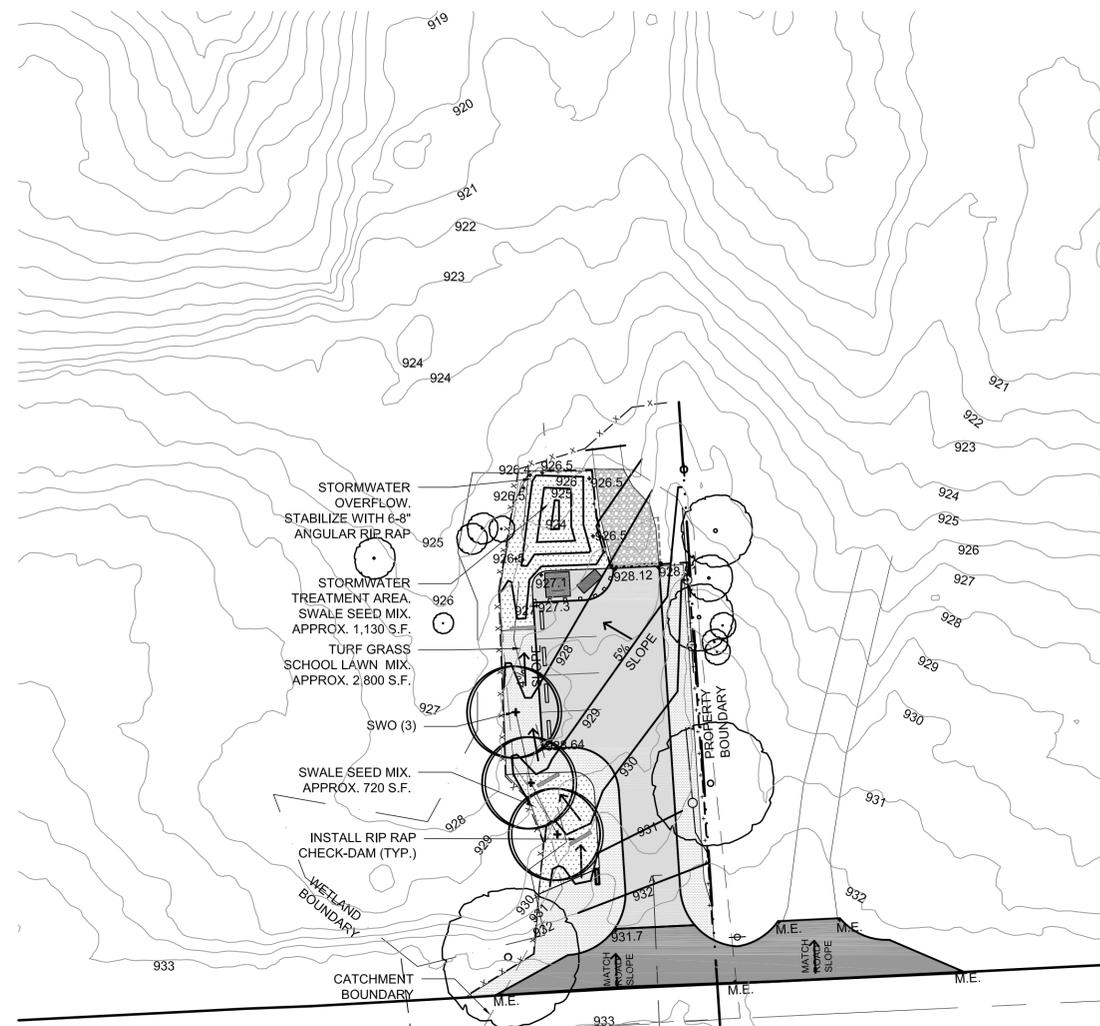
SITE GRADING NOTES:

- MINIMIZE CONSTRUCTION TRAFFIC AND SOIL COMPACTION IN FUTURE STORMWATER TREATMENT AREA.
- ALL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIAL. FILL SHALL BE COMPACTED IN 6-12" LIFTS TO 90% MAX DENSITY.
- DRIVEWAY TAPERS AND APPROACHES SHALL BE A CONTINUATION OF THE CROSS SLOPE OF THE EXISTING ROAD PAVEMENT. NEW PAVING MUST MATCH THE EXISTING ROADWAY'S GRADE AT EDGES.
- CHECK DAMS SHALL BE CONSTRUCTED FROM 6-8" ANGULAR RIP-RAP AND SHALL BE A MINIMUM OF 2' WIDE ALONG THE DIRECTION OF WATER FLOW

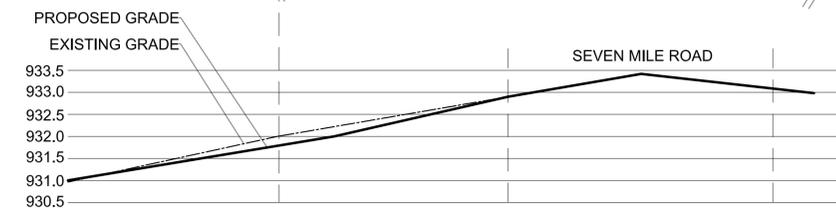


926 TO 926.4 = 10.96 SF CROSS SECTION x 29' 5" WIDTH = 323.32 CF STORAGE
 926 TO 925 = 21.4 SF CROSS SECTION x 25' 5" WIDTH = 545.7 CF STORAGE
 925 TO 924 = 13.4 SF CROSS SECTION x 17' 5" WIDTH = 234.5 CF STORAGE
 TOTAL STORAGE = 1,103.52 CF

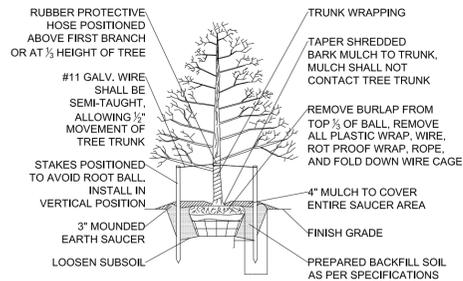
FIRST FLUSH CAPTURE BASIN: CENTERLINE PROFILE NORTH TO SOUTH
NO SCALE



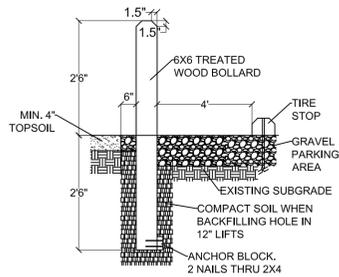
SITE GRADING, PLANTING, & RESTORATION



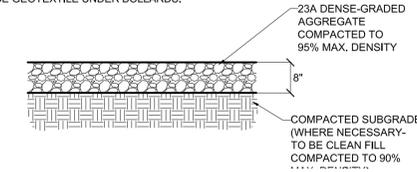
PROFILE A-A'. DRIVEWAY CENTERLINE
NO SCALE



- NOTES:**
1. STAKES SHALL BE INSTALLED AT DISCRETION OF CONTRACTOR.
 2. STAKES TO EXTEND MIN. 18" INTO UNDISTURBED SOIL. SET STAKES VERTICAL AND AT EQUAL HEIGHT.
 3. NOTCH STAKES TO HOLD WIRE IN PLACE.
 4. TOP OF ROOT BALL SHOULD BE SET AT OR SLIGHTLY HIGHER THAN THE SURROUNDING GRADE.
 5. PROVIDE 5" DIAMETER MULCH RING AROUND ALL PROPOSED TREES.



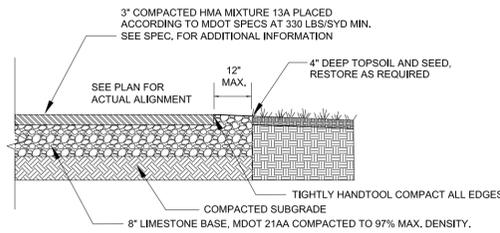
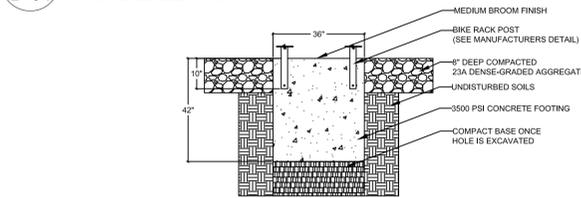
- GRAVEL DRIVEWAY NOTES:**
1. CONTRACTOR SHALL INSTALL WOVEN GEOTEXTILE (CSI GEOTURF H2400 OR APPROVED EQUAL) UNDER ALL PROPOSED GRAVEL PARKING AND DRIVEWAY SURFACES. INSTALL PER MANUFACTURER SPECIFICATIONS.
 2. CONTRACTOR SHALL NOT PLACE GEOTEXTILE UNDER BOLLARDS.



1 TREE PLANTING
D-01 NO SCALE - ELEVATION

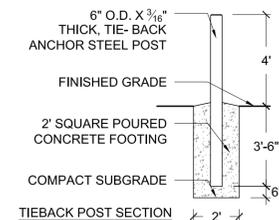
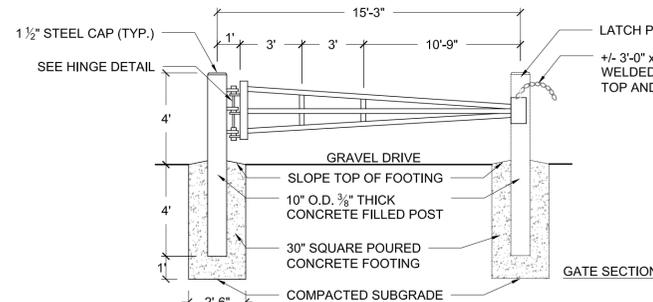
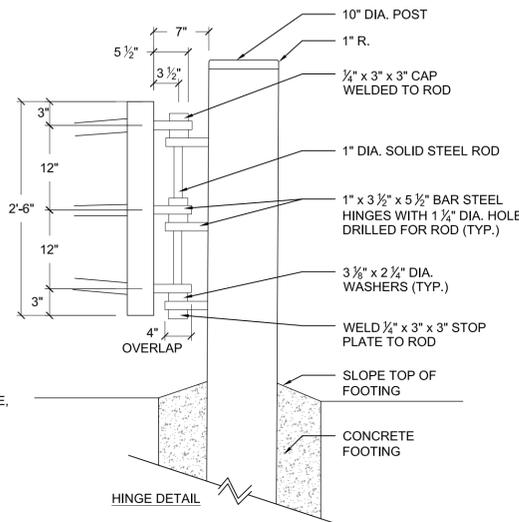
2 WOOD BOLLARD
D-01 NO SCALE - SECTION

3 GRAVEL PARKING AREA
D-01 NO SCALE - PARTIAL SECTION



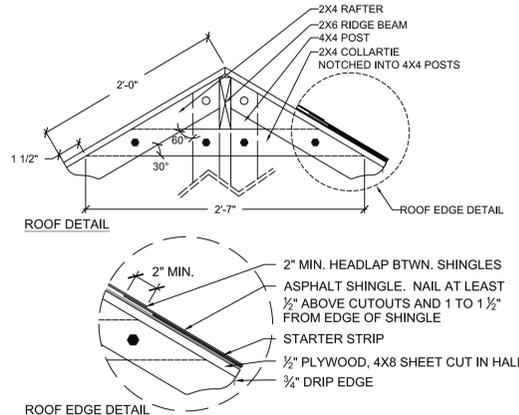
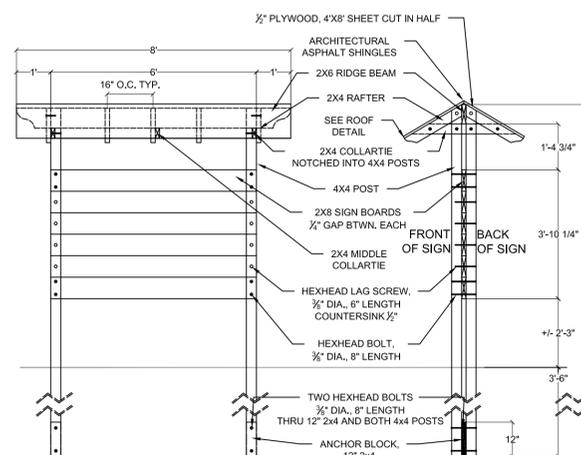
4 BITUMINOUS DRIVEWAY APPROACH
D-01 NO SCALE - PARTIAL SECTION

1. ALL POSTS, RAILS, SUPPORTS, ETC. SHALL BE SCHEDULE 40 PIPE, NON-GALVANIZED STEEL
2. ENTIRE FABRICATION SHALL BE PAINTED OR POWDER COATED WITH EXTERIOR GRADE BLACK GLOSS COLOR. CONTRACTOR SHALL SUBMIT PAINT OR POWDER COAT SPECIFICATIONS TO OWNER FOR APPROVAL PRIOR TO FABRICATION OF GATE.



6 ACCESS GATE
D-01 NO SCALE

5 BIKE RACK
D-01 NO SCALE

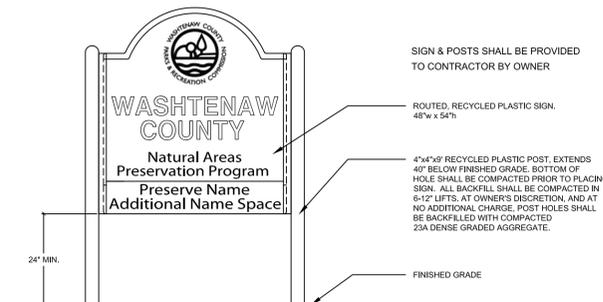


- GENERAL NOTES:**
- AT OWNER'S DISCRETION, BACKFILL AROUND POSTS WITH GRAVEL, 21AA, 23A OR APPROVED EQUAL. WHILE BACKFILLING POST HOLES, COMPACT BACKFILL MATERIAL IN 6"-8" LIFTS.
- LUMBER AND HARDWARE NOTES:**
- HEXHEAD BOLT
 - HEXHEAD LAG SCREW
 - 1. ALL WOOD IS TO BE TREATED
 - 2. ALL HARDWARE SHALL BE COMPATIBLE WITH TREATED LUMBER

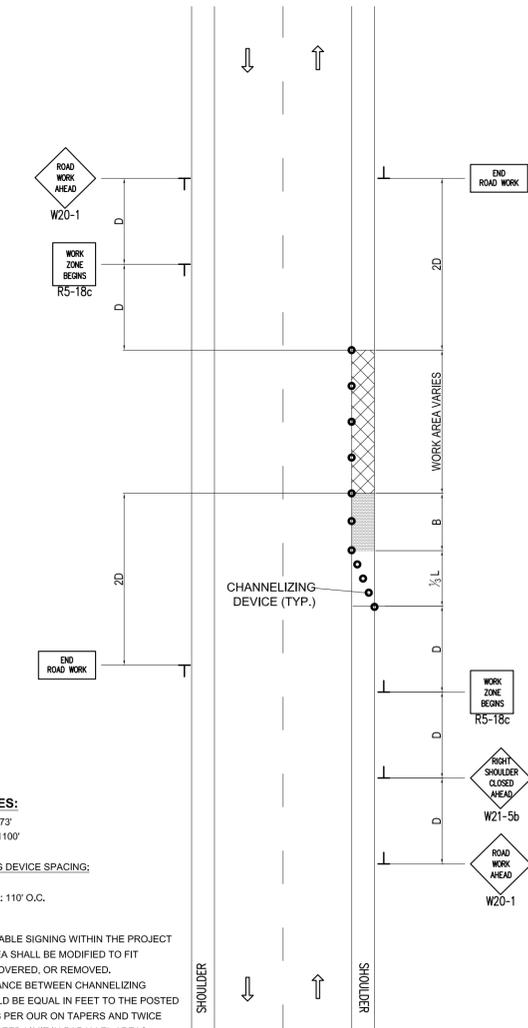
7 TRAIL HEAD KIOSK
D-01 NO SCALE - ELEVATION

8 NAPP ENTRY SIGN
D-01 NO SCALE - PARTIAL ELEVATION

9 TEMPORARY CONSTRUCTION SIGN LAYOUT
D-01 NO SCALE - PLAN VIEW



- SIGN VARIABLES:**
- L=220'
 - W=73'
 - D=550'
 - 2D=1100'
 - B=329'
 - MAX. CHANNELIZING DEVICE SPACING: TAPER: 55' O.C. PARALLEL TO ROAD: 110' O.C.
- SIGN NOTES:**
- ALL NON-APPLICABLE SIGNING WITHIN THE PROJECT INFLUENCE AREA SHALL BE MODIFIED TO FIT CONDITIONS, COVERED, OR REMOVED.
 - MAXIMUM DISTANCE BETWEEN CHANNELIZING DEVICES SHOULD BE EQUAL IN FEET TO THE POSTED SPEED IN MILES PER HOUR ON TAPERS AND TWICE THE POSTED SPEED LIMIT IN PARALLEL AREAS.



| | |
|----------------|-----------|
| PWS DESIGN BY | 8/31/2015 |
| PWS DATE | 8/31/2015 |
| JHD DRAWN BY | APPROVED |
| JHD CHECKED BY | APPROVED |

| | |
|-------------------|------------|
| REVISIONS | DATE |
| STORMWATER & WCRC | 11/24/2015 |

| NORTHFIELD TOWNSHIP | |
|--|--|
| SITE PLAN REVIEW APPLICATION | |
| PROJECT NAME: WHITMORE LAKE PRESERVE | |
| PROJECT ADDRESS: SEVEN MILE ROAD AT NOLLAR ROAD | |
| Applicant Information: | Owner Information: |
| Name: WASHTENAW COUNTY PARKS + RECREATION | Name: STAFF CONTACT: PETER SANDERSON |
| Address: P.O. Box 8645, ANN ARBOR, MI 48107 | Address: |
| Phone: 734-971-6337 | Phone: |
| Email: SANDERSONP@EWASHTENAW.ORG | Email: |
| If the applicant is not the property owner, then a statement from the owner MUST be attached authorizing the application. | |
| Proof of ownership OR Statement if applicant is not owner is attached. <input type="checkbox"/> | |
| If applicant is not the owner, describe applicant's interest in the property | |
| PROPERTY DESCRIPTION | |
| Legal Description: <input type="checkbox"/> Attached <input checked="" type="checkbox"/> On Site Plan | Parcel ID(s): B-02-09-200-001, B-02-04-300-001, B-02-04-400-003, B-02-04-100-002 |
| Description of Proposed Use: THE LAND IS PROPOSED TO BE A NATURE PRESERVE. SITE ACCESS WILL BE PROVIDED BY A FOUR-CAR GRAVEL PARKING LOT. ADDITIONAL SITE ELEMENTS INCLUDE BIKE RACKS, ENTRY SIGN, KIOSK WITH MAPS + RULES, AND LANDSCAPING. | |
| Total Acreage of Site: 235 | Total Floor Area: Existing: <input type="checkbox"/> Proposed: <input type="checkbox"/> |
| Height of Structure(s) (in stories & feet): N/A | Sanitary Facilities: <input type="checkbox"/> Sewer <input type="checkbox"/> Septic Water: <input type="checkbox"/> Municipal <input type="checkbox"/> Private Well |
| Zoning Classification(s): <input checked="" type="checkbox"/> RC <input checked="" type="checkbox"/> AR <input type="checkbox"/> LR <input type="checkbox"/> SR1 <input type="checkbox"/> SR2 <input type="checkbox"/> MR <input type="checkbox"/> VC <input checked="" type="checkbox"/> LC <input type="checkbox"/> GC <input type="checkbox"/> ES <input type="checkbox"/> HC <input type="checkbox"/> GI <input type="checkbox"/> LI <input type="checkbox"/> Other _____ | |
| SITE PLAN REVIEW OPTIONS | |
| Administrative Site Plan Review: <input type="checkbox"/> Expansion or reduction of an existing, conforming structure less than 2,000 sq. ft. / 5% of floor area <input type="checkbox"/> Additional parking, loading / unloading spaces and landscape improvements | Site Plan Review: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Building Addition |
| Development Plan Review: <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> Planned Residential Development <input type="checkbox"/> Site Condominium Plan | Amendment to Approved Site Plan or Development Plan: <input type="checkbox"/> Site Plan <input type="checkbox"/> Development Plan |
| Site or Development Plan Review in conjunction with: <input checked="" type="checkbox"/> Rezoning Request <input type="checkbox"/> Special Land Use Request | |

Application # _____

AUTHORIZED SIGNATURE

I hereby state that all of the above statements and all of the accompanying information are true and correct.

Applicant's Signature: Robert Stevens Date: 11/24/2015

FOR OFFICE USE ONLY

Application Received Date: _____

Planning Commission Received Date: _____

Planning Commission Action: Approved Date: _____ Denied Date: _____

Expiration Date: _____

Fee Received: Cash Check # _____

WETLAND DELINEATION REPORT

WHITMORE LAKE LOT
WASHTENAW COUNTY, MICHIGAN

JULY 2015

PREPARED FOR:
WASHTENAW COUNTY PARKS AND RECREATION
2230 SOUTH PLATT ROAD
ANN ARBOR, MICHIGAN 48104

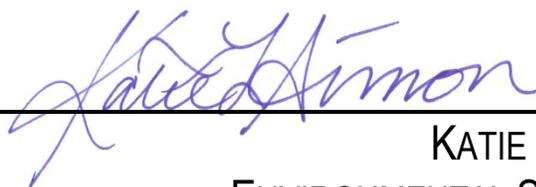
PREPARED BY:
THE MANNIK SMITH GROUP, INC.
1800 INDIAN WOOD CIRCLE
MAUMEE, OHIO 43537



WETLAND DELINEATION REPORT

WHITMORE LAKE LOT
WASHTENAW COUNTY, MICHIGAN

*PREPARED BY:



KATIE L. SIMON
ENVIRONMENTAL SCIENTIST

REVIEWED BY:



KEITH CARR
ECOLOGICAL TEAM LEADER



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1.0 INTRODUCTION

On July 28, 2015, The Mannik & Smith Group, Inc. (MSG) performed a wetland delineation for a proposed parking area on the Whitmore Lake Preserve in Whitmore Lake, Washtenaw County, Michigan (Site) (Figure 1). The purpose of a wetland delineation is to identify any areas on the Site that could be considered a jurisdictional wetland or surface water.

Federal regulations define a jurisdictional wetland as an area that is inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances does support, a prevalence of vegetation typically adapted for life in saturated soil conditions. According to current wetland criteria, a wetland has: (1) hydric (i.e., wetland) soils, (2) evidence of inundated or saturated conditions (wetland hydrology), and (3) a predominance of wetland vegetation. When all three of these criteria are met, a wetland is present and is potentially subject to Federal and/or State regulations and permitting.

In a wetland delineation, data are collected concerning the vegetation, soils and hydrology present in representative plant communities to determine if the criteria for a jurisdictional wetland are met, and the wetland/non-wetland boundaries are then flagged. The wetland/non-wetland boundaries and the sample locations are surveyed and placed on a wetland delineation figure. From the wetland delineation figure, the acreage of each wetland can then be calculated. A preliminary determination is also made as to whether each wetland is regulated based on Michigan Department of Environmental Quality's (MDEQ) Part 301 and 303 guidelines.

2.0 METHODS

MSG performed the wetland delineation in accordance with the *2010 Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest, Version 2.0*. Wetlands were defined as any area on the property that contained a predominance of wetland vegetation, hydric soils and positive indicators of wetland hydrology. Sample plots for vegetation, soils and hydrology were placed on either side of the wetland boundary. The wetland/upland boundary was surveyed using a Trimble Geo XH GPS receiver. The wetland and upland data sheets that describe each plot are included in Appendix A. Digital images of each wetland were taken of each wetland and are included in Appendix B. After the wetland has been delineated, MSG also described the regulatory status of each wetland based on MDEQ Part 301 and 303 guidelines. To finalize this wetland delineation, a field review by MDEQ will be necessary.

3.0 RESULTS

3.1 Agency Resource Information

The USGS Quadrangle map for Hamburg, MI (1965, Revised 1983) and South Lyon, MI (1965, Revised 1983) Quadrangles indicate that the study area has elevations varying from 910 to 930 (Figure 1).

A review of the National Wetland Inventory did not indicate the presence of any wetlands on the Site (Figure 2). Two soil units are mapped on the Site by the U.S. Department of Agriculture, Natural Resources Conservation Service (NRCS). Soils information for the Site is presented in Table 3.1 and mapped on Figure 2. One soil unit mapped for the Site is listed as having hydric inclusions in Washtenaw County, Michigan.

Table 3.1 Soil Types on the Site

| Soil Type | Map Unit | Hydric? | With Hydric Inclusions? |
|--------------------------------------|----------|---------|-------------------------|
| Glynwood loam, 2 to 6 percent slopes | MoB | No | Yes |
| Morley loam, 6 to 12 percent slopes | MoC | No | No |

3.2 Wetland Delineation

One wetland (Wetland A) comprised of 0.148-acre was identified on the Site (Figure 3). To define the wetland boundaries, two sample points were collected (SP-1 and SP-2). Wetland determination data forms are included in Appendix A and site photographs are included in Appendix B. Based on Wetland A's proximity to an observed stream, MSG has determined that Wetland A would be regulated in the State of Michigan. A field review by MDEQ will be necessary in order to finalize the regulatory status of the wetland.

Table 3.2 Summary of Wetlands

| Wetland | Delineated Acreage within Study Area | Wetland Type ¹ | Regulatory Status ² |
|-----------|--------------------------------------|---------------------------|--------------------------------|
| Wetland A | 0.148 | PEM | Regulated |
| Total | 0.148 | | |

¹ wetland community type: PEM=palustrine emergent; PSS= palustrine scrub/shrub; PFO=palustrine forested and POW=palustrine open water

² regulatory status determined based on MDEQ Part 301 and 303 guidelines

Wetland A

Wetland A was delineated as 0.148-acre and is located in the southwest portion of the Site (Figure 3). The soil profile consisted of a twelve inch layer of 10YR 3/2 silty clay loam soil with 50% dark yellowish brown (10YR 3/4) redox features. Positive indicators of wetland hydrology included saturation, geomorphic position and a positive FAC-neutral test. Dominant vegetation consisted of hydrophytic vegetation such as: reed canary grass (*Phalaris arundinacea*: FACW) and box elder (*Acer negundo*: FAC).

3.3 Uplands

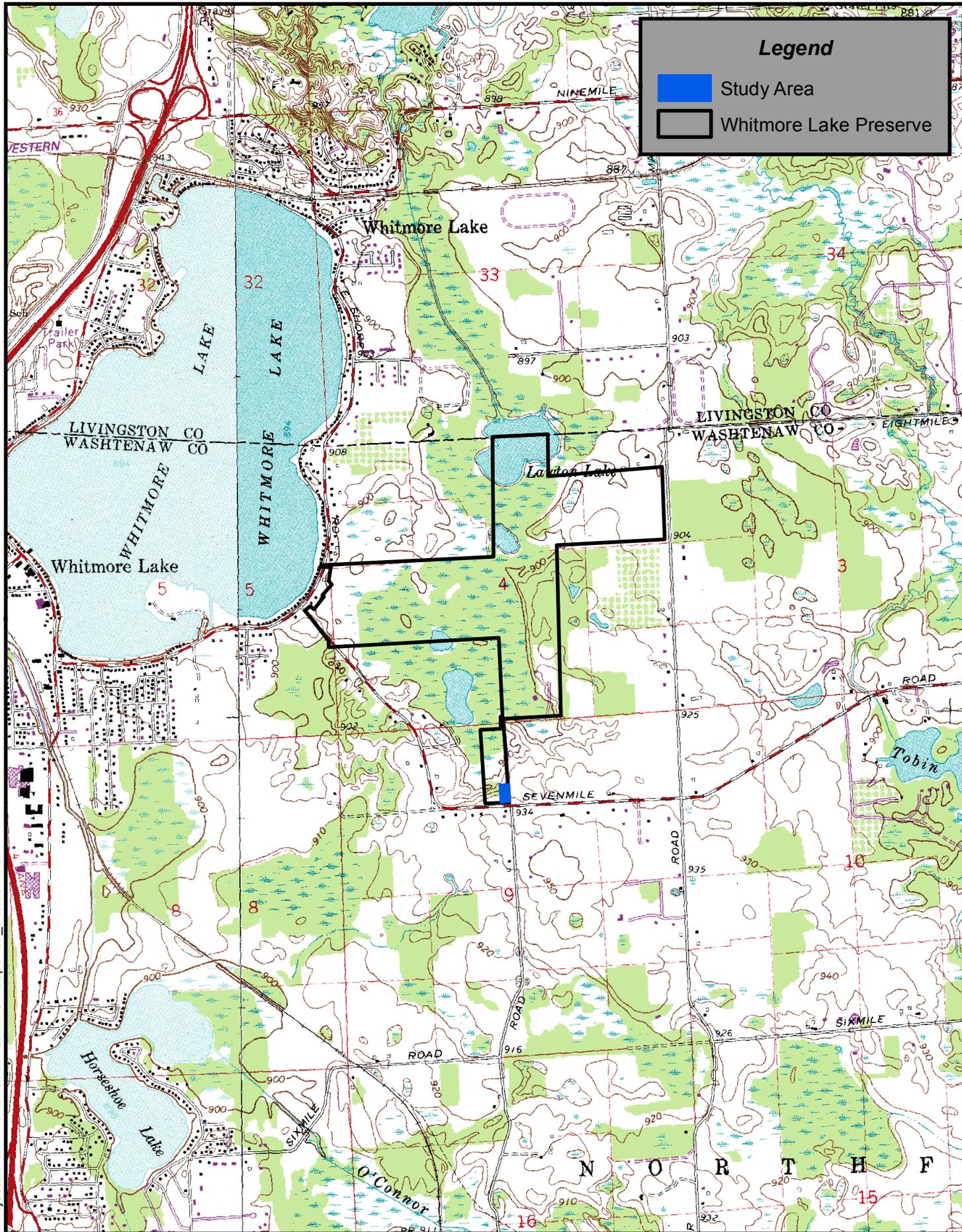
One sample point was collected in an upland area (SP-2). SP-2 was dominated with autumn olive (*Elaeagnus umbellata*: UPL), red fescue (*Festuca rubra*: FACU), goldenrod (*Solidago sp.*: FACU) and poison ivy (*Toxicodendron radicans*: FAC). The soil profile consisted of a six inch layer of 10YR 4/6 sandy silt soil. This was underlain by a six inch layer of 10YR 5/3 clayey silt soil with 50% dark yellowish brown (10YR 4/4) redox features. No signs of hydrology were observed.

4.0 SUMMARY

A wetland delineation was completed for a small proposed parking area on the Whitmore Lake Preserve on July 28, 2015. One wetland (Wetland A), comprised of 0.148-acre, was identified on the Site. Based on Wetland A's proximity to an observed stream, MSG has determined that Wetland A would be regulated in the State of Michigan. A field review by MDEQ will be necessary in order to finalize the regulatory status of each wetland.

FIGURES



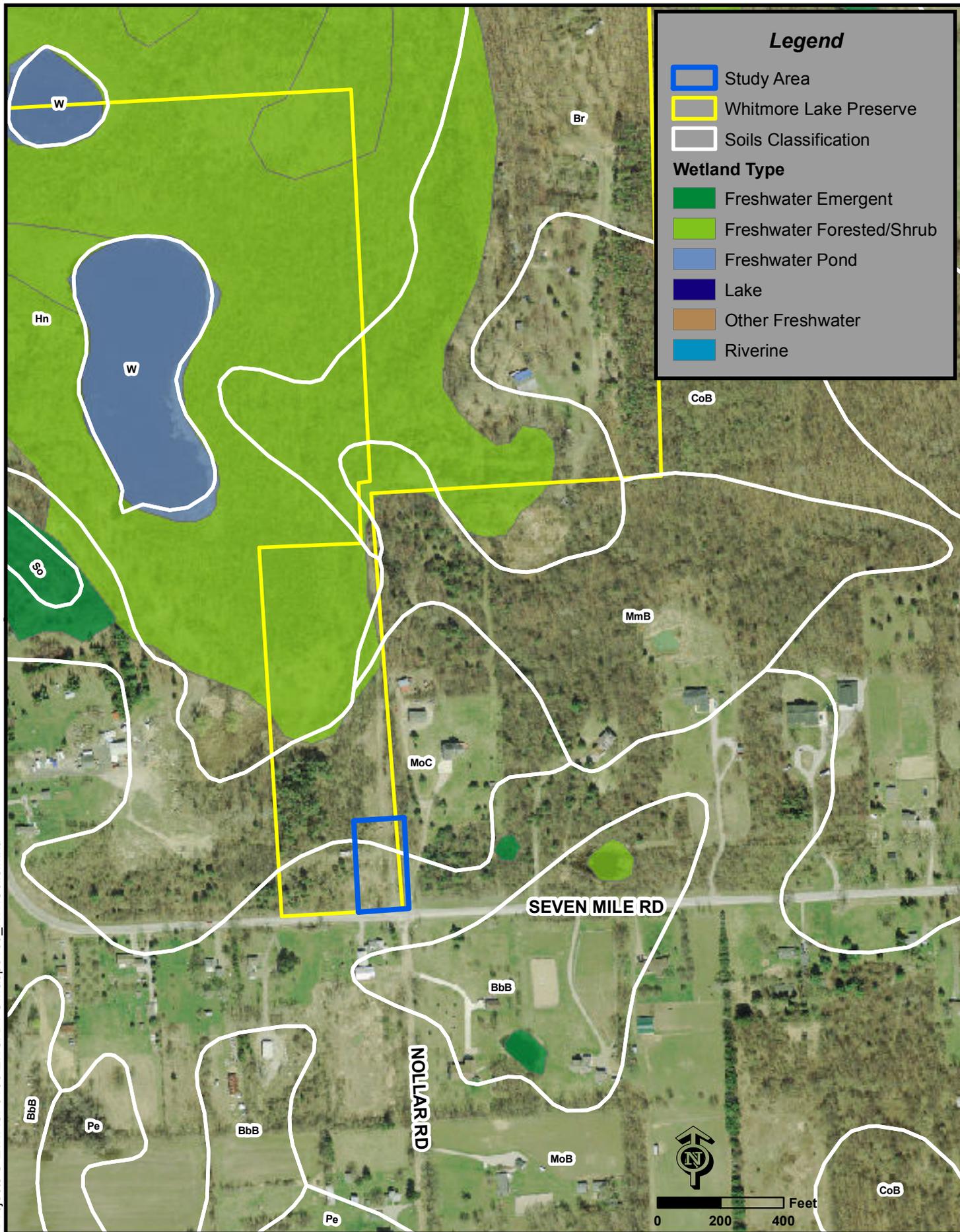


Legend

- Study Area
- Whitmore Lake Preserve

**Figure 1: Site Location
Whitmore Lake Preserve
Washtenaw County, Michigan**

Notes
 USGS Quadrangles, 7.5' Series Topographic
 Hamburg, MI 1965 Revised 1983
 South Lyon, MI 1965 Revised 1983



Legend

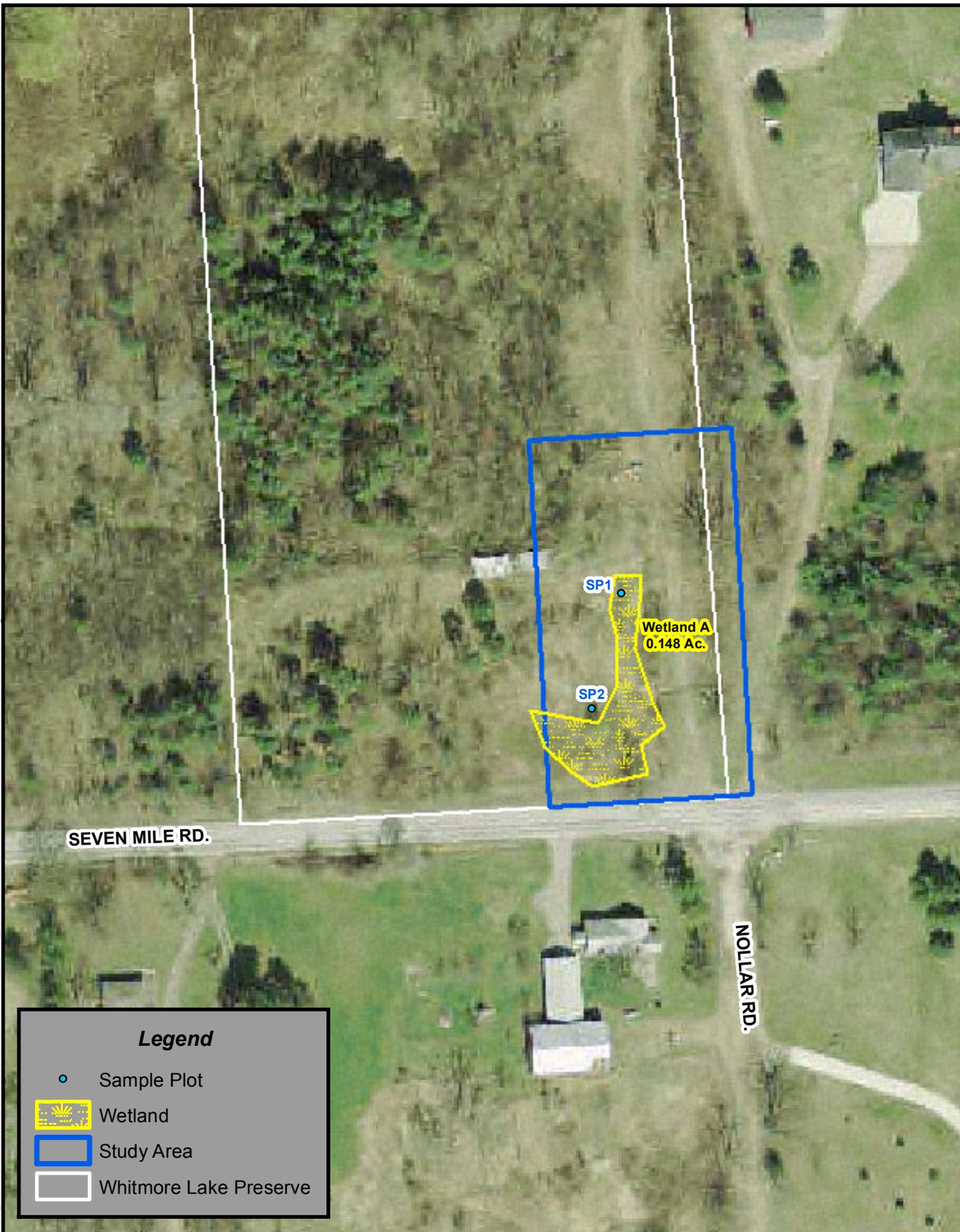
- Study Area
- Whitmore Lake Preserve
- Soils Classification

Wetland Type

- Freshwater Emergent
- Freshwater Forested/Shrub
- Freshwater Pond
- Lake
- Other Freshwater
- Riverine

**Figure 2: NWI/Soils Classification
Whitmore Lake Preserve
Washtenaw County, Michigan**

Notes
The Washtenaw County photography, dated April 2010, is provided by SEMCOG. The soils data is provided by the U.S. Department of Agriculture, Natural Resources Conservation Service. The NWI data is provided by the U.S. Department of the Interior, Fish and Wildlife Service.



Legend

- Sample Plot
- Wetland
- Study Area
- Whitmore Lake Preserve

**Figure 3: Surface Water Delineation
Whitmore Lake Preserve
Washtenaw County, Michigan**

Notes
The Washtenaw County photography, dated April 2010, is provided by SEMCOG..

0 50 100 Feet

APPENDIX A
WETLAND DELINEATION DATA FORMS



WETLAND DETERMINATION DATA FORM – Midwest Region

Project/Site: WASP0109 City/County: Whitmore Lake/ Washtenaw Sampling Date: 7/28/15
 Applicant/Owner: WASHTENAW COUNTY PARKS AND RECREATION State: MI Sampling Point: SP-1
 Investigator(s): K. CARR, K. SIMON Section, Township, Range: S9 T1S R6E
 Landform (hillslope, terrace, etc.): depression Local relief (concave, convex, none): concave
 Slope (%): _____ Lat: 42.413263362 Long: -83.734437449 Datum: _____
 Soil Map Unit Name: Glynwood loam, 2 to 6 percent slopes NWI classification: NONE

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

| | |
|--|--|
| Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes <input checked="" type="checkbox"/> No _____ Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No _____ | Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____ |
| Remarks: Wetland A | |

VEGETATION – Use scientific names of plants.

| Tree Stratum (Plot size: _____) | Absolute % Cover | Dominant Species? | Indicator Status | Dominance Test worksheet: |
|---|------------------|-------------------------------------|------------------|---|
| 1. <u>Acer negundo</u> | 30 | <input checked="" type="checkbox"/> | FAC | Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) |
| 2. _____ | | | | Total Number of Dominant Species Across All Strata: <u>2</u> (B) |
| 3. _____ | | | | Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B) |
| 4. _____ | | | | |
| 5. _____ | | | | |
| 30 = Total Cover | | | | |
| Shrub/Strawberry Stratum (Plot size: _____) | | | | Prevalence Index worksheet: |
| 1. _____ | | | | Total % Cover of: _____ Multiply by: _____ |
| 2. _____ | | | | OBL species _____ x 1 = <u>0</u> |
| 3. _____ | | | | FACW species _____ x 2 = <u>0</u> |
| 4. _____ | | | | FAC species _____ x 3 = <u>0</u> |
| 5. _____ | | | | FACU species _____ x 4 = <u>0</u> |
| | | | | UPL species _____ x 5 = <u>0</u> |
| 0 = Total Cover | | | | Column Totals: <u>0</u> (A) <u>0</u> (B) |
| | | | | Prevalence Index = B/A = _____ |
| Herb Stratum (Plot size: _____) | | | | Hydrophytic Vegetation Indicators: |
| 1. <u>Phalaris arundinacea</u> | 85 | <input checked="" type="checkbox"/> | FACW | <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation |
| 2. <u>Typha latifolia</u> | 10 | | OBL | <input checked="" type="checkbox"/> 2 - Dominance Test is >50% |
| 3. <u>Lythrum salicaria</u> | 5 | | OBL | <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ |
| 4. _____ | | | | <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) |
| 5. _____ | | | | <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) |
| 6. _____ | | | | |
| 7. _____ | | | | |
| 8. _____ | | | | |
| 9. _____ | | | | |
| 10. _____ | | | | |
| 100 = Total Cover | | | | ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic. |
| Woody Vine Stratum (Plot size: _____) | | | | Hydrophytic Vegetation Present? |
| 1. _____ | | | | Yes <input checked="" type="checkbox"/> No _____ |
| 2. _____ | | | | |
| 0 = Total Cover | | | | |
| Remarks: (Include photo numbers here or on a separate sheet.) | | | | |

WETLAND DETERMINATION DATA FORM – Midwest Region

Project/Site: WASP0109 City/County: Whitmore Lake/ Washtenaw Sampling Date: 7/28/15
 Applicant/Owner: WASHTENAW COUNTY PARKS AND RECREATION State: MI Sampling Point: SP-2
 Investigator(s): K. CARR, K. SIMON Section, Township, Range: S9 T1S R6E
 Landform (hillslope, terrace, etc.): _____ Local relief (concave, convex, none): convex
 Slope (%): _____ Lat: 42.413014453 Long: -83.734526243 Datum: _____
 Soil Map Unit Name: Glynwood loam, 2 to 6 percent slopes NWI classification: NONE

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

| | |
|--|---|
| Hydrophytic Vegetation Present? Yes _____ No <input checked="" type="checkbox"/> Hydric Soil Present? Yes _____ No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes _____ No <input checked="" type="checkbox"/> | Is the Sampled Area within a Wetland? Yes _____ No <input checked="" type="checkbox"/> |
| Remarks: _____ _____ _____ | |

VEGETATION – Use scientific names of plants.

| Tree Stratum (Plot size: _____) | Absolute % Cover | Dominant Species? | Indicator Status | |
|---|------------------|-------------------------------------|------------------|--|
| 1. _____ | _____ | _____ | _____ | |
| 2. _____ | _____ | _____ | _____ | |
| 3. _____ | _____ | _____ | _____ | |
| 4. _____ | _____ | _____ | _____ | |
| 5. _____ | _____ | _____ | _____ | |
| 0 = Total Cover | | | | |
| Sapling/Shrub Stratum (Plot size: _____) | | | | |
| 1. <i>Elaeagnus umbellata</i> | 15 | <input checked="" type="checkbox"/> | UPL | |
| 2. <i>Juniperus virginiana</i> | 5 | | FACU | |
| 3. <i>Quercus alba</i> | 5 | | FACU | |
| 4. <i>Fraxinus pennsylvanica</i> | 5 | | FACW | |
| 5. <i>unknown birch</i> | 5 | | | |
| 35 = Total Cover | | | | |
| Herb Stratum (Plot size: _____) | | | | |
| 1. <i>Festuca rubra</i> | 70 | <input checked="" type="checkbox"/> | FACU | |
| 2. <i>Solidago sp.</i> | 45 | <input checked="" type="checkbox"/> | FACU | |
| 3. _____ | _____ | _____ | _____ | |
| 4. _____ | _____ | _____ | _____ | |
| 5. _____ | _____ | _____ | _____ | |
| 6. _____ | _____ | _____ | _____ | |
| 7. _____ | _____ | _____ | _____ | |
| 8. _____ | _____ | _____ | _____ | |
| 9. _____ | _____ | _____ | _____ | |
| 10. _____ | _____ | _____ | _____ | |
| 115 = Total Cover | | | | |
| Woody Vine Stratum (Plot size: _____) | | | | |
| 1. <i>Toxicodendron radicans</i> | 15 | <input checked="" type="checkbox"/> | FAC | |
| 2. _____ | _____ | _____ | _____ | |
| 15 = Total Cover | | | | |

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 4 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 25 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = 0
 FACW species _____ x 2 = 0
 FAC species _____ x 3 = 0
 FACU species _____ x 4 = 0
 UPL species _____ x 5 = 0
 Column Totals: 0 (A) 0 (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 ___ 1 - Rapid Test for Hydrophytic Vegetation
 ___ 2 - Dominance Test is >50%
 ___ 3 - Prevalence Index is ≤3.0¹
 ___ 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 ___ Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes _____ No

Remarks: (Include photo numbers here or on a separate sheet.)

APPENDIX B
SITE PHOTOGRAPHS





Photo 1: Sample point 1 (SP-1).



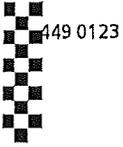
Photo 2: Wetland A looking northeast.



Photo 3: Wetland A looking south.



Photo 4: Sample point 2 (SP-2).



TOWNSHIP OF NORTHFIELD
County of Washtenaw, State of Michigan

Application for Re-zoning

DOCUMENTS REQUIRED WITH APPLICATION:

- IMPACT ASSESSMENT (Section 60.20)
- TRAFFIC IMPACT STUDY (Section 60.20, C)
- FEASIBILITY STUDY (Section 60.20, D)

Date: December 9, 2014

To the Northfield Township Board:

The applicant Washtenaw County Parks & Recreation Commission, whose post office address is 2230 Platt, PO Box 8645, Ann Arbor, MI 48107, and telephone number is 734-971-6337, respectfully requests that the Northfield Township Zoning Ordinance be amended to re-zone lands described as follows: (Legal or tax description)

The property sought to be re-zoned is located at: post office address or other designation 85.283 acres, vacant land, tax ID #B-02-04-100-002,

The requested change is from the present zoning of low density residential to the proposed zoning of recreation/conservation,

The property sought to be re-zoned is owned by applicant, whose post office address is listed above,

The applicant is interested in the property as (owner, purchaser, lessee, other) owner,

The reason for the proposed re-zoning is:

Property is to be used in conjunction with Natural Areas Preservation Program for passive recreation, conservation, and agricultural purposes only.

It is proposed that the buildings or improvements will be constructed thereon as follows:

Small parking area and some signage consistent with the Natural Areas Preservation Program

Application for Re-zoning
Page 2

We as the property owners grant n/a the right to
petition for a re-zoning.

We the undersigned do hereby certify the Information set forth above is true and
accurate to the best of our knowledge:

Petitioner(s): Washtenaw County Parks & Recreation Commission

Date: _____ Robert Tetens 12/9/2014

Date: _____ Robert Tetens, Director

Date: _____

Date: _____

Owner(s)

Date: _____

Date: _____

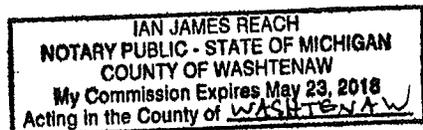
Date: _____

Date: _____

Purchaser(s)

Subscribed and sworn to before me on this 9th day of December 2014

[Signature]
 Notary Ian James Reach
 Washtenaw County, MI
 Acting in Washtenaw County
 My commission expires _____



The following documents are attached in conjunction with this application:

1. Copy of Deed reflecting ownership by Washtenaw County
2. Copy of Certificate of Survey describing parcel in question (Parcel A)
3. Copy of current zoning map regarding area in question
4. Location map showing subject matter parcel

L: 5015 P: 982 182491 D

12/26/2013 02:17 Pl. Total Pages: 3

Lawrence Kestenbaum, Washtenaw Co



Receipt# 13-26848 6182491

12/26/2013 Washtenaw Co, Michigan

Real Estate Transfer Tax

Tax Stamp # 305382

County Tax: \$544.50 State Tax: \$3712.50



WARRANTY DEED

AMERICAN TITLE COMPANY OF WASHTENAW

The Grantor(s) Lloyd Huntington Lippert and and Willow L. Bogus, Trustees under Trust agreement dated July 19, 2004 for Lloyd H. Lippert as to an undivided 49% interest, and Lloyd Huntington Lippert and Willow L. Bogus, Trustees under Trust agreement dated July 19, 2004 for Celia E. Lippert as to an undivided 51% interest,

Convey(s) and Warrant(s) to Washtenaw County, a municipal corporation, whose address is 220 N. Main Street, Ann Arbor, MI 48104,

the following property located in the Township of Northfield, Washtenaw County, Michigan:

SEE LEGAL DESCRIPTION ATTACHED HERETO

(Address: 9905 Spencer Rd.)

Parcel ID(s):

Part of: B-02-04-100-001, unallocated as to subject property

NEW PARCEL ID in 2014 to be: B-02-04-100-002

WASHTENAW COUNTY TREASURER

TAX CERTIFICATE NO. 84861AC

for the sum of Four Hundred Ninety Four Thousand Nine Hundred Eighty Two and 53/100 (\$494,982.53) Dollars,

subject to easements and building and use restrictions of record, and further subject to the lien of real property taxes not yet due and payable. This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act. The grantor grants to the grantee the right to make all but 3 division(s) under Section 108 of the land division act, Act No. 288 of the Public Acts of 1967.

Dated: 12/16, 2013

Time Submitted for Recording

Date 12/26/13 Time 11:00 AM

Lawrence Kestenbaum

Washtenaw County Clerk/Registrar

AM

13

22

Lloyd Huntington Lippert, Trustee under Trust agreement dated July 19, 2004 for Lloyd H. Lippert

BY: Lloyd Huntington Lippert TRUSTEE
Lloyd Huntington Lippert
Trustee

Willow L. Bogus, Trustee under Trust agreement dated July 19, 2004 for Lloyd H. Lippert

BY: Willow L. Bogus, TRUSTEE
Willow L. Bogus
Trustee

Lloyd Huntington Lippert, Trustee under Trust agreement dated July 19, 2004 for Celia E. Lippert

BY: Lloyd Huntington Lippert TRUSTEE
Lloyd Huntington Lippert
Trustee

Willow L. Bogus, Trustee under Trust agreement dated July 19, 2004 for Celia E. Lippert

BY: Willow L. Bogus, TRUSTEE
Willow L. Bogus
Trustee

Acknowledged before me in Washtenaw County, Michigan,
on 12/14, 2013, by Lloyd Huntington Lippert, Trustee under Trust agreement dated July 19,
2004 for Lloyd H. Lippert and Willow L. Bogus, Trustee under Trust agreement dated July 19, 2004 for Lloyd
H. Lippert and Lloyd Huntington Lippert, Trustee under Trust agreement dated July 19, 2004 for Celia E.
Lippert and Willow L. Bogus, Trustee under Trust agreement dated July 19, 2004 for Celia E. Lippert.



, Notary Public
County, Michigan

My Commission Expires: _____
Acting in _____ County

Drafted by:
Michelle J. Taylor (P64926)
825 Victors Way, Suite 100
Ann Arbor, MI 48108
Recording fee: \$20.00
County transfer tax: \$544.50
State transfer tax: \$3,712.50
Total transfer tax: \$4,257.00

M G Ottaviani
Notary Public, Washtenaw County, MI
My Commission Expires: Jan. 31, 2014
Acting in Washtenaw County

When recorded return to and send tax bills to:
Washtenaw County, a municipal corporation
220 N. Main Street, Ann Arbor, MI 48104

File # 104844/C. Ottaviani

File #: 104844

LEGAL DESCRIPTION

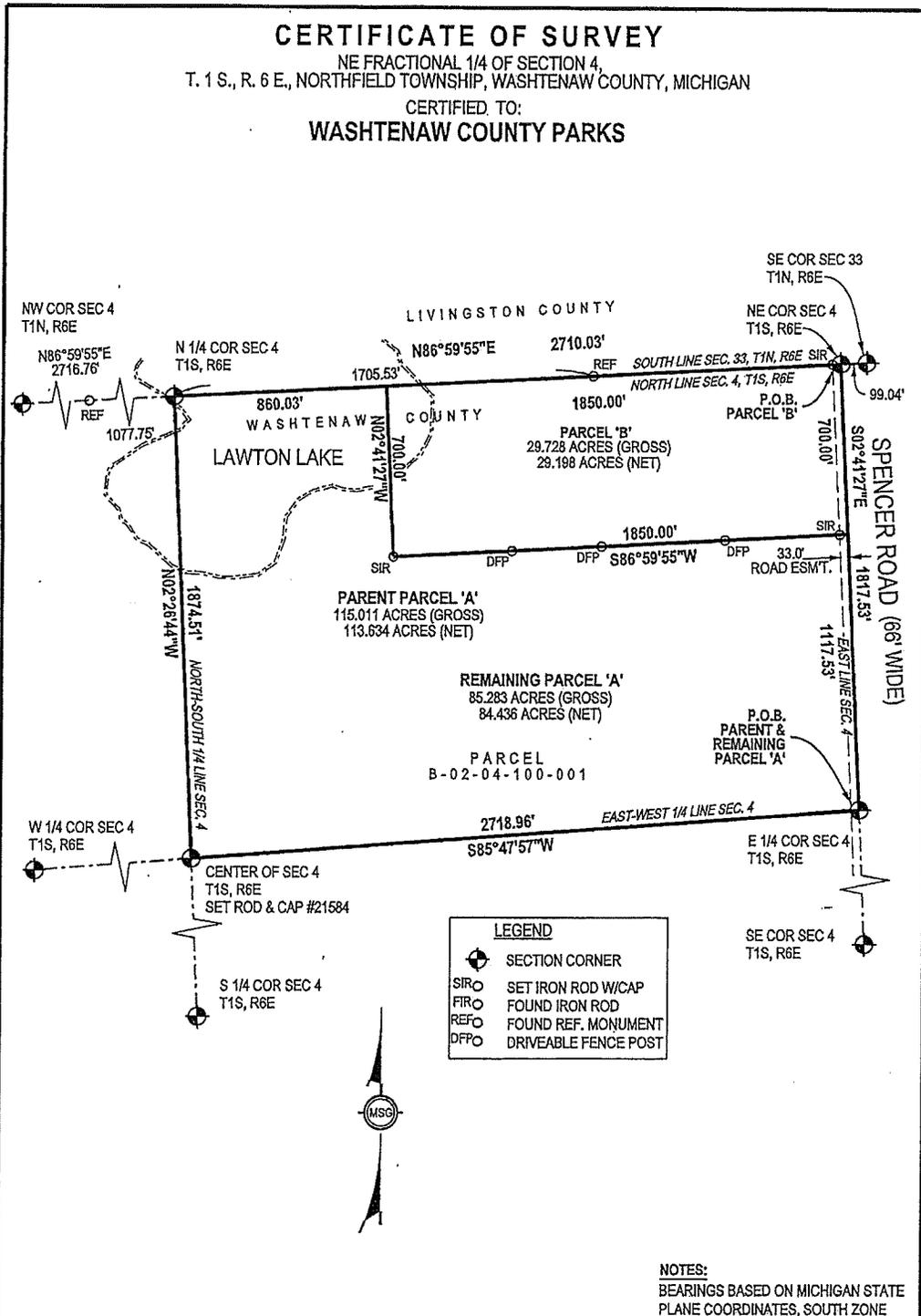
Land in the Township of Northfield, County of Washtenaw, Michigan, described as:

Part of the Northeast 1/4 of Section 4, Town 1 South, Range 6 East, Northfield Township, Washtenaw County, Michigan, more particularly described as: Beginning at the East 1/4 corner of said Section 4; thence along the East-West 1/4 line of said Section 4 South 85°47'57" West 2,718.96 feet to the center of said Section 4; thence along the North-South 1/4 line of said Section 4 North 02°26'44" West 1,874.51 feet to the North 1/4 corner of said Section 4; thence along the North line of said Section 4, also the South line of Section 33 Town 1 North, Range 6 East, Livingston County, North 86°59'55" East 860.03 feet; thence, leaving said North line South 02°41'27" West 700.00 feet; thence North 86°59'55" West 1,850.00 feet to a point on the East line of said Section 4; thence along said East line South 02°41'27" East 1,117.53 feet to the POINT OF BEGINNING.

CERTIFICATE OF SURVEY

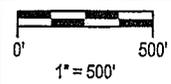
NE FRACTIONAL 1/4 OF SECTION 4,
T. 1 S., R. 6 E., NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CERTIFIED TO:
WASHTENAW COUNTY PARKS



NOTES:
BEARINGS BASED ON MICHIGAN STATE PLANE COORDINATES, SOUTH ZONE

We hereby certify that we have surveyed and mapped the land above platted and or described, and that the closure meets or exceeds a ratio of closure of 1/5000, or the positional accuracy of all property corners does not exceed 0.08 feet, and that this survey meets the requirements of P.A. Act 132 of 1970, as amended.



PREPARED FOR:
WASHTENAW COUNTY PARKS
P.O. Box 8645
Ann Arbor, MI 48107

DRAWN BY: RAR

CHECKED BY: KSW

JOB No.: WASP0080 SHEET 1 OF 2

KENNETH S. WILKERSON, P.S.
LICENSED PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 21584
DATE: 11/11/13



2365 HAGGERTY ROAD S.
CANTON, MICHIGAN 48188
TEL: (734) 397-3100
FAX: (734) 397-3131

www.MannikSmithGroup.com

11/13/2013 1:53:24 PM W:\refed\p\0808\WASP0080\CAD\BASE\WASP0080_MF_SV_LIPPERT.dwg

CERTIFICATE OF SURVEY

NE FRACTIONAL 1/4 OF SECTION 4,
T. 1 S., R. 6 E., NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CERTIFIED TO:

WASHTENAW COUNTY PARKS

PARENT PARCEL 'A':

THE FRACTIONAL NORTHEAST 1/4 OF SECTION 4, TOWN 1 SOUTH, RANGE 6 EAST, NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 4; THENCE ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 4 SOUTH 85°47'57" WEST 2718.96 FEET TO THE CENTER OF SAID SECTION 4; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 4 NORTH 02°26'44" WEST 1874.51 FEET TO THE NORTH 1/4 CORNER OF SAID SECTION 4; THENCE ALONG THE NORTH LINE OF SAID SECTION 4, ALSO THE SOUTH LINE OF SECTION 33, TOWN 1 NORTH, RANGE 6 EAST, LIVINGSTON COUNTY, NORTH 86°59'55" EAST 2710.03 FEET TO THE NORTHEAST CORNER OF SAID SECTION 4; THENCE ALONG THE EAST LINE OF SAID SECTION 4 SOUTH 02°41'27" EAST 1817.53 FEET TO THE POINT OF BEGINNING. CONTAINING 115.011 ACRES (GROSS) 113.634 ACRES (NET) MORE OR LESS. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EASTERLY 33 FEET THEREOF IN SPENCER ROAD. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PARCEL 'B'

PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWN 1 SOUTH, RANGE 6 EAST, NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 4; THENCE ALONG THE EAST LINE OF SAID SECTION 4 SOUTH 02°41'27" EAST 700.00 FEET; THENCE, LEAVING SAID EAST LINE, SOUTH 86°59'55" WEST 1850.00 FEET; THENCE NORTH 02°41'27" WEST 700.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 4; THENCE ALONG SAID NORTH LINE NORTH 86°59'55" EAST 1850.00 FEET TO THE POINT OF BEGINNING. CONTAINING 29.728 ACRES (GROSS) 29.198 ACRES (NET) MORE OR LESS. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EASTERLY 33 FEET THEREOF IN SPENCER ROAD. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

REMAINING PARCEL 'A':

PART OF THE NORTHEAST 1/4 OF SECTION 4, TOWN 1 SOUTH, RANGE 6 EAST, NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 4; THENCE ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 4 SOUTH 85°47'57" WEST 2718.96 FEET TO THE CENTER OF SAID SECTION 4; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 4 NORTH 02°26'44" WEST 1874.51 FEET TO THE NORTH 1/4 CORNER OF SAID SECTION 4; THENCE ALONG THE NORTH LINE OF SAID SECTION 4, ALSO THE SOUTH LINE OF SECTION 33, TOWN 1 NORTH, RANGE 6 EAST, LIVINGSTON COUNTY, NORTH 86°59'55" EAST 860.03 FEET; THENCE, LEAVING SAID NORTH LINE, SOUTH 02°41'27" WEST 700.00 FEET; THENCE NORTH 86°59'55" WEST 1850.00 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 4; THENCE ALONG SAID EAST LINE SOUTH 02°41'27" EAST 1117.53 TO THE POINT OF BEGINNING. CONTAINING 85.283 ACRES (GROSS) 84.436 ACRES (NET) MORE OR LESS. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE EASTERLY 33 FEET THEREOF IN SPENCER ROAD. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

WITNESSES

CENTER OF SECTION 4
FOUND 1/2" PIPE
COORDS. N=337249.30 E=13293988.89

E 1/4 CORNER SECTION 4
FOUND CONC MONUMENT
N85°E 21.80' FND PK NAIL S SIDE 10" TWIN ASH
S30°E 56.25' FND NAIL W SIDE 10" HICKORY
WEST 32.60' FND 1" IRON PIPE
N85°W 42.10' FND NAIL N SIDE 30" OAK
COORDS. N=337448.47 E=13296700.55

N 1/4 CORNER SECTION 4
WESTERLY WITNESS - FOUND REMON CAP
N50°W 94.15' SE CORNER BRICK BLDG.
NORTH 47.80' FND NAIL & TAG N SIDE 18" CHERRY
NORTH 1.60' E-W FENCE LINE
S10°W 17.61' FND NAIL & TAG E SIDE 12" ELM
S70°E 15.84' FND NAIL & TAG W SIDE 15" COTTONWOOD
COORDS. N=339065.68 E=13292832.64

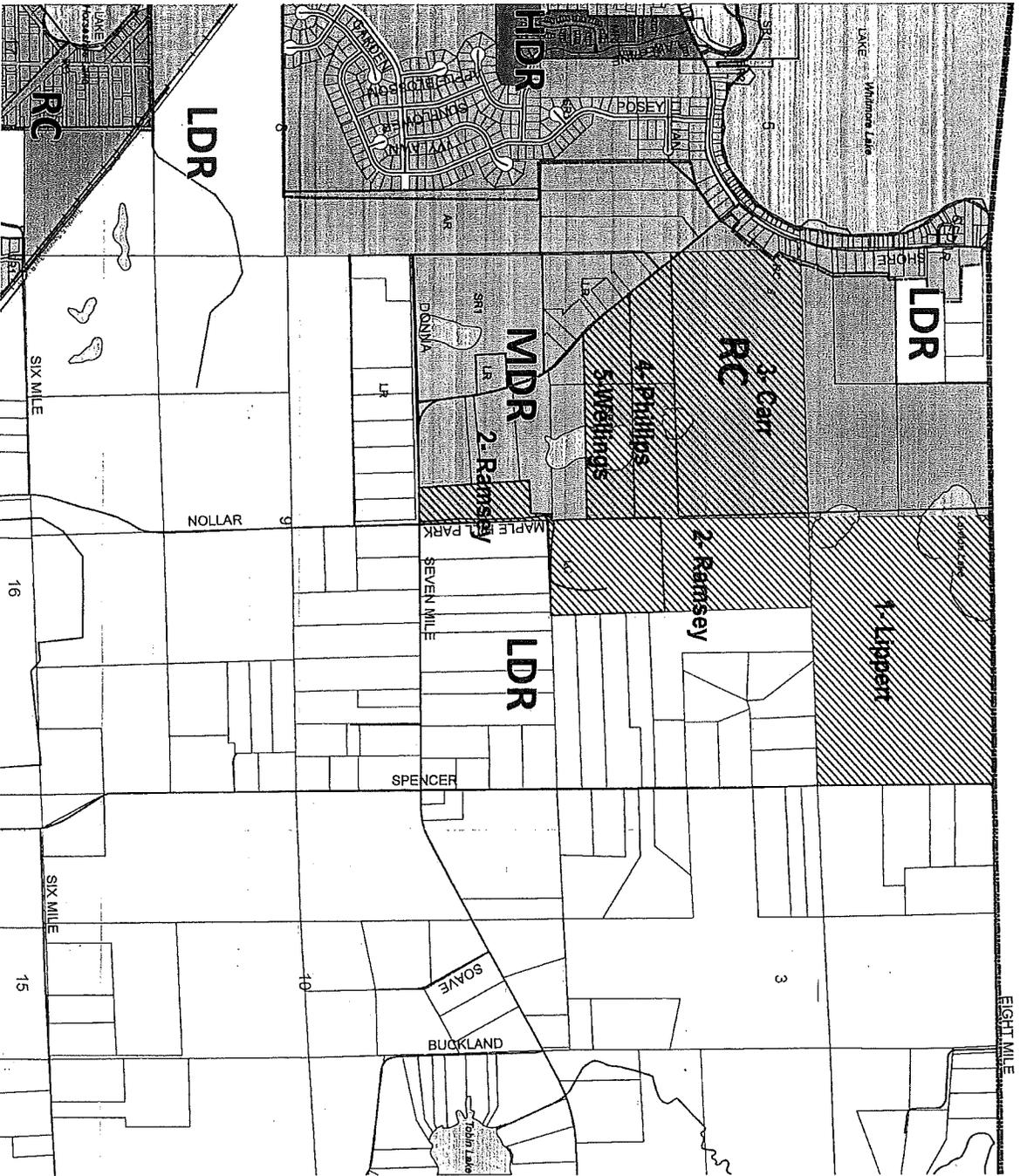
NE CORNER SECTION 4
FOUND IRON PIPE
EAST 99.04' SE CORNER SEC 33, T1N, R6E
WEST 1004.5' N 1/4 CORNER SEC 4 EASTERLY WITNESS
COORDS. N=339264.00 E=13296615.23

N 1/4 CORNER SECTION 4
EASTERLY WITNESS - FOUND REMON CAP
S45°W 4.57' FND NAIL N SIDE 10" WALNUT
N75°E 25.61' FND NAIL S SIDE 14" OAK
N75°W 26.13' FND NAIL S SIDE 24" COTTONWOOD
S10°E 33.14' FND NAIL W SIDE 15" COTTONWOOD
COORDS. N=339211.40 E=13295612.07

NOTE: COORDINATES SHOWN ARE STATE PLANE,
MICHIGAN SOUTH ZONE, NAD83/2011,
INTERNATIONAL FEET.

| | |
|--|---|
| | PREPARED FOR: WASHTENAW COUNTY PARKS P.O. Box 8645 Ann Arbor, MI 48107 |
| DRAWN BY: RAR | |
| CHECKED BY: KSW | JOB No.: WASP0080 SHEET 2 OF 2 |
| | 2365 HAGGERTY ROAD S. CANTON, MICHIGAN 48188 TEL: (734) 397-3100 FAX: (734) 397-3131 |
| www.MannikSmithGroup.com | |

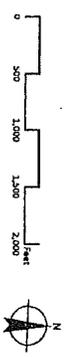
11/19/2013 4:50:39 PM
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- Legend**
- AG - Agricultural (5 Ac.)
 - LDR - Low Density Residential (2 Ac.)
 - MDR - Medium Density Residential (1/4 to 1 Ac.)
 - HDR - High Density Residential (6 to 14 Units/Ac. & Sewer)
 - MH - Manufactured Home
 - VC - Village Center - Mixed Use
 - MU - Mixed Use
 - HC - Highway Commercial
 - I - Industrial
 - RC - Recreation/Conservation
 - Sewer Boundary
 - Stream
 - Lake

**NAPP
Nominated
Properties
+ Future Land Use &
Zoning**

Northfield Township
Washtenaw County, Michigan



Topography Map



2011 Washenaw County

0 455.3 911.7 1,822.3 Feet

1: 10,640

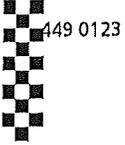
2/24/2013

Geographic Information System

NOTE: Parcels may not be to scale.

The information contained in this document is intended to be used for informational purposes only and is not intended to be used as a legal document. The information is provided as a service to the client and is subject to the accuracy of the data. Any assumptions or omissions of data are the responsibility of the user. This document is not a warranty or guarantee of any kind.

THIS MAP REPRESENTS PARCELS AT THE TIME OF PRINTING. THE OFFICIAL PARCEL TAX MAPS ARE MAINTAINED SOLELY BY THE WASHENAW COUNTY EVALUATION DEPARTMENT AND CAN BE OBTAINED BY CONTACTING THAT OFFICE AT 734-4541.



TOWNSHIP OF NORTHFIELD
County of Washtenaw, State of Michigan

Application for Re-zoning

DOCUMENTS REQUIRED WITH APPLICATION:

- IMPACT ASSESSMENT (Section 60.20)
- TRAFFIC IMPACT STUDY (Section 60.20, C)
- FEASIBILITY STUDY (Section 60.20, D)

Date: December 9, 2014

To the Northfield Township Board:

The applicant Washtenaw County Parks & Recreation Commission, whose post office address is 2230 Platt, PO Box 8645, Ann Arbor, MI 48107, and telephone number is 734-971-6337, respectfully requests that the Northfield Township Zoning Ordinance be amended to re-zone lands described as follows: (Legal or tax description)

The property sought to be re-zoned is located at: post office address or other designation 65.015 acres, vacant land, tax ID #B-02-04-400-003 and B-02-09-200-001,

The requested change is from the present zoning of residential ^{low & medium density} to the proposed zoning of recreation/conservation.

The property sought to be re-zoned is owned by applicant, whose post office address is listed above.

The applicant is interested in the property as (owner, purchaser, lessee, other) owner.

The reason for the proposed re-zoning is:

Property is to be used in conjunction with Natural Areas Preservation Program for passive recreation, conservation, and agricultural purposes only.

It is proposed that the buildings or improvements will be constructed thereon as follows:

Small parking area and some signage consistent with the Natural Areas Preservation Program

Application for Re-zoning
Page 2

We as the property owners grant n/a the right to
petition for a re-zoning.

We the undersigned do hereby certify the information set forth above is true and
accurate to the best of our knowledge:

Petitioner(s):

Washtenaw County Parks & Recreation Commission

Date: _____

Robert Tetens 12/9/2014
Robert Tetens, Director

Date: _____

Date: _____

Date: _____

Owner(s)

Date: _____

Date: _____

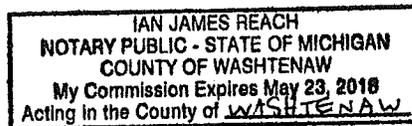
Date: _____

Date: _____

Purchaser(s)

Subscribed and sworn to before me on this 9th day of December 2014

Ian James Reach
Notary Ian James Reach
Washtenaw County, MI
Acting in Washtenaw County
My commission expires _____



The following documents are attached in conjunction with this application:

1. Copy of Deed reflecting ownership by Washtenaw County
2. Copy of Certificate of Survey describing parcel in question (Parcel A)
3. Copy of current zoning map regarding area in question
4. Location map showing subject matter parcel

L: 5015 P: 986 5182495 D

12/26/2013 02:17 P. Total Pages: 9

Lawrence Kestenbaum, Washtenaw Co



25/13

Receipt# 13-26848 6182495

12/26/2013 Washtenaw Co, Michigan

Real Estate Transfer Tax

Tax Stamp # 305386

County Tax: \$415.25 State Tax: \$2831.25



WARRANTY DEED

AMERICAN TITLE COMPANY OF WASHTENAW

The Grantor(s) Kenneth Ramsey and Sandra K. Ramsey, husband and wife as to an undivided 1/5 interest, and Dennis Ramsey and Jean A. Ramsey, husband and wife as to an undivided 1/5 interest, and Janice K. Ramsey, Trustee of the Janice K. Ramsey Revocable Living Trust dated December 27, 2012 as to an undivided 1/5 interest, and Judy Versluis as to an undivided 1/5 interest, and Michael J. Ley and Kathrine P. Ley, husband and wife as to an undivided 1/15 interest, and Jeffrey Ley, a single man as to an undivided 1/15 interest, and Deborah Ley as to an undivided 1/15 interest,

Convey(s) and Warrant(s) to Washtenaw County, a municipal corporation, whose address is 220 W. Main Street, Ann Arbor, MI 48104,

the following property located in the Township of Northfield, Washtenaw County, Michigan:

SEE LEGAL DESCRIPTION ATTACHED HERETO

(Address: 0 Seven Mile Road)

Parcel ID(s): B -02-04-400-003

B-02-09-200-001

for the sum of Three Hundred Seventy Seven Thousand Three Hundred Forty Seven and 06/100 (\$377,347.06) Dollars, subject to easements and building and use restrictions of record, and further subject to the lien of real property taxes not yet due and payable. This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan right to farm act. The grantor grants to the grantee the right to make all division(s) under Section 108 of the land division act, Act No. 288 of the Public Acts of 1967.

Dated: 12/16, 2013

WASHTENAW COUNTY TREASURER
TAX CERTIFICATE NO. 84862 AC



Time Submitted for Recording
Date 12-20-2013 Time 11:10 AM
Lawrence Kestenbaum
Washtenaw County Clerk/Register

1000610-3

Kenneth Ramsey
Kenneth Ramsey

Acknowledged before me in Washtenaw County, Michigan, on 12/18, 2013, by Kenneth Ramsey.

M G Ottaviani
Notary Public, Washtenaw County, MI
My Commission Expires: Jan. 31, 2014
Acting in Washtenaw County

[Signature]
_____, Notary Public
County, Michigan
My Commission Expires: _____
Acting in _____ County

Sandra K. Ramsey
Sandra K. Ramsey

Acknowledged before me in Washtenaw County, Michigan,
on 12/16, 2013, by Sandra K. Ramsey.

M G Ottaviani
Notary Public, Washtenaw County, MI
My Commission Expires: Jan. 31, 2014
Acting in Washtenaw County

X [Signature]
_____, (name), Notary Public
County, Michigan
My Commission Expires: _____
Acting in _____ County

Dennis Ramsey
Dennis Ramsey

Acknowledged before me in Washtenaw County, Michigan,
on December 10, 2013, by Dennis Ramsey.

MARY E. KENDALL
Notary Public, State of Michigan
County of Washtenaw
My Commission Expires Jun. 11, 2018
Acting in the County of Washtenaw

X Mary E. Kendall
Mary E. Kendall (name), Notary Public
Washtenaw County, Michigan
My Commission Expires: June 11, 2018
Acting in Washtenaw County

Jean A. Ramsey
Jean A. Ramsey

Acknowledged before me in Washtenaw County, Michigan,
on December 10, 2013, by Jean A. Ramsey.

MARY E. KENDALL
Notary Public, State of Michigan
County of Washtenaw
My Commission Expires Jun. 11, 2018
Acting in the County of Washtenaw

X Mary E. Kendall
Mary E. Kendall (name), Notary Public
Washtenaw County, Michigan
My Commission Expires: June 11, 2018
Acting in Washtenaw County

Janice K. Ramsey, Trustee of the Janice K. Ramsey Revocable Living Trust dated December 27, 2012

BY: Janice K. Ramsey
Janice K. Ramsey
Trustee

Acknowledged before me in Washtenaw County, Michigan,
on 12/16, 2013, by Janice K. Ramsey, Trustee of the Janice K. Ramsey Revocable Living
Trust dated December 27, 2012.

X [Signature]

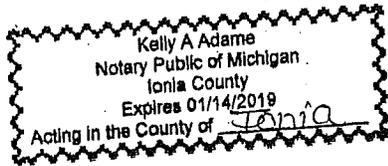
(name), Notary Public

County, Michigan
My Commission Expires: _____
Acting in _____ County

M G Ottaviani
Notary Public, Washtenaw County, MI
My Commission Expires: Jan. 31, 2014
Acting in Washtenaw County

Judy Versluis
Judy Versluis

Acknowledged before me in Tonia County, Michigan,
on Dec 10, 2013 by Judy Versluis.



x Kelly A. Adame
Kelly A Adame (name), Notary Public
Tonia County, Michigan
My Commission Expires: Jan 14, 2019
Acting in Tonia County

Michael J. Ley
Michael J. Ley

Acknowledged before me in Washtenaw County, Michigan,
on December 13, 2013, by Michael J. Ley.

MARY E. KENDALL
Notary Public, State of Michigan
County of Washtenaw
My Commission Expires Jun. 11, 2018
Acting in the County of Washtenaw

X Mary E. Kendall
Mary E. Kendall (name), Notary Public
Washtenaw County, Michigan
My Commission Expires: June 11, 2018
Acting in Washtenaw County

Kathrine P. Ley
Kathrine P. Ley

Acknowledged before me in Washtenaw County, Michigan,
on December 13, 2013, by Kathrine P. Ley.

MARY E. KENDALL
Notary Public, State of Michigan
County of Washtenaw
My Commission Expires Jun. 11, 2018
Acting in the County of Washtenaw

X Mary E. Kendall
Mary E. Kendall (name), Notary Public
Washtenaw County, Michigan
My Commission Expires: June 11, 2018
Acting in Washtenaw County

Jeffrey Ley
Jeffrey Ley

Acknowledged before me in Oakland County, Michigan,
on 10th of Dec, 2013, by Jeffrey Ley.

x [Signature]
Monza Faskin (name), Notary Public
Oakland County, Michigan
My Commission Expires: 07-16-2020
Acting in _____ County

Deborah Ley
Deborah Ley

Acknowledged before me in Oakland County, Michigan,
on 12-10, 2013, by Deborah Ley.

x Christine M Hembree
CHRISTINE M. HEMBREE (name), Notary Public
Lapeer County, Michigan
My Commission Expires: 11-14-16
Acting in Oakland County

CHRISTINE M HEMBREE
Notary Public, State of Michigan
County of Lapeer
My Commission Expires Nov. 14, 2016
Acting in the County of Oakland

Drafted by:
Michelle J. Taylor (P64926)
825 Victors Way, Suite 100
Ann Arbor, MI 48108
Recording fee: \$38.00
County transfer tax: \$415.25
State transfer tax: \$2,831.25
Total transfer tax: \$3,246.50

When recorded return to and send tax bills to:
Washtenaw County, a municipal corporation
220 W. Main Street
Ann Arbor, MI 48104

File # 102766/C. Ottaviani

File #: 102766

LEGAL DESCRIPTION

Land in the Township of Northfield, County of Washtenaw, Michigan, described as:

Parcel A:

A parcel of land situated in the Township of Northfield, Washtenaw County, Michigan, and is described as follows:

Part of the Northwest 1/4 of Section 9, Part of the Southwest 1/4 of Section 4 and part of the Southeast 1/4 of Section 4, Town 1 South, Range 6 East, Northfield Township, Washtenaw County, Michigan, said parcel is more particularly described as: Beginning at the South 1/4 corner of said Section 4 (also the North 1/4 corner of said Section 9); thence along the North-South 1/4 line of said Section 9 South 03°47'15" East 1,314.52 feet to a point on the centerline of 7 Mile Road (66 feet wide); thence along said centerline South 87°24'19" West 268.13 feet; thence South 87°00'37" West 106.27 feet; thence, leaving said road centerline, North 03°47'40" West 1,117.37 feet; thence North 85°57'34" East 314.47 feet; thence North 03°47'57" West 189.39 feet; thence North 02°27'27" West 50.06 feet; thence North 85°57'34" East 60.02 feet to a point on the North-South line of said Section 4; thence along said North-South line North 02°27'27" West 2,602.72 feet to the center of said Section 4; thence along the East-West line of Section 4 North 85°47'57" East 903.96 feet; thence South 02°27'27" East 2,653.82 feet to a point on the South line of said Section 4; thence along said South line South 85°48'17" West 903.96 feet to the POINT OF BEGINNING.

CERTIFICATE OF SURVEY

PART OF THE NW 1/4 OF SECTION 9, PART OF THE SW 1/4 OF SECTION 4 AND PART OF THE SE 1/4 OF SECTION 4, T. 1 S., R. 6 E., NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

CERTIFIED TO:

WASHTENAW COUNTY PARKS

PARCEL 'A':

A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF NORTHFIELD, WASHTENAW COUNTY, MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

PART OF THE NW 1/4 OF SECTION 9, PART OF THE SW 1/4 OF SECTION 4 AND PART OF THE SE 1/4 OF SECTION 4, T. 1 S., R. 6 E., NORTHFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, SAID PARCEL IS MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 4 (ALSO THE NORTH 1/4 CORNER OF SAID SECTION 9); THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 9 SOUTH 03°47'15" EAST 1314.52 FEET TO A POINT ON THE CENTERLINE OF 7 MILE ROAD (66 FEET WIDE); THENCE ALONG SAID CENTERLINE SOUTH 87°24'19" WEST 268.13 FEET; THENCE SOUTH 87°00'37" WEST 106.27 FEET; THENCE, LEAVING SAID ROAD CENTERLINE, NORTH 03°47'40" WEST 1117.37 FEET; THENCE NORTH 85°57'34" EAST 314.47; THENCE NORTH 03°47'57" WEST 189.39 FEET; THENCE NORTH 02°27'27" WEST 50.06 FEET; THENCE NORTH 85°57'34" EAST 60.02 FEET TO A POINT ON THE NORTH-SOUTH LINE OF SAID SECTION 4; THENCE ALONG SAID NORTH-SOUTH LINE NORTH 02°27'27" WEST 2602.72 FEET TO THE CENTER OF SAID SECTION 4; THENCE ALONG THE EAST-WEST LINE OF SECTION 4 NORTH 85°47'57" EAST 903.96 FEET; THENCE SOUTH 02°27'27" EAST 2653.82 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 4; THENCE ALONG SAID SOUTH LINE SOUTH 85°48'17" WEST 903.96 FEET TO THE POINT OF BEGINNING. CONTAINING 65.015 ACRES (GROSS) 64.731 ACRES (NET) MORE OR LESS. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHERLY 33 FEET THEREOF IN 7 MILE ROAD AND RESTRICTIONS OR EASEMENTS OF RECORD.

REFERENCES

WASHTENAW COUNTY ROAD COMMISSION, JOB No. 10899, DATED 25 APRIL 80.
BOSS ENGINEERING, JOB No. 03390-1, DATED 09-13-03

WITNESSES

CENTER OF SECTION 4
FOUND 1/2" PIPE
COORDS. N=337249.30 E=13293988.89

S 1/4 CORNER SECTION 4
N 1/4 CORNER SECTION 9
FOUND 1/2" PIPE AT FENCE CORNER
N70°E 26.25' 1/2" PIPE
N 80°E 9.40' FND NAIL N SIDE 8" CEDAR
S15°W 9.70' FND NAIL & TAG W SIDE 30" HICKORY
WEST 9.65' FND NAIL N SIDE 18" TREE
COORDS. N=339065.68 E=13292832.64

SE CORNER SECTION 4
NE CORNER SECTION 9
FOUND 3/4" PIPE
N25°E 61.30' FND NAIL W SIDE 36" OAK
S20°E 110.80' FND NAIL W SIDE 24" OAK
N50°W 35.00' FND PK NAIL N SIDE POWER POLE
COORDS. N=334796.69 E=13296811.28

CENTER OF SECTION 9
FOUND 1/2" PIPE
COORDS. N=331981.42 E=13294276.22

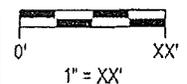
E 1/4 CORNER SECTION 4
FOUND CONC MONUMENT
N85°E 21.80' FND PK NAIL S SIDE 10" TWIN ASH
S30°E 56.25' FND NAIL W SIDE 10" HICKORY
WEST 32.60' FND 1" IRON PIPE
N85°W 42.10' FND NAIL N SIDE 30" OAK
COORDS. N=337448.47 E=13296700.65

W 1/4 CORNER SECTION 4
FOUND 3/4" IRON PIPE
N45°W 13.83' SW HOUSE CORNER
N40°E 11.89' SW CORNER BRICK CHIMNEY
COORDS. N=337050.69 E=13291284.14

SW CORNER SECTION 4
NW CORNER SECTION 9
FOUND 1" IRON PIPE
N50E 30.35' SET MAG NAIL N SIDE 8" TRIPLE MAPLE
EAST 49.10' FND NAIL N SIDE 30" OAK
S30°E 53.15' FND NAIL N SIDE 12" HICKORY
COORDS. N=334409.67 E=13291436.54

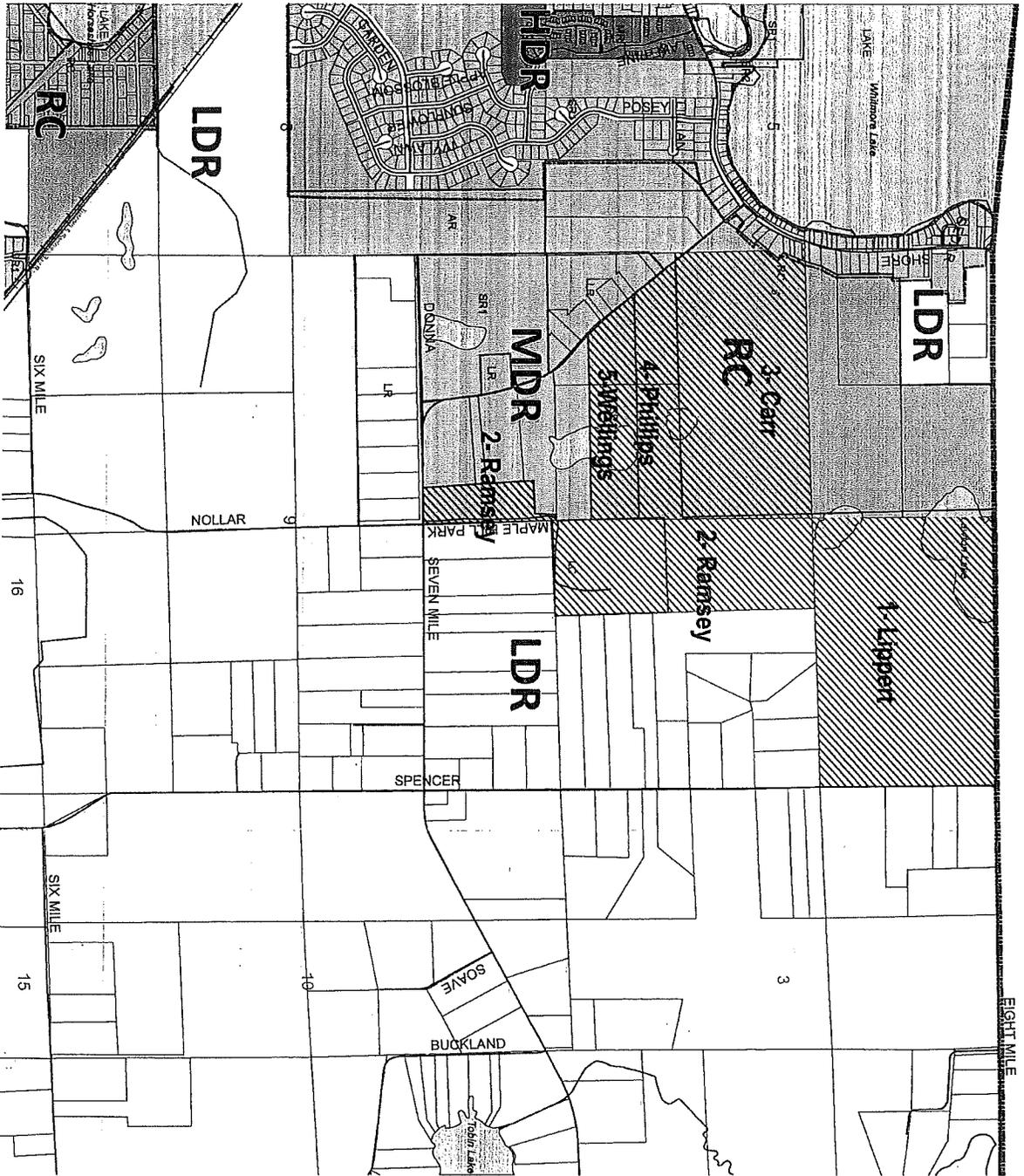
11/22/2013 2:02:14 PM \\P:\Projects\11211\AS\PROJ\CD\DRAWINGS\AS\SP0001.DWG BY: RUV:SETJ.dwt

NOTE: COORDINATES SHOWN ARE STATE PLANE,
MICHIGAN SOUTH ZONE, NAD83/2011,
INTERNATIONAL FEET.

| | |
|--|--|
|  | PREPARED FOR: WASHTENAW COUNTY PARKS P.O. Box 8645 Ann Arbor, MI 48107 |
| DRAWN BY: RAR | |
| CHECKED BY: KSW | JOB No.: WASP0080 |
| SHEET 2 OF 2 | |



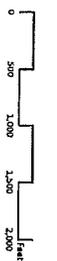
2365 HAGGERTY ROAD S.
CANTON, MICHIGAN 48188
TEL: (734) 397-3100
FAX: (734) 397-3131



- Legend**
- AG - Agricultural (5 Ac.)
 - LDR - Low Density Residential (2 Ac.)
 - MDR - Medium Density Residential (1/4 to 1 Ac.)
 - HDR - High Density Residential (6 to 14 Units/Ac. & Sewer)
 - MH - Manufactured Home
 - VC - Village Center - Mixed Use
 - MU - Mixed Use
 - HC - Highway Commercial
 - I - Industrial
 - RC - Recreation/Conservation
 - Sewer Boundary
 - Stream
 - Lake

**NAPP
Nominated
Properties
+ Future Land Use &
Zoning**

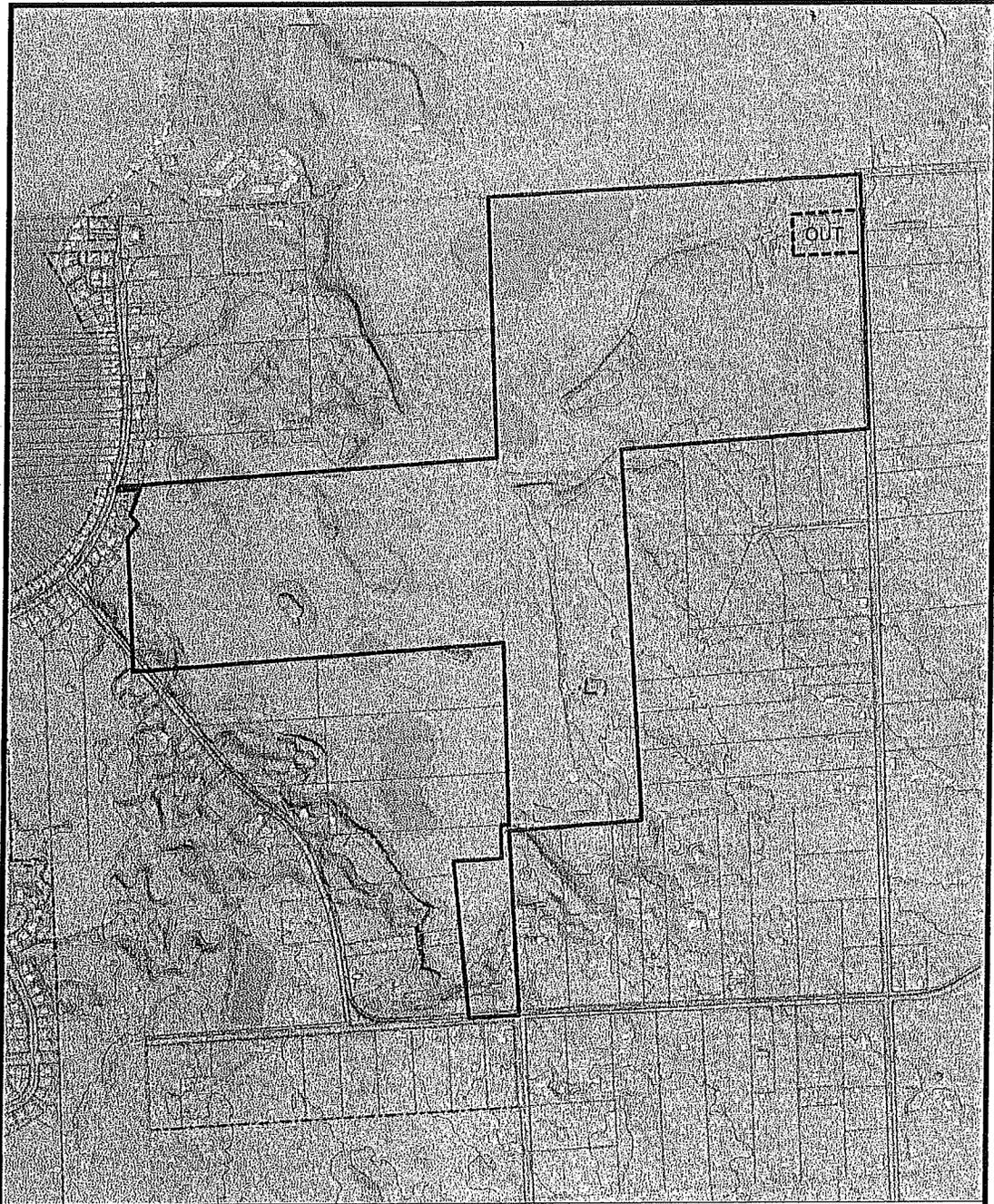
Northfield Township
Washtenaw County, Michigan



7-24-2012
Cartelle/Wortman Associates, Inc.
Ann Arbor, Michigan



Topography Map



© 2011 Washtenaw County

2/24/2013

0 455.83 911.7 1,823.3 Feet

1:10,940

NOTE: Parcels may not be to scale.

The information contained in this cadastral map is used to locate, identify and inventory parcels of land in Washtenaw County for appraisal and taxing purposes only and is not to be construed as "any development". The information is provided with the understanding that the cadastral data from such information are solely the responsibility of the user. Any assumption of legal status of the data is hereby disclaimed.

Geographic Information System

THIS MAP REPRESENTS PARCELS AT THE TIME OF PRINTING. THE OFFICIAL PARCEL TAX MAPS ARE MAINTAINED SOLELY BY THE WASHTENAW COUNTY EQUALIZATION DEPARTMENT AND CAN BE OBTAINED BY CONTACTING THAT OFFICE AT 734-222-6662.

Northfield Township

Site Plan Review

Applicant: Damrath Group, LLC
143 CadyCentre #151
Northville, MI
248-880-2158

Project: Nowatzke Truck & Trailer, Inc. Fuel Center

Address: 6900 Whitmore Lake Road

Date: November 11, 2015

Request: Site Plan Amendment

Recommendation: **Denial**

PROJECT AND SITE DESCRIPTION

Zoning designation: GC, General Commercial
WLNT Overlay District (advisory)

Permitted Use: Automotive Service Station, including minor repair services, is a conditional use in this district. The applicant received a recommendation of Planning Commission approval for the conditional use request, and conditional use approval by the Township Board on September 23, 2014, with conditions.

The applicant is returning before the Planning Commission to amend a site plan approved on April 15, 2015. The application states the applicant's intent to:

1. Keep one of the four signs marked for removal on the approved plan set. Reason: Error on approved site plan.

It has been determined by staff that this item is not eligible for Planning Commission review, as the request does not meet the ordinance standards. Applicant is working with the Zoning Administrator and may appeal to the Zoning Board for a variance.

2. Eliminate the proposed 8' cedar screening fence between the subject property and its neighbor, Tractor Supply, and leave existing the chain link fence. Reason: Applicant claims the fence was requested to screen outdoor storage which has since been removed.

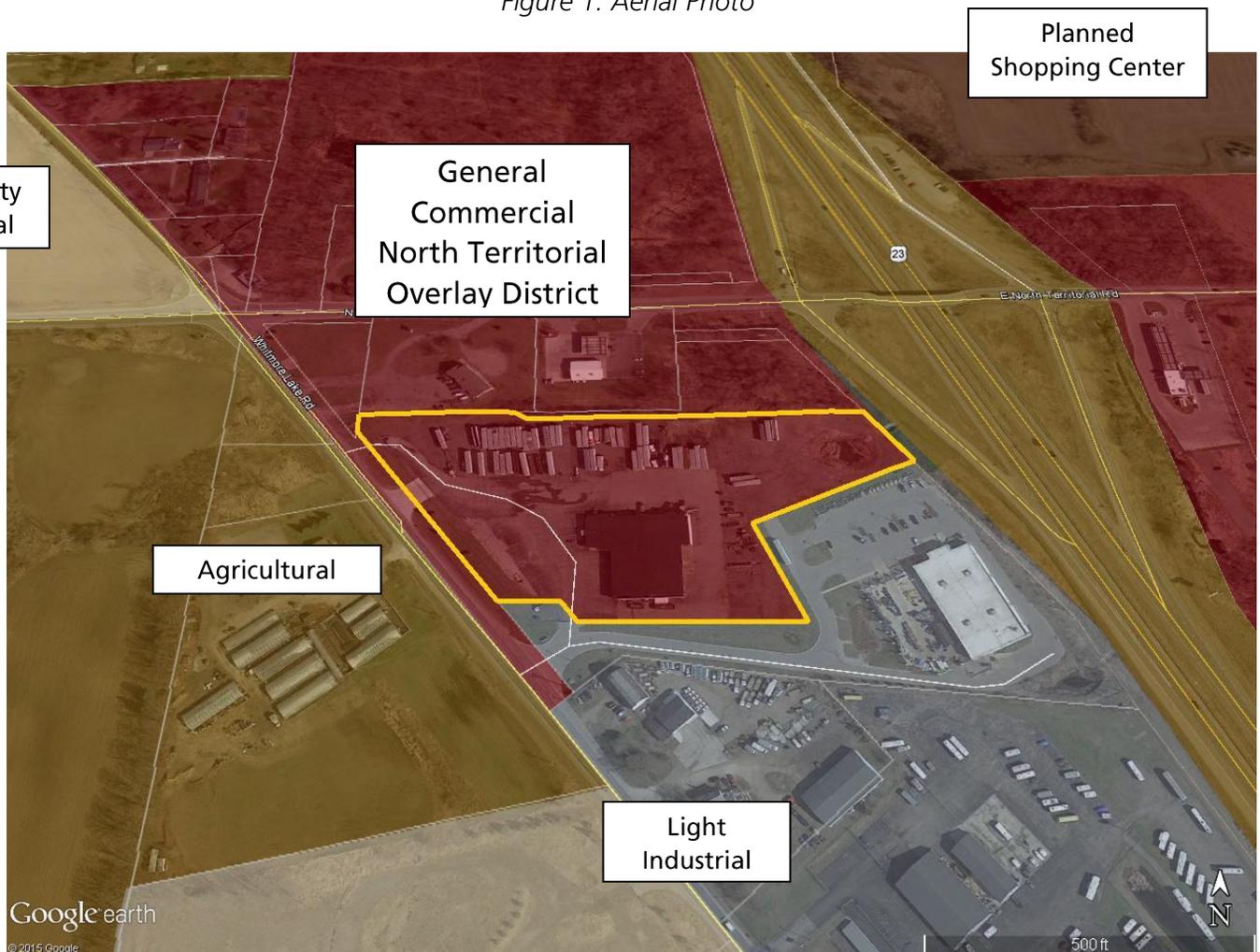
This request is the subject of this report.

3. Adjust the truck path exiting the site. Reason: To increase the distance between path and non-paved trailer parking area.

This change is subject to engineering review. Applicant is working with OHM Advisors to complete it administratively.

These are the only items for which the amended site plan has been reviewed at this time. It is assumed that all other conditions represented on the site plan approved April 15, 2015 remain unchanged and that these conditions remain binding on the applicant.

Figure 1: Aerial Photo



MASTER PLAN CONSIDERATIONS

Future Land Use Designation: Mixed Use

| | |
|-----------------------------------|--|
| <i>Most Compatible Land Uses:</i> | Neighborhood commercial Service Office Multiple-family residential “Any use which requires the need for outdoor storage is not compatible with the Mixed Use designation as described” |
| <i>Sub-Area:</i> | Central (4) |
| <i>Development Strategies:</i> | Allow for appropriate commercial and industrial uses adjacent to US-23 and along N. Territorial between Whitmore Lake and Nollar Roads Develop non-motorized transportation to connect parks, Township facilities, and adjacent communities through an interconnected system of trails along major roads |
| <i>Design Guidelines:</i> | Carefully site entrance drives and subdivision entrances Promote shared drives and parking areas Screen parking with knee walls, decorative fences, and landscaping Encourage the provision of community design features with pedestrian amenities such as plazas or community gathering spaces |

DIMENSIONAL STANDARDS

The proposed changes do not alter the dimensions of the project. Therefore, compliance with the dimensional standards of the GC district as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

NATURAL FEATURES AND RESOURCES

The proposed changes do not affect the site’s natural features or resources. Therefore, compliance with the environmental standards of the GC district as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

BUILDING LOCATION AND SITE ARRANGEMENT

The proposed changes do not affect the site's building location or site arrangement, as the proposed road relocation is addressed under Circulation. Therefore, compliance with the site standards of the GC district as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

PARKING AND LOADING

The proposed changes do not affect the site's parking requirements. Therefore, compliance with the parking standards of the GC district as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

SITE ACCESS AND CIRCULATION

The proposed alteration to an approved vehicular route is subject to engineering review.

Items to be addressed

- Receive administrative approval for the proposed alteration to the approved vehicular route.

LANDSCAPING

A separate landscape plan is required to demonstrate that existing landscape material meets current standards. A signed and sealed landscape plan dated 5-15-2015 has been provided as part of the submitted plan set.

Sheet C-200 of the previous approved site plan (4-15-2015) shows approximately 543 linear feet of chain link fence (328 LF at the south property line and 213 LF at the east property line) to be replaced with an 8' high cedar fence. Sheet C-100 of the resubmitted site plan (12-16-2015), Demolition and Erosion Control, shows but does not call out the existing chain link fence on the southwest corner of the site. Sheet C-200 of the resubmitted site plan calls out the fence and notes "new landscaping – see sheet L-100" at this location. Sheet L-100 of the provided plan set is dated 5-15-15, and shows faintly, but does not call out, the chain link fence at the southwest corner. The applicant has confirmed via email that the intent is to retain the chain link fence.

There is also some confusion regarding the planting plan on Sheet L-100. The version included with the Planning Commission's packet for 4-15-2015, the previous approval, is dated 12-15-2014. However, the staff report accompanying that submittal references three completed changes which are not shown on

that sheet (addition of 5 Armstrong Maple along Whitmore Lake Road; addition of native plantings in detention basin; 4 spruce trees along US-23).

Sheet L-100, received with this submittal and dated 5-15-15, shows the changes noted above and lists an intermediary revision on 3-10-2015. In addition to the cited changes, 4 Cleveland Pear have been removed from the landscape plan in the same area as the chain link fence that is now proposed to remain; no comment about this change appears in the previous staff report.

The Planning Commission has some discretion with regard to landscape requirements. §36-722 (m) states:

“The planning commission may require more or larger landscaped areas, or more plant materials, or any combination thereof, than required in this section, if, as a result of the commission's findings, the nature or concept of the proposed development, relation to existing natural features, or relation to neighboring properties indicate a need for such additional landscaping.”

Although the previous review cites the zoning district as simply GC, the approval of the site plan on April 15, 2015 postdates the adoption of the Whitmore Lake / North Territorial Overlay District on January 13, 2015 (Northfield Township website). For this reason, it is recommended that the Planning Commission consider the purpose and desired character of this district when exercising its discretion.

The Planning Commission also has discretion with regard to approval of any amendment to an approved site plan. Because this approval is negotiated as a package, that package represents the standard against which the request shall be measured—not solely the ordinance as written. In the applicant’s request for this amendment, he suggests that conditions have fundamentally changed on the site, stating that the fence was requested by the Zoning Administrator to screen outside equipment and that these items have since been removed from the exterior yard. It is up to the members of the Planning Commission to decide if this statement constitutes a sufficient change in site conditions to alter its agreed-upon requirements. Because the applicant specifically cited the Zoning Administrator’s position in his request, and with the permission of the Zoning Administrator, this report includes the following correspondence between the Zoning Administrator to the Applicant via email:

Applicant, 11-24-2015:

The next item: the fence:

When you were here and we walked out back, you said I had to get the material outside in the building or put a security fence up. JD Damrath and I didn't communicate this well, because he instead added a new fence on the site plan, while I was arranging everything outside to be moved inside to the two bays. I want the fence eliminated from the project since I complied with your original instructions on moving the items inside.

Zoning Administrator, 11-29-2015:

As for the fence; I agree that most of the outside storage that was there when I inspected before going to planning commission has been moved from along the drive to tractor supply, but it appears that area now has all the trailers that used be along the fence on the north side. If I was a planning commissioner, I would want the fence there not because the ordinance officer said you

needed it, but because the storage you have out there now is not any more attractive than the previous junk, and the odds are the old junk will end up back out there in the future. But that is their call.

Items to be addressed

- Provide Landscape Plan Revision dated 3-15-2015

LIGHTING

The proposed changes do not affect the site's lighting. Therefore, compliance with the lighting standards of the GC district as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

SIGNS

Six signs are listed on Sheet C-100, Demolition and Erosion. Four signs oriented toward the interior of the site are shown as To Be Removed. One sign oriented toward the interior of the site and one sign oriented toward US-23 are shown as existing features to remain.

The proposed site plan on Sheet C-200 includes a new sign facing Whitmore Lake Road and references Sheet C-504. The new proposed sign meets area (80 sf) and height (15 ft) standards as shown on Sheet AG-100.

The two retained signs are also depicted on the proposed site plan, but no details have been provided. §36-793(3) states:

“One freestanding identification sign may be erected for an individual lot, or group of lots developed as one lot, when not provided for by subsections (a)(4) and (a)(5) of this section, following, and shall not exceed 36 square feet in area for offices and eighty (80) square feet in area for other uses. If the lot fronts on more than one street, the total permitted sign area may be divided among two or more such signs, provided, however, that the maximum permitted sign area shall not be exceeded.”

Under this Section, the two existing signs must be removed in order to allow the new sign. If the applicant wishes to retain either of the two existing signs instead of installing the new sign, details must be provided to determine compliance.

Items to be addressed

- Reduce proposed signage to one sign that meets the dimensional standards of §36-793

FLOOR PLAN AND ELEVATIONS

The proposed changes do not affect the site's floor plan or elevations. Therefore, compliance with these standards as noted in the review associated with the April 15 approval is assumed to remain intact.

Items to be addressed

None

VARIANCES

None required.

RECOMMENDATIONS

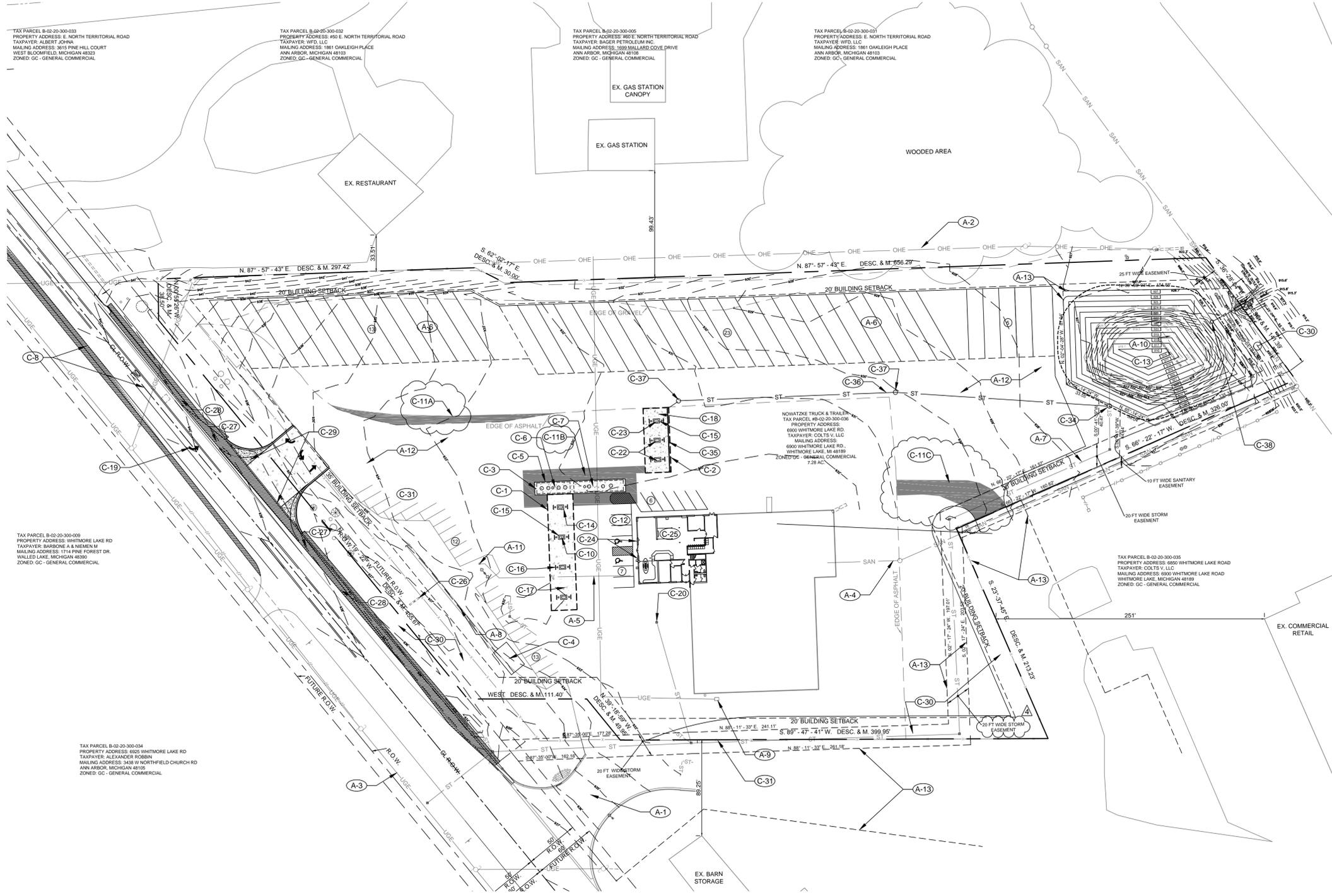
Recommend that the Planning Commission move to **deny** the applicant's request to amend the site plan approved April 15, 2015 to remove a proposed 8' screening fence on the southeast corner of the site. The fence will remain required.

Findings:

The proposed plan does not provide sufficient justification for removal of the fence from the approved site plan.

The Applicant shall work with the Engineer to secure administrative approval for the proposed alteration to the approved vehicular route.

The Applicant shall comply with all applicable provisions of the Township Sign Ordinance.



| EXISTING | | PROPOSED | |
|----------|--------------------------|----------|--------------------------|
| W | CURB & GUTTER | W | CURB & GUTTER |
| SAN | SANITARY SEWER | SAN | SANITARY SEWER |
| G | GAS LINE | G | GAS LINE |
| UGE | UNDERGROUND ELECTRIC | UGE | UNDERGROUND ELECTRIC |
| OHE | OVERHEAD ELECTRIC | OHE | OVERHEAD ELECTRIC |
| A | AIR LINE | A | AIR LINE |
| UT | UNDERGROUND TELEPHONE | UT | UNDERGROUND TELEPHONE |
| OHT | OVERHEAD TELEPHONE | OHT | OVERHEAD TELEPHONE |
| ST | STORM SEWER | ST | STORM SEWER |
| SL | SETBACK LINE | SL | SETBACK LINE |
| MH | MANHOLE | MH | MANHOLE |
| CB | CATCH BASIN | CB | CATCH BASIN |
| YL | YARDAREA LIGHT | YL | YARDAREA LIGHT |
| PP | U.G. ELECTRIC CONDUIT | PP | U.G. ELECTRIC CONDUIT |
| PP | POWER POLE | PP | POWER POLE |
| FH | FIRE HYDRANT | FH | FIRE HYDRANT |
| TR | TELEPHONE RISER | TR | TELEPHONE RISER |
| TMH | TELEPHONE MANHOLE | TMH | TELEPHONE MANHOLE |
| LP | LIGHT POLE | LP | LIGHT POLE |
| VL | STUFF OFF VALVE | VL | STUFF OFF VALVE |
| TR | ELECTRIC METER | TR | ELECTRIC METER |
| GM | GAS METER | GM | GAS METER |
| GV | GATE VALVE | GV | GATE VALVE |
| YB | YARD BASIN | YB | YARD BASIN |
| CO | CLEAN OUT | CO | CLEAN OUT |
| CO | CLEAN OUT WITH CONC. | CO | CLEAN OUT WITH CONC. |
| EW | EDGE OF WOODS | EW | EDGE OF WOODS/BRUSH |
| ED | EDGE OF BRUSH | ED | EDGE OF BRUSH |
| CT | CONIFER TREE/SHRUB | CT | CONIFER TREE/SHRUB |
| CD | DECIDUOUS TREE/SHRUB | CD | DECIDUOUS TREE/SHRUB |
| ELEV | EXISTING SPOT ELEVATIONS | ELEV | PROPOSED SPOT ELEVATIONS |
| CONTOUR | CONTOUR LINES | CONTOUR | CONTOUR LINES |
| | | TR | TO REMAIN |
| | | TBR | TO BE REMOVED |
| | | --- | LIMITS OF WORK |
| | | --- | SAWCUT |

NOTES TO GENERAL CONTRACTOR

- UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATION/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFORMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
- SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.
- NO EXPANSION OF IMPERVIOUS AREA WITHIN THE PROPERTY BOUNDARY IS MADE PART OF THIS PROJECT.
- DETENTION POND SHALL BE ENLARGED BY 11,246 C.F. TO IMPROVE CAPACITY.
- SITE SHALL CONTINUE TO UTILIZE EXISTING WATER AND SANITARY SYSTEMS IN PLACE.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.

SITE PLAN
SCALE: 1" = 50'-0"

SCOPE OF WORK

- | | |
|---|--|
| <p>A - EXISTING SITE FEATURES TO REMAIN</p> <ul style="list-style-type: none"> (A-1) ENTRANCE TO REMAIN (A-2) OVERHEAD ELECTRIC (TYP.) (A-3) UNDERGROUND ELECTRIC (TYP.) (A-4) SANITARY LINE (TYP.) (A-5) WATER LINE (TYP.) (A-6) TRAILER STORAGE (A-7) STORM SEWER (TYP.) (A-8) ROCK WALL (A-9) TRANSFORMER (A-10) DETENTION POND (A-11) WELL (A-12) EXISTING DRIVE TO REMAIN (A-13) EASEMENTS (SEE DAVID C. ADAMS & SON SURVEY NO. 19933 DATED 9/18/14) | <p>C - PROPOSED SITE IMPROVEMENTS</p> <ul style="list-style-type: none"> (C-1) 24.00' X 108.00' CANOPY (2,592 S.F.), COLUMNS AND FOOTINGS. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A-101 (C-2) 24.00' X 60.00' CANOPY (1,440 S.F.), COLUMNS AND FOOTINGS. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A-101 (C-3) 6" MONITORING WELL (C-4) RELOCATED PROPANE TANK (C-5) 12 FT X 85 FT X 8" CONCRETE TANK MAT (SEE TANK DETAIL SHEET) (C-6) 20,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK, 4,000 GALLONS PREMIUM/16,000 REGULAR (SEE TANK DETAIL SHEET) (C-7) 30,000 GALLON DOUBLE-WALL UNDERGROUND DIESEL STORAGE TANK (SEE TANK DETAIL SHEET) (C-8) WIDEN ROAD AND ADD LEFT TURN LANE. (SEE SHEET C-501) (C-9) GASOLINE DISPENSER WITH CARD READER (SEE DISPENSE AND PIPING DETAILS SHEET) (C-10) AUTOMOBILE MULTI-PRODUCT DISPENSER (3+1 GASOLINE/DIESEL) (SEE DISPENSER AND PIPING DETAILS SHEET) (C-11) HEAVY DUTY BITUMINOUS PAVEMENT C-11A = 1,286 SF, C-11B = 2,473 SF, C-11C = 1,955 SF TOTAL = 5,714 SF, SEE SHEET C-300 & C-301 (C-12) ACCESS TO THE CONVENIENCE STORE MUST MEET ALL APPLICABLE ADA REQUIREMENTS REGARDING VAN ACCESSIBLE PARKING SPACES AND DEDICATED ACCESS WAYS INTO THE BUILDING (C-13) EXCAVATE, REMOVE, LEGALLY DISPOSE OF APPROXIMATELY 417 CUBIC YARDS FROM DETENTION POND (SEE SHEET C-301) PLANT NATIVE WETLAND PLANTINGS WITHIN DETENTION BASIN AREA (SEE LANDSCAPE PLAN) (C-14) TANK VENT RISER (SEE DISPENSER AND PIPING DETAILS SHEET) (C-15) 4.00' X 6.00' DISPENSER ISLAND TYP 7 PLACES (SEE DISPENSER AND PIPING DETAILS SHEET) (C-16) U-SHAPED BOLLARD AT CANOPY COLUMNS (SEE DISPENSER AND PIPING DETAILS SHEET) (C-17) 24 FT X 108 FT X 6" CONCRETE CANOPY MAT (SEE PAVEMENT DETAIL SHEET) (C-18) 24 FT X 60 FT X 8" CONCRETE CANOPY MAT (SEE PAVEMENT DETAIL SHEET) (C-19) DIRECTIONAL PAVEMENT "LEFT TURN" MARKINGS. (SEE SHEET C-502) (C-20) INSTALL INLET FILTERS (SEE DETAIL 1 ON SHEET C-500) (C-21) DIMENSION CONTROL POINT. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE NORTH/SOUTH PROPERTY LINE ON EAST SIDE OF THE SITE UNLESS OTHERWISE STATED. (C-22) MASTER/SATELLITE DISPENSER (C-23) DUAL MASTER DISPENSER (C-24) POST MOUNTED VAN ACCESSIBLE PARKING SIGN (C-25) CONVERT APPROX. 2,285 S.F. OF EXISTING BLDG INTO NEW CONVENIENCE STORE (C-26) NEW ID SIGN (SEE SHEET C-504) (C-27) INSTALL NEW TAPERS (SEE SHEET C-501) (C-28) WIDEN PAVEMENT AND SHOULDER PER SHEET C-501 (C-29) REWORK EXISTING DRIVEWAY PER MDOT DETAIL "M" (SEE SHEET C-505) (C-30) NEW LANDSCAPING (SEE SHEET L-100) (C-31) EMPLOYEE PARKING (12 SPACES) (C-32) NOT USED (C-33) NOT USED (C-34) STORMWATER TREATMENT STRUCTURE. SEE DETAIL 1 ON SHEET C-507 (C-35) 58 LF SLOTTED DRAIN (SEE SHEET C-506) (C-36) STORM SEWER (SEE SHEETS C-300, C-301 AND C-400) (C-37) 48" DIA. TYPE "B" CATCH BASIN PER DETAIL 2/C-507 (C-38) MODIFY POND RISER IN PLACE PER DETAIL ON SHEET C-302 |
|---|--|

DAMRATH GROUP
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6900 Whitmore Lake Rd., Whitmore Lake, MI 48189
(734) 995-9600

NOVATZKE TRUCK & TRAILER, INC.
6900 WHITMORE LAKE RD
WHITMORE LAKE, MI 48189
(734) 995-9600

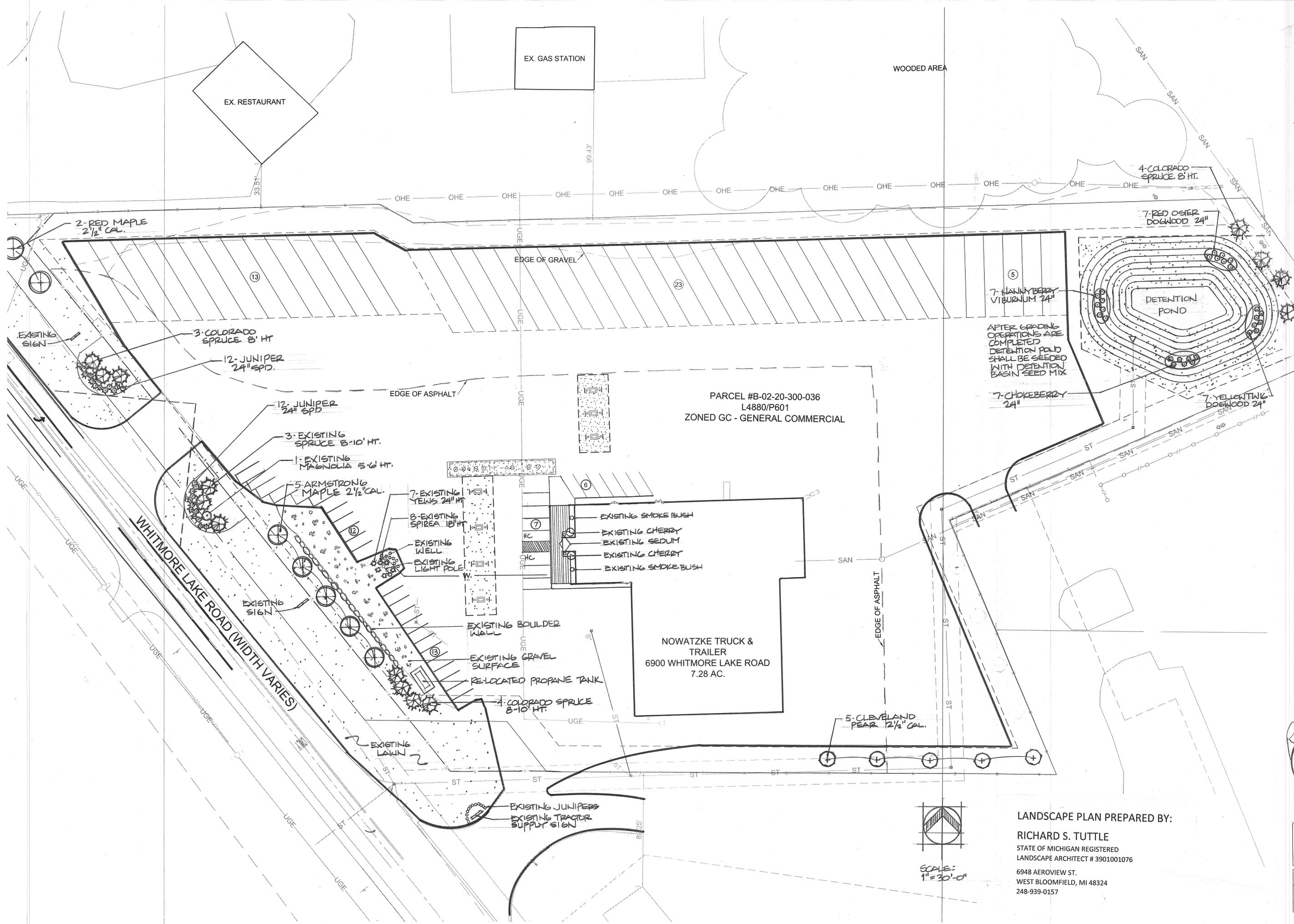
| REV | DATE | DESCRIPTION |
|-----|----------|-------------------------------|
| 4 | 03/08/15 | REVIEW COMMENTS |
| 5 | 04/01/15 | W/C/R/C SOIL EROSION COMMENTS |
| 6 | 05/09/15 | FINAL ENGINEERING |
| 7 | 07/14/15 | ENGINEERING COMMENTS |
| 8 | 07/29/15 | ENGINEERING COMMENTS |
| 9 | 08/06/15 | ENGINEERING COMMENTS |
| 10 | 08/14/15 | ENGINEERING COMMENTS |
| 11 | 08/24/15 | ENGINEERING COMMENTS |
| 12 | 11/05/15 | PLANNING COMMISSION CHANGES |



DATE: 12/31/14
PROJECT NO.: 000000
DESIGNED BY: JD
DRAWN BY: BH
CHECKED BY: JD

SITE PLAN
SHEET NO. **C-200**





PARCEL #B-02-20-300-036
L4880/P601
ZONED GC - GENERAL COMMERCIAL

NOWATZKE TRUCK & TRAILER
6900 WHITMORE LAKE ROAD
7.28 AC.

AFTER GRADING OPERATIONS ARE COMPLETED DETENTION POND SHALL BE SEEDED WITH DETENTION BASIN SEED MIX



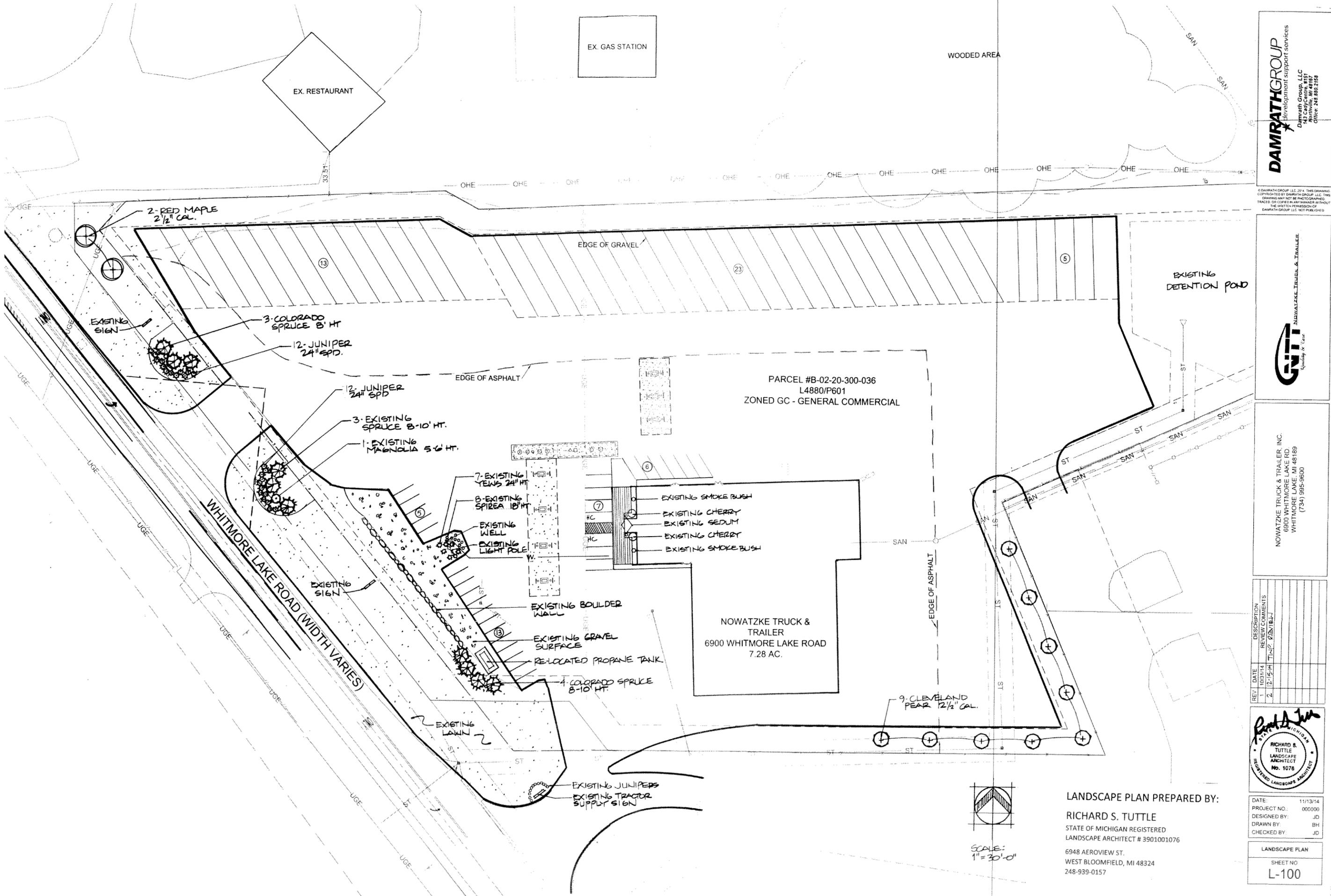
SCALE:
1" = 30'-0"

LANDSCAPE PLAN PREPARED BY:
RICHARD S. TUTTLE
STATE OF MICHIGAN REGISTERED
LANDSCAPE ARCHITECT # 3901001076
6948 AEROVIEW ST.
WEST BLOOMFIELD, MI 48324
248-939-0157

| REV | DATE | DESCRIPTION |
|-----|----------|-----------------|
| 1 | 10/31/14 | REVIEW COMMENTS |
| 2 | 12-15-14 | TMP. DESIG. |
| 3 | 3-10-15 | FINAL REVIEW |
| 4 | 5-15-15 | TMP. REVIEW |



| | |
|--------------|----------|
| DATE: | 11/13/14 |
| PROJECT NO.: | 000000 |
| DESIGNED BY: | JD |
| DRAWN BY: | BH |
| CHECKED BY: | JD |



EX. GAS STATION

EX. RESTAURANT

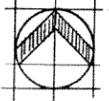
WOODED AREA

PARCEL #B-02-20-300-036
L4880/P601
ZONED GC - GENERAL COMMERCIAL

NOWATZKE TRUCK & TRAILER
6900 WHITMORE LAKE ROAD
7.28 AC.

EXISTING DETENTION POND

WHITMORE LAKE ROAD (WIDTH VARIES)



SCALE:
1" = 30'-0"

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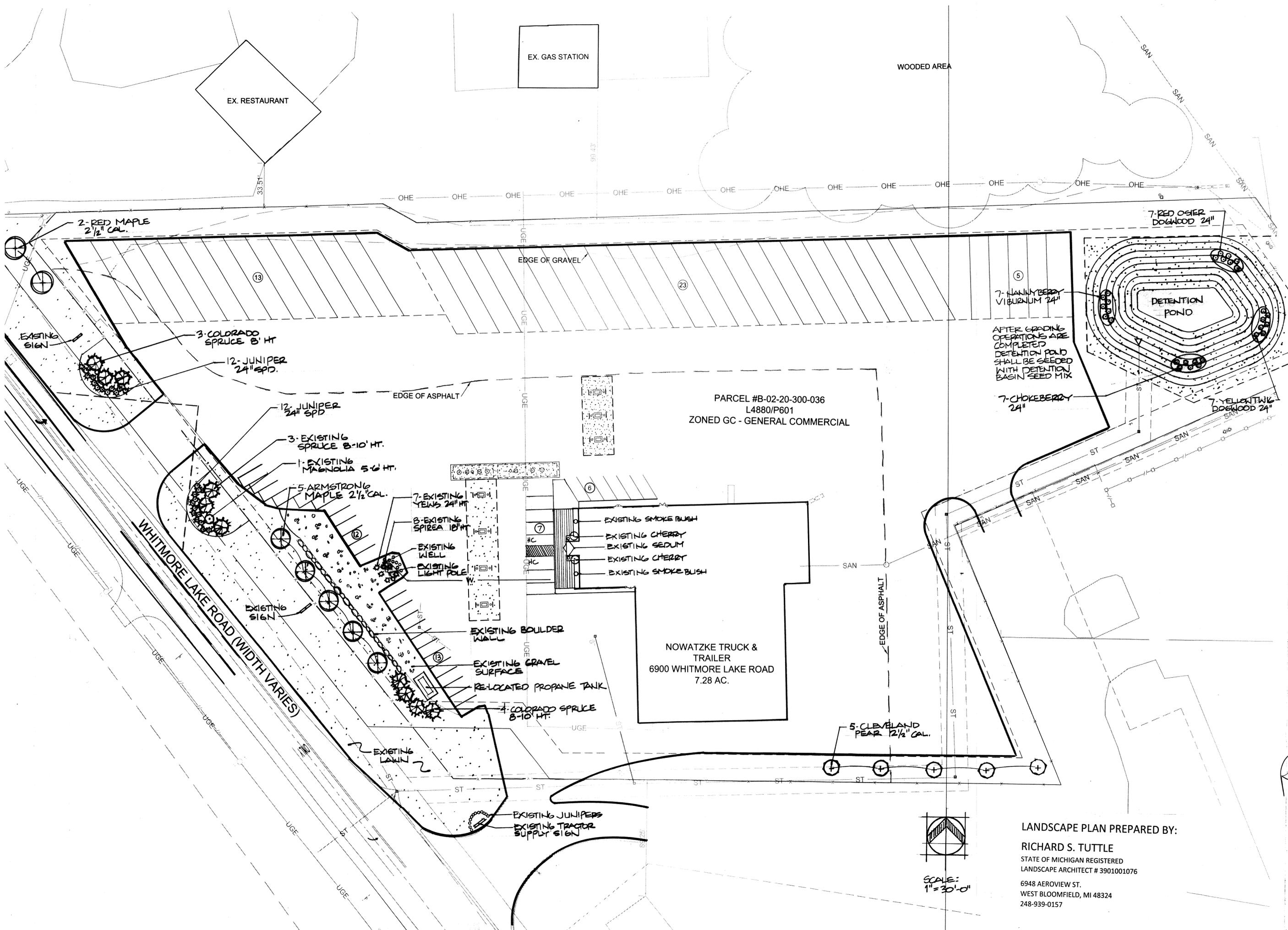
NOWATZKE TRUCK & TRAILER, INC.
6900 WHITMORE LAKE RD.
WHITMORE LAKE, MI 48189
(734) 995-9600

| REV | DATE | DESCRIPTION |
|-----|----------|------------------|
| 1 | 10/1/14 | ISSUE FOR PERMIT |
| 2 | 12/15/14 | TRAC/RSB/TEJ |



LANDSCAPE PLAN PREPARED BY:
RICHARD S. TUTTLE
STATE OF MICHIGAN REGISTERED
LANDSCAPE ARCHITECT # 3901001076
6948 AEROVIEW ST.
WEST BLOOMFIELD, MI 48324
248-939-0157

LANDSCAPE PLAN
SHEET NO
L-100



EX. GAS STATION

EX. RESTAURANT

WOODED AREA

PARCEL #B-02-20-300-036
L4880/P601
ZONED GC - GENERAL COMMERCIAL

NOWATZKE TRUCK & TRAILER
6900 WHITMORE LAKE ROAD
7.28 AC.

7- HANNYBERRY VIBURNUM 24"
7- CHOKEBERRY 24"
AFTER GRADING OPERATIONS ARE COMPLETED DETENTION POND SHALL BE SEEDED WITH DETENTION BASIN SEED MIX

7- RED OSIER DOGWOOD 24"

DETENTION POND

7- YELLOW TWIG DOGWOOD 24"

EXISTING BOLDER WALL

EXISTING GRAVEL SURFACE

RELOCATED PROPANE TANK

4- COLORADO SPRUCE 8-10' HT.

EXISTING JUNIPERS
EXISTING TRACTOR SUPPLY SIGN

EXISTING SMOKE BUSH
EXISTING CHERRY
EXISTING SEDUM
EXISTING CHERRY
EXISTING SMOKE BUSH

7- EXISTING YEW 24" HT

8- EXISTING SPIREA 10' HT

EXISTING WELL

EXISTING LIGHT POLE

5- ARMSTRONG MAPLE 2 1/2" CAL.

3- EXISTING SPRUCE 8-10' HT.

1- EXISTING MAGNOLIA 5-6' HT.

3- COLORADO SPRUCE 8' HT

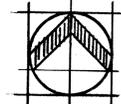
12- JUNIPER 24" SPD.

12- JUNIPER 24" SPD

2- RED MAPLE 2 1/2" CAL.

EXISTING SIGN

WHITMORE LAKE ROAD (WIDTH VARIES)



SCALE: 1" = 30'-0"

LANDSCAPE PLAN PREPARED BY:
RICHARD S. TUTTLE
STATE OF MICHIGAN REGISTERED
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G&T
Quality & Care
NOWATZKE TRUCK & TRAILER

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6900 WHITMORE LAKE RD.
WHITMORE LAKE, MI 48189
(734) 985-9600

| REV | DATE | DESCRIPTION |
|-----|----------|-----------------|
| 1 | 10/31/14 | REVIEW COMMENTS |
| 2 | 12/15/14 | TJ/CJ, ZB/TE/LJ |
| 3 | 3/10/15 | FINAL REVIEW |

STATE OF MICHIGAN
RICHARD S. TUTTLE
LANDSCAPE ARCHITECT
No. 1076
REGISTERED LANDSCAPE ARCHITECT

DATE: 11/13/14
PROJECT NO.: 000000
DESIGNED BY: JD
DRAWN BY: BH
CHECKED BY: JD

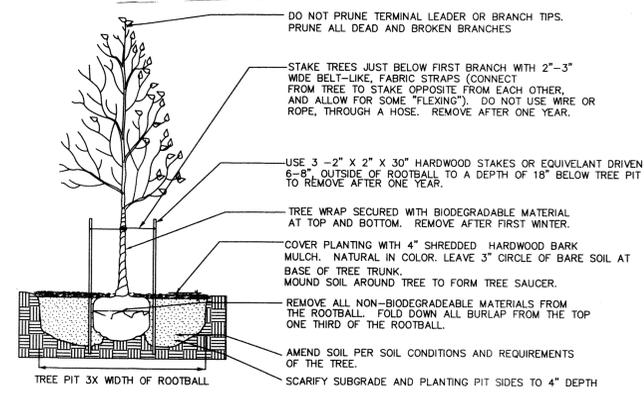
LANDSCAPE PLAN
SHEET NO.
L-100

DETENTION BASIN SEED MIX
 APPROX: 35-40 LBS. PER ACRE
 WITH COVER CROP FIRST YEAR

- Alisma subcordatum - Water Plantain
- Asclepias incarnata - Swamp Milkweed
- Bidens aristosa - Tickseed Sunflower
- Penthorum sedoides - Ditch Stonewort
- Rudbeckia laciniata - Cutleaf Coneflower
- Sagittaria latifolia - Common Arrowhead
- Verbena hastata - Blue Vervain
- Carex stipata - Awn-Fruited Sedge
- Carex vulpinoidea - Fox Sedge
- Elymus virginicus - Virginia Wildrye
- Eleocharis species - Spike Rush
- Glyceria striata - Fowl Manna Grass
- Juncus effusus - Soft Rush
- Juncus tenuis - Path Rush
- Leersia oryzoides - Rice Cut Grass
- Panicum virgatum - Switchgrass
- Scirpus validus - Softstem Bulrush
- Spartina pectinata - Prairie Cordgrass

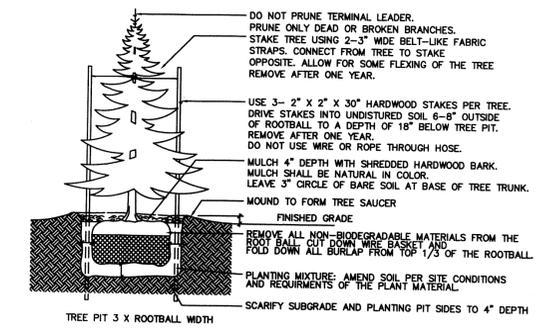
LANDSCAPE NOTES

1. ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK."
3. ALL TREES AND SHRUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
4. ALL PLANTING SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF NORTHEAST TOWNSHIP.
5. ANY SUBSTITUTIONS OF PLANT MATERIAL OR ALTERATION OF SIZES OR LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED PER DETAILS.
7. ALL TREES IN LAWN AREAS SHALL BE MULCHED WITH 4" WIDE RING OF 4" DEPTH SHREDDED BARK MULCH.
8. PLANT BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH WITH A PRE-EMERGENT HERBICIDE APPLICATION.
9. ALL TREE PITS SHALL BE DUG 3 TIMES LARGER THAN ROOT BALL. ALL SHRUB PITS SHALL BE DUG 1 FT. LARGER THAN ROOTBALL. PLANTING SOIL BACKFILL SHALL CONSIST OF 2 PARTS TOPSOIL AND 1 PART COMPOST.
10. CUT BACK WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND REMOVE. REMOVE ALL TWINE FROM ROOT BALL PRIOR TO PLANTING.
11. ALL TREES AND SHRUBS SHALL BE FERTILIZED AT THE TIME OF PLANTING WITH AGRIFORM SLOW RELEASE FERTILIZER TABS, APPLIED AT MANUFACTURERS DIRECTIONS.
12. LANDSCAPE CONTRACTOR SHALL CALL "MISS DIG" PRIOR TO PLANTING TO LOCATE AND IDENTIFY ALL UTILITIES.
13. NO TREES, EVERGREENS OR SHRUBS SHALL BE INSTALLED OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON PLANS. SEE ENGINEERING PLANS FOR EXACT UTILITY LOCATIONS.
14. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 - SHADE TREE: 5 FEET
 - ORNAMENTAL TREE: 10 FEET
 - EVERGREEN TREE: 10 FEET
 - SHRUBS: 2 FEET
15. ALL SHRUB BEDS SHALL BE PREPARED WITH SPECIFIED SOIL MIX AND HERBICIDE APPLICATION BEFORE SHRUB INSTALLATION.
16. ALL DISTURBED AREAS NOT DESIGNATED FOR PAVEMENT OR GRAVEL SURFACE SHALL BE RESTORED TO EXISTING CONDITION. ALL AREAS SHALL BE FINE GRADED TO REMOVE ALL CLAY DEBRIS, STICKS AND STONES OVER 1" DIA. AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. ALL AREAS SHALL HAVE PROPER DEPTH TOPSOIL INSTALLED AND BE SEEDED WITH APPROPRIATE LAWN SEED WITH STRAW COVER.
17. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH FULLY AUTOMATIC IRRIGATION SYSTEM TO PROPERLY ESTABLISH AND MAINTAIN PLANTS AND LAWNS.
18. ALL PLANT MATERIAL TO BE FULLY GUARANTEED FOR 1 YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE.
19. ALL PLANT MATERIALS SHALL BE FULLY MAINTAINED DURING THE 1 YEAR GUARANTEE PERIOD INCLUDING WATERING, FERTILIZING, PRUNING, DISEASE CONTROL AND REPLACEMENT IF REQUIRED.
20. ALL DISEASED AND/OR DAMAGED PLANT MATERIAL SHALL BE REPLACED WITH SAME SIZE, SPECIES DURING 1 YEAR GUARANTEE PERIOD.



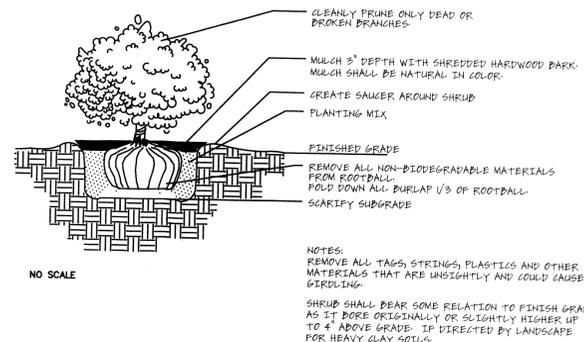
DECIDUOUS TREE DETAIL

NO SCALE



CONIFEROUS TREE DETAIL

NO SCALE



SHRUB PLANTING DETAIL

PLANT LIST

| COMMON NAME | SCIENTIFIC NAME | QTY | SIZE | COMMENTS | LOCATION |
|------------------------|-------------------------------------|-----|------------|-----------------|---|
| EXISTING PLANTS | | | | | |
| Cherry tree | Prunus spp. | 2 | 7-8' ht. | tree form | In planters both sides building entry |
| Smoke tree | Cotinus spp. | 2 | 3' ht. | shrub form | In planters both sides building entry |
| Sedum | Sedum spp. | 2 | 15-18" ht. | perennial | In planters both sides building entry |
| Colorado Spruce | Picea pungens | 3 | 8-10' ht. | evergreen tree | Right side entry off Whitmore lake rd. |
| Magnolia | Magnolia spp. | 1 | 5-6' ht. | ornamental | Right side entry off Whitmore lake rd. |
| Hicks Yew | Taxus x media "Hicksii" | 7 | 24" ht. | evergreen shrub | Parking lot island |
| Spirea | spirea spp. | 8 | 15-18" ht. | shrub form | Parking lot island |
| PROPOSED PLANTS | | | | | |
| Colorado Spruce | Picea pungens | 7 | 8-10' HT. | B & B | Along Whitmore Lake rd.(entry and to screen propane tank) |
| Red Maple | Acer rubrum | 2 | 2.5" CAL. | B & B | Along north end Whitmore Lake rd. |
| Armstrong Maple | Acer rubrum "Armstrong" | 5 | 2.5" CAL. | B & B | Along Whitmore Lake rd. |
| Cleveland Pear | Pyrus calleryana "Cleveland select" | 5 | 2.5" CAL. | B & B | Between Nowatzke property and Tractor Supply property |
| Tam Juniper | Juniperus sabina "Tamariscifolia" | 24 | 24-30' HT. | Container | Both sides of Entrance on Whitmore Lake rd. |
| Red Twig Dogwood | Cornus sericea | 7 | 24-30' HT. | Container | Around Detention Pond. |
| Yellow Twig Dogwood | Cornus sericea "Flaviramea" | 7 | 24-30' HT. | Container | Around Detention Pond. |
| Chokeberry | Aronia arbutifolia | 7 | 24-30' HT. | Container | Around Detention Pond. |
| Nannyberry | Viburnum lentago | 7 | 24-30' HT. | Container | Around Detention Pond. |

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 Damrath Group, LLC
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 Office: 248.880.2158

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 (734) 995-9600

NOWATZKE TRUCK & TRAILER, INC.
 6900 WHITMORE LAKE RD.
 WHITMORE LAKE, MI 48189
 (734) 995-9600

| REV | DATE | DESCRIPTION |
|-----|----------|-----------------|
| 1 | 10/31/14 | REVIEW COMMENTS |
| 2 | 12/15/14 | TWP REV/ELI |
| 3 | 3-10-15 | FINAL REV/TEW |

RICHARD S. TUTTLE
 LANDSCAPE ARCHITECT
 No. 1078

LANDSCAPE PLAN PREPARED BY:

RICHARD S. TUTTLE
 STATE OF MICHIGAN REGISTERED
 LANDSCAPE ARCHITECT # 3901001076
 6948 AEROVIEW ST.
 WEST BLOOMFIELD, MI 48324
 248-939-0157

| | |
|--------------|----------|
| DATE: | 11/13/14 |
| PROJECT NO.: | 000000 |
| DESIGNED BY: | JD |
| DRAWN BY: | BH |
| CHECKED BY: | JD |

LANDSCAPE PLAN
 SHEET NO.
L-101



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: October 28, 2014

Revised: December 10, 2014

January 30, 2015

March 20, 2015

**Site Plan Review
For
Northfield Township, Michigan**

Applicant: Damrath Group, LLC – John Damrath

Project Name: Nowatzke Truck + Trailer, Inc. Fuel Center

Plan Date: October 10, 2014

Revised Plan Date: March 6, 2015

Location: 6900 Whitmore Lake Road (B-02-20-300-036)

Zoning: GC, General Commercial

Action Requested: Site Plan Approval.

Required Information: Deficiencies are noted in the sections below.

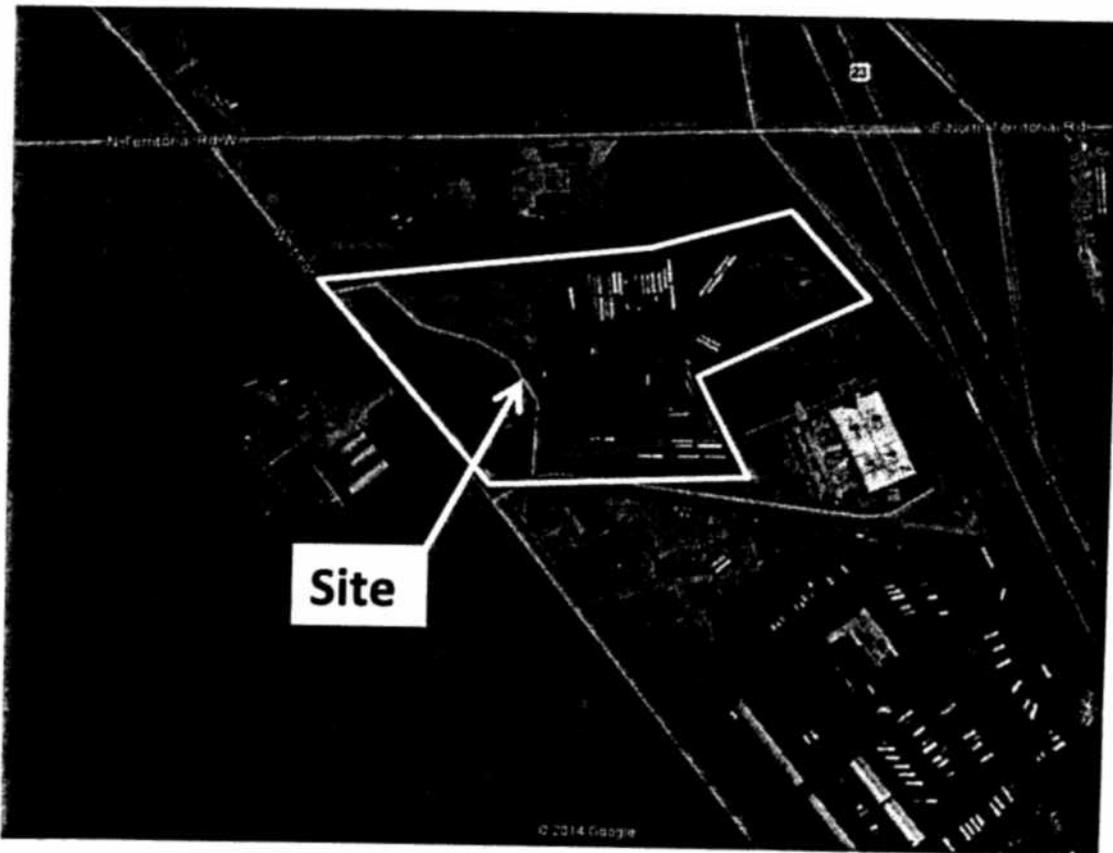
PROJECT AND SITE DESCRIPTION

The applicant proposes to construct a new 2,285 square foot convenience store (as a renovation within the existing building), four (4) gasoline dispensers with canopy and three (3) diesel fuel dispensers with canopy.

Automotive service station, including minor repair services is listed as a conditional use in the GC, General Commercial zoning district. The applicant received a recommendation of Planning Commission approval for the conditional use request, and conditional use approval by the Township Board on September 23, 2014 with the following conditions of approval:

1. The traffic impact study be reviewed and approved by the County Road Commission as a part of the detailed site plan review process. (WCRC approved the Traffic Study – see letter from WCRC dated January 7, 2015.)
2. The applicant apply for full (detailed) site plan review.
3. Items 1 through 7 listed in the Engineer’s August 13, 2014 letter be addressed as a part of the detailed site plan review process and noted as such by Orchard, Hiltz and McCliment. (See Engineer’s review.)
4. Any non-conformities on the existing site be remediated according to the zoning ordinance. (Applicant is working through non-conformities with the building inspector.)

Figure 1. - Aerial Photograph



AREA, WIDTH, HEIGHT, SETBACKS

The dimensional requirements of the GC, General Commercial district are noted on the following page;

| | <u>Required</u> | <u>Provided</u> | <u>Compliant</u> |
|------------------------|------------------------------------|--|-------------------------|
| Lot Area | 10,000 sq.ft.(with sanitary sewer) | 7.28 acres | Complies |
| Lot Width | 80 feet (with sanitary sewer) | approx. 455 feet | Complies |
| <u>Setbacks</u> | | | |
| Front | 35 feet | 80 feet to proposed canopy | Complies |
| Side | 20 feet | 45 feet to existing building (south) 123 feet to proposed canopy (north) | Complies |
| Rear | 20 feet | 110 feet to existing building | Complies |
| Lot Coverage | 25% | 41.28% - existing | Existing non-conformity |
| Building Height | 45 feet | 18 feet – canopy Convenience store height existing condition (renovation to existing structure) | Complies |

Building setbacks were scale measured as distance to buildings and other site features have not been dimensioned. Scaled elevation drawings of the proposed convenience store have been included in the plan set.

Items to be Addressed: None.

NATURAL RESOURCES

The proposed site is currently built and contains a paved surface in the locations where the proposed convenience store and gasoline/diesel pumps and canopies will be constructed. No natural resources will be compromised in the construction of the proposed uses.

Further, the underground storage tank location is noted north of the proposed gasoline canopy area. An Underground Storage Tank Plan Review Report conducted by MDEQ has been included in the applicant's latest submittal indicating no major deficiencies have been noted. Tank detail sheets (T-300 and T-301) have been provided as requested. Permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.

Items to be Addressed: *Underground storage tank permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.*

BUILDING LOCATION AND SITE ARRANGEMENT

As noted above, the proposed building location is acceptable and meets ordinance standards. The proposed location of the fuel canopies appears logical in relation to the rest of the site. In our previous review, we questioned whether the distance between the diesel pump canopy and the adjacent parking spaces allows adequate maneuverability for vehicles. The applicant

has demonstrated truck maneuverability north of the convenience store, and demonstrated an 18-foot aisle width as required.

Further trailer storage and display is not depicted on the eastern portion of the property adjacent to US-23, and should not be allowed within or adjacent to the detention basin area. Note B-6 on Sheet C-100 indicates vehicles within the detention area will be relocated to appropriate parking areas. We had recommended previously that the detention basin be planted with native wetland plantings. The applicant's cover letter indicates a note has been added to Sheet L-100 describing native wetland plantings in the detention pond, which provides for a native seed mixture to be applied.

Items to be addressed: None.

PARKING, LOADING

Section 61.04 outlines off-street parking requirements for various uses. The most similar use to the existing trailer repair facility listed in the parking requirements is "automobile service stations". In addition to the parking required for the existing trailer repair facility, the proposed convenience store parking requirement is noted under "general retail sales establishments, not elsewhere classified". The following table demonstrates both the proposed and required parking for the uses on the site:

| | Required | Total Parking Provided |
|--|----------|------------------------|
| Retail (1 per 200 s.f. – 2,285 s.f. / 200 = 12 spaces) | 59 | 46 |
| Auto Service Station (1 per 800 s.f. + 1 per 4 employees + 5 per each service bay = (21,288.7 s.f./800)=27 + 2 +30 = | | |
| Barrier Free | 2 | 2 |

Based upon the required parking calculations, the uses on site require 59 parking spaces, thirty-eight (38) automobile spaces are provided, and an additional 41 truck stalls. Section 61.03 G. allows for a reduction in parking when a parking lot serves two (2) or more uses where the operating hours of the uses do not overlap.

The applicant has provided the hours of operation for the convenience store will be 24 hours and the trailer repair business will operate from 8AM to 8PM. The applicant indicates further while the two (2) uses will be utilized on the same property, they will not interact with one another or have the need to "share" parking spaces.

Two (2) barrier-free parking spaces have been provided as required.

Items to be addressed: None.

SITE ACCESS AND CIRCULATION

As provided in the conditional use review information, the site plan demonstrates a left turn lane at the north driveway as recommended in the traffic impact assessment study produced by Fleis + Vandenbrink. Review and approval of the traffic impact assessment and the associated improvements to Whitmore Lake Road has been approved by the WCRC (approved at their March 3, 2015 meeting).

The Sheet C-200 provides the boundary survey of the site, and calls out the various easements within the subject parcel. It notes the location of the recorded easement agreement for the ingress, egress, utilities, signs and drainage at the Washtenaw County Registrar of Deeds. A copy of the easement document has been provided for review.

Sheet C-202 demonstrates truck turning radii throughout the site. We note the circulation path demonstrates trucks will be traversing upon existing paved surfaces within the site.

Items to be addressed: None.

LANDSCAPING

A separate landscape plan is required to demonstrate that the existing landscape material meets current standards. A signed and sealed landscape plan has been provided as part of the submitted plan set.

One (1) tree per each 8 parking spaces is required. Thirteen (13) parking spaces are proposed adjacent to the convenience store, in addition twenty-five (25) parking spaces currently exist adjacent to the south driveway, and 41 trailer parking spaces are demonstrated along the northern property line. Based on the parking demonstrated on the plan, six (6) parking lot trees are required.

In addition to existing landscaping, two (2) new Red Maple trees and six (6) Colorado Spruce trees are proposed in the northwest corner of the site. Additional Juniper shrubs are also proposed at both sides of the driveway from Whitmore Lake Road (northern drive). We had previously suggested additional plantings south of the driveway along Whitmore Lake Road. In response, five (5) additional Armstrong Maple trees have been added along the Whitmore Lake Road ROW as suggested.

We had also previously suggested that additional landscaping adjacent to Whitmore Lake Road, particularly screening the propane tank would greatly enhance the site's aesthetics. Additional screening of the propane tank has been provided.

Further, landscaping adjacent to US-23 would enhance the aesthetics of the area and further screen the site from view. The applicant has provided groupings of shrubbery along the periphery of the detention basin. We suggest in addition to the shrubbery, the applicant

provide a row of spruce trees along the eastern perimeter of the detention area to provide screening of the site from US 23.

Items to be addressed: Consider addition of a row of spruce trees along the eastern perimeter of the detention area to provide screening from US 23.

LIGHTING

A lighting plan has been provided demonstrating photometrics and fixture details. Section 60.31 requires all fixtures be downward directed; all proposed fixtures appear to be downward directed.

In addition, all lighting fixtures shall not exceed 16 feet in height. All proposed fixtures are shown with a height of 14 or 15 feet. Four (4) fixtures are shown at 24 and 25 feet in height; these are noted as existing non-conforming light poles to remain.

Further, lighting illumination levels at property lines meet the standards of Section 60.31 E.1. However, the maximum lighting levels cannot exceed 25 foot-candles directly beneath a fixture, and shall not exceed 3 foot-candles directly between two (2) light fixtures. The lighting levels beneath and adjacent to the fuel canopies have been modified from the previous submittal to meet the required illumination levels.

Items to be addressed: None.

SIGNS

Two (2) existing freestanding signs are depicted along Whitmore Lake Road to be removed, as well as detail for a new freestanding ID/Price Sign (Sheet AG-100) which will be located north of the driveway.

The proposed freestanding meets the requirements outlined in Section 62.06. In addition to the freestanding sign, one (1) wall sign is proposed on the south elevation of the gasoline fuel canopy. Section 62.08 allows the permitted signs set forth in Section 62.06 A.1. To be attached either to a wall of the building or to the canopy of a fuel pump island. Section 62.06 A.1. allows for one wall sign.

Items to be Addressed: None.

FLOOR PLAN AND ELEVATIONS

Floor plans have been provided and appear acceptable. Elevations of the canopy and fuel dispensers have been provided on Sheets A-201 and A-202. Elevations demonstrating the new convenience store have been included in the plan set.

Items to be Addressed: None.

VARIANCES

None requested or required.

Items to be Addressed: None.

RECOMMENDATIONS

We recommend the following items be addressed prior to site plan approval:

1. Items 1 through 7 listed in the Engineer's August 13, 2014 letter be addressed as a part of the detailed site plan review process and noted as such by Orchard, Hiltz and McCliment.
2. Any non-conformities on the existing site be remediated according to the Zoning Ordinance.
3. Underground storage tank permits will be required prior to Final Zoning Compliance and Certificate of Occupancy.
4. Consider addition of a row of spruce trees along the eastern perimeter of the detention area to provide screening from US 23.



CARLISLE/WORTMAN ASSOC., INC.
Douglas J. Lewan, PCP, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Laura K. Kreps, AICP
Associate

#271-02-1305

cc: Tom Nowatzke via tomnowatzkesr@msn.com
John Damrath via jd@damrath.com



ARCHITECTS. ENGINEERS. PLANNERS.

March 20, 2015

Northfield Township
Building & Zoning Department
8350 Main Street, Suite A
Whitmore Lake, Michigan 48189

Regarding: **Nowatzke Fuel Station**
Site Plan Review No. 4
OHM Job No. 0151-14-1021

We have reviewed the site plan material, dated March 6, 2015 and received by this office on March 13, 2015, for proposed site improvements to the Nowatzke Truck & Trailer, Inc. property located at 6900 Whitmore Lake Road. Plans were reviewed according to Township guidelines and engineering standards. A brief description of the project, followed by our comments, is provided below.

The applicant is requesting site plan approval for gasoline and diesel dispensers with fueling pads and canopies of 2,592 square feet and 1,440 square feet, respectively. Two underground storage tanks of 20,000 gallons and 30,000 gallons are also proposed. A convenience store is proposed to occupy 2,285 square feet of the existing building on-site.

Site Drainage

1. A drainage area map for the overall system, including any runoff from neighboring properties and County ROW contributing to the drainage area, shall be included. It appears that the drainage area on the southwest side of Whitmore Lake Road drains through an 18 inch storm sewer under Whitmore Lake Road towards the existing detention basin, and has not been included in the on-site stormwater system. We are aware that the existing pond was designed and constructed to include some amount of offsite flow from the Whitmore Lake Road ROW and surrounding properties, and this must be accounted for in the volume calculations.
2. The proposed expansion to the existing detention basin appears to be insufficient to store the as-calculated 100-year storm volume.
3. An emergency spillway shall be provided for the existing detention basin.
4. The Applicant shall provide the impervious cover post-development 100-year storm volume, and the total 100-year storm volume in the runoff summary.

Permits and Other Agency Approvals

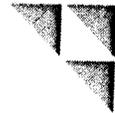
Copies of all permits and/or letters of waiver, obtained to date, shall be forwarded to this office. The current status of all necessary permits should be included on the cover sheet. Before construction plan approval can be issued, the applicant must submit all necessary permits/approvals, including but not limited to the following agencies:

- Washtenaw County Road Commission (WCRC) for the work within the Whitmore Lake Road right-of-way and approval of the traffic impact assessment.
- Washtenaw County Water Resources Commissioner's Office (WCWRC) for drainage, soil erosion and sedimentation control.
- Northfield Township Building Department.
- Northfield Township Fire Department approval for fire code compliance.

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Conclusion and Recommendations

As submitted, the site plan appears to be in substantial compliance with The Charter Township of Northfield requirements. We take no exception to the proposed site plan and recommend the Planning Commission consider approval of the site plan conditional upon the above mentioned comments being addressed administratively.

Please feel free to contact Jacob Rushlow at (734) 466-4517 or jacob.rushlow@ohm-advisors.com if you have any questions or concerns regarding this review.

Sincerely,

OHM ADVISORS

Jacob Rushlow, P.E.
Township Engineer

cc: Howard Fink, Township Manager (via e-mail)
 William Wagner, Public Safety Director (via e-mail)
 Pam Boegler, Northfield Township (via e-mail)
 Kurt Weiland, Building/Zoning Official (via e-mail)
 Marlene Chockley, Planning Commission Chair (via e-mail)
 Doug Lewan, Carlisle/Wortman Associates (via e-mail)
 John Damrath, Damrath Group, LLC, (via e-mail)
 Tom Nowatzke, Nowatzke Truck and Trailer, Inc., (via e-mail)
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