

PLEASE NOTE: This meeting will be held in person and online. The public can come in person or watch/listen to this meeting online in one of 3 ways:

1) Go to the city's You Tube channel, "<https://www.youtube.com/NewLondonAccess>" and click on the "live" feed video link to watch the meeting. **-OR-**

2) You can watch the meeting via the zoom app. Go to the following link to download and watch via the zoom app:

<https://us02web.zoom.us/j/85097759467?pwd=M0wwbVpqWk85Q3lhZHhuMjNvOUR2UT09>

You will be asked to download and install the zoom app on your computer or phone and provide your name and email address.

-OR-

3) You can listen to the meeting over the phone by calling one of the following numbers:

1-929-205-6099, 1-301-715-8592, 1-253-215-8782, 1-346-248-7799, 1-699-900-6833

You will be asked to enter in a meeting ID of: **850 9775 9467**, then push #

You may be asked for a participate ID, do not put in a number, just hit #

You will be asked to enter in a password of **468499**, then #

Unless specifically noticed otherwise, this meeting and all other meetings of this body are open to the public. Proper notice has been posted and given to the media in accordance with Wisconsin Statutes so that citizens may be aware of the time, place and purpose of the meeting.

MEETING NOTICE

Planning Commission Agenda

Thursday, April 27, 2023– 5:15 PM

Council Chambers – New London Municipal Building

1. Call to Order
2. Pledge of Allegiance
3. Adopt Agenda
4. Review for approval of the April 06, 2023 Special Planning Commission meeting minutes
5. Review for approval the affidavit of corrections for CSM 8133 (parcel 33 12 77 111)
6. Review for approval Utility and Trail Easements for parcel 33 12 77 111
7. Review of site plan for strip mall (1186 N. Shawano St)
8. Review initial proposal to amend the Zoning Ordinance to allow keeping of chickens.
9. Discuss upcoming agenda items:
10. Review next meeting date: May 25, 2023
11. Adjourn

Bernie Ritchie, Chairman

*Agenda items are listed so as to accurately describe the actions or issue being considered instead of simply the document listing title or the parties to a contract. This is done as such titles or a list of parties to a contract conveys insufficient information to the public on whether a topic or project they are interested in is being considered. It is the policy of the City of New London to comply in good faith with all applicable regulations, guidelines, etc. put forth in the Americans with Disabilities Act (ADA). To that end, it is the City's intent to provide equal opportunity for everyone to participate in all programs and/or services offered, to attend every public meeting scheduled, and to utilize all public facilities available. Any person(s) in need of an alternative format (i.e. larger print, audio tapes, Braille, readers, interpreters, amplifiers, transcription) regarding information disseminated by the City of New London should notify the City 48 hours prior to a meeting, etc., or allow 48 hours after a request for a copy of brochures, notices, etc. for delivery of that alternative format. Contact ADA Coordinator Chad Hoerth by telephone through: (Relay Wisconsin) – 920/ 982-8500 or (Voice) – 920/982-8500 and in person/letter at 215 N. Shawano Street, New London, WI 54961.

City of New London
Special Planning Commission Meeting Minutes
Thursday April 06, 2023

Roll Call

Meeting was called to order at 05:15 p.m. Those in attendance were Chairman Bob Besaw, Dona Gabert, Jeff Handschke, Susie Steingraber, Mayor Mark Herter via zoom and then arrival at 05:30 pm.

Others in attendance: Building Inspector/Zoning Administrator: David Vincent, City Administrator: Chad Hoerth, Balynda Croy (District 2), John Haas (District 2), Tim Roberts (District 4), Dave Dorsey (District 4) and Bernie Ritchie Jr. (District 3). We had 2 members from the community; Charlene Magolski and Gerald Magolski. We were also joined by a representative from Cedar Corporation, Ken Jaworski

Group participated in the Pledge of Allegiance.

NOTICE: This was a special meeting to allow for a Public hearing, 30-day advanced notice requirement. The last scheduled Public hearing was cancelled due to inclement weather.

A motion was made by Gabert to "Adopt the Agenda" and seconded by Steingraber, carried by all.

The March 02, 2023 meeting minutes were reviewed. A motion to accept the minutes was made by Steingraber and seconded by Gabert, carried by all.

The first action item on the agenda item was to query the commission to see if any member or Alderman had any questions, concerns or recommendations to the "Final Draft" of the 2040 Comprehensive Plan (minus public comments). No one had anything to add to the discussion. Bob Besaw then called for a Public Hearing. 3 queries were made to allow any public comment, after hearing none Bob closed the Public Hearing.

The second action item was to discuss sending a resolution to council to recommend approval of the 2040 Comprehensive Plan. A motion was made by Steingraber to send a resolution to council with a recommendation for adoption. The motion was seconded by Gabert, carried by all.

The third item on the action agenda was to discuss for possible approval of the 2024 North Water Street and Pearl Street Plat proposal for street reconstruction. City Administrator Chad Hearth led the discussion in detail and explained several nuances that were considered when creating the proposed Plant. After a lot of discussion including questions from those in attendance a motion was made to approve the Plat by Steingraber. The motion was seconded by Gabert, motion carried with one nay vote from Tim Roberts.

The last item on the agenda for discussion was upcoming agenda items. A chicken ordinance proposal will be on the agenda along with discussion of moving forward with generating a new Zoning Ordinance.

The next meeting date has been scheduled for Thursday, April 27, 2023.

A motion was made to adjourn by Steingraber, seconded by Gabert, carried by all.

Meeting adjourned by Chairman Besaw at approximately 05:50 p.m.

Respectively submitted by David Vincent-Zoning Administrator

Document No.
AFFIDAVIT OF CORRECTION

State of Wisconsin)
) ss
County of Winnebago)

I, Douglas E. Woelz, Wisconsin Professional Land Surveyor No. 2327, employed by McMahon Associates, Inc. hereby certify that Certified Survey Map (CSM) No. 8133 recorded as Document No. 909250, Waupaca County Register being a part of Government Lots 1 and 2, Section 12, Township 22 North, Range 14 East, City of New London, Waupaca County, Wisconsin is to be amended to remove the following Proposed Easements shown on Lot 1 of said CSM;

Proposed 25' Public Trail Easement and the Proposed 25' Public Utility Easement shall be removed.

Return To:
McMahon Associates, Inc.
Attn: Douglas E. Woelz
1445 McMahon Drive / P.O Box 1025
Neenah, WI 54956/54957-1025

33 12 77111

Parcel Identification No.

Douglas E. Woelz, PLS

Date

State of Wisconsin)
) ss
County of Winnebago)

Personally came before me this _____ day of _____, 20____, the above named Douglas E. Woelz to me know to be the person who executed the aforesaid affidavit and acknowledged the same.

Notary Public

County, Wisconsin

My Commission Expires: _____

[Stamp / Seal]

CITY OF NEW LONDON APPROVAL

We hereby certify that this Affidavit of Correction was approved and accepted by the City of New London on this _____ day of _____, 20____.

Mark Herter, Mayor

Date

Nicole Ryerson, City Clerk

Date

This instrument drafted by Douglas E. Woelz, PLS., McMahon Associates Inc.

EASEMENT

Document Number

SANITARY SEWER EASEMENT KNOW ALL PEOPLE BY THESE PRESENTS

That in consideration of One Dollar (\$1.00) and other good and valuable consideration paid to the Grantor, hereinafter appearing as signator to this document, City of New London, hereinafter referred to as Grantee, the receipt of which is hereby acknowledged, said grantor (signator hereto) does hereby grant, bargain, sell, transfer, and convey unto the Grantee, its successors and assigns, a perpetual easement with the right to erect, construct, install and lay, and thereafter use, operate, inspect, repair, maintain, replace and remove, sanitary sewer, across and through the lands of the Grantor(s) situated in the City of New London, Waupaca County, Wisconsin, said lands are described and portrayed on attached Exhibit A:

Together with the right of ingress and egress over the adjacent lands of the Grantor(s), his/her successors and assigns, for the purpose of this easement.

The consideration hereinabove recited shall constitute payment in full for any damages present or future to the lands of the Grantor(s), his/her successors and assigns, by reason of the installation, operation, and maintenance of the structures or improvements referred to herein. The Grantee covenants to maintain the easement in good repair so that no unreasonable damage will result from its use to adjacent lands of the Grantor(s), his/her successors and assigns.

The grant and other provisions of this easement shall constitute a covenant running with the land for the benefit of the Grantee, its successors and assigns.

IN WITNESS WHEREOF, as Grantor(s), has executed this document on the date set forth opposite his/her signature.

Mark Herter, Mayor Date

Nicole Ryerson, Clerk Date

State of Wisconsin)
_____)ss
_____)County)

Personally appeared before me on the ____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

_____)County, _____

My commission expires_____

Recording Area

Return To: McMahon Associates Inc.
c/o Doug E. Woelz, P.L.S.
1445 McMahon Drive Neenah, WI 54956
P.O. Box 1025 Neenah, WI 54957-1025
PIN: 33 12 77111

This Instrument Drafted By: David Johnson, McMahon Associates Inc.,
Page 1 of 2

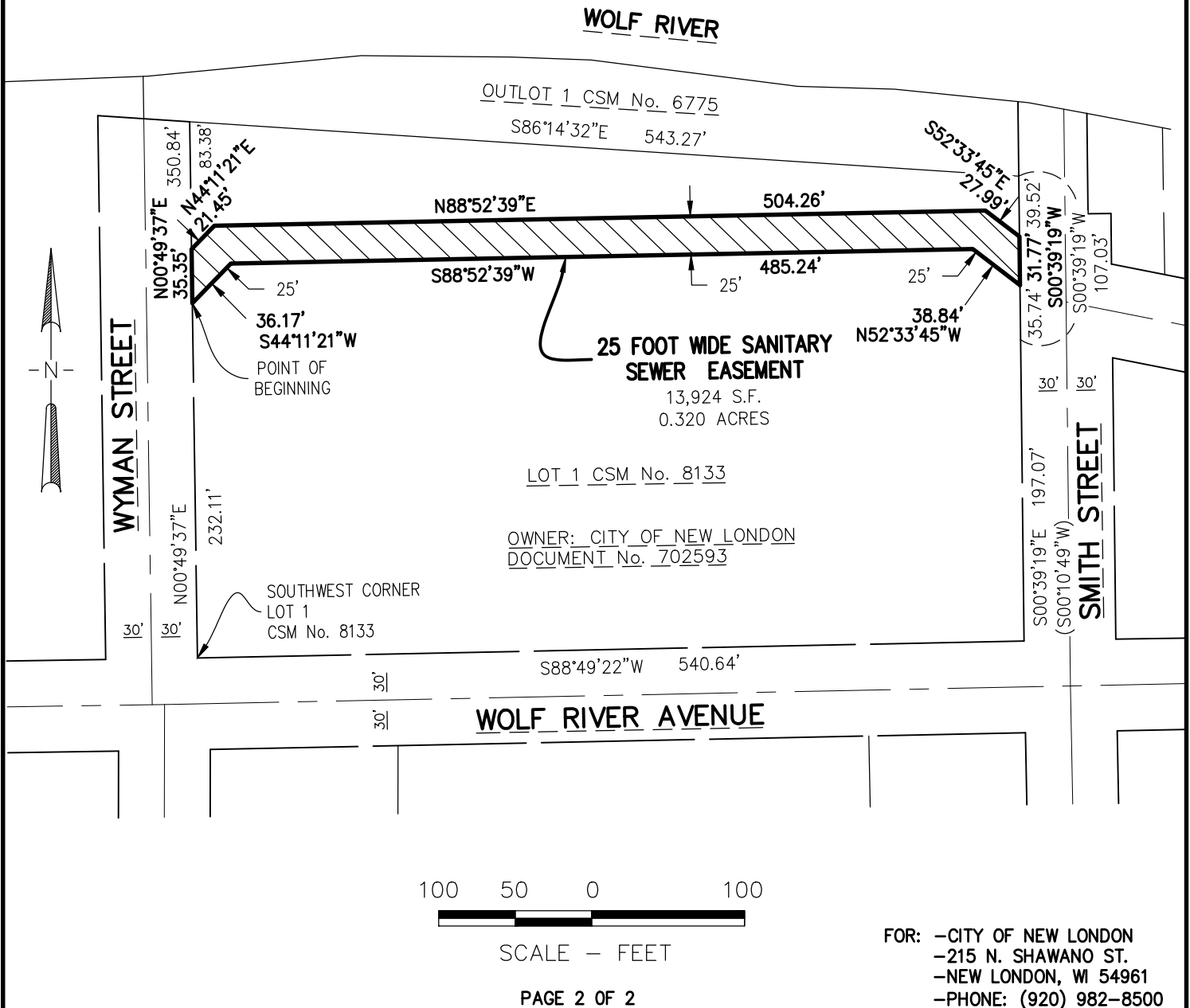
EXHIBIT A

SANITARY SEWER EASEMENT DESCRIPTION:

Part of Lot 1 of Certified Survey Map No. 8133 as Recorded in Document No. 909250, located in Government Lots 1 & 2, of Section 12, Township 22 North, Range 14 East, City of New London, Waupaca County, Wisconsin, containing 13,924 square feet (0.320) of land being more fully described as follows:

Commencing at the Southwest corner of said Lot 1 of Certified Survey Map No. 8133; thence N00°49'37"E, 232.11 feet along the West line of said Lot 1 to the Point of Beginning; thence continue N00°49'37"E, 35.35 feet along said West line; thence N44°11'21"E, 21.45 feet; thence N88°52'39"E, 504.26 feet; thence S52°33'45"E, 27.99 feet to the East line of said Lot 1; thence S00°39'19"W, 31.77 feet along the East line of said Lot 1; thence N52°33'45"W, 38.84 feet; thence S88°52'39"W, 485.24 feet; thence S44°11'21"W, 36.17 feet to the Point of Beginning.

d:\projects\N0009\092100642\CADD\Option 2 - JSD\Civil3D\Survey Documents\Easement\Sanitary Easement Lot 1 CSM 8133.dwg, 8.5x11 easement exhibit, Plot Date: 4/6/2023 10:01 AM, xrels: (parcels_co_calumet_2019_04)



McMAHON
ENGINEERS ARCHITECTS

Project No. N009 092100642.00 Date APRIL, 2023 Scale 1"=100'

Drawn By DWJ Field Book Page

1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

File No.
CAD

EASEMENT

Document Number

PUBLIC TRAIL EASEMENT

KNOW ALL PEOPLE BY THESE PRESENTS

That in consideration of One Dollar (\$1.00) and other good and valuable consideration paid to the Grantor, hereinafter appearing as signator to this document, City of New London, hereinafter referred to as Grantee, the receipt of which is hereby acknowledged, said grantor (signator hereto) does hereby grant, bargain, sell, transfer, and convey unto the Grantee, its successors and assigns, a perpetual easement with the right to erect, construct, install and lay, and thereafter use, operate, inspect, repair, maintain, replace and remove, a public trail, across and through the lands of the Grantor(s) situated in the City of New London, Waupaca County, Wisconsin, said lands are described and portrayed on attached Exhibit A:

Together with the right of ingress and egress over the adjacent lands of the Grantor(s), his/her successors and assigns, for the purpose of this easement.

The consideration hereinabove recited shall constitute payment in full for any damages present or future to the lands of the Grantor(s), his/her successors and assigns, by reason of the installation, operation, and maintenance of the trail improvements referred to herein. The Grantee covenants to maintain the easement in good repair so that no unreasonable damage will result from its use to adjacent lands of the Grantor(s), his/her successors and assigns.

The grant and other provisions of this easement shall constitute a covenant running with the land for the benefit of the Grantee, its successors and assigns.

IN WITNESS WHEREOF, as Grantor(s), has executed this document on the date set forth opposite his/her signature.

Mark Herter, Mayor

Date

Nicole Ryerson, Clerk

Date

State of Wisconsin)

)ss

County)

Personally appeared before me on the ____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

County, _____

My commission expires _____

Recording Area

Return To: McMahon Associates Inc.

c/o Doug E. Woelz, P.L.S.

1445 McMahon Drive Neenah, WI 54956

P.O. Box 1025 Neenah, WI 54957-1025

PIN: 33 12 77111

This Instrument Drafted By: David Johnson, McMahon Associates Inc.,

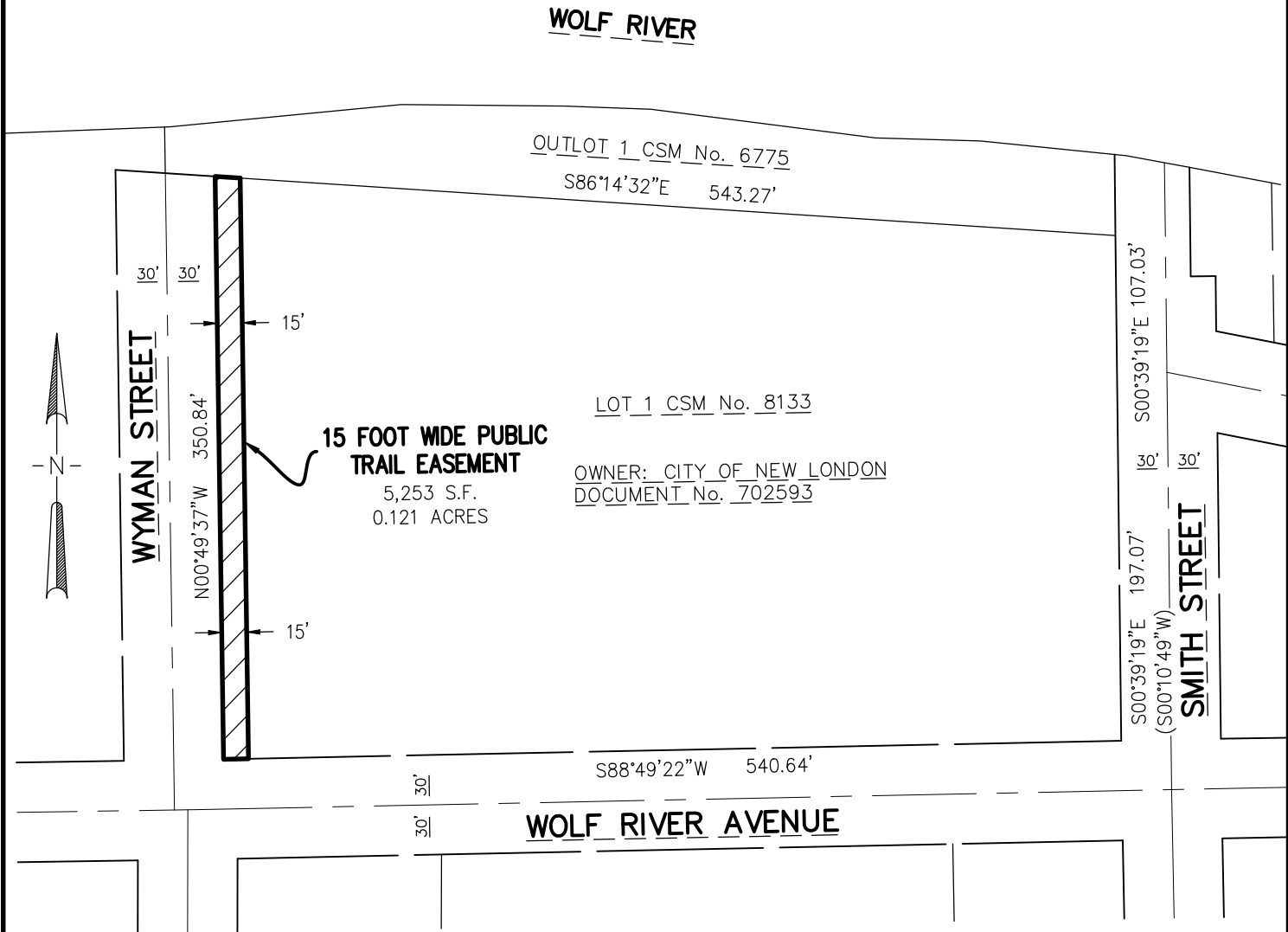
Page 1 of 2

EXHIBIT A

PUBLIC TRAIL EASEMENT DESCRIPTION:

The West fifteen (15) feet of Lot 1 of Certified Survey Map No. 8133 as Recorded in Document No. 909250, located in Government Lots 1 & 2, of Section 12, Township 22 North, Range 14 East, City of New London, Waupaca County, Wisconsin, containing 5,253 square feet (0.121 acres) of land.

d:\johnson, W:\PROJECTS\N0009\092100642\CADD\Option 2 - JSD\Civil3D\Survey Documents\Easement\Trail Easement Lot 1 CSM 8133.dwg, 8.5x11 easement exhibit, Plot Date: 4/6/2023 9:57 AM, xrefs:none



100 50 0 100



SCALE — FEET

PAGE 2 OF 2

FOR: —CITY OF NEW LONDON
—215 N. SHAWANO ST.
—NEW LONDON, WI 54961
—PHONE: (920) 982-8500

McMAHON
ENGINEERS ARCHITECTS

Project No. N009 092100642.00 Date APRIL, 2023 Scale 1"=100'

Drawn By DWJ Field Book Page

1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

File No.
CAD

RELEASE OF UTILITY EASEMENT RIGHTS

Document Number

WHEREAS

City of New London, Hereinafter referred to as "grantee", its successors and assigns, certain easement rights, which easement rights are set forth in that certain document recorded in the Office of the Register of Deeds in Waupaca County, Wisconsin, as Volume 288 of Records on pages 357-358 recorded as Document No. 271955

WHEREAS, grantee has been requested and is willing to release the following rights from the force and effect of the aforesaid easement, to-wit:

A strip of land ten (10) feet in width for underground Sewer being a part of Lot 1 Certified Survey Map No. 8133 recorded as Document No. 909250 (Formerly located in Lots One (1) and Lot Two (2), Block Fourteen (14), Reeder-Smith's Original Plat, and all of Block One (1) and the East Fifteen (15) feet of formerly vacated Wyman Street, in Buck and Dickinson's Addition), all located within Government Lots 1 & 2, Section Twelve (12), Township Twenty-Two North (T-22-N), Range Fourteen East (R-14-E), City of New London, Waupaca County, Wisconsin.

Whereas the centerline of said ten (10) foot strip lying five (5) feet on both sides of the following described centerline;

Commencing at the Northeast corner of Lot Two (2), Block Fourteen (14), Original Plat of the City of New London, running thence Westerly, parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of West Wolf River Avenue to the West line of said Block 14, Original Plat, thence Westerly parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of West Wolf River Avenue to the West line of Block One (1), Buck and Dickinson's Plat, thence Westerly parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of the West Wolf River Avenue to the West line of the vacated East fifteen (15) feet portion of Wyman St.

NOW, THEREFORE, for and in consideration of the sum of \$1.00 to it paid, the receipt whereof is hereby acknowledged, City of New London does hereby release, discharge and abandon all of its specific easement rights as set forth in the aforesaid document recorded in the Office of the Register of Deeds in Waupaca County, Wisconsin, as Volume 288 of records on Pages 357-358 as Document No. 271955. (Copy attached as Pages 3 and 4 to this document).

Recording Area

Return To:

McMahon Associates, Inc.

Attn: Douglas E. Woelz

1445 McMahon Dr. / PO Box 1025

Neenah, WI 54956/54957-1025

Parcel No. 33 12 77111

This Instrument Drafted By: David Johnson, McMahon Associates Inc.,

Page 1 of 4

IN WITNESS WHEREOF, said City of New London, has caused these presents to be executed on its behalf on this 16th day of May, 2023.

City of New London:

By: _____ 5/16/2023
Mark Herter, Mayor Date

_____ 5/16/2023
Nicole Ryerson, Clerk Date

STATE OF WISCONSIN)
) SS
COUNTY OF Waupaca

personally came before me this 16th day of May, 2023, the above named Mark Herter, Mayor and Nicole Ryerson, Clerk, to me know to be the persons who executed the foregoing instrument and acknowledged that they executed the foregoing instrument.

NOTARY PUBLIC, Waupaca County, Wisconsin

My Commission (expires) (is permanent) _____

E A S E M E N T

THIS INDENTURE, made this 6th day of March 1958 by and between Curtis Co., Inc. of Clinton, Iowa, hereinafter referred to as the grantor, and the City of New London of Waupaca and Outagamie Counties, Wisconsin, hereinafter referred to as the grantee;

WHEREAS, the grantor is owner in fee simple of the following described lands situated in the City of New London, Waupaca County, Wisconsin:

Lots One (1) and Two (2), Block Fourteen (14), Reeder-Smith's Original Plat, and all of Block One (1) and the East Fifteen (15) Feet of Wyman Street, now vacated, in Buck and Dickinson's Addition, all in the City of New London, Waupaca County, Wis.

WHEREAS, the grantee is desirous of placing and maintaining underground sewer over the following portion of the above described property:

A 10 ft. sewer easement, 5 ft. on both sides of the following described centerline:

Commencing at the Northeast corner of Lot Two (2), Block Fourteen (14), Original Plat of the City of New London, running thence Westerly, parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of West Wolf River Avenue to the West line of said Block 14, Original Plat, thence Westerly parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of West Wolf River Avenue to the West line of Block One (1), Buck and Dickinson's Plat, thence Westerly parallel to and two hundred twenty-five and six tenths (225.6) feet Northerly of the North line of the West Wolf River Avenue to the West line of the vacated East fifteen (15) feet portion of Wyman St.

All property lying in the Original Plat and Buck and Dickinson's Plat, City of New London, Waupaca County, Wisconsin.

WHEREAS, the grantor has agreed, for the sum of one dollar and other good and valuable considerations, the receipt of which by the grantor is hereby acknowledged, to grant to the grantee an easement over the above described premises for the purpose of placing and maintaining underground sewers and other appliances necessary in the conduct of its public affairs;

THEREFORE, THIS INDENTURE WITNESSETH, that in and for the consideration above stated, paid by the grantee to the grantor, the grantor hereby grants to the grantee and its assigns the full and free right and authority to enter upon the above described premises and place and maintain underground sewers and other appliances necessary in the conduct of such public affairs.

This agreement is binding on the parties hereto and its assigns.

IN WITNESS WHEREOF, the grantor, said Curtis Co., Inc. has caused these presents to be signed by George M. Curtis, its president, and countersigned by M. R. Carlson, its assistant secretary, at Clinton, Iowa, and its corporate seal to be hereunto affixed this 6th day of March 1958 at Clinton, Iowa.

CURTIS CO., INC.,

by: [Redacted] President

Signed and sealed in Presence of:

[Redacted]

Countersigned:

[Redacted] Assistant Secretary

STATE OF IOWA)
COUNTY OF CLINTON) ss

Personally came before me this 6th day of March, A. D., 1958, George M. Curtis, President, and M. R. Carlson Assistant Secretary of the above named Corporation, to me known to be the persons who executed the foregoing instrument and to me known to be such President and Assistant Secretary of said Corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said Corporation, by its authority.



[Redacted]
Notary Public, Clinton Co., Iowa
My commission expires July 4, 1960

REGISTER'S OFFICE 271955
Waupaca County, Wis.
RECEIVED FOR RECORD

MAR 14 1958

At 10:05 A. M. and recorded
Index 288-1111-357
Register

EASEMENT

Document Number

WATERMAIN EASEMENT

KNOW ALL PEOPLE BY THESE PRESENTS

That in consideration of One Dollar (\$1.00) and other good and valuable consideration paid to the Grantor, hereinafter appearing as signator to this document, City of New London, hereinafter referred to as Grantee, the receipt of which is hereby acknowledged, said grantor (signator hereto) does hereby grant, bargain, sell, transfer, and convey unto the Grantee, its successors and assigns, a perpetual easement with the right to erect, construct, install and lay, and thereafter use, operate, inspect, repair, maintain, replace and remove, a watermain, across and through the lands of the Grantor(s) situated in the City of New London, Waupaca County, Wisconsin, said lands are described and portrayed on attached Exhibit A:

Together with the right of ingress and egress over the adjacent lands of the Grantor(s), his/her successors and assigns, for the purpose of this easement.

The consideration hereinabove recited shall constitute payment in full for any damages present or future to the lands of the Grantor(s), his/her successors and assigns, by reason of the installation, operation, and maintenance of the structures or improvements referred to herein. The Grantee covenants to maintain the easement in good repair so that no unreasonable damage will result from its use to adjacent lands of the Grantor(s), his/her successors and assigns.

The grant and other provisions of this easement shall constitute a covenant running with the land for the benefit of the Grantee, its successors and assigns.

IN WITNESS WHEREOF, as Grantor(s), has executed this document on the date set forth opposite his/her signature.

Mark Herter, Mayor

Date

Nicole Ryerson, Clerk

Date

State of Wisconsin)

)ss

County)

Personally appeared before me on the ____ day of _____, 20____, the above named person(s) to me known to be the person(s) who executed the foregoing instrument, and acknowledged the same.

Notary Public

County, _____

My commission expires _____

Recording Area

Return To: McMahon Associates Inc.

c/o Doug E. Woelz, P.L.S.

1445 McMahon Drive Neenah, WI 54956

P.O. Box 1025 Neenah, WI 54957-1025

PIN: 33 12 77111

This Instrument Drafted By: David Johnson, McMahon Associates Inc.,

Page 1 of 2

EXHIBIT A

WATERMAIN EASEMENT DESCRIPTION:

The South ten (10) feet of Lot 1 of Certified Survey Map No. 8133 as Recorded in Document No. 909250, located in Government Lots 1 & 2, of Section 12, Township 22 North, Range 14 East, City of New London, Waupaca County, Wisconsin, containing 5,406 square feet (0.124 acres) of land.

WOLF RIVER

OUTLOT 1 CSM No. 6775
S86°14'32"E 543.27'

LOT 1 CSM No. 8133

OWNER: CITY OF NEW LONDON
DOCUMENT No. 702593

**10 FOOT WIDE
WATERMAIN EASEMENT**
5,406 S.F.
0.124 ACRES

WOLF RIVER AVENUE

WYMAN STREET

SMITH STREET

100 50 0 100

SCALE — FEET

PAGE 2 OF 2

FOR: —CITY OF NEW LONDON
—215 N. SHAWANO ST.
—NEW LONDON, WI 54961
—PHONE: (920) 982-8500

McMAHON
ENGINEERS ARCHITECTS

Project No. N009 092100642.00 Date APRIL, 2023 Scale 1"=100'

Drawn By DWJ Field Book Page

1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

File No.
CAD

1186 N SHAWANO STREET | NEW LONDON, WISCONSIN 54961

2015 INTERNATIONAL BUILDING CODE (IBC), 2015 INTERNATIONAL MECHANICAL CODE (IMC) AND INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH WISCONSIN AMENDMENTS APPLY TO THIS PROJECT IN ADDITION TO 2009 ICC / ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES:						
THIS BUILDING IS SUBMITTED AS A "WHITEBOX" TENANT SPACE. INDIVIDUAL TENANT SPACES WITHIN THE PARENT BUILDING SHALL BE DESIGNED AND SUBMITTED SEPARATELY UNDER FUTURE TRANSACTIONS.						
TYPE OF CONSTRUCTION (TABLE 601):	VB; COMBUSTIBLE, UNPROTECTED					
OCCUPANCY CLASSIFICATION (302.1): <i>ASSUMED. TO BE DETERMINED AT FUTURE TENANT BUILD-OUTS.</i>	B - BUSINESS					
	M - MERCANTILE					
ALLOWABLE HEIGHT (TABLE 504.3):	40 FEET					
ALLOWABLE NO. STORIES (TABLE 504.4)	1 STORY (BASED ON MOST RESTRICTIVE GROUP M OCCUPANCY)					
ALLOWABLE AREA (TABLE 506.2)	9,000 SQ. FT.					
FRONTAGE INCREASE (506.3)	Aa = At + (NS x If)		At = 9,000			
	9,000 + (9,000 x 0.35)		If = 0.35 (WEIGHTED AVERAGE 26.8' YARD)			
	12,150 SQ. FT.		F = 419.33'			
			P = 654'			
ACTUAL HEIGHT AND AREA:	1 STORY; 15'-3"; 10,832 GSF					
OCCUPANCY SEPARATION (508):	NONE. NONSEPARATED OCCUPANCIES PER 508.3					
FIRE PROTECTION (903.2):	NONE					
FIRE RATINGS (TABLE 601)						
PRIMARY STRUCTURAL FRAME:	0 HOUR					
BEARING WALLS:	0 HOUR					
NON-BEARING WALLS:	0 HOUR					
FLOOR CONSTRUCTION:	0 HOUR					
ROOF CONSTRUCTION:	0 HOUR					
EXTERIOR WALLS (TABLE 602):	0 HOUR (FIRE SEPARATION DISTANCE EXCEEDS 10 FT.)					
OCCUPANT LOAD (TABLE 1004.1.2)	TO BE DETERMINED AT FUTURE TENANT BUILD-OUT PHASE(S)					
EXIT ACCESS TRAVEL (TABLE 1017.2):	200 FEET					
COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1):	75 FEET / 100 FEET					
DEAD END CORRIDOR (1020.4):	20 FEET					
EMERGENCY EGRESS ILLUMINATION (1008.2.1)	MIN. 1.0 Fc					
SANITARY FIXTURES (TABLE 2902.1):	1 UNISEX TOILET ROOM IS PROVIDED IN EACH TENANT SPACE. APPLICABILITY OF 2902.2 SHALL BE CONFIRMED AT FUTURE TENANT BUILD-OUT PHASE(S).					
	1 SERVICE SINK IS PROVIDED IN EACH TENANT SPACE					
ONE SET OF CONDITIONALLY APPROVED STAMPED DRAWINGS MUST BE KEPT ON THE JOBSITE AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO STATE AND LOCAL INSPECTORS.						
IF PROJECT IS NOT LOCATED IN A MUNICIPALITY WITH DSPS COMMERCIAL BUILDING INSPECTION DELEGATED AUTHORITY, THE CONTRACTOR SHALL CONTACT THE STATE BUILDING INSPECTOR FOR REQUIRED INSPECTIONS OF WORK. SEE CONDITIONAL APPROVAL LETTER FOR CONTACT INFORMATION.						

1. REFER TO ALL DRAWINGS INCLUDING ARCHITECTURAL, SITE, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
2. THIS PROJECT INCORPORATES DESIGN-BUILD CONTRACTORS WHO, IF NECESSARY, WILL CONTRACT WITH OWN ENGINEER OF RECORD FOR ANY REQUIRED SUBMITTALS INCLUDING HVAC, ELECTRICAL, LIGHTING, ENERGY CALCULATIONS, EMERGENCY EGRESS LIGHTING, AND EXTERIOR LIGHTING.
3. ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL REVIEW ALL DRAWINGS BEFORE THE INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS THAT WOULD CAUSE AN UNKWARD OR IMPROPER INSTALLATION, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
4. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE. USE GIVEN DIMENSIONS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION BEFORE COMMENCING THE WORK.
5. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. CONTRACTORS SHALL PROVIDE STIFFENERS, BRACING, BACKING PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE PROPER INSTALLATION OF ALL CASEWORK AND MISCELLANEOUS EQUIPMENT WHETHER SUCH SUPPORTS ARE SHOWN OR NOT.
7. GC SHALL COORDINATE MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION FLOOR ROOF AND WALL SLEEVES AND SHAFTS WITH MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS.
8. ALL INTERIOR FINISHES MUST CONFORM TO 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS, CHAPTER 8 INTERIOR FINISHES, AND ALL OTHER APPLICABLE CODES AND ORDINANCES INCLUDING TABLE 803.11.

Map of New London, Wisconsin, showing the project site location. The map includes major roads like Highway 45 and Highway 54, and landmarks such as Walmart, McDonald's, and the Wolf River State Fishery Area. A black dot and line indicate the 'PROJECT SITE' near the intersection of Highway 45 and Highway 54.

G1.0	COVER SHEET
G1.1	GENERAL INFORMATION
G2.1	SPECIFICATION
C1.1	COVER PAGE
C1.2	SITE PLAN
C1.4	TOPOGRAPHIC SURVEY
C1.5	DEMOLITION PLAN
C3.1	DRAINAGE PLAN
A1.1	FLOOR PLAN AND WALL TYPES
A1.2	ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTION
A6.1	SCHEDULES, OPENING TYPES AND DETAILS
S1.1	STRUCTURAL NOTES DETAILS FOUNDATION PLAN
S2.1	ROOF PLAN ELEVATIONS

Martenson & Eisele, Inc.
 Planning
 Environmental
 Surveying
 Engineering
 Architecture

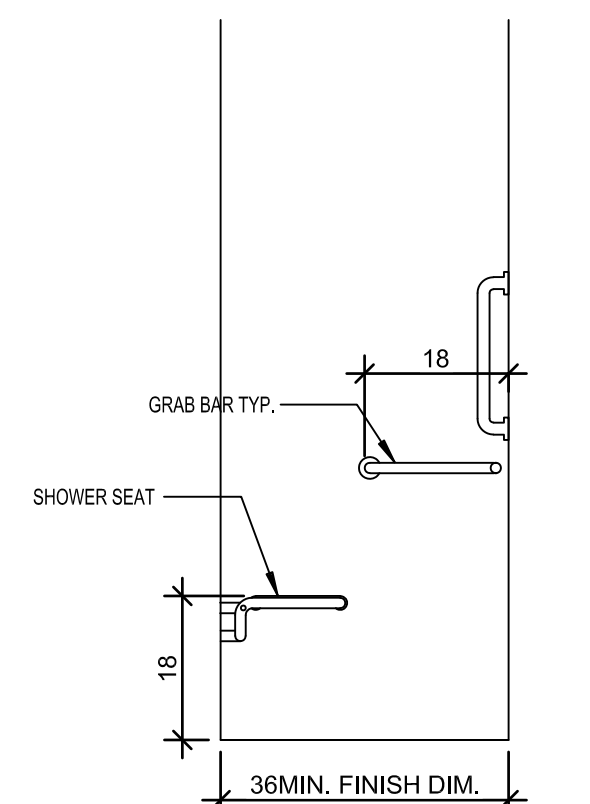
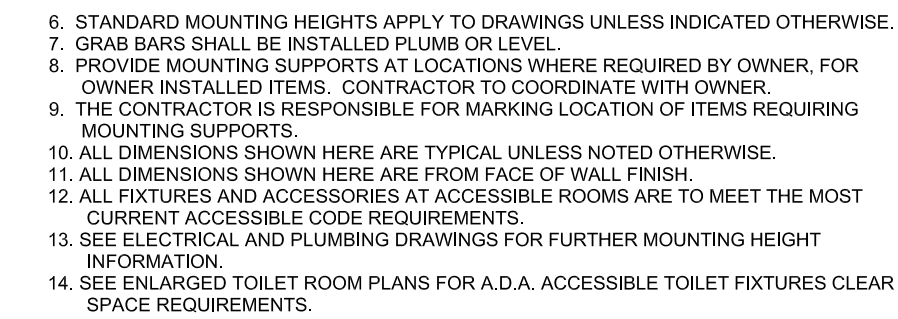
1377 Midway Road
 Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
 920.731.0381 1.800.238.0381

[illegible]

TOTAL INVESTMENT PROPERTIES II LLC
MULTI-TENANT COMMERCIAL BUILDING
1186 N SHAWANO STREET | NEW LONDON, WISCONSIN 54961

SCALE	DATE
-	04-19-2023
PROJECT NUMBER	
1-1771-001	
COVER SHEET	
DRAWING NO.	
G1.0	

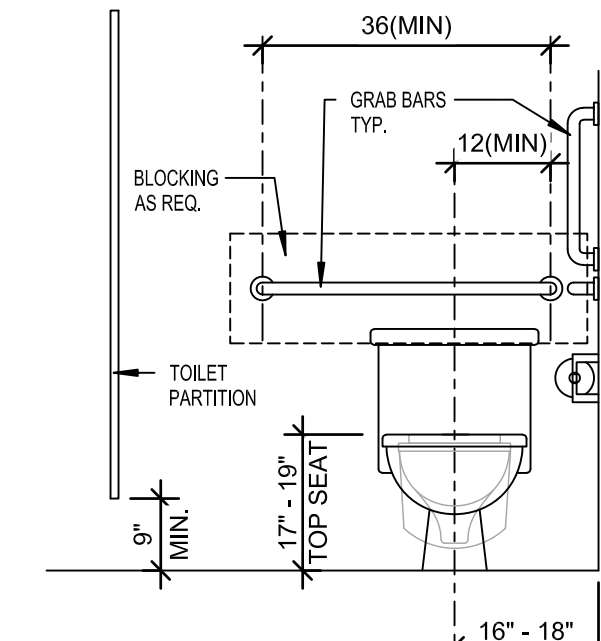
PRELIMINARY
NOT FOR CONSTRUCTION



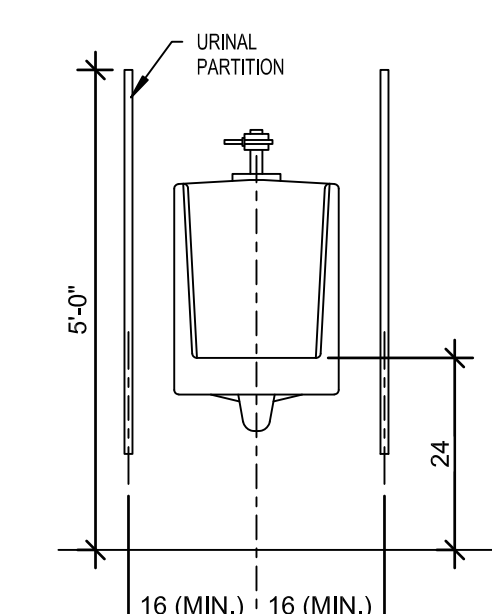
STANDARD EXIT SIGN

36" TRANSFER TYPE SHOWER

NOT ALL ARE USED. SEE PLANS FOR APPLICABLE STANDARD HEIGHTS. FOR INFORMATION ONLY



ADA TOILET FIXTURE CLEARANCES



STD WALL MOUNTED URINAL

NOT ALL ARE USED. SEE PLANS FOR APPLICABLE FIXTURES & ACCESSORIES. FOR INFORMATION ONLY.

1186 N SHAWANO STREET | NEW LONDON, WISCONSIN 54961

DRAWING NO.
G1.1

SPECIFICATION

DIVISION 00 PROCUREMENT AND CONTRACTING

00 72 00 GENERAL CONDITIONS

A. THE AIA GENERAL CONDITIONS 2021 LATEST EDITION IS A PART OF THESE DOCUMENTS. COPIES ARE ON FILE AT THE OFFICE OF MARTENSON & EISELE, INC.

DIVISION 01 GENERAL REQUIREMENTS

01 11 00 SUMMARY OF WORK

- A. THE PLANS AND SPECIFICATIONS ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. NO DEVIATION FROM THE PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MARTENSON & EISELE, INC. THE CONTRACTOR IS TO CLARIFY ANY DISCREPANCIES WITH MARTENSON & EISELE, INC. PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND ACCESS TO THE WORK AREA.
- B. REFERENCE TO "GENERAL CONTRACTOR" OR "GC" IN THE CONSTRUCTION DOCUMENTS IS INTENDED TO REPRESENT THE CONTRACTOR RESPONSIBLE FOR OVERALL CONSTRUCTION AND COORDINATION OF THE WORK. THE "GC" COULD BE A GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR ANY OTHER CONTRACTOR RESPONSIBLE FOR OVERALL PROJECT. IT IS THE RESPONSIBILITY OF THE GC TO ASSIGN RESPONSIBILITY FOR ALL WORK.
- C. THE FOLLOWING LIST IS INTENDED TO AID THE GC IN DIRECTING THE SUBCONTRACTORS REGARDING RESPONSIBILITY OF WORK. THE DRAWINGS MAY OR MAY NOT BESTIR RESPONSIBILITY FOR THESE SCOPE OF WORK. THE LIST IS INTENDED TO INCLUDE ITEMS WHICH HAVE TYPICALLY BEEN DETAILED TO BE "BY GC" OR "BY OTHERS". THIS LIST IS INTENDED TO PROVIDE THE GC AN AID TO ASSIGN THIS WORK SO SCOPE OF WORK IS PROPERLY BID. THE LIST IS NOT INTENDED TO BE ALL INCLUSIVE AND IT REMAINS THE RESPONSIBILITY OF THE GC TO ENSURE ALL SCOPE OF WORK ARE ASSIGNED AND PROVIDED.
1. TEMPORARY ELECTRIC SERVICE
 2. TEMPORARY HEATING
 3. TEMPORARY WATER
 4. TEMPORARY TOILETS
 5. PERMITS, CODES, ORDINANCES AND SALES TAX
 6. EXTERIOR CONCRETE EQUIPMENT PADS AND POLE BASES
 7. OPENINGS IN EXISTING CONSTRUCTION
 8. PIPE SLEEVES IN MASONRY, POURED CONCRETE AND FOUNDATION WALLS
 9. BOX OUT OPENINGS IN POURED CONCRETE AND FOUNDATION WALLS
 10. PATCHING OPENINGS IN WALLS AND ROOF
 11. SAWCUTTING AND REMOVAL OF FLOOR FOR UTILITIES
 12. CONCRETE FLOOR REPLACEMENT WHERE SAWCUT
 13. INSTALLATION OF CELLULAR WALL ACCESS PANELS
 14. INSTALLATION OF DOW CURBS AND ASSOCIATED BLOCCING
 15. PAINTING
 16. SEALANTS
 17. INTERIOR AND EXTERIOR DRAIN DRAINS AND BLEEDERS
 18. TUB, SHOWERS, MOP SINK, FLOOR DRAIN SAVING
 19. WATERPROOF MEMBRANES AT ABOVE GRADE FLOORS

01 25 13 PRODUCT SUBSTITUTION PROCEDURES

A. REFERENCE TO MATERIALS OR SYSTEMS HEREIN BY NAME, MAKE OR CATALOG NUMBER IS INTENDED TO ESTABLISH A QUALITY STANDARD, AND NOT TO LIMIT COMPETITION. THE WORDS "OR APPROVED EQUIVALENT" ARE IMPLIED FOLLOWING EACH BRAND NAME/MODEL NUMBER, UNLESS STATED OTHERWISE. "OR APPROVED EQUIVALENT" MATERIALS SHALL BE APPROVED BY MARTENSON & EISELE, INC. PRIOR TO BIDS BEING ACCEPTED AND ACCEPTANCE FOR USE. PROVIDE A LETTER FROM THE MANUFACTURER CERTIFYING THAT THE PRODUCT MEETS OR EXCEEDS THE SPECIFIED PRODUCT.

01 31 00 PROJECT MANAGEMENT AND COORDINATION

- A. THE CONTRACTOR HAS THE SOLE RESPONSIBILITY FOR AND SHALL HAVE CONTROL OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND SAFETY PRECAUTIONS AND PROCEDURES USED TO CONSTRUCT THE WORK.
- B. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL (INCLUDING TAXES) AND EQUIPMENT AS NECESSARY TO COMPLETE THE WORK. PERMITS SHALL BE OBTAINED AND PAID FOR BY THE RESPECTIVE CONTRACTOR, INCLUDING TEMPORARY OCCUPANCY PERMIT IF REQUIRED.
- C. AUTOCAD FILES OF CONSTRUCTION DOCUMENTS MAY BE OBTAINED FROM CONTRACTING MARTENSON & EISELE, INC. AUTOCAD FILE REQUESTS SHALL BE EMAILED TO THE PROJECT MANAGER AND SHALL INCLUDE THE FOLLOWING INFORMATION:
1. PROJECT NAME
 2. PROJECT NUMBER
 3. SHEET NUMBERS REQUESTED
- D. AUTOCAD FILES SHALL NOT BE USED FOR COMPONENT SUBMITTALS OR SHOP DRAWINGS. SUBMITTALS AND SHOP DRAWINGS USING MARTENSON & EISELE, INC. CAD FILES WILL BE RETURNED REJECTED AND UNREVIEWED.
- E. ALL "REQUEST FOR INFORMATION" (RFI) SHALL BE MADE THROUGH THE GENERAL CONTRACTOR / CONSTRUCTION MANAGER FOR LOGGING AND TRACKING PURPOSES. RFIS SHALL BE SUBMITTED TO THE MARTENSON & EISELE PROJECT MANAGER. RFIS SHALL BE SUBMITTED ON AN ARCHITECT APPROVED FORM, NUMBER SEQUENCE AND INCLUDE THE FOLLOWING INFORMATION:
1. PROJECT NAME
 2. PROJECT NUMBER
 3. DIVISION OF CONSTRUCTION REFERENCED
 4. POTENTIAL SCHEDULE IMPACTS
 5. POTENTIAL COST IMPACTS OF ANY SUGGESTED ALTERNATES FROM THE CONSTRUCTION DOCUMENTS

01 32 00 SCHEDULING OF WORK

A. THE CONTRACTOR SHALL OBTAIN THE OWNER'S APPROVAL OF THE CONSTRUCTION SCHEDULE PRIOR TO PROCEEDING WITH THE WORK.

01 33 23 SUBMITTALS

- A. SUBMITTALS SHALL BE MADE TO MARTENSON & EISELE, INC. FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- B. SUBMITTALS SHALL BE MADE BY ELECTRONIC SUBMISSION IN PORTABLE DOCUMENT FORMAT (PDF) UNLESS NOTED OTHERWISE. WHEN HARD COPY SUBMISSIONS ARE REQUIRED, COORDINATE WITH MARTENSON & EISELE, INC. PRIOR TO SUBMISSION.
- C. SUBMITTALS SHALL BE MADE TO THE MARTENSON & EISELE, INC. PROJECT MANAGER.
- D. SUBMITTAL SHALL BE MADE USING APPROVED SUBMITTAL FORM CONTAINING AT MINIMUM THE FOLLOWING INFORMATION:
1. PROJECT NAME
 2. PROJECT NUMBER
 3. SUBMITTAL DIVISION OF CONSTRUCTION
 4. MATERIAL SUPPLIER / SUB CONTRACTOR
- E. SUBMITTAL DESCRIPTION (i.e. CONCRETE MIX DESIGN)
- F. SUBMITTALS SHALL BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMITTING FOR APPROVAL. CONTRACTOR SHALL COMPLETE ALL FIELD VERIFICATIONS PRIOR TO SUBMITTAL SUBMISSION.
- F. SUBMITTALS MUST BE 100% COMPLETE AND IN ONE (1) PACKAGE FOR THE ITEM BEING SUBMITTED. NON-COMPLETE SUBMITTALS WILL BE RETURNED TO THE CONTRACTOR WITHOUT COMMENT AND STAMPED "REJECTED". CONTRACTORS WHO KNOWINGLY WANT TO SUBMIT NON-COMPLETE SUBMITTALS OR BREAK SINGLE SYSTEM SUBMITTALS INTO MULTIPLE SUBMITTALS WILL BE RESPONSIBLE TO ARRANGE WITH MARTENSON & EISELE, INC. PRIOR TO SUBMITTING THE SUBMITTALS, AND TO COMPENSATE MARTENSON & EISELE FOR THE EXTRA WORK INVOLVED.
- G. FAILURE TO SUBMIT SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE SPECIFIED EQUIPMENT AND MATERIALS.
- H. BUILDING COMPONENTS REQUIRING SUBMISSION "FOR RECORD" TO THE AUTHORITY HAVING JURISDICTION REQUIRE SEALS AND SIGNATURE OF HARD COPIES, PROVIDE THREE (3) HARD COPIES WITH NET SEAL AND ORIGINAL SIGNATURE.
- I. TEST RESULTS SHALL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS OF COMPLETION OF TEST. CONTRACTOR SHALL ALLOW TO WORKING DAYS IN SCHEDULE FOR AS TO REVIEW SUBMITTALS. IF SUBMITTALS REQUIRE AN EXPEDITED REVIEW PROCESS, CONTACT MARTENSON & EISELE, INC. PRIOR TO SUBMITTING THE SUBMITTALS TO MAKE THE APPROPRIATE ARRANGEMENT.
- K. SUBMITTALS REQUIRING RESUBMISSION SHALL HAVE CHANGES MADE TO A PREVIOUSLY REVIEWED SUBMITTALS DENOTED WITH REVISION CIRCLES AND TAGS IDENTIFYING CHANGES.
- L. STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. SHOP DRAWING DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, PITCHES, ELEVATIONS, ETC. BEYOND THOSE NOTED AS NECESSARY TO THOROUGHLY DETAIL FABRICATE THEIR WORK. CONTRACT ARE WITH ANY DISCREPANCIES FOUND.
- M. IN NO CASE SHALL CHANGES BE MADE TO WORK SHOWN OR PROCEDURE SPECIFIED ON STRUCTURAL PLANS UNLESS FIRST APPROVED IN WRITING BY A/E. REVIEW OF SHOP DRAWINGS BY A/E DOES NOT CONSTITUTE ACCEPTANCE OF A DESIGN CHANGE. PROPOSED CHANGES BY CONTRACTOR MUST BE SUBMITTED IN RFI FORMAT AND MUST BE APPROVED BY THE SAME MANNER. CONTRACTOR REQUESTING CHANGE MAY BE BILLED ON A TIME AND EXPENSE BASIS BY A/E FOR ALL REDESIGN WORK FOR ALL NEW SKETCHES PREPARED, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO THE CHANGES.

01 40 00 QUALITY REQUIREMENTS

A. IN AS MUCH AS THE SPECIFICATIONS ARE BRIEF, THE CONTRACTOR SHALL PROVIDE WORKMANSHIP THAT IS NEAT, SECURE AND OF THE BEST QUALITY WITH THE BEST POSSIBLE APPEARANCE AND UTILITY MEETING ALL APPLICABLE STANDARDS. FAULTY WORK SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. INDUSTRY STANDARDS SHALL BE USED AS THE GUIDE FOR QUALITY OF MATERIALS AND WORKMANSHIP.

01 41 00 REGULATORY REQUIREMENTS

A. ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (A.D.A.) ARE MADE PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH AS FAR AS THEY APPLY TO WORK UNDER THIS CONTRACT.

01 45 00 QUALITY CONTROL

A. NOTIFY ARCHITECT ONE WEEK IN ADVANCE TO SCHEDULE FINAL COMPLIANCE WALK-THRU. ALL COMPONENT SUBMITTALS SHOULD BE FILED AND AVAILABLE FOR REVIEW AT THE WALK THRU. THE BUILDING SHALL BE COMPLETE AND ALL SYSTEMS OPERATIONAL AT THE TIME OF THE WALK THRU. IF THE ARCHITECT IS REQUIRED TO MAKE ADDITIONAL VISITS DUE TO NON-COMPLIANCE, THEY WILL BE CHARGED TO THE REQUESTING CONTRACTOR.

01 52 00 CONSTRUCTION FACILITIES

A. THE CONTRACTOR SHALL FURNISH TEMPORARY OFFICE, TOILET FACILITIES, WORKING TELEPHONE, ELECTRICITY, HEAT, WATER AND FIRE EXTINGUISHERS AS REQUIRED FOR COMPLETION OF THE WORK. UNLESS THE OWNER HAS AGREED IN WRITING TO FURNISH OR WAIVE ANY OF THE ABOVE ITEMS.

01 53 00 TEMPORARY CONSTRUCTION

A. THE CONTRACTOR SHALL FURNISH TEMPORARY BRACING OF ALL BUILDING ELEMENTS DURING CONSTRUCTION. TEMPORARY BRACING SHALL BE DESIGNED TO WITHSTAND ALL APPLICABLE DESIGN LOADS. CONTRACTOR SHALL RETAIN SERVICES OF A PROFESSIONAL ENGINEER TO DESIGN AND SUPERVISE BRACING INSTALLATION IF THEY DO NOT HAVE THE EXPERTISE REQUIRED.

01 71 00 FIELD ENGINEERING

A. THE CONTRACTOR SHALL PROVIDE ALL LAYOUT AS REQUIRED, COMPETENT ON SITE SUPERVISION, AND BROOM CLEANING OF CONSTRUCTION SITE INCLUDING DUMPSTERS FOR REFUSE DISPOSAL. THE FOLLOWING MANUFACTURERS' INSTRUCTIONS ON PRODUCT STORAGE AND HANDLING C. STORE MOISTURE SENSITIVE MATERIALS IN WEATHER PROTECTED ENCLOSURES.

01 78 00 CLOSEOUT SUBTITMALS

P. THE CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS REFLECTING ALL CHANGES DURING CONSTRUCTION. PROVIDE TWO (2) COPIES OF OPERATING AND MAINTENANCE MANUALS TO OWNER FOR ALL FURNISHED EQUIPMENT.

01 78 36 WARRANTIES

A. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE PROJECT. FURNISH MANUFACTURERS WRITTEN WARRANTIES FOR SPECIFIED EQUIPMENT STATING EFFECTIVE WARRANTY DATE.

DIVISION 02 EXISTING CONDITIONS

02 41 19 SELECTIVE STRUCTURAL DEMOLITION

- A. CONDUCT DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO INSURE MINIMUM INTERFERENCE WITH ROADS, SIDEWALKS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- B. IT IS UNKNOWN WHETHER HAZARDOUS MATERIALS WILL BE ENCOUNTERED, DO NOT DISTURB, IMMEDIATELY NOTIFY ARCHITECT AND OWNER.
- C. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS SHOWN ON THE DEMOLITION PLANS. USE METHODS REQUIRED TO COMPLETE THE WORK WITH LIMITATIONS OF GOVERNING REGULATIONS.
- D. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED OR TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA APPROVED LANDFILL.

DIVISION 03 CONCRETE

03 30 00 CAST-IN-PLACE CONCRETE

- A. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE AND CRSI MANUAL OF STANDARD PRACTICE.
- B. REFER TO STRUCTURAL DRAWINGS INCLUDED IN THIS SET FOR ADDITIONAL REQUIREMENTS.
- C. GRADE:

DIVISION 6 WOOD, PLASTICS AND COMPOSITES

06 10 00 ROUGH CARPENTRY

- A. LUMBER SHALL BE GRADED AND STAMPED WITH MINIMUM STRUCTURAL DESIGN VALUES AS LISTED ON THE STRUCTURAL DRAWINGS AND USED IN ACCORDANCE WITH THE SET.
- B. MISCELLANEOUS LUMBER: PROVIDE NO. 2 OR STANDARD GRADE LUMBER OF ANY SPECIES FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION, INCLUDING ROOFTOP EQUIPMENT CURBS AND SUPPORT BASES, CANT STRIPS, BUGS, NAILERS, BLOCCING, AND SIMILAR MEMBERS.
- C. PROTECTION AGAINST DECAY WITH PRESERVATIVE-TREATED WOOD SHALL BE REQUIRED IN THE FOLLOWING AREAS:
1. ALL WOOD SILL PLATES, FRAMING, AND FURRING STRIPS ATTACHED TO EXTERIOR BELOW GRADE
 2. ALL WOOD PLATES, BLOCCING, FRAMING AND FURRING STRIPS ATTACHED TO EXTERIOR, SINGLE-WYTHE MASONRY WALLS.
 3. ALL WOOD CAP FLASHING BLOCCING ATTACHED TO MASONRY OR CONCRETE PARAPETS.
 4. ALL WOOD SLEEPERS AND SILL PLATES ON CONCRETE SLABS IN DIRECT CONTACT WITH EARTH.
 5. EXCEPTION: WOOD SILL PLATES ON CONCRETE SLABS SEPARATED FROM DIRECT CONTACT TO THE EARTH WITH A 10 MIL POLYETHYLENE VAPOR RETARDANT WILL NOT REQUIRE PRESERVATIVE-TREATMENT.
 6. ALL WOOD IN CONTACT WITH GROUND OR EXPOSED TO THE WEATHER.
- D. FINISHES FOR FASTENERS AND HARDWARE IN CONTACT WITH PRESERVATIVE-TREATED WOOD ARE BASED ON THE FOLLOWING ASSUMPTIONS:
1. ALL TREATMENT WITH A GROUP OR AN ACO-C, ACO-Q, ACO-P (CARBONATE), CBA-A, OR CBA-T TREATMENT WITH RETENTION LEVELS LESS THAN OR EQUAL TO 0.60 PCF, 0.40 PCF, 0.41 PCF, AND 0.21 PCF RESPECTIVELY.
 2. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH INTERIOR TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED, MECHANICALLY GALVANIZED, OR STAINLESS STEEL.
 3. ALL CONNECTION HARDWARE AND FASTENERS IN DIRECT CONTACT WITH EXPOSED EXTERIOR TREATED WOOD OR UNKNOWN TREATMENTS SHALL BE STAINLESS STEEL.
 4. USE TAPCON OR MAXIM FASTENERS TO CONNECT ACO-TREATED WOOD BLOCCING TO MASONRY OR CONCRETE PARAPETS.

06 20 13 EXTERIOR FINISH CARPENTRY

- A. INSTALL EXTERIOR FINISH CARPENTRY (ELITE, PLUME, TRUE, AND ALIGNED WITH ADJACENT MATERIALS.
- B. SCRIBE AND CUT EXTERIOR FINISH CARPENTRY TO FIT ADJOINING WORK, REFINISH AND SEAL CUTS AS RECOMMENDED BY MANUFACTURER.
- C. INSTALL TRIM WITH MINIMUM NUMBER OF JOINTS PRACTICAL, USING FULL LENGTH PIECES FROM MAXIMUM LENGTHS OF LUMBER AVAILABLE.
- D. INSTALL EXTERIOR FINISH CARPENTRY TO COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- E. SEE PLANS FOR SINDING, TRAMFACIA, SOFFIT, ETC MATERIAL TYPE AND LOCATION.

DIVISION 07 THERMAL AND MOISTURE PROTECTION

07 21 00 INSULATION

- A. ALL INSULATION MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES.
- B. FIBERGLASS INSULATION
1. MANUFACTURER: CERTANTIED OR OWENS CORNING.
 2. FIBERGLASS BATT OR ROLL COMPLYING WITH ASTM C866 AND NONCOMBUSTIBLE PER ASTM E330.
 3. THICKNESS OR R VALUE AS INDICATED ON PLANS. IF THICKNESS IS NOT SHOWN ON PLANS, THICKNESS TO BE THE DEPTH OF THE WALL OR RAFTER SYSTEM.
- C. VALU POR RETARDER
1. WALL
 - a. MANUFACTURER: CERTANTIED "MEMBRAN"
 - b. MEMBRANE VAPOR RETARDER INSTALLED ON WARM SIDE (NORMALLY INSIDE) FACE OF THE INSULATION. MAX PERM 1.0 PER ASTM E86.
- D. UNDER SLAB
- a. MANUFACTURER: W.R. MEADOWS "PERIMETER"
 - b. 10 MIL POLYOLEFIN-BASED RESIN. MAX PERM 0.02 PER ASTM E-86.
- D. BLOWN IN FIBER GLASS INSULATION
1. MANUFACTURER: CERTANTIED "INSULSAFE SP"
 2. THICKNESS AS INDICATED ON PLANS.
- E. BLOWN IN WALL INSULATION
1. MANUFACTURER: CERTANTIED "OPTIMA"
- F. ACoustical WALL INSULATION
1. MANUFACTURER: CERTANTIED
 2. WOOD FRAME WALLS: NOISE REDUCER SOUND CONTROL BATTS
 3. METAL FRAMED WALLS: CERTANSOUND SOUND ATTENUATION BATTS
 4. CEILING: CERTASOUND SOUND ATTENUATION BATTS
- G. EXTERIOR MASONRY
1. MANUFACTURER: TAILORED CHEMICAL PRODUCTS "CORE-FILL 500" FOM-FLAME IN PLACE
 2. TWO COMPONENT FIBERGLASS INSULATION PRODUCED BY COMBINING A PLASTIC RESIN AND CATALYST FORMING AGENT SURFACTANT WHICH, WHEN PROPERLY RATIOED AND MIXED TOGETHER WITH COMPRESSED AIR PRODUCE A COLD-SETTING FOM INSULATION IN THE HOLLOW CORES OF HOLLOW UNIT MASONRY WALLS.
 3. THERMAL VALUE: "R" VALUE OF 4.0 INCHES AT 32 DEGREES F MEAN ASTM C-177.

- H. FOUNDATION DRAINAGE PANELS
1. MANUFACTURER: DOW STYROFOAM PERIMATE EXTRUDED POLYSTYRENE PANELS.
 2. THERMAL VALUE: "R" VALUE OF 5.0 PER INCH, C-18
 3. THICKNESS AS INDICATED ON PLANS.
- I. FOUNDATION INSULATION
1. MANUFACTURER: DOW STYROFOAM SQUARE EGDE EXTRUDED POLYSTYRENE INSULATION PANELS, 25 PSI COMPRESSIVE STRENGTH AT 5% DEFORMATION, THERMAL VALUE "R" VALUE OF 5.0 PER INCH
 2. MANUFACTURER: PLYMOUTH FOAM GOLD-GUARD FOUNDATION PERIMETER INSULATION EXPANDED POLYSTYRENE INSULATION, 25 PSI COMPRESSIVE STRENGTH AT 10% DEFORMATION, THERMAL VALUE "R" VALUE OF 4.36 PER INCH
 3. "R" VALUE AS INDICATED ON PLANS
- J. BELOW SLAB INSULATION
1. MANUFACTURER: DOW STYROFOAM SQUARE EGDE EXTRUDED POLYSTYRENE INSULATION PANELS, THERMAL VALUE "R" VALUE OF 5.0 PER INCH
 2. 25 PSI COMPRESSIVE STRENGTH EXGELS WHERE PLANS DETAILS INDICATE HIGHER VALUE
 3. STYROFOAM HIGH-LOAD INSULATION WHERE HIGHER COMPRESSIVE STRENGTH REQUIRED.
 4. THICKNESS AS INDICATED ON PLANS.
- K. SPRAY POLYURETHANE FOAM INSULATION
1. MANUFACTURER: DOW STYROFOAM SPRAY POLYURETHANE FOAM (CM RESISTIVE)
 2. CLOSED CELL POLYURETHANE FOAM INSULATION TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPROPRIATE SIZED BACKER RODS AND BOND
 3. THERMAL VALUE: "R" VALUE OF 6.0 INCHES AT 32 DEGREES F MEAN ASTM C-177
 4. "R" VALUE AS INDICATED ON THE PLANS

- L. ROOF INSULATION
1. SEE ROOF PLAN.
- O. SILL SEAL
1. MANUFACTURER: DOW STYROFOAM SILL SEAL, FOAM GASKET.
- P. FOLLOW MANUFACTURER'S INSTRUCTIONS ON PRODUCT STORAGE AND HANDLING.
- Q. INSTALL INSULATION IN ACCORDANCE WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS AND AS SHOWN ON PLANS.

07 25 00 WEATHER BARRIERS

- A. PRODUCT: BUILDING WRAP TO BE STYROFOAM WEATHERMATE PLUS HOUSE WRAP OR TYVEK. CONSTRUCTION: DOW STYROFOAM WEATHERMATE PLUS HOUSE WRAP OR TYVEK.
- B. IN WOOD FRAME CONSTRUCTION AND EIFS USE PRODUCT: COMMERCIAL BUILDING WRAP TO BE TYVEK COMMERCIAL WRAP D.
1. MANUFACTURER: DUPONT

07 27 26 AIR AND MOISTURE BARRIER

- A. ALL AIR AND MOISTURE BARRIER MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES.
- B. FOLLOW MANUFACTURERS' INSTRUCTIONS ON PRODUCT STORAGE AND HANDLING
- C. STORE MOISTURE SENSITIVE MATERIALS IN WEATHER PROTECTED ENCLOSURES.
- D. PROVIDE A COMPLETE AIR AND MOISTURE BARRIER SYSTEM USING A FLUID APPLIED THREE-PART SYSTEM. THE SYSTEM CONSISTS OF ADHESIVE MESH TAPE AND LIQUID FILL AND SPRAY WRAP.
1. ACCEPTABLE PRODUCT: PROSOCO R-GUARD MIP.
- F. INSTALL AIR AND MOISTURE BARRIER IN ACCORDANCE WITH MANUFACTURERS' INSTALLATION INSTRUCTIONS AND AS SHOWN ON PLANS.
1. APPLY R-GUARD TAPE OVER SHEATHING JOINTS AND SEAMS. FOLD AND APPLY R-GUARD TAPE TO ROUGH OPENINGS, INSIDE AND OUTSIDE CORNERS. USE A SEAM ROLLER OR OTHER BLUNT TOOL TO FIRMLY ADHERE TAPE TO SHEATHING.
 2. UNIFORMLY COVER TAPE AND ABOUT 4 INCHES OF SHEATHING ON EITHER SIDE OF THE TAPE WITH R-GUARD FILL USING A TROWEL OR TEXTURE SPRAYER. TROWEL SMOOTH. SPOT FILL FASTENERS AND SURFACE DEFECTS WITH R-GUARD FILL LET DRY.
 3. SPRAY OR ROLLER APPLY R-GUARD SPRAY WRAP TO THE ENTIRE SURFACE-INCLUDING AREAS COVERED BY R-GUARD TAPE AND R-GUARD FILL TO A UNIFORM WET MIL THICKNESS (10 MIL). LET DRY. ON MASONRY CONSTRUCTION WHEN SPRAY APPLYING, BACKROLL TO CLOSE PINHOLES AND ENSURE EVEN COVERAGE. APPLY NUMBER OF COATS AS REQUIRED BY MANUFACTURERS' SPECIFICATIONS.
- G. ALL SURROUNDING AREAS WHERE THE AIR AND MOISTURE BARRIER HAS BEEN INSTALLED, SHALL BE LEFT FREE OF DEBRIS AND FOREIGN SUBSTANCES RESULTING FROM THE WORK.
- H. PROTECT FINISHED WORK FROM DAMAGE DURING REMAINDER OF CONSTRUCTION PERIOD.

07 53 23 ETHYLENE-PROPYLENE-DIENE-MONOMER (EPDM) ROOFING

- A. COORDINATE INSTALLING MEMBRANE ROOFING SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORKDAY.
- B. COMPLY WITH MEMBRANE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING ROOF INSULATION.
- C. INSTALL MEMBRANE ROOFING OVER AREA TO RECEIVE ROOFING AND ADHERE TO MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS. UNLESS MEMBRANE ROOFING AND ALLOW TO RELAX BEFORE INSTALLING.
- D. SEAM MEMBRANE ROOFING ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS TO ENSURE A WATER TIGHT SEAM INSTALLATION.
- E. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES ACCORDING TO MEMBRANE ROOFING SYSTEM MANUFACTURERS WRITTEN INSTRUCTIONS
- F. SEE PLANS FOR MATERIAL TYPE AND LOCATION.

07 84 13 PENETRATION FIRESTOPPING

- A. PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
1. GRADE CONSTRUCTION PRODUCTS
 2. HILL, INC.
 3. JOHN MAXVILLE
 4. 3M FIRE PROTECTION PRODUCTS
 5. TREMCO, INC. - TREMCO FIRE PROTECTION SYSTEMS GROUP
 6. USG CORPORATION
- B. PROVIDE PENETRATION FIRESTOPPING THAT IS PRODUCED AND INSTALLED TO RESIST SPREAD OF FIRE ACCORDING TO THE FOLLOWING REQUIREMENTS:
- C. GASES AND MAINTAIN ORIGINAL FIRE-RESISTANCE RATING OF CONSTRUCTION PENETRATED. PENETRATION FIRESTOPPING SYSTEMS SHALL BE COMPATIBLE WITH ONE ANOTHER, WITH THE SUBSTRATES FORMING OPENINGS, AND WITH PENETRATING ITEMS IF ANY.
- C. PENETRATIONS IN FIRE-RESISTANCE-RATED WALLS: RATINGS DETERMINED PER ASTM E 81 OR UL 1479.
1. RATINGS: NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTION PENETRATED.
- D. PENETRATIONS IN HORIZONTAL ASSEMBLIES: RATINGS DETERMINED PER ASTM E 814 OR UL 1479
1. RATINGS: AT LEAST 1 HOUR, BUT NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS PENETRATED.
 2. RATINGS: AT LEAST 1 HOUR, BUT NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS PENETRATED EXCEPT FOR FLOOR PENETRATIONS WITHIN THE CAVITY OF A WALL.
- E. PENETRATIONS IN WALL BARRIERS: PROVIDE PENETRATION FIRESTOPPING WITH RATINGS DETERMINED PER UL 1479.
1. RATINGS: NOT EXCEEDING 5.0 CM/SQ. FT. OF PENETRATION OPENING AT BOTH AMBIENT AND ELEVATED TEMPERATURES.
- F. EXPOSED PENETRATION FIRESTOPPING: PROVIDE PRODUCTS WITH FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF LESS THAN 25 AND 450, RESPECTIVELY, AS DETERMINED PER ASTM E 84.
- G. ACCESSORIES: PROVIDE COMPONENTS FOR EACH PENETRATION FIRESTOPPING SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS AND TO MAINTAIN RATINGS REQUIRED. USE ONLY THOSE COMPONENTS SPECIFIED BY PENETRATION FIRE STOPPING MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR FIRESTOPPING.
- H. EXAMINE SUBSTRATES AND CONDITIONS, FOR COMPLIANCE WITH REQUIREMENTS FOR OPENING CONFIGURATIONS, PENETRATING ITEMS, SUBSTRATES, AND OTHER CONDITIONS AFFECTING PERFORMANCE OF THE WORK.
- I. INSTALL PENETRATION FIRE STOPPING TO COMPLY WITH MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS AND PUBLISHED DRAWINGS FOR PRODUCTS AND APPLICATIONS INDICATED.
- J. INSTALL FORMING MATERIALS AND OTHER ACCESSORIES OF TYPES REQUIRED TO SUPPORT FILL MATERIALS DURING THEIR APPLICATION AND IN THE POSITION NEEDED TO PRODUCE CROSS-SECTIONAL SHAPES AND DEPTHS REQUIRED TO ACHIEVE FIRE RATINGS INDICATED.
1. AFTER INSTALLING FILL MATERIALS AND ALLOWING THEM TO FULLY CURE, REMOVE COMBUSTIBLE FORMING MATERIALS AND OTHER ACCESSORIES NOT INDICATED AS PERMANENT COMPONENTS OF FIRESTOPPING.
- K. INSTALL ALL MATERIALS FOR FIRESTOPPING BY PROVEN TECHNIQUES TO PRODUCE THE FOLLOWING RESULTS:
1. FILL VOIDS AND CAVITIES FORMED BY OPENINGS, FORMING MATERIALS, ACCESSORIES, AND PENETRATING ITEMS AS REQUIRED TO ACHIEVE FIRE-RESISTANCE RATING.
 2. APPLY MATERIALS SO THEY CONTACT AND ADHERE TO SUBSTRATES FORMED BY OPENINGS AND PENETRATING ITEMS.
 3. FOR FILL MATERIALS THAT WILL REMAIN EXPOSED AFTER COMPLETING THE WORK, FINISH TO PRODUCE SMOOTH, UNIFORM SURFACES THAT ARE FLUSH WITH ADJOINING FINISHES.
 4. IDENTIFY PENETRATION FIRESTOPPING AND MASONRY OTHER ACCESSORIES NOT INDICATED AS PERMANENT COMPONENTS OF FIRESTOPPING.
 5. LABEL ALL MATERIALS TO SURFACES ADJACENT TO AND WITHIN 8 INCHES OF FIRESTOPPING EDGE SO LABELS WILL BE VISIBLE TO ANYONE SEEKING TO REMOVE PENETRATING ITEMS OR FIRESTOPPING. USE MECHANICAL FASTENERS OR SELF-ADHERING-TYPE LABELS WITH ADHESIVE CAPABLE OF PERMANENTLY BONDING LABELS TO SURFACES ON WHICH LABELS ARE PLACED. INCLUDE THE FOLLOWING INFORMATION ON LABELS:

1. THE WORDS "FIRESTOPPING - PENETRATION FIRESTOPPING - DO NOT DISTURB. NOTIFY BUILDING MANAGEMENT OF ANY DAMAGE"
2. CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER
3. DESIGNATION OF APPLICABLE TESTING AND INSPECTING AGENCY
4. DATE OF INSTALLATION
5. MANUFACTURERS NAME
6. INSTALLER'S NAME

07 92 00 SEALANTS

- A. GENERAL: IT IS THE INTENTION OF THIS SPECIFICATION THAT ALL JOINTS ARE TO RECEIVE SEALANT. CONTRACTOR SHALL FOLLOW THE WRITTEN INSTRUCTIONS AND AS SHOWN ON PLANS TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, JOINT WIDTH, SURFACE PREPARATION, PRIMERS, APPLICATION TECHNIQUE, AND MATERIAL STORAGE.
- SEALANT IS TO BE APPLIED AFTER FINISH OPERATIONS ARE COMPLETE, UNLESS OTHERWISE NOTED IN THE MANUFACTURERS INSTRUCTIONS. APPROPRIATE SIZED BACKER RODS AND BOND BREAK IS REQUIRED AT ALL JOINTS.
- B. EXTERIOR:
1. SEAL PERIMETER OF ALL WINDOWS, DOORS, LOUVERS, VENT OPENINGS, AND ANY LOCATION WHERE DIFFERENT MATERIALS MEET, WITH SEALANT TYPE ES-1.
 2. SEAL JOINTS AT ROOF OPENINGS, EAVES, AND SOFFITS, FOR A WATER TIGHT CONNECTION WITH SEALANT TYPE ES-2.
 3. SEAL THRESHOLDS TO SUBSTRATE WITH SEALANT TYPE ES-3.
 4. SEAL ALL CMU CONTROL JOINTS, JOINTS IN PRE-CAST CONCRETE PANELS, AND JOINTS BETWEEN PRE-CAST COMPONENTS AND MASONRY OR OTHER PRE-CAST OR CAST-IN-PLACE CONCRETE, WITH SEALANT TYPE ES-4.
 5. SEAL ALL JOINTS IN TRAFFIC SURFACES SUCH AS CONCRETE PAVEMENT, SIDEWALKS, AND PADS WITH SEALANT TYPE ES-4.
 6. SEAL AT SURFACES JOINTS IN EXCESS OF 1/2" DEEP FOOT.
 7. SEAL FACE JOINTS IN INSULATED PANELS WHERE INDICATED WITH SEALANT TYPE ES-4.
- C. INTERIOR:
1. SEAL ALL CMU CONTROL JOINTS, JOINTS IN PRE-CAST CONCRETE PANELS, AND JOINTS BETWEEN PRE-CAST COMPONENTS AND MASONRY OR OTHER PRE-CAST OR CAST-IN-PLACE CONCRETE, WITH SEALANT TYPE ES-4.
 2. SEAL JOINTS IN EXPOSED CONCRETE SLABS IN WITH SEALANT TYPE ES-4.
 3. SEAL JOINTS BETWEEN TOP OF CONCRETE CURBS AND INSULATED METAL PANELS WITH SEALANT TYPE ES-10.
 4. SEAL JOINTS IN COOLER AND FREEZER FLOORS WITH SEALANT ES-11.
 5. SEAL JOINTS AT ALL LOCATIONS INDICATED TO RECEIVE "STANDARD" FINISH IN FOOD PROCESSING FACILITIES, FOOD PREPARATION, AND FOOD STORAGE AREAS WITH SEALANT TYPE ES-10.
 6. SEAL COUNTERTOPS, BACKSPLASH, PERIMETERS OF PLUMBING FIXTURES WITH SEALANT TYPE ES-12.
 7. SEAL UNDER BASE TRACK FOR DRYWALL PARTITIONS, INTERIOR DOOR AND WINDOW FRAMES, AND WALL ANGLE AT SUSPENDED CEILINGS WITH SEALANT TYPE AS-1.
- D. SEALANT SCHEDULE: (SIMILAR PRODUCTS BY OTHER MANUFACTURERS MAY BE SUBMITTED FOR APPROVAL.)
- ES-1: TREMCO "DYMOVIC FC" ONE PART HIGH PERFORMANCE POLYURETHANE SEALANT.
 - ES-2: TREMCO "OUTTER SEAL" SYNTHETIC RUBBER AND RESIN SEALANT.
 - ES-3: TREMCO "BUTYL SEALANT"
 - ES-4: TREMCO "VULKEM 116" ONE PART LOW MODULUS POLYURETHANE SEALANT.
 - ES-5: TREMCO "VULKEM 45" ONE PART, SELF-LEVELLING, POLYURETHANE SEALANT.
 - ES-6: TREMCO "VULKEM 458S" ONE PART, SELF-LEVELLING, POLYURETHANE SEALANT.
 - ES-7: TREMCO "DYMOVIC" ONE PART, HIGH PERFORMANCE, LOW MODULUS, POLYURETHANE SEALANT.
 - ES-8: TREMCO "SPECTREM 3" ONE PART, LOW MODULUS SILICONE SEALANT.
 - ES-9: VERSA-FLEX "SL8" TWO PART, SELF-LEVELLING, POLYURETHANE SEALANT.
 - 10: ES-10: TREMCO DYMOVIC 240FC, MULTICOMPONENT CHEMICALLY CURING POLYURETHANE SEALANT.
 - 12: ES-12: GE SILICONE KITCHEN AND BATH SILICONE SEALANT.
 - 13: ASH-1: DAP "ALEX PLUS" PAINTABLE ACRYLIC SILICONE SEALANT.

DIVISION 08 OPENINGS

08 11 13 HOLLOW METAL DOORS AND FRAMES

- A. HOLLOW METAL FRAMES: COMPLY WITH ANSIRSD A250.11.
1. SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETE, REMOVE TEMPORARY BRACES, LEAVING SURFACES SMOOTH AND UNMAGNED.
- B. AT FIRE-PROTECTED OPENINGS, INSTALL FRAMES ACCORDING TO NFPA 80.
- B. HOLLOW METAL DOORS: FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITH CLEARANCES, SHIM AS NECESSARY TO ACHIEVE CLEARANCES INDICATED.
1. FIRE-RATED DOORS: INSTALL DOORS WITH CLEARANCES ACCORDING TO NFPA 80.
 2. SMOKE-CONTROL DOORS: INSTALL DOORS ACCORDING TO NFPA 105.
- C. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL DOORS AND FRAMES AS INDICATED ON THE PLANS.

08 36 13 SECTIONAL DOORS

- A. INSTALL SECTIONAL DOORS AND OPERATING EQUIPMENT COMPLETE WITH NECESSARY HARDWARE, ANCHORS, INSERTS, HANGERS, AND EQUIPMENT SUPPORTS, ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS SPECIFIED.
- B. TRACKS: PROVIDE SWAY BRACING, DIAGONAL BRACING, AND REINFORCEMENT AS REQUIRED FOR RIGID INSTALLATION OF TRACK, AND DOOR-OPERATING EQUIPMENT. REPAIR GALVANIZED COATING ON TRACKS ACCORDING TO ASTM A 780.
- C. ADJUST HARDWARE AND MOVING PARTS TO FUNCTION SMOOTHLY, AND SO THAT DOORS OPERATE EASILY, FREE OF WARP, TWIST, OR DISTORTION. ADJUST DOORS AND SEALS TO PROVIDE WEATHER TIGHT FIT AROUND ENTIRE PERIMETER.
- D. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL DOORS AS INDICATED ON THE PLANS.

08 41 13 ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

- A. INSTALLATION:
1. COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 2. DO NOT INSTALL DAMAGED COMPONENTS.
 3. FIT JOINTS TO PRODUCE HAIRLINE JOINTS FREE OF BURRS AND DISTORTION.
 4. RIGIDLY SECURE WINDOW ANCHORS AND ISOLATORS TO PREVENT METAL CORROSION AND ELECTROLYTIC DETEIORATION.
 5. SEAL JOINTS WATER TIGHT. TOOL MARKS AND RIDGES ARE ACCEPTABLE.
- B. INSTALL COMPONENTS TO DRAIN WATER PASSING JOINTS, CONDENSATION OCCURRING WITHIN FRAME AND UNDER WINDOW. PROVIDE DRAINAGE TO EXTERIOR.
- C. INSTALL COMPONENTS PLUMB AND TRUE IN ALIGNMENT WITH ESTABLISHED LINES AND GRADES, AND WITHOUT WARP OR RUM.
- D. ENTRANCE DOORS: INSTALL DOORS TO PRODUCE SMOOTH OPERATION AND TIGHT FIT AT CONTACT POINTS.
- E. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL ENTRANCES AND STOREFRONTS AS INDICATED ON THE PLANS.

08 71 00 HARDWARE

- A. REQUIREMENTS:
1. ALL LOCKSETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF A.D.A.
 2. ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF A.D.A.
 3. ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE OR PAMC TYPE EXIT HARDWARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH, KEY OR COIL.
 4. CONTRACTOR TO COORDINATE KEYING SCHEDULE WITH OWNER.
- B. MOUNTING HEIGHTS: MOUNT DOOR HARDWARE UNITS AT HEIGHTS REQUIRED TO COMPLY WITH GOVERNING REGULATIONS.
- C. INSTALL EACH DOOR HARDWARE ITEM TO COMPLY WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- D. THRESHOLDS: SET THRESHOLDS FOR EXTERIOR AND ACOUSTICAL DOORS IN FULL BED OF INSTALLATION.
- E. ADJUSTMENT: ADJUST AND CHECK EACH OPERATING ITEM OF DOOR HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS THAT CANNOT BE ADJUSTED TO OPERATE AS INTENDED. ADJUST DOOR CONTROL DEVICES TO COMPENSATE FOR FINAL OPERATION OF HEATING AND VENTILATING EQUIPMENT AND TO COMPLY WITH REFERENCED ACCESSIBILITY REQUIREMENTS.
- F. SEE PLAN FOR PRODUCT SPECIFICATION AND LOCATION. FURNISH AND INSTALL ALL HARDWARE AS INDICATED ON THE PLAN.

08 80 00 GLAZING

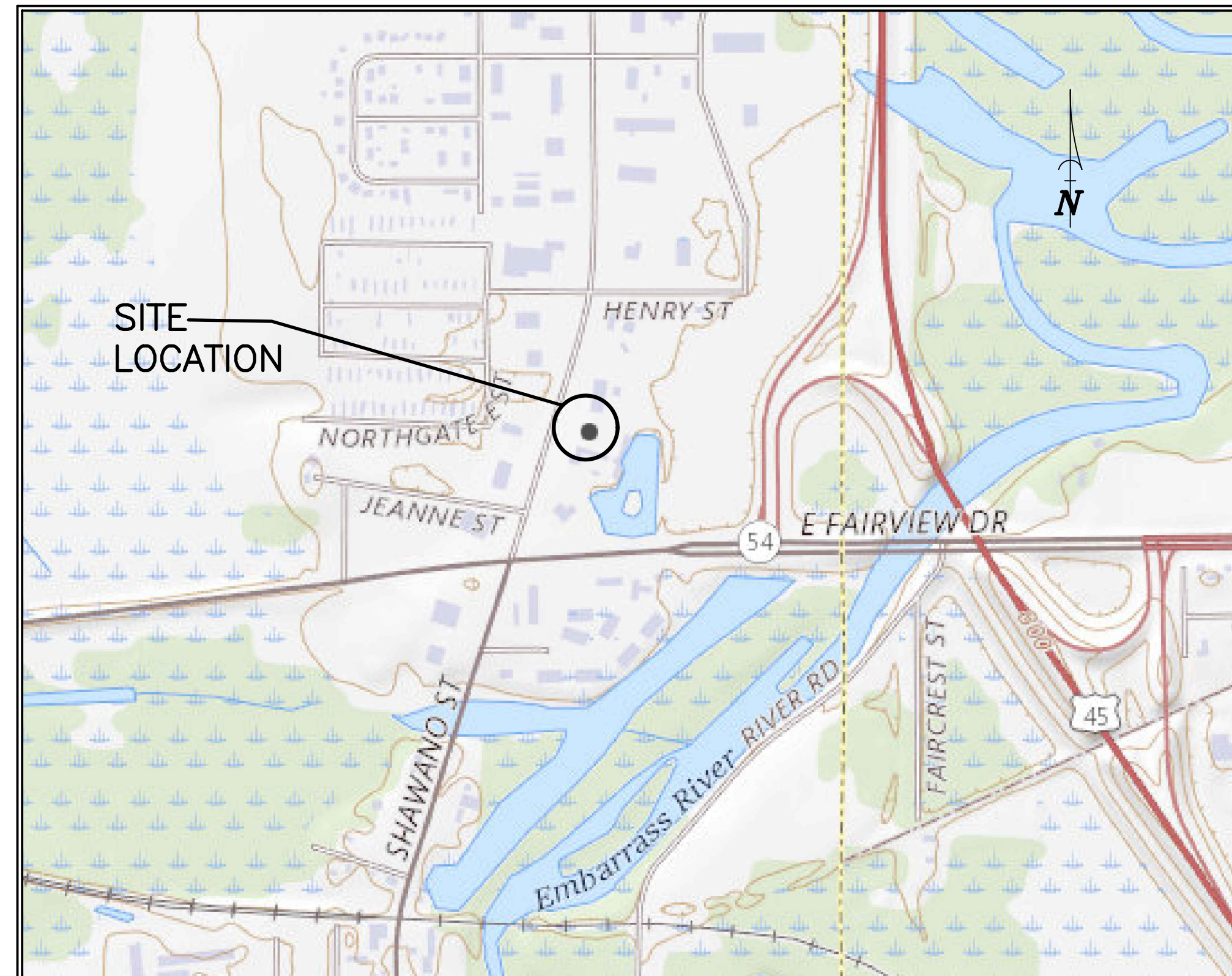
NEW LONDON STRIP MALL

CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN

LOCATION MAP

INDEX OF SHEETS	
DRAWING NO.	DESCRIPTION:
C1.1	COVER SHEET
C1.2	SITE PLAN
C1.3	SITE PLAN KEYNOTES
C1.4	TOPOGRAPHIC SURVEY
C1.5	DEMOLITION PLAN
C2.1	UTILITY LAYOUT PLAN
C3.1	DRAINAGE PLAN
C4.1	EROSION CONTROL PLAN
C4.2	EROSION CONTROL DETAILS
C4.3	EROSION CONTROL DETAILS
C5.1	STANDARD DETAIL DRAWINGS
C6.1	LANDSCAPE PLAN
C7.1	LIGHTNING PLAN

PERTINENT CONTACTS	CONTACT PERSON	PHONE
MUNICIPALITY		
CITY OF NEW LONDON	CHAD HOERTH	920-982-8500
OWNER		
TOTAL INVESTMENTS PROPERTIES II	KURT DAUL	920-538-2969
ARCHITECT		
ARCHITECT NAME	CHRIS BAUKNECHT	920-731-0381
ENGINEER / SURVEYOR		
MARTENSON & EISELE	JEFF SCHULTZ	920-731-0381
MARTENSON & EISELE	ABBY MASLANKA	920-731-0381
MARTENSON & EISELE	GARY ZHRINGER	920-731-0381
UTILITIES		
CHARTER COMMUNICATIONS		262-446-9821
WE ENERGIES		262-446-9821



The graphic features the words "DIGGERS" and "HOTLINE" in large, bold, black, sans-serif capital letters. Between these two words is a black silhouette of a shovel with its handle pointing upwards. Below this central graphic, the text "TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN" is written in a smaller, black, sans-serif font, centered horizontally. The entire graphic is enclosed within a double-lined rectangular border.

REVISION TRACKERS

DESIGN DEVELOPMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENT REVISION TRACKER		
NO.	DATE	DESCRIPTION

RECORD DRAWING REVISION TRACKER		
NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.

 Planning
 Environmental
 Surveying
 Engineering
 Architecture

1377 Midway Road
 Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
 920.731.0381 • 1.800.236.0381

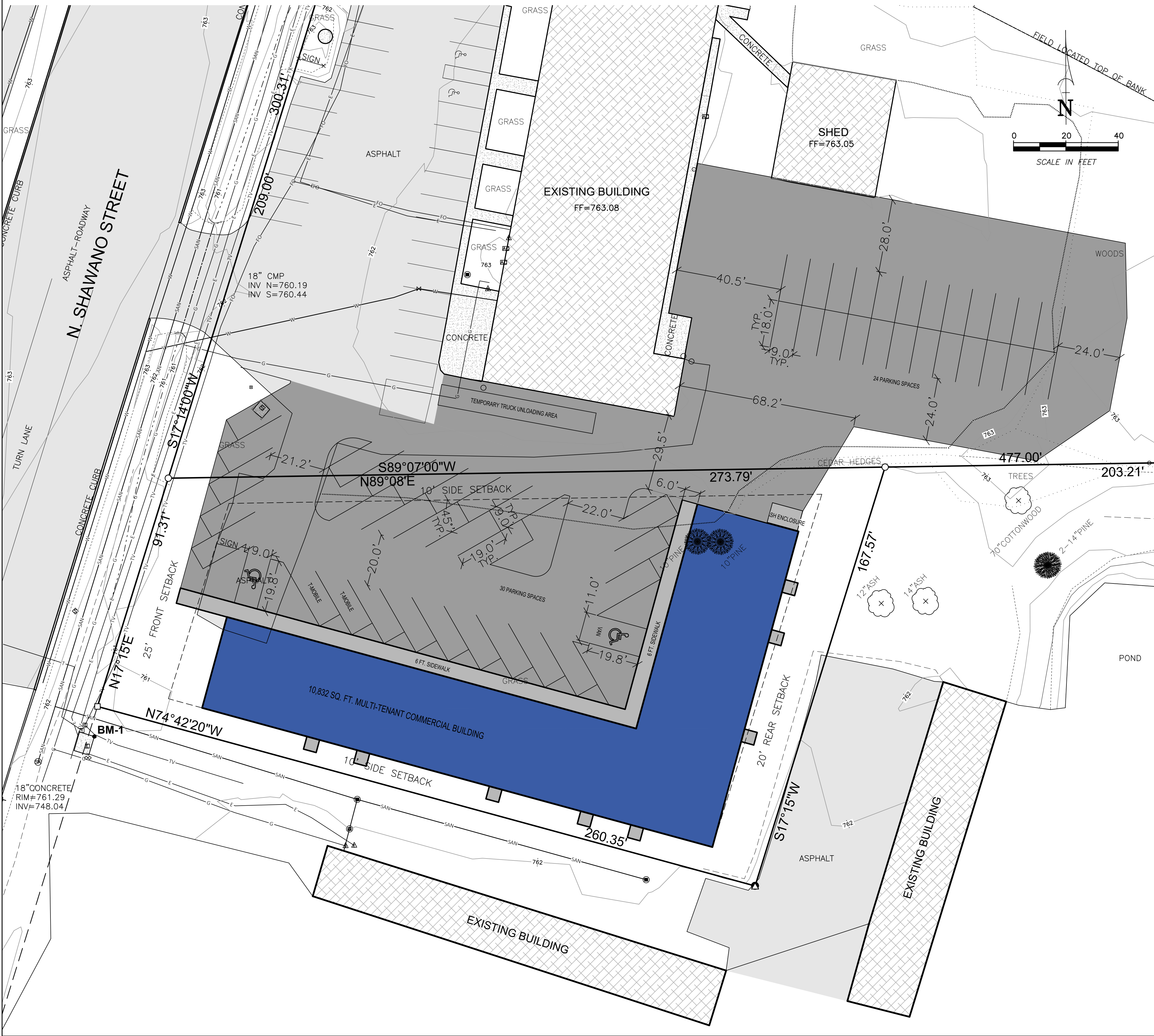
[illegible]

COVER PAGE
NEW LONDON STRIP MALL
CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN.

SCALE	DATE
BAR SCALE	04-19-2023
COMPUTER FILE	
1-1771-001de.dwg	

DRAWING NO.
C1.1

SITE PLAN



BUILDING SIZE

PROPOSED BUILDING 10,832 SF

ALLOWABLE AREA

TABULAR FLOOR AREA: 9,000 SF
FRONTAGE INCREASE: 3,150 SF
SPRINKLER INCREASE: UNSPRINKLERED
TOTAL ALLOWABLE AREA: 12,150 SF
ALLOWABLE FIRE AREA: LIMITED BY TOTAL ALLOWABLE AREA

APPLICABLE BUILDING CODE

2015 IBC

CONSTRUCTION CLASSIFICATION

TYPE VB

SITE DATA

AREA = 128,434 SQ FT (2.95 AC)

EXISTING:
EXISTING ROOF: 12,100 FT²
EXISTING PAVEMENT/GRAVEL: 41,341 FT²
EXISTING GREEN SPACE: 74,993 FT²
PERCENTAGE IMPERVIOUS: 41.6%

PROPOSED (TOTAL):
PROPOSED ROOF: 22,932 FT²
PROPOSED PAVEMENT: 55,010 FT²
PROPOSED GREEN SPACE: 50,492 FT²
PERCENTAGE IMPERVIOUS: 60.7%

ZONING DATA

CURRENT ZONING DISTRICT:
B-2 HIGHWAY COMMERCIAL

PARKING CALCULATIONS

REQUIREMENTS OF CHAPTER 17.08

LANDSCAPING REQUIREMENTS

REQUIREMENTS OF CHAPTER 17.03-6

SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
1186 N SHAWANO ST, NEW LONDON, WI
PARCEL NUMBER: 33 01 44 10

OWNER/APPLICANT:

TOTAL INVESTMENTS PROPERTIES II, LLC
1200 N. SHAWANO STREET
NEW LONDON, WI 54981
PHONE: (920) 538-2969

PROJECT ARCHITECT:

MARTENSON & EISELE, INC.
ATTN: CHRIS BAUKNECHT A.I.A.
1377 MIDWAY ROAD
MENASHA, WI 54952
chrisb@martenson-eisele.com
PHONE: (920) 731-0381

ENGINEER:

MARTENSON & EISELE, INC.
ATTN: JEFF SCHULTZ, P.E.
1377 MIDWAY ROAD
MENASHA, WI 54952
jeffs@martenson-eisele.com
PHONE: (920) 731-0381

NRCS SOILS

Wd-Waupaca silt loam
Hydrologic Soil Type C/D

WeA-Wega silt loam
Hydrologic Soil Type C/D

LEGAL DESCRIPTION

CSM V5P438 IN PART OF THE
SOUTHERN 1/2 OF SECTION 1 IN
TOWNSHIP 22 NORTH, RANGE 14
EAST, WAUPACA COUNTY, WISCONSIN.

SITE PLAN NOTES	
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF NEW LONDON REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
6.	ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D., LATEST VERSION.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
8.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND	
1" x 18" IRON PIPE SET 1-1/4" x 30" REBAR SET CHESELED "X" SET 3/4" REBAR FOUND 1" IRON PIPE FOUND 1-1/4" REBAR FOUND 2" IRON PIPE FOUND CHESELED "X" FOUND GOVERNMENT CORNER RECORDED AS CONFEROUS TREE DECIDUOUS TREE EXIST. WOODS LINE WETLANDS FLAG POLE LANDSCAPING	OVERHEAD POWER LINES UNDERGROUND ELECTRIC UNDERGROUND TELEPHONE UNDERGROUND FIBEROPTIC UNDERGROUND GAS UNDERGROUND CABLE TV EXIST. FENCE LINE RIPRAP SIGN POWER POLE GLY LIGHT POLE TELEPHONE PEDESTAL ELECTRIC PEDESTAL CABLE PEDESTAL EXIST. HYDRANT WATER VALVE WATER STOP BOX
BENCH MARK MAIL BOX GAS VALVE EXIST STORM MANHOLE STORM INLET YARD DRAIN EXIST SANITARY MANHOLE EXIST. SAN. SEWER EXIST. STO. SEWER EXIST. WATER MAIN EXIST. SPOT ELEVATION CONTOUR W/ ELEVATION EXIST. TOP OF CURB ELEV. EXIST. FLOW LINE ELEV. FIRST FLOOR = 000.00 TOPSOIL DEPTH INFILTRATION SOIL BORING	

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.

Planning
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381



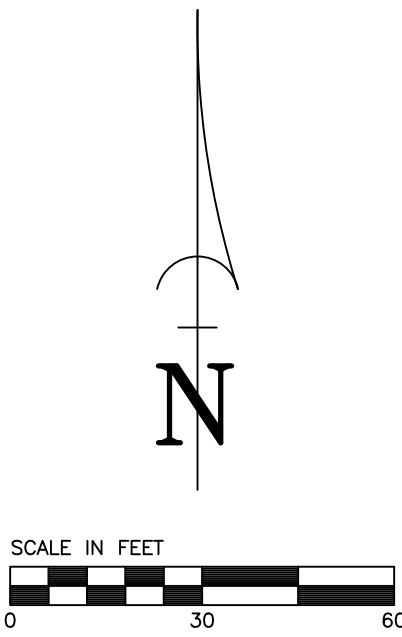
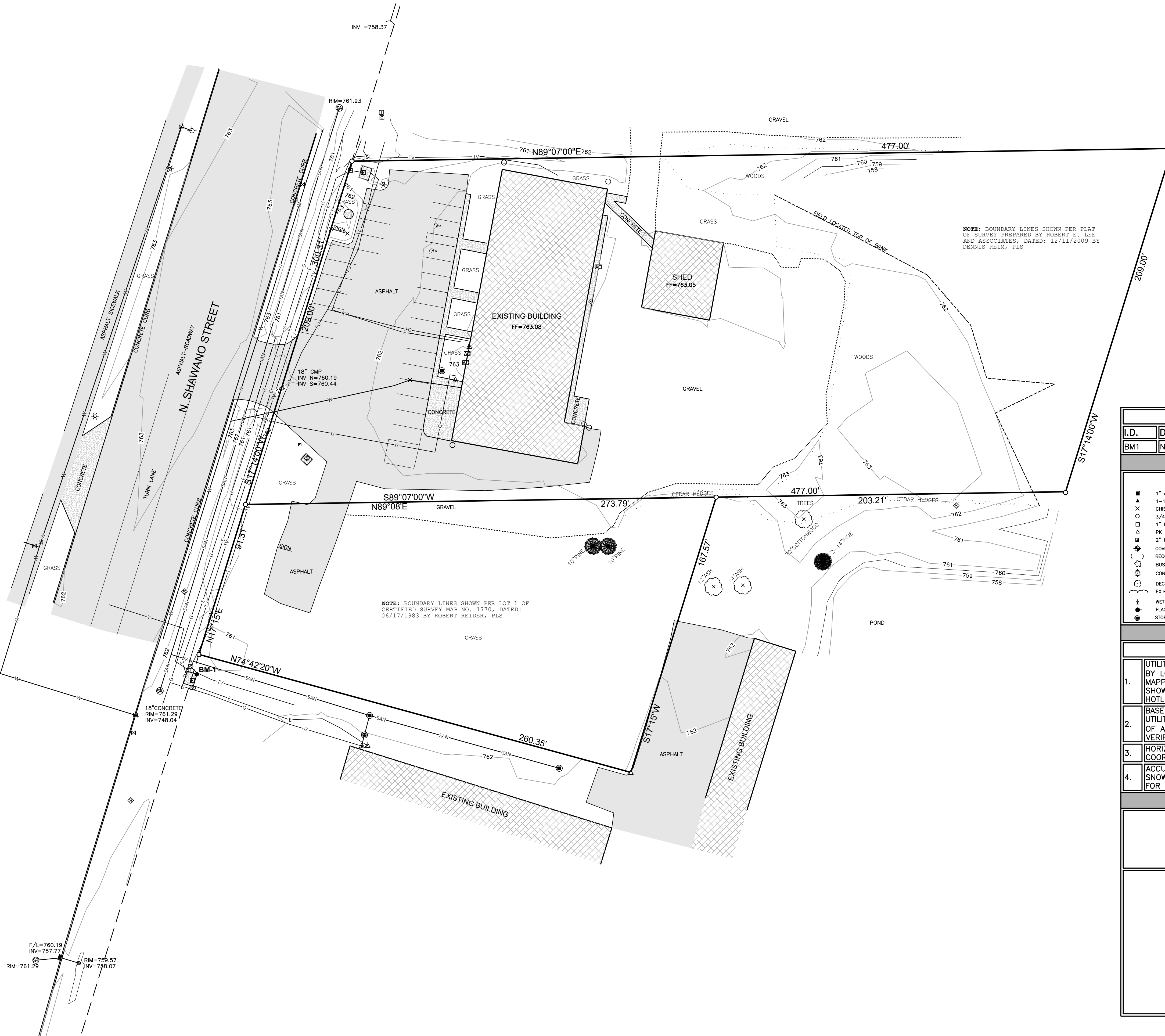
SITE PLAN
NEW LONDON STRIP MALL

CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN.

SCALE
BAR SCALE
COMPUTER FILE
1-1771-001de.dwg

DRAWING NO.
C1.2

TOPOGRAPHIC SURVEY



OWNER: TOTAL INVESTMENT PROPERTIES, LLC
PARCEL IDS: 33-01-44-2 & 33-01-44-10
SITE ADDRESS: 1200 N. SHAWANO STREET NEW LONDON, WI 54961
CURRENT ZONING CLASSIFICATION: HIGHWAY COMMERCIAL (B2)

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM1	NORTHEAST CORNER OF CONCRETE ELECTRIC PAD	761.57

TOPOGRAPHIC LEGEND		
<ul style="list-style-type: none">1" x 18" IRON PIPE SET1-1/4" x 30" REBAR SETCHEISELED "X" SET3/4" REBAR FOUND1" IRON PIPE FOUNDPK MAIL FOUND2" IRON PIPE FOUNDGOVERNMENT CORNERRECORDED ASBUSHCONIFEROUS TREEDECIDUOUS TREEEXIST. WOODS LINEWETLANDSFLAG POLESTORM CLEANOUT	<ul style="list-style-type: none">OVERHEAD POWER LINESUNDERGROUND ELECTRICUNDERGROUND TELEPHONEUNDERGROUND FIBEROPTICUNDERGROUND GASUNDERGROUND CABLE TVEXIST. FENCE LINERIPRAPSIGNPOWER POLEGUYLIGHT POLETELEPHONE PEDESTALELECTRIC PEDESTALELECTRIC METERCABLE PEDESTALGAS METERAIR CONDITIONER	<ul style="list-style-type: none">EXIST. HYDRANTWATER STOP BOXWATER VALVEMAIL BOXGAS VALVEEXIST. STORM MANHOLESTORM INLETCATCH BASINEXIST. SANITARY MANHOLE-SAN-SAN- EXIST. SAN. SEWER-STO-STO- EXIST. STO. SEWEREXIST. WATER MAINEXIST. SPOT ELEVATIONCONTOUR W/ ELEVATION000.00% EXIST. TOP OF CURB ELEV.000.00% EXIST. FLOW LINE ELEV.Ft = 000.00 FIRST FLOOR = 000.00

- TOPOGRAPHIC SURVEY NOTES
- UTILITY AND LATERAL LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND THE CITY OF NEW LONDON, AND/OR MAPPING FROM THE RESPECTIVE UTILITY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS HOTLINE AND THE CITY OF NEW LONDON PRIOR TO CONSTRUCTION.
 - BASE SURVEY WAS PREPARED BY M&E, APRIL 2023. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND AVOID DAMAGE THERETO.
 - HORIZONTAL DATUM IS BASED ON WAUPACA COUNTY, WISCONSIN COUNTY COORDINATE SYSTEM.
 - ACCURACY CAN BE IMPACTED BY WINTER CONDITIONS, I.E. FROST HEAVE, SNOW AND ICE COVER. MARTENSON & EISELE, INC. MAKES NO WARRANTY FOR INACCURACIES CAUSED BY THESE WINTER CONDITIONS.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

Martenson & Eisele, Inc.
1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

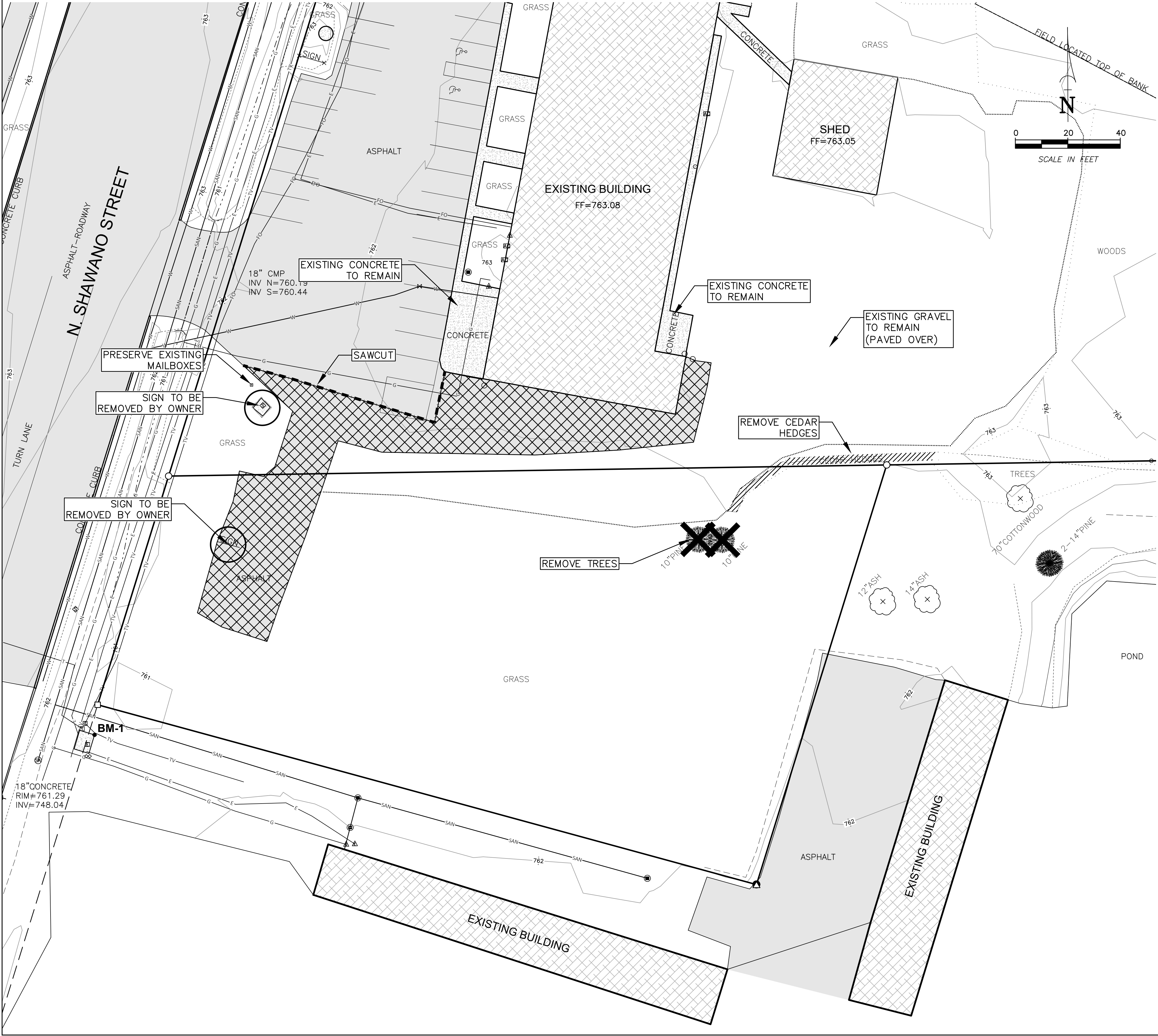
DRAWN BY		CHECKED		APPROVED		FIELDWORK	
LWL		JFS		GAZ		JFS	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

TOPOGRAPHIC SURVEY
NEW LONDON MULTI-TENANT BUILDING
CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN.

SCALE	DATE
BARSCALE	APRIL 2023
COMPUTER FILE	
1-1771-001TOPO	

DRAWING NO.
C1.4

DEMOLITION PLAN



- DEMOLITION PLAN NOTES**
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF NEW LONDON AND O.S.H.A. STANDARDS AND CODES.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
 - EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED, STOCKPILES AND UTILIZED IF MATERIALS MEET SPECIFICATIONS AS IDENTIFIED IN SPECIAL PROVISIONS.

- DEMOLITION KEY**
- ASPHALT SURFACE REMOVAL: 5,597 SF
 - CURB CUT: 96 LF
 - TREE REMOVAL: 2 TREES
 - LANDSCAPING REMOVAL: 246 SF

- TOPOGRAPHIC LEGEND**
- | | | |
|------------------------|------------------------|----------------------------------|
| 1" x 18" IRON PIPE SET | OVERHEAD POWER LINES | BENCH MARK |
| 1-1/4" x 30" REBAR SET | UNDERGROUND ELECTRIC | MAIL BOX |
| CHEASED "X" SET | UNDERGROUND TELEPHONE | GAS VALVE |
| 3/4" REBAR FOUND | UNDERGROUND FIBEROPTIC | EXIST. STORM MANHOLE |
| 1" IRON PIPE FOUND | UNDERGROUND GAS | STORM INLET |
| 1-1/4" REBAR FOUND | UNDERGROUND CABLE TV | YARD DRAIN |
| 2" IRON PIPE FOUND | EXIST. FENCE LINE | EXIST. SANITARY MANHOLE |
| CHEASED "X" FOUND | RIPRAP | -SAN-SAN- EXIST. SAN. SEWER |
| GOVERNMENT CORNER | SIGN | -STO-STO- EXIST. STO. SEWER |
| RECORDED AS | POWER POLE | -W-W- EXIST. WATER MAIN |
| CONFEROUS TREE | GLY | EXIST. SPOT ELEVATION |
| DECIDUOUS TREE | LIGHT POLE | 000.00 CONTOUR W/ ELEVATION |
| EXIST. WOODS LINE | TELEPHONE PEDESTAL | 000.00 EXIST. TOP OF CURB ELEV. |
| WETLANDS | ELECTRIC PEDESTAL | 000.00 EXIST. FLOW LINE ELEV. |
| FLAG POLE | CABLE PEDESTAL | FF = 000.00 FIRST FLOOR = 000.00 |
| LANDSCAPING | EXIST. HYDRANT | TOPSOIL DEPTH |
| | WATER VALVE | INFILTRATION SOIL BORING |
| | WATER STOP BOX | |

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.

Planning
Environmental
Surveying
Engineering
Architecture

1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

DRAWN BY	CHECKED	APPROVED	JFS
ALM	JWS	JWS	
DATE	REVISION		
NO.			

DEMOLITION PLAN

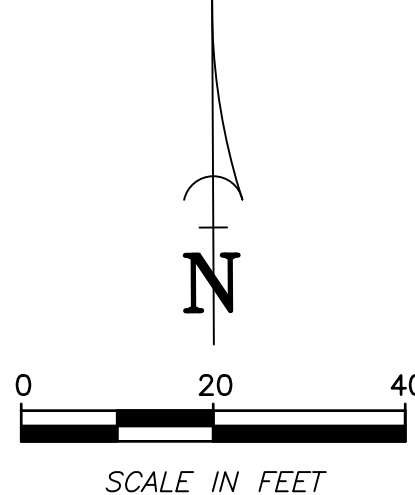
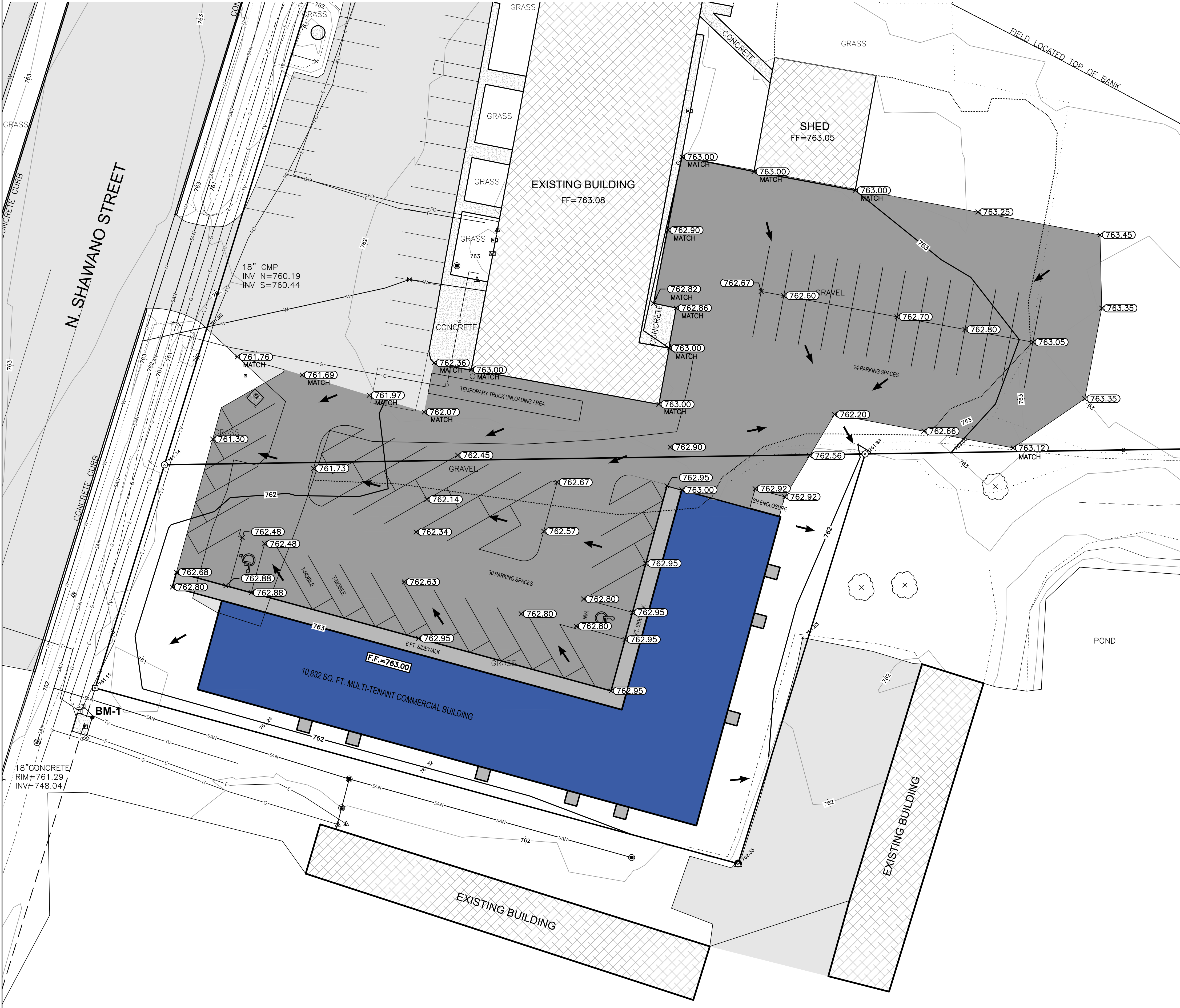
NEW LONDON STRIP MALL

CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN.

SCALE	DATE
BAR SCALE	04-19-2023
COMPUTER FILE	
1-1771-001de.dwg	






DRAWING NO.
C1.5

DRAINAGE PLAN



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM1	NORTHEAST CORNER OF CONCRETE ELECTRIC PAD	761.57

DRAINAGE PLAN NOTES	
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW LONDON'S STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
3.	PER W.I. ADMIN. CODE, COMM 21.12: THE FINISHED GRADE OF THE SOIL SHALL SLOPE AWAY FROM THE DWELLING AT A RATE OF AT LEAST $\frac{1}{4}$ -INCH PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHICHEVER IS LESS.
4.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
5.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
6.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
7.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
8.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
9.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE

DRAINAGE PLAN LEGEND		
	EXISTING CONTOUR	X (000.00) PROPOSED ELEVATION
	PROPOSED CONTOUR	X (000.00) PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	+ 893.75 EXISTING ELEVATION
	STORM MANHOLE	000.0 PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET	DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND		BENCH MARK	
■	1" x 18" IRON PIPE SET	●	MAIL BOX
▲	1-1/4" x 30" REBAR SET	○	GA. VALVE
×	CHISELED "X" SET	∞	EXIST. STORM MANHOLE
○	3/4" REBAR FOUND	■	STORM INLET
—	1" IRON PIPE FOUND	□	YARD DRAIN
—	1-1/4" REBAR FOUND	—	EXIST. SANITARY MANHOLE
—	2" IRON PIPE FOUND	—S—S—S—	EXIST. SAN. SEWER
⊗	CHISELED "X" FOUND	—S—S—S—	EXIST. ST. SEWER
⊕	GOVERNMENT CORNER	—W—W—W—	EXIST. WATER MAIN
(RECORDED AS)		—	EXIST. SLOPE ELEVATION
●	CONIFEROUS TREE	—0—0—0—	CONTOUR W/ ELEVATION
○	DECIDUOUS TREE	000.000	EXIST. TOP OF CURB ELEV.
⊕	EXIST. WOODS LINE	000.000	EXIST. FLOW LINE ELEV.
⊕	WETLANDS	FF = 000.00	FIRST FLOOR = 000.00
⊕	FLAG POLE	⊕	TOPSOIL DEPTH
⊕	WATER PUMP	⊕	INFILTRATION SOIL BORING

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.

 1377 Midway Road
 Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
 920.731.0381 1.800.236.0381
 Planning
 Environmental
 Surveying
 Engineering
 Architecture

[illegible]

DRAINAGE PLAN NEW LONDON STRIP MALL

CITY OF NEW LONDON, WAUPACA COUNTY, WISCONSIN.

SCALE	DATE
BAR SCALE	04-19-2023
COMPUTER FILE	
1-1771-001de.dwg	

DRAWING NO.
C3.1

Martenson & Eisele, Inc.

 1377 Midway Road
 Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
 920.731.0381 1.800.236.0381
 Planning
 Environmental
 Surveying
 Engineering
 Architecture

1186 N SHAWANU STREET | NEW LONDON, WISCONSIN 54901

FLOOR PLAN AND WALL TYPES

DRAWING NO.
A1.1

EXTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD AND DO NOT
INCLUDE GIRT. INTERIOR WALLS ARE DIMENSIONED STUD TO STUD
UNLESS NOTED OTHERWISE.

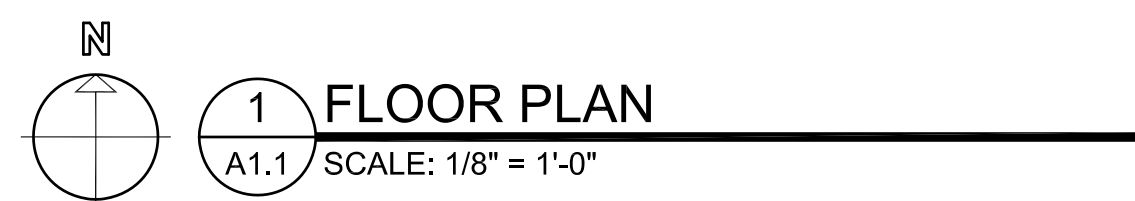
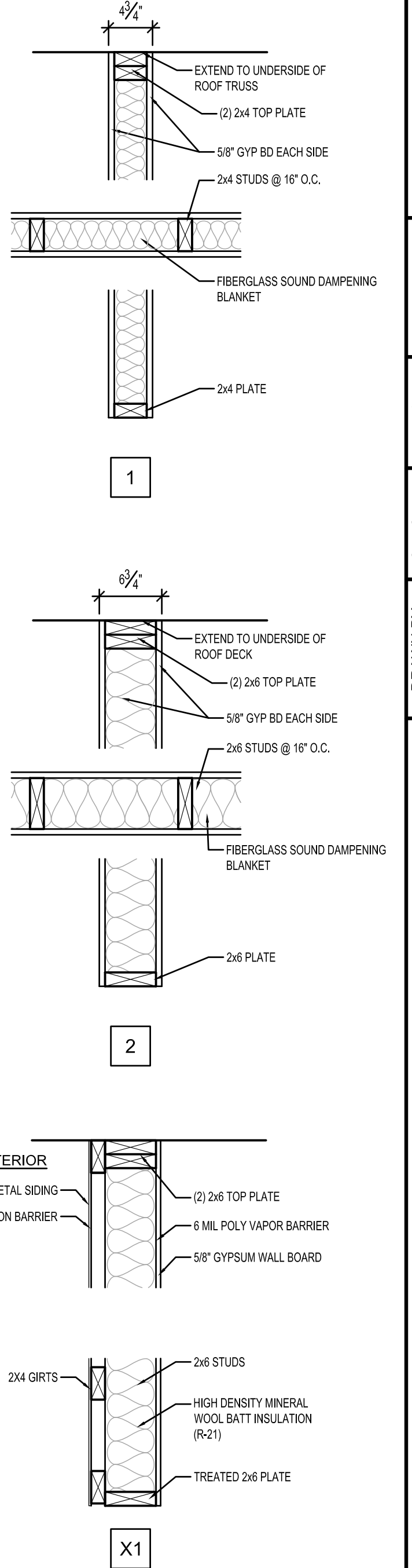
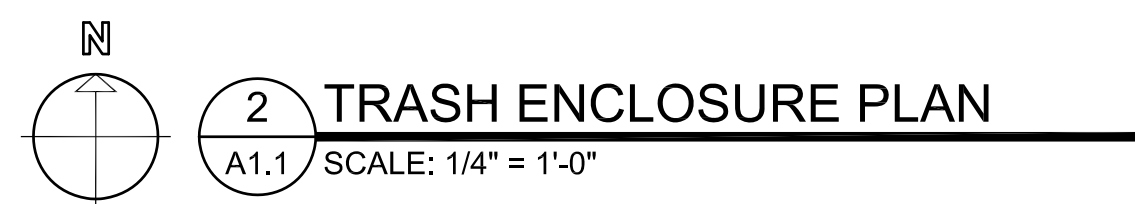
ALL INTERIOR PARTITIONS ARE TYPE 1 UNLESS NOTED OTHERWISE.
ALL EXTERIOR PARTITIONS ARE TYPE X1 UNLESS NOTED OTHERWISE.
SEE WALL TYPES.

SEE BUILDING SECTIONS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

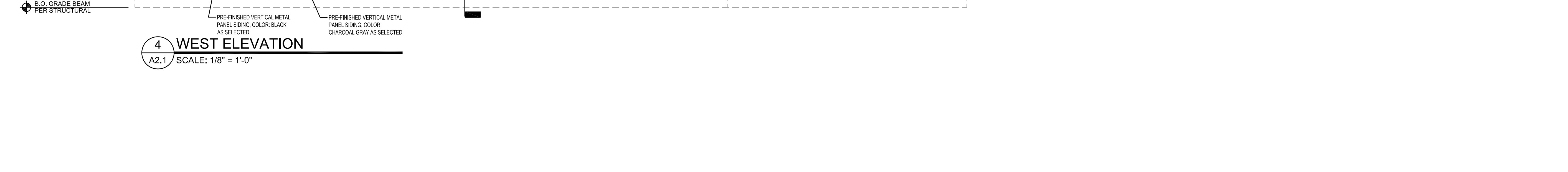
DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS OR NOTES SHALL DETERMINE. IF THERE ARE MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE ARCHITECT PRIOR TO FABRICATION OR CONSTRUCTION.

PROVIDE BACKING/BLOCKING AS REQUIRED FOR OWNER'S EQUIPMENT AS REQUIRED. COORDINATE LOCATION WITH OWNER.

SEE ROOF PLAN FOR ATTIC ACCESS AND DRAFTSTOPPING REQUIREMENTS.







EXTERIOR
ELEVATIONS

DRAWING NO.
A2.1

EXTERIOR ELEVATIONS

CONCRETE

1. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH FOLLOWS:

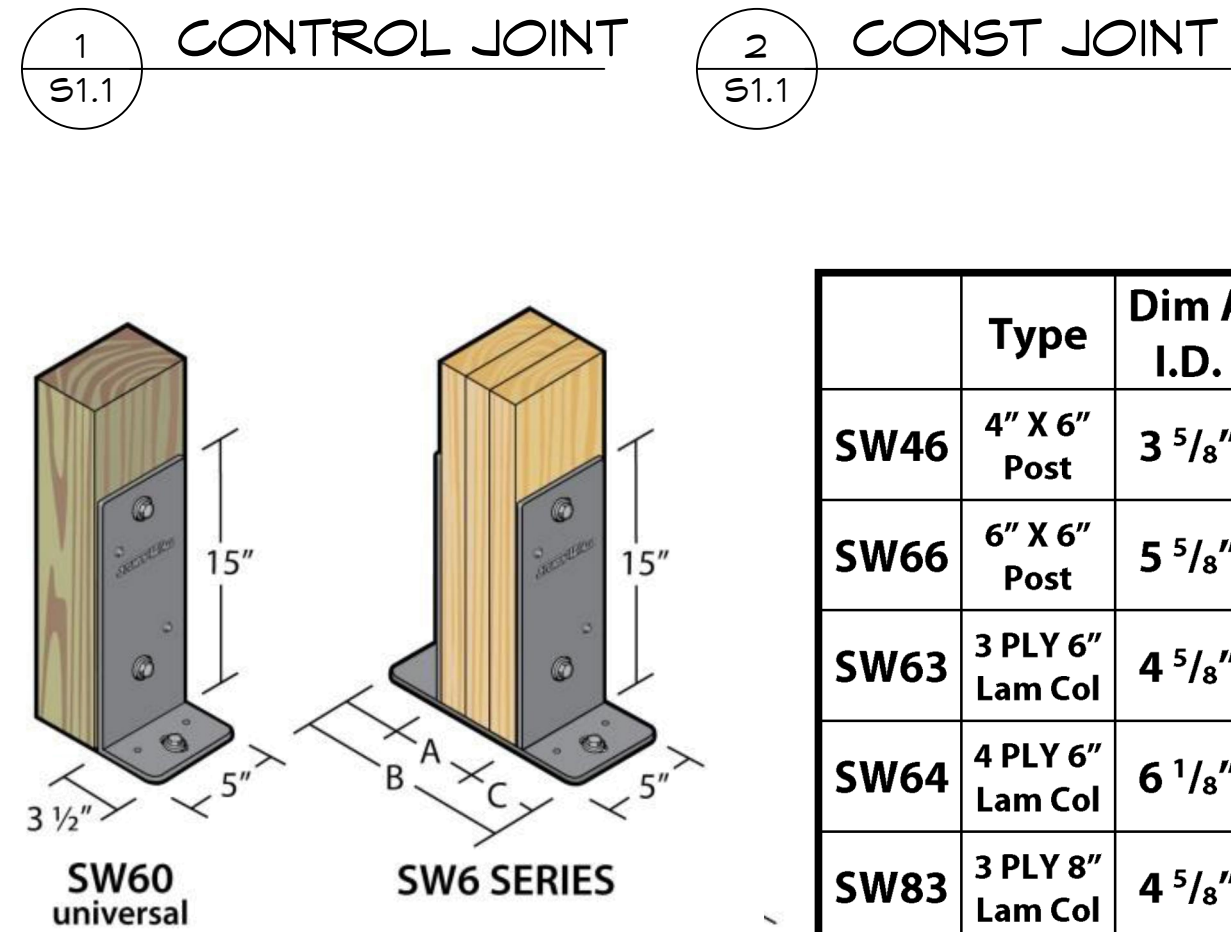
SLABS-ON-GRADE	4,000 PSI
FOOTINGS AND FROST WALLS	3,000 PSI
EXTERIOR EXPOSED CONCRETE	4,000 PSI

2. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.

PRE-FABRICATED WOOD TRUSSES

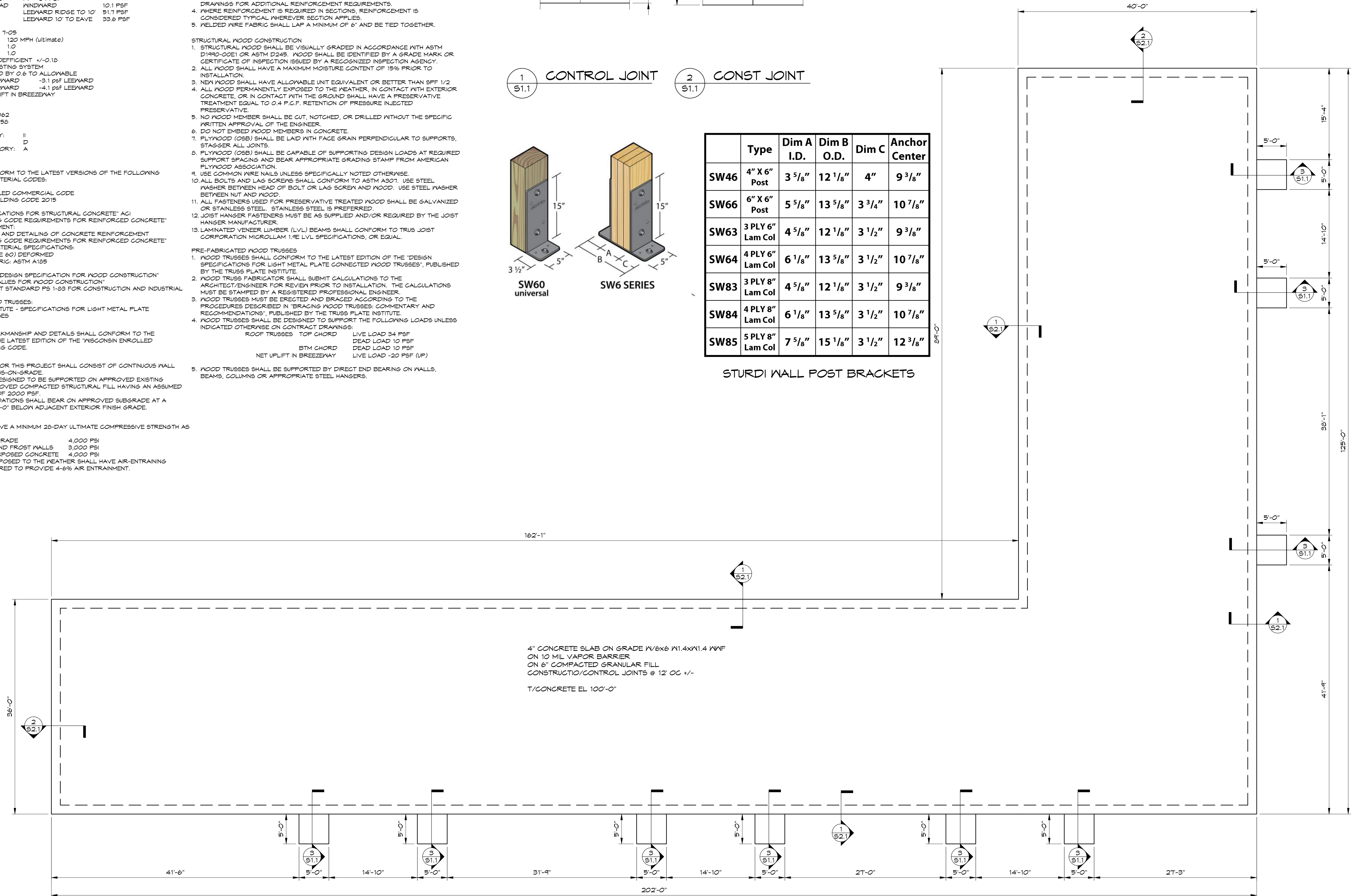
1. WOOD TRUSSES SHALL CONFORM TO THE LATEST EDITION OF THE 'DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES', PUBLISHED BY THE TRUSS PLATE INSTITUTE.
2. WOOD TRUSS FABRICATORS SHALL SUBMIT CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO INSTALLATION. THE CALCULATIONS MUST BE STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
3. WOOD TRUSSES MUST BE ERECTED AND BRACED ACCORDING TO THE PROCEDURES DESCRIBED IN "BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS", PUBLISHED BY THE TRUSS PLATE INSTITUTE.
4. WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT THE FOLLOWING LOADS UNLESS INDICATED OTHERWISE ON CONTRACT DRAWINGS:


ROOF TRUSSES	TOP CHORD	LIVE LOAD 34 PSF
		DEAD LOAD 10 PSF
	BTM CHORD	DEAD LOAD 10 PSF
	NET UPLIFT IN BREEZEVANE	LIVE LOAD -20 PSF (UP)
5. WOOD TRUSSES SHALL BE SUPPORTED BY DIRECT END BEARING ON WALLS, BEAMS, COLUMNS OR APPROPRIATE STEEL HANGERS.



	Type	Dim A I.D.	Dim B O.D.	Dim C	Anchor Center
SW46	4" X 6" Post	3 5/8"	12 1/8"	4"	9 3/8"
SW66	6" X 6" Post	5 5/8"	13 5/8"	3 3/4"	10 7/8"
SW63	3 PLY 6" Lam Col	4 5/8"	12 1/8"	3 1/2"	9 3/8"
SW64	4 PLY 6" Lam Col	6 1/8"	13 5/8"	3 1/2"	10 7/8"
SW83	3 PLY 8" Lam Col	4 5/8"	12 1/8"	3 1/2"	9 3/8"
SW84	4 PLY 8" Lam Col	6 1/8"	13 5/8"	3 1/2"	10 7/8"
SW85	5 PLY 8" Lam Col	7 5/8"	15 1/8"	3 1/2"	12 3/8"

STURDI WALL POST BRACKETS



 FOUNDATION PLAN
SCALE: $\frac{1}{8}" = 1'-0"$

Martenson & Eisele, Inc.

 Planning
 Environmental
 Surveying
 Engineering
 Architecture
 1377 Midway Road
 Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
 920.731.0381 • 1.800.236.0381

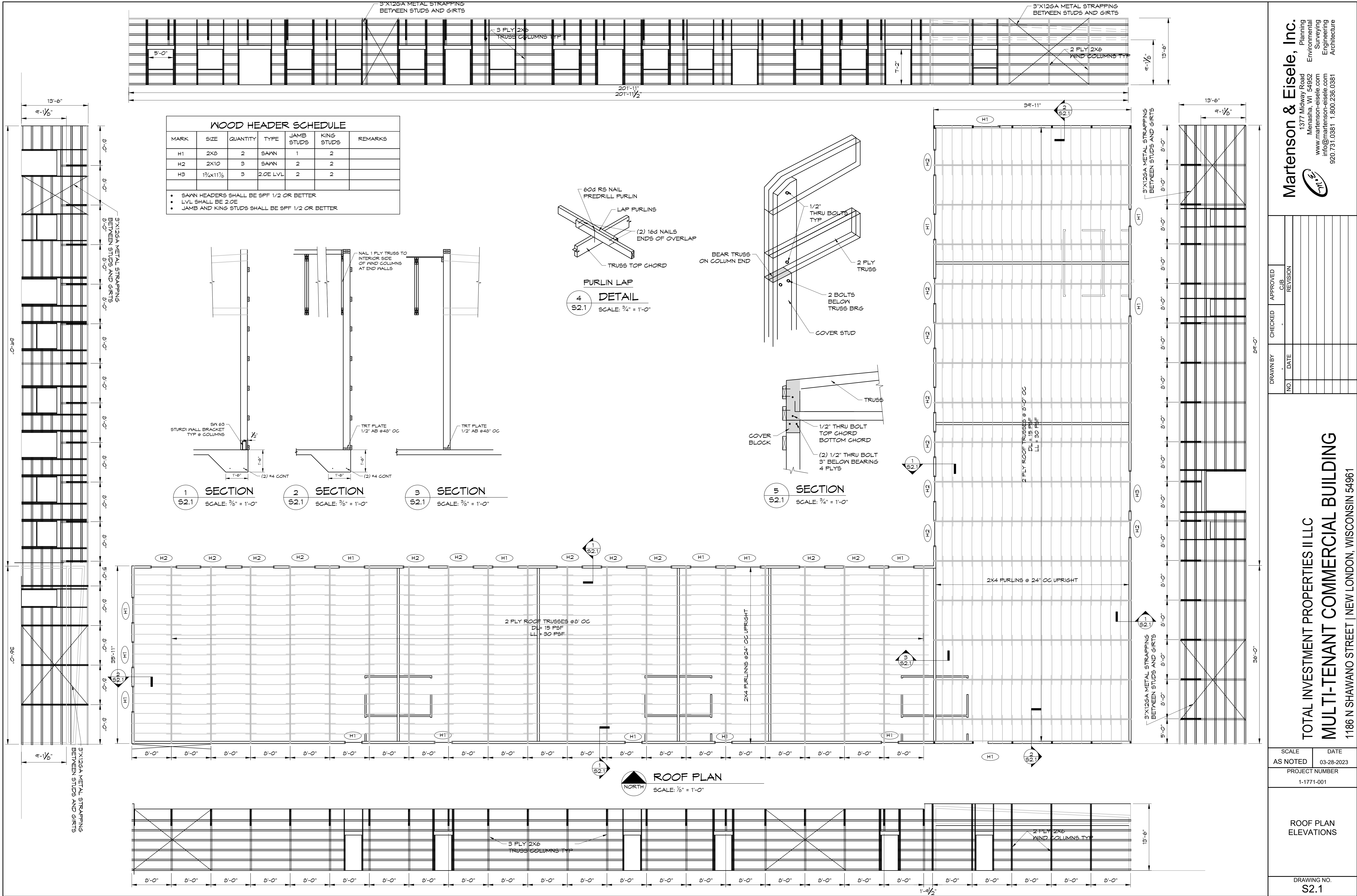
[illegible]

TOTAL INVESTMENT PROPERTIES II LLC
MULTI-TENANT COMMERCIAL BUILDING
1186 N SHAWANO STREET | NEW LONDON, WISCONSIN 54961

SCALE AS NOTED	DATE 03-28-2023
PROJECT NUMBER 1-1771-001	

STRUCTURAL NOTES
DETAILS
FOUNDATION PLAN

DRAWING NO.
S1.1



/

ORDINANCE _____

AN ORDINANCE AMENDING CHAPTER 17: Zoning Code of the City of
New London CODE OF ORDINANCES

INTRODUCED BY: David Vincent (Zoning Administrator)

The Common Council of the City of New London does hereby ordain as follows:

SECTION 1: Amend Zoning Code Chapter 17 of the Code of Ordinances of the City of New London, Wisconsin, creating subsection KEEPING OF CHICKENS IN THE CITY as follows:

KEEPING OF CHICKENS IN THE CITY. In addition to all other regulations in this Chapter 17.03 (7), the following shall apply to the keeping of chickens within the City.

- (1) **Definitions.** The following terms, when used in this section, shall have the meanings set forth below:
- a. **Chicken-** a domestic chicken of the sub-species Gallus domesticus.
 - b. **Keep-the** owning, keeping, possessing, or harboring of a chicken.
 - c. **Rooster-** a male chicken of any age, including a capon or otherwise neutered male chicken.
 - d. **Coop--a** new or existing enclosed accessory structure designed or modified for the keeping of chickens and meeting the requirements of this section.
 - e. **Chicken Run-** a fenced cage attached to a coop.
 - f. **Hen-** a female chicken of any age.
 - g. **Front Yard -A** front yard shall be as defined by the City of New London Zoning Code under (to be defined)

(2) **Permit Required.**

- a. Any person who keeps chickens on land in the City which the person owns, occupies, or controls shall first obtain an initial zoning permit issued by the Zoning Administrator. A permit application shall be accompanied by an application, an application fee as established by resolution of the Common Council, specification of the proposed coop/run, and a site plan. Upon the issuance of an initial zoning permit, an initial inspection of the coop shall be certified by the Zoning Official and/or designee prior to the occupancy of chickens.
- b. All permit applications shall be accompanied by satisfactory evidence that the applicant has registered the proposed location with the Wisconsin Department of Agricultural Trade and Consumer Protection pursuant to Wis. Stats. §95.51 and ATCP 17 Wis. Admin. Code.
- c. One permit shall be permitted per R-1 Single Family Residence District, R-1R Single Family Residential District Ranch and R-2 Two-Family Residence District zoned parcel.
- d. Any person other than the recorded title owner looking to permit chickens shall first provide written consent of the property owner with the zoning review application.
- e. Following the initial approval of a permit, any person who continues to own, harbor, or keep chickens, shall annually prior to January 1, of each year, pay a license fee and obtain an annual license. The annual fee shall be as established by resolution of the Common Council.

(3) **Keeping of Chickens Allowed.**

- a. Up to six (6) chickens are allowed per parcel with a permit.
- b. No person shall keep any rooster.
- c. Chickens shall be provided with fresh water at all times and adequate amounts of feed.
- d. Coops shall be constructed in a workmanlike manner, be moisture-resistant, shall either be raised up off the ground or placed on a hard surface, and be adequately weather proofed and insulated to allow the comfortable living of chickens within the coop year-round.
- e. Coops with or without a chicken run shall be constructed and maintained to reasonably prevent the collection of standing water and shall be cleaned of hen droppings, uneaten feed, feathers, and other waste daily and as is necessary to ensure the coop and yard do not become a health, odor, or other nuisance. All feed containers shall be vermin-proof.

- f. Coops shall be large enough to provide at least three (3) square feet per chicken. Coops and chicken runs shall have an aggregate maximum of sixty- four (64) square feet and the height of the coop shall not exceed seven (7) linear feet as measured from the ground.
- g. No chicken coop shall be located closer than twenty (20) feet to any principal residential structure on an adjacent lot. All coops and runs shall be located at least three (3) feet off of the side and back yard property line.
- h. No chicken coop shall be located in the Front Yard of a property as defined herein.
- 1. In addition to compliance with the requirements of this section, no person shall keep chickens that cause any other public nuisance as defined by Chapter 10 of the New London Code of Ordinances.

(4) Public Health Requirements.

- a. Upon the Zoning Administrator and/or designee having reasonable suspicion of any coop or run having unhealthy or unsanitary conditions, any permit or license holder shall allow the Zoning Administrator and/or designee to inspect the conditions of the coop and/or chickens upon reasonable notice (no less than 24 hours' notice). The Zoning Administrator and/or designee shall provide notice to the permit or license holder to cure any violations found. Failure to correct said violations may result in the revocation of the permit per Section (5) below.
- b. Chickens shall be kept and handled in a sanitary manner to prevent the spread of communicable diseases among birds or to humans.
- c. Any person keeping chickens shall immediately report any unusual or sudden death or illness of chickens to the respective County's Health Department.
- d. The Health Officer may order testing, quarantine, isolation, vaccination, or humane euthanasia of ill chickens or chickens believed to be a carrier of a communicable disease. The owner of the chicken shall be responsible for all costs associated with the procedures ordered hereunder.
- e. No person may slaughter any chickens within the City.
- f. Sale of Eggs and Baby Chicks Prohibited. No person may offer to sell eggs or chicks accumulated from the activities permitted hereunder.
- g. The breeding of any chickens is strictly prohibited.

- (5) **Permit Revocation.** A permit is subject to revocation by the Zoning Administrator and/or designee upon failure to comply with any provisions of sub. (3) or (4). Such revocation is subject to appeal by the Planning Commission, upon the aggrieved filing an appeal requests within thirty (30) days of the revocation with the Planning Commission. Once a permit is revoked, a permit shall not be reissued.

This amending Ordinance shall take effect upon passage and publication as provided by law.