

# **AGENDA NOTICE**

*Unless specifically noticed otherwise, this meeting and all other meetings of this body are open to the public. Proper notice has been posted and given to the media in accordance with Wisconsin Statutes so that citizens may be aware of the time, place and purpose of the meeting.*

## **Planning Commission**

**Thursday, July 27, 2023 – 5:15 PM**

**Council Chambers, New London Municipal Building  
215 N. Shawano Street, New London, WI**

1. Call to Order, Pledge of Allegiance, Roll Call
2. Adopt agenda with memorandum
3. Approve April 27<sup>th</sup>, 2023 Minutes
4. Eye Care Addition site plan proposal
5. Consider an Ordinance to allow chickens on specified residential properties
6. Conditional grant zoning request at 1500 Handschke Dr. for religious use
7. Review potential agenda items for future meetings
8. Review next meeting date: Tentative, August 24, 2023
9. Adjournment

**Bernie Ritchie, Chairman  
Planning Commission Committee**

It is the policy of the City of New London to comply in good faith with all applicable regulations, guidelines, etc. put forth in the Americans with Disabilities Act (ADA). To that end, it is the City's intent to provide equal opportunity for everyone to participate in all programs and/or services offered, to attend every public meeting scheduled, and to utilize all public facilities available. Any person(s) in need of an alternative format (i.e. larger print, audio tapes, Braille, readers, interpreters, amplifiers, transcription) regarding information disseminated by the City of New London should notify the City 48 hours prior to a meeting, etc., or allow 48 hours after a request for a copy of brochures, notices, etc. for delivery of that alternative format. Contact ADA Coordinator Chad Hoerth by telephone through: (Relay Wisconsin) – (920) 982-8500 or (Voice) – (920) 982-8500 and in person/letter at 215 N. Shawano Street, New London, WI 54961.

**Watch this meeting live and access our video archives at: [www.youtube.com/NewLondonAccess](http://www.youtube.com/NewLondonAccess)**



# Memorandum

TO: Planning Commission  
FROM: Dave Vincent-Zoning Administrator  
RE: July 27, 2023 Planning Commission Meeting  
DATE: July 19, 2023

The **first** action item on the agenda is the site plan proposal for the Griebenow Eye Care Facility at 105 Northridge Dr. The proposed addition with additional parking will allow the business to expand. The Zoning Administrator has received a completed application, the associated fee for site plan review and a complete set of plans for the project.

The **second** agenda item is continued discussion about a proposed chicken ordinance. I have provided a sample working ordinance should we recommend allowing chickens to the Council for consideration.

The **third** agenda item is to discuss a potential **conditional use grant** for the Building located at 1500 Handschke Drive now housing Crystal Falls and Victory Church. The church would like to purchase the building and add some additional square footage for expanded activities to the space they currently utilize. They would then in turn lease the remainder of the space to Crystal Falls

Respectfully submitted by Dave Vincent: Zoning Administrator.

**City of New London**  
**Planning Commission Meeting Minutes**  
**Thursday April 27, 2023**

**Roll Call**

Meeting was called to order at 05:15 p.m. Those in attendance were Chairman Bernie Ritchie, Jamie Walbruck, Dona Gabert, Jeff Handschke, Susie Steingraber, Jay Bessette.

Others in attendance: Building Inspector/Zoning Administrator: David Vincent, City Administrator: Chad Hoerth, Dave Dorsey (representing district 4). John Hass (representing district 2), Tim Roberts (representing district 4), Balynda Croy (representing district 2), Charlene Magolski (representing district 5) and Bob Besaw (representing district 1). Kurt Daul was present for strip mall discussion at 1186 N. Shawano St.

Group participated in the Pledge of Allegiance.

A motion was made by Handschke to "Adopt the Agenda" and seconded by Steingraber, carried by all.

The April 06, 2023 meeting minutes were reviewed. A motion to accept the minutes was made by Steingraber and seconded by Gabert, carried by all.

The first action item on the agenda item was to review for approval the affidavit for corrections for CSM 8133 (parcel 33 12 77 111). A motion was made by Bessette to approve the corrections. A second was made by Walbruck, carried by all.

The second action item was for review and approval for Utility and trail Easement for parcel 33 12 77 111. A motion was made by Walbruck to approve the easements. The motion was seconded by Gabert, carried by all with Bessette abstaining from voting.

The third item was discussion and possible approval of the site plan for the proposed strip mall at 1186 N. Shawano St. A motion was made by Bessette for approval of the site plan. The motion was seconded by Steingraber, motion carried by all.

A proposed Chicken ordinance was provided by the Zoning Administrator to open discussion. There was a fair amount of discussion, both positive and negative as it relates to possible adoption. The chicken ordinance will be taken up at the next scheduled meeting for further discussion. The zoning administrator agreed to contact other municipalities for pros and cons in dealing with ordinances allowing for keeping of chickens.

The next meeting date has been scheduled for Thursday, May 25, 2023.

A motion was made to adjourn by Gabert, seconded by Steingraber, carried by all.

Meeting adjourned by Chairman Besaw at approximately 06:04 p.m.

Respectively submitted by David Vincent-Zoning Administrator



# **Letter of Transmittal**

To: City of New London 215 N. Shawano St. New London, WI 54961	DATE: 07-06-2023 JOB No. 2053-01-23
	RE: Griebenow Eyecare Addition
Attention: David Vincent	

We are sending you ☒ attached, ☐ under separate cover via the following items:

- ☐ Shop Drawings    ☐ Prints    ☒ Plans    ☐ Diskettes  
☐ Specifications    ☐ Copy of Letter    ☐ Forms

Copies	Description
10	Site Plan Drawings
1	Site Plan Application
1	Site Plan Review Fee Check for \$65.00

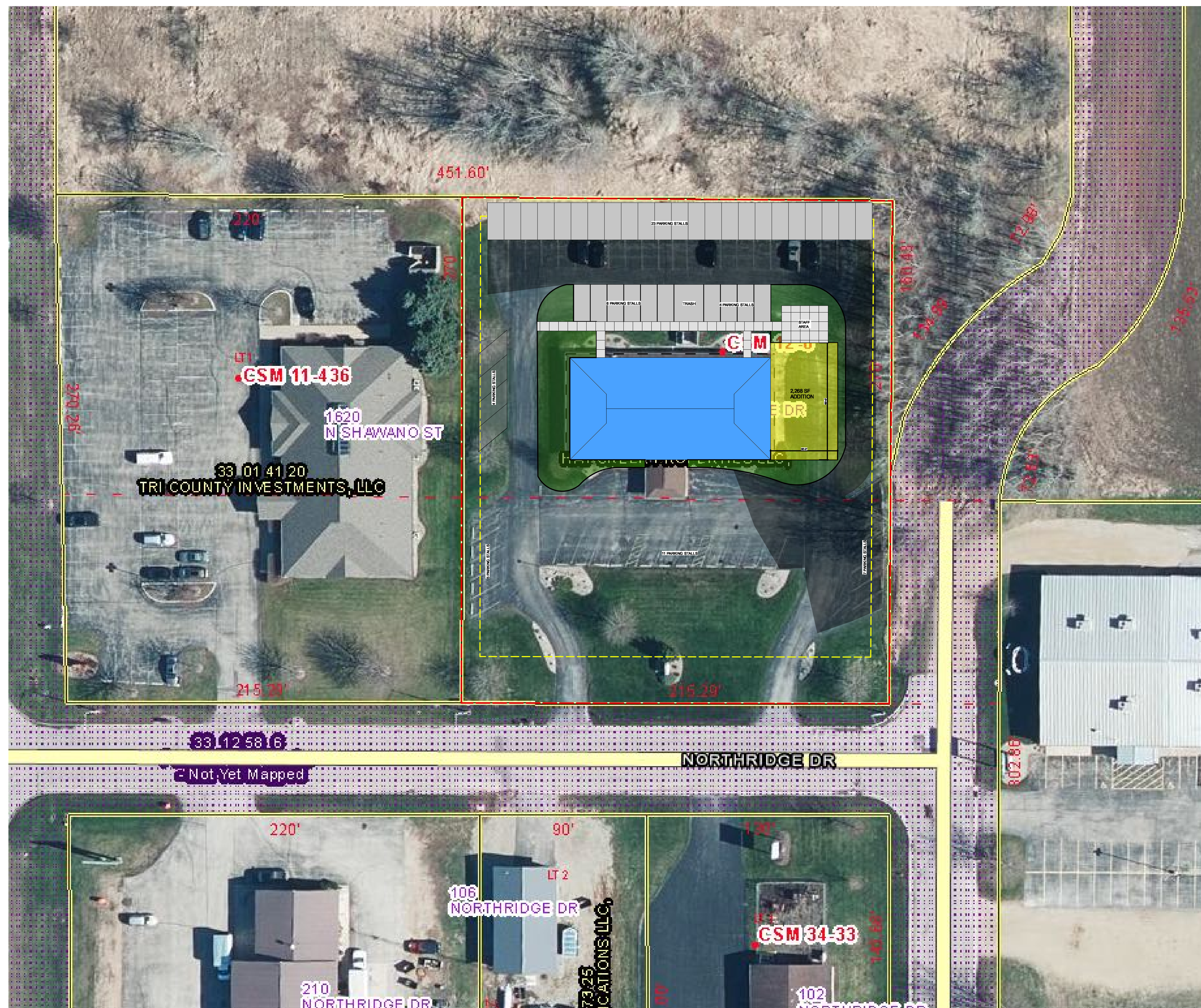
These are transmitted as checked below:

- ☐ For Approval    ☒ For Review and Comment    ☐ For Your Use  
☐ Approved    ☐ As Requested    ☐ Approved as Noted

Thanks,  
  
 Joel, Ehrfurth, PE  
 Mach IV Surveying & Engineering  
 (920) 569-5765

Signature: Joel Ehrfurth





1 CONCEPTUAL SITE PLAN  
Scale: 1" = 30'-0"

**GRIEBENOW EYECARE, MELISSA AND CRAIG SYLTE, OD**

New London, WI

CONCEPTUAL SITE PLAN

DC1.0

4.20.23



[optometricarchitects.com](http://optometricarchitects.com)







**ORDINANCE O-1-23**

**AN ORDINANCE AMENDING TITLE 7, CHAPTER 1, SEC. 7-1-13 OF THE  
CODE OF ORDINANCES**

INTRODUCED BY: Ald. Tom Grade and Ald. Austin Hammond

The Common Council of the City of Menasha does hereby ordain as follows:

SECTION 1: Amend Title 7, Chapter 1, SEC 7-1-13 of the Code of Ordinances of the City of Menasha, Wisconsin, creating subsection (D) KEEPING OF CHICKENS IN THE CITY as follows:

Title 7 - Licensing and Regulation

Chapter 1

Licensing of Dog, Cat, or Ferret and Regulation of Animals

**SEC 7-1-13 PROHIBITED AND PROTECTED ANIMALS, FOWL, REPTILES, AND  
INSECTS**

(D) **KEEPING OF CHICKENS IN THE CITY.** In addition to all other regulations in this Chapter, the following shall apply to the keeping of chickens within the City.

(1) **Definitions.** The following terms, when used in this section, shall have the meanings set forth below:

- a. **Chicken**—a domestic chicken of the sub-species *Gallus gallus domesticus*.
- b. **Keep**—the owning, keeping, possessing, or harboring of a chicken.
- c. **Rooster**—a male chicken of any age, including a capon or otherwise neutered male chicken.
- d. **Coop**—a new or existing enclosed accessory structure designed or modified for the keeping of chickens and meeting the requirements of this section.
- e. **Chicken Run**—a fenced cage attached to a coop.
- f. **Hen**—a female chicken of any age.
- g. **Front Yard** —A front yard shall be as defined by the City of Menasha Zoning Code under Title 13.

(2) **Permit Required.**

- a. Any person who keeps chickens on land in the City which the person owns, occupies, or controls shall first obtain an initial zoning permit issued by the Community Development Department. A permit application shall be accompanied by an application, an application fee as established by resolution of the Common Council, specification<sup>(s)</sup> of the proposed coop/run, and a site plan. Upon the issuance of an initial zoning permit, an initial inspection of the coop shall be certified by the Health Officer and/or designee prior to the occupancy of chickens. *Who might this be?*
- b. All permit applications shall be accompanied by satisfactory evidence that the applicant has registered the proposed location with the Wisconsin Department of Agricultural Trade and Consumer Protection pursuant to Wis. Stats. §95.51 and ATCP 17 Wis. Admin. Code.
- c. One permit shall be permitted per R-1 Single Family Residence District, R-1X R ~~Low Density~~ Single Family Residential District and R-2 Two-Family Residence District zoned parcel. *Ranch* **TO BE DETERMINED.**
- d. Any person other than the recorded title owner looking to permit chickens shall first provide written consent of the property owner with the zoning review application.
- e. Following the initial approval of a permit, any person who continues to own, harbor, or keep chickens, shall annually prior to January 1, of each year, pay a license fee and obtain an annual license. The annual fee shall be as established by resolution of the Common Council.

*Not safe we  
want annual  
(license)*

(3) **Keeping of Chickens Allowed.**

- a. Up to six (6) chickens are allowed per parcel with a permit. *improved, occupied*
- b. No person shall keep any rooster.
- c. Chickens shall be provided with fresh water at all times and adequate amounts of feed.
- d. Coops shall be constructed in a workmanlike manner, be moisture-resistant, shall either be raised up off the ground or placed on a hard surface, and be adequately weather proofed and insulated to allow the comfortable living of chickens within the coop year-round.
- e. Coops with or without a chicken run shall be constructed and maintained to reasonably prevent the collection of standing water and shall be cleaned of hen droppings, uneaten feed, feathers, and other waste daily and as is necessary to ensure the coop and yard do not become a health, odor, or other nuisance. All feed containers shall be vermin-proof.

- f. Coops shall be large enough to provide at least three (3) square feet per chicken. Coops and chicken runs shall have an aggregate maximum of sixty-four (64) square feet and the height of the coop shall not exceed seven (7) linear feet as measured from the ground.
- g. No chicken coop shall be located closer than twenty (20) feet to any principal residential structure on an adjacent lot. All coops and runs shall be located at least three (3) feet off of the side and back yard property line.
- h. No chicken coop shall be located in the Front Yard of a property as defined herein.
- i. In addition to compliance with the requirements of this section, no person shall keep chickens that cause any other public nuisance as defined by ~~Title 11 of the Menasha Code~~: *Nuisance ordinance Chapter 10.*

(4) **Public Health Requirements.**

- a. Upon the Health Officer and/or designee having reasonable suspicion of any coop or run having unhealthy or unsanitary conditions, any permit or license holder shall allow the Health Officer and/or designee to inspect the conditions of the coop and/or chickens upon reasonable notice (no less than 24 hours' notice). The Health Officer and/or designee shall provide notice to the permit or license holder to cure any violations found. Failure to correct said violations may result in the revocation of the permit per Section (5) below.
- b. Chickens shall be kept and handled in a sanitary manner to prevent the spread of communicable diseases among birds or to humans.
- c. Any person keeping chickens shall immediately report any unusual or sudden death or illness of chickens to the City of ~~Menasha Health Department~~ <sup>New London</sup> *Zoning Dept.*
- d. The Health Officer may order testing, quarantine, isolation, vaccination, or humane euthanasia of ill chickens or chickens believed to be a carrier of a communicable disease. The owner of the chicken shall be responsible for all costs associated with the procedures ordered hereunder.
- e. No person may slaughter any chickens within the City.
- f. Sale of Eggs and Baby Chicks Prohibited. No person may offer to sell eggs or chicks accumulated from the activities permitted hereunder.
- g. The breeding of any chickens is strictly prohibited.

- (5) **Permit Revocation.** A permit is subject to revocation by the Health Officer and/or designee upon failure to comply with any provisions of sub. (3) or (4). Such revocation is subject to appeal by the Board of Health, upon the aggrieved filing an appeal request within thirty (30) days of the revocation with the Board of Health. Once a permit is revoked, a permit shall not be reissued. *Work on this*

SECTION 2: This amending Ordinance shall take effect upon passage and publication as provided by law.

*who?*

*Do we care as long as they don't have signage?*

*who*

*whom should make up.*

Passed and approved this \_\_\_\_ day of \_\_\_\_\_, 2023.

Recommended by:

\_\_\_\_\_

Motion/Second:

\_\_\_\_\_

Vote: \_\_\_\_\_

Pass/Fail: \_\_\_\_\_

Requires: \_\_\_\_ Majority Vote

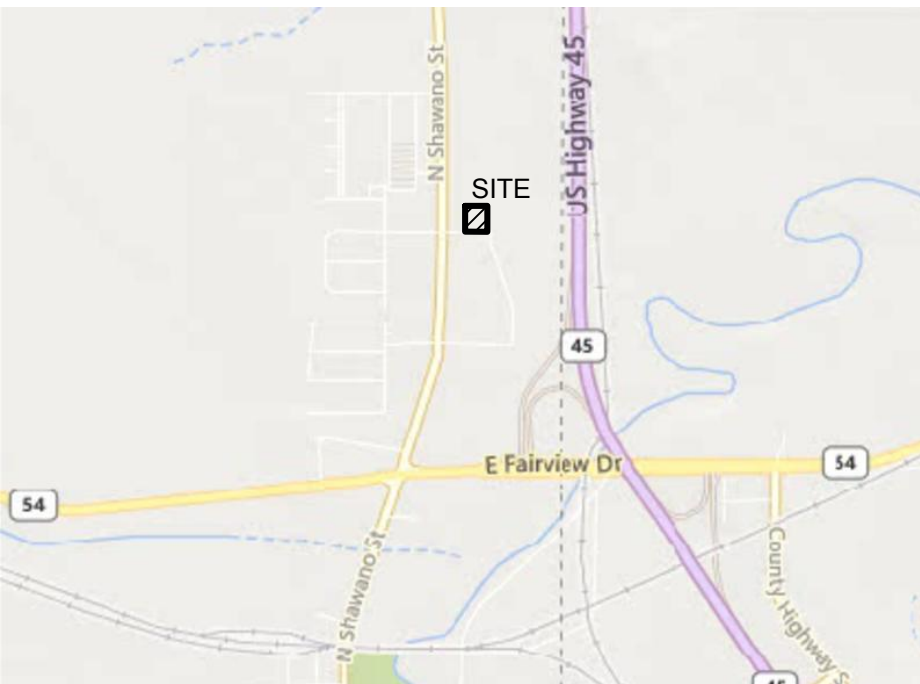
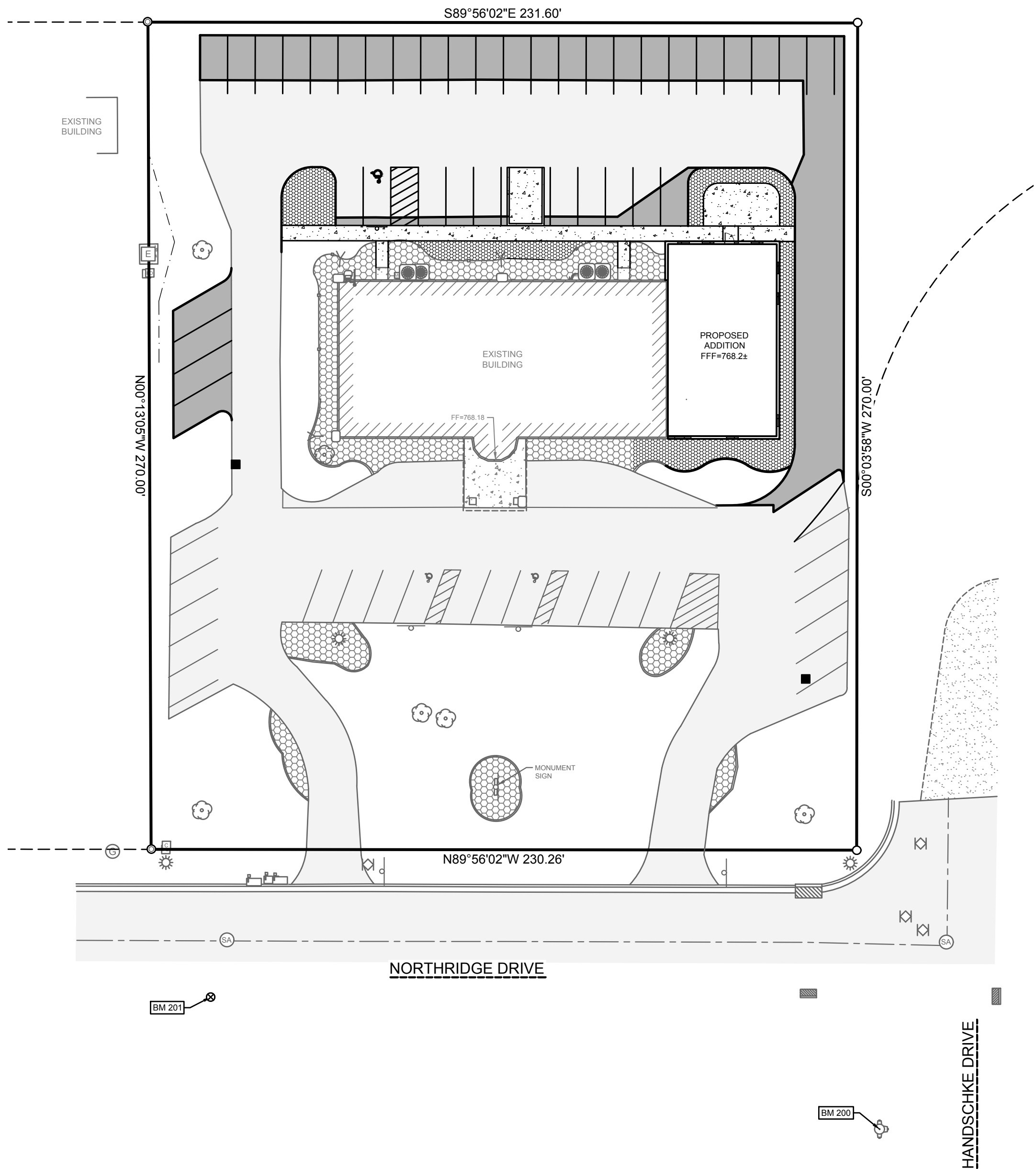
\_\_\_\_\_  
Donald Merkes, Mayor

ATTEST:

\_\_\_\_\_  
Haley Krautkramer, City Clerk



File name: R:\Jobs\2053-01-23 GRIEBENOW EYECARE\DRAWINGS\2053-01-23 Erog.dwg 2023-04-26 26



## LOCATION MAP

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961

NOT TO SCALE

## CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C4.1 EROSION CONTROL DETAILS
- C5.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN

## CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC MAY 25, 2023.
- SURVEY VERTICAL DATUM IS NAVD88. (2012 ADJUSTMENT) WI GEOID MODEL 18.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C4.0 AND C4.1.
- FOR NOTES SHOWN THUS, "1", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

## CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		ASPHALT	
LIGHT POLE		BUILDING OVERHANG		CONCRETE	
POWER POLE		UNDERGROUND CABLE		GRAVEL	
GAS METER		OVERHEAD WIRE		LANDSCAPE WOOD MULCH	
GAS VALVE		UNDERGROUND ELECTRIC		LANDSCAPE STONE MULCH	
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

## ABBREVIATIONS

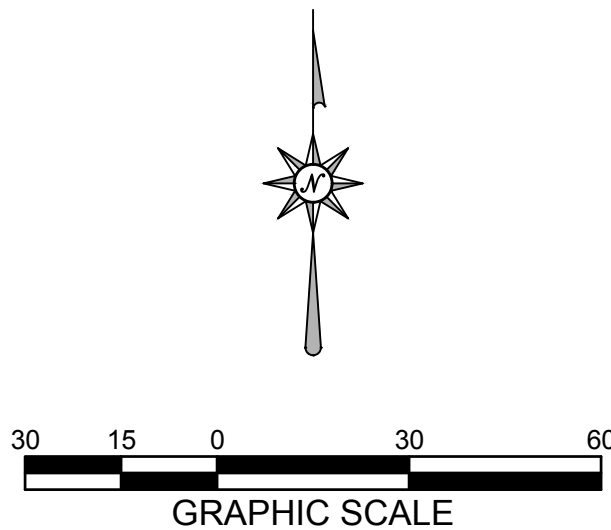
Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SO	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

## DIGGERS HOTLINE

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3  
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS  
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE  
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS  
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 2053-01-23



201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



## GRIEBENOW EYECARE

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961

## DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
06/05/2023

MARK	DATE	DESCRIPTION

JOB NO: D507-22

DRAWN BY: RPH

CHECKED BY:

PROJECT ENGINEER: JE

PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

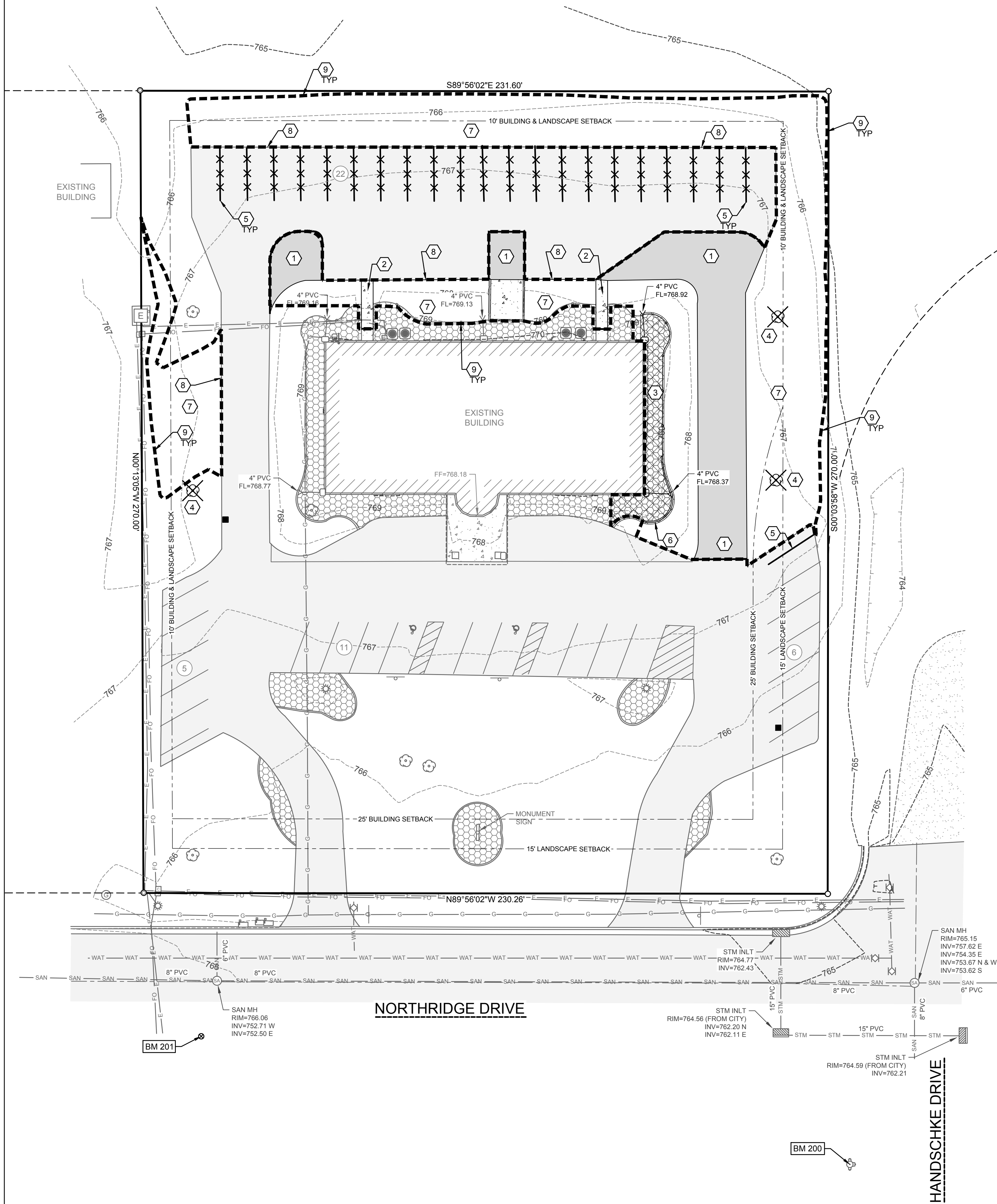
COVER SHEET

SHEET NO.

C0.1



File name: R:\Job\2053-01-23 GRIEBENOW EYECARE\DRAWINGS\2053-01-23 Erog.dwg 2023-04-26



Benchmarks		
Label	Elevation	Description
BM 200	767.43	HYDRANT BURY BOLT
BM 201	766.26	SAW CUT SQUARE

SHEET KEY NOTES:

- 1 SAW CUT ASPHALT AND REMOVE
- 2 SAW CUT CONCRETE SIDEWALK AND REMOVE
- 3 REMOVE LANDSCAPE MATERIAL
- 4 REMOVE TREE AND GRIND ROOTS TO 2' BELOW FINISHED GRADE
- 5 REMOVE PAINT STRIPE
- 6 REMOVE LANDSCAPE EDGING AS NECESSARY
- 7 STRIP TOPSOIL AND CLEAR AND GRUB WITHIN GRADING LIMITS
- 8 SAW CUT PAVEMENT EDGE AS NECESSARY FOR CLEAN EDGE
- 9 GRADING LIMITS



201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



GRIEBENOW  
EYECARE

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961

DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
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06/05/2023

MARK	DATE	DESCRIPTION
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JOB NO: D507-22  
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CHECKED BY:  
PROJECT ENGINEER: JE  
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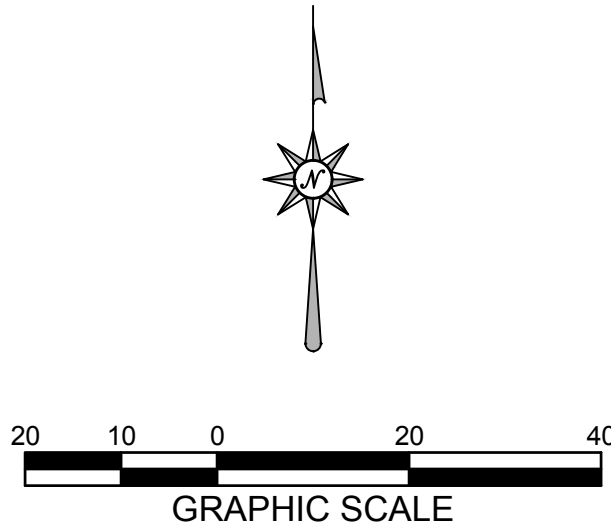
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SHEET TITLE

DEMOLITION  
PLAN

SHEET NO.

C1.0



2260 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 2053-01-23



OWNER

HAY CREEK PROPERTIES LLC  
N4982 TANK ROAD  
NEW LONDON, WI 54961

SHEET KEY NOTES:

- 1 STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C5.0
- 2 CONCRETE SIDEWALK; SEE DETAIL B SHEET C5.0
- 3 STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- 4 DUMPSTER PAD; SEE DETAIL C SHEET C5.0
- 5 DUMPSTER ENCLOSURE; REFER TO ARCHITECTURAL DRAWINGS
- 6 4" WIDE PAINT STRIPE; MATCH EXISTING COLOR
- 7 ADA HANDICAP STALL, SYMBOL: SEE DETAIL D SHEET C5.0
- 8 ADA HANDICAP SIGN; SEE DETAIL E SHEET C5.0
- 9 VERIFY WITH ARCHITECTURAL DRAWINGS THE NUMBER AND THE LOCATION OF RELOCATED AND NEW DOWNSPOUTS

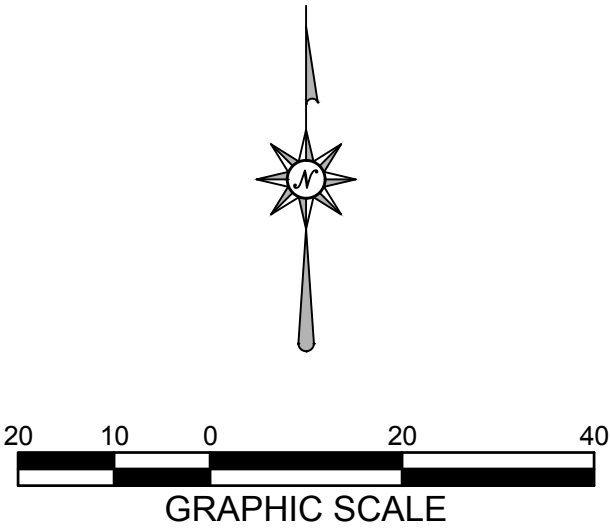
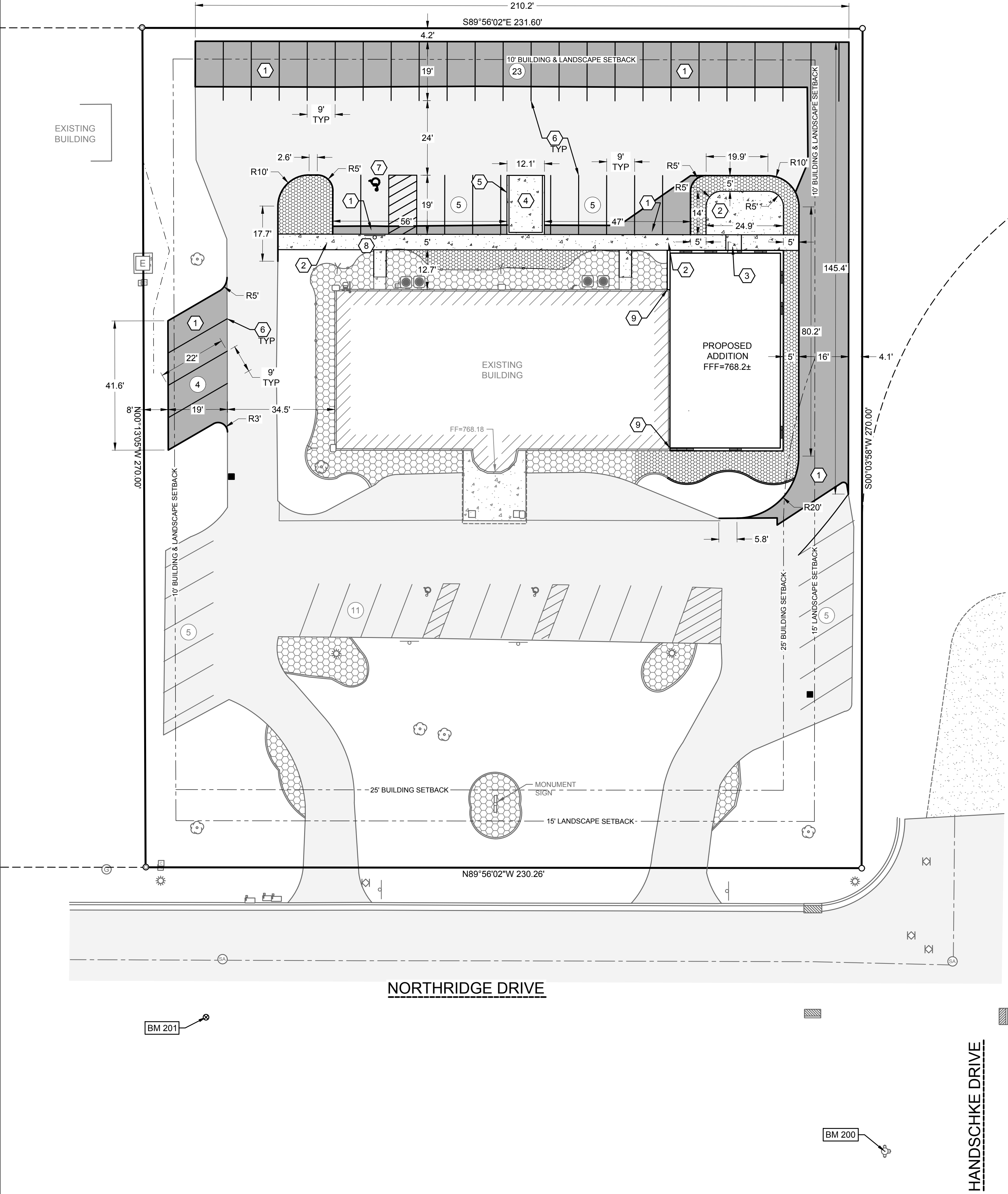
SITE STATISTICS

PARCEL ADDRESS: 105 NORTHRIDGE DRIVE  
PARCEL NUMBER: 33014125  
PARCEL SIZE: 62,327 SF (1.43 AC)  
ZONING: MP - MANUFACTURING PARK

EXISTING SITE  
GREEN SPACE: 30,400 SF (48.8%)  
IMPERVIOUS AREA  
BUILDING: 5,671 SF (9.1%)  
PAVEMENT: 26,256 SF (42.1%)  
TOTAL IMPERVIOUS: 31,927 SF (51.2%)

PROPOSED SITE  
TOTAL DISTURBED AREA: 13,964 SF (0.32 AC)  
GREEN SPACE REQUIRED: 15% (9,349 SF)  
GREEN SPACE PROVIDED: 22,567 SF (36.2%)  
IMPERVIOUS AREA  
BUILDING: 8,031 SF (12.9%)  
PAVEMENT: 31,735 SF (50.9%)  
TOTAL IMPERVIOUS: 39,766 SF (63.8%)

PARKING PROVIDED  
PARKING SPACES REQ'D/CALCS: 5 PER DOCTOR  
  
PARKING SPACES PROVIDED: 58 STALLS; INCLUDES 3 ADA HANDICAP STALLS



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PROJECT ENGINEER: JE  
PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

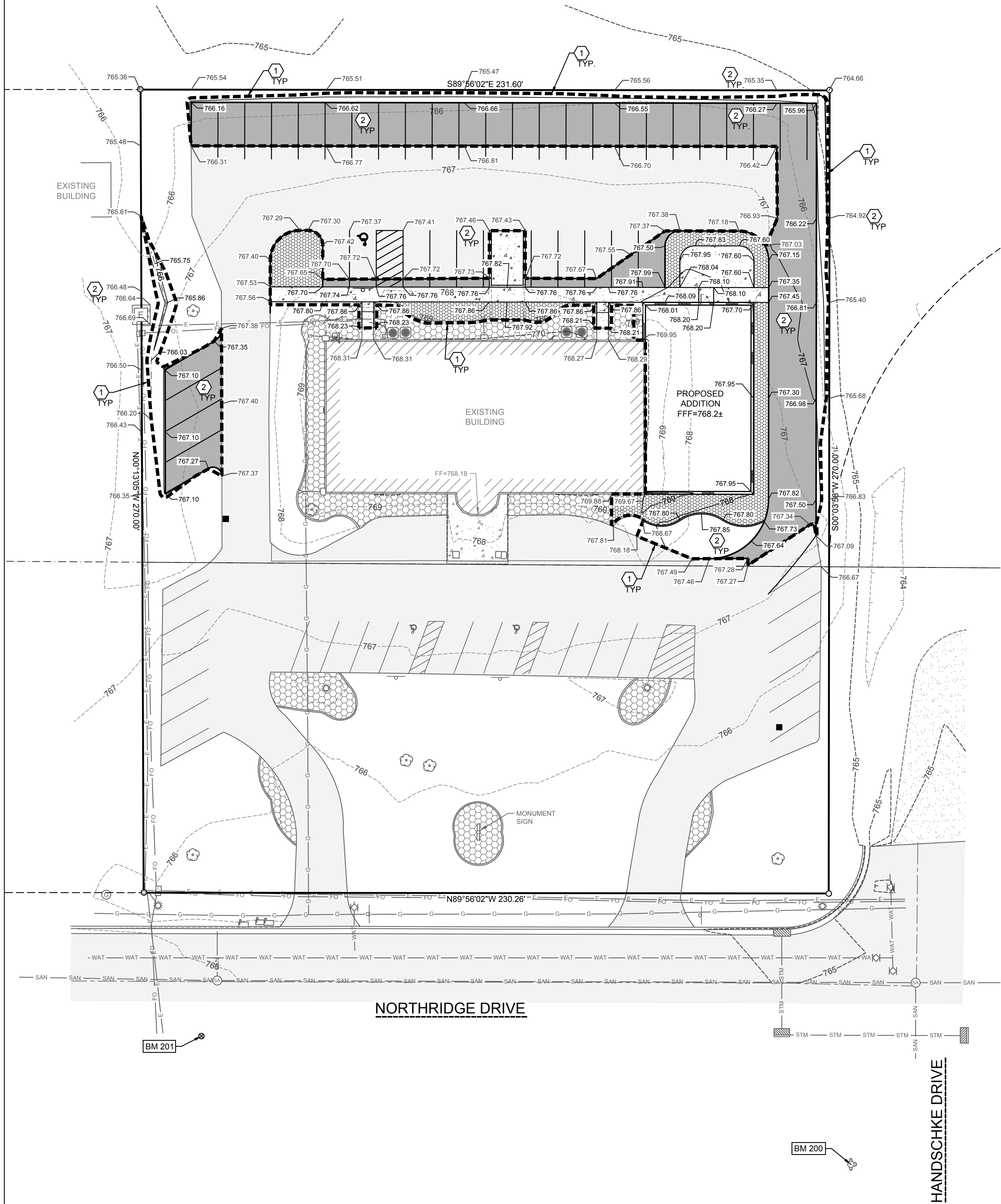
SITE PLAN

SHEET NO.

C2.0



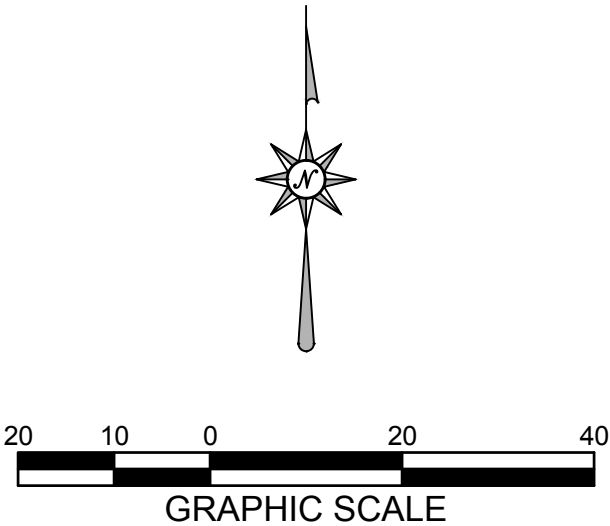
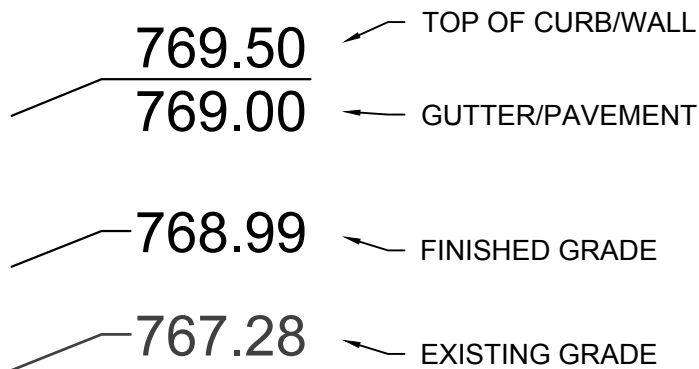
File name: R:\data\2053-01-23 GRIEBENOW EYECARE\DRAWINGS\2053-01-23 Eng.dwg 2023-04-26 26



Benchmarks		
Label	Elevation	Description
BM 200	767.43	HYDRANT BURY BOLT
BM 201	766.26	SAW CUT SQUARE

SHEET KEY NOTES:

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET



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319-987-2101



GRIEBENOW EYECARE

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961

DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
06/05/2023

MARK	DATE	DESCRIPTION
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JOB NO: D507-22  
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CHECKED BY:  
PROJECT ENGINEER: JE  
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SHEET TITLE

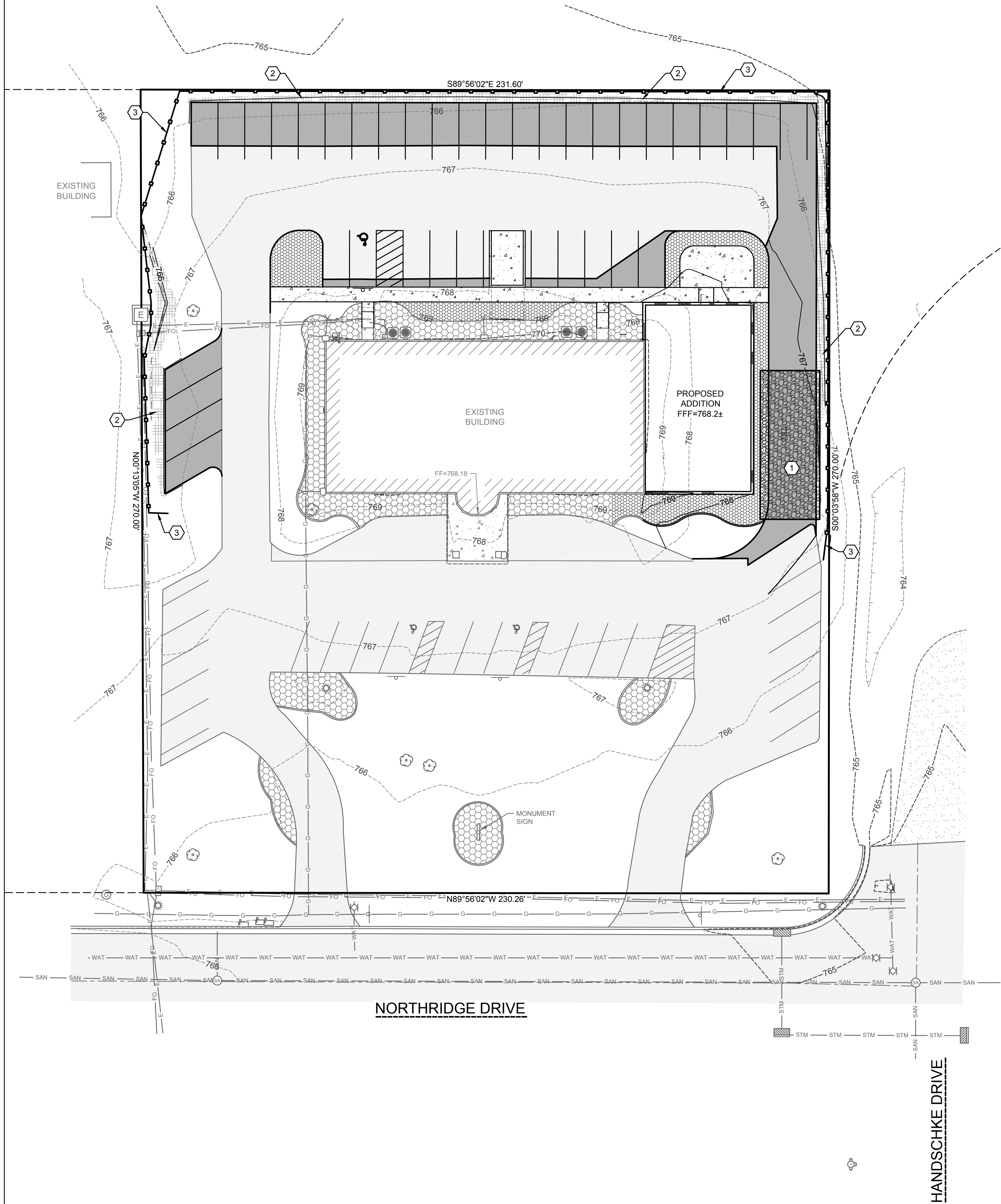
GRADING PLAN

SHEET NO.

C3.0



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## SHEET KEY NOTES:

- 1 STONE TRACKING PAD; SEE DETAIL A SHEET C4.1
- 2 CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL B SHEET C4.1
- 3 SILT FENCE; SEE DETAIL C SHEET C4.1

## CONSTRUCTION SEQUENCE:

JULY 2023 TO DECEMBER 2023

- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
- STRIP TOPSOIL WITHIN GRADING LIMITS
- ROUGH GRADE SITE
- CONSTRUCT BUILDING
- INSTALL BASE COURSE
- INSTALL PAVEMENT
- TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
- REMOVE EROSION CONTROL BMPs UPON SITE STABILIZATION

## PLANNED EROSION CONTROL PRACTICES:

1. SILT FENCE (TECH. STANDARD 1056)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. INLET PROTECTION (TECH. STANDARD 1060)  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. DUST CONTROL (TECH. STANDARD 1068)  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. STOCKPILED TOPSOIL/TEMPORARY FILL PILES  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1057)  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. EROSION CONTROL MATS (TECH. STANDARD 1053)  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. DEWATERING (TECH. STANDARD 1061)  
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

## MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/4 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

## CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.



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## DRAWING ISSUE INFORMATION

ISSUE:  
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MARK	DATE	DESCRIPTION

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DRAWN BY: RPH

CHECKED BY:

PROJECT ENGINEER: JE

PRINCIPAL IN CHARGE: RJS

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## SHEET TITLE

EROSION  
CONTROL  
PLAN

SHEET NO.

C4.0

20 10 0 20 40  
GRAPHIC SCALE

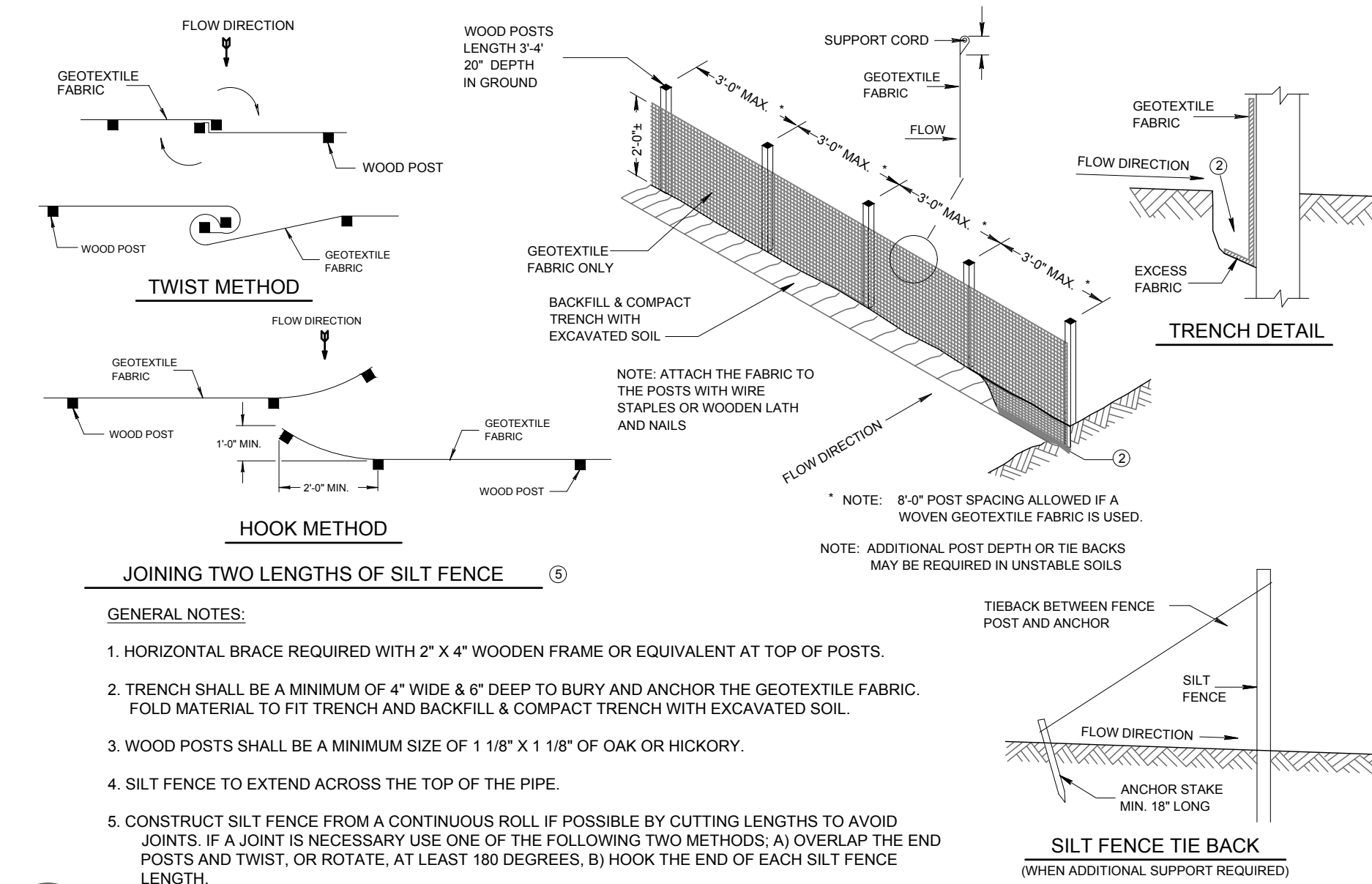
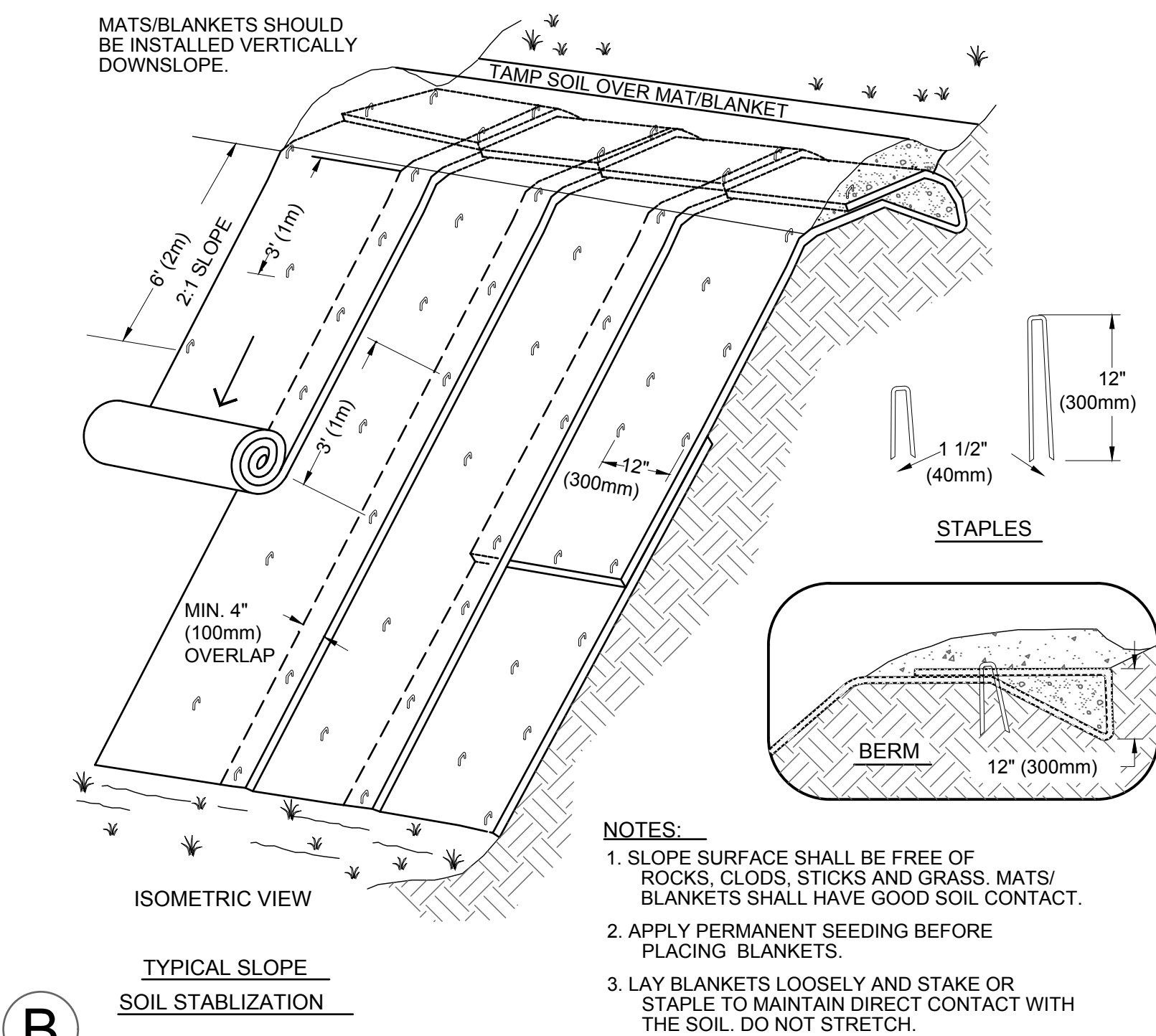
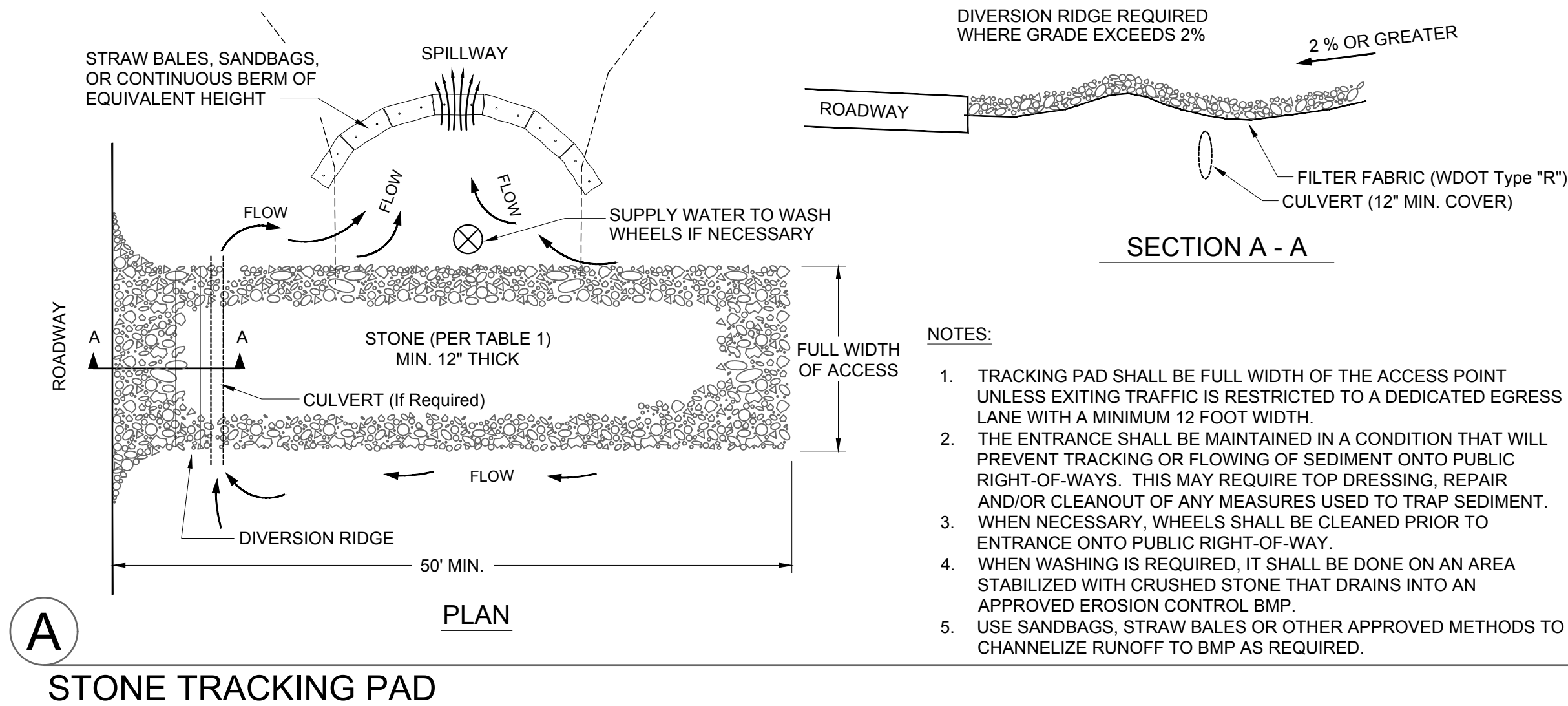
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TABLE 1: GRADATION FOR STONE TRACKING PADS	
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5



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**SHEET TITLE**

**EROSION  
CONTROL  
DETAILS**

**SHEET NO.**

**C4.1**





- A

NOTES:

- B**

THICKENED EDGE FOR  
MONOLITHIC SIDEWALK

C

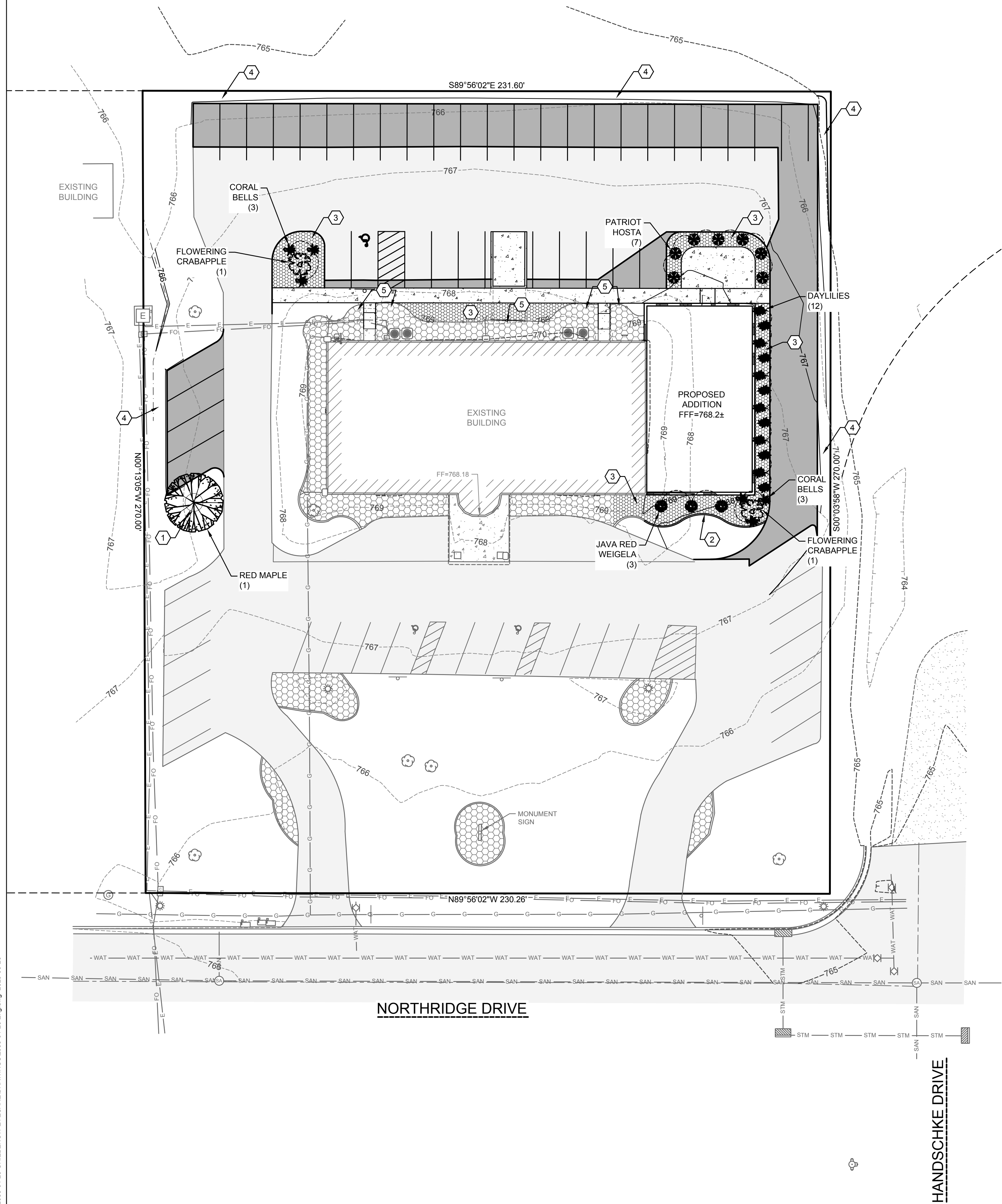


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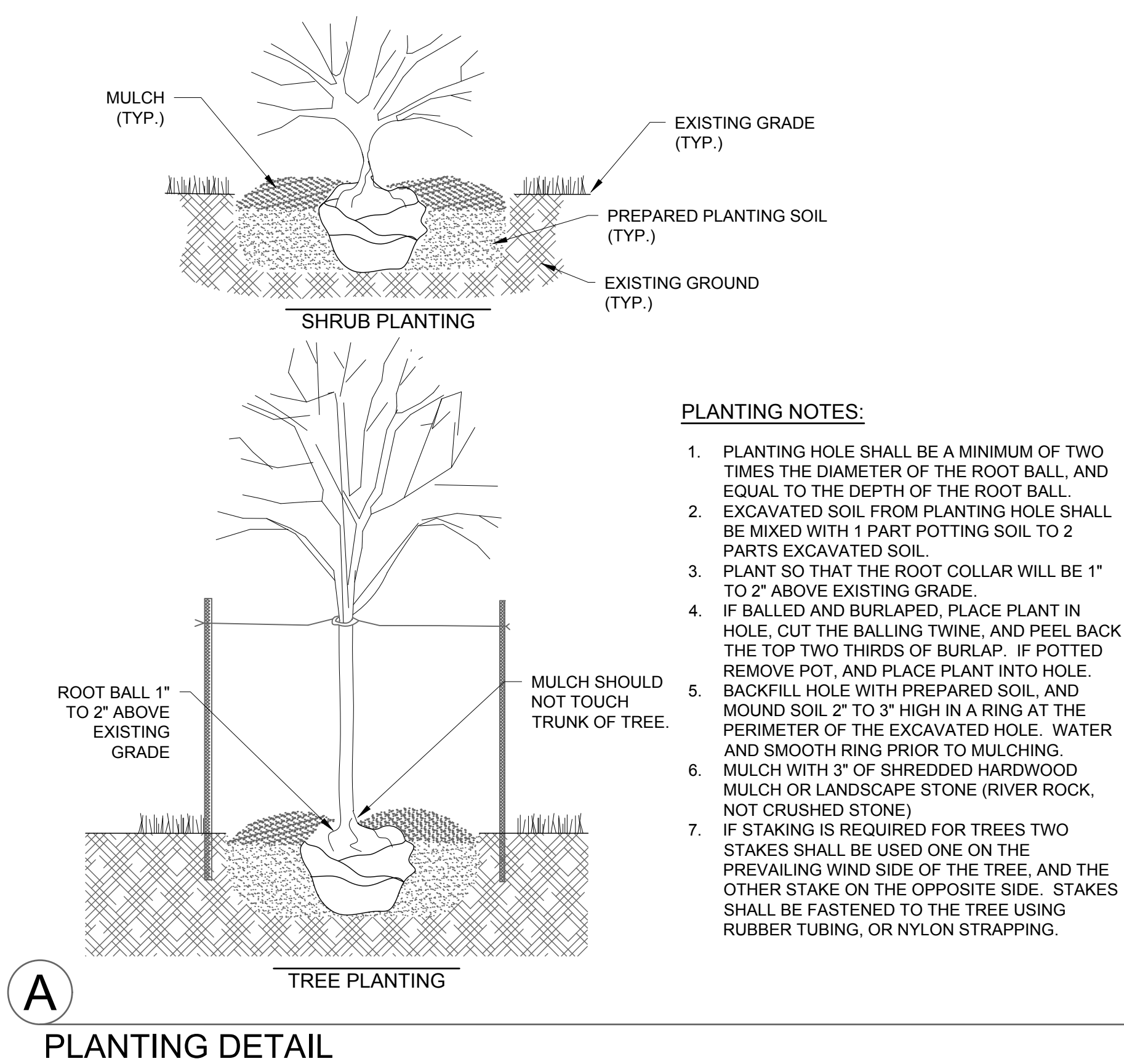


## SHEET KEY NOTES:

- 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- LANDSCAPE CURB, MATCH EXISTING
- STONE MULCH WITH WEED BARRIER FABRIC, MATCH EXISTING
- LAWN
- REPLACE IN-KIND EXISTING LANDSCAPE THAT WAS DISTURBED DURING CONSTRUCTION ACTIVITIES

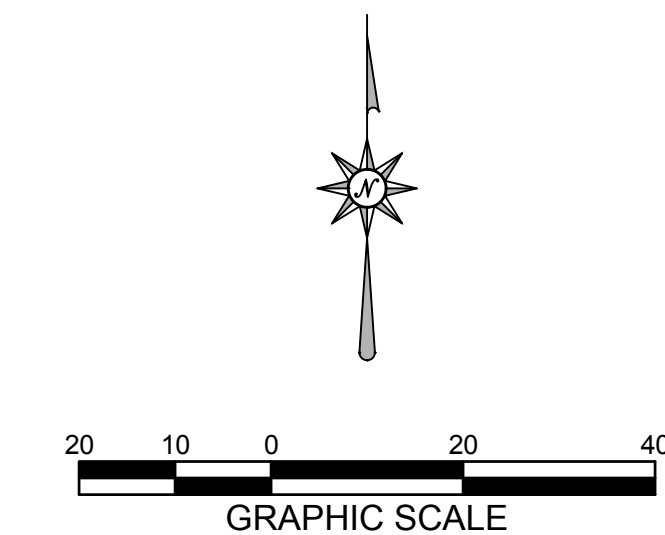
## PLANT TABLE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
	RED MAPLE	ACER RUBRUM	1	1 1/4"
	FLOWERING CRABAPPLE	MALUS 'ROSACEAE'	2	1 1/4"
	PATRIOT HOSTA	HOSTA 'PATRIOT'	7	1 GAL.
	JAVA RED WEIGELA	WEIGELA FLORIDA 'JAVA RED'	3	3 GAL.
	DAYLILIES	HEMEROCALLIS	12	1 GAL.
	CORAL BELLS	HEUCHERA	6	1 GAL.



## LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.



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PROJECT ENGINEER: JE  
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### SHEET TITLE

**LANDSCAPE  
PLAN**

### SHEET NO.

**L1.0**



## GENERAL BUILDING INFORMATION

### APPLICABLE CODES AND ORDINANCES:

BUILDING CODES:	2015 INTERNATIONAL BUILDING CODE
LIFE SAFETY CODE:	2000 NFPA 101
ACCESSIBILITY CODES:	ICC/ANSI A117.1-2009
MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE
PLUMBING CODE:	2015 INTERNATIONAL PLUMBING CODE
ELECTRIC CODE:	2017 NATIONAL ELECTRICAL CODE
FIRE CODE:	2015 INTERNATIONAL FIRE CODE
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE

## GENERAL CODE INFORMATION

### CONSTRUCTION TYPE: TYPE V-B

**BUILDING AREA:** 5,659 S.F. EXISTING BUILDING  
2,360 S.F. NEW ADDITION  
8,019 S.F. NEW TOTAL BUILDING  
5,320 S.F. OPTOMETRY SUITE TOTAL

### ALLOWABLE HEIGHT, STORIES, AREA CHECK:

PER TABLE 504.3 - 504.4  
HEIGHT - 40 F.T (PER TABLE 504.3) - OK  
STORIES - 2 STORY (PER TABLE 504.4) - OK  
SQ FT - 9,000 SQ FT (PER TABLE 506.2) - OK

### OCCUPANT LOAD:

PER TABLE 1004.1.2  
BUSINESS: 100 GROSS (5,320 s.f./100 = 54)

### EXITING:

PER TABLE 1005.3.2  
54 OCC X 2 = 108 INCHES (180 INCHES PROVIDED)  
PER TABLE 1017.2  
EXIT ACCESS TRAVEL DISTANCE 200'

### PLUMBING FIXTURES:

PER TABLE 2902.1  
TOILETS: 1 PER 25 FOR FIRST 50, 1 PER 50 REMAINDER - (3 REQUIRED)  
LAVATORIES: 1 PER 40 FOR FIRST 80, 1 PER 80 REMAINDER (2 REQUIRED)  
DRINKING FOUNTAINS: 1 PER 100 - (1 REQUIRED)

### SPRINKLED:

NOT REQUIRED

### ALARMED:

NOT REQUIRED

## CONSTRUCTION CLASSIFICATION

CONSTRUCTION TYPES	TYPE V-B
STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS AND TRUSSES)	0
BEARING WALLS EXTERIOR INTERIOR	0 0
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORT BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORT BEAMS AND JOISTS	0

## FIRE-RESISTANCE-RATED CONSTRUCTION

TABLE 602

FIRE SEPARATION DISTANCE	
DISTANCE	RATING
<5	1-HR
>= 5, <10	1-HR
>= 10, <30	0-HR
>= 30	0-HR

## INTERIOR WALL & CEILING FINISH REQUIREMENTS

TABLE 803.11

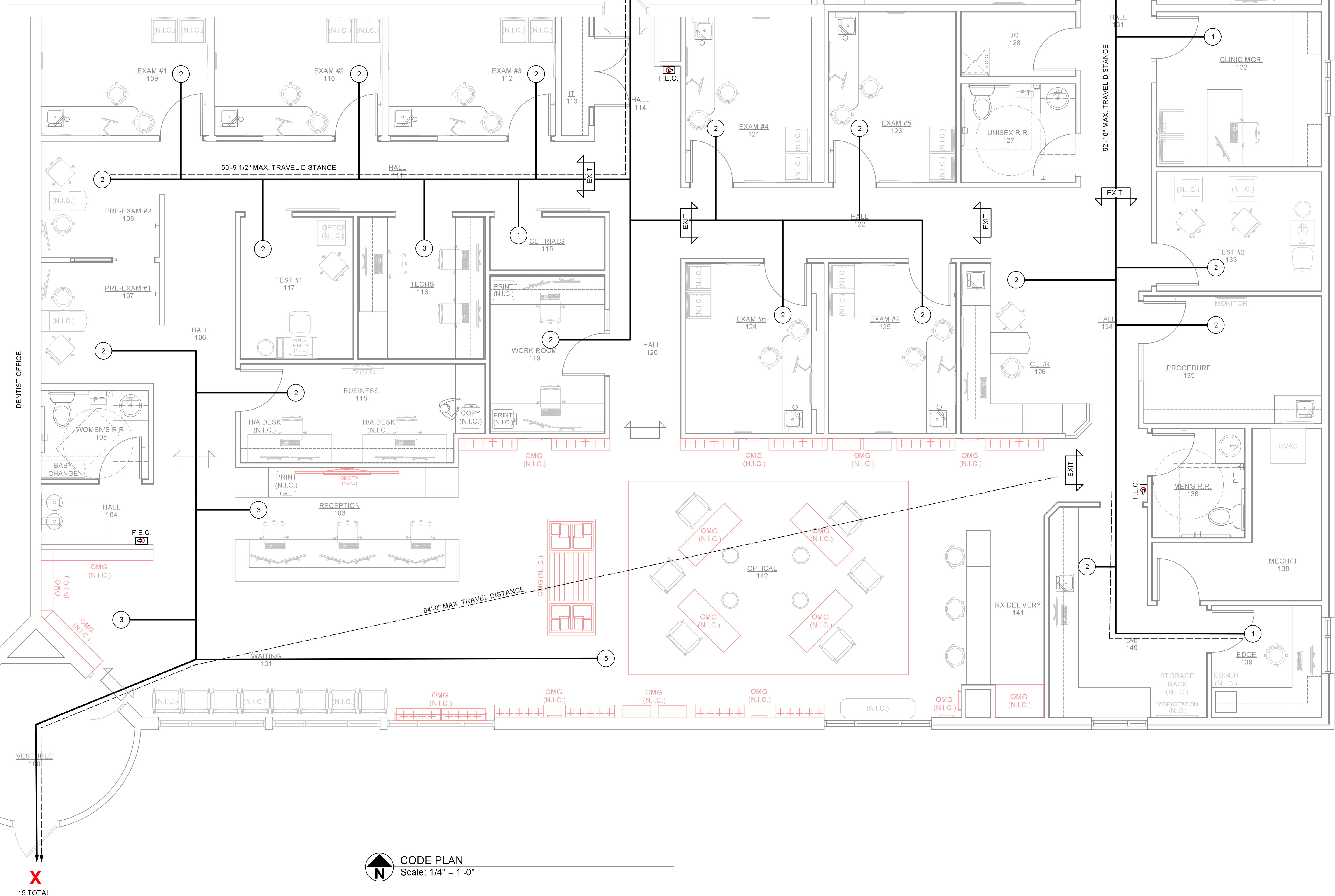
EXIT PASSAGEWAY	CLASS A
CORRIDORS	CLASS B
ROOMS	CLASS C

### LEGEND:

- X** - EXIT
- #** - OCCUPANTS
- - PATH OF EGRESS
- - EXISTING EMERGENCY EXIT LIGHT / SIGN LOCATION
- - NEW EMERGENCY EXIT LIGHT / SIGN LOCATION

## FIRE EXTINGUISHER CABINET

FEC = FIRE EXTINGUISHER CABINET (LARSON 2409-6R (VERTICAL DUO) SEMI-RECESSED CABINET (9.5" W X 24" H X 6" D) W/ 10 LB ABC FIRE EXTINGUISHER CABINET MUST BE INSTALLED SO HANDLE IS ADA ACCESSIBLE (48" A.F.F.)



CODE PLAN  
Scale: 1/4" = 1'-0"

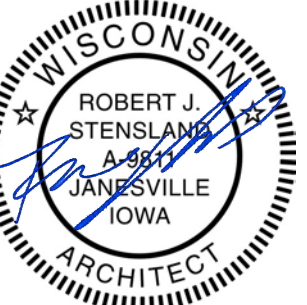


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### DRAWING ISSUE INFORMATION

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6/22/23

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CHECKED BY: DLH

PROJECT ARCHITECT: RJS

PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

CODE PLAN

SHEET NO.

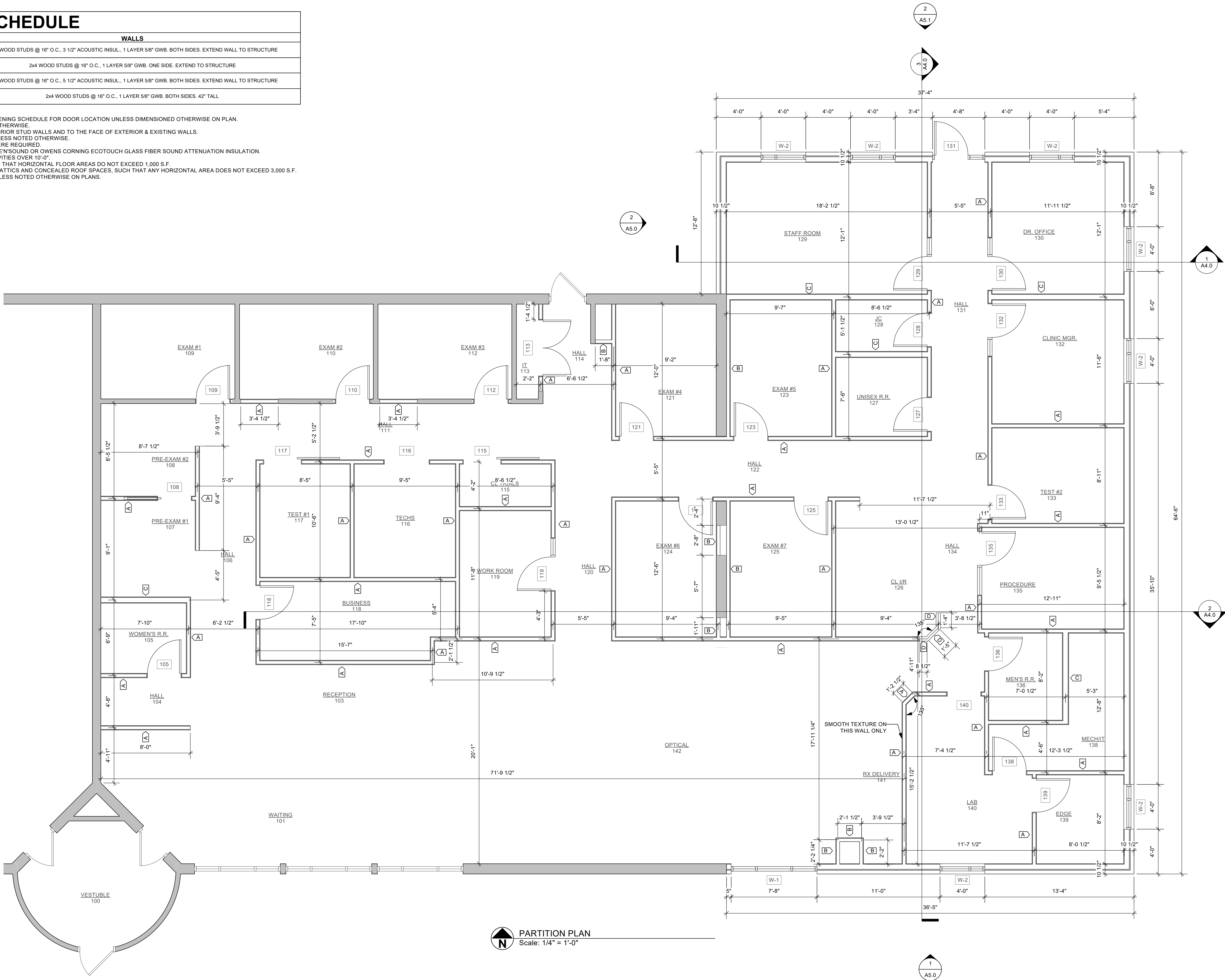
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WALL TYPE SCHEDULE

ACTUAL WIDTH	TAG	WALLS
4 3/4"	A	2x4 WOOD STUDS @ 16" O.C., 3 1/2" ACOUSTIC INSUL., 1 LAYER 5/8" GWB. BOTH SIDES. EXTEND WALL TO STRUCTURE
4 1/8"	B	2x4 WOOD STUDS @ 16" O.C., 1 LAYER 5/8" GWB. ONE SIDE. EXTEND TO STRUCTURE
6 3/4"	C	2x6 WOOD STUDS @ 16" O.C., 5 1/2" ACOUSTIC INSUL., 1 LAYER 5/8" GWB. BOTH SIDES. EXTEND WALL TO STRUCTURE
4 3/4"	D	2x4 WOOD STUDS @ 16" O.C., 1 LAYER 5/8" GWB. BOTH SIDES. 42" TALL

- NOTES:
- SEE TYPICAL DOOR JAMB DETAILS ON OPENING SCHEDULE FOR DOOR LOCATION UNLESS DIMENSIONED OTHERWISE ON PLAN.
  - ALL WALLS ARE TYPE A UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS ARE TO CENTER OF INTERIOR STUD WALLS AND TO THE FACE OF EXTERIOR & EXISTING WALLS.
  - ALL ANGLED WALLS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO INSTALL BLOCKING WHERE REQUIRED.
  - ACOUSTIC INSULATION TO BE ROXUL SAFEN'SOUND OR OWENS CORNING ECOTOUCH GLASS FIBER SOUND ATTENUATION INSULATION.
  - PROVIDE FIRE BLOCKING IN ALL STUD CAVITIES OVER 10'-0".
  - DRAFTSTOPPING SHALL BE INSTALLED SO THAT HORIZONTAL FLOOR AREAS DO NOT EXCEED 1,000 S.F.
  - DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 S.F.
  - WALLS FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE ON PLANS.



PARTITION PLAN  
Scale: 1/4" = 1'-0"

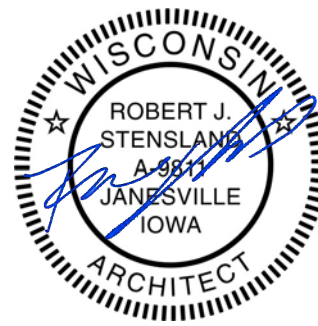


201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



GRIEBENOW  
EYECARE

105 NORTH RIDGE DRIVE  
NEW LONDON, WI 54961



DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
7/6/23

1	6/30/23	STRUCTURAL REVISIONS
---	---------	----------------------

MARK DATE DESCRIPTION

JOB NO: D507-22

DRAWN BY: VMC

CHECKED BY: DLH

PROJECT ARCHITECT: RJS

PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

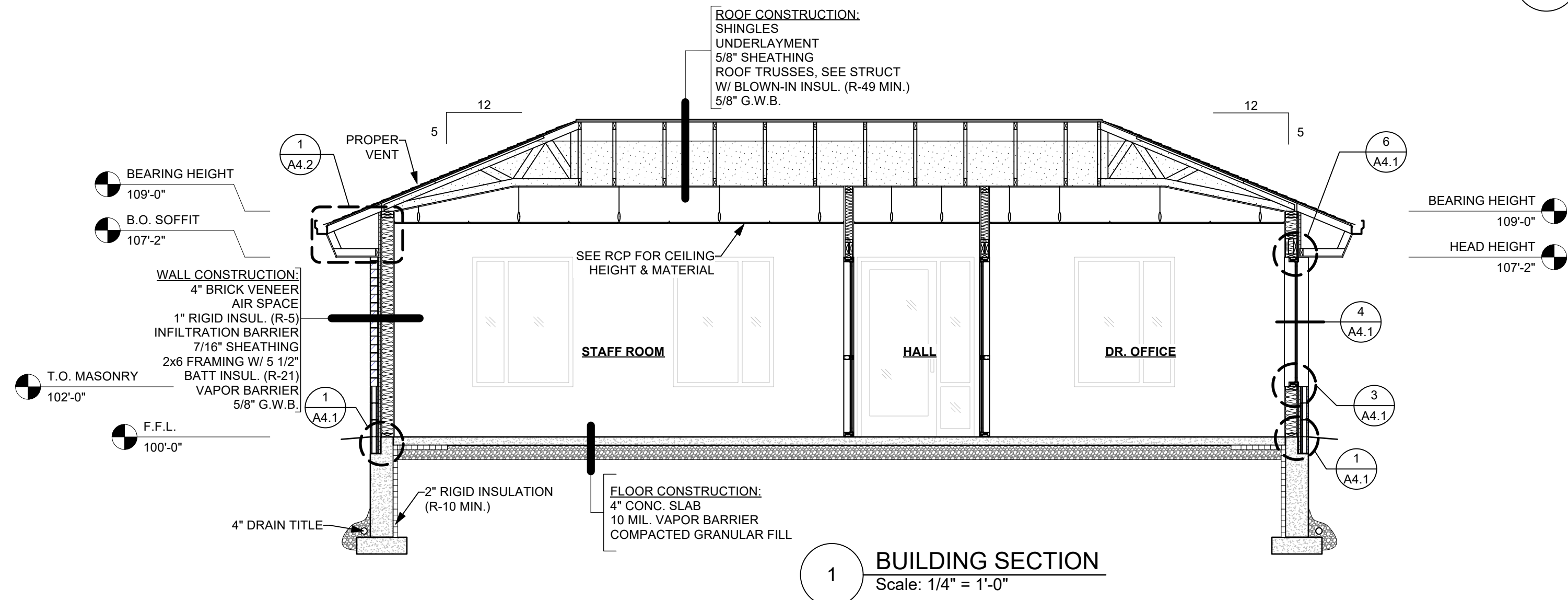
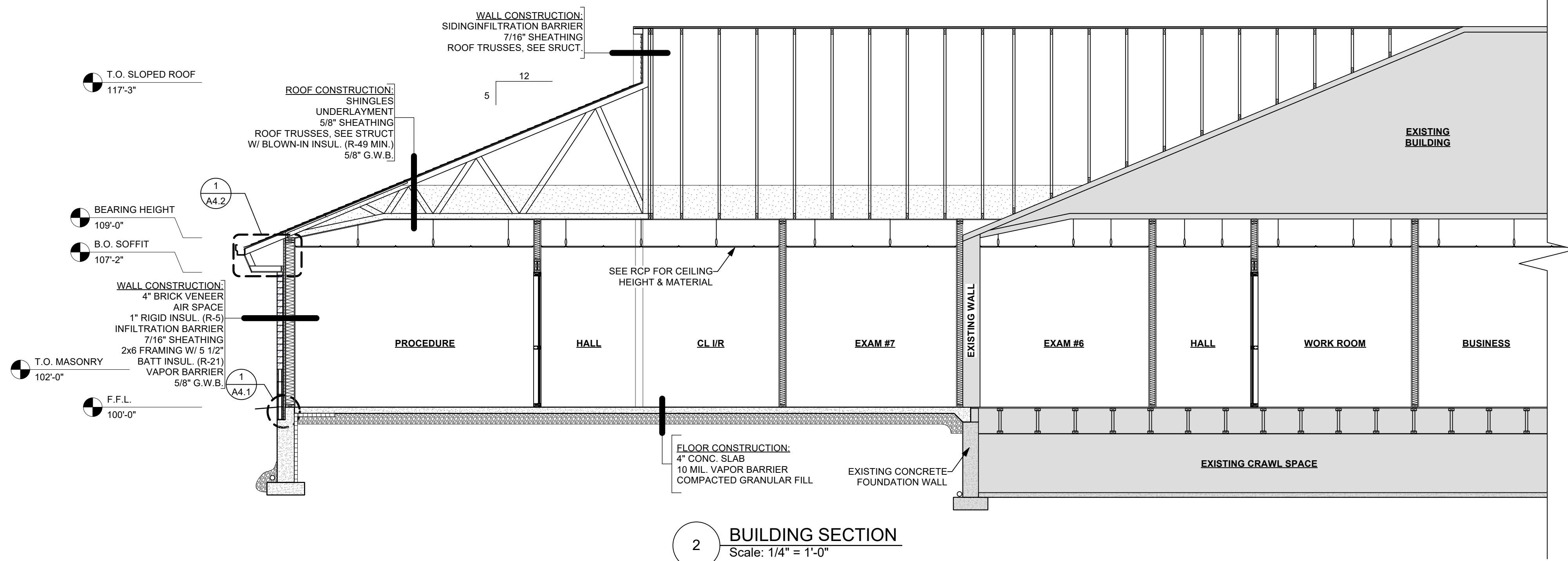
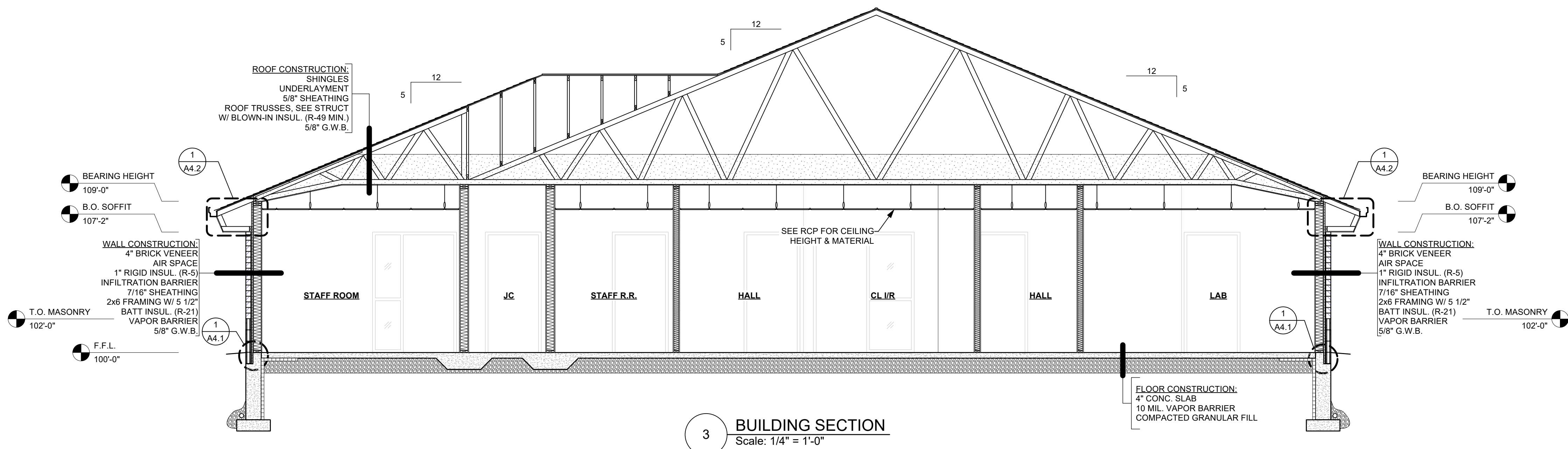
PARTITION  
PLAN

SHEET NO.

A2.1



File name: D507-22 - A4.0-A4.2 - Exterior Sections.vwx



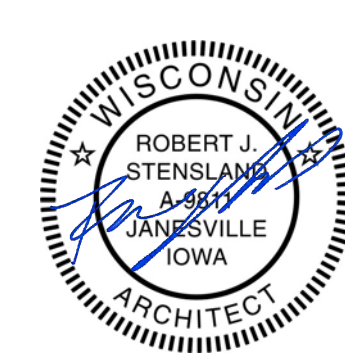
201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



Griebenow  
Eyecare  
New London • Chisago

**GRIEBENOW  
EYECARE**

105 NORTH RIDGE DRIVE  
NEW LONDON, WI 54961



**DRAWING ISSUE INFORMATION**

ISSUE:  
PERMIT SET  
DATE:  
6/23/23

MARK	DATE	DESCRIPTION

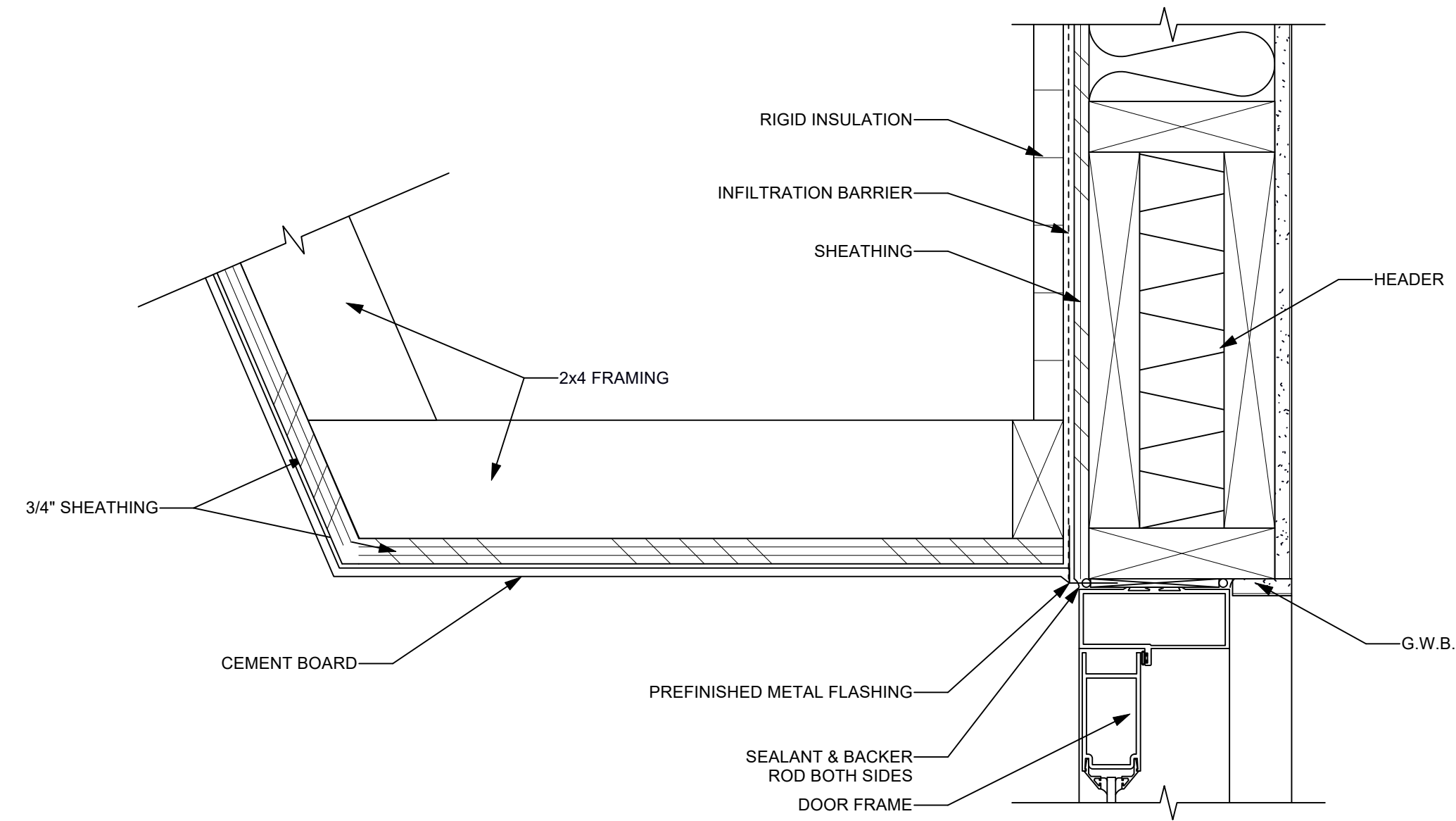
JOB NO: D507-22  
DRAWN BY: CAL  
CHECKED BY: DLH  
PROJECT ARCHITECT: RJS  
PRINCIPAL IN CHARGE: RJS

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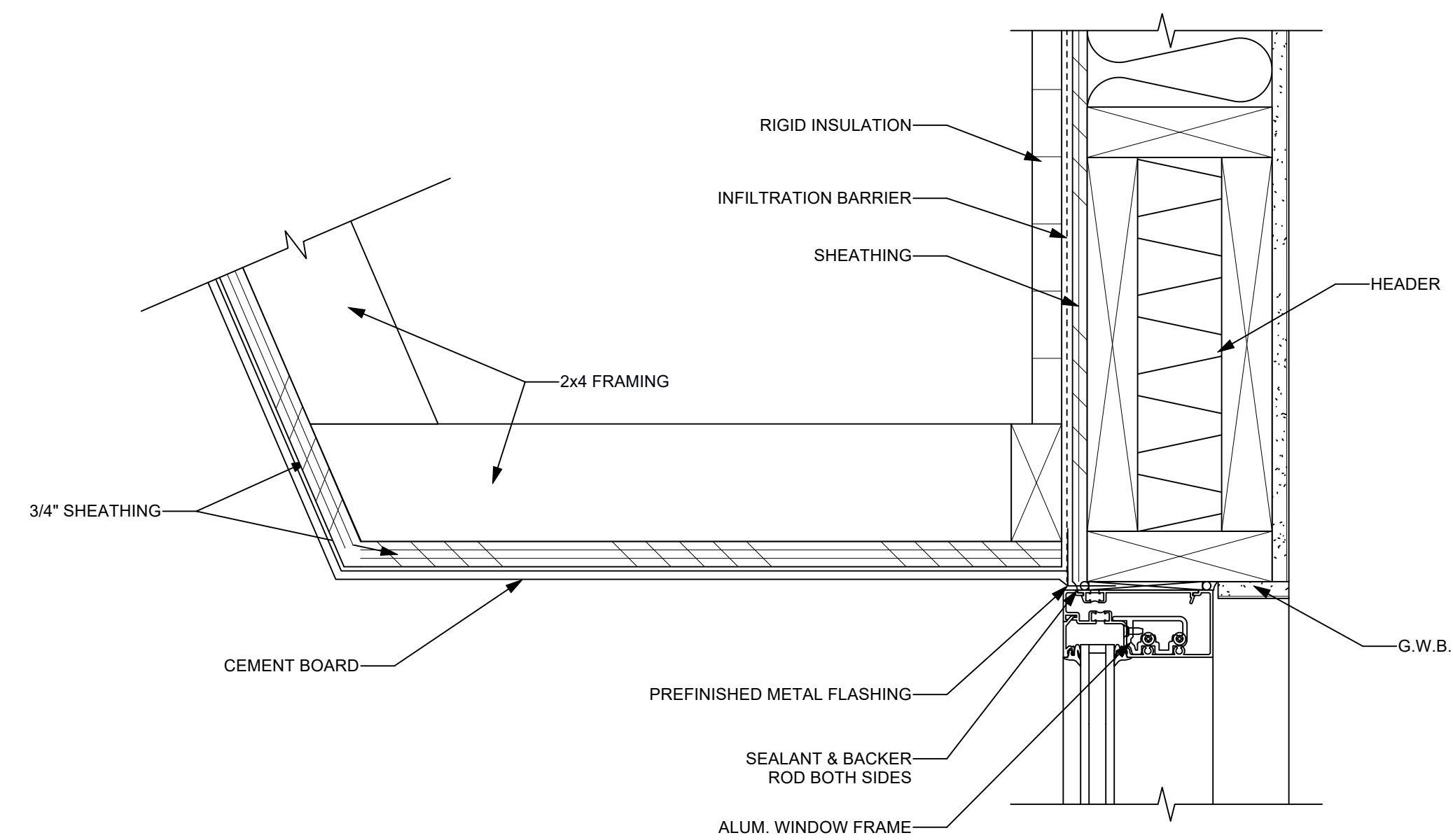
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**BUILDING  
SECTIONS**

**SHEET NO.**  
  
**A4.0**

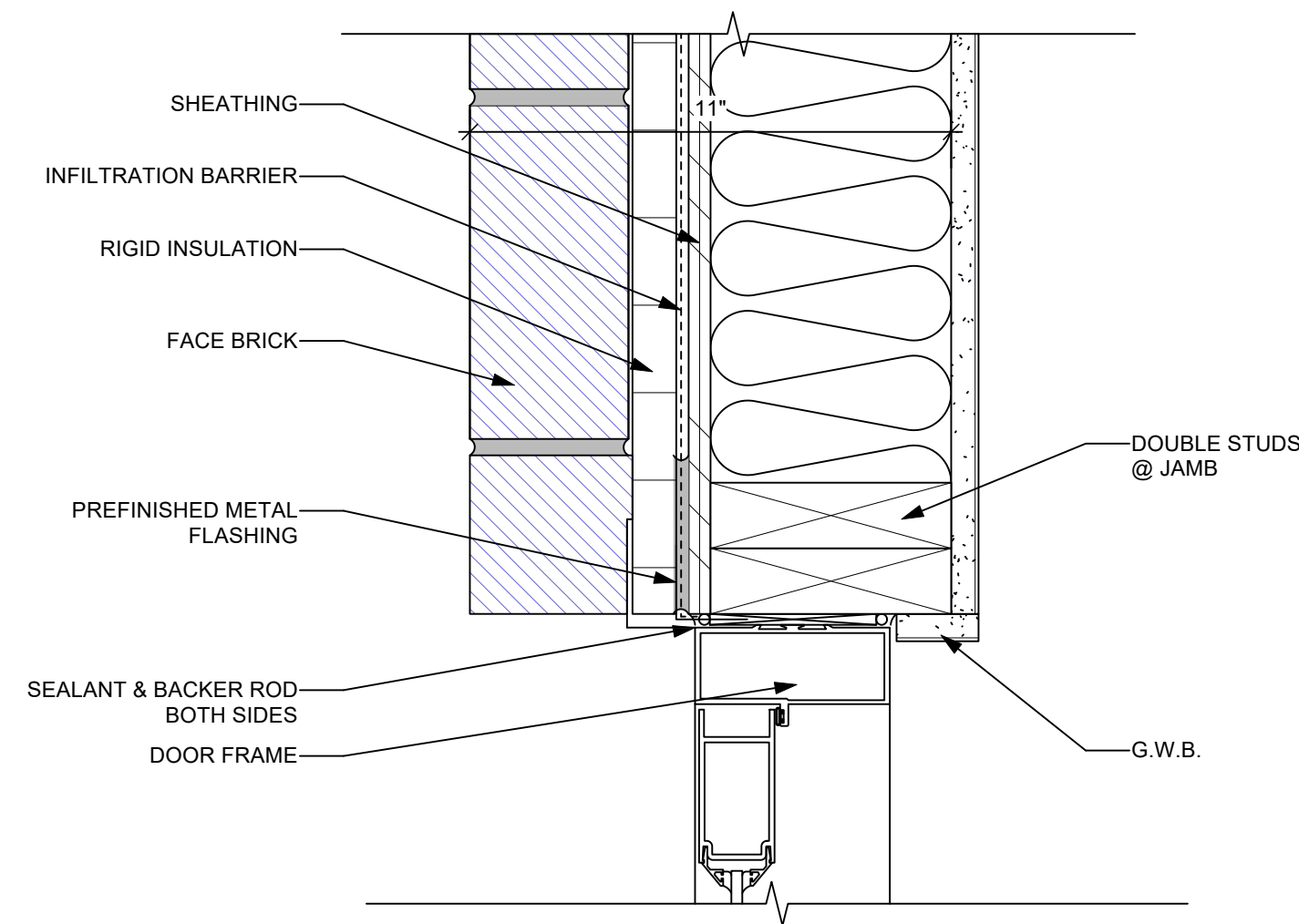




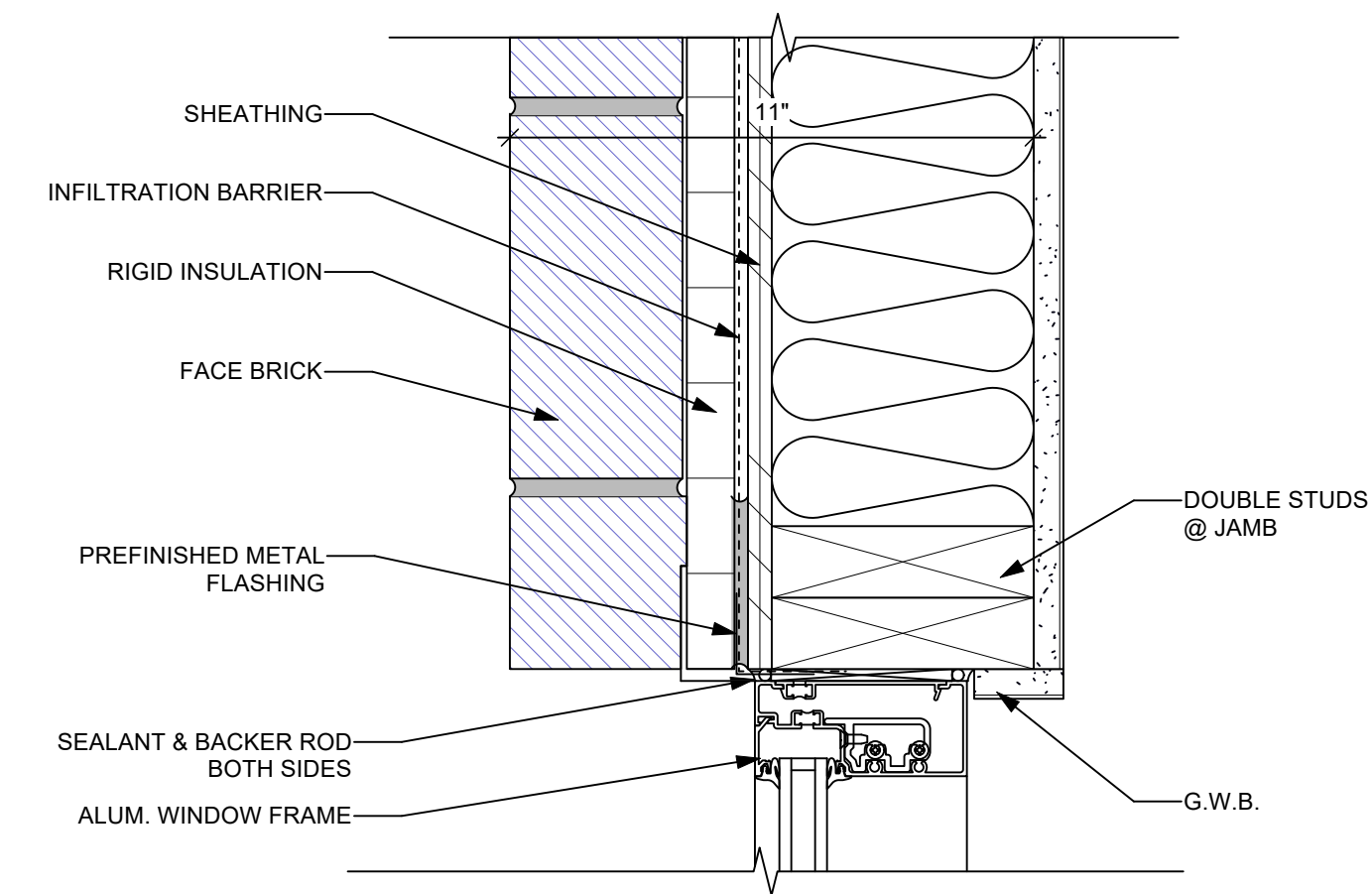
7 DOOR HEAD DETAIL  
Scale: 3" = 1'-0"



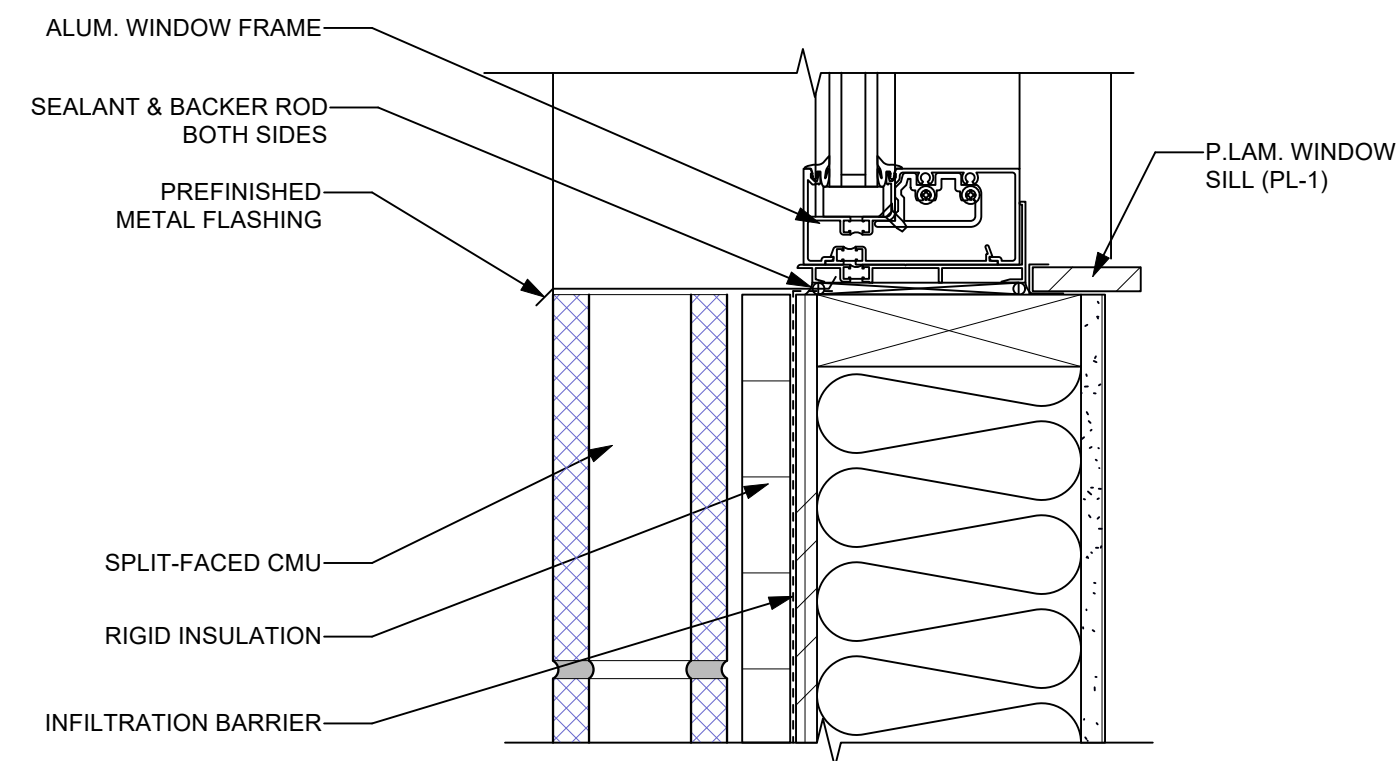
6 WINDOW HEAD DETAIL  
Scale: 3" = 1'-0"



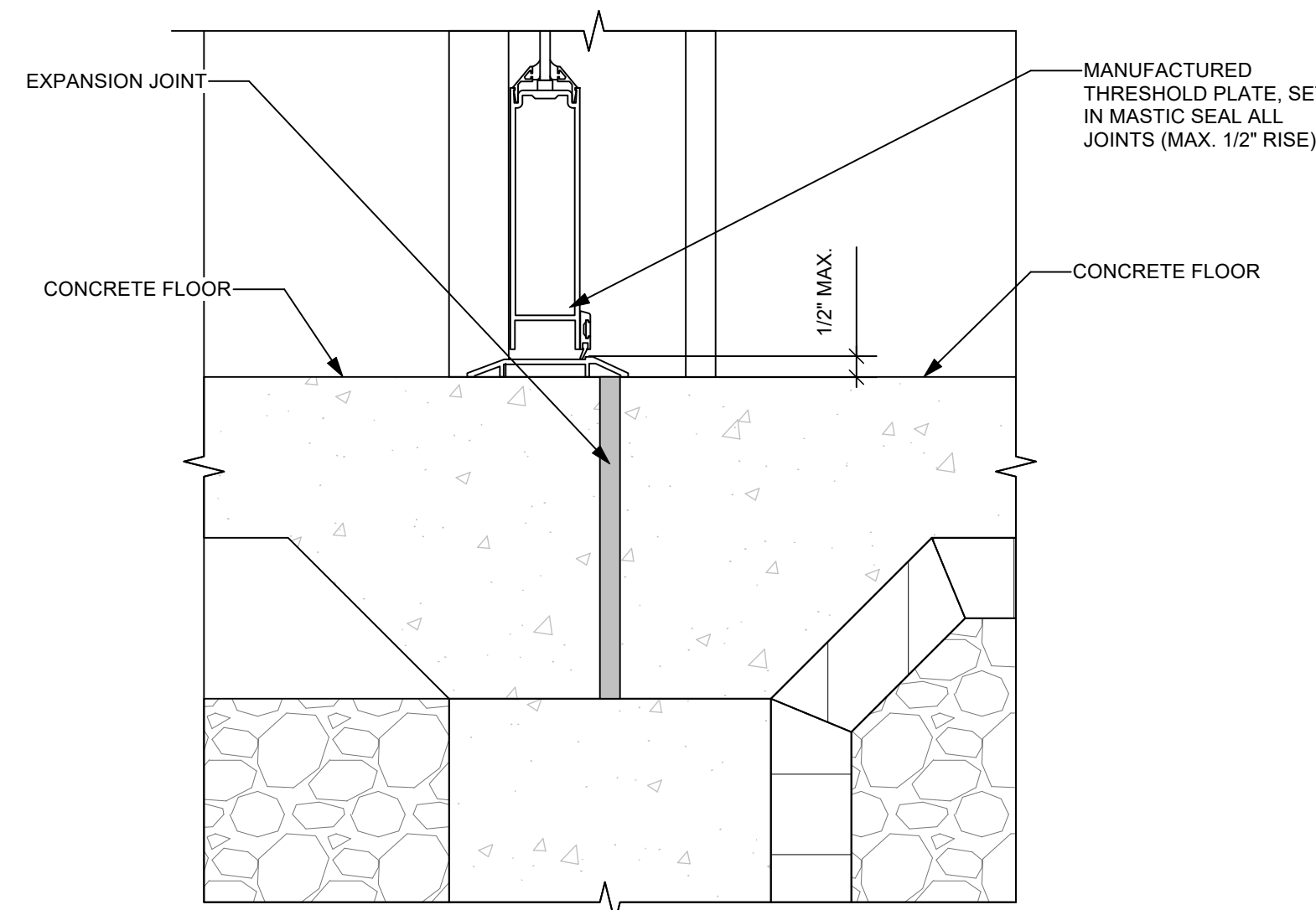
5 DOOR JAMB DETAIL  
Scale: 3" = 1'-0"



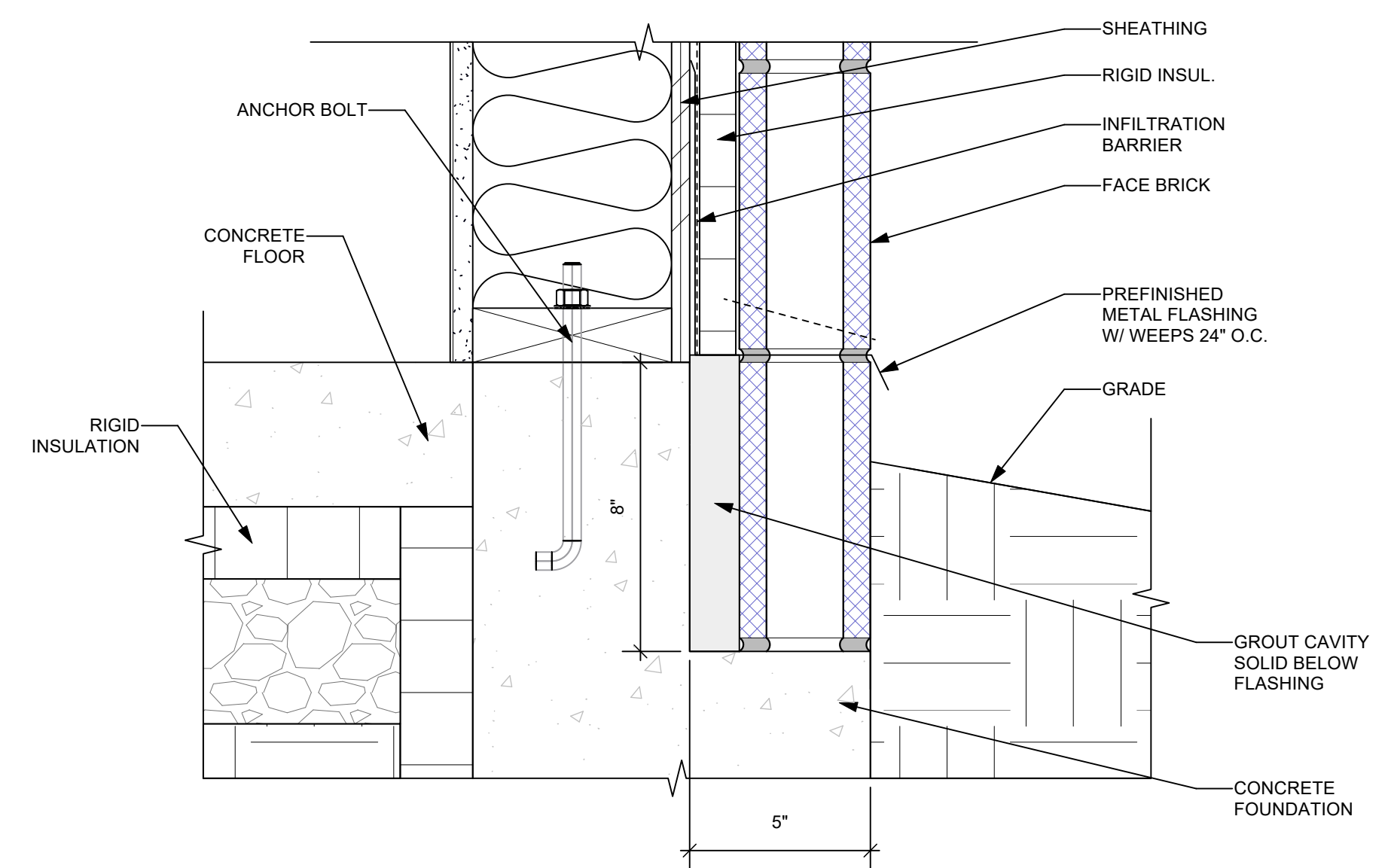
4 WINDOW JAMB DETAIL  
Scale: 3" = 1'-0"



3 WINDOW SILL DETAIL  
Scale: 3" = 1'-0"



2 THRESHOLD  
Scale: 3" = 1'-0"



1 BASE DETAIL  
Scale: 3" = 1'-0"

File name: D507-22 - A4.0-A4.2 - Exterior Sections.vrx

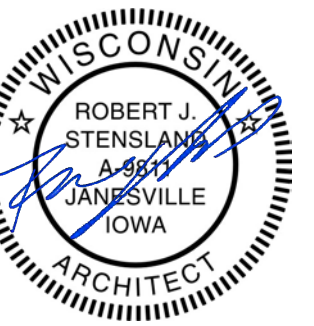


201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



GRIEBENOW  
EYECARE

105 NORTH RIDGE DRIVE  
NEW LONDON, WI 54961



DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
6/23/23

MARK	DATE	DESCRIPTION

JOB NO: D507-22

DRAWN BY: CAL

CHECKED BY: DLH

PROJECT ARCHITECT: RJS

PRINCIPAL IN CHARGE: RJS

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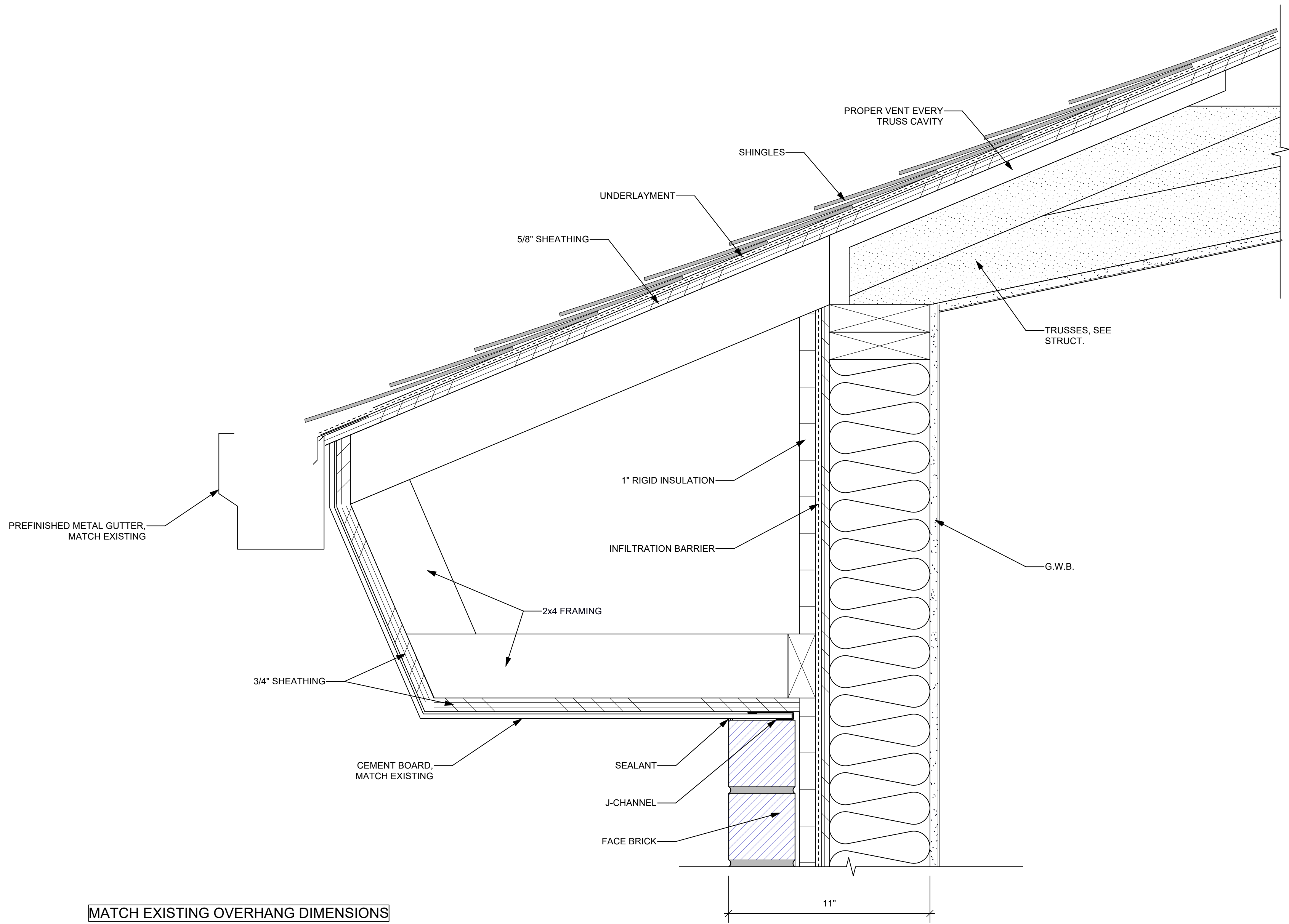
SHEET TITLE

SECTION  
DETAILS

SHEET NO.

A4.1

File name: D507-22 - A4.0-A4.2 - Exterior Sections.vwx



1 ROOF OVERHANG  
Scale: 3" = 1'-0"



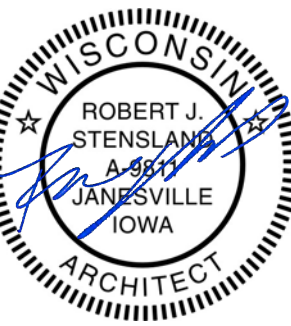
201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



Griebenow  
Eyecare  
New London • Chirocenter

GRIEBENOW  
EYECARE

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961



DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
6/23/23


MARK	DATE	DESCRIPTION
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DRAWN BY: CAL  
CHECKED BY: DLH  
PROJECT ARCHITECT: RJS  
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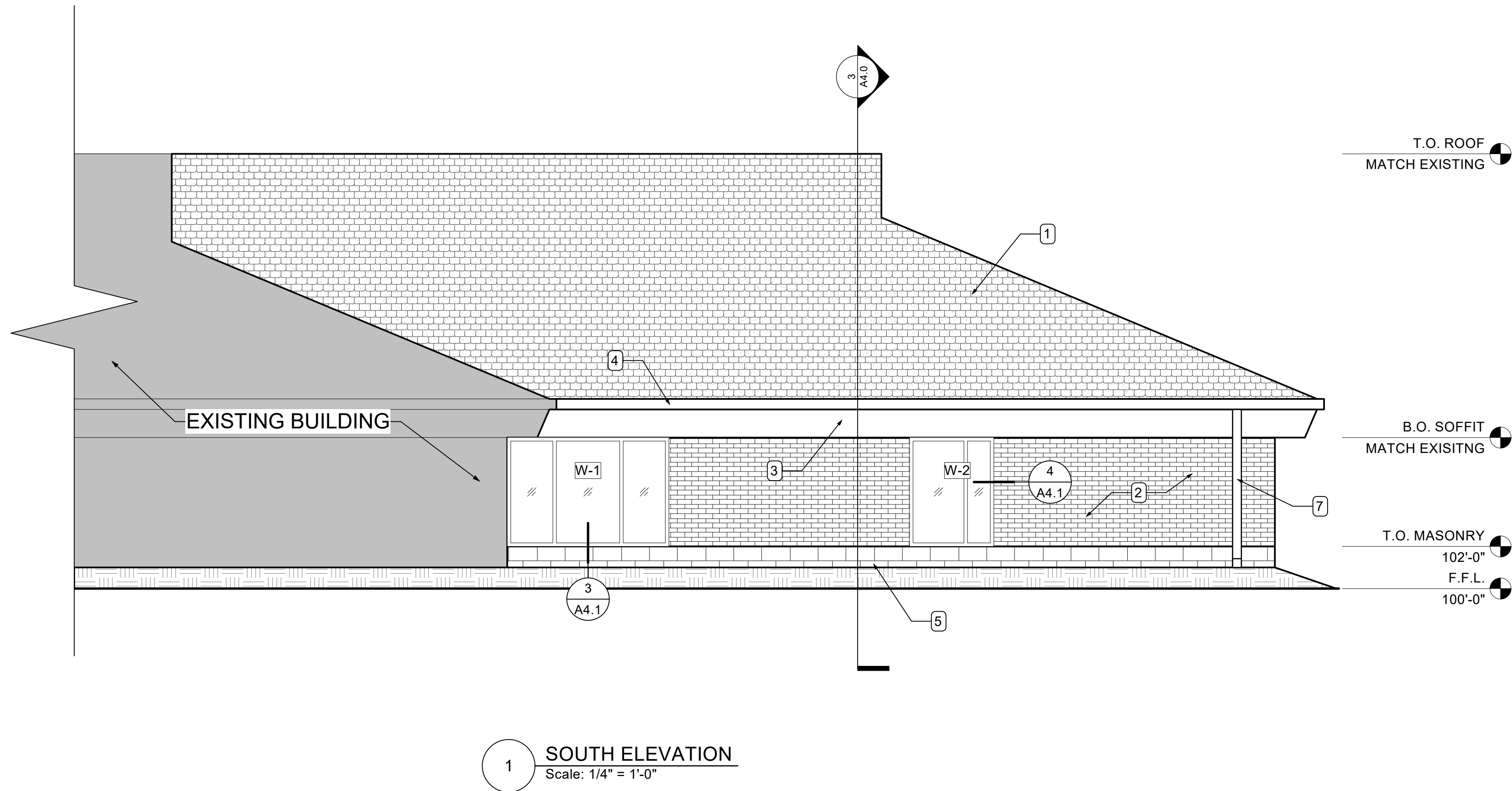
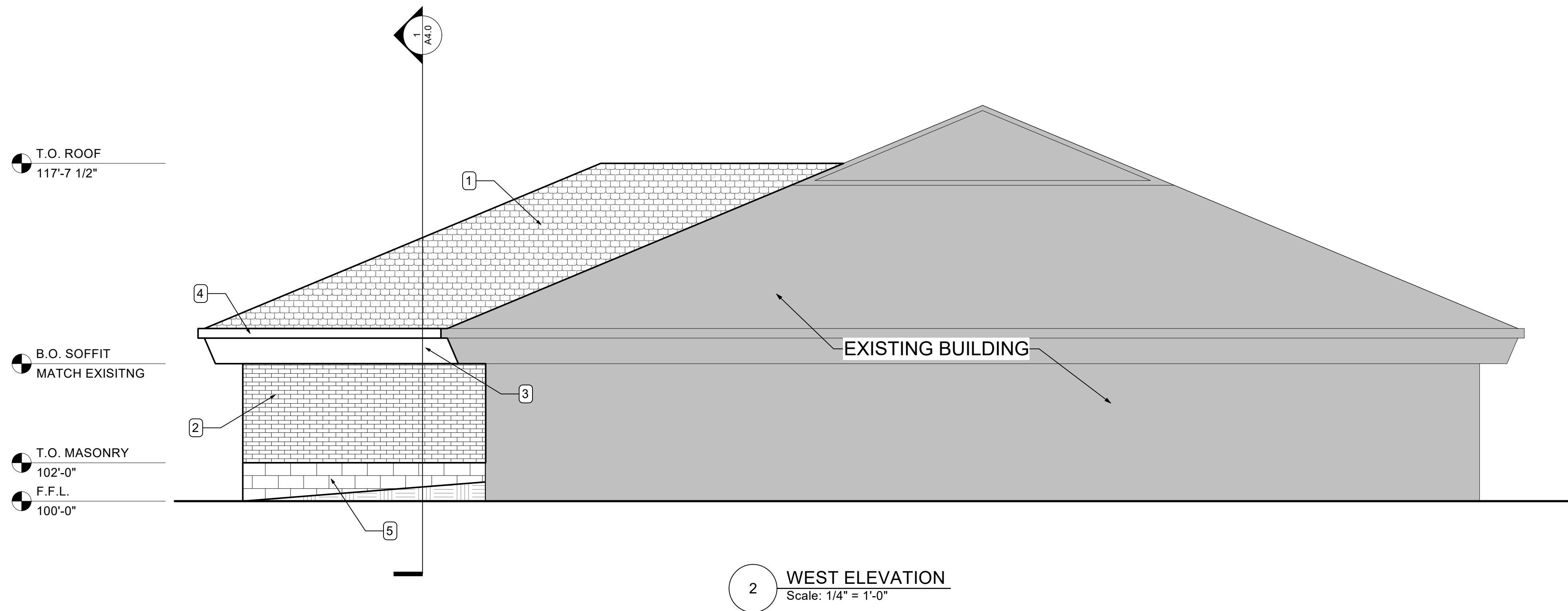
SHEET TITLE

SECTION  
DETAILS

SHEET NO.

A4.2





- KEY NOTES**
1. ASPHALT SHINGLES (MATCH EXIST.)
  2. FACE BRICK (MATCH EXIST.)
  3. CEMENT BOARD SOFFIT / FASCIA (MATCH EXIST.)
  4. METAL GUTTER (MATCH EXIST.)
  5. SPLIT-FACED CMU (MATCH EXIST.)
  6. WOOD SIDING (MATCH EXIST.)
  7. METAL DOWNSPOUT (MATCH EXIST.)

**WINDOW NOTES:**

- \* WINDOW DIMENSIONS & DETAILS ARE ON A1.0
- \* FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING
- \* ALL WINDOWS IN BLOCK SHALL FIT TO BLOCK INCREMENTS
- \* NOTE ALL WINDOWS TO BE TEMPERED AS PER THE FOLLOWING
  - GLAZING W/ IN 24" OF DOOR OPENINGS
  - GLAZING W/ IN 18" OF GROUND OR FFL
- \* GLASS IS TO BE 1" THERMALLY BROKEN LOW E CLEAR GLASS

**SIGNAGE NOTE:**

- \* ALL EXTERIOR SIGNAGE TO BE ON DEDICATED CIRCUIT, COORDINATE W/ SIGNAGE PROVIDER
- \* SIGNAGE NOT IN CONTRACT

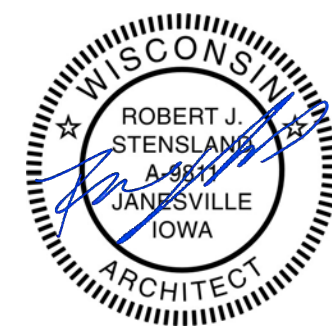


201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



**GRIEBENOW  
EYECARE**

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961



**DRAWING ISSUE INFORMATION**

ISSUE:  
PERMIT SET  
DATE:  
6/23/23

MARK	DATE	DESCRIPTION

JOB NO: D507-22

DRAWN BY: CAL

CHECKED BY: DLH

PROJECT ARCHITECT: RJS

PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

**ELEVATIONS**

SHEET NO.

**A5.0**

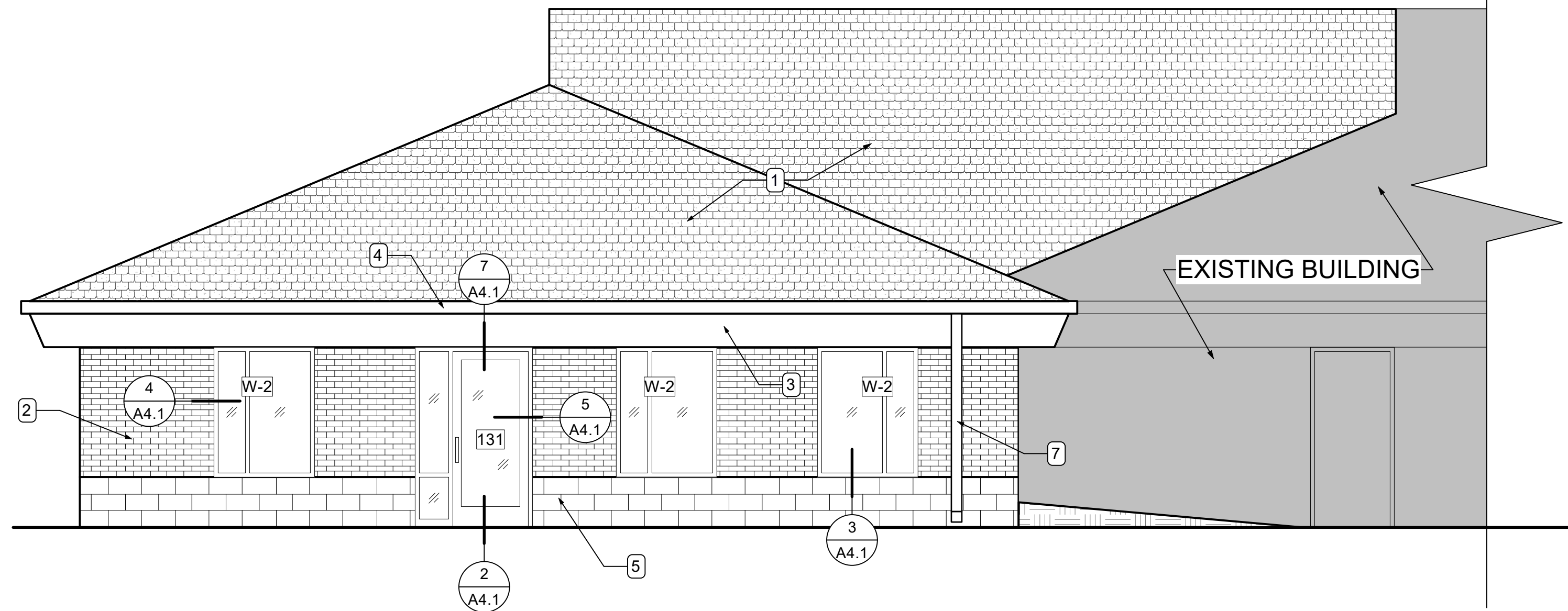
T.O. ROOF  
MATCH EXISTING

T.O. ROOF  
117'-7 1/2"

B.O. SOFFIT  
MATCH EXISTING

T.O. MASONRY  
102'-0"

F.F.L.  
100'-0"



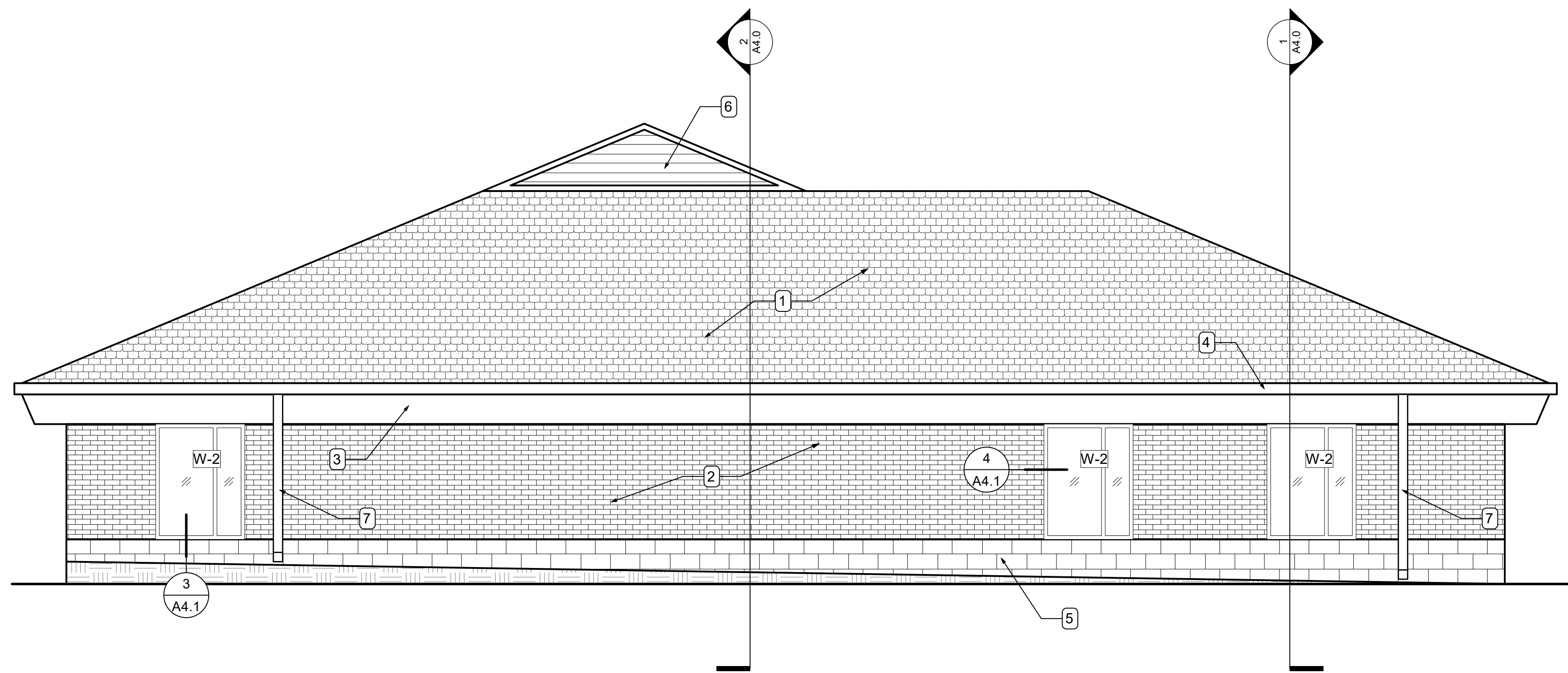
2 NORTH ELEVATION  
Scale: 1/4" = 1'-0"

T.O. ROOF  
MATCH EXISTING

B.O. SOFFIT  
MATCH EXISTING

T.O. MASONRY  
102'-0"

F.F.L.  
100'-0"



1 EAST ELEVATION  
Scale: 1/4" = 1'-0"

KEY NOTES  
1. ASPHALT SHINGLES (MATCH EXIST.)  
2. FACE BRICK (MATCH EXIST.)  
3. CEMENT BOARD SOFFIT / FASCIA (MATCH EXIST.)  
4. METAL GUTTER (MATCH EXIST.)  
5. SPLIT-FACED CMU (MATCH EXIST.)  
6. WOOD SIDING (MATCH EXIST.)  
7. METAL DOWNSPOUT (MATCH EXIST.)

WINDOW NOTES:  
\* WINDOW DIMENSIONS & DETAILS ARE ON A1.0  
\* FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING  
\* ALL WINDOWS IN BLOCK SHALL FIT TO BLOCK INCREMENTS  
\* NOTE ALL WINDOWS TO BE TEMPERED AS PER THE FOLLOWING  
GLAZING W/ IN 24" OF DOOR OPENINGS  
GLAZING W/ IN 18" OF GROUND OR FFL  
\* GLASS IS TO BE 1" THERMALLY BROKEN LOW E CLEAR GLASS

SIGNAGE NOTE:  
\* ALL EXTERIOR SIGNAGE TO BE ON DEDICATED CIRCUIT, COORDINATE W/ SIGNAGE PROVIDER  
\* SIGNAGE NOT IN CONTRACT

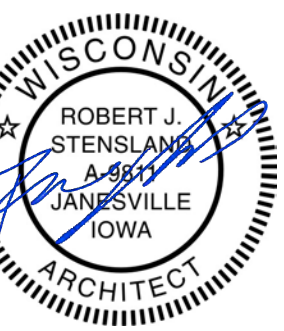


201 MAIN STREET  
JANESVILLE, IA 50647  
319-987-2101



GRIEBENOW  
EYECARE

105 NORTHRIDGE DRIVE  
NEW LONDON, WI 54961



DRAWING ISSUE INFORMATION

ISSUE:  
PERMIT SET  
DATE:  
6/23/23

MARK	DATE	DESCRIPTION

JOB NO: D507-22  
DRAWN BY: CAL  
CHECKED BY: DLH  
PROJECT ARCHITECT: RJS  
PRINCIPAL IN CHARGE: RJS

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SHEET TITLE

ELEVATIONS

SHEET NO.

A5.1





ORDINANCE O-02-23

AN ORDINANCE AMENDING TITLE 13, CHAPTER 1 OF THE CODE OF ORDINANCES  
(R-1 Single Family Residence District, R-2 Two-Family Residence District, and Low Density R-1A  
Single-Family Residential District Accessory Uses)

INTRODUCED BY Alderperson Tom Grade and Alderperson Austin Hammond.

The Common Council of the City of Menasha does hereby ordain as follows:

SECTION 1: Amend Title 13, Chapter 1, Article C of the Code of Ordinances of the City of  
Menasha, Wisconsin as follows:

**SEC. 13-1-25 R-1 SINGLE FAMILY RESIDENCE DISTRICT.**

...

(e) **GARAGES, ACCESSORY BUILDINGS AND USES.**

- (1) One (1) detached garage. Such garage may be constructed in addition to the garage space within the principal structure.
- (2) One (1) accessory building.
- (3) Any of the following accessory uses:
  - a. One (1) private swimming pool.
  - b. One (1) private tennis court.
  - c. One (1) satellite antenna/dish.
  - d. One (1) detached solar structure.
  - e. One (1) chicken coop.

...

**SEC. 13-1-26 R-2 TWO FAMILY RESIDENCE DISTRICT.**

...

(e) **GARAGES, ACCESSORY BUILDINGS AND USES.**

- (1) One (1) detached garage per dwelling unit. Such garage may be constructed in addition to the garage space within the principal structure.
- (2) Any of the following accessory uses per dwelling unit:
  - a. One (1) private swimming pool.
  - b. One (1) private tennis court.
  - c. One (1) satellite antenna/dish.
  - d. One (1) detached solar structure.
  - e. One (1) chicken coop.

...





**SEC. 13-1-39 LOW DENSITY R-1~~X~~ SINGLE-FAMILY RESIDENTIAL DISTRICT.**

**(e) GARAGES, ACCESSORY BUILDINGS AND USES.**

- (1) One (1) detached garage. Such garage may be constructed in addition to the garage space within the principal structure.
- (2) One (1) accessory building.
- (3) Any of the following:
  - a. One (1) private swimming pool.
  - b. One (1) private tennis court.
  - c. One (1) satellite antenna dish.
  - d. One (1) detached solar structure.
  - e. One (1) chicken coop.

SECTION 2: This amending Ordinance shall take effect upon passage and publication as provided by law.

Passed and approved this \_\_\_\_ day of \_\_\_\_\_, 2023.

Recommended by:

\_\_\_\_\_

Motion/Second:

\_\_\_\_\_

Vote: \_\_\_\_\_

Pass/Fail: \_\_\_\_\_

Requires: ☐ Majority Vote

☐ 2/3 Vote

\_\_\_\_\_  
Donald Merkes, Mayor  
ATTEST:

\_\_\_\_\_  
Haley Krautkramer, City Clerk

function of accommodating medium to short trips within the sub-regional and activity centers within subregions. Such roadways are designed to carry traffic' at somewhat higher speeds than collectors, and direct land access to them is more restricted.

**Tourist Home:**

A building in which lodging, with or without meals is offered to transient guests for compensation and having no more than five sleeping rooms for this purpose with no cooking facilities in any such individual room or apartment. (Also called Bed & Breakfast)

**Town House: (See Single Family Attached)**

**Toxic Matter:**

Those materials which are capable of causing injury to living organisms by chemical means when present in relatively small amounts.

A17-168

**Traffic Lane:**

A strip of roadway intended to accommodate a single line of moving vehicles.

**Trailer: (See Camping Trailer, House Trailer and Mobile Home)**

**Truck Stop:**

The same as an Automobile Service Station but oriented primarily to trucks, especially semi-tractor trucks with trailers.

**Turning Lanes:**

An existing or proposed connecting lane of traffic between two arterial streets or between an arterial street and any other street or driveway. Turning lanes include grade separated interchange ramps.

**Use:**

The purpose or activity for which the land or building thereon is designed, arranged or intended, or for which it is occupied or maintained.

**Use, Accessory:**

A use subordinate to and customarily incidental to the permitted principal use of the property or buildings and located upon the same lot as the principal use.

**Use, Conditional:**

A "conditional use" is a use-either public or private-which, because of its unique characteristics, cannot be properly classified as a permitted use in a particular district or districts. After due consideration, in each case, of the impact of such use upon neighboring land and of the public need for the particular use at the particular location, such "conditional use" may or may not be granted, subject to the terms of this ordinance. (See Section 17.06)

**Used Car Lot:**

1.

- B. Additional duties of the Commission shall be:
1. to hold informational or public hearings as assigned to the Commission by this Ordinance;
  2. to supervise the office of the Zoning Administrator in the administration of this Ordinance.

(4) Powers:

- A. to enter upon any lands and make inspections thereof, in the performance of Commission duties, as provided for in ss.62.23 (4) Wis. Stats.
- B. to recommend to the Common Council amendments to this Ordinance, either as petitioned by owners of land or their agents, (with or without modifications or conditions as the Commission shall deem appropriate), or as petitioned by the Commission itself.
- C. to grant or deny without Common Council approval conditional use permits as set forth in 17.06 CONDITIONAL USES.
- D. to review, negotiate, and approve without Common Council approval applications for Zoning Permits where the District regulations require Commission action as set forth in 17.05 REVIEW OF BUILDING, SITE AND OPERATIONAL PLANS.
- E. to suspend or revoke any zoning or conditional use permit as approved by the Commission where the Commission finds non-compliance to the permit, or to delegate said authority to the Zoning Administrator,

17.02-3 ZONING ADMINISTRATOR

- (1) There is hereby created the office of Zoning Administrator for the City of New London as the administrative and enforcement officer for the provisions of the Ordinance.

17.11-5 (2) PERMITTED USE BY RIGHT

	M-P	M	MP-0
8. Uses permitted by right in the B-2 District, except that all industrial or commercial operations shall be carried on inside or within enclosed buildings	X		X
9. Retail and service uses requiring extensive outside storage or display, such as lumber and building supply yards, contractor equipment and materials storage but excluding motor vehicle salvage yards and landfiling operations	X		
10. Accessory uses:			
a. Office, storage, power and water supply and other such uses normally ancillary to the permitted principal uses	X	X	
b. Off-street parking and loading areas	X	X	
c. Signs, subject to the provisions of Section 17.09 of this Ordinance		X	X
d. Residential quarters for the owner, proprietor, commercial tenant, employee, or caretaker located in the same building as the business	X	X	
e. Any other structure or use normal accessory to the principal use permitted.	X	X	
11. Dog Kennels (Cr. Ord. 1037)	X	X	

3. Uses Permitted By Conditional Grant: Except as specifically limited in the following table, the uses listed in the following table may be permitted in the manufacturing district indicated subject to the issuance of a conditional use permit.



# 17.11-5 PERMITTED USE BY CONDITIONAL GRANT

	M-P	M	MP-0
1. Any use listed as a conditional use in the B-2 District; Amd. Ord. # 1325	X	X	X
2. Any permitted use in this district which involves outdoor operations or storage of materials, equipment or goods.	X		
3. Motor vehicles salvage or junk yards		X	

- (4) Parking and Loading Requirements: The parking and loading requirements applicable to the above manufacturing district are set forth in Section 17.08.
- (5) Buffers and Landscaping: Requirements relating to buffering and landscaping of certain uses and structures in the above residential commercial are set forth in Section 17.03-6 of this Ordinance.
- (6) District Lot and Building Bulk Regulations

Minimum Lot		Minimum Setbacks (ft. -%lot depth)			Maximum Building Height (ft)
District	Area	Front a	Side b	Rear c	
M	10,800/90	25	10e	10e	75d
M-P	10,800/90	25f	10e	10e	75d
MP-O	10,800/90	25	0	10e	75d

- (a) Listed number shall apply to the alternate street side of a corner lot as well as the main frontage.
- (b) One number applicable to both sides; where there are two numbers, the first indicated the non-drive side and second indicated total minimum required.
- (c) Minimum is greater of first number or resultant of applying ration of yard depth.
- (d) Except where adjacent to an E District, where the maximum height shall be 40 feet.
- (e) Side or rear yard may include rail track or alley, except where adjacent to an R District in which case the yard shall be not less than 50 feet including rail track, alley or street width.
- (f) No parking allowed; where parking is desired setback shall be 50 feet.

	Central Business District B-1	Highway Commercial District B-2	Convenience Commercial District B-3
d. Residential quarters for the owner, proprietor, commercial tenant, employee, or care taker located in the same building as the business	X	X	X
e. Any other structure or use normally accessory to the principal use permitted	X	X	X

- (3) Uses Permitted By Conditional Grant: Except as specifically limited in the following table, the uses listed in the following table may be permitted in the commercial districts indicated subject to the issuance of a conditional use permit.

	Central Business District B-1	Highway Commercial District B-2	Convenience Commercial District B-3
1. Multiple Family Residential	X		
2. Retail Trade			
a. Building Materials and Garden Supply Stores Open Yards	X	X	
b. Motor Vehicle Dealers, including open sales lots	X	X	
c. Gasoline Service Stations	X	X	X
d. Car Wash	X	X	
e. Drive-in Eating Places	X	X	
f. Eating and Drinking Places with live entertainment; dance halls	X	X	

			Central Business District	Highway Commercial District	Convenience Commercial District
			B-1	B-2	B-3
	g.	Miscellaneous retail stores, but not including non-store retailers or fuel dealers		X	
3.	Finance, Insurance, and Real Estate				
	a.	Drive-in Banks and Credit Agencies	X	X	
	b.	Automatic Teller Machines as a principal use	X	X	
4.	Services				
	a.	Funeral establishments	X	X	
	b.	Auto Repair Services and Garages, not including Major Auto Repair	X	X	
	c.	Medical and Dental Laboratories	X	X	
	d.	Vocational Schools	X	X	
	e.	Dance Schools	X	X	
	f.	Social services, not including residential care establishment	X	X	
	g.	Veterinary Services for pets	X	X	
	h.	Dog Kennels (Ord 1037)	X	X	X
5.	RELIGIOUS FACILITIES AND SCHOOLS				
5a.	Religious Facilities: (Ord. #1088; Amd. Ord. #1247) such as churches, temples, mosques, synagogues, or other places of worship, convents, Rectories, parsonages and Retreat homes.		X	X	X
			X	X	X
5b.	Schools: (Ord. #1247) Public and private schools				
6.	Miscellaneous				
	a.	Planned developments	X	X	X

- (4) Parking and Loading Requirements: The parking and loading requirements applicable to the above commercial district are set forth in Section 17.08.



2. Modification or Revocation: Where the Common Council agrees in whole or part with the Commission's petition, the Common Council may modify or revoke the original Grant of Conditional Use in whole or part, causing the recordation of the grant on the title of the property to be accordingly amended.

(11) Application to Existing Uses:

- A. A use which existed lawfully on a lot at the time said lot was placed in a district where such use would be permitted only as a conditional use status under the procedures herein.
- B. The grant of conditional use in such case shall be based upon the existing conditions at that time; however, the Planning Commission may require improvements in general building appearance, in proper storage of outside materials, in the provision of more satisfactory off-street parking, in the use of planting and fencing screens where necessary, and in operational matters relating to the control of noise, dust, odor, smoke and excessive glare or illumination of lighting, provided that such measures be within the reasonable economic capacities of such a use. Any expansion or change in use shall require changing of conditional use grant.

- (12) Expansion or Modification of Existing Conditional Use Grants: Petitions may be made at any time for expansion or other change of the conditional use grant and such petition shall not prejudice the existing grant as herein authorized.