
I-55 Development Code

A PARTNERSHIP AMONG MADISON COUNTY, THE CITY OF EDWARDSVILLE, AND THE VILLAGE OF GLEN CARBON

As part of the I-55 Corridor: Transportation & Growth Management Plan

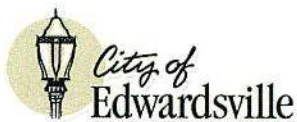


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Note: The attached document is dated June 14, 2016 and is the "First Reading" version sent to the Administrative and Community Services committee (ACS) on June 15, 2016.

1.0 GENERAL PROVISIONS

1.1 PURPOSE

- A. The Madison County I-55 Corridor Transportation and Growth Management Plan adopted by Madison County, the City of Edwardsville, and the Village of Glen Carbon in 2006 provides an overall framework for development, redevelopment, and preservation of a portion of Madison County. In particular, the Madison County I-55 Corridor Transportation and Growth Management Plan as adopted incorporated thirteen (13) basic principles representing a commitment to quality of life, sustainability, and smart growth, these being:
1. Citizen and Community Involvement: Promote and welcome involvement of residents, neighbors, civic leaders, elected and appointed officials, land owners, developers, and local institutions throughout the process of designing change for neighborhoods.
 2. City-wide and Regional Connections: Establish connections to regional patterns of transportation and land use, to open space and natural systems.
 3. Transit System Connections: Establish connections to local and regional public transit systems.
 4. Appropriate building densities and land uses should be within walking distance of transit stops, permitting public transit to become a viable alternative to the automobile.
 5. Economically Viable: Establish linkages with economic development in order to attract public and private investments that contribute to a sustainable and economically viable community. Promote the development of an economic base of the community not solely reliant on retail or housing, but a complementary mix of uses.
 6. Neighborhood Form: Promote compact, pedestrian-friendly, and mixed use neighborhoods with many activities of daily life available within walking distance.
 7. Design for the Human Scale: Design for the human scale and perceptions, creating a sense of neighborhood and community street design that responds to local traditions. That is, heights of buildings should relate to the rest of the neighborhood and building proportions should relate to the size of the human body. Combined height and width (mass) of buildings should not be overwhelming. Larger buildings should use techniques that reduce their perceived mass through changes in material or texture above the first or second floor to reinforce the base (scaled to a human) while diminishing the portion above. Other techniques include the use of cornice lines above the second or third floor or setbacks at the same location. Most important is the level and quality of detail at the first and second floor, the areas most within the view of the pedestrian.
 8. Mixed-Use: Promote the creation of mixed use neighborhoods that support the functions of daily life: employment, recreation, retail, and civic and educational institutions.
 9. Street Network: Provide an interconnected network of streets and public open space. The primary task of all urban architecture and landscape design is the physical definition of streets and public spaces as places of shared use.
 10. Public Open Space: Design internal and peripheral parks and open spaces and whenever possible provide connections with local and regional parks and open space network. Provide opportunities for recreation and appropriate settings for civic buildings.
 11. Architectural Character: Design the image and character of new developments that respond to the best traditions of residential and mixed use architecture in the area.
 12. Safety and Civic Engagement: Establish relationship of buildings and streets that enable neighbors to create a safe and stable neighborhood and encourage interaction and community identity. Utilize an approach to building architecture and urban designs that promotes both building safety and streetscapes with areas of private and public assembly.
 13. Stormwater Planning and Control: Promote the use of stormwater best management plans that results in a more efficient use of developable property and consolidates the stormwater detention needs of multiple land parcels into pre-determined locations.

- B. This I-55 Development Code was developed to implement and accomplish these thirteen (13) principles through use of Development Districts and Overlay Zones. Development Districts represent a spectrum of development characteristics by classifying and regulating the types and intensities of development and land uses within the Madison County I-55 Corridor Transportation and Growth Management Plan and are indicated through colors on the Regulatory Plan in Article 2.0. This I-55 Development Code is adopted to protect and promote the public health, safety, comfort, convenience, prosperity, and general welfare of the community.

1.2 SHORT TITLE

- A. This Development Code shall be known and cited as the "I-55 Development Code."

1.3 APPLICABILITY

- A. The I-55 Development Code shall apply to the area shown on the District Map in Article 2 (Page 8).
- B. Any existing development or subdivision within the area shown on the District Map shall adhere to the I-55 Development Code, with the following exceptions:
1. Additions or renovations of existing residential buildings.
 2. Any new accessory building associated with an existing primary residential building.
 3. Any proposed special use, variance, or home occupation currently governed by the Madison County Zoning Ordinance that involves a proposal for new development or subdivision.
 4. Any lot of record in unincorporated Madison County created prior to the adoption of this code may be used in accordance with the Madison County Zoning Ordinance.
- C. The exemption provisions of the Illinois Plat Act 765 ILCS 205 remain applicable to the area shown on the District Map in Article 2. However, utilization of the exemption provisions of the Illinois Plat Act shall not serve as a means to exempt development of a property from adhering to the requirements of the I-55 Development Code. Therefore, within the City of Edwardsville corporate limits, the requirements of the Land Development Code, Section 1-4 shall apply:
- 1). Section 1-4.1 states that lots divided via the exemptions provisions of the Illinois Plat Act are not exempt from the requirement to adhere to the Land Development Code and the Zoning Code for the City of Edwardsville. Upon adoption, the I-55 Development Code becomes a part of the City of Edwardsville Zoning Code and is applied to the areas shown on the District Map in Article 2;
 - 2) Section 1-4.5 states that the City of Edwardsville shall not be required to issue permits or extend public services if the property divided via the Illinois Plat Act exemption provisions does not conform to the underlying zoning district requirements on which the property is located. All permits and requests to extend public services by the City of Edwardsville within the areas shown on the District Map in Article 2 shall be subject to review per the provisions of the I-55 Development Code.
 - 3) Sections 1-4.3 (Provision of required street right-of-way) and 1-4.4 (Utilization of Plat Act provisions creating zoning non-conformity for existing structures) shall also be applicable to the area shown on the District Map in Article 2.

1.4 CURRENT ZONING AND LAND USE

- A. All properties within the District Map area that are in conformance with the Madison County Zoning Ordinance shall retain their current zoning and land use, including but not limited to agriculture and single family residential, and may continue to be used in this manner by the current owner or successive owners until the owner(s) proposes to develop the property, at which time it shall adhere to the I-55 Development Code.
- B. All properties within the District Map area within the corporate limits of the City of Edwardsville that are in conformance with the City of Edwardsville Zoning Ordinance shall retain their current land use, including but not limited to single family residential uses, and may continue to be used in this manner by the current owner or successive owners until the owner(s) proposes to develop or re-develop the property, at which time it shall adhere to the I-55 Development Code. "Development" or "re-development" shall include any or all of the following: 1) The extension of and/or expansion of capacity of city-provided public services on or to the subject tract(s) in order to serve a new or expanded development or subdivision; 2) Subdivision of the subject tract(s) or the creation of new lots or parcels via the City Land Development Code or the exemption provisions of the Illinois Plat Act 765 ILCS 205; 3) Rezoning the subject tract; and/or 4) Application for a building permit for purposes other than those listed in 1.3B.
- C. All properties within the District Map area within the corporate limits of the Village of Glen Carbon that are in conformance with the Glen Carbon Zoning Ordinance shall retain their current land use, including but not limited to single family residential uses, and may continue to be used in this manner by the current owner or successive owners until the owner(s) proposes to develop or re-develop the property, at which time it shall adhere to the I-55 Development Code. "Development" or "re-development" shall include any or all of the following: 1) The extension of and/or expansion of capacity of city-provided public services on or to the subject tract(s) in order to serve a new or expanded development or subdivision; 2) Subdivision of the subject tract(s) or the creation of new lots or parcels via the Village Subdivision Regulations or the exemption provisions of the Illinois Plat Act 765 ILCS 205; 3) Rezoning the subject tract; and 4) Application of a building permit for purposes other than those listed 1.3B.

1.5 NONCONFORMING USES AND STRUCTURES

- A. All existing uses and structures which are conforming with the zoning requirements of the applicable jurisdiction at the time of adoption of the Development Code and Map will not be made nonconforming as a result of adoption of this code.
- B. Any existing uses or structures which are not conforming with the zoning requirements of the applicable jurisdiction at the time of adoption of the Development Code and Map shall continue to be viewed as non-conforming. Nonconformities will be governed by the applicable jurisdiction.

Note that at the time of adoption of this Development Code by the City of Edwardsville, only Section 1.5 A is applicable as there are no existing uses or structures within the City of Edwardsville corporate limits that are not conforming with the zoning requirements in the Plan area.

1.6 APPLICATIONS AND REVIEW PROCEDURES

- A. All new development or subdivision proposals shall follow the application and review procedures of the applicable jurisdiction.

1.7 OTHER APPLICABLE ORDINANCES

All new development or subdivision proposals shall adhere to all sections of the I-55 Development Code. Items not specifically addressed in the I-55 Development Code shall adhere to the regulation of the applicable jurisdiction, including but not limited to the following:

1. Parking, Sign, Landscaping, and Lighting Ordinances
2. Subdivision and Land Development Ordinances
3. Stormwater, Drainage, and Sediment & Erosion Control
4. Flood Prevention Ordinances
5. Street Construction Standards (all Street Design Standards in Article 6 apply)
6. Building Construction Codes and Occupancy Requirements
7. All Definitions for Zoning, Subdivision, and Land Development

1.8 SEVERABILITY

- A. If any provision of this ordinance is held invalid, such invalidity shall not affect other provisions which can be given effect without the invalid provision, and to this end the provisions of this ordinance are declared to be severable.

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2.0 REGULATORY PLAN

2.1 PURPOSE

- A. This chapter establishes the purpose of each development district and provides the district map for the I-55 Corridor planning area.

2.2 GENERAL PROVISIONS

- A. Rural Residential: This residential district has a low density single family rural residential, countryside and estate type use interspersed with farm and agriculture uses, all with a distinctive rural character and emphasis on clustered development strategies and low-impact design that provides a high degree of connection and protection of the natural systems, minimal landscape interruption and passive natural amenities. The Rural Residential zone is intended to be applied to the areas outside the urban communities of the area which might be without fully developed services and where individual residences are expected to be largely self-sustaining, particularly for water and sewage disposal.
- B. Neighborhood Residential: The Neighborhood Residential District is the traditional quiet walkable residential neighborhood environment, prototypically characterized by high quality single-family detached and attached houses, porch and fence frontages, occasional civic uses, small residential block structure and narrow neighborhood streets with low traffic speeds and volumes. Such conditions are typical of the neighborhoods immediately surrounding the downtown areas of small towns and villages within the region. The district is to be highly connective, with an inter-connected roadway network that disperses traffic and provides convenient routes for pedestrian and bicyclists as well as being highly integrated with the natural systems and connected to passive and active open space and recreation trails.
- C. General Neighborhood: The General Neighborhood District consists of a balanced mix of residential building types and neighborhood-serving retail, health & personal services, and civic uses within a walkable setting. This is the predominant existing urban condition of a typical traditional small town community within the region in which the neighborhoods include walkable streets, reasonably scaled blocks, and building types that generally relate well to the pedestrian. Other key considerations include residential density, pedestrian circulation, home-based businesses and supportive neighborhood commercial uses.
- D. Mixed-Use Commercial: The Mixed-Use Commercial District is a predominately office district and employment center supported by commercial, residential and civic uses within a walkable setting characterized by mixed-use buildings set close to the sidewalk – many with ground floor commercial uses and higher density office and housing uses on upper floors – streets with wide sidewalks and street trees in tree grates, and abundant and managed curbside parking. Accordingly this district allows buildings and streetscapes that are more urban in character than the rest of the Districts with no height limitation, unless within 100 feet of a Rural Residential district, a Neighborhood Residential district, or a residentially zoned area outside of the I-55 Map area (where building heights are limited to two stories). The district is to be highly connective, with an interconnected roadway network that disperses traffic and provides convenient routes for pedestrian and bicyclists as well as being well connected to passive and active open space and recreation trails.
- E. Town Center: A mixed-use medium density district that reflects a traditional Main Street development pattern. The district will feature retail, office, civic uses and complementary residential uses that provide a broad range of housing types and meet an array of housing needs. Residential development will largely target seniors, families, and professionals. This district will also support institutional, educational, cultural, and entertainment

activities for workers, visitors, and residents. The district will be highly branded, with an emphasis on regional urban character that creates a place that represents a unique, attractive, and memorable destination for visitors and residents; and enhance the community's character through the promotion of high-quality urban design. The district is to be highly connective, with an inter-connected roadway network that disperses traffic and provides convenient routes for pedestrian and bicyclists as well as being well connected to passive and active open space and recreation trails. While the Mixed Use Commercial District and General Neighborhood districts allow for a mix of surface parking lot and parking structures for off-street parking needs, Town Center roads and streets widths are designed to allow for more on-street parking and/or the "Parking Garage/Linear Building" type, resulting in a reduced reliance on off-street surface parking lots which can detract from real and perceived cohesiveness and compactness. As Town Center will rely, in part, on those living within and in 5-10 minute walking distance of the district to be economically sustainable, residential densities within Town Center and 0.5 miles of Town Center will be somewhat higher. To achieve a compact and well-designed "Main Street" environment, Town Center building types have been selected in order to use available land efficiently. Building heights are limited to four (4) stories, unless within 100 feet of a Rural Residential district, a Neighborhood Residential district, or a residentially zoned area outside of the I-55 Map area where building heights are limited to two stories

2.3 DEVELOPMENT DISTRICT MAP

The map on the next page establishes the boundaries of the development districts and shall act as the Official Zoning Map for the I-55 Corridor area, subject to the provisions of Article 1.0.

I-55 Corridor District Map

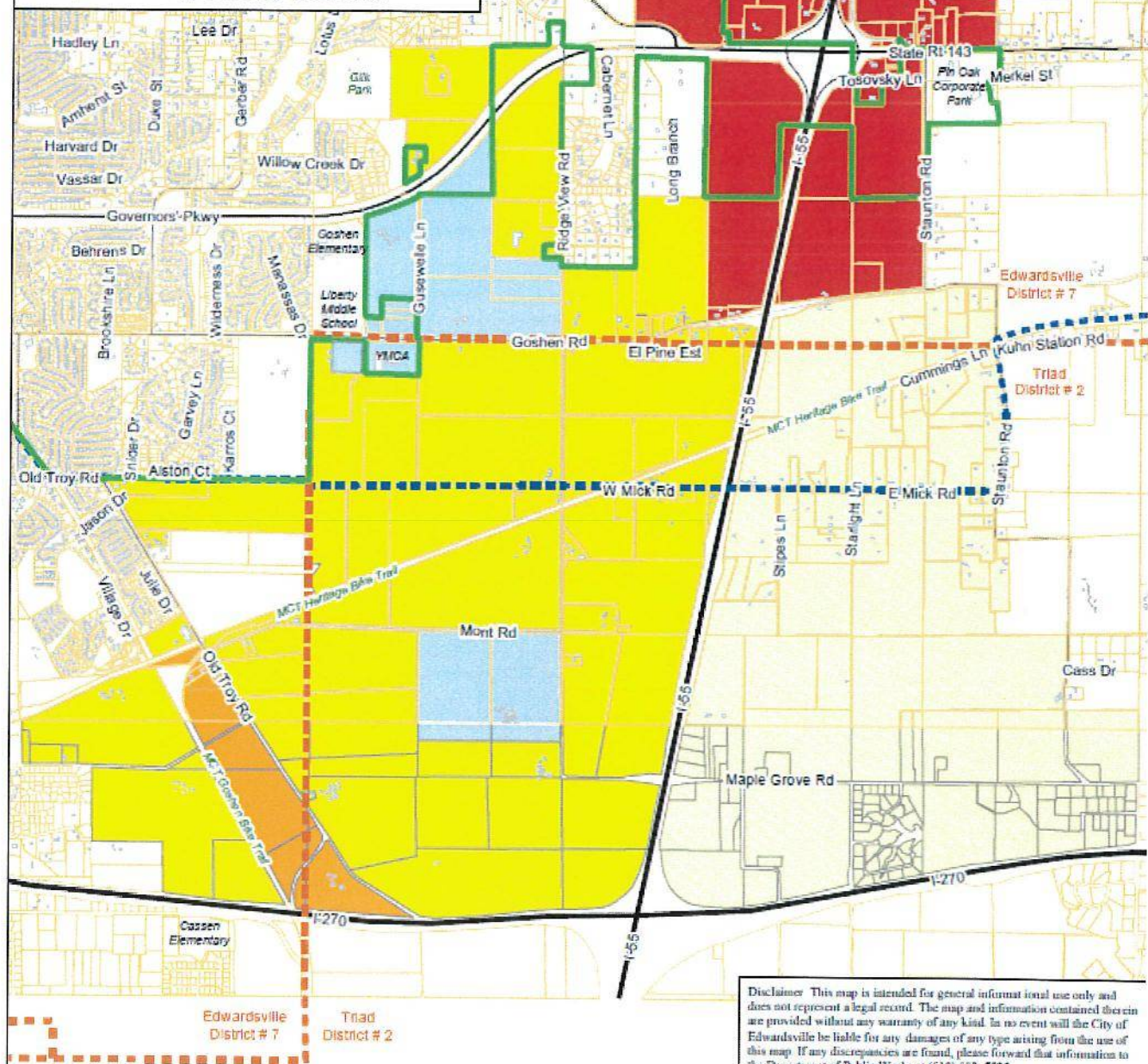
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Proposed Districts

	Mixed Use Commercial	742 ac	(15%)
	General Neighborhood	128 ac	(3%)
	Neighborhood Residential	2,184 ac	(45%)
	Rural Residential	1,455 ac	(30%)
	Town Center	334 ac	(7%)
	Corporate Limits		
	Existing Parcels		
	Boundary Agreement Line		
	School District Boundary		

Total plan area is approximately 4,843 acres.



Disclaimer: This map is intended for general informational use only and does not represent a legal record. The map and information contained therein are provided without any warranty of any kind. In no event will the City of Edwardsville be liable for any damages of any type arising from the use of this map. If any discrepancies are found, please forward that information to the Department of Public Works at (618) 692-7535.

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3.0 DEVELOPMENT REGULATIONS

3.1 LOT/BUILDING TYPES

3.1.1 Lot/Building Type Descriptions

The fifteen (15) Lot/Building Types are described hereunder:

- A. Commercial, Primary: A building form that accommodates larger building footprint and/or large surface parking areas.
- B. Commercial, Urban: A building form that accommodates larger building footprint for large and/or single-use commercial tenants including retail and office.
- C. Parking Garage Building: A multi-story building specifically designed for common or shared parking of automobiles on a temporary basis. The parking structure is concealed from the primary abutting street by a specialized building, parallel to the street, which provides commercial uses on the ground floor with commercial or residential uses on the upper floors.
- D. Office Building: A building form that accommodates larger building footprint s for office uses.
- E. Small Box Retail/Drive-Through: A building form that includes buildings comprised of 10,000 feet or less of gross interior square footage on lots of 1.50 acres or less with drive-through facilities. By way of example, this includes banks, fast food restaurants, and pharmacies with drive throughs on lots of 1.50 acres or less with building footprints of less than 10,000 square feet. This lot type also includes gasoline stations, convenience stores with fuel service, and convenience stores with quick service restaurants on lots of 1.50 acres or less with building footprints of 10,000 square feet or less. This lot type provides necessary neighborhood services but can disrupt pedestrian flows, reduce opportunities for denser development patterns in area such as Town Center, and impact the aesthetics of streetscapes, corridors, and districts. This building / lot type is only allowed in the Mixed Use Commercial district with site plans adhering to Section 3.4.5.2 and 3.1.3E.
- F. Institutional Building: A building type to accommodate arts, culture, education, membership organization, and public assembly uses in an urban or suburban environment. A variety of building scales and architectural styles are acceptable.
- G. Civic Building: A building type to accommodate government, education, and public assembly uses (including religious uses) in an urban or suburban environment. A variety of building scales and architectural styles are acceptable.
- H. Mixed Use Building: A multi-story building that is designed to support a mix of commercial and/or office uses on the ground floor with office, studio, lodging, and/or residential units above.
- I. Apartment/Condominium: A multi-story residential building with a central entrance or combined entrances oriented to the primary abutting street; stairways, and/or elevators; and with individual units comprised of single- or two-levels stacked on top of each other, accessed from a central corridor or entry hall.
- J. Townhouse: Horizontally-attached dwelling units, each having a private entrance, and oriented to the street or to a central green or courtyard.
- K. Villa/Attached: A building containing two, three, or four dwelling units that are either vertically stacked one above the other or oriented side-to-side. Villas/Attached buildings are generally presented architecturally as single family detached homes, with a separate entrance to each unit and with usable front and rear yards oriented to the street.

- L. Single Family, Detached: A detached dwelling unit with front and rear yards and oriented to the street.
- M. Estate: A detached dwelling unit with front, rear, and side yards and oriented to the street on a medium-sized suburban lot of one-third to one (1/3 to 1) acres to accommodate suburban/rural uses such as small horse farms.
- N. Countryside Tract: A detached dwelling unit with front, rear, and side yards on a medium-to-large sized rural lot of at least one (1.0) acre to accommodate rural uses.
- O. Farm: A detached dwelling unit with front, rear, and side yards on a large-sized rural lot of at least five (5) acres to accommodate rural and agricultural land uses such as livestock farms, private farms, or cooperative farms and their facility, access, and accessory building requirements. Accessory/Ancillary buildings are either behind the dwelling unit or setback at least 50 feet from the front property line.

3.1.2 Lot/Building Types & Street Types

Lot/Building Types shall be selected so that the buildings of compatible scale and arrangement will be placed on both sides of the street.

3.1.3 Lot/Building Types and Development Standards

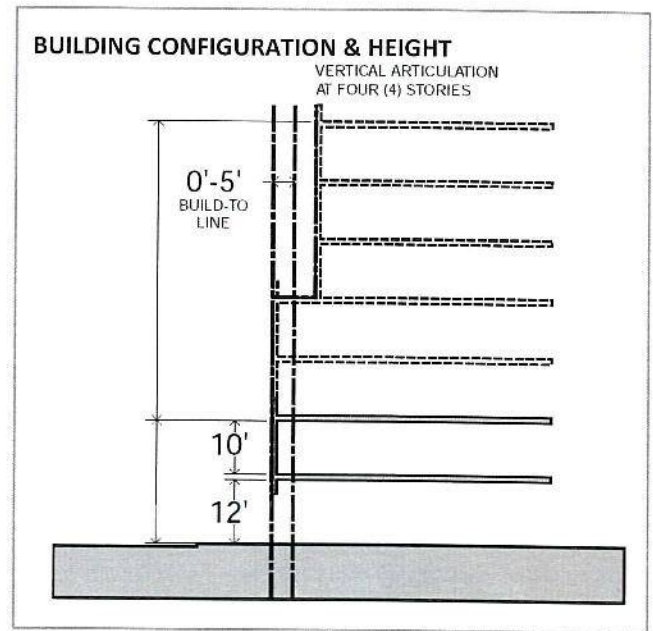
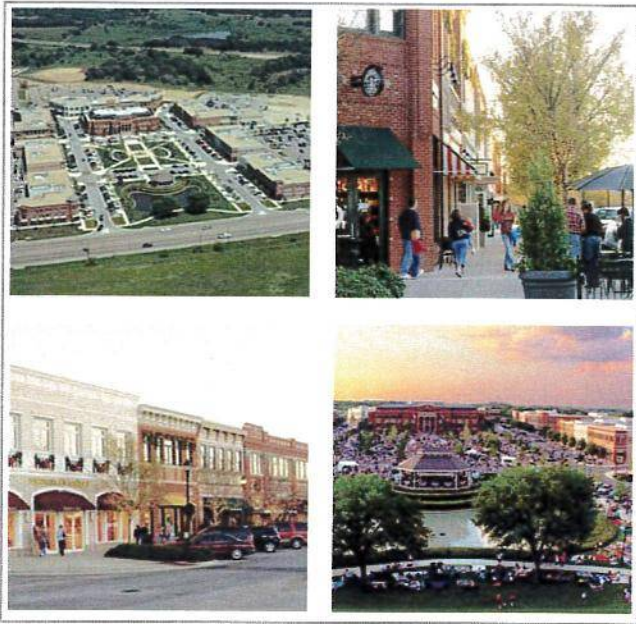
The various Lot/Building Types and proper placement, configuration and height, and necessary development standards for each Lot/Building Type are illustrated on the following pages. Character examples are provided for each Lot/Building Types for illustrative purposes only.

Table 3.1.3 Lot/Building Types by Development District

Development Districts	Lot/Building Types														
	Commercial, Primary	Commercial, Urban	Parking Garage Building	Office Building	Small Box Retail/Drive-Through	Institutional	Civic	Mixed-Use Building	Apartment/Condominium	Townhouse	Villa/Attached	Single Family Detached	Estate	Countryside Tract	Farm
Mixed-Use Commercial	Y	Y	Y	Y	S	Y	Y	Y	Y	S	S	-	-	-	-
Town Center	Y	Y	Y	Y	-	Y	Y	Y	Y	Y	Y	-	-	-	-
General Neighborhood	-	Y	Y	S	-	Y	Y	Y	Y	Y	Y	Y	-	-	-
Neighborhood Residential	-	-	-	-	-	Y	Y	-	-	-	Y	Y	-	-	S
Rural Residential	-	-	-	-	-	Y	Y	-	-	-	-	Y	Y	Y	Y

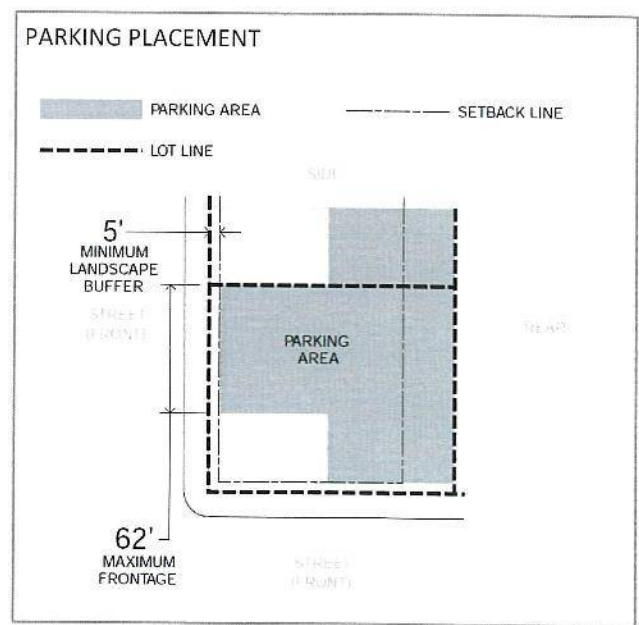
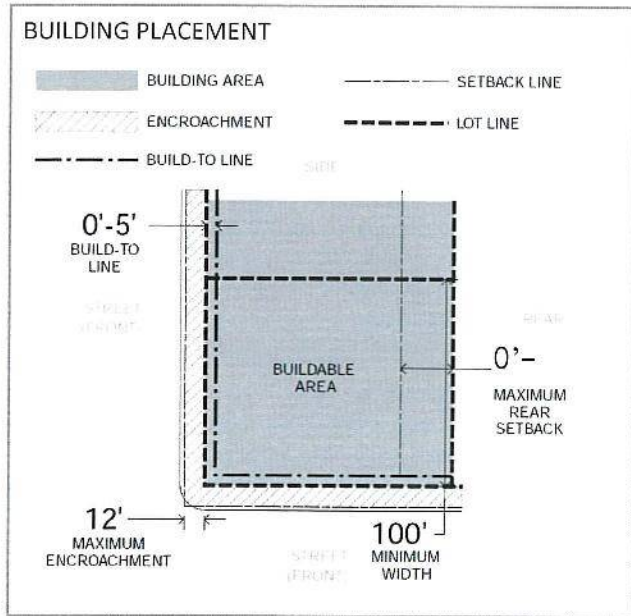
Y-Allowed/S-Special Use

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3.1.3A COMMERCIAL, PRIMARY

1. Description: A building form that accommodates larger building footprint and/or large surface parking areas.
2. Access: The principal entry to each ground-floor unit shall be a direct entrance from the primary abutting street. Access to above-ground units shall be via a lobby with direct access to the street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building or partially or wholly underground. Parking may be located on the side of the lot provided that no more than sixty-two feet (62') of lot frontage along the primary abutting street is occupied by parking or driveways and shall have a landscaped buffer facing the street with a minimum depth of five feet (5'), and a street wall with a maximum height of thirty-six inches (36").
 - c. Parking Requirements: See Parking Placement illustration
4. Massing and Articulation: Buildings shall be configured on the site to create an interior court where primary parking can occur. The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Facades facing a public street shall be vertically articulated at a maximum interval of every forty-eight (48') feet.
5. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
6. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1 (Page 76)
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Land Uses: See Article 5
 - d. Building heights within 100 feet of a residential district shall be a maximum of two (2) stories.
 - e. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.
 - f. For drive throughs attached to Commercial, Primary building types: See 3.2.4 M



Development Standards: Commercial, Primary		
Building Footprints (min/max in sf)		10,000/none
Lot Width (min/max in f)		100/300
Building Width (min/max in f)		80%/100%
Lot Coverage by Buildings (max)		40%
Yard Requirements	Front ¹ (min/max in ft.)	0/5
	Rear ² (min/max in ft.)	0/25
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ⁴ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/10
Finish Ground Floor Above Grade (min/max in inches)		0/0

¹ Corner lots must meet front yard requirements on each frontage.

² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

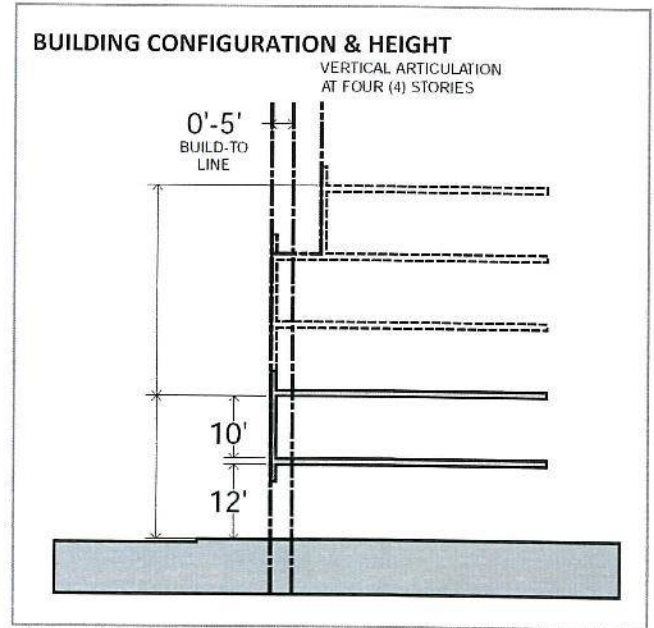
³ Maximum side yard setback is related to the minimum 80% building width requirement.

⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

Permitted Frontages: Commercial, Primary (See Section 3.2)	
Common Yard	N
Porch	N
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y
Drive Through	See 3.2.4M

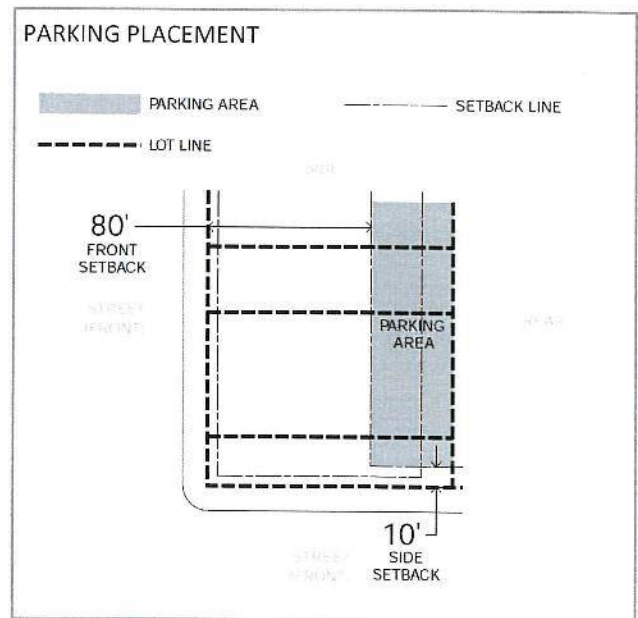
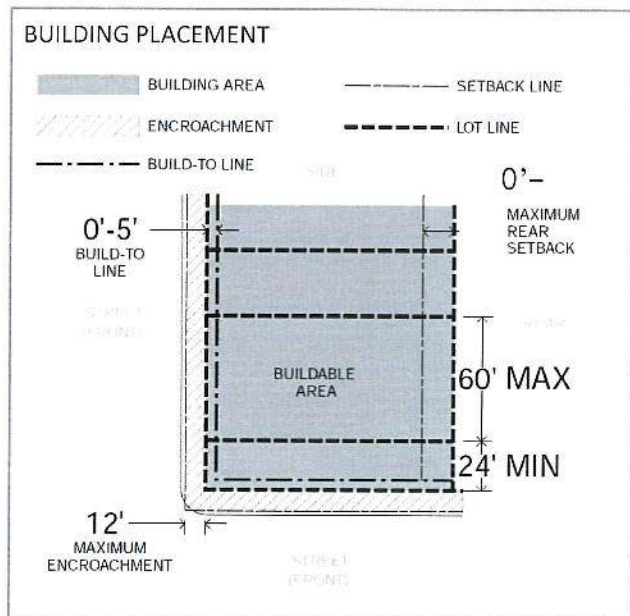
Commercial, Primary by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	N
Neighborhood Residential	N
Rural Residential	N

Y-Allowed/S-Special Use/N- Not Allowed



3.1.3B COMMERCIAL, URBAN

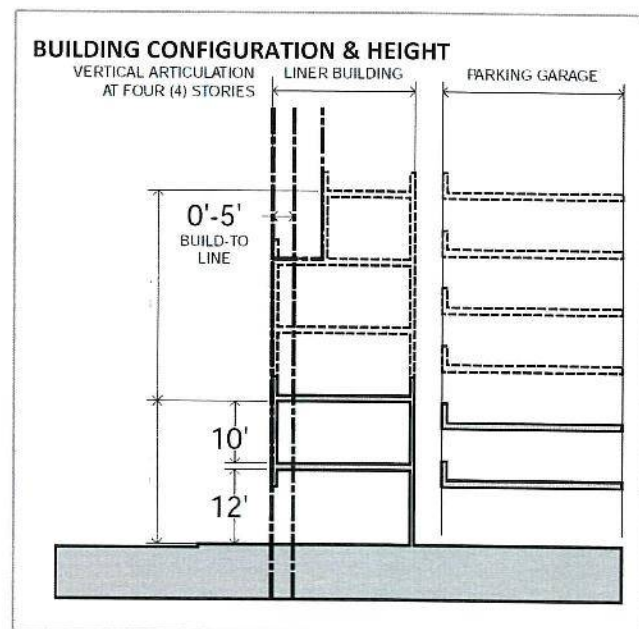
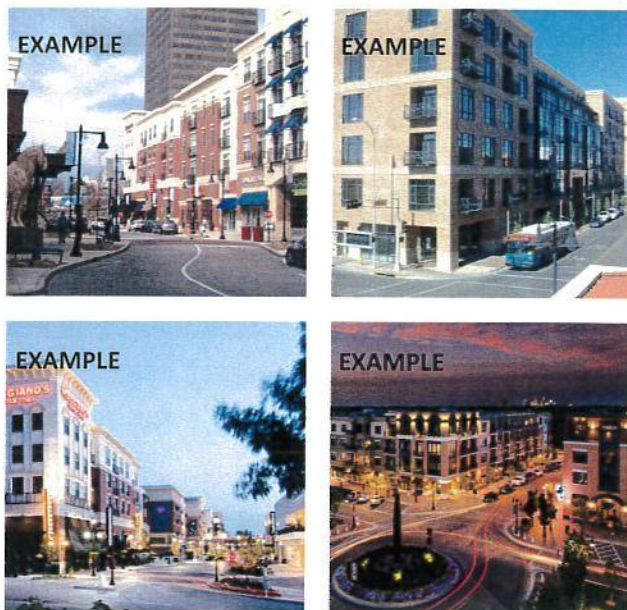
1. Description: A building form that accommodates larger building footprint s for large and/or single-use commercial tenants including retail and office.
2. Access: The principal entry to each ground-floor unit shall be a direct entrance from the primary abutting street. Access to above-ground units shall be via a lobby with direct access to the street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building on the lot, or may also be partially or wholly underground, or located in a common area in the interior of a block.
 - c. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not exceed one hundred percent (100%) of the width of the lot, nor fall below eighty percent (80%) of the width of the lot.
5. The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Facades facing a public street shall be vertically articulated at a maximum interval of every forty-eight (48') feet.
6. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
7. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Land Uses: See Article 5
 - d. Building heights within 100 feet of a residential district shall be a maximum of two (2) stories.
 - e. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.
 - f. For drive throughs attached to Commercial, Urban building types: See 3.2.4 M.



Development Standards: Commercial, Urban		
Building Footprint (min/max in sf)		10,000/none
Lot Width (min/max in feet)		24/100
Building Width (min/max in feet)		80%/100%
Lot Coverage by Buildings (max)		80%
Yard Requirements	Front ¹ (min/max in ft.)	0/5
	Rear ² (min/max in ft.)	0/15
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ⁴ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/10
Finish Ground Floor Above Grade (min/max in inches)		0/0
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Maximum side yard setback is related to the minimum 80% building width requirement. ⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.		

Permitted Frontages: Commercial Urban (See Section 3.2)	
Common Yard	N
Porch	N
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y
Drive Through	See 3.2.4M

Commercial, Urban by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	N
Rural Residential	N
Y-Allowed/S-Special Use/N- Not Allowed	

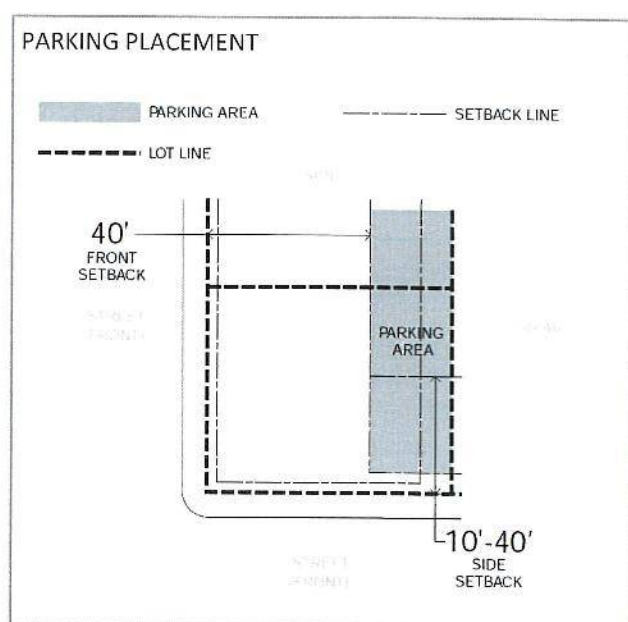
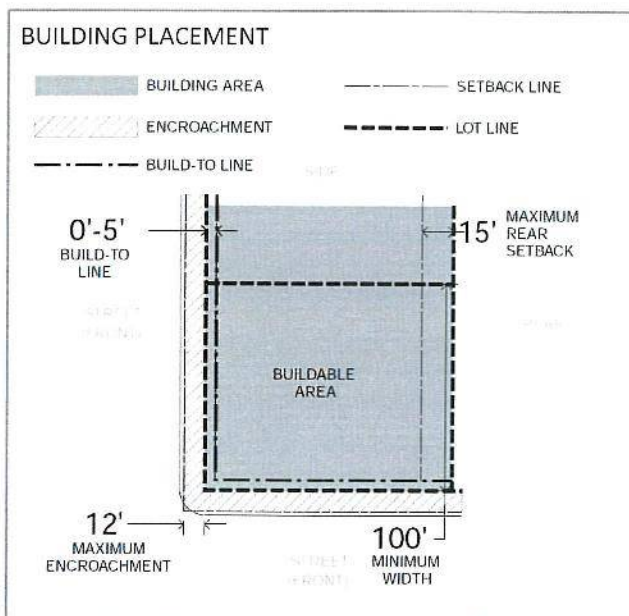


3.1.3C PARKING GARAGE BUILDING

1. Description: A multi-story building specifically designed for common or shared parking of automobiles on a temporary basis. The parking structure is concealed from the primary abutting street by a specialized liner building, parallel to the street, which provides commercial uses on the ground floor with commercial or residential uses on the upper floors.
2. Access: The principal entry to each ground floor unit shall be a direct entrance from the primary abutting street. Access to above ground units shall be via a lobby with direct access to the street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: Ground floor commercial uses for this building type should meet parking requirements of the City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the liner building in a common or shared parking structure. The parking structure may be located partially underground.
 - c. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not exceed one hundred percent (100%) of the width of the lot, nor fall below eighty percent (80%) of the width of the lot.
5. Massing and Articulation: The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Facades facing a public street shall be vertically articulated at a maximum interval of every forty-eight (48') feet.
6. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
7. Development Standards:

Architecture: See Article 3.0 Section 3.4.5.1

- a. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
- b. Land Uses: See Article 5
- c. Building heights within 100 feet of a residential district shall be a maximum of two (2) stories.
- d. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.
- e. For drive throughs attached to Parking Garage/Liner Building building types: See 3.2.4 M



Development Standards: Parking Garage Building		
Building Footprint (min/max in sf)		10,000/none
Lot Width (min/max in feet)		100/300
Building Width (min/max in feet)		80%/100%
Lot Coverage by Buildings (max)		80%
Yard Requirements	Front ¹ (min/max in ft.)	0/5
	Rear ² (min/max in ft.)	0/15
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ⁴ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/10
Finish Ground Floor Above Grade (min/max in inches)		0/0

¹ Corner lots must meet front yard requirements on each frontage.

² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

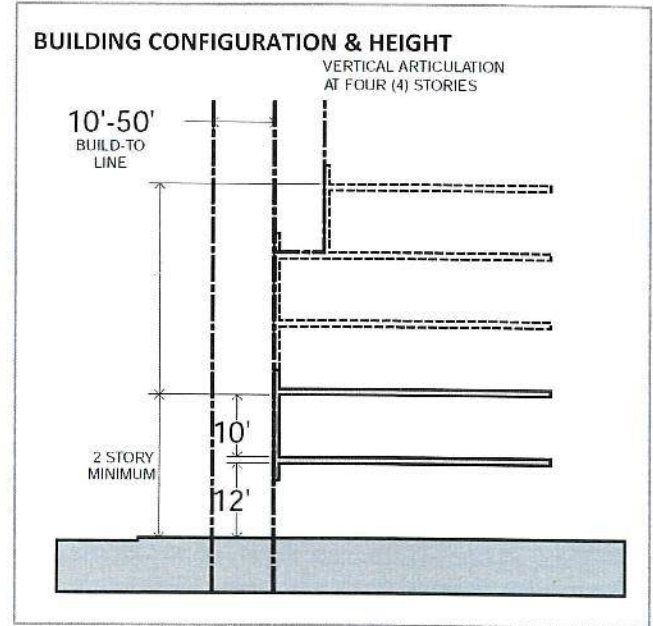
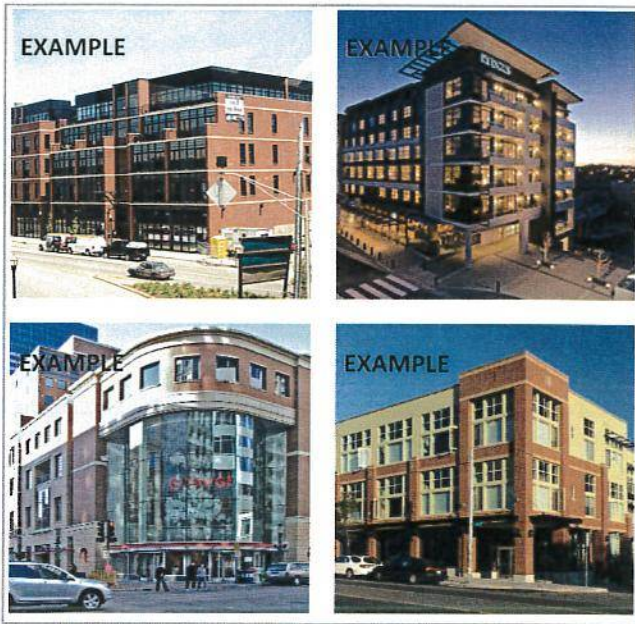
³ Maximum side yard setback is related to the minimum 80% building width requirement.

⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

Permitted Frontages: Parking Garage Building (See Section 3.2)	
Common Yard	N
Porch	N
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y
Drive Through	See 3.2.4M

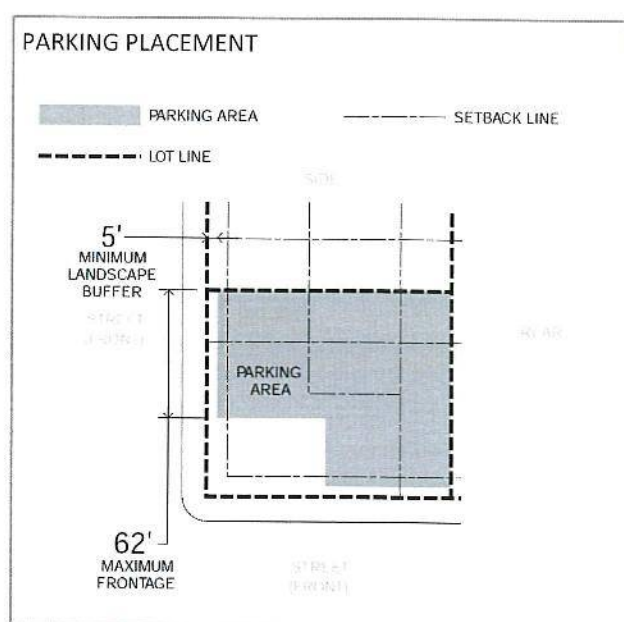
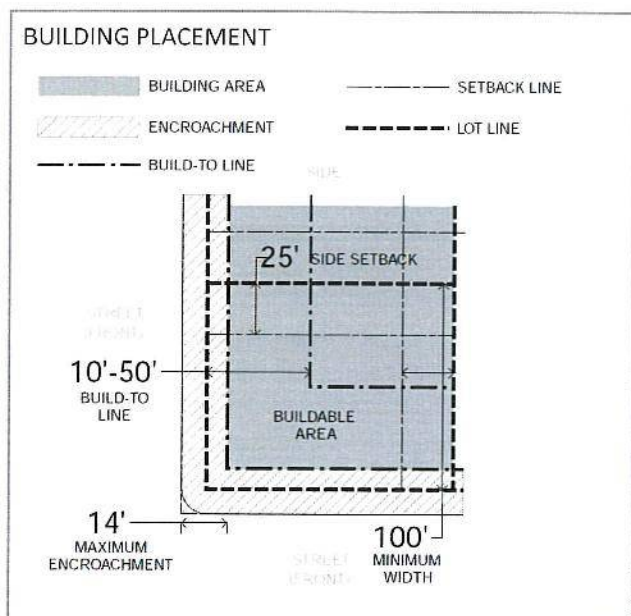
Parking Garage Building by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	N
Rural Residential	N

Y-Allowed/S-Special Use/N- Not Allowed



3.1.3D OFFICE BUILDING

1. Description: A building form that accommodates larger building footprint s for office uses.
2. Access: The principal entry to each ground floor unit shall be a direct entrance from the primary abutting street. Access to above ground units shall be via a lobby with direct access to the street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building or partially or wholly underground. Parking may be located on the side of the lot provided that no more than sixty-two feet (62') of lot frontage along the primary abutting street is occupied by parking or driveways and shall have a landscaped buffer facing the street with a minimum depth of five feet (5'), and a street wall with a maximum height of thirty-six inches (36").
 - c. Parking Requirements: See Parking Placement illustration
4. Massing and Articulation: The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Facades facing a public street shall be vertically articulated at a maximum interval of every forty-eight (48') feet.
5. Encroachments³: Maximum fourteen feet (14') on building frontage only; not to exceed curb line
6. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Land Uses: See Article 5
 - d. Building heights within 100 feet of a residential district shall be a maximum of two (2) stories.
 - e. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.
 - f. For drive throughs attached to Office Building building types: See 3.2.4 M



Development Standards: Office Building		
Building Footprint (min/max in sf)		10,000/none
Lot Width (min/max in feet)		100/300
Building Width (min/max in feet)		80/100
Lot Coverage by Buildings (max)		60%
Yard Requirements	Front ¹ (min/max in ft)	10/50
	Rear ² (min/max in ft)	0/25 Town Center 0/0 All Other Districts
	Side (min/max in ft.)	0/25 Town Center 0/0 All Other Districts
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ³ (max in ft)		14
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/10
Finish Ground Floor Above Grade (min/max in inches)		0/0

¹ Corner lots must meet front yard requirements on each frontage.

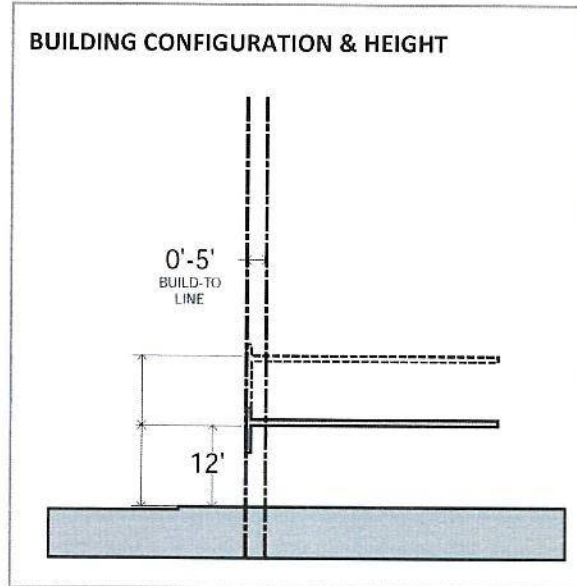
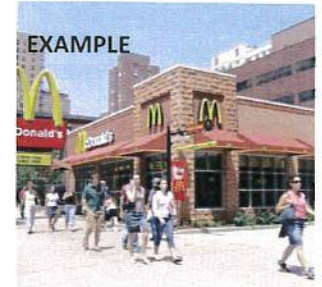
² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

³ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

Permitted Frontages: Office Building (See Section 3.2)	
Common Yard	N
Porch	N
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y
Drive Through	See 3.2.4M

Office Building by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	S – SUP needed
Neighborhood Residential	N
Rural Residential	N

Y-Allowed/S-Special Use/N—Not Allowed

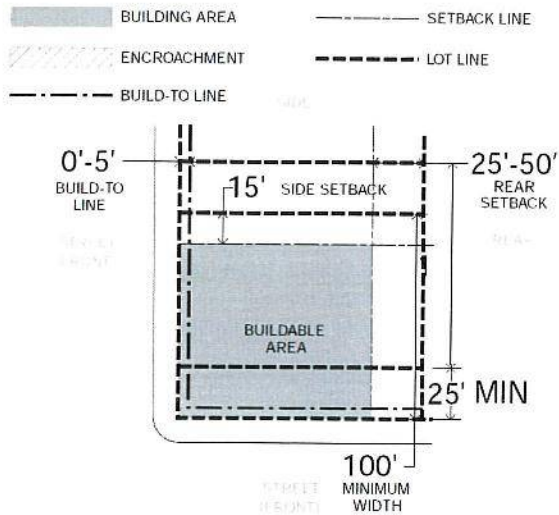


3.1.3E SMALL BOX RETAIL, DRIVE THROUGH

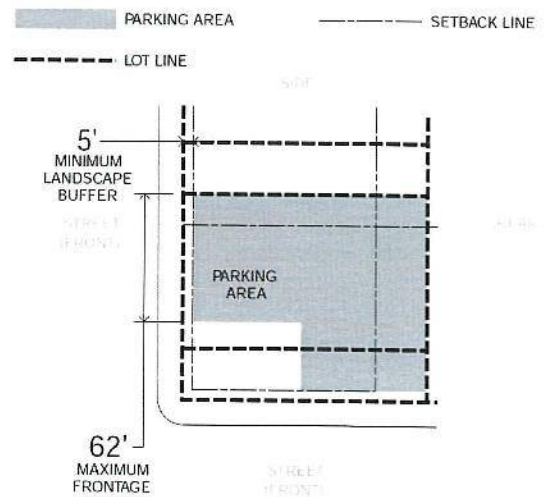
Description: A building form that includes buildings comprised of 10,000 square feet or less of gross interior square footage on lots of 1.50 acres or less with drive-through facilities. By way of example, this includes banks, fast food restaurants, and pharmacies with drive throughs. This lot type also includes fuel stations, convenience stores with fuel service, and convenience stores with quick service restaurants and/or bank branches comprised of 10,000 feet or less of gross interior square footage on lots of 1.50 acres or less. This lot type provides necessary neighborhood services but can disrupt pedestrian flows, reduce opportunities for denser development patterns in area such as Town Center, and impact the aesthetics of streetscapes, corridors, and districts. This building / lot type is only allowed in the Mixed Use Commercial district and must adhere to Section 3.4.5.2 Architectural Standards for Small Box Retail / Drive Through Buildings/Lot Type.

1. Access: The principal entry to the building shall be oriented toward the primary abutting street.
2. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Service/delivery drives shall be located behind the principal building. Drive-through lanes shall be located to the side or rear of the principal building. For corner lots, drive-through lanes may be adjacent to a primary abutting street, so long as parking areas are limited to sixty-two feet (62') in width and shall have a landscaped buffer facing the street with a minimum depth of five feet (5'), and a street wall with a maximum height of thirty-six inches (36"). Drive-through lanes shall access a side street, alley, or shared parking area to the rear of the principal building.
 - c. Parking Requirements: See Parking Placement illustration
3. Encroachments³: Not permitted
4. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.2
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum.
 - c. Land Uses: See Article 5
 - d. This building/lot type is not allowed in the Town Center district. See 3.2.4 M for alternatives.

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Development Standards: Small Box Retail, Drive Through (Also see Section 3.4.5.2 and 5.2)

Lot Size (max in sf)		1.50 acres
Lot Width (min/max in feet)		50/100
Building Width (min/max in feet)		n/a
Building Size (min/max in gross interior sq ft)		0/10,000
Lot Coverage by Buildings (max)		60%
Yard Requirements	Front ¹ (min/max in ft.)	0/5
	Rear ² (min/max in ft.)	25/50
	Side (min/max in ft.)	15/25
Height, min/max In stories (ft)		1 (12)/2 (23) plus 3 ft.
Encroachments ³ (max in ft)		Not Permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		0/0

¹ Corner lots must meet front yard requirements on each frontage.

² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

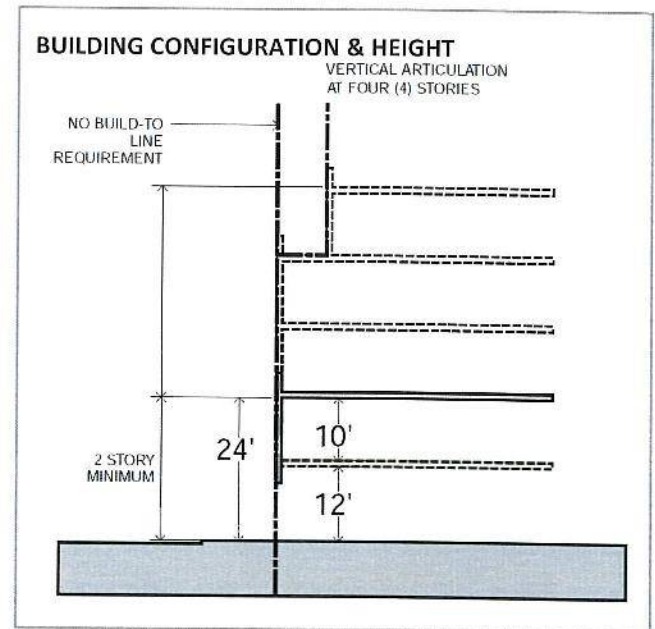
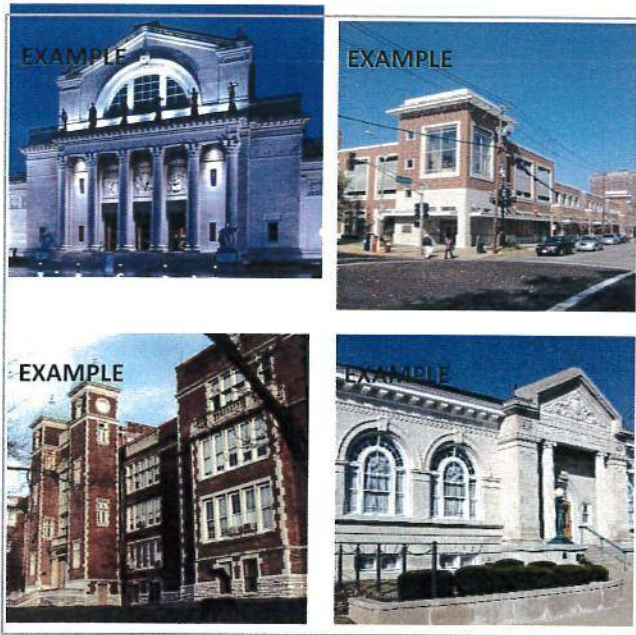
³ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

Permitted Frontages: Small Box Retail, Drive Through (See Section 3.2 and 3.4.5.2)

Common Yard	N
Porch	Y
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	N
Colonnades	N
Arcades	N
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y

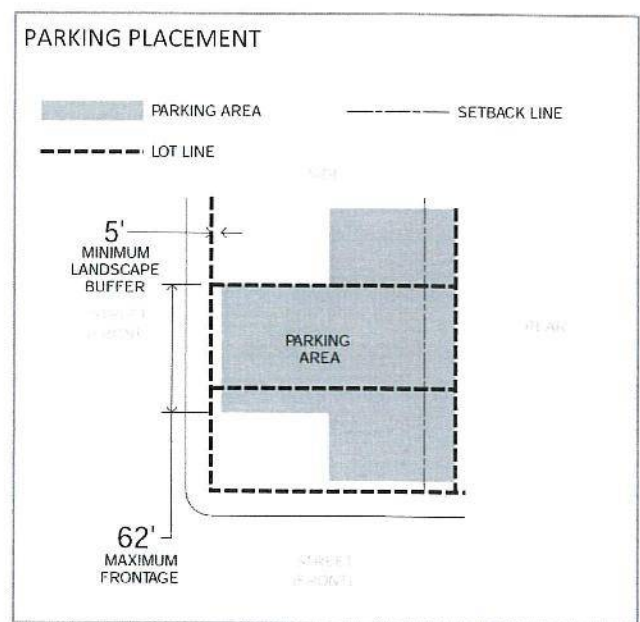
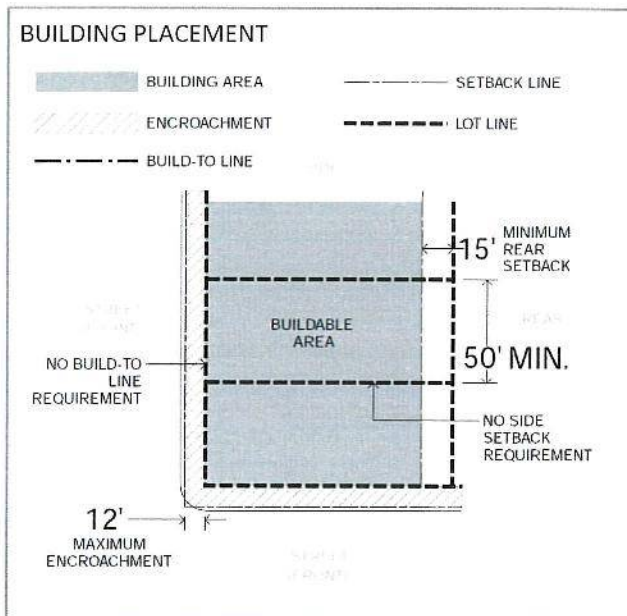
Small Box Retail/ Drive Through by Development Districts

Mixed-Use Commercial	Y- See 3.4.5.2 and 5.2
Town Center	N
General Neighborhood	N
Neighborhood Residential	N
Rural Residential	N
Y-Allowed/S-Special Use/N-Not Allowed	



3.1.3F INSTITUTIONAL

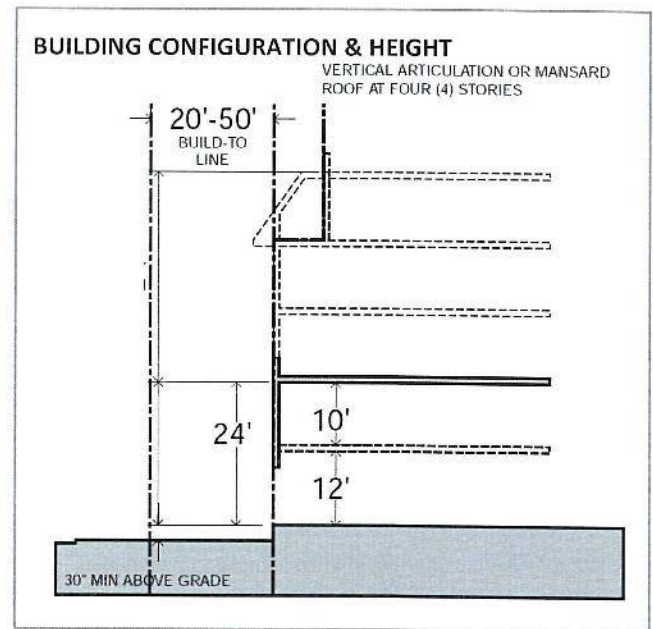
1. Description: A building type to accommodate arts, culture, education, membership organization, and public assembly uses in an urban or suburban environment. A variety of building scales and architectural styles are acceptable.
2. Access: The building entrance shall be through a common lobby or courtyard.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building on the lot, or within a side yard, provided that parking areas are limited to sixty-two feet (62') in width and shall have a landscaped buffer facing the street with a minimum depth of five feet (5'), and a street wall with a maximum height of thirty-six inches (36"). Parking may also be partially or wholly underground, or located in a common area in the interior of a block.
 - c. Parking Requirements: See Parking Placement illustration
4. Massing and Articulation: These building types may be designed as a single compositional unit. All facades facing a public street shall feature horizontal articulation/change visibly at an average of at least seventy feet (70') in height, setback, materials, or color, and with no module exceeding one hundred feet (100') in length. Facades facing a public street shall feature vertical articulation/change visibly at a maximum interval of every forty-eight (48') feet.
5. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
6. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Land Uses: See Article 5
 - d. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.



Development Standards: Institutional		
Lot Size (min/max in sf)		Varies by district
Lot Width (min/max in feet)		50/none
Building Width (min/max in feet)		n/a
Lot Coverage by Buildings (max)		80%
Yard Requirements	Front ¹ (min/max in ft.)	n/a
	Rear ² (min/max in ft.)	15/none
	Side (min/max in ft.)	n/a
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ³ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		0/0
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.		

Permitted Frontages: Institutional (See Section 3.2)	
Common Yard	N
Porch	Y
Stoop	N
Forecourt	Y
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	N

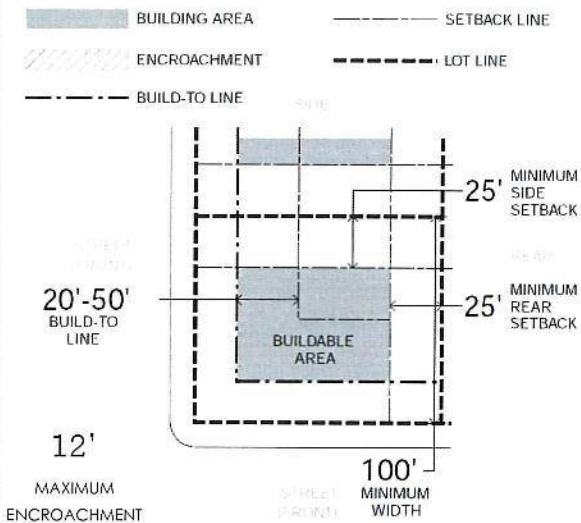
Institutional by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	Y
Rural Residential	Y
Y-Allowed/S-Special Use/n—Not Allowed	



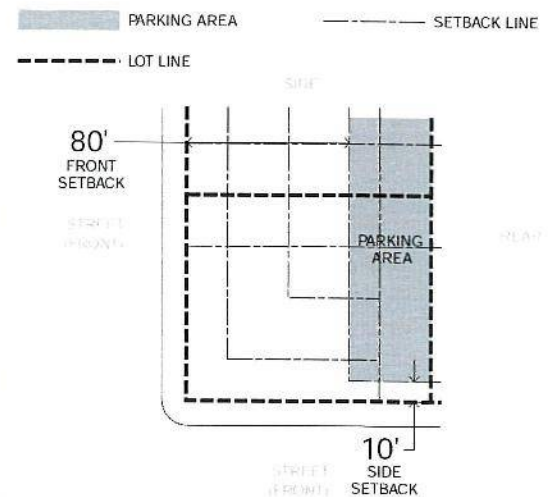
3.1.3G CIVIC

1. Description: A building type to accommodate government, and public assembly uses (including religious uses) in an urban or suburban environment. A variety of building scales and architectural styles are acceptable.
2. Access: The building entrance shall be through a common lobby or courtyard. The building shall have at least one (1) entrance to a public courtyard, forecourt, or public space such as a park.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building on the lot, or within a side yard, provided that parking areas are limited to sixty-two feet (62') in width and shall have a landscaped buffer facing the street with a minimum depth of five feet (5'), and a street wall with a maximum height of thirty-six inches (36"). Parking may also be partially or wholly underground, or located in a common area in the interior of a block.
 - c. Parking Requirements: See Parking Placement illustration
4. Massing and Articulation: Street-facing entrances shall be positioned to accentuate vistas or directed views such as at the end of streets or where streets turn. All facades facing a public street shall feature horizontal articulation/change visibly at least forty-eight feet (48') in height, setback, materials, or color, and with no module exceeding one hundred feet (100') in length. Facades facing a public street shall feature vertical articulation/ change visibly at a maximum interval of every forty-eight feet (48').
5. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
6. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1 (Page 76)
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Land Uses: See Article 5

BUILDING PLACEMENT



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Development Standards: Civic

Lot Size (min/max in sf)		Varies by district
Lot Width (min/max in feet)		100/none
Building Width (min/max in feet)		n/a
Lot Coverage by Buildings (max)		50%
Yard Requirements	Front ¹ (min/max in ft.)	20/50
	Rear ² (min/max in ft.)	25/none
	Side (min/max in ft.)	25/none
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ³ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/10
Finish Ground Floor Above Grade (min/max in inches)		30/60

¹ Corner lots must meet front yard requirements on each frontage.
² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.
³ Encroachments permitted on building frontage only; corner lots have frontage on each

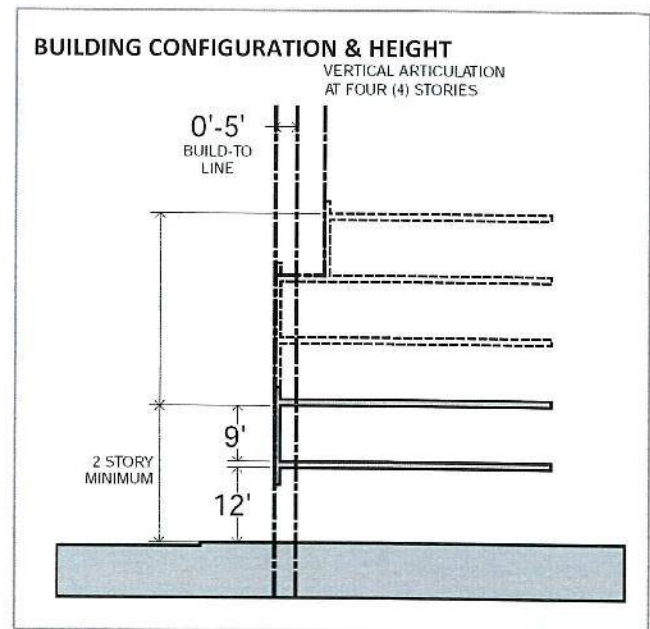
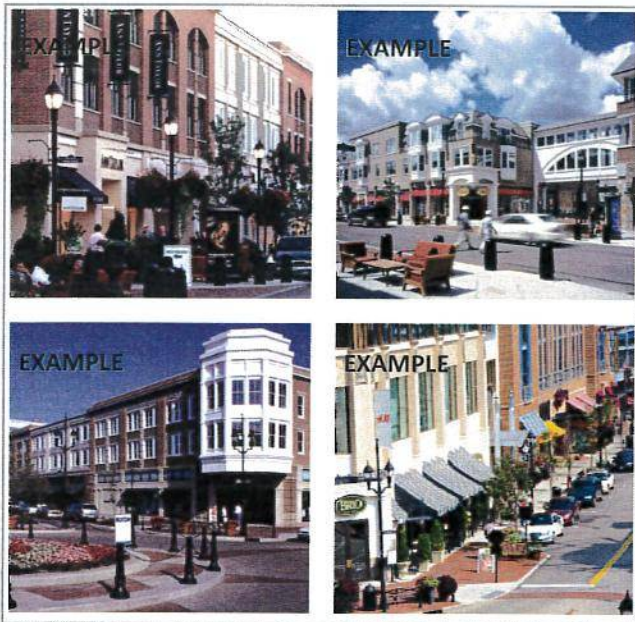
Permitted Frontages: Civic (See Section 3.2)

Common Yard	N
Porch	Y
Stoop	N
Forecourt	Y
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	N
Cafe	Y

Civic by Development Districts

Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	Y
Rural Residential	Y

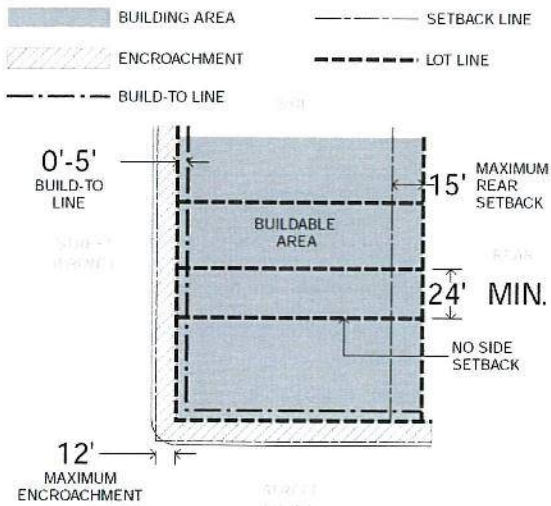
Y-Allowed/S-Special Use/N-Not Allowed



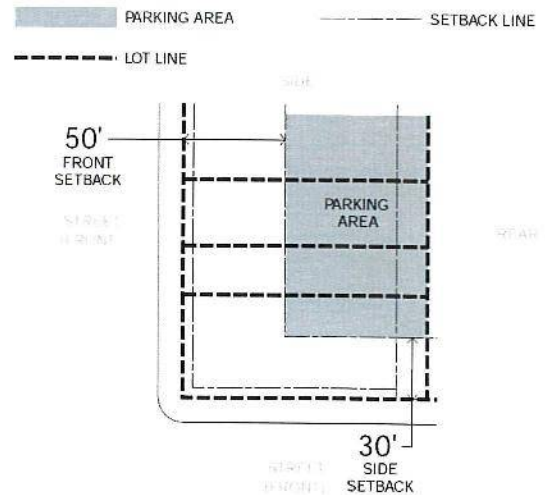
3.1.3H MIXED-USE BUILDING

1. Description: A multi-story building that is designed to support a mix of commercial and/or office uses on the ground floor with office, studio, lodging, and/or residential units above.
2. Access: The principal entrance to each ground floor unit shall be a direct entrance from the primary abutting street. Access to above ground units shall be via a lobby with direct access to the primary abutting street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind the rear plane of the principal building on the lot. Parking may also be partially or wholly underground, or located in a common area in the interior of a block.
 - c. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not exceed one hundred percent (100%) of the width of the lot, nor fall below eighty percent (80%) of the width of the lot.
5. Massing and Articulation: The building facade along the primary abutting public street shall feature horizontal articulation/ change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Facades facing a public street shall feature vertical articulation/ change visibly at a maximum interval of every forty-eight feet (48'). Entrances shall be provided at least every forty feet (40') along the primary abutting street.
6. Encroachments³: Maximum twelve feet (12') on building frontage only; not to exceed curb line
7. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.5.1 (Page 76)
 - b. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - c. Minimum Dwelling Size: 750 sq. ft.
 - d. Land Uses: See Article 5
 - e. Building heights within 100 feet of a residential district shall be a maximum of two (2) stories.
 - f. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where a commercial district adjoins a residential district.
 - g. For drive throughs attached to Mixed Use Building building types: See 3.2.4 M

BUILDING PLACEMENT



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Development Standards: Mixed-Use Building

Building Footprint (min/max in sf)		2,400/none
Lot Width (min/max in feet)		24/none
Building Width (min/max in feet)		80%/100%
Lot Coverage by Buildings (max)		90%
Yard Requirements	Front ¹ (min/max in ft.)	0/5
	Rear ² (min/max in ft.)	0/15
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ⁴ (max in ft)		12
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		12/9
Finish Ground Floor Above Grade (min/max in inches)		0/0

¹ Corner lots must meet front yard requirements on each frontage.

² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

³ Maximum side yard setback is related to the minimum 80% building width requirement.

⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

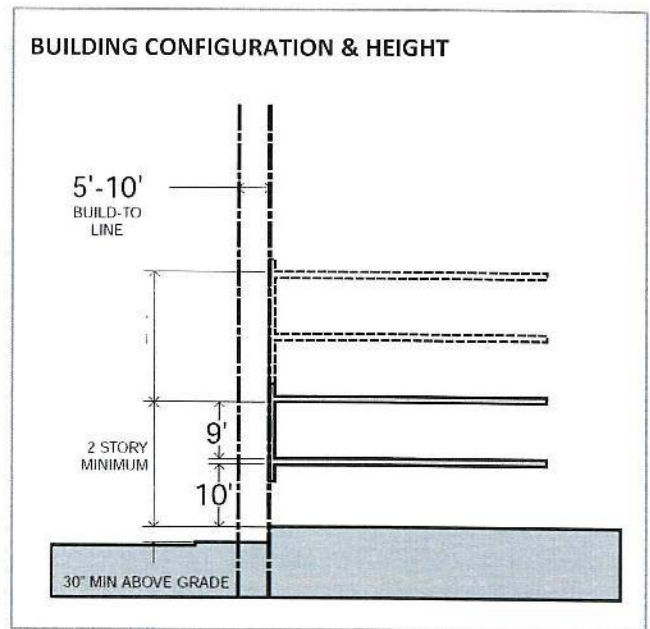
Permitted Frontages: Mixed-Use Building (See Section 3.2)

Common Yard	N
Porch	N
Stoop	N
Forecourt	N
Awnings & Canopies	Y
Balconies	Y
Colonnades	Y
Arcades	Y
Terrace & Lightcourt	N
Bay Windows	Y
Storefront	Y
Cafe	Y
Drive Through	See 3.2.4M

Mixed-Use Building by Development Districts

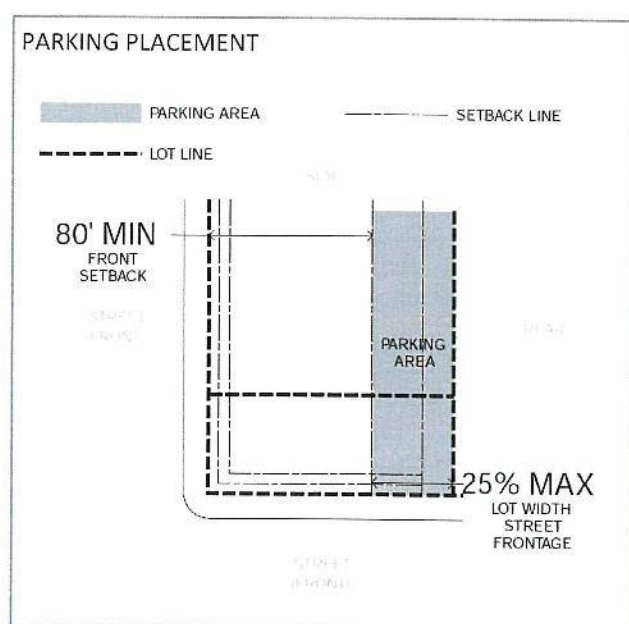
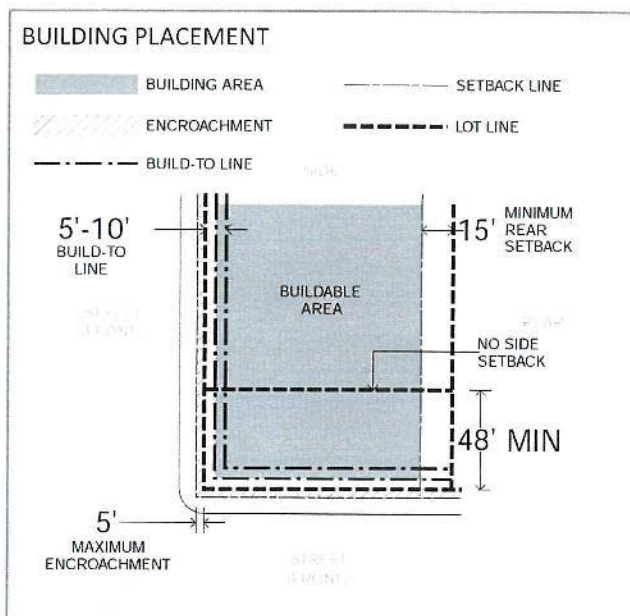
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	N
Rural Residential	N

Y-Allowed/S-Special Use/ N- Not Allowed



3.1.3J APARTMENT/CONDOMINIUM

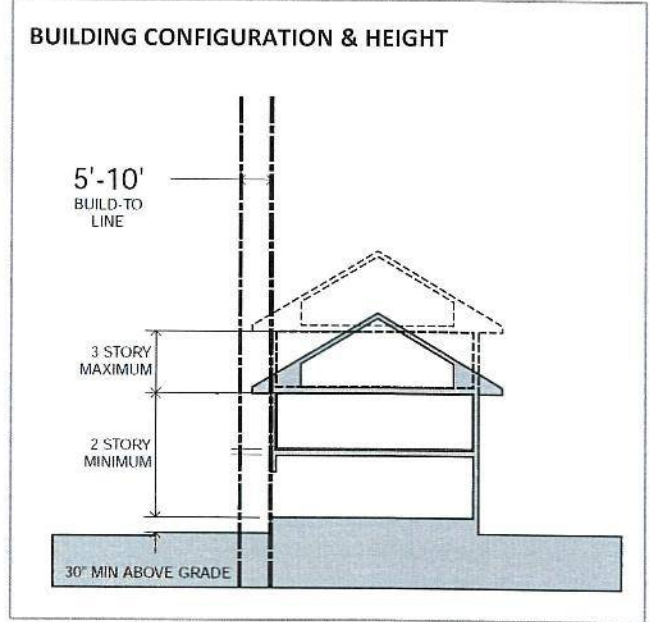
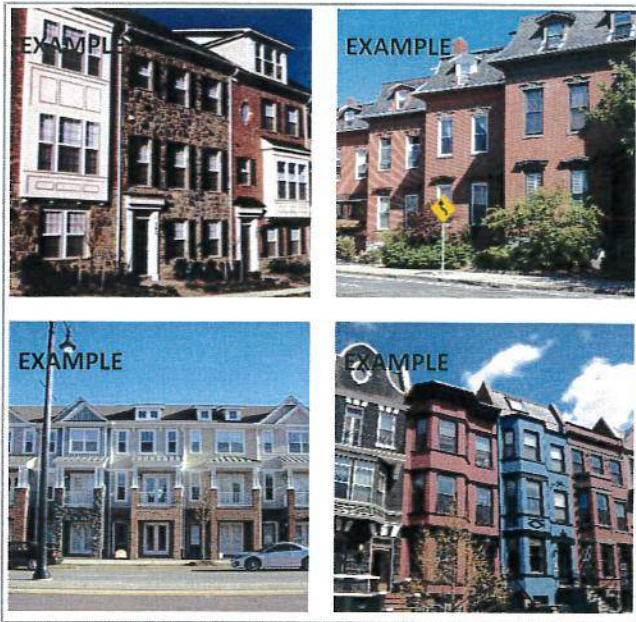
1. Description: A multi-story building with combined entrance(s) oriented to the primary abutting street; stairways, and/or elevators; and comprised of dwelling units accessed from a corridor or hall.
2. Access: The principal entrance(s) to the building shall be oriented to the primary abutting street. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind each building, under the building, or in a common area in the interior of a block. Parking may be located within the side yard provided that it occupies no more than twenty-five percent (25%) of the lot frontage along the primary abutting street. Structured parking at ground level shall not be visible from the front facade of the building.
 - c. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not exceed ninety percent (90%) of the width of the lot, nor be less than seventy percent (70%) of the width of the lot.
5. Massing and Articulation: Massing, proportions, and articulation of apartment/condominium buildings should respond to existing residential buildings in their vicinity. The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48') in height, setback, materials, or color. Entrances shall be provided at least every forty feet (40') along the primary abutting street.
6. Encroachments³: Maximum five feet (5') on building frontage only; not to exceed curb line
7. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.6
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5.
 - e. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where this building type adjoins the Neighborhood Residential, Rural Residential or residential zoning outside the I-55 Map area. The County "Agricultural" district is not considered a "residential district."



Development Standards: Apartment/Condominium		
Lot Size (min/max in sf)		4,800/18,000
Lot Width (min/max in feet)		48/120
Building Width (min/max in feet)		70%/90%
Lot Coverage by Buildings (max)		80%
Yard Requirements	Front ¹ (min/max in ft.)	5/10
	Rear ² (min/max in ft.)	15/30
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		See Table 3.1.4B
Encroachments ⁴ (max in ft)		5
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		10/9
Finish Ground Floor Above Grade (min/max in inches)		30/60
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Maximum side yard setback is related to the minimum 70% building width requirement. ⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.		

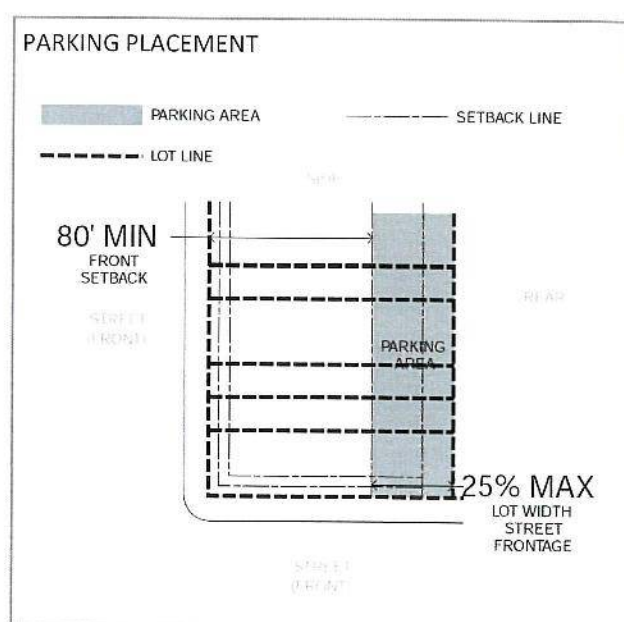
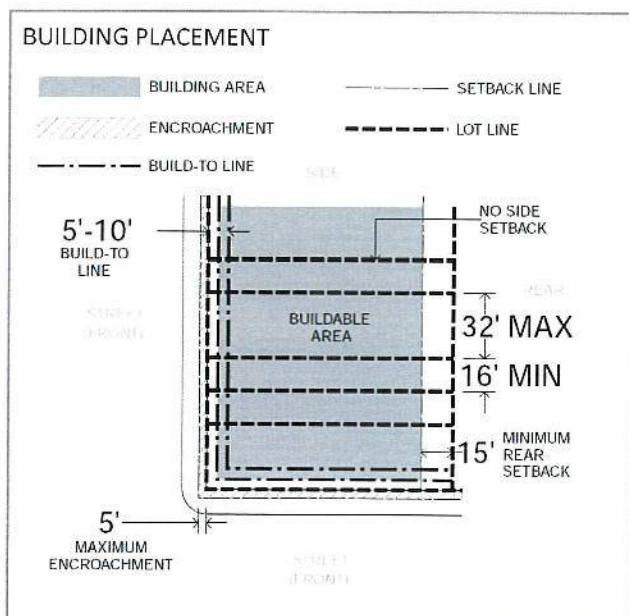
Permitted Frontages: Apartment/Condominium (See Section 3.2)	
Common Yard	N
Porch	Y
Stoop	N
Forecourt	Y
Awnings & Canopies	N
Balconies	Y
Colonnades	N
Arcades	N
Terrace & Lightcourt	Y
Bay Windows	Y
Storefront	N
Cafe	N

Apartment/Condominium by Development Districts	
Mixed-Use Commercial	Y
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	N
Rural Residential	N
Y-Allowed/S-Special Use/ N- Not Allowed	



3.1.3K TOWNHOUSE

1. Description: Horizontally-attached dwelling units, each having a private entrance, and oriented to the street or to a central green or courtyard.
2. Access: The principal entrance to each dwelling shall have direct access to the primary abutting street or to a courtyard. Parking, loading, and trash disposal may be accessed from an alley or shared drive.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Lot Standards: Parking shall be located behind each building, underground, or in a common area in the interior of a block. Surface or structured parking may be located within the side yard provided that it occupies no more than twenty-five percent (25%) of the lot frontage along the primary abutting street. No garage doors may be located on any facade of the building facing a primary abutting street.
 - c. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not be less than ninety percent (90%) of the width of the lot.
5. Massing and Articulation: Buildings shall be comprised of individual units, articulated vertically by divisions in materials, entry placement, window bays, or other architectural details. Massing, proportions, and articulation of multi-family buildings should respond to existing residential buildings in their vicinity. The building facade along the primary abutting public street shall feature horizontal articulation/change visibly at a maximum interval of forty-eight feet (48').
6. Exposure to Light and Air: Each building shall have at least the front and back sides exposed to the outdoors.
7. Encroachments³: Maximum five feet (5') on building frontage only; not to exceed curb line
8. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.6
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum.
 - d. Land Uses: See Article 5.
 - e. A transitional buffer yard (TBY) that complies with Section 1228.08 of the City of Edwardsville's Zoning Code shall be provided where this building type adjoins the Neighborhood Residential, Rural Residential or residential zoning outside the I-55 Map area. The County "Agricultural" district is not considered a "residential district."



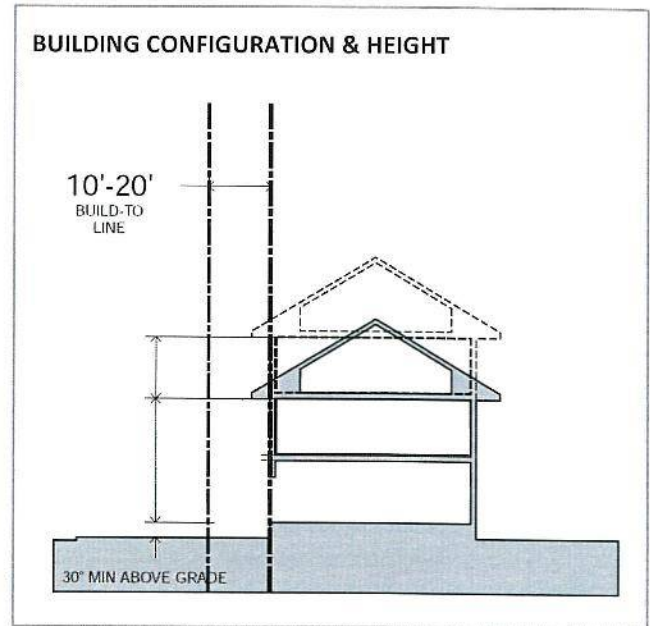
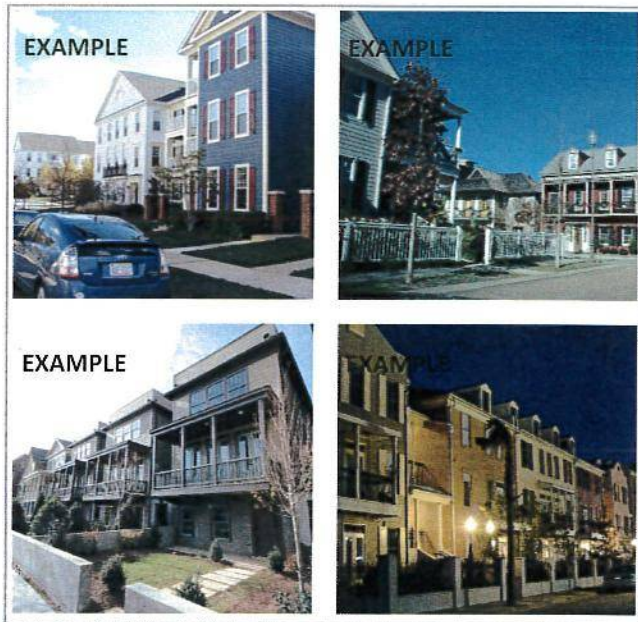
Development Standards: Townhouse		
Lot Size (min/max in sf)		1,800/4,000
Lot Width (min/max in feet)		16/32
Building Width (min/max in feet)		80%/100%
Lot Coverage by Buildings (max)		80%
Yard Requirements	Front ¹ (min/max in ft.)	5/10
	Rear ² (min/max in ft.)	15/30
	Side ³ (min/max in ft.)	0/0 ³
Height, min/max In stories (ft)		2(23.5)/3(37) plus 15 ft. maximum
Encroachments ⁴ (max in ft)		5
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60

¹ Corner lots must meet front yard requirements on each frontage.
² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.
³ Maximum side yard setback is related to the minimum 80% building width requirement.
⁴ Encroachments permitted on building frontage only; corner lots have frontage on each abutting street.

Permitted Frontages: Townhouse (See Section 3.2)	
Common Yard	Y
Porch	Y
Stoop	Y
Forecourt	N
Awnings & Canopies	N
Balconies	Y
Colonnades	N
Arcades	N
Terrace & Lightcourt	Y
Bay Windows	Y
Storefront	N
Cafe	N

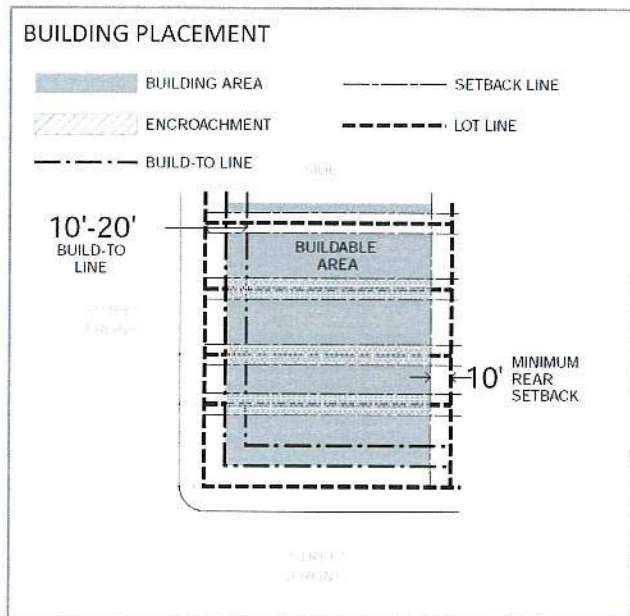
Townhouse by Development Districts	
Mixed-Use Commercial	S—SUP needed
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	N
Rural Residential	N

Y—Allowed/S—Special Use/ N— Not Allowed

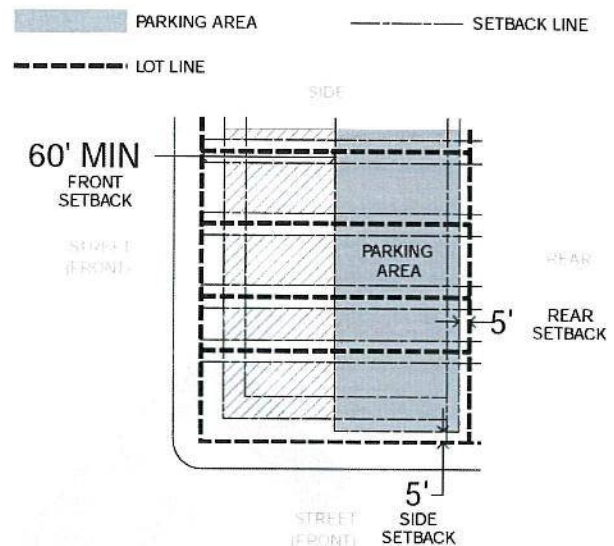


3.1.3L VILLA/ATTACHED

1. Description: A building containing two (2), three (3), or four (4) dwelling units that are either vertically stacked one above the other or oriented side-to-side. Villa/Attached buildings are generally presented architecturally as single family detached homes, with a separate entrance to each unit and with usable front and rear yards oriented to the street.
2. Access: The principal entrance to each dwelling shall have direct access to the primary abutting street. Parking, loading, and trash disposal may be accessed from an alley or narrow side driveway.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
 - b. Parking Requirements: See Parking Placement illustration
4. Building Width: Buildings shall not exceed ninety percent (90%) of the width of the lot, nor be less than seventy percent (70%) of the width of the lot.
5. Exposure to Light and Air: Each building shall have all sides exposed to the outdoors.
6. Encroachments³: Not permitted
7. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.8
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5



PARKING PLACEMENT



Development Standards: Villa/Attached		
Lot Size (min/max in sf)		See information right of table*
Lot Width (min/max in feet)		See information right of table**
Building Width (min/max in feet)		70%/90%
Lot Coverage by Buildings (max)		60%
Yard Requirements	Front ¹ (min/max in ft.)	10/20
	Rear ² (min/max in ft.)	10/40
	Side (min/max in ft.)	5/10***
Height, min/max in stories (ft)		See Table 3.1.4A
Encroachments ³ (max in ft)		Not permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60

¹ Corner lots must meet front yard requirements on each frontage.

² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

³ Encroachments permitted on building frontage only; corner lots have frontage on each

* Lot Size - The minimum and maximum lot size can vary provided the total density of the development does not exceed the density of the single family detached lot type - 7,500 s.f. to 21,780 s.f.

** Lot Width - The minimum and maximum lot width will range dependent on the size of the lot as follows:

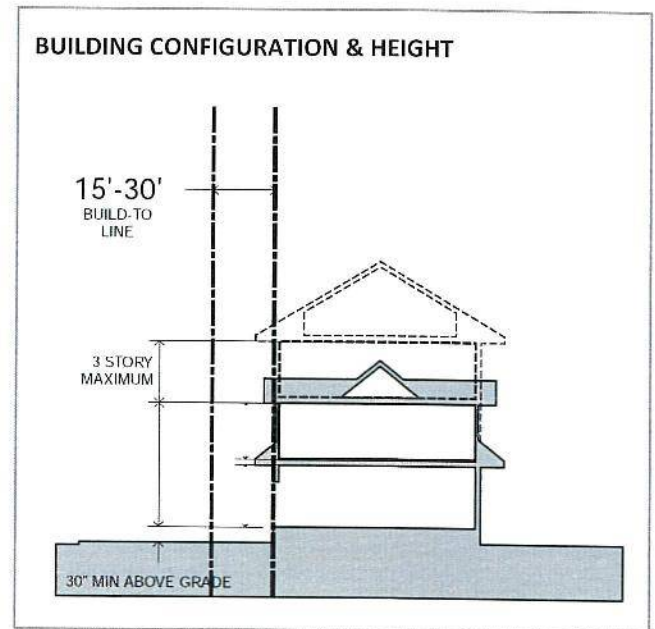
50 ft. min to 90 ft. max for lots between 7,500 sf and 10,890 sf

60 ft. min to 100 ft. max for lots between 10,891 sf and 14,520 sf

70 ft. min to 110 ft. max for lots between 14,521 sf and 21,780 sf

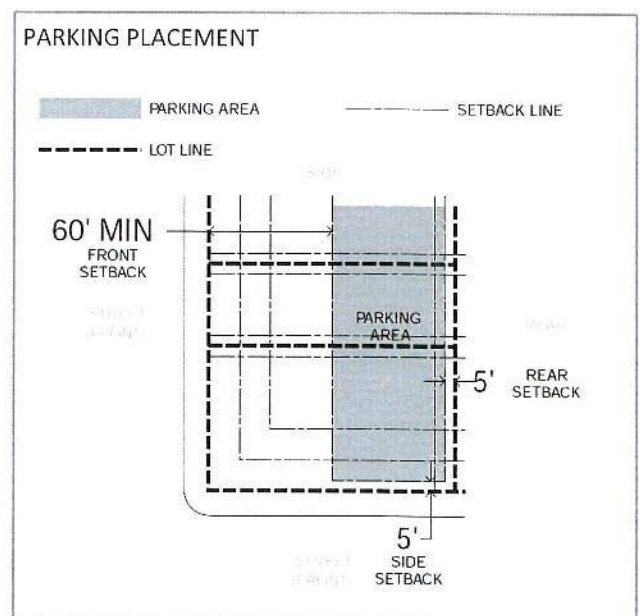
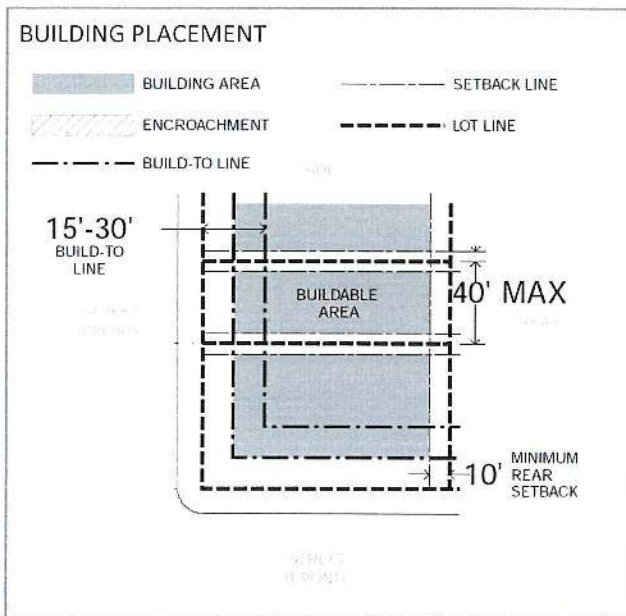
*** Side Yard Setback - Zero (0) feet side yards are permitted for villa/attached structures on one side.

Villa/Attached by Development Districts	
Mixed-Use Commercial	S—SUP needed
Town Center	Y
General Neighborhood	Y
Neighborhood Residential	Y
Rural Residential	N
Y-Allowed/S-Special Use/ N- Not Allowed	



3.1.3M SINGLE FAMILY DETACHED

1. Description: A detached dwelling unit with usable front and rear yards and oriented to the street.
2. Access: The principal entry to each building shall have direct access from a porch, stoop, terrace, or portal which faces the street.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
4. Building Width: Buildings shall not exceed eighty percent (80%) of the width of the lot, nor be less than sixty percent (60%) of the width of the lot.
5. Exposure to Light and Air: Each building shall have all sides exposed to the outdoors.
6. Encroachments³: Not permitted
7. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.8
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5



Development Standards: Single Family Detached		
Lot Size (min/max in sf)		7,500/21,780
Lot Width (min/max in feet)		See information right of table*
Building Width (min/max in feet)		60%/80%
Lot Coverage by Buildings (max)		50%
Yard Requirements	Front ¹ (min/max in ft.)	15/30
	Rear ² (min/max in ft.)	10/40
	Side (min/max in ft.)	5/10
Height, min/max In stories (ft)		1(13.5)/3(37) plus 15 ft. maximum
Encroachments (max in ft)		Not Permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.		

* Lot Width - The minimum and maximum lot width will range dependent on the size of the lot as follows:

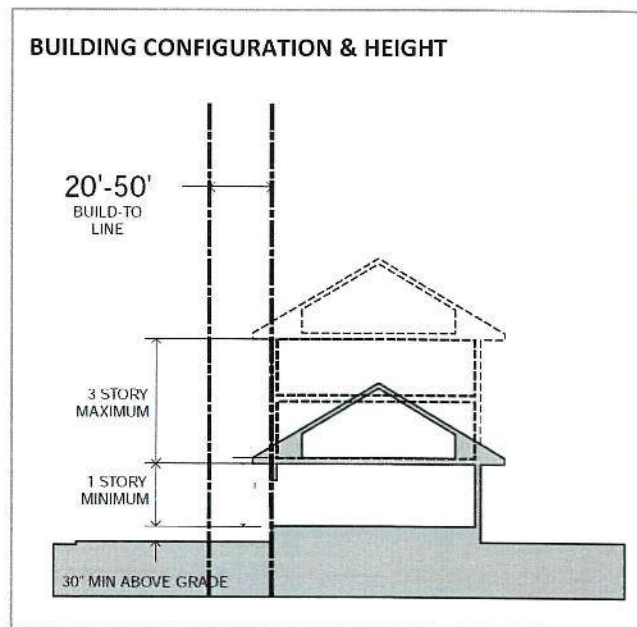
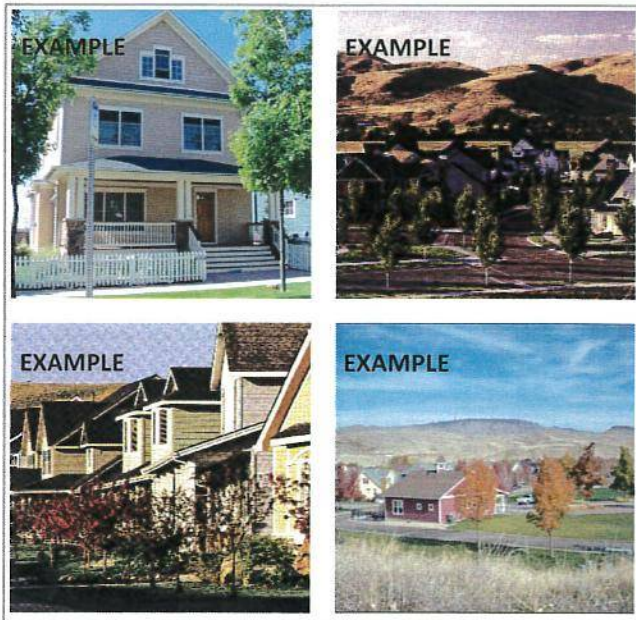
50 ft. min to 90 ft. max for lots between 7,500 sf and 10,890 sf

60 ft. min to 100 ft. max for lots between 10,891 sf and 14,520 sf

70 ft. min to 110 ft. max for lots between 14,521 sf and 21,780 sf

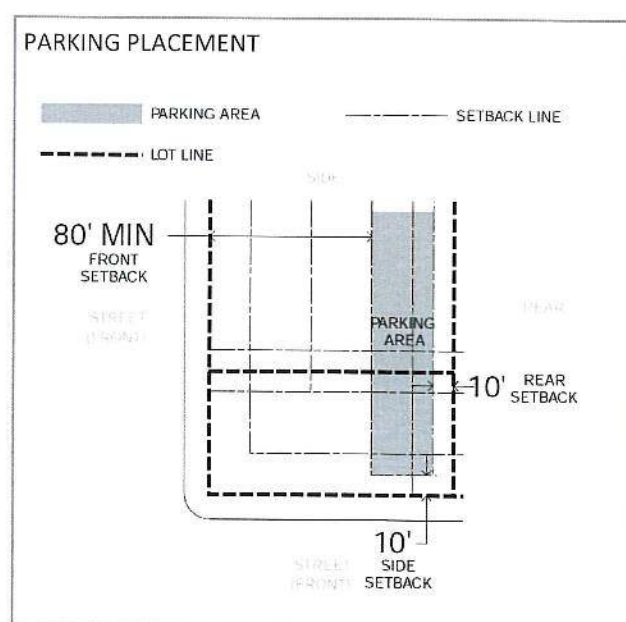
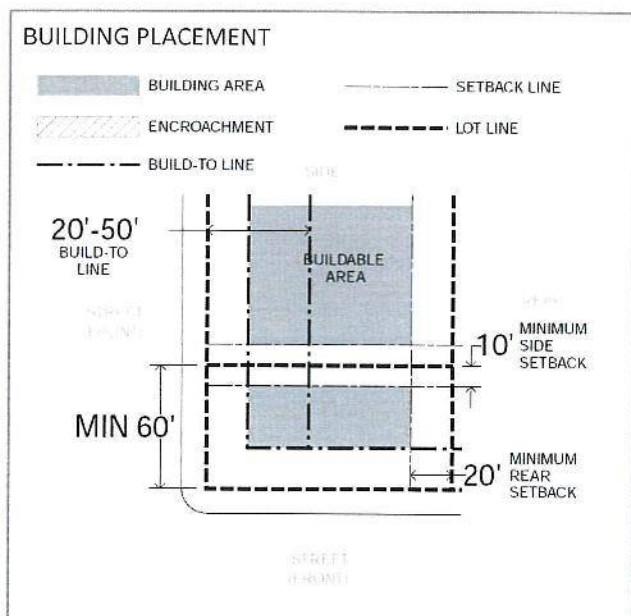
For property within 1,500 ft of the border of the Town Center District (not including properties that are not on the map), the range will be 7,500 sf to 10,890 sf. In addition, lot sizes may be reduced to the building envelope provided the overall density of the development does not exceed 7,500 sf/unit.

Single Family Detached by Development Districts	
Mixed-Use Commercial	N
Town Center	N
General Neighborhood	Y
Neighborhood Residential	Y
Rural Residential	Y
Y-Allowed/S-Special Use/N- Not Allowed	



3.1.3N ESTATE

1. Description: A detached dwelling unit with front, rear, and side yards and oriented to the street on a medium-sized suburban lot of one-third to one (1/3 to 1) acres to accommodate suburban/rural uses such as small horse farms.
2. Access: The principal entry to each building shall have direct access from a porch, stoop, terrace, or portal which faces the street.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
1. Exposure to Light and Air: Each building shall have all sides exposed to the outdoors.
2. Encroachments³: Not permitted
3. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.8
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5

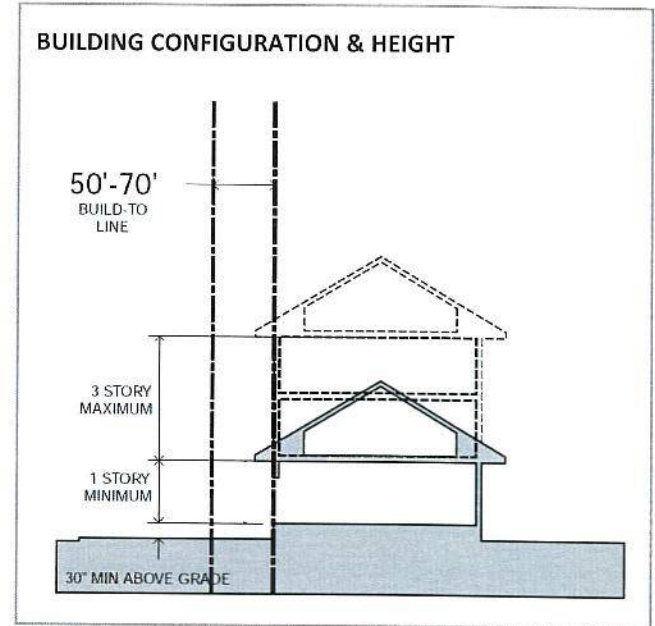
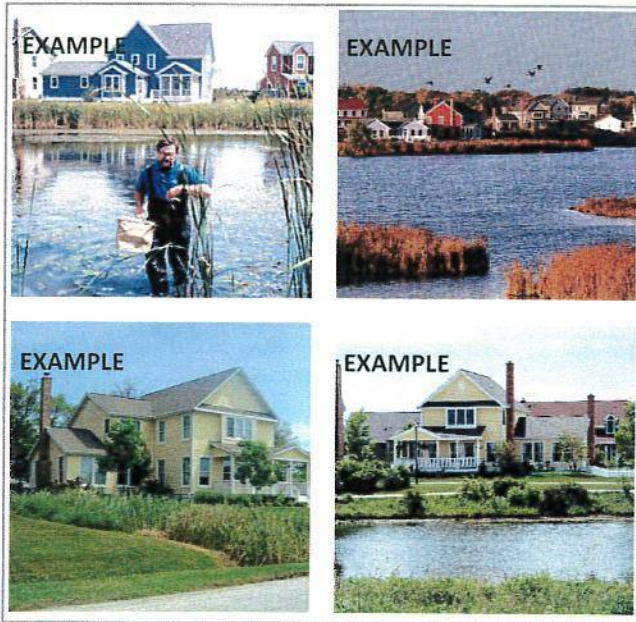


Development Standards: Estate		
Lot Size (min/max in sf)		14,520/43,560
Lot Width (min/max in feet)		60/none
Building Width (min/max in feet)		n/a
Lot Coverage by Buildings (max)		30%
Yard Requirements	Front ¹ (min/max in ft.)	20/50
	Rear ² (min/max in ft.)	20/70
	Side (min/max in ft.)	10/50
Height, min/max In stories ³ (ft)		1(13.5)/3(37) plus 15 ft maximum
Encroachments ⁴ (max in ft)		Not Permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60

¹Corner lots must meet front yard requirements on each frontage

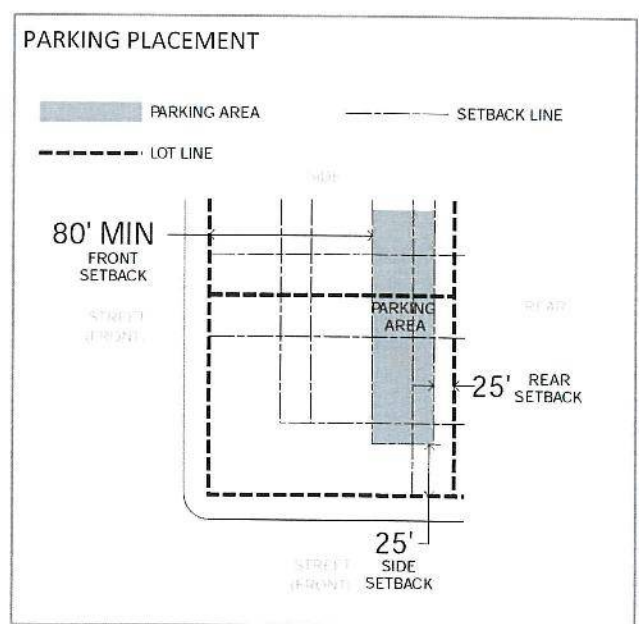
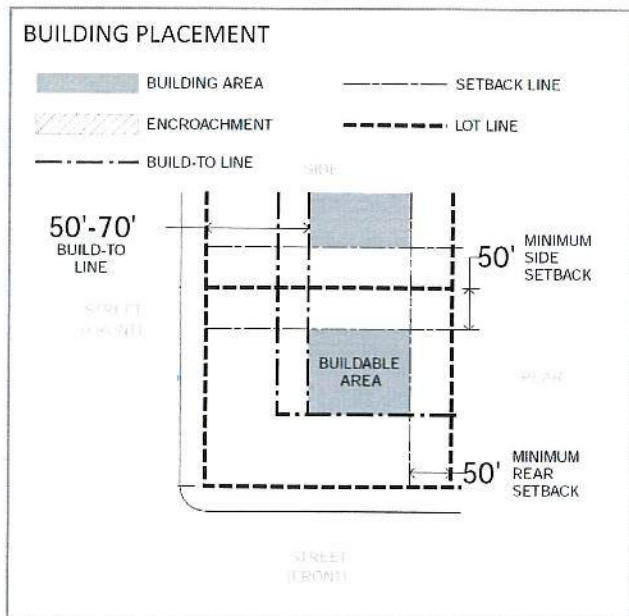
²Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary.

Estate by Development Districts	
Mixed-Use Commercial	N
Town Center	N
General Neighborhood	N
Neighborhood Residential	N
Rural Residential	Y
Y-Allowed/S-Special Use/N—Not Allowed	



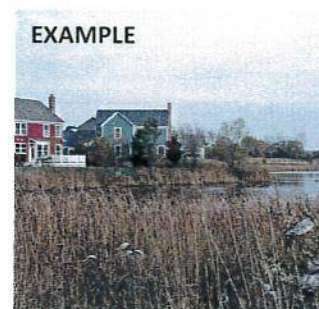
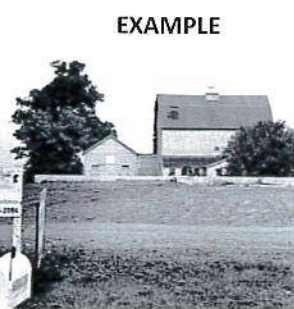
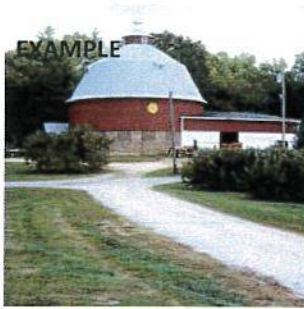
3.1.30 COUNTRYSIDE TRACT

1. Description: A detached dwelling unit with front, rear, and side yards on a medium-to-large sized rural lot of at least one (1.0) acre to accommodate rural uses such as horse farms, private truck farms, or cooperative farms.
2. Access: The principal entry to each building shall have direct access from a porch, stoop, terrace, or portal.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
4. Exposure to Light and Air: Each building shall have all sides exposed to the outdoors.
5. Encroachments³: Not permitted
6. Development Standards:
 - a. Architecture: See Article 3.0 Section 3.4.8
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5

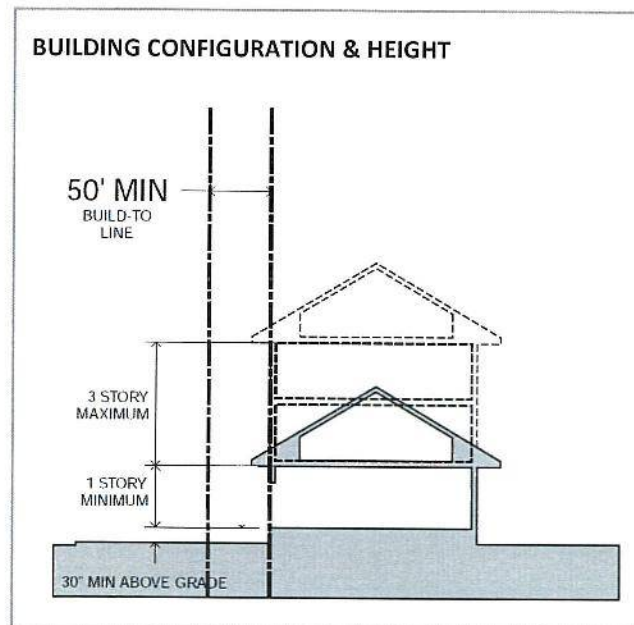


Development Standards: Countryside Tract		
Lot Size (min/max in sf)		43,560/none
Lot Width (min/max in sf)		200/none
Building Width (min/max in sf)		n/a
Lot Coverage by Buildings (max)		15%
Yard Requirements	Front ¹ (min/max in ft.)	50/70
	Rear ² (min/max in ft.)	50/none
	Side (min/max in ft.)	50/none
Height, min/max In stories (ft)		1(13.5)/3(37) plus 15 ft maximum
Encroachments ³ (max in ft)		Not Permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Corner lots have frontage on each abutting street.		

Countryside Tract by Development Districts	
Mixed-Use Commercial	N
Town Center	N
General Neighborhood	N
Neighborhood Residential	N
Rural Residential	Y
Y-Allowed/S-Special Use/N- Not Allowed	

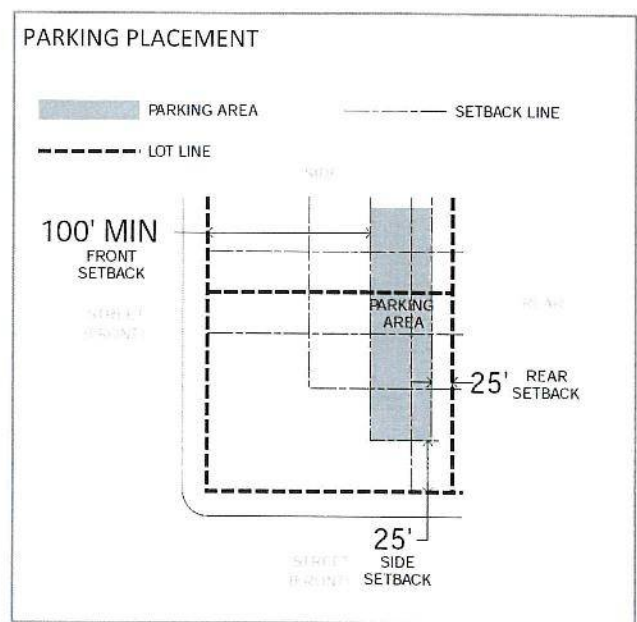
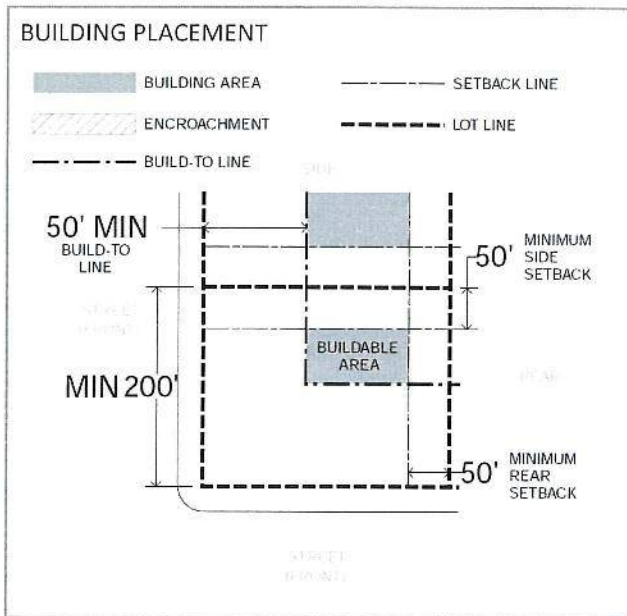


Photos 1-3: Copyright American Planning Association



3.1.3P FARM

1. Description: A detached dwelling unit with front, rear, and side yards on a large-sized rural lot of at least five (5) acres to accommodate rural and agricultural land uses such as livestock farms, private farms, or cooperative farms and their facility, access, and accessory building requirements. Accessory/Ancillary buildings are either behind the dwelling unit or setback at least 50 feet from the front property line.
2. Access: The principal entry to each building shall have direct access from a porch, stoop, terrace, or portal.
3. Parking:
 - a. General: See City of Edwardsville Section 1250.13 - Off-Street Parking and Loading
4. Exposure to Light and Air: Each building shall have all sides exposed to the outdoors.
5. Encroachments³: Not permitted
6. Development Standards:
 - a. Architecture: N/A
 - b. Minimum Dwelling Size: 750 sq. ft.
 - c. Accessory Buildings: Permitted on review of Zoning Administrator; not to exceed lot coverage maximum
 - d. Land Uses: See Article 5



Development Standards: Farm		
Lot Size (min/max in sf)		217,800/none
Lot Width (min/max in sf)		200/none
Building Width (min/max in sf)		n/a
Lot Coverage by Buildings (max)		10%
Yard Requirements	Front ¹ (min/max in ft.)	50/none
	Rear ² (min/max in ft.)	50/none
	Side (min/max in ft.)	50/none
Height, min/max In stories (ft)		1(13.5)/3(37) plus 15 ft maximum
Encroachments ³ (max in ft)		Not Permitted
Minimum Floor-to-Ceiling Height (ground floor/upper floor)		n/a
Finish Ground Floor Above Grade (min/max in inches)		30/60
¹ Corner lots must meet front yard requirements on each frontage. ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and accessory dwellings) must maintain a 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Corner lots have frontage on each abutting street.		

Farm by Development Districts	
Mixed-Use Commercial	N
Town Center	N
General Neighborhood	N
Neighborhood Residential	S
Rural Residential	Y
Y-Allowed/S-Special Use/ N- Not Allowed	

3.1.4 Summary of Development Standards by Lot / Building Types

The following summary and Table 3.1.4A (see Page 47) further illustrates the development standards for the various Lot/Building Types.

- A. Dimensional Requirements for Each Lot/Building Type: Table 3.1.4A provides dimensional requirements that apply to all lots of each designated lot/building type. These requirements supersede any contradictory requirements in other codes. If additional lot types are proposed during the application process, comparable dimensional requirements must also be proposed. Changes may also be proposed to the dimensional requirements in Table 3.1.4A for a designated lot type. Administration of the appropriate jurisdiction will decide to accept, modify, or reject such dimensional requirements during the approval process based on its determination as to the consistency of the dimensions with the planning, design, and compatibility principles set forth in the Regulatory Plan and the Development Districts (in accordance with Article 1.0).
- B. Frontage Percentages: Frontage percentage is the percentage of the width of a lot that is required to be occupied by its building's primary façade. Table 3.1.4A provides minimum and maximum frontage percentages for each lot type. In the Mixed-Use Commercial District, the Town Center District and the General Neighborhood District up to fifty percent (50%) of the width of the primary façade may be counted as meeting the frontage percentage requirement even though it may be set back up to ten feet (10') further from the street than the primary façade's principal plane providing that the said ten feet (10') is dedicated to outdoor public/private space and open to the sidewalk for uses such as outdoor dining. The location of the primary façade's principal plane is not changed by façade extensions – frontages – such as bay windows, awnings, porches, balconies, stoops, colonnades, or arcades, or by upper floor that are closer to or further from the street. The width of a porte-cochere may be counted as part of the primary façade.
- C. Build-to Lines and Setback Lines Standards for All Lot/Building Types:
 - 1. Build-to and Setback Lines Distinguished:
 - a. A build-to line identifies the precise horizontal distance (or range of distances) from a street that the front of all primary structures must be built to, in order to create a fairly uniform line of buildings along streets. Lot/Building Types specify build-to lines for street frontages.
 - b. A setback line identifies the minimum horizontal distance between a property line and the nearest point of all structures, in order to ensure a minimum area without buildings. Lot/Building Types specify setback lines for side and rear property lines.
 - 2. General Requirements for Build-to Lines:
 - a. Build-to lines are illustrated conceptually on the Building Placement diagrams with each of the Lot/Building Types.
 - b. Where a build-to line is specified as a range (for instance, five to ten feet [5' to 10']), this means that building fronts must fall within that range of distances from the front property line. Where there is a range, the front façade does not have to be parallel to the street or in a single plane, as long as the front façade remains within the range.
 - c. At least seventy five percent (75%) of the building frontage is required to align with the build-to line. The remaining twenty five percent (25%) may be recessed up to ten feet (10') behind the build-to line, for instance to provide recessed pedestrian entrances or simply for architectural diversity.
 - d. Build-to lines are subject to adjustment to maintain visibility for vehicles exiting onto primary streets.
 - i. Required visibility triangles must be maintained on both sides of intersecting streets and exiting driveways or to provide equivalent visibility.

- ii. Within these visibility triangles, no buildings, shrubs, or low-hanging tree limbs may obstruct visibility between the height of two feet and six feet (2' and 6') above ground. However, visibility triangles are not required at intersections with roundabouts or all-way stop signs.
- e. Upper floors are encouraged to remain in the same vertical plane as the first floor. Awnings, canopies, balconies, bay windows, porches, stoops, arcades, and colonnades are allowed on building exteriors provided that they comply with the frontage standards.
- f. Build-to line requirements shall take precedence over any buffer or setback requirements imposed by other portions of this code.

3. General Requirements for Setback Lines:

Minimum setbacks from property lines are defined for each zoning district.

- D. Building Height: Table 3.1.4B (Page 48) shows building heights in the format of Lot Types by Development District with the height minimum (stories / feet) and maximum (stories / feet) inclusive of required finish ground floor heights (30"), and plus additional height for allowable parapets.
- E. Wide Buildings: The Lot/Building Types allows a variety of buildings to be as wide and deep as the entire block face. When one of these wide buildings is placed directly across a street from significantly narrower lots, the principal façade of buildings on these lots must be varied with a change of architectural expression that reflects the widths of the narrower lots. These changes in expression may be a vertical element running from sidewalk to roof, a change in fenestration or style, color, or texture, or a break in façade plane or roof line. These changes may be subtle or significant, but must soften the visual effect of very wide buildings directly across the street from narrower buildings.
- F. Story Heights: The ground story of Commercial and Mixed-Use Buildings must be from twelve feet (12') minimum to eighteen feet (18') maximum tall. Each story above the ground story in commercial buildings must be from ten feet (10') minimum to fifteen feet (15') maximum tall. Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.
- G. Accessory Buildings: Each of the following Lot/Building Types are permitted accessory buildings per Table 3.1.5: Institutional; Civic; Mixed-Use Building; Apartment/Condominium; Townhouse; Villa/Attached; Single Family Detached; Estate; Countryside Tract; and Farms. Accessory buildings to serve the Small Box Retail/Drive Through building type are subject to review by the Zoning Administrator to confirm compliance with Section 3.4.5.2. Accessory buildings for Small Lot Retail / Drive Through building/lot types shall not cumulatively exceed the size of the principal building.

One accessory dwelling unit per principal building may be allowed following the approval of a SUP for the Farm Building/Lot types. Accessory dwelling units may not exceed the size limitations in Table 3.1.4A and must maintain the same side yards as required for the principal building.
- H. Primary Entrance / Access: The primary entrance of every building must directly face a street or a civic space, except as noted in Section 3.4.6.

Table 3.1.4A Development Standards by Lot/Building Type

Lot Types	Lot Size (max/min in sq. ft.)	Lot Width (min/max in ft.)	Building Width (min/max)	Lot Coverage by buildings	Yard Requirements			Encroachments ³ (max in ft.)	Floor to Ceiling Height (Ground Floor/Upper Floor)	Finish Ground Floor Above Grade (min/ max in inches)	Accessory Buildings (max in sq. ft.)
					Front ¹ (min/ max)	Rear ² (min/ max)	Side (min/ max)				
Commercial, Primary	10,000/none	100/300	80%/100%	40%	0/5	0/25	0/0	12	12/10	0/0	Zoning Admin. Review
Commercial, Urban	10,000/none	24/100	80%/100%	80%	0/5	0/15	0/0	12	12/10	0/0	Zoning Admin. Review
Parking Garage Building	10,000/none	100/300	80%/100%	80%	0/5	0/15	0/0	12	12/10	0/0	Zoning Admin. Review
Office Building	10,000/none	100/300	80/100	60%	10/50	0/0 ⁸	0/0 ⁸	14	12/10	0/0	Zoning Admin. Review
Small Box Retail/ Drive- Through	1.50 acres max lot size, 10,000 g.f.a max building size	50/100	n/a	60%	0/5	25/50	15/25	Not Permitted	n/a	0/0	Zoning Admin. Review
Institutional	Varies by District	50/none	n/a	80%	n/a	15/none	n/a	12	n/a	0/0	1,250
Civic	Varies by District	100/none	n/a	50%	20/50	25/none	25/none	12	12/10	30/60	1,250
Mixed-Use Building	2,400/none	24/none	80%/100%	90%	0/5	0/15	0/0	12	12/9	0/0	Zoning Admin. Review
Apartment/ Condominium	4,800/18,000	48/120	70%/90%	80%	5/10	15/30	0/0	5	10/9	30/60	Zoning Admin. Review
Townhouse	1,800/4,000	16/32	80%/100%	80%	5/10	15/30	0/0	5	n/a	30/60	625
Villa/Attached	7,500/21,780	50/110 ⁴	70%/90%	60%	10/20	10/40	5/10 ⁶	Not Permitted	n/a	30/60	800
Single Family Detached	7,500/21,780	50/110 ⁵	60%/80%	50%	15/30	10/40	5/10 ⁶	Not Permitted	n/a	30/60	1,250
Estate	14,520/43,560	60/none	n/a	30%	20/50	20/70	10/50	Not Permitted	n/a	30/60	2,500
Countryside Tract	43,560/none	200/none	n/a	15%	50/70	50/none	50/none	Not Permitted	n/a	30/60	No Maximum ⁷
Farm	217,800/ none	200/none	n/a	10%	50/none	50/none	50/none	Not Permitted	n/a	30/60	No Maximum ⁷
Notes:	¹ Corner lots must meet front yard requirements of the applicable jurisdiction ² Minimum rear yards apply to principal buildings. Buildings for all accessory uses (including garages and ancillary dwellings must maintain 5' minimum rear yard, except where the rear yard is an alley where no separation is necessary. ³ Encroachments permitted on building frontage only except Countryside Tract and Farm Lot Types; Corner lots have frontage on each abutting street. ⁴ See section 3.1.3L Villa/Attached development standards for details on lot width requirements. ⁵ See section 3.1.3M Single Family Detached development standards for details on lot width requirements. ⁶ Side Yard Setback - Zero (0) feet side yards are permitted for attached structures. ⁷ No maximum except as limited by "Maximum Lot Coverage" requirements. ⁸ 25 feet maximum allow for Office Building type in Town Center. All other districts, setback maximum is zero (0).										

Table 3.1.4B Building Height by Development District

Lot Types	Development Districts Height, min/max in stories (ft.)				
	Mixed-Use Commercial	Town Center	General Neighborhood	Neighborhood Residential	Rural Residential
Commercial, Primary ²	2 (24)/ See Note 1 for Max height	2 (24)/ 4 (46) plus 3 ft.	-	-	-
Commercial, Urban ²	2 (24)/ See Note 1 for Max height	2 (24)/ 4 (46) plus 3 ft.	2 (24)/ 4 (46) plus 3 ft.	-	-
Parking Garage Building ²	2 (24)/ See Note 1 for Max height	2 (24)/ 4 (46) plus 3 ft.	2 (24)/ 4 (46) plus 3 ft.	-	-
Office Building ²	2 (24)/ See Note 1 for Max height	2 (24)/ 4 (46) plus 3 ft.	2 (24)/ 4 (46) plus 3 ft.	-	-
Small Box Retail/Drive-Through	1 (12) / See Note 1 for Maxheight	-	-	-	-
Institutional	2 (24)/ See Note 1 for Max height	2 (24)/4 (46) plus 3 ft.	2 (24)/ 4 (46) plus 3 ft.	2 (24)/3 (35) plus 3 ft.	2 (24)/3 (35) plus 3 ft.
Civic	1 (26.5)/See Note 1 for Max height	2 (26.5)/4 (51) plus 3 ft.	2 (26.5)/4 (51) plus 3 ft.	2 (26.5)/4 (51) plus 3 ft.	2 (26.5)/4 (51) plus 3 ft.
Mixed-Use Building	2 (24)/ See Note 1 for Max height	2 (23)/4 (43) plus 2 ft.	2 (23)/4 (43) plus 2 ft.	2 (23)/3 (33) plus 2 ft.	2 (23)/3 (33) plus 2 ft.
Apartment/Condominium	2 (24)/ See Note 1 for Max height	2 (23.5)/4 (46) plus 2 ft.	2 (23.5)/4 (46) plus 2 ft.	2 (23.5)/3 (37) plus 2 ft.	-
Townhouse	2 (24)/ See Note 1 for Max height	2 (23.5)/3 (37) plus 15 ft. max	2 (23.5)/3 (37) plus 15 ft. max	2 (23.5)/3 (37) plus 15 ft. max	-
Villa/Attached	2 (24)/ See Note 1 for Max height	1 (13.5)/3 (37) plus 15 ft. max	1 (13.5)/3 (37) plus 15 ft. max	1 (13.5)/3 (37) plus 15 ft. max	-
Single Family Detached	-	-	1 (13.5)/3 (37) plus 15 ft. max	1 (13.5)/3 (37) plus 15 ft. max	1 (13.5)/3 (37) plus 15 ft. max
Estate	-	-	-	-	1 (13.5)/3 (37) plus 15 ft. max
Countryside Tract	-	-	-	-	1 (13.5)/3 (37) plus 15 ft. max
Farm	-	-	-	1 (13.5)/3 (37) plus 15 ft. max	1 (13.5)/3 (37) plus 15 ft. max
Notes	1- No height maximum in Mixed Use Commercial EXCEPT building heights within 100 feet of the Neighborhood Residential district, the Rural Residential District and residentially zoned areas outside the Plan area shall be a maximum of two (2) stories. Note: The "Agriculture" zoning district in Madison County is not considered "residential" zoning.				

3.1.5 Summary of Land Uses By Lot/Building Types

The following summarizes and further illustrates the permitted and conditional uses for the various Lot/Building Types.

- A. Permitted Uses: Table 3.1.5 identifies the permitted, conditional and not-permitted uses for each Lot/Building Type.
- B. Accessory Uses: Accessory uses and structures not listed in Table 3.1.5 are regulated in the same manner as the Lot/Building Type would otherwise provide for each permitted use.
- C. Permitted Uses For Additional Lot Types: If additional lot types are proposed during the application process, comparable assignments of land uses must also be proposed. Administration of the appropriate jurisdiction will decide to accept, modify, or reject such assignments during the approval process based on its determination as to their consistency with the planning, design, and compatibility principles set forth in the Regulatory Plan and the Development Districts (in accordance with Article 1.0).

Table 3.1.5 Use Categories by Lot/Building Type

Y= Allowed S= Special Use Z=Zoning Administrator																
Lot Type	Commercial, General	Commercial, Neighborhood	Commercial, Retail	Institutional	Religious Facilities	Ancillary Drive Throughs ¹	Civic	Multi-family (5+)	Villa/Attached	Single Family, Attached	Single Family, Detached	Estate Home	Countryside Use	Accessory or Ancillary, Residential ²	Accessory or Ancillary, General	Agriculture (in unincorp. Madison County only)
Commercial, Primary	Y	-	Y	-	S	Z	-	-	-	-	-	-	-	-	-	-
Commercial, Urban	Y	Y	Y	-	S	Z	-	S	-	-	-	-	-	-	-	-
Parking Garage Building	Y	S	Y	S	-	Z	S	Y ³	-	-	-	-	-	-	-	-
Office Building	Y	-	-	Y	-	Z	Y	-	-	-	-	-	-	-	-	-
Small Box Retail/ Drive-Through ⁴	MC only	MC only	MC only	MC only	-	MC only	-	-	-	-	-	-	-	-	Yes except drive throughs (See footnotes 1 and 4 below)	-
Institutional	Y	-	S	Y	Y	Z	-	-	-	-	-	-	-	-	Y	-
Civic	Y	-	S	-	Y	Z	Y	-	-	-	-	-	-	-	Y	-
Mixed-Use Building	Y	Y	Y	Y	-	Z	Y	Y	-	-	-	-	-	-	Y	-
Apartment/Condominium	S	Y	S	S	-	-	-	Y	-	Y	-	-	-	-	Y	-
Townhouse	-	S	-	-	-	-	-	-	-	Y	-	-	-	-	Y	-
Villa/Attached	-	S	-	-	-	-	-	-	Y	Y	-	-	-	-	Y	-
Single Family Detached	-	S	-	-	-	-	-	-	-	-	Y	-	-	-	Y	-
Estate	-	-	-	-	-	-	-	-	-	-	Y	Y	Y	-	Y	Y
Countryside Tract	-	-	-	-	-	-	-	-	-	-	Y	Y	Y	-	Y	Y
Farm	-	-	-	-	-	-	-	-	-	-	Y	Y	Y	S	Y	Y

¹ Drive through facilities/lanes are allowed in the Town Center and Mixed Use Commercial District after review by the Zoning Administrator if the drive through is ancillary to/attached to one of the allowed commercial building types for these districts. See 3.2.4 M.

² Special Use Permits required for "Accessory Dwelling Units" for Farms. See 3.1.4H for details.

³ Parking garage for +5 Dwelling Unit Multi-Family building only.

⁴ The "Small Box Retail/Drive Through" building/lot type is only allowed in the Mixed Use (MC) Commercial District. See 3.1.3E Small Box Retail/Drive Through and 3.4.5.2 Architectural Standards.

3.2.1 Purpose

The traditional communities of Madison County, City of Edwardsville and Village of Glen Carbon are known for the pedestrian-friendly character of its public realm and the human scale of its buildings. The vast majority of streets have sidewalks shaded by trees and are lined with buildings that are accessed directly from the street and engage it fully. The best way to build upon this history of the people-oriented environment is to continue to provide access to buildings and courtyards directly from the street through appropriate frontages and prominent entries.

Frontage types are architectural elements that are attached to or subtracted from a building volume and provide a transition between the outside and the inside of a building. Frontage types, when continuously arrayed, will provide this area a continuity of fabric that gives distinctive character to the street, while also contributing to the specific form of each building. They are the means of access into buildings and consequently visually reinforce their human scale. Frontage types can also add variety to both the massing of individual buildings and to that of the street as a whole. In addition, frontage types such as covered porches and stoops, arcades, and galleries are well suited to the area's climate. They provide cover on rainy days and shade on hot summer days.

This Section identifies the frontage types allowed within the Development Districts, and provides design standards for each type, to ensure that proposed development relates to its street frontage as necessary to form the public realm of the street, and to address user comfort such as providing protection from the sun and rain for those entering or passing by, and otherwise provide additional floor space for the building.

3.2.2 Applicability

Each proposed building shall be designed to incorporate a frontage type designed in compliance with the standards of this Section for the applicable type, except for public and institutional buildings, which because of their unique disposition and application are not required to comply with frontage type requirements. Frontage types are required for all buildings within each Lot/Building Type as shown in Table 3.2.2

Additionally, frontage types are in all cases required to meet any state or local regulations in effect regarding accessibility and equality, such as the Americans with Disabilities Act of 1990.

Table 3.2.2 Frontage Types by Lot/Building Type

Frontage Type	Commercial, Primary	Commercial, Urban	Parking Garage Building	Office Building	Small Box Retail /Drive-Through	Institutional	Civic	Mixed-Use Building	Apartment/Condominium	Townhouse
Common Yard										•
Porch					•	•	•		•	•
Stoop					•	•	•		•	•
Forecourt						•	•		•	
Awnings & Canopies	•	•	•	•	•	•	•	•		
Balconies	•	•	•	•		•	•	•	•	•
Colonnades	•	•	•	•		•	•	•		
Arcades	•	•	•	•		•	•	•		
Terrace & Lightcourt									•	•
Bay Windows	•	•	•	•	•	•	•	•	•	•
Storefront	•	•	•	•	•	•	•	•		
Café	•	•	•	•	•		•	•		
Drive Throughs Attached to Commercial Buildings	•	•	•	•				•		

3.2.3 Frontage Type Descriptions

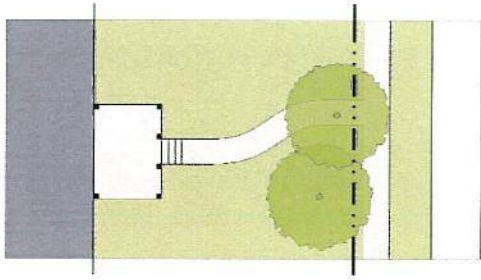
The twelve (12) Frontage Types are described hereunder:

- A. Common Yard: A planted frontage wherein the façade of the building is set back substantially from the front property line. The resulting front yard can be defined or undefined but typically, remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.
- B. Porch: Front yard porches are a common frontage primarily associated with single family houses, but used with other building types depending on the context. The porch can encroach forward of the build-to line but shall not extend into the right-of-way. Front porches must be open, non-air conditioned parts of the buildings with no screens. The porch can be one (1) story only.
- C. Stoop: A Frontage wherein the façade of the building is close to the front property line and the ground story is elevated from the sidewalk, securing privacy for the windows and front rooms. The entrance is usually an exterior stair and landing and it engages the sidewalk. Stoops may occur forward of the build-to line. Stoops are suitable for ground-floor residential uses with short setbacks and must correspond directly to building entries.

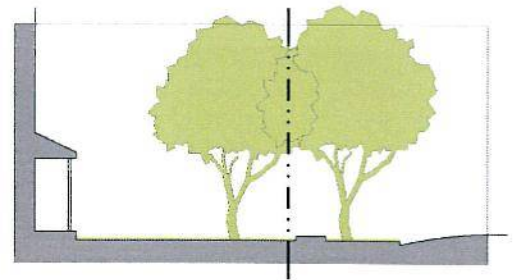
- D. Forecourt: The main façade of the building is at or near the frontage line and a small percentage of it is set back, creating a small court. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial zones. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage should not be repeated within a block.
- E. Awnings & Canopies: The main façade of the commercial or retail building is at or near the frontage line and the canopy or awning element may overlap the sidewalk and occur at the ground story level only. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The coverings should extend far enough from the building to provide adequate protection for pedestrians.
- F. Balconies: Balconies shall occur forward of the build-to-line and may encroach within the right-of-way, but shall not extend past the curb line (while leaving adequate clearance for a standard truck height). Balconies may have roofs, but must be open, non-air conditioned parts of the buildings. On corners, balconies may wrap around the side of the building facing the side streets.
- G. Colonnades: The main façade of the retail building is at the frontage line and the colonnade element overlaps the sidewalk and encroaches into the public right of way (while leaving adequate clearance for a standard truck height). The entry should be at the same grade as the sidewalk. This type can be one or two (1 or 2) stories. This frontage type is ideal for retail use but only when the sidewalk is fully absorbed within the colonnade so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement shall be required.
- H. Arcades: Arcades are façades with an attached colonnade that is covered by upper floors which are habitable space. This type is suitable for retail use, but only when the sidewalk is fully absorbed within the arcade. Due to the overlap of the right-of-way, an easement shall be required.
- I. Terrace & Light Court: A frontage wherein a portion of the façade is set back from the property line by an elevated terrace or sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafés as the eye of the sitter is level with that of the standing passerby.
- J. Bay Windows: A frontage type wherein bay windows are permitted and may occur forward of the build-to line. Bay windows projecting from the second floor or higher may encroach within the right-of-way.
- K. Storefront: A storefront frontage is at or close to the edge of the pedestrian zone, with the entrance at sidewalk grade. An overhang, canopy, shading element, or awning that encroaches over the sidewalk is required.
- L. Café: A café frontage is used with a store front and accommodates outdoor seating for restaurants and cafés.
- M. Drive Throughs Attached to Commercial Buildings: Drive Throughs attached to commercial buildings comprised of 10,000 square feet or greater in gross floor area can present access and interior site design challenges for automobiles, can impact the off-site functionality of public streets and private drive aisles, and may pose safety concerns for pedestrians. They are therefore required to comply with Section 3.2.4 M.

3.2.4 Frontage Types and Standards

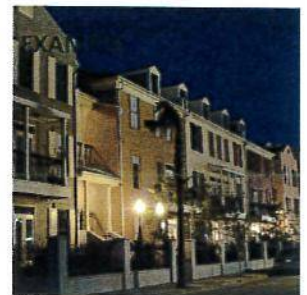
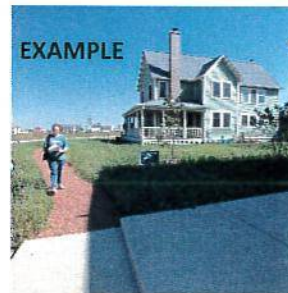
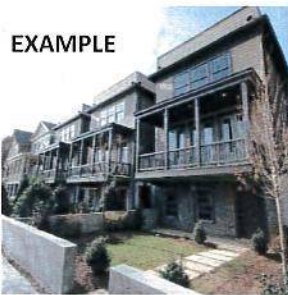
The character and arrangement of the private frontage is regulated by the Frontage Type Standards herein, which shall be applied to each Lot/Building Type to create a particular and appropriate transitional relationship between the private and public realm. This relationship between the private and public realm is what collectively defines the nature of the streetscape. Frontage types represent a range of extensions of the basic façade of the building and a lot may be developed only with a building having a frontage type as permitted in Lot/Building Types shown on the Table 3.2.2. While these standards provide a range of frontage types permitted within each Lot/Building Type, the actual choice and review of a type shall be dictated by individual building designs and, ultimately, in accordance with Article 1.0 of this Code. The inclusion of at least one (1) frontage type is required on each principal façade of all commercial buildings. The following is the range of permitted frontage types and character examples are provided for each for illustrative purposes only.



PLAN DIAGRAM



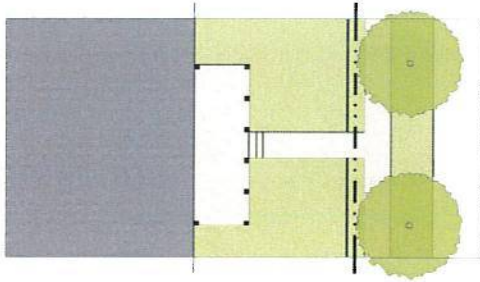
CROSS-SECTION DIAGRAM



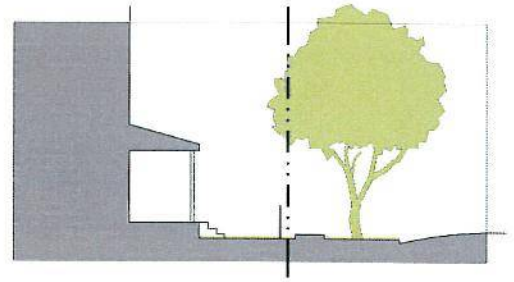
3.2.4.A COMMON YARD

1. Description: A planted Frontage wherein the façade of the building is set back substantially from the front property line. The resulting front yard can be defined or undefined, but typically remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The front yard may also be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.
2. Conditions: Fences or walls defining and/or retaining the front yard, including knee walls or short fences, may not exceed four feet (4') in height from the adjacent sidewalk. If lots are higher than four feet (4') above the sidewalk then they should be sloped, terraced or stepped back from the sidewalk.
3. Encroachments: Not permitted
4. Frontages Permitted by Lot/Building Types:

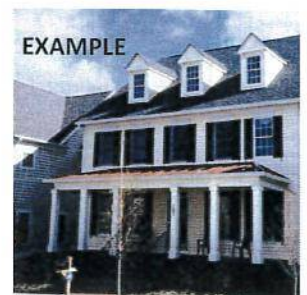
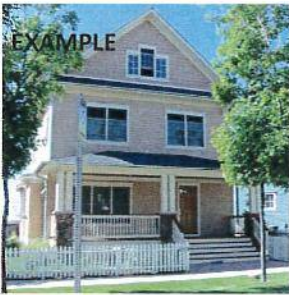
- a. Townhouse



PLAN DIAGRAM

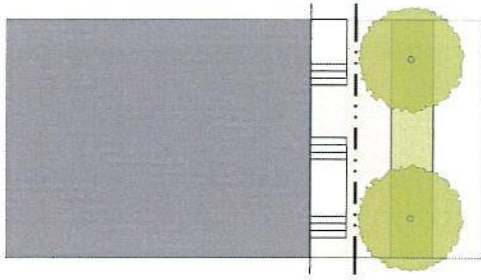


CROSS-SECTION DIAGRAM

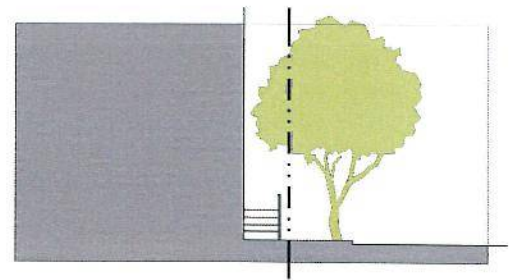


3.2.4.B PORCH

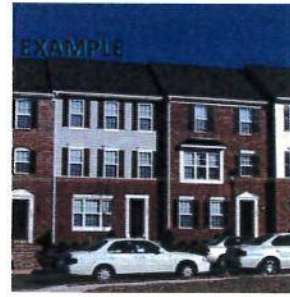
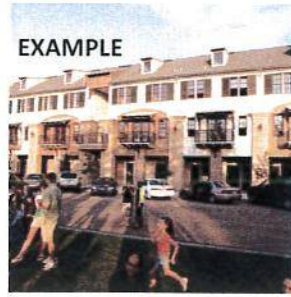
1. Description: Front yard porches are a common frontage primarily associated with single family houses, but used with other building types depending on the context. The porch can encroach forward of the build-to line but shall not extend into the right-of-way. Front porches must be open, non-air conditioned parts of the buildings with no screens. The porch can be one (1) story only.
2. Conditions: The porch must be a minimum of ten feet (10') tall, measured from the finished. The length of the porch can vary from a minimum of twenty five percent (25%) of the building to a maximum of one hundred percent (100%). A minimum clear depth of six feet (6') or maximum of twelve feet (12') on primary streets and ten feet (10') on side streets is required within the development standards to ensure usability. Porches must be raised to transition into the building and be of a similar height of the interior floor level. In no cases may the porches be raised more than five feet (5') from the adjacent grade.
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Small Box Retail, Drive-Through
 - b. Institutional
 - c. Civic
 - d. Apartment/Condominium
 - e. Townhouse



PLAN DIAGRAM

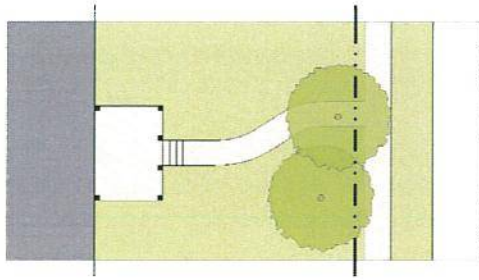


CROSS-SECTION DIAGRAM

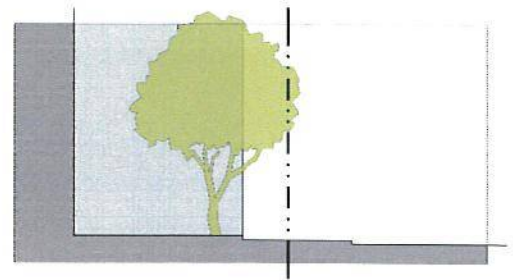


3.2.4.C STOOP

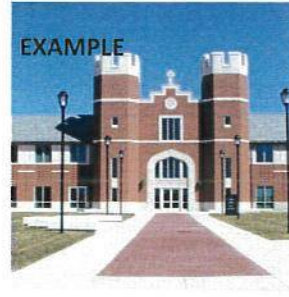
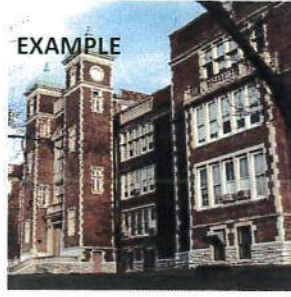
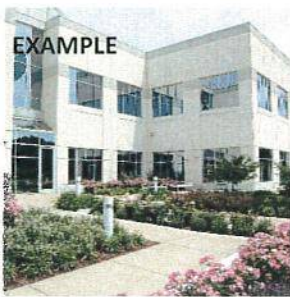
1. Description: A Frontage wherein the façade of the building is close to the front property line and the ground story is elevated from the sidewalk, securing privacy for the windows and front rooms. The entrance is usually an exterior stair and landing and it engages the sidewalk. Stoops may occur forward of the build-to line. Stoops are suitable for ground-floor residential uses with short setbacks and must correspond directly to building entries.
2. Conditions: The stoop should be elevated a minimum of three feet (3') above the sidewalk to ensure privacy within the building. The stairs from the stoop may lead directly to the sidewalk or may be side loaded. A roof may also cover the stoop. Stoops should have a six foot (6') minimum depth and five foot (5') minimum length. Stoops may be at grade or raised to transition into the building. In no case may the ground story be elevated more than three feet (3') above the adjacent sidewalk. Fences or walls defining the stoop or front setback may not exceed thirty inches (30") from the highest adjacent finished grade.
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Small Box Retail, Drive-Through
 - b. Institutional
 - c. Civic
 - d. Apartment/Condominium
 - e. Townhouse



PLAN DIAGRAM

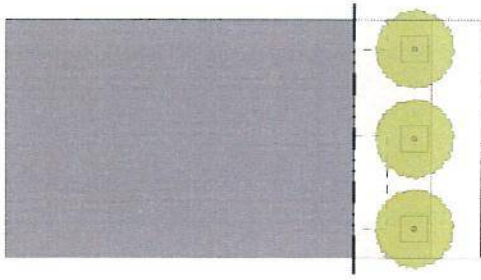


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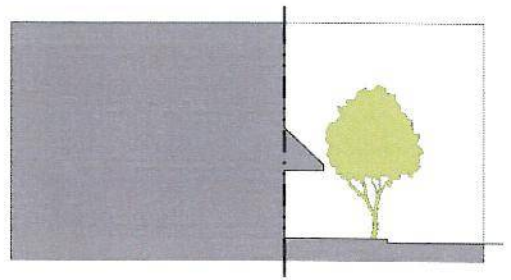


3.2.4.D FORECOURT

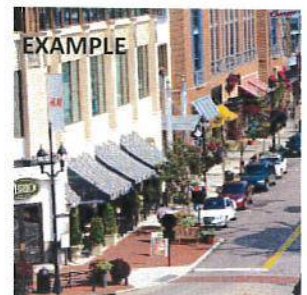
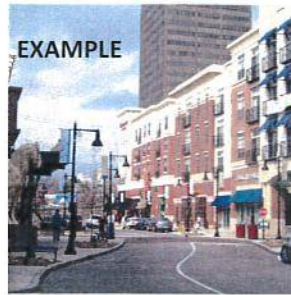
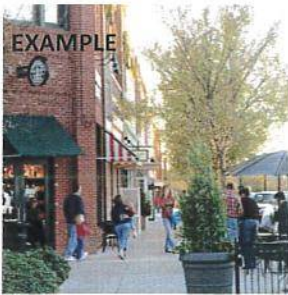
1. Description: The main façade of the building is at or near the frontage line and a small percentage of it is set back, creating a small court. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial zones. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage should not be repeated within a block.
2. Conditions: A forecourt is not covered, and must be at least ten feet by ten feet (10' by 10') and a maximum of ten feet by thirty feet (10' by 30') and in no case greater than fifty percent (50%) of lot width. Forecourts between ten and fifteen feet (10' by 15') in depth shall be substantially paved, and enhanced with landscaping. Forecourts between fifteen and thirty feet (15' and 30') in depth shall be designed with a balance of paving and landscaping.
3. Encroachments: Not permitted
4. Frontages Permitted by Lot/Building Types:
 - a. Institutional
 - b. Civic
 - c. Apartment/Condominium



PLAN DIAGRAM

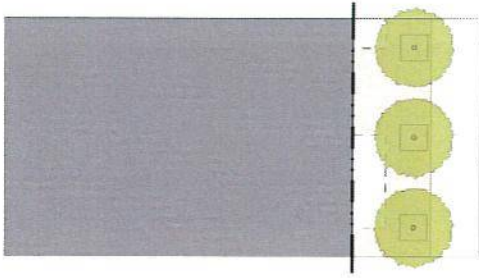


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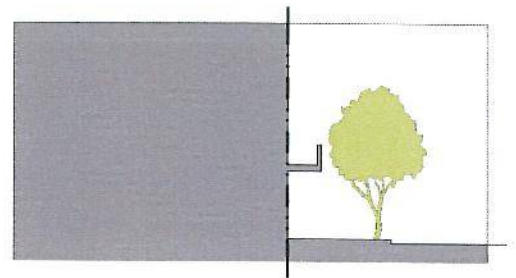


3.2.4.E AWNINGS & CANOPIES

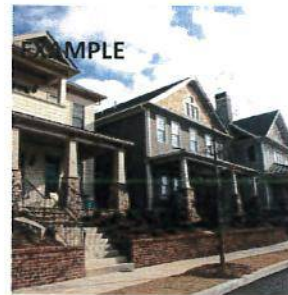
1. Description: The main façade of the commercial or retail building is at or near the frontage line and the canopy or awning element may overlap the sidewalk and occur at the ground floor level only. The canopy is a structural, cantilevered, shed roof and the awning is canvas or similar material and is often retractable. The coverings should extend far enough from the building to provide adequate protection for pedestrians.
2. Conditions: Awnings and canopies must be located a minimum of eight feet (8') above the adjacent sidewalk. Awnings may only cover openings so as to not cover the entire facade. This type is appropriate for retail and commercial uses only because of the lack of a raised ground story.
3. Encroachments: Permitted. Fixed awnings may extend a maximum of four feet (4') over the public right-of-way but may not extend past the curb. Movable awnings may extend the full depth of the permitted encroachment (while leaving clearance for a standard truck height). See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Commercial, Primary
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Small Box Retail, Drive Through
 - f. Institutional
 - g. Civic
 - h. Mixed-Use Building



PLAN DIAGRAM

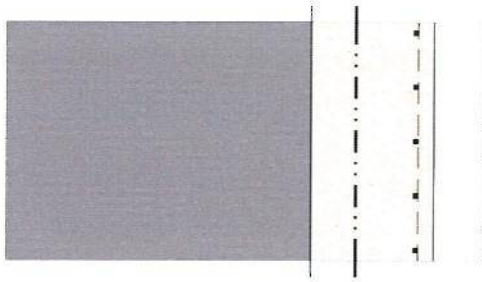


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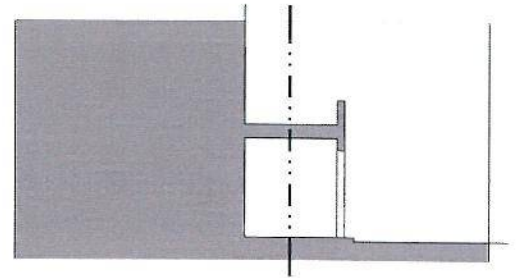


3.2.4.F BALCONIES

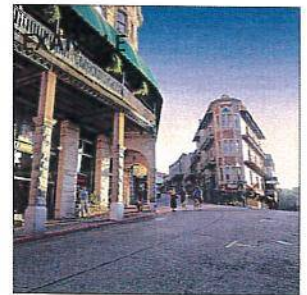
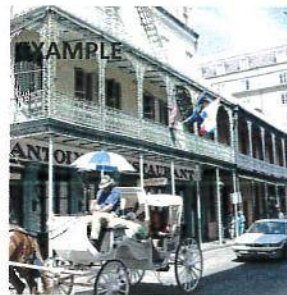
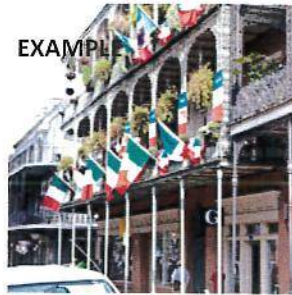
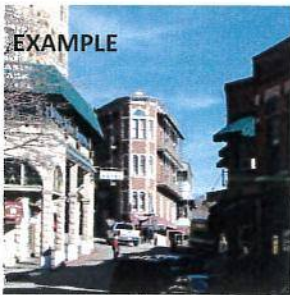
1. Description: Balconies shall occur forward of the build-to-line and may encroach within the right-of-way, but shall not extend past the curb line. Balconies may have roofs, but must be open, non-air conditioned parts of the buildings. On corners, balconies may wrap around the side of the building facing the side streets.
2. Conditions: Balconies should have a maximum depth of six feet (6') for the second floor balconies and a minimum of ten feet (10') clear height with a maximum coverage of twenty five percent (25%) to seventy five percent (75%) of the building façade.
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted Lot/Building Types:
 - a. Commercial, Primary
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Institutional
 - f. Civic
 - g. Mixed-Use Building
 - h. Apartment/Condominium
 - j. Townhouse



PLAN DIAGRAM

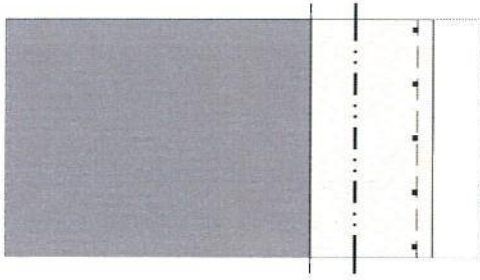


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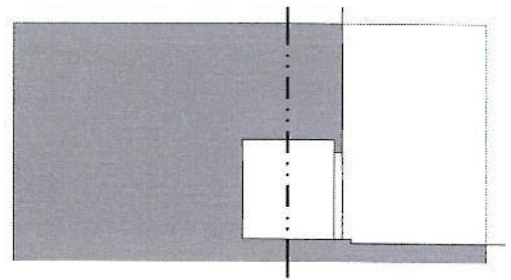


3.2.4.G COLONNADES

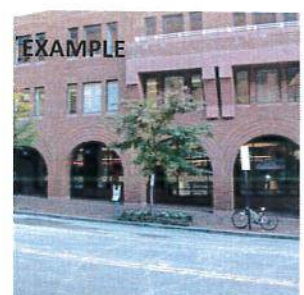
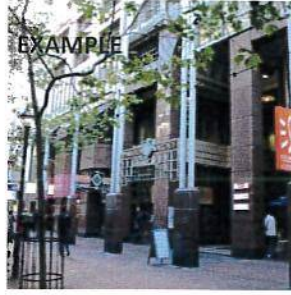
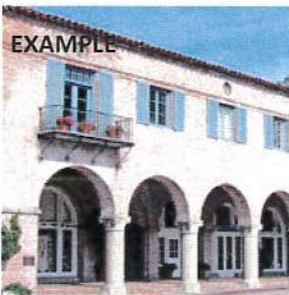
1. Description: The main façade of the retail building is at the frontage line and the colonnade element overlaps the sidewalk and encroaches into the public right of way. The entry should be at the same grade as the sidewalk. This type can be one or two (1 or 2) stories. This frontage type is ideal for retail use but only when the sidewalk is fully absorbed within the colonnade so that a pedestrian cannot bypass it. Due to the overlap of the right-of-way, an easement shall be required.
2. Conditions: A minimum depth is required within the development standards to ensure usability. The height and the proportions of the colonnade may correspond to the facade consistent with the architectural style of the building, provided a minimum of ten feet (10') width clear is met in all directions while leaving clearance for a standard truck height. Soffits, columns, and arches shall be treated consistent with the architecture of the building. Maximum sidewalk width between curb and face of arcade shall be three feet (3'), except at curb extensions provided at intersections.
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Commercial, Primary
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Institutional
 - f. Civic
 - g. Mixed-Use Building



PLAN DIAGRAM



CROSS-SECTION DIAGRAM



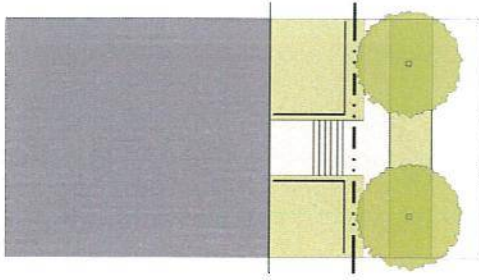
3.2.4.H ARCADES

1. Description: Arcades are facades with an attached colonnade that is covered by upper stories which are habitable space. This type is suitable for retail use, but only when the sidewalk is fully absorbed within the arcade. Due to the overlap of the right-of-way, an easement shall be required.
2. Conditions: A minimum depth is required within the development standards to ensure usability. The height and the proportions of the arcade may correspond to the facade consistent with the architectural style of the building, provided a minimum of ten feet (10') wide clear is met in all directions while leaving clearance for a standard truck height. Soffits, columns, and arches may be treated consistent with the architecture of the building. Maximum sidewalk width between curb and face of arcade shall be three feet (3'), except at curb extensions provided at intersections. Arcades shall be well lit and provide a safe environment.

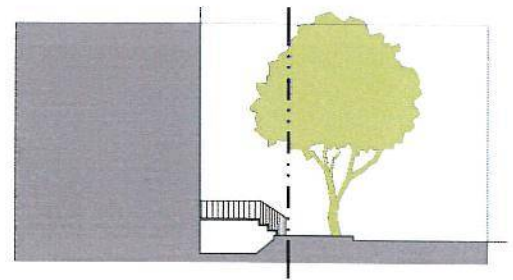
Encroachments: Permitted. See Article 3.0 Section 3.1.3

4. Frontages Permitted by Lot/Building Types:

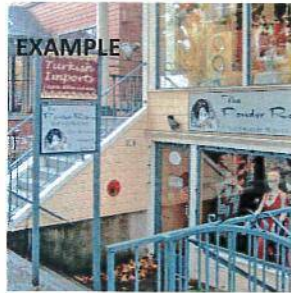
- a. Commercial, Primary
- b. Commercial, Urban
- c. Parking Garage / Liner Building
- d. Office Building
- e. Institutional
- f. Civic
- g. Mixed-Use Building



PLAN DIAGRAM

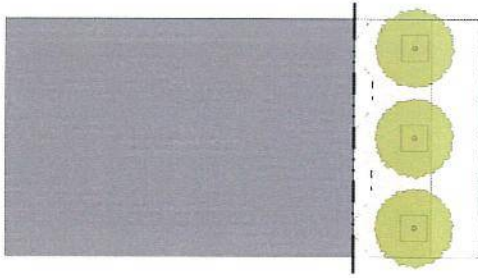


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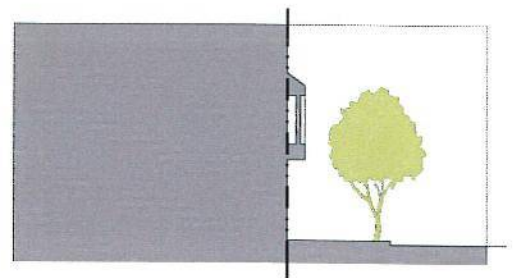


3.2.4.I TERRACE & LIGHTCOURT

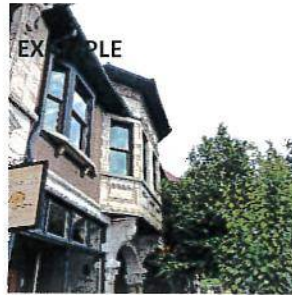
1. Description: A frontage wherein a portion of the façade is set back from the property line by an elevated terrace or sunken lightcourt. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes as the eye of the sitter is level with that of the standing passerby.
2. Conditions: The elevation of terraces may not exceed three feet (3') above the highest adjacent finished grade or sidewalk. The elevation of basements accessed by a lightcourt may not exceed six feet (6') below the lowest adjacent finished grade or sidewalk.
3. Encroachments: Not permitted
4. Frontages Permitted by Lot/Building Types:
 - a. Apartment/Condominium
 - b. Townhouse



PLAN DIAGRAM



CROSS-SECTION DIAGRAM

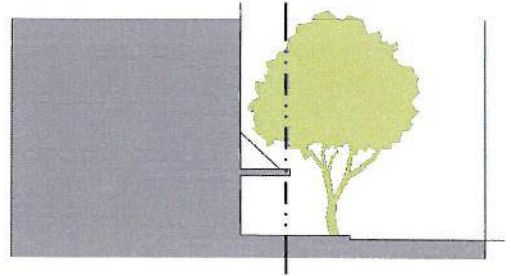


3.2.4.J BAY WINDOWS

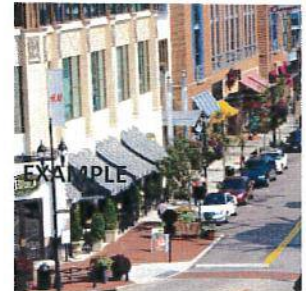
1. Description: A frontage type wherein bay windows are permitted and may occur forward of the build-to line. Bay windows projecting from the second floor or higher may encroach within the right-of-way.
2. Conditions: Bay windows shall have fenestration on both front and side surfaces and should have a maximum depth of six feet (6') and a maximum length of eight feet (8').
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Commercial, Primary
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Small Box Retail, Drive Through
 - f. Institutional
 - g. Civic
 - h. Mixed-Use Building
 - i. Apartment/Condominium
 - j. Townhouse



PLAN DIAGRAM



CROSS-SECTION DIAGRAM

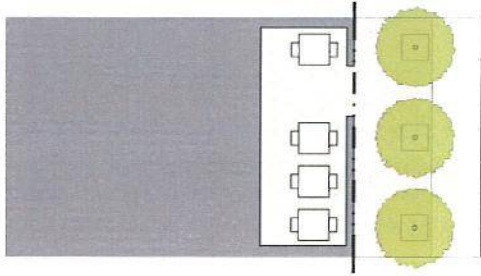


3.2.4.K STOREFRONT

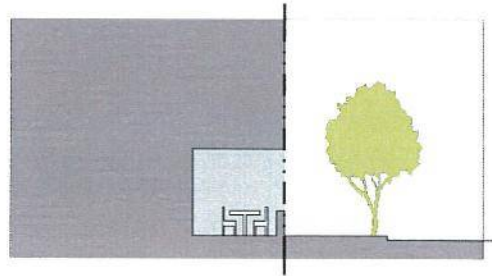
1. Description: A storefront frontage is at or close to the edge of the pedestrian zone, with the entrance at sidewalk grade. An overhang, canopy, shading element, or awning that encroaches over the sidewalk is required.
2. Conditions: A storefront frontage shall have transparent fenestration in form of glass panes comprising a minimum of sixty percent (60%) of the ground-floor building envelope. The bottom of the fenestration (window sill line) shall be a maximum of thirty inches (30") above the highest adjacent finished grade or sidewalk. Entry doors shall be a minimum of eight feet (8') high by three feet (3') wide and shall have glazing on a minimum of fifty percent (50%) of their surface area. The overhang or canopy must be a maximum of ten feet (10') above the adjacent finished grade or sidewalk and must not overhang the public right-of-way more than five feet (5').
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. **Commercial, Primary**
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Small Box Retail, Drive-Through
 - f. Institutional
 - g. Civic
 - h. Mixed-Use Building

3.2.4.1 CAFÉ

PLAN DIAGRAM



CROSS-SECTION DIAGRAM



1. Description: A café frontage is used with a storefront and accommodates outdoor seating for restaurants and cafes.
2. Conditions: A café frontage may be set back a maximum of fifteen feet (15') from the edge of the pedestrian zone. Café frontages may include roll up doors and bi-fold doors. Fences and walls are permitted to a maximum of thirty-six inches (36") high. Café frontage may be covered or open to the air.
3. Encroachments: Permitted. See Article 3.0 Section 3.1.3
4. Frontages Permitted by Lot/Building Types:
 - a. Commercial, Primary
 - b. Commercial, Urban
 - c. Parking Garage / Liner Building
 - d. Office Building
 - e. Small Box Retail, Drive-Through
 - f. Mixed-Use Building

A café frontage may be set back a maximum of fifteen feet (15') from the edge of the pedestrian zone. Café frontages may include roll up doors and bi-fold doors. Fences and walls are permitted to a maximum of thirty-six inches (36") high. Café frontage may be covered or open to the air.

3.2.4 M Drive Throughs Attached to Commercial Buildings

1. **Description:** An ancillary drive through facility attached to a commercial building described in Sections 3.1.3A, 3.1.3B, 3.1.3C, 3.1.3D, and 3.1.3H and comprised of greater than 10,000 square feet of gross interior space located within the Town Center or Mixed Use Commercial districts.
2. **Conditions:** Drive throughs attached to the commercial building types noted above shall only be allowed when the applicant and/or site meets all of the following conditions. Staff shall review and approve these conditions before drive-throughs attached to commercial buildings will be allowed:
 - a. Subject lot has frontage along a collector or an arterial street (see Section 6) in Town Center or Mixed Use Commercial district;
 - b. Access to and from the subject site utilizes only collector and/or arterial streets (with appropriate minimum distance spacing between driveways per the City of Edwardsville Land Development Code);
 - c. For lots without direct driveway access as provided above in (b), drive through facilities shall provide an internal traffic circulation plan which demonstrates how vehicular traffic will travel from the public street or alley to the subject tract and provide public cross-access easements to adjoining lots.
 - d. A circulation plan which demonstrates pedestrian linkages to/from the building to all parking areas and the public street is required. Pedestrian paths shall use decorative pavement or painting and minimize locations where the path crosses drive aisles, stacking lanes or parking areas. The path shall adhere to Americans with Disabilities Act (ADA) and Illinois Accessibility Code standards.
 - e. Drive through plans must demonstrate adequate stacking space in the drive-through lanes to ensure the queue does not overlap pedestrian paths or impede passage in required on-site drive aisles, and will not result in queue lines which encroach onto adjoining lots/uses, off-site drive aisles or into the public street right of way.
3. **Encroachments:** Not Permitted.
4. **Frontages Permitted by Lot/Building Types:** a. Commercial, Primary (See 3.1.3A) b. Commercial, Urban (See 3.1.3B) c. Parking Garage / Liner Building (See 3.1.3C) d. Office Building (See 3.1.3D) f. Mixed-Use Building (See 3.1.3H)

3.3 GREEN SPACE, PARKS, AND CIVIC SPACE

3.3.1 Purpose

Green space, parks, and civic space serve to support the districts through the creation of great public spaces that respond to the establishment of a coherent, traditional, and regionally appropriate character. These standards favor an aesthetic that incorporates a diversity of traditional public spaces.

3.3.2 Applicability

The reservation of green space, passive and active parks/fields, civic space, and locations are generally referred to as “public space” shall adhere to the applicable jurisdiction’s green space requirements. For the City of Edwardsville, this includes Section 5-17 of the City’s Land Development Code. For the Village of Glen Carbon, Section 11-5-9 of the Village’s Subdivision Regulations should be used. As those regulations are applicable, Section 3.3.3 may be viewed as a recommended “best practices” approach to public space design, location, purpose, size and allocation.

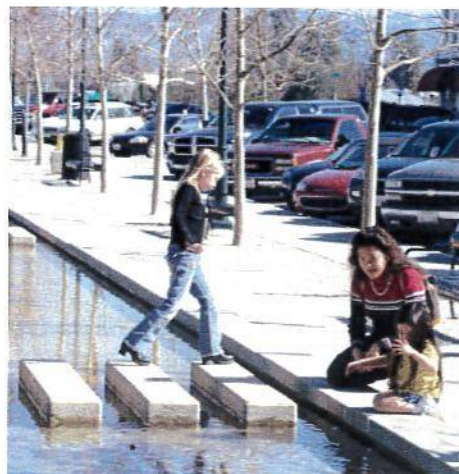
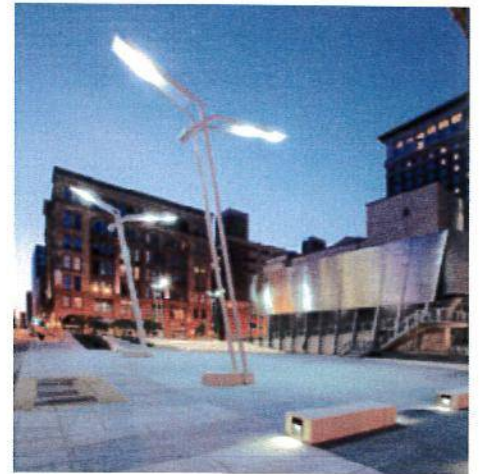
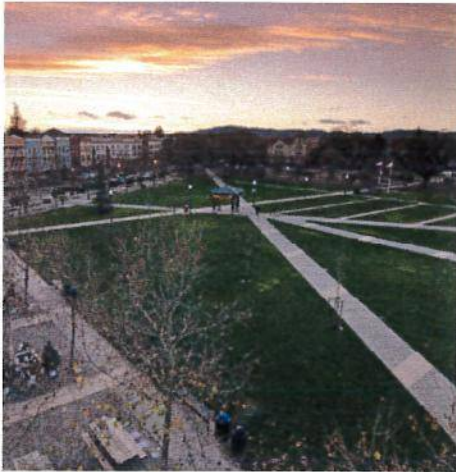
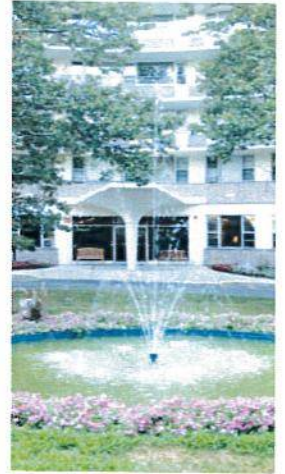
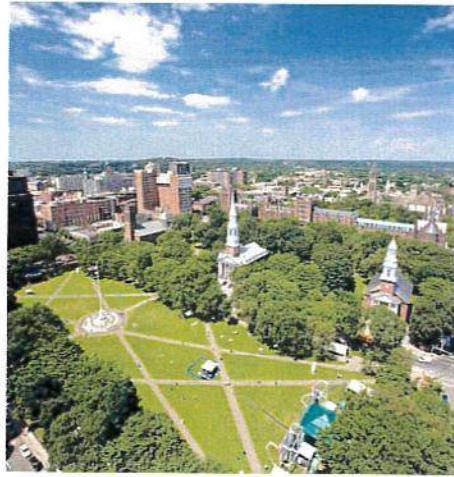
3.3.3 Suggested Types of Green Space, Parks, and Civic Spaces

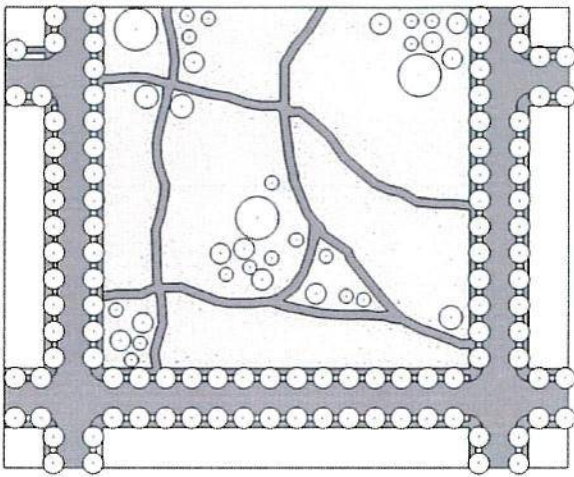
A. The following types of space may be considered:

1. **Neighborhood Park:** A neighborhood park is a natural landscape consisting of open and wooded areas, typically furnished with paths, benches, and open shelters. Neighborhood parks are often irregularly shaped but may be linear in order to parallel creeks, canals, or other corridors. Parks are intended for both formal and informal recreation. Paving should be pervious paving materials to allow oxygen for tree roots and the percentage of impervious paving material is limited. The landscape character can vary from formal to informal depending upon adjacent development and existing natural features. For the smaller neighborhood parks a clear view through the park (from two to eight feet [2' to 8'] in height) is important for safety and urban design purposes.
2. **Civic Green:** A green is an open space consisting of lawn and informally arranged trees and shrubs, typically furnished with paths, benches, and open shelters and are spatially defined by abutting streets. Greens are spaces intended for a moderate amount of foot traffic. Paving should be pervious paving materials to allow oxygen for tree roots and the percentage of impervious paving material is limited. In civic greens the surface treatment and materials within the area back-of-curb to back-of-curb excluding any civic building, public art or monument footprint should be a minimum fifty percent (50%) unpaved, pervious surface area like turf, ground cover, gravel, soil or mulch. The trees should provide a landscape and civic architecture that complement the surrounding building architecture. A clear view through the public space (from two to eight feet [2' to 8'] in height) is important for safety and urban design purposes.
3. **Square:** A square is a formal open space available for recreational and civic uses and spatially defined by abutting streets and building frontages. Squares must be located so that building walls that will face the square or plaza will have at least twenty-five percent (25%) of their primary façade, including at least forty percent (40%) of the ground story’s primary façade, in transparent windows. Squares are generally intended to be active pedestrian centers and they should be designed appropriate to their high pedestrian traffic level with a higher percentage of paved surface area. Paving should be pervious paving materials to allow oxygen for tree roots and the percentage of impervious paving material is limited. Ideally the surface treatment and materials (within the area back-of-curb to back-of-curb excluding any civic buildings, public art or monument footprint) should be a minimum twenty percent (20%) and maximum thirty percent (30%) unpaved pervious surface like turf, ground cover, gravel, soil or mulch. The trees should provide a landscape and civic architecture that complement the surrounding building architecture. A clear view through the public space (from two to eight feet [2' to 8'] in height) is important for safety and urban design purposes.

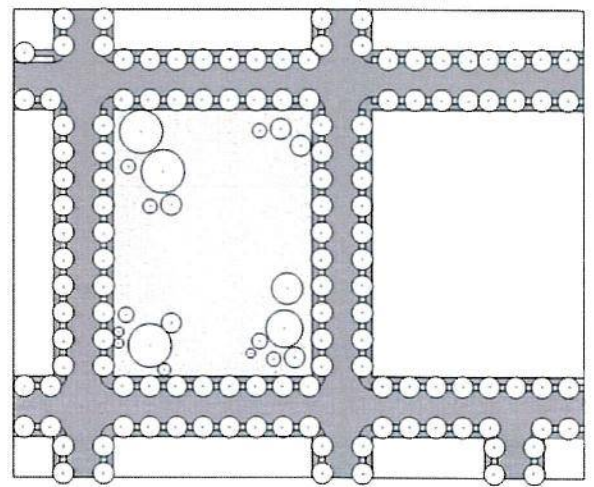
Landscaping in a square consists of lawn, trees, and shrubs planted in formal patterns and it is typically furnished with paths, benches, and open shelters.

4. Plaza: A plaza is a formal open space available for civic and commercial uses and spatially defined by building frontages. Plazas are generally intended to be highly active pedestrian centers and they should be designed appropriate to their high pedestrian traffic level with most of the plaza in paved surface area. Plazas must be located so that building walls that will face the square or plaza will have at least twenty-five percent (25%) of their primary façade, including at least forty percent (40%) of the ground story's primary façade, in transparent windows. Landscaping in a plaza consists primarily of hardscape ideally with pervious surface materials; trees and shrubs are optional. Ideally the surface treatment and materials (within the area back-of-curb to back-of-curb excluding any civic buildings, public art or monument footprint) should be a minimum ten percent (10%) and maximum thirty percent (30%) unpaved pervious surface like turf, ground cover, gravel, soil or mulch.
5. Playground: A playground is a fenced open space, typically interspersed within residential areas that is designed and equipped for the recreation of children. Playgrounds may be freestanding or located within parks, greens, or school sites.
6. Community Garden: A community garden is a grouping of garden plots available to nearby residents for small-scale cultivation.

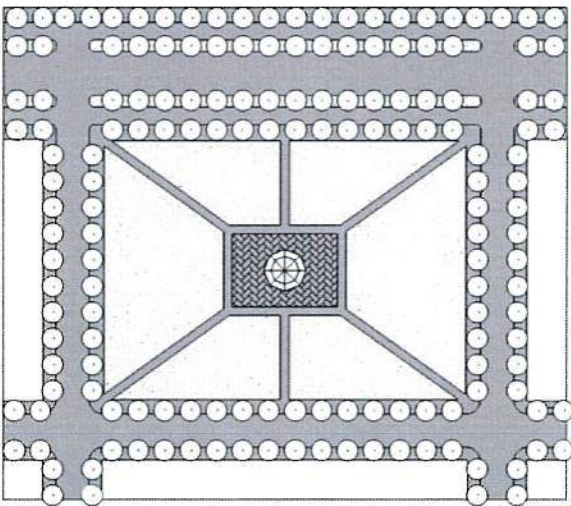




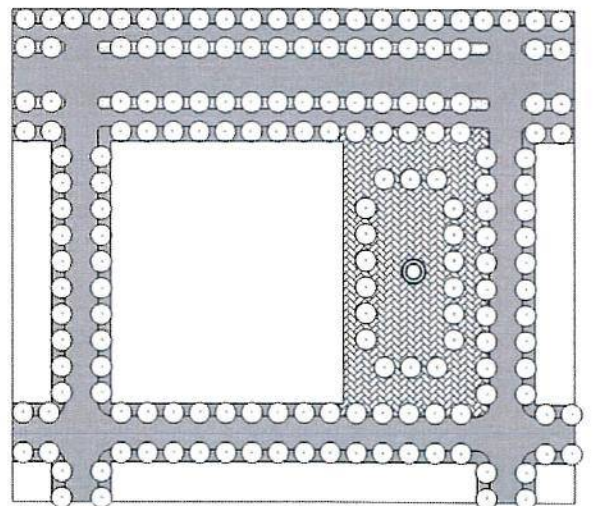
Neighborhood Park



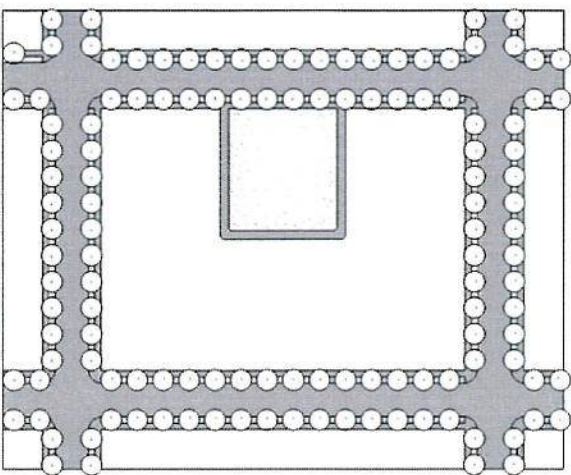
Civic Green



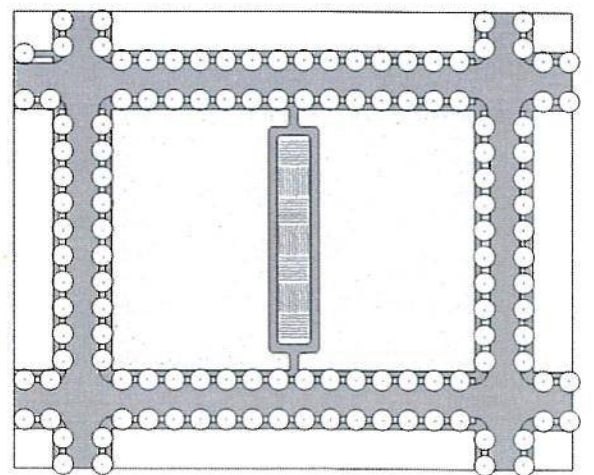
Square



Plaza



Playground



Community Garden

- B. Suggested Design Standards: The following design standards should be considered:
1. Use Restrictions: Civic spaces lots may not be used for any other purpose unless comparable civic spaces are approved through the rezoning process. These lots are restricted as open space in perpetuity.
 2. Configuration and Techniques: The following configurations and techniques are permitted:
 - a. Should be designed and configured to be clearly recognizable as public open space.
 - b. Should be consistent with the character of the Development District in which it is located. For example, a neighborhood park located in the Town Center District would be detailed with hardscaping and a formal planting pattern of a single species while a neighborhood park in the Rural Residential District would have more turf area with an informal planting pattern of multiple species.
 - c. Should have a range of types and sizes of civic spaces with the intention that there is a civic space within one-quarter (1/4) of mile of every resident or place of work.
 - d. Each civic space must have at least twenty-five percent (25%) of its perimeter and at least two sides directly adjoining a street.
 - e. Should be located so that building walls having at least fifteen percent (15%) of their area in transparent windows will face the space to make the space safer for the public. This standards varies by type of civic space such that the higher requirement is standard.
 - f. Should provide shaded seating and a major feature, such as water fountain, band stand, or pavilion which will be commensurate with the activities expected in the civic space. There are no detailed requirements for these features; and the regulating body shall determine these requirements as necessary.
 3. Paving Materials: The following paving materials are permitted for pedestrian surfaces and should be compatible with the character of each Development District as determined by the applicable jurisdiction. In general, a maximum of two (2) materials should be combined in a particular application:
 - a. Stone (i.e. slate or granite)
 - b. Brick Pavers
 - c. Concrete Unit Pavers
 - d. Poured-in-Place Concrete with any of the following treatments: integral pigment color, special aggregate, special scoring pattern, ornamental insets such as tile, pattern-stamped. All concrete walks should be tinted to reduce glare.
 - e. Asphalt is not recommended, with the exception of bike paths.
 4. Site Furnishings, Art Work, and Special Features: The following are recommended for inclusion in public and/or common outdoor spaces:

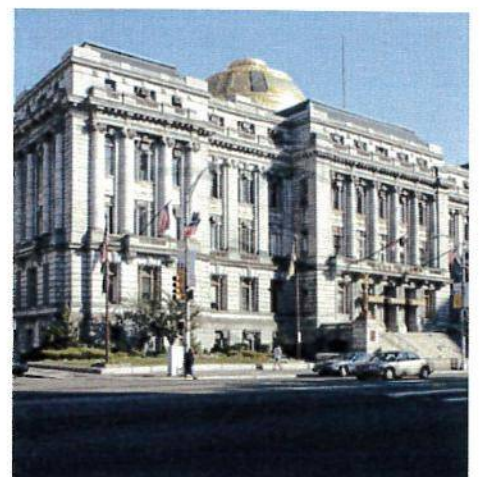
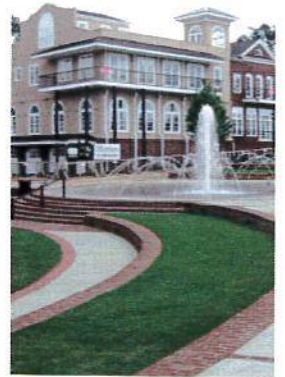
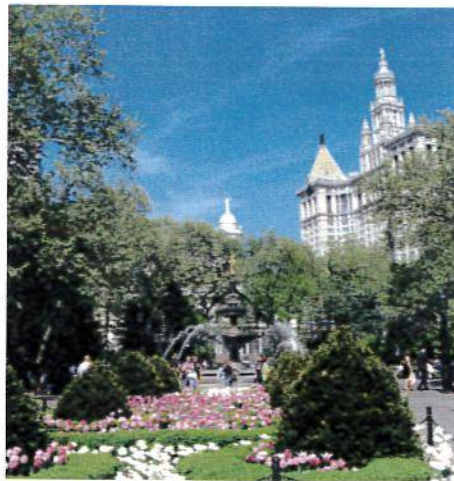
- a. Permanent Outdoor Seating is recommended in all publicly-accessible ways and spaces. Seating should be either:
 - i. Incorporated as part of the design of the building base, or;
 - ii. Custom designed in a style related to the architecture of the building (permanent benches of stone, brick or precast concrete), or;
 - iii. Catalog items of substantial materials appropriate for the character of each district;
 - b. Portable Seating: Movable chairs, tables for cafés and other furniture should be of substantial materials, preferably metal or wood rather than plastic. Tables used for outdoor dining within the public right-of-way (i.e., in sidewalk areas) shall be a maximum of three (3) feet in diameter if round and three (3) feet along the longest side if rectangular.
 - c. Street Clocks, Directory Kiosks, and Permanent Freestanding Showcase Displays: Encouraged in the following Development Districts: Mixed-Use Commercial District, and Town Center, subject to review for adequate clearances, safety, and design. Designs should reflect the general character of the Development Districts.
 - d. Fountains: Recommended in open courtyard and passage spaces. The design and materials should be related to the principal adjacent buildings and civic spaces.
 - e. Public Art: Such as sculpture, wall murals and other paintings, lighting displays and special public open spaces are encouraged.
 - i. Location of public art should be in highly visible places specifically designed or modified for the purpose of accommodating it; public art should not be located in semi-private areas such as the rear of buildings or in courtyards.
 - ii. Symbolic content of public art should relate to and represent the rich history of the area where appropriate; abstract as well as literal representative elements are appropriate.
 - iii. Murals should reflect the color and architectural composition of the buildings on which they are painted, and, to the extent appropriate, that of neighboring buildings. Murals are not allowed to advertise for commercial business of any kind.
5. Landscape and Plant Materials: The landscape design of any civic space should be reflective of both the aesthetic character and image of the Development District and the functional characteristics of the civic space. In particular considerations should be given to the following:
- a. Deciduous trees should be the predominant large plant material used. They should be located adjacent to buildings and within parking areas to provide shade in summer and allow sun in winter. Species should be selected to be drought-tolerant, provide fall color and minimize litter and other maintenance problems.
 - b. Evergreen shrubs and trees should be used as a screening device, for example, along rear property lines, around mechanical appurtenances, etc.

- c. Flowering shrubs and trees should be used where they can be most appreciated such as adjacent to walks and recreational areas, or framing building entries, stairs, and walks.
- d. Plants with annual or seasonal color are recommended to highlight special locations, such as courtyards, building entrances, or within public spaces in general.
- e. Decorative vines should be considered for use along fences, property boundaries, perimeter walls, and on blank building elevations.
- f. Drought-tolerant and/or native plants should generally be used.
- g. All plant material including trees shall conform to the standards of the American Association of Nurserymen and shall have passed any inspections required under State regulations.

3.3.4 Civic Buildings

- A. Intent and Guiding Illustrations: Civic buildings contain uses of special public importance and must be designed to physically express that prominence. Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, day care centers, recreation facilities, and places of assembly. Civic buildings do not include retail buildings, residential buildings, electrical sub-stations, water treatment facilities, buildings with private offices, or other buildings and utilities similar in nature. The illustrations are advisory only.
- B. Standards for Civic Buildings:
 - 1. Civic buildings contain public or civic uses of special significance to residents, employees, or visitors.
 - 2. Civic buildings are used for the following purposes: community services, day care (as an accessory use), education, government, places of worship, or social services.
 - 3. Civic buildings must be designed to physically express their community prominence.
 - 4. Civic Building Lots are usually sited adjoining or surrounded by civic spaces or they provide a visual landmark by being placed at the axial termination of a street.
 - 5. In order to provide greater flexibility in building types and to allow more distinctive architectural expression, civic building lots do not have mandatory frontage percentages or street yard standards.
 - 6. Oversized civic building lots such as those sometimes required for public schools or for churches with regional congregations should be located at the periphery of the Development Districts and/or typically sized districts and neighborhoods so as not to impede the walkability of the remainder of the neighborhood.
 - 7. Parking shall match the requirements as detailed in City of Edwardsville Off Street Parking and Loading (1250.13.1) or Village of Glen Carbon.
 - 8. Signage shall match the applicable requirements as specified in City of Edwardsville – Signs (Chapter 94) or Village of Glen Carbon (Chapter 15).
 - 9. Publicly owned civic buildings include municipal facilities, County government facilities, State government facilities, schools, publicly owned parks, and any taxing district facility. These publicly owned facilities have the following additional requirements:

- a. Notwithstanding the above, in any residential zone district all municipally or publicly owned buildings shall be located at least twenty-five feet (25') from all property lines; lighting must be shielded from glare onto adjoining residential lots and dwellings; landscaping screening is required; and refuse containers should be screened as specified by the applicable jurisdiction.
- b. Any publicly owned County, municipal facilities or governmental building that is primarily used as an operational, maintenance, warehouse and/or storage service facility or any type of facility that includes a large open or enclosed parking/service/storage yard is only permitted in the Mixed-Use Commercial District and/or the Rural Residential providing that they are adequately enclosed within a live planting screen and/or solid fence at least six feet (6') in height per the standards within this Development Code. Any storage areas, maintenance yards, or storage warehouses shall be located at least twenty-five feet (25') from any property line.
- c. Permitted uses include: municipal facilities, County government facilities, State government facilities, schools, publicly owned parks, and any taxing district facility. Use restrictions require that these uses shall be owned by a public taxing unit.
- d. There are no minimum lot area, width or depth requirements.
- e. There are no setback requirements except in residential areas as stated above.
- f. The maximum floor area ratio is two square feet (2 sq. ft.) of floor space for each one square foot (1 sq. ft.) of lot area.
- g. Maximum percentage of lot building coverage is fifty percent (50%)
- h. The height limit is seventy feet (70')



3.4 ARCHITECTURAL STANDARDS

3.4.1 Purpose

The architectural standards serve to support the Development Districts through the creation of great public spaces, climate responsive design and the establishment of a coherent, traditional and regionally appropriate scale and character for all new development within each of the different Development Districts as well as encourage a high caliber, lasting quality of development. These standards favor an aesthetic that incorporates a diversity of traditional architectural styles interpreted broadly. The intention is not to copy the past, but to utilize its discipline when designing new buildings. Structures created according to these standards will also demonstrate a clear relationship to the long-standing architectural traditions of the Midwest. Buildings designed to withstand the elements (gravity, sun, weather, and time) which also incorporate traditional rules of proportion and massing retain their appeal beyond a simple question of style.

3.4.2 Applicability

- A. All new structures, and all additions and exterior changes to all structures providing for non-residential uses and all structures with over three dwelling units existing prior to adoption of this Ordinance, as well as any new Civic Buildings or additions and exterior alterations to Civic Buildings within the Madison County I-55 Corridor Transportation and Growth Management Regulatory Plan and Code as shown on the Regulatory Plan require Design Review (see Article 1.0) based upon the standards contained herein.
- B. These Architectural Standards are organized into two (2) categories in order to respond to the different Lot/Building Types contained in this Code, these being first, "Commercial, office, and Mixed Use" and second, "Residential", both as detailed hereunder. With each of these two (2) categories the standards are organized as follows: General Standards; Exterior Building Walls; Roofs and Parapets; Street Walls and Garden Walls; Building Entrances, Windows, and Doors; and Miscellaneous Building Elements.

3.4.3 General Standards

- A. The building mass shall consist of a simple composition of basic building forms that follow a clear hierarchy and should be orientated to the creation of great public spaces and responsive to the particular micro-climate of the site. For example, the principal structure and accessory buildings should be sited in a manner appropriate to their size and function. Roof lines shall be simple, utilizing parapets, gables, hips, and sheds, or combinations of these basic forms. Details such as doors, windows, eaves, railings, etc. should be carefully designed and constructed in order to contribute significantly to a building's visual interest and value.
- B. Each building should have at minimum a distinctive horizontal base, occupied middle, and eave, cornice and/or parapet line that complement and balance one another.
- C. Each building should have a clear and harmonious pattern of vertically-oriented façade openings including entries, windows, and bays and columns or other exposed vertical supports. Vertical articulations can be produced by variations in roof lines; window groupings; applied façade elements such piers or pilasters, bay windows and balconies; entrance stoops

and porches; and subtle changes in materials and vertical planes that create shadow lines and textural differences. Vertical elements break up long, monolithic building façades along the street. Major vertical elements should be reflective of a typical fifty feet (50') pattern reflecting the typical historic parcel increment of much of Midwestern downtowns and town centers.

- D. These standards specify an architectural aesthetic of load-bearing walls, regionally appropriate materials and climate responsive design. The standards also specify a range of certain details, such as window proportions, column spacing, storefronts, roof or cornice configurations and overhangs. Windows, wall panels, pilasters, building bays, and storefronts should be based on a module derived from the building's structural bay spacing. Features based on this module should be carried across windowless walls to relieve blank, uninteresting surfaces. All building materials to be used shall express their specific properties. For example, stronger and heavier materials like masonry may support lighter materials like wood, not the reverse.
- E. While only materials, techniques, and product types prescribed here are currently recognized, equivalent or better practices and products are encouraged. They shall be submitted for review and approval. Additional products, styles and approaches may be added to this Article through an amendment to this Development Code.
- F. The color palette of the development should reflect the traditional materials and techniques of regional Midwest building practices.
- G. Many of these standards apply only in conditions where clearly visible from the street or other public spaces. Note that the definition of street and other public spaces includes parks, civic squares, and civic greens and the term "street" shall be inclusive. These controls therefore concentrate on the views from street and minimize interference in the private realm. For example, an architectural element that is visible only through an opening in a street wall is not clearly visible from the street.
- H. For buildings located at the intersection of two (2) streets, the corner of the building at the intersection may be angled, curved, or chamfered. The distance from the corner shall not exceed thirty feet (30') measured from the intersection of the right-of-way lines to the end of the angled or curved wall segment, unless a greater amount is required by the visibility triangles for traffic movement.

3.4.4 Introduction to Architectural Standards for Commercial Primary, Commercial Urban, Office, Mixed Use, and Parking Garage Buildings

The following architectural standards apply to the Commercial Primary, Commercial Urban, Parking Garage Building, Office Building, and Mixed-Use Building, Lot/Building Types. The purpose of these architectural standards for commercial, office and mixed-use buildings include:

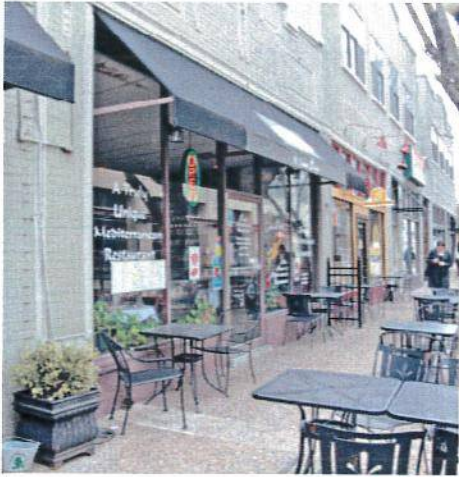
- A. Encouraging traditional commercial and mixed-use building forms that reinforce the pedestrian orientation and desired visual quality of the various districts.
- B. Creating usable outdoor space through the arrangement of compatible commercial and mixed use buildings along street frontages.
- C. Encouraging commercial and mixed use buildings of compatible type and scale to have creative ornamentation using varied architectural styles.
- D. Enhancing the various districts as attractive destinations for working, living, recreation, entertainment, and/or shopping.
- E. Maintaining and enhancing the sense of place of each of the districts and their respective property values.

3.4.5.1 Architectural Standards for Commercial, Office, and Mixed Use, & Parking Garage Buildings

(NOTE: For Small Box Retail/ Drive Through building/lot types, see Section 3.4.5.2)

A. General Standards

1. New commercial and mixed use lots/buildings are oriented to public streets, sidewalks, plazas, courtyards and or other public spaces in order to establish a consistent and visually appealing street wall.
2. Streets: New commercial buildings are generally oriented to public sidewalks. This section addresses other public open spaces that also can affect the orientation of commercial buildings.
 - a. Plazas: This code contains build-to lines that require new commercial buildings to be placed near public sidewalks. These build-to regulations allow up to twenty percent (20%) of a building's frontage to be recessed ten feet (10'). Plazas are permitted to be recessed further than the standard ten feet (10') if they meet the following requirements:
 - i. The plaza cannot exceed twenty percent (25%) of a building's frontage.
 - ii. The plaza is strictly for pedestrian usage and cannot be used to park vehicles.
 - iii. All building walls that surround the plaza must meet the design criteria for principal façades.
 - b. Courtyards: New commercial buildings that are on larger lots may include interior courtyards designed for public or private usage.
 - i. If vehicular circulation is allowed through a courtyard, the only parking permitted will be in parallel spaces.
 - ii. Courtyards intended for public use are encouraged to have clear visual linkages between the courtyard and public sidewalks.
 - c. Pedestrian passages: Pedestrian passages, with or without a lane for vehicles, can be provided on private property to connect a courtyard to the sidewalk system, to provide walkways to parking lots behind buildings, or to provide additional retail frontages.



B. Exterior Building Walls

1. Intent and Guiding Illustrations: Building walls should reflect and complement the traditional materials and techniques of the Midwest region. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials like masonry support lighter materials wood.
2. Standards for Building Walls (Where clearly visible from the street)
 - a. Materials: The palette of wall materials should be kept to a modest number, preferably two (2) but not more than four (4). Using the same wall materials as adjacent or nearby buildings helps strengthen the district character. The following materials are permitted.
 - i. Primary Materials (seventy-five percent [75%] of façade or greater):
 1. Brick or tile masonry
 2. Native stone or synthetic equivalent
 3. Pre-cast masonry
 4. Stucco or cementitious finish
 - ii. Secondary Materials (no greater than twenty-five percent [25%] of façade):
 1. Siding (wood, composite, or HardiePlank)
 2. Curtain Wall Systems should only be used for limited areas, such as connections between buildings, entrance lobbies, etc.
 3. Concrete Block (split face block only)
 4. Poured-in-Place Concrete: options in terms of formwork, pigments, and aggregates should be explored to create rich surfaces.
 - iii. Accent Materials (no greater than five percent [5%] of façade):
 1. Gypsum Reinforced Fiber Concrete (for trim elements only)
 2. Metal (for beams, lintels, trim elements and ornamentation only)

3. Split-faced block (only for piers, foundation walls and chimneys)
4. Ceramic Tile

b. Configurations and Techniques: The following configurations and techniques are permitted:

i. Walls (Where clearly visible from the street)

1. Two or more wall materials may be combined on one façade only with one above the other – lighter materials above those more substantial (e.g. wood above stucco or masonry, or stucco above masonry); all dependent, however, upon the chosen style.
2. The horizontal dimension of the wall opening shall not exceed the vertical dimension except where otherwise prescribed in this Code.
3. Wall openings shall not span vertically more than one (1) story.
4. Wall openings shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
5. Material changes shall be made within a constructional logic— as where an addition of a different material is built onto the original building.
6. Wall materials shall be consistent horizontally (i.e. joints between different materials must be horizontal and continue around corners except for towers, chimney and piers.)
7. If the building mass and pattern of windows and doors is complex, simple wall surfaces are preferable (e.g. stucco); if the building volume and the pattern of wall openings are simple, additional wall texture and articulation should be employed (e.g. bricks or blocks, rusticated stucco, ornamental reliefs). In both cases, pilasters, columns, and cornices should be used to add visual interest and pedestrian scale.
8. All building elements that project from the building wall by more than sixteen inches (16”), including but not limited to decks, balconies, porch roofs and bays, shall be visibly supported by pilasters, piers, brackets, posts, columns, or beams that are sized proportionally to the structure above. This requirement does not apply to cantilevered elements that are typical for a specific style.
9. Transparent windows must cover at least forty percent (40%) of the wall area on the ground floor and at least fifteen percent (15%) of the wall area for each of the floors above the ground floor.

- ii. Side and Rear Building Façades: should have a level of trim and finish compatible with the front façade, particularly if they are visible from streets, adjacent parking areas or residential buildings.
- iii. Blank wall areas without windows or doors are only permitted on internal-block side-property line walls and should reflect in basic terms the compositional standards in this Section and be provided with some surface relief.
- iv. Wood Siding and Wood Simulation Materials:

1. Lap siding horizontal configuration
2. Smooth or rough-sawn finish
3. No faux wood grain except fiber cement board (or similar material of equal or better quality) with wood grain appearance

v. Brick, Block and Stone

1. Must be detailed and in an appropriate load-bearing configurations.
2. Veneers should be mortared to give the appearance of structural brick, block or stone. If veneers are used they should wrap around the building corners to minimize a veneer appearance.

vi. Stucco (cementitious finish)

1. Smooth or sand only, no roughly textured finish.

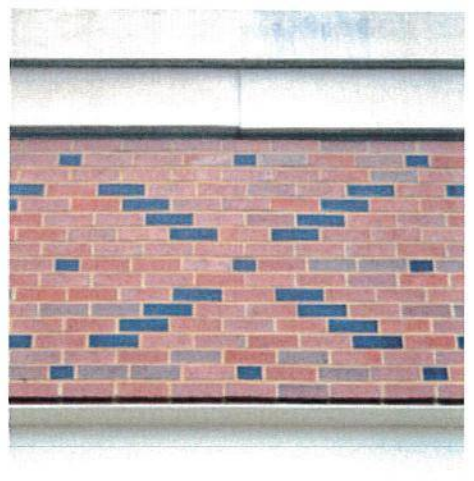
vii. Parapet and Cornice Cap Flashings

1. Sheet metal parapet cap flashings should be painted to match wall or trim color.



Split Face Concrete block

(utility only)



C. Roofs and Parapets

1. Intent and Guiding Illustrations: Roof forms should complement the building mass and match the principal building in terms of style, detailing and materials in order to provide visual coherence to each of the districts. Flat roofs are typical for commercial, mixed-use and office buildings and shall be provided with a strong, attractively detailed cornice and/or parapet wall; however, double-pitched roofs (i.e. gable, hip, pyramid), dormer windows, and chimneys are possibilities for the residential-based mixed use buildings to add variety and visual interest. Single-pitched or “shed” roofs should not be used for the principal building, and may only be attached to a main structure. All roofs and parapets should also demonstrate a common-sense recognition of the climate by utilizing appropriate pitch, drainage, and materials.
2. Standards for Roofs and Parapets (Where clearly visible from the street)
 - a. Materials: The following materials are permitted:
 - i. Clay or concrete (faux clay)
 - ii. Tile (barrel or flat roman)
 - iii. Slate (equivalent synthetic or better)
 - iv. Metal (standing seam, equivalent or better)
 - v. Dimensional asphalt shingles
 - vi. Asphalt with reflective finishes should be used on flat roofs with parapets not visible from the street
 - vii. Green roofs (intensive or extensive)
 - viii. Cornices and soffits may be a combination of wood, vinyl, and/or metal
 - ix. Parapet materials can be the same as primary wall materials
 - b. Configurations and Techniques: The following configurations and techniques are permitted:
 - i. Pitched Roofs
 1. Pitch (exclusive of roofs behind parapet walls)
 2. Simple hip and gable roofs shall be symmetrically pitched between 4:12 and 10:12.
 3. Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.

ii. Mansard Roofs

1. Mansards should only be used when emulating a traditional building style that typically employs mansard roofs (e.g. Beaux Arts, Victorian, etc.)
2. Mansard roofs should occur in tandem with dormer windows and other architectural features in buildings that are three (3) stories or higher.
3. Wraparound roofing panels that do not enclose a habitable floor or commercial mansards should not be used.

iii. Overhangs

1. Eaves must overhang eighteen to thirty inches (18" to 30") on the primary structure for the initial four (4) stories. For each additional story; six inches (6") shall be added to the minimum and twelve inches (12") shall be added to the maximum, up to a maximum projection of seven feet (7').
2. Gable-end rakes must overhang at least twenty-four inches (24").
3. Eaves and rakes on accessory buildings, dormers, and other smaller structures must overhang at least eight inches (8").
4. Eave and balcony brackets must be a minimum of five inches by five inches (5" x 5") in dimension.
5. Open eaves and simple classical soffits and fascia are allowed.
6. If parking is located under Overhangs, the applicable fire-resistance rating shall be applicable.

iv. Cornice and Coping Standards for Parapet Roofs

1. Parapet roofs are typically for commercial and mixed-use buildings (and may be required by the applicable Fire code).
2. Only allowed for sites where the roof material is not visible from any adjacent street space.
3. Parapet walls should have a distinct shape or profile like a gable, arc, or raised center.

v. Cornices and Other Features

1. Buildings without visible roof surfaces and overhanging eaves may satisfy the overhang requirement with a cornice projecting horizontally between six and twelve inches (6" and 12") beyond the building walls on the primary structure for the initial four (4) stories. For each additional story six inches (6")

shall be added to the minimum and twelve inches (12") shall be added to the maximum, up to a maximum projection of six feet (6').

2. Skylights and roof vents are permitted only on the roof plane when shielded from street space view by the building's parapet wall.

- c. Roof mounted equipment shall be placed away from the primary street and be screened from view from the street.

- d. Snow and ice guards shall be provided where a roofline hangs over public space.

D. Street Walls and Garden Walls

1. Intent and Guiding Illustrations: Street and Garden Walls establish a defined edge to the street where the building walls do not exist and should be used to define the public and private boundaries and spaces. The Development Code requirements include masonry walls that define outdoor spaces and separate the street from the private realm (parking lots, trash cans, gardens, and equipment). All street and garden wall façades shall be as carefully designed as the building façade, with the finished side facing the street.

2. Standards for Street and Garden Walls (Where clearly visible from the street):

- a. A street and garden wall is a masonry wall set back not more than eight inches (8") from the property line or adjacent building façade and built to a maximum height of six feet (6') and minimum of three feet (3'). A vehicle entry gate and a pedestrian entry gate are both permitted within any required street and garden wall length.

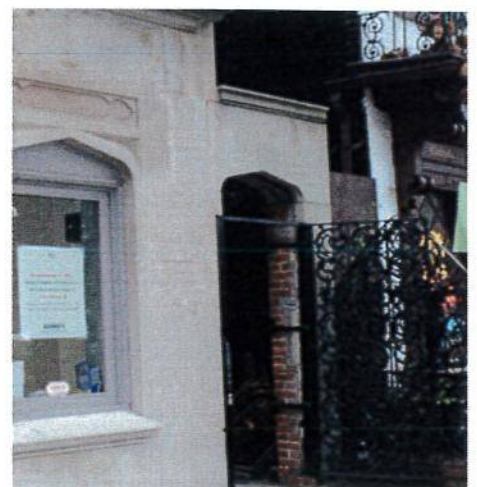
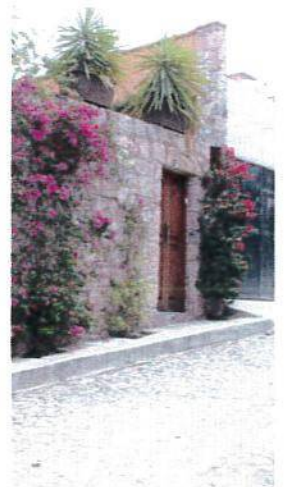
- i. Materials: The following materials are permitted and should be compatible with the principal building although post or pier materials may differ from fence materials, such as metal fences with masonry piers.

1. Native/regional stone and equivalent imitation stone
2. Metal (wrought iron, welded steel and/or aluminum)
3. Brick
4. Stucco on poured or block concrete only with brick or stone coping
5. A combination of materials (e.g. stone piers with brick infill panels)

- ii. Configurations and Techniques: The following configurations and techniques are permitted:

1. For developed lots, street walls shall be built along any unbuilt lot line to the height specified above.

2. Street and Gardens Walls including fences, wall panels and piers should be designed to be compatible with the character of the principal building(s) and be divided into regular modules that reflect the proportional system of the principal building(s).
3. Metal work may be treated or painted
4. Walls should have a base and coping
5. Copings shall project between one half inch ($1/2''$) and four inches ($4''$) from the face of the wall
6. Garden walls shall be irrigated

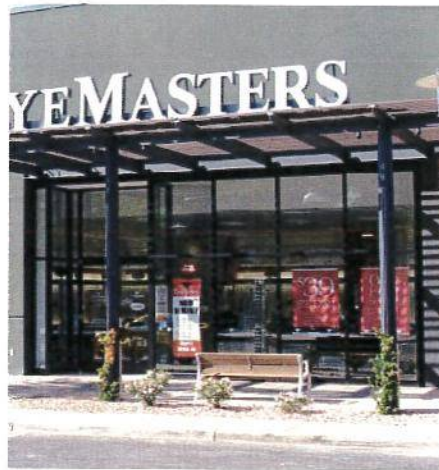


E. Building Entrances, Windows and Doors

1. Intent and Guiding Illustrations: The placement, type, and size of windows and doors help to establish the scale and vitality of the street and are an important element of a buildings composition and an indicator of overall building quality. For commercial buildings, they allow interplay between the shop interiors and the street. Windows should be divided by multiple panes of glass. This helps the window “hold” the surface of the façade, rather than appearing like a hole in the wall (an effect produced by a large single sheet of glass).
2. Standards for Building Entrances, Windows and Doors (Where clearly visible from the street)
 - a. Materials: The following materials are permitted:
 - i. Windows shall be of anodized aluminum, wood, clad wood, vinyl, or steel
 - ii. Window glass shall be clear, with light transmission at the ground story at least 90 percent (90%) and for the upper floors seventy percent (75%) (modification as necessary to meet any applicable building and energy code requirements)
 - iii. Specialty windows (one [1] per façade maximum) may utilize stained, opalescent, or glass block. Exceptions may be made for religious uses.
 - iv. Window screens shall be black or gray
 - v. Screen frames shall match window frame material or be dark anodized
 - vi. Doors shall be of wood, clad wood, or steel and may include glass panes
 - b. Configurations and Techniques: The following configurations and techniques are permitted:
 - i. The following requirements apply to building entrances (except for storefronts):
 1. Main building entrances should face and open to the street and should be easily identifiable and distinguishable from first floor storefronts. At least one (1) of the following treatments is recommended:
 - a. Marked by a taller mass above, such as a tower, or within a volume that protrudes from the rest of the building surface
 - b. Located in the center of the façade, as part of a symmetrical overall composition
 - c. Accented by architectural elements, such as columns, overhanging roofs, awnings, and ornamental light fixtures

- d. Marked or accented by a change in the roofline or change in the roof type.
 2. Building entrances to upper floors should be directly visible from the street and easy to identify.
 3. Along key Commercial streets entries to shops or lobbies should be spaced a maximum of fifty feet (50') apart.
 4. Corner buildings should provide prominent corner entrances for shops and other activity-generating uses.
- ii. The following requirements apply to all windows (except for storefronts):
1. All windows within a building, large or small, should be related in operating type, proportions, and trim. Other unifying elements should be used, such as common sill or header lines.
 2. The horizontal dimension of the opening shall not exceed the vertical dimension except where otherwise prescribed in this Development Code.
 3. Windows may be grouped horizontally (maximum five [5] per group) if each grouping is separated by a mullion, column, pier or wall section that is at least seven inches (7") wide.
 4. Windows shall be no closer than thirty inches (30") to building corners excluding bay windows.
 5. Shaped frames, lintels and sills should be used to enhance openings and add additional relief. They should be proportional to the glass area framed; e.g. a larger window should have thicker framing members.
 6. Glass should be inset a minimum of three inches (3") from the exterior wall surface to add relief to the wall surface.
 7. Clear glazing is strongly recommended. Reflective glazing should not be used. If tinted glazing is used, the tint should be kept as light as possible.
 8. Mullions should be reflective of "true divided light" windows or sectional windows. Where a divided window design is desired; "snap-in" grilles or mullions should not be used.
 9. No exterior shutters are permitted on commercial or mixed use buildings.
- iii. The following requirements apply to all upper floor windows:
1. Windows shall be double-hung, single-hung, awning, or casement windows.
 2. Fixed windows are permitted only as a component of a system including operable windows within a single wall opening.

3. Residential buildings/floors: panes of glass no larger than thirty-six inches (36") vertical by thirty inches (30") horizontal.
 4. The maximum pane size for office uses is sixty inches (60") vertical by forty-eight inches (48") horizontal.
 5. Egress windows shall be installed according to the appropriate building code.
 6. For storefront buildings in general, upper floors should have a window to wall area proportion (typically thirty to fifty percent [30% to 50%]) that is smaller than that of ground floor storefronts.
- iv. The following apply to ground floor storefront windows:
1. Single panes of glass not larger than eight feet (8') in height by four feet (4') wide.
 2. Display Windows need to be provided as large pane windows encompassing a minimum of sixty percent (60%) of the storefront surface area and shall allow views into the ground floor of the building for a depth of at least twenty feet (20'). Where privacy is desired for restaurants, professional services, etc., windows should be divided into smaller panes.
 3. Windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space).
 4. Clerestory Windows should be provided and they are horizontal panels of glass between the storefront and the second floor. They are a traditional element of "main street" buildings, and are recommended for all storefronts. Clerestory windows can be good locations for painted-window and other relatively non-obtrusive types of signs.
 5. Base of storefront: a panel of tile or other special material is recommended below display windows. Materials recommended for walls are generally suitable. Base materials should be the same or "heavier" materials visually than walls.
 6. Recessed Entries - are recommended as another traditional element of the main street storefront. Recommended treatments include: special paving materials such as ceramic tile; ornamental ceilings – such as coffering; and decorative light fixtures.
 7. Cornices should be provided at the second floor (or roofline for a one-story building) to differentiate the storefront from upper floors of the building and to add visual interest; this also allows the storefront to function as the base for the rest of the building.
 8. At heights under 10 feet (10'), storefronts may extend up to twenty-four inches (24") beyond the façade into the street right-of-way. (see Store Front frontage type for additional detail).
- v. The following apply to ground floor storefront doors:
1. Doors should be substantial and well detailed, and should match the materials, design and character of the display window framing.
 2. Double-height entryways (those that span more than one [1] story) are not allowed.
 3. Doors shall not be recessed more than three feet (3') behind the storefront windows and, in any case, shall have a clear view and path to a forty-five degree (45°) angle past the perpendicular from each side of the doors.



F. Miscellaneous Building Elements

1. Accessory Buildings of all types should have architectural treatments derived from the main building: surface materials, trim, fenestration, roof materials, and colors and if freestanding should be unobtrusive, preferably located at the rear of properties to minimize visual impact.
2. Awnings, Trellises and Canopies: Materials, colors, and form should be derived from the building architecture. They should be a minimum of eight feet (8') above the sidewalk, and project no more than seven feet (7') out from the building wall. They should be above the display windows and below the storefront cornice or sign panel. They should not cover piers, pilasters, clerestory windows or other architectural features. An individual awning or canopy for each storefront or building bay complements the building more effectively than one continuous awning does. Backlit awnings are not permitted.
3. Other Building and Site Accessories: Colorful banners should be used to add variety to the street. Ornamental brackets and poles add further interest. Hanging flower or plant baskets suspended from ornamental brackets of metal or wood are recommended. Ornamental Lighting for porches and walks should add attractiveness, safety, and security and be in the same character as the primary structure.
4. Stairs: All stairs should be boxed and framed by attractive stepped bulkheads walls or balustrade railings. Bullnose treads are recommended. Open or "floating" exterior stairs should not be used.
5. Open porches and balconies should have attractive bulkheads or balustrade railings and in the case of an open porch a roof that complements the pitch and materials of the main roof.
6. Freestanding landscape elements such as trellises, arbors, and special landscape materials that add character to yard spaces and / or accent the entry sequence are encouraged.
7. Mechanical Equipment: The following mechanical equipment shall be placed away from any primary street and be screened from view from the street: air compressors, air-conditioning/heating units; electrical generators mechanical pumps, exterior water heaters, water softeners, utility and telephone company meters or boxes, garbage cans, storage tanks, and the like. Similarly none of the above may be stored or located within any area considered a street.

3.4.5.2 Architectural Standards for Small Box Retail / Drive Through Buildings/Lot Type

Objectives

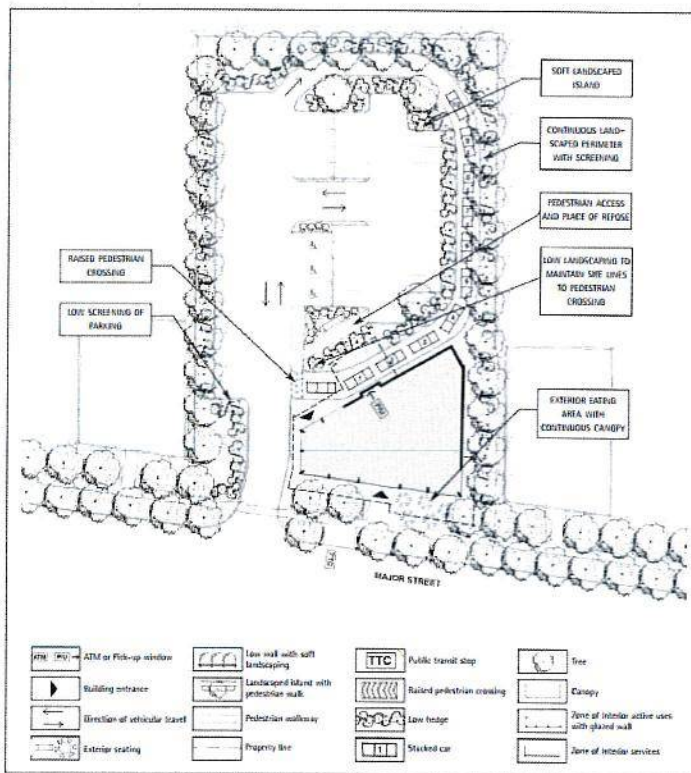
- To establish architectural requirements and performance standards to ensure the compatibility of the Small Box Retail and Drive Through building / lot type within the planned context of the Mixed Use Commercial district (and other nearby districts, if applicable);
- To protect and enhance the character and quality of the districts and neighborhoods where these building types are located;
- To enhance the public streets and contribute to a high quality public space;
- To create safe and controlled traffic circulation that balances the needs of vehicles and pedestrians; and
- To minimize impacts on adjacent land uses that could be caused by on-site activities.

The design guidelines for Drive through/Small Box Retail building / lot types are organized into six sections:

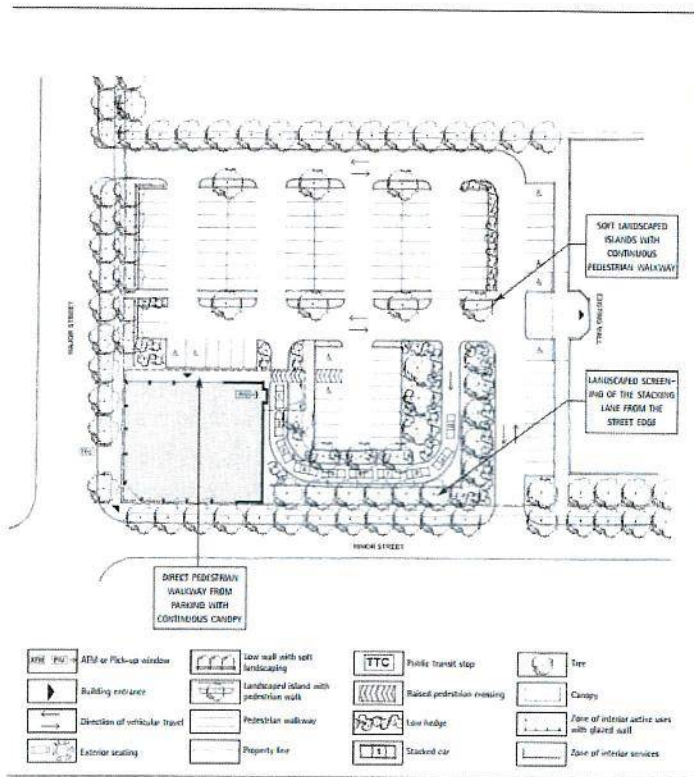
1. Site design
2. Building appearance and scale
3. Streetscape
4. Site Size and Relationship to Adjacent Uses
5. Site Access, Vehicular and Pedestrian Traffic
6. Stacking and Queuing Lanes

1.) Site design

A site plan must be provided to the Zoning Administrator for the Small Box Retail/Drive Through building / lot type. While the following examples are for illustrative purposes, they demonstrate the practices the Zoning Administrator will endeavor to adhere to for site design purposes.



The illustration above shows the major elements to consider in preparing a site plan for a building with a drive-through (as described in Section 3.1.3E). Site plans can be adjusted to accommodate drive through lanes, order kiosks, menu boards, trash enclosures, and other exterior accessory uses while remaining consistent with the parameters included in this section.



The illustration above shows the major elements to consider in preparing a site plan for a Small Box Retail building (as described in Section 3.1.3E). Site plans can be adjusted to accommodate fuel islands, accessory ATMs, phone booths, tire air pumps, trash enclosures and other exterior accessory uses based on the parameters included in this section.

2.) Building appearance and scale

Per Section 3.1.3E Drive Through buildings are to be placed at or near the street frontage of the site. Parking shall be placed in the side or rear yard.

In general, the Small Box Retail/Drive Through building type shall demonstrate consistency with the Form Based Code architectural requirements of other allowed building types in the Mixed Use Commercial district. Buildings shall compliment existing context of surrounding uses, be responsive to the public aspect of the street, and account for a pedestrian scale through appropriate use of massing and materials.





Corner sites should acknowledge and support both streets. Articulated building entrances direct pedestrians, and create a sense of arrival.

The pictures and sketches above show facades of a Small Box Retail/Drive Through building type with appropriate fenestration and entrance features.

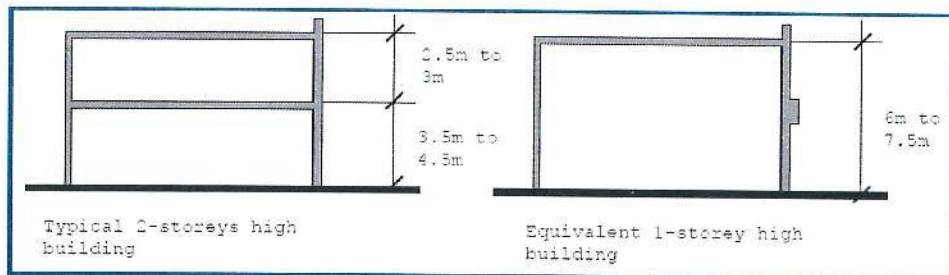


Figure 4.7d: This sketch illustrates the use of increased heights for single storey buildings to match that of two-storey buildings for an appropriate scale along streets.

If located on a corner, buildings shall be designed to address both streets directly and shall incorporate elements such as increased height at the corner, as well as massing and roof features. Both street facing facades of the building shall be articulated appropriately to adjacent uses.

Buildings should be arranged so interior areas such as restaurant seating areas, offices, retail sales floors, waiting areas and lobbies have clear glass windows along street facing walls. 60% of the building façade facing the street between the heights of two feet (2') and eight feet (8') should be glass windows/fenestration.

In order to have an aesthetically pleasing presence on the streetscape, the building elevation(s) will adhere to the Commercial Architecture requirements of 3.4.5 Section B – Exterior Walls, 3.4.5 Section C – Roofs and Parapets, Section 3.4.5 E. Building Entrances, Windows and Doors and Section 3.4.5 F Misc Building Elements.

Walls that face streets, parking lots (excluding parking lots at rear loading docks), and/or connecting pedestrian walkways must not have a blank, uninterrupted length of greater than 20 feet (20') without including two or more of the following: change in plane, change in texture or masonry pattern, windows, or other equivalent elements that subdivide the wall into human scale proportions. Side or rear walls that face walkways may include false windows and door openings defined by

frames, sills and lintels, or similarly proportioned modulations of the wall, only when actual doors and windows are not feasible because of the nature of the use of the building.

All facades of a building visible from adjacent properties or the public right-of-way should contribute to the pleasing scale features of the building by featuring characteristics similar to a front façade.

3.) Streetscape

The lot will establish a defined edge to the street through the use of walls, berms and landscaping (or combination thereof) to establish clear boundaries between the public and private spaces. These shall be built to a minimum of height three feet (3') and up to a maximum of six feet (6') after insuring for property ingress/egress visibility at access points.

Landscaping should also be used to screen operational elements of the development such as stacking lanes, driveways, parking, utilities and services.

Pedestrian walkways, patios, seating areas and other pedestrian areas should be landscaped to improve amenity, provide sun and wind protection, and encourage their use.



Buildings should form the street edge. It is important to screen views from the street edge of stacking lanes, driveways, parking, utilities and services to maintain an attractive and unified experience of the streetscape from the street. Trees and other soft landscaping should be planted to complement other screening measures

Minimum buildings heights of 25 feet to establish a streetscape in scale with street width is required. Main entrance doors are to be located so as to be directly accessible and visible from the sidewalks and public streets. All building entrances are safely and conveniently accessible from the parking lot.

Projections, recesses, arcades, awnings, color treatment and texture should be dispersed consistently to eliminate blank or featureless walls along all building facades.

Amenities, such as outdoor seating spaces and patios adjacent the building and close to the street are encouraged.

All rooftop and ground mounted mechanical equipment must be screened (visually and acoustically) so it is not visible from the public right-of-way.

4.) Site Size and Relationship to Adjacent Uses

Per Section 3.1.3 E, this building / lot type shall be comprised of 10,000 square feet or less of gross interior area and no more than 1.5 acres of lot or site area. A "site" shall include adjoining lots or land parcels that serve as ancillary or accessory to the generating use. For example, a parking lot on a separate lot to serve an adjacent restaurant.

Drive-through facilities are discouraged from locating adjacent to the Neighborhood Residential or Rural Residential districts. Where it is clearly demonstrated that this cannot be achieved, a Transitional Buffer Yard meeting the requirements of the City of Edwardsville Zoning Code Section 1228.05 is required. Additionally, the drive through queue and/or order box associated with a drive through facility shall be setback a minimum distance of 100 feet from the nearest lot line of any adjacent residential use.

Lighting sources shall be directed away from adjacent residential properties. Exterior outdoor lighting shall be confined to the site, with 0.0 footcandles shown on a photometric plan. Field measurements at the property line shall be taken to demonstrate no light spillover.

Drive throughs shall be limited to a maximum of two lanes.

5.) Site Access, Vehicular and Pedestrian Traffic

Ancillary/accessory drive-through facilities shall adhere to the following:

- a. Subject lot shall have frontage along a collector or an arterial street (as defined by the Land Development Code Table 5A) in the Mixed Use Commercial district;
- b. Access to and from the subject site shall meet the appropriate minimum distance spacing between driveways per the City of Edwardsville Land Development Code. On corner sites, vehicle access points must be from the secondary street (if applicable). The number of potential vehicular movements around the access location should be minimized.
- c. For lots without direct driveway access as provided in (b) above, drive through facilities shall provide an internal traffic circulation plan. This circulation plan must demonstrate how vehicular traffic will travel from the public street or alley to the subject tract and provide public cross-access easements to adjoining lots;
- d. A circulation plan which demonstrates pedestrian linkages to/from the building to all parking areas and the public street is required. Pedestrian paths shall use decorative pavement or painting and minimize locations where the path crosses drive aisles, stacking lanes or parking areas. The path shall adhere to Americans with Disabilities Act (ADA) and Illinois Accessibility Code standards.

6.) Stacking and queuing

Drive through plans must demonstrate adequate stacking space in the drive-through lanes. The drive through queue shall not overlap pedestrian paths or impede passage for required drive aisles. Queue lines which encroach onto adjoining lots/uses, off-site drive aisles or into the public street right of way shall not be permitted.

To the extent feasible, stacking lanes shall be designed to be linear and straight, with a minimum of curves and turning movements and not wrapped around the building. Where appropriate, an escape lane shall be provided.

There shall be a minimum distance of 3 car lengths between the entrance to the stacking lane and the access to the site from a street.

Stacking lanes shall not be within the front yard setback.

Stacking lanes/driveways shall not be located between the building and the street.

For restaurants, the recommended minimum total for vehicle stacking spaces is 10 in the drive-through aisle. Each stacking space length shall be 19 feet. For financial institutions and pharmacies, a minimum total of 4 vehicle stacking spaces in the

drive-through aisle. Applicants may provide evidence that a lesser number is reasonable at the time of site plan application to the Zoning Administrator.

In locating the stacking lane, blocking access to parking spaces and loading and service areas is to be avoided.

Clearly visible and appropriately placed directional signage at entrance and exit locations to stacking lanes is shall be provided. This signage shall conform to the Sign Ordinance.

3.4.6 Introduction to Architectural Standards for Residential

The following architectural standards apply to the Apartment / Condominium and the Townhouse Lot/Building Types. (For Villas/Attached, SF Detached, Estate, and Countryside Tract lot / building types, see Section 3.4.8). The purpose of these architectural standards for residential buildings include:

- A. Encouraging traditional residential building forms that reinforce the pedestrian orientation and desired visual quality of the various districts.
- B. Creating usable outdoor space in the front and rear of buildings through the arrangement of compatible residential buildings along street frontages.
- C. Encouraging residential buildings of compatible type and scale to have creative ornamentation using varied architectural styles.
- D. Enhancing the various districts as attractive destinations for working, living, recreation, entertainment, and/or shopping.
- E. Maintaining and enhancing the sense of place of each of the districts and their respective property values.

3.4.7 Architectural Standards for Residential Apartment / Condominium and the Townhouse Lot/Building Types

A. General Requirements

- 1. This section applies to Apartment/Condominiums and Townhouse lot types. See Section 3.4.8 for architectural standards for Villas/Attached, Single Family Detached, , Estate, and Countryside Tract, Lot/Building Types. Farm Lot/Building Types are exempt from architectural standards.
- 2. New residential buildings are oriented to public streets, sidewalks, plazas, courtyards and or other public spaces in order to establish a consistent and visually appealing street wall.
- 3. Streets: New residential buildings are generally oriented to public sidewalks. This section addresses other public open spaces that also can affect the orientation of residential buildings.
 - a. Plazas: This code contains build-to lines that require new residential buildings to be placed near public sidewalks. These build-to regulations allow up to fifty percent (50%) of a building's frontage to be recessed ten feet (10'). Plazas meeting the following requirements are permitted to be recessed farther than the standard ten feet (10').
 - i. The plaza cannot exceed twenty percent (20%) of a building's frontage.
 - ii. The plaza is strictly for pedestrian usage and cannot be used to park vehicles.
 - iii. All building walls that surround the plaza must meet the design criteria for principal façades.
 - b. Courtyards: New residential buildings that are on larger lots may include interior courtyards designed for public or private usage.

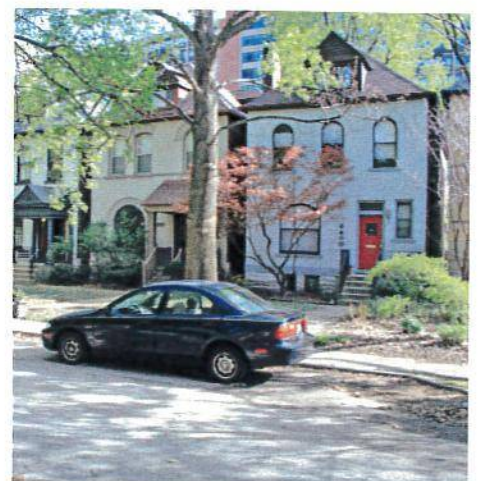
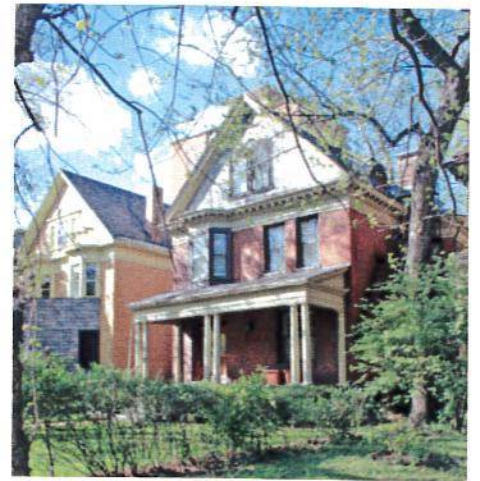
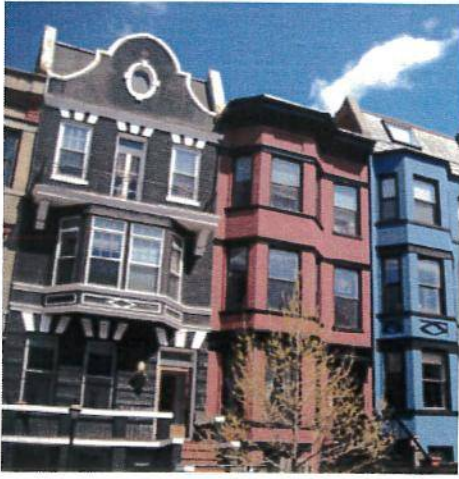
- i. If vehicular circulation is allowed through a courtyard, the only parking permitted will be in parallel spaces.
- ii. Courtyards intended for public use are encouraged to have clear visual linkages between the courtyard and public sidewalks.
- c. Pedestrian passages, with or without a lane for vehicles, can be provided on private property to connect a courtyard to the sidewalk system, to provide walkways to parking lots behind buildings, or to provide additional retail frontages.

B. Exterior Building Walls

1. Intent and Guiding Illustrations: Building walls should reflect and complement the traditional materials and techniques of the Midwest region. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials like masonry support lighter materials like wood.
2. Standards for Building Walls (Where clearly visible from the street)
 - a. Materials: The palette of wall materials should be kept to a modest number, preferably two (2) but not more than four (4). Using the same wall materials as adjacent or nearby buildings helps strengthen the district character. The following materials are permitted.
 - i. Primary Materials (seventy-five percent [75%] of FAÇADE or greater):
 1. Brick or tile masonry
 2. Native stone (or synthetic equivalent)
 3. Pre-cast masonry
 4. Stucco (cementitious finish)
 5. Siding (Vinyl with a minimum gauge of 0.044 inch, wood, or fiber cement siding e.g. HardiePlank)
 - ii. Secondary Materials (no greater than twenty-five percent [25%] of FAÇADE):
 1. Curtain Wall Systems should only be used for limited areas, such as connections between buildings, entrance lobbies, etc.
 2. Poured-in-place concrete.
 3. Brick or tile masonry
 4. Native stone (or synthetic equivalent)
 - iii. Accent Materials (no greater than five percent [5%] of façade):
 1. Gypsum Reinforced Fiber Concrete (for trim elements only)
 2. Metal (for beams, lintels, trim elements and ornamentation only)
 3. Ceramic tile
 - b. Configurations and Techniques: The following configurations and techniques are permitted:
 - i. Walls (Where clearly visible from the street)

1. Two or more wall materials may be combined on one façade only with one above the other with lighter materials above those more substantial (e.g. wood above stucco or masonry, or stucco above masonry) all dependent, however, upon the chosen style.
 2. The horizontal dimension of the wall opening shall not exceed the vertical dimension except where otherwise prescribed in this Code.
 3. Wall openings shall not span vertically more than one (1) story.
 4. Wall openings shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
 5. Material changes shall be made within a constructional logic as where an addition of a different material is built onto the original building.
 6. Wall materials shall be consistent horizontally (i.e. joints between different materials must be horizontal and continue around corners except for towers, chimney and piers.)
 7. If the building mass and pattern of windows and doors is complex, simple wall surfaces are preferable (e.g. stucco); if the building volume and the pattern of wall openings are simple, additional wall texture and articulation should be employed (e.g. bricks or blocks, rusticated stucco, ornamental reliefs). In both cases, pilasters, columns, and cornices should be used to add visual interest and pedestrian scale.
 8. All building elements that project from the building wall by more than sixteen inches (16"), including but not limited to decks, balconies, porch roofs and bays, shall be visibly supported by pilasters, piers, brackets, posts, columns, or beams that are sized proportionally to the structure above. This requirement does not apply to cantilevered elements that are typical for a specific style.
- ii. Side and rear building façades should have a level of trim and finish compatible with the front façade, particularly if they are visible from streets, adjacent parking areas or residential buildings.
 - iii. Blank wall areas without windows or doors are only permitted on internal-block side-property line walls and should reflect in basic terms the compositional standards in this Section and be provided with some surface relief.
 - iv. Wood Siding and Wood Simulation Materials:
 1. Lap siding (horizontal) configuration
 2. Smooth or rough-sawn finish
 3. No faux wood grain except fiber cement board (or similar material of equal or better quality) with wood grain appearance
 - v. Brick, Block, and Stone
 1. Must be detailed and in an appropriate load-bearing configurations.
 2. Veneers should be mortared to give the appearance of structural brick, block or stone. If veneers are used they should wrap around the building corners to minimize a veneer appearance.
 - vi. Stucco (cementitious finish)
 1. Smooth or sand only, no roughly textured finish.
 - vii. Parapet and Cornice Cap Flashings
 - A. Sheet metal parapet cap flashings should be painted to match wall or trim color.





C. Roofs and Parapets

1. Intent and Guiding Illustrations: Roof forms should complement the building mass and match the principal building in terms of style, detailing and materials in order to provide visual coherence to each of the districts. Double-pitched roofs (such as gable, hip, pyramid), dormer windows, and chimneys are possibilities for the residential buildings to add variety and visual interest. Flat parapet walls & roofs may be used on higher density residential buildings. Single-pitched or “shed” roofs should not be used for the principal building, and may only be attached to a main structure. All roofs and parapets should also demonstrate a common sense recognition of the climate by utilizing appropriate pitch, drainage, and materials.
2. Standards for Roofs and Parapets (Where clearly visible from the street)
 - a. Materials: The following materials are permitted.
 - i. Tile (barrel or flat roman)
 - ii. Slate (equivalent synthetic or better)
 - iii. Metal (standing seam, equivalent or better)
 - iv. Dimensional asphalt shingles
 - v. Cedar shingles
 - vi. For Parapet (flat) roofs (not visible from the street) asphalt with reflective finishes
 - vii. Green Roofs (Intensive or Extensive)
 - viii. Cornices and soffits may be a combination of wood, vinyl, and/or metal
 - ix. Parapet materials can be the same as primary wall materials
 - b. Configurations and Techniques: The following configurations and techniques are permitted.
 - i. Pitched Roofs
 1. Pitch (exclusive of roofs behind parapet walls)
 2. Simple hip and gable roofs shall be symmetrically pitched between 4:12 and 10:12.
 3. Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.
 - ii. Mansard Roofs
 1. Mansards should only be used when emulating a traditional building style that typically employs mansard roofs, e.g. Beaux Arts, Victorian, etc.
 2. Mansard Roofs should occur in tandem with dormer windows and other architectural features in buildings that are three (3) stories or higher.

iii. Overhangs

1. Eaves must overhang eighteen to thirty inches (18" to 30") on the primary structure for the initial four (4) stories. For each additional story; six inches (6") shall be added to the minimum and twelve inches (12") shall be added to the maximum, up to a maximum projection of seven feet (7').
2. Gable end rakes must overhang at least twenty-four inches (24").
3. Eaves and rakes on accessory buildings, dormers, and other smaller structures must overhang at least eight inches (8").
4. Eave and balcony brackets must be a minimum of five inches by five inches (5" x 5") in dimension.
5. Open Eaves and simple classical soffits and fascia are allowed.

iv. Cornice and Coping Standards for Parapet Roofs

1. Allowed only for sites where the roof material is not visible from any adjacent street space.
2. Parapet walls should have a distinct shape or profile, e.g. a gable, arc, or raised center.

v. Cornices and Other Features

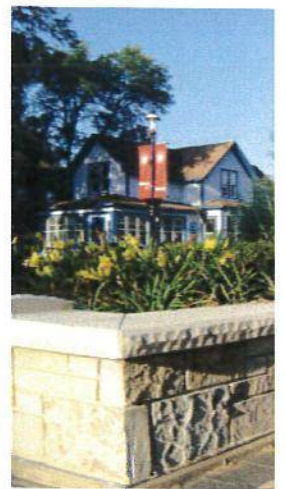
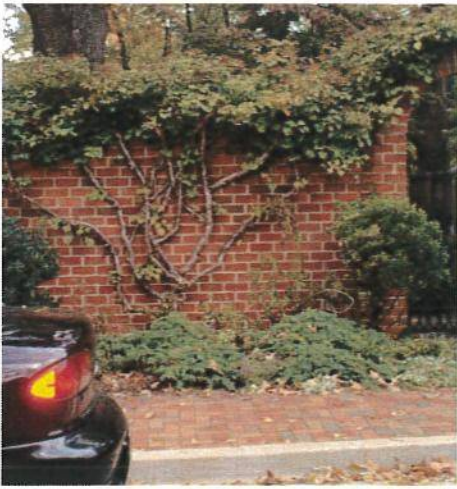
1. Buildings without visible roof surfaces and overhanging eaves may satisfy the overhang requirement with a cornice projecting horizontally between six and twelve inches (6" and 12") beyond the building walls on the primary structure for the initial four (4) stories. For each additional story six inches (6") shall be added to the minimum and twelve inches (12") shall be added to the maximum, up to a maximum projection of six feet (6').
2. Skylights and roof vents are permitted only on the roof plane when shielded from street space view by the building's parapet wall.

- c. Roof mounted equipment shall be placed away from the primary street and be screened from view from the street.



D. Street Walls and Garden Walls

1. Intent and Guiding Illustrations: Street and garden walls establish a defined edge to the street where the building walls do not exist and should be used to define the public and private boundaries and spaces. The Ordinance requirements include masonry walls that define outdoor spaces and separate the street from the private realm (parking lots, trash cans, gardens, and equipment). All street and garden wall façades shall be as carefully designed as the building façade, with the finished side facing the street.
2. Standards for Street and Garden Walls (Where clearly visible from the street)
 - a. Street and garden wall is a masonry wall set back not more than thirty six inches (36") from the property line or adjacent building façade and built to a maximum height of six feet (6') and minimum of three feet (3'). A vehicle entry gate and a pedestrian entry gate are both permitted within any required street and garden wall length. Certification of the wall and its foundation by an structural engineer required for Street and Garden Walls over 48 inches in height.
 - i. Materials: The following materials are permitted and should be compatible with the principal building although post or pier materials may differ from fence materials, such as metal fences with masonry piers:
 1. Native/regional stone and equivalent imitation stone
 2. Metal (wrought iron, welded steel and/or aluminum)
 3. Brick
 4. Stucco on poured concrete or concrete block only with brick or stone coping
 5. A combination of materials (e.g. stone piers with brick infill panels)
 - ii. Configurations and Techniques: The following configurations and techniques are permitted:
 1. Street Walls shall be built along any unbuilt lot line to the height specified above.
 2. Street and Gardens Walls including fences, wall panels and piers should be designed to be compatible with the character of the principal building(s) and be divided into regular modules that reflect the proportional system of the principal building(s).
 3. Metal work may be treated or painted
 4. Walls should have a base and coping
 5. Copings shall project between one-half inch (1/2") and four inches (4") from the face of the wall.



E. Building Entrances, Windows and Doors

1. Intent and Guiding Illustrations: The placement, type, and size of windows and doors help to establish the scale and vitality of the street and are an important element of a buildings composition and an indicator of overall building quality. For residential streets, they foster the “eyes on the street” surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window hold the surface of the façade, rather than appearing like a hole in the wall (an effect produced by a large single sheet of glass).
2. Standards for Building Entrances, Windows and Doors (Where clearly visible from the street)
 - a. Materials: The following materials are permitted:
 - i. Windows shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
 - ii. Window glass shall be clear, with light transmission at the ground story at least 90 percent (90%) and for the upper floors seventy percent (75%) (modification as necessary to meet any applicable building and energy code requirements).
 - iii. Specialty windows (one [1] per façade maximum) may utilize stained, opalescent, or glass block.
 - iv. Window screens shall be black or gray.
 - v. Screen frames shall match window frame material or be dark anodized.
 - vi. Doors shall be of wood, clad wood, or steel and may include glass panes.
 - b. Configurations and Techniques: The following configurations and techniques are permitted:
 - i. The following requirements apply to building entrances:
 1. Main building entrances should face and open to the street and should be easily identifiable and distinguishable from first floor façades with common spaces or residential. At least one (1) of the following treatments is recommended:
 - a. Marked by a taller mass above, such as a tower, or within a volume that protrudes from the rest of the building surface
 - b. Located in the center of the façade, as part of a symmetrical overall composition
 - c. Accented by architectural elements, such as columns, overhanging roofs, awnings, and ornamental light fixtures
 - d. Marked or accented by a change in the roofline or change in the roof type
 1. Building entrances to upper floors should be directly visible from the street and easy to identify.
 2. Corner buildings should provide prominent corner entrances for common spaces, shops, and other activity-generating uses.

ii. The following requirements apply to all windows:

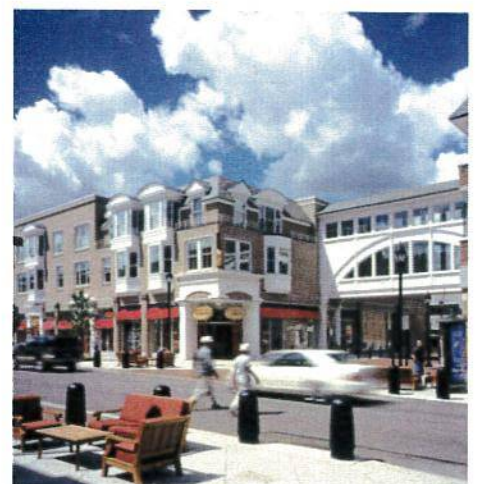
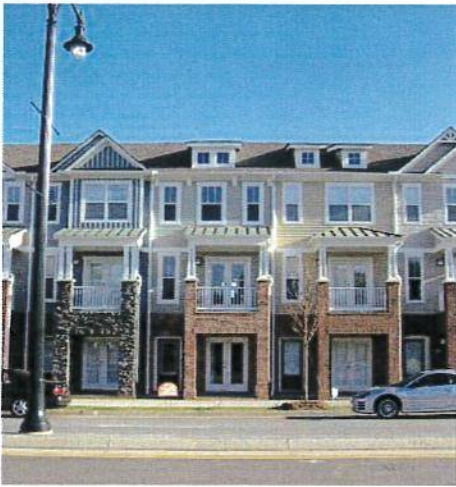
1. All windows within a building, large or small, should be related in operating type, proportions, and trim. Other unifying elements should be used, such as common sill or header lines.
2. The horizontal dimension of the opening shall not exceed the vertical dimension except where otherwise prescribed in this Code.
3. Windows may be grouped horizontally if each grouping is separated by a mullion, column, pier or wall section that is at least seven inches (7") wide.
4. Windows shall be no closer than thirty inches (30") to building corners excluding bay windows.
5. Shaped frames, lintels and sills should be used to enhance openings and add additional relief. They should be proportional to the glass area framed; e.g. a larger window should have thicker framing members.
6. Glass should be inset a minimum of three inches (3") from the exterior wall surface to add relief to the wall surface.
7. Clear glazing is strongly recommended. Reflective glazing should not be used. If tinted glazing is used, the tint should be kept as light as possible.
8. Mullions should be reflective of true divided light windows or sectional windows. Where a divided window design is desired; snap-in grilles or mullions should not be used.

iii. The following requirements apply to all upper floor windows:

1. Windows shall be double-hung, single-hung, awning, or casement windows.
2. Fixed windows are permitted only as a component of a system including operable windows within a single wall opening.
3. Panes of glass no larger than thirty-six inches (36") vertical by thirty inches (30") horizontal.
4. Egress windows should be installed according to the appropriate building code.

iv. The following apply to doors:

1. Doors should be substantial and well detailed, and should match the materials, design and character of the display window framing.
2. Double-height entryways (those that span more than one [1] story) are not allowed.
3. Doors shall not be recessed more than three feet (3') behind the ground floor windows and, in any case, shall have a clear view and path to a forty-five degree (45°) angle past the perpendicular from each side of the doors.



F. Miscellaneous Building Elements

1. Accessory Buildings of all types should have architectural treatments derived from the main building: surface materials, trim, fenestration, roof materials, and colors and if freestanding should be unobtrusive, preferably located at the rear of properties to minimize visual impact.
2. Awnings, Trellises and Canopies: Materials, colors, and form should be derived from the building architecture. They should be a minimum of eight feet (8') above the sidewalk, and project no more than seven feet (7') out from the building wall. They should be above the display windows and below the storefront cornice or sign panel. They should not cover piers, pilasters, clerestory windows or other architectural features. An individual awning or canopy for each storefront or building bay complements the building more effectively than one continuous awning does. Backlit awnings are not permitted.
3. Other Building and Site Accessories: Colorful banners should be used to add variety to the street. Ornamental brackets and poles add further interest. Hanging flower or plant baskets suspended from ornamental brackets of metal or wood are recommended. Ornamental Lighting for porches and walks should add attractiveness, safety, and security and be in the same character as the primary structure.
4. Stairs: All stairs should be boxed and framed by attractive stepped bulkheads walls or balustrade railings. Bullnose treads are recommended. Open or "floating" exterior stairs should not be used.
5. Open Porches and Balconies: Should have attractive bulkheads or balustrade railings and in the case of an open porch a roof that complements the pitch and materials of the main roof.
6. Freestanding Landscape Elements such as trellises, arbors, and special landscape materials that add character to yard spaces and / or accent the entry sequence are encouraged.
7. Mechanical Equipment: The following mechanical equipment shall be placed away from any primary street and be screened from view from the street: air compressors, air-conditioning/heating units; electrical generators mechanical pumps, exterior water heaters, water softeners, utility and telephone company meters or boxes, garbage cans, storage tanks, and the like. Similarly none of the above may be stored or located within any area considered a street.

3.4.8 Architectural standards for Villas/Attached, Single Family Detached, Estate, and Countryside Tract Lot/Building Types

A. General Requirements

The architectural standards in this section apply to the following lot/building types: Villas/Attached, Single Family Detached, Estate, and Countryside Tracts. Farm Lot/Building Types are exempt from architectural standards.

All structures shall have the equivalent of a minimum of thirty-five percent (35%) of the exterior walls constructed of brick, brick veneer, stone, masonry, masonry veneer, EIFS (Exterior Insulation Finishing System), stucco, and/or precast concrete from the ground level (the building foundation) to the building's eaves (excluding gables, dormers, openings for windows and doors, and trim). While the "equivalent of 35%" square footage amount must be met, home owners/ builders are provided flexibility with regard to being able to move the square footage to different sides of the building. However, at least 35% of the front of the house MUST be comprised of the materials so stated in this paragraph. Example: Builder has determined that 35% is 500 sq ft in brick/stone on the "east face" of a building. Builder then re-allocates 200 square feet of this 500 sq ft from the "east face" brick/stone to the "west face." The east face is now less than 35% brick/stone but the west face exceeds 35% brick/stone. However, the front of the home MUST be at least 35% brick/stone.

For the purposes of Section 3.4.8, the "front of the house" is comprised of all exterior surface areas between the outer most, forward corners on each side of the structure.

3.5 STREETScape STANDARDS

The applicable jurisdiction's requirements apply.

3.6 LANDSCAPE STANDARDS

The applicable jurisdiction's requirements apply.

3.7 PARKING STANDARDS

The applicable jurisdiction's requirements apply.

3.8 SIGN STANDARDS

The applicable jurisdiction's requirements apply.

3.9 OUTDOOR LIGHTING

The applicable jurisdiction's requirements apply.

3.10 LIGHTING STANDARDS

The applicable jurisdiction's requirements apply.

3.11 OUTDOOR DISPLAY AND STORAGE

The applicable jurisdiction's requirements apply.

3.12 INFRASTRUCTURE STANDARDS

The applicable jurisdiction's requirements apply.

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4.0 PLANNED UNIT DEVELOPMENT

4.1 SCOPE

This article applies to planned unit development (PUD) overlay zoning.

4.2 APPLICABILITY

The PUD regulations are applicable in all zoning districts where a PUD overlay zone has been approved by the governing body of the participating government (Edwardsville City Council, Glen Carbon Village Board, and Madison County Board). The PUD regulations can be used for developments meeting the following criteria:

Minimum Size: A tract of land of no less than 1 acre, except as provided elsewhere in this ordinance, and that is developed as a unit under single or unified ownership or control.

Minimum Number and Configuration of Buildings: A development that includes two or more principal buildings but which may consist of one building containing a combination of principal and supportive uses.

Consistency with Zoning District: Uses not otherwise allowed in the zoning district are prohibited within a PUD.

4.3 FLEXIBILITY ON ZONING STANDARDS

PUDs may allow subdivision and development design elements not otherwise permitted in Article 3 Development Standards of the I-55 Development Code if specific conditions are met. Specifically, PUDs can allow for deviation from requirements of Article 3 if the following two criteria are addressed in writing at the time of PUD submission:

- A. **Elements for Flexibility:** Flexibility in the PUD subdivision and development design may be granted if the property owner and/or developer is seeking one or more of the following:
1. Non-standard lot sizes or the use of building envelopes.
 2. Higher density of housing units or floor-to-area ratios for commercial uses
 3. Reduced rights-of-way and street widths
 4. Broader range of housing types
 5. Land use mix, excluding uses that are not permitted in the zoning district
 6. Zero lot lines and other modifications to minimum or maximum building setbacks
 7. Building layout: Clustering of buildings in order to protect natural areas and make more efficient use of available land.

B. Conditions for Approval: I-55 Corridor Plan participating governments may approve the planned unit development only if it finds that the development satisfies all of the following standards:

1. Consistent with the I-55 Corridor Plan: The planned unit development advances I-55 Corridor's goals and requirements, including both area-wide goals/requirements of the I-55 Corridor Plan and the area goals/requirements within the Development District where the PUD will be located. These are found in Articles 1, 3, 4, 5, and 6 of the I-55 Development Code.
2. Consistent with the Land Development/Zoning Requirements of Participating Governments: In areas where a topic is not addressed by the I-55 Corridor Development Code or the I-55 Corridor Development Code refers to the development requirements of the participating government, the planned unit development advances the development goals/requirements of the participating government with jurisdiction over the proposed PUD property.
3. Protects and Unifies Natural Systems: The planned unit development creates an effective and unified treatment of the development and preservation possibilities on the project site. The development plan must provide for the preservation or creation of unique amenities such as natural streams, stream banks and shore buffers, wooded cover, rough terrain, man-made landforms or landscaping and similar areas.
4. Integrated with Surrounding Uses: The planned unit development is planned and developed to harmonize with existing or proposed development in the areas surrounding the project site.
5. Ensures Sustainable Design of Buildings: The applicant ensures that buildings will be designed and constructed consistence with and according to the design standards adopted by I-55 Corridor Development Code.
6. Ownership: The tract under consideration is under single ownership or control or a formalized written and legal partnership exists among adjacent land owners.
7. Minimum Size: The tract is at least 1 acre in size.
8. Service Area: The proposed tract is within I-55 Corridor Plan area.

NOTE: The City of Edwardsville will utilize Chapter 1243 (Planned Unit Developments) in conjunction with the provisions of this Chapter for review of PUDs within its corporate limits.

4.4 EFFECT ON EXISTING ZONING

The granting of a PUD does not alter in any manner the existing zoning district classification except that building permits shall not be issued unless in conformity pursuant to an approved PUD and development agreement. Whenever a question arises concerning the interpretation of this article, it shall be the duty of the planning and zoning commission of the local government with jurisdiction to ascertain all facts concerning the question and forward all data and a recommendation to the respective city council, village board, or county board commission for a determination.

4.5 DENSITY

In any planned unit development the maximum number of dwelling units allowed shall not exceed the density identified for that site in the I-55 Development Code, except as noted below.

- A. Optional Waiver of Lot Size, Setback Requirements: Zoning and subdivision standards relating to lot size and setback may be modified when a PUD is submitted for approval. Increased residential densities and open space areas may be subject to additional design conditions that are necessary, in the judgment of governing community, to meet I-55 Corridor Plan goals.
- C. Minimum Lot Size for Single Family Homes: Up to 40 percent of single-family detached home lots in a single development may use reduced lot areas. Lot areas must have a minimum of 4,000 contiguous square feet of lot area.

4.6 COORDINATION WITH SUBDIVISION REGULATIONS

- A. Simultaneous Subdivision Review: Subdivision review must be carried out simultaneously with the review of a planned unit development.
- B. Preliminary and Final Plats: The plans required under this article must be submitted in a form that will satisfy the governing community's (Edwardsville, Glen Carbon or Madison County) subdivision requirements for the preliminary and final plats.
- C. Flexibility of Subdivision Standards: Flexibility of design standards and criteria of the governing community's land development and/or subdivision ordinance(s) may be allowed as part of a planned unit development if the governing community's land development / subdivision process(es) allow(s) for this flexibility. Consultation with the appropriate governing community's planning staff is encouraged in order to determine if and how this can be facilitated.

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5.0 LAND USES

5.1 PURPOSE

This chapter establishes the permitted land uses within each lot type.

5.2 LAND USES BY LOT TYPE

Where the letter “P” is shown in the table, the land use is permitted-by-right for the lot type. Where the letter “S” is shown in the table, the land use is permitted only through a special use permit.

Exception: The “Small Box Retail/Drive Through” building/lot type is a use which can only be placed in the Mixed Use Commercial Development District and can only be so placed after a determination has been made by staff that all requirements of this section as well as Section 3.1.3E and Section 3.4.5.2. Only the following uses shall be allowed for a Drive Through or Small Box Retail Building (as defined in Section 3.1.3E Utility Drive Through building/lot type) in Mixed Use Commercial (NAISC Code in parens):

- Limited-Service (Fast Food) Restaurants and Snack and Nonalcoholic Beverage Bars (722513 and 722515)
- Commercial Banking, Savings, and Credit Unions (5221)
- Gasoline Stations (with or without convenience stores) (44711, 44719)
- Pharmacies and Drug Stores (44611)

These uses must be comprised of 10,000 square feet or less of gross interior area and 1.5 acres or less of lot or site size. A “site” shall include adjoining lots or land parcels that serve as ancillary or accessory to the generating use. For example, a parking lot on a separate lot to serve an adjacent restaurant.

As part of the review process, staff will also determine the NAICS Land Use Code assigned to this building/lot type. For example, staff would assign NAICS Code 44711 to a “Gasoline Station with Convenience Store.” Changes or additions in assigned Land Uses require application by the property owner or business and review by staff. For example, if a Gasoline Station with Convenience Store seeks to add a fast food restaurant as an additional land use, staff will consider NAICS Code 722513 “Limited Service Restaurants” as it applies to the sections of the Development Code noted above.

5.3 NAICS CODE

Unless otherwise noted, the North American Industry Classification System (NAICS), as periodically updated, is the basis for determining the use of property permitted within each lot type. All land uses are identified by a NAICS number and can be looked up in the NAICS manual, which can be accessed on the web at <http://www.census.gov/eos/www/naics/>.

Printed sections of the NAICS can be made available on request.

5.4 PROHIBITED USES

Except as noted for Small Box Retail / Drive Through building/lot type in Section 5.2, when a land use is not specifically identified as permitted-by-right (“P”) or as a special use (“S”) or when the land use is not listed in the tables, it shall be assumed that the land use is expressly prohibited.

Residential Land Uses

		Lot Types									
		NAICS Code	Mixed-Use Building	Live/Work Building	Apartment/Condominium	Townhouses	Villa/Attached	Single Family Detached	Estate	Countryside Tract	Farm
Residential	Dwelling, Single Family Detached	1510						P	P	P	P
	Dwelling, Single Family Attached	1520				P	P				
	Dwelling, Two Family Attached Duplex	1530				P					
	Dwelling, Multi-Family	1540	P		P						
	Modular Home	1560						P	P	P	P
	Dwelling, Loft	1570	P								
	Home Occupations		*	*	*	*	*	*	*	*	*
P- Permitted-by-right/S-Permitted only through a special use permit *Home Occupations in City of Edwardsville subject to provisions of ordinance 1248.02.7 – Home Occupations. See Zoning Administrator.											

Retail Land Uses

		NAICS Code	Commercial, Primary	Commercial, Urban	Parking Garage/Liner Building	Office Building	Small Box Retail / Drive-Through (see Section 5.2)	Institutional	Civic	Mixed-Use Building
Retail Trade	Furniture & Home Furnishings Stores	442	P	P		P				P
	Electronics & Appliance Stores	4431	P	P		P				P
	Building Materials & Supplies Dealers	4441	P	P		P				P
	Lawn & Garden Equipment & Supplies Stores	4442	P	P		P				P
	Supermarkets & Other Grocery Stores (Except Convenience Stores)	44511	P	P		P				P
	Convenience Stores	44512	P	P		P	Z			P
	Specialty Food Stores	4452	P	P		P				P
	Beer, Wine & Liquor Stores	4453	P	P		P	Z			P
	Health & Personal Care Stores	446	P	P		P	Z for Pharmacies & Drug Stores (44611)			P
	Gasoline Stations w/ Convenience Stores ¹	44711					Z			
	Other Gasoline Stations ²	44719					Z			
	Clothing & Clothing Accessory Stores	448	P	P		P				P
	Sporting Goods, Hobby & Musical Instrument & Book Stores	451	P	P		P				P
	Department Stores (Including Discount)	452111	P	P		P				P
	Other General Merchandise Stores	4529	P	P		P				P
	Florists	4531	P	P		P				P
	Office Supplies, Stationary & Gift Stores	4532	P	P		P				P
	Used Merchandise Stores	4533	P	P		P				P
	Other Miscellaneous Store Retailers	4539	P	P		P				P
	Non-Store Retailers	454	P	P		P				P
P- Permitted-by-right/Z-Permitted only after review for compliance with Section 5.2.										

¹ If the gas station with convenience store site is comprised of 1.5 acres or less and the interior gross floor area of the principal building is 10,000 sq ft or less. "Truck stops" and truck parking in association with this use, whether on the same lot or on an adjacent lot, shall be expressly prohibited.

² If the gas station site is comprised of 1.5 acres or less and the interior gross floor area of the principal building is 10,000 sq ft or less. "Truck stops" and truck parking in association with this use, whether on the same lot or on an adjacent lot, shall be expressly prohibited.

Office Land Use

		NAICS Code	Commercial, Primary	Commercial, Urban	Parking Garage/Liner Building	Office Building	Utility, Drive-Through (see Page 116)	Institutional	Civic	Mixed-Use Building	Live/Work Building
Information	Publishing Industries	511	P	P		P				P	S
	Motion Picture & Sound Recording Industries	512	P	P		P				P	S
	Broadcasting (Except Internet)	515	P	P		P				P	S
	Telecommunications	517	P	P		P				P	S
	Data Process, Hosting & Related Services	518	P	P		P				P	S
Finance, Insurance & Real Estate; Professional, Scientific & Technical Services	Monetary Authorities - Central Bank	521	P	P		P				P	S
	Depository Credit Intermediation	5221	P	P		P	Z			P	S
	Credit Card Issuing	52221	P	P		P				P	S
	Sales Financing	52222	P	P		P				P	S
	Real Estate Credit	522292	P	P		P				P	S
	International Trade Financing	522293	P	P		P				P	S
	Secondary Market Financing	522294	P	P		P				P	S
	Activities Related to Credit Intermediation	5223	P	P		P				P	S
	Securities, Commodity Contracts & Other Financial Investment Activities	523	P	P		P				P	S
	Insurance Carriers & Related Activities	524	P	P		P				P	S
	Funds, Trusts & Other Financial Vehicles	525	P	P		P				P	S
	Offices of Real Estate Agents and Brokers	531210	P	P		P				P	S
	Residential and Nonresidential Property Managers	531311/531312	P	P		P				P	S
	Offices of Real Estate Appraisers and Related Activities	531320/531390	P	P		P				P	S
	Rental of Consumer Electronics & Appliances, Formal Wear & Costumes, Video Tape & Discs, Home Health Equipment, and Recreational Goods	532210 to 532299	P	P		P				P	
	General Rental Centers ³	532310	P	P		P				P	
	Professional, Scientific & Technical Services ⁴	541	P	P		P				P	S

P- Permitted-by-right/S-Permitted only through a special use permit/ Z-Permitted only after review for compliance with Section 5.2.

³ No exterior storage of products, supplies, machinery or equipment. Use must take place entirely within a completely enclosed building.

⁴ No exterior storage of products, supplies, machinery or equipment. Use must take place entirely within a completely enclosed building.

Institutional Land Uses

		NAICS Code	Commercial, Primary	Commercial, Urban	Parking Garage/Liner Building	Office Building	Utility, Drive-Through (see Page 116)	Institutional	Civic	Mixed-Use Building	Live/Work Building	Single Family Detached	Estate	Countryside Tract	Farm
Education Services	Elementary & Secondary Schools	6111	P	P		P		P	P	P					
	Junior Colleges	6112	P	P		P		P	P	P					
	Colleges, Universities & Professional Schools	6113	P	P		P		P	P	P					
	Business Schools & Computer Management Training	6114	P	P		P		P	P	P					
	Technical & Trade Schools	6115	P	P		P		P	P	P					
	Others Schools & Institutions	6116	P	P		P		P	P	P					
	Education Support Services	6117	P	P		P		P	P	P					
P- Permitted-by-right/S-Permitted only through a special use permit															

Health and Personal Services Land Uses

		NAICS Code	Commercial, Primary	Commercial, Urban	Parking Garage/Liner Building	Office Building	Utility, Drive-Through (see Page 116)	Institutional	Civic	Mixed-Use Building
Health Care & Social Assistance	Office of Physicians	6211	P	P		P		P		P
	Offices of Dentists	6212	P	P		P		P		P
	Offices of Other Health Care Practitioners	6213	P	P		P		P		P
	Outpatient Care Centers	6214	P	P		P		P		P
	Medical & Diagnostic Laboratories	6215	P	P		P		P		P
	Home Health Services	6216	P	P		P		P		P
	Other Ambulatory Health Care Services	6219	P	P		P		P		P
	General Medical & Surgical Hospitals	6221	P	P		P		P		P
	Psychiatric & Substance Abuse Hospitals	6222	P	P		P		P		P
	Specialty (Except Psychiatric & Substance Abuse) Hospitals	6223	P	P		P		P		P
	Nursing Care Facilities (Skilled Nursing Facilities)	6231	P	P		P		P		P
	Residential Intellectual & Developmental Disability, Mental Health & Substance Abuse Facilities	6232	P	P		P		P		P
	Continuing Care Retirement Communities & Assisted Living Facilities for the Elderly (which meet 1248.02.28)	6233	P	P		P		P		P
	Other Residential Care Facilities (which meet 1248.02.28)	6239	P	P		P		P		P
	Individual & Family Care Services (which meet 1248.02.28)	6241	P	P		P		P		P
	Community Food Services	62421	P	P		P		P		P
	Emergency & Other Relief Services	62423	P	P		P		P		P
	Vocational Rehabilitation Services	6243	P	P		P		P		P
	Child Day Care Services (which meet 1248.02.28)	6244	P	P		P		P		P

Other Land Uses

		NAICS Code	Commercial Primary	Urban Commercial	Garage/Linear Building	Office Building	Utility, Drive Through (see Page 116)	Institutional	Civic	Mixed Use
	Performing Arts, Spectator Sports, and Related Industries	711	P	P		P		P	P	P
	Museums, Historical Sites, and Similar Institutions	712	P	P		P		P	P	P
	Hotels and Motels, Bed and Breakfast Inns	721110, 721191	P	P		P				P
	Food Services and Drinking Places	722	P	P		P	"Z" for Snack & Non- alcoholic Beverage Bars and Limited- Service Restaurants (722513, 722515)	P		P
Other Services	Electronic & Precision Equipment Repair & Maintenance	8112	P	P		P		P		P
	Personal & Household Good Repair & Maintenance	8114	P	P		P		P		P
	Hair, Nail & Skin Care Services	81211	P	P		P		P		P
	Other Personal Care Services	81219	P	P		P		P		P
	Funeral Homes & Funeral Services	81221	P	P		P		P		P
	Cemeteries & Crematories	81222	P	P		P		P		P
	Dry Cleaning & Laundry Services	8123	P	P		P		P		P
	Pet Care (Except Veterinary Services)	81290	P	P		P		P		P
	Kennel (if consistent with 1248.02.12)	812911	P	P		P		P		P
	Parking Lots & Garages	81293	P	P	P	P		P	P	P
	All Other Personal Services	81299	P	P		P		P		P
	Religious Organizations	8131	P	P		P		P	P	P
	Grantmaking & Giving Services	8132	P	P		P		P		P
	Social Advocacy Organizations	8133	P	P		P		P		P
	Civic & Social Organizations	8134	P	P		P		P		P
	Business, Professional, Labor, Political & Similar Organizations	8139	P	P		P		P		P
	Executive, Legislature, and Other General Government Support	921	P	P		P		P	P	P

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