

**VILLAGE OF HINSDALE
MINUTES OF THE SPECIAL MEETING
ZONING BOARD OF APPEALS
February 19, 2014**

1. CALL TO ORDER

Chairman Debra Braselton called the specially scheduled meeting of the Zoning Board of Appeals to order on Wednesday, February 19, 2014 at 6:37 p.m. in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, Illinois.

2. ROLL CALL

Present: Chairman Debra Braselton, Members Marc Connelly, Gary Moberly, Bob Neiman, John Callahan and Rody Biggert

Absent: Member Keith Giltner

Also Present: Director of Community Development/Building Commissioner Robb McGinnis and Village Clerk Christine Bruton

3. APPROVAL OF MINUTES – January 15, 2014

Chairman Braselton made corrections to the draft minutes. Member Connelly moved to **approve the minutes of the regularly scheduled meeting of January 15, 2014, as amended.** Member Biggert seconded the motion.

AYES: Members Connelly, Moberly, Neiman, Biggert and Chairman Braselton

NAYS: None

ABSTAIN: Member Callahan

ABSENT: Member Giltner

Motion carried.

4. APPROVAL OF FINAL DECISION

a) V-14-13, 125 W. 2nd Street

Following corrections to the draft Final Decision, Member Moberly moved to **approve the Final Decision for V-14-14, 125 W. 2nd Street.** Member Moberly seconded the motion.

1 **AYES:** Members Connelly, Moberly, Neiman, Biggert and Chairman
2 Braselton

3 **NAYS:** None

4 **ABSTAIN:** Member Callahan

5 **ABSENT:** Member Giltner

6
7 Motion carried.
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10 **5. RECEIPT OF APPEARANCES – None**
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12

13 **6. RECEIPT OF REQUESTS, MOTIONS, PLEADINGS, OR REQUESTS**
14 **TO MAKE PUBLIC COMMENT OF A GENERAL NATURE – None**
15
16

17 **7. PRE-HEARING AND AGENDA SETTING**

18 Chairman Braselton stated that although we do not have a pre-hearing this
19 evening, we will have a public hearing next month. The applicant and
20 owner of 330 Chestnut has waived pre-hearing. She also noted this Board
21 had heard and approved this request a few months ago. Director of
22 Community Development Robb McGinnis explained this is the triangle
23 piece of land on the tracks behind Grant Square. The ZBA approved the
24 setbacks for the building, but the application did not specifically ask for
25 parking setback relief. Therefore, our attorney advised they come back to
26 the ZBA for complete approvals. The Public Hearing will be heard at the
27 March 19th meeting.
28
29

30 **8. PUBLIC HEARINGS – None**
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32

33 **9. NEW BUSINESS – None**
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36 **10. UNFINISHED BUSINESS – None**
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1 **11. ADJOURNMENT**

2 With no further business before the Zoning Board of Appeals, Member
3 Moberly made a motion to **adjourn the meeting of the Zoning Board of**
4 **Appeals of February 19, 2014.** Member Biggert seconded the motion.
5

6 **AYES:** Members Connelly, Moberly, Neiman, Callahan, Biggert and
7 Chairman Braselton

8 **NAYS:** None

9 **ABSTAIN:** None

10 **ABSENT:** Member Giltner
11

12 Motion carried.
13

14 Chairman Braselton declared the meeting adjourned at 6:42 p.m.
15
16
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18
19

20 Approved: _____

21 _____
22 Christine M. Bruton
23 Village Clerk

MEMORANDUM

TO: Chairman Braselton and Members of the Zoning Board of Appeals

FROM: Robert McGinnis MCP
Director of Community Development/ Building Commissioner

DATE: February 24, 2014

RE: Zoning Variation – V-01-14; 330 Chestnut

In this application for variation, the applicant requests relief from the front and rear yard setbacks set forth in 5-110, 9-104, and 9-107 in order to construct a new commercial building and parking lot on the site.

The specific code sections are as follows;

- 5' front yard building setback vs. code required 25' (5-110(C))
- 1' rear yard setback vs. code required 20' (5-110(C))
- 0' rear yard landscape buffer vs. code required 10' (9-107(A))
- 2'1" front yard landscape buffer vs. code required 10' (9-107(A))
- 2'1" front yard setback for parking lot and driveway turnaround vs. code required 25' (5-110(C))
- Relief to permit parking in the front yard (9-104 (G)2b)
- Elimination of loading space; 1 required (9-105(D))

This property is located in the B-3 Business District in the Village of Hinsdale and is located on the south side of Chestnut Street between Vine and Clay. The property is irregularly shaped and has a total square footage of approximately 24,090. The maximum FAR is 50% or 12,045. The Total Lot Coverage is 90% or approximately 21,681 square feet.

cc: Kathleen Gargano, Village Manager
Zoning file V-01-14

Zoning Calendar No. V-01-14

VILLAGE OF HINSDALE
APPLICATION FOR VARIATION

COMPLETE APPLICATION CONSISTS OF (10) COPIES
(All materials to be collated)

FILING FEES: \$850.00

NAME OF APPLICANT(S): Hinsdale Land Restoration and Preservation, LLC

ADDRESS OF SUBJECT PROPERTY: 330 Chestnut Street Hinsdale IL

TELEPHONE NUMBER(S): (415) 830 0649

If Applicant is not property owner, Applicant's relationship to property owner.

DATE OF APPLICATION: February 21, 2014



RECEIVED
Ch 2/25/14

SECTION I

Please complete the following:

1. **Owner.** Name, address, and **telephone number** of owner: Sharon Habiger 133 North Washington Street, Hinsdale IL 60521
2. **Trustee Disclosure.** In the case of a land trust the name, address, and **telephone number** of all trustees and beneficiaries of the trust: NA

3. **Applicant.** Name, address, and **telephone number** of applicant, if different from owner, and applicant's interest in the subject property: Agent of applicant Culligan Abraham Architecture (Bernie Bartelli) 148 W. Burlington Ave. Clarendon Hills, IL 60514 630-655-9417

4. **Subject Property.** Address and legal description of the subject property: (Use separate sheet for legal description if necessary.) See Attached

5. **Consultants.** Name and address of each professional consultant advising applicant with respect to this application:
 - a. Attorney: _____
 - b. Engineer: Ridgeline Consultants 630-801 -7927
 - c. Architect: Culligan Abraham Architecture 630-655-9417
 - d. _____

6. Village Personnel. Name and address of any officer or employee of the Village with an interest in the Owner, the Applicant, or the Subject Property, and the nature and extent of that interest:

a. _____
b. _____

7. Neighboring Owners. Submit with this application a list showing the name and address of each owner of (1) property within 250 lineal feet in all directions from the subject property; and (2) property located on the same frontage or frontages as the front lot line or corner side lot line of the subject property or on a frontage directly opposite any such frontage or on a frontage immediately adjoining or across an alley from any such frontage.

After the Village has prepared the legal notice, the applicant/agent must mail by certified mail, "return receipt requested" to each property owner/ occupant. The applicant/agent must then fill out, sign, and notarize the "Certification of Proper Notice" form, returning that form and all certified mail receipts to the Village.

8. Survey. Submit with this application a recent survey, certified by a registered land surveyor, showing existing lot lines and dimensions, as well as all easements, all public and private rights-of-way, and all streets across and adjacent to the Subject Property. See Attached Topographical Survey, Drawing sheet 2.
9. Existing Zoning. Submit with this application a description or graphic representation of the existing zoning classification, use, and development of the Subject Property, and the adjacent area for at least 250 feet in all directions from the Subject Property. See Culligan Abraham drawing sheet 1Project Overview for existing zoning requirements.
10. Conformity. Submit with this application a statement concerning the conformity or lack of conformity of the approval being requested to the Village Official Comprehensive Plan and the Official Map. Where the approval being requested does not conform to the Official Comprehensive Plan or the Official Map, the statement should set forth the reasons justifying the approval despite such lack of conformity. See drawing sheet 1 Overview for list of variance requests. See drawing sheet 3 Zoning Diagrams for existing zoning and variances being requested. See attached certificate of zoning compliance.
11. Zoning Standards. Submit with this application a statement specifically addressing the manner in which it is proposed to satisfy each standard that the Zoning Ordinance establishes as a condition of, or in connection with, the approval being sought. See

Culligan Abraham drawing sheet 1 Overview, 3 Zoning Diagrams, 4 Site Plan for zoning information

12. Successive Application. In the case of any application being filed less than two years after the denial of an application seeking essentially the same relief, submit with this application a statement as required by Sections 11-501 and 11-601 of the Hinsdale Zoning Code. N/A

SECTION II

When applying for a variation from the provisions of the Zoning Ordinance, you must provide the data and information required above, and in addition, the following:

1. Title. Evidence of title or other interest you have in the Subject Project, date of acquisition of such interest, and the specific nature of such interest. See attached.
2. Ordinance Provision. The specific provisions of the Zoning Ordinance from which a variation is sought:

See Attached

3. Variation Sought. The precise variation being sought, the purpose therefor, and the specific feature or features of the proposed use, construction, or development that require a variation: (Attach separate sheet if additional space is needed.)

See Attached

4. Minimum Variation. A statement of the minimum variation of the provisions of the Zoning Ordinance that would be necessary to permit the proposed use, construction, or development: (Attach separate sheet if additional space is needed.)

See Attached

5. Standards for Variation. A statement of the characteristics of Subject Property that prevent compliance with the provisions of the Zoning Ordinance and the specific facts you believe support the grant of the required variation. In addition to your general explanation, you must specifically address the following requirements for the grant of a variation: See Attached for (a) through (g)
- (a) Unique Physical Condition. The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure of sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the Subject Property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current lot owner.
 - (b) Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the Subject Property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.
 - (c) Denied Substantial Rights. The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the Subject Property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
 - (d) Not Merely Special Privilege. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.
 - (e) Code and Plan Purposes. The variation would not result in a use or development of the Subject Property that would not be in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted or the general purpose and intent of the Official Comprehensive Plan.
 - (f) Essential Character of the Area. The variation would not result in a use or development of the Subject Property that:
 - (1) Would be materially detrimental to the public welfare or materially

injurious to the enjoyment, use development, or value of property of improvements permitted in the vicinity; or

- (2) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or
 - (3) Would substantially increase congestion in the public streets due to traffic or parking; or
 - (4) Would unduly increase the danger of flood or fire; or
 - (5) Would unduly tax public utilities and facilities in the area; or
 - (6) Would endanger the public health or safety.
- (g) No Other Remedy. There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Subject Project.
(Attach separate sheet if additional space is needed.)

See Attached

SECTION III

In addition to the data and information required pursuant to any application as herein set forth, every Applicant shall submit such other and additional data, information, or documentation as the Village Manager or any Board of Commission before which its application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular application.

1. A copy of preliminary architectural and/or surveyor plans showing the floor plans, exterior elevations, and site plan needs to be submitted with each copy of the zoning petitions for the improvements. See attached Culligan Abraham drawing sheets 1-8
2. The architect or land surveyor needs to provide zoning information concerning the existing zoning; for example, building coverage, distance to property lines, and floor area ratio calculations and data on the plans or supplemental documents for the proposed improvements. See attached certificate of zoning as well as Culligan Abraham drawing sheets 1-8.

SECTION IV

1. Application Fee and Escrow. Every application must be accompanied by a non-refundable application fee of \$250.00 plus an additional \$600.00 initial escrow amount. The applicant must also pay the costs of the court reporter's transcription fees and legal notices for the variation request. A separate invoice will be sent if these expenses are not covered by the escrow that was paid with the original application fees.
2. Additional Escrow Requests. Should the Village Manager at any time determine that the escrow account established in connection with any application is, or is likely to become, insufficient to pay the actual costs of processing such application, the Village Manager shall inform the Applicant of that fact and demand an additional deposit in an amount deemed by him to be sufficient to cover foreseeable additional costs. Unless and until such additional amount is deposited by the Applicant, the Village Manager may direct that processing of the application shall be suspended or terminated.
3. Establishment of Lien. The owner of the Subject Property, and if different, the Applicant, are jointly and severally liable for the payment of the application fee. By signing the applicant, the owner has agreed to pay said fee, and to consent to the filing and foreclosure of a lien against the Subject Property for the fee plus costs of collection, if the account is not settled within 30 days after the mailing of a demand for payment.

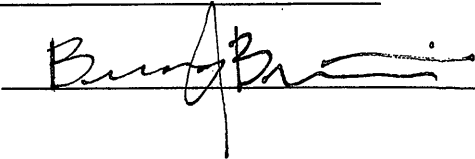
SECTION V

The owner states that he/she consents to the filing of this application and that all information contained herein is true and correct to the best of his/her knowledge.

Name of Owner: Hinsdale Land Restoration and Preservation, LLC

Signature of Owner: _____

Name of Applicant: Bernie Bartelli Culligan Abraham Architecture
agent of Sharon Habiger

Signature of Applicant: 

Date: February 21, 2014

Attached Documents

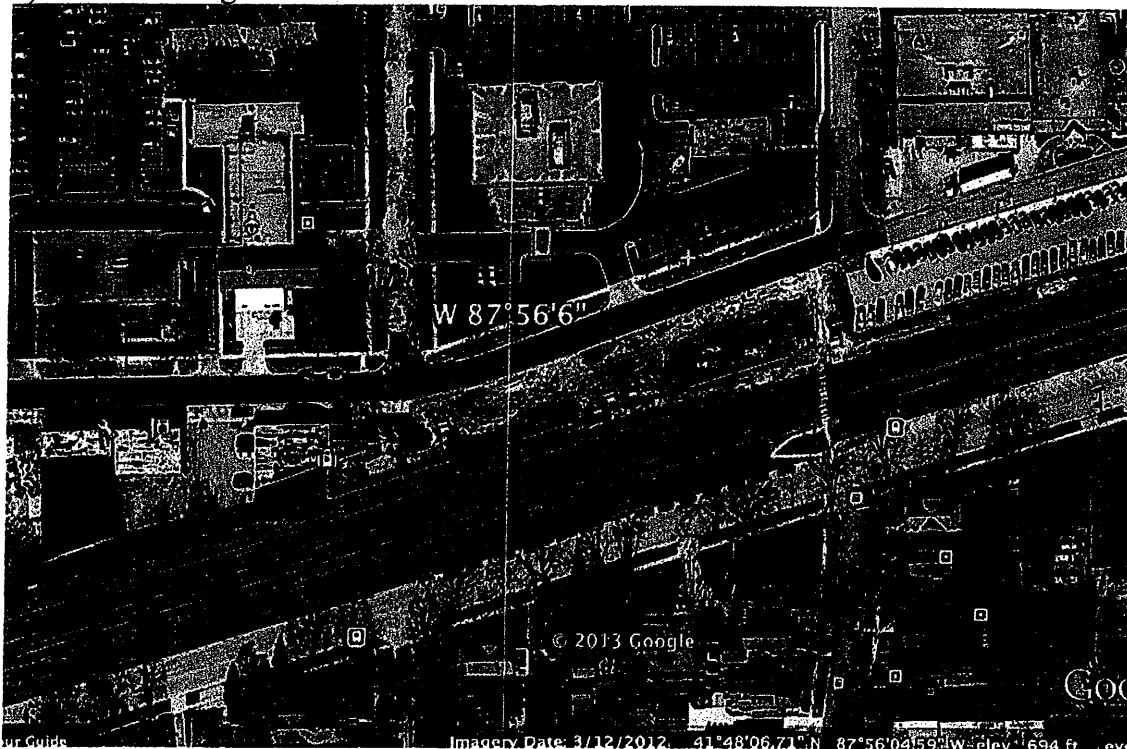
SECTION I

4) 330 North Chestnut Street Hinsdale IL.

LEGAL DESCRIPTION:

LOTS 4, 5, 6 AND 7 IN CHESTNUT STREET COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 25, 2001 AS DOCUMENT R2001-203762, EXCEPTING THEREFROM THAT PART OF LOT 4, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE SOUTH 15 DEGREES 09 MINUTES 55 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 4, A DISTANCE OF 60.29 FEET TO THE SOUTHERLY LINE OF SAID LOT 4; THENCE SOUTH 74 DEGREES 50 MINUTES 05 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 4, A DISTANCE OF 27.50 FEET; THENCE NORTH 34 DEGREES 38 MINUTES 48 SECONDS EAST, A DISTANCE OF 24.22 FEET TO A POINT; THENCE NORTH 15 DEGREES 09 MINUTES 55 SECONDS WEST, A DISTANCE OF 44.29 FEET TO THE NORTHERLY LINE OF SAID LOT 4; THENCE NORTH 72 DEGREES 28 MINUTES 00 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 4, A DISTANCE OF 9.01 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

7) Current zoning is B3. 250 feet around lot below



SECTION II

(attached)

2-4) Variations of village code being sought-

- 5' front yard building setback vs. code required 25' (5-110(C))
- 1' rear yard setback vs. code required 20' (5-110(C))
- 0' rear yard landscape buffer vs. code required 10' (9-107(A))
- 2'1" front yard landscape buffer vs. code required 10' (9-107(A))
- 2'1" front yard setback for parking lot and driveway turnaround vs. code required 25' (5-110(C))
- Relief to permit parking in the front yard (9-104 (G)2b)
- Elimination of loading space; 1 required (9-105(D))

We respectfully request that the timeframe limitations pursuant to code section 11-503k be applicable to this application submission and not the application previously submitted on August 16 2013.

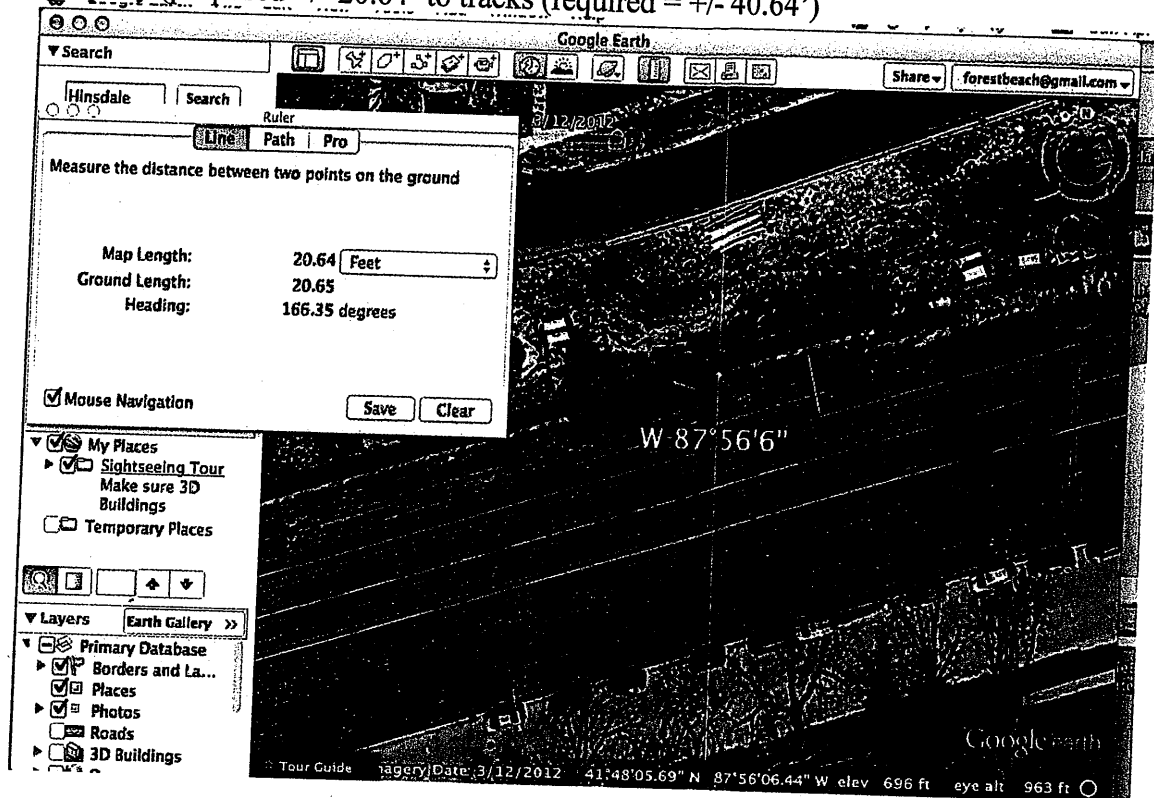
5) A. Unique Physical Condition:

- The lot is uniquely shaped for the B-3 zoning district with a depth of +/- 60' at its deepest point, far below the minimum B-3 depth of 125'.
- The required front yard setback of 25' and the required 20' rear yard setback leave a buildable area with a width ranging from .125' to 12.16'. See attached Culligan Abraham drawing sheet 3.

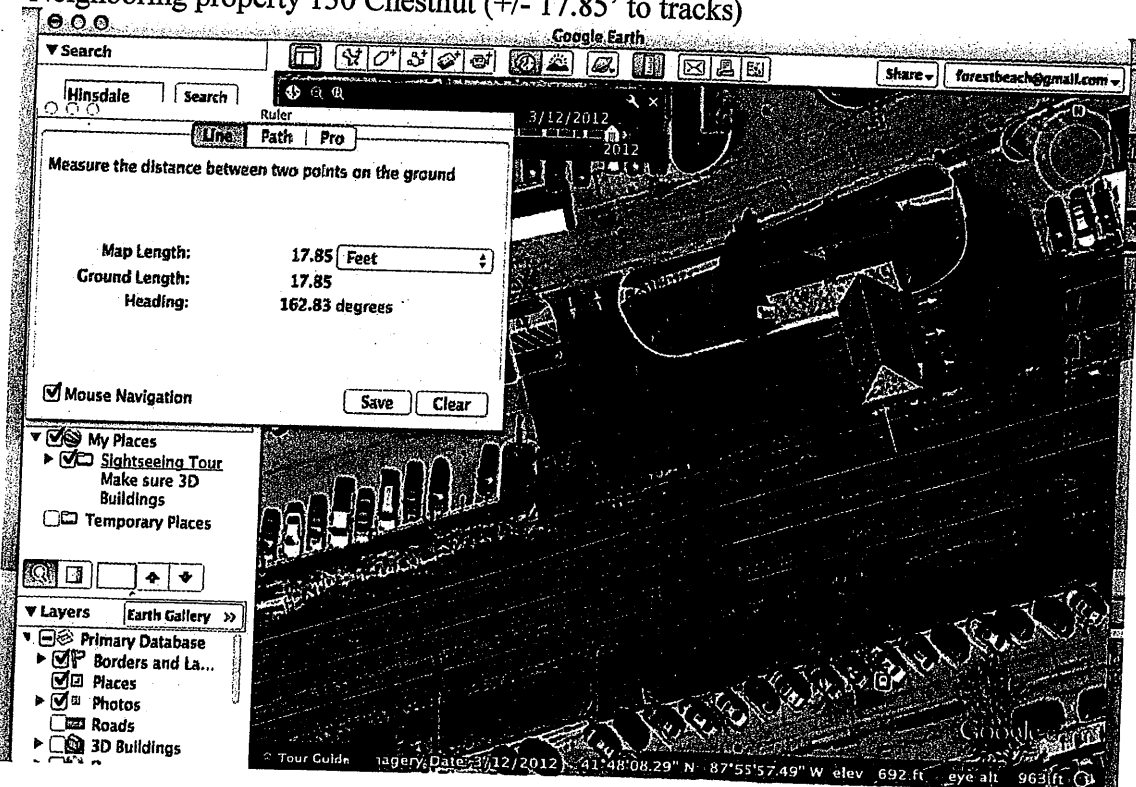
B. The unique physical condition is not self-created and is a result of the lot's shape, non-conformity for the zoning district and the current underground conditions.

C. Carrying out the existing required front and rear yard setbacks would render a building that is unusable, with foundation walls and footings directly above underground easements and not in keeping with neighboring building masses and setbacks (see below diagrams of neighboring properties for reference)

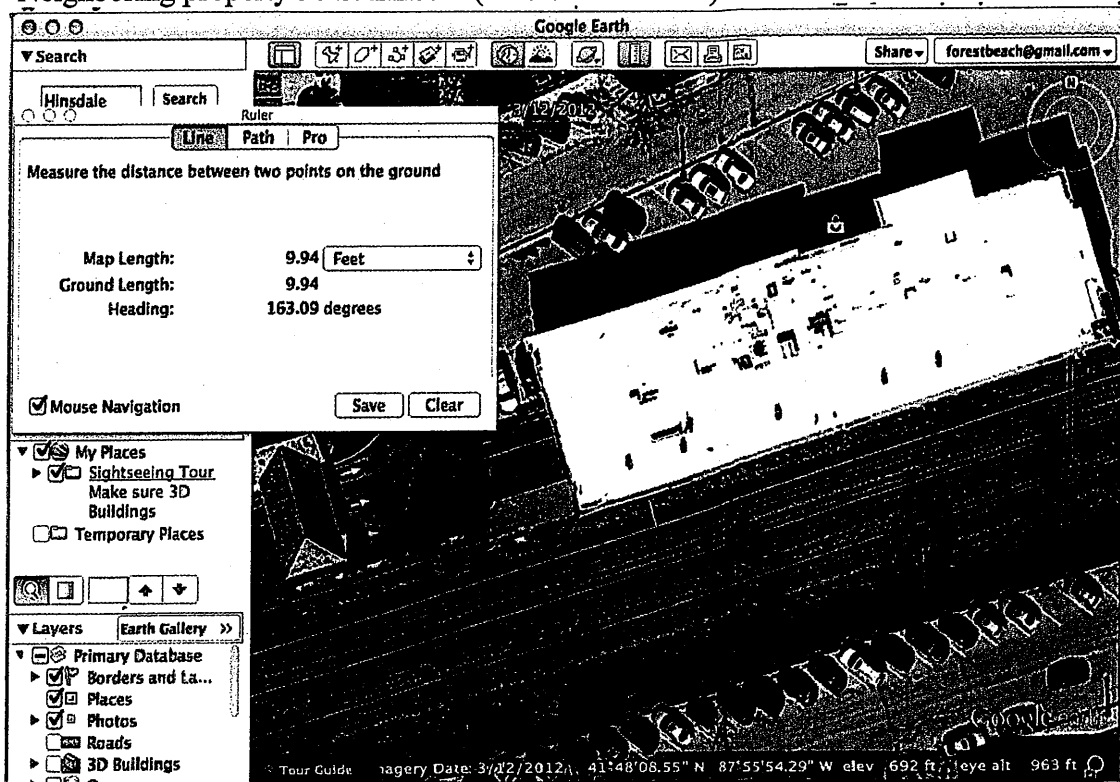
Subject property (proposed $\pm 20.64'$ to tracks (required = $\pm 40.64'$)



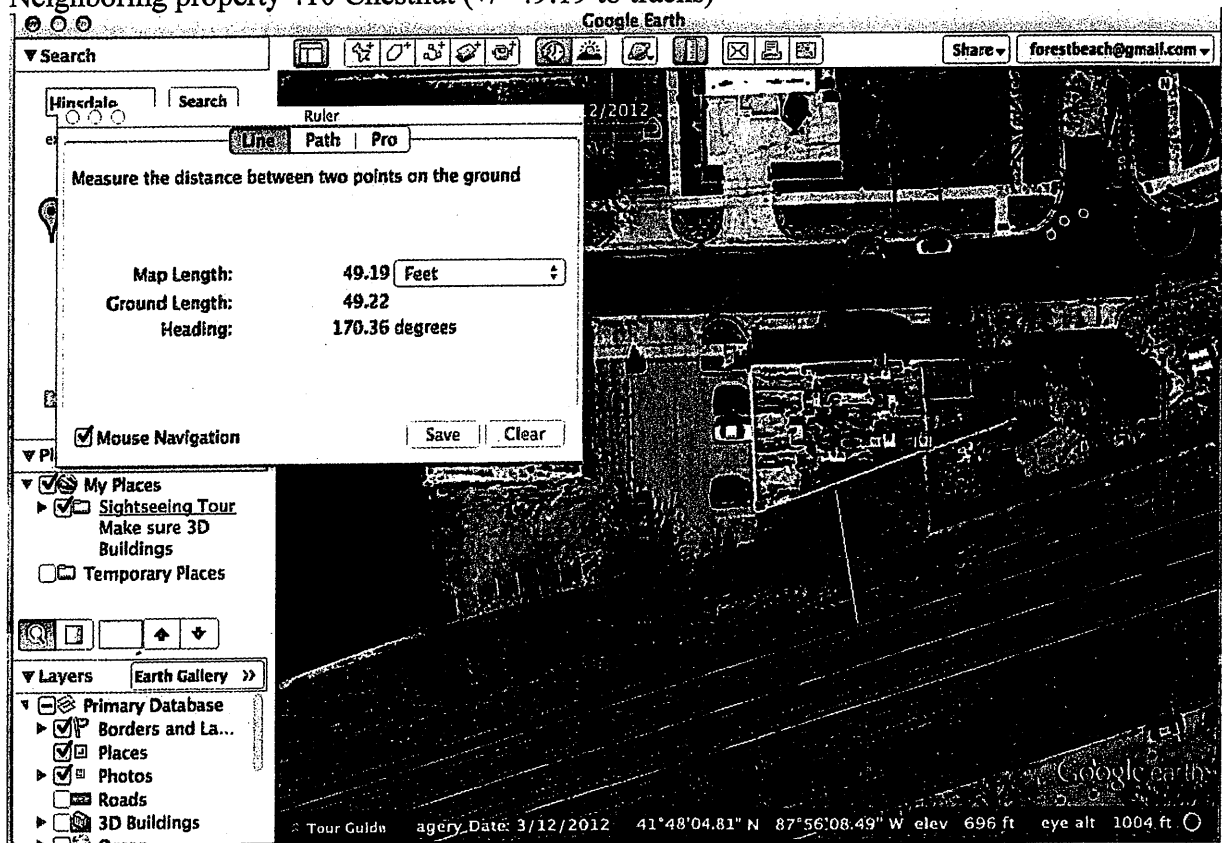
Neighboring property 130 Chestnut ($\pm 17.85'$ to tracks)



Neighboring property 30 S. Lincoln (+/- 9.94' to tracks)



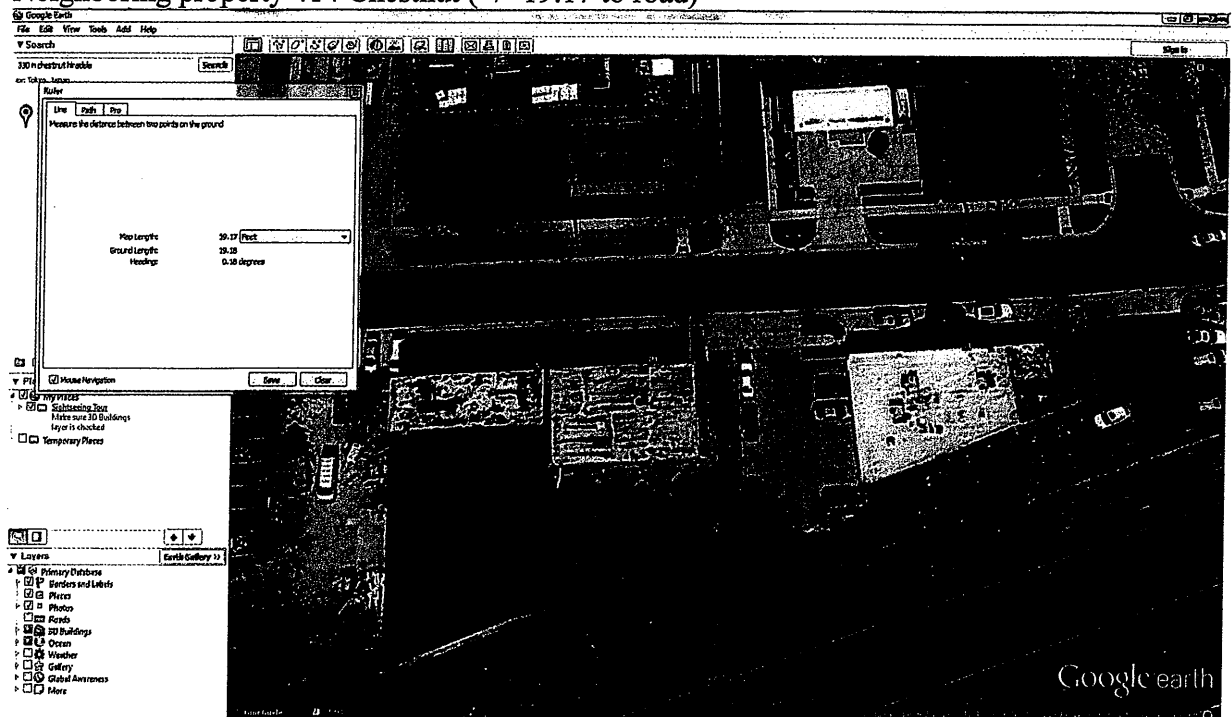
Neighboring property 410 Chestnut (+/- 49.19 to tracks)



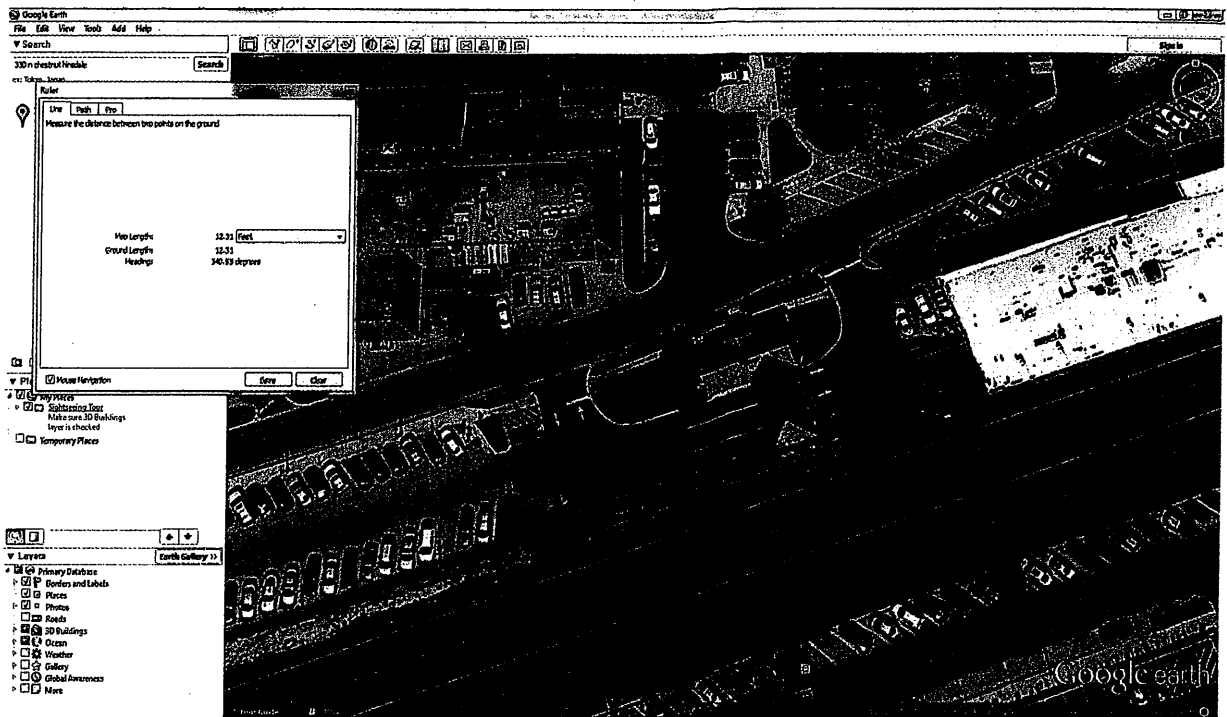
Neighboring property 410 Chestnut (+/- 18.83 to road)



Neighboring property 414 Chestnut (+/- 19.17 to road)



Neighboring property 130 Chestnut (+/- 12.31' to road)



D. Special privilege is not requested. The applicant is seeking to have similar setbacks and allowable building depth as neighboring properties while providing significantly less lot coverage (41% as opposed to allowed 90%). Also the applicant is seeking to avoid placing foundation walls and footings directly above underground utility easements as well as providing an open floor plan to allow access to said utilities. At the same time the applicant will provide ample green space for public and private use both on the site and on the building itself.

E. The goal is to build a structure that matches the Code and Plan Purposes while attempting to maximize green space and minimize lot coverage.

F. 1) The minimal footprint (13.5% coverage of allowed 50%) and lot coverage (41% of allowed 90%) as well as the large landscaped space proposed would significantly improve the current, vacant condition of the site. The proposed sidewalk would improve pedestrian circulation. The proposed eastern public green space would improve the current sidewalk and pedestrian railroad crossing. No changes would be made to the existing railroad structure at the eastern edge of the lot.

2) The scale and minimal lot coverage coupled with the added landscaped areas would not materially impair adequate supply of light and air to the properties and improvements in the vicinity.

3) The existing parking area would be improved upon and the existing street access would be maintained with existing curb cuts being utilized to reduce construction in the public right of way. The minimized floor plan and building use would not increase the current parking and traffic load significantly.

4) The minimized scale of the building to the site would not unduly increase the risk of flood or fire.

5) The minimized scale of the building to the site would not unduly tax public utilities

6) The minimized scale of the building to the site would not endanger public health or safety.

G) There is no other remedy if the goal is to minimize the size and coverage of a usable structure, avoid placing foundation walls and footing directly above the various utilities, create pedestrian accessibility and provide ample areas of green space.

Additional Documents Attached

-Certificate of Zoning Compliance

-Culligan Abraham Architecture drawing sheets

1-Overview

2-Plat of Survey

3- Zoning diagrams

4- Site plan

5-Landscape Plan

6-First Floor Plan

7-North & South Elevations

8-East & West Elevations.

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: HINSDALE LAND RESTORATION & PRESERVATION LLC
Owner's name (if different): SHARON HABIGER
Property address: 330 CHESTNUT STREET
Property legal description: [attach to this form]
Present zoning classification: ~~IB, Institutional Buildings~~ B-3
Square footage of property: 24,090 S.F.
Lot area per dwelling: 1
Lot dimensions: ~49' x ~67.5' (LARGEST DIMENSIONS)
Current use of property: VACANT
Proposed use: ☐ Single-family detached dwelling
☒ Other: OFFICE
Approval sought: ☐ Building Permit ☒ Variation
☐ Special Use Permit ☐ Planned Development
☐ Site Plan ☐ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

SEEKING ZONING VARIANCE FOR PROJECT CONSISTING OF
OFFICE BUILDING, PARKING AND LANDSCAPED GREEN SPACE
Plans & Specifications: [submit with this form]

Provided: Required by Code:
Yards: BUILDING VARIATION REQUEST - 5'
front: YARD VARIATION REQUEST - 2'-1" 25'
interior side(s) 10' 1"

11'-6" TO PARKING
212'-0 1/2" TO BUILDING
144'-9" TO BUILDING

Provided:

Required by Code:

corner side

NA

NA

rear

1' VARIATION REQUEST

2.0'

Setbacks (businesses and offices):

front:

interior side(s)

corner side

rear

others:

Ogden Ave. Center:

York Rd. Center:

Forest Preserve:

Building heights:

principal building(s):

accessory building(s):

Maximum Elevations:

principal building(s):

accessory building(s):

Dwelling unit size(s):

Total building coverage:

Total lot coverage:

Floor area ratio:

Accessory building(s):

Spacing between buildings: [depict on attached plans]

principal building(s):

accessory building(s):

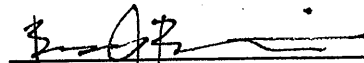
Number of off-street parking spaces required: 10

Number of loading spaces required: 1 - VARIANCE REQUESTED FOR 0

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:



Applicant's signature

BERNIE BARTELLI

CULLIGAN ABRAHAM ARCHITECTURE

Applicant's printed name

AGENT OF OWNER

Dated:

FEBRUARY 21, 2014

PROOF OF
OWNERSHIP

This Instrument Prepared By:
Philip M. J. Edison, Esq.
Chapman and Cutler LLP
111 West Monroe
Chicago, Illinois 60603

When Recorded Mail To:
Melinda Higgins Brom, Esq.
301 Scottswood Road
Riverside, Illinois 60546

20001360

SPACE ABOVE THIS LINE RESERVED FOR
RECORDER'S USE ONLY

QUIT CLAIM DEED

The Grantor, LASALLE 115 HOLDINGS, LLC - SERIES 1, an Illinois limited liability company, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration, in hand paid, conveys and quit claims to HINSDALE LAND RESTORATION AND PRESERVATION, LLC, an Illinois limited liability company, the following described real estate situated in the County of DuPage in the State of Illinois, to wit:

LOTS 4, 5, 6 AND 7 IN CHESTNUT STREET COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 25, 2001 AS DOCUMENT R2001-203762, EXCEPTING THEREFROM THAT PART OF LOT 4, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4; THENCE SOUTH 15 DEGREES, 09 MINUTES, 55 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 4, A DISTANCE OF 60.29 FEET TO THE SOUTHERLY LINE OF SAID LOT 4; THENCE SOUTH 74 DEGREES, 50 MINUTES, 05 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 4, A DISTANCE OF 27.50 FEET; THENCE NORTH 34 DEGREES, 38 MINUTES, 48 SECONDS EAST, A DISTANCE OF 24.22 FEET TO A POINT; THENCE NORTH 15 DEGREES, 09 MINUTES, 55 SECOND WEST, A DISTANCE OF 44.29 FEET TO THE NORTHERLY LINE OF SAID LOT 4; THENCE NORTH 72 DEGREES, 28 MINUTES, 00 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 4, A DISTANCE OF 9.01 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 306-330 Chestnut Street
Hinsdale, Illinois 60521

Permanent Index Number: 09-12-109-017;
09-12-109-018;
09-12-109-019;
09-12-109-024

IN WITNESS WHEREOF, said Grantor has caused its name to be signed to these presents
by its Vice President, this April 26, 2013.

LaSalle 115 Holdings, LLC - Series 1, an
Illinois limited liability company

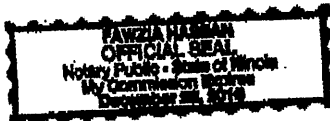
By: Thomas H. Bessler
Name: Thomas H. Bessler
Title: Vice President

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, do hereby
certify that Thomas H. Bessler, personally known to me to be a Vice President of LaSalle 115
Holdings, LLC - Series 1, an Illinois limited liability company and personally known to me to be
the same person whose name is subscribed to the foregoing instrument, appeared before me this
day in person and acknowledged that as such Vice President, he signed and delivered the said
instrument as his free and voluntary act, and as the free and voluntary act and deed of said
company, for the uses and purposes therein set forth.

Given under my hand and official seal this 26th day of April, 2013.

(NOTARIAL SEAL)



My commission expires December 26, 2016

Patricia Haggan
Notary Public

Mail subsequent tax bills to:
Hinsdale Land Restoration and Preservation LLC
15 Salt Creek Lane, Suite 312
Hinsdale, Illinois 60521

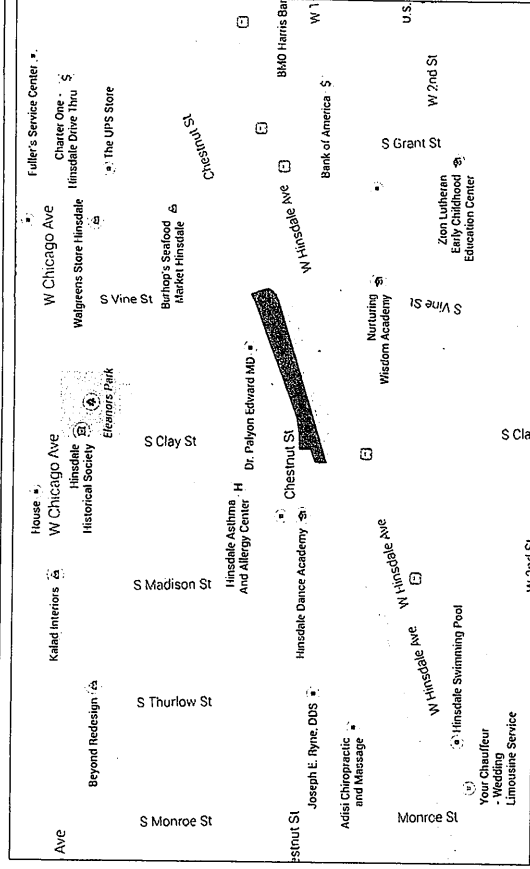
EXISTING ZONING REQ.

B-3 DISTRICT - 24,090 SF. LOT AREA	
MINIMUM LOT AREA	MINIMUM CODE REQUIREMENTS
MINIMUM LOT DEPTH	6,250 SF.
MINIMUM LOT WIDTH	125'
BUILDING HEIGHT	50'
NUMBER OF STORIES	30'
FRONT YARD SETBACK	25'
CORNER SIDE YARD SETBACK	N/A
INTERIOR SIDE YARD SETBACK	10'
REAR YARD SETBACK	20'
MAXIMUM FLOOR AREA RATIO	50% OF LOT AREA- 12,045 SF.
MAXIMUM TOTAL BUILDING COVERAGE	40% OF LOT AREA- 21,691 SF.
PARKING REQUIREMENTS	FOR OFFICE 1 PER 250 SF. A.R.
PARKING FRONT YARD SETBACK	25'
PARKING CORNER YARD SETBACK	N/A
PARKING REAR YARD SETBACK	0'
PARKING LANDSCAPE BUFFER REQ.	10' (ALL YARDS)
LOADING REQUIREMENTS	1
ACCESSORY STRUCTURE INFORMATION	N/A

TABLE OF CONTENTS

- 1 SITE OVERVIEW
- 2 PLAT OF SURVEY
- 3 ZONING OVERVIEW
- 4 SITE PLAN
- 5 LANDSCAPE PLAN
- 6 FIRST FLOOR PLAN
- 7 NORTH AND SOUTH ELEVATIONS
- 8 EAST AND WEST ELEVATIONS

VICINITY MAP

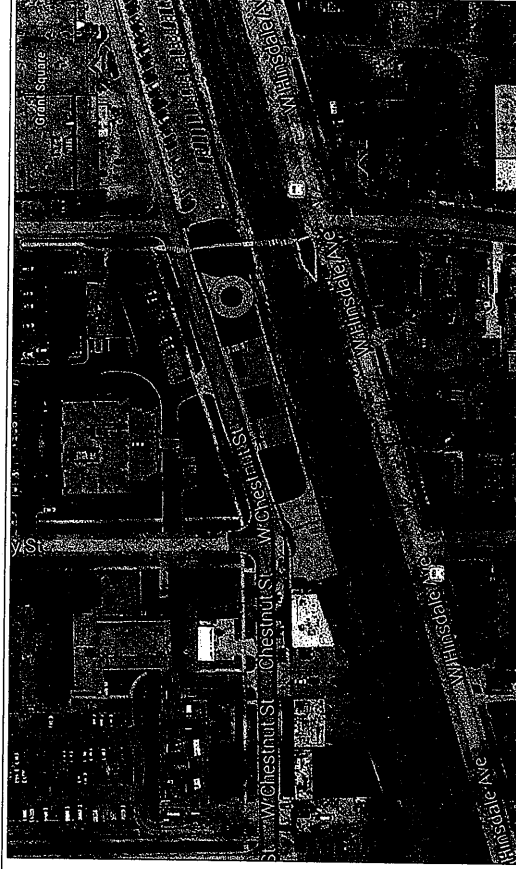


ZONING VARIATION REQUESTS

B-3 DISTRICT - 24,090 SF. LOT AREA	
MINIMUM LOT AREA	MINIMUM CODE REQUIREMENTS
MINIMUM LOT DEPTH	125'
MINIMUM LOT WIDTH	50'
BUILDING HEIGHT	50'
NUMBER OF STORIES	30'
FRONT YARD SETBACK	25'
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PARKING FRONT YARD SETBACK	25'
PARKING CORNER YARD SETBACK	N/A
PARKING REAR YARD SETBACK	0'
PARKING LANDSCAPE BUFFER REQ.	10' (ALL YARDS)
LOADING REQUIREMENTS	1
ACCESSORY STRUCTURE INFORMATION	N/A

VARIATION REQUEST	REQUIRED BY CODE	CODE SECTION
5' FRONT YARD BUILDING SETBACK	25'	5-110(C)
1' FRONT YARD BUILDING SETBACK	20'	5-110(C)
0' LANDSCAPE BUFFER REQUIREMENT FOR REAR YARD	10'	9-107(A)
2'-1' LANDSCAPE BUFFER FOR FRONT YARD	10'	9-107(A)
2'-1' FRONT YARD SETBACK FOR PARKING/TURNAROUND	25'	5-110(C)
PARKING BE ALLOWED IN FRONT YARD	OFF-STREET PARKING SHALL NOT BE ALLOWED IN FRONT YARD	9-104 (b) 2b
LOADING SPACE NOT BE REQUIRED	1	9-105 (D)
MISC.		

AREA MAP



CULLIGAN ABRAHAM
ARCHITECTURE
CULLIGAN ABRAHAM . COM 832.452.9417

**Hinsdale Land Restoration
and Preservation, LLC**
330 Chestnut Street
Hinsdale, Illinois

1

ISSUED 2.21.14

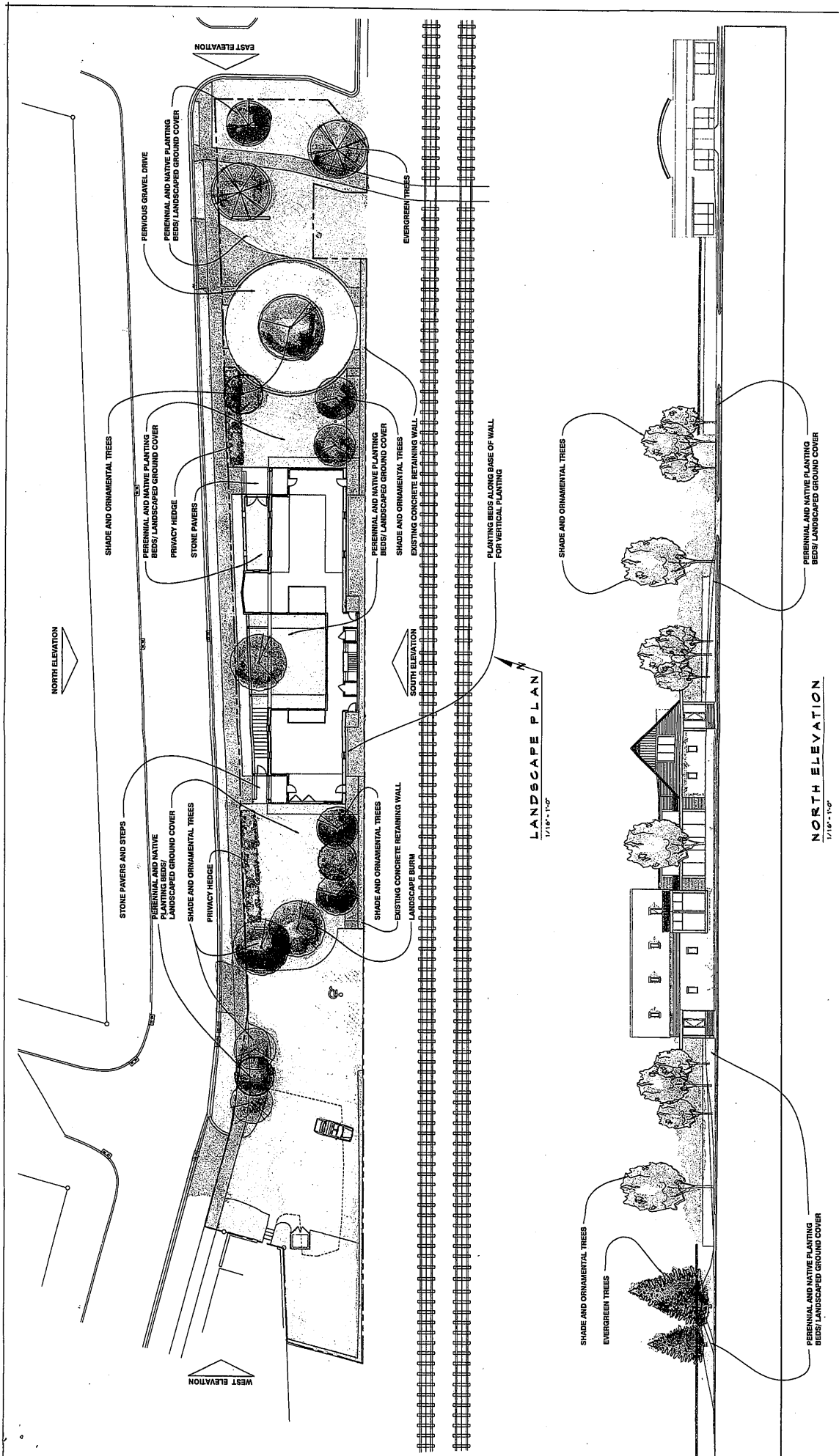
ISSUED 2.21.14

30 Chestnut Street
Hinsdale, Illinois

ARCHITECTURE

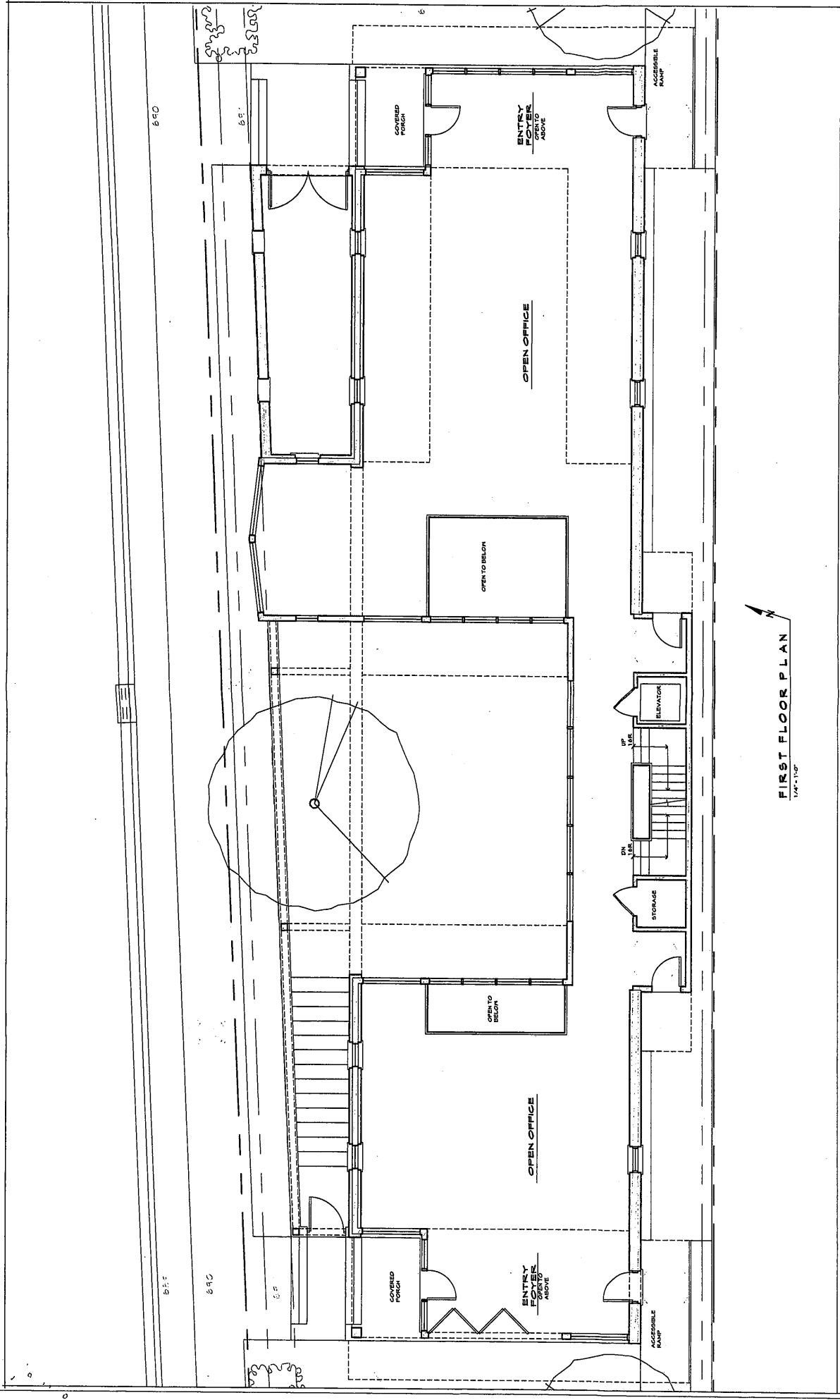


SITE PLAN



**Hinsdale Land Restoration
and Preservation, LLC**
990 Chestnut Street

CULLIGAN ABRAHAM
ARCHITECTURE
culliganabraham.com 830.855.9411



FIRST FLOOR PLAN
1/4" = 1'-0"

Hinsdale Land Restoration
and Preservation, LLC
930 Chestnut Street
Hinsdale, Illinois

CULLIGAN ABRAHAM
ARCHITECTS
CULLIGANABRAHAM.COM 630.634.1177

6

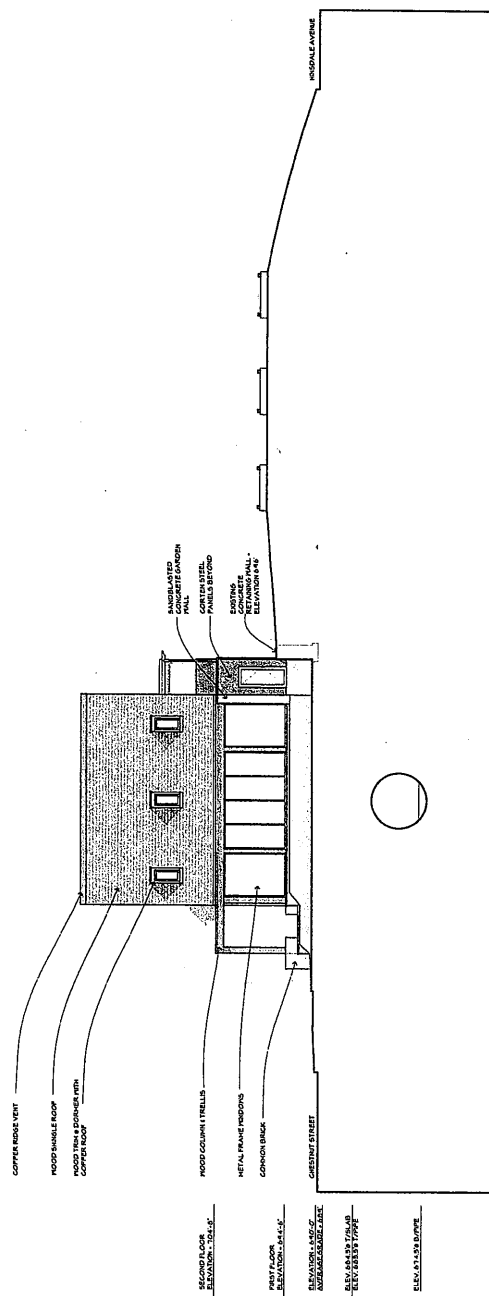
ISSUED 2.21.14

COPPER RIDGE VENT
 PAINTED
 ROOF FRAME
 VERTICAL PAINTED
 ROOF SIDING
 PAINTED ROOF TRIM
 1" HORIZONTAL PAINTED
 ROOF SIDING
 CORNER STEEL PANEL
 EXISTING CONCRETE
 RETAINING WALL
 METAL FRAME WINDOWS
 CORNER STEEL PANELS
 SANDBLASTED CONCRETE
 SANDSHALL

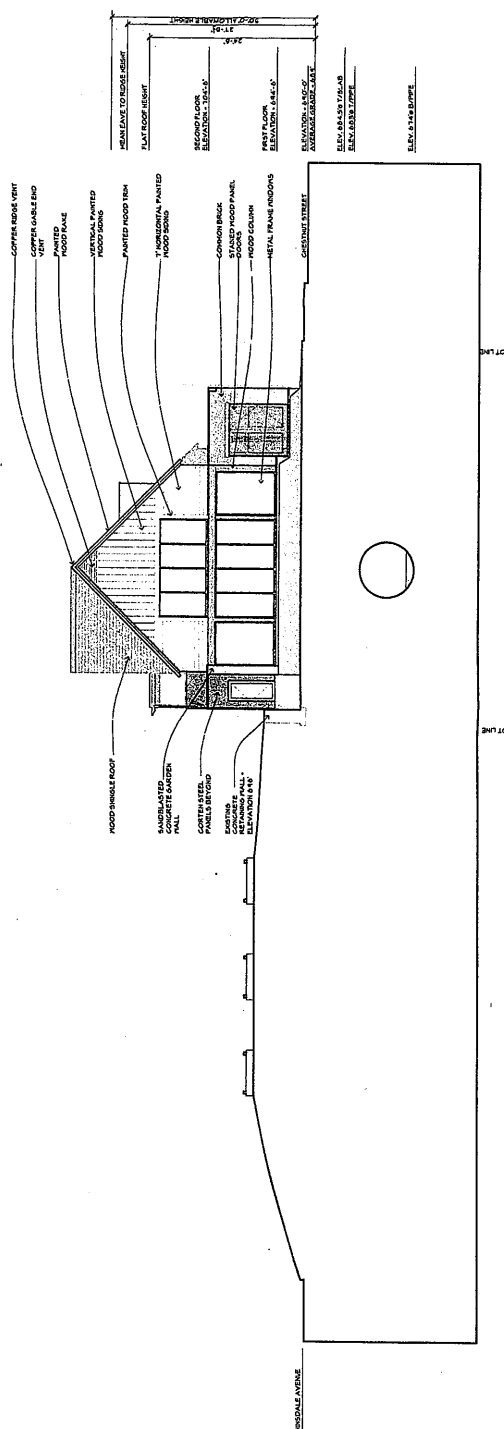
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Hinsdale Land Restoration
 and Preservation, LLC
 990 Chestnut Street
 Hinsdale, Illinois

CULLIGAN ABRAHAM
 ARCHITECTURE
 CULLIGANABRAHAM.COM 630.555.9417




WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION

MEMORANDUM

Date: March 11, 2014
To: Zoning Board of Appeals
From: Chris Bruton, Village Clerk 
RE: V-07-13, 330 Chestnut Street

For your information, attached is the Final Decision and transcript from last year's case on the above address.

1 ALSO PRESENT:

2 MR. ROBB MCGINNIS, Director of
3 Community Development/Building
4 Commissioner;
5 MS. CHRISTINE BRUTON, Deputy Village
6 Clerk.

7 -----

8 CHAIRMAN BRASELTON: Next item on our
9 agenda is V-07-13, 330 Chestnut Street. We need
10 a motion to open the public hearing.

00-15-22

11 MR. MOBERLY: Motion to open the public
12 hearing.

13 CHAIRMAN BRASELTON: Second?

14 MR. BIGGERT: Second.

15 CHAIRMAN BRASELTON: Roll call, please.

16 MS. BRUTON: Member Moberly.

17 MR. MOBERLY: Yes.

18 MS. BRUTON: Member Neiman.

19 MR. NEIMAN: Yes.

00-15-12

20 MS. BRUTON: Member Biggert.

21 MR. BIGGERT: Yes.

22 MS. BRUTON: Chairman Braselton.

1 CHAIRMAN BRASELTON: Yes.

2 Good evening.

3 MR. COULES: I guess I'll start. Good
4 evening. My name is Pete Coules, as you know.
5 We are here on behalf of the applicant who is
6 the owner of the property. Basically, what is
7 shown up on the board is the fact that there's
8 very small buildable area because this lot is
9 400-some-odd feet wide by only 65 feet deep, and
10 it's in a B-3 zoning district.

00-14-38

11 The proposal is to build one
12 structure on the property. You're in the B-3,
13 you're allowed to cover 90 percent of the
14 property. He's only covering approximately
15 35 percent. The FAR is allowed to be 50. It's
16 only 12.5 percent. The reason for the variance
17 is, is because of the thinness of the lot from
18 street to back to the railroad crossing.

19 Based on the green space being
20 left -- and as you can see, it's a lot of green
21 space. At one time this was a PUD with seven
22 structures on it. Now the request is for one

00-14-11

1 structure on the property. You need a setback
2 of 5.5 feet to fit the building, a small, single
3 structure on the property from the street,
4 versus the 25 that's required. And, also, then
5 where the parking lot is located, one would need
6 a ten-foot landscaping buffer. But to keep
7 these green areas in, we're putting a
8 landscaping wall in which we are asking to be
9 2.1 feet from the street at the corner by the
10 parking lot.

00-13-38

11 None of the infrastructure that
12 presently exists is being touched. The parking
13 lot is being put where the existing cut is at
14 now, and there's a second cut already there, and
15 it goes around all the existing pipes and
16 everything that's in play. So, no sewers are be
17 being moved, nothing is being moved, you're
18 having a lot of additional green space, a lot of
19 preservation of green control of the water.

00-13-16

20 It's only one small structure that's being put
21 on this property.

22 The uniqueness of this property and

1 why there's a hardship is because of the depth,
2 because as you can see when we had the first
3 drawing, you can only build a building about 10
4 to 12 feet deep and stay away from the pipe.
5 Now we're able to do -- actually have
6 foundations in the ground and not be over the
7 pipe at all. So, that's the reason why because
8 the uniqueness of the property is not only the
9 thinness of the property, but it's also B-3 in
10 this area, and also that there is a concrete
11 pipe under the ground nine feet down. So,
12 that's why the necessity for the variance is.

00-12-49

13 If I may approach, there's a letter
14 by a neighbor that came in to us today in favor
15 of it. The Thompson's, Tim and Carolyn
16 Thompson.

17 MR. MOBERLY: We have it.

18 MR. COULES: Oh, it did make it to your
19 packet? Great. They did a great job because it
20 just came in today. Mr. Habiger has met with
21 both railroad entities that run the railroad.
22 They're in favor of this project. And he's met

00-12-25

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE HINSDALE ZONING BOARD OF APPEALS

In the Matter of:)
)
330 Chestnut Street)
)
CASE NO. V-07-13)

REPORT OF PROCEEDINGS had and testimony
taken at the hearing of the above-entitled
matter before the Hinsdale Zoning Board of
Appeals, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 21st day of August, A.D. 2013,
at the hour of 7:00 p.m.

BOARD MEMBERS PRESENT:

MS. DEBRA BRASELTON, Chairman;
MR. ROBERT NEIMAN, Vice Chairman;
MR. RODY BIGGERT, Member;
MR. GARY MOBERLY, Member.

1 with all the other neighbors, and we got green
2 cards back from everybody. So, every neighbor
3 has not just ignored it and got notice, they've
4 all actually signed and gotten notice. So,
5 there's been no objections at all by anybody in
6 the area.

7 MR. NEIMAN: We have an August 19
8 letter from Bruce Watts (phonetic), who doesn't
9 seem opposed to it but asked that certain of the
10 profiles be kept below the level of the train
11 passing by. Have you seen that letter?

12 MR. COULES: The profile of the
13 building will not be -- it's below the height of
14 possibly a train. It's no variance. It's not
15 30 feet in height.

16 MR. NEIMAN: They're just expressing a
17 concern and, you know, we at least like you to
18 address those concerns even if it's not part of
19 a variance.

20 MR. COULES: It's no higher than any of
21 the other structures that are on this block that
22 abut up against the train tracks as we go along.

1 It's not as tall as the Hinsdale Bank. It's not
2 as tall as the Blockbuster building. It all
3 fits within the 30-foot height from bottom to
4 top. Like I said, it's only one structure.
5 Before the one PUD, and I'm glad it wasn't built
6 myself, had seven structures on this property.
7 It filled the whole parcel with buildings.

8 MR. HABIGER: That wasn't our PUD.

9 MR. COULES: This property is bought by
10 an entity that Mr. Habiger and his wife own,
11 much after that PUD was done. They were not
12 involved in that property at all at that point
13 in time.

14 MR. HABIGER: Although I haven't seen
15 that letter.

16 MR. NEIMAN: If you care to address the
17 questions, which are actually not part of the
18 variance, they're just expressing concerns, and
19 be sensitive to the questions that the neighbors
20 pose.

21 MR. HABIGER: Sure.

22 MR. COULES: Thank you for bringing

1 that forward to us. We had not seen that before
2 today.

3 MR. MOBERLY: Your building is one
4 story or two story? It's one?

5 MR. HABIGER: It's a single story, but
6 it is a high -- it's --

7 MR. COULES: Tall ceiling.

8 MR. BARTELLI: The building we're
9 proposing now --

10 THE COURT REPORTER: Your name?

11 MR. BARTELLI: Bernie Bartelli,
12 B-a-r-t-e-l-l-i.

13 CHAIRMAN BRASELTON: Are you the
14 architect?

15 MR. BARTELLI: I'm with the architect,
16 yes. That would be about 25 feet from the
17 existing grade now would be the main roof
18 structure that we're proposing now, and it would
19 be open from first floor to the underside of
20 that.

21 MR. HABIGER: And I think they're good
22 points, by the way. So, the concern here is the

1 wall facing the train and the softening effects
2 of reverberation from the train. In our
3 previous proposal, you'll see that what was
4 suggested is that we -- there's ivy growing on
5 that side, so that particular -- we heard two
6 complaints from the Village from the prior
7 approved PUD -- I'm not a builder.

8 MR. COULES: PUD is fine. PUD is fine.

9 MR. HABIGER: And that was that there
10 was seven structures and all these windows and
11 kitchens looked out on to the neighbors. So,
12 Culligan Abraham, who designed the building,
13 designed that side to have no windows,
14 effectively, other than a light source where
15 there was a staircase.

16 CHAIRMAN BRASELTON: Right in the
17 middle.

18 MR. HABIGER: Yeah, so that people
19 aren't looking out through a window. That being
20 said, they're concerned about it being above the
21 height of the train. I think when you factor in
22 where it's at and the train, it's certainly

1 below that. But they have a concern about
2 noise. The drawings we showed in the plan is to
3 grow ivy from both the roof down and -- a grass
4 roof down, as well as up.

5 Now, frankly, one of our concerns
6 was whether or not the -- in our next proposal,
7 the idea of an architectural structure where
8 you're having a landscape green wall, which is
9 there to absorb noise, and also we think it

00-08-26 10 looks nice so we can grow trees and a garden,
11 you know, hopefully that's approved, and
12 certainly this letter might come in handy in
13 that meeting, because the goal would be to try
14 and put something there that doesn't reflect a
15 lot of noise. So, I think these are -- I don't
16 know Bruce, but I'm -- as someone who lives
17 relatively close to the train, I concur.

18 CHAIRMAN BRASELTON: Anything else from
19 the applicant?

00-07-55 20 (No Response.)

21 MR. HABIGER: I don't think so.

22 CHAIRMAN BRASELTON: Questions? Is

1 there anybody else in the audience who wants to
2 speak with regard to this application?

3 MR. HEINZ: My name is Tom Heinz. I
4 live at 116 South Vine Street, so I'm the second
5 house from the tracks there, and basically I
6 can't really see what's going on here. I don't
7 know what the building is other than the fact
8 that, you know -- now I know it's 25 feet high,
9 but I mean, is it an apartment -- condominiums,
00-07-08 10 what is it? That's one question I have.

11 CHAIRMAN BRASELTON: It's not. It's a
12 business.

13 MR. HEINZ: It's a business. Okay.
14 And the -- okay. So, the south side of the
15 building then is all wall, no windows, correct?

16 MR. BARTELLI: There will be some
17 openings, but we're going to keep them to a
18 minimum.

00-06-41 19 MR. HEINZ: And you're saying that ivy
20 would be growing --

21 MR. HABIGER: It's an architectural --

22 CHAIRMAN BRASELTON: Stand by the

1 podium, so -- people that are watching this on
2 TV, they can only hear you when you're at the
3 microphone.

4 MR. BARTELLI: This is the side that
5 faces the tracks here. So, we keep windows
6 small. These would be up higher so, you know,
7 you wouldn't be standing looking out that. This
8 is not -- the railroad track line is a little
9 bit higher than where this line is, so what

00-06-18 10 you'll see from the actual street level on the
11 other side will only be probably the top half of
12 this drawing (indicating).

13 MR. HABIGER: Without a train.

14 MR. BARTELLI: And that's 25 feet here
15 from the Chestnut side of the building.

16 MR. HEINZ: But this is -- we're
17 looking from the south side of the tracks here.

18 MR. BARTELLI: You're kind of looking
19 just in front of the tracks, so the tracks are a
00-05-58 20 little bit higher than this line.

21 MR. HABIGER: The light sources are
22 then -- can you show the overview?

1 MR. COULES: You have to keep in mind,
2 though, this plan has to go to -- the building
3 design has to go to the Plan Commission for
4 approval of site and --

5 CHAIRMAN BRASELTON: Exterior.

6 MR. COULES: And exterior approval.

7 MR. HABIGER: The design is the light
8 sources are here. These are all open, so these
9 would be west and east, so you can have gardens
00-05-34 10 here and gardens there (indicating).

11 CHAIRMAN BRASELTON: Does the plan have
12 the ivy? Is that part of the exterior
13 appearance, or are you allowed to plant ivy
14 wherever you want to?

15 MR. COULES: We're actually not sure.

16 MR. HABIGER: It's a green roof, as
17 well, and --

18 MR. COULES: It's a green roof, as
19 well, so we're asking for a green roof.

00-05-19 20 CHAIRMAN BRASELTON: Do we have any
21 other green roofs?

22 MR. HABIGER: No. So, we have another

1 whole round of this when we get to the building.
 2 And the goal here was to solve this ugly
 3 eyesore, so it may be that when we meet with the
 4 Village -- and, again, I was on the Hinsdale
 5 Historical Board. We were going to use this as
 6 a place to put an old historic building. As we
 7 move closer to that, the goal is how do we take
 8 this ugly lot and build something small and
 9 simple and make a green space? Right now we're
 10 going to use 12 percent of the buildable area?

00-04-49

11 MR. COULES: 12 and a half.

12 MR. HABIGER: 12 and a half as opposed
 13 to what they had proposed before. As a 20-year
 14 resident, you know, I would have been here
 15 probably telling you why it was a big mistake.
 16 This should -- you know, four people could have
 17 an office there, it can be an architectural
 18 firm, it could be, you know, an insurance
 19 agency. It doesn't have much parking. It's
 20 going to be mostly green space, but it solves an
 21 eyesore in our downtown. I don't know what's
 22 going to go into it. It's an expensive

00-04-27

1 building. It doesn't make sense from a business
 2 perspective, but as I said in the previous
 3 meetings, I spent 20 years here going by that
 4 site, and it's been a dump literally since 1850,
 5 and I spent a lot of time working with the BNSF
 6 Railroad getting their clearance and their
 7 support of something simple and green, and I
 8 just don't want to see, you know, a gas station
 9 or a car wash. I've had guys calling me to put
 10 in shooting ranges, I mean, try and buy the land
 11 from me because it's a long -- there's one
 12 way -- I'd like to make it a nice simple
 13 architecturally pretty building and make it
 14 green and try and as much as possible make sure
 15 that we address, I think, valid concerns that
 16 you don't have a big three-story building
 17 looking down across the street.

00-03-52

18 CHAIRMAN BRASELTON: Does that answer
 19 some of your questions?

00-03-28

20 MR. HEINZ: It could be retail space or
 21 is it a low volume?

22 MR. HABIGER: No, it could not -- it's

1 not -- it's not B-2, it's B-3. The parking, if
 2 you're going to make -- you have to walk through
 3 gardens to get to -- can you show a picture,
 4 Bernie, of the left and right side? Again, I'm
 5 not sure that does it justice. That would be a
 6 big green structure because it's going to be
 7 covered in ivy, but we need to show some amount
 8 of what the material would look like. Again,
 9 whether the Village approves that, that's
 10 Culligan Abraham's vision.

00-02-50

11 MR. COULES: That's up to the Plan
 12 Commission. What we're here for tonight is so
 13 we can have a buildable spot to get that far.

14 MR. HABIGER: If it isn't that, we
 15 can --

16 MR. HEINZ: The only other question I
 17 had was the railroad crossing, the pedestrian
 18 railroad crossing would stay in tact.

00-02-32

19 MR. HABIGER: Yes. That becomes the
 20 park section.

21 MR. HEINZ: This is Vine Street and
 22 this is Clay, so, actually, my house is right

1 here, and the building is going to be right
 2 across the street from our houses.

3 The only concern -- the other
 4 concern I had was that there used to be trees
 5 all along that side of the -- you know, the
 6 south side of the tracks there, and so many of
 7 them have been cut down this year, that there
 8 would have been these nice fruit trees as also a
 9 buffer. Why they were cut down by -- by the
 10 railroad, I'm sure, but, you know, I wish some
 11 of those could be or some things could be
 12 planted there because the side of the building
 13 that we're looking at has basically no trees
 14 left there anymore, so --

00-02-03

15 MR. HABIGER: That was the railroad.
 16 So, the discussion I had with the railroad was I
 17 want to plant -- these are supposed to be trees
 18 (indicating). The idea is that if you're inside
 19 of this structure, it's also, you don't want to
 20 look at a railroad track, so it's how do you
 21 make this a green interesting space and still
 22 catch water for the Village. So, if you leave

00-01-38

1 these as Village water catches, they're low.

2 The railroad agreed that we could
3 plant trees here and they wouldn't cut them
4 down. I purchased the lot three months ago,
5 four months ago. I've worked closely with the
6 railroad. I give them easements there. I've
7 got a whole bunch of people working with them.

8 They've agreed, in fact, they've gone as far as
9 agreeing to help bury the electric line to their
00:01:02 10 box, which is over here. They've agreed to let
11 me green up the area in front of the box where
12 they have gravel. The trade-off here is that
13 I've told them we're not going to go build a
14 seven-story -- three-story seven structure
15 building that was proposed and currently on
16 record, and I need to get that dissolved, as
17 well.

18 CHAIRMAN BRASELTON: That's the
19 townhome development that was previously
00:00:39 20 approved?

21 MR. COULES: Yes.

22 MR. HEINZ: Well, if planting some more

1 trees there was possible at all, it would be
2 nice.

3 MR. HABIGER: At the moment it's
4 possible and planned. The BNSF Railroad has
5 approved --

6 MR. HEINZ: Possible and planned.

7 MR. HABIGER: And planned -- well,
8 look. I'd even write it into -- the main issue
9 has been the BNSF Railroad. They chop these --

00:00:17 10 they historically trim them and take them down.
11 They've at this point agreed. They haven't put
12 it in a legal document, but they've seen the
13 plan and they are supportive of it, and as long
14 as these trees -- and we've already worked with
15 an arborist to get select trees that go up and
16 not out. As long as these trees stay within a
17 ten-foot radius of their track.

18 CHAIRMAN BRASELTON: Mr. Heinz, you'll
19 have another opportunity to look at the plans
00:00:07 20 and to comment at the Plan Commission meeting.

21 MR. HEINZ: Great.

22 MR. HABIGER: I'd love for you to spend

1 some time with the architect because, again,
2 that back side of the building at the moment is
3 to address what we heard in the past was during
4 this, I guess, development proposal four years
5 ago was a concern. So, maybe that was -- maybe
6 you were involved in that. So, they are trying
7 to address that and are open to anything that
8 you --

9 MR. HEINZ: This is certainly a lot
00:00:36 10 better. It's not that seven building wall of
11 concrete.

12 MR. HABIGER: And it's not an ugly lot
13 that people dump stuff into. As I said before,
14 I complained for 20 years about it, and I
15 decided I'm going to solve the problem. But
16 maybe afterwards I'll meet up with you and I'm
17 happy to get your views.

18 CHAIRMAN BRASELTON: Anybody else in
19 the audience that would like to speak with
00:00:59 20 regard to this application?

21 (No Response.)

22 MR. BIGGERT: Motion to close the

1 public hearing.

2 MR. NEIMAN: Second.

3 CHAIRMAN BRASELTON: Roll call.

4 MS. BRUTON: Member Moberly.

5 MR. MOBERLY: Yes.

6 MS. BRUTON: Member Neiman.

7 MR. NEIMAN: Yes.

8 MS. BRUTON: Member Biggert.

9 MR. BIGGERT: Yes.

00:01:16 10 MS. BRUTON: Chairman Braselton.

11 CHAIRMAN BRASELTON: Yes.

12 (WHICH WERE ALL THE PROCEEDINGS
13 HAD IN THE ABOVE-ENTITLED
14 CAUSE ON THIS DATE.)
15
16
17
18
19
20
21
22

1 STATE OF ILLINOIS)

2) SS:

3 COUNTY OF C O O K)

4 I, TARA M. ZENO, CSR No. 84-4268, a
5 Notary Public within and for the County of
6 DuPage, State of Illinois, and a Certified
7 Shorthand Reporter of said state, do hereby
8 certify:

9 That previous to the commencement of
10 the examination of the witness, the witness was
11 duly sworn to testify the whole truth concerning
12 the matters herein;

13 That the foregoing hearing transcript
14 was reported stenographically by me, was
15 thereafter reduced to typewriting under my
16 personal direction and constitutes a true record
17 of the testimony given and the proceedings had;

18 That the said hearing was taken before
19 me at the time and place specified;

20 That I am not a relative or employee or
21 attorney or counsel, nor a relative or employee
22 of such attorney or counsel for any of the

23

1 parties hereto, nor interested directly or
2 indirectly in the outcome of this action.

3 IN WITNESS WHEREOF, I do hereunto set
4 my hand of office at Chicago, Illinois, this
5 12th day of September, 2013.

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10 Notary Public, DuPage County, Illinois.
11 My commission expires 5/24/14.

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15 TARA M. ZENO, CSR No. 84-4268

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1	9	area [5] - 3:8, 5:10, 6:6, 14:6, 18:7 areas [1] - 4:7 attorney [2] - 22:21, 22:22 audience [2] - 10:19, 20:15 August [2] - 1:11, 6:7 Avenue [1] - 1:10	2:22, 20:22, 21:2, 21:4, 21:6 buffer [2] - 4:6, 17:5 build [4] - 3:11, 5:3, 14:4, 18:9 buildable [3] - 3:8, 14:6, 16:9 builder [1] - 9:3 building [20] - 4:2, 5:3, 6:13, 7:2, 8:3, 9:8, 11:3, 11:11, 12:11, 12:20, 13:19, 14:2, 14:19, 15:9, 15:12, 16:19, 17:8, 18:11, 19:20, 20:6 buildings [1] - 7:7 built [1] - 7:5 bunch [1] - 18:3 bury [1] - 18:5 business [3] - 11:8, 11:9, 14:19 buy [1] - 15:6	close [2] - 10:13, 20:18 closely [1] - 18:1 closer [1] - 14:3 commencement [1] - 22:9 comment [1] - 19:16 Commission [3] - 12:21, 16:8, 19:16 commission [1] - 23:11 Commissioner [1] - 2:4 Community [1] - 2:3 complained [1] - 20:10 complaints [1] - 9:2 concern [6] - 6:17, 8:18, 9:19, 16:21, 16:22, 20:1 concerned [1] - 9:16 concerning [1] - 22:11 concerns [4] - 6:18, 7:18, 10:1, 15:11 concrete [2] - 5:10, 20:7 concur [1] - 10:13 condominiums [1] - 11:5 constitutes [1] - 22:16 control [1] - 4:19 corner [1] - 4:9 correct [1] - 11:11 COULES [15] - 3:3, 5:18, 6:12, 6:20, 7:9, 7:22, 8:7, 9:4, 12:19, 13:2, 13:11, 13:14, 14:7, 16:7, 18:17 Coules [1] - 3:4 counsel [2] - 22:21, 22:22 COUNTY [2] - 1:2, 22:3 County [2] - 22:5, 23:10 cover [1] - 3:13 covered [1] - 16:3 covering [1] - 3:14 crossing [3] - 3:18, 16:13, 16:14 CSR [2] - 22:4, 23:15 Culligan [2] - 9:8, 16:6 cut [5] - 4:13, 4:14, 17:3, 17:5, 17:21
2	A	B	C	D
2.1 [1] - 4:9 20 [2] - 14:21, 20:10 20-year [1] - 14:9 2013 [2] - 1:11, 23:5 21st [1] - 1:11 25 [4] - 4:4, 8:12, 11:4, 12:10	90 [1] - 3:13 A.D [1] - 1:11 able [1] - 5:5 ABOVE [1] - 21:9 above-entitled [1] - 1:8 ABOVE-ENTITLED [1] - 21:9 Abraham [1] - 9:8 Abraham's [1] - 16:6 absorb [1] - 10:5 abut [1] - 6:22 action [1] - 23:2 actual [1] - 12:6 additional [1] - 4:18 address [5] - 6:18, 7:16, 15:11, 19:21, 20:3 afterwards [1] - 20:12 agency [1] - 14:15 agenda [1] - 2:9 ago [3] - 17:22, 18:1, 20:1 agreed [4] - 17:20, 18:4, 18:6, 19:7 agreeing [1] - 18:5 ALL [1] - 21:8 allowed [3] - 3:13, 3:15, 13:9 ALSO [1] - 2:1 amount [1] - 16:3 answer [1] - 15:14 apartment [1] - 11:5 APPEALS [1] - 1:3 Appeals [1] - 1:10 appearance [1] - 13:9 applicant [2] - 3:5, 10:15 application [2] - 10:20, 20:16 approach [1] - 5:13 approval [2] - 12:22, 13:2 approved [4] - 9:3, 10:7, 18:16, 19:1 approves [1] - 16:5 arborist [1] - 19:11 architect [3] - 8:10, 8:11, 19:19 architectural [3] - 10:3, 11:17, 14:13 architecturally [1] - 15:9	B-2 [1] - 15:19 B-3 [4] - 3:10, 3:12, 5:9, 15:19 Bank [1] - 7:1 BARTELLI [6] - 8:8, 8:11, 11:12, 11:22, 12:10, 12:14 Bartelli [1] - 8:8 based [1] - 3:19 becomes [1] - 16:15 BEFORE [1] - 1:3 behalf [1] - 3:5 below [3] - 6:10, 6:13, 9:19 Bernie [2] - 8:8, 15:22 better [1] - 20:6 big [3] - 14:11, 15:12, 16:2 Biggert [2] - 2:20, 21:4 BIGGERT [5] - 1:17, 2:14, 2:21, 20:18, 21:5 bit [2] - 12:5, 12:16 block [1] - 6:21 Blockbuster [1] - 7:2 BNSF [3] - 15:1, 18:22, 19:5 BOARD [2] - 1:3, 1:14 board [1] - 3:7 Board [2] - 1:9, 14:1 bottom [1] - 7:3 bought [1] - 7:9 box [2] - 18:6, 18:7 BRASELTON [20] - 1:15, 2:8, 2:13, 2:15, 3:1, 8:9, 9:12, 10:14, 10:18, 11:7, 11:18, 13:1, 13:7, 13:16, 15:14, 18:14, 19:14, 20:14, 20:21, 21:7 Braselton [2] - 2:22, 21:6 bringing [1] - 7:22 Bruce [2] - 6:8, 10:12 BRUTON [9] - 2:5, 2:16, 2:18, 2:20,	car [1] - 15:5 cards [1] - 6:2 care [1] - 7:16 Carolyn [1] - 5:15 CASE [1] - 1:6 catch [1] - 17:18 catches [1] - 17:19 CAUSE [1] - 21:10 ceiling [1] - 8:7 certain [1] - 6:9 certainly [3] - 9:18, 10:7, 20:5 Certified [1] - 22:6 certify [1] - 22:8 CHAIRMAN [19] - 2:8, 2:13, 2:15, 3:1, 8:9, 9:12, 10:14, 10:18, 11:7, 11:18, 13:1, 13:7, 13:16, 15:14, 18:14, 19:14, 20:14, 20:21, 21:7 Chairman [2] - 1:15, 1:16 chairman [2] - 2:22, 21:6 Chestnut [3] - 1:5, 2:9, 12:11 Chicago [2] - 1:10, 23:4 chop [1] - 19:5 CHRISTINE [1] - 2:5 Clay [1] - 16:18 clearance [1] - 15:2 Clerk [1] - 2:6	
3				
30 [1] - 6:15 30-foot [1] - 7:3 330 [2] - 1:5, 2:9 35 [1] - 3:15				
4				
400-some-odd [1] - 3:9				
5				
5.5 [1] - 4:2 5/24/14 [1] - 23:11 50 [1] - 3:15				
6				
65 [1] - 3:9				
7				
7:00 [1] - 1:12				
8				
84-4268 [2] - 22:4, 23:15				

decided [1] - 20:11 deep [2] - 3:9, 5:4 depth [1] - 5:1 Deputy [1] - 2:5 design [2] - 12:21, 13:3 designed [2] - 9:8, 9:9 development [2] - 18:15, 19:22 Development/ Building [1] - 2:3 direction [1] - 22:16 directly [1] - 23:1 Director [1] - 2:2 discussion [1] - 17:12 dissolved [1] - 18:12 district [1] - 3:10 document [1] - 19:8 done [1] - 7:11 down [8] - 5:11, 9:21, 9:22, 15:13, 17:3, 17:5, 17:22, 19:6 downtown [1] - 14:17 drawing [2] - 5:3, 12:8 drawings [1] - 9:20 DU [1] - 1:2 duly [1] - 22:11 dump [2] - 14:22, 20:9 DuPage [2] - 22:6, 23:10 during [1] - 19:21	14:17 F faces [1] - 12:1 facing [1] - 8:19 fact [3] - 3:7, 11:3, 18:4 factor [1] - 9:17 far [2] - 16:9, 18:4 FAR [1] - 3:15 favor [2] - 5:14, 5:22 feet [10] - 3:9, 4:2, 4:9, 5:4, 5:11, 6:15, 8:12, 11:4, 12:10 filled [1] - 7:7 fine [2] - 9:4 firm [1] - 14:14 first [2] - 5:2, 8:15 fit [1] - 4:2 fits [1] - 7:3 floor [1] - 8:15 foot [2] - 4:6, 19:13 foregoing [1] - 22:13 forward [1] - 8:1 foundations [1] - 5:6 four [3] - 14:12, 18:1, 19:22 frankly [1] - 10:1 front [2] - 12:15, 18:7 fruit [1] - 17:4	guys [1] - 15:5 H HABIGER [22] - 7:14, 7:21, 8:5, 8:17, 9:5, 9:14, 10:17, 11:17, 12:9, 12:17, 13:3, 13:12, 13:18, 14:8, 15:18, 16:10, 16:15, 17:11, 18:21, 19:3, 19:18, 20:8 Habiger [2] - 5:20, 7:10 HABINGER [1] - 7:8 HAD [1] - 21:9 half [3] - 12:7, 14:7, 14:8 hand [1] - 23:4 handy [1] - 10:8 happy [1] - 20:13 hardship [1] - 5:1 hear [1] - 11:20 heard [2] - 9:1, 19:21 hearing [6] - 1:8, 2:10, 2:12, 20:19, 22:13, 22:18 height [4] - 6:13, 6:15, 7:3, 9:17 HEINZ [11] - 10:21, 11:9, 11:15, 12:12, 15:16, 16:12, 16:17, 18:18, 19:2, 19:17, 20:5 Heinz [2] - 10:21, 19:14 help [1] - 18:5 hereby [1] - 22:7 herein [1] - 22:12 hereto [1] - 23:1 hereunto [1] - 23:3 high [2] - 8:6, 11:4 higher [4] - 6:20, 12:2, 12:5, 12:16 HINSDALE [1] - 1:3 Hinsdale [4] - 1:9, 1:10, 7:1, 13:22 historic [1] - 14:2 Historical [1] - 14:1 historically [1] - 19:6 hopefully [1] - 10:7 hour [1] - 1:12 house [2] - 11:1, 16:18 houses [1] - 16:20	I idea [2] - 10:3, 17:14 ignored [1] - 6:3 ILLINOIS [2] - 1:1, 22:1 Illinois [4] - 1:11, 22:6, 23:4, 23:10 IN [2] - 21:9, 23:3 indicating [3] - 12:8, 13:6, 17:14 indirectly [1] - 23:2 infrastructure [1] - 4:11 inside [1] - 17:14 insurance [1] - 14:14 interested [1] - 23:1 interesting [1] - 17:17 involved [2] - 7:12, 20:2 issue [1] - 19:4 item [1] - 2:8 ivy [6] - 8:22, 9:21, 11:15, 13:8, 13:9, 16:3 J job [1] - 5:19 justice [1] - 16:1 K keep [4] - 4:6, 11:13, 12:1, 12:19 kept [1] - 6:10 kind [1] - 12:14 kitchens [1] - 9:7 L land [1] - 15:6 landscape [1] - 10:4 landscaping [2] - 4:6, 4:8 least [1] - 6:17 leave [1] - 17:18 left [3] - 3:20, 15:22, 17:10 legal [1] - 19:8 letter [5] - 5:13, 6:8, 6:11, 7:15, 10:8 level [2] - 6:10, 12:6 light [3] - 9:10, 12:17, 13:3 line [4] - 12:4, 12:5, 12:16, 18:5	literally [1] - 14:22 live [1] - 10:22 lives [1] - 10:12 located [1] - 4:5 look [4] - 16:4, 17:16, 19:4, 19:15 looked [1] - 9:7 looking [6] - 9:15, 12:3, 12:13, 12:14, 15:13, 17:9 looks [1] - 10:5 love [1] - 19:18 low [2] - 15:17, 17:19 M main [2] - 8:13, 19:4 material [1] - 16:4 Matter [1] - 1:4 matter [1] - 1:9 matters [1] - 22:12 MCGINNIS [1] - 2:2 mean [2] - 11:5, 15:6 meet [2] - 13:21, 20:12 meeting [2] - 10:8, 19:16 meetings [1] - 14:21 member [6] - 2:16, 2:18, 2:20, 20:22, 21:2, 21:4 Member [2] - 1:17, 1:18 MEMBERS [1] - 1:14 met [2] - 5:20, 5:22 microphone [1] - 11:21 middle [1] - 9:13 might [1] - 10:8 mind [1] - 12:19 minimum [1] - 11:14 mistake [1] - 14:11 Moberly [2] - 2:16, 20:22 MOBERLY [6] - 1:18, 2:11, 2:17, 5:17, 8:3, 21:1 moment [2] - 18:21, 19:20 months [2] - 17:22, 18:1 mostly [1] - 14:16 motion [3] - 2:10, 2:11, 20:18 move [1] - 14:3 moved [2] - 4:17 MR [74] - 1:16, 1:17, 1:18, 2:2, 2:11, 2:14, 2:17, 2:19, 2:21, 3:3, 5:17, 5:18, 6:7, 6:12,	
E easements [1] - 18:2 east [1] - 13:5 East [1] - 1:10 effectively [1] - 9:10 effects [1] - 8:19 electric [1] - 18:5 employee [2] - 22:20, 22:21 entities [1] - 5:21 entitled [1] - 1:8 ENTITLED [1] - 21:9 entity [1] - 7:10 evening [2] - 3:2, 3:4 examination [1] - 22:10 existing [3] - 4:13, 4:15, 8:13 exists [1] - 4:12 expensive [1] - 14:18 expires [1] - 23:11 expressing [2] - 6:16, 7:18 exterior [3] - 13:1, 13:2, 13:8 eyesore [2] - 13:21,	G garden [1] - 10:6 gardens [3] - 13:5, 13:6, 15:21 GARY [1] - 1:18 gas [1] - 15:4 given [1] - 22:17 glad [1] - 7:5 goal [3] - 10:9, 13:20, 14:3 grade [1] - 8:13 grass [1] - 9:21 gravel [1] - 18:8 great [3] - 5:19, 19:17 green [18] - 3:19, 3:20, 4:7, 4:18, 4:19, 6:1, 10:4, 13:12, 13:14, 13:15, 13:17, 14:5, 14:16, 15:3, 15:10, 16:2, 17:17, 18:7 ground [2] - 5:6, 5:11 grow [2] - 9:21, 10:6 growing [2] - 8:22, 11:16 guess [2] - 3:3, 19:22				

6:16, 6:20, 7:8, 7:9, 7:14, 7:16, 7:21, 7:22, 8:3, 8:5, 8:7, 8:8, 8:11, 8:17, 9:4, 9:5, 9:14, 10:17, 10:21, 11:9, 11:12, 11:15, 11:17, 11:22, 12:9, 12:10, 12:12, 12:14, 12:17, 12:19, 13:2, 13:3, 13:11, 13:12, 13:14, 13:18, 14:7, 14:8, 15:16, 15:18, 16:7, 16:10, 16:12, 16:15, 16:17, 17:11, 18:17, 18:18, 18:21, 19:2, 19:3, 19:17, 19:18, 20:5, 20:8, 20:18, 20:20, 21:1, 21:3, 21:5 MS [10] - 1:15, 2:5, 2:16, 2:18, 2:20, 2:22, 20:22, 21:2, 21:4, 21:6	ON [1] - 21:10 one [12] - 3:11, 3:21, 3:22, 4:5, 4:20, 7:4, 7:5, 8:3, 8:4, 10:1, 11:6, 15:7 open [5] - 2:10, 2:11, 8:15, 13:4, 20:3 openings [1] - 11:13 opportunity [1] - 19:15 opposed [2] - 6:9, 14:8 outcome [1] - 23:2 overview [1] - 12:18 own [1] - 7:10 owner [1] - 3:6	podium [1] - 11:19 point [2] - 7:12, 19:7 points [1] - 8:18 pose [1] - 7:20 possible [4] - 15:10, 18:19, 18:22, 19:2 possibly [1] - 6:14 PRESENT [2] - 1:14, 2:1 presently [1] - 4:12 preservation [1] - 4:19 pretty [1] - 15:9 previous [3] - 8:21, 14:20, 22:9 previously [1] - 18:15 problem [1] - 20:11 proceedings [1] - 22:17 PROCEEDINGS [2] - 1:7, 21:8 profile [1] - 6:12 profiles [1] - 6:10 project [1] - 5:22 property [12] - 3:6, 3:12, 3:14, 4:1, 4:3, 4:21, 4:22, 5:8, 5:9, 7:6, 7:9, 7:12 proposal [4] - 3:11, 8:21, 10:2, 19:22 proposed [2] - 14:9, 18:11 proposing [1] - 8:14 Public [2] - 22:5, 23:10 public [3] - 2:10, 2:11, 20:19 PUD [7] - 3:21, 7:5, 7:8, 7:11, 9:3, 9:4 purchased [1] - 17:22 put [6] - 4:13, 4:20, 10:9, 14:2, 15:5, 19:7 putting [1] - 4:7	18:22, 19:5 ranges [1] - 15:6 really [1] - 11:2 reason [2] - 3:16, 5:7 record [2] - 18:12, 22:16 reduced [1] - 22:15 reflect [1] - 10:10 regard [2] - 10:20, 20:16 relative [2] - 22:20, 22:21 relatively [1] - 10:13 REPORT [1] - 1:7 reported [1] - 22:14 Reporter [1] - 22:7 request [1] - 3:22 required [1] - 4:4 resident [1] - 14:10 Response [2] - 10:16, 20:17 retail [1] - 15:16 reverberation [1] - 8:20 ROBB [1] - 2:2 ROBERT [1] - 1:16 RODY [1] - 1:17 roll [2] - 2:15, 20:21 roof [6] - 8:13, 9:21, 9:22, 13:12, 13:14, 13:15 roofs [1] - 13:17 round [1] - 13:19 run [1] - 5:21	show [3] - 12:18, 15:21, 16:3 showed [1] - 9:20 shown [1] - 3:7 side [12] - 9:1, 9:9, 11:10, 11:22, 12:7, 12:11, 12:13, 15:22, 17:1, 17:2, 17:8, 19:20 signed [1] - 6:4 simple [3] - 14:5, 15:3, 15:8 single [2] - 4:2, 8:5 site [2] - 12:22, 14:22 small [5] - 3:8, 4:2, 4:20, 12:2, 14:4 softening [1] - 8:19 solve [2] - 13:20, 20:11 solves [1] - 14:16 someone [1] - 10:12 source [1] - 9:10 sources [2] - 12:17, 13:4 South [1] - 10:22 south [3] - 11:10, 12:13, 17:2 space [7] - 3:19, 3:21, 4:18, 14:5, 14:16, 15:16, 17:17 specified [1] - 22:19 spend [1] - 19:18 spent [2] - 14:21, 15:1 spot [1] - 16:9 SS [1] - 22:2 ss [1] - 1:1 staircase [1] - 9:11 stand [1] - 11:18 standing [1] - 12:3 start [1] - 3:3 STATE [2] - 1:1, 22:1 State [1] - 22:6 state [1] - 22:7 station [1] - 15:4 stay [3] - 5:4, 16:14, 19:12 stenographically [1] - 22:14 still [1] - 17:17 story [6] - 8:4, 8:5, 15:12, 18:10 street [6] - 3:18, 4:3, 4:9, 12:6, 15:13, 16:20 Street [4] - 1:5, 2:9, 10:22, 16:17 structure [10] - 3:12, 4:1, 4:3, 4:20, 7:4, 8:14, 10:3, 16:2, 17:15, 18:10
N	P	Q	S	
name [2] - 3:4, 10:21 necessity [1] - 5:12 need [5] - 2:9, 4:1, 4:5, 16:3, 18:12 neighbor [2] - 5:14, 6:2 neighbors [3] - 6:1, 7:19, 9:7 Neiman [2] - 2:18, 21:2 NEIMAN [7] - 1:16, 2:19, 6:7, 6:16, 7:16, 20:20, 21:3 next [2] - 2:8, 10:2 nice [4] - 10:6, 15:8, 17:4, 18:20 nine [1] - 5:11 NO [1] - 1:6 noise [3] - 9:20, 10:5, 10:11 none [1] - 4:11 Notary [2] - 22:5, 23:10 nothing [1] - 4:17 notice [2] - 6:3, 6:4	p.m [1] - 1:12 packet [1] - 5:19 PAGE [1] - 1:2 parcel [1] - 7:7 park [1] - 16:16 parking [5] - 4:5, 4:10, 4:12, 14:15, 15:19 part [3] - 6:18, 7:17, 13:8 particular [1] - 9:1 parties [1] - 23:1 passing [1] - 6:11 past [1] - 19:21 pedestrian [1] - 16:13 people [5] - 9:14, 11:19, 14:12, 18:3, 20:9 percent [4] - 3:13, 3:15, 3:16, 14:6 personal [1] - 22:16 perspective [1] - 14:20 Pete [1] - 3:4 phonetic [1] - 6:8 picture [1] - 15:21 pipe [3] - 5:4, 5:7, 5:11 pipes [1] - 4:15 place [2] - 14:2, 22:19 plan [4] - 9:20, 12:20, 13:7, 19:9 Plan [3] - 12:21, 16:7, 19:16 planned [3] - 18:22, 19:2, 19:3 plans [1] - 19:15 plant [3] - 13:9, 17:13, 17:21 planted [1] - 17:8 planting [1] - 18:18 play [1] - 4:16	radius [1] - 19:13 railroad [12] - 3:18, 5:21, 12:4, 16:13, 16:14, 17:6, 17:11, 17:12, 17:16, 17:20, 18:2 Railroad [3] - 15:2,	second [3] - 2:13, 4:14, 10:22 Second [2] - 2:14, 20:20 section [1] - 16:16 see [6] - 3:20, 5:2, 8:21, 11:2, 12:6, 15:4 seem [1] - 6:9 select [1] - 19:11 sense [1] - 14:19 sensitive [1] - 7:19 September [1] - 23:5 set [1] - 23:3 setback [1] - 4:1 seven [6] - 3:21, 7:6, 9:6, 18:10, 20:6 seven-story [1] - 18:10 sewers [1] - 4:16 shooting [1] - 15:6 Shorthand [1] - 22:7	
O		R		
objections [1] - 6:5 OF [6] - 1:1, 1:2, 1:3, 1:7, 22:1, 22:3 office [2] - 14:13, 23:4 old [1] - 14:2				

structures [4] - 3:22, 6:21, 7:6, 9:6 stuff [1] - 20:9 suggested [1] - 8:22 support [1] - 15:3 supportive [1] - 19:9 supposed [1] - 17:13 sworn [1] - 22:11	true [1] - 22:16 truth [1] - 22:11 try [3] - 10:9, 15:6, 15:10 trying [1] - 20:2 TV [1] - 11:20 two [2] - 8:4, 9:1 typewriting [1] - 22:15	windows [4] - 9:6, 9:9, 11:11, 12:1 wish [1] - 17:6 WITNESS [1] - 23:3 witness [2] - 22:10 write [1] - 19:4
T	U	Y
tact [1] - 16:14 tall [3] - 7:1, 7:2, 8:7 TARA [2] - 22:4, 23:15 ten [2] - 4:6, 19:13 ten-foot [2] - 4:6, 19:13 testify [1] - 22:11 testimony [2] - 1:7, 22:17 THE [3] - 1:3, 21:8, 21:9 thereafter [1] - 22:15 they've [8] - 6:3, 18:4, 18:6, 19:7, 19:8 thinness [2] - 3:17, 5:9 THIS [1] - 21:10 Thompson [1] - 5:16 Thompson's [1] - 5:15 three [3] - 15:12, 17:22, 18:10 three-story [2] - 15:12, 18:10 Tim [1] - 5:15 today [3] - 5:14, 5:20, 8:2 Tom [1] - 10:21 tonight [1] - 16:8 top [2] - 7:4, 12:7 touched [1] - 4:12 townhome [1] - 18:15 track [3] - 12:4, 17:16, 19:13 tracks [7] - 6:22, 11:1, 12:1, 12:13, 12:15, 17:2 trade [1] - 18:8 trade-off [1] - 18:8 train [9] - 6:10, 6:14, 6:22, 8:19, 8:20, 9:17, 9:18, 10:13, 12:9 transcript [1] - 22:13 trees [10] - 10:6, 16:22, 17:4, 17:9, 17:13, 17:21, 18:19, 19:10, 19:11, 19:12 trim [1] - 19:6	ugly [3] - 13:20, 14:4, 20:8 under [2] - 5:11, 22:15 underside [1] - 8:15 uniqueness [2] - 4:22, 5:8 up [8] - 3:7, 6:22, 9:22, 12:2, 16:7, 18:7, 19:11, 20:12	year [1] - 17:3 years [3] - 14:21, 19:22, 20:10
	V	Z
	V-07-13 [2] - 1:6, 2:9 valid [1] - 15:11 variance [5] - 3:16, 5:12, 6:14, 6:19, 7:18 versus [1] - 4:4 Vice [1] - 1:16 views [1] - 20:13 Village [6] - 2:5, 9:2, 13:22, 16:5, 17:18, 17:19 Vine [2] - 10:22, 16:17 vision [1] - 16:6 volume [1] - 15:17	ZENO [2] - 22:4, 23:15 zoning [1] - 3:10 ZONING [1] - 1:3 Zoning [1] - 1:9
	W	
	walk [1] - 15:20 wall [5] - 4:8, 8:19, 10:4, 11:11, 20:6 wants [1] - 10:19 wash [1] - 15:5 watching [1] - 11:19 water [3] - 4:19, 17:18, 17:19 Watts [1] - 6:8 WERE [1] - 21:8 west [1] - 13:5 WHEREOF [1] - 23:3 WHICH [1] - 21:8 whole [4] - 7:7, 13:19, 18:3, 22:11 wide [1] - 3:9 wife [1] - 7:10 window [1] - 9:15	

FINAL DECISION

VILLAGE OF HINSDALE ZONING BOARD OF APPEALS PETITION FOR VARIATION

Zoning Calendar:

V-07-13

Petitioner:

Hinsdale Land Restoration and Preservation, LLC

Meeting held:

Public Hearing was held on Wednesday, August 21, 2013 at 7:30 p.m. in Memorial Hall, in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois, pursuant to a notice published in The Hinsdalean on August 1, 2013.

Premises Affected:

Subject Property is commonly known as 330 Chestnut Street, Hinsdale, Illinois and is legally described as:

LOTS 4,5,6 AND 7 IN CHESTNUT STREET COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 25, 2001 AS DOCUMENT R2001-203762, EXCEPTING THEREFROM THAT PART OF LOT 4, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4, THENCE SOUTH 15 DEGREES 09 MINUTES 55 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 4, A DISTANCE OF 60.29 FEET TO THE SOUTHERLY LINE OF SAID LOT 4, THENCE SOUTH 74 DEGREES 50 MINUTES 05 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 4, A DISTANCE OF 27.5 FEET; THENCE NORTH 34 DEGREES 38 MINUTES 48 SECONDS EAST, A DISTANCE OF 24.22 FEET TO A POINT; THENCE NORTH 15 DEGREES 09 MINUTES 55 SECONDS WEST, A DISTANCE OF 44.29 FEET TO THE NORTHERLY LINE OF SAID LOT 4; THENCE NORTH 72 DEGREES 28 MINUTES 00 SECONDS EAST ALONG THE NORTHERLY LINE OF SAID LOT 4, A DISTANCE OF 9.01 FEET TO THE POINT OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS

Subject:

In this application for variation, the applicant requests relief from the front and rear yard setbacks set forth in 5-110C in order to construct a new commercial building on the site.

Facts:

This property is located in the B-3 Business District in the Village of Hinsdale and is located on the south side of Chestnut Street between Vine and Clay. The property is irregularly shaped and has a total square footage of approximately 24,090. The maximum FAR is 50% or 12,045. The Total Lot Coverage is 90% or approximately 21,681 square feet.

Action of the Board:

Members discussed the request and agreed that the standards for variation set forth in 11-503 (F) of the Hinsdale Zoning Code had been met and recommended approval. One of the factors taken into account was the unique shape of this lot and its proximity to the railroad tracks.

A motion to recommend approval was made by Member Moberly and seconded by Member Neiman.

AYES:

Members Moberly, Neiman, Biggert, and Chairman Braselton

NAYS:

None

ABSTAIN:

None

ABSENT:

Members Connelly, Giltner, and Callahan

THE HINSDALE ZONING BOARD OF APPEALS


Chairman Debra Braselton

Filed this 7th day of October 2013 with the office of the Building Commissioner.