



MEETING AGENDA

Public comments are welcome on any topic related to the business of the Village Board at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. While emailed or written comments are encouraged, **public comment may also be made using Zoom** following the instructions below:

From a PC, Mac, iPad, iPhone or Android device, please click on the following URL or copy and paste to your browser.

<https://tinyurl.com/y2ouz38f>

Passcode: 496249

Or join by phone:

1 312 626 6799

Webinar ID: 813 4162 1750

Passcode: 496249

If you have questions regarding communication to the Board during the meeting, please contact Assistant Village Manager/Director of Public Safety Brad Bloom at 630.789.7007.

MEETING OF THE VILLAGE BOARD OF TRUSTEES Tuesday, January 19, 2021 7:30 P.M.

This meeting will be conducted electronically. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website

(Tentative and Subject to Change)

- 1. CALL TO ORDER/ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES**
 - a) Regular Meeting of January 5, 2020
- 4. VILLAGE PRESIDENT'S REPORT**
- 5. APPROVE THE ASSISTANT VILLAGE MANAGER CONTRACT EXTENSION**
- 6. CITIZENS' PETITIONS*** (Pertaining to items appearing on this agenda)
- 7. FIRST READINGS – INTRODUCTION****

Items included for First Reading - Introduction may be disposed of in any one of the following ways: (1) moved to Consent Agenda for the subsequent meeting of the Board of Trustees; (2) moved to Second Reading/Non-Consent Agenda for consideration at a future meeting of the Board of Trustees; or (3) referred to Committee of the Whole or appropriate Board or Commission. (Note that zoning

*matters will not be included on any Consent Agenda; all zoning matters will be afforded a First and a Second Reading. Zoning matters indicated below by **.)*

Administration & Community Affairs (Chair Hughes)

- a) Approve an Intergovernmental Agreement (IGA) with the Illinois State Toll Highway Authority covering the temporary removal of fencing on Tollway property and partial funding of a Village drainage study
- b) Approve Blanket Purchase Orders for Calendar Year 2021 totaling \$810,723 and waiving the competitive bid requirements, where applicable

8. CONSENT AGENDA

*All items listed below have previously had a First Reading of the Board or are considered Routine*** and will be moved forward by one motion. There will be no separate discussion of these items unless a member of the Village Board or citizen so request, in which event the item will be removed from the Consent Agenda.*

Administration & Community Affairs (Chair Hughes)

- a) Approval and payment of the accounts payable for the period of December 31, 2020 through January 15, 2021, in the aggregate amount of \$1,269,558.37 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk***

Environment & Public Services (Chair Byrnes)

- b) Award Nels Johnson Tree Experts, Inc. the Tree Pruning contract for Year 2 of the contract not to exceed the current Year 2 budgeted amount of \$74,717***

9. SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

*These items require action of the Board. Typically, items appearing for Second Reading have been referred for further discussion/clarification or are zoning cases that require two readings. In limited instances, items may be included as Non-Consent items and have not had the benefit of a First Reading due to emergency nature or time sensitivity, or when the item is a referral to another Board or Commission*****

Zoning & Public Safety (Chair Stifflear)

- a) Approve an Ordinance Approving a Special Use Permit and Concurrent Site Plan and Exterior Appearance Plan Approval to Construct a New Two-Story Bank with 2 Drive-thru Lanes – Lakeside Bank – 222 E. Ogden Avenue** (First Reading – December 8, 2020)

10. DISCUSSION ITEMS

- a) Tollway update
- b) Chamber of Commerce request for annual in-kind services

11. DEPARTMENT AND STAFF REPORTS

- a) Public Services
- b) Engineering
- c) Community Development

12. REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

13. CITIZENS' PETITIONS* (Pertaining to any Village issue)

14. TRUSTEE COMMENTS

15. CLOSED SESSION– 5 ILCS 120/2(c) (1)/(2)/(3)/(5)/(8)/(11)/(21)

16. ADJOURNMENT

*The opportunity to speak to the Village Board pursuant to the Citizens' Petitions portions of a Village Board meeting agenda is provided for those who wish to comment on an agenda item or Village of Hinsdale issue. The Village Board appreciates hearing from our residents and your thoughts and questions are valued. The Village Board strives to make the best decisions for the Village and public input is very helpful. Please use the podium as the proceedings are videotaped. Please announce your name and address before commenting.

*****The Village Board reserves the right to take final action on an Item listed as a First Reading if, pursuant to motion, the Board acts to waive the two reading policy.***

******Routine items appearing on the Consent Agenda may include those items that have previously had a First Reading, the Accounts Payable and previously budgeted items that fall within budgetary limitations, has been competitively bid or is part of a State Contract, and have a total dollar amount of less than \$100,000.***

*******Items included on the Non-Consent Agenda due to "emergency nature or time sensitivity" are intended to be critical business items rather than policy or procedural changes. Examples might include a bid that must be awarded prior to a significant price increase or documentation required by another government agency to complete essential infrastructure work.***

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to promptly contact Darrell Langlois, ADA Coordinator, at 630-789-7014 **or by TDD at 630-789-7022** to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Website <http://villageofhinsdale.org>

**VILLAGE OF HINSDALE
VILLAGE BOARD OF TRUSTEES
MINUTES OF THE MEETING
January 5, 2021**

The regularly scheduled meeting of the Hinsdale Village Board of Trustees (conducted electronically) was called to order by Village President Tom Cauley on Tuesday, January 5, 2021 at 7:30 p.m., roll call was taken.

Present: President Tom Cauley

Participating electronically: Trustees Matthew Posthuma, Scott Banke, Luke Stifflear, Gerald J. Hughes, Laurel Haarlow and Neale Byrnes

Absent: None

Present: Village Manager Kathleen A. Gargano, Assistant Village Manager/Director of Public Safety Brad Bloom and Village Clerk Christine Bruton

Participating electronically: Police Chief Brian King, Fire Chief John Giannelli, Finance Director Darrell Langlois, Director of Community Development/Building Commissioner Robb McGinnis, Director of Public Services George Peluso, Village Planner Chan Yu, Superintendent of Parks & Recreation Heather Bereckis, Village Engineer Dan Deeter, Public Services Analyst Garrett Hummel, Recreation Supervisor Sammy Hanzel

VILLAGE PRESIDENT - INTRODUCTION

"Good evening. On September 18, 2020, Governor Pritzker entered the latest in a string of emergency declarations related to the COVID-19 pandemic. In light of that declaration, and consistent with various Executive Orders entered by the Governor, and the recent amendments made to the Open Meetings Act in Public Act 101-640, I find that it is not practical or prudent to conduct an in-person meeting. This Open Regular Meeting of the President and Board of Trustees of the Village of Hinsdale is therefore being conducted remotely.

Public Act 101-640 allows public bodies to meet remotely during public health disasters, so long as the public is able to monitor the meeting, and certain other conditions are met.

Public comment is permitted during the Citizen's Petitions portions of the meeting. When we get to those portions of the meeting, I will ask persons wishing to make public comment to identify themselves. If anyone wishing to speak has difficulty connecting to the meeting with ZOOM, please call Assistant Village Manager Brad Bloom at 630.789.7007."

APPROVAL OF MINUTES

a) Regular Meeting of December 8, 2020

Following changes to the draft minutes, Trustee Hughes moved to **approve the draft minutes of the regular meeting of December 8, 2020, as amended.** Trustee Stifflear seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes
NAYS: None
ABSTAIN: None
ABSENT: None

Motion carried.

APPOINTMENTS TO BOARDS & COMMISSIONS

President Cauley introduced the following appointment:

Historic Preservation Commission

Ms. Sarah Barclay appointed for a 3-year term through April 30, 2023

He outlined Ms. Barclay's qualifications noting that her architectural background would be a good addition to the Historic Preservation Commission. Trustee Byrnes moved to **Approve the appointment(s) to Village Boards and Commissions, as recommended by the Village President.** Trustee Hughes seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes
NAYS: None
ABSTAIN: None
ABSENT: None

Motion carried.

VILLAGE PRESIDENT'S REPORT

President Cauley reported the COVID-19 statistics as reported by various agencies, and that the vaccine is now being administered. Village Manager Kathleen Gargano said all but five of the Firefighter/Paramedics have been inoculated, and will receive their second round of shots this week.

CITIZENS' PETITIONS

Ms. Jennifer London and Mr. Andrew London of 628 N. York addressed the Board voicing their concerns regarding vehicular speeding in the area of their home on York Road. They believe speed limits are not being enforced, and that despite bringing this to the Village's attention in the past, nothing substantive has been done. Chief King explained that there are three factors in play when evaluating traffic enforcement; accident history where violations lead to crashes, observation data from officers, and finally citizen complaints. He said they are willing to discuss this further, however, there is no accident history, and when the traffic is monitored, there are not a significant number of violations.

President Cauley inquired as to the best time to observe the traffic, the Londons said the speeding occurs regularly throughout the day. Chief King stated that while an officer cannot be stationed permanently, he will look into this during commuting hours in the morning and the evening and follow up with the Londons.

FIRST READINGS – INTRODUCTION

There were no first readings presented for Board consideration.

CONSENT AGENDA

Administration & Community Affairs (Chair Hughes)

- a) Following discussion regarding a payment in question, Trustee Stifflear moved **Approval and payment of the revised accounts payable for the period of December 7, 2020 through December 30, 2020, in the aggregate amount of \$1,611,569.45 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.** Trustee Posthuma seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

The following items were approved by omnibus vote:

Environment & Public Services (Chair Byrnes)

- b) **Approve a Resolution for Improvement Under the Illinois Highway Code – Chicago Avenue Resurfacing Project** (*First Reading – December 8, 2020*)
- c) **Approve a Resolution for Improvement Under the Illinois Highway Code – Eighth Street Reconstruction Project** (*First Reading – December 8, 2020*)
- d) **Approve a Resolution for Improvement Under the Illinois Highway Code – Third, Eighth Maple, Quincy, Washington, York, Phillippa, Robbins Parking Lot** (*First Reading – December 8, 2020*)
- e) **Approve an ordinance authorizing the vacation of a certain portion of an unimproved alley situated west of and adjoining 646 South Bruner Street in the Village of Hinsdale, DuPage and Cook Counties, Illinois at a purchase price of \$12,000** (*Routine item by policy*)

Trustee Hughes moved to **approve the Consent Agenda, as presented.** Trustee Banke seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

Zoning & Public Safety (Chair Stifflear)

- a) **Approve an Ordinance approving a Major Adjustment to an Exterior Appearance Plan for a two-story development at 26-32 E First Street – Garfield Crossing; or Refer the request to the Historic Preservation Commission and Plan Commission for further hearing and review**

Trustee Stifflear introduced the item and explained that procedurally if the Board thinks a hearing is required, the matter should be referred as noted, requiring only one reading. If the Board determines no further review is required, the matter can be moved forward for a second reading and a vote of the Board at their next meeting.

Trustee Stifflear summarized the changes requested in the application that include alternations to the front and rear elevations to accommodate a new commercial tenant, Circa Lighting. They intend to occupy the space vacated by Kaehler Luggage and Verizon, and combine the two separate entrances into one single main entrance. They are requesting permission to replace the entrance lighting with different fixtures. Additionally, they want to remove one of the rear back doors and windows to allow loading in the rear of the building. This matter was brought to the attention of Plan Commission Chair Steve Cashman, who recommended this be reviewed by the Plan Commission, and given the proximity to the downtown historic district, he feels the Historic Preservation Commission (HPC) should also review the application. Trustee Stifflear noted that the HPC can review the matter at their meeting tomorrow, and the Plan Commission can review at their meeting next week.

Ms. Gale Singer, founder, President and applicant, introduced herself to the Board to answer any questions they might have. Mr. Matt Willett, property landlord, addressed the Board stating when this building was constructed, it was designed so that they appear to be separate buildings. Ms. Singer added the windows are important to their business, and if it is possible to remove the vertical mullions on the transom windows, they would appreciate it. They would also like to install their own lighting on the front of the building.

Trustee Stifflear stated the Board has no concerns with the request, but following discussion with Mr. Cashman, and the location, this should probably be referred. President Cauley noted a referral is not negative comment, but following process. Trustee Byrnes said this looks like a great project, but agrees the Plan Commission should review and offer suggestions. President Cauley assured the applicant we will do what we can to move this along. Village Planner Chan Yu added the Village Attorney will need adequate time to write a draft ordinance.

Trustee Haarlow noted a discrepancy in the drawings with respect to the transom and the keystones on the window ledge, however, Ms. Singer confirmed this was an oversight; there are no proposed changes to the windows, other than the possible removal of the vertical mullions.

Trustee Stifflear moved to **Refer the request to the Historic Preservation Commission and Plan Commission for further hearing and review.** Trustee Banke seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

DISCUSSION ITEMS

a) Tollway update

Assistant Village Manager Brad Bloom stated there is no update at this time.

b) Village website redesign

Mr. Bloom introduced Ms. Sammy Hanzel who with the assistance of Public Services Analyst Garrett Hummel worked with our current website designer to update the Village website. He added that the redesign is per the existing contract with Revise, and is no additional cost to the Village.

Ms. Hanzel addressed the Board and illustrated improvements to the website. She pointed out that the goal was to make the site more modern and fit the aesthetic standard used across the Village. The new website is ready to go live tomorrow. She explained the functionality is essentially the same, and the site remains ADA compliant. She pointed out the new alert feature on the home page, providing quick link buttons that can be changed easily to items of current interest. She described various other benefits, noting the new feature that accesses Village social media sites.

President Cauley and the Board agreed the new website looks good and did not object to it going live tomorrow.

c) Liquor Licensing – new business proposals

Mr. Bloom began discussion stating there have been a number of new liquor licensing requests. **Baldinelli's** is changing ownership in mid-February. The new owner intends to continue in that business model, but is requesting the addition of packaged sales. The Board had no concerns; Trustee Hughes confirmed that this is provided for by the code for an additional fee. **Toni Patisserie & Café** has applied for an A1 Packaged Sales license for beer and wine. Mr. Paul Pell, owner, explained they are expanding their business model. Alcohol will not be served, but they want to offer bottles of wine to their customers, consistent with their French identity. The Board had no objections. **Egg Harbor Café** has applied for a B2 Restaurant license for beer, wine and liquor. Mr. Matt Farrell, explained this is a change from their current business model, to allow alcohol service with meals. The Board had no objections.

The final proposal was represented by **Mr. Aaron Comes**, who is currently the sole proprietor of a high-end haberdashery located in Chicago, and is in the process of opening another location in Hinsdale. Mr. Bloom explained Mr. Comes intends to sell and/or dispense high-end spirits to customers, but not in the manner of a bar. He also wants to hold special customer events, to be conducted when the store is closed. He further explained that the Village Attorney has reviewed the request, and the current code can accommodate this business model with a combination of license classes. Trustee Banke expressed concern that there is no food being served, and the Village may be inching closer

to bars. Trustee Stifflear echoed this, but noted Mr. Comes is selling goods, the alcohol is secondary only to make the customer experience better. Trustee Banke is concerned about setting a precedent. Mr. Comes addressed the Board stating that such retail stores as Nordstrom, Crate and Barrel, and Restoration Hardware now serve alcohol. He said he currently hosts tastings in his downtown business, which has grown from word of mouth. He said he wants to educate his clients to something he has enjoyed.

Trustee Byrnes stated he is comfortable with the request, and Trustee Hughes added that he has been a client of Mr. Comes for 10 years, and is familiar with how the business operation in the city. He assured the Board that nothing you would see would cause concern; this is very high-end, and the alcohol component is very discreet.

Mr. Bloom said the liquor ordinance adjustments in terms of number of licenses in each class will be brought back to the Board for approval as the applications are completed.

DEPARTMENT AND STAFF REPORTS

- a) Parks & Recreation
- b) Community Development

The report(s) listed above were provided to the Board. There were no additional questions regarding the content of the department and staff reports.

REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

None.

CITIZENS' PETITIONS

None.

TRUSTEE COMMENTS

None.

ADJOURNMENT

There being no further business before the Board, President Cauley asked for a motion to adjourn to closed session. Trustee Stifflear moved to **adjourn the regularly scheduled meeting of the Hinsdale Village Board of Trustees of January 5, 2021 into closed session under 5 ILCS 120/2(c)(1) appointment, employment compensation, discipline, performance or dismissal of specific employees or legal counsel, and 5 ILCS 120/2(c)(11) litigation, filed or pending before a court or administrative tribunal or when an action is probable or imminent, and not to reconvene.** Trustee Hughes seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

Meeting adjourned at 8:28 p.m.

ATTEST: _____
Christine M. Bruton, Village Clerk

Administration

AGENDA SECTION: Presidents Report

SUBJECT: Employment Contract Extension-Assistant Manager Bradley Bloom

MEETING DATE: January 19, 2021

FROM: Kathleen A. Gargano, Village Manager

Recommended Motion

Approve an amendment for a two-year employment agreement for Bradley Bloom, Assistant Village Manager/Director of Public Safety.

Background

Mr. Bloom has been employed under an employment agreement since 2016. The prior agreement terminates on February 22, 2021. This agreement is an amendment for an additional 2 years due to vacancies in the Managers office and other key projects where Mr. Bloom is the project lead.

Discussion & Recommendation

The original contract language and terms remain unchanged from the original agreement with the following three exceptions:

1. The length of the agreement is limited to a two-year period.
2. Severance benefits have been adjusted to comply with the Government Severance Pay Act.
3. Paragraph 3 has been amended to include language required to be included in the Government Severance Pay Act.

Budget Impact

This position is included in the approved 2021 Village Budget.

Village Board and/or Committee Action

N/A

Documents Attached

1. Employment Agreement

**FIRST AMENDMENT TO THE EMPLOYMENT AGREEMENT FOR THE POSITION OF
ASSISTANT VILLAGE MANAGER/DIRECTOR OF PUBLIC SAFETY**

Bradley Bloom

This First Amendment to the Employment Agreement for the Position of Assistant Village Manager/Director of Public Safety is entered into this ____ day of _____, 2021, is by and between the Village of Hinsdale, an Illinois municipal corporation ("Village") and Bradley Bloom ("Bloom"), both parties agreeing as set forth below. The Village President and Board of Trustees of the Village of Hinsdale are referred to in this Agreement as the "Village Board."

WHEREAS, the Village Board approved an "Employment Agreement for the Position of Assistant Village Manager/Director of Public Safety" with Bloom (the "Employment Agreement") on February 16, 2016; and

WHEREAS, Bloom began his employment with the Village in the role of Assistant Village Manager/Director of Public Safety on February 22, 2016; and

WHEREAS, The Employment Agreement provides for, among other things, the term of Bloom's employment and a maximum number of extensions; and

WHEREAS, since the Employment Agreement was entered into the Government Severance Pay Act, 5 ILCS 415/1, et seq, was passed into law changing severance terms in public employment contracts; and

WHEREAS, The Village Board, having given due and careful consideration to Bloom's performance during his years of employment, and other factors, the Parties hereby agree that it is desirable to amend the Employment Agreement to make adjustments to the term of Bloom's agreement and severance package.

NOW, THEREFORE, in consideration of the mutual promises, covenants, and undertakings hereinafter set forth, and for such other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by and between parties, the parties hereto understand and do agree as follows:

1. That Section 2 of the Employment Agreement is hereby amended in its entirety and shall read as follows:

TERM AND EFFECTIVE DATE. This Agreement shall be effective on the later of approval by the corporate authorities of the Village at a duly noticed public meeting or the execution by Bloom ("Effective Date"). Bloom shall commence working for the Village on February 22, 2016 (Bloom's Anniversary Date). The Agreement is for a term of three (3) years, unless terminated by either party in accordance with this Agreement, including Section 7A, Section 7B, Section 7C, or Section 7D. The Parties may extend this Agreement for one additional two-year extension, however, the total term of this Agreement shall not exceed seven (7) years from the Effective Date.

2. That Section 7(B) of the Amended Employment Agreement shall be amended to reduce the amount of severance benefits pursuant to the Government Severance Pay Act and the sentence detailing Severance Payments is amended to read in its entirety as: "In the

event of Termination without Cause, the Village shall pay Bloom the following Severance Payments: Bloom's base salary, health and life insurance benefits under the same terms as were provided while Bloom was employed under this Agreement, for a period of twenty (20) weeks or until Bloom secures full-time employment elsewhere, whichever occurs first."

3. That Section 7(C) of the Amended Employment Agreement shall be amended to update the definition of "cause" to be in compliance with the Government Severance Pay Act and is amended to read in its entirety as follows:

Cause" Defined. For purposes of this Agreement, "Cause" means: (i) willful malfeasance or willful misconduct by Bloom in connection with his employment; (ii) the second willful and material breach of any written policy or ordinance applicable to all employees adopted by the Village for which Bloom has already received a prior written warning from the Board; (iii) intoxication or use or possession of un-prescribed drugs during business hours or while engaged in Village business, but this shall not apply to social drinking at events where alcohol is served; (iv) being found guilty of any felony, or being found guilty of any misdemeanor involving dishonesty, a drug-related offense, or moral turpitude; (v) being convicted of DUI while operating a Village-owned vehicle; (vi) theft, misappropriation, or willful, unauthorized destruction of Village property; (vii) solicitation of gifts, bribes or other valuable things for personal gain or other corrupt practices during business hours or related to Village business; ~~or~~ (viii) being physically or mentally unable to perform the duties under this Agreement when allowed reasonable accommodation, as defined by the Americans with Disabilities Act; (ix) conduct demonstrating conscious disregard of an employer's interests and found to be a deliberate violation or disregard of the reasonable standards of behavior which the employer expects of his or her employee; (x) carelessness or negligence to a degree or recurrence that manifests culpability or wrongful intent, or shows an intentional and substantial disregard of the employer's interests or of the employee's duties and obligations to his or her employer; (xi) chronic absenteeism or tardiness in deliberate violation of a known policy of the employer or one or more unapproved absences following a written reprimand or warning relating to more than one unapproved absence; or (xii) committing criminal assault or battery on another employee, or on a customer or invitee of the employer, or committing abuse or neglect of a resident. Cause shall not mean mere dissatisfaction with Bloom's performance or mistakes in the performance of his duties.

4. That all portions of the original Employment Agreement, not expressly amended by this First Amendment, shall remain valid and in full force and effect.
5. This First Amendment shall be deemed dated and become effective on the day and year on which the last party to approve this First Amendment has done so.

IN WITNESS WHEREOF, the Village of Hinsdale, pursuant to the authority granted by the passage of a Resolution by its Board of Trustees, has caused this First Amendment to the Employment Agreement for the Position of Assistant Village Manager/Director of Public Safety to be executed by the Village President and attested by the Village Clerk and Bradley Bloom on the respective dates set forth below.

Village of Hinsdale:

Employee:

Thomas K. Cauley, Jr.
Village President

Bradley Bloom

ATTEST:

ATTEST:

By: _____

Christine Bruton
Village Clerk

By: _____
Notary Public

Administration

AGENDA SECTION: First Reading – ACA

SUBJECT: Intergovernmental Agreement with Tollway for Mills Street Temp Use and Drainage Study Cost Sharing.

MEETING DATE: January 19, 2021

FROM: Bradley Bloom, Assistant Village Manager/Director of Public Safety

Recommended Motion

Approve an Intergovernmental Agreement (IGA) with the Illinois State Toll Highway Authority covering the temporary removal of fencing on Tollway property and partial funding of a Village drainage study.

Background

The IL Tollway Authority, as part of the Central Tri-State expansion project, purchased five (5) homes located in the 400 block of Mills that abut the Tollway noise wall on the east side of Mills Street (see attachment A). Following Tollway policy and practice, a six (6) foot chain link fence was erected around the perimeter of these properties. Preliminary design plans call for the Tollway to use this land as an above ground water detention area. The Tollway estimates that construction of the water detention area will begin in late 2022 or early 2023. Staff has received complaints over the unsightliness of the chain link fence from neighbors living on the west side of Mills Street.

Under the terms of the proposed IGA, the Tollway would temporarily relocate the chain link fence to the east side of the property abutting the noise wall in the interim period before construction of the water detention area begins. In return, the Village will maintain the area and indemnify the Tollway should a claim arise related to the property.

The second part of the IGA calls for the Tollway to reimburse the Village for half the cost of a drainage study for the area adjacent to the Tollway with the Tollway's reimbursement not to exceed \$25,000.

Discussion & Recommendation

Staff recommends approval of the IGA. Staff would like to have the results of the drainage study in advance of roadway maintenance scheduled for 2021. The residents living across from the drainage area will be pleased to have the fencing removed. Costs related to cutting the grass once the perimeter fencing is removed is minimal.

Staff is in the process of negotiating an acceptable landscape buffer around the perimeter of the water detention area.

Budget Impact

Minimal increased cost for contract lawn moving.



REQUEST FOR BOARD ACTION

Village Board and/or Committee Action

N/A

Documents Attached

1. Attachment A-Map of Area 400 block of Mills
2. Attachment B-Intergovernmental Agreement

Attachment A

TW-5-16-089

TW-5-16-090

TW-5-16-088

TW-5-16-087

TW-5-16-086

TW-5-16-084



**INTERGOVERNMENTAL AGREEMENT BETWEEN
THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY
AND
THE VILLAGE OF HINSDALE**

This INTERGOVERNMENTAL AGREEMENT ("AGREEMENT") is entered into upon the last dated signature below, by and between the Illinois State Toll Highway Authority, an instrumentality and administrative agency of the State of Illinois ("ILLINOIS TOLLWAY"), and the Village of Hinsdale, a municipal corporation of the State of Illinois ("VILLAGE"), individually referred to as "PARTY" and collectively referred to as "PARTIES".

RECITALS:

WHEREAS, the ILLINOIS TOLLWAY, in order to facilitate the free flow of traffic and continue to ensure the safety of the motoring public intends to improve the Tri-State Tollway (I-294 or Toll Highway) from 95th Street (Mile Post 17.5) to Balmoral Avenue (Mile Post 40.0) including the Burlington Northern Santa Fe Railway (BNSF RR) Bridge (Mile Post 26.6, Bridge Number 261) ("PROJECT");

WHEREAS, in furtherance of the PROJECT, the ILLINOIS TOLLWAY previously acquired certain property from private property owners located within the VILLAGE along Mills Street as further described in Exhibit "A" ("Property");

WHEREAS, upon acquisition of the Property, the ILLINOIS TOLLWAY demolished the structures located upon the Property, performed rough grading, and enclosed the Property with a chain link fence;

WHEREAS, the ILLINOIS TOLLWAY's current plans for use of the Property in association with the PROJECT do not demonstrate an immediate need for use of the Property;

WHEREAS, since the Property is located immediately adjacent to other residences within the VILLAGE, the VILLAGE has requested the temporary removal of the chain link fence together with grading and seeding of the Property to improve its appearance until its use is needed for the PROJECT;

WHEREAS, the ILLINOIS TOLLWAY and the VILLAGE, by this instrument, desire to determine and establish their respective rights and responsibilities relative to the Property and the ILLINOIS TOLLWAY's accommodation of the VILLAGE's request;

WHEREAS, the ILLINOIS TOLLWAY, by virtue of its powers as set forth in the Toll Highway Act, 605 ILCS 10/1, *et seq.*, and all other necessary approvals is authorized to enter into this AGREEMENT;

WHEREAS, the VILLAGE, by virtue of its powers as set forth in the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.*, and pursuant to Board approval is authorized to enter into this AGREEMENT; and

WHEREAS, a cooperative Intergovernmental Agreement is appropriate and such an agreement is authorized by Article VII, Section 10 of the Illinois Constitution and the Intergovernmental Cooperation Act, 5 ILCS 220/1, *et seq.*

NOW, THEREFORE, in consideration of the aforementioned recitals and the mutual covenants contained herein, the PARTIES agree as follows:

I. RECITALS

The above recitals are hereby incorporated and made a part of this AGREEMENT as if fully set forth herein.

II. ENGINEERING AND CONSTRUCTION

- A. The ILLINOIS TOLLWAY shall, at its sole expense and in its sole discretion, perform all necessary design engineering and preparation of plans as needed for the removal of the chain link fence and grading and seeding of the Property.
- B. The ILLINOIS TOLLWAY shall, in accordance with the aforementioned plans and at its sole expense, cause the removal of the chain link fence and the grading and seeding of the Property; provided, however, that the ILLINOIS TOLLWAY shall have the right to reinstall the chain link fence upon termination of this AGREEMENT as set forth below.
- C. The ILLINOIS TOLLWAY or its contractor shall endeavor to gain access to the property to perform the work described herein from I-294. However, if either the Tollway or its contractor require access to the Property via the VILLAGE's streets, the Tollway shall provide no less than five (5) business days advance written notice to the VILLAGE of such need and the VILLAGE shall allow for such access at no additional cost to the Tollway; provided, however, that the Tollway shall be responsible for any restoration of damage to VILLAGE streets if and to the extent directly resulting from said access.
- D. Notices required to be delivered by either PARTY pursuant to this AGREEMENT shall be delivered as indicated in Section XI. of this AGREEMENT.

III. FINANCIAL

- A. The costs identified in Section II above, and III.B. and VI below represent all costs to the Parties in association with this AGREEMENT.
- B. Should the VILLAGE desire a certain level or type of grading and seeding beyond what the ILLINOIS TOLLWAY considers, in its sole discretion, to be standard under these circumstances, the VILLAGE may request that additional level of effort prior to the completion of the Tollway's plans and performance of the work; provided, however, that in such case the VILLAGE shall, upon receipt of an invoice, reimburse the ILLINOIS TOLLWAY for said additional costs.

IV. TERM

The term of this AGREEMENT commences upon the date set forth upon the last dated signature below and shall, unless otherwise agreed to in writing by duly authorized representatives of the PARTIES, terminate upon the earlier of: a) three (3) years from the date of this AGREEMENT; b) written notice from the ILLINOIS TOLLWAY of its need to utilize the property in association with the PROJECT; or c) receipt of written notice from either party terminating this AGREEMENT for any reason or no reason whatsoever; provided, however, that the obligations of the VILLAGE pursuant to Section VII shall survive the termination of this AGREEMENT but only for those acts or omissions that occurred during the term of this AGREEMENT; and further provided, however, that in the event of termination of this AGREEMENT, the ILLINOIS TOLLWAY shall have the right, in its sole discretion, to reinstall fencing around the Property.

V. USE

It is expressly understood by the VILLAGE that except for the maintenance responsibilities set forth below in Section VI, the ILLINOIS TOLLWAY is not authorizing the entry upon or use of the Property by any individual(s) or group(s), including but not limited to VILLAGE employees, agents, contractors, or residents without the advance written consent of the ILLINOIS TOLLWAY. It is expressly understood by the VILLAGE that the ILLINOIS TOLLWAY shall have continued use of and access to the property throughout the term of this AGREEMENT. Notwithstanding the foregoing, the ILLINOIS TOLLWAY acknowledges that during the term of this AGREEMENT, individuals and their pets may walk on the Property. The Parties agree that such individuals fall within the indemnification set forth in Section VII., and includes but is not limited to such individuals.

VI. MAINTENANCE

Throughout the term of this AGREEMENT, the VILLAGE shall be responsible, at its sole cost, for the maintenance and repair of the Property. This obligation to maintain and repair shall include but not be limited to mowing, landscaping and trash removal, which shall be done at the sole discretion of the VILLAGE; provided, however, that the VILLAGE shall not be responsible for any maintenance or repair resulting from damage caused by the ILLINOIS TOLLWAY's use of the property or damage caused by the use of the property by an authorized representative of the ILLINOIS TOLLWAY.

VII. INDEMNIFICATION

Except to the extent caused by the sole negligence of or the willful and wanton conduct of the ILLINOIS TOLLWAY or its duly authorized representative acting on its behalf, the VILLAGE shall assume all responsibility for and expressly agrees to defend, indemnify and hold harmless the ILLINOIS TOLLWAY, its officers, directors, employees and agents from and against any and all claims, demands, losses, damages, causes of action or liabilities of any nature whatsoever, including reasonable attorney's fees and litigation expenses, arising out of, in whole or in part, or in connection with or in

consequence of any act or omission which occurs on the Property pursuant to the terms of this AGREEMENT.

VIII. INSURANCE

Notwithstanding the foregoing indemnification, the VILLAGE shall require that the ILLINOIS TOLLWAY, its officers, directors, employees and agents be named as "additional insured" parties in the General Liability Insurance coverage of the VILLAGE and any of its contractors performing work under this AGREEMENT, as well as any other type of insurance coverage the VILLAGE requires of its contractors, except for worker's compensation and professional liability insurance. The VILLAGE's and its contractors' insurance policies and endorsements shall remain while the VILLAGE's work is being performed and throughout the duration of this AGREEMENT. The VILLAGE shall provide the ILLINOIS TOLLWAY with a copy of the applicable Certificate of Insurance within fifteen (15) business days of the effective date of this AGREEMENT and annually thereafter.

IX. NO CLAIMS AGAINST ILLINOIS TOLLWAY

Nothing in this AGREEMENT shall constitute the consent or request of the ILLINOIS TOLLWAY, either expressed or implied, for the performance of any labor or the furnishing of any materials or other property in respect of the property identified in Exhibit "A", or any part thereof, nor as giving the VILLAGE any authority to contract for or permit the rendering of any services or the furnishing of any materials so as to permit the making of any claim against the ILLINOIS TOLLWAY. Any lien for labor or materials furnished shall attach only to the VILLAGE and shall at all times be subjected to the paramount rights of the ILLINOIS TOLLWAY hereunder.

X. DRAINAGE STUDY

- A. The ILLINOIS TOLLWAY agrees to pay 50% of a drainage study for areas in the VILLAGE adjacent to the Toll Highway. However, the ILLINOIS TOLLWAY's share of the cost of said drainage study shall not exceed \$25,000.00. The ILLINOIS TOLLWAY shall remit payment to the VILLAGE upon receipt of an invoice from the VILLAGE.
- B. The VILLAGE agrees that the drainage study will consider the drainage facility to be constructed by the ILLINOIS TOLLWAY on the Property to be an existing condition. The VILLAGE agrees to provide a copy of the drainage study to the ILLINOIS TOLLWAY before it is made public.

XI. GENERAL PROVISIONS

- A. It is expressly understood and agreed that this AGREEMENT constitutes the complete and exclusive statement of the agreement of the PARTIES relative to the subject matter

hereof and supersedes all previous oral and written proposals, negotiations, representations or understandings concerning such subject matter.

- B. The VILLAGE shall not assign this AGREEMENT, or any interest herein, without obtaining the prior written consent of the ILLINOIS TOLLWAY. The PARTIES agree that all terms and conditions set forth in this AGREEMENT shall be binding upon and inure to the benefit of the PARTIES and their respective successors and approved assigns.
- C. It is agreed that the laws of the State of Illinois shall apply to this AGREEMENT and that, in the event of litigation, venue shall lie in DuPage County, Illinois.
- D. This AGREEMENT may be executed in two (2) or more counterparts, each of which shall be deemed an original and all of which shall be deemed one and the same instrument.
- E. This AGREEMENT may only be modified by written modification executed by duly authorized representatives of the PARTIES.
- F. The failure by the ILLINOIS TOLLWAY or the VILLAGE to seek redress for violation of or to insist upon the strict performance of any such breach or subsequent breach of this AGREEMENT shall not constitute a waiver of any such breach or subsequent breach of such covenants, terms, conditions, rights and remedies. No provision of this AGREEMENT shall be deemed waived by the ILLINOIS TOLLWAY or the VILLAGE unless such provision is waived in writing.
- G. The VILLAGE recognizes that, pursuant to Section 8.5 of the Toll Highway Act (605 ILCS 10/8.5), the Inspector General of the Illinois State Toll Highway Authority ("OIG") has the authority to conduct investigations into certain matters including but not limited to allegations of fraud, waste and abuse and to conduct reviews. The VILLAGE will fully cooperate in any OIG investigation or review regarding this AGREEMENT and shall not bill the ILLINOIS TOLLWAY for time relating to its cooperation. Cooperation includes (i) providing access to all information and documentation related to the performance of this AGREEMENT, and (ii) disclosing and making available all personnel involved or connected with, or having knowledge of, the performance of this AGREEMENT.
- H. All written reports, notices and other communications related to this AGREEMENT shall be in writing and shall be personally delivered, mailed via certified mail, overnight mail delivery or electronic mail delivery to the following persons at the following addresses:

To the ILLINOIS TOLLWAY:	The Illinois State Toll Highway Authority 2700 Ogden Avenue Downers Grove, Illinois 60515 Attn: Chief Engineering Officer paulkovacs@getipass.com
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To the VILLAGE:

The Village of Hinsdale
19 East Chicago Avenue
Hinsdale, Illinois 60521
Attn: President Thomas Cauley Jr.

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IN WITNESS THEREOF, the PARTIES have executed this AGREEMENT on the dates indicated.

THE VILLAGE OF HINSDALE

By: _____
Thomas Cauley Jr.
President

Attest: _____

(Please Print Name)

Date: _____

THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY

By: _____
José R. Alvarez
Executive Director

Date: _____

Approved as to Form and Constitutionality

Robert Lane, Assistant Attorney General

AGENDA SECTION: First Reading – ACA

SUBJECT: Blanket Purchase Orders

MEETING DATE: January 19, 2021

FROM: Darrell Langlois, Assistant Village Manager/Finance Director

Recommended Motion

Approve blanket purchase orders for Calendar Year 2021 totaling \$810,723 and waiving the competitive bid requirements, where applicable.

Background

Attached for the Village Board's consideration are requested Blanket Purchase Orders for Calendar Year 2021, which would exceed the Village Manager's purchasing authority of \$20,000. Blanket purchase orders are normally issued to vendors where frequent purchases are made throughout year in order to streamline purchasing procedures for routine purchases, proprietary items, or sole-source vendors.

Discussion & Recommendation

The issuance of blanket purchase orders does not relieve the departments of following all of the purchasing procedures required in the Purchasing Policy Manual; this action is only required as it is expected that the Village may spend in excess of \$20,000 to these particular vendors in the next fiscal year.

The listing of vendors is substantially the same as last year with the exception of two vendors. Lauterbach and Amen is a new vendor in 2021 and are currently providing interim part-time accounting services in the Finance Department. The Village is currently recruiting a permanent part-time employee for this role. These services will be needed for much of 2021 due to the transition in the Finance Director position as well as to address responsibilities that due to turnover and the demands of the ERP project that have been backlogged. The Hinsdalean has been a long-time vendor of the Village for posting legal notices and advertising, and in prior years the total spending was typically below \$20,000. Current projections for next year indicate that total spending may exceed \$20,000 (depends on the number of legal notices, which can vary quite a bit), so they have been added to the listing.

For two vendors on the listing the amount requested is materially higher than last year. For GovHR/GovTemps USA, the total cost of these services is estimated at \$160,430 whereby the Village approved two blanket purchase orders last year to this vendor totaling \$107,000. All but \$19,680 of this increase is included in the 2021 Budget, with the amount above budget being due to the retirement of the Finance Director. The remaining services are dispersed between Community Development (temporary staffing assistance due to vacancy and projects), Finance Department (clerical assistance) and Manager's Office (HR assistance).

The other material change is for the blanket purchase order for Mr. David Vannorsdel, an independent contractor who provides ERP project management services. The blanket purchase order for Mr. Vannorsdel has been increased from \$92,000 last year to \$144,000. Last year's amount was based on him providing staff-level ERP assistance due to the resignation of the Assistant Village Manager and Management Analyst positions (both remain vacant). During 2020, additional hours were added

to his schedule (\$4,000 per month) for him to also assume the role previously performed by Baecore. This additional cost will be more than offset by savings from not completing the remainder of the Baecore contract, with overall ERP project savings of \$30,000 to \$40,000 expected by making this change.

Budget Impact

The amounts for the blanket purchase orders are included in the 2021 Budget or there are identified salary savings, except for the blanket purchase order for Lauterbach and Amen, which will be accounted for in the upcoming Appropriations Ordinance.

Village Board and/or Committee Action

N/A


Documents Attached

1. Blanket Purchase Order List

Village of Hinsdale
Blanket Purchase Orders Over \$20,000
Calendar Year 2021

Vendor	Department	Description	Amount
Andres Medical Billing	Finance	Ambulance Billing Service	\$26,000
Cargill (State of Illinois Joint Purchasing Salt)	Public Services	Roadway Salt	\$31,682
Compass Minerals America (DuPage Co.Joint Bid)	Public Services	Roadway Salt	\$56,791
Core & Main	Public Services	Water Main and Sewer Parts and Supplies, Meters	\$71,600
David Vannorsdel	General Government	Temporary ERP Project Management	\$144,000
Direct Advantage	EDC Initiatives	Hinsdale Business Promotions	\$60,000
GovHR/GovTemps USA	General Government	Temporary HR, Community Dev, and Clerical	\$160,430
Hawkins, Inc.	Public Services	Veeck CSO and Pool Chemicals	\$21,000
The Hinsdalean	All Departments	Legal Notices/Advertising	\$21,000
Kroeschell Service Inc	Public Services	HVAC Repairs and Service	\$21,600
Lauterbach & Amen	Finance	Accounting Services	\$83,220
Ryan & Ryan	Administration	Legal Services Related to Tollway	\$25,000
Sprint/Nextel	All Departments	Cell Phones	\$29,000
Third Millennium	General Government	Water Bill Printing and Mailing/Vehicle Licenses	\$25,400
Warehouse Direct	All Departments	Office Supplies	\$34,000
Total			\$810,723

REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Consent – ACA
SUBJECT: Accounts Payable-Warrant #1732
MEETING DATE: January 19, 2021
FROM: Darrell Langlois, Finance Director 

Recommended Motion

Approve payment of the accounts payable for the period of December 31, 2020 through January 15, 2021 in the aggregate amount of \$1,269,558.37 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.

Background

At each Village Board meeting the Village Treasurer submits a warrant register that lists bills to be paid and to ratify any wire transfers that have been made since the last Village Board meeting. Supporting materials for all bills to be paid are reviewed by Village Treasurer and one Village Trustee prior to the Village Board meeting.

Discussion & Recommendation

After completion of the review by the Village Treasurer and Village Trustee approval of Warrant #1732 is recommended.

Budget Impact

N/A

Village Board and/or Committee Action

Village Board agenda policy provides that the Approval of the Accounts Payable should be listed on the Consent Agenda

Documents Attached

1. Warrant Register #1732

VILLAGE OF HINSDALE

ACCOUNTS PAYABLE WARRANT REGISTER #1732

FOR PERIOD December 31, 2020 through January 15, 2021

The attached Warrant Summary by Fund and Warrant Register listing TOTAL DISBURSEMENTS FOR ALL FUNDS of \$1,269,558.37 reviewed and approved by the below named officials.

APPROVED BY David Lepore DATE 1/14/21
VILLAGE TREASURER/FINANCE DIRECTOR

APPROVED BY _____ DATE _____
VILLAGE MANAGER

APPROVED BY _____ DATE _____
VILLAGE TRUSTEE

Village of Hinsdale
#1732
Summary By Fund

Recap By Fund	Fund	Regular Checks	ACH/Wire Transfers	Total
General Fund	100	319,164.38	175,944.66	495,109.04
Capital Project Fund	400	27,290.66	-	27,290.66
Water & Sewer Operations	600	313,132.28	-	313,132.28
Water & Sewer Capital	620	285,598.06	-	285,598.06
Payroll Revolving Fund	740	6,031.46	140,965.12	146,996.58
Library Operating Fund	900	1,431.75	-	1,431.75
Total		952,648.59	316,909.78	1,269,558.37

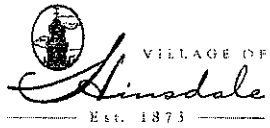
Village of Hinsdale
Schedule of Bank Wire Transfers and ACH Payments
1732

Invoice Date	Description	Vendor Invoice	Invoice Amount
Electronic Federal Tax Payment Systems 1/8/2021	Village Payroll #1 - Calendar 2021	FWH/FICA/Medicare	\$ 96,049.40
Illinois Department of Revenue 1/8/2021	Village Payroll #1 - Calendar 2021	State Tax Withholding	\$ 20,053.43
ICMA - 457 Plans 1/8/2021	Village Payroll #1 - Calendar 2021	Employee Withholding	\$ 19,771.12
HSA PLAN CONTRIBUTION 1/8/2021	Village Payroll #1 - Calendar 2021	Employer/Employee Withholding	\$ 5,091.17
Intergovernmental Personnel Benefit Cooperative		Employee Insurance	\$ 175,944.66
Illinois Municipal Retirement Fund		Employer/Employee	\$ -
Total Bank Wire Transfers and ACH Payments			\$ 316,909.78



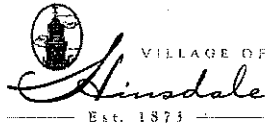
Warrant Register 1732

Invoice	Description	Invoice/Amount
AFLAC-FLEXONE		
7435	Payroll Run 1 - Warrant PR01	846.65
	Check Date 1/8/2021 Total For Check # 108175	846.65
COLONIAL LIFE PROCESSING		
7431	Payroll Run 1 - Warrant PR01	92.36
	Check Date 1/8/2021 Total For Check # 108176	92.36
ILLINOIS FRATERNAL ORDER		
7433	Payroll Run 1 - Warrant PR01	864.00
	Check Date 1/8/2021 Total For Check # 108177	864.00
NATIONWIDE RETIREMENT SOL		
7434	Payroll Run 1 - Warrant PR01	309.82
	Check Date 1/8/2021 Total For Check # 108178	309.82
NATIONWIDE TRUST CO FSB		
7436	Payroll Run 1 - Warrant PR01	3,431.86
	Check Date 1/8/2021 Total For Check # 108179	3,431.86
NCPERS GRP LIFE INS#3105		
7432	Payroll Run 1 - Warrant PR01	256.00
	Check Date 1/8/2021 Total For Check # 108180	256.00
STATE DISBURSEMENT UNIT		
7437	Payroll Run 1 - Warrant PR01	230.77
	Check Date 1/8/2021 Total For Check # 108181	230.77
ADVENTIST HINSDALE HOSP		
017	ELECTRICITY	247.01
	Check Date 1/15/2021 Total For Check # 108182	247.01
AEP ENERGY		
3013129848	53 VILLAGE PL-DEC20	618.33
3013129837	STREET LIGHT-1653148050 DEC20	8,137.24
	Check Date 1/15/2021 Total For Check # 108183	8,755.57
AIR ONE EQUIPMENT		
163915P	UNIFORM COAT/PANTS	2,362.00
164057	REPAIRS FOR TURN OUT COAT	31.00
	Check Date 1/15/2021 Total For Check # 108184	2,393.00
ANDRES MEDICAL BILLING LT		
250603	DECEMBER COLLECTIONS	1,643.61
250428	NOVEMBER COLLECTIONS	1,657.11
	Check Date 1/15/2021 Total For Check # 108185	3,300.72



Warrant Register 1732

Invoice	Description	Invoice/Amount
ASCAP		
1	PARKS ASCAP MUSIC LICENSE	367.00
	Check Date 1/15/2021 Total For Check # 108186	367.00
AVOLIN, LLC		
5935953533416359	4GOV FINANCIAL SUITE 2/1/21-2/28/21	7,214.31
5835853533401632	4GOV FINANCIAL SUITE 1/1/21-1/31/21	7,214.31
	Check Date 1/15/2021 Total For Check # 108187	14,428.62
BACKGROUNDS ONLINE		
527492	BACKGROUND CHECK	67.95
	Check Date 1/15/2021 Total For Check # 108188	67.95
BAILEY, CAROL E		
91	GENTLE YOGA NOV SESSION	91.00
	Check Date 1/15/2021 Total For Check # 108189	91.00
BEACON SSI INCORPORATED		
9459	ANNUAL FUEL SYSTEM INSPECTION	518.75
	Check Date 1/15/2021 Total For Check # 108190	518.75
BIO-TRON, INC.		
34638	ANNUAL PREVENTATIVE MAINT-ZOLL MONITORS	250.00
	Check Date 1/15/2021 Total For Check # 108191	250.00
BRAVO SERVICES, INC		
11	JAN21 CLEANING SVC	2,250.00
11	JAN21 CLEANING SVC	300.00
11	JAN21 CLEANING SVC	200.00
11	JAN21 CLEANING SVC	650.00
11	JAN21 CLEANING SVC	1,200.00
11	JAN21 CLEANING SVC	1,250.00
	Check Date 1/15/2021 Total For Check # 108192	5,850.00
BULLSEYE TELECOM		
38156822	PHONE CHARGES 12/26-1/25/21	719.67
38156822	PHONE CHARGES 12/26-1/25/21	76.58
38156822	PHONE CHARGES 12/26-1/25/21	71.96
38156822	PHONE CHARGES 12/26-1/25/21	287.82
38156822	PHONE CHARGES 12/26-1/25/21	71.96
38156822	PHONE CHARGES 12/26-1/25/21	637.65
38156822	PHONE CHARGES 12/26-1/25/21	397.38
38156822	PHONE CHARGES 12/26-1/25/21	76.58



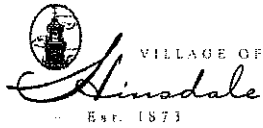
Warrant Register 1732

Invoice	Description	Invoice/Amount
38156822	PHONE CHARGES 12/26-1/25/21	71.96
38156822	PHONE CHARGES 12/26-1/25/21	148.53
38156822	PHONE CHARGES 12/26-1/25/21	48.75
Check Date 1/15/2021 Total For Check # 108193		2,608.84
CARROT-TOP INDUSTRIES,IN		
48044300	REPLACE FLAGS	90.62
48044300	REPLACE FLAGS	90.62
Check Date 1/15/2021 Total For Check # 108194		181.24
CHICAGO PARTS & SOUND LLC		
2J0002713	EQUIPMENT INSTALL ON SQUAD	9,865.00
2J0002743	INSTALL	799.00
2J0002744	INSTALL	799.00
Check Date 1/15/2021 Total For Check # 108195		11,463.00
CINTAS CORPORATION 769		
4071105759	MAT SERVICE	22.85
4071105759	MAT SERVICE	27.42
4071105759	MAT SERVICE	21.39
4071105759	MAT SERVICE	12.15
4071105759	MAT SERVICE	46.07
4071105759	MAT SERVICE	42.97
5046506939	MEDICAL CABINET SUPPLIES	97.58
5046506939	MEDICAL CABINET SUPPLIES	97.57
Check Date 1/15/2021 Total For Check # 108196		368.00
CLARENDON HILLS PARK DIST		
210701F	FALL 2020 CREATIVE MOVEMENT	180.00
210721FCL	FALL 2020 CHEERLEADING	196.00
Check Date 1/15/2021 Total For Check # 108197		376.00
CLARK BAIRD SMITH LLP		
13452	LEGAL-FILE/LABOR GENERAL FILE #12929	1,241.25
Check Date 1/15/2021 Total For Check # 108198		1,241.25
COEO SOLUTIONS		
1044104	FIBER INTERNET CONNECT 12/1 TO 12/31/20	1,357.94
11002065	FIBER INTERNET CONNECT 1/1/21-1/31/21	1,323.12
Check Date 1/15/2021 Total For Check # 108199		2,681.06
COMCAST		
8771201110037136	POOL 1/4-2/3/21	148.35
Check Date 1/15/2021 Total For Check # 108200		148.35



Warrant Register 1732

Invoice	Description	Invoice/Amount
COMED		
0015093062	57TH STREET	355.28
0203017056	WARMING HOUSE/PADDLE HUT	414.56
0203065105	CHESTNUT PARKING	41.48
0381057101	CLOCK TOWER	25.23
0395122068	STREET LIGHTS	60.29
0417073048	314 SYMONDS DR	400.64
0427019145	CAMERA 999 TAFT RD	30.97
0471095066	FOUNTAIN	89.45
0499147045	BURLINGTON PARK	93.11
0639032045	ROBBINS PARK	19.39
0651102260	PD CAMERA/701 E CHGO	31.19
0697168013	STREET LIGHTS	36.51
0825110049	PD CAMERA-440 E OGDEN	31.16
1107024145	LANDSCAPE LIGHTS 650	27.58
1653148069	TRAFFIC SIGNALS	78.20
1993023010	RADIO EQUIPMENT FD	207.74
2378029015	WASHINGTON	49.65
2425068008	VEECK PARK	1,043.17
3454039030	VEECK PARK-WP	1,382.15
6583006139	BURLINGTON PARK	25.23
7011157008	NS CBQ RR	30.96
7011378007	PIERCE PARK	127.83
7011481018	WALNUT STREET	26.12
7093551008	KLM LODGE	886.94
7093551008	KLM LODGE	221.73
7261620005	SAFETY TOWN	20.32
Check Date 1/15/2021 Total For Check # 108201		5,756.88
COMED		
8521083007	ROBBINS PARK	555.31
8521342001	TRAIN STATION	454.26
8521400008	WATER PLANT	34.48
8605174005	BROOK PARK	323.74
8605437007	POOL	468.43
8689206002	ELEANOR PARK	34.68
8689480008	STOUGH PARK	19.39
8689640004	BURNS FIELD	20.52
Check Date 1/15/2021 Total For Check # 108202		1,910.81



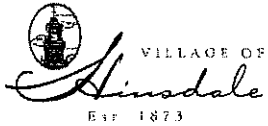
Warrant Register 1732

Invoice	Description	Invoice/Amount
CONSTELLATION NEWENERGY		
3071878	11/1-11/30/20 GAS BILLS	579.71
3071878	11/1-11/30/20 GAS BILLS	579.71
3071878	11/1-11/30/20 GAS BILLS	1,151.85
3071878	11/1-11/30/20 GAS BILLS	1,234.46
3071878	11/1-11/30/20 GAS BILLS	363.49
3071878	11/1-11/30/20 GAS BILLS	939.83
Check Date 1/15/2021 Total For Check # 108203		4,849.05
CORE & MAIN LP		
N484605	TAPPING BRASS & REPAIR CLAMPS	2,846.64
Check Date 1/15/2021 Total For Check # 108204		2,846.64
DIRECT ADVANTAGE INC		
1939	DECEMBER20 RETAINER FEE	1,500.00
Check Date 1/15/2021 Total For Check # 108205		1,500.00
DISCOVERY BENEFITS		
0001282976-IN	FSA DEC20 MONTHLY	12.75
0001282976-IN	FSA DEC20 MONTHLY	25.50
0001282976-IN	FSA DEC20 MONTHLY	21.25
0001282976-IN	FSA DEC20 MONTHLY	4.25
0001282976-IN	FSA DEC20 MONTHLY	4.25
0001282976-IN	FSA DEC20 MONTHLY	12.75
Check Date 1/15/2021 Total For Check # 108206		80.75
DOCU-SHRED, INC.		
46894	DOCUMENT DESTRUCTION	80.00
Check Date 1/15/2021 Total For Check # 108207		80.00
DUDEK, RYAN		
123020	TUITION 8/24-12/31/20	846.28
Check Date 1/15/2021 Total For Check # 108208		846.28
DUPAGE COUNTY CHIEFS OF		
010921	2021 MEMBERSHIP DUES	275.00
01092021	2021 MEMBERSHIP DUES	275.00
Check Date 1/15/2021 Total For Check # 108209		550.00
DUPAGE WATER COMMISSION		
01-1200-00-DEC20	WATER CHARGES-11/30-12/31/20	299,015.08
Check Date 1/15/2021 Total For Check # 108210		299,015.08



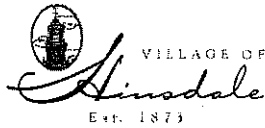
Warrant Register 1732

Invoice	Description	Invoice/Amount
ETP LABS, INC		
20-134853	OCT20 MONTHLY DISTRIBUTION SAMPLES	207.00
20-52462	VEECK CSO OVERFLOW SAMPLES	130.00
Check Date 1/15/2021 Total For Check # 108211		337.00
FEDEX		
7-222-76222	SHIPPING PACKAGES	57.98
7-222-76222	SHIPPING PACKAGES	57.98
7-222-76222	SHIPPING PACKAGES	57.98
7-222-76222	SHIPPING PACKAGES	57.98
7-222-76222	SHIPPING PACKAGES	26.03
Check Date 1/15/2021 Total For Check # 108212		257.95
FINNELL, JOHN		
10172104	HOLIDAY LUNCH	121.96
Check Date 1/15/2021 Total For Check # 108213		121.96
FIRST COMMUNICATIONS, LLC		
120910569	PHONE CHARGES DEC20	273.45
120910569	PHONE CHARGES DEC20	93.80
120910569	PHONE CHARGES DEC20	197.82
120910569	PHONE CHARGES DEC20	54.55
120910569	PHONE CHARGES DEC20	375.79
120910569	PHONE CHARGES DEC20	161.06
120910569	PHONE CHARGES DEC20	595.46
Check Date 1/15/2021 Total For Check # 108214		1,751.93
GALLS		
017083637	UNIFORMS	73.98
017095425	UNIFORMS	113.80
017095431	UNIFORMS	159.25
017116106	UNIFORMS	103.00
017160014	UNIFORMS	103.64
017223943	UNIFORMS	61.34
017232651	UNIFORMS	120.20
017232652	UNIFORMS	405.89
Check Date 1/15/2021 Total For Check # 108215		1,141.10
GOVTEMPS USA, LLC		
3643586	PARCH HOURS 12/6	84.00
3643584	CASTELLANOS HOURS 12/6, 12/13	798.00
3643585	MCLAUGHLIN HOURS 12/6, 12/13	6,128.78



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Invoice	Description	Invoice/Amount
	Check Date 1/15/2021 Total For Check # 108216	7,010.78
HEALTH INSPECT PROF INC		
433	COOK COUNTY HEALTH INSP 10/20-12/20	772.50
	Check Date 1/15/2021 Total For Check # 108217	772.50
HITCHCOCK DESIGN GROUP		
25563	OUTDOOR DINING CONCEPT PLAN	3,500.00
25562	PED IMPROVEMENT FINAL DESIGN	515.87
	Check Date 1/15/2021 Total For Check # 108218	4,015.87
HR GREEN INC		
136451	ALLEY PLATS OF VACATION	1,000.00
	Check Date 1/15/2021 Total For Check # 108219	1,000.00
IL PUBLIC SAFETY AGENCY NETWORK		
0042299	SUBSCRIPTION	66.00
	Check Date 1/15/2021 Total For Check # 108220	66.00
ILLINOIS SHOTOKAN KARATE		
227	FALL 2020 KARATE	1,324.00
	Check Date 1/15/2021 Total For Check # 108221	1,324.00
INTERNATIONAL ASSOCIATION		
24980	2021 IAEI ANNUAL DUES	120.00
	Check Date 1/15/2021 Total For Check # 108222	120.00
IRMA		
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	1,128.49
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	2,292.07
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	2,113.01
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	1,632.71
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	361.50
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	957.22
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	4,244.00
2021 CONTRIBUTIONS	2021 IRMA CONTRIBUTION	1,419.00
	Check Date 1/15/2021 Total For Check # 108223	14,148.00



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Invoice	Description	Invoice/Amount
J.G. UNIFORMS		
80281	VEST COVER	225.00
80280	VEST COVER	175.00
Check Date 1/15/2021 Total For Check # 108224		400.00
JOHN NERI CONSTRUCTION IN		
PAYMENT #4	2020 WM PROJ PHASE 1-BOT 4/21/20	285,598.06
Check Date 1/15/2021 Total For Check # 108225		285,598.06
KLEIN, THORPE, JENKINS LTD		
214782-214791	LEGAL FEES THRU 11/30/20	12,789.70
Check Date 1/15/2021 Total For Check # 108226		12,789.70
LINCHPIN SEO		
16207	JAN21 KLM MARKETING	400.00
Check Date 1/15/2021 Total For Check # 108227		400.00
LIVEVIEW GPS INC		
400186	SUBSCRIPTION	251.40
Check Date 1/15/2021 Total For Check # 108228		251.40
LORUSSO, MICHAEL		
60571486	RENEWAL PARAMEDIC LICENSE	40.00
Check Date 1/15/2021 Total For Check # 108229		40.00
MENARDS		
65906	VEECK PARK	31.75
Check Date 1/15/2021 Total For Check # 108230		31.75
MICROSYSTEMS, INC.		
083527	PERMIT SCANNING TO PAPERVISION	1,321.05
Check Date 1/15/2021 Total For Check # 108231		1,321.05
NAPA AUTO PARTS		
6306-569582	4 GALLONS PRE-MIXED ANTIFREEZE	49.96
Check Date 1/15/2021 Total For Check # 108232		49.96
NELS J JOHNSON TREE EXPT		
1321254	TREE PRUNING PER CONTRACT	4,987.25
Check Date 1/15/2021 Total For Check # 108233		4,987.25
NEUCO INC		
4796592	VILLAGE HALL BOILERS	96.74
Check Date 1/15/2021 Total For Check # 108234		96.74



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Invoice	Description	Invoice/Amount
NEVILLE, MICHAEL		
983742	RENEWAL PARAMEDIC LICENSE	41.00
	Check Date 1/15/2021 Total For Check # 108235	41.00
NICOR GAS		
13270110003	350 N VINE-11/16-12/16/20	347.20
12952110000	5905 S COUNTY LINE-11/7-12/17/20	284.24
06677356575	PLATFORM TENNIS-11/17-12/17/20	782.80
90077900000	YOUTH CENTER-11/16-12/16/20	262.40
38466010006	121 SYMONDS 11/17-12/15/20	128.24
38466010006	121 SYMONDS 11/17-12/15/20	128.23
47370110000	VH 11/16-12/15/20	3,150.20
	Check Date 1/15/2021 Total For Check # 108236	5,083.31
NUCO2 INC		
65049534	CO2 TANK LEASE	100.63
	Check Date 1/15/2021 Total For Check # 108237	100.63
ONE STEP		
166302	SHOP LOCAL NEW YEARS CAMPAIGN FLYERS	97.82
	Check Date 1/15/2021 Total For Check # 108238	97.82
PEGGY TAN		
218987	VIRTUAL WEB DESIGN CANCELLED	89.00
	Check Date 1/15/2021 Total For Check # 108239	89.00
KRISTEN PAULEY		
219111	TOT/KID ROCK CANCELLED	50.00
	Check Date 1/15/2021 Total For Check # 108240	50.00
LORETTA FUNTEAS		
219030	WITHDREW FROM KARATE	138.00
	Check Date 1/15/2021 Total For Check # 108241	138.00
ORBIS SOLUTIONS		
5570994	MONTHLY IT SERVICE 1/1/21-1/31/21	13,744.00
	Check Date 1/15/2021 Total For Check # 108242	13,744.00
PHENEGAR, WES		
64711	HOLIDAY LUNCH	80.14
	Check Date 1/15/2021 Total For Check # 108243	80.14
PUBLIC SAFETY CENTER INC		
1000002547	RIOT SHIELDS	779.41
	Check Date 1/15/2021 Total For Check # 108244	779.41

**Warrant Register 1732**

Invoice	Description	Invoice/Amount
QUADIENT INC		
16258309	INK CARTRIDGE IS3-4	139.73
Check Date 1/15/2021 Total For Check # 108245		139.73
RAY O'HERRON CO INC		
2072577-IN	UNIFORMS	385.58
Check Date 1/15/2021 Total For Check # 108246		385.58
REMPE-SHARPE & ASSOCIATES INC		
27746	2020/2021 MAINTENANCE PROJECT	7,043.06
27747	2021 8TH ST RECONSTR DESIGN ENG-BOT 11/17/20	20,247.60
Check Date 1/15/2021 Total For Check # 108247		27,290.66
REVIZE, LLC		
10949	2021 ANNUAL FEE	3,335.00
Check Date 1/15/2021 Total For Check # 108248		3,335.00
SEMMER LANDSCAPE		
17092	NOVEMBER20 LANDSCAPE SERV	3,147.00
17092	NOVEMBER20 LANDSCAPE SERV	10,911.00
Check Date 1/15/2021 Total For Check # 108249		14,058.00
SOCCER MADE IN AMERICA		
CA21-001	WINTER CAMP 12/21-23	181.00
Check Date 1/15/2021 Total For Check # 108250		181.00
SPRINT		
977740515-227	PHONE CHARGES 11/24-12/23/20	227.15
977740515-227	PHONE CHARGES 11/24-12/23/20	45.43
977740515-227	PHONE CHARGES 11/24-12/23/20	636.03
977740515-227	PHONE CHARGES 11/24-12/23/20	363.44
977740515-227	PHONE CHARGES 11/24-12/23/20	45.43
977740515-227	PHONE CHARGES 11/24-12/23/20	240.85
977740515-227	PHONE CHARGES 11/24-12/23/20	45.43
977740515-227	PHONE CHARGES 11/24-12/23/20	91.86
977740515-227	PHONE CHARGES 11/24-12/23/20	181.72
977740515-227	PHONE CHARGES 11/24-12/23/20	90.86
977740515-227	PHONE CHARGES 11/24-12/23/20	90.86
977740515-227	PHONE CHARGES 11/24-12/23/20	408.87
977740515-227	PHONE CHARGES 11/24-12/23/20	90.87
Check Date 1/15/2021 Total For Check # 108251		2,558.80



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Invoice	Description	Invoice/Amount
STERLING CODIFIERS INC		
5100	2021-22 HOSTING FEE	500.00
	Check Date 1/15/2021 Total For Check # 108252	500.00
STEVE PIPER & SONS		
16729	TREE REMOVAL PER CONTRACT	1,167.60
	Check Date 1/15/2021 Total For Check # 108253	1,167.60
SUBURBAN BUILDING		
5170602	2021 MEMBERSHIP RENEWAL	75.00
	Check Date 1/15/2021 Total For Check # 108254	75.00
SUBURBAN DOOR CHECK		
IN532656	BROOK PARK LOCKS	129.20
	Check Date 1/15/2021 Total For Check # 108255	129.20
TASC-CLIENT INVOICES		
IN1880114	FMLA ADMIN FEES 11/1/20-1/31/21	379.05
IN1929934	COBRA ADMIN FEE 2/1-4/30/21	294.84
	Check Date 1/15/2021 Total For Check # 108256	673.89
THE POLICE & SHERIFFS		
141774	ID CARDS	92.92
	Check Date 1/15/2021 Total For Check # 108257	92.92
TRESSLER, LLP		
423525	PROF FEES THRU 10/31/20 FILE #011269-00001	1,500.00
425130	PROF FEES THRU 12/31/20 FILE #011269-00002	264.00
423526	PROF FEES THRU 10/31/20 FILE #011269-00002	192.50
425134	PROF FEES THRU 12/31/20 FILE #011269-00009	192.00
425129	PROF FEES THRU 1/6/21 FILE #011269-00001	1,500.00
	Check Date 1/15/2021 Total For Check # 108258	3,648.50
TRUSTWORTHY CLEANING		
23	DEC20 KLM CLEANING	1,485.00
	Check Date 1/15/2021 Total For Check # 108259	1,485.00
TYLER TECHNOLOGIES, INC		
045-325633	CASH DRAWER/SCANNER	6,720.00
045-325425	SAAS CONTRACT-C SURRELL	5,120.00
	Check Date 1/15/2021 Total For Check # 108260	11,840.00
VANNORSDEL, DAVID		
DEC-20	NOV30-DEC31 2020 HOURS	8,000.00
DEC-20	NOV30-DEC31 2020 HOURS	3,850.00



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Invoice	Description	Invoice/Amount
Check Date 1/15/2021 Total For Check # 108261		11,850.00
VERIZON WIRELESS		
9869770877	IPADS/MODEMS/CAMERAS 12/24-1/23/21	110.66
9869770877	IPADS/MODEMS/CAMERAS 12/24-1/23/21	36.89
9869770877	IPADS/MODEMS/CAMERAS 12/24-1/23/21	110.66
9869770877	IPADS/MODEMS/CAMERAS 12/24-1/23/21	332.21
Check Date 1/15/2021 Total For Check # 108262		590.42
VILLAGE TRUE VALUE HDWE		
246055	POOL-SPRINKLER PIPE	28.79
Check Date 1/15/2021 Total For Check # 108263		28.79
WAREHOUSE DIRECT INC		
4844915-0	OFFICE SUPPLIES	237.26
4685121-0	SUPPIES	238.78
4856812-0	ADMIN OFFICE SUPPLIES	30.29
4685121-1	POOL SUPPLIES	134.99
4858253-0	JANITORIAL VILLAGE HALL	61.58
4849525-0	SUPPLIES	51.48
Check Date 1/15/2021 Total For Check # 108264		754.38
WEX BANK		
69348630	DEC20 UNLEADED FUEL	90.54
69348630	DEC20 UNLEADED FUEL	280.37
69348630	DEC20 UNLEADED FUEL	2,693.18
69348630	DEC20 UNLEADED FUEL	738.40
69348630	DEC20 UNLEADED FUEL	176.81
69348630	DEC20 UNLEADED FUEL	76.90
69348630	DEC20 UNLEADED FUEL	53.73
69348630	DEC20 UNLEADED FUEL	601.24
69348630	DEC20 UNLEADED FUEL	522.13
69348630	DEC20 UNLEADED FUEL	-87.87
Check Date 1/15/2021 Total For Check # 108265		5,145.43
WILSON, MICHAEL		
123030	TUITION REIMBURSE 9/9-11/17/20	507.60
Check Date 1/15/2021 Total For Check # 108266		507.60
WINDY CITY NINJAS		
123120	FALL 2020 SESSION 2	720.00
Check Date 1/15/2021 Total For Check # 108267		720.00

**Warrant Register 1732**

Invoice	Description	Invoice/Amount
WINSTON & STRAWN		
2775460	LEGAL SERVIVCES THRU 11/30/20	34,073.61
2768994	LEGAL SERVIVCES THRU 10/31/20	33,845.19
2764085	LEGAL SERVIVCES THRU 9/30/20	228.42
2780129	LEGAL SERVIVCES THRU 12/31/20	57,365.25
	Check Date 1/15/2021 Total For Check # 108268	125,512.47
DOCU-SHRED, INC.		
46900	DOCUMENT DESTRUCTION	40.00
	Check Date 1/15/2021 Total For Check # 108269	40.00
AVOLIN, LLC		
5835853533410839	GO MEMBERS-MAINTENANCE	2,898.00
	Check Date 1/15/2021 Total For Check # 108270	2,898.00
	Total For ALL Checks	952,648.59



Warrant Summary by Fund:

RECAP BY FUND	FUND NUMBER	FUND TOTAL
GENERAL FUND	100	319,164.38
CAPITAL PROJECTS FUND	400	27,290.66
WATER & SEWER OPERATIONS FUND	600	313,132.28
WATER & SEWER CAPITAL FUND	620	285,598.06
PAYROLL REVOLVING FUND	740	6,031.46
LIBRARY OPERATIONS	900	1,431.75
	TOTALS:	952,648.59

END OF REPORT



REQUEST FOR BOARD ACTION

Public Services & Engineering

AGENDA SECTION: Consent Agenda – EPS

SUBJECT: Award – Tree Pruning Year 2 – Contract #1655

MEETING DATE: January 19, 2021

FROM: John Finnell, Superintendent of Parks and Forestry

Recommended Motion

To award Nels Johnson Tree Experts, Inc. the Tree Pruning contract for Year 2 of the contract not to exceed the current Year 2 budgeted amount of \$74,717.

Background

In April of 2019, Public Services staff solicited sealed bids for tree pruning services. The bid package for tree pruning includes the following: tree pruning, emergency tree pruning and emergency storm response for a three-year contract term through April of 2022 with a possible extension of the contract up to 1 additional year. Public Services staff received four (4) competitive bids (attachment #2). Nels Johnson Tree Experts, Inc was the low qualified bidder in the three-year extended price comparison amount of \$187,316.25. The Board of Trustees approved Year 1 of the contract on May 7, 2019. Year 1 of the Contract was completed in April of 2020. Tree pruning began in November of 2020 without Year 2 of the contract being approved by the Board of Trustees. Staff has suspended the work and could continue the contract dependent on the approval of the Village Board. Work completed to date is under the \$20,000 limit for Village Manager's approval.

Discussion & Recommendation

The contract term is for a 3-year period at a fixed unit cost and runs from November 4, 2019 until April 1, 2022. The contract crosses over budget years, tree pruning is scheduled to start in November and end of April. This motion would approve the work conducted from January through April in 2021. Staff recommends the Board approve Year 2 of the contract from January 1st through April 30th.

Budget Impact

In the Calendar Year 2021 budget, there is \$74,717 in the Public Services Forestry Division budget line item 4300-7259 to contract tree pruning, emergency tree pruning and storm response. Following the second year of the contract, Public Services staff may return for approval from the Board of Trustees to continue a third year of the contract dependent on adequate performance from Nels Johnson and budget funding in the Tree Pruning Fund.

Village Board and/or Committee Action

Per the Village's approved meeting policy, this award is included on the Consent Agenda without the benefit of a First Reading because it meets the definition for a routine item: it is included in the approved budget, is under budget, and is less than \$500,000.

Documents Attached

1. Tree Pruning Bid #1655 – Bid Tabulation

Village of Hinsdale - Public Services		Nels J. Johnson Tree Experts, Inc.		Landscape Concepts Management, Inc.		Tree "R" Us, Inc.		Winkler's Tree & Landscaping, Inc.		Kramer Tree Specialists, Inc.	
PROJECT NUMBER:	1655	912 Pitner Avenue Evanston, IL 60202		31745 N. Allegany Road Grayslake, IL 60030		P.O. Box 6014 Wauconda, IL 60084		P.O. Box 1154 La Grange Park, IL 60526		300 Charles Court West Chicago, IL 60185	
PROJECT NAME:	Tree Pruning	Check		Bid Bond		Bid Bond		Bid Bond		No Bid	
BID OPENING DATE:		April 16, 2019									
Item No.	Description	Unit	Unit Price	Extended Total	Unit Price	Extended Total	Unit Price	Extended Total	Unit Price	Extended Total	Extended Total
1	1-6"	0	0.00	\$ -	0.00	\$ -	0.00	\$ -	0.00	\$ -	\$ -
2	7-14"	14671	2.50	\$ 36,677.50	3.00	\$ 44,013.00	2.75	\$ 40,345.25	3.00	\$ 44,013.00	\$ -
3	15-24"	27604	2.75	\$ 75,911.00	3.50	\$ 96,614.00	3.65	\$ 100,754.60	4.00	\$ 110,416.00	\$ -
4	25-36"	19901	3.00	\$ 59,703.00	4.25	\$ 84,579.25	4.19	\$ 83,385.19	5.00	\$ 99,505.00	\$ -
5	37 and Greater	4623	3.25	\$ 15,024.75	5.50	\$ 25,426.50	5.97	\$ 27,599.31	5.00	\$ 23,115.00	\$ -
6	Demand Hourly Services	Hourly	75.00		130.00		95.00		95.00		
7	Emergency Hourly Normal	Hourly	85.00		155.00		125.00		125.00		
8	Emergency Hourly OT	Hourly	125.00		195.00		145.00		175.00		
Total Bid				\$ 187,316.25		\$ 250,632.75		\$ 252,084.35		\$ 277,049.00	\$ -

REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading – ZPS

SUBJECT: Special Use Permit, Exterior Appearance/Site Plan to Construct a New 2-story Bank with 2 Drive-thru Lanes General Business District.
Lakeside Bank - B-3 General Business District - Case A-22-2020

MEETING DATE: January 19, 2021

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance Approving a Special Use Permit and Concurrent Site Plan and Exterior Appearance Plan Approval to Construct a New Two-Story Bank with 2 Drive-thru Lanes – Lakeside Bank – 222 E. Ogden Avenue

Background

The Village of Hinsdale has received a Special Use Permit, Exterior Appearance/Site Plan application from Lakeside Bank, requesting approval to demolish the existing former medical office building to construct a new 2-story, 16,425 SF bank at 222 E. Ogden Avenue in the B-3 General Business District. Approximately 2,800 SF would be utilized for customer service and 13,625 SF for employee office space. The proposed 2-story brick building features an integrated drive-thru within the building envelope versus typical canopy style drive-thru designs. Lakeside Bank plans to offer branch hours between 8 AM to 5 PM and operations staff hours between 7 AM and 6 PM. A bank is not normally permitted on the first floor in the B-3 General Business District, however, it is allowed as special use when equipped with a drive-thru.

At the October 14, 2020, Plan Commission (PC) meeting, the PC unanimously supported the proposed appearance of the building and special use permit, however, a few Plan Commissioners requested additional landscaping details. The public hearing was continued to the November 11, 2020, PC meeting because the building height could not be confirmed by the Community Development Department until the four corner elevations (grade) were measured.

On November 3, 2020, the architect reviewed the four corner elevations data with the Village and staff has confirmed the building height. The front entry pitched roof now sits 1'-10" lower as compared to the elevation exhibits submitted for the October 14, 2020, PC meeting. The applicant has also subsequently submitted an updated landscape plan along with the revised elevation drawings for the November 11, 2020, public hearing.

The application proposes to demolish the existing 1-story building and construct a new 2-story building, featuring face brick, limestone trim, Renaissance stone base and dark aluminum windows. Roof equipment would be concealed behind the mansard roof. The applicant plans to utilize the existing curb cuts and parking lot. Per the plans, the new building would have essentially the same front setback and lot coverage, and 10 feet further away from the rear lot line. The existing parking lot would improve with landscaping and offer more parking due to lower building SF and fewer required ADA spaces needed for the former

medical use. There is a parking lot south/behind the subject property and Lakeside plans to install a new fence at the rear lot line.

B-3 General Business District	Code	Existing	Proposed
Building Height Max. (height/stories)	30ft. / 2	20ft. / 1.5	30ft. / 2
Floor Area Ratio (FAR) Max.	0.5	0.43	0.28
Lot Coverage Max.	90%	82%	80%
Front Yard Setback (minimum distance from Ogden Ave. Centerline)	100 ft.	109 ft.	110 ft.
Rear Yard Setback	20 ft.	97 ft.	107 ft.

The subject property is adjacent to B-3 General Business District parcels to the east, west, and south. There is a Shell gas station to the east, a 2-story multi-use building to the west (including a yoga studio and med spa) and a parking lot to the south. A traffic study by KLOA (dated July 14, 2020) is included in the application and shows a comparison between the existing 25,400 SF medical office building and proposed 16,500 SF bank/office building use. On page 5, Table 1 of the traffic study, it shows a general reduction in weekday traffic, with the exception of weekday evening peak hour "in" traffic, from 25 to 29 trips per day.

Discussion & Recommendation

At the November 11, 2020, Plan Commission meeting, the PC unanimously recommended to approve the special use permit and exterior appearance/site plan with the condition that revisions to the plans shall be made to the north lot line along Ogden Avenue, to enlarge the landscape peninsula on the west, and to add a landscape peninsula on the east to increase landscaping, and to add either deciduous trees or ornamental trees along Ogden Avenue, with shrubs and ground cover, 8-0, 1 absent.

On November 23, 2020, the applicant submitted a revised landscape plan based on the recommended conditions of the PC.

Village Board and/or Committee Action

At the December 8, 2020, Village Board meeting, some Village Trustees expressed concern for the proposed bank, a non-sales tax generating use in the B-3 General Business District.

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. In determining whether a proposed special use permit should be granted or denied, the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria:

1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.
3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations
4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.
6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.
7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.
8. Special standards for specified special uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.
9. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:
 - a. Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.
 - b. Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.
 - c. Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Documents Attached

Ordinance

- Attachment 1 – Special Use Permit, Exterior Appearance/Site Plan application and exhibits
Attachment 2 - Zoning Map and Project Location
Attachment 3 - Street View of 222 E. Ogden Avenue
Attachment 4 - Aerial View of 222 E. Ogden Avenue
Attachment 5 - Birds Eye View of 222 E. Ogden Avenue (facing south)
Attachment 6 - Plan Commission Public Hearing Transcripts – Oct. 14 and Nov. 11, 2020

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING A SPECIAL USE PERMIT AND CONCURRENT SITE PLAN AND EXTERIOR APPEARANCE PLAN APPROVAL TO CONSTRUCT A NEW TWO-STORY BANK WITH 2 DRIVE-THRU LANES – LAKESIDE BANK - 222 E. OGDEN AVENUE

WHEREAS, Lakeside Bank (the “Applicant”) has submitted an application (the “Application”) seeking a special use permit for two drive-thru lanes, and site plan and exterior appearance plan approval related to the construction of a new two-story bank at 222 E. Ogden Avenue (the “Subject Property”). The Subject Property is legally described in **Exhibit A** attached hereto and made a part hereof; and

WHEREAS, the Subject Property is located in the Village’s B-3 General Business Zoning District and is currently improved with an existing 25,400 square foot medical office building. The Applicant proposes to demolish the existing building and to replace it with a new two-story, 16,425 square foot bank. Approximately 2,800 square feet would be utilized for customer service and 13,625 square feet for employee office space. The proposed two-story brick building features an integrated drive-thru within the building envelope versus typical canopy style drive-thru designs. Collectively, the bank, drive-thru and related site improvements are the “Proposed Improvements.” The Proposed Improvements are depicted in the Site Plan and Exterior Appearance Plan, as revised pursuant to Section 5.A. below, attached hereto as **Exhibit B** and made a part hereof; and

WHEREAS, banks with drive-thru lanes are permitted as special uses in the B-3 General Business Zoning District pursuant to subsection 5-105(B)(2) of the Hinsdale Zoning Code (“Zoning Code”); and

WHEREAS, the Application has been referred to the Plan Commission of the Village and has been processed in accordance with the Hinsdale Zoning Code (“Zoning Code”), as amended; and

WHEREAS, on October, 14 and November 3, 2020, the Plan Commission of the Village of Hinsdale reviewed the Application at a public hearing pursuant to notice given in accordance with the Zoning Code; and

WHEREAS, the Plan Commission, after considering all of the testimony and evidence presented at the public hearing, recommended approval of the special use permit for drive-thru lanes, and proposed exterior appearance plan and proposed site plan, with certain conditions as set forth below, on a unanimous vote of eight (8) ayes, zero (0) nays, and one (1) absent, as set forth in the Plan Commission’s Findings and Recommendation in this case (“Findings and Recommendation”), a copy of which is attached hereto as **Exhibit C** and made a part hereof. The Plan Commission has filed

its report of Findings and Recommendation regarding the approval sought in the Application with the President and Board of Trustees; and

WHEREAS, the President and Board of Trustees have duly considered the Findings and Recommendation of the Plan Commission, and all of the materials, facts and circumstances affecting the Application, and find that the Application satisfies the standards established in subsection 11-604F of the Zoning Code governing site plan approval, 11-606E of the Zoning Code governing exterior appearance review, and 11-602 of the Zoning Code governing approval of special use permits, subject to the conditions stated in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Adoption of Findings and Recommendation. The President and Board of Trustees of the Village of Hinsdale approve and adopt the findings and recommendation of the Plan Commission, a copy of which is attached hereto as **Exhibit C** and made a part hereof, and incorporate such findings and recommendation herein by reference as if fully set forth herein.

SECTION 3: Approval of Special Use for Bank with Drive-Thru Lanes. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and the Zoning Code, hereby approves a special use permit for a bank with drive-thru lanes in the B-3 General Business Zoning District on the Subject Property located at 222 E. Ogden Avenue, Hinsdale, Illinois, as legally described in **Exhibit A**.

SECTION 4: Approval of Site Plan and Exterior Appearance Plan. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and Sections 11-604 and 11-606 of the Hinsdale Zoning Code, approves the Site Plan and Exterior Appearance Plan relative to the Proposed Improvements, subject to the revisions set forth in Section 5.A. below. Once revised, the revised Site Plan and Exterior Appearance Plan shall be attached to, and by this reference, incorporated into this Ordinance as **Exhibit B** (the "Approved Plans").

SECTION 5: Conditions on Approvals. The approvals granted in this Ordinance are expressly subject to all of the following conditions:

- A. **Revisions to Site Plans.** Revisions to the plans shall be made to the north lot line along Ogden Avenue, to enlarge the landscape peninsula on the west, and to add a landscape peninsula on the east to increase landscaping, and to add either deciduous trees or ornamental trees along Ogden Avenue, with shrubs and ground cover. Once revised, the revised

plans shall be attached hereto as **Exhibit B** and made a part hereof as the Approved Plans.

- B. **Compliance with Plans.** All work on the Subject Property shall be undertaken only in strict compliance with the Approved Plans attached as **Exhibit B**.
- C. **Compliance with Codes, Ordinances, and Regulations.** Except as specifically set forth in this Ordinance, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern all development on, and improvement of, the Subject Property. All such development and improvement shall comply with all Village codes, ordinances, and regulations at all times.
- D. **Building Permits.** The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

SECTION 6: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, or of any applicable code, ordinance, or regulation of the Village, shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 7: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict are hereby repealed.

SECTION 8: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

PASSED this _____ day of _____ 2020.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2020, and attested to by
the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE
CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2020

EXHIBIT A

LEGAL DESCRIPTION OF THE SUBJECT PROPERTY

SCHWENDENER'S RESUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1970 AS DOCUMENT NUMBER R70-33025, IN DUPAGE COUNTY, ILLINOIS.

**Commonly Known As: 222 E. Ogden Avenue, Hinsdale, Illinois
PIN Number: 09-01-209-003**

EXHIBIT B

APPROVED SITE PLAN AND EXTERIOR APPEARANCE PLAN

(ATTACHED)

EXHIBIT C

FINDINGS AND RECOMMENDATION OF THE PLAN COMMISSION

(ATTACHED)

HINSDALE PLAN COMMISSION

Application: Case A-22-2020 – Applicant: Lakeside Bank

Request: Special Use Permit and Exterior Appearance/ Site Plan for a new 2-story bank with 2 drive-thru lanes– 222 E. Ogden Avenue in the B-3 General Business District

DATE OF PLAN COMMISSION (PC) REVIEW: October 14 and November 11, 2020

DATE OF BOARD OF TRUSTEES 1ST READING: December 8, 2020

FINDINGS AND RECOMMENDATION

I. FINDINGS

1. On October 14, 2020, the Plan Commission opened the public hearing for a proposed Special Use permit to construct a new two-story bank with two drive-thru's and exterior appearance site plan review. The applicant, Lakeside Bank was represented by Attorney Pete Coules and architects Don Mouch and Steve Rezabek. Mr. Coules reviewed the current condition of the building, site and surrounding properties. He also reviewed the parking spaces, traffic study; and elevation details of the proposed new building were reviewed by Mr. Rezabek.
2. In general, the Plan Commissioners supported the proposed building. The new building was described for example as: beautiful, attractive, and that the color and windows look great. However, a few Plan Commissioners requested for more details regarding the landscape plan. For the November 11, 2020, public hearing, the applicant submitted additional details to their landscape plan, and revised it per the recommendations by the PC.
3. Mr. Pete Coules at the October 14, 2020, PC meeting, reviewed the building height is pending verification. A surveyor will shoot grade at the four corners of the proposed building. At the October 14, 2020, PC meeting, the building was too tall by 1'-8". The PC continued the public hearing for the November 11, 2020, PC meeting to confirm the height would either need a variation or not. At the November 11, 2020, PC meeting, Village staff confirmed that the proposed height meets Code.
4. Perimeter landscaping requirements around the existing parking lot was discussed at length at the November 11, 2020, public hearing. By the end of the public hearing, Chairman Cashman recommended that 2 parking spaces along the north property line, adjacent to Ogden Avenue, be eliminated to create a larger peninsula to extend the perennials, add small shrubs and/or trees.
5. Chairman Cashman noted that the applicant added parking lot light shields and light dimmers. Mr. Coules confirmed that the lights would dim or turned off an hour after business hours (7AM to 6PM).
6. There were no public comments at the Plan Commission public hearings on Oct.14, or Nov.11, 2020.

II. RECOMMENDATIONS

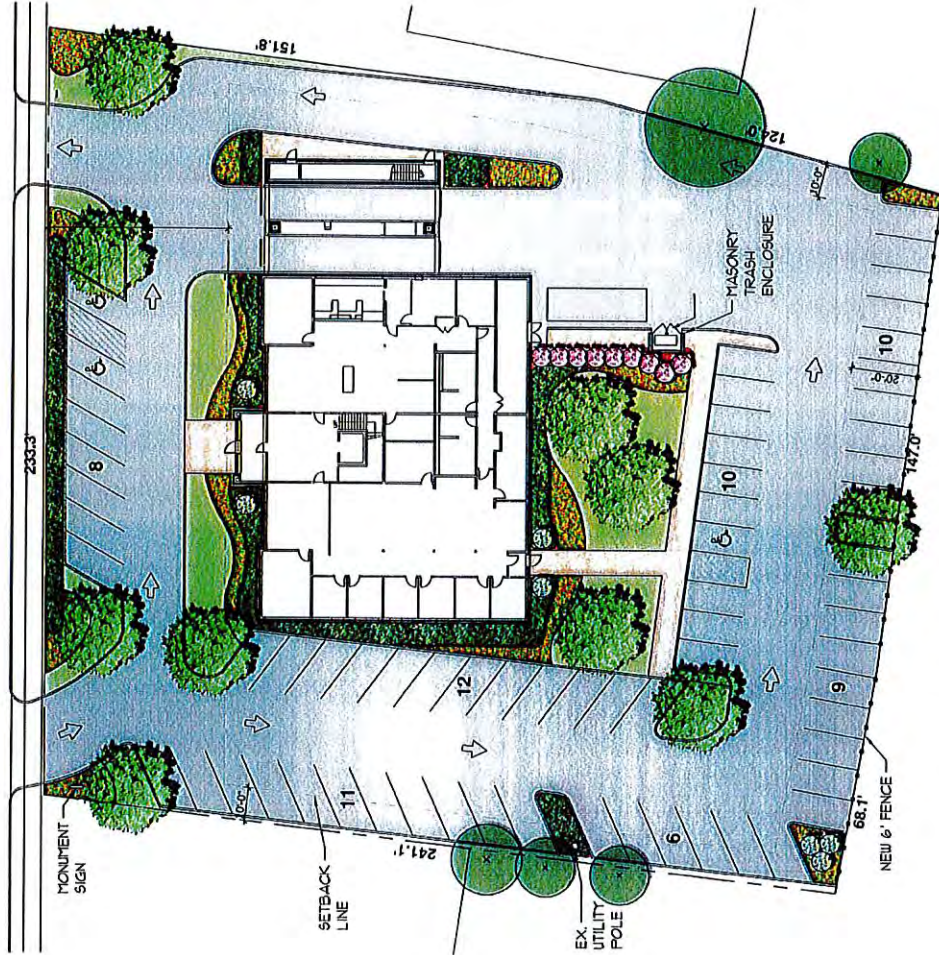
Following a motion to recommend approval of the proposed Special Use Permit and exterior appearance/site plan review, with the condition that the revisions to the plans shall be made to the north lot line along Ogden Avenue, to enlarge the landscape peninsula on the west, and to add a landscape peninsula on the east to increase landscaping, and to add either deciduous trees or ornamental trees along Ogden Avenue, with shrubs and ground cover, the Village of Hinsdale Plan Commission, on a vote of eight (8) "Ayes," and one (1) "Absent," recommends that the President and Board of Trustees approve the application as stated.

THE HINSDALE PLAN COMMISSION By:

Stephen J. Cashman, Chairman

Dated this 15th day of January, 2021.

E. OGDEN AVE



1 PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 10'-0"



**DANIEL WEINBACH
&
PARTNERS, LTD.**
Landscape Architects
515 W. Jackson Blvd.
Suite 1000
Chicago, IL 60604
312.437.2888
www.danielweinbach.com

1	ISSUED FOR REVIEW	1/10/2020
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12		

**LAKESIDE BANK
HINSDALE**

322 E OGDEN AVE
HINSDALE, ILLINOIS


**PRELIMINARY
LANDSCAPE
PLAN**

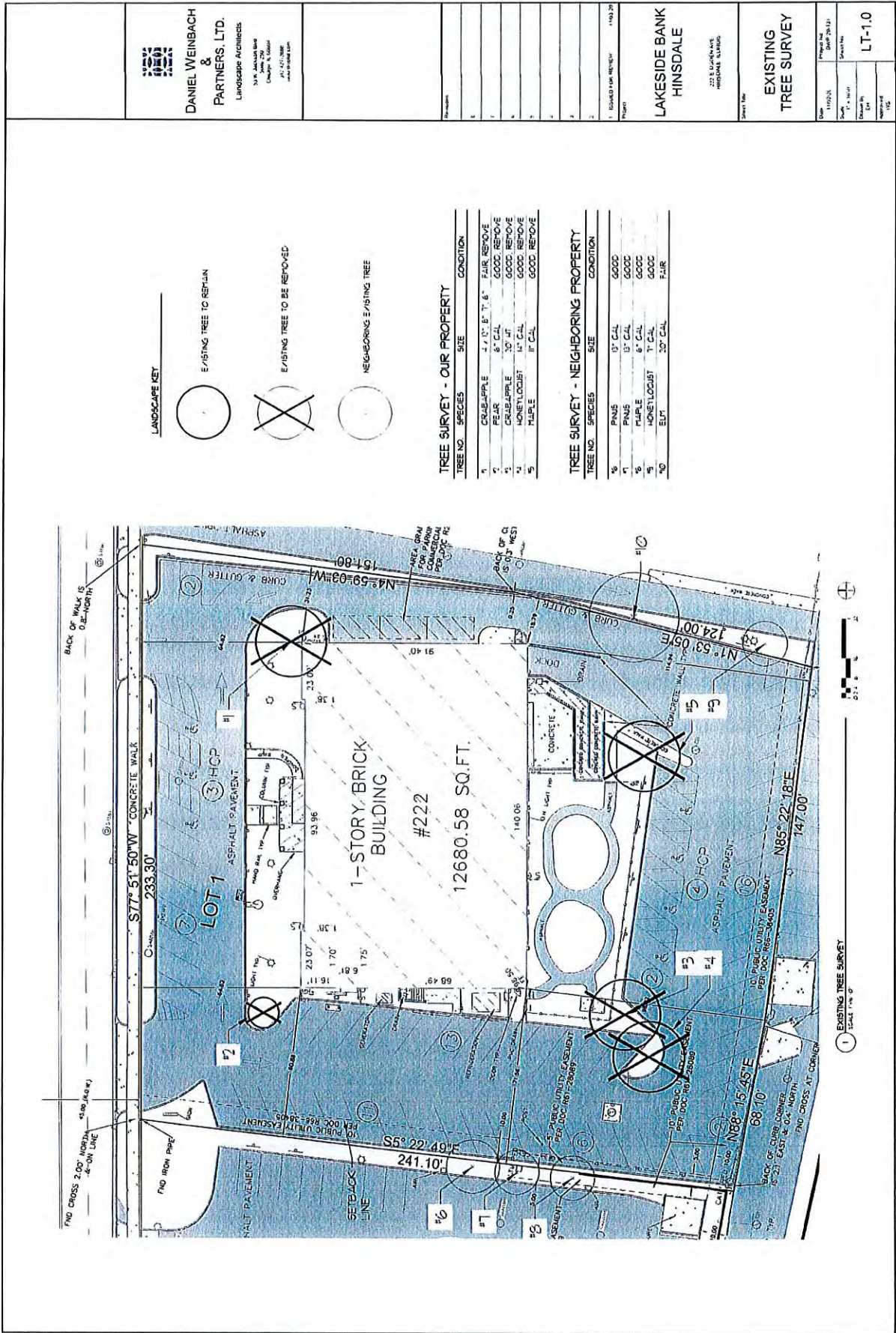
Client	Project No.	Sheet No.
1/10/2020	DRP 24-131	
Scale	1" = 10'-0"	
Drawn By	Checked By	Approved
WES		

L-1.0

This site plan illustrates the proposed new building and its associated parking lot. The building is a rectangular structure with a central core and several wings. The parking lot is located to the right of the building, with a 'NEW 6' FENCE' indicated along its perimeter. The plan includes various landscape features such as trees, shrubs, and a 'MASONRY TRASH ENCLOSURE'. Dimensions for setbacks and lot areas are provided, including a '201.1' setback line and a '147.0' lot area. The plan also shows a 'UTILITY POLE' and a 'MONUMENT SIGN'.



 <p>DANIEL WEINBACH & PARTNERS, LTD. Landscape Architects 515 S. Greenway Blvd. Suite 200 Chicago, IL 60606 312-427-1000 FAX: 312-427-1001</p>	<p>LAKEVIEW BANK HINSDALE</p> <p>1111 S. GREENWAY BLVD. HINSDALE, ILLINOIS</p>		<p>Project #</p> <p>1111 S. GREENWAY BLVD. HINSDALE, ILLINOIS</p>	<p>Scale</p> <p>1" = 10' - 0"</p>	<p>Project No.</p> <p>1111 S. GREENWAY BLVD. HINSDALE, ILLINOIS</p>
	<p>PRELIMINARY LANDSCAPE PLAN</p>				



DANIEL WEINBACH & PARTNERS, LTD.
LANDSCAPE ARCHITECTS
318 N. JACKSON AVE
CHICAGO, IL 60604
TEL: 312.527.2882
WWW.DANIELWEINBACH.COM

**LAKEVIEW BANK
HINSDALE**
222 S. LAKEVIEW AVE
HINSDALE, ILLINOIS

**EXISTING
TREE SURVEY**
Project No. 10000000
Sheet No. 10000000
Drawing No. 10000000
Date 10/1/10

LANDSCAPE KEY

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	NEIGHBORING EXISTING TREE

TREE SURVEY - OUR PROPERTY

TREE NO.	SPECIES	SIZE	CONDITION
1	CRABAPPLE	4" DBH, 8' T.	FAIR REMOVE
2	PEAR	6" DBH	GOOD REMOVE
3	CRABAPPLE	30" DBH	GOOD REMOVE
4	HONEYLOCUST	14" DBH	GOOD REMOVE
5	MUDD	18" DBH	GOOD REMOVE

TREE SURVEY - NEIGHBORING PROPERTY

TREE NO.	SPECIES	SIZE	CONDITION
6	PNIS	12" DBH	GOOD
7	PNIS	12" DBH	GOOD
8	MUDD	8" DBH	GOOD
9	HONEYLOCUST	12" DBH	GOOD
10	ELM	30" DBH	FAIR



FEATHER REED GRASS



SIDEOATS GRAMA



HAPPY RETURNS DAYLILY



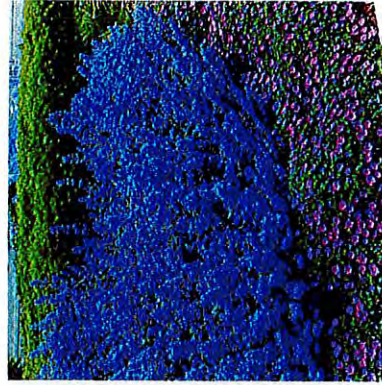
PARDON ME DAYLILY



LIRIOPE



BLACK EYED SUSAN



CATMINT & GERANIUM



SALVIA



CORAL BELLS



PACHYSANDRA

LAKESIDE BANK HINSDALE PLANT PALETTE - PERENNIALS & GROUNDCOVER

11-04-2020

Attachment 1



VIRGINIA SWEETSPIRE



BOXWOOD



YEW HEDGE



TOR SPIRAEA



ALPINE CURRANT



BUSH HONEYSUCKLE



NINEBARK HEDGE



KOREAN SPICE VIBURNUM



DWARF KOREAN LILAC



LITTLE LIME HYDRANGEA

LAKESIDE BANK HINSDALE PLANT PALETTE - SMALL & MEDIUM SHRUBS

Attachment 1

11-04-2020

DANIEL WEINBACH & PARTNERS, LTD.
LANDSCAPE ARCHITECTS



AUTUMN BLAZE MAPLE



HACKBERRY



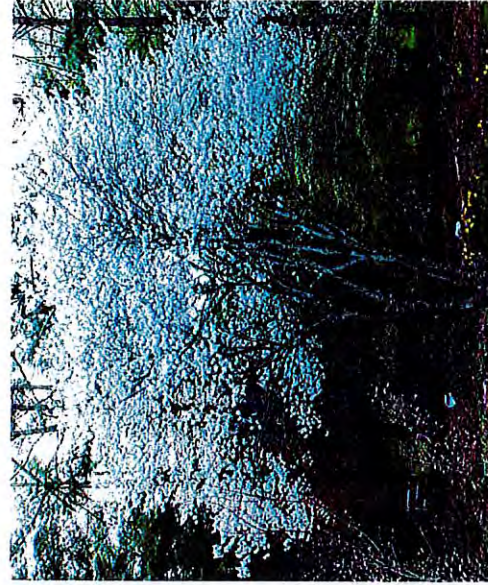
SKYLINE HONEYLOCUST



SWAMP WHITE OAK



MAGNOLIA



AUTUMN BRILLIANCE SERVICEBERRY

LAKESIDE BANK HINSDALE PLANT PALETTE - TREES

Attachment 1

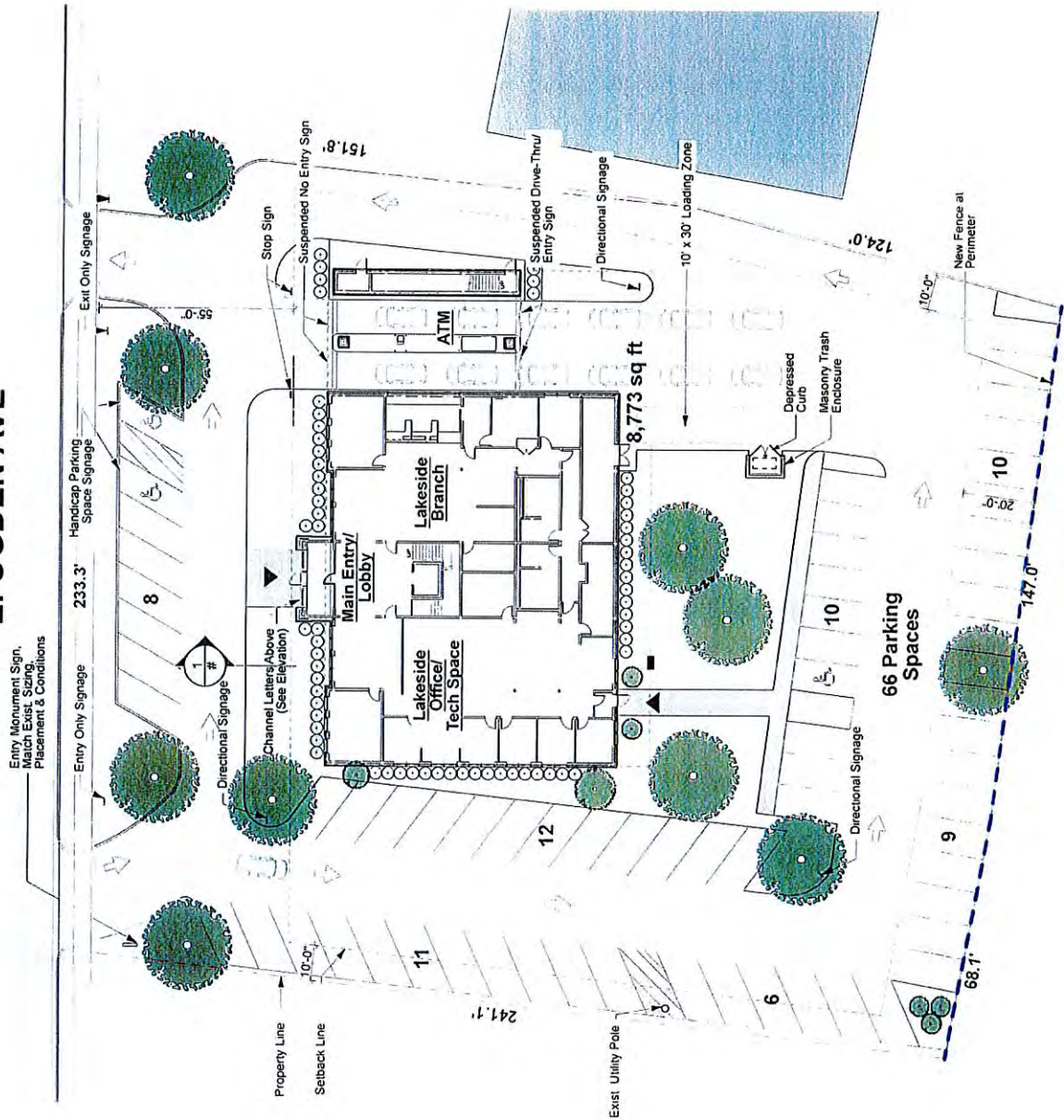
11-04-2020

E. OGDEN AVE

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

Site Plan
Scale 1" = 30'

N



1ST FLOOR SF SUMMARY:

Branch Bank SF	2,732 sf
Lakeside Office/Tech Space	4,613 sf
Common Area	1,428 sf
TOTAL 1st Floor Plate	8,773 sf
TOTAL BUILDING SF	15,876 sf

TOTAL SF SUMMARY:

Branch Bank SF	2,732 sf
Lakeside Office/Tech Space	11,715 sf
Common Area	1,428 sf
TOTAL BUILDING SF	15,876 sf



Pappageorge Haynes Partners
www.pappageorgehaynes.com

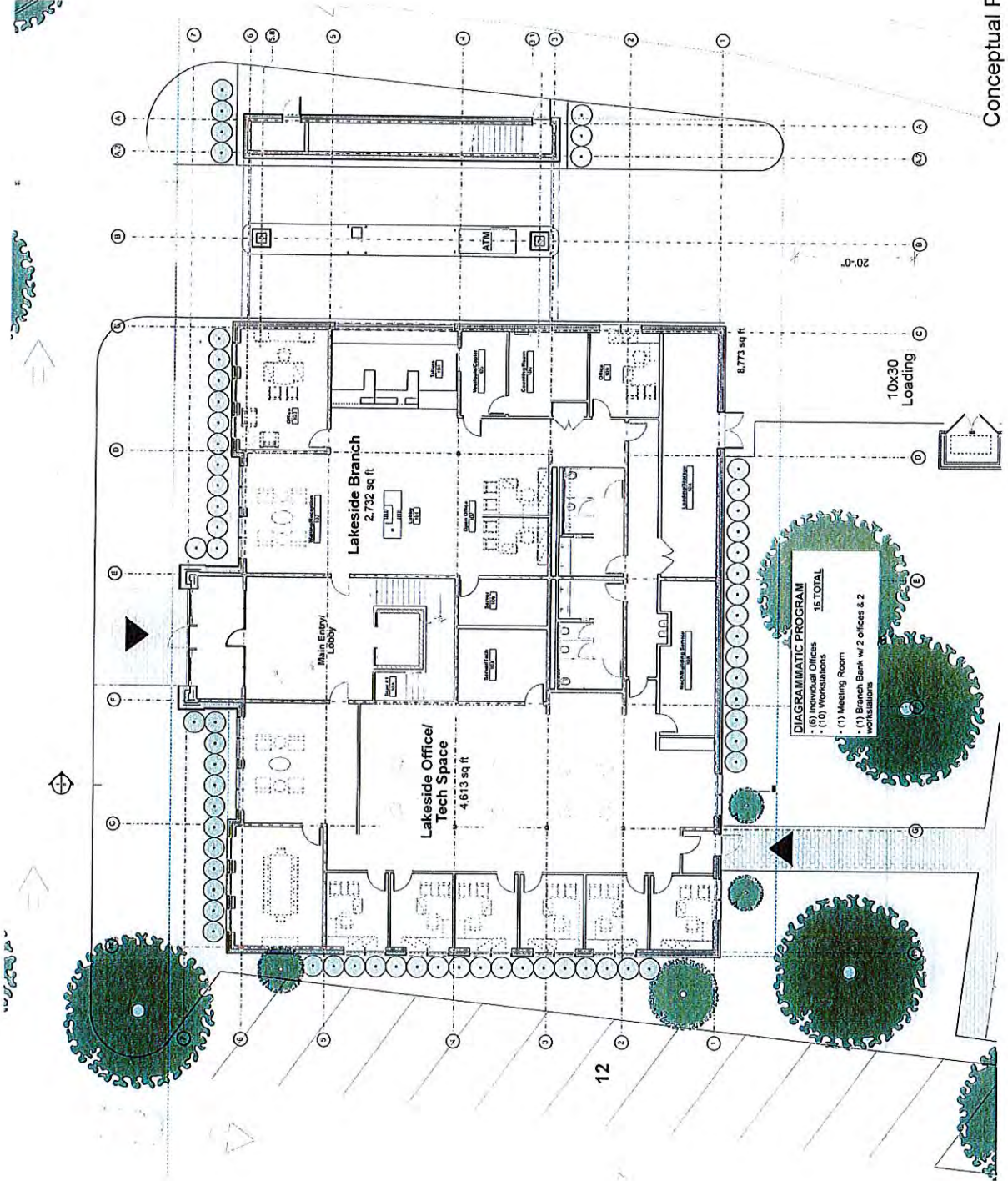
11/23/20
PH # 182705

Attachment 1

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

First Floor Plan
Scale 1/8" = 1'-0"

N



Conceptual Plan

1ST FLOOR SF SUMMARY:

Branch Bank SF	2,732 sf
Lakeside Office/Tech Space	4,613 sf
Common Area	1,428 sf
TOTAL 1st Floor Plate	8,773 sf
TOTAL BUILDING SF	15,876 sf



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www.pappageorgehaymes.com

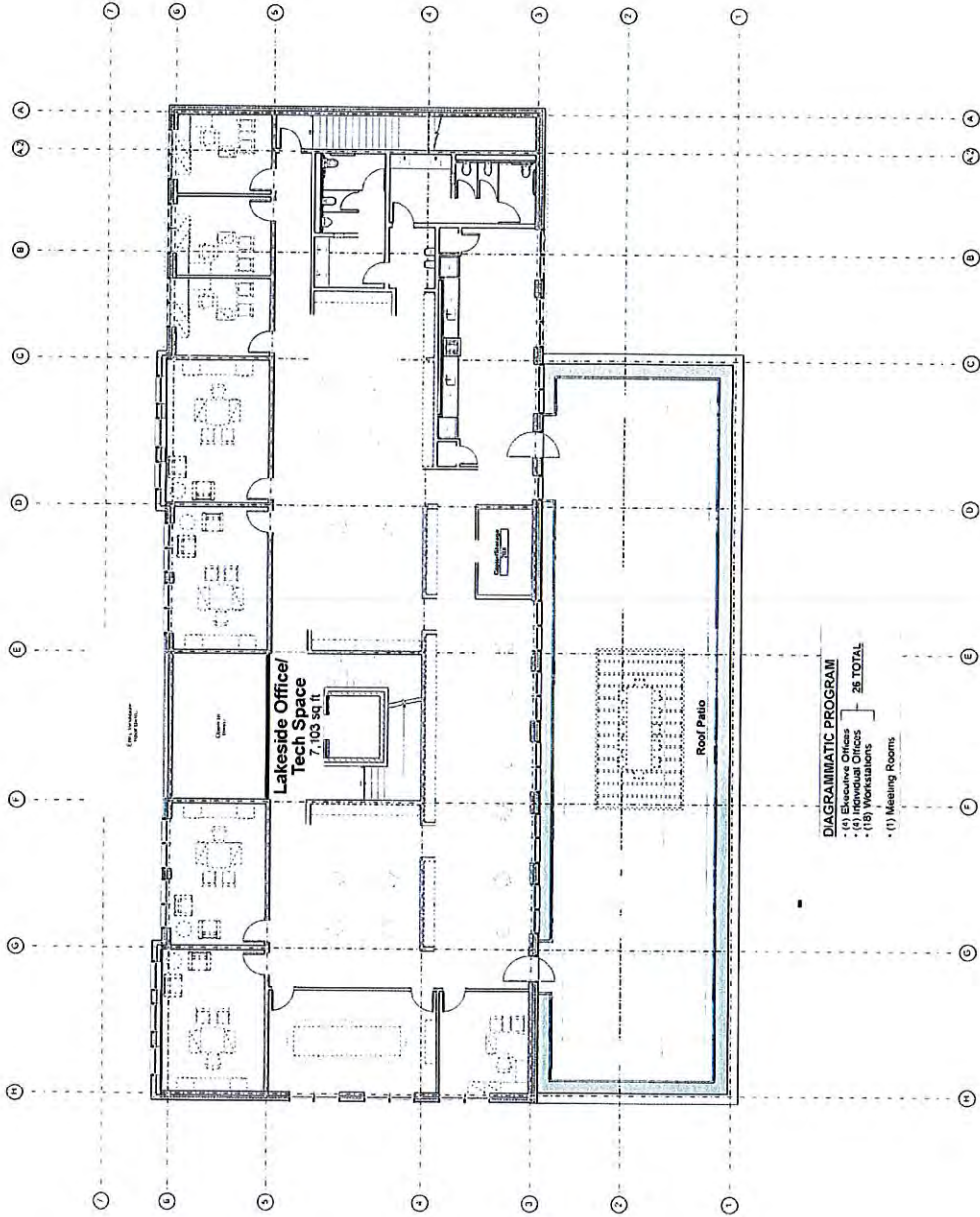
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Attachment 1

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

Second Floor Plan
Scale 1/8" = 1'-0"

N
↑



DIAGRAMMATIC PROGRAM
• (4) Executive Offices
• (4) Individual Offices
• (18) Workstations
• (1) Meeting Rooms
25 TOTAL

2ND FLOOR SF SUMMARY:

Total 2nd Floor Plate 7,103 sf
TOTAL BUILDING SF 15,876 sf



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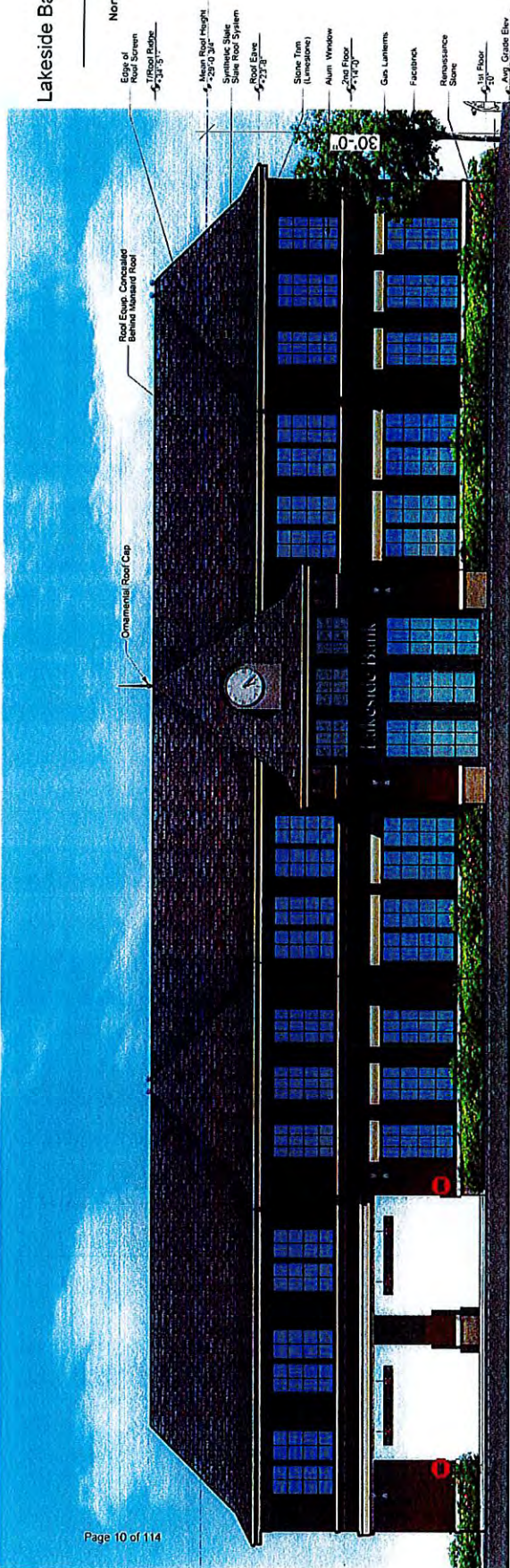
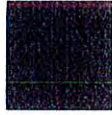
11/23/20
PH # 132705

Attachment 1

Conceptual Plan

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

North & South Elevations
Scale 1/8" = 1'-0"



North Elevation

Lakeside Bank
Lakeside Bank
Developer



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www.pappageorgehaynes.com

11/4/20
PH # 192765

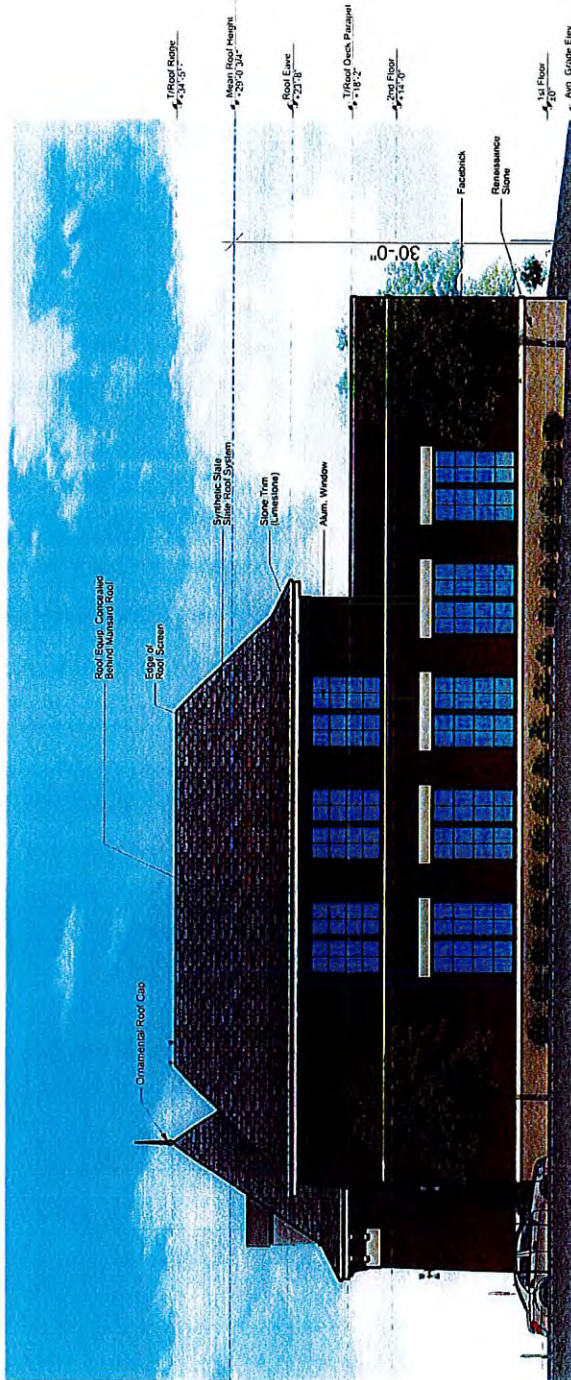
Attachment 1



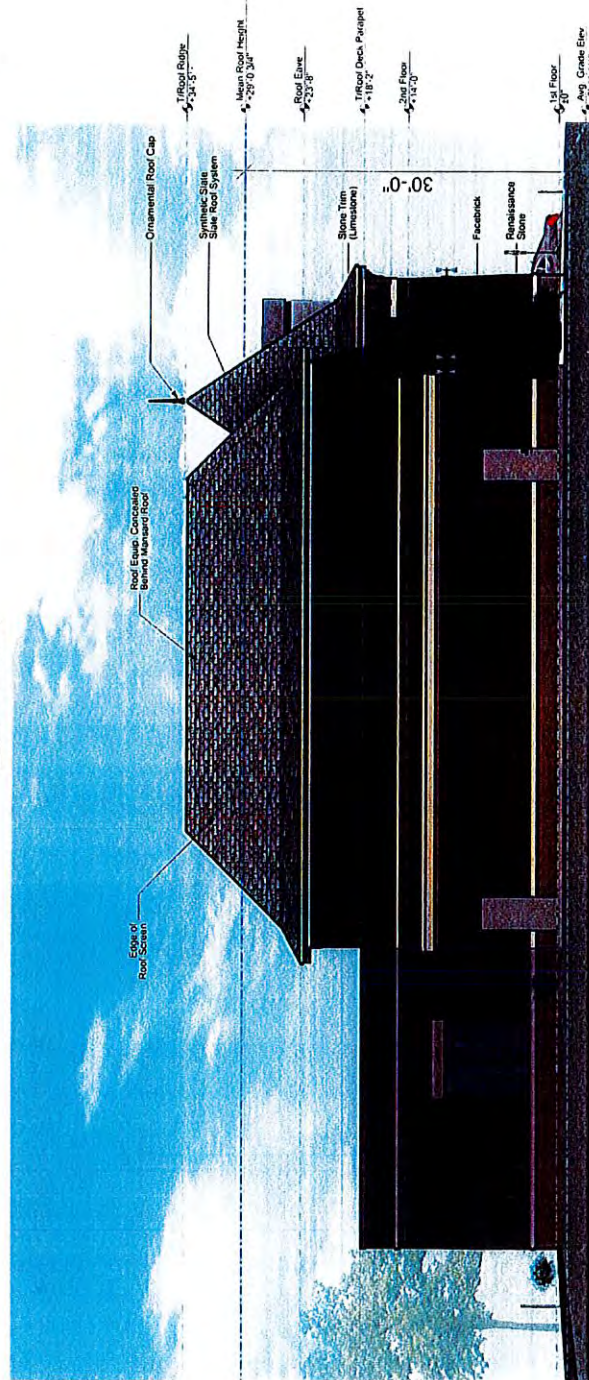
South Elevation

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

East & West Elevations
Scale 1/8" = 1'-0"



West Elevation



East Elevation



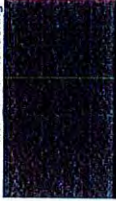
Pappageorge Haynes Partners
www.pappageorgehaynes.com

10/1/20
PH # 102705

Attachment 1

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

NW Corner Rendering



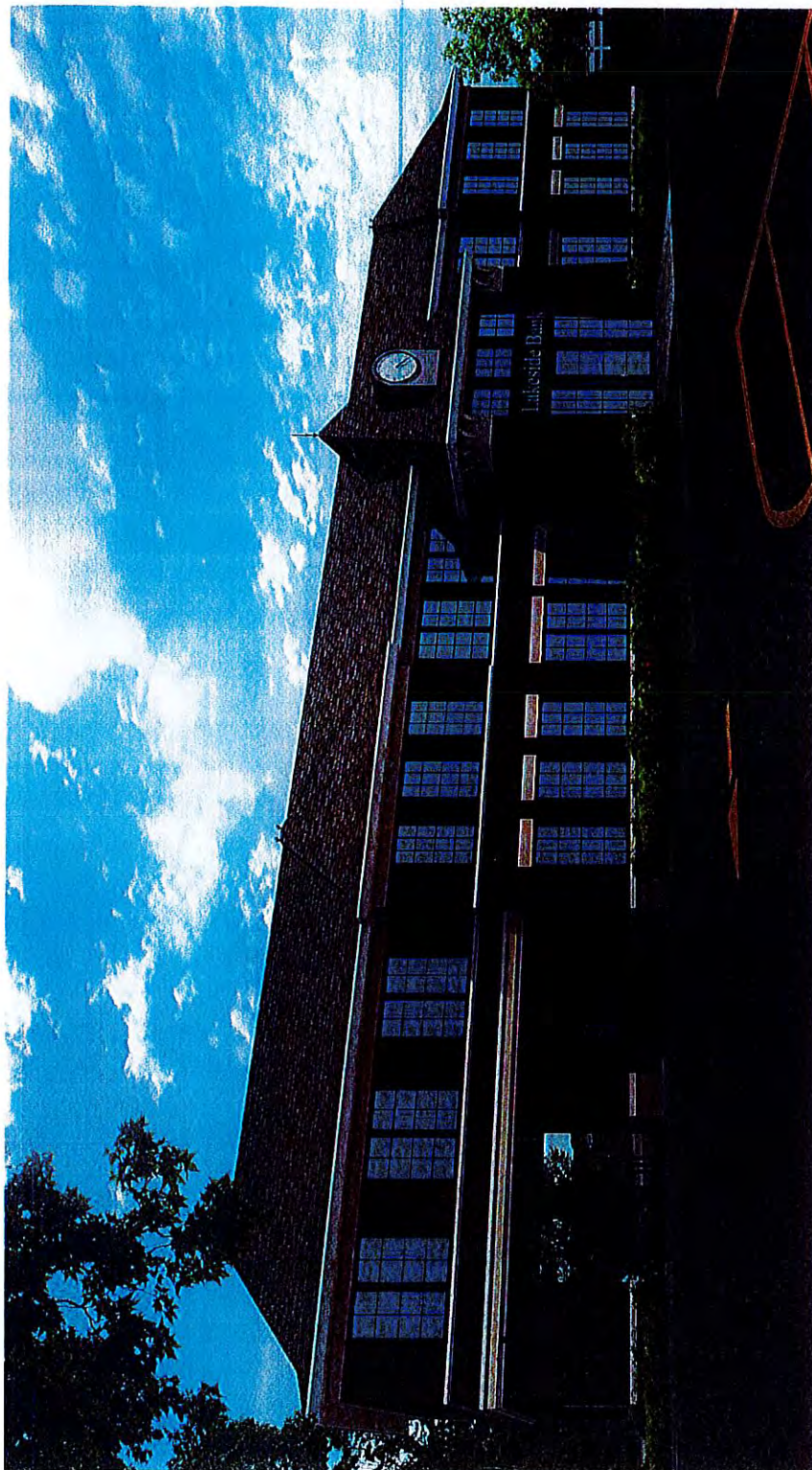
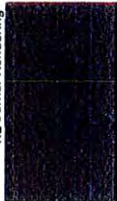
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11/4/20
PH # 152765

Attachment 1

Lakeside Bank - Hinsdale
 222 E. Ogden Ave
 Hinsdale, Illinois

NE Corner Rendering



 Lakeside Bank
 Lakeside Bank
 developer

PAPAGEORGE
 HAYMES

Papageorge Haymes Partners
www.papageorgehaymes.com

11/4/20
 PH # 152708

Attachment 1

ALTA / NSPS LAND TITLE SURVEY

PREPARED BY: Hoehle-Buller Engineering, Inc.
CONSULTING CIVIL ENGINEERS - LAND SURVEYORS
11201 55TH STREET, SUITE 100
HINSDALE, IL 60521
TEL: 708.359.8700 FAX: 708.359.8701
WWW.HOEHLE-BULLER.COM

PROJECT NO: 19-068
DRAWING TITLE: ALTA, Dwg

LEGEND:

- 1. BOUNDARY
- 2. CURB & GUTTER
- 3. ASPHALT PAVEMENT
- 4. CONCRETE
- 5. ASPHALT DRIVE
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NOTES:

1. BOUNDARY
2. CURB & GUTTER
3. ASPHALT PAVEMENT
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GENERAL NOTES:

1. BOUNDARY
2. CURB & GUTTER
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4. CONCRETE
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SCALE: 1" = 20'

DATE: 10-18-18

BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

PROJECT LOCATION: [Map]

VICINITY MAP: [Map]

OGDEN AVENUE

1-STORY BRICK BUILDING #222

12680.58 SQ. FT.

LOT 1

SP7'57"50" CONCRETE WALL

SP7'57"50" CONCRETE WALL

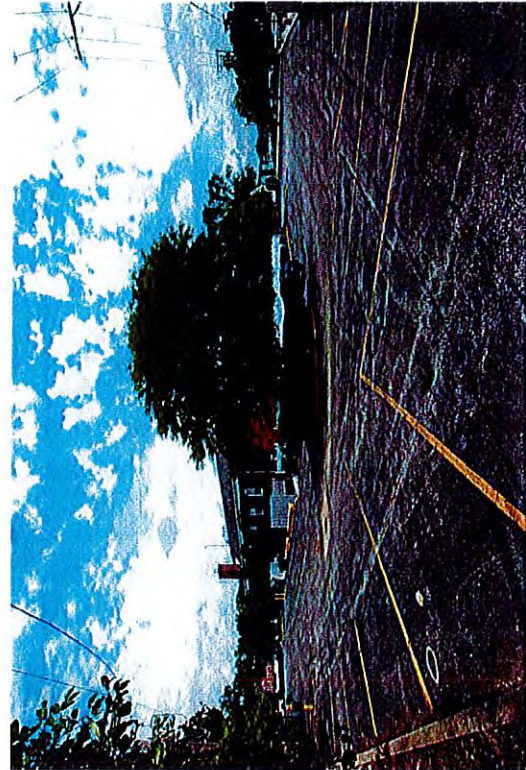
SP7'57"50" CONCRETE WALL

SP7'57"50" CONCRETE WALL

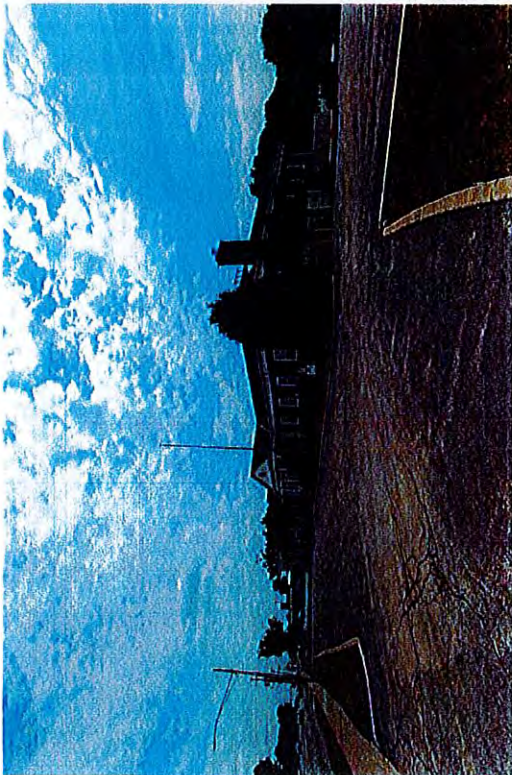
SP



Northeast Corner



Southwest Corner



Northwest Corner



Southeast Corner



Existing East (Side) Elevation



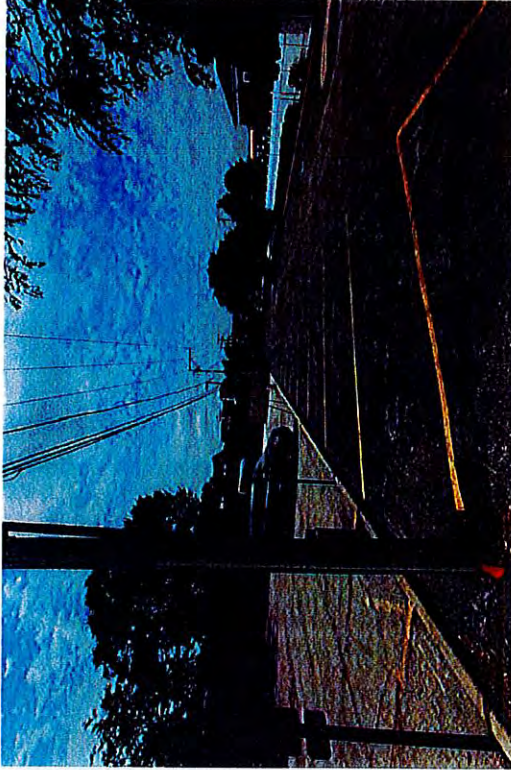
Existing West (Side) Elevation



Existing North (Front) Elevation



Existing South (Rear) Elevation



Existing Parking along South Property Line



Existing Southwest Corner



Existing Southeast Corner & Loading Dock



Existing South (Rear) Elevation

Zoning Data - 222 E Ogden Ave

Zoning Basis	Existing Zoning		Proposed	Notes
	B-3	B-3	B-3	
Net Site Area:	58,894	58,894	58,894	Note 1
Permitted Uses	Note 2	Bank/Offices		
Max Floor Area Ratio:	0.50	0.27		Note 6
Max. F.A.R. Area:	29,447	15,876		
Max. Total Lot Coverage	53.005 (90%)	46.371 (78.7%)		Note 6
Max. Building Coverage	NA	NA		
Min. Lot Area & Dimensions				Note 6
All Other Uses (sf)	None	None		
Lot Width, feet	6,250	58,894		
Lot Depth, feet	50	233.3		
Required Yards/Setbacks (feet):	125	241.1		
Front & Corner Yards	25	100		
Front Setback, from Ogden Ave CL	100	100		
Side Yard & Setback	10	24,667		
Rear Yard & Setback	20	107		
Max. Building Ht (feet):				Note 6
Principal structures, feet	30	30		
Principal structures, stories	2	2		
Building Wall Separation				
Facing Interior Side Property Line (ft)	12	24,667		
Facing Other Front/Rear Walls (ft)	30	107		
On-Site Open Space (sf)	NA	NA		
Ground Floor Commercial Space				
Max Floor Area (sf)	NA	NA		
Min. Floor Area (sf)	NA	NA		
Min. Ft to Ft height (ft)	NA	NA		
Building Programmatic Usage				
Finance (sf)		2,732		
Business/Office (sf)		13,144		
Min. Required Auto Parking:				
Finance, Insurance, & Real Estate	1,250	11		Note 3 4 7 8 10 11
Business & Prof Office (10k-50k sf)	1,275	48		
Drive-in Lanes	2	2		
Drive-in Stacking (cars)	6	6		
Req'd Offstreet Loading:				Note 8
Office Uses	Note 5	1		Note 5

- Notes:**
1. Site Area is per information provided in ALTA Survey dated October 2, 2018
 2. Special Use for the following is permitted in a B-3 district subject to an ordinance of a special use permit: (1) Depository & non-depository credit institutions, not including drive-in establishments or automatic teller machines, except automatic teller machines attached to the principal structure on the lot and only subject to additional provisions (2) Drive-in depository and non-depository credit institutions, but only subject to additional provisions, and (3) Automatic teller machines when not attached to the principal structure on the lot
 3. Required stacking spaces leading to each drive-in window
 4. Any fraction shall require one additional parking space.
 5. 1 required loading space for the first 10,000-100,000 sf of gross area
 6. See Sec. 5-110. Bulk, Space, and Yard Requirements
 7. Widths. The total width of driveways measured at the lot line on a parcel of property used for nonresidential purposes shall not exceed one-half (1/2) the lot frontage, and no single driveway approach shall exceed thirty feet (30') measured at the property line. The width of the driveway measured at the curb shall in no case be greater than five feet (5')
 8. Location Of Drives: On a parcel of property used for nonresidential purposes, no driveway approach shall be located within five feet (5') of the property line, or within ten feet (10') of any other driveway approach as measured at the property line. Additionally, no new driveway approach for secondary access to or from a commercially-zoned property shall be permitted to be created onto a street where the access drive is directly adjacent to, or directly across from a residentially-zoned district.
 9. Location Of Drive-In Lanes: Drive-in lanes shall not be permitted in any front or corner side yard; provided, however, only that a required access drive aisle from the public street to the drive-in lanes may traverse a front or corner side yard in a manner that minimizes the lot coverage within that front or corner side yard
 10. Per the 1,250 and 1,275 parking space requirements, the proposed 15,876 sf building would require 59 parking spaces. The current site plan provides 66 spaces
 11. Per 5-104-C-2b: Off street parking for uses specified in this subsection shall not be located in required front or corner side yards



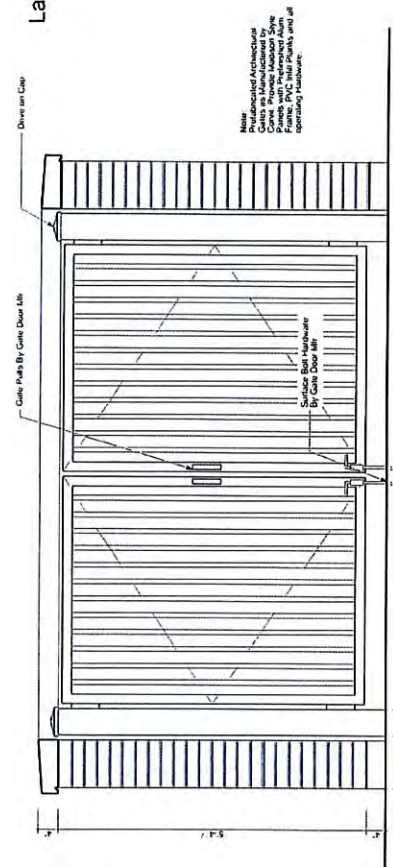
Pappageorge Haynes Partners
www.pappageorgehaynes.com

11/23/20
PH # 192765

Attachment 1

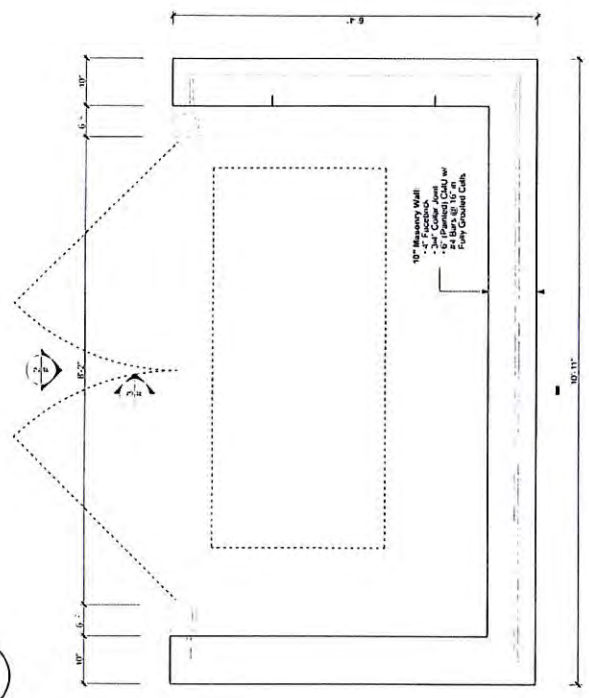
Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

Trash Enclosure
Scale 3/4" = 1'-0" 1/2" = 1'-0"

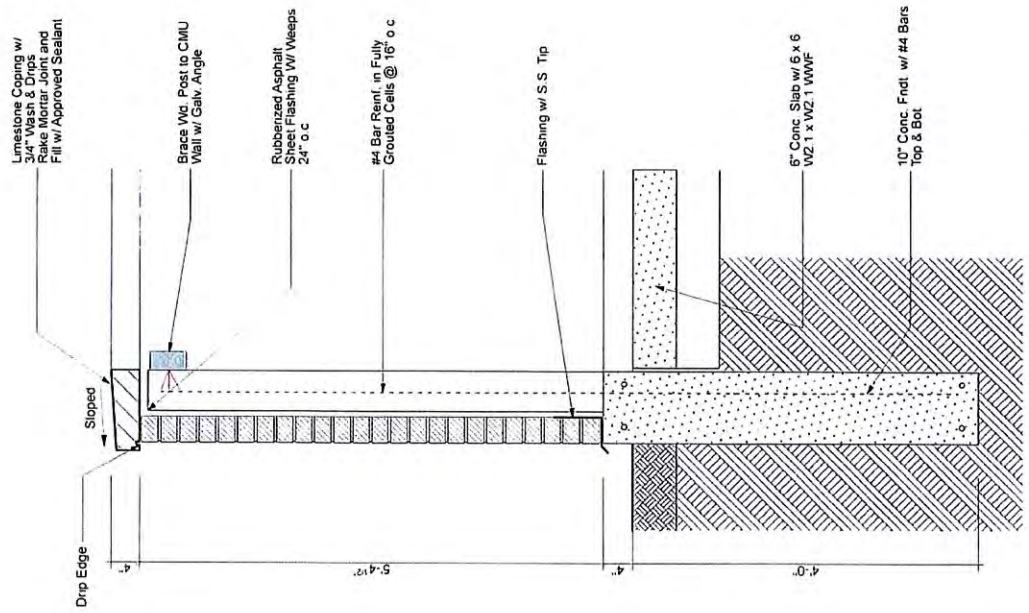


Note:
Professional Architectural
Drawing. This drawing is the
property of Pappageorge Haynes
Partners, Inc. and is not to be
reproduced or used in any way
without the written consent of
Pappageorge Haynes Partners, Inc.

2 Elevation - Trash Enclosure
SCALE 1/2" = 1'-0"



1 Plan - Trash Enclosure
SCALE 1/2" = 1'-0"



3 Section - Trash Enclosure
SCALE 3/4" = 1'-0"

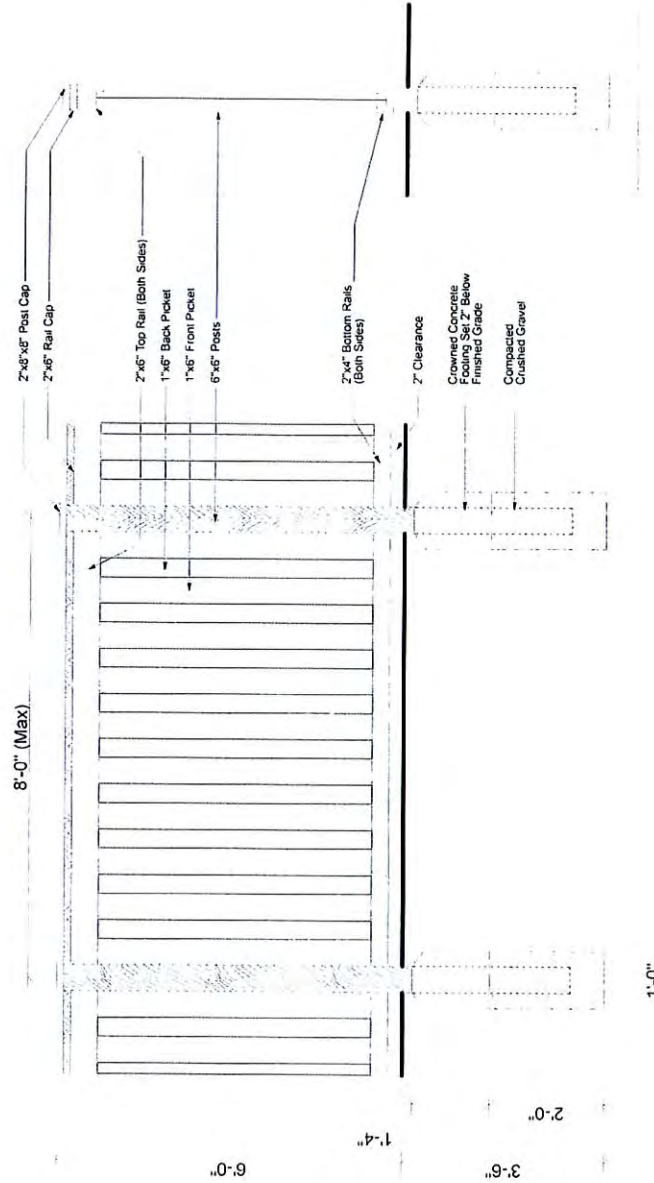


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7/3/20
PH # 192705
Attachment 1

Lakeside Bank - Hinsdale
 222 E. Ogden Ave
 Hinsdale, Illinois

Perimeter Fencing
 Size 1/2" = 1'-0"



1 6' Perimeter Fencing Section & Elevation

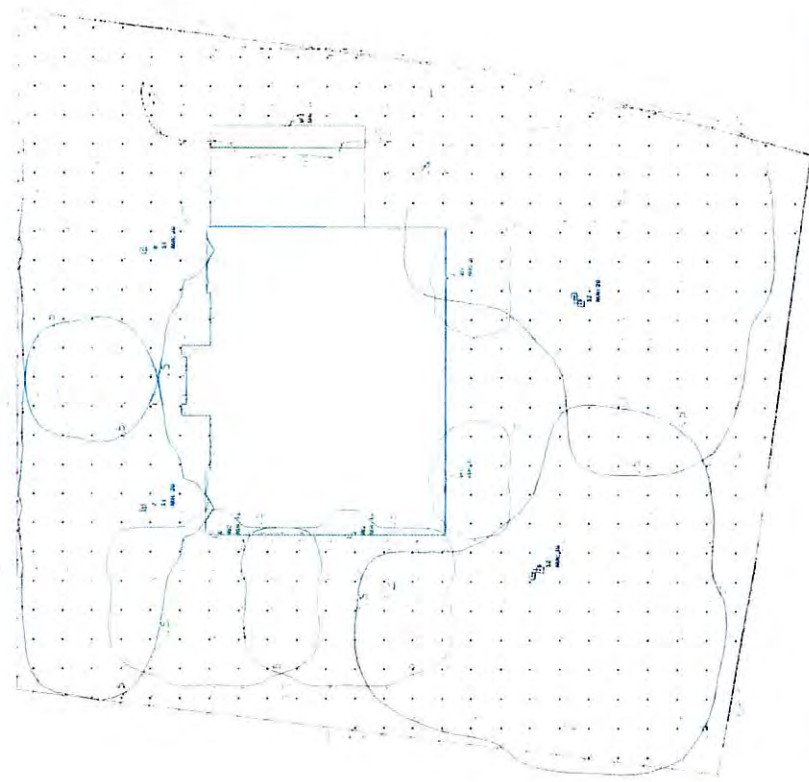
SCALE 1/2" = 1'-0"



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7/3/20
 PH # 132705
 Attachment 1

EUGEN AVE



Luminaires Schedule									
Symbol	Qty	Label	Arrangement	Lum. WxH	Air WxH	Lum. Lumens	Air Lum. Lumens	Manufacturer	Description
1	1	VP-S-48L-13-4K7-3	SINGLE	135.383	135.383	1534	1534	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
2	52	VP-S-48L-110-4K7-4W-2	2 @ 90 DEGREES	107.36	214.73	11819	22638	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
3	2	VP-S-48L-110-4K7-4W-2	SINGLE	19.9	19.9	2151	2151	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
4	2	VP-S-48L-110-4K7-4W-2	SINGLE	66.66	66.66	9459	9459	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
5	1	VP-S-48L-110-4K7-4W-2	SINGLE	70.6	70.6	7902	7902	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
Luminaires Location Summary									
Symbol	Qty	Label	Arrangement	Lum. WxH	Air WxH	Lum. Lumens	Air Lum. Lumens	Manufacturer	Description
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3	2	VP-S-48L-110-4K7-4W-2	SINGLE	19.9	19.9	2151	2151	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
4	2	VP-S-48L-110-4K7-4W-2	SINGLE	66.66	66.66	9459	9459	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
5	1	VP-S-48L-110-4K7-4W-2	SINGLE	70.6	70.6	7902	7902	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
Calculation Summary									
Label	Qty	Units	Avg	Max	Min	Avg/Min	Max/Min	Calc Type	Description
VP-S-48L-13-4K7-3	1	FC	1.87	5.6	0.3	7.17	18.27	Minimum	VP-S-48L-13-4K7-3
VP-S-48L-110-4K7-4W-2	52	FC	2.15	5.6	0.3	7.17	18.27	Minimum	VP-S-48L-110-4K7-4W-2
VP-S-48L-110-4K7-4W-2	2	FC	2.15	5.6	0.3	7.17	18.27	Minimum	VP-S-48L-110-4K7-4W-2
VP-S-48L-110-4K7-4W-2	2	FC	2.15	5.6	0.3	7.17	18.27	Minimum	VP-S-48L-110-4K7-4W-2
VP-S-48L-110-4K7-4W-2	1	FC	2.15	5.6	0.3	7.17	18.27	Minimum	VP-S-48L-110-4K7-4W-2
Luminaires Location Summary									
Symbol	Qty	Label	Arrangement	Lum. WxH	Air WxH	Lum. Lumens	Air Lum. Lumens	Manufacturer	Description
1	1	VP-S-48L-13-4K7-3	SINGLE	135.383	135.383	1534	1534	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
2	52	VP-S-48L-110-4K7-4W-2	2 @ 90 DEGREES	107.36	214.73	11819	22638	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
3	2	VP-S-48L-110-4K7-4W-2	SINGLE	19.9	19.9	2151	2151	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
4	2	VP-S-48L-110-4K7-4W-2	SINGLE	66.66	66.66	9459	9459	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
5	1	VP-S-48L-110-4K7-4W-2	SINGLE	70.6	70.6	7902	7902	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
Luminaires Location Summary									
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3	2	VP-S-48L-110-4K7-4W-2	SINGLE	19.9	19.9	2151	2151	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
4	2	VP-S-48L-110-4K7-4W-2	SINGLE	66.66	66.66	9459	9459	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO
5	1	VP-S-48L-110-4K7-4W-2	SINGLE	70.6	70.6	7902	7902	0.900	HUBBELL OUTDOOR LIGHTING INC. DBO

PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.

Project Name
222 E OGDEN AVE, HINSDALE, IL
Location

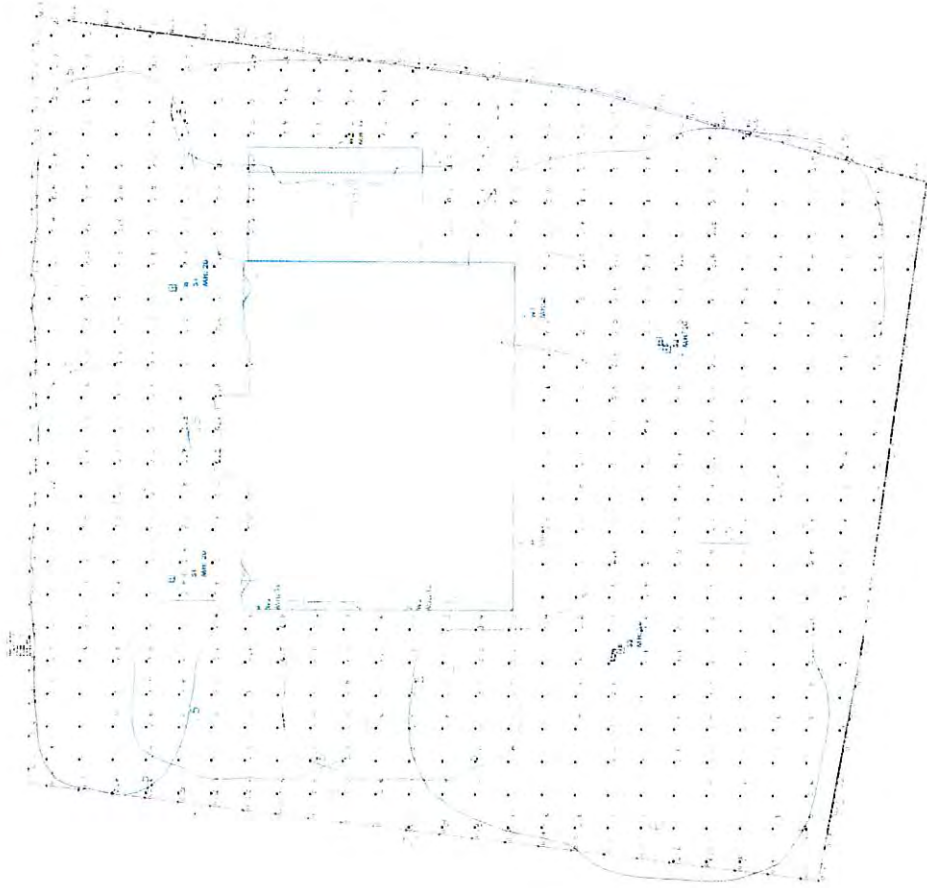
LAKEVIEW BANK - HINSDALE

Drawn By Joel Collins
Date 7/3/2020
Scale 1" = 16'
Drawn By: jcollins@pg-enlighten.com

Revision	By	Date
1	Joel Collins	7/3/2020



E. OGDEN AVE



SSS-B SERIES POLES

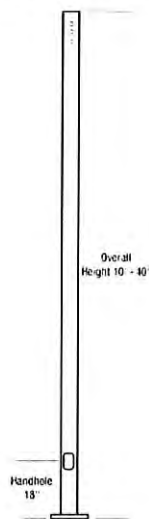
SQUARE STRAIGHT STEEL

Cat.#

Job

Type

Approvals



APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- **SHAFT:** One-piece straight steel with square cross section, flat sides and minimum 0.238" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- **BASE COVER:** Two-piece square aluminum base cover included standard
- **POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- **HAND HOLE:** Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38

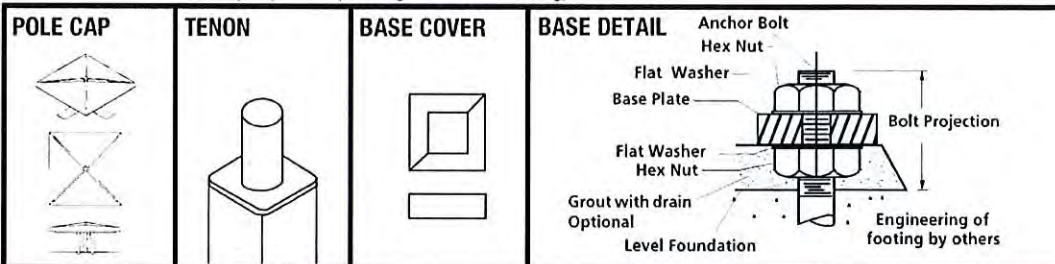
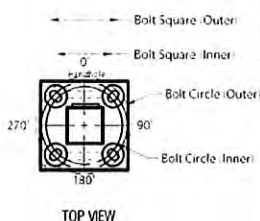
1 x 36 x 4 — TAB-36-M38

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable; Internal protective coating available

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Hubbell Outdoor S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting)



ORDERING INFORMATION

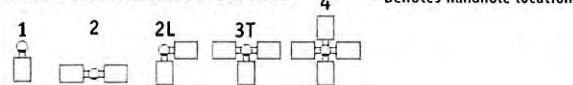
ORDERING EXAMPLE:

SSS - B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL

Reference page 2 for available configurations

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-B Square Straight Steel Pole Beacon	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR Removable Tenon (2.375 x 4.25) OT Open Top (includes pole cap)	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VG Verde Green Textured Color Option CC Custom Color	HSC Internal Coating (Hubbell Seal) GFI 20 Amp GFCI Receptacle and Cover EH Extra Handhole C05 .5" Coupling C07 .75" Coupling C20 2" Coupling MPB Mid-pole Luminaire Bracket VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified

MOUNTING ORIENTATION



- 1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-B-25-40-A-1-B1-TR-BBT
- 2 Specify option location using logic found on page 2 (Option Orientation)
- 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

ACCESSORIES - Order Separately

Catalog Number	Description
VM1	1st mode vibration damper
VM2SXX	2nd mode vibration damper

DRILL PATTERN

- B1 Cruiser "AM" arm
- B3 2 bolt (2-1/2" spacing), Viper "A" arm
- S2 2 bolt (3-1/2" spacing), Viper "AD" arm



Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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SSS-B POLES-SPEC

FEBRUARY 24, 2020 3:58 PM

ORDERING INFORMATION Cont.

Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-B-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-B-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	90
SSS-B-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-B-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-B-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-B-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-B-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-B-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-B-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-B-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-B-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-B-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-B-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-B-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-B-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-B-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-B-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-B-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-B-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-B-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-B-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	329
SSS-B-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	404
SSS-B-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	479
SSS-B-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	554
SSS-B-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	629
SSS-B-30-60-C-XX-XX	30	9.1	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	614
SSS-B-35-60-C-XX-XX	35	10.7	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	712
SSS-B-40-60-C-XX-XX	40	12.2	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	809

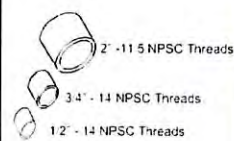
NOTE: Factory supplied template must be used when setting anchor bolts. Beacon Products will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

EHH - EXTRA HANDHOLE

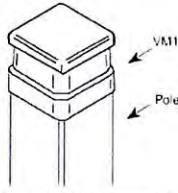


Provision for Grounding

C05 - C07 - C20 - COUPLING



VM1 - VIBRATION DAMPER 1ST MODE



Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.

VM2 - VIBRATION DAMPER 2ND MODE



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

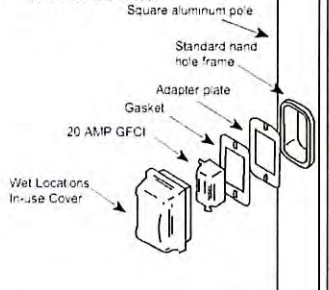
VM2SXX - VIBRATION DAMPER 2ND MODE



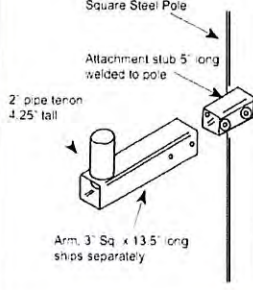
VM2S08 - 8'
VM2S12 - 12'
VM2S16 - 16'
VM2S20 - 20'
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

GFI - 20 AMP GFCI RECEPTACLE & COVER

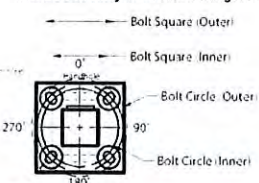


MPB - MID POLE BRACKET



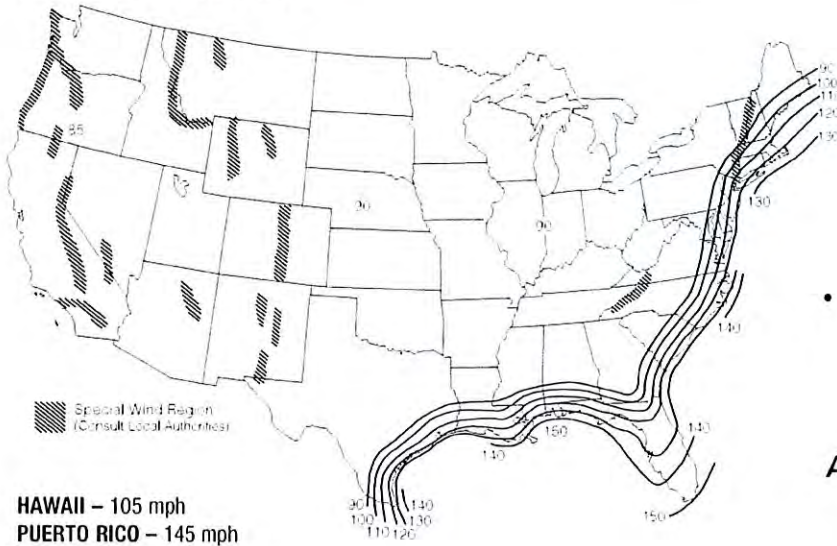
OPTION ORIENTATION

Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-B-20-40-A-TA-DB-C05-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.

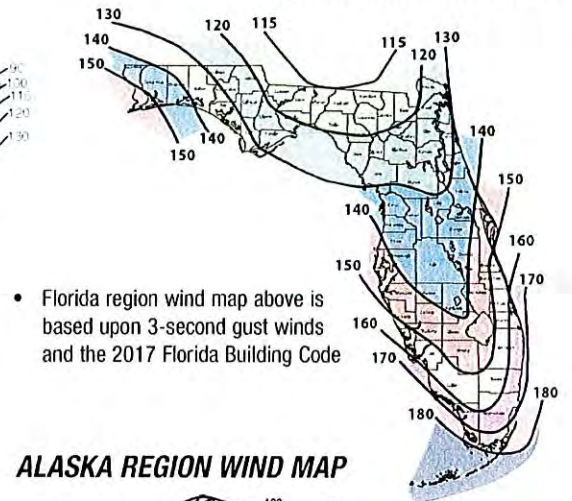


For more information about pole vibration and vibration dampers, please consult https://hubbellcdn.com/ohwassets/HU/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL010022.pdf. Due to our continued efforts to improve our products, product specifications are subject to change without notice.

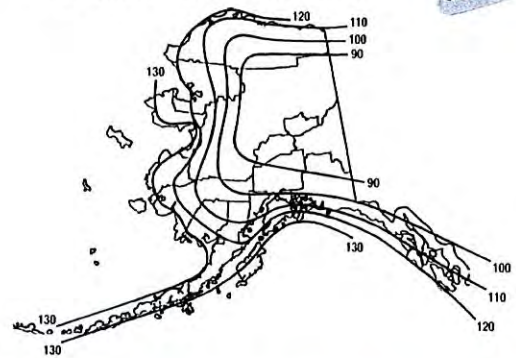
ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds
(Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-B-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-B-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-B-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-B-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-B-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-B-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-B-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-B-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-B-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-B-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-B-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-B-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-B-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	21.8	20.1	16.5	13.6	12.3	11.2
SSS-B-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-B-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-B-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-B-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-B-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-B-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-B-20-60-B	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3	
SSS-B-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-B-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-B-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-B-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	24.3	20.5	14.6	12.2	10.2	6.8	4.2	2.2	1.3	0.5
SSS-B-35-60-C	16.6	13.5	8.6	6.6	4.9	2.1	NR	NR	NR	NR
SSS-B-40-60-C	10.6	7.9	3.7	2.1	0.6	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds
(Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-B-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-B-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-B-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-B-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-B-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-B-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-B-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-B-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-B-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-B-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-B-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-B-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-B-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	21.4	18.2	15.5	
SSS-B-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-B-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-B-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-B-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-B-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-C	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-C	1.8	NR	NR	NR	NR	NR	NR	NR

NOTES

Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide. Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. https://hubbellcdn.com/ohwassets/HLI/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HLOI0022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



VIPER S

Small size companion to Viper Large

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED wattage configurations
- Nine optical distributions
- Designed to replace HID lighting up to 400W MH or HPS
- Suitable for wet locations



1500K and warmer CCT's only

CONTROL TECHNOLOGY

NX DISTRIBUTED[™]
INTELLIGENCE

wiSCAPE[™]

ener



SPECIFICATIONS

CONSTRUCTION

- Manufactured with die cast aluminum
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements
- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which includes passing a 3,000-hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds
- External hardware is corrosion resistant

OPTICS

- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one-piece optical system
- One-piece silicone gasket ensures a weatherproof seal around each individual optic
- One-piece optical cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel

INSTALLATION

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included

ELECTRICAL

- Luminaire accepts 100V through 277V, 347V or 480V input 50 Hz to 60 Hz (UNV)
- Power factor is $\geq .90$ at full load
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only
- Fixture electrical compartment contains all LED driver components
- Optional 7-pin ANSI C136.41-2013 Twist-Lock[®] photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices
- Ambient operating temperature -40°C to 25°C
- Surge protection: 20kA
- Lifeshield[™] Circuit (see [Electrical Data](#))

CONTROLS

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration

OPTICS STRIKE



RELATED PRODUCTS

8 Viper Large

CONTROLS (CONTINUED)

- Available with [Energent](#) for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night
- In addition, Viper can be specified with [Sensy](#) for [intelligent control](#) for reduction in energy and maintenance costs while optimizing light quality 24/7

CERTIFICATIONS

- DLC[®] (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Certified to UL 1598 and UL 8750
- 3G rated for ANSI C136.31 high vibration applications with MA[®] mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. [Separate spec available online](#)

WARRANTY

- 5 year warranty
- See [HLI Commercial and Industrial Outdoor Lighting Warranty](#) for additional information

KEY DATA	
Lumen Range	4,045–16,216
Wattage Range	39–136
Efficacy Range (LPW)	100–124
Reported Life (Hours)	L70>60,000
Input Current Range (Amps)	0.1–1.1



VIPER S

Small, Medium, Large

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ORDERING GUIDE

Example: VPS-24L-55-4K7-4W-UNV-A-DBT-TL-GENI-04-BC

CATALOG #

VPS					
Series	LED Engine	CCT/CRI ¹	Distribution	Rotation	Voltage
VPS Viper Small	24L-39 39W, LED array 24L-55 55W, LED array 36L-65 65W, LED array 36L-80 80W, LED array 48L-110 110W, LED array 60L-136 136W, LED array	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	FR Type 1 Front Row 2 Type 2 3 Type 3 4F (formerly 4) Type 4 4W Type 4 Wide 5QM Type 5QM 5R Type 5R (rectangular) 5W Type 5W (round wide) TC Tennis Court CR Corner Right CL Corner Left	Blank No rotation L Optic rotation left ² R Optic rotation right ²	UNV 120-277V 347 347V 480 480V
Mounting	Color	Control Options	Options		
A Rectangular Arm (formerly RA) for square or round pole MAF Mast Arm Fitter (formerly SF2) for 2 1/2" OD horizontal arm K Knuckle (formerly PK2) limit to 30° tilt or 2 1/2" OD horizontal arm or vertical tension WB Wall Bracket AD Universal Arm for square pole AD3 Adapter for 2.4" - 4.1" round pole AD4 Adapter for 4.2" - 5.3" round pole AD5 Adapter for 5.5" - 5.9" round pole AD6 Adapter for 6.0" - 6.5" round pole	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	NXWE NX Wireless Enabled (module + radio) NXSPW_E Nx Wireless, PIR Occ. Sensor, Daylight Harvesting ³ NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting ³ WIR Wireless Controls, wiSCAPE Control Options 7PR 7 Pin Receptacle only (shorting cap, photo control, or wireless control provided by others) 7PR-SC 7 Pin Receptacle w/ Shorting Cap 7PR-TL 7 Pin Receptacle w/ Twist Lock ⁴ photo control SCP_F Programmable Occupancy Sensor w/ daylight control ⁵ / GENI-XX ENERGENI ⁶ SWP SiteSync Pre-Commission ⁶ SWPM_F SiteSync Pre-Commission w/ Sensor ⁶	BC Backshield (available for FR, 2, 3, 4, 4W Optics) CD Continuous Dimming F Fusing TB Terminal Block		

House Side Shield Accessories

- ☐ HSS/VP-S/90-FB/XXX 90° shield front or back
- ☐ HSS/VP-S/90-LR/XXX 90° shield left or right
- ☐ HSS/VP-S/270-FB/XXX 270° shield front or back
- ☐ HSS/VP-S/270-LR/XXX 270° shield left or right
- ☐ HSS/VP-S/360/XXX Full shield

Replace XXX with rotation or desired finish color. Refer to page 8 for shield images.

Mounting Accessories

- ☐ VPL-AD-RPA3 2.4"-4.1" Round Pole Adapter for AD arm
- ☐ VPL-AD-RPA4 4.2"-5.3" Round Pole Adapter for AD arm
- ☐ VPL-AD-RPA5 5.5"-5.9" Round Pole Adapter for AD arm
- ☐ VPL-AD-RPA6 6.0"-6.5" Round Pole Adapter for AD arm

Notes

- Not available with other wireless control or sensor options.
- Specify mounting height, 8'-8" or less, 40'-9" to 40'.
- Specify mounting code (available for GENI-04). See [ENERGENI brochure](#) and [instructions](#) for setting table and options. Not available with sensor or SiteSync options.
- Specify group and come at the end of order. See [www.hubbelllighting.com/sitesync](#) for further details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node.
- Only available with FR, 2, 3, 4, 4W and 5R distributions.
- Order at least one SCP REMOTE per project to program and control the occupancy sensor.

Accessories and Services (Ordered Separately)

- ☐ SCP-REMOTE Remote Control for SCP_F option. Order at least one per project to program and control the occupancy sensor.
- ☐ SWUSB⁷ SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software, and USB radio bridge node.
- ☐ SWTAB⁷ Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node.
- ☐ SWBRG SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested.
- ☐ SW7PR+ SiteSync 7 Pin on fixture module On-Off Dim, Daylight Sensor 120-480VAC.
- ☐ BIRD-SPIKE-3 Bird Spikes.

⁷ When ordering SiteSync, at least one of these two interface options must be ordered per project. Also available as a SiteSync retrofit solution for fixtures with an existing non-remoteable.

Hubbell Control Solutions — Accessories (Sold Separately)

NX Distributed Intelligence⁸

- ☐ NXOFM-IR1D-UNV On-Fixture Module (7 pin), On-Off Dim, Daylight Sensor with HubbNET Radio and Bluetooth⁹ Radio, 120-480VAC

wiSCAPE³ Lighting Control

- ☐ WIR-RME-L On-Fixture Module (7 pin or 5 pin), On-Off Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit [www.hubbellcontrolsolutions.com](#). Options provided for use with integrated sensor, please view specification sheet for ordering information table for details.





VIPER S

SMALL PERIMETER LIGHTS

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

CONTROLS

SiteSync — Precommissioned Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [the SiteSync family page on our website](#) or contact Hubbell Lighting tech support at 864-678-1000



SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VP-L 80L-235 4K7 3 UNV A DB SWP
VP-L 80L-235 4K7 3 UNV A DB SWPM-40F

SiteSync only
SiteSync with Motion Control

SiteSync 7-Pin Module:

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



SW7PR

NX Distributed Intelligence™ Lighting Controls:

Supports both indoor and outdoor applications in a variety of deployment options: wired, wireless and hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync Color Tuning Technology.



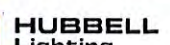
NX Integrated Controls Reference								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked – Wireless								
NXOFM-IRID-UNV	SCLNX	Yes	Yes	Yes	Yes	Yes	Yes	Yes, Bluetooth App

wISCAPE™:

Supports remote management, monitoring and metering of outdoor wireless lighting applications such as smart campuses, smart cities, parking lots, parking lots and roadways.



wISCAPE Reference								
wISCAPE Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
Networked – Wireless								
WIR-RME-L	WIR-RME-L	Yes	Yes	No	Yes	Yes	Yes	wISCAPE Gateway





VIPER S

514-LL PER LUM S-SPS

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

DELIVERED LUMENS

# of LEDs	DRIVE CURRENT (mA)	SYSTEM WATTS	DISTRIBUTION TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G
24	500mA	39W	FR	4689	120	1	0	0	4665	120	1	0	0	4432	114	1	0	0
			2	4523	116	1	0	1	4500	115	1	0	1	4275	110	1	0	1
			3	4436	114	1	0	1	4414	113	1	0	1	4194	108	1	0	1
			4F	4362	112	1	0	2	4340	111	1	0	2	4123	106	0	0	2
			4W	4280	110	1	0	2	4258	109	1	0	2	4045	104	1	0	2
			5QM	4442	114	2	0	1	4420	113	2	0	1	4199	108	2	0	0
			5R	4472	115	2	0	2	4450	114	2	0	2	4227	108	2	0	2
			5W	4335	112	3	0	1	4313	111	3	0	1	4114	105	3	0	1
			TC	4561	117	1	0	1	4538	116	1	0	1	4311	111	1	0	1
			CL	4758	122	1	0	2	4736	122	1	0	2	4329	111	1	0	1
			CR	4773	122	1	0	2	4773	122	1	0	2	4361	112	1	0	1
			FR	6357	118	1	0	1	6486	120	1	0	1	5804	107	1	0	1
24	700mA	55W	2	6132	114	1	0	1	6257	116	1	0	2	5599	104	1	0	1
			3	6015	111	1	0	2	6137	114	1	0	2	5492	102	1	0	2
			4F	5921	110	1	0	2	6034	112	1	0	2	5400	100	1	0	2
			4W	5793	108	1	0	2	5909	110	1	0	2	5272	98	1	0	2
			5QM	6022	112	2	0	1	6145	114	2	0	1	5499	102	2	0	1
			5R	6053	112	3	0	3	6187	115	3	0	3	5536	103	3	0	3
			5W	5908	109	3	0	1	6028	112	3	0	1	5908	102	3	0	1
			TC	6183	113	1	0	1	6309	118	1	0	1	5645	105	1	0	1
			CL	6707	122	1	0	2	6707	122	1	0	2	6117	111	1	0	2
			CR	6729	122	1	0	2	6729	122	1	0	2	6143	112	1	0	2
			FR	7864	121	1	0	1	8041	124	1	0	1	7129	111	1	0	1
			2	7526	117	1	0	2	7757	119	1	0	2	6934	107	1	0	2
36	560mA	65W	3	7441	114	1	0	2	7609	117	1	0	2	6802	105	1	0	2
			4F	7317	110	1	0	2	7482	112	1	0	2	6688	100	1	0	2
			4W	8690	108	1	0	2	8864	110	1	0	2	7908	98	1	0	2
			5QM	7450	115	3	0	1	7618	117	3	0	1	6810	105	3	0	1
			5R	7501	115	3	0	3	7670	118	3	0	3	6857	105	3	0	3
			5W	7309	112	3	0	2	7473	115	3	0	2	6681	103	3	0	1
			TC	7540	116	1	0	1	7694	118	1	0	1	7094	112	1	0	2
			CL	8179	126	2	0	2	8179	126	2	0	2	7467	115	1	0	2
			CR	8205	126	2	0	2	8205	126	2	0	2	7492	115	1	0	2
			FR	9535	118	1	0	1	9730	120	1	0	1	8706	107	1	0	1
			2	9197	114	1	0	2	9385	116	1	0	2	8398	104	1	0	2
			3	9022	111	1	0	2	9205	114	1	0	2	8238	102	1	0	2
36	700mA	80W	4F	8871	110	1	0	2	9052	112	1	0	2	8100	100	1	0	2
			4W	11587	108	1	0	3	11819	110	1	0	3	10544	98	1	0	3
			5QM	9033	112	3	0	1	9217	114	3	0	1	8248	102	3	0	1
			5R	9095	112	3	0	3	9280	115	3	0	3	8304	103	3	0	3
			5W	8861	109	3	0	2	9043	112	3	0	2	8092	100	3	0	2
			TC	9275	115	1	0	1	9464	118	1	0	1	8458	105	1	0	1
			CL	10060	126	2	0	2	10060	126	2	0	2	9184	115	2	0	2
			CR	10093	126	2	0	2	10093	126	2	0	2	9215	115	2	0	2
			FR	12713	118	1	0	1	12973	120	2	0	1	11608	107	1	0	1
			2	12263	114	2	0	2	12513	116	2	0	2	11197	104	2	0	2
			3	12029	111	2	0	2	12275	114	2	0	2	10984	102	1	0	2
			4F	11828	110	1	0	3	12069	112	1	0	3	10860	100	1	0	2
48	700mA	110W	4W	11609	108	1	0	3	11841	110	1	0	3	10564	98	1	0	3
			5QM	12044	112	3	0	2	12296	114	3	0	2	10997	102	3	0	1
			5R	12126	112	3	0	3	12374	115	3	0	3	11072	103	3	0	3
			5W	12126	109	4	0	2	12057	112	4	0	2	10789	100	4	0	2
			TC	12366	115	1	0	2	12619	118	1	0	1	11290	105	1	0	2
			CL	13414	122	2	0	3	13414	122	2	0	3	12246	111	2	0	2
			CR	13458	122	2	0	3	13458	122	2	0	3	12287	112	2	0	2
			FR	15891	117	2	0	2	16216	120	2	0	2	14511	107	2	0	1
			2	15329	113	2	0	2	15642	116	2	0	2	13997	103	2	0	2
			3	15037	111	2	0	3	15344	113	2	0	3	13730	101	2	0	3
			4F	14784	109	1	0	3	15086	111	1	0	3	13500	100	1	0	3
			4W	14802	109	2	0	3	15104	112	2	0	3	13515	100	2	0	3
60	700mA	135W	5QM	15055	111	3	0	2	15362	114	3	0	2	13747	102	3	0	2
			5R	15158	112	4	0	4	15469	114	4	0	4	13841	102	4	0	4
			5W	14781	109	4	0	2	15083	111	4	0	2	13495	100	4	0	2
			TC	15458	115	1	0	2	15834	118	1	0	2	14113	105	1	0	2
			CL	16768	123	3	0	3	16768	123	3	0	3	15309	113	2	0	3
			CR	16823	124	3	0	3	16823	124	3	0	3	15359	113	2	0	3

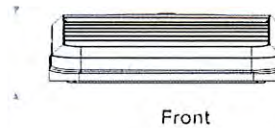
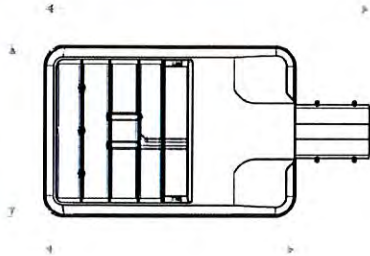


VIPER S

SMALL REPERLUM LARS

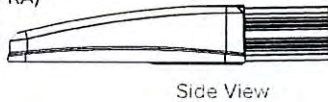
DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

DIMENSIONS

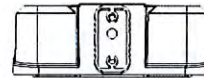


Weight	15.0 lbs (6.8 kg)
EPA	67 ft ²

A Arm (formerly RA)

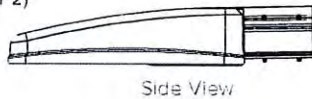


Side View

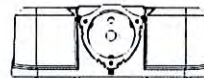


Back View

MAF (formerly SF2)



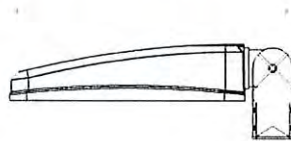
Side View



Back View

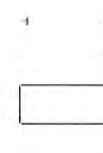
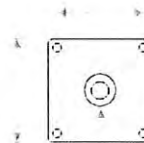
Accepts 2 3/8" OD tenon, min 5" long.

2 3/8" Adjustable Knuckle (K) (formerly PK2)

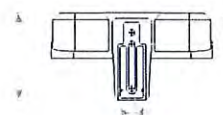
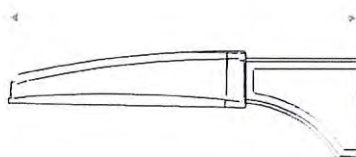


Limit to 30° tilt. Sensor, photocell and wireless controls should not be tilted above horizontal.

Wall Bracket (WB)



AD Decorative Arm



See page 3 for mounting details.

VIPER S

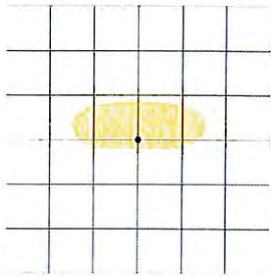
SMALL PERIMETERS

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

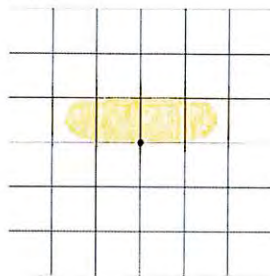
PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

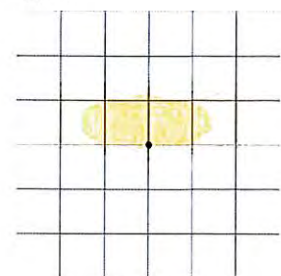
Type FR – Front Row/Auto Optic



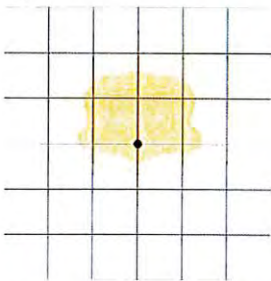
Type 2



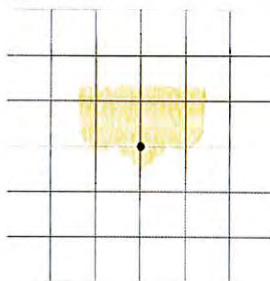
Type 3



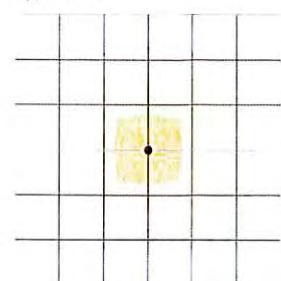
Type 4



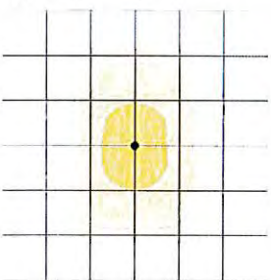
Type 4 Wide



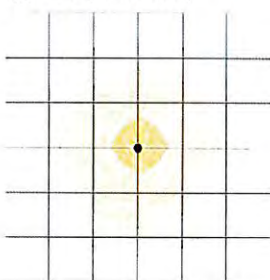
Type 5QM



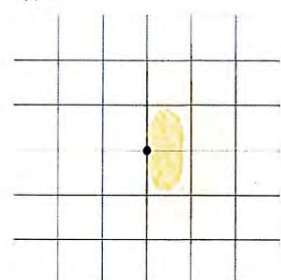
Type 5R (rectangular)



Type 5W (round wide)



Type TC





VIPER S

SMALL REFLECTOR LIGHT

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
24	1	500 mA	120	39	0.33
			277		0.14
			347		0.11
			480		0.08
24	1	700 mA	120	55	0.5
			277		0.2
			347		0.2
			480		0.1
36	1	525 mA	120	65	0.65
			277		0.28
			347		0.22
			480		0.16
		700 mA	120	80	0.7
			277		0.3
			347		0.2
			480		0.2
48	1	700 mA	120	110	0.9
			277		0.4
			347		0.3
			480		0.2
60	1	700 mA	120	136	1.1
			277		0.5
			347		0.4
			480		0.3

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	50,000	TM-21-11 60,000 ¹	100,000	Calculated L70 (HOURS)
25°C / 77°C	1	0.97	0.95	0.95	0.92	>377,000

¹ Projected per IESNA TM-21-11.

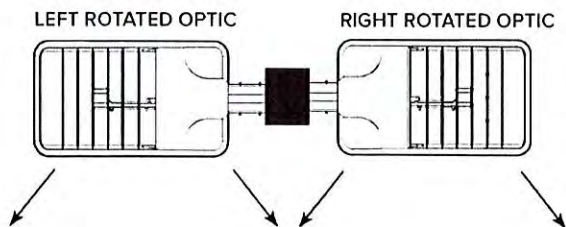
Data references the extrapolated performance projections for the 60 LED base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

LIFESHIELD™ CIRCUIT

Protects luminaire from excessive temperature. The device activates at a specific, factory-preset temperature and progressively reduces power over a finite temperature range. Operation is smooth and undetectable to the eye. Thermal circuit is designed to "fall on", allowing the luminaire to revert to full power in the event of an interruption of its power supply or faulty wiring connection to the drivers. The device can co-exist with other 0–10V control devices (occupancy sensors, external dimmers, etc.)

ADDITIONAL INFORMATION

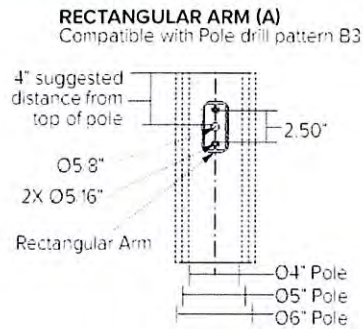
ROTATION OPTIONS



VIPER S

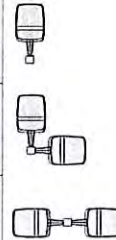
ADDITIONAL INFORMATION (CONTINUED)

DRILL PATTERN

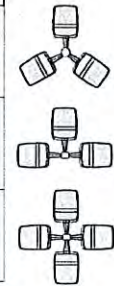


EPA

Config.	EPA
1	.67
2 @ 90°	1.06
2 @ 180°	1.34



Config.	EPA
3 @ 120°	1.68
3 @ 90°	1.73
4 @ 90°	2.12



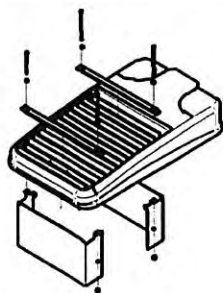
TENON TOP POLE BRACKET ACCESSORIES (ORDER SEPARATELY)

(2 3/8" OD tenon)

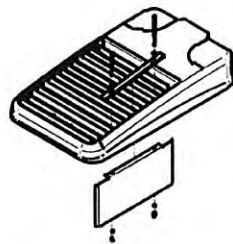
TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

- ☐ **SETAVP-XX** Square tenon adapter (4 at 90°) for A Rectangular Arm mounting option only
- ☐ **RETAVP-XX** Round tenon adapter (4 at 90°) for A Rectangular Arm mounting option only
- ☐ **SETA2XX** Square tenon adapter (4 at 90°) for AD Universal Arm mounting option only
- ☐ **RETA2XX** Round tenon adapter (4 at 90°) for AD3 Universal Arm mounting option only

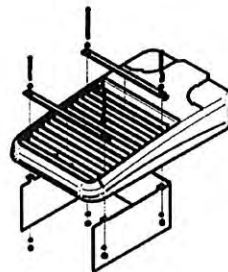
HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



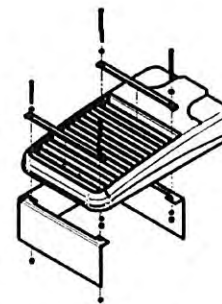
HSS/VP-S/90-FB/XXX
90° shield front or back
(2 shields shown)



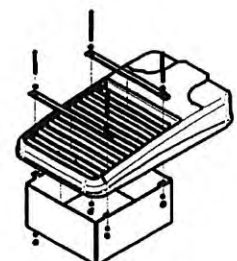
HSS/VP-S/90-LR/XXX
90° shield left or right
(1 shield shown in left orientation)



HSS/VP-S/270-FB/XXX
270° shield front or back
(1 shield shown in back orientation)



HSS/VP-S/270-LR/XXX
270° shield left or right
(1 shield shown in right orientation)



HSS/VP-S/360/XXX
Full shield
(1 shield shown)



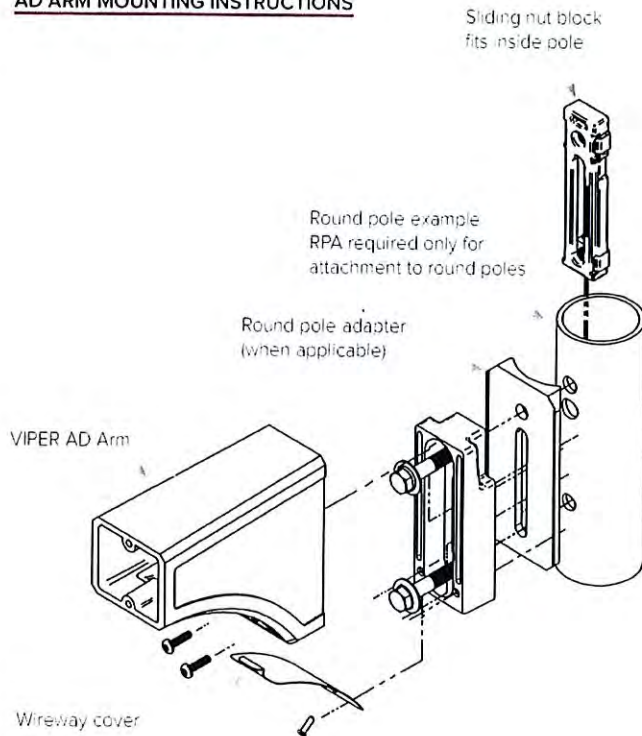
VIPER S

SMALL VIPER LUMINAIRE

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

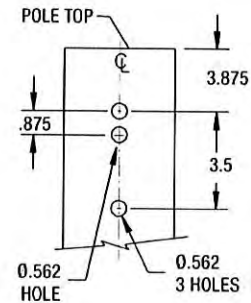
ADDITIONAL INFORMATION (CONTINUED)

AD ARM MOUNTING INSTRUCTIONS



DECORATIVE ARM (AD)

Compatible with pole drill pattern S2



GEOPAK Series 1

FEATURES

- GeoPak Series consists of three compact Geometric wall-pack shapes in four popular finishes
- "Normally On" emergency luminaire for architectural applications
- 12 high-power LEDs create 3115 lumens in AC and 658 lumens in emergency mode
- Environmentally friendly, long-life Lithium Iron Phosphate battery
- Standard Temperature Range: 0°C to 40°C. Optional Heater: -30°C to 40°C
- Zero uplight distributions
- Wet Location Listed to UL924



RELATED PRODUCTS

8 [RDI2 GeoPak](#) 8 [TRP2 GeoPak](#) 8 [QSP2 GeoPak](#)



SPECIFICATIONS

CONSTRUCTION

- Housing is made from die-cast aluminum with a hinged back-plate for ease of installation and maintenance
- The LED bezel and trim-plate are made of stainless steel
- Five powder coat standard finishes, plus custom color options
- Wet Location Listed to UL924 and UL1598 Standard

OPTICS

- 12 high power LEDs delivering up to 3,000 lumens
- Up to 118 lumens per watt
- Type II, III and IV distributions for a wide variety of applications
- Zero uplight (UO), dark sky, neighbor friendly

INSTALLATION

- Universal plate for mounting to standard 3 1/2" and 4" square electrical boxes. All connections are made from connections at the rear of the unit
- Optional back-box accessory available for surface conduit application. See BB-Geo accessories

ELECTRICAL

- 120-277 operation, 50/60Hz
- 0-10V dimming driver standard
- 10kA surge protector
- Photocell and occupancy sensor options available for complete on/off and dimming control
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Includes a long-life Lithium Iron Phosphate battery with optional battery heater for cold temperature application
- Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction
- Spectron® self-testing/self-diagnostic electronics are included standard
- Independent dedicated driver and LED array for battery/emergency mode operation

CERTIFICATIONS

- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Drivers IP66 and RoHS compliant
- UL 1598 listed for use in wet locations

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1471-2942
Wattage Range	13.9-28.2
Efficacy Range (LPW)	95-118
Fixture Projected Life (Hours)	L70>345K
Weights lbs. (kg)	10.5-11.5 (4.8-5.2)

GEOPAK SERIES 1

3000K - 5000K

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ORDERING GUIDE

Example: TRP2-24L30-3K7-2-UNV-DBT

CATALOG # _____

ORDERING INFORMATION

Series	# LEDs	Wattage	CCT/CRI	Distribution	Voltage
TRP1 Trapezoid	12L 12 LEDs	15 15 watts	3K7 3000K, 70 CRI	2 TYPE II	UNV 120-277V
RD11 Radius		20 20 watts	4K7 4000K, 70 CRI	3 TYPE III	1 120V
OSP1 Qtr sphere		30 30 watts	5K7 5000K, 70 CRI	4 TYPE IV	2 208V
					3 240V
					4 277V

Color	Control Options Network	Options
BLT Black Matte Textured	PC Button Photocontrol	F ¹ Fusing (only available with STD fixture configuration, 120-277V only)
BLS Black Gloss Smooth	SCP ^{2,3} Programmable occupancy sensor, factory default is 10% light output	E ¹ Battery pack (0°C)
DBT Dark Bronze Matte Textured	Spec SCP/SCO & SWPM Mount Height	EH ¹ Battery pack (-30°C) with heater
DBS Dark Bronze Gloss Smooth	-8F Up to 8ft mount height	
GTT Graphite Matte Textured	-20F Up to 20ft mount height	
LGS Light Grey Gloss Smooth		
PSS Platinum Silver Smooth		
WHT White Matte Textured		
WHS White Gloss Smooth		
VGT Verde Green Textured		
Color Option		
CC Custom Color		

Notes

- 1 Voltage specified 120 or 277V only
- 2 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic day light on or off and different time delay settings, 120-277V only
- 3 PDU option not applicable, included in sensor
- 4 Must specify mount voltage, 120, 208, 240 or 277V

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> SCP-REMOTE ¹	Remote control for SCP option. Order at least one per
<input type="checkbox"/> BB-GEO-XX	Black box with 4 1/2" threaded conduit holes, specify finish by replacing "XX" with finish selection, eg. Dark Bronze "DB"

Notes

- 1 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic day light on or off and different time delay settings



BB-GEO-XX - Mounted to luminaire



BB-GEO-XX
Fixture gasket 4-1/2" conduit entries Wall gasket

GEOPAK SERIES 1

PERFORMANCE DATA

Description	Drive Current	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
12	350mA	13.9	2	1635	118	1	1	1	1577	113	1	1	1	1497	108	1	1	1
			3	1613	116	1	0	1	1556	112	1	0	1	1477	106	1	0	1
			4	1607	116	0	0	1	1550	111	0	0	1	1471	106	0	0	1
	500mA	19.9	2	2268	114	1	1	1	2176	109	1	1	1	2077	104	1	1	1
			3	2245	113	1	0	1	2140	108	1	0	1	2049	103	1	0	1
			4	2229	112	0	0	1	2150	108	0	0	1	2041	103	0	0	1
	700mA	28.2	2	2942	104	1	1	1	2885	102	1	1	2	2721	96	1	1	1
			3	2912	103	1	0	1	2836	101	1	0	1	2685	95	1	0	1
			4	2892	103	1	0	1	2789	99	1	0	1	2674	95	1	0	1

ELECTRICAL DATA

INPUT POWER CONSUMPTION

Drive Current (mA)	Input Voltage (V)	System Power (W)	Current (Amps)
350mA	120	13.9	0.12
	277		0.05
500mA	120	19.9	0.17
	277		0.07
700mA	120	28.2	0.24
	277		0.10

Battery backup units consume additional power during charging (maximum 32.2 watts for E, 50.7 watts for EH)

INPUT POWER CONSUMPTION

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.98	0.97	0.95	0.91	>345,000
40°C / 104°F	1.00	0.96	0.95	0.82	0.87	>268,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature	Lumen Multiplier
0° C	1.02
10° C	1.01
20° C	1.00
25° C	1.00
30° C	1.00
40° C	0.99
50° C	0.98

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

GEOPAK SERIES 1

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

Type II



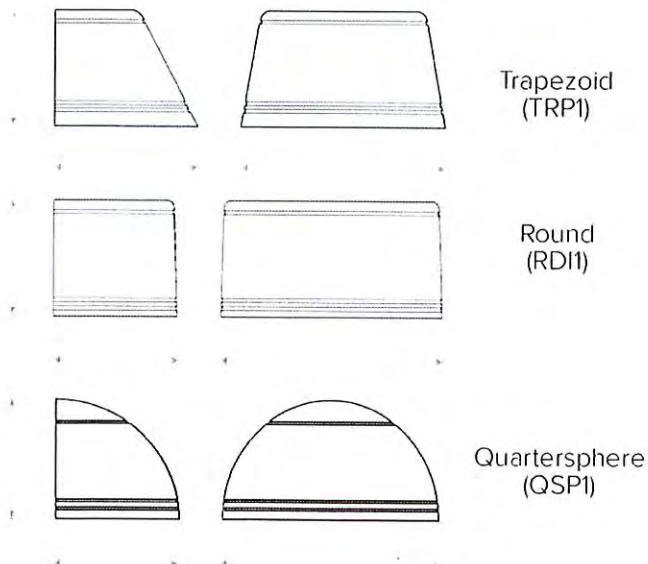
Type III



Type IV (Forward throw)



DIMENSIONS



GEOPAK SERIES 1

SIZE - TRP1-OSP1C

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ADDITIONAL INFORMATION

GEOPAK - BATTERY BACK UP

Functional Circuitry: Transient surge protection device on AC input. Upon failure of the normal utility power, an LED driver is automatically activated to power the emergency LEDs. Upon resumption of normal utility power, the LED driver is turned off, and the battery is recharged through a micro-controller based 3 stage charger. The battery is a maintenance-free Lithium Iron Phosphate (LiFePO₄) type. A low voltage battery disconnect (LVD) feature protects the battery from severe damage during prolonged power failures. Manual testing is available at any time using the push-to-test button. The optional heater features a heating wrap and thermostat to maintain optimal battery temperature during charge or discharge. The GeoPak includes the following features:

- Battery recharge within 24 hours
- AC Lock-out circuit
- Self diagnostics monitors LED status, LED driver circuit, battery capacity and charger function and displays any fault detection by means of a flashing code.

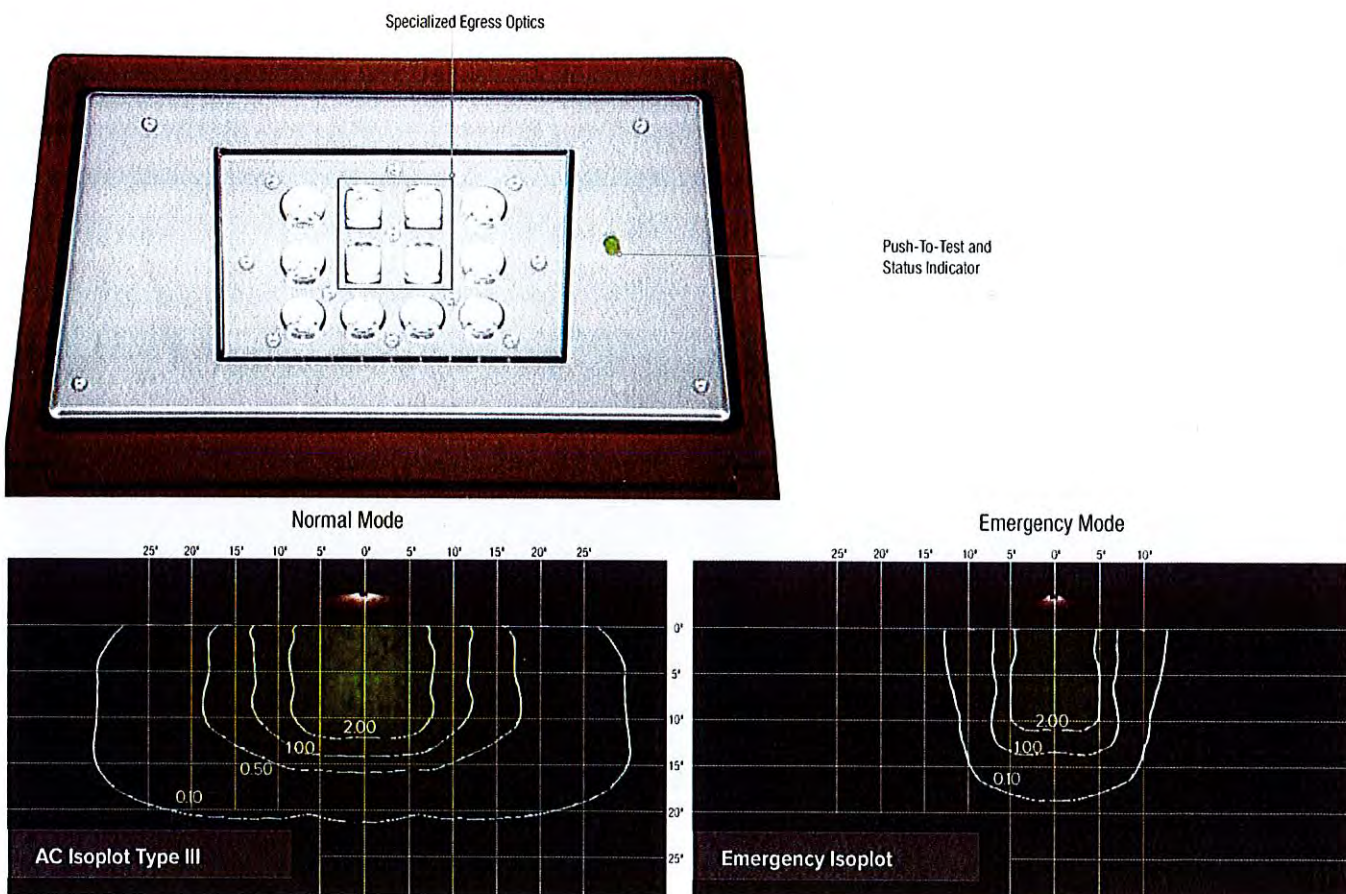
- Self-Test feature runs a 1 minute test once a month and an alternating 30 or 60 minute test once every 6 months. Multi-color LED indicator provides visible fault detection and charging status.
- User initiated 1, or 90-minute system test feature
- 15 minute re-transfer delay
- Automatic unit transfer in brown-out conditions (below 80% of nominal AC input voltage)
- Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 3 watts when charging if the battery temp is lower than 10°C

EMERGENCY PHOTOMETRIC PERFORMANCE (1 FC AVERAGE 1 FC MINIMUM)

28' multi-unit spacing at 10' MH with 0.30-10 reflectances on a 6' path

26' x 10' single unit coverage at 10' MH with 0.30-10 reflectances

6' x 19' forward throw coverage at 10' MH with 0.30-10 reflectances



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions.

Diagrams for illustration purposes only, please consult factory for application layout.

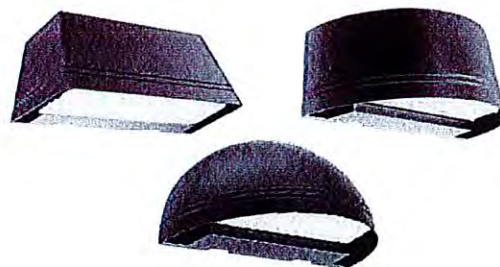
USE OF TRADEMARKS AND TRADE NAMES

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GEOPAK Series 2

FEATURES

- Mid sized architectural wallpacks in three stylish shapes
- Capable of replacing up to 400w HID luminaires
- Type I, II, III and IV distributions for a wide variety of applications
- Integral battery backup options
- Control capabilities offer additional energy savings options
- Zero uplight distributions
- Inverted mounting capable for under canopy and facade lighting



RELATED PRODUCTS

- Ø [RD11 GeoPak](#) Ø [TRP1 GeoPak](#) Ø [QSP1 GeoPak](#)



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color options

OPTICS

- 24 or 32 high power LEDs deliver up to 10,800 lumens
- Up to 146 lumens per watt
- Different lenses offer a variety of distribution patterns - Type I, II, III and IV (Forward throw)
- 3000K - 70 CRI, 4000K - 70 CRI and 5000K - 70 CRI, CCT nominal

INSTALLATION

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Black box accessory available for surface conduit application

ELECTRICAL

- Optional Dual Drivers & Dual Power Feeds for 50, 70 and 90 watt versions
- 120-277, 347 and 480 voltage, 50/60Hz
- Power factor > 90%
- THD (Total Harmonic Distortion) <20%

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- 20kA surge protection (series); Automatically takes fixture off-line when device is consumed
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Includes a long-life Lithium Iron Phosphate battery with optional battery heater for cold temperature application
- Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction
- Spectron[®] self-testing/self-diagnostic electronics are included standard
- Independent dedicated driver and LED array for battery/emergency mode operation

CONTROLS

- Drivers are 0-10V dimming standard
- Universal button photocontrol for dusk to dawn energy savings
- Photocell and occupancy sensor options available for complete on/off and dimming control

CONTROLS (CONTINUED)

- In addition, GeoPak Size 2 can be specified with SiteSync[™] wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelllighting.com/sitesync for more details

CERTIFICATIONS

- IP65 rated housing
- DesignLights Consortium[®] (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Zero uplight (UO), dark sky, neighbor friendly
- Drivers IP66 and RoHS compliant

WARRANTY

- 5 year limited warranty
- See [HLL Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,200-11,000
Wattage Range	28-87
Efficacy Range (LPW)	112-146
Fixture Projected Life (Hours)	L70-60K
Weights lbs. (kg)	16-18 (7.3-8.2)

GEOPAK Series 2

TRP2 • RD12 • OSP2

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ORDERING GUIDE

Example: TRP2-24L30-3K7-2-UNV-DBT

CATALOG # _____

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Secondary Mounting
TRP2 Trapezoid	24L-30 24 LEDs, 30 watts	3K7 3000K, 70 CRI	1 TYPE I	UNV 120-277V	BLANK Downlight Only
RD12 Radius	24L-50 24 LEDs, 50 watts	3K8 3000K, 80 CRI	2 TYPE II	120 120V	
OSP2 Qtr sphere	24L-70 24 LEDs, 70 watts	4K7 4000K, 70 CRI	3 TYPE III	208 208V	
	24L-90 24 LEDs, 90 watts	4K8 4000K, 80 CRI	4 TYPE IV	240 240V	
	32L-70 32 LEDs, 70 watts	5K7 5000K, 70 CRI		277 277V	
	32L-90 32 LEDs, 90 watts			UHV* 347-480V	
				347* 347V	
				480* 480V	

Color	Control Options Network	Options
BLT Black Matte Textured	PC Button Photocontrol	SF ² Single fuse & fuse holder
BLS Black Gloss Smooth	SCP ^{1,4} Programmable occupancy sensor, factory default is 10% light output	DF ² Double fuse & fuse holder
DBT Dark Bronze Matte Textured	SCO ³ Sensor Control, On/Off	E ^{2,5} Battery pack (0°C)
DBS Dark Bronze Gloss Smooth	Spec SCP/SCO & SWPM Mount Height	EH ^{2,5} Battery pack (30°C) with heater
GTT Graphite Matte Textured	-8F Up to 8ft mount height	2DR ⁵ Dual Drivers
LGS Light Gray Gloss Smooth	-20F Up to 20ft mount height	2PF ^{5,6} Dual power feeds
PSS Platinum Silver Smooth		CS Comfort shield
WHT White Matte Textured		
WHS White Gloss Smooth		
VGTT Verde Green Textured		
Color Option		
CC Custom Color		

Notes

- 1 70 & 90 watt versions only
- 2 Must specify voltage (120, 277 or 347V only for SWP & SWP, 120 or 277V only for E & EH)
- 3 PCU option not applicable, included in sensor
- 4 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings
- 5 Not available with 30w versions
- 6 Battery option not compatible with 2 power feeds

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> SCP-REMOTE*	Remote control for SCP option. Order at least one per
<input type="checkbox"/> BB-GEO-XX	Black box with 4-1/2" threaded conduit holes, specify finish by replacing "XX" with finish selection, eg. Dark Bronze "DB"
<input type="checkbox"/> SWUSB**	SiteSync loaded on USB flash drive (Windows based only)
<input type="checkbox"/> SWTAB**	SiteSync Windows Tablet
<input type="checkbox"/> SWBRG+	SiteSync Wireless Bridge Node

Notes

- * Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings
- ** When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, Bull and Bridge Node
- + If needed, an additional Bridge Node (S) can be ordered

GEOPAK Series 2

TRP2-RD12-OSP2 LED-SPEC

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

INPUT POWER CONSUMPTION

# of LEDs	Drive Current (mA)	Input Voltage (V)	Current (Amps)	System Power (w)
24	350mA	120	0.23	28
		277	0.10	28
	625mA	120	0.41	49
		277	0.18	49
	900mA	120	0.59	71
		277	0.25	71
		347	0.20	71
		480	0.15	71
	70	120	0.72	87
		277	0.31	87
		347	0.25	87
		480	0.18	87
32	110	120	0.56	67
		277	0.24	67
		347	0.19	67
		480	0.14	67
	140	120	0.69	83
		277	0.30	83
		347	0.24	83
		480	0.17	83

GEOPAK Series 2

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
24	350mA	28	1	4,075	146	1	0	0	4,065	146	1	0	0	3,660	131	0	0	0
			2	3,747	134	1	0	1	3,738	134	1	0	1	3,366	121	1	0	1
			3	3,756	135	1	0	1	3,747	134	1	0	1	3,374	121	1	0	1
			4	3,656	131	0	0	1	3,647	131	0	0	1	3,284	118	0	0	1
	625mA	49	1	6,329	130	1	0	0	6,313	130	1	0	0	5,685	117	1	0	0
			2	5,820	120	1	0	1	5,806	119	1	0	1	5,228	108	1	0	1
			3	5,833	120	1	0	2	5,819	120	1	0	2	5,240	108	1	0	2
			4	5,678	117	1	0	2	5,664	117	1	0	2	5,100	105	1	0	2
	900mA	71	1	8,613	122	1	0	1	8,592	122	1	0	1	7,737	110	1	0	1
			2	7,921	112	1	0	2	7,902	112	1	0	2	7,115	101	1	0	2
			3	7,939	112	1	0	2	7,920	112	1	0	2	7,131	101	1	0	2
			4	7,728	109	1	0	2	7,709	109	1	0	2	6,942	98	1	0	2
	1100mA	87	1	10,791	124	1	0	1	10,765	124	1	0	1	9,694	112	1	0	1
			2	9,924	114	2	0	2	9,900	114	1	0	2	8,915	103	1	0	2
			3	9,946	115	1	0	2	9,922	114	1	0	2	8,935	103	1	0	2
			4	9,682	112	1	0	2	9,659	111	1	0	2	8,696	100	1	0	2
32	650mA	67	1	8,621	129	1	0	1	8,600	128	1	0	1	7,744	116	1	0	1
			2	7,928	118	1	0	2	7,909	118	1	0	2	7,122	106	1	0	2
			3	7,946	119	1	0	2	7,927	118	1	0	2	7,137	107	1	0	2
			4	7,735	115	1	0	2	7,716	115	1	0	2	6,948	104	1	0	2
	850mA	83	1	10,806	130	1	0	1	10,780	130	1	0	1	9,705	117	1	0	1
			2	9,938	120	2	0	2	9,914	119	1	0	2	8,927	108	1	0	2
			3	9,960	120	1	0	2	9,936	120	1	0	2	8,947	108	1	0	2
			4	9,695	117	1	0	2	9,672	117	1	0	2	8,709	105	1	0	2

PHOTOMETRY

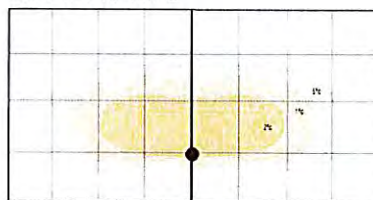
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

TRP2-24L-50-4K7-1



Mounting Height: 15'

TRP2-24L-50-4K7-2



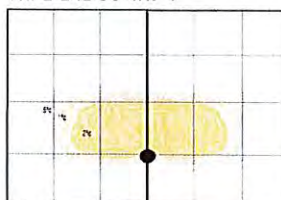
Mounting Height: 15'

TRP2-24L-50-4K7-3



Mounting Height: 15'

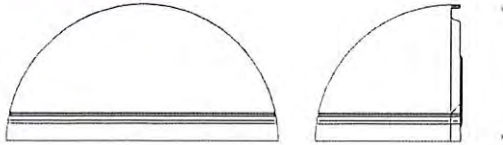
TRP2-24L-50-4K7-4



Mounting Height: 15'

GEOPAK Series 2

DIMENSIONS



QSP2
Weight:
15 lbs (6.8 kg)



RDI2
Weight:
16 lbs (7.3 kg)



TRP2
Weight:
16 lbs (7.3 kg)

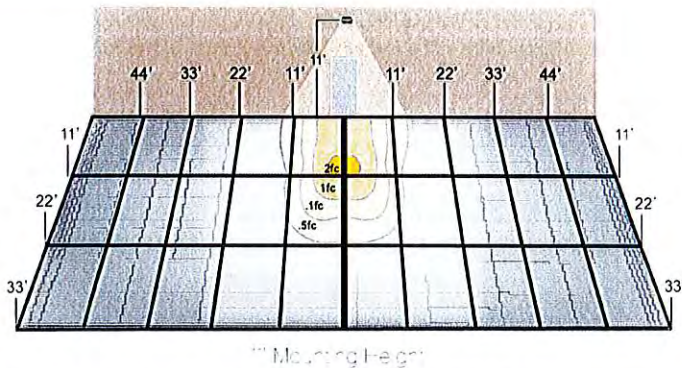
ADDITIONAL INFORMATION (CONT'D)

E & EH EMERGENCY BATTERY BACKUP



24 or 32 high power LEDs generate up to 11,000 lumens in normal mode and use 4 LEDs for up to 700 lumens in emergency mode.

PHOTOMETRICS - BATTERY BACK UP



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only. please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH units with a heater consume up to an additional 8 watts when charging if the battery temp is lower than 10°C.

GEOPAK Series 2

SIZE 1 - TRP2/OSP2 LED

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

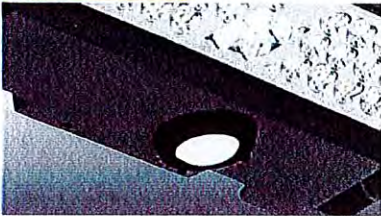
ADDITIONAL INFORMATION (CONT'D)

COMFORT SHIELD



Comfort shield option utilizes a frosted acrylic lens that softens output and improves uniformity. Available from the factory or as an accessory for field installation.

CONTROL OPTIONS



Programmable occupancy sensor offers greater control and energy savings with adjustable delay and dimming levels (Factory default is 10%)

USE OF TRADEMARKS AND TRADE NAMES

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VILLAGE
OF HINSDALE

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant
Name: <u>Lakeside Bank</u>
Address: <u>1350 S Michigan Avenue</u>
City/Zip: <u>Chicago, 60605</u>
Phone/Fax: (<u>312</u>) <u>852</u> / <u>9990</u>
E-Mail: <u>dpinkerton@lakesidebank.com</u>

Owner
Name: <u>Amita Health</u>
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: <u>Peter Coules, Jr. / Patrick C. McGinnis</u>
Title: <u>Attorney</u>
Address: <u>15 Salt Creek Lane, Suite 312</u>
City/Zip: <u>Hinsdale, 60521</u>
Phone/Fax: (<u>630</u>) <u>920</u> / <u>0406</u>
E-Mail: <u>peter@donatellcoules.com</u>

Name: <u>Pappageorge Haymes</u>
Title: <u>Architect</u>
Address: <u>640 N. LaSalle Drive, #400</u>
City/Zip: <u>Chicago, 60654</u>
Phone/Fax: (<u>312</u>) <u>337</u> / <u>3344</u>
E-Mail: <u>srezabek@pappageorgehaymes.com</u>

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) N/A
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 222 East Ogden Avenue, Hinsdale

Property identification number (P.I.N. or tax number): 09 - 01 - 209 - 003

Brief description of proposed project: Lakeside Bank with two lane drive-thru lanes. New construction building.

General description or characteristics of the site: Empty medical offices

Existing zoning and land use: B-3

Surrounding zoning and existing land uses:

North: B-3

South: B-3 and B-1

East: B-3

West: B-3

Proposed zoning and land use: _____

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☒ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business
District Questionnaire

5. TABLE OF COMPLIANCE

Address of subject property: 222 East Ogden, Hinsdale

The following table is based on the B-3 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	6,250	58,894	58,894
Lot Depth	125'	241.1'	241.1'
Lot Width	50'	233.3'	233.3'
Building Height	30'	20'	30'
Number of Stories	2	1.5	2
Front Yard Setback	100' from center line of Ogden	109' from center line of Ogden	approx 110' from center line
Corner Side Yard Setback	25'	N/A	N/A
Interior Side Yard Setback	10'	18'	24.667'
Rear Yard Setback	20'	97'	107'
Maximum Floor Area Ratio (F.A.R.)*	29,447	25,480	16,425
Maximum Total Building Coverage*	N/A	N/A	N/A
Maximum Total Lot Coverage*	53,005 (90%)	48,290 (82%)	47,314 (80%)
Parking Requirements	62	64	66**
Parking front yard setback	10'	65' from center line of Ogden***	65' from center line***
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading Requirements	6 cars stacking	6 cars stacking	6 cars stacking
Accessory Structure Information	N/A	N/A	N/A

* Must provide actual square footage number and percentage.

** See attached

*** over 20' from sidewalk

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 15th day of July, 2020, I/We have read the above certification, understand it, and agree to abide by its conditions.

Patrick C. McGinnis
Signature of applicant or authorized agent

Patrick C. McGinnis
Name of applicant or authorized agent

Signature of applicant or authorized agent

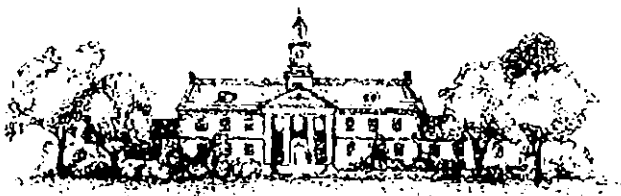
Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 15th day of
July, 2020.

Lana Putnam
Notary Public

4





**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT DEPARTMENT
SPECIAL USE PERMIT CRITERIA**

Must be accompanied by completed Plan Commission Application

Address of proposed request: 222 East Ogden Avenue, Hinsdale, IL 60521

Proposed Special Use request: Two lane Drive-thru for Bank

Is this a Special Use for a Planned Development? ☒ No ☐ Yes (If so this submittal also requires a completed Planned Development Application)

REVIEW CRITERIA

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

1. *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.

See attached.

2. *No Undue Adverse Impact.* The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

See attached.

3. *No Interference with Surrounding Development.* The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations

See attached.

4. *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

See attached.

5. *No Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

See attached.

6. *No Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

See attached.

7. *Compliance with Standards.* The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

See attached.

8. *Special standards for specified special uses.* When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

See attached.

9. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:

Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

See attached.

Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Not applicable.

Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

The design of the new building will complement the surrounding properties and does not create any adverse use of existing landscaping or sceneries.

1. The use (Bank and Bank offices) and two lane drive-thru is an allowable use in the B-3 Zoning District, as a Special Use. The B-3 District is a general business district that is intended to serve the Hinsdale suburban community with a full range of locally oriented business uses commonly located along established traffic routes. Lakeside Bank, and their offices, being on Ogden Avenue, meets this criteria.
2. A Bank and its office located on Ogden Avenue is a relatively low intensity of use for the property, and therefore does not have an adverse impact on the adjacent properties nor on the public health, safety, or general welfare of the area. There are no zoning variances requested with the plan which is a demolition of a building that has been vacant for well over one (1) year. The new building fits in nicely with the surrounding B-3 and B-1 uses.
3. South is Shell gas station; East is Hinsdale Medical Building that houses Shred 45, BU Wellness & Med Spa, Therapeutic Health, & Molecular. Next to that is Koshgarian Rug Cleaners Avanti Hair Salon, State Farm, & Sterling & Knight Jewelry & Pawn. Across Ogden are office buildings, medical buildings, and parking. 222 Ogden Avenue uses two (2) curb cuts, not changing and all self-encompassing property with no going onto neighboring properties.
4. No changes to any public facilities are necessary. The use of the property as a Bank and offices has had and will continue to have no negative impact on any public services. The use is not more intensive than medical offices.
5. This has not been an issue nor will the request create an issue as use not more intensive and a traffic study by KLOA has been provided. At this time, branch hours to be 8:00 a.m. to 5:00 p.m. Drive Thru will have the same hours. The operations staff hours will be 7:00 a.m. to 6:00 p.m. with most staff working 8:00 a.m. to 5:00 p.m.
6. The existing structure will be removed and has no significant features and a new building erected. There is no additional lot coverage of impervious sources.
7. Applicant is seeking a variation to grant a Special Use for two drive-thrus. There are no residential properties that abut this property and all stacking will face Ogden (on East side of building).
8. All of the conditions of the approved special use are being met. There are no long hours and less hours than the Shell gas station and to the South. No noise nor other concerns with a Bank and its offices. In fact, this property has been vacant and well over one (1) year and exempt from property taxes as it is owned by a Not For Profit.

For the Code and Plan purposes the proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the office comprehensive plan.

The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

There will be no interference with surrounding development. The proposed use and development will be constructed arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

There will be no traffic congestion as the proposed use and development will not cause undue traffic congestions nor draw significant amounts of traffic through residential streets.

The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

The proposed use and development will be a public benefit at the particular location requested which is necessary and desirable to provide a service or a facility that is in the interest of the public convenience of that will contribute to the general welfare of the neighborhood or community.

For the alternative locations, Ogden Avenue to such extent can meet public goals by the location of the proposed use and development.

For the proposed use and development all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through the building design, site design, landscaping, and screening.

9. Bank and drive-thru will serve needs of residents of Hinsdale and no negative impact on any neighbors. Best along Ogden Avenue in the B-3 with all abutting properties being B-3 and B-1.

MEMORANDUM TO: David Pinkerton
Lakeside Bank

FROM: Michael A. Werthmann, PE, PTOE
Principal

DATE: July 14, 2020

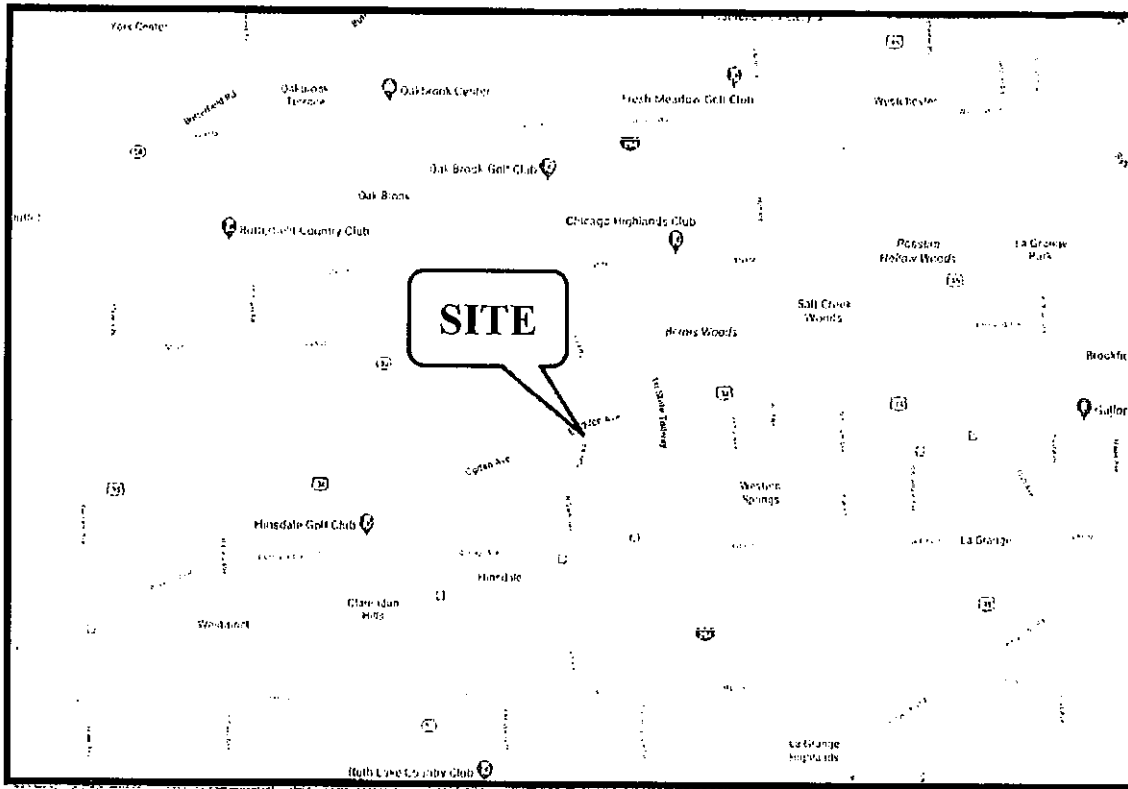
SUBJECT: Traffic Evaluation
Proposed Office Building and Branch Bank
Hinsdale, Illinois

This memorandum summarizes the results and findings of a traffic evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed office building and a branch bank to be located in Hinsdale, Illinois. The site of the development, which contains a vacant approximate 25,400 square-foot medical office building, is located on the south side of Ogden Avenue just east of York Road. As proposed, the site will be redeveloped to contain an approximate 16,500 square-foot office building that will include an approximate 2,800 square-foot branch bank. The branch bank is proposed to have two drive-through lanes on the east side of the office building. Access to the development is proposed to be provided via the two existing access drives on Ogden Avenue. A copy of the proposed site plan is provided in the Appendix. **Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The purpose of this evaluation was to summarize the characteristics of the roadway system, estimate the peak hour trips to be generated by the development, review the access system, and examine the adequacy of the stacking for the drive-through lanes.

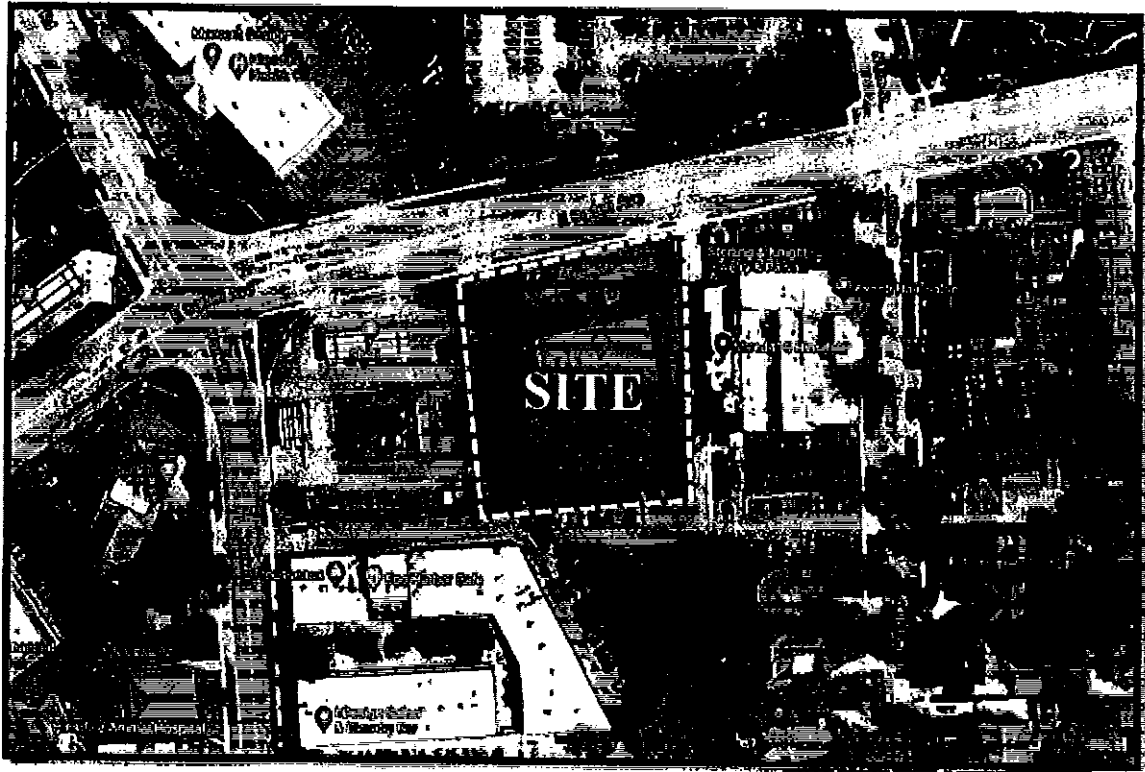
Roadway System and Access Characteristics

Ogden Avenue (U.S. Route 34) is a northeast-to-southwest, major arterial roadway that has a full access interchange with I-294. In the vicinity of the site, Ogden Avenue has two lanes in each direction divided by a striped median. Separate left-turn lanes are provided at most intersections, including the signalized intersections of York Road and Salt Creek Lane/Oak Street and the unsignalized intersection of County Line Road. Ogden Avenue is under the jurisdiction of the Illinois Department of Transportation (IDOT), has a posted speed limit of 35 miles per hour, and carries an Average Annual Daily Traffic (AADT) volume of 34,600 vehicles (IDOT 2017) within the immediate vicinity of the site.



Site Location

Figure 1



Aerial View of Site

Figure 2

Access to the site is currently provided via two, one-way access drives located on Ogden Avenue. The western access drive is located at the west end of the site and provides inbound only access via one inbound lane. Inbound left-turn movements to the site are accommodated via the Ogden Avenue westbound left-turn lane serving York Road. The eastern access drive is located at the east end of the site and provides outbound only access via one outbound lane. A sign is currently located at the outbound access drive prohibiting outbound left-turn movements from 7:00 to 9:00 A.M. and from 4:00 to 6:00 P.M.

Crash Analysis

KLOA, Inc. obtained crash data¹ from IDOT for the most recent past five years available (2014 to 2018) for the intersections of Ogden Avenue with the two access drives. According to IDOT, no crashes occurred at the two access drives between 2014 and 2018.

Development Traffic Generation and Comparison

As proposed, the site will be redeveloped to contain an approximately 16,500 square-foot office building that will include an approximate 2,800 square-foot branch bank. The number of peak hour trips estimated to be generated by the proposed development was based on the “General Office Building” (Land-Use Code 710) and “Bank with Drive-Through Lane” (Land-Use Code 912) vehicle trip generation rates contained in *Trip Generation Manual*, 10th Edition, published by the Institute of Transportation Engineers (ITE). In addition, it is important to note that surveys conducted by ITE have shown that approximately 40 percent of trips made to banks are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Such diverted trips are referred to as pass-by traffic.

For comparison purposes, the volume of traffic that the current approximate 25,400 square-foot vacant medical office building could generate was also determined. It is our understanding that the basement of the medical office building was built out as medical offices and classrooms for a day care center. While a day care center typically has higher trip generation rates than medical office, the traffic estimated to be generated by the current building was estimated assuming the entire building was occupied with medical office uses. The “Medical/Dental Office Building” (Land-Use Code 720) ITE trip rates were used to estimate the traffic generated by the medical office building.

Table 1 summarizes the trips projected to be generated by the proposed office development and branch bank and the traffic generated by the existing medical office building.

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

Table 1
ESTIMATED TRAFFIC VOLUMES

Land Uses	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	In	Out	Total	In	Out	Total
Proposed Development						
Office Building – 13,700 s.f.	14	2	16	3	13	16
Branch Bank – 2 Drive-Through Lanes	11	7	18	26	28	54
Total	25	9	34	29	41	70
Existing Development						
Medical Office Building – 25,400 s.f.	51	15	66	25	63	88

From Table 1 it can be seen that the proposed office building with branch bank will generate approximately one-half the trips during the morning peak hour and slightly fewer trips during the evening peak hour compared to the trips that the existing 25,400 square-foot medical office building could generate. Further, it is important to note that approximately 40 percent of the trips generated by the bank during the evening peak hour will be pass-by trips and not new trips to the roadway system. As such, the proposed office building and branch bank will generate a similar volume of new trips, if not less than, the existing medical office building.

Proposed Access System

Access to the office building and branch bank is proposed to be provided via the existing two, one-way access drives located on Ogden Avenue as summarized below:

- The western access drive is located at the west end of the site and will continue to provide inbound only access to the site via one inbound lane. Inbound left-turn movements to the development will continue to be provided via the Ogden Avenue westbound left-turn lane serving York Road.
- The eastern access drive is located at the east end of the site and will continue to provide outbound only access. This access drive is approximately 30 feet wide and should be striped to provide a separate right-turn lane and a separate left-turn lane. Both lanes should be under stop sign control. In addition, a "Do Not Enter" sign should be installed at this access drive facing Ogden Avenue. Further, the sign prohibiting outbound left-turn movements from 7:00 to 9:00 A.M. and from 4:00 to 6:00 P.M. is proposed to be removed as part of the redevelopment. With the elimination of the left-turn restriction, the access should be monitored in the future to ensure that it is providing efficient and orderly access from the site. If necessary, the outbound left-turn movements can be prohibited during the peak periods.

Proposed Drive-Through Stacking

As proposed, stacking for six vehicles will be provided within each drive-through lane without blocking the circulation system. The Village of Hinsdale zoning ordinance requires a total of six stacking spaces per lane. In addition, observations and surveys performed at numerous banks in the Chicagoland area show that the maximum stacking within a drive-through lane is three to four vehicles. Further, previous information provided at other banks indicates that approximate 50 percent of the patrons use the drive-through facilities while approximately 50 percent of the patrons park and enter the bank. With a projected evening peak hour volume of approximately 26 inbound vehicles, it can be seen that approximately 13 patrons will use the two drive-through lanes which averages to six to seven patrons per lane in one hour. As such, the stacking provided for the proposed drive-through lanes will be sufficient to accommodate the drive-through peak demand and meets the requirements of the Village.



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 222 East Ogden Avenue

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
See Attached.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
See Attached.
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.
See Attached.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
See Attached.
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
See Attached.
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
See Attached.
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
See Attached.
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
See Attached.
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See Attached.
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See Attached.
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
See Attached.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

See Attached.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

See Attached.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

See Attached.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

See Attached.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

See Attached.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

See Attached.

2. The proposed site plan interferes with easements and rights-of-way.

See Attached.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

See Attached.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

See Attached.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

See Attached.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

See Attached.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

See Attached.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

See Attached.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

See Attached.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

See Attached.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

See Attached.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

See Attached.

1. The proposed building leaves the same amount of space between surrounding buildings and does not lessen the current setback between spaces, streets & facades.
2. The proposed building uses quality materials that match surrounding buildings and makes the surrounding area look nicer and upgraded quality. A Masonry building that matches the Hinsdale office park.
3. The design and quality of the proposed building matches with the character of the surrounding buildings and neighborhood.
4. The proposed site plan and building allows for better quality than the current site plan.
5. The height of the proposed building and structure is visually compatible with surrounding buildings and meets Zoning Code requirements.
6. The proposed width to the height of front elevation is visually compatible with surrounding buildings and does not take away from any less open spaces on the current site plan.
7. The proposed width to the height of the windows is visually compatible with surrounding buildings.
8. The relationship of solids to voids in the front facade of the proposed building is visually compatible with surrounding buildings and neighborhood.
9. The proposed building uses the same amount of open spaces in between current buildings and does not take away any open space to surrounding buildings or neighborhood.
10. The proposed site uses the same entrances and other projections to sidewalks as the current site uses. The proposed site meets Zoning Code requirements.
11. The materials and texture will use brick which surrounding buildings also use and is visually compatible. The building to the East is pure masonry and to the West is the shell gas station.
12. The roof shape of the building is compatible with the surrounding buildings and meets Zoning Code requirements.
13. Building facades are met with the required Zoning Codes and in fact, are visually related and compatible with surrounding buildings.

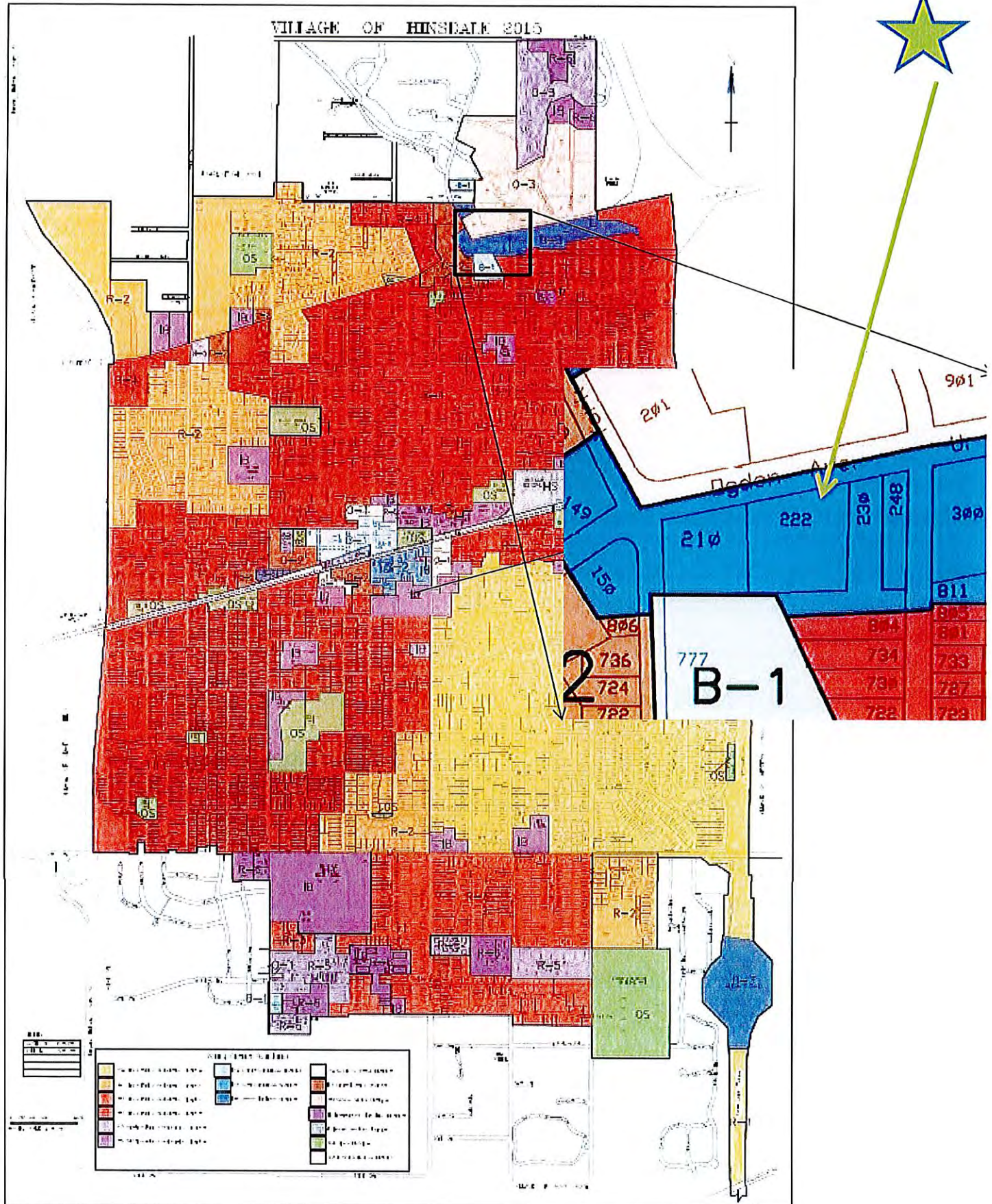
14. The size and mass of buildings and structures are visually compatible with surrounding buildings and meet Zoning Code requirements. There are no porches or balconies on the proposed structure.
15. The character of the front elevation of the proposed building meets Zoning Code requirements, as well as fits with the surrounding buildings. The width and orientation of the building is the same as what exists today.
16. N/A

REVIEW CRITERIA – Site Plan Review

1. The proposed site plan meets all required standards by the Zoning Codes.
2. The proposed site plan does not interfere or change any easements and rights-of-way.
3. The proposed site plan will help all the above as the current building on the site is deuterating.
4. The proposed site plan will not affect any surrounding property with any less community enjoyment. In fact the setbacks are the same or greater than what exists today.
5. There was a traffic study preformed for the current proposed site plan and it does not create any traffic congestion or hazards. The traffic will flow the same, if not smoother.
6. The proposed site plan provides the same amount, if not more, of shielding from or for the nearby uses and buildings.
7. The proposed structure and landscaping will in fact brighten the neighboring properties and match with neighboring structures and landscaping. The proposed structure will not lack amenity to any neighboring structures or current uses. The existing structure is in need of repair, the parking lot is in bad shape, lower lines need to be repaired and the garbage container is not enclosed.
8. The application and site plans submitted does not affect any of the space that is currently being used. The plans allow for continued space and maintenance.

9. The proposed site plan has proper drainage and will not create any erosion. The site will be properly paved and equipped with proper materials and drainage that will serve the community.
10. The proposed site plan does not place any unwarranted or unreasonable burdens on specified utility systems on the site and it satisfactorily integrates the site's utilities into the overall existing and planned utility system serving the Village and the community.
11. The proposed site plan does provide for allowed public uses.
12. The proposed site plan does not adversely affect the public health, safety, or general welfare. In fact, the proposed site plan is tearing down a deuterated building to build something that benefits the general public. In fact, the property ownership today does not pay any real estate taxes and Lakeside Bank would put the property back on the tax roles and the Village of Hinsdale and schools will benefit from same.

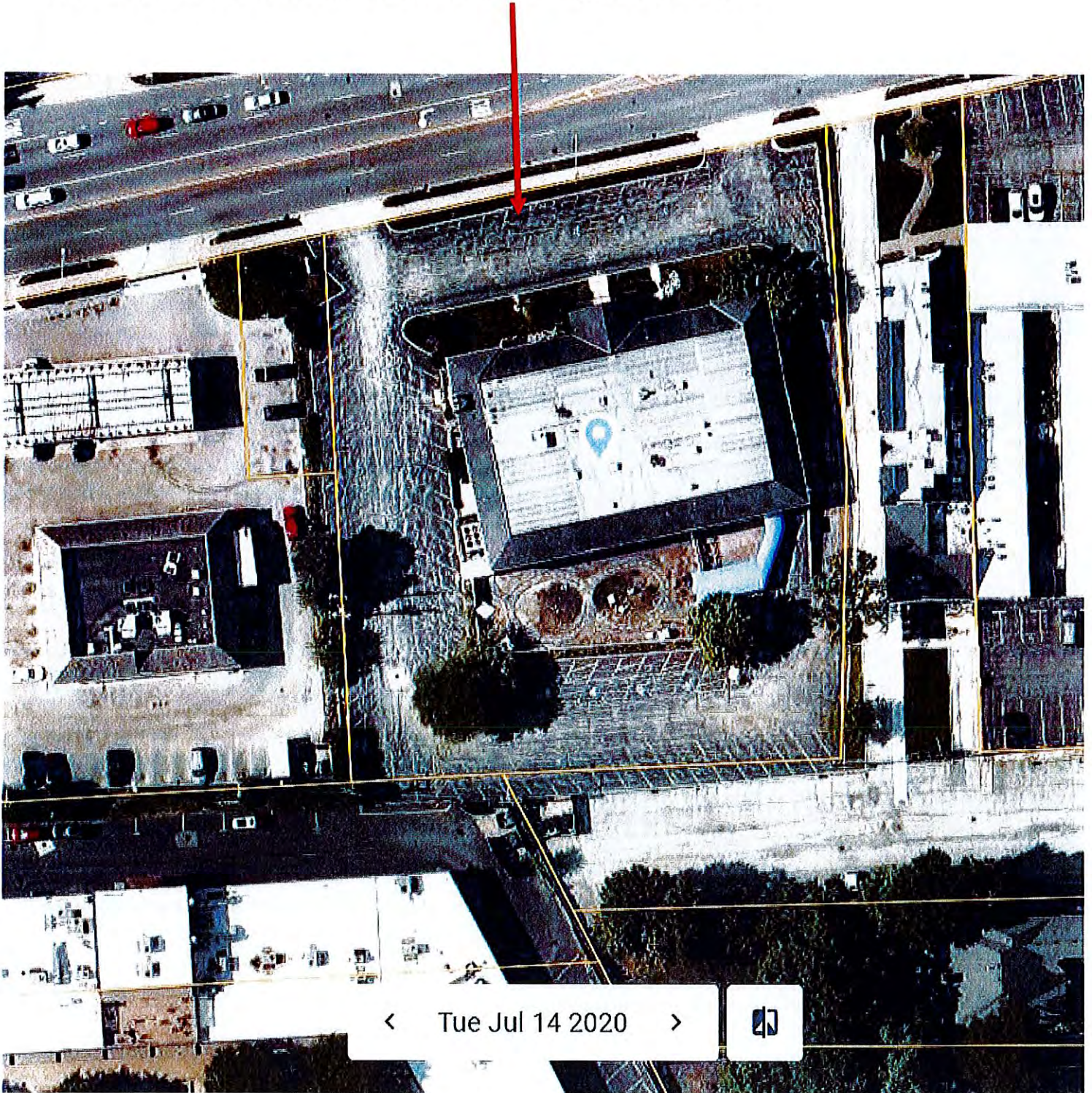
Attachment 2: Village of Hinsdale Zoning Map and Project Location



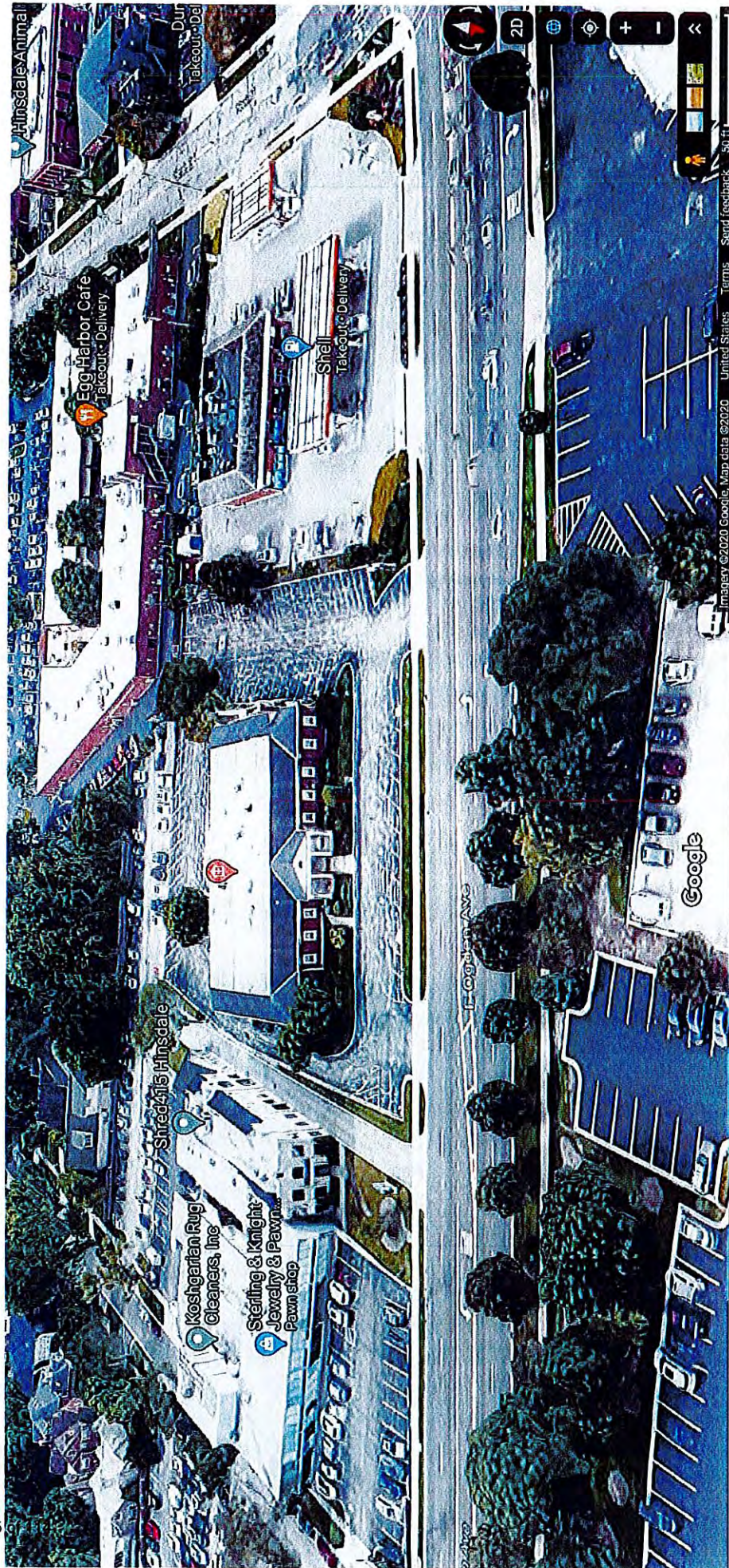
Attachment 3: Street View of 222 E. Ogden Avenue (facing south)



Attachment 4: Aerial View of 222 E. Ogden Avenue



Attachment 5: Bird's-Eye View of 222 E. Ogden Avenue (facing south)



STATE OF ILLINOIS)
) ss:
 COUNTY OF DU PAGE)

BEFORE THE HINSDALE PLAN COMMISSION

In the Matter of:)
)
)
 LAKESIDE BANK,)
 222 East Ogden Avenue)
 Case No. A-22-2020.)

REPORT OF PROCEEDINGS had and testimony
 taken via Zoom at the hearing of the above-
 entitled matter before the Hinsdale Plan
 Commission, on October 14, 2020, at the hour of
 7:30 p.m.

BOARD MEMBERS PRESENT:

MR. STEPHEN CASHMAN, Chairman;
 MS. MICHELLE FISHER, Member;
 MR. TROY UNELL, Member;
 MS. ANNA FIASCONE, Member;
 MR. GERALD JABLONSKI, Member;
 MR. JIM KRILLENBERGER, Member;
 MS. JULIE CRNOVICH, Member; and
 MR. MARK WILLOBEE, Member.

<p>2</p> <p>1 ALSO PRESENT:</p> <p>2 MR. CHAN YU, Village Planner;</p> <p>3 MR. PETER COULES, Attorney for</p> <p>4 Petitioner;</p> <p>5 MR. DON MOUCH, Petitioner's Architect;</p> <p>6 MR. STEVE REZABEK, Petitioner's</p> <p>7 Architect;</p> <p>8 MR. DAVID PINKERTON, Petitioner's</p> <p>9 Representative.</p> <hr/> <p>10 CHAIRMAN CASHMAN: Our next order of</p> <p>11 business is a Public Hearing. And this is for</p> <p>12 Case No. A-22-2020, 222 East Ogden Avenue for</p> <p>13 Lakeside Bank, a Special Use Permit and exterior</p> <p>14 appearance and site plan review for a new</p> <p>15 2-story tall Lakeside Bank with 2 drive-thru</p> <p>16 lanes in the B-3 general business district.</p> <p>17 This was continued from our September 9, 2020,</p> <p>18 meeting.</p> <p>19 And I believe we need to swear in</p> <p>20 anyone who's going to testify related to this.</p> <p>21</p> <p>22</p>	<p>4</p> <p>1 MS. CRNOVICH: Aye.</p> <p>2 MR. YU: Commissioner Willobee?</p> <p>3 MR. WILLOBEE: Aye.</p> <p>4 MR. YU: Commissioner Unell?</p> <p>5 MR. UNELL: Aye.</p> <p>6 MR. YU: Commissioner Fiascone?</p> <p>7 MS. FIASCONE: Aye.</p> <p>8 MR. YU: Thank you.</p> <p>9 CHAIRMAN CASHMAN: Welcome, everyone.</p> <p>10 Do you want to start, Peter, or is</p> <p>11 there someone else who wants to lead this off?</p> <p>12 MR. COULES: I'll go first, Steve,</p> <p>13 thank you.</p> <p>14 Good evening, everybody. It's been</p> <p>15 a little bit difficult to do everything here on</p> <p>16 the Zoom calls but I'll try to be as brief as</p> <p>17 possible because everything is in your packet.</p> <p>18 There's two different matters that</p> <p>19 are up on the same property at 222 East Ogden</p> <p>20 that presently is owned by Amita Health. It is</p> <p>21 a property that has been empty for a little over</p> <p>22 a year, maybe a year and a half. The parking</p>
<p>3</p> <p>1 (WHEREUPON, Mr. Coules, Mr. Mouch</p> <p>2 Mr. Pinkerton, Mr. Rezabek were</p> <p>3 duly sworn in to testify.)</p> <p>4 CHAIRMAN CASHMAN: Welcome, everyone.</p> <p>5 Who would like to give us, go through your</p> <p>6 presentation.</p> <p>7 MR. YU: Can we have a motion to open</p> <p>8 the Public Hearing, please.</p> <p>9 CHAIRMAN CASHMAN: Thank you.</p> <p>10 Motion to open the public hearing.</p> <p>11 MR. WILLOBEE: Willobee, so moved.</p> <p>12 MS. CRNOVICH: Crnovich, second.</p> <p>13 CHAIRMAN CASHMAN: Roll call, Chan?</p> <p>14 MR. YU: Commissioner Krillenberger?</p> <p>15 MR. KRILLENBERGER: Aye.</p> <p>16 MR. YU: Commissioner Fisher?</p> <p>17 MS. FISHER: Aye.</p> <p>18 MR. YU: Commissioner Jablonski?</p> <p>19 MR. JABLONSKI: Aye.</p> <p>20 MR. YU: Chairman Cashman?</p> <p>21 CHAIRMAN CASHMAN: Aye.</p> <p>22 MR. YU: Commissioner Crnovich?</p> <p>Page 77 of 114</p>	<p>5</p> <p>1 lot is getting kind of in a disarray. The</p> <p>2 building itself is not really in all that great</p> <p>3 of shape, if people had a chance to walk around</p> <p>4 it. In fact, they still even have their garbage</p> <p>5 refuse not even screened in.</p> <p>6 The new proposed building is in the</p> <p>7 B-3. The special use is an allowed use in the</p> <p>8 B-3. The reason we have to come for the special</p> <p>9 use just for the mere fact that the request is</p> <p>10 for the 2 drive-thru with the 6 stacking lanes</p> <p>11 which meet the criteria I'll go through required</p> <p>12 under the zoning code but we still have to come</p> <p>13 for a case by case basis for everybody who wants</p> <p>14 to ask for a special use in the B-3 to have a</p> <p>15 drive-thru.</p> <p>16 Presently as we all know that next</p> <p>17 to it to the west is the Shell Gas Station.</p> <p>18 Directly behind it, and it's 170 feet from that</p> <p>19 property line, is a parking lot, so they are</p> <p>20 well over 250 feet from any fence to go to</p> <p>21 anybody's home.</p> <p>22 To the east going all the way</p>

1 basically to Whole Foods is all B-3, all 2-story
2 structures. And across the street to the north
3 where I'm at in the Hinsdale Office Park it's
4 all the colonial buildings that are two stories
5 and above Elm Street and Salt Creek Lane.

6 So basically these are code
7 compliant requests. There are no variances on
8 setbacks from the front street. The idea is to
9 keep the actual in and out lanes that are there
10 existing presently today. We were asked by
11 staff about no left turn signs stating right now
12 7 to 9:00 a.m. and 4 to 6:00 p.m. that was
13 agreed upon. The monument sign that's going to
14 stay in the same place.

15 As I said, the setback from the
16 road is the same. It is less FAR. It used to
17 be 25,480. Well, it is. It's not used to be,
18 the building is still up. The proposed use is
19 about 16,425. It's for a small bank branch with
20 bank offices also in the building, half on the
21 first floor, on the second floor. They are
22 building out a lot of offices which in today's

1 society I know I'm lucky I have everybody in
2 private offices so people can come to work every
3 day. I don't know where we are going to be in a
4 year or two from now but they are mostly private
5 offices being built into the new facility.

6 On the phone, and I'll go a little
7 further into this, is the two architects Don
8 Mouch and Steven Rezabek from Pappageorge Haymes
9 Partners and David Pinkerton, who is the
10 president and vice chairman of Lakeside Bank is
11 even also on the call.

12 The parking requirements are 61,
13 you see on the drawing. I list it at 62, the
14 people question the table of compliance because
15 there has to be a loading zone also so there's
16 no other way to show it so there's 62 spaces
17 needed, 69 provided, 6 car stacking.

18 The photometrics have all been
19 provided to everybody to show that no light goes
20 off of the property line even though there's no
21 homes that would ever impact anyways but all
22 photometrics meet code and stay within the

1 property line itself.

2 I know we have a Chase bank down
3 the line that has a drive-thru now, it actually
4 has 3 lanes, 2-drive thru and a third one there
5 is a cash station line or ATM, I'm talking old
6 school, I guess, and Normandy Builders had a
7 drive-thru at one time because that was actually
8 a bank when I first moved my office into town
9 and that's been closed up and they use it as
10 parking there now.

11 Right next door is the 415 Shred
12 building as I call it, which is 2-story, all
13 stone. Next to that is Koshgarian, the pawn
14 shop, the hair salon.

15 We did a traffic study that showed
16 the only impact that will ever be compared to
17 what that use is presently is approximately 4
18 cars an hour on peak, non-peak it's way down
19 below, less than 50 percent of what the medical
20 use is now. So we are way below on parking. We
21 actually have less trips of people going in and
22 out of the property at the present time.

1 Lakeside Bank serves a lot of the
2 people in the community presently and that's the
3 reason why they want to come into town and
4 looking around town, meeting with staff, decided
5 being on the corner seemed like the best.

6 This property has not been on the
7 tax rolls because it's been owned by a non-for-
8 profit and will be put back on the tax rolls as
9 a for-profit property so there will be increased
10 monies going to the schools and to the village
11 and to the county and to the state on this
12 property. So that's the idea what's the use
13 behind it and the way it was designed, as I
14 stated, to match the red brick and the style of
15 the colonial-type buildings I call them, sorry,
16 Steve, I'm not an architect, and across the way,
17 so they were trying to match it up to something.
18 I didn't think it would make much sense to try
19 to match it to the Shell station. Didn't make
20 much sense to match it to what's right next door
21 to it now, it's too old, it's too old of a type
22 of a building.

<p style="text-align: center;">10</p> <p>1 So as stated, less FAR. The</p> <p>2 building use it keeps the same light and</p> <p>3 character. The footprint is no bigger than what</p> <p>4 exists there presently. They are not taking up</p> <p>5 any vegetation, there's no treeline or anything</p> <p>6 coming out. There actually will be more</p> <p>7 vegetation when this is done than exists on the</p> <p>8 property now.</p> <p>9 And screening. I know the roof</p> <p>10 there actually will be screening. If you notice</p> <p>11 the way they built like a parapet wall, is what</p> <p>12 I call it in laymen's terms, kind of like a</p> <p>13 hollow roof around and they are going to have the</p> <p>14 mechanicals totally screened from the street,</p> <p>15 not a see-through screen which some buildings</p> <p>16 along Ogden Avenue have so they will be totally</p> <p>17 screened so nobody will see any of the</p> <p>18 mechanicals as they travel up and down Ogden</p> <p>19 Avenue.</p> <p>20 The hours of business for the</p> <p>21 branch are 8 to 5. The drive-thru are the same.</p> <p>22 Of course, there's no Sunday hours. And the</p>	<p style="text-align: center;">12</p> <p>1 when the building comes down.</p> <p>2 I think I covered the use of what</p> <p>3 the property is going to be used for and like I</p> <p>4 said, banking offices, the lobby is very small,</p> <p>5 inside teller, the 2 drive-thrus. As we all</p> <p>6 know, most people utilize the drive-thru</p> <p>7 tellers. In fact, a lot of banks right now you</p> <p>8 can't even go inside unless you have an</p> <p>9 appointment. Drive-thrus are being used more</p> <p>10 now than ever.</p> <p>11 I think that's my summation of the</p> <p>12 property and the requested use.</p> <p>13 CHAIRMAN CASHMAN: Thank you.</p> <p>14 MR. COULES: Don and Steve may want to</p> <p>15 talk about the building use itself.</p> <p>16 CHAIRMAN CASHMAN: Be happy to hear</p> <p>17 from the architects.</p> <p>18 MR. REZABEK: Don, do you want to do</p> <p>19 the honors here?</p> <p>20 MR. MOUCH: Sure. Yes. So we</p> <p>21 developed a sort of a style with Lakeside. We</p> <p>22 have done a few Lakeside branches, worked with</p>
<p style="text-align: center;">11</p> <p>1 offices are 7 to 6 but the majority of the</p> <p>2 people work 8 to 5. This is not a nighttime</p> <p>3 business. This is not a Saturday evening</p> <p>4 business. This is not a Sunday business to</p> <p>5 impact any of the neighbors around them.</p> <p>6 And the windows and the type of</p> <p>7 materials and everything if there's any</p> <p>8 questions about what's being used on the sills</p> <p>9 and all the like, that's why we have the</p> <p>10 architects on the line to ask any of your</p> <p>11 questions and answer them all.</p> <p>12 And there's an easement that exists</p> <p>13 on the property now that we met with staff, it</p> <p>14 goes away when the building comes down. When</p> <p>15 they built the building next door for 415 before</p> <p>16 they had that parking behind them, they had a</p> <p>17 right to use two parking spots on this property,</p> <p>18 that hasn't been used and that's going to be</p> <p>19 abrogated. So if anyone saw in any of the</p> <p>20 village files that there was an existing</p> <p>21 easement on the property, that was with the</p> <p>22 building at that point in time and it goes away</p>	<p style="text-align: center;">13</p> <p>1 them on a number of past projects so there's a</p> <p>2 particular style that they tend to like to work</p> <p>3 with. As you can see through the elevations, we</p> <p>4 tried to carry that over into the neighborhood.</p> <p>5 So as was mentioned by Pete, the</p> <p>6 way that we are handling the roof was a slate</p> <p>7 shingled mansard roof that's at a height that's</p> <p>8 going to be able to conceal the mechanical units</p> <p>9 on the rooftop to keep those from view. It's a</p> <p>10 2-story bank with a drive-thru on the first</p> <p>11 floor. So the second floor is going to extend</p> <p>12 above the drive-thru on the east side. The bank</p> <p>13 itself, the branch will be on one side of the</p> <p>14 first floor and then they are intending to use</p> <p>15 the west side of the first floor and the second</p> <p>16 floor for offices and their technical</p> <p>17 capabilities within their branch organization.</p> <p>18 So we are having a very focal</p> <p>19 center entrance to the building. We had</p> <p>20 originally been looking at a couple different</p> <p>21 design schemes but in order to maintain what the</p> <p>22 height requirements that are faced with the site,</p>

1 we have the first floor entry as a one-and-a-
 2 half story space so it's a taller ceiling that
 3 within that lobby then you can branch off into
 4 the branch itself or into the offices. There's
 5 a stone band along the base with a sill and then
 6 it's going to be masonry brick. It's a similar
 7 brick that's been used on a lot of the prior
 8 Lakeside bank's projects. There's a limestone
 9 trim that's along the band of the second floor
 10 windows to try to get that horizontal separation
 11 between the first and the second floor.
 12 Obviously trying to maximize natural light into
 13 a lot of these offices. The second floor is
 14 broken up into individual offices and meeting
 15 rooms so trying to get as much of natural light
 16 as possible.

17 The site itself it's a little bit
 18 tricky just given the topography, so that's
 19 something that we are currently in the process
 20 of working out with the surveyors to get some
 21 hard and fast elevations of what these
 22 conditions are. But the building as it sits

1 now, the majority of the square footage is
 2 actually in quote "the basement." There's a
 3 rear access to the existing building where what
 4 was a day-care center. So the idea with this
 5 bank is that it's going to be pretty much on
 6 grade. There's not going to be a lower level or
 7 basement. Going to be handling the site a
 8 little bit differently so that it's a 2-story
 9 space that's visible and that aligns with as
 10 Pete was saying in the neighboring buildings in
 11 terms of the height restrictions.

12 The backside we have the south
 13 elevation if you are looking there. The far
 14 south portion of that elevation is just a
 15 1-story space and we are having a roof deck
 16 that's accessed from the second floor for just
 17 outdoor space for the employees like a little
 18 lunch or break area. That's kind of the summary
 19 there.

20 MR. COULES: The only other thing I'd
 21 like to add -- and thank you, Don, Steve and
 22 commissioners.

1 Presently you are required to have
 2 10 feet side yards. That exist presently with
 3 the Amita property is 18. These are going to be
 4 almost 25 feet. So not only is it bigger
 5 backyard, it's bigger side yards also.

6 CHAIRMAN CASHMAN: All right.
 7 Commissioners, questions for the applicant?
 8 Is there anything else you would
 9 like to present or are you prepared to have us
 10 ask you some questions now?

11 MR. COULES: Glad to answer questions
 12 as they come up.

13 CHAIRMAN CASHMAN: Okay. Jerry?

14 MR. JABLONSKI: I'm very pleased with
 15 the appearance of the building. I like the
 16 cantilever on the second floor above the drive-
 17 thru. I think that's much more attractive than
 18 what we normally see in town.

19 And as usual with me, I usually
 20 flip right to the traffic study because I'm
 21 worried about traffic on just about everything
 22 coming onto Ogden and if what I read in the

1 traffic study is true, believe it or not, I
 2 really have no serious objections to what's
 3 going on here and I compliment it for being a
 4 great improvement to Ogden if you finally get it
 5 done.

6 CHAIRMAN CASHMAN: Anna?

7 MS. FIASCONE: I agree. I think it's a
 8 great use with a beautiful building. I think
 9 it's a big improvement to what's there right now
 10 and it's a great building for I always say the
 11 people enter our town what they see first and I
 12 think it's a great building. I have no other
 13 questions.

14 CHAIRMAN CASHMAN: Okay. Mark?

15 MR. WILLOBEE: I think it looks great.
 16 I did have a question on the traffic study.
 17 Same with you Jerry, that area kind of gets
 18 crazy with people making left turns off of York
 19 and trying to come out of Shell.

20 Just to be clear, I know there's no
 21 traffic people on the call here, so it wasn't
 22 built out as a day-care, but I know it was being

<p style="text-align: center;">18</p> <p>1 used as medical offices at least in the last</p> <p>2 recent years.</p> <p>3 So they modeled it or estimated the</p> <p>4 traffic pattern of the existing building based</p> <p>5 on medical use; is that correct?</p> <p>6 MR. COULES: Correct. They did</p> <p>7 acknowledge that there is a day-care there but</p> <p>8 actually day-care has more trips in the peak</p> <p>9 hours. They actually penalized Lakeside Bank by</p> <p>10 not utilizing those numbers for the peak hours.</p> <p>11 MR. WILLOBEE: Right. That's what I</p> <p>12 wanted to make sure.</p> <p>13 MR. COULES: They penalized them and</p> <p>14 went back to what if it was medical how it's</p> <p>15 spread out more during the whole day in the</p> <p>16 study and that's why every time except for the</p> <p>17 two hours morning two hours later in the day,</p> <p>18 there's a lot more traffic with the medical</p> <p>19 office plus later at night plus Saturdays and</p> <p>20 Sundays.</p> <p>21 MR. WILLOBEE: Thank you. That's all,</p> <p>22 Steve.</p>	<p style="text-align: center;">20</p> <p>1 the building isn't quite as deep as the original</p> <p>2 building, we do have that landscaped area right</p> <p>3 behind the building to the south which will give</p> <p>4 us an opportunity to get some additional trees</p> <p>5 and ornamental shrubs in there. So we tried to</p> <p>6 take advantage of putting landscaping in</p> <p>7 wherever we could but obviously with the parking</p> <p>8 requirement we are somewhat limited in those</p> <p>9 opportunities.</p> <p>10 MR. COULES: And Commissioner Fisher,</p> <p>11 presently to Steve's point, there's no</p> <p>12 landscaping on the south side of the building.</p> <p>13 Zero. Not even a bush. It goes concrete right</p> <p>14 up to the building.</p> <p>15 CHAIRMAN CASHMAN: It's a little</p> <p>16 racetrack for the daycare. Thanks, Michelle.</p> <p>17 Julie?</p> <p>18 MS. CRNOVICH: I really like the design</p> <p>19 of the building, especially the clock tower. I</p> <p>20 think it fits in well with the office park of</p> <p>21 Hinsdale and even with the rest of Hinsdale even</p> <p>22 though the downtown historic district is a ways</p>
<p style="text-align: center;">19</p> <p>1 CHAIRMAN CASHMAN: Thanks.</p> <p>2 Michelle?</p> <p>3 MS. FISHER: Hi. I agree with everyone</p> <p>4 else. This will be a great addition to this</p> <p>5 area. I think the building looks great, the</p> <p>6 color, the windows.</p> <p>7 My only question relates to</p> <p>8 landscaping. Can you just give us any</p> <p>9 information or a little bit more information of</p> <p>10 what your intentions are with respect to</p> <p>11 landscaping the building in that area?</p> <p>12 MR. REZABEK: I can try to address</p> <p>13 that. As Pete mentioned, there's very little</p> <p>14 landscaping on the site right now. The parking</p> <p>15 configuration that we are showing on our site</p> <p>16 plan to a large degree matches up with what's</p> <p>17 existing there now but because our parking</p> <p>18 requirement has been reduced a bit from a larger</p> <p>19 building that is currently there, we did find</p> <p>20 opportunity to create some landscaped islands</p> <p>21 and kind of break up the parking along the south</p> <p>22 property line and also because the footprint of</p>	<p style="text-align: center;">21</p> <p>1 away, I think it's very fitting for Hinsdale.</p> <p>2 I did have a question, okay? The</p> <p>3 landscaping I understand you are limited with</p> <p>4 what you could do and I'm wondering if perhaps</p> <p>5 you could do large planters outside the entrance</p> <p>6 doors just to add some more green.</p> <p>7 MR. REZABEK: We could, yes. I mean,</p> <p>8 what's shown here is really our architect</p> <p>9 attempt at showing where there are landscape</p> <p>10 opportunities. And we will be engaging a</p> <p>11 landscape architect and if you have been by any</p> <p>12 of the other Lakeside branches like the one we</p> <p>13 recently built at York and Palmer in the south</p> <p>14 end of the downtown in Elmhurst, you will see</p> <p>15 that they do make a great effort in maximizing</p> <p>16 our landscaping. There's planters at the front</p> <p>17 doors on that building as well and we certainly</p> <p>18 will be looking for those opportunities on this</p> <p>19 building. We are really trying to create a</p> <p>20 pleasant environment for our customers and</p> <p>21 that's part of it.</p> <p>22 MS. CRNOVICH: Thank you. And it's</p>

1 really a huge improvement for that, what's there
2 right now. I think with the landscaping too
3 that would tie in with the office park nearby,
4 their heavy landscaping.

5 I have one question about the
6 height of the building. Now, are you -- where
7 is that at right now?

8 MR. REZABEK: I don't quite understand
9 that.

10 CHAIRMAN CASHMAN: My understanding is
11 I was trying to follow the correspondence that
12 Chan was sending us is that, I believe, Peter,
13 that you wanted to ask for a continuance on the
14 exterior appearance review because those were
15 going to be revised so we can see them in
16 compliance; right?

17 MR. COULES: Yeah, but there's a
18 question of -- that's why we are going to have a
19 surveyor. If they are approved as they are now
20 and they truly are in compliance, the question
21 of are they 1'8" off on the one part of the wall
22 or not. The architects involved in this matter,

1 Steve, do not believe that. They believe they
2 are compliant. That's why they are going to
3 hire a surveyor to shoot the grade because the
4 question becomes on a commercial building, as we
5 all know as we read the codes, it's an average
6 of where? It's the corners of the property that
7 are being developed. Now is that the corner of
8 the building; is it the corner of the property?
9 The intent totally was to get this building to
10 be totally compliant.

11 The problem we had is actually when
12 everyone talks about the clock tower, it's
13 actually a little more ornate and a little
14 larger. That was shrunk down also to bring the
15 roofline down, to bring the parapet down.

16 So I truly would like a vote on
17 this if it's compliant. If it's not compliant,
18 then it would have to either go back to you guys
19 or to the zoning board to ask for a 1-foot
20 variance on one part of the building. The
21 building is not going to change. This is as low
22 as you can go for a 2-story building.

1 MS. CRNOVICH: Peter, I think we need
2 to be careful here; and Chan, I don't think you
3 were with the village then, but years ago when
4 the Garfield was being built, I think the first
5 Garfield there were some issues with measuring
6 the height and I believe they actually used two
7 sets of surveyors and what happened -- we are
8 going back some time.

9 The first application was not
10 conforming and when they brought in the
11 surveyors, they figured out the building was too
12 high. So I think we need to be very careful
13 with that, especially when looking down the line
14 for future developments that are going to be
15 happening along Ogden Avenue. I think there's a
16 parcel across the street nearby that has been on
17 the market for a while.

18 So the height is a concern. I
19 think we need an answer before I move forward.
20 And then I looked up the code for getting a
21 variance and Section 11-502(E)(d), to increase by
22 not more than 10 percent the maximum allowable

1 height of a structure in a nonresidential
2 district but only when necessary to accommodate
3 variations in grade. And yes, we are not the
4 ZBA but that right there, that's concerning and
5 also a variance --

6 MR. COULES: If I may, within the 10
7 percent and it is a question of variance of
8 grade. This property from front to back dips
9 down that's where the height question comes in,
10 Julie. It's still lower than the building next
11 door. Even as drawn, it's still lower than the
12 building next door. It's a question of does the
13 back property of the grade of this property,
14 meaning we have to go in for a 1'8" variance or
15 not. There's been no surveyor that shot that
16 grade yet. If we need 1'8" because that's the
17 estimate possibility, then the full intent is we
18 understand we can't build it unless we go to the
19 ZBA and David Pinkerton is on the phone, the
20 president, and vice chairman, has given
21 permission to do that if it's necessary, will
22 gone to the ZBA less than a 10 percent variance

1 and we can't build it without it if that's the
2 true answer. We don't know until someone shoots
3 that back lower grade.

4 CHAIRMAN CASHMAN: You don't have a
5 topographical survey currently?

6 MR. COULES: The topographical of the
7 as is shows it should be compliant at a 30-foot
8 building.

9 CHAIRMAN CASHMAN: What I have been
10 given is an elevation analysis by the village
11 that basically said that it was a 5 -- a little
12 more than a foot.

13 MR. COULES: 1'8", Steve, that's what I
14 was told.

15 MR. YU: That's correct.

16 CHAIRMAN CASHMAN: 1.84'.

17 MR. COULES: Yes.

18 CHAIRMAN CASHMAN: So the problem is
19 that's what we have and my question to Chan was
20 because I was listening to this call is that I
21 knew this was being discussed and I didn't know
22 are they going to submit looking for a variance,

1 or are they going to revise the elevations
2 slightly to comply? Is it possible to revise
3 the design and be totally compliant?

4 MR. COULES: I was told no. But we
5 have the architects on the phone with you on the
6 Zoom.

7 If I understand that under your
8 scenario, Steve, if we have to go 1'8", if we
9 have to, I'm not saying that we do or don't at
10 this point in time, then we go for a variance.
11 If we redraw it and bring it down, we have to
12 come back to you for final approval.

13 MS. CRNOVICH: Excuse me. Peter,
14 before you interrupted me earlier, we are not
15 the ZBA; but as you know, too, the variance
16 request it cannot be self-created. So are we
17 putting the cart before the horse here? Should
18 this go to the ZBA? Or should you have your
19 survey done?

20 I like the building, but I -- you
21 know, looking down the line, I don't want to be
22 running into any problems with future

1 developments. I'm concerned about the height.

2 CHAIRMAN CASHMAN: As I had understood,
3 Peter, was that we were going to be reviewing
4 everything but then you were going to ask for a
5 continuance on the exterior elevations.

6 If that was the case, I guess Steve
7 and Don, if you got your information, got the
8 accurate topography and figured this out,
9 basically this reference is equipment shield,

10 it's aesthetic but it's predominantly if it's a
11 flat roof with a mansard to conceal equipment,
12 can't you just modify this to deal with that
13 height requirement? We aren't that far off.

14 MR. REZABEK: I'll take a stab at that.
15 If we find that we are off by an inch or two,
16 I'm sure we can make an adjustment somewhere in
17 the design to become compliant.

18 Right now if that 1'10" were to be
19 true after we get the final survey, it would be
20 difficult for us to comply. I think we have
21 really kind of squished down the ceiling heights
22 on both floors to a point where it wouldn't make

1 sense to build a new 16,000 square foot building
2 and have it be substandard and so I think we
3 would want to pursue a variance in that case.

4 There are other ways, I suppose, we
5 could be compliant but we are hoping that the
6 board sees the benefit in doing what we are
7 trying to do here. One of those would be to
8 just go to a flat roof building and put a
9 mechanical screen around the equipment that
10 would lower our ridge height and then we would
11 be fine but I don't think anybody would be
12 well-served by that approach.

13 CHAIRMAN CASHMAN: Absolutely not.

14 MR. MOUCH: Correct me if I'm wrong, but
15 what I have understood from the correspondence
16 back and forth is that the mansard roof portion
17 of the building is not where the height issue is
18 coming into play but it's the pitched roof at
19 the entry; is that correct, or --

20 CHAIRMAN CASHMAN: The way I read it,
21 the mansard roof is part of the problem.

22 MR. MOUCH: It is, okay. Because we

1 have always held that as the mean from the
2 primary eaves to the top of the roof's end and
3 that's been shown that that's a 30 feet per the
4 elevations that we have so we can look at that.
5 The way I was reading it, I wanted to verify
6 that.

7 CHAIRMAN CASHMAN: Chan, who sent this
8 to you, Chan, this village markup?

9 MR. YU: Tim Ryan.

10 CHAIRMAN CASHMAN: Can I share this
11 screen?

12 MR. COULES: We got a lot of the
13 information we wanted and hopefully we can get
14 this all resolved is that everyone does like the
15 building. We would never go for a variance on a
16 building people didn't like.

17 CHAIRMAN CASHMAN: This is basically
18 what we are looking at here. Typically, Peter,
19 if we know that something is coming to us and
20 there's going to be variances requested that's
21 already been determined, what -- and this is a
22 little uneasy is that we don't know. The only

1 delay would be you coming back a month from now
2 for us to finally close this out if that gives
3 you enough time to resolve everything.

4 MR. COULES: Right. We do not want to
5 take a building to any variance. And the hard
6 part is most villages have gone to one body to
7 decide those issues, that's why it's hard. I
8 have been before the ZBA before and they say, is
9 this a design that's even desirable? I don't

10 know that answer. At least here we have the
11 answer. If we have to come back to you, that's
12 not the problem. People like the building.

13 MS. CRNOVICH: Peter, I really like the
14 building but looking at the zoning code, it's
15 not whether or not we like something but
16 following the zoning code.

17 CHAIRMAN CASHMAN: Let's see, I think
18 we still wanted to hear from Jim, right?

19 Did you have more, Julie?

20 MS. CRNOVICH: I have one question
21 about the parking, and I think you met the
22 requirements for the islands in the parking lot

1 and I know you had the 10-foot side setbacks.
2 Do you need a rear yard setback for
3 a parking lot?

4 MR. COULES: No, not parking lot to
5 parking lot, no. We are 107 feet from building
6 to the back of the property line.

7 MS. CRNOVICH: Okay. Thank you.

8 CHAIRMAN CASHMAN: Jim?

9 MR. KRILLENBERGER: I think the
10 building looks good, so I appreciate this
11 addition to the village.

12 This is a mechanical question.
13 Peter, you are talking about getting a different
14 survey that might give a different topography?

15 MR. COULES: No. We don't have one
16 presently. We only have what Amita has told us
17 they believe that that height is. Nobody has
18 surveyed this property for a topo elevation at
19 this present time, Jim.

20 MR. KRILLENBERGER: Okay. So the
21 measurements that we have up on the screen that
22 Steve put up are based on?

1 MR. COULES: Best estimates of what
2 exists there presently.

3 MR. KRILLENBERGER: Okay. I just want
4 to make sure that our hypothetical is possible,
5 that on a topographical study is a difference of
6 1'8" on a lot this size possible or likely? Do
7 you have a reason to think that that might be
8 the case?

9 MR. COULES: I do because this property
10 when you go back there the way they built it
11 existing and they had medical supplies and
12 everything brought in and the way they used the
13 basement, the back is almost like dug out. They
14 changed the grade when they built this building
15 years ago. The building is lower in the back
16 than anybody else on the block, so they dug down
17 and out. So they truly made a 20 foot in the
18 front of the building but it's 30 feet in the
19 back of the building but it's below grade but
20 it's exposed below grade.

21 MR. KRILLENBERGER: Okay. That's
22 useful. I'm with Julie on this one. I'm a big

1 fan of being within the laws. It sounds like
2 you guys are all very aware of, Peter, and if
3 you can make it work, it's a good looking
4 building and I hope Lakeshore Bank does great in
5 Hinsdale and welcome to the neighborhood.

6 MR. COULES: Just can we go back to
7 what you put up on the screen, Steve, can you go
8 back to that slide? See the highest point of
9 the roof being shown as the top of the
10 ornamental middle piece. What is the portion of
11 the roof that is it 1' almost 10" 1.84 too high
12 or is it the top -- it's hard for me to read
13 when I'm looking at this. Is it the edge of the
14 roof screen? I can't tell -- and I'm not being
15 rude. I just can't tell by looking at it.

16 CHAIRMAN CASHMAN: I would direct your
17 question to village staff. This was just sent
18 to me when I was asking the question were we
19 going to continue again tonight?

20 MR. COULES: Steve, the point I'm
21 asking that is if Steve and Don can get rid of
22 the peak that exists on the middle portion and

1 that makes the roof compliant, that's a big
2 difference versus the whole roofline across the
3 top of the parapet wall.

4 CHAIRMAN CASHMAN: I would tend to
5 agree too. It looks like if you look at the
6 calculation here. I'm not even sure. Who did
7 this, Chan?

8 MR. YU: Tim Ryan.

9 CHAIRMAN CASHMAN: So he's referring to
10 in this note 38.17, which is the highest point
11 of the roof, so he's using that in the
12 calculation, so I would agree. You know, whether
13 aesthetically that's something you guys can deal
14 with, that's architects, but let me finish my
15 comments about the project and then we can kind
16 of talk about process. I do really like this, I
17 think those under stating seam.

18 When was that building completed in
19 Elmhurst?

20 MR. REZABEK: David, do you recall?
21 It's been probably about four years now, right?

22 MR. PINKERTON: Yes. We just had our

1 4-year anniversary.

2 CHAIRMAN CASHMAN: That's a nice
3 building, you can tell. It's like a family
4 member, slightly different, but it shows what
5 this would look like completed. I think it's
6 well done.

7 The couple comments I have on the
8 light, on the parking lot lighting, I would want
9 to see full shields on the new parking lot
10 lights. We have had some serious issue in town
11 with glare and even though you are not
12 immediately adjacent to residential neighbors,
13 there's residential properties to the south of
14 you that are in line, eyesight of this. And
15 then we typically ask new developments because
16 it's now possible to have the parking lot
17 lighting dimmable so if there are issues, they
18 can be easily accommodated. So those are kind
19 of two minor things.

20 We typically do see for site plan
21 approval a landscape plan and when I look at the
22 existing landscaping, I do think there's some

1 opportunities because those two kind of knuckles
2 out by Ogden there's some low landscaping there,
3 possibly around the exit stair that supports the
4 second floor above the drive-thru. So anything
5 you can do there. If we are going to continue
6 this, that's something you can bring back the
7 next time, that would be great, but I don't
8 think you are far off. I see what your intent
9 is, I like what you did to break up the asphalt
10 along the south property line, so I think those
11 are all positives.

12 I agree with Michelle that it's a
13 nice entrance into the town. I really think it
14 looks nice. I think it relates, has some kind
15 of entrance element, kind of tower element, I
16 think ties together with the animal hospital
17 around the corner a little bit that's on York
18 Road. So I'm excited about this.

19 And Elmhurst is that your closest
20 neighboring branch, David?

21 MR. PINKERTON: It is. Lakeside Bank
22 has seven branches, only one in the western

1 suburbs right now and that's Elmhurst, and
2 that's where I live and the chairman of the bank
3 lives as well.

4 CHAIRMAN CASHMAN: Oh, imagine it got
5 the first branch.

6 MR. PINKERTON: It's a four-minute
7 commute.

8 CHAIRMAN CASHMAN: That's pretty good
9 then that we are getting the second one.

10 Back to the structure. With this
11 height still out there, I think that you have
12 some favorable review by the commissioners. I
13 think you are doing a nice job what you are
14 proposing here and I think this is a minor
15 detail and I would just imagine it would be
16 cleaner if you had no variances. That's going
17 to be a faster process if we saw you next month,
18 we approve it and basically the following month
19 it would go to the board.

20 MR. COULES: Well, the Plan Commission,
21 one of the conversations we had, which is kind
22 of hard, Steve, between myself and David and the

1 two architects involved is would the board
2 prefer to see that if that's all it takes is to
3 get rid of that peak over the front door, it's
4 hard to tell, that seems to be the highest point
5 and that's really where the problem lies but if
6 that's the case, and I could be reading that
7 small drawing wrong but would the board prefer
8 us to do that or prefer us to try to go for a
9 variance to get that ornamental look to get the
10 clock tower in?

11 CHAIRMAN CASHMAN: Well, I have no idea
12 what our board would want to do. I think our
13 board is a reasonable group. I would suggest,
14 you know, if we continue this to reach out to
15 probably Luke, maybe Neal, Neal used to be our
16 plan commission chair and Luke was on the plan
17 commission.

18 MR. COULES: What we are asking is do
19 you prefer the way -- I'm asking you would you
20 prefer us to try to get a variance and keep the
21 style of the building the way it looks as drawn
22 or would you prefer us to make it code compliant

1 and get rid of that ornamental piece and lower
2 the roof?

3 CHAIRMAN CASHMAN: Hold on one second.

4 I just want to take a look at that Elmhurst
5 building again.

6 MR. COULES: That was the exact
7 conversation the four of us had on a phone call
8 on our side of the table. This looks better to
9 us. We don't know that, if that's what the
10 village would prefer.

11 CHAIRMAN CASHMAN: You basically have a
12 similar element on the Elmhurst building on the
13 corner tower.

14 MR. COULES: Yes.

15 CHAIRMAN CASHMAN: I personally think
16 it would be less attractive if that wasn't
17 there.

18 MR. KRILLENBERGER: I agree with that,
19 Steve. But as far as setting precedent.

20 MR. COULES: That's our conundrum, Jim.
21 That's why we came to you.

22 MR. KRILLENBERGER: Steve and Don,

1 architects, it doesn't look like the pitch of
2 that part, if that is the problem, is the same
3 as the nearby pitches on the same building.
4 What do you guys think, could you make it more
5 acute?

6 MR. REZABEK: Yes, that's a
7 possibility. The other thing that's a point
8 that Donald was trying to understand earlier,
9 there are exceptions to the height limit for
10 decorative elements on buildings, are there not?

11 CHAIRMAN CASHMAN: You have to ask the
12 village. Those are the ones that do those
13 calculations.

14 MR. REZABEK: Essentially that portion
15 of the roof that is exceeding what we think is
16 creating the 1'10" height issue is a decorative
17 feature. It's kind of a cupola or a finial
18 element.

19 CHAIRMAN CASHMAN: No, they aren't
20 measuring to that. If you remove that
21 decorative element to what the peak would be.

22 MR. REZABEK: I guess where I'm going

1 because this is a slightly older version of what
2 we submitted that we could extend that
3 decorative feature further down the roof so that
4 it truly is the only portion of the building
5 that's succeeding a height limit.

6 CHAIRMAN CASHMAN: You mean like
7 measuring it down here? (Indicating.)

8 MR. REZABEK: Exactly.

9 CHAIRMAN CASHMAN: I'd be surprised if
10 you would be successful with that. You could
11 say this whole building is decorative. It's
12 semantics.

13 MR. REZABEK: We are subject to your
14 interpretation, that's true.

15 CHAIRMAN CASHMAN: On items like this
16 it's really the village staff. That's a code
17 element but when something is submitted to us,
18 they do a review like they did to let us know is
19 this a code compliant design or not. Their
20 opinion is obviously that it's off by 1. --

21 MR. COULES: 1.10 almost. 1.84.

22 CHAIRMAN CASHMAN: 1.84'. I'd just

1 encourage you to look at options. And then also
2 it's involved on the average grade elevation
3 because I have had this happen on projects where
4 by adjusting the grade you can solve that
5 problem.

6 MR. REZABEK: Correct.

7 CHAIRMAN CASHMAN: So that's why I
8 think if you had a month's time certainly you
9 got a topographical survey and you can look at
10 what you can do with the grade around the
11 building to solve this problem.

12 I personally think if you didn't
13 have to change anything here and you just took
14 this average grade, worked out between that and
15 the first floor that 30 inches and reduce that,
16 that's the best solution possible.

17 MR. REZABEK: Right.

18 CHAIRMAN CASHMAN: And that can be done
19 with retaining walls, landscaping. I have had
20 to do it before and I just think that would be
21 the best of all worlds because then you wouldn't
22 have to compromise anything on the aesthetic and

1 you would solve the zoning issue and then you
2 would make it nice and clean for us. We are not
3 creating a bad precedent.

4 MR. COULES: We do not want a variance
5 if we don't have to. We want a nice building.

6 CHAIRMAN CASHMAN: It's always better.
7 It's going to take you more time and be more
8 painful to do a variance. That's what I think.

9 I personally believe it would be best to
10 continue this because that would give you the
11 time, you obviously got good feedback from us on
12 what was presented here and it would give you
13 time to look at this issue, to reach out to the
14 village and then get things tidied up and then
15 we can have a quick meeting in November on this
16 matter.

17 MR. COULES: In November, Steve, if
18 that's the only changes we are making is to make
19 the roof line work, do I need to have David back
20 on the phone again or has all the questions been
21 asked about that?

22 CHAIRMAN CASHMAN: I'd love to have

1 David any time. I appreciate him being here and
2 I'm glad he is because it's good for him to hear
3 that his architects are doing a good job but no,
4 he does not need to be here. No, you can
5 represent him.

6 MR. COULES: Thank you.

7 Are you just going to enter and
8 continue the public hearing then?

9 CHAIRMAN CASHMAN: Yes. We would
10 continue it until our next meeting, which I
11 would need Chan to find what that date is?

12 MR. YU: November 11th.

13 MR. JABLONSKI: Chan, in order if this
14 goes to the zoning board, is it possible for us
15 to make some soft preliminary finding that we
16 are pleased aesthetically with the building so
17 they have something in hand besides the
18 continuance?

19 MR. YU: What we have done before is to
20 have a concurrent application so what they are
21 applying for through the ZBA they can apply for
22 through the plan commission contingent that is

1 approved by the ZBA.

2 CHAIRMAN CASHMAN: Right, we have done
3 that before.

4 MR. COULES: We prefer to get the
5 zoning variance but I'll use the minutes if I
6 have to start running it concurrently from
7 today's meeting.

8 CHAIRMAN CASHMAN: Right. You have a
9 plan A and a plan B.

10 MR. COULES: I prefer to have the
11 building work because I like the building a ton
12 and this roof issue came up and I said let's at
13 least present it. If they are not going to like
14 this building at all, let's not keep redrawing
15 it.

16 CHAIRMAN CASHMAN: We appreciate what
17 you have in front of us.

18 Any other questions or comments by
19 the commissioners?

20 (No response.)

21 Hearing none, let's see, Chan, do
22 we do a motion to continue? I believe we do.

1 Can I have a motion to continue
2 Case A-22-2020, 222 East Ogden, Lakeside Bank to
3 our November 11th meeting?

4 MR. WILLOBEE: So moved.

5 MS. FISHER: I'll second Mark.

6 CHAIRMAN CASHMAN: Chan, can we have a
7 roll call vote, please.

8 MR. YU: Commissioner Krillenberger?

9 MR. KRILLENBERGER: Aye.

10 MR. YU: Commissioner Fisher?

11 MS. FISHER: Aye.

12 MR. YU: Commissioner Jablonski?

13 MR. JABLONSKI: Aye.

14 MR. YU: Chairrnan Cashman?

15 CHAIRMAN CASHMAN: Aye.

16 MR. YU: Commissioner Crnovich?

17 MS. CRNOVICH: Aye.

18 MR. YU: Commissioner Willobee?

19 MR. WILLOBEE: Aye.

20 MR. YU: Commissioner Unell?

21 MR. UNELL: Aye.

22 MR. YU: Commissioner Fiascone?

1 MS. FIASCONE: Aye.

2 MR. COULES: Thank you. Once we get
3 the survey done and see if we have to change the
4 building, we will get the drawings done, get
5 them back to Tim and Chan right away so you guys
6 will get them in your hands right away.

7 CHAIRMAN CASHMAN: Thank you. Well
8 done. I appreciate your time and look forward
9 to seeing Lakeside Bank.

10 What's the projected opening if
11 things move forward?

12 MR. PINKERTON: That's probably hard to
13 say but probably near the end of next year
14 depending how this process goes.

15 CHAIRMAN CASHMAN: Great. Thank you.

16 MR. REZABEK: Thank you for your time.
17 (WHEREUPON, said Public Hearing was
18 continued to November 11, 2020 at
19 7:30 p.m.)

20

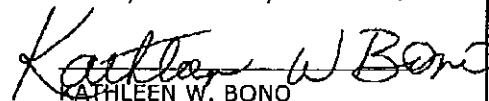
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STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

I, KATHLEEN W. BONO, Certified
Shorthand Reporter, Notary Public in and for the
County DuPage, State of Illinois, do hereby
certify that previous to the commencement of the
examination and testimony of the various
witnesses herein, they were duly sworn by me to
testify the truth in relation to the matters
pertaining hereto; that the testimony given by
said witnesses was reduced to writing by means
of shorthand and thereafter transcribed into
typewritten form; and that the foregoing is a
true, correct and complete transcript of my
shorthand notes so taken aforesaid.

IN TESTIMONY WHEREOF I have
hereunto set my hand and affix my electronic
signature this 26th day of October, A.D. 2020.


KATHLEEN W. BONO

C.S.R. No. 84-1423

Notary Public, DuPage County

STATE OF ILLINOIS)
) ss:
 COUNTY OF DU PAGE)

BEFORE THE HINSDALE PLAN COMMISSION

In the Matter of:)
)
)
 LAKESIDE BANK,)
 222 East Ogden Avenue)
 Case No. A-22-2020.)

CONTINUED REPORT OF PROCEEDINGS had and
 testimony taken via Zoom at the hearing of the
 above-entitled matter before the Hinsdale Plan
 Commission, on November 14, 2020, at the hour of
 7:30 p.m.

BOARD MEMBERS PRESENT:

MR. STEPHEN CASHMAN, Chairman;
 MS. MICHELLE FISHER, Member;
 MR. TROY UNELL, Member;
 MS. ANNA FIASCONE, Member;
 MR. GERALD JABLONSKI, Member;
 MR. JIM KRILLENBERGER, Member;
 MS. JULIE CRNOVICH, Member; and
 MR. PATRICK HURLEY, Member.

<p style="text-align: right;">58</p> <p>1 ALSO PRESENT VIA ZOOM:</p> <p>2 MR. ROBB MCGINNIS, Director of</p> <p>3 Community Development;</p> <p>4 MR. PETER COULES, Attorney for</p> <p>5 Petitioner;</p> <p>6 MR. DON MOUCH, Petitioner's Architect;</p> <p>7 MR. STEVE REZABEK, Petitioner's</p> <p>8 Architect.</p> <p>9 CHAIRMAN CASHMAN: Public Hearing for</p> <p>10 Case A-22-2020, 222 East Ogden Avenue, Lakeside</p> <p>11 Bank, a Special Use Permit and Exterior</p> <p>12 Appearance Site Plan Review for a new 2-story</p> <p>13 tall bank with 2 drive-thru lanes in the B-3</p> <p>14 general business district. This was continued</p> <p>15 from our September 9th meeting and our</p> <p>16 October 14th meeting.</p> <p>17 (WHEREUPON, the oath was</p> <p>18 administered to Mr. Coules,</p> <p>19 Mr. Mouch and Mr. Rezabek.)</p> <p>20 CHAIRMAN CASHMAN: Pete, if you want to</p> <p>21 continue. So basically where we left this we</p> <p>22 were through the meeting reviewing the</p>	<p style="text-align: right;">60</p> <p>1 that there's no variance and no necessity for a</p> <p>2 10-foot landscape buffer. That is a correct</p> <p>3 statement because we are not changing the</p> <p>4 existing parking lot. We are going from a legal</p> <p>5 nonconforming parking lot and keeping the legal</p> <p>6 nonconforming parking lot and re-stripping it and</p> <p>7 adding trees and some landscaping to it and in</p> <p>8 fact out front on Ogden we are losing a couple</p> <p>9 of spots not from what was presented originally</p> <p>10 but from what's there now like the planting of</p> <p>11 trees and the landscaping along the back and the</p> <p>12 sides is much buffered up and a fence going</p> <p>13 around it so my statement to staff is a correct</p> <p>14 statement but there's nothing in the code that</p> <p>15 when you go from a legal nonconforming parking</p> <p>16 lot to another legal and allowed use because we</p> <p>17 are not changing the underlying zoning, a bank</p> <p>18 is allowed in this district and a special use is</p> <p>19 one of the things being voted on, there is not a</p> <p>20 necessity to now create this 10-foot backyard</p> <p>21 landscaping buffer because we are taking what's</p> <p>22 existing there now and fixing it up, resealing</p>
<p style="text-align: right;">59</p> <p>1 application, but we basically continued it</p> <p>2 because of the need to do some surveying and to</p> <p>3 determine that the building height was compliant</p> <p>4 and per our package and emails I believe that</p> <p>5 was accomplished and I appreciate you guys</p> <p>6 spending time with village staff getting that</p> <p>7 done. I think the building height is resolved.</p> <p>8 We asked for landscape plans and</p> <p>9 those were provided, those were in the packet.</p> <p>10 Would you like to give a brief overview of that?</p> <p>11 MR. COULES: Yes, I'll go over that. A</p> <p>12 couple things that came up in our discussion,</p> <p>13 and I think, Robb was taking over and Chan was</p> <p>14 great up until 4 o'clock the day he was supposed</p> <p>15 to be out of there was going back and forth not</p> <p>16 only getting the height worked out and the</p> <p>17 drawings and Chan and Tim getting everything</p> <p>18 worked out.</p> <p>19 One of the comments being made is a</p> <p>20 true statement but can be pulled out of context</p> <p>21 was when I stated that since this is a property</p> <p>22 that's parking lot to parking lot with a fence</p>	<p style="text-align: right;">61</p> <p>1 it re-stripping it on an angle and those kinds of</p> <p>2 things.</p> <p>3 If we were trying to do anything to</p> <p>4 change and try to add any more landscaping</p> <p>5 besides the fence and the tress that we show, we</p> <p>6 would then be creating a problem, we would</p> <p>7 actually be creating an issue where we would not</p> <p>8 have compliant parking so that's why the</p> <p>9 decision was originally made to leave the two</p> <p>10 curb cuts where they are, leave the parking lot</p> <p>11 the way it is so we can utilize the property as</p> <p>12 is and not ask for any variances as we go along</p> <p>13 so the requirement for a 10-foot landscape</p> <p>14 variance and the staff actually agrees with me</p> <p>15 on that's the way the code reads and Robb, can</p> <p>16 correct me if I'm wrong, based on a lot of times</p> <p>17 going through all these different things most of</p> <p>18 it we will be reviewing in our final drawings.</p> <p>19 MS. CRNOVICH: Excuse me, Peter. This</p> <p>20 is Julie. I appreciate you bringing that up</p> <p>21 about the parking lot to parking lot because</p> <p>22 after our meeting last month I went, Where is</p>

1 that in the code book, and I started reviewing
2 it and I did not see anything that said you do
3 not need a buffer from parking lot to parking
4 lot and it's mentioned in the minutes too on
5 Page 32.

6 MR. COULES: You do not need -- Robb,
7 can back me up, staff opined on this. When you
8 take an existing parking lot that's a legal
9 nonconforming parking lot and don't tear it up
10 and get rid of it, it stays existing the way it
11 is now so as long as we are not changing the
12 zoning on the property and we are not changing
13 the zoning on the property. The code is kind of
14 vague on that issue.

15 MS. CRNOVICH: I think the code is very
16 clear on that issue that it's a legal
17 nonconforming parking lot site plan but in my
18 opinion, you are expanding the parking lot with
19 the addition of the drive-thrus so you're
20 demolishing the structure, yet you want to keep
21 the parking lot as is but you're doing more than
22 just re-striping.

1 The drive-thru -- in my opinion,
2 this application has three levels of review.
3 It's site plan exterior appearance, the second
4 one is special use and the third one there's
5 conditions for drive-thrus.

6 MR. COULES: Well, that's up to the
7 actual plan commission if they wish to put
8 conditions on the drive-thrus. There's nothing
9 in the code says that drive-thrus have to have
10 conditions for a special use under this zoning
11 classification. I mean, the plan commission can
12 add, you know, anything they want to add for
13 conditions about a site plan let alone a special
14 use.

15 MS. CRNOVICH: I'm referring to
16 Section 5-109 G. I don't know if you reviewed
17 that, it's something we did not talk about at
18 last month's meeting, the special use in
19 development regulations for drive-thrus. Could
20 you talk about that a little bit?

21 MR. COULES: I don't have that code
22 right here in front of me. I'm sorry.

1 CHAIRMAN CASHMAN: Can we have some
2 discussion about the landscape plan that you
3 provided? We can come back to Julie's comments.

4 MS. CRNOVICH: Thank you.

5 MR. COULES: I think Don wanted to talk
6 a little bit about the landscape plan you
7 provided.

8 MR. MOUCH: Yes. I mean, the footprint
9 of the building is a little bit smaller than
10 existing building footprint so there is some
11 additional area of landscaping. The front edge
12 of this proposed building is pretty much right
13 on cue with the existing building so we have
14 that grass area out in the front yard, if you
15 will, where there's going to be some small
16 shrubs and some plantings and then a little bit
17 of grass around the area of the front entry and
18 then we are adding a few trees along the front
19 yard there in order to try to bring in a little
20 more of the landscaping closer to the street
21 also not prohibiting any sort of sight lines as
22 you're entering and exiting the exits from Ogden

1 and then around the west perimeter going into
2 the backyard area adding trees and vegetation,
3 shrubbing off the area where there's the truck
4 loading dock and the trash enclosure and then
5 along that south facade added a few landscaped
6 areas in order to break that up and then as
7 Steve was mentioning fencing across the entirety
8 of the south property line as it currently
9 stands the fence that's there now only extends a
10 portion so this is going to be extending the
11 entire line and then obviously some landscaping
12 around the drive-thru lanes as well.

13 CHAIRMAN CASHMAN: I might have missed
14 it; I didn't see the fence material that you are
15 proposing for that 6-foot fence.

16 MR. MOUCH: It's a wood fence. We
17 submitted drawings of the fencing in the
18 original submittal that we put in back in
19 October I believe it was. It was one of the
20 prior exhibits. It's a wood fence and then the
21 trash enclosure it's a brick trash enclosure
22 with an operable gate.

<p style="text-align: center;">66</p> <p>1 CHAIRMAN CASHMAN: Okay. So it's not</p> <p>2 in this packet, it's back in the previous one?</p> <p>3 MR. MOUCH: Yes.</p> <p>4 MR. COULES: We discussed it at the</p> <p>5 last meeting, Steve. If you have the old packet</p> <p>6 dated 7/31 it shows a 6-foot perimeter fence in</p> <p>7 the south elevation.</p> <p>8 MR. MOUCH: When we started getting</p> <p>9 into some of the photometric studies.</p> <p>10 MR. COULES: It was in the set of plans</p> <p>11 before your last meeting.</p> <p>12 CHAIRMAN CASHMAN: Got it. Attachment</p> <p>13 1. It's Page 106 out of 225. Thank you. Looks</p> <p>14 good enough.</p> <p>15 Any other comments about the</p> <p>16 landscaping? If not, I'd like to have the</p> <p>17 commissioners ask any questions that they have.</p> <p>18 Jerry?</p> <p>19 MR. JABLONSKI: I really don't have any</p> <p>20 questions, but I'm not an expert on the code</p> <p>21 that Julie said, but looking at the blueprints</p> <p>22 of the before and after, to me it looks more</p>	<p style="text-align: center;">68</p> <p>1 costs on the applicant that they are able to put</p> <p>2 this bank building in at least a parking lot.</p> <p>3 One thing I'd like you to do is</p> <p>4 just more of a housekeeping thing. On the</p> <p>5 application the parking is not filled out even</p> <p>6 though it's existing, we need to fill that</p> <p>7 section of the table of compliance out.</p> <p>8 MR. COULES: I actually submitted that</p> <p>9 as a submittal before the last hearing, but I</p> <p>10 will make sure it's again. Chan has it, what's</p> <p>11 existing now, what's necessary by code. We did</p> <p>12 do that and it is part of the village record.</p> <p>13 CHAIRMAN CASHMAN: You revised the</p> <p>14 table of compliance?</p> <p>15 MR. COULES: Yes, I did.</p> <p>16 CHAIRMAN CASHMAN: Okay. In this</p> <p>17 packet it's not; it shows nothing on the</p> <p>18 parking. But in your drawings you show it's</p> <p>19 later in the packet you have that zoning</p> <p>20 analysis, it basically spells out the parking.</p> <p>21 Looking at that requirement, you basically need</p> <p>22 61 parking spaces; isn't that correct?</p>
<p style="text-align: center;">67</p> <p>1 like a re-striping of a parking lot. The</p> <p>2 drive-thru is actually in the footprint of the</p> <p>3 existing building and there is a little path</p> <p>4 around that building that was there before.</p> <p>5 So as it stands right now, I</p> <p>6 couldn't be more excited about losing this</p> <p>7 building and gaining this bank.</p> <p>8 CHAIRMAN CASHMAN: Regarding the</p> <p>9 existing noncompliant parking lot, Julie raised</p> <p>10 this question and I reached out to Robb and to</p> <p>11 Michael Marrs, the village attorney, and he</p> <p>12 feels that basically there's nothing based on</p> <p>13 the village code and how we handled previous</p> <p>14 matters like this that there was not a</p> <p>15 requirement for the applicant to change the</p> <p>16 parking, it can remain as existing noncompliant</p> <p>17 parking lot with the new building because that</p> <p>18 was an important point if it couldn't and</p> <p>19 there's obviously my guess too is there's large</p> <p>20 financial implications related to it because</p> <p>21 that would trigger extensive stormwater</p> <p>22 requirements, utility requirements, additional</p>	<p style="text-align: center;">69</p> <p>1 MR. COULES: We claim we needed 62</p> <p>2 actually. I argued that we needed 62 because</p> <p>3 I'm counting the loading dock. Here's a copy</p> <p>4 of what I gave to the village. I claim 62</p> <p>5 because I added the loading dock in there as</p> <p>6 part of parking.</p> <p>7 CHAIRMAN CASHMAN: As far as parking</p> <p>8 spaces you need 61.</p> <p>9 MR. MOUCH: Right.</p> <p>10 CHAIRMAN CASHMAN: And currently you</p> <p>11 are showing it kind of varies on one drawing it</p> <p>12 showed 69 and on the landscape drawing I think</p> <p>13 the count was 1 difference.</p> <p>14 MR. COULES: Correct. When I submitted</p> <p>15 it it was 69 on the old drawing, Steve, on the</p> <p>16 table of compliance.</p> <p>17 MR. MOUCH: The landscaping was just</p> <p>18 that they were taking one spot away from the</p> <p>19 parking spots right there along Ogden, they were</p> <p>20 just a little concerned about the turning radius</p> <p>21 as you are coming in so that's why they had 68.</p> <p>22 CHAIRMAN CASHMAN: Okay.</p>

1 MR. COULES: I can resubmit tomorrow,
2 Steve, showing 68 and showing what I permit for
3 69 and resubmit and show that I amended it.

4 CHAIRMAN CASHMAN: If you send it to
5 Robb, that would be great.

6 MR. COULES: Chan had it but that's no
7 problem; I'll resubmit it tomorrow.

8 CHAIRMAN CASHMAN: Probably on his desk
9 as he ran to the hospital.

10 MR. COULES: He demanded it from me
11 before he put me on the agenda.

12 CHAIRMAN CASHMAN: Jim, do you have
13 comments, questions, for the applicant? Jim?

14 MR. KRILLENBERGER: No questions.

15 CHAIRMAN CASHMAN: Julie?

16 MS. CRNOVICH: Okay. I guess I should
17 explain myself.

18 The issue I have with the parking
19 lot plan because there's parking in the front
20 yard, which is not allowed in the Hinsdale
21 zoning code for any district.

22 You look at Chase bank to the east,

1 they don't have parking in their front yard.
2 You look at any other banks in town, they don't
3 have parking in the front yard. Parking in the
4 front yard is really unsightly. Look at the
5 office park across the street. I mean, their
6 parking it's just like the opposite of what this
7 is with the landscape. There's going to be
8 other parcels on Ogden Avenue which are going to
9 be developed. Do we want to see parking in the
10 front yard?

11 CHAIRMAN CASHMAN: Well, the building
12 across from Shell there's parking right along
13 the street.

14 MS. CRNOVICH: I'm sorry?

15 CHAIRMAN CASHMAN: Right across the
16 street the Koplin building, the white building
17 on the corner.

18 MS. CRNOVICH: Yes.

19 CHAIRMAN CASHMAN: It dates about from
20 the same time that has parking in the front
21 yard.

22 MR. COULES: Land Rover.

1 CHAIRMAN CASHMAN: Land Rover. So does
2 the Koshgarian building.

3 MS. CRNOVICH: I believe those are --

4 MR. JABLONSKI: Kensington school.

5 MS. CRNOVICH: Well, Kensington school,
6 I guess I should have been reading the code back
7 then.

8 If you look at Section 10-101 A
9 Nonconformities. They ask for the gradual
10 elimination of such nonconformities that's
11 generally desirable. I mean, I think Chan said
12 the parking lot's been there since 1961, so
13 59 years ago. Do we want to wait another
14 59 years to fix that?

15 You look at the Ogden Avenue
16 corridor plan and they actually point out
17 (inaudible) and how we need to get rid of the
18 front parking and this is kind of like the
19 gateway to Hinsdale.

20 MR. COULES: If I may, is that the
21 Houseal Lavigne plan that was not enacted --
22 because I was interviewed for that plan but that

1 was never actually adopted by the village.

2 MS. CRNOVICH: But we used it for other
3 applications.

4 CHAIRMAN CASHMAN: We used it as a
5 guide, but it's not --

6 MS. CRNOVICH: As a guide, right, but
7 it's a good read. It tells you what the
8 business should do for Ogden Avenue, what they
9 recommend. So whenever we have anything with
10 Ogden Avenue, that's something that I like to
11 review. And then if you look --

12 CHAIRMAN CASHMAN: If I can paraphrase
13 that, they basically wanted to see more
14 landscaping along the corridor.

15 MS. CRNOVICH: Yes.

16 CHAIRMAN CASHMAN: This is what they
17 consider the east part of the corridor, that was
18 one of the goals. They were showing a lot of
19 different developments along here but that was
20 one of the goals.

21 MS. CRNOVICH: You know, this was to
22 get rid of the asphalt, bring in the green.

1 Look at Chase bank, look at the office park
2 across the street. I just really wish you would
3 get rid of the front yard parking.

4 Also the rear yard parking, I don't
5 think it requires a 10-foot buffer. I'd rather
6 it be a 5-foot buffer. I don't know if there's
7 any way you can reconfigure the parking lot.

8 But one thing the trustees are
9 going to look at they are going to look at those
10 conditions for the drive-thru and on there it
11 says something about the aesthetics of the
12 street frontages in the vicinity of the
13 building. And that's 5-109 G special use and
14 development. Because you have the drive-thrus
15 that's a whole other level of review that has to
16 be done. I just really wish you guys could get
17 rid of the front parking.

18 MR. COULES: Well, in order to make the
19 lot compliant parking we would be 7 spots short.

20 MS. CRNOVICH: But actually you are
21 over parking now, right?

22 MR. COULES: By a couple.

1 CHAIRMAN CASHMAN: You are over 7
2 spots, correct.

3 MS. CRNOVICH: I mean, if there's any
4 way you can move that building forward to get
5 some more parking in the back, I would think
6 there would be something you could do. I mean,
7 the building, I love the design, the clock
8 tower.

9 MR. COULES: You also have to keep the
10 handicap parking out front because of the length
11 of the lot. There's no other place to put it
12 where you can get access into the front lobby.
13 The request was to also have the actual ATM
14 machine in the front lobby and not have it
15 anywhere else on the property, not in the back
16 of the property. So you have to have the actual
17 people be able to get there that are in
18 wheelchairs and the like, so you have to have so
19 much parking up front as it is.

20 MS. CRNOVICH: Well couldn't they use
21 the drive-thru ATM? I would think that there
22 would be options and hopefully, there's some way

1 you can play around with this to make it work.

2 I'm just really against the front yard parking.

3 CHAIRMAN CASHMAN: Well, I have an idea
4 that hopefully to address your concerns but I
5 will talk about it later.

6 Were there other things beyond that
7 front yard because basically Julie if it's
8 noncompliant existing lot, it can remain
9 noncompliant and that includes the front yard,
10 the side yards.

11 MS. CRNOVICH: Yes, I understand that,
12 but I think after 59 years, it's time to do it
13 right and I really don't see how they can tear
14 down a building, demolish a building and say
15 they are still going to use the parking lot.
16 The parking lot is going to change with the
17 drive-thrus. I mean, I hope you understand what
18 I'm saying. Plus it's right adjacent to the
19 gateway historic district there.

20 CHAIRMAN CASHMAN: I agree, but like
21 Peter was saying and as Michael Marrs reiterated,
22 there's nothing specific in the code that would

1 require that and for obvious reasons.

2 The code is a balancing act between
3 planning and commercial development of the town.
4 And if every time a property was touched we had
5 to make it bring it up to code, we would really
6 shut down business. It's a balancing act.
7 Let's move on. Because I think I have an idea
8 that I was curious with this team that they
9 think would be acceptable. It addresses your
10 concerns, Julie, not a hundred percent but tries
11 to address them and still allows them to be
12 compliant.

13 Other comments, Julie, unrelated to
14 that?

15 MS. CRNOVICH: There were some little
16 things too, but the main thing was just that
17 parking in the front yard.

18 I mean, you are kind of adjacent to
19 a residential district. That (inaudible) around
20 it is kind of an eyesore. The building will be
21 a big improvement. I have been back there a
22 dozen times in the last month and I love the

1 building, I love the design of the building.

2 The parking in the front yard, do it right. Now
3 is the chance to fix that.

4 CHAIRMAN CASHMAN: Michelle?

5 Thanks, Julie.

6 MS. FISHER: Thank you very much for
7 submitting the landscaping plan. I just wanted
8 to add the offices across the street I think
9 they really did a nice job with the shrubs, the
10 trees and the beach grass so I think this is
11 going to be a great asset to the building and
12 the landscaping but anything that compliments
13 those medical offices on the other side I think
14 would be great and enhance the area. Anything
15 more that you can add, I think would be great as
16 well. It's what people are first seeing, this
17 is our gateway. So if we can have some
18 similarity to each side would be just helpful
19 and beneficial to those coming into the village
20 that way. Other than that, thank you.

21 CHAIRMAN CASHMAN: Anna?

22 MS. FIASCONE: I think it looks great.

1 I have no further questions or comment.

2 CHAIRMAN CASHMAN: Okay. Troy?

3 MR. UNELL: I agree. I think it's
4 great for the space and the building looks great
5 and I'm okay with it.

6 CHAIRMAN CASHMAN: Pat?

7 MR. HURLEY: I think it looks great and
8 as someone who lives relatively close to there,
9 I'm excited to have that space improved.

10 I thought the drives were great,
11 the landscaping looks fine. I don't have any
12 concerns. Thanks.

13 CHAIRMAN CASHMAN: Thanks, Pat.

14 Robb, can I ask to share screen.

15 So as to Julie's concerns. So basically, I
16 mean, it is interesting if you look at the
17 documents related to the Ogden corridor master
18 plan study, and I'm going to call it study since
19 it was never really adopted. I'm just trying to
20 address this issue where obviously these two gas
21 stations are asphalt pretty much up to the curb.
22 They made some modifications over the year, same

1 with this Dunkin' Donuts and Firestone here.

2 This Koplin building dates from about the same
3 time. I kind of see a parking lot. I think
4 this, Michelle, is the area you were talking
5 about, this building that's off of Elm, they did
6 some improvements here. This is about maybe 10,
7 15 years ago when they kind of did this fencing
8 and landscaping along here and then here is the
9 subject property.

10 So looking at this is why I was
11 kind of curious about your count. In my mind,
12 you know, I thought is there a way to still
13 comply, keep the noncompliant lot but make a few
14 modifications and I really looked at these two
15 knuckles or peninsulas here.

16 So this was on one, Don, was on
17 this side where you lost one and this is the 10
18 versus 11. So in my mind I was thinking over
19 here the ADA spots, this is basically the way it
20 was. They were just striped and basically
21 there's not really a peninsula or landscaping
22 here.

1 So trying to get to Julie's
2 concerns, I was wondering if by eliminating,
3 making a larger peninsula here we could extend
4 the perennials, the small shrubs and either
5 small or deciduous trees or ornamental trees,
6 create more greenery on these two ends, make
7 this a little bigger but it would get to the
8 feel of what the mass that corridor plan is
9 looking for. I appreciate these two plantings
10 here on the two sides but I think something more
11 along there would then echo more of what's
12 happening here across the street and looking at
13 appreciate the thoughts, like this is right
14 out -- is this right only here?

15 MR. REZABEK: I believe so.

16 MR. MOUCH: There's certain times of
17 the day where it's restricted.

18 CHAIRMAN CASHMAN: Well, my thought is
19 so long as the tree is not up here by the
20 sidewalk that someone pulling up here would have
21 visibility down the street would be able to see
22 past the view to like pulling up on some of the

1 other lots along Ogden and, you know, there's
 2 some photos here. Basically, it's these two
 3 spots. Like you have this spot here where you
 4 are proposing something but something this low I
 5 don't know that it's really going to make a
 6 change versus having an actual tree. This is
 7 the eastern cut. This is where you are supposed
 8 to stripe but if you brought landscaping out
 9 here I think just those two things would frame
 10 the building beautifully because it has a strong
 11 elevation and would soften both the drive-thru
 12 on the east side that's a little raised, you
 13 have that landscaping there, that too you may
 14 have added this tree here, you have landscaping
 15 back there by the drive-thru but there's shrubs
 16 and lower plantings here, you add a tree here,
 17 trees in the back, I just wonder if doing that
 18 you end up getting down to those three spaces
 19 but you still be compliant with parking and you
 20 would do something that would be in the spirit
 21 of Ogden Avenue corridor master plan while still
 22 working with an existing noncompliant lot.

1 So that was really my suggestion to
 2 Julie's concerns and just trying to make it
 3 aesthetically better because in the current
 4 situation what's being proposed is not so
 5 different than what's currently here. Like even
 6 that first what was originally shown, it wasn't
 7 consistently low and I think some kind of, some
 8 small tree, something that's salt tolerant. The
 9 drawings you guys submitted which was very well
 10 done with the different species in here. I'm
 11 not sure about this blaze maple but all these
 12 other ones I know are salt tolerant, so I think
 13 those would all be good candidates. And it
 14 could even be something like this to make sure
 15 that you have visibility. Like these honey
 16 locusts are up high, these are pretty durable,
 17 they never really get too large. These
 18 hackberries grow really well in this environment
 19 but you could add color with this magnolia
 20 serviceberry and still would have visibility but
 21 I think it would just change the aesthetic along
 22 there and I think that would go a long way.

1 In looking at those shrubs using
 2 something with color, obviously having the
 3 ground cover and that, but having both some
 4 shrubs and some perennials, I think it's a great
 5 opportunity. I think the more beautiful it
 6 looks, is better for the bank and better for
 7 your customers. So that's my suggestion. I
 8 don't know if it's something you guys would
 9 entertain or not.
 10 Julie, what are your thoughts on
 11 something like that? I appreciate your thought
 12 about it and your concern and you are correct
 13 that that's when they were thinking of Ogden
 14 Avenue they wanted to make approvals but I'm
 15 looking at a couple of solutions that balances
 16 and encourages businesses to invest and take
 17 this property that's been pretty tired, it's
 18 been empty for about three years and then invest
 19 it with a new building and kind of get the
 20 affect that we are looking for and not getting
 21 you this whole thing green as you want to,
 22 Julie, but that's it.

1 MS. CRNOVICH: I'm sorry, I'm a green
 2 person.
 3 How wide are the drives, the east
 4 and west drives?
 5 MR. MOUCH: The actual parking aisles
 6 or the actual entry points?
 7 MS. CRNOVICH: The entry points?
 8 CHAIRMAN CASHMAN: I want to say about
 9 30.
 10 MS. CRNOVICH: On another plan did it
 11 not show the west?
 12 MR. MOUCH: We kept them at the
 13 existing curb cuts.
 14 CHAIRMAN CASHMAN: One is 35 and change
 15 and one is 30.
 16 MS. CRNOVICH: So the west one is 35?
 17 CHAIRMAN CASHMAN: It looks like it.
 18 This is just scaling off this landscape plan
 19 looking at the aerial, satellite view.
 20 MS. CRNOVICH: Do you need a curb cut
 21 that wide?
 22 MR. MOUCH: Probably not.

1 CHAIRMAN CASHMAN: You could possibly
2 squeeze down.

3 MR. MOUCH: Right.

4 CHAIRMAN CASHMAN: Any step like that I
5 think would be a step in the right direction
6 because you are talking about one-way traffic.

7 MR. REZABEK: I agree that this is a
8 reasonable solution what you proposed. I do
9 know the bank has -- I'm not sure what their

10 limit is, but they do need to maintain some
11 convenience parking for their customers up front
12 and bear in mind this site has a pretty
13 significant drop off as you go south so you will
14 not only be walking a distance to the entry but
15 it would be up hill too.

16 CHAIRMAN CASHMAN: Looking at this spot
17 back here for like staffing and then for
18 customers of the bank.

19 MR. REZABEK: But I think it's
20 reasonable that we could consider losing one or
21 two spaces up front and if narrowing up the
22 drive entrances helps mediate between losing

1 spaces and maintaining significant amount of
2 landscaping I think that's a great solution.

3 CHAIRMAN CASHMAN: If you made this a
4 typical 24 foot cut here and the same here, I
5 don't know if you want it wider here but you
6 possibly could end up with more than the seven
7 spots here. (Indicating.)

8 MR. COULES: Steve, it sounds like your
9 idea is well-received and makes a lot of sense.

10 If they can shrink up the curb cuts and have the
11 trees to match across the street, that's really
12 a no-brainer for everybody involved.

13 CHAIRMAN CASHMAN: It's a nice
14 compromise and I think aesthetically it improves
15 the building. It's a really beautiful building
16 but the parking lot area there is not.

17 MR. COULES: So you have it for the
18 record, Steve, the east opening is no left turn
19 between 7 and 9 a.m. and 4 and 6 p.m. That's
20 what the sign reads and that's what staff asked
21 when we first met with them asked us to keep
22 that sign up.

1 CHAIRMAN CASHMAN: And are you going to
2 come back in the future for signage? I assume
3 this is what you are looking at for monument
4 sign.

5 MR. COULES: There's one that exists
6 there right now.

7 CHAIRMAN CASHMAN: You are looking for
8 new sign or hasn't it been discussed?

9 MR. COULES: I think the intent was to
10 keep it there. Am I right Steve or Don?

11 MR. MOUCH: That's correct.

12 MR. REZABEK: That's correct.

13 CHAIRMAN CASHMAN: The building is a
14 nice sign itself.

15 MR. COULES: Yes.

16 CHAIRMAN CASHMAN: I think people will
17 figure out what it is, which is good.

18 MS. CRNOVICH: Steve, I like your idea
19 about shrinking the parking up there and adding
20 landscaping. What about a little decorative
21 fence like they have across the street?

22 MR. COULES: They have a bigger setback

1 from Ogden Avenue. I don't believe they would
2 allow you to put one there.

3 CHAIRMAN CASHMAN: Because that fence
4 is all the way back. I think between snowplowing,
5 I would be worried about the fence lasting.

6 There's just not a lot of room there. They had
7 more room on the north side of Ogden there.

8 MR. COULES: I believe IDOT said no to
9 Land Rover.

10 CHAIRMAN CASHMAN: I know there's all
11 kinds of requirements, you can kill people with
12 fences at high speeds. That's really my
13 thought.

14 I appreciate, I saw that you added
15 the shields on dimming on the parking lot
16 lighting which I appreciate it. I think it's a
17 beautiful looking building and will be a nice
18 addition to the village.

19 Commissioners, what are your
20 thoughts as far as adding this as a
21 recommendation along with whatever we vote on?

22 MR. KRILLENBERGER: Shrubbery good,

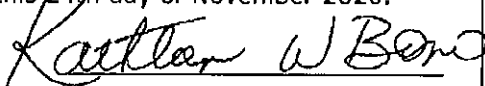
<p style="text-align: right;">90</p> <p>1 trees good, it sounds like a good plan.</p> <p>2 CHAIRMAN CASHMAN: Jerry?</p> <p>3 MR. JABLONSKI: Steve, you are the</p> <p>4 maestro again.</p> <p>5 CHAIRMAN CASHMAN: Not really.</p> <p>6 MR. KRILLENBERGER: And very tactful,</p> <p>7 too.</p> <p>8 CHAIRMAN CASHMAN: That's right. I</p> <p>9 keep Julie happy.</p> <p>10 MS. CRNOVICH: Seriously, it will be a</p> <p>11 big improvement with the landscaping.</p> <p>12 MR. KRILLENBERGER: I agree. And</p> <p>13 Julie, this building always seemed sort of</p> <p>14 overly commercial compared to the rest of the</p> <p>15 entrance area to Hinsdale so it's nice that we</p> <p>16 are suggesting that it get a little greener.</p> <p>17 The building itself is spectacular and inviting</p> <p>18 and this is -- I think these are good</p> <p>19 suggestions.</p> <p>20 MR. JABLONSKI: And it's better than</p> <p>21 the building next door.</p> <p>22 CHAIRMAN CASHMAN: Michelle, what are</p>	<p style="text-align: right;">92</p> <p>1 have another question.</p> <p>2 I notice on the lights shields have</p> <p>3 been added. Are they going off at a certain</p> <p>4 time?</p> <p>5 MR. REZABEK: Yes, they typically do.</p> <p>6 The bank controls their lights with time clock</p> <p>7 and photocells so they will go off based on the</p> <p>8 photocells and they shut off usually when the</p> <p>9 last employee and customer leaves. I'm not sure</p> <p>10 of the exact time but that's the way they</p> <p>11 operate with other facilities. Obviously with</p> <p>12 the drive-thru there will be some lights</p> <p>13 underneath that drive-thru canopy.</p> <p>14 MS. CRNOVICH: How many light poles</p> <p>15 will be out there again?</p> <p>16 MR. MOUCH: When we did the photometric</p> <p>17 study it was done where there wasn't going to be</p> <p>18 any light bleeding onto the neighboring sites.</p> <p>19 MR. COULES: While Don is counting,</p> <p>20 Steve and Julie, in the submittal for the</p> <p>21 special use permit criteria the hours of</p> <p>22 operation were listed in here. Just so you</p>
<p style="text-align: right;">91</p> <p>1 your thoughts?</p> <p>2 MS. FISHER: I think it looks great. I</p> <p>3 think it's a nice addition. Thank you.</p> <p>4 CHAIRMAN CASHMAN: Anna?</p> <p>5 MS. FIASCONE: I agree. Much</p> <p>6 improvement.</p> <p>7 CHAIRMAN CASHMAN: Troy?</p> <p>8 MR. UNELL: I agree as well. It's an</p> <p>9 improvement and welcome to Hinsdale.</p> <p>10 CHAIRMAN CASHMAN: Pat?</p> <p>11 MR. HURLEY: I agree with what Troy</p> <p>12 just said and obviously we want to strike that</p> <p>13 balance and not have too many parking</p> <p>14 difficulties, but to the extent that we can</p> <p>15 beautify things without having difficulties with</p> <p>16 sight lines for people pulling out. I know cars</p> <p>17 can zip certainly past Shell, want to be careful</p> <p>18 about that, but I think those concerns are put</p> <p>19 to bed. Looks great. Thanks.</p> <p>20 CHAIRMAN CASHMAN: Okay. I guess I'd</p> <p>21 like to hear a motion.</p> <p>22 MS. CRNOVICH: Excuse me, Steve. I</p>	<p style="text-align: right;">93</p> <p>1 know, it was listed as branch hours are 8 to 5,</p> <p>2 drive-thru had the same hours, the operation of</p> <p>3 staff hours will be 7:00 a.m. to 6 p.m. with</p> <p>4 most staff working 8 a.m. to 5 p.m. That was</p> <p>5 right in the submittal. So no one should be</p> <p>6 really there after 7, 8 at night at the latest.</p> <p>7 MS. CRNOVICH: So they will be off by</p> <p>8 10 no later.</p> <p>9 CHAIRMAN CASHMAN: An hour after</p> <p>10 business close they dim them to security level</p> <p>11 or turn them off, either one?</p> <p>12 MR. COULES: Yes. They wouldn't</p> <p>13 reflect on the houses because they have parking</p> <p>14 behind them too, yes.</p> <p>15 MS. CRNOVICH: One more question.</p> <p>16 Were there any comments from any of</p> <p>17 the neighbors from the public notice?</p> <p>18 MR. COULES: Zero. And I wrote them</p> <p>19 all a letter.</p> <p>20 MS. CRNOVICH: Okay. Thank you.</p> <p>21 MR. KRILLENBERGER: What did the letter</p> <p>22 say?</p>

<p style="text-align: center;">94</p> <p>1 MR. COULES: I sent them the plan and I</p> <p>2 showed them that it was going to be the two</p> <p>3 requests were to have a bank go in there for the</p> <p>4 site plan approval and a special use to have the</p> <p>5 drive-thrus and I gave them the whole site plan.</p> <p>6 MR. KRILLENBERGER: Outstanding. Good.</p> <p>7 Banks are quiet.</p> <p>8 MR. COULES: Yes. They were really</p> <p>9 happy to see the submittals.</p> <p>10 MR. KRILLENBERGER: They are not open</p> <p>11 Sundays. Party banks are very unusual.</p> <p>12 CHAIRMAN CASHMAN: Anything else,</p> <p>13 Julie?</p> <p>14 MS. CRNOVICH: No. I think I'm done</p> <p>15 for the night.</p> <p>16 CHAIRMAN CASHMAN: Can I hear a motion</p> <p>17 to approve Case A-22-2020, 222 East Ogden</p> <p>18 Avenue, the special use permit, exterior</p> <p>19 appearance and site plan with the conditions</p> <p>20 that the parking lot, parking area along Ogden</p> <p>21 Avenue, that the peninsula -- landscape</p> <p>22 peninsula on the west would be enlarged and a</p>	<p style="text-align: center;">96</p> <p>1 MR. MCGINNIS: Commissioner Unell?</p> <p>2 MR. UNELL: Aye.</p> <p>3 MR. MCGINNIS: Commissioner Fiascone?</p> <p>4 MS. FIASCONE: Aye.</p> <p>5 MR. MCGINNIS: Chairman Cashman?</p> <p>6 CHAIRMAN CASHMAN: Aye.</p> <p>7 Motion to close the public hearing.</p> <p>8 MR. JABLONSKI: So moved.</p> <p>9 MS. FISHER: Second.</p> <p>10 CHAIRMAN CASHMAN: Robb, can I have a</p> <p>11 roll call, please?</p> <p>12 MR. MCGINNIS: Commissioner Hurley?</p> <p>13 MR. HURLEY: Aye.</p> <p>14 MR. MCGINNIS: Commissioner Fisher?</p> <p>15 MS. FISHER: Aye.</p> <p>16 MR. MCGINNIS: Commissioner Jablonski?</p> <p>17 MR. JABLONSKI: Aye.</p> <p>18 MR. MCGINNIS: Commissioner Crnovich?</p> <p>19 MS. CRNOVICH: Aye.</p> <p>20 MR. MCGINNIS: Commissioner Unell?</p> <p>21 MR. UNELL: Aye.</p> <p>22 MR. MCGINNIS: Commissioner Fiascone?</p>
<p style="text-align: center;">95</p> <p>1 peninsula would be added on the east of that</p> <p>2 road by 10 parking spaces to increase</p> <p>3 landscaping and to add a couple either deciduous</p> <p>4 trees, ornamental trees in that landscaped area</p> <p>5 with shrubs and ground cover.</p> <p>6 MR. KRILLENBERGER: Pat, do you want to</p> <p>7 so motion, you are new?</p> <p>8 MR. HURLEY: So moved.</p> <p>9 MR. KRILLENBERGER: Second.</p> <p>10 CHAIRMAN CASHMAN: Robb, can we have a</p> <p>11 roll call vote, please?</p> <p>12 MR. MCGINNIS: Commissioner</p> <p>13 Krillenberg?</p> <p>14 MR. KRILLENBERGER: Aye.</p> <p>15 MR. MCGINNIS: Commissioner Hurley?</p> <p>16 MR. HURLEY: Aye.</p> <p>17 MR. MCGINNIS: Commissioner Fisher?</p> <p>18 MS. FISHER: Aye.</p> <p>19 MR. MCGINNIS: Commissioner Jablonski?</p> <p>20 MR. JABLONSKI: Aye.</p> <p>21 MR. MCGINNIS: Commissioner Crnovich?</p> <p>22 MS. CRNOVICH: Aye.</p>	<p style="text-align: center;">97</p> <p>1 MS. FIASCONE: Aye.</p> <p>2 MR. MCGINNIS: Chairman Cashman?</p> <p>3 CHAIRMAN CASHMAN: Aye.</p> <p>4 Thanks, Don, Steve, Pete, really</p> <p>5 appreciate it.</p> <p>6 (WHICH, were all of the</p> <p>7 proceedings had, evidence</p> <p>8 offered or received in the</p> <p>9 above entitled cause.)</p> <p>10</p> <p>11</p> <p>12</p> <p>13</p> <p>14</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p>

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

I, KATHLEEN W. BONO, Certified
Shorthand Reporter, Notary Public in and for the
County DuPage, State of Illinois, do hereby
certify that previous to the commencement of the
examination and testimony of the various
witnesses herein via Zoom, they were duly sworn
by me to testify the truth in relation to the
matters pertaining hereto; that the testimony
given by said witnesses was reduced to writing
by means of shorthand and thereafter transcribed
into typewritten form; and that the foregoing is
a true, correct and complete transcript of my
shorthand notes so taken aforesaid.

IN TESTIMONY WHEREOF I have
hereunto set my hand and affix my electronic
signature this 24th day of November 2020.



KATHLEEN W. BONO

C.S.R. No. 84-1423

Notary Public, DuPage County



Village of Hinsdale
Tom Cauley, Village President and Board of Trustees
19 E. Chicago Avenue
Hinsdale, IL 60521

January 5, 2021

Dear President Cauley and Board of Trustees,

The Hinsdale Chamber of Commerce would like to thank the Village Board and staff for your dedication and continued support in an effort to enhance and maintain a healthy vibrant Hinsdale business community. Hinsdale continues to develop and prosper; touted as a "destination" shopping location the entire community can be proud of. In those efforts the Chamber appreciates our partnership and strong working relationship we have established with the Village of Hinsdale in order to produce the annual community special events planned for 2021.

Due to the continuation of COVID-19 restrictions, we understand that certain events such as Uniquely Thursdays, Wine Walk, and Christmas Walk may be delayed to approve due to crowd restrictions. Therefore, the Hinsdale Chamber of Commerce requests that the events from 2020 that occurred be approved within a timely manner and other events are determined 3 months prior to the event date in order to provide the Hinsdale Chamber ample time to execute the event successfully.

As the summer months are just around the corner, the Chamber has been hard at work coordinating all aspects of the traditional seasonal events soon to launch.

Enclosed is a copy of the Chamber's proposed calendar for 2021 including Special Events dates and specific requests for assistance in order to host and conduct the safest, finest and orderly run activities possible for our residents and the surrounding area visitors. The Chamber is requesting permission from the Village of Hinsdale to promote and conduct these annual events on the dates suggested. We look forward to another successful special event season and we are honored to host them each and every year.

Thank you for your consideration,

Bob Smith, Chairman of the Board
Hinsdale Chamber of Commerce

cc: Kathleen Gargano; Village Manager



Hinsdale Chamber of Commerce 2021 Schedule of Events

- June 5-6** **HINSDALE FINE ARTS SHOW**, Saturday and Sunday, in Burlington Park, 10:00 a.m. – 5:00 p.m. both days. Over 100 juried artists take to the park for this wonderful, eclectic art show. Music, children's activities, giveaways and more.
- June 10 -
August 12** **UNIQUELY THURSDAYS**, Thursday evenings, 6:00 – 9:00 p.m., in Burlington Park, located between Garfield and Washington Streets on Chicago Avenue. Live music by some of the Midwest's top bands. Food vendors, sponsor giveaways, family fun each Thursday night in Hinsdale.
- May 31 -
October 25** **FARMER'S MARKET**, Mondays only, in Burlington Park, located between, Garfield and Washington Streets on Chicago Avenue. From 7:00 a.m. to 1:00 p.m. Over 25 vendors displaying the area's finest home grown, home spun products.
- July 23 & 24** **SIDEWALK SALE**, Friday and Saturday, on sidewalks in front of participating businesses, from 9:00 a.m. to 4:00 p.m. both days.
- October 14** **ANNUAL HINSDALE WINE WALK** – 5 – 7:30 PM in the downtown Hinsdale Business District –Co-sponsored with Village of Hinsdale.
- October 16** **HINSDALE FALL FESTIVAL** – Saturday (location TBD), 11:00 a.m. – 2:00 p.m. In conjunction with the Village of Hinsdale – Halloween fun in downtown Hinsdale. Co-sponsored with Village of Hinsdale.
- December 3** **CHRISTMAS WALK** – Friday, from 5:00 p.m. to 7:30 p.m. in all business districts – downtown, Grant and Gateway Squares. Merchant's stores open to celebrate the holiday season with customers and visitors to Hinsdale. Live music, 30' carousel, trackless train, costume characters, giveaways and more!
Visit Santa in Burlington Park: Sat, Dec 11 & Dec 18 from 11 am – 3 pm.

**events and/or scheduled dates subject to change upon approval of the Chamber Board of Directors.*

BANNER DISPLAY REQUEST 2021

RE: Fine Arts Festival, Farmers Market, Merchant Sidewalk Sale, Uniquely Thursdays, Wine Walk and Christmas Walk banners

This letter is to request banner location and installation in the Village of Hinsdale for the upcoming Chamber Special Events.

Requested horizontal banner placement at train depot for the following events:

Farmers Market to be placed Monday, June 7 (train depot after Fine Arts Event)

Fine Arts Festival to be placed Monday, May 17 to Monday June 7

Uniquely Thursdays to be placed Friday, May 21

Merchant Sidewalk Sale to be placed Friday, July 16 to July 26

Wine Walk to be placed Monday, September 27 to October 15

Christmas Walk to be placed Friday, November 19 to December 6

*Ogden and York (Sidewalk Sale & Christmas Walk)

*Brush Hill Train Depot (See above for the events)

*Burlington Park – (Fine Arts Festival Only)

*Corner of 55th and Garfield - (Sidewalk Sale & Christmas Walk)

*55th and County Line Road - (Sidewalk Sale & Christmas Walk)

Additional request for vertical/lamppost banner installation for the following events:

Farmers Market: Monday, May 10

Fine Arts Festival: Monday, May 10 to June 7

Uniquely Thursdays: Monday, June 7

Christmas Walk: Friday, November 12 to December 6

We look forward to the Village's reply. Thank you for your time in advance.

Best Regards,

Eva Field
President & CEO
Hinsdale Chamber of Commerce



Village of Hinsdale Board of Trustees
Thomas Cauley, Jr.; Village President
19 E Chicago Ave
Hinsdale, IL 60521

Dear President Cauley and Board of Trustees,

The Hinsdale Chamber of Commerce has begun work on the 47th Annual Hinsdale Fine Arts Festival scheduled for Saturday and Sunday, June 5th & 6th, 2021. The Fine Arts Festival Committee wishes to make the annual request for permission from the Village of Hinsdale to close the portion of Chicago Avenue between Garfield Street and Washington Street beginning Friday, June 4th at 9:00 a.m. until Sunday, June 6th at 6:00 p.m.

Traditionally, the committee's additional requests of the Village are as follows:

- Allow the Hinsdale Memorial Building restrooms to remain open to the public for the duration of the festival.
- Provide twelve additional trash receptacles within the festival area, to be emptied periodically throughout Saturday and Sunday.
- Provide ten tables and eight chairs for the information booth.
- Provide a hose hook-up for the food concession.
- Schedule grass to be cut and park marked two days prior to event set-up.
- Permission to post promotional banners two weeks prior to the festival as requested.
- Permission to display ten (10) vertical banners on village lampposts for a maximum of three (3) weeks as requested.
- Provide a uniformed community service officer on site for both days of the event.
- Allow the participants to begin their set up process after 9:00 a.m. on Friday morning. A security guard will be provided by the Hinsdale Fine Arts Festival committee, to be present in the park in the overnight hours on Friday and Saturday evenings as an additional safety measure to the artist's equipment & materials.
- Permission to allow artists traveling with large trailers or mobile homes to park in the Public Services Garage lot overnight.
- The Hinsdale Chamber of Commerce respects and appreciates all of the support and special efforts made by the Village staff in order to promote and execute an event such as this. We are truly grateful for your consideration of these issues. You may direct any further questions to the Hinsdale Chamber of Commerce 630-323-3952, Thank You.

Respectfully Submitted,

Eva Field; President & CEO
Hinsdale Chamber of Commerce

Cc: Kathleen Gargano; Village Manager



UNIQUELY THURSDAYS

Village of Hinsdale Board of Trustees
Thomas Cauley, Jr.; Village President
19 E Chicago Avenue
Hinsdale, IL 60521

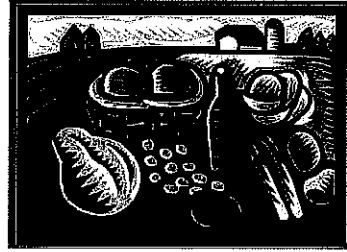
Dear President Cauley and Board of Trustees,

The Hinsdale Chamber of Commerce is planning to conduct ***Uniquely Thursdays*** for ten weeks. Celebrating our 19th season, the ***Uniquely Thursday's*** event has continued success in drawing to new and returning visitors and residents into downtown Hinsdale. ***Uniquely Thursdays*** has become an established favorite and very popular event the community thoroughly enjoys and supports! The Chamber is requesting the following:

- ***Uniquely Thursday's*** event to be in Burlington Park and is asking the Village's permission to close Chicago Avenue between Garfield Street and Washington Street each Thursday evening between 4:00 p.m. to 10:00 p.m. starting on June 10th through August 12th.
- Support of the Public Services Department: the Chamber requests additional assistance from the Village of Hinsdale for the physical set-up/break down of the event equipment; tables, tent, pop-up canopies, garbage cans, ice for beer & wine products, coolers, signage and electrical & water hook-ups.
- The Chamber requests assistance from the Hinsdale Police Department for the control of liquor on the premises (not sold at the event) and the assistance to prohibit outside solicitation, on event nights (10 Thursdays throughout the summer.)
- Allow two portable restrooms to be placed in the park each Thursday.

If you have any questions, please do not hesitate to contact me at the Chamber Office (630) 323-3952. I thank you for your time in advance.

Best Regards,
Eva Field
President & CEO
Hinsdale Chamber of Commerce
CC: Kathleen Gargano; Village Manager



FARMERS MARKET

Village of Hinsdale Board of Trustees
Thomas Cauley, Jr.; Village President
19 E Chicago Avenue
Hinsdale, IL 60521

Dear President Cauley and Board of Trustees,

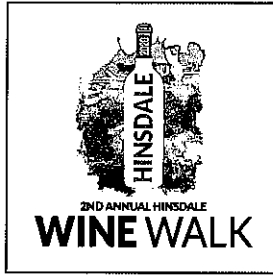
The Hinsdale Chamber of Commerce Farmers Market season will get underway on Monday, May 31, 2021 and run through October 25, 2021. The Burlington Park location provides a beautiful setting with great visibility for the market and it continues to grow in popularity; especially for the lunch crowd. The Committee wishes to request permission from the Village of Hinsdale for the following items:

- Close a portion of Chicago Avenue between Garfield Street and Washington Street from 6:30 a.m. to 2:00 p.m. on a weekly basis for the duration of the event. The time requested would allow the farmers/vendors time to setup/take down and clean up safely.
- Permission to mark the pavement for the farmer/vendor booth space locations.
- Provide a policeman or community service officer to assist in the opening and closing of Chicago Avenue.
- Post promotional vertical banners three weeks prior and horizontal banners two weeks prior to the Farmers Market opening day as requested.
- Permission to host "Fitness in the Park" in Burlington Park.

The Hinsdale Chamber of Commerce appreciates and respects the continued support and special efforts made by the Village staff for the execution and assistance of Chamber events. Further questions may be directed to the Hinsdale Chamber of Commerce 630-323-3952.

Respectfully Submitted,

Eva Field; President & CEO
Hinsdale Chamber of Commerce
Cc: Kathleen Gargano; Village Manager



Hinsdale Wine Walk

Village of Hinsdale Board of Trustees
Thomas Cauley, Jr.; Village President
19 E Chicago Avenue
Hinsdale, IL 60521

Dear President, Cauley and Board of Trustees,

The Hinsdale Chamber of Commerce will once again conduct the 2nd Annual Hinsdale Wine Walk event on Thursday, October 14, 2021 in the central business district from 5-7:30 pm.

Event details include:

Public pre-sale tickets to be capped at 500 (last year was 350 tickets sold in a week). A portion of ticket sales will be donated to a local charity to be determined at this time.

The Hinsdale Wine Shop will be the check-in point to have ID'S checked by Basset trained chamber member volunteers along with wine walk map, lanyards, and plastic/acrylic souvenir wine glass. No street closures are requested for this event. The Chamber has discussed this event with the Hinsdale Police Department so they are aware and can provide a police presence as needed.

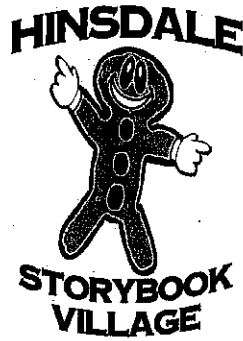
Approximately 25 (last year 23 tasting stops) retailers will be participating as wine tasting locations to serve no more than a 1 ounce pour to each paid attendee per location. Wine walk participants will be able to sample up to 15 (last year 12), 1-ounce pours. Each participating retailer will offer light bites. Each participant will be applying for a D-2 one-time special event license with the Village in order to participate. **Due to the number of anticipated one-time special event licenses, the Chamber is requesting a reduction in the \$100 fee for each business.**

The Hinsdale Wine Walk is an excellent way to highlight Hinsdale and Hinsdale's business district as a thriving community to a broader audience.

As always, the Chamber appreciates the continued support and partnership for the Hinsdale community. If you have any questions, please do not hesitate to contact our office at (630) 323-3952.

Thank you,

Eva Field
President & CEO
Hinsdale Chamber of Commerce



Village of Hinsdale
Village President; Tom Cauley and Board of Trustees
19 E Chicago Avenue
Hinsdale, IL 60521

Dear President Cauley and Village Board of Trustees,

The Hinsdale Chamber of Commerce is working diligently planning this year's festivities. Here is an overview of the activities we have developed.

The 56th Annual Hinsdale Christmas Walk is scheduled for Friday, December 3, 2021. As always, the traditional activities will include a tree lighting ceremony, carolers, Santa, and other costumed characters, 30' carousel, trackless train, live reindeer, merchants thanking their valued customers with goodies and treats during extended shopping hours, food vendors, and more.

Also, Santa will be visiting with the children in the Gingerbread House the two Saturdays following (the weekend of the Christmas Walk) and children may deliver their letters to Santa at the North Pole Post Office. The Chamber is requesting the North Pole Post Office and the Gingerbread Santa House to be placed on display in Burlington Park for holiday season.

The Chamber will be responsible for hosting visits with Santa on Saturday December 11th & 18th. Santa will be on site in the Gingerbread House between the hours of 11:00 a.m. to 3:00 p.m. on those Saturdays.

Promotional advertising for the event may include lamppost banners, street banners, posters, newsprint advertising, and social media outlets.

In support of the holiday festivities the Chamber would like to request the following items from the Village:

- Placement of Gingerbread Santa house, North Pole Post Office, and the Gingerbread Man forms in Burlington Park. Installation complete by Friday, December 3, 2021.
- Request storing Gingerbread Santa house and North Pole Post Office near public service garage off season while not on display.

- Police security in and around town on December 3, 2021 with continued security for prevention of vandalism of Santa house and North Pole Post Office throughout the season.
- **Public Services support in working with the Chamber on Christmas Walk set up (i.e.) barricades at street closures. Please note: the Chamber would like to be able to close Washington Street (between Hinsdale Avenue & Second Street) on Friday, December 3th between the hours of 4:00 p.m. and 7:30 p.m. and request to be able to close Washington & Second Streets at 2:30 pm to accommodate the delivery, setup and operation of the 30' carousel ride attraction at Washington & Second Street. Close West of First St to Harrison Place. Close East First St to Garfield which will include closing Village Place to accommodate an attraction at this end of the street for the businesses located there.**
- **Public Services and Hinsdale Police Department support in closing a portion of First Street (east of Washington Street up to the first alley-way located on the north side of First Street) on Friday, December 4th between the hours of 4:00 p.m. and 7:30 p.m. to accommodate the delivery, setup and operation of the children's train-ride attraction.**
- Hinsdale Fire Department to provide a fire truck escort for Santa to arrive at Village Hall for the tree lighting ceremony at 5:00 p.m.

Lamppost Banner placement (as requested) to be displayed (for holiday season) on designated lampposts.

We thank you for your time and consideration of this Holiday proposal. As always, we appreciate and look forward to the continued support of the Hinsdale Chamber of Commerce by the Village, its Officials and Staff.

Best regards,

Eva Field; President & CEO
Hinsdale Chamber of Commerce

CC: Kathleen Gargano; Village Manager



11a

MEMORANDUM

DATE: January 13, 2021

TO: President Cauley and Village Board of Trustees
Kathleen Gargano, Village Manager

FROM: Garrett Hummel, Administrative Analyst

RE: Public Services Monthly Report – December 2020

Provided below is the monthly staff report from the Public Services Department. This highlights activities that occurred during the month of December.

- Roadway Division completed 78 service requests in December.
- Village crews completed setting up the holiday decorations. Over 200 wreaths were installed in and around the business district, Burlington Park, the Memorial Building and Katherine Legge Memorial Park.
- Staff applied for Tree City USA status for 2020, it would be the Village's 29th year as Tree City USA.
- Staff assisted the Village's contractor with the Veeck Park athletic field turf renovation. The fields were aerated and over 90 tons of top-dressing sand and over 600 pounds of grass seed were incorporated into the fields.
- Staff installed over 40 tons of rip rap stone along the west end of KLM Creek to mitigate creek bank erosion.
- Staff installed the framing for the ice rink at Burns Field
- Water division had 2 water main breaks in December.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Roadway Division
Monthly Report – December 2020**

Activity Measures

Standard Tasks	December 2020	Prev Month	YTD 2020
Signs	43	22	666
Posts	6	4	311
Signs Repaired	7	5	77
Cold Mix (tons)	3	2	41
Hot Mix (tons)	0	0	95.40
Gravel for Alleys (tons)	3	2	31
White Paint (gallons)	0	2	47
Yellow Paint (gallons)	0	0	0
Basin top Cleaning (man-hours)	36	67	259
Alley Grading (man-hours)	18	8	228
Alley Trimming (man-hours)	0	0	25
Concrete (yards)	0	0	20
Snow & Ice Callouts	4	1	27
Road Salt Used (tons)	102	10	669.75
Sand Used (tons)	0	0	0
Salt & Calcium for walks, stairs, etc. (tons)	10	0	45
Leaves Swept Up (yards)	300	220	1010
Central Business District Sweeps	3	3	28
Complete Village Sweeps	1	1	3
Parking Lot Sweeps	0	1	1
Street Light Poles Repaired	0	0	16
Request For Services Completed	78	126	1063



MEMORANDUM

Sump pump issues	23	0	106
Pool maintenance (Man hours)	0	0	0
Parkway Restorations	1	10	75
Parking meters	2	3	15
Special Events (man hours)	24	44	270
Hauling to dump	3	4	6

Significant issues for this month:

- Public Services filled potholes in miscellaneous problem/complaint areas and water main breaks using two (2) tons of coldpatch.
- Roadway Division completed 78 service requests in December.
- Public Services spent 36 man hours clearing basin tops during flood control.
- Lakeshore Recycling Systems completed the second of two fall complete Village roadway sweeps.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Forestry Division
Monthly Report – December 2020**

Trees pruned by Village Staff:

- Small tree pruning (diameter 10 inches and less) – Small tree pruning is scheduled to begin in January 2021.
- Completed twenty-nine (29) resident tree work requests, pruning fifty-three (53) trees.

Trees pruned by contractor (diameter 10 inches and above):

- The pruning program scheduled for this fiscal year has restarted. The area to be pruned in this cycle is the northwest section of the Village. 244 trees were pruned in December. A total of 960 trees have been pruned through the Village's pruning contractor this year.

Trees removed by Village Staff:

- 5 public trees were removed in December.
- 219 public trees removed by staff this calendar year.
- 12 public trees are currently scheduled for removal by staff.

Trees removed by contractor:

- Elm – 0
- Ash - 0
- Other – 1
- 79 public trees were removed by a contractor this calendar year.
- 6 public trees are currently scheduled for removal by contractor.

Ash trees infested by Emerald Ash Borer detected by Village Staff:

- 0 public EAB positive ash trees were detected in December; 28 public EAB positive ash trees have been detected this calendar year.
- 0 private EAB positive ash trees were detected in December; 16 private EAB positive ash trees have been detected this calendar year.

Ash trees removed:

- 0 ash tree was removed this month (0 Village / 0 Contractor).
- 43 ash trees were removed this calendar year (31 Village / 12 Contractor).
- 1560 ash trees have been removed since February 2011 (1252 EAB Positive).



MEMORANDUM

Ash trees that have been treated to manage infestation by Emerald Ash Borer:

- Soil injection treatments of 260 ash trees were completed in April.
- Trunk injection treatments of 31 ash trees were completed in June.

Elm diseased trees detected by Village Staff:

- 0 public DED positive elm trees were detected in December; 27 DED positive elm trees were detected this calendar year (14 treated/13 untreated).
- 17 additional elms were lost due to storm damage and construction damage.
- 0 private DED positive elm trees were detected in December; 25 DED positive elm trees were detected this calendar year.

Elm trees that have had diseased limbs removed (amputations):

- 0 parkway trees.

Elm trees that have been inoculated for prevention of Dutch elm disease:

- A total of 371 elms have been treated this season out of the 437 elms that were scheduled to be treated in 2020. The remaining 66 elms will be scheduled for treatment in 2021.

Tree stumps removed by Village Staff:

- 2 tree stumps were routed, the mulch removed, and the area restored with top soil and grass seed.

Trees Planted:

- 0 trees were planted through the Village's Planting Program.
- 0 trees were planted through the Tribute Tree Program.
- 0 tree was planted through the Resident Reimbursement Program.

Other:

- Village crews completed setting up the holiday decorations. Over 200 wreaths were installed in and around the business district, Burlington Park, the Memorial Building and Katherine Legge Memorial Park.
- Staff adjusted numerous tree grates in the CBD to improve growing space for the street trees.
- Staff applied for Tree City USA status for 2020, it would be the Village's 29th year as Tree City USA.
- Staff reviewed and commented on 3 tree preservation plans submitted for building permits.

Tree Preservation (Public Services)

	December 2020	Previous Mo	YTD 2020
Tree Pruning Contractual	244	71	960
Tree Pruning In-House	53	24	199
Small Tree Pruning In-House	0	0	725
Tree Removal Contractual	1	3	79
Tree Removal In-House	5	29	219
Trees Planted	0	59	191
Elm Trees Treated	0	0	371
Dutch Elm Disease Losses (Private)	0	0	0
Elm Losses (Public)	0	2	17
Ash Trees Treated	0	0	291
Ash Tree Removal - EAB (Private)	0	0	0
Ash Tree Removal – EAB (Public) <i>Note: since Feb 2011, 1,560 public Ash trees have been removed</i>	In-House 0	In-House 3	In-House 31
	Contracted 0	Contracted 0	Contracted 12
Tree Preservation Plan Reviews	3	9	92



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Parks Maintenance Division
Monthly Report – December 2020**

Activity Measures

December Totals			
Job Task	Hours	Accomplished	Units
Administration	0	0	Hour
Clean Bathroom	2	12	Each Bathroom
Refuse Removal	34.5	34.5	Hour
Fountain Maintenance	0	0	Hour
Litter Removal	104.5	104.5	Hour
Weed Removal	6.5	6.5	Hour
Brush Pick Up	0	0	Hour
Athletic Field Striping	0	0	Each Field
Infield Maintenance	0	0	Each Field
Athletic Goal/Net Maintenance	0	0	Each Goal
Turf Repair/Sod Installation	0	0	Hour
Aeration	7.5	7.5	Hour
Over seeding	0	0	Lbs. of Seed
Turf Evaluation/Soil Testing	0	0	Each
Hardwood Mulch Installation	0	0	Cubic Yard
Leaf Mulching	16.5	16.5	Hour
Mowing	0	0	Hour
Land Clearing	183	183	Hour
Planting Bed Preparation	0	0	Hour
Plant Installation/Removal	0	0	Hour
Flowering Bulb Installation/Removal	0	0	Hour
Tree and Shrub Maintenance	0	0	Hour
Fertilization	0	0	Hour
Watering	0	0	Hour
Pest and Weed Control (chemical)	0	0	Hour
Irrigation Start Up (spring)	0	0	Each
Irrigation Repair	0	0	Each



MEMORANDUM

Irrigation Winterization	0	0	Each
Playground Maintenance/Repair	16	16	Hour
Playground Inspection	0	0	Each
Playground Mulch Installation	0	0	Cubic Yards
Holiday Decorating	16	16	Hour
Platform Tennis Repairs	0	0	Each
Special Events	0	0	Hour
Building Maintenance	14	14	Hour
Equipment/Vehicle Maintenance	6	8	Each
Training/Education	0	0	Hour
Skate Park Maintenance	0	0	Hour
Ice Rink Maintenance	0	0	Hour
Miscellaneous	100.5	100.5	Hour



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Parks Maintenance
Monthly Highlights – December 2020**

Contractual Maintenance

- **Landscape Maintenance and Mowing**
 - Leaf mulching and Fall Clean Up has been completed.
- **Rain Garden Maintenance**
 - Leaf mulching and Fall Clean Up has been completed.
- **Summer Weekend Parks Bathroom and Garbage Maintenance**
 - The Village's contractor concluded weekend and holiday garbage disposal for Village Parks and the Central Business District.

General Park Maintenance

- **Landscape Maintenance**
 - Landscape areas in parks and the Central Business District were inspected and cleaned.
 - Leaf mulching and Fall Clean Up has been completed.
- **Bathroom Shelters (Six Sites – 12 Bathrooms & 3 Picnic Shelters)**
 - All bathrooms remained closed

Athletics

- Field winterization has been completed with the removal and storage of soccer goals.

Central Business District

- Staff completed the installation of holiday wreaths.

Other

- Staff assisted the Village's contractor with the Veeck Park athletic field turf renovation. The fields were aerated and over 90 tons of top-dressing sand and over 600 pounds of grass seed were incorporated into the fields.
- Staff installed over 40 tons of rip rap stone along the west end of KLM Creek to mitigate creek bank erosion.
- Staff installed the framing for the ice rink at Burns Field
- Staff installed straw bales at Brush Hill and KLM Park to trees around the sledding hills.
- Staff cleaned litter and mulched leaves at Brook, Burns, Veeck, KLM Park, Village Tennis Courts and Village Green Areas.
- Staff cleared fence brush at Brook, Veeck and KLM Park.
- Staff installed a tribute bench at the Memorial Building and Brush Hill Train Station.



MEMORANDUM

- Staff completed a 'Request for Proposal' for the supply of next year's flowers for the Central Business District.
- Staff applied for two open burn permits from IEPA for the prescribed burns scheduled for the Hinsdale Prairie and the Charleston Aquatic Gardens in March 2021.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Buildings Maintenance Division
Monthly Report – December 2020**

Building Security and Fire Suppression

- Checked Village Hall burglar alarm all faults were cleared. Also replaced several batteries in various sending transmitters.
- Worked with Fire Protection Company to conduct inspections and testing of water sprinkler systems at various locations.

HVAC

- Met and worked with Kluber Engineers on the plans for the new boiler at the Police / Fire Station.
- Checked and adjusted the heating unit in Police DCs office.
- Placed order and picked up heating filters for service in various buildings.
- Checked Memorial Hall and Village Hall Steam boilers daily.
- Installed new heat tape at the Pool locker room on the fire sprinkler drain line.
- Checked Police / Fire boiler daily found that the area around the boiler has been dry no water leaking.
- Installed new boiler insurance certificates at various buildings.
- Checked heating units at the Hinsdale Pool sprinkler room and filter room.
- Checked heating furnace at the KLM Annex replace filter and adjust air flow to bathrooms.
- Changed drum of boiler chemical for the Memorial Hall steam boilers.
- Checked and adjusted heating system at Burns Field warming house, replaced filters.
- Checked heat at the old Humane Society building.
- Checked heat at the Hinsdale Youth Center.
- Checked hot water boilers at the Water Plant, replaced filters and set up Lab humidifier system for winter.
- Checked boiler at KLM 181 now Village Offices for winter.
- Checked all thermostats at the KLM Lodge for proper setting.
- Cleaned boiler room at the Public Services Garage of stored items.
- Serviced and replaced heating filters on air handlers units at the Police / Fire Building.



MEMORANDUM

- Serviced, cleaned and repaired heating / cooling unit at the Police Station in the squad room.

General Maintenance

- Worked on putting up Christmas decorations at the Village Hall and Memorial Hall. Also checked light on large tree found lights not working properly had to be replaced.
- Repaired flag pole rope at the Village Hall rope was cut through during strong winds.
- Repaired electric strike at the Police Station in booking room.
- Cleaned roof and drained heads at Police / Fire station of debris.
- Worked at Police Station on two office remodeling projects.
- Cleaned all roof sections and gutters at KLM Lodge.
- Checked electrical power supply at the Memorial Hall food pantry.
- Cleaned toilets and added more anti-freeze at Brook Park bathrooms.
- Repaired Sloan valve in the Police Station Men's locker room.
- Changed locks at Brook Park bathrooms to keep people out during the winter when the building is closed.
- Worked with various contractors to obtain numbers on putting Brush Hill Station heat and ceiling repairs back in order.
- Conducted Covid-19 cleaning daily at the Police Station and Hall.
- Kept all Village Flags at half-staff as per Governor.
- Checked building fire extinguishers.
- Checked building inspection reports as needed.
- Created new generator inspection report forms for 2021.
- Worked with Bravo Services to set up floor work and carpet cleaning at various locations during the Holiday breaks.

Administration

- Cleaned snow from walkways.
- Snow Plan Meeting.
- Met with engineer to discuss PD/Fire Boiler Replacement.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Water Division
Monthly Report – December 2020**

Water Activity Measures

Standard Tasks	December 2020	Prev Mo	YTD 2020
Utility Locates (JULIE)	391	391	5,657
B-Box/Service Locates	359	510	6,933
Water Mains Located	67	89	1,413
Main Break Repairs	2	2	31
B-Box/Service Repairs	3	2	24
Hydrants Replaced/Repaired	6	8	64
Service Connections/Inspections	4	7	44
Valve Installations/Repairs	0	1	4
Valves Exercised	1	6	89
Valves Located	30	45	515
Leak Investigations	5	6	46
Hydrants Flushed	7	10	92
High Bill Investigations	0	0	5
Water Fountains Serviced/Replaced	0	0	1
Disconnect Inspections	4	4	51
Meter Repairs	3	5	56
Meter/Remote Installs	2	3	79
Meters Removed	4	1	40
Meter Readings	45	29	315



MEMORANDUM

Water Main Break Repairs

December 2020	Prev Mo	YTD 2020
2	2	31

December Water Main Break Locations

<u>Date</u>	<u>Address</u>	<u>Pipe Size/Type</u>	<u>Air Temp.</u>	<u>Duration</u>
12/02/20	34 S. Madison	4" Cast Iron	38	4 hrs.
12/13/20	800 Jefferson	6" Cast Iron	40	5 hrs.



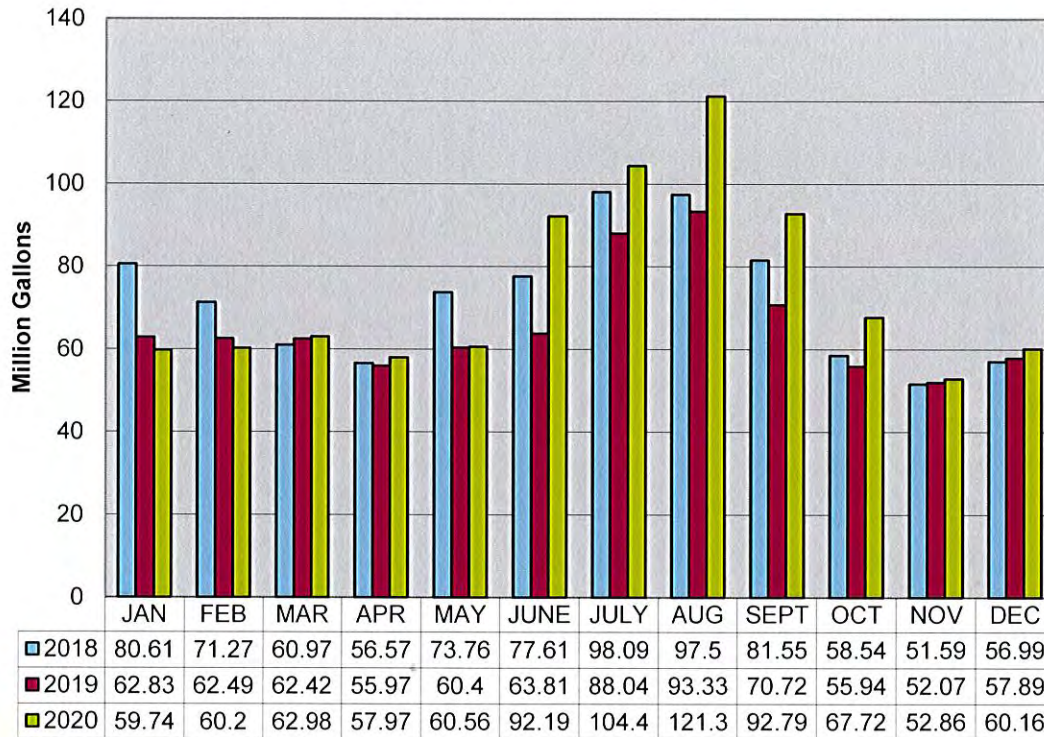
MEMORANDUM

**Village of Hinsdale
Department of Public Services
Sewer Division
Monthly Report – December 2020**

Sewer Activity Measures

Standard Tasks	December 2020	Prev Mo	YTD 2020
Catch Basins Replaced/Repaired	0	0	1
Inlet Replaced/Repaired	0	0	1
Manhole Replaced/Repaired	0	0	0
Catch Basins/Inlets Cleaned	16	15	145
Sewers Cleaned (feet) In-House	500	2,900	5,735
Sewers Cleaned (feet) Contractor	0	135,150	135,350
Sewers Televised (feet) Contractor	0	2,110	2,310
Sewers Replaced/Repaired (feet)	5	0	37
Sewer Mains Located	10	15	184
Back-up Investigations	1	2	13
Manholes Located	22	32	378
Cave-ins Checked	1	0	14
Sewer Inspections	0	2	2
IEPA sampling due to overflow event of combined sewers (Veeck CSO)	1	0	6

MONTHLY WATER PUMPAGE



December 2020

Standard Tasks	Check Oil, Grease Fittings, Rotate Shafts(Weekly)	Bacteria Sampling
High Service/Pool Pumps #1, #2, #3, #4	✓	N/A
Well Pump Motors #2, #5, and #10	✓	✓

Standard Tasks	December 2020	Prev Mo
Bacteria Samples	24	24
Field Chlorine	21	21
Field Turbidities	21	21
Lab Chlorine	27	24
Lab Turbidities	27	24
Lab pH	27	24
Lab Fluoride	27	24
Precipitation Readings	0	0
Temperature Readings (air)	27	24
Temperature Readings (water)	31	30
DBP Samples	0	0
Pumps Serviced	10	10
Special Well Samples	0	0
UCMR 4	0	12



MEMORANDUM

TO: President Cauley and the Board of Trustees
FROM: Dan Deeter, PE
DATE: January 19, 2021
RE: Engineering December 2020 Monthly Report
Executive Summary

- **2021 Infrastructure Improvement Projects.** Village consultants are working on design and/or bidding for the following projects:
 - 2021 Watermain Project Phase 2
 - 2021 Chicago Avenue Resurfacing Project
 - 2021 Eighth Street Reconstruction Project
 - 2022 S. Garfield Street Project
- **IDOT resurfacing of 47th Street over I-294 (County Line Road to Wolf Road).** After completing median repairs on the bridge approaches and applying asphalt patches to numerous joints in the concrete pavement, IDOT has suspended work for the 2020 construction year. Completion of the project, including an asphalt overlay over the entire street, is scheduled for the spring of 2021.
- **2020 Rainfall Data.** Total rainfall in 2020 was 38.5 inches. This is 8% higher than the average. Between 1986 and 2005, the average rainfall in northern Illinois was 34.5 inches. In the last 15 years, the average rainfall has been 40.9 inches – a 15% increase over the previous 20 years. As part of the Master Infrastructure Plan, Staff has been working to address localized drainage issues throughout the Village. A summary of the NOAA/USGS data is attached.



MEMORANDUM

TO: President Cauley and the Board of Trustees
FROM: Dan Deeter, PE
DATE: January 19, 2021
RE: Engineering December 2020 Monthly Report

The Engineering Division activities include working with the Building Division to complete site inspections, managing Capital Improvement Projects, responding to drainage complaints, and addressing environmental permit obligations. In total, three Engineering employees performed 40 construction site inspections or drainage complaint inspections in December.

Staff submitted four reports to the IEPA in December. Per Hinsdale's combined sewer overflow (CSO) permit #IL0066818, staff submitted one monthly Discharge Monitoring Report (DMR) for each of the Village's four Combined Sewer Overflow (CSO).

The following capital improvement projects and engineering studies are underway:

Chicago Avenue Watermain Phase 2 – Chicago Ave. from Washington to Stough

This project is scheduled for completion in 2021. The Village's engineering consultant, HR Green, is completing separate plans for watermain construction and the IDOT Surface Transportation Funded (STP) resurfacing. Since the STP funding requires more IDOT review, the watermain construction was developed as a separate project so that it could be bid earlier, before the IDOT review completion and approval

2021 WM Project Ph2

- 01/06/21 – Construction bid advertising
- 01/22/21 – Open construction bids
- 02/02/21 – Board of Trustees first read
- 02/16/21 – Board of Trustees second read
- 03/16/21 – Construction begins (est.)
- 06/01/21 – Construction complete (est.)

Chicago Avenue Resurfacing Project (STP funds)

- 05/07/21 – Construction bid advertising in IDOT service bulletin
- 06/11/21 – Open construction bids
- 07/13/21 – Board of Trustees Second Read



MEMORANDUM

- 08/10/21 – Construction begins (est.)
- 10/31/21 – Construction complete (est.)

Eighth Street Reconstruction

Rempe-Sharpe & Associates has begun surveying and design of the reconstruction of E. Eighth Street from Garfield Street to County Line Road. This project is part of the Master Infrastructure Plan.

- 02/05/21 – Plans available for VOH staff review
- 02/12/21 – VOH Staff review comments
- 02/25/21 – Bid Advertisement
- 03/18/21 – Bid Opening
- 04/06/21 – Board of Trustees First Read
- 04/20/21 – Board of Trustees Second Read
- 05/20/21 – Construction Begins (est.)
- 09/30/21 – Construction completed (est.)

2021 Maintenance Project

Rempe-Sharpe & Associates has begun surveying and design of the 2021 Maintenance project which includes the resurfacing of +/-1.2-miles of Village streets and resurfacing of the Village parking lot on W. Eighth Street near the Robbins park tennis courts.

- 01/14/21 – Advertise bids
- 02/04/21 – Open bids
- 02/16/21 – BOT first read
- 03/02/21 – BOT second read
- 04/01/21 – Construction begins (est.)

Other Engineering Activities

IDOT 47th Street Resurfacing

IDOT began repairs to 47th Street between County Line Road and Wolf Road in mid-September 2020. After completing median repairs on the bridge approaches and applying asphalt patches to numerous joints in the concrete pavement, IDOT has suspended work for the 2020 construction year. Completion of the project, including an asphalt overlay over the entire street, is scheduled for the spring of 2021.

Telecommunications Permit Applications

Staff and our telecom consultant continue to review telecommunications permit applications and their potential to impact 5G introduction in Hinsdale. Staff has yet to receive any formal applications for 5G small cell equipment. The following is a summary of the telecommunications permit applications in 2020:

Company	Location	Description	Approval Status	Approval Date
Verizon	S. Lincoln Street, 9 th Street, S. Madison St.	Install fiber optic cable	Pending	
T-Mobile	Hinsdale Water Tower	Upgrade antenna & other equipment to 5G broadband	Pending	
Verizon	W. First Street, Harrison Place	Place 2" HDPE conduit & handholes	Approved	11/02/20
Verizon	S Lincoln, W 9 th , S Grant, & 55 th Street	Place 2" HDPE conduit & handholes	Approved	10/05/20
Verizon	S. Madison St. & 55 th Street	Place 2" HDPE conduit	Approved	07/29/20
Sprint	Hinsdale Hospital	Install fiber optic lines for existing equipment	Approved	02/28/20

All private utility construction permits can be viewed on the Village website under Departments > Public Services & Engineering > Private Utility Construction

ComEd

ComEd is designing a new supply line from their transformer station at Symonds Drive & N. Park Street to S. Vine Street. Their proposed route is west on Symonds and Chicago Avenue and south on Vine Street to terminate south of the BNSF railroad tracks. The supply line will be directionally bored between new manholes which minimizes the impact to Village streets. Schedule:

- 01/12/21 – Award project to contractor
- 3rd or 4th week of January – Construction begins (est.)
- 03/01/21 – Construction completed (est.)

State and Federal Funding Opportunities A summary of the Grant Funds awarded or applied for by the Village of Hinsdale is attached.

Veeck Park Wet Weather Facility
Hinsdale, Illinois

Date	Overflow Ht. Above Weir (feet)	Precipitation (inches of water)	
12/01/19			
12/02/19			
12/03/19			
12/04/19			
12/05/19			
12/06/19			
12/07/19			
12/08/19			
12/09/19			
12/10/19			
12/11/19		0.78	
12/12/19	0.2	0.85	
12/13/19			
12/14/19			
12/15/19			
12/16/19			
12/17/19			
12/18/19			
12/19/19			
12/20/19			
12/21/19			
12/22/19			
12/23/19		0.22	
12/24/19			
12/25/19			
12/26/19			
12/27/19			
12/28/19			
12/29/19			
12/30/19		0.93	
12/31/19			
			YTD
Total Precipitation:	2.78	38.52	
Departure from Normal:	0.56	2.87	
	125%	108%	

Notes:

1. Rain data from USGS rain gage at 22nd St & Salt Creek

Village of Hinsdale

Source	Program	Purpose	Funds Available	Amount
Illinois Commerce Commission	Crossing Safety Improvement Program	Oak Street Bridge - 60% Funding	2015 Capital Budget	\$ 4,240,000
Senator Dillard	State Capital Bill	Oak Street Bridge	Effective January 1, 2011	\$ 825,000
West Suburban Mass Transit	Car Sale Proceeds	Oak Street Bridge King/Construction	50/50 Reimbursement	\$ 395,000
Illinois Dept of Transportation	Federal Highway Bridge Program	Oak Street Bridge Phase I	July 2010 - 8/0/20	\$ 680,000
DuPage Mayors & Managers	Federal Stimulus	S. Garfield Reconstruction	Paid Through IDOT	\$ 1,632,000
Senator Dillard & Rep Bellock	Emergency Repair Program	Street resurfacing	Upon Project Completion	\$ 300,000
Representative Bellock	State Capital Bill	N. Washington Reconstruction	Upon issuance of bonds	\$ 340,000
New Local Transportation Projects	State Capital Bill	Road Improvements	20% released October, 2010	\$ 389,540
Lyons Township	Bond Proceeds	KLM Park Pavilion	Upon Project Completion	\$ 150,000
DuPage Mayors & Managers	STP Program	Oak Street Bridge	2015 Capital Budget	\$ 3,830,000
IDNR	OSLAID	Improvements to KLM	Awarded	\$ 150,000
IEPA	ARRA/State Revolving Loan	Garfield Sewer Separation	Loan docs received 7/05/11	\$ 444,160
IEPA	ARRA/State Revolving Loan	Chestnut Sewer Separation	Loan docs received 8/16/11	\$ 3,728,196
West Suburban Mass Transit	Car Sale Proceeds	Highland Parking Lot	2/3 reimbursement	\$ 100,000
IDOT	Federal Highway Bridge Program	Oak Street Bridge Phases II & III	IDOT local agency agreement	\$ 5,904,514
Illinois Dept of Transportation	Surface Transportation Program (STP)	Garfield Street (Chicago Ave. - 55th) resurfacing (letting Jan 2019)	70% STP match 30% local match	\$ 807,000
Illinois Dept of Transportation	Surface Transportation Program (STP)	Chicago Ave (IL lts 83 - Garfield) resurfacing (letting Jan 2020)	70% STP match 30% local match	\$ 760,000
Illinois Dept of Natural Resources	OSLAID	Renovation of pool		\$ 400,000
IDOT	Rebuild Illinois Bond Funds	Street construction/reconstruction	Six disbursements of \$184,706.76 over 3 years	\$ 1,108,241
Total				\$ 25,713,550

Village of Hinsdale
Grant Applications Under Consideration

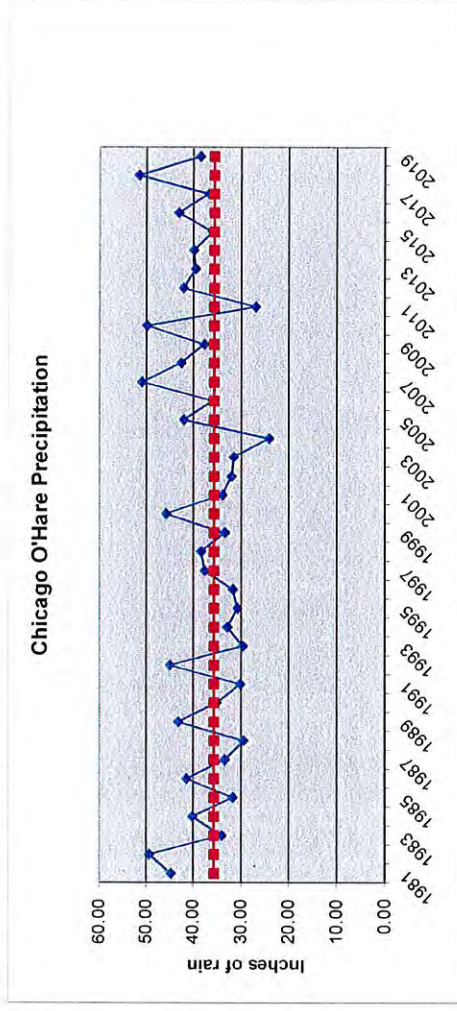
Source	Program	Purpose	Status	Amount
IDNR	PARC	Renovation of KLM lodge to improve ADA accessibility	75% STP match 25% local match	\$ 2,500,000
DCFO	Rebuild Illinois Green Infrastructure Grant Opportunity (GIGO)	Green infrastructure improvements to the Fifth & Grant drainage issue.	75% Federal funds 25% local match 08/21/20: Appl. Submitted. 01/05/21: Not awarded. The IDPA received \$22M worth of applications vs. \$5M available.	\$ 239,036
Total				\$ 2,739,036

Rainfall Data Northeast Illinois

Year	Annual Precip.	52-Yr Average	Difference	Average for the Period
1981	39.19	35.65	3.54	41.5 average inches 116% of 52-yr. average
1982	44.68	35.65	9.03	
1983	49.35	35.65	13.70	
1984	34.00	35.65	-1.65	
1985	40.07	35.65	4.42	
1986	31.73	35.65	-3.92	
1987	41.35	35.65	5.70	
1988	33.36	35.65	-2.29	
1989	29.45	35.65	-6.20	
1990	43.12	35.65	7.47	
1991	35.02	35.65	-0.63	34.5 average inches 97% of 52-yr. average
1992	30.12	35.65	-5.53	
1993	44.90	35.65	9.25	
1994	29.59	35.65	-6.06	
1995	32.88	35.65	-2.77	
1996	30.72	35.65	-4.93	
1997	31.71	35.65	-3.94	
1998	37.53	35.65	1.88	
1999	38.25	35.65	2.60	
2000	33.36	35.65	-2.29	
2001	45.77	35.65	10.12	
2002	33.92	35.65	-1.73	
2003	32.02	35.65	-3.63	
2004	31.58	35.65	-4.07	
2005	24.09	35.65	-11.56	
2006	41.96	35.65	6.31	40.9 average inches 115% of 52-yr. average
2007	35.80	35.65	0.15	
2008	50.86	35.65	15.21	
2009	42.57	35.65	6.92	
2010	37.61	35.65	1.96	
2011	49.84	35.65	14.19	
2012	26.91	35.65	-8.74	
2013	42.09	35.65	6.44	
2014	39.48	35.65	3.83	
2015	39.85	35.65	4.20	
2016	35.97	35.65	0.32	
2017	43.10	35.65	7.45	
2018	36.75	35.65	1.10	
2019	51.53	35.65	15.88	
2020	38.52	35.65	2.87	

Above Average
Below Average

1981 - 2017 Data from NOAA, National Climate Data Center, O'Hare Station
2018-20 Data from USGS Station at Salt Creek & 22nd Street, Oak Brook, IL



Over the last 30 years, 18 years or 60% have exceeded the average rainfall.

Over the last 15 years, 14 years have exceeded the average rainfall.

For the period between 1986 and 2006, the average rainfall in northern Illinois was 34.5 inches/year. Since 2006, the average rainfall has been 40.9 inches/year - a 15% increase in rainfall from the previous 20 years.



11c

MEMORANDUM

DATE: January 8, 2021
TO: President Cauley and the Village Board of Trustees
CC: Kathleen A. Gargano, Village Manager
FROM: Robert McGinnis, Community Development Director/Building Commissioner *RM*
RE: **Community Development Department Monthly Report-December 2020**

In the month of December the department issued 94 permits including five new single family homes and 15 residential alterations. The department conducted 283 inspections and revenue for the month came in at just under \$139,500.

There are approximately 46 applications in house, including 12 single family homes and 18 commercial alterations. There are 33 permits ready to issue at this time, plan review turnaround is running approximately 2-3 weeks, and lead times for inspection requests are running approximately 24 hours.

The Engineering Division has continued to work with the department in order to complete site inspections and respond to drainage complaints. In total, 36 engineering inspections were performed for the month of December by the division. This does not include any inspection of road program work and is primarily tied to building construction and drainage complaints.

We currently have 16 vacant properties on our registry list. The department continues to pursue owners of vacant and blighted properties to either demolish them and restore the lots or come into compliance with the property maintenance code.

COMMUNITY DEVELOPMENT MONTHLY REPORT December 2020

PERMITS	THIS MONTH	THIS MONTH LAST YEAR	FEES	FY TO DATE	TOTAL LAST YEAR TO DATE
New Single Family Homes	5	3			
New Multi Family Homes	0	0			
Residential Addns./Alts.	15	13			
Commercial New	0	0			
Commercial Addns./Alts.	4	7			
Miscellaneous	22	16			
Demolitions	3	5			
Total Building Permits	49	44	\$ 110,704.00	\$1,181,894.00	\$1,345,693.00
Total Electrical Permits	25	25	\$ 10,713.00	\$ 85,550.00	\$115,493.00
Total Plumbing Permits	20	16	\$ 17,949.00	\$ 150,762.00	\$209,753.00
TOTALS	94	85	\$ 139,366.00	\$1,418,206.00	\$ 1,670,939.00

Citations			\$0		
Vacant Properties	16				

INSPECTIONS	THIS MONTH	THIS MONTH LAST YEAR			
Bldg, Elec, HVAC	176	169			
Plumbing	29	46			
Property Maint./Site Mgmt.	38	26			
Engineering	40	30			
TOTALS	283	271			

REMARKS: