



MEETING AGENDA

REGULAR MEETING OF THE VILLAGE BOARD OF TRUSTEES

Tuesday, April 17, 2018

7:30 P.M.

MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF MINUTES

- a) Meeting of April 3, 2018
- b) Public Meeting of February 21, 2017

4. CITIZENS' PETITIONS (Pertaining to items appearing on this agenda)*

5. VILLAGE PRESIDENT'S REPORT

6. APPOINTMENTS TO BOARDS AND COMMISSIONS – ZONING BOARD OF APPEALS

7. FIRST READINGS – INTRODUCTION**

*Items included for First Reading - Introduction may be disposed of in any one of the following ways: (1) moved to Consent Agenda for the subsequent meeting of the Board of Trustees; (2) moved to Second Reading/Non-Consent Agenda for consideration at a future meeting of the Board of Trustees; or (3) referred to Committee of the Whole or appropriate Board or Commission. (Note that zoning matters will not be included on any Consent Agenda; all zoning matters will be afforded a First and a Second Reading. Zoning matters indicated below by **.)*

Zoning and Public Safety (Chair Stifflear)

- a) Approve a Resolution Approving a Temporary Use and Related License and Indemnification Agreement for Outdoor Seating for 2018 for Casa Margarita at 25 E. Hinsdale Avenue

8. CONSENT AGENDA

*All items listed below have previously had a First Reading of the Board or are considered Routine*** and will be moved forward by one motion. There will be no separate discussion of these items unless a member of the Village Board or citizen so request, in which event the item will be removed from the Consent Agenda.*

Administration & Community Affairs (Chair Hughes)

- a) Approval and payment of the accounts payable for the period of March 31, 2018 to April 17, 2018, in the aggregate amount of \$1,030,886.14 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk***

- b) Approve a Resolution Expressing the Intent of the Village to Reimburse Capital Expenditures from Proceeds of an Obligation (*First Reading – April 3, 2018*)
- c) Approve a Second Amendment to the Land Rover Hinsdale, LLC Economic Development and Sales Tax Revenue Sharing Agreement (*First Reading – April 3, 2018*)

Environment and Public Service (Chair Brynes)

- d) Award the contract for engineering services for construction observation of the 2018 South Infrastructure Project to GSG Consultants, Inc. in the amount not to exceed \$262,600 (*First Reading – April 3, 2018*)
- e) Award year two of the three year contract with Clark Environmental Mosquito Management, Inc. for annual mosquito abatement services in an amount not to exceed \$55,496***
- f) Award year two of the three year contract #1625 to Al Warren Oil at the rate of Oil Price Information Service plus \$0.0225 for the purchase of gasoline and diesel***
- g) Award the contract for engineering review service to James J. Benes and Associates, Inc. for an amount not to exceed \$45,000***

Zoning and Public Safety (Chair Stifflear)

- h) Approve a Resolution approving a Consolidation Plat for property commonly known as 120 North Garfield Street in the Village of Hinsdale, County of DuPage** (*First Reading – April 3, 2018*)

9. SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

*These items require action of the Board. Typically, items appearing for Second Reading have been referred for further discussion/clarification or are zoning cases that require two readings. In limited instances, items may be included on the Non-Consent Agenda that have not had the benefit of a First Reading due to emergency nature or time sensitivity. *****

Administration & Community Affairs (Chair Hughes)

- a) Approve an Ordinance Authorizing the issue of not to exceed \$20,000,000 General Obligation Bonds (Sales Tax Alternate Revenue Source) for the purpose of paying the costs of certain public infrastructure projects in and for the Village (*First Reading – April 3, 2018*)
- b) Approve the FY2018-2019 Annual Performance Budget (*First Reading – April 3, 2018*)
- c) Approve the FY2018-2019 Pay Plan (*First Reading – April 3, 2018*)

Environment and Public Service (Chair Brynes)

- d) Award the contract for construction of the 2018 South Infrastructure Project (with Alternate #1, Hinsdale Avenue replaced in Concrete), to G & M Cement Construction, Addison, IL, in the amount not to exceed \$6,649,391.37 (*First Reading – April 3, 2018*)

Zoning and Public Safety (Chair Stifflear)

- e) Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 722-724 N. York Road - Hinsdale Animal Hospital** (*First Reading – April 3, 2018*)
- f) Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 21 Salt Creek Lane - Hinsdale Humane Society** (*First Reading – April 3, 2018*)
- g) Approve an Ordinance approving a Plat of Subdivision Kensington School (540 W. Ogden Avenue)** (*First Reading – April 3, 2018*); **and**

- h) Approve an Ordinance amending the Official Zoning Map of the Village of Hinsdale relative to the Rezoning of property located at 540 W. Ogden Avenue** (*First Reading – April 3, 2018*)
- i) Approve an Ordinance approving a Major Adjustment to a Planned Development – Hinsdale Meadows Southeast Corner of 55th Street and County Line Road – Hinsdale Meadows, LLC
- j) Approve the purchase of one Power Loader and Power Cot from Stryker Medical, 1901 Romence Road Parkway, Portage, Michigan in an amount not to exceed \$48,503.86

10. DISCUSSION ITEMS

- a) Update on proposed I-294 Tollway expansion

11. DEPARTMENT AND STAFF REPORTS

- a) Public Services
- b) Engineering
- c) Community Development
- d) Fire

12. REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

13. OTHER BUSINESS

14. NEW BUSINESS

15. CITIZENS' PETITIONS (Pertaining to any Village issue)*

16. TRUSTEE COMMENTS

17. CLOSED SESSION– 5 ILCS 120/2(c) (1)/(2)/(3)/(5)/(8)/(11)/(21)

18. ADJOURNMENT

*The opportunity to speak to the Village Board pursuant to the Citizens' Petitions portions of a Village Board meeting agenda is provided for those who wish to comment on an agenda item or Village of Hinsdale issue. The Village Board appreciates hearing from our residents and your thoughts and questions are valued. The Village Board strives to make the best decisions for the Village and public input is very helpful. Please use the podium as the proceedings are videotaped. Please announce your name and address before commenting.

*****The Village Board reserves the right to take final action on an Item listed as a First Reading if, pursuant to motion, the Board acts to waive the two reading policy.***

******Routine items appearing on the Consent Agenda may include those items that have previously had a First Reading, the Accounts Payable and previously-budgeted items that fall within budgetary limitations and have a total dollar amount of less than \$500,000.***

*******Items included on the Non-Consent Agenda due to "emergency nature or time sensitivity" are intended to be critical business items rather than policy or procedural changes. Examples might include a bid that must be awarded prior to a significant price increase or documentation required by another government agency to complete essential infrastructure work.***

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to promptly contact Darrell Langlois, ADA Coordinator, at 630-789-7014 **or by TDD at 630-789-7022** to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Website <http://villageofhinsdale.org>

**VILLAGE OF HINSDALE
VILLAGE BOARD OF TRUSTEES
MINUTES OF THE MEETING
April 3, 2018**

The regularly scheduled meeting of the Hinsdale Village Board of Trustees was called to order by Village President Tom Cauley in Memorial Hall of the Memorial Building on Tuesday, April 3, 2018 at 7:31 p.m., roll call was taken.

Present: Trustees Christopher Elder, Michael Ripani, Luke Stifflear, Gerald J. Hughes, Matthew Posthuma, Neale Byrnes and President Tom Cauley

Absent: None

Also Present: Village Manager Kathleen A. Gargano, Assistant Village Manager/Finance Director Darrell Langlois, Assistant Village Manager/Director of Public Safety Brad Bloom, Police Chief Brian King, Fire Chief John Giannelli, Director of Public Services George Peluso, Director of Community Development/Building Commissioner Robb McGinnis, Village Planner Chan Yu, Village Engineer Dan Deeter, Administration Manager Emily Wagner, Management Analyst Jean Bueche and Village Clerk Christine Bruton

PLEDGE OF ALLEGIANCE

President Cauley led those in attendance in the Pledge of Allegiance.

APPROVAL OF MINUTES

a) **Regular Meeting of March 20, 2018**

Following a suggested change to the draft minutes, Trustee Hughes moved to **approve the draft minutes of the Regular Meeting of March 20, 2018, as amended**. Trustee Posthuma seconded the motion.

AYES: Trustees Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: Trustee Elder

ABSENT: None

Motion carried.

CITIZENS' PETITIONS

None.

VILLAGE PRESIDENT'S REPORT

President Cauley reported there have been three indictments for the armed robbery at Razny Jewelers in March 2017. He acknowledged the good work of Hinsdale Police detectives in putting this case together and bringing it to the point of prosecution. He also acknowledged

DuPage County States Attorney Bob Berlin for the considerable amount of work and assistance from his office during the investigation. He added that Hinsdale is a safe community, but if a violent crime occurs the police department will tenaciously pursue all leads to bring the responsible individuals to justice. This type of crime will not be tolerated in the Village of Hinsdale.

President Cauley also reported proposed changes to the Metra train schedule. He has received several calls from residents complaining, and added Clarendon Hills residents are also upset. The plan is pursuant to an initiative to provide safer train travel. However, two of the four morning express trains from Hinsdale to downtown will be eliminated, and the other two will be inconveniently timed. He said a website has been created for residents to provide input on this matter, and a meeting is planned with BNSF to voice concerns. He added that express trains marginally impact property values because of the convenience of traveling downtown. He believes residents should take this seriously. Management Analyst Jean Bueche explained the website link is a form for comments that will be sent directly to Village staff and BNSF. Village Manager Kathleen Gargano added Clarendon Hills has a meeting scheduled with Metra. Trustee Hughes suggested inviting Clarendon Hills and Westmont residents to use this link. President Cauley added that Burr Ridge and Oak Brook residents should be included. This information will be posted at the train station, as well.

APPOINTMENTS TO BOARDS AND COMMISSIONS – ECONOMIC DEVELOPMENT COMMISSION

President Cauley asked for a motion to approve the appointment of Mr. Steven Province, CEO of Hinsdale Hospital to the Economic Development Commission. He said he will be a great addition. Trustee Byrnes moved **to approve the appointment as recommended by President Cauley**. Trustee Elder seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

FIRST READINGS – INTRODUCTION

Administration & Community Affairs (Chair Hughes)

a) Approve a Resolution Expressing the Intent of the Village to Reimburse Capital Expenditures from Proceeds of an Obligation

Trustee Hughes addressed items 7 A & B that are tied to the next bond issuance that was discussed at the joint meeting of the Village Board and the Finance Commission. Item B is the ordinance to authorize the bond issuance, and Item A is the resolution to allow the Village to use the proceeds accordingly for the accelerated infrastructure capital investment plan, to address roads on the accelerated schedule, and do the necessary water and sewer work. These are primarily housekeeping items.

Two \$10,000,000 bond issues were combined because odds are the rates will go up in the future, rather than down. It is prudent to lock in the favorable rate and realize cost

efficiencies for advisory fees and bond counsel. In terms of repayment, we have bond issues that will be and have retired. Additionally, these are must do items in our budget, such as keeping the infrastructure in good working order. It is an important milestone for this Village to be out of catch-up mode; we have no more failed roads, and only a few blocks of poor roads. President Cauley agreed, if we don't accelerate the work, we will be in perpetual catch-up, and would never get to a steady state.

Assistant Village Manager/Finance Director Darrell Langlois described the bonds that are retiring and added he is confident about repayment for the 10-year period of these new bonds. He noted the interest rate is around 4%, and last year it was about 3%. With respect to combining the contemplated two bond issues, \$10,000,000 would not cover this years' work.

The Board agreed to move this item for a second reading at their next meeting.

- b) **Approve an Ordinance Authorizing the issue of not to exceed \$20,000,000 General Obligation Bonds (Sales Tax Alternate Revenue Source) for the purpose of paying the costs of certain public infrastructure projects in and for the Village**

This item was addressed during the previous discussion.

- c) **Approve the FY2018-2019 Annual Performance Budget**

Trustee Hughes introduced the item and explained the budget was reviewed at a joint meeting with the Finance Commission, and this budget has not changed since that review.

The Board agreed to move this item for a second reading at their next meeting.

- d) **Approve the FY2018-2019 Pay Plan**

Trustee Hughes explained this item specifies the minimum and maximum salaries or hourly wages for each Village employment position. This is consistent with the budget, and supports the budget plan of a 2.5% COLA.

The Board agreed to move this item for a second reading at their next meeting.

- e) **Approve a Second Amendment to the Land Rover Hinsdale, LLC Economic Development and Sales Tax Revenue Sharing Agreement**

Trustee Hughes introduced the item and explained the original agreement specified a date construction start. The first amendment adjusted that date, and this one pushes it out another two months, as sorting out the fence issue required additional time. The Village will contribute \$50,000 to upgrade to fence. The mechanism to make that payment is a share the tax revenue above an established baseline. If there is no increase in the revenue above the baseline, there is no payment toward the \$50,000 and Land Rover will have to wait for reimbursement. He noted the revenue sharing stops at a certain point, and does not exist into perpetuity. President Cauley added the benefit of this agreement is that it allows Land Rover, our largest sales tax revenue generator, to stay in Hinsdale.

The Board agreed to move this item to the consent agenda of their next meeting.

Environment and Public Service (Chair Byrnes)

- f) **Award the contract for construction of the 2018 South Infrastructure Project (with Alternate #1, Hinsdale Avenue replaced in Concrete), to G & M Cement Construction, Addison, IL, in the amount not to exceed \$6,634,635.36**

Trustee Byrnes introduced the item noting that G&M Cement was the low bidder. He explained the revised RBA includes new bid numbers for a rain garden and an option to reconstruct Hinsdale Road in either asphalt or concrete. G&M specializes in concrete construction and noted a concrete road will last for 50 years. Trustee Byrnes recommends the concrete option because Hinsdale Road is a main thoroughfare. Most of the main streets south of the tracks that need resurfacing are included, but this will not eliminate all the poor rated streets. Staff estimates an additional \$500,000 estimate to do these. This work could be done with budgeted money, but with other expenditures coming up, we will proceed with scheduled streets first and keep this in mind. G&M has done sidewalk work for the Village in the past.

Mr. Nick Vavalle, President of G&M Concrete, addressed the Board and said they have done work for the Village in 2004, 2005 and 2006. They did some of the concrete work on Madison from Chicago to Maple, and did other road work and sidewalk work in 2008. For this project, the concrete work will be done with their staff, the water and sewer work will be done by Triton, Inc., and K-Five will do the paving work. He is confident the work will get done. His references include Western Springs, Burbank, Lombard and Addison. They do \$7-8 million cumulatively, but this will be one Village instead. Mr. Peluso added the subcontractors G&M will use have done work for Hinsdale, IDOT and other large municipalities.

The Board agreed to move this item for a second reading at their next meeting.

- g) **Award the contract for engineering services for construction observation of the 2018 South Infrastructure Project to GSG Consultants, Inc. in the amount not to exceed \$262,600**

Trustee Byrnes introduced the item and explained it is customary to award construction observation to the firm that is familiar with the design.

The Board agreed to move this item to the consent agenda of their next meeting.

Zoning and Public Safety (Chair Stifflear)

- h) **Approve a Resolution approving a Consolidation Plat for property commonly known as 120 North Garfield Street in the Village of Hinsdale, County of DuPage**

Trustee Stifflear introduced the item for a plat of consolidation for an R4 property at 120 N. Garfield. The owner has purchased the lot to the south at 112 N. Garfield and wishes to combine the two properties into a single conforming lot. A non-conforming lot would be eliminated, and Trustee Stifflear noted the properties cannot be 'unconsolidated' in the future.

The Board agreed to move this item to the consent agenda of their next meeting.

- i) **Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 722-724 N. York Road - Hinsdale Animal Hospital**

Trustee Stifflear introduced the item for a major adjustment to the originally approved plan for the new animal hospital. The decision for the Board is whether or not the request is in substantial conformity with the site plan and exterior appearance plan approved in August 2017. If yes, the Board can approve the request at a second reading, otherwise it must be sent back to the Plan Commission for review. There are six changes requested, but it is important to note that four of the changes are due to code requirements imposed by the

National Fire Protection Association or the DuPage County storm water code. Only two changes are requested by the applicant, and these are not on the front façade of the building.

Mr. Mike Mathys, architect, addressed the Board and described each of the proposed revisions. These are: 1. Shifting the landscape to the north to accommodate the change in egress; 2. Moving the loading space, resulting in a lost parking space; 3. Use of permeable pavers to reduce impervious space on property; 4. Installation of an exterior egress staircase on the back of the building; 5. Additional exit door on the north side of the building; 6. Mechanical louvers added for exhaust and air intakes on the west and north elevations. It was noted that the moving of the loading space and the louvers are not code directed.

President Cauley remarked that as a builder goes through the process, the details of the project become more refined. Plan Commission Chair Steve Cashman does not believe these changes are substantial and require additional Plan Commission review. The Board agreed with this assessment.

The Board agreed to move this item forward for a second reading at their next meeting.

The following item was taken out of order.

Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 21 Salt Creek Lane - Hinsdale Humane Society

Trustee Stifflear introduced the item that is a major adjustment to a site plan and exterior appearance plan for the property located at 21 Salt Creek Lane. This is the former Robert Crown Center and the new home for the Hinsdale Humane Society. The original plans were approved in November 2017. The Board needs to determine if the proposed changes are in substantial conformity with the original plans.

Mr. Mike Mathys, architect, reviewed changes: 1. The clerestory windows are now broken up to accommodate the non-load bearing wall that must be braced; 2. A walkway change because of grade that will reduce impervious area; 3. The trash enclosure has been moved from the flood plain per code; 4. The outdoor freezer intake area is concealed; 5. The parking spaces are increased from 43 to 45 because of the trash enclosure space; 6. Lot coverage change, recalculated decrease.

Trustee Stifflear spoke with Plan Commission Chair Steve Cashman who does not believe this item needs to go back to the Plan Commission for further review. Trustee Stifflear added that although they are making elevation changes, the location of the building makes them much less visible. President Cauley pointed out they are using an existing building, and they wouldn't know the changes in the windows would be necessary until further along in the process. Trustee Byrnes agreed, and added this is a great re-purposing of an existing building.

The Board agreed to move this item forward for a second reading at their next meeting.

- j) **Approve an Ordinance approving a Plat of Subdivision Kensington School (540 W. Ogden Avenue); and**
- k) **Approve an Ordinance amending the Official Zoning Map of the Village of Hinsdale relative to the Rezoning of property located at 540 W. Ogden Avenue**

Trustee Stifflear introduced the two items that have to do with the vacant Amlings site currently zoned R4 since the garden center vacated the property. This is an application to split off the northern portion of the property that abuts Ogden Avenue and zone it O2. The Board is looking at the map amendment and subdivision only at this time, an application for site plan, exterior appearance and special use will be reviewed by the Plan Commission next week. The Plan Commission did conduct two public hearings on the map amendment on February 14, 2018 and March 14, 2018. Additionally, there was a neighbor meeting on February 27th to discuss the proposal. In general, discussions at the public hearings and the neighborhood meeting focused on; 1. operations of the Kensington School - Mr. Marlas will provide a full review of operations and clarify operations as a day care vs. a pre-school; 2. Traffic – the traffic engineer is present to provide detailed report of traffic in the area of the proposed school; 3. Parking – current overflow from Hinsdale Orthopedics and Manor Care, the leased spaces at Amlings, and current Kensington School parking needs; and 4. Uncertainty surrounding future use of the property – permitted uses for an O2 limited office district.

Trustee Stifflear pointed out that Manor Care and Hinsdale Orthopedics are pre-code operations that outgrew their spaces. The lease with the current owner of Amlings for the 75 parking spaces at that location was terminated on March 28, 2018. There are no cars parked there. Area neighbors were concerned about parking on Madison and North, but Police Chief King has addressed this. Further, Hinsdale Orthopedics is shuttling their employees to Christ Church at 31st and York Road. Regarding future uses of the property if Kensington School leaves, the code defines the O2 district provide for the general needs of business and professional offices on smaller sites, and the bulk height regulations are consistent with and compatible with smaller sites and nearby residential uses.

At the two Plan Commission hearings there were approximately 11 residential neighbors that spoke against the map amendment because of traffic, parking and uncertainty of use. The Plan Commission recommended the map amendment by a vote of 4-3. The three Plan Commissioners who voted no cited increased traffic and parking issues, and support of the current R4 zoning. The four who voted yes cited a need for child daycare in Hinsdale, minimal increase in traffic when measured against the 15 single-family properties that could be built, the fact the property is an eyesore and has been vacant for 10 years, and the Kensington School would be a good buffer between Ogden Avenue and the residential district. Trustee Byrnes asked if the three Plan Commissioners who voted against the proposal were aware of the shuttle improvement. Chief King said by the second meeting people knew.

Mr. Charles Marlas, owner of Kensington School, addressed the Board stating his is a 15 year old company. They are a day care facility exclusively, with no specific drop off or pick up times. Their hours are 6:30 a.m. to 6:30 p.m. They service primarily infants to five-year olds, these children can be enrolled either five days a week, or three, Monday, Wednesday and Friday. All children are escorted into the building, with peak drop off time being 6:30-8:30 a.m. and pick up time between 3:30-6:30 p.m. There is no evening or weekend traffic. This school will be the same identical building and operation as their facility in Elmhurst. There are 36 parking spaces there, Hinsdale will have 39. They feel this will be more than sufficient; traffic at the Elmhurst location runs smoothly, it is contained in the parking lot with no spillover to the street. They operate three schools in Western Springs and LaGrange, so they anticipate most of their students will be from Hinsdale and Clarendon Hills. He said the general rule is people will come from within a three mile radius. He

believes there is a need for this type of facility in Hinsdale, he will service the needs of the community, and the school is a good buffer to Odgen Avenue. He said Kensington School was founded in 1969, and the only changes in location since that time have been a result of expired leases. Trustee Ripani asked if Mr. Marlas had conducted any market research. Mr. Marlas explained he had not at a granular level, but believes this correlates with his experience in Elmhurst; he heard the same discussions then, and noted they opened in 2014 with a waitlist. The school has a 150 student capacity. He explained the line between day care and teaching has merged, he described his business as 'day care with a curriculum component'.

With respect to the southern portion of the property, he will look for a partner for the single-family home building. He reported significant interest in the eight lot subdivision, but found strong opposition against building up to Ogden Avenue; there is no interest in single family homes at that location.

Mr. Michael Worthman, from KLOA, addressed the Board explaining his company was retained to do the traffic study. He described the access to the Kensington parking lot that includes a $\frac{3}{4}$ access drive on Ogden Avenue. They are working with IDOT for left turn permission into the property from Ogden. There are two access drives on Monroe at the existing location; one will service Kensington, one for the single-family residences. This is the same configuration as currently used by the Amlings property. He believes the traffic generated by the proposed development, will be comparable or less than the 50-65 cars that were parked there from Manor Care. There will be approximately 21-23 staff people using the school lot; reducing the number of trips in and out. There will be between 120-130 families enrolled, many with more than one child. Not every student attends every day, and there is no dedicated start or end time to the day. Based on the Elmhurst model, they counted 54 trips in and out of the lot at peak service times, including staff. There will be limited traffic midday, and no night or weekend traffic. He noted that traffic for an individual single family residence is 9-10 on average. It is projected that 1/3 of the enrollment will come from the west, east and south respectively. He explained the unique situation on this site because a left turn from Monroe onto Ogden is prohibited, as is a left turn from Ogden to the facility. He described the alternatives that will be necessary. The roadway system has sufficient capacity for this facility. All intersections are operating fairly well and will with proposed development. He provided the current traffic numbers on Monroe, North and Madison, and given those volumes, all of these roads are operating below two-lane capacity in a 24-hour period. Some of the traffic control and traffic calming measures are in place including stop signs, cross walks, school zones and radar signs. It is anticipated that North and Monroe will see an increase of about 15-25 vehicles in peak hours, and higher to the south of about 23-40 vehicles in peak hours. President Cauley asked what the impact of moving the Manor Care parking out of the area is. Chief King said he will begin the traffic counting. Trustee Byrnes said the worst case scenario in terms of traffic would be because of existing schools and the addition of this new one. President Cauley provided anecdotally there is currently no congestion on Madison. Trustee Stifflear pointed out there is an incremental comparison between the traffic the school will generate and what would be generated if single family homes were located on the property.

Mr. Dirk Landis of 618 W. North, addressed the Board stating he visited the Elmhurst location and noted that traffic went smoothly. He disagrees with some of the traffic study results, but thinks the special use offers some protection for neighbors.

Ms. Karen Moberly of 520 Warren Terrace, addressed the Board stating it is important to note that the current owners tied this matter up in court, that's why it's an eyesore. She wondered who this will serve, and does not think living on Ogden is that heinous, because of current projects being built. With respect to traffic, the relevant point of comparison isn't the Manor Care traffic, but what the traffic would be if the underlying zoning was maintained. She believes the traffic study in February underestimates pedestrian traffic in better weather.

Mr. Jay Paine, owner of Village Children's Academy located at 901 Elm, addressed the Board stating his business has 94 spaces and it is crowded. He doesn't think the proposed site is a good area for a commercial property. He also believes that people aren't having as many babies, and that mitigates the need for another day care in Hinsdale. He has space at his property to expand, but doesn't because there is no demand. He also noted parents are not quick in and out, and in his opinion Kensington will have a parking problem.

Mr. Joe Bicek, owner Sim Development, addressed the Board stating he is a local builder here tonight for another matter, but offered that as a builder he wouldn't develop the proposed school site with residential properties because it would be too risky at any price.

President Cauley would like to know how traffic has dropped since Manor Care parking is offsite, and asked the Police Department to do a count. Trustee Elder suggested a left turn arrow on Madison. Village Engineer Dan Deeter said the traffic study shows it would be warranted, and there has been discussion with IDOT, but there is nothing in their five year budget for this project.

The Board agreed to move this item forward for a second reading at their next meeting.

Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 21 Salt Creek Lane - Hinsdale Humane Society

(Item taken out of order, previously addressed.)

CONSENT AGENDA

Administration & Community Affairs (Chair Hughes)

- a) Trustee Byrnes moved **Approval and payment of the accounts payable for the period of March 21, 2018 to March 30, 2018, in the aggregate amount of \$1,251,521.36 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.** Trustee Elder seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

The following items were approved by omnibus vote:

- b) **Approve the Engagement Letter from Chapman and Cutler, LLP for bond counsel services in the amount of \$33,000 for the proposed 2018 General Obligation Bonds (Sales Tax Alternate Revenue Source) (First Reading – March 20, 2018)**
- c) **Approve the Engagement Letter from Speer Financial, Inc. to act as Municipal Advisor for the proposed 2018 General Obligation Bonds (Sales Tax Alternate Revenue Source) in the amount of \$41,250 (First Reading – March 20, 2018)**

Environment and Public Service (Chair Brynes)

- d) **Approve an agreement with Doherty and Associates to provide Owners Representative services for Phase II design and construction of a parking deck at a cost not to exceed \$60,900 (First Reading – March 20, 2018)**
- e) **Award the Contract for Engineering Services for Construction Observation of the 2018 North Infrastructure Project to GSG Consultants, Inc., in the amount not to exceed \$284,780 (First Reading – March 20, 2018)**

Zoning and Public Safety (Chair Stifflear)

- f) **Approve the increase in the number of sworn Firefighter/Paramedics by two personnel from 15 to 17 with the intent to revert back to 15 at the appropriate time after the retirement of two Fire Department employees (First Reading – March 20, 2018)**

Trustee Hughes moved **to approve the Consent Agenda, as presented.** Trustee Elder seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Brynes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

SECOND READINGS / NON-CONSENT AGENDA – ADOPTION

Administration & Community Affairs (Chair Hughes)

- a) **Approve an Ordinance Amending Subsection 3-3-13A of the Village Code of Hinsdale Related to the Number of Liquor Licenses (Discussion Item – March 20, 2018)**

Trustee Hughes introduced the item and explained this item was discussed at the last meeting of the Village Board and the only reason action is required of the Board is to correct the number of licenses in each class. He noted a majority of the Board was in favor of this action at the first reading.

Trustee Hughes moved to **Approve an Ordinance Amending Subsection 3-3-13A of the Village Code of Hinsdale Related to the Number of Liquor Licenses.** Trustee Brynes seconded the motion.

AYES: Trustees Elder, Ripani, Hughes, Posthuma and Byrnes

NAYS: Trustee Stifflear

ABSTAIN: None

ABSENT: None

Motion carried.

Environment and Public Service (Chair Byrnes)

- b) **Award the Contract for Construction of the 2018 North Infrastructure Project to John Neri Construction Company, Inc. in the amount not to exceed \$7,356,648** (*First Reading – March 20, 2018*)

Trustee Byrnes introduced the item stating there have been no changes or additional information since the first reading of the item.

Trustee Hughes moved to **Award the Contract for Construction of the 2018 North Infrastructure Project to John Neri Construction Company, Inc. in the amount not to exceed \$7,356,648.** Trustee Posthuma seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

- c) **Approve a month to month contract with Mac Strategies Group, Inc., Chicago, Illinois (Mac Strategies) in an amount not to exceed \$6,500 per month for the period of April 1, 2018 through April 30, 2018 for lobbyist services related to the Illinois State Toll Highway Authority (Tollway) expansion project**

Assistant Village Manager/Director of Public Safety Brad Bloom explained this item automatically appears for approval by the Board for 30 day renewals. The term of this contract is for the month of April. President Cauley suggested a more robust discussion of this item next time.

Trustee Hughes moved to **Approve a month to month contract with Mac Strategies Group, Inc., Chicago, Illinois (Mac Strategies) in an amount not to exceed \$6,500 per month for the period of April 1, 2018 through April 30, 2018 for lobbyist services related to the Illinois State Toll Highway Authority (Tollway) expansion project.** Trustee Posthuma seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

DISCUSSION ITEMS

a) Update on proposed I-294 Tollway expansion

President Cauley reported a meeting that he, Ms. Gargano and Mr. Bloom attended with State officials, and tomorrow they will walk the parks with Tollway and BNSF representatives to determine the impact on the parks.

b) Chamber of Commerce in-kind service request

Ms. Eva Fields and Mr. John Berger from the Chamber of Commerce confirmed that this is the same request and nothing has changed since last year. President Cauley pointed out the Board has approved this for many years; the Board is in favor granting this request.

c) Request for tribute tree with stone marker and plaque

Mr. Bloom explained that the Village has received a request from the Tonn family to donate a tree on Village property in memory of their son, Brooks. They have worked with Village Forester John Finnell to determine a spot on the Memorial Building property. The Village has a policy in place that changed from installing a plaque on a rock in front of the tree to putting the plaque directly on the tree. This was changed for maintenance reasons. Mr. Tonn has asked for an exception to the policy, at his cost. Trustee Stifflear commented that there are already commemorative rocks on site now. Trustee Hughes added if this is the one thing the family is asking for, he would be in favor of granting an exception. The Board agreed with the request of Mr. Tonn.

d) Early start request for the 2018 North Infrastructure project

Director of Public Services George Peluso explained this is the annual request for Neri to begin work at 7:00 a.m. The Board agreed to the request as it helps to get the job done quicker.

DEPARTMENT AND STAFF REPORTS

- a) Treasurer's Report
- b) Police
- c) Parks & Recreation
- d) Economic Development
- e) Community Development

The report(s) listed above were provided to the Board. There were no additional questions regarding the content of the department and staff reports.

REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

No reports.

OTHER BUSINESS

None.

NEW BUSINESS

None.

CITIZENS' PETITIONS

None.

TRUSTEE COMMENTS

Trustee Hughes noted an email from Crain's Business that included an item about the preservation of the Veeck family home, because of a deed restriction on the property. Hinsdale struggles with how to make it easy to take voluntary action to preserve historic homes. There is interest in saving these homes, and once it is on the deed it cannot be removed. Trustee Stifflear noted this is an item on the Historic Preservation Commission agenda at their meeting tomorrow evening.

ADJOURNMENT

There being no further business before the Board, President Cauley asked for a motion to adjourn. Trustee Elder moved to **adjourn the regularly scheduled meeting of the Hinsdale Village Board of Trustees of April 3, 2018.** Trustee Posthuma seconded the motion.

AYES: Trustees Elder, Ripani, Stifflear, Hughes, Posthuma and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

Meeting adjourned at 9:42 p.m.

ATTEST: _____
Christine M. Bruton, Village Clerk

**VILLAGE OF HINSDALE
PUBLIC MEETING
VILLAGE BOARD OF TRUSTEES
Tuesday, February 21, 2017**

The regularly scheduled meeting of the Hinsdale Village Board of Trustees was called to order by Village President Tom Cauley in Memorial Hall of the Memorial Building on Tuesday, February 21, 2017 at 6:30 p.m., roll call was taken.

Present: President Tom Cauley and Trustees Christopher Elder, Neale Byrnes, Luke Stifflear, Gerald J. Hughes, Laura LaPlaca and Scott Banke

Absent: None

Also Present: Village Manager Kathleen A. Gargano, Assistant Village Manager/Finance Director Darrell Langlois, Assistant Village Manager/Director of Public Safety Brad Bloom, Director of Community Development/Building Commissioner Robb McGinnis, Director of Public Services George Peluso, Administration Manager Emily Wagner, Management Analyst Jean Bueche and Village Clerk Christine Bruton

**DISCUSSION REGARDING HINSDALE MIDDLE SCHOOL (HMS)
PROPOSED PARKING DECK OPTIONS**

Village Manager Kathleen A. Gargano began the meeting introducing herself and Assistant Village Manager/Director of Public Safety Brad Bloom, District 181 Superintendent Dr. Don White and their architect, Mr. Brian Kronewitter.

President Cauley explained the Trustees are of the view the Village needs a parking deck, the question is whether to build a smaller 118 space deck or a larger 189 space deck. The smaller deck would have a cost of \$2.78 million, and the larger is \$4.53 million. Both decks will look the same; the difference is how far back the deck is to the south. The question is does the Village need the spaces and should we spend the money. He explained that Ms. Gargano and Mr. Bloom have looked at the numbers which suggest the smaller deck is sufficient. These are not hard numbers; all the available spaces are occupied during the peak parking period between 10:00 a.m. and 2:00 p.m. Monday through Friday. However, who is driving around looking for a space can't be measured. Staff met with the Chamber of Commerce this morning, and they want the larger deck. They believe people do not come to the Village because of insufficient parking. They believe the additional cost of the larger deck is a small price to pay to provide sufficient parking.

Village Manager/Finance Director Darrell Langlois confirmed the deck would be funded by a bond issue. He cautioned the money is significant; the Village continues fixing roads, the Oasis may go away, and we don't know what the State of Illinois will do about the income tax. This could create a strain on our finances. However, spaces could be leased to commuters, and noted there are currently 70 people on a waiting list.

Ms. Gargano explained this is a joint effort with District 181, and a unique opportunity so solve a community problem. Mr. Bloom addressed the access to the lower deck, stating it would be easy for commuters and pedestrians. School drop off would be on the top level of the deck. The larger

deck is anchored to the wall of the middle school; there is no plan for access to the school from the lower deck. He talked about future use and intensity of parking need, and noted spaces are 100% full during peak parking. He said according to the CMAP study, the goal is to get to 85% of capacity. If we could get merchants and employees to leave the prime area, we could open up necessary parking for shoppers. It was noted that restaurants have a higher intensity of use; most of the current vacancies in the Central Business District (CBD) are not significant impact properties. Costs of the deck could be defrayed with metered parking, parking price structures are under review, but initially parking would be free for merchants and employees. It is difficult to predict the intensity of use for future parking needs, staff can only provide a best guess, but what if, for example, the Verizon store or Gap property become restaurants creating a more significant impact.

President Cauley commented the Chamber of Commerce is of the strong belief that we are turning away shoppers and diners, and that more businesses would come to Hinsdale were there not a parking problem. He invited comment from the audience.

Mr. Lop Chin, owner of the Jade Dragon, a 24-year resident addressed the Board stating parking has always been an issue. He believes the studies are misguided, and underestimate the lost business. He said people are long gone already, but may come back over time.

Mr. John Karstrand, Chair of the Economic Development Commission and Chamber Board, added that the numbers are based on a flawed system, because we don't know what demand is. We don't know how many people come and leave, or how many people don't rent here because of parking. He added, however, if the deck isn't used by shoppers, it could be used for commuter parking.

Mr. Bill Merchants of 111 S. Lincoln, a 14 year resident, sited the 3 level building behind the fruit store and the vacancies he believes are the result of not enough parking. He believes that when CMAP did their study in 2014, they considered existing inventory. It does not include the impact of the new building on First & Garfield, or new restaurants. Nor did it focus on persons who don't drive, the professional businesses, such as doctor and lawyer practices, or the commuter parking problem.

Ms. Marta Clauson, manager of the Courtyard shops, asked whether the parking garage spaces would be metered. Ms. Gargano said the intent is no, but would need to be evaluated. Ms. Clauson said she has been around for 10 years and people tell her they leave because of parking.

Mr. Patrick Williams, addressed the Board, stating he ran a snow cone business in Hinsdale 'back in the day'. He doesn't think \$5 million dollars should be spent without first encouraging economic development in Hinsdale. He believes little progress has been made on that front. President Cauley pointed out that the deck isn't being built to drive economic development, but to retrieve lost business. Mr. Williams thinks it's risky. Trustee LaPlaca added if the parking is in place, the EDC can move forward with more development ideas. Ms. Gargano noted the Village has two staff members who spend time actively pursuing new businesses.

Mr. Jerry James, Edward James Homes, Inc., commented that retail trends are changing in these types of downtowns. Entertainment businesses are thriving, as well as service providers. In Park Ridge, the biggest challenge was parking. Soft goods people need quick in and out parking. He said interest rates are at an all-time low, and to look at the deck as an investment.

President Cauley said the Village will decide fairly soon, and noted the community is loud and clear in support of the larger garage. Ms. Gargano clarified the item will require a second reading on March 7th.

President Cauley asked for a straw poll from the Trustees. Trustee Elder stated he would support the larger deck, as it is an investment in the future. Trustee Byrnes said he is concerned about the cost, but acknowledges the opportunity. Trustee Stifflear is in favor of the larger deck, and appreciates the various ways to mitigate the costs. Trustee Hughes said the Board's care on this decision reflects a culture of conservatism of finances. There is no logic to determine demand, but we know it is more than what we have. We need supply to be 115% of demand, and we are meaningfully off. The numbers clearly support the larger deck. Trustee LaPlaca said she would support a larger garage, and appreciates hearing a resounding yes from the community. She believes the Village should build for the future; in 5-10 years we may ask ourselves why we didn't take the opportunity to build the larger deck. Trustee Banke thinks the Board should take advantage of this opportunity. The deck can't be enlarged in the future; this is a hedge for the future. He called it a 'no-brainer'.

ADJOURNMENT

President Cauley declared the meeting adjourned at 7:45 pm.

ATTEST: _____
Christine M. Bruton, Village Clerk



REQUEST FOR BOARD ACTION
Administration

AGENDA SECTION: Village President's Report

SUBJECT: Appointments to Boards and Commissions

MEETING DATE: April 17, 2018

FROM: Christine Bruton, Village Clerk

Recommended Motion

Approve the appointment(s) to Village Boards and Commissions, as recommended by the Village President.

Background

Due to the expiration of terms and/or resignations, vacancies can occur on any given Board or Commission. The Village President, with the advice and consent of the Village Board, has the authority to make appointments, and makes every effort to fill these vacancies in a timely fashion with qualified, committed volunteers.

Discussion & Recommendation

The following individual has agreed to serve as noted below:

Zoning Board of Appeals

Mr. Tom Murphy appointed to a 5-year term through April 30, 2023

Budget Impact

N/A

Village Board and/or Committee Action

N/A

Documents Attached

1. Applications and resumes (provided confidentially to Village Board of Trustees)

REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: First Reading – ZPS

SUBJECT: Application for a Temporary Use and License Agreement for Outdoor Seating for Casa Margarita – 25 E. Hinsdale Avenue

MEETING DATE: April 17, 2018

FROM: Chan Yu, Village Planner

Recommended Motion

Move to approve a resolution approving a Temporary Use and related License and Indemnification Agreement for Outdoor Seating for 2018 - Casa Margarita - 25 E. Hinsdale Avenue.

Background

Margarita Blue, Inc., a restaurant DBA Casa Margarita located in the Brush Hill Train Station at 25 E. Hinsdale Avenue, is requesting an outdoor seating permit to allow for tables and chairs on the west end of the building. The requested outdoor seating period, seating plan and service times are the same as last year.

The requested period for the annual outdoor seating permit is from April 1 to October 31, 2018. The requested hours offering outdoor seating are between 6 AM to 11 PM from Sunday to Thursday, and between 6 AM to 12 AM on Friday and Saturday.

The seating plan illustrates the arrangement for the 14 tables, 28 chairs and fencing/planter enclosure. The proposed lighting and planters will also be the same as last year (Attachment 2).

Discussion & Recommendation

N/A

Village Board and/or Committee Action

N/A

Documents Attached

Draft Resolution

1. Annual Application for Temporary Outdoor Seating and Exhibit - 2018
2. Street View of Casa Margarita Outdoor Seating from Hinsdale Avenue
3. Board of Trustees Minutes, Previous Year 1st Reading Discussion - April 4, 2017
4. Board of Trustees Minutes, Previous Year 2nd Reading Discussion - April 18, 2017

VILLAGE OF HINSDALE

RESOLUTION NO. _____

**A RESOLUTION APPROVING A TEMPORARY USE AND RELATED LICENSE AND
INDEMNIFICATION AGREEMENT FOR OUTDOOR SEATING FOR 2018 –
CASA MARGARITA – 25 E. HINSDALE AVENUE**

WHEREAS, the Village of Hinsdale is the lessee of a parcel of land commonly known as property adjacent to the west side of the Brush Hill Train Station at 25 E. Hinsdale Avenue, Hinsdale, Illinois. The Village leases said adjacent area from the Burlington Northern Santa Fe Railway Company ("BNSF") pursuant to an underlying contract between the Village and BNSF dated June 17, 1997; and

WHEREAS, Margarita Blue, Inc. d/b/a Casa Margarita ("Casa Margarita") is the owner of a business commonly known as Casa Margarita located in the Brush Hill Train Station at 25 E. Hinsdale Avenue, Hinsdale, Illinois. Casa Margarita operates at the Train Station pursuant to a Lease between the Village and Casa Margarita; and

WHEREAS, in 2016, the President and Board of Trustees of the Village of Hinsdale approved a temporary use and related license and indemnification agreement with Casa Margarita for outdoor seating on a portion of the property adjacent to the west side of the Brush Hill Train Station for the purposes of operating an outdoor seating area with liquor service thereon (the "outdoor seating area"). The Board subsequently approved the same temporary use and agreement in 2017; and

WHEREAS, Casa Margarita has now requested approval of a temporary use for the outdoor seating area for the 2018 outdoor dining season. The plans for the outdoor seating area have been previously reviewed and conditionally approved by BNSF; and

WHEREAS, the President and Board of Trustees agree to allow the temporary use by Casa Margarita of the outdoor seating area for the 2018 outdoor dining season on the property leased by the Village adjacent to the west side of the Brush Hill Train Station at 25 E. Hinsdale Avenue, subject to execution by Casa Margarita of the License Agreement attached hereto and made a part hereof as **Exhibit A**, and subject to compliance by Casa Margarita with the terms and conditions included therein; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale have determined that the request by Casa Margarita for a temporary use for outdoor seating satisfies the standards established in Section 9-103 of the Hinsdale Zoning Ordinance governing temporary uses, subject to the conditions stated in the License Agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HINSDALE, DUPAGE AND COOK COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION 1: Each of the recitals in the Whereas paragraphs set forth above are incorporated into Section 1 of this Resolution.

SECTION 2: The Board of Trustees hereby approves a temporary use for outdoor seating on the property leased by the Village adjacent to the west side of the Brush Hill Train Station at 25 E. Hinsdale Avenue, for the dates of April 1 to October 31, 2018, subject to execution by Casa Margarita of the License Agreement attached hereto as **Exhibit A** and made a part hereof, and subject to compliance by Casa Margarita with the terms and conditions included therein. Further, the Board of Trustees authorizes and directs the Village President and Clerk, or their designees, to execute said License Agreement and to take such other actions as are necessary to implement same.

SECTION 3: Effective Date. This Resolution shall be in full force and effect from and after its passage and approval.

ADOPTED this ____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me, and attested by the Village Clerk, on this ____ day of _____, 2018.

VILLAGE PRESIDENT

ATTEST:

VILLAGE CLERK

EXHIBIT A

**LICENSE AND INDEMNIFICATION AGREEMENT FOR TEMPORARY USE OF
PUBLIC PROPERTY RELATIVE TO THE OPERATION OF AN OUTDOOR SEATING
AREA FOR 2018 – MARGARITA BLUE, INC. D/B/A CASA MARGARITA**

(ATTACHED)

**LICENSE AND INDEMNIFICATION AGREEMENT FOR TEMPORARY USE OF PUBLIC
PROPERTY RELATIVE TO THE OPERATION OF AN OUTDOOR SEATING AREA FOR 2018
- MARGARITA BLUE, INC. D/B/A CASA MARGARITA**

This License and Indemnification Agreement (the "License") has been entered into this ____ day of _____, 2018, by and between the Village of Hinsdale, an Illinois municipal corporation, (the "Village") and Margarita Blue, Inc. d/b/a Casa Margarita, an Illinois corporation, (the "Licensee"), in regard to the following:

WHEREAS, the Village is the Lessee of a parcel of land commonly known as property adjacent to the west side of the Brush Hill Train Station at 25 E. Hinsdale Avenue, Hinsdale, Illinois, at the location shown on the plans and depictions in **Group Exhibit A** attached hereto and made a part hereof (the "Licensed Area"). The Licensed Area is leased by the Village pursuant to an underlying contract between the Village and the Burlington Northern Santa Fe Railway Company ("BNSF") dated June 17, 1997 (the "Underlying Lease"); and

WHEREAS, Licensee is the owner of the business commonly known as Casa Margarita (hereinafter referred to as the "Business") located in the Brush Hill Train Station at 25 E. Hinsdale Avenue, Hinsdale, Illinois, directly adjacent to the Licensed Area. Licensee operates the Business at the Train Station pursuant to a Lease between Licensee and the Village (the "Restaurant Lease"). In 2016 and again in 2017, the Licensee used the Licensed Area for the purposes of operating an outdoor seating area with liquor service thereon after receiving approval from the Corporate Authorities of the Village for a temporary use for outdoor seating on the Licensed Area adjacent to the Business, and after execution of a License Agreement with certain conditions set forth therein; and

WHEREAS, Licensee now seeks to again use the Licensed Area for operating an outdoor seating area with liquor service thereon during the 2018 outdoor dining season; and

WHEREAS, this License is a necessary inducement for the Village to allow use of the Licensed Area for outdoor seating purposes during the 2018 outdoor dining season.

NOW, THEREFORE, the Village grants the Licensee a license for a temporary use to operate and maintain an outdoor seating area on the Licensed Area in accordance with the following terms and conditions:

1. TERM AND LICENSE FEE: This License shall be deemed dated and become effective on the date that the Village President and Village Clerk sign this License (the "Effective Date"). The License shall terminate at 11:59 p.m. on October 31, 2018, although the provisions relating to Risk of Injury, Waiver of Injury Claims, Release from Liability, Indemnity and Defense, and Restoration of Premises shall survive such termination and will continue in full force and effect. A newly executed License and Indemnification Agreement must be submitted for any subsequent year that a temporary use for outdoor seating is requested. The license fee is \$0.

2. CONDITION OF PREMISES: By taking possession of the Licensed Area, Licensee accepts the Licensed Area in the condition existing as of the Effective Date of this License. Licensee acknowledges that it has inspected the Licensed Area and acknowledges that it is in good condition. The Village makes no representations or warranty with respect to the condition of the Licensed Area. Licensee acknowledges that the Village has made no representations or promises to Licensee to alter, repave or otherwise improve the condition of the Licensed Area,

other than allowing Licensee to establish, at its sole cost, the outdoor seating area in conformance with the Site Plans included as part of **Group Exhibit A**, including installation and continuing maintenance of the fencing shown on such Plans.

3. USE: Licensee shall be permitted to use the Licensed Area for outdoor seating purposes. Liquor service within the Licensed Area is authorized as an extension of Licensee's existing liquor license. Licensee's use shall comply with all statutes, ordinances, requirements and laws (including environmental laws and regulations) of all municipal, state and federal authorities now in force, or which may hereafter be in force, pertaining to the Licensed Area. The use of the Licensed Area shall consist of a maximum of fourteen (14) tables with two (2) seats each, in conformance with the Site Plans and Depictions attached hereto as part of **Group Exhibit A** and made a part hereof.

4. CARE AND MAINTENANCE OF PREMISES: Licensee shall, at its own expense and at all times, be responsible for maintaining the Licensed Area in good condition. Such maintenance shall include daily clean-up from use by patrons of the Business, daily washing of the Licensed Area in order to remove any food or drink residue, as well as upkeep and replacement of damaged private or public property.

5. RESTORATION OF PREMISES: At the termination of this License by lapse of time or otherwise, Licensee shall, at its own cost, return the Licensed Area in as good condition as on the Effective Date of this License, ordinary wear and loss by casualty, third-parties, the public and the Village excepted. The Village may direct Licensee to make such repairs and restorations as the Village deems necessary in order to so restore the Licensed Area to its previous condition.

6. COMPLIANCE WITH LAWS AND OTHER CONDITIONS: Licensee's use of the Licensed Area is contingent upon its continuing compliance with all State, County and local regulations relative to the operation of the Business and compliance, compliance with all terms of the Restaurant Lease, and with this License, including, but not limited to:

- a. compliance with all State, County and local laws and regulations pertaining to the serving of alcohol;
- b. compliance with all State, County and local health code regulations;
- c. removal of all tables, chairs and other appurtenances during the months of November through March or if required by the Village at any time;
- d. tables and chairs shall be neatly secured outside or brought inside during non-operating hours;
- e. operation of the outdoor dining area only between the hours of 6 a.m. and 11 p.m. Sun.-Thurs. and 6 a.m. and to 12 a.m. Fri.-Sat.;
- f. installation of planters or other barriers at the south end of the Licensed Area to delineate the licensed seating area. Planters or barriers are to be in a form and design approved by Village staff prior to installation;
- g. removal of the fencing of the Licensed Area at the expiration of this License in order to restore access to the train platform during the months where no outdoor dining will take place. Upon removal, the fencing shall be stored in a location approved by the Village; and

- h. temporary lighting on strings is approved to be attached onto the fencing.

7. UNDERLYING LEASE: This License is subject and subordinate to all the terms, conditions and covenants of the Village's Underlying Lease with BNSF. If the Underlying Lease shall be canceled or shall terminate for any cause prior to the expiration of this License, then this License shall thereupon automatically terminate without previous notice, and the Village shall not be liable to Licensee, in damages or otherwise, on account of such cancellation or termination; provided, however that the Village shall operate in good faith to comply with all terms of the Underlying Lease so as not to cause the Underlying Lease to be canceled or terminated. All obligations of the Village in this Lease are conditional upon the Village continuing to have possession of the Licensed Area under the Underlying Lease.

8. COMPLIANCE WITH BNSF CONDITIONS: The Site Plans and Depictions attached as Group Exhibit A have been previously reviewed and approved by BNSF, subject to the following conditions:

- a. Construction and maintenance of the fencing and outdoor seating area in strict conformance with the Site Plans and Depictions approved by BNSF; and
- b. the fencing on the north side of the Licensed Area must be kept locked and secured at all times during the term of this License, and the fencing as depicted shall remain intact at all times. In the event any of the fencing is removed or otherwise compromised, or in the event any fencing or associated gates are not kept in a locked and secured condition at all times during the term of this License, this License shall immediately terminate.

9. INTERFERENCE: Licensee represents and warrants that its use of the Licensed Area shall not interfere in any way with the use of the remaining station area premises, or otherwise obstruct or interfere with the use of the train station area for commuter services.

If the use of the Licensed Area for outdoor seating purposes interferes with a public event, emergency or planned work or repairs to the station area premises, or other public need for use of the Licensed Area, the public event, work or repairs, or use shall take precedence. The Village shall endeavor to notify the Licensee thirty (30) days in advance of the scheduled event, work or repair or use that will require the use of the public Licensed Area being used by Licensee.

10. ASSIGNMENT AND SUBLETTING: This License may not be assigned or subletted by Licensee without the prior written consent of the Village. In the event of Licensee's unauthorized assignment or subletting, this License shall immediately terminate.

11. ENTRY AND INSPECTION: Licensee shall permit the Village and the Village's agents to enter upon the Licensed Area during business hours and at other reasonable times and upon reasonable notice, for the purpose of inspecting the same.

12. RISK OF INJURY: Licensee assumes the full risk of injuries, including any death, damages, or losses which it or its employees, patrons or members of the public may sustain in any way in, on or about the Licensed Area or arising out of, connected with, or in any way associated with the use of the Licensed Area by the Licensee for outdoor seating purposes.

13. WAIVER OF INJURY CLAIMS: Licensee agrees to waive and relinquish any and all claims or causes of action of any kind that it or its officers, employees, volunteers, and agents may have against the Village and its President and Board of Trustees, officers, appointed and elected officials, employees, volunteers and agents arising out of, connected with, or in any way associated with the use of the Licensed Area by Licensee for outdoor seating purposes.

14. RELEASE FROM LIABILITY: Licensee does hereby fully release and discharge the Village and its President and Board of Trustees, officers, appointed and elected officials, employees, volunteers and agents, from any and all claims or causes of action of any kind, including, but not limited to death, damages, or losses which Licensee, or its officers, employees, contractors, subcontractors, volunteers, agents, patrons or members of the public may have or which arise out of, are connected with, or are in any way associated with the use by Licensee of the Licensed Area for outdoor seating purposes.

15. INDEMNITY AND DEFENSE: Licensee agrees to indemnify, hold harmless, release and defend the Village and its President and Board of Trustees, officers, appointed and elected officials, employees, volunteers, and agents, from any and all claims or causes of action of any kind, including, but not limited to death, damages, and losses which any person, including Licensee, or its officers, employees, contractors, subcontractors, volunteers, agents, patrons, or members of the public, may have or which arise out of, are connected with, or are in any way associated with the use by Licensee of the Licensed Area for outdoor seating purposes.

16. INSURANCE: The Restaurant Lease requires Licensee to maintain certain insurance coverages in certain amounts, and that such insurance coverages name both the "Village of Hinsdale, and its appointed and elected officials, president, trustees, employees, volunteers, attorneys and agents," and "the Burlington Northern and Santa Fe Railway" as additional primary insureds under all insurance coverages required by the Restaurant Lease. Licensee shall provide proof to the Village of extension of those insurance coverages to cover the outdoor seating area and use. The insurance coverage of Licensee shall be primary to the Village's own insurance. A copy of the certificate evidencing the extension of those insurance coverages to the outdoor seating area shall be attached hereto as **Exhibit B** and made a part hereof.

17. ALTERATIONS: Licensee shall not, without first obtaining the written consent of the Village, make any alterations, additions, or improvement (collectively, "alterations") to the Licensed Area. The Village may review plans, specifications and a list of contractors and suppliers before granting consent for alterations. All alterations to the Licensed Area, whether temporary or permanent in character and whether made or paid for by Licensee or the Village, shall, without compensation to Licensee, become the Village's property upon installation on the Licensed Area and shall, unless the Village requests their removal, be relinquished to the Village in good condition, ordinary wear and tear and loss by casualty, third-parties, the public and the Village excepted, at the termination of this License by lapse of time or otherwise. The fencing delineating the Licensed Area shall be removed and stored by Licensee during the months that outdoor dining is not permitted, but shall remain the property of the Village after installation.

Alterations shall be installed in a workmanlike manner with quality, high-grade materials. Licensee shall pay for all alteration work. Upon completion of all alteration work, Licensee shall pay all costs for said alterations and furnish the Village with full and final waivers of lien and receipts for bills, covering all labor and materials expended and used to complete said

alterations. Licensee shall not permit any mechanics lien to be filed against the Licensed Area and agrees to indemnify and hold the Village harmless against any such liens and all damages, costs, expenses and attorneys' fees in connection therewith.

It is expressly understood by the parties that in requesting to perform alterations to the Licensed Area, the Licensee agrees to indemnify, hold harmless, and defend the Village and its President and Board of Trustees, officers, appointed and elected officials, employees, volunteers and agents, from any and all liabilities, costs, expenses, damages, claims or causes of action of any kind, including, but not limited to death, damages, and losses which any person, including Licensee, or its officers, employees, volunteers, agents, contractors, subcontractors, patrons, or members of the public, may have or which arise out of, are connected with, or are in any way associated with the construction or performance of the alterations by Licensee of the Licensed Area for outdoor seating purposes.

Licensee shall furnish the Village with certificates of insurance from all contractors performing labor or furnishing materials in connection with said alteration work, insuring the Village against any and all liabilities that may arise out of or be connected with said alteration work, in amounts and in such coverages acceptable to the Village.

18. DEFAULT: Each of the following acts or omissions of Licensee or occurrences shall constitute an "Event of Default":

- a. Failure or refusal by Licensee to comply with any of the obligations of Licensee set forth in this License or the Restaurant Lease; or
- b. The entry of a decree or order for relief by a court having jurisdiction over Licensee in an involuntary case under the federal bankruptcy, insolvency or other similar law, or appointing a receiver, liquidation, assignee, custodian, trustee, or any guarantor of Licensee's obligations hereunder; or
- c. The commencement by Licensee of a voluntary case under the federal bankruptcy laws, or any other applicable federal or state bankruptcy, insolvency or other similar law; or
- d. Closure of the Business for any reason for more than a seven-day period following its initial opening.

19. VILLAGE'S REMEDIES ON DEFAULT: If Licensee defaults in the performing of any of the other covenants or conditions hereof, or in the occurrence of any Event of Default, the Village shall give Licensee notice of such default. If Licensee does not cure any such default within five (5) days after the giving of such notice (or if the default is of such nature that it cannot be completely cured within such period, if Licensee does not commence such curing within five (5) days and thereafter proceed with reasonable diligence and in good faith to cure such), then the Village may terminate this License. Upon termination of the License, Licensee shall quit and surrender the Licensed Area to the Village. Where other provisions of this License call for a different notice period or for an immediate termination of the License under certain specified circumstances, those provisions shall control.

20. NON-WAIVER: Failure by Licensee or the Village to insist on strict performance of any of the conditions, covenants, terms or provisions of this License or to exercise any rights hereunder shall not waive such rights, but Licensee and the Village shall have the right to

enforce the terms and conditions of this License at any time and take such action as might be lawful or authorized hereunder, either in law or equity.

21. ATTORNEY'S FEES: In case suit should be brought by the Village for recovery of the Licensed Area, or because of any act which may arise out of the use of the Licensed Area by Licensee, the Village shall be entitled to all costs incurred in connection with such action, including reasonable attorneys' fees.

22. OPTION TO RENEW: This License is not renewable and a new License is required each year the Licensee applies for a temporary use for outdoor seating after the initial term of this License.

23. NOTICES: Any notice which either party may or is required to give, shall be given by mailing the same, by United States Registered or Certified Mail, postage prepaid, to Licensee at the Business adjacent to the Licensed Area, or the Village at 19 E. Chicago Avenue, Attention: Village Manager, Hinsdale, Illinois 60521, or at such other places as may be designated by the parties from time to time.

24. SEVERABILITY: Wherever possible, each provision of this License shall be interpreted in such manner as to be effective and valid under applicable law, but if any provision of this License shall be prohibited by or invalid under applicable law, such provision shall be ineffective to the extent of such prohibition or invalidity, without invalidating the remainder of such provision or the remaining provisions of this License.

25. RIGHT TO TERMINATE: This License may be terminated at any time by mutual agreement of the parties. The Village or Licensee may terminate this License anytime and for any reason upon seven (7) days written notice to the other. This License shall terminate automatically upon termination of the Restaurant Lease for any reason. Upon termination, Licensee agrees to restore the Licensed Area to its condition as of the Effective Date, as required by Section 5. If Licensee's temporary use for outdoor seating is revoked or otherwise terminated for any reason, this License shall terminate automatically upon such revocation or termination.

26. VENUE: The parties agree that for the purpose of any litigation relative to this License and its enforcement, venue shall be in the Circuit Court of DuPage County, Illinois and the parties consent to the in personam jurisdiction of said Court for any such action or proceeding. This License, and all questions of interpretation, construction and enforcement hereof, and all controversies hereunder, shall be governed by the applicable statutory and common law of the State of Illinois.

27. COMPLETE DEFENSE: It is expressly understood and agreed by the parties that this License may be pleaded by the Village as a complete defense to, and in bar of, any and all claims or causes of action of any kind brought, maintained or conducted by the Licensee, or by a third-party in connection with or on account of any of the matters set forth in this License. The parties agree that this License shall be admissible in evidence in any action in which the terms of this License are sought to be enforced.

28. AUTHORITY TO BIND: The parties warrant and represent that the execution, delivery of, and performance under this License is pursuant to authority, validly and duly conferred upon the parties and the signatories hereto.

IN WITNESS WHEREOF, the parties hereto have executed this instrument as of this ____ day
of _____, 2018.

VILLAGE OF HINSDALE

LICENSEE MARGARITA BLUE, INC.
d/b/a CASA MARGARITA,

BY: _____
VILLAGE PRESIDENT

BY: _____
PRESIDENT

DATE: _____

DATE: _____

ATTEST:

BY: _____
VILLAGE CLERK

BY: _____
SECRETARY

DATE: _____

DATE: _____

GROUP EXHIBIT A

Site Plan and Depiction of the Licensed Area
(attached)

EXHIBIT B

Insurance Certificate

(attached)



CASAMAR-03

LOISO

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/06/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Total Insurance Services, Inc. 3175 Commercial Ave, Suite 200 Northbrook, IL 60062	CONTACT NAME: LOIS OWEN PHONE (A/C, No, Ext): (847) 205-1777 FAX (A/C, No): (847) 205-1919 E-MAIL ADDRESS: INSURER(S) AFFORDING COVERAGE INSURER A: AmTrust North America, Inc. INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:
INSURED Margarita Blue Inc Dbas: Casa Margarita 25 E Hinsdale Hinsdale, IL 60521	NAIC # 15954

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR (NSD) WVP	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> LIQUOR LIABILITY GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:	X	KPP3820785	05/11/2017	05/11/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 LIQ LIAB CSL \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000		KPP3820785	05/11/2017	05/11/2019	EACH OCCURRENCE \$ 4,000,000 AGGREGATE \$ 4,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
The Village of Hinsdale, and its appointed and elected officials, president, trustees, employees, volunteers, attorneys and agents are an additional insured in respects to outdoor Patio located at the insureds premises 25 E Hinsdale, Hinsdale, IL 60521

CERTIFICATE HOLDER**CANCELLATION**

Village of Hinsdale 19 E Chicago Ave Hinsdale, IL 60521	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Andrew C. Hoffmann</i>
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GENERAL INFORMATION (all information must be printed)

Site Address: 25 E Hinsdale Ave Business Name: Casa Margarita
Name of On-Site Store Manager or Owner: Chris Lof Phone: 630 455-9000
Name of Local or Regional Manager: N/A
Address: N/A Phone: N/A
Name of Property Owner or Management Group: Village of Hinsdale
Address: _____ Phone: _____

SPECIFIC SITE INFORMATION (all information must be printed)

Location of tables and chairs: West Entrance Number of tables: 14
Number of chairs: 28 Type (materials) of tables and chairs: Aluminum
Size (dimension) of tables and chairs: 2' x 2'
Number of exterior private refuse disposal containers to be provided by business: 2
Dimension of sidewalk clearance (minimum 4-foot required) from table/chair (while being used) to edge of pavement or public improvement found on sidewalk: 6'
Proposed time-frame for the outdoor seating to be on the site: April 1 - October
Explain your businesses maintenance program for litter control and use of the area: tables are full service only so wait staff will dispose of all garbage.
Explain how the tables, chairs and private refuse containers will be stored during the hours that the business is closed: table tied & locked

Submit a Site Plan drawn to scale that depicts the above-mentioned items and the regulations as stated in Section 7-1-5-1 of the Village Code (attached).

FOR OFFICE USE ONLY

CONDITIONS: _____

LIABILITY INSURANCE CERTIFICATE SUPPLIED: _____

DATE OF VILLAGE BOARD APPROVAL: _____

ANNUAL FEE: \$ _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. Location, size, and arrangement of any proposed outdoor signs (will need permit) and lighting.
 4. Location and height of any proposed temporary fences or screen plantings.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 2 day of April, 2018, I/We have read the above certification, understand it, and agree to abide by its conditions.

Chase LaFollette
Signature of applicant or authorized agent

Chase LaFollette
Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this _____ day of _____

Notary Public

**GENERAL RELEASE, COVENANT NOT TO SUE
AND HOLD HARMLESS AGREEMENT**

WHEREAS, the Village of Hinsdale, an Illinois Municipal Corporation ("VILLAGE") has agreed to permit the Applicant(s), Chase Lati [print name(s)] ("APPLICANT"), to maintain outdoor seating on VILLAGE owned sidewalk adjacent to the property commonly known as Casa Margarita [print address].

NOW, THEREFORE, in exchange for the authority to maintain outdoor seating on VILLAGE property, the APPLICANT agrees as follows:

1. To forever release and discharge the VILLAGE, its officials, agents, employees and attorneys from all debts, claims, demands, damages, actions, or causes of action, which may arising out of the APPLICANT being permitted to maintain outdoor seating on VILLAGE property.
2. To hereby covenant not to sue or otherwise bring any action in law or equity against the VILLAGE, its officials, employees, agents or attorneys for any claims, loss, damage, expense, debt or liability of any nature whatsoever which the APPLICANT may sustain arising out of APPLICANT'S use of VILLAGE property for outdoor seating.
3. To indemnify, hold harmless and defend the VILLAGE, its agents, officials, and employees, for and against all injuries, deaths, losses, damages, claims, suits, liabilities, judgments, costs and expenses, including reasonable attorneys' fees, which may in any way accrue against the VILLAGE as a consequence of APPLICANT'S use of VILLAGE property for outdoor seating.

I/We have read and fully understand that this Agreement is a general release, hold harmless and a covenant not to sue regarding any and all claims we or any others may sustain against the VILLAGE, its officials, agents, employees, and attorneys by reason of my/our being permitted to maintain outdoor seating on VILLAGE property, and I/we fully intend to be bound by the terms of this Agreement and that it shall further bind my/our successors in interest, heirs, administrators, devisees, assigns and personal representatives from and after the date of execution.

Signed this 2 day of April, 2018.

signature: [Signature]

signature: _____

print name: Chase Lati

print name: _____

SUBSCRIBED AND SWORN
to before me this _____ day of _____

Notary Public

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name:

Chase Lotti

Owner's name (if different):

N/A

Property address:

25 E Hinsdale Ave.

Property legal description: [attach to this form]

Present zoning classification: IB, Institutional Buildings

Square footage of property: _____

Lot area per dwelling: _____

Lot dimensions: _____ x _____

Current use of property: _____

Proposed use:

☐ Single-family detached dwelling

☒ Other: Patio

Approval sought:

☐ Building Permit

☐ Special Use Permit

☐ Site Plan

☐ Design Review

☐ Other: _____

☐ Variation

☐ Planned Development

☐ Exterior Appearance

Brief description of request and proposal:

Patio seating

Plans & Specifications: [submit with this form]

Provided:

Required by Code:

Yards:

front: _____

interior side(s) _____ / _____

Provided:

Required by Code:

corner side
rear

Setbacks (businesses and offices):

front:

interior side(s)

corner side

rear

others:

Ogden Ave. Center:

York Rd. Center:

Forest Preserve:

Building heights:

principal building(s):

accessory building(s):

Maximum Elevations:

principal building(s):

accessory building(s):

Dwelling unit size(s):

Total building coverage:

Total lot coverage:

Floor area ratio:

Accessory building(s):

Spacing between buildings: [depict on attached plans]

principal building(s):

accessory building(s):

Number of off-street parking spaces required: _____

Number of loading spaces required: _____

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

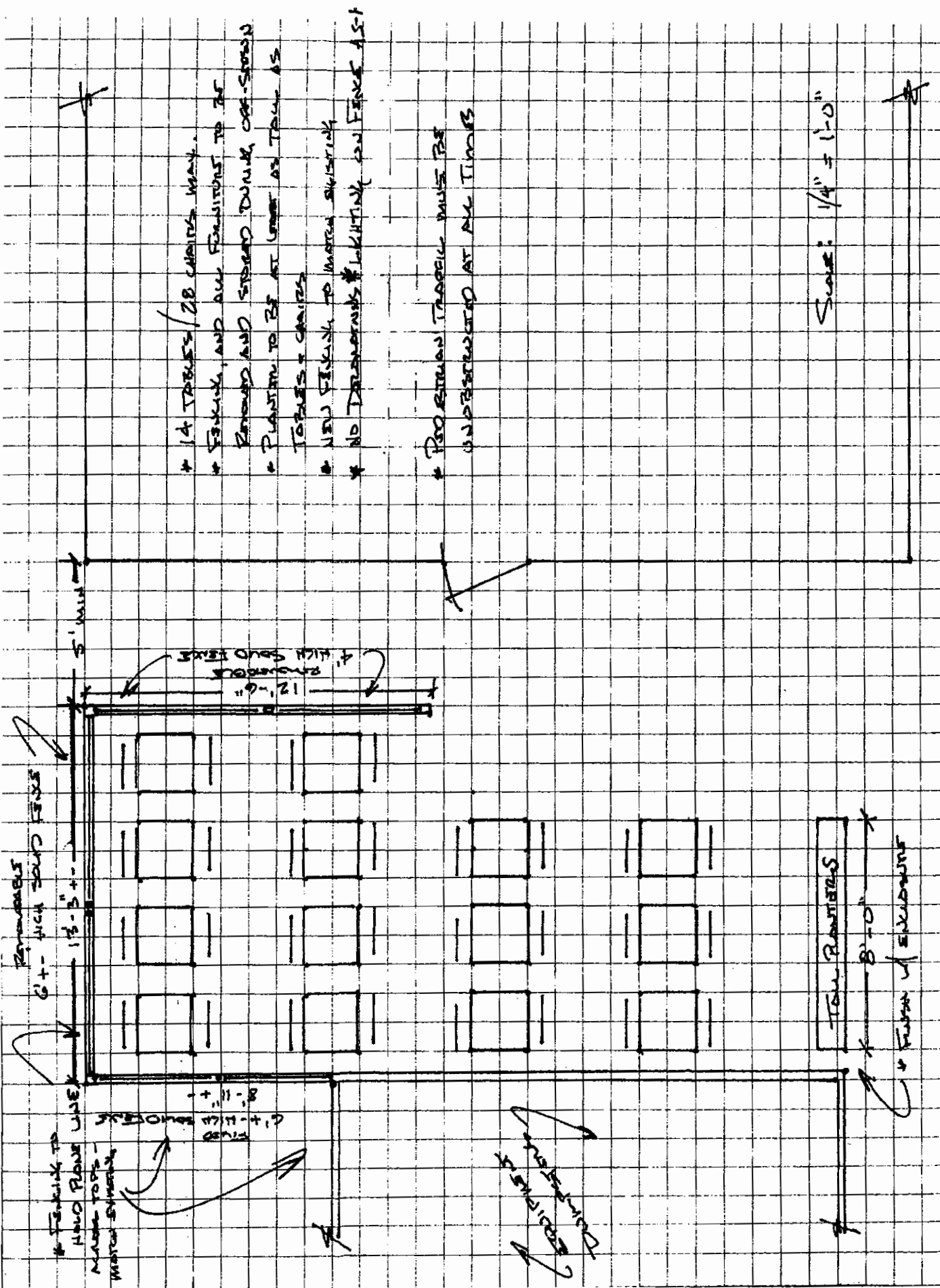
By: _____

Applicant's signature

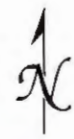
Chase Lotfi

Applicant's printed name

Dated: April 2, 2018.



Attachment 2: Street View of Casa Margarita Outdoor Seating from Hinsdale Avenue



tutoring services and educational curriculum development services as a special use in the O-2 limited office district. The request is being driven by uses which are currently not captured in our code, but are in demand. These types of uses will be categorized as special uses, so each request can be reviewed independently for intensity of use.

The Board agreed to move this item forward for a second reading at their next meeting.

e) Approve an Ordinance Approving a concurrent Special Use Permit for Tutoring and Educational Curriculum Development by TinkRWorks LLC in the O-2 Limited Office District at 21 W. Second Street

Trustee Stifflear introduced the item and explained this is a request for a 3,000' square foot space on the third floor of the US bank building. The property borders an O-2 zoning district to the west and north B-1 to the south, and B-2 to the east. Residential properties are located directly southwest of the property. The applicant expects 25 students per hour with staff up to five. The Board referred this to the Plan Commission on February 7th with directions to evaluate the intensity of use and parking. The Plan Commission found parking to be sufficient due to the fact that the primary hours of operation are after 5:00 p.m., and the bank is closed. They did ask that the special use permit restrict the use of power tools.

Mr. Anu Mahajan, CEO of TinkRworks, addressed the Board and described the anticipated student activity and times of operation at the location. He noted the property is surrounded by permit parking, and there is public parking half a block away. Trustee LaPlaca confirmed the business is already in operation. Staff confirmed there have been no complaints regarding this operation, and no residents were present at the Plan Commission meeting. Discussion followed regarding the number of students in each class; the Board instructed the documents be changed to specify class size be limited to no more than 18 students per class. Mr. Mahajan agreed to this limitation.

The Board agreed to move this item forward for a second reading at their next meeting.

f) Approve an Ordinance Approving a concurrent Special Use Permit for Tutoring and Educational Curriculum Development by Stec Educational Group LLC in the O-2 Limited Office District at 534 Chestnut Street

Trustee Stifflear introduced the item and explained Stec Educational Group will occupy 1,000' square feet of space in an 2-story office building, will conduct one on one tutoring, and classes of up to eight students. Parking is code compliant in the R-4 zoning district. The Plan Commission unanimously recommended approval of this request.

The Board agreed to move this item forward for a second reading at their next meeting.

g) Approve annual request from Casa Margarita for outdoor seating

Trustee Stifflear introduced the item and noted this is the same request as last year except for the addition of lights to be strung along the interior of the fence. There are 28 chairs and 14 tables in the outdoor seating area; hours of operation are 6:00 a.m. to 11:00 p.m. on weekdays, and to midnight on weekends.

Mr. Chase Lotfi, owner, addressed the Board. Trustee LaPlaca noted the cement planters that were installed. Mr. Lotfi said he purchased three, and when planted provide sufficient height. Trustee Stifflear noted they are in the public right-of-way; Mr. Lotfi said it would be no problem to move them.

Trustee Elder asked about coffee and breakfast service. Mr. Lotfi said they tried it, but it did not go well. It was noted this service is specified in the lease. Discussion followed regarding breakfast service. Trustee Stifflear noted the contract issue is different than the permit issue before the Board. Village Manager Gargano asked the Board to clarify the hours of breakfast; the lease specifies breakfast is to be served during the rush hour. Trustee Stifflear suggested using the train schedule to determine when rush hour is. Mr. Bloom noted breakfast is defined in the lease. Trustee Stifflear suggested staff meet with Mr. Lotfi prior to a second reading to iron out the contract issues. Mr. Lotfi said he would be happy to meet with staff on this matter. With respect to the outdoor seating, the Board is okay with the lighting as long as it is like what was installed last year.

The Board agreed to move this item forward for a second reading at their next meeting.

h) Approve an Ordinance approving an Exterior Appearance Plan for new windows and roof solar panels on building at 17 W. Maple Street

Trustee Stifflear introduced the item which is a request to replace aluminum windows with bronze colored new ones at the Unitarian Church located on the corner of Maple Street and Lincoln Avenue. There is no change to the structure of the building or the number of windows. The applicant is also requesting the addition of new solar panels to the roof of the building. The Plan Commission unanimously approved the requests. Trustee Stifflear described the installation of the solar panels in terms of their location, height and visibility; the panels will basically raise the roof about 16" inches.

Mr. Benjamin Van Horne, authorized agent for the applicant, distributed additional photos of the proposed installation. While the panels seem unobtrusive, it was noted that one resident to the north would be able to see the panels from their second story. Also, they would be visible from Maple, but not Lincoln. Village Planner Chan Yu referenced a line of sight diagram included in the packet.

Trustee Banke expressed some concern about whether the roof will support the weight of the panels. Mr. Van Horne stated the building has a pre-stressed concrete roof, but an engineering study has not been done. Mr. McGinnis said sign-off from an architect on the additional dead load created by the panels would be part of the permit process. He added the panels are fairly light, resulting in a minor weight increase per square foot. Mr. Van Horne added these panels are designed to withstand 90 mile per hour winds.

Discussion followed regarding potential future proliferation of solar panels. Trustee Stifflear noted that our Village code does not regulate solar panels; a code change would be a possible future discussion, however, he does not believe the weather in this area is conducive to this option. However, it was noted that as technology and efficiency improve, there could be more demand. Trustee LaPlaca pointed out there would not be this kind of a review for a residential property. President Cauley recommended reaching out to the neighbor most affected and report back to the Board.

The Board agreed to move this item forward for a second reading at their next meeting.

AYES: Trustees Elder, Byrnes, Hughes and Banke
NAYS: None
ABSTAIN: None
ABSENT: Trustees Stifflear and LaPlaca

Motion carried.

- d) **Approve an Ordinance Approving a concurrent Special Use Permit for Tutoring and Educational Curriculum Development by Stec Educational Group LLC in the O-2 Limited Office District at 534 Chestnut Street** *(First Reading – April 4, 2017)*
Trustee Elder moved to **Approve an Ordinance Approving a concurrent Special Use Permit for Tutoring and Educational Curriculum Development by Stec Educational Group LLC in the O-2 Limited Office District at 534 Chestnut Street**. Trustee Byrnes seconded the motion.

AYES: Trustees Elder, Byrnes, Hughes and Banke
NAYS: None
ABSTAIN: None
ABSENT: Trustees Stifflear and LaPlaca

Motion carried.

- e) **Approve annual request from Casa Margarita for outdoor seating** *(First Reading – April 4, 2017)*
President Cauley introduced the item and stated there had been no objection to the proposed lighting, but had asked Mr. Lotfi to make the location of the planters consistent with the drawings. He added that although not on topic, he wants the issue of breakfast as part of the lease agreement, revisited.
Director of Community Development Robb McGinnis stated the planters and the lighting are memorialized in a letter of agreement that Mr. Lotfi has signed.
Trustee Byrnes moved to **Approve annual request from Casa Margarita for outdoor seating**. Trustee Elder seconded the motion.

AYES: Trustees Elder, Byrnes, Hughes and Banke
NAYS: None
ABSTAIN: None
ABSENT: Trustees Stifflear and LaPlaca

Motion carried.

- f) **Approve an Ordinance approving an Exterior Appearance Plan for new windows and roof solar panels on building at 17 W. Maple Street** *(First Reading – April 4, 2017)*
President Cauley introduced the item stating the Board had no objection to the new windows, but there was discussion regarding the visibility of the solar panels. The Board had asked that the applicant talk to the neighbor with a view of the roof. Mr. Benjamin van Horne, representing the applicant, explained that the certified mailing had been returned unclaimed, and there was no response to voicemail messages. He stated that he finally

REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Consent – ACA

SUBJECT: Accounts Payable-Warrant #1647

MEETING DATE: April 17, 2018

FROM: Darrell Langlois, Assistant Village Manager/Finance Director *DJL*

Recommended Motion

Move to approve payment of the accounts payable for the period of March 31, 2018 through April 17, 2018 in the aggregate amount of \$980,186.14 as set forth on the list provided by the Village Treasurer, of which a permanent copy is on file with the Village Clerk.

Background

At each Village Board meeting the Village Treasurer submits a warrant register that lists bills to be paid and to ratify any wire transfers that have been made since the last Village Board meeting. Supporting materials for all bills to be paid are reviewed by Village Treasurer and one Village Trustee prior to the Village Board meeting.

Discussion & Recommendation

After completion of the review by the Village Treasurer and Village Trustee approval of Warrant #1647 is recommended.

Budget Impact

N/A

Village Board and/or Committee Action

Village Board agenda policy provides that the Approval of the Accounts Payable should be listed on the Consent Agenda

Documents Attached

1. Warrant Register #1647

Village of Hinsdale
#1647
Summary By Fund

Recap By Fund	Fund	Regular Checks	ACH/Wire Transfers	Total
General Fund	10000	219,174.05	159,542.17	378,716.22
2013A Bond Fund	32756	475.00	-	475.00
Capital Project Fund	45300	500.00	-	500.00
Water & Sewer Operations	61061	336,027.95	-	336,027.95
W/S 2014 Bond Fund	61065	475.00	-	475.00
Escrow Funds	72100	55,670.00	-	55,670.00
Payroll Revolving Fund	79000	9,468.72	198,853.25	208,321.97
Library Operating Fund	99000	360.50	-	360.50
Total		622,151.22	358,395.42	980,186.14

Village of Hinsdale
Schedule of Bank Wire Transfers and ACH Payments
1647

Payer Date	Description	Vendor Invoice	Invoice Amount
Electronic Federal Tax Payment Systems 4/6/2018	Village Payroll #7 - Calendar 2018	FWH/FICA/Medicare	\$ 86,634.17
Illinois Department of Revenue 4/6/2018	Village Payroll #7 - Calendar 2018	State Tax Withholding	\$ 18,171.68
ICMA - 457 Plans 4/6/2018	Village Payroll #7 - Calendar 2018	Employee Withholding	\$ 16,477.56
HSA PLAN CONTRIBUTION 4/6/2018	Village Payroll #7 - Calendar 2018	Employer/Employee Withholding	\$ 5,090.45
Intergovernmental Personnel Benefit Cooperative		Employee Insurance	\$ 159,542.17
Illinois Municipal Retirement Fund		Employer/Employee	\$ 72,479.39
Total Bank Wire Transfers and ACH Payments			\$ 358,395.42

ipbc-general	159,542.17
payroll	<u>198,853.25</u>
	358,395.42

WARRANT SUMMARY BY FUND: 1647

DATE: 04/17/18

RECAP BY FUND		PRE-PAID	WRITTEN
GENERAL FUND	010000	\$0.00	\$219,174.05
2013A BOND FUND	032756	\$0.00	\$475.00
CAPITAL PROJECT FUND	045300	\$0.00	\$500.00
WATER & SEWER OPERATIONS	061061	\$0.00	\$336,027.95
W/S 2014 BOND	061065	\$0.00	\$475.00
ESCROW FUNDS	072100	\$0.00	\$55,670.00
PAYROLL REVOLVING FUND	079000	\$0.00	\$9,468.72
LIBRARY OPERATIONS	099000	\$0.00	\$360.50
TOTALS:		\$0.00	\$622,151.22

END OF REPORT

Run date: 17-APR-18

Village of Hinsdale

Page: 1

WARRANT REGISTER: 1647

DATE: 04/17/18

VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
AFLAC-FLEXONE			
216812	AFLAC OTHER	040618000000000	\$199.91
216813	AFLAC SLAC	040618000000000	\$202.03
216814	ALFAC OTHER	040618000000000	\$231.27
Total for Check: 113555			\$633.21
COLONIAL LIFE PROPROCESSING			
216804	COLONIAL S L A C	040618000000000	\$186.72
Total for Check: 113556			\$186.72
ILLINOIS FRATERNAL ORDER			
216806	UNION DUES	040618000000000	\$688.00
Total for Check: 113557			\$688.00
NATIONWIDE RETIREMENT SOL			
216807	USCM/PEBSO	040618000000000	\$95.05
216808	USCM/PEBSO	040618000000000	\$1,105.00
Total for Check: 113558			\$1,200.05
NATIONWIDE TRUST CO.FSB			
216815	PEHP REGULAR	040618000000000	\$2,290.59
216816	PEHP UNION 150	040618000000000	\$344.18
216817	PEHPPD	040618000000000	\$487.61
Total for Check: 113559			\$3,122.38
NCPERS GRP LIFE INS#3105			
216805	LIFE INS	040618000000000	\$208.00
Total for Check: 113560			\$208.00
STATE DISBURSEMENT UNIT			
216818	CHILD SUPPORT	040618000000000	\$313.21
Total for Check: 113561			\$313.21
STATE DISBURSEMENT UNIT			
216819	CHILD SUPPORT	040618000000000	\$230.77
Total for Check: 113562			\$230.77
STATE DISBURSEMENT UNIT			
216820	CHILD SUPPORT	040618000000000	\$764.77
Total for Check: 113563			\$764.77
STATE DISBURSEMENT UNIT			
216821	CHILD SUPPORT	040618000000000	\$672.45
Total for Check: 113564			\$672.45
V.O.H. FLEX BENEFITS			
216809	DEP CARE REIMBURSEMENT	040618000000000	\$50.00
216810	MEDICAL REIMBURSEMENT	040618000000000	\$755.59

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216811	MEDICAL REIMBURSEMENT	040618000000000	\$643.57
Total for Check: 113565			\$1,449.16
SPRINT			
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$179.69
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$44.92
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$768.90
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$359.38
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$44.92
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$44.92
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$44.92
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$89.85
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$89.85
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$179.69
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$89.85
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$89.85
216826	PHONE CHARGES 2/24-3/23	977740515-194	\$404.31
Total for Check: 113567			\$2,431.05
A & M AUTO PARTS			
216757	MISC PARTS-REAR STORAGE	458908	\$77.21
Total for Check: 113571			\$77.21
ABC COMMERCIAL MAINT SERV			
216864	FEBRUARY FLOOR CLEANING	124	\$693.00
216965	KLM FLOOR CLEANING	125	\$1,542.00
Total for Check: 113572			\$2,235.00
AIR ONE EQUIPMENT			
216947	CALIBRATION OF GAS METERS	131461	\$383.26
216948	BREATHING COMPRESS SVC	131527	\$704.00
216949	HYDROTEST 11 AIR BOTTLES	131528	\$240.00
Total for Check: 113573			\$1,327.26
AIRYS INC			
216975	REPLACEMENT FIRE HYDRANT	22353	\$9,980.00
Total for Check: 113574			\$9,980.00
ALLIED 100			
216851	ELECTRODES-BATTERY-AED	904566	\$460.54
Total for Check: 113575			\$460.54
ALPHA BUILDING MAINTENANC			
216869	CUSTODIAL SVC-PD	18600-VA	\$777.00
216870	CUSTODIAL SVC-PW	18600-VA	\$1,678.00
216871	CUSTODIAL SVC-VH-BRUSH-HI	18600-VA	\$1,886.00
216872	CUSTODIAL SVC-WATER	18600-VA	\$534.00
Total for Check: 113576			\$4,875.00

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
AMALGAMATED BK OF CHICAGO			
216859	ADMIN FEE HINSDALE GO REF	TRUST#1855164008	\$475.00
216898	ADMIN FEE-SERIES 2014A BD	TRUST #185542100	\$475.00
Total for Check: 113577			\$950.00
AMERICAN LITHOGRAPHY			
216894	SUMMER BROCHURE PRINTING	253054-01	\$239.00
216896	BROCHURE PRINTING	253054-01	\$5,500.00
Total for Check: 113578			\$5,739.00
ARAMARK UNIFORM SERVICES			
216892	FD FLOOR MATS	2081473908	\$79.80
216893	FD FLOOR MATS	2081483567	\$79.80
216941	FD FLOOR MATS	2081493290	\$79.80
Total for Check: 113579			\$239.40
BACKGROUNDS ONLINE			
216764	PUB SVCS BACKGROUND CK	502247	\$49.95
Total for Check: 113580			\$49.95
BATTERY JUNCTION			
216959	BATTERIES	1093031	\$61.50
Total for Check: 113581			\$61.50
BLACK BEAR LODGE NORTH			
216911	LODGING & MEALS-TRAINING	037	\$590.00
Total for Check: 113582			\$590.00
BMO HARRIS BANK N.A.			
216978	MISCELLANEOUS CHARGES	MARCH	\$44.10
216978	MISCELLANEOUS CHARGES	MARCH	\$5.00
216978	MISCELLANEOUS CHARGES	MARCH	\$51.78
216978	MISCELLANEOUS CHARGES	MARCH	\$76.00
216978	MISCELLANEOUS CHARGES	MARCH	\$520.39
216978	MISCELLANEOUS CHARGES	MARCH	\$218.26
216978	MISCELLANEOUS CHARGES	MARCH	\$964.54
216978	MISCELLANEOUS CHARGES	MARCH	\$85.00
216978	MISCELLANEOUS CHARGES	MARCH	\$183.66
216978	MISCELLANEOUS CHARGES	MARCH	\$219.99
216978	MISCELLANEOUS CHARGES	MARCH	\$54.38
216978	MISCELLANEOUS CHARGES	MARCH	\$33.50
216978	MISCELLANEOUS CHARGES	MARCH	\$1,843.00
216978	MISCELLANEOUS CHARGES	MARCH	\$187.14
216978	MISCELLANEOUS CHARGES	MARCH	\$90.00
216978	MISCELLANEOUS CHARGES	MARCH	\$174.99
216978	MISCELLANEOUS CHARGES	MARCH	\$76.32
216978	MISCELLANEOUS CHARGES	MARCH	\$18.22

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216978	MISCELLANEOUS CHARGES	MARCH	\$25.62
Total for Check: 113583			\$4,871.89
BUCHE, JEAN			
216762	TUITION REIMBURSEMENT	01814150	\$119.02
Total for Check: 113584			\$119.02
BUTTREY RENTAL SERVICE IN			
216935	EQUIP RENTAL-AUGER	251710	\$102.00
Total for Check: 113585			\$102.00
CAMPBELL, GEORGEANNE			
216837	CONT BD-108 E FIFTH	23738	\$5,000.00
Total for Check: 113586			\$5,000.00
CAREY, WILLIAM			
216825	KLM SECURITY DEP-EN180331	24561	\$250.00
Total for Check: 113587			\$250.00
CHARIOT AUTOMOTIVE			
216777	TOW	70650	\$104.00
Total for Check: 113588			\$104.00
CHES SCHOLARS			
216915	SPRING BREAK CAMP 2018	3000903	\$620.00
Total for Check: 113589			\$620.00
CHICAGO TANK REMOVAL, INC			
216836	CONT BD-68 S COUNTY LINE	24751	\$500.00
Total for Check: 113590			\$500.00
CINTAS CORPORATION 769			
216886	FIRST AID KIT REPLENISH	5010437840	\$84.04
216939	MEDICAL CABINET REFILL	5010437837	\$108.10
Total for Check: 113591			\$192.14
CINTAS FIRST AID & SAFETY			
216956	RESTOCK FIRST AID CABINET	5010437841	\$88.06
Total for Check: 113592			\$88.06
CLARK BAIRD SMITH LLP			
216925	LEGAL-FILE LABOR GENERAL	9758	\$3,075.00
Total for Check: 113593			\$3,075.00
COMCAST			
216763	POOL -4/4 THRU 5/3	8771201110037136	\$134.85
216921	VILLAGE HALL	8771201110036757	\$254.85
216922	WATER	877120111036815	\$135.35

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216923	V VG VG - KLM	8771201110036807	\$104.85
216924	POLICE	8771201110036781	\$162.90
Total for Check: 113594			\$792.80
COMED			
216787	57TH STREET	0015093062	\$370.58
216788	PUMPING ACCT	0189121033	\$99.76
216789	STREET LIGHTS	0395122068	\$53.64
216790	NS CBQ RR	7011157008	\$38.93
216791	PIERCE PARK	7011378007	\$181.30
216792	WALNUT STREET	7011481018	\$34.79
216793	SAFETY TOWN	7261620005	\$25.23
216931	MUN AGGREG REFRESH FEE	0417049051	\$168.00
Total for Check: 113595			\$972.23
CONSTELLATION NEWENERGY			
216795	STREET LIGHTS 2/22-3/22	1-72OU9O-MAR	\$9,460.21
216796	53 VILLAGE PL-10/13-11/12	1-1D70-913-MAR	\$469.38
216797	53 VILLAGE PL-11/13-12/13	1-1D70-913-MAR	\$628.49
216798	53 VILLAGE PL-12/14-1/17	1-1D70-913-MAR	\$756.90
216799	53 VILLAGE PL-1/18-2/15	1-1D70-913-MAR	\$539.23
Total for Check: 113596			\$11,854.21
CORDIN-BLISTEIN, CHRIS			
216855	KLM SECURITY DEP-EN180225	24422	\$250.00
Total for Check: 113597			\$250.00
CORE & MAIN LP			
216759	TAPPING MATERIAL & CLAMPS	I579284	\$4,071.20
216769	WATER MAIN REPAIR	I587454	\$1,230.00
216962	FIRE HYDRANT REPLACEMENT	I549480	\$296.00
216963	VALVE BOXES	I642917	\$975.00
216964	FIRE HYDRANT REPLACEMENT	I385009	\$13,876.50
Total for Check: 113598			\$20,448.70
COURTNEYS SAFETY LANE			
216776	SAFETY INSPECTION	2439	\$35.00
Total for Check: 113599			\$35.00
CURRIE MOTORS			
216734	NEW SQUADS	E6174E6166	\$55,604.00
Total for Check: 113600			\$55,604.00
DALE CARNEGIE - CHICAGO			
216866	DIGITAL CLOUD-FD SUB	13400	\$1,324.00
216866	DIGITAL CLOUD-FD SUB	13400	\$3,974.00
Total for Check: 113601			\$5,298.00

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
DIANCIN, TEDDY			
216832	CONT BD-603 THE LANE	23976	\$500.00
Total for Check: 113602			\$500.00
DIGITCERT			
216841	MULTI-DOMAIN SSL CERT	2794306	\$269.00
Total for Check: 113603			\$269.00
DIRECT ADVANTAGE INC			
216800	MARCH MONTH RETAINER	1663	\$2,500.00
Total for Check: 113604			\$2,500.00
DOHERTY & ASSOCIATES INC			
216926	REP SVS HMSWK 3-5-18	030518	\$300.00
216927	REP SVCS HMS WK-3-18-18	031918	\$900.00
216928	REP SVCS HMS WK-4-2-18	040218	\$600.00
216929	REP SVCS HMS WK 4-9-18	040918	\$412.50
Total for Check: 113605			\$2,212.50
DR ANJALI MARWAHA OZA			
216830	CONT BD-545 N GRANT	23328	\$10,000.00
Total for Check: 113606			\$10,000.00
DR ANJALI MARWAHA OZA			
216831	ST MGMT-545 N GRANT	23327	\$3,000.00
Total for Check: 113607			\$3,000.00
DU-COMM			
216852	SPARE MICRO FOR STARCOM	16237	\$171.84
Total for Check: 113608			\$171.84
DUPAGE COUNTY HEALTH DEPT			
216858	POOL PERMITS	IN0014159	\$795.00
Total for Check: 113609			\$795.00
DUPAGE WATER COMMISSION			
216868	WATER CHARGES-MAR	12120	\$297,553.12
Total for Check: 113610			\$297,553.12
ELAZEGUI, ROZEL			
216801	CANCELLED CLASS	171441	\$30.00
Total for Check: 113611			\$30.00
ETP LABS, INC			
216770	MONTHLY BACTERIA SAMPLES	18-132999	\$263.50
216936	BACTERIA SAMPLES	18-133055	\$195.50
216938	VEECK CSO SAMPLES	18-52019	\$327.00
Total for Check: 113612			\$786.00

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
EVERGREEN MOUNTAIN, LLC			
216910	SHOOTHOUSE INST COURSE	040618	\$1,350.00
Total for Check: 113613			\$1,350.00
EXCEL LTD, INC			
216876	BASE FOR ELEC PANEL	17705	\$427.18
Total for Check: 113614			\$427.18
FACTORY MOTOR PARTS CO			
216772	BRAKE PADS	50-1949549	\$61.00
216873	WIPER BLADES	50-1960445	\$58.94
Total for Check: 113615			\$119.94
FIRST COMMUNICATIONS, LLC			
216794	PHONE CHARGES-MAR	115708966	\$312.68
216794	PHONE CHARGES-MAR	115708966	\$741.86
216794	PHONE CHARGES-MAR	115708966	\$442.88
216794	PHONE CHARGES-MAR	115708966	\$189.80
216794	PHONE CHARGES-MAR	115708966	\$107.64
216794	PHONE CHARGES-MAR	115708966	\$225.50
216794	PHONE CHARGES-MAR	115708966	\$61.48
Total for Check: 113616			\$2,081.84
FOX VALLEY FIRE & SAFETY			
216779	RECHARGE & REFILL EXTING	IN00159559	\$436.15
Total for Check: 113617			\$436.15
FRED GLINKE PLUMBING AND			
216735	BATHROOM LEAKING	33377	\$848.20
Total for Check: 113618			\$848.20
FULLERS HOME & HARDWARE			
216919	MISC HARDWARD	MARCH	\$9.52
216919	MISC HARDWARD	MARCH	\$16.52
216919	MISC HARDWARD	MARCH	\$37.21
216919	MISC HARDWARD	MARCH	\$19.40
216919	MISC HARDWARD	MARCH	\$13.81
216919	MISC HARDWARD	MARCH	\$21.58
216919	MISC HARDWARD	MARCH	\$19.78
216919	MISC HARDWARD	MARCH	\$5.03
Total for Check: 113619			\$142.85
FULLERS SERVICE CENTER IN			
216918	VEHICLE WASH	231	\$21.99
Total for Check: 113620			\$21.99
GALLS			

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216741	COLDGEAR UNIFORM	009505207	\$94.26
216742	TRAFFIC CONE	009534427	\$134.71
216743	HI VIS PARKA	009439466	\$246.95
216744	TROUSER RETURN WOMENS	008622328	\$86.22-
216968	UNIFORM PANTS	009564160	\$194.35
216969	PATROL UNIFORM PANT	009589660	\$131.00
216971	PD UNIFORM PANTS-SHIRT	009608041	\$271.55
216972	BOOTS, SHIRTS, PANTS PD	009608112	\$407.53
216976	PD UNIFORM PANTS-BOOTS	009599475	\$307.42
Total for Check: 113621			\$1,701.55
GARFIELD CROSSING			
216835	CONT BD-23 E FIRST	24385	\$6,000.00
Total for Check: 113622			\$6,000.00
GARFIELD CROSSING LLC			
216833	CONT BD-36 E FIRST	24386	\$6,000.00
Total for Check: 113623			\$6,000.00
GIULIANOS PIZZA			
216731	CPA GRADUATION DINNER	031418	\$194.00
Total for Check: 113624			\$194.00
GOVTEMPS USA, LLC			
216909	R NOWAK HOURS	2492950	\$147.00
Total for Check: 113625			\$147.00
GRAINGER, INC.			
216846	MEM HALL LOBBY LAMP	9747675420	\$15.94
216860	REPAIR BATH SINK-FAUCET	9737102351	\$192.88
216884	HITCH PIN CLIPS	9737102369	\$36.60
216888	REC SUPPLIES-SOCCER GOALS	9742429716	\$66.03
216889	REC SUPPLIES-SOCCER GOALS	9741317714	\$57.70
216890	BATTERIES FOR LOCATOR	9731762903	\$17.46
Total for Check: 113626			\$386.61
H2O SERVICES, INC.			
216885	VH BOILER TREATMENT	4005	\$456.50
Total for Check: 113627			\$456.50
HINES, KIRSTEN			
216726	CLASS REFUND	171280	\$80.00
Total for Check: 113628			\$80.00
HODNELAND, ALISA			
216863	REFUND 50/50 SIDEWALK PYM	040518	\$500.00
Total for Check: 113629			\$500.00

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
IL DEPT OF AGRICULTURE			
216774	TRAINING PESTICIDES	70508	\$60.00
216775	TRAINING PESTICIDES	70495	\$60.00
Total for Check: 113630			\$120.00
ILLINOIS FIRE INSPECTORS			
216755	PUB FIRE-LIFE SAFETY EDUC	19698	\$350.00
Total for Check: 113631			\$350.00
INTERNATIONAL EXTERMINATO			
216845	PEST CONTROL	04-154	\$40.00
216845	PEST CONTROL	04-154	\$40.00
216845	PEST CONTROL	04-154	\$113.00
216845	PEST CONTROL	04-154	\$40.00
216845	PEST CONTROL	04-154	\$40.00
Total for Check: 113632			\$273.00
INTERSTATE BATTERY SYSTEM			
216766	2 BATTERIES	64031179	\$135.25
216766	2 BATTERIES	64031179	\$113.25
Total for Check: 113633			\$248.50
IRMA			
216899	FEBRUARY DEDUCTIBLE	SALES0016672	\$218.63
216900	FEBRUARY DEDUCTIBLE	SALES0016672	\$6,261.74
216901	JANUARY DEDUCTIBLE	SALES0016616	\$886.90
216902	JANUARY DEDUCTIBLE	SALES0016616	\$77.70
216903	JANUARY DEDUCTIBLE	SALES0016616	\$109.89
216904	DECEMBER DEDUCTIBLE	SALES0016583	\$360.82
216905	TRAIN THE TRAINER	IVC0010368	\$145.00
216906	VOLUNTEER COVERAGE	IVC0010396	\$360.50
216907	VOLUNTEER COVERAGE	IVC0010396	\$360.50
216908	UNDERGROUND STORAGE TANK	IVC0010480	\$2,150.54
Total for Check: 113634			\$10,932.22
JSN CONTRACTORS SUPPLY			
216768	MARKING PAINT	81588	\$144.50
216874	WHITE MARKING PAINT	81612	\$36.60
216937	WATER MAIN MARKING PAINT	81595	\$84.00
Total for Check: 113635			\$265.10
KAMAN FLUID POWER LLC			
216940	HYD FITTING REPLACEMENT	339938-001	\$150.04
Total for Check: 113636			\$150.04
KATHLEEN W BONO CSR			
216715	PUB HEARING #A-44-2017	7724	\$913.20
216847	#V-01-18 & #V-02-18	7734	\$445.30

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
		Total for Check: 113637	\$1,358.50
KHUEN, JILL			
216916	FEB-APR YOGA REIMBURSE	322212B	\$210.00
		Total for Check: 113638	\$210.00
KIEFT BROS INC			
216934	CONCRETE RINGS	228227	\$123.39
		Total for Check: 113639	\$123.39
KROESCHELL SERVICE, INC			
216753	EMERGENCY BOILER REPAIR	59602	\$1,771.26
216753	EMERGENCY BOILER REPAIR	59602	\$1,771.27
216754	EMERGENCY BOILER REPAIR	59601	\$1,264.00
216754	EMERGENCY BOILER REPAIR	59601	\$1,264.00
216754	EMERGENCY BOILER REPAIR	59601	\$474.00
		Total for Check: 113640	\$6,544.53
LAGUNZAD, MARISA			
216824	KLM SECURITY DEP-EN180311	24420	\$250.00
		Total for Check: 113641	\$250.00
LANNES, JUDIE			
216725	CLASS ROOM	171279	\$40.00
		Total for Check: 113642	\$40.00
LAPLACA, LEONORE			
216724	CLASS REFUND	171281	\$80.00
		Total for Check: 113643	\$80.00
LILLIE, THOMAS			
216980	TUITION REIMBURSEMENT	040318	\$2,500.00
		Total for Check: 113644	\$2,500.00
LINCHPIN SEO			
216844	KLM MARKETING	1429	\$400.00
		Total for Check: 113645	\$400.00
LINDSAY METAL MADNESS INC			
216771	CBD RAILING REPAIR	1528	\$700.00
		Total for Check: 113646	\$700.00
LONG, TAMMY			
216728	CLASS REFUND	171282	\$40.00
		Total for Check: 113647	\$40.00
M-HOUSE LLC			
216827	ST MGMT-735 S QUINCY	23863	\$3,000.00

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		Total for Check: 113648	\$3,000.00
M-HOUSE LLC			
216828	STMWR BD-735 S QUINCY	23865	\$8,100.00
		Total for Check: 113649	\$8,100.00
M-HOUSE LLC			
216829	CONT BD-735 S QUINCY	23864	\$10,000.00
		Total for Check: 113650	\$10,000.00
MABAS DIV 10 TRAINING			
216756	MAYDAY SYMPOSIUM	SYMPOSIUM-2018	\$100.00
		Total for Check: 113651	\$100.00
MAC BRADY ASSOCIATES			
216974	BUILDING ADMIN CONTRACT	16038M	\$1,262.50
216974	BUILDING ADMIN CONTRACT	16038M	\$1,712.50
		Total for Check: 113652	\$2,975.00
MAC STRATEGIES GROUP, INC			
216857	CONSULTING-APRIL 2018	2213	\$6,500.00
		Total for Check: 113653	\$6,500.00
MANDY PRINTING			
216732	CAP GRAD SHIRTS-STUDENTS	170037	\$71.50
		Total for Check: 113654	\$71.50
MATERIAL SERVICE CORP			
216891	TRENCH BACKFILL STONE	5674340	\$1,060.82
216942	CA-7 STONE (HYD)	5676147	\$799.19
		Total for Check: 113655	\$1,860.01
MCLEAN, ANNA			
216718	PETTY CASH	MARCH18	\$49.87
216718	PETTY CASH	MARCH18	\$142.39
216718	PETTY CASH	MARCH18	\$43.12
		Total for Check: 113656	\$235.38
MENARDS			
216736	MATERIAL TO REPAIR HOLE	95573	\$15.67
216760	TOOLS	95737	\$77.78
216761	FIELD LAYOUT	95741	\$24.88
216784	PIERCE PK-REPLACE FIXTURE	96197	\$56.98
216943	REC SUPPLIES-POST SIGNS	96508	\$135.92
		Total for Check: 113657	\$311.23
MICRO CENTER A/R			
216778	HDD MOUNTS-BATTERIES ETC	4430323	\$205.84

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216842	3 SSD HARDDRIVES FOR FIRE	4413591	\$239.97
216843	3 SSD HARDDRIVES FOR FD	4414175	\$281.97
Total for Check: 113658			\$727.78
MIDWEST TIME RECORDER			
216875	MAR MONTHLY TIME CLOCK FE	160821	\$118.60
Total for Check: 113659			\$118.60
MILEWSKI, NANCY			
216727	CLASS REFUND	171278	\$100.00
Total for Check: 113660			\$100.00
MINER ELECTRONICS			
216960	REAR RADAR NOT WORKING	265256	\$95.00
Total for Check: 113661			\$95.00
MK FLOORING & HOME			
216714	RECOATING OF BALLROOM FL	30	\$675.00
Total for Check: 113662			\$675.00
MLYNARCZYK, CHRISTOPHER			
216722	REFUND CLASS	171286	\$100.00
Total for Check: 113663			\$100.00
MUTUAL AID BOX ALARM SYST			
216850	CHANGE OF QUARTER KEYS	03272018-01	\$27.00
Total for Check: 113664			\$27.00
NATIONAL SEED			
216773	GROUNDS SEEDS	576268SI	\$870.00
Total for Check: 113665			\$870.00
NEUCO INC			
216765	KLM-BOILER PUMP	2974879	\$354.55
216782	PW GARAGE PUMP FOR HEAT	2986277	\$207.55
216783	VH HVAC CONTROL PARTS	2986272	\$222.01
216880	VH BOILER CONTROL	2980904	\$292.50
216881	KLM BOILER PARTS PUMP 1	2976429	\$266.36
Total for Check: 113666			\$1,342.97
NICK SKOKNA			
216719	PADDLE HUT CLEANING	1	\$800.00
Total for Check: 113667			\$800.00
NORTH EAST MULTI-REGIONAL			
216729	40 HR FTO CLASS	232161	\$135.00
216730	HANDGUN SKILLS-LEV 1	233209	\$300.00
216740	FIELD TRAINING	232161	\$120.00

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
		Total for Check: 113668	\$555.00
ORTIGARAS MUSICVILLE,IN			
216952	PIANO TUNING	040518	\$100.00
		Total for Check: 113669	\$100.00
PADDLE IN THE PARKS			
216745	MARCH COURT MGMT	032018	\$1,071.42
		Total for Check: 113670	\$1,071.42
PELKOWSKI, MARK			
216979	WATER CON CONFERENCE	87027249	\$557.23
		Total for Check: 113671	\$557.23
PELLETIER, STACIE			
216721	KLM SECURITY DEP-EN180324	23441	\$500.00
		Total for Check: 113672	\$500.00
PIONTOWSKI, JAMES			
216887	UNIFORM ALLOWANCE	POS7E0136144	\$191.70
		Total for Check: 113673	\$191.70
POSSIBILITY PLACE NURSERY			
216751	ROOT BAG TREES	00115220	\$4,165.00
		Total for Check: 113674	\$4,165.00
PRAXAIR DISTRIBUTION, INC			
216785	CYLINDERS	81985349	\$60.90
		Total for Check: 113675	\$60.90
PRESCIENT SOLUTIONS INC			
216920	IT SVCS 4-15 TO 5-14-18	0418051	\$14,960.00
		Total for Check: 113676	\$14,960.00
QAL-TEK ASSOCIATES			
216946	REPLACE SENSING UNIT	18-23527	\$528.77
		Total for Check: 113677	\$528.77
RAY O'HERRON CO INC			
216737	SHOE COVERS	1750168-IN	\$65.00
		Total for Check: 113678	\$65.00
READY REFRESH BY NESTLE			
216917	BOTTLE WATER	1BC0120706023	\$24.92
		Total for Check: 113679	\$24.92
RED WING SHOE STORE			
216780	STATION BOOTS	44733	\$249.99

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216781	STATION BOOTS	44955	\$249.99
		Total for Check: 113680	\$499.98
REVIZE, LLC			
216840	REVIZE ANNUAL SUPPORT	6291	\$3,400.00
		Total for Check: 113681	\$3,400.00
SECRETARY OF STATE			
216716	TITLES FOR NEW SQUADS	GA89856	\$95.00
216717	TITLE FOR NEW SQUAD	GA89857	\$95.00
		Total for Check: 113682	\$190.00
SERVICE FORMS & GRAPHICS			
216955	PD NOT BOOKS	164018	\$756.74
		Total for Check: 113683	\$756.74
SINGH, SHALINI			
216834	CONT BD-838 S GRANT	24709	\$1,000.00
		Total for Check: 113684	\$1,000.00
SIRCHIE			
216958	GLOVES AND GSR KITS	0342198-IN	\$201.94
		Total for Check: 113685	\$201.94
SOUTH SIDE CONTROL SUPPLY			
216877	KLM BOILER PARTS	S100454986.001	\$148.29
216878	FLOW SWITCH FOR BOILER	S100456098.001	\$165.91
		Total for Check: 113686	\$314.20
STANDARD EQUIPMENT CO			
216767	REPLACEMENT SPRAY GUN	P04714	\$188.33
		Total for Check: 113687	\$188.33
STARFISH AQUATICS INSTITU			
216865	INSTRUCTOR TRAINING	16802	\$250.00
		Total for Check: 113688	\$250.00
SUBURBAN DOOR CHECK			
216856	BRUSH HILL STATI LOCK REP	IN499037	\$169.00
216932	VILLAGE PAD LOCKS	IN499270	\$100.38
		Total for Check: 113689	\$269.38
SWEET, LISA			
216944	CONT BD-814 THE PINES	24181	\$2,570.00
		Total for Check: 113690	\$2,570.00
TAPCO			
216879	PARTS FOR CROSS WALK	I595795	\$94.90

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
Total for Check: 113691			\$94.90
THE HINSDALEAN			
216710	#A-09-2018	3656	\$141.90
216711	#A-12-2018	3656	\$496.65
216712	#A-10-2018	3656	\$216.15
216713	#A-13-2018	3656	\$168.30
Total for Check: 113692			\$1,023.00
THE POLICE & SHERIFFS			
216733	NEW ID CARD	104240	\$17.49
Total for Check: 113693			\$17.49
THIRD MILLENIUM			
216720	ADDL OTC VEH STICKER FORM	21807B	\$840.39
216930	UTILITY BILLING-MARCH	21979	\$1,049.04
Total for Check: 113694			\$1,889.43
THOMPSON ELEVATOR INSPEC			
216961	3RD PTY ELEVATOR INSP	18-0858	\$100.00
Total for Check: 113695			\$100.00
TOMKO, MARK			
216723	CLASS REFUND	171285	\$100.00
Total for Check: 113696			\$100.00
TOTAL PARKING SOLUTIONS			
216957	PAYBOX PAPER	104134	\$200.00
Total for Check: 113697			\$200.00
TPI BLDG CODE CONSULTANT			
216838	3RD PTY PLUMBING INSP-JAN	201803	\$1,750.00
216839	3RD PARTY PLAN REVIEW	201803	\$1,464.75
Total for Check: 113698			\$3,214.75
TRAFFIC CONTROL & PROTECT			
216758	CARRIAGE BOLTS	92008	\$112.90
Total for Check: 113699			\$112.90
TREES R US INC			
216867	TREE PRUNING	21563	\$7,426.91
Total for Check: 113700			\$7,426.91
UNIQUE APPAREL SOLUTIONS			
216848	PANTS FOR WILSON	49794	\$49.00
Total for Check: 113701			\$49.00
UPS STORE			

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
216853	SHIPPING FOR FD	2997	\$44.60
216854	SHIPPING FOR FD	3095	\$11.98
Total for Check: 113702			\$56.58
VERIZON WIRELESS			
216802	WATER DEPT IPADS	9804077335	\$75.53
216803	FIRE IPADS	9804077335	\$75.53
216822	POLICE IPADS	9804077335	\$75.53
216823	POLICE SECURITY CAM	9804077335	\$75.53
216950	MDT'S IPADS, LAPTOP-PKG	9804380374	\$297.53
216951	MDTS, I-PADS FOR MARCH	9804380374	\$191.82
Total for Check: 113703			\$791.47
VILLAGE OF LOMBARD			
216738	SUPV-MANAGE FTO PROCESS	LPD09	\$200.00
Total for Check: 113704			\$200.00
WAREHOUSE DIRECT INC			
216746	OFFICE SUPPLIES	3845428-0	\$23.86
216747	CLEANING SUPPLIES	3845636-0	\$41.29
216748	KITCHEN SUPPLIES	3831664-0	\$75.98
216749	KITCHEN SUPPLIES	3831266-0	\$46.64
216750	OFFICE SUPPLIES	3837196-0	\$85.36
216752	KLM OFFICE SUPPLIES	3842636-0	\$365.05
216861	LAMINATED SHEETS	3845711-0	\$71.06
216862	CREDIT-LAMINATED SHEETS	C3845711-0	\$71.06-
216895	PARK SUPPLIES	3844681-0	\$170.40
216897	PARK SUPPLIES	3844681-0	\$863.18
216912	MISC SUPPLIES	3855977-0	\$66.48
216913	PAPER	3856273-0	\$49.59
216914	TONER	3857014-0	\$137.42
216933	JANITORIAL SUPPLIES	3837381-0	\$179.41
216933	JANITORIAL SUPPLIES	3837381-0	\$253.98
216933	JANITORIAL SUPPLIES	3837381-0	\$194.92
216945	MISC OFFICE SUPPLIES	3845721-0	\$113.42
216953	KLM SUPPLIES	3856203-0	\$63.12
216954	KLM COFFEE SUPPLIES	3858384-0	\$13.52
216966	OFFICE SUPPLIES	3856272-0	\$81.88
216967	OFFICE SUPPLIES	3855987-0	\$2.59
216973	OFFICE SUPPLIES	3846940-0	\$45.83
216977	ADMIN SUPPLIES	3858556-0	\$22.55
Total for Check: 113705			\$2,896.47
WARREN OIL COMPANY			
216709	UNLEADED & DIESEL FUEL	W1127288	\$7,226.15
216709	UNLEADED & DIESEL FUEL	W1127288	\$12,732.01
Total for Check: 113706			\$19,958.16

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VOUCHER	VOUCHER DESCRIPTION	INVOICE NUMBER	AMOUNT PAID
WILLOWBROOK FORD INC			
216882	LICENSE PLATE BRACKET	530869	\$17.05
216883	FUSE COVER	5130940	\$10.70
Total for Check: 113707			\$27.75
WODKA, MARK			
216739	TUITION REIMBURSEMENT	SPRING2018	\$1,519.20
Total for Check: 113708			\$1,519.20
XEROX CORPORATION			
216849	MONTHLY MAINTENANCE-MAR	092734471	\$85.00
Total for Check: 113709			\$85.00

REPORT TOTAL \$622,151.22

END OF REPORT

REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Consent Agenda – ACA

SUBJECT: Reimbursement Resolution for 2018 Bond Issue

MEETING DATE: April 17, 2018

FROM: Darrell Langlois, Assistant Village Manager/Finance Director



Recommended Motion

Approve a Resolution Expressing the Intent of the Village to Reimburse Capital Expenditures from Proceeds of an Obligation.

Background

The Village is proceeding with the process of selling up to \$20,000,000 General Obligation Bonds (Sales Tax Alternate Revenue Source) in order to finance the remainder of the accelerated infrastructure program. The bond sale is expected to occur on June 12, 2018, with the actual bond "closing" not expected until the end of June. The Village will not receive the actual proceeds from the bond sale until the closing date.

Discussion & Recommendation

The Village will incur expenses related to the accelerated infrastructure program prior to the bond closing date at the end of June. The speed at which the work progresses is difficult to forecast, but it is possible than funds on hand (mostly funds left over from last year's bond issue) could be exhausted prior to receipt of the bond proceeds. In order for the Village to reimburse itself with bond proceeds for these expenditures, approval of the attached resolution is required. Once approved, the Village can reimburse itself with bond proceeds for any expenditures that occur up to 60 days prior to the resolution approval date of April 17, 2018.

Budget Impact

Proceeds from the bond sale are needed to fund most of the accelerated infrastructure program.

Village Board and/or Committee Action

The first reading of this item was held on April 3, 2018 whereby it was the consensus of the Village Board to place this item on the consent agenda for April 17, 2018. N/A

Documents Attached

1. Bond Reimbursement Resolution

RESOLUTION expressing official intent regarding certain capital expenditures to be reimbursed from proceeds of an obligation to be issued by the Village of Hinsdale, DuPage and Cook Counties, Illinois.

* * *

WHEREAS, the President and the Board of Trustees (the "*Corporate Authorities*") of the Village of Hinsdale, DuPage and Cook Counties, Illinois (the "*Village*"), have developed a list of capital projects described in *Exhibit A* hereto (the "*Projects*"); and

WHEREAS, all or a portion of the expenditures relating to the Projects (the "*Expenditures*") (i) have been paid within the 60 days prior to the passage of this Resolution or (ii) will be paid on or after the passage of this Resolution; and

WHEREAS, the Village reasonably expects to reimburse itself for the Expenditures with the proceeds of an obligation:

NOW, THEREFORE, Be It and It Is Hereby Resolved by the President and the Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties, Illinois, as follows:

Section 1. Incorporation of Preambles. The Corporate Authorities hereby find that all of the recitals contained in the preambles to this Resolution are full, true and correct and do incorporate them into this Resolution by this reference.

Section 2. Intent to Reimburse. The Village reasonably expects to reimburse the Expenditures with proceeds of an obligation.

Section 3. Maximum Amount. The maximum principal amount of the obligation expected to be issued for the Projects is \$20,000,000.

Section 4. Ratification. All actions of the officers, agents and employees of the Village that are in conformity with the purposes and intent of this Resolution, whether taken before or after the adoption hereof, are hereby ratified, confirmed and approved.

Section 5. Severability. If any section, paragraph, clause or provision of this Resolution shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph, clause or provision shall not affect any of the remaining provisions of this Resolution.

Section 6. Repeal. All resolutions or parts thereof in conflict herewith be and the same are hereby repealed and this Resolution shall be in full force and effect forthwith upon its adoption.

ADOPTED by the Corporate Authorities on April 17, 2018.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED on April 17, 2018.

President, Village of Hinsdale, DuPage and
Cook Counties, Illinois

RECORDED in the Village Records on April 17, 2018.

Attest:

Village Clerk, Village of Hinsdale, DuPage
and Cook Counties, Illinois

EXHIBIT A

DESCRIPTION OF CAPITAL PROJECTS

All capital projects including certain public infrastructure projects, including but not limited to, acquiring and constructing improvements to municipal roads and streets, access roads, bridges, and sidewalks; waste disposal systems; and water and sewer line extensions, water distribution and purification facilities, storm water drainage and retention facilities, and sewage treatment facilities and construction of a parking deck structure within the Village



Administration

AGENDA SECTION: Consent Agenda – ACA
SUBJECT: Second Amendment – Land Rover Sales Tax Sharing Agreement
MEETING DATE: April 17, 2018
FROM: Emily Wagner, Administration Manager
Darrell Langlois, Finance Director

Recommended Motion

Approve the second amendment to the Land Rover Hinsdale LLC economic development and sales tax revenue sharing agreement.

Background

On December 12, 2016, the Village approved a sales tax sharing agreement (“Agreement”) with Land Rover Hinsdale LLC (“Land Rover”), 300 E. Ogden Avenue. In 2016, Land Rover acquired the property at 336 E. Ogden Avenue with the intent to move its dealership to the new location. The total cost of the property plus building renovations was estimated at \$12 million. The Village and Land Rover engaged in a series of discussions that led to the mutually beneficial Agreement. In December 2017, the Village approved a first amendment to the agreement that extended the start date of construction from December 31, 2017, to April 30, 2018.

Discussion & Recommendation

In the attached Second Amendment, two items have been changed since the first amendment was approved: the construction start date has been extended and the inclusion of language regarding the fence reimbursement.

First, the construction start date is extended from April 30, 2018, to June 30, 2018.

Second, language has been added that provides for the Village to reimburse Land Rover for the cost of a fence in an amount not to exceed \$50,000. The fence was approved by the Village Board on February 6, 2018, and is attached as Exhibit D.

In summary, the Village and Land Rover are sharing the annual sales tax revenues above a pre-determined base amount in various percentages (for instance, in years one to five, Land Rover receives 55% of sales tax above the base and the Village receives 45% of sales tax above the base). The Village will forego its share of the gain over the base sales tax amount until such time as the \$50,000 is paid to Land Rover. Land Rover is required to verify the cost of the fence through invoice or work order. The Village will reimburse and pay Land Rover directly, not the fence company or contractor.

If the \$50,000 is not achieved in year one above the Village’s base sales tax, the same aforementioned format will be utilized in subsequent years until a cumulative dollar amount



REQUEST FOR BOARD ACTION

meets but does not exceed \$50,000. Land Rover's share of the sales tax agreement and the fence payment will be paid to Land Rover simultaneously. While the term of the sales tax agreement is 15 years, there is not a time period limit for the Village to pay Land Rover for the cost of the fence.

Staff recommends the execution of the attached second amendment.

Budget Impact

Approving the second amendment will preserve a very important revenue source for the Village by way of preserving existing sales tax revenues.

Village Board and/or Committee Action

This item was reviewed by the Village Board on April 3, 2018.

Documents Attached

1. Second Amendment with Exhibit D

**SECOND AMENDMENT TO
LAND ROVER HINSDALE, LLC ECONOMIC DEVELOPMENT
AND SALES TAX REVENUE SHARING AGREEMENT**

This Second Amendment to Land Rover Hinsdale, LLC Economic Development and Sales Tax Revenue Sharing Agreement (hereinafter, the "Second Amendment") is made and entered into as of _____, 2018 (hereinafter, the "Effective Date"), by and between the Village of Hinsdale, an Illinois municipal corporation located in DuPage County, Illinois (hereinafter, the "Village"), and Land Rover Hinsdale, LLC, an Illinois limited liability company (hereinafter, "Land Rover"). The Village and Land Rover are hereinafter sometimes referred to collectively as the "Parties" and individually as a "Party."

WITNESSETH

WHEREAS, the Village and Land Rover entered into a Land Rover Hinsdale, LLC Economic Development and Sales Tax Revenue Sharing Agreement dated December 12, 2016, in regard to the property (the "Subject Property"), as legally described on Exhibit 1 attached hereto and made part hereof (the "Original Agreement"); and

WHEREAS, the Village and Land Rover entered into a First Amendment to Land Rover Hinsdale, LLC Economic Development and Sales Tax Revenue Sharing Agreement dated December 11, 2017, in regard to the Subject Property (the "First Amendment" – the Original Agreement as amended by the First Amendment being hereinafter referred to as the "Amended Agreement"); and

WHEREAS, the Village and Land Rover desire to amend the Amended Agreement; and

WHEREAS, it is in the best interests of the Village and Land Rover to enter into this Second Amendment;

NOW, THEREFORE, in consideration of the foregoing, the covenants, conditions and agreements herein contained, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the Parties, the Parties hereby agree as follows:

1. That Recital L of the Amended Agreement is hereby amended to read in its entirety as follows:

"L. Because the Project would not be economically feasible but for the economic assistance promised by the Village in this Agreement, the Village agrees, pursuant to the terms of this Agreement, to rebate to Land Rover up to a maximum not to exceed amount of Two Million Three Hundred Thousand and No/100 Dollars (\$2,300,000.00), over up to a

fifteen (15) year period, in Land Rover Sales Taxes (as defined in Section 3.01(A)(5) below) generated by the Project, and to rebate to Land Rover up to a maximum not to exceed amount of Fifty Thousand and No/100 Dollars (\$50,000.00) in Village Bonus Sales Taxes (as defined in Section 3.01(A)(6) below) generated by the Project, subject to the other terms and conditions of this Agreement.”

2. That Section 2.02(B) of the Amended Agreement is hereby amended by revising the reference therein to “April 30, 2018” to read “June 30, 2018.”
3. That Article II of the Amended Agreement is hereby amended by adding a new Section 2.08 thereto, which shall read in its entirety as follows:

“2.08 Construction of Fence. Land Rover shall construct, at its initial sole cost and expense, a fence along the South side of the Subject Property, as approved by the President and Board of Trustees of the Village at the February 6, 2018 Village Board meeting, and as depicted on Exhibit D attached hereto and made part hereof (the “Fence”).”

4. That Article III, Section 3.01(A) of the Amended Agreement is hereby amended by adding a new subsection (6) thereto, which shall read in its entirety as follows:

“(6) “Village Bonus Sales Taxes” shall be those State Sales Taxes generated by the Project, in excess of the Village Retained Sales Taxes, which do not fall under the definition of Land Rover Sales Taxes. Village Bonus Sales Taxes shall not include any Non-Home Rule Sales Taxes received by the Village.”

5. That Article III, Section 3.01 of the Amended Agreement is hereby amended by adding a new subsection (C) thereto, which shall read in its entirety as follows:

“(C) Fence Cost Assistance. Upon satisfaction by Land Rover of all of the conditions stated in Article II of this Agreement, and upon Land Rover providing the Village with documentation satisfactory to the Village, in its sole and absolute discretion, relative to the costs incurred by Land Rover in regard to the construction of the Fence, the Village shall rebate, to Land Rover, Village Bonus Sales Taxes. Said payments shall be made by the Village to Land Rover at the end of each (12) month period following the Commencement Date, as defined in Section 3.02 below, until Land Rover receives reimbursement for the actual cost of the Fence, or Fifty Thousand and No/100 Dollars (\$50,000.00), whichever amount is less (the “Fence Incentive Amount”) in Village Bonus Sales Taxes (the “Fence Revenue Sharing Term”), and said rebate shall be paid by the Village to Land Rover, as set forth in Section 3.04 below. The date the Fence Incentive Amount has been paid in full shall be the “Fence Incentive Amount Satisfaction Date.” Following the Fence Revenue Sharing Term, all Village Bonus Sales Taxes generated by the Subject Property shall be retained by the Village.”

6. That Article III, Section 3.02 of the Amended Agreement is hereby amended by revising the reference to "Sections 2.02 and 2.05 of this Agreement" to read, "Sections 2.02, 2.05 and 2.08 of this Agreement."
7. That Article III of the Amended Agreement is hereby amended by adding a new Section 3.04 thereto, which shall read in its entirety as follows:

"3.04 Fence Payment Procedure. After the Commencement Date, so long as the Village has confirmed that Land Rover has satisfied all the conditions of Article II of this Agreement, and during the Fence Revenue Sharing Term, the Village shall pay to Land Rover, at the end of each twelve (12) month period of the Fence Revenue Sharing Term, the Village Bonus Sales Taxes actually received by the Village during said twelve (12) month period. The Village will calculate amounts owed to Land Rover based on the Village Bonus Sales Taxes remittance data from the State of Illinois, and payment will be made to Land Rover within sixty (60) days of receiving the Village Bonus Sales Taxes remittance data from the State for such twelve (12) month period."
8. That Section 5.15 of the Amended Agreement is hereby amended to read in its entirety as follows:

"5.15 Term. This Agreement shall be in full force and effect as of the Effective Date, and shall expire upon: (A) the Incentive Amount Satisfaction Date; (B) the date of the last payment by the Village to Land Rover of the Land Rover Sales Taxes pursuant to Section 3.03, even if the Incentive Amount has not been paid in full; or (C) the Fence Incentive Amount Satisfaction Date; whichever occurs last. Notwithstanding the foregoing, in the event that the Incentive Amount Satisfaction Date and the Fence Incentive Amount Satisfaction Date have both occurred, this Agreement shall expire."
9. That the Amended Agreement is hereby amended by adding a new Exhibit D thereto, which shall read in its entirety as Exhibit D attached hereto and made part hereof.
10. The individual executing this Second Amendment on behalf of Land Rover warrants that he has been lawfully authorized by Land Rover to execute this Second Amendment on behalf of Land Rover.
11. The Village President and Village Clerk hereby warrant that they have been lawfully authorized by the Corporate Authorities of the Village to execute this Second Amendment.
12. This Second Amendment may be executed in two (2) or more counterparts, each of which, taken together, shall constitute one and the same instrument.
13. That all portions of the Amended Agreement, not amended hereby, shall remain in full force and effect.

IN WITNESS WHEREOF, the Parties hereto have executed this Second Amendment as of the dates set forth below, and the date of the last signatory below shall be inserted on page 1 of this Second Amendment, as the Effective Date of this Second Amendment.

Village of Hinsdale,
an Illinois municipal corporation

Land Rover Hinsdale, LLC,
an Illinois limited liability company

By: _____
Thomas K. Cauley, Jr.
Village President

By: _____
John Martino
Manager

Date: _____

Date: _____

ATTEST:

Christine M. Burton
Village Clerk

Date: _____

State of Illinois)
) SS
County of DuPage)

ACKNOWLEDGMENT

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that Thomas K. Cauley, Jr., personally known to me to be the Village President of the Village of Hinsdale, and Christine M. Burton, personally known to me to be the Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that, as such Village President and Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Corporate Authorities of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 2018.

Notary Public

State of Illinois)
) SS
County of DuPage)

ACKNOWLEDGMENT

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that John Martino, personally known to me as Manager of Land Rover Hinsdale, LLC, an Illinois limited liability company, acknowledged to me that he signed and delivered the foregoing instrument on behalf of said company as his own free and voluntary act for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this _____ day of _____, 2018.

Notary Public

Exhibit 1

Legal Description of Subject Property

PARCEL 1:

LOTS 14, 15, 16 AND LOT 71 (EXCEPT THE SOUTH 60 FEET AND EXCEPT THE WEST 30 FEET THEREOF) IN HINSDALE HIGHLANDS, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 8, 1922 AS DOCUMENT 155000, IN DUPAGE COUNTY, ILLINOIS.

PERMANENT INDEX NUMBER: 09-01-211-002

PARCEL 2:

A PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING ON THE EAST LINE OF SAID NORTHEAST 1/4 279 FEET SOUTH OF THE NORTHEAST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 79 DEGREES 48 MINUTES WEST 938.41 FEET TO THE NORTHWEST CORNER OF LOT 16 IN HINSDALE HIGHLANDS, FOR A POINT OF BEGINNING; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID QUARTER 300 FEET; THENCE SOUTH 79 DEGREES 48 MINUTES WEST 200 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID NORTHEAST 1/4 300 FEET TO AN IRON STAKE ON THE SOUTH LINE OF OGDEN AVENUE; THENCE NORTH 79 DEGREES 48 MINUTES EAST 200 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PERMANENT INDEX NUMBER: 09-01-211-001

PARCEL 3:

LOT 13 AND THE SOUTH 60 FEET OF LOT 71 (EXCEPT THE WEST 30 FEET THEREOF TAKEN FOR A PUBLIC STREET) IN HINSDALE HIGHLANDS, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 8, 1922 AS DOCUMENT 155000, IN DUPAGE COUNTY, ILLINOIS.

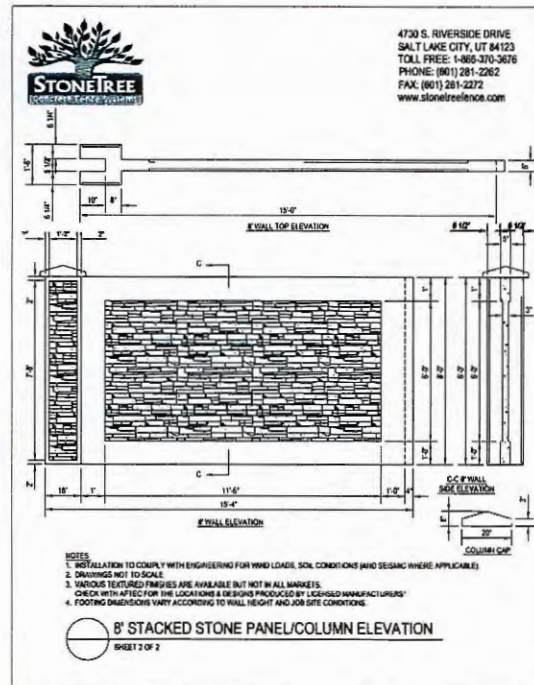
PERMANENT INDEX NUMBER: 09-01-211-003 = LOT 13

PERMANENT INDEX NUMBER: 09-01-211-004 = SOUTH 60 FEET OF LOT 71

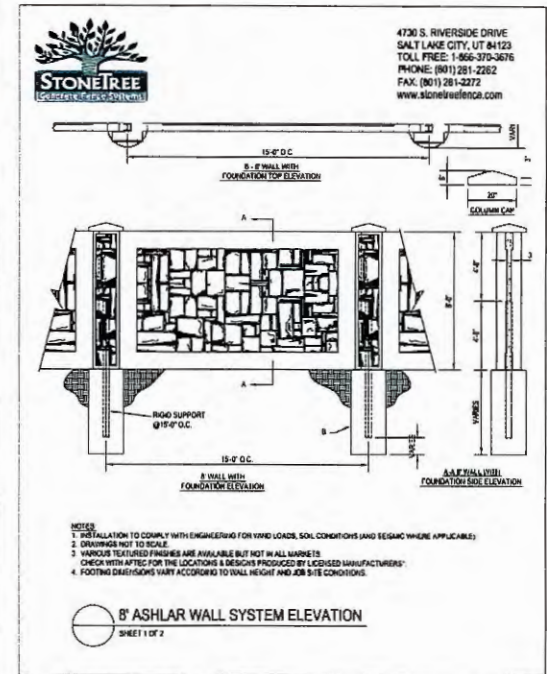
Exhibit D

Depiction of the Fence

(attached)



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TERMINATION LOCATION DETERMINED
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Public Services & Engineering

AGENDA SECTION: Consent Agenda – EPS
SUBJECT: 2018 South Infrastructure Project Construction Observation Contract
MEETING DATE: April 17, 2018
FROM: Dan Deeter, PE Village Engineer

Recommended Motion

Award the contract for engineering services for construction observation of the 2018 North Infrastructure Project to GSG Consultants, Inc. in the amount not to exceed \$262,600.

Background

On February 2, 2017, the Board of Trustees approved the 2018 reconstruction and resurfacing contracts with GSG Consultants for engineering design services. The scope of the projects were subsequently expanded with change order 1 approved on June 13, 2017 and change order 2 approved on December 11, 2017. As has been the established practice, the Village typically uses the same engineering consultants who provided design engineering services for the construction observation services. Using the same firm for construction observation as design makes sense since the single engineering consultant is most familiar with their design and has a vested interest in defending challenges to their design. Additionally, it minimizes the number of parties required to resolve issues raised during construction.

Discussion & Recommendation

Considering GSG Consultant's satisfactory performance during the design process, staff recommends using GSG Consultants for the construction observation portion of the 2018 South Infrastructure Project. GSG Consultant's engineering services costs for the project total approximately 6.5% of the overall project costs which is in line with engineering costs the Village has incurred for other projects of similar size.

Budget Impact

There are sufficient resources in the FY2018-19 budget to fund the costs of the 2018 South Infrastructure Project.

Village Board and/or Committee Action

At the April 3, 2018 Board of Trustees meeting, the Board approved the item to be moved to the Consent Agenda.

Documents Attached

1. 2018 South Infrastructure Streets to be Improved
2. Contract with GSG Consultants

EXHIBIT A – 2018 South Infrastructure Project

<u>Locations</u>	<u>From/To</u>	<u>Activity</u>
• 57 th Street	Madison to Grant	Resurface
• 59 th Street	Grant to Garfield	Resurface
• Adams Street	Chestnut to South End	Concrete patching
• Bruner Street	Fourth to Sixth	Resurface
• Bruner Street	Eighth to South End	Resurface
• Chicago Avenue	Garfield to County Line	WM, Stm Swr, Reconstruct
• County Line Road	47 th to Sixth	WM, Resurfacing
• Eighth Place	Madison to East End	Stm Swr, Resurface
• Eighth Street	Bruner to Bodin	Stm Swr, Reconstruct
• Eighth Street	Monroe to Madison	Resurface
• Elm Street	Chicago to First	Storm Sewer
• Elm Street	Fourth to Sixth	WM, Stm Swr, Reconstruct
• Elm Street	Eighth to Ninth Court	Resurface
• Hinsdale Avenue	Jackson to Stough	Reconstruct
• W. Hinsdale Station Parking Lot		Resurface
• Hinsdale Avenue	Monroe to Grant	Reconstruct
• Intersection	First & Orchard	Brick resurfacing
• Intersection	First & Oak	Brick resurfacing
• Jackson Street	Sixth to South End	Resurface
• Lincoln Street	Fifth to Eighth	San Swr lining
• Madison Street	Ninth to 55 th	Resurface
• Maple Street	Stough to Adams	Resurface
• Ninth Court	Park to Elm	WM, Resurface
• Ninth Street	Elm to County Line	Resurface
• Oak Street	Ninth to South End	Resurface
• Orchard Place	Chicago to First	Storm Sewer
• Park Avenue	Eighth to Ninth	Reconstruct
• Park Avenue	Ninth to Ninth Ct.	Resurface
• Quincy Street	Stough to Maple	Rain garden
• Quincy Street	Chestnut to Town Place	Reconstruct south half
• Robbins Park Lot	Seventh & Vine	Resurface
• Seventh Street	Stough to Quincy	Concrete patching
• Stough Street	Eighth to Ninth	San Swr lining

VILLAGE OF HINSDALE
19 E. Chicago Ave.
Hinsdale, IL 60521

ENGINEERING PROFESSIONAL SERVICES
AGREEMENT

2018 South Infrastructure Project
Construction Observation Services

PROFESSIONAL SERVICES AGREEMENT

BETWEEN THE VILLAGE OF HINSDALE AND GSG Consultants, Inc.

This Professional Services Agreement is entered into this ____ day of April 2018, by and between the Village of Hinsdale, an Illinois Municipal corporation (hereinafter referred to as the "Village") and GSG Consultants Inc. (hereinafter referred to as the "Engineer") (collectively referred to as the "Parties").

Whereas, the Village is seeking professional services for construction observation services for the 2018 South Infrastructure Project (herein referred to as the "Project");

Whereas, Engineer submitted a Proposal dated 03/22/18 to provide said services for the Project;

Whereas, based upon Engineer's competence and the Village's prior experience with Engineer's work quality, the Village, through the Engineering Division, has chosen Engineer for the Project;

NOW THEREFORE, Engineer agrees to perform the services set forth herein and the Village agrees to pay for said services under the following terms and conditions:

SECTION 1. DEFINITIONS.

Whenever used in this Agreement, the following terms shall have the meanings indicated and the singular shall be read to include the plural and vice versa.

A. The term "Agreement" shall mean the entire integrated agreement between Engineer and the Village setting forth the terms and conditions governing the performance of the Project.

B. The term "Change Order" the document signed by Engineer and the Village which authorizes the performance of services beyond the Scope of Work to be supplied under the Agreement, which is issued on or after the Effective Date of this Agreement.

C. The "Engineer" shall mean GSG Consultants, Inc., its employees, agents, subcontractors, duly authorized representatives or others performing work on its behalf. To the extent any work performed under this Agreement is performed by subcontractors, the term "Engineer" shall include such subcontractors.

D. The term "Deliverable" shall mean the plans, specifications, documents, reports, or other item to be prepared and completed by Engineer pursuant to this Agreement.

E. The terms "Includes" and "Including" shall not be construed as limited to.

F. The term "May" is permissive; except the phrase "no person may" shall mean that

no person is required, authorized, or permitted to do the act prohibited.

G. The terms "Provide" "Furnish" and "Perform" shall be deemed to imply an obligation on the part of Engineer to obtain, deliver and pay for any material, product, service or other incidental item required under the Agreement, and includes an obligation on the part of Engineer to supply and pay for all labor and services necessary to properly complete the Work, and/or put into and otherwise make ready for its intended use any deliverable, service, item or other Work required by the Agreement.

H. The term "Shall" is imperative.

I. The term "Project" means the scope, extent, or amount of services, deliverables, items, or labor related to the construction observation engineering services for the 2018 South Infrastructure Project as more fully described of Exhibit "A" attached hereto.

J. The terms "Statute," "Law," "Regulation" and "Ordinance" shall be deemed to include all revisions, amendments, and supplements.

K. The term "Village" shall mean the Village of Hinsdale, an Illinois Municipal Corporation, its officers, directors, trustees, authorized representatives and employees.

L. The term "Work" shall mean the all services, labor, materials, equipment, and services provided or to be provided by the Engineer under the Agreement.

SECTION 2. GENERAL REQUIREMENTS-ENGINEER.

A. Engineer agrees to perform services under this Agreement in accordance with generally accepted and currently recognized engineering practices and principles, and in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. Engineer shall have sole responsibility for developing a design that meets the Village's performance expectations and satisfies any applicable state, federal or local laws or regulations.

B. Engineer's role with respect to the Project is solely that of an independent contractor. No right of review; requirement of approval; or other provision of this Agreement or subsequent conduct between the Parties shall be construed to create a relationship between the Parties as that of employer-employee principal and agent, partners, or joint ventures. Engineer shall have no authority or right to enter into any contract, or incur any debt or liability of any nature in the name of, or on behalf of, the Village.

C. Engineer shall not be performing any services with respect to construction oversight. Accordingly, Engineer shall have neither control over or charge of, nor be responsible for the means, methods, techniques, performance or sequence of construction, nor the assurance of site or employee safety. The Village shall cause these contractor responsibilities to be set forth in any subsequent contract to be entered into for

construction and installation. It shall be the authority of the Village, not the Engineer, to stop the work of any contractor or any subcontractor on the Project.

D. Engineer warrants and represents that it shall have the Intellectual Property rights (including, but not limited to, patent, copyright, trademark, service mark, or trade secret rights) to any Deliverable that will be provided to the Village during the performance of this Agreement and that transfer of said Deliverables to the Village shall not violate or infringe upon the Intellectual Property rights of any third party.

E. Engineer agrees to perform no professional services during the term of the contract for any person, firm or corporation, for any project or work that may be subject to the Village's review/inspection, to occur or occurring within the corporate limits of the Village, or contiguous to the corporate limits of the Village without notification to the Village prior to rendering services. Engineer agrees to provide the Village with written notification whenever the services provided under this Agreement shall require Engineer to review or inspect work performed by any other firm or corporation for whom Engineer is or has within the previous twelve (12) months provided professional services, or with any of Engineer's partners or principals have a financial interest. The Village may at its discretion disqualify Engineer from participation as representative of the Village in such projects.

F. Engineer represents that its employees, agents and subcontractors currently hold, and shall maintain throughout the completion of the Work, all required licenses, permits and certificates, and have duly registered and otherwise complied in all respects with any applicable federal, state and local laws, regulations and ordinances applicable to the performance of this Agreement.

G. Engineer agrees to perform the services contemplated under this Agreement in a timely manner, with completion no later than 12/31/18.

SECTION 3. GENERAL REQUIREMENTS-VILLAGE.

A. The Village agrees to provide full information regarding requirements for and about the Project, including the Village's objectives, schedule, constraints, criteria, special equipment, systems and site requirements. To the extent additional information readily available to the Village is requested by Engineer during the performance of the Project, the Village shall provide said information promptly and without cost or expense to the Engineer.

B. The Village agrees to provide timely review of any reports, drafts or other materials as requested by Engineer.

SECTION 4. SCOPE OF SERVICES.

A. As more fully set forth in its proposal dated 03/22/18, attached hereto as Exhibit "A", Engineer agrees to provide all labor, materials, expertise, services and consultation related to construction observation and related services for the Project as described in Exhibit "B". Exhibit "A" is incorporated herein by reference except for the General

Terms and Conditions attached thereto and except to the extent any term in Exhibit "A" is inconsistent with the terms in this Agreement

B. Engineer shall have the sole and ultimate responsibility for designing and drafting documents that meet the Village's performance expectations and satisfy all applicable laws, regulations and requirements of any federal, state, local or other regulatory authority.

SECTION 5. COMPENSATION AND PAYMENT FOR ENGINEER'S SERVICES.

A. Contract Amount.

Engineer agrees to provide the professional services and deliverables set forth in the Scope of Work, and the Village agrees to compensate Engineer for said performance, the Contract Amount of not-to-exceed \$262,600.00.

B. Hourly Rates and Costs.

Compensation for the services set forth in the Scope of Work shall be computed on the basis of the schedule of hourly rates for the professional services set forth in Exhibit "A." The Contract Amount includes Engineer's direct costs.

C. The Village agrees to make payments and to pay interest on unpaid balances under the provisions of the Local Government Prompt Payment Act. However, in no event shall Engineer be reimbursed for work performed that exceeds the Contract Amount without the Village's prior written consent and authorization.

D. Engineer shall submit invoices no more than once per month. Invoices shall provide a detailed breakdown of the amount billed, including the name, title, rate of pay, hours worked and services rendered by each individual during the period stated. Invoices shall be submitted in duplicate and shall reflect all prior amounts billed and paid to date. Invoices shall be accompanied by a progress report setting forth the rates of completion for all tasks scoped and for all deliverable products. Invoices shall not be deemed due unless and until a progress report has been submitted.

SECTION 6. DELIVERY AND OWNERSHIP OF DOCUMENTS.

A. All Deliverables, including but not limited to, any plans, specifications, reports, or other project documents prepared by Engineer pursuant to this Agreement shall be the exclusive property of the Village and Engineer shall provide such work product to the Village immediately upon request or upon the expiration or termination of this Agreement.

B. The Deliverables prepared by Engineer pursuant to this Agreement are intended for the express and sole use of the Village for this Project only. Any reuse by the Village on extensions of the Project or any other project or, any modification of the Deliverables by the Village without the specific written verification or adaptation by Engineer, shall be at Village's sole risk. Engineer shall not be liable for any damage or loss resulting from said reuse or modification by the Village.

C. Engineer shall provide the Village with the Deliverables both printed form and electronically. All reports and related information shall be compatible with "Microsoft Word 2003," by Microsoft Corporation, or latest version; all spreadsheets and related information shall be compatible with "Microsoft Excel 2003" by Microsoft Corporation, or latest version; and all CAD related information shall be compatible with "AutoCAD 2008" by Autodesk Corporation, or latest version. Deliverables in printed form shall be of a quality that assures total reproducibility by the Village.

D. Upon the condition that Engineer has received the prior written consent of the Village, Engineer shall have the right to include representations of the design of the Project, including photographs of the exterior and interior, among the Engineer's promotional and professional materials. The Engineer's materials shall not include the Village's confidential and proprietary information if the Village has previously advised the Engineer in writing of the specific information considered by the Village to be confidential and proprietary.

SECTION 7. INSURANCE.

A. Scope of Coverage and Amounts.

During the term of the Project, Engineer shall procure and maintain insurance against all claims for injury to or death of a person or persons or damage to property, which may arise wholly or in part from the performance of the services hereunder by Engineer. The scope of coverage shall be at least as broad as, and shall be in amounts not less than, the following:

1. Commercial General Liability, with the Village as an additional insured, \$1,000,000 combined single limit per occurrence for personal bodily injury and property damage. The general aggregate shall be no less than \$2,000,000.
2. Business Auto Liability, \$1,000,000 combined single limit per accident for bodily injury and property damage;
3. Workers Compensation and Employers' Liability in amounts required by statute (the policy shall include a 'waiver of subrogation');
4. Umbrella Coverage- \$2,000,000 per occurrence; and,
5. Professional Liability -- \$1,000,000 each claim covering negligent acts, errors, and omissions in connection with professional services to be provided by Engineer under this Agreement, and providing for indemnification and defense for injuries arising out of same, with a deductible not-to-exceed \$50,000 without prior written approval.

If the policy is written on a claims-made form, the retroactive date must be equal to or preceding the effective date of this Agreement. In the event the policy is cancelled, not renewed or switched to an occurrence form, the Engineer shall provide 30 days written notice prior to the cancellation, non-renewal, or switch and the Engineer shall purchase supplemental extending reporting period coverage for a period of not less than three (3) years.

B. Upon execution of this Agreement, Engineer shall furnish to the Village satisfactory proof of coverage of the above insurance requirements. Such proof shall consist of certificates executed by the respective insurance companies together with executed copies of an "Additional Insured Endorsement" in a form acceptable to the Village. Said certificates shall expressly provide that, for the duration of the Agreement, the insurance policy shall not be suspended, cancelled, or reduced in coverage or amount. In addition, said certificates shall list the Village and its corporate authorities, officials, agents and employees as an additional insured on all required insurance policies except the policy for professional liability and workers' compensation.

1. All insurance required herein of Engineer shall be valid and enforceable policies, insured by insurers licensed and permitted to do business by the State of Illinois or surplus line carriers qualified to do business in the State of Illinois. All insurance carriers and surplus line carriers shall be rated A-, VII or better by A.M. Best Company.

2. Engineer shall require all subcontractors not protected under the Engineer's policies to take out and maintain insurance of the same nature, in the same amounts and under the same terms as required herein of Engineer. Engineer shall confirm subcontractor compliance with the requirements stated herein prior to the performance of any Work by a subcontractor.

3. Engineer expressly understands and agrees that any bonds or insurance policies required to be maintained pursuant to this Agreement shall in no way limit the degree, amount, or extent of Engineer's responsibility to indemnify, keep and save harmless and defend the Village, their officers, agents, employees, representatives and assigns. Engineer's insurance coverage (both primary and excess) shall be primary as respect to any insurance or self-insurance maintained by the Village, which said insurance of the Village shall solely be excess of Engineer's insurance and shall not contribute with Engineer's insurance coverage.

SECTION 8. CHANGES IN WORK.

A. The Village reserves the right to request additional work or services beyond that stated in the Scope of Work or, to delete certain work or services currently set forth in the Scope of Work. Any such changes by the Village shall not invalidate the Agreement or relieve the Engineer of any obligations under this Agreement. Changes to the Work shall be authorized in writing and executed by the Parties. Engineer shall not proceed with any extra work unless and until a Change Order is executed by the Parties.

B. Unless otherwise agreed, the Village shall compensate Engineer for any extra work according to the rates set forth in Exhibit "A" to this Agreement. Engineer shall not be entitled to an adjustment to the Contract Amount for any work performed outside the scope of the Agreement and for which no prior written authorization by the Village was obtained; or, for work which exceeds the Contract Amount or other agreed upon pricing and for which no Change Order was executed prior to exceeding the Contract Amount.

SECTION 9. USE OF SUBCONTRACTORS AND CONFLICTS OF INTEREST.

Except as otherwise stated herein, Engineer may elect to use subcontractors to perform certain portions of the services to be provided under this Agreement; however, Engineer shall perform the majority of the work on the Project. Any use of subcontractors shall require the prior written approval of the Village, said approval shall not be unreasonably withheld. Engineer shall not be entitled to any payment for services performed by subcontractors for whom prior written approval of the Village was not obtained. Engineer shall remain ultimately responsible for all work performed with respect to the Project and shall ensure that subcontractors comply with the terms stated in this Agreement.

SECTION 10. INDEMNIFICATION.

A. Engineer shall defend, hold harmless, and indemnify the Village, its corporate authorities, trustees, officers, directors, and employees from and against any and all injury, death, loss, property damage, judgments, liens, claims, suits, liabilities, actions, causes of action, demands, expenses, costs, or other liabilities of any character (including reasonable attorney's fees) arising in whole or in part, relating to or resulting from the: (a) failure to comply with, or violation of, any federal, state or local law, statute, regulation, rule, ordinance, order, or governmental directive; (b) acts, omissions or willful misconduct; (c) failure to comply with the terms, conditions, representations, or warranties contained in the Agreement; (d) infringement of any patent, trademark or copyright; and, e) performance under this Agreement by Engineer, its Subcontractors, or others performing or furnishing any Work directly or indirectly on Engineer's behalf. In connection with any such liabilities, the Village, their officers, agents, employees, representatives and their assigns shall have the right to defense counsel of their choice and Engineer shall be solely liable for all costs, fees and expenses of such defense. The terms of this indemnity shall survive the suspension, expiration or termination of this Agreement.

B. The Village shall defend, hold harmless, and indemnify Engineer, its corporate authorities, trustees, officers, directors, agents, assigns, and employees from and against any and all injuries, deaths, losses, judgments, claims, suits, liabilities, actions, demands, expenses, costs, including reasonable attorney's fees, arising in whole or in part or relating to any act, omission, or performance under this Agreement by the Village, its employees, officers, directors, agents, or others working on its behalf, except that arising out of the sole legal cause of the Engineer. Nothing in this paragraph, however, shall be construed to create an obligation, right of action, or right of recovery that would otherwise not exist at law or in equity. Nor shall the terms of this paragraph be construed as a waiver by the Village of any right or defense it has, or otherwise would have had at law or in equity, but for this paragraph.

C. Kotecki Waiver. Engineer (and any subcontractor into whose subcontract this clause is incorporated) agrees to assume the entire liability for all personal injury claims suffered by its own employees and waives any limitation of liability defense based upon the Worker's Compensation Act and cases decided there under. Engineer agrees to indemnify and defend the Village from and against all such loss, expense, damage or injury, including reasonable attorneys' fees, which the Village may sustain as a result of personal injury claims by Engineer's employees, except to the extent those claims arise as a result of the Village's or own negligence.

D. In any contract the Village may subsequently enter into for construction related to the Project, the Village agrees to use its best efforts to require the contractor to indemnify, hold harmless, and defend the Engineer, its officers, employees and agents from and against any and all claims, suits, demands, liabilities, losses, damages, and costs, including but not limited to costs of defense, arising in whole or in part out of any act or omission of the contractor, its employees, agents, and subcontractors, or anyone for whose acts contractor may be liable.

SECTION 11. COMPLIANCE WITH LAWS.

A. Engineer agrees and certifies that it will comply with all applicable laws, regulations and rules promulgated by any federal, state, local, or other governmental authority or regulatory body, now in effect or which may be in effect during this Project. The scope of the laws, regulations, and rules referred to in this paragraph include, but in no way are limited to, the Illinois Human Rights Act, Illinois Equal Pay Act of 2003, Occupational Safety & Health Act, all forms of traffic regulations, public utility, Interstate and Intrastate Commerce Commission regulations, Workers' Compensation Laws, Prevailing Wage Laws, USA Security Act, federal Social Security Act (and any of its titles), and any other law, rule or regulation of the Illinois Department of Labor, Department of Transportation, Illinois Department of Human Rights, Human Rights Commission, or EEOC.

B. Without limiting the generality of the foregoing, pursuant to the requirements of Illinois law concerning public contracts, Engineer shall comply with each of the following as may be applicable:

1. Sexual Harassment Policy. Engineer certifies that it has a written sexual harassment policy defining sexual harassment as required in Section 2-105 of the Ill. Human Rights Act. 775 ILCA 5/1-105, *et seq.*
2. Tax Payments. Engineer certifies that it is not delinquent in the payment of any tax administered by the Illinois Department of Revenue as set forth in 65 ILCS 5/11-42.1-1.
3. Equal Pay Act of 2003. Engineer, and all subcontractors thereof, shall at all times comply with the provisions of the Illinois Equal Pay Act of 2003, 820 ILCS 112/1, *et seq.*
4. Public Works Employment Discrimination Act. The Engineer certifies that it will comply with the Illinois Public Works Employment Discrimination Act (775 ILCS 10/0.01, *et seq.*) which prohibits unlawful discrimination by any entity in the contracting for or performance of all public contracts with the State of Illinois and all of its political subdivisions. As required by this State Act, all of its provisions are incorporated herein by reference and are reprinted below.
5. Illinois Human Rights Act-Equal Opportunity Clause. Engineer certifies that it is an "Equal Opportunity Employer" as defined by federal and state laws and regulations, and agrees to comply with the Illinois Department of Human Rights (IDHR) Equal Opportunity clause as required by the IDHR's Regulations (44 Ill. Admin. Code, Part 750, Appendix A), which is considered to be part of any public contract or purchase agreement. As required by State law and IDHR Regulation, the Equal Opportunity clause is reprinted below.

EQUAL EMPLOYMENT OPPORTUNITY

In the event of the Engineer's non-compliance with the provisions of this Equal Employment Opportunity Clause, the Illinois Human Rights Act or the Rules and Regulations of the Illinois Department of Human Rights ("Department"), the Engineer may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and the contract may be cancelled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation. During the performance of this contract, the Engineer agrees as follows:

- 1) That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental handicap unrelated to ability, military status, or an unfavorable discharge from military service; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.
- 2) That, if it hires additional employees in order to perform this contract or any portion thereof, it will determine the availability (in accordance with the Department's Rules) of minorities and women in the areas from which it may reasonably recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.
- 3) That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental handicap unrelated to ability, military status, or an unfavorable discharge from military service.
- 4) That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Engineer's obligations under the Illinois Human Rights Act and the Department's Rules. If any such labor organization or representative fails or refuses to cooperate with the Engineer in its efforts to comply with such Act and Rules, the Engineer will promptly so notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations hereunder.
- 5) That it will submit reports as required by the Department's Rules, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and the Department's Rules.
- 6) That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and the Department for purposes of investigation to ascertain compliance with the Illinois Human Rights Act and the Department's Rules.
- 7) That it will include verbatim or by reference the provisions of this clause in every subcontract it awards under which any portion of the contract obligations are undertaken or assumed, so that such provisions will be binding upon such

subcontractor. In the same manner as with other provisions of this contract, the Engineer will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Engineer will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

ILLINOIS PUBLIC WORKS EMPLOYMENT DISCRIMINATION ACT

10/1. Discrimination in employment prohibited

§ 1. (a) No person shall be refused or denied employment in any capacity on the ground of unlawful discrimination, as that term is defined in the Illinois Human Rights Act, nor be subjected to unlawful discrimination in any manner, in connection with the contracting for or the performance of any work or service of any kind, by, for, on behalf of, or for the benefit of this State, or of any department, bureau, commission, board, or other political subdivision or agency thereof.

(b) The Illinois Human Rights Act applies to all contracts identified in subsection (a).

10/2. Deemed incorporated in contract

§ 2. The provisions of this Act shall automatically enter into and become a part of each and every contract or other agreement hereafter entered into by, with, for, on behalf of, or for the benefit of this State, or of any department, bureau, commission, board, other political subdivision or agency, officer or agent thereof, providing for or relating to the performance of any of the said work or services or of any part thereof.

10/3. Includes independent contractors, etc.

§ 3. The provisions of this Act also shall apply to all contracts entered into by or on behalf of all independent contractors, subcontractors, and any and all other persons, association or corporations, providing for or relating to the doing of any of the said work or the performance of any of the said services, or any part thereof.

10/4. Deduction from compensation

§ 4. No Engineer, subcontractor, nor any person on his or her behalf shall, in any manner, discriminate against or intimidate any employee hired for the performance of work for the benefit of the State or for any department, bureau, commission, board, other political subdivision or agency, officer or agent thereof, on account of race, color, creed, sex, religion, physical or mental handicap unrelated to ability, or national origin; and there may be deducted from the amount payable to the Engineer by the State of Illinois or by any municipal corporation thereof, under this contract, a penalty of five dollars for each person for each calendar day during which such person was discriminated against or intimidated in violation of the provisions of this Act.

10/5. Recovery by injured person

§ 5. Any person, agency, corporation or association who violates any of the

provisions of this Act, or who aids, abets, incites or otherwise participates in the violation of any of the provisions, whether the violation or participation therein occurs through action in a private, public or in any official capacity, shall be guilty of a petty offense for each and every violation or participation therein with respect to each person aggrieved thereby, to be recovered by each such aggrieved person, or by any other person to whom such aggrieved person shall assign his cause of action, in the circuit court in the county in which the plaintiff or the defendant shall reside.

10/6. Violations: punishment

§ 6. Any person who or any agency, corporation or association which shall violate any of the provisions of the foregoing sections, or who or which shall aid, abet, incite or otherwise participate in the violation of any of the said provisions, whether the said violation or participation therein shall occur through action in a private, in a public, or in any official capacity, shall also be deemed guilty of a petty offense for each and every said violation or participation or, in the case of non-corporate violators, or participators, of a Class 8 misdemeanor.

10/7. To be inscribed in contract

§ 7. The provisions of this Act shall be printed or otherwise inscribed on the face of each contract to which it shall be applicable, but their absence there from shall in no wise prevent or affect the application of the said provisions to the said contract.

10/8. Partial invalidity: construction

§ 8. The invalidity or unconstitutionality of any one or more provisions, parts, or sections of this Act shall not be held or construed to invalidate the whole or any other provision, part, or section thereof, it being intended that this Act shall be sustained and enforced to the fullest extent possible and that it shall be construed as liberally as possible to prevent refusals, denials, and discriminations of and with reference to the award of contracts and employment hereunder, on the ground of race, color, creed, sex, religion, physical or mental handicap unrelated to ability, or national origin.

SECTION 12. SUSPENSION AND TERMINATION OF SERVICES.

A. Suspension of Work

The Village may, at any time, by written notice to the Engineer require the Engineer to stop all, or any part, of the Work required by the Agreement. Upon receipt of such a notice, the Engineer shall immediately comply with its terms and take all steps to minimize the occurrence of costs allocable to the Work covered by the notice. Engineer shall, upon receipt of notice of suspension, identify in writing all Work that must be completed prior to suspension of the Work, including all Work associated with suspension that must be performed. With respect to Work so identified by Engineer and approved by the Village, the Village will pay for the necessary and reasonable costs associated with that Work. Engineer shall not be entitled to any claim for lost profits due to the suspension of the Work by the Village.

B. Termination of Agreement

1. The Village reserves the right to terminate the whole or any part of this Agreement, without cause, upon ten (10) calendar day's written notice to the Engineer.

2. The Village reserves the right to terminate the whole or any part of this Agreement, upon ten (10) calendar day's written notice to the Engineer in the event of default by the Engineer.

a. Default is defined as the failure by Engineer to correct defective Work as required; the persistent failure to carry out the Work in accordance with the Agreement; or, the failure to make sufficient progress to endanger timely completion of the Work.

b. Engineer shall also be deemed in default if the Engineer: 1) is adjudged bankrupt or insolvent, or makes a general assignment for the benefit of creditors or if a trustee or receiver is appointed for the Engineer or for any of the Engineer's property on account of the Engineer's insolvency, and the Engineer or its successor in interest does not provide adequate assurance of future performance in accordance with the Agreement within 10 days of receipt of a request for assurance from the Village; 2) repeatedly fails to supply sufficient skilled workmen or suitable materials or equipment; 3) repeatedly fails to make prompt payments to Subcontractors or suppliers at any tier, or for labor, materials or equipment; 4) disregards laws, ordinances, rules, codes, regulations, orders or similar requirements of any public entity having jurisdiction; or 5) otherwise violates any material term of the Agreement.

c. If Engineer shall assign this Agreement or abandon the Work or shall neglect or refuse to comply with the instructions of the Village relative thereto or shall fail in any manner to comply with the specifications or stipulations herein contained or if at any time the Village shall be of the opinion that the Work is unnecessarily delayed and will not be finished within the prescribed time, or that unnecessary inconvenience is being imposed upon the public or unnecessary expense is being incurred by the Village for inspection and supervision, the Village shall notify the Engineer, in writing, to that effect. If the Engineer does not, within five (5) calendar days thereafter, take such measures as will in the judgment of the Village ensure the satisfactory completion of the Work within the prescribed time or prevent unnecessary inconvenience to the public or prevent unnecessary expense to the Village, then the Village may take such actions as deemed necessary, at the cost to the Engineer, to correct such delay or, the may declare the Engineer to be in default and terminate the Agreement.

3. Upon receipt of notice of termination, Engineer shall identify in writing all Work that must be completed prior to termination of the Work, including all Work associated with termination that must be performed. Only with respect to Work so identified by Engineer and pre-approved by the Village, the Village will pay for the necessary and reasonable costs associated with that Work. Engineer shall not be entitled to any claim for lost profits due to the termination of the Work by the Village.

SECTION 13. NOTICES.

All notices, communications and/or demands given pursuant hereto shall be in writing and shall be deemed sufficient if sent by certified mail, return receipt requested, addressed as set forth at the following addresses, or at such other addresses as the Parties may designate by written notice in the manner aforesaid:

If to Village:

Village Manager
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

If to Engineer:

Village Engineer
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

The date of mailing shall be deemed the date of service. Either Party may change the address for notice by the aforesaid procedure.

SECTION 14. MISCELLANEOUS PROVISIONS.**A. Assignment.**

Engineer shall not assign this Agreement or any portion thereof. The merger, consolidation, or liquidation of Engineer or any change in the ownership of or power to vote 33 and 1/3% or more of Engineer's capital stock, as held as of the date of execution of this Agreement, shall be deemed an assignment, provided however, that transfer of ownership of shares of capital stock between persons who, on the date of this Agreement, are owners of Engineer's capital stock, shall not constitute an assignment.

B. Governing Law.

For any legal action between the Parties concerning the interpretation, construction and enforcement of this Agreement, or subject matter thereof, venue shall be in Cook County, Illinois and the laws of the State of Illinois shall govern the cause of action. In any action involving the interpretation or construction of the terms herein, this Agreement shall not be construed in favor of, or against, either Party.

C. Captions.

The captions set forth herein are inserted solely for ease and convenience of reference and are not intended to provide a basis for the construction and interpretation of this Agreement.

D. Entire Agreement.

This Agreement contains all negotiations, agreements, covenants and understandings between the Parties and supersedes any such prior written or oral agreement. This Agreement may not be modified or amended unless such modification or amendment is evidenced in writing, signed by both Parties and dated on the same date as, or later date than, the date of this Agreement.

E. Waiver.

The failure of either Party to enforce any term, condition, or covenant (herein referred to as "provision") of this Agreement shall not be deemed a waiver or limitation of that Party's right to subsequently enforce and compel strict compliance with such provision and every other provision of this Agreement. No provision of this Agreement shall be deemed to have been waived by either Party unless such waiver is in writing by said Party.

F. Third Party Beneficiaries.

Nothing contained in this Agreement shall be construed to create enforceable rights in favor of any third party not a party hereto, or a contractual relationship with, or a cause of action in favor of, any third party against either the Village or Engineer.

F. Survival.

The aforesaid covenants, agreements, representations and warranties shall survive the expiration or termination of the Agreement.

IN WITNESS WHEREOF, the Village of Hinsdale and Engineer, by their duly authorized representatives, have hereunto set their hands.

Accepted this ____ day of April 2018,

Engineering Consultant

By: _____

(Printed Name and Title)

Accepted this ____ day of April 2018,

The Village of Hinsdale, Illinois

By: _____

Kathleen A. Gargano, Village Manager

Exhibit A – GSG Consultants Construction Observation Proposal dated 03/22/18



GSG CONSULTANTS, INC.

Engineers, Scientists & Construction Managers

623 Cooper Court
Schaumburg, IL 60173
630-994-2600

Integrity | Quality | Reliability

March 22, 2018

Mr. Dan Deeter, P.E.
Village Engineer
Village of Hinsdale
19 East Chicago Avenue
Hinsdale, IL 60521-3489

**Re: Proposal Amendment for Phase III - Construction Engineering Services
2018 SOUTH Street Project
Village of Hinsdale**

Dear Mr. Deeter:

GSG Consultants, Inc. (GSG) is pleased to submit our Proposal Amendment for Phase III Construction Engineering Services for the 2018 SOUTH Street Project. This Proposal follows the Phase II Design Services phase being completed at this time.

GSG proposes to provide the construction engineering services for Phase III of the 2018 SOUTH Street Project for the **Total Lump Sum Fee of \$262,600.00.**

We understand that the Village of Hinsdale is accelerating the implementation of the 2018 street work by moving up certain streets from the 2019 program. The list of streets to be resurfaced/reconstructed in 2018 are listed on an excel spreadsheet, reviewed on January 22nd. GSG has also prepared a construction cost estimate for the SOUTH project, dated March 19, 2018, which is also attached. The construction engineering services will be considered a Change in Work in accordance with Section 8. of the Consultant Agreement for the 2018 Reconstruction Project (SOUTH). All other requirements of the Agreement will remain in place.

The Amendment Fee Estimate summarizing the labor and direct costs, is shown on the attached spreadsheet.

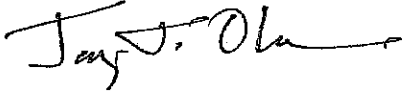
We appreciate the opportunity to provide our proposal amendment for your consideration, and look forward to working with the Village of Hinsdale on the 2018 SOUTH Street Project.

If you have any questions or need additional information, please feel free to contact me at (630) 536-6807, or by e-mail at jolson@gsg-consultants.com.



Village of Hinsdale, Illinois
Phase III - Construction Engineering Services
2018 SOUTH Street Project
March 22, 2018
Page 2 of 2

Respectfully Submitted,
GSG CONSULTANTS, INC.



Jay T. Olson, P.E.
Project Principal

Attachments: Fee Estimate
SOUTH Construction Cost Estimate (3/19/2018)



GSG CONSULTANTS - FEE ESTIMATE
HINSDALE
2018 SOUTH (RESURFACING) PROJECT
PHASE III - CONSTRUCTION OBSERVATION
MARCH 22, 2018

Personnel	Hourly Rate	Project Management		Resident Engineer		Construction Inspection		Subtotals	
		Manhours	Amount	Manhours	Amount	Manhours	Amount	Manhours	Amount
Project Manager	\$ 130.00	186	\$ 24,180.00		\$ -			186	\$ 24,180.00
Resident Engineer	\$ 105.00		\$ -	744	\$ 78,120.00			744	\$ 78,120.00
Field Engineer	\$ 80.00		\$ -		\$ -	1550	\$ 124,000.00	1550	\$ 124,000.00
SUBTOTAL LABOR									\$ 226,300.00
Direct Costs									
Material Testing							\$ 23,100.00		\$ 23,100.00
Vehicles	264 days @ \$50 per day						\$ 13,200.00		\$ 13,200.00
SUBTOTAL DIRECT COSTS									\$ 36,300.00
TOTAL FEE ESTIMATE		186	\$ 24,180.00	744	\$ 78,120.00	1550	\$ 160,300.00	2480	\$ 262,600.00

NOTES:

- 1) 3.77 % Construction Observation Fee based on Construction Budget of \$6,970,000 (SOUTH Bid - Estimated).
- 2) Full-time Construction Observation.
- 3) Construction Duration: 04/16/2018 - 11/16/2018 (31 weeks).



GSG CONSULTANTS, INC.
Engineers, Scientists & Construction Managers
623 Cooper Court
Schaumburg, IL 60173
PH 630.994.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	1		2		3	
							CHICAGO AVE	Garfield Ave to County Line Rd PCC RECONSTRUCTION	County Line Rd	47th St to 56th St RESURFACING	Eight Mile	Madison St to East End RESURFACING
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00		\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00		\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00	2420	\$7,260.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,870.00	67	\$7,370.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00	248	\$496.00	36	\$72.00	9	\$18.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00	2437	\$85,295.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00	679	\$23,765.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00	707	\$25,452.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00	2640	\$113,600.00		\$0.00	231	\$9,240.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00	2038	\$4,076.00		\$0.00		\$0.00
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	4963	\$24,815.00	724	\$3,620.00	182	\$910.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00		\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$160.00	101	\$16,160.00	20	\$3,200.00	18	\$2,880.00	6	\$960.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8582	\$94,402.00	7994	\$87,934.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	8100	\$79,300.00		\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	60	\$1,680.00		\$0.00		\$0.00		\$0.00
18	40900275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50	20	\$25.00	4276	\$5,345.00	488	\$610.00
19	40900625	LEVELING BINDER (MACHINE METHOD), N50	TON	\$63.00	1057	\$67,731.00		\$0.00	181	\$15,024.00	23	\$1,909.00
20	40900982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		\$0.00	134	\$1,206.00	35	\$315.00
21	40903000	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00		\$0.00		\$0.00		\$0.00
22	40903335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00	5	\$375.00	1064	\$79,600.00	134	\$10,050.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00	7994	\$679,490.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	187	\$11,220.00	21	\$1,260.00	62	\$3,720.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50	2238	\$16,785.00	1123	\$8,422.50		\$0.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00	144	\$4,752.00	32	\$1,056.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22782	\$341,430.00	7994	\$119,910.00		\$0.00		\$0.00
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00	41	\$82.00	8636	\$17,278.00	1085	\$2,170.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	384	\$4,334.00	83	\$913.00	85	\$935.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	4171	\$20,855.00	1303	\$6,515.00	328	\$1,640.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	2263	\$4,526.00	1123	\$2,246.00		\$0.00
32	44200926	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$95.00	139	\$9,035.00	139	\$9,035.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00		\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00		\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	827	\$70,295.00		\$0.00		\$0.00		\$0.00
36	44201781	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		\$0.00	16	\$1,120.00		\$0.00
37	44201785	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00	15	\$990.00	105	\$6,930.00		\$0.00
38	44201789	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00		\$0.00	56	\$3,192.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		\$0.00	1147	\$57,350.00	806	\$40,300.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00		\$0.00		\$0.00	27	\$135.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00		\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50		\$0.00		\$0.00		\$0.00
43	55100800	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00		\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00		\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00	1	\$325.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00		\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$600.00	18	\$8,000.00	6	\$3,000.00	3	\$1,500.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00	4	\$2,300.00	4	\$2,300.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$65.00	128	\$8,320.00	26	\$1,690.00		\$0.00		\$0.00
50	56100800	WATER MAIN 6"	FOOT	\$95.00	380	\$36,100.00	125	\$8,125.00	70	\$6,650.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00	1805	\$126,350.00	1751	\$122,570.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00	1	\$325.00	1	\$325.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$360.00	3	\$1,080.00	1	\$360.00	1	\$360.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00	1	\$6,500.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00		\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00	1	\$350.00	1	\$350.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00		\$0.00	1	\$350.00		\$0.00



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SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST	S	QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109418	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	56106420	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00		20	\$7,000.00	25	\$8,750.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*		\$0.00	1	\$800.00		\$0.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*	7	\$38,500.00		\$22,000.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00		4	\$16,000.00	4	\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00		2	\$6,400.00		\$0.00	1	\$3,200.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$8,000.00	1	\$8,000.00			\$0.00		\$0.00	1	\$6,000.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00			\$0.00		\$0.00		\$0.00
69	60238200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00			\$0.00	1	\$1,000.00		\$0.00
70	60238800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00		7	\$10,500.00		\$0.00	1	\$1,500.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x	3	\$1,800.00	7	\$4,200.00	2	\$1,200.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	14	\$7,000.00	13	\$6,500.00	2	\$1,000.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$1,000.00		\$0.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00		2	\$800.00		\$0.00		\$0.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	99	\$38,880.00		9	\$3,870.00	14	\$6,020.00		\$0.00
76	60500600	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00		2	\$1,000.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00			\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00		4171	\$145,985.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 8 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00		195	\$6,240.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00		1	\$3,000.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	185	\$2,925.00		195	\$2,925.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00			\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00			\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00			\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00		\$0.00
87	78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	448	\$3,584.00			\$0.00		\$0.00		\$0.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00		508	\$5,080.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00		475	\$7,125.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	199	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00		50	\$3,500.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00		94	\$8,460.00		\$0.00	18	\$1,620.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00		111	\$13,875.00		\$0.00	27	\$3,375.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00			\$0.00		\$0.00	166	\$29,050.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	358	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00		172	\$38,700.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00		311	\$77,750.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x	76	\$1,140.00	5	\$75.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	8059	\$189,357.00	x		\$0.00		\$0.00	328	\$7,544.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x	7	\$33,250.00	6	\$28,500.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x	29	\$522.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	780	\$3,180.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x	35	\$16,625.00	25	\$11,875.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$108.00	230	\$20,000.00	x	30	\$8,000.00	100	\$10,000.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x	23	\$1,955.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00	44	\$2,200.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4436	\$66,540.00	x	29	\$435.00	921	\$13,815.00	84	\$1,410.00

[illegible]

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$2,094,489.00	TOTAL COST	\$663,822.50	TOTAL COST	\$143,626.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,788.00						



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	4		5		6	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00		\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00		\$0.00		\$0.00		\$0.00
3	20101030	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00	716	\$2,148.00	797	\$2,391.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00	22	\$2,420.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00	76	\$152.00	74	\$148.00	14	\$28.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00	1133	\$40,355.00	781	\$27,335.00	285	\$9,975.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00	106	\$6,860.00	138	\$4,830.00	47	\$1,645.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00	99	\$3,564.00	138	\$4,968.00	47	\$1,692.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00	31	\$1,240.00	2057	\$82,280.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	9737	\$17,474.00	598	\$1,178.00	415	\$830.00	142	\$284.00
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	1514	\$7,570.00	1476	\$7,380.00	277	\$1,385.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00		\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$180.00	101	\$18,180.00	3	\$480.00	11	\$1,760.00	8	\$960.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8562	\$94,182.00		\$0.00		\$0.00	568	\$6,248.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	8100	\$79,300.00	2351	\$30,563.00	1880	\$21,580.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$26.00	60	\$1,580.00		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23930	\$29,787.50	1164	\$1,455.00	1143	\$1,428.75	434	\$542.50
19	40600925	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00		\$0.00	14	\$1,162.00	12	\$996.00
20	40600982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		\$0.00	62	\$558.00	24	\$216.00
21	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00	434	\$29,078.00	307	\$20,589.00		\$0.00
22	40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00	280	\$21,750.00	284	\$21,300.00	108	\$8,100.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00		\$0.00		\$0.00	568	\$48,280.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$60.00	1141	\$68,460.00	234	\$14,040.00	73	\$4,380.00		\$0.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 6 INCH	SQ FT	\$7.50	9511	\$71,332.50	684	\$5,205.00	331	\$2,482.50	151	\$1,132.50
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00	80	\$2,640.00	40	\$1,320.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22782	\$341,430.00	2351	\$35,265.00	1880	\$24,900.00	568	\$8,520.00
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00		\$0.00	649	\$1,298.00	877	\$1,754.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	1021	\$11,231.00	73	\$803.00	146	\$1,606.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	1388	\$6,940.00	1209	\$6,045.00	549	\$2,745.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	594	\$1,188.00	331	\$662.00	151	\$302.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$95.00	139	\$9,035.00		\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00		\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00		\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00		\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		\$0.00		\$0.00		\$0.00
37	44201785	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00		\$0.00		\$0.00		\$0.00
38	44201789	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	384	\$22,748.00		\$0.00		\$0.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		\$0.00		\$0.00	182	\$9,100.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00	28	\$140.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00		\$0.00	20	\$100.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50		\$0.00	129	\$967.50		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00		\$0.00	20	\$200.00		\$0.00
44	56100903	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00		\$0.00	1	\$300.00		\$0.00
45	56100905	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00		\$0.00		\$0.00		\$0.00
46	56100910	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00		\$0.00	1	\$425.00		\$0.00
47	56100915	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00		\$0.00	4	\$2,000.00		\$0.00
48	56100920	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00		\$0.00	2	\$1,150.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$65.00	126	\$8,190.00		\$0.00	100	\$6,500.00		\$0.00
50	56100800	WATER MAIN 6"	FOOT	\$65.00	380	\$24,700.00		\$0.00	70	\$4,550.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00		\$0.00	810	\$56,700.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00		\$0.00	1	\$325.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$380.00	3	\$1,080.00		\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$6,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$6,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00		\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00		\$0.00	2	\$700.00		\$0.00
59	56109406	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00		\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	4 Elgin Street Bruner St to Bodin St RECONSTRUCTION		5 Elm Street Fourth St to Sixth St RECONSTRUCTION		6 Hinsdale Ave Jackson St to Slough St PCC RECONSTRUCTION	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109418	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00		\$0.00	1	\$250.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00		\$0.00	4	\$1,400.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*	\$0.00	1	\$800.00		\$0.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*	\$0.00	4	\$22,000.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00		\$4,000.00	1	\$4,000.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00		\$0.00	5	\$16,000.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00		\$0.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00		\$0.00		\$0.00		\$0.00
70	60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00		\$0.00	2	\$3,000.00		\$0.00
71	60282700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x	\$800.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	\$1,500.00	1	\$500.00		\$0.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*	\$0.00		\$0.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00		\$0.00		\$0.00	2	\$800.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,880.00		\$1,720.00	6	\$2,580.00	3	\$1,290.00
76	60500080	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00		\$0.00		\$0.00		\$0.00
77	60803800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12	FOOT	\$25.00	8188	\$204,650.00	1398	\$34,950.00	1108	\$27,700.00	428	\$10,700.00
78	60804400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18	FOOT	\$35.00	4171	\$145,985.00		\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 8 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00		\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00		\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00		\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00		\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00		\$0.00		\$0.00	132	\$990.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00		\$0.00		\$0.00	320	\$640.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00		\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00		\$0.00		\$0.00		\$0.00
87	78000850	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00		\$0.00		\$0.00		\$0.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	509	\$5,080.00		\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00		\$0.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*	\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	198	\$20,895.00	59	\$9,195.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00		\$0.00	20	\$1,400.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00		\$0.00	25	\$2,250.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00		\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00		\$0.00	95	\$14,250.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	168	\$29,050.00		\$0.00		\$0.00		\$0.00
97	550B0580	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00		\$0.00	356	\$71,200.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00		\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	164	\$41,400.00		\$0.00	184	\$41,400.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00		\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x	\$0.00		\$0.00	30	\$450.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	8058	\$186,357.00	x	\$0.00		\$0.00		\$0.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x	\$0.00	2	\$7,000.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x	\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x	\$0.00	5	\$23,750.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x	\$0.00		\$0.00	17	\$306.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x	\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	790	\$3,160.00	x	\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x	\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	208	\$20,800.00	x	\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 8 INCH	SQ FT	\$35.00	241	\$8,435.00	x	\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x	\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x	\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x	\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x	\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x	\$0.00		\$0.00	3	\$600.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x	\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	x	\$0.00	1037	\$15,555.00	23	\$345.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL	TOTAL		QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
					QUANTITY	COST \$							
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x		\$0.00		\$0.00	3	\$2,250.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	x		\$0.00	20	\$3,000.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	x		\$0.00	40	\$4,400.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x		\$0.00	1	\$110.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	409	\$40,900.00			\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	x		\$0.00	181	\$5,088.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$28.00	1290	\$33,540.00	x		\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,805.00	x		\$0.00		\$0.00		\$0.00
131	VOH6	CCDDAUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	x		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	x		\$0.00	100	\$2,500.00	75	\$1,875.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	692	\$44,980.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$80,000.00	1	\$80,000.00	*		\$0.00		\$0.00	1	\$80,000.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327786	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$78.00	1287	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2620700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	1514	\$22,710.00	1476	\$22,140.00	277	\$4,155.00
141	X5810700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00	10	\$100.00		\$0.00
142	X5810744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*		\$0.00	4	\$12,000.00		\$0.00
143	X5810746	WATER MAIN LINE STOP 6"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5810748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00	2	\$8,000.00		\$0.00
145	X5810750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5820102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00	2	\$5,000.00		\$0.00
147	X5820104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00	4	\$12,800.00		\$0.00
148	X5830004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00	1	\$1,200.00		\$0.00
148	X5830006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5830008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5830704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00	2	\$4,800.00		\$0.00
152	X5830706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5830708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00	1	\$3,000.00		\$0.00
154	X6026632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00	1	\$180.00		\$0.00
155	XX0003000	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX004889	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00	20	\$5,500.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*	1	\$250.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*	106	\$4,770.00		\$0.00		\$0.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	4	\$1,200.00	8	\$1,800.00	6	\$1,800.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*	3	\$3,600.00	6	\$7,200.00		\$0.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*	2	\$500.00	3	\$750.00	3	\$750.00
164	Z0044800	PRESSURE CONNECTION 8" X 6"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00	1	\$4,500.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*		\$0.00		\$0.00		\$0.00
170	Z0056605	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00	45	\$4,050.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00	40	\$5,800.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

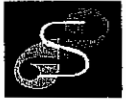
ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,786,927.50	TOTAL COST	\$307,795.00	TOTAL COST	\$682,965.76	TOTAL COST	\$192,462.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,708.00						



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SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST \$	7		8		9	
							Hinsdale Ave		Lincoln St		Ninth St	
							Monroe St to Grant St		Fifth St to Eighth St		Park Ave to Elm St	
							RECONSTRUCTION		RESURFACING		RESURFACING	
							Alternate 1: PCC					
							Alternate 2: HMA					
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00		\$0.00		\$0.00	20	\$500.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00		\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,835.00	2390	\$7,170.00		\$0.00	90	\$270.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00	68	\$7,280.00		\$0.00	2	\$220.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00	179	\$358.00		\$0.00	17	\$34.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00		\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00		\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00		\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	5271	\$210,840.00		\$0.00	434	\$17,380.00	678	\$27,120.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00	1884	\$3,768.00		\$0.00		\$0.00
11	21101815	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	3581	\$17,905.00		\$0.00	344	\$1,720.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00		\$0.00		\$0.00		\$0.00
14	28000610	INLET FILTERS	EACH	\$160.00	101	\$16,160.00	28	\$4,480.00		\$0.00	4	\$640.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8582	\$94,402.00		\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6100	\$79,300.00		\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	80	\$2,240.00		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23890	\$29,862.50		\$0.00		\$0.00	800	\$1,120.00
19	40600625	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00		\$0.00		\$0.00	42	\$3,486.00
20	40600982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		\$0.00		\$0.00	28	\$252.00
21	40603050	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$97.00	1127	\$109,399.00		\$0.00		\$0.00		\$0.00
22	40603335	HOT-MIX ASPHALT SURFACE COURSE, IL-19.0, N50	TON	\$75.00	8818	\$66,135.00		\$0.00		\$0.00	224	\$16,800.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00		\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	40	\$2,400.00		\$0.00	73	\$4,380.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 6 INCH	SQ FT	\$7.50	9511	\$71,332.50	217	\$1,627.50		\$0.00		\$0.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00	104	\$3,432.00		\$0.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22782	\$341,730.00	8100	\$121,500.00		\$0.00		\$0.00
28	44000155	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	90386	\$180,772.00		\$0.00		\$0.00	1999	\$3,998.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	913	\$10,043.00		\$0.00	150	\$1,650.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	512	\$2,560.00		\$0.00	620	\$3,100.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	1955	\$3,910.00		\$0.00		\$0.00
32	44200828	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$65.00	139	\$9,025.00		\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$80.00	5	\$400.00		\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00		\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00		\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		\$0.00		\$0.00		\$0.00
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$68.00	572	\$38,736.00		\$0.00	22	\$1,452.00		\$0.00
38	44201769	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00		\$0.00		\$0.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		\$0.00	239	\$11,950.00	582	\$29,100.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00		\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00		\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50		\$0.00		\$0.00		\$0.00
43	55100600	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00		\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00		\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00		\$0.00		\$0.00	1	\$325.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00		\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00		\$0.00		\$0.00	3	\$1,500.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00		\$0.00		\$0.00		\$0.00
49	58100500	WATER MAIN 4"	FOOT	\$65.00	128	\$8,320.00		\$0.00		\$0.00		\$0.00
50	58100600	WATER MAIN 6"	FOOT	\$95.00	380	\$36,050.00		\$0.00		\$0.00	115	\$10,925.00
51	58100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00		\$0.00		\$0.00	653	\$45,710.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$360.00	3	\$1,080.00		\$0.00		\$0.00	1	\$360.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00		\$0.00		\$0.00		\$0.00
57	58109398	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00		\$0.00		\$0.00		\$0.00
58	58109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00		\$0.00		\$0.00		\$0.00
59	58109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00		\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST	S	7		8		9	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	58109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00			\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*		\$0.00		\$0.00	2	\$1,600.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*		\$0.00		\$0.00	3	\$16,500.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00			\$0.00		\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00			\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$8,000.00	1	\$8,000.00			\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00			\$0.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00			\$0.00		\$0.00		\$0.00
70	60238900	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00			\$0.00		\$0.00		\$0.00
71	60282700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x	2	\$1,200.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	8	\$3,000.00		\$0.00	4	\$2,000.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00		1	\$400.00		\$0.00		\$0.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,980.00		21	\$9,030.00		\$0.00		\$0.00
76	80500080	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00			\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12	FOOT	\$25.00	8108	\$204,950.00		3686	\$92,150.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18	FOOT	\$35.00	4171	\$146,985.00			\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 8 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00			\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00			\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00			\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00			\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00			\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00			\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00		\$0.00
87	78000850	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$6.00	448	\$2,688.00			\$0.00		\$0.00		\$0.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00			\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00			\$0.00		\$0.00		\$0.00
90	88500600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	199	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00			\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00			\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00			\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00			\$0.00		\$0.00		\$0.00
97	550B0890	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00			\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00			\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	8058	\$187,357.00	x		\$0.00		\$0.00	620	\$14,280.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00	2	\$9,000.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x		\$0.00		\$0.00	104	\$1,872.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00	1	\$6,000.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	780	\$3,180.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x		\$0.00		\$0.00	40	\$19,000.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x		\$0.00		\$0.00	20	\$2,000.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 8 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$80.00	13	\$850.00	x		\$0.00		\$0.00	13	\$650.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x	701	\$59,585.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x	10	\$2,000.00		\$0.00	1	\$200.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	x	42	\$630.00		\$0.00	186	\$2,790.00



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$		7		8		9	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	X		\$0.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	X		\$0.00		\$0.00	20	\$3,000.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	X		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	X		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	X		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	X		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	X		\$0.00		\$0.00		\$0.00
126	VOH48	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	469	\$46,900.00	X		\$0.00	469	\$46,900.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	X		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	X		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	X	1290	\$33,540.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,805.00	X		\$0.00		\$0.00		\$0.00
131	VOH6	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	X		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	X		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	X		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	X		\$0.00		\$0.00		\$0.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	692	\$44,990.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00	45	\$3,150.00		\$0.00
138	X0327788	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	*		\$0.00	1287	\$97,812.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00	2	\$750.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	3581	\$53,715.00		\$0.00	344	\$5,160.00
141	X5810700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5810744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5810746	WATER MAIN LINE STOP 6"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00	2	\$7,500.00
144	X5810748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00	2	\$8,000.00
145	X5810750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5820102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00	5	\$12,500.00
147	X5820104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00	5	\$16,000.00
148	X5830004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5830006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00	2	\$2,600.00
150	X5830008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5830704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5830706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00	1	\$2,500.00
153	X5830708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X6026632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX004688	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00	20	\$5,500.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*	92	\$4,140.00		\$0.00	63	\$2,835.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	22	\$6,600.00		\$0.00	3	\$900.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*	3	\$3,600.00		\$0.00	1	\$1,200.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*	2	\$500.00		\$0.00	2	\$500.00
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00	1	\$6,500.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*		\$0.00		\$0.00		\$0.00
170	Z0056606	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00		\$0.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$456,503.50	TOTAL COST	\$178,624.00	TOTAL COST	\$301,082.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,768.00						



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	S	10		11		12	
								Quantity	Price	Quantity	Price	Quantity	Price
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00			\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00			\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00		801	\$2,403.00	331	\$983.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00		23	\$2,530.00	9	\$990.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,806.00		114	\$228.00	11	\$22.00	6	\$12.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00		899	\$24,455.00	193	\$6,755.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00		1180	\$41,300.00	679	\$23,765.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$38.00	2214	\$78,704.00		1180	\$42,480.00	43	\$1,548.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00			\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00		3541	\$7,082.00	129	\$258.00		\$0.00
11	21101815	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	18414	\$92,070.00	x	2278	\$11,390.00	576	\$2,880.00	124	\$620.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00			\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00			\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$180.00	101	\$18,180.00		6	\$960.00	1	\$160.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8562	\$94,182.00			\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6100	\$79,300.00		1674	\$20,462.00	516	\$6,695.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$26.00	60	\$1,560.00	x		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50		1348	\$1,685.00	255	\$318.75	1514	\$1,892.50
19	40800625	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$88,731.00		24	\$1,892.00		\$0.00	71	\$5,893.00
20	40800982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		38	\$342.00	34	\$306.00	60	\$540.00
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,508.00		291	\$18,487.00	98	\$6,385.00		\$0.00
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	8918	\$511,350.00		335	\$25,125.00	63	\$4,725.00	415	\$31,125.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00			\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	x	175	\$10,500.00		\$0.00		\$0.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50			\$0.00	106	\$787.50	210	\$1,575.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00			\$0.00	16	\$528.00	4	\$132.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	x	1674	\$23,610.00	516	\$7,725.00		\$0.00
28	44000158	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50388	\$100,772.00		1149	\$2,298.00		\$0.00	3365	\$6,730.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x	286	\$3,146.00	104	\$1,144.00	168	\$1,848.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x	1501	\$7,505.00	423	\$2,115.00	370	\$1,850.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11823	\$23,646.00	x		\$0.00	105	\$210.00	210	\$420.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$65.00	199	\$9,035.00			\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00			\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00			\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,785.00			\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00			\$0.00		\$0.00	7	\$490.00
37	44201785	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00			\$0.00		\$0.00	10	\$660.00
38	44201789	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00		39	\$2,223.00		\$0.00	22	\$1,254.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8842	\$442,100.00		422	\$21,100.00		\$0.00	126	\$6,300.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00		20	\$145.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00			\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50			\$0.00		\$0.00		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00			\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00			\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00			\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00			\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00			\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00			\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$85.00	126	\$8,190.00			\$0.00		\$0.00		\$0.00
50	56100600	WATER MAIN 6"	FOOT	\$65.00	380	\$24,700.00			\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00			\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$380.00	3	\$1,080.00			\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$8,500.00	1	\$8,500.00	*		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00			\$0.00		\$0.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00			\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST	S	10		11		12	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00			\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*		\$0.00		\$0.00		\$0.00
64	56400520	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*		\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	6	\$24,000.00		2	\$8,000.00		\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00			\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$6,000.00	1	\$6,000.00			\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00		1	\$1,250.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00			\$0.00		\$0.00		\$0.00
70	60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00		1	\$1,500.00		\$0.00		\$0.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x		\$0.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	2	\$1,000.00		\$0.00	4	\$2,000.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00			\$0.00		\$0.00		\$0.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,880.00		3	\$1,290.00		\$0.00	1	\$430.00
76	60500080	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00		2	\$1,000.00		\$0.00		\$0.00
77	60803800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00		1155	\$28,875.00	423	\$10,575.00		\$0.00
78	60804400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00			\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00			\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00			\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00			\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00			\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2880	\$5,760.00			\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00			\$0.00		\$0.00	106	\$212.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$6.00	446	\$2,676.00			\$0.00		\$0.00	81	\$486.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00			\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00			\$0.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	189	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00		52	\$3,640.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$80.00	137	\$11,330.00			\$0.00		\$0.00		\$0.00
94	550B0380	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00			\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	85	\$12,750.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00			\$0.00		\$0.00		\$0.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00			\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00			\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	8059	\$18,737.00	x		\$0.00		\$0.00		\$0.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x		\$0.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	790	\$3,160.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	602	\$15,050.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x		\$0.00	19	\$1,615.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4498	\$67,440.00	x	1432	\$21,480.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	S	10		11		12	
								Park Ave	Elm St	Quincy St	Chestnut St to Town Pl	17th St	Madison St to Grant St
								RECONSTRUCTION		RECONSTRUCTION		RESURFACING	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	X	4	\$3,000.00	1	\$750.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	X		\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	X		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	X		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	X		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	X		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	X		\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	489	\$48,900.00	X		\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	X		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	799	\$22,344.00	X		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	X		\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,605.00	X		\$0.00		\$0.00		\$0.00
131	VOH6	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	X		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	X		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	X		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	X	346	\$8,850.00		\$0.00	370	\$9,250.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	992	\$44,980.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327786	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	2278	\$34,170.00	578	\$8,640.00	124	\$1,860.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 8"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00		\$0.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X8026632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	X0000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	X0004689	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00		\$0.00
157	X0008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	X0008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*	335	\$15,075.00	83	\$3,735.00	188	\$7,560.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	2	\$500.00		\$0.00	10	\$3,000.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*	3	\$3,600.00	1	\$1,200.00		\$0.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*	2	\$500.00	1	\$250.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 8" X 8"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044550	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0055804	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*		\$0.00		\$0.00		\$0.00
170	Z0055900	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0055908	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00		\$0.00		\$0.00
172	Z0055910	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0055912	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID)						\$7,796,927.50		TOTAL COST	\$408,098.00	TOTAL COST	\$95,055.25	TOTAL COST	\$86,301.50
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)						\$8,603,112.50							
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)						\$8,166,708.00							



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST	S	13		14		15	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (8 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00			\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00			\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00			\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,870.00			\$0.00		\$0.00	1	\$110.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00		5	\$10.00	2	\$4.00	20	\$40.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00			\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00			\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$98.00	2214	\$79,704.00			\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,940.00			\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00			\$0.00		\$0.00		\$0.00
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	x	94	\$470.00	34	\$170.00	398	\$1,980.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00			\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00			\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$180.00	101	\$18,180.00			\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8562	\$94,182.00			\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$12.00	6100	\$73,200.00			\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	60	\$1,680.00	x		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50		173	\$218.25		\$0.00	716	\$895.00
19	40600825	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,781.00		73	\$8,059.00		\$0.00	34	\$2,822.00
20	40600982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		55	\$495.00		\$0.00	40	\$360.00
21	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-10.0, N50	TON	\$67.00	1127	\$75,509.00			\$0.00		\$0.00		\$0.00
22	40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00		426	\$31,950.00		\$0.00	197	\$14,776.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00			\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	x	28	\$1,820.00	27	\$1,620.00	33	\$1,980.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50		180	\$1,350.00		\$0.00	284	\$2,130.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00		18	\$528.00		\$0.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22782	\$341,430.00	x		\$0.00		\$0.00		\$0.00
28	44000158	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00		3453	\$6,906.00		\$0.00	1590	\$3,180.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x	60	\$660.00	54	\$594.00	33	\$363.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x	281	\$1,405.00	100	\$500.00	1192	\$5,960.00
31	44000800	SIDEWALK REMOVAL	SQ FT	\$2.00	11823	\$23,646.00	x	180	\$360.00		\$0.00	284	\$568.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$85.00	139	\$9,935.00			\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00			\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00			\$0.00		\$0.00		\$0.00
35	44200978	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00			\$0.00	639	\$54,315.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00			\$0.00		\$0.00		\$0.00
37	44201785	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$65.00	572	\$37,752.00			\$0.00		\$0.00		\$0.00
38	44201788	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00			\$0.00		\$0.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		488	\$24,400.00		\$0.00	69	\$3,450.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00			\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00			\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	128	\$967.50			\$0.00		\$0.00		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00			\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00			\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00			\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00			\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00			\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00			\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$85.00	128	\$8,180.00			\$0.00		\$0.00		\$0.00
50	56100800	WATER MAIN 6"	FOOT	\$85.00	380	\$32,400.00			\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00			\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$380.00	3	\$1,080.00			\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00	*		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
57	56109388	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00			\$0.00		\$0.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00			\$0.00		\$0.00		\$0.00



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NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$		13		14		15	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00			\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*		\$0.00		\$0.00		\$0.00
64	56400520	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*		\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00			\$0.00		\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00			\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$8,000.00	1	\$8,000.00			\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00			\$0.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00			\$0.00		\$0.00		\$0.00
70	60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00			\$0.00		\$0.00		\$0.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$800.00	17	\$10,200.00	X		\$0.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	X	15	\$7,500.00	1	\$500.00		\$0.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00			\$0.00		\$0.00		\$0.00
75	60408100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	88	\$36,880.00			\$0.00		\$0.00	5	\$2,150.00
76	60500060	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00			\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12	FOOT	\$25.00	8198	\$204,950.00			\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18	FOOT	\$35.00	4171	\$145,985.00			\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00			\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00			\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00			\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00			\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00			\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	874	\$1,748.00			\$0.00		\$0.00	130	\$250.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00	114	\$285.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00		12	\$96.00		\$0.00	13	\$104.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00			\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00			\$0.00		\$0.00		\$0.00
90	80600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	199	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00			\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00			\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00			\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00			\$0.00		\$0.00		\$0.00
97	550B0880	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00			\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00			\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	X		\$0.00		\$0.00	21	\$315.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	9058	\$138,357.00	X		\$0.00	100	\$2,300.00	1192	\$27,416.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	X		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	X		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	X		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	X		\$0.00		\$0.00	150	\$2,700.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	X		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	780	\$3,160.00	X		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	X		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	X		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	X		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	X		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	X		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$95.00	743	\$69,355.00	X		\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	X		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	X		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	X		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	X		\$0.00		\$0.00	57	\$855.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST	S	13		14		15	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x		\$0.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	x		\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	x		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x		\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	469	\$46,900.00	x		\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	799	\$22,344.00	x		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1280	\$33,540.00	x		\$0.00		\$0.00		\$0.00
130	VOH56	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,805.00	x		\$0.00		\$0.00		\$0.00
131	VOH6	CCDD LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	x		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	x	281	\$7,025.00		\$0.00		\$0.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$85.00	892	\$44,980.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327785	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$79.00	1207	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	18414	\$291,210.00	*	94	\$1,410.00	34	\$510.00	368	\$5,970.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 6"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00		\$0.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	6	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X6025632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX004689	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00	32	\$640.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*	32	\$1,440.00	27	\$1,215.00		\$0.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	11	\$3,300.00	2	\$600.00	1	\$300.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*		\$0.00		\$0.00	5	\$6,000.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*		\$0.00		\$0.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044505	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*		\$0.00		\$0.00		\$0.00
170	Z0056606	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00		\$0.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$97,260.25	TOTAL COST	\$62,328.00	TOTAL COST	\$85,518.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,708.00						



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	16 Eighth St to South End RESURFACING		17 Monroe St to Madison St RESURFACING		18 Eighth St to Ninth Ct RESURFACING	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00		\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00		\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,835.00		\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00	4	\$440.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00	26	\$52.00	20	\$40.00	3	\$6.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00		\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00		\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,794.00		\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00		\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00		\$0.00		\$0.00		\$0.00
11	21101815	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	x 529	\$2,645.00	402	\$2,010.00	80	\$300.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00		\$0.00		\$0.00		\$0.00
14	26000510	INLET FILTERS	EACH	\$180.00	101	\$18,180.00		\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8582	\$94,402.00		\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6109	\$79,300.00		\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	60	\$1,680.00	x	\$0.00		\$0.00		\$0.00
18	40800275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50	1587	\$1,958.75	858	\$1,072.50	1221	\$1,526.25
19	40800825	LEVELING BINDER (MACHINE METHOD), N50	TON	\$63.00	1057	\$66,731.00	74	\$6,142.00	41	\$3,403.00	57	\$4,731.00
20	40800982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$8.00	1034	\$8,306.00	28	\$252.00	123	\$1,107.00	37	\$333.00
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00		\$0.00		\$0.00		\$0.00
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MBX "D", N50	TON	\$75.00	8818	\$661,350.00	429	\$32,175.00	277	\$20,775.00	168	\$12,800.00
23	42900201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00		\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$80.00	1141	\$91,280.00	x 79	\$4,740.00	90	\$5,400.00		\$0.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	8511	\$63,832.50		\$0.00	778	\$5,835.00	285	\$2,137.50
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,486.00		\$0.00	48	\$1,584.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	x	\$0.00		\$0.00		\$0.00
28	44000158	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00	3482	\$6,964.00	1907	\$3,814.00	2714	\$5,428.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x 218	\$2,406.00	90	\$990.00		\$0.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x 1585	\$7,925.00	1204	\$6,020.00	130	\$650.00
31	44000800	SIDEWALK REMOVAL	SQ FT	\$2.00	11823	\$23,646.00	x	\$0.00	778	\$1,556.00	285	\$570.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$95.00	139	\$13,045.00		\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00		\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00		\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$95.00	927	\$88,065.00		\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		\$0.00		\$0.00	8	\$560.00
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$68.00	572	\$38,736.00	118	\$7,788.00		\$0.00		\$0.00
38	44201769	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00	84	\$4,788.00		\$0.00	34	\$1,938.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00	490	\$24,500.00	314	\$15,700.00	658	\$32,900.00
40	56100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00		\$0.00		\$0.00		\$0.00
41	56100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00		\$0.00		\$0.00		\$0.00
42	56100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50		\$0.00		\$0.00		\$0.00
43	56100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00		\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00		\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00		\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00		\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00		\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$675.00	10	\$6,750.00		\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$85.00	126	\$10,710.00		\$0.00		\$0.00		\$0.00
50	56100600	WATER MAIN 6"	FOOT	\$85.00	380	\$32,550.00		\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00		\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
53	56101180	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$380.00	3	\$1,140.00		\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$9,500.00	1	\$9,500.00	*	\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$9,500.00	3	\$28,500.00	*	\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$9,500.00	3	\$28,500.00	*	\$0.00		\$0.00		\$0.00
57	56108998	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00		\$0.00		\$0.00		\$0.00
58	56108400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00		\$0.00		\$0.00		\$0.00
59	56108408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00		\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	16		17		18	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00		\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00		\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00		\$0.00		\$0.00		\$0.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00		\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00		\$0.00		\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00		\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$6,000.00	1	\$6,000.00		\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00		\$0.00		\$0.00		\$0.00
69	60238200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00		\$0.00		\$0.00		\$0.00
70	60238800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00		\$0.00		\$0.00		\$0.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x	\$0.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	\$4,000.00	2	\$1,000.00	3	\$1,500.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*	\$0.00	2	\$1,000.00		\$0.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00		\$0.00		\$0.00		\$0.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,980.00		\$0.00		\$0.00	4	\$1,720.00
76	60500060	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00		\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12	FOOT	\$25.00	8198	\$204,950.00		\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00		\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00		\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00		\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00		\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00		\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00		\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00		\$0.00		\$0.00	48	\$96.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00		\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00		\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	448	\$3,584.00		\$0.00		\$0.00	12	\$96.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00		\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00		\$0.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*	\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	198	\$20,895.00		\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00		\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00		\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00		\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00		\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00		\$0.00		\$0.00		\$0.00
97	550B0880	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00		\$0.00		\$0.00		\$0.00
98	550B0718	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00		\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00		\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00		\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x	\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	6059	\$139,357.00	x	\$36,455.00	1204	\$27,692.00	130	\$2,990.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x	\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x	\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x	\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x	\$0.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x	\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	790	\$3,160.00	x	\$0.00	790	\$3,160.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x	\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x	\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x	\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x	\$0.00	502	\$12,550.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	19	\$950.00	x	\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x	\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x	\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x	\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x	\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	x	\$150.00		\$0.00	15	\$225.00



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$		16		17		18	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x	3	\$2,250.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	106	\$15,900.00	x		\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 6"	FOOT	\$110.00	40	\$4,400.00	x		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x		\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	469	\$46,900.00	x		\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	795	\$22,344.00	x		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	x		\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,605.00	x		\$0.00		\$0.00		\$0.00
131	VOH5	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	x		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3843	\$96,075.00	x		\$0.00		\$0.00		\$0.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	692	\$44,980.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327786	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	529	\$7,935.00	402	\$6,030.00	80	\$900.00
141	X5810700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5810744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5810748	WATER MAIN LINE STOP 8"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5810748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00		\$0.00
145	X5810750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5820102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00		\$0.00
147	X5820104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00		\$0.00
148	X5830004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5830006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5830008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5830704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5830708	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5830708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X6026832	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX004689	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1870	\$75,150.00	*	140	\$6,300.00		\$0.00		\$0.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	5	\$1,500.00	4	\$1,200.00	4	\$1,200.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*	4	\$4,800.00		\$0.00	4	\$4,800.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*		\$0.00		\$0.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056004	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*		\$0.00		\$0.00		\$0.00
170	Z0056009	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056008	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$80.00	45	\$3,600.00	*		\$0.00		\$0.00		\$0.00
172	Z0056010	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056012	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$166,168.75	TOTAL COST	\$121,938.50	TOTAL COST	\$77,206.75
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,768.00						



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST \$	19		20		21	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00		\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00		\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,835.00		\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,870.00		\$0.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00		\$0.00		\$0.00		\$0.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00		\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00		\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00		\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00		\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00		\$0.00		\$0.00		\$0.00
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	x	\$405.00	85	\$425.00	242	\$1,210.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00		\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$160.00	101	\$16,160.00		\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8582	\$94,402.00		\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6100	\$79,300.00		\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	60	\$1,680.00	x	\$0.00		\$0.00		\$0.00
18	40800275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50		\$0.00		\$0.00		\$0.00
19	40800625	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00		\$0.00		\$0.00	2209	\$2,761.25
20	40900982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		\$0.00		\$0.00	104	\$8,632.00
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00		\$0.00		\$0.00	39	\$3,510.00
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00		\$0.00		\$0.00	605	\$45,375.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00		\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	x	\$0.00		\$0.00	12	\$720.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50	242	\$1,815.00	238	\$1,785.00	160	\$1,200.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00		\$1,056.00	32	\$1,056.00	20	\$660.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	x	\$0.00		\$0.00		\$0.00
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00		\$0.00		\$0.00	4907	\$9,814.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x	\$0.00		\$0.00	169	\$1,859.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x	\$1,210.00	253	\$1,285.00	737	\$3,685.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11923	\$23,846.00	x	\$476.00	238	\$476.00	160	\$320.00
32	44200926	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$85.00	139	\$9,835.00		\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00		\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00		\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00		\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		\$0.00		\$0.00	10	\$700.00
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00		\$0.00		\$0.00	253	\$16,698.00
38	44201769	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00		\$0.00		\$0.00	53	\$3,021.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		\$0.00		\$0.00	975	\$48,750.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00		\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00		\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50		\$0.00		\$0.00		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00		\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00		\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$925.00	2	\$925.00		\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00		\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	18	\$9,000.00		\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00		\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$65.00	126	\$8,190.00		\$0.00		\$0.00		\$0.00
50	56100600	WATER MAIN 6"	FOOT	\$95.00	380	\$36,100.00		\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00		\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$360.00	3	\$1,080.00		\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00	*	\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00	*	\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00	*	\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00		\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00		\$0.00		\$0.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00		\$0.00		\$0.00		\$0.00



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SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$		19		20		21	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	58109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	58109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	58109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00			\$0.00		\$0.00		\$0.00
63	58400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00			\$0.00		\$0.00		\$0.00
64	58400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00			\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00			\$0.00		\$0.00		\$0.00
66	60219400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00			\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$6,000.00	1	\$6,000.00			\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00			\$0.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 FRAME	EACH	\$1,000.00	1	\$1,000.00			\$0.00		\$0.00		\$0.00
70	60238800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00			\$0.00		\$0.00		\$0.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x		\$0.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x		\$0.00		\$0.00	5	\$2,500.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00	2	\$1,000.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00			\$0.00		\$0.00	3	\$1,200.00
75	60408100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,980.00			\$0.00		\$0.00	7	\$3,010.00
76	60500080	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00			\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00			\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00			\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00			\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00			\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00			\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00			\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00			\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00			\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00			\$0.00		\$0.00		\$0.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00			\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00			\$0.00		\$0.00		\$0.00
90	88600800	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	198	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00			\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00			\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00			\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	65	\$9,750.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00			\$0.00		\$0.00		\$0.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00			\$0.00		\$0.00		\$0.00
99	550B0800	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00			\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	8058	\$187,334.00	x		\$0.00		\$0.00		\$0.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x		\$0.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	780	\$3,180.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5', WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x		\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	x		\$0.00		\$0.00	25	\$375.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST	8	19		20		21	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x		\$0.00		\$0.00	6	\$4,500.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	x		\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x	2792	\$78,176.00	3048	\$85,344.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	x		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x		\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	489	\$48,900.00	x		\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	x		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$28.00	1290	\$33,540.00	x		\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,805.00	x		\$0.00		\$0.00		\$0.00
131	VOH6	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	x		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	x		\$0.00		\$0.00	737	\$18,425.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	692	\$44,980.00	*		\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327786	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	81	\$1,215.00	85	\$1,275.00	242	\$3,630.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	8	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 6"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00		\$0.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X6026632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	XX0003000	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX0004889	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00		\$0.00
157	XX0008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	XX0008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*		\$0.00		\$0.00	157	\$7,065.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*		\$0.00		\$0.00	14	\$4,200.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*		\$0.00		\$0.00	9	\$10,800.00
163	Z0019500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*		\$0.00		\$0.00	4	\$1,000.00
164	Z0044500	PRESSURE CONNECTION 6" X 8"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$5,500.00	3	\$16,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$80.00	10	\$800.00	*		\$0.00		\$0.00		\$0.00
170	Z0056806	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00		\$0.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID) \$7,796,927.50 TOTAL COST \$84,369.00 TOTAL COST \$81,634.00 TOTAL COST \$203,486.25
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1) \$8,063,112.50
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2) \$8,166,768.00



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	S	22		23		24	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00			\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00			\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00			\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00			\$0.00	3	\$330.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00		7	\$14.00	44	\$88.00	7	\$14.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00			\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00			\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$38.00	2214	\$79,704.00			\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00			\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00			\$0.00		\$0.00		\$0.00
11	21101815	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	X	132	\$680.00	885	\$4,425.00	133	\$665.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00			\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00			\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$160.00	101	\$16,160.00			\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8562	\$94,182.00			\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	9100	\$119,300.00			\$0.00		\$0.00		\$0.00
17	402001000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$28.00	60	\$1,680.00	X		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23930	\$29,787.50		944	\$1,180.00	1907	\$2,383.75	1864	\$2,330.00
19	40800625	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00		45	\$3,735.00	89	\$7,387.00	87	\$7,221.00
20	40800882	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		54	\$486.00	162	\$1,458.00	55	\$504.00
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00			\$0.00		\$0.00		\$0.00
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00		259	\$19,425.00	523	\$39,225.00	511	\$38,325.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00			\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$80.00	1141	\$96,480.00	X		\$0.00		\$0.00	7	\$420.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50		495	\$3,712.50		\$0.00	565	\$4,237.50
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00		64	\$2,112.00		\$0.00	80	\$2,640.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	X		\$0.00		\$0.00		\$0.00
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50386	\$100,772.00		2097	\$4,194.00	4237	\$8,474.00	4142	\$8,284.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	X		\$0.00	151	\$1,661.00	85	\$715.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	X	198	\$990.00	1506	\$7,530.00	287	\$1,435.00
31	44000800	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	X	495	\$990.00	349	\$698.00	595	\$1,190.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$85.00	139	\$9,835.00			\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00			\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$85.00	10	\$850.00			\$0.00		\$0.00		\$0.00
35	44200978	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00			\$0.00		\$0.00		\$0.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00		8	\$580.00	4	\$280.00	4	\$280.00
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00		14	\$924.00		\$0.00	22	\$1,452.00
38	44201789	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	384	\$22,048.00		18	\$1,026.00		\$0.00	24	\$1,368.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$60.00	8642	\$518,700.00		67	\$3,350.00	272	\$13,800.00	42	\$2,100.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00			\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00			\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50			\$0.00		\$0.00		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00			\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00			\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00			\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00			\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00			\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00			\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$65.00	125	\$8,125.00			\$0.00		\$0.00		\$0.00
50	56100600	WATER MAIN 6"	FOOT	\$85.00	380	\$32,300.00			\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00			\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$360.00	3	\$1,080.00			\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00	*		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
56	56105800	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00			\$0.00		\$0.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00			\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL		QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
						COST	\$						
60	56109418	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	46	\$17,150.00			\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00	*		\$0.00		\$0.00		\$0.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*		\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00			\$0.00		\$0.00		\$0.00
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00			\$0.00		\$0.00		\$0.00
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$6,000.00	1	\$6,000.00			\$0.00		\$0.00		\$0.00
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00			\$0.00		\$0.00		\$0.00
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00			\$0.00		\$0.00		\$0.00
70	60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00			\$0.00		\$0.00		\$0.00
71	60262700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x	2	\$1,200.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00	x	2	\$1,000.00	2	\$1,000.00	4	\$2,000.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00		\$0.00
74	60408000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00			\$0.00		\$0.00		\$0.00
75	60408100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,980.00			\$0.00	2	\$860.00	5	\$2,150.00
76	60500800	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00			\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00			\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00			\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 8 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00			\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00			\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00			\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00			\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00		96	\$720.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2680	\$5,360.00		1296	\$2,592.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00		120	\$240.00		\$0.00	106	\$212.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00			\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00		25	\$200.00		\$0.00	81	\$648.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00			\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00			\$0.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*	100	\$3,200.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	199	\$20,895.00			\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00			\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$80.00	137	\$12,330.00			\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00			\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00			\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	168	\$29,050.00			\$0.00		\$0.00		\$0.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00			\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00			\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00			\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00			\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	6059	\$139,357.00	x		\$0.00		\$0.00	287	\$6,801.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x		\$0.00	12	\$216.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	790	\$3,160.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00	241	\$8,435.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x		\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4498	\$67,440.00	x		\$0.00	376	\$5,640.00	249	\$3,735.00



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	22		23		24	
							Madison St Ninth St to 55th St RESURFACING		Maple St Slough St to Monroe St RESURFACING		North St Elm St to County Line Rd RESURFACING	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x	\$0.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	x	\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x	\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x	\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x	\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	x	\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x	\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	469	\$46,900.00	x	\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x	\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	x	\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	x	\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,805.00	x	\$0.00		\$0.00		\$0.00
131	VOH6	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x	\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$80,000.00	1	\$80,000.00	x	\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x	\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	x	\$4,900.00	1508	\$37,650.00		\$0.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$65.00	692	\$44,980.00	*	\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*	\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*	\$0.00		\$0.00		\$0.00
138	X0327786	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$79.00	1287	\$99,812.00	*	\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*	\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*	\$1,980.00	885	\$13,275.00	133	\$1,895.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*	\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	*	\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 8"	EACH	\$3,750.00	5	\$18,750.00	*	\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 10"	EACH	\$4,000.00	7	\$28,000.00	*	\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 12"	EACH	\$5,250.00	1	\$5,250.00	*	\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*	\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*	\$0.00		\$0.00		\$0.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*	\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*	\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*	\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*	\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*	\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*	\$0.00		\$0.00		\$0.00
154	X6026632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*	\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*	\$0.00		\$0.00		\$0.00
156	XX004689	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*	\$0.00		\$0.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*	\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*	\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	*	\$0.00	151	\$6,795.00	58	\$2,610.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*	\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*	\$900.00	7	\$2,100.00	6	\$1,800.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*	\$0.00	2	\$2,400.00	5	\$6,000.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*	\$0.00		\$0.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 8" X 6"	EACH	\$5,000.00	1	\$5,000.00	*	\$0.00		\$0.00		\$0.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*	\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*	\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 6" X 8"	EACH	\$6,500.00	3	\$19,500.00	*	\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*	\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	*	\$0.00		\$0.00		\$0.00
170	Z0056606	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*	\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$80.00	45	\$3,600.00	*	\$0.00		\$0.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*	\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*	\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$60,280.50	TOTAL COST	\$166,916.75	TOTAL COST	\$100,871.50
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,708.00						



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NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST	S	25		26		27	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00			\$0.00		\$0.00		\$0.00
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00			\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,835.00			\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00			\$0.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00			\$16.00		\$0.00	2	\$4.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00			\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00			\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00			\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00			\$0.00		\$0.00		\$0.00
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00			\$0.00		\$0.00		\$0.00
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	19414	\$97,070.00	x	163	\$815.00		\$0.00	39	\$195.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00			\$0.00		\$0.00		\$0.00
13	25100125	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00			\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$160.00	101	\$16,160.00			\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8562	\$94,182.00			\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6100	\$79,300.00			\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$26.00	60	\$1,580.00	x		\$0.00		\$0.00		\$0.00
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50		704	\$880.00		\$0.00		\$0.00
19	40600825	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00		33	\$2,739.00		\$0.00		\$0.00
20	40600982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00		25	\$225.00		\$0.00		\$0.00
21	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	1127	\$75,509.00			\$0.00		\$0.00		\$0.00
22	40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00		194	\$14,550.00		\$0.00		\$0.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8582	\$727,770.00			\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$60.00	1141	\$68,460.00	x		\$0.00		\$0.00		\$0.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	6511	\$71,332.50			\$0.00		\$0.00		\$0.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00			\$0.00		\$0.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	x		\$0.00		\$0.00		\$0.00
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50398	\$100,772.00		1565	\$3,130.00		\$0.00		\$0.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x	10	\$110.00		\$0.00		\$0.00
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x	496	\$2,480.00		\$0.00	117	\$585.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	x		\$0.00		\$0.00		\$0.00
32	44200926	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$65.00	139	\$9,035.00			\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00			\$0.00		\$0.00	5	\$450.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00			\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$65.00	927	\$78,795.00			\$0.00		\$0.00	288	\$24,480.00
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,980.00			\$0.00		\$0.00		\$0.00
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$68.00	572	\$37,752.00		13	\$858.00		\$0.00		\$0.00
38	44201769	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00		34	\$1,938.00		\$0.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00		303	\$15,150.00		\$0.00		\$0.00
40	55100300	STORM SEWER REMOVAL 6"	FOOT	\$5.00	84	\$420.00			\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$5.00	20	\$100.00			\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50			\$0.00		\$0.00		\$0.00
43	55100900	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00			\$0.00		\$0.00		\$0.00
44	56100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00			\$0.00		\$0.00		\$0.00
45	56100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00			\$0.00		\$0.00		\$0.00
46	56100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00			\$0.00		\$0.00		\$0.00
47	56100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00			\$0.00		\$0.00		\$0.00
48	56100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$575.00	10	\$5,750.00			\$0.00		\$0.00		\$0.00
49	56100500	WATER MAIN 4"	FOOT	\$65.00	126	\$8,190.00			\$0.00		\$0.00		\$0.00
50	56100600	WATER MAIN 6"	FOOT	\$65.00	380	\$24,700.00			\$0.00		\$0.00		\$0.00
51	56100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00			\$0.00		\$0.00		\$0.00
52	56101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
53	56101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$380.00	3	\$1,080.00			\$0.00		\$0.00		\$0.00
54	56105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00	*		\$0.00		\$0.00		\$0.00
55	56105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
56	56105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00	*		\$0.00		\$0.00		\$0.00
57	56109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
58	56109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00			\$0.00		\$0.00		\$0.00
59	56109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00			\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$		25		26		27	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
80	58109418	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00			\$0.00		\$0.00		\$0.00
81	58109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
82	58109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	48	\$17,150.00			\$0.00		\$0.00		\$0.00
83	58400800	FIRE HYDRANTS TO BE REMOVED	EACH	\$890.00	4	\$3,200.00	*		\$0.00		\$0.00		\$0.00
84	58400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00	*		\$0.00		\$0.00		\$0.00
85	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00	*		\$0.00		\$0.00		\$0.00
86	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00	*		\$0.00		\$0.00		\$0.00
87	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$8,000.00	1	\$8,000.00	*		\$0.00		\$0.00		\$0.00
88	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00	*		\$0.00		\$0.00		\$0.00
89	60238200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00	*		\$0.00		\$0.00		\$0.00
70	60238800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00	*		\$0.00		\$0.00		\$0.00
71	60282700	INLETS TO BE RECONSTRUCTED	EACH	\$600.00	17	\$10,200.00	x		\$0.00		\$0.00		\$0.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	84	\$42,000.00	x	3	\$1,500.00		\$0.00		\$0.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00	*		\$0.00		\$0.00		\$0.00
74	60408000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00	*		\$0.00		\$0.00		\$0.00
75	60408100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	88	\$37,840.00	*	2	\$880.00		\$0.00		\$0.00
76	60500080	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00	*		\$0.00		\$0.00		\$0.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00	*		\$0.00		\$0.00		\$0.00
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$146,985.00	*		\$0.00		\$0.00		\$0.00
79	63000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00	*		\$0.00		\$0.00		\$0.00
80	63100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00	*		\$0.00		\$0.00		\$0.00
81	63200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00	*		\$0.00		\$0.00		\$0.00
82	67100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00	*		\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00	*		\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2880	\$5,760.00	*		\$0.00		\$0.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00	*	106	\$212.00		\$0.00	106	\$212.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00	*		\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00	*	81	\$648.00		\$0.00	81	\$648.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00	*		\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00	*		\$0.00		\$0.00		\$0.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00	*		\$0.00		\$0.00		\$0.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	199	\$20,895.00	*		\$0.00		\$0.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00	*		\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$80.00	137	\$11,000.00	*		\$0.00		\$0.00		\$0.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00	*		\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	\$150.00	95	\$14,250.00	*		\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	168	\$29,400.00	*		\$0.00		\$0.00		\$0.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00	*		\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00	*		\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00	*		\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00	*		\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00	x		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	6059	\$139,357.00	x	496	\$11,408.00		\$0.00	117	\$2,891.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00	x		\$0.00		\$0.00		\$0.00
104	VOH13	8" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00	x		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00	x		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00	x		\$0.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$6,000.00	1	\$6,000.00	x		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	780	\$3,160.00	x		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00	x		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00	x		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00	x		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00	x		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00	x		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00	x		\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00	x		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00	x		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00	x		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4496	\$67,440.00	x		\$0.00		\$0.00		\$0.00



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ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	25 Oak St		26 Quincy St		27 Avenue St	
							Ninth St to South End RESURFACING		Stough St to Maple Ave RAIN GARDEN		Stough St to Quincy St PCC PATCHING	
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	x	\$0.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	x	\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	x	\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	x	\$0.00	1	\$35,000.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	x	\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	x	\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	x	\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	469	\$46,900.00	x	\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	x	\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	x	\$0.00		\$0.00		\$0.00
129	VOH64	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	x	\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	\$35.00	1303	\$45,605.00	x	\$0.00		\$0.00		\$0.00
131	VOH6	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	x	\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	x	\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	x	\$0.00	44	\$1,100.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	x	\$0.00		\$0.00		\$0.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$55.00	692	\$44,980.00	x	\$0.00		\$0.00		\$0.00
136	X0327762	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	x	\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	x	\$0.00		\$0.00		\$0.00
138	X0327788	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	x	\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	x	\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	x	163	\$2,445.00		39	\$585.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	x	\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	6	\$18,000.00	x	\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 8"	EACH	\$3,750.00	5	\$18,750.00	x	\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	x	\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	x	\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	x	\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	x	\$0.00		\$0.00		\$0.00
148	X6630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	x	\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	x	\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	x	\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	x	\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	x	\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	x	\$0.00		\$0.00		\$0.00
154	X8028632	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	x	\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$68.00	23	\$1,495.00	x	\$0.00		\$0.00		\$0.00
156	XX004659	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	x	\$0.00		\$0.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$29.00	32	\$940.00	x	\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	x	\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1670	\$75,150.00	x	10	\$450.00			\$0.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	x	\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	x	3	\$900.00			\$0.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	x	4	\$4,800.00			\$0.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	x	\$0.00		\$0.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	\$5,000.00	1	\$5,000.00	x	\$0.00		\$0.00		\$0.00
165	Z0044850	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	x	\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 8"	EACH	\$6,000.00	1	\$6,000.00	x	\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	x	\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	x	\$0.00		\$0.00		\$0.00
169	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$60.00	10	\$600.00	x	\$0.00		\$0.00		\$0.00
170	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	x	\$0.00		\$0.00		\$0.00
171	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	x	\$0.00		\$0.00		\$0.00
172	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	x	\$0.00		\$0.00		\$0.00
173	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	x	\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00
					0	\$0.00		\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID) \$7,796,927.50 TOTAL COST \$66,114.00 TOTAL COST \$36,100.00 TOTAL COST \$29,850.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1) \$8,803,112.50
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2) \$8,166,708.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST	S	28		28		30	
								STRAUGH SE	PRICE	PARKING LOT	PRICE	OPENING PI	PRICE
								Elgith St to Ninth St		7th St and Vine St		Chicago Ave to First St	
								SANITARY SEWER LINING		RESURFACING			
1	29100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	\$25.00	20	\$500.00			\$0.00		\$0.00		\$0.00
2	29100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	\$35.00	50	\$1,750.00			\$0.00		\$0.00		\$0.00
3	20101000	TEMPORARY FENCE	FOOT	\$3.00	7545	\$22,635.00			\$0.00		\$0.00		\$0.00
4	20101200	TREE ROOT PRUNING	EACH	\$110.00	197	\$21,670.00			\$0.00		\$0.00		\$0.00
5	20101700	SUPPLEMENTAL WATERING	UNIT	\$2.00	953	\$1,906.00			\$0.00	5	\$10.00		\$0.00
6	20200100	EARTH EXCAVATION	CU YD	\$35.00	5548	\$194,180.00			\$0.00		\$0.00		\$0.00
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	\$35.00	2919	\$102,165.00			\$0.00		\$0.00		\$0.00
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	\$36.00	2214	\$79,704.00			\$0.00		\$0.00		\$0.00
9	20800150	TRENCH BACKFILL	CU YD	\$40.00	6271	\$250,840.00			\$0.00		\$0.00		\$0.00
10	21001000	GEO TECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	\$2.00	8737	\$17,474.00			\$0.00		\$0.00		\$0.00
11	21101815	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	\$5.00	18414	\$92,070.00	x		\$0.00	88	\$480.00		\$0.00
12	25000100	SEEDING, CLASS 1	ACRE	\$5,000.00	1	\$5,000.00			\$0.00		\$0.00		\$0.00
13	25100126	MULCH, METHOD 3	ACRE	\$7,200.00	1	\$7,200.00			\$0.00		\$0.00		\$0.00
14	28000510	INLET FILTERS	EACH	\$160.00	101	\$16,160.00			\$0.00		\$0.00		\$0.00
15	35102000	AGGREGATE BASE COURSE, TYPE B 5"	SQ YD	\$11.00	8562	\$94,182.00			\$0.00		\$0.00		\$0.00
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	\$13.00	6109	\$79,300.00			\$0.00		\$0.00		\$0.00
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	\$26.00	60	\$1,560.00	x		\$0.00		\$0.00		\$0.00
18	40800275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	23830	\$29,787.50			\$0.00	125	\$155.25		\$0.00
19	40800825	LEVELING BINDER (MACHINE METHOD), N50	TON	\$83.00	1057	\$87,731.00			\$0.00	53	\$4,398.00		\$0.00
20	40800982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	\$9.00	1034	\$9,306.00			\$0.00		\$0.00		\$0.00
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-18.0, N50	TON	\$67.00	1127	\$75,509.00			\$0.00		\$0.00		\$0.00
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	6818	\$511,350.00			\$0.00	307	\$23,025.00		\$0.00
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8562	\$727,770.00			\$0.00		\$0.00		\$0.00
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	\$80.00	1141	\$91,280.00	x		\$0.00		\$0.00		\$0.00
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	\$7.50	9511	\$71,332.50			\$0.00	590	\$4,425.00		\$0.00
26	42400800	DETECTABLE WARNINGS	SQ FT	\$33.00	712	\$23,496.00			\$0.00		\$0.00		\$0.00
27	44000100	PAVEMENT REMOVAL	SQ YD	\$15.00	22762	\$341,430.00	x		\$0.00		\$0.00		\$0.00
28	44000158	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	\$2.00	50396	\$100,792.00			\$0.00	2489	\$4,978.00		\$0.00
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	\$11.00	4274	\$47,014.00	x		\$0.00		\$0.00		\$0.00
30	44000500	COMBINATION CURBS AND GUTTER REMOVAL	FOOT	\$5.00	21041	\$105,205.00	x		\$0.00	292	\$1,460.00	40	\$200.00
31	44000600	SIDEWALK REMOVAL	SQ FT	\$2.00	11623	\$23,246.00	x		\$0.00	590	\$1,180.00		\$0.00
32	44200928	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	\$65.00	139	\$9,035.00			\$0.00		\$0.00		\$0.00
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	\$90.00	5	\$450.00			\$0.00		\$0.00		\$0.00
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	\$95.00	10	\$950.00			\$0.00		\$0.00		\$0.00
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	\$85.00	927	\$78,795.00			\$0.00		\$0.00		\$0.00
36	44201781	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	\$70.00	57	\$3,990.00			\$0.00		\$0.00		\$0.00
37	44201785	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	\$66.00	572	\$37,752.00			\$0.00		\$0.00		\$0.00
38	44201789	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	\$57.00	364	\$20,748.00			\$0.00		\$0.00		\$0.00
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	\$50.00	8642	\$432,100.00			\$0.00	1200	\$60,000.00	160	\$8,000.00
40	55100300	STORM SEWER REMOVAL 8"	FOOT	\$5.00	84	\$420.00			\$0.00		\$0.00		\$0.00
41	55100400	STORM SEWER REMOVAL 10"	FOOT	\$6.00	20	\$120.00			\$0.00		\$0.00		\$0.00
42	55100500	STORM SEWER REMOVAL 12"	FOOT	\$7.50	129	\$967.50			\$0.00		\$0.00		\$0.00
43	55100600	STORM SEWER REMOVAL 18"	FOOT	\$10.00	20	\$200.00			\$0.00		\$0.00		\$0.00
44	58100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	\$300.00	1	\$300.00			\$0.00		\$0.00		\$0.00
45	58100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	\$325.00	2	\$650.00			\$0.00		\$0.00		\$0.00
46	58100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	\$425.00	1	\$425.00			\$0.00		\$0.00		\$0.00
47	58100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	\$500.00	16	\$8,000.00			\$0.00		\$0.00		\$0.00
48	58100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	\$675.00	10	\$6,750.00			\$0.00		\$0.00		\$0.00
49	58100500	WATER MAIN 4"	FOOT	\$65.00	129	\$8,445.00			\$0.00		\$0.00		\$0.00
50	58100600	WATER MAIN 6"	FOOT	\$85.00	380	\$32,300.00			\$0.00		\$0.00		\$0.00
51	58100700	WATER MAIN 8"	FOOT	\$70.00	5119	\$358,330.00			\$0.00		\$0.00		\$0.00
52	58101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	\$325.00	3	\$975.00			\$0.00		\$0.00		\$0.00
53	58101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
54	58105430	INSERTING VALVES 4"	EACH	\$6,500.00	1	\$6,500.00			\$0.00		\$0.00		\$0.00
55	58105500	INSERTING VALVES 6"	EACH	\$8,500.00	3	\$25,500.00			\$0.00		\$0.00		\$0.00
56	58105600	INSERTING VALVES 8"	EACH	\$8,500.00	3	\$25,500.00			\$0.00		\$0.00		\$0.00
57	58109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	\$300.00	3	\$900.00			\$0.00		\$0.00		\$0.00
58	58109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	\$350.00	4	\$1,400.00			\$0.00		\$0.00		\$0.00
59	58109408	DUCTILE IRON WATER MAIN FITTINGS 8" 22.50 DEGREE BEND	EACH	\$350.00	1	\$350.00			\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	QUANTITY	TOTAL COST \$	28		29		30	
							Eight St to Ninth St		Ninth St to Tenth St		Tenth St to First St	
							QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
60	56109418	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	\$250.00	1	\$250.00		\$0.00		\$0.00		\$0.00
61	56109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	\$325.00	3	\$975.00		\$0.00		\$0.00		\$0.00
62	56109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	\$350.00	49	\$17,150.00		\$0.00		\$0.00		\$0.00
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	\$800.00	4	\$3,200.00		\$0.00		\$0.00		\$0.00
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	\$5,500.00	18	\$99,000.00		\$0.00		\$0.00		\$0.00
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	\$4,000.00	8	\$32,000.00		\$0.00		\$0.00		\$0.00
66	80218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$3,200.00	8	\$25,600.00		\$0.00		\$0.00		\$0.00
67	80223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	\$8,000.00	1	\$8,000.00		\$0.00		\$0.00		\$0.00
68	80234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	\$1,250.00	1	\$1,250.00		\$0.00		\$0.00		\$0.00
69	80236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	\$1,000.00	1	\$1,000.00		\$0.00		\$0.00		\$0.00
70	80236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	\$1,500.00	12	\$18,000.00		\$0.00	1	\$1,500.00		\$0.00
71	80262700	INLETS TO BE RECONSTRUCTED	EACH	\$800.00	17	\$10,200.00		\$0.00		\$0.00		\$0.00
72	80404800	FRAMES AND GRATES, TYPE 11	EACH	\$500.00	94	\$47,000.00		\$0.00		\$0.00		\$0.00
73	80404805	FRAMES AND GRATES, TYPE 11V	EACH	\$500.00	10	\$5,000.00		\$0.00		\$0.00	4	\$2,000.00
74	80406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	\$400.00	8	\$3,200.00		\$0.00		\$0.00		\$0.00
75	80406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	\$430.00	86	\$36,980.00		\$0.00		\$0.00		\$0.00
76	80500060	REMOVING INLETS	EACH	\$500.00	4	\$2,000.00		\$0.00		\$0.00		\$0.00
77	80803800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	\$25.00	8198	\$204,950.00		\$0.00		\$0.00		\$0.00
78	80804400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	\$35.00	4171	\$145,985.00		\$0.00		\$0.00		\$0.00
79	83000001	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	\$32.00	195	\$6,240.00		\$0.00		\$0.00		\$0.00
80	83100041	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	\$3,000.00	1	\$3,000.00		\$0.00		\$0.00		\$0.00
81	83200310	GUARDRAIL REMOVAL	FOOT	\$15.00	195	\$2,925.00		\$0.00		\$0.00		\$0.00
82	87100100	MOBILIZATION	L SUM	\$125,000.00	1	\$125,000.00		\$0.00		\$0.00		\$0.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	\$7.50	228	\$1,710.00		\$0.00		\$0.00		\$0.00
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	2580	\$5,160.00		\$0.00	1016	\$2,032.00		\$0.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 6"	FOOT	\$2.00	674	\$1,348.00		\$0.00		\$0.00		\$0.00
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	\$2.50	114	\$285.00		\$0.00		\$0.00		\$0.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	446	\$3,568.00		\$0.00		\$0.00		\$0.00
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	508	\$5,080.00		\$0.00		\$0.00		\$0.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$15.00	535	\$8,025.00		\$0.00		\$0.00		\$0.00
90	88600800	DETECTOR LOOP REPLACEMENT	FOOT	\$32.00	100	\$3,200.00		\$0.00		\$0.00		\$0.00
91	550B0090	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	\$105.00	198	\$20,895.00		\$0.00	140	\$14,700.00		\$0.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	\$70.00	122	\$8,540.00		\$0.00		\$0.00		\$0.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	\$90.00	137	\$12,330.00		\$0.00		\$0.00		\$0.00
94	550B0380	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	\$125.00	138	\$17,250.00		\$0.00		\$0.00		\$0.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 16"	FOOT	\$150.00	95	\$14,250.00		\$0.00		\$0.00		\$0.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	\$175.00	166	\$29,050.00		\$0.00		\$0.00		\$0.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	\$200.00	356	\$71,200.00		\$0.00		\$0.00		\$0.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	\$225.00	172	\$38,700.00		\$0.00		\$0.00		\$0.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	\$225.00	184	\$41,400.00		\$0.00		\$0.00		\$0.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	\$250.00	311	\$77,750.00		\$0.00		\$0.00		\$0.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$15.00	132	\$1,980.00		\$0.00		\$0.00		\$0.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	\$23.00	6059	\$139,357.00		\$0.00		\$0.00		\$0.00
103	VOH12	4" VALVE IN VAULT	EACH	\$3,500.00	2	\$7,000.00		\$0.00		\$0.00		\$0.00
104	VOH13	6" VALVE IN VAULT	EACH	\$4,500.00	2	\$9,000.00		\$0.00		\$0.00		\$0.00
105	VOH14	8" VALVE IN VAULT	EACH	\$4,750.00	18	\$85,500.00		\$0.00		\$0.00		\$0.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	\$18.00	312	\$5,616.00		\$0.00		\$0.00		\$0.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	\$8,000.00	1	\$8,000.00		\$0.00		\$0.00		\$0.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	\$4.00	790	\$3,160.00		\$0.00		\$0.00		\$0.00
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	\$475.00	100	\$47,500.00		\$0.00		\$0.00		\$0.00
110	VOH23	CASING, 16 INCH	FOOT	\$100.00	200	\$20,000.00		\$0.00		\$0.00		\$0.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	\$35.00	241	\$8,435.00		\$0.00		\$0.00		\$0.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	\$25.00	502	\$12,550.00		\$0.00		\$0.00		\$0.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	\$50.00	13	\$650.00		\$0.00		\$0.00		\$0.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	\$85.00	743	\$63,155.00		\$0.00		\$0.00		\$0.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	\$110.00	15	\$1,650.00		\$0.00		\$0.00		\$0.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	\$200.00	14	\$2,800.00		\$0.00		\$0.00		\$0.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	\$50.00	44	\$2,200.00		\$0.00		\$0.00		\$0.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	\$15.00	4466	\$66,990.00		\$0.00		\$0.00		\$0.00



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
BASE BID

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	S	28		29		30	
								QUANTITY	PRICE	QUANTITY	PRICE	QUANTITY	PRICE
119	VOH40	DRAIN CONNECTIONS	EACH	\$750.00	32	\$24,000.00	X		\$0.00		\$0.00		\$0.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	\$150.00	100	\$15,000.00	X		\$0.00		\$0.00		\$0.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	\$28.00	5840	\$163,520.00	X		\$0.00		\$0.00		\$0.00
122	VOH44	RAIN GARDEN	L SUM	\$35,000.00	1	\$35,000.00	X		\$0.00		\$0.00		\$0.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	\$1,000.00	1	\$1,000.00	X		\$0.00		\$0.00		\$0.00
124	VOH47	CASING, 8"	FOOT	\$110.00	40	\$4,400.00	X		\$0.00		\$0.00		\$0.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	\$110.00	1	\$110.00	X		\$0.00		\$0.00		\$0.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	\$100.00	499	\$49,900.00	X		\$0.00		\$0.00		\$0.00
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	\$200,000.00	1	\$200,000.00	X		\$0.00		\$0.00		\$0.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	\$28.00	798	\$22,344.00	X		\$0.00		\$0.00		\$0.00
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	\$26.00	1290	\$33,540.00	X		\$0.00		\$0.00		\$0.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.18 (MODIFIED)	FOOT	\$35.00	1305	\$45,805.00	X		\$0.00		\$0.00		\$0.00
131	VOH8	CCDD/LUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	\$25,000.00	1	\$25,000.00	X		\$0.00		\$0.00		\$0.00
132	VOH7	CCDD MATERIALS MANAGEMENT ALLOWANCE	L SUM	\$60,000.00	1	\$60,000.00	X		\$0.00		\$0.00		\$0.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	\$25.00	44	\$1,100.00	X		\$0.00		\$0.00		\$0.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-8.12 (MODIFIED)	FOOT	\$25.00	3943	\$98,575.00	X		\$0.00	292	\$7,300.00	40	\$1,000.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	\$95.00	602	\$44,980.00	*	602	\$44,980.00		\$0.00		\$0.00
136	X0327782	RAILROAD FLAGGER	L SUM	\$60,000.00	1	\$60,000.00	*		\$0.00		\$0.00		\$0.00
137	X0327785	CURED-IN-PLACE PIPE LINER, 12"	FOOT	\$70.00	45	\$3,150.00	*		\$0.00		\$0.00		\$0.00
138	X0327788	CURED-IN-PLACE PIPE LINER, 15"	FOOT	\$76.00	1287	\$97,812.00	*		\$0.00		\$0.00		\$0.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	\$375.00	11	\$4,125.00	*		\$0.00		\$0.00		\$0.00
140	X2520700	SODDING, SPECIAL	SQ YD	\$15.00	19414	\$291,210.00	*		\$0.00	98	\$1,470.00		\$0.00
141	X5610700	WATER MAIN REMOVAL	FOOT	\$10.00	10	\$100.00	*		\$0.00		\$0.00		\$0.00
142	X5610744	WATER MAIN LINE STOP 4"	EACH	\$3,000.00	8	\$18,000.00	*		\$0.00		\$0.00		\$0.00
143	X5610746	WATER MAIN LINE STOP 6"	EACH	\$3,750.00	5	\$18,750.00	*		\$0.00		\$0.00		\$0.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	\$4,000.00	7	\$28,000.00	*		\$0.00		\$0.00		\$0.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	\$5,250.00	1	\$5,250.00	*		\$0.00		\$0.00		\$0.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	\$2,500.00	22	\$55,000.00	*		\$0.00		\$0.00		\$0.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	\$3,200.00	25	\$80,000.00	*		\$0.00		\$0.00		\$0.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	\$1,200.00	12	\$14,400.00	*		\$0.00		\$0.00		\$0.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	\$1,300.00	2	\$2,600.00	*		\$0.00		\$0.00		\$0.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	\$1,500.00	1	\$1,500.00	*		\$0.00		\$0.00		\$0.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	\$2,400.00	4	\$9,600.00	*		\$0.00		\$0.00		\$0.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	\$2,500.00	1	\$2,500.00	*		\$0.00		\$0.00		\$0.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	\$3,000.00	8	\$24,000.00	*		\$0.00		\$0.00		\$0.00
154	X6026832	VALVE BOXES TO BE REMOVED	EACH	\$180.00	7	\$1,260.00	*		\$0.00		\$0.00		\$0.00
155	XX000300	CONCRETE STEPS	SQ FT	\$65.00	23	\$1,495.00	*		\$0.00		\$0.00		\$0.00
156	XX004889	SANITARY SERVICE TO BE ADJUSTED	EACH	\$275.00	100	\$27,500.00	*		\$0.00		\$0.00		\$0.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	\$20.00	32	\$640.00	*		\$0.00		\$0.00		\$0.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	\$250.00	2	\$500.00	*		\$0.00		\$0.00		\$0.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	\$45.00	1879	\$75,150.00	*		\$0.00		\$0.00		\$0.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	\$45,000.00	1	\$45,000.00	*		\$0.00		\$0.00		\$0.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	\$300.00	151	\$45,300.00	*		\$0.00		\$0.00	4	\$1,200.00
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	\$1,200.00	75	\$90,000.00	*		\$0.00	5	\$9,000.00		\$0.00
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	\$250.00	25	\$6,250.00	*		\$0.00		\$0.00		\$0.00
164	Z0044500	PRESSURE CONNECTION 8" X 6"	EACH	\$5,000.00	1	\$5,000.00	*		\$0.00		\$0.00		\$0.00
165	Z0044850	PRESSURE CONNECTION 8" X 4"	EACH	\$4,500.00	1	\$4,500.00	*		\$0.00		\$0.00		\$0.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	\$6,000.00	1	\$6,000.00	*		\$0.00		\$0.00		\$0.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	\$6,500.00	3	\$19,500.00	*		\$0.00		\$0.00		\$0.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	\$8,800.00	1	\$8,800.00	*		\$0.00		\$0.00		\$0.00
169	Z0056804	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	\$80.00	10	\$800.00	*		\$0.00		\$0.00		\$0.00
170	Z0056806	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	\$71.00	10	\$710.00	*		\$0.00		\$0.00		\$0.00
171	Z0056808	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	\$90.00	45	\$4,050.00	*		\$0.00		\$0.00		\$0.00
172	Z0056810	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	\$120.00	10	\$1,200.00	*		\$0.00		\$0.00		\$0.00
173	Z0056812	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	\$145.00	40	\$5,800.00	*		\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00
					0	\$0.00			\$0.00		\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (BASE BID)	\$7,796,927.50	TOTAL COST	\$44,980.00	TOTAL COST	\$133,125.25	TOTAL COST	\$12,400.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,663,112.50						
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,708.00						



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
 SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
 ENGINEER'S OPINION OF PROBABLE COST
 HINSDALE AVE-ALTERNATE 1 (PCC)

Hinsdale Ave	
Jackson St to Slough St	
PCC RECONSTRUCTION	

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	QUANTITY	PRICE
1	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	\$11.00	8289	\$91,179.00	8289	\$91,179.00
2	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	\$85.00	8289	\$704,565.00	8289	\$704,565.00
3	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	\$20.00	19	\$380.00	19	\$380.00
4	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	\$10.00	224	\$2,240.00	224	\$2,240.00
5	78003110	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 4"	FOOT	\$9.00	869	\$7,821.00	869	\$7,821.00
					0	\$0.00		\$0.00
					0	\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (ALT 1)	\$806,185.00	TOTAL COST (ALT 1):	\$806,185.00
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 1)	\$8,603,112.50	BASE BID+ALT 1:	\$1,262,888.50



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
ENGINEER'S OPINION OF PROBABLE COST
HINSDALE AVE-ALTERNATE 2 (HMA)

1
Hinsdale Ave
Jackson St to Slough St
HMA RECONSTRUCTION

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	UNIT PRICE	TOTAL QUANTITY	TOTAL COST \$	QUANTITY	PRICE
1	40603335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	\$75.00	928	\$69,600.00	928	\$69,600.00
2	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	\$67.00	3249	\$217,683.00	3249	\$217,683.00
3	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	\$1.25	3730	\$4,662.50	3730	\$4,662.50
4	35101800	AGGREGATE BASE COURSE, TYPE B 6"	SQ YD	\$9.00	8289	\$74,601.00	8289	\$74,601.00
5	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	\$2.00	869	\$1,738.00	869	\$1,738.00
6	78000660	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	\$8.00	19	\$152.00	19	\$152.00
7	78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	\$8.00	224	\$1,344.00	224	\$1,344.00
					0	\$0.00		\$0.00
					0	\$0.00		\$0.00

ENGINEER'S OPINION OF PROBABLE COST (ALT 2)	\$369,780.50	TOTAL COST (ALT 2): \$369,780.50
ENGINEER'S OPINION OF PROBABLE COST (BASE BID+ALT 2)	\$8,166,708.00	BASE BID+ALT 2: \$826,284.00

Exhibit B: Construction Engineering Services

1. The consultant will provide a full-time Resident Engineer for the duration of the project. The Resident Engineer's responsibilities include, but are not limited to:
 - A. Attendance at project meeting including pre-bid, pre-construction, and weekly construction meetings.
 - B. On-site observation of the contractor's operations to ensure conformance with the contract documents.
 - C. Maintain a project diary and provide a written weekly progress report to the Village. Keep field notes for documentation of payable work as well as allow for verification of the contractor's submitted Record Drawings. Advise the Village of any changes or conditions that impact the project in a timely manner.
 - D. Serve as the Village's liaison with the Contractor, public/private utilities, various jurisdictional agencies, and the general public.
 - E. Documentation of quantities, quality assurance, arranging for materials testing, and other documentation as may be required by IDOT standards.
 - F. Daily review and inspect traffic control items and erosion control plan implementation/maintenance.
 - G. Alert the contractor's field superintendent when un-approved materials or equipment are being used and advise the Village of such occurrences.
 - H. Meeting the requirements of Public Act 96-1416 to include certification of the site of origin and ensuring that all construction debris taken from the site is monitored by a photo-ionization detector (PID) for volatile chemicals, as necessary.
 - I. Review and provide recommendations to the Village concerning applications for payment by the contractor and change order requests.
 - J. Upon substantial completion, inspect the improvements, develop and monitor completion of the final punch-list.
 - K. Coordinate with the contractor to provide a complete set of record drawings.
 - L. Track project costs.
 - M. Monitor and inform the Village Engineer of any change to the construction contractor's scope of work to support the "Village of Hinsdale Infrastructure Change Order Policy" dated September 2012 including
 - a. Notify the Village Engineering of change orders prior to their execution. Construction cannot be conducted on that change until approval is received from the Village Manager or Trustee(s).
 - b. Provide a weekly update to the Village Engineer for change orders.

- c. Review, approve and forward change order documentation to the Village Engineer in a timely manner.
 - N. Provide a pre-construction video of the construction site and adjacent property features.
 - O. Assist the Village with resident notifications as required.
 - P. Coordinate with Village Public Services for utility conflicts, main breaks, water main filling/flushing, interim record drawings, etc. as necessary.
2. The consultant will inform the Village of any changes to the scope of the Engineering Services Contract in a timely manner prior to the execution of the action/activity. These changes must be approved by the Village Manager or Trustee(s) prior to the services being provided.
3. The consultant will provide the Village of Hinsdale a copy of
- A. Final construction documents (AutoCAD format for plans and Word format for Specifications) and
 - B. Record Drawings (AutoCAD format for plans and Word format for Specifications). These will include as-built rim, invert, and dimension for all constructed gravity sewers.
 - C. Project Files (job boxes) at the completion of the project.

REQUEST FOR BOARD ACTION
Public Services & Engineering

AGENDA SECTION: Consent Agenda – EPS

SUBJECT: Contract Renewal – Clarke Environmental Mosquito Management

MEETING DATE: April 17, 2018

FROM: Brendon Mendoza, Administrative Analyst

Recommended Motion

To award year two of the three year contract with Clark Environmental Mosquito Management, Inc. for annual mosquito abatement services in an amount not to exceed \$55,496.

Background

The proposed Fiscal Year 2018-19 budget includes a total of \$55,496 allocated in the Public Services Department budget line item 2201-7303 for mosquito abatement services. The Village awarded a three (3) year contract to Clark Environmental Mosquito Management, Inc. on March 22, 2017.

Highlights of these services include treatment of 1,705 catch basins, and inlets to manage the mosquito population, larval monitoring at twenty-four (24) various sites throughout the Village, inspections of sites called in by residents, access to the mosquito hotline, operation of mosquito traps to monitor and evaluate adult mosquito activity, public relations, and educational brochures.

Discussion & Recommendation

Clark Environmental Mosquito Management, Inc. has provided the Village professional services for mosquito abatement. There have been no issues and no resident complaints with these services. The Public Services Department recommends proceeding with approval of the proposed contract renewal.

Budget Impact

There is a total of \$55,496 for these services included in the Fiscal Year 2018-19 proposed budget.

Village Board and/or Committee Action

This item is included on the Consent Agenda as a routine item, as it meets the criteria specified in the meeting policy; purchases that are in the approved budget, within budget and under \$500,000.

Documents Attached

1. Service agreement with Clarke Environmental Mosquito Management, Inc. for mosquito abatement services for 2017-2019.



**Clarke Environmental Mosquito Management, Inc.,
Professional Services Outline for 2017-2019
Village of Hinsdale
EarthRight™ Program**

Part I. General Service

- A. Aerial Survey and Geographic Information System (GIS) Mapping
- B. Computer System and Record Keeping Database
- C. Public Relations and Educational Brochures
- D. Mosquito Hotline Citizen Response – (800) 942-2555
- E. Comprehensive Insurance Coverage naming the Village of Hinsdale additionally insured
- F. Program Consulting and Quality Control Staff
- G. Monthly Operational Reports, Periodic Advisories, and Annual Report
- H. Regulatory compliance on local, state, and federal levels

Part II. Surveillance and Monitoring

- A. Floodwater Mosquito Migration Model:
The use of weather data and computer model to predict the arrival of *Aedes vexans* brood (hatch) and peak annoyance periods.
- B. Arbovirus Surveillance:
 - 1. Gravid Trap: Operation of one (1) trap to collect *Culex* mosquitoes. Mosquitoes will be collected, identified to species, and pooled for disease assay. Samples will be tested at Clarke laboratories utilizing RAMP® technology for West Nile Virus.
 - 2. Clarke New Jersey Light Trap Network: Operation of one (1) trap within the Village of Hinsdale to monitor and evaluate adult mosquito activity.
 - 3. Clarke New Jersey Light Trap Network to monitor and evaluate adult mosquito activity.
- C. Weather Monitoring – Operational Forecasts

Part III. Larval Control

- A. Targeted Mosquito Management System (TMMS™) computer database and site management.
- B. Larval Site Monitoring: 17 inspections
 - 1. Fourteen (14) complete inspections of up to 24 sites as outlined by most recent Clarke GIS Survey.
 - 2. Three (3) targeted inspections of up to 15 known *Culex spp.* breeding areas as determined by the computerized Clarke Targeted Mosquito Management System™.
 - 3. Inspections of sites called in by residents on the Mosquito Hotline.
- C. Prescription Larval Control will be performed with Natular™ mosquito larvicide as described in the following sections.
 - 1. Larval Control: The program provides for 51 acres of single brood or 30 day residual product with backpack or hand equipment.
 - 2. Larval Control: Stocking of 1,000 mosquito fish (*Gambusia affinis*) for biological control.



EarthRight™

3. Catch Basins: One treatment of up to 1,705 catch basins, inlets and manholes using an extended residual slow release insecticide (Natular™) for up to 180 day control.
4. Catch Basins: One treatment (Booster) of up to 1,705 catch basins, inlets and manholes using an extended residual slow release insecticide (Natular™ T30) for late season control.

Part IV. Adult Control

- A. Adulticiding in mosquito harborage areas:
 1. As authorized by the Village of Hinsdale, scheduled truck Ultra Low Volume (ULV) treatments using Merus™ a botanical insecticide (pyrethrin) for any community special events will be charged at \$385.00.
- B. Adulticiding in Residential Areas:
 1. As authorized by the Village of Hinsdale, community-wide truck ULV treatments of up to 74.7 miles of streets using Merus™ a botanical insecticide (pyrethrin). Any authorized applications will be priced at \$5,976.00 per treatment.
- C. Adulticiding Operational Procedures
 1. Notification of community contact.
 2. Weather limit monitoring and compliance.
 3. Notification of residents on Clarke Call Notification List.
 4. ULV particle size evaluation.
 5. Insecticide dosage and quality control analysis.

2017-2019 EarthRight™ Payment Total Price for Parts I, II, III, IV \$55,496.00**

****NPDES Permit:** A National Pollutant Discharge Elimination System (NPDES) permit is necessary for the execution of the work for mosquito control effective October 31, 2011. Any additional costs associated with activities and/or services that may be required by Clarke in order to comply with an NPDES permit are not included in this proposal.



EarthRight™

**Clarke Environmental Mosquito Management, Inc.,
Client Agreement Authorization for 2017-2019
Village of Hinsdale
EarthRight™ Program**

- I. Program Payment Plan:** For Parts I, II, III, and IV as specified in the 2017-2019 Professional Services Price Outline, the total for the 2017-2019 program is \$55,496.00. The payments will be due according to the payment schedule below. Any additional treatments beyond the core program will be invoiced when the treatment is completed.

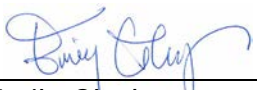
PROGRAM PAYMENT PLAN

Month	2017	2018	2019
June 1	\$13,874.00	\$13,874.00	\$13,874.00
July 1	\$13,874.00	\$13,874.00	\$13,874.00
August 1	\$13,874.00	\$13,874.00	\$13,874.00
September 1	\$13,874.00	\$13,874.00	\$13,874.00
TOTAL	\$55,496.00	\$55,496.00	\$55,496.00

For Village of Hinsdale:

Sign Name: _____ Title: _____ Date: _____

For Clarke Environmental Mosquito Management, Inc.:

Name:  Title: Key Accounts Manager Date: 10/28/16
Emily Glasberg



EarthRight™

**Clarke Environmental Mosquito Management, Inc.,
Client Authorization for 2017-2019
Village of Hinsdale
EarthRight™ Program**

Administrative Information:

Invoices should be sent to:

Name: _____
Address: _____
City: _____ State: _____ Zip _____
Office Phone: _____ Fax: _____ P.O. # _____
E-mail: _____ County: _____

****In an effort to be more sustainable, we ask that you provide us with an
Email address that the invoices should be sent to.****

Treatment Address (if different from above):

County: _____

Address: _____
City: _____ State: _____ Zip _____

Contact Person for Village of Hinsdale:

Name: _____ Title: _____
Office Phone: _____ Fax: _____ E-Mail: _____
Home Phone: _____ Cell: _____ Pager: _____

Alternate Contact Person for Village of Hinsdale:

Name: _____ Title: _____
Office Phone: _____ Fax: _____ E-Mail: _____
Home Phone: _____ Cell: _____ Pager: _____

Please sign and return a copy of the complete contract for our files to:

Clarke Environmental Mosquito Management, Inc., Attn: Emily Glasberg
675 Sidwell Ct. St Charles, IL 60174 or Fax at (630) 443-3070 or
email to eglasberg@clarke.com.



REQUEST FOR BOARD ACTION
Public Services & Engineering

AGENDA SECTION: Consent Agenda - EPS

SUBJECT: Contract Renewal – Fuel Purchase #1625

MEETING DATE: April 17, 2018

FROM: Brendon Mendoza, Administrative Analyst

Recommended Motion

To award year two of the three year contract #1625 to Al Warren Oil at the rate of Oil Price Information Service plus \$0.0225 for the purchase of gasoline and diesel.

Background

The Village's Public Services Department maintains a fuel station for use by Village-owned vehicles, as well as other entities who reimburse the Village on a per-gallon basis. This item is for bulk delivery of fuel to the fueling station. Fuel is included in the Village's Fiscal Year 2018-19 budget at a total of \$82,250 which is divided between all Departments on an estimated use basis (budget line item 7503). Actual expenditures will be dependent upon the quantities used and fluctuations in oil prices.

Discussion & Recommendation

The Public Services Department is recommending that the Village Board approve renewal of contract #1625 with Al Warren Oil for the purchase of fuel and diesel at the rate of Oil Price Information Service ("OPIS") plus \$0.0225.

Budget Impact

There is a total of \$82,250 for fuel included in the Fiscal Year 2018-19 proposed budget.

Village Board and/or Committee Action

This item is included on the Consent Agenda as a routine item, as it meets the criteria specified in the meeting policy; 'purchases that are in the approved budget, within budget and under \$500,000'.

Documents Attached

1. Pricing Comparison of Warren Oil #1625

BID NUMBER: 1625
PROJECT NAME: Fuel
DATE: 3/21/17
Contract Year: 2017-2019 (two years)
BUDGET:

Attachment #1

Warren Oil
2017-19

Suburban Purchasing
Cooperative

Item No.	Items	Bid Comparison Quantity (Gallons)	Unit Price	Extended Total	Unit Price	Extended Total
1	Unleaded Gasoline – 89 Octane Minimum					
	A. OPIS	55,000				
	B. Markup including freight, delivery, insurance, handling, profit	54,300	0.0225	\$ 1,221.75	0.0475	\$ 2,579.25
	C. Federal Motor Fuel Tax	55,000	0.184	\$10,120	0.184	\$10,120
	D. State Motor Fuel Tax	55,000	0.3401	\$18,705.50	0.3401	\$18,705.50
2	Ultra-Low Sulfur Diesel Fuel – No. 2					
	A. OPIS	8,500				
	B. Markup, which includes freight, delivery, insurance, handling, profit	8,500	0.0225	\$ 191.25	0.0475	\$ 403.75
	C. Federal Motor Fuel Tax	8,500	0.244	\$2,074	0.244	\$2,074
	D. State Motor Fuel Tax	8,500	0.3532	\$3,002.20	0.3532	\$3,002.20
3	Ultra-Low Sulfur Diesel Fuel – Winter Blend					
	A. OPIS	3,400				
	B. Markup, which includes freight, delivery, insurance, handling, profit	3,400	0.0225	\$ 76.50	0.0475	\$ 161.50
	C. Federal Motor Fuel Tax	3,400	0.244	\$829.60	0.244	\$829.60
	D. State Motor Fuel Tax	3,400	0.3532	\$1,200.88	0.3532	\$1,200.88
BID COMPARISON TOTAL			\$	37,421.68	\$	39,076.68



Public Services & Engineering

AGENDA SECTION: Consent Agenda – EPS
SUBJECT: 2018-19 Engineering Review Services
MEETING DATE: April 17, 2018
FROM: Dan Deeter, PE Village Engineer

Recommended Motion

Award the contract for engineering review services to James J. Benes and Associates, Inc. for an amount not to exceed \$45,000.

Background

The Village of Hinsdale has historically had an engineering consultant review the engineering plans for new private construction/development prior to permitting that development. In 2017, at the direction of the Village Board of Trustees, staff sent requests for proposals to six engineering consultants for the period 05/01/17 through 04/30/18. Proposals were submitted by four engineering consultants. Two consultants did not send proposals because they did not have the staffing to commit to this project due to current customer commitments. In 2017, James J. Benes and Associates was selected to provide the engineering review services.

Discussion & Recommendation

James J. Benes & Associates (Benes) was selected due to the consultant's professional education and certifications, experiences with the Village of Hinsdale or similar municipalities, experience with DuPage County standards, and, to a lesser extent, experience with Cook County standards. Benes has provided excellent services during the 2017-18 contract period. Staff is recommending that Benes continue to conduct the engineering review services for the 2018-19 period.

Budget Impact

The Village budgets \$45,000 per year for engineering review costs. These costs are reimbursed by the private developer.

Village Board and/or Committee Action

N/A

Documents Attached

1. 2017 Engineering Review Services Contract

VILLAGE OF HINSDALE
19 E. Chicago Ave.
Hinsdale, IL 60521

ENGINEERING PROFESSIONAL SERVICES
AGREEMENT
2018-19 Third Party Reviews
Civil Engineering Review Services

PROFESSIONAL SERVICES AGREEMENT

BETWEEN THE VILLAGE OF HINSDALE AND JAMES J. BENES AND ASSOCIATES, INC.

This Professional Services Agreement is entered into this 18th day of April 2018, by and between the Village of Hinsdale, an Illinois Municipal corporation (hereinafter referred to as the "Village") and James J. Benes and Associates, Inc. (hereinafter referred to as the "Engineer") (collectively referred to as the "Parties").

Whereas, the Village is seeking professional services for engineering review services (herein referred to as the "Project");

Whereas, Engineer submitted a Proposal dated 3/06/18 to provide said services for the Project;

Whereas, based upon Engineer's competence and the Village's prior experience with Engineer's work quality, the Village, through the Engineering Division, has chosen Engineer for the Project.

NOW THEREFORE, Engineer agrees to perform the services set forth herein and the Village agrees to pay for said services under the following terms and conditions:

SECTION 1. DEFINITIONS.

Whenever used in this Agreement, the following terms shall have the meanings indicated and the singular shall be read to include the plural and vice versa.

A. The term "Agreement" shall mean the entire integrated agreement between Engineer and the Village setting forth the terms and conditions governing the performance of the Project.

B. The term "Change Order" the document signed by Engineer and the Village which authorizes the performance of services beyond the Scope of Work to be supplied under the Agreement, which is issued on or after the Effective Date of this Agreement.

C. The "Engineer" shall mean James J. Benes and Associates, Inc., its employees, agents, subcontractors, duly authorized representatives or others performing work on its behalf. To the extent any work performed under this Agreement is performed by subcontractors, the term "Engineer" shall include such subcontractors.

D. The term "Deliverable" shall mean the plans, specifications, documents, reports, or other item to be prepared and completed by Engineer pursuant to this Agreement.

E. The terms "Includes" and "Including" shall not be construed as limited to.

F. The term "May" is permissive; except the phrase "no person may" shall mean that no person is required, authorized, or permitted to do the act prohibited.

G. The terms "Provide" "Furnish" and "Perform" shall be deemed to imply an obligation on the part of Engineer to obtain, deliver and pay for any material, product, service or other incidental item required under the Agreement, and includes an obligation on the part of Engineer to supply and pay for all labor and services necessary to properly complete the Work, and/or put into and otherwise make ready for its intended use any deliverable, service, item or other Work required by the Agreement.

H. The term "Shall" is imperative.

I. The term "Project" means the scope, extent, or amount of services, deliverables, items, or labor related to the engineering review services as more fully described of Exhibit "A" attached hereto.

J. The terms "Statute," "Law," "Regulation" and "Ordinance" shall be deemed to include all revisions, amendments, and supplements.

K. The term "Village" shall mean the Village of Hinsdale, an Illinois Municipal Corporation, its officers, directors, trustees, authorized representatives and employees.

L. The term "Work" shall mean the all services, labor, materials, equipment, and services provided or to be provided by the Engineer under the Agreement.

SECTION 2. GENERAL REQUIREMENTS-ENGINEER.

A. Engineer agrees to perform services under this Agreement in accordance with generally accepted and currently recognized engineering practices and principles, and in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. Engineer shall have sole responsibility for engineering review of assigned plans and related services that meets the Village's performance expectations and satisfies any applicable state, federal or local laws or regulations.

B. Engineer's role with respect to the Project is solely that of an independent contractor. No right of review; requirement of approval; or other provision of this Agreement or subsequent conduct between the Parties shall be construed to create a relationship between the Parties as that of employer-employee principal and agent, partners, or joint ventures. Engineer shall have no authority or right to enter into any contract, or incur any debt or liability of any nature in the name of, or on behalf of, the Village.

C. Engineer shall not be performing any services with respect to construction oversight. Accordingly, Engineer shall have neither control over or charge of, nor be responsible for the means, methods, techniques, performance or sequence of construction, nor the assurance of site or employee safety. The Village shall cause these contractor responsibilities to be set forth in any subsequent contract to be entered into for construction and installation. It shall be the authority of the Village, not the Engineer, to stop the work of any contractor or any subcontractor on the Project.

D. Engineer warrants and represents that it shall have the Intellectual Property rights (including, but not limited to, patent, copyright, trademark, service mark, or trade secret rights) to any Deliverable that will be provided to the Village during the performance of this Agreement and that transfer of said Deliverables to the Village shall not violate or infringe upon the Intellectual Property rights of any third party.

E. Engineer agrees to perform no professional services during the term of the contract for any person, firm or corporation, for any project or work that may be subject to the Village's review/inspection, to occur or occurring within the corporate limits of the Village, or contiguous to the corporate limits of the Village without notification to the Village prior to rendering services. Engineer agrees to provide the Village with written notification whenever the services provided under this Agreement shall require Engineer to review or inspect work performed by any other firm or corporation for whom Engineer is or has within the previous twelve (12) months provided professional services, or with any of Engineer's partners or principals have a financial interest. The Village may at its discretion disqualify Engineer from participation as representative of the Village in such projects.

F. Engineer represents that its employees, agents and subcontractors currently hold, and shall maintain throughout the completion of the Work, all required licenses, permits and certificates, and have duly registered and otherwise complied in all respects with any applicable federal, state and local laws, regulations and ordinances applicable to the performance of this Agreement.

G. Engineer agrees to perform the services contemplated under this Agreement in a timely manner, with completion no later than 04/30/19. The contract may be extended annually for a period of one year (May 1- April 30) with the approval of both parties.

SECTION 3. GENERAL REQUIREMENTS-VILLAGE.

A. The Village agrees to provide full information regarding requirements for and about the Project, including the Village's objectives, schedule, constraints, criteria, special equipment, systems and site requirements. To the extent additional information readily available to the Village is requested by Engineer during the performance of the Project, the Village shall provide said information promptly and without cost or expense to the Engineer.

B. The Village agrees to provide timely review of any reports, drafts or other materials as requested by Engineer.

SECTION 4. SCOPE OF SERVICES.

A. As more fully set forth in its proposal dated 3/06/18, attached hereto as Exhibit "A", Engineer agrees to provide all labor, materials, expertise, services and consultation related to engineering review services and related services for the Project. Exhibit "A" is incorporated herein by reference except for the General Terms and Conditions attached thereto and except to the extent any term in Exhibit "A" is inconsistent with the terms in this Agreement

B. Engineer shall have the sole and ultimate responsibility for designing and drafting documents that meet the Village's performance expectations and satisfy all applicable laws, regulations and requirements of any federal, state, local or other regulatory authority.

SECTION 5. COMPENSATION AND PAYMENT FOR ENGINEER'S SERVICES.

A. Contract Amount.

Engineer agrees to provide the professional services and deliverables set forth in the Scope of Work, and the Village agrees to compensate Engineer for said performance, the Contract Amount of not-to-exceed \$45,000.00

B. Hourly Rates and Costs.

Compensation for the services set forth in the Scope of Work shall be computed per the professional services set forth in Exhibit "A." The Contract Amount includes Engineer's direct costs.

C. The Village agrees to make payments and to pay interest on unpaid balances under the provisions of the Local Government Prompt Payment Act. However, in no event shall Engineer be reimbursed for work performed that exceeds the Contract Amount without the Village's prior written consent and authorization.

D. Engineer shall submit invoices no more than once per month. Invoices shall provide a detailed breakdown of the amount billed, including the name, title, rate of pay, hours worked and services rendered by each individual during the period stated. Invoices shall be submitted in duplicate and shall reflect all prior amounts billed and paid to date. Invoices shall be accompanied by a progress report setting forth the rates of completion for all tasks scoped and for all deliverable products. Invoices shall not be deemed due unless and until a progress report has been submitted.

SECTION 6. DELIVERY AND OWNERSHIP OF DOCUMENTS.

A. All Deliverables, including but not limited to, any plans, specifications, reports, or other project documents prepared by Engineer pursuant to this Agreement shall be the exclusive property of the Village and Engineer shall provide such work product to the Village immediately upon request or upon the expiration or termination of this Agreement.

B. The Deliverables prepared by Engineer pursuant to this Agreement are intended for the express and sole use of the Village for this Project only. Any reuse by the Village on

extensions of the Project or any other project or, any modification of the Deliverables by the Village without the specific written verification or adaptation by Engineer, shall be at Village's sole risk. Engineer shall not be liable for any damage or loss resulting from said reuse or modification by the Village.

C. Engineer shall provide the Village with the Deliverables both printed form and electronically. All reports and related information shall be compatible with "Microsoft Word 2003," by Microsoft Corporation, or latest version; all spreadsheets and related information shall be compatible with "Microsoft Excel 2003" by Microsoft Corporation, or latest version; and all CAD related information shall be compatible with "AutoCAD 2008" by Autodesk Corporation, or latest version. Deliverables in printed form shall be of a quality that assures total reproducibility by the Village.

D. Upon the condition that Engineer has received the prior written consent of the Village, Engineer shall have the right to include representations of the design of the Project, including photographs of the exterior and interior, among the Engineer's promotional and professional materials. The Engineer's materials shall not include the Village's confidential and proprietary information if the Village has previously advised the Engineer in writing of the specific information considered by the Village to be confidential and proprietary.

SECTION 7. INSURANCE.

A. Scope of Coverage and Amounts.

During the term of the Project, Engineer shall procure and maintain insurance against all claims for injury to or death of a person or persons or damage to property, which may arise wholly or in part from the performance of the services hereunder by Engineer. The scope of coverage shall be at least as broad as, and shall be in amounts not less than, the following:

1. Comprehensive General Liability, with the Village as an additional insured, \$1,000,000 combined single limit per occurrence for personal bodily injury and property damage. The general aggregate shall be no less than \$2,000,000.
2. Business Auto Liability, \$1,000,000 combined single limit for bodily injury and property damage;
3. Workers Compensation and Employers' Liability in amounts required by statute (the policy shall include a 'waiver of subrogation');
4. Umbrella Coverage- \$2,000,000 per occurrence; and,
5. Professional Liability – \$1,000,000 each claim covering negligent acts, errors, and omissions in connection with professional services to be provided by Engineer under this Agreement, and providing for indemnification and defense for injuries arising out of same, with a deductible not-to-exceed \$50,000 without prior written approval.

If the policy is written on a claims-made form, the retroactive date must be equal to or preceding the effective date of this Agreement. In the event the policy is cancelled, not

renewed or switched to an occurrence form, then Engineer shall purchase supplemental extending reporting period coverage for a period of not less than three (3) years.

B. Upon execution of this Agreement, Engineer shall furnish to the Village satisfactory proof of coverage of the above insurance requirements. Such proof shall consist of certificates executed by the respective insurance companies together with executed copies of an "Additional Insured Endorsement" in a form acceptable to the Village. Said certificates shall expressly provide that, for the duration of the Agreement, the insurance policy shall not be suspended, cancelled, or reduced in coverage or amount. In addition, said certificates shall list the Village and its corporate authorities, officers, agents and employees as an additional insured on all required insurance policies except the policy for professional liability.

1. All insurance required herein of Engineer shall be valid and enforceable policies, insured by insurers licensed and permitted to do business by the State of Illinois or surplus line carriers qualified to do business in the State of Illinois. All insurance carriers and surplus line carriers shall be rated A-, VII or better by A.M. Best Company.
2. Engineer shall require all subcontractors not protected under the Engineer's policies to take out and maintain insurance of the same nature, in the same amounts and under the same terms as required herein of Engineer. Engineer shall confirm subcontractor compliance with the requirements stated herein prior to the performance of any Work by a subcontractor.
3. Engineer expressly understands and agrees that any bonds or insurance policies required to be maintained pursuant to this Agreement shall in no way limit the degree, amount, or extent of Engineer's responsibility to indemnify, keep and save harmless and defend the Village, their officers, agents, employees, representatives and assigns. Engineer's insurance coverage (both primary and excess) shall be primary as respect to any insurance or self-insurance maintained by the Village, which said insurance of the Village shall solely be excess of Engineer's insurance and shall not contribute with Engineer's insurance coverage.

SECTION 8. CHANGES IN WORK.

A. The Village reserves the right to request additional work or services beyond that stated in the Scope of Work or, to delete certain work or services currently set forth in the Scope of Work. Any such changes by the Village shall not invalidate the Agreement or relieve the Engineer of any obligations under this Agreement. Changes to the Work shall be authorized in writing and executed by the Parties. Engineer shall not proceed with any extra work unless and until a Change Order is executed by the Parties.

B. Unless otherwise agreed, the Village shall compensate Engineer for any extra work according to the rates set forth in Exhibit "A" to this Agreement. Engineer shall not be entitled to an adjustment to the Contract Amount for any work performed outside the scope

of the Agreement and for which no prior written authorization by the Village was obtained; or, for work which exceeds the Contract Amount or other agreed upon pricing and for which no Change Order was executed prior to exceeding the Contract Amount.

SECTION 9. USE OF SUBCONTRACTORS AND CONFLICTS OF INTEREST.

Except as otherwise stated herein, Engineer may elect to use subcontractors to perform certain portions of the services to be provided under this Agreement; however, Engineer shall perform the majority of the work on the Project. Any use of subcontractors shall require the prior written approval of the Village, said approval shall not be unreasonably withheld. Engineer shall not be entitled to any payment for services performed by subcontractors for whom prior written approval of the Village was not obtained. Engineer shall remain ultimately responsible for all work performed with respect to the Project and shall ensure that subcontractors comply with the terms stated in this Agreement.

SECTION 10. INDEMNIFICATION.

A. Engineer shall defend, hold harmless, and indemnify the Village, its corporate authorities, trustees, officers, directors, and employees from and against any and all injury, death, loss, property damage, judgments, liens, claims, suits, liabilities, actions, causes of action, demands, expenses, costs, or other liabilities of any character (including reasonable attorney's fees) arising in whole or in part, relating to or resulting from the: (a) failure to comply with, or violation of, any federal, state or local law, statute, regulation, rule, ordinance, order, or governmental directive; (b) acts, omissions or willful misconduct; (c) failure to comply with the terms, conditions, representations, or warranties contained in the Agreement; (d) infringement of any patent, trademark or copyright; and, e) performance under this Agreement by Engineer, its Subcontractors, or others performing or furnishing any Work directly or indirectly on Engineer's behalf. In connection with any such liabilities, the Village, their officers, agents, employees, representatives and their assigns shall have the right to defense counsel of their choice and Engineer shall be solely liable for all costs, fees and expenses of such defense. The terms of this indemnity shall survive the suspension, expiration or termination of this Agreement.

B. The Village shall defend, hold harmless, and indemnify Engineer, its corporate authorities, trustees, officers, directors, agents, assigns, and employees from and against any and all injuries, deaths, losses, judgments, claims, suits, liabilities, actions, demands, expenses, costs, including reasonable attorney's fees, arising in whole or in part or relating to any act, omission, or performance under this Agreement by the Village, its employees, officers, directors, agents, or others working on its behalf, except that arising out of the sole legal cause of the Engineer. Nothing in this paragraph, however, shall be construed to create an obligation, right of action, or right of recovery that would otherwise not exist at law or in equity. Nor shall the terms of this paragraph be construed as a waiver by the Village of any right or defense it has, or otherwise would have had at law or in equity, but for this paragraph.

C. Kotecki Waiver. Engineer (and any subcontractor into whose subcontract this clause is incorporated) agrees to assume the entire liability for all personal injury claims suffered by its own employees and waives any limitation of liability defense based upon the Worker's Compensation Act and cases decided there under. Engineer agrees to indemnify and

defend the Village from and against all such loss, expense, damage or injury, including reasonable attorneys' fees, which the Village may sustain as a result of personal injury claims by Engineer's employees, except to the extent those claims arise as a result of the Village's or own negligence.

D. In any contract the Village may subsequently enter into for construction related to the Project, the Village agrees to use its best efforts to require the contractor to indemnify, hold harmless, and defend the Engineer, its officers, employees and agents from and against any and all claims, suits, demands, liabilities, losses, damages, and costs, including but not limited to costs of defense, arising in whole or in part out of any act or omission of the contractor, its employees, agents, and subcontractors, or anyone for whose acts contractor may be liable.

SECTION 11. COMPLIANCE WITH LAWS.

A. Engineer agrees and certifies that it will comply with all applicable laws, regulations and rules promulgated by any federal, state, local, or other governmental authority or regulatory body, now in effect or which may be in effect during this Project. The scope of the laws, regulations, and rules referred to in this paragraph include, but in no way are limited to, the Illinois Human Rights Act, Illinois Equal Pay Act of 2003, Occupational Safety & Health Act, all forms of traffic regulations, public utility, Interstate and Intrastate Commerce Commission regulations, Workers' Compensation Laws, Prevailing Wage Laws, USA Security Act, federal Social Security Act (and any of its titles), and any other law, rule or regulation of the Illinois Department of Labor, Department of Transportation, Illinois Department of Human Rights, Human Rights Commission, or EEOC.

B. Without limiting the generality of the foregoing, pursuant to the requirements of Illinois law concerning public contracts, Engineer shall comply with each of the following as may be applicable:

1. Sexual Harassment Policy. Engineer certifies that it has a written sexual harassment policy defining sexual harassment as required in Section 2-105 of the Ill. Human Rights Act. 775 ILCS 5/1-105, *et seq.*

2. Tax Payments. Engineer certifies that it is not delinquent in the payment of any tax administered by the Illinois Department of Revenue as set forth in 65 ILCS 5/11-42.1-1.

3. Equal Pay Act of 2003. Engineer, and all subcontractors thereof, shall at all times comply with the provisions of the Illinois Equal Pay Act of 2003, 820 ILCS 112/1, *et seq.*

4. Public Works Employment Discrimination Act. The Engineer certifies that it will comply with the Illinois Public Works Employment Discrimination Act (775 ILCS 10/0.01, *et seq.*) which prohibits unlawful discrimination by any entity in the contracting for or performance of all public contracts with the State of Illinois and all of its political subdivisions. As required by this State Act, all of its provisions are incorporated herein by reference and are reprinted below.

5. Illinois Human Rights Act-Equal Opportunity Clause. Engineer certifies that it is an "Equal Opportunity Employer" as defined by federal and state laws and regulations, and agrees to comply with the Illinois Department of Human Rights (IDHR) Equal Opportunity clause as required by the IDHR's Regulations (44 Ill. Admin. Code, Part 750, Appendix A), which is

considered to be part of any public contract or purchase agreement. As required by State law and IDHR Regulation, the Equal Opportunity clause is reprinted below.

EQUAL EMPLOYMENT OPPORTUNITY

In the event of the Engineer's non-compliance with the provisions of this Equal Employment Opportunity Clause, the Illinois Human Rights Act or the Rules and Regulations of the Illinois Department of Human Rights ("Department"), the Engineer may be declared ineligible for future contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations, and the contract may be cancelled or voided in whole or in part, and such other sanctions or penalties may be imposed or remedies invoked as provided by statute or regulation. During the performance of this contract, the Engineer agrees as follows:

- 1) That it will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental handicap unrelated to ability, military status, or an unfavorable discharge from military service; and further that it will examine all job classifications to determine if minority persons or women are underutilized and will take appropriate affirmative action to rectify any such underutilization.
- 2) That, if it hires additional employees in order to perform this contract or any portion thereof, it will determine the availability (in accordance with the Department's Rules) of minorities and women in the areas from which it may reasonably recruit and it will hire for each job classification for which employees are hired in such a way that minorities and women are not underutilized.
- 3) That, in all solicitations or advertisements for employees placed by it or on its behalf, it will state that all applicants will be afforded equal opportunity without discrimination because of race, color, religion, sex, sexual orientation, marital status, national origin or ancestry, citizenship status, age, physical or mental handicap unrelated to ability, military status, or an unfavorable discharge from military service.
- 4) That it will send to each labor organization or representative of workers with which it has or is bound by a collective bargaining or other agreement or understanding, a notice advising such labor organization or representative of the Engineer's obligations under the Illinois Human Rights Act and the Department's Rules. If any such labor organization or representative fails or refuses to cooperate with the Engineer in its efforts to comply with such Act and Rules, the Engineer will promptly so notify the Department and the contracting agency and will recruit employees from other sources when necessary to fulfill its obligations hereunder.
- 5) That it will submit reports as required by the Department's Rules, furnish all relevant information as may from time to time be requested by the Department or the contracting agency, and in all respects comply with the Illinois Human Rights Act and the Department's Rules.
- 6) That it will permit access to all relevant books, records, accounts and work sites by personnel of the contracting agency and the Department for purposes of investigation to ascertain compliance with the Illinois Human Rights Act and the

Department's Rules.

7) That it will include verbatim or by reference the provisions of this clause in every subcontract it awards under which any portion of the contract obligations are undertaken or assumed, so that such provisions will be binding upon such subcontractor. In the same manner as with other provisions of this contract, the Engineer will be liable for compliance with applicable provisions of this clause by such subcontractors; and further it will promptly notify the contracting agency and the Department in the event any subcontractor fails or refuses to comply therewith. In addition, the Engineer will not utilize any subcontractor declared by the Illinois Human Rights Commission to be ineligible for contracts or subcontracts with the State of Illinois or any of its political subdivisions or municipal corporations.

ILLINOIS PUBLIC WORKS EMPLOYMENT DISCRIMINATION ACT

10/1. Discrimination in employment prohibited

§ 1. (a) No person shall be refused or denied employment in any capacity on the ground of unlawful discrimination, as that term is defined in the Illinois Human Rights Act, nor be subjected to unlawful discrimination in any manner, in connection with the contracting for or the performance of any work or service of any kind, by, for, on behalf of, or for the benefit of this State, or of any department, bureau, commission, board, or other political subdivision or agency thereof.

(b) The Illinois Human Rights Act applies to all contracts identified in subsection (a).

10/2. Deemed incorporated in contract

§ 2. The provisions of this Act shall automatically enter into and become a part of each and every contract or other agreement hereafter entered into by, with, for, on behalf of, or for the benefit of this State, or of any department, bureau, commission, board, other political subdivision or agency, officer or agent thereof, providing for or relating to the performance of any of the said work or services or of any part thereof.

10/3. Includes independent contractors, etc.

§ 3. The provisions of this Act also shall apply to all contracts entered into by or on behalf of all independent contractors, subcontractors, and any and all other persons, association or corporations, providing for or relating to the doing of any of the said work or the performance of any of the said services, or any part thereof.

10/4. Deduction from compensation

§ 4. No Engineer, subcontractor, nor any person on his or her behalf shall, in any manner, discriminate against or intimidate any employee hired for the performance of work for the benefit of the State or for any department, bureau, commission, board, other political subdivision or agency, officer or agent thereof, on account of race, color, creed, sex, religion, physical or mental handicap unrelated to ability, or national origin; and there may be deducted from the amount payable to the Engineer by the State of Illinois or by any municipal corporation thereof, under this contract, a penalty of five dollars for each person for each

calendar day during which such person was discriminated against or intimidated in violation of the provisions of this Act.

10/5. Recovery by injured person

§ 5. Any person, agency, corporation or association who violates any of the provisions of this Act, or who aids, abets, incites or otherwise participates in the violation of any of the provisions, whether the violation or participation therein occurs through action in a private, public or in any official capacity, shall be guilty of a petty offense for each and every violation or participation therein with respect to each person aggrieved thereby, to be recovered by each such aggrieved person, or by any other person to whom such aggrieved person shall assign his cause of action, in the circuit court in the county in which the plaintiff or the defendant shall reside.

10/6. Violations: punishment

§ 6. Any person who or any agency, corporation or association which shall violate any of the provisions of the foregoing sections, or who or which shall aid, abet, incite or otherwise participate in the violation of any of the said provisions, whether the said violation or participation therein shall occur through action in a private, in a public, or in any official capacity, shall also be deemed guilty of a petty offense for each and every said violation or participation or, in the case of non-corporate violators, or participators, of a Class 8 misdemeanor.

10/7. To be inscribed in contract

§ 7. The provisions of this Act shall be printed or otherwise inscribed on the face of each contract to which it shall be applicable, but their absence there from shall in no wise prevent or affect the application of the said provisions to the said contract.

10/8. Partial invalidity: construction

§ 8. The invalidity or unconstitutionality of any one or more provisions, parts, or sections of this Act shall not be held or construed to invalidate the whole or any other provision, part, or section thereof, it being intended that this Act shall be sustained and enforced to the fullest extent possible and that it shall be construed as liberally as possible to prevent refusals, denials, and discriminations of and with reference to the award of contracts and employment hereunder, on the ground of race, color, creed, sex, religion, physical or mental handicap unrelated to ability, or national origin.

SECTION 12. SUSPENSION AND TERMINATION OF SERVICES.

A. Suspension of Work

The Village may, at any time, by written notice to the Engineer require the Engineer to stop all, or any part, of the Work required by the Agreement. Upon receipt of such a notice, the Engineer shall immediately comply with its terms and take all steps to minimize the occurrence of costs allocable to the Work covered by the notice. Engineer shall, upon receipt of notice of suspension, identify in writing all Work that must be completed prior to suspension of the Work, including all Work associated with suspension that must be performed. With respect to Work so identified by Engineer and approved by the Village, the Village will pay for the necessary and reasonable costs associated with that Work. Engineer shall not be entitled to any claim for lost profits due to the suspension of the Work by the Village.

B. Termination of Agreement

1. The Village reserves the right to terminate the whole or any part of this Agreement, without cause, upon ten (10) calendar day's written notice to the Engineer.
2. The Village reserves the right to terminate the whole or any part of this Agreement, upon ten (10) calendar day's written notice to the Engineer in the event of default by the Engineer.
 - a. Default is defined as the failure by Engineer to correct defective Work as required; the persistent failure to carry out the Work in accordance with the Agreement; or, the failure to make sufficient progress to endanger timely completion of the Work
 - b. Engineer shall also be deemed in default if the Engineer: 1) is adjudged bankrupt or insolvent, or makes a general assignment for the benefit of creditors or if a trustee or receiver is appointed for the Engineer or for any of the Engineer's property on account of the Engineer's insolvency, and the Engineer or its successor in interest does not provide adequate assurance of future performance in accordance with the Agreement within 10 days of receipt of a request for assurance from the Village; 2) repeatedly fails to supply sufficient skilled workmen or suitable materials or equipment; 3) repeatedly fails to make prompt payments to Subcontractors or suppliers at any tier, or for labor, materials or equipment; 4) disregards laws, ordinances, rules, codes, regulations, orders or similar requirements of any public entity having jurisdiction; or 5) otherwise violates any material term of the Agreement.
 - c. If Engineer shall assign this Agreement in violation of the prohibition on assignment set forth in Section 14.A of this agreement or abandon the Work or shall neglect or refuse to comply with the instructions of the Village relative thereto or shall fail in any manner to comply with the specifications or stipulations herein contained or if at any time the Village shall be of the opinion that the Work is unnecessarily delayed and will not be finished within the prescribed time, or that unnecessary inconvenience is being imposed upon the public or unnecessary expense is being incurred by the Village for inspection and supervision, the Village shall notify the Engineer, in writing, to that effect. If the Engineer does not, within five (5) calendar days thereafter, take such measures as will in the judgment of the Village ensure the satisfactory completion of the Work within the prescribed time or prevent unnecessary inconvenience to the public or prevent unnecessary expense to the Village, then the Village may take such actions as deemed necessary, at the cost to the Engineer, to correct such delay or, the may declare the Engineer to be in default and terminate the Agreement.
3. Upon receipt of notice of termination, Engineer shall identify in writing all Work that must be completed prior to termination of the Work, including all Work associated with termination that must be performed. Only with respect to Work so identified by Engineer and pre-approved by the Village, the Village will pay for the necessary and reasonable costs associated with that Work. Engineer shall not be entitled to any claim for lost profits due to the termination of the Work by the Village.

SECTION 13. NOTICES.

All notices, communications and/or demands given pursuant hereto shall be in writing

and shall be deemed sufficient if sent by certified mail, return receipt requested, addressed as set forth at the following addresses, or at such other addresses as the Parties may designate by written notice in the manner aforesaid:

If to Village:

Village Manager
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

If to Engineer:

Village Engineer
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

The date of mailing shall be deemed the date of service. Either Party may change the address for notice by the aforesaid procedure.

SECTION 14. MISCELLANEOUS PROVISIONS.

A. Assignment.

Engineer shall not assign this Agreement or any portion thereof. The merger, consolidation, or liquidation of Engineer or any change in the ownership of or power to vote 33 and 1/3% or more of Engineer's capital stock, as held as of the date of execution of this Agreement, shall be deemed an assignment, provided however, that transfer of ownership of shares of capital stock between persons who, on the date of this Agreement, are owners of Engineer's capital stock, shall not constitute an assignment.

B. Governing Law.

For any legal action between the Parties concerning the interpretation, construction and enforcement of this Agreement, or subject matter thereof, venue shall be in Cook County, Illinois and the laws of the State of Illinois shall govern the cause of action. In any action involving the interpretation or construction of the terms herein, this Agreement shall not be construed in favor of, or against, either Party.

C. Captions.

The captions set forth herein are inserted solely for ease and convenience of reference and are not intended to provide a basis for the construction and interpretation of this Agreement.

D. Entire Agreement.

This Agreement contains all negotiations, agreements, covenants and understandings between the Parties and supersedes any such prior written or oral agreement. This Agreement may not be modified or amended unless such modification or amendment is evidenced in writing, signed by both Parties and dated on the same date as, or later date than, the date of this Agreement.

E. Waiver.

The failure of either Party to enforce any term, condition, or covenant (herein referred to as "provision") of this Agreement shall not be deemed a waiver or limitation of that Party's right to subsequently enforce and compel strict compliance with such provision and every other provision of this Agreement. No provision of this Agreement shall be deemed to have been waived by either Party unless such waiver is in writing by said Party.

F. Third Party Beneficiaries.

Nothing contained in this Agreement shall be construed to create enforceable rights in favor of any third party not a party hereto, or a contractual relationship with, or a cause of action in favor of, any third party against either the Village or Engineer.

F. Survival.

The aforesaid covenants, agreements, representations and warranties shall survive the expiration or termination of the Agreement.

IN WITNESS WHEREOF, the Village of Hinsdale and Engineer, by their duly authorized representatives, have hereunto set their hands.

Accepted this ____ day of April 2018
Engineering Consultant

By: _____

(Printed Name and Title)

Accepted this ____ day of April 2018

The Village of Hinsdale, Illinois

By: _____
Kathleen A. Gargano, Village Manager

Exhibit A – James J. Benes and Associates, Inc. Proposal dated 03/06/18



JAMES J. BENES AND ASSOCIATES, INC.
CONSULTING ENGINEERS

March 6, 2018

Mr. Daniel M. Deeter, P.E.
Village Engineer
Village of Hinsdale
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489

Re: Proposal for Engineering Review Services
Village of Hinsdale

Dear Mr. Deeter:

We appreciate the opportunity to submit this proposal related to the Village of Hinsdale's request for Engineering Review Services. For over 48 years James J. Benes and Associates ("JJ Benes") has been practicing in all facets of Municipal Engineering including specialties of traffic and environmental design. We provide contract consulting, plan review or act as Municipal Engineer for dozens of communities throughout northeastern Illinois including the Villages of Hinsdale, Western Springs, Lisle, Elmhurst, Oak Brook, Woodridge, Warrenville, Glen Ellyn, Glenview, Barrington, Libertyville and others.

Our goal is to exceed every client's expectations. We achieve this mission by listening to our clients, maintaining ethical standards, continuing education and approaching complex engineering issues with practical, reasonable and innovative solutions.

Effective plan review requires a deep knowledge of the current and upcoming regulatory climate, familiarity of all aspects of public operations and an understanding of each neighborhood's historical concerns. JJ Benes is uniquely knowledgeable of these aspects of review.

JJBenes is continuously involved in the drafting, administration and revisions to the DuPage County Countywide Stormwater and Flood Plain Ordinance since its inception in 1993. Our employees serve on sub-committees of the Municipal Engineers Group which is tasked with technical support for Ordinance Administrators and the County Director. We serve as alternate Stormwater Administrators in several DuPage County communities. We have performed thousands of stormwater and other plan reviews including reviews for DuPage County itself.

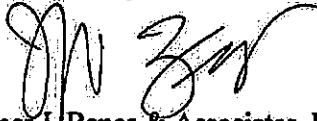
JJBenes is also current in other aspects of plan review including traffic analysis, lighting analysis, and zoning compliance. As Municipal Engineers, we have assisted Public Works and Community Development functions. Our highly skilled engineering team hold PE, PTOE, CFM, CPESC and other relevant professional certifications.

Our highly experienced group of professionals specifically assigned to perform the services are supported by colleagues highly specialized in various civil engineering areas. Enclosed is our fixed fee proposal, hourly rates for more complex commercial developments.

Should you have any questions or would like to discuss our qualifications, please contact me at (630) 719-7570 or via e-mail at jziegler@jjbenes.com. We appreciate the opportunity to submit this proposal.

Sincerely,

Jeffery C. Ziegler, Vice President

A handwritten signature in dark ink, appearing to read 'JC Ziegler', is written over the printed name.

James J. Benes & Associates, Inc.
950 Warrenville Road, Ste. 101
Lisle, IL 60532

KEY PERSONNEL

The key personnel to be assigned to the Village of Hinsdale Civil Engineering Review Services are:

Principal: Jeffery C. Ziegler
Vice President

Principal: Thomas Adomshick, P.E., PTOE
President

Project Manager: Daniel H Schoenberg, P.E.
Sr. Project Engineer

Project Engineers: Lynn Kroll, P.E., CFM
Brian L. Gilmore, P.E.

Environmental Scientist: David Koldoff, CPESC

The primary contact for the project will be Mr. Ziegler. The secondary contact for the project will be Mr. Schoenberg. Résumés for key personnel are attached.



JAMES J. BENES AND ASSOCIATES, INC.
CONSULTING ENGINEERS

**PROPOSAL to provide
CIVIL ENGINEERING SERVICES
to the
VILLAGE OF HINSDALE, ILLINOIS**

This is a proposal from James J. Benes and Associates, Inc. (Engineer) to provide Civil Engineering Review Services to the Village of Hinsdale (Client) to review both residential and commercial development grading and improvement plans, storm water drainage plans and calculations, specifications and estimates for conformance with the DuPage County Countywide Stormwater & Flood Plain Ordinance and the applicable requirements of the Village of Hinsdale Village Code.

PROJECT UNDERSTANDING

The purpose of plan reviews is to analyze existing and proposed grading, public improvements and other improvements associated with development or modification of property. The following is a detailed scope of services and cost for performing the work. All work will be performed in accordance with generally accepted engineering practices.

SCOPE OF BASIC SERVICES

Single Family Residential

1. Site Visit: A site visit will be performed on each plan submittal to assess existing conditions and confirm the submitted engineering plan represents or depicts reasonably accurate information.
2. Initial Plan Review: Review of engineering plans prepared by consultants or others for compliance with the current as amended or revised DuPage County Countywide Stormwater & Flood Plain Ordinance, the applicable requirements of the Village of Hinsdale Village Code and good engineering practices.
3. Documentation: A memorandum will be prepared that summarizes work that needs clarification, missing information, inaccurate information or request additional information as required by ordinance or good engineering practices. The memorandum shall explicitly advise the client of compliance or non-compliance with the applicable ordinance or code.
4. Second Plan Review: A second plan review will be performed on revised plans and documents as provided by the Village. Additional documentation in the form of a memorandum shall explicitly advise the client of compliance or non-compliance with the applicable ordinance or code.
5. Additional Plan Reviews: Should the applicant require additional plan review, we will process in conformance with item 4 above, except that an additional fee shall be incurred by the applicant.

*** Short meetings of 20 minutes or less with Village Staff at the time of plan pick up or delivery will not be invoiced but are considered incidental to our professional review services. All other meetings will be invoiced on a time and material basis.

Commercial / Non Residential Development or Subdivision

6. Site Visit: A site visit will be performed on each plan submittal to assess existing conditions and confirm the submitted engineering plan represents or depicts reasonably accurate information.
7. Initial and all Subsequent Plan Review: Review of engineering plans prepared by consultants or others for compliance with the current as amended or revised DuPage County Countywide



JAMES J. BENES AND ASSOCIATES, INC.
CONSULTING ENGINEERS

Stormwater & Flood Plain Ordinance, the applicable requirements of the Village of Hinsdale Village Code and good engineering practices.

Documentation: A memorandum will be prepared that summarizes work that needs clarification, missing information, inaccurate information or request additional information as required by ordinance or good engineering practices. The memorandum shall explicitly advise the client of compliance or non-compliance with the applicable ordinance or code.

Due to the inherent complexities and scope of Commercial / Non Residential Development or Subdivision reviews, these will be invoiced on a time and material basis for per review.

If meetings are required they will be invoiced on a time and material basis.

CONTRACT CONDITIONS

- A. **Civil Engineering Services:** The Engineer's services shall consist of those tasks described in the Scope of Basic Services.
- B. **Changes:** This Agreement may only be changed by written amendment (appendix) which specifies the terms being revised and which has been signed by both parties hereto.
- C. **Termination:** Client may terminate this Agreement at any time upon thirty (30) days written notice for whatsoever reason, provided Client shall pay the Engineer a reasonable fee for work satisfactorily performed prior to the effective date of termination. In no case, however, shall the total amount paid to Engineer on a per review or time and material basis exceed the amount set out below or an amended amount established in accordance with article B Changes above.
- D. **Indemnification:** The CONSULTANT shall indemnify and hold harmless the VILLAGE from loss or expense, including reasonable attorneys' fees for claims for personal injuries (including death) or property damage arising out of the sole negligent act, error or omission of the CONSULTANT.

The VILLAGE shall indemnify and hold harmless the CONSULTANT, up to the same amount that CONSULTANT undertakes to indemnify the VILLAGE under this Agreement, from loss or expense, including reasonable attorneys' fees, for claims for personal injuries (including death) or property damage arising out of the sole negligent act, error or omission of the VILLAGE.

In the event of joint or concurrent negligence of the CONSULTANT and the VILLAGE, each shall bear that portion of the loss or expense that its share of the joint or concurrent negligence bears to the total negligence (including that of third parties) which caused the personal injury or property damage.

The CONSULTANT shall not be liable for special, incidental or consequential damages, including, but not limited to, loss of profits, revenue, use of capital, claims of customers, cost of purchased or replaced power, or for any other loss of any nature, whether based on contract, tort, negligence, strict liability or otherwise, by reasons of the services rendered under this Agreement.

- E. **Standard of Care:** Services performed by the Consultant under this Agreement will be conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions.



JAMES J. BENES AND ASSOCIATES, INC.
CONSULTING ENGINEERS

F. Legal: This Agreement shall be construed and interpreted solely in accordance with the laws of the State of Illinois.

COST OF SERVICES

Invoices will be prepared at the end of each month for the services performed through the 25th of that month.

Single Family Residential

The Single Family Residential Plan Review fixed fee for the services described in Sections 1 through 4 of the Scope of Basic Services shall be based on a flat fee of \$ 800.00

Additional Residential Plan reviews described in Section 5 of the Scope of Basic Services shall be based on a flat fee of \$200 per occurrence.

Escalation of Fixed Fee: The consultant and client agree that reasonable periodic fee escalation may be necessary. Fixed Fee adjustment shall be permitted annually starting January 1 and are subject to prior authorization by the Village.

Commercial / Non Residential Development or Subdivision

The Commercial / Non Residential Development or Subdivision review fees described in Sections 6 and 7 above shall be on a time and material basis.


Hourly Rates:

Principal \$178.57
Sr. Engineer \$ 132.00
Staff Engineer \$104.00
Environmental Scientist \$122.95

ACCEPTANCE:

If this proposal is acceptable, please sign and return one copy for our records.

JAMES J. BENES AND ASSOCIATES, INC.


by: Jeffrey C. Ziegler
Vice President

Accepted for: The Village of Hinsdale

by: _____ Date: _____



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Consent Agenda – ZPS
SUBJECT: 120 N. Garfield Street – Plat of Consolidation - 2 Lots into 1 Code
Compliant R-4 Lot - Case A-14-2018
MEETING DATE: April 17, 2018
FROM: Chan Yu, Village Planner

Recommended Motion

Approve a Resolution approving a Consolidation Plat for property commonly known as 120 North Garfield Street in the Village of Hinsdale, County of DuPage.

Background

The Village of Hinsdale has received a request from SIM Development, LLC, on behalf of the property owner, Ms. Kelley Schueler, requesting approval to consolidate 1 conforming lot (120 N. Garfield) with a legal non-conforming lot (112 N. Garfield), into 1 conforming lot in the R-4 Single Family Residential District (R-4). If the proposed consolidation is approved, the homeowner plans to construct a swimming pool, pool house, and spa. These construction plans will comply with the code once the 2 lots are consolidated.

The code compliant lot for 120 N. Garfield is 103.13 feet wide and 231.64 feet long, which is 23,889.03 SF. The non-code compliant lot for 112 N. Garfield is 50.00 feet wide and 231.00 feet long, which is 11,550 SF; and is a nonconforming lot due to the required 70 foot lot width per the R-4 District. Once consolidated, the lot would be 153.13 feet wide and approximately 231.32 feet long, which is 35,422.03 SF.

Discussion & Recommendation

N/A

Village Board and/or Committee Action

At the April 3, 2018, Board of Trustees meeting, the Village Board had no issues with the application and moved the item forward for Consent Agenda.

Documents Attached

Resolution

The following related materials were provided for the Board of Trustees of this item on April 3, 2018, and can be found on the Village website at:

http://cms4.revize.com/revize/hinsdale/document_center/VillageBoard/2018/04%20APR/vbot%20packet%2004%2003%2018.pdf

Plat of Consolidation Request and Exhibits
Zoning Map and Subject Property Location
Parcel Map of 112 N. Garfield Ave. & 120 N. Garfield Ave.
Birds Eye View of 120 N. Garfield Avenue

VILLAGE OF HINSDALE

RESOLUTION NO. _____

**A RESOLUTION APPROVING A CONSOLIDATION PLAT FOR
PROPERTY COMMONLY KNOWN AS 120 NORTH GARFIELD STREET
IN THE VILLAGE OF HINSDALE, COUNTY OF DUPAGE**

WHEREAS, the Village of Hinsdale has received an application (the "Application") for approval of a Consolidation Plat for property located at 120 North Garfield Street, Hinsdale, DuPage County, Illinois (the "Property"), from SIM Development, LLC, on behalf of the property owner, Ms. Kelley Schueler (the "Applicant"); and

WHEREAS, the Applicant seeks to consolidate a conforming lot (120 N. Garfield) with an adjacent legal non-conforming lot (112 N. Garfield), into one (1) conforming lot in the R-4 Single Family Residential District (R-4), as shown on the attached Consolidation Plat ("Consolidation Plat") attached hereto as Exhibit A and incorporated herein; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale, having reviewed the Consolidation Plat for the Property and having found it to be in conformity with the ordinances of the Village, find that approval of the Plat will be in the best interests of the Village of Hinsdale.

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

Section 1. Recitals Incorporated. The above recitals are incorporated into this Resolution and shall have the same force and effect as though fully set forth herein.

Section 2. Consolidation Plat Approval. The Consolidation Plat entitled "112 and 120 North Garfield Consolidation," dated January 10, 2018, and attached as Exhibit A, is hereby approved.

Section 3. Execution and Recordation. The Village President and Village Clerk are hereby authorized to execute and to record, or have their designees record, the approved Consolidation Plat as provided by State law and the Village Code of Hinsdale; provided, however, that they shall not do so until after the approved Plat has been executed by all other required parties, the Applicant has deposited with the Village funds sufficient to pay all Village costs of recording the Plat, and all administrative details relating to the Plat have been completed.

Section 4. Severability and Repeal of Inconsistent Resolutions and Ordinances. If any section, paragraph, clause or provision of this Resolution shall be held invalid, the invalidity thereof shall not affect any of the other provisions of this

Resolution. All resolutions and ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. Effective Date. This Resolution shall be in full force and effect from and after its passage and approval.

ADOPTED this _____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2018, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

EXHIBIT A

**APPROVED CONSOLIDATION PLAT
(ATTACHED)**

LAND AREA - 35485 SF
OR 0.81 ACRES MORE OR LESS

120 N. GARFIELD, HINSDALE, ILLINOIS 60521 - P.J.N. 09-01-325-011
117 N. GARFIELD, HINSDALE, ILLINOIS 60521 - P.J.N. 09-01-328-012

FUTURE TAX BILLS SHALL BE SENT TO:
KELLY C. SCHUELER
220 N. GARFIELD
CHICAGO, ILLINOIS 60611



STATE OF ILLINOIS
COUNTY OF DUPAGE

THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND CONSOLIDATED THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH FIVE EIGHTH-8 OF LOT 2 IN BLOCK 2 IN SLOUGHS ADDITION TO THE TOWN OF HINSDALE, IN THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 26, 1868, AS

100

THE NORTH 60 FEET OF LOT 3 IN BLOCK 2 IN STOUGH'S ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 36 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 25, 1909, AS DOCUMENT 4833, IN DUPAGE COUNTY, ILLINOIS.

FURTHER CERTIFY THAT THE PROPERTY SHOWN HEREON IS NOT SITUATED IN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS PER FIRM MAP COMMUNITY PANEL NUMBER 17045C09034 (ZONE X)

FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF
LAND SURVEY AND SUBDIVISION, AND IRON PIPES WILL BE SET AT ALL LOT CORNERS.
FURTHER AUTHORIZE THE VILLAGE OF HINSDALE, ITS STAFF OR AUTHORIZED AGENT, TO
RECORD THIS DOCUMENT IN COMPLIANCE WITH ILLINOIS STATUTES CHAPTER 103

DATED: THIS 22ND DAY OF MARCH, A.D. 2018, AT USIE, ILLINOIS.



ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
 LICENSE EXPIRES NOVEMBER 30, 2016.
 ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL
 ENGINEERING CORPORATION NO. 164-001245

CLIENT: FALCON & KENNEY, LTD.

OWNER'S CERTIFICATE

DO HEREBY CERTIFY THAT I AM THE TRUSTEE OF THE KELLEY C. SCHUELER 2023 TRUST, THE OWNER OF THE PROPERTY DESCRIBED HEREON, AND THAT I HAVE CAUSED THE SAID PROPERTY TO BE SURVEYED AND SUBDIVISIONS AS SHOWN HEREON.

TRUSTEE'S SIGNATURE

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)

PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SAID TRUSTEE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED HE/SHE SIGNED THE SAID INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

_____, AD. 20 _____ DAY OF _____

NOTARY PUBLIC

BOARD OF TRUSTEES CERTIFICATE

2

REORDER OF DEEDS CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } HAS

THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE
REORDER OF DEEDS OFFICE OF DUPAGE COUNTY, ILLINOIS ON THE _____
DAY OF _____ A.D. 20____ AT _____ O'CLOCK _____ M.

STAGE OF ENVIRONMENTAL NEEDS

COUNTY CLEANING CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPage } SS

_____, COUNTY CLERK OF DECATUR COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID SPECIAL ASSESSMENTS, NO REDEEMABLE TAX LIABILITIES AGAINST ANY OF THE LAND SHOWN ON THIS LIST.

19. _____ GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____

COUNTY CLERK, DUBUQUE COUNTY, ILLINOIS

VILLAGE ENGINEER'S CERTIFICATE

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF MINSDALE,
COUNTY, ILLINOIS, ON THIS _____ DAY OF _____

VILLAGE ENGINEER

DRAINAGE EASEMENT

TO THE BEST OF KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATER WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT SUCH CHANGES WILL BE MADE BY THE SUBDIVISION, OR THAT SUCH CHANGES HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINAGE SYSTEMS, THE SUBDIVISOR HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES AND STANDARDS SO AS TO REDUCE THE RISK OF DAMAGE TO ADJACENT PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATE: _____ A.D. 20____ DAY OF _____

OWNER OR ATTORNEY _____ ENGINEER _____



MELLIN'S
FOOD


Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 S. Warrenville Road, Uster, IL 60552
Phone: (630) 271-0770
Surveys: (630) 271-0596
Fax: (630) 271-0774
Web site: www.mcewi.com

REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: Second Reading – ACA

SUBJECT: 2018 Bond Issue

MEETING DATE: April 17, 2018

FROM: Darrell Langlois, Assistant Village Manager/Finance Director 

Recommended Motion

Approve an ordinance authorizing the issue of not to exceed \$20,000,000 General Obligation Bonds (Sales Tax Alternate Revenue Source) for the purpose of paying the costs of certain public infrastructure projects in and for the Village.

Background

During the summer of 2017, in response to citizen feedback, the Village Board indicated that they wanted to accelerate the completion of the MIP. Village staff provided a plan to complete the remaining MIP work over the next three construction seasons. The scope of the plan also included a number of necessary infrastructure projects not previously included in the original MIP, as well as the cost of the downtown parking deck. It was expected that the Village would be selling up to \$30 million in bonds over the next three years in order to finance much the acceleration of the MIP work; during the summer of 2017, \$10 million in bonds were sold for the fund the first part of the program.

The Draft FY 2018-19 Budget projected \$15 million in bond proceeds being required to finance the second phase of the accelerated program in FY 2018-19. In reviewing the cost changes associated with the Accelerated MIP, it was the recommendation of the Village Board/Finance Commission sub-committee that all \$20 million in bonds remaining be sold now in order to mitigate against the risk of rising interest rates.

Discussion & Recommendation

Attached is the authorizing bond ordinance prepared by the Village's bond counsel, Chapman and Cutler. As required by State law, the ordinance will be published in its entirety in the *Hinsdalean* on April 26, 2018. The purpose of this ordinance and the related newspaper publication is to provide public notice of the Village's intent to sell bonds, and once published starts the 30 day "backdoor referendum" period whereby petitions signed by 7.5% of the registered voters (estimated at 941) can force the question of whether to issue bonds to a referendum vote. Also on April 26, 2018, we will publish a legal meeting notice for the statutorily required public hearing on whether to issue the bonds that is scheduled to be held on May 15, 2018. The bond schedule contemplates the formal sale of the bonds taking place within 30 days after the public hearing.

Budget Impact

Proceeds from this bond issue will be used to fund the accelerated infrastructure program and downtown parking deck.

Village Board and/or Committee Action

The first reading of this item was held on April 3, 2018 whereby it was the consensus of the Village Board to place this item on the second reading agenda for April 17, 2018

Documents Attached

1. Bond Authorizing Ordinance

ORDINANCE NUMBER _____

AN ORDINANCE authorizing the issuance of General Obligation Bonds (Sales Tax Alternate Revenue Source) of the Village of Hinsdale, DuPage and Cook Counties, Illinois, in the aggregate principal amount of not to exceed \$20,000,000 for certain public infrastructure projects, including, but not limited to, acquiring and constructing improvements to municipal roads and streets, access roads, bridges, and sidewalks; waste disposal systems; and water and sewer line extensions, water distribution and purification facilities, storm water drainage and retention facilities, and sewage treatment facilities and construction of a parking deck structure within the Village.

PREAMBLES

WHEREAS:

A. The Village of Hinsdale, DuPage and Cook Counties, Illinois (the "*Village*"), is a duly organized and existing municipality and unit of local government of the State of Illinois, and is operating under and pursuant to the provisions of the Illinois Municipal Code, and all laws amendatory thereof and supplementary thereto, including the Local Government Debt Reform Act of the State of Illinois, as amended (the "*Reform Act*").

B. The President and Board of Trustees of the Village (the "*Corporate Authorities*") have heretofore determined and do hereby determine that it is necessary and in the best interests of the public health, safety and welfare of the Village to undertake certain public infrastructure projects, including, but not limited to, acquisition and construction of improvements to municipal roads and streets, access roads, bridges, and sidewalks; waste disposal systems; and water and sewer line extensions, water distribution and purification facilities, storm water drainage and retention facilities, and sewage treatment facilities and construction of a parking deck structure; and including, in connection with said improvements, acquisition of all land or rights in land, engineering, planning, architectural, mechanical, electrical, and other services necessary, useful, or advisable thereto and, incidental to said improvements, to pay bond discount, bond interest,

bond reserve account funding, legal, financing, and administrative expense (all of which said acquisition, construction, services and incidental expenses may be referred to as the "*Project*").

C. The total estimated costs of the Project, as defined, are not less than \$20,000,000.

D. There are insufficient funds of the Village on hand and lawfully available to pay costs of the Project.

E. The costs of the Project may be paid by borrowing money and issuing bonds pursuant to the provisions of the Reform Act payable from (i) collections distributed to the Village from those taxes imposed by the State of Illinois (the "*State*") pursuant to the Use Tax Act, the Service Use Tax Act, the Service Occupation Tax Act, the Retailers' Occupation Tax Act, the Non-Home Rule Municipal Retailers' Occupation Tax Act and the Non-Home Rule Municipal Service Occupation Tax Act, each as supplemented and amended from time to time, or substitute taxes therefor as provided by the State in the future (the "*Pledged Revenues*"), and (ii) the levy and collection of ad valorem property taxes upon all taxable property in the Village without limitation as to rate or amount, if the Pledged Revenues shall be insufficient to pay such bonds.

F. The Pledged Revenues are a source of funds, other than enterprise revenues, received or available to be received by the Village and available for any one or more of its corporate purposes, and, as provided in the Reform Act, the Village is authorized to issue its alternate bonds payable from the Pledged Revenues to pay the costs of the Project.

G. It is necessary and in the best interests of the public health, safety and welfare of the Village that the Project be undertaken and, in order to raise the funds required for such purpose, it will be necessary for the Village to borrow an amount not to exceed \$20,000,000 and, in evidence thereof, to issue alternate bonds, all as provided by the Reform Act, in an aggregate principal amount not to exceed \$20,000,000, subject to the right of backdoor referendum as herein provided.

NOW, THEREFORE, Be It And It Is Hereby Ordained by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties, Illinois, as follows:

Section 1. Incorporation of Preambles. The Corporate Authorities hereby find that all of the recitals contained in the preambles to this Ordinance are true, correct, and complete and do incorporate them into this Ordinance by this reference.

Section 2. Determination to Issue Bonds. It is necessary and in the best interests of the public health, safety and welfare of the Village to undertake the Project, all as described above, and that for the purpose of paying the costs of the Project, there are hereby authorized to be issued and sold General Obligation Bonds (Sales Tax Alternate Revenue Source) (the "*Bonds*") in the aggregate principal amount not to exceed \$20,000,000, payable from the Pledged Revenues.

Section 3. Publication. This Ordinance, including the notice in statutory form set forth herein in Section 4 (the "*Notice*"), shall be published by the Corporate Authorities in *The Hinsdalean*, being a newspaper of general circulation in the Village. Electors numbering 941 electors (being equal to the greater of (i) 7.5% of the number of registered voters of the Village or (ii) 200 of those registered voters or 15% of those registered voters, whichever is less) shall have the right to petition that the question of issuing the Bonds be submitted to referendum. The time for filing of any of such petition with the Village Clerk is within thirty (30) days after the date of the publication of this Ordinance and the Notice. If no such petition is filed with respect to the Bonds, then such bonds shall be authorized to be issued, sold, and delivered by the Village. If any such petition meeting the requirements of applicable law is so filed within thirty (30) days after the date of publication of the Notice, the question of the issuance of the Bonds shall be submitted to the electors of the Village at the general election to be held on the 6th day

of November, 2018. Petition forms shall be provided by the Village Clerk to any individual requesting one.

Section 4. Notice. The Corporate Authorities hereby determine that the Notice is in the proper statutory form and is made a part hereof and notice is hereby given as follows:

**NOTICE OF INTENT TO ISSUE GENERAL OBLIGATION BONDS
(SALES TAX ALTERNATE REVENUE SOURCE)
AND RIGHT TO FILE PETITIONS**

NOTICE IS HEREBY GIVEN that pursuant to an Ordinance, numbered _____ (the "*Ordinance*"), and duly adopted by the President and Board of Trustees on the 17th day of April, 2018, the Village of Hinsdale, DuPage and Cook Counties, Illinois (the "*Village*"), intends to issue alternate bonds, designated General Obligation Bonds (Sales Tax Alternate Revenue Source) (the "*Bonds*") in the aggregate principal amount of not to exceed \$20,000,000, for certain public infrastructure projects, including, but not limited to, acquisition and construction of improvements to municipal roads and streets, access roads, bridges, and sidewalks; waste disposal systems; and water and sewer line extensions, water distribution and purification facilities, storm water drainage and retention facilities, and sewage treatment facilities and construction of a parking deck structure within the Village; and including, in connection with said improvements, acquisition of all land or rights in land, engineering, planning, architectural, mechanical, electrical, and other services necessary, useful, or advisable thereto and, incidental to said improvements, to pay bond discount, bond interest, bond reserve account funding, legal, financing, and administrative expense.

The Bonds shall have as the revenue source pledged to the payment of the principal of and interest on the Bonds therefor collections distributed to the Village from those taxes imposed by the State of Illinois (the "*State*") pursuant to the Use Tax Act, the Service Use Tax Act, the Service Occupation Tax Act, the Retailers' Occupation Tax Act, the Non-Home Rule Municipal Retailers' Occupation Tax Act and the Non-Home Rule Municipal Service Occupation Tax Act, each as supplemented and amended from time to time, or substitute taxes therefor as provided by the State in the future; *provided, however*, that if such revenue source shall be insufficient to pay the Bonds, ad valorem property taxes upon all taxable property in the Village without limitation

as to rate or amount are authorized to be levied and extended to pay the principal of and interest on the Bonds.

NOTICE IS HEREBY FURTHER GIVEN that any 941 or more electors of the Village (being equal to the greater of (i) 7.5% of the number of registered voters of the Village or (ii) 200 of those registered voters or 15% of those registered voters, whichever is less) shall have the right to petition that the question of issuing the Bonds be submitted to referendum. The time for the filing of any of such petitions with the Village Clerk is within thirty (30) days after the date of publication of the Ordinance and this Notice. If any such petition meeting the requirements of applicable law is so filed within thirty (30) days after the date of publication of this Notice, the question of the issuance of the Bonds shall be submitted to the electors of the Village at the general election to be held on the 6th day of November, 2018.

A form of petition for such purpose is available to any individual requesting one from the office of the Village Clerk.

Dated this 17th day of April, 2018.

/s/ Christine Bruton
Village Clerk
Village of Hinsdale
DuPage and Cook Counties, Illinois

Section 5. Additional Ordinances. If no petition meeting the requirements of applicable law is filed during the petition period hereinabove referred to, then the Corporate Authorities may adopt additional ordinances or proceedings supplementing or amending this Ordinance providing for the issuance and sale of the Bonds, and prescribing all the details of such bonds, so long as the maximum aggregate principal amount of the Bonds as set forth in this Ordinance is not exceeded, there is no material change in the Project, and as further provided in the Reform Act. Such additional ordinances or proceedings shall in all instances become effective in accordance with law. This Ordinance, together with such additional ordinances or proceedings, shall constitute complete authority for the Village to issue the Bonds in accordance with applicable law.

Section 6. Severability. If any section, paragraph, clause, or provision of this Ordinance shall be held invalid, the invalidity of such section, paragraph, clause, or provision shall not affect any of the other provisions of this Ordinance.

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Section 7. Superseder and Effective Date. All ordinances, resolutions, or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby superseded, and this Ordinance shall be in full force and effect forthwith upon its adoption and approval, as provided by law.

Adopted by the Corporate Authorities on the 17th day of April, 2018.

AYES: _____

NAYS: _____
ABSENT: _____

Approved April 17, 2018.

President
Village of Hinsdale
DuPage and Cook Counties, Illinois

PUBLISHED in *The Hinsdalean* on April __, 2018.

RECORDED in the Village Records on April 17, 2018.

ATTEST:

Village Clerk
Village of Hinsdale
DuPage and Cook Counties, Illinois

[SEAL]

REQUEST FOR BOARD ACTION
Finance

AGENDA SECTION: First Reading – ACA

SUBJECT: FY 2018-19 Annual Performance Budget

MEETING DATE: April 17, 2018

FROM: Darrell Langlois, Assistant Village Manager/Finance Director 

Recommended Motion

Move to Approve the FY 2018-19 Annual Performance Budget

Background

On March 2, 2018, the draft FY 2018-19 Annual Performance Budget was distributed to the Village Board and Finance Commission and was posted on the Village's Website. On March 6, 2018 the draft document was reviewed in detail at a joint Committee-of-the-Whole and Finance Commission meeting.

Discussion & Recommendation

There were no changes to the Budget document based on the joint meeting on March 6, 2018. Thus, staff recommends approval of the document as originally presented. Please note that as it is now approaching the end of the budget year for FY 2017-18, there at least six capital purchases that total approximately \$300,000 that staff assumed would be completed in FY 2017-18 but will carry over to FY 2018-19. In addition to these items, we still are waiting to receive a replacement ambulance (cost is \$212,000) that we still hope will be received by the end of the fiscal year. The timing of these purchases will result in a higher end of year fund balance for the Capital Improvement Account than previously projected, but these funds will be spent very early in FY2018-19. Village staff does not recommend changing the FY 2018-19 Budget document for these timing differences since it is the Appropriations Ordinance that sets the legal spending limit for the Village. These changes will be made at the time the Appropriations Ordinance is considered for approval.

Budget Impact

The FY 2018-19 Annual Performance Budget will be financial plan that the Village operates under for FY 2018-19. The FY 2018-19 Annual Performance Budget will also form the basis for the Appropriations Ordinance, which must be adopted during in the first quarter of the fiscal year, that establishes the legal spending authority of the Village.

Village Board and/or Committee Action

Due to a favorable review at the joint meeting, this item is being place on the agenda for a first reading in order to start the formal Village Board approval process.

Documents Attached

1. None-the FY 2018-19 Annual Performance Budget was previously distributed on March 2, 2018.



REQUEST FOR BOARD ACTION
Administration

AGENDA SECTION: Second Reading/Non Consent – ACA
SUBJECT: Approval of FY 2018-2019 Pay Plan
MEETING DATE: April 17, 2018
FROM: Emily Wagner, Administration Manager

Recommended Motion

Approval of FY 2018-2019 Pay Plan.

Background

Attached please find an updated pay plan for FY 2018-2019 that is aligned with the draft FY 2018-2019 Budget that was presented to the Committee of the Whole and Finance Commission on March 6, 2018. This pay plan assumes a 2.5% across the board adjustment to the minimum and maximum salary ranges for all non-union positions. The 2.5% across the board adjustment is aligned with the salary adjustment effective May 1, 2018, in the agreement between the Village and the Fraternal Order of Police (FOP) that represents Hinsdale's sworn police officers.

Discussion & Recommendation

The following adjustments have been made to the FY 2018-2019 Pay Plan as a means of preparation for any future staffing decisions. Please note that adding these positions to the pay plan **does not** indicate that the position may be filled. Rather, this allows staff some flexibility should staffing models change due to attrition and turnover. Staff will inform the Village Board of any proposed staffing models prior to implementation. Some of these positions may have been included in previous pay plans but were removed when the positions were eliminated.

- Full-time Deputy Village Manager
- Full-time Assistant Village Manager
- Full-time Finance Director
- Full-time Assistant to the Finance Director
- Full-time Assistant to the Public Services Director
- Full-time Assistant to the Fire Chief
- Full-time Assistant to the Police Chief
- Full-time Fire Inspector
- Full-time Economic Development & Communications Specialist
- Part-time Administrative Assistant
- Part-time Administrative Analyst

The salaries for sworn police officers (FOP) are contained in the respective collective bargaining agreement. The FOP contract expires April 30, 2019. The Village is using the

same pay plan format used previously with the Public Services union. As you will recall, the Public Services union decertified in spring of 2017. The pay plan is attached for reference.

Budget Impact

In a memorandum dated January 14, 2018, from Darrell Langlois, Finance Director, to the Finance Commission, applying the 2.5% across the board increase to all full-time employees will equate to a cost increase of approximately \$205,000.

Village Board and/or Committee Action

The Village Board reviewed this item at the April 3, 2018, Village Board meeting.

Documents Attached

1. Proposed FY 2018-2019 Pay Plan: Full-time and part-time employees
2. Pay plans for the Fraternal Order of Police (FOP) and Public Services employees

VILLAGE OF HINSDALE
FY 18/19 PAY SCALE

FULL-TIME EMPLOYEES - 2.5% ACROSS THE BOARD INCREASE

NON-UNION

Classification	Grade	Annual Hours	Exempt from OT	Title	Annual Minimum	Annual Maximum	Hourly Minimum	Hourly Maximum
Management	M145	2080	Y	Deputy Village Manager	\$ 126,067.96	\$ 187,068.59	\$ 60.6096	\$ 89.9368
Management	M140	2080	Y	Assistant Village Manager/ Director of Finance Assistant Village Manager/ Director of Public Safety	\$ 120,064.73	\$178,160.56	\$57.7234	\$85.6541
Management	M135	2080	Y	Assistant Village Manager Finance Director	\$114,062.25	\$169,252.02	\$54.8376	\$81.3712
Management	M130	2080	Y	Director of Community Development/ Building Commissioner Director of Public Services Police Chief Fire Chief Director of Parks & Recreation	\$108,357.64	\$160,789.61	\$52.0950	\$77.3027
Management	M125	2080	Y		\$102,941.21	\$152,750.44	\$49.4910	\$73.4377
Management	M120	2080	Y		\$97,793.46	\$145,113.42	\$47.0161	\$69.7661
Management	M115	2080	Y	Director of Economic Development Village Engineer Administration Manager Human Resources Director Assistant Director of Public Services Deputy Police Chief Deputy Fire Chief	\$92,904.49	\$137,857.33	\$44.6656	\$66.2776
Management	M110	2080	Y	Assistant Fire Chief	\$88,258.12	\$130,964.27	\$42.4318	\$62.9636
Management	M105	2080	Y	Assistant Finance Director Public Services Superintendent Water/Sewer Superintendent Forestry and Parks Superintendent Assistant to the Village Manager/Finance Director/Public Services Director/Fire Chief/Police Chief IT Coordinator Assistant Village Engineer Village Planner	\$80,807.82	\$124,416.43	\$38.8499	\$59.8156
Management	M104	2080	Y	Civil Engineer Parks & Recreation Superintendent	\$66,895.90	\$99,005.93	\$32.16	\$47.60
Management	M103	2080	Y	Management Analyst Accountant	\$60,532.64	\$89,588.29	\$29.1022	\$43.0713
Management	M101	2080	Y	Administrative Services Analyst Human Resources/Payroll Specialist Parks & Recreation Manager	\$51,598.64	\$75,024.10	\$24.8070	\$36.0693

VILLAGE OF HINSDALE
FY 18/19 PAY SCALE

FULL-TIME EMPLOYEES - 2.5% ACROSS THE BOARD INCREASE

NON-UNION

Classification	Grade	Annual Hours	Exempt from OT	Title	Annual Minimum	Annual Maximum	Hourly Minimum	Hourly Maximum
Management	M100	2080	Y	Recreation Supervisor	\$46,907.86	\$68,204.24	\$22.5519	\$32.7905
Supervisory	S205a	2080	N	Police Sergeant	\$77,267.85	\$117,525.08	\$37.1480	\$56.5024
Supervisory	S205b	2764	N	Fire Captain	\$77,267.85	\$117,525.08	\$27.9551	\$42.5199
Supervisory	S200a	2764	N	Fire Lieutenant	\$70,227.90	\$106,817.23	\$25.4081	\$38.6459
Supervisory	S200b	2080	N	Roadway Supervisor Village Forester Village Horticulturist Building Maintenance Supervisor	\$70,227.90	\$106,817.23	\$33.7634	\$51.3544
Non-Management	NM370	1950	N	Deputy Building Commissioner	\$68,988.17	\$104,933.09	\$35.3741	\$53.8118
Non-Management	NM365	1950	N		\$65,838.65	\$100,141.15	\$33.7634	\$51.3544
Non-Management	NM360	1950	N	Plan Reviewer	\$64,695.50	\$98,402.42	\$33.1772	\$50.4628
Non-Management	NM355	2764	N	Firefighter/Paramedic	\$64,986.36	\$97,747.99	\$23.5117	\$35.3647
Non-Management	NM350	1950	N	Code Enforcement Officer Fire Inspector	\$60,924.71	\$91,638.74	\$31.2434	\$46.9942
Non-Management	NM345	1950	N	Economic Development & Communications Specialist	\$57,395.33	\$83,453.01	\$29.4335	\$42.7964
Non-Management	NM340	1950	N		\$56,168.73	\$81,669.54	\$28.8045	\$41.8818
Non-Management	NM335	1950	N	Village Clerk/Executive Assistant	\$54,300.12	\$78,952.58	\$27.8462	\$40.4885
Non-Management	NM330	1950	N		\$52,222.76	\$75,932.07	\$26.7809	\$38.9395
Non-Management	NM325	1950	N		\$49,737.14	\$72,317.98	\$25.5062	\$37.0861
Non-Management	NM320	1950	N	Economic Development/Finance Clerk Administrative Services Coordinator	\$46,907.86	\$68,204.24	\$24.0553	\$34.9765
Non-Management	NM315	1950	N	Secretary Account Clerk Records Clerk	\$44,877.54	\$65,252.13	\$23.0141	\$33.4626
Non-Management	NM310	1950	N		\$42,291.96	\$61,492.64	\$21.6882	\$31.5347
Non-Management	NM305	1950	N		\$40,933.06	\$59,405.87	\$20.9913	\$30.4646
Non-Management	NM304	1950	N	Parks & Recreation Coordinator	\$39,729.00	\$57,607.05	\$20.3738	\$29.5421
Non-Management	NM300	1950	N		\$38,256.63	\$55,625.29	\$19.6188	\$28.5258

**VILLAGE OF HINSDALE
FY 18/19 PAY SCALE
PERMANENT PART-TIME EMPLOYEES**

Non-Management	NM 1	KLM Hosts	\$11.09	\$16.65
Non-Management	NM 2	Parking Enforcement Officer	\$12.44	\$19.24
Non-Management	NM 3	IT Assistant Broadcasting Technician KLM Assistant Manager	\$14.72	\$22.63
Non-Management	NM 4	Records Clerk Cashier/Receptionist Administrative Assistant Secretary Finance Clerk Investigations Assistant Community Services Officer I Administrative Intern	\$16.97	\$26.04
Non-Management	NM 5	Community Services Officer II	\$19.56	\$29.93
Non-Management	NM 6	KLM Manager*	\$21.50	\$32.82
Non-Management	NM 7	Account Clerk/Data Clerk Administrative Analyst Economic Development Coordinator	\$22.63	\$33.95
Non-Management	NM 8	Building Inspector	\$28.29	\$43.01
Non-Management		Fire Inspector		
Non-Management		Investigative Aide		
Non-Management		Code Enforcement Officer		
Non-Management		Engineering Inspector		
Non-Management		Accreditation Manager		
Non-Management		Accountant		
Management	M1	Administration Manager	\$38.48	\$57.71

**PUBLIC SERVICES
WAGE SCHEDULE
FY 2018-2019**

FY 18/19 Public Services Pay Plan															
							1-May-18								
Water/Sewer Supervisor	\$65,695.87	\$67,502.51	\$69,358.83	\$71,266.20	\$73,226.02	\$75,239.73	\$77,308.83	\$79,434.82	\$81,619.28	\$83,863.81	\$86,170.06	\$88,539.74	\$90,974.58	\$93,476.38	\$96,046.98
Lead Water Operator	\$58,780.52	\$60,396.98	\$62,057.90	\$63,764.49	\$65,518.02	\$67,319.76	\$69,171.06	\$71,073.26	\$73,027.77	\$75,036.04	\$77,099.53	\$79,219.77	\$81,398.31	\$83,636.76	\$85,936.77
Mechanic/Elec Maint Mech	\$58,671.79	\$60,285.26	\$61,943.11	\$63,646.54	\$65,396.82	\$67,195.23	\$69,043.10	\$70,941.79	\$72,892.69	\$74,897.24	\$76,956.91	\$79,073.23	\$81,247.74	\$83,482.05	\$85,777.81
Crew Leader	\$54,431.24	\$55,928.10	\$57,466.12	\$59,046.44	\$60,670.22	\$62,338.65	\$64,052.96	\$65,814.42	\$67,624.31	\$69,483.98	\$71,394.79	\$73,358.15	\$75,375.50	\$77,448.32	\$79,578.15
Crew Workers	\$50,386.41	\$51,772.04	\$53,195.77	\$54,658.65	\$56,161.76	\$57,706.21	\$59,293.13	\$60,923.69	\$62,599.09	\$64,320.57	\$66,089.39	\$67,906.84	\$69,774.28	\$71,693.07	\$73,664.63
PT Mechanics Helper (hourly)	\$16.97	\$17.44	\$17.92	\$18.41	\$18.92	\$19.44	\$19.97	\$20.52	\$21.09	\$21.67	\$22.26	\$22.88	\$23.51	\$24.15	\$24.82
PT Crew Worker (hourly)	\$16.97	\$17.44	\$17.92	\$18.41	\$18.92	\$19.44	\$19.97	\$20.52	\$21.09	\$21.67	\$22.26	\$22.88	\$23.51	\$24.15	\$24.82

The contractual grievance and arbitration procedure shall be the sole recourse for appealing such disciplinary action and shall be in lieu of the provisions of the Board of Fire and Police Commissioners Act and disciplinary proceedings before the Board of Fire and Police Commissioners. The parties recognize that the Village of Hinsdale Board of Fire and Police Commissioners no longer have any authority to impose disciplinary action on bargaining unit police officers, or to review the imposition of such discipline by the Chief, and the Union hereby voluntary waives the rights of bargaining unit members to appeal disciplinary actions before the Board of Fire and Police Commissioners.

File records of oral and written reprimands shall be expunged two (2) years after the date of the reprimand. File records of suspensions shall be expunged five (5) years after the date the suspension was served.

ARTICLE XXIX - SHIFT EXCHANGE

With the permission of the Police Chief or his designee and pursuant to existing Department practice, officers may exchange daily shifts and/or shift cycles when such schedule change does not in any manner interfere with the overall operation of the Police Department. Moreover, permission to occasionally exchange daily shifts and occasionally exchange a shift cycle remains within the discretion of management but shall not be unreasonably denied in contravention of past practice.

ARTICLE XXX - WAGE RATES

Pay Steps	5/1/2016	5/1/2017	5/1/2018
Start	\$64,309.98	\$65,596.18	\$67,236.08
A	\$67,527.06	\$68,877.60	\$70,599.54
B	\$70,904.28	\$72,322.37	\$74,130.42
C	\$74,580.36	\$76,071.97	\$77,973.77
D	\$78,310.50	\$79,876.71	\$81,873.63

E	\$82,148.76	\$83,791.74	\$85,886.53
F	\$90,826.92	\$92,643.46	\$94,959.54
G	\$93,370.80	\$95,238.22	\$97,619.17
Performance Max.	\$96,731.70	\$98,666.33	\$101,132.99

The performance step increase will be based on the annual performance evaluation score of the employee and shall be paid according to the following table:

Performance Increase Eligibility 7 Point Scale	
Evaluation Score	Performance Increase
4.00	2.00%
4.10	2.25%
4.20	2.50%
4.30	2.75%
4.40	3.00%
4.50	3.25%
4.60	3.50%
4.70	3.60%

Employees that have been at step G for a period of one year or more as of April 30, 2008, shall receive the performance increase on May 1, 2008, based on their most recent performance evaluation.

Upon ratification of this Agreement, the rate of pay for positions in the Village of Hinsdale Police Department covered by this Agreement, paid in bi-weekly installments, shall be as designated in the above table of pay.

Salary adjustment within established ranges shall not be automatic but shall be dependent upon the employee's ability, performance, attitude, willingness, cooperation, and value to the Village.

All employees' performance and salaries will be reviewed annually by the Village Manager and police department management. This review will be made on or before the employee's employment, or most recent promotion, anniversary date.

Public Services & Engineering

AGENDA SECTION: Second Read – EPS
SUBJECT: 2018 South Infrastructure Project Construction Contract - Updated
MEETING DATE: April 17, 2018
FROM: Dan Deeter, PE Village Engineer

Recommended Motion

Award the contract for construction of the 2018 South Infrastructure Project (with Alternate #1, Hinsdale Ave Replaced in Concrete), to G & M Cement Construction (Addison, IL) in the amount not to exceed \$ 6,649,391.37.

Background

As part of the accelerated Master Infrastructure Plan, the Village's engineering consultant provided bid documents for the 2018 South Infrastructure Project starting March 15, 2018. Bids were opened on March 29, 2018. The bids received were reviewed by the Village's consulting engineer. The lowest bidder, G&M Cement Construction, had erroneously omitted the cost of the rain garden line item. Their proposed rain garden price is comparable with John Neri Construction, the contractor who constructed the rain gardens for the Woodlands Phases 2 and 3. John Neri Construction's submitted bid included minor addition errors. The revised bids are summarized below:

	Base Bid	Alt. 1	Alt 2
• Engineer's Estimate	\$8,001,679.00	\$8,807,864.00	\$8,371,459.50
• G & M Cement Const.	\$6,213,390.02	\$6,649,391.37	\$6,544,684.67
• Orange Crush, LLC	\$6,776,435.90	\$7,229,955.80	\$7,081,923.80
• A Lamp Const.	\$6,787,070.95	\$7,243,147.30	\$7,119,207.60
• Glenbrook Excavation Inc	\$7,044,600.60	\$7,552,615.60	\$7,409,543.20
• John Neri Construction	\$7,182,171.45	\$7,670,441.45	\$7,530,208.20
• Martam Construction	\$9,129,834.46	\$9,651,930.69	\$9,480,008.66

Alternate 1 includes the base bid and reconstruction of Hinsdale Avenue from Monroe St to Grant St in Portland Cement Concrete (PCC) pavement. Alternate 2 includes the base bid and reconstruction of Hinsdale Avenue from Monroe to Grant Streets in Hot-Mix Asphalt (HMA) pavement.

The engineer's recommendation and bid summary will be provided in Attachments 2 and 3, once returned from our engineering consultant. The bids are based upon estimated quantities. Final payouts will be dependent upon actual work done.

Discussion & Recommendation

The lowest responsible bidder for the 2018 South Infrastructure Project is G & M Cement Construction. G & M Cement Construction has successfully worked in the Village of Hinsdale on the following projects:

- 2008 50/50 Sidewalk Program

Due to staff's limited familiarity with G & M Cement Construction, staff requested GSG Consultants, the Village's engineering consultant, contact G & M Cement Construction's references. These references included the Villages of Western Springs, Addison, and Burbank; and the York Township Highway Department. The largest project among the references was approximately \$2.5M. GSG Consultants asked about G & M Cement Construction's quality of work, ability to meet the projects' completion date and bid, and consideration for residents' needs/concerns. GSG Consultants received positive responses from all the references. G & M Cement Construction has stated they have the resources (men, material, and equipment) to successfully complete this project. Staff recommends awarding the bid to G & M Cement Construction.

As previously mentioned, the bids included alternatives for reconstructing Hinsdale Avenue from Monroe St to Grant St in PCC pavement (alt. 1) and HMA pavement (alt. 2). G & M Cement Construction's PCC pavement costs are very competitive. They are approximately \$105,000 more than the HMA pavement costs. However, in a 50-year life cycle cost analysis, the additional \$105,000 for PCC will be more than offset by the need to resurface the HMA pavement on average every 15 years.

	PCC Costs	HMA Costs
• PCC/HMA construction difference	\$ 436,000	\$ 331,300
• Year 1-15 Misc. PCC Maintenance	\$ 50,000	
• Year 15 HMA Resurfacing		\$ 236,000
• Year 16-30 Misc. PCC Maintenance	\$ 50,000	
• Year 30 HMA Resurfacing		\$ 236,000
• Year 31-45 Misc. PCC Maintenance	\$ 50,000	
• Year 45 HMA Resurfacing		\$ 236,000
• Total 50-year Life Cycle Cost:	\$ 586,000	\$1,039,300

Therefore, staff recommends awarding alternate 1 bid to G & M Cement Construction.

Budget Impact

There are sufficient resources in the FY2018-19 budget to fund the costs of the 2018 South Infrastructure Project.

Village Board and/or Committee Action

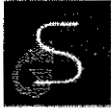
At the April 3, 2018 Board of Trustee meeting, the Board approved the item to be moved to the Second Read Agenda.

Documents Attached

1. 2018 South Infrastructure Streets to be Improved
2. GSG Consultants' recommendation letter
3. Bid Summary
4. 2018 South Infrastructure Project contract documents

EXHIBIT A – 2018 South Infrastructure Project

<u>Locations</u>	<u>From/To</u>	<u>Activity</u>
• 57 th Street	Madison to Grant	Resurface
• 59 th Street	Grant to Garfield	Resurface
• Adams Street	Chestnut to South End	Concrete patching
• Bruner Street	Fourth to Sixth	Resurface
• Bruner Street	Eighth to South End	Resurface
• Chicago Avenue	Garfield to County Line	WM, Stm Swr, Reconstruct
• County Line Road	47 th to Sixth	WM, Resurfacing
• Eighth Place	Madison to East End	Stm Swr, Resurface
• Eighth Street	Bruner to Bodin	Stm Swr, Reconstruct
• Eighth Street	Monroe to Madison	Resurface
• Elm Street	Fourth to Sixth	WM, Stm Swr, Reconstruct
• Elm Street	Eighth to Ninth Court	Resurface
• Hinsdale Avenue	Jackson to Stough	Reconstruct
• W. Hinsdale Station Parking Lot		Resurface
• Hinsdale Avenue	Monroe to Grant	Reconstruct
• Intersection	First & Orchard	Brick resurfacing
• Intersection	First & Oak	Brick resurfacing
• Jackson Street	Sixth to South End	Resurface
• Lincoln Street	Fifth to Eighth	San Swr lining
• Madison Street	Ninth to 55 th	Resurface
• Maple Street	Stough to Adams	Resurface
• Ninth Court	Park to Elm	WM, Resurface
• Ninth Street	Elm to County Line	Resurface
• Oak Street	Ninth to South End	Resurface
• Park Avenue	Eighth to Ninth	Reconstruct
• Park Avenue	Ninth to Ninth Ct.	Resurface
• Quincy Street	Stough to Maple	Rain garden
• Quincy Street	Chestnut to Town Place	Reconstruct south half
• Robbins Park Lot	Seventh & Vine	Resurface
• Seventh Street	Stough to Quincy	Concrete patching
• Stough Street	Eighth to Ninth	San Swr lining



GSG CONSULTANTS, INC.

Engineers, Scientists & Construction Managers

623 Cooper Court
Schaumburg, IL 60173
630-994-2600
Integrity | Quality | Reliability

April 3, 2018

Mr. Dan Deeter
Village of Hinsdale
19 E. Chicago Ave
Hinsdale, IL 60521

**RE: 2018 South Infrastructure Project
Recommendation of Bid Award**

Dear Mr. Deeter,

We have reviewed all of the bids that were read aloud at the bid opening on Thursday, March 29th, 2018 at 10:00 A.M. in the Villages conference room.

G & M Cement Construction, Inc. provided a Base Bid of \$6,198,634.01 and an Alternate 1 Bid of \$436,001.35, however upon checking their math and their bid, we noticed they had missed the rain garden line item. The actual bid amount for the Base Bid is \$6,213,390.02 and the Alternate 1 bid of \$436,001.35 did not change. The total for the Base Bid and Alternate 1 Bid is \$6,649,391.37. The G & M Cement Construction, Inc. bid was less than the Engineers Opinion of Probable cost.

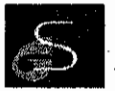
We have also checked with the following agencies, which were provided as references, Village of Addison, Village of Western Springs, City of Burbank and York Township Highway Department. All of the references indicated they were satisfied with the work performed by G & M Cement Construction, Inc. and none of them had any resident complaints. All of the references indicated the work was completed on time also.

We therefore recommend awarding the contract to G & M Cement Construction, Inc. for \$6,649,391.37.

If you have any questions or need any additional information, please contact me at (630) 994-2635 or email me at wcussen@gsg-consultants.com.

Sincerely,
GSG Consultants, Inc.

William J. Cussen, P.E., LEED AP, ENV SP
Civil Design Manager



GSG CONSULTANTS, INC.
Engineers, Scientists & Construction Managers
623 Copper Court
Schramburg, IL 60173
PH 630.994.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BID DATE: MARCH 29, 2018

ENGINEERS OPINION OF PROBABLE COST		G & M CEMENT CONSTRUCTION INC. LOWEST BIDDER		ORANGE CRUSH LLC		ALAMP CONCRETE CONTRACTORS, INC.	
UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
\$25.00	\$500.00	\$30.00	\$600.00	\$30.00	\$600.00	\$30.80	\$616.00
\$35.00	\$1,750.00	\$30.00	\$1,500.00	\$32.00	\$1,600.00	\$33.00	\$1,650.00
\$3.00	\$22,638.00	\$3.55	\$28,363.55	\$3.10	\$25,089.00	\$1.00	\$7,545.00
\$110.00	\$21,678.00	\$80.00	\$11,820.00	\$75.00	\$14,775.00	\$75.00	\$14,775.00
\$2.00	\$1,006.00	\$0.01	\$6.55	\$26.00	\$24,776.00	\$1.00	\$956.00
\$35.00	\$324,285.00	\$38.00	\$348,802.00	\$35.00	\$321,265.00	\$34.00	\$312,086.00
\$35.00	\$124,145.00	\$20.00	\$70,940.00	\$27.00	\$65,766.00	\$20.00	\$70,940.00
\$36.00	\$102,332.00	\$20.00	\$56,840.00	\$32.00	\$60,944.00	\$20.00	\$56,840.00
\$40.00	\$260,846.00	\$0.01	\$6.27	\$32.00	\$200,672.00	\$29.00	\$161,966.00
\$17.474.00		\$1.00	\$8,737.00	\$1.10	\$9,610.70	\$1.00	\$9,737.00
\$5.00	\$67,070.00	\$3.00	\$58,242.00	\$5.35	\$103,854.00	\$1.00	\$19,414.00
\$5,000.00	\$5,000.00	\$2,500.00	\$2,500.00	\$2,035.00	\$2,035.00	\$3,500.00	\$3,500.00
\$7,200.00	\$7,200.00	\$2,500.00	\$2,500.00	\$3,850.00	\$3,850.00	\$5,000.00	\$5,000.00
\$160.00	\$16,160.00	\$100.00	\$10,100.00	\$215.00	\$21,500.00	\$15.00	\$1,500.00
\$11.00	\$34,182.00	\$8.85	\$25,773.70	\$8.75	\$74,917.50	\$8.15	\$96,730.50
\$13.00	\$79,300.00	\$12.00	\$73,200.00	\$11.75	\$71,875.00	\$11.60	\$70,780.00
\$26.00	\$1,650.00	\$20.00	\$1,200.00	\$18.40	\$694.00	\$1.00	\$80.00
\$1.25	\$29,787.50	\$0.01	\$238.30	\$0.01	\$238.30	\$0.01	\$238.30
\$83.00	\$87,231.00	\$71.00	\$76,047.00	\$65.00	\$68,705.00	\$74.50	\$78,746.50
\$9.00	\$9,306.00	\$5.95	\$6,152.00	\$8.60	\$8,826.40	\$8.00	\$8,272.00
\$67.00	\$76,306.00	\$63.75	\$71,846.25	\$58.00	\$65,308.00	\$67.50	\$70,012.50
\$75.00	\$31,330.00	\$69.50	\$67,351.00	\$60.00	\$60,000.00	\$69.50	\$70,515.00
\$65.00	\$72,710.00	\$43.00	\$43,658.00	\$45.00	\$38,928.00	\$47.80	\$41,819.80
\$60.00	\$6,460.00	\$47.00	\$4,627.00	\$50.00	\$5,000.00	\$54.00	\$5,400.00
\$7.50	\$38,740.00	\$5.25	\$38,598.00	\$5.65	\$84,134.60	\$6.00	\$68,112.00
\$33.00	\$23,496.00	\$25.00	\$17,900.00	\$28.00	\$18,512.00	\$20.00	\$14,400.00
\$15.00	\$34,140.00	\$11.55	\$28,280.15	\$9.35	\$22,824.70	\$8.50	\$18,377.00
\$2.00	\$100,772.00	\$2.30	\$115,847.00	\$2.30	\$3,588.80	\$2.25	\$1,139.50
\$11.00	\$47,014.00	\$12.50	\$53,425.00	\$12.30	\$52,370.00	\$9.00	\$38,466.00
\$5.00	\$105,205.00	\$5.25	\$110,485.25	\$9.15	\$156,829.15	\$3.45	\$72,591.45
\$2.00	\$23,452.00	\$1.25	\$14,667.50	\$1.35	\$15,880.10	\$1.20	\$14,071.20
\$85.00	\$6,095.00	\$100.00	\$10,000.00	\$126.00	\$17,814.00	\$75.00	\$10,425.00
\$90.00	\$450.00	\$80.00	\$8,000.00	\$126.00	\$3,860.00	\$100.00	\$600.00
\$95.00	\$950.00	\$80.00	\$8,000.00	\$118.00	\$11,800.00	\$100.00	\$1,000.00
\$85.00	\$78,748.00	\$50.00	\$48,350.00	\$96.00	\$98,085.00	\$78.30	\$77,584.10
\$70.00	\$3,900.00	\$10.00	\$570.00	\$90.00	\$5,190.00	\$100.00	\$5,700.00
\$66.00	\$37,752.00	\$10.00	\$5,720.00	\$73.00	\$41,756.00	\$52.00	\$29,744.00
\$57.00	\$20,748.00	\$10.00	\$3,640.00	\$65.00	\$23,860.00	\$67.00	\$24,388.00
\$50.00	\$432,400.00	\$10.00	\$86,480.00	\$60.00	\$318,520.00	\$40.00	\$345,840.00
\$5.00	\$420.00	\$16.35	\$1,373.40	\$5.35	\$440.40	\$6.00	\$504.00
\$5.00	\$100.00	\$16.35	\$327.00	\$5.35	\$107.00	\$6.00	\$120.00
\$7.50	\$687.50	\$17.45	\$2,251.05	\$5.35	\$890.15	\$7.00	\$903.00
\$10.00	\$270.00	\$17.45	\$348.00	\$5.35	\$107.00	\$7.00	\$140.00
\$300.00	\$300.00	\$256.00	\$256.00	\$345.00	\$345.00	\$242.00	\$242.00
\$325.00	\$450.00	\$400.00	\$800.00	\$455.00	\$910.00	\$360.00	\$720.00
\$425.00	\$425.00	\$410.00	\$410.00	\$480.00	\$480.00	\$382.00	\$382.00
\$500.00	\$5,000.00	\$480.00	\$7,880.00	\$615.00	\$9,840.00	\$437.00	\$6,957.00
\$575.00	\$5,750.00	\$550.00	\$5,500.00	\$640.00	\$6,400.00	\$486.00	\$4,860.00
\$65.00	\$8,190.00	\$91.00	\$11,766.00	\$64.00	\$9,064.00	\$62.00	\$7,812.00
\$65.00	\$24,700.00	\$95.00	\$39,500.00	\$70.00	\$28,000.00	\$51.00	\$19,350.00
\$91.00	\$363,380.00	\$91.00	\$446,629.00	\$77.00	\$364,164.00	\$76.00	\$389,044.00
\$325.00	\$6975.00	\$250.00	\$750.00	\$320.00	\$960.00	\$230.00	\$690.00
\$360.00	\$1,080.00	\$270.00	\$810.00	\$350.00	\$1,050.00	\$254.00	\$762.00
\$6,500.00	\$65,000.00	\$6,200.00	\$62,000.00	\$6,900.00	\$6,900.00	\$5,995.00	\$5,995.00
\$8,500.00	\$25,500.00	\$7,250.00	\$21,750.00	\$7,915.00	\$23,745.00	\$6,525.00	\$20,475.00
\$8,500.00	\$25,500.00	\$7,880.00	\$23,580.00	\$8,875.00	\$26,625.00	\$7,500.00	\$22,500.00
\$300.00	\$900.00	\$225.00	\$675.00	\$215.00	\$645.00	\$215.00	\$645.00
\$350.00	\$1,400.00	\$300.00	\$1,200.00	\$270.00	\$1,080.00	\$280.00	\$1,120.00
\$350.00	\$1,400.00	\$320.00	\$1,280.00	\$320.00	\$320.00	\$295.00	\$1,180.00
\$250.00	\$250.00	\$161.00	\$161.00	\$200.00	\$200.00	\$156.00	\$156.00
\$328.00	\$975.00	\$320.00	\$1,024.00	\$320.00	\$320.00	\$221.00	\$683.00
\$350.00	\$1,750.00	\$330.00	\$1,650.00	\$330.00	\$1,650.00	\$342.00	\$1,710.00
\$800.00	\$8,000.00	\$850.00	\$8,500.00	\$800.00	\$8,000.00	\$250.00	\$1,000.00
\$5,500.00	\$55,000.00	\$5,400.00	\$54,000.00	\$5,895.00	\$107,730.00	\$5,850.00	\$107,100.00
\$4,000.00	\$4,000.00	\$3,000.00	\$3,000.00	\$4,065.00	\$32,520.00	\$3,103.00	\$24,824.00
\$3,200.00	\$25,600.00	\$3,200.00	\$25,600.00	\$5,135.00	\$41,080.00	\$6,000.00	\$48,000.00
\$8,000.00	\$8,000.00	\$4,800.00	\$4,800.00	\$7,700.00	\$7,700.00	\$7,900.00	\$7,900.00
\$1,250.00	\$1,250.00	\$1,750.00	\$1,750.00	\$1,604.00	\$1,604.00	\$1,600.00	\$1,600.00
\$1,000.00	\$1,000.00	\$1,750.00	\$1,750.00	\$1,495.00	\$1,495.00	\$1,600.00	\$1,600.00
\$1,500.00	\$15,000.00	\$1,800.00	\$21,600.00	\$1,711.00	\$20,532.00	\$1,800.00	\$18,000.00

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY
1	20100110	TREE REMOVAL (6 TO 15 UNITS DIAMETER)	UNIT	20
2	20100210	TREE REMOVAL (OVER 15 UNITS DIAMETER)	UNIT	50
3	20101000	TEMPORARY FENCE	FOOT	7545
4	20101200	TREE ROOT PRUNING	EACH	197
5	20101700	SUPPLEMENTAL WATERING	UNIT	953
6	20200100	EARTH EXCAVATION	CU YD	8179
7	20201200	REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL	CU YD	3547
8	20700220	POROUS GRANULAR EMBANKMENT	CU YD	2642
9	20800150	TRENCH BACKFILL	CU YD	6271
10	21001000	GEOTECHNICAL FABRIC FOR GROUND STABILIZATION	SQ YD	8737
11	21101615	TOPSOIL FURNISH AND PLACE, 4"	SQ YD	19414
12	25000100	SEEDING, CLASS 1	ACRE	1
13	25100125	MULCH, METHOD 3	ACRE	1
14	28000510	INLET FILTERS	EACH	101
15	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	8562
16	35102400	AGGREGATE BASE COURSE, TYPE B 12"	SQ YD	6100
17	40201000	AGGREGATE FOR TEMPORARY ACCESS	TON	80
18	40600275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	23830
19	40600925	LEVELING BINDER (MACHINE METHOD), N50	TON	1057
20	40800982	HOT-MIX ASPHALT SURFACE REMOVAL - BUTT JOINT	SQ YD	1034
21	40803080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	1127
22	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	6818
23	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	8562
24	42300200	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ YD	1141
25	42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5 INCH	SQ FT	11352
26	42400800	DETECTABLE WARNINGS	SQ FT	712
27	44000100	PAVEMENT REMOVAL	SQ YD	22762
28	44000156	HOT-MIX ASPHALT SURFACE REMOVAL, 1 3/4"	SQ YD	50386
29	44000200	DRIVEWAY PAVEMENT REMOVAL	SQ YD	4274
30	44000500	COMBINATION CURB AND GUTTER REMOVAL	FOOT	21041
31	44000600	SIDEWALK REMOVAL	SQ FT	11726
32	44200826	CLASS B PATCHES, TYPE IV, 7 INCH	SQ YD	139
33	44200970	CLASS B PATCHES, TYPE II, 10 INCH	SQ YD	5
34	44200974	CLASS B PATCHES, TYPE III, 10 INCH	SQ YD	10
35	44200976	CLASS B PATCHES, TYPE IV, 10 INCH	SQ YD	927
36	44201761	CLASS D PATCHES, TYPE I, 10 INCH	SQ YD	57
37	44201765	CLASS D PATCHES, TYPE II, 10 INCH	SQ YD	572
38	44201769	CLASS D PATCHES, TYPE III, 10 INCH	SQ YD	364
39	44201771	CLASS D PATCHES, TYPE IV, 10 INCH	SQ YD	8642
40	55100300	STORM SEWER REMOVAL 6"	FOOT	84
41	55100400	STORM SEWER REMOVAL 10"	FOOT	20
42	55100500	STORM SEWER REMOVAL 12"	FOOT	129
43	55100800	STORM SEWER REMOVAL 18"	FOOT	20
44	55100003	DUCTILE IRON WATER MAIN TEE, 4" X 4"	EACH	1
45	55100005	DUCTILE IRON WATER MAIN TEE, 6" X 6"	EACH	2
46	55100010	DUCTILE IRON WATER MAIN TEE, 8" X 4"	EACH	1
47	55100015	DUCTILE IRON WATER MAIN TEE, 8" X 6"	EACH	16
48	55100020	DUCTILE IRON WATER MAIN TEE, 8" X 8"	EACH	10
49	55100500	WATER MAIN 4"	FOOT	126
50	55100800	WATER MAIN 6"	FOOT	380
51	55100700	WATER MAIN 8"	FOOT	5119
52	55101148	DUCTILE IRON WATER MAIN REDUCER, 8" X 4"	EACH	3
53	55101150	DUCTILE IRON WATER MAIN REDUCER, 8" X 6"	EACH	3
54	55105430	INSERTING VALVES 4"	EACH	1
55	55105500	INSERTING VALVES 6"	EACH	3
56	55105600	INSERTING VALVES 8"	EACH	3
57	55109398	DUCTILE IRON WATER MAIN FITTINGS 6" 11.25 DEGREE BEND	EACH	3
58	55109400	DUCTILE IRON WATER MAIN FITTINGS 8" 11.25 DEGREE BEND	EACH	4
59	55109408	DUCTILE IRON WATER MAIN FITTINGS 6" 22.50 DEGREE BEND	EACH	1
60	55109416	DUCTILE IRON WATER MAIN FITTINGS 4" 45.00 DEGREE BEND	EACH	1
61	55109418	DUCTILE IRON WATER MAIN FITTINGS 6" 45.00 DEGREE BEND	EACH	3
62	55109420	DUCTILE IRON WATER MAIN FITTINGS 8" 45.00 DEGREE BEND	EACH	49
63	56400500	FIRE HYDRANTS TO BE REMOVED	EACH	4
64	56400820	FIRE HYDRANT WITH AUXILIARY VALVE AND VALVE BOX	EACH	18
65	60201105	CATCH BASINS, TYPE A, 4'-DIAMETER, TYPE 11 FRAME AND GRATE	EACH	8
66	60218400	MANHOLES, TYPE A, 4'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	8
67	60223800	MANHOLES, TYPE A, 6'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	1
68	60234200	INLETS, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	1
69	60236200	INLETS, TYPE A, TYPE 8 GRATE	EACH	1
70	60236800	INLETS, TYPE A, TYPE 11 FRAME AND GRATE	EACH	12



GSG CONSULTANTS, INC.
Engineering, Surveying & Construction Management
623 Cooper Court
Schenectady, NY 12303
PH 518.594.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BID DATE: MARCH 28, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY	ENGINEERS OPINION OF PROBABLE COST		G & M CEMENT CONSTRUCTION INC. LOWEST BIDDER		ORANGE CRUSH LLC		ALAMP CONCRETE CONTRACTORS, INC.	
					UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
71	60252700	INLETS TO BE RECONSTRUCTED	EACH	17	\$600.00	\$10,200.00	\$425.00	\$7,225.00	\$320.00	\$5,440.00	\$800.00	\$13,600.00
72	60404800	FRAMES AND GRATES, TYPE 11	EACH	84	\$500.00	\$42,000.00	\$370.00	\$31,080.00	\$480.00	\$40,320.00	\$441.00	\$36,981.00
73	60404805	FRAMES AND GRATES, TYPE 11V	EACH	10	\$500.00	\$5,000.00	\$370.00	\$3,700.00	\$480.00	\$4,800.00	\$441.00	\$4,410.00
74	60406000	FRAMES AND LIDS, TYPE 1, OPEN LID	EACH	8	\$400.00	\$3,200.00	\$290.00	\$2,320.00	\$375.00	\$3,000.00	\$330.00	\$2,640.00
75	60406100	FRAMES AND LIDS, TYPE 1, CLOSED LID	EACH	86	\$430.00	\$36,880.00	\$290.00	\$24,940.00	\$375.00	\$32,250.00	\$330.00	\$28,380.00
76	60500360	REMOVING INLETS	EACH	4	\$300.00	\$1,200.00	\$190.00	\$760.00	\$215.00	\$860.00	\$109.00	\$436.00
77	60603800	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12	FOOT	8198	\$25.00	\$204,950.00	\$18.00	\$147,564.00	\$17.65	\$144,994.70	\$20.75	\$170,709.50
78	60604400	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18	FOOT	4171	\$35.00	\$146,085.00	\$21.00	\$87,591.00	\$22.00	\$91,782.00	\$23.95	\$99,478.35
79	63000901	STEEL PLATE BEAM GUARDRAIL, TYPE A, 6 FOOT POSTS	FOOT	185	\$32.00	\$5,936.00	\$42.00	\$7,770.00	\$44.00	\$8,140.00	\$46.25	\$8,546.25
80	63100941	TRAFFIC BARRIER TERMINAL, TYPE 1B	EACH	1	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$1,925.00	\$1,925.00	\$2,000.00	\$2,000.00
81	63200310	GUARDRAIL REMOVAL	FOOT	195	\$15.00	\$2,925.00	\$10.00	\$1,950.00	\$5.35	\$1,042.65	\$10.00	\$1,950.00
82	67100100	MOBILIZATION	L SUM	1	\$125,000.00	\$125,000.00	\$362,000.00	\$362,000.00	\$168,500.00	\$168,500.00	\$400,000.00	\$400,000.00
83	78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	228	\$7.50	\$1,710.00	\$3.95	\$900.60	\$4.25	\$969.00	\$4.55	\$1,037.40
84	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	2580	\$2.00	\$5,160.00	\$0.89	\$2,296.20	\$0.95	\$2,448.00	\$1.50	\$3,870.00
85	78000400	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	674	\$2.00	\$1,348.00	\$1.22	\$823.28	\$1.40	\$943.60	\$2.25	\$1,504.50
86	78000500	THERMOPLASTIC PAVEMENT MARKING - LINE 8"	FOOT	114	\$2.50	\$285.00	\$1.78	\$202.92	\$1.90	\$216.60	\$3.00	\$342.00
87	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	446	\$8.00	\$3,568.00	\$3.95	\$1,761.70	\$4.25	\$1,885.50	\$9.05	\$4,035.30
88	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	508	\$10.00	\$5,080.00	\$13.50	\$6,858.00	\$14.45	\$7,340.60	\$11.00	\$5,588.00
89	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	535	\$15.00	\$8,025.00	\$22.10	\$11,823.50	\$26.65	\$14,257.75	\$22.00	\$11,770.00
90	88600600	DETECTOR LOOP REPLACEMENT	FOOT	100	\$32.00	\$3,200.00	\$25.00	\$2,500.00	\$37.00	\$3,700.00	\$25.40	\$2,540.00
91	550B0050	STORM SEWERS, CLASS B, TYPE 1 12"	FOOT	140	\$105.00	\$14,700.00	\$100.00	\$14,000.00	\$66.00	\$9,240.00	\$77.00	\$10,780.00
92	550B0330	STORM SEWERS, CLASS B, TYPE 2 10"	FOOT	122	\$70.00	\$8,540.00	\$100.00	\$12,200.00	\$64.00	\$7,808.00	\$76.00	\$9,272.00
93	550B0340	STORM SEWERS, CLASS B, TYPE 2 12"	FOOT	196	\$90.00	\$17,640.00	\$100.00	\$19,600.00	\$69.00	\$13,524.00	\$77.00	\$15,052.00
94	550B0360	STORM SEWERS, CLASS B, TYPE 2 15"	FOOT	138	\$125.00	\$17,250.00	\$115.00	\$15,870.00	\$72.00	\$9,936.00	\$168.00	\$23,184.00
95	550B0380	STORM SEWERS, CLASS B, TYPE 2 18"	FOOT	95	\$150.00	\$14,250.00	\$120.00	\$11,400.00	\$77.00	\$7,315.00	\$168.00	\$15,960.00
96	550B0410	STORM SEWERS, CLASS B, TYPE 2 24"	FOOT	186	\$175.00	\$32,550.00	\$142.00	\$26,412.00	\$85.00	\$15,780.00	\$231.00	\$43,346.00
97	550B0680	STORM SEWERS, CLASS B, TYPE 3 18"	FOOT	358	\$200.00	\$71,600.00	\$125.00	\$44,750.00	\$87.00	\$30,921.00	\$188.00	\$67,084.00
98	550B0710	STORM SEWERS, CLASS B, TYPE 3 24"	FOOT	172	\$225.00	\$38,700.00	\$158.00	\$27,176.00	\$156.00	\$26,832.00	\$231.00	\$39,732.00
99	550B0980	STORM SEWERS, CLASS B, TYPE 4 18"	FOOT	184	\$225.00	\$41,400.00	\$135.00	\$24,810.00	\$128.00	\$23,552.00	\$183.00	\$33,672.00
100	550B1010	STORM SEWERS, CLASS B, TYPE 4 24"	FOOT	311	\$250.00	\$77,750.00	\$160.00	\$49,760.00	\$176.00	\$54,736.00	\$231.00	\$71,841.00
101	VOH1	STONE PAVEMENT AND SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	132	\$15.00	\$1,980.00	\$12.00	\$1,584.00	\$43.00	\$5,676.00	\$43.00	\$5,676.00
102	VOH10	COMBINATION CONCRETE CURB AND GUTTER, TYPE M-3.12 (MODIFIED)	FOOT	6059	\$23.00	\$139,357.00	\$17.00	\$103,003.00	\$17.65	\$106,841.35	\$21.00	\$127,239.00
103	VOH12	4" VALVE IN VAULT	EACH	2	\$5,500.00	\$11,000.00	\$2,800.00	\$5,600.00	\$3,425.00	\$6,850.00	\$2,858.00	\$5,716.00
104	VOH13	6" VALVE IN VAULT	EACH	2	\$4,500.00	\$9,000.00	\$8,400.00	\$16,800.00	\$3,745.00	\$7,490.00	\$3,000.00	\$6,000.00
105	VOH14	8" VALVE IN VAULT	EACH	18	\$4,750.00	\$85,500.00	\$3,420.00	\$61,560.00	\$4,490.00	\$80,820.00	\$4,140.00	\$74,520.00
106	VOH16	BRICK SIDEWALK REMOVAL AND REPLACEMENT	SQ FT	312	\$18.00	\$5,616.00	\$10.00	\$3,120.00	\$19.25	\$6,006.00	\$19.50	\$6,084.00
107	VOH17	REMOVE AND REINSTALL LIGHT POLE	EACH	1	\$6,000.00	\$6,000.00	\$12,000.00	\$12,000.00	\$8,000.00	\$8,000.00	\$11,720.00	\$11,720.00
108	VOH2	PORTLAND CEMENT CONCRETE SURFACE REMOVAL, VARIABLE DEPTH	SQ YD	790	\$4.00	\$3,160.00	\$4.00	\$3,160.00	\$3.50	\$2,765.00	\$3.75	\$2,962.50
109	VOH20	TELEVISION EXISTING SANITARY SERVICES	EACH	100	\$475.00	\$47,500.00	\$210.00	\$21,000.00	\$475.00	\$47,500.00	\$300.00	\$30,000.00
110	VOH23	CASING, 16 INCH	FOOT	200	\$100.00	\$20,000.00	\$67.00	\$13,400.00	\$100.00	\$20,000.00	\$96.00	\$19,200.00
111	VOH3	STAMPED COLORED PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT, 6 INCH	SQ FT	241	\$35.00	\$8,435.00	\$15.00	\$3,615.00	\$16.00	\$3,856.00	\$20.00	\$4,820.00
112	VOH32	PORTLAND CEMENT CONCRETE SIDEWALK 5", WITH RETAINING WALL	SQ FT	502	\$25.00	\$12,550.00	\$11.00	\$5,522.00	\$11.75	\$5,889.50	\$13.00	\$6,526.00
113	VOH33	COMMERCIAL HMA DRIVEWAY PAVEMENT	SQ YD	13	\$50.00	\$650.00	\$30.00	\$390.00	\$68.00	\$884.00	\$40.00	\$520.00
114	VOH35	COMMERCIAL PCC DRIVEWAY PAVEMENT	SQ YD	743	\$85.00	\$63,155.00	\$57.00	\$42,351.00	\$60.00	\$44,580.00	\$87.00	\$64,731.00
115	VOH36	PCC DRIVEWAY PAVEMENT WITH INTEGRAL CURB	SQ YD	15	\$110.00	\$1,650.00	\$65.00	\$975.00	\$70.00	\$1,050.00	\$58.00	\$870.00
116	VOH37	REMOVE AND REINSTALL SIGN	EACH	14	\$200.00	\$2,800.00	\$200.00	\$2,800.00	\$310.00	\$4,340.00	\$200.00	\$2,800.00
117	VOH38	SEGMENTAL BLOCK RETAINING WALL REPAIR	SQ FT	44	\$50.00	\$2,200.00	\$50.00	\$2,200.00	\$53.00	\$2,332.00	\$45.00	\$1,980.00
118	VOH4	BRICK DRIVEWAY PAVEMENT REMOVAL AND REPLACEMENT	SQ FT	4496	\$15.00	\$67,440.00	\$10.00	\$44,960.00	\$14.00	\$62,944.00	\$14.00	\$62,944.00
119	VOH40	DRAIN CONNECTIONS	EACH	32	\$750.00	\$24,000.00	\$210.00	\$6,720.00	\$900.00	\$28,800.00	\$200.00	\$6,400.00
120	VOH41	ADJUSTING WATER SERVICE LINES	EACH	100	\$150.00	\$15,000.00	\$63.00	\$6,300.00	\$21.00	\$2,100.00	\$35.00	\$3,500.00
121	VOH43	BRICK INTERSECTION LEVELING	SQ FT	5840	\$26.00	\$151,840.00	\$9.00	\$52,560.00	\$11.75	\$68,620.00	\$13.00	\$75,920.00
122	VOH44	RAIN GARDEN	L SUM	1	\$35,000.00	\$35,000.00	\$21,500.00	\$21,500.00	\$13,800.00	\$13,800.00	\$15,000.00	\$15,000.00
123	VOH45	BACKFLOW PREVENTER, 24"	EACH	1	\$1,000.00	\$1,000.00	\$6,800.00	\$6,800.00	\$14,800.00	\$14,800.00	\$13,000.00	\$13,000.00
124	VOH47	CASING, 8"	FOOT	40	\$110.00	\$4,400.00	\$70.00	\$2,800.00	\$80.00	\$3,200.00	\$50.00	\$2,000.00
125	VOH48	DUCTILE IRON WATER MAIN FITTINGS, 4" 11.25 DEGREE BEND	EACH	1	\$110.00	\$110.00	\$200.00	\$200.00	\$270.00	\$270.00	\$154.00	\$154.00
126	VOH49	REMOVE AND REPLACE SANITARY SEWER, 12"	FOOT	174	\$100.00	\$17,400.00	\$170.00	\$29,580.00	\$125.00	\$21,750.00	\$17.50	\$3,037.50
127	VOH5	TRAFFIC CONTROL AND PROTECTION	L SUM	1	\$200,000.00	\$200,000.00	\$363,000.00	\$363,000.00	\$51,540.00	\$51,540.00	\$378,000.00	\$378,000.00
128	VOH51	REMOVE AND REINSTALL BRICK PAVEMENT	SQ FT	798	\$28.00	\$22,344.00	\$10.00	\$7,980.00	\$17.00	\$13,566.00	\$17.50	\$13,962.50
129	VOH54	TIMBER RETAINING WALL REMOVE AND REPLACE	SQ FT	1290	\$26.00	\$33,540.00	\$22.00	\$28,380.00	\$40.35	\$52,051.50	\$30.00	\$38,700.00
130	VOH55	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.18 (MODIFIED)	FOOT	1303	\$35.00	\$45,605.00	\$21.00	\$27,363.00	\$22.00	\$28,666.00	\$25.00	\$32,575.00
131	VOH6	CCCDILUST TESTING, MANAGEMENT, & COMPLIANCE	L SUM	1	\$25,000.00	\$25,000.00	\$13,000.00	\$13,000.00	\$64,000.00	\$64,000.00	\$15,000.00	\$15,000.00
132	VOH7	CCCD MATERIALS MANAGEMENT ALLOWANCE	L SUM	1	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00
133	VOH8	PIPE UNDERDRAINS 8"	FOOT	44	\$25.00	\$1,100.00	\$40.00	\$1,760.00	\$54.00	\$2,376.00	\$65.00	\$2,860.00
134	VOH9	COMBINATION CONCRETE CURB AND GUTTER, TYPE B-6.12 (MODIFIED)	FOOT	3943	\$25.00	\$98,575.00	\$18.00	\$70,974.00	\$17.85	\$69,593.95	\$21.00	\$82,803.00
135	X0327123	CURED-IN-PLACE PIPE LINER, 8"	FOOT	892	\$65.00	\$58,080.00	\$45.00	\$40,140.00	\$37.00	\$33,149.00	\$39.00	\$34,983.00
136	X0327762	RAILROAD FLAGGER	L SUM	1	\$99,000.00	\$99,000.00	\$5,500.00	\$5,500.00	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00
137	X0327765	CURED-IN-PLACE PIPE LINER, 12"	FOOT	45	\$70.00	\$3,150.00	\$67.00	\$3,015.00	\$70.00	\$3,150.00	\$63.00	\$2,835.00
138	X0327766	CURED-IN-PLACE PIPE LINER, 15"	FOOT	1287	\$76.00	\$97,812.00	\$68.00	\$87,516.00	\$70.00	\$90,090.00	\$63.00	\$81,081.00
139	X1200015	VALVE VAULTS TO BE ABANDONED	EACH	11	\$375.00	\$4,125.00	\$400.00	\$4,400.00	\$375.00	\$4,125.00	\$250.00	\$2,750.00
140	X2520700	SODDING, SPECIAL	SQ YD	19414	\$15.00	\$291,210.00	\$3.00	\$58,242.00	\$8.00	\$155,312.00	\$6.25	\$121,337.50
141	X5810700	WATER MAIN REMOVAL	FOOT	10	\$10.00	\$100.00	\$22.00	\$220.00	\$21.00	\$210.00	\$1.00	\$10.00



GSG CONSULTANTS, INC.
Geotechnical, Electrical & Construction Managers
623 Cooper Court
Schauenburg, IL 60178
PH 630.994.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BID DATE: MARCH 28, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY	ENGINEERS OPINION OF PROBABLE COST		G & M CEMENT CONSTRUCTION, INC. LOWEST BIDDER		ORANGE CRUSH LLC		ALAMP CONCRETE CONTRACTORS, INC.	
					UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
142	X5610744	WATER MAIN LINE STOP 4"	EACH	8	\$3,000.00	\$24,000.00	\$3,000.00	\$24,000.00	\$3,500.00	\$28,000.00	\$2,000.00	\$16,000.00
143	X5610746	WATER MAIN LINE STOP 6"	EACH	5	\$3,750.00	\$18,750.00	\$4,000.00	\$20,000.00	\$4,000.00	\$20,000.00	\$2,200.00	\$11,000.00
144	X5610748	WATER MAIN LINE STOP 8"	EACH	7	\$4,000.00	\$28,000.00	\$4,300.00	\$30,100.00	\$4,480.00	\$31,360.00	\$3,000.00	\$21,000.00
145	X5610750	WATER MAIN LINE STOP 10"	EACH	1	\$5,250.00	\$5,250.00	\$5,700.00	\$5,700.00	\$6,630.00	\$6,630.00	\$3,500.00	\$3,500.00
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	22	\$2,500.00	\$55,000.00	\$2,100.00	\$46,200.00	\$2,565.00	\$56,430.00	\$2,325.00	\$51,150.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	25	\$3,200.00	\$80,000.00	\$4,050.00	\$101,250.00	\$3,200.00	\$80,000.00	\$3,010.00	\$75,250.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	12	\$1,200.00	\$14,400.00	\$735.00	\$8,820.00	\$865.00	\$10,380.00	\$1,500.00	\$18,000.00
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	2	\$1,300.00	\$2,600.00	\$850.00	\$1,700.00	\$865.00	\$1,730.00	\$1,500.00	\$3,000.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	1	\$1,500.00	\$1,500.00	\$900.00	\$900.00	\$1,070.00	\$1,070.00	\$1,500.00	\$1,500.00
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	4	\$2,400.00	\$9,600.00	\$3,600.00	\$14,400.00	\$2,245.00	\$8,980.00	\$3,800.00	\$15,200.00
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	1	\$2,600.00	\$2,600.00	\$3,600.00	\$3,600.00	\$2,500.00	\$2,500.00	\$3,800.00	\$3,800.00
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	8	\$3,000.00	\$24,000.00	\$3,700.00	\$29,600.00	\$2,900.00	\$23,200.00	\$3,800.00	\$30,400.00
154	X6028932	VALVE BOXES TO BE REMOVED	EACH	7	\$180.00	\$1,260.00	\$240.00	\$1,680.00	\$160.00	\$1,120.00	\$100.00	\$700.00
155	XX000300	CONCRETE STEPS	SQ FT	23	\$65.00	\$1,495.00	\$30.00	\$690.00	\$27.00	\$621.00	\$45.00	\$1,035.00
156	XX004699	SANITARY SERVICE TO BE ADJUSTED	EACH	109	\$275.00	\$29,975.00	\$130.00	\$14,170.00	\$135.00	\$14,715.00	\$130.00	\$14,170.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT-CONCRETE SIDEWALK, 5 INCH	SQ FT	32	\$20.00	\$640.00	\$15.00	\$480.00	\$18.00	\$576.00	\$30.00	\$960.00
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	2	\$250.00	\$500.00	\$300.00	\$600.00	\$535.00	\$1,070.00	\$800.00	\$1,600.00
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	1670	\$45.00	\$75,150.00	\$26.00	\$43,420.00	\$41.00	\$68,870.00	\$32.00	\$53,440.00
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	1	\$45,000.00	\$45,000.00	\$65,000.00	\$65,000.00	\$41,870.00	\$41,870.00	\$42,000.00	\$42,000.00
161	Z0017406	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	151	\$300.00	\$45,300.00	\$400.00	\$60,400.00	\$320.00	\$48,320.00	\$100.00	\$15,100.00
162	Z0017706	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	75	\$1,200.00	\$90,000.00	\$700.00	\$52,500.00	\$1,335.00	\$100,125.00	\$1,000.00	\$75,000.00
163	Z0018530	DRAINAGE STRUCTURES TO BE CLEANED	EACH	25	\$250.00	\$6,250.00	\$225.00	\$5,625.00	\$320.00	\$8,000.00	\$350.00	\$8,750.00
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	1	\$5,000.00	\$5,000.00	\$5,400.00	\$5,400.00	\$5,135.00	\$5,135.00	\$5,830.00	\$5,830.00
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	1	\$4,500.00	\$4,500.00	\$5,300.00	\$5,300.00	\$5,135.00	\$5,135.00	\$5,735.00	\$5,735.00
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	1	\$6,000.00	\$6,000.00	\$5,800.00	\$5,800.00	\$5,800.00	\$5,800.00	\$6,300.00	\$6,300.00
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	3	\$6,500.00	\$19,500.00	\$6,000.00	\$18,000.00	\$6,630.00	\$19,890.00	\$6,500.00	\$19,500.00
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	1	\$9,800.00	\$9,800.00	\$9,000.00	\$9,000.00	\$9,800.00	\$9,800.00	\$8,825.00	\$8,825.00
169	Z0045695	RAILROAD PROTECTIVE LIABILITY INSURANCE	L SUM	1	\$10,000.00	\$10,000.00	\$15,000.00	\$15,000.00	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00
170	Z0059604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	10	\$80.00	\$800.00	\$100.00	\$1,000.00	\$58.00	\$580.00	\$85.00	\$850.00
171	Z0059808	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	10	\$71.00	\$710.00	\$120.00	\$1,200.00	\$70.00	\$700.00	\$85.00	\$850.00
172	Z0059808	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	45	\$80.00	\$3,600.00	\$120.00	\$5,400.00	\$88.00	\$3,960.00	\$115.00	\$5,175.00
173	Z0059810	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	10	\$120.00	\$1,200.00	\$135.00	\$1,350.00	\$120.00	\$1,200.00	\$130.00	\$1,300.00
174	Z0059812	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	40	\$145.00	\$5,800.00	\$140.00	\$5,600.00	\$155.00	\$6,200.00	\$140.00	\$5,600.00
175	550B9940	STORM SEWERS, CLASS B, TYPE 4 12"	FOOT	18	\$225.00	\$4,050.00	\$140.00	\$2,520.00	\$107.00	\$1,926.00	\$205.00	\$3,690.00
176	VOH26	REMOVE AND REPLACE SANITARY SEWER, 15"	FOOT	295	\$120.00	\$35,400.00	\$180.00	\$53,100.00	\$158.00	\$46,620.00	\$205.00	\$60,475.00
CALCULATED TOTAL					\$8,001,679.00		\$6,213,390.02		\$6,776,435.90		\$6,787,070.95	
AS-READ TOTAL					N/A		\$6,198,634.01		\$6,776,435.90		\$6,787,070.95	

CALCD BY: A.F.
CHECKED BY: BK

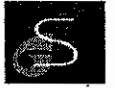
HIGHLIGHTED CELLS DENOTE DISCREPANCIES BETWEEN VALUES PROVIDED IN BID PROPOSALS AS SUBMITTED, AND VALUES CALCULATED FROM BID PROPOSALS AS REVIEWED



GSG CONSULTANTS, INC.
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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BIO DATE: MARCH 29, 2018

GLENBROOK EXCAVATING & CONCRETE, INC.			JOHN NERI CONSTRUCTION CO., INC.			MARTAM CONSTRUCTION INC		
UNIT PRICE	TOTAL		UNIT PRICE	TOTAL		UNIT PRICE	TOTAL	
\$40.00	\$800.00		\$35.00	\$700.00		\$44.00	\$880.00	
\$90.00	\$3,000.00		\$38.00	\$1,800.00		\$66.00	\$3,300.00	
\$6.00	\$45,270.00		\$3.25	\$24,521.25		\$4.95	\$37,347.75	
\$80.00	\$15,760.00		\$95.00	\$16,715.00		\$88.00	\$17,336.00	
\$1.00	\$953.00		\$1.00	\$953.00		\$27.50	\$26,207.50	
\$40.00	\$367,160.00		\$38.00	\$348,802.00		\$40.10	\$368,077.90	
\$35.00	\$124,145.00		\$36.00	\$127,692.00		\$45.32	\$160,790.04	
\$45.00	\$127,988.00		\$38.00	\$107,988.00		\$41.89	\$119,035.58	
\$19.00	\$181,146.00		\$40.00	\$250,840.00		\$56.25	\$311,555.75	
\$2.00	\$17,474.00		\$2.00	\$17,474.00		\$1.98	\$17,286.26	
\$4.00	\$77,656.00		\$6.00	\$116,484.00		\$5.50	\$106,777.00	
\$4,000.00	\$4,000.00		\$4,500.00	\$4,500.00		\$2,090.00	\$2,090.00	
\$4,000.00	\$4,000.00		\$4,500.00	\$4,500.00		\$3,960.00	\$3,960.00	
\$150.00	\$15,150.00		\$150.00	\$15,150.00		\$192.50	\$19,442.50	
\$12.00	\$102,744.00		\$8.50	\$72,771.00		\$9.08	\$77,742.96	
\$15.00	\$91,500.00		\$13.00	\$79,300.00		\$15.04	\$61,744.00	
\$120.00	\$7,200.00		\$15.00	\$900.00		\$31.85	\$1,911.00	
\$0.01	\$238.30		\$0.25	\$5,957.50		\$0.99	\$23,594.70	
\$71.00	\$75,047.00		\$76.00	\$80,332.00		\$75.65	\$79,862.05	
\$5.95	\$6,152.30		\$9.00	\$9,306.00		\$7.18	\$7,424.12	
\$63.75	\$71,842.25		\$70.00	\$79,880.00		\$71.79	\$80,907.51	
\$69.50	\$473,861.00		\$72.50	\$494,305.00		\$74.55	\$508,281.00	
\$46.00	\$393,852.00		\$54.00	\$462,148.00		\$54.47	\$466,372.14	
\$55.30	\$63,067.30		\$60.00	\$68,400.00		\$61.89	\$476,516.40	
\$6.75	\$79,626.00		\$6.75	\$79,626.00		\$7.33	\$63,210.16	
\$35.00	\$24,920.00		\$33.00	\$23,496.00		\$33.59	\$23,915.08	
\$8.00	\$182,096.00		\$15.00	\$341,430.00		\$10.82	\$248,284.94	
\$2.30	\$115,887.80		\$2.70	\$139,042.20		\$1.93	\$97,244.96	
\$10.00	\$42,740.00		\$14.00	\$59,836.00		\$11.75	\$50,219.50	
\$6.00	\$126,246.00		\$4.00	\$84,164.00		\$9.40	\$139,682.40	
\$2.00	\$23,452.00		\$2.00	\$23,452.00		\$2.12	\$24,869.12	
\$85.00	\$11,815.00		\$86.00	\$11,954.00		\$121.00	\$16,819.00	
\$170.00	\$850.00		\$125.00	\$625.00		\$182.85	\$914.25	
\$130.00	\$1,300.00		\$100.00	\$1,000.00		\$189.25	\$1,892.50	
\$90.00	\$83,430.00		\$85.00	\$78,795.00		\$129.00	\$119,583.00	
\$50.00	\$2,850.00		\$60.00	\$3,420.00		\$109.33	\$6,231.81	
\$45.00	\$25,740.00		\$50.00	\$28,600.00		\$99.47	\$56,896.84	
\$41.00	\$14,924.00		\$48.00	\$17,472.00		\$93.57	\$34,095.48	
\$40.00	\$345,680.00		\$46.00	\$397,532.00		\$75.36	\$651,291.12	
\$15.00	\$1,260.00		\$5.00	\$420.00		\$32.60	\$2,739.40	
\$19.00	\$380.00		\$6.00	\$120.00		\$32.60	\$652.00	
\$20.00	\$500.00		\$5.00	\$100.00		\$32.60	\$4,205.40	
\$25.00	\$500.00		\$5.00	\$100.00		\$32.60	\$652.00	
\$390.00	\$9,280.00		\$325.00	\$8,500.00		\$559.84	\$658.94	
\$509.00	\$1,018.00		\$425.00	\$850.00		\$674.98	\$1,349.96	
\$510.00	\$510.00		\$450.00	\$450.00		\$698.02	\$698.02	
\$580.00	\$9,200.00		\$575.00	\$9,200.00		\$750.17	\$12,002.72	
\$610.00	\$6,100.00		\$600.00	\$6,000.00		\$807.89	\$8,078.90	
\$100.00	\$12,600.00		\$60.00	\$7,560.00		\$82.93	\$10,449.18	
\$80.00	\$30,400.00		\$65.00	\$24,700.00		\$86.31	\$32,797.80	
\$89.00	\$455,611.00		\$72.00	\$368,368.00		\$79.88	\$408,005.72	
\$375.00	\$1,125.00		\$300.00	\$900.00		\$394.33	\$1,182.99	
\$400.00	\$1,200.00		\$325.00	\$975.00		\$416.53	\$1,249.59	
\$7,500.00	\$7,500.00		\$6,500.00	\$6,500.00		\$7,448.22	\$7,448.22	
\$8,500.00	\$28,500.00		\$7,400.00	\$22,200.00		\$9,300.73	\$27,902.16	
\$8,500.00	\$28,500.00		\$8,300.00	\$24,900.00		\$10,318.84	\$30,958.52	
\$360.00	\$1,080.00		\$200.00	\$600.00		\$696.59	\$2,089.77	
\$425.00	\$1,700.00		\$299.00	\$1,196.00		\$758.85	\$3,034.80	
\$430.00	\$430.00		\$300.00	\$300.00		\$772.07	\$772.07	
\$305.00	\$305.00		\$200.00	\$200.00		\$688.89	\$688.89	
\$375.00	\$1,125.00		\$250.00	\$750.00		\$703.25	\$2,109.75	
\$450.00	\$22,050.00		\$300.00	\$14,700.00		\$775.38	\$37,993.62	
\$475.00	\$1,900.00		\$750.00	\$3,000.00		\$1,379.58	\$5,518.32	
\$5,500.00	\$99,000.00		\$5,600.00	\$100,800.00		\$8,319.26	\$151,748.68	
\$3,500.00	\$28,000.00		\$3,800.00	\$30,400.00		\$3,167.98	\$25,343.92	
\$5,500.00	\$44,000.00		\$4,600.00	\$36,800.00		\$3,499.83	\$27,998.64	
\$6,000.00	\$6,000.00		\$7,200.00	\$7,200.00		\$6,086.22	\$6,086.22	
\$1,500.00	\$1,500.00		\$1,500.00	\$1,500.00		\$1,074.57	\$1,074.57	
\$1,400.00	\$1,400.00		\$1,400.00	\$1,400.00		\$975.79	\$975.79	
\$1,800.00	\$21,600.00		\$1,600.00	\$19,200.00		\$1,189.88	\$14,278.56	



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BID DATE: MARCH 29, 2018

GLENBROOK EXCAVATING & CONCRETE, INC.		JOHN NERI CONSTRUCTION CO., INC.		MARTAM CONSTRUCTION INC	
UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
\$500.00	\$6,500.00	\$300.00	\$5,100.00	\$978.08	\$16,627.36
\$330.00	\$3,300.00	\$450.00	\$4,500.00	\$466.72	\$4,667.20
\$330.00	\$3,300.00	\$450.00	\$4,500.00	\$466.72	\$4,667.20
\$250.00	\$2,500.00	\$390.00	\$3,120.00	\$351.30	\$2,810.40
\$250.00	\$2,500.00	\$350.00	\$3,010.00	\$351.30	\$3,021.18
\$350.00	\$1,400.00	\$200.00	\$800.00	\$499.05	\$1,996.20
\$21.00	\$172,158.00	\$22.50	\$184,455.00	\$23.00	\$188,559.00
\$22.50	\$163,847.50	\$24.00	\$100,104.00	\$26.00	\$108,445.00
\$25.00	\$4,975.00	\$50.00	\$9,750.00	\$49.09	\$9,749.05
\$5,000.00	\$5,000.00	\$2,100.00	\$2,142.51	\$2,142.51	\$2,142.51
\$10.00	\$1,350.00	\$12.00	\$2,340.00	\$5.95	\$1,160.25
\$350,000.00	\$350,000.00	\$250,000.00	\$250,000.00	\$590,000.00	\$590,000.00
\$4.11	\$937.08	\$5.00	\$1,140.00	\$4.52	\$1,030.56
\$1.37	\$4,671.60	\$1.75	\$4,690.00	\$1.51	\$4,045.80
\$2.06	\$1,398.44	\$2.75	\$1,853.50	\$2.27	\$1,529.58
\$2.74	\$312.36	\$3.50	\$399.00	\$3.01	\$343.14
\$8.22	\$3,666.72	\$10.00	\$4,460.00	\$9.04	\$4,031.84
\$10.00	\$5,080.00	\$11.50	\$5,842.00	\$11.00	\$5,588.00
\$20.00	\$18,700.00	\$22.00	\$11,770.00	\$22.00	\$11,770.00
\$23.10	\$2,310.00	\$42.00	\$4,200.00	\$37.50	\$3,750.00
\$50.00	\$7,000.00	\$62.00	\$8,680.00	\$70.00	\$9,800.00
\$65.00	\$7,930.00	\$80.00	\$9,760.00	\$71.35	\$8,704.70
\$60.00	\$11,760.00	\$65.00	\$12,740.00	\$64.73	\$12,697.08
\$110.00	\$14,850.00	\$98.00	\$13,224.00	\$98.49	\$13,591.02
\$85.00	\$8,075.00	\$72.00	\$6,840.00	\$108.61	\$10,327.95
\$100.00	\$10,600.00	\$80.00	\$8,480.00	\$104.03	\$11,268.98
\$90.00	\$32,040.00	\$82.00	\$29,184.00	\$122.44	\$43,588.64
\$120.00	\$20,640.00	\$145.00	\$24,940.00	\$119.96	\$20,615.92
\$100.00	\$18,400.00	\$120.00	\$22,080.00	\$146.78	\$26,997.52
\$120.00	\$37,320.00	\$165.00	\$51,315.00	\$175.46	\$54,568.06
\$10.30	\$1,359.60	\$16.00	\$2,112.00	\$33.92	\$4,477.44
\$19.50	\$157,131.00	\$22.50	\$181,305.00	\$31.23	\$159,622.67
\$3,200.00	\$6,400.00	\$3,200.00	\$6,400.00	\$4,432.47	\$8,864.94
\$3,500.00	\$7,000.00	\$3,500.00	\$7,000.00	\$4,543.45	\$9,086.90
\$3,800.00	\$68,400.00	\$4,200.00	\$75,600.00	\$6,238.01	\$112,284.18
\$19.25	\$6,006.00	\$15.00	\$4,680.00	\$18.00	\$5,616.00
\$10,700.00	\$10,700.00	\$5,500.00	\$5,500.00	\$5,372.52	\$5,372.52
\$4.00	\$3,160.00	\$6.00	\$4,740.00	\$16.00	\$12,640.00
\$550.00	\$55,000.00	\$300.00	\$30,000.00	\$489.50	\$48,950.00
\$100.00	\$20,000.00	\$95.00	\$19,000.00	\$167.71	\$33,542.00
\$27.50	\$6,622.50	\$32.00	\$7,712.00	\$35.67	\$8,596.47
\$15.50	\$7,781.00	\$22.00	\$11,044.00	\$26.50	\$13,303.00
\$36.75	\$477.75	\$75.00	\$975.00	\$44.18	\$574.34
\$68.50	\$50,895.50	\$78.00	\$57,954.00	\$101.74	\$75,582.82
\$102.50	\$1,537.50	\$130.00	\$1,950.00	\$127.93	\$1,918.95
\$175.00	\$2,450.00	\$400.00	\$5,600.00	\$220.00	\$3,080.00
\$13.25	\$583.00	\$80.00	\$3,520.00	\$56.00	\$2,480.00
\$10.25	\$46,084.00	\$15.00	\$67,470.00	\$18.00	\$80,968.00
\$1,000.00	\$32,000.00	\$850.00	\$27,200.00	\$1,560.82	\$48,899.84
\$170.00	\$18,530.00	\$1.00	\$100.00	\$328.03	\$35,803.00
\$11.00	\$64,240.00	\$18.00	\$105,120.00	\$19.80	\$115,632.00
\$75,000.00	\$75,000.00	\$21,500.00	\$21,500.00	\$14,080.00	\$14,080.00
\$15,000.00	\$15,000.00	\$13,800.00	\$13,800.00	\$12,054.01	\$12,054.01
\$75.00	\$3,000.00	\$75.00	\$3,000.00	\$185.08	\$7,403.20
\$305.00	\$305.00	\$250.00	\$250.00	\$311.75	\$311.75
\$125.00	\$21,750.00	\$115.00	\$20,010.00	\$179.41	\$31,217.54
\$145,000.00	\$145,000.00	\$40,000.00	\$40,000.00	\$378,730.77	\$378,730.77
\$10.25	\$8,179.50	\$16.00	\$12,768.00	\$18.00	\$14,364.00
\$50.00	\$64,500.00	\$65.00	\$83,850.00	\$41.80	\$53,922.00
\$22.50	\$29,317.50	\$23.00	\$30,069.00	\$33.77	\$43,902.31
\$20,000.00	\$20,000.00	\$15,000.00	\$15,000.00	\$13,805.00	\$13,805.00
\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00	\$60,000.00
\$50.00	\$2,200.00	\$50.00	\$2,200.00	\$97.40	\$4,285.60
\$20.00	\$78,860.00	\$21.50	\$84,774.50	\$24.00	\$94,632.00
\$27.50	\$16,280.00	\$35.00	\$20,720.00	\$48.40	\$28,452.80
\$10,000.00	\$10,000.00	\$25,000.00	\$25,000.00	\$22,000.00	\$22,000.00
\$30.00	\$1,350.00	\$60.00	\$2,700.00	\$173.80	\$7,821.00
\$47.00	\$60,499.00	\$56.00	\$72,072.00	\$56.10	\$72,000.70
\$500.00	\$5,000.00	\$350.00	\$3,850.00	\$1,341.30	\$14,754.30
\$6.00	\$116,484.00	\$12.00	\$232,968.00	\$8.25	\$160,165.50
\$50.00	\$500.00	\$20.00	\$200.00	\$130.41	\$1,304.10



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VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
BASE BID
BID DATE: MARCH 29, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY	GLENBROOK EXCAVATING & CONCRETE, INC.		JOHN NERI CONSTRUCTION CO., INC.		MARTAM CONSTRUCTION INC	
					UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
142	X5610744	WATER MAIN LINE STOP 4"	EACH	6	\$5,500.00	\$33,000.00	\$3,250.00	\$19,500.00	\$5,330.72	\$31,984.32
143	X5610746	WATER MAIN LINE STOP 8"	EACH	5	\$6,000.00	\$30,000.00	\$3,800.00	\$19,000.00	\$5,770.73	\$28,855.65
144	X5610748	WATER MAIN LINE STOP 8"	EACH	7	\$6,500.00	\$45,500.00	\$4,200.00	\$29,400.00	\$8,265.72	\$58,300.04
145	X5610750	WATER MAIN LINE STOP 10"	EACH	1	\$7,000.00	\$7,000.00	\$8,200.00	\$8,200.00	\$7,420.72	\$7,420.72
146	X5620102	WATER SERVICE REPLACEMENT, 1.5" - SHORT	EACH	22	\$2,850.00	\$62,700.00	\$2,400.00	\$52,800.00	\$2,488.50	\$54,764.00
147	X5620104	WATER SERVICE REPLACEMENT, 1.5" - LONG	EACH	25	\$4,250.00	\$106,250.00	\$3,000.00	\$75,000.00	\$3,548.08	\$88,702.00
148	X5630004	CUT AND CAP EXISTING 4" WATER MAIN	EACH	12	\$850.00	\$10,200.00	\$800.00	\$9,600.00	\$730.86	\$8,770.32
149	X5630006	CUT AND CAP EXISTING 6" WATER MAIN	EACH	2	\$850.00	\$1,700.00	\$900.00	\$1,800.00	\$920.50	\$1,841.00
150	X5630008	CUT AND CAP EXISTING 8" WATER MAIN	EACH	1	\$800.00	\$800.00	\$1,000.00	\$1,000.00	\$1,125.71	\$1,125.71
151	X5630704	CONNECTION TO EXISTING WATER MAIN 4"	EACH	4	\$3,150.00	\$12,600.00	\$2,100.00	\$8,400.00	\$2,112.66	\$8,450.64
152	X5630706	CONNECTION TO EXISTING WATER MAIN 6"	EACH	1	\$3,300.00	\$3,300.00	\$2,400.00	\$2,400.00	\$2,175.94	\$2,175.94
153	X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	8	\$3,500.00	\$28,000.00	\$2,750.00	\$22,000.00	\$2,239.18	\$17,914.44
154	X8028032	VALVE BOXES TO BE REMOVED	EACH	7	\$250.00	\$1,750.00	\$150.00	\$1,050.00	\$652.06	\$4,564.42
155	XX000300	CONCRETE STEPS	SQ FT	23	\$80.00	\$1,840.00	\$100.00	\$2,300.00	\$308.48	\$7,096.04
156	XX004688	SANITARY SERVICE TO BE ADJUSTED	EACH	100	\$150.00	\$15,000.00	\$125.00	\$12,500.00	\$1,897.82	\$189,782.00
157	XX008257	STAMPED COLORED PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	SQ FT	32	\$100.50	\$3,216.00	\$125.00	\$4,000.00	\$35.63	\$1,140.16
158	XX008348	MORTAR EXISTING STRUCTURE	EACH	2	\$1,500.00	\$3,000.00	\$500.00	\$1,000.00	\$1,304.11	\$2,608.22
159	Z0004514	HOT-MIX ASPHALT DRIVEWAY PAVEMENT, 4"	SQ YD	1670	\$23.00	\$38,410.00	\$35.00	\$58,450.00	\$30.92	\$51,658.40
160	Z0013798	CONSTRUCTION LAYOUT	L SUM	1	\$90,000.00	\$90,000.00	\$90,000.00	\$90,000.00	\$43,890.00	\$43,890.00
161	Z0017400	DRAINAGE & UTILITY STRUCTURES TO BE ADJUSTED	EACH	151	\$630.00	\$95,130.00	\$900.00	\$135,900.00	\$978.08	\$146,890.08
162	Z0017700	DRAINAGE & UTILITY STRUCTURES TO BE RECONSTRUCTED	EACH	75	\$800.00	\$60,000.00	\$1,250.00	\$93,750.00	\$1,304.11	\$97,808.25
163	Z0018500	DRAINAGE STRUCTURES TO BE CLEANED	EACH	25	\$325.00	\$8,125.00	\$300.00	\$7,500.00	\$652.06	\$16,301.50
164	Z0044500	PRESSURE CONNECTION 6" X 6"	EACH	1	\$6,500.00	\$6,500.00	\$4,800.00	\$4,800.00	\$5,645.91	\$5,645.91
165	Z0044650	PRESSURE CONNECTION 8" X 4"	EACH	1	\$7,000.00	\$7,000.00	\$4,800.00	\$4,800.00	\$5,577.87	\$5,577.87
166	Z0044700	PRESSURE CONNECTION 8" X 6"	EACH	1	\$7,500.00	\$7,500.00	\$5,500.00	\$5,500.00	\$6,072.95	\$6,072.95
167	Z0044800	PRESSURE CONNECTION 8" X 8"	EACH	3	\$6,000.00	\$18,000.00	\$5,200.00	\$15,600.00	\$6,293.62	\$18,880.46
168	Z0045100	PRESSURE CONNECTION 12" X 12"	EACH	1	\$11,000.00	\$11,000.00	\$9,200.00	\$9,200.00	\$8,453.03	\$8,453.03
169	Z0048665	RAILROAD PROTECTIVE LIABILITY INSURANCE	L SUM	1	\$5,000.00	\$5,000.00	\$8,500.00	\$8,500.00	\$16,500.00	\$16,500.00
170	Z0056604	STORM SEWER (WATER MAIN REQUIREMENTS) 8 INCH	FOOT	10	\$150.00	\$1,500.00	\$55.00	\$550.00	\$312.93	\$3,129.30
171	Z0056606	STORM SEWER (WATER MAIN REQUIREMENTS) 10 INCH	FOOT	10	\$200.00	\$2,000.00	\$65.00	\$650.00	\$341.81	\$3,418.10
172	Z0056608	STORM SEWER (WATER MAIN REQUIREMENTS) 12 INCH	FOOT	45	\$150.00	\$6,750.00	\$82.00	\$3,690.00	\$162.19	\$7,298.55
173	Z0056610	STORM SEWER (WATER MAIN REQUIREMENTS) 15 INCH	FOOT	10	\$200.00	\$2,000.00	\$115.00	\$1,150.00	\$376.18	\$3,761.80
174	Z0056612	STORM SEWER (WATER MAIN REQUIREMENTS) 18 INCH	FOOT	40	\$100.00	\$4,000.00	\$145.00	\$5,800.00	\$269.51	\$10,780.40
175	550B0940	STORM SEWERS, CLASS B, TYPE 4 12"	FOOT	16	\$70.00	\$1,120.00	\$100.00	\$1,600.00	\$189.58	\$3,033.28
176	VOH26	REMOVE AND REPLACE SANITARY SEWER, 15"	FOOT	295	\$180.00	\$53,100.00	\$145.00	\$42,775.00	\$224.95	\$66,390.25
CALCULATED TOTAL						\$7,044,600.60		\$7,182,171.45		\$9,129,834.46
AS-READ TOTAL						\$7,044,600.60		\$7,181,621.45		\$9,129,834.46

CALCD BY: A.F.
CHECKED BY: EK

HIGHLIGHTED CELLS DENOTE DISCREPANCIES BETWEEN VALUES PROVIDED IN BID PROPOSALS AS SUBMITTED, AND VALUES CALCULATED FROM BID PROPOSALS AS REVIEWED



GSG CONSULTANTS, INC.
 Engineers, Scientists & Construction Managers
 623 Copper Court
 Schaumburg, IL 60173
 PH 630.954.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
 SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
 HINSDALE AVE-ALTERNATE 1 (POC)
 BID DATE: MARCH 29, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	QUANTITY	TOTAL
1	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	8289	
2	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	8289	
3	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	18	
4	78003190	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	224	
5	78003110	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 4"	FOOT	869	
CALCULATED TOTAL					
AS-READ TOTAL					

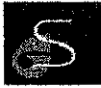
BASE BID + ALTERNATE 1
 (BASE BID CALCULATED TOTAL + ALTERNATE 1 CALCULATED TOTAL)

ENGINEERS OPINION OF PROBABLE COST		S & M CEMENT CONSTRUCTION, INC. LOWEST BIDDER		ORANGE CRUSH LLC		ALAMP CONCRETE CONTRACTORS, INC.	
UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
\$11.00	\$91,178.00	\$8.75	\$72,528.75	\$8.80	\$72,849.20	\$8.15	\$67,565.35
\$85.00	\$704,565.00	\$43.00	\$356,427.00	\$45.00	\$373,005.00	\$48.00	\$397,224.00
\$20.00	\$360.00	\$24.00	\$432.00	\$25.00	\$450.00	\$22.00	\$396.00
\$10.00	\$2,240.00	\$13.90	\$3,113.60	\$15.00	\$3,360.00	\$11.00	\$2,464.00
\$9.00	\$7,821.00	\$4.00	\$3,476.00	\$4.30	\$3,735.70	\$5.00	\$4,345.00
CALCULATED TOTAL		\$806,185.00		\$436,001.35		\$453,519.90	
AS-READ TOTAL		N/A		\$436,001.35		\$453,519.90	

\$8,807,864.00 **\$6,649,391.37** **\$7,229,955.80** **\$7,243,147.30**

CALCD BY: A.F.
 CHECKED BY: E.K.

HIGHLIGHTED CELLS DENOTE DISCREPANCIES BETWEEN VALUES PROVIDED IN BID PROPOSALS AS SUBMITTED, AND VALUES CALCULATED FROM BID PROPOSALS AS REVIEWED



GSG CONSULTANTS, INC.
 Engineers, Scientists & Construction Managers
 623 Cooper Court
 Schaumburg, IL 60173
 PH 630.994.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
 HINSDALE AVE-ALTERNATE 1 (PCC)
 BID DATE: MARCH 28, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY
1	35102000	AGGREGATE BASE COURSE, TYPE B 8"	SQ YD	8289
2	42000201	PORTLAND CEMENT CONCRETE PAVEMENT 7" (JOINTED)	SQ YD	8289
3	78003180	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 24"	FOOT	19
4	78003150	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 12"	FOOT	224
5	78003110	PREFORMED PLASTIC PAVEMENT MARKING, TYPE B - LINE 4"	FOOT	869

GLENBROOK EXCAVATING & CONCRETE, INC.		JOHN NERI CONSTRUCTION CO., INC.		MARTAM CONSTRUCTION INC	
UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
\$14.50	\$120,150.50	\$9.00	\$74,801.00	\$7.68	\$63,859.52
\$46.00	\$381,294.00	\$49.00	\$406,401.00	\$54.44	\$451,253.16
\$20.00	\$380.00	\$25.00	\$475.00	\$22.00	\$418.00
\$10.00	\$2,240.00	\$12.00	\$2,688.00	\$11.00	\$2,464.00
\$4.50	\$3,880.50	\$5.00	\$4,345.00	\$4.95	\$4,301.55
CALCULATED TOTAL		\$488,270.00		\$522,096.23	
AS-READ TOTAL		\$488,270.00		\$522,096.23	

BASE BID + ALTERNATE 1
 (BASE BID CALCULATED TOTAL + ALTERNATE 1 CALCULATED TOTAL)

\$7,552,615.60 \$7,670,441.45 \$9,651,930.69

CALCD BY: A.P.
 CHECKED BY: E.K.

HIGHLIGHTED CELLS DENOTE DISCREPANCIES BETWEEN VALUES PROVIDED IN BID PROPOSALS AS SUBMITTED, AND VALUES CALCULATED FROM BID PROPOSALS AS REVIEWED



GSG CONSULTANTS, INC.
 Engineers, Scientists & Construction Managers
 623 Cooper Court
 Schaumburg, IL 60173
 PH 630.394.2600

VILLAGE OF HINSDALE 2018 STREET PROGRAM
SOUTH INFRASTRUCTURE IMPROVEMENTS PROJECT
 HINSDALE AVE-ALTERNATE 2 (HMA)
 BID DATE: MARCH 29, 2018

NO.	PAY ITEM	PAY ITEM NAME	UNIT OF MEASURE	TOTAL QUANTITY	ENGINEERS OPINION OF PROBABLE COST		G & M CEMENT CONSTRUCTION INC. LOWEST BIDDER		ORANGE CRUSH LLC		ALAMP CONCRETE CONTRACTORS, INC.	
					UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	40803335	HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50	TON	928	\$75.00	\$69,600.00	\$69.00	\$64,032.00	\$80.00	\$74,240.00	\$89.50	\$83,436.00
2	40603080	HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50	TON	3249	\$67.00	\$217,683.00	\$63.00	\$204,867.00	\$58.00	\$188,442.00	\$68.25	\$221,524.25
3	40800275	BITUMINOUS MATERIALS (PRIME COAT)	POUND	3730	\$1.25	\$4,662.50	\$0.01	\$37.30	\$0.01	\$37.30	\$0.60	\$2,238.00
4	35101800	AGGREGATE BASE COURSE, TYPE B 6"	SQ YD	8289	\$9.00	\$74,601.00	\$7.15	\$59,266.35	\$7.00	\$58,023.00	\$5.75	\$47,661.75
5	78000200	THERMOPLASTIC PAVEMENT MARKING - LINE 4"	FOOT	869	\$2.00	\$1,738.00	\$2.00	\$1,738.00	\$2.00	\$1,738.00	\$1.50	\$1,303.50
6	78000650	THERMOPLASTIC PAVEMENT MARKING - LINE 24"	FOOT	15	\$6.00	\$92.00	\$10.00	\$150.00	\$10.00	\$150.00	\$9.05	\$135.75
7	78000600	THERMOPLASTIC PAVEMENT MARKING - LINE 12"	FOOT	224	\$6.00	\$1,344.00	\$6.00	\$1,344.00	\$6.15	\$1,377.60	\$4.55	\$1,019.20
CALCULATED TOTAL					\$369,780.50		\$331,294.65		\$305,487.90		\$332,136.65	
AS-READ TOTAL					N/A		\$331,295.65		\$305,487.90		\$332,136.65	
BASE BID + ALTERNATE 2					\$8,371,459.50		\$6,544,684.67		\$7,081,923.80		\$7,119,207.60	
(BASE BID CALCULATED TOTAL + ALTERNATE 2 CALCULATED TOTAL)												

CALCD BY: A.F.
 CHECKED BY: E.K.

HIGHLIGHTED CELLS DENOTE DISCREPANCIES BETWEEN VALUES PROVIDED IN BID PROPOSALS AS SUBMITTED, AND VALUES CALCULATED FROM BID PROPOSALS AS REVIEWED

Formal Contract

PROPOSAL SUBMITTED BY		
Contractor's Name		
Street	P.O. Box	
City	State	Zip Code

VILLAGE OF HINSDALE

FOR THE IMPROVEMENT OF

PROJECT NO. 2018 South Infrastructure Improvement Project
TYPES OF FUNDS Local Funds

☒ SPECIFICATIONS (required)

☒ PLANS (required)

☒ CONTRACT BOND (when required)

1. THIS AGREEMENT, made and concluded the _____ day of _____
Month and Year
between the Village of Hinsdale
acting by and through its Board of Trustees known as the party of the first part, and
_____ his/their executors, administrators, successors or assigns
known as the party of the second part.

2. Witnesseth: That for and in consideration of the payments and agreements mentioned in the Proposal hereto attached to be made and performed by the party of the first part, and according to the terms expressed in the Bond referring to these presents, the party of the second part agrees with said party of the first part at his/their own proper cost and expense to do all the work, furnish all materials and all labor necessary to complete the work in accordance with the plans and specifications hereinafter described, and in full compliance with all of the terms of this agreement and the requirements of the Engineer under it.

3. And it is also understood and agreed that the LPA Formal Contract Proposal, Special Provisions, Affidavit of Illinois Business Office, Apprenticeship or Training Program Certification, and Contract Bond hereto attached, and the Plans for Section various, in The Village of Hinsdale
approved by the Village of Hinsdale on March 14, 2018, are essential documents of this
Date
contract and are a part hereof.

4. IN WITNESS WHEREOF, The said parties have executed these presents on the date above mentioned.

Attest:

The Village of Hinsdale

Village

Clerk

By

Party of the First Part

(Seal)

(If a Corporation)

Corporate Name _____

By

President

Party of the Second Part

(If a Co-Partnership)

Attest:

Secretary

Partners doing Business under the firm name of _____

Party of the Second Part

(If an individual)

Party of the Second Part



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading – ZPS

SUBJECT: Major Adjustment Application to Approved Exterior Appearance and Site Plan for new Hinsdale Animal Hospital 722-724 N. York Road Case A-03-2018

MEETING DATE: April 17, 2018

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 722-724 N. York Road - Hinsdale Animal Hospital.

Background

The Linden Group, on behalf of Dr. Kremer, has applied for a Major Adjustment to the approved Exterior Appearance Site Plan for a new animal hospital at 722-724 N. York Road. On August 15, 2017, the Village Board approved an Exterior Appearance and Site Plan application to construct a new animal hospital in the B-1 Community Business District.

There are 6 proposed changes to the site plan and exterior of the building. Four (4) of the 6 requested changes are due to building code, National Fire Protection Association (NFPA) and county storm water code requirements:

1. Due to NFPA code, installation for an additional exit door and walk on the north side of the building.
2. Due to county storm water requirements, installation of permeable pavers to 30 parking spaces. The total impervious area is reduced from 24,300 SF to 19,847 SF.
3. Due to NFPA code, installation of an open grate exterior egress stair to the rear of the building (facing west) to provide exiting from the second floor.
4. Due to NFPA code, landscaping shift to the north due to the above (1), installation for an additional exit door and walk on the north side of the building.

The 2 proposed changes unrelated to code requirements include:

1. Loading space relocation to provide better access to the rear door.
2. Mechanical louvers added to the west and north building elevation for air intake and exhaust for the indoor dog run area.

Discussion & Recommendation

N/A

Village Board and/or Committee Action

At the April 3, 2018, Board of Trustees meeting, the Village Board had no issues with the application and moved the item forward for Second Reading.

Documents Attached

Ordinance



REQUEST FOR BOARD ACTION

The following related materials were provided for the Board of Trustees of this item on April 3, 2018, and can be found on the Village website at:

http://cms4.revize.com/revize/hinsdale/document_center/VillageBoard/2018/04%20APR/vbot%20packet%2004%2003%2018.pdf

Major Adjustment and Plan Commission Application and Exhibits
Ordinance O2017-39 –Site Plan/Exterior Appearance Plan for new Animal Hospital
Aerial Parcel Map of 722-724 N. York Road
Birds Eye View of 722-724 N. York Road

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING A MAJOR ADJUSTMENT TO A SITE PLAN AND EXTERIOR APPEARANCE PLAN FOR PROPERTY LOCATED AT 722-724 N. YORK ROAD – HINSDALE ANIMAL HOSPITAL

WHEREAS, the Village has previously, through adoption of Ordinance No. O2017-39 on September 5, 2017 (the "Original Ordinance"), approved a Site Plan/Exterior Appearance Plan submitted by Applicant Hinsdale Animal Hospital for the site located at 722-724 N. York Road, Hinsdale, Illinois (the "Subject Property"); and

WHEREAS, the Village has now received an application (the "Application") for approval of a major adjustment to the final approved Site Plan/Exterior Appearance Plan. Adjustments include installation of an additional exit door and work on the north side of the building, a landscaping shift to the north as a result of the additional exit door and work, installation of permeable pavers to thirty (30) parking spaces (resulting in a decrease in overall impervious area on the Subject Property), installation of an open grate exterior egress stair to the rear of the building (facing west) to provide exiting from the second floor, a loading space relocation to provide better access to the rear door, and mechanical louvers added to the west and north building elevation for air intake and exhaust for the indoor dog run area (collectively, the "Proposed Modifications"). The Proposed Modifications are indicated in the revised plans from the Applicant attached hereto as **Group Exhibit A** and made a part hereof; and

WHEREAS, the Board of Trustees of the Village have duly considered the Application and Proposed Modifications, and all of the materials, facts and circumstances affecting the Application and Proposed Modifications, and find the Application and Proposed Modifications to be in substantial conformity with the previously approved plans, and that the standards set forth in Section 11-604 and 11-606 of the Zoning Code relating to exterior appearance and major adjustments to previously approved site plans and exterior appearance plans are satisfied.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Approval of a Major Adjustment to the Site Plan/Exterior Appearance Plan. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and the Hinsdale Zoning Code, hereby approves the major adjustment to the previously approved Site Plan/Exterior Appearance Plan for the Subject Property at 722-724 N. York Road in the form of the Proposed Modifications as depicted in the revised plans attached hereto as **Group Exhibit A** and made a part hereof.

Said major adjustment is approved subject to the conditions set forth in Section 3 of this Ordinance. The Original Ordinance is hereby amended to the extent provided, but only to the extent provided, by the approvals granted herein.

SECTION 3: Conditions on Approval. The approval granted in Section 2 of this Ordinance is subject to the following conditions:

- A. No Authorization of Work. This Ordinance does not authorize the commencement of any work on the Subject Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced on the Subject Property until all conditions of this Ordinance, or the Original Ordinance, precedent to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Plans. All development work on the Subject Property shall be undertaken only in strict compliance with the approval granted herein, and the approved plans and specifications, including the revised plans attached hereto as **Group Exhibit A** and made a part hereof.
- C. Compliance with Codes, Ordinances, and Regulations. Except as specifically set forth in this Ordinance and the Original Ordinance, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern the development of the Subject Property. All such development shall comply with all Village codes, ordinances, and regulations at all times.
- D. Building Permits. The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

SECTION 4: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, or of any applicable code, ordinance, or regulation of the Village, shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

ADOPTED this _____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2018, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2018

GROUP EXHIBIT A

**SITE PLAN/EXTERIOR APPEARANCE PLAN REVISIONS
(ATTACHED)**

3/14/2018

Board of Trustees
Village of Hinsdale, Village Hall
19 East Chicago Avenue
Hinsdale, IL 60521

Re: **Hinsdale Animal Hospital**
722-28 N. York Road

Dear Board of Trustees

We have 6 minor changes to our Design Review submittal that are results of final engineering and the Village of Hinsdale permit review. **We are requesting that we be placed on the board agenda as soon as possible so that these changes can be reviewed to determine if they will require a Major Adjustment to Planned Development with the Plan Commission.** We feel that the changes required to satisfy engineering and the Village Review do not have a significant impact on the approved Design Review Submittal. It is our understanding that the project will go to the Village Board to determine if resubmittal to the Plan Commission will be required.

The changes to the project related to the design review approval are summarized as follows:

1. Landscaping North of the building has been modified to accommodate egress path.

Plants along north face of building have been shifted to accommodate egress walks.
(Due to fire safety code requirement for an exit door on the north side)

2. The loading space has been moved west, shifting a parking space.

Loading space was relocated to provide better access from loading space to rear door. The loading space was pushed to the other side of the parking island. This had no other impact on other parking spaces.

3. Permeable paver at the northeast and south row parking spaces.

Permeable pavers were added to the parking spaces as indicated on the attached site plan to meet the drainage requirements for the site. Previous submittal did not include detailed engineering. There is no resulting change to the parking layout. Area of proposed pervious pavers is 4,602 s.f. Total site impervious was reduced from 24,300 to **19,847 s.f.** (Due to county storm water requirements)

4. Exterior Stair has been added to the rear facing West Elevation with connecting sidewalk.

An open grate steel egress stair has been added to the rear of the building to provide 1 of 2 required exits from the second floor. This exiting was previously provided by an open stair that does not meet the NFPA exit requirement. These changes were made in response to the Village of Hinsdale's initial plan review comments. Refer to the attached elevation. *(Due to fire safety code requirement for a second exit door directly to exterior from the second floor) (note: several exterior exit stairs exist on other buildings in close proximity to our site)*

5. Exit door has been added to the North Elevation with connecting sidewalk.

An exterior exit door has been added to provide direct exit from the interior stair to the outside. This exiting was previously provided through the building which does not meet the NFPA exit requirement. This change was made in response to the Village of Hinsdale's initial plan review comments. Refer to the attached site plan and elevation. The Lot coverage changes from 24,000s.f. (80%) to **24,449s.f. (81.2%)** due to the added connecting sidewalk. Maximum permitted by zoning is 27,097.2 s.f. (90%). *(Due to fire safety code requirement for an exit door on the north side)*

6. Mechanical louvers were added to the west and North Elevation

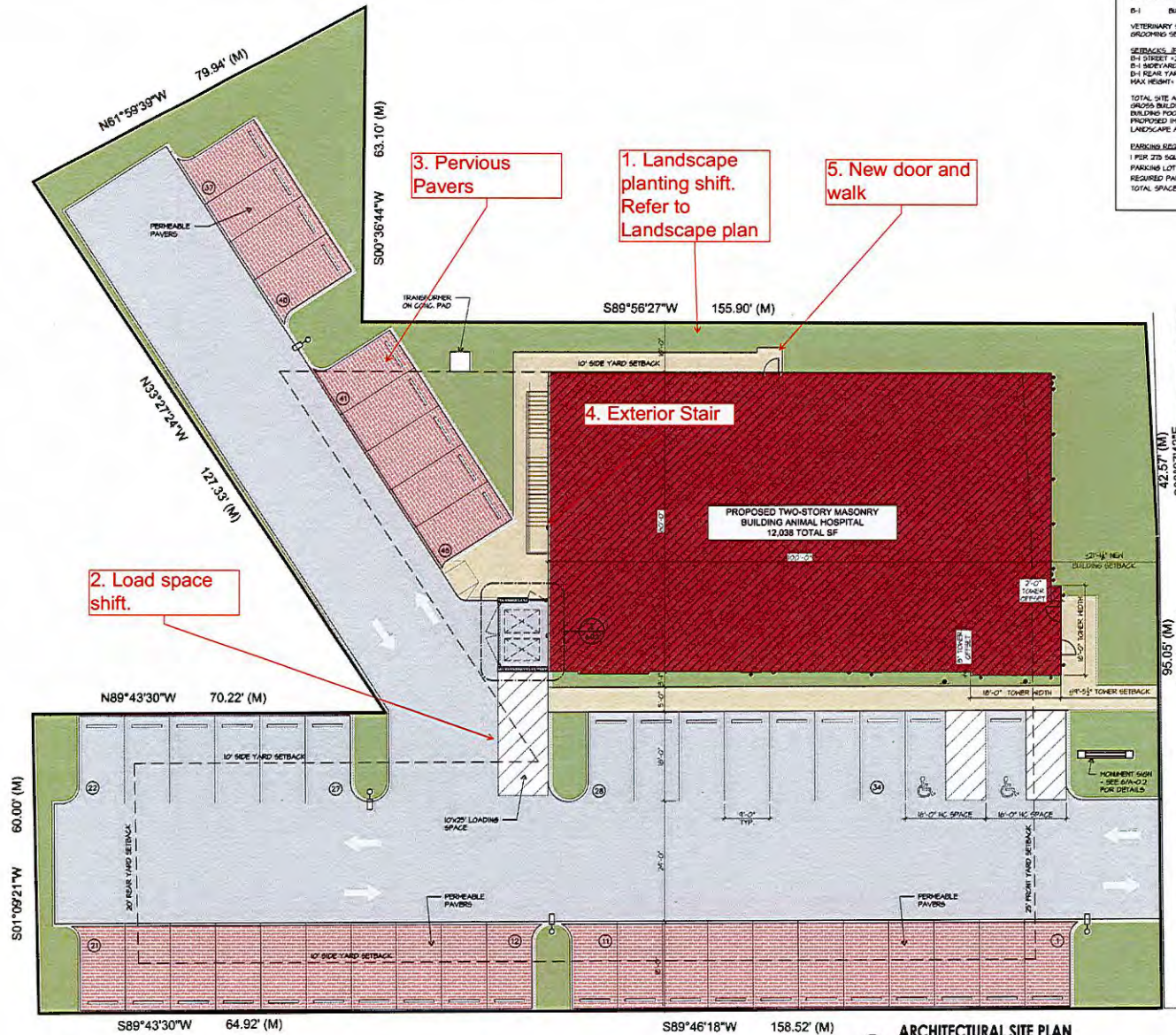
Louvers were added to accommodate mechanical design.

We request that we be place on the board agenda to address Design Review Approval as soon as possible so that we can avoid delay to the construction of this project.

Sincerely,

A handwritten signature in black ink, reading "Michael Matthys". The signature is stylized with a large, flowing "M" and a cursive "Matthys".

Michael Matthys, Architect



ZONING

PER HINSDALE ZONING MAP
B-1 BUSINESS - COMMUNITY BUSINESS DISTRICT

VETERINARY SERVICES INCLUDING GROOMING PERMITTED IN B3 ONLY
GROOMING SERVICES PERMITTED SPECIAL USE IN B3

SETBACKS PER ZONING CODE SECTION 5.101
(B) STREET 1-20'
B-1 SIDEYARD 10'
B-1 REAR YARD 20'
MAX HEIGHT 2 STORIES - 30'-0"

TOTAL SITE AREA 30,000 SF / .68 ACRES
GROSS BUILDING AREA 12,038 SF
BUILDING FOOTPRINT 8,000 SF
PROPOSED INTERVIEWS 1,000 SF
LANDSCAPE AREA 11,962 SF (10% OF LOT AREA 30,000 SF)

PARKING REQUIREMENTS
1 PER 275 SQUARE FEET WHEN OVER 10,000 SQ. FT.
PARKING LOT SETBACKS - AS NOTED
REQUIRED PARKING SPACES 44 SPACES
TOTAL SPACES PROVIDED 48 SPACES



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
1000 GRAND FARMWAY SUITE 110
GRAND PRAIRIE, ILLINOIS 60136
(708) 796-4400
WWW.LINDENGROUPINC.COM

MANAGEMENT
COMPANY
R W
18 W 301 S. Boscage Rd., Suite 106
Bloomington, IL 61702
(309) 833-1000
info@rwmco.com

HINSDALE ANIMAL HOSPITAL
724 N. YORK ROAD
HINSDALE, IL 60521



DESIGN REVISIONS
REVISION
DATE
2015-08-14
2015-08-25
2015-09-08
2015-09-26

2015-0101
POLICY REVIEW
FULL REVIEW
3-15-2018
BH / TH
DRAWN BY

PAUL KETTEL
CITY OF HINSDALE, ILL. - APPROVED
APPROVED FOR THE CITY OF HINSDALE, ILL. BY
DATE 3-15-2018
BY BH / TH

ARCHITECTURAL
SITE PLAN

SHEET NAME
A-0.1
SHEET

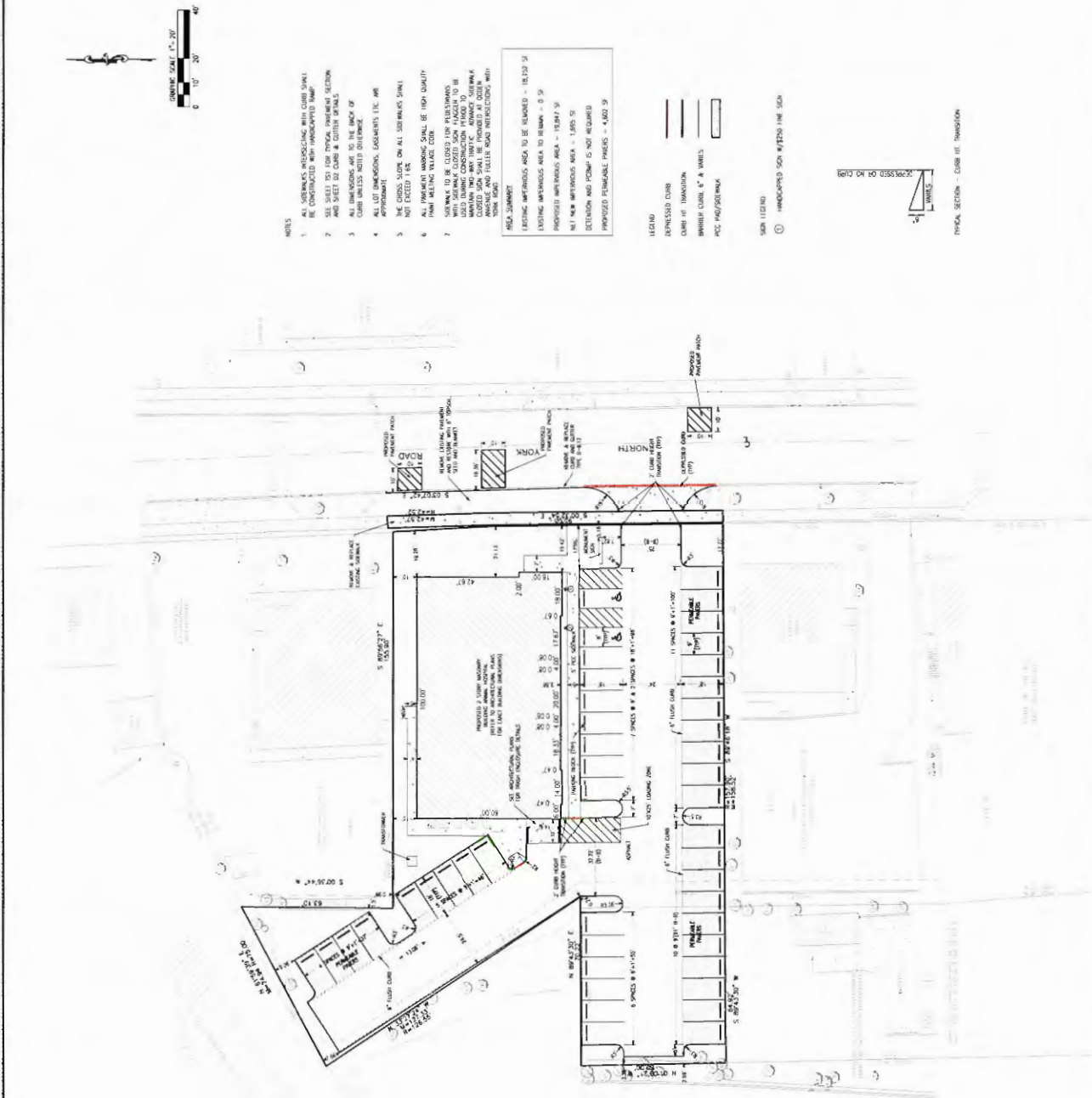


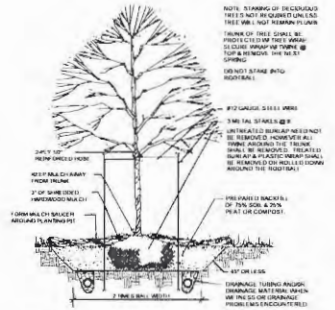
ARCHITECTURAL SITE PLAN

RWE MANAGEMENT CO.
16 W 361 S. FRONTAGE ROAD
BURR RIDGE, ILLINOIS 60527
PH: (630) 734-0883

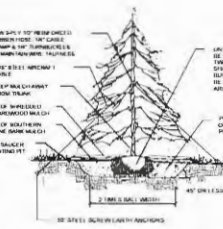
GEOMETRIC PLAN
HINSDALE ANIMAL HOSPITAL
724 YORK ROAD
HINSDALE, ILLINOIS

ADVANTAGE CONSULTING ENGINEERS, LLC
80 MAIN STREET, SUITE 17
LEMONY, IL 60439
847-260-4758

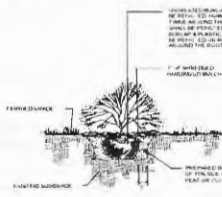




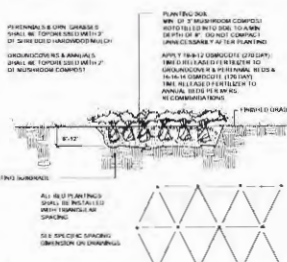
DECIDUOUS TREE



EVERGREEN TREE

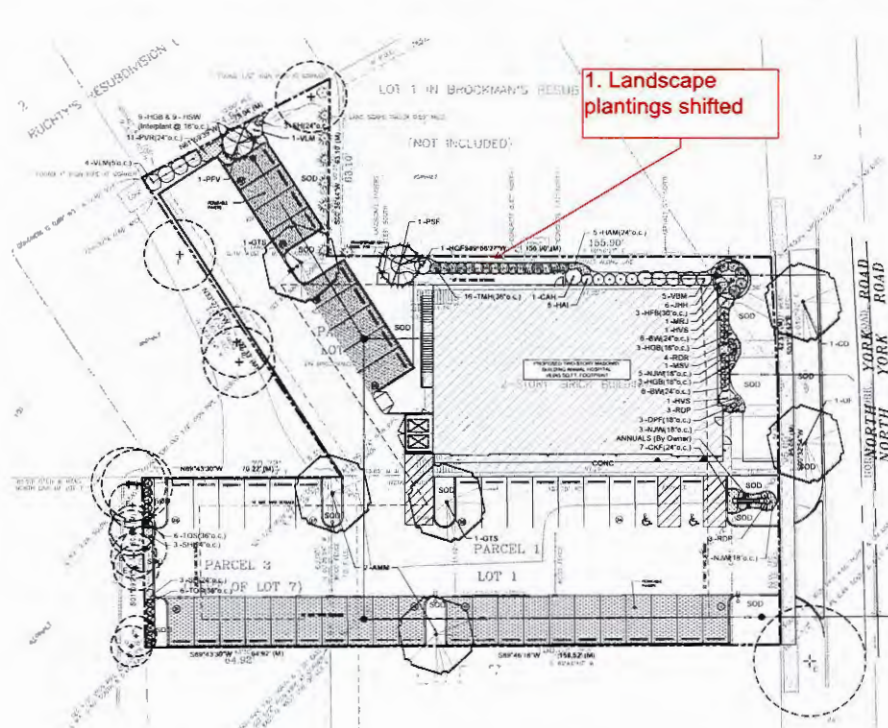


SHRUBS



BED PLANTING DETAIL

(PERENNIALS, ORNAMENTAL GRASSES, VINES, GROUNDCOVERS & ANNUALS)



GENERAL NOTES

1. All plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and quantities on plan represent maximum requirements.

2. The requirements for measurement, branching and balling shall conform to the latest edition of ANSI Z60.1 - AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.

3. Any materials with damaged or undersized/underballed, dark staining, sunburn, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl).

4. If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

5. Quantities listed are supplied as a convenience. The Owner, the Installer and the Installer's Contractor should verify all quantities. The drawings shall take precedence over the lists.

6. Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility of the Owner and the Landscape Architect, not the Installer or the Installer's Contractor.

7. Civil Engineering or Architectural base information has been provided by others. The Installer of various site improvements on the set of drawings is only responsible for the accuracy and reliability of the information provided for construction purposes.

8. Refer to Civil Engineering documents for detailed information regarding site location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

9. Field symbols (diagrams) on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at time of installation.

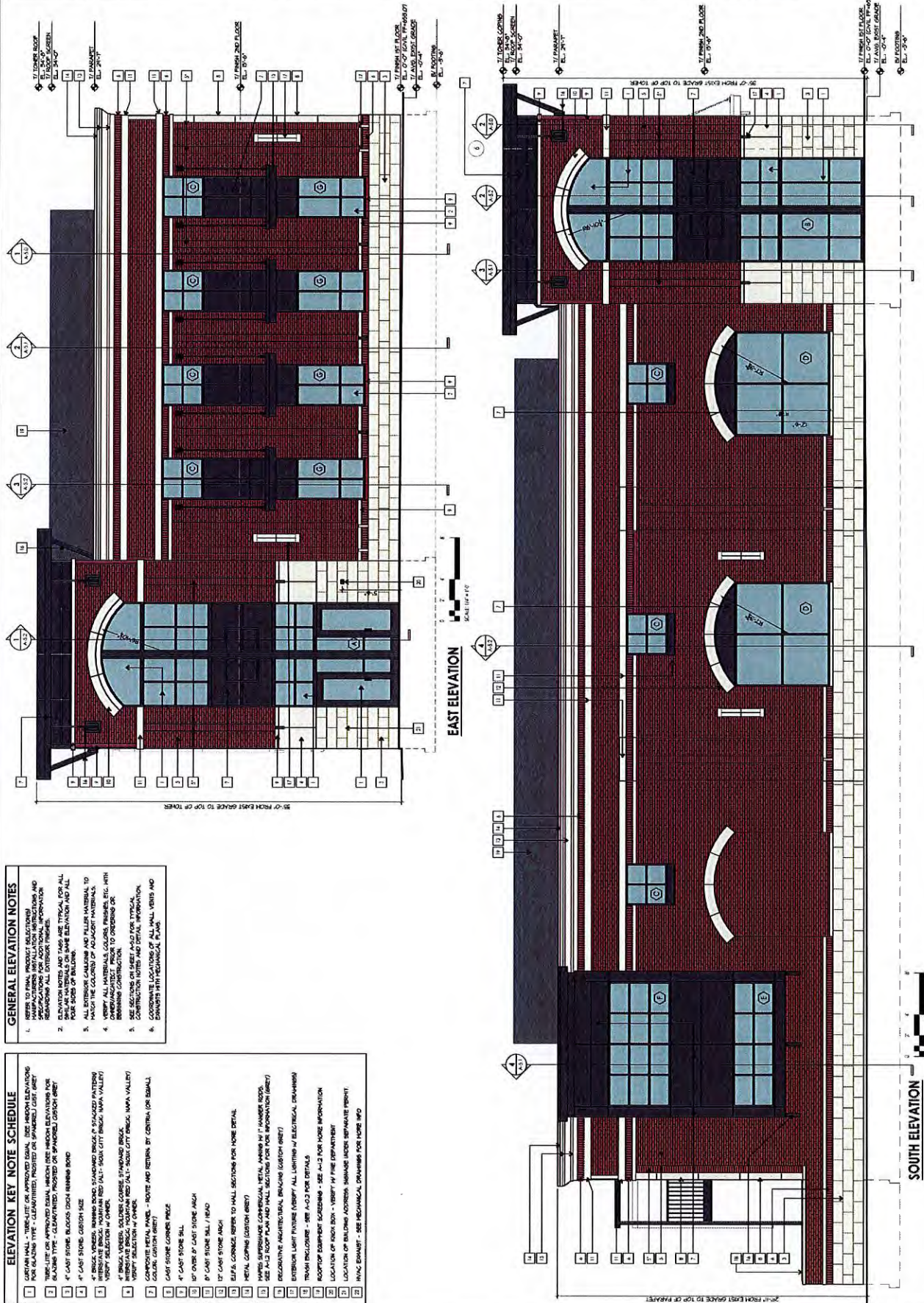
10. All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

11. Contractor shall verify location of all underground utilities prior to digging or installation outside the City of Chicago call "8" U L 1" (Joint Utility Location for Contractors) 1-800-862-0225.

12. All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mulch/soil compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating implement. Open competition perennials and ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch. Annuals & groundcovers shall be covered with an additional two inch (2") layer of mulch/soil compost.

13. All other planting beds and tree sections shall be mulched with a minimum of three inches (3") of shredded wood mulch.

14. Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Planting material shall not be installed under building overhangs and other such areas which do not receive natural rainfall.</



GENERAL ELEVATION NOTES

1. REFER TO FINAL PRODUCT SPECIFICATIONS FOR DIMENSIONS AND SPECIFICATIONS FOR ACTION REQUIREMENTS REGARDING ALL EXTERIOR FINISHES.
2. ELEVATION NOTES AND TAGS ARE TYPICAL FOR ALL WALLS ARE MATERIALS OR BASE ELEVATION AND ALL WALL TYPES OF FINISHES.
3. VERIFY ALL MATERIALS, COLOURS, FINISHES, ETC. WITH MANUFACTURER PRIOR TO ORDERING OR BEGINNING CONSTRUCTION.
4. SEE SECTIONS ON SHEET A-5.0 FOR TYPICAL CONSTRUCTION DETAILS AND DETAIL INFORMATION.
5. COORDINATE LOCATIONS OF ALL WALL VENTS AND DRAINAGE WITH MECHANICAL PLANS.

[illegible]

ELEVATION KEY NOTE SCHEDULE

1. CURTAIN HALL - TUBE-LITE OR APPROVED EQUAL (SEE HIDDEN ELEVATIONS FOR GLAZING TYPE - CLEAR/UNTINTED, PRISTINE OR SPANDREL) CAST GREY
2. TUBE-LITE OR APPROVED EQUAL HIDDEN (SEE HIDDEN ELEVATIONS FOR GLAZING TYPE - CLEAR/UNTINTED, PRISTINE OR SPANDREL) CUSTOM GREY
3. 4" CAST STONE, BLOCKS 12X18 RUNNING BOND
4. 4" CAST STONE, CUSTOM SIZE
5. 4" BRICK VENEER, RUNNING BOND, STANDARD BRICK, 1" STAGGERED PATTERN, INTERMEDIATE BRICK, MOUNTAIN RED (ALT. - BOKH CITY BRICK, HAPA VALLEY) VERIFY SELECTION W/ OWNER
6. 4" BRICK VENEER, SOLDIER COURSE, STANDARD BRICK, INTERMEDIATE BRICK, MOUNTAIN RED (ALT. - BOKH CITY BRICK, HAPA VALLEY) VERIFY SELECTION W/ OWNER
7. COMPOSITE METAL PANEL - ROUTE AND RETURN BY CENTER (OR EQUAL, COLOR: CUSTOM GREY)
8. CAST STONE CORNER PIECE
9. 4" CAST STONE SILL
10. 10" OVER 6" CAST STONE ARCH
11. 8" CAST STONE SILL / HEAD
12. CAST STONE ARCH
13. ELPS, CORNICE, REFER TO HALL SECTIONS FOR MORE DETAIL
14. METAL COPING (CUSTOM GREY)
15. MAPES SUPERGRADE COMMERCIAL METAL, FINISH W/ 1" HANGER ROOF, SEE A-1.2 ROOF PLAN AND HALL SECTIONS FOR MORE INFORMATION (GREY)
16. DECORATIVE ARCHITECTURAL BRACINGS (CUSTOM GREY)
17. EXTERIOR LIGHT FIXTURE (VERIFY ALL LIGHTING W/ ELECTRICAL DRAWINGS)
18. TRASH ENCLOSURE - SEE A-0.2 FOR DETAILS
19. ROOFTOP EQUIPMENT SCREENING - SEE A-1.2 FOR MORE INFORMATION
20. LOCATION OF KICK BOX - VERIFY W/ FIRE DEPARTMENT
21. LOCATION OF BUILDING ADDRESS, SIGNAGE UNDER SEPARATE PERMIT.
22. HVAC EXHAUST - SEE MECHANICAL DRAWINGS FOR MORE INFO

GENERAL ELEVATION NOTES

1. REFER TO FINAL PRODUCT SELECTIONS, MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ALL EXTERIOR FINISHES.
2. ELEVATION NOTES AND TAGS ARE TYPICAL FOR ALL SIMILAR MATERIALS ON SAME ELEVATION AND ALL FOUR SIDES OF BUILDING.
3. ALL EXTERIOR CALCULUS AND FILLER MATERIALS TO MATCH THE COLORS OF ADJACENT MATERIALS.
4. VERIFY ALL MATERIALS, COLORS, FINISHES, ETC. WITH OWNERS/ARCHITECT PRIOR TO ORDERING OR BEGINNING CONSTRUCTION.
5. SEE SECTIONS ON SHEET A-0.2 FOR TYPICAL CONSTRUCTION NOTES AND DETAIL INFORMATION.
6. COORDINATE LOCATIONS OF ALL HALL VENTS AND EXHAUSTS WITH MECHANICAL PLANS.

4. Exterior exit Stair

6. Mechanical wall louver, typical

WEST ELEVATION

SCALE 1/4" = 1'-0"

NORTH ELEVATION

SCALE 1/4" = 1'-0"

5. Exit Door



ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
1000 GRAND PARKWAY, SUITE 110
GRAND PARK, ILLINOIS 60147
TEL: 773.777.4400
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MANAGEMENT
COMPANY
1400 N. L. BROADWAY, SUITE 100
BLOOMINGTON, ILLINOIS 61820
TEL: 312.345.1000
WWW.MANAGEMENTCOMPANY.COM

HINDS
ANIMAL HOSPITAL
724 N. YORK ROAD
HINDS, ILLINOIS 60521



DATE: 3-15-2018
BY: BH / TH
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For $\epsilon_4 \in [0, 0.25]$, the number of nodes in the subgraph G_4 is at least $\epsilon_4 n$.



REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: Second Reading – ZPS

SUBJECT: Major Adjustment Application to Approved Exterior Appearance and Site Plan for the Hinsdale Humane Society at 21 Salt Creek Lane
Case A-08-2018

MEETING DATE: April 17, 2018

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance approving a Major Adjustment to a Site Plan and Exterior Appearance Plan for property located at 21 Salt Creek Lane - Hinsdale Humane Society.

Background

The Linden Group, on behalf of the Hinsdale Humane Society (HHS), has applied for a Major Adjustment to the approved Exterior Appearance Site Plan for its new location at 21 Salt Creek Lane. On November 21, 2017, the Village Board approved an Exterior Appearance and Site Plan application to improve the subject property and existing building in the IB Institutional Buildings District.

There are 5 proposed changes to the site plan of the subject property:

1. Removal of 1 of 4 walk paths in the front yard to coordinate with existing grade.
2. Relocated trash enclosure to be outside of FEMA floodplain (from the northwest to southeast of the subject property).
3. Identified outdoor freezer behind the building, not shown on the previous site plan.
4. Removal of the outdoor dog walk area.
5. Reduced 1 parking space to accommodate 1 additional ADA parking space.

The proposed changes to the exterior appearance of the building include:

1. Reduced number of windows on the southwest building elevation.
2. Changes to the windows on the southeast building elevation.
3. Removal of the windows, addition of doors and fence height reduction on the northeast building elevation.
4. Changes to the windows, fence and façade materials on the northwest building elevation.

There is a lot coverage correction to the Table of Compliance, from 48.6% to 49.5%. The corrected lot coverage calculation is based on engineering plans submitted for building permit.

Discussion & Recommendation

N/A



REQUEST FOR BOARD ACTION

Village Board and/or Committee Action

At the April 3, 2018, Board of Trustees meeting, the Village Board had no issues with the application and moved the item forward for Second Reading.

Documents Attached

Ordinance

The following related materials were provided for the Board of Trustees of this item on April 3, 2018, and can be found on the Village website at:

http://cms4.revize.com/revize/hinsdale/document_center/VillageBoard/2018/04%20APR/vbot%20packet%2004%2003%2018.pdf

Major Adjustment and Plan Commission Application and Exhibits

Ordinance O2017-49 –Site Plan/Exterior Appearance Plan for HHS at 21 Salt Creek Ln.

Zoning Map Location of 21 Salt Creek Lane

Birds Eye View of 21 Salt Creek Lane

Street View of 21 Salt Creek Lane

Board of Trustees November 7, 2017, Minutes for approved Site Plan/Exterior Appearance plans.

VILLAGE OF HINSDALE

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A MAJOR ADJUSTMENT TO A SITE PLAN AND
EXTERIOR APPEARANCE PLAN FOR PROPERTY LOCATED AT
21 SALT CREEK LANE – HINSDALE HUMANE SOCIETY**

WHEREAS, the Village has previously, through adoption of Ordinance No. O2017-49 on November 21, 2017 (the "Original Ordinance"), approved a Site Plan/Exterior Appearance Plan submitted by Hinsdale Humane Society (the "Applicant") for the site located at 21 Salt Creek Lane, Hinsdale, Illinois (the "Property"); and

WHEREAS, the Village has now received an application (the "Application") for approval of a major adjustment to the final approved Site Plan/Exterior Appearance Plan, pursuant to Section 11-603 (K)(2) of the Village Zoning Code. Adjustments include both changes to the site plan as well as changes to the exterior appearance. The five changes to the site plan are: (1) removal of 1 of 4 walk paths in the front yard; (2) relocation of the trash enclosure; (3) addition of an outside freezer; (4) removal of the outdoor dog walk area; and (5) reduction of 1 parking space to accommodate an additional accessible parking space. The four changes to the exterior appearance are: (1) reduction of number of windows on the southwest building elevation; (2) changes to the windows on the southeast building elevation; (3) removal of windows, addition of doors, and fence height reduction on the northeast building elevation; and (4) changes to the windows, fence and façade materials on the northwest building elevation. These nine total items comprise the "Proposed Modifications," which are described and detailed in the revised plans from the Applicant attached hereto as **Group Exhibit A** and made a part hereof; and

WHEREAS, the Board of Trustees of the Village has duly considered the Application and Proposed Modifications, and all of the materials, facts and circumstances affecting the Application and Proposed Modifications, and find the Application and Proposed Modifications to be in substantial conformity with the previously approved plans, and that the standards set forth in Section 11-604 and 11-606 of the Zoning Code relating to exterior appearance and major adjustments to previously approved site plans and exterior appearance plans are satisfied.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Approval of a Major Adjustment to the Site Plan/Exterior Appearance Plan. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and the Hinsdale Zoning Code, hereby approves the major adjustment to the previously approved Site Plan/Exterior Appearance Plan for the

Property at 21 Salt Creek Lane in the form of the Proposed Modifications as depicted in the revised plans attached hereto as **Group Exhibit A** and made a part hereof.

Said major adjustment is approved subject to the conditions set forth in Section 3 of this Ordinance. The Original Ordinance is hereby amended to the extent provided, but only to the extent provided, by the approvals granted herein.

SECTION 3: Conditions on Approval. The approval granted in Section 2 of this Ordinance is subject to the following conditions:

- A. **No Authorization of Work.** This Ordinance does not authorize the commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced on the Property until all conditions of this Ordinance, or the Original Ordinance, precedent to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. **Compliance with Plans.** All development work on the Property shall be undertaken only in strict compliance with the approval granted herein, and the approved plans and specifications, including the revised plans attached hereto as **Group Exhibit A** and made a part hereof.
- C. **Compliance with Codes, Ordinances, and Regulations.** Except as specifically set forth in this Ordinance and the Original Ordinance, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern the development of the Property. All such development shall comply with all Village codes, ordinances, and regulations at all times.
- D. **Building Permits.** The Applicant shall submit all required building permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

SECTION 4: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, or of any applicable code, ordinance, or regulation of the Village, shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts

thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

ADOPTED this _____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2018, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2018

GROUP EXHIBIT A

**SITE PLAN/EXTERIOR APPEARANCE PLAN REVISIONS
(ATTACHED)**

3/26/2018

Board of Trustees
Village of Hinsdale, Village Hall
19 East Chicago Avenue
Hinsdale, IL 60521

Re: **Hinsdale Humane Society**
21 Salt Creek Lane

Dear Board of Trustees

We have 7 minor changes to our Design Review submittal that are results of final engineering and the Village of Hinsdale permit review. We feel that the changes required to satisfy engineering and the Village Review do not have a significant impact on the approved Design Review Submittal. If the determination is that the project changes require board approval we are requesting that we be placed on the board agenda as soon as possible.

The changes to the project related to the design review approval are summarized as follows:

1. Changes to window openings to coordinate with plan revisions and structural design.
2. Exterior Walk changes to coordinate with existing grade. (previously submitted)
3. Relocated Trash enclosure to remove existing location out of the flood plain.
4. Outdoor freezer location at rear of building located on site plan. Freezer will be not visible and will behind fence. Freezers are shown on the included plan.
5. Outdoor play area has been removed from the site plan.
6. Parking Spaces provided changed from 43 spaces to 45 spaces (41 Required). (Note: original approved table of compliance indicated 46 spaces provided , should have indicated 43 per approved site plan exhibits.)
7. Lot Coverage changed from 48,534 s.f. (48%) to 49,324s.f.(49%) based on recalculated area. (Note: net reduction of impervious area for proposed improvements is 6,814 s.f.)

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Matthys". The signature is fluid and cursive, with the first name "Michael" and last name "Matthys" clearly distinguishable.

Michael Matthys, Architect



LINDENGROUP

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LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE

10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60161
TEL: 708.799.4400 FAX: 708.799.4404
WWW.LINDENGROUP.COM

MANAGEMENT
CONFIDENTIAL

RWE

HINSDALE
HUMANE
SOCIETY

21111 S. CREEK LANE
HINSDALE, IL 60521

REGISTERED ARCHITECT

STATE OF ILLINOIS

MICHAEL J. WATSON
001023027

MAILED

DESCRIPTION:

DATE: 2017-08-15 AM

DATE REVIEW: 2017-08-15 AM

DATE FOR PERMIT: 2017-08-15 AM

DATE FOR CONSTRUCTION: 2017-08-15 AM

DATE FOR RECORD: 2017-08-15 AM

2017-0095

PROJECT NUMBER

TITLE NUMBER

3-15-2018

DATE

BH

DESIGNED BY

FINAL REVIEW:

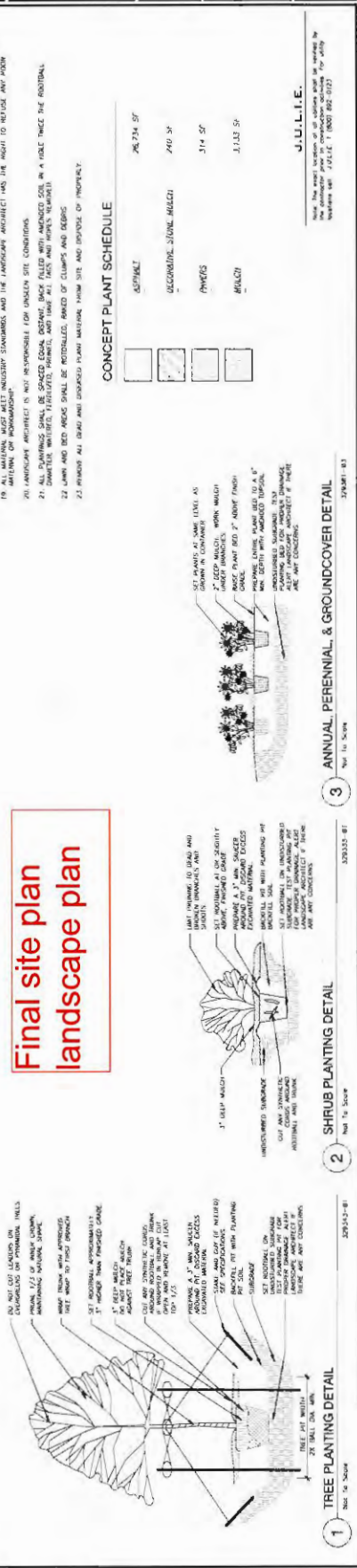
ALL PLANS REVIEWED

PROPOSED ELEVATIONS w/ FENCING

SHEET NAME

A-4.1

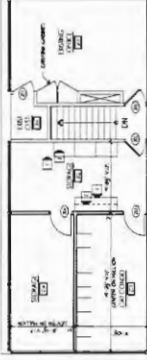
SHEET



LANDSCAPE NOTES

1. PLANT DOMAINS SHOWN IN THE PLANT SCHEDULE ON THE CONTRACT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR OBTAINING AND DELIVERING TO THE PROJECT. PLANTS NOT LISTED IN THE PLANT SCHEDULE FOR THE PROJECT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIALS SHALL BE WAREHOUSED STOCK AND SHALL BE FIRST FROM THE BEST AVAILABLE SOURCES. PLANTS NOT LISTED IN THE PLANT SCHEDULE SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT. PLANTS WITH ROOTS OR BALLS THAT ARE NOT SPECIFIED SHALL BE CALLED OUT BY THE LANDSCAPE ARCHITECT.
3. PLANT MATERIAL SHALL MEET MANUFACTURER'S REQUIREMENTS AND GUIDELINES, WHICH SHALL BE SUBMITTED BY THE MANUFACTURER.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD PRACTICES. PLANTS MAY BE PLANTED IN THE ORDER OF THE LANDSCAPE ARCHITECT'S SCHEDULE. PLANTS SHALL BE PLANTED IN THE ORDER OF THE LANDSCAPE ARCHITECT'S SCHEDULE.
5. ALL PLANT MATERIALS SHALL BE PROTECTED AND MAINTAINED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY PLANT MATERIALS DAMAGED OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. IF DURING THE GUARANTEE PERIOD PLANT MATERIALS DEVELOP DEFECTS OR DIE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE PLANT MATERIALS. PLANTS SHALL BE REPLACED WITH PLANTS OF THE SAME SPECIES AND SIZE AS THE ORIGINAL PLANTS.
7. ANY DATING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTATION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION ANY SUCH MATERIALS ARE DAMAGED OR KILLED FROM THE PLANTING AND LANDSCAPE ARCHITECT'S DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE PLANT MATERIALS.
8. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNPAVED AREAS PRIOR TO INSTALLING PLANTING OPERATIONS. THE CONTRACTOR SHALL VERIFY/REPLACE AND UNPAVED AREAS, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNPAVED AREAS PRIOR TO INSTALLING PLANTING OPERATIONS. THE CONTRACTOR SHALL VERIFY/REPLACE AND UNPAVED AREAS, ETC. WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SEED AND GRASSING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AAS 2011, AMERICAN STANDARD FOR WAREHOUSE STOCK. BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
11. REFER TO PLAN FOR SURVEY FOR LEGAL DESCRIPTION, BOUNDARY EVIDENCES AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL, ON THIS PLANNING AREA, REPRESENTS THE INTENTION AND INTEREST OF THE PROPERTY LANDLORDS.

[illegible]



FIRST FLOOR PLAN

FLOOR PLAN NOTES LEGEND

- [illegible]

NOTE: ALL EXTENSION WALLS WILL BE SUBMITTED TO
 5300 AND REPAIRED WITH MPH OPERATIONS.
 INSULATION AND GLAZING SET SECTIONS.
 ELEVATIONS AND WALL TYPES FOR HONE
 IN CLASHION.

WALL LEGEND

EXTENDING WALL

REINFORCED CONCRETE WALL

NON-REINFORCED

22222222



AGENDA SECTION: Second Reading – ZPS

SUBJECT: Map Amendment and Tentative Plat of Subdivision – Case A-44-2017
540 W. Ogden Avenue – 4 Acre R-4 Lot
Request to Subdivide and Amend into Eight R-4 Lots and One O-2 Lot

MEETING DATE: April 17, 2018

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance approving a Plat of Subdivision Kensington School (540 W. Ogden Avenue); and

Approve an Ordinance amending the Official Zoning Map of the Village of Hinsdale relative to the rezoning of property located at 540 W. Ogden Avenue.

Background

The Village of Hinsdale has received an application from Charles Marlas, of Kensington School, requesting approval for a Map Amendment and concurrent Tentative Plat of Subdivision at 540 W. Ogden Avenue. The subject property has been vacant for over 10 years, is currently zoned R-4 Single Family Residential and is 172,640 SF (4 acres) in area.

The application proposes to subdivide 1.74 acres of the northern half of the lot facing Ogden Avenue, and amend the zoning from R-4 residential to an O-2 office district. On Ogden Avenue, the subject property would be east of an O-2 parcel at 550 W. Ogden Avenue and southwest of an O-2 parcel at 501 W. Ogden Avenue. Per the code, the bulk and height regulations of the O-2 district encourage development that is architecturally consistent with smaller sites and compatible with nearby residential uses.

The land use to the east and south of the proposed residential lots are R-4 residential. The entrance into the proposed new cul-de-sac is on Monroe Street. The permitted height of single family homes in the R-4 district is 3 stories/35 feet, and taller than the planned 1-story/23 foot tall Kensington School at the northern half of the lot.

The applicant has submitted a Traffic Impact Study (TIS) for the proposed Kensington School and 8 code compliant R-4 residential lots. As referenced in the applicant's neighborhood meeting summary letter, there are concerns regarding the terms, "preschool" compared to "child daycare", based on the February 14, 2018, Plan Commission (PC) public hearing discussions. To clarify, the TIS data for the proposed development plan is based on this description:

"The site is to be developed with eight single-family homes on the south side of the site and an approximate 15,000 square-foot Kensington School on the north side of the site. As proposed, the school will provide a full-day preschool program with a maximum enrollment of 150 students and approximately 21 to 23 staff members that will operate between 6:30 A.M. and 6:30 P.M. According to the operator, most

students will be dropped off between 6:30 and 8:30 A.M. and picked up between 3:30 and 6:00 P.M. All parents will be required to park and walk their child to and from the school. The school will have a total of 39 parking spaces."

Per the TIS, on page 14, the traffic generation estimates are based on the existing Kensington School in Elmhurst, Illinois, surveyed on Wednesday, December 9, 2015, during the morning (6 AM to 9 AM) and evening (4 PM to 6 PM) peak periods. The estimated Kensington School generated traffic volumes are 108 vehicle trips in the morning peak hour and 112 vehicle trips in the evening peak hour. More detailed existing traffic volume and development generated peak hour traffic volume data tables are on pages 26 and 27, respectively. The KLOA TIS conclusion is on page 29.

The applicant has also applied for a separate Final Plat of Subdivision, Special Use Permit and Exterior Appearance/Site Plan review to construct a new 15,000 SF, 23-foot tall, one-story child daycare school (Case A-12-2018). The PC, on March 14, 2018, scheduled the Public Hearing for the April 11, 2018, PC meeting, to review these applications.

Discussion & Recommendation

At the PC public hearing on February 14, 2018, the applicant presented the request, with most of the discussion based on traffic, parking and the services provided by Kensington School. Per the applicant, the proposed Kensington School will be modeled after its current location in Elmhurst, Illinois. The hours of operation are between 6:30 AM to 6:30 PM on weekdays, and the school is closed on the weekend. The population of the school was stated to be approximately 150 students with 22 to 24 staff members. The hours of operation and school size is consistent with the attached traffic impact study prepared by the applicant's traffic consultant KLOA.

There were approximately 11 residential neighbors near the subject property who spoke and stated their concerns for the proposed application at the public hearing. The essence of the concerns revolved around additional traffic in the area, additional parking on the neighborhood streets, and the uncertainty of the future use of the building.

Prior to continuing the public hearing for the March 14, 2018, PC meeting, the PC recommended that the applicant organize a neighborhood meeting before the next hearing. On February 27, 2018, the applicant organized a neighborhood meeting at a resident's home. A summary of the neighborhood meeting was submitted by the applicant.

At the PC public hearing on March 14, 2018, the applicant presented its site plan changes since the last public hearing, including achieving 39 parking spaces (code compliant), moving the refuse area away from the residential district (on the east end of the subject property to the west end), and adding a loading zone.

Six (6) neighborhood residents spoke against the application, citing for example: increased traffic; that changes in the assumptions used in the traffic report could drastically alter the conclusions of the report; and some neighbors stated when they purchased their home, the Village told them the subject property will stay R-4 Single Family Residential.

During the PC discussion, the Commissioners in favor of the application referenced: there is a need for child daycare schools in Hinsdale; increased traffic would be minimal; the subject property has been vacant and eyesore for many years; the proposed school building looks good; and it is a good compromise for being half residential and half "buffer" between the residential district and Ogden Avenue.

The Commissioners opposed to the application referenced: support for the current zoning (R-4) to remain R-4 and an increased parking and traffic issue due to the request.

On March 14, 2018, the PC approved to recommend the application, 4-3 (2 absent), the Map Amendment and concurrent Plat of Subdivision to subdivide and rezone approximately 1.74 acres to an O-2 Limited Office District and subdivide approximately 2.26 acres into 8 R-4 Single Family District lots. On April 11, 2018, the PC unanimously approved the Findings and Recommendations, 5-0 (4 absent).

Village Board and/or Committee Action

At the April 3, 2018, Board of Trustees meeting, the Village Board had no concerns with the application and moved the item forward for Second Reading.

Please note, the Village Board asked for traffic data to compare the numbers of before and after the parking lot license with Manor Care terminated on March 28, 2018. Unfortunately, a construction project closed a section of the roadway in the immediate area and impacted the traffic, and thereby skewed the data (Attachment 1). Staff recommends setting the counters back when the construction project is completed and will share the results with the Board.

Documents Attached

Ordinances

1. Traffic Survey Memo – dated April 12, 2018

The following related materials were provided for the Board of Trustees of this item on April 3, 2018, and can be found on the Village website at:

http://cms4.revize.com/revize/hinsdale/document_center/VillageBoard/2018/04%20APR/vbot%20packet%2004%2003%2018.pdf

Map Amendment, Subdivision and PC Applications for (8) R-4 Lots and (1) O-2 Lot
Traffic Impact Study by KLOA (dated March 8, 2018)
PC Public Hearing Transcript on February 14, 2018
Neighborhood Meeting Summary by the Applicant – dated February 28, 2018
PC Public Hearing Transcript on March 14, 2018
Draft PC Findings and Recommendations
Zoning Map and Project Location
Zoning Map highlighting the O-2 District locations
Zoning Code Section 6-101 Purposes: Office Districts
Zoning Code Section 6-103: Office Districts Permitted Uses and 6-106 Special Uses
Parcel Aerial Map and Birds Eye View of 540 W. Ogden Avenue
Neighborhood Resident support/concern emails

VILLAGE OF HINSDALE

ORDINANCE NO. _____

AN ORDINANCE APPROVING A PLAT OF SUBDIVISION
KENSINGTON SCHOOL
(540 WEST OGDEN AVENUE)

WHEREAS, Kensington School (the "Applicant"), proposed successor in interest to MIH, LLC, current owner of 540 West Ogden Avenue, Chicago, Illinois (the "Property"), filed an application on January 2, 2018, seeking approval for the resubdivision of the Property in a manner that will allow development of the Property, as shown on the Tentative Plat of Resubdivision attached hereto and made a part hereof as **Exhibit A** ("Plat of Subdivision") and

WHEREAS, the Village of Hinsdale Plan Commission has considered all of the matters related to the Tentative Plat of Subdivision, and has recommended approval by the Board of Trustees; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale, having reviewed the Tentative Plat of Subdivision for the Property and having found it to be in conformity with the subdivision and other ordinances of the Village, find that approval of the Tentative Plat of Subdivision will be in the best interests of the Village of Hinsdale.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Tentative Plat of Subdivision Approval. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and Section 11-1-8 of the Village Code of the Village of Hinsdale, approves and accepts the attached Tentative Plat of Subdivision, incorporated into this Ordinance as **Exhibit A**.

SECTION 3: Conditions. The Applicant, Kensington School, is the proposed successor in interest to MIH, LLC, the current owner of the Property. The approvals given in this Ordinance to the tentative plat, are specifically conditioned on the acquisition of the Property by the Applicant. Should the Applicant fail to acquire the Property from MIH, LLC, this Ordinance, and Tentative Plat of Subdivision approval, shall be null and void and of no further force or effect. In such event, the President and Board of Trustees shall repeal this Ordinance.

SECTION 4: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section,

paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 5: Effective Date. Subject to the condition set forth in Section 3 above, this Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

ADOPTED this _____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2018, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2018

EXHIBIT A

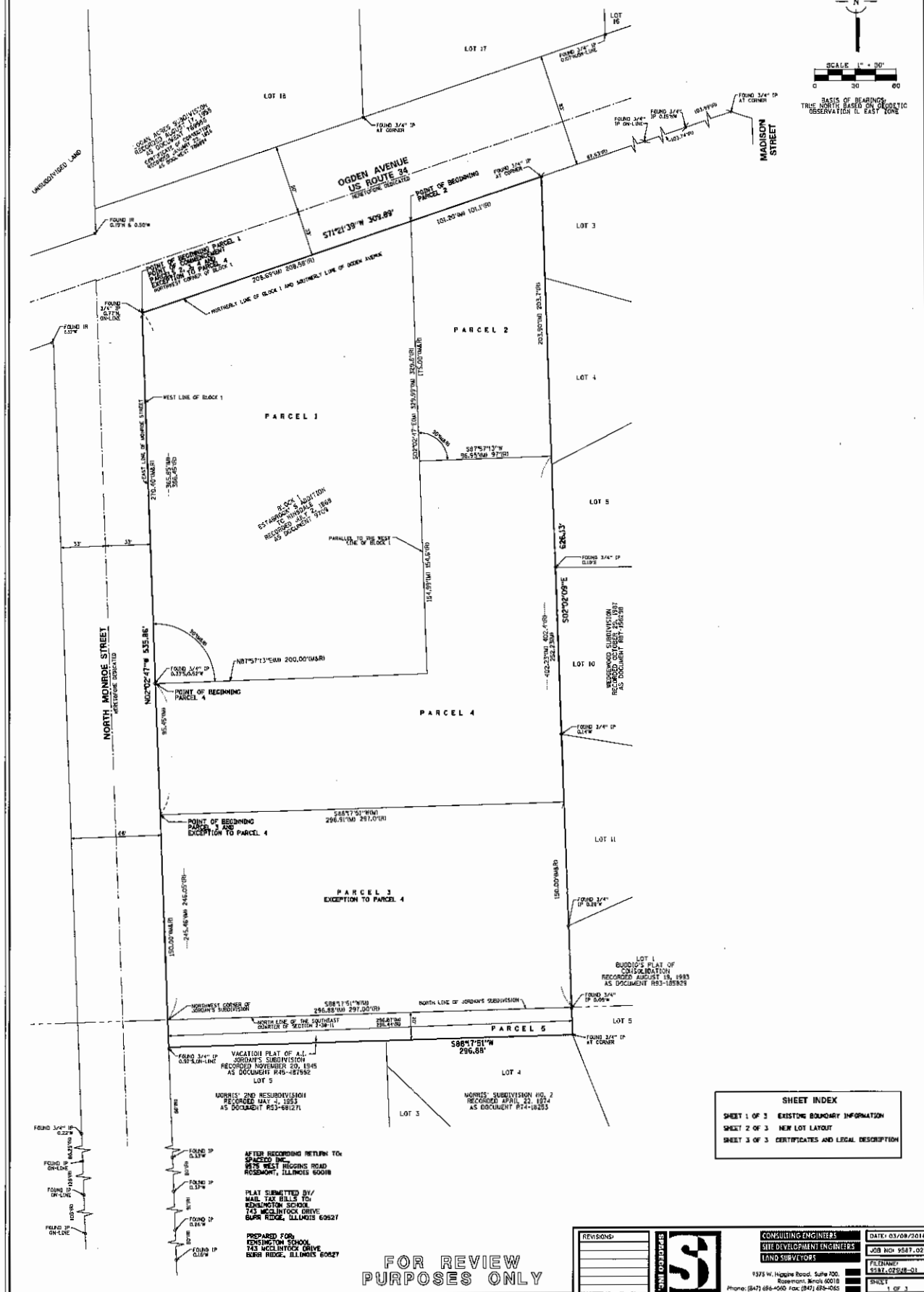
**APPROVED PLAT OF SUBDIVISION
(ATTACHED)**

P.F.M.
09-02-213-001
09-02-404-030

SCALE 1" = 30'

A horizontal scale bar with alternating black and white segments. It is labeled with '0', '30', and '60' at the bottom. Above the bar, the text 'SCALE 1" = 30'' is written.

BASIS OF BEARINGS;
TRUE NORTH BASED ON GEODETIC
OBSERVATION (EAST ZONE)



FOR REVIEW
PURPOSES ONLY

REVISIONS



CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEER

LAND SURVEYORS

9575 W. Wisconsin Blvd., Suite 200

Rosemont, Ariz 86018

DATE: 03/08/2018

00 000 000 00

doi:10.1002/for

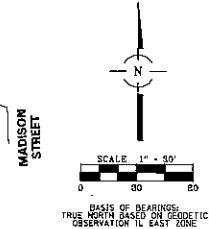
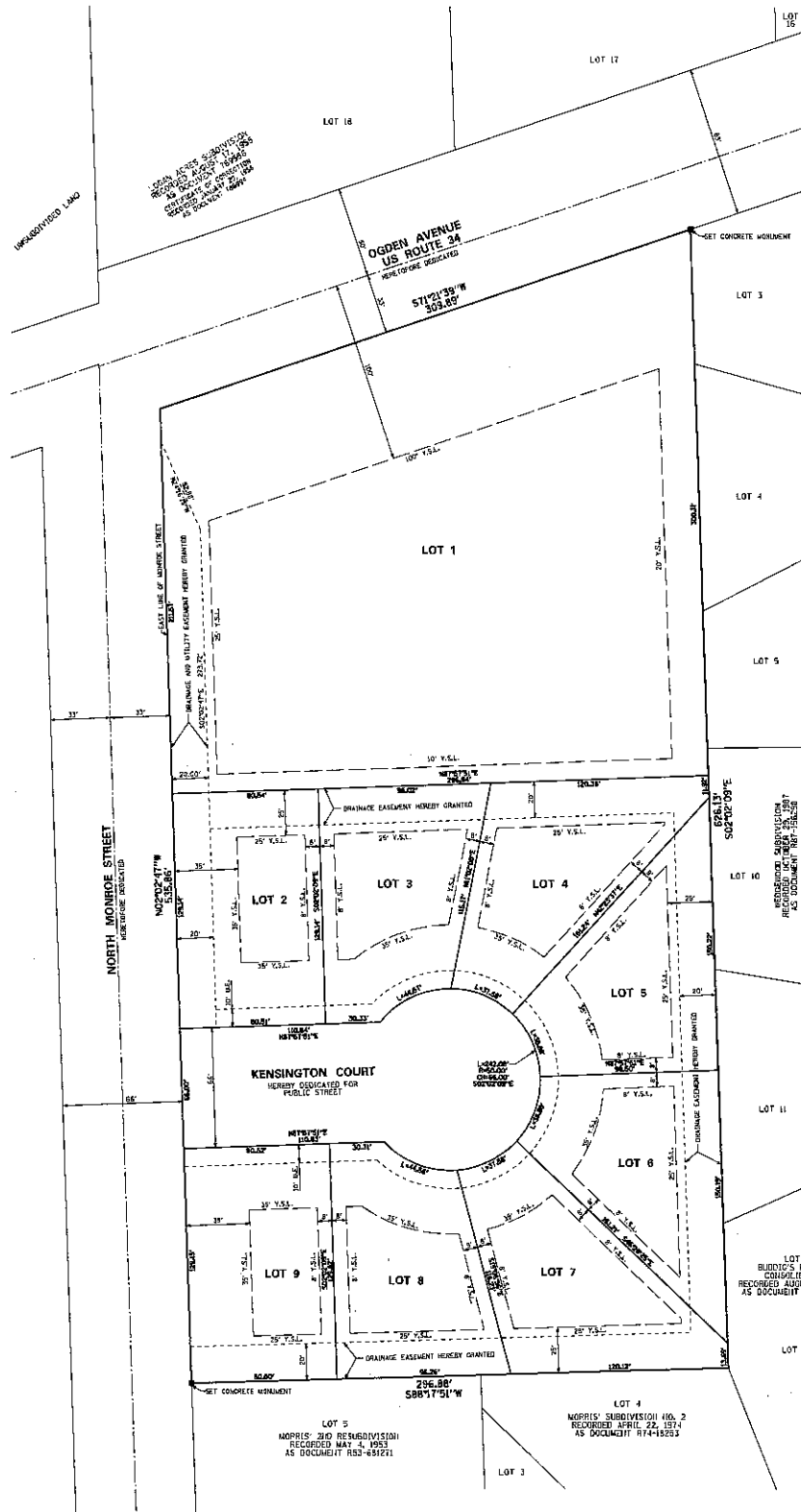
5587, 07548-01

545

FINAL PLAT OF KENSINGTON SUBDIVISION

BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF
SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS
NEW LOT LAYOUT

PLAT
09-19-213-001
09-02-005-010



LOT NUMBER	SQ. FT.	ACRES
1	15,973	1.744
2	10,450	0.239
3	10,004	0.229
4	10,310	0.237
5	10,110	0.222
6	10,309	0.227
7	10,476	0.241
8	10,001	0.235
9	10,417	0.228
10	10,416	0.228
11	10,416	0.228
12	10,416	0.228
TOTAL	172,013	3.960

SURVEYOR'S NOTES:
1. STEEL RE-ENFORCING RODS UNLESS OTHERWISE NOTED
WILL BE SET AT ALL LOT CORNERS.

LEGEND:
U.E. = UTILITY EASEMENT HEREBY GRANTED
Y.S.L. = YARD SETBACK LINE HEREBY ESTABLISHED

PREPARED FOR:
KENSINGTON SCHOOL
741 WOOD LUTHER DRIVE
DUPAGE COUNTY, ILLINOIS 60527

FOR REVIEW
PURPOSES ONLY

REVISIONS:	DATE: 03/09/2018
03/26/18-LOT 11	
04/10/18-LOT 11	
LAND SURVEYORS	JOB NO: 8887-02
CONSULTING ENGINEERS	FILENAME: 8887_02SUB-01
DATE: 03/09/2018	
9375 W. Higgins Road, Suite 700 Rosemont, Illinois 60018 Phone: (847) 496-4060 Fax: (847) 496-4065	
2 OF 3	

VILLAGE OF HINSDALE

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE VILLAGE OF
HINSDALE RELATIVE TO THE REZONING OF PROPERTY LOCATED AT
540 WEST OGDEN AVENUE**

WHEREAS, an application (the "Application") to amend the Official Zoning Map of the Village of Hinsdale by changing the zoning of Property located at 540 West Ogden Avenue from a single R-4 Single Family Residential District Zoning lot to eight (8) R-4 Single Family Residential Zoning District lots and one (1) O-2 Limited Office Zoning District lot (the "Proposed Map Amendments") has been filed with the Village by Kensington School (the "Applicant") pursuant to Section 11-601 of the Hinsdale Zoning Code; and

WHEREAS, the Application was referred to the Plan Commission of the Village for consideration and a hearing, and has otherwise been processed in accordance with the Hinsdale Zoning Code, as amended; and

WHEREAS, the property to be rezoned through the Proposed Map Amendments (the "Property") is generally described as the existing R-4 residential lot located at 540 West Ogden Street, which has been subdivided pursuant to a Plat of Subdivision separately approved by the Village (the "Subdivision"). The Property is legally described in **Exhibit A** attached hereto and made a part hereof; and

WHEREAS, the Property application was concurrently submitted with an application for Plat of Subdivision of the Property, and the Plat of Subdivision is considered in a separate ordinance; and

WHEREAS, on February 14, 2018, the Plan Commission held a public hearing on the Application pursuant to notice thereof properly published in *The Hinsdalean*, and, after considering all of the testimony and evidence presented at the public hearing, the Plan Commission recommended approval of the Proposed Map Amendments by a vote of 4 in favor, 3 against and 2 absent, all as set forth in the Plan Commission's Findings and Recommendation for Plan Commission Case No. A-44-2017 ("Findings and Recommendation"), a copy of which is attached hereto as **Exhibit B** and made a part hereof; and

WHEREAS, the President and Board of Trustees of the Village have duly considered the Findings and Recommendation of the Plan Commission and the factors set forth in Section 11-601(E) of the Hinsdale Zoning Code and all of the facts and circumstances affecting the Application.

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

Section 1: Incorporation. Each whereas paragraph set forth above is incorporated by reference into this Section 1.

Section 2: Findings. The President and Board of Trustees, after considering the Findings and Recommendation of the Plan Commission, recommendation of the Zoning and Public Safety Committee and other matters properly before it, adopts and incorporates the Findings and Recommendation of the Plan Commission as the findings of this President and the Board of Trustees, as completely as if fully recited herein at length. The President and Board of Trustees further find that the Proposed Map Amendment is demanded by and required for the public good.

Section 3: Map Amendments. Pursuant to the authority granted under Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, et seq.) and the Hinsdale Zoning Code, the President and Board of Trustees of the Village of Hinsdale approve the Proposed Map Amendments, and the Official Zoning Map of the Village of Hinsdale, DuPage and Cook Counties, Illinois, as amended, is further amended by changing the zoning classification of the Property described in **Exhibit A** from a single R-4 Single Family Residential District Zoning lot to eight (8) R-4 Single Family Residential Zoning District lots and one (1) O-2 Limited Office Zoning District lot, subject to the condition set forth in Section 4 below.

Section 4: Condition on Approval. The Applicant, Kensington School, is the proposed successor in interest to MIH, LLC, the current owner of the Property. The approvals given in this Ordinance for the map amendment are specifically conditioned on the acquisition of the Property by the Applicant. Should the Applicant fail to acquire the Property from MIH, LLC, this Ordinance, and the map amendment approval, shall be null and void and of no further force or effect. In such event, the President and Board of Trustees shall repeal this Ordinance.

Section 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

Section 6: Effective Date. Subject to the condition set forth in Section 4 above, this Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

ADOPTED this _____ day of _____, 2018, pursuant to a roll call vote as follows:

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED by me this _____ day of _____, 2018, and attested to by the Village Clerk this same day.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Village Clerk

EXHIBIT A

DESCRIPTION OF PROPERTY BEING REZONED

PARCEL 1

A TRACT OF LAND IN BLOCK 1 OF ESTABROOK'S ADDITION TO HINSDALE, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 1, AFORESAID; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK 1 (BEING THE EAST LINE OF MONROE STREET) 270.4 FEET; THENCE EASTERLY AT RIGHT ANGLES TO THE WEST LINE OF SAID BLOCK 1, 200 FEET; THENCE NORTH PARALLEL TO THE WEST LINE OF SAID BLOCK 1, 329.6 FEET TO THE NORTH LINE OF SAID BLOCK 1 (BEING THE SOUTHERLY LINE OF ODGEN AVENUE); THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID BLOCK 1, 208.58 FEET TO THE POINT OF BEGINNING, A SUBDIVISION IN THE NORTHEAST $\frac{1}{4}$ SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 1868 AS DOCUMENT 9709 IN DUPAGE COUNTY, ILLINOIS

PARCEL 2

A TRACT OF LAND IN BLOCK 1 OF ESTABROOK'S ADDITION TO HINSDALE, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF BLOCK 1, AFORESAID; THENCE NORTHEASTERLY ALONG THE NORTHERLY LINE OF SAID BLOCK 1, 208.58 FEET FOR A POINT OF BEGINNING; THENCE SOUTH PARALLEL TO THE WEST LINE OF BLOCK 1, 175 FEET TO AN IRON PIPE; THENCE EAST AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE A DISTANCE OF 97 FEET; THENCE NORTH PARALLEL TO THE WEST LINE OF

BLOCK 1, 203.7 FEET TO THE NORTH LINE OF SAID BLOCK 1; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID BLOCK 1, 101.1 FEET TO THE POINT OF BEGINNING, A SUBDIVISION IN THE NORTHEAST $\frac{1}{4}$ OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 1868 AS DOCUMENT 9709 IN DUPAGE COUNTY, ILLINOIS

PARCEL 3

PART OF BLOCK 1 OF ESTABROOK'S ADDITION TO HINSDALE, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 1; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 1, FOR A DISTANCE OF 366.45 FOR A POINT OF BEGINNING, THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 1 FOR A DISTANCE OF 150.0 FEET TO THE NORTHWEST CORNER OF JORDAN'S SUBDIVISION, THENCE EASTERLY ALONG THE NORTH LINE OF SAID JORDAN'S SUBDIVISION FOR A DISTANCE OF 297.00 FEET, THENCE NORTHERLY PARALLEL TO THE WEST LINE OF SAID BLOCK 1 FOR A DISTANCE OF 150.0 FEET; THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID JORDAN'S SUBDIVISION FOR A

DISTANCE OF 297.0 FEET TO THE POINT OF BEGINNING, A SUBDIVISION IN THE NORTHEAST $\frac{1}{4}$ OF SECTION 2, TOWNSHIP 38 NORTH RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 1868 AS DOCUMENT 9709 IN DUPAGE COUNTY, ILLINOIS

PARCEL 4

A TRACT OF LAND IN BLOCK 1 OF ESTABROOK'S ADDITION TO HINSDALE, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF BLOCK 1, AFORESAID; THENCE SOUTH ALONG THE WEST LINE OF SAID BLOCK 1, 270.4 FEET FOR A POINT OF BEGINNING; THENCE EAST AT RIGHT ANGLES TO THE WEST LINE OF BLOCK 1, 200 FEET; THENCE NORTH PARALLEL TO THE WEST LINE OF SAID BLOCK 1, 154.6 FEET; THENCE EAST AT RIGHT ANGLES, 97 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF BLOCK 1, 402.4 FEET TO THE NORTH LINE OF JORDAN'S SUBDIVISION; THENCE WEST ALONG THE NORTH LINE OF JORDAN'S SUBDIVISION, 297 FEET TO THE NORTHWEST CORNER OF JORDAN'S SUBDIVISION; THENCE NORTH ALONG THE WEST SIDE OF BLOCK 1, 246.05 FEET TO THE POINT OF BEGINNING (EXCEPT THAT PART OF BLOCK 1 OF ESTABROOK'S ADDITION TO HINSDALE DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 1; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 1, FOR A DISTANCE OF 366.45 FEET FOR A POINT OF BEGINNING; THENCE SOUTHERLY ALONG THE WEST LINE OF SAID BLOCK 1 FOR A DISTANCE OF 150.0 FEET TO THE NORTHWEST CORNER OF JORDAN'S SUBDIVISION; THENCE EASTERLY ALONG THE NORTH LINE OF JORDAN'S SUBDIVISION FOR A DISTANCE OF 297.0 FEET; THENCE NORTHERLY PARALLEL TO THE WEST LINE OF SAID BLOCK 1 FOR A DISTANCE OF 150.0 FEET; THENCE WESTERLY PARALLEL TO THE NORTH LINE OF SAID JORDAN'S SUBDIVISION FOR A DISTANCE OF 297.0 FEET TO

THE POINT OF BEGINNING), A SUBDIVISION IN THE NORTHEAST $\frac{1}{4}$ OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN. ACCORDING TO THE PLAT THEREOF RECORDED JULY 2, 1868 AS DOCUMENT 9709 IN DUPAGE, COUNTY, ILLINOIS

PARCEL 5

THE NORTH 20 FEET OF THE WEST 296.44 FEET IN VACATION PLAT OF A.I. JORDAN'S ADDITION TO HINSDALE, A SUBDIVISION OF THAT PART OF BLOCK 1 LYING IN THE SOUTH EAST $\frac{1}{4}$ OF SECTION 2, ALL IN ESTABROOK'S ADDITION TO HINSDALE, IN THE EAST $\frac{1}{2}$ OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID VACATION, RECORDED NOVEMBER 20, 1945 AS DOCUMENT 487552, IN DUPAGE COUNTY, ILLINOIS

PIN Number: 09-02-213-001 (Parcels 1-4)
09-02-405-030 (Parcel 5)

EXHIBIT B

FINDINGS OF FACT AND RECOMMENDATION OF THE PLAN COMMISSION

(ATTACHED)

HINSDALE PLAN COMMISSION

RE: Case A-44-2017 – Applicant: Kensington School – 540 W. Ogden Avenue

Request: Tentative Plat of Subdivision and Map Amendment from (1) R-4 Lot to (1) O-2 Lot and (8) R-4 Lots (Village Code 11-1-7 and Zoning Code 11-601, respectively)

DATE OF PLAN COMMISSION (PC) REVIEW: February 14, 2018, and March 14, 2018

DATE OF BOARD OF TRUSTEES 1ST READING: April 3, 2018

FINDINGS AND RECOMMENDATION

I. FINDINGS

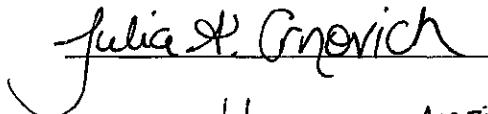
1. The PC heard testimony from the applicant on February 14, 2018, by Mr. Charles Marlas, on behalf of Kensington School. He reviewed the plan to subdivide the existing 4 acre R-4 Single Family Residential District lot, for 8 code compliant R-4 lots (totaling 2.26 acres), and one (1.74 acre) O-2 lot, and concurrent map amendment application. The applicant reviewed the days and hours of operation for the proposed child daycare school, potential client locations, number of staff/children, and pick-up/drop-off times, for the Kensington School daycare center on the potential O-2 lot. (Attachment 1 – 02.14.18 Public Hearing Transcript) (11-1-7 and 11-601)
2. A Plan Commissioner asked if there is a difference in traffic between the former requested site at 525-527 W. Ogden Avenue and the current site at 540 W. Ogden Avenue. For 540 W. Ogden Avenue, the applicant reviewed that I-DOT is not in favor of a left turn out of the subject property onto Ogden Avenue. Thus, they are not seeking a request for a left turn out of the potential school. The applicant reiterated the proposed daycare ingress/egress in relation to Ogden Avenue is: right in, right out and left in. (11-601)
3. A Plan Commissioner asked the applicant why the map amendment request is from an R-4 to an O-2, as compared to the IB District across the street. The applicant responded that child daycare is a special use in the O-2 District, versus the IB District, requiring a text amendment since it is not a permitted or special use. (11-601)
4. A Plan Commissioner asked about the Map Amendment application (standards) response for the "project will improve public utilities/water management for the site and alleviate stormwater management issues at Madison between Ogden and North Avenues". The applicant explained that it was the Village's desire (should this project move forward), for stormwater utilities from Madison street, through the subject property, into an onsite storage vault under the parking lot or behind the planned playground, that would slowly release across Ogden Avenue. (11-601)
5. The applicant clarified that the proposed Kensington School is not a preschool, which may have long lines for drop-off and pick-up, due to a set start and end time. Mr. Marlas stated that they've experienced a slow steady stream of pick-up and drop-off, due to varying parent work schedules at the Kensington School in Elmhurst, with the same proposed parking spaces, building size, number of students and staff. The applicant's traffic consultant, KLOA senior staff member, Mr. Michael Werthmann, reviewed the traffic difference between a preschool and daycare, and emphasized that the proposed schools pick-up/drop-off period is spread out between a 2.5 to 3 hour period. Mr. Werthmann also stated that the majority of the families will live in Hinsdale and Clarendon Hills, so that they do not need to make the left or right turn onto Ogden Avenue, and will approach the school through Monroe Street. He explained Monroe Street has the traffic capacity for the school, but acknowledged that there will be additional traffic on Monroe Street. It was pointed out however, that Monroe Street carries only about 50-60% of the traffic Madison Street currently does. (11-601)
6. Chairman Cashman expressed strongly against not meeting the minimum parking requirements, and would like to see the parking lot reconfigured to comply with the Code, including a loading area space. (11-601)
7. There were approximately 11 residential neighbors (near the subject property) who spoke and stated their concerns of the proposed application. The essence of the concerns revolved around the potential additional traffic and parking in the neighborhood streets, and unknown future use of the building if Kensington leaves. (11-601)
8. The PC recommended the applicant host a neighborhood meeting, including with ManorCare (600 Ogden Ave.) and Hinsdale Orthopedics, to discuss the issues raised by the neighbors before the next PC meeting. The PC continued the public hearing on February 14, 2018, for the March 14, 2018, PC meeting. The applicant organized a neighborhood meeting on February 27, 2018, at a neighbor's home, where further discussion related to traffic, parking and services by Kensington School continued. (Attachment 2 – 02.14.18 Summary by Applicant)

9. At the March 14, 2018, PC meeting, the applicant presented to the PC, the site plan changes since the last public hearing, including achieving 39 parking spaces (code compliant), moving the refuse area away from the residential district (on the east end of the subject property to the west end), and adding a loading zone. (Attachment 3 – 03.14.18 Public Hearing Transcript) (11-601)
10. The applicant and applicant's traffic consultant, KLOA senior staff member, Mr. Michael Werthmann reviewed the Traffic Impact Study (TIS) for the proposed Kensington School and 8 code compliant R-4 residential lots. The report defined the development as, "The site is to be developed with eight single-family homes on the south side of the site and an approximate 15,000 square-foot Kensington School on the north side of the site. As proposed, the school will provide a full-day preschool program with a maximum enrollment of 150 students and approximately 21 to 23 staff members that will operate between 6:30 A.M. and 6:30 P.M. According to the operator, most students will be dropped off between 6:30 and 8:30 A.M. and picked up between 3:30 and 6:00 P.M. All parents will be required to park and walk their child to and from the school. The school will have a total of 39 parking spaces."
Per the TIS, the traffic generation estimates are based on the existing Kensington School in Elmhurst, Illinois, surveyed on Wednesday, December 9, 2015, during the morning (6 AM to 9 AM) and evening (4 PM to 6 PM) peak periods. The estimated Kensington School generated traffic volumes are 108 vehicle trips in the morning peak hour and 112 vehicle trips in the evening peak hour. (11-601)
11. In regards to the loading zone, staff's memo stated that the PC and Board may consider *not* requiring a loading zone if they believe it would be a detriment to the use of the property or surrounding area, through the Special Use permit application. The Village Attorney reiterated this at the meeting as a potential consideration by the PC and Board. (11-601)
12. A Commissioner asked what type of deliveries Kensington School receives. The applicant responded they receive deliveries by panel truck/van for their catered lunch. (11-601)
13. Six (6) neighborhood residents spoke against the application, citing for example: increased traffic due to the request; changes in the assumptions used in the traffic report could drastically alter the conclusions of the report; and a couple of neighbors stated when they purchased their home, the Village told them the subject property is and will stay R-4 Single Family Residential (therefore the subject property should remain R-4). (11-601)
14. During the PC discussion, the Commissioners in favor of the application referenced: there is a need for child daycare schools in Hinsdale; the increased traffic would be minimal; the subject property has been vacant and has been an eyesore for many years; the proposed school building looks good; and it is a good compromise for being half residential and half "buffer" between the residential district and Ogden Avenue. The Commissioners in favor found that overall, the proposed map amendment was required for the good of the Village and public, and approval of the subdivision and map amendment were in the best interests of the Village. (11-601)
15. The Commissioners opposed of the application referenced: support for the current zoning (R-4) to remain R-4 Single Family Residential, and there will be an increase in traffic due to the request. The Commissioners opposed did not believe the map amendment was in the best interests of the public. (11-601)

II. RECOMMENDATIONS

Following a motion to recommend approval of the proposed Map Amendment and Tentative Plat of Subdivision as submitted, the Village of Hinsdale Plan Commission, on a vote of four (4) "Ayes", three (3) "Nays", and two (2) "Absent," recommends that the President and Board of Trustees approve the application as submitted.

THE HINSDALE PLAN COMMISSION By:

 , Chairman Acting
Dated this 11 day of April, 2018.



MEMORANDUM

DATE: April 12, 2018
TO: Kathleen Gargano, Village Manager
FROM: Brian King, Chief of Police
RE: Traffic Survey Monroe & North

At the April 3rd Village Board meeting staff was directed to collect traffic counts at intersection of North Avenue and Monroe. The purpose of the count was to examine the effect of the removal of parking of 540 West Ogden.

The counters were placed the week of April 9th. Unfortunately, a construction project closed a section of the roadway on the north leg of the intersection which significantly impacted the travel patterns and invalidated the data. I recommend that the counters be returned to the intersection when the project is completed.

**REQUEST FOR BOARD ACTION**
Community Development

AGENDA SECTION: Second Reading – ZPS

SUBJECT: Major Adjustment to Planned Development for use of Hardie Siding in lieu of Stucco and the addition of new elevations for the 64-Unit Residential Planned Development (A-25-17)
Hinsdale Meadows, LLC (Case A-04-18)

MEETING DATE: April 17, 2018

FROM: Chan Yu, Village Planner

Recommended Motion

Approve an Ordinance approving a Major Adjustment to a Planned Development – Hinsdale Meadows Southeast Corner of 55th Street and County Line Road – Hinsdale Meadows, LLC.

Background

On December 11, 2017, the Board of Trustees approved Ordinance O2017-52, approving a Detailed Plan for a 64-unit residential Planned Development, at the southeast corner of 55th Street and County Line Road for Hinsdale Meadows, LLC. Per the Detailed Plan, the proposed exterior materials included primarily stucco and brick.

This Major Adjustment application requests to use Hardie siding and stone for the home façade in lieu of stucco and brick. Per the applicant, Hinsdale Meadows, LLC, it is their experience, along with feedback from potential customers and prominent local real estate brokers, that Hardie siding will be an attractive feature for their customers.

Per the applicant, Hardie siding is manufactured by the James Hardie company, and offers a 10-year manufacturer's warranty on the material. The applicant states that Hardie siding requires minimal repairs, and the material can last throughout the life of the home. The use of this long-lasting material is consistent with the underlying premise for an age-targeted, low-maintenance Hinsdale Meadows community.

Discussion & Recommendation

At the April 11, 2018, Plan Commission (PC) meeting, the applicant reviewed each side-by-side comparison of the requested building material and elevation changes. The PC was supportive for the requested changes, and unanimously recommended approval for the Major Adjustment to the Planned Development, 6-0 (3 absent).

Village Board and/or Committee Action

The applicant presented the request to the Board of Trustees at the March 6, and March 20, 2018, Village Board meetings. The Board of Trustees, at the March 20, 2018, Village Board meeting, referred the request to the PC for further hearing and review.

Documents Attached

Ordinance



REQUEST FOR BOARD ACTION

The following related materials were provided for the Board of Trustees of this item on March 6, 2018, and can be found on the Village website at:

http://www.villageofhinsdale.org/document_center/VBOT%20packet%2003%2006%2018.pdf

Major Adjustment Application and Exhibits

Approved Ordinance for Detailed Plan for Planned Development (dated 12.11.17)

Approved Exterior Building Material (Stucco) Elevations (per Ordinance O2017-52)

Zoning Map and Project Location

VILLAGE OF HINSDALE

ORDINANCE NO. _____

**AN ORDINANCE APPROVING A MAJOR ADJUSTMENT
TO A PLANNED DEVELOPMENT – HINSDALE MEADOWS (SOUTHEAST
CORNER OF 55TH STREET AND COUNTY LINE ROAD) –
HINSDALE MEADOWS, LLC**

WHEREAS, Hinsdale Meadows, LLC (the “Applicant”), has submitted an application (the “Application”) seeking a major adjustment to its existing approved planned development (the “Planned Development”) at what is now known as Hinsdale Meadows, a 24.5 acre site at the southeast corner of 55th Street and County Line Road, Hinsdale, Illinois (the “Subject Property”), located in the R-2 Single-Family Residential Zoning District; and

WHEREAS, the Village has previously approved the concept plans and a special use permit for the Planned Development in Ordinance No. O2017-08, passed and approved on March 7, 2017, and the detailed plans (including exterior appearance plans), associated waivers and variations, and a redevelopment agreement (the “Redevelopment Agreement”) for the Planned Development, in Ordinance No. O2017-52, passed and approved on December 11, 2017; and

WHEREAS, the Applicant now seeks approval of a major adjustment (the “First Major Adjustment”) to the approved plans for the Planned Development, pursuant to subsection 11-603(K)(2) of the Hinsdale Zoning Code (the “Application”). The First Major Adjustment proposes the use of Hardie siding in lieu of stucco and stone in lieu of brick for both the single-family and duplex units, along with certain minor changes to some of the exterior appearance plans/building elevations associated with the single-family and duplex residences within the Planned Development; and

WHEREAS, on March 20, 2018, the President and Board of Trustees, following initial consideration of the Application, referred it to the Plan Commission for consideration and review;

WHEREAS, the Plan Commission, on April 11, 2018, held a meeting at which the Application was discussed. Following presentations and discussion, the Plan Commission recommended approval of the Application. The revised exterior appearance plans/building elevations for the single-family and duplex units (collectively, the “Adjusted Plans”), are attached hereto and incorporated herein as **Group Exhibit A**; and

WHEREAS, the Application was recommended for approval by the Plan Commission on a vote of six (6) ayes and zero (0) nays, with three (3) members absent. The Findings and Recommendation of the Plan Commission are attached hereto as **Exhibit B** and made a part hereof; and

WHEREAS, the Board of Trustees of the Village have duly considered the Findings and Recommendation of the Plan Commission, and all of the materials, facts and circumstances affecting the Application, and find that the Application meets the standards set forth in Section 11-603 for approval of such adjustments, and will be in substantial conformity with the approved plan for the Planned Development, as amended, in conformance with Subsection 11-603(K)(2) of the Hinsdale Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

SECTION 1: Recitals. The foregoing recitals are incorporated into this Ordinance by this reference as findings of the President and Board of Trustees.

SECTION 2: Approval of First Major Adjustment to the Planned Development - Adjusted Plans. The Board of Trustees, acting pursuant to the authority vested in it by the laws of the State of Illinois and Subsection 11-603(K)(2) of the Hinsdale Zoning Code, approves the First Major Adjustment to the previously approved plans for the Planned Development for the Subject Property, to allow the use of Hardie siding in lieu of stucco and stone in lieu of brick for both the single-family and duplex units, along with certain minor changes to some of the exterior appearance plans/building elevations associated with the single-family and duplex residences within the Planned Development, all as detailed and depicted on the Adjusted Plans attached hereto and incorporated herein as **Exhibit A**. Said First Major Adjustment is approved subject to the conditions set forth in Section 3 of this Ordinance. The previous Ordinances giving approvals to the Planned Development, and the Final Plans, are hereby amended to the extent provided, but only to the extent provided, by the approval granted herein.

SECTION 3: Conditions on Approvals. The approval granted in Section 2 of this Ordinance is subject to the following conditions:

- A. **No Authorization of Work.** This Ordinance does not authorize the commencement of any work on the Subject Property. Except as otherwise specifically provided in writing in advance by the Village, no work of any kind shall be commenced on the Subject Property until all conditions of this Ordinance precedent to such work have been fulfilled and after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law, the previous approving Ordinances and the existing Redevelopment Agreement between the Village and Applicant.
- B. **Compliance with Plans.** All work on the Subject Property shall be undertaken in strict compliance with the approved plans and specifications, including the Adjusted Plans attached as **Exhibit A**.

- C. Compliance with Codes, Ordinances, and Regulations. Except as specifically set forth in this Ordinance, the previous approving Ordinances, and the Redevelopment Agreement between the Village and Applicant, the provisions of the Hinsdale Municipal Code and the Hinsdale Zoning Code shall apply and govern the development of the Subject Property. All such development shall comply with all Village codes, ordinances, and regulations at all times.
- D. Building Permits. The Applicant shall submit all required building and sign permit applications and other materials in a timely manner to the appropriate parties, which materials shall be prepared in compliance with all applicable Village codes and ordinances.

SECTION 4: Violation of Condition or Code. Any violation of any term or condition stated in this Ordinance, the previous approving Ordinances, the Redevelopment Agreement between the Parties, or of any applicable code, ordinance, or regulation of the Village shall be grounds for rescission by the Board of Trustees of the approvals set forth in this Ordinance.

SECTION 5: Severability and Repeal of Inconsistent Ordinances. Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

SECTION 6: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED this ____ day of _____ 2018.

AYES: _____

NAYS: _____

ABSENT: _____

APPROVED this ____ day of _____ 2018.

Thomas K. Cauley, Jr., Village President

ATTEST:

Christine M. Bruton, Deputy Village Clerk

ACKNOWLEDGEMENT AND AGREEMENT BY THE APPLICANT TO THE
CONDITIONS OF THIS ORDINANCE:

By: _____

Its: _____

Date: _____, 2018

EXHIBIT A

ADJUSTED PLANS

Hinsdale Meadows, LLC

April 3, 2018

Plan Commission, Village of Hinsdale
Kathleen Gargano, Village Manager
Robert McGinnis, Director of Community Development
Chan Yu, Village Planner

Re: Hinsdale Meadows – Major Adjustment to Planned Development

As you know, the Village Board of Trustees has reviewed our application for a major adjustment to a planned development, and has referred the matter back to the Plan Commission. The requested adjustments include changing the building materials to allow the use Hardie siding in lieu of stucco and stone in lieu of brick, along with certain other minor elevation revisions as outlined in our submittal, and the requested addition of an additional elevation for two of the approved single family model types. We have prepared the attached side by side comparison of the updated elevations versus the original approved elevations, and believe the updated elevations will be very appealing for the residents and the Village as a whole.

As outlined in our application to the Board, the request for the change is based on additional feedback and several requests for this architectural style from potential customers and prominent local real estate brokers. Additionally, since the time of our original submittal to the Village Board, we have also decided to request the use of stone for both the single family and the duplex villas. Our original application for the major change reflected the use of brick on the duplex villas, but we believe the consistent masonry style for both product types will be more attractive.

In addition to the use of stone for the duplex villas, two other minor revisions to our original application for the major change include the following:

1. Corrected the Ridgefield Shingle elevation to include the new dormer over the garage
2. Corrected the garage window detail on the New Haven Shingle elevation

We look forward to presenting the updated elevations and material samples at the Plan Commission public meeting on April 11th, and thank you for your ongoing assistance in the consideration of Hinsdale Meadows.

Sincerely yours,



Jerry James

CC: Edward R. James
Michael Balas



HINSDALE MEADOWS

PLANNED DEVELOPMENT ADJUSTMENT APPROVAL

**SIDE BY SIDE ELEVATION
COMPARISONS – PREVIOUS VS.
CURRENT**

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



HAMPTON RANCH SHINGLE



PREVIOUS RANCH ELEVATION

MODEL SPECIFIC REVISIONS FOR RANCH PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAIL IN TOP GABLE
- BLUE STONE PORCH IN LIEU OF BRICK

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



HAMPTON RANCH COTTAGE

NOTE: A SECOND RANCH
ELEVATION WAS NOT
PREVIOUSLY APPROVED

NOTE: REQUESTING TO ADD THE SECOND RANCH ELEVATION IN THE "COTTAGE STYLE", CONSISTENT WITH THE "COTTAGE STYLE" PREVIOUSLY APPROVED FOR THE REMAINING SINGLE FAMILY MODEL TYPES

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



NEW HAVEN SHINGLE STYLE



PREVIOUS NEW HAVEN ELEVATION A

MODEL SPECIFIC REVISIONS FOR NEW HAVEN PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAIL IN TWO TOP GABLES
- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED DORMER ON RIGHT SIDE ELEVATION IN BONUS ROOM OVER GARAGE
- DOUBLE WINDOW WITH TRIM DETAILS IN LIEU OF SINGLE WINDOW & REMOVED SHUTTERS ON FRONT SIDE OVER GARAGE

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



NEW HAVEN COTTAGE



PREVIOUS NEW HAVEN ELEVATION B

MODEL SPECIFIC REVISIONS FOR NEW HAVEN PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED DORMER ON RIGHT SIDE ELEVATION IN BONUS ROOM OVER GARAGE
- DOUBLE WINDOW WITH TRIM DETAILS IN LIEU OF SINGLE WINDOW & REMOVED SHUTTERS ON FRONT SIDE OVER GARAGE
- THREE FULL COLUMNS IN LIEU OF HALF COLUMNS ON PORCH, REMOVED BRICK BASE

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



RIDGEFIELD SHINGLE STYLE



PREVIOUS RIDGEFIELD ELEVATION A

MODEL SPECIFIC REVISIONS FOR RIDGEFIELD PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAILS ON GABLES
- BLUE STONE PORCH IN LIEU OF BRICK
- BONUS ROOM DORMER ABOVE GARAGE DOOR TO BE STANDARD, SEE EXAMPLE ON WOODBRIDGE ARTISTIC RENDERING
- DOUBLE WINDOW IN LIEU OF SINGLE WINDOW FOR BONUS ROOM, WITH MATCHING TRIM
- TWO FULL COLUMNS IN LIEU OF HALF COLUMNS ON PORCH, REMOVED BRICK BASE

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



RIDGEFIELD COTTAGE



PREVIOUS RIDGEFIELD ELEVATION B

MODEL SPECIFIC REVISIONS FOR RIDGEFIELD PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED BONUS ROOM DORMER ABOVE GARAGE DOOR

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



TORRINGTON SHINGLE



PREVIOUS TORRINGTON ELEVATION A

MODEL SPECIFIC REVISIONS FOR TORRINGTON PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAILS ON GABLES AND WINDOWS
- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED BONUS ROOM DORMER ON LEFT SIDE ELEVATION
- REVISED TRIM DETAIL ON PORCH COLUMNS

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



TORRINGTON COTTAGE



PREVIOUS TORRINGTON ELEVATION B

MODEL SPECIFIC REVISIONS FOR TORRINGTON PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAILS ON WINDOWS
- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED BONUS ROOM DORMER ON LEFT SIDE ELEVATION
- REVISED TRIM DETAIL ON PORCH COLUMNS, REMOVED ARCH
- CLIPPED AND HIP ROOF DETAILS OVER GARAGE AND DORMERS IN LIEU OF GABLES TO MATCH COTTAGE STYLE
- REVISED WINDOW STYLES FOR SECOND FLOOR

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



TORRINGTON NANTUCKET

NOTE: A THIRD TORRINGTON
ELEVATION WAS NOT
PREVIOUSLY APPROVED

NOTE: REQUESTING TO ADD THE THIRD TORRINGTON ELEVATION IN THE "NANTUCKET STYLE", TO ALLOW
FOR MORE ARCHITECTURAL DIVERSITY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



WOODBIDGE SHINGLE STYLE



PREVIOUS WOODBRIDGE ELEVATION A

MODEL SPECIFIC REVISIONS FOR WOODBRIDGE PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED TRIM DETAILS ON GABLES
- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED BONUS ROOM DORMER ABOVE GARAGE DOOR
- DOUBLE WINDOW WITH TRIM DETAILS IN LIEU OF SINGLE WINDOW & REMOVED SHUTTERS ON FRONT SIDE OVER GARAGE
- FOUR FULL COLUMNS IN LIEU OF HALF COLUMNS ON PORCH, REMOVED BRICK BASE

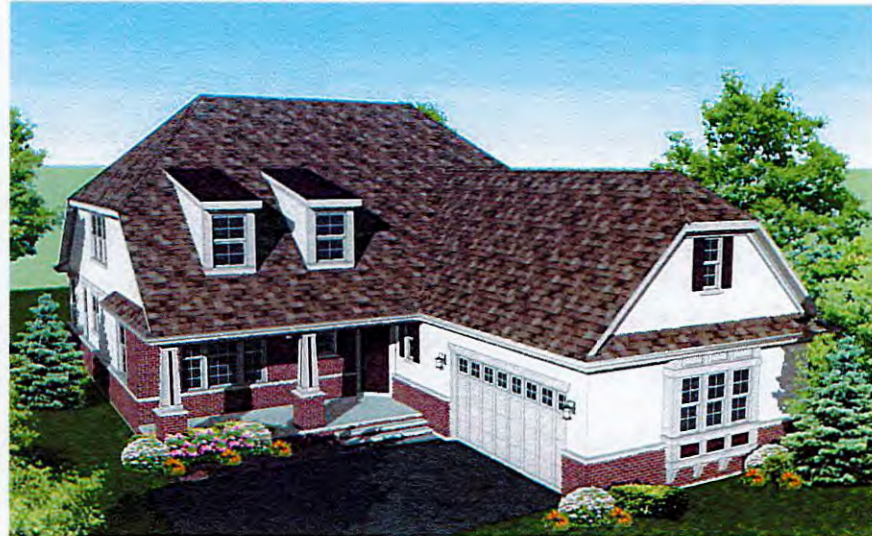
NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – SINGLE FAMILY BUILDING ELEVATION REVISIONS



WOODBIDGE COTTAGE STYLE



PREVIOUS WOODBRIDGE ELEVATION B

MODEL SPECIFIC REVISIONS FOR WOODBRIDGE PLAN TO MATCH REVISED ARCHITECTURAL STYLE:

- BLUE STONE PORCH IN LIEU OF BRICK
- ADDED BONUS ROOM DORMER ABOVE GARAGE DOOR
- DOUBLE WINDOW WITH TRIM DETAILS IN LIEU OF SINGLE WINDOW & REMOVED SHUTTERS ON FRONT SIDE OVER GARAGE
- REVISED TRIM DETAIL ON PORCH COLUMNS

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO ALL SINGLE FAMILY MODEL TYPES INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- COACH LIGHT ON EACH SIDE OF ALL GARAGE DOORS TO BE STANDARD; ARTIST RENDERING MAY NOT SHOW ONE PICTURED
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – DUPLEX VILLA BUILDING ELEVATION REVISIONS



REVISED ELEVATION – ASHLEY SIDE LOAD MODEL



PREVIOUS DUPLEX VILLA ELEVATION – PLAN A

MODEL SPECIFIC REVISIONS FOR VILLA PLANS TO MATCH REVISED ARCHITECTURAL STYLE:

- ADDED GABLE WITH SHED ROOF
- ADDED CORNER TRIM DETAIL
- REVISED PORCH COLUMN DETAIL, ADDED HALF COLUMN WITH BRICK BASE IN LIEU OF FULL COLUMN
- REMOVED BRICK BANDING FLANKING ENTRANCE DOOR AND UNDER PATIO
- REVISED COLUMN DETAIL AT REAR PATIO
- REMOVED SHUTTER

NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO DUPLEX VILLAS INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

HINSDALE MEADOWS – DUPLEX VILLA BUILDING ELEVATION REVISIONS



REVISED DUPLEX VILLA ELEVATION – BECKET MODEL



PREVIOUS DUPLEX VILLA ELEVATION – PLAN B

MODEL SPECIFIC REVISIONS FOR VILLA PLANS TO MATCH REVISED ARCHITECTURAL STYLE:

- REVISED TRIM DETAIL ON GABLES
- REVISED PORCH COLUMN DETAIL, REMOVED LEFT POST, ADDED HALF COLUMN WITH BRICK BASE IN LIEU OF FULL COLUMN
- REMOVED WINDOW IN DEAD SPACE ABOVE A-UNIT GARAGE

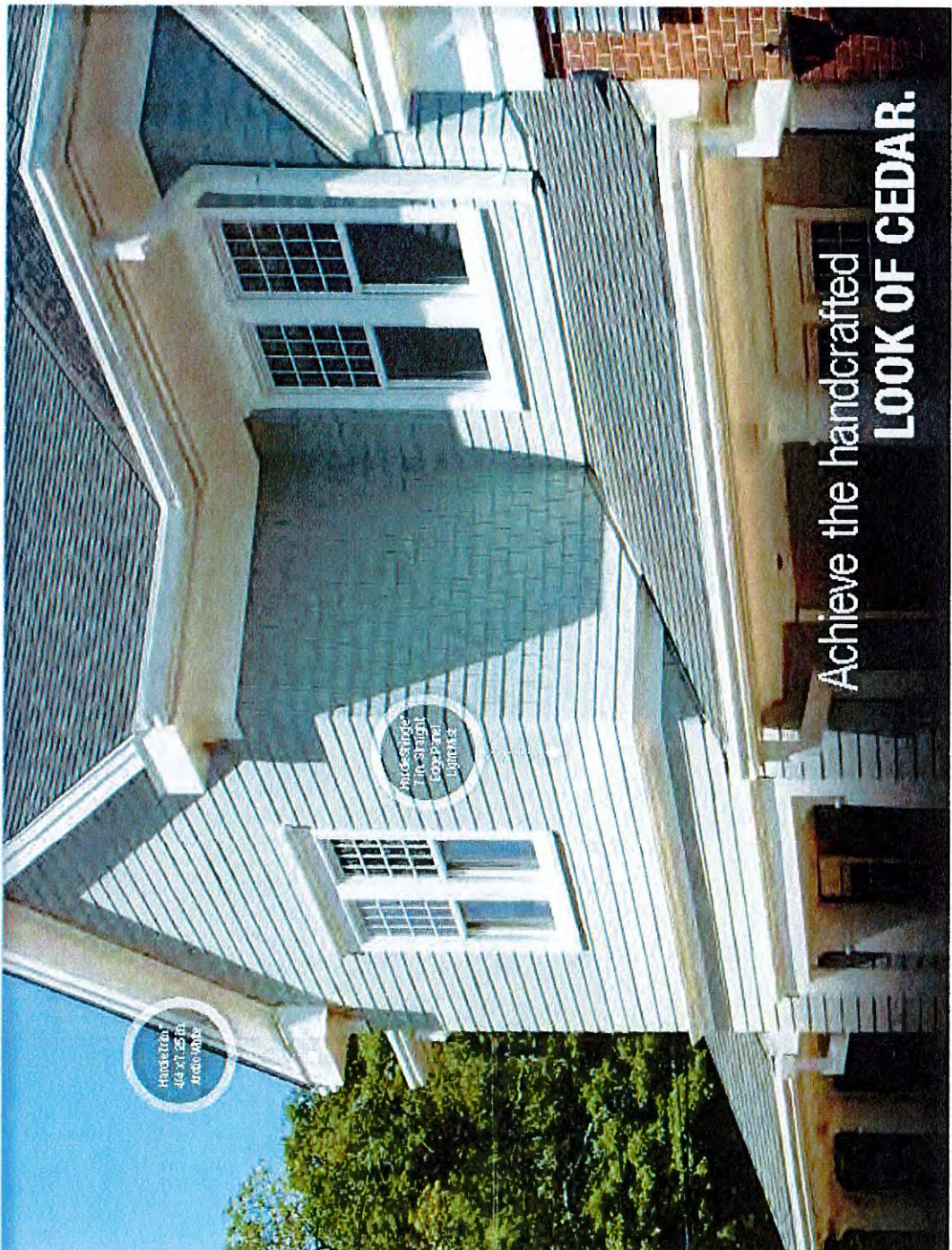
NOTE: REVISIONS FOR SHAKE SHINGLE ARCHITECTURAL STYLE, APPLICABLE TO DUPLEX VILLAS INCLUDE:

- HARDIE SIDING IN LIEU OF STUCCO
- LANNONSTONE MASONRY IN LIEU OF BRICK
- REVISED COLORS FOR TRIM DETAILS, GUTTERS/DOWNSPOUT, SOFFIT/FASCIA, AND FRONT ENTRY AND GARAGE DOORS
- MIX OF COACH LIGHT OR RECESSED CAN LIGHT AT EACH FRONT ENTRY

**BUILDING MATERIALS
&
HARDIE SIDING INFORMATION**

NOTE:
CHANGES TO
BLDG.
MATERIALS
SHOWN IN
RED TEXT

MATERIALS SPECIFIC TO ELEVATION STYLES				
Plan	Elevation Style	Siding	Masonry	
ALL	ALL	Hardie Shingle	Stone	
MATERIALS INFORMATION				
Element	Material	Manufacturer	Style	Color
Roof Shingles:	Asphalt	Certaiteed Landmark or Equal	Architectural	Driftwood
Metal Roofing:	Aluminum	PAC Clad or Equal	Standing Seam	Dark Bronze
Gutters:	Aluminum	ACM or Equal	5" K-Style	White
Downspouts:	Aluminum	ACM or Equal	3x4	White
Soffit:	Hardie Board	Hardie	Per plan	White
Fascia:	Hardie Board	Hardie	Per plan	White
Rake:	Hardie Board	Hardie	Per plan	White
Trim:				
Vertical	Hardie Board	5/4"	Per plan	Arctic White
Horizontal	Hardie Board	5/4"	Per plan	Arctic White
Windows	Hardie Board	5/4"	Per plan	Arctic White
Doors	Std Brickmold	Pine Brickmold	Per plan	Arctic White
Columns:	Hardie 1x	Carpenter built	Painted per plan	Arctic White
Siding:				
Hardie Shingle	Cementitious Fiber Siding	Hardie	Shingle	Aged Pewter, Night Gray, Gray Slate, & Timber Bark
Masonry:				
Stone	Stone	Illinois Brick	Lannonstone	Chateau Bay Tumbled, Fondu Lac Kensinton, & Rockport Blend
Stone Sills	Cast Stone		Cast Stone	Cast Stone
Heads	Var.	Var.	Var.	
Shutters:	Vinyl	Mid-America or Equal	Per plan	Tuxedo Gray
Railings:	Aluminum	TBD	Prefinished	Dark Bronze
Decking:	Floating	Treated Lumber over EPDM	5/4 x 6	Treated
Brackets:	Fypon	Fypon	Per plan	White
Windows:	Maintenance Free	TBD	Single Hung	White
Doors:				
Sliding Glass	Vinyl	TBD	Insulated per Code	White
Garage	B-Label Steel Door	TBD	Insulated Pan per plan	White
Front Entry	Fiberglass	Therma Tru	2 Panel	TBD



Hardhat
4/4 x 1/2 in.
Trade 100%

Price Single
In 3 Right
Edge Panel
Tightest

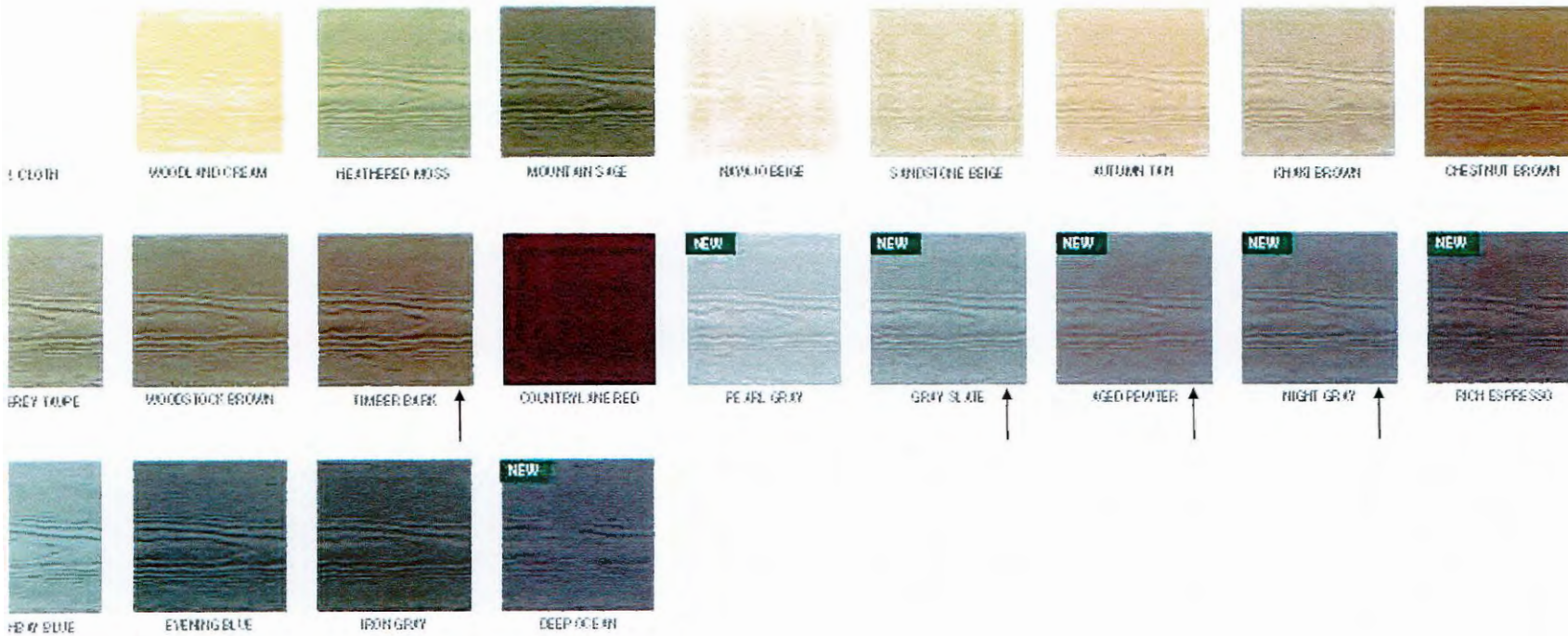
Achieve the handcrafted
LOOK OF CEDAR.



STRAIGHT EDGE PANEL

Iron Gray

Thickness	1/4 in.
Length	48 in.
Height	15.25 in.
Exposure	7 in.
Pcs / Pallet	86
Sq / Pallet	2
Pcs / Sq	43.0



NOTE: ARROWS
INDICATE THE
SELECTED COLOR
PALETTE
AVAILABLE FOR
SIDING

EXHIBIT B

FINDINGS AND RECOMMENDATION OF THE PLAN COMMISSION

**FINDINGS OF FACT AND RECOMMENDATION OF THE
PLAN COMMISSION
VILLAGE OF HINSDALE**

April 11, 2018

RE: Case No. A-04-2018 – Major Adjustment to Planned Development -
55th Street/County Line Road, Hinsdale, Illinois

PETITIONER: Hinsdale Meadows, LLC

APPLICATION: For a major adjustment to previously approved detailed plans for a planned development relative to building materials and exterior appearance/building elevations for a 64-unit residential planned development consisting of duplexes and single-family homes, on property located in the R-2 Single-Family Residential Zoning District, at the southeast corner of 55th Street and County Line Road, Hinsdale, Illinois

BACKGROUND: The 24.5 acre site at the southeast corner of 55th Street and County Line Road, Hinsdale, Illinois (the "Property") was approved as a planned development (the "Planned Development") in early 2017 in Ordinance No. O2017-08. The Village approved the detailed plans (including exterior appearance plans), associated waivers and variations, and a redevelopment agreement for the Planned Development, in Ordinance No. O2017-52, passed and approved on December 11, 2017. The Property is located in the R-2 Single-Family Residential Zoning District.

APPLICATION: The current application (the "Application") seeks to revise the approved exterior building materials to allow the use of Hardie siding in lieu of stucco and stone in lieu of brick for both the single-family and duplex units, along with certain minor changes to some of the exterior appearance plans/building elevations associated with the single-family and duplex residences within the Planned Development.

The current Application is attached hereto as **Exhibit 1** and made a part hereof.

PUBLIC HEARING: A public meeting on the Application was held before the Plan Commission on April 11, 2018, following referral of the Application to the Plan Commission by the Village Board of Trustees. At the public meeting, the Petitioner explained that the changes were driven by feedback from potential customers and prominent local real estate brokers. Side by side comparisons of the exterior appearance/building elevation changes were reviewed, and a sample of the Hardie siding proposed for use in construction was presented.

Various Plan Commission members noted that they found the proposed changes to be an improvement over the original plans.

MOTIONS AND RECOMMENDATIONS: Following discussion by the Plan Commission, a motion was made by Commissioner Braselton, seconded by Commissioner Fiascone, to recommend approval of the Major Adjustment as submitted. The Plan Commission vote on the motion was six (6) in favor, and zero (0) opposed, with three (3) members absent.

FINDINGS ON MAJOR ADJUSTMENT REQUEST: The Plan Commission, based upon the evidence presented at the Public Meeting, and pursuant to Section 11-603(K)(2) of the Hinsdale Zoning Code, makes the following Finding as to the Major Adjustment:

1. The major adjustment to the Planned Development in the form of the change in construction materials and revised exterior appearance plans/building elevations, as reviewed by the Plan Commission, are an improvement over the materials and designs originally proposed, and are in substantial conformity with the previously approved detailed plans.

RECOMMENDATION:

Based on the Findings set forth above, the Plan Commission, by a vote of six (6) in favor and zero (0) opposed, recommends to the President and Board of Trustees that the Major Adjustment to the Planned Development for Hinsdale Meadows to allow the use of Hardie siding in lieu of stucco and stone in lieu of brick for both the single-family and duplex units, along with certain minor changes to some of the exterior appearance plans/building elevations associated with the single-family and duplex residences within the Planned Development, on property located in the R-2 Single-Family Residential Zoning District at the southeast corner of 55th Street and County Line Road, Hinsdale, Illinois, be APPROVED.

Signed: _____
Julie Crnovich, Chairman Pro Tem
Plan Commission
Village of Hinsdale

Dated: _____



AGENDA ITEM # 9j

REQUEST FOR BOARD ACTION

Fire Department

AGENDA SECTION: Second Reading/Non-Consent – ZPS

SUBJECT: Purchase of a Power Loader and Power Cot for Ambulance, M85

MEETING DATE: April 17, 2018

FROM: John Giannelli, Fire Chief

Recommended Motion

Approve the purchase of one Power Loader and one Power Cot from Stryker Medical, 1901 Romence Road Parkway, Portage, Michigan, in an amount not to exceed \$48,503.86.

Background

In April of 2017, the Village Board approved the purchase of a new ambulance, Medic 85. In the request for board action (RBA) dated April 18, 2017, staff requested the purchase of an ambulance in the amount \$212,556. This dollar amount is for the purchase of the ambulance only. The approved capital budget for FY 2017-2018 includes the replacement ambulance in the Fire Department in the amount of \$260,000. The delta of \$47,444 will be used to purchase equipment and supplies for the ambulance.

Discussion & Recommendation

Staff is requesting the purchase of a power loader and a power cot for Medic 85. A power loader is a fastener system that provides additional safety for loading and unloading patients on the power cot. The recommended power loader is the standard recognized by the Village's insurance carrier, IRMA, for the prevention of employee back-related injuries. According to IRMA, the second and third most frequent causes of loss in 2017 for IRMA communities in the workers' compensation category were lifting/holding/carrying and lifting/handling patients. The power loader and cot will assist in alleviating these employee injuries. For all IRMA member communities, the 2017 total for the two aforementioned claims was \$1,255,793. In 2014, IRMA identified the use of power cots and loading systems as a risk prevention initiative with the goal of every IRMA member owning at least one power cot and loading system within three years.

The power loader and power cot bid processes are waived because the selected manufacturer Stryker Medical is a single source provider through IRMA, which allows the Village to take advantage of grant funding through IRMA. In addition to grant funding, the Village also receives competitive pricing through Stryker because we are an IMRA member.

While the power loader and cot were not part of the ambulance specifications, the purchase of a new cot for this ambulance was always planned. These products carry the Underwriters Laboratories (UL) certification. Because this power loading system needs to be installed by the ambulance manufacturer prior to completion of the unit, this is a time-sensitive matter.

It should also be noted that the Village's second ambulance contains Stryker medical products and therefore the cot on the Village's current ambulance would be interchangeable with the new ambulance.

Budget Impact

The approved capital budget for FY 2017-2018 includes the replacement ambulance in the Fire Department in the amount of \$260,000. This budgeted amount includes all additional equipment and costs necessary to make the new ambulance operationally ready. While the cost of the new Medic 85 is \$212,556 (only the ambulance cost), and the Stryker Power Loader and Stretcher will be \$48,503.86, IRMA will refund the Village \$15,000 in the form of a grant. The total cost of the power loader and cot will be \$33,503.86, after the grant money is applied, leaving the remainder in the budget of \$13,940.14 for any additional equipment that will be needed on the ambulance.

Manufacturers	North Central Emergency Vehicles (Ambulance Provider)	Stryker Medical (Power Loader and Power Cot)	FY17/18 Capital Budget
Total:	\$227,556	\$48,503.86	\$260,000 Approved total
	-\$15,000 (Trade In)	-\$15,000 (IRMA Grant)	-\$212,556 Ambulance -\$33,503.86 Cot/Loader
Total:	\$212,556	\$33,503.86	\$13,940.14

Funds for this purchase are budgeted in FY 2017-18 (Acct. 1502-7902). In accordance with the Village's purchasing policy, the Village is seeking approval from the Village Board to purchase the power loader and power cot since the vendor is different from the ambulance manufacturer and exceeds \$20,000.

Village Board and/or Committee Action

The Village Board approved the purchase of this ambulance on April 18, 2017 (first reading was April 4, 2017). The ambulance was included in the FY 17/18 capital plan.

Documents Attached

1. RBA dated April 18, 2017, for ambulance purchase approval
2. IRMA memorandum regarding fire department workers' compensation data
3. IRMA memorandum regarding grant program for power cots and loading systems



AGENDA ITEM # _____

REQUEST FOR BOARD ACTION

Fire Department

AGENDA SECTION: Second Reading- ZPS

SUBJECT: Replacement of Fire Department Ambulance #M85

MEETING DATE: April 18, 2017

FROM: John Giannelli, Fire Chief

Recommended Motion

Approve the purchase of one new Emergency Medical Ambulance from North Central Emergency Vehicles located at 12249 S. Rhea Drive, Plainfield, and whose manufacturing plant is at 1170 Production Drive, Van Wert, Ohio, in an amount not to exceed \$212,556.

Background

The Fire Department operates a primary and back-up ambulance. The primary ambulance is the first ambulance dispatched. The back-up ambulance responds if the primary ambulance is unavailable. In 2016, the back-up ambulance responded to 278 emergency calls. If approved, the new ambulance would become the primary ambulance and the current primary ambulance would become the back-up ambulance. The current back-up ambulance (unit M84) has been in service since 2005 and has 39,566 miles and 7,484 engine hours (equating to 246,000 miles [1 engine hour = 33 miles of wear and tear]). The Fire Department developed a vehicle replacement policy that is used to determine when an emergency response vehicle begins to become less reliable and increases marginal expense costs. This purchase recommendation follows this policy.

Discussion & Recommendation

The approved capital budget for FY 2017-2018 includes the replacement ambulance in the Fire Department in the amount of \$260,000. This budgeted amount includes additional equipment and costs necessary to make the new ambulance operationally ready.

The Fire Department formed a committee consisting of four department members with varying areas of expertise and they have been working for the past several months with various manufacturers and vendors to develop specifications necessary for the construction of the new ambulance. Of particular importance to the Fire Department committee was the feature of a sliding door, instead of a hinged door, on the passenger side of the ambulance that slides open (similar to a mini-van door) rather than a typical ambulance door that swings open on a hinge. The sliding door is a necessary safety enhancement especially when paramedics exit onto a busy roadway into traffic. Because a sliding door is not standard equipment the sliding door feature was bid as an alternate option. Three vendors submitted bid proposals as indicated below:

Bidder:	North Central Emergency Vehicles	American Response Vehicles	Alexis Fire Equipment
Sub Total:	\$227,556	\$224,114	\$225,808
Trade In:	-\$15,000	-\$11,000	-\$5,000
Passenger Side Sliding Door	\$0.00 Standard Option	Does not offer	\$3,684
Total:	\$212,556	\$213,114	\$229,492

The Fire Department vehicle replacement committee reviewed the bid submittals for adherence to bid specifications, quality of materials used, and any exceptions taken by the manufacturer. All bidders were vetted by the committee and references were contacted. All bidders were qualified except for American Response Vehicles, which submitted an incomplete bid.

It is recommended to accept the lowest qualified bidder, which is North Central Emergency Vehicles, and award the contract to build a new ambulance to the required specifications at a cost not to exceed \$212,556, which includes a trade-in credit of \$15,000 for the surplus ambulance.

Staff estimates that the build process would be completed and the new ambulance will be placed in service around February 2018.

Budget Impact

Funds for this purchase are budgeted in FY2017-18 (Acct. 1502-7902).

Village Board and/or Committee Action

At their meeting of April 4, 2017, the Village Board agreed to move this item forward for a Second Reading at their next scheduled meeting.

Documents Attached

1. Village of Hinsdale Fire Department Vehicle Replacement Policy
2. CIP Budget Sheet
3. Sliding Door Illustration



INTERGOVERNMENTAL RISK
MANAGEMENT AGENCY

The Risk Management Solution for Local Government

MEMORANDUM

TO: Fire Chiefs Steering Committee

FROM: Jennifer Swahlstedt, Risk Management and Training Manager

DATE: March 22, 2018

RE: 2017 Frequency & Severity Data – Fire Departments

Attached is the IRMA claims analysis report for the **Top 5-6 Most Frequent Claims** for all IRMA Fire Departments and Districts in 2017 compared to 2016 data.

Most Frequent Cause of Loss

GENERAL LIABILITY	2017	2017	2016	2016
CAUSE OF LOSS	COUNT	EXPERIENCE	COUNT	EXPERIENCE
Vehicle – Fixed Object Enter/Leave Garage/Load Area	4	\$26,060	1	\$14,501
Vehicle – Hit Parked / Standing Vehicle	3	\$ 3,593	1	\$ 2,183
Vehicle – Our Unit Hit While Parked / Standing	2	\$ 5,463	1	\$ 114
Vehicle/Intersection – Our Unit Straight Across	2	\$15,465	2	\$18,428
Contamination / Pollution	2	\$96,166	1	\$ 1,650
TOTAL	13	\$146,747	6	\$36,876

WC	2017	2017	2016	2016
CAUSE OF LOSS	COUNT	EXPERIENCE	COUNT	EXPERIENCE
Physical Training	29	\$360,962	25	\$ 477,726
Lifting/Holding/Carrying	27	\$821,150	19	\$ 895,392
Lifting/Handling Patient	24	\$434,643	23	\$1,340,328
Blood/Air Borne Exposure	18	\$ 15,192	16	\$ 23,485
Twisting/Turning/Bending/Kneeling	10	\$462,396	8	\$ 261,977
Striking Against	8	\$ 6,477	14	\$ 15,378
TOTAL	116	\$2,100,820	105	\$3,014,286

AUTO	2017	2017	2016	2016
CAUSE OF LOSS	COUNT	EXPERIENCE	COUNT	EXPERIENCE
Vehicle – Fixed Object Enter/Leave Garage/Load Area	3	\$24,907	1	\$14,501
Vehicle – Sideswipe Collision	2	\$ 4,658	1	\$ 729
Vehicle/Intersection – Our Unit Straight Across	2	\$15,465	2	\$18,428
Vehicle – Hit Parked/Standing Vehicle	2	\$ 3,214	1	\$ 2,183
Vehicle – Fixed Object				
Mailboxes/Fences/Poles/Hydrants	2	\$14,891	0	\$ 0
TOTAL	11	\$63,135	5	\$35,841

Memorandum to Fire Chiefs Steering Committee
 RE: 2017 Frequency & Severity Data – Fire Departments
 March 19, 2018

Attached is the IRMA claims analysis report for the **Top 5-6 Most Severe Claims** for all IRMA Fire Departments and Districts in 2017 compared to 2016 data.

Most Severe Cause of Loss

GENERAL LIABILITY	2017	2017	2016	2016
CAUSE OF LOSS	EXPERIENCE	COUNT	EXPERIENCE	COUNT
Contamination/Pollution	\$96,166	2	\$ 1,650	1
Flood	\$28,513	1	\$ 0	0
Vehicle-Fixed Object Enter/Leave Garage/Load Area	\$26,060	4	\$14,501	1
Vehicle/Intersection – Our Unit Straight Across	\$15,465	2	\$18,428	2
Vehicle-Fixed Object-Mailboxes/Fences/Poles/Hydrants	\$14,891	2	\$ 0	0
TOTAL	\$262,370	11	\$34,579	4

WC	2017	2017	2016	2016
CAUSE OF LOSS	EXPERIENCE	COUNT	EXPERIENCE	COUNT
Lifting/Holding/Carrying	\$821,150	27	\$ 895,392	19
Twisting/Turning/Bending/Kneeling	\$462,396	10	\$ 261,977	8
Lifting/Handling Patient	\$434,643	24	\$1,340,328	23
Physical Training	\$360,962	29	\$ 477,726	25
Struck by Falling/Flying Objects	\$152,007	5	\$ 47,868	4
Struck by Physical Assault/Weapon	\$145,841	1	\$ 1,353	2
TOTAL	\$2,376,999	96	\$3,024,644	81

AUTO	2017	2017	2016	2016
CAUSE OF LOSS	EXPERIENCE	COUNT	EXPERIENCE	COUNT
Vehicle-Fixed Object Enter/Leave Garage Load Area	\$24,907	3	\$14,501	1
Vehicle/Intersection – Our Unit Straight Across	\$15,465	2	\$18,428	2
Vehicle – Fixed Object Mailboxes/Fences/Poles/Hydrants	\$14,891	2	\$ 0	0
Vehicle – Fixed Object – Collision with Building	\$ 7,344	1	\$ 4,503	1
Vehicle – Our Unit Hit while Parked/Standing	\$ 5,463	2	\$ 114	1
TOTAL	\$68,070	10	\$37,546	5

JS//



INTERGOVERNMENTAL RISK
MANAGEMENT AGENCY

The Risk Management Solution for Local Government

MEMORANDUM

TO: Fire Chiefs Steering Committee

FROM: Jackie Streid, Director of Training & Education

DATE: September 4, 2014

RE: Potential Grant Program for Power Cots and Loading Systems

Action Requested: Concur with staff's recommendation that IRMA establish an organizational goal of 100% power cot ownership within 3 years and commit up to \$77,000 per year in a matching grant program to achieve the goal.

Background: Firefighter injuries resulting from lifting patients are very costly. Indeed, our data shows that the average cost for such a firefighter injury is almost double the cost of a typical IRMA workers compensation injury. Over the past five years, IRMA has spent almost \$4 million on injuries in Fire Departments from lifting patients.

The procurement of power cots and loading systems is increasing across the country. There is no dispute that these cots reduce injuries. The primary manufacturer, Stryker provides a guarantee to its customers that related injuries will decrease by at least 50% within 12 months.

In order to assess the exposure and opportunity for a return on our investment, IRMA conducted a survey of its members last month. The survey results are attached for reference. Of IRMA's 45 Fire Departments, 33 responded to the survey. The survey results indicate that 11 of the 33 responding departments do not own any such power cots. Assuming, conservatively, that the departments that did not respond do not own cots, then a total of 23 members (50%) do not own any power cots.

Discussion: As a risk prevention initiative, staff recommends that IRMA adopt a goal that every IRMA member will own at least one power cot or loading system within the next three years. Staff recommends a grant program be initiated in order to accomplish this goal, which would cap the IRMA grant to no more than 1/3 of the purchase price for either a power cot or loading system. We suggest that the remaining 2/3 be financed by the member and the foreign fire insurance fund or other funding sources.

In order to accomplish the goal of 100% of IRMA members owning at least one power cot or loading system, we believe approximately 23 IRMA members would need to make a purchase. At the low end of the pricing identified on the attached survey results, (\$12,000 for a power cot), the 33% number would be \$92,000, divided over three years would require a grant fund of \$30,667 per year. At the high end of the pricing, (\$30,000 for a loading system), the 33% number would be \$230,000, divided over three years would require a grant fund of \$76,667 per year.

In anticipation of the concern that existing members who own a power cot or loading system would not be eligible for the grant program during this three year goal period, we must emphasize that we expect to see savings in the member contribution rate due to fewer and less severe injuries in this area. As a member of a pool, our fiduciary duty is to the pool and reducing losses to the pool results in financial benefits to all members. Stryker's guarantee of 50% reduction in injuries could save the pool approximately \$400,000 per year. Even assuming we see half of that return, we are investing wisely in this program.



MEMORANDUM

DATE: April 11, 2018

TO: President Cauley and Village Board of Trustees
Kathleen Gargano, Village Manager

FROM: Brendon Mendoza, Administrative Analyst

RE: Public Services Monthly Report – March 2018

Provided below is the monthly staff report from the Public Services Department. This highlights activities that occurred during the month of March.

- Public Services completed one call out for snow and ice during the month of March.
- Public Services identified and repaired five (5) water main breaks.
- Public Services staff received Village Board approval for the following contracts; custodial services, elm and ash tree treatments, and tree and stump removals.
- Public Services began recruitment for the vacant Water & Sewer Division Crew Worker position.
- Public Services staff reviewed and commented on seven (7) tree preservation plans that were submitted for building permits.
- The Forestry Division assisted with the prescribed burns at the Charleston Road Aquatic Garden and the Hinsdale Prairie.
- The Village received the Tree City USA status for the 26th year in a row.
- The Forestry Division visited two (2) tree nurseries and selected 231 trees for the Village's spring tree planting program.
- Public Services staff received approval from the Village Board to for the 2018 North Infrastructure Project that was awarded to John Neri Construction Company.
- Public Services staff arranged tree protection measures for the scheduled roadway work on the North Side of the Village.

March Water Main Break Locations

<u>Date</u>	<u>Address</u>	<u>Pipe Size/Type</u>	<u>Duration</u>
3/1/18	333 S. Park	8" Cast Iron	5hrs
3/7/18	4 th and Garfield	4" Cast Iron	3hrs
3/7/18	3 rd and Elm	4" Cast Iron	4hrs
3/8/18	317 E. Walnut	8" Cast Iron	4hrs
3/13/18	Adams and Chestnut	6" Cast Iron	7hrs

**Village of Hinsdale
Department of Public Services
Roadway Division
Monthly Report – March 2018**

Activity Measures

Standard Tasks	March 2018	Prev Mo	YTD 2018
Signs	42	8	62
Posts	11	1	16
Signs Repaired	7	3	18
Cold Mix (tons)	12.5	4.5	23.35
Hot Mix (tons)	0	0	0
Gravel for Alleys (tons)	0	0	0
White Paint (gallons)	0	0	0
Yellow Paint (gallons)	0	0	0
Basin top Cleaning (man-hours)	19	108	157
Alley Grading (man-hours)	7	12	19
Alley Trimming (man-hours)	0	0	0
Concrete (yards)	0	0	0
Snow & Ice Callouts	1	15	27
Road Salt Used (tons)	30.25	519.75	957.25
Sand Used (tons)	0	0	0
Salt & Calcium for walks, stairs, etc. (tons)	0	24	74
Leaves Swept Up (yards)	20	0	20
Central Business District Sweeps	3	0	3
Complete Village Sweeps	0	0	0
Parking Lot Sweeps	0	0	0
Street Light Poles Repaired	11	0	15
Request For Services Completed	105	86	281
Sump pump issues	0	54	108
Pool maintenance (Man hours)	0	0	0
Parkway Restorations	3	3	17

MEMORANDUM

Parking meters	4	4	8
Special Events	4	0	24
Hauling to dump	0	0	2

Significant issues for this month:

- Public Services had one call out in March for snow and ice events. A total of 30.25 tons of salt was used.
- Public Services filled potholes in miscellaneous problem and complaint areas and watermain breaks using 12.5 tons of cold patch.
- The Roadway Division replaced or installed 42 new signs in March. This includes 18 truck weight restriction signs around the Central Business District.
- The Roadway Division completed 105 service requests in March.
- The Roadway Division installed a new pole and speed radar on the 800 block of South County Line Road.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Forestry Division
Monthly Report – March 2018**

Trees pruned by Village Staff:

- Small tree pruning (diameter 10 inches and less) – 347 trees. Small tree pruning is completed for the season.
- Completed 0 resident tree work requests, pruning 0 trees.

Trees pruned by contractor (diameter 10 inches and above):

- The area of the Village that is being pruned this cycle is encompassed by South County Line Road on the West, Columbia Avenue on the East, Highland Road on the North and 55th Street on the South. The second area is encompassed by Madison Street on the West, South County Line Road on the East, 55th Street on the North and 59th Street on the South. Forestry staff estimates over 1,000 public trees will be pruned in this winter. As of March 31st, 864 trees have been pruned.

Trees removed by Village Staff:

- 8 public trees were removed in March.
- 203 public trees were removed by staff this fiscal year.
- 21 public trees are currently scheduled for removal by staff.

Trees removed by contractor:

- Elm – 0
- Ash - 0
- Other – 1
- 218 public trees were removed by contractor this fiscal year.
- 2 public trees are currently scheduled for removal by contractor.

Ash trees infested by Emerald Ash Borer detected by Village Staff:

- 10 public eab positive ash trees were detected in March; 58 eab positive ash trees have been detected this fiscal year.
- 0 private eab positive ash trees were detected in March; 11 eab positive ash trees have been detected this fiscal year.

Ash trees removed:

- 7 ash trees were removed this month (7 Village / 0 Contractor).
- 225 ash trees were removed this fiscal year (120 Village / 105 Contractor).
- 1420 ash trees have been removed since February 2011 (1167 EAB Positive).



MEMORANDUM

Ash trees that have been treated to manage infestation by Emerald Ash Borer:

- Injection treatments are scheduled for April; a total of 288 trees are scheduled for soil injections.

Elm diseased trees detected by Village Staff:

- 0 public dead positive elm trees detected in March; 22 dead positive elm trees were detected this fiscal year (16 treated/8 untreated).
- 0 private dead positive elm trees detected in March; 54 dead positive elm trees were detected this fiscal year.

Elm trees removed by Village Staff:

- 0 diseased trees.
- 1 storm damaged trees.

Elm trees that have had diseased limbs removed (amputations):

- 0 parkway trees.

Elm trees that have been inoculated for prevention of Dutch elm disease:

- 402 American elms have been treated this year.

Tree stumps removed by Village Staff:

- 0 public tree stumps were routed, the mulch removed and the parkway restored with top soil and grass seed.

Trees Planted:

- 0 trees were planted through the Village's Planting Program.
- 0 trees were planted through the Tribute Tree Program.
- 0 trees were planted through the Resident Reimbursement Program.

Other:

- The Village received the Tree City USA status for the 26th year in a row.
- The Forestry Division visited two (2) tree nurseries and selected 231 trees for the Village's spring tree planting program.
- Staff arranged tree protection measures for the scheduled roadway work on the North Side of the Village.
- Bids were opened for Elm and Ash Treatments and Tree Removal contracts.
- The Forestry Division assisted with the prescribed burns at the Charleston Road Aquatic Garden and the Hinsdale Prairie.
- The Forestry Division attended excavator training.
- Staff reviewed and commented on seven (7) tree preservation plans submitted for building permits.

Tree Preservation (Public Services)

Activity Measures

	March 2018	Previous Mo	YTD 2018
Tree Pruning Contractual	310	395	864
Tree Pruning In-House	0	0	13
Small Tree Pruning In-House	347	104	530
Tree Removal Contractual	1	3	6
Tree Removal In-House	8	1	29
Trees Planted	0	0	0
Elm Trees Treated	0	0	0
Dutch Elm Disease Losses (Private)	0	0	0
Elm Losses (Public)	1	0	1
Ash Trees Treated	0	0	0
Ash Tree Removal - EAB (Private)	0	0	0
Ash Tree Removal – EAB (Public) <i>Note: since Feb 2011, 589 public Ash trees have been removed</i>	In-House 7	In-House 0	In-House 12
	Contracted 0	Contracted 3	Contracted 4
Tree Preservation Plan Reviews	7	9	22

**Village of Hinsdale
Department of Public Services
Parks Maintenance Division
Monthly Report – March 2018**

March Total			
Job Task	Hours	Accomplished	Units
Administration	11.5	11.5	Hour
Clean Bathroom	43	12	Each Bathroom
Refuse Removal	9	48	Each Can
Fountain Maintenance	2	2	Hour
Litter Removal	2	2	Hour
Weed Removal	11.5	11.5	Hour
Brush Pick Up	0	0	Hour
Athletic Field Striping	137.5	28	Each Field
Infield Maintenance	30	3	Each Field
Athletic Goal/Net Maintenance	96.5	56	Each Goal
Turf Repair/Sod Installation	6	6	Hour
Aeration	0	0	Hour
Over seeding	13.5	650	Lbs. of Seed
Turf Evaluation/Soil Testing	0	0	Each
Hardwood Mulch Installation	22.5	35	Cubic Yard
Leaf Mulching	0	0	Hour
Mowing	0	0	Hour
Land Clearing	0	0	Hour
Planting Bed Preparation	2.5	3	Each Bed
Plant Installation/Removal	3	3	Hour
Flowering Bulb Installation/Removal	0	0	Hour
Tree and Shrub Maintenance	28.5	25	Each
Fertilization	0	0	Hour
Watering	0	0	Hour
Pest and Weed Control (chemical)	0	0	Hour
Irrigation Start Up (spring)	0	0	Each
Irrigation Repair	0	0	Each
Irrigation Winterization	0	0	Each
Playground Maintenance/Repair	5	5	Hour
Playground Inspection	0	0	Each
Playground Mulch Installation	0	0	Cubic Yards
Holiday Decorating	0	0	Hour
Platform Tennis Repairs	15	6	Each

Special Events	37.5	37.5	Hour
Building Maintenance	2	1	Hour
Equipment/Vehicle Maintenance	2	3	Each
Training/Education	27	27	Hour
Skate Park Maintenance	0	0	Hour
Ice Rink Maintenance	14	14	Hour
Miscellaneous	12.5	12.5	Hour

**Parks Maintenance
Monthly Highlights – March 2018**

Contractual Maintenance

- **Rain Garden Maintenance**
 - The spring clean-up is scheduled for April of 2018.
- **Tree Maintenance**
 - The contract was awarded for tree pruning in Village parks for the winter of 2018. Trees will be pruned at Peirce Park, the Memorial Building Grounds and Katherine Legge Memorial Park. Over 100 trees are scheduled to be pruned during this cycle.
- **Summer Weekend Parks Bathroom and Garbage Maintenance**
 - The contract was awarded for weekend and holiday garbage disposal for Village parks and the Central Business District. The contract includes weekend maintenance for Village park bathrooms.

General Park Maintenance

- **Bathroom Shelters (KLM)**
 - Katherine Legge and Burns Field bathrooms
 - Opened and cleaned Monday through Friday.
 - All 12 bathrooms (men and women) were cleaned and sanitized in preparation for spring athletics.
 - Burns Field, Robbins Park, Pierce Park, Brook Park, Veeck Park and Katherine Legge.
- **Landscape Maintenance**
 - Landscape areas in Village parks and the Central Business District were inspected and cleaned. Ornamental grasses and woody perennials were cutback and thinned.

Athletics

- 28 athletic fields have been laid out and will be lined weekly through June.
 - 24 soccer fields
 - 4 lacrosse fields
- 56 lacrosse and soccer goals have been positioned and worn nets have been replaced. All goals have been staked into the ground for safety.
- 3 t-ball fields have been edged, tilled and screened.



MEMORANDUM

- Veeck Park athletic fields were over seeded with 650 pounds of an athletic field seed blend.

Other

- Parks staff spent a majority of the month preparing for the spring Athletic Season. Fields were staked out and lines were painted, goals were moved out to the fields and staked in and nets were repaired or replaced. In addition all Parks bathrooms were thoroughly cleaned in preparation to be reopened.
- Parks staff planted 25 new trees in parks. 21 trees were planted at Katherine Legge Memorial Park and 4 trees were planted at Pierce Park. Additional trees are scheduled to be planted in April and May.
- Staff presented the 2017 Integrated Pest Management (IPM) Report.
- Staff met with AYSO to prepare for spring soccer season.
- Staff met with the Hinsdale Garden Study Club to review the proposed landscape work to Eleanor's Park.
- The Public Services Horticulturist completed training on Playground Safety.



MEMORANDUM

**Village of Hinsdale
Department of Public Services
Buildings Maintenance Division
Monthly Report – March 2018**

Building Security and Fire Suppression:

- Worked with the fire protection contractor to conduct tests of the water sprinkler fire alarm systems in the Village buildings.
- Checked electronic fire alarm system at the Hinsdale Pool.
- Tested electronic fire alarms in Village buildings.

HVAC:

- Repaired the thermostat at the Hinsdale Youth Center.
- Repaired the HVAC control air compressor filter system at the Memorial Hall. Parts are on order to complete this repair.
- Repaired the hot water heating pump at the KLM Humane Society.
- Repaired the hot water heating pump at the Public Services Garage.
- Checked and adjusted electric heat at several Parks buildings to ensure that units are not overheating.
- Checked all heating systems in all Village buildings for proper operations.
- Replaced low water cut off on the North steam boiler at the Village Hall.
- Worked on the Police and Fire boiler.
- Worked with a contractor to install a new cooling system at the Water Plant Lab office.
- Checked the heating and cooling system at the KLM Lodge.
- Checked and serviced the heating furnace at the KLM Annex.

General Maintenance:

- Worked with the IT Division to measure footage within the underground steam tunnel from the Memorial Hall Building to the Water Plant.
- Adjusted all Village clock due to daylight savings.
- Cleaned floor drain pots at the Public Services Garage on the first floor.
- Ordered and distributed building janitorial supplies to Village facilities.
- Worked with Volt Electric to run power at the Village Hall for the electric lock strike main panel.
- Worked with Cummins N Power to run tests on Water Plant and Veeck Park generators.
- Opened and set up all Park buildings for the upcoming season.
- Worked at the Peirce Park field house to repair and install ceiling sections, repair lighting, and repair the lighting fixtures.
- Rekeyed all door locks at the Public Services Garage and Water Plant.



MEMORANDUM

- Helped with the repairs at the KLM Annex after the stall partitions were installed.
- Traced out all the electrical circuits at Pierce Park field house and tag as needed.
- Worked with Olsson Roofing to finalize pending items for the roof repairs.
- Worked at the KLM Montessori School to address water entering through brick near the South chimney.
- Repaired the toilet Sloan valves at the Burns Field house Woman's bathroom.
- Repaired the water line at the Police Station Woman's bathroom, and also repaired the wall to gain access.

Administration:

- Attended training for the use of the new Bobcat excavator.
- Worked with Eco-Clean as needed to prepare for the custodial contract start date of May 1, 2018.
- Reviewed invoices.



MEMORANDUM

Village of Hinsdale
Department of Public Services
Water Division
Monthly Report – March 2018

Water Activity Measures

Standard Tasks	March 2018	Prev Mo	YTD 2018
Utility Locates (JULIE)	443	256	947
B-Box/Service Locates	605	287	1173
Water Mains Located	133	65	307
Main Break Repairs	5	8	26
B-Box/Service Repairs	1	0	2
Hydrants Replaced/Repaired	6	7	15
Service Connections/Inspections	5	3	9
Valve Installations/Repairs	3	0	4
Valves Exercised	13	17	45
Valves Located	18	30	72
Leak Investigations	7	9	31
Hydrants Flushed	6	11	24
High Bill Investigations	3	3	12
Water Fountains Serviced/Replaced	0	0	0
Disconnect Inspections	6	3	12
Meter Repairs	9	4	19
Meter/Remote Installs	7	7	25
Meters Removed	4	3	13
Meter Readings	22	17	59

MEMORANDUM

Water Main Break Repairs

March 2018	Prev Mo	YTD 2018
5	8	26

March Water Main Break Locations

<u>Date</u>	<u>Address</u>	<u>Pipe Size/Type</u>	<u>Air Temp.</u>	<u>Duration</u>
3/1/18	333 S. Park	8" Cast Iron	30	5hrs
3/7/18	4 th and Garfield	4" Cast Iron	27	3hrs
3/7/18	3 rd and Elm	4" Cast Iron	22	4hrs
3/8/18	317 E. Walnut	8" Cast Iron	29	4hrs
3/13/18	Adams and Chestnut	6" Cast Iron	31	7hrs



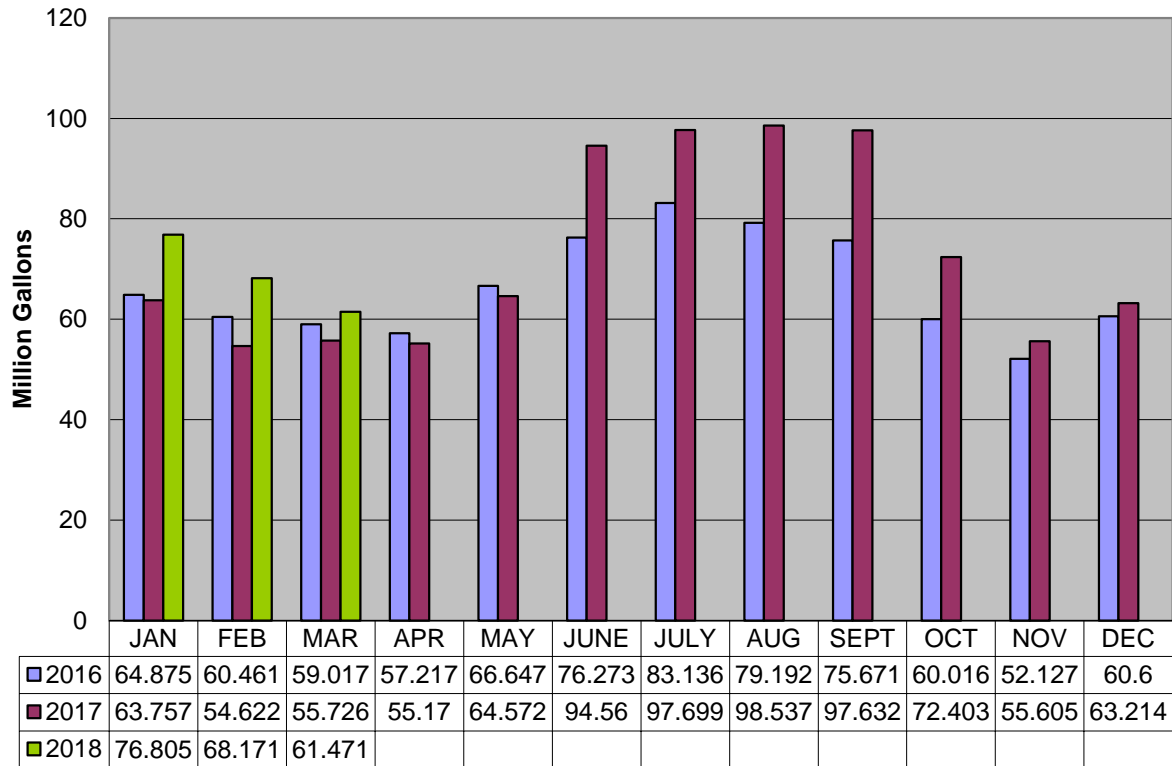
MEMORANDUM

Village of Hinsdale
Department of Public Services
Sewer Division
Monthly Report – March 2018

Sewer Activity Measures

Standard Tasks	March 2018	Prev Mo	YTD 2018
Catch Basins Replaced/Repaired	0	2	2
Inlet Replaced/Repaired	0	0	0
Manhole Replaced/Repaired	1	0	1
Catch Basins/Inlets Cleaned	8	6	15
Sewers Cleaned (feet) In-House	500	400	900
Sewers Cleaned (feet) Contractor	0	0	0
Sewers Televised (feet) Contractor	0	0	0
Sewers Replaced/Repaired (feet)	0	0	0
Sewer Mains Located	8	4	15
Back-up Investigations	2	4	9
Manholes Located	20	10	37
Cave-ins Checked	0	2	2
Sewer Inspections	0	0	0
IEPA sampling due to overflow event of combined sewers (Veeck CSO)	0	2	2

MONTHLY WATER PUMPAGE



March 2018

Standard Tasks	Check Oil, Grease Fittings, Rotate Shafts(Weekly)	Bacteria Sampling
High Service/Pool Pumps #1, #2, #3, #4	✓	N/A
Well Pump Motors #2, #5, and #10	✓	✓

MEMORANDUM

Standard Tasks	March 2018	Prev Mo
Bacteria Samples	24	25
Field Chlorine	21	21
Field Turbidities	21	21
Lab Chlorine	26	24
Lab Turbidities	26	24
Lab pH	26	24
Lab Fluoride	26	24
Precipitation Readings	0	0
Temperature Readings (air)	26	24
Temperature Readings (water)	31	28
DBP Samples	0	0
Pumps Serviced	11	11
Special Well Samples	0	0



1/b

MEMORANDUM

TO: President Cauley and the Board of Trustees
FROM: Dan Deeter, PE
DATE: April 17, 2018
RE: Engineering March 2018 Monthly Report
Executive Summary

- The 2018 North Infrastructure Project has begun on 04/09/18. The first streets to be addressed are in the northwest portion of the Village. Water main construction and street resurfacing is being addressed on these first streets.
- Several agencies are or will be improving their infrastructure in Hinsdale in 2018.
 - Nicor has begun a third "Investing in Illinois" improvement project in the southwest section of Hinsdale.
 - ComEd has met with staff to upgrade their distribution system by replacing poles and adding wires on E. Chicago, S. County Line Road, and 55th Street. This plan required extensive trimming of the parkway trees on Chicago and County Line Road which the Village Arborist would not support. Staff asked ComEd to investigate other options.
 - IDOT will be resurfacing Ogden Avenue. This project is expected to start in the spring of 2018. Permitting for the intersection of Ogden and Salt Creek/Oak Street is wrapping up and this project should be constructed in 2018 also.

TO: President Cauley and the Board of Trustees
FROM: Dan Deeter, PE
DATE: April 17, 2018
RE: Engineering March 2018 Monthly Report

The Engineering Division activities include working with the Building Division to complete site inspections, managing Capital Improvement Projects, responding to drainage complaints, and addressing environmental permit obligations. In total, three Engineering employees performed 52 construction site inspections or drainage complaint inspections in March.

Per Hinsdale's Combined Sewer Overflow Permit (Number IL0066818), staff submitted one monthly Discharge Monitoring Reports (DMRs) for each of the Village's four Combined Sewer Overflow (CSO) locations in March 2018.

The following capital improvement projects and engineering studies are underway:

2018 North Infrastructure Project

Locations:

- | | | |
|---------------------|-------------------------|---|
| ➤ Birchwood Road | Madison to East End | Resurfacing & water valve installation are in process |
| • Bonnie Brae Rd | The Pines to Washington | Resurface |
| ➤ Briargate Terrace | Madison to East End | Resurface, water valve installation in process |
| ➤ Bruner Street | Chestnut to Town Place | Reconstruct in process |
| ➤ Canterbury Court | Madison to East End | Resurface are in process |
| • Elm Street | Ogden to The Lane | Resurface |
| • Elm Street | The Lane to Ravine | Water Main (WM), Resurface |
| • Elm Street | Hickory to Walnut | WM, Resurface |
| • Franklin Street | North End to Fuller | PCC patch |
| • Garfield Avenue | North End to The Lane | Reconstruct |
| • Hampton Place | Elm to Oak | Reconstruct |
| ➤ Hickory Street | Stough to Adams | Sanitary sewer lining & resurfacing are in process |
| • Jefferson Street | North End to Minneola | Resurfacing |

MEMORANDUM

- | | | |
|---------------------|--------------------------|---|
| • Lincoln Street | Ogden to North | WM, sanitary sewer lining, & reconstruct |
| ➤ Madison Street | Glendale to Ogden | WM, sanitary sewer lining, & reconstruct are in process |
| ➤ Madison Street | Warren Ct to Morris Ln | Resurfacing in process |
| • Maumell Street | Garfield to York | WM, reconstruct |
| ➤ Monroe Street | Ogden to North | WM and resurfacing in process |
| ➤ Morris Lane | West End to Madison | Resurfacing is in process |
| ➤ North Street | West End to Adams | Resurfacing is in process |
| • North Street | Washington to Garfield | Resurface |
| • Sideyards | Washington to The Lane | WM |
| • The Lane | Garfield to County Line | WM, stm & san swr, reconstruct |
| • The Pines | North End to Bonnie Brae | Resurface, rain garden |
| ➤ Warren Court | West End to Madison | Resurfacing in process |
| • Washington Street | Glendale to Ogden | Resurface |
| ➤ Wedgewood Court | West End to Madison | Resurfacing in process |

Schedule:

- March 27, 2018 – Pre-construction meeting
- April 3, 2018 – Second Read of the construction contract and consent agenda for the construction observation contract.
- April 5, 2018 – Installation of tree protection measures and pavement & curb saw cutting
- April 9, 2018 – Construction starts with saw cutting, curb & gutter removal, and water main construction.

Status: The contractor, John Neri Construction, has begun construction on streets in the northwestern portion of the Village. Some discussions have begun concerning potential project cost savings.

2018 South Infrastructure Project

Locations:

- | | | |
|---------------------------|-----------------------|-------------------|
| • 57 th Street | Madison to Grant | Resurface |
| • 59 th Street | Grant to Garfield | Resurface |
| • Adams Street | Chestnut to South End | Concrete patching |
| • Bruner Street | Fourth to Sixth | Resurface |
| • Bruner Street | Eighth to South End | Resurface |

MEMORANDUM

• Chicago Avenue	Garfield to County Line	WM, Stm Swr, Reconstruct
• County Line Road	47 th to Sixth	WM, Resurfacing
• Eighth Place	Madison to East End	Stm Swr, Resurface
• Eighth Street	Bruner to Bodin	Stm Swr, Reconstruct
• Eighth Street	Monroe to Madison	Resurface
• Elm Street	Fourth to Sixth	WM, Stm Swr, Reconstruct
• Elm Street	Eighth to Ninth Court	Resurface
• Hinsdale Avenue	Jackson to Stough	Reconstruct
• W. Hinsdale Station	Parking Lot	Resurface
• Hinsdale Avenue	Monroe to Grant	Reconstruct
• Intersection	First & Orchard	Brick resurfacing
• Intersection	First & Oak	Brick resurfacing
• Jackson Street	Sixth to South End	Resurface
• Lincoln Street	Fifth to Eighth	San Swr lining
• Madison Street	Ninth to 55 th	Resurface
• Maple Street	Stough to Adams	Resurface
• Ninth Court	Park to Elm	WM, Resurface
• Ninth Street	Elm to County Line	Resurface
• Oak Street	Ninth to South End	Resurface
• Park Avenue	Eighth to Ninth	Reconstruct
• Park Avenue	Ninth to Ninth Ct.	Resurface
• Quincy Street	Stough to Maple	Rain garden
• Quincy Street	Chestnut to Town Place	Reconstruct south half
• Robbins Park Lot	Seventh & Vine	Resurface
• Seventh Street	Stough to Quincy	Concrete patching
• Stough Street	Eighth to Ninth	San Swr lining

Schedule:

- March 29, 2018 – bid opening
- April 3, 2018 – First Read of the construction and construction observation contracts.
- April 17, 2018 – Second Read of the construction contract and consent agenda for construction observation contract.
- April – October 2018 – Construction

Status: Approving contracts and preparing for construction.

Other Engineering Activities

Graue Mill Flood Protection Project – Final Phase Rausch Infrastructure re-mobilized in mid-February to continue construction. Substantial completion is expected by 05/30/18:

	<u>Status</u>
• 10/04/17 – Contractor mobilization	Complete
• Dec 2017 – Feb 2018 – Delay due to weather	
• General improvements – all areas	
○ Fabricate flood gates	Delivery expected 04/01/18
○ Install flood gates	0% complete
○ Concrete work of brick veneer	0% complete (awaiting selection)
○ Fabricate pumps	50% complete
• Flood protection for club house	05/25/18 Estimated Completion
✓ Underground	100% complete
○ Berm	50% complete
○ Landscaping	0% complete
• Flood protection for Cond I/II	04/30/18 Estimated Completion
✓ Sheet piling	100% complete
✓ Underground	100% complete
✓ Block flood wall	100% complete
○ Berm	0% complete
○ Landscaping	0% complete
• Flood protection for Buildings 3 & 4	05/25/18 Estimated Completion
✓ Underground	100% complete
✓ Block flood wall	100% complete
○ Berm	0% complete
○ Landscaping	0% complete
• Flood protection for Building A	04/30/18 Estimated Completion
✓ Underground	100% complete
✓ Block flood wall	100% complete
○ Berm	0% complete
○ Landscaping	0% complete

MEMORANDUM

- | | |
|---------------------------------------|-------------------------------|
| • Flood protection for Fox Lane | 05/25/18 Estimated Completion |
| ✓ Underground | 90% complete |
| ○ Sheet pile | 80% complete |
| ○ Berm | 0% complete |
| ○ Landscaping | 0% complete |
| • Flood protection for Hawthorne Lane | 05/25/18 Estimated Completion |
| ○ Berm | 75% complete |
| ○ Landscape | 0% complete |
| • Estimated contract completion | 05/30/18 |

On 03/20/18, IEMA confirmed that FEMA has extended the FEMA grant to March 21, 2019.

Nicor 'Investing in Illinois' Third Project.

Nicor has completed two Investing in Illinois projects in Hinsdale in 2017. The first improved gas mains and services in the Central Business District. The second improved gas mains and services on select streets north of Ogden Avenue.

Nicor is conducting a third "Investing in Illinois" project on streets in the southwestern portion of Hinsdale. Staff has been coordinating with Nicor to avoid impacts to the Village's accelerated MIP. Gas improvements will occur on the following streets:

- S Monroe (55th to 424 S Monroe)
- S Thurlow (8th St to 9th St)
- S Vine St (9th St to 55th St)
- S Grant St (9th St to 55th St)
- S Washington St (55th St to 5601 S Washington St)
- S Garfield St (55th St to 730 S Garfield St)
- E 9th St (24 E 9th St to Park St)

Nicor is using the Robbins Park parking lot at Seventh & Vine as their "laydown" area over the winter. This parking lot will be resurface as part of the 2018 South Infrastructure Project. Nicor is responsible for communications to residents regarding their projects. Staff will assist with communications when necessary.

Schedule:

- 12/13/17 – Mobilized equipment and personnel
- 12/21/17 – 01/02/18 – Holiday shutdown
- 01/03/18 – Present – Nicor continues on S. Hinsdale improvements

Commonwealth Edison (ComEd) Upgrade to Distribution System

ComEd has proposed a project to upgrade their distribution system in 2018. The intent of the project is to provide a second set of 34 KiloVolt (KV) power lines to supply power to the ComEd relay station on Symonds Road.

Construction Area: Power station on Symonds south to Chicago Avenue (underground)
Chicago Avenue from Park to County Line (overhead)
County Line Road from Chicago to 55th (overhead)
55th Street from County Line to I-294

On 02/15/18 ComEd stated that they will directionally boring the new 34 KV lines down Chicago and County Line. ComEd has not identified when this construction will occur.

Ogden Avenue Improvements

- In November, IDOT provided the Village with preliminary plans for resurfacing Ogden Avenue from east of Illinois Route 83 to west of I-294. On 02/12/18, IDOT provided final plans for Ogden Avenue resurfacing. IDOT anticipates opening bids 04/27/18 with construction beginning as early as April 2018 ("subject to available funds).
- Eriksson Engineering has been submitting documentation to construct the intersection improvements at Ogden & Salt Creek Lane. These improvements were required as part of the Amita Health Cancer Institute development at 1 Salt Creek Lane. Eriksson, the engineering consultants for Amita Health, estimates that the intersection improvements will be bid and constructed in 2018.
- Staff will monitor the progress of these two improvements on Ogden Avenue and assist in the coordination of the construction.

Flood Plain Mapping in DuPage County

The Illinois State Water Survey (ISWS) and Federal Emergency Management Agency (FEMA) have been working to revise the flood plain mapping documents in DuPage County for about five years. The major documents being improved are the Flood Insurance Rate Map (FIRM) and the Flood Insurance Study (FIS).

The Village received preliminary FIRM maps in June 2015 and June 2017. DuPage County guidance is that the June 2015 preliminary FIRM map will be used to regulate new construction. In addition to letters to municipalities, they published a notice to this effect in the Daily Herald on July 8, 2015.

MEMORANDUM

On 02/16/18, the Village received an update letter from FEMA. An outline of the FEMA revision process discussed in the letter is shown below:

- 12/29/17 – FEMA published a notice of the proposed flood hazard determinations in the Federal Register.
- 02/22/18 and 03/01/18 – FEMA published a public notification concerning the appeal process in the Hinsdalean.
- 90-day comment period. Interested parties have 90-days after 03/01/18 to submit appeals to FEMA. (These appeals should be based upon scientific or technical information and should include supporting documentation and data.)
- FEMA/ISWS will review comments received.
- Following resolution of any appeals and comments, FEMA will send a “letter of determination” which finalizes the flood hazard information and establishes an effective date for the new FIRM and FIS. FEMA did not provide an estimated date for the letter of determination.

Staff has been updating residents periodically during this map revision process. In Hinsdale, the most significant impact of the flood map revisions is to raise the base flood elevation on Salt Creek. These higher flood elevations correspond to recent flooding experiences in 2010 and 2013. These higher flood elevations have been considered in funding and designing the Graue Mill Flood Protection Project.

State and Federal Funding Opportunities

A summary of the Grant Funds awarded or applied for by the Village of Hinsdale is attached.

**Veeck Park Wet Weather Facility
Hinsdale, Illinois**

Date	Overflow Ht. Above Weir (feet)	Precipitation (inches of water)
03/01/18		0.59
03/02/18		
03/03/18		
03/04/18		
03/05/18		
03/06/18		
03/07/18		
03/08/18		
03/09/18		
03/10/18		
03/11/18		
03/12/18		
03/13/18		
03/14/18		
03/15/18		
03/16/18		
03/17/18		
03/18/18		
03/19/18		
03/20/18		
03/21/18		
03/22/18		
03/23/18		
03/24/18		
03/25/18		
03/26/18		0.19
03/27/18		0.24
03/28/18		
03/29/18		0.08
03/30/18		
03/31/18		0.05
Precipitation in March:		1.15
Departure from Normal:		-1.35
		46% of normal rainfall

Notes:

1. Rain data from Weather Underground

Village of Hinsdale

Source	Program	Purpose	Funds Available	Amount
Illinois Commerce Commission	Crossing Safety Improvement Program	Oak Street Bridge - 60% Funding	2015 Capital Budget	\$ 4,240,000
Senator Dillard	State Capital Bill	Oak Street Bridge	Effective January 1, 2011	\$ 825,000
West Suburban Mass Transit	Car Sale Proceeds	Oak Street Bridge Eng/Construction	50/50 Reimbursement	\$ 395,000
Illinois Dept of Transportation	Federal Highway Bridge Program	Oak Street Bridge Phase I	July 2010 - 80/20	\$ 680,000
DuPage Mayors & Managers	Federal Stimulus	S. Garfield Reconstruction	Paid Through IDOT	\$ 1,632,000
Senator Dillard & Rep Bellock	Emergency Repair Program	Street resurfacing	Upon Project Completion	\$ 300,000
Representative Bellock	State Capital Bill	N. Washington Reconstruction	Upon issuance of bonds	\$ 340,000
New Local Transportation Projects	State Capital Bill	Road Improvements	20% released October, 2010	\$ 389,540
Lyons Township	Bond Proceeds	KLM Park Pavilion	Upon Project Completion	\$ 150,000
DuPage Mayors & Managers	STP Program	Oak Street Bridge	2015 Capital Budget	\$ 3,830,000
IDNR	OSLAD	Improvements to KLM	Awarded	\$ 150,000
IEPA	ARRA/State Revolving Loan	Garfield Sewer Separation	Loan docs received 7/05/11	\$ 444,160
IEPA	ARRA/State Revolving Loan	Chestnut Sewer Separation	Loan docs received 8/16/11	\$ 3,728,196
West Suburban Mass Transit	Car Sale Proceeds	Highland Parking Lot	2/3 reimbursement	\$ 100,000
IDOT	Federal Highway Bridge Program	Oak Street Bridge Phases II & III	IDOT local agency agreem't	\$ 5,904,514
Illinois Dept of Transportation	Surface Transportation Program (STP)	Garfield Street (Chicago Ave. - 55th) resurfacing (letting Jan 2019)	70% SPT match	\$ 807,000
			30% local match	
Illinois Dept of Transportation	Surface Transportation Program (STP)	Chicago Ave (IL Rte 83 - Garfield) resurfacing (letting Jan 2020)	70% SPT match	\$ 760,000
			30% local match	
Total				<u>\$ 24,675,409</u>

**Village of Hinsdale
Grant Applications Under Consideration**

Source	Program	Purpose	Status	Amount
Total				<u>\$ -</u>



11c

MEMORANDUM

DATE: April 13, 2018
TO: President Cauley and the Village Board of Trustees
CC: Kathleen A. Gargano, Village Manager
FROM: Robert McGinnis, Community Development Director/Building Commissioner *RM*
RE: **Community Development Department Monthly Report- March 2018**

In the month of March the department issued 64 permits including 5 new single family homes. The department conducted 298 inspections and revenue for the month came in at just under \$285,000.

There are approximately 60 applications in house, including 11 single family homes and 16 commercial alterations. There are 32 permits ready to issue at this time, plan review turnaround is running approximately 3-4 weeks, and lead times for inspection requests are running approximately 24 hours.

The Engineering Division has continued to work with the department in order to complete site inspections and respond to drainage complaints. In total, 52 engineering inspections were performed for the month of March by the division. This does not include any inspection of road program work and is primarily tied to building construction and drainage complaints.

We currently have 32 vacant properties on our registry list. The department continues to pursue owners of vacant and blighted properties to either demolish them and restore the lots or come into compliance with the property maintenance code.

COMMUNITY DEVELOPMENT MONTHLY REPORT March 2018

PERMITS	THIS MONTH	THIS MONTH LAST YEAR	FEEs	FY TO DATE	TOTAL LAST FY TO DATE
New Single Family Homes	5	3			
New Multi Family Homes	0	0			
Residential Addns./Alts.	9	16			
Commercial New	0	0			
Commercial Addns./Alts.	3	8			
Miscellaneous	12	24			
Demolitions	5	2			
Total Building Permits	34	53	\$ 245,919.00	\$1,167,063.00	\$1,151,680.00
Total Electrical Permits	18	19	\$ 20,689.00	\$ 100,583.00	\$108,719.00
Total Plumbing Permits	12	19	\$ 18,280.00	\$ 148,346.00	\$163,143.00
TOTALS	64	91	\$ 284,888.00	\$1,415,992.00	\$ 1,423,542.00

Citations			\$750		
Vacant Properties	32				

INSPECTIONS	THIS MONTH	THIS MONTH LAST YEAR			
Bldg, Elec, HVAC	146	158			
Plumbing	34	53			
Property Maint./Site Mgmt.	66	74			
Engineering	52	53			
TOTALS	298	338			

REMARKS:

VILLAGE OF HINSDALE - March 20, 2018

<i>Name</i>	<i>Ticket NO.</i>	<i>Location</i>	<i>Violation</i>	<i>Ord Fine</i>	<i>Result</i>
DeRiggi Construction	11877	233 Fuller Road	Standards and conditions	500	500
Dussman, Judith	11886	46 S. Madison	Property Maintenance		continued
Espinoza, Odeta	8734	909 S., Madison	Property Maintenance		continued
Espinoza, Odeta	8735	909 S., Madison	Property Maintenance		continued
Joe Jankovsky	11884	530 N. Grant	Failure to renew permit		continued
Timm T. Martin Co.	11883	328 E. Eighth Street	Violation of work hours	250	250

Total: 750

MONTHLY TOTAL: 750



DATE: April 17, 2018

TO: Thomas K. Cauley, Village President
Village Board of Trustees
Kathleen A. Gargano, Village Manager

FROM: John Giannelli, Fire Chief

RE: Executive Summary–Fire Department Activities for March 2018

In summary, the Fire Department activities for March 2018 included responding to a total of **210** emergency incidents. There were **55** fire-related incidents, **113** emergency medical-related incidents, and **42** emergency / service-related incidents.

This month, the average response time from receiving a call to Department crews responding, averaged 1 minute and 30 seconds. Response time from receiving a call to Department crews arriving on the scene was 4 minutes and 44 seconds.

In the month of March, there was no dollar loss due to fires. Members assisted Clarendon Hills and Western Springs on various calls.

In the month of March, Chief Giannelli covered short shifts due to one member being off. The total hours covered were 24, thereby saving the Village an estimated \$1,320 in overtime.

FF/PM Majewski completed a rear compartment organizer for Chief 84's vehicle. If this item was purchased commercially it would have cost over \$1,000.

Chief Giannelli and AC McElroy attended a parking deck construction meeting.

AC McElroy attended the second session of the IRMA Behavioral Health series in Oak Brook.

FF/PM McDonough and Schaberg give a first aid lecture to a Boy Scout group.



Hinsdale Fire Department – Monthly Report March 2018



FF/PM Patitucci and Dudek assisted the Public Services Department with prairie burn. E85 was on standby onsite of the burn.

Members conducted the annual consumption test. All members passed the test requirements.

FF Dudek assisted Hinsdale Public Services with controlled burns on Charleston St. and S. Jackson Street.

Lt. Neville taught several CPR classes for members of the Hinsdale Police Department.

FF/PM Skibbens coordinated visits from sales representatives to evaluate new Cardiac Compression Device to be purchased in FY/2018-2019 budget.



Hinsdale Fire Department – Monthly Report
March 2018



Emergency Response

In **March**, the Hinsdale Fire Department responded to a total of **210** requests for assistance for a total of **636** responses this calendar year. There were **30** simultaneous responses and **seven** train delays this month. The responses are divided into three basic categories as follows:

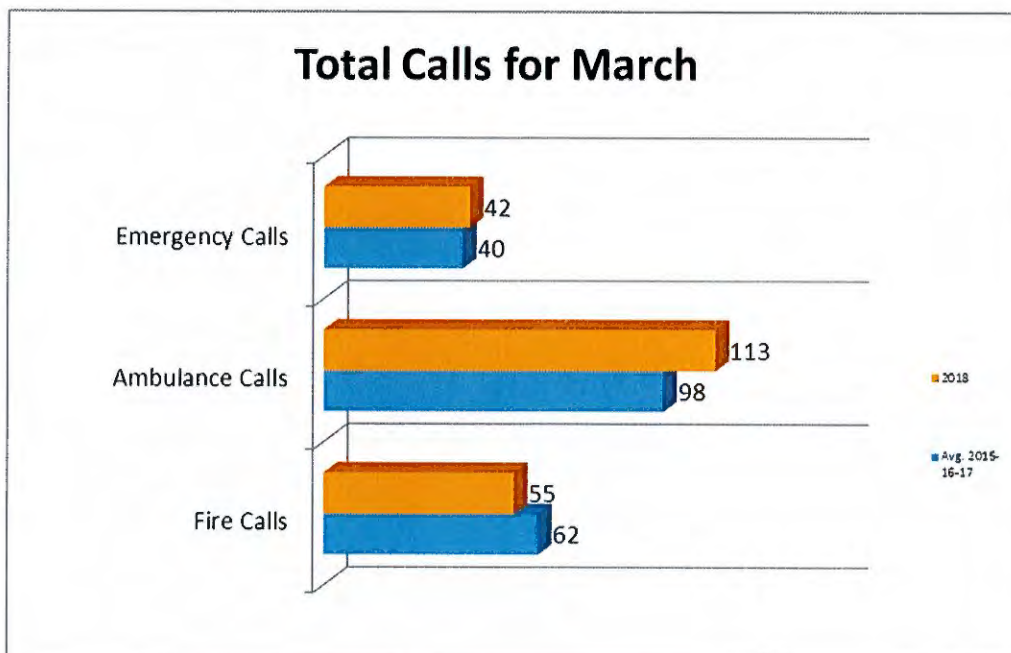
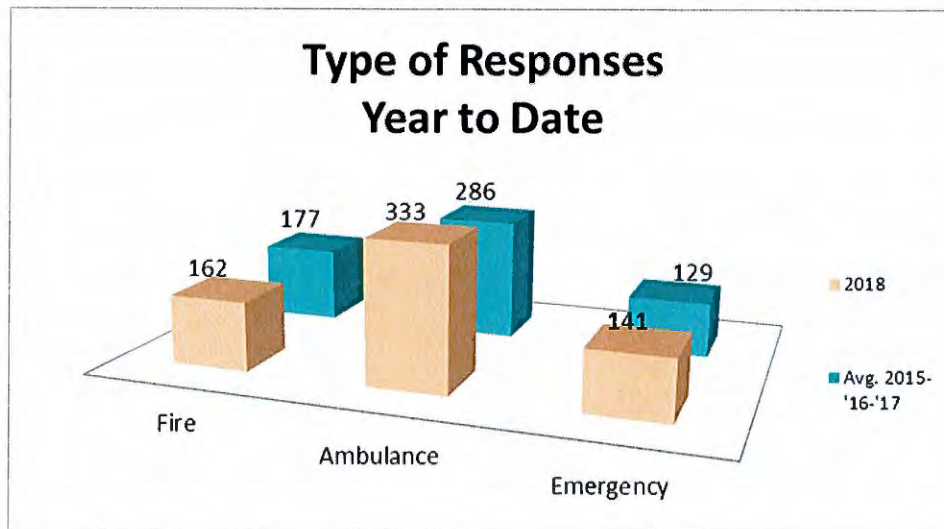
Type of Response	March 2018	% of Total	Three Year March Average 2015-2016-2017
Fire: (Includes incidents that involve fire, either in a structure, in a vehicle or outside of a structure, along with activated fire alarms and/or reports of smoke)	55	26%	62
Ambulance: (Includes ambulance requests, vehicle accidents and patient assists)	113	54%	98
Emergency: (Includes calls for leaks and spills, hazardous material response, power lines down, carbon monoxide alarms, trouble fire alarms, house lock outs, elevator rescues, and other service related calls)	42	20%	40
Simultaneous: (Responses while another call is on-going. Number is included in total)	30	14%	32
Train Delay: (Number is included in total)	7	3%	2
Total:	210	100%	200

Year to Date Totals

Fire: 162	Ambulance: 333	Emergency: 141
2018	2015-16-17	
Total: 636	Average: 592	



Emergency Response

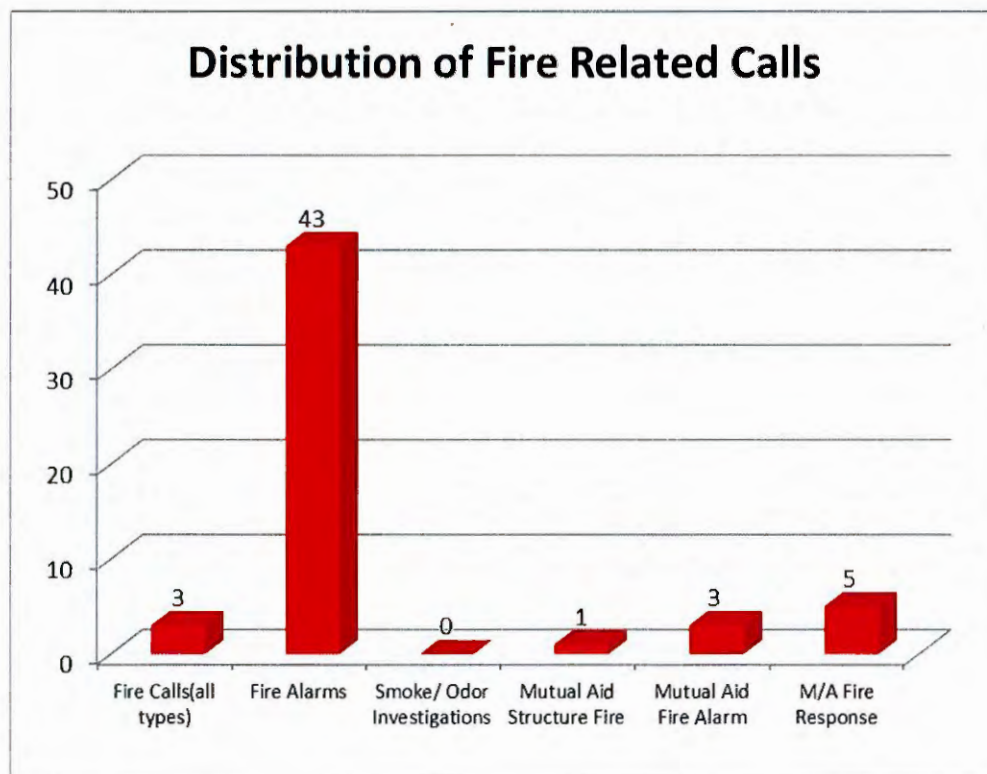
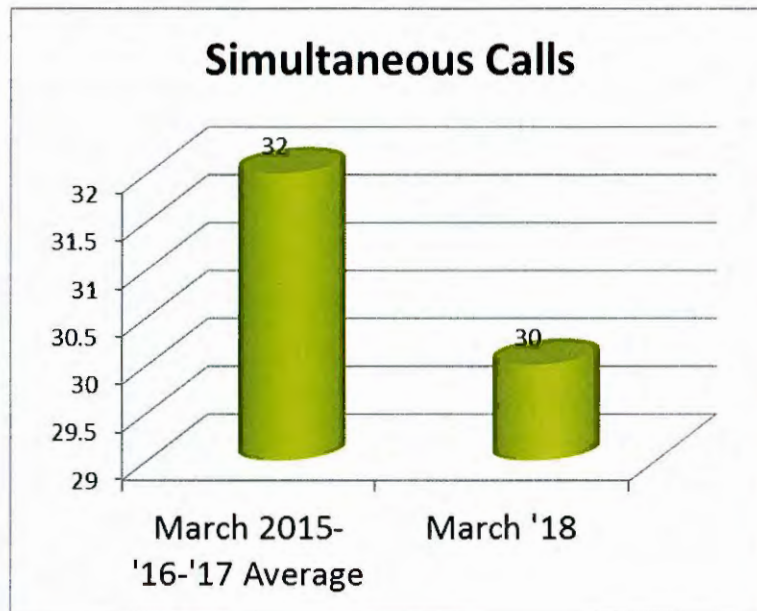




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Emergency Response



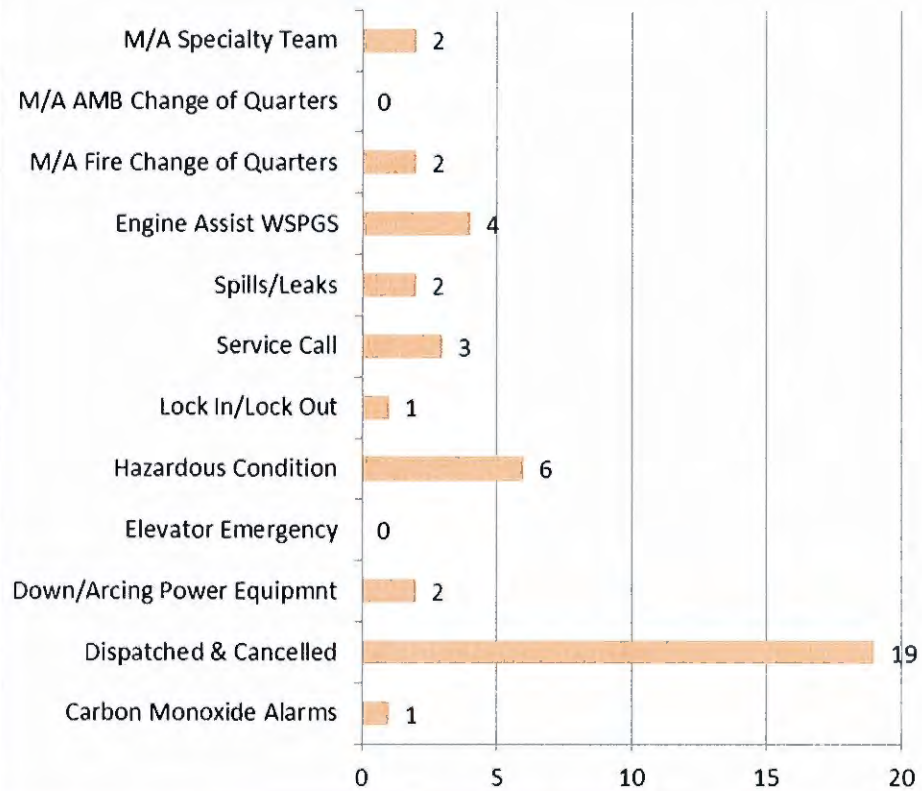


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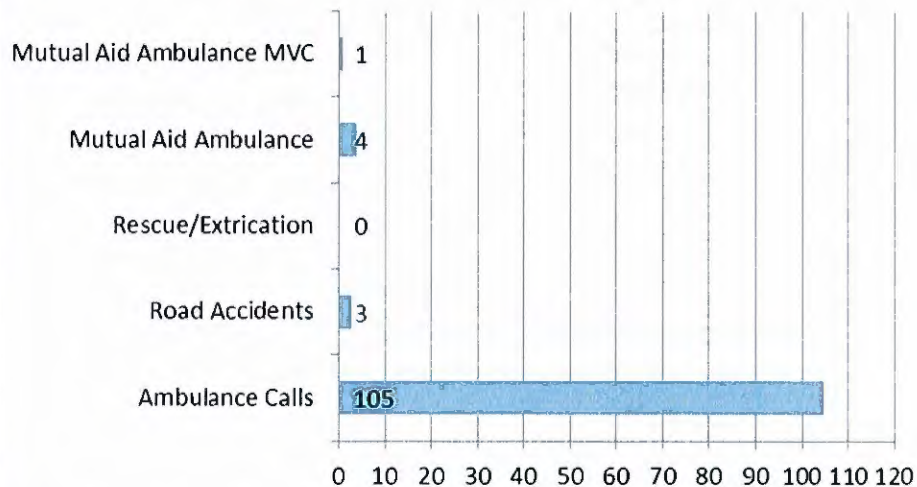


Emergency Response

Distribution of Emergency Related Calls



Distribution of EMS Related Calls





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Incidents of Interest

18-0435 – Vehicle fire at the Hinsdale Oasis. Engine 84 (Cpt. Claybrook, FF/PMs Smith, Tullis, and Nichols) was dispatched for the vehicle fire at the oasis. Upon arrival E84 found a fully involved commercial van parked next to the building that was cleaning the hood and duct system at the oasis. During the cleaning process the van caught fire. E84 was able to quickly extinguish the fire and prevent any extension into the building.

18-0443 – Members responded for the structure fire in Pleasantview at 1281 W. 63rd St. Companies performed overhaul of the interior of the structure and extinguished hot spots with a hose line.

18-0455 – Members responded to 830 N. Madison St. for a report of a man having a seizure on a bus. As the call progressed, we came to find out that this was a school bus and the person having the seizure was the driver. A witness and several of the kids on the bus assisted in getting the bus stopped and the brake set. M84 transported the driver to Hinsdale Hospital. No one else on the bus was injured. The bus was from the Clarendon Hills Middle School. Hinsdale Police handled getting the students to their parents and notifications to all parties involved.

18-0471 – Members responded to a vehicle vs. pedestrian accident. Upon arrival, members found a severely injured patient that had been crossing the street in front of Fuller's hardware when he was struck by a vehicle. The patient had severe trauma and was transported with Advanced Life Support to Good Samaritan Hospital ER.

18-0489 – Members responded to a report of a vehicle into the building with the driver possibly trapped in the car. Upon arrival, we found a car that had driven through a garage door and had been pulled out of the garage. The driver was out of the car and denied any injuries. Members checked for hazards in the garage and made sure the structure was safe and secure.

18-0505 – Members responded for a fall victim. When members arrived on the scene, the patient had fallen 20 feet into a confined shaft. The member was packaged onto a backboard and then into a stokes basket so the patient could be lifted out of the shaft. Patient was transported with Advanced Life Support measures to Good Samaritan Hospital, which is a Level 1 Trauma Center. Multiple Technical Rescue Technicians were on the scene and were able to secure the patient to the necessary equipment and were able to lift the patient out of the shaft safely and with no further injury to the patient.

18-0553 – FF Schaberg responded as a fire investigator with the Division 10 Cause and Origin Team to 540 N. Stone in LaGrange Park for the structure fire. FF Schaberg was the Lead Investigator for this fire and coordinated the fire investigation unit activities.



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18-0574 – FF Schaberg responded as a fire investigator with the Division 10 Cause and Origin Team to 10001 75th St (UPS) in Pleasant-view for the structure fire. FF Schaberg was the Lead Photographer for this fire.

18-0596 – Members responded to the cardiac arrest at KLM Lodge. Crews successfully resuscitated and transported the patient to Hinsdale ER.



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Training/Events

Besides daily training in EMS, Technical Rescue, Hazardous Materials, firefighting, and vehicle checks, members completed the following specialized training:

Capt. Carlson and FF/PM Dudek took two students from St. Isaac Jogues from their residence to school in Engine 84 as part of a giveaway to raise money for the school. Family was also invited to stay and have dinner with the shift, which they took advantage of.

FF/PM Schaberg and Dudek taught First Aid and gave a tour to a Boy Scout group.

FF/PMs Schaberg and Majewski are preceptors for a new paramedic student. His internship includes 500 hours of supervised time riding with HFD.

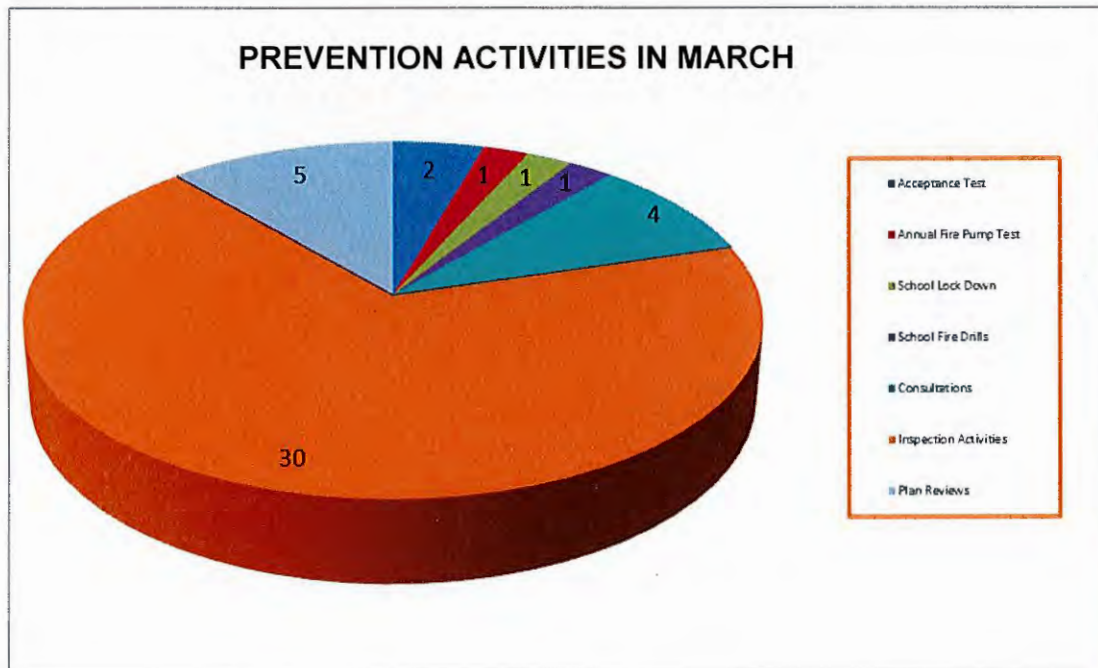
AC McElroy attended Rescue Task Force training at Western Springs. This training is for an Active Shooter in a school.

FF/PM Karban attended DuPage County Task Force fire investigation training on March 15.



Public Education

The fire prevention bureau is responsible for conducting a variety of activities designed to educate the public, to prevent fires and emergencies, and to better prepare the public in the event a fire or medical emergency occurs.



Fire Prevention/Safety Education:

- *Attended District 181 Safety and Crisis Plan meeting on March 21, 2018, to continue working on school security measures.*
- *Attended the Illinois Tollway preconstruction meeting for the bridge repair work along I-294.*
- *Attended the MABAS 10 Symposium on March 14 that covered the statistics on MAYDAYS to better understand how to prevent them as well as work through them.*
- *Witnessed the Rescue Task Force Drill with Western Springs Police and Fire Departments to test new SOP changes; drill started at 19:00 hours.*
- *Attended First Responders Behavioral Health lecture hosted by IRMA on March 28. This was part two of a three part series.*
- *Attended the parking deck meetings for Village and HMS on March 20 and 22.*



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Inspection Activities

Hinsdale Fire Department Inspection Activities

March 2018 total of 44 Fire Inspection Activities

Inspections 24

- Initial (7)
- Fire Alarm (15)
- Special (2)

Re-inspections 6

Acceptance Test 2

- Alarm Systems (2)

Annual Fire Pump Test 1

Plan Reviews 5

- General (5)

Consultations 4

- General (3)
- Fire Alarm (1)

School Lock Down 1

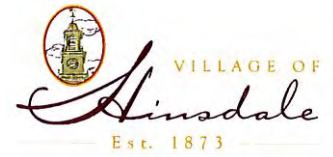
School Fire Drills 1

Other Bureau Activities:

- Attended District 181 Safety and Crisis Plan Meeting on March 21, 2018 to continue working on school security measures
- Attended the Illinois Tollway preconstruction meeting for the bridge repair work along I294.
- Attended the MABAS 10 Symposium March 14 which covered the statistics on MAYDAYS to better understand how to prevent them as well as work through them,
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- Attended the parking deck meetings for the village and HMS on March 20th and 22nd.



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Inspection Fees forwarded to the Finance Department in the month of March was \$1260.00

The total inspection fees forwarded to the finance department for the fiscal year 2017/18 to date is \$40,270.00



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The Survey Says...

Each month, the department sends out surveys to those that we provide service. These surveys are valuable in evaluating the quality of the service we provide and are an opportunity for improvement.

Customer Service Survey Feedback:

In the month of March, we received **six Public Education Instructor Evaluations**. Also in the month of March, **35 Service Surveys** were mailed; we received **11 responses** with the following results:

Were you satisfied with the response time of our personnel to your emergency?

Yes – 11 / 11

Was the quality of service received:

“Higher” than what I expected – 7 / 11

“About” what I expected – 4 / 11

“Somewhat lower” than I had expected 0 / 11

Miscellaneous Comments (direct quotes):

“I thought they made me feel very comfortable, which I appreciated.”

“They were were[sic] efficient & effective. They did an excellent job taking care of me in a difficult location and were able to get me out in a safe manner. They were very caring and made sure I understood what was happening and what they were doing to help me.”

“All the responders who attended me after my accident on the front steps did a fabulous job! Thanks guys!!”

“The Paramedics were outstanding. In spite of a very busy day, they were gentle, kind and very personable and also really, really cute!” A big “Thank you” again to them. Just keep up your good work. Sometimes it’s hard when people don’t feel well they tend to be “Grumpy” be personable and kind and the rewards will come by what you do!”

Public Education responses:

All responses received the highest rating for knowledge, age appropriateness, professionalism, organization, and being thought provoking and beneficial to students. Comments were: *“Terrific presentation once again! Very beneficial practice in dialing 9-1-1 and for first graders to know how to get help if needed and to reinforce needing to know their addresses. ☺”*