



MEETING AGENDA

Public comments are welcome on any topic related to the business of the Plan Commission at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. While emailed or written comments are encouraged, **public comment may also be made using Zoom** following the instructions below: From a PC, Mac, iPad, iPhone or Android device, please click on the following URL or copy and paste to your browser.

<https://tinyurl.com/yty75bpk>

Meeting ID: 895 4983 3657

Passcode: 533269

Or join by phone:

+13126266799

**MEETING OF THE
PLAN COMMISSION
Wednesday, March 10, 2021
7:30 P.M.**

This meeting will be conducted electronically. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website
(Tentative and Subject to Change)

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT** (On Non-Agenda Items)
- 4. APPROVAL OF MINUTES** – February 10, 2021
- 5. EXTERIOR APPEARANCE AND SITE PLAN REVIEW**
 - a) Case A-02-2021 – 5500 S. Grant Street – Hinsdale Township High School D86 – Exterior Appearance and Site Plan Review for various building and site improvements as part of Phase II referendum upgrades to Hinsdale Central High School
- 6. ADJOURNMENT**

All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read.

Matters on this agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact the ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Web Site: www.villageofhinsdale.org

Approved

**MINUTES
VILLAGE OF HINSDALE
PLAN COMMISSION
February 10, 2021
MEMORIAL HALL
7:30 P.M.**

Plan Commission Chairman Cashman called the meeting to order at 7:36 p.m., Wednesday, February 10, 2021, conducted electronically, with a live audio stream of the meeting available to the public via Channel 6 and on the Village website.

PRESENT: Steve Cashman, Julie Crnovich, Michelle Fisher, Patrick Hurley, Gerald Jablonski, & Jim Krillenberger

ABSENT: Anna Fiascone, Troy Unell, & Mark Willobee

ALSO PRESENT: Robb McGinnis, Director of Community Development, & Nathan Parch, Interim Village Planner

Public Comment on Non-Agenda Items

Chairman Cashman asked for any public comments. Hearing none, the meeting moved on to the next agenda item.

Approval of the Minutes – January 13, 2021

With no questions or comments, the Plan Commission (PC) **unanimously approved** the January 13, 2021 minutes as submitted, 6-0, (3 absent).

Findings and Recommendations – Case A-33-2020 – Hinsdale LM Properties, LLC – Major Adjustment to the Exterior Appearance of the Two-Story Commercial Building at 26-38 E. First Street in the B-2 Central Business District – Garfield Crossing.

With no questions or comments, the PC unanimously approved the Findings and Recommendations as submitted, 6-0, (3 absent).

Adjournment

The meeting was adjourned at 7:39 PM after a unanimous vote.

Respectfully submitted by Jennifer Spires, Community Development Secretary



MEMORANDUM

DATE: March 1, 2021

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Nathan Parch, Interim Village Planner

RE: 5500 S. Grant Street – Hinsdale Central High School/Hinsdale Township High School D86 Exterior Appearance and Site Plan Review for Various Development Requests as Part of Phase II Referendum Improvements
Case A-02-2021 – IB Institutional Buildings District

Summary

The Village of Hinsdale has received an Exterior Appearance and Site Plan Review application from architect ARCON Associates, Inc. on behalf of Hinsdale Township High School D86, requesting approval for improvements to the existing building and grounds at Hinsdale Central High School, 5500 S. Grant Street. The below improvements represent Phase II of referendum upgrades to the High School as part of a 3-year program.

- 1) **Fine Arts Addition, Entry Plaza, & Site Lighting** – New one (1) story addition, 10,300 square feet, and new outdoor plaza with landscaping and lighting (*east building elevation facing Grant Street*) – see Sheets 3-A3.1, 3-AS1.2, 3-L1.0-F, Fine Arts Exterior Perspective, & Photometrics prepared by LandscapeForms, pgs. 1-3;
- 2) **Student Services/Special Education Addition & Courtyard Restoration/Renovation** – New two (2) story addition, 20,710 square feet, and courtyard restoration/renovation (*addition is fully within existing courtyard just south of building elevation facing 55th Street*) – see Sheets 3-A3.1, 3-AS1.1, 3-L1.0-B, & Student Services Exterior Perspective;
- 3) **Ticket Booth Building** – New one (1) story ticket booth building for football field, 195 square feet (*west of school building and east of football field*) – see Sheet 3-AS1.6 & Ticket Booth Exterior Perspective;
- 4) **Grandstand, Press Box, & Fence Replacement** – Replacement of west football field grandstand and press box (*near corner of Madison Street/55th Street*) – see Sheets 1-7 of Grandstand/Press Box plans and details. Also, a portion of the galvanized chain-link fence behind the grandstand on Madison will be removed for construction purposes and replaced with the same to match existing.
- 5) **Varsity Baseball Field Backstop & Fence Replacement** – Replacement of existing chain-link fence backstop with new constructed of brick/stone knee wall and nylon safety netting supported by black steel poles (total height of wall + netting = 40 feet). Additionally, replacement of fencing between backstop and dugouts with new 8-foot tall black coated vinyl chain-link. (*south of school building facing 57th Street*) – see Sheets 3-AS1.9, 3-AS2.1, & 3-C6.3;
- 6) **Junior Varsity Baseball Outfield Fence Installation** – Install 8-foot tall black coated vinyl chain-link fence in outfield (*corner of Grant Street/57th Street*) – see Sheets 3-L1.0-I & 3-C6.3;



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- 7) **Junior Varsity Softball Field Backstop & Baseline Fence Replacement** – Replacement of fencing with chain-link for backstop and baseline area (*east of Grant street north of parking lot*) – see Sheet 3-C6.3;
- 8) **Parking Lot Lighting** – Addition of two (2) parking lot light fixtures (27'-6" height) and re-lamp four (4) existing parking lot light fixtures (*parking lot east of Grant Street*) – see Sheets 3-E3.1-B & East Parking Lot Photometric Plan; and
- 9) **Various Pavement Replacement & Maintenance** – The master site plan notes pavement replacement/renovation and maintenance in various areas for the purpose of repair or restoration resulting from the proposed development. There is no change to stall counts in any parking areas.

****The improvements detailed above were also reviewed by the Zoning Board of Appeals (ZBA) at a public hearing on January 20, 2021 as part of the applicant's request for six (6) zoning variation requests. More information is included below in the Process section of this memorandum.*

Request and Analysis

In addition to the plans submitted by ARCON Associates, Inc., the attached Application for Exterior Appearance and Site Plan Review provides details regarding the proposed development and responds to each review criterion outlined in Sections 11-604 and 11-606 of the Zoning Code concerning site plan and exterior appearance review. In summary, the proposed improvements were designed to match the existing character of the high school campus with materials intended to be visually compatible with those existing.

The student services/special education addition is located within an existing fully-enclosed courtyard space and will not be visible from any street. The fine arts addition infills the current building maintenance loading dock and trash area, significantly improving the exterior appearance viewed from Grant Street. This addition was given a prominent façade serving as a new entrance to the school with a landscaped plaza in front. Exterior brick for both additions will match Phase I building additions.

The ticket booth structure was designed to match the existing huddle house structure located south of the football field. It will be clad in face brick with asphalt shingles on the roof.

The grandstand and press box structure will be slightly shorter in height than the existing one (23'-6" to top of press box existing vs 22'-9" proposed). The grandstand will be an anodized aluminum structure, rails and benches, with accents of red on the risers (think under the bench, behind the knees) and red at the front apron by the running track. Fencing at the end aisles will be black vinyl coated chain-link. The press box will be clad in corrugated metal painted white with red accents and a low slope roof with observation deck. The roof railing will be vinyl coated fencing. The red/white color scheme will be similar to existing conditions.

Landscaping will retain existing trees and shrubs. Existing old growth trees along Madison Street, adjacent to the proposed grandstand replacement, are proposed to be protected during construction activities. New landscaping and site amenities are proposed to the courtyard as part of the student services/special



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education addition and to the fine arts addition entry plaza. In most cases fencing in athletic fields will be black vinyl coated chain-link.

In terms of new lighting, 5 light poles and 6 pathway lights will be added to the fine arts entry plaza providing illumination to this newly created space; all will meet the Village's accessory height limit of 15 feet. Two new pole lights will be added to the expanded portion of the parking lot east of Garfield Street. Existing pole lights in the parking lot will remain and the fixtures will be re-lamped.

Process

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-604 and 11-606.

***The Zoning Board of Appeals (ZBA) at a public hearing on January 20, 2021 considered six (6) zoning variations related to the applicant's various development requests, specifically:

- 1) Construct grandstand and press box structure that exceeds height limitations within corner side yard setback; **ZBA APPROVED 1/20/21**
- 2) Replace existing perimeter chain-link fencing around the grandstand and press box structure; **ZBA RECOMMENDED APPROVAL 1/20/21**
- 3) Construct ticket booth that exceeds allowable height for accessory structure; **ZBA RECOMMENDED APPROVAL 1/20/21**
- 4) Replace chain-link fencing backstop around varsity baseball field; **ZBA RECOMMENDED APPROVAL 1/20/21**
- 5) Install chain-link fencing around the junior varsity softball and baseball field and the varsity baseball field; **ZBA RECOMMENDED APPROVAL 1/20/21** and
- 6) Install parking lot light fixtures that exceed the allowable height. **ZBA RECOMMENDED APPROVAL 1/20/21**

Please note, variations 2 through 6 require final action by the Village Board.

Attachments:

- Attachment 1 – Exterior Appearance/Site Plan Application Request and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Street View of 5500 S. Grant Street (to illustrate the existing building color and materials)
- Attachment 4 - Aerial View of 5500 S. Grant Street
- Attachment 5 – ZBA Final Decision Summary, case V-06-20, January, 20 2021



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: ARCON Associates, Inc.

Address: 2050 S. Finley Road, Suite 40

City/Zip: Lombard, IL 60148

Phone/Fax: (____) PH: 630-495-1900 _____

E-Mail: ntgraal@arconassoc.com

Owner

Name: Hinsdale Township High School D86

Address: 5500 S. Grant Street

City/Zip: Hinsdale, IL 60521

Phone/Fax: (____) PH: 630-655-6100 _____

E-Mail: tprentis@hinsdale86.org

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Dorothy McCarty

Title: Cotter Consulting / Owner's Rep.

Address: 745 McClintock Drive, Suite 130

City/Zip: Burr Ridge, IL 60527

Phone/Fax: (____) PH: 708-574-1046 _____

E-Mail: D.McCarty@cotterconsulting.com

Name: Kerry Pipal
Hodges, Loizzi, Eisenhammer, Rodick & Kohn,

Title: LLP / Attorney

Address: 3030 Salt Creek Lane, Suite 202

City/Zip: Arlington Heights, IL 60005

Phone/Fax: (____) PH: 847-670-9000 _____

E-Mail: kpipal@hlerk.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) Steve Cashman, Hinsdale IL, Chair of Hinsdale Plan Commission, School District 86
Facilities Committee Member
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 5500 S. Grant Street

Property identification number (P.I.N. or tax number): multiple, see attached ALTA Commitment submitted as proof of ownership for P.I.N #s.

Brief description of proposed project: _____
Additions and Renovations to Hinsdale Central High School - Phase 2 Improvements

General description or characteristics of the site: _____
Existing Public High School Campus

Existing zoning and land use: IB-Institutional

Surrounding zoning and existing land uses:

North: R-2 / R-4 South: R-3 / R-5

East: R-3 West: R-6

Proposed zoning and land use: IB-Institutional

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Site Plan Approval 11-604 | <input type="checkbox"/> Map and Text Amendments 11-601E
Amendment Requested: _____
_____ |
| <input type="checkbox"/> Design Review Permit 11-605E | |
| <input checked="" type="checkbox"/> Exterior Appearance 11-606E | <input type="checkbox"/> Planned Development 11-603E |
| <input type="checkbox"/> Special Use Permit 11-602E
Special Use Requested: _____

_____ | <input type="checkbox"/> Development in the B-2 Central Business District Questionnaire |

TABLE OF COMPLIANCE

Address of subject property: 5500 South Grant Street

The following table is based on the IB Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	350,000 SF	1,501,285 SF	NO CHANGE
Lot Depth	250'	1263'	NO CHANGE
Lot Width	200'	1252'	NO CHANGE
Building Height	50'	VARIES BUT 47'-6" MAX.	SEE ATTACHED
Number of Stories	NOT LISTED	2 STORIES	SEE ATTACHED
Front Yard Setback	35'	VARIES BUT > 35'	NO CHANGE
Corner Side Yard Setback	35'	VARIES BUT > 35'	NO CHANGE
Interior Side Yard Setback	25'	VARIES BUT > 25'	NO CHANGE
Rear Yard Setback	25'	NOT APPLICABLE	NOT APPLICABLE
Maximum Floor Area Ratio (F.A.R.)*	.50 / 750,643 SF	.34 / 511,098 SF	.36 / 542,303 SF
Maximum Total Building Coverage*	NOT LISTED	19% / 280,272 SF	20% / 301,642 SF
Maximum Total Lot Coverage*	NOT LISTED	81% / 1,221,013 SF	80% / 1,199,643 SF
Parking Requirements	882 STALLS	583 STALLS	NO CHANGE/REF. ORDINANCE NO. O2020-08
Parking front yard setback	35'	>35'	NO CHANGE
Parking corner side yard setback	35'	WITHIN SETBACK	NO CHANGE
Parking interior side yard setback	25'	>25'	NO CHANGE
Parking rear yard setback	25'	WITHIN SETBACK	NO CHANGE
Loading Requirements	(3)	(4)	NO CHANGE
Accessory Structure Information	SAME AS BUILDING EXCEPT IN REAR OR SIDE YARDS	WITHIN SETBACK	SEE ATTACHED

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

SEE ATTACHED SHEET

TABLE OF COMPLIANCE – ATTACHEMENT A

11/20/2020

1. Table of compliance is based on subject property lot west of Grant Street, Phase 2 projects only, unless noted otherwise below. Phase 1 work mentioned below is for reference only.
2. Building Heights
 - a. Fine Arts Addition – 29'-0"
 - b. Student Services / Special Education Addition – 31'-6"
3. Stories
 - a. Fine Arts Addition – 1 1/2 Story
 - b. Student Services / Special Education Addition – 2 Stories
4. Parking Lot Requirements: Existing subject property (High School occupancy) requires 882 stalls, currently has 583 stalls. Phase 1, Refer to Ordinance No. O2020-08.
5. The existing parking lot west of Grant Street is within the required 35' corner yard setback on Grant and 57th street frontages. Phase 1, Refer to Ordinance No. O2020-08.
6. The existing parking lot east of Grant Street is within the required 35' corner yard setback on Grant Street, and the 25' rear yard setback on the east property line of that subject property lot. Phase 1, Refer to Ordinance O2020-08.
7. Accessory Structures:
 - a. The existing home side (west) football field grandstands and press box are within the required 35' corner yard setback on Madison Street. The structures also exceed the 15' accessory building height limit.
 - i. Height
 1. Top of Existing Press Box structure is 23'-6"
 2. Top of Proposed Press Box structure is 22'-9"
 3. Existing and Proposed exceed the 15' accessory structure limit.
 - ii. Setback from Madison Street
 1. Existing Press Box structure is 4'-0" from the property line.
 2. Proposed Press Box structure is 5'-0" from the property line.
 3. Existing and Proposed are within the required 35' corner yard setback on Madison Street, and do not provide landscape or open space buffer.
 - b. Ticket Booth – Proposed top of ticket booth 17'-0", exceeding the 15' accessory structure limit.
 - c. Parking lot light fixtures – At the parking lot east of Grant Street
 - i. Existing non-conforming light fixtures at the existing parking lot are approximately 27'-6" tall. Proposed phase 2 work includes re-lamping the light fixtures, with the existing pole, base and structure to remain.
 - ii. At the new parking lot south extension part of phase 1 work (Refer to Ordinance O2020-08), parking lot light fixtures are proposed. Proposed phase 2 work includes new light fixtures to match to the existing adjacent pole height of 27'-6" (2'-6" concrete base and 25'-0" light fixture structure, for a total height of 27'-6"), exceeding the 15' accessory structure limit.
 - d. The existing soccer field player shelters and press box building are within the required 35' corner yard setback on Madison Street. The overall height of the press box structure

exceeds the 15' accessory structure limit. Phase 1 work. Refer to Ordinance No. O2020-08.

- e. The Existing maintenance garage is within the required 35' corner yard set back on 57th street. NO work or proposed changes to this building in any phase of this project are contemplated at this time.

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 4th day of February, 2021, I/we have read the above certification, understand it, and agree to abide by its conditions.

Jay Prentiss
Signature of applicant or authorized agent

Tammy Prentiss
Name of applicant or authorized agent

[Signature]
Signature of applicant or authorized agent

Nicholas Goral
Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 4 day of
February, 2021.



Carla J. Hannon



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 5500 S. Grant Street

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
See attached.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
See attached
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.
See attached

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
See attached
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
See attached
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
See attached
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
See attached
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
See attached
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See attached
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See attached
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
See attached

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

See attached

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

See attached

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

See attached

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

See attached

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

See attached

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
See attached
2. The proposed site plan interferes with easements and rights-of-way.
See attached
3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
See attached
4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
See attached
5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
See attached
6. The screening of the site does not provide adequate shielding from or for nearby uses.
See attached
7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
See attached
8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
See attached
9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.
See attached

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

See attached

11. The proposed site plan does not provide for required public uses designated on the Official Map.

See attached

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

See attached

Exterior Appearance and Site Plan Review Criteria

Exterior Appearance Review

1. Open Spaces: Quality of open spaces in setbacks remain unchanged. Quality of open spaces between buildings is maintained to a maximum as much as possible.
2. Materials: The proposed materials are designed to match and be visually compatible to the existing campus, buildings and structures.
3. General Design: The proposed design is held to the highest standards for K-12 facilities and is proposed to match the existing building(s). The proposed design complements the existing character of the high school campus, surrounding neighborhood and aesthetic standards set during Phase 1 of the referendum improvement projects already reviewed and approved by this committee.
4. General Site Development:
 - a. Quality of landscaping proposed are to match existing quality.
 - b. No changes to recreational quality are proposed.
 - c. Pedestrian access within the site is largely unchanged. Pedestrian access is improved with the inclusion of the proposed Fine Arts addition plaza.
 - d. Auto access within the site is to remain unchanged.
 - e. Parking within the site is to remain unchanged.
 - f. Loading dock is to remain unchanged.
 - g. No increase in vehicular traffic patterns is proposed. The additions do not increase the student population of the school.
 - h. To the maximum extent that is feasible, the proposed site plan retains existing trees and shrubs. Where removal is necessary, replacement landscaping is proposed.
5. Height: The proposed additions are visually compatible with the adjacent buildings on the campus. The proposed grandstand and press box replacement structure is lower in height than the existing.
6. Proportion of Front Façade: The proposed front facades of the additions are designed to be visually compatible and proportioned to the existing buildings on the campus.
7. Proportion of Openings: The proposed windows and doors of the additions are designed to be visually compatible and proportioned to the existing buildings on the campus. They are also designed to fit the use of the addition. For example, daylighting within the fine arts and student services additions.
8. Rhythm of solids and voids in front facades: The proposed front façade of the additions are designed to be visually compatible to the existing buildings on campus and reflect the function of the buildings.
9. Rhythm of spacing and buildings on streets: The student services addition is located within an existing courtyard space and cannot be viewed from any street. The fine arts addition has a prominent façade facing Grant Street and has been designed with that sensitivity in mind. The proposed new addition and site plaza drastically improve the old building maintenance loading dock and trash area that was once located here. The proposed ticket booth structure in the athletic fields is set back significantly from 55th and Madison Streets. The ticket booth was designed to match the huddle house existing structure to the South of the football field.

10. Rhythm of entrance porch and other projections: The fine arts addition has a canopy roof structure projection that covers a portion of the proposed outdoor plaza space. This is meant to visually connect the outdoor plaza with the building addition.
11. Relationship of materials and texture: The predominant materials of the additions are proposed to match to the existing predominant materials of the existing buildings on campus.
12. Roof Shapes: The proposed additions have roof shapes that match to existing campus and building conditions.
 - a. Main buildings – low slope roofs with perimeter parapet walls.
 - b. Athletic buildings –shed roofs
 - c. Press box – low slope roof with observation deck.
13. Walls of continuity: Proposed building facades, walls, fences and landscape masses are designed to form a cohesive wall of enclosure along public ways and be visually compatible with the surrounding area, or otherwise a one-for-one replacement of existing items.
14. Scale of building: The proposed additions are of size and mass that are visually compatible in relation to existing open spaces, buildings, public ways, windows and doors. The proposed design complements the existing campus and building aesthetics. The proposed grandstand and press box structure is shorter in height than the existing one, incrementally improving views from across Madison.
15. Directional expression of front elevation: The directional expression of the front elevations of the proposed additions are designed to blend into the existing expressions of the buildings on campus.
16. Special consideration for existing buildings: Additions and structures proposed are designed to complement the existing campus and building aesthetics.

Site Plan Review

1. The proposed site plan shall meet the specified standards of the Zoning Code except has already submitted for Zoning variance (previously submitted to the Village under separate cover). Also reference Phase 1 approvals submitted to the Village last year (2020). Village of Hinsdale Ordinance No. O2020-08 and No. O2020-09 for Variations, Site Plan and Exterior Appearance approvals.
2. The proposed site plan does not interfere with any easements or rights-of-way.
3. The proposed site plan does not destroy, damage, modify or interfere with the enjoyment of significant natural, topographical or physical features of the site. Most of the conditions are proposed for the existing to remain unchanged or for one-for-one replacement.
4. No change of use is proposed. Existing use of Public High School remains unchanged. The proposed site plan will not be unreasonably injurious or detrimental to the use and enjoyment of the surrounding properties.
5. The proposed site plan does not increase overall student population at the school. The proposed site plan does not create undue traffic congestion or hazards in the public streets, or pedestrian circulation paths, no changes to existing conditions are proposed.
6. Existing site landscape screening remains unchanged. Existing old growth trees off Madison Street, adjacent to the proposed grandstand replacement, are proposed to be protected during construction activities.

7. The proposed structures and landscaping keep with the existing level of amenity and are compatible with the use of the site (Public High School).
8. Not applicable. The proposed site plans submitted are not in connection with an application for a special use permit.
9. The proposed site plan will not create unreasonable drainage or erosion problems or fail to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community. The design team has submitted and received approval from the Village of Hinsdale Engineering Department and Flagg Creek Water Reclamation District for all phases of the project. The design and construction teams will follow necessary protocol for inspections and otherwise to appropriately close out those permits for the project.
10. The proposed site plan does not place unwarranted or unreasonable burdens on specified utility systems serving the site and will fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village. The design team has been in close contact with the Village, COMED, NICOR and Flagg Creek Water Reclamation District in this regard.
11. The proposed site plan provides for the required public use designated on the Official Map, IB-Institutional. Existing is a public high school campus, no change is proposed.
12. The proposed site plan does not adversely affect the public health, safety or general welfare of the public. Additions proposed do not increase the student population size of the facility, existing safety items (crosswalks, etc.) remain in-place, and additional items are proposed to increase safety (nets proposed at varsity baseball field, fencing proposed at junior varsity baseball field).

SITE PLAN NOTE BLOCKS

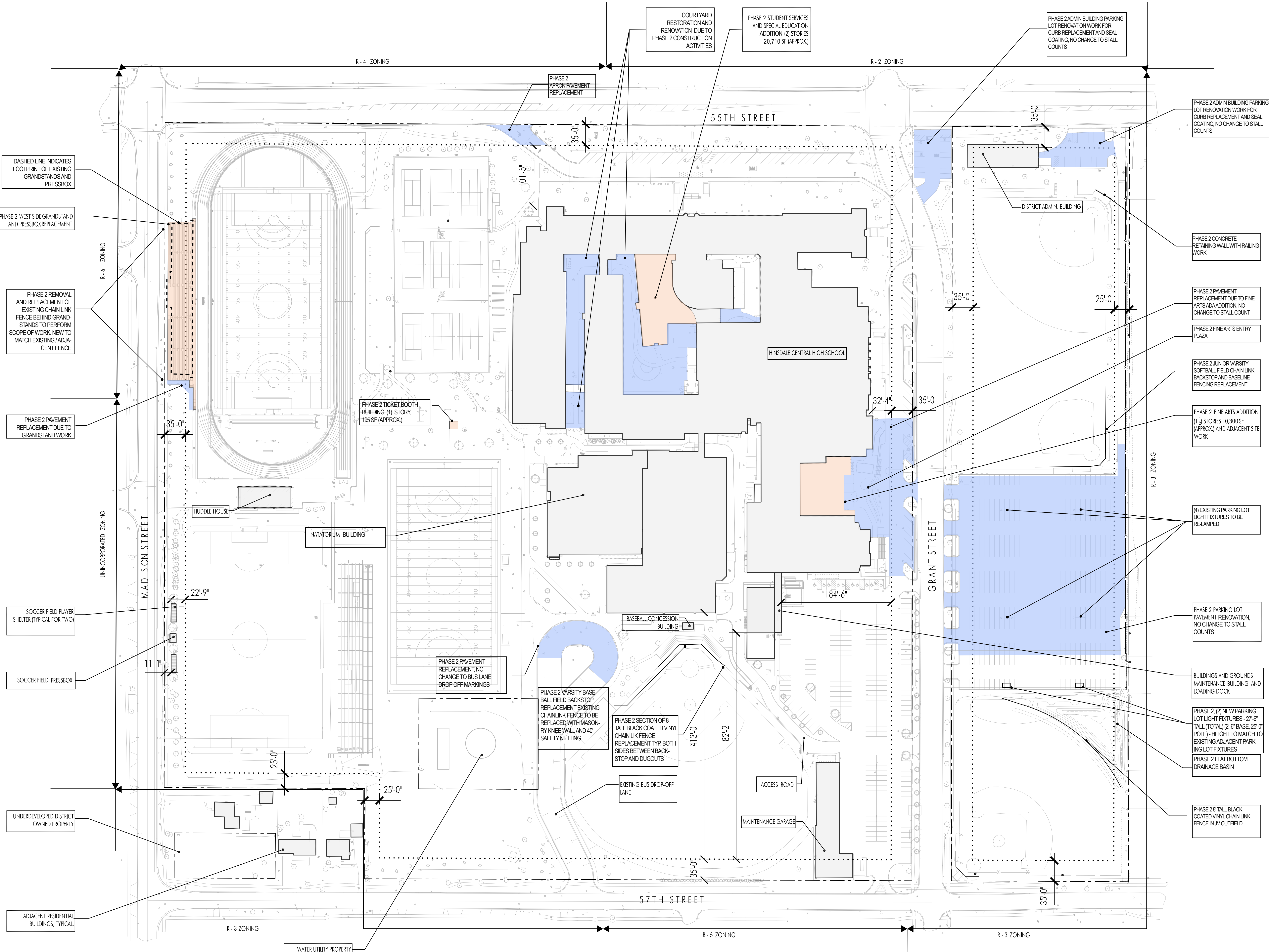
 PHASE 2 ADDITION SETBACK LINE
 PHASE 2 RENOVATION	--- PROPERTY LINE

GENERAL NOTES

- FOR GRAPHIC CLARITY THE FULL SCOPE OF REFERENDUM WORK IS NOT SHOW, ONLY AREAS OF MAJOR RENOVATIONS AND BUILDING ADDITIONS
- FOR PHASE 1 WORK, REFER TO VILLAGE OF HINSDALE ORDINANCE NO.02020-08 FOR VARIATIONS APPROVED AND ORDINANCE NO.02020-09 FOR SITE PLAN AND EXTERIOR APPEARANCE APPROVALS

ZONING REQUIREMENTS:

ZONING DISTRICT	MINIMUM LOT AREA AND DIMENSIONS	MINIMUM FLOOR AREA RATIO	MAX. FLOOR AREA	% ALLOWED	MAX. FLOOR AREA	EXISTING BUILDING FLOOR AREA	PHASE 2 ADDITION	PHASE 2 RENOVATION	TOTAL FLOOR AREA
R-4 ZONING	350,000 SF, WIDTH 200 FT X DEPTH 250 FT	50	1,501,285 SF (WEST OF GRANT ONLY)	50%	750,642 SF	511,098 SF	20,710 SF	103,200 SF	835,008 SF
R-2 ZONING	350,000 SF, WIDTH 200 FT X DEPTH 250 FT	50	1,501,285 SF (WEST OF GRANT ONLY)	50%	750,642 SF	511,098 SF	20,710 SF	103,200 SF	835,008 SF
R-6 ZONING	47 FEET	MECHANICAL EQUIPMENT TO FOLLOW BUILDING HEIGHT LIMIT INCREASE REMOTE FROM SINGLE FAMILY DISTRICTS. IT INCREASE MAX 10' FOR EVERY 2' OVER A 2' SETBACK. ACCESSORY STRUCTURES: 15'							
R-3 ZONING	47 FEET	MECHANICAL EQUIPMENT TO FOLLOW BUILDING HEIGHT LIMIT INCREASE REMOTE FROM SINGLE FAMILY DISTRICTS. IT INCREASE MAX 10' FOR EVERY 2' OVER A 2' SETBACK. ACCESSORY STRUCTURES: 15'							



- DASHED LINE INDICATES FOOTPRINT OF EXISTING GRANDSTANDS AND PRESSBOX
- PHASE 2 WEST SIDE GRANDSTAND AND PRESSBOX REPLACEMENT
- PHASE 2 REMOVAL AND REPLACEMENT OF EXISTING CHAIN LINK FENCE BEHIND GRANDSTANDS TO PERFORM SCOPE OF WORK NEW TO MATCH EXISTING/ADJACENT FENCE
- PHASE 2 PAVEMENT REPLACEMENT DUE TO GRANDSTAND WORK
- SOCCER FIELD PLAYER SHELTER (TYPICAL FOR TWO)
- SOCCER FIELD PRESSBOX
- UNDERDEVELOPED DISTRICT OWNED PROPERTY
- ADJACENT RESIDENTIAL BUILDINGS, TYPICAL
- WATER UTILITY PROPERTY

- PHASE 2 ADMIN BUILDING PARKING LOT RENOVATION WORK FOR CURB REPLACEMENT AND SEAL COATING. NO CHANGE TO STALL COUNTS
- PHASE 2 ADMIN BUILDING PARKING CURB REPLACEMENT AND SEAL COATING. NO CHANGE TO STALL COUNTS
- PHASE 2 CONCRETE RETAINING WALL WITH RAILING WORK
- PHASE 2 PAVEMENT REPLACEMENT DUE TO FINE ARTS ADDITION. NO CHANGE TO STALL COUNT
- PHASE 2 FINE ARTS ENTRY PLAZA
- PHASE 2 JUNIOR VARSITY SOFTBALL FIELD CHAIN LINK BACKSTOP AND BASELINE FENCING REPLACEMENT
- PHASE 2 FINE ARTS ADDITION (1) STORES 10,300 SF (APPROX.) AND ADJACENT SITE WORK
- (4) EXISTING PARKING LOT LIGHT FIXTURES TO BE REPLACED
- PHASE 2 PARKING LOT PAVEMENT RENOVATION. NO CHANGE TO STALL COUNTS
- BUILDINGS AND GROUNDS MAINTENANCE BUILDING AND LOADING DOCK
- PHASE 2 (2) NEW PARKING LOT LIGHT FIXTURES - 27'-6" TALL (TOTAL) (2'-6" BASE, 25'-0" POLE). HEIGHT TO MATCH TO EXISTING ADJACENT PARKING LOT LIGHT FIXTURES
- PHASE 2 FLAT BOTTOM DRAINAGE BASIN
- PHASE 2 8' TALL BLACK COATED VINYL CHAIN LINK FENCE IN JV OUTFIELD



Hinsdale Township High School District 86
 Additions and Remodeling at Hinsdale Central High School
 Project No. 19101
 November 20, 2020

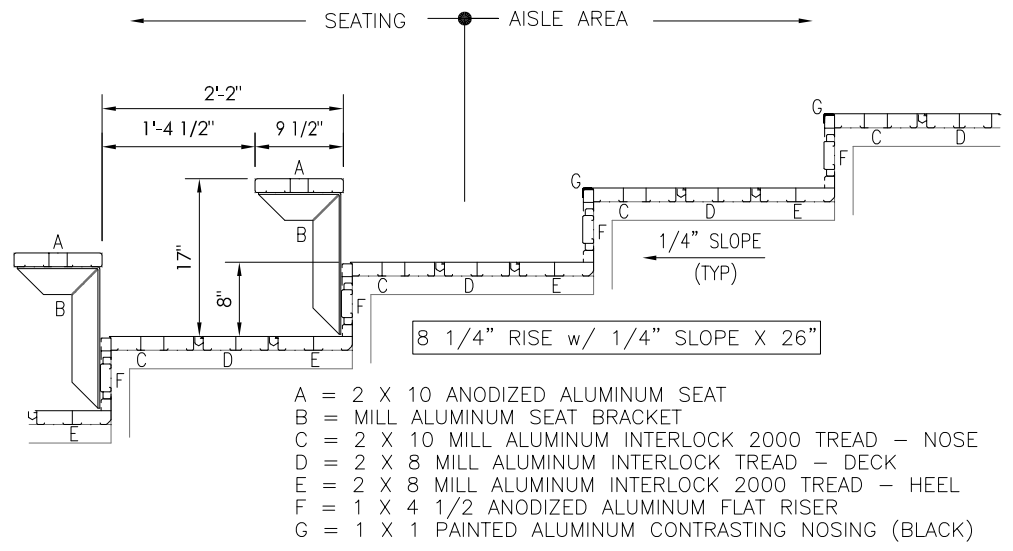
SITE PLAN



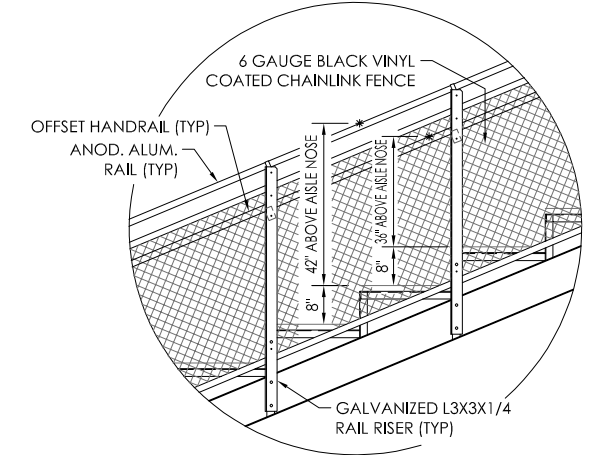
DESIGN LOADING
 TREAD & SEAT AREA 100psf UNIFORM LIVE LOAD.
 SEAT (VERTICAL) 120 lbs/ft.
 SEAT (HORIZONTAL SWAY) 24lbs/ft PARALLEL AND 10lbs/ft PERPENDICULAR TO SEAT.
 TREAD - STAIR AND AISLE TREADS - MINIMUM CONCERN
 LOAD OF 300LBS ON AN AREA OF 4 SQUARE INCHES
 HANDRAIL & GUARDRAIL 50 lbs/ft IN ANY DIRECTION AT THE TOP.
 HANDRAIL & GUARDRAIL 200 lbs CONCENTRATED IN ANY DIRECTION.
 GUARDS, INFILL COMPONENTS - 50LBS PER SQ.FT. IN HORIZONTAL DIRECTION
 SNOW LOADS AS PER STATE ADOPTED CODE
 WIND LOADS AS PER STATE ADOPTED CODE
 SEISMIC LOADS AS PER STATE ADOPTED CODE

GRANDSTANDS SECTION AND DETAILS

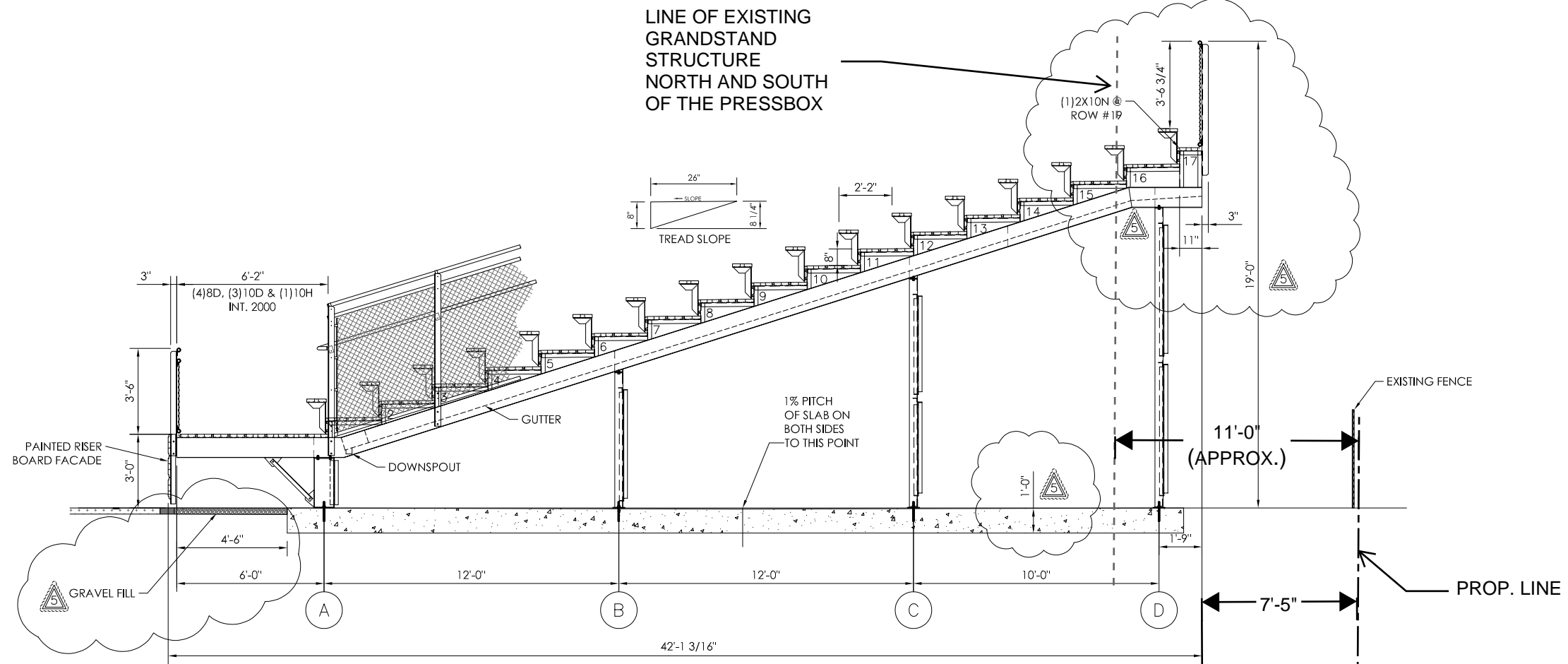
- NOTES**
- 1 ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO THE FOLLOWING A.I.S.C. STANDARDS
 PLATE UP TO 1/2" THICK = A36 Gr. 36 Fy = 36 ksi Min.
 PLATE 5/8 and greater = 572 Gr 50, Fy = 50 ksi Min.
 ANGLE = A36/A36M GRADE 50
 WIDE FLANGE = A992 Fy=50 ksi
 CHANNEL = A36/A36M GRADE 50
 ROD = A36/A529 GRADE 50
 TUBE = A500 GRADE "B" 46 ksi
 - 2 WELDS ARE ALL AROUND WITH TYPE ER70S-6 WIRE MIG.
 - 3 ALL STEEL TO BE HOT DIPPED GALVANIZED TO A.S.T.M. A-123-89 ae1.
 - 4 STRUCTURAL BOLTS ARE HOT DIPPED GALV. AND ARE EQUAL TO OR GREATER THAN A-307.
 - 5 NO CONNECTIONS UTILIZING HIGH STRENGTH BOLTS ARE CLASSED AS SLIP CRITICAL.
 - 6 ANODIZED ALUMINUM RAIL IS 1 1/4" NOMINAL PIPE SIZE. (1 5/8" O.D.)
 - 7 SOUTHERN BLEACHER COMPANY AS A MANUFACTURER AND INSTALLER OF GRANDSTAND SEATING IS NOT AUTHORIZED TO CERTIFY PLANS AS ADA COMPLIANT. HOWEVER, TO THE BEST OF OUR KNOWLEDGE THESE PLANS MEET OR EXCEED ADA REQUIREMENTS FOR QUANTITY OF ADA SEATING, ACCESS/EGRESS TO ADA SEATING, & DISPERSAL OF ADA SEATING.
 - 8 ALL FIELD CONNECTIONS ARE NON-SLIP CRITICAL U.N.O. ALL CONNECTIONS ARE DESIGNED TO UTILIZE A307 BOLTS. IT IS ACCEPTABLE TO USE A325N BOLTS IN LIEU OF THE A307 BOLTS. THE INSTALLATION OF THESE BOLTS ARE TO BE TIGHTENED A SNUG TIGHT CONDITION AS SPECIFIED BY AISC.



PLANK ARRANGEMENT
 NOT TO SCALE 8" X 26"



SIDE RAILING @ END AISLE
 NOT TO SCALE



SIDE VIEW
 SCALE: 3/8" = 1'-0"

LINE OF PROPOSED GRANDSTAND STRUCTURE NORTH AND SOUTH OF THE PRESSBOX

NOT FOR CONSTRUCTION

DETAIL NUMBER 19sd111 SHEET SHOWN ON SHEET CUT FROM

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 801 Fifth Street
 Phone: 940/599-1365 Fax: 940/599-7733
 ESTABLISHED 1946

Southern BLEACHER COMPANY
 GRANDSTANDS • BLEACHERS • STADIUMS

THE SIDE VIEW 8" RISE X 26" TREADS / 19 ROWS

HINSDALE, CENTRAL GRANDSTAND HINSDALE, ILLINOIS

REV	DATE	DESCRIPTION
1	10/06/20	BACK ROW SMOOTHER
2	10/08/20	NONE THIS SHEET
3	07/17/21	NONE THIS SHEET
4	09/27/21	NONE THIS SHEET
5	06/22/21	RISE TO 8"

JOB NUMBER 5.23.19

19sd111

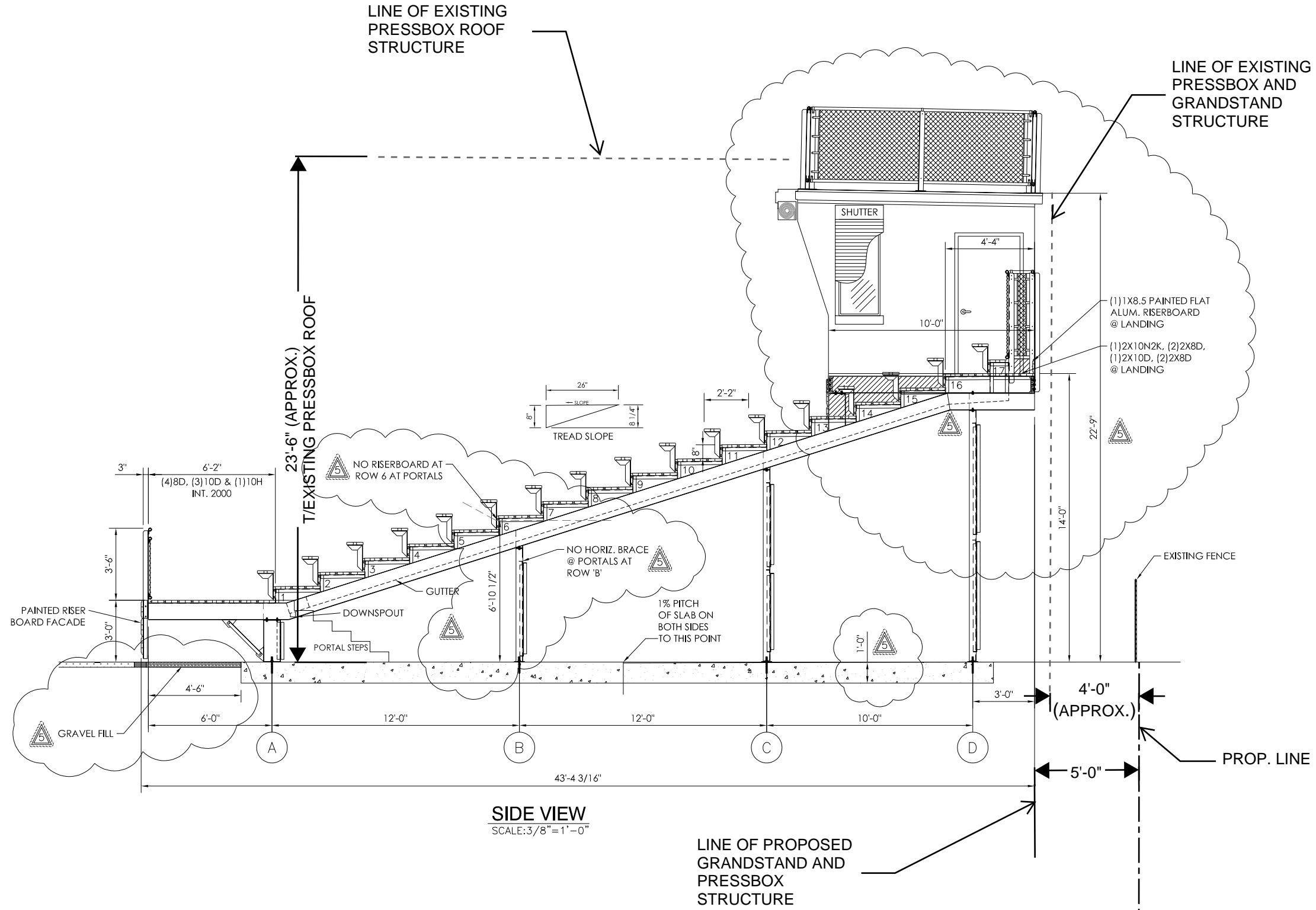
SHEET 1 OF 8

22" X 34" (1:17 = 1/2 indicated scale)

DESIGN LOADING
 TREAD & SEAT AREA 100psf UNIFORM LIVE LOAD.
 SEAT (VERTICAL) 120 lbs/ft.
 SEAT (HORIZONTAL SWAY) 24lbs/ft PARALLEL AND 10lbs/ft PERPENDICULAR TO SEAT.
 TREAD - STAIR AND AISLE TREADS - MINIMUM CONCERN
 LOAD OF 300LBS ON AN AREA OF 4 SQUARE INCHES
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GRANDSTANDS AND PRESSBOX SECTION

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SIDE VIEW
 SCALE: 3/8" = 1'-0"

NOT FOR CONSTRUCTION

DETAIL NUMBER: 19sd111-2

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SECTION VIEW @ PRESS BOX
 8" RISE X 26" TREADS / 19 ROWS

HINSDALE, CENTRAL GRANDSTAND
 HINSDALE, ILLINOIS

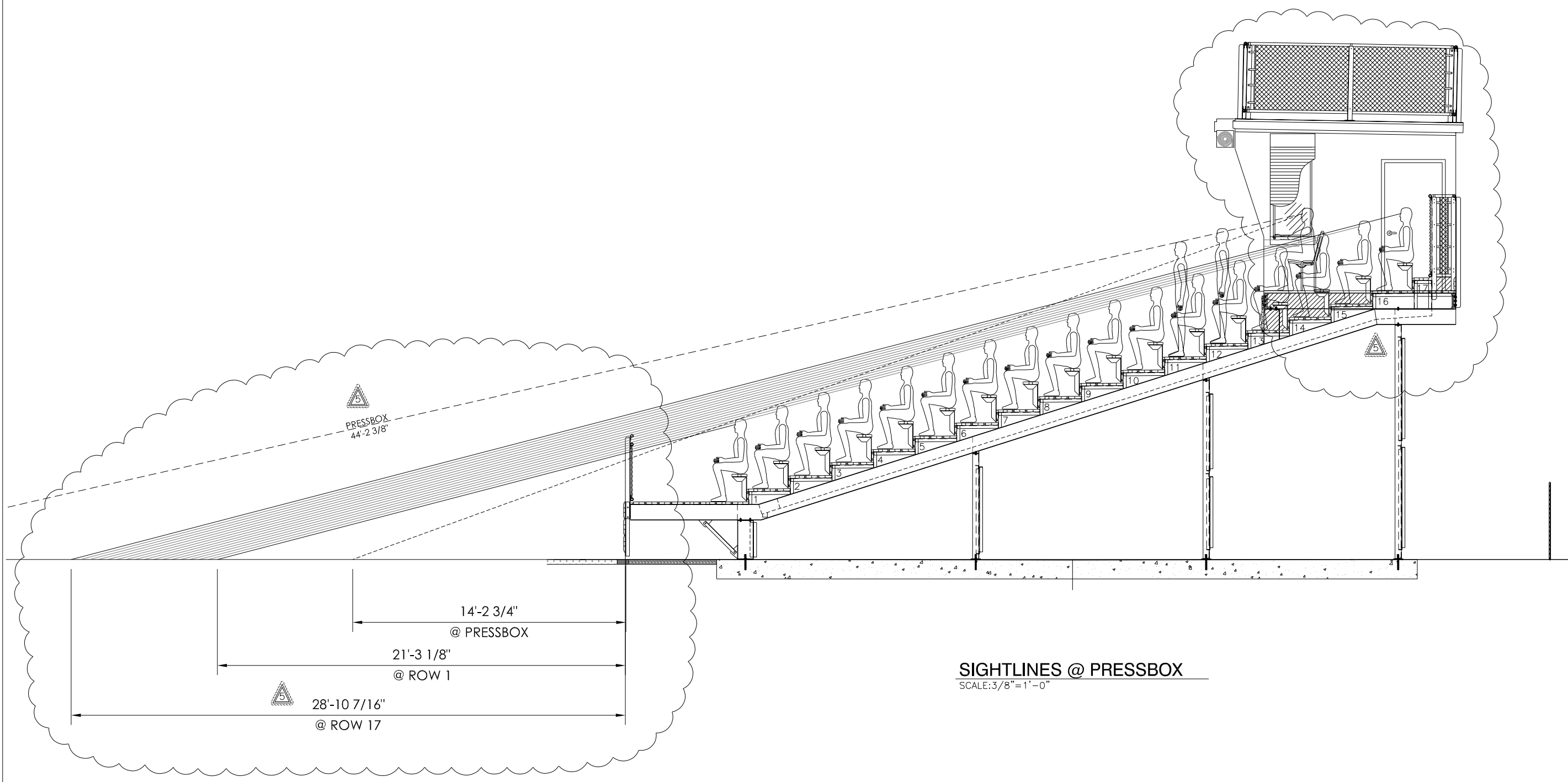
REV	DATE	DESCRIPTION
1	05/10/19	ISSUE FOR PERMITS
2	06/07/19	FOR CONSTRUCTION
3	07/17/19	FOR CONSTRUCTION
4	07/22/19	FOR CONSTRUCTION

JOB NUMBER: 5.23.19

SHEET: 2 OF 8

22" X 34" (1:1x1.7 = 1/2 indicated scale)

GRANDSTANDS AND PRESSBOX SIGHTLINES



SIGHTLINES @ PRESSBOX
SCALE: 3/8" = 1'-0"

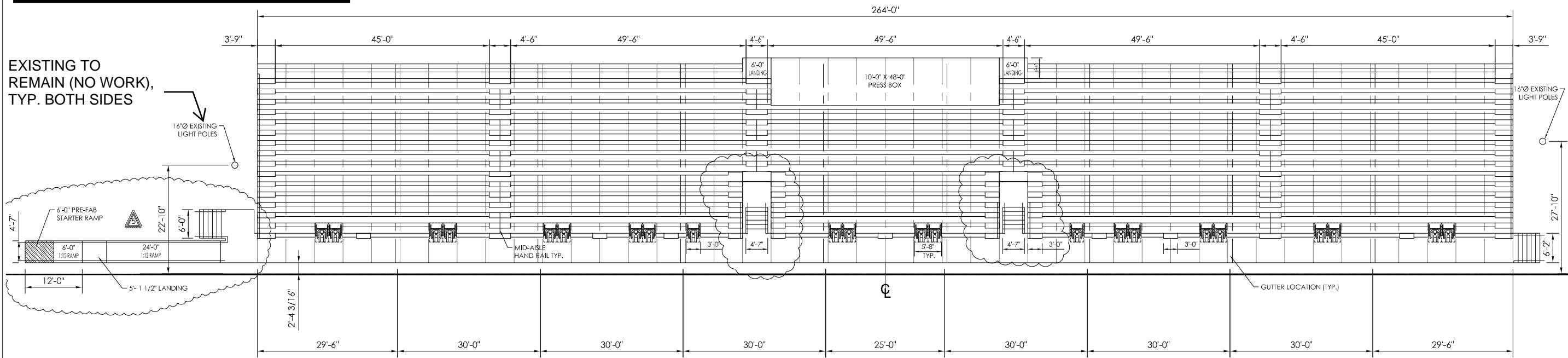
<p>1-11-19 3-19-19</p> <p>DETAIL NUMBER SHEET SHOWN ON SHEET CUT FROM</p>		<p>NOT FOR CONSTRUCTION</p>	
<p>5.23.19</p> <p>JOB NUMBER</p>		<p>PO Box One, Graham, Texas 76550 801 Fifth Street Phone: 940/549-1365 Fax: 940/549-7333 Established 1946</p> <p>Southern BLEACHER COMPANY GRANDSTANDS • BLEACHERS • STADIUMS</p>	
<p>RSJ 10/06/20 RD 10/08/20 RD 07/17/21 RD 07/22/21</p> <p>BACK ROW SNOOTER NONE THIS SHEET NONE THIS SHEET ADJUSTED D ROW COLUMN NONE ON THIS PAGE</p>		<p>SIGHT LINES 8" RISE X 26" TREADS / 19 ROWS</p> <p>HINSDALE, CENTRAL GRANDSTAND HINSDALE, ILLINOIS</p>	
<p>19sd111</p> <p>SHEET</p>		<p>3 OF 8</p>	

22" X 34" (11x17 = 1/2 indicated scale)



GRANDSTANDS PLAN

EXISTING TO REMAIN (NO WORK), TYP. BOTH SIDES

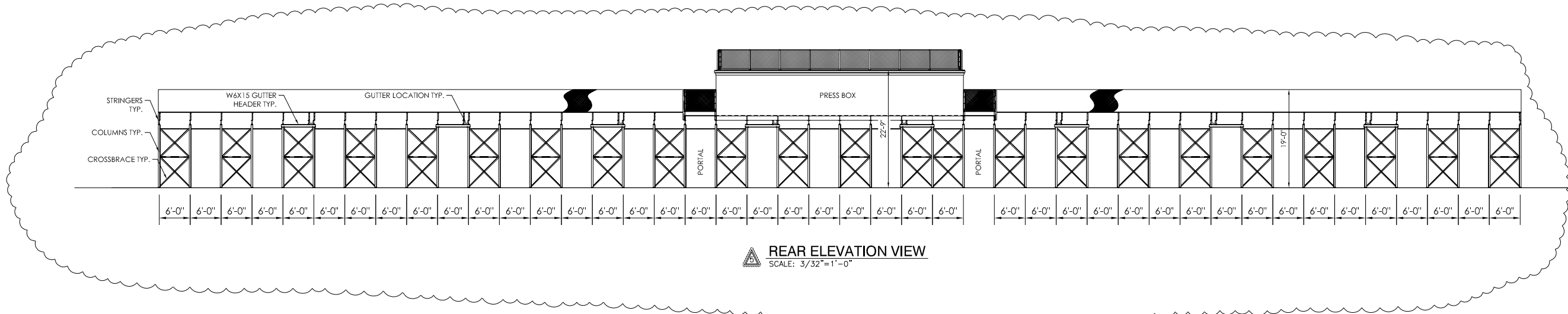


SEATING LAYOUT
SCALE: 3/32"=1'-0"

PROPOSED SEATING CAPACITY

2387 TOTAL NET 18" SEATS
22 TOTAL NET 33" WHEELCHAIR SPACES
2409 TOTAL SEATING CAPACITY

EXISTING SEATING CAPACITY IS 2,402 SEATS, WITH NO ADA SEATING



REAR ELEVATION VIEW
SCALE: 3/32"=1'-0"

1-1 DETAIL NUMBER
3-10 SHEET SHOWN ON
SHEET CUT FROM

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801 Fifth Street
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Established 1946
Southern
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PLAN VIEW
264'-0" X 19 ROWS / 26" TREADS
HINSDALE, CENTRAL
GRANDSTAND
HINSDALE, ILLINOIS

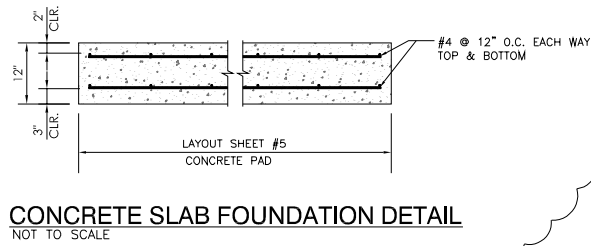
REV	BY	DATE	DESCRIPTION
1	RS	10/06/20	SEAT COUNT, REAR ELEV.
2	RD	10/08/20	GUTTERS
3	RD	07/17/21	NONE THIS SHEET
4	RD	07/27/21	NONE THIS SHEET
5	LD	06/22/21	REMOVED ROW 20

JOB NUMBER
19sd111
SHEET
4 OF
8

22" X 34" (1/16" = 1/2" indicated scale)

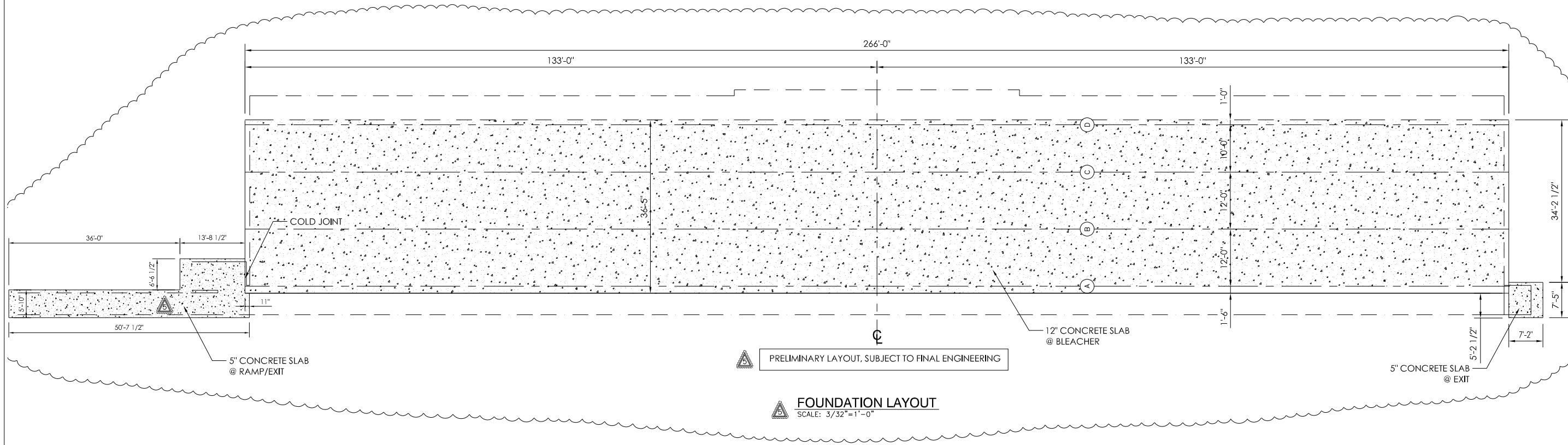
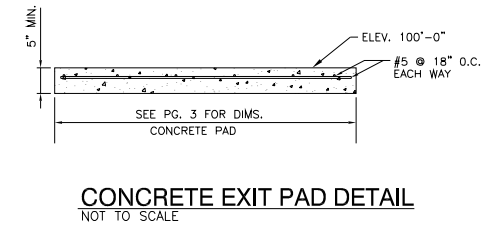


GRANDSTANDS FOUNDATION PLAN



FOUNDATION NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
 ALL REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH THE LATEST "ACI" DETAILING MANUAL.
 REINFORCING STEEL SHALL BE ASTM GRADE 60
 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. AT 28 DAYS
 ALLOWABLE SOIL BEARING CAPACITY - SEE SOIL REPORT

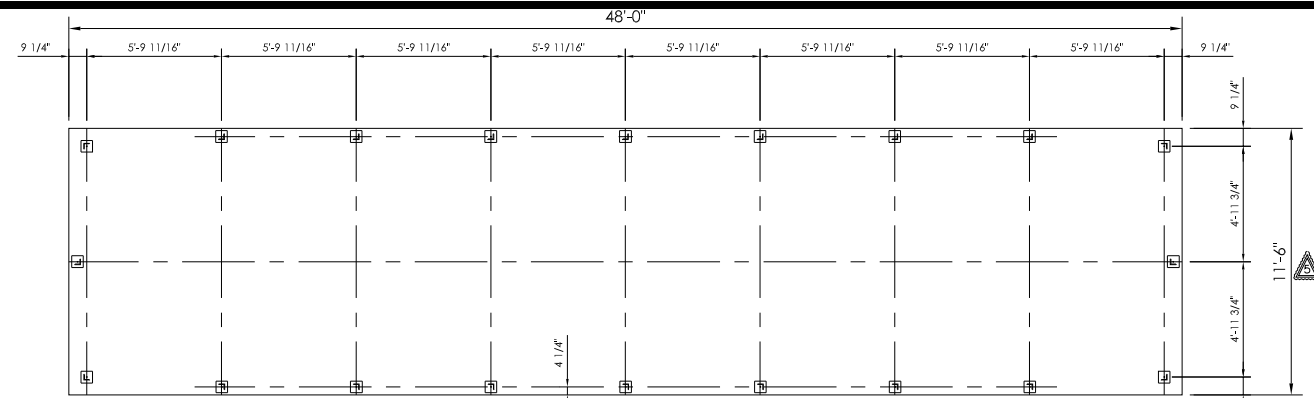


1- DETAIL NUMBER 3-19- SHEET SHOWN ON SHEET CUT FROM	
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FOUNDATION LAYOUT 264'-0" X 19 ROWS / 26" TREADS	HINSDALE, CENTRAL GRANDSTAND HINSDALE, ILLINOIS
REVISIONS NO. DATE DESCRIPTION 1 05/23/19 NG JOB NUMBER 2 06/10/20 REVISE TO LAYOUT 12" SLAB 3 06/10/20 ADDED CONCRETE LAYOUT 4 06/17/20 NONE THIS SHEET 5 06/22/20 NONE THIS SHEET	SHEET 5 OF 8

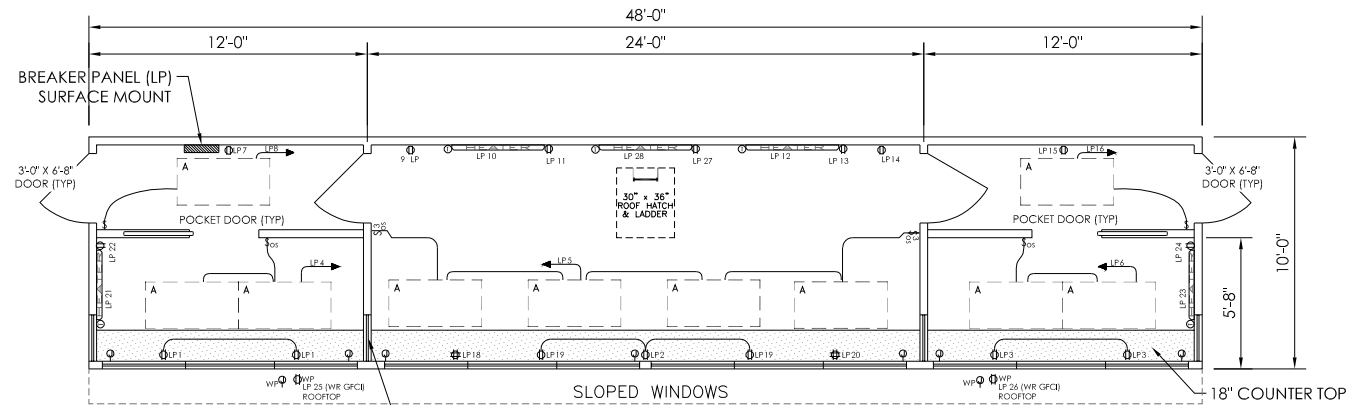
22" X 34" (1/16" = 1/2 indicated scale)



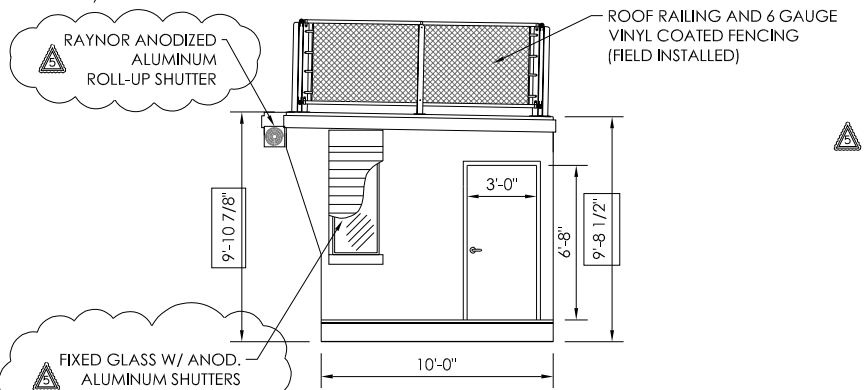
PRESSBOX PLANS, ELEVATION, SECTION AND DETAILS



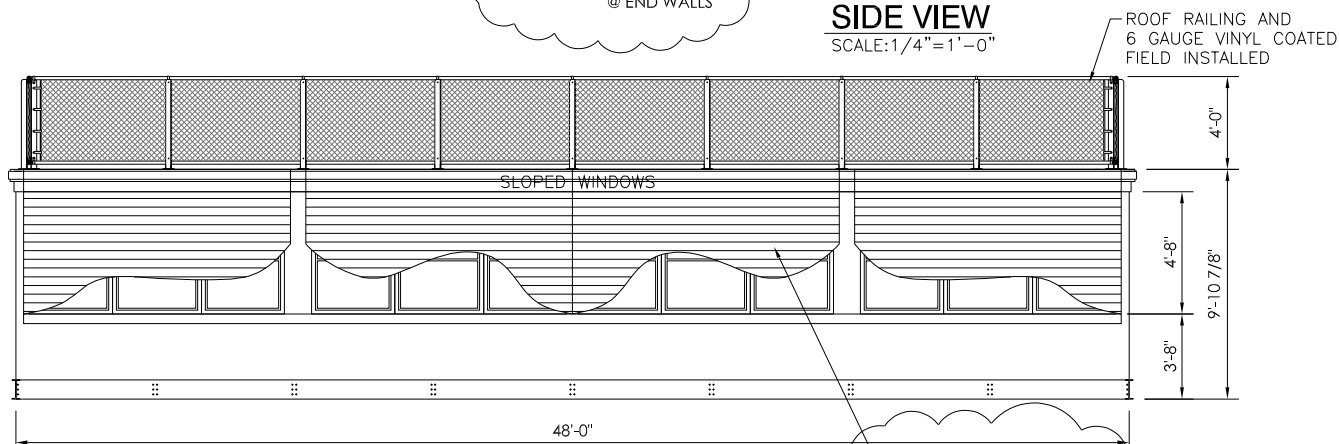
ROOF RAIL LAYOUT
SCALE: 1/4" = 1'-0"



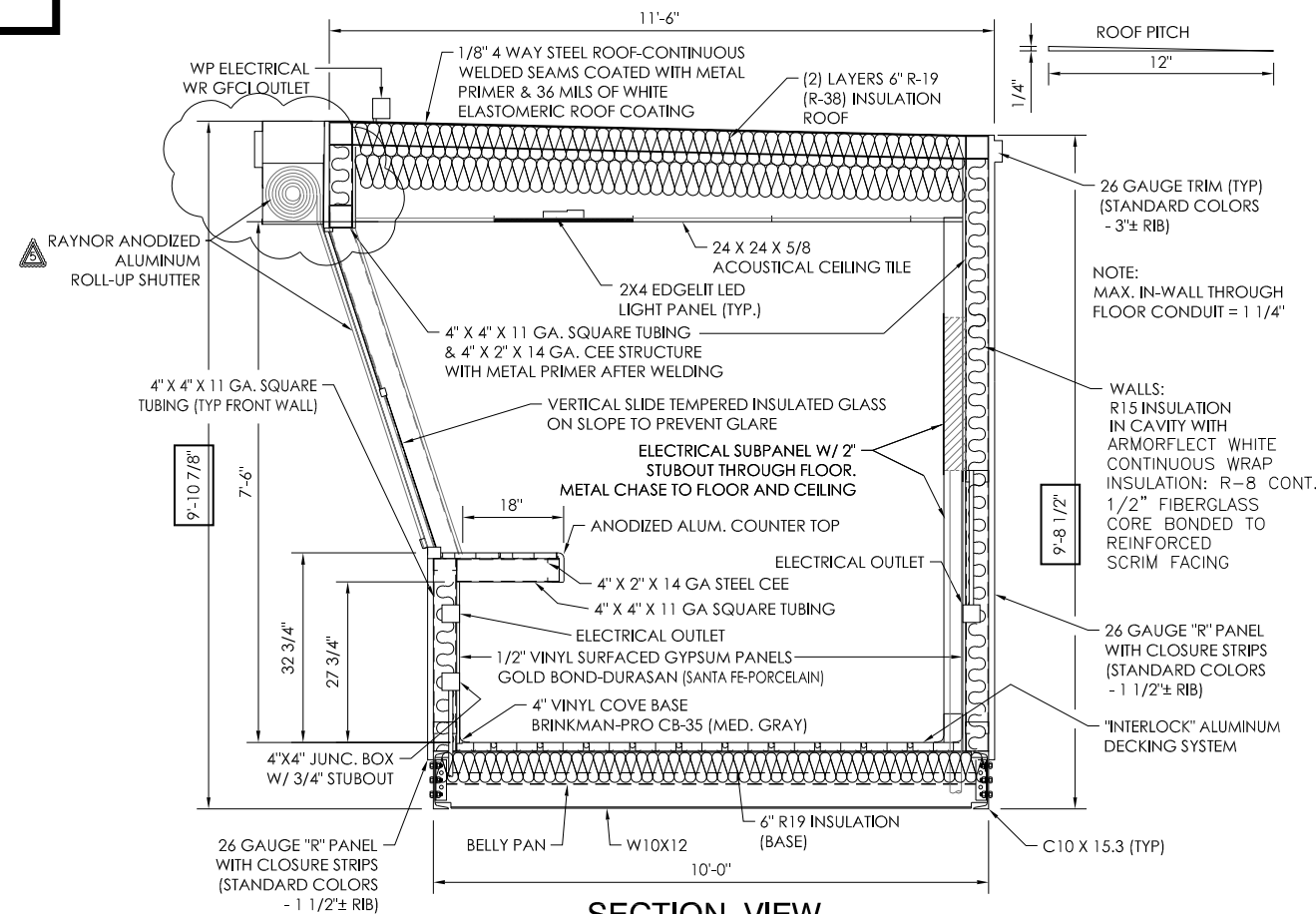
PLAN VIEW
SCALE: 1/4" = 1'-0"



SIDE VIEW
SCALE: 1/4" = 1'-0"



FRONT ELEVATION VIEW
SCALE: 1/4" = 1'-0"



SECTION VIEW
SCALE: 1/4" = 1'-0"

PRESS BOX EXTERIOR DOORS #1 AND #2:

3 HINGES	CB1994 1/2 X 4 1/2 NRP	US32D	ST
1 LOCKSET	45H-7AT14H PATD	626AM	BE
1 DOOR CLOSER	QDC120	689	SH
1 KICK PLATE	K0050 10 X 2" LDW B4E CS	630	TR
1 JAMB GASKETING	137SA X 80 SMS-TEKS		NA
1 HEAD GASKETING	700SA X 36 SMS-TEKS (DO NOT CUT FOR HWD.)		NA
1 DOOR SWEEP	200NA SMS-TEKS		NA
1 SADDLE THRESHOLD	425 SIA X 36"	AL	NA
1 DOOR POSITION SWITCH	MC4		DM

BB HEATER	BASEBOARD HEATER 48"= 1000W - 120V - 8.3 A. BERCO BKOC2514W OR EQUAL	NOTE: 120V. DUPLEX RECEPT. ARE LOCATED IN ONE END OF BASEBOARD HEATERS USING ACCESSORY COVER BKORA1. THERMOSTAT IN THE OTHER END - COVER BKOTA1A W/ THERMOSTAT TAG. WALL RECEPT. ARE NOT ABOVE BB HEATERS.
BB HEATER	BASEBOARD HEATER 36"= 750W - 120V - 6.3 A. BERCO BKOC2513W OR EQUAL	

LOAD CENTER SCHEDULE		GENERAL ELECTRIC #TLM1620CCU		240/208/120 VOLTS		1 PH.	
PANEL LP		200 AMP RATED - 32 CIRCUIT W/ EQUIPMENT GROUND		MOUNTING: <input type="checkbox"/> FLUSH <input checked="" type="checkbox"/> SURFACE		22,000 SYN. A.I.C. MIN.	
		CIR.		CIR.		AMP MAIN BREAKER	
RECEPT.	SIZE	POLE	#	RECEPT.	SIZE	POLE	#
RECEPT. FRONT WALL	20	1	1	RECEPT. FRONT WALL	20	1	1
RECEPT. FRONT WALL	20	1	3	[2] 4X2' 2 LAMP RECESSED	4	20	1
[4] 4X2' 2 LAMP RECESSED	20	1	5	[2] 4X2' 2 LAMP RECESSED	6	20	1
RECEPT. BACK WALL	20	1	7	[1] 4X2' 2 LAMP RECESSED	8	20	1
RECEPT. BACK WALL	20	1	9	48" BASEBOARD HEATER	10	20	1
RECEPT. BACK WALL	20	1	11	48" BASEBOARD HEATER	12	20	1
RECEPT. BACK WALL	20	1	13	RECEPT. BACK WALL	14	20	1
RECEPT. BACK WALL	20	1	15	[1] 4X2' 2 LAMP RECESSED	16	20	1
SPARE	20	1	17	RECEPT. FRONT WALL	18	20	1
2 RECEPT. FRONT WALL	20	1	19	RECEPT. FRONT WALL	20	20	1
36" BASEBOARD HEATER	20	1	21	RECEPT. SIDE WALL	22	20	1
36" BASEBOARD HEATER	20	1	23	RECEPT. SIDE WALL	24	20	1
RECEPT. ROOFTOP	20	1	25	RECEPT. ROOFTOP	26	20	1
48" BASEBOARD HEATER	20	1	27	RECEPT. BACK WALL	28	20	1
SPARE	20	1	29	SPACE	30		
SPACE	20	1	31	SPACE	32		

- 20A. 125V. DUPLEX RECEPT. (GFCI WHERE NOTED)
- 20A. 125V. DOUBLE DUPLEX RECEPT.
- 15A. 125V. SINGLE POLE DECORATOR STYLE SWITCH os- WITH MANUAL ON/OFF OCCUPANCY SENSOR
- 15A. 125V. 3-WAY DECORATOR STYLE SWITCH os- WITH MANUAL ON/OFF OCCUPANCY SENSOR
- 4X4X2 1/8" COMMS/SOUND/IT JUNCTION BOX W/ 3/4" C STUBOUT UNDER FLOOR WP ROOFTOP STUBBED INTO CEILING SPACE FOR USE BY OTHERS
- 4X2' EDGELIT LED PANEL LIGHT RAB LIGHTING EZPANFA24/D10 0.26A @ 120V INPUT WATTS: 29.6W

CONDUIT WILL BE 1/2" EMT, 1/2" STEELFLEX, OR SURFACE RACEWAY UNLESS OTHERWISE NOTED

WIRING ON 20A BREAKERS WILL BE #12 = THWN - THHN

EQUIPMENT GROUND RUN IN ALL CONDUITS OR NON-METALLIC SURFACE RACEWAYS

PANEL FEEDER, NEUTRAL BONDING, AND GROUNDING TO BE ACCORDING TO APPLICABLE CODES ADOPTED BY THE LOCAL AHJ ON SITE BY ELECTRICAL CONTRACTOR.

PANEL BONDED TO METAL BUILDING FRAME BY PRESS BOX MANUF.

1-1 DETAIL NUMBER
3-10 SHEET SHOWN ON SHEET CUT FROM

NOT FOR CONSTRUCTION

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801 Fifth Street.
Phone: 940/549-1365 Fax: 940/549-7333
Established 1946

Southern BLEACHER COMPANY
GRANDSTANDS • BLEACHERS • STADIUMS

PRESS BOX SHEET
10'-0" X 48'-0" PRESS BOX

HINSDALE, CENTRAL
GRANDSTAND
HINSDALE, ILLINOIS

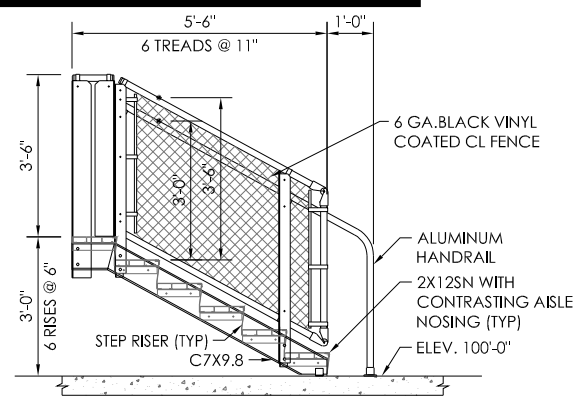
REV	DATE	DESCRIPTION
1	10/06/20	SHUTTERS, DOOR INFO
2	10/08/20	NONE THIS SHEET
3	10/07/20	REMOVED POCKET DOORS
4	10/07/20	NONE THIS SHEET
5	10/06/22	CHANGED PRESSBOX ROOM SIZES

JOB NUMBER: 5.23.19
SHEET: 6 OF 8
19sd111

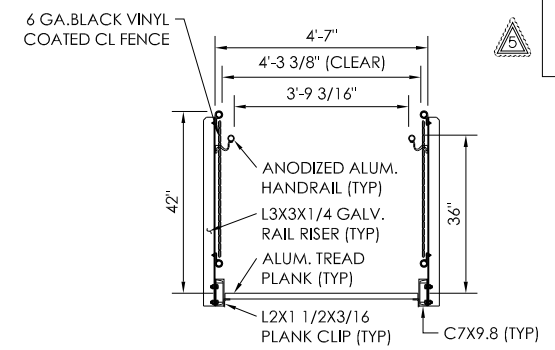
22" X 34" (1:1/4" = 1/2" indicated scale)

RAMP AND STAIR DETAILS

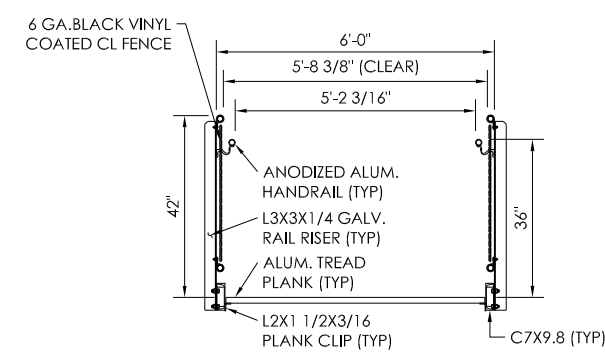
HINDSDALE CENTRAL H.S. - RAMP & EXITS



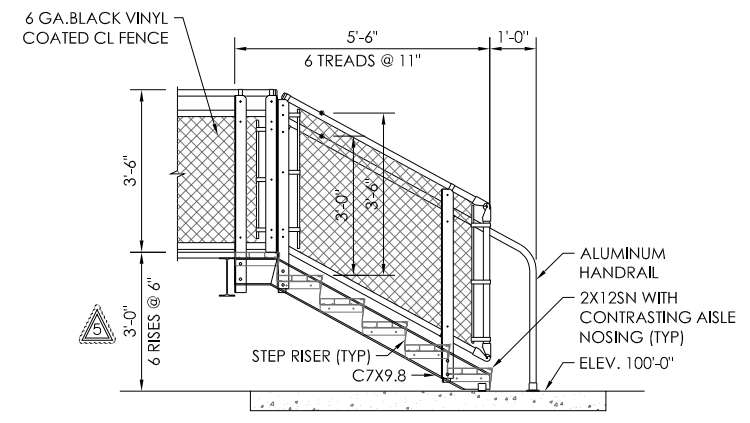
HINDSDALE CENTRAL H.S. - PORTAL EXIT STAIR DETAIL
NOT TO SCALE



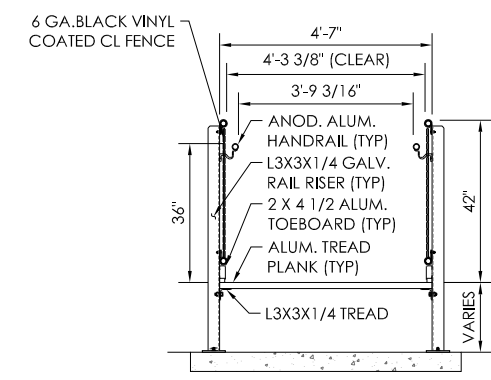
HINDSDALE CENTRAL H.S. - PORTAL STAIR SECTION
NOT TO SCALE



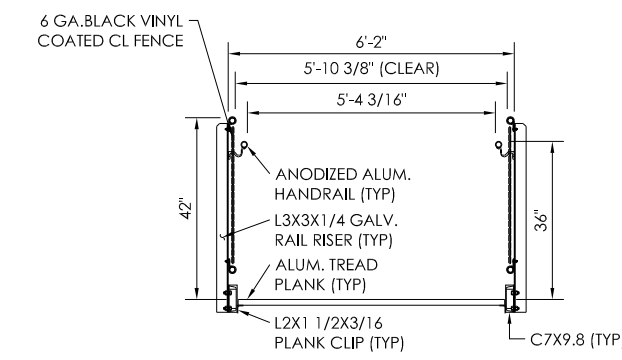
HINDSDALE CENTRAL H.S. - EXIT W/ RAMP STAIR SECTION
NOT TO SCALE



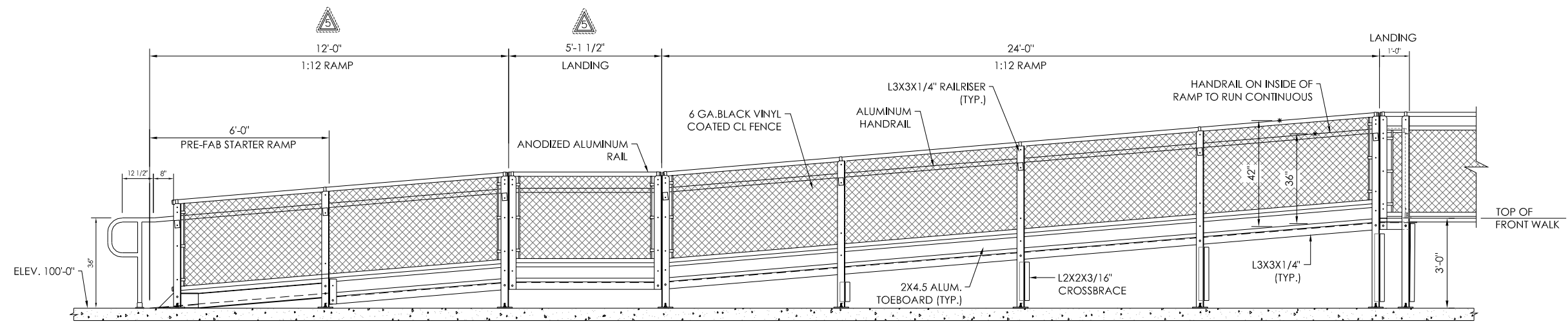
HINDSDALE CENTRAL H.S. - END EXIT STAIR DETAIL
NOT TO SCALE
EXIT STAIR W/ RAMP SIM.



HINDSDALE CENTRAL H.S. - EXIT RAMP SECTION
NOT TO SCALE



HINDSDALE CENTRAL H.S. - END EXIT STAIR SECTION
NOT TO SCALE



HINDSDALE CENTRAL H.S. - RAMP DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

DETAIL NUMBER
1-10 SHEET SHOWN ON
3-10 SHEET CUT FROM

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Established 1946

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BLEACHER COMPANY
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HINDSDALE SOUTH EXIT

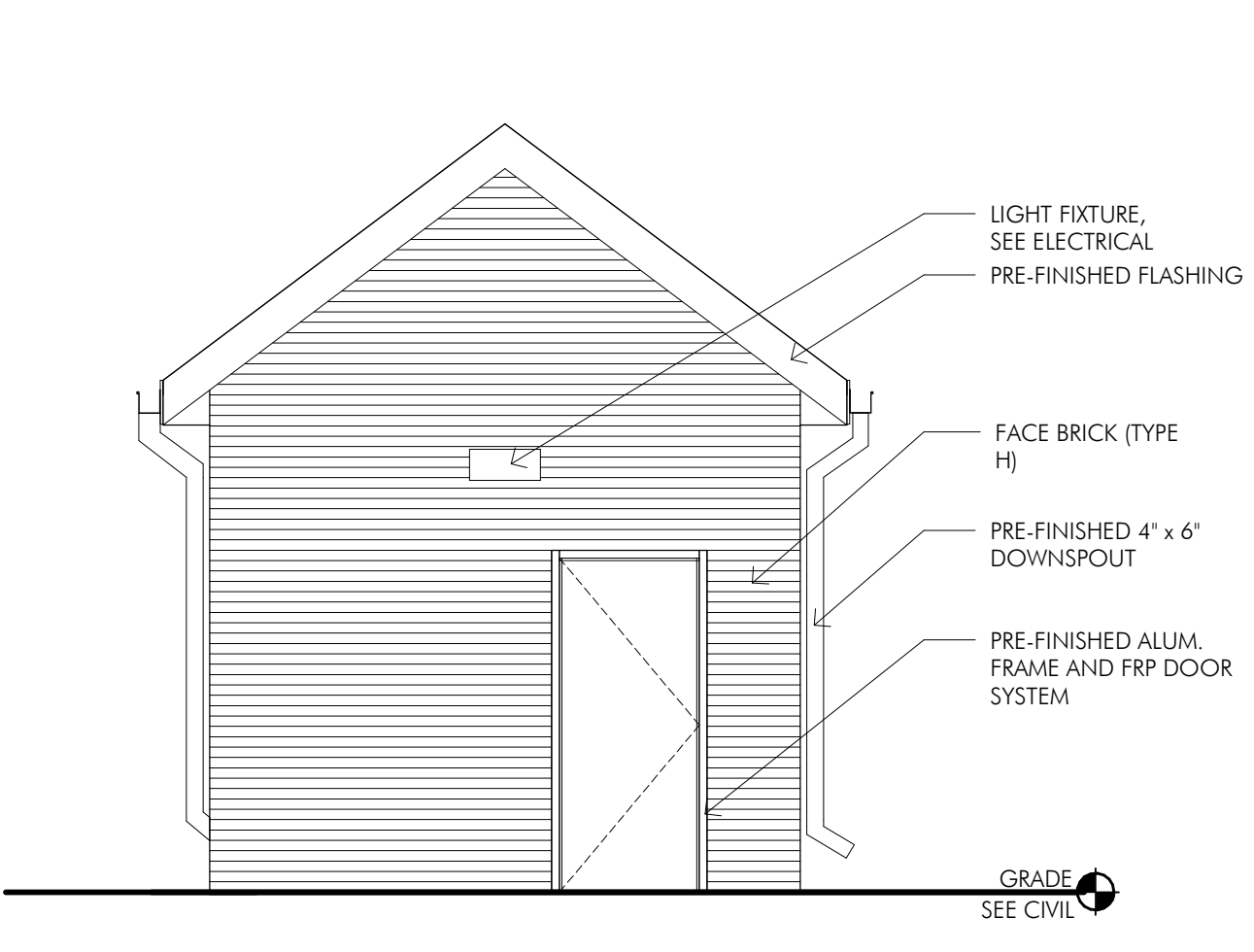
HINDSDALE SOUTH
NEW EXIT
HINDSDALE, ILLINOIS

REV	BY	DATE	DESCRIPTION
1	RS	10/06/20	CENTRAL HS RAMP EXIT SECTION
2	RD	10/08/20	NONE THIS SHEET
3	RD	07/17/21	HINDSDALE SOUTH SHEET ADDED
4	LD	06/22/21	NONE THIS SHEET
5	LD	06/22/21	CHANGED PRESSBOX ROOM SIZES

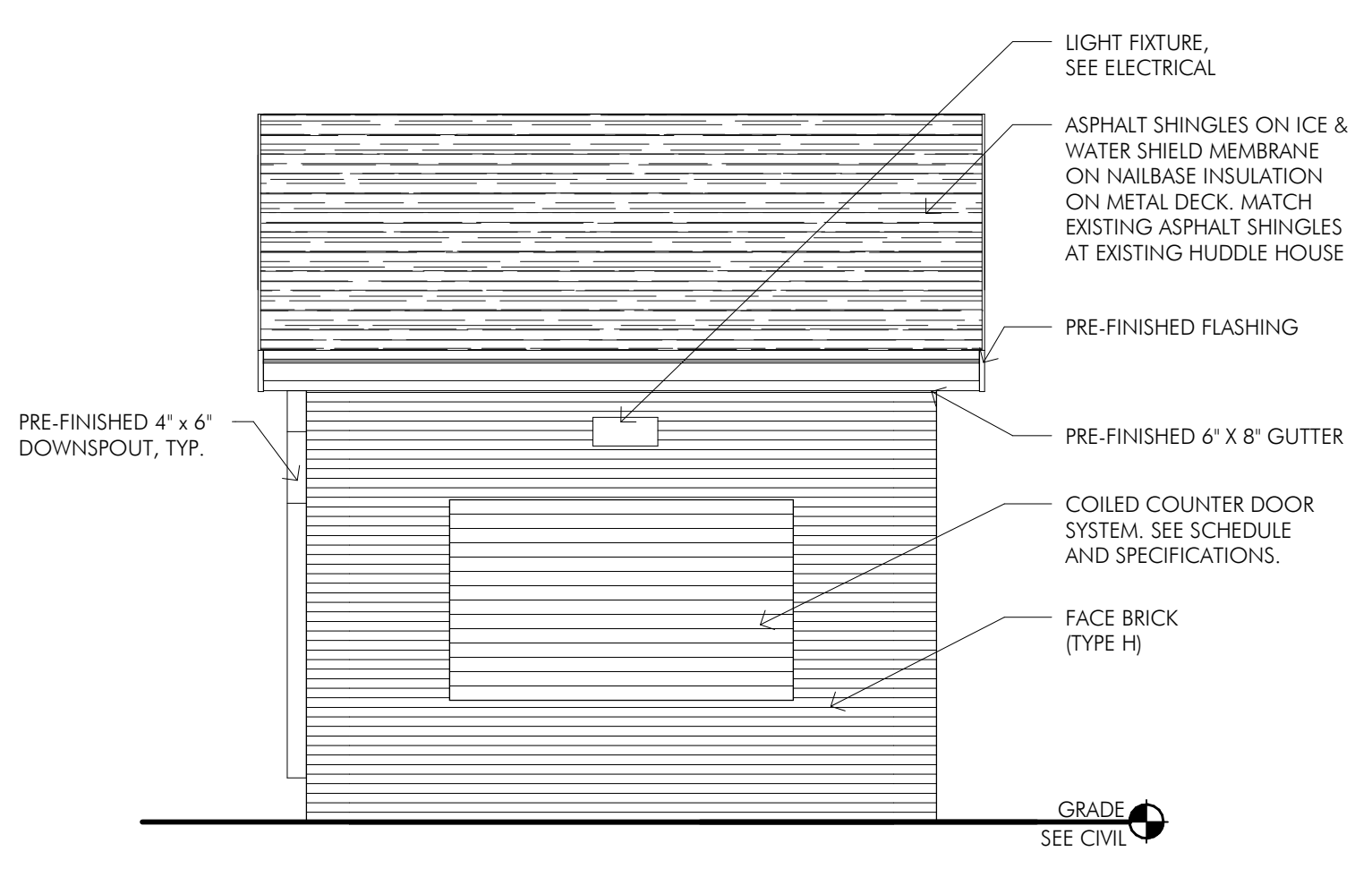
JOB NUMBER: 5.23.19
SHEET: 7 OF 8
19sd111

22" X 34" (1/16" = 1/2 indicated scale)

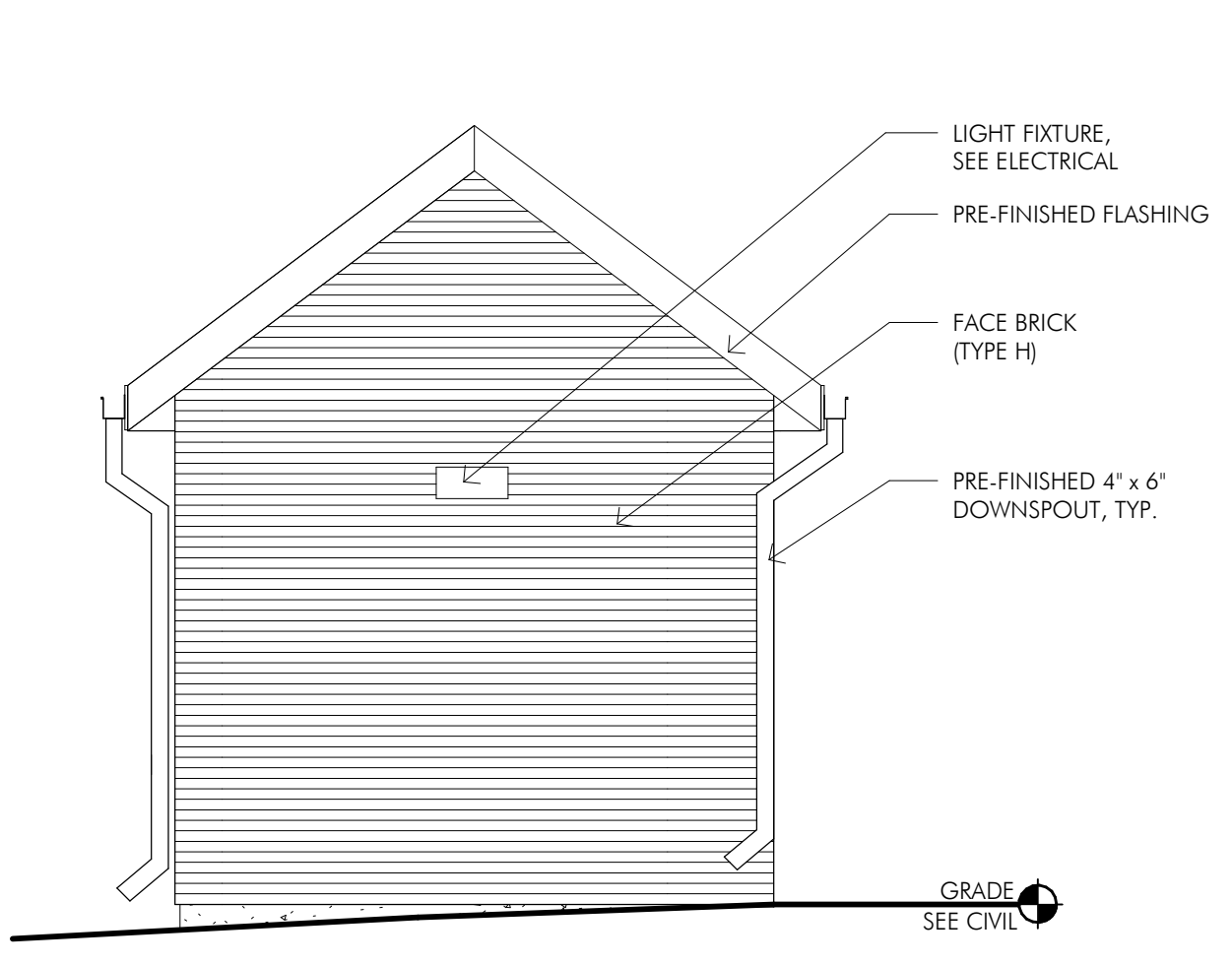
TICKET BOOTH PLAN, ELEVATIONS AND DETAILS



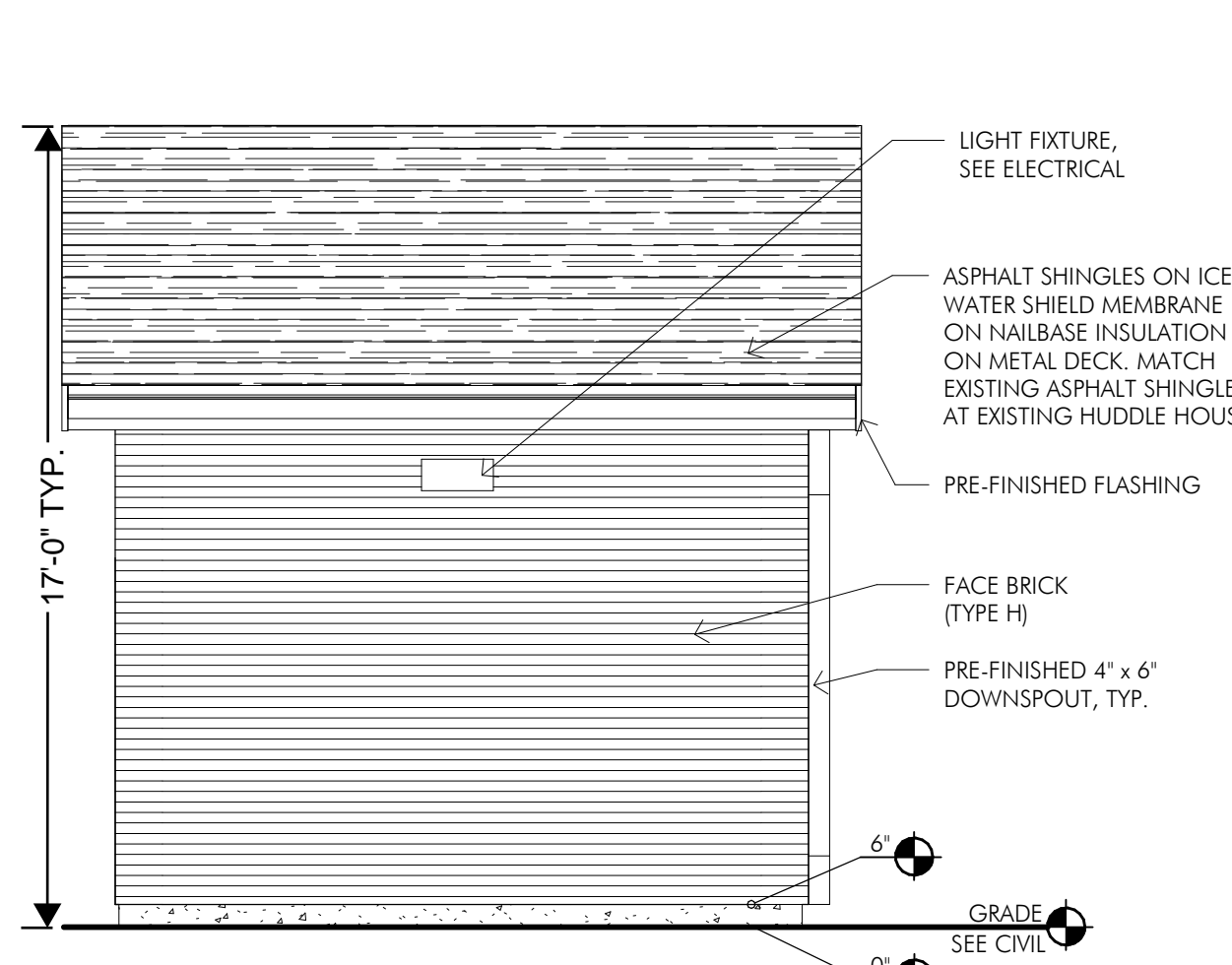
1 TICKET BOOTH - WEST ELEVATION
1/4" = 1'-0"



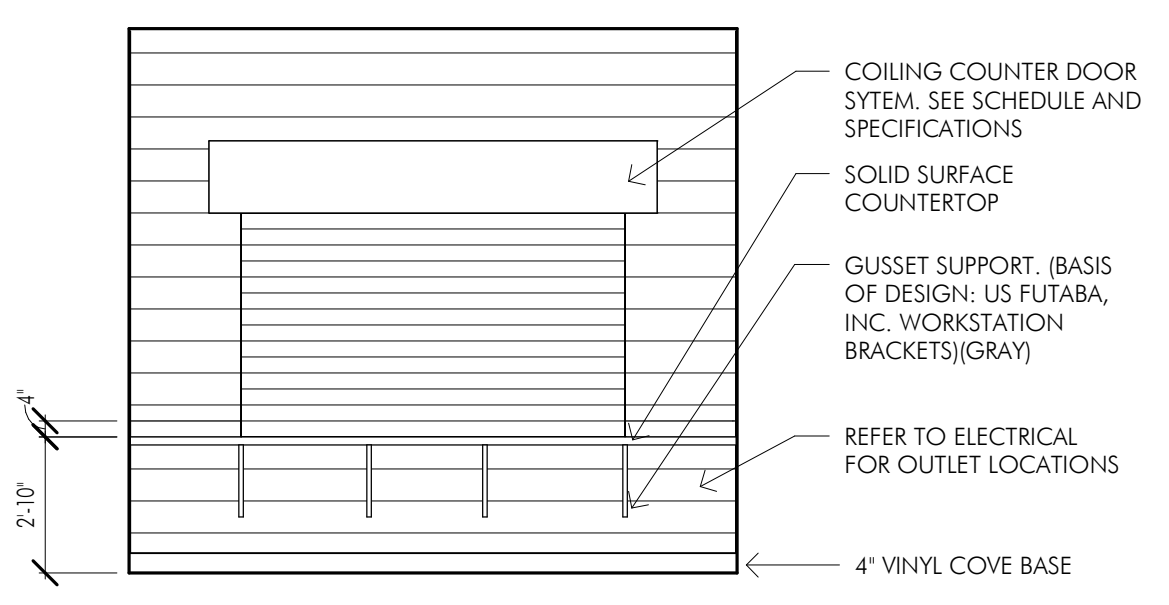
2 TICKET BOOTH - NORTH ELEVATION
1/4" = 1'-0"



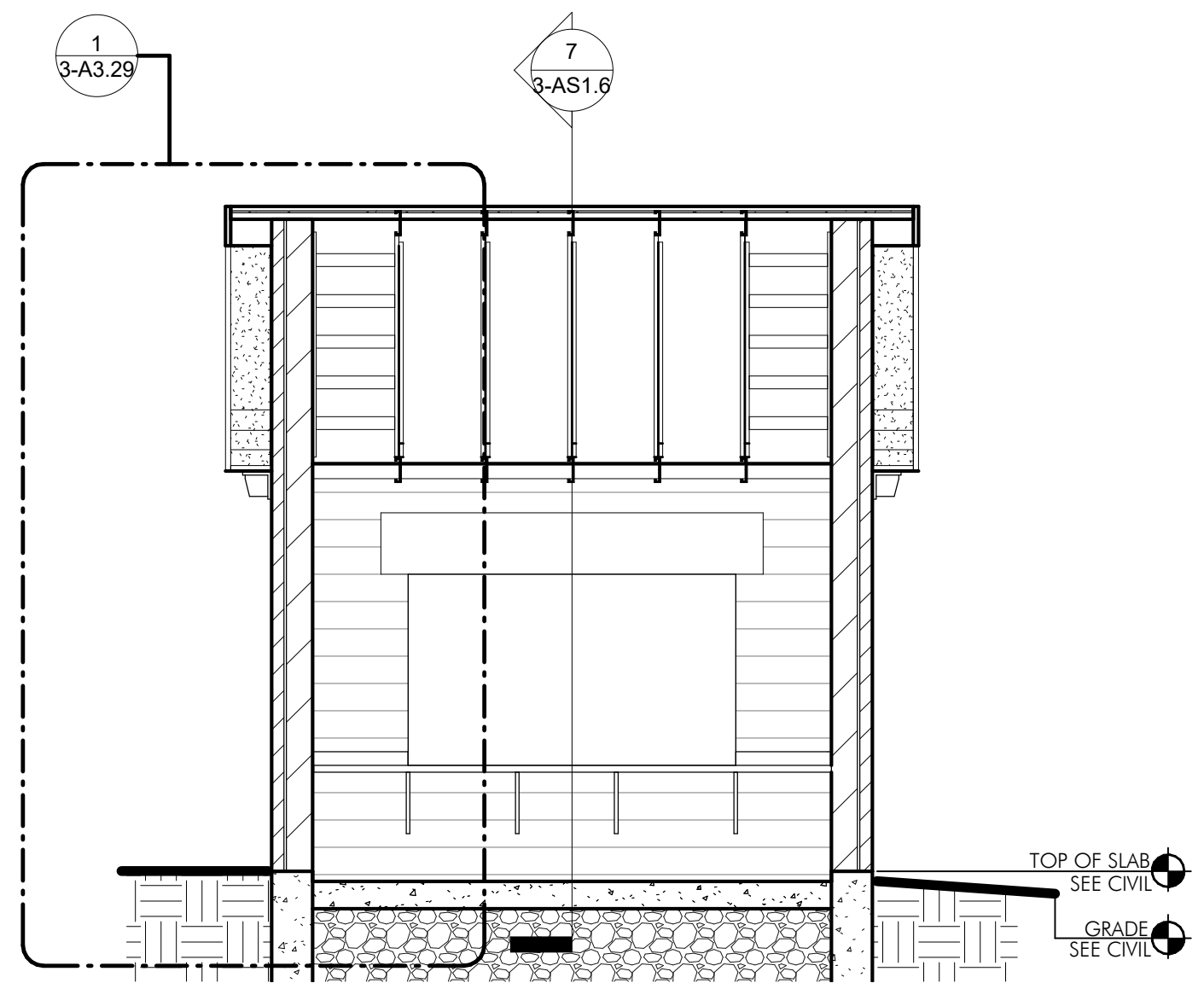
3 TICKET BOOTH - EAST ELEVATION
1/4" = 1'-0"



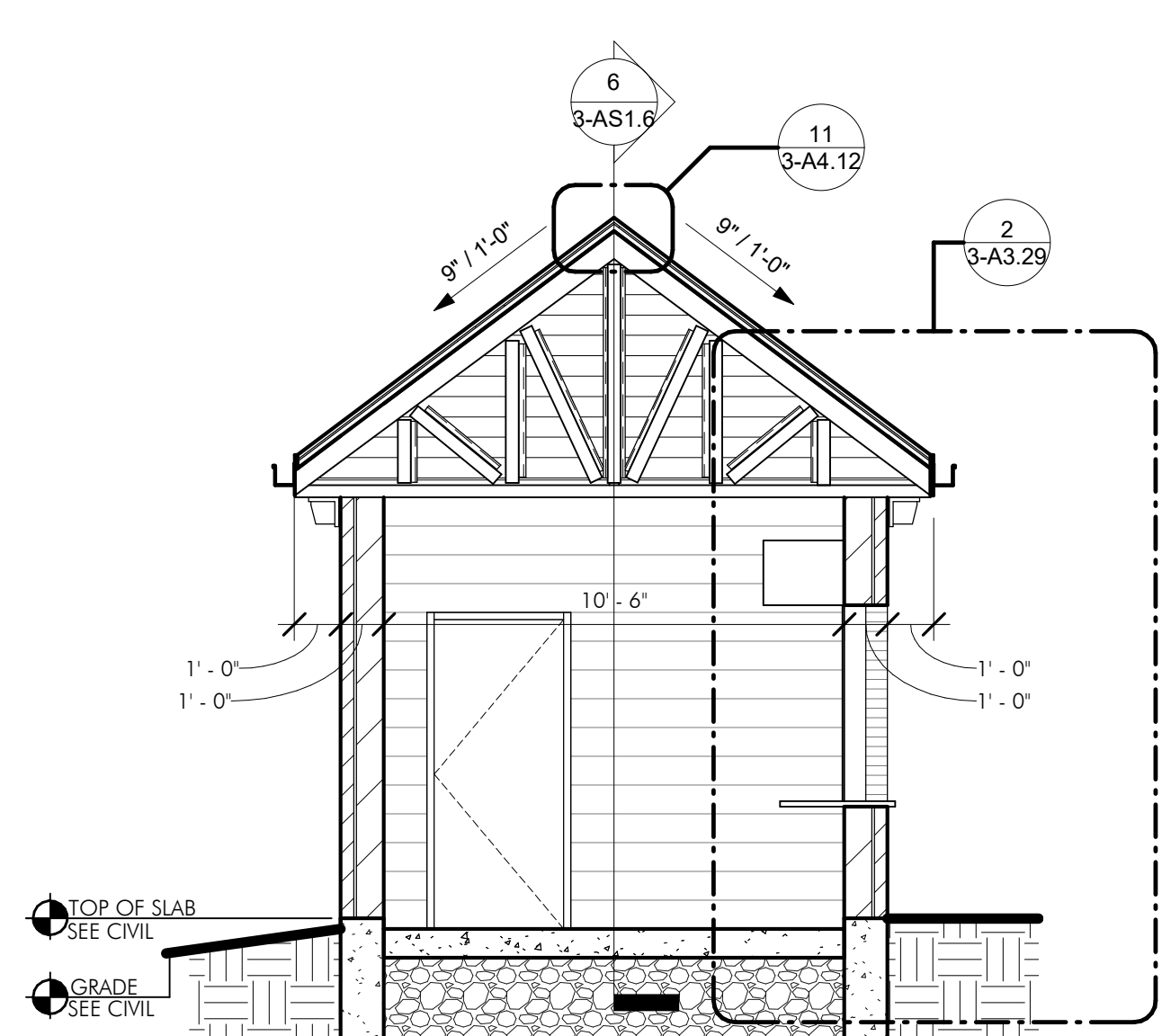
4 TICKET BOOTH - SOUTH ELEVATION
1/4" = 1'-0"



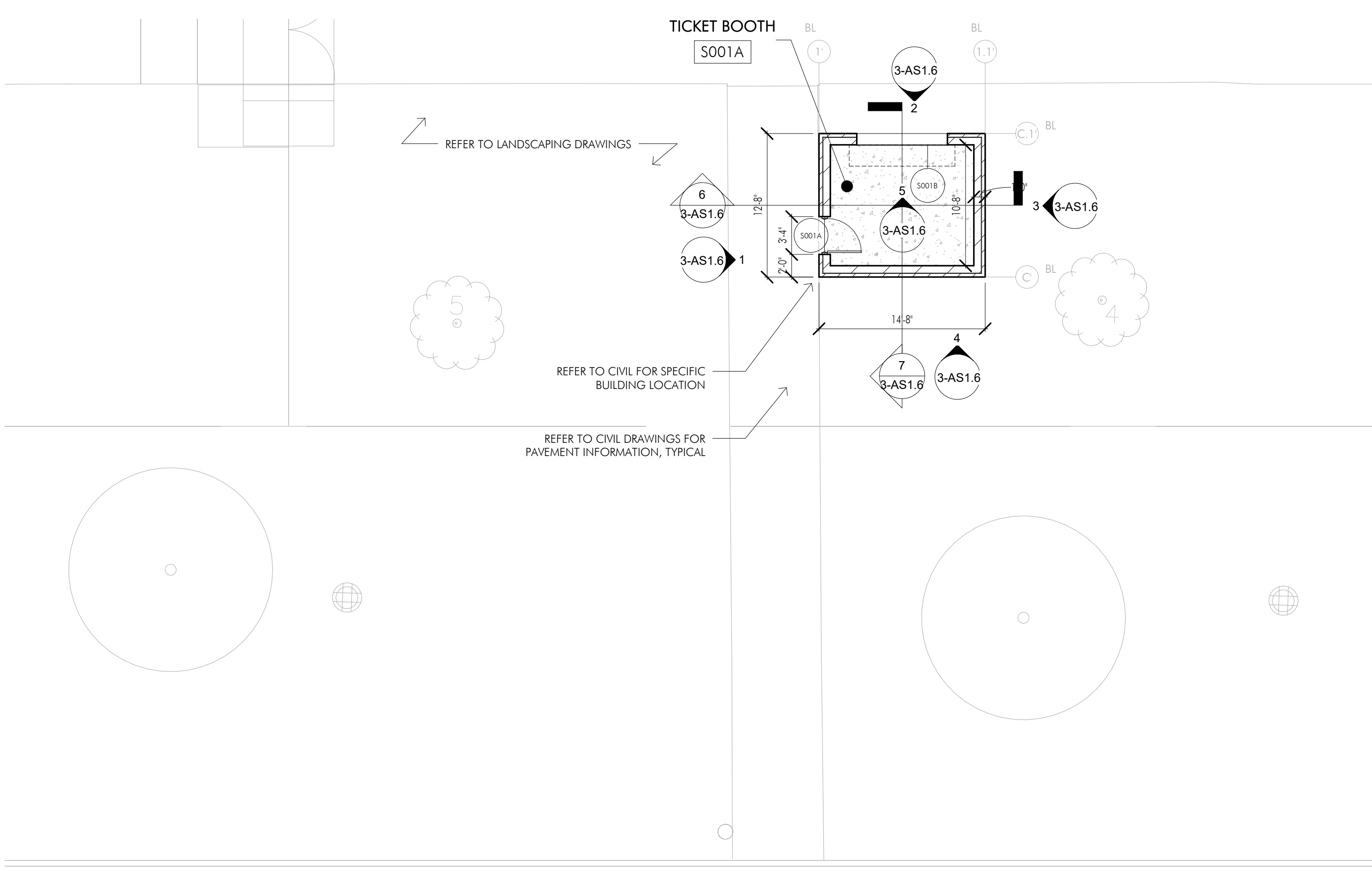
5 TICKET BOOTH - INTERIOR ELEVATION - NORTH
1/4" = 1'-0"



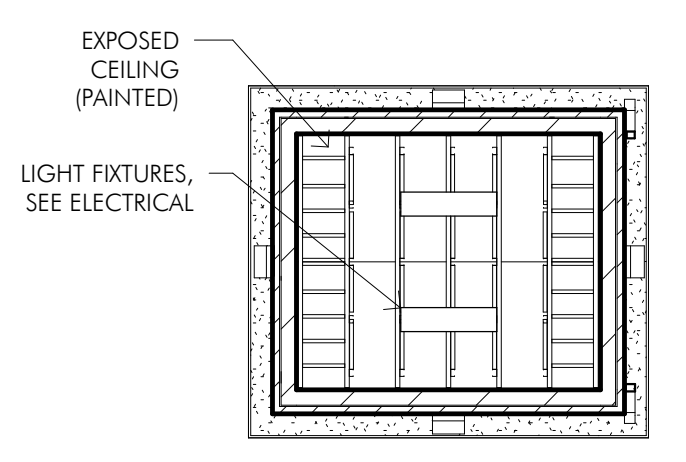
6 TICKET BOOTH - EAST/WEST
1/4" = 1'-0"



7 TICKET BOOTH - NORTH/SOUTH
1/4" = 1'-0"



14 TICKET BOOTH - RCP
1/8" = 1'-0"



12 ARCHITECTURAL SITE PLAN - TICKET BOOTH PARTIAL PLAN
1/8" = 1'-0"

ALL WORK ON THIS SHEET IS PART OF ALTERNATE NO. 9 SCOPE



ADDITIONS AND RENOVATIONS
BID PERIOD 3
for the
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 South Grant Street
Hinsdale, Illinois
60521



Civil:
Eriksson Engineering Associate, Ltd.
135 S. Jefferson Street
Suite 135
Chicago, IL 60661
P: 312.463.0551

Structural:
20/10 Engineering Group, LLC
1216 Tower Road
Schaumburg, IL 60173
P: 847.882.2010

Mechanical/Electrical/Plumbing/Fire Protection:
Mechanical Services Associates
111 S. Virginia Street
Crystal Lake, IL 60014
P: 815.788.8901

REVISIONS	No.	Date	By

Project Number:
19101
Issue Date:
October 12, 2020
Drawn by:
Author
Sheet Title
ARCHITECTURAL SITE PLAN - PARTIAL

Sheet Number
3-AS1.6
HINSDALE CENTRAL

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TICKET BOOTH - EXTERIOR SOUTHEAST



TICKET BOOTH - EXTERIOR SOUTHWEST



Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

PROJECT NO. 19101

02/10/21

TICKET BOOTH EXTERIOR PERSPECTIVE



VARSITY BASEBALL FIELD BACKSTOP REPLACEMENT PLAN AND DETAILS

ALL WORK ON THIS SHEET IS PART OF ALTERNATE NO. 8 SCOPE



ADDITIONS AND RENOVATIONS
BID PERIOD 3

for the
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
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Hinsdale Township
High School District 86
5500 South Grant Street
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Crystal Lake, IL 60014
P: 815.788.8901

REVISIONS	No.	Date	By

Project Number:
19101

Issue Date:
October 12, 2020

Drawn by:
Author

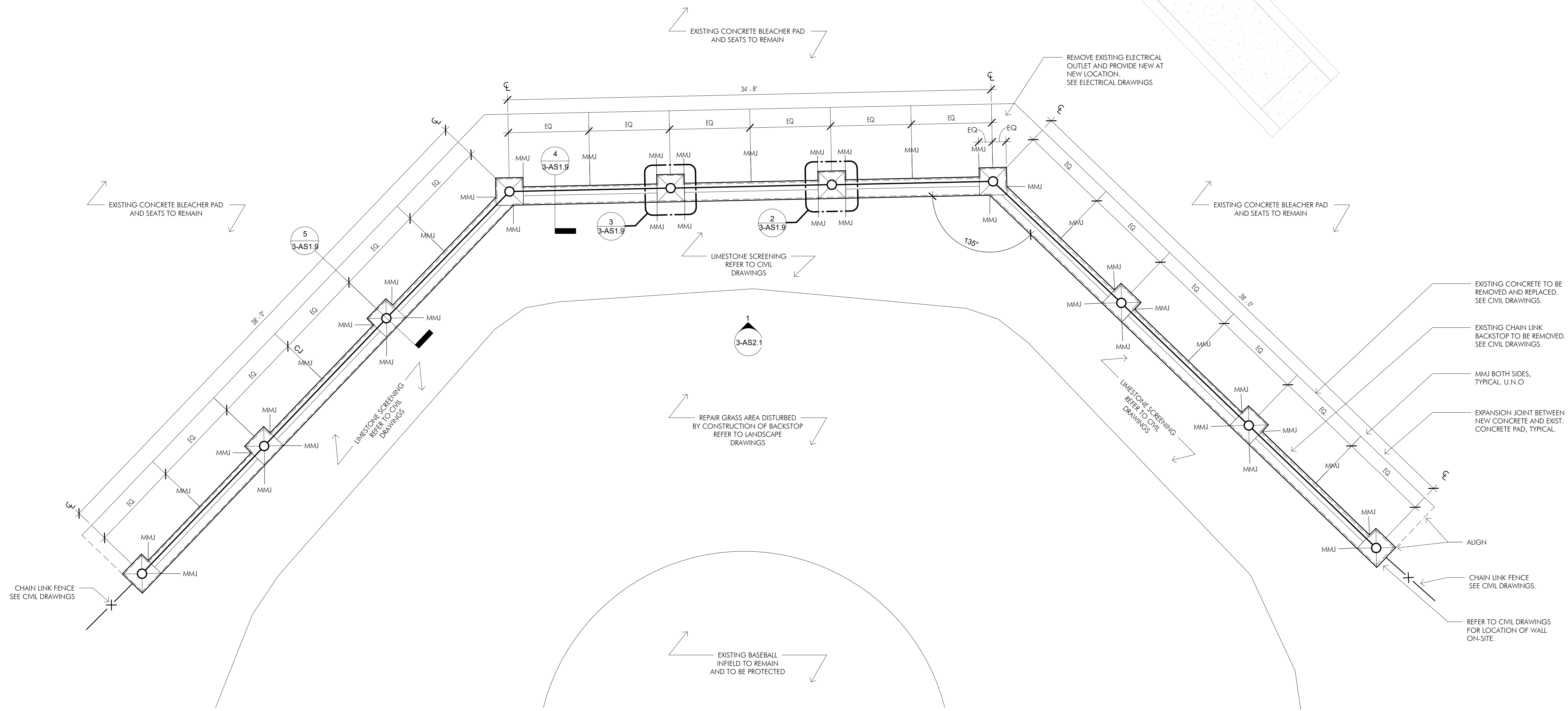
Sheet Title:
ARCHITECTURAL SITE PLAN - PARTIAL

Sheet Number

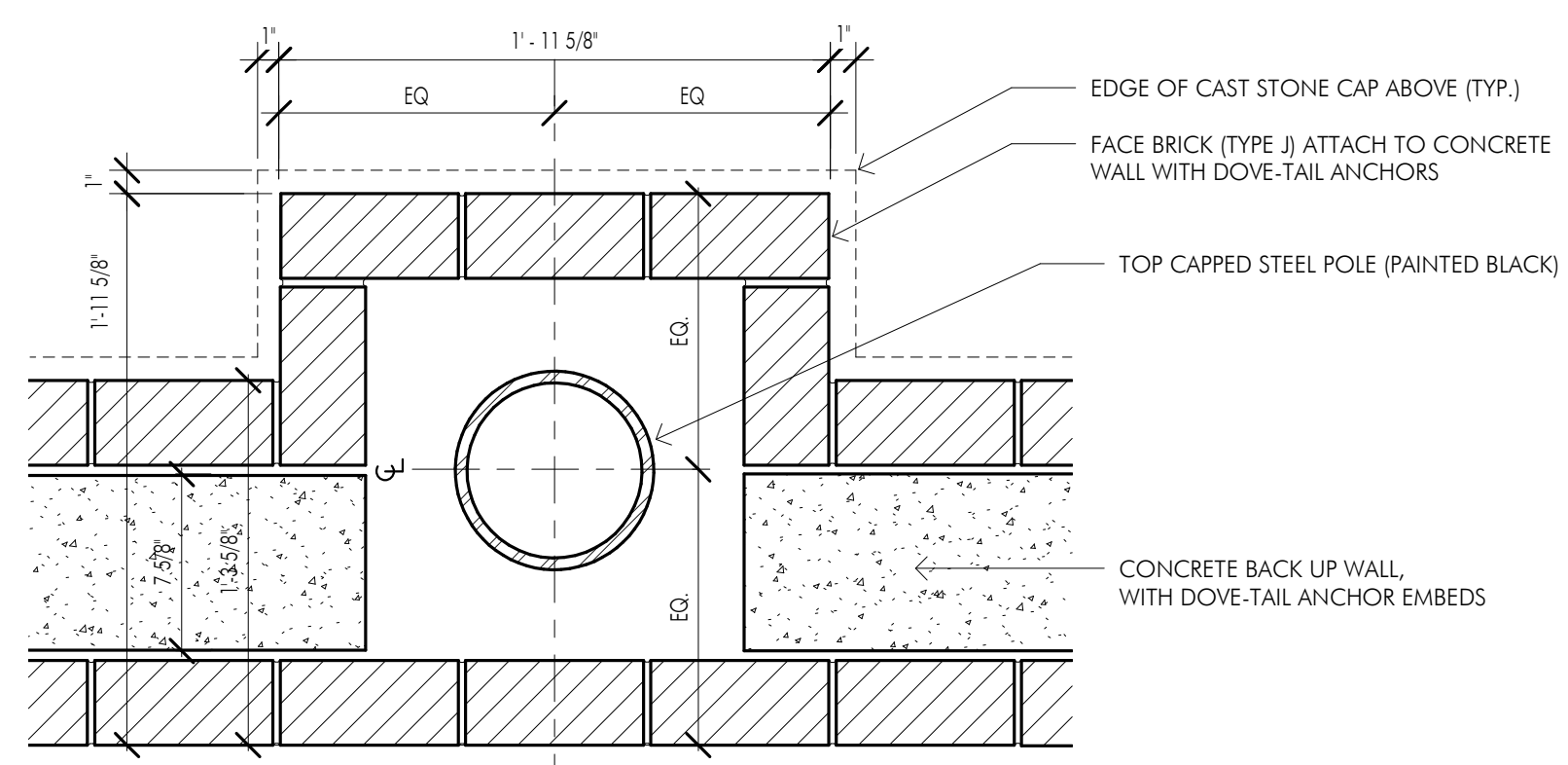
3-AS1.9

HINSDALE CENTRAL

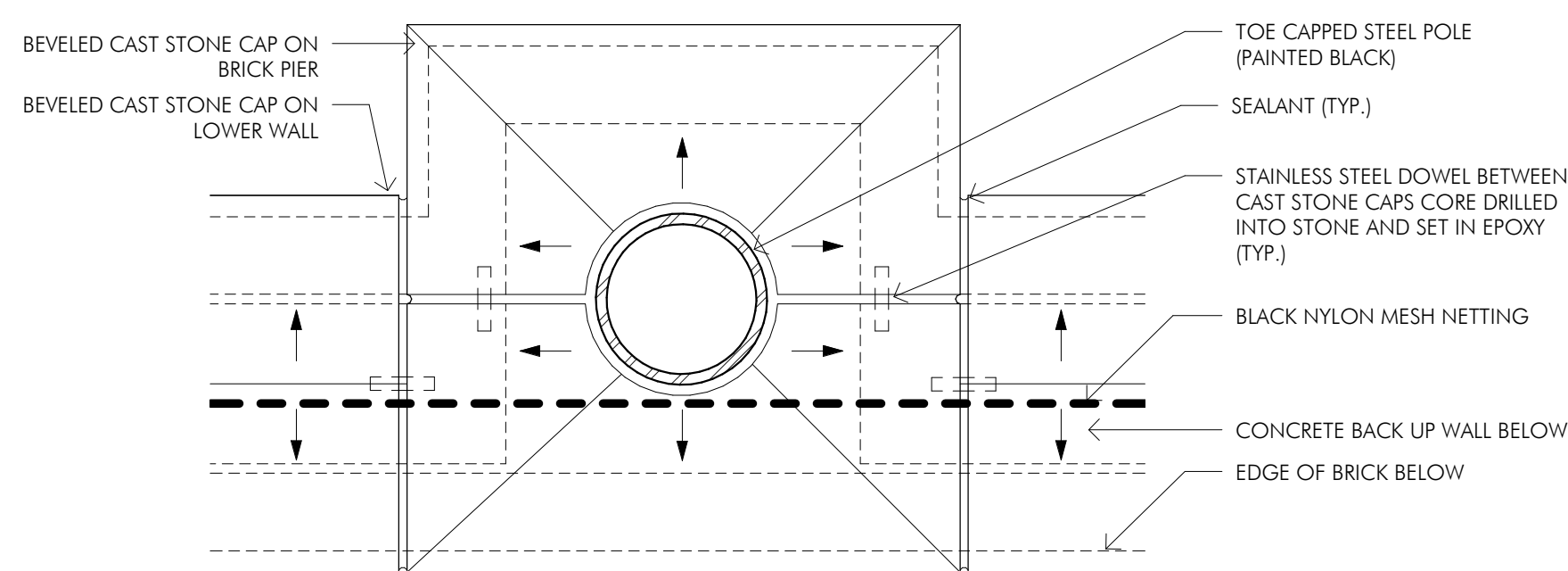
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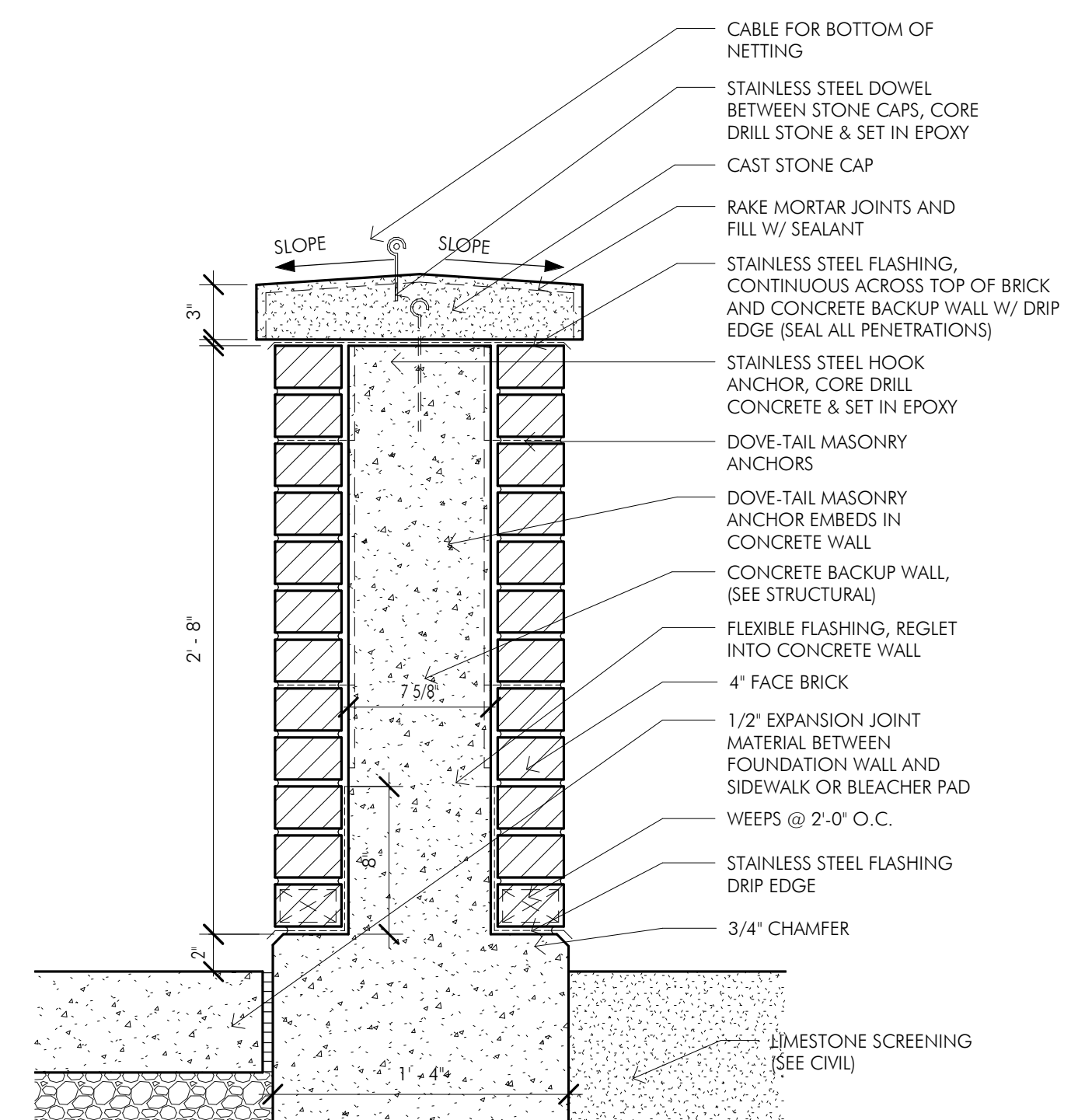
1 ARCHITECTURAL SITE PLAN - VARSITY BASEBALL FIELD
1/4" = 1'-0"



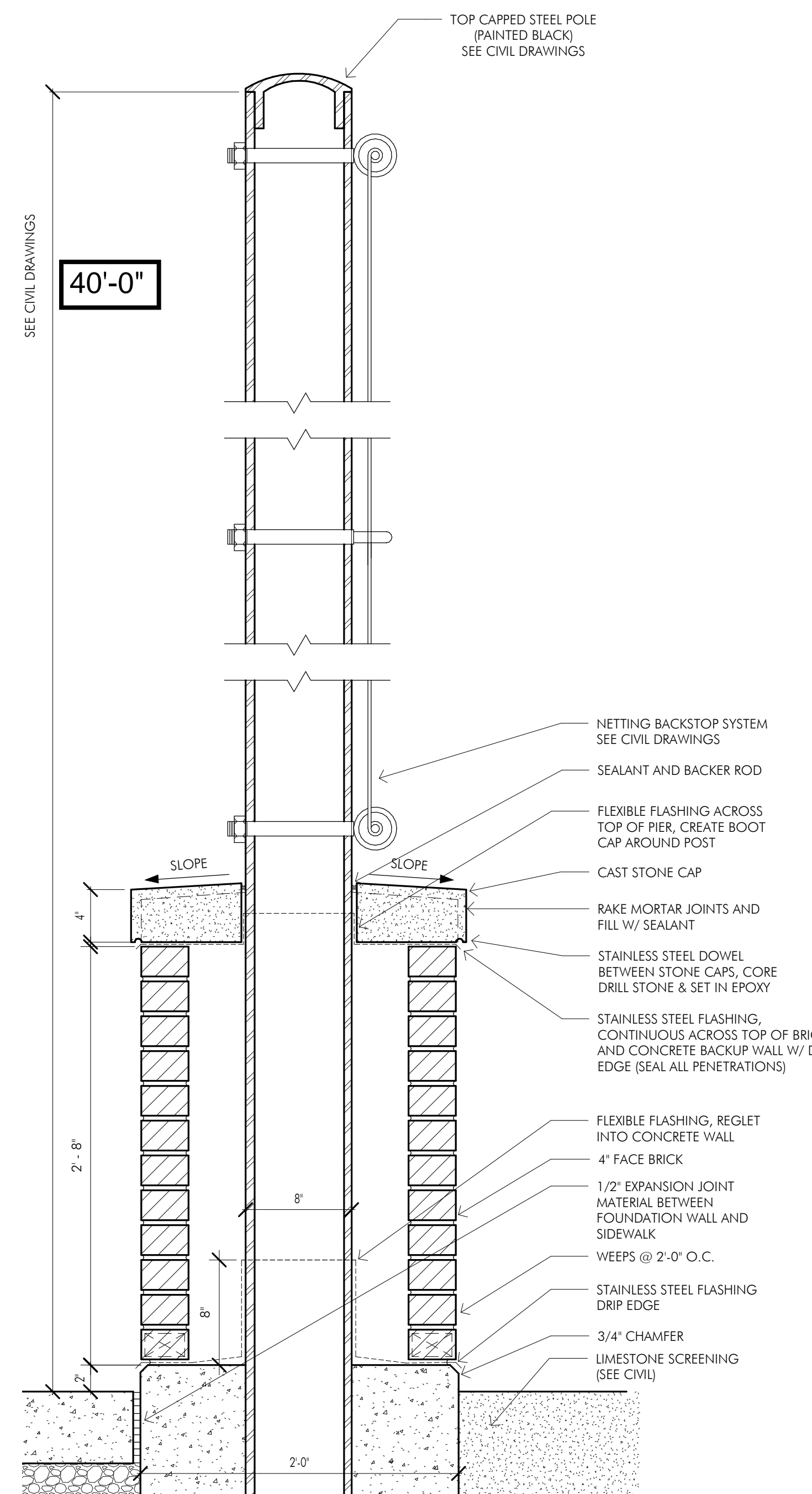
2 BACKSTOP PIER PLAN DETAIL
1 1/2" = 1'-0"



3 BACKSTOP PIER STONE CAP PLAN DETAIL
1 1/2" = 1'-0"

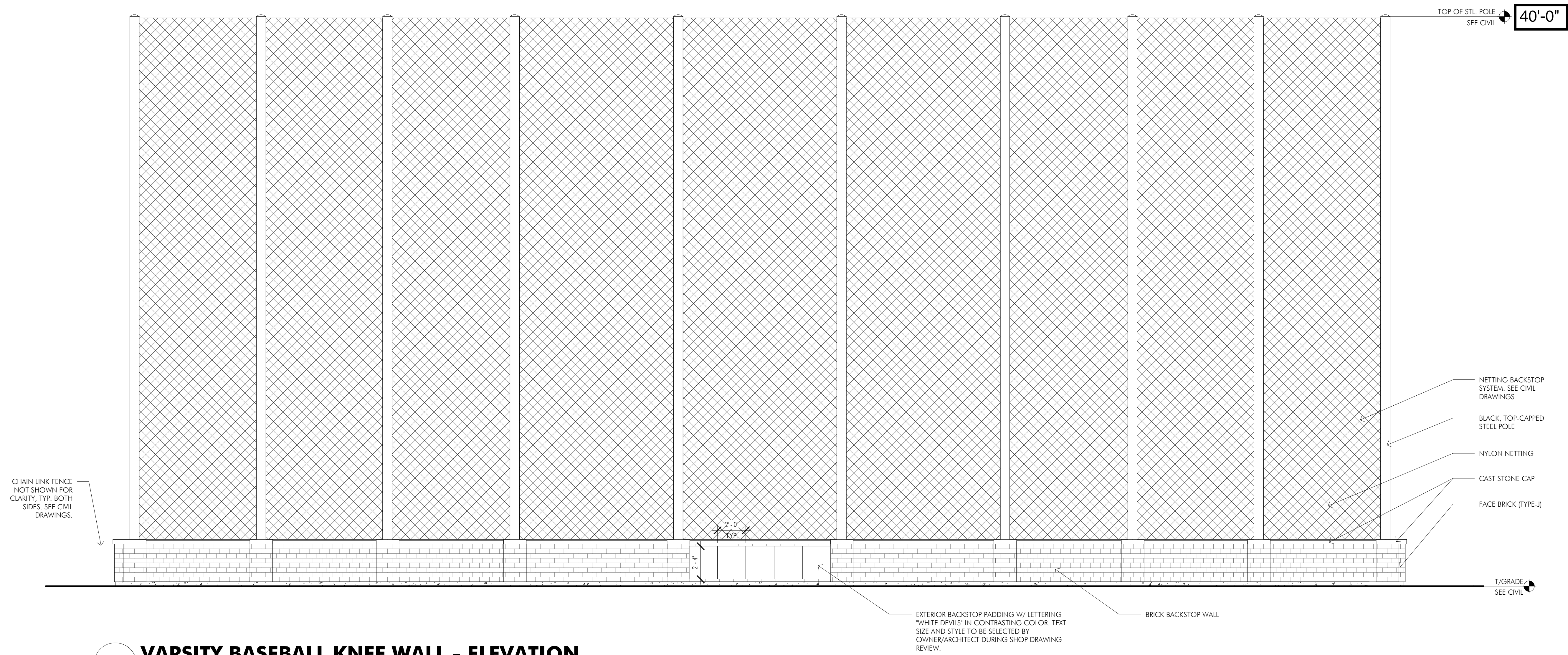


4 BACKSTOP WALL SECTION DETAIL
1 1/2" = 1'-0"



5 BACKSTOP PIER SECTION DETAIL
1 1/2" = 1'-0"

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1 VARSITY BASEBALL KNEE WALL - ELEVATION
1/4" = 1'-0"

ADDITIONS AND RENOVATIONS
BID PERIOD 3

of
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
BOARD of EDUCATION
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Crystal Lake, IL 60014
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REVISIONS

No.	Date	By

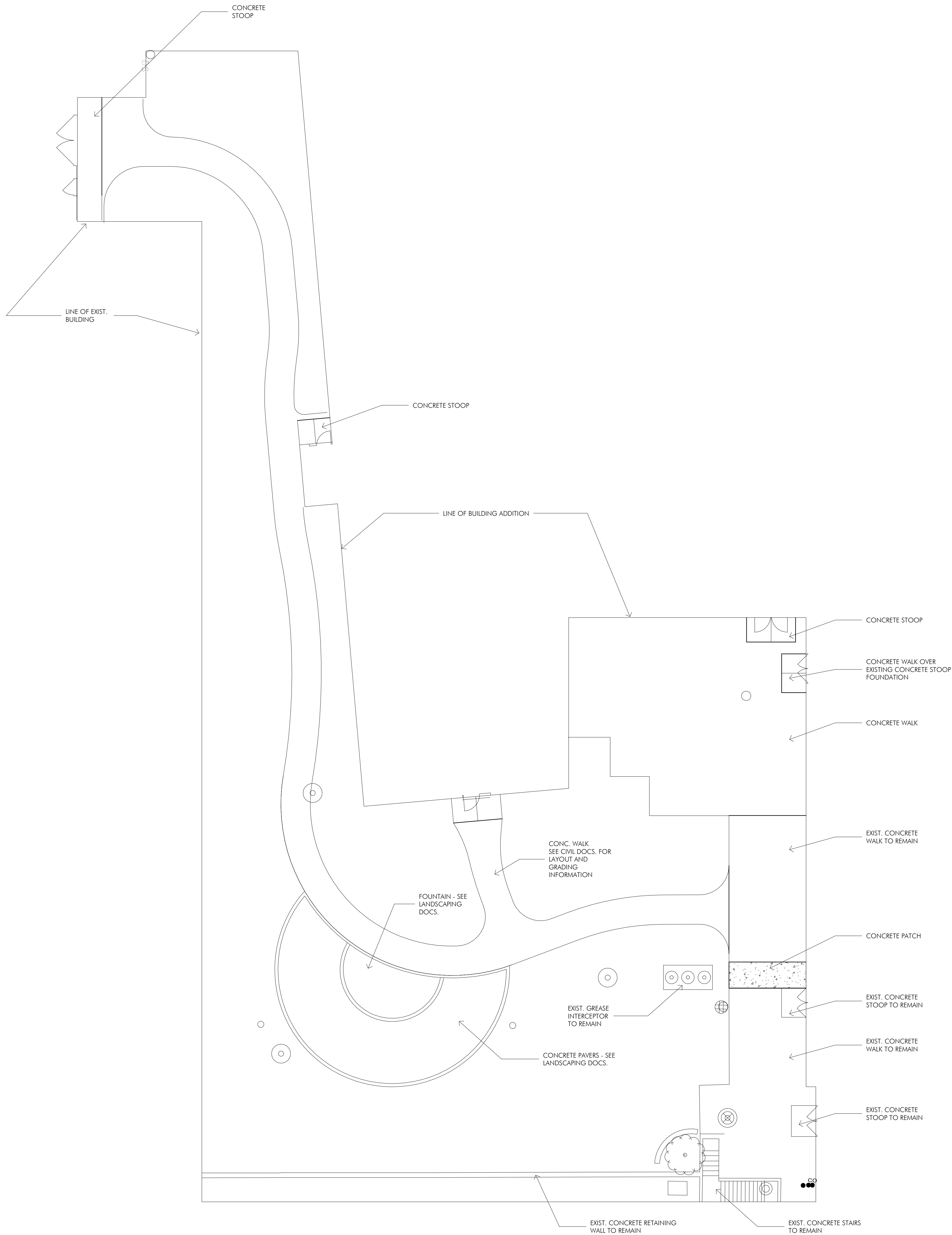
Project Number:
19101

Issue Date:
October 12, 2020

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Author

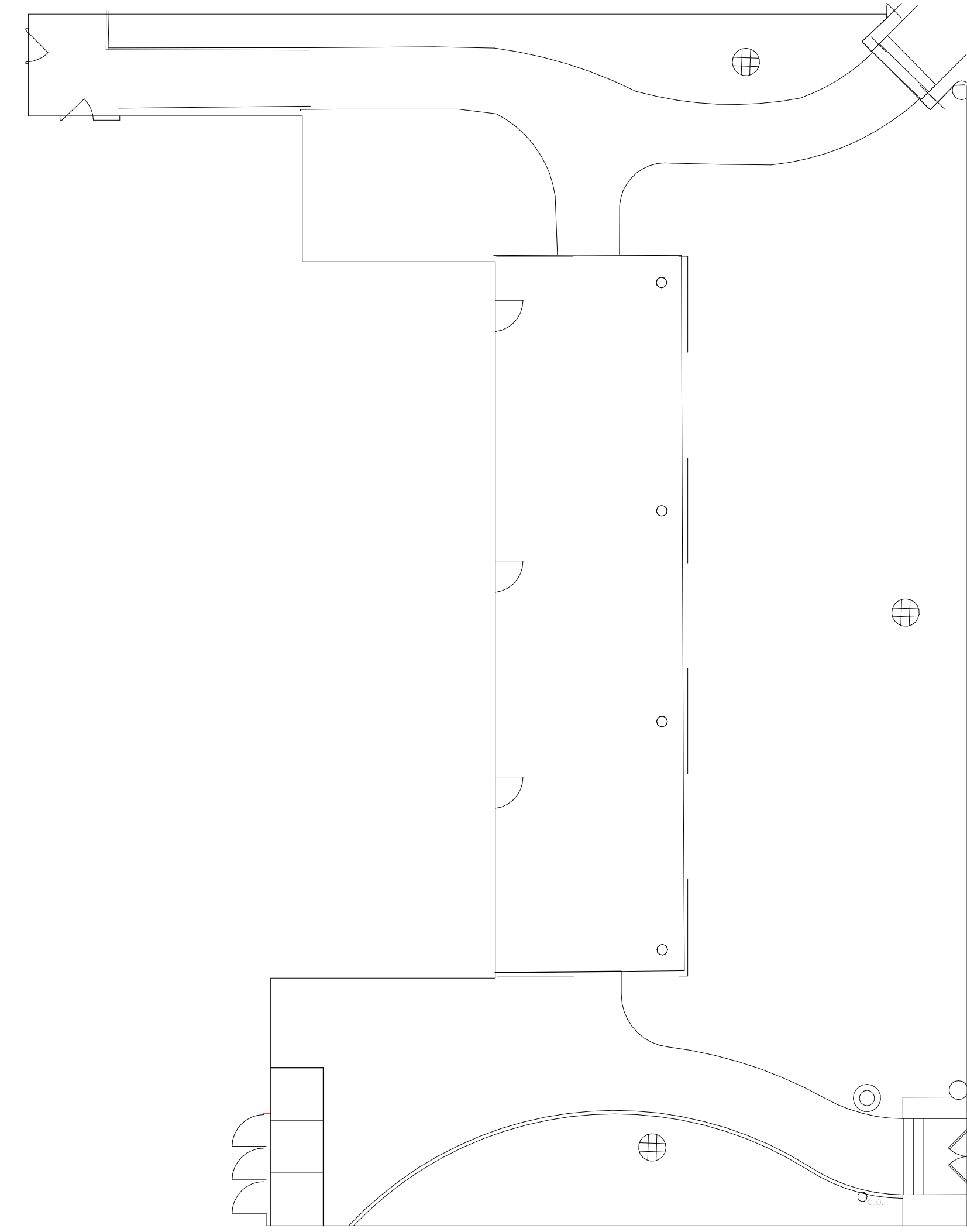
Sheet Title:
ARCHITECTURAL SITE PLAN ELEVATIONS

Sheet Number
3-AS2.1
HINSDALE CENTRAL

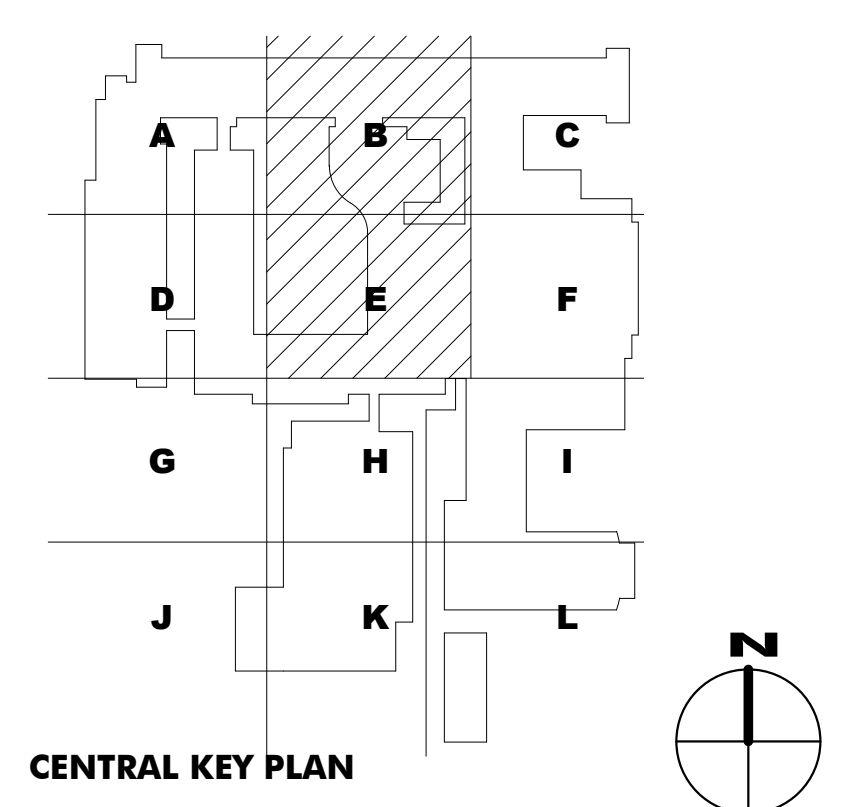


ALL WORK SHOWN IS NEW U.N.O.

1 ARCHITECTURAL SITE PLAN - SECTOR B & E
3/32" = 1'-0"



2 ARCHITECTURAL SITE PLAN - SECTOR B & E
3/32" = 1'-0"



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ADDITIONS AND RENOVATIONS
BID PERIOD 3

at
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55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
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High School District 86
5500 South Grant Street
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REVISIONS		
No.	Date	By

Project Number:
19101

Issue Date:
October 12, 2020

Drawn by:
Author

Sheet Title
ARCHITECTURAL SITE PLAN - PARTIAL

Sheet Number
3-AS1.1
HINSDALE CENTRAL



STUDENT SERVICES - EXTERIOR COURTYARD SOUTHEAST



Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

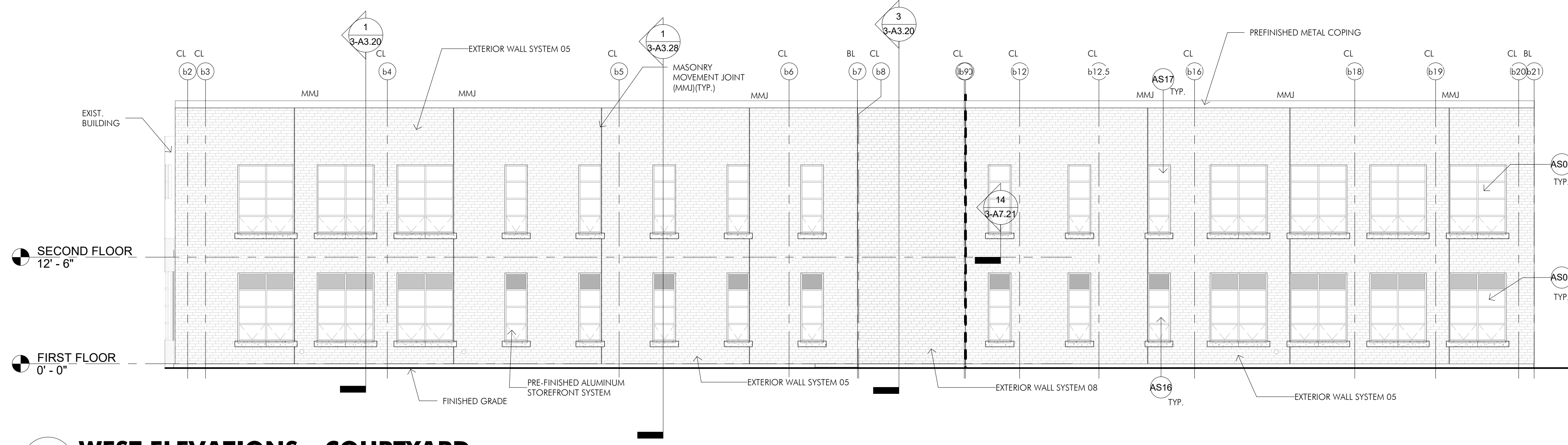
PROJECT NO. 19101

02/10/21

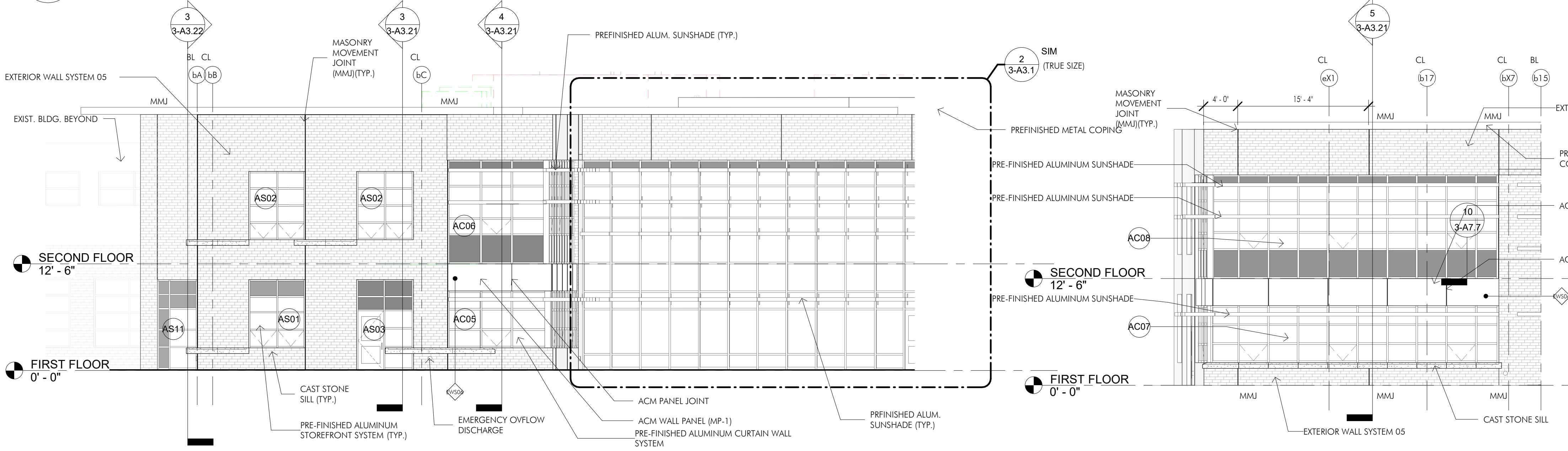
STUDENT SERVICES EXTERIOR PERSPECTIVE



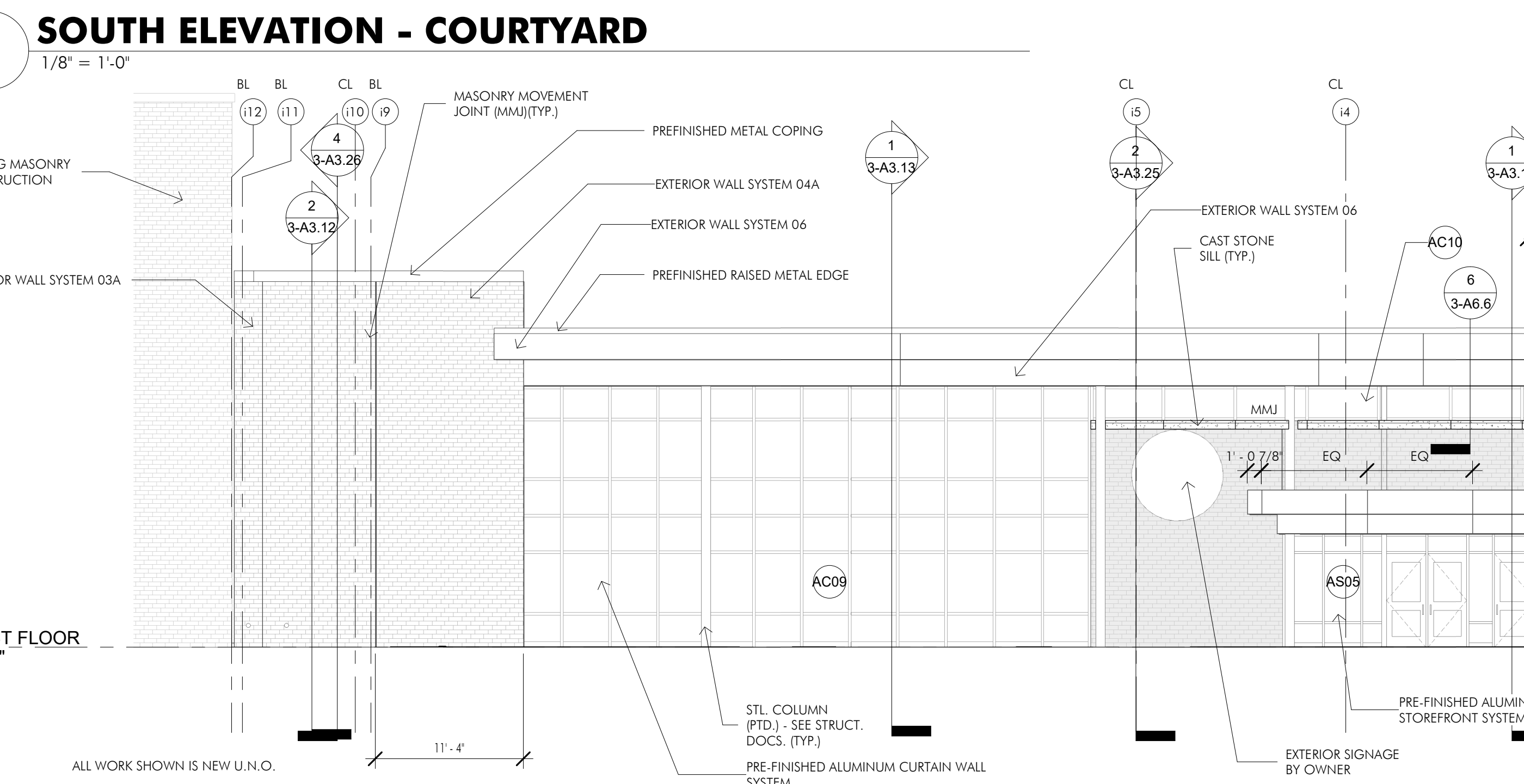
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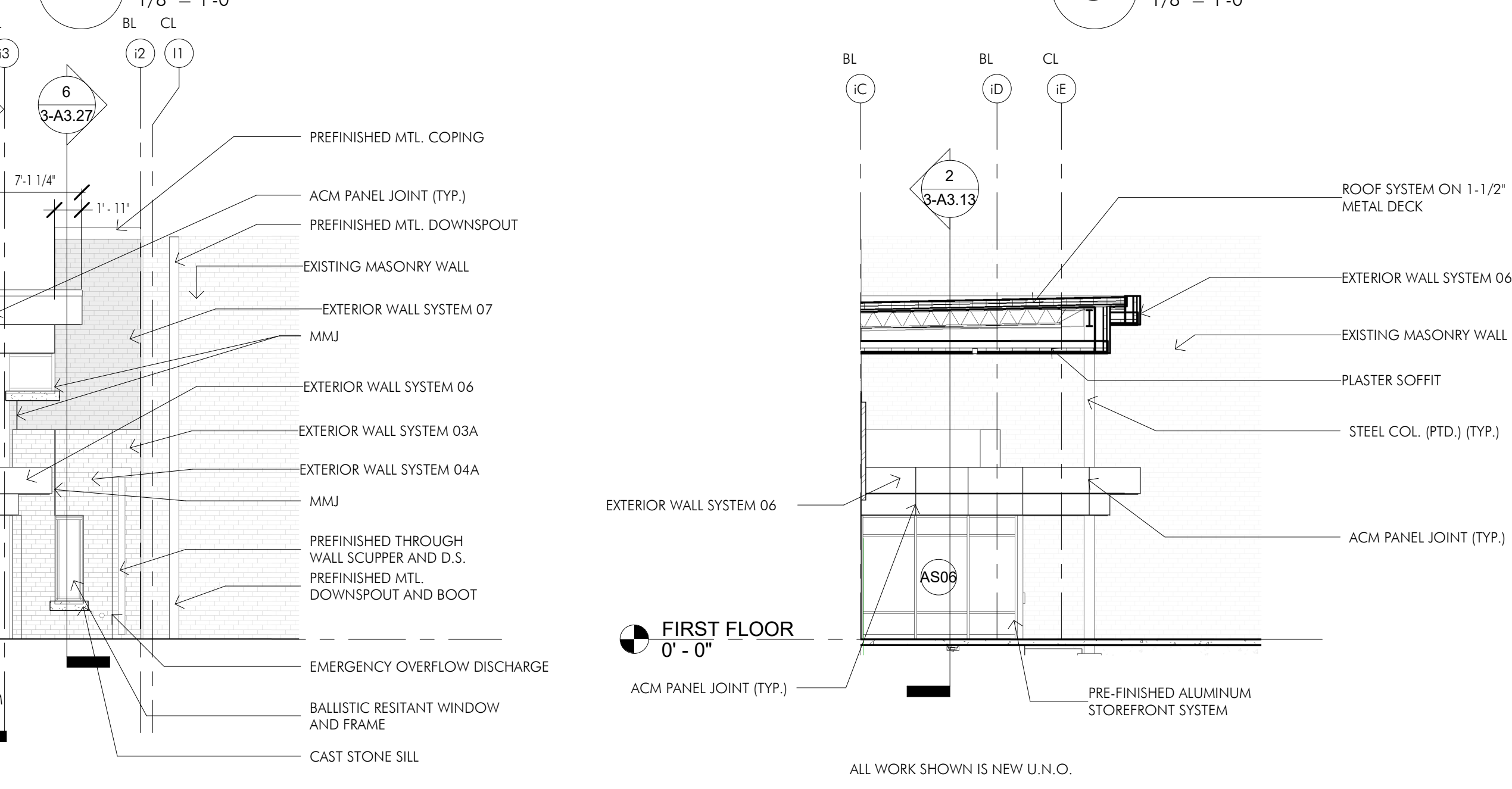
1 WEST ELEVATIONS - COURTYARD
1/8" = 1'-0"



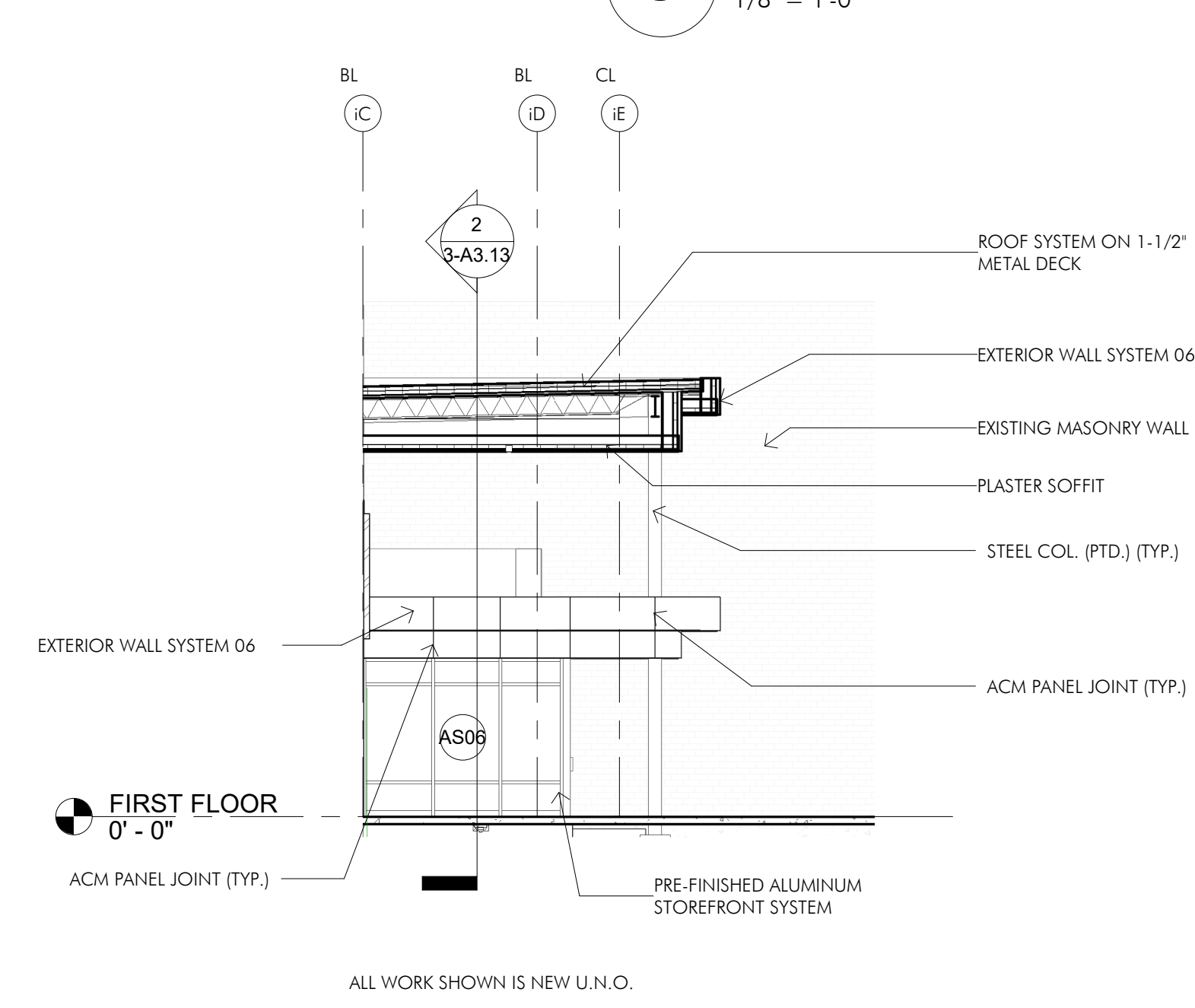
2 SOUTH ELEVATION - COURTYARD AT CURTAIN WALL
1/8" = 1'-0"



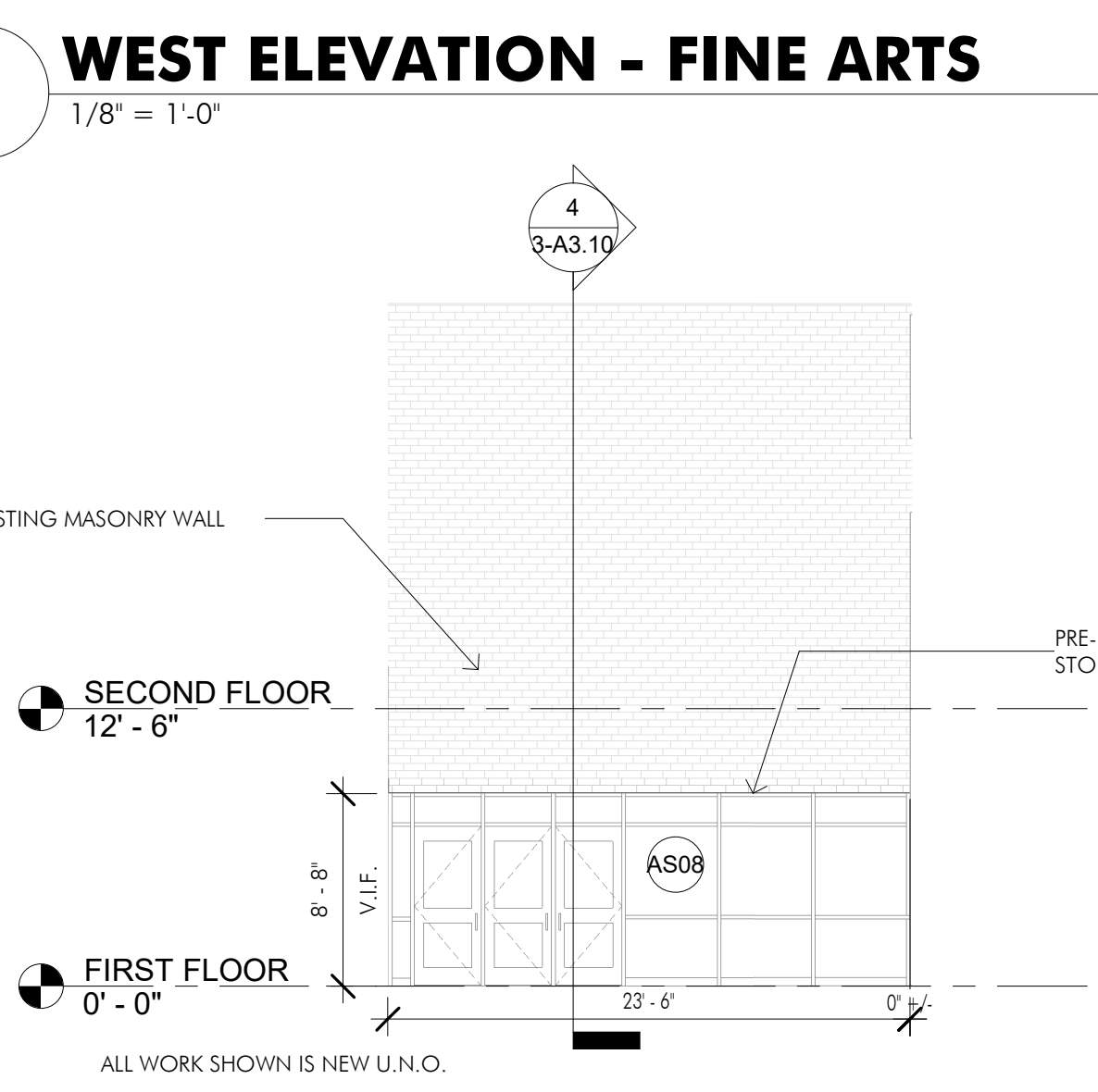
3 SOUTH ELEVATION - COURTYARD
1/8" = 1'-0"



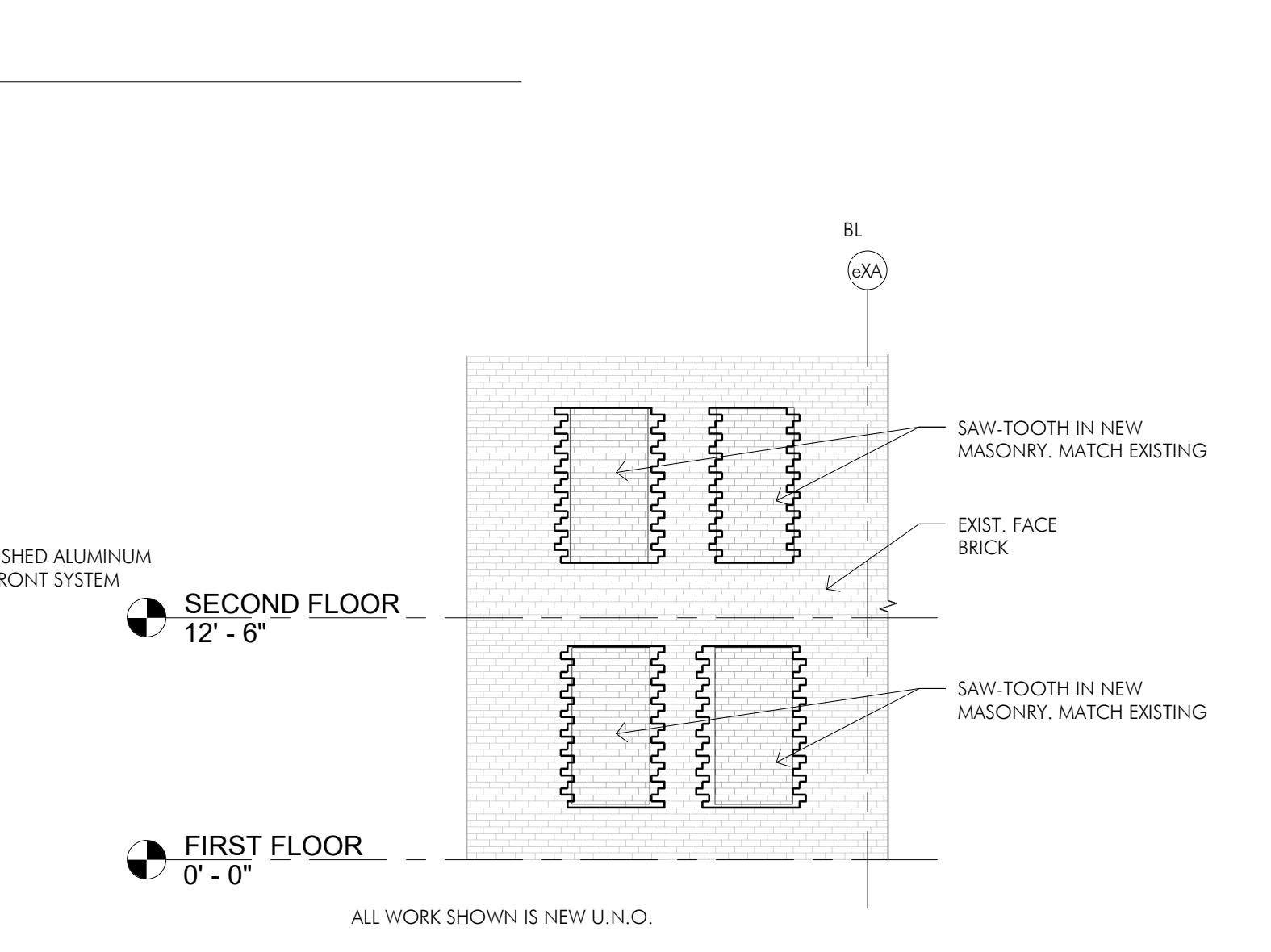
4 EAST ELEVATION - COURTYARD
1/8" = 1'-0"



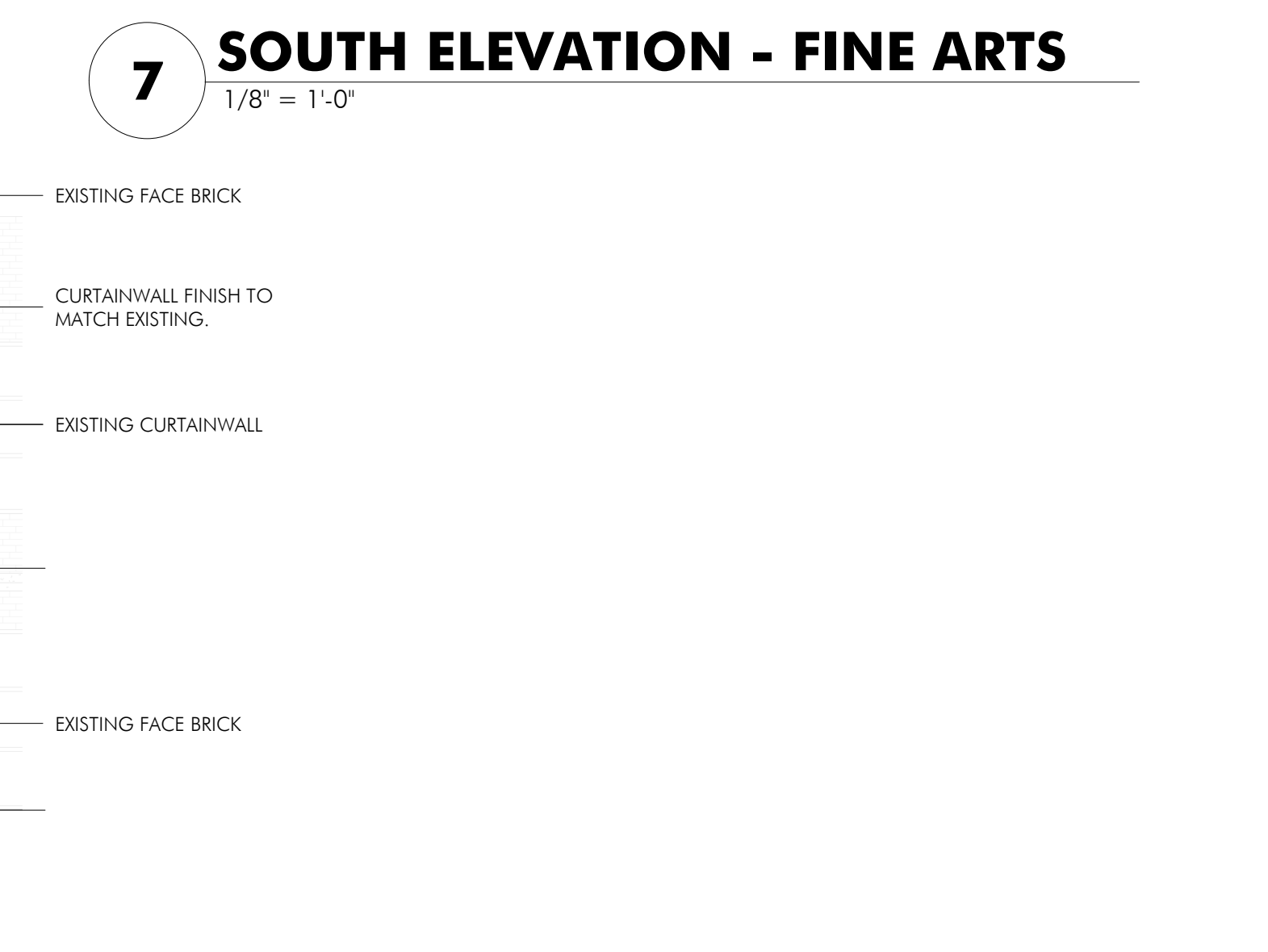
5 NORTH ELEVATION - COURTYARD
1/8" = 1'-0"



6 WEST ELEVATION - FINE ARTS
1/8" = 1'-0"



7 SOUTH ELEVATION - FINE ARTS
1/8" = 1'-0"



8 NORTH ELEVATION - FINE ARTS
1/8" = 1'-0"



9 EAST ELEVATION - EAST CTYD.
1/8" = 1'-0"



10 SOUTH ELEVATION
1/8" = 1'-0"



11 CTYD. WEST ELEVATION
1/8" = 1'-0"



ADDITIONS AND RENOVATIONS
BID PERIOD 3

at
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR CONSTRUCTION
THIS SET OF DOCUMENTS IS FOR CLARIFICATION OF THE CONTRACT DOCUMENTS. ANY CHANGES TO THE CONTRACT DOCUMENTS HAVE BEEN INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS FOR THE CONTRACTOR'S CONFORMANCE AND SPECIFICATION ITEMS.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED AND ALL APPLICABLE CODES AND REGULATIONS HAVE BEEN INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS. THESE DOCUMENTS DO NOT WAIVE REQUIREMENTS TO CONFORM WITH ORIGINALITY ISSUED BID AND CONTRACT DOCUMENTS.

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 South Grant Street
Hinsdale, Illinois
60521



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Chicago, IL 60661
P: 312.463.0551

Structural:
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1216 Tower Road
Schaumburg, IL 60173
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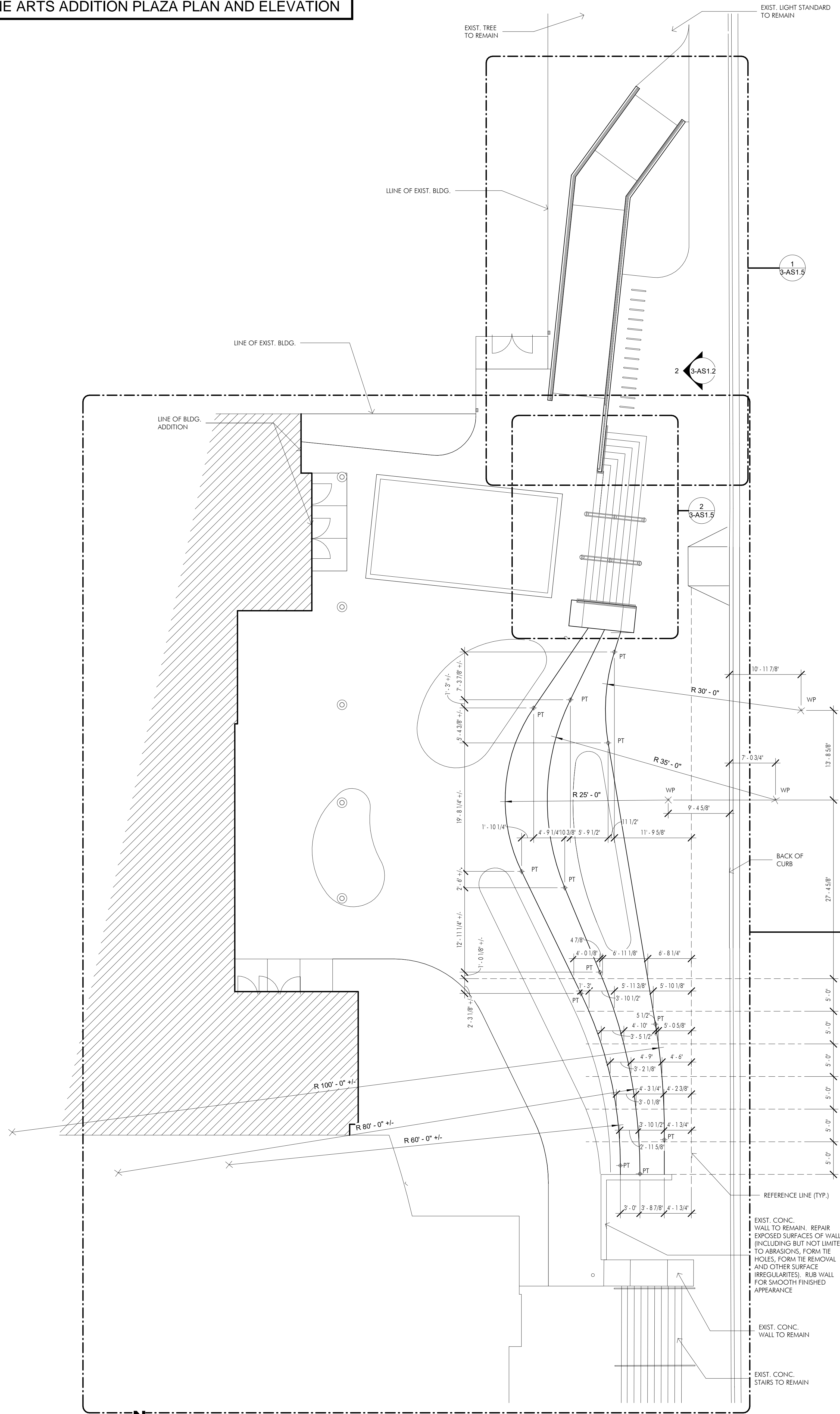
Mechanical/Electrical/Plumbing/Fire Protection:
Mechanical Services Associates
111 S. Virginia Street
Crystal Lake, IL 60014
P: 815.788.8901

REVISIONS		
No.	Date	By
1	10.15.2020	AD1
2	10.23.2020	AD2
3	10.28.2020	AD3
4	10.30.2020	AD4
5	12.09.2020	AD5
6	12.18.2020	IFC

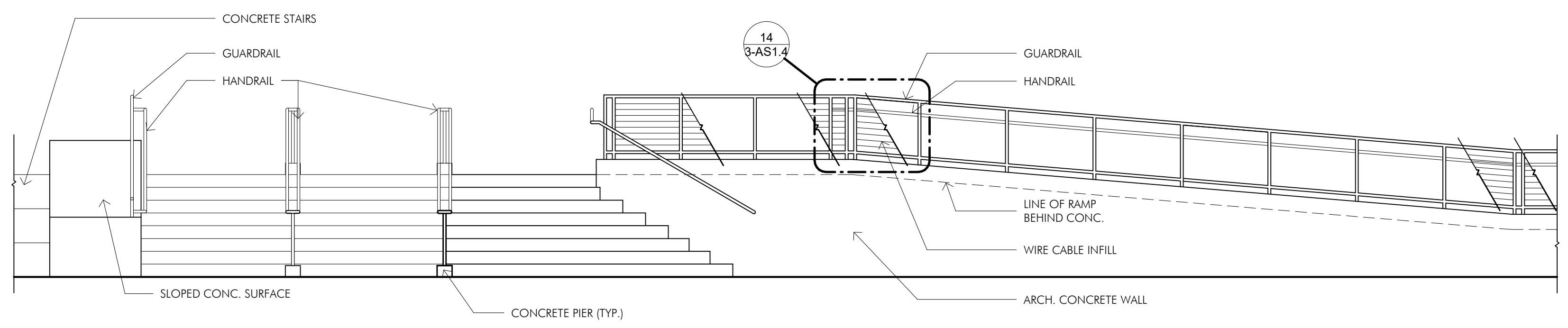
Project Number:
19101
Issue Date:
December 18, 2020
Drawn by:
Author
Sheet Title
EXTERIOR ELEVATIONS
Sheet Number

FINE ARTS ADDITION PLAZA PLAN AND ELEVATION

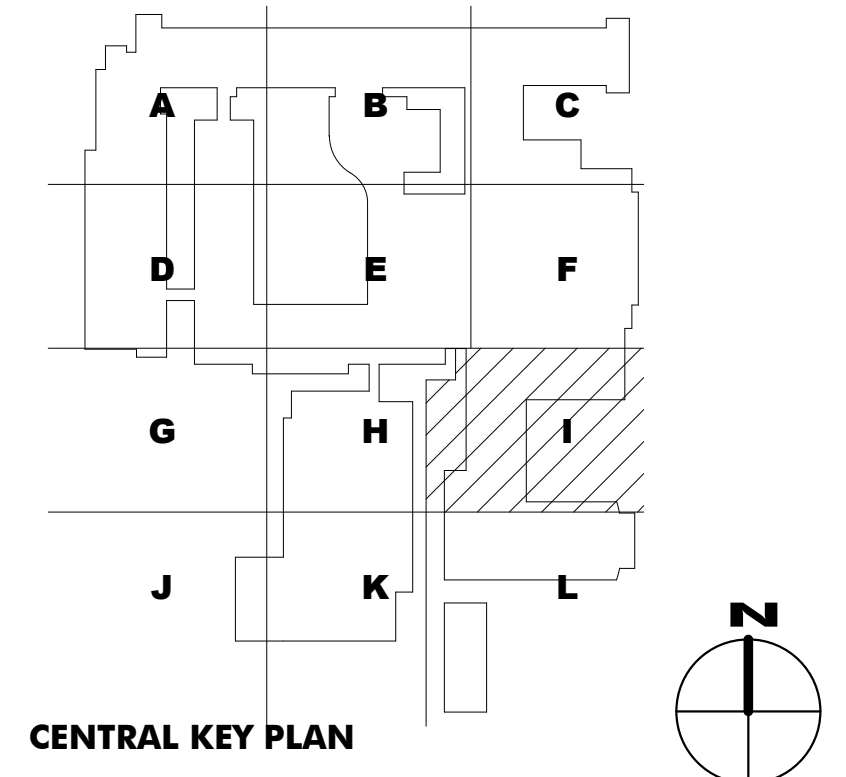
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1 STAIR & RAMP LAYOUT PLAN - SECTOR I
1/8" = 1'-0"



2 PARTIAL ELEVATION
1/4" = 1'-0"



CENTRAL KEY PLAN



ADDITIONS AND RENOVATIONS
BID PERIOD 3

for the
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86
5500 South Grant Street
Hinsdale, Illinois 60521



Civil:
Eriksson Engineering Associate, Ltd.
135 S. Jefferson Street
Suite 135
Chicago, IL 60661
P: 312.463.0551

Structural:
20/10 Engineering Group, LLC
1216 Tower Road
Schaumburg, IL 60173
P: 847.882.2010

Mechanical/Electrical/Plumbing/Fire Protection:
Mechanical Services Associates
111 S. Virginia Street
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P: 815.788.8901

REVISIONS		
No.	Date	By

Project Number:
19101

Issue Date:
October 12, 2020

Drawn by:
Author

Sheet Title:
ARCHITECTURAL SITE PLAN - PARTIAL

Sheet Number:

3-AS1.2

HINSDALE CENTRAL



FINE ARTS - EXTERIOR EAST VIEW



Hinsdale Township High School District 86

ADDITIONS & RENOVATIONS AT HINSDALE CENTRAL HIGH SCHOOL

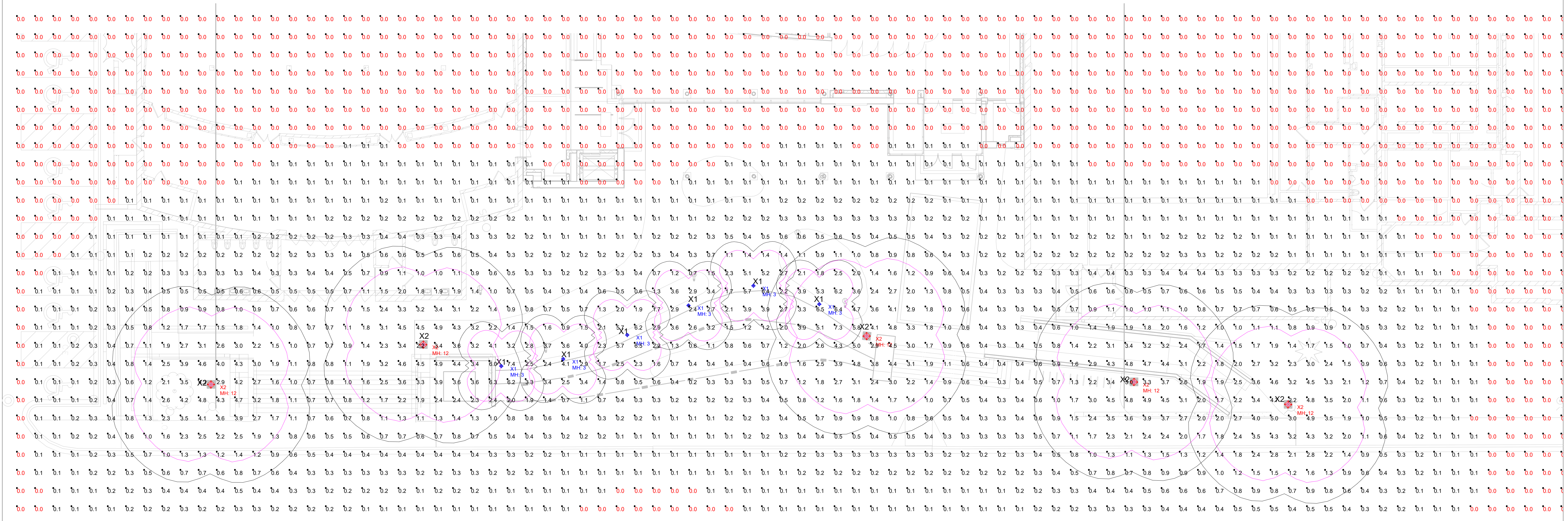
PROJECT NO. 19101

02/10/21

FINE ARTS EXTERIOR PERSPECTIVE



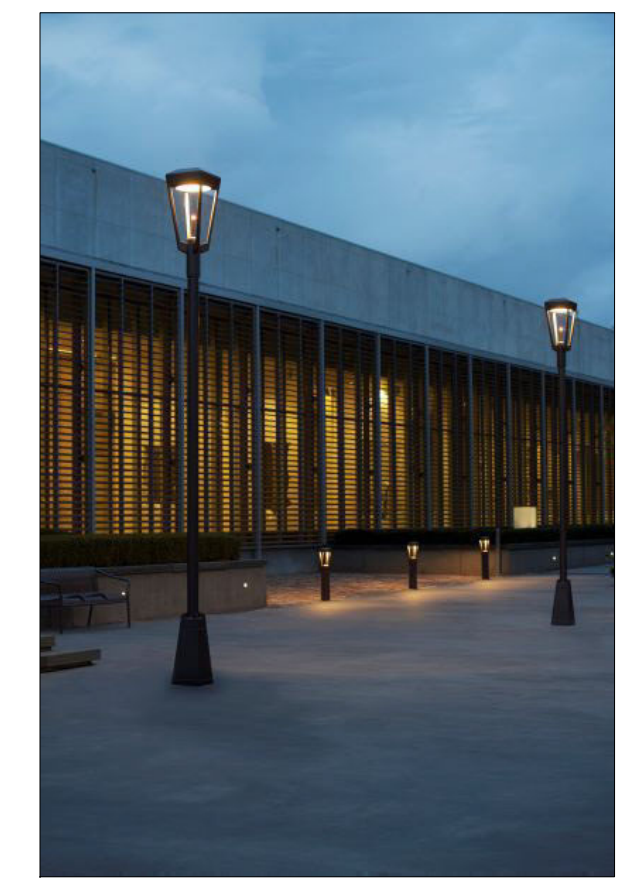
FINE ARTS PLAZA PHOTOMETRIC PLAN



Scale: 1 inch= 10 Ft.

Luminaire Schedule				Lum. Lumens	Lum. Watts	LLF	
Symbol	Qty	Label	Manufacturer	Description			
	5	X2	Landscape Forms	AP-212L5-100F-40K-UV1-20K-P2-NTW // AP-12-P2-4-CVR (ASHBERY, 12LED, TYPE 5, 1000mA, 4000K, 100-277VAC, 2000K, SINGLE TENON, NO TWIST LOCK // ASHBERY, 12FT, SINGLE TENON, 4IN DIA, COVER PLATE)	3920	82.45	0.950
	6	X1	Landscape Forms	AP-012L5-035F-40K-UV1-SM (ASHBERY, 12LED, TYPE 5, STANDARD OUTPUT, 4000K, 100-277VAC, SURFACE MOUNT)	841	14.63	0.950

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Total Calc Pts	Illuminance	Fc	0.50	7.4	0.0	N.A.	N.A.



CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND GOOD PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND SITE CONDITIONS.
PHOTOMETRIC DATA USED AS INPUT FOR THE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES. ACTUAL FIELD PERFORMANCE WILL DEPEND ON LAMP, DRIVER, ELECTRICAL, AND SITE CHARACTERISTICS. VALUES SHOWN IS INITIAL ILLUMINANCE MEASURED AT GRADE IN FOOTCANDLES.

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Kalamazoo, MI 49048
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HS District 86-Hinsdale Central Renovations

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Completed By: KG
Checked By: CG
Date:12/22/2020
AGI32® Version 19.15.0

COMMENTS:
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Filename: ILP720 - HS District 86-Hinsdale Central Renovations_RevA.AGI
 Revision A
 Page 2 of 3



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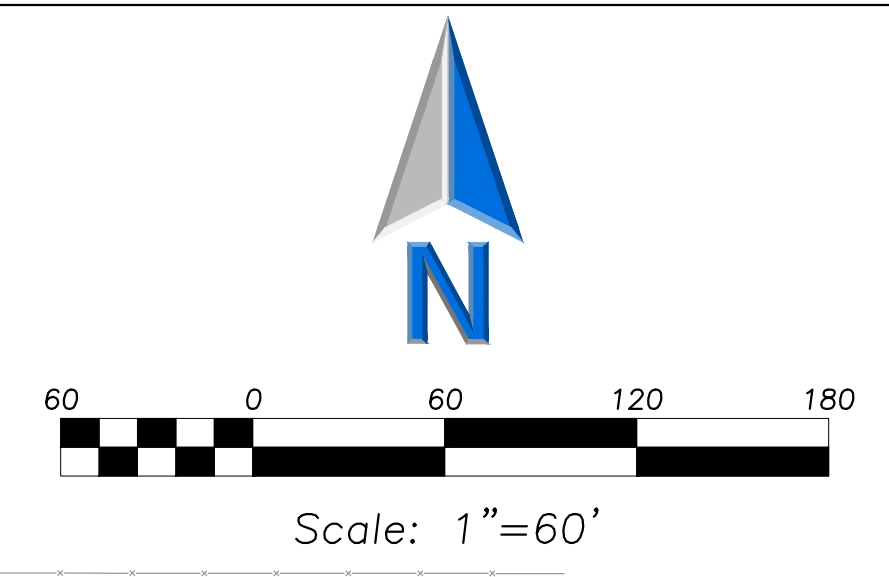
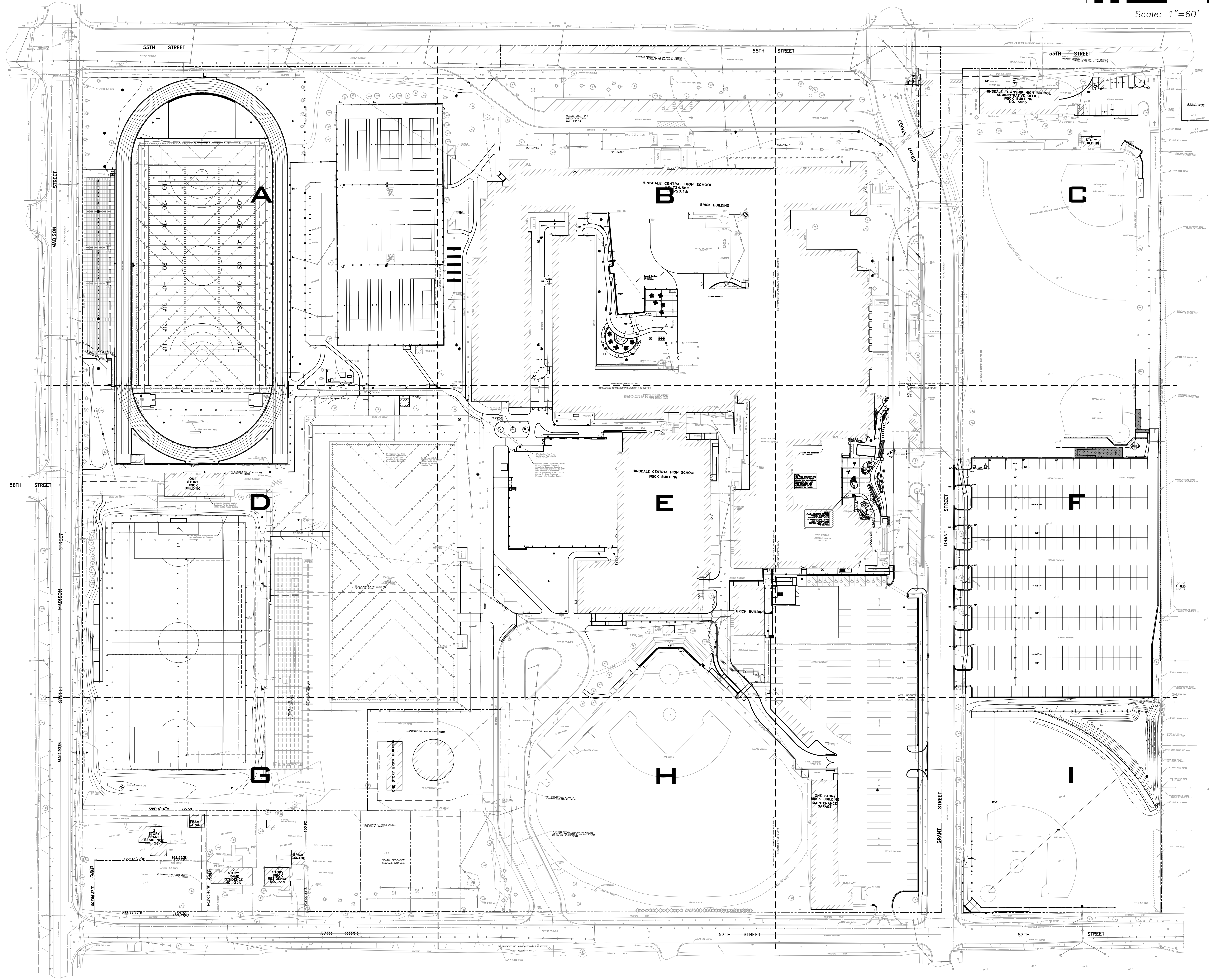
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 Revision A
 Page 3 of 3

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 LICENSE NO. 184-003220
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 landscape architects
 2050 south finley road, suite 40
 lombard, illinois 60148
 p: 630.495.1900
 www.arconassoc.com

ADDITIONS AND RENOVATIONS
 BID PERIOD 3

at
Hinsdale Central High School
 55th and Grant Streets
 Hinsdale, Illinois 60521

ISSUED FOR CONSTRUCTION
 THIS SET OF DOCUMENTS IS FOR CLARIFICATION OF THE CONSTRUCTION OF THE PROJECT. THE DOCUMENTS HAVE BEEN INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS FOR THE CONTRACTOR'S CONVENIENCE AND SPECIFICATION ITEMS.
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for the
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REVISIONS		
No.	Date	By
1	10.15.2020	AD1
2	10.22.2020	AD2
3	10.28.2020	AD3
4	10.30.2020	AD4
5	12.09.2020	AD5
6	12.18.2020	IFC

Project Number:
19101

Issue Date:
December 18, 2020

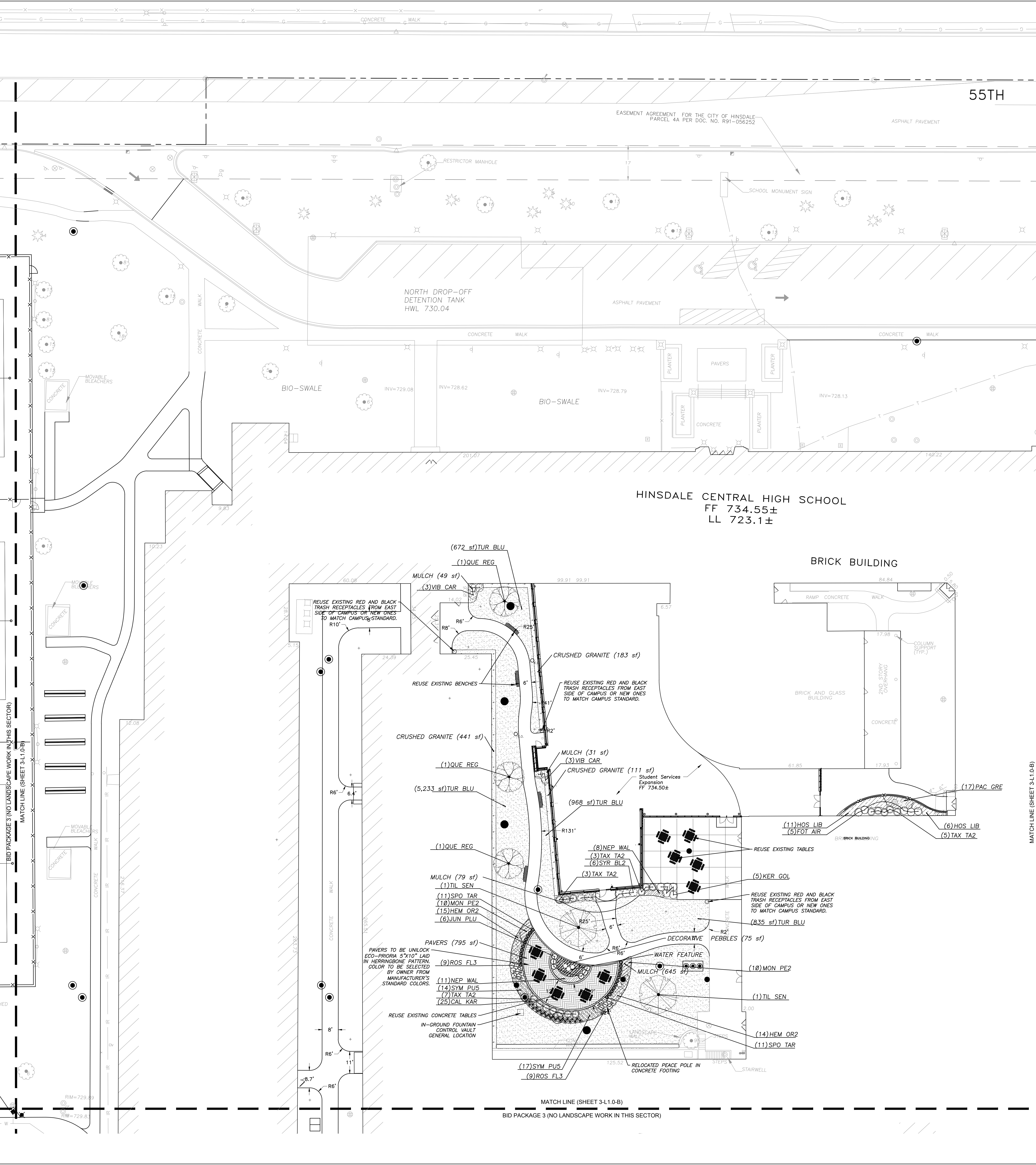
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Sheet Title
OVERALL LANDSCAPE PLAN

Sheet Number

3-L1.0-0
 HINSDALE CENTRAL

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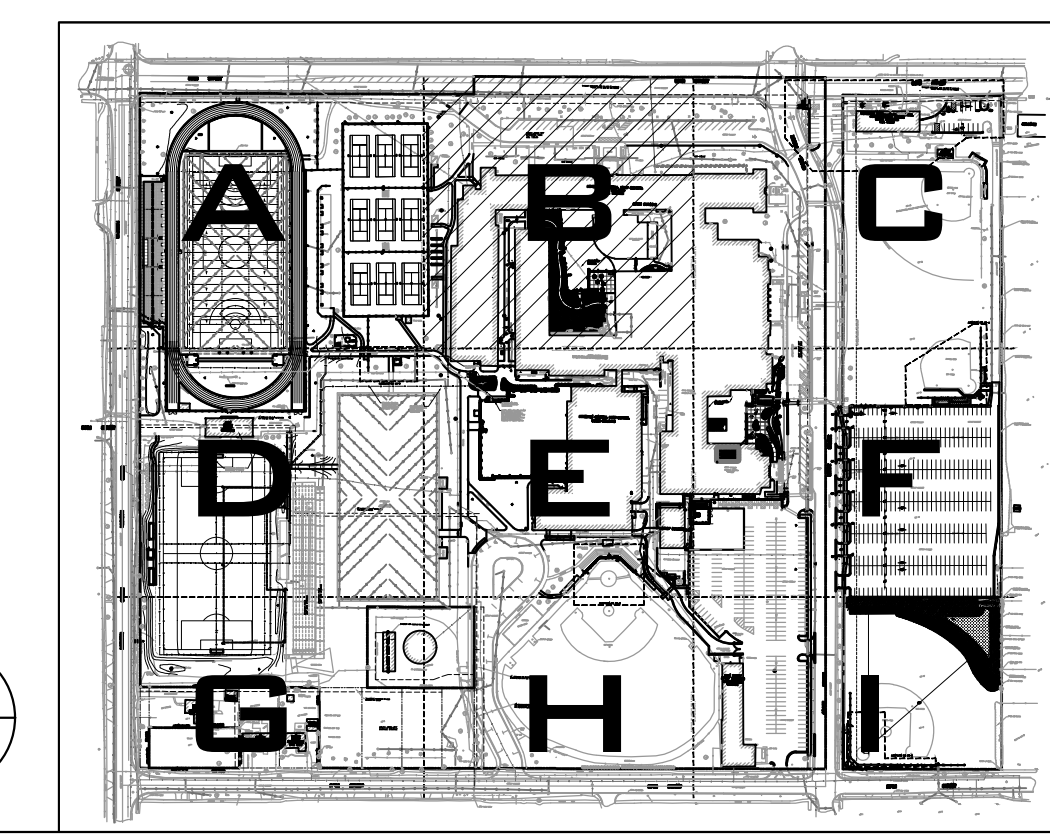
PLANT SCHEDULE (Sheet B Only)

CANOPY TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
QUE REG	QUERCUS ROBUR 'REGAL PRINCE' / REGAL PRINCE ENGLISH OAK	B & B	4" CAL.	3
TIL SEN	TILIA AMERICANA 'SENTRY' / AMERICAN LINDEN	B & B	4" CAL.	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
FOT AIR	FOTHERGILLA GARDENII 'MT. AIRY' / DWARF WITCHALDER	B & B	24" HT.	5
KER GOL	KERRIA JAPONICA 'GOLDEN GUINEA' / GOLDEN JAPANESE KERRIA	CONT.	5 GAL.	5
ROS FL3	ROSA X 'FLOWER CARPET CORAL' / ROSE	B & B	24" SPREAD	18
SYR BL2	SYRINGA X 'BLOOMERANG' / LILAC	B & B	30" HT.	6
VIB CAR	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM	5 GAL.		6
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
JUN PLU	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA' / CREEPING JUNIPER	B & B	24" SPREAD	6
TAX TA2	TAXUS X MEDIA 'TAUNTONII' / TAUNTON YEW	B & B	24" HT.	18
GRASSES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	25
SPO TAR	SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSIDE	CONT.	#1	22
GROUND COVERS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	29
HOS LIB	HOSTA X 'LIBERTY' / PLANTAIN LILY	CONT.	#1	17
MON PE2	MONARDA DIDYMA 'PETITE DELIGHT' / PETITE DELIGHT BEE BALM	CONT.	QUART	20
NEP WAL	NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	19
PAC GRE	PACHYSANDRA TERMINALIS 'GREEN CARPET' / JAPANESE SPURGE	CONT.	QUART	17
SYM PUS	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME' / NEW ENGLAND ASTER	CONT.	#1	31
TURF GRASS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
TUR BLU	TURF SOD BLUEGRASS / KENTUCKY BLUEGRASS	ROLLED		7,708 SF

- ### LANDSCAPE NOTES:
- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
 - ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT FOR DEAD OR BROKEN LIMBS.
 - ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
 - ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
 - ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
 - THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
 - ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
 - ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
 - SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
 - ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
 - ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
 - ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
 - ALL PARKWAYS SHALL HAVE LAWN ESTABLISHED WITH SEED A GROUNDCOVER, UNLESS OTHERWISE NOTED.
 - ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
 - THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
 - CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
 - ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
 - LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
 - ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
 - LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
 - REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
 - PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.
 - IRRIGATION/LANDSCAPE CONTRACTOR SHALL DESIGN AND BUILD A IRRIGATION SYSTEM FOR LANDSCAPE BEDS AS INDICATED ON THE LANDSCAPE PLANS, INCLUDING HARDSCAPE PLANTERS. THE HARDSCAPE PLANTERS SHALL BE DESIGNED WITH A DRIP SYSTEM AND THE BALANCE OF THE SITE DESIGNED WITH LOW EMITTING SPRAYS AND ROTORS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SHOP DRAWING. THESE PLANS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO ORDER/INSTALLATION.

SITE MATERIALS SCHEDULE (Sheet B Only)

	PAVERS	795 SF
	CRUSHED GRANITE	735 SF
	MULCH	804 SF
	DECORATIVE PEBBLES	75 SF



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PROFESSIONAL DESIGN FIRM
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EXPIRES: 04/30/2021

ADDITIONS AND RENOVATIONS BID PERIOD 3

at
**Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521**

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for the
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Hinsdale Township
High School District 86
5500 South Grant Street
Hinsdale, Illinois
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P: 815.788.8901

REVISIONS		
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4	10.30.2020	AD4
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6	12.18.2020	IFC

Project Number:
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Issue Date:
December 18, 2020

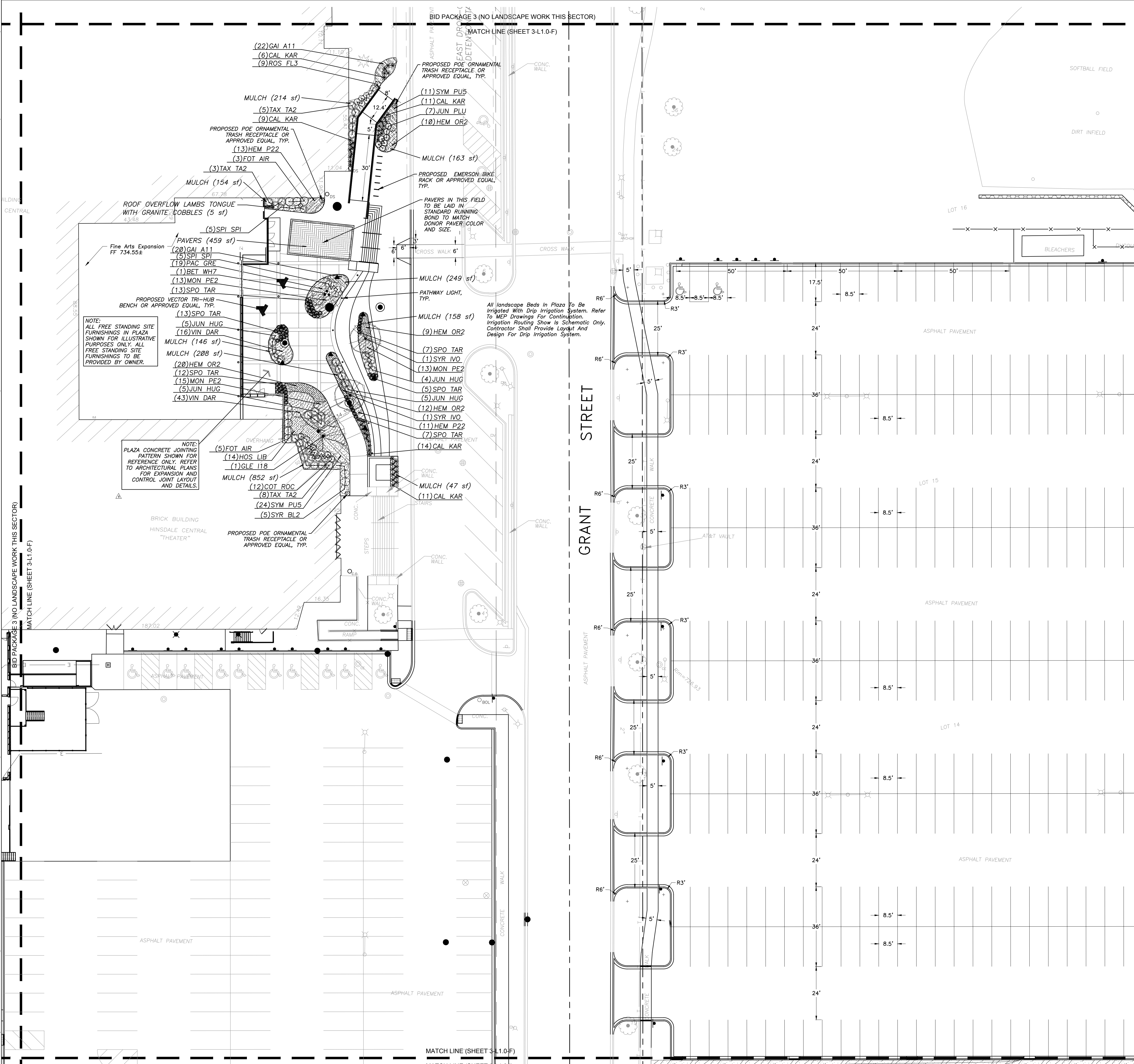
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Sheet Title
LANDSCAPE PLAN

Sheet Number

3-L1.0-B HINSDALE CENTRAL

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PLANT SCHEDULE (Sheet F Only)

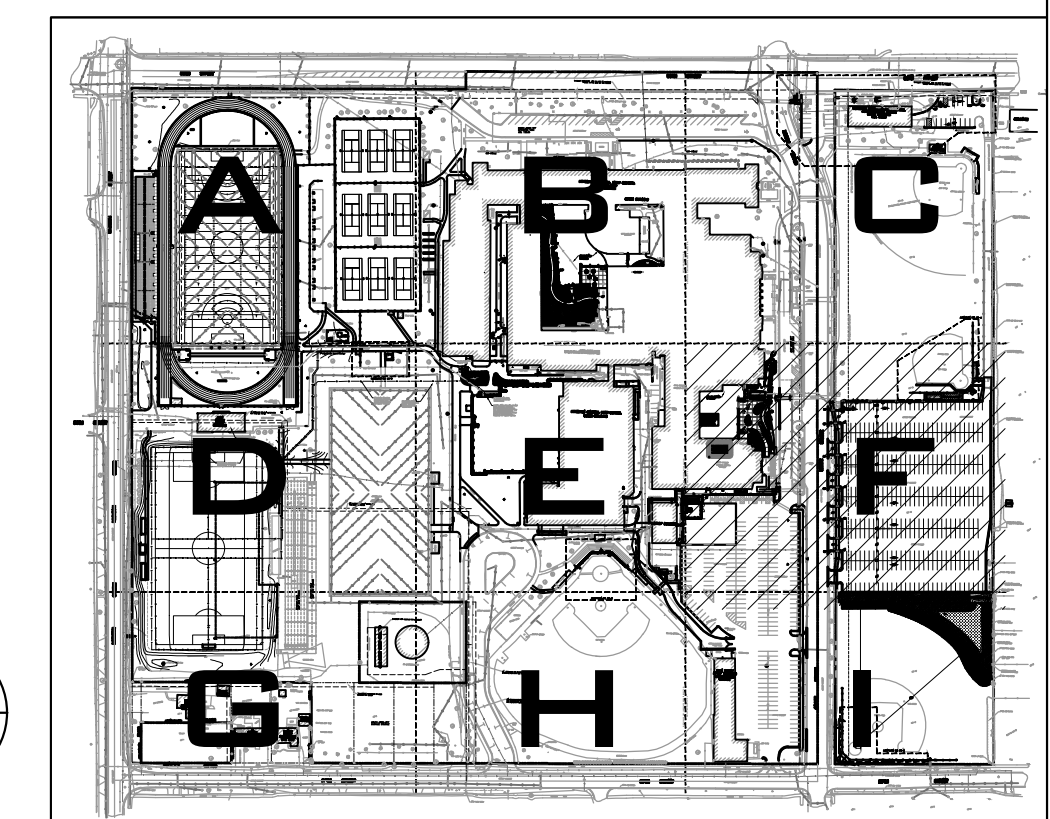
CATEGORY	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CANOPY TREES	<i>GLE 118</i>	<i>GLE 118</i>	3" CAL.	1
UNDERSTORY TREES	<i>BET WH7</i>	<i>B & B</i>	12" CLUMP	1
	<i>SYR IVO</i>	<i>B & B</i>	2.5" CAL.	2
DECIDUOUS SHRUBS	<i>COT ROC</i>	<i>B & B</i>	24" SPREAD	12
	<i>FOT AIR</i>	<i>B & B</i>	24" HT.	8
	<i>ROS FL3</i>	<i>B & B</i>	24" SPREAD	9
	<i>SPI SPI</i>	<i>B & B</i>	24" HT.	10
	<i>SYR BL2</i>	<i>B & B</i>	30" HT.	5
EVERGREEN SHRUBS	<i>JUN HUG</i>	<i>B & B</i>	24" SPREAD	19
	<i>JUN PLU</i>	<i>B & B</i>	24" SPREAD	7
	<i>TAX TA2</i>	<i>B & B</i>	24" HT.	16
GRASSES	<i>CAL KAR</i>	<i>CONT.</i>	#1	51
	<i>SPO TAR</i>	<i>CONT.</i>	#1	57
GROUND COVERS	<i>GA A11</i>	<i>CONT.</i>	#1	42
	<i>HEM P22</i>	<i>CONT.</i>	#1	24
	<i>HEM OR2</i>	<i>CONT.</i>	#1	51
	<i>HOS LIB</i>	<i>CONT.</i>	#1	14
	<i>MON PE2</i>	<i>CONT.</i>	QUART	41
	<i>PAC ORE</i>	<i>CONT.</i>	QUART	19
	<i>SYM PUS</i>	<i>CONT.</i>	#1	35
	<i>VIN DAR</i>	<i>CONT.</i>	QUART	59

LANDSCAPE NOTES:

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- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
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- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
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- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PLANTS TO BE PLANTED SO THAT ROOT FLARE IS AT THE GRADE OF THE AREA WHERE PLANTED. NO PRUNING TO BE DONE AT THE TIME OF INSTALLATION EXCEPT TO REMOVE DEAD OR BROKEN LIMBS.
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SITE MATERIALS SCHEDULE (Sheet F Only)

	PAVERS	459 SF
	MULCH	2,257 SF
	GRANITE COBBLES	5 SF



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roof & masonry consultants
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FAX: (847) 523-4888
MAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

ADDITIONS AND RENOVATIONS
BID PERIOD 3

Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR CONSTRUCTION
THIS SET OF DOCUMENTS FOR CLARIFICATION OF THE CONTRACT DOCUMENTS HAS BEEN INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS FOR THE CONTRACTOR'S CONVENIENCE AND SPECIFICATION ITEMS.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ADDENDA ITEMS HAVE BEEN INCORPORATED TO CONFORM WITH ORIGINAL ISSUED BID AND CONTRACT DOCUMENTS.

for the
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High School District 86
5500 South Grant Street
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60521

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P: 847.882.2010

Mechanical/Electrical/Plumbing/Fire Protection:
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4	10.30.2020	AD4
5	12.09.2020	AD5
6	12.18.2020	IFC

Project Number:
19101

Issue Date:
December 18, 2020

Drawn by:
sso

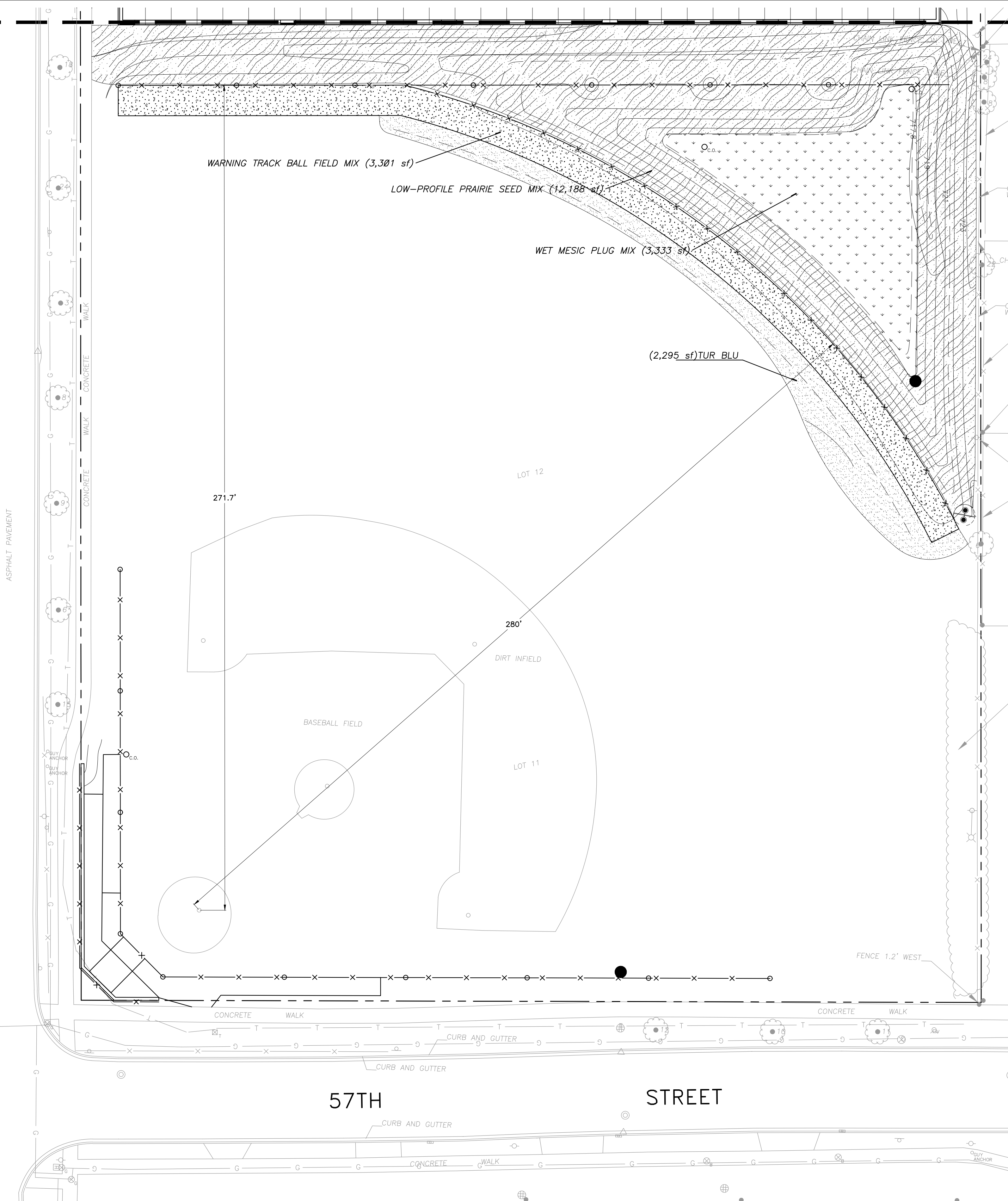
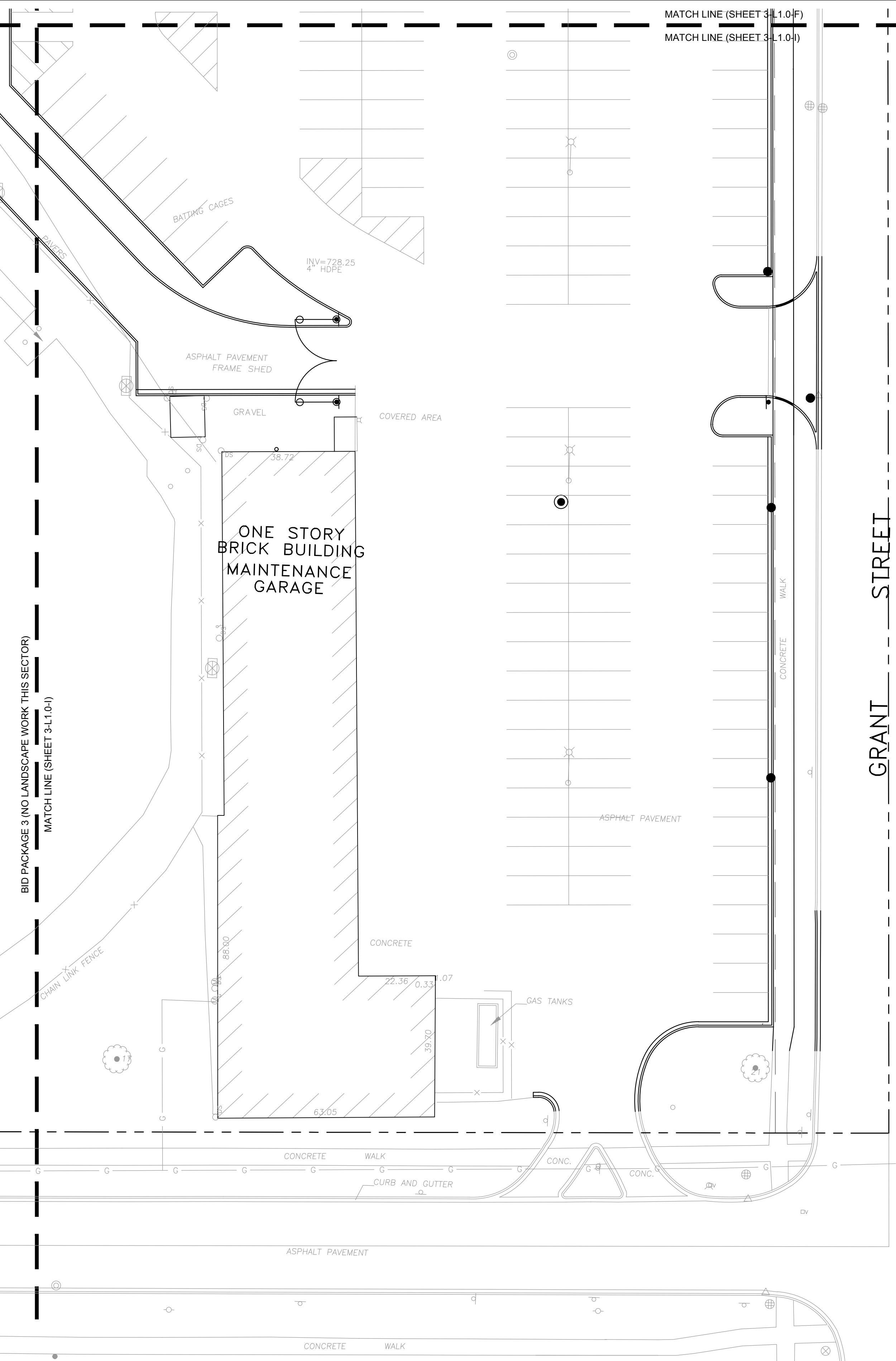
Sheet Title

LANDSCAPE PLAN

Sheet Number

3-L1.0-F
HINSDALE CENTRAL

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WET MESIC PLUG MIX

Botanical Name	Common Name	Quantity	Site	Spacing
FORBS 60%				
<i>Alopecurus pratensis</i>	Sweet Flag	64	2.5' plug	18" o.c.
<i>Alisma spp.</i>	Water Plantain (Various Mix)	32	2.5' plug	18" o.c.
<i>Asclepias incarnata</i>	Swamp Milkweed	64	2.5' plug	18" o.c.
<i>Cephalanthus occidentalis</i>	Butterbush	64	2.5' plug	18" o.c.
<i>Decodon verticillatus</i>	Swamp Loosestrife	32	2.5' plug	18" o.c.
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	32	2.5' plug	18" o.c.
<i>Iris virginica</i>	Blue Flag	64	2.5' plug	18" o.c.
<i>Lobelia cardinalis</i>	Cardinal Flower	64	2.5' plug	18" o.c.
<i>Lobelia spicata</i>	Great Blue Lobelia	32	2.5' plug	18" o.c.
<i>Lycopus americanus</i>	Common Water Honeysuckle	32	2.5' plug	18" o.c.
<i>Monarda fistulosa</i>	Monkey Flower	32	2.5' plug	18" o.c.
<i>Peltandra virginica</i>	Arrow Arum	64	2.5' plug	18" o.c.
<i>Pentstemon spodiopogon</i>	Black Sporetop	64	2.5' plug	18" o.c.
<i>Polypogon spp.</i>	Perkweed (Various Mix)	64	2.5' plug	18" o.c.
<i>Potentilla cordata</i>	Pickeral Weed	32	2.5' plug	18" o.c.
<i>Sagittaria arifolia</i>	Common Arrowhead	64	2.5' plug	18" o.c.
<i>Spergularium eurycarpum</i>	Common Bur Reed	32	2.5' plug	18" o.c.
<i>Verberna hastata</i>	Blue Vervain	64	2.5' plug	18" o.c.
		SUBTOTAL	896	
GRASSES OR GRASS-LIKE PERENNIALS 40%				
<i>Carex comosa</i>	Bristly Sedge	64	2.5' plug	18" o.c.
<i>Carex laxa</i>	Common Lake Sedge	32	2.5' plug	18" o.c.
<i>Carex lurida</i>	Butterbush Sedge	64	2.5' plug	18" o.c.
<i>Carex stricta</i>	Common Tussock Sedge	64	2.5' plug	18" o.c.
<i>Carex vulpinoidea</i>	Brown Fox Sedge	64	2.5' plug	18" o.c.
<i>Eleocharis palustris</i>	Great Spillie Rush	32	2.5' plug	18" o.c.
<i>Juncus effusus</i>	Common Rush	64	2.5' plug	18" o.c.
<i>Iuena ornamentalis</i>	Rice Cut Grass	32	2.5' plug	18" o.c.
<i>Siripus acutus</i>	Hard-stemmed Bulrush	64	2.5' plug	18" o.c.
<i>Siripus fluviatilis</i>	River Bulrush	32	2.5' plug	18" o.c.
<i>Siripus aquatilis</i>	Charmaker's Rush	64	2.5' plug	18" o.c.
<i>Siripus vallis</i>	Great Bulrush	32	2.5' plug	18" o.c.
		SUBTOTAL	608	
		TOTAL PLUGS	1504	

LOW PROFILE PRAIRIE SEED MIX

Botanical Name	Common Name	Quantity	Site	Spacing
FORBS 60%				
<i>Alopecurus pratensis</i>	Sweet Flag	64	2.5' plug	18" o.c.
<i>Alisma spp.</i>	Water Plantain (Various Mix)	32	2.5' plug	18" o.c.
<i>Asclepias incarnata</i>	Swamp Milkweed	64	2.5' plug	18" o.c.
<i>Cephalanthus occidentalis</i>	Butterbush	64	2.5' plug	18" o.c.
<i>Decodon verticillatus</i>	Swamp Loosestrife	32	2.5' plug	18" o.c.
<i>Eupatorium maculatum</i>	Spotted Joe-Pye Weed	32	2.5' plug	18" o.c.
<i>Iris virginica</i>	Blue Flag	64	2.5' plug	18" o.c.
<i>Lobelia cardinalis</i>	Cardinal Flower	64	2.5' plug	18" o.c.
<i>Lobelia spicata</i>	Great Blue Lobelia	32	2.5' plug	18" o.c.
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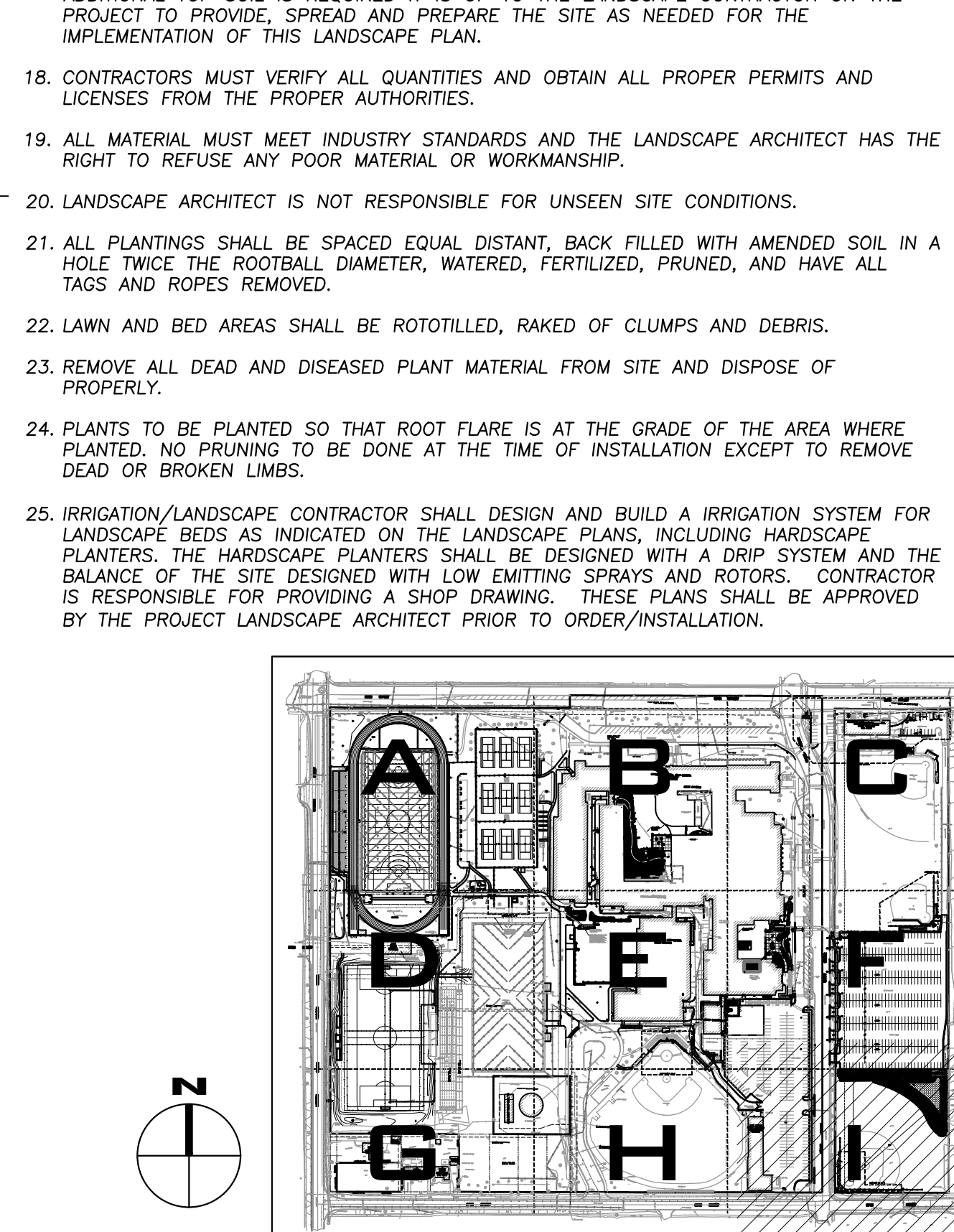
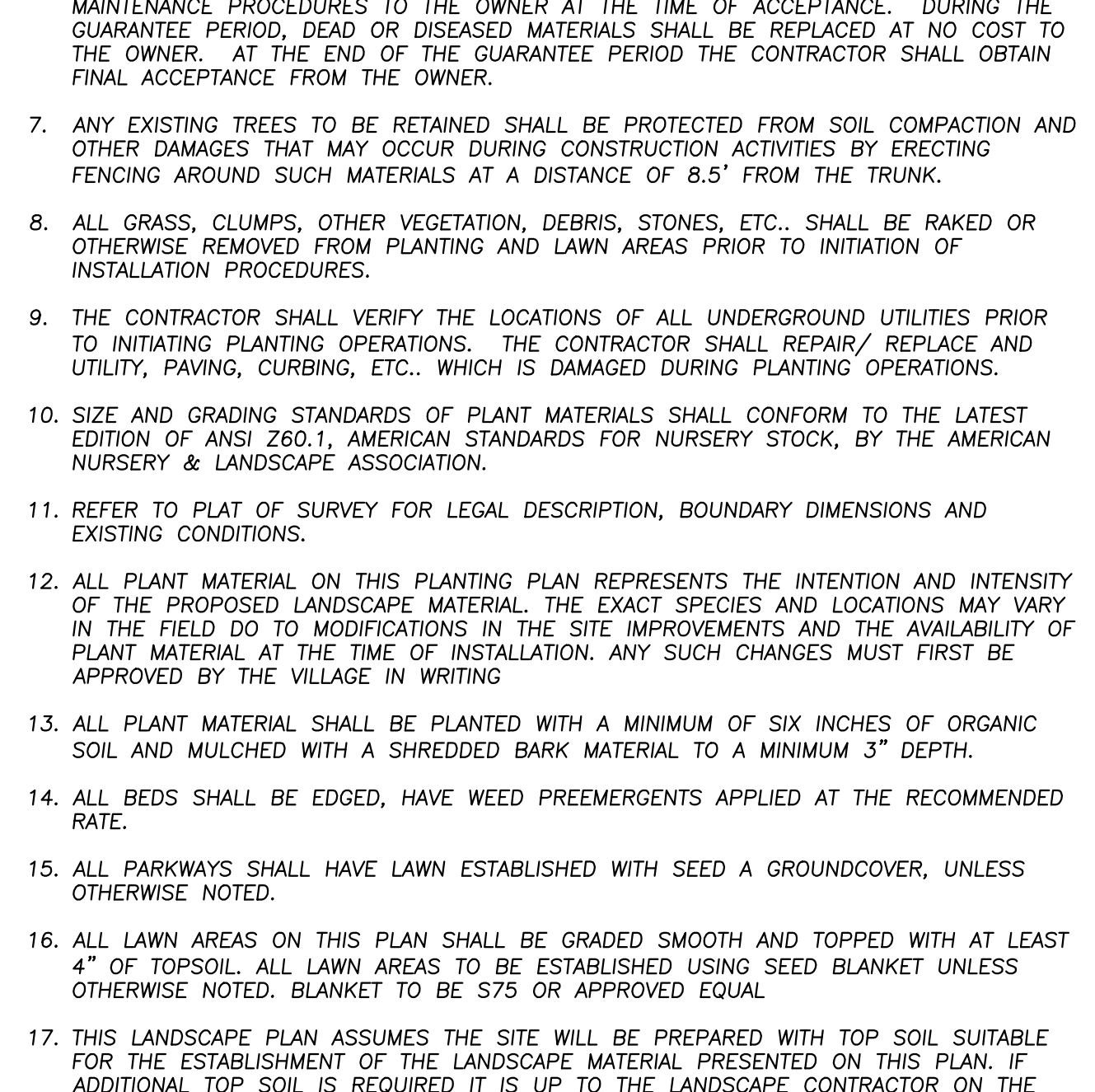
NATIVE PLANT SCHEDULE (Sheet I Only)

Plant Name	Quantity
WET MESIC PLUG MIX	3,333 SF
LOW-PROFILE PRAIRIE SEED MIX	12,292 SF
WARNING TRACK BALL FIELD MIX	3,301 SF
TOTAL	19,926 SF

ERIKSSON ENGINEERING ASSOCIATES, LTD.
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 GRAYSLAKE, ILLINOIS 60146
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 FAX: (847) 523-4804
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003220
 EXPIRES: 04/30/2021

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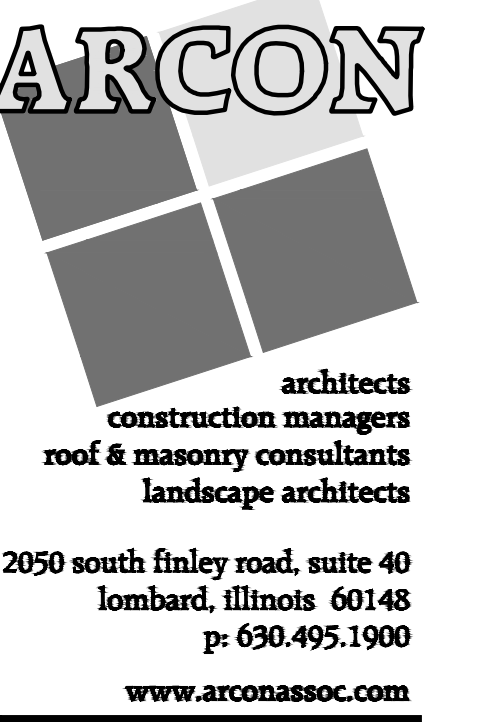
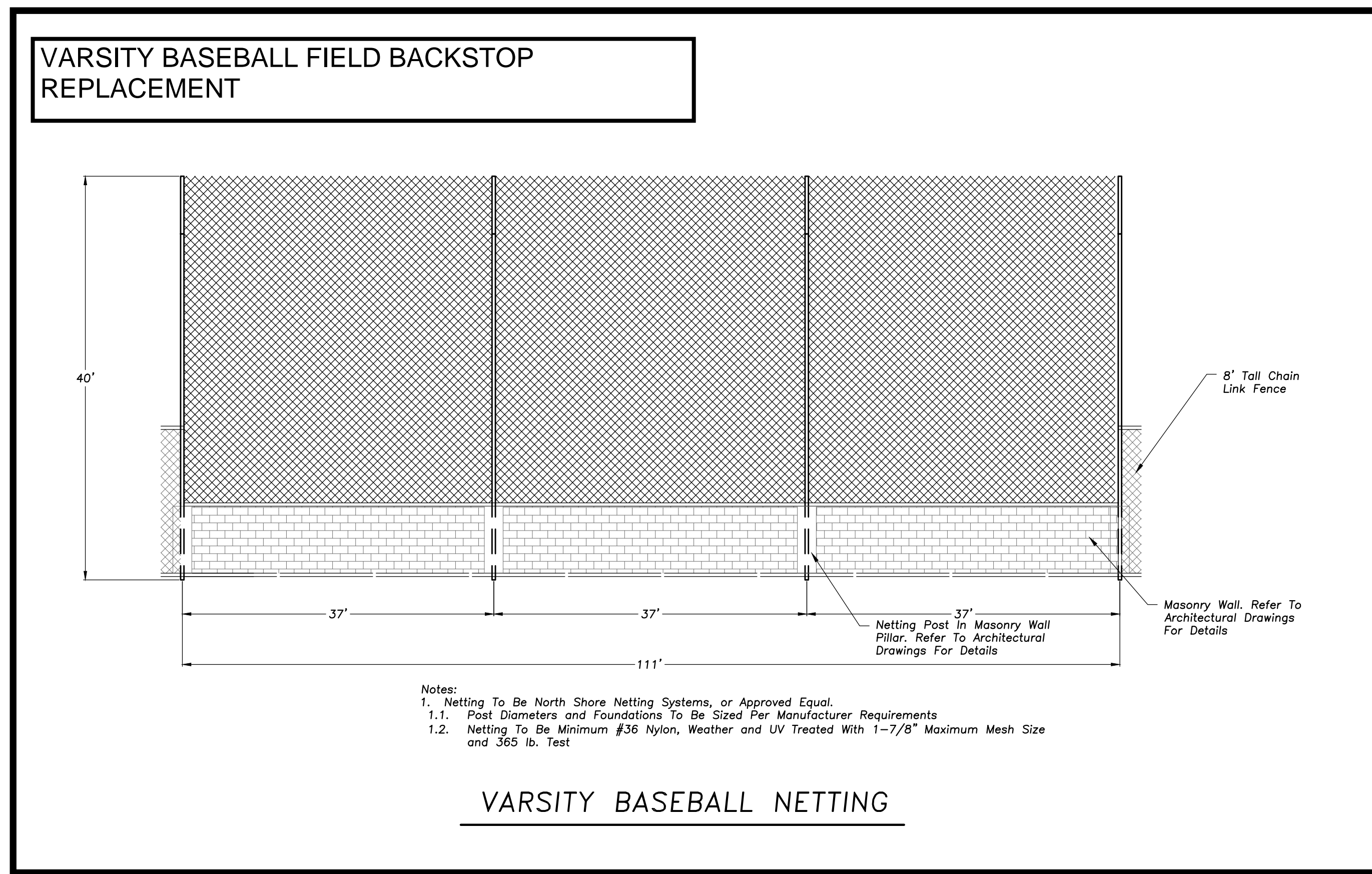
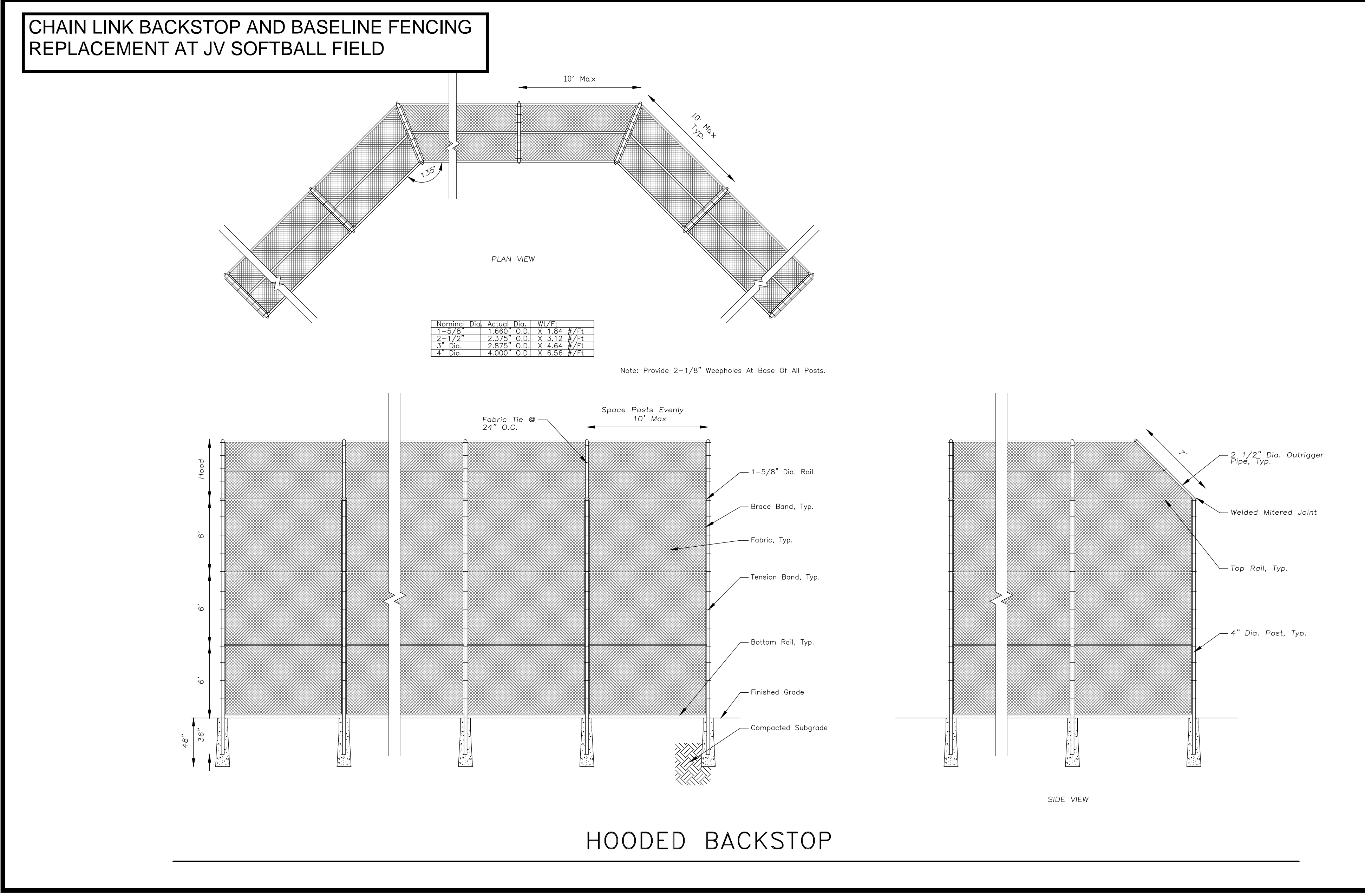
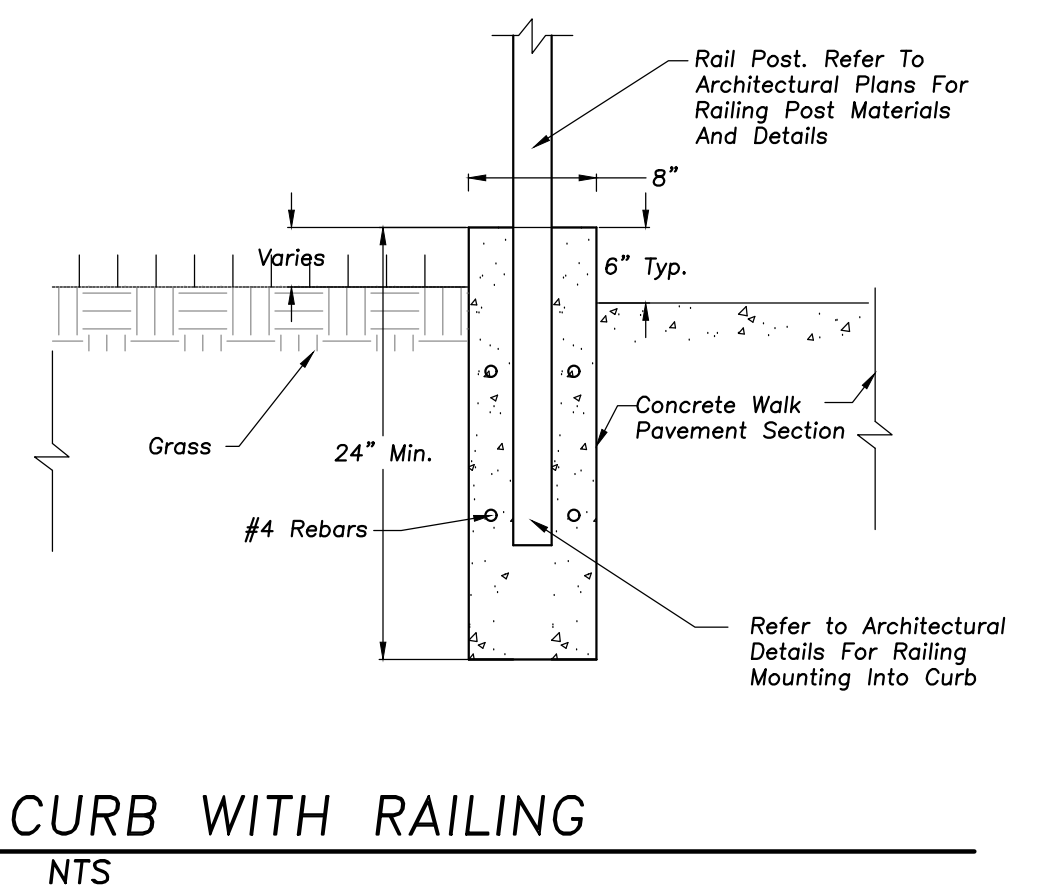
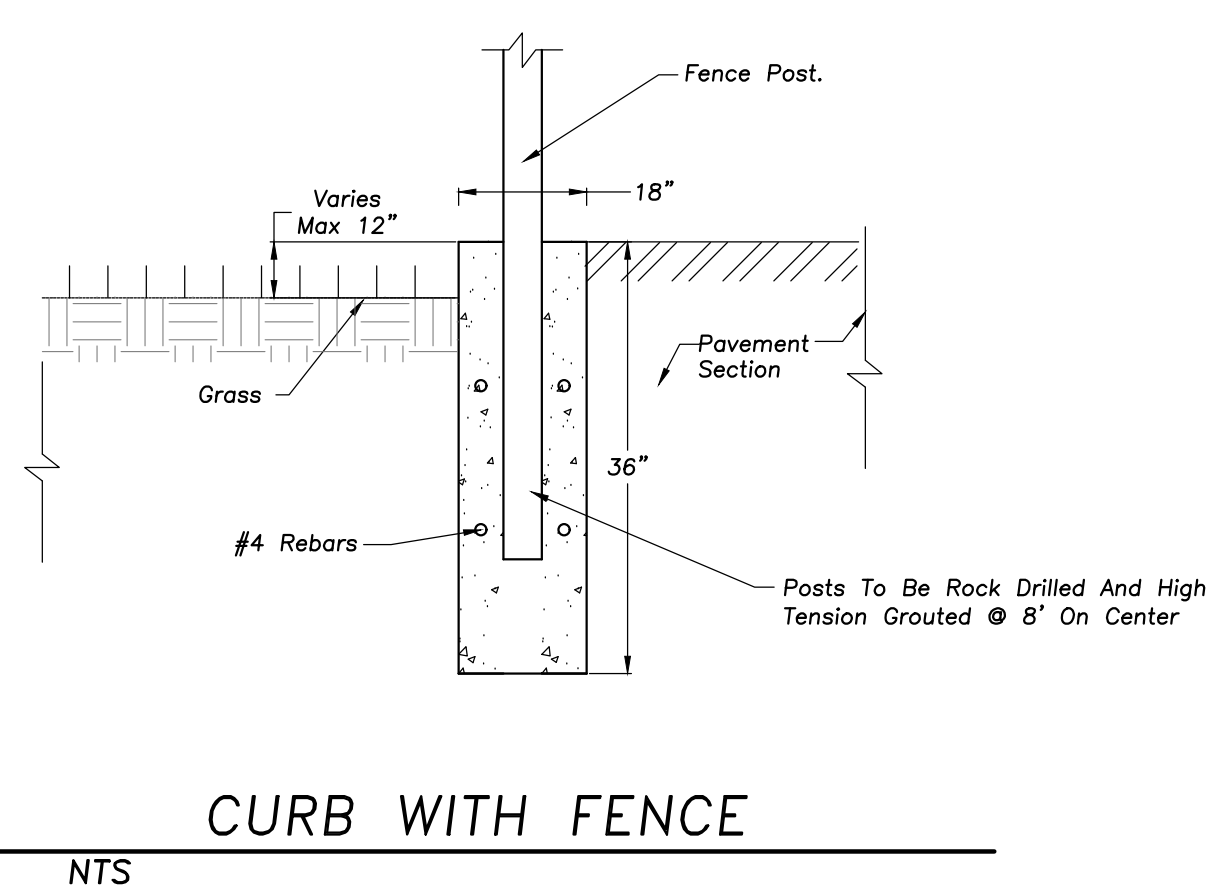
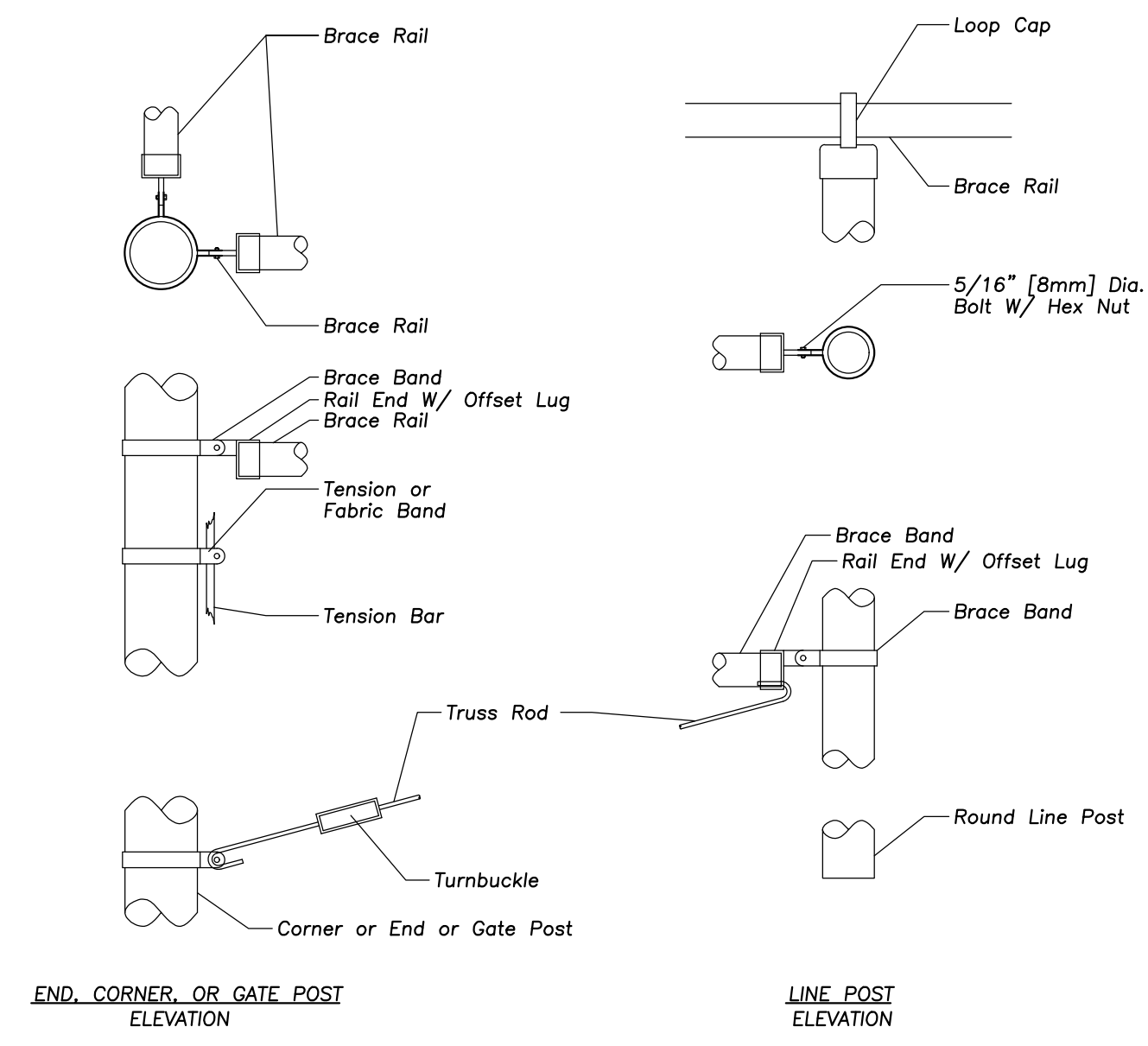
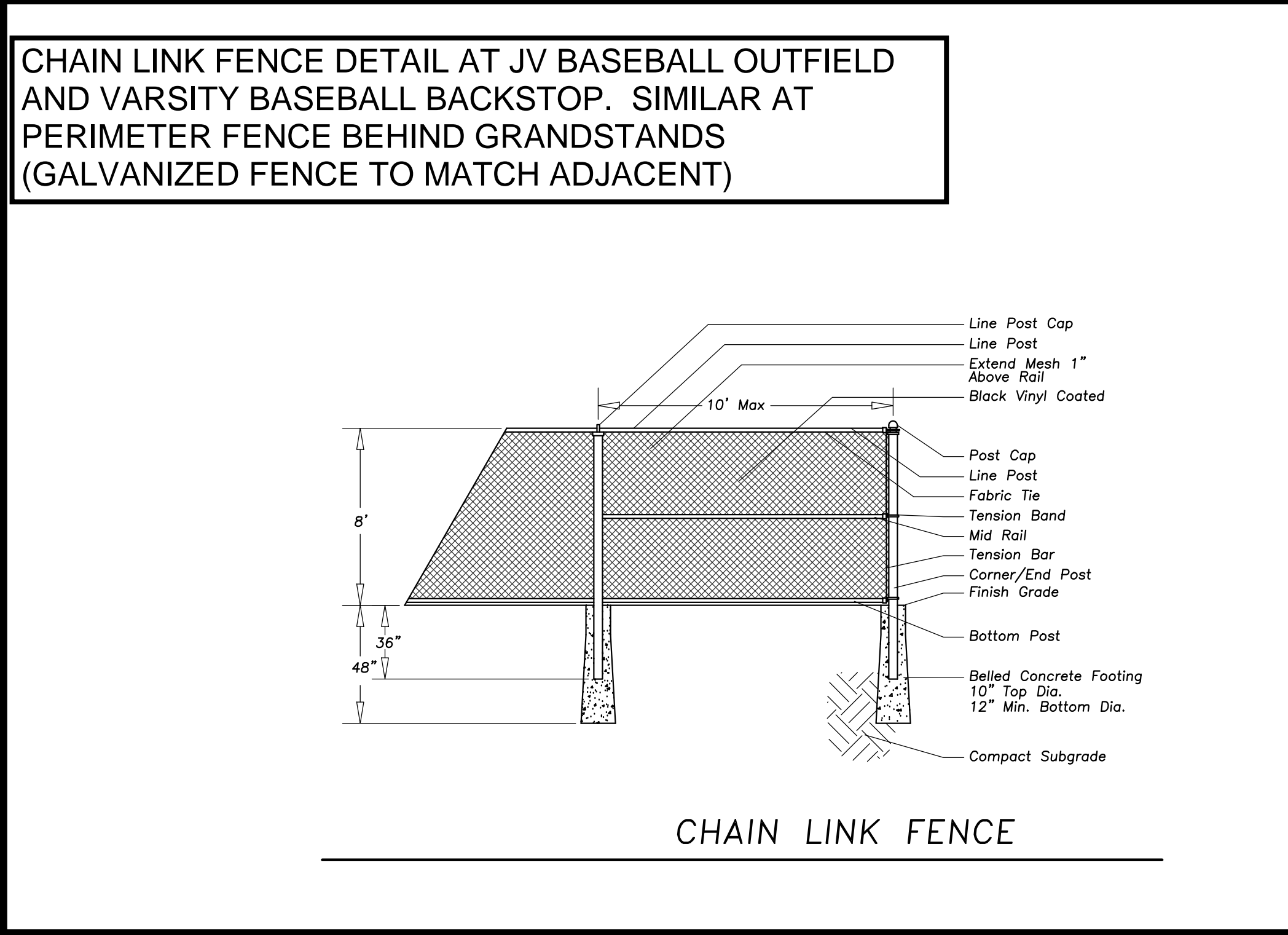
Mechanical/Electrical/Plumbing/Fire Protection:
Mechanical Services Associates
111 S. Virginia Street
Crystal Lake, IL 60014
P: 815.788.8901

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6	12.18.2020	IFC

Project Number:
19101
Issue Date:
December 18, 2020
Drawn by:
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Sheet Title
LANDSCAPE PLAN
Sheet Number
3-L1.0-I
 HINSDALE CENTRAL

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ADDITIONS AND RENOVATIONS
BID PACKAGE 3

at
Hinsdale Central High School
55th and Grant Streets
Hinsdale, Illinois 60521

ISSUED FOR BID

for the
BOARD of EDUCATION
Hinsdale Township
High School District 86

5500 South Grant Street
Hinsdale, Illinois 60521



Civil:
Eriksson Engineering Associate, Ltd.
135 S. Jefferson Street
Suite 135
Chicago, IL 60661
P: 312.463.0551

Structural:
20/10 Engineering Group, LLC
1216 Tower Road
Schaumburg, IL 60173
P: 847.882.2010

Mechanical/Electrical/Plumbing/Fire Protection:
Mechanical Services Associates
111 S. Virginia Street
Crystal Lake, IL 60014
P: 815.788.8901

REVISIONS		
No.	Date	By

Project Number:
19101

Issue Date:
October 12, 2020

Drawn by:
JG

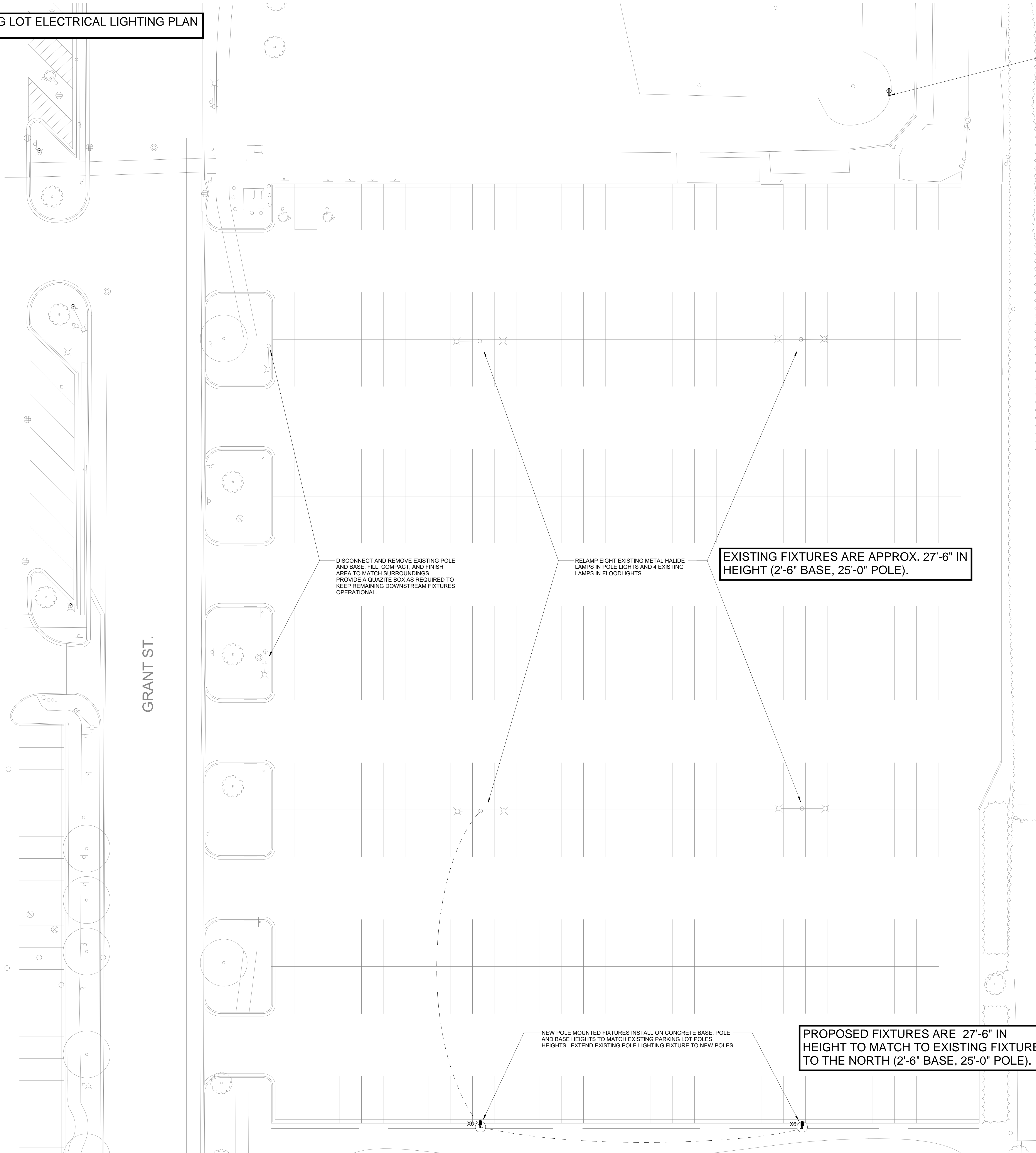
Sheet Title
SITE WORK DETAILS

Sheet Number

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EAST PARKING LOT ELECTRICAL LIGHTING PLAN

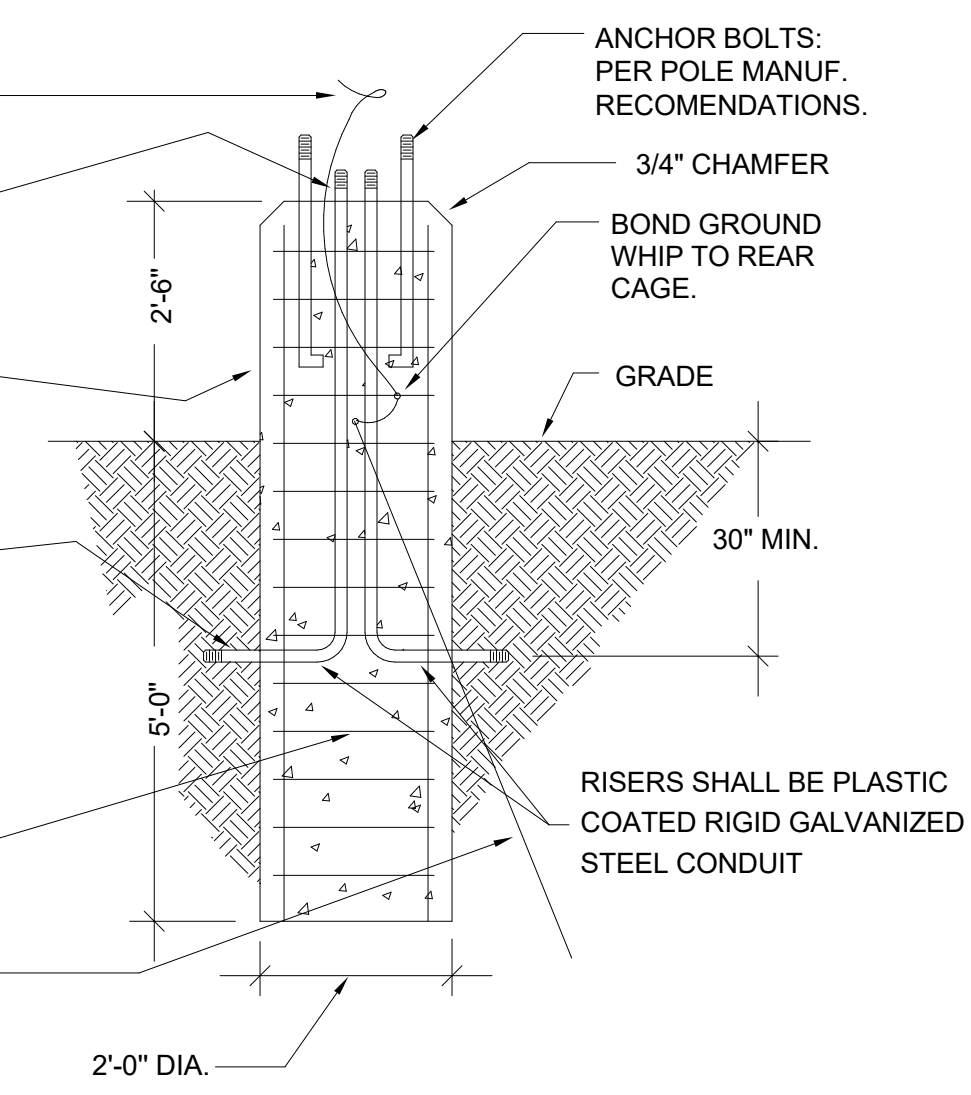


UNDER ALTERNATE HC-4 DISCONNECT AND REMOVE EXISTING RECEPTACLE AND INSTALL NEW GFCI RECEPTACLE ON NEW FENCE. MODIFY CONDUIT AND WIRE AS REQUIRED. PROVIDE A WEATHER PROOF, IN-USE, EXTRA HEAVY DUTY, CAST ALUMINUM COVER.

Call Before You Dig JULIE ILLINOIS ONE-CALL SYSTEM 800.892.0123 Simply Call 811 illinois1call.com

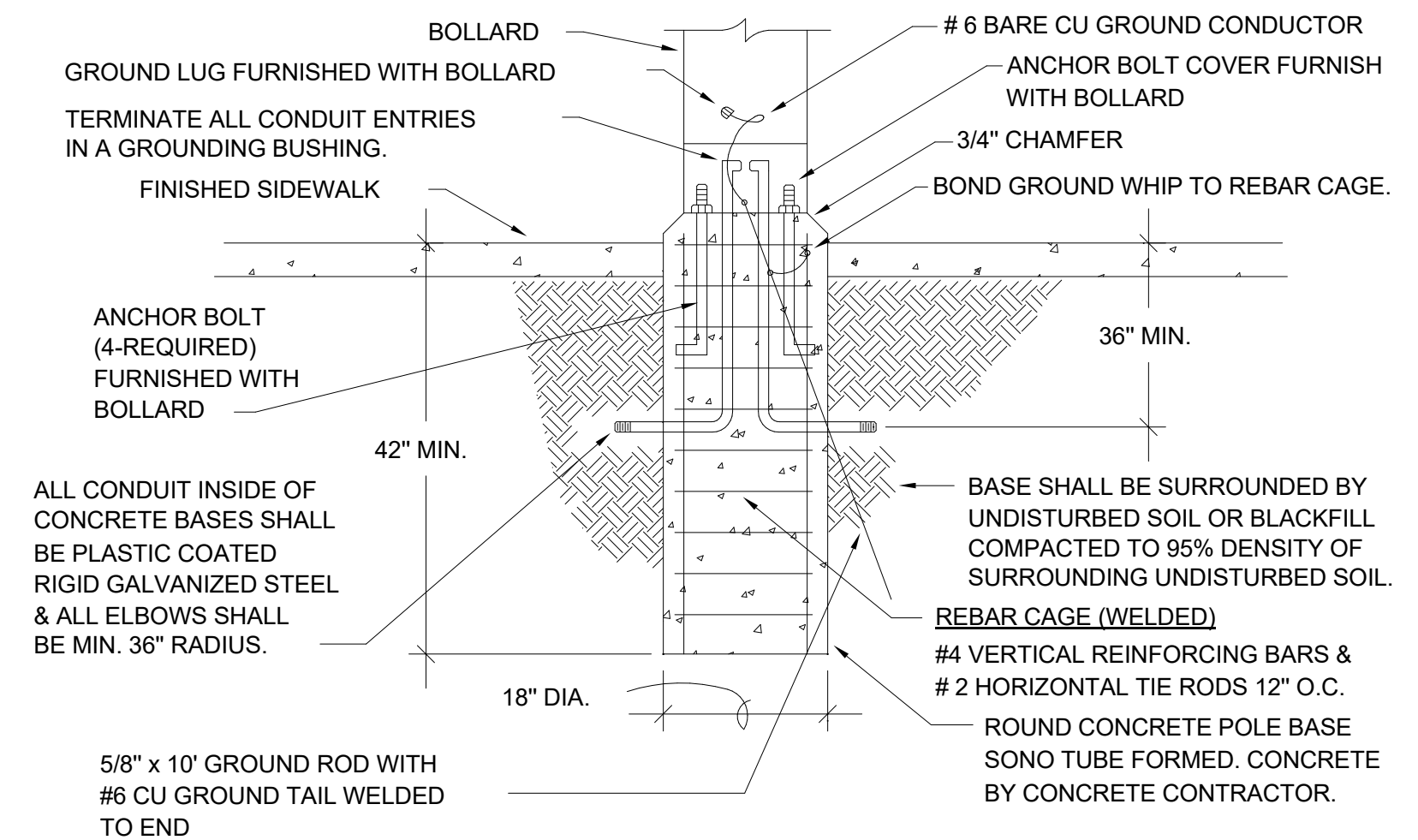
AS PART OF THIS PROJECT, THE CONTRACTOR SHALL HIRE A UTILITY LOCATING SERVICE COMPANY TO IDENTIFY LOCATION AND ROUTING OF ALL UNDER GROUND UTILITY SERVICES IN AREAS WHERE NEW UNDER GROUND ELECTRICAL SYSTEMS WILL BE INSTALLED. LOCATE ALL WATER, SANITARY, STORM, GAS, ELECTRICAL, INTERNET, TELEPHONE, CABLE TV, FIBER SERVICES, SOUND SYSTEM ETC... THE CONTRACTOR WILL ALSO BE REQUIRED TO CONTACT J.U.L.I.E. LOCATING SERVICES PRIOR TO DIGGING PER STATE LAW.

EXTEND #6 GROUND WHIP TO GROUND LUG OF POLE. PROVIDE GRD BUSHINGS AND BOND TO POLE GRD. LUG. EXPOSED SURFACE OF CONCRETE SHALL BE FINISHED TO ELIMINATE FORM MARKINGS AND VOIDS. PVC CONDUIT (TYP) PROVIDE ADAPTER TO RIGID CONDUIT. METALLIC PORTION OF CONDUIT SHALL BE INSULATED FROM CONTACT WITH SOIL (2 CONDUITS MINIMUM PER POLE BASE). CONCRETE PER SPEC. SECTION 03300 CAST IN PLACE CONC. REBAR CAGE (WELDED) 10#6 VERTICAL BARS 10#4 HORZ. BARS (HOOPS) OR IDOT APPROVED SPIRAL CAGE. 5/8" x 10" GROUND ROD WITH #6 CU GROUND TAIL WELDED TO END



LIGHT POLE BASE DETAIL NO SCALE FIXTURES:

REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL STRUCTURAL REQUIREMENTS.



BOLLARD MOUNTING DETAIL NO SCALE FIXTURES:

EXISTING FIXTURES ARE APPROX. 27'-6" IN HEIGHT (2'-6" BASE, 25'-0" POLE).

PROPOSED FIXTURES ARE 27'-6" IN HEIGHT TO MATCH TO EXISTING FIXTURE TO THE NORTH (2'-6" BASE, 25'-0" POLE).



EAST PARKING LOT EXTERIOR LIGHTING PLAN

ARCON architects construction managers roof & masonry consultants landscape architects 2050 south finley road, suite 40 lombard, illinois 60148 p. 630.495.1900 www.arconassoc.com

ADDITIONS AND RENOVATIONS BID PERIOD 3 of Hinsdale Central High School 55th and Grant Streets Hinsdale, Illinois 60521

ISSUED FOR BID

for the BOARD of EDUCATION Hinsdale Township High School District 86 5500 South Grant Street Hinsdale, Illinois 60521



Civil: Eriksson Engineering Associate, Ltd. 135 S. Jefferson Street Suite 135 Chicago, IL 60661 P: 312.463.0551

Structural: 20/10 Engineering Group, LLC 1216 Tower Road Schaumburg, IL 60173 P: 847.882.2010

Mechanical/Electrical/Plumbing/Fire Protection: Mechanical Services Associates 111 S. Virginia Street Crystal Lake, IL 60014 P: 815.788.8901

Aquatic Consultant: Counsilman-Hunsaker & Associates 10733 Sunset Office Dr # 400 St. Louis, MO 63127 P: 314.894.1245

Table with 3 columns: No., Date, By. Header: REVISIONS

Project Number: 19101

Issue Date: October 12, 2020

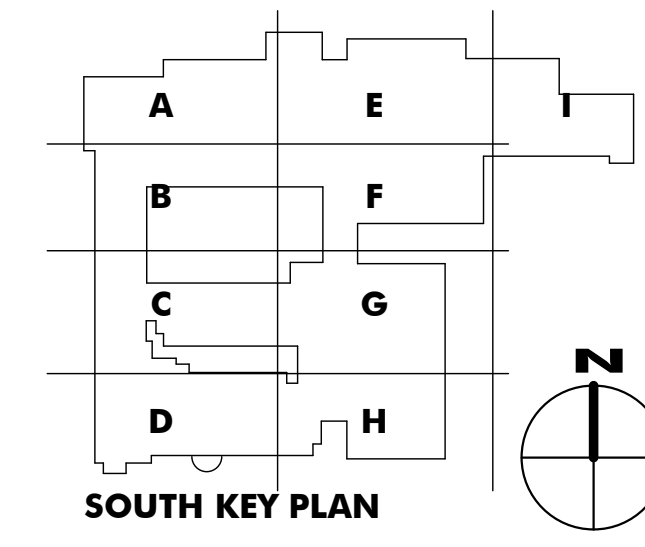
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Sheet Title EAST PARKING LOT LIGHTING

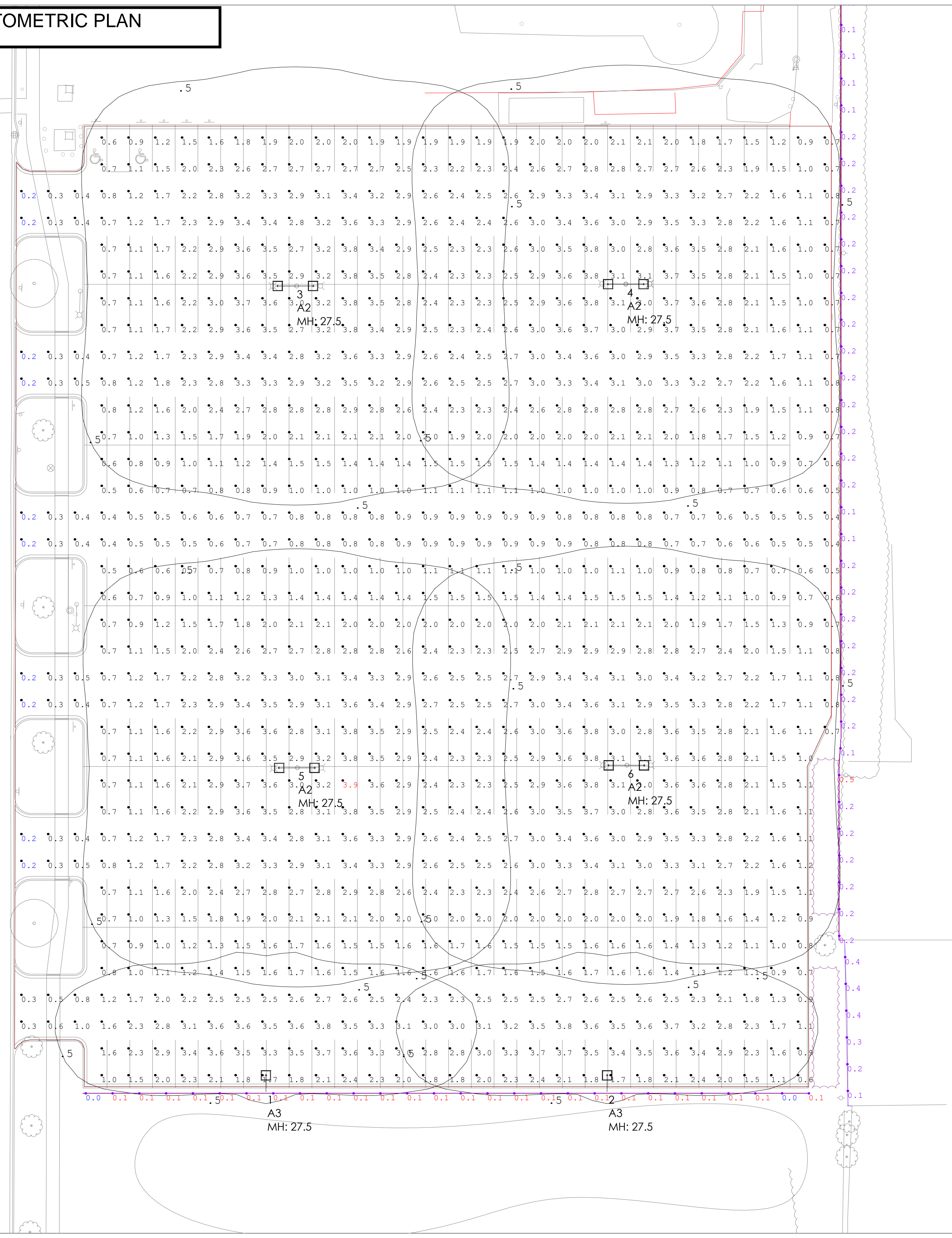
Sheet Number

3-E3.1-B

HINSDALE CENTRAL



EAST PARKING LOT PHOTOMETRIC PLAN



Symbol	Qty	Tag	Label	Arrangement	Lum. Watts	Arr. Watts	Lum. Lumens	Arr. Lum. Lumens	LLF	Manufacturer	Description
□	4	A2	RAR2-480L-210-4K7-4W-2 @ 180 DEGREES		198.3	396.6	28630	57260	0.900	HUBBELL OUTDOOR	RAR2-480L-210-4K7-4W
□	2	A3	RAR-2-320L-210-4K7-3-BC SINGLE		198.3	198.3	16996	16996	0.900	HUBBELL OUTDOOR	RAR-2-320L-210-4K7-3-BC

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
FENCE LINE EAST	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	READINGS @ GRADE
FENCE LINE SOUTH	Illuminance	Fc	0.09	0.1	0.0	N.A.	N.A.	READINGS @ GRADE
PARKING LOT_Planar	Illuminance	Fc	2.06	3.9	0.2	10.30	19.50	READINGS @ GRADE

LumNo	Tag (Qty)	Label	X	Y	Z	Orient	Tilt
1	A3 (1)	RAR-2-320L-210-4K7-3-BC	698.194	-749.335	27.5	90	0
2	A3 (1)	RAR-2-320L-210-4K7-3-BC	825.606	-749.335	27.5	90	0
3	A2 (2)	RAR2-480L-210-4K7-4W-2	709.196	-448.686	27.5	0	0
4	A2 (2)	RAR2-480L-210-4K7-4W-2	832.558	-448.03	27.5	0	0
5	A2 (2)	RAR2-480L-210-4K7-4W-2	709.743	-628.562	27.5	0	0
6	A2 (2)	RAR2-480L-210-4K7-4W-2	832.78	-627.618	27.5	0	0

Parking Lot Design Guide	Basic (for typical conditions) lux/ftc	Basic Enhanced Security (in consideration of personal security or vandalism) lux/ftc	Security (security lighting for public spaces) lux/ftc	High Security (security lighting for public spaces) lux/ftc
Minimum Horizontal Illuminance (Measured on parking surface without any shadowing from any object)	2.0/0.2	5.0/0.5	10.0/1.0	30.0-60.0/3.0-6.0
Uniformity Ratio Maximum - to - Minimum	20:1	15:1	15:1	*4:1 *Avg-Min
Minimum Vertical Illuminance (for facial recognition measured at 5' above the parking surface at the point of lowest horizontal illuminance)	1.0/0.1	2.5/0.25	5.0-8.0/0.5-0.8	12-60/1.2-6.0

Recommendations based on RP-33-99, RP-20-98, 9th Edition IESNA Lighting Handbook

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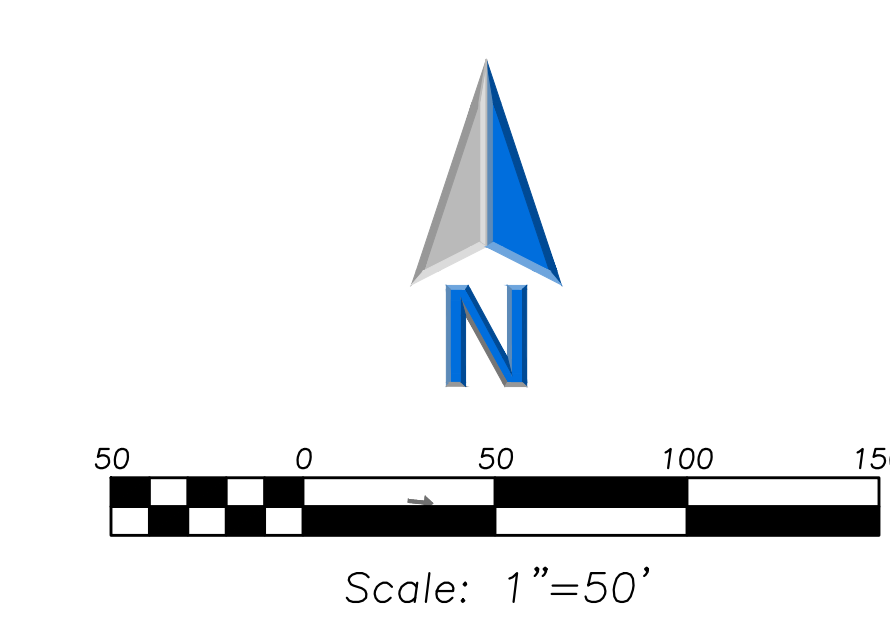
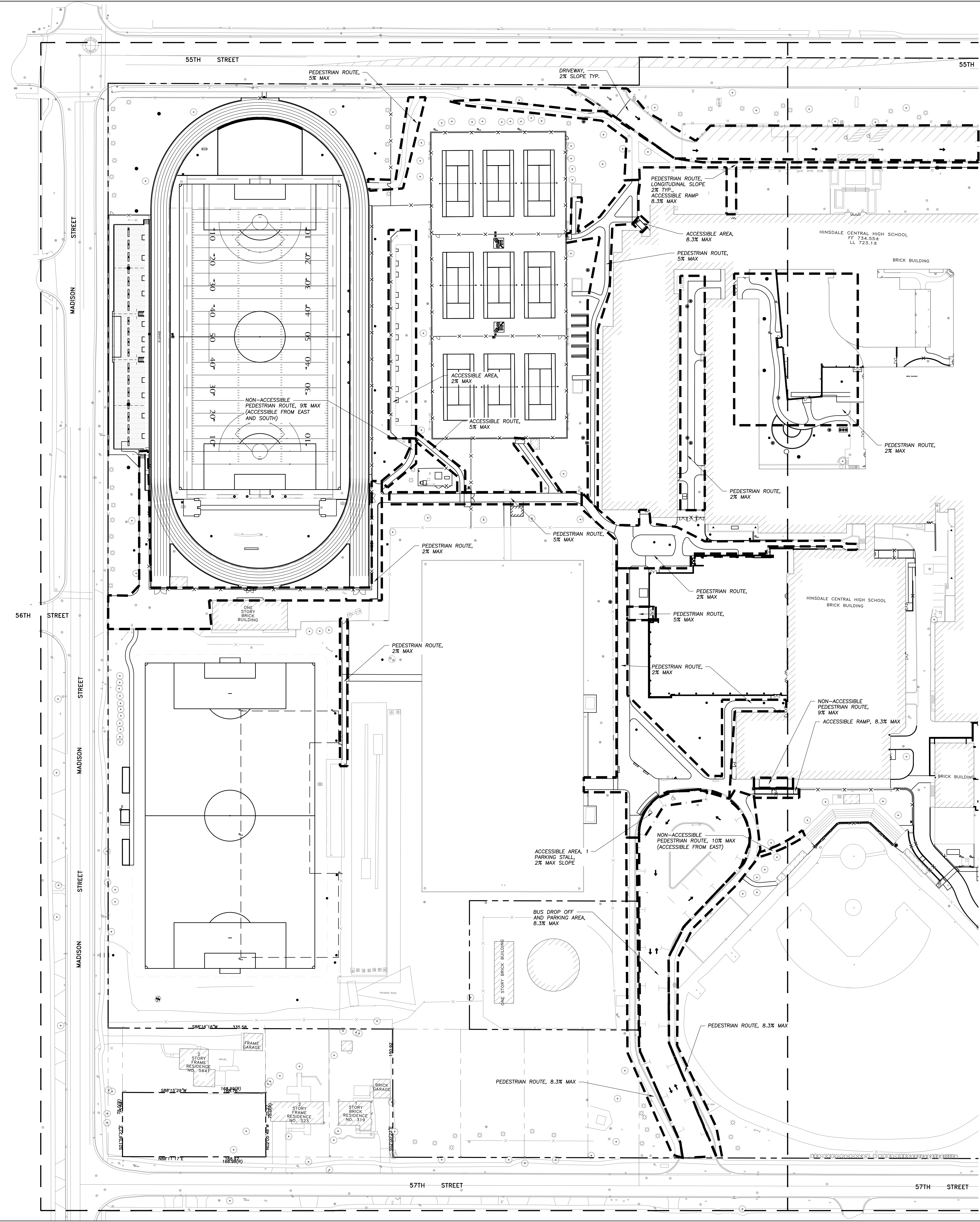


#	Date	Comments

Drawn By: Joeli Collins
 Drawn By: joeli.collins@pg-enlighten.com
 Date: 8/6/2020
 Scale: 1" = 25'

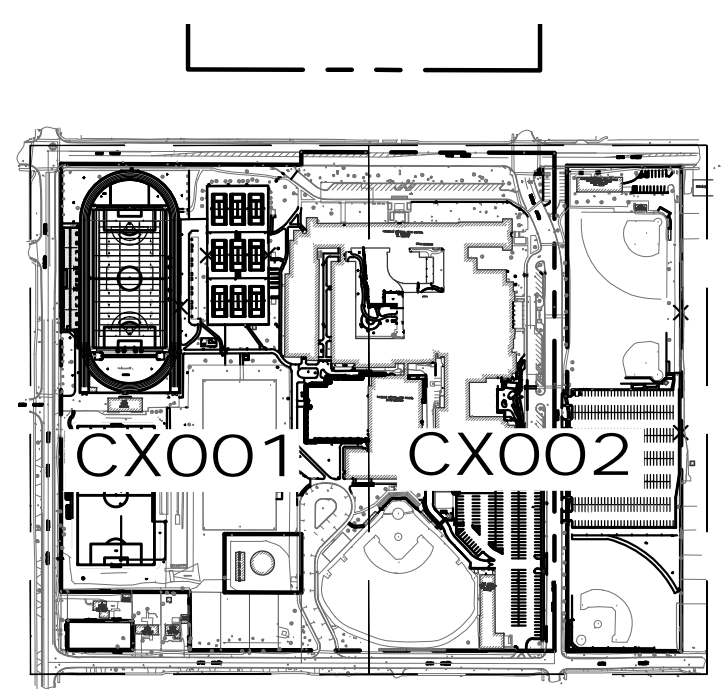
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 Location: **HINSDALE, IL**

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and
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 and
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for the
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 5500 S Grant Street
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02	10/25/19	
03	01/22/21	

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Issue Date:
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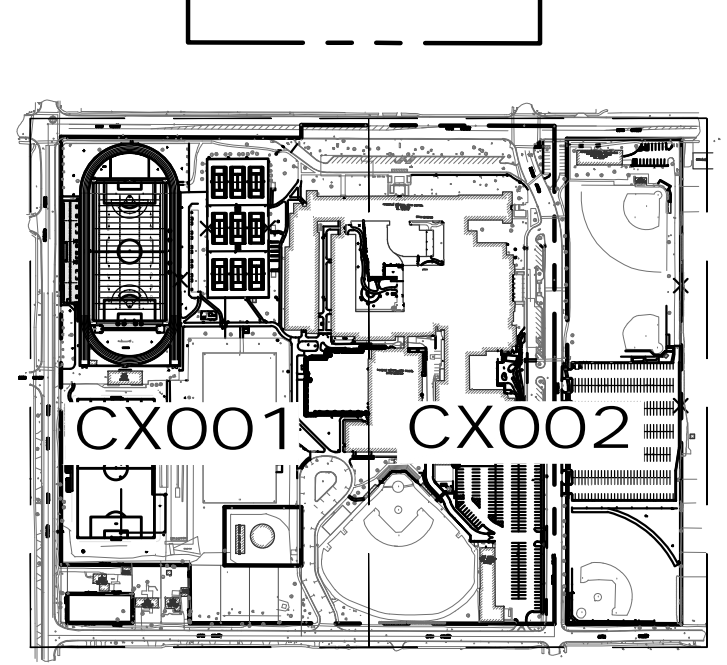
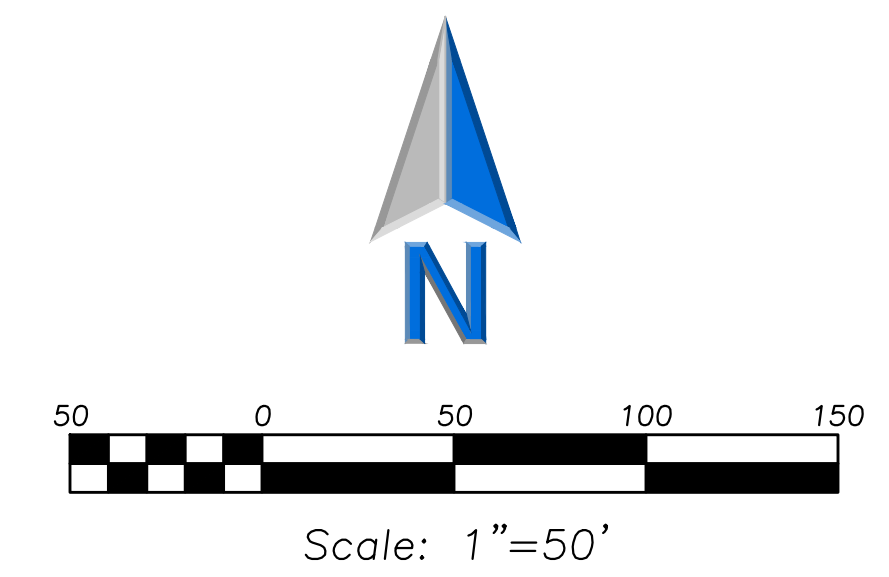
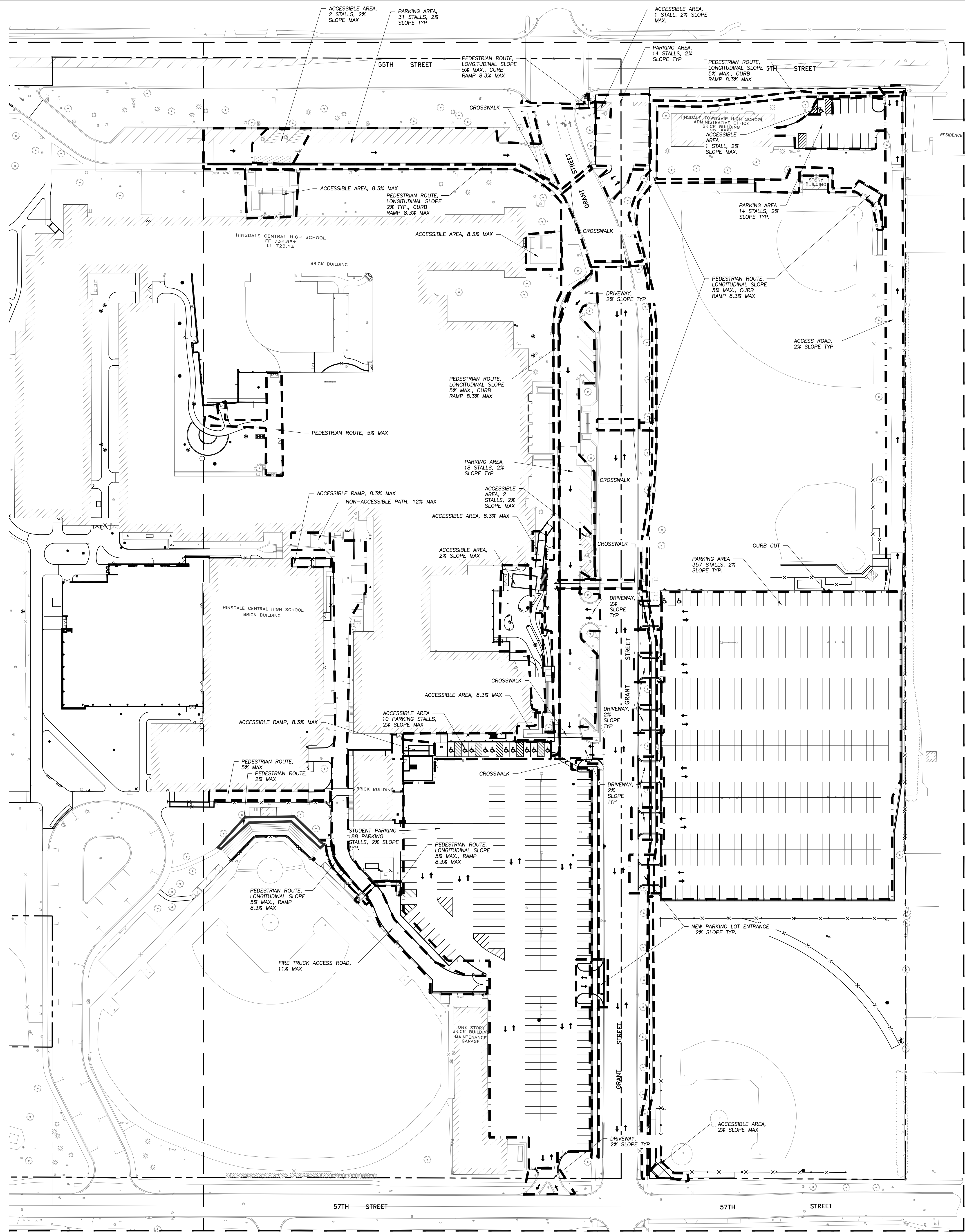
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03	01/22/21	

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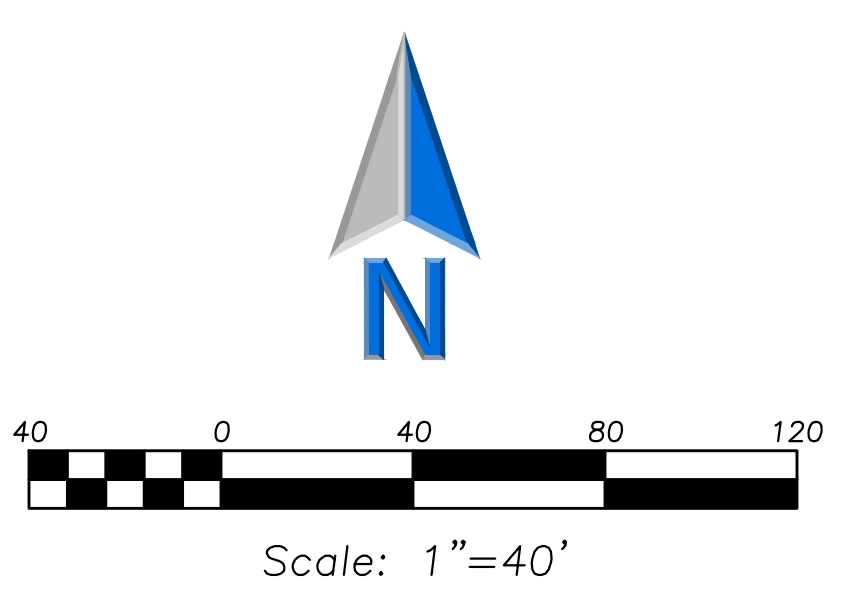
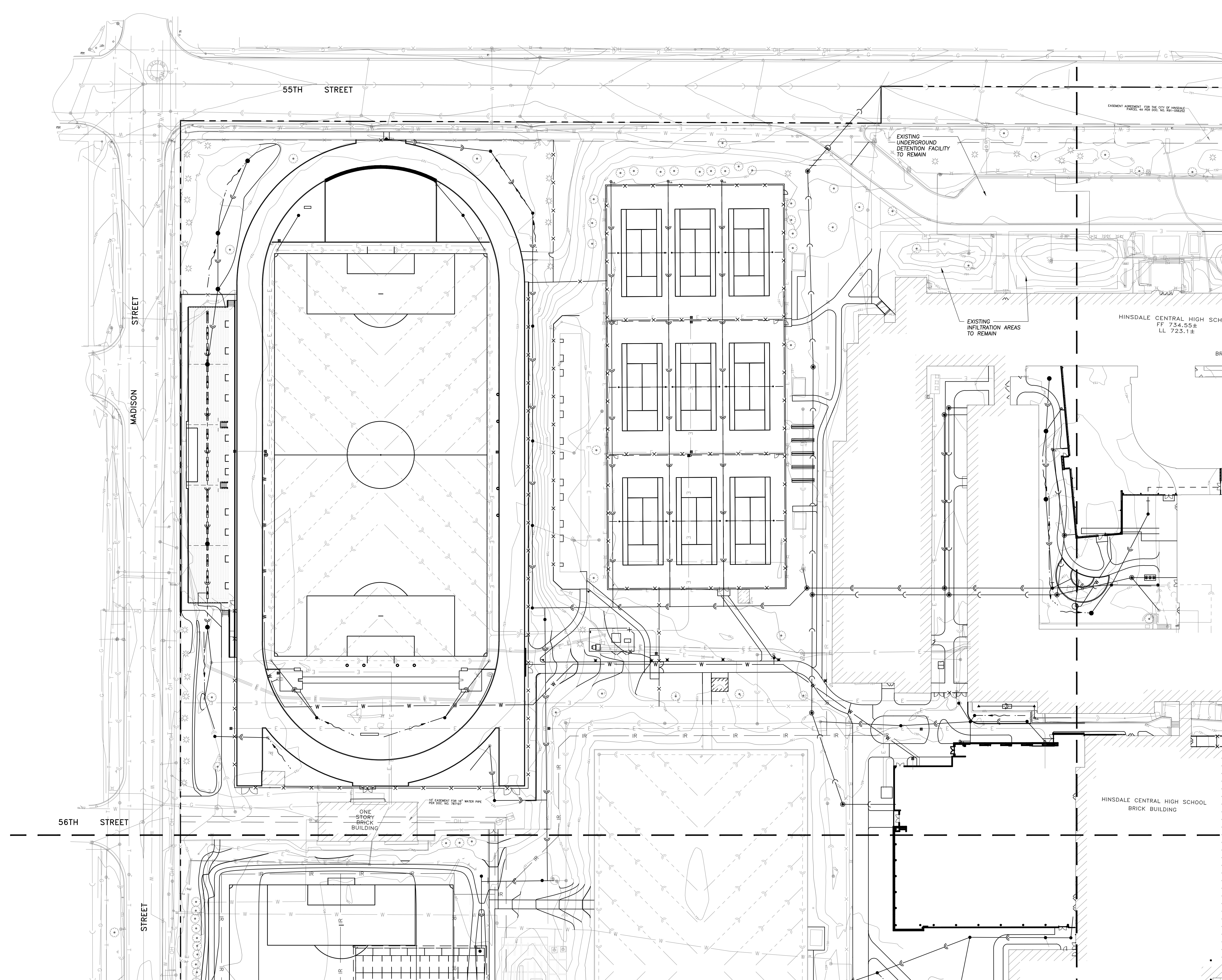
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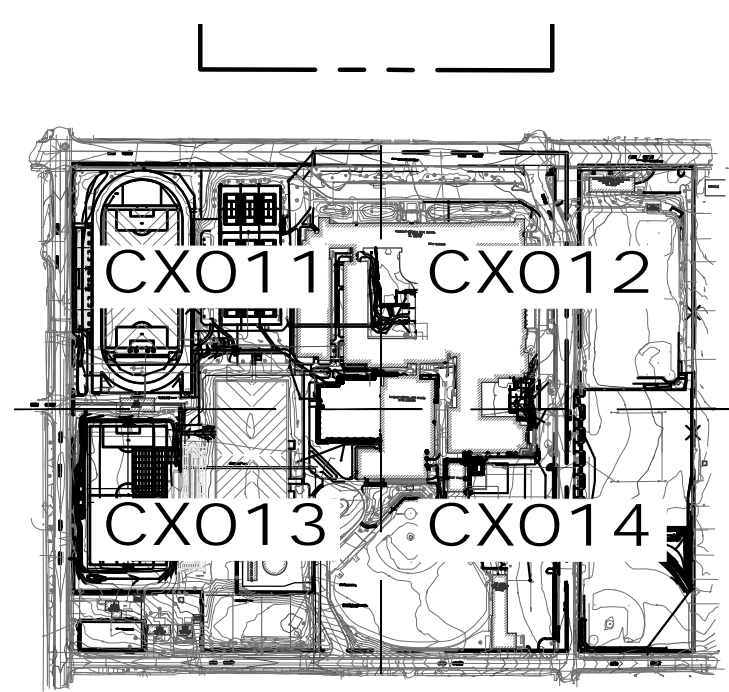


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LEGEND

	Storm Sewer
	Sanitary Sewer
	Combined Sewer
	Water Main
	Gas Line
	Electrical Cable
	Overhead Wires
	Irrigation Pipe
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2020
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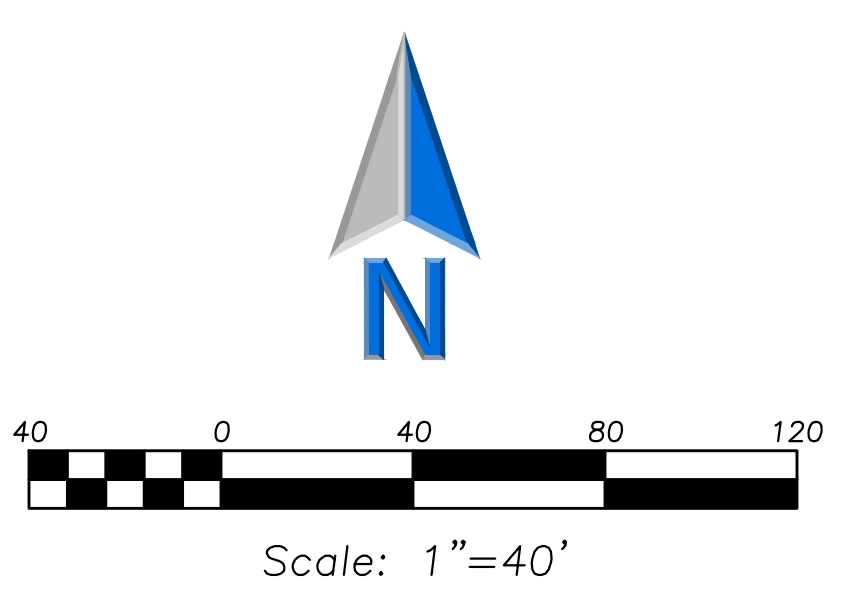
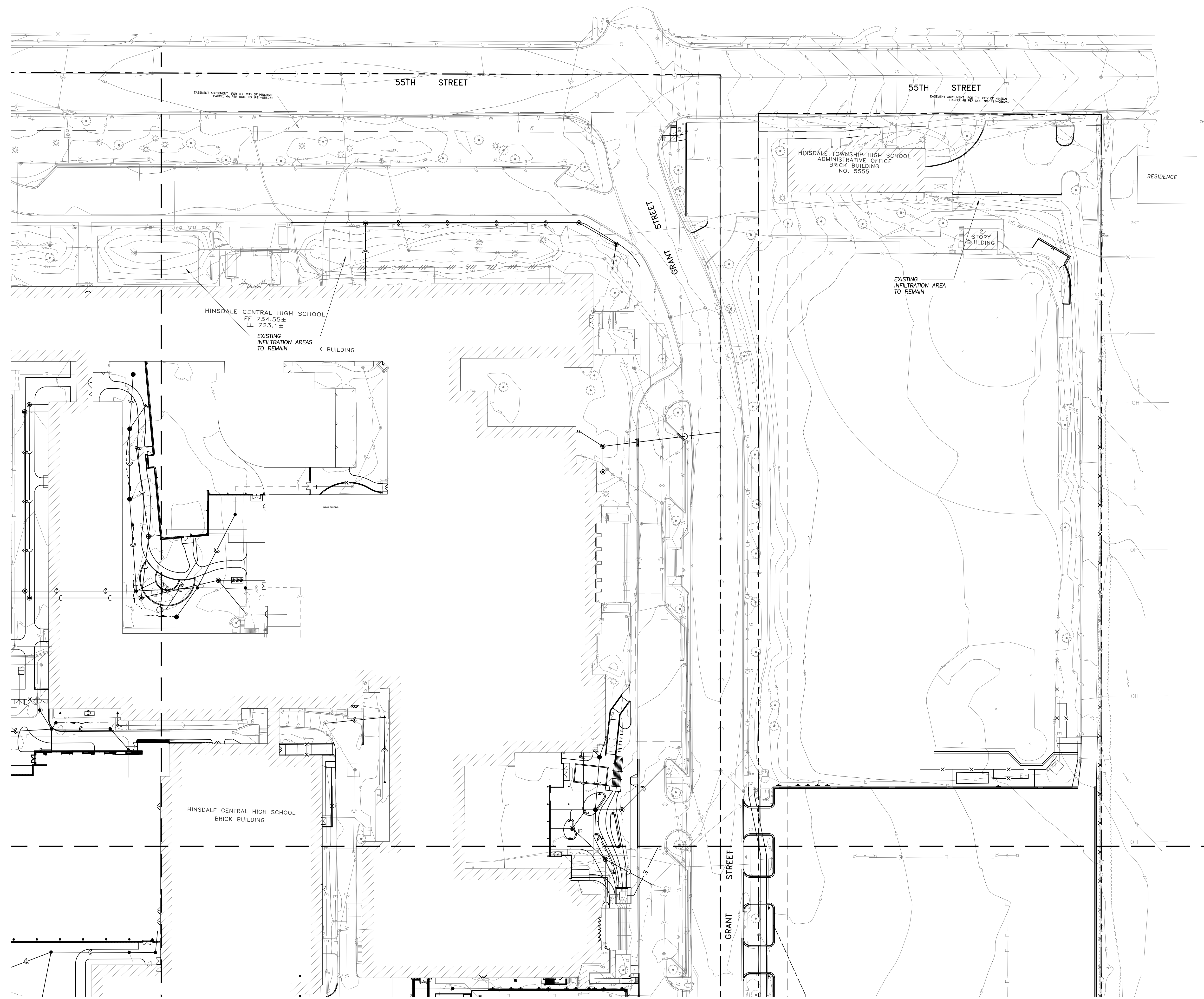
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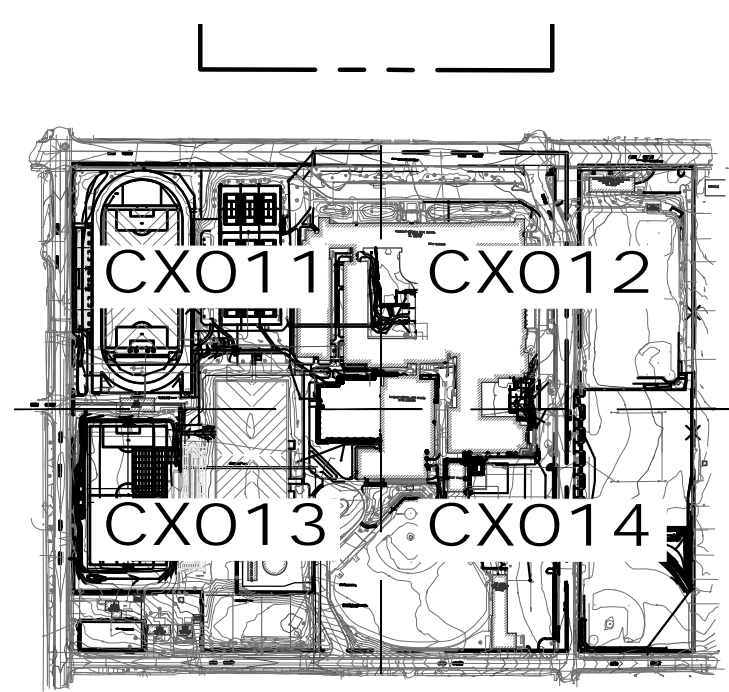
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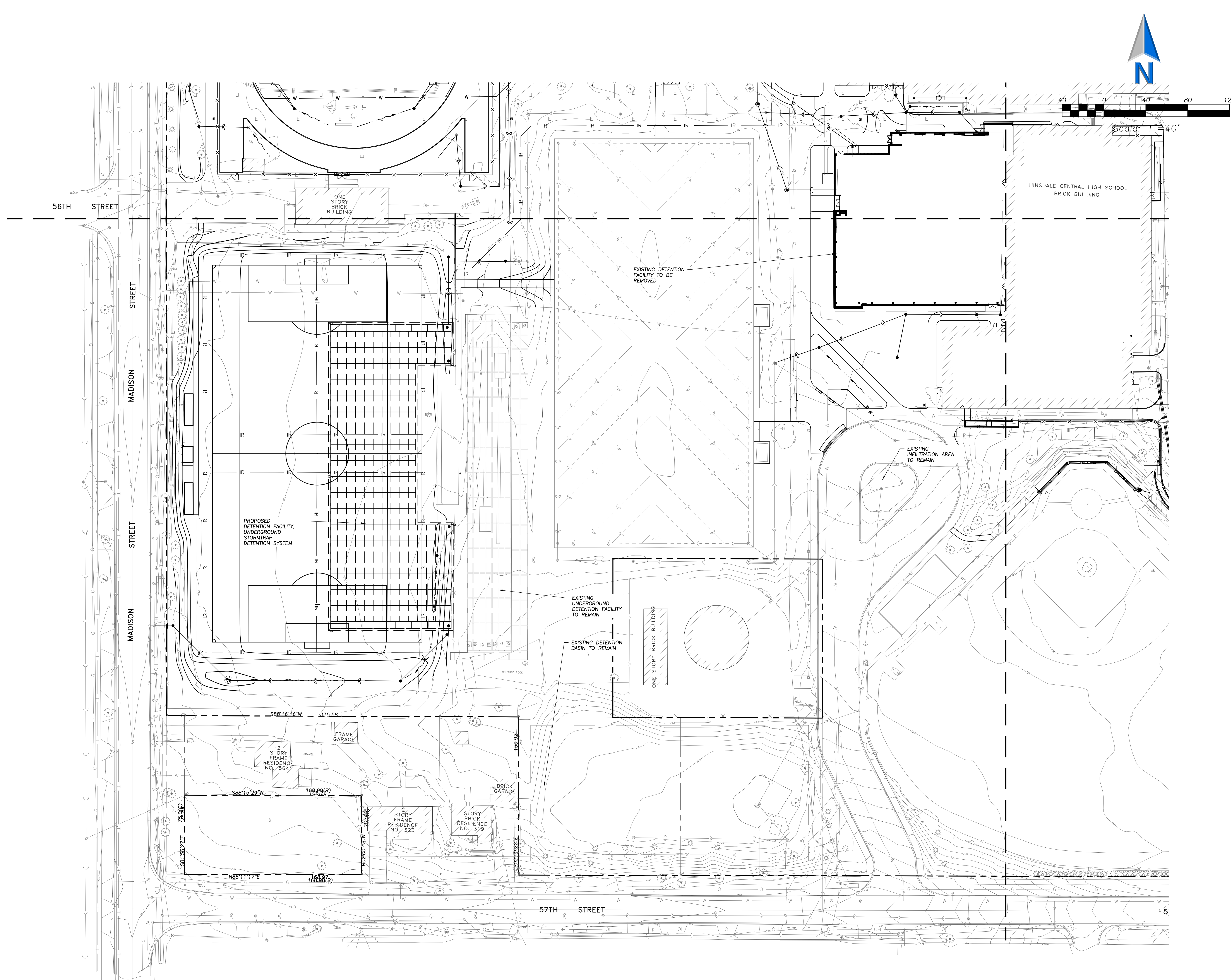
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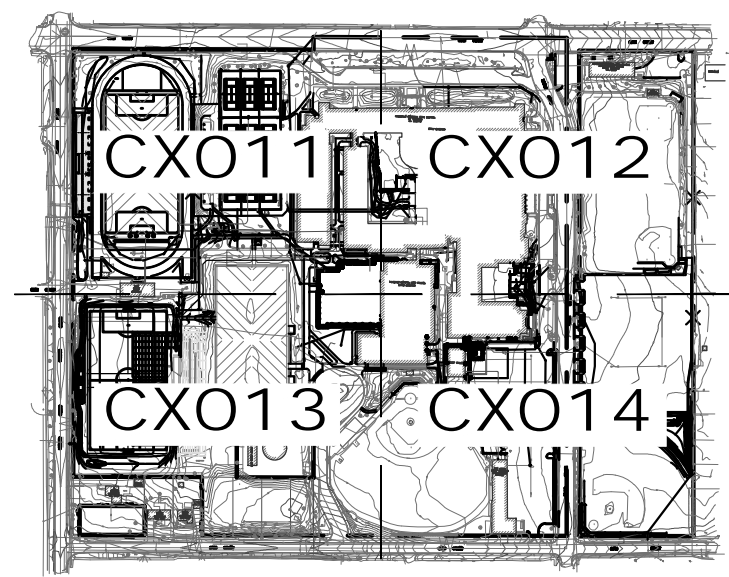
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LEGEND

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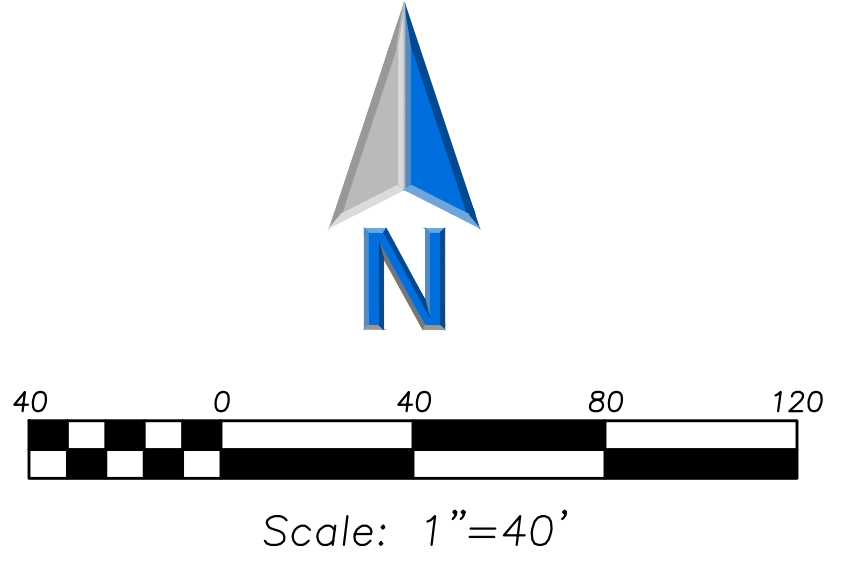
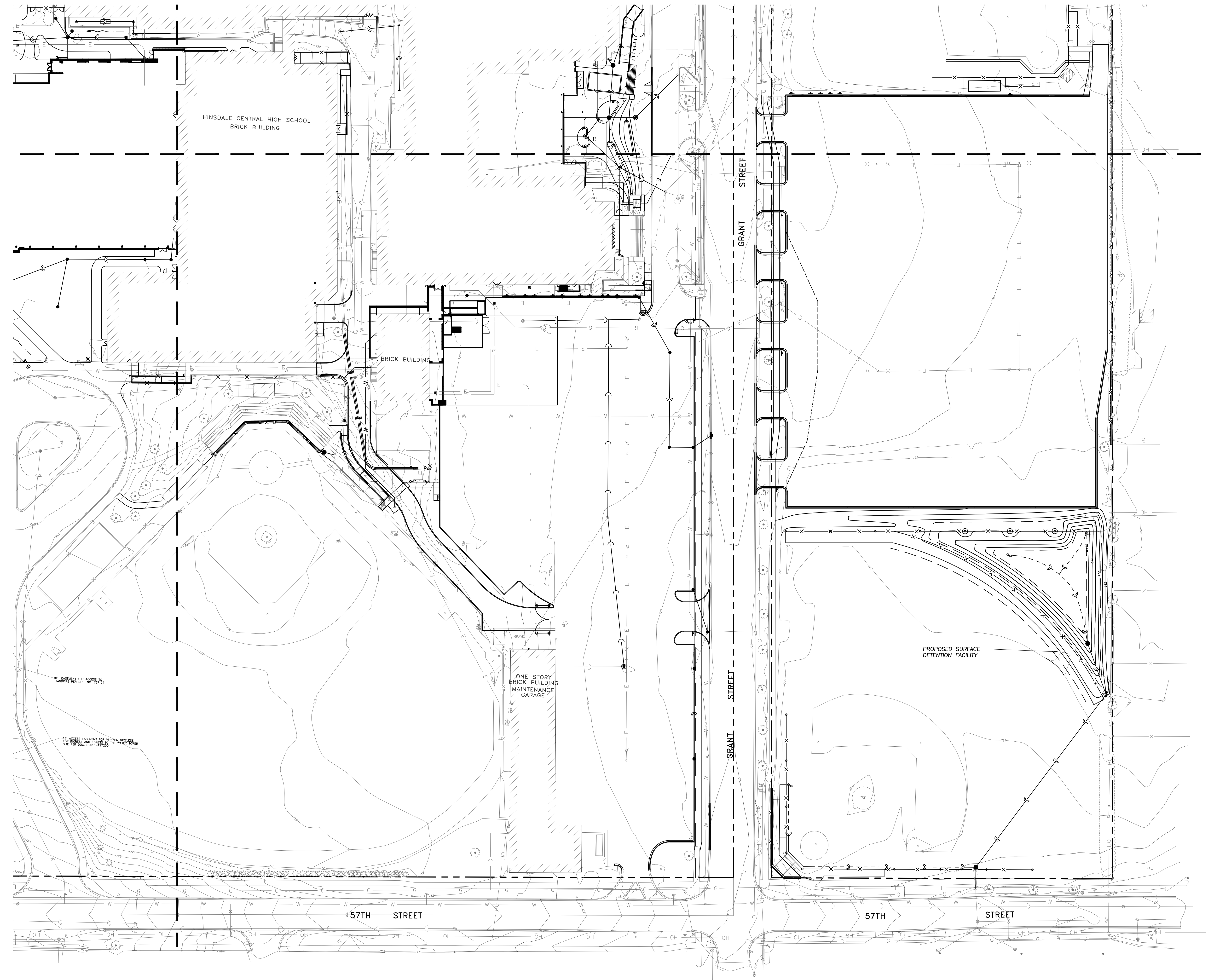
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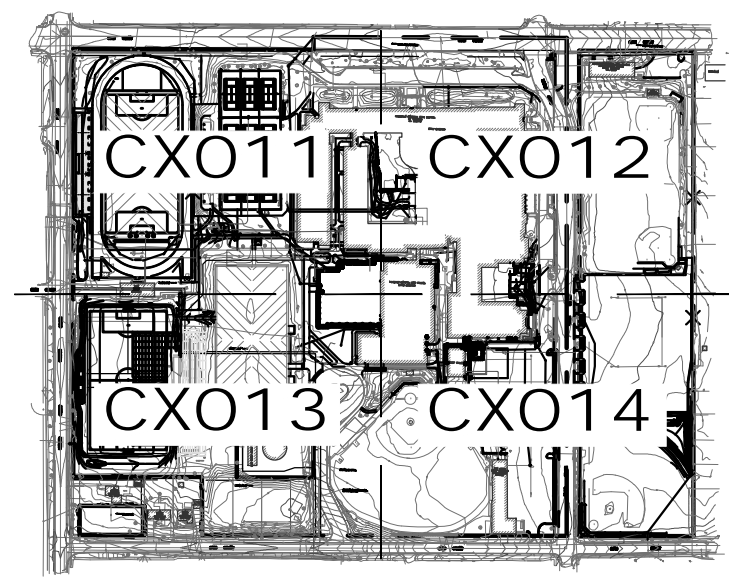
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 Sheet Number:

CX013

EA - Pat\Arcon - Hinsdale HS 2020 Drawings\Siteplan Central HS_Past_Bld.dwg
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 145 COMMERCE DRIVE, SUITE A
 GRAYSLAKE, ILLINOIS 60030
 PHONE (847) 223-4804
 FAX (847) 223-4864
 EMAIL INFO@EEA-LTD.COM



LEGEND

	Storm Sewer
	Sanitary Sewer
	Combined Sewer
	Water Main
	Gas Line
	Electrical Cable
	Overhead Wires
	Irrigation Pipe
	Telephone / Communication

ARCON
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 construction managers
 roof & masonry consultants
 landscape architects
 2050 south finley road, suite 40
 Lombard, Illinois 60148
 p: 630.495.1900
 www.arconassoc.com

2020 REFERENDUM WORK
 at
 Hinsdale Central High School
 55th and Grant Streets
 Hinsdale, Illinois 60521
 and
 Hinsdale South High School
 7401 S. Clarendon Hills Rd.
 Darien, Illinois 60561
 and
 Administration Center
 5500 S. Grant Street
 Hinsdale, Illinois 60521
 for the
BOARD of EDUCATION
 Hinsdale Township High School District 86
 5500 S Grant Street
 Hinsdale, Illinois 60521



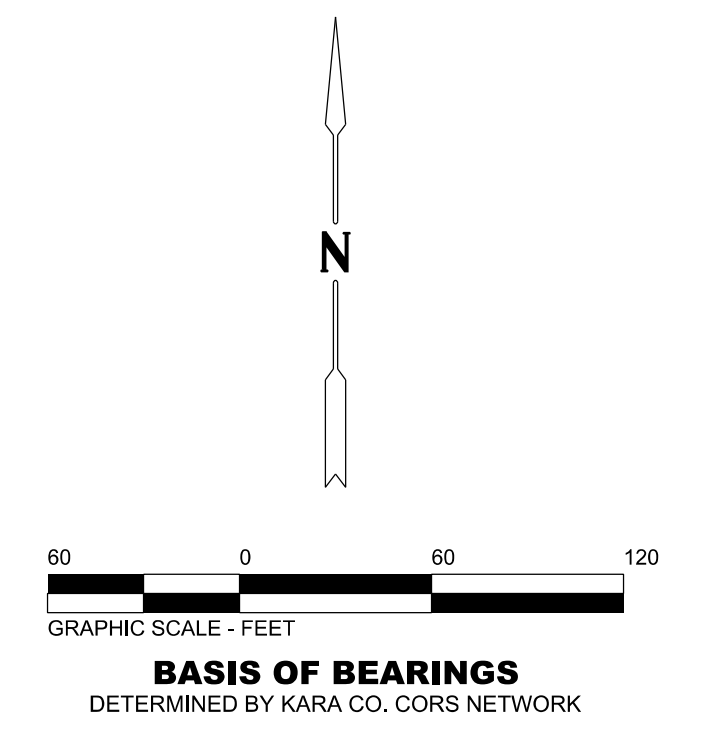
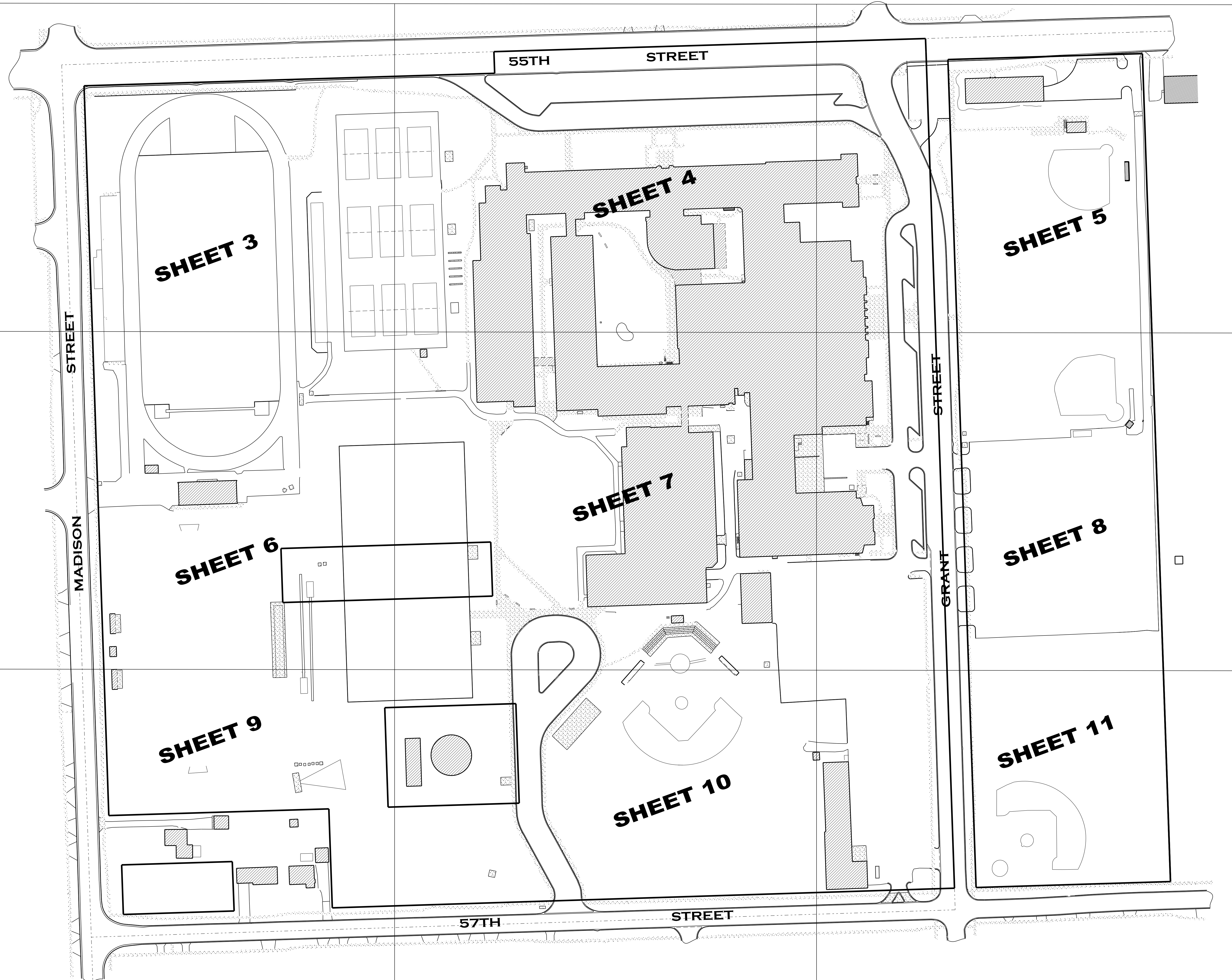
Civil:
 Eriksson Engineering Associates, Ltd.
 135 S Jefferson Street Suite 135
 Chicago, IL 60661
 p: 312.463.0551
Structural:
 20/10 Engineering Group, LLC
 1216 Tower Road
 Schaumburg, IL 60173
 p: 847.882.2010
Mechanical/Electrical:
 Mechanical Services Associates
 111 S Virginia Street
 Crystal Lake, IL 60014
 p: 815.788.8901

REVISIONS

No.	Date	By
01	10/07/19	
02	10/25/19	
03	01/22/21	

Project Number:
 TBD
 Issue Date:
 Jan 22, 2021
 Drawn by:
 JG
 Sheet Title
 UTILITY EXHIBIT
 Sheet Number

CX014

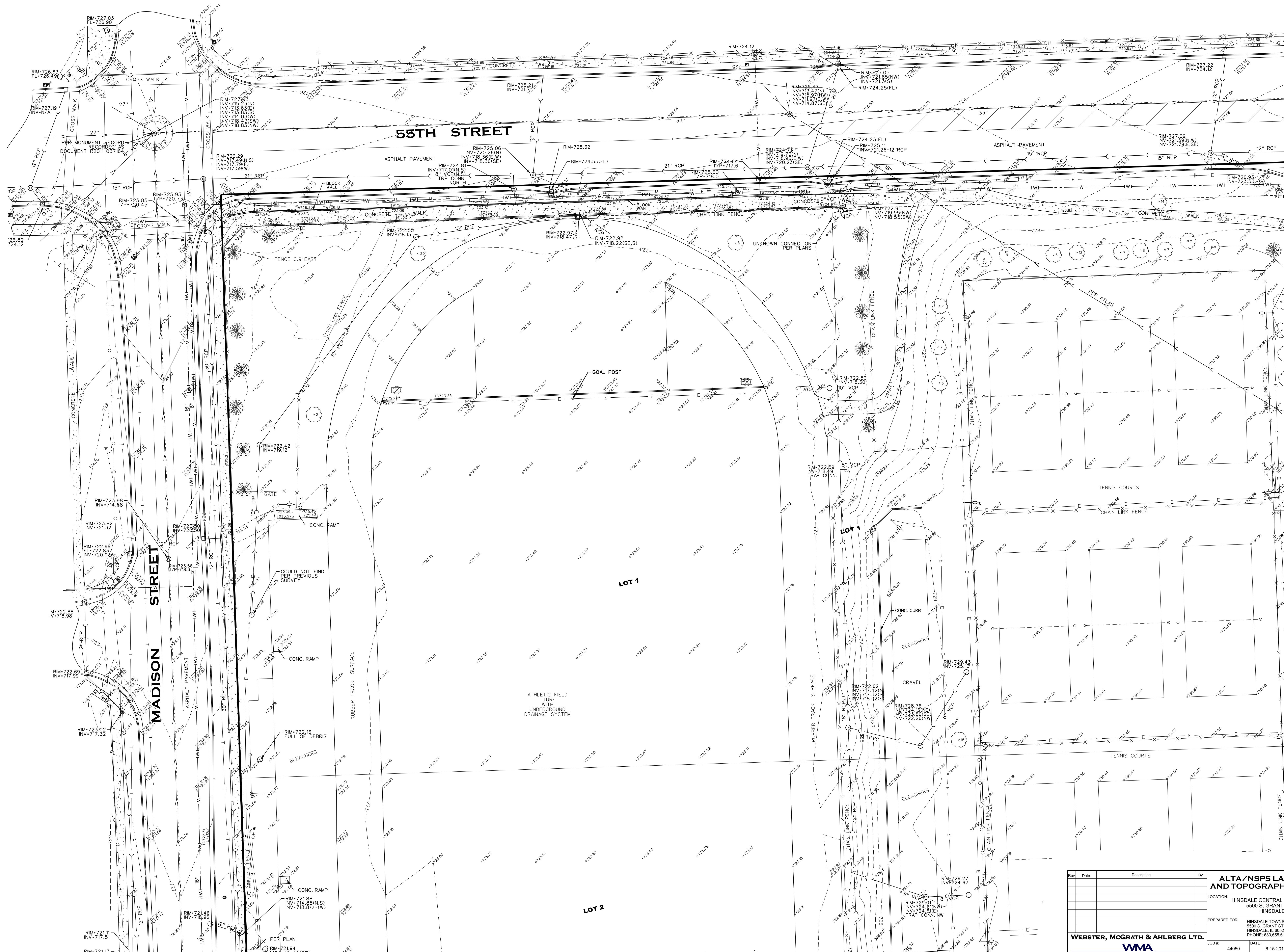
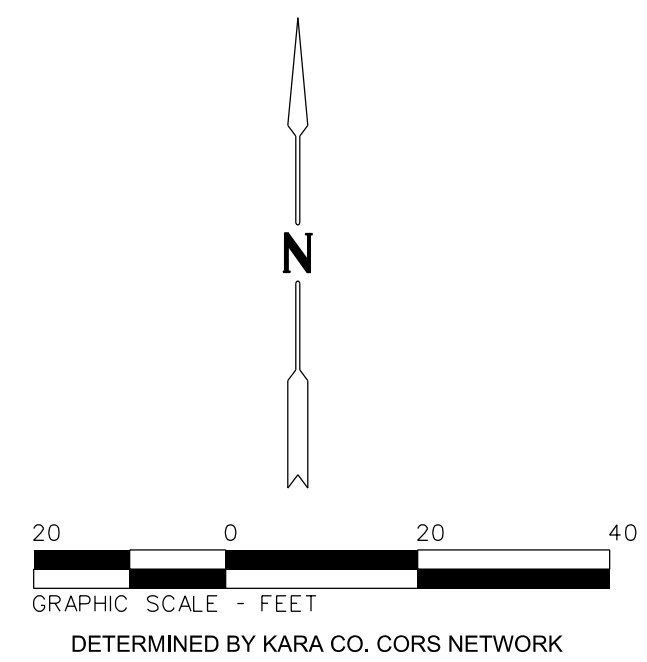


- ABBREVIATIONS**
- HDPE = HIGH-DENSITY POLYETHYLENE
 - RCP = REINFORCED CONCRETE PIPE
 - PVC = POLYVINYLCHLORIDE PIPE
 - CMP = CORRUGATED METAL PIPE
 - VCP = VITRIFIED CLAY PIPE
 - INV = INVERT
 - TC = TOP OF CURB
 - FL = FLOW LINE
 - FE = FLOOR ELEVATION
 - TF = TOP OF FOUNDATION
 - CHB = CHORD BEARING
 - DIP = DUCTILE IRON PIPE
 - RRS = RAILROAD SPIKE
 - POB = POINT OF BEGINNING
 - SP = SETTLEMENT OBSERVATION POINT
- LINE LEGEND**
- = BOUNDARY LINE
 - - - = LOT LINE
 - · - · = EASEMENT LINE
 - · - · - · = SETBACK LINE

LEGEND

⊙	SANITARY MANHOLE	⊙	MAILBOX
⊙	SANITARY CLEANOUT	⊙	DOWNPOUT
⊙	STORM MANHOLE	⊙	LIGHT POLE
⊙	STORM CATCH BASIN	⊙	OVERHEAD LIGHT POLE
⊙	STORM INLET	⊙	ELECTRIC MANHOLE
⊙	STORM CLEANOUT	⊙	TRAFFIC SIGNAL POLE
⊙	FLARED END SECTION	⊙	TRAFFIC CONTROL BOX
⊙	TRANSFORMER	⊙	TRAFFIC SIGNAL VAULT
⊙	ELECTRICAL BOX	⊙	RAILROAD SIGNAL POLE
⊙	CABLE TV BOX	⊙	RAILROAD SIGNAL VAULT
⊙	TELEPHONE BOX	⊙	UTILITY POLE
⊙	TRAFFIC CONTROL BOX	⊙	OVERHEAD WIRES
⊙	ELECTRIC MANHOLE	⊙	UNDERGROUND ELECTRIC
⊙	COMMUNICATION MANHOLE	⊙	UNDERGROUND GAS
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND TELEPHONE
⊙	ELECTRIC METER	⊙	UNDERGROUND FIBER OPTIC
⊙	GAS METER	⊙	UNDERGROUND CABLE T.V.
⊙	GAS VALVE	⊙	WATER MAIN
⊙	S-BOX	⊙	SANITARY SEWER
⊙	WATER VALVE	⊙	STORM SEWER
⊙	WATER VALVE VAULT	⊙	FENCE LINE
⊙	FIRE HYDRANT	⊙	GUARD RAIL
⊙	POST INDICATOR VALVE	⊙	DECIDUOUS TREE
⊙	WATER METER	⊙	PIKE TREE
⊙	PARKING METER	⊙	DRIVE BOX PIPE
⊙	SIEN	⊙	FOUL BOX PIPE
⊙	FLAG POLE	⊙	CROSS CUT IN CONCRETE
⊙	PEELING MANDREL	⊙	M = MEASURED DIMENSION
		⊙	R = RECORD DIMENSION

Rev	Date	Description	By	ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY					
				LOCATION: HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT ST. HINSDALE, IL					
				PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS 5500 S. GRANT ST. HINSDALE, IL 60521 PHONE: 630.855.8105					
WEBSTER, MCGRATH & AHLBERG LTD.				JOB #:	44050	DATE:	5-15-2019	SCALE:	1"=60'
LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE				SURV:	JCV	GRWN:	JCV	DESIGN:	XXX
Over a Century of Service to our Clients 207 South Naperville Road, Wheaton, Illinois 60187 PH: (630)982-7100 www.wmamltd.com Design Firm License No. 184-003101				FILE #:	E-32310-T	SHEET #:		2 OF 12	



- LINE LEGEND**
- = BOUNDARY LINE
 - = LOT LINE
 - = EASEMENT LINE
 - = SETBACK LINE

- ABBREVIATIONS**
- HPDE = HIGH-DENSITY POLYETHYLENE
 - RCP = REINFORCED CONCRETE PIPE
 - PVC = POLYVINYLCHLORIDE PIPE
 - CMP = CORRUGATED METAL PIPE
 - VCP = VITRIFIED CLAY PIPE
 - INV = INVERT
 - TO = TOP OF CURB
 - FL = FLOW LINE
 - FE = FLOOR ELEVATION
 - TF = TOP OF FOUNDATION
 - CHB = CHORD BEARING
 - DIP = DUCTILE IRON PIPE
 - RIS = RAILROAD SPIKE
 - POB = POINT OF BEGINNING
 - SPIS = SETTLEMENT OBSERVATION POINT

- LEGEND**
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Rev	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

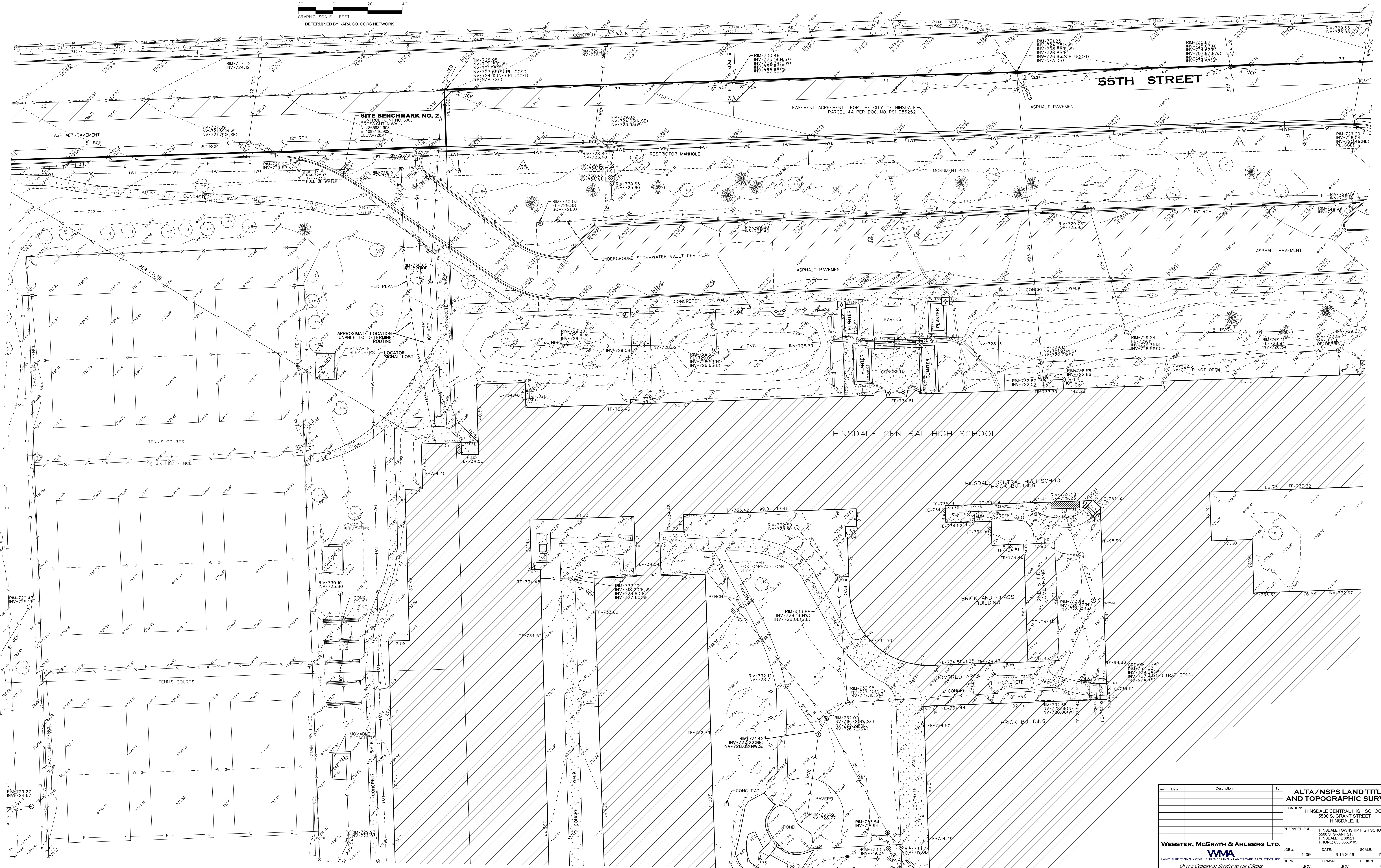
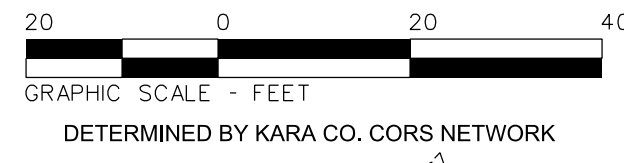
LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT ST.
HINSDALE, IL 60521

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 686
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.655.8105

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Design Firm License No. 184-003101

JOB #:	44050	DATE:	6-15-2019	SCALE:	1"=20'
SURV:	JCV	DRAWN:	JCV	DESIGN:	XXX
FILE #:	E-32310-T	SHEET #:	3 OF 12		

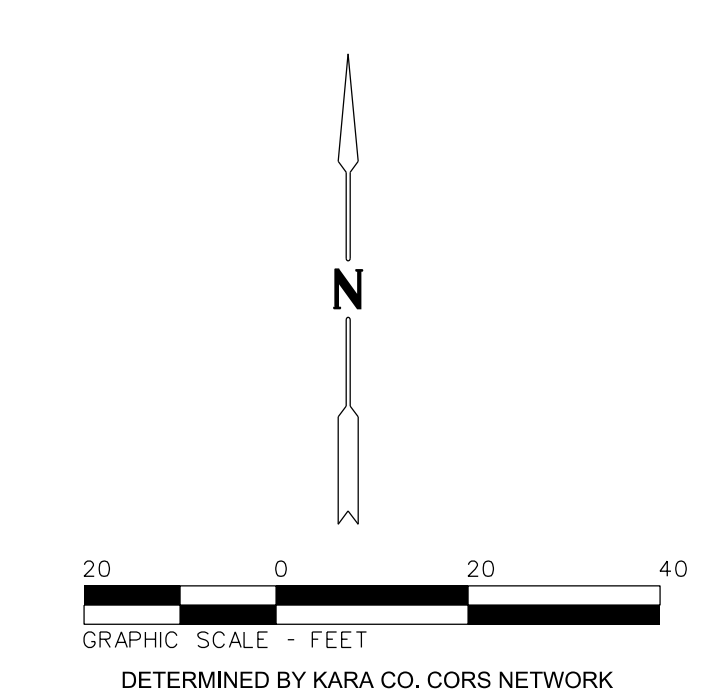
7/5/2019 12:40:21 PM



Rev.	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY			
LOCATION: HINSDALE CENTRAL HIGH SCHOOL, 5500 S. GRANT STREET, HINSDALE, IL			
PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 686, 5500 S. GRANT ST., HINSDALE, IL 60521, PHONE: 630.855.8105		JOB #: 44050, DATE: 6-15-2019, SCALE: 1"=20'	
WEBSTER, MCGRATH & AHLBERG LTD.		SURV: JCV, DRAWN: JCV, DESIGN: XXX	
LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE		FILE #: E-32310-T, SHEET # 4 OF 12	
Over a Century of Service to our Clients 207 South Naperville Road, Wheaton, Illinois 60187 PH: (630)968-7600, WWW: WWW.WMAA.COM Design Firm License No. 184-000101			

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY



- LINE LEGEND**
- = BOUNDARY LINE
 - - - = LOT LINE
 - - - - - = EASEMENT LINE
 - - - - - = SETBACK LINE

- ABBREVIATIONS**
- HDPE = HIGH-DENSITY POLYETHYLENE
 - RCP = REINFORCED CONCRETE PIPE
 - PVC = POLYVINYLCHLORIDE PIPE
 - CMP = CORRUGATED METAL PIPE
 - VCP = VITRIFIED CLAY PIPE
 - INV = INVERT
 - TC = TOP OF CURB
 - FL = FLOW LINE
 - FE = FLOOR ELEVATION
 - TF = TOP OF FOUNDATION
 - CHB = CHORD BEARING
 - DIP = DUCTILE IRON PIPE
 - RRS = RAILROAD SPIKE
 - POB = POINT OF BEGINNING
 - SP = SETTLEMENT OBSERVATION POINT

LEGEND

⊙	SANITARY MANHOLE	⊙	WALK BOX
⊙	SANITARY CLEANOUT	⊙	DOWNPOUT
⊙	STORM MANHOLE	⊙	LIGHT POLE
⊙	STORM CATCH BASIN	⊙	OVERHEAD LIGHT POLE
⊙	STORM INLET	⊙	ELECTRIC MANHOLE
⊙	STORM CLEANOUT	⊙	TRAFFIC SIGNAL POLE
⊙	FLARED END SECTION	⊙	TRAFFIC SIGNAL VAULT
⊙	TRANSFORMER	⊙	RAILROAD SIGNAL VAULT
⊙	ELECTRICAL BOX	⊙	RAILROAD SIGNAL VAULT
⊙	CABLE TV BOX	⊙	UTILITY POLE
⊙	TELEPHONE BOX	⊙	OVERHEAD WIRE
⊙	TRAFFIC CONTROL BOX	⊙	UNDERGROUND ELECTRIC
⊙	COMMUNICATION MANHOLE	⊙	UNDERGROUND GAS
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND TELEPHONE
⊙	ELECTRIC METER	⊙	UNDERGROUND FIBER OPTIC
⊙	GAS METER	⊙	UNDERGROUND CABLE T.V.
⊙	GAS VALVE	⊙	WATER MAIN
⊙	S-BOX	⊙	SANITARY SEWER
⊙	WATER VALVE	⊙	STORM SEWER
⊙	FIRE HYDRANT	⊙	FENCE LINE
⊙	POST AND/OR VALVE	⊙	GUARD RAIL
⊙	WATER METER	⊙	DECEADUOUS TREE
⊙	PARKING METER	⊙	PRUNE TREE
⊙	SIEN	⊙	DRIVE SIDE RAMP
⊙	FLAG POLE	⊙	FOUR SIDE RAMP
⊙	PELLETS MANHOLE	⊙	CROSS CUT IN CONCRETE
		⊙	MEASURED DIMENSION
		⊙	RECORDED DIMENSION

Rev	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

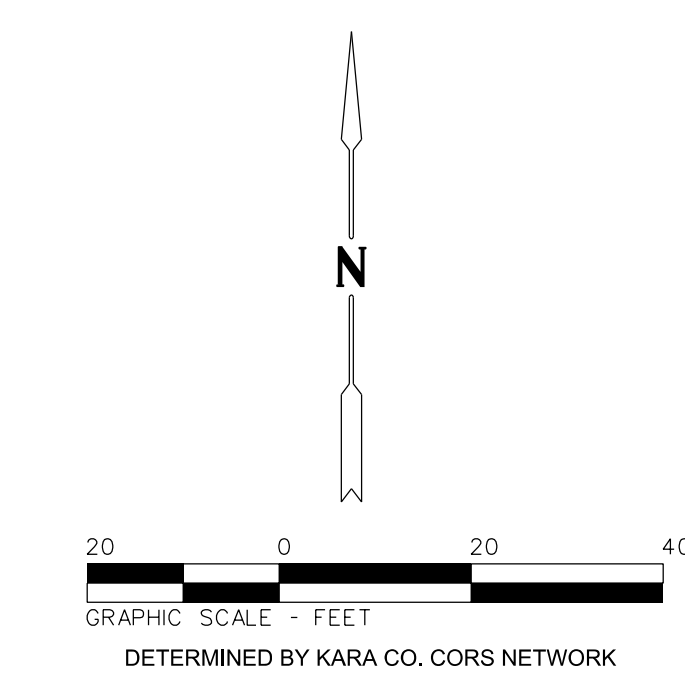
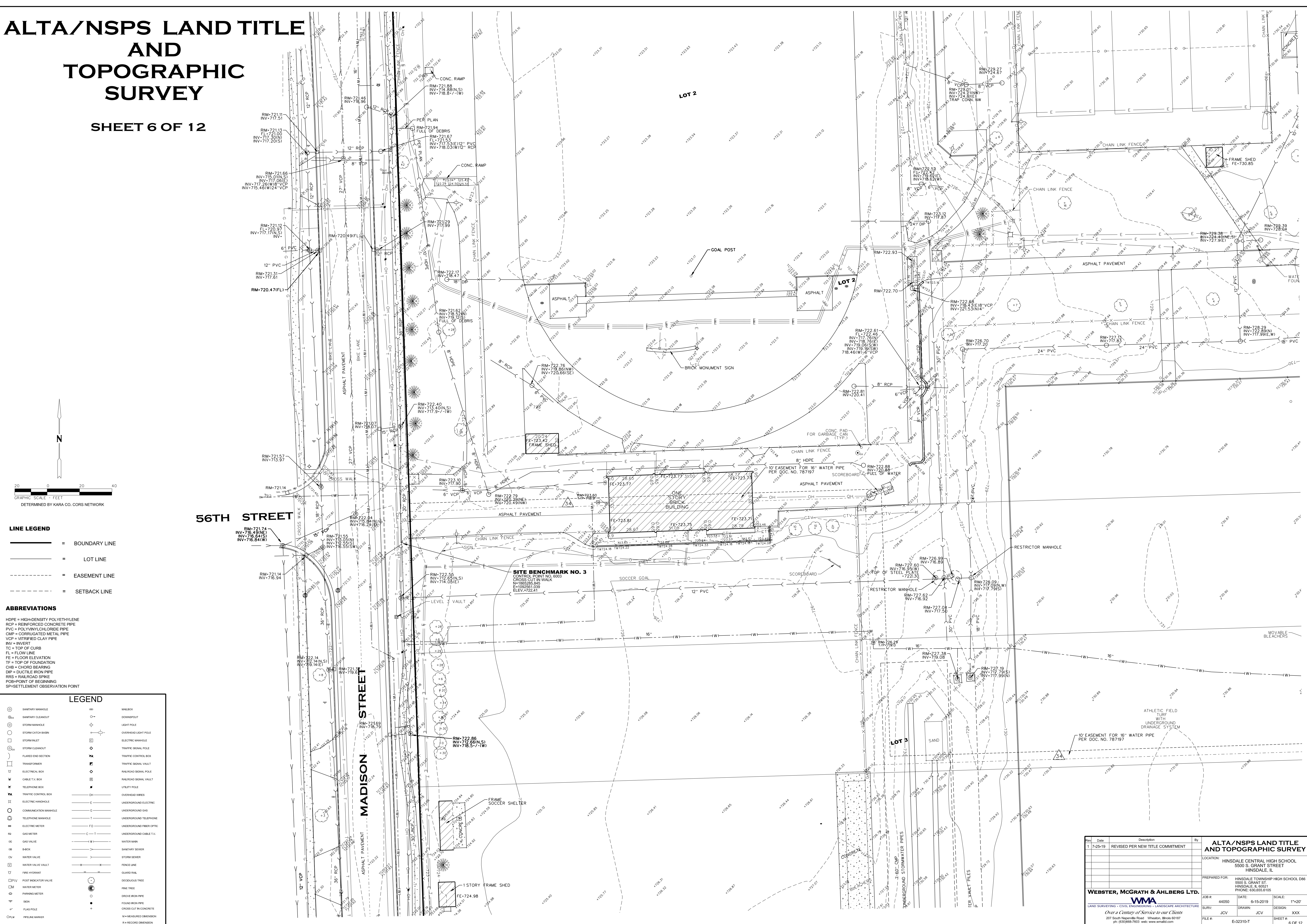
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Design Firm License No. 184-020101

JOB #: 44050 DATE: 6-15-2019 SCALE: 1"=20'
SURV: JCV DRAWN: JCV DESIGN: JCV
FILE #: E-32310-T SHEET #: 5 OF 12

7/5/2019 12:15:23 PM

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 6 OF 12



- LINE LEGEND**
- = BOUNDARY LINE
 - = LOT LINE
 - = EASEMENT LINE
 - = SETBACK LINE

- ABBREVIATIONS**
- HDPE = HIGH-DENSITY POLYETHYLENE
 - RCP = REINFORCED CONCRETE PIPE
 - PVC = POLYVINYLCHLORIDE PIPE
 - CMP = CORRUGATED METAL PIPE
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 - DIP = DUCTILE IRON PIPE
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 - POB=POINT OF BEGINNING
 - SP=SETTLEMENT OBSERVATION POINT

- LEGEND**
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Rev.	Date	Description	By
1	7-25-19	REVISED PER NEW TITLE COMMITMENT	

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT STREET
HINSDALE, IL

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

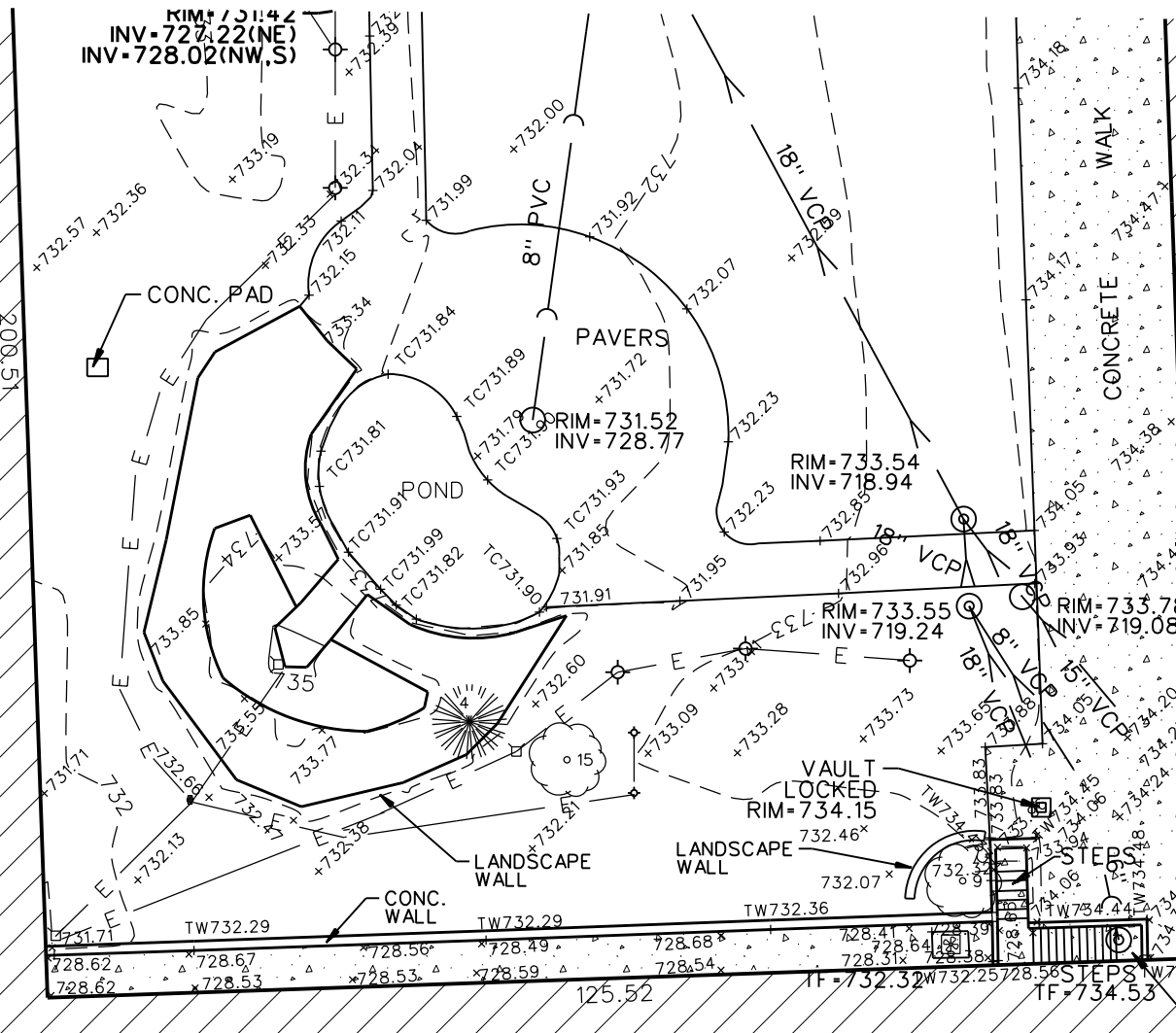
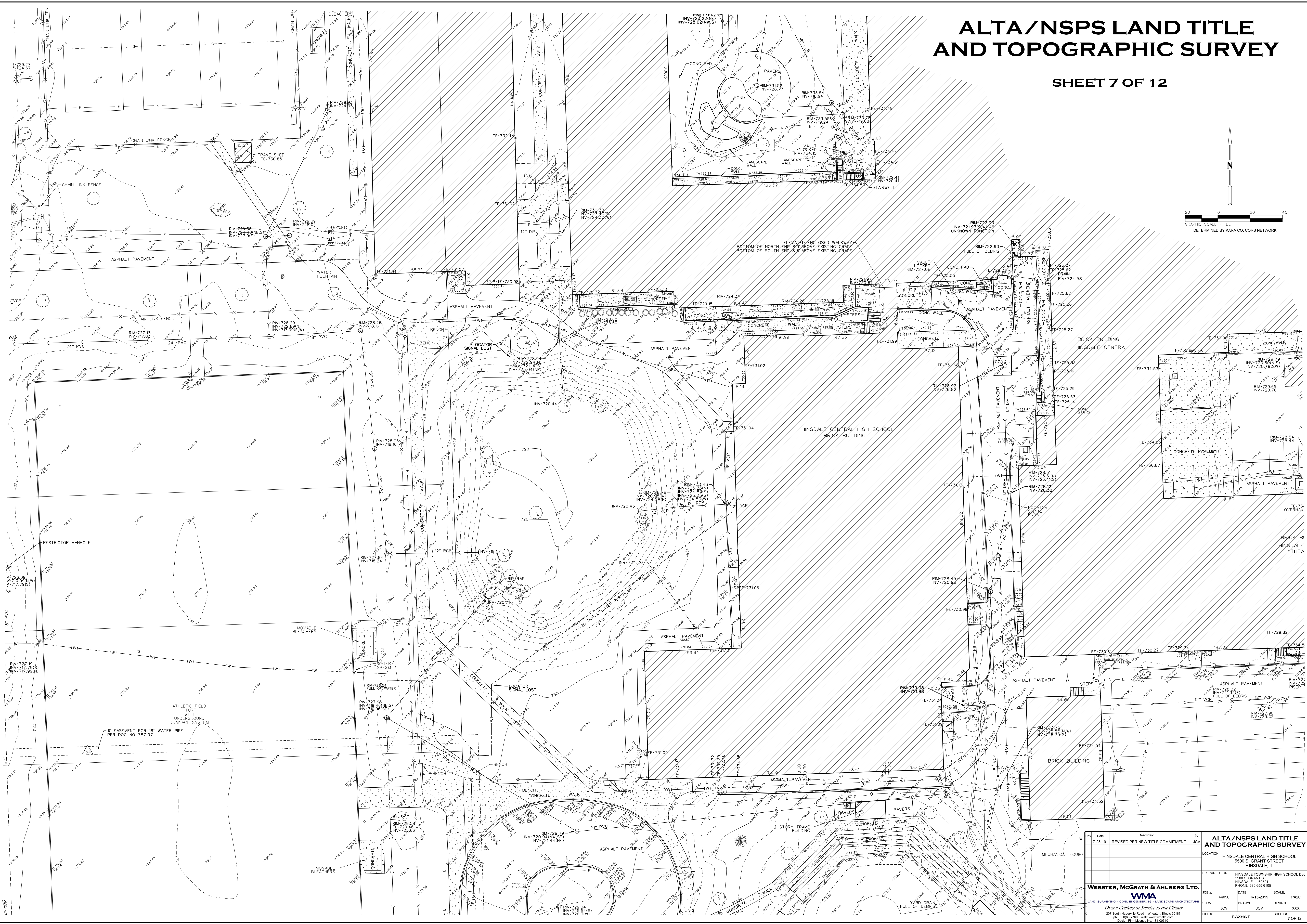
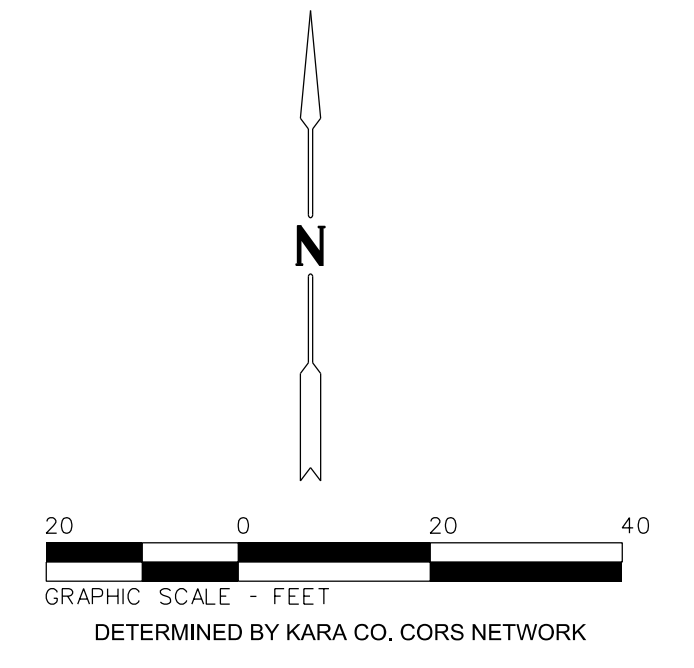
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PH: (630)968-7600 www.vma.com
Design Firm License No. 184-0003101

JOB #: 44050 DATE: 6-15-2019 SCALE: 1"=20'
SURV: JCV DRAWN: JCV DESIGN: XXX
FILE #: E-32310-T SHEET #: 6 OF 12

7/25/2019 9:39:52 AM

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 7 OF 12



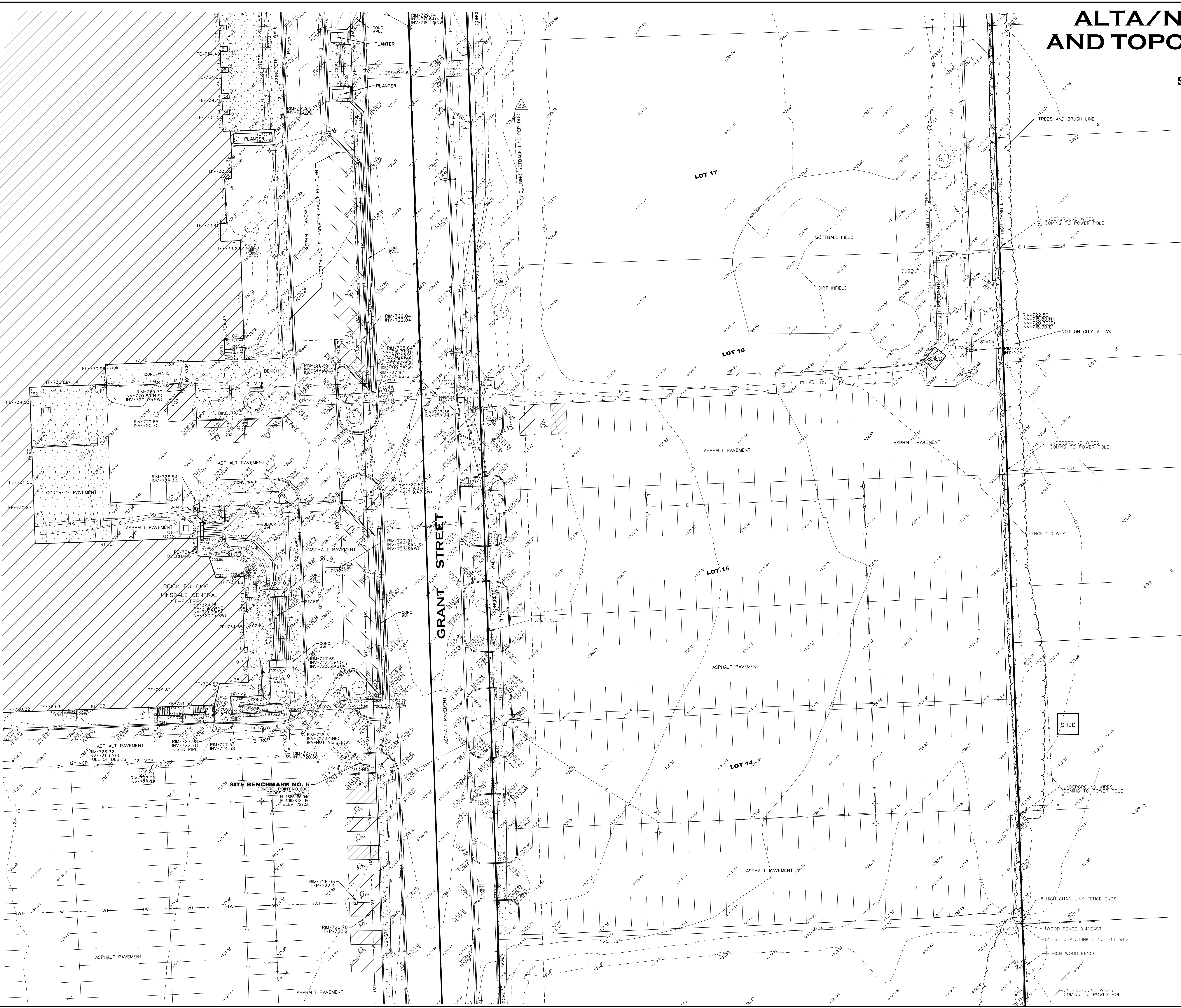
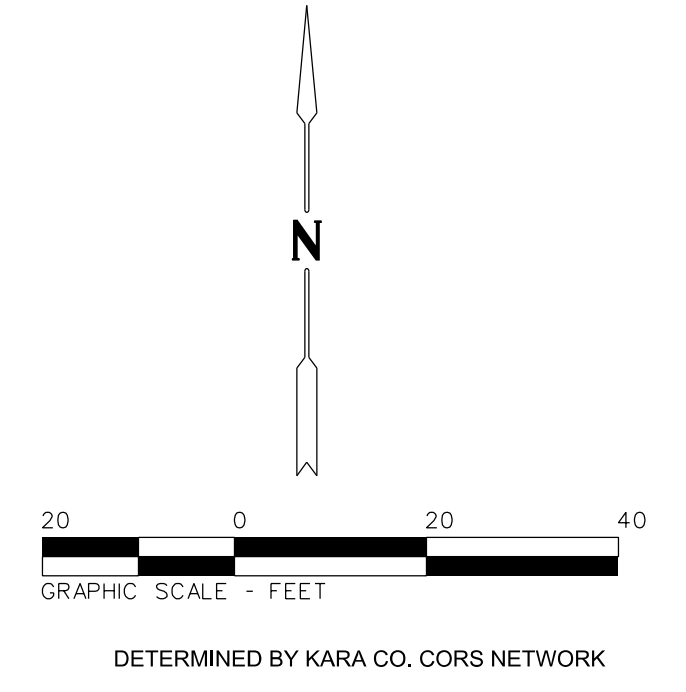
Rev.	Date	Description	By
1	7-25-19	REVISED PER NEW TITLE COMMITMENT	JCV

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY	
LOCATION:	HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, IL
PREPARED FOR:	HINSDALE TOWNSHIP HIGH SCHOOL DBE 5500 S. GRANT ST. HINSDALE, IL 60521 PHONE: 630.855.8105
JOB #:	44050
DATE:	6-15-2019
SCALE:	1"=20'
SURV:	JCV
DRAWN:	JCV
DESIGN:	XXX
FILE #:	E-32310-T
SHEET #:	7 OF 12

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ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 8 OF 12



LEGEND			
⊙	SANITARY MARKHOLE	⊙	WALBOX
⊙	SANITARY CLEANOUT	⊙	DOWNPOUT
⊙	STORM MANHOLE	⊙	LIGHT POLE
⊙	STORM CATCH BASIN	⊙	OVERHEAD LIGHT POLE
⊙	STORM INLET	⊙	ELECTRIC MANHOLE
⊙	STORM CLEANOUT	⊙	TRAFFIC SIGNAL POLE
⊙	FLARED END SECTION	⊙	TRAFFIC CONTROL BOX
⊙	ELECTRICAL BOX	⊙	TRAFFIC SIGNAL VAULT
⊙	CABLE TV BOX	⊙	RAILROAD SIGNAL VAULT
⊙	TELEPHONE BOX	⊙	UTILITY POLE
⊙	TRAFFIC CONTROL BOX	⊙	OVERHEAD WIRES
⊙	ELECTRIC MANHOLE	⊙	UNDERGROUND ELECTRIC
⊙	COMMUNICATION MANHOLE	⊙	UNDERGROUND GAS
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND TELEPHONE
⊙	ELECTRIC METER	⊙	UNDERGROUND FIBER OPTIC
⊙	GAS METER	⊙	UNDERGROUND CABLE T.V.
⊙	GAS VALVE	⊙	WATER MAIN
⊙	S-BOX	⊙	SANITARY SEWER
⊙	WATER VALVE	⊙	STORM SEWER
⊙	WATER VALVE VAULT	⊙	FENCE LINE
⊙	FIRE HYDRANT	⊙	GUARD RAIL
⊙	POST INDICATOR VALVE	⊙	DECIDUOUS TREE
⊙	WATER METER	⊙	PIKE TREE
⊙	PARKING METER	⊙	DRIVE BOX PIPE
⊙	SIEN	⊙	FOUL BOX PIPE
⊙	FLAG POLE	⊙	CROSS CUT IN CONCRETE
⊙	PELAGE MARKER	⊙	M = MEASURED DIMENSION
		⊙	R = RECORD DIMENSION

Rev	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT STREET
HINSDALE, IL

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

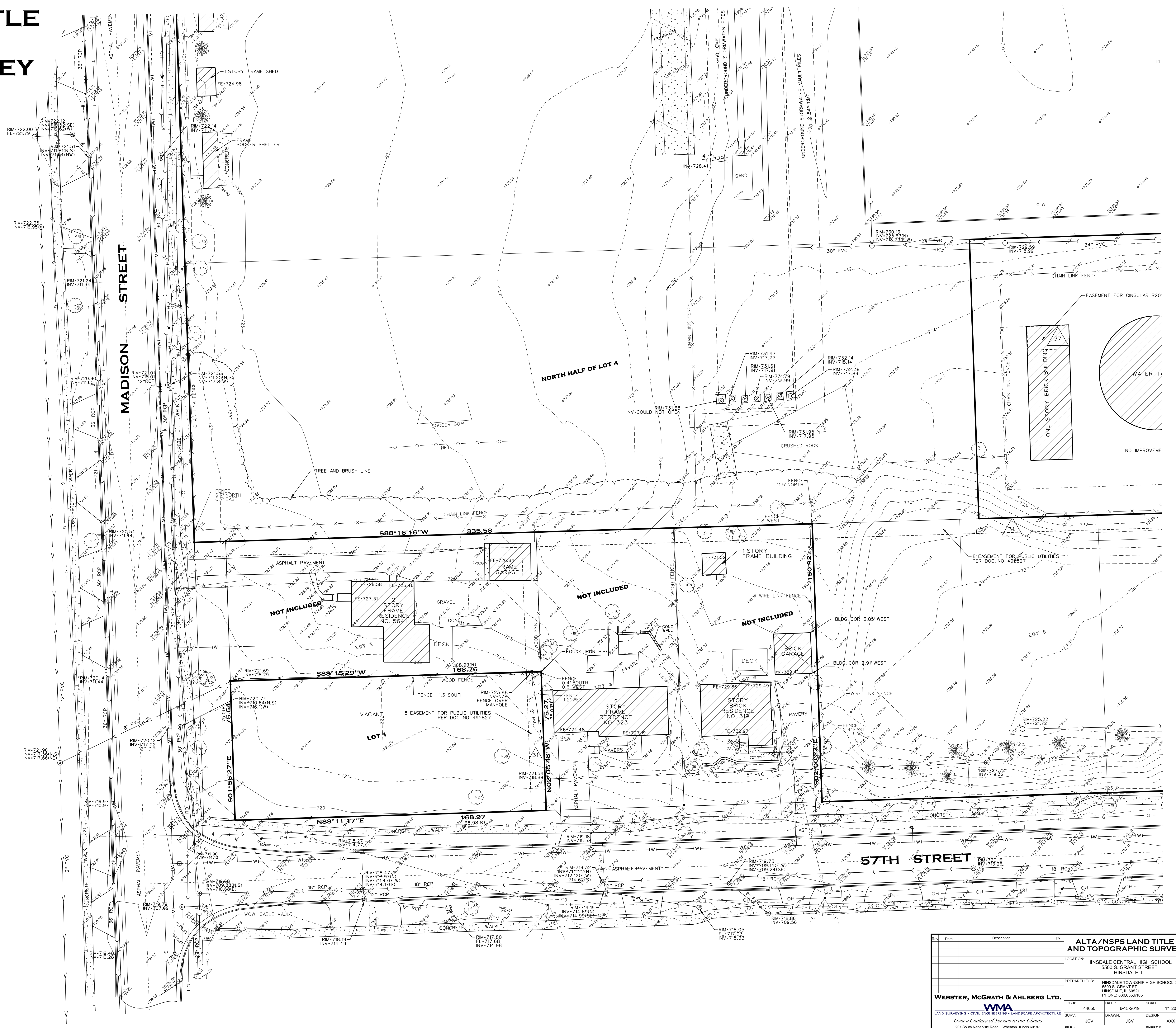
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JOB #: 44050 DATE: 6-15-2019 SCALE: 1"=20'
SURV: JCV DRAWN: JCV DESIGN: XXX
FILE #: E-32310-T SHEET #: 8 OF 12

7/5/2019 12:41:59 PM

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 9 OF 12



BASIS OF BEARINGS
DETERMINED BY KARA CO. CORS NETWORK

- LINE LEGEND**
- = BOUNDARY LINE
 - = LOT LINE
 - = EASEMENT LINE
 - = SETBACK LINE

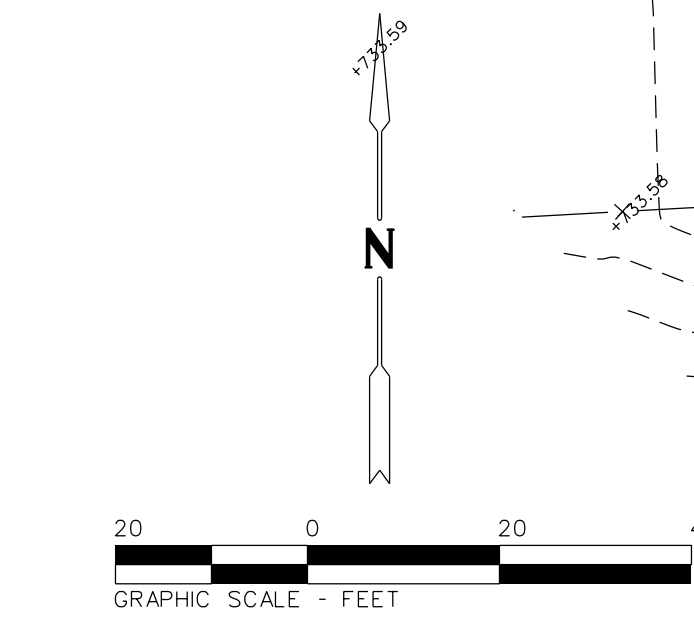
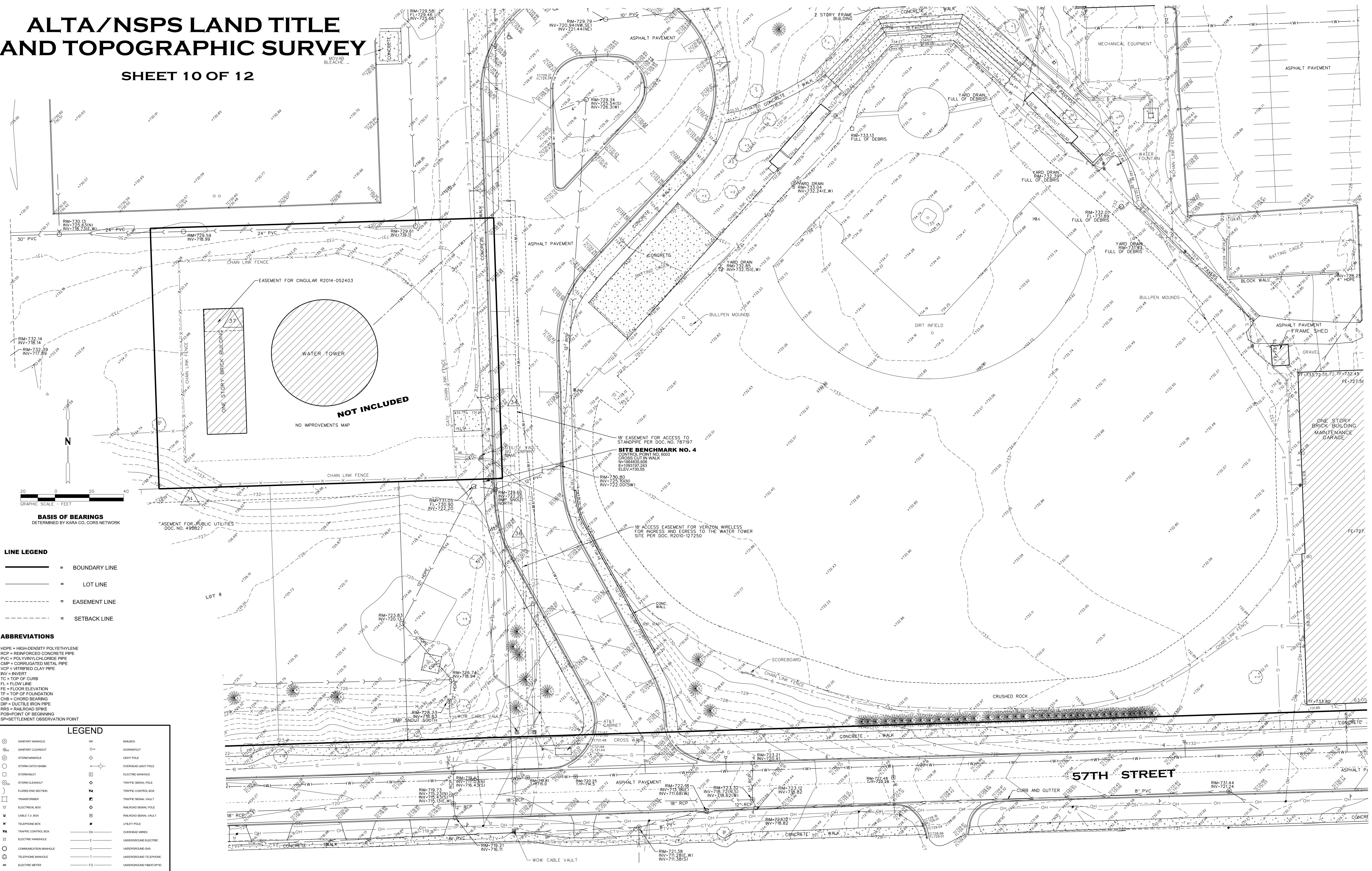
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 - SPISSETTLEMENT OBSERVATION POINT

- LEGEND**
- | | | |
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<p>WEBSTER, MCGRATH & AHLBERG LTD. LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE Over a Century of Service to our Clients 207 South Naperville Road - Naperville, Illinois 60563 PH: (630) 682-7600 www.wma.com Design Firm License No. 184-000101</p>	<p>ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY</p> <p>LOCATION: HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, IL</p> <p>PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS 5500 S. GRANT ST. HINSDALE, IL 60521 PHONE: 630.655.8105</p> <p>JOB #: 44050 DATE: 6-15-2019 SCALE: 1"=20' SURV: JCV DRAWN: JCV DESIGN: XXX FILE #: E-32310-T SHEET #: 9 OF 12</p>
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ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 10 OF 12



BASIS OF BEARINGS
DETERMINED BY KARA CO. CORS NETWORK

- LINE LEGEND**
- = BOUNDARY LINE
 - = LOT LINE
 - - - = EASEMENT LINE
 - - - = SETBACK LINE

- ABBREVIATIONS**
- HDPE = HIGH-DENSITY POLYETHYLENE
 - RCP = REINFORCED CONCRETE PIPE
 - PVC = POLYVINYLCHLORIDE PIPE
 - CMP = CORRUGATED METAL PIPE
 - VCP = VITRIFIED CLAY PIPE
 - INV = INVERT
 - TC = TOP OF CURB
 - FL = FLOW LINE
 - FE = FLOOR ELEVATION
 - TF = TOP OF FOUNDATION
 - CHB = CHORD BEARING
 - DIP = DUCTILE IRON PIPE
 - RRS = RAILROAD SPIKE
 - POB = POINT OF BEGINNING
 - SP = SETTLEMENT OBSERVATION POINT

- LEGEND**
- | | | | |
|---|-----------------------|---|-------------------------|
| ○ | STANDARD BENCHMARK | ○ | WALKBOX |
| ○ | STANDARD CLEANOUT | ○ | DOWNSPOUT |
| ○ | STORM MANHOLE | ○ | LIGHT POLE |
| ○ | STORM GATE/BOX | ○ | OVERHEAD LIGHT POLE |
| ○ | STORM VENT | ○ | ELECTRIC MANHOLE |
| ○ | STORM CLEANOUT | ○ | TRAFFIC SIGNAL POLE |
| ○ | FLARED END SECTION | ○ | TRAFFIC CONTROL BOX |
| ○ | TRANSFORMER | ○ | TRAFFIC SIGNAL VAULT |
| ○ | ELECTRICAL BOX | ○ | RAILROAD SIGNAL POLE |
| ○ | CABLE TV BOX | ○ | RAILROAD SIGNAL VAULT |
| ○ | TELEPHONE BOX | ○ | UTILITY POLE |
| ○ | TRAFFIC CONTROL BOX | ○ | OVERHEAD WIRES |
| ○ | ELECTRIC HANDHOLE | ○ | UNDERGROUND ELECTRIC |
| ○ | COMMUNICATION MANHOLE | ○ | UNDERGROUND GAS |
| ○ | TELEPHONE MANHOLE | ○ | UNDERGROUND TELEPHONE |
| ○ | ELECTRIC METER | ○ | UNDERGROUND FIBER OPTIC |
| ○ | GAS METER | ○ | UNDERGROUND CABLE TV |
| ○ | GAS VALVE | ○ | WATER MAIN |
| ○ | BOX | ○ | SANITARY SEWER |
| ○ | WATER VALVE | ○ | STORM SEWER |
| ○ | WATER VALVE VAULT | ○ | FENCE LINE |
| ○ | FIRE HYDRANT | ○ | GUARD RAIL |
| ○ | POST MISC/OFF VALVE | ○ | DECEADOUS TREE |
| ○ | WATER METER | ○ | PINE TREE |
| ○ | PARKING METER | ○ | DROVE IRON PIPE |
| ○ | BOX | ○ | FOUND IRON PIPE |
| ○ | FLAG POLE | ○ | ORIG. CUT IN CONCRETE |
| ○ | PIPELINE MARKER | ○ | M-MEASURED DIMENSION |
| | | ○ | R-RECORD DIMENSION |

Rev	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT ST.
HINSDALE, IL

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

WEBSTER, MCGRATH & AHLBERG LTD.

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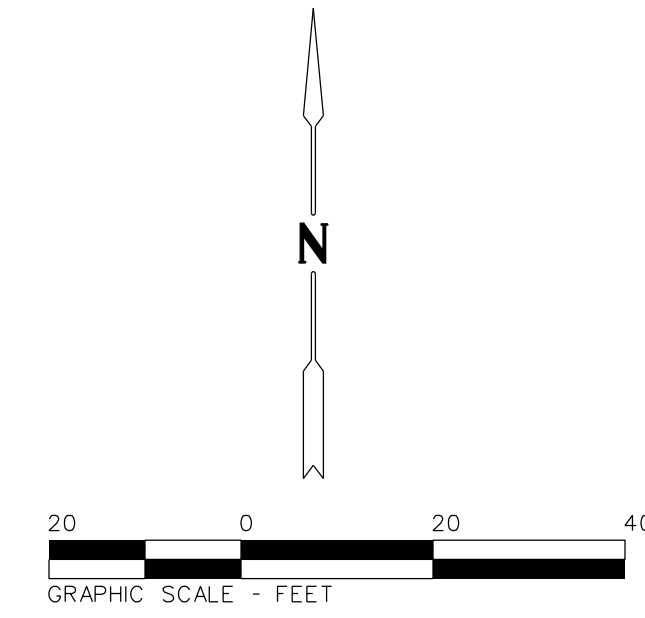
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PH: (630)662-7500 www.vma.com
Design Firm License No. 184-000101

JOB #	DATE	SCALE
44050	6-15-2019	1"=20'
SURV	DRAWN	DESIGN
JCV	JCV	XXX
FILE #	E-32310-T	SHEET #
		10 OF 12

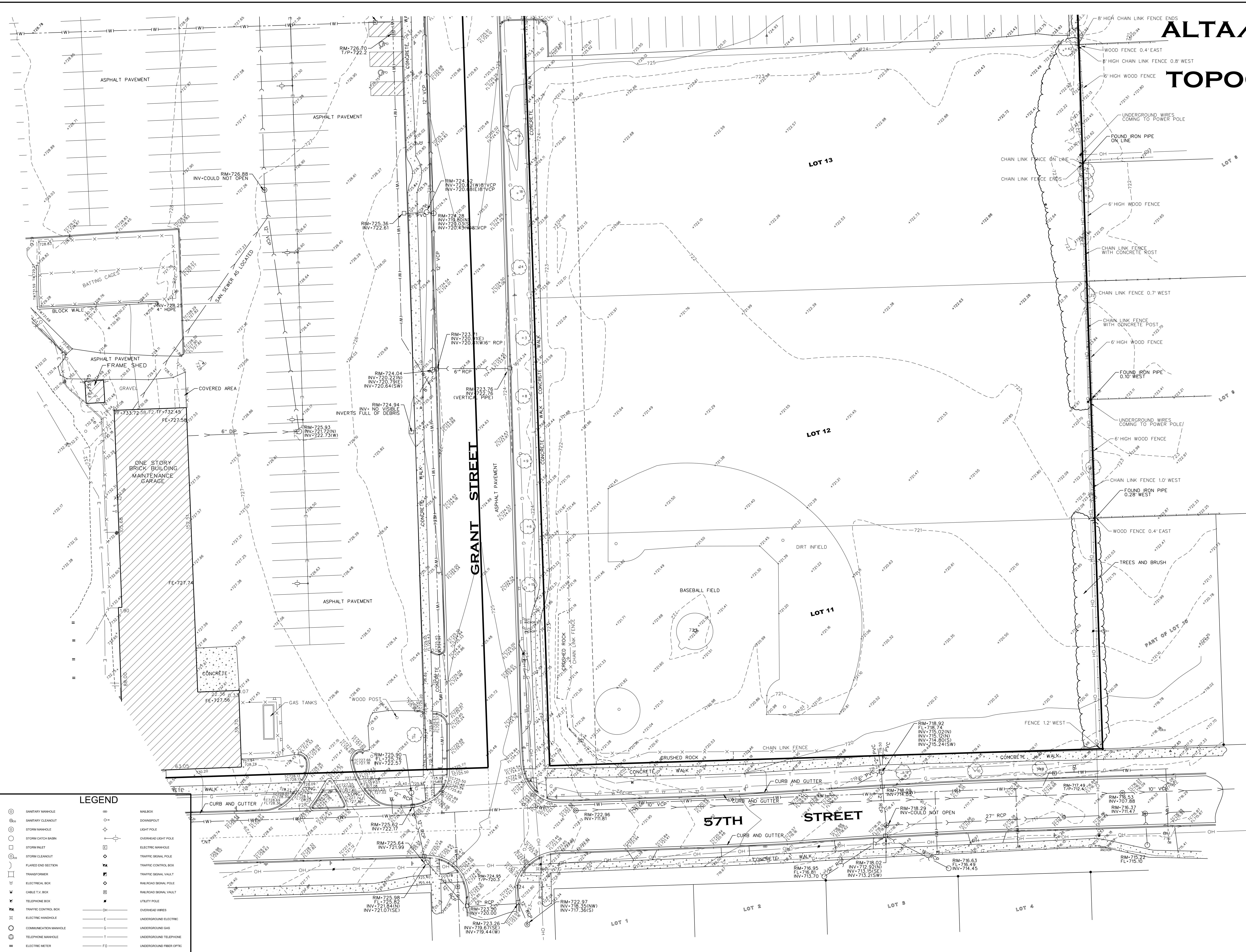
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ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 11 OF 12



BASIS OF BEARINGS
DETERMINED BY KARA CO. CORS NETWORK



LEGEND

○	SANITARY MANHOLE	○	WALK BOX
○	SANITARY CLEANOUT	○	DOWNPOUT
○	STORM MANHOLE	○	LIGHT POLE
○	STORM GATCH BASIN	○	OVERHEAD LIGHT POLE
○	STORM INLET	○	ELECTRIC MANHOLE
○	STORM CLEANOUT	○	TRAFFIC SIGNAL POLE
○	TRANSFORMER	○	TRAFFIC CONTROL BOX
○	ELECTRICAL BOX	○	TRAFFIC SIGNAL VAULT
○	CABLE TV BOX	○	RAILROAD SIGNAL VAULT
○	TELEPHONE BOX	○	UTILITY POLE
○	TRAFFIC CONTROL BOX	○	OVERHEAD WIRES
○	ELECTRIC HANGAR	○	UNDERGROUND ELECTRIC
○	COMBINATION MANHOLE	○	UNDERGROUND GAS
○	TELEPHONE MANHOLE	○	UNDERGROUND TELEPHONE
○	ELECTRIC METER	○	UNDERGROUND FIBER OPTIC
○	GAS METER	○	UNDERGROUND CABLE TV
○	GAS VALVE	○	WATER MAN
○	BACK	○	SANITARY SEWER
○	WATER VALVE	○	STORM SEWER
○	WATER VALVE VAULT	○	FENCE LINE
○	FIRE HYDRANT	○	DECEADOUS TREE
○	PROT INDICATOR VALVE	○	PINE TREE
○	WATER METER	○	DRIVE RICK POLE
○	PARKING METER	○	FOUND IRON PIPE
○	BOX	○	ORIGINS OF CONCRETE
○	FLAG POLE	○	M-MEASURED DIMENSION
○	PIPELINE MARKER	○	R-RECORD DIMENSION

ABBREVIATIONS

HDPPE = HIGH-DENSITY POLYETHYLENE
RCP = REINFORCED CONCRETE PIPE
PVC = POLYVINYLCHLORIDE PIPE
CMP = CORRUGATED METAL PIPE
VCP = VITRIFIED CLAY PIPE

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TF = TOP OF FOUNDATION
CHB = CHORD BEARING
DIP = DUCTILE IRON PIPE
RRS = RAILROAD SPRING
POB = POINT OF BEGINNING
SPO = SETTLEMENT OBSERVATION POINT

LINE LEGEND

— = BOUNDARY LINE
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- - - - - = SETBACK LINE

Rev	Date	Description	By

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

LOCATION: HINSDALE CENTRAL HIGH SCHOOL
5500 S. GRANT ST.
HINSDALE, IL 60521
PHONE: 630.855.8105

PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DBS

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		11 OF 12

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ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY

SHEET 12 OF 12

SCHEDULE B SURVEY ITEMS

FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT, FILE NO. 2977574, WITH AN EFFECTIVE DATE JUNE 25, 2019.

28. RIGHTS OF WAY FOR DRAINAGE TILES, DITCHES, FEEDERS AND LATERALS. VISIBLE STRUCTURES ARE SHOWN HEREON.
29. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR ROAD PURPOSES. GRANT STREET IS SHOWN HEREON.
30. RIGHTS OF THE INTERESTED PARTIES TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATERS OF THE STREAM WHICH MAY FLOW ON OR THROUGH THE LAND. NO STREAMS WERE OBSERVED.
31. EASEMENTS FOR PUBLIC UTILITIES, AS SHOWN ON THE PENZES PLAT OF SUBDIVISION ARE SHOWN HEREON.
32. EASEMENT PROVISIONS NOTED ON THE PLAT OF SUBDIVISION APPLY AND AFFECT THE SUBJECT PROPERTY.
33. BUILDING SETBACK LINE SHOWN ON THE BRAINIGAR BROS. HINSDALE FARMS PLAT OF SUBDIVISION IS SHOWN HEREON.
34. AGREEMENT FOR EASEMENTS FOR THE VILLAGE OF HINSDALE RECORDED AS DOCUMENT NO. 787107 FOR A CAST IRON WATER PIPE, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. EASEMENTS ARE SHOWN HEREON.
35. EASEMENT AGREEMENT WITH THE VILLAGE OF HINSDALE RECORDED AS DOCUMENT NO. R91-256252 FOR THE PURPOSE OF INSTALLING HIGHWAY IMPROVEMENTS, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. EASEMENT IS PLOTTED HEREON.
36. MEMORANDUM OF GRANT OF EASEMENT RECORDED AS DOCUMENT NO. R2019-127250, MADE BY AND BETWEEN BOARD OF EDUCATION OF HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT NO. 86, DUPAGE AND COOK COUNTIES, ILLINOIS AND CHICAGO SMSA LIMITED PARTNERSHIP, DBIA VERIZON WIRELESS, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. EASEMENT IS PLOTTED HEREON.
37. MEMORANDUM OF EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. R2014-052403 MADE BY AND BETWEEN BOARD OF EDUCATION OF HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 86 AND NEW CIRCULAR WIRELESS PCS, LLC, AND THE TERMS AND CONDITIONS CONTAINED THEREIN.
38. AGREEMENT BETWEEN THE VILLAGE OF HINSDALE AND THE BOARD OF EDUCATION OF SCHOOL DISTRICT 86 RECORDED AS DOCUMENT NO. R2001-056072 FOR THE REGULATION OF TRAFFIC, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. APPLYS AND AFFECTS - SEE DOCUMENT FOR LOCATIONS.
39. AGREEMENT BETWEEN THE VILLAGE OF HINSDALE AND HINSDALE TOWNSHIP HIGH SCHOOL DISTRICT 86 RECORDED AS DOCUMENT NO. R2019-081650, AND THE TERMS AND CONDITIONS CONTAINED THEREIN. APPLYS AND AFFECTS -SEE DOCUMENT FOR LOCATIONS.
40. THE PROPERTY IS SUBJECT TO RESTRICTIONS CONTAINED IN PARAGRAPH 5 OF A CONTRACT DATED OCTOBER 21, 1997, AS DISCLOSED BY A TRUSTEE'S DEED RECORDED AS DOCUMENT NO. R97-183981. CONTRACT NOT ATTACHED TO DOCUMENT AND THE AFFECTS ON THE PROPERTY ARE UNKNOWN.

UTILITY INFORMATION

A J.U.L.I.E. DESIGN STAGE UTILITY REQUEST WAS ORDERED BY THE SURVEYOR ON DECEMBER 18, 2017 DIG NO. X3520024. THE FOLLOWING UTILITY COMPANIES WERE CONTACTED:

ATT DISTRIBUTION CONTACT: NONE PROVIDED PHONE: 630.573.5450 MAP REQUESTED	DUPAGE COUNTY PUBLIC WORKS WILLIAM EIDSON PHONE: 630.407.6900 NO MAPS PROVIDED
COMED JOLIET CONTACT: NONE PROVIDED PHONE: 630.576.7094 MAP PROVIDED	NICOR CONTACT: UTILITY CONSULTANT 603W PHONE: 630.388.2262 MAP REQUESTED
COMCAST BLUE ISLAND CONTACT: MARTHA GIERAS PHONE: 630.671.5671 MAP REQUESTED	VILLAGE OF HINSDALE CONTACT: DAN DEETER PHONE: 630.789.7030 MAPS PROVIDED - DATE OF LAST REVISION EARLY LATE 80'S
FLAGG CREEK WATER RECLAMATION DISTRICT CONTACT: JIM LUBRICH PHONE: 630.323.3299 MAP PROVIDED - NO SIZES ON MAP	DUPAGE WATER COMMISSION CONTACT: KEN NILES PHONE: 630.516.1932 NO MAPS PROVIDED

UTILITIES SHOWN HEREON ARE FROM ABOVE GROUND OBSERVATIONS, MANHOLE INSPECTIONS, ENGINEERING PLANS, PRIVATE UTILITY LOCATING, PLANS PROVIDED BY THE SCHOOL, AND MAPS BY THE UTILITIES COMPANIES LISTED BELOW AT THE TIME THIS SURVEY WAS PERFORMED AND MAY NOT DEPICT ALL EXISTING UNDERGROUND INSTALLATIONS.

FLOOD ZONE CLASSIFICATION

AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 17043C 0909H FOR DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004, THIS PROPERTY IS IN ZONES X, AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

LEGEND

⊙	SANITARY MANHOLE	⊞	WELL BOX
⊙	SANITARY CLEANOUT	⊞	DOWNSPOUT
⊙	STORM MANHOLE	⊞	LIGHT POLE
⊙	STORM GATCH BASIN	⊞	OVERHEAD LIGHT POLE
⊙	STORM INLET	⊞	ELECTRIC MANHOLE
⊙	STORM CLEANOUT	⊞	TRAFFIC SIGNAL POLE
⊙	FLARED END SECTION	⊞	TRAFFIC CONTROL BOX
⊙	TRANSFORMER	⊞	TRAFFIC SIGNAL VAULT
⊙	ELECTRICAL BOX	⊞	RAILROAD SIGNAL POLE
⊙	CABLE T.V. BOX	⊞	RAILROAD SIGNAL VAULT
⊙	TELEPHONE BOX	⊞	UTILITY POLE
⊙	TRAFFIC CONTROL BOX	— OH —	OVERHEAD WIRES
⊙	ELECTRIC MANHOLE	— E —	UNDERGROUND ELECTRIC
⊙	COMMUNICATION MANHOLE	— G —	UNDERGROUND GAS
⊙	TELEPHONE MANHOLE	— T —	UNDERGROUND TELEPHONE
⊙	ELECTRIC METER	— F —	UNDERGROUND FIBER OPTIC
⊙	GAS METER	— C —	UNDERGROUND CABLE T.V.
⊙	GAS VALVE	— W —	WATER MAIN
⊙	BOX	— S —	SANITARY SEWER
⊙	WATER VALVE	— ST —	STORM SEWER
⊙	WATER VALVE VAULT	— F —	FENCE LINE
⊙	FIRE HYDRANT	— G —	GUARD RAIL
⊙	POST INDICATOR VALVE	⊙	DECEADOUS TREE
⊙	WATER METER	⊙	PIKE TREE
⊙	PARKING METER	⊙	DRIVE INCH PIPE
⊙	BOX	⊙	FOUND IRON PIPE
⊙	FLAG POLE	⊙	CONCRETE CURB OR CONCRETE
⊙	PIPELINE MARKER	⊙	M=MEASURED DIMENSION R=RECORD DIMENSION

ABBREVIATIONS

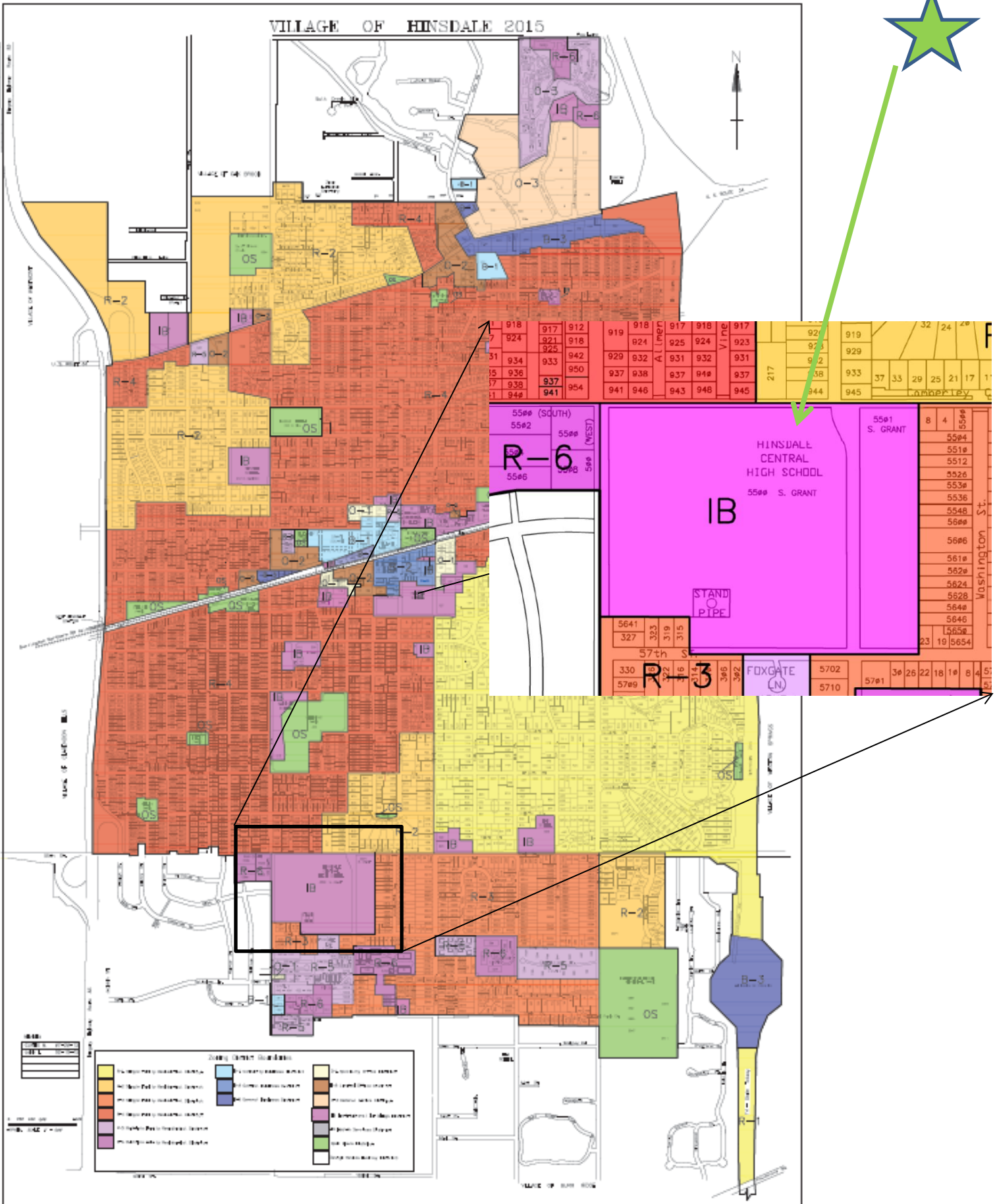
HDRP = HIGH-DENSITY POLYETHYLENE
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Rev.	Date	Description	By	ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY					
				LOCATION: HINSDALE CENTRAL HIGH SCHOOL 5500 S. GRANT STREET HINSDALE, IL					
				PREPARED FOR: HINSDALE TOWNSHIP HIGH SCHOOL DB6 5500 S. GRANT ST. HINSDALE, IL 60521 PHONE: 630.855.8105					
WEBSTER, McGRATH & AHLBERG LTD.				JOB #:	44050	DATE:	5-15-2019	SCALE:	1"=20'
LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE				SURV:	JCV	DRAWN:	JCV	DESIGN:	XXX
Over a Century of Service to our Clients 207 South Naperville Road - Wheaton, Illinois 60187 PH: (630)982-7000 www.wmala.com Design Firm License No. 184-00101				FILE #:	E-32310-T	SHEET #:	12 OF 12		

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View Facing West from Grant Street – Proposed Location of Fine Arts Addition/Entry Plaza



Attachment 4: Aerial View of Hinsdale Central High School Campus, 5500 S. Grant St.



< Fri Oct 18 2019 >

Vertical



7a

MEMORANDUM

TO: Chairman Neiman and Members of the Zoning Board of Appeals

FROM: Robert McGinnis MCP
Director of Community Development/Building Commissioner

DATE: December 9, 2020

RE: Zoning Variation – V-06-20; 5500 S. Grant (Hinsdale Central High School)

In this application for variation, the applicant requests relief from;

1. 7-310, & 9-107(H) 2&3 in order to construct a grandstand and press box structure within the corner side yard setback.
2. 9-12-3(D) & (E) in order to replace the perimeter chain link fencing around the grandstand and press box structure.
3. 7-310 in order to construct a ticket booth that exceeds the allowable height for an accessory structure.
4. 9-12-3(D) & (E) in order to replace the chain link fencing backstop around the varsity baseball field.
5. 9-12-3(D) & (E) in order to install chain link fencing around the junior varsity softball and baseball field, and varsity baseball field.
6. 7-310 in order to install parking lot light fixtures that exceed the allowable height.

This relief is being requested in order to replace and/or construct new improvements as part of the capital improvement program for Hinsdale Central High School.

It should be noted that this project will move on to both the Plan Commission and the Board of Trustees once the ZBA renders its decision. The ZBA has final authority on the request for an increase in fence height and permitted materials, and setback for the grandstand and press box structure. The balance will move on to the Board of Trustees as a recommendation.

cc: Kathleen A. Gargano, Village Manager
Zoning file V-06-20