



MEETING AGENDA

On August 21, 2020, Governor Pritzker entered the latest in a string of emergency declarations related to the COVID-19 pandemic. In light of that declaration, and consistent with various Executive Orders entered by the Governor, and the recent amendments made to the Open Meetings Act in Public Act 101-640, this meeting will be conducted electronically. The meeting will still be broadcast live on Channel 6 and the Village website.

Public comments are welcome on any topic related to the business of the Plan Commission at Regular and Special Meetings. For public comment procedures for this electronic meeting, please see the bottom of this agenda.

**MEETING OF THE
PLAN COMMISSION
Wednesday, October 14, 2020
7:30 P.M.**

**Note: Due to the ongoing public health emergency, this meeting is being conducted electronically. Memorial Hall remains closed to the public, and no physical public access to the meeting site will be available. See the bottom of this agenda and the Village website on how to participate electronically in this Meeting. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website
(Tentative & Subject to Change)**

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT (On Non-Agenda Items)

4. MINUTES – September 9, 2020, Plan Commission Meeting

5. SIGN PERMIT REVIEW

- a) Case A-26-2020 – 115 S. Vine St. – Life Insight Therapy Collective — 1 New Wall Sign

6. FINDINGS AND RECOMMENDATIONS

- a) Case A-20-2020 – McNaughton Development – Planned Development Concept Plan, Special Use Permit and Exterior Appearance/Site Plan to develop 20.9 acres (of 37.1 acre site) at 4S010 Madison Street (North of Ogden Ave. and East of Adams St.) for a 46 Single Family Detached Home Planned Development in the R-2 Single Family Residential District.
- b) Case A-23-2020 – 16 E. 1st Street – Nabuki - Exterior Appearance Review to renovate front façade for restaurant expansion in the B-2 Central Business District.

7. PUBLIC HEARING

- a) Case A-22-2020 – 222 E. Ogden Avenue - Lakeside Bank – Special Use Permit and Exterior Appearance and Site Plan for a new 2-story tall Lakeside Bank with 2 drive-thru lanes in the B-3 General Business District. (*continued from Sept. 09, 2020, PC meeting)

8. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Plan Commission at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. Please include a subject line indicating to which matter your written or emailed comments pertain.

While emailed or written comments or testimony are strongly encouraged, public testimony, comments or cross-examination may also be made by persons who have pre-registered with the Village. Persons may pre-register to provide live public testimony, comments or to cross-exam witnesses by emailing Village Clerk Christine Bruton at cbruton@villageofhinsdale.org prior to 4:30 p.m. on the day of the hearing. Please use the subject line "Pre-Registration" and specify the matter on which you would like to speak when sending your email. Persons who have pre-registered may then phone into the meeting to join the Zoom meeting following the instructions below.

It is recommended that guests join by computer or mobile device for the best experience. Computer and mobile device users may join a meeting by using the free Zoom app.

Join from a computer simply click on this link: <https://rb.gy/oismqd>

Join from a mobile device simply click on this link: <https://rb.gy/oismqd>

Or join the ZOOM meeting by phone:

Dial(for higher quality, dial a number based on your current location):

+1 312 626 6799

Webinar ID: 970 9827 9594

Password: 729111

Persons who have pre-registered to provide live testimony, comments or cross-examination on a matter will be called on in the order in which they registered during the portion of the hearing reserved for such public testimony, comments or cross-examination.

All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read.

If you have questions regarding communication to the Commission during the meeting, please contact Village Planner, Chan at 630.789.7035.

Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. Web Site: www.villageofhinsdale.org

Approved

**MINUTES
VILLAGE OF HINSDALE
PLAN COMMISSION
September 9, 2020
MEMORIAL HALL
6:30 P.M.**

Plan Commission Chairman Cashman called the special meeting to order at 6:30 p.m., Wednesday, September 9, 2020, conducted electronically, with a live audio stream of the meeting available to the public via Channel 6 and on the Village website.

PRESENT: Steve Cashman, Michelle Fisher, Julie Crnovich, Jim Krillenberger, Anna Fiascone, and Gerald Jablonski

ABSENT: Troy Unell and Mark Willobee

ALSO PRESENT: Chan Yu, Village Planner, Robb McGinnis, Director of Community Development, Michael Marrs, Village Attorney, and applicants for cases: A-18-2020, A-20-2020, A-21-2020 and A-23-2020

Approval of Minutes – July 8, 2020

With no questions or comments, the Plan Commission (PC) **unanimously approved** the August 12, 2020, minutes, as submitted, 5-0, (3 absent).

Sign Permit Review - Case A-18-2020 – 24 Chicago Ave. Unit B – Cryoeffect – 1 New Illuminated Wall Sign

The sign applicant representing Cryoeffect reviewed the Historic Preservation Commission (HPC) meeting the week prior, and now incorporates the HPC's feedback into the all-white sign.

Chairman Cashman also reviewed the unanimous HPC recommendation with this revision.

With no questions or comments, **the PC unanimously approved the sign application**, as revised to an all-white sign, 5-0, (3 absent).

Sign Permit Review - Case A-21-2020 – 108 S. Washington St. – County Line Properties – 1 New Wall Sign Replacement

The sign applicant introduced himself as the representative for the request and reviewed that the sign reflects an updated logo for County Line Properties, and stated that the HPC recommended approval at its meeting last week.

Chairman Cashman stated that he likes the new logo and the proposed sign looks good.

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With no questions or additional comments, the PC unanimously approved the sign application, as submitted, 5-0, (3 absent).

Public Meeting – Case A-07-2020 – 820 N. County Line Rd. – Tentative Plat of Subdivision - Request to subdivide 1 Residential Lot to 2 Conforming Residential Lots in the R-4 Single Family Residential District.

John Stock introduced himself as the attorney representing the applicant, and reviewed the subdivision request at 820 N. County Line Road, to divide one through lot into two equal lots in area. There is an existing older home on the subject property.

Chairman Cashman asked if there are any plans for a new house for the proposed new lot.

The applicant replied no, not at this time. The plan is for the newly created lot to go to the two beneficiaries of the trust.

With no questions or additional comments, the PC **unanimously approved the sign application**, as submitted, 5-0, (3 absent).

Public Meeting – Case A-23-2020 – 16 E. 1st Street – Nabuki - Exterior Appearance Review to renovate front façade for restaurant expansion in the B-2 Central Business District.

Ryan Nestor, architect for Peter Burdi, reviewed that Nabuki restaurant is expanding for the second time since it opened and is looking to expand into the 16 E. 1st Street space. The goal of the exterior appearance plan is to extend the identity of Nabuki to the neighboring building and is driven by the extension of the interior. The high top bar is a high demand seating area and this plan would allow the area to be extended. Ryan Nestor stated that the existing recessed doorway will not serve a purpose anymore and would recycle the brick for the new knee wall to ensure the same texture of the existing building.

Commissioner Crnovich cited the Title 14 Historic Preservation code, hoping that the Historic Preservation Commission (HPC) would be able to review and give their recommendation on the request. Commissioner Crnovich expressed that this is not the right way moving forward without HPC input. Commissioner Crnovich is also opposed to the white paint color and recommended using only the black awning, and referenced that the restaurant left the original brick exposed when Nabuki expanded to the east in 2016

Ryan Nestor stated that the aforementioned 2016 expansion was a failure due to being disconnected with the main restaurant area, and to this end, will be converted into a carryout area for Nabuki. The 2016 expansion is also challenging due to the very narrow floorplan configuration.

Commissioner Jablonski believes the request is an attractive one and a great addition to the downtown.

Commissioner Krillenberger and Commissioner Fiascone agreed.

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Commissioner Fisher believes the windows look good and the bottom of the plan looks fine, but splitting the building in half with the white paint looks odd. Commissioner Fisher asked if there were other ideas if they did not paint the top of the building white.

Ryan Nestor replied there were no other ideas considered, and it was either paint or not to paint.

Chairman Cashman does not support painting the brick above the awning because it would create an unbalanced appearance to the building and pointed out that this is a contributing building to the historic downtown district.

Following a motion to recommend approval of the proposed exterior appearance, the Village of Hinsdale Plan Commission, on a vote of six (6) "Ayes," and two (2) "Absent," **recommends that the President and Board of Trustees approve the application with the condition that the applicant not paint above the awning, and the recommendation that the Village Board receive feedback from the Historic Preservation Commission.**

Public Hearing - Case A-40-2019 – Ryan Companies, US Inc. –*To Close the Public Hearing, the applicant has withdrew the application (letter dated 08.27.20)* for a Map Amendment, Text Amendment and Planned Development Concept Plan to develop 16.8 Acre "IBLP" Site at 707 W. Ogden Ave (Northwest corner of W. Ogden Ave. and Adams St.) for a New 3-story, 330,000 SF, 245-unit Senior and Assisted Living Development and 9 single story duplex villas for Independent Living Seniors. (continued from the June 10, June 24, July 8 and August 12 Plan Commission meetings)

Chairman Cashman reviewed that this item on the agenda is to close the public hearing because the applicant has withdrew the application. The PC packet included a letter dated August 27, 2020, for this request.

With no discussion, the PC **unanimously closed the public hearing for Case A-40-2019**, 6-0, (2 absent).

Public Hearing - Case A-22-2020 – 222 E. Ogden Avenue - Lakeside Bank – *To reschedule the Public Hearing to October 14, 2020, as requested by the applicant (letter dated 09.04.20)* Special Use Permit and Exterior Appearance and Site Plan for a new 2-story tall Lakeside Bank with 2 drive-thru lanes in the B-3 General Business District.

Chairman Cashman reviewed that this item on the agenda is to continue the public hearing to the October 14, 2020, PC meeting. The PC packet included a letter dated September 4, 2020, for this request.

Michael Marrs, Village Attorney, asked Chan if this was already noticed.

Chan replied yes.

Michael Marrs asked if the PC would consider a motion to open and continue the agenda item to the October 14, 2020, PC meeting.

Commissioner Krillenberger asked if this was to keep the notification correctly notified.

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Michael Marrs responded correct, this is to keep the notification alive, and by opening and continuing it, you'd be able to do this.

The PC **unanimously opened and continued the public hearing for Case A-22-2020**, 6-0, (2 absent) for the October 14, 2020, Plan Commission meeting.

Public Hearing - Case A-20-2020 – McNaughton Development – Planned Development Concept Plan, Special Use Permit and Exterior Appearance/Site Plan to develop 20.9 acres (of 37.1 acre site) at 4S010 Madison Street (North of Ogden Ave. and East of Adams St.) for a 46 Single Family Detached Home Planned Development in the R-2 Single Family Residential District.

Please refer to Attachment 1, for the transcript for Public Hearing Case A-20-2020.

The PC **unanimously recommended disapproval for Case A-20-2020**, 6-0, (2 absent), as submitted.

Adjournment

The meeting was adjourned at 10:17 p.m. after a unanimous vote.

Respectfully Submitted by Chan Yu, Village Planner

BEFORE THE VILLAGE OF HINSDALE
PLAN COMMISSION

In the Matter of:

Case A-20-2020 - McNaughton Development -
Planned Development Concept Plan, Special Use
Permit and Exterior Appearance Site Plan to
develop 20.9 acres (of 37.1 acre site) at
4S010 Madison Street (North of Ogden Ave. and
East of Adams St.) for a 46 Single Family
Detached Home Planned Development in the R-2
Single Family Residential District.

REPORT OF PROCEEDINGS had and testimony
taken via Zoom at the Public Hearing of the
above-entitled matter before the Hinsdale Plan
Commission at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 9th day of September, 2020, at
the hour of 7:17 p.m.

BOARD MEMBERS PRESENT VIA ZOOM:

MR. STEPHEN CASHMAN, Chairman;

MS. JULIE CRNOVICH, Member;

MS. ANNA FIASCONE, Member;

MS. MICHELLE FISHER, Member;

MR. GERALD JABLONSKI, Member;

MR. JIM KRILLENBERGER, Member.

<p style="text-align: center;">2</p> <p>ALSO PRESENT VIA ZOOM:</p> <p>MR. ROBB MC GINNIS, Director of Community Development;</p> <p>MR. CHAN YU, Village Planner;</p> <p>MR. MICHAEL MARRS, Village Attorney;</p> <p>MR. PAUL MCNAUGHTON, Jr., McNaughton Development;</p> <p>MR. JOHN BARRY, McNaughton Development;</p> <p>MR. KONSTANTINE SAVOY, Savoy Consulting Groups;</p> <p>MR. DAN LOBBES, Conservation Foundation;</p> <p>MS. LINDA FEINSTEIN, Compass;</p> <p>MR. LANCE RAMELLA, Housing Trends;</p> <p>MR. MICHAEL LAUBE, Laube Companies;</p> <p>MR. PETER REINHOFER, V3;</p> <p>MR. RYAN WAGNER, V3;</p> <p>MR. JIM OLGUIN, Buikema Law Group;</p> <p>ALSO PRESENT VIA ZOOM OR ZOOM CONFERENCE CALL:</p> <p>MR. DAN HEMMER,</p> <p>MR. PIERRE ABI-MANSOUR,</p> <p>MR. FRED CURRENT,</p> <p>MR. ARMANDO TRAVELLI,</p> <p>07:22PM</p>	<p style="text-align: center;">4</p> <p>1 MR. YU: You can.</p> <p>2 CHAIRMAN CASHMAN: Can I have a motion</p> <p>3 to open the hearing.</p> <p>4 MS. FIASCONE: Motion, Fiascone.</p> <p>5 CHAIRMAN CASHMAN: Second?</p> <p>6 MR. JABLONSKI: Second, Jablonski.</p> <p>7 CHAIRMAN CASHMAN: Chan, roll call,</p> <p>8 please.</p> <p>9 MR. YU: Commissioner Krillenberger?</p> <p>07:18PM 10 MR. KRILLENBERGER: Aye.</p> <p>11 MR. YU: Commissioner Fisher?</p> <p>12 MS. FISHER: Aye.</p> <p>13 MR. YU: Commissioner Jablonski?</p> <p>14 MR. JABLONSKI: Aye.</p> <p>15 MR. YU: Chairman Cashman?</p> <p>16 CHAIRMAN CASHMAN: Aye.</p> <p>17 MR. YU: Commissioner Crnovich?</p> <p>18 MS. CRNOVICH: Aye.</p> <p>19 MR. YU: And Commissioner Fiascone?</p> <p>20 MS. FIASCONE: Aye.</p> <p>21 MR. YU: Thank you.</p> <p>22 CHAIRMAN CASHMAN: Before we move to</p>
<p style="text-align: center;">3</p> <p>1 CONTINUATION ALSO PRESENT VIA ZOOM OR ZOOM</p> <p>2 CONFERENCE CALL:</p> <p>3 MR. ROBERT LINDGREN,</p> <p>4 MR. ROBERT CRANE,</p> <p>5 MR. JEFF ALLEN,</p> <p>6 MR. CHARLIE HIATT,</p> <p>7 MR. PETER TYLER,</p> <p>8 MS. ALICIA SCHEMEL,</p> <p>9 MR. HERON RODRIGUEZ,</p> <p>10 OTHER UNIDENTIFIED RESIDENTS.</p> <p>11 * * *</p> <p>12 CHAIRMAN CASHMAN: Our next item is</p> <p>13 Case A-20-2020, the McNaughton Development, the</p> <p>14 Planned Development Concept Plan, Special Use</p> <p>15 Permit and Permit Exterior Appearance/Site Plan</p> <p>16 to develop 20.9 acres of 37.1-acre site at</p> <p>17 4S010 Madison Street north of Ogden Avenue east</p> <p>18 of Adams Street for 46 Single Family Detached</p> <p>19 Home Planned Development in the R-2 Single</p> <p>07:17PM 20 Family Residential District.</p> <p>21 We need a motion to open the public</p> <p>22 hearing, correct? I believe so.</p>	<p style="text-align: center;">5</p> <p>1 the applicant, I just want to make a few</p> <p>2 introductory comments. We have a lot of</p> <p>3 interest in this project. We have received a</p> <p>4 lot of written comments. We had I think 141</p> <p>5 received through today. We have people that are</p> <p>6 scheduled to speak that registered with Chan to</p> <p>7 speak. And we basically are going to go</p> <p>8 through, have the applicant make their</p> <p>9 presentation, have an opportunity for the</p> <p>07:18PM 10 Commissioners to ask the applicant any</p> <p>11 questions; and then we will move on to questions</p> <p>12 from the public.</p> <p>13 And should we wait till then, Chan,</p> <p>14 to swear everyone in or swear everyone in now?</p> <p>15 I think we should probably do it now, right?</p> <p>16 MR. YU: Jan, do you have a preference?</p> <p>17 THE REPORTER: No. But I would need to</p> <p>18 identify who I'm swearing in.</p> <p>19 CHAIRMAN CASHMAN: Yes. Michael?</p> <p>07:19PM 20 MR. MARRS: I would suggest that you,</p> <p>21 Jan, do kind of a mass swearing in and then as</p> <p>22 each person speaks the chairperson can verify</p>

<p style="text-align: center;">6</p> <p>1 that they have been previously great.</p> <p>2 THE REPORTER: That would be great.</p> <p>3 (Discussion outside the record.)</p> <p>4 CHAIRMAN CASHMAN: And also a comment,</p> <p>5 regarding the written comments that came in,</p> <p>6 those will be posted on the Village website and</p> <p>7 they also will become part of public record for</p> <p>8 this hearing.</p> <p>9 MR. MARRS: So why don't we swear in</p> <p>10 everyone who is part of the applicant's team and</p> <p>11 then we will do the public comment individually.</p> <p>12 MR. YU: Okay.</p> <p>13 (Witnesses sworn en masse.)</p> <p>14 CHAIRMAN CASHMAN: Welcome, everyone.</p> <p>15 And Paul, will you be starting things off?</p> <p>16 MR. MC NAUGHTON: I think. Well, I'm</p> <p>17 Junior here. John Barry from our team is going</p> <p>18 to start things off for us.</p> <p>19 CHAIRMAN CASHMAN: All right. Thanks.</p> <p>07:22PM 20 MR. BARRY: Good evening, Mr. Chairman.</p> <p>21 (Zoom audio interruption.) I'm going to</p> <p>22 introduce our team, the people who will be</p>	<p style="text-align: center;">8</p> <p>1 CHAIRMAN CASHMAN: Okay. Please</p> <p>2 proceed.</p> <p>3 MR. BARRY: Thank you. Just as a</p> <p>4 little bit of an introduction to us, McNaughton</p> <p>5 Development is a family-owned business. We are</p> <p>6 based in Burr Ridge. We have a 35-year track</p> <p>7 record specializing in land development and</p> <p>8 luxury single-family homes. We have found a</p> <p>9 niche in developing well-located infill</p> <p>07:24PM 10 properties, properties that are concept driven.</p> <p>11 Our developments and our</p> <p>12 architecture suit the needs of our target</p> <p>13 markets, which result in highly successful</p> <p>14 developments. The homes incorporate the latest</p> <p>15 trends in materials and harmonize with the</p> <p>16 existing community. The one main constant over</p> <p>17 the last 35 years is impeccable quality and</p> <p>18 customer service.</p> <p>19 Prior to really starting the</p> <p>07:24PM 20 presentation, I wanted to note our efforts over</p> <p>21 the last couple months to inform the residents</p> <p>22 of the Village of Hinsdale about this</p>
<p style="text-align: center;">7</p> <p>1 testifying tonight or even being just available</p> <p>2 for questions. Paul McNaughton, Jr., McNaughton</p> <p>3 Development; Kon Savoy, Savoy Consulting Groups;</p> <p>4 Dan Lobbes, the Conservation Foundation; Linda</p> <p>5 Feinstein, Compass; Lance Ramella with Housing</p> <p>6 Trends; Michael Laube with Laube Companies;</p> <p>7 Peter Reinhofer with V3; Ryan Wagner with V3;</p> <p>8 Jim Olguin with Buikema Law Group.</p> <p>9 CHAIRMAN CASHMAN: Thank you.</p> <p>07:23PM 10 MR. BARRY: And Chan, I was wondering</p> <p>11 if you can allow me to share the PowerPoint,</p> <p>12 share the screen share.</p> <p>13 MR. YU: Okay. Just give me one second</p> <p>14 here. Can you give it a shot?</p> <p>15 MR. BARRY: Looks like you got it. Can</p> <p>16 you see it?</p> <p>17 MR. MC NAUGHTON. Do you have it?</p> <p>18 CHAIRMAN CASHMAN: Can all the</p> <p>19 Commissioners see that?</p> <p>07:23PM 20 MS. FIASCONE: Yes.</p> <p>21 MR. JABLONSKI: Yes, I can.</p> <p>22 MS. FISHER: Yes, Fisher.</p>	<p style="text-align: center;">9</p> <p>1 development and give them the opportunity to</p> <p>2 become familiar with it. To assist in that as a</p> <p>3 formal public outreach, we have launched a</p> <p>4 website for the proposed development, which is</p> <p>5 the HeatherHighlandsofHinsdale.com. We drove</p> <p>6 quite a bit of traffic to this website over the</p> <p>7 last couple months through social media via</p> <p>8 Instagram, Facebook, LinkedIn, traditional print</p> <p>9 advertising, direct mailing, and targeted mail.</p> <p>07:25PM 10 At the same time we appreciate the circumstances</p> <p>11 that we all face right now in not being able to</p> <p>12 meet in public. And to help facilitate this</p> <p>13 process, what we would like to do is offer to</p> <p>14 host a community outreach meeting on Wednesday,</p> <p>15 September 16, between 5:00 and 8 p.m. at The</p> <p>16 Community House, which is located at 418 West</p> <p>17 8th Street in Hinsdale. We are forced with</p> <p>18 limited capacity so we post a reservation sheet</p> <p>19 on our website that you can find the tab at the</p> <p>07:26PM 20 top of the website, it's labeled question and</p> <p>21 answer. So any interested parties can go there</p> <p>22 and even starting tonight to click on that and</p>

<p style="text-align: right;">10</p> <p>1 reserve a time to attend the meeting.</p> <p>2 In the meantime, it's been our</p> <p>3 intention tonight to illustrate a clear vision</p> <p>4 and justification for this development. It's a</p> <p>5 vision that reflects the realities of the real</p> <p>6 estate market today. And to that point, tonight</p> <p>7 we will be concentrating on the concept of</p> <p>8 conservation design, the site plan that we've</p> <p>9 proposed, the appropriateness of the zoning</p> <p>07:26PM 10 proposal, and the housing product itself.</p> <p>11 Ultimately we are looking for the Plan</p> <p>12 Commission's positive recommendation for the</p> <p>13 approval of special use and the planned</p> <p>14 development with the modifications that were all</p> <p>15 submitted as part of our application.</p> <p>16 So with that, I would like to</p> <p>17 introduce Kon Savoy, who is our zoning</p> <p>18 consultant on this project to discuss the idea</p> <p>19 of conservation design.</p> <p>07:27PM 20 MR. SAVOY: Good evening, everyone.</p> <p>21 Hopefully you can all hear me all right. I</p> <p>22 appreciate the opportunity to be before you and</p>	<p style="text-align: right;">12</p> <p>1 that we see and believe that the beauty of the</p> <p>2 conservation design approach is that it seeks to</p> <p>3 create the synergy between the natural and built</p> <p>4 environment to offer a better way of living and</p> <p>5 developing the land. Conservation design in its</p> <p>6 application -- and again one of the reasons I</p> <p>7 really see this as a preferred way to develop</p> <p>8 property -- in fact, few communities, although</p> <p>9 at least one in our region has actually taken</p> <p>10 this to heart and actually requires conversation</p> <p>11 design as a part of all new development. The</p> <p>12 approach is you first consider the open space,</p> <p>13 the resources, the land, and then make the</p> <p>14 development fit around those conditions. So</p> <p>15 it's not viewing open space, as in many</p> <p>16 developments, many of which, hundreds of which I</p> <p>17 have reviewed over the years, open space is an</p> <p>18 afterthought with natural resources relegated to</p> <p>19 someone's rear yard, not accessible, often</p> <p>07:29PM 20 forgot about, not managed well. You may have</p> <p>21 some of these in your own community as well that</p> <p>22 you can point to.</p>
<p style="text-align: right;">11</p> <p>1 want to take a few minutes here. The first</p> <p>2 slide is just to give you a little bit of</p> <p>3 background of my credentials. Prior to starting</p> <p>4 the Savoy Consulting Group a few years ago, I</p> <p>5 have over 37 years of experience in public and</p> <p>6 private sector planning, most of that in the</p> <p>7 public sector. So I'm very familiar with the</p> <p>8 issues that you are dealing with, actually</p> <p>9 having sat as a municipal planner for several</p> <p>07:27PM 10 communities and actually continue to do so. So</p> <p>11 I'm assisting McNaughton Group involved in</p> <p>12 understanding and communicating what the idea of</p> <p>13 conservation design is and the goal that we are</p> <p>14 trying to achieve here and also to assist them</p> <p>15 in understanding through the zoning process.</p> <p>16 John, next. The first few slides I</p> <p>17 have are an introduction to conservation design.</p> <p>18 I just want to at this point review briefly with</p> <p>19 you some of the purposes and the benefits we</p> <p>20 believe that the conservation design approach</p> <p>21 that McNaughton Group is bringing together here</p> <p>22 with the proposal called Heather Highlands is</p>	<p style="text-align: right;">13</p> <p>1 So the beauty here is that the open</p> <p>2 space is valued as a community benefit and</p> <p>3 developed as such. But it's not just for the</p> <p>4 residents of the development. In this</p> <p>5 particular case, it's also to the benefit of the</p> <p>6 entire Hinsdale community. Conservation design,</p> <p>7 many who have spoken to this often refer to it</p> <p>8 as a golf course-type development, if you think</p> <p>9 about that in its very simplistic form, what you</p> <p>07:30PM 10 get in a golf course development is homes,</p> <p>11 generally clustered, smaller than typical in</p> <p>12 many instances, clustered or oriented around</p> <p>13 large open spaces. Right? And those homes sell</p> <p>14 for a premium because they are adjacent to this</p> <p>15 golf course. Well, many of you are probably</p> <p>16 well aware, at least I've heard the statistics,</p> <p>17 that few who actually live in these communities</p> <p>18 actually golf, it's really the benefit of the</p> <p>19 open space. Again, the difference here, it's</p> <p>07:30PM 20 not a golf course community. We are going to be</p> <p>21 turning over 20 acres to the community in open</p> <p>22 space, accessible open space, which is</p>

<p style="text-align: center;">14</p> <p>1 55 percent of the proposed development, that 2 would otherwise -- and more, in fact, more open 3 space than would otherwise be available if this 4 were a standard subdivision and the only thing 5 we were doing here is just preserving wetlands. 6 The next item we want to talk about 7 is with regard to the existing conditions. This 8 is simply a quick summary of what is the 9 existing status of the property today. The 10 point we wanted to make here is that much of 11 what has existed, much of it will remain, it 12 will be enhanced. The uses and the things that 13 are proximate to us that we are dealing very 14 sensibly with, the existing single-family 15 neighborhoods, we are cognizant of the fact that 16 we have burgeoning commercial development and 17 other uses of a nonresidential nature along 18 Ogden. Of course, we have the cemetery to the 19 north. So of course, we forgot to mention, of 20 course, we have the Salt Creek Club to the south 21 and east of this project. 22 John? So -- I think you skipped</p>	<p style="text-align: center;">16</p> <p>1 These are all geared toward the idea of creating 2 a sustained, truly sustainable community. I 3 mentioned already the emphasis given to the 4 natural resources inventory, something done 5 upfront. The effort to promote the 6 preservation, expansion of the open space by 7 clustering lots on smaller building sites than 8 would otherwise be typical. Promoting the 9 wildlife preservation. It's not just open 10 space, as many naturalists will advise you or if 11 you follow this at all, the open space 12 surrounding as the part of conservation design, 13 particularly those that are connected, and we 14 have this great opportunity along the tributary 15 to the Salt Creek to be part of an 16 interconnected system of open spaces, actually 17 enhances the preservation and opportunity for 18 wildlife and flora preservation. And of course, 19 the opportunity to, of course, create the 20 expansion of and connection to corridors for 21 trails, recreation, and, of course, in your case 22 it's very important about stormwater benefits.</p>
<p style="text-align: center;">15</p> <p>1 one there. Okay. The point of this is we want 2 to just highlight the fact of what conservation 3 design brings to the community. We believe that 4 this is a unique opportunity with the Naughton 5 Group to work with the Village cooperatively in 6 a planning endeavor to create active and passive 7 uses of 20 acres of open space. And the types 8 of principles and design guidelines that are 9 embedded into what we are going to be providing 10 the community are mentioned here on this slide. 11 I won't get in to all of them except for the 12 fact they are enumerated, as you see that are 13 not, obviously, existing conditions. Well, some 14 of which maybe are. The fishing with the little 15 boy, I have actually seen one gentleman out 16 there fishing on one day. But other things that 17 we hope to accomplish with the improvement of 18 the property in terms of community gardens, 19 playgrounds, passive and active recreation, 20 seating areas. 21 John, next slide. So the 22 principles of conservation design are important.</p>	<p style="text-align: center;">17</p> <p>1 John, next slide. The last thing I 2 want to mention as part of this introductory 3 piece is to talk about -- and we often forget 4 about what are the economic benefits of 5 conservation design. As I alluded to earlier, 6 not too dissimilar to what you would find in a 7 golf course development, comparable analysis of 8 home values compared to standard subdivisions -- 9 these are two research pieces that were cited by 10 an individual named by Randall Arts who is -- I 11 guess they call him almost the godfather of 12 conservation. A designer in the country, an 13 early promoter, designer, and developer of a lot 14 of conservation developments of various sizes 15 across the country and produced a number of 16 reports, guidebooks if you will. And these 17 studies were referenced, of course, two 18 different time points but basically both 19 expressing the same type of comments that I 20 mentioned earlier with regard to the value -- 21 not only to the home value but the value we 22 believe to the idea of a more healthy living</p>

<p style="text-align: center;">18</p> <p>1 lifestyle. All right, John.</p> <p>2 MR. BARRY: Thanks, Kon.</p> <p>3 Again, I just wanted to touch upon</p> <p>4 the site plan a little bit now. Generally</p> <p>5 speaking, the property that we are discussing</p> <p>6 tonight is between Adams and Madison. It's</p> <p>7 immediately south of the Bronswood and --</p> <p>8 cemeteries and north of the Salt Creek Club and</p> <p>9 the remaining portion of the IBLP property that</p> <p>07:36PM 10 runs along Ogden Avenue.</p> <p>11 What we are trying to accomplish</p> <p>12 here with Heather Highlands is a subtle</p> <p>13 lifestyle. The proposal is to construct 46</p> <p>14 single-family homes. This will be a unique</p> <p>15 experience for these people in a wide range of</p> <p>16 demographics. The proposal is to develop a</p> <p>17 community that's centered on a premiere</p> <p>18 location, luxury product, maintenance-free</p> <p>19 living and, as Kon had mentioned, a conservation</p> <p>07:36PM 20 design and open space amenities. Heather</p> <p>21 Highlands is a unique development from the</p> <p>22 standpoint of it will be maintenance free to its</p>	<p style="text-align: center;">20</p> <p>1 spacing that is not dissimilar and it's probably</p> <p>2 even greater than what you would find on your</p> <p>3 typical 50- to 60-foot wide lot in town. In</p> <p>4 fact, this development would be even less dense</p> <p>5 than you would find in a typical R-4 part of</p> <p>6 town, which dominates about 70 percent of the</p> <p>7 Village.</p> <p>8 Regarding the open space, our goal</p> <p>9 here is to provide an area here north of Ogden</p> <p>07:38PM 10 Avenue as a community amenity. This amenity</p> <p>11 would be accessible to both our future residents</p> <p>12 and the current residents north of Ogden and</p> <p>13 throughout the Village. Our vision is the site</p> <p>14 should be not overly programmed but should find</p> <p>15 a balance between passive uses and the elements</p> <p>16 that will preserve and enhance and protect</p> <p>17 natural habitat. So again, some of the things</p> <p>18 that Kon mentioned before, we envision extending</p> <p>19 and improving the pathway system that you find</p> <p>07:39PM 20 on the property already, maintaining the bridges</p> <p>21 that you find on the property, provide a</p> <p>22 connectivity from throughout the site from Adams</p>
<p style="text-align: center;">19</p> <p>1 residents. All the common area maintenance,</p> <p>2 landscaping, snow removal, maintenance of the</p> <p>3 common area elements will all be taken care of</p> <p>4 by the homeowners association. All the</p> <p>5 improvements in the subdivision will be built to</p> <p>6 Village specifications. However, they will be</p> <p>7 private. So the homeowners association will own</p> <p>8 those improvements and maintain those</p> <p>9 improvements at no cost to the Village. We are</p> <p>07:37PM 10 going to get into a point a little bit down the</p> <p>11 road here that the open space will be</p> <p>12 perpetually managed by a conservation group.</p> <p>13 The lots are clustered on the site, to Kon's</p> <p>14 point, regarding the conservation design. The</p> <p>15 homeowners will own the property that's strictly</p> <p>16 under their home and the remaining area will be</p> <p>17 common area, again to go along with the</p> <p>18 maintenance-free nature of the development. The</p> <p>19 typical building pads will be 40 by 60 feet deep</p> <p>07:38PM 20 and the minimum building separation that we are</p> <p>21 proposing is 15 feet with an average of 24 feet.</p> <p>22 So what you really get here is a</p>	<p style="text-align: center;">21</p> <p>1 to Madison. We envision scenic overlooks with</p> <p>2 benches and pergolas being incorporated into the</p> <p>3 design. There will be natural interpretive</p> <p>4 areas along the pathways, play areas, gardens,</p> <p>5 and ability to have fishing. We are also</p> <p>6 proposing a small parking area along Adams so</p> <p>7 people from outside the area can also use the</p> <p>8 space. But the area will be dominated by</p> <p>9 natural prairie, natural native shrubs and</p> <p>07:40PM 10 trees, to give the property more of a -- I guess</p> <p>11 maybe they call a mini arboretum feel.</p> <p>12 In addition to this open space that</p> <p>13 many we are talking about, we are committed</p> <p>14 extensive, mature new landscaping throughout the</p> <p>15 development along all of its perimeters, along</p> <p>16 Adams and Madison, Salt Creek Club, and some of</p> <p>17 the surrounding neighbors. All said, we are</p> <p>18 envisioning this investment in an open space,</p> <p>19 and buffer, it's going to exceed \$1.2 million.</p> <p>07:40PM 20 So the open space and the</p> <p>21 stewardship of that open space is very important</p> <p>22 to us. And to ensure that protection and that</p>

<p style="text-align: center;">22</p> <p>1 perpetual maintenance of the open space corridor 2 and the stormwater facilities along that 3 corridor we have committed to work with the 4 Conservation Foundation based out of Naperville. 5 This group has extensive experience in working 6 with private and public entities and the 7 preservation and perpetual maintenance of 8 environmentally accessible property. 9 As a developer, we have committed 10 to place the open space corridor in a 11 conservation easement for them. We would 12 establish a start-up fund and an easement 13 defense fund estimated at probably about \$75,000 14 to preserve this easement. Upon completion of 15 our improvements to the open space and with the 16 approval the applicable permitting agencies, the 17 Conservation Foundation stewardship of the 18 property will commence. Their mission would be 19 to maintain the naturalized features of this 20 open space in perpetuity, and that mission will 21 be funded by our initial setup fund and those of 22 our homeowners association.</p>	<p style="text-align: center;">24</p> <p>1 ways to develop that are respectful of the 2 environment and provide opportunities for people 3 to interact with nature near their home. It's 4 the whole idea behind or natural area assurance 5 program, which this development may be a part 6 of. We would wear two hats, as John said. One 7 is to ensure the permanent protection of the 8 natural and naturalized areas, and the other is 9 to act as the ecological manager of those areas. 10 We have done this successfully for 15 years now 11 in a growing number of locations, the most 12 recently completed one is in Naperville on a 13 former golf course. These arrangements result 14 in a number of benefits for the people who will 15 live there, for their neighbors, and for the 16 community in general. Public trails are always 17 number one on residents' lists of amenities that 18 they would like to see more of in their 19 communities. And for good reason, being in 20 natural areas is great for us physically, 21 emotionally, and even financially. Studies show 22 that passive recreation slows our hearts,</p>
<p style="text-align: center;">23</p> <p>1 So with that said, I guess what I 2 would like to have is have maybe Dan Lobbes, who 3 is with the Conservation Foundation, speak a bit 4 about his organization and some of their core 5 programs. 6 MR. LOBBES: Thank you, John. Good 7 evening, Mr. Chairman, and Hinsdale Plan 8 Commission members. My name is Dan Lobbes and 9 I'm the Director of Land Protection for the 10 Conservation Foundation. For those of you who 11 do not yet know us, the Conservation Foundation 12 is one of the oldest and largest land 13 conservation organizations in northeast 14 Illinois. We were established in 1972 by 15 business and civic leaders right here in DuPage 16 County. We are a private, nonprofit member- 17 supported organization and our mission involves 18 the preservation and restoration of natural 19 areas, improving rivers and streams, and 20 promoting stewardship of our environment. It's 21 important to note that we are not an 22 antidevelopment group. We believe there are</p>	<p style="text-align: center;">25</p> <p>1 reduces stress, lowers our blood pressure, and 2 releases feel-good hormones. It helps us 3 breathe, literally and figuratively, and helps 4 our mental and emotional well-being, not to 5 mention all of the benefits for our children 6 including helping them focus and reducing the 7 effects of attention deficit disorder. Plus, as 8 Kon said before, nationwide studies show that 9 living close to managed natural areas increases 10 the value of homes by 12 to 19 percent. So this 11 approach is good for maintaining and even 12 enhancing property values. 13 Now, nature doesn't have to be 14 somewhere out there, somewhere we have to drive 15 to. It's important to include the benefits of 16 nature in our daily lives and incorporating 17 these elements in new developments certainly 18 does that. The conversations we have been 19 having with the McNaughton folks and the plans 20 that we have seen so far are promising. We are 21 talking about low profile native flowers that 22 preserve sight lines, help the birds and</p>

<p style="text-align: center;">26</p> <p>1 butterflies, and are not the type of tall, messy 2 prairie plants that we have all seen in other 3 places. We hope to be a part of the success of 4 this development and perhaps others in the 5 Hinsdale area. Thank you very much. And I will 6 be happy to answer any questions you have in 7 this process moving forward. Thank you.</p> <p>8 CHAIRMAN CASHMAN: Thank you.</p> <p>9 MR. BARRY: Thanks, Dan. Kon, would 07:46PM 10 you maybe want to continue with the zoning 11 discussion a bit, please.</p> <p>12 MR. SAVOY: Sure. If you can skip to 13 the next slide. Very good, thank you. Yes. 14 This part of presentation turns back to it's 15 more focused on zoning-related matters. First I 16 want to start out by just underscoring what the 17 application is. It's an application for special 18 use as a planned unit development. We believe 19 that this project as proposed conservation 07:46PM 20 cluster design is well in keeping, as stated 21 here on this slide, in keeping with the purposes 22 of the planned development district or the</p>	<p style="text-align: center;">28</p> <p>1 modifications I'm not going to get into, but I 2 think they are relatively modest given what we 3 are trying to do here. They are also to 4 underscore something that's important because as 5 we think about the traditional lots and the 6 setbacks and lot area and all that; what John 7 said earlier on, I hope settles in people's 8 minds with regard to what this product is -- and 9 I don't know if Hinsdale has anything like it, 07:48PM 10 and I have dealt with these types of products in 11 a few other communities -- where you have a 12 development that in the end does not have a 13 traditional lot. It's not a traditional zoning 14 lot in the way that we all understand it. So 15 the key issues here relative to bulk size 16 requirements, traditional lot size, are really 17 not directly relevant to the type of program 18 that's being provided. So the real key issue, 19 the bottom line, is that this proposed density 07:48PM 20 relative to its location, site environments, the 21 adjacent land uses, and so forth, is this really 22 is something that fits within the broader</p>
<p style="text-align: center;">27</p> <p>1 special use approach.</p> <p>2 Also of interest, I did some 3 research on 10 neighboring communities to 4 Hinsdale to determine and understand to what 5 extent similar opportunities are given for this 6 type of development and to what, if any, 7 incentives are even provided in the case. Many 8 communities, about half or so, do offer various 9 types of incentive. But in all cases, all 07:47PM 10 communities afford the opportunity for 11 developers to consider density increases in 12 return for the amenities and improvements. We 13 all have been in this business long enough, and 14 I'm sure many of you Plan Commissioners under 15 this principle of the public benefit in return 16 for the flexibility given to a developer for 17 this type of project. Again, in which there 18 underscores -- and this will be talked about 19 more -- this is not just a developer seeking to 07:47PM 20 do something creative, it's really, in effect, a 21 response to market conditions as well. On this 22 page, you also will find the zoning</p>	<p style="text-align: center;">29</p> <p>1 context of the community and would have minimal, 2 if any, significant impact.</p> <p>3 Below it on this slide is the chart 4 that does a quick density or bulk comparison, 5 floor-area cover ratio comparison. The 6 information provided, I can get into all the 7 details, you have it back to us and it's been 8 provided to staff previously. You will see in 9 almost every instance, except one where it talks 07:49PM 10 about, it indicates what the next -- Well, this 11 says it here. The density is on this chart is 12 that all of the standards well comply with or, 13 in fact, are under what would otherwise be 14 requirements for R-2, R-2 zoning. What is, it 15 looks like it's cut off here, that's why I was 16 confused a minute, I didn't catch this earlier 17 somehow -- where it talks about net density, 18 what you don't see is gross density, which would 19 be the next column to the right. And at a gross 07:50PM 20 density, R-2 typical subdivisions come out to 21 about 2.18 units per acre. The gross density on 22 this project is 1.24. I can provide that</p>

<p style="text-align: center;">30</p> <p>1 updated table to you later but I believe staff 2 has that.</p> <p>3 Next slide, John. We quickly want 4 to make a note as well, just for some context 5 here, just to understand the location of this 6 particular site in the broader context of the 7 community, the development of Ogden Avenue, and 8 the development of this area over time. We went 9 back and were able to collect some aerial photos 10 that tracked the 50- to 60-year history of 11 development in this area. I think you can 12 quickly get a quick picture that a lot of 13 neighborhood actually developed subsequent to 14 the more intensive development of Ogden Avenue. 15 And we have been making internally having 16 discussions about -- although it's not part of 17 this proposal -- that it seems reasonable that 18 there is a good case to be made that the R-2 19 zoning for this property really isn't the most 20 appropriate given its location to other 21 intervening factors. 22 John, next slide. Also, as we look</p>	<p style="text-align: center;">32</p> <p>1 the density allowed in the R-4 and if you agree 2 or disagree about the idea that there should be 3 some transition, here is what's interesting is 4 that when you apply the R-4 density to the 5 buildable acres, just the buildable 16.2 acres 6 on the McNaughton piece, on the Highlands piece, 7 you get equivalent to what would be allowed in 8 64 units. Of course, McNaughton's proposal is 9 far less than that. On this slide, we are also 10 just looking at the conditions of the adjustment 11 neighborhood. This gives you just some 12 information on what the relative densities are 13 of the various neighborhoods. 14 John, next slide. Then we went a 15 step further and then we looked at what would be 16 comparable developments, not just in Hinsdale 17 but comparable developments of other projects, 18 some of which McNaughton has been involved with. 19 And you get quick sense that our project is not 20 significantly different with regard to overall 21 density. I will say that the Hinsdale Highlands 22 project is actually a lower density with</p>
<p style="text-align: center;">31</p> <p>1 at the general zoning pattern of the community, 2 you raise this issue is not only maybe R-2 may 3 be not appropriate but is this really a site you 4 should be thinking about it as more of a 5 transition use. Typically general planning, and 6 again general planning, not in every use. Of 7 course, you can see in your own zoning map this 8 doesn't hold true. You have more intensive uses 9 particularly along corridors like Ogden and then 10 you have a less-intense use and then a less- 11 intense use beyond that, so you have this kind 12 of tier effect. It's typical approaches to 13 zoning. In some of the cases you can see that 14 in many instances even in Hinsdale you have much 15 more dense, if you will, zoning districts 16 proximate to not only R-2 but also Ogden and 17 then you have other examples where you have 18 commercial uses transitioning to residential. 19 The other thing I want to mention 20 with regard to this particular slide -- And I 21 think it's maybe on the next slide, too. John, 22 maybe you can pull that up. When you look at</p>	<p style="text-align: center;">33</p> <p>1 comparable projects with much -- the projects, 2 the comparable projects actually have much less 3 open space as part a part of them. These 4 proposed densities on this slide, the comparable 5 projects, are gross acreage, as I already told 6 you what the gross acreage for Heather Highlands 7 is. And, of course, we want to underscore the 8 fact that overall we're doing it's an ecological 9 base I think there will be significant 10 stormwater and landscaping departmental 11 benefits. 12 And another item that I think is 13 worth noting as you consider this project, in 14 the context of the larger community, not just 15 the immediate neighborhood but also the larger 16 community, and the questions come up does this 17 really change the character of my community. 18 And we did a quick density calculation mix of 19 the various zoning, residential zoning districts 20 and distribution; and you can see that almost 21 70 percent of Hinsdale is developed under the 22 R-4 standard. As I mentioned before, if this</p>

<p style="text-align: center;">34</p> <p>1 site were developed that way, you would actually 2 produce much more units than the McNaughton 3 Group is proposing. 4 So with this, I think the last 5 thing I want to offer the Plan Commission as a 6 thought is that, you know, the request for more 7 units that are allowed in the R-2 is we believe 8 it not only will have a limited or insignificant 9 impact on the neighborhood and Village but also 10 allows us to offer the Village a unique and 11 special opportunity to create one of the most 12 attractive and arguably desirable open spaces 13 and recreational areas in the Village while 14 providing much needed park for residents north 15 of Ogden. In a couple of the earlier slides, 16 you may have noticed, in addition to mentioning, 17 on two separate occasions I saw people enjoying 18 the open space on my visits, one fishing; and 19 the later one was a mother with her children 20 just taking advantage of a stroll and taking her 21 kids through the open space and enjoying it. 22 That's really what we want to see more of, and I</p>	<p style="text-align: center;">36</p> <p>1 town, on, again, 50-, 60-foot lots with the 2 exception of our products here would all have 3 attached garages. 4 The second product line that we are 5 looking to offer would be more of an 6 age-targeted product. These would be ranches 7 and then 2-story homes with the master bedroom 8 on the 1st floor. You would have 2 to 3 9 bedrooms and typically 2.5 baths. These homes 10 would be about 2400 square foot for a ranch and 11 3200 square foot for the 2 story. These homes 12 are geared to residents of Hinsdale and maybe 13 nonresidents of Hinsdale that have grown 14 families and they are looking to downsize but 15 they want to keep a connection to the 16 neighborhood. These are the families that have 17 had the big house. They don't need the big 18 house anymore. They don't want the 19 responsibility that comes along with that big 20 house or the big lot. They are looking to 21 simplify their lives, but they still want a 22 high-quality home so that's our goal in</p>
<p style="text-align: center;">35</p> <p>1 think that's really what the opportunity as many 2 of you know. On the day I did see that 3 fisherman, he was kicked off the site by the 4 manager of the property. And this is a site, 5 although open, is not really welcoming to 6 residents. So with that, John, I will turn it 7 back to you. 8 MR. BARRY: Thanks, Kon. I guess I'd 9 like to take this opportunity to talk a little 10 bit about the product now. We plan on offering 11 two product lines. The first would be what I 12 would refer to as traditional single-family 13 home. These would typically be 4-bedroom homes, 14 3.5 baths. They would be approximately 3200 to 15 3800 square feet. And this product would be 16 geared to the young professional family. Some 17 of these families have roots in Hinsdale and 18 others are from other areas, come in looking for 19 a quality place to live. They are typical very 20 busy families and very professional families. 21 The homes that they are looking to construct are 22 similar to the product you might see throughout</p>	<p style="text-align: center;">37</p> <p>1 providing them here in this locations. They 2 want they also want the freedom to be away from 3 the property for extended periods of time, and 4 they know that the exterior of the home will be 5 maintained during their absence. 6 We have had a get deal of success 7 and experience with this type of product line 8 over the last number of years. Our latest 9 development, Lakeside Pointe in Burr Ridge, 10 44 lots there. We are down to 9 lots after just 11 2 years so we have been very happy with that 12 product line. The common element, though, for 13 both product lines is our architecture, its 14 uniqueness in design and how we tailor to the 15 site and to the life-style of the buyer in the 16 community. We are known for giving special 17 attention to all architectural details such as 18 roof lines, gables, window trims, window grills, 19 everything that you would want as far as the 20 character and quality of the home and this 21 product will maintain the character of the 22 community as a whole. We also feel that we are</p>

<p style="text-align: center;">38</p> <p>1 going to be providing ample space between the 2 units to give a greater feel of openness in the 3 community and help with the overall engineering. 4 So with that said on the product, I guess what I 5 would like to do is ask Linda Feinstein with 6 Compass to ask her experience over the years and 7 of late in the Hinsdale market if Linda is 8 there.</p> <p>9 MS. FEINSTEIN: I would like to thank 10 the Chairman and the Plan Commission for the 11 opportunity to speak tonight. I just want to 12 say -- and I know that there are a lot of strong 13 opinions about this -- but Hinsdale is sorely 14 lacking in smaller, nice, new construction 15 homes. And we are sorely lacking for the buyers 16 who are making an exodus from the city, who are 17 professional couples. And we are sorely lacking 18 for people who are retirement age, who really 19 don't want to leave Hinsdale but do leave 20 Hinsdale for Burr Ridge or Oak Brook or other 21 areas because Hinsdale doesn't have suitable 22 housing for them.</p>	<p style="text-align: center;">40</p> <p>1 jams. I think with the preservation with the 2 way the grounds look and the area that will be 3 open for the public to explore and enjoy, it's a 4 win-win. Does anyone have any questions for me? 5 No? John?</p> <p>6 MR. BARRY: Maybe we will take 7 questions. We will take questions at the end, 8 Mr. Chairman.</p> <p>9 CHAIRMAN CASHMAN: Yes.</p> <p>10 MR. BARRY: Thanks, Linda.</p> <p>11 MS. FEINSTEIN: Well, thank you for the 12 opportunity.</p> <p>13 MR. BARRY: Yes. Just as a follow up 14 to Linda's comments, I would like then to have 15 Lance Ramella with Housing Trends to discuss a 16 little bit more in detail our product's pricing 17 and our absorption expectations.</p> <p>18 MR. RAMELLA: Good evening, everyone. 19 I hope you can hear me. My name is a Lance 20 Ramella. I run a company called Housing Trends, 21 LLC. We are a market-feasibility specialist 22 based in the suburbs. We work with home</p>
<p style="text-align: center;">39</p> <p>1 I think that McNaughtons have gone 2 to great pains to preserve the conservation and 3 the natural amenities of the area. I think that 4 Salt Creek nearby for recreation is a win-win 5 for everyone. And I just hope that the planning 6 commission will consider this. I think it will 7 help your tax base, your revenue flow, and I 8 think it will bring more people into our 9 wonderful community that we all love. It's just 10 we are lacking in product and we are losing 11 people, and it would be nice to have people stay 12 in the community.</p> <p>13 I know that people are worried 14 about high traffic. But my sense is the traffic 15 flow won't change that much because a lot of the 16 people are adults, and there will be some young 17 families that will be taking the children back 18 and forth to school; but there are houses now 19 there where there are younger families that go 20 back and forth. I mean they are vacant now but 21 there were younger families there, and I really 22 don't think there is going to be massive traffic</p>	<p style="text-align: center;">41</p> <p>1 builders and developers across the country and 2 we are based in St. Charles. In order to assess 3 the appropriate base prices for this community, 4 we look at several factors. We look at economic 5 and demographic data. We look at the local 6 environment, which includes proximity to 7 employment, shopping, services, transportation, 8 quality of schools, etcetera. We looked at new 9 construction comps and then we looked at local 10 resale comps. And based on all these factors, 11 we determined that the appropriate product type 12 was the age-targeted product, which are ranch 13 and main floor master units primarily, and 14 traditional single-family homes. The 15 recommended base prices that we came up for 16 these product types are \$950,000 starting price 17 for the age-targeted product and approximately 18 1.1 million for the traditional single-family 19 product. Now, keep in mind that these prices 20 will increase as the units get larger and the 21 purchasers add options and upgrades. So we 22 estimate that the average price for the</p>

<p style="text-align: center;">42</p> <p>1 age-targeted will be about 1.1 million and the 2 average sales price for the traditional homes 3 will be about 1.3 million. We believe that 4 these prices and product types fit into the 5 surrounding neighborhoods well, and they add 6 value to the neighborhoods. They are quality 7 homes, prices commensurate to what's selling 8 around them. Based on these prices and quality 9 of the units and the reputation of the builder, 08:05PM 10 we think that each product type will sell 11 approximately 1 unit per month. So combined, 12 two units per month for product type, which 13 equates to about a sell-out period of 24 months 14 or 2 years. 15 Next slide, John. These charts 16 might tell you a little bit about what Linda was 17 talking about. We did a radius search within 18 7.5 miles of the property, which includes a lot 19 of -- all of Hinsdale and Oak Brook and all the 08:05PM 20 way down to Burr Ridge and up to Elmhurst and 21 the surrounding area, and what the top graph 22 shows us is that the age category between 45 and</p>	<p style="text-align: center;">44</p> <p>1 at household growth along with propensity to 2 buy, propensity to buy new, income. So these 3 are for the incomes above 200,000 household 4 income. And you can see the demand again is 5 strong in the 35- to 44-year-old and then the 6 empty nesters. So, again, these are the reasons 7 we focused on those two product types, and we 8 think it's the right fit for the neighborhood. 9 John, back to you. 10 MR. BARRY: Okay. Thanks, Lance. 11 As part of our submittal of 12 documents, we also prepared a fiscal impact 13 study that's been shared with both the Village 14 and the local school districts; and that fiscal 15 impact study was prepared by Michael Lobbes. He 16 is here tonight also to summarize those positive 17 findings. Mike? 18 MR. LAUBE: Good. Thank you. Good 19 evening, Mr. Chairman, Members of the Committee. 08:08PM 20 We did a fiscal impact study that looked at the 21 cost and benefits of this project. We looked at 22 it from the standpoint of what would the number</p>
<p style="text-align: center;">43</p> <p>1 64 years old were actually going to lose 2 households in the next 5 years. So those are 3 your buyers that would purchase a 4,000-plus 4 square feet home on a large lot. The category, 5 the 35- to 44-year-old buyer, those are the 6 buyers, they have been moving out of the city, 7 have a condo, sold it, want to get out of the 8 city. That's growing at a considerable rate 9 over the next 5 years, as are what we would call 08:06PM 10 the empty nesters, the 65- to 74-year-old 11 buyers. That's the largest cohort on this 12 chart. And therefore, there is going to be 13 strong growth in that category as well. So 14 strong growth on the below 45s and the above 65s 15 and negative growth in the 45- to 64-year-olds, 16 and that's why we hear about the luxury market 17 struggling in the Chicago area. This is why, we 18 are seeing a dip in that, in that segment. It's 19 not that they don't want to afford those homes, 08:06PM 20 there is just not a lot of them. And the chart 21 on the bottom is the results of our demand 22 analysis that we do. This demand analysis looks</p>	<p style="text-align: center;">45</p> <p>1 of school children be for districts 86 and 181 2 based upon the ISPS statistics and then adjusted 3 those for the ranch-style homes, which is the 4 market for the empty nesters or the near-nesters 5 for this. We adjusted that accordingly but we 6 are still conservative. What we found with 7 using those statistics you get about 21 students 8 in K through 8 and you get about 9 students in 9 high school from this development. When you 08:09PM 10 multiply that out by the various costs that the 11 school district publishes, which is about 18,000 12 for 181 and 21,000, a little under, for 13 District 86, it comes up with a total cost. We 14 then looked at the property taxes of this and, 15 you know, those range from about 16,000 on the 16 low end to about 19,500 on the high end given 17 assessments, current assessments, current rates, 18 etcetera. What we found in there is that the 19 property tax revenues for District 181 and 86 08:09PM 20 would exceed the cost of the students using 21 those statistics by the amount that you see 22 here. We can get into what those gross and net</p>

<p style="text-align: center;">46</p> <p>1 amounts are should you like. But what you have 2 for 181 and 86 is about a million or a million 3 one and about a million two in net benefit over 4 a 20-year period. We also looked at the Village 5 here, and recognizing this is an infill site, 6 the property taxes generated or the net benefit 7 to the Village would be about 1.1 or between 1.1 8 and 1.2 million over a 20-year period. That 9 does, those numbers do not include the impact 10 payments that John has on the screen here. 11 Those are just the difference between the 12 property taxes and the anticipated cost to the 13 schools and the anticipated cost to the Village. 14 So you really have a positive 15 impact all the way around due to the 46 units, 16 due to the fact that you have a ranch-style home 17 marketed to the empty-nester to the near-nester 18 that doesn't have any kids or substantially no 19 kids, and you have an infill development here. 20 So we see the correlation between property 21 taxes, the density, and the cost being favorable 22 to all three districts here.</p>	<p style="text-align: center;">48</p> <p>1 residential parcels. It will have access to 2 both Adams Street and Madison Street. Both of 3 these streets are typical neighborhood roadways, 4 neighborhood-collector roadways that connect 5 local streets, local residential streets, to 6 higher-volume roadways like Ogden Avenue. 7 Typically roads like this can accommodate 8 anywhere from about 5 to about 8,000 vehicles 9 per day. The west parcel is located on the east 10 side of Adams Street and consists of 11 20 single-family homes and will be accessed by 12 one full access driveway on Adams Street that 13 will be aligned with Birchwood Road. The east 14 parcel is located west of Madison Street and 15 consists of 26 single-family homes that will be 16 accessed by two full access driveways on Madison 17 Street, both of which will be aligned with 18 Birchwood Road and Glendale Avenue. Cross 19 access is not provided between these two 20 parcels. 21 So as part of the traffic study, we 22 looked at how many trips each of the</p>
<p style="text-align: center;">47</p> <p>1 MR. BARRY: Okay. Thanks, Mike. I 2 would like to point out one more thing about a 3 couple of those numbers on the screen regarding 4 the committed impact fees. The Village of 5 Hinsdale does not have an impact fee ordinance. 6 We have taken it upon ourselves to go to both 7 Districts 181 and 86 and offer those dollar 8 amounts up to them. So again, like Mike said, 9 those numbers are over and above the net benefit 10 numbers you see above; but they are also 11 something that's not required under current 12 ordinance. Thanks, Mike. 13 MR. LAUBE: You're welcome. 14 MR. BARRY: Our final consultant 15 tonight is going to be Peter Reinhofer with V3 16 to discuss the findings of our traffic analysis. 17 MR. REINHOFFER: Good evening. This is 18 Peter Reinhofer with V3 Companies, and we 19 conducted the traffic impact study for this 20 proposed residential development. Just to kind 21 of do a quick summary from a traffic and access 22 perspective, the site includes two separate</p>	<p style="text-align: center;">49</p> <p>1 single-family homes will generate. So we 2 estimate that the west parcel in the 20 3 single-family homes will generate 237 daily 4 trips with 19 traveling during the typical 5 morning peak hour and 22 during the typical 6 evening peak hour. The east parcel with the 26 7 single-family homes will generate, it's 8 estimated will generate 301 daily trips, 23 of 9 which are during the morning peak hour and 28 10 during the evening peak hour. The traffic study 11 we looked at the daily traffic volumes along 12 Madison Street and Adams Street. Currently 13 Adams Street has a daily traffic volume of 14 approximately 1,100 vehicles per day just north 15 of the intersection at Ogden. And Madison 16 Street has a daily volume of 2,200 vehicles per 17 day. Just for a comparison, Madison Street 18 south of Ogden Avenue has an estimated daily 19 value of 5,100 vehicles per day. 20 So our traffic analysis looked at a 21 future scenario, which we estimated to be about 22 2028, which is about 5 years after this proposed</p>

<p style="text-align: center;">50</p> <p>1 Heather Highlands development would be fully 2 built out in 2023. The analysis looked at 3 traffic with and without this proposed 4 development. So for our future analysis, we did 5 include the trips generated by the proposed 6 senior living development that's currently 7 proposed on the west side of Adams Street. And 8 then we also included the potential traffic 9 generated by the parcel that is located at the 10 northeast corner of Ogden Avenue and Adams 11 Street. We estimated probably on the high side 12 that that parcel probably could be developed by 13 about 22 single-family homes. Again, that might 14 be on the high side, but it's better to be a 15 little more conservative. Additionally, we also 16 worked with The Chicago Metropolitan Agency for 17 Planning, which is CMAP, which is the 18 metropolitan planning organization of the 19 Chicagoland area, to obtain growth rates along 20 Ogden Avenue to account for background growth in 21 the area in addition to the adjacent IBLP 22 redevelopments. So a capacity analysis that we</p>	<p style="text-align: center;">52</p> <p>1 2,800 vehicles per day. Both these roadways are 2 projected to operate well below the typical 3 capacity for neighborhood collector roadways, 4 which has a capacity of about, again, 5 to 8,000 5 vehicles per day. So that's kind of a quick 6 summary of our traffic impact study. 7 MR. BARRY: Thanks, Peter. Just to 8 kind of wrap things up right now, I guess I just 9 wanted to stress our feeling that the need for 10 this type of development is there and it's 11 occurring in communities in the Chicagoland area 12 and other affluent communities across the 13 country. The open space preservation has 14 resulted in home buyers, developers, and 15 community officials abandoning the traditional 16 development patterns, thus providing a quality 17 of life that I think more and more homeowners 18 desire now. In this case with the open space, 19 we see a positive opportunity to collaborate 20 with the Village on this open space in addition 21 to collaborate with Ryan Companies on this open 22 space also.</p>
<p style="text-align: center;">51</p> <p>1 looked at for the peak hours at the unsignalized 2 intersection of Ogden Avenue and Adams Street 3 will result in eastbound left turns on Ogden 4 operating at levels of service A and B during 5 the morning and evening peak hours respectively; 6 so very little delay for anybody that wants to 7 travel eastbound and northbound. We also looked 8 the southbound approach, which is projected to 9 operate at level of C during the morning peak 10 hour and level service D during the evening peak 11 hour, both of which are acceptable levels of 12 service based on IDOT criteria. Ogden Avenue is 13 an IDOT roadway. IDOT owns and maintains Ogden 14 Avenue. Madison and Adams are both local 15 streets. 16 We also looked at the daily traffic 17 volumes on Adams Street and Madison Street. 18 With this proposed development as well as the 19 other IBLP redevelopments, it's estimated that 20 Adams Street will have a daily traffic volume of 21 2,900 per day. And similarly, we project the 22 daily volumes on Madison Street to be about</p>	<p style="text-align: center;">53</p> <p>1 We believe with your positive 2 recommendation and approval to the Village Board 3 Heather Highlands will be an asset to the 4 Village of Hinsdale. The property will be 5 developed in an orderly fashion and will 6 maintain Hinsdale as one of the finest 7 residential suburbs by providing and enhancing 8 its historic character as a community comprised 9 principally of well-maintained single-family 10 homes. 11 So, again, thank you for everybody 12 who participated tonight as witnesses. I 13 appreciate all the Plan Commissioners and 14 Chairman taking the time to hear the case. 15 You've got some questions, we are all here 16 tonight to answer those for you. Thank you. 17 CHAIRMAN CASHMAN: Commissioners, 18 questions for the applicant? 19 MS. FIASCONE: I have a question on the 20 drainage and flooding issues that have occurred 21 over in that area. Obviously, that's a concern 22 of a lot of the residents over there. And I</p>

<p style="text-align: center;">54</p> <p>1 don't think that was addressed tonight. Is 2 there any further discussion or response to 3 that? 4 MR. BARRY: Yes. Obviously, we are at 5 the conceptual stage right now with engineering. 6 We are quite confident that we have set aside 7 the proper area to take care of that. We 8 believe that this development, along with any 9 development, that you are going to see new 10 development will help stormwater. We are going 11 to be providing detention where detention does 12 not exist. So ultimately, we feel the 13 development will be a positive to the 14 neighborhood and help in those matters. 15 MR. LOBBES: This is Dan Lobbes from 16 the Conservation Foundation. I alluded to or 17 mentioned Naperville development that we worked 18 on that used to be a golf course. The golf 19 course frequently flooded and neighboring 20 streets and neighborhood basements also flooded 21 before the development went in. But working 22 with the county and the Conservation Foundation,</p>	<p style="text-align: center;">56</p> <p>1 when you are asking us to do something of a 2 binding nature? Thank you. 3 MR. BARRY: It's our understanding per 4 the Village ordinance that this is our first 5 step is the Plan Commission for this type of 6 planned development. 7 CHAIRMAN CASHMAN: For our concept 8 plan, then we want the final plan and -- (Zoom 9 audio interruption.) 10 Other questions, Jerry? 11 MR. JABLONSKI: I have got so many 12 questions, but I'm really concerned about the 13 fact that we are asking to be voting on lots 14 that are so far out of compliance with R-2 and 15 R-4. And also, the one slide, frankly, that 16 mentions zoning used the word not relevant 17 twice. I think that's our most relevant issue 18 here. 19 CHAIRMAN CASHMAN: Let's see, Julie? 20 MS. CRNOVICH: Yes. 21 CHAIRMAN CASHMAN: Just so formatwise, 22 I want while we have this fresh presentation, we</p>
<p style="text-align: center;">55</p> <p>1 the developer overbuilt some of the stormwater 2 facilities; and we got calls from neighbors 3 afterwards saying that the rains come and our 4 streets are clear and our basements don't flood. 5 So it can work if we all work together. 6 MS. FIASCONE: Thank you. 7 MR. JABLONSKI: Hi, it's Jerry 8 Jablonski. I have a question about your thought 9 process and presenting to us first. Reading 10 from the notes I got here today -- I will turn 11 my video back on -- you are coming to us with a 12 planned development concept application to 13 provide us with an opportunity to show the basic 14 scope of your project. However, the next 15 sentence goes on to read, Approval of a concept 16 plan binds both the applicant and the Village 17 with respect to various basic elements of the 18 development such as categories of use permitted, 19 general occasion uses, density, architectural 20 style, etcetera. You are asking to build 46 21 homes on 40 foot by 70 foot lots. Why aren't 22 you in front of the Zoning Plan Commission first</p>	<p style="text-align: center;">57</p> <p>1 are updating for the Commissioners, asking 2 questions; and then we will open up for public 3 comment so we can hear from people that have 4 registered to call. And then we can review, 5 discuss the written comments you have had. So I 6 will have time also later, the Commissioners can 7 ask additional questions. 8 MR. OLGUIN: Chairman, this is Jim 9 Olguin. I just wanted to answer 10 Commissioner Jablonski's question regarding his 11 comment. 12 CHAIRMAN CASHMAN: Who are you, Jim? 13 MR. OLGUIN: I'm the attorney for 14 McNaughton Development. 15 CHAIRMAN CASHMAN: Thank you. Sorry. 16 MR. OLGUIN: Sure. And also Hinsdale 17 resident. Our offices are located in Hinsdale 18 as well so we would welcome this development 19 here or at least I would on both capacities. 20 In answer to your question, because 21 this is a PUD, that is why some of the overall 22 bulk standards wouldn't necessarily be relevant</p>

<p style="text-align: right;">58</p> <p>1 and I think that's why it was noted in the 2 presentation as such. The PUD is intended to 3 provide a little bit more flexibility when there 4 are amenities being provided such as being done 5 in this case. 6 MS. CRNOVICH: This is Julie Crnovich. 7 I would like to follow up on what Jerry just 8 said. Was this application referred to us by 9 the Board of Trustees? I don't recall seeing it 10 on any trustee agendas. 11 MR. BARRY: The application was not 12 referred by the Board of Trustees. We did start 13 along that process last fall when we had 14 received some informal feedback at that time 15 that caused us to alter our proposal. We 16 brought back this scaled-back proposal in the 17 spring. We had requested some of those informal 18 meetings again. The message that we received 19 was that there was no reason to meet based on 20 that. And then upon our review of the Code, and 21 I think staff would confirm, there was no 22 requirement for this proposal to get a referral</p>	<p style="text-align: right;">60</p> <p>1 level they don't formulate a formal staff 2 report. We are simply making this presentation 3 at this level. 4 CHAIRMAN CASHMAN: That's intentional 5 to allow a concept plan to be reviewed before 6 you spend an enormous amount of money developing 7 a plan. 8 Julie, any other questions? 9 MS. CRNOVICH: I'm glad you are having 10 a community meeting, but I feel that that should 11 have happened before tonight's presentation. 12 MR. BARRY: We did consider doing that 13 before the presentation. However, we felt that 14 it was important to get the story out, not only 15 on our social media and our website; but this is 16 the true, the true test of the case is in front 17 of the Plan Commission and wanted that first 18 message to get out in this forum with the follow 19 up with the community. 20 MS. CRNOVICH: Thank you. 21 MR. MC NAUGHTON: McNaughton, Junior. 22 Can I step in for a second here?</p>
<p style="text-align: right;">59</p> <p>1 from the Village Board so that's what brought us 2 directly to the Plan Commission. 3 MS. CRNOVICH: Thank you. Have you 4 been actively working with the Village on this 5 plan? My concern, we've had, what, 142 letters 6 I believe in opposition? And I have not seen 7 one letter in favor of your plan. Also, back to 8 the waivers and variances you are requesting, 9 it's a lot. 10 CHAIRMAN CASHMAN: We kind of 11 summarized that, jump ahead a little bit. We 12 had 142 pages, 141 pages of emails, most of them 13 single page, some that ran over. Out of that 14 group, there was one with supporting and the 15 rest were opposed as you can tell. 16 MR. BARRY: We understand that and we 17 have reviewed those letters. We have had a 18 number of discussions. We have been involved 19 with this project for well over a year and a 20 half. We have had a number of conversations 21 with staff, and we formulated these plans over 22 the time. It's our understanding that at this</p>	<p style="text-align: right;">61</p> <p>1 MR. BARRY: Sure, Paul. 2 MR. MC NAUGHTON: Yes. I know that 3 there are a lot of letters and negativity for 4 this project. And in response to why we didn't 5 have the community outreach meeting beforehand, 6 I think there was some past iterations of this 7 project that had leaked out there that are 8 really not the subject of this presentation 9 tonight. So we really wanted to get the true 10 nature of this proposal, 46 lots, the 11 conservation design. All single family, no 12 multifamily, no condos, nothing like that. I 13 think if you review some of those letters, some 14 of the people that have written in probably 15 don't know exactly what this proposal is because 16 of the misinformation that was out there before. 17 So that's why we wanted to put our case before 18 the Plan Commission tonight so that the record 19 is clear as to what exactly we are proposing, so 20 that people can formulate late questions based 21 on this presentation and not based on hearsay 22 and maybe some previous plans that had floated</p>

<p style="text-align: center;">62</p> <p>1 around.</p> <p>2 CHAIRMAN CASHMAN: It seems like I do</p> <p>3 know in the past, and this is before you were</p> <p>4 even on the agenda, we were getting letters when</p> <p>5 Ryan was on the agenda. It was related to that,</p> <p>6 whatever that drawing was that was circulated</p> <p>7 around that showed more than this 46-unit</p> <p>8 development. The ones that we have currently,</p> <p>9 which are basically from late August or early</p> <p>08:29PM 10 September, do seem to be reflective of what you</p> <p>11 are proposing.</p> <p>12 MR. MC NAUGHTON: Okay. I think just</p> <p>13 to speak to that, too. I mean I think there is</p> <p>14 a lot of concerns there that are typical general</p> <p>15 kind of subdivision concerns. And you all have</p> <p>16 been doing this long enough, you know that</p> <p>17 issues of stormwater and traffic and density,</p> <p>18 they are kind of blanket concerns that apply to</p> <p>08:30PM 19 any development that ever was presented to a</p> <p>20 commission or a board. So we would hope that,</p> <p>21 you know, the Commissioners and the public will</p> <p>22 have an open mind based on what we have</p>	<p style="text-align: center;">64</p> <p>1 population be? I'm getting mixed messages here</p> <p>2 because on one level you are saying that these</p> <p>3 are going to be single-family homes for families</p> <p>4 with kids that are going to be feeding into</p> <p>5 school districts, particularly Monroe, and then</p> <p>6 into D86 for high school. Then I'm hearing this</p> <p>7 is for empty nesters. So on your best estimate</p> <p>8 on your best day, what are you looking at for</p> <p>9 full capacity, question one, that is; and then I</p> <p>08:32PM 10 would like to break that down. You gave us a</p> <p>11 number that you thought 21 kids would be going</p> <p>12 into K through 8 and 9 would be going into D86.</p> <p>13 I'm trying to back into that and figure out</p> <p>14 where you are getting this information and</p> <p>15 making these numbers.</p> <p>16 MR. BARRY: Our estimate was that half</p> <p>17 of the product would be empty nester and half</p> <p>18 would be the traditional single family. So you</p> <p>19 are talking about probably at buildout of</p> <p>08:32PM 20 approximately 140 people.</p> <p>21 MS. FISHER: Out of 140 -- I'm just</p> <p>22 trying to figure out your math. How do you get</p>
<p style="text-align: center;">63</p> <p>1 submitted and presented here tonight, that this</p> <p>2 is a good project for the Village,</p> <p>3 notwithstanding some of the kind of blanket</p> <p>4 negative statements that accompany a lot of</p> <p>5 different developments.</p> <p>6 CHAIRMAN CASHMAN: Michelle?</p> <p>7 MS. FISHER: Hi. I want to just try to</p> <p>8 figure out what some of the numbers are with</p> <p>9 respect to what these cluster lots of housing,</p> <p>08:30PM 10 which that what it looks like to me, like these</p> <p>11 are cluster lots, when you are full capacity</p> <p>12 when all these potentially are sold, what do you</p> <p>13 think the population of that area will be?</p> <p>14 MR. BARRY: Well, I can tell you that</p> <p>15 our product now, the age-targeted product, is</p> <p>16 what exactly you would think it would be, it's</p> <p>17 two people that are empty nesters. So I'm very</p> <p>18 confident that that product will be two people.</p> <p>19 The traditional single-family, it would be more</p> <p>08:31PM 20 of what you think as a traditional single</p> <p>21 family, four or five residents per home.</p> <p>22 MS. FISHER: So what would your</p>	<p style="text-align: center;">65</p> <p>1 21 kids going into K through 8 and 9 going into</p> <p>2 D86?</p> <p>3 MR. BARRY: Those numbers are based on</p> <p>4 a density calculation. Mike, could you</p> <p>5 mention -- You mentioned how you come about</p> <p>6 those numbers.</p> <p>7 MR. LAUBE: Yes. Thanks for the</p> <p>8 question, Commissioner Fisher. Mike Laube here</p> <p>9 again. We came up with the number of the</p> <p>08:33PM 10 students by using the ISCS standard ratios for</p> <p>11 the units. So for the 23 market rate nonempty</p> <p>12 nester units, in other words, the master bedroom</p> <p>13 is on the 2nd floor, they have the full</p> <p>14 complement of students coming from those ratios.</p> <p>15 On the empty-nester product, we estimated those</p> <p>16 are -- First of all, those are lesser bedrooms</p> <p>17 so it's geared towards the empty-nesters. The</p> <p>18 lesser bedrooms also have a lesser ratio of</p> <p>19 students. We also adjusted those students down</p> <p>08:33PM 20 by a factor of 75 percent. And that's</p> <p>21 conservative, conservative meaning high, because</p> <p>22 we estimated in here and we wanted to see where</p>

<p style="text-align: center;">66</p> <p>1 that went is that some students would come out 2 of those master down product. In reality, maybe 3 you get one or maybe you get two out of those 4 and that's really about it. So our estimate of 5 21 students at the K through 8 level and 9 6 students at high school level we feel is pretty 7 conservative, meaning high. We have not 8 estimated the total population of this. The 9 scope of our work was just limited to the 10 student population.</p> <p>08:34PM 11 MR. OLGUIN: Mike, this is Jim Olguin 12 again. Could you kind of explain, I think it 13 might be helpful, where those ratios come from 14 and how those are developed and are kind of used 15 across the state by various communities and 16 school districts?</p> <p>17 MR. LAUBE: Yes. The acronym of ISCS 18 escapes me. I can look that up right now. But 19 it's a standard ratio that we have been using 20 since the mid 1990s, late 1990s, that have been 21 developed to say based upon certain product 22 types, apartments, single-family detached,</p>	<p style="text-align: center;">68</p> <p>1 kids in the lesser units, the ranch-style home. 2 MS. FISHER: I mean I appreciate your 3 ratios but what you are marketing to us right 4 now are kids fishing in the ponds, families 5 fishing in the ponds, you having a playground. 6 All of that attracts young families with 7 children. That doesn't attract elderly people 8 or a retirement community for which you speak 9 of. So I'm just concerned about the marketing 10 message being a little off here. Are you going 11 to market these for families with kids who are 12 going to populate this area, or are you going to 13 market it with seniors? I just don't see 14 grandma and grandpa or my grandma and grandpa 15 moving to an area like that, especially when we 16 have other areas in town that already try to 17 address that need. So I'm very confused about 18 what you are actually marketing in that aspect 19 of having families versus having a retirement 20 community.</p> <p>08:36PM 21 MR. BARRY: We are marketing both but 22 it's not a retirement community either. And I</p>
<p style="text-align: center;">67</p> <p>1 single-family attached, what are the number of 2 students that would be generated by those types 3 of units and then broken down by number of 4 bedrooms. So by way of example, a studio 5 apartment produces no kids. A 4-four bedroom 6 home, 4-bedroom, single-family detached home, 7 produces the most kids. We have 23 of those 8 here. We have used the highest ratio of the 9 standard ratios that are used across the board, 10 and those ratios were developed for really the 11 land cash donations and the impact fee donations 12 that have a rational basis, so that you can say 13 this is going to produce 9 high school students 14 times the impact fee rate and that's the payment 15 that's going to go the high school. The same 16 thing for the grade schools. We used a 17 consistent methodology here to say what are 18 those ratios by product type, and this is 19 single-family detached, and by the number of 20 bedrooms, and then the adjustment for the empty 21 nesters. So we have a full complement of kids 22 in 23 of the units and a lesser complement of</p>	<p style="text-align: center;">69</p> <p>1 guess I might disagree a bit. I think there are 2 plenty of people, that move-down buyer, the more 3 mature buyer, that will appreciate the 4 accessibility of the walking and the amenities 5 of the site. And I think as a population, we 6 are much more active than maybe grandma and 7 grandpa were a couple generations ago. So I 8 think this product will fit with both buyers.</p> <p>9 CHAIRMAN CASHMAN: Questions, Michelle?</p> <p>08:37PM 10 MS. FISHER: I'm sorry if I missed the 11 date. When is the community meeting or the 12 outreach meeting that they all intend to have 13 scheduled for?</p> <p>14 MR. BARRY: 16th, yes. September 16.</p> <p>15 MS. FISHER: Thank you.</p> <p>16 CHAIRMAN CASHMAN: Jim?</p> <p>17 MR. KRILLENBERGER: I generally like 18 the idea about open space development, and my 19 fellow Commissioners have very wise observations 20 as always. I do agree that we do need some 21 smaller lots. As a reminder, the development at 22 55th and County Line went from this Commission</p>

<p style="text-align: center;">70</p> <p>1 to the trustees. I think the trustees actually 2 took our recommendation and increased the 3 density. So the plans are looking like they are 4 going in a good direction from my perspective. 5 I am very interested in what 6 feedback you get from the community at the 7 meeting at The Community House and, hopefully, 8 we will be able to take that into consideration 9 before we vote.</p> <p>08:39PM 10 CHAIRMAN CASHMAN: And then we have a 11 few -- Basically what I'd like to, we have a 12 few and I would like to take a quick break and 13 then come back to public comment. My first has 14 to do with there is a comparison chart, let me 15 say. 16 MR. KRILLENBERGER: Steve, while you're 17 formulating your question. Some of the 18 questions mention that this is going to be a 19 gated community. I didn't see that in the 08:39PM 20 presentation. That's not true, right? 21 CHAIRMAN CASHMAN: No. It is shown on 22 the drawings.</p>	<p style="text-align: center;">72</p> <p>1 appreciate you describe the layout of what it 2 would be if it was a compliant R-2 development, 3 which indicated 21 properties, compliant 4 properties, at 20,000 square feet minimum, 5 setbacks, all that. If you are comparing 21 to 6 46, I just don't see how this chart makes any 7 sense. 8 MR. SAVOY: This is Kon Savoy. I'd be 9 happy to respond to that. This chart that we 08:41PM 10 provided was not a comparison of the yield plan 11 that you were provided recently. There is a 12 comparison of what would otherwise be a typical 13 subdivision in an R-2 district with -- A 14 straight subdivision, 100 developable land 15 compared to what is 16 -- does it say -- 16.2 16 acres of developable land, right, that's the 17 total buildable acreage. And we compared -- for 18 Heather Highlands, right, of the 37; and we 19 compared that to what would happen if you had 08:42PM 20 the same equivalent land and applied it to the 21 R-2 zoning district. And so that's what this 22 table does is compares -- We're trying to</p>
<p style="text-align: center;">71</p> <p>1 MR. KRILLENBERGER: Okay. Is that a 2 necessary component of this? 3 MR. BARRY: It is not. It was part of 4 the initial plan but our -- As we get more into 5 the concept of the shared common space, the 6 gates don't quite fit that feel or that look. 7 So though they were an initial portion of the 8 development, they will not be part of the final 9 portion of the development. 08:40PM 10 MR. KRILLENBERGER: Okay. I'm glad to 11 hear that; and I'm very intrigued by the 12 accessibility of the rest of Hinsdale, the rest 13 of the community, people, to the open spaces 14 that you are developing. So, sorry, Steve, 15 didn't mean to interrupt. 16 CHAIRMAN CASHMAN: Any time. What I 17 was looking at was proposed density/building/lot 18 coverage, population, pricing. And it shows in 19 an R-2 subdivision plan versus what you are 08:40PM 20 proposing in Heather Highlands. I just cannot 21 figure out how you come up with those numbers 22 where an R-2 subdivision and based on -- and I</p>	<p style="text-align: center;">73</p> <p>1 compare apples to apples. Buildable area for 2 Heather Highlands compared to buildable area in 3 an R-2 typical subdivision. And that's in the 4 explanation below in the footnotes provide the 5 assumptions we used in coming up with the 6 various numbers. 7 CHAIRMAN CASHMAN: And so does this 8 include -- So this is basic just the buildable 9 area, it's not anything within the floodplain? 08:42PM 10 MR. SAVOY: That's correct. 16.2 is 11 exclusive of the floodplain. 12 CHAIRMAN CASHMAN: How can your density 13 per acre be 1.24 when you are talking about 46 14 units and then on 21 on the same property, the 15 same -- 16 MR. SAVOY: Right. So the net density 17 and gross density are different -- using 18 different numbers on those two illustrations. 19 The net density applies, the 16 -- I'm sorry -- 08:43PM 20 the 46 units against the net buildable area. 21 The gross density applies it to the entire 22 37 acre, and that's why you get a much lower</p>

<p style="text-align: center;">74</p> <p>1 number.</p> <p>2 CHAIRMAN CASHMAN: Does the total</p> <p>3 buildable area include that what you show on the</p> <p>4 site plan as a future development to the north,</p> <p>5 which is in Oak Brook?</p> <p>6 MR. SAVOY: It does not.</p> <p>7 CHAIRMAN CASHMAN: It does not. What</p> <p>8 does future development mean? What are the</p> <p>9 plans for that property?</p> <p>08:44PM 10 MR. BARRY: The plans for the Oak Brook</p> <p>11 property?</p> <p>12 CHAIRMAN CASHMAN: Yes.</p> <p>13 MR. BARRY: As of now, there are no</p> <p>14 plans. Since the majority of the property is in</p> <p>15 Hinsdale, our concentration has been on the</p> <p>16 Hinsdale zoning case. Other than having</p> <p>17 informal meeting with the Oak Brook planning</p> <p>18 department last year just to notify them of the</p> <p>19 development proposal, we haven't engaged in any</p> <p>08:44PM 20 detailed discussions with them.</p> <p>21 CHAIRMAN CASHMAN: Okay. I mean I</p> <p>22 still see, I cannot make sense out of your</p>	<p style="text-align: center;">76</p> <p>1 just a code compliant R-2 development, not a</p> <p>2 PUD, is it correct that this would be 21 homes,</p> <p>3 properties, not -- What would be the numbers?</p> <p>4 21, correct?</p> <p>5 MR. BARRY: There was a very</p> <p>6 preliminary concept plan that we did prepare</p> <p>7 with 21, yes.</p> <p>8 CHAIRMAN CASHMAN: And isn't it</p> <p>9 correct, I mean you talk about open space. But</p> <p>08:46PM 10 this floodplain area, regardless of who would</p> <p>11 buy this property and who would develop it, it's</p> <p>12 always going to be open space because of the</p> <p>13 fact that it's floodplain. It's not like, I</p> <p>14 mean this development, this conservation</p> <p>15 concept, if you were talking about more of a</p> <p>16 green field site, were actually pushing dirt</p> <p>17 around and creating special use ponds and</p> <p>18 created in a way like green space, water</p> <p>19 features, paths and everything. This is</p> <p>08:47PM 20 something that exists already, and I just don't</p> <p>21 understand how it's giving us anything. It's</p> <p>22 here today. It's always going to have to be</p>
<p style="text-align: center;">75</p> <p>1 calculations on that chart when I looked at it.</p> <p>2 Give me a second. I was off -- Instead of the,</p> <p>3 like on your main site plan. You have the site</p> <p>4 plan data on the top right. This is below you</p> <p>5 chose the gated private entrance, you indicate</p> <p>6 13.4 acres. I scaled it and I come up with like</p> <p>7 11.57. And I know and that's listed as total</p> <p>8 buildable or future development land. That's</p> <p>9 why I questioned if you are actually including</p> <p>08:45PM 10 the Oak Brook land in these calculations.</p> <p>11 MR. BARRY: The 16.2 acres is a</p> <p>12 combination of the 13.4 developable land plus</p> <p>13 the detention facilities of 2.8 acres.</p> <p>14 CHAIRMAN CASHMAN: Okay. The detention</p> <p>15 area, and this is kind of difficult to tell, the</p> <p>16 extent. I looked at a floodplain map and tried</p> <p>17 to determine. But basically a detention area,</p> <p>18 is that within the floodplain?</p> <p>19 MR. BARRY: There is portions of it</p> <p>08:45PM 20 that will be, but the majority of it is outside</p> <p>21 the floodplain.</p> <p>22 CHAIRMAN CASHMAN: So if you were to do</p>	<p style="text-align: center;">77</p> <p>1 here because it's in a floodplain. So it's just</p> <p>2 in existence. It's an existing condition that's</p> <p>3 always going to be there regardless of how this</p> <p>4 is developed. Would that be correct?</p> <p>5 MR BARRY: Well, I think maybe the key</p> <p>6 to that, though, is existing condition. And our</p> <p>7 vision is not to keep it in its existing</p> <p>8 condition. I think going back to the some of</p> <p>9 the items that Dan mentioned as far as the</p> <p>08:47PM 10 improvements with the property with the prairie</p> <p>11 grasses and then the amenities that we want to</p> <p>12 add as far as the native trees and bushes and</p> <p>13 pathway systems and the other aspects of that.</p> <p>14 It's not going to look like it is in its</p> <p>15 existing condition. And it will be, again,</p> <p>16 accessible to the public where it is not now.</p> <p>17 It is private property. And Kon mentioned</p> <p>18 before, too, the property custodian chasing</p> <p>19 people off the property. So, yes, it is</p> <p>08:48PM 20 floodplain, it won't be built on; but there can</p> <p>21 be a lot more done with that property.</p> <p>22 CHAIRMAN CASHMAN: That is a newer</p>

<p style="text-align: center;">78</p> <p>1 function, the 1970s when that place opened 2 through the '80s, '90s. And my children fished 3 there, students or whatever from Basic Life 4 Principles would come over and talk to them but 5 they would never ask them to leave. In a way, I 6 think they were spreading the message, that they 7 were okay with that; but it wasn't like it was 8 fenced. It wasn't like they were asked to 9 leave. You know, and I do agree, it's in fairly 08:48PM 10 rough shape right now. There is a lot of trees 11 that need to be pulled out of there. Certainly 12 could be improved and needs to be improved. But 13 the general footprint would always kind be the 14 same regardless this. 15 MR. MC NAUGHTON: Just to add on to 16 what John was saying, we have done a preliminary 17 budget of the proposed improvements that we as 18 the developer would include for the open space. 19 It's over \$1.2 million. I think that this is 08:49PM 20 where we can really have a full community kind 21 of effort to identify amenities that they would 22 like to see within this open space area. And we</p>	<p style="text-align: center;">80</p> <p>1 MR. BARRY: That's correct. 2 MR. MC NAUGHTON: I guess, I don't want 3 to be overly technical, but it is a planned 4 development so they are not technically 5 variances because you have to look at what we 6 are proposing. We are not proposing a 7 traditional lot. But that's hypertechnical, I 8 understand what you are saying. 9 CHAIRMAN CASHMAN: Just thinking just 08:50PM 10 on general terms. I agree, that's where PUDs 11 have always been a cooperative approach because 12 it could be something makes sense to provide a 13 variance because of the benefit that outweighs 14 that. 15 MS. CRNOVICH: Excuse me, Steve. I 16 think I counted 10 variances waivers. 17 CHAIRMAN CASHMAN: Okay. Well, the 18 other ones -- 19 MS. CRNOVICH: Because there were some 08:51PM 20 things that were not on their certificate of 21 zoning compliance or added later. 22 CHAIRMAN CASHMAN: I don't know if that</p>
<p style="text-align: center;">79</p> <p>1 as the developer have our own ideas, of course; 2 but this is part of the process that we engage 3 the Commissioners and the board members and the 4 public to get their opinions as well because we 5 are happy to listen and to implement ideas that 6 we might not have even thought about yet. 7 CHAIRMAN CASHMAN: That is really a 8 part of the whole community process is to listen 9 to a proposal, understand if it has merit, if 08:49PM 10 there are things that need to be adjusted. I 11 don't think there has ever been a special PUD 12 that hasn't had adjustments going through the 13 Village of Hinsdale. 14 Just one final thing, and then I'd 15 like to take a little break and allow the 16 public, they have been very patient. Just 17 following up on this was Jerry's comment or 18 question, I mean looking back at the slides, my 19 calculation is in this PUD there are basically 08:50PM 20 6 major variances that are requested, lot sizes, 21 lot width, lot depth, front yard, rear yard, and 22 side yard. Would that be correct?</p>	<p style="text-align: center;">81</p> <p>1 would be a variance or a Village issues, 2 construction hours. I think that was in there. 3 MS. CRNOVICH: Well, they have things, 4 too, like they don't want to do the perimeter 5 around the development, the perimeter lot line. 6 I counted 10, which is a lot. 7 MR. MC NAUGHTON: Again, we are still 8 kind of in concept here. So we are kind of just 9 presenting the broad strokes of the proposal 08:51PM 10 obviously. And for process reasons, we are 11 going to list as many modifications as we can so 12 that we don't have to go back and add them 13 later. So I think that there is some of that 14 there, where some of those buffer requirements, 15 for example, we may not comply with some of them 16 but we may comply with most of them. We may 17 know more as we get, hopefully, further along 18 with the process. 19 CHAIRMAN CASHMAN: So what I would like 08:52PM 20 to do, it's 8:49. If we could just take a two- 21 or three-minute break. I will let everyone 22 involved go to the bathroom, get something to</p>

<p style="text-align: right;">82</p> <p>1 drink, and continue.</p> <p>2 Michael, do we need a motion for</p> <p>3 this, to talk a pause?</p> <p>4 MR. MARRS: Yes. Why don't we have a</p> <p>5 motion to recess for five minutes.</p> <p>6 CHAIRMAN CASHMAN: Can I hear a motion</p> <p>7 to recess for 5 minutes.</p> <p>8 MR. KRILLENBERGER: So moved.</p> <p>9 CHAIRMAN CASHMAN: Jim.</p> <p>08:52PM 10 Second?</p> <p>11 MR. JABLONSKI: Second by Jablonski.</p> <p>12 CHAIRMAN CASHMAN: Roll call, please,</p> <p>13 Chan.</p> <p>14 MR. YU: Sure. Commissioner</p> <p>15 Krillenberger?</p> <p>16 MR. KRILLENBERGER: Aye.</p> <p>17 MR. YU: Commissioner Fisher?</p> <p>18 MS. FISHER: Aye.</p> <p>19 MR. YU: Commissioner Jablonski?</p> <p>08:53PM 20 MR. JABLONSKI: Aye.</p> <p>21 MR. YU: Chairman Cashman?</p> <p>22 CHAIRMAN CASHMAN: Aye.</p>	<p style="text-align: right;">84</p> <p>1 MR. YU: Commissioner Fisher?</p> <p>2 MS. FISHER: Aye.</p> <p>3 MR. YU: Commissioner Jablonski?</p> <p>4 MR. JABLONSKI: Aye.</p> <p>5 MR. YU: Chairman Cashman?</p> <p>6 CHAIRMAN CASHMAN: Aye.</p> <p>7 MR. YU: Commissioner Crnovich?</p> <p>8 MS. CRNOVICH: Aye.</p> <p>9 MR. YU: And Commissioner Fiascone?</p> <p>10 MS. FIASCONE: Aye.</p> <p>11 MR. YU: Thank you.</p> <p>12 CHAIRMAN CASHMAN: Thank you, everyone.</p> <p>13 Okay. So I really apologize, I'm sure I'm going</p> <p>14 to slaughter some names here. I'm going to go</p> <p>15 in order received. First is Marlene and Pierre</p> <p>16 Abi-Mansour.</p> <p>17 MR. ABI-MANSOUR: This is Pierre.</p> <p>18 Marlene is out so I give my turn to whoever is</p> <p>19 next. We'll commence later because she had to</p> <p>09:01PM 20 leave the table right now.</p> <p>21 CHAIRMAN CASHMAN: Okay. I will come</p> <p>22 back to you. The next would be Dan Hemmer, I</p>
<p style="text-align: right;">83</p> <p>1 MR. YU: Commissioner Crnovich?</p> <p>2 MS. CRNOVICH: Aye.</p> <p>3 MR. YU: Commissioner Fiascone?</p> <p>4 MS. FIASCONE: Aye.</p> <p>5 CHAIRMAN CASHMAN: So thank you,</p> <p>6 everyone. It's 8:50. And then we will come</p> <p>7 back and we will start with -- I have a list of</p> <p>8 I believe 10 people that would like to speak to</p> <p>9 this matter. We will call them and listen to</p> <p>08:53PM 10 their comments. So see you in 5 minutes.</p> <p>11 (Short recess.)</p> <p>12 CHAIRMAN CASHMAN: So get all the</p> <p>13 Commissioners back. I would like a motion to</p> <p>14 reconvene. Do I have a motion to reconvene?</p> <p>15 MR. JABLONSKI: Jablonski, motion to</p> <p>16 reconvene.</p> <p>17 CHAIRMAN CASHMAN: Second?</p> <p>18 MS. FIASCONE: Second.</p> <p>19 CHAIRMAN CASHMAN: Anna, second. Roll</p> <p>09:00PM 20 call vote, please, Chan.</p> <p>21 MR. YU: Commissioner Krillenberger?</p> <p>22 MR. KRILLENBERGER: Aye.</p>	<p style="text-align: right;">85</p> <p>1 see you, Dan. Welcome.</p> <p>2 MR. HEMMER: Thank you. Thanks for</p> <p>3 hearing from the public. My name is Dan Hemmer.</p> <p>4 (Mr. Hemmer sworn.)</p> <p>5 MR. HEMMER: My wife Amy and I have</p> <p>6 lived in Hinsdale. We lived near the downtown</p> <p>7 near the Village center for 15 years and then</p> <p>8 moved up into Fullersburg a year ago. I guess</p> <p>9 I'm not just speaking on my behalf but on behalf</p> <p>09:02PM 10 of the greater Fullersburg neighborhood and</p> <p>11 folks south of Ogden as well who have joined our</p> <p>12 group. There is a 501(c)(4) organization</p> <p>13 created in response to McNaughton. Hundreds of</p> <p>14 folks are on our Facebook page or in our email</p> <p>15 list as interested parties. So if you see green</p> <p>16 signs around town, that is our organization. So</p> <p>17 rather than all of us speak just a couple of</p> <p>18 people from our organization signed up but,</p> <p>19 obviously, there are many people who are</p> <p>09:02PM 20 interested in this. So I would point you to our</p> <p>21 Facebook page or our website for sort of our</p> <p>22 stance on the project generally. I'm not going</p>

<p style="text-align: center;">86</p> <p>1 to repeat a lot of the things you have seen in 2 the letters I hope. 3 One thing, I just have a few things 4 I guess I would like to say on behalf of the 5 group. One, there are a lot of comments both 6 respect to the Ryan project and this project 7 that the residents are confused about the 8 projects. And while there may be individual 9 points of confusion, in general the residents 10 are very highly attuned to what's going on and 11 looking at the things that are filed with the 12 Village in the packets and reading the minutes 13 of the Plan Commission meetings. So I don't 14 think there really is very much confusion in 15 general, even if some people make one or two -- 16 confuse one or two small things that are 17 presented. And frankly, I find it offensive to 18 find developers say we are confused about what 19 we are doing when I find the materials they are 20 presenting to be misleading and cooked in many 21 ways. 22 We disagree with almost everything</p>	<p style="text-align: center;">88</p> <p>1 million dollars each, unless they are counting 2 the profits that they are taking as their 3 investment. 4 We disagree that R-2 is an 5 undesirable zoning classification. I'm 6 relatively young compared to the Village of 7 Fullersburg. This is the oldest section of 8 Hinsdale. So this predates, Fullersburg 9 predates Hinsdale. We have people who have 10 lived here all their lives in this neighborhood, 11 and they are in our organization. My 12 understanding of the history of the neighborhood 13 is that it joined Hinsdale, it was 14 unincorporated Du Page County, and joined 15 Hinsdale exclusively to stop the densification 16 of the area and to avail itself of the Hinsdale 17 Zoning Code. So all these folks voted to join 18 Hinsdale to annex because this site was planned 19 for a giant conference center many, many, years 20 ago. So then that came back around again in the 21 '70s and the neighborhood had to reorganize and 22 hire lawyers and consultants to stop it from</p>
<p style="text-align: center;">87</p> <p>1 that the McNaughton folks say about their 2 project. We disagree with the school impact. 3 We disagree with the traffic impacts. The roads 4 that, the road numbers they are saying are for a 5 5,000 a day cars or for streets that are 6 maintained and built to be a little bit 7 different type of road than Madison and Glendale 8 and Adams are. These are streets without 9 sidewalks, without curbs, without sewer in a lot 10 of cases without streetlights. This is a rural 11 area as much as that can be rural this close to 12 Chicago, which is why a lot of people moved 13 here. 14 We disagree with the amount of 15 investment that they claim to be putting in. As 16 the chairman already mentioned, it's misleading 17 to try to get credit for a bunch of open space 18 that's already open space in order to mask, 19 densify, the remaining space on the site. They 20 claim numerous places to be investing 21 \$15 million in the community, which doesn't make 22 any sense if they are selling 46 houses more a</p>	<p style="text-align: center;">89</p> <p>1 dense building that was proposed at that time as 2 well. So this is an ongoing zoning-creep effort 3 by the owners of this property to monetize the 4 land that they have acquired for their 5 organization. It's a constant battle by our 6 neighborhood to try to keep it in fitting with 7 the neighborhood. 8 Let's see, I'm going to see if 9 there anything else I missed. The nature of our 10 community is not tract housing and that doesn't 11 just go for the Fullersburg neighborhood but all 12 of Hinsdale. The reason people like Hinsdale is 13 the eclectic nature of the architecture, the 14 variety of homes in size and scale. It creates 15 a charm in Hinsdale that is universally 16 recognized and why we all moved here. And so 17 massively densely packed houses -- There is 18 nothing on Google Earth that looks like this 19 except houses like in Phoenix or Naperville. 20 This is not a Hinsdale-type housing development. 21 My setback, I live right across the street from 22 the entrance, the proposed entrance, on</p>

<p style="text-align: center;">90</p> <p>1 Glendale. My setback at its narrowest point is 2 45 feet so the Village parkway is 45 feet. So 3 it's bigger, my setback is bigger than the width 4 of these lots. I could fit four or five of them 5 across the front of my yard. It's a 6 ridiculously dense plan that just doesn't fit 7 with our community. So those are sort of the 8 highlights.</p> <p>9 I want to say one last thing, which 10 is if any of you do not ever get up to Salt 11 Creek or this community ever, drive up here and 12 drive around the neighborhood. There are 13 hundreds of signs in this neighborhood. 14 Obviously, there are signs down closer to the 15 Village center as well. And our organization 16 would be happy to meet with you and have a beer 17 at Salt Creek or walk the property with you and 18 explain our problems with it more fully. That's 19 all I have got to say. Thank you for having us.</p> <p>20 CHAIRMAN CASHMAN: Thank you very much. 21 Our next speaker is Armando 22 Travelli. Armando? You are muted right now.</p>	<p style="text-align: center;">92</p> <p>1 McNaughton was reserving for the enjoyment of 2 the residents; but it isn't. It is 942 North 3 Madison and it is a house that used to be owned 4 by an old friend of ours, Trudi Temple. And 5 Trudi became famous for the beauty of her garden 6 and she died recently, and her land is not part 7 of the McNaughton ownership. It is owned by 8 someone whose name is McLean (phonetic) I 9 discovered recently. They purchased that land, 10 that house, and they refurbished it. If you go 11 to the area, you still see the workmen working 12 on it. And north of it and south of it, there 13 are two lots that seem to be perfect for similar 14 homes that will be equivalent to the old Trudi 15 Temple house and to other houses that are on 16 Madison Street north of there. Those are the 17 lands, part of the land, that McNaughton plans 18 not to be four or five houses that would be 19 consistent with the present zoning and with the 20 way the older Trudi Temple house was built, but 21 they plan to build 24 houses. 24 instead of 4 22 or 5, that's the ratio of which the new</p>
<p style="text-align: center;">91</p> <p>1 MR. TRAVELLI: I am unmuted now I 2 think.</p> <p>3 CHAIRMAN CASHMAN: Welcome. 4 (Mr. Travelli sworn.)</p> <p>5 MR. TRAVELLI: I missed part of what my 6 friend just mentioned to me, to us. But in 7 general, I have read all the papers, all the 8 letters, that were sent in to the Village of 9 Hinsdale by the other members of our group. I 10 agree with just about everything that they wrote 11 in there. I would just try to address for you 12 what I think our the most important points that 13 have been addressed so far.</p> <p>14 If you look at the site review of 15 the slides that were presented by McNaughton, 16 you missed one point because just north of the 17 Salt Creek Club it looks like the whole part 18 between Salt Creek Club and the Bronswood 19 Cemetery is owned by McNaughton. There is one 20 little chunk that is missing from it. The first 21 time I saw the map showing that chunk, I thought 22 it was something like an oasis, a garden that</p>	<p style="text-align: center;">93</p> <p>1 buildings will be in comparison to the buildings 2 that will be compatible with the rest of the 3 houses around there.</p> <p>4 The other point that has not been 5 addressed yet is about the traffic. We saw the 6 estimates about how much of the traffic on the 7 roads will be increased, and I don't have a 8 clear way of debating those numbers. But I do 9 debate the effect of that traffic on the 10 intersections with Ogden because, if you drive 11 on Adams going southbound and you intersect 12 Ogden and you try to turn left, you have an 13 enormous amount of traffic to overcome before 14 your left turn is allowed. They quote about 3 15 to 4,000 cars per hour coming from on that 16 street on Ogden, and it's almost impossible 17 right now for the few cars that are there to 18 face that intersection and to make a left turn 19 going east on Ogden to make a turn. If you try, 20 you have to wait at least 5 minutes and you take 21 your life in your hands because you have to make 22 sure that not only you don't intersect with the</p>

<p style="text-align: right;">94</p> <p>1 cars that are going west but also the cars that 2 are going east on Ogden making it -- because 3 there is to fifth lane on which you could rest 4 on Ogden. There are only four lanes available 5 and both of them are all, all the four of them, 6 both the ones going east and the ones going 7 west, are fully occupied. In other parts of 8 Ogden, either east or west of that intersection, 9 there is a middle lane where cars that manages 10 to go through the first two lanes can rest 11 waiting for a spot to open so that they can 12 change and merge with the traffic, but there is 13 no place there. So someone who wants to make a 14 left turn has to wait until all four lanes are 15 clear of traffic before they make a turn. And 16 yet, I see that the study says that there is no 17 need for a change, there is absolutely no need 18 for a fifth lane, no need for something that 19 will prohibit left turners from going around. 20 This is just I think the intersection with Adams 21 and Ogden. I talked so far only about the cars 22 that are coming from Adams. But also the cars</p>	<p style="text-align: right;">96</p> <p>1 the new development the traffic will become 2 worse so the traffic. So the traffic will not 3 be the same and we need some change that the 4 traffic study right now is not needed, either on 5 restricting the signage or adding extra lanes to 6 Ogden. I think that I have exhausted my extra 7 points. I could talk for a long time, but I 8 should leave some room for the other speakers to 9 go. 10 CHAIRMAN CASHMAN: Thank you very much, 11 appreciate it. 12 Next speaker is Fred Current. Fred 13 Current? 14 MR. CURRENT: Yes. I'm here. Thank 15 you for taking my call. 16 (Mr. Fred Current sworn.) 17 MR. CURRENT: I just want to comment, I 18 agree totally with what Bill Hemmer -- Dan 19 Hemmer said. We are long-term residents of 20 Fullersburg. We love this community. We moved 21 here and bought in 1979, and the nature of the 22 community would be seriously affected with the</p>
<p style="text-align: right;">95</p> <p>1 from Ogden that want to make a north turn while 2 they are driving west -- pardon me -- they are 3 going east, they would have to face a similar 4 problem. So you will have one of the two lanes 5 on Ogden that are going east to be stopped until 6 the car can make a safe left turn and that means 7 that all the cars going west on Ogden would then 8 be compressed on a single lane at that point 9 that would be a terrible problem because you 10 will have -- Well, you can imagine what would 11 happen. Cars will be stopping on a single lane 12 that will be totally blocked and moving to the 13 northbound, to the north side of the road so 14 that they can continue, that will be an enormous 15 problem. And also the intersection of Madison 16 with Ogden will be terribly strained. It is now 17 strained because of the frequency. You will 18 find a long line of cars waiting to make either 19 left turns or right turns or going straight. 20 And right now there is already a problem if you 21 add the impact of I think 24 homes that would 22 have an exit additional on Madison coming from</p>	<p style="text-align: right;">97</p> <p>1 traffic changes and just the residential nature 2 of the way we live. We don't have sidewalks; 3 it's more rural, like Dan said. We are very 4 opposed to cluster-type housing and heavier 5 concentration of traffic and all the congestion 6 that that would bring. We see nothing positive 7 that could come from this. Basically it would 8 destroy our feeling towards the Fullersburg 9 community, which we feel is very, very special. 10 People come from all over the country to see it. 11 So we are very much opposed to even this 12 discussion. 13 Also, why was parcel one not 14 discussed? I was new to the conversation 15 tonight. You discussed single-family homes but 16 not parcel one. Can somebody, please, tell me 17 why parcel one wasn't discussed tonight? Thank 18 you. 19 CHAIRMAN CASHMAN: The next speaker is 20 Bob Lindgren. 21 (Mr. Bob Lindgren sworn.) 22 MR. LINDGREN: I want to thank the Plan</p>

<p style="text-align: center;">98</p> <p>1 Commission for hearing me this evening. I'm a 2 resident of Oak Brook, not of Hinsdale. I live 3 on Birchwood Road about a hundred yards or so 4 from the proposed entrance to the Adams access 5 portion of Heather Highlands. We have lived 6 here for 33 years. My wife and I lived on south 7 Elm Street in Hinsdale when we were first 8 married, we lived there for about 10 years. We 9 really, we were both in love with Fullersburg 10 from the time we were teenagers for different 11 reasons. We always wanted to find property we 12 could build our own home on. And had there been 13 an R-2 20,000 square-foot lot available in 14 Hinsdale at the time, I'm sure we would have 15 elected to stay in Hinsdale and to buy and build 16 in Hinsdale; but there weren't and so we went, 17 we went to Oak Brook. 18 But it's interesting, I think if 19 you look at the letters that you have received, 20 you find that a fairly significant number of 21 them are from Oak Brook residents and that 22 reflects the unique nature of the Fullersburg</p>	<p style="text-align: center;">100</p> <p>1 The skateboarders do that all the time so we are 2 used to having people parking on Birchwood to 3 access that property. Take a walk across from 4 Birchwood onto the property and see where the 5 road is intended to go, and then keep in mind 6 that 10 of these tract houses are going to be to 7 the south of that road virtually right up 8 against the edge of the FEMA floodplain. So now 9 you have a property -- The second map I think 10 they should have included is the topographical 11 map because the very north end of the property 12 is quite high. Then you have the very low 13 central area, which is floodplain and the pond. 14 And then down at Ogden Avenue there is another 15 high, a higher area. All of the buildings 16 concentrated on Highlands and the north and I'm 17 guessing that, I'm guessing that the concrete 18 and asphalt footprint of buildings at the top of 19 the hill, at the top of the property, are going 20 to be substantially greater than is created by 21 the 3 IBLP buildings and small parking lots up 22 at the top now. So you are going to have</p>
<p style="text-align: center;">99</p> <p>1 area. It's a shared treasure, really, between 2 the villages of Oak Brook and Hinsdale. There 3 is a bit of a history of cooperative, respectful 4 listening to the residents of each village in 5 that regard. 6 A couple of perspectives from 7 someone who has been just off of Adams Road for 8 23 years. There were two maps that were very 9 conspicuously not present in McNaughton's 10 presentation. One is the FEMA floodplain map. 11 And if you take a FEMA floodplain map and you 12 overlay it to the map of Heather Highlands, it 13 will really emphasize is the point that 14 Chairman Cashman made earlier that virtually all 15 of the space that they are posturing towards 16 preserving as open space is, in fact, floodplain 17 or pond. It would be impossible to develop to 18 begin with. 19 But I would urge you to also drive 20 over up Adams Road, pull down Birchwood and park 21 on Birchwood. The people that are going to fish 22 over across the street do that all the time.</p>	<p style="text-align: center;">101</p> <p>1 substantially increased drainage, water runoff 2 down to the FEMA floodplain. And they are going 3 to try to sell some of these units, 10 at least, 4 that are clearly on precarious land. So I urge 5 you to come over, take a look at it and see for 6 yourself. And then one other thing as you drive 7 north on Adams from Ogden, imagine what you are 8 going to see on the right-hand side because you 9 are going to see a row of 10 closely packed 10 tract houses that I swear is going to look like 11 a shantytown. It's not going to look anything 12 like the pristine, nature-oriented environment 13 that the developer is alleging. 14 One final point about the flooding 15 issue. I was talking just kind of casually with 16 my landscape contractor last week, Bruss out of 17 Wheaton. He said they went to a seminar, their 18 whole staff went to a seminar on the effects of 19 climate changes on the local climate in Chicago. 20 They were told to prepare for the next 20 years 21 in Chicago to be like the last 20 years in 22 Houston. So I estimate that since we have lived</p>

<p style="text-align: center;">102</p> <p>1 here 33 years now we have had probably five 2 100-year rain events. And if it were going to 3 be more like Houston than Chicago in the next 20 4 years, then I suspect that number is going to 5 increase dramatically. So whatever flooding 6 issues there are now -- and believe me, they are 7 substantial, Adams Road does flood and is 8 completely impassable periodically -- they are 9 going to just get worse in the future with this 10 development.</p> <p>09:24PM 11 So I ask you to read as many of the 12 letters that have been submitted, 140 letters 13 nearly all in this opposition. And as Dan 14 Hemmer said, we are not misinformed about this. 15 We know exactly what the proposal is, and we 16 know what it would do to our neighborhood so 17 thank you for hearing me out.</p> <p>18 CHAIRMAN CASHMAN: Thank you very much. 19 So our next speaker is Charlie 20 Hiatt. Charlie Hiatt?</p> <p>09:24PM 21 MR. YU: Chairman, can I give a shot? 22 There are two phone numbers under the --</p>	<p style="text-align: center;">104</p> <p>1 very much like a tract development. 2 Going through the information, 3 please, as it's obvious, I guess, but the 4 developer has paid for all this information. I 5 question some of the validity of it. As an 6 example, the traffic study was done on the 20th 7 of August, which is a Thursday, during Covid, 8 during, I guess, vacation time, didn't take in 9 the impact of the amount of pedestrian and 10 bicycle traffic that we see being here on the 11 weekends and during the mornings. I walk my 12 grandson to the park south of Ogden. It's a 13 hassle to go across the street, and higher 14 traffic volumes is going to make that more 15 dangerous.</p> <p>16 The other thing is the cost benefit 17 analysis. I think the Village gets 14 -- 18 \$1.4 million over 20 years. That's about 19 \$70,000 a year of benefit. I would be very 20 curious to see a cost benefit analysis if this 21 was kept at the 21 homes. Clearly McNaughton 22 didn't do that because the profit margin here is</p> <p>09:26PM 09:27PM</p>
<p style="text-align: center;">103</p> <p>1 MR. HIATT: Hello. 2 CHAIRMAN CASHMAN: Charlie? There you 3 are. 4 (Mr. Charlie Hiatt.) 5 MR. HIATT: I'm Charlie Hiatt. I live 6 at 935 North Madison Street directly across the 7 street from the proposed development. My wife 8 and I moved here recently after living in 9 Clarendon Hills for many years for the unique 10 nature that Fullersburg offers. We like the 11 pastoral side in the community, the land. We 12 have got a large lot. We have a little over a 13 half an acre. And looking at the proposed 14 development, looking at the site, we always knew 15 something was going to go there. We didn't 16 think something this big would occur. It 17 doesn't fit. It doesn't match the community. 18 The whole community is R-2. It doesn't have 19 this level of density. The houses all look to 20 me to be very cookie cutter. They have all kind 21 of got that current modern swing and approach to 22 them. But after a while it will make it look</p> <p>09:25PM 09:26PM</p>	<p style="text-align: center;">105</p> <p>1 much more significant. 2 My last point is given the fact I 3 have got over half an acre of land here that 4 fronts Madison -- I'm sorry -- second to the 5 last point, can I come back to the Commission 6 and put in 5 to 6 homes here? I mean if you do 7 one thing, you should be able to do other. I 8 wonder how much you would turn the neighborhood 9 hood.</p> <p>10 Last point is, some of the detail 11 that wasn't brought out, McNaughton is looking 12 to build 7 days a week, which basically means my 13 wife and I go from 7:00 to 7:00 during the 14 weekdays and Saturdays, and 8:00 to 6:00 on 15 Sundays. So the next two plus years, we get to 16 listen to construction and so do my neighbors 17 and so do the people around us. And we are, 18 obviously, willing to put up with some form of 19 construction; but this is obscene. That would 20 be my last comment. Thank you.</p> <p>09:28PM 09:28PM</p> <p>21 CHAIRMAN CASHMAN: Thank you very much, 22 Charlie. Okay. Our next speakers are Peter and</p>

<p style="text-align: center;">106</p> <p>1 Diane Tyler, 208 Bonnie Brae.</p> <p>2 MR. TYLER: Good evening.</p> <p>3 (Mr. Tyler sworn.)</p> <p>4 MR. TYLER: Good evening, everyone. I</p> <p>5 just wanted to thank you for the opportunity to</p> <p>6 voice my opinion on this. I'm not part of the</p> <p>7 Fullersburg organization but I probably should</p> <p>8 be because I agree with absolutely everything</p> <p>9 that's been said so far. I live at 208 Bonnie</p> <p>09:30PM 10 Brae in Hinsdale, and I have been here since</p> <p>11 1995 with my wife Diane and we raised our son</p> <p>12 here. There are other long-time residents of</p> <p>13 the neighborhood that aren't taking part in this</p> <p>14 tonight, but I know they would be in agreement.</p> <p>15 Some of the points that I wanted to</p> <p>16 raise were already addressed by other speakers.</p> <p>17 Mr. Hiatt stole a lot of my thunder. One of the</p> <p>18 first things that I noticed after noticing that</p> <p>19 the population density for the east portion of</p> <p>09:30PM 20 this development appeared to be low-balled in a</p> <p>21 big way was the traffic study. The traffic</p> <p>22 study is seriously faulted. It show, again,</p>	<p style="text-align: center;">108</p> <p>1 They would be going north on Madison to get</p> <p>2 access to other high-speed avenues. And of</p> <p>3 course, they would still be going down to Ogden.</p> <p>4 So they would be cutting all across the</p> <p>5 neighborhood. The entire Fullersburg</p> <p>6 neighborhood would experience extreme increase</p> <p>7 in traffic. We have it already as people are</p> <p>8 trying to divert around traffic, and it would</p> <p>9 continue to be worse if this development takes</p> <p>09:32PM 10 as it's planned. It may even be worse on the</p> <p>11 west side because of the fact that I believe</p> <p>12 there was only one access point onto Adams for</p> <p>13 all of the houses that would be on the west</p> <p>14 side.</p> <p>15 I'm going to limit it, my comments,</p> <p>16 to this at this point; but I just hope that all</p> <p>17 of this is taken into consideration. As</p> <p>18 previous speakers have noted, we moved to this</p> <p>19 neighborhood because of its semirural</p> <p>09:33PM 20 environment. There is nothing like it in the</p> <p>21 Chicago metro area, and we don't want to see it</p> <p>22 ruined just by the profit motive of just a few</p>
<p style="text-align: center;">107</p> <p>1 again, it was based on the traffic that existed</p> <p>2 in August of 2020 when it was considerably lower</p> <p>3 than it normally would be during the course of</p> <p>4 the year due to Covid and lack of traffic. The</p> <p>5 projections showed that there would only be</p> <p>6 21 to 26 cars coming out of the east side</p> <p>7 development, and that's less than one car per</p> <p>8 house. Everybody who is going to be living in</p> <p>9 that development is going to be having more than</p> <p>09:31PM 10 one car, and they are all going to be making</p> <p>11 trips during the day. So as far as I'm</p> <p>12 concerned, that's a low-balled figure.</p> <p>13 Mr. Hiatt also brought up how the</p> <p>14 intersection of Madison and Ogden can be</p> <p>15 challenging to get across. That's one of the</p> <p>16 only crossings to give access to students who</p> <p>17 are going to Madison School so it's definitely</p> <p>18 not a good idea. The traffic that would</p> <p>19 increase that would happen on the east side is</p> <p>09:32PM 20 tremendous because people coming out of the</p> <p>21 development would be going down Glendale to</p> <p>22 Washington, up to Spring, then over to Wolf.</p>	<p style="text-align: center;">109</p> <p>1 individuals. Thank you for your time.</p> <p>2 CHAIRMAN CASHMAN: Thank you, Peter.</p> <p>3 All right. Our next speaker would be Robert</p> <p>4 Crane. I think I remember seeing Robert here,</p> <p>5 Robert Crane from 316 Glendale Avenue.</p> <p>6 (Mr. Robert Crane sworn.)</p> <p>7 MR. CRANE: My name is Robert Crane.</p> <p>8 I have lived in the Fullersburg area since 1997.</p> <p>9 For a brief time we lived south of Ogden. We</p> <p>09:34PM 10 moved back to the area because of the area. We</p> <p>11 loved the area. We love the neighborhoods, love</p> <p>12 the people that live here. I just think that</p> <p>13 the variances that -- 10, I agree with Julie, 10</p> <p>14 variances that they are requesting is excessive.</p> <p>15 I think everything from the lot size to</p> <p>16 everything is excessive for this area. Given</p> <p>17 the R-4 designation, I think that we should look</p> <p>18 at the impact of the school district. At one</p> <p>19 point they say that it's not going to impact the</p> <p>09:35PM 20 school district. But, you know, I think it's</p> <p>21 going to -- That's all I have to say. All</p> <p>22 right.</p>

<p style="text-align: center;">110</p> <p>1 CHAIRMAN CASHMAN: Thank you very much, 2 Bob. 3 MR. CRANE: Thank you. 4 CHAIRMAN CASHMAN: Okay. Our next 5 speaker would be Jeff Allen, 915 North Madison 6 Street. Jeff Allen? 7 MR. YU: So Chairman, I wasn't able to 8 track him down, but there are two callers just 9 by phone. I would like to give them a shot. 09:36PM 10 There are two callers. 11 CHAIRMAN CASHMAN: Okay. Just before 12 we do that, can we go back to Pierre. I thought 13 I saw him. Yes, he was on here. Do you want to 14 speak? 15 MR. ABI-MANSOUR: Yes, this is 16 Abi-Mansour. 17 (Mr. Pierre Abi-Mansour.) 18 MR. ABI-MANSOUR: Just for the benefit 19 of time, thank you for the community for 09:36PM 20 allowing us citizens to express our thoughts 21 about this project. I would just sport Dan 22 Hemmer's presentation on behalf of Fullersburg</p>	<p style="text-align: center;">112</p> <p>1 CHAIRMAN CASHMAN: Okay. Sounds good. 2 MR. YU: Okay. So I have unmuted phone 3 number with the last four digits 8701. Again, 4 phone number last four digits 8701. 5 CHAIRMAN CASHMAN: They are on the 6 conference call, Chan; is that correct? 7 MR. YU: They are as an attendee, yes. 8 CHAIRMAN CASHMAN: I see the one you 9 are talking about. It looks like you are muted. 09:39PM 10 MR. YU: I can't unmute them. I mean I 11 have unmuted so they can unmute themselves. 12 CHAIRMAN CASHMAN: Okay. So whoever's 13 phone number ends in 8701 if you can unmute 14 yourself. Hearing none, the next one, Chan? 15 MR. YU: Last four digits 8773. You 16 can unmute yourself if you wish. 8773, last 17 four digits. Okay. Well -- 18 CHAIRMAN CASHMAN: Okay. Thank you, 19 everyone. We really appreciate your input. 09:40PM 20 MR. YU: Oh, Chairman? 21 CHAIRMAN CASHMAN: Yes. 22 MR. YU: I do have 30 attendees that</p>
<p style="text-align: center;">111</p> <p>1 Community, he represents most of us here. My 2 wife and I moved to this community about 20 3 years ago. We built our house because of, 4 again, the unique flare that Fullersburg 5 provides. Welcome to Mr. McNaughton and anyone 6 who wants to come to our community and develop 7 this land; my request is to just do what I have 8 done and others have done is to maintain the R-2 9 zoning. We welcome them as long as they follow 09:37PM 10 the same zoning that I followed and most of us 11 followed to have separate homes and to welcome 12 other neighbors. So this is what I would like 13 to say that R-2 zoning is preserved and 14 everybody is welcome; but to allow 10 variances 15 is totally unacceptable to the community at 16 large. Thank you for allowing me to speak. 17 CHAIRMAN CASHMAN: Thank you very much, 18 Pierre. And then Chan you said you were not 19 able to reach Jeff Allen? 09:38PM 20 MR. YU: No, not by name. But there 21 are two phone numbers I would like to give a 22 shot.</p>	<p style="text-align: center;">113</p> <p>1 did not preregister but they are as attendees. 2 Should we give them an opportunity if they have 3 any comments? 4 CHAIRMAN CASHMAN: I don't know how you 5 control that. Do you know where? You see 6 something different than I see? 7 MR. YU: Yes. I have got 30 attendees. 8 They are not panelists. They are not 9 preregistered to talk but they are watching and 09:40PM 10 listening. 11 CHAIRMAN CASHMAN: Sure, if you can 12 control it. 13 MR. YU: Michael, do you have any 14 thoughts? 15 MR. MARRS: Chan, I would try to give 16 them an opportunity. I don't know technically 17 how you facilitate that, though. 18 MR. JABLONSKI: If you set up the chat 19 function for attendees maybe they can IM you on 09:41PM 20 the chat function. 21 MR. YU: Yes. They are able to chat 22 with me.</p>

<p style="text-align: center;">114</p> <p>1 MR. MARRS: Could they raise their hand 2 by clicking the button? 3 MR. YU: Yes. Maybe that's a better 4 way. If anyone as attendee would like to speak, 5 please use the raise your hand function. 6 Yes. No one is raising their hand. 7 CHAIRMAN CASHMAN: Okay. 8 MR. ABI-MONSOUR: I don't see the 9 function. At least as a participant, I don't 10 see that function available to me. If it were 11 up to me, you should allow people who wants to 12 speak to speak. 13 MR. YU: I do have someone raising 14 their hand. Oh, Jeff Allen. 15 CHAIRMAN CASHMAN: Jeff? We can't hear 16 you, Jeff. Hello, Jeff? 17 MR. YU: He should be able to talk. 18 CHAIRMAN CASHMAN: He's muted. 19 MR. YU: Jeff, we see you on the 20 panelists but you are muted, though. 21 MR. ALLEN: Can you hear me? The 22 telephone feature does not allow an unmute for</p>	<p style="text-align: center;">116</p> <p>1 to this neighborhood. I myself was living in 2 Hawaii for 30 years, and this was one of the few 3 areas in Chicago that we were willing to reside. 4 Directly attached to the forest 5 preserve and wetlands, our residents, nearby 6 Hinsdale and Oak Brook friends and fellow 7 suburbanites, enjoy safely exploring our 8 neighborhood. On any given day, you will find 9 our friends and children strolling with their 10 dogs, biking with their families, jogging 11 through our woodlands, running, skating or 12 scooting to the pool, or just sauntering and 13 chatting with our friends and family. Venturing 14 north of Ogden into our woodlands and wetland 15 neighborhood feels like you are suddenly 16 transported to a destination like a Wisconsin 17 town with wildlife and forests. Some of the 18 wonderful properties and wetlands including IBLP 19 lots have been untouched by human hands and are 20 protected by the forest preserve and our 21 neighbors. We all moved here to live with and 22 among the nature and the trees. We are willing</p>
<p style="text-align: center;">115</p> <p>1 some reason. Telephone dialing is not allowing 2 unmute, so your other person that called in they 3 also are having the same problem. 4 (Mr. Jeff Allen sworn.) 5 CHAIRMAN CASHMAN: Okay, Jeff, go 6 ahead. Hello, Jeff? We are not hearing you 7 anymore. 8 MR. ALLEN: Thank you, Plan Commission, 9 Village staff, for your service during these 10 trying times. I would first like to say it's a 11 shame that we all must collectively spend 12 hundreds, possibly thousands, of hours 13 supporting and attending public hearings for an 14 undesired project. 15 The proposal that we heard was 16 denied a public hearing by the Village trustees. 17 McNaughton developers, obviously, have little 18 regard for our Village or the neighborhoods' 19 citizens beyond lining their pockets. The 20 Fullersburg's woods neighborhood is one of the 21 most unique, charming, low-density residential 22 communities in the Chicago suburbs. We returned</p>	<p style="text-align: center;">117</p> <p>1 to tolerate a little rainwater and scat or 2 pellets now and then. Anyone allowing or 3 attempting the radical change or theft of such a 4 special place from our neighbors, their 5 children, and the surrounding community is a 6 heartless criminal. This dense development is 7 bad for Hinsdale and our residential woods 8 location. McNaughton will lay ruin to our 9 tranquil, idyllic, natural woodland sanctuary 10 with its radical, high-density atrocity. The 11 only true fact in the presentations is in the 12 product, project narrative, section 5, with the 13 gas rezoning requests. Village trustees denied 14 McNaughton requests, as do the Village 15 residents; and accordingly, the Plan Commission 16 should follow suit. Residential low-density 17 homes offer sufficient long-term stability and 18 income to the neighborhood without associated 19 density issues. It is the duty of the Plan 20 Commission to uphold the established zoning. 21 One of the purposes of the Hinsdale Zoning Code 22 is to limit the bulk and density of new and</p>

<p style="text-align: center;">118</p> <p>1 existing structures in the community as is 2 stated on the Village website. Even still, the 3 Plan Commission is supposed to be biased to 4 residential use as stated by the Hinsdale Plan 5 Commission, 2002. This project and its dense 6 buildings and disregard for zoning codes, open 7 spaces, and the wetlands goes against the 8 enjoyment of the neighborhood, as stated, the 9 Commission is to protect.</p> <p>09:48PM 10 The woods and the residential peace 11 and quiet needs are not being protected with 12 this project, which would effect an entire 13 single-family R-2 residential, low-density, 14 wooded neighborhood. Whether the Board likes 15 something or doesn't like something, they have 16 to look at the Zoning Code, as also stated by 17 the Hinsdale Plan Commission in 2019. This 18 proposed project is not even close to meeting 19 the existing zoning code or the makeup of the 09:48PM 20 neighborhood. McNaughton has requested more 21 waivers and variances to the existing zoning 22 code than it actually proposes to meet; 12</p>	<p style="text-align: center;">120</p> <p>1 court-sized lots. There is no perceived benefit 2 for citizens of Hinsdale and residents will not 3 benefit from part-time construction jobs. 4 Village residents do not care about any 5 perceived or conjured market need for high- 6 density living, and we especially don't want it 7 near our low-density properties. Increase of 8 run-off, pollution, and watershed caused by the 9 proposed facility will effect our downstream Oak 09:50PM 10 Brook neighbors. There is no amount of improved 11 architecture that can be more beautiful than our 12 mature neighborhood trees. IBLP can sell their 13 property as they bought it, one individual, 14 residential, low-density property at a time at 15 market value. Thank you. 16 CHAIRMAN CASHMAN: Thank you, Jeff. 17 MR. YU: I have one person that raised 18 their hand if you wouldn't mind. May I? 19 CHAIRMAN CASHMAN: Yes. Tell us your 09:51PM 20 name. 21 (Ms. Alicia Schemel sworn.) 22 MS. SCHEMEL: I only will be two</p>
<p style="text-align: center;">119</p> <p>1 requested zoning variances by my count. They 2 are even asking to bull dose and build around 3 the historic Trudi Temple home like in the movie 4 Up. This project has major long-term impact 5 that is detrimental to adjoining neighborhoods. 6 It directly impacts traffic, public safety, the 7 environment, real estate valuations, our 8 community, and our Fullersburg woods connection 9 to the forest.</p> <p>09:49PM 10 I'm not going to cover all the 11 bullet items from my letter that somehow got 12 omitted or those that have been extensively 13 discussed and submitted in the 140-plus letters. 14 Approving this request would allow density and 15 zoning change requests to creep into adjoining 16 residential properties north of Ogden and into 17 Oak Brook. This is a residential area. This is 18 not a commercial area. This is not like 55th 19 Street and County Line Road or those properties 09:50PM 20 east of York. Hinsdale residents will have no 21 immediate use of this property or desire to 22 purchase the trailer park-like homes on tennis</p>	<p style="text-align: center;">121</p> <p>1 seconds. I just wanted to say that this project 2 is absolutely a terrible idea for this area. 3 Number one reason is our schools are really 4 overcrowded. I have two girls at Monroe and we 5 already have to due to Covid have to hot, hot 6 bunk with or hot desk with other students. And 7 it's been really a challenge for the 8 administration of our schools in District 181 9 and 86 to get all these kids where they need to 09:52PM 10 be. I recognize that, hopefully, in a couple of 11 years we will be through all this and we won't 12 be dealing with the pandemic anymore; but the 13 truth of the matter is there are a lot of kids 14 already there, and it is in an overcrowded 15 position. We literally cannot handle any more 16 students. So I think that the numbers that 17 McNaughton gave for students entering 18 District 181 and District 86 are severely 19 underrepresented. It's just not going to be 09:53PM 20 just that many kids, 9 to the high school. It's 21 going to be more than that. It's going to be 22 more than that. It will be definitely a lot</p>

<p style="text-align: center;">122</p> <p>1 more to the elementary school. That's my number 2 one issue. 3 My number two issue is that I don't 4 think McNaughton clearly understands how bad the 5 flooding is over here. Most homes have to go 6 and put in a generator in their house as a 7 backup mechanism because our basements 8 constantly flood. And someone had mention that 9 Adams is impassable at times, so is Glendale and 10 parts of Madison. There are a lot of parts 11 around here that are very low lying, you can't 12 build anything on it, and adding acres of 13 concrete to this is absolutely a terrible idea. 14 Everyone's basement is going to be underwater. 15 And my last thing I just recently 16 completed building our house within the past two 17 years, and we had to abide by all the zoning 18 rules and regulations of the Plan Commission. I 19 think that McNaughton should be held to the same 20 standard. Thank you very much. 21 CHAIRMAN CASHMAN: Where do you live, 22 Alicia?</p>	<p style="text-align: center;">124</p> <p>1 you to consider everything that all the 2 neighbors have expressed, and I'm not going to 3 waste your time talking about the flooding and 4 the traffic issues. But I just found the 5 estimates that were read today just comical, 6 they were ridiculous. You can just come and see 7 the traffic in this area on any given day, just 8 come to York, come to Washington Street, try to 9 make a left on Madison. It's really interesting 10 to hear the estimates that the consultant gave. 11 The flooding issues are the same. My back yard 12 becomes a lake three times of a year, any time 13 we have a good rain. 14 And finally, the reason why we 15 bought here, why we moved here, it's the 16 character of this neighborhood; and that would 17 be destroyed with these developments. And it's 18 very unfair, right on the corner my old neighbor 19 who passed away left the property to her two 20 sons -- and this is in Oak Brook, it's on the 21 very corner of Washington and York -- and these 22 two brothers pledged to the Oak Brook Village to</p>
<p style="text-align: center;">123</p> <p>1 MS. SCHEMEL: 423 Glendale. 2 CHAIRMAN CASHMAN: Thank you. Thank 3 you for your time. 4 MS. SCHEMEL: Yes. 5 MR. YU: Chairman, I have one more 6 person that raised their hand. 7 CHAIRMAN CASHMAN: Okay. 8 MR. YU: Elizabeth, you are able to 9 speak. 10 MR. CHAIRMAN CASHMAN: Can you tell us 11 your name and spell your last name, please. 12 MR. RODRIGUEZ: My last name is 13 Rodriguez. My first name is Heron. 14 (Mr. Heron Rodriguez sworn.) 15 CHAIRMAN CASHMAN: Heron, what is your 16 address? 17 MR. RODRIGUEZ: 3811 Washington. 18 CHAIRMAN CASHMAN: Okay. Thank you. 19 MR. RODRIGUEZ: I've lived in Hinsdale 20 and the Fullersburg area now for over 20 years. 21 And I thank you for working so hard tonight and 22 thank you for serving in your position. I urge</p>	<p style="text-align: center;">125</p> <p>1 change just a couple of the zoning requirements 2 so that they could fit two houses in a really 3 large, almost 2-acre lot; and they were denied 4 that. So if other families in the past that 5 have tried to change the character of this area 6 were denied that, what gives anybody the right 7 to put 20 something houses in areas where there 8 should only be a handful. I thank you for 9 listening to all of us, and I urge you to 10 preserve the community that you have been 11 entrusted with. Thank you. 12 CHAIRMAN CASHMAN: Okay, thank you. 13 Any more, Chan? 14 MR. YU: No. Nobody else raised their 15 hand. 16 CHAIRMAN CASHMAN: All right. Well, 17 thank you, everyone. So just to turn back, so 18 we did receive 140 comments today on this case. 19 We received these up to 4:30 today and as far 20 back as in August. Like I said, I went through 21 all these things, I highlighted them; and my 22 take, all of them were opposed except for one</p>

<p style="text-align: center;">126</p> <p>1 that had caveats and requirements and so 2 attempted approval. As I mentioned before, this 3 will all be part of the public record. It will 4 also be available on the Village website. 5 With that, I was wondering if, 6 John, if you wanted to provide a final 7 statement. And then we would move to discussion 8 by the Commissioners. John Barry? 9 MR. BARRY: Yes. Thanks, Commissioner. 09:58PM 10 Yes. Considering the time of night, I guess we 11 would just like to say thanks for everybody for 12 taking part in the meeting tonight. We have 13 taken notes of everybody's questions and 14 comments. We are looking forward to having this 15 meeting next Wednesday. We also hope to have 16 another meeting to invite people out to our lake 17 development, kind of get a feel for that 18 community and its product, its walkability, 19 accessibility, in that particular instance. So, 09:59PM 20 yes, I guess we would just ask to discuss maybe 21 continuing the meeting and then setting up 22 another date where we can get together after</p>	<p style="text-align: center;">128</p> <p>1 Commission, you know -- This is my, I guess, 2 seventh year of doing this, sixth or seventh 3 year. It's always been a process to get to 4 where both sides see the solution I guess. 5 I guess my question is for John in 6 that, are you guys open to less density? Where 7 do you see a -- This is, obviously, you kind of 8 said, or Paul said this is the worst-case 9 scenario and you've asked for every single 10:01PM 10 variance that you can in hopes to come to a 11 better or to show us what you prefer, you know, 12 the best-case scenario for you guys. Is there 13 an area that you guys see in terms of density or 14 more public benefit, or is there any solution 15 that you see you can work toward? 16 MR. BARRY: I would tell you tonight I 17 think the best course is to have this community 18 meeting that we discussed next week and then 19 come back to the Plan Commission with the 10:02PM 20 findings of that meeting and then the feedback 21 that we received, additional feedback we 22 received, and how we are best going to handle</p>
<p style="text-align: center;">127</p> <p>1 this community meeting. 2 CHAIRMAN CASHMAN: All right. Thank 3 you, John. Commissioners, any final questions 4 for the applicant before we close the public 5 hearing? 6 MS. CRNOVICH: I have a couple of 7 questions. Can you give me the price point? I 8 think I heard two different price points. 9 MR. BARRY: Yes. Depending on the 10:00PM 10 product, we are estimating the base price of the 11 age-targeted product being 950 to \$1,050,000 and 12 the traditionally single-family would be in the 13 \$1,100,000 range, base price. 14 MS. CRNOVICH: Thank you. And second 15 question, what do you consider, since the PUD 16 you are asking for, what would the public 17 benefit be? 18 MR. BARRY: Our public benefit is the 19 improvement of the open space. 10:00PM 20 MS. CRNOVICH: Thank you. 21 CHAIRMAN CASHMAN: Anna? 22 MS. FIASCONE: I guess we have as a</p>	<p style="text-align: center;">129</p> <p>1 that from there. 2 MR. MC NAUGHTON: And just to clarify 3 what I meant when I said -- That was in 4 relation to the modifications that we requested. 5 So I mean we are proposing a plan that we think 6 is feasible and not an entirely controversial 7 development. Although some of the comments that 8 we heard tonight, I mean most of them I 9 appreciate the conversation, the ability to have 10:02PM 10 a dialogue with people, but some of the comments 11 were pretty out of right field so -- But to 12 your question, it's really going to be put to 13 the Plan Commission and the Board to decide what 14 kind of development do they want to have here. 15 Do they want us to improve this open space with 16 the amenities we are talking about, the over 17 \$1.2 million of cost that we have budgeted so 18 far? We will get into that with you guys more 19 in terms of what exactly those items are. Like 10:03PM 20 I said before, we are open to a dialogue with 21 exactly what those benefits are. If someone 22 comes in here and says we are going to build an</p>

<p style="text-align: center;">130</p> <p>1 R-2 conforming subdivision, you are not going to 2 see any of those benefits in the open space 3 area. The open space is going to be left 4 exactly the way it is. Now, some people in the 5 Village are problem clapping right now and 6 saying, Hey, that's great. But that's not the 7 development that we are trying to create here. 8 We are trying to create a true attraction in the 9 Village of Hinsdale, and you don't get that by 10 just leaving land the way it's been for the last 11 50 years. So it's really going to be up to the 12 Plan Commission and the Board to decide what 13 kind of development they want to have here. And 14 if they decide that this type of development -- 15 I'm not talking about this exact plan because, 16 obviously, we are going to be open to discussion 17 about if there are ways to modify the plan but 18 keep the spirit of the plan together. But we 19 are talking about an R-2 conforming subdivision, 20 this property is going to stay the way it is for 21 a very long time. I know you guys never believe 22 developers when they say that, but no one is</p>	<p style="text-align: center;">132</p> <p>1 Am I missing something here that you are going 2 fit nearly 3300 feet on something that is 3 smaller than a tennis court, it may look more 4 like a paddle ball court. 5 MR. MC NAUGHTON: Let me give you a 6 little context there because we do a lot of 7 teardown, new construction, in the Village as 8 well. This kind of goes back to the concept of 9 the traditional lot versus the lot that we are 10 proposing here. What we are proposing, for lack 11 of a better term, is a building envelope; so no 12 setbacks. And when you don't have setbacks, you 13 have what is called building separation. So we 14 are proposing that the setback be replaced with 15 a minimum separation of 15 foot. Now, that's 16 not dissimilar from what you did in Hinsdale on 17 50- and 60-foot lots. And Chan knows this 18 better than I do, but a 50-foot lot in has 19 Hinsdale has a 30 percent side yard setback. 20 30 percent of 50 is 15, usually you are going to 21 get 7.5 on both sides. So in that case, a 22 50-footer in Hinsdale is basically the same look</p>
<p style="text-align: center;">131</p> <p>1 going to buy this land and try to develop 21 R-2 2 conforming lots for \$800,000 apiece. It would 3 take 21 years to finish the subdivision. So I 4 think you guys just need to keep that in mind as 5 we are going through the process. And of 6 course, we want this to be a community 7 experience and we want to dialogue with people 8 in the community. That's why we are very 9 excited to have this meeting next week so we can 10 go -- not back and forth but actually have a 11 real dialogue where we are conversing with 12 somebody face to face. 13 CHAIRMAN CASHMAN: Anyone else? Anna 14 or Michelle? Jerry? 15 MR. JABLONSKI: I just want to confirm 16 one thing. The 2-story homes are 3200 square 17 feet approximately? 18 MR. MC NAUGHTON: Up to 38. 19 MR. JABLONSKI: 3800 square feet? 20 MR. MC NAUGHTON: Up to 38, correct. 21 MR. JABLONSKI: I saw in one bit of 22 documentation 40-by-70 lots and 40-by-60 lots.</p>	<p style="text-align: center;">133</p> <p>1 and feel wise as what we are proposing here. 2 It's just a different type of lot. The 3 50-by-125 or 50-by-150 lot that you see in 4 Hinsdale is a traditional R-4 lot. Here we are 5 proposing something different because of the 6 other maintenance-free aspects, the cluster 7 design, the conservation design, the open space. 8 This is what's worked for these type of 9 developments for us. Same thing with a 60-foot 10 lot in the Village. 60-foot lot, 30 percent 11 side yards, it's 18 foot. So we are very 12 similar to a 50- and 60-foot lot in terms of the 13 total -- We are not calling it a side yard 14 setback here because it's minimum building 15 separation is what we are looking at. 16 CHAIRMAN CASHMAN: Anything else, 17 Jerry? 18 MR. JABLONSKI: No. It still sounds 19 pretty dense to me. 20 CHAIRMAN CASHMAN: Jim, any questions 21 for applicant? 22 MR. KRILLENBERGER: There is nothing.</p>

<p style="text-align: center;">134</p> <p>1 I am looking forward to hearing the results of</p> <p>2 the community meeting.</p> <p>3 CHAIRMAN CASHMAN: Did I miss anybody?</p> <p>4 With that, I would like a motion to</p> <p>5 close the public hearing.</p> <p>6 MR. KRILLENBERGER: I so motion.</p> <p>7 Krillenberg.</p> <p>8 MR. JABLONSKI: Second. Jablonski.</p> <p>9 CHAIRMAN CASHMAN: Chan, roll call</p> <p>10 vote, please.</p> <p>11 MR. YU: Sure. Commissioner</p> <p>12 Krillenberg?</p> <p>13 MR. KRILLENBERGER: Aye.</p> <p>14 MR. YU: Commissioner Fisher?</p> <p>15 MS. FISHER: Aye.</p> <p>16 MR. YU: Commissioner Jablonski?</p> <p>17 MR. JABLONSKI: Aye.</p> <p>18 MR. YU: Chairman Cashman?</p> <p>19 CHAIRMAN CASHMAN: Aye.</p> <p>20 MR. YU: Commissioner Crnovich?</p> <p>21 MS. CRNOVICH: Aye.</p> <p>22 MR. YU: Commissioner Fiascone?</p>	<p style="text-align: center;">136</p> <p>1 MR. JABLONSKI: I would propose that we</p> <p>2 move to vote on this today. I have a feeling it</p> <p>3 would be rejected as it is. I, of course, don't</p> <p>4 know what anyone else is thinking. Let them</p> <p>5 hear from the community and come back to us with</p> <p>6 a clean piece of paper. I agree with Jim that</p> <p>7 chasm, the chasm is canyon-like, Grand Canyon-</p> <p>8 like.</p> <p>9 CHAIRMAN CASHMAN: Okay. Michelle?</p> <p>10 MS. FISHER: I agree with Jerry.</p> <p>11 CHAIRMAN CASHMAN: Let's see, Anna?</p> <p>12 MS. FIASCONE: I agree with Jim. I</p> <p>13 think we need to hear this out a little further.</p> <p>14 I agree that there is definite dissent among the</p> <p>15 community members. We have seen this before for</p> <p>16 sure and dealt with it and come to some other</p> <p>17 options I guess. So I would like to hear how</p> <p>18 the community meeting goes.</p> <p>19 CHAIRMAN CASHMAN: Okay. Julie?</p> <p>20 MR. JABLONSKI: Steve, just to clarify,</p> <p>21 I'm not rejecting this out of hand. I think we</p> <p>22 should get to something but we are so far apart</p>
<p style="text-align: center;">135</p> <p>1 MS. FIASCONE: Aye.</p> <p>2 CHAIRMAN CASHMAN: So discussion by the</p> <p>3 Commissioners. One is whether you want to</p> <p>4 discuss whether the standards for approval are</p> <p>5 met or whether you move to possibly to a vote</p> <p>6 tonight or to continue the vote to continue this</p> <p>7 so that the September 16 community meeting can</p> <p>8 take place and then have this return to us in</p> <p>9 October.</p> <p>10 MR. KRILLENBERGER: B.</p> <p>11 CHAIRMAN CASHMAN: Jim?</p> <p>12 MR. KRILLENBERGER: Yes, B. The chasm</p> <p>13 between what's being proposed and what the</p> <p>14 community reaction is seems so wide, I would</p> <p>15 like to wait and hear how the dialogue goes at</p> <p>16 that Community House meeting on September 16</p> <p>17 before I have too much more to say. So of the</p> <p>18 two choices, Steve, B. I would suggest we wait</p> <p>19 and have that conversation to see if it's a</p> <p>20 beneficial conversation.</p> <p>21 CHAIRMAN CASHMAN: Jerry, thoughts on</p> <p>22 that?</p>	<p style="text-align: center;">137</p> <p>1 right now it might be better to start with a</p> <p>2 clean piece of paper. I didn't want to be</p> <p>3 misinterpreted that I'm rejecting anything.</p> <p>4 CHAIRMAN CASHMAN: No, I understood</p> <p>5 that.</p> <p>6 MR. KRILLENBERGER: And just so I</p> <p>7 understand, if we do vote on this tonight, what</p> <p>8 would we even vote on?</p> <p>9 CHAIRMAN CASHMAN: To approve or</p> <p>10 disapprove what's been submitted to us.</p> <p>11 MR. KRILLENBERGER: Oh, it has been</p> <p>12 submitted?</p> <p>13 MR. JABLONSKI: Jim, we would be voting</p> <p>14 on the second paragraph on the second page. And</p> <p>15 that's an important paragraph to read. We often</p> <p>16 get caught up in the weeds and often forget what</p> <p>17 we are really voting on, approval of a concept</p> <p>18 plan by both the applicant and the Village with</p> <p>19 respect to various basic elements of the plan</p> <p>20 and uses and density are two of the things that</p> <p>21 we're subject to being bound.</p> <p>22 CHAIRMAN CASHMAN: We are a</p>

<p style="text-align: center;">138</p> <p>1 recommending body. So we make a recommendation 2 to the Board. The Board would then have to vote 3 on the concept plan. It would either have a 4 yes-or-no vote. 5 MR. YU: Mr. Chairman? 6 CHAIRMAN CASHMAN: Yes. 7 MR. YU: May I ask a question for 8 Michael? Jim from the McNaughton Group has 9 messaged me. If I can read his question or his 10 statement. The request from the petition was to 11 continue. If there is a vote tonight, that 12 would preclude further discussion on this plan 13 or modifications thereto. 14 MR. MARRS: So I lost my computer power 15 for a few minutes so I was down, but I am now 16 back on my phone. So they made a request to 17 continue? 18 MR. YU: The petitioner made, yes, they 19 made a request to continue. 20 MR. MARRS: Okay. So given that, I 21 would suggest that unless the Plan Commission 22 has very strong feelings that you allow the</p>	<p style="text-align: center;">140</p> <p>1 First of all, Considerations, 2 public benefit; whether and to what extent the 3 proposed use and development at a particular 4 location is necessary or desirable to provide 5 services as a facility that has interest to the 6 public needs that will contribute to the general 7 welfare of the neighborhood or community. I 8 just don't see anything we have in this package 9 that is a public benefit. So that's one bar I 10 just don't see how they get over. 11 Then secondly, under the Purpose of 12 the planned development -- and this is section 13 11-603-B -- the first creation of a more 14 desirable environment that would be possible to 15 strict application of other Village land use 16 regulations. In this density, I mean there are 17 areas north of there that's R-2. On northwest 18 Hinsdale, it's R-2. It creates an environment 19 that's in a neighborhood and then to suddenly 20 have in a way an area that's as dense as R-4 21 within it, I just don't think that's more 22 desirable.</p>
<p style="text-align: center;">139</p> <p>1 continuance and allow the residents' meeting to 2 take place prior to taking a vote. 3 CHAIRMAN CASHMAN: That's a suggestion? 4 MR. MARRS: Yes. 5 CHAIRMAN CASHMAN: Julie? 6 MS. CRNOVICH: I agree with Jerry. I 7 would agree. Well, Jerry kind of said something 8 differently; but I don't think anything is going 9 to be resolved at the community meeting. I 10 think the community has spoken loud and clear. 11 I think we should take a vote tonight. 12 CHAIRMAN CASHMAN: My take on that, in 13 many cases we have people on both sides, able, 14 pro and against. This was very clear and not 15 just a few people but over 140 people and then 16 people we had speaking tonight. When I look at 17 this, I really want to go back and look at, 18 okay, what are our standards for approval. And 19 part of the standards on special use permits, a 20 couple that jumped out to me, I will just 21 comment on this and then we can decide what our 22 thoughts are.</p>	<p style="text-align: center;">141</p> <p>1 And then one thing that I just -- 2 that's why I asked a little about that whole 3 stormwater area. Increase is No. 6 of the 4 Purpose of planned development; an increase in 5 the amount of open space over that which would 6 result from the application's eventual 7 subdivision and zoning regulations. I mean this 8 is -- I just don't see in any way I can look at 9 this and see this is an increase in open space. 10 I think this is a decrease in open space. I 11 think, they are looking at open space, you would 12 be better off to just leave it as a compliant 13 R-2 development. Let the market determine 14 what's going to happen there. But as some of 15 these citizens said, they live in the area and 16 they have done projects. They have built homes, 17 and they are required to comply with R-2. This 18 is not like a little change in density. In 4 to 19 6 versus 21, to me it's not even close. It's 20 not even close. I do have concerns about 21 increased traffic, the impact on the school 22 districts, flooding.</p>

<p style="text-align: center;">142</p> <p>1 And then I think the biggest</p> <p>2 negative would be a complete change in character</p> <p>3 of the neighborhood. I mean I live south of</p> <p>4 Ogden on Adams. I constantly go up Adams, up</p> <p>5 Madison, jogging, riding bikes, going to the</p> <p>6 Fullersburg woods, down to Graue Mill. It's an</p> <p>7 avenue, like a connection; and that's a unique</p> <p>8 part of Hinsdale. It's beautiful up there and</p> <p>9 to allow something of this density, and back to</p> <p>10:17PM 10 we had 30, 60 public comments but the neighbors</p> <p>11 do not want this. I think as a Plan Commission,</p> <p>12 I think we have always done a good job of really</p> <p>13 listening to neighbors. I think that's why like</p> <p>14 the demolition moratorium was such a challenge</p> <p>15 because that was much more evenly split. We had</p> <p>16 four meetings listening to that. This is, this</p> <p>17 is not even a split. I just don't see how -- I</p> <p>18 went to the Ryan open house. I went for my time</p> <p>19 slot but there were people there from the</p> <p>10:17PM 20 Fullersburg area, and I heard what they were</p> <p>21 saying and their concerns. And there were</p> <p>22 similar concerns. I just don't think they are</p>	<p style="text-align: center;">144</p> <p>1 are saying but I also think about Hinsdale</p> <p>2 Meadows and the people that we heard from were</p> <p>3 pretty much all dissenters, had issues with it.</p> <p>4 We worked a very, very long time with them to</p> <p>5 come up with something that worked. I'm not</p> <p>6 comparing this to Hinsdale Meadows. I'm not</p> <p>7 saying it should be Hinsdale Meadows but at the</p> <p>8 same time we did work very long and hard with</p> <p>9 that group and gave them our time. I just think</p> <p>10:19PM 10 that they deserve that respect. They put a lot</p> <p>11 of time and energy into this, whether people</p> <p>12 think it's correct information or not. They are</p> <p>13 asking for a continuance, I think that that's, I</p> <p>14 don't know, I just think that that's -- Maybe</p> <p>15 I'm completely delusional here thinking we can</p> <p>16 come to an agreement. That's just kind of my</p> <p>17 opinion on it.</p> <p>18 CHAIRMAN CASHMAN: Okay.</p> <p>19 MR. KRILLENBERGER: I agree. I've kind</p> <p>10:20PM 20 of got the same perspective. No need to shut</p> <p>21 down the conversation when there is a scheduled</p> <p>22 meeting. And if this meeting turns into a</p>
<p style="text-align: center;">143</p> <p>1 going to suddenly something is going to change.</p> <p>2 And I agree, it's not like we can drop off 2</p> <p>3 units or get to 44 or 40. I just think we are</p> <p>4 so far off the mark that in my mind I think it</p> <p>5 would be cleaner and more effective and might I</p> <p>6 say less waste of the applicant's time to</p> <p>7 actually consider this and decide to vote</p> <p>8 tonight. I just don't see what we gain by</p> <p>9 continuing it. I think it does more of a</p> <p>10:18PM 10 disservice. That's just my opinion.</p> <p>11 I would be curious, I would be open</p> <p>12 to a motion. I mean if you think about those</p> <p>13 criteria, do any of the Commissioners feel like</p> <p>14 we can move this? I mean there is plenty more</p> <p>15 but I mean this is -- It's just a big various.</p> <p>16 MS. CRNOVICH: Steve, it's Crnovich.</p> <p>17 With the objections you listed and the list of</p> <p>18 waivers that they are requesting, I think</p> <p>19 starting over with a clean slate is the only</p> <p>10:19PM 20 thing that can be done.</p> <p>21 CHAIRMAN CASHMAN: Okay. Anna?</p> <p>22 MS. FIASCONE: Listen, I hear what you</p>	<p style="text-align: center;">145</p> <p>1 fistfight or something that makes it clear that</p> <p>2 there is never going to be a bridge over the</p> <p>3 canyon, then we will know more after that</p> <p>4 meeting so that's my view.</p> <p>5 CHAIRMAN CASHMAN: Michelle?</p> <p>6 MS. FISHER: I'm agreeing with you and</p> <p>7 then with Jerry and Julie. I think based on the</p> <p>8 requirements that you provided, the basic entry</p> <p>9 level to meet those requirements has not been</p> <p>10:21PM 10 met. And then secondly, the community has been</p> <p>11 very clear in what they have said tonight and</p> <p>12 with what their letters have said as well. And</p> <p>13 perhaps maybe just revising a plan or some ideas</p> <p>14 would be the best path to get something a little</p> <p>15 bit more acceptable possibly and then coming</p> <p>16 back to all of us and moving forward from there.</p> <p>17 CHAIRMAN CASHMAN: It is interesting to</p> <p>18 note that in tonight's meeting we basically</p> <p>19 closed the Ryan Company's application because</p> <p>10:21PM 20 that's exactly what they wanted to do. They</p> <p>21 basically want to come up with a new proposal</p> <p>22 and start over.</p>

<p style="text-align: center;">146</p> <p>1 And so, Jerry, are you still in the</p> <p>2 same position, you think we should have a vote?</p> <p>3 MR. JABLONSKI: Yes. I think we should</p> <p>4 have a vote. But I want to continue to</p> <p>5 reiterate that, even though Mr. McNaughton said</p> <p>6 that if we were to say no he might walk away, I</p> <p>7 welcome him to come back and develop new ideas.</p> <p>8 I want development in the Village of Hinsdale.</p> <p>9 I just want proper development in the Village of</p> <p>10 Hinsdale.</p> <p>11 MS. FISHER: I think that's well said.</p> <p>12 CHAIRMAN CASHMAN: First, how about if</p> <p>13 we have a motion to continue this to our</p> <p>14 October 14 meeting and see how that goes.</p> <p>15 MR. KRILLENBERGER: I will so motion to</p> <p>16 continue.</p> <p>17 CHAIRMAN CASHMAN: And a second?</p> <p>18 MS. FIASCONE: Second. I second.</p> <p>19 CHAIRMAN CASHMAN: Chan, can we have a</p> <p>20 roll call.</p> <p>21 MR. YU: Yes.</p> <p>22 Commissioner Krillenberg?</p>	<p style="text-align: center;">148</p> <p>1 MR. MARRS: That would be a motion to</p> <p>2 recommend disapproval.</p> <p>3 CHAIRMAN CASHMAN: To recommend</p> <p>4 disapproval.</p> <p>5 Jim, you seconded or you motioned?</p> <p>6 MR. KRILLENBERGER: I've actually asked</p> <p>7 you for a clarification. So this is a motion to</p> <p>8 disapprove as currently submitted?</p> <p>9 CHAIRMAN CASHMAN: Correct.</p> <p>10 MR. KRILLENBERGER: I will so motion.</p> <p>11 CHAIRMAN CASHMAN: Do we have a second?</p> <p>12 MR. JABLONSKI: Second from Jablonski.</p> <p>13 CHAIRMAN CASHMAN: Chan, can we have a</p> <p>14 roll call vote, please.</p> <p>15 MR. YU: Yes.</p> <p>16 Commissioner Krillenberg?</p> <p>17 MR. KRILLENBERGER: Aye.</p> <p>18 MR. YU: Commissioner Fisher?</p> <p>19 MS. FISHER: I'm sorry. So we are</p> <p>20 recommending -- We are disapproving, so</p> <p>21 rejecting what was provided to us?</p> <p>22 CHAIRMAN CASHMAN: Yes. So a yes is a</p>
<p style="text-align: center;">147</p> <p>1 MR. KRILLENBERGER: Aye.</p> <p>2 MR. YU: Commissioner Fisher?</p> <p>3 MS. FISHER: No.</p> <p>4 MR. YU: Commissioner Jablonski?</p> <p>5 MR. JABLONSKI: No.</p> <p>6 MR. YU: Chairman Cashman?</p> <p>7 CHAIRMAN CASHMAN: No.</p> <p>8 MR. YU: Commissioner Crnovich?</p> <p>9 MS. CRNOVICH: No.</p> <p>10 MR. YU: And Commissioner Fiascone?</p> <p>11 MS. FIASCONE: Aye.</p> <p>12 CHAIRMAN CASHMAN: Okay. That did not</p> <p>13 pass.</p> <p>14 Can I have a motion to disapprove</p> <p>15 Case A-20-2020, McNaughton Development - Planned</p> <p>16 Development Concept Plan, Special Use Permit and</p> <p>17 Exterior Appearance/Site Plan to develop</p> <p>18 20.9 acres of the 37.1 acre site at 4 South 010</p> <p>19 Madison Street, north of Ogden, east of Adams</p> <p>20 Street for a 46 Single Family Detached Home</p> <p>21 Planned Development in the R-2 Single Family</p> <p>22 Residential District.</p>	<p style="text-align: center;">149</p> <p>1 rejection.</p> <p>2 MS. FISHER: Yes.</p> <p>3 MR. YU: Commissioner Jablonski?</p> <p>4 MR. JABLONSKI: Aye.</p> <p>5 MR. YU: Chairman Cashman?</p> <p>6 CHAIRMAN CASHMAN: Yes.</p> <p>7 MR. YU: Commissioner Crnovich?</p> <p>8 MS. CRNOVICH: Aye.</p> <p>9 MR. YU: Commissioner Fiascone?</p> <p>10 MS. FIASCONE: Aye.</p> <p>11 CHAIRMAN CASHMAN: So that was a 6-0</p> <p>12 vote. Did I follow the bouncing ball? All</p> <p>13 yeses?</p> <p>14 MR. YU: Jim, you said yes; right?</p> <p>15 MR. KRILLENBERGER: I said yes to</p> <p>16 reject as planned. We are not going to</p> <p>17 continue, we have to reject it.</p> <p>18 MR. YU: Got it. Thank you.</p> <p>19 CHAIRMAN CASHMAN: Okay. John, Paul,</p> <p>20 and your entire team, really appreciate your</p> <p>21 time and your proposal. This is our Board or</p> <p>22 our Commission is just recommendation to the</p>

1 Board. So there will be findings and facts and
2 recommendations that we'll vote on in October,
3 and then it will go to the Village trustees for
4 their consideration. Do I have a motion to
5 adjourn?

6 MR. KRILLENBERGER: I will so motion,
7 Krillenberg.

8 MS. FISHER: Fisher, second.

10:25PM

9 CHAIRMAN CASHMAN: Second. Roll call,
10 please, Chan.

11 MR. YU: Commissioner Krillenberg?

12 MR. KRILLENBERGER: Aye.

13 MR. YU: Commissioner Fisher?

14 MS. FISHER: Aye.

15 MR. YU: Commissioner Jablonski?

16 MR. JABLONSKI: Aye.

17 MR. YU: Chairman Cashman?

18 CHAIRMAN CASHMAN: Aye.

19 MR. YU: Commissioner Crnovich?

10:24PM

20 MS. CRNOVICH: Aye.

21 MR. YU: Commissioner Fiascone?

22 MS. FIASCONE: Aye.

STATE OF ILLINOIS)

) ss.

COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
do hereby certify that I am a court reporter
doing business in the State of Illinois, that I
reported in shorthand the testimony given at the
hearing of said cause, and that the foregoing is
a true and correct transcript of my shorthand
notes so taken as aforesaid.



Janice H. Heinemann CSR, RDR, CRR
License No. 084-001391

1 CHAIRMAN CASHMAN: Thanks to all the
2 citizens that are on the phone and on Zoom. I
3 really appreciate your time and patience and
4 also we appreciate all the time spent
5 corresponding with us and thank you.

6 * * *

7 (Which were all the proceedings had
8 in the above-entitled cause.)

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MEMORANDUM

DATE: October 14, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 115 S. Vine St. – Life Insight Therapy Collective – New Wall Sign - Case A-26-2020

Request and Analysis

The Village of Hinsdale has received a sign application from Corporate Sign Systems, Inc., on behalf of Life Insight Therapy Collective, to install a new wall sign at 115 S. Vine Street in the O-1 Specialty Office District. Please note, the sign application address reflects its former location at 111 S. Grant Street, however, the requested sign is for its new location at 115 S. Vine Street.

The proposed wall sign features black text and a circular spiral logo with black, teal and light teal on a frosted glass backing. The proposed dimensions of the glass backing are 9" tall and 2'-8" long for an area of 2 SF. There is no existing signage on the building and the proposed wall sign is Code compliant.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic,



MEMORANDUM

detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

Attachments:

Attachment 1 – Sign Application and Exhibits

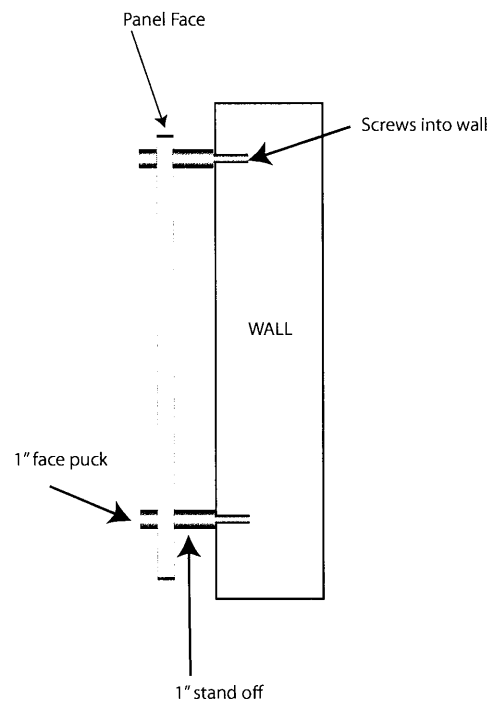
Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 115 S. Vine Street

Logo Panel: 40" x 11.5" Frosted Panel with 1" Standoff Pucks



<div>Corporate Sign Systems Inc.<div><div><div></div></div><div>900 Central Ave. Roselle, IL 60172 847.882.6100</div></div></div>		<div>CLIENT:<div>Life Insight</div></div>		<div>Start Date: 9/16/2020 Last Revision: 9/23/2020 Estimate #: Job #: C0297 Page: 2</div>		<div>Client Approval</div>		<div>Sales Rep:<div>Erik</div><div>Design By:<div>CSS</div></div></div>	
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VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: Erik Olsen
Address: 900 Central Ave.
City/Zip: Roselle, 60172
Phone/Fax: (847) 882-6100 /
E-Mail: erik@corporatesignsystems.com
Contact Name: _____

Contractor

Name: Corporate Sign Systems Inc.
Address: 900 Central Ave.
City/Zip: Roselle, 60172
Phone/Fax: (847) 882-6100 /
E-Mail: erik@corporatesignsystems.com
Contact Name: Erik Olsen

ADDRESS OF SIGN LOCATION: 111 S. Grant Street

ZONING DISTRICT: o-1 Specialty Office District

SIGN TYPE: Wall Sign

ILLUMINATION None



Sign Information:

Overall Size (Square Feet): 9" H x 32" W

Overall Height from Grade: 7' Ft.

Proposed Colors (Maximum of Three Colors):

① Black

② Blue

③ Teal

Site Information:

Lot Street Frontage: 45'

Building/Tenant Frontage: 28'

Existing Sign Information:

Business Name: Life Insight

Size of Sign: 2 total Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

9-21-2020
Date

[Signature]
Signature of Building Owner

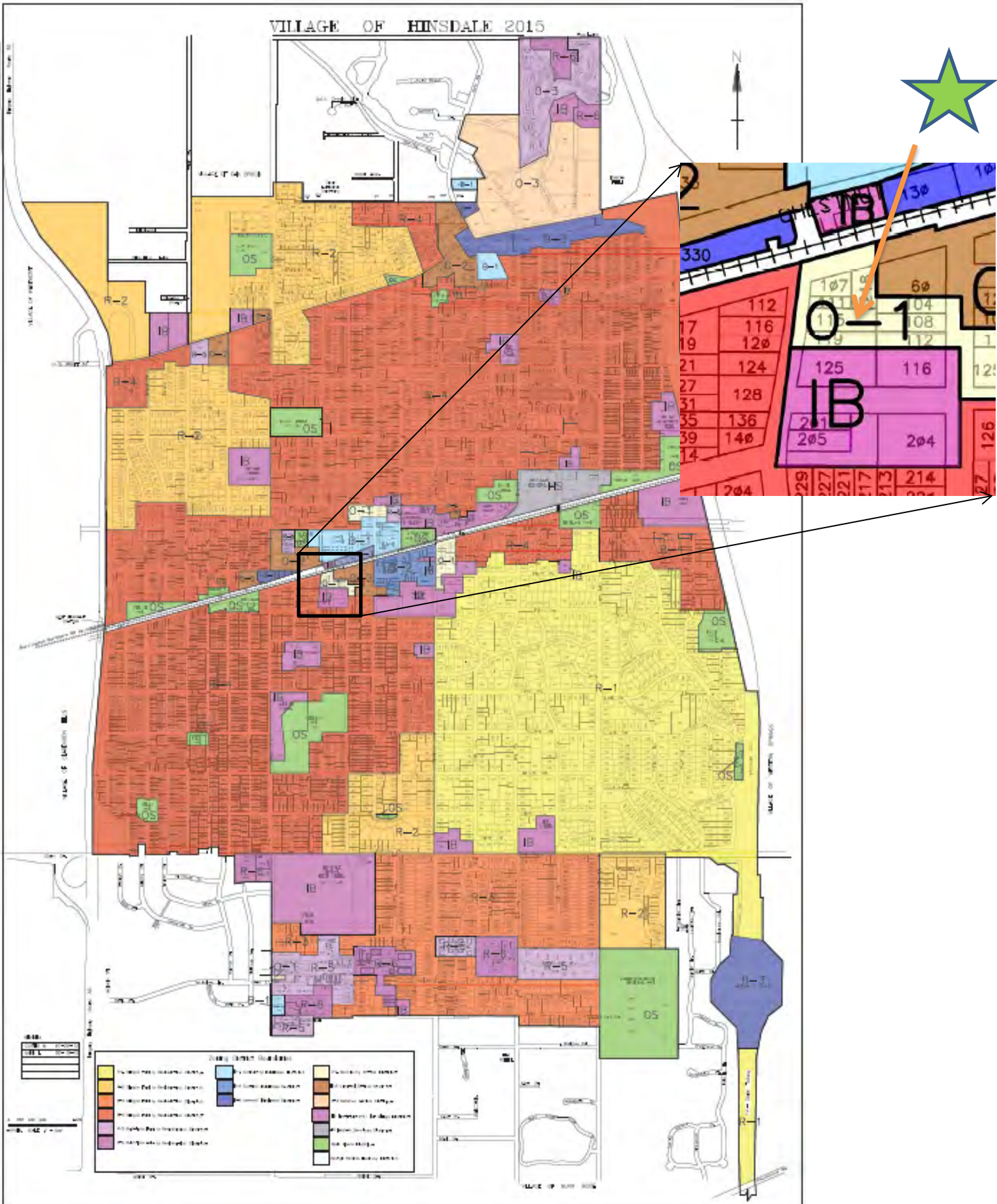
09/21/20
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

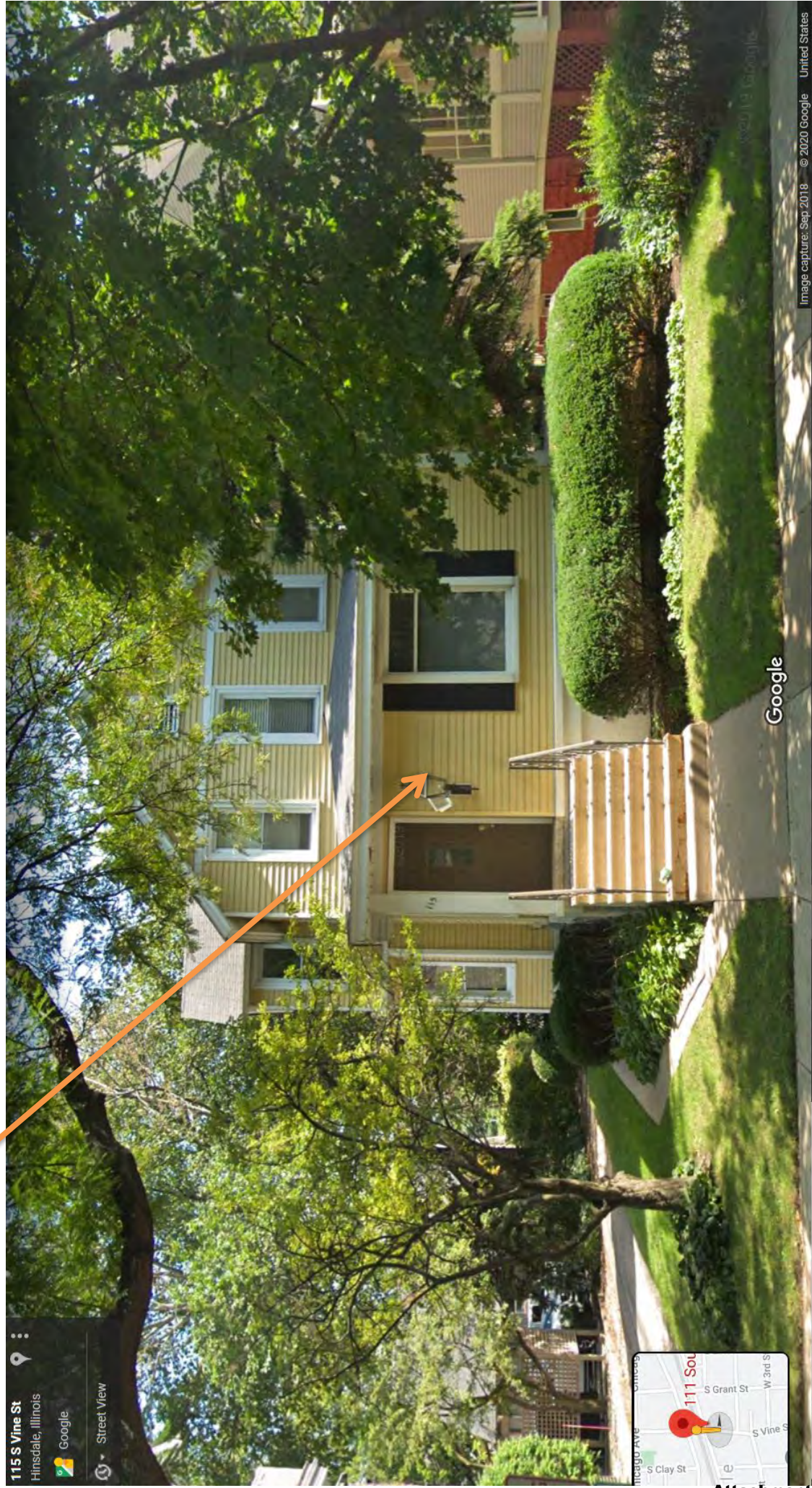
Plan Commission Approval Date: _____ Administrative Approval Date: _____

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View of 115 S. Vine St. (facing east)

New Wall Sign Location



**FINDINGS OF FACT AND RECOMMENDATION
OF THE PLAN COMMISSION
VILLAGE OF HINSDALE**

September 9, 2020

RE: Case No. A-20-2020 – Planned Development Concept Plan, Special Use Permit and Exterior Appearance/Site Plan to develop 20.9 acres at 4S010 Madison Street

PETITIONER: McNaughton Development (the “Applicant”)

APPLICATION: Consideration of a request from McNaughton Development for a Planned Development Concept Plan, Special Use Permit and Exterior Appearance/Site Plan to develop 20.9 acres (of 37.1 acre site) for a 46 Single Family Detached Home Planned Development in the R-2 Single Family Residential District.

PROPERTY: The subject property is commonly known as the property located at 4S010 Madison Street (North of Ogden Ave. and East of Adams St.), Illinois (the “Property”)

SUMMARY OF REQUEST: The Village of Hinsdale has received a request from Applicant McNaughton Development for a Planned Development Concept Plan, Special Use Permit and Exterior Appearance/Site Plan to develop 20.9 acres (of 37.1 acre site) on the Property with a 46 Single Family Detached Home Planned Development. The Property is located in the R-2 Single Family Residential District.

Following receipt of the application, Village staff prepared and published a hearing notice in the Hinsdalean on August 20, 2020. Mailed notice was sent to nearby property owners by the Applicant, as required by the Village’s Zoning Ordinance (“Zoning Code”). In addition, the Village publicized the public hearing on its website. A copy of the published notice is attached hereto as **Exhibit A** and made a part hereof.

PUBLIC HEARING: A public hearing (the “Public Hearing”) on the Application was opened and concluded on September 9, 2020. Due to the COVID- 19 pandemic (the “Pandemic”), the various Declarations of Emergency made by Illinois’ Governor, and various Executive Orders issued by Illinois’ Governor restricting public gatherings and modifying current law on in-person attendance at meetings during public health emergencies, the Public Hearing was held electronically.

The Applicant, McNaughton Development, gave a PowerPoint presentation. Testifying on behalf of the Applicant were John Barry and Paul McNaughton, of McNaughton Development, Konstantine Savoy, of the Savoy Consulting Group, Dan Lobbes of the Conservation Foundation, Linda Feinstein of Compass, Lance Ramella of Housing Trends, LLC, as well as representatives of Laube Companies (fiscal impact study) and V3 (traffic consultant). The Applicant’s representatives described the Planned Development Concept Plan in detail.

Following the presentation, the Plan Commission members briefly reviewed a number of the written public comments received, and their own thoughts concerning the proposed planned development concept plan. The Plan Commission reviewed concerns regarding the proposed high density, the number of Zoning Code waivers requested by the Applicant, and questioned the validity of the proposed public benefit. The applicant responded to the questions by the Plan

Commission members.

At the duly and properly noticed Public Hearing, testimony was taken and heard by the Plan Commission on the Planned Development concept plan application packet. All persons testifying during the Public Hearing were sworn prior to giving testimony. All persons wishing to be heard were given the opportunity to provide testimony on their own behalf. Nine (9) people spoke at the Public Hearing, all against the Planned Development concept plan. In general, the concerns and issues revolved around the additional traffic generated, changing the nature of the existing neighborhood, flooding, density, number of requested Zoning Code waivers and validity of the traffic study.

Transcripts of the Public Hearing are attached hereto as **Exhibit B** and made a part hereof.

There being no further questions or members of the public wishing to speak on the application, the Public Hearing was closed.

The Applicant proposed continuing the matter for a month while it hosted a community meeting to receive and take into account additional public input. Certain Plan Commission members felt they should wait until the applicant hosts its community open house meeting. However, certain Plan Commission members felt that the proposed plan is too far from what they would support, and nothing could be resolved at the community meeting or by delaying a vote. The high number of letters in opposition to the application was also reviewed again.

MOTION: Following discussion by the Plan Commission, motions were made as follows:

A motion was made by Commissioner Krillenberger, and seconded by Commissioner Fiascone, to continue the application for the October Plan Commission meeting. The vote on the motion was two (2) in favor, and (4) against. The motion failed.

A subsequent motion to recommend disapproval of the Planned Development Concept Plan (Case A-20-2020) was made by Commissioner Krillenberger, and seconded by Commissioner Jablonski. The vote on the motion was six (6) in favor, and (0) against. The motion carried.

FINDINGS ON IMPOSITION OF PROPOSED MORATORIUM: The Plan Commission, based upon the written and oral evidence and testimony presented at the Public Hearing, and other evidence in the record, makes the following Findings as to the requested Planned Development Concept Plan (Case A-20-2020):

1. The standards for approving a special use are not met by this proposal. In particular, the Plan Commission found that the requested Development was likely to cause undue traffic congestion, and that the additional traffic generated, the impacts of changing the nature of the existing neighborhood, potential flooding and increased density would have a substantial or undue adverse effect upon nearby properties, the character of the area, and the public health, safety and general welfare. See §§ 11-602(E)(1)(b) and (e) and 11-603(E)(1). The Plan Commission did not find the proposal to be necessary or desirable at this particular location. See Section 11-602(E)(3)(a).
2. The proposed use and development is not in harmony with the general and specific purposes for planned developments. See § 11-602(E)(1)(a). The purpose of the Planned Development, per Section 11-603(B)(1), is not met because the proposed density is not appropriate in relation to the existing R-2 Single Family Residential District and does not create a more desirable environment. In addition, the purpose

of the Planned development, per Section 11-603(B)(6), is not met because it is a decrease in open space and the proposed density, potential flooding and change of the existing neighborhood environment are major concerns that are not adequately addressed.

3. Finally, certain Plan Commission members felt that the proposed plan is too far from what they would support and modifications to the current request would not improve their concerns, and that a new application is the only thing that can be done.

RECOMMENDATION: After deliberation, the unanimous vote of the Plan Commission members present on September 9, 2020, on a motion to recommend disapproval of the Planned Development Concept Plan (Case A-20-2020) was six (6) in favor and zero (0) opposed. The motion carried. Therefore, the Recommendation of the Plan Commission is that the President and Board of Trustees of the Village of Hinsdale deny the request as submitted.

Signed: _____

Stephen Cashman, Chairman Plan Commission
Village of Hinsdale

Dated: _____

VILLAGE OF HINSDALE

NOTICE OF PLAN COMMISSION PUBLIC HEARING

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Hinsdale Plan Commission shall conduct an electronic public hearing on Wednesday, September 9, 2020, at 6:30 p.m., or as soon thereafter as the business of the Plan Commission permits, for the purpose of considering an application (Case A-20-2020) for a Planned Development Concept Plan application, as well as related Special Use Permit and Exterior Appearance and Site Plan applications, submitted by McNaughton Development Inc. (McNaughton), seeking approval to develop 20.9 acres of the 37.1 acres McNaughton plans to purchase. The 37.1 acre subject property is located at the Northwest corner of the Village, north of W. Ogden Avenue and east of Adams Street. It is currently owned by the not-for-profit organization Institute of Basic Life Principles (IBLP). The application proposes to construct 46 custom single-family homes on "Parcel 1" of the Site Plan (20.9 acres). The purpose for the Planned Development Concept Plan application is to provide the applicant an opportunity to show the basic scope, character, and nature of the entire proposed plan without incurring undue cost. It is the initial step in review of the planned development process, and is the basis on which the public hearing is held, thus permitting public consideration and input on the proposal at the earliest possible stage. Contingent on an approved Concept Plan, the Planned Development Detailed Plan will be subsequently submitted to refine the elements of the Concept Plan. Following the public hearing, the Plan Commission shall make recommendations to the Village Board of Trustees on the Applicant's various requests.

The petitioner is: McNaughton Development Inc. Copies of documents relating to the proposed request are on file and available for public inspection by emailing Village Clerk Christine Bruton at cbruton@villageofhinsdale.org or through a request by mail sent to the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521.

ADDRESS, LEGAL DESCRIPTION and PINS:

4S010 Madison - PIN # 09-02-205-001

THE NORTH 12 RODS OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE EAST 2 RODS FOR PUBLIC HIGHWAY, IN DUPAGE COUNTY, ILLINOIS

THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT FROM SAID WEST 1/2 THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE: THE WEST 328.87 FEET, AS MEASURED ON THE SOUTH LINE, BY 329 FEET, AS MEASURED ON THE NORTH LINE, OF THE SOUTH 300 FEET THEREOF, IN DUPAGE COUNTY, ILLINOIS.

THE WEST 328.87 FEET, AS MEASURED ON THE SOUTH LINE, BY 329 FEET, AS MEASURED ON THE NORTH LINE, OF THE SOUTH 300 FEET OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

THAT PART OF THE NORTH EAST 1/4 OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE CENTER OF OLD PLANK ROAD 10.44 CHAINS (689.04 FEET) WESTERLY OF A POINT ON THE EAST LINE OF THE NORTHEAST 1/2 OF SECTION 2, AFORESAID, WHICH IS 11.26 CHAINS (743.16 FEET) NORTH OF THE SOUTHEAST CORNER OF SAID NORTHEAST 1/4 OF THE SECTION; THENCE RUNNING NORTH 12.24 CHAINS (807.84 FEET) TO A STAKE; THENCE WEST 10 CHAINS (660 FEET) TO THE CENTER OF THE ROAD; THENCE SOUTH IN THE CENTER OF SAID ROAD, 15.16 CHAINS (1000.56 FEET) TO THE CENTER OF THE OLD PLANK ROAD; THENCE EASTERLY, ALONG THE CENTER OF OLD PLANK ROAD, TO THE POINT OF BEGINNING; EXCEPT THE WEST 2 RODS THEREOF, IN DUPAGE COUNTY, ILLINOIS, ALSO EXCEPT THE SOUTH 33 FEET TAKEN FOR OGDEN AVENUE.

918 Brook Lane - PIN # 09-02-206-002

LOT 4 IN HOLMES MADISON STREET ASSESSMENT PLAT OF TRACT A AND TRACT B, OF HOMES ASSESSMENT PLAT OF THE SOUTH 336 FEET OF THE NORTH 534 FEET OF THE EAST 1/2 OF THE NORTH EAST 1/4 OF THE NORTH EAST 1/4 OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID HOLMES MADISON ST ASSESSMENT PLAT RECORDED FEBRUARY 10, 1954 AS DOCUMENT 707657, IN DUPAGE COUNTY, ILLINOIS.

Brook Place Private Easement - PIN # 09-02-206-004

THE SOUTH 15 FEET OF THE NORTH 549 FEET OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 33 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

THE ENTIRE 627.0 - FOOT LENGTH OF THE ONE FOOT STRIP OF LAND RUNNING EAST-WEST IMMEDIATELY SOUTH OF LOTS 3, 4, AND 5 IN THE HOLMES MADISON STREET ASSESSMENT PLAT IN THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954 AS DOCUMENT 707657, IN DUPAGE COUNTY, ILLINOIS.

EXCEPTING THEREOF FROM ALL THE ABOVE DESCRIBED PROPERTY TAKEN AS A WHOLE ANY PART OF LOT 7 IN LOGAN ACRES SUBDIVISION.

920 Brook Lane - PIN # 09-02-206-003

LOT 5 IN THE HOLMES MADISON STREET ASSESSMENT PLAT IN THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954 AS DOCUMENT 707657, IN DUPAGE COUNTY, ILLINOIS.

930 Brook Lane & 16W070 Birchwood - PIN # 09-02-205-002 & 09-02-205-003

LOTS 2 AND 3 IN THE HOLMES MADISON STREET ASSESSMENT PLAT IN THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954 AS DOCUMENT 707657, IN DUPAGE COUNTY, ILLINOIS.

LEGAL DISCRIPTION OAK BROOK PROPERTY

PIN# 06-35-401-034

A PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION AND RUNNING THENCE NORTH ON SECTION LINE 4.52 CHAINS TO SOUTHEAST CORNER OF OAK FOREST CEMETERY ACCORDING TO THE PLAT THEREOF RECORDED MARCH 7, 1889 AS DOCUMENT 40624; THENCE NORTH 88 DEGREES WEST 17.57 CHAINS ALONG THE SOUTH LINE OF OAK FOREST CEMETERY TO THE SOUTHWEST CORNER THEREOF; THENCE NORTH ALONG THE WEST LINE OF SAID CEMETERY 11.47 CHAINS TO THE NORTHWEST CORNER OF SAID CEMETERY AND SOUTH LINE OF F. KOLZOW'S LAND; THENCE WEST 2.50 CHAINS TO DIVISION CORNER AND CENTER OF ROAD; THENCE SOUTH 2-1/2 DEGREES EAST 16.30 CHAINS ALONG CENTER OF THE ROAD TO SOUTH LINE OF SECTION; THENCE EAST ALONG SECTION LINE 19.57 CHAINS TO POINT OF BEGINNING:

(EXCEPTING THEREFROM THAT PART FALLING WITHIN HINSDALE BURIAL ASSOCIATION, N BEING A RESUBDIVISION OF OAK RIDGE CEMETERY RECORDED DECEMBER 7, 1923 AS DOCUMENT 172340 AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST 1/4 OF SECTION 35; THENCE NORTH ON THE SECTION LINE TO THE SOUTHEAST CORNER OF SAID OAK FOREST CEMETERY; THENCE WEST ALONG THE SOUTH LINE OF SAID CEMETERY 388.5 FEET; THENCE SOUTH, IN A STRAIGHT LINE, TO A POINT ON THE SOUTH LINE OF SAID SECTION 35 THAT IS 388.5 FEET WEST, AS MEASURED ALONG SAID SOUTH LINE, OF THE SAID SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 35; THENCE EAST, ALONG SAID SOUTH LINE, 388.5 FEET TO THE PLACE OF BEGINNING) AND

(EXCEPTING THEREFROM THAT PART LYING NORTH OF THE SOUTH LINE OF SAID OAK FOREST CEMETERY EXTENDED TO THE WEST LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 35, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN), IN DUPAGE COUNTY, ILLINOIS.

At said public hearing, the Plan Commission shall accept all testimony and evidence pertaining to the Petitioner's application and shall consider any and all possible zoning actions, including the granting of any necessary special permits, variations, planned development concept plan approval, other special approvals to permit development of the proposed type at the described property.

Due to the COVID-19 pandemic, Governor Pritzker has enacted a "Stay-at-Home" directive effective as of March 21st, 2020, as most recently extended by Executive Order 2020-32 issued on April 30, 2020, which, among other things, limits the capacity for all public gatherings to 10 people or less. The Village will therefore be unable to facilitate physical attendance by members of the public at the hearing, and the public hearing will be held electronically. The public will be able to listen to the entire hearing and meeting live on the Village's website, and on Channel 6.

Public comments and testimony on the proposed development and relief requested are welcome. Written comments and testimony are strongly encouraged. Written comments must be received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Please use the subject line "Public Comment – McNaughton" when sending your email. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521.

While emailed or written comments or testimony are strongly encouraged, public testimony, comments or cross-examination may also be made by persons who have pre-registered with the Village. Persons may pre-register to provide live public testimony, comments or to cross-exam witnesses by emailing Village Clerk Christine Bruton at cbruton@villageofhinsdale.org prior to 4:30 p.m. on the day of the hearing. Please use the subject line "Pre-Registration – McNaughton" when sending your email. Persons who have pre-registered may then join by computer or mobile device for the best experience. Computer and mobile device users may join a meeting by using the free Zoom app.

Join from a computer simply click on this link: <https://rb.gy/03xf7l>

Join from a mobile device simply click on this link: <https://rb.gy/03xf7l>

Or join the Zoom meeting by phone by dialing: 312.626.6799, and using Webinar ID: 997 7811 4581 and Passcode: 668876. Persons who have pre-registered to provide live testimony, comments or cross-examination will be called on in the order in which they registered during the portion of the hearing reserved for such public testimony, comments or cross-examination.

All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at

the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read.

The Public Hearing may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to electronically attend this hearing and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789.7014 or by TDD at 630.789.7022 promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Dated: August 14, 2020

Christine M. Bruton, Village Clerk

To be Published in the Hinsdalean on August 20, 2020

BEFORE THE VILLAGE OF HINSDALE
PLAN COMMISSION

In the Matter of:

Case A-20-2020 - McNaughton Development -
Planned Development Concept Plan, Special Use
Permit and Exterior Appearance Site Plan to
develop 20.9 acres (of 37.1 acre site) at
4S010 Madison Street (North of Ogden Ave. and
East of Adams St.) for a 46 Single Family
Detached Home Planned Development in the R-2
Single Family Residential District.

REPORT OF PROCEEDINGS had and testimony
taken via Zoom at the Public Hearing of the
above-entitled matter before the Hinsdale Plan
Commission at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 9th day of September, 2020, at
the hour of 7:17 p.m.

BOARD MEMBERS PRESENT VIA ZOOM:

MR. STEPHEN CASHMAN, Chairman;

MS. JULIE CRNOVICH, Member;

MS. ANNA FIASCONE, Member;

MS. MICHELLE FISHER, Member;

MR. GERALD JABLONSKI, Member;

MR. JIM KRILLENBERGER, Member.

<p style="text-align: center;">2</p> <p>ALSO PRESENT VIA ZOOM:</p> <p>MR. ROBB MC GINNIS, Director of Community Development;</p> <p>MR. CHAN YU, Village Planner;</p> <p>MR. MICHAEL MARRS, Village Attorney;</p> <p>MR. PAUL MCNAUGHTON, Jr., McNaughton Development;</p> <p>MR. JOHN BARRY, McNaughton Development;</p> <p>MR. KONSTANTINE SAVOY, Savoy Consulting Groups;</p> <p>MR. DAN LOBBES, Conservation Foundation;</p> <p>MS. LINDA FEINSTEIN, Compass;</p> <p>MR. LANCE RAMELLA, Housing Trends;</p> <p>MR. MICHAEL LAUBE, Laube Companies;</p> <p>MR. PETER REINHOFER, V3;</p> <p>MR. RYAN WAGNER, V3;</p> <p>MR. JIM OLGUIN, Buikema Law Group;</p> <p>ALSO PRESENT VIA ZOOM OR ZOOM CONFERENCE CALL:</p> <p>MR. DAN HEMMER,</p> <p>MR. PIERRE ABI-MANSOUR,</p> <p>MR. FRED CURRENT,</p> <p>MR. ARMANDO TRAVELLI,</p> <p>07:22PM</p>	<p style="text-align: center;">4</p> <p>1 MR. YU: You can.</p> <p>2 CHAIRMAN CASHMAN: Can I have a motion</p> <p>3 to open the hearing.</p> <p>4 MS. FIASCONE: Motion, Fiascone.</p> <p>5 CHAIRMAN CASHMAN: Second?</p> <p>6 MR. JABLONSKI: Second, Jablonski.</p> <p>7 CHAIRMAN CASHMAN: Chan, roll call,</p> <p>8 please.</p> <p>9 MR. YU: Commissioner Krillenberger?</p> <p>07:18PM 10 MR. KRILLENBERGER: Aye.</p> <p>11 MR. YU: Commissioner Fisher?</p> <p>12 MS. FISHER: Aye.</p> <p>13 MR. YU: Commissioner Jablonski?</p> <p>14 MR. JABLONSKI: Aye.</p> <p>15 MR. YU: Chairman Cashman?</p> <p>16 CHAIRMAN CASHMAN: Aye.</p> <p>17 MR. YU: Commissioner Crnovich?</p> <p>18 MS. CRNOVICH: Aye.</p> <p>19 MR. YU: And Commissioner Fiascone?</p> <p>20 MS. FIASCONE: Aye.</p> <p>21 MR. YU: Thank you.</p> <p>22 CHAIRMAN CASHMAN: Before we move to</p>
<p style="text-align: center;">3</p> <p>1 CONTINUATION ALSO PRESENT VIA ZOOM OR ZOOM</p> <p>2 CONFERENCE CALL:</p> <p>3 MR. ROBERT LINDGREN,</p> <p>4 MR. ROBERT CRANE,</p> <p>5 MR. JEFF ALLEN,</p> <p>6 MR. CHARLIE HIATT,</p> <p>7 MR. PETER TYLER,</p> <p>8 MS. ALICIA SCHEMEL,</p> <p>9 MR. HERON RODRIGUEZ,</p> <p>10 OTHER UNIDENTIFIED RESIDENTS.</p> <p>11 * * *</p> <p>12 CHAIRMAN CASHMAN: Our next item is</p> <p>13 Case A-20-2020, the McNaughton Development, the</p> <p>14 Planned Development Concept Plan, Special Use</p> <p>15 Permit and Permit Exterior Appearance/Site Plan</p> <p>16 to develop 20.9 acres of 37.1-acre site at</p> <p>17 4S010 Madison Street north of Ogden Avenue east</p> <p>18 of Adams Street for 46 Single Family Detached</p> <p>19 Home Planned Development in the R-2 Single</p> <p>07:17PM 20 Family Residential District.</p> <p>21 We need a motion to open the public</p> <p>22 hearing, correct? I believe so.</p>	<p style="text-align: center;">5</p> <p>1 the applicant, I just want to make a few</p> <p>2 introductory comments. We have a lot of</p> <p>3 interest in this project. We have received a</p> <p>4 lot of written comments. We had I think 141</p> <p>5 received through today. We have people that are</p> <p>6 scheduled to speak that registered with Chan to</p> <p>7 speak. And we basically are going to go</p> <p>8 through, have the applicant make their</p> <p>9 presentation, have an opportunity for the</p> <p>07:18PM 10 Commissioners to ask the applicant any</p> <p>11 questions; and then we will move on to questions</p> <p>12 from the public.</p> <p>13 And should we wait till then, Chan,</p> <p>14 to swear everyone in or swear everyone in now?</p> <p>15 I think we should probably do it now, right?</p> <p>16 MR. YU: Jan, do you have a preference?</p> <p>17 THE REPORTER: No. But I would need to</p> <p>18 identify who I'm swearing in.</p> <p>19 CHAIRMAN CASHMAN: Yes. Michael?</p> <p>07:19PM 20 MR. MARRS: I would suggest that you,</p> <p>21 Jan, do kind of a mass swearing in and then as</p> <p>22 each person speaks the chairperson can verify</p>

<p style="text-align: center;">6</p> <p>1 that they have been previously great.</p> <p>2 THE REPORTER: That would be great.</p> <p>3 (Discussion outside the record.)</p> <p>4 CHAIRMAN CASHMAN: And also a comment,</p> <p>5 regarding the written comments that came in,</p> <p>6 those will be posted on the Village website and</p> <p>7 they also will become part of public record for</p> <p>8 this hearing.</p> <p>9 MR. MARRS: So why don't we swear in</p> <p>10 everyone who is part of the applicant's team and</p> <p>11 then we will do the public comment individually.</p> <p>12 MR. YU: Okay.</p> <p>13 (Witnesses sworn en masse.)</p> <p>14 CHAIRMAN CASHMAN: Welcome, everyone.</p> <p>15 And Paul, will you be starting things off?</p> <p>16 MR. MC NAUGHTON: I think. Well, I'm</p> <p>17 Junior here. John Barry from our team is going</p> <p>18 to start things off for us.</p> <p>19 CHAIRMAN CASHMAN: All right. Thanks.</p> <p>07:22PM 20 MR. BARRY: Good evening, Mr. Chairman.</p> <p>21 (Zoom audio interruption.) I'm going to</p> <p>22 introduce our team, the people who will be</p>	<p style="text-align: center;">8</p> <p>1 CHAIRMAN CASHMAN: Okay. Please</p> <p>2 proceed.</p> <p>3 MR. BARRY: Thank you. Just as a</p> <p>4 little bit of an introduction to us, McNaughton</p> <p>5 Development is a family-owned business. We are</p> <p>6 based in Burr Ridge. We have a 35-year track</p> <p>7 record specializing in land development and</p> <p>8 luxury single-family homes. We have found a</p> <p>9 niche in developing well-located infill</p> <p>07:24PM 10 properties, properties that are concept driven.</p> <p>11 Our developments and our</p> <p>12 architecture suit the needs of our target</p> <p>13 markets, which result in highly successful</p> <p>14 developments. The homes incorporate the latest</p> <p>15 trends in materials and harmonize with the</p> <p>16 existing community. The one main constant over</p> <p>17 the last 35 years is impeccable quality and</p> <p>18 customer service.</p> <p>19 Prior to really starting the</p> <p>07:24PM 20 presentation, I wanted to note our efforts over</p> <p>21 the last couple months to inform the residents</p> <p>22 of the Village of Hinsdale about this</p>
<p style="text-align: center;">7</p> <p>1 testifying tonight or even being just available</p> <p>2 for questions. Paul McNaughton, Jr., McNaughton</p> <p>3 Development; Kon Savoy, Savoy Consulting Groups;</p> <p>4 Dan Lobbes, the Conservation Foundation; Linda</p> <p>5 Feinstein, Compass; Lance Ramella with Housing</p> <p>6 Trends; Michael Laube with Laube Companies;</p> <p>7 Peter Reinhofer with V3; Ryan Wagner with V3;</p> <p>8 Jim Olguin with Buikema Law Group.</p> <p>9 CHAIRMAN CASHMAN: Thank you.</p> <p>07:23PM 10 MR. BARRY: And Chan, I was wondering</p> <p>11 if you can allow me to share the PowerPoint,</p> <p>12 share the screen share.</p> <p>13 MR. YU: Okay. Just give me one second</p> <p>14 here. Can you give it a shot?</p> <p>15 MR. BARRY: Looks like you got it. Can</p> <p>16 you see it?</p> <p>17 MR. MC NAUGHTON. Do you have it?</p> <p>18 CHAIRMAN CASHMAN: Can all the</p> <p>19 Commissioners see that?</p> <p>07:23PM 20 MS. FIASCONE: Yes.</p> <p>21 MR. JABLONSKI: Yes, I can.</p> <p>22 MS. FISHER: Yes, Fisher.</p>	<p style="text-align: center;">9</p> <p>1 development and give them the opportunity to</p> <p>2 become familiar with it. To assist in that as a</p> <p>3 formal public outreach, we have launched a</p> <p>4 website for the proposed development, which is</p> <p>5 the HeatherHighlandsofHinsdale.com. We drove</p> <p>6 quite a bit of traffic to this website over the</p> <p>7 last couple months through social media via</p> <p>8 Instagram, Facebook, LinkedIn, traditional print</p> <p>9 advertising, direct mailing, and targeted mail.</p> <p>07:25PM 10 At the same time we appreciate the circumstances</p> <p>11 that we all face right now in not being able to</p> <p>12 meet in public. And to help facilitate this</p> <p>13 process, what we would like to do is offer to</p> <p>14 host a community outreach meeting on Wednesday,</p> <p>15 September 16, between 5:00 and 8 p.m. at The</p> <p>16 Community House, which is located at 418 West</p> <p>17 8th Street in Hinsdale. We are forced with</p> <p>18 limited capacity so we post a reservation sheet</p> <p>19 on our website that you can find the tab at the</p> <p>07:26PM 20 top of the website, it's labeled question and</p> <p>21 answer. So any interested parties can go there</p> <p>22 and even starting tonight to click on that and</p>

<p style="text-align: center;">10</p> <p>1 reserve a time to attend the meeting.</p> <p>2 In the meantime, it's been our</p> <p>3 intention tonight to illustrate a clear vision</p> <p>4 and justification for this development. It's a</p> <p>5 vision that reflects the realities of the real</p> <p>6 estate market today. And to that point, tonight</p> <p>7 we will be concentrating on the concept of</p> <p>8 conservation design, the site plan that we've</p> <p>9 proposed, the appropriateness of the zoning</p> <p>07:26PM 10 proposal, and the housing product itself.</p> <p>11 Ultimately we are looking for the Plan</p> <p>12 Commission's positive recommendation for the</p> <p>13 approval of special use and the planned</p> <p>14 development with the modifications that were all</p> <p>15 submitted as part of our application.</p> <p>16 So with that, I would like to</p> <p>17 introduce Kon Savoy, who is our zoning</p> <p>18 consultant on this project to discuss the idea</p> <p>19 of conservation design.</p> <p>07:27PM 20 MR. SAVOY: Good evening, everyone.</p> <p>21 Hopefully you can all hear me all right. I</p> <p>22 appreciate the opportunity to be before you and</p>	<p style="text-align: center;">12</p> <p>1 that we see and believe that the beauty of the</p> <p>2 conservation design approach is that it seeks to</p> <p>3 create the synergy between the natural and built</p> <p>4 environment to offer a better way of living and</p> <p>5 developing the land. Conservation design in its</p> <p>6 application -- and again one of the reasons I</p> <p>7 really see this as a preferred way to develop</p> <p>8 property -- in fact, few communities, although</p> <p>9 at least one in our region has actually taken</p> <p>10 this to heart and actually requires conversation</p> <p>11 design as a part of all new development. The</p> <p>12 approach is you first consider the open space,</p> <p>13 the resources, the land, and then make the</p> <p>14 development fit around those conditions. So</p> <p>15 it's not viewing open space, as in many</p> <p>16 developments, many of which, hundreds of which I</p> <p>17 have reviewed over the years, open space is an</p> <p>18 afterthought with natural resources relegated to</p> <p>19 someone's rear yard, not accessible, often</p> <p>07:29PM 20 forgot about, not managed well. You may have</p> <p>21 some of these in your own community as well that</p> <p>22 you can point to.</p>
<p style="text-align: center;">11</p> <p>1 want to take a few minutes here. The first</p> <p>2 slide is just to give you a little bit of</p> <p>3 background of my credentials. Prior to starting</p> <p>4 the Savoy Consulting Group a few years ago, I</p> <p>5 have over 37 years of experience in public and</p> <p>6 private sector planning, most of that in the</p> <p>7 public sector. So I'm very familiar with the</p> <p>8 issues that you are dealing with, actually</p> <p>9 having sat as a municipal planner for several</p> <p>07:27PM 10 communities and actually continue to do so. So</p> <p>11 I'm assisting McNaughton Group involved in</p> <p>12 understanding and communicating what the idea of</p> <p>13 conservation design is and the goal that we are</p> <p>14 trying to achieve here and also to assist them</p> <p>15 in understanding through the zoning process.</p> <p>16 John, next. The first few slides I</p> <p>17 have are an introduction to conservation design.</p> <p>18 I just want to at this point review briefly with</p> <p>19 you some of the purposes and the benefits we</p> <p>20 believe that the conservation design approach</p> <p>21 that McNaughton Group is bringing together here</p> <p>22 with the proposal called Heather Highlands is</p>	<p style="text-align: center;">13</p> <p>1 So the beauty here is that the open</p> <p>2 space is valued as a community benefit and</p> <p>3 developed as such. But it's not just for the</p> <p>4 residents of the development. In this</p> <p>5 particular case, it's also to the benefit of the</p> <p>6 entire Hinsdale community. Conservation design,</p> <p>7 many who have spoken to this often refer to it</p> <p>8 as a golf course-type development, if you think</p> <p>9 about that in its very simplistic form, what you</p> <p>07:30PM 10 get in a golf course development is homes,</p> <p>11 generally clustered, smaller than typical in</p> <p>12 many instances, clustered or oriented around</p> <p>13 large open spaces. Right? And those homes sell</p> <p>14 for a premium because they are adjacent to this</p> <p>15 golf course. Well, many of you are probably</p> <p>16 well aware, at least I've heard the statistics,</p> <p>17 that few who actually live in these communities</p> <p>18 actually golf, it's really the benefit of the</p> <p>19 open space. Again, the difference here, it's</p> <p>07:30PM 20 not a golf course community. We are going to be</p> <p>21 turning over 20 acres to the community in open</p> <p>22 space, accessible open space, which is</p>

<p style="text-align: center;">14</p> <p>1 55 percent of the proposed development, that 2 would otherwise -- and more, in fact, more open 3 space than would otherwise be available if this 4 were a standard subdivision and the only thing 5 we were doing here is just preserving wetlands. 6 The next item we want to talk about 7 is with regard to the existing conditions. This 8 is simply a quick summary of what is the 9 existing status of the property today. The 10 point we wanted to make here is that much of 11 what has existed, much of it will remain, it 12 will be enhanced. The uses and the things that 13 are proximate to us that we are dealing very 14 sensibly with, the existing single-family 15 neighborhoods, we are cognizant of the fact that 16 we have burgeoning commercial development and 17 other uses of a nonresidential nature along 18 Ogden. Of course, we have the cemetery to the 19 north. So of course, we forgot to mention, of 20 course, we have the Salt Creek Club to the south 21 and east of this project. 22 John? So -- I think you skipped</p>	<p style="text-align: center;">16</p> <p>1 These are all geared toward the idea of creating 2 a sustained, truly sustainable community. I 3 mentioned already the emphasis given to the 4 natural resources inventory, something done 5 upfront. The effort to promote the 6 preservation, expansion of the open space by 7 clustering lots on smaller building sites than 8 would otherwise be typical. Promoting the 9 wildlife preservation. It's not just open 10 space, as many naturalists will advise you or if 11 you follow this at all, the open space 12 surrounding as the part of conservation design, 13 particularly those that are connected, and we 14 have this great opportunity along the tributary 15 to the Salt Creek to be part of an 16 interconnected system of open spaces, actually 17 enhances the preservation and opportunity for 18 wildlife and flora preservation. And of course, 19 the opportunity to, of course, create the 20 expansion of and connection to corridors for 21 trails, recreation, and, of course, in your case 22 it's very important about stormwater benefits.</p>
<p style="text-align: center;">15</p> <p>1 one there. Okay. The point of this is we want 2 to just highlight the fact of what conservation 3 design brings to the community. We believe that 4 this is a unique opportunity with the Naughton 5 Group to work with the Village cooperatively in 6 a planning endeavor to create active and passive 7 uses of 20 acres of open space. And the types 8 of principles and design guidelines that are 9 embedded into what we are going to be providing 10 the community are mentioned here on this slide. 11 I won't get in to all of them except for the 12 fact they are enumerated, as you see that are 13 not, obviously, existing conditions. Well, some 14 of which maybe are. The fishing with the little 15 boy, I have actually seen one gentleman out 16 there fishing on one day. But other things that 17 we hope to accomplish with the improvement of 18 the property in terms of community gardens, 19 playgrounds, passive and active recreation, 20 seating areas. 21 John, next slide. So the 22 principles of conservation design are important.</p>	<p style="text-align: center;">17</p> <p>1 John, next slide. The last thing I 2 want to mention as part of this introductory 3 piece is to talk about -- and we often forget 4 about what are the economic benefits of 5 conservation design. As I alluded to earlier, 6 not too dissimilar to what you would find in a 7 golf course development, comparable analysis of 8 home values compared to standard subdivisions -- 9 these are two research pieces that were cited by 10 an individual named by Randall Arts who is -- I 11 guess they call him almost the godfather of 12 conservation. A designer in the country, an 13 early promoter, designer, and developer of a lot 14 of conservation developments of various sizes 15 across the country and produced a number of 16 reports, guidebooks if you will. And these 17 studies were referenced, of course, two 18 different time points but basically both 19 expressing the same type of comments that I 20 mentioned earlier with regard to the value -- 21 not only to the home value but the value we 22 believe to the idea of a more healthy living</p>

<p style="text-align: center;">18</p> <p>1 lifestyle. All right, John.</p> <p>2 MR. BARRY: Thanks, Kon.</p> <p>3 Again, I just wanted to touch upon</p> <p>4 the site plan a little bit now. Generally</p> <p>5 speaking, the property that we are discussing</p> <p>6 tonight is between Adams and Madison. It's</p> <p>7 immediately south of the Bronswood and --</p> <p>8 cemeteries and north of the Salt Creek Club and</p> <p>9 the remaining portion of the IBLP property that</p> <p>07:36PM 10 runs along Ogden Avenue.</p> <p>11 What we are trying to accomplish</p> <p>12 here with Heather Highlands is a subtle</p> <p>13 lifestyle. The proposal is to construct 46</p> <p>14 single-family homes. This will be a unique</p> <p>15 experience for these people in a wide range of</p> <p>16 demographics. The proposal is to develop a</p> <p>17 community that's centered on a premiere</p> <p>18 location, luxury product, maintenance-free</p> <p>19 living and, as Kon had mentioned, a conservation</p> <p>07:36PM 20 design and open space amenities. Heather</p> <p>21 Highlands is a unique development from the</p> <p>22 standpoint of it will be maintenance free to its</p>	<p style="text-align: center;">20</p> <p>1 spacing that is not dissimilar and it's probably</p> <p>2 even greater than what you would find on your</p> <p>3 typical 50- to 60-foot wide lot in town. In</p> <p>4 fact, this development would be even less dense</p> <p>5 than you would find in a typical R-4 part of</p> <p>6 town, which dominates about 70 percent of the</p> <p>7 Village.</p> <p>8 Regarding the open space, our goal</p> <p>9 here is to provide an area here north of Ogden</p> <p>07:38PM 10 Avenue as a community amenity. This amenity</p> <p>11 would be accessible to both our future residents</p> <p>12 and the current residents north of Ogden and</p> <p>13 throughout the Village. Our vision is the site</p> <p>14 should be not overly programmed but should find</p> <p>15 a balance between passive uses and the elements</p> <p>16 that will preserve and enhance and protect</p> <p>17 natural habitat. So again, some of the things</p> <p>18 that Kon mentioned before, we envision extending</p> <p>19 and improving the pathway system that you find</p> <p>07:39PM 20 on the property already, maintaining the bridges</p> <p>21 that you find on the property, provide a</p> <p>22 connectivity from throughout the site from Adams</p>
<p style="text-align: center;">19</p> <p>1 residents. All the common area maintenance,</p> <p>2 landscaping, snow removal, maintenance of the</p> <p>3 common area elements will all be taken care of</p> <p>4 by the homeowners association. All the</p> <p>5 improvements in the subdivision will be built to</p> <p>6 Village specifications. However, they will be</p> <p>7 private. So the homeowners association will own</p> <p>8 those improvements and maintain those</p> <p>9 improvements at no cost to the Village. We are</p> <p>07:37PM 10 going to get into a point a little bit down the</p> <p>11 road here that the open space will be</p> <p>12 perpetually managed by a conservation group.</p> <p>13 The lots are clustered on the site, to Kon's</p> <p>14 point, regarding the conservation design. The</p> <p>15 homeowners will own the property that's strictly</p> <p>16 under their home and the remaining area will be</p> <p>17 common area, again to go along with the</p> <p>18 maintenance-free nature of the development. The</p> <p>19 typical building pads will be 40 by 60 feet deep</p> <p>07:38PM 20 and the minimum building separation that we are</p> <p>21 proposing is 15 feet with an average of 24 feet.</p> <p>22 So what you really get here is a</p>	<p style="text-align: center;">21</p> <p>1 to Madison. We envision scenic overlooks with</p> <p>2 benches and pergolas being incorporated into the</p> <p>3 design. There will be natural interpretive</p> <p>4 areas along the pathways, play areas, gardens,</p> <p>5 and ability to have fishing. We are also</p> <p>6 proposing a small parking area along Adams so</p> <p>7 people from outside the area can also use the</p> <p>8 space. But the area will be dominated by</p> <p>9 natural prairie, natural native shrubs and</p> <p>07:40PM 10 trees, to give the property more of a -- I guess</p> <p>11 maybe they call a mini arboretum feel.</p> <p>12 In addition to this open space that</p> <p>13 many we are talking about, we are committed</p> <p>14 extensive, mature new landscaping throughout the</p> <p>15 development along all of its perimeters, along</p> <p>16 Adams and Madison, Salt Creek Club, and some of</p> <p>17 the surrounding neighbors. All said, we are</p> <p>18 envisioning this investment in an open space,</p> <p>19 and buffer, it's going to exceed \$1.2 million.</p> <p>07:40PM 20 So the open space and the</p> <p>21 stewardship of that open space is very important</p> <p>22 to us. And to ensure that protection and that</p>

<p style="text-align: center;">22</p> <p>1 perpetual maintenance of the open space corridor 2 and the stormwater facilities along that 3 corridor we have committed to work with the 4 Conservation Foundation based out of Naperville. 5 This group has extensive experience in working 6 with private and public entities and the 7 preservation and perpetual maintenance of 8 environmentally accessible property. 9 As a developer, we have committed 10 to place the open space corridor in a 11 conservation easement for them. We would 12 establish a start-up fund and an easement 13 defense fund estimated at probably about \$75,000 14 to preserve this easement. Upon completion of 15 our improvements to the open space and with the 16 approval the applicable permitting agencies, the 17 Conservation Foundation stewardship of the 18 property will commence. Their mission would be 19 to maintain the naturalized features of this 20 open space in perpetuity, and that mission will 21 be funded by our initial setup fund and those of 22 our homeowners association.</p>	<p style="text-align: center;">24</p> <p>1 ways to develop that are respectful of the 2 environment and provide opportunities for people 3 to interact with nature near their home. It's 4 the whole idea behind or natural area assurance 5 program, which this development may be a part 6 of. We would wear two hats, as John said. One 7 is to ensure the permanent protection of the 8 natural and naturalized areas, and the other is 9 to act as the ecological manager of those areas. 10 We have done this successfully for 15 years now 11 in a growing number of locations, the most 12 recently completed one is in Naperville on a 13 former golf course. These arrangements result 14 in a number of benefits for the people who will 15 live there, for their neighbors, and for the 16 community in general. Public trails are always 17 number one on residents' lists of amenities that 18 they would like to see more of in their 19 communities. And for good reason, being in 20 natural areas is great for us physically, 21 emotionally, and even financially. Studies show 22 that passive recreation slows our hearts,</p>
<p style="text-align: center;">23</p> <p>1 So with that said, I guess what I 2 would like to have is have maybe Dan Lobbes, who 3 is with the Conservation Foundation, speak a bit 4 about his organization and some of their core 5 programs. 6 MR. LOBBES: Thank you, John. Good 7 evening, Mr. Chairman, and Hinsdale Plan 8 Commission members. My name is Dan Lobbes and 9 I'm the Director of Land Protection for the 10 Conservation Foundation. For those of you who 11 do not yet know us, the Conservation Foundation 12 is one of the oldest and largest land 13 conservation organizations in northeast 14 Illinois. We were established in 1972 by 15 business and civic leaders right here in DuPage 16 County. We are a private, nonprofit member- 17 supported organization and our mission involves 18 the preservation and restoration of natural 19 areas, improving rivers and streams, and 20 promoting stewardship of our environment. It's 21 important to note that we are not an 22 antidevelopment group. We believe there are</p>	<p style="text-align: center;">25</p> <p>1 reduces stress, lowers our blood pressure, and 2 releases feel-good hormones. It helps us 3 breathe, literally and figuratively, and helps 4 our mental and emotional well-being, not to 5 mention all of the benefits for our children 6 including helping them focus and reducing the 7 effects of attention deficit disorder. Plus, as 8 Kon said before, nationwide studies show that 9 living close to managed natural areas increases 10 the value of homes by 12 to 19 percent. So this 11 approach is good for maintaining and even 12 enhancing property values. 13 Now, nature doesn't have to be 14 somewhere out there, somewhere we have to drive 15 to. It's important to include the benefits of 16 nature in our daily lives and incorporating 17 these elements in new developments certainly 18 does that. The conversations we have been 19 having with the McNaughton folks and the plans 20 that we have seen so far are promising. We are 21 talking about low profile native flowers that 22 preserve sight lines, help the birds and</p>

<p style="text-align: center;">26</p> <p>1 butterflies, and are not the type of tall, messy</p> <p>2 prairie plants that we have all seen in other</p> <p>3 places. We hope to be a part of the success of</p> <p>4 this development and perhaps others in the</p> <p>5 Hinsdale area. Thank you very much. And I will</p> <p>6 be happy to answer any questions you have in</p> <p>7 this process moving forward. Thank you.</p> <p>8 CHAIRMAN CASHMAN: Thank you.</p> <p>9 MR. BARRY: Thanks, Dan. Kon, would</p> <p>07:46PM 10 you maybe want to continue with the zoning</p> <p>11 discussion a bit, please.</p> <p>12 MR. SAVOY: Sure. If you can skip to</p> <p>13 the next slide. Very good, thank you. Yes.</p> <p>14 This part of presentation turns back to it's</p> <p>15 more focused on zoning-related matters. First I</p> <p>16 want to start out by just underscoring what the</p> <p>17 application is. It's an application for special</p> <p>18 use as a planned unit development. We believe</p> <p>19 that this project as proposed conservation</p> <p>07:46PM 20 cluster design is well in keeping, as stated</p> <p>21 here on this slide, in keeping with the purposes</p> <p>22 of the planned development district or the</p>	<p style="text-align: center;">28</p> <p>1 modifications I'm not going to get into, but I</p> <p>2 think they are relatively modest given what we</p> <p>3 are trying to do here. They are also to</p> <p>4 underscore something that's important because as</p> <p>5 we think about the traditional lots and the</p> <p>6 setbacks and lot area and all that; what John</p> <p>7 said earlier on, I hope settles in people's</p> <p>8 minds with regard to what this product is -- and</p> <p>9 I don't know if Hinsdale has anything like it,</p> <p>07:48PM 10 and I have dealt with these types of products in</p> <p>11 a few other communities -- where you have a</p> <p>12 development that in the end does not have a</p> <p>13 traditional lot. It's not a traditional zoning</p> <p>14 lot in the way that we all understand it. So</p> <p>15 the key issues here relative to bulk size</p> <p>16 requirements, traditional lot size, are really</p> <p>17 not directly relevant to the type of program</p> <p>18 that's being provided. So the real key issue,</p> <p>19 the bottom line, is that this proposed density</p> <p>07:48PM 20 relative to its location, site environments, the</p> <p>21 adjacent land uses, and so forth, is this really</p> <p>22 is something that fits within the broader</p>
<p style="text-align: center;">27</p> <p>1 special use approach.</p> <p>2 Also of interest, I did some</p> <p>3 research on 10 neighboring communities to</p> <p>4 Hinsdale to determine and understand to what</p> <p>5 extent similar opportunities are given for this</p> <p>6 type of development and to what, if any,</p> <p>7 incentives are even provided in the case. Many</p> <p>8 communities, about half or so, do offer various</p> <p>9 types of incentive. But in all cases, all</p> <p>07:47PM 10 communities afford the opportunity for</p> <p>11 developers to consider density increases in</p> <p>12 return for the amenities and improvements. We</p> <p>13 all have been in this business long enough, and</p> <p>14 I'm sure many of you Plan Commissioners under</p> <p>15 this principle of the public benefit in return</p> <p>16 for the flexibility given to a developer for</p> <p>17 this type of project. Again, in which there</p> <p>18 underscores -- and this will be talked about</p> <p>19 more -- this is not just a developer seeking to</p> <p>07:47PM 20 do something creative, it's really, in effect, a</p> <p>21 response to market conditions as well. On this</p> <p>22 page, you also will find the zoning</p>	<p style="text-align: center;">29</p> <p>1 context of the community and would have minimal,</p> <p>2 if any, significant impact.</p> <p>3 Below it on this slide is the chart</p> <p>4 that does a quick density or bulk comparison,</p> <p>5 floor-area cover ratio comparison. The</p> <p>6 information provided, I can get into all the</p> <p>7 details, you have it back to us and it's been</p> <p>8 provided to staff previously. You will see in</p> <p>9 almost every instance, except one where it talks</p> <p>07:49PM 10 about, it indicates what the next -- Well, this</p> <p>11 says it here. The density is on this chart is</p> <p>12 that all of the standards well comply with or,</p> <p>13 in fact, are under what would otherwise be</p> <p>14 requirements for R-2, R-2 zoning. What is, it</p> <p>15 looks like it's cut off here, that's why I was</p> <p>16 confused a minute, I didn't catch this earlier</p> <p>17 somehow -- where it talks about net density,</p> <p>18 what you don't see is gross density, which would</p> <p>19 be the next column to the right. And at a gross</p> <p>07:50PM 20 density, R-2 typical subdivisions come out to</p> <p>21 about 2.18 units per acre. The gross density on</p> <p>22 this project is 1.24. I can provide that</p>

<p style="text-align: center;">30</p> <p>1 updated table to you later but I believe staff 2 has that.</p> <p>3 Next slide, John. We quickly want 4 to make a note as well, just for some context 5 here, just to understand the location of this 6 particular site in the broader context of the 7 community, the development of Ogden Avenue, and 8 the development of this area over time. We went 9 back and were able to collect some aerial photos 10 that tracked the 50- to 60-year history of 11 development in this area. I think you can 12 quickly get a quick picture that a lot of 13 neighborhood actually developed subsequent to 14 the more intensive development of Ogden Avenue. 15 And we have been making internally having 16 discussions about -- although it's not part of 17 this proposal -- that it seems reasonable that 18 there is a good case to be made that the R-2 19 zoning for this property really isn't the most 20 appropriate given its location to other 21 intervening factors. 22 John, next slide. Also, as we look</p>	<p style="text-align: center;">32</p> <p>1 the density allowed in the R-4 and if you agree 2 or disagree about the idea that there should be 3 some transition, here is what's interesting is 4 that when you apply the R-4 density to the 5 buildable acres, just the buildable 16.2 acres 6 on the McNaughton piece, on the Highlands piece, 7 you get equivalent to what would be allowed in 8 64 units. Of course, McNaughton's proposal is 9 far less than that. On this slide, we are also 10 just looking at the conditions of the adjustment 11 neighborhood. This gives you just some 12 information on what the relative densities are 13 of the various neighborhoods. 14 John, next slide. Then we went a 15 step further and then we looked at what would be 16 comparable developments, not just in Hinsdale 17 but comparable developments of other projects, 18 some of which McNaughton has been involved with. 19 And you get quick sense that our project is not 20 significantly different with regard to overall 21 density. I will say that the Hinsdale Highlands 22 project is actually a lower density with</p>
<p style="text-align: center;">31</p> <p>1 at the general zoning pattern of the community, 2 you raise this issue is not only maybe R-2 may 3 be not appropriate but is this really a site you 4 should be thinking about it as more of a 5 transition use. Typically general planning, and 6 again general planning, not in every use. Of 7 course, you can see in your own zoning map this 8 doesn't hold true. You have more intensive uses 9 particularly along corridors like Ogden and then 10 you have a less-intense use and then a less- 11 intense use beyond that, so you have this kind 12 of tier effect. It's typical approaches to 13 zoning. In some of the cases you can see that 14 in many instances even in Hinsdale you have much 15 more dense, if you will, zoning districts 16 proximate to not only R-2 but also Ogden and 17 then you have other examples where you have 18 commercial uses transitioning to residential. 19 The other thing I want to mention 20 with regard to this particular slide -- And I 21 think it's maybe on the next slide, too. John, 22 maybe you can pull that up. When you look at</p>	<p style="text-align: center;">33</p> <p>1 comparable projects with much -- the projects, 2 the comparable projects actually have much less 3 open space as part a part of them. These 4 proposed densities on this slide, the comparable 5 projects, are gross acreage, as I already told 6 you what the gross acreage for Heather Highlands 7 is. And, of course, we want to underscore the 8 fact that overall we're doing it's an ecological 9 base I think there will be significant 10 stormwater and landscaping departmental 11 benefits. 12 And another item that I think is 13 worth noting as you consider this project, in 14 the context of the larger community, not just 15 the immediate neighborhood but also the larger 16 community, and the questions come up does this 17 really change the character of my community. 18 And we did a quick density calculation mix of 19 the various zoning, residential zoning districts 20 and distribution; and you can see that almost 21 70 percent of Hinsdale is developed under the 22 R-4 standard. As I mentioned before, if this</p>

<p style="text-align: center;">34</p> <p>1 site were developed that way, you would actually 2 produce much more units than the McNaughton 3 Group is proposing. 4 So with this, I think the last 5 thing I want to offer the Plan Commission as a 6 thought is that, you know, the request for more 7 units that are allowed in the R-2 is we believe 8 it not only will have a limited or insignificant 9 impact on the neighborhood and Village but also 10 allows us to offer the Village a unique and 11 special opportunity to create one of the most 12 attractive and arguably desirable open spaces 13 and recreational areas in the Village while 14 providing much needed park for residents north 15 of Ogden. In a couple of the earlier slides, 16 you may have noticed, in addition to mentioning, 17 on two separate occasions I saw people enjoying 18 the open space on my visits, one fishing; and 19 the later one was a mother with her children 20 just taking advantage of a stroll and taking her 21 kids through the open space and enjoying it. 22 That's really what we want to see more of, and I</p>	<p style="text-align: center;">36</p> <p>1 town, on, again, 50-, 60-foot lots with the 2 exception of our products here would all have 3 attached garages. 4 The second product line that we are 5 looking to offer would be more of an 6 age-targeted product. These would be ranches 7 and then 2-story homes with the master bedroom 8 on the 1st floor. You would have 2 to 3 9 bedrooms and typically 2.5 baths. These homes 10 would be about 2400 square foot for a ranch and 11 3200 square foot for the 2 story. These homes 12 are geared to residents of Hinsdale and maybe 13 nonresidents of Hinsdale that have grown 14 families and they are looking to downsize but 15 they want to keep a connection to the 16 neighborhood. These are the families that have 17 had the big house. They don't need the big 18 house anymore. They don't want the 19 responsibility that comes along with that big 20 house or the big lot. They are looking to 21 simplify their lives, but they still want a 22 high-quality home so that's our goal in</p>
<p style="text-align: center;">35</p> <p>1 think that's really what the opportunity as many 2 of you know. On the day I did see that 3 fisherman, he was kicked off the site by the 4 manager of the property. And this is a site, 5 although open, is not really welcoming to 6 residents. So with that, John, I will turn it 7 back to you. 8 MR. BARRY: Thanks, Kon. I guess I'd 9 like to take this opportunity to talk a little 10 bit about the product now. We plan on offering 11 two product lines. The first would be what I 12 would refer to as traditional single-family 13 home. These would typically be 4-bedroom homes, 14 3.5 baths. They would be approximately 3200 to 15 3800 square feet. And this product would be 16 geared to the young professional family. Some 17 of these families have roots in Hinsdale and 18 others are from other areas, come in looking for 19 a quality place to live. They are typical very 20 busy families and very professional families. 21 The homes that they are looking to construct are 22 similar to the product you might see throughout</p>	<p style="text-align: center;">37</p> <p>1 providing them here in this locations. They 2 want they also want the freedom to be away from 3 the property for extended periods of time, and 4 they know that the exterior of the home will be 5 maintained during their absence. 6 We have had a get deal of success 7 and experience with this type of product line 8 over the last number of years. Our latest 9 development, Lakeside Pointe in Burr Ridge, 10 44 lots there. We are down to 9 lots after just 11 2 years so we have been very happy with that 12 product line. The common element, though, for 13 both product lines is our architecture, its 14 uniqueness in design and how we tailor to the 15 site and to the life-style of the buyer in the 16 community. We are known for giving special 17 attention to all architectural details such as 18 roof lines, gables, window trims, window grills, 19 everything that you would want as far as the 20 character and quality of the home and this 21 product will maintain the character of the 22 community as a whole. We also feel that we are</p>

<p style="text-align: center;">38</p> <p>1 going to be providing ample space between the 2 units to give a greater feel of openness in the 3 community and help with the overall engineering. 4 So with that said on the product, I guess what I 5 would like to do is ask Linda Feinstein with 6 Compass to ask her experience over the years and 7 of late in the Hinsdale market if Linda is 8 there.</p> <p>9 MS. FEINSTEIN: I would like to thank 10 the Chairman and the Plan Commission for the 11 opportunity to speak tonight. I just want to 12 say -- and I know that there are a lot of strong 13 opinions about this -- but Hinsdale is sorely 14 lacking in smaller, nice, new construction 15 homes. And we are sorely lacking for the buyers 16 who are making an exodus from the city, who are 17 professional couples. And we are sorely lacking 18 for people who are retirement age, who really 19 don't want to leave Hinsdale but do leave 20 Hinsdale for Burr Ridge or Oak Brook or other 21 areas because Hinsdale doesn't have suitable 22 housing for them.</p>	<p style="text-align: center;">40</p> <p>1 jams. I think with the preservation with the 2 way the grounds look and the area that will be 3 open for the public to explore and enjoy, it's a 4 win-win. Does anyone have any questions for me? 5 No? John?</p> <p>6 MR. BARRY: Maybe we will take 7 questions. We will take questions at the end, 8 Mr. Chairman.</p> <p>9 CHAIRMAN CASHMAN: Yes.</p> <p>10 MR. BARRY: Thanks, Linda.</p> <p>11 MS. FEINSTEIN: Well, thank you for the 12 opportunity.</p> <p>13 MR. BARRY: Yes. Just as a follow up 14 to Linda's comments, I would like then to have 15 Lance Ramella with Housing Trends to discuss a 16 little bit more in detail our product's pricing 17 and our absorption expectations.</p> <p>18 MR. RAMELLA: Good evening, everyone. 19 I hope you can hear me. My name is a Lance 20 Ramella. I run a company called Housing Trends, 21 LLC. We are a market-feasibility specialist 22 based in the suburbs. We work with home</p>
<p style="text-align: center;">39</p> <p>1 I think that McNaughtons have gone 2 to great pains to preserve the conservation and 3 the natural amenities of the area. I think that 4 Salt Creek nearby for recreation is a win-win 5 for everyone. And I just hope that the planning 6 commission will consider this. I think it will 7 help your tax base, your revenue flow, and I 8 think it will bring more people into our 9 wonderful community that we all love. It's just 10 we are lacking in product and we are losing 11 people, and it would be nice to have people stay 12 in the community.</p> <p>13 I know that people are worried 14 about high traffic. But my sense is the traffic 15 flow won't change that much because a lot of the 16 people are adults, and there will be some young 17 families that will be taking the children back 18 and forth to school; but there are houses now 19 there where there are younger families that go 20 back and forth. I mean they are vacant now but 21 there were younger families there, and I really 22 don't think there is going to be massive traffic</p>	<p style="text-align: center;">41</p> <p>1 builders and developers across the country and 2 we are based in St. Charles. In order to assess 3 the appropriate base prices for this community, 4 we look at several factors. We look at economic 5 and demographic data. We look at the local 6 environment, which includes proximity to 7 employment, shopping, services, transportation, 8 quality of schools, etcetera. We looked at new 9 construction comps and then we looked at local 10 resale comps. And based on all these factors, 11 we determined that the appropriate product type 12 was the age-targeted product, which are ranch 13 and main floor master units primarily, and 14 traditional single-family homes. The 15 recommended base prices that we came up for 16 these product types are \$950,000 starting price 17 for the age-targeted product and approximately 18 1.1 million for the traditional single-family 19 product. Now, keep in mind that these prices 20 will increase as the units get larger and the 21 purchasers add options and upgrades. So we 22 estimate that the average price for the</p>

<p style="text-align: center;">42</p> <p>1 age-targeted will be about 1.1 million and the 2 average sales price for the traditional homes 3 will be about 1.3 million. We believe that 4 these prices and product types fit into the 5 surrounding neighborhoods well, and they add 6 value to the neighborhoods. They are quality 7 homes, prices commensurate to what's selling 8 around them. Based on these prices and quality 9 of the units and the reputation of the builder, 08:05PM 10 we think that each product type will sell 11 approximately 1 unit per month. So combined, 12 two units per month for product type, which 13 equates to about a sell-out period of 24 months 14 or 2 years. 15 Next slide, John. These charts 16 might tell you a little bit about what Linda was 17 talking about. We did a radius search within 18 7.5 miles of the property, which includes a lot 19 of -- all of Hinsdale and Oak Brook and all the 08:05PM 20 way down to Burr Ridge and up to Elmhurst and 21 the surrounding area, and what the top graph 22 shows us is that the age category between 45 and</p>	<p style="text-align: center;">44</p> <p>1 at household growth along with propensity to 2 buy, propensity to buy new, income. So these 3 are for the incomes above 200,000 household 4 income. And you can see the demand again is 5 strong in the 35- to 44-year-old and then the 6 empty nesters. So, again, these are the reasons 7 we focused on those two product types, and we 8 think it's the right fit for the neighborhood. 9 John, back to you. 10 MR. BARRY: Okay. Thanks, Lance. 11 As part of our submittal of 12 documents, we also prepared a fiscal impact 13 study that's been shared with both the Village 14 and the local school districts; and that fiscal 15 impact study was prepared by Michael Lobbes. He 16 is here tonight also to summarize those positive 17 findings. Mike? 18 MR. LAUBE: Good. Thank you. Good 19 evening, Mr. Chairman, Members of the Committee. 08:08PM 20 We did a fiscal impact study that looked at the 21 cost and benefits of this project. We looked at 22 it from the standpoint of what would the number</p>
<p style="text-align: center;">43</p> <p>1 64 years old were actually going to lose 2 households in the next 5 years. So those are 3 your buyers that would purchase a 4,000-plus 4 square feet home on a large lot. The category, 5 the 35- to 44-year-old buyer, those are the 6 buyers, they have been moving out of the city, 7 have a condo, sold it, want to get out of the 8 city. That's growing at a considerable rate 9 over the next 5 years, as are what we would call 08:06PM 10 the empty nesters, the 65- to 74-year-old 11 buyers. That's the largest cohort on this 12 chart. And therefore, there is going to be 13 strong growth in that category as well. So 14 strong growth on the below 45s and the above 65s 15 and negative growth in the 45- to 64-year-olds, 16 and that's why we hear about the luxury market 17 struggling in the Chicago area. This is why, we 18 are seeing a dip in that, in that segment. It's 19 not that they don't want to afford those homes, 08:06PM 20 there is just not a lot of them. And the chart 21 on the bottom is the results of our demand 22 analysis that we do. This demand analysis looks</p>	<p style="text-align: center;">45</p> <p>1 of school children be for districts 86 and 181 2 based upon the ISPS statistics and then adjusted 3 those for the ranch-style homes, which is the 4 market for the empty nesters or the near-nesters 5 for this. We adjusted that accordingly but we 6 are still conservative. What we found with 7 using those statistics you get about 21 students 8 in K through 8 and you get about 9 students in 9 high school from this development. When you 08:09PM 10 multiply that out by the various costs that the 11 school district publishes, which is about 18,000 12 for 181 and 21,000, a little under, for 13 District 86, it comes up with a total cost. We 14 then looked at the property taxes of this and, 15 you know, those range from about 16,000 on the 16 low end to about 19,500 on the high end given 17 assessments, current assessments, current rates, 18 etcetera. What we found in there is that the 19 property tax revenues for District 181 and 86 08:09PM 20 would exceed the cost of the students using 21 those statistics by the amount that you see 22 here. We can get into what those gross and net</p>

<p style="text-align: center;">46</p> <p>1 amounts are should you like. But what you have 2 for 181 and 86 is about a million or a million 3 one and about a million two in net benefit over 4 a 20-year period. We also looked at the Village 5 here, and recognizing this is an infill site, 6 the property taxes generated or the net benefit 7 to the Village would be about 1.1 or between 1.1 8 and 1.2 million over a 20-year period. That 9 does, those numbers do not include the impact 10 payments that John has on the screen here. 11 Those are just the difference between the 12 property taxes and the anticipated cost to the 13 schools and the anticipated cost to the Village. 14 So you really have a positive 15 impact all the way around due to the 46 units, 16 due to the fact that you have a ranch-style home 17 marketed to the empty-nester to the near-nester 18 that doesn't have any kids or substantially no 19 kids, and you have an infill development here. 20 So we see the correlation between property 21 taxes, the density, and the cost being favorable 22 to all three districts here.</p>	<p style="text-align: center;">48</p> <p>1 residential parcels. It will have access to 2 both Adams Street and Madison Street. Both of 3 these streets are typical neighborhood roadways, 4 neighborhood-collector roadways that connect 5 local streets, local residential streets, to 6 higher-volume roadways like Ogden Avenue. 7 Typically roads like this can accommodate 8 anywhere from about 5 to about 8,000 vehicles 9 per day. The west parcel is located on the east 10 side of Adams Street and consists of 11 20 single-family homes and will be accessed by 12 one full access driveway on Adams Street that 13 will be aligned with Birchwood Road. The east 14 parcel is located west of Madison Street and 15 consists of 26 single-family homes that will be 16 accessed by two full access driveways on Madison 17 Street, both of which will be aligned with 18 Birchwood Road and Glendale Avenue. Cross 19 access is not provided between these two 20 parcels. 21 So as part of the traffic study, we 22 looked at how many trips each of the</p>
<p style="text-align: center;">47</p> <p>1 MR. BARRY: Okay. Thanks, Mike. I 2 would like to point out one more thing about a 3 couple of those numbers on the screen regarding 4 the committed impact fees. The Village of 5 Hinsdale does not have an impact fee ordinance. 6 We have taken it upon ourselves to go to both 7 Districts 181 and 86 and offer those dollar 8 amounts up to them. So again, like Mike said, 9 those numbers are over and above the net benefit 10 numbers you see above; but they are also 11 something that's not required under current 12 ordinance. Thanks, Mike. 13 MR. LAUBE: You're welcome. 14 MR. BARRY: Our final consultant 15 tonight is going to be Peter Reinhofer with V3 16 to discuss the findings of our traffic analysis. 17 MR. REINHOFFER: Good evening. This is 18 Peter Reinhofer with V3 Companies, and we 19 conducted the traffic impact study for this 20 proposed residential development. Just to kind 21 of do a quick summary from a traffic and access 22 perspective, the site includes two separate</p>	<p style="text-align: center;">49</p> <p>1 single-family homes will generate. So we 2 estimate that the west parcel in the 20 3 single-family homes will generate 237 daily 4 trips with 19 traveling during the typical 5 morning peak hour and 22 during the typical 6 evening peak hour. The east parcel with the 26 7 single-family homes will generate, it's 8 estimated will generate 301 daily trips, 23 of 9 which are during the morning peak hour and 28 10 during the evening peak hour. The traffic study 11 we looked at the daily traffic volumes along 12 Madison Street and Adams Street. Currently 13 Adams Street has a daily traffic volume of 14 approximately 1,100 vehicles per day just north 15 of the intersection at Ogden. And Madison 16 Street has a daily volume of 2,200 vehicles per 17 day. Just for a comparison, Madison Street 18 south of Ogden Avenue has an estimated daily 19 value of 5,100 vehicles per day. 20 So our traffic analysis looked at a 21 future scenario, which we estimated to be about 22 2028, which is about 5 years after this proposed</p>

<p style="text-align: center;">50</p> <p>1 Heather Highlands development would be fully 2 built out in 2023. The analysis looked at 3 traffic with and without this proposed 4 development. So for our future analysis, we did 5 include the trips generated by the proposed 6 senior living development that's currently 7 proposed on the west side of Adams Street. And 8 then we also included the potential traffic 9 generated by the parcel that is located at the 10 northeast corner of Ogden Avenue and Adams 11 Street. We estimated probably on the high side 12 that that parcel probably could be developed by 13 about 22 single-family homes. Again, that might 14 be on the high side, but it's better to be a 15 little more conservative. Additionally, we also 16 worked with The Chicago Metropolitan Agency for 17 Planning, which is CMAP, which is the 18 metropolitan planning organization of the 19 Chicagoland area, to obtain growth rates along 20 Ogden Avenue to account for background growth in 21 the area in addition to the adjacent IBLP 22 redevelopments. So a capacity analysis that we</p>	<p style="text-align: center;">52</p> <p>1 2,800 vehicles per day. Both these roadways are 2 projected to operate well below the typical 3 capacity for neighborhood collector roadways, 4 which has a capacity of about, again, 5 to 8,000 5 vehicles per day. So that's kind of a quick 6 summary of our traffic impact study. 7 MR. BARRY: Thanks, Peter. Just to 8 kind of wrap things up right now, I guess I just 9 wanted to stress our feeling that the need for 10 this type of development is there and it's 11 occurring in communities in the Chicagoland area 12 and other affluent communities across the 13 country. The open space preservation has 14 resulted in home buyers, developers, and 15 community officials abandoning the traditional 16 development patterns, thus providing a quality 17 of life that I think more and more homeowners 18 desire now. In this case with the open space, 19 we see a positive opportunity to collaborate 20 with the Village on this open space in addition 21 to collaborate with Ryan Companies on this open 22 space also.</p>
<p style="text-align: center;">51</p> <p>1 looked at for the peak hours at the unsignalized 2 intersection of Ogden Avenue and Adams Street 3 will result in eastbound left turns on Ogden 4 operating at levels of service A and B during 5 the morning and evening peak hours respectively; 6 so very little delay for anybody that wants to 7 travel eastbound and northbound. We also looked 8 the southbound approach, which is projected to 9 operate at level of C during the morning peak 10 hour and level service D during the evening peak 11 hour, both of which are acceptable levels of 12 service based on IDOT criteria. Ogden Avenue is 13 an IDOT roadway. IDOT owns and maintains Ogden 14 Avenue. Madison and Adams are both local 15 streets. 16 We also looked at the daily traffic 17 volumes on Adams Street and Madison Street. 18 With this proposed development as well as the 19 other IBLP redevelopments, it's estimated that 20 Adams Street will have a daily traffic volume of 21 2,900 per day. And similarly, we project the 22 daily volumes on Madison Street to be about</p>	<p style="text-align: center;">53</p> <p>1 We believe with your positive 2 recommendation and approval to the Village Board 3 Heather Highlands will be an asset to the 4 Village of Hinsdale. The property will be 5 developed in an orderly fashion and will 6 maintain Hinsdale as one of the finest 7 residential suburbs by providing and enhancing 8 its historic character as a community comprised 9 principally of well-maintained single-family 10 homes. 11 So, again, thank you for everybody 12 who participated tonight as witnesses. I 13 appreciate all the Plan Commissioners and 14 Chairman taking the time to hear the case. 15 You've got some questions, we are all here 16 tonight to answer those for you. Thank you. 17 CHAIRMAN CASHMAN: Commissioners, 18 questions for the applicant? 19 MS. FIASCONE: I have a question on the 20 drainage and flooding issues that have occurred 21 over in that area. Obviously, that's a concern 22 of a lot of the residents over there. And I</p>

<p style="text-align: center;">54</p> <p>1 don't think that was addressed tonight. Is 2 there any further discussion or response to 3 that? 4 MR. BARRY: Yes. Obviously, we are at 5 the conceptual stage right now with engineering. 6 We are quite confident that we have set aside 7 the proper area to take care of that. We 8 believe that this development, along with any 9 development, that you are going to see new 10 development will help stormwater. We are going 11 to be providing detention where detention does 12 not exist. So ultimately, we feel the 13 development will be a positive to the 14 neighborhood and help in those matters. 15 MR. LOBBES: This is Dan Lobbes from 16 the Conservation Foundation. I alluded to or 17 mentioned Naperville development that we worked 18 on that used to be a golf course. The golf 19 course frequently flooded and neighboring 20 streets and neighborhood basements also flooded 21 before the development went in. But working 22 with the county and the Conservation Foundation,</p>	<p style="text-align: center;">56</p> <p>1 when you are asking us to do something of a 2 binding nature? Thank you. 3 MR. BARRY: It's our understanding per 4 the Village ordinance that this is our first 5 step is the Plan Commission for this type of 6 planned development. 7 CHAIRMAN CASHMAN: For our concept 8 plan, then we want the final plan and -- (Zoom 9 audio interruption.) 10 Other questions, Jerry? 11 MR. JABLONSKI: I have got so many 12 questions, but I'm really concerned about the 13 fact that we are asking to be voting on lots 14 that are so far out of compliance with R-2 and 15 R-4. And also, the one slide, frankly, that 16 mentions zoning used the word not relevant 17 twice. I think that's our most relevant issue 18 here. 19 CHAIRMAN CASHMAN: Let's see, Julie? 20 MS. CRNOVICH: Yes. 21 CHAIRMAN CASHMAN: Just so formatwise, 22 I want while we have this fresh presentation, we</p>
<p style="text-align: center;">55</p> <p>1 the developer overbuilt some of the stormwater 2 facilities; and we got calls from neighbors 3 afterwards saying that the rains come and our 4 streets are clear and our basements don't flood. 5 So it can work if we all work together. 6 MS. FIASCONE: Thank you. 7 MR. JABLONSKI: Hi, it's Jerry 8 Jablonski. I have a question about your thought 9 process and presenting to us first. Reading 10 from the notes I got here today -- I will turn 11 my video back on -- you are coming to us with a 12 planned development concept application to 13 provide us with an opportunity to show the basic 14 scope of your project. However, the next 15 sentence goes on to read, Approval of a concept 16 plan binds both the applicant and the Village 17 with respect to various basic elements of the 18 development such as categories of use permitted, 19 general occasion uses, density, architectural 20 style, etcetera. You are asking to build 46 21 homes on 40 foot by 70 foot lots. Why aren't 22 you in front of the Zoning Plan Commission first</p>	<p style="text-align: center;">57</p> <p>1 are updating for the Commissioners, asking 2 questions; and then we will open up for public 3 comment so we can hear from people that have 4 registered to call. And then we can review, 5 discuss the written comments you have had. So I 6 will have time also later, the Commissioners can 7 ask additional questions. 8 MR. OLGUIN: Chairman, this is Jim 9 Olguin. I just wanted to answer 10 Commissioner Jablonski's question regarding his 11 comment. 12 CHAIRMAN CASHMAN: Who are you, Jim? 13 MR. OLGUIN: I'm the attorney for 14 McNaughton Development. 15 CHAIRMAN CASHMAN: Thank you. Sorry. 16 MR. OLGUIN: Sure. And also Hinsdale 17 resident. Our offices are located in Hinsdale 18 as well so we would welcome this development 19 here or at least I would on both capacities. 20 In answer to your question, because 21 this is a PUD, that is why some of the overall 22 bulk standards wouldn't necessarily be relevant</p>

<p style="text-align: center;">58</p> <p>1 and I think that's why it was noted in the 2 presentation as such. The PUD is intended to 3 provide a little bit more flexibility when there 4 are amenities being provided such as being done 5 in this case. 6 MS. CRNOVICH: This is Julie Crnovich. 7 I would like to follow up on what Jerry just 8 said. Was this application referred to us by 9 the Board of Trustees? I don't recall seeing it 10 on any trustee agendas. 11 MR. BARRY: The application was not 12 referred by the Board of Trustees. We did start 13 along that process last fall when we had 14 received some informal feedback at that time 15 that caused us to alter our proposal. We 16 brought back this scaled-back proposal in the 17 spring. We had requested some of those informal 18 meetings again. The message that we received 19 was that there was no reason to meet based on 20 that. And then upon our review of the Code, and 21 I think staff would confirm, there was no 22 requirement for this proposal to get a referral</p>	<p style="text-align: center;">60</p> <p>1 level they don't formulate a formal staff 2 report. We are simply making this presentation 3 at this level. 4 CHAIRMAN CASHMAN: That's intentional 5 to allow a concept plan to be reviewed before 6 you spend an enormous amount of money developing 7 a plan. 8 Julie, any other questions? 9 MS. CRNOVICH: I'm glad you are having 10 a community meeting, but I feel that that should 11 have happened before tonight's presentation. 12 MR. BARRY: We did consider doing that 13 before the presentation. However, we felt that 14 it was important to get the story out, not only 15 on our social media and our website; but this is 16 the true, the true test of the case is in front 17 of the Plan Commission and wanted that first 18 message to get out in this forum with the follow 19 up with the community. 20 MS. CRNOVICH: Thank you. 21 MR. MC NAUGHTON: McNaughton, Junior. 22 Can I step in for a second here?</p>
<p style="text-align: center;">59</p> <p>1 from the Village Board so that's what brought us 2 directly to the Plan Commission. 3 MS. CRNOVICH: Thank you. Have you 4 been actively working with the Village on this 5 plan? My concern, we've had, what, 142 letters 6 I believe in opposition? And I have not seen 7 one letter in favor of your plan. Also, back to 8 the waivers and variances you are requesting, 9 it's a lot. 10 CHAIRMAN CASHMAN: We kind of 11 summarized that, jump ahead a little bit. We 12 had 142 pages, 141 pages of emails, most of them 13 single page, some that ran over. Out of that 14 group, there was one with supporting and the 15 rest were opposed as you can tell. 16 MR. BARRY: We understand that and we 17 have reviewed those letters. We have had a 18 number of discussions. We have been involved 19 with this project for well over a year and a 20 half. We have had a number of conversations 21 with staff, and we formulated these plans over 22 the time. It's our understanding that at this</p>	<p style="text-align: center;">61</p> <p>1 MR. BARRY: Sure, Paul. 2 MR. MC NAUGHTON: Yes. I know that 3 there are a lot of letters and negativity for 4 this project. And in response to why we didn't 5 have the community outreach meeting beforehand, 6 I think there was some past iterations of this 7 project that had leaked out there that are 8 really not the subject of this presentation 9 tonight. So we really wanted to get the true 10 nature of this proposal, 46 lots, the 11 conservation design. All single family, no 12 multifamily, no condos, nothing like that. I 13 think if you review some of those letters, some 14 of the people that have written in probably 15 don't know exactly what this proposal is because 16 of the misinformation that was out there before. 17 So that's why we wanted to put our case before 18 the Plan Commission tonight so that the record 19 is clear as to what exactly we are proposing, so 20 that people can formulate late questions based 21 on this presentation and not based on hearsay 22 and maybe some previous plans that had floated</p>

<p style="text-align: center;">62</p> <p>1 around.</p> <p>2 CHAIRMAN CASHMAN: It seems like I do</p> <p>3 know in the past, and this is before you were</p> <p>4 even on the agenda, we were getting letters when</p> <p>5 Ryan was on the agenda. It was related to that,</p> <p>6 whatever that drawing was that was circulated</p> <p>7 around that showed more than this 46-unit</p> <p>8 development. The ones that we have currently,</p> <p>9 which are basically from late August or early</p> <p>08:29PM 10 September, do seem to be reflective of what you</p> <p>11 are proposing.</p> <p>12 MR. MC NAUGHTON: Okay. I think just</p> <p>13 to speak to that, too. I mean I think there is</p> <p>14 a lot of concerns there that are typical general</p> <p>15 kind of subdivision concerns. And you all have</p> <p>16 been doing this long enough, you know that</p> <p>17 issues of stormwater and traffic and density,</p> <p>18 they are kind of blanket concerns that apply to</p> <p>08:30PM 19 any development that ever was presented to a</p> <p>20 commission or a board. So we would hope that,</p> <p>21 you know, the Commissioners and the public will</p> <p>22 have an open mind based on what we have</p>	<p style="text-align: center;">64</p> <p>1 population be? I'm getting mixed messages here</p> <p>2 because on one level you are saying that these</p> <p>3 are going to be single-family homes for families</p> <p>4 with kids that are going to be feeding into</p> <p>5 school districts, particularly Monroe, and then</p> <p>6 into D86 for high school. Then I'm hearing this</p> <p>7 is for empty nesters. So on your best estimate</p> <p>8 on your best day, what are you looking at for</p> <p>9 full capacity, question one, that is; and then I</p> <p>08:32PM 10 would like to break that down. You gave us a</p> <p>11 number that you thought 21 kids would be going</p> <p>12 into K through 8 and 9 would be going into D86.</p> <p>13 I'm trying to back into that and figure out</p> <p>14 where you are getting this information and</p> <p>15 making these numbers.</p> <p>16 MR. BARRY: Our estimate was that half</p> <p>17 of the product would be empty nester and half</p> <p>18 would be the traditional single family. So you</p> <p>19 are talking about probably at buildout of</p> <p>08:32PM 20 approximately 140 people.</p> <p>21 MS. FISHER: Out of 140 -- I'm just</p> <p>22 trying to figure out your math. How do you get</p>
<p style="text-align: center;">63</p> <p>1 submitted and presented here tonight, that this</p> <p>2 is a good project for the Village,</p> <p>3 notwithstanding some of the kind of blanket</p> <p>4 negative statements that accompany a lot of</p> <p>5 different developments.</p> <p>6 CHAIRMAN CASHMAN: Michelle?</p> <p>7 MS. FISHER: Hi. I want to just try to</p> <p>8 figure out what some of the numbers are with</p> <p>9 respect to what these cluster lots of housing,</p> <p>08:30PM 10 which that what it looks like to me, like these</p> <p>11 are cluster lots, when you are full capacity</p> <p>12 when all these potentially are sold, what do you</p> <p>13 think the population of that area will be?</p> <p>14 MR. BARRY: Well, I can tell you that</p> <p>15 our product now, the age-targeted product, is</p> <p>16 what exactly you would think it would be, it's</p> <p>17 two people that are empty nesters. So I'm very</p> <p>18 confident that that product will be two people.</p> <p>19 The traditional single-family, it would be more</p> <p>08:31PM 20 of what you think as a traditional single</p> <p>21 family, four or five residents per home.</p> <p>22 MS. FISHER: So what would your</p>	<p style="text-align: center;">65</p> <p>1 21 kids going into K through 8 and 9 going into</p> <p>2 D86?</p> <p>3 MR. BARRY: Those numbers are based on</p> <p>4 a density calculation. Mike, could you</p> <p>5 mention -- You mentioned how you come about</p> <p>6 those numbers.</p> <p>7 MR. LAUBE: Yes. Thanks for the</p> <p>8 question, Commissioner Fisher. Mike Laube here</p> <p>9 again. We came up with the number of the</p> <p>08:33PM 10 students by using the ISCS standard ratios for</p> <p>11 the units. So for the 23 market rate nonempty</p> <p>12 nester units, in other words, the master bedroom</p> <p>13 is on the 2nd floor, they have the full</p> <p>14 complement of students coming from those ratios.</p> <p>15 On the empty-nester product, we estimated those</p> <p>16 are -- First of all, those are lesser bedrooms</p> <p>17 so it's geared towards the empty-nesters. The</p> <p>18 lesser bedrooms also have a lesser ratio of</p> <p>19 students. We also adjusted those students down</p> <p>08:33PM 20 by a factor of 75 percent. And that's</p> <p>21 conservative, conservative meaning high, because</p> <p>22 we estimated in here and we wanted to see where</p>

<p style="text-align: center;">66</p> <p>1 that went is that some students would come out 2 of those master down product. In reality, maybe 3 you get one or maybe you get two out of those 4 and that's really about it. So our estimate of 5 21 students at the K through 8 level and 9 6 students at high school level we feel is pretty 7 conservative, meaning high. We have not 8 estimated the total population of this. The 9 scope of our work was just limited to the 10 student population.</p> <p>08:34PM 11 MR. OLGUIN: Mike, this is Jim Olguin 12 again. Could you kind of explain, I think it 13 might be helpful, where those ratios come from 14 and how those are developed and are kind of used 15 across the state by various communities and 16 school districts?</p> <p>17 MR. LAUBE: Yes. The acronym of ISCS 18 escapes me. I can look that up right now. But 19 it's a standard ratio that we have been using 20 since the mid 1990s, late 1990s, that have been 21 developed to say based upon certain product 22 types, apartments, single-family detached,</p>	<p style="text-align: center;">68</p> <p>1 kids in the lesser units, the ranch-style home. 2 MS. FISHER: I mean I appreciate your 3 ratios but what you are marketing to us right 4 now are kids fishing in the ponds, families 5 fishing in the ponds, you having a playground. 6 All of that attracts young families with 7 children. That doesn't attract elderly people 8 or a retirement community for which you speak 9 of. So I'm just concerned about the marketing 10 message being a little off here. Are you going 11 to market these for families with kids who are 12 going to populate this area, or are you going to 13 market it with seniors? I just don't see 14 grandma and grandpa or my grandma and grandpa 15 moving to an area like that, especially when we 16 have other areas in town that already try to 17 address that need. So I'm very confused about 18 what you are actually marketing in that aspect 19 of having families versus having a retirement 20 community.</p> <p>08:36PM 21 MR. BARRY: We are marketing both but 22 it's not a retirement community either. And I</p>
<p style="text-align: center;">67</p> <p>1 single-family attached, what are the number of 2 students that would be generated by those types 3 of units and then broken down by number of 4 bedrooms. So by way of example, a studio 5 apartment produces no kids. A 4-four bedroom 6 home, 4-bedroom, single-family detached home, 7 produces the most kids. We have 23 of those 8 here. We have used the highest ratio of the 9 standard ratios that are used across the board, 10 and those ratios were developed for really the 11 land cash donations and the impact fee donations 12 that have a rational basis, so that you can say 13 this is going to produce 9 high school students 14 times the impact fee rate and that's the payment 15 that's going to go the high school. The same 16 thing for the grade schools. We used a 17 consistent methodology here to say what are 18 those ratios by product type, and this is 19 single-family detached, and by the number of 20 bedrooms, and then the adjustment for the empty 21 nesters. So we have a full complement of kids 22 in 23 of the units and a lesser complement of</p>	<p style="text-align: center;">69</p> <p>1 guess I might disagree a bit. I think there are 2 plenty of people, that move-down buyer, the more 3 mature buyer, that will appreciate the 4 accessibility of the walking and the amenities 5 of the site. And I think as a population, we 6 are much more active than maybe grandma and 7 grandpa were a couple generations ago. So I 8 think this product will fit with both buyers. 9 CHAIRMAN CASHMAN: Questions, Michelle?</p> <p>08:35PM 10 MS. FISHER: I'm sorry if I missed the 11 date. When is the community meeting or the 12 outreach meeting that they all intend to have 13 scheduled for?</p> <p>14 MR. BARRY: 16th, yes. September 16. 15 MS. FISHER: Thank you. 16 CHAIRMAN CASHMAN: Jim?</p> <p>17 MR. KRILLENBERGER: I generally like 18 the idea about open space development, and my 19 fellow Commissioners have very wise observations 20 as always. I do agree that we do need some 21 smaller lots. As a reminder, the development at 22 55th and County Line went from this Commission</p>

<p style="text-align: center;">70</p> <p>1 to the trustees. I think the trustees actually 2 took our recommendation and increased the 3 density. So the plans are looking like they are 4 going in a good direction from my perspective. 5 I am very interested in what 6 feedback you get from the community at the 7 meeting at The Community House and, hopefully, 8 we will be able to take that into consideration 9 before we vote. 08:39PM 10 CHAIRMAN CASHMAN: And then we have a 11 few -- Basically what I'd like to, we have a 12 few and I would like to take a quick break and 13 then come back to public comment. My first has 14 to do with there is a comparison chart, let me 15 say. 16 MR. KRILLENBERGER: Steve, while you're 17 formulating your question. Some of the 18 questions mention that this is going to be a 19 gated community. I didn't see that in the 08:39PM 20 presentation. That's not true, right? 21 CHAIRMAN CASHMAN: No. It is shown on 22 the drawings.</p>	<p style="text-align: center;">72</p> <p>1 appreciate you describe the layout of what it 2 would be if it was a compliant R-2 development, 3 which indicated 21 properties, compliant 4 properties, at 20,000 square feet minimum, 5 setbacks, all that. If you are comparing 21 to 6 46, I just don't see how this chart makes any 7 sense. 8 MR. SAVOY: This is Kon Savoy. I'd be 9 happy to respond to that. This chart that we 08:41PM 10 provided was not a comparison of the yield plan 11 that you were provided recently. There is a 12 comparison of what would otherwise be a typical 13 subdivision in an R-2 district with -- A 14 straight subdivision, 100 developable land 15 compared to what is 16 -- does it say -- 16.2 16 acres of developable land, right, that's the 17 total buildable acreage. And we compared -- for 18 Heather Highlands, right, of the 37; and we 19 compared that to what would happen if you had 08:42PM 20 the same equivalent land and applied it to the 21 R-2 zoning district. And so that's what this 22 table does is compares -- We're trying to</p>
<p style="text-align: center;">71</p> <p>1 MR. KRILLENBERGER: Okay. Is that a 2 necessary component of this? 3 MR. BARRY: It is not. It was part of 4 the initial plan but our -- As we get more into 5 the concept of the shared common space, the 6 gates don't quite fit that feel or that look. 7 So though they were an initial portion of the 8 development, they will not be part of the final 9 portion of the development. 08:40PM 10 MR. KRILLENBERGER: Okay. I'm glad to 11 hear that; and I'm very intrigued by the 12 accessibility of the rest of Hinsdale, the rest 13 of the community, people, to the open spaces 14 that you are developing. So, sorry, Steve, 15 didn't mean to interrupt. 16 CHAIRMAN CASHMAN: Any time. What I 17 was looking at was proposed density/building/lot 18 coverage, population, pricing. And it shows in 19 an R-2 subdivision plan versus what you are 08:40PM 20 proposing in Heather Highlands. I just cannot 21 figure out how you come up with those numbers 22 where an R-2 subdivision and based on -- and I</p>	<p style="text-align: center;">73</p> <p>1 compare apples to apples. Buildable area for 2 Heather Highlands compared to buildable area in 3 an R-2 typical subdivision. And that's in the 4 explanation below in the footnotes provide the 5 assumptions we used in coming up with the 6 various numbers. 7 CHAIRMAN CASHMAN: And so does this 8 include -- So this is basic just the buildable 9 area, it's not anything within the floodplain? 08:42PM 10 MR. SAVOY: That's correct. 16.2 is 11 exclusive of the floodplain. 12 CHAIRMAN CASHMAN: How can your density 13 per acre be 1.24 when you are talking about 46 14 units and then on 21 on the same property, the 15 same -- 16 MR. SAVOY: Right. So the net density 17 and gross density are different -- using 18 different numbers on those two illustrations. 19 The net density applies, the 16 -- I'm sorry -- 08:43PM 20 the 46 units against the net buildable area. 21 The gross density applies it to the entire 22 37 acre, and that's why you get a much lower</p>

<p style="text-align: center;">74</p> <p>1 number.</p> <p>2 CHAIRMAN CASHMAN: Does the total</p> <p>3 buildable area include that what you show on the</p> <p>4 site plan as a future development to the north,</p> <p>5 which is in Oak Brook?</p> <p>6 MR. SAVOY: It does not.</p> <p>7 CHAIRMAN CASHMAN: It does not. What</p> <p>8 does future development mean? What are the</p> <p>9 plans for that property?</p> <p>08:44PM 10 MR. BARRY: The plans for the Oak Brook</p> <p>11 property?</p> <p>12 CHAIRMAN CASHMAN: Yes.</p> <p>13 MR. BARRY: As of now, there are no</p> <p>14 plans. Since the majority of the property is in</p> <p>15 Hinsdale, our concentration has been on the</p> <p>16 Hinsdale zoning case. Other than having</p> <p>17 informal meeting with the Oak Brook planning</p> <p>18 department last year just to notify them of the</p> <p>19 development proposal, we haven't engaged in any</p> <p>08:44PM 20 detailed discussions with them.</p> <p>21 CHAIRMAN CASHMAN: Okay. I mean I</p> <p>22 still see, I cannot make sense out of your</p>	<p style="text-align: center;">76</p> <p>1 just a code compliant R-2 development, not a</p> <p>2 PUD, is it correct that this would be 21 homes,</p> <p>3 properties, not -- What would be the numbers?</p> <p>4 21, correct?</p> <p>5 MR. BARRY: There was a very</p> <p>6 preliminary concept plan that we did prepare</p> <p>7 with 21, yes.</p> <p>8 CHAIRMAN CASHMAN: And isn't it</p> <p>9 correct, I mean you talk about open space. But</p> <p>08:46PM 10 this floodplain area, regardless of who would</p> <p>11 buy this property and who would develop it, it's</p> <p>12 always going to be open space because of the</p> <p>13 fact that it's floodplain. It's not like, I</p> <p>14 mean this development, this conservation</p> <p>15 concept, if you were talking about more of a</p> <p>16 green field site, were actually pushing dirt</p> <p>17 around and creating special use ponds and</p> <p>18 created in a way like green space, water</p> <p>19 features, paths and everything. This is</p> <p>08:47PM 20 something that exists already, and I just don't</p> <p>21 understand how it's giving us anything. It's</p> <p>22 here today. It's always going to have to be</p>
<p style="text-align: center;">75</p> <p>1 calculations on that chart when I looked at it.</p> <p>2 Give me a second. I was off -- Instead of the,</p> <p>3 like on your main site plan. You have the site</p> <p>4 plan data on the top right. This is below you</p> <p>5 chose the gated private entrance, you indicate</p> <p>6 13.4 acres. I scaled it and I come up with like</p> <p>7 11.57. And I know and that's listed as total</p> <p>8 buildable or future development land. That's</p> <p>9 why I questioned if you are actually including</p> <p>08:45PM 10 the Oak Brook land in these calculations.</p> <p>11 MR. BARRY: The 16.2 acres is a</p> <p>12 combination of the 13.4 developable land plus</p> <p>13 the detention facilities of 2.8 acres.</p> <p>14 CHAIRMAN CASHMAN: Okay. The detention</p> <p>15 area, and this is kind of difficult to tell, the</p> <p>16 extent. I looked at a floodplain map and tried</p> <p>17 to determine. But basically a detention area,</p> <p>18 is that within the floodplain?</p> <p>19 MR. BARRY: There is portions of it</p> <p>08:45PM 20 that will be, but the majority of it is outside</p> <p>21 the floodplain.</p> <p>22 CHAIRMAN CASHMAN: So if you were to do</p>	<p style="text-align: center;">77</p> <p>1 here because it's in a floodplain. So it's just</p> <p>2 in existence. It's an existing condition that's</p> <p>3 always going to be there regardless of how this</p> <p>4 is developed. Would that be correct?</p> <p>5 MR BARRY: Well, I think maybe the key</p> <p>6 to that, though, is existing condition. And our</p> <p>7 vision is not to keep it in its existing</p> <p>8 condition. I think going back to the some of</p> <p>9 the items that Dan mentioned as far as the</p> <p>08:47PM 10 improvements with the property with the prairie</p> <p>11 grasses and then the amenities that we want to</p> <p>12 add as far as the native trees and bushes and</p> <p>13 pathway systems and the other aspects of that.</p> <p>14 It's not going to look like it is in its</p> <p>15 existing condition. And it will be, again,</p> <p>16 accessible to the public where it is not now.</p> <p>17 It is private property. And Kon mentioned</p> <p>18 before, too, the property custodian chasing</p> <p>19 people off the property. So, yes, it is</p> <p>08:48PM 20 floodplain, it won't be built on; but there can</p> <p>21 be a lot more done with that property.</p> <p>22 CHAIRMAN CASHMAN: That is a newer</p>

<p style="text-align: center;">78</p> <p>1 function, the 1970s when that place opened 2 through the '80s, '90s. And my children fished 3 there, students or whatever from Basic Life 4 Principles would come over and talk to them but 5 they would never ask them to leave. In a way, I 6 think they were spreading the message, that they 7 were okay with that; but it wasn't like it was 8 fenced. It wasn't like they were asked to 9 leave. You know, and I do agree, it's in fairly 08:48PM 10 rough shape right now. There is a lot of trees 11 that need to be pulled out of there. Certainly 12 could be improved and needs to be improved. But 13 the general footprint would always kind be the 14 same regardless this. 15 MR. MC NAUGHTON: Just to add on to 16 what John was saying, we have done a preliminary 17 budget of the proposed improvements that we as 18 the developer would include for the open space. 19 It's over \$1.2 million. I think that this is 08:49PM 20 where we can really have a full community kind 21 of effort to identify amenities that they would 22 like to see within this open space area. And we</p>	<p style="text-align: center;">80</p> <p>1 MR. BARRY: That's correct. 2 MR. MC NAUGHTON: I guess, I don't want 3 to be overly technical, but it is a planned 4 development so they are not technically 5 variances because you have to look at what we 6 are proposing. We are not proposing a 7 traditional lot. But that's hypertechnical, I 8 understand what you are saying. 9 CHAIRMAN CASHMAN: Just thinking just 08:50PM 10 on general terms. I agree, that's where PUDs 11 have always been a cooperative approach because 12 it could be something makes sense to provide a 13 variance because of the benefit that outweighs 14 that. 15 MS. CRNOVICH: Excuse me, Steve. I 16 think I counted 10 variances waivers. 17 CHAIRMAN CASHMAN: Okay. Well, the 18 other ones -- 19 MS. CRNOVICH: Because there were some 08:51PM 20 things that were not on their certificate of 21 zoning compliance or added later. 22 CHAIRMAN CASHMAN: I don't know if that</p>
<p style="text-align: center;">79</p> <p>1 as the developer have our own ideas, of course; 2 but this is part of the process that we engage 3 the Commissioners and the board members and the 4 public to get their opinions as well because we 5 are happy to listen and to implement ideas that 6 we might not have even thought about yet. 7 CHAIRMAN CASHMAN: That is really a 8 part of the whole community process is to listen 9 to a proposal, understand if it has merit, if 08:49PM 10 there are things that need to be adjusted. I 11 don't think there has ever been a special PUD 12 that hasn't had adjustments going through the 13 Village of Hinsdale. 14 Just one final thing, and then I'd 15 like to take a little break and allow the 16 public, they have been very patient. Just 17 following up on this was Jerry's comment or 18 question, I mean looking back at the slides, my 19 calculation is in this PUD there are basically 08:50PM 20 6 major variances that are requested, lot sizes, 21 lot width, lot depth, front yard, rear yard, and 22 side yard. Would that be correct?</p>	<p style="text-align: center;">81</p> <p>1 would be a variance or a Village issues, 2 construction hours. I think that was in there. 3 MS. CRNOVICH: Well, they have things, 4 too, like they don't want to do the perimeter 5 around the development, the perimeter lot line. 6 I counted 10, which is a lot. 7 MR. MC NAUGHTON: Again, we are still 8 kind of in concept here. So we are kind of just 9 presenting the broad strokes of the proposal 08:51PM 10 obviously. And for process reasons, we are 11 going to list as many modifications as we can so 12 that we don't have to go back and add them 13 later. So I think that there is some of that 14 there, where some of those buffer requirements, 15 for example, we may not comply with some of them 16 but we may comply with most of them. We may 17 know more as we get, hopefully, further along 18 with the process. 19 CHAIRMAN CASHMAN: So what I would like 08:52PM 20 to do, it's 8:49. If we could just take a two- 21 or three-minute break. I will let everyone 22 involved go to the bathroom, get something to</p>

<div>82</div> <div>1 drink, and continue.</div> <div>2 Michael, do we need a motion for</div> <div>3 this, to talk a pause?</div> <div>4 MR. MARRS: Yes. Why don't we have a</div> <div>5 motion to recess for five minutes.</div> <div>6 CHAIRMAN CASHMAN: Can I hear a motion</div> <div>7 to recess for 5 minutes.</div> <div>8 MR. KRILLENBERGER: So moved.</div> <div>9 CHAIRMAN CASHMAN: Jim.</div> <div>08:52PM 10 Second?</div> <div>11 MR. JABLONSKI: Second by Jablonski.</div> <div>12 CHAIRMAN CASHMAN: Roll call, please,</div> <div>13 Chan.</div> <div>14 MR. YU: Sure. Commissioner</div> <div>15 Krillenberger?</div> <div>16 MR. KRILLENBERGER: Aye.</div> <div>17 MR. YU: Commissioner Fisher?</div> <div>18 MS. FISHER: Aye.</div> <div>19 MR. YU: Commissioner Jablonski?</div> <div>08:53PM 20 MR. JABLONSKI: Aye.</div> <div>21 MR. YU: Chairman Cashman?</div> <div>22 CHAIRMAN CASHMAN: Aye.</div>	<div>84</div> <div>1 MR. YU: Commissioner Fisher?</div> <div>2 MS. FISHER: Aye.</div> <div>3 MR. YU: Commissioner Jablonski?</div> <div>4 MR. JABLONSKI: Aye.</div> <div>5 MR. YU: Chairman Cashman?</div> <div>6 CHAIRMAN CASHMAN: Aye.</div> <div>7 MR. YU: Commissioner Crnovich?</div> <div>8 MS. CRNOVICH: Aye.</div> <div>9 MR. YU: And Commissioner Fiascone?</div> <div>10 MS. FIASCONE: Aye.</div> <div>11 MR. YU: Thank you.</div> <div>12 CHAIRMAN CASHMAN: Thank you, everyone.</div> <div>13 Okay. So I really apologize, I'm sure I'm going</div> <div>14 to slaughter some names here. I'm going to go</div> <div>15 in order received. First is Marlene and Pierre</div> <div>16 Abi-Mansour.</div> <div>17 MR. ABI-MANSOUR: This is Pierre.</div> <div>18 Marlene is out so I give my turn to whoever is</div> <div>19 next. We'll commence later because she had to</div> <div>09:01PM 20 leave the table right now.</div> <div>21 CHAIRMAN CASHMAN: Okay. I will come</div> <div>22 back to you. The next would be Dan Hemmer, I</div>
<div>83</div> <div>1 MR. YU: Commissioner Crnovich?</div> <div>2 MS. CRNOVICH: Aye.</div> <div>3 MR. YU: Commissioner Fiascone?</div> <div>4 MS. FIASCONE: Aye.</div> <div>5 CHAIRMAN CASHMAN: So thank you,</div> <div>6 everyone. It's 8:50. And then we will come</div> <div>7 back and we will start with -- I have a list of</div> <div>8 I believe 10 people that would like to speak to</div> <div>9 this matter. We will call them and listen to</div> <div>08:53PM 10 their comments. So see you in 5 minutes.</div> <div>11 (Short recess.)</div> <div>12 CHAIRMAN CASHMAN: So get all the</div> <div>13 Commissioners back. I would like a motion to</div> <div>14 reconvene. Do I have a motion to reconvene?</div> <div>15 MR. JABLONSKI: Jablonski, motion to</div> <div>16 reconvene.</div> <div>17 CHAIRMAN CASHMAN: Second?</div> <div>18 MS. FIASCONE: Second.</div> <div>19 CHAIRMAN CASHMAN: Anna, second. Roll</div> <div>09:00PM 20 call vote, please, Chan.</div> <div>21 MR. YU: Commissioner Krillenberger?</div> <div>22 MR. KRILLENBERGER: Aye.</div>	<div>85</div> <div>1 see you, Dan. Welcome.</div> <div>2 MR. HEMMER: Thank you. Thanks for</div> <div>3 hearing from the public. My name is Dan Hemmer.</div> <div>4 (Mr. Hemmer sworn.)</div> <div>5 MR. HEMMER: My wife Amy and I have</div> <div>6 lived in Hinsdale. We lived near the downtown</div> <div>7 near the Village center for 15 years and then</div> <div>8 moved up into Fullersburg a year ago. I guess</div> <div>9 I'm not just speaking on my behalf but on behalf</div> <div>09:02PM 10 of the greater Fullersburg neighborhood and</div> <div>11 folks south of Ogden as well who have joined our</div> <div>12 group. There is a 501(c)(4) organization</div> <div>13 created in response to McNaughton. Hundreds of</div> <div>14 folks are on our Facebook page or in our email</div> <div>15 list as interested parties. So if you see green</div> <div>16 signs around town, that is our organization. So</div> <div>17 rather than all of us speak just a couple of</div> <div>18 people from our organization signed up but,</div> <div>19 obviously, there are many people who are</div> <div>09:02PM 20 interested in this. So I would point you to our</div> <div>21 Facebook page or our website for sort of our</div> <div>22 stance on the project generally. I'm not going</div>

<p style="text-align: center;">86</p> <p>1 to repeat a lot of the things you have seen in 2 the letters I hope. 3 One thing, I just have a few things 4 I guess I would like to say on behalf of the 5 group. One, there are a lot of comments both 6 respect to the Ryan project and this project 7 that the residents are confused about the 8 projects. And while there may be individual 9 points of confusion, in general the residents 10 are very highly attuned to what's going on and 11 looking at the things that are filed with the 12 Village in the packets and reading the minutes 13 of the Plan Commission meetings. So I don't 14 think there really is very much confusion in 15 general, even if some people make one or two -- 16 confuse one or two small things that are 17 presented. And frankly, I find it offensive to 18 find developers say we are confused about what 19 we are doing when I find the materials they are 20 presenting to be misleading and cooked in many 21 ways. 22 We disagree with almost everything</p>	<p style="text-align: center;">88</p> <p>1 million dollars each, unless they are counting 2 the profits that they are taking as their 3 investment. 4 We disagree that R-2 is an 5 undesirable zoning classification. I'm 6 relatively young compared to the Village of 7 Fullersburg. This is the oldest section of 8 Hinsdale. So this predates, Fullersburg 9 predates Hinsdale. We have people who have 10 lived here all their lives in this neighborhood, 11 and they are in our organization. My 12 understanding of the history of the neighborhood 13 is that it joined Hinsdale, it was 14 unincorporated Du Page County, and joined 15 Hinsdale exclusively to stop the densification 16 of the area and to avail itself of the Hinsdale 17 Zoning Code. So all these folks voted to join 18 Hinsdale to annex because this site was planned 19 for a giant conference center many, many, years 20 ago. So then that came back around again in the 21 '70s and the neighborhood had to reorganize and 22 hire lawyers and consultants to stop it from</p>
<p style="text-align: center;">87</p> <p>1 that the McNaughton folks say about their 2 project. We disagree with the school impact. 3 We disagree with the traffic impacts. The roads 4 that, the road numbers they are saying are for a 5 5,000 a day cars or for streets that are 6 maintained and built to be a little bit 7 different type of road than Madison and Glendale 8 and Adams are. These are streets without 9 sidewalks, without curbs, without sewer in a lot 10 of cases without streetlights. This is a rural 11 area as much as that can be rural this close to 12 Chicago, which is why a lot of people moved 13 here. 14 We disagree with the amount of 15 investment that they claim to be putting in. As 16 the chairman already mentioned, it's misleading 17 to try to get credit for a bunch of open space 18 that's already open space in order to mask, 19 densify, the remaining space on the site. They 20 claim numerous places to be investing 21 \$15 million in the community, which doesn't make 22 any sense if they are selling 46 houses more a</p>	<p style="text-align: center;">89</p> <p>1 dense building that was proposed at that time as 2 well. So this is an ongoing zoning-creep effort 3 by the owners of this property to monetize the 4 land that they have acquired for their 5 organization. It's a constant battle by our 6 neighborhood to try to keep it in fitting with 7 the neighborhood. 8 Let's see, I'm going to see if 9 there anything else I missed. The nature of our 10 community is not tract housing and that doesn't 11 just go for the Fullersburg neighborhood but all 12 of Hinsdale. The reason people like Hinsdale is 13 the eclectic nature of the architecture, the 14 variety of homes in size and scale. It creates 15 a charm in Hinsdale that is universally 16 recognized and why we all moved here. And so 17 massively densely packed houses -- There is 18 nothing on Google Earth that looks like this 19 except houses like in Phoenix or Naperville. 20 This is not a Hinsdale-type housing development. 21 My setback, I live right across the street from 22 the entrance, the proposed entrance, on</p>

<p style="text-align: center;">90</p> <p>1 Glendale. My setback at its narrowest point is 2 45 feet so the Village parkway is 45 feet. So 3 it's bigger, my setback is bigger than the width 4 of these lots. I could fit four or five of them 5 across the front of my yard. It's a 6 ridiculously dense plan that just doesn't fit 7 with our community. So those are sort of the 8 highlights.</p> <p>9 I want to say one last thing, which 09:07PM 10 is if any of you do not ever get up to Salt 11 Creek or this community ever, drive up here and 12 drive around the neighborhood. There are 13 hundreds of signs in this neighborhood. 14 Obviously, there are signs down closer to the 15 Village center as well. And our organization 16 would be happy to meet with you and have a beer 17 at Salt Creek or walk the property with you and 18 explain our problems with it more fully. That's 19 all I have got to say. Thank you for having us.</p> <p>09:08PM 20 CHAIRMAN CASHMAN: Thank you very much. 21 Our next speaker is Armando 22 Travelli. Armando? You are muted right now.</p>	<p style="text-align: center;">92</p> <p>1 McNaughton was reserving for the enjoyment of 2 the residents; but it isn't. It is 942 North 3 Madison and it is a house that used to be owned 4 by an old friend of ours, Trudi Temple. And 5 Trudi became famous for the beauty of her garden 6 and she died recently, and her land is not part 7 of the McNaughton ownership. It is owned by 8 someone whose name is McLean (phonetic) I 9 discovered recently. They purchased that land, 09:10PM 10 that house, and they refurbished it. If you go 11 to the area, you still see the workmen working 12 on it. And north of it and south of it, there 13 are two lots that seem to be perfect for similar 14 homes that will be equivalent to the old Trudi 15 Temple house and to other houses that are on 16 Madison Street north of there. Those are the 17 lands, part of the land, that McNaughton plans 18 not to be four or five houses that would be 19 consistent with the present zoning and with the 09:11PM 20 way the older Trudi Temple house was built, but 21 they plan to build 24 houses. 24 instead of 4 22 or 5, that's the ratio of which the new</p>
<p style="text-align: center;">91</p> <p>1 MR. TRAVELLI: I am unmuted now I 2 think.</p> <p>3 CHAIRMAN CASHMAN: Welcome. 4 (Mr. Travelli sworn.)</p> <p>5 MR. TRAVELLI: I missed part of what my 6 friend just mentioned to me, to us. But in 7 general, I have read all the papers, all the 8 letters, that were sent in to the Village of 9 Hinsdale by the other members of our group. I 09:09PM 10 agree with just about everything that they wrote 11 in there. I would just try to address for you 12 what I think our the most important points that 13 have been addressed so far.</p> <p>14 If you look at the site review of 15 the slides that were presented by McNaughton, 16 you missed one point because just north of the 17 Salt Creek Club it looks like the whole part 18 between Salt Creek Club and the Bronswood 19 Cemetery is owned by McNaughton. There is one 09:09PM 20 little chunk that is missing from it. The first 21 time I saw the map showing that chunk, I thought 22 it was something like an oasis, a garden that</p>	<p style="text-align: center;">93</p> <p>1 buildings will be in comparison to the buildings 2 that will be compatible with the rest of the 3 houses around there.</p> <p>4 The other point that has not been 5 addressed yet is about the traffic. We saw the 6 estimates about how much of the traffic on the 7 roads will be increased, and I don't have a 8 clear way of debating those numbers. But I do 9 debate the effect of that traffic on the 09:11PM 10 intersections with Ogden because, if you drive 11 on Adams going southbound and you intersect 12 Ogden and you try to turn left, you have an 13 enormous amount of traffic to overcome before 14 your left turn is allowed. They quote about 3 15 to 4,000 cars per hour coming from on that 16 street on Ogden, and it's almost impossible 17 right now for the few cars that are there to 18 face that intersection and to make a left turn 19 going east on Ogden to make a turn. If you try, 09:12PM 20 you have to wait at least 5 minutes and you take 21 your life in your hands because you have to make 22 sure that not only you don't intersect with the</p>

<p style="text-align: right;">94</p> <p>1 cars that are going west but also the cars that 2 are going east on Ogden making it -- because 3 there is to fifth lane on which you could rest 4 on Ogden. There are only four lanes available 5 and both of them are all, all the four of them, 6 both the ones going east and the ones going 7 west, are fully occupied. In other parts of 8 Ogden, either east or west of that intersection, 9 there is a middle lane where cars that manages 10 to go through the first two lanes can rest 11 waiting for a spot to open so that they can 12 change and merge with the traffic, but there is 13 no place there. So someone who wants to make a 14 left turn has to wait until all four lanes are 15 clear of traffic before they make a turn. And 16 yet, I see that the study says that there is no 17 need for a change, there is absolutely no need 18 for a fifth lane, no need for something that 19 will prohibit left turners from going around. 20 This is just I think the intersection with Adams 21 and Ogden. I talked so far only about the cars 22 that are coming from Adams. But also the cars</p>	<p style="text-align: right;">96</p> <p>1 the new development the traffic will become 2 worse so the traffic. So the traffic will not 3 be the same and we need some change that the 4 traffic study right now is not needed, either on 5 restricting the signage or adding extra lanes to 6 Ogden. I think that I have exhausted my extra 7 points. I could talk for a long time, but I 8 should leave some room for the other speakers to 9 go. 10 CHAIRMAN CASHMAN: Thank you very much, 11 appreciate it. 12 Next speaker is Fred Current. Fred 13 Current? 14 MR. CURRENT: Yes. I'm here. Thank 15 you for taking my call. 16 (Mr. Fred Current sworn.) 17 MR. CURRENT: I just want to comment, I 18 agree totally with what Bill Hemmer -- Dan 19 Hemmer said. We are long-term residents of 20 Fullersburg. We love this community. We moved 21 here and bought in 1979, and the nature of the 22 community would be seriously affected with the</p>
<p style="text-align: right;">95</p> <p>1 from Ogden that want to make a north turn while 2 they are driving west -- pardon me -- they are 3 going east, they would have to face a similar 4 problem. So you will have one of the two lanes 5 on Ogden that are going east to be stopped until 6 the car can make a safe left turn and that means 7 that all the cars going west on Ogden would then 8 be compressed on a single lane at that point 9 that would be a terrible problem because you 10 will have -- Well, you can imagine what would 11 happen. Cars will be stopping on a single lane 12 that will be totally blocked and moving to the 13 northbound, to the north side of the road so 14 that they can continue, that will be an enormous 15 problem. And also the intersection of Madison 16 with Ogden will be terribly strained. It is now 17 strained because of the frequency. You will 18 find a long line of cars waiting to make either 19 left turns or right turns or going straight. 20 And right now there is already a problem if you 21 add the impact of I think 24 homes that would 22 have an exit additional on Madison coming from</p>	<p style="text-align: right;">97</p> <p>1 traffic changes and just the residential nature 2 of the way we live. We don't have sidewalks; 3 it's more rural, like Dan said. We are very 4 opposed to cluster-type housing and heavier 5 concentration of traffic and all the congestion 6 that that would bring. We see nothing positive 7 that could come from this. Basically it would 8 destroy our feeling towards the Fullersburg 9 community, which we feel is very, very special. 10 People come from all over the country to see it. 11 So we are very much opposed to even this 12 discussion. 13 Also, why was parcel one not 14 discussed? I was new to the conversation 15 tonight. You discussed single-family homes but 16 not parcel one. Can somebody, please, tell me 17 why parcel one wasn't discussed tonight? Thank 18 you. 19 CHAIRMAN CASHMAN: The next speaker is 20 Bob Lindgren. 21 (Mr. Bob Lindgren sworn.) 22 MR. LINDGREN: I want to thank the Plan</p>

<p style="text-align: center;">98</p> <p>1 Commission for hearing me this evening. I'm a 2 resident of Oak Brook, not of Hinsdale. I live 3 on Birchwood Road about a hundred yards or so 4 from the proposed entrance to the Adams access 5 portion of Heather Highlands. We have lived 6 here for 33 years. My wife and I lived on south 7 Elm Street in Hinsdale when we were first 8 married, we lived there for about 10 years. We 9 really, we were both in love with Fullersburg 10 from the time we were teenagers for different 11 reasons. We always wanted to find property we 12 could build our own home on. And had there been 13 an R-2 20,000 square-foot lot available in 14 Hinsdale at the time, I'm sure we would have 15 elected to stay in Hinsdale and to buy and build 16 in Hinsdale; but there weren't and so we went, 17 we went to Oak Brook. 18 But it's interesting, I think if 19 you look at the letters that you have received, 20 you find that a fairly significant number of 21 them are from Oak Brook residents and that 22 reflects the unique nature of the Fullersburg</p>	<p style="text-align: center;">100</p> <p>1 The skateboarders do that all the time so we are 2 used to having people parking on Birchwood to 3 access that property. Take a walk across from 4 Birchwood onto the property and see where the 5 road is intended to go, and then keep in mind 6 that 10 of these tract houses are going to be to 7 the south of that road virtually right up 8 against the edge of the FEMA floodplain. So now 9 you have a property -- The second map I think 10 they should have included is the topographical 11 map because the very north end of the property 12 is quite high. Then you have the very low 13 central area, which is floodplain and the pond. 14 And then down at Ogden Avenue there is another 15 high, a higher area. All of the buildings 16 concentrated on Highlands and the north and I'm 17 guessing that, I'm guessing that the concrete 18 and asphalt footprint of buildings at the top of 19 the hill, at the top of the property, are going 20 to be substantially greater than is created by 21 the 3 IBLP buildings and small parking lots up 22 at the top now. So you are going to have</p>
<p style="text-align: center;">99</p> <p>1 area. It's a shared treasure, really, between 2 the villages of Oak Brook and Hinsdale. There 3 is a bit of a history of cooperative, respectful 4 listening to the residents of each village in 5 that regard. 6 A couple of perspectives from 7 someone who has been just off of Adams Road for 8 23 years. There were two maps that were very 9 conspicuously not present in McNaughton's 10 presentation. One is the FEMA floodplain map. 11 And if you take a FEMA floodplain map and you 12 overlay it to the map of Heather Highlands, it 13 will really emphasize is the point that 14 Chairman Cashman made earlier that virtually all 15 of the space that they are posturing towards 16 preserving as open space is, in fact, floodplain 17 or pond. It would be impossible to develop to 18 begin with. 19 But I would urge you to also drive 20 over up Adams Road, pull down Birchwood and park 21 on Birchwood. The people that are going to fish 22 over across the street do that all the time.</p>	<p style="text-align: center;">101</p> <p>1 substantially increased drainage, water runoff 2 down to the FEMA floodplain. And they are going 3 to try to sell some of these units, 10 at least, 4 that are clearly on precarious land. So I urge 5 you to come over, take a look at it and see for 6 yourself. And then one other thing as you drive 7 north on Adams from Ogden, imagine what you are 8 going to see on the right-hand side because you 9 are going to see a row of 10 closely packed 10 tract houses that I swear is going to look like 11 a shantytown. It's not going to look anything 12 like the pristine, nature-oriented environment 13 that the developer is alleging. 14 One final point about the flooding 15 issue. I was talking just kind of casually with 16 my landscape contractor last week, Bruss out of 17 Wheaton. He said they went to a seminar, their 18 whole staff went to a seminar on the effects of 19 climate changes on the local climate in Chicago. 20 They were told to prepare for the next 20 years 21 in Chicago to be like the last 20 years in 22 Houston. So I estimate that since we have lived</p>

<p style="text-align: right;">102</p> <p>1 here 33 years now we have had probably five 2 100-year rain events. And if it were going to 3 be more like Houston than Chicago in the next 20 4 years, then I suspect that number is going to 5 increase dramatically. So whatever flooding 6 issues there are now -- and believe me, they are 7 substantial, Adams Road does flood and is 8 completely impassable periodically -- they are 9 going to just get worse in the future with this 10 development.</p> <p>09:24PM 11 So I ask you to read as many of the 12 letters that have been submitted, 140 letters 13 nearly all in this opposition. And as Dan 14 Hemmer said, we are not misinformed about this. 15 We know exactly what the proposal is, and we 16 know what it would do to our neighborhood so 17 thank you for hearing me out.</p> <p>18 CHAIRMAN CASHMAN: Thank you very much. 19 So our next speaker is Charlie 20 Hiatt. Charlie Hiatt?</p> <p>09:24PM 21 MR. YU: Chairman, can I give a shot? 22 There are two phone numbers under the --</p>	<p style="text-align: right;">104</p> <p>1 very much like a tract development. 2 Going through the information, 3 please, as it's obvious, I guess, but the 4 developer has paid for all this information. I 5 question some of the validity of it. As an 6 example, the traffic study was done on the 20th 7 of August, which is a Thursday, during Covid, 8 during, I guess, vacation time, didn't take in 9 the impact of the amount of pedestrian and 10 bicycle traffic that we see being here on the 11 weekends and during the mornings. I walk my 12 grandson to the park south of Ogden. It's a 13 hassle to go across the street, and higher 14 traffic volumes is going to make that more 15 dangerous.</p> <p>16 The other thing is the cost benefit 17 analysis. I think the Village gets 14 -- 18 \$1.4 million over 20 years. That's about 19 \$70,000 a year of benefit. I would be very 20 curious to see a cost benefit analysis if this 21 was kept at the 21 homes. Clearly McNaughton 22 didn't do that because the profit margin here is</p> <p>09:26PM 09:27PM</p>
<p style="text-align: right;">103</p> <p>1 MR. HIATT: Hello. 2 CHAIRMAN CASHMAN: Charlie? There you 3 are. 4 (Mr. Charlie Hiatt.) 5 MR. HIATT: I'm Charlie Hiatt. I live 6 at 935 North Madison Street directly across the 7 street from the proposed development. My wife 8 and I moved here recently after living in 9 Clarendon Hills for many years for the unique 10 nature that Fullersburg offers. We like the 11 pastoral side in the community, the land. We 12 have got a large lot. We have a little over a 13 half an acre. And looking at the proposed 14 development, looking at the site, we always knew 15 something was going to go there. We didn't 16 think something this big would occur. It 17 doesn't fit. It doesn't match the community. 18 The whole community is R-2. It doesn't have 19 this level of density. The houses all look to 20 me to be very cookie cutter. They have all kind 21 of got that current modern swing and approach to 22 them. But after a while it will make it look</p> <p>09:25PM 09:26PM</p>	<p style="text-align: right;">105</p> <p>1 much more significant. 2 My last point is given the fact I 3 have got over half an acre of land here that 4 fronts Madison -- I'm sorry -- second to the 5 last point, can I come back to the Commission 6 and put in 5 to 6 homes here? I mean if you do 7 one thing, you should be able to do other. I 8 wonder how much you would turn the neighborhood 9 hood.</p> <p>10 Last point is, some of the detail 11 that wasn't brought out, McNaughton is looking 12 to build 7 days a week, which basically means my 13 wife and I go from 7:00 to 7:00 during the 14 weekdays and Saturdays, and 8:00 to 6:00 on 15 Sundays. So the next two plus years, we get to 16 listen to construction and so do my neighbors 17 and so do the people around us. And we are, 18 obviously, willing to put up with some form of 19 construction; but this is obscene. That would 20 be my last comment. Thank you.</p> <p>09:28PM 09:28PM</p> <p>21 CHAIRMAN CASHMAN: Thank you very much, 22 Charlie. Okay. Our next speakers are Peter and</p>

<p style="text-align: center;">106</p> <p>1 Diane Tyler, 208 Bonnie Brae.</p> <p>2 MR. TYLER: Good evening.</p> <p>3 (Mr. Tyler sworn.)</p> <p>4 MR. TYLER: Good evening, everyone. I</p> <p>5 just wanted to thank you for the opportunity to</p> <p>6 voice my opinion on this. I'm not part of the</p> <p>7 Fullersburg organization but I probably should</p> <p>8 be because I agree with absolutely everything</p> <p>9 that's been said so far. I live at 208 Bonnie</p> <p>09:30PM 10 Brae in Hinsdale, and I have been here since</p> <p>11 1995 with my wife Diane and we raised our son</p> <p>12 here. There are other long-time residents of</p> <p>13 the neighborhood that aren't taking part in this</p> <p>14 tonight, but I know they would be in agreement.</p> <p>15 Some of the points that I wanted to</p> <p>16 raise were already addressed by other speakers.</p> <p>17 Mr. Hiatt stole a lot of my thunder. One of the</p> <p>18 first things that I noticed after noticing that</p> <p>19 the population density for the east portion of</p> <p>09:30PM 20 this development appeared to be low-balled in a</p> <p>21 big way was the traffic study. The traffic</p> <p>22 study is seriously faulted. It show, again,</p>	<p style="text-align: center;">108</p> <p>1 They would be going north on Madison to get</p> <p>2 access to other high-speed avenues. And of</p> <p>3 course, they would still be going down to Ogden.</p> <p>4 So they would be cutting all across the</p> <p>5 neighborhood. The entire Fullersburg</p> <p>6 neighborhood would experience extreme increase</p> <p>7 in traffic. We have it already as people are</p> <p>8 trying to divert around traffic, and it would</p> <p>9 continue to be worse if this development takes</p> <p>09:32PM 10 as it's planned. It may even be worse on the</p> <p>11 west side because of the fact that I believe</p> <p>12 there was only one access point onto Adams for</p> <p>13 all of the houses that would be on the west</p> <p>14 side.</p> <p>15 I'm going to limit it, my comments,</p> <p>16 to this at this point; but I just hope that all</p> <p>17 of this is taken into consideration. As</p> <p>18 previous speakers have noted, we moved to this</p> <p>19 neighborhood because of its semirural</p> <p>09:33PM 20 environment. There is nothing like it in the</p> <p>21 Chicago metro area, and we don't want to see it</p> <p>22 ruined just by the profit motive of just a few</p>
<p style="text-align: center;">107</p> <p>1 again, it was based on the traffic that existed</p> <p>2 in August of 2020 when it was considerably lower</p> <p>3 than it normally would be during the course of</p> <p>4 the year due to Covid and lack of traffic. The</p> <p>5 projections showed that there would only be</p> <p>6 21 to 26 cars coming out of the east side</p> <p>7 development, and that's less than one car per</p> <p>8 house. Everybody who is going to be living in</p> <p>9 that development is going to be having more than</p> <p>09:31PM 10 one car, and they are all going to be making</p> <p>11 trips during the day. So as far as I'm</p> <p>12 concerned, that's a low-balled figure.</p> <p>13 Mr. Hiatt also brought up how the</p> <p>14 intersection of Madison and Ogden can be</p> <p>15 challenging to get across. That's one of the</p> <p>16 only crossings to give access to students who</p> <p>17 are going to Madison School so it's definitely</p> <p>18 not a good idea. The traffic that would</p> <p>19 increase that would happen on the east side is</p> <p>09:32PM 20 tremendous because people coming out of the</p> <p>21 development would be going down Glendale to</p> <p>22 Washington, up to Spring, then over to Wolf.</p>	<p style="text-align: center;">109</p> <p>1 individuals. Thank you for your time.</p> <p>2 CHAIRMAN CASHMAN: Thank you, Peter.</p> <p>3 All right. Our next speaker would be Robert</p> <p>4 Crane. I think I remember seeing Robert here,</p> <p>5 Robert Crane from 316 Glendale Avenue.</p> <p>6 (Mr. Robert Crane sworn.)</p> <p>7 MR. CRANE: My name is Robert Crane.</p> <p>8 I have lived in the Fullersburg area since 1997.</p> <p>9 For a brief time we lived south of Ogden. We</p> <p>09:34PM 10 moved back to the area because of the area. We</p> <p>11 loved the area. We love the neighborhoods, love</p> <p>12 the people that live here. I just think that</p> <p>13 the variances that -- 10, I agree with Julie, 10</p> <p>14 variances that they are requesting is excessive.</p> <p>15 I think everything from the lot size to</p> <p>16 everything is excessive for this area. Given</p> <p>17 the R-4 designation, I think that we should look</p> <p>18 at the impact of the school district. At one</p> <p>19 point they say that it's not going to impact the</p> <p>09:35PM 20 school district. But, you know, I think it's</p> <p>21 going to -- That's all I have to say. All</p> <p>22 right.</p>

<p style="text-align: center;">110</p> <p>1 CHAIRMAN CASHMAN: Thank you very much, 2 Bob. 3 MR. CRANE: Thank you. 4 CHAIRMAN CASHMAN: Okay. Our next 5 speaker would be Jeff Allen, 915 North Madison 6 Street. Jeff Allen? 7 MR. YU: So Chairman, I wasn't able to 8 track him down, but there are two callers just 9 by phone. I would like to give them a shot. 09:36PM 10 There are two callers. 11 CHAIRMAN CASHMAN: Okay. Just before 12 we do that, can we go back to Pierre. I thought 13 I saw him. Yes, he was on here. Do you want to 14 speak? 15 MR. ABI-MANSOUR: Yes, this is 16 Abi-Mansour. 17 (Mr. Pierre Abi-Mansour.) 18 MR. ABI-MANSOUR: Just for the benefit 19 of time, thank you for the community for 09:36PM 20 allowing us citizens to express our thoughts 21 about this project. I would just sport Dan 22 Hemmer's presentation on behalf of Fullersburg</p>	<p style="text-align: center;">112</p> <p>1 CHAIRMAN CASHMAN: Okay. Sounds good. 2 MR. YU: Okay. So I have unmuted phone 3 number with the last four digits 8701. Again, 4 phone number last four digits 8701. 5 CHAIRMAN CASHMAN: They are on the 6 conference call, Chan; is that correct? 7 MR. YU: They are as an attendee, yes. 8 CHAIRMAN CASHMAN: I see the one you 9 are talking about. It looks like you are muted. 09:39PM 10 MR. YU: I can't unmute them. I mean I 11 have unmuted so they can unmute themselves. 12 CHAIRMAN CASHMAN: Okay. So whoever's 13 phone number ends in 8701 if you can unmute 14 yourself. Hearing none, the next one, Chan? 15 MR. YU: Last four digits 8773. You 16 can unmute yourself if you wish. 8773, last 17 four digits. Okay. Well -- 18 CHAIRMAN CASHMAN: Okay. Thank you, 19 everyone. We really appreciate your input. 09:40PM 20 MR. YU: Oh, Chairman? 21 CHAIRMAN CASHMAN: Yes. 22 MR. YU: I do have 30 attendees that</p>
<p style="text-align: center;">111</p> <p>1 Community, he represents most of us here. My 2 wife and I moved to this community about 20 3 years ago. We built our house because of, 4 again, the unique flare that Fullersburg 5 provides. Welcome to Mr. McNaughton and anyone 6 who wants to come to our community and develop 7 this land; my request is to just do what I have 8 done and others have done is to maintain the R-2 9 zoning. We welcome them as long as they follow 09:37PM 10 the same zoning that I followed and most of us 11 followed to have separate homes and to welcome 12 other neighbors. So this is what I would like 13 to say that R-2 zoning is preserved and 14 everybody is welcome; but to allow 10 variances 15 is totally unacceptable to the community at 16 large. Thank you for allowing me to speak. 17 CHAIRMAN CASHMAN: Thank you very much, 18 Pierre. And then Chan you said you were not 19 able to reach Jeff Allen? 09:38PM 20 MR. YU: No, not by name. But there 21 are two phone numbers I would like to give a 22 shot.</p>	<p style="text-align: center;">113</p> <p>1 did not preregister but they are as attendees. 2 Should we give them an opportunity if they have 3 any comments? 4 CHAIRMAN CASHMAN: I don't know how you 5 control that. Do you know where? You see 6 something different than I see? 7 MR. YU: Yes. I have got 30 attendees. 8 They are not panelists. They are not 9 preregistered to talk but they are watching and 09:40PM 10 listening. 11 CHAIRMAN CASHMAN: Sure, if you can 12 control it. 13 MR. YU: Michael, do you have any 14 thoughts? 15 MR. MARRS: Chan, I would try to give 16 them an opportunity. I don't know technically 17 how you facilitate that, though. 18 MR. JABLONSKI: If you set up the chat 19 function for attendees maybe they can IM you on 09:41PM 20 the chat function. 21 MR. YU: Yes. They are able to chat 22 with me.</p>

<p style="text-align: center;">114</p> <p>1 MR. MARRS: Could they raise their hand</p> <p>2 by clicking the button?</p> <p>3 MR. YU: Yes. Maybe that's a better</p> <p>4 way. If anyone as attendee would like to speak,</p> <p>5 please use the raise your hand function.</p> <p>6 Yes. No one is raising their hand.</p> <p>7 CHAIRMAN CASHMAN: Okay.</p> <p>8 MR. ABI-MONSOUR: I don't see the</p> <p>9 function. At least as a participant, I don't</p> <p>09:41PM 10 see that function available to me. If it were</p> <p>11 up to me, you should allow people who wants to</p> <p>12 speak to speak.</p> <p>13 MR. YU: I do have someone raising</p> <p>14 their hand. Oh, Jeff Allen.</p> <p>15 CHAIRMAN CASHMAN: Jeff? We can't hear</p> <p>16 you, Jeff. Hello, Jeff?</p> <p>17 MR. YU: He should be able to talk.</p> <p>18 CHAIRMAN CASHMAN: He's muted.</p> <p>19 MR. YU: Jeff, we see you on the</p> <p>20 panelists but you are muted, though.</p> <p>21 MR. ALLEN: Can you hear me? The</p> <p>22 telephone feature does not allow an unmute for</p>	<p style="text-align: center;">116</p> <p>1 to this neighborhood. I myself was living in</p> <p>2 Hawaii for 30 years, and this was one of the few</p> <p>3 areas in Chicago that we were willing to reside.</p> <p>4 Directly attached to the forest</p> <p>5 preserve and wetlands, our residents, nearby</p> <p>6 Hinsdale and Oak Brook friends and fellow</p> <p>7 suburbanites, enjoy safely exploring our</p> <p>8 neighborhood. On any given day, you will find</p> <p>9 our friends and children strolling with their</p> <p>09:45PM 10 dogs, biking with their families, jogging</p> <p>11 through our woodlands, running, skating or</p> <p>12 scooting to the pool, or just sauntering and</p> <p>13 chatting with our friends and family. Venturing</p> <p>14 north of Ogden into our woodlands and wetland</p> <p>15 neighborhood feels like you are suddenly</p> <p>16 transported to a destination like a Wisconsin</p> <p>17 town with wildlife and forests. Some of the</p> <p>18 wonderful properties and wetlands including IBLP</p> <p>19 lots have been untouched by human hands and are</p> <p>09:45PM 20 protected by the forest preserve and our</p> <p>21 neighbors. We all moved here to live with and</p> <p>22 among the nature and the trees. We are willing</p>
<p style="text-align: center;">115</p> <p>1 some reason. Telephone dialing is not allowing</p> <p>2 unmute, so your other person that called in they</p> <p>3 also are having the same problem.</p> <p>4 (Mr. Jeff Allen sworn.)</p> <p>5 CHAIRMAN CASHMAN: Okay, Jeff, go</p> <p>6 ahead. Hello, Jeff? We are not hearing you</p> <p>7 anymore.</p> <p>8 MR. ALLEN: Thank you, Plan Commission,</p> <p>9 Village staff, for your service during these</p> <p>09:44PM 10 trying times. I would first like to say it's a</p> <p>11 shame that we all must collectively spend</p> <p>12 hundreds, possibly thousands, of hours</p> <p>13 supporting and attending public hearings for an</p> <p>14 undesired project.</p> <p>15 The proposal that we heard was</p> <p>16 denied a public hearing by the Village trustees.</p> <p>17 McNaughton developers, obviously, have little</p> <p>18 regard for our Village or the neighborhoods'</p> <p>19 citizens beyond lining their pockets. The</p> <p>09:44PM 20 Fullersburg's woods neighborhood is one of the</p> <p>21 most unique, charming, low-density residential</p> <p>22 communities in the Chicago suburbs. We returned</p>	<p style="text-align: center;">117</p> <p>1 to tolerate a little rainwater and scat or</p> <p>2 pellets now and then. Anyone allowing or</p> <p>3 attempting the radical change or theft of such a</p> <p>4 special place from our neighbors, their</p> <p>5 children, and the surrounding community is a</p> <p>6 heartless criminal. This dense development is</p> <p>7 bad for Hinsdale and our residential woods</p> <p>8 location. McNaughton will lay ruin to our</p> <p>9 tranquil, idyllic, natural woodland sanctuary</p> <p>09:46PM 10 with its radical, high-density atrocity. The</p> <p>11 only true fact in the presentations is in the</p> <p>12 product, project narrative, section 5, with the</p> <p>13 gas rezoning requests. Village trustees denied</p> <p>14 McNaughton requests, as do the Village</p> <p>15 residents; and accordingly, the Plan Commission</p> <p>16 should follow suit. Residential low-density</p> <p>17 homes offer sufficient long-term stability and</p> <p>18 income to the neighborhood without associated</p> <p>19 density issues. It is the duty of the Plan</p> <p>09:47PM 20 Commission to uphold the established zoning.</p> <p>21 One of the purposes of the Hinsdale Zoning Code</p> <p>22 is to limit the bulk and density of new and</p>

<p style="text-align: center;">118</p> <p>1 existing structures in the community as is 2 stated on the Village website. Even still, the 3 Plan Commission is supposed to be biased to 4 residential use as stated by the Hinsdale Plan 5 Commission, 2002. This project and its dense 6 buildings and disregard for zoning codes, open 7 spaces, and the wetlands goes against the 8 enjoyment of the neighborhood, as stated, the 9 Commission is to protect.</p> <p>09:48PM 10 The woods and the residential peace 11 and quiet needs are not being protected with 12 this project, which would effect an entire 13 single-family R-2 residential, low-density, 14 wooded neighborhood. Whether the Board likes 15 something or doesn't like something, they have 16 to look at the Zoning Code, as also stated by 17 the Hinsdale Plan Commission in 2019. This 18 proposed project is not even close to meeting 19 the existing zoning code or the makeup of the 09:48PM 20 neighborhood. McNaughton has requested more 21 waivers and variances to the existing zoning 22 code than it actually proposes to meet; 12</p>	<p style="text-align: center;">120</p> <p>1 court-sized lots. There is no perceived benefit 2 for citizens of Hinsdale and residents will not 3 benefit from part-time construction jobs. 4 Village residents do not care about any 5 perceived or conjured market need for high- 6 density living, and we especially don't want it 7 near our low-density properties. Increase of 8 run-off, pollution, and watershed caused by the 9 proposed facility will effect our downstream Oak 09:50PM 10 Brook neighbors. There is no amount of improved 11 architecture that can be more beautiful than our 12 mature neighborhood trees. IBLP can sell their 13 property as they bought it, one individual, 14 residential, low-density property at a time at 15 market value. Thank you. 16 CHAIRMAN CASHMAN: Thank you, Jeff. 17 MR. YU: I have one person that raised 18 their hand if you wouldn't mind. May I? 19 CHAIRMAN CASHMAN: Yes. Tell us your 09:51PM 20 name. 21 (Ms. Alicia Schemel sworn.) 22 MS. SCHEMEL: I only will be two</p>
<p style="text-align: center;">119</p> <p>1 requested zoning variances by my count. They 2 are even asking to bull dose and build around 3 the historic Trudi Temple home like in the movie 4 Up. This project has major long-term impact 5 that is detrimental to adjoining neighborhoods. 6 It directly impacts traffic, public safety, the 7 environment, real estate valuations, our 8 community, and our Fullersburg woods connection 9 to the forest.</p> <p>09:49PM 10 I'm not going to cover all the 11 bullet items from my letter that somehow got 12 omitted or those that have been extensively 13 discussed and submitted in the 140-plus letters. 14 Approving this request would allow density and 15 zoning change requests to creep into adjoining 16 residential properties north of Ogden and into 17 Oak Brook. This is a residential area. This is 18 not a commercial area. This is not like 55th 19 Street and County Line Road or those properties 09:50PM 20 east of York. Hinsdale residents will have no 21 immediate use of this property or desire to 22 purchase the trailer park-like homes on tennis</p>	<p style="text-align: center;">121</p> <p>1 seconds. I just wanted to say that this project 2 is absolutely a terrible idea for this area. 3 Number one reason is our schools are really 4 overcrowded. I have two girls at Monroe and we 5 already have to due to Covid have to hot, hot 6 bunk with or hot desk with other students. And 7 it's been really a challenge for the 8 administration of our schools in District 181 9 and 86 to get all these kids where they need to 09:52PM 10 be. I recognize that, hopefully, in a couple of 11 years we will be through all this and we won't 12 be dealing with the pandemic anymore; but the 13 truth of the matter is there are a lot of kids 14 already there, and it is in an overcrowded 15 position. We literally cannot handle any more 16 students. So I think that the numbers that 17 McNaughton gave for students entering 18 District 181 and District 86 are severely 19 underrepresented. It's just not going to be 09:53PM 20 just that many kids, 9 to the high school. It's 21 going to be more than that. It's going to be 22 more than that. It will be definitely a lot</p>

<p style="text-align: center;">122</p> <p>1 more to the elementary school. That's my number</p> <p>2 one issue.</p> <p>3 My number two issue is that I don't</p> <p>4 think McNaughton clearly understands how bad the</p> <p>5 flooding is over here. Most homes have to go</p> <p>6 and put in a generator in their house as a</p> <p>7 backup mechanism because our basements</p> <p>8 constantly flood. And someone had mention that</p> <p>9 Adams is impassable at times, so is Glendale and</p> <p>09:53PM 10 parts of Madison. There are a lot of parts</p> <p>11 around here that are very low lying, you can't</p> <p>12 build anything on it, and adding acres of</p> <p>13 concrete to this is absolutely a terrible idea.</p> <p>14 Everyone's basement is going to be underwater.</p> <p>15 And my last thing I just recently</p> <p>16 completed building our house within the past two</p> <p>17 years, and we had to abide by all the zoning</p> <p>18 rules and regulations of the Plan Commission. I</p> <p>19 think that McNaughton should be held to the same</p> <p>09:54PM 20 standard. Thank you very much.</p> <p>21 CHAIRMAN CASHMAN: Where do you live,</p> <p>22 Alicia?</p>	<p style="text-align: center;">124</p> <p>1 you to consider everything that all the</p> <p>2 neighbors have expressed, and I'm not going to</p> <p>3 waste your time talking about the flooding and</p> <p>4 the traffic issues. But I just found the</p> <p>5 estimates that were read today just comical,</p> <p>6 they were ridiculous. You can just come and see</p> <p>7 the traffic in this area on any given day, just</p> <p>8 come to York, come to Washington Street, try to</p> <p>9 make a left on Madison. It's really interesting</p> <p>09:56PM 10 to hear the estimates that the consultant gave.</p> <p>11 The flooding issues are the same. My back yard</p> <p>12 becomes a lake three times of a year, any time</p> <p>13 we have a good rain.</p> <p>14 And finally, the reason why we</p> <p>15 bought here, why we moved here, it's the</p> <p>16 character of this neighborhood; and that would</p> <p>17 be destroyed with these developments. And it's</p> <p>18 very unfair, right on the corner my old neighbor</p> <p>19 who passed away left the property to her two</p> <p>09:56PM 20 sons -- and this is in Oak Brook, it's on the</p> <p>21 very corner of Washington and York -- and these</p> <p>22 two brothers pledged to the Oak Brook Village to</p>
<p style="text-align: center;">123</p> <p>1 MS. SCHEMEL: 423 Glendale.</p> <p>2 CHAIRMAN CASHMAN: Thank you. Thank</p> <p>3 you for your time.</p> <p>4 MS. SCHEMEL: Yes.</p> <p>5 MR. YU: Chairman, I have one more</p> <p>6 person that raised their hand.</p> <p>7 CHAIRMAN CASHMAN: Okay.</p> <p>8 MR. YU: Elizabeth, you are able to</p> <p>9 speak.</p> <p>09:54PM 10 MR. CHAIRMAN CASHMAN: Can you tell us</p> <p>11 your name and spell your last name, please.</p> <p>12 MR. RODRIGUEZ: My last name is</p> <p>13 Rodriguez. My first name is Heron.</p> <p>14 (Mr. Heron Rodriguez sworn.)</p> <p>15 CHAIRMAN CASHMAN: Heron, what is your</p> <p>16 address?</p> <p>17 MR. RODRIGUEZ: 3811 Washington.</p> <p>18 CHAIRMAN CASHMAN: Okay. Thank you.</p> <p>19 MR. RODRIGUEZ: I've lived in Hinsdale</p> <p>09:55PM 20 and the Fullersburg area now for over 20 years.</p> <p>21 And I thank you for working so hard tonight and</p> <p>22 thank you for serving in your position. I urge</p>	<p style="text-align: center;">125</p> <p>1 change just a couple of the zoning requirements</p> <p>2 so that they could fit two houses in a really</p> <p>3 large, almost 2-acre lot; and they were denied</p> <p>4 that. So if other families in the past that</p> <p>5 have tried to change the character of this area</p> <p>6 were denied that, what gives anybody the right</p> <p>7 to put 20 something houses in areas where there</p> <p>8 should only be a handful. I thank you for</p> <p>9 listening to all of us, and I urge you to</p> <p>09:57PM 10 preserve the community that you have been</p> <p>11 entrusted with. Thank you.</p> <p>12 CHAIRMAN CASHMAN: Okay, thank you.</p> <p>13 Any more, Chan?</p> <p>14 MR. YU: No. Nobody else raised their</p> <p>15 hand.</p> <p>16 CHAIRMAN CASHMAN: All right. Well,</p> <p>17 thank you, everyone. So just to turn back, so</p> <p>18 we did receive 140 comments today on this case.</p> <p>19 We received these up to 4:30 today and as far</p> <p>09:58PM 20 back as in August. Like I said, I went through</p> <p>21 all these things, I highlighted them; and my</p> <p>22 take, all of them were opposed except for one</p>

<p style="text-align: center;">126</p> <p>1 that had caveats and requirements and so 2 attempted approval. As I mentioned before, this 3 will all be part of the public record. It will 4 also be available on the Village website. 5 With that, I was wondering if, 6 John, if you wanted to provide a final 7 statement. And then we would move to discussion 8 by the Commissioners. John Barry? 9 MR. BARRY: Yes. Thanks, Commissioner. 09:58PM 10 Yes. Considering the time of night, I guess we 11 would just like to say thanks for everybody for 12 taking part in the meeting tonight. We have 13 taken notes of everybody's questions and 14 comments. We are looking forward to having this 15 meeting next Wednesday. We also hope to have 16 another meeting to invite people out to our lake 17 development, kind of get a feel for that 18 community and its product, its walkability, 19 accessibility, in that particular instance. So, 09:59PM 20 yes, I guess we would just ask to discuss maybe 21 continuing the meeting and then setting up 22 another date where we can get together after</p>	<p style="text-align: center;">128</p> <p>1 Commission, you know -- This is my, I guess, 2 seventh year of doing this, sixth or seventh 3 year. It's always been a process to get to 4 where both sides see the solution I guess. 5 I guess my question is for John in 6 that, are you guys open to less density? Where 7 do you see a -- This is, obviously, you kind of 8 said, or Paul said this is the worst-case 9 scenario and you've asked for every single 10:01PM 10 variance that you can in hopes to come to a 11 better or to show us what you prefer, you know, 12 the best-case scenario for you guys. Is there 13 an area that you guys see in terms of density or 14 more public benefit, or is there any solution 15 that you see you can work toward? 16 MR. BARRY: I would tell you tonight I 17 think the best course is to have this community 18 meeting that we discussed next week and then 19 come back to the Plan Commission with the 10:02PM 20 findings of that meeting and then the feedback 21 that we received, additional feedback we 22 received, and how we are best going to handle</p>
<p style="text-align: center;">127</p> <p>1 this community meeting. 2 CHAIRMAN CASHMAN: All right. Thank 3 you, John. Commissioners, any final questions 4 for the applicant before we close the public 5 hearing? 6 MS. CRNOVICH: I have a couple of 7 questions. Can you give me the price point? I 8 think I heard two different price points. 9 MR. BARRY: Yes. Depending on the 10:00PM 10 product, we are estimating the base price of the 11 age-targeted product being 950 to \$1,050,000 and 12 the traditionally single-family would be in the 13 \$1,100,000 range, base price. 14 MS. CRNOVICH: Thank you. And second 15 question, what do you consider, since the PUD 16 you are asking for, what would the public 17 benefit be? 18 MR. BARRY: Our public benefit is the 19 improvement of the open space. 10:00PM 20 MS. CRNOVICH: Thank you. 21 CHAIRMAN CASHMAN: Anna? 22 MS. FIASCONE: I guess we have as a</p>	<p style="text-align: center;">129</p> <p>1 that from there. 2 MR. MC NAUGHTON: And just to clarify 3 what I meant when I said -- That was in 4 relation to the modifications that we requested. 5 So I mean we are proposing a plan that we think 6 is feasible and not an entirely controversial 7 development. Although some of the comments that 8 we heard tonight, I mean most of them I 9 appreciate the conversation, the ability to have 10:02PM 10 a dialogue with people, but some of the comments 11 were pretty out of right field so -- But to 12 your question, it's really going to be put to 13 the Plan Commission and the Board to decide what 14 kind of development do they want to have here. 15 Do they want us to improve this open space with 16 the amenities we are talking about, the over 17 \$1.2 million of cost that we have budgeted so 18 far? We will get into that with you guys more 19 in terms of what exactly those items are. Like 10:03PM 20 I said before, we are open to a dialogue with 21 exactly what those benefits are. If someone 22 comes in here and says we are going to build an</p>

<p style="text-align: center;">130</p> <p>1 R-2 conforming subdivision, you are not going to 2 see any of those benefits in the open space 3 area. The open space is going to be left 4 exactly the way it is. Now, some people in the 5 Village are problem clapping right now and 6 saying, Hey, that's great. But that's not the 7 development that we are trying to create here. 8 We are trying to create a true attraction in the 9 Village of Hinsdale, and you don't get that by 10 just leaving land the way it's been for the last 11 50 years. So it's really going to be up to the 12 Plan Commission and the Board to decide what 13 kind of development they want to have here. And 14 if they decide that this type of development -- 15 I'm not talking about this exact plan because, 16 obviously, we are going to be open to discussion 17 about if there are ways to modify the plan but 18 keep the spirit of the plan together. But we 19 are talking about an R-2 conforming subdivision, 20 this property is going to stay the way it is for 21 a very long time. I know you guys never believe 22 developers when they say that, but no one is</p>	<p style="text-align: center;">132</p> <p>1 Am I missing something here that you are going 2 fit nearly 3300 feet on something that is 3 smaller than a tennis court, it may look more 4 like a paddle ball court. 5 MR. MC NAUGHTON: Let me give you a 6 little context there because we do a lot of 7 teardown, new construction, in the Village as 8 well. This kind of goes back to the concept of 9 the traditional lot versus the lot that we are 10 proposing here. What we are proposing, for lack 11 of a better term, is a building envelope; so no 12 setbacks. And when you don't have setbacks, you 13 have what is called building separation. So we 14 are proposing that the setback be replaced with 15 a minimum separation of 15 foot. Now, that's 16 not dissimilar from what you did in Hinsdale on 17 50- and 60-foot lots. And Chan knows this 18 better than I do, but a 50-foot lot in has 19 Hinsdale has a 30 percent side yard setback. 20 30 percent of 50 is 15, usually you are going to 21 get 7.5 on both sides. So in that case, a 22 50-footer in Hinsdale is basically the same look</p>
<p style="text-align: center;">131</p> <p>1 going to buy this land and try to develop 21 R-2 2 conforming lots for \$800,000 apiece. It would 3 take 21 years to finish the subdivision. So I 4 think you guys just need to keep that in mind as 5 we are going through the process. And of 6 course, we want this to be a community 7 experience and we want to dialogue with people 8 in the community. That's why we are very 9 excited to have this meeting next week so we can 10 go -- not back and forth but actually have a 11 real dialogue where we are conversing with 12 somebody face to face. 13 CHAIRMAN CASHMAN: Anyone else? Anna 14 or Michelle? Jerry? 15 MR. JABLONSKI: I just want to confirm 16 one thing. The 2-story homes are 3200 square 17 feet approximately? 18 MR. MC NAUGHTON: Up to 38. 19 MR. JABLONSKI: 3800 square feet? 20 MR. MC NAUGHTON: Up to 38, correct. 21 MR. JABLONSKI: I saw in one bit of 22 documentation 40-by-70 lots and 40-by-60 lots.</p>	<p style="text-align: center;">133</p> <p>1 and feel wise as what we are proposing here. 2 It's just a different type of lot. The 3 50-by-125 or 50-by-150 lot that you see in 4 Hinsdale is a traditional R-4 lot. Here we are 5 proposing something different because of the 6 other maintenance-free aspects, the cluster 7 design, the conservation design, the open space. 8 This is what's worked for these type of 9 developments for us. Same thing with a 60-foot 10 lot in the Village. 60-foot lot, 30 percent 11 side yards, it's 18 foot. So we are very 12 similar to a 50- and 60-foot lot in terms of the 13 total -- We are not calling it a side yard 14 setback here because it's minimum building 15 separation is what we are looking at. 16 CHAIRMAN CASHMAN: Anything else, 17 Jerry? 18 MR. JABLONSKI: No. It still sounds 19 pretty dense to me. 20 CHAIRMAN CASHMAN: Jim, any questions 21 for applicant? 22 MR. KRILLENBERGER: There is nothing.</p>

<p style="text-align: center;">134</p> <p>1 I am looking forward to hearing the results of</p> <p>2 the community meeting.</p> <p>3 CHAIRMAN CASHMAN: Did I miss anybody?</p> <p>4 With that, I would like a motion to</p> <p>5 close the public hearing.</p> <p>6 MR. KRILLENBERGER: I so motion.</p> <p>7 Krillenberg.</p> <p>8 MR. JABLONSKI: Second. Jablonski.</p> <p>9 CHAIRMAN CASHMAN: Chan, roll call</p> <p>10 vote, please.</p> <p>11 MR. YU: Sure. Commissioner</p> <p>12 Krillenberg?</p> <p>13 MR. KRILLENBERGER: Aye.</p> <p>14 MR. YU: Commissioner Fisher?</p> <p>15 MS. FISHER: Aye.</p> <p>16 MR. YU: Commissioner Jablonski?</p> <p>17 MR. JABLONSKI: Aye.</p> <p>18 MR. YU: Chairman Cashman?</p> <p>19 CHAIRMAN CASHMAN: Aye.</p> <p>20 MR. YU: Commissioner Crnovich?</p> <p>21 MS. CRNOVICH: Aye.</p> <p>22 MR. YU: Commissioner Fiascone?</p>	<p style="text-align: center;">136</p> <p>1 MR. JABLONSKI: I would propose that we</p> <p>2 move to vote on this today. I have a feeling it</p> <p>3 would be rejected as it is. I, of course, don't</p> <p>4 know what anyone else is thinking. Let them</p> <p>5 hear from the community and come back to us with</p> <p>6 a clean piece of paper. I agree with Jim that</p> <p>7 chasm, the chasm is canyon-like, Grand Canyon-</p> <p>8 like.</p> <p>9 CHAIRMAN CASHMAN: Okay. Michelle?</p> <p>10 MS. FISHER: I agree with Jerry.</p> <p>11 CHAIRMAN CASHMAN: Let's see, Anna?</p> <p>12 MS. FIASCONE: I agree with Jim. I</p> <p>13 think we need to hear this out a little further.</p> <p>14 I agree that there is definite dissent among the</p> <p>15 community members. We have seen this before for</p> <p>16 sure and dealt with it and come to some other</p> <p>17 options I guess. So I would like to hear how</p> <p>18 the community meeting goes.</p> <p>19 CHAIRMAN CASHMAN: Okay. Julie?</p> <p>20 MR. JABLONSKI: Steve, just to clarify,</p> <p>21 I'm not rejecting this out of hand. I think we</p> <p>22 should get to something but we are so far apart</p>
<p style="text-align: center;">135</p> <p>1 MS. FIASCONE: Aye.</p> <p>2 CHAIRMAN CASHMAN: So discussion by the</p> <p>3 Commissioners. One is whether you want to</p> <p>4 discuss whether the standards for approval are</p> <p>5 met or whether you move to possibly to a vote</p> <p>6 tonight or to continue the vote to continue this</p> <p>7 so that the September 16 community meeting can</p> <p>8 take place and then have this return to us in</p> <p>9 October.</p> <p>10 MR. KRILLENBERGER: B.</p> <p>11 CHAIRMAN CASHMAN: Jim?</p> <p>12 MR. KRILLENBERGER: Yes, B. The chasm</p> <p>13 between what's being proposed and what the</p> <p>14 community reaction is seems so wide, I would</p> <p>15 like to wait and hear how the dialogue goes at</p> <p>16 that Community House meeting on September 16</p> <p>17 before I have too much more to say. So of the</p> <p>18 two choices, Steve, B. I would suggest we wait</p> <p>19 and have that conversation to see if it's a</p> <p>20 beneficial conversation.</p> <p>21 CHAIRMAN CASHMAN: Jerry, thoughts on</p> <p>22 that?</p>	<p style="text-align: center;">137</p> <p>1 right now it might be better to start with a</p> <p>2 clean piece of paper. I didn't want to be</p> <p>3 misinterpreted that I'm rejecting anything.</p> <p>4 CHAIRMAN CASHMAN: No, I understood</p> <p>5 that.</p> <p>6 MR. KRILLENBERGER: And just so I</p> <p>7 understand, if we do vote on this tonight, what</p> <p>8 would we even vote on?</p> <p>9 CHAIRMAN CASHMAN: To approve or</p> <p>10 disapprove what's been submitted to us.</p> <p>11 MR. KRILLENBERGER: Oh, it has been</p> <p>12 submitted?</p> <p>13 MR. JABLONSKI: Jim, we would be voting</p> <p>14 on the second paragraph on the second page. And</p> <p>15 that's an important paragraph to read. We often</p> <p>16 get caught up in the weeds and often forget what</p> <p>17 we are really voting on, approval of a concept</p> <p>18 plan by both the applicant and the Village with</p> <p>19 respect to various basic elements of the plan</p> <p>20 and uses and density are two of the things that</p> <p>21 we're subject to being bound.</p> <p>22 CHAIRMAN CASHMAN: We are a</p>

<p style="text-align: center;">138</p> <p>1 recommending body. So we make a recommendation 2 to the Board. The Board would then have to vote 3 on the concept plan. It would either have a 4 yes-or-no vote. 5 MR. YU: Mr. Chairman? 6 CHAIRMAN CASHMAN: Yes. 7 MR. YU: May I ask a question for 8 Michael? Jim from the McNaughton Group has 9 messaged me. If I can read his question or his 10 statement. The request from the petition was to 11 continue. If there is a vote tonight, that 12 would preclude further discussion on this plan 13 or modifications thereto. 14 MR. MARRS: So I lost my computer power 15 for a few minutes so I was down, but I am now 16 back on my phone. So they made a request to 17 continue? 18 MR. YU: The petitioner made, yes, they 19 made a request to continue. 20 MR. MARRS: Okay. So given that, I 21 would suggest that unless the Plan Commission 22 has very strong feelings that you allow the</p>	<p style="text-align: center;">140</p> <p>1 First of all, Considerations, 2 public benefit; whether and to what extent the 3 proposed use and development at a particular 4 location is necessary or desirable to provide 5 services as a facility that has interest to the 6 public needs that will contribute to the general 7 welfare of the neighborhood or community. I 8 just don't see anything we have in this package 9 that is a public benefit. So that's one bar I 10 just don't see how they get over. 11 Then secondly, under the Purpose of 12 the planned development -- and this is section 13 11-603-B -- the first creation of a more 14 desirable environment that would be possible to 15 strict application of other Village land use 16 regulations. In this density, I mean there are 17 areas north of there that's R-2. On northwest 18 Hinsdale, it's R-2. It creates an environment 19 that's in a neighborhood and then to suddenly 20 have in a way an area that's as dense as R-4 21 within it, I just don't think that's more 22 desirable.</p>
<p style="text-align: center;">139</p> <p>1 continuance and allow the residents' meeting to 2 take place prior to taking a vote. 3 CHAIRMAN CASHMAN: That's a suggestion? 4 MR. MARRS: Yes. 5 CHAIRMAN CASHMAN: Julie? 6 MS. CRNOVICH: I agree with Jerry. I 7 would agree. Well, Jerry kind of said something 8 differently; but I don't think anything is going 9 to be resolved at the community meeting. I 10 think the community has spoken loud and clear. 11 I think we should take a vote tonight. 12 CHAIRMAN CASHMAN: My take on that, in 13 many cases we have people on both sides, able, 14 pro and against. This was very clear and not 15 just a few people but over 140 people and then 16 people we had speaking tonight. When I look at 17 this, I really want to go back and look at, 18 okay, what are our standards for approval. And 19 part of the standards on special use permits, a 20 couple that jumped out to me, I will just 21 comment on this and then we can decide what our 22 thoughts are.</p>	<p style="text-align: center;">141</p> <p>1 And then one thing that I just -- 2 that's why I asked a little about that whole 3 stormwater area. Increase is No. 6 of the 4 Purpose of planned development; an increase in 5 the amount of open space over that which would 6 result from the application's eventual 7 subdivision and zoning regulations. I mean this 8 is -- I just don't see in any way I can look at 9 this and see this is an increase in open space. 10 I think this is a decrease in open space. I 11 think, they are looking at open space, you would 12 be better off to just leave it as a compliant 13 R-2 development. Let the market determine 14 what's going to happen there. But as some of 15 these citizens said, they live in the area and 16 they have done projects. They have built homes, 17 and they are required to comply with R-2. This 18 is not like a little change in density. In 4 to 19 6 versus 21, to me it's not even close. It's 20 not even close. I do have concerns about 21 increased traffic, the impact on the school 22 districts, flooding.</p>

<p style="text-align: center;">142</p> <p>1 And then I think the biggest</p> <p>2 negative would be a complete change in character</p> <p>3 of the neighborhood. I mean I live south of</p> <p>4 Ogden on Adams. I constantly go up Adams, up</p> <p>5 Madison, jogging, riding bikes, going to the</p> <p>6 Fullersburg woods, down to Graue Mill. It's an</p> <p>7 avenue, like a connection; and that's a unique</p> <p>8 part of Hinsdale. It's beautiful up there and</p> <p>9 to allow something of this density, and back to</p> <p>10:17PM 10 we had 30, 60 public comments but the neighbors</p> <p>11 do not want this. I think as a Plan Commission,</p> <p>12 I think we have always done a good job of really</p> <p>13 listening to neighbors. I think that's why like</p> <p>14 the demolition moratorium was such a challenge</p> <p>15 because that was much more evenly split. We had</p> <p>16 four meetings listening to that. This is, this</p> <p>17 is not even a split. I just don't see how -- I</p> <p>18 went to the Ryan open house. I went for my time</p> <p>19 slot but there were people there from the</p> <p>10:17PM 20 Fullersburg area, and I heard what they were</p> <p>21 saying and their concerns. And there were</p> <p>22 similar concerns. I just don't think they are</p>	<p style="text-align: center;">144</p> <p>1 are saying but I also think about Hinsdale</p> <p>2 Meadows and the people that we heard from were</p> <p>3 pretty much all dissenters, had issues with it.</p> <p>4 We worked a very, very long time with them to</p> <p>5 come up with something that worked. I'm not</p> <p>6 comparing this to Hinsdale Meadows. I'm not</p> <p>7 saying it should be Hinsdale Meadows but at the</p> <p>8 same time we did work very long and hard with</p> <p>9 that group and gave them our time. I just think</p> <p>10:19PM 10 that they deserve that respect. They put a lot</p> <p>11 of time and energy into this, whether people</p> <p>12 think it's correct information or not. They are</p> <p>13 asking for a continuance, I think that that's, I</p> <p>14 don't know, I just think that that's -- Maybe</p> <p>15 I'm completely delusional here thinking we can</p> <p>16 come to an agreement. That's just kind of my</p> <p>17 opinion on it.</p> <p>18 CHAIRMAN CASHMAN: Okay.</p> <p>19 MR. KRILLENBERGER: I agree. I've kind</p> <p>10:20PM 20 of got the same perspective. No need to shut</p> <p>21 down the conversation when there is a scheduled</p> <p>22 meeting. And if this meeting turns into a</p>
<p style="text-align: center;">143</p> <p>1 going to suddenly something is going to change.</p> <p>2 And I agree, it's not like we can drop off 2</p> <p>3 units or get to 44 or 40. I just think we are</p> <p>4 so far off the mark that in my mind I think it</p> <p>5 would be cleaner and more effective and might I</p> <p>6 say less waste of the applicant's time to</p> <p>7 actually consider this and decide to vote</p> <p>8 tonight. I just don't see what we gain by</p> <p>9 continuing it. I think it does more of a</p> <p>10:18PM 10 disservice. That's just my opinion.</p> <p>11 I would be curious, I would be open</p> <p>12 to a motion. I mean if you think about those</p> <p>13 criteria, do any of the Commissioners feel like</p> <p>14 we can move this? I mean there is plenty more</p> <p>15 but I mean this is -- It's just a big various.</p> <p>16 MS. CRNOVICH: Steve, it's Crnovich.</p> <p>17 With the objections you listed and the list of</p> <p>18 waivers that they are requesting, I think</p> <p>19 starting over with a clean slate is the only</p> <p>10:19PM 20 thing that can be done.</p> <p>21 CHAIRMAN CASHMAN: Okay. Anna?</p> <p>22 MS. FIASCONE: Listen, I hear what you</p>	<p style="text-align: center;">145</p> <p>1 fistfight or something that makes it clear that</p> <p>2 there is never going to be a bridge over the</p> <p>3 canyon, then we will know more after that</p> <p>4 meeting so that's my view.</p> <p>5 CHAIRMAN CASHMAN: Michelle?</p> <p>6 MS. FISHER: I'm agreeing with you and</p> <p>7 then with Jerry and Julie. I think based on the</p> <p>8 requirements that you provided, the basic entry</p> <p>9 level to meet those requirements has not been</p> <p>10:21PM 10 met. And then secondly, the community has been</p> <p>11 very clear in what they have said tonight and</p> <p>12 with what their letters have said as well. And</p> <p>13 perhaps maybe just revising a plan or some ideas</p> <p>14 would be the best path to get something a little</p> <p>15 bit more acceptable possibly and then coming</p> <p>16 back to all of us and moving forward from there.</p> <p>17 CHAIRMAN CASHMAN: It is interesting to</p> <p>18 note that in tonight's meeting we basically</p> <p>19 closed the Ryan Company's application because</p> <p>10:21PM 20 that's exactly what they wanted to do. They</p> <p>21 basically want to come up with a new proposal</p> <p>22 and start over.</p>

<p style="text-align: center;">146</p> <p>1 And so, Jerry, are you still in the</p> <p>2 same position, you think we should have a vote?</p> <p>3 MR. JABLONSKI: Yes. I think we should</p> <p>4 have a vote. But I want to continue to</p> <p>5 reiterate that, even though Mr. McNaughton said</p> <p>6 that if we were to say no he might walk away, I</p> <p>7 welcome him to come back and develop new ideas.</p> <p>8 I want development in the Village of Hinsdale.</p> <p>9 I just want proper development in the Village of</p> <p>10 Hinsdale.</p> <p>11 MS. FISHER: I think that's well said.</p> <p>12 CHAIRMAN CASHMAN: First, how about if</p> <p>13 we have a motion to continue this to our</p> <p>14 October 14 meeting and see how that goes.</p> <p>15 MR. KRILLENBERGER: I will so motion to</p> <p>16 continue.</p> <p>17 CHAIRMAN CASHMAN: And a second?</p> <p>18 MS. FIASCONE: Second. I second.</p> <p>19 CHAIRMAN CASHMAN: Chan, can we have a</p> <p>20 roll call.</p> <p>21 MR. YU: Yes.</p> <p>22 Commissioner Krillenberg?</p>	<p style="text-align: center;">148</p> <p>1 MR. MARRS: That would be a motion to</p> <p>2 recommend disapproval.</p> <p>3 CHAIRMAN CASHMAN: To recommend</p> <p>4 disapproval.</p> <p>5 Jim, you seconded or you motioned?</p> <p>6 MR. KRILLENBERGER: I've actually asked</p> <p>7 you for a clarification. So this is a motion to</p> <p>8 disapprove as currently submitted?</p> <p>9 CHAIRMAN CASHMAN: Correct.</p> <p>10 MR. KRILLENBERGER: I will so motion.</p> <p>11 CHAIRMAN CASHMAN: Do we have a second?</p> <p>12 MR. JABLONSKI: Second from Jablonski.</p> <p>13 CHAIRMAN CASHMAN: Chan, can we have a</p> <p>14 roll call vote, please.</p> <p>15 MR. YU: Yes.</p> <p>16 Commissioner Krillenberg?</p> <p>17 MR. KRILLENBERGER: Aye.</p> <p>18 MR. YU: Commissioner Fisher?</p> <p>19 MS. FISHER: I'm sorry. So we are</p> <p>20 recommending -- We are disapproving, so</p> <p>21 rejecting what was provided to us?</p> <p>22 CHAIRMAN CASHMAN: Yes. So a yes is a</p>
<p style="text-align: center;">147</p> <p>1 MR. KRILLENBERGER: Aye.</p> <p>2 MR. YU: Commissioner Fisher?</p> <p>3 MS. FISHER: No.</p> <p>4 MR. YU: Commissioner Jablonski?</p> <p>5 MR. JABLONSKI: No.</p> <p>6 MR. YU: Chairman Cashman?</p> <p>7 CHAIRMAN CASHMAN: No.</p> <p>8 MR. YU: Commissioner Crnovich?</p> <p>9 MS. CRNOVICH: No.</p> <p>10 MR. YU: And Commissioner Fiascone?</p> <p>11 MS. FIASCONE: Aye.</p> <p>12 CHAIRMAN CASHMAN: Okay. That did not</p> <p>13 pass.</p> <p>14 Can I have a motion to disapprove</p> <p>15 Case A-20-2020, McNaughton Development - Planned</p> <p>16 Development Concept Plan, Special Use Permit and</p> <p>17 Exterior Appearance/Site Plan to develop</p> <p>18 20.9 acres of the 37.1 acre site at 4 South 010</p> <p>19 Madison Street, north of Ogden, east of Adams</p> <p>20 Street for a 46 Single Family Detached Home</p> <p>21 Planned Development in the R-2 Single Family</p> <p>22 Residential District.</p>	<p style="text-align: center;">149</p> <p>1 rejection.</p> <p>2 MS. FISHER: Yes.</p> <p>3 MR. YU: Commissioner Jablonski?</p> <p>4 MR. JABLONSKI: Aye.</p> <p>5 MR. YU: Chairman Cashman?</p> <p>6 CHAIRMAN CASHMAN: Yes.</p> <p>7 MR. YU: Commissioner Crnovich?</p> <p>8 MS. CRNOVICH: Aye.</p> <p>9 MR. YU: Commissioner Fiascone?</p> <p>10 MS. FIASCONE: Aye.</p> <p>11 CHAIRMAN CASHMAN: So that was a 6-0</p> <p>12 vote. Did I follow the bouncing ball? All</p> <p>13 yeses?</p> <p>14 MR. YU: Jim, you said yes; right?</p> <p>15 MR. KRILLENBERGER: I said yes to</p> <p>16 reject as planned. We are not going to</p> <p>17 continue, we have to reject it.</p> <p>18 MR. YU: Got it. Thank you.</p> <p>19 CHAIRMAN CASHMAN: Okay. John, Paul,</p> <p>20 and your entire team, really appreciate your</p> <p>21 time and your proposal. This is our Board or</p> <p>22 our Commission is just recommendation to the</p>

1 Board. So there will be findings and facts and
2 recommendations that we'll vote on in October,
3 and then it will go to the Village trustees for
4 their consideration. Do I have a motion to
5 adjourn?

6 MR. KRILLENBERGER: I will so motion,
7 Krillenberg.

8 MS. FISHER: Fisher, second.

10:25PM

9 CHAIRMAN CASHMAN: Second. Roll call,
10 please, Chan.

11 MR. YU: Commissioner Krillenberg?

12 MR. KRILLENBERGER: Aye.

13 MR. YU: Commissioner Fisher?

14 MS. FISHER: Aye.

15 MR. YU: Commissioner Jablonski?

16 MR. JABLONSKI: Aye.

17 MR. YU: Chairman Cashman?

18 CHAIRMAN CASHMAN: Aye.

19 MR. YU: Commissioner Crnovich?

10:24PM

20 MS. CRNOVICH: Aye.

21 MR. YU: Commissioner Fiascone?

22 MS. FIASCONE: Aye.

STATE OF ILLINOIS)

) ss.

COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR,
do hereby certify that I am a court reporter
doing business in the State of Illinois, that I
reported in shorthand the testimony given at the
hearing of said cause, and that the foregoing is
a true and correct transcript of my shorthand
notes so taken as aforesaid.



Janice H. Heinemann CSR, RDR, CRR
License No. 084-001391

1 CHAIRMAN CASHMAN: Thanks to all the
2 citizens that are on the phone and on Zoom. I
3 really appreciate your time and patience and
4 also we appreciate all the time spent
5 corresponding with us and thank you.

6 * * *

7 (Which were all the proceedings had
8 in the above-entitled cause.)

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139:11, 143:7, 146:2, 146:4, 148:14, 149:12, 150:2 voted [1] - 88:17 voting [3] - 56:13, 137:13, 137:17	well-maintained [1] - 53:9 West [1] - 9:16 west [11] - 48:9, 48:14, 49:2, 50:7, 94:1, 94:7, 94:8, 95:2, 95:7, 108:11, 108:13 wetland [1] - 116:14 wetlands [4] - 14:5, 116:5, 116:18, 118:7 Wheaton [1] - 101:17 whoever's [1] - 112:12 whole [7] - 24:4, 37:22, 79:8, 91:17, 101:18, 103:18, 141:2 wide [3] - 18:15, 20:3, 135:14 width [2] - 79:21, 90:3 wife [6] - 85:5, 98:6, 103:7, 105:13, 106:11, 111:2 wildlife [3] - 16:9, 16:18, 116:17 willing [3] - 105:18, 116:3, 116:22 win [4] - 39:4, 40:4 win-win [2] - 39:4, 40:4 window [2] - 37:18 Wisconsin [1] - 116:16 wise [2] - 69:19, 133:1 wish [1] - 112:16 witnesses [1] - 53:12 Witnesses [1] - 6:13 Wolf [1] - 107:22 wonder [1] - 105:8 wonderful [2] - 39:9, 116:18 wondering [2] - 7:10, 126:5 wooded [1] - 118:14 woodland [1] - 117:9 woodlands [2] - 116:11, 116:14 woods [5] - 115:20, 117:7, 118:10, 119:8, 142:6 word [1] - 56:16 words [1] - 65:12 workmen [1] - 92:11 worried [1] - 39:13 worse [4] - 96:2, 102:9, 108:9, 108:10 worst [1] - 128:8 worst-case [1] - 128:8 worth [1] - 33:13 wrap [1] - 52:8	written [4] - 5:4, 6:5, 57:5, 61:14 wrote [1] - 91:10 Y yard [8] - 12:19, 79:21, 79:22, 90:5, 124:11, 132:19, 133:13 yards [2] - 98:3, 133:11 year [8] - 59:19, 74:18, 85:8, 104:19, 107:4, 124:12, 128:2, 128:3 years [32] - 8:17, 11:4, 11:5, 12:17, 24:10, 37:8, 37:11, 38:6, 42:14, 43:1, 43:2, 43:9, 49:22, 85:7, 88:19, 98:6, 98:8, 99:8, 101:20, 101:21, 102:1, 102:4, 103:9, 104:18, 105:15, 111:3, 116:2, 121:11, 122:17, 123:20, 130:11, 131:3 yes-or-no [1] - 138:4 yeses [1] - 149:13 yield [1] - 72:10 York [3] - 119:20, 124:8, 124:21 young [4] - 35:16, 39:16, 68:6, 88:6 younger [2] - 39:19, 39:21 yourself [3] - 101:6, 112:14, 112:16 YU [73] - 4:1, 4:9, 4:11, 4:13, 4:15, 4:17, 4:19, 4:21, 5:16, 6:12, 7:13, 82:14, 82:17, 82:19, 82:21, 83:1, 83:3, 83:21, 84:1, 84:3, 84:5, 84:7, 84:9, 84:11, 102:21, 110:7, 111:20, 112:2, 112:7, 112:10, 112:15, 112:20, 112:22, 113:7, 113:13, 113:21, 114:3, 114:13, 114:17, 114:19, 120:17, 123:5, 123:8, 125:14, 134:11, 134:14, 134:16, 134:18, 134:20, 134:22,	138:5, 138:7, 138:18, 146:21, 147:2, 147:4, 147:6, 147:8, 147:10, 148:15, 148:18, 149:3, 149:5, 149:7, 149:9, 149:14, 149:18, 150:11, 150:13, 150:15, 150:17, 150:19, 150:21 Z zoning [34] - 10:9, 10:17, 11:15, 26:10, 26:15, 27:22, 28:13, 29:14, 30:19, 31:1, 31:7, 31:13, 31:15, 33:19, 56:16, 72:21, 74:16, 80:21, 88:5, 89:2, 92:19, 111:9, 111:10, 111:13, 117:20, 118:6, 118:19, 118:21, 119:1, 119:15, 122:17, 125:1, 141:7 Zoning [4] - 55:22, 88:17, 117:21, 118:16 zoning-creep [1] - 89:2 zoning-related [1] - 26:15 Zoom [3] - 6:21, 56:8, 151:2
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HINSDALE PLAN COMMISSION

Application: Case A-23-2020 – Applicant: Barker/Nestor, Inc., architect for Peter Burdi, owner of Nabuki Restaurant

Request: Exterior Appearance/ Site Plan – 16 E. 1st Street in the B-2 Central Business District

DATE OF PLAN COMMISSION (PC) REVIEW: September 9, 2020

DATE OF BOARD OF TRUSTEES 1ST READING: October 6, 2020

FINDINGS AND RECOMMENDATION

I. FINDINGS

1. The PC heard testimony from the applicant, Ryan Nestor and Joel Yanong, architects for Peter Burdi. They reviewed that Nabuki restaurant is expanding for the second time since it's established and looking to expand into the 16 E. 1st Street space. The goal of the exterior appearance plan is to extend the identity of Nabuki to the neighboring building and is driven by the extension of the interior. The high top bar is a high demand seating area and this plan would allow the area to be extended. Ryan Nestor stated that the existing recessed doorway will not serve a purpose anymore and would recycle the brick for the new knee wall to ensure the same texture of the existing building. (11-606(E))
2. The subject property is located in the Downtown Historic District, and a Commissioner Crnovich cited the Title 14 Historic Preservation code, hoping that the Historic Preservation Commission (HPC) would be able to review and give their recommendation on the request. Commissioner Crnovich expressed that this is not the right way moving forward without HPC input. (11-606(D) and Title 14-5-1(B))
3. Commissioner Crnovich is opposed to the white paint color and recommends using only the black awning, and referenced that the restaurant left the original brick exposed when Nabuki expanded to the east in 2016. ((11-605(E)(2))
4. The applicant stated that the aforementioned 2016 expansion was a failure due to being disconnected with the main restaurant area, and to this end, will be converted into a carryout area for Nabuki. The 2016 expansion is also challenging due to the very narrow floorplan configuration. ((11-605(E)(1)(d))
5. Commissioner Jablonski believes the request is an attractive one and a great addition to the downtown. Commissioners Krillenberger and Fiascone agreed. ((11-605(E)(2))
6. Commissioner Fisher believes the windows look good and the bottom of the plan looks fine, but splitting the building in half with the white paint looks odd. Commissioner Fisher asked if there were other ideas if they did not paint the top of the building white. The applicant replied there were no other ideas considered, and it was either paint or not to paint. ((11-605(E)(2))
7. Chairman Cashman does not support painting the brick above the awning because it would create an unbalanced appearance to the building and pointed out that this is a contributing building to the historic downtown district. ((11-605(E)(2))
8. There were no public comments at the Plan Commission public meeting on September 9, 2020. (11-604(E))

II. RECOMMENDATIONS

Following a motion to recommend approval of the proposed exterior appearance, with the condition that the applicant not paint above the awning, and the recommendation that the Village Board receive feedback from the Historic Preservation Commission, the Village of Hinsdale Plan Commission, on a vote of six (6) "Ayes," and two (2) "Absent," recommends that the President and Board of Trustees approve the application as stated.

THE HINSDALE PLAN COMMISSION By: _____, Chairman

Dated this day of _____, 2020.




MEMORANDUM

DATE: October 14, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 222 E. Ogden Ave. – Request by Lakeside Bank - Special Use Permit, Exterior Appearance/Site Plan to Construct a New 2-story Bank with 2 Drive-thru Lanes
Case A-22-2020 – B-3 General Business District - *Continued from 09.09.20 PC Meeting*

Summary

The Village of Hinsdale has received a Special Use Permit, Exterior Appearance/Site Plan application from Lakeside Bank, requesting approval to demolish the existing former medical office building to construct a new 2-story, 16,425 SF bank at 222 E. Ogden Avenue in the B-3 General Business District. Approximately 2,800 SF would be utilized for customer service and 13,625 SF for employee office space. The proposed 2-story brick building features an integrated drive-thru within the building envelope versus typical canopy style drive-thru designs. Lakeside Bank plans to offer branch hours between 8 AM to 5 PM and operations staff hours between 7 AM and 6 PM. A bank is a permitted use in the B-3 General Business District, however, a special use permit is required for a drive-thru.

Request and Analysis

The application proposes to demolish the existing 1-story building and construct a new 2-story building, featuring face brick, limestone trim, Renaissance stone base and dark aluminum windows. Roof equipment would be concealed behind the mansard roof. The applicant plans to utilize the existing curb cuts and parking lot. Per the plans, the new building would have essentially the same front setback and lot coverage, and 10 feet further away from the rear lot line. The existing parking lot would improve with landscaping and offer more parking due to lower building SF and fewer required ADA spaces needed for the former medical use. There is a parking lot south/behind the subject property and Lakeside plans to install a new fence at the rear lot line.

B-3 General Business District	Code	Existing	Proposed
Building Height Max. (height/stories)	30ft. / 2	20ft. / 1.5	30ft. / 2
Floor Area Ratio (FAR) Max.	0.5	0.43	0.28
Lot Coverage Max.	90%	82%	80%
Front Yard Setback (minimum distance from Ogden Ave. Centerline)	100 ft.	109 ft.	110 ft.
Rear Yard Setback	20 ft.	97 ft.	107 ft.



MEMORANDUM

The subject property is adjacent to B-3 General Business District parcels to the east, west, and south. There is a Shell gas station to the east, a 2-story multi-use building to the west (including a yoga studio and med spa) and a parking lot to the south. A traffic study by KLOA (dated July 14, 2020) is included in the application and shows a comparison between the existing 25,400 SF medical office building and proposed 16,500 SF bank/office building use. On page 5, Table 1 of the traffic study, it shows a general reduction in weekday traffic, with the exception of weekday evening peak hour "in" traffic, from 25 to 29 trips per day.

Process

Within forty five (45) days following the conclusion of the public hearing, the plan commission shall transmit to the board of trustees its recommendation in the form specified by subsection [11-103H](#) of this article, recommending either granting the application for a special use permit; granting the application subject to conditions, as specified in subsection F of this section; or denying the application. The failure of the plan commission to act within forty five (45) days, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed special use permit.

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-604 and 11-606.

Attachments:

- Attachment 1 – Special Use Permit, Exterior Appearance/Site Plan Application and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Street View of 222 E. Ogden Avenue
- Attachment 4 - Aerial View of 222 E. Ogden Avenue
- Attachment 5 - Birds Eye View of 222 E. Ogden Avenue (facing south)

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

North & South Elevations
Scale: 3/32" = 1'-0"



North Elevation



South Elevation

 **Lakeside Bank**
Lakeside Bank
developer

PAPPAGEORGE
HAYMES

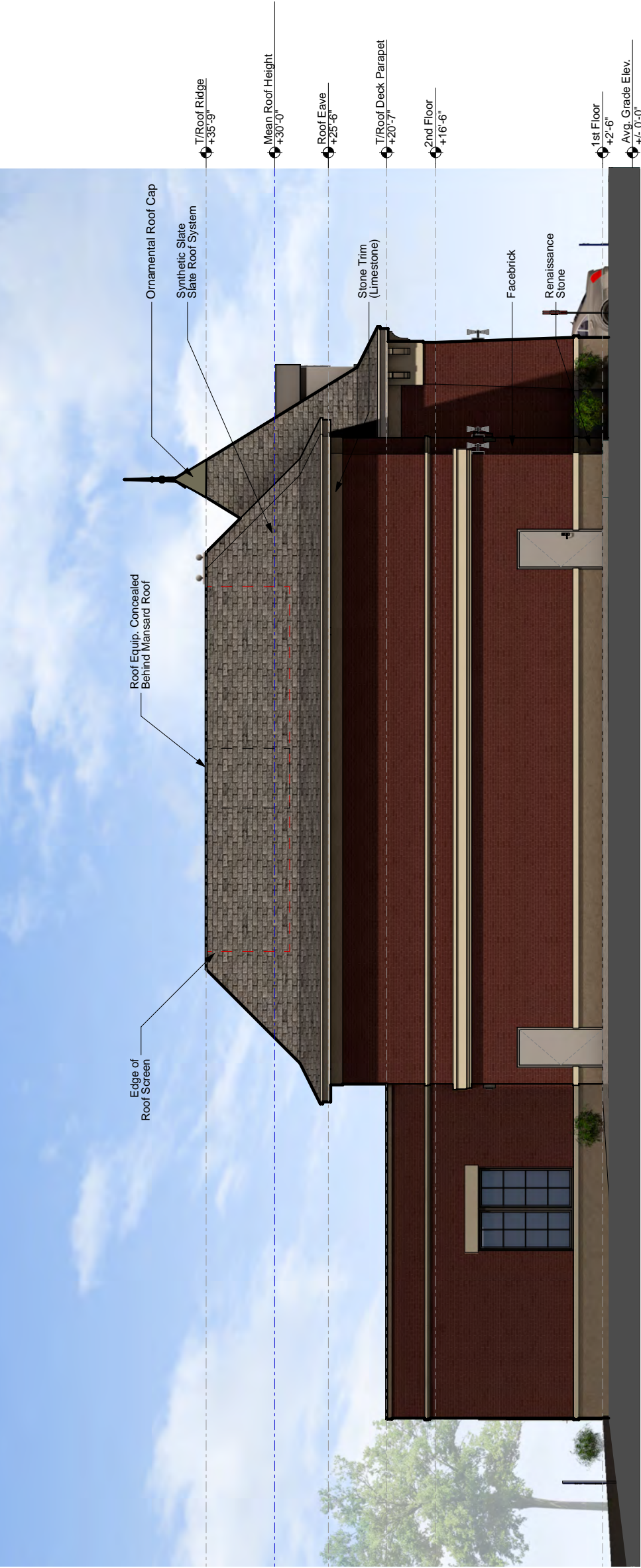
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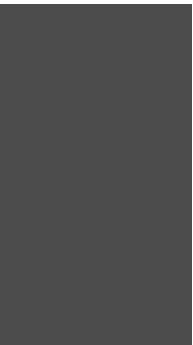
These plans are schematic and are subject to further refinement for compliance with code
required existing. We safety improvements and coordination with existing systems.



West Elevation

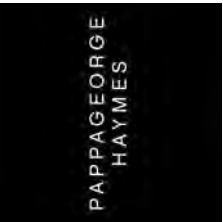


East Elevation



Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

NE Corner Rendering

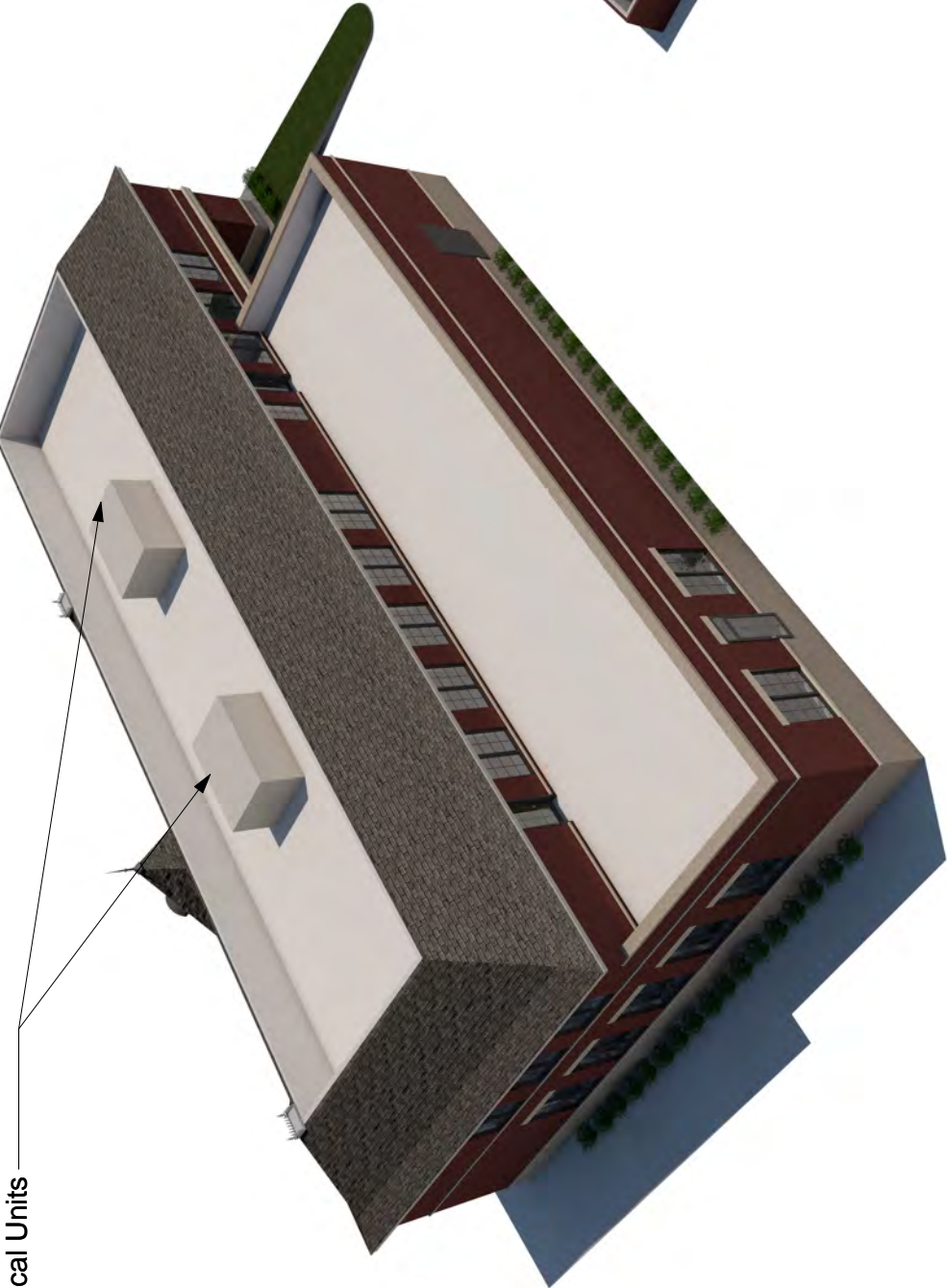
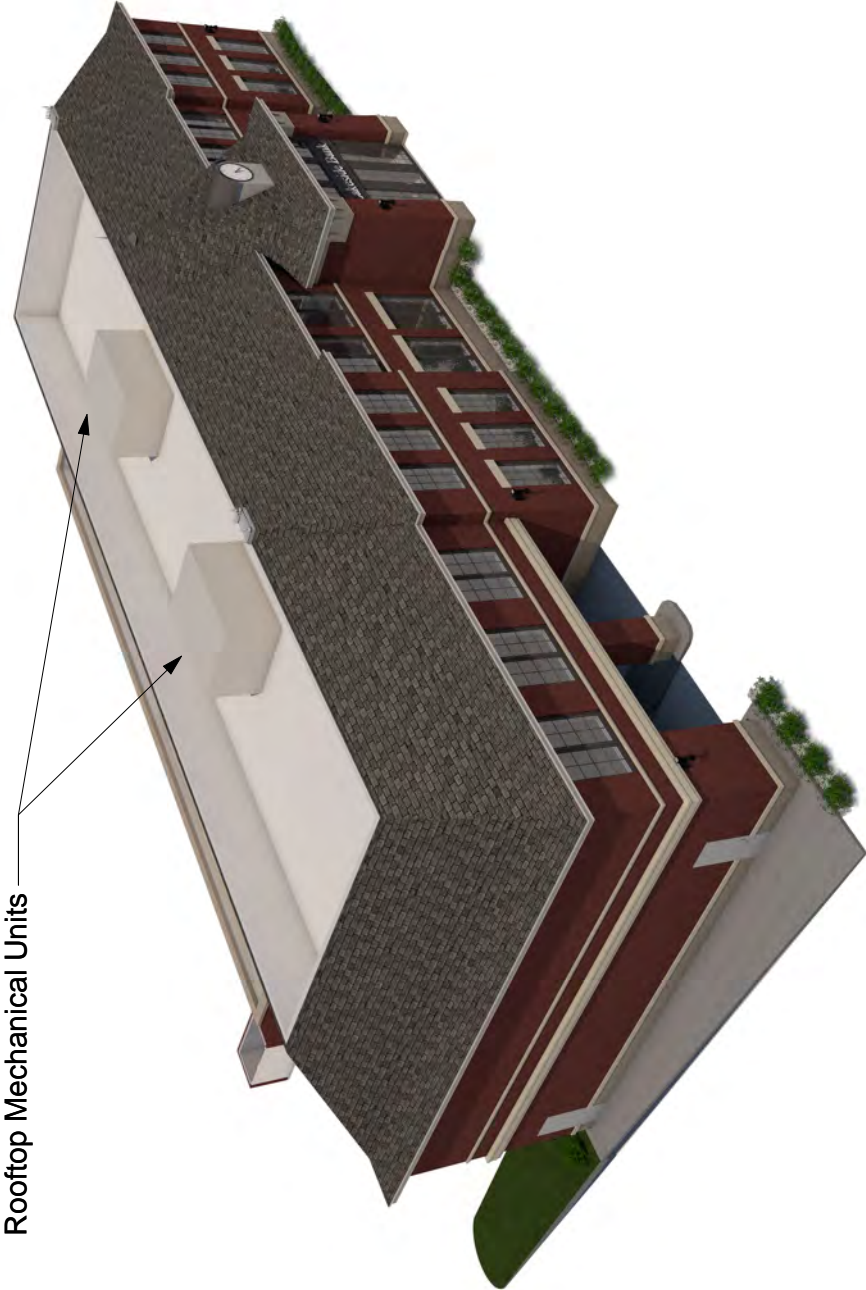


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PH # 192705

These plans are schematic and are subject to further refinement for compliance with code required existing, life safety improvements and coordination with existing systems.

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NE Corner Aerial

Rooftop Mechanical Units

SW Corner Aerial

ALTA / NSPS LAND TITLE SURVEY

of

LOT 1 IN SCHMIDNER'S RESUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, R7D-33025, IN DUPAGE COUNTY, ILLINOIS.

The property described and shown hereon is the same property as described in **Chicago Title Insurance Company commitment number 160NW90006CS**, dated **JULY 19, 2016**.

TAX ID NUMBER:
09-01-209-003

COMMON ADDRESS: 222 EAST OGDEN AVENUE, HINSDALE, IL 60521-2468
AREA= 58,893.6 SQ. FT. / 1.35 ACRES

Table A Items

- Monuments were placed or located at the corners of the subject property as shown on the survey.
- The address of the property is shown on the survey.
- Flood Zone Classification: THIS PARCEL HAS BEEN DETERMINED AS BEING IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP IN DU PAGE COUNTY, AS SHOWN ON MAP NO. 17043C090301 WITH AN EFFECTIVE MAP DATE OF DECEMBER 16, 2004.
- The gross land area is shown on the survey.
- The exterior dimensions of the buildings are shown on the plat.
- The exterior dimensions of the buildings are shown on the plat.
- There are a total of 50 standard and 7 Disabled parking spaces, as shown on the plat.
- Location of existing utilities observed evidence only.
- No evidence of current earth moving work, building construction or building additions were observed in the process of conducting this survey.

Recorded Documents

- Per **Chicago Title Insurance Company** commitment number **160NW190006CS**, dated **July 19, 2016**,
Special Exceptions per Schedule B are as follows:
9. **Flag Creek Water Reclamation District Ordinance 756**, Doc No. **R2005-037066**, dated **March 13, 2009 - AFFECTS PROPERTY-NOT PLOTTABLE**.
16. **Grant of Easement for Intersecting sewer**, Doc No. **R74-9137**, dated **February 24, 1972**, & **Quit Chain Deed**, Doc No. **R61-27229**, dated **May 27, 1981 - DOES NOT AFFECT PROPERTY**.
19. **Non-excludable Easement and Covenants**-Doc No. **R73-33823**, dated **June 11, 1973** with amendments thereto recorded as Doc No. **R73-58331** and **R61-42265 - NOT SUBJECT TO**.
20. **License agreement for ingress and egress**-Doc No. **R73-33822**, dated **June 11, 1973** and supplementary declaration of **Easement**-Doc No. **R79-107322 -NOT SUBJECT TO**.
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25. **Grant of Utility Easement**-Doc No. **R61-28889**, dated **October 30, 1961 - PLOTTED ON DRAWING**.
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GENERAL NOTES:

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NOTES:

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To: Adventist Midwest Health, an Illinois not-for-profit corporation

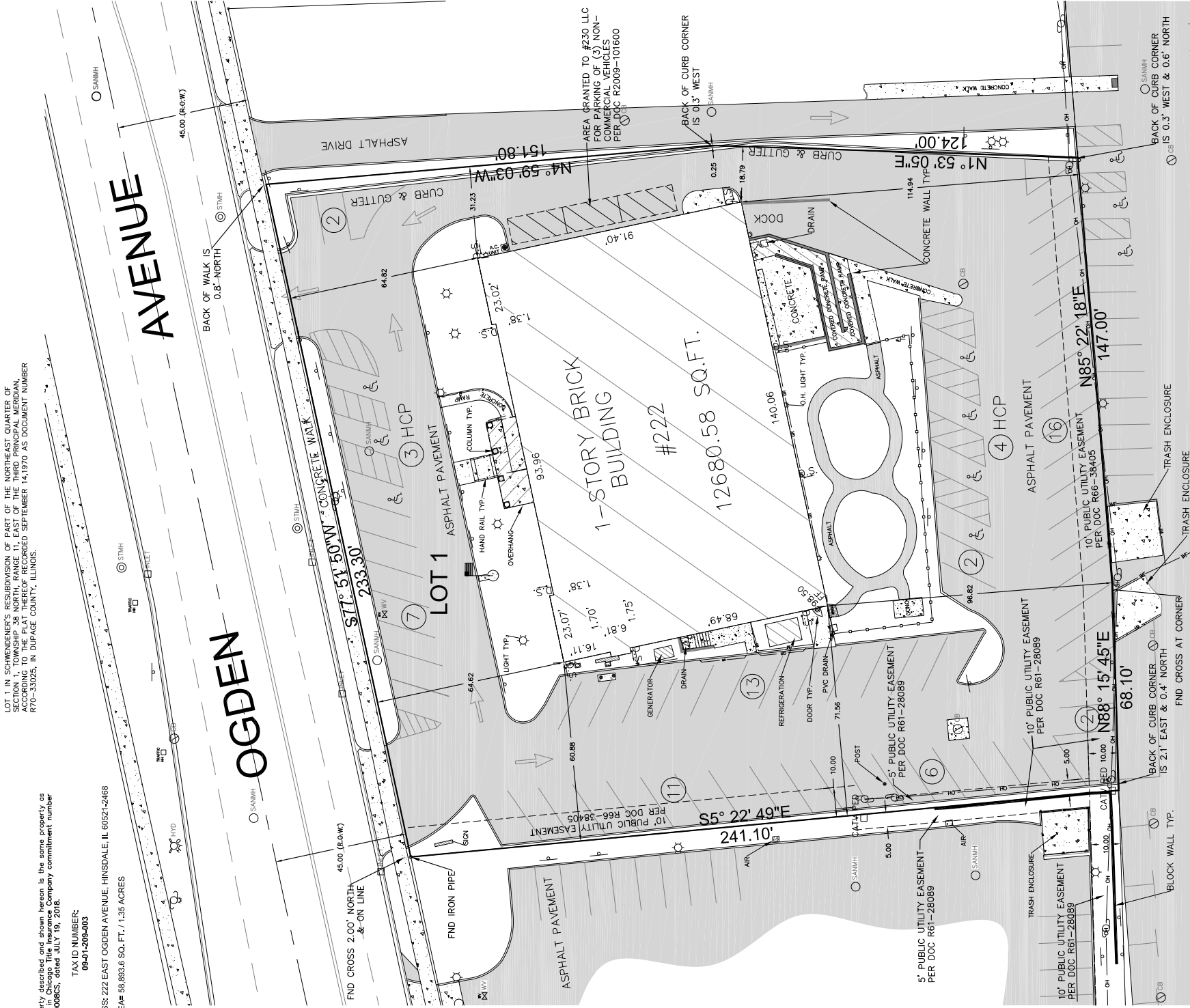
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DATE OF PLAT OR MAP: **November 2, 2018**

BY: *Anthony D. Smierciak*

ANTHONY D. SMIERCIAK
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3888

EXPIRES 11-30-20



LOT 1 IN SCHMIDNER'S RESUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, R7D-33025, IN DUPAGE COUNTY, ILLINOIS.

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To: Adventist Midwest Health, an Illinois not-for-profit corporation

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DATE OF PLAT OR MAP: **November 2, 2018**

BY: *Anthony D. Smierciak*

ANTHONY D. SMIERCIAK
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3888

EXPIRES 11-30-20



NORTH
SCALE: 1"=20'

PROJECT
LOCATION



VICINITY MAP
NOT TO SCALE

PREPARED BY: **hbe**
Hoeffler-Butler Engineering, Inc.
CONSULTING CIVIL ENGINEERS • LAND SURVEYORS
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-000819-0002
8714 S. ROBERTS ROAD HICKORY HILLS, ILLINOIS 60457
(708) 599-9880 FAX: (708) 599-8790

ALTA / NSPS LAND TITLE SURVEY
222 EAST OGDEN AVENUE
HINSDALE, IL 60521
LAW OFFICE OF JOHN F. DIXON, LLC
1415 W. 55TH STREET, SUITE 101 C0U

PREPARED FOR:

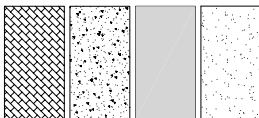
PROJECT NO:
18-068

DRAWING FILE:
ALTA.DWG

1 OF 1

NO	DESCRIPTION	BY	DATE
1			
2			
3			
4			
5			
6			

TELEPHONE SERVICE BOX
ELECTRIC METER
GAS METER
DOWN SPOUT
GAS VALVE



LEGEND:

WSO = WATER SHUT OFF
WV = WATER VALVE BOX
WVV = WATER VALVE IN VAULT
2' STORM CATCH BASIN
4' STORM CATCH BASIN
STORM MANHOLE
SANITARY MANHOLE
POWER POLE
LIGHT POLE
HYDRANT
SIGN
METAL FENCE
WOOD FENCE
OVERHEAD WIRES
SANITARY SEWER
STORM SEWER
WATER SERVICE
FENCE

ABBREVIATIONS

DIP = DUCTILE IRON PIPE
FF = FINISHED FLOOR
GUTTER = GUTTER OF CURB
TCBC = TOP OF CURB BACK OF CURB
TCBC DEP = TOP OF DEPRESSED CURB
TF = TOP OF FOUNDATION
FND X = FOUND CROSS CUT
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FND PKR = FOUND PK MAIL
FND PKR = FOUND PK MAIL
REC = RECORD VALUE
MEAS = MEASURED VALUE



Northeast Corner



Southwest Corner



Northwest Corner



Southeast Corner



Existing North (Front) Elevation



Existing East (Side) Elevation



Existing South (Rear) Elevation



Existing West (Side) Elevation



Existing Southeast Corner & Loading Dock



Existing Parking along South Property Line



Existing South (Rear) Elevation



Existing Southwest Corner

Zoning Analysis

Zoning Data - 222 E Ogden Ave

Zoning Basis	Existing Zoning	Proposed	Notes
	B-3	B-3	
Net Site Area:	58,894	58,894	Note 1
Permitted Uses	Note 2	Bank/Offices	
Max Floor Area Ratio:	0.50	0.28	Note 6
Max. F.A.R. Area:	29,447	16,425	
Max. Total Lot Coverage	53,005 (90%)	47,314 (80.3%)	Note 6
Max. Building Coverage	NA	NA	
Min. Lot Area & Dimensions			Note 6
PD	None	None	
All Other Uses (sf)	6,250	58,894	
Lot Width, feet	50	233.3	
Lot Depth, feet	125	241.1	
Required Yards/Setbacks (feet):			
Front & Corner Yards	25	100	
Front Setback, from Ogden Ave CL	100	100	
Side Yard & Setback	10	24.667	
Rear Yard & Setback	20	107	
Max. Building Ht (feet.):			Note 6
Principal structures, feet	30	30	
Principal structures, stories	2	2	
Building Wall Separation			
Facing Interior Side Property Line (ft)	12	24.667	
Facing Other Front/Rear Walls (ft)	30	107	
On-Site Open Space (sf)	NA	NA	
Ground Floor Commercial Space			
Max Floor Area (sf)	NA	NA	
Min. Floor Area (sf)	NA	NA	
Min. Fl to Fl height (ft)	NA	NA	
Building Programmatic Usage			
Finance (sf)	-	2,732	
Business/Office (sf)	-	13,693	
Min. Required Auto Parking:			
Finance, Insurance, & Real Estate	1,250	11	
Business & Prof Office (10k-50k sf)	1,275	50	Note 3, 4, 7, 8, 10, 11
Drive-In Lanes	2	2	
Drive-in Stacking (cars)	6	6	
Req'd Offstreet Loading:			Note 8
Office Uses	Note 5	1	Note 5

Notes:

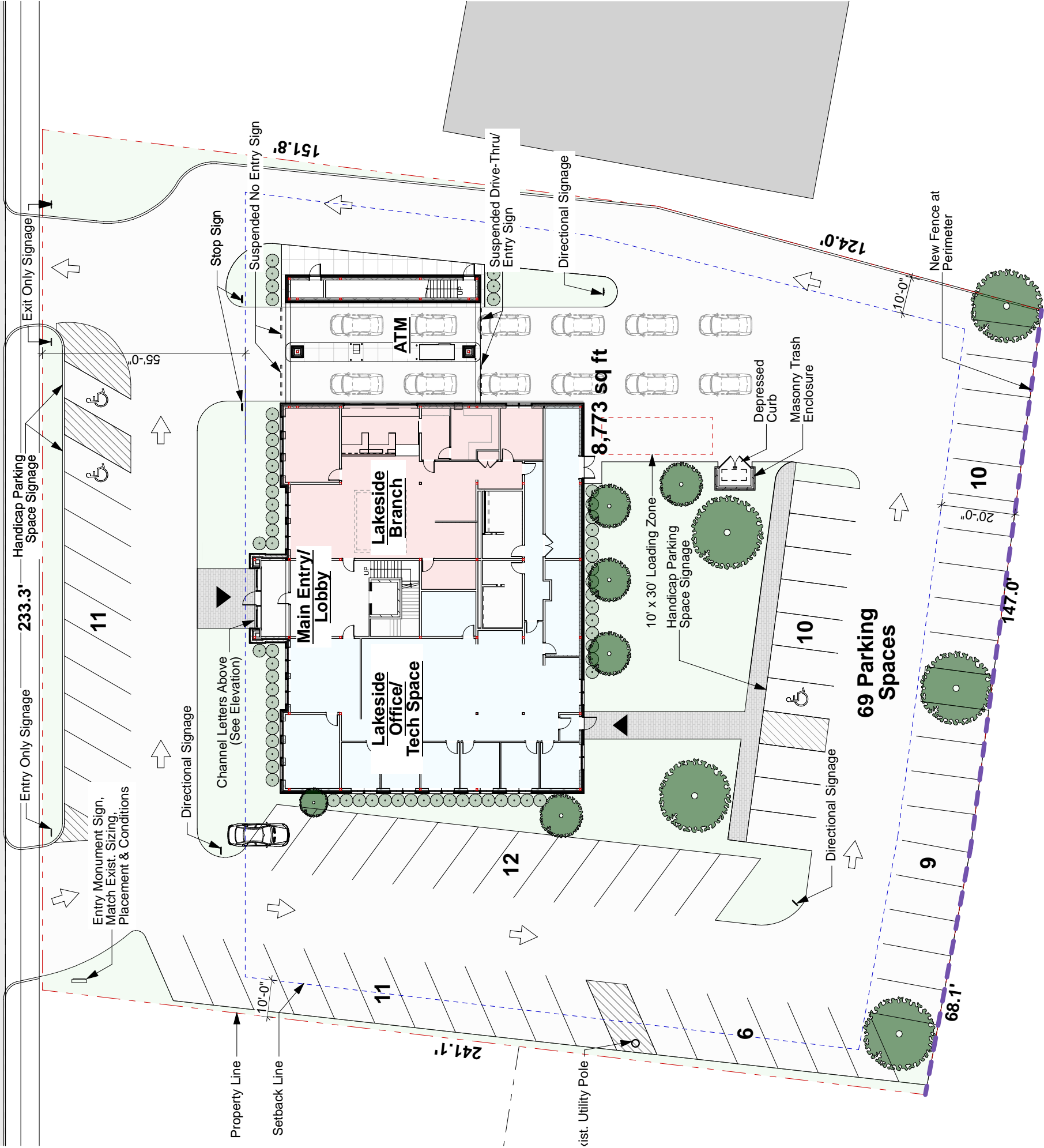
1. Site Area is per information provided in ALTA Survey dated July 19, 2018
2. Special Use for the following is permitted in a B-3 district subject to an issuance of a special use permit: (1) Depository & non-depository credit institutions, not including drive-in establishments or automatic teller machines, except automatic teller machines attached to the principal structure on the lot and only subject to additional provisions (2) Drive-in depository and non depository credit institutions, but only subject to additional provisions, and (3) Automatic teller machines when not attached to the principal structure on the lot.
3. Required stacking spaces leading to each drive-in window
4. Any fraction shall require one additional parking space.
5. 1 required loading space for the first 10,000-100,000 sf of gross area
6. See Sec. 5-110: Bulk, Space, and Yard Requirements
7. Widths: The total width of driveways measured at the lot line on a parcel of property used for nonresidential purposes shall not exceed one-half (1/2) the lot frontage, and no single driveway approach shall exceed thirty feet (30') measured at the property line. The width of the driveway approach measured at the curb shall in no case be greater than five feet (5') more than the width measured at the lot line.
8. Location Of Drives: On a parcel of property used for nonresidential purposes, no driveway approach shall be located within five feet (5') of the property line, or within ten feet (10') of any other driveway approach as measured at the property line. Additionally, no new driveway approach for secondary access to or from a commercially-zoned property shall be permitted to be created onto a street where the access drive is directly adjacent to, or directly across from a residentially-zoned district.
9. Location Of Drive-In Lanes: Drive-in lanes shall not be permitted in any front or corner side yard; provided, however, only that a required access drive aisle from the public street to the drive-in lanes may traverse a front or corner side yard in a manner that minimizes the lot coverage within that front or corner side yard.
10. Per the 1:250 and 1:275 parking space requirements, the proposed 16,425 sf building would require 61 parking spaces. The current site plan provides 69 spaces.
11. Per 9-104-G-2b: Off street parking for uses specified in this subsection shall not be located in required front or corner side yards.



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Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

Site Plan
Scale: 1" = 30'



1ST FLOOR SF SUMMARY:

Branch Bank SF:	2,732 sf
Lakeside Office/Tech Space:	4,613 sf
Common Area:	1,428 sf

TOTAL 1st Floor Plate: 8,773 sf

TOTAL BUILDING SF: 16,425 sf

TOTAL SF SUMMARY:

Branch Bank SF: 2,732 sf
Lakeside Office/Tech Space: 12,265 sf
Common Area: 1,428 sf

TOTAL BUILDING SF: 16,425 sf



Lakeside Bank

Lakeside Bank
developer

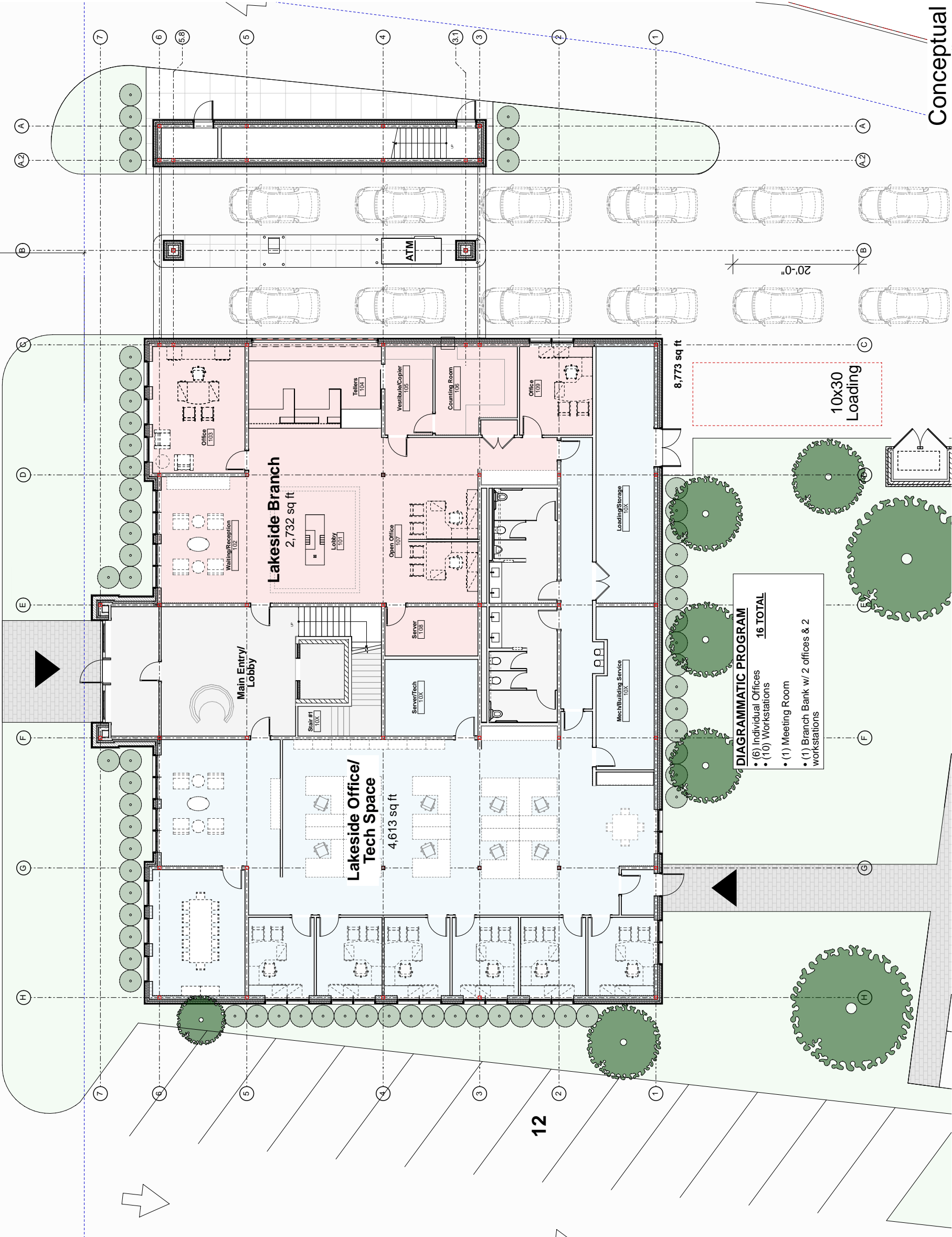
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7/31/20
PH # 192705

These plans are schematic and are subject to further refinement for compliance with code required existing, life safety improvements and coordination with existing systems.

Attachment 1

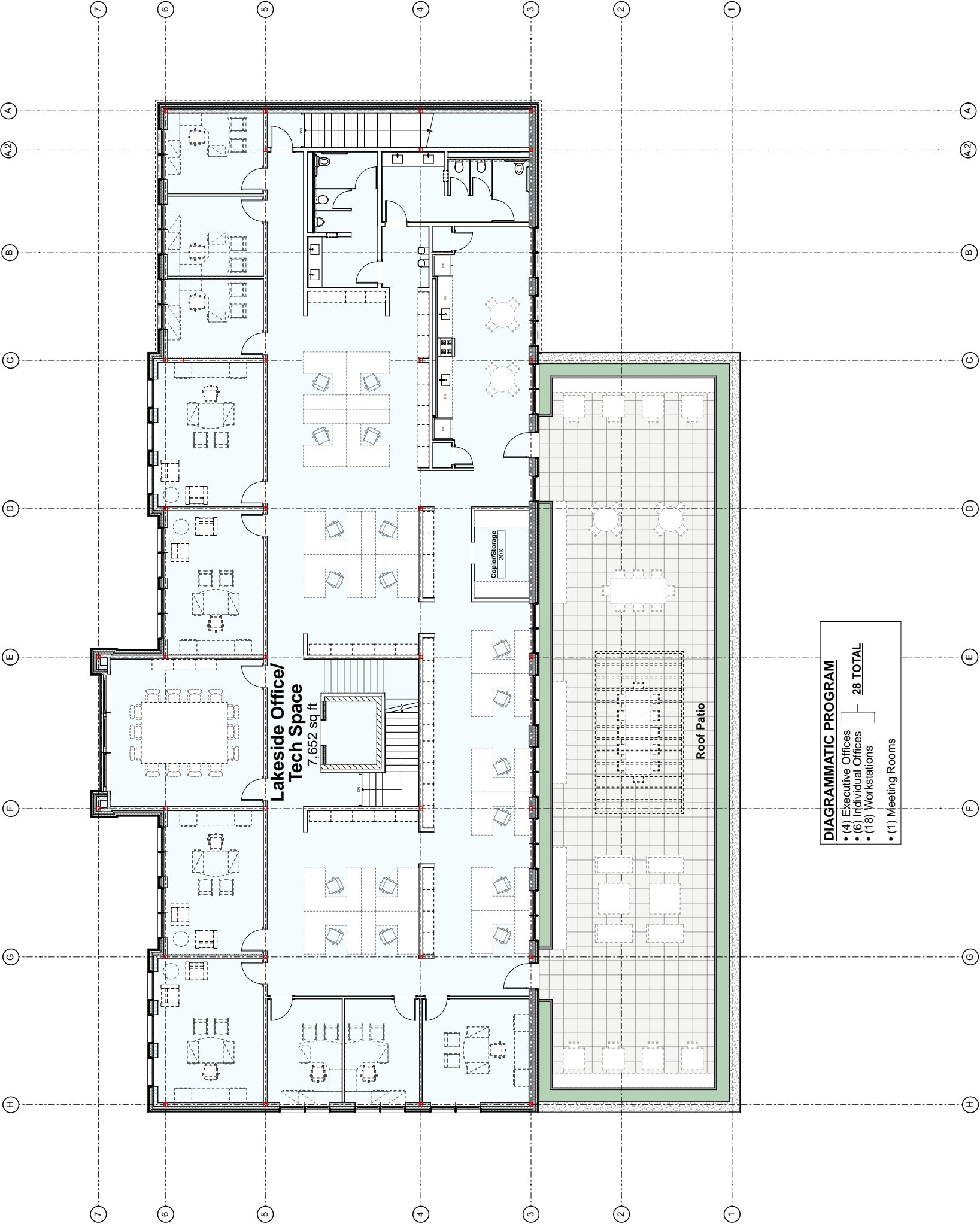


1ST FLOOR SF SUMMARY:

Branch Bank SF:	2,732 sf
Lakeside Office/Tech Space:	4,613 sf
Common Area:	1,428 sf
TOTAL 1st Floor Plate:	8,773 sf
TOTAL BUILDING SF:	16,425 sf



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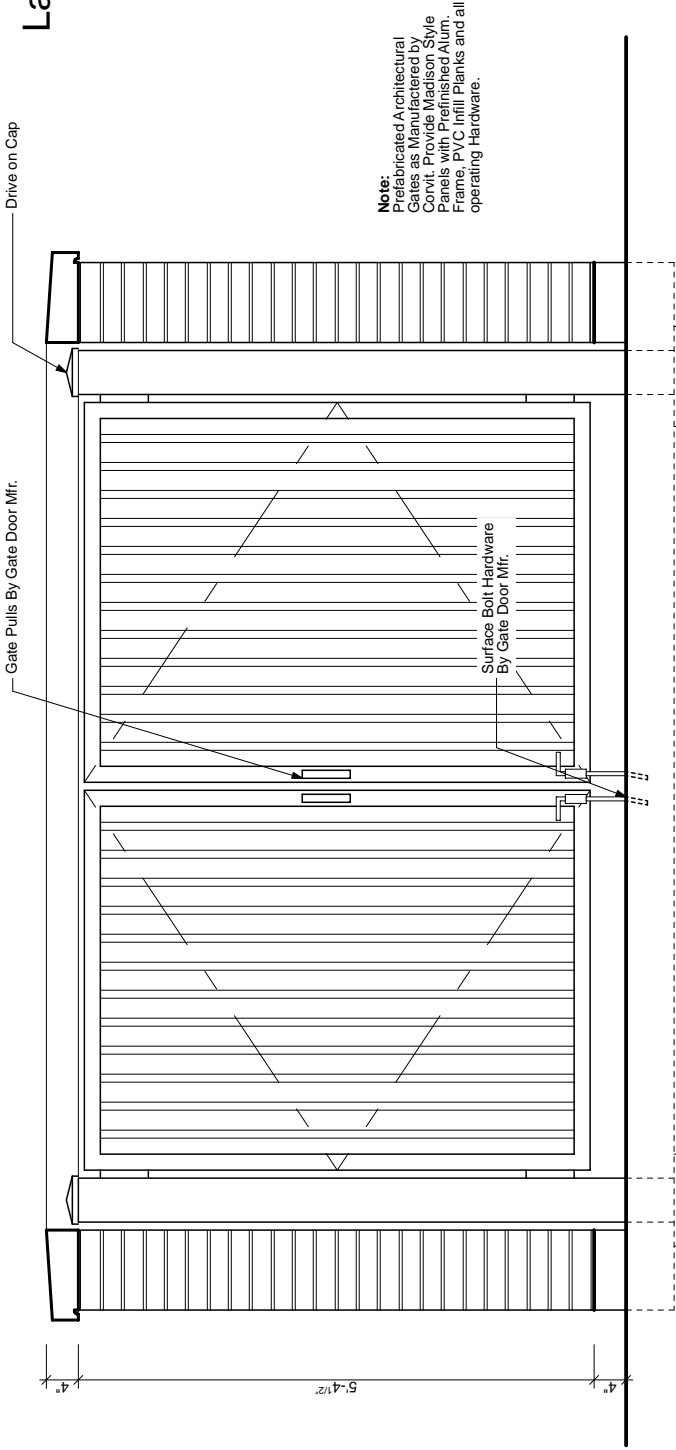
2ND FLOOR SF SUMMARY:

Total 2nd Floor Plate:	7,652 sf
TOTAL BUILDING SF:	16,425 sf



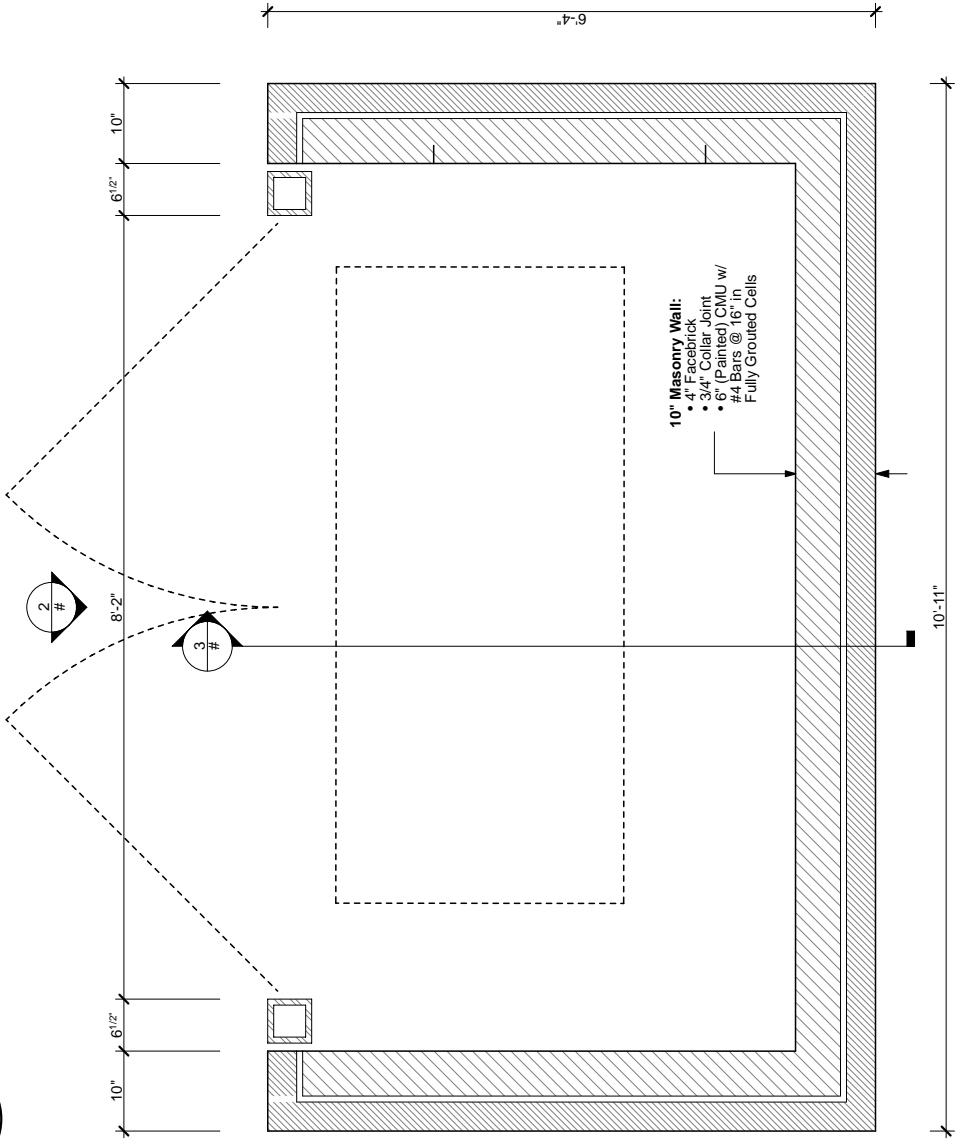
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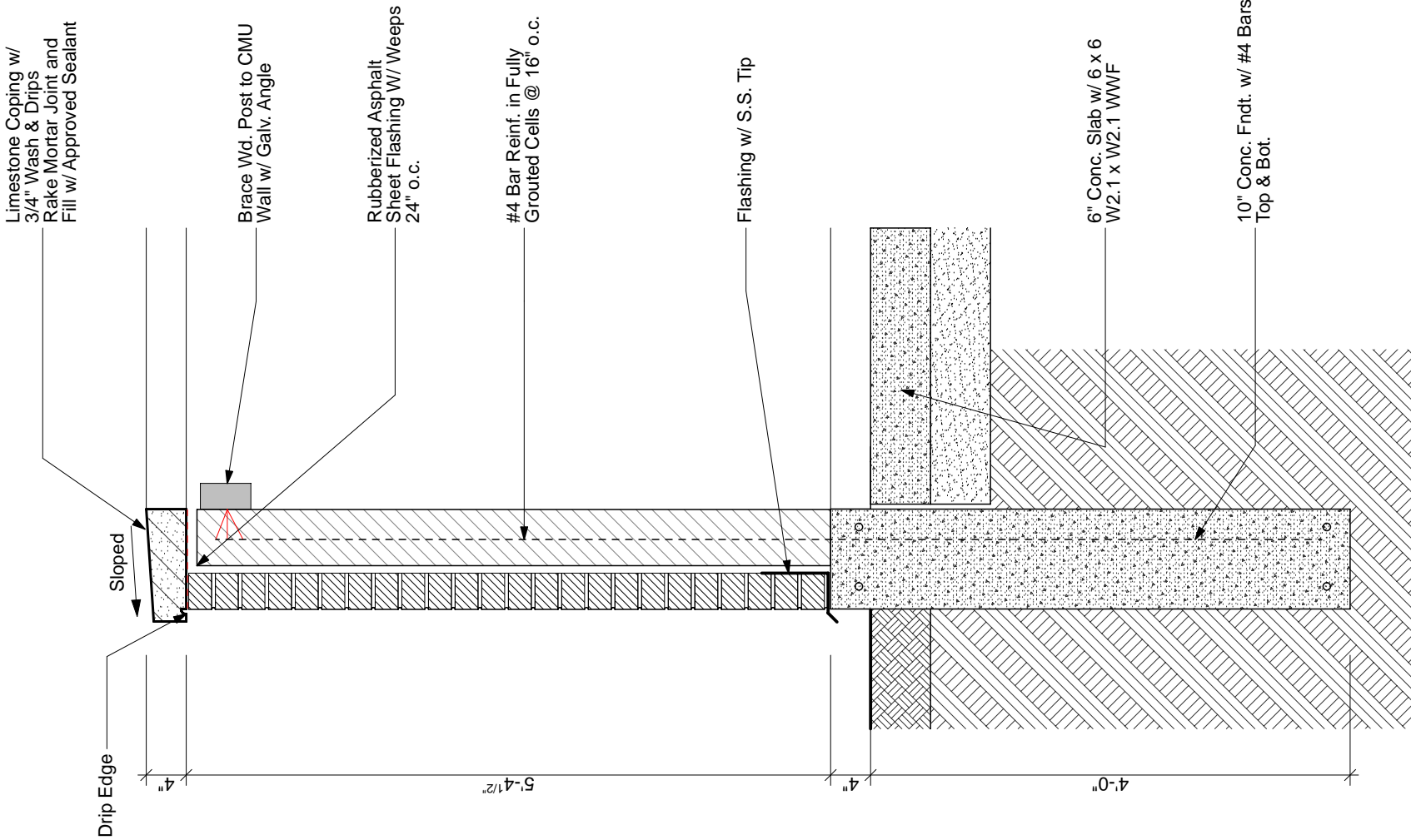
2 Elevation - Trash Enclosure

SCALE: 1/2" = 1'-0"



1 Plan - Trash Enclosure

SCALE: 1/2" = 1'-0"

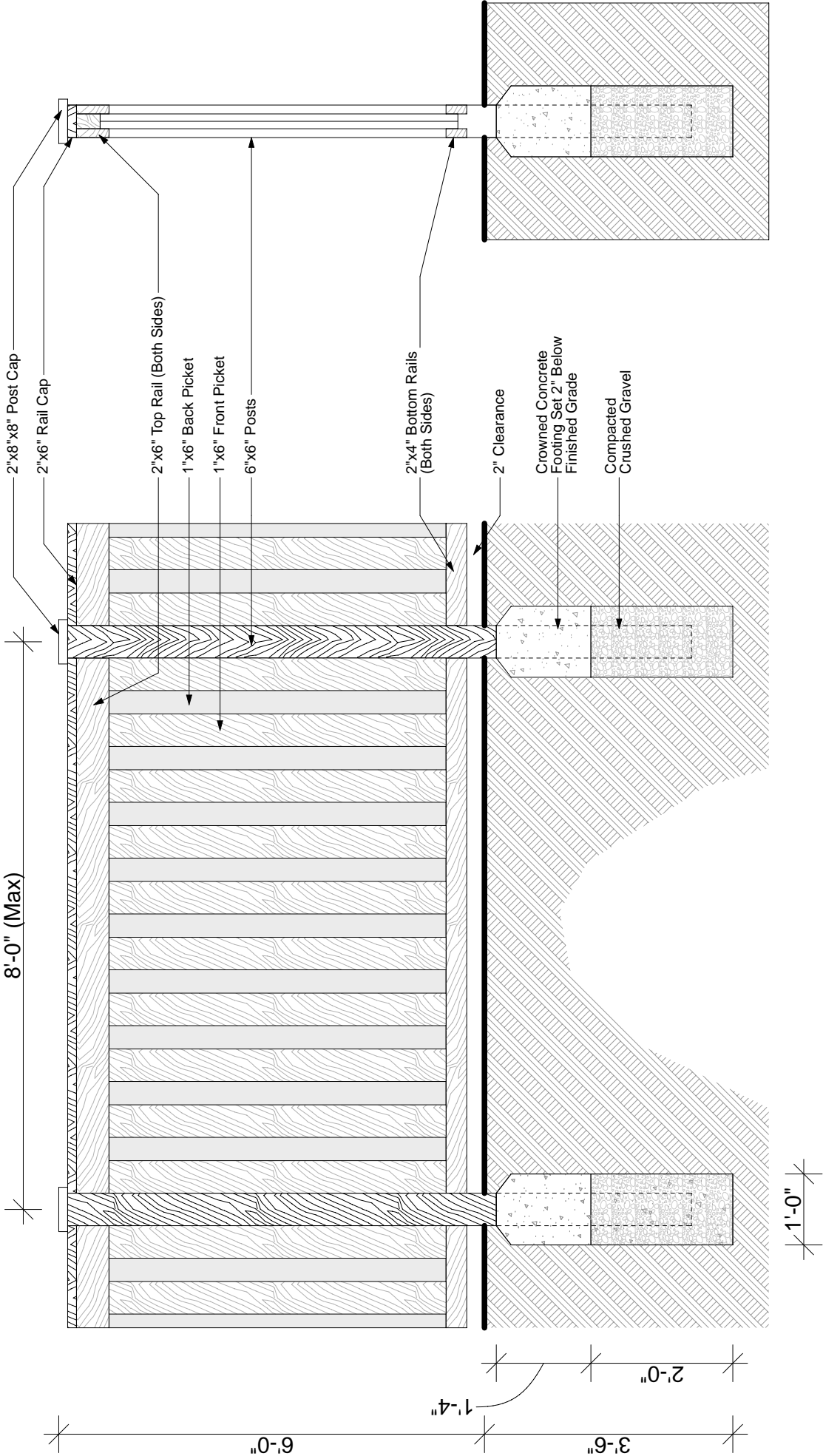


3 Section. - Trash Enclosure

SCALE: 3/4" = 1'-0"



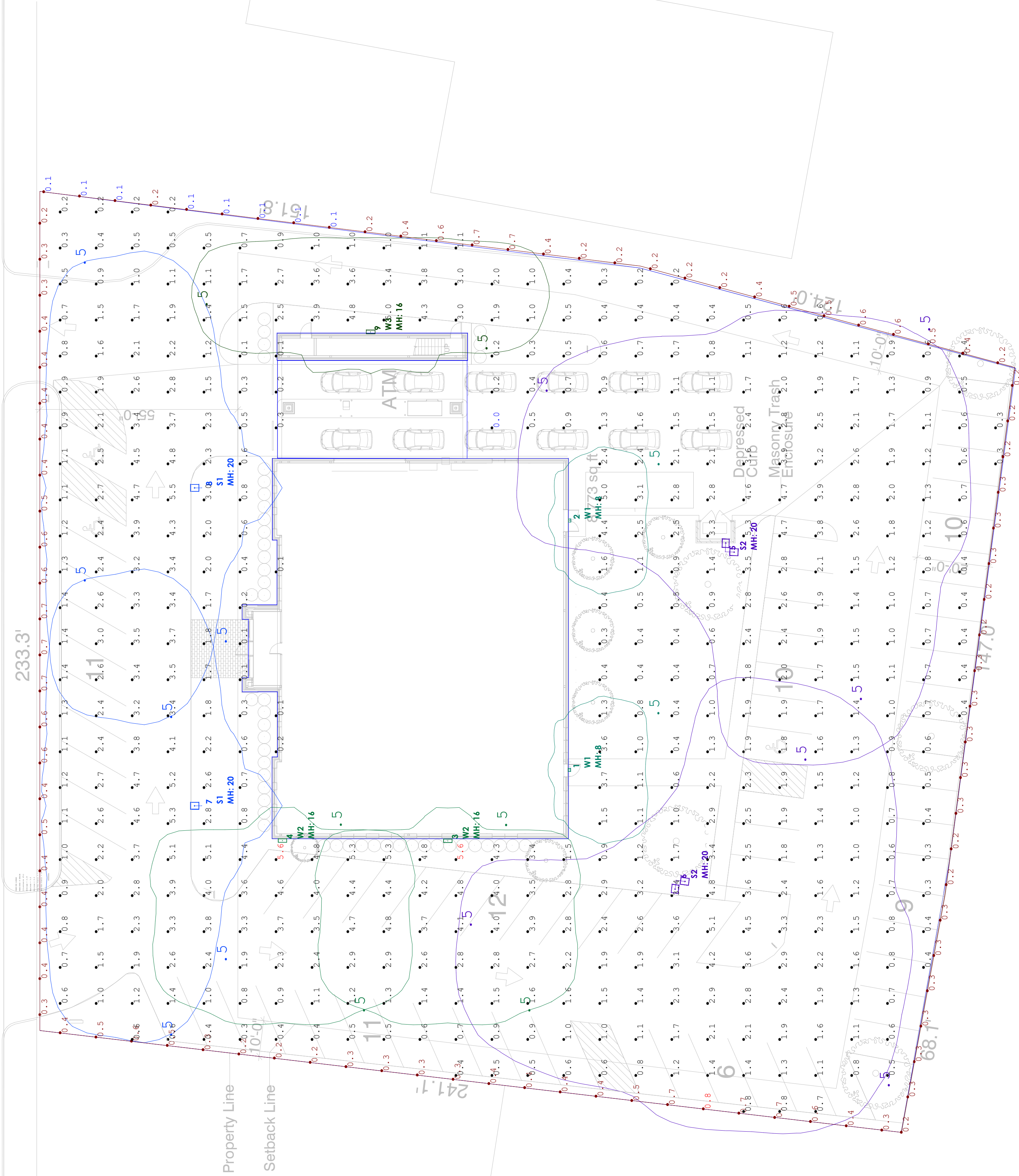
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1

6' Perimeter Fencing Section & Elevation

SCALE: 1/2" = 1'-0"



Luminaire Schedule		Luminaire								
Symbol	Qty	Tag	Label	Arrangement	Lum. Watts	Lum. Lumens	Arr. Lum. Lumens	ULF	Manufacturer	Description
☐	2	S1	VP-S-60L-136-4K7-3	SINGLE	135.383	15344	15344	0.900	Hubbell Lighting Inc, dba	VP-S-60L-136-4K7-3
	2	S2	VP-S-48L-110-4K7-4W-2	2 @ 90 DEGREES	107.36	11819	23638	0.900	Hubbell Lighting Inc	VP-S-48L-110-4K7-4W
☐	2	W1	TRP1-12L20-4K7-4	SINGLE	19.9	2151	2151	0.900	HUBBELL OUTDOOR LIGHTING	GRP1-12L20-4K7-4
	2	W2	TRP2-24L-90-4K7-4	SINGLE	86.68	9659	9659	0.900	HUBBELL OUTDOOR	TRP2-24L-90-4K7-4
☐	1	W3	TRP2-24L-70-4K7-2	SINGLE	70.6	7902	7902	0.900	HUBBELL OUTDOOR	TRP2-24L-70-4K7-2

Luminaire Location Summary								
LumNo	Tag	Qty	Label	X	Y	Z	Orient	Tilt
1	W1 (1)		TRP1-12L20-4K7-4	30.415	-80.19	8	270	0
2	W1 (1)		TRP1-12L20-4K7-4	99.723	-80.253	8	270	0
3	W2 (1)		TRP2-24L-90-4K7-4	10.713	-46.393	16	180	0
4	W2 (1)		TRP2-24L-90-4K7-4	10.774	-0.455	16	180	0
5	S2 (2)		VP-S-48L-110-4K7-4W-2	91.04	-123.529	20	313	0
6	S2 (2)		VP-S-48L-110-4K7-4W-2	-0.275	-109.858	20	218	0
7	S1 (1)		VP-S-60L-136-4K7-3	20.442	21.952	20	90	0
8	S1 (1)		VP-S-60L-136-4K7-3	108.83	21.952	20	90	0
9	W3 (1)		TRP2-24L-70-4K7-2	152.18	-24.925	16	0	0

PG-Enlighten is neither licensed nor insured to determine code compliance. Code compliance review by others.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PROPERTY LINES	Illuminance	Fc	0.37	0.8	0.1	3.70
SITE Planar	Illuminance	Fc	1.87	5.6	0.0	N.A.
PARKING AREAS	Illuminance	Fc	2.15	5.6	0.3	7.17
						18.67

Parking Lot Design Guide	Basic (for typical conditions)	Basic Enhanced Security (in consideration of personal security or vandalism)	Security (security lighting for public spaces)	High Security (security lighting for public spaces)
	lux/fc	lux/fc	lux/fc	lux/fc
Minimum Horizontal Illuminance (Measured on parking surface without any shadowing from any object)	2.0/0.2	5.0/0.5	10.0/1.0	30.0-60.0/3.0-6.0
Uniformity Ratio Maximum - to - Minimum	20:1	15:1	15:1	*4:1 *Avg-Min
Minimum Vertical Illuminance (for facial recognition measured at 5' above the parking surface at the point of lowest horizontal illuminance)	1.0/0.1	2.5/0.25	5.0-8.0/0.5-0.8	12-60/1.2-6.0

[illegible]

Project Name:	LAKESIDE BANK - HINSDALE
Location:	222 E OGDEN AVE, HINSDALE, IL

LAKESIDE BANK - HINSDALE

Drawn By: joell.collins@pg-enlighten.com
Date: 7/31/2020
Scale: 1" = 16'

#	Date	Comments
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enlighten

[illegible]

SSS-B SERIES POLES

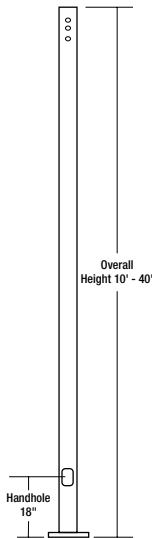
SQUARE STRAIGHT STEEL

Cat.#

Job

Type

Approvals



APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- SHAFT:** One-piece straight steel with square cross section, flat sides and minimum 0.238" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- BASE COVER:** Two-piece square aluminum base cover included standard
- POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- HAND HOLE:** Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

Anchor bolt part numbers: 3/4 x 30 x 3 — TAB-30-M38

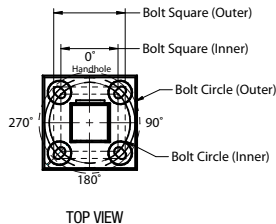
1 x 36 x 4 — TAB-36-M38

FINISH

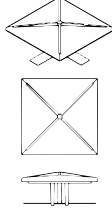
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable; Internal protective coating available

WAREHOUSE 'STOCKED' POLES:

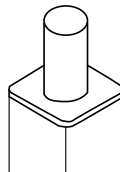
- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Hubbell Outdoor S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting)



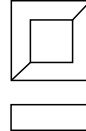
POLE CAP



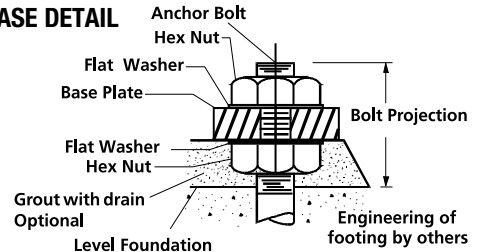
TENON



BASE COVER



BASE DETAIL



ORDERING INFORMATION

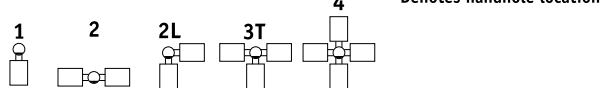
ORDERING EXAMPLE:

Reference page 2 for available configurations

SSS - B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	FINISH	OPTIONS
SSS-B Square Straight Steel Pole Beacon	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR' Removable Tenon (2.375 x 4.25) OT Open Top (includes pole cap)	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	HSC Internal Coating (Hubbell Seal) GFI² 20 Amp GFCI Receptacle and Cover EHH² Extra Handhole C05² .5" Coupling C07² .75" Coupling C20² 2" Coupling MPB² Mid-pole Luminaire Bracket VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified

MOUNTING ORIENTATION



- Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-B-25-40-A-1-B1-TR-BBT
- Specify option location using logic found on page 2 (Option Orientation)
- VM1 recommended on poles 20' and taller with EPA of less than 1.

ACCESSORIES - Order Separately

Catalog Number	Description
VM1 ³	1st mode vibration damper
VM2SXX	2nd mode vibration damper

DRILL PATTERN

- B1** Cruiser, "AM" arm
B3 2 bolt (2-1/2" spacing), Viper "A" arm
S2 2 bolt (3-1/2" spacing), Viper "AD" arm



Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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SSS-B POLES-SPEC

FEBRUARY 24, 2020 3:58 PM

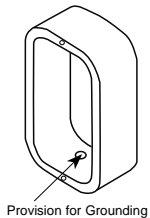
Attachment 1

ORDERING INFORMATION Cont.

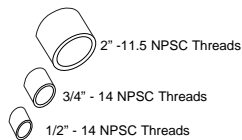
Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-B-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-B-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	90
SSS-B-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-B-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-B-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-B-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-B-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-B-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-B-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-B-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-B-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-B-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-B-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-B-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-B-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-B-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-B-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-B-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-B-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-B-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-B-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	329
SSS-B-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	404
SSS-B-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	479
SSS-B-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	554
SSS-B-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	629
SSS-B-30-60-C-XX-XX	30	9.1	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	614
SSS-B-35-60-C-XX-XX	35	10.7	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	712
SSS-B-40-60-C-XX-XX	40	12.2	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	809

NOTE Factory supplied template must be used when setting anchor bolts. Beacon Products will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

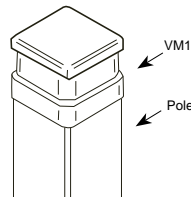
EHH - EXTRA HANDHOLE



C05 - C07 - C20 - COUPLING



VM1 - VIBRATION DAMPER 1ST MODE



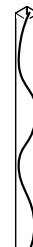
Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.

VM2 - VIBRATION DAMPER 2ND MODE



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

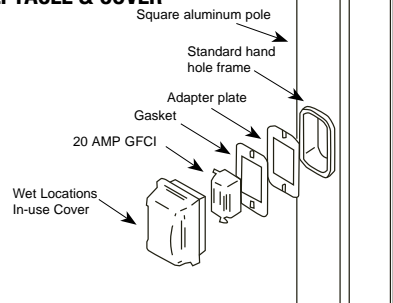
VM2SXX - VIBRATION DAMPER 2ND MODE



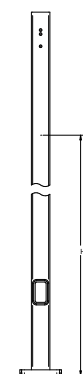
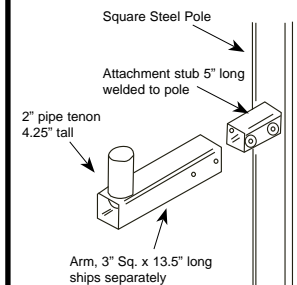
VM2S08 - 8'
VM2S12 - 12'
VM2S16 - 16'
VM2S20 - 20'
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

GFI - 20 AMP GFCI RECEPTACLE & COVER

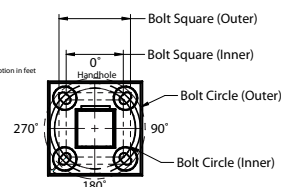


MPB - MID POLE BRACKET



OPTION ORIENTATION

Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-B-20-40-A-TA-DB-C05-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.



For more information about pole vibration and vibration dampers, please consult https://hubbellcdn.com/ohwassets/HLI/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HLI0022.pdf
Due to our continued efforts to improve our products, product specifications are subject to change without notice.



Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000

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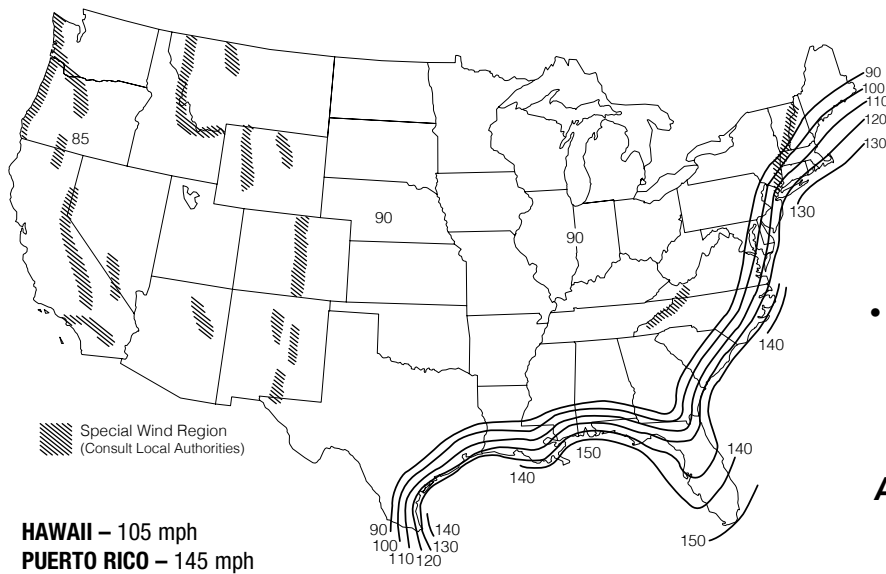


SSS-B POLES-SPEC

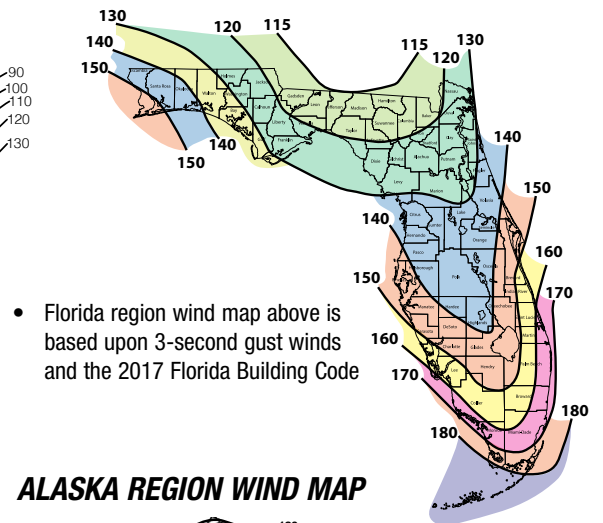
FEBRUARY 24, 2020 3:58 PM

Attachment 1

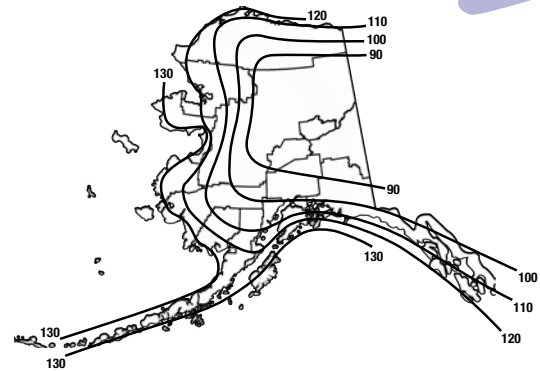
ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)										
Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-B-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-B-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-B-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-B-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-B-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-B-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-B-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-B-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-B-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-B-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-B-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-B-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-B-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-B-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-B-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-B-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-B-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-B-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-B-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-B-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-B-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-B-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-B-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-B-40-60-B	8.1	5.8	2.2	nr	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	24.3	20.5	14.6	12.2	10.2	6.8	4.2	2.2	1.3	0.5
SSS-B-35-60-C	16.6	13.5	8.6	6.6	4.9	2.1	NR	NR	NR	NR
SSS-B-40-60-C	10.6	7.9	3.7	2.1	0.6	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds (Use for Florida only)								
Catalog Number	115	120	130	140	150	160	170	180
SSS-B-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-B-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-B-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-B-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-B-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-B-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-B-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-B-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-B-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-B-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-B-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-B-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-B-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-B-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-B-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-B-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-B-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-B-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-B-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-B-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-B-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-B	1.8	NR	NR	NR	NR	NR	NR	NR
SSS-B-30-60-C	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-B-35-60-C	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-B-40-60-C	1.8	NR	NR	NR	NR	NR	NR	NR

NOTES

Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. https://hubbellcdn.com/ohwassets/HL/outdoor/resources/literature/files/Pole_Wind_Induced_Flyer_HL010022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

VIPER S

SMALL VIPER LUMINAIRE

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED wattage configurations
- Nine optical distributions
- Designed to replace HID lighting up to 400W MH or HPS
- Suitable for wet locations



*3000K and warmer CCTs only

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Manufactured with die cast aluminum
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements
- IFS polyester powder-coat electrostatically applied and thermocured. IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which includes passing a 3,000-hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds
- External hardware is corrosion resistant

OPTICS

- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one-piece optical system
- One-piece silicone gasket ensures a weatherproof seal around each individual optic
- One-piece optical cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel

INSTALLATION

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available. Mounting hardware included

ELECTRICAL

- Luminaire accepts 100V through 277V, 347V or 480V input 50 Hz to 60 Hz (UNV)
- Power factor is $\geq .90$ at full load
- Dimming drivers are standard, but CD must be selected in options to obtain external wiring leads for dimming controls
- Component-to-component wiring within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 90°C or higher
- Plug disconnects are certified by UL for use at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only
- Fixture electrical compartment contains all LED driver components
- Optional 7-pin ANSI C136.41-2013 Twist-Lock® photo control receptacle available. Compatible with ANSI C136.41 external wireless control devices
- Ambient operating temperature -40°C to 25°C
- Surge protection: 20kA
- Lifeshield™ Circuit ([see Electrical Data](#))

CONTROLS

- Available with an optional passive infrared (PIR) motion sensor capable of detecting motion 360° around the luminaire. When no motion is detected for the specified time, the motion response system reduces the wattage to factory preset level, reducing the light level accordingly. When motion is detected by the PIR sensor, the luminaire returns to full wattage and full light output. Please contact Beacon Products if project requirements vary from standard configuration

OPTICS STRIKE



RELATED PRODUCTS

[Viper Large](#)

CONTROLS (CONTINUED)

- Available with [Energeni](#) for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night
- In addition, Viper can be specified with [SiteSync™ wireless control system](#) for reduction in energy and maintenance costs while optimizing light quality 24/7

CERTIFICATIONS

- DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Certified to UL 1598 and UL 8750
- 3G rated for ANSI C136.31 high vibration applications with MAF mounting
- IDA approved
- This product is approved by the Florida Fish and Wildlife Conservation Commission. [Separate spec available online](#)

WARRANTY

- 5 year warranty
- See [HLI Commercial and Industrial Outdoor Lighting Warranty](#) for additional information

KEY DATA	
Lumen Range	4,045–16,216
Wattage Range	39–136
Efficacy Range (LPW)	100–124
Reported Life (Hours)	L70>60,000
Input Current Range (Amps)	0.1–1.1

VIPER S

SMALL VIPER LUMINAIRE

ORDERING GUIDE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Example: VPS-24L-55-4K7-4W-UNV-A-DBT-TL-GENI-04-BC

CATALOG #

VPS	LED Engine	CCT/CRI ⁷	Distribution	Rotation	Voltage
Series					
VPS Viper Small	24L-39 39W, LED array 24L-55 55W, LED array 36L-65 65W, LED array 36L-80 80W, LED array 48L-110 110W, LED array 60L-136 136W, LED array	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	FR Type 1/Front Row 2 Type 2 3 Type 3 4F (formerly 4) Type 4 4W Type 4 Wide 5QM Type 5QM 5R Type 5R (rectangular) 5W Type 5W (round wide) TC Tennis Court CR Corner Right CL Corner Left	Blank No rotation L Optic rotation left ⁵ R Optic rotation right ⁵	UNV 120-277V 347 347V 480 480V

Mounting	Color	Control Options	Options
A Rectangular Arm (formerly RA) for square or round pole MAF Mast Arm Fitter (formerly SF2) for 2 3/8" OD horizontal arm K Knuckle (formerly PK2) limit to 30° tilt or 2 3/8" OD horizontal arm or vertical tenon WB Wall Bracket AD Universal Arm for square pole AD3 Adapter for 2.4"-4.1" round pole AD4 Adapter for 4.2"-5.3" round pole AD5 Adapter for 5.5"-5.9" round pole AD6 Adapter for 6.0"-6.5" round pole	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VG Verde Green Textured Color Option CC Custom Color	NXWE NX Wireless Enabled (module + radio) NXSPW_E Nx Wireless, PIR Occ. Sensor, Daylight Harvesting ² NXSP_F NX, PIR Occ. Sensor, Daylight Harvesting ² WIR Wireless Controls, wiSCAPE Control Options 7PR 7-Pin Receptacle only (shorting cap, photo control, or wireless control provided by others) 7PR-SC 7-Pin Receptacle w/Shorting Cap 7PR-TL 7-Pin Receptacle w/Twist-Lock® photo control SCP/_F Programmable Occupancy Sensor w/ daylight control ^{1,2,6} GENI-XX ENERGENI ³ SWP SiteSync Pre-Commission ^{1,4} SWPM_F SiteSync Pre-Commission w/ Sensor ^{1,2,4}	BC Backshield (available for FR, 2, 3, 4, 4W Optics) CD Continuous Dimming F Fusing TB Terminal Block

Notes:

- Not available with other wireless control or sensor options
- Specify mounting height; 8 = 8' or less, 40 = 9' to 40'
- Specify routine setting code (example GENI-04). See [ENERGENI brochure](#) and [instructions](#) for setting table and options. Not available with sensor or SiteSync options
- Specify group and zone at time of order. See [www.hubbellighting.com/sitesync](#) for further details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node
- Only available with FR, 2, 3, 4, 4W and 5R distributions
- Order at least one SCP-REMOTE per project location to program and control the occupancy sensor

House Side Shield Accessories

- ☐ **HSS/VP-S/90-FB/XXX** 90° shield front or back
- ☐ **HSS/VP-S/90-LR/XXX** 90° shield left or right
- ☐ **HSS/VP-S/270-FB/XXX** 270° shield front or back
- ☐ **HSS/VP-S/270-LR/XXX** 270° shield left or right
- ☐ **HSS/VP-S/360/XXX** Full shield

Replace XXX with notation for desired finish color. Refer to page 8 for shield images.

Mounting Accessories

- ☐ **VPL-AD-RPA3** 2.4"-4.1" Round Pole Adapter for AD arm
- ☐ **VPL-AD-RPA4** 4.2"-5.3" Round Pole Adapter for AD arm
- ☐ **VPL-AD-RPA5** 5.5"-5.9" Round Pole Adapter for AD arm
- ☐ **VPL-AD-RPA6** 6.0"-6.5" Round Pole Adapter for AD arm

Accessories and Services (Ordered Separately)

- ☐ **SCP-REMOTE** Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
- ☐ **SWUSB*** SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node
- ☐ **SWTAB*** Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node
- ☐ **SWBRG** SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
- ☐ **SW7PR+** SiteSync 7-Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC
- ☐ **BIRD-SPIKE-3** Bird Spikes

* When ordering SiteSync at least one of these two interface options must be ordered per project.
+ Available as a SiteSync retrofit solution for fixtures with an existing 7-pin receptacle.

Hubbell Control Solutions — Accessories (Sold Separately)

NX Distributed Intelligence™

- ☐ **NXOFM-1R1D-UNV** On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120-480VAC

wiSCAPE® Lighting Control

- ☐ **WIR-RME-L** On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110-480VAC

For additional information related to these accessories please visit [www.hubbellcontrolsolutions.com](#). Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

VIPER S

SMALL VIPER LUMINAIRE

CONTROLS

SiteSync — Precommissioned Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit [the SiteSync family page on our website](#) or contact Hubbell Lighting tech support at 864-678-1000.



SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: VP-L/80L-235/4K7/3/UNV/A/DB/SWP/
VP-L/80L-235/4K7/3/UNV/A/DB/SWPM-40F/

SiteSync only
SiteSync with Motion Control

SiteSync 7-Pin Module:

- SiteSync features in a new form
- Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)
- Does not interface with occupancy sensors



SW7PR

NX Distributed Intelligence™ Lighting Controls:

Supports both indoor and outdoor applications in a variety of deployment options: wired, wireless and hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync Color Tuning Technology.



NX Integrated Controls Reference								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked – Wireless								
NXOFM-1R1D-UNV	SCLNX	Yes	Yes	Yes	Yes	Yes	Yes	Yes, Bluetooth App

wiSCAPE™:

Supports remote management, monitoring and metering of outdoor wireless lighting applications such as smart campuses, smart cities, parking lots, parking lots and roadways.



wiSCAPE Reference								
wiSCAPE Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
Networked – Wireless								
WIR-RME-L	WIR-RME-L	Yes	Yes	No	Yes	Yes	Yes	wiSCAPE Gateway

VIPER S

SMALL VIPER LUMINAIRE

DELIVERED LUMENS

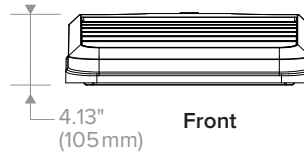
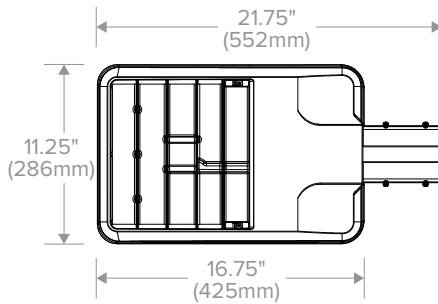
# of LEDs	DRIVE CURRENT (mA)	SYSTEM WATTS	DISTRIBUTION TYPE	5K (5000K nominal, 70 CRI)					4K (4000K nominal, 70 CRI)					3K (3000K nominal, 70 CRI)				
				LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G	LUMENS	LPW	B	U	G
24	500mA	39W	FR	4689	120	1	0	0	4665	120	1	0	0	4432	114	1	0	0
			2	4523	116	1	0	1	4500	115	1	0	1	4275	110	1	0	1
			3	4436	114	1	0	1	4414	113	1	0	1	4194	108	1	0	1
			4F	4362	112	1	0	2	4340	111	1	0	2	4123	106	0	0	2
			4W	4280	110	1	0	2	4258	109	1	0	2	4045	104	1	0	2
			5QM	4442	114	2	0	1	4420	113	2	0	1	4199	108	2	0	0
			5R	4472	115	2	0	2	4450	114	2	0	2	4227	108	2	0	2
			5W	4335	112	3	0	1	4336	111	3	0	1	4114	105	3	0	1
			TC	4561	117	1	0	1	4538	116	1	0	1	4311	111	1	0	1
			CL	4758	122	1	0	2	4758	122	1	0	2	4329	111	1	0	1
24	700 mA	55W	CR	4773	122	1	0	2	4773	122	1	0	2	4361	112	1	0	1
			FR	6357	118	1	0	1	6486	120	1	0	1	5804	107	1	0	1
			2	6132	114	1	0	1	6257	116	1	0	2	5599	104	1	0	1
			3	6015	111	1	0	2	6137	114	1	0	2	5492	102	1	0	2
			4F	5921	110	1	0	2	6034	112	1	0	2	5400	100	1	0	2
			4W	5793	108	1	0	2	5909	110	1	0	2	5272	98	1	0	2
			5QM	6022	112	2	0	1	6145	114	2	0	1	5499	102	2	0	1
			5R	6063	112	3	0	3	6187	115	3	0	3	5536	103	3	0	3
			5W	5908	109	3	0	1	6028	112	3	0	1	5908	102	3	0	1
			TC	6183	113	1	0	1	6309	118	1	0	1	5645	105	1	0	1
36	560 mA	65W	CL	6707	122	1	0	2	6707	122	1	0	2	6117	111	1	0	2
			CR	6729	122	1	0	2	6729	122	1	0	2	6143	112	1	0	2
			FR	7864	121	1	0	1	8041	124	1	0	1	7189	111	1	0	1
			2	7586	117	1	0	2	7757	119	1	0	2	6934	107	1	0	2
			3	7441	114	1	0	2	7609	117	1	0	2	6802	105	1	0	2
			4F	7317	110	1	0	2	7482	112	1	0	2	6688	100	1	0	2
			4W	8690	108	1	0	2	8864	110	1	0	2	7908	98	1	0	2
			5QM	7450	115	3	0	1	7618	117	3	0	1	6810	105	3	0	1
			5R	7501	115	3	0	3	7670	118	3	0	3	6857	105	3	0	3
			5W	7309	112	3	0	2	7473	115	3	0	2	6681	103	3	0	1
36	700 mA	80W	TC	7540	116	1	0	1	7694	118	1	0	1	7694	122	1	0	2
			CL	8179	126	2	0	2	8179	126	2	0	2	7467	115	1	0	2
			CR	8205	126	2	0	2	8205	126	2	0	2	7492	115	1	0	2
			FR	9535	118	1	0	1	9730	120	1	0	1	8706	107	1	0	1
			2	9197	114	1	0	2	9385	116	1	0	2	8398	104	1	0	2
			3	9022	111	1	0	2	9206	114	1	0	2	8238	102	1	0	2
			4F	8871	110	1	0	2	9052	112	1	0	2	8100	100	1	0	2
			4W	11587	108	1	0	3	11819	110	1	0	3	10544	98	1	0	3
			5QM	9033	112	3	0	1	9217	114	3	0	1	8248	102	3	0	1
			5R	9095	112	3	0	3	9280	115	3	0	3	8304	103	3	0	3
48	700 mA	110W	5W	8861	109	3	0	2	9043	112	3	0	2	8092	100	3	0	2
			TC	9275	115	1	0	1	9464	118	1	0	1	8468	105	1	0	1
			CL	10060	126	2	0	2	10060	126	2	0	2	9184	115	2	0	2
			CR	10093	126	2	0	2	10093	126	2	0	2	9215	115	2	0	2
			FR	12713	118	1	0	1	12973	120	2	0	1	11608	107	1	0	1
			2	12263	114	2	0	2	12513	116	2	0	2	11197	104	2	0	2
			3	12029	111	2	0	2	12275	114	2	0	2	10984	102	1	0	2
			4F	11828	110	1	0	3	12069	112	1	0	3	10800	100	1	0	2
			4W	11609	108	1	0	3	11841	110	1	0	3	10564	98	1	0	3
			5QM	12044	112	3	0	2	12290	114	3	0	2	10997	102	3	0	1
60	700 mA	136W	5R	12126	112	3	0	3	12374	115	3	0	3	11072	103	3	0	3
			5W	12126	109	4	0	2	12057	112	4	0	2	10789	100	4	0	2
			RC	12366	115	1	0	2	12619	118	1	0	1	11290	105	1	0	2
			CL	13414	122	2	0	3	13414	122	2	0	3	12246	111	2	0	2
			CR	13458	122	2	0	3	13458	122	2	0	3	12287	112	2	0	2
			FR	15891	117	2	0	2	16216	120	2	0	2	14511	107	2	0	1
			2	15329	113	2	0	2	15642	116	2	0	2	13997	103	2	0	2
			3	15037	111	2	0	3	15344	113	2	0	3	13730	101	2	0	3
			4F	14784	109	1	0	3	15086	111	1	0	3	13500	100	1	0	3
			4W	14802	109	2	0	3	15104	112	2	0	3	13515	100	2	0	3
60	700 mA	136W	5QM	15055	111	3	0	2	15362	114	3	0	2	13747	102	3	0	2
			5R	15158	112	4	0	4	15469	114	4	0	4	13841	102	4	0	4
			5W	14781	109	4	0	2	15083	111	4	0	2	13495	100	4	0	2
			TC	15458	115	1	0	2	15834	118	1	0	2	14113	105	1	0	2
			CL	16768	123	3	0	3	16768	123	3	0	3	15309	113	2	0	3
			CR	16823	124	3	0	3	16823	124	3	0	3	15359	113	2	0	3

VIPER S

SMALL VIPER LUMINAIRE

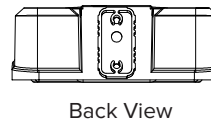
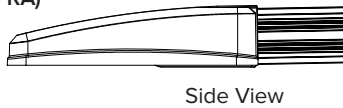
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

DIMENSIONS

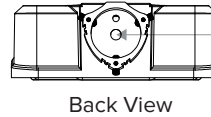
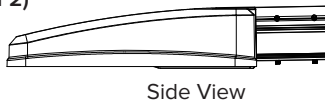


Weight	15.0 lbs (6.8 kg)
EPA	.67 ft ²

A Arm (formerly RA)

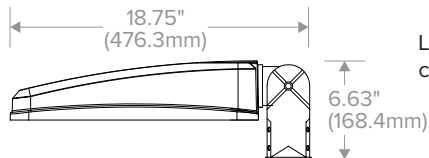


MAF (formerly SF2)



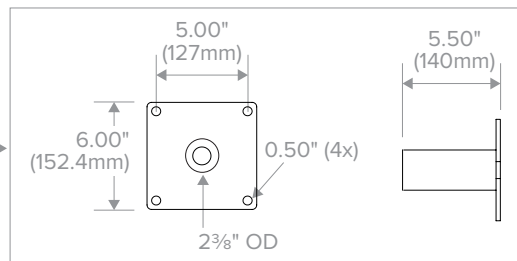
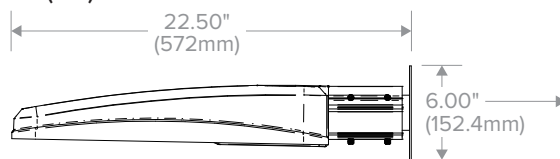
Accepts 2 3/8" OD tenon, min 5" long.

2 3/8" Adjustable Knuckle (K) (formerly PK2)

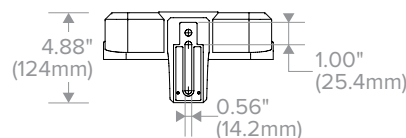
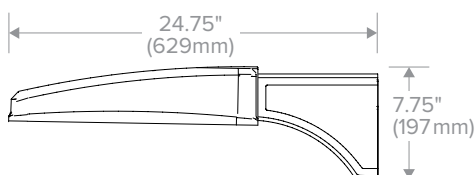


Limit to 30° tilt. Sensor, photocell and wireless controls should not be tilted above horizontal.

Wall Bracket (WB)



AD Decorative Arm



See [page 9](#) for mounting details.

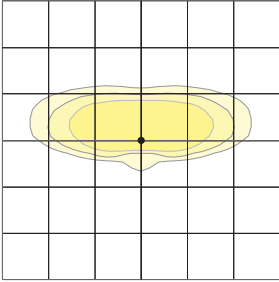
VIPER S

SMALL VIPER LUMINAIRE

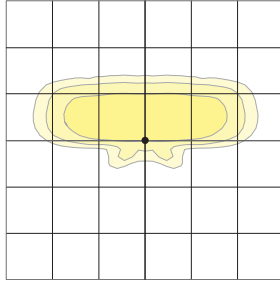
PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

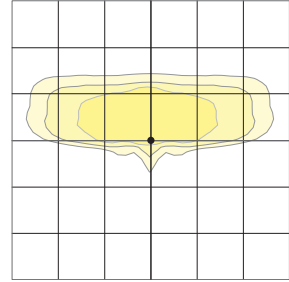
Type FR – Front Row/Auto Optic



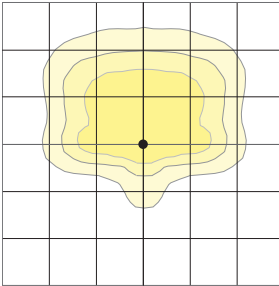
Type 2



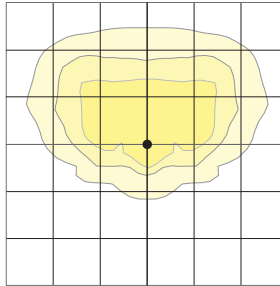
Type 3



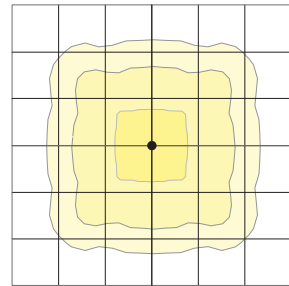
Type 4



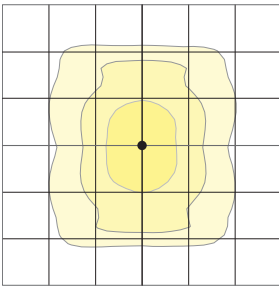
Type 4 Wide



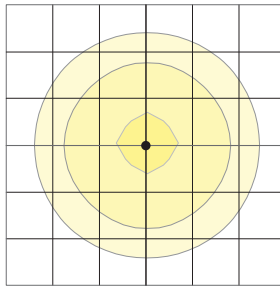
Type 5QM



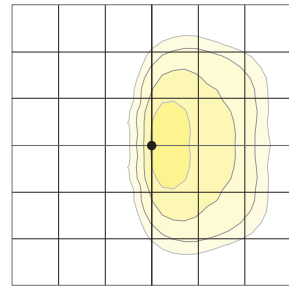
Type 5R (rectangular)



Type 5W (round wide)



Type TC



VIPER S

SMALL VIPER LUMINAIRE

ELECTRICAL DATA

# OF LEDS	NUMBER OF DRIVERS	DRIVE CURRENT (mA)	INPUT VOLTAGE (V)	SYSTEM POWER (w)	CURRENT (Amps)
24	1	500 mA	120	39	0.33
			277		0.14
			347		0.11
			480		0.08
24	1	700 mA	120	55	0.5
			277		0.2
			347		0.2
			480		0.1
36	1	525 mA	120	65	0.65
			277		0.28
			347		0.22
			480		0.16
		700 mA	120	80	0.7
			277		0.3
			347		0.2
			480		0.2
48	1	700 mA	120	110	0.9
			277		0.4
			347		0.3
			480		0.2
60	1	700 mA	120	136	1.1
			277		0.5
			347		0.4
			480		0.3

PROJECTED LUMEN MAINTENANCE						
Ambient Temp.	0	25,000	50,000	TM-21-11 60,000 ¹	100,000	Calculated L70 (HOURS)
25°C / 77°C	1	0.97	0.95	0.95	0.92	>377,000

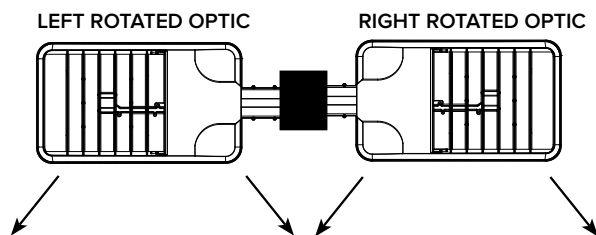
¹ Projected per IESNA TM-21-11.
 Data references the extrapolated performance projections for the 60 LED base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.

LIFESHIELD™ CIRCUIT

Protects luminaire from excessive temperature. The device activates at a specific, factory-preset temperature and progressively reduces power over a finite temperature range. Operation is smooth and undetectable to the eye. Thermal circuit is designed to “fail on”, allowing the luminaire to revert to full power in the event of an interruption of its power supply or faulty wiring connection to the drivers. The device can co-exist with other 0–10V control devices (occupancy sensors, external dimmers, etc.)

ADDITIONAL INFORMATION

ROTATION OPTIONS



VIPER S

SMALL VIPER LUMINAIRE

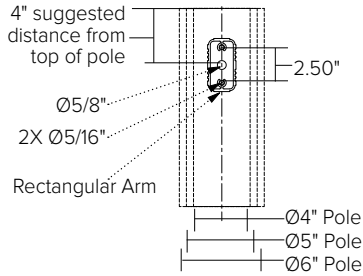
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONTINUED)

DRILL PATTERN

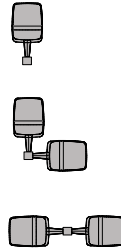
RECTANGULAR ARM (A)

Compatible with Pole drill pattern B3

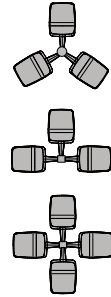


EPA

Config.	EPA
1	.67
2 @ 90°	1.06
2 @ 180°	1.34



Config.	EPA
3 @ 120°	1.68
3 @ 90°	1.73
4 @ 90°	2.12



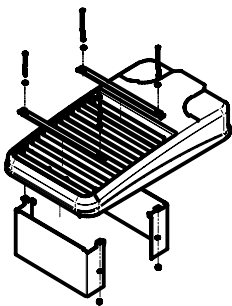
TENON TOP POLE BRACKET ACCESSORIES (ORDER SEPARATELY)

(2 3/8" OD tenon)

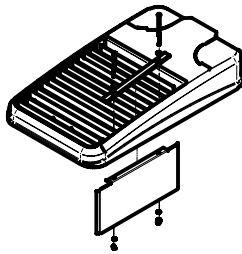
TENON TOP POLE BRACKET ACCESSORIES (Order Separately)

- ☐ **SETAVP-XX** Square tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
- ☐ **RETAVP-XX** Round tenon adapter (4 at 90°) for A - Rectangular Arm mounting option only
- ☐ **SETA2XX** Square tenon adapter (4 at 90°) for AD - Universal Arm mounting option only
- ☐ **RETA2XX** Round tenon adapter (4 at 90°) for AD3 - Universal Arm mounting option only

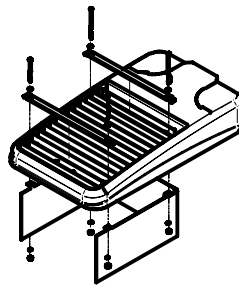
HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES



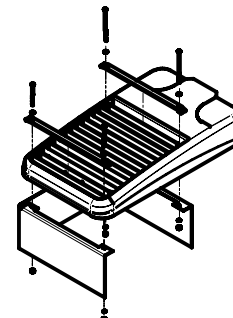
HSS/VP-S/90-FB/XXX
90° shield front or back
(2 shields shown)



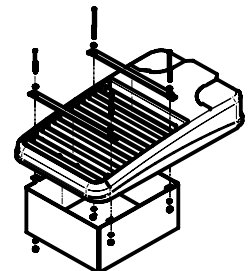
HSS/VP-S/90-LR/XXX
90° shield left or right
(1 shield shown in left orientation)



HSS/VP-S/270-FB/XXX
270° shield front or back
(1 shield shown in back orientation)



HSS/VP-S/270-LR/XXX
270° shield left or right
(1 shield shown in right orientation)



HSS/VP-S/360/XXX
Full shield
(1 shield shown)

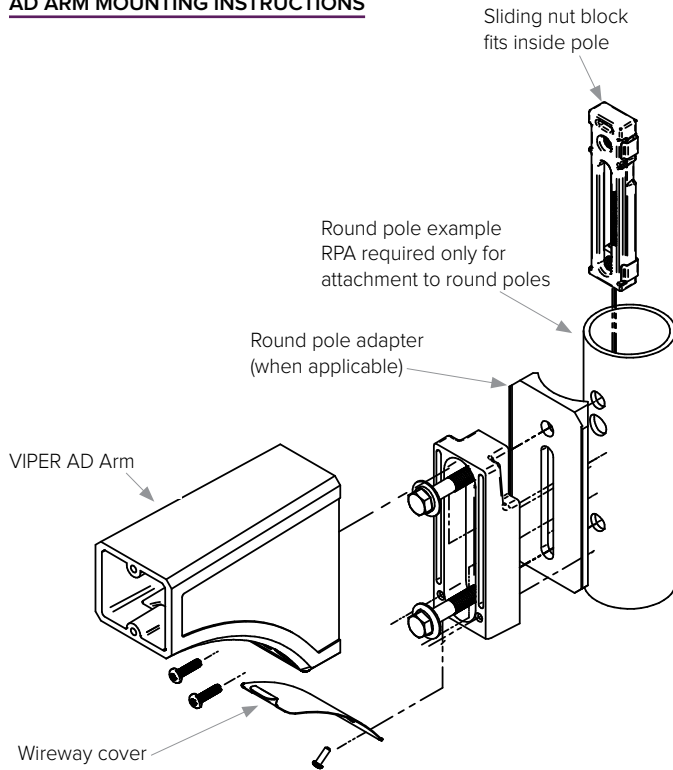
VIPER S

SMALL VIPER LUMINAIRE

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

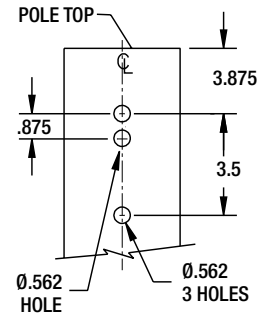
ADDITIONAL INFORMATION (CONTINUED)

AD ARM MOUNTING INSTRUCTIONS



DECORATIVE ARM (AD)

Compatible with pole drill pattern S2



GEOPAK Series 1

SIZE 1 - TRP1/QSP1/RD11

FEATURES

- GeoPak Series consists of three compact Geometric wall-pack shapes in four popular finishes
- "Normally On" emergency luminaire for architectural applications
- 12 high-power LEDs create 3115 lumens in AC and 658 lumens in emergency mode
- Environmentally friendly, long-life Lithium Iron Phosphate battery
- Standard Temperature Range: 0°C to 40°C, Optional Heater: -30°C to 40°C
- Zero uplight distributions
- Wet Location Listed to UL924



RELATED PRODUCTS

Ø [RD12 GeoPak](#) Ø [TRP2 GeoPak](#) Ø [QSP2 GeoPak](#)

SPECIFICATIONS

CONSTRUCTION

- Housing is made from die-cast aluminum with a hinged back-plate for ease of installation and maintenance
- The LED bezel and trim-plate are made of stainless steel
- Five powder coat standard finishes, plus custom color options
- Wet Location Listed to UL924 and UL1598 Standard

OPTICS

- 12 high power LEDs delivering up to 3,000 lumens
- Up to 118 lumens per watt
- Type II, III and IV distributions for a wide variety of applications
- Zero uplight (UO), dark sky, neighbor friendly

INSTALLATION

- Universal plate for mounting to standard 3 1/2" and 4" square electrical boxes. All connections are made from connections at the rear of the unit
- Optional back-box accessory available for surface conduit application. See BB-Geo accessories

ELECTRICAL

- 120-277 operation, 50/60Hz
- 0-10V dimming driver standard
- 10kA surge protector
- Photocell and occupancy sensor options available for complete on/off and dimming control
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Includes a long-life Lithium Iron Phosphate battery with optional battery heater for cold temperature application
- Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction
- Spectron® self-testing/self-diagnostic electronics are included standard
- Independent dedicated driver and LED array for battery/emergency mode operation

CERTIFICATIONS

- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Drivers IP66 and RoHS compliant
- UL 1598 listed for use in wet locations

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	1471-2942
Wattage Range	13.9-28.2
Efficacy Range (LPW)	95-118
Fixture Projected Life (Hours)	L70>345K
Weights lbs. (kg)	10.5-11.5 (4.8-5.2)

GEOPAK SERIES 1

SIZE 1 - TRP1/QSP1/RD11

ORDERING GUIDE

Example: TRP2-24L30-3K7-2-UNV-DBT

CATALOG #

ORDERING INFORMATION

Series	# LEDs	Wattage	CCT/CRI	Distribution	Voltage
TRP1 Trapezoid	12L 12 LEDs	15 15 watts	3K7 3000K, 70 CRI	2 TYPE II	UNV 120-277V
RD11 Radius		20 20 watts	4K7 4000K, 70 CRI	3 TYPE III	1 120V
QSP1 Qtr-sphere		30 30 watts	5K7 5000K, 70 CRI	4 TYPE IV	2 208V
					3 240V
					4 277V

Color	Control Options Network	Options
BLT Black Matte Textured	PC Button Photocontrol	F ⁴ Fusing (only available with STD fixture configuration, 120-277V only)
BLS Black Gloss Smooth	SCP ^{2,3} Programmable occupancy sensor, factory default is 10% light output	E ¹ Battery pack (0°C)
DBT Dark Bronze Matte Textured	Spec SCP/SCO & SWPM Mount Height	EH ¹ Battery pack (-30°C) with heater
DBS Dark Brone Gloss Smooth	-8F Up to 8ft mount height	
GTT Graphite Matte Textured	-20F Up to 20ft mount height	
LGS Light Grey Gloss Smooth		
PSS Platinum Silver Smooth		
WHT White Matte Textured		
WHS White Gloss Smooth		
VGTT Verde Green Textured		
Color Option		
CC Custom Color		

Notes:

- 1 Voltage specific (120 or 277V only)
- 2 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, 120-277V only
- 3 PCU option not applicable, included in sensor
- 4 Must specify input voltage (120, 208, 240 or 277)

ACCESSORIES (ORDERED SEPARATELY)

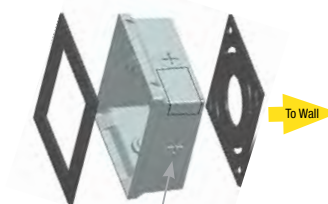
Catalog Number	Description
<input type="checkbox"/> SCP-REMOTE*	Remote control for SCP option. Order at least one per
<input type="checkbox"/> BB-GE0-XX	Black box with 4-1/2" threaded conduit holes, specify finish by replacing "XX" with finish selection, eg. Dark Bronze "DB"

Notes:

- * Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings.



BB-GE0-XX – Mounted to luminaire



BB-GE0-XX

GEOPAK SERIES 1

SIZE 1 - TRP1/QSP1/RD11

PERFORMANCE DATA

Description	Drive Current	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
12	350mA	13.9	2	1635	118	1	1	1	1577	113	1	1	1	1497	108	1	1	1
			3	1613	116	1	0	1	1556	112	1	0	1	1477	106	1	0	1
			4	1607	116	0	0	1	1550	111	0	0	1	1471	106	0	0	1
	500mA	19.9	2	2268	114	1	1	1	2176	109	1	1	1	2077	104	1	1	1
			3	2245	113	1	0	1	2140	108	1	0	1	2049	103	1	0	1
			4	2229	112	0	0	1	2150	108	0	0	1	2041	103	0	0	1
	700mA	28.2	2	2942	104	1	1	1	2885	102	1	1	2	2721	96	1	1	1
			3	2912	103	1	0	1	2836	101	1	0	1	2685	95	1	0	1
			4	2892	103	1	0	1	2789	99	1	0	1	2674	95	1	0	1

ELECTRICAL DATA

INPUT POWER CONSUMPTION

Drive Current (mA)	Input Voltage (V)	System Power (W)	Current (Amps)
350mA	120	13.9	0.12
	277		0.05
500mA	120	19.9	0.17
	277		0.07
700mA	120	28.2	0.24
	277		0.10

Battery backup units consume additional power during charging (maximum 32.2 watts for E, 50.7 watts for EH)

INPUT POWER CONSUMPTION

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.98	0.97	0.95	0.91	>345,000
40°C / 104°F	1.00	0.96	0.95	0.82	0.87	>268,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99
50° C	122° F	0.98

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

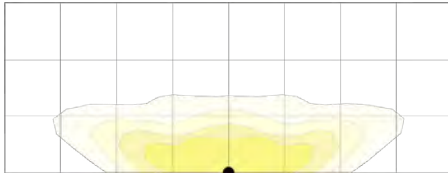
GEOPAK SERIES 1

SIZE 1 - TRP1/QSP1/RD11

PHOTOMETRY

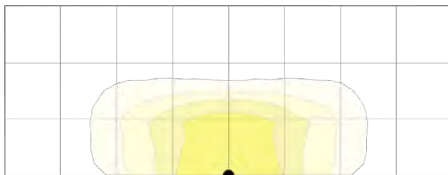
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

Type II



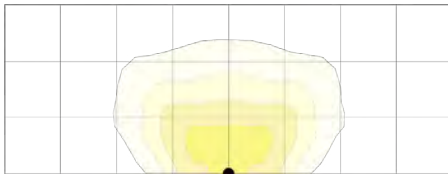
Mounting Height: 10'

Type III



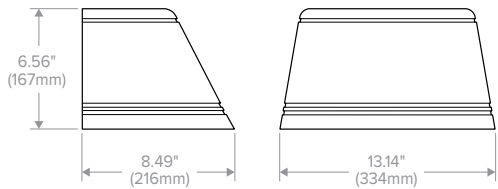
Mounting Height: 10'

Type IV (Forward throw)

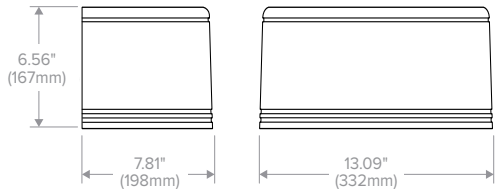


Mounting Height: 10'

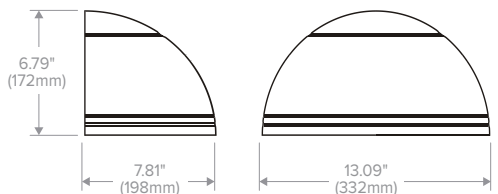
DIMENSIONS



Trapezoid
(TRP1)



Round
(RD11)



Quartersphere
(QSP1)

GEOPAK SERIES 1

SIZE 1 - TRP1/QSP1/RD11

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION

GEOPAK - BATTERY BACK UP

Functional Circuitry: Transient surge protection device on AC input. Upon failure of the normal utility power, an LED driver is automatically activated to power the emergency LEDs. Upon resumption of normal utility power, the LED driver is turned off, and the battery is recharged through a micro-controller based 3-stage charger. The battery is a maintenance-free Lithium Iron Phosphate (LiFePo) type. A low voltage battery disconnect (LVD) feature protects the battery from severe damage during prolonged power failures. Manual testing is available at any time using the push-to-test button. The optional heater features a heating wrap and thermostat to maintain optimal battery temperature during charge or discharge. The GeoPak includes the following features:

- Battery re-charge within 24 hours
- AC Lock-out circuit
- Self-diagnostics monitors LED status, LED driver circuit, battery capacity and charger function and displays any fault detection by means of a flashing code.

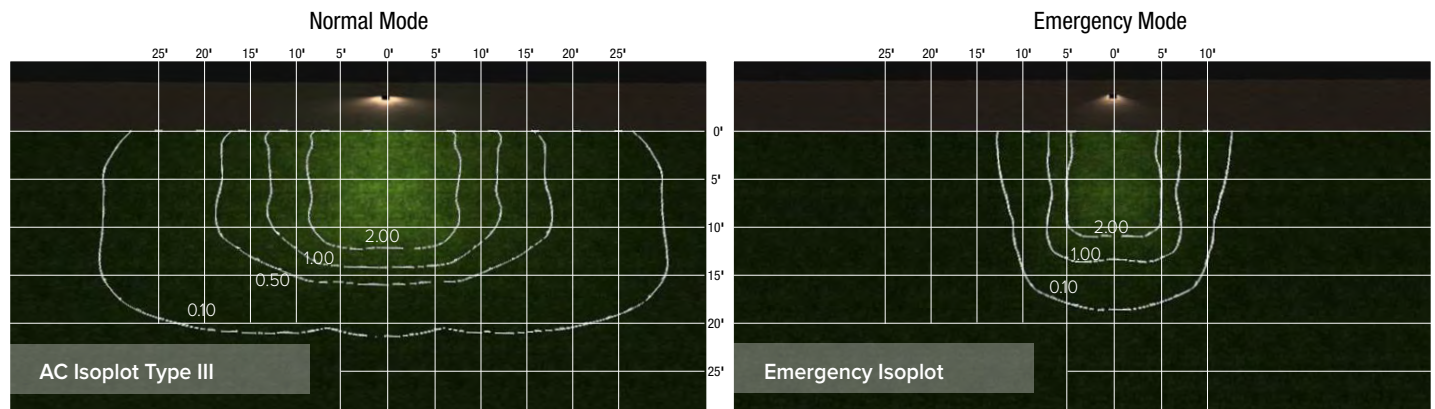
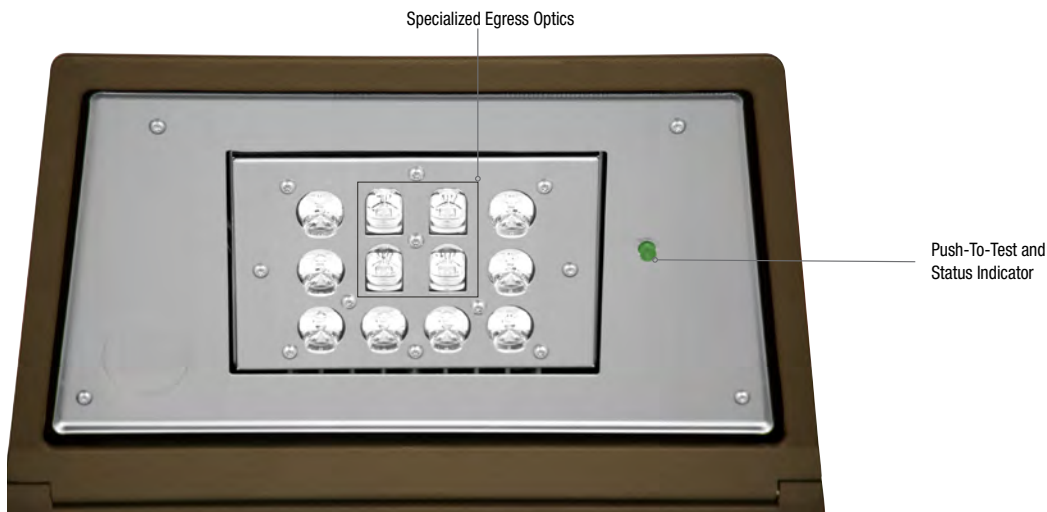
- Self-Test feature runs a 1 minute test once a month and an alternating 30 or 60 minute test once every 6 months. Multi-color LED indicator provides visible fault detection and charging status.
- User initiated 1, or 90-minute system test feature
- 15 minute re-transfer delay
- Automatic unit transfer in brown-out conditions (below 80% of nominal AC input voltage).
- Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

EMERGENCY PHOTOMETRIC PERFORMANCE (1 FC AVERAGE .1 FC MINIMUM)

28' multi-unit spacing at 10' MH with 0/30/10 reflectances on a 6' path

26' x 10' single unit coverage at 10' MH with 0/30/10 reflectances

6' x 19' forward throw coverage at 10' MH with 0/30/10 reflectances



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions.

Diagrams for illustration purposes only, please consult factory for application layout.

USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks ™ or registered trademarks ® of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

FEATURES

- Mid sized architectural wallpacks in three stylish shapes
- Capable of replacing up to 400w HID luminaires
- Type I, II, III and IV distributions for a wide variety of applications
- Integral battery backup options
- Control capabilities offer additional energy savings options
- Zero uplight distributions
- Inverted mounting capable for under canopy and facade lighting



RELATED PRODUCTS

- [RD11 GeoPak](#)
[TRP1 GeoPak](#)
[QSP1 GeoPak](#)



*3000K and warmer CCTs only

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast aluminum housing and door
- Seven powder coat standard finishes, plus custom color options

OPTICS

- 24 or 32 high power LEDs deliver up to 10,800 lumens
- Up to 146 lumens per watt
- Different lenses offer a variety of distribution patterns - Type I, II, III and IV (Forward throw)
- 3000K - 70 CRI, 4000K - 70 CRI and 5000K - 70 CRI, CCT nominal

INSTALLATION

- Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Black box accessory available for surface conduit application

ELECTRICAL

- Optional Dual Drivers & Dual Power Feeds for 50, 70 and 90 watt versions
- 120-277, 347 and 480 voltage, 50/60Hz
- Power factor $\geq 90\%$
- THD (Total Harmonic Distortion) $<20\%$

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- 20kA surge protection (series); Automatically takes fixture off-line when device is consumed
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Includes a long-life Lithium Iron Phosphate battery with optional battery heater for cold temperature application
- Utilizes 4 LEDs in emergency mode with 657 lumens. Each of the 4 LEDs in emergency are designed to function independently in the unlikely event of a single LED malfunction
- Spectron® self-testing/self-diagnostic electronics are included standard
- Independent dedicated driver and LED array for battery/emergency mode operation

CONTROLS

- Drivers are 0-10V dimming standard
- Universal button photocontrol for dusk to dawn energy savings
- Photocell and occupancy sensor options available for complete on/off and dimming control

CONTROLS (CONTINUED)

- In addition, GeoPak Size 2 can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbellighting.com/sitesync for more details

CERTIFICATIONS

- IP65 rated housing
- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Zero uplight (U0), dark sky, neighbor friendly
- Drivers IP66 and RoHS compliant

WARRANTY

- 5 year limited warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	3,200-11,000
Wattage Range	28-87
Efficacy Range (LPW)	112-146
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	16-18 (7.3-8.2)

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

ORDERING GUIDE

Example: TRP2-24L30-3K7-2-UNV-DBT

CATALOG #

ORDERING INFORMATION

Series	# LEDs - Wattage	CCT/CRI	Distribution	Voltage	Secondary Mounting
TRP2 Trapezoid	24L-30 24 LEDs, 30 watts	3K7 3000K, 70 CRI	1 TYPE I	UNV 120-277V	BLANK Downlight Only
RD12 Radius	24L-50 24 LEDs, 50 watts	3K8 3000K, 80 CRI	2 TYPE II	120 120V	
QSP2 Qtr-sphere	24L-70 24 LEDs, 70 watts	4K7 4000K, 70 CRI	3 TYPE III	208 208V	
	24L-90 24 LEDs, 90 watts	4K8 4000K, 80 CRI	4 TYPE IV	240 240V	
	32L-70 32 LEDs, 70 watts	5K7 5000K, 70 CRI		277 277V	
	32L-90 32 LEDs, 90 watts			UHV ¹ 347/480V	
				347 ¹ 347V	
				480 ¹ 480V	

Color	Control Options Network	Options
BLT Black Matte Textured	PC Button Photocontrol	SF ² Single fuse & fuse holder
BLS Black Gloss Smooth	SCP ^{3,4} Programmable occupancy sensor, factory default is 10% light output	DF ² Double fuse & fuse holder
DBT Dark Bronze Matte Textured	SCO ³ Sensor Control, On/Off	E ^{2,6} Battery pack (0°C)
DBS Dark Brone Gloss Smooth	Spec SCP/SCO & SWPM Mount Height	EH ^{2,6} Battery pack (-30°C) with heater
GTT Graphite Matte Textured	-8F Up to 8ft mount height	2DR ⁵ Dual Drivers
LGS Light Grey Gloss Smooth	-20F Up to 20ft mount height	2PF ^{5,6} Dual power feeds
PSS Platinum Silver Smooth		CS Comfort shield
WHT White Matte Textured		
WHS White Gloss Smooth		
VGt Verde Green Textured		
Color Option		
CC Custom Color		

Notes:

- 1 70 & 90 watt versions only
- 2 Must specify voltage (120, 277 or 347V only for SWP & SWP, 120 or 277V only for E & EH)
- 3 PCU option not applicable, included in sensor
- 4 Must order minimum of one remote control to program dimming settings, 0-10V fully adjustabl dimming with automatic daylight calibration and different time delay settings
- 5 Not available with 30w version
- 6 Battery option not compatible with 2 power feeds

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> SCP-REMOTE*	Remote control for SCP option. Order at least one per
<input type="checkbox"/> BB-GEO-XX	Black box with 4-1/2" threaded conduit holes, specify finish by replacing "XX" with finish selection, eg. Dark Bronze "DB"
<input type="checkbox"/> SWUSB**	SiteSync loaded on USB flash drive (Windows based only)
<input type="checkbox"/> SWTAB**	SiteSync Windows Tablet
<input type="checkbox"/> SWBRG+	SiteSync Wireless Bridge Node

Notes:

- * Must order minimum of one remote control to program dimming settings, 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings.
- ** When ordering with SiteSync, one of the following interface options must be chosen an ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.
- + If needed, an additional Bridge Node can be ordered

GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

INPUT POWER CONSUMPTION

# of LEDs	Drive Current (mA)	Input Voltage (V)	Current (Amps)	System Power (w)
24	350mA	120	0.23	28
		277	0.10	28
	625mA	120	0.41	49
		277	0.18	49
	900mA	120	0.59	71
		277	0.25	71
		347	0.20	71
		480	0.15	71
	70	120	0.72	87
		277	0.31	87
		347	0.25	87
		480	0.18	87
32	110	120	0.56	67
		277	0.24	67
		347	0.19	67
		480	0.14	67
	140	120	0.69	83
		277	0.30	83
		347	0.24	83
		480	0.17	83

GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

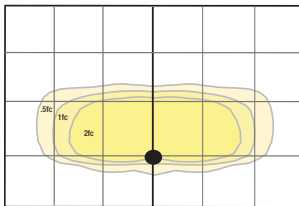
PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 80 CRI)				
				Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
24	350mA	28	1	4,075	146	1	0	0	4,065	146	1	0	0	3,660	131	0	0	0
			2	3,747	134	1	0	1	3,738	134	1	0	1	3,366	121	1	0	1
			3	3,756	135	1	0	1	3,747	134	1	0	1	3,374	121	1	0	1
			4	3,656	131	0	0	1	3,647	131	0	0	1	3,284	118	0	0	1
	625mA	49	1	6,329	130	1	0	0	6,313	130	1	0	0	5,685	117	1	0	0
			2	5,820	120	1	0	1	5,806	119	1	0	1	5,228	108	1	0	1
			3	5,833	120	1	0	2	5,819	120	1	0	2	5,240	108	1	0	2
			4	5,678	117	1	0	2	5,664	117	1	0	2	5,100	105	1	0	2
	900mA	71	1	8,613	122	1	0	1	8,592	122	1	0	1	7,737	110	1	0	1
			2	7,921	112	1	0	2	7,902	112	1	0	2	7,115	101	1	0	2
			3	7,939	112	1	0	2	7,920	112	1	0	2	7,131	101	1	0	2
			4	7,728	109	1	0	2	7,709	109	1	0	2	6,942	98	1	0	2
	1100mA	87	1	10,791	124	1	0	1	10,765	124	1	0	1	9,694	112	1	0	1
			2	9,924	114	2	0	2	9,900	114	1	0	2	8,915	103	1	0	2
			3	9,946	115	1	0	2	9,922	114	1	0	2	8,935	103	1	0	2
			4	9,682	112	1	0	2	9,659	111	1	0	2	8,696	100	1	0	2
32	650mA	67	1	8,621	129	1	0	1	8,600	128	1	0	1	7,744	116	1	0	1
			2	7,928	118	1	0	2	7,909	118	1	0	2	7,122	106	1	0	2
			3	7,946	119	1	0	2	7,927	118	1	0	2	7,137	107	1	0	2
			4	7,735	115	1	0	2	7,716	115	1	0	2	6,948	104	1	0	2
	850mA	83	1	10,806	130	1	0	1	10,780	130	1	0	1	9,705	117	1	0	1
			2	9,938	120	2	0	2	9,914	119	1	0	2	8,927	108	1	0	2
			3	9,960	120	1	0	2	9,936	120	1	0	2	8,947	108	1	0	2
			4	9,695	117	1	0	2	9,672	117	1	0	2	8,709	105	1	0	2

PHOTOMETRY

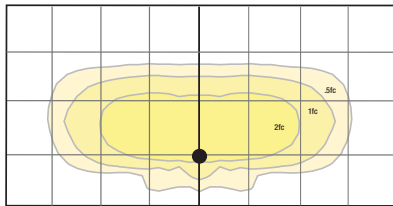
The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).

TRP2-24L-50-4K7-1



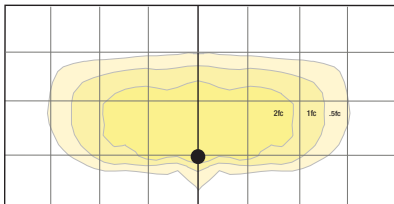
Mounting Height: 15'

TRP2-24L-50-4K7-2



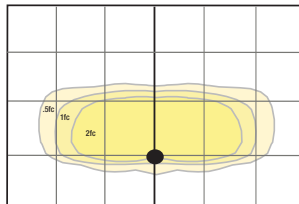
Mounting Height: 15'

TRP2-24L-50-4K7-3



Mounting Height: 15'

TRP2-24L-50-4K7-4

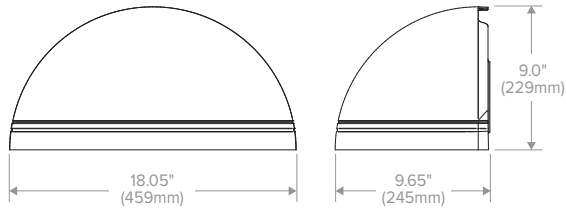


Mounting Height: 15'

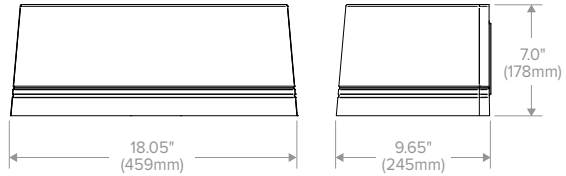
GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

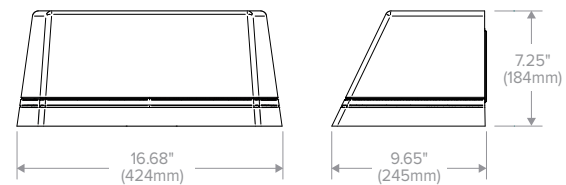
DIMENSIONS



QSP2
Weight:
15 lbs (6.8 kg)



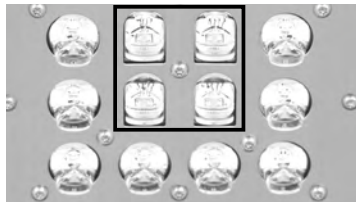
RD12
Weight:
16 lbs (7.3 kg)



TRP2
Weight:
16 lbs (7.3 kg)

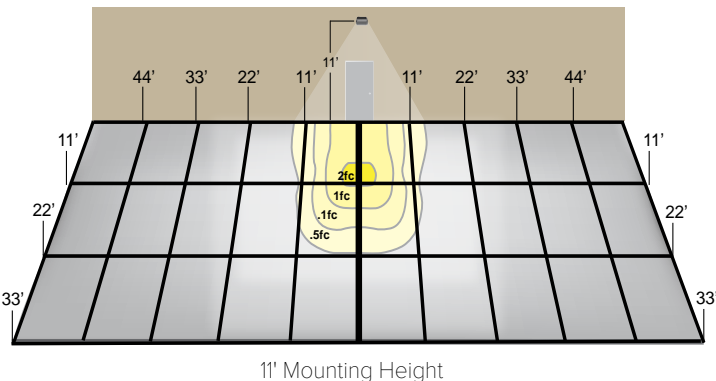
ADDITIONAL INFORMATION (CONT'D)

E & EH EMERGENCY BATTERY BACKUP



24 or 32 high power LEDs generate up to 11,000 lumens in normal mode and use 4 LEDs for up to 700 lumens in emergency mode.

PHOTOMETRICS - BATTERY BACK UP



11' Mounting Height

Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

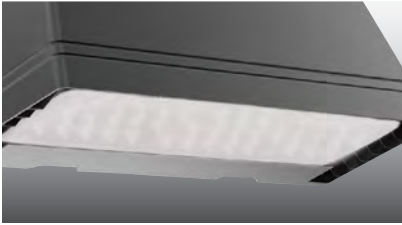
GEOPAK Series 2

SIZE 2 - TRP2/QSP2/RD12

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

COMFORT SHIELD



Comfort shield option utilizes a frosted acrylic lens that softens output and improves uniformity. Available from the factory or as an accessory for field installation.

CONTROL OPTIONS



Programmable occupancy sensor offers greater control and energy savings with adjustable delay and dimming levels (Factory default is 10%)

USE OF TRADEMARKS AND TRADE NAMES

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VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant
Name: <u>Lakeside Bank</u>
Address: <u>1350 S Michigan Avenue</u>
City/Zip: <u>Chicago, 60605</u>
Phone/Fax: (<u>312</u>) <u>852</u> / <u>9990</u>
E-Mail: <u>dpinkerton@lakesidebank.com</u>

Owner
Name: <u>Amita Health</u>
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: <u>Peter Coules, Jr./ Patrick C. McGinnis</u>
Title: <u>Attorney</u>
Address: <u>15 Salt Creek Lane, Suite 312</u>
City/Zip: <u>Hinsdale, 60521</u>
Phone/Fax: (<u>630</u>) <u>920</u> / <u>0406</u>
E-Mail: <u>peter@donatellcoules.com</u>

Name: <u>Pappageorge Haymes</u>
Title: <u>Architect</u>
Address: <u>640 N. LaSale Drive, #400</u>
City/Zip: <u>Chicago, 60654</u>
Phone/Fax: (<u>312</u>) <u>337</u> / <u>3344</u>
E-Mail: <u>srezabek@pappageorgehaymes.com</u>

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)
1) <u>N/A</u>
2) _____
3) _____

II. SITE INFORMATION

Address of subject property: 222 East Ogden Avenue, Hinsdale

Property identification number (P.I.N. or tax number): 09 - 01 - 209 - 003

Brief description of proposed project: Lakeside Bank with two lane drive-thru lanes. New construction building.

General description or characteristics of the site: Empty medical offices

Existing zoning and land use: B-3

Surrounding zoning and existing land uses:

North: B-3

South: B-3 and B-1

East: B-3

West: B-3

Proposed zoning and land use: _____

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☒ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business
District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 222 East Ogden, Hinsdale

The following table is based on the B-3 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	6,250 sq.ft.	58,894 sq.ft.
Minimum Lot Depth	125'	241.1'
Minimum Lot Width	50'	233.3'
Building Height	30'	30'
Number of Stories	2	2
Front Yard Setback	100' from central line of Ogden	over 100' from central line
Corner Side Yard Setback	25'	100'
Interior Side Yard Setback	10'	24.667'
Rear Yard Setback	20'	107'
Maximum Floor Area Ratio (F.A.R.)*	29,447	16,425
Maximum Total Building Coverage*	N/A	N/A
Maximum Total Lot Coverage*	53,005 (90%)	47,314 (80.3%)
Parking Requirements		
Parking front yard setback	N/A	N/A
Parking corner side yard setback	N/A	N/A
Parking interior side yard setback		
Parking rear yard setback		
Loading Requirements	6 cars for stacking	6 cars for stacking
Accessory Structure Information		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 19th day of July, 2020, I/We have read the above certification, understand it, and agree to abide by its conditions.

Patrick C. McGinnis
Signature of applicant or authorized agent

Signature of applicant or authorized agent

Patrick C. McGinnis
Name of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 15th day of

July, 2020.

Lana Pietrantonio
Notary Public





**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT DEPARTMENT
SPECIAL USE PERMIT CRITERIA**

Must be accompanied by completed Plan Commission Application

Address of proposed request: 222 East Ogden Avenue, Hinsdale, IL 60521

Proposed Special Use request: Two lane Drive-thru for Bank

Is this a Special Use for a Planned Development? ☒ **No** ☐ **Yes** (If so this submittal also requires a completed Planned Development Application)

REVIEW CRITERIA

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

1. *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.
See attached.
2. *No Undue Adverse Impact.* The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.
See attached.

3. *No Interference with Surrounding Development.* The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations

See attached.

4. *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

See attached.

5. *No Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

See attached.

6. *No Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

See attached.

7. *Compliance with Standards.* The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

See attached.

8. *Special standards for specified special uses.* When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

See attached.

9. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:

Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

See attached.

Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Not applicable.

Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

The design of the new building will complement the surrounding properties and does not create any adverse use of existing landscaping or sceneries.

1. The use (Bank and Bank offices) and two lane drive-thru is an allowable use in the B-3 Zoning District, as a Special Use. The B-3 District is a general business district that is intended to serve the Hinsdale suburban community with a full range of locally oriented business uses commonly located along established traffic routes. Lakeside Bank, and their offices, being on Ogden Avenue, meets this criteria.
2. A Bank and its office located on Ogden Avenue is a relatively low intensity of use for the property, and therefore does not have an adverse impact on the adjacent properties nor on the public health, safety, or general welfare of the area. There are no zoning variances requested with the plan which is a demolition of a building that has been vacant for well over one (1) year. The new building fits in nicely with the surrounding B-3 and B-1 uses.
3. South is Shell gas station; East is Hinsdale Medical Building that houses Shred 45, BU Wellness & Med Spa, Therapeutic Health, & Molecular. Next to that is Koshgarian Rug Cleaners Avanti Hair Salon, State Farm, & Sterling & Knight Jewelry & Pawn. Across Ogden are office buildings, medical buildings, and parking. 222 Ogden Avenue uses two (2) curb cuts, not changing and all self-encompassing property with no going onto neighboring properties.
4. No changes to any public facilities are necessary. The use of the property as a Bank and offices has had and will continue to have no negative impact on any public services. The use is not more intensive than medical offices.
5. This has not been an issue nor will the request create an issue as use not more intensive and a traffic study by KLOA has been provided. At this time, branch hours to be 8:00 a.m. to 5:00 p.m. Drive Thru will have the same hours. The operations staff hours will be 7:00 a.m. to 6:00 p.m. with most staff working 8:00 a.m. to 5:00 p.m.
6. The existing structure will be removed and has no significant features and a new building erected. There is no additional lot coverage of impervious sources.
7. Applicant is seeking a variation to grant a Special Use for two drive-thrus. There are no residential properties that abut this property and all stacking will face Ogden (on East side of building).
8. All of the conditions of the approved special use are being met. There are no long hours and less hours than the Shell gas station and to the South. No noise nor other concerns with a Bank and its offices. In fact, this property has been vacant and well over one (1) year and exempt from property taxes as it is owned by a Not For Profit.

For the Code and Plan purposes the proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the office comprehensive plan.

The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

There will be no interference with surrounding development. The proposed use and development will be constructed arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

There will be no traffic congestion as the proposed use and development will not cause undue traffic congestions nor draw significant amounts of traffic through residential streets.

The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

The proposed use and development will be a public benefit at the particular location requested which is necessary and desirable to provide a service or a facility that is in the interest of the public convenience of that will contribute to the general welfare of the neighborhood or community.

For the alternative locations, Ogden Avenue to such extent can meet public goals by the location of the proposed use and development.

For the proposed use and development all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through the building design, site design, landscaping, and screening.

9. Bank and drive-thru will serve needs of residents of Hinsdale and no negative impact on any neighbors. Best along Ogden Avenue in the B-3 with all abutting properties being B-3 and B-1.

- Notes:**
1. Site Area is per information provided in ALTA Survey dated July 19, 2018
 2. Special Use for the following is permitted in a B-3 district subject to an issuance of a special use permit: (1) Depository & non-depository credit institutions, not including drive-in establishments or automatic teller machines, except automatic teller machines attached to the principal structure on the lot and only subject to additional provisions (2) Drive-in depository and non depository credit institutions, but only subject to additional provisions, and (3) Automatic teller machines when not attached to the principal structure on the lot.
 3. Required stacking spaces leading to each drive-in window
 4. Any fraction shall require one additional parking space.
 5. 1 required loading space for the first 10,000-100,000 sf of gross area
 6. See Sec. 5-110: Bulk, Space, and Yard Requirements
 7. **Widths:** The total width of driveways measured at the lot line on a parcel of property used for nonresidential purposes shall not exceed one-half (1/2) the lot frontage, and no single driveway approach shall exceed thirty feet (30') measured at the property line. The width of the driveway approach measured at the curb shall in no case be greater than five feet (5') more than the width measured at the lot line.
 8. **Location Of Drives:** On a parcel of property used for nonresidential purposes, no driveway approach shall be located within five feet (5') of the property line, or within ten feet (10') of any other driveway approach as measured at the property line. Additionally, no new driveway approach for secondary access to or from a commercially-zoned property shall be permitted to be created onto a street where the access drive is directly adjacent to, or directly across from a residentially-zoned district.
 9. **Location Of Drive-In Lanes:** Drive-in lanes shall not be permitted in any front or corner side yard; provided, however, only that a required access drive aisle from the public street to the drive-in lanes may traverse a front or corner side yard in a manner that minimizes the lot coverage within that front or corner side yard.
 10. Per the 1:250 and 1:275 parking space requirements, the proposed 16,413 sf building would require 82 parking spaces. The current site plan provides 69 spaces.
 11. Per § 104-5-2b: Off street parking for uses specified in this subsection shall not be located in required front or corner side yards.

Zoning Data - 222 E Ogden Ave		Existing Zoning	Proposed	Notes
Zoning Basis		B-3	B-3	
Net Site Area:		59,894	59,894	Note 1
Permitted Uses		Note 2	Bank/Offices	
Max Floor Area Ratio:		0.50	0.28	Note 5
Max. F.A.R. Area:		29,447	16,425	
Max. Total Lot Coverage		53,005 (90%)	47,314 (80.3%)	Note 6
Max. Building Coverage		NA	NA	
Min. Lot Area & Dimensions	PD			Note 5
All Other Uses (sf)		None	None	
Lot Width, feet		6,250	59,894	
Lot Depth, feet		50	233.3	
Required Yards/Setbacks (feet):				
Front & Corner Yards		25	100	
Front Setback, from Ogden Ave CL		100	100	
Side Yard & Setback		10	24,567	
Rear Yard & Setback		20	107	
Max. Building Ht (feet):				Note 5
Principal structures, feet		30	30	
Principal structures, stories		2	2	
Building Wall Separation				
Facing Interior Side Property Line (ft)		12	24,567	
Facing Other Front/Rear Walls (ft)		30	107	
On-Site Open Space (sf)		NA	NA	
Ground Floor Commercial Space				
Max Floor Area (sf)		NA	NA	
Min. Floor Area (sf)		NA	NA	
Min. Ft to Ft height (ft)		NA	NA	
Building Programmatic Usage				
Finance (sf)		-	2,732	
Business/Office (sf)		-	13,693	
Min. Required Auto Parking:				
Finance, Insurance, & Real Estate		1:250	11	
Business & Prof Office (10K-50K sf)		1:275	50	Note 3, 4, 7, 8, 10, 11
Drive-In Lanes		2	2	
Drive-In Stacking (cars)		6	6	
Req'd Offstreet Loading:				
Office Uses		Note 5	1	Note 8 Note 5



Lakeside Bank
Development

PAPPAGEORGE
HAYMES

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www.pappageorgehaymes.com

7/10/20
PH # 192705

These plans are prepared by the undersigned and are not to be used for any other purpose without the written consent of the undersigned.

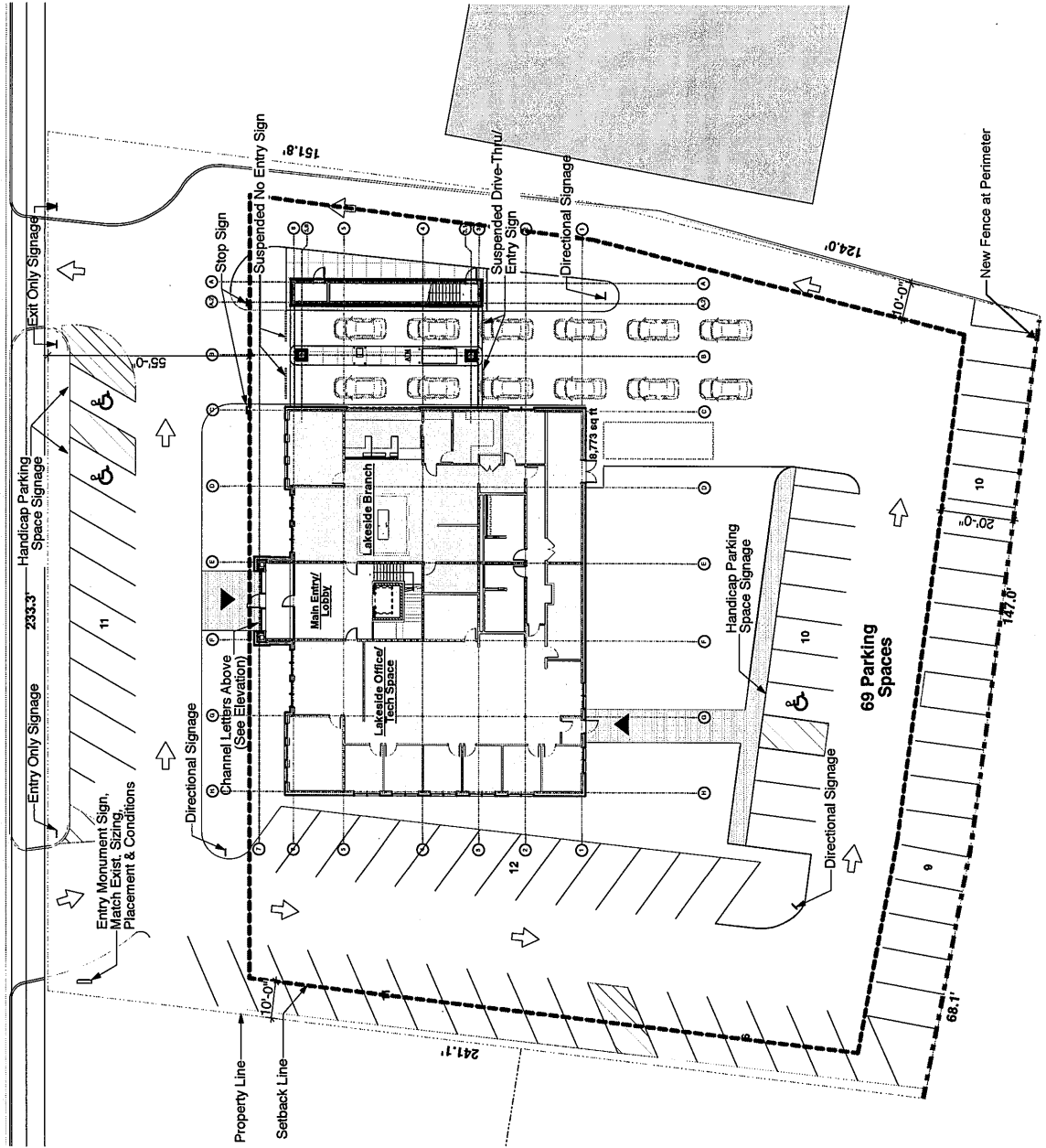
Lakeside Bank - Hinsdale

222 E. Ogden Ave
Hinsdale, Illinois

Site Plan
Scale: 1" = 30'



E. OGDEN AVE



1ST FLOOR SF SUMMARY:
 Branch Bank SF: 2,732 sf
 Lakeside Office/Tech Space: 12,285 sf
 Common Area: 1,428 sf
TOTAL 1st Floor Plate: 16,425 sf
TOTAL BUILDING SF: 16,425 sf

TOTAL SF SUMMARY:
 Branch Bank SF: 2,732 sf
 Lakeside Office/Tech Space: 12,285 sf
 Common Area: 1,428 sf
TOTAL BUILDING SF: 16,425 sf



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7/10/20
PH # 192765

This plan is a preliminary design and is subject to change without notice. It is not to be used for construction without the approval of the architect.

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

First Floor Plan
Scale: 1/16" = 1'-0"



1ST FLOOR SF SUMMARY:
Branch Bank SF: 2,732 sf
Lakeside Office/Tech Space: 4,613 sf
Common Area: 1,428 sf
TOTAL 1st Floor Plate: 8,773 sf
TOTAL BUILDING SF: 16,425 sf



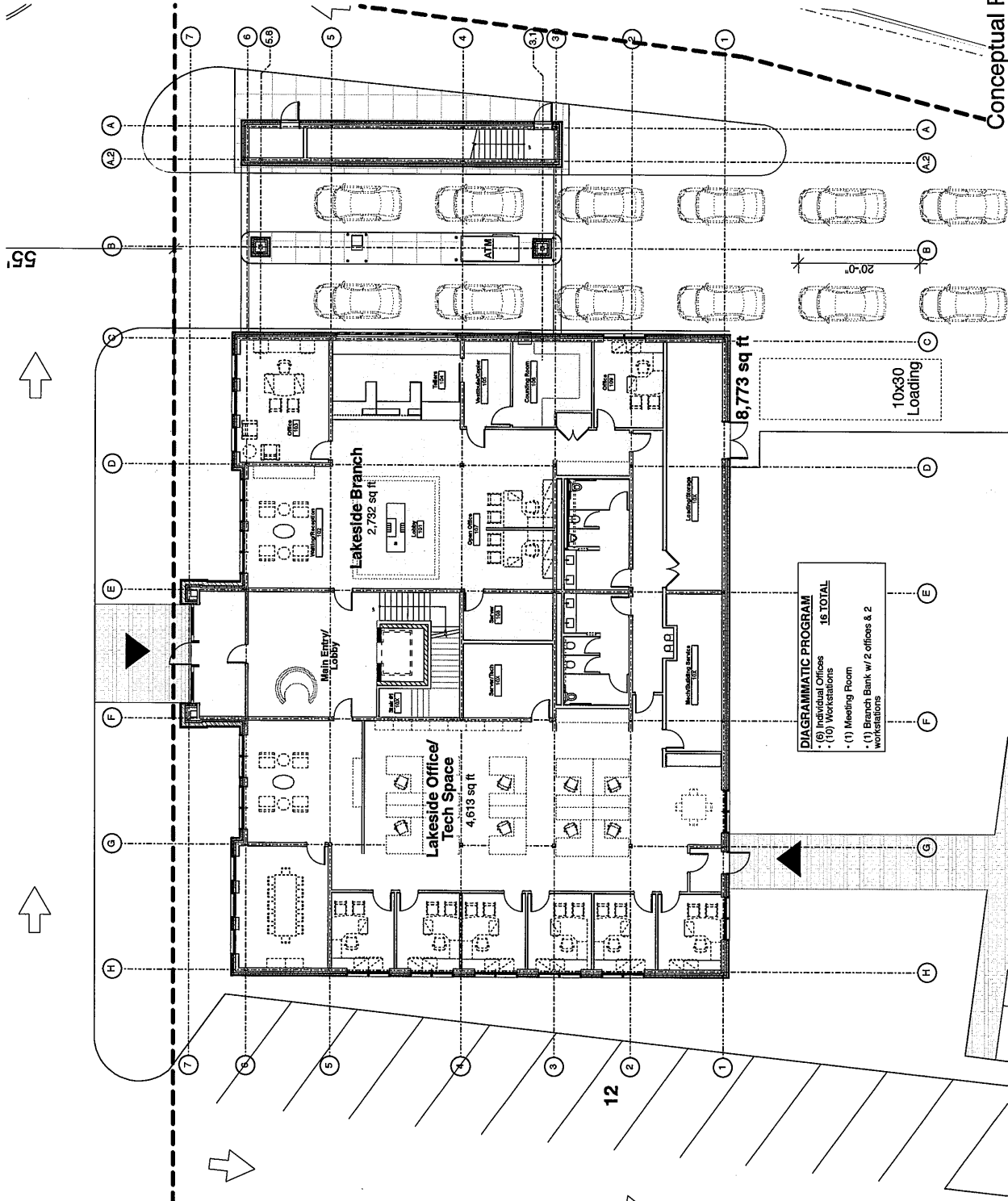
Lakeside Bank
Lakeside Bank
Developer

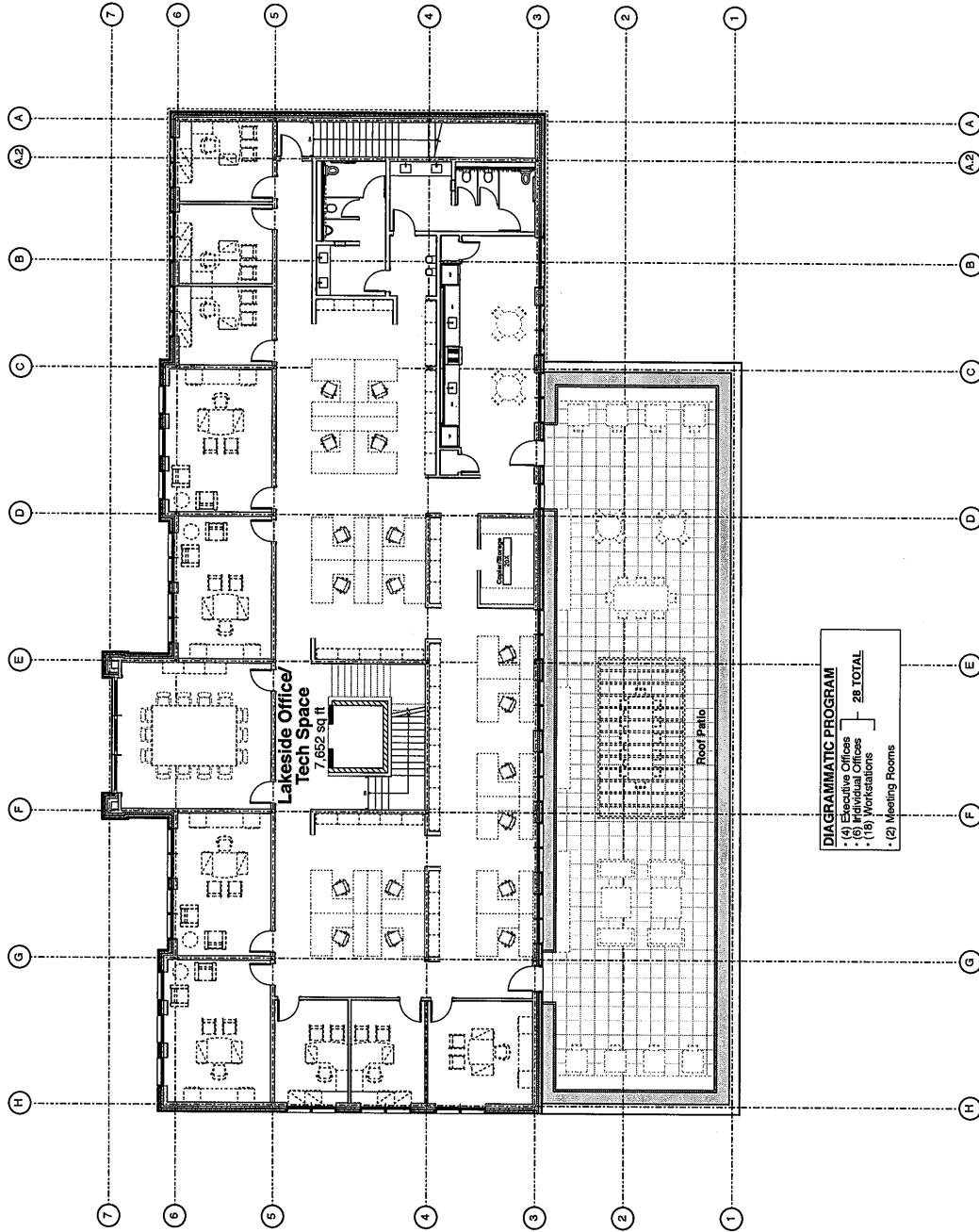
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7/10/20
PH # 192705

Conceptual Plan





DIAGRAMMATIC PROGRAM	
• (4) Executive Offices	28 TOTAL
• (6) Individual Offices	
• (18) Workstations	
• (2) Meeting Rooms	

2ND FLOOR SF SUMMARY:

Total 2nd Floor Plate: 7,652 sf

TOTAL BUILDING SF: 18,425 sf



Lakeside Bank
Lakeside Bank
developer



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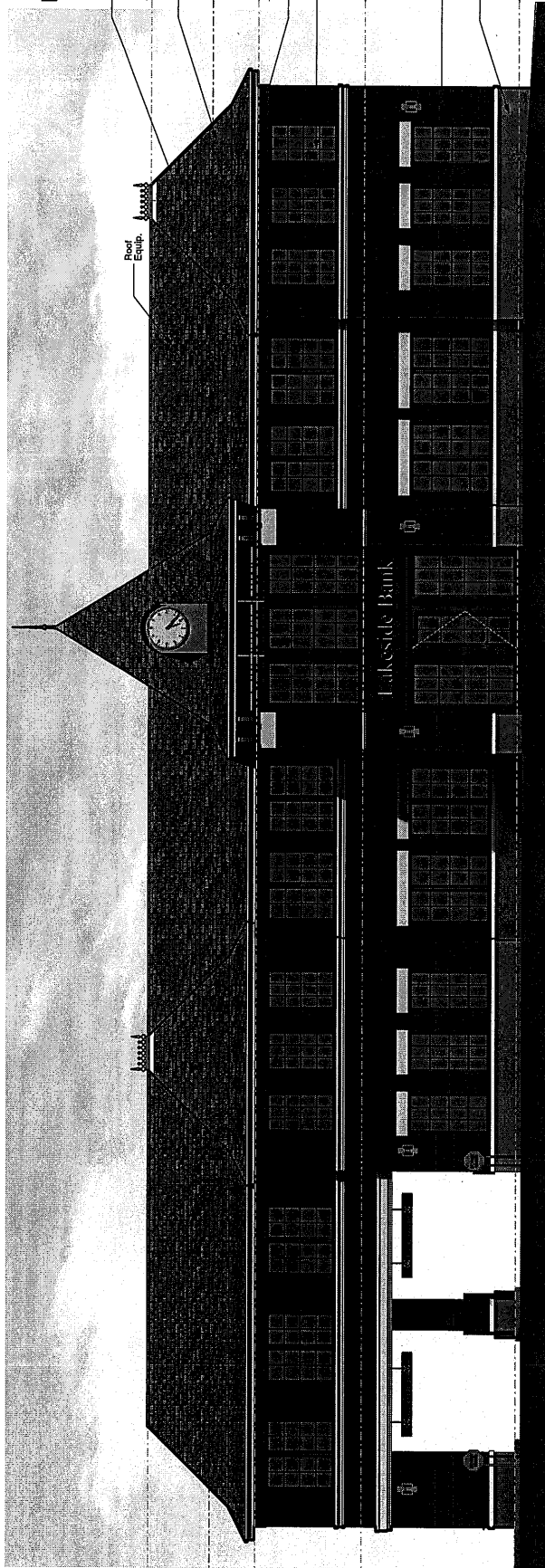
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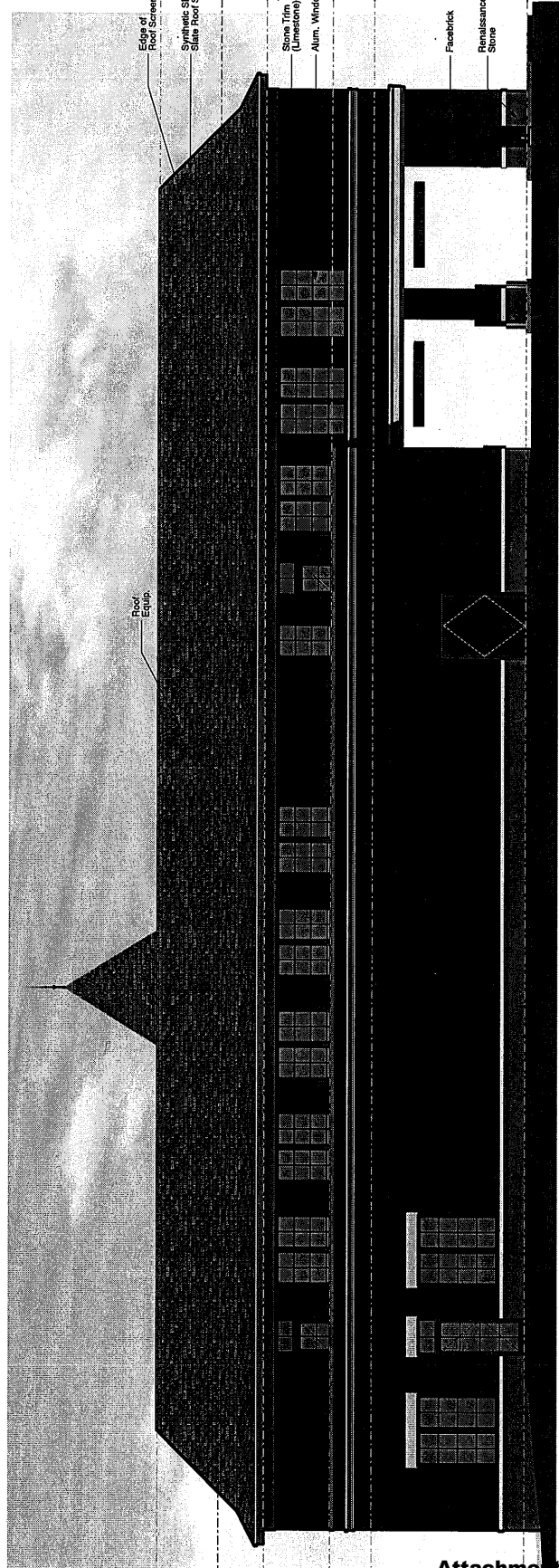
Conceptual Plan

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

North & South Elevations
Scale: 3/32" = 1'-0"



North Elevation



South Elevation

Lakeside Bank
Lakeside Bank
Developer

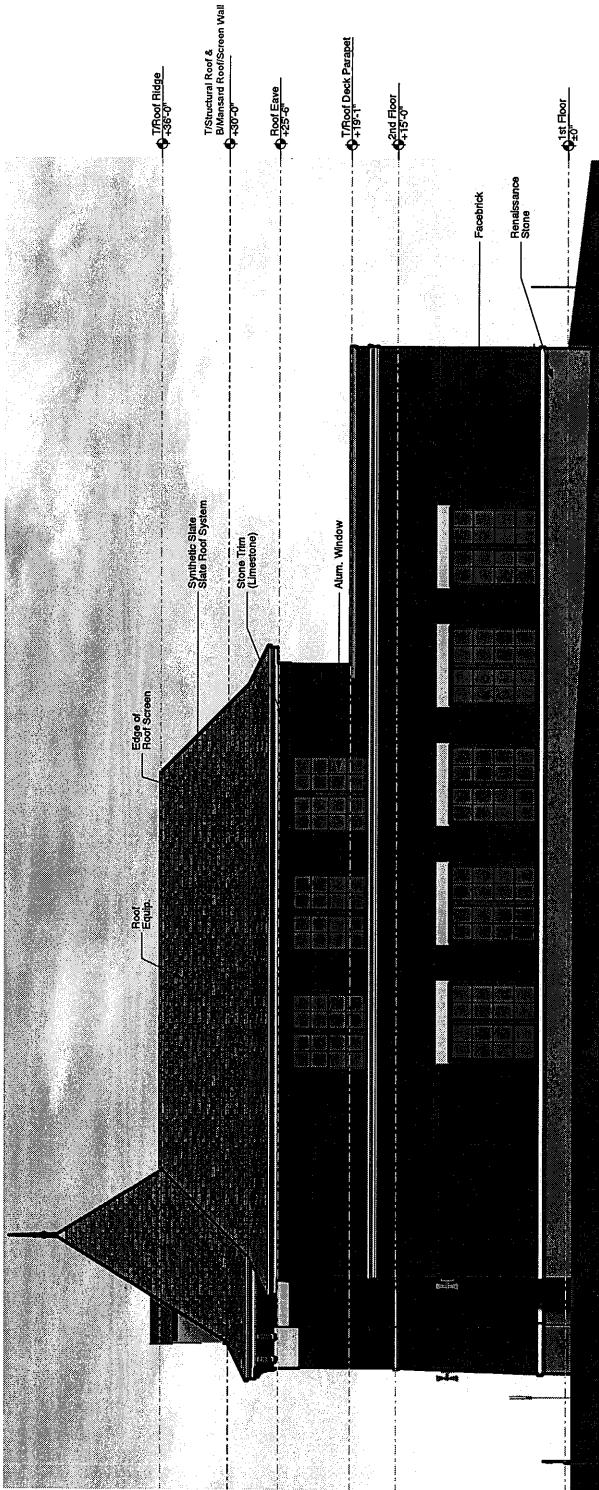
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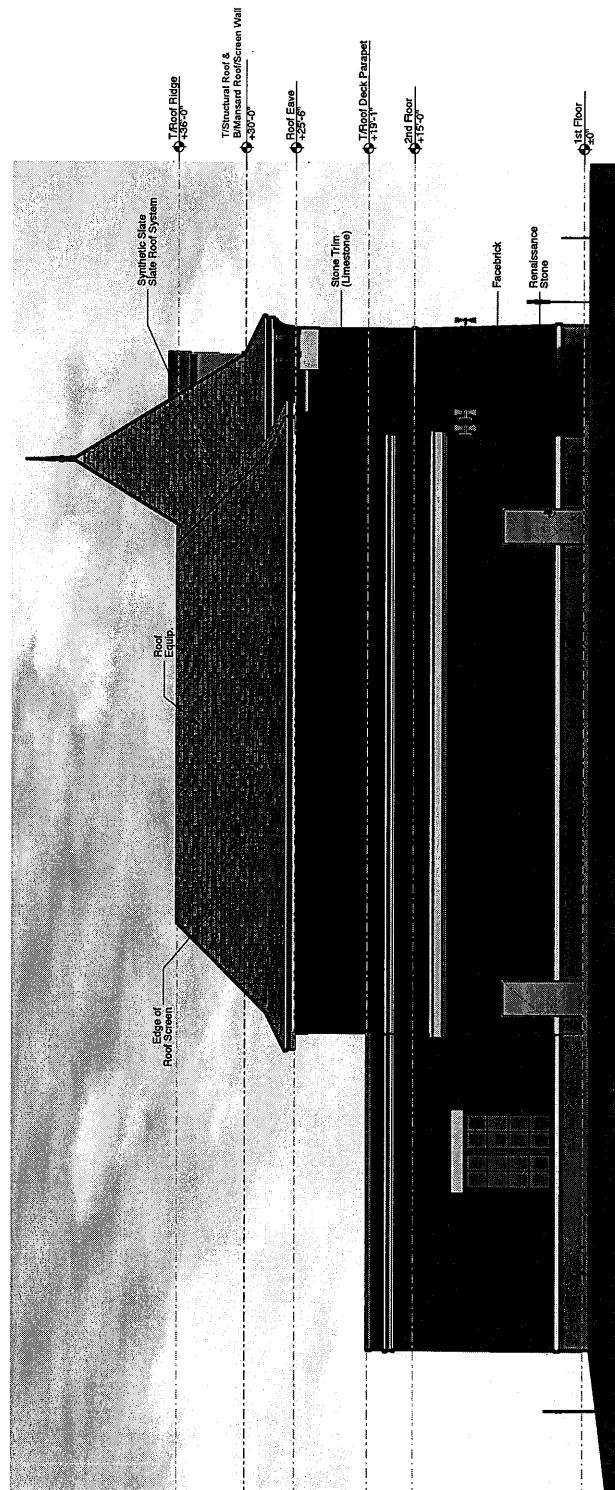
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Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

East & West Elevations
Scale 3/32" = 1'-0"



West Elevation



East Elevation



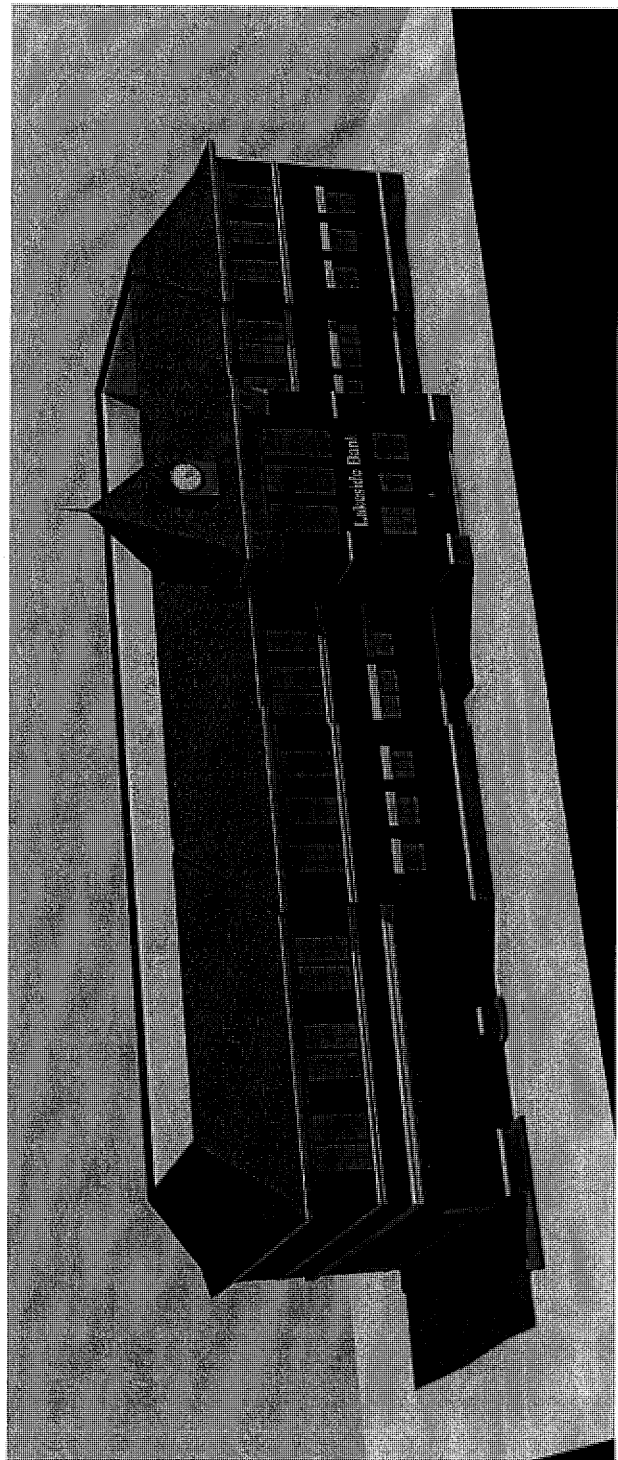
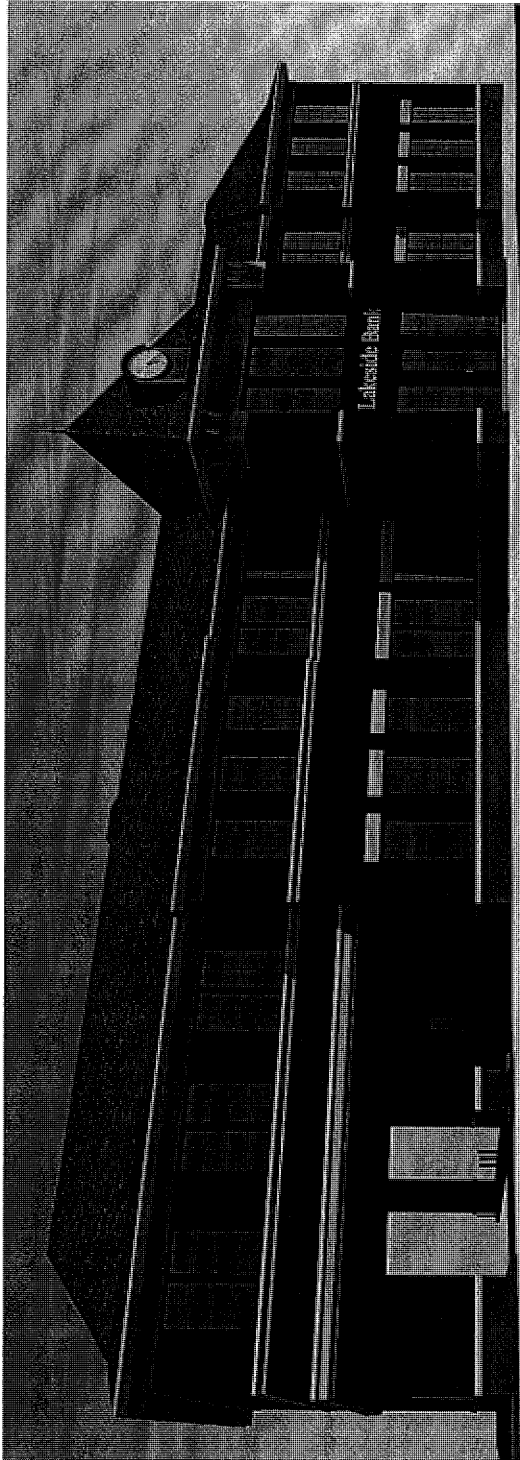
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7/19/20
PH # 162706

These drawings are prepared under contract and are not to be used for any other project without the written consent of the architect.

Lakeside Bank - Hinsdale
222 E. Ogden Ave
Hinsdale, Illinois

Renderings



 **Lakeside Bank**
Lakeside Bank
Developer

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7/19/05
PH # 192705

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QUIT CLAIM DEED

PREPARED BY:

John F. Dixon
Law Offices of John F. Dixon, LLC
1415 West 55th Street
Suite 101
Countryside, IL 60525
Tel: (708) 352-1800
Fax: (708) 352-1888



FRED BUCHOLZ

DUPAGE COUNTY RECORDER

JUL.30,2015 RHSP 12:14 PM
QCD \$40.00 09-01-209-003
003 PAGES R2015-083845

(The Above Space For Recorder's Use Only)

ELM CREEK PROPERTY MANAGEMENT, LLC, an Illinois limited liability company ("Grantor"), in consideration of ten dollars (\$10.00) and other good and valuable consideration paid by **ADVENTIST MIDWEST HEALTH**, an Illinois not-for-profit corporation ("Grantee"), the receipt and sufficiency of which is acknowledged, does hereby convey and quit claim to Grantee, all of Grantor's right, title and interest in and to the real property in DuPage County, Illinois, which is more particularly described on **Exhibit A** and referred to herein as the Property.

DATE: July 21, 2015

GRANTOR:

EXEMPT PURSUANT TO SECTION 4, Elm Creek Property Management, LLC,
SUBPARAGRAPH (e) OF THE REAL An Illinois limited liability company
ESTATE TRANSFER TAX LAW

Grantor or agent

By:

David Crane, Manager

SUBSEQUENT TAX BILLS TO:

Elm Creek Property Management, LLC/AMH
15 Spinning Wheel Road
Suite 124
Hinsdale, IL 60521

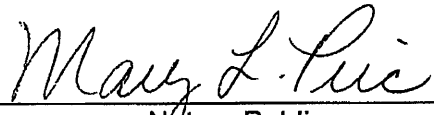
AFTER RECORDING RETURN TO:

John F. Dixon
Law Offices of John F. Dixon, LLC
1415 West 55th Street
Suite 101
Countryside, IL 60525

STATE OF ILLINOIS)
) S.S.
COUNTY OF COOK)

I, a notary public in and for the county and state above, do certify that David Crane, as Manager of Elm Creek Property Management, LLC, an Illinois limited liability company, and being known to me to be the same person whose name is subscribed to the above instrument, appeared before me this day in person and acknowledged that he signed and delivered the instrument pursuant to authority given by the members of the Company, as his free and voluntary act, for the uses and purposes stated above.

GIVEN under my hand and official seal, this 21st day of July, 2015.



Notary Public



EXHIBIT A

LEGAL DESCRIPTION

SCHWENDENER'S RESUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 14, 1970 AS DOCUMENT NUMBER R70-33025, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 222 East Ogden Avenue, Hinsdale, Illinois 60521

Property index number: 09-01-209-003

MEMORANDUM TO: David Pinkerton
Lakeside Bank

FROM: Michael A. Werthmann, PE, PTOE
Principal

DATE: July 14, 2020

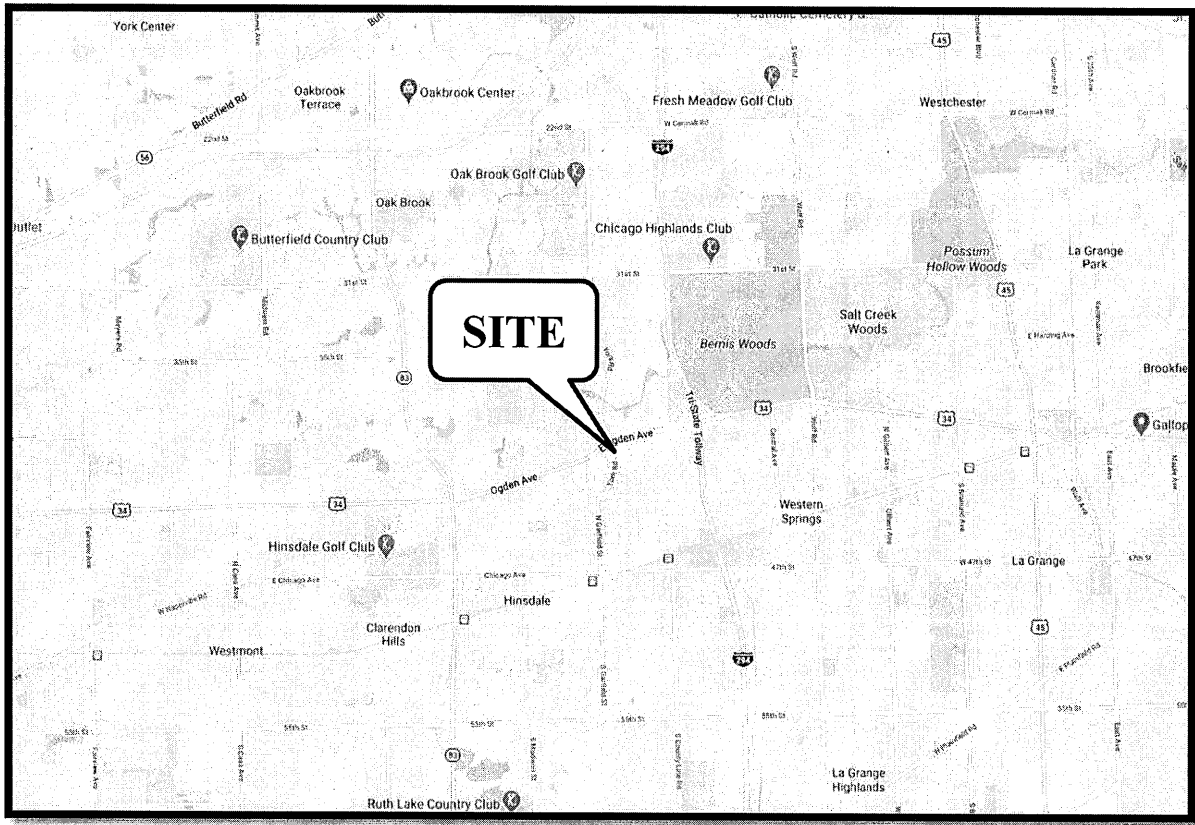
SUBJECT: Traffic Evaluation
Proposed Office Building and Branch Bank
Hinsdale, Illinois

This memorandum summarizes the results and findings of a traffic evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed office building and a branch bank to be located in Hinsdale, Illinois. The site of the development, which contains a vacant approximate 25,400 square-foot medical office building, is located on the south side of Ogden Avenue just east of York Road. As proposed, the site will be redeveloped to contain an approximate 16,500 square-foot office building that will include an approximate 2,800 square-foot branch bank. The branch bank is proposed to have two drive-through lanes on the east side of the office building. Access to the development is proposed to be provided via the two existing access drives on Ogden Avenue. A copy of the proposed site plan is provided in the Appendix. **Figure 1** shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

The purpose of this evaluation was to summarize the characteristics of the roadway system, estimate the peak hour trips to be generated by the development, review the access system, and examine the adequacy of the stacking for the drive-through lanes.

Roadway System and Access Characteristics

Ogden Avenue (U.S. Route 34) is a northeast-to-southwest, major arterial roadway that has a full access interchange with I-294. In the vicinity of the site, Ogden Avenue has two lanes in each direction divided by a striped median. Separate left-turn lanes are provided at most intersections, including the signalized intersections of York Road and Salt Creek Lane/Oak Street and the unsignalized intersection of County Line Road. Ogden Avenue is under the jurisdiction of the Illinois Department of Transportation (IDOT), has a posted speed limit of 35 miles per hour, and carries an Average Annual Daily Traffic (AADT) volume of 34,600 vehicles (IDOT 2017) within the immediate vicinity of the site.



Site Location

Figure 1

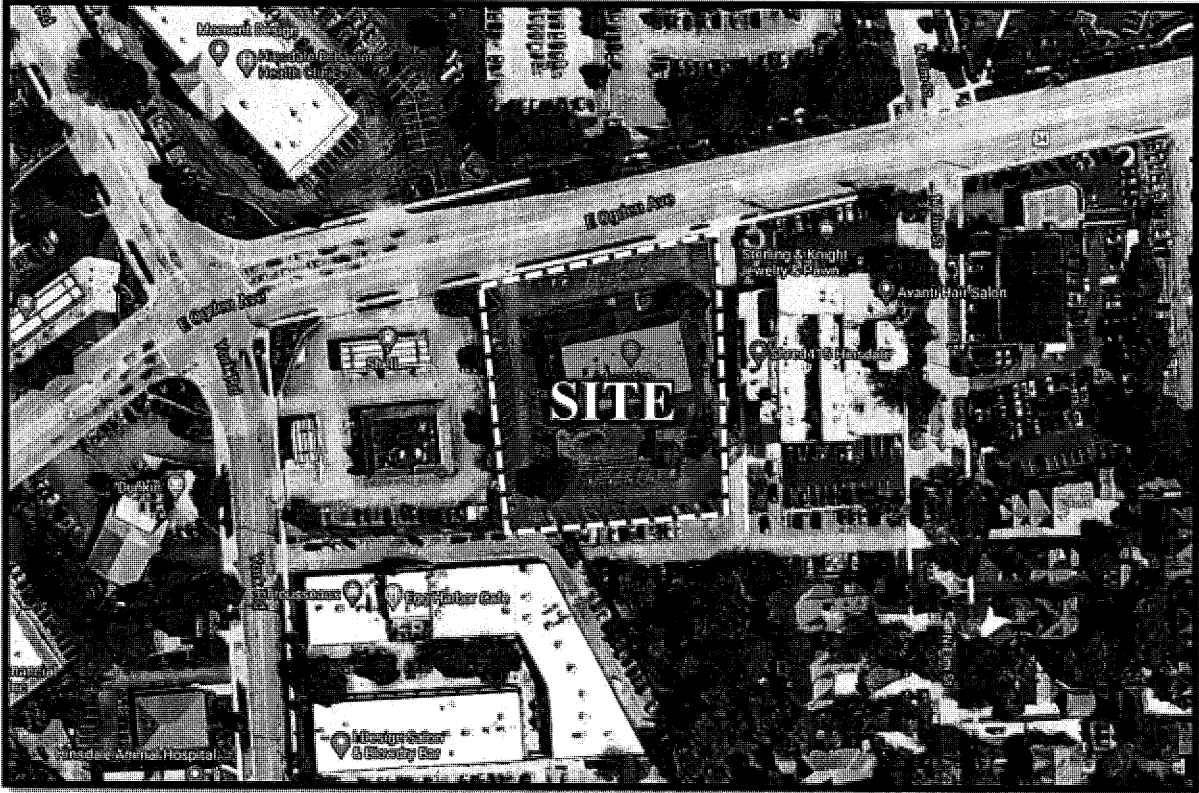


Figure 2

Access to the site is currently provided via two, one-way access drives located on Ogden Avenue. The western access drive is located at the west end of the site and provides inbound only access via one inbound lane. Inbound left-turn movements to the site are accommodated via the Ogden Avenue westbound left-turn lane serving York Road. The eastern access drive is located at the east end of the site and provides outbound only access via one outbound lane. A sign is currently located at the outbound access drive prohibiting outbound left-turn movements from 7:00 to 9:00 A.M. and from 4:00 to 6:00 P.M.

Crash Analysis

KLOA, Inc. obtained crash data¹ from IDOT for the most recent past five years available (2014 to 2018) for the intersections of Ogden Avenue with the two access drives. According to IDOT, no crashes occurred at the two access drives between 2014 and 2018.

Development Traffic Generation and Comparison

As proposed, the site will be redeveloped to contain an approximately 16,500 square-foot office building that will include an approximate 2,800 square-foot branch bank. The number of peak hour trips estimated to be generated by the proposed development was based on the “General Office Building” (Land-Use Code 710) and “Bank with Drive-Through Lane” (Land-Use Code 912) vehicle trip generation rates contained in *Trip Generation Manual*, 10th Edition, published by the Institute of Transportation Engineers (ITE). In addition, it is important to note that surveys conducted by ITE have shown that approximately 40 percent of trips made to banks are diverted from the existing traffic on the roadway system. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Such diverted trips are referred to as pass-by traffic.

For comparison purposes, the volume of traffic that the current approximate 25,400 square-foot vacant medical office building could generate was also determined. It is our understanding that the basement of the medical office building was built out as medical offices and classrooms for a day care center. While a day care center typically has higher trip generation rates than medical office, the traffic estimated to be generated by the current building was estimated assuming the entire building was occupied with medical office uses. The “Medical/Dental Office Building” (Land-Use Code 720) ITE trip rates were used to estimate the traffic generated by the medical office building.

Table 1 summarizes the trips projected to be generated by the proposed office development and branch bank and the traffic generated by the existing medical office building.

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.

Table 1
ESTIMATED TRAFFIC VOLUMES

Land Uses	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	In	Out	Total	In	Out	Total
Proposed Development						
Office Building – 13,700 s.f.	14	2	16	3	13	16
Branch Bank – 2 Drive-Through Lanes	11	7	18	26	28	54
Total	25	9	34	29	41	70
Existing Development						
Medical Office Building – 25,400 s.f.	51	15	66	25	63	88

From Table 1 it can be seen that the proposed office building with branch bank will generate approximately one-half the trips during the morning peak hour and slightly fewer trips during the evening peak hour compared to the trips that the existing 25,400 square-foot medical office building could generate. Further, it is important to note that approximately 40 percent of the trips generated by the bank during the evening peak hour will be pass-by trips and not new trips to the roadway system. As such, the proposed office building and branch bank will generate a similar volume of new trips, if not less than, the existing medical office building.

Proposed Access System

Access to the office building and branch bank is proposed to be provided via the existing two, one-way access drives located on Ogden Avenue as summarized below:

- The western access drive is located at the west end of the site and will continue to provide inbound only access to the site via one inbound lane. Inbound left-turn movements to the development will continue to be provided via the Ogden Avenue westbound left-turn lane serving York Road.
- The eastern access drive is located at the east end of the site and will continue to provide outbound only access. This access drive is approximately 30 feet wide and should be striped to provide a separate right-turn lane and a separate left-turn lane. Both lanes should be under stop sign control. In addition, a “Do Not Enter” sign should be installed at this access drive facing Ogden Avenue. Further, the sign prohibiting outbound left-turn movements from 7:00 to 9:00 A.M. and from 4:00 to 6:00 P.M. is proposed to be removed as part of the redevelopment. With the elimination of the left-turn restriction, the access should be monitored in the future to ensure that it is providing efficient and orderly access from the site. If necessary, the outbound left-turn movements can be prohibited during the peak periods.

Proposed Drive-Through Stacking

As proposed, stacking for six vehicles will be provided within each drive-through lane without blocking the circulation system. The Village of Hinsdale zoning ordinance requires a total of six stacking spaces per lane. In addition, observations and surveys performed at numerous banks in the Chicagoland area show that the maximum stacking within a drive-through lane is three to four vehicles. Further, previous information provided at other banks indicates that approximate 50 percent of the patrons use the drive-through facilities while approximately 50 percent of the patrons park and enter the bank. With a projected evening peak hour volume of approximately 26 inbound vehicles, it can be seen that approximately 13 patrons will use the two drive-through lanes which averages to six to seven patrons per lane in one hour. As such, the stacking provided for the proposed drive-through lanes will be sufficient to accommodate the drive-through peak demand and meets the requirements of the Village.



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 222 East Ogden Avenue

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

See Attached.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

See Attached.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

See Attached.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
See Attached.
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
See Attached.
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
See Attached.
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
See Attached.
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
See Attached.
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See Attached.
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
See Attached.
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
See Attached.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

See Attached.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

See Attached.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

See Attached.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

See Attached.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

See Attached.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

See Attached.

2. The proposed site plan interferes with easements and rights-of-way.

See Attached.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

See Attached.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

See Attached.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

See Attached.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

See Attached.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

See Attached.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

See Attached.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

See Attached.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

See Attached.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

See Attached.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

See Attached.

1. The proposed building leaves the same amount of space between surrounding buildings and does not lessen the current setback between spaces, streets & facades.
2. The proposed building uses quality materials that match surrounding buildings and makes the surrounding area look nicer and upgraded quality. A Masonry building that matches the Hinsdale office park.
3. The design and quality of the proposed building matches with the character of the surrounding buildings and neighborhood.
4. The proposed site plan and building allows for better quality than the current site plan.
5. The height of the proposed building and structure is visually compatible with surrounding buildings and meets Zoning Code requirements.
6. The proposed width to the height of front elevation is visually compatible with surrounding buildings and does not take away from any less open spaces on the current site plan.
7. The proposed width to the height of the windows is visually compatible with surrounding buildings.
8. The relationship of solids to voids in the front facade of the proposed building is visually compatible with surrounding buildings and neighborhood.
9. The proposed building uses the same amount of open spaces in between current buildings and does not take away any open space to surrounding buildings or neighborhood.
10. The proposed site uses the same entrances and other projections to sidewalks as the current site uses. The proposed site meets Zoning Code requirements.
11. The materials and texture will use brick which surrounding buildings also use and is visually compatible. The building to the East is pure masonry and to the West is the shell gas station.
12. The roof shape of the building is compatible with the surrounding buildings and meets Zoning Code requirements.
13. Building facades are met with the required Zoning Codes and in fact, are visually related and compatible with surrounding buildings.

14. The size and mass of buildings and structures are visually compatible with surrounding buildings and meet Zoning Code requirements. There are no porches or balconies on the proposed structure.
15. The character of the front elevation of the proposed building meets Zoning Code requirements, as well as fits with the surrounding buildings. The width and orientation of the building is the same as what exists today.
16. N/A

REVIEW CRITERIA – Site Plan Review

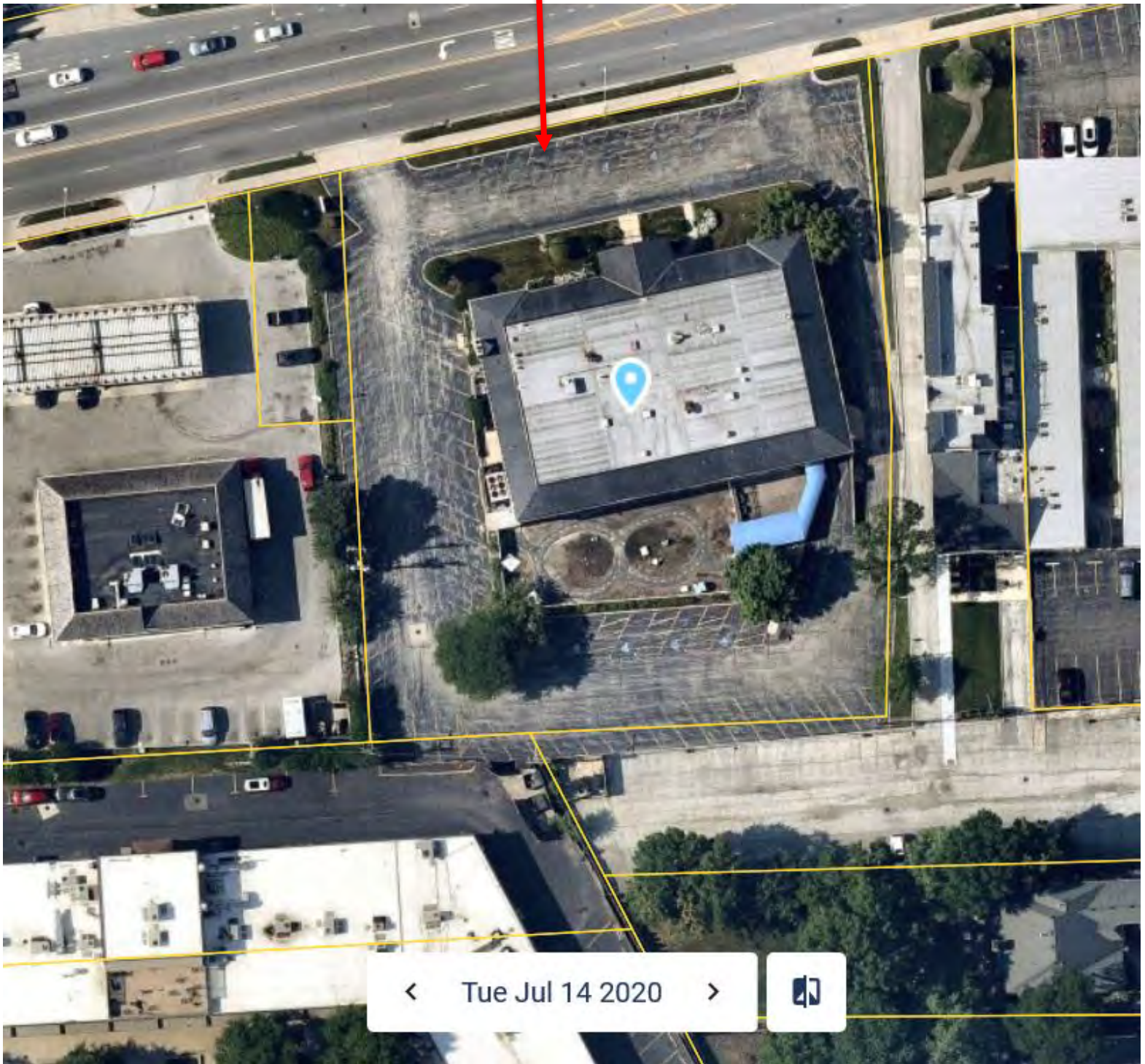
1. The proposed site plan meets all required standards by the Zoning Codes.
2. The proposed site plan does not interfere or change any easements and rights-of-way.
3. The proposed site plan will help all the above as the current building on the site is deuterating.
4. The proposed site plan will not affect any surrounding property with any less community enjoyment. In fact the setbacks are the same or greater than what exists today.
5. There was a traffic study preformed for the current proposed site plan and it does not create any traffic congestion or hazards. The traffic will flow the same, if not smoother.
6. The proposed site plan provides the same amount, if not more, of shielding from or for the nearby uses and buildings.
7. The proposed structure and landscaping will in fact brighten the neighboring properties and match with neighboring structures and landscaping. The proposed structure will not lack amenity to any neighboring structures or current uses. The existing structure is in need of repair, the parking lot is in bad shape, lower lines need to be repaired and the garbage container is not enclosed.
8. The application and site plans submitted does not affect any of the space that is currently being used. The plans allow for continued space and maintenance.

9. The proposed site plan has proper drainage and will not create any erosion. The site will be properly paved and equipped with proper materials and drainage that will serve the community.
10. The proposed site plan does not place any unwarranted or unreasonable burdens on specified utility systems on the site and it satisfactorily integrates the site's utilities into the overall existing and planned utility system serving the Village and the community.
11. The proposed site plan does provide for allowed public uses.
12. The proposed site plan does not adversely affect the public health, safety, or general welfare. In fact, the proposed site plan is tearing down a deuterated building to build something that benefits the general public. In fact, the property ownership today does not pay any real estate taxes and Lakeside Bank would put the property back on the tax roles and the Village of Hinsdale and schools will benefit from same.

Attachment 3: Street View of 222 E. Ogden Avenue (facing south)



Attachment 4: Aerial View of 222 E. Ogden Avenue



Attachment 5: Bird's-Eye View of 222 E. Ogden Avenue (facing south)

