



MEETING AGENDA

Due to the ongoing public health emergency, and based on the authority provided by Executive Order 2020-07, issued by Governor Pritzker on March 16, 2020, as most recently extended by Executive Order 2020-33, dated April 30, 2020, and Executive Order 2020-32, issued by Governor Pritzker on April 30, 2020, limiting public gatherings and suspending the Open Meetings Act physical presence requirement, this meeting will be conducted electronically. The meeting will still be broadcast live on Channel 6 and the Village website.

Public comments are welcome on any topic related to the business of the Plan Commission at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. While emailed or written comments are encouraged, public comment may also be made by phoning into the meeting at 312.667.4792 Conference Code 581537. If you have questions regarding communication to the Commission during the meeting, please contact Village Planner Chan Yu at 630.300.8202.

PLAN COMMISSION
Wednesday, May 13, 2020
7:30 P.M.

This meeting will be conducted electronically. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website
(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

4. MINUTES - March 11, 2020

5. EXTERIOR APPEARANCE AND SITE PLAN REVIEW

- a) Case A-08-2020 – 32 Blaine Street - 32 Blain LLC – Exterior Appearance and Site Plan review to make various improvements to the existing building on the subject property, to be continued to be utilized as a Law Office in the O-1 Specialty Office District.
- b) Case A-13-2020 – 908 N. Elm Street – CBRE Property Manager/GA HC REIT II Hinsdale MOB I – Exterior Appearance and Site Plan review to enclose the entrance into the existing office building at 908 N. Elm St. in the O-3 General Office District.

6. SCHEDULE OF PUBLIC HEARING - No discussion will take place except to determine a time and date of hearing. (note: the next PC meeting is on Wednesday, June 10, 2020)

- a) Case A-14-2020 – Village of Hinsdale – Consideration of a Temporary 180-Day Moratorium on the Issuance of any Demolition Permit or Other Building or Zoning Approvals involving the Demolition of a Single Family Home within the Village.
- b) Case A-40-2019 – Ryan Companies, US Inc. – Map Amendment, Text Amendment and Planned Development Concept Plan to develop 16.8 Acre “IBLP” Site at 707 W. Ogden Ave (Northwest corner of W. Ogden Ave. and Adams St.) for a New 3-story, 330,000 SF,

245-unit Senior and Assisted Living Development and 9 single story duplex villas for Independent Living Seniors.

7. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. Web Site: www.villageofhinsdale.org

Approved

**MINUTES
VILLAGE OF HINSDALE
PLAN COMMISSION
March 11, 2020
MEMORIAL HALL
7:30 P.M.**

Plan Commission Chair Cashman called the meeting to order at 7:30 p.m., Wednesday, March 11, 2020, in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

PRESENT: Steve Cashman, Michelle Fisher, Julie Crnovich, Jim Krillenberger, Troy Unell, Debra Braselton, and Gerald Jablonski

ABSENT: Mark Willobee and Anna Fiascone

ALSO PRESENT: Chan Yu, Village Planner and applicants for cases: A-05-2019, A-06-2020, and A-04-2020

Approval of Minutes – February 12, 2020

With no questions or comments, the Plan Commission (PC) unanimously approved the February 12, 2020, minutes, as submitted, 5-0, (2 abstained and 2 absent).

Findings and Recommendations - Case A-01-2020 – 5901 S. County Line Rd. – Hinsdale Platform Tennis Association – Exterior Appearance/Site Plan for redeveloping/expanding existing 1-story paddle court warming hut.

With no questions or comments, the PC unanimously approved the Findings and Recommendations, as submitted, 5-0, (2 abstained and 2 absent).

Findings and Recommendations - Case A-02-2020 – 110 E. Ogden Ave. – Dr. VanWormer-Hartman/Studio21 – Exterior Appearance/Site Plan to redevelop existing 1-story building and construct a 2nd story for new medical office use.

With no questions or comments, the PC unanimously approved the Findings and Recommendations, as submitted, 5-0, (2 abstained and 2 absent).

Sign Permit Review - Case A-05-2020 – 14 W. Hinsdale Ave. – Guaranteed Rate – 1 New Wall Sign and 1 New Projecting Sign

The sign applicant introduced himself and stated that both signs would be non-illuminated and reviewed the proposed sign dimensions.

Chairman Cashman asked what the exhibits on the dais showed.

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Chan replied the revised plan shows an architectural projecting sign bracket. The initial plan was simply a projecting sign with no bracket. The revised plan also shows the wall sign relocated per the recommendations by the Historic Preservation Commission (HPC).

Commissioner Krillenberger confirmed the direction of the proposed signs.

The sign applicant help clarified the direction of the signs.

With no further questions or comments, the PC **unanimously approved** the sign application, as submitted, 7-0, (2 absent).

Sign Permit Review - Case A-06-2020 – 35 S. Washington St. – Berkshire Hathaway – 2 Wall Sign Updates

The sign applicant introduced himself and explained that the name of the company has changed, and is the reason for the sign modification. With the name change, the size of the proposed signage would be reduced, and he reviewed the dimensions of the signs. He also brought material samples and stated that the material, colors and mounting methods would be utilized.

Chairman Cashman asked if he installed the existing signs.

The applicant responded yes.

Commissioner Krillenberger asked to confirm if the signs were the same size.

The applicant responded no, the proposed signage is smaller, and added that he heard from the HPC that smaller is good.

Commissioner Unell asked if the yellow portion of the existing signage is going away.

The applicant replied yes, the exhibit was meant to show the before and after images.

With no further questions or comments, the PC **unanimously approved** the sign application, as submitted, 7-0, (2 absent).

Exterior Appearance and Site Plan Review - Case A-04-2020 – 420 E. Ogden Ave. – Continental AutoSports (Ferrari) – Major Adjustment to Planned Development Exterior Appearance/Site Plan to upgrade the building façade and signage.

The project architect, Mr. Bill Styczynski of Studio21 introduced himself and reviewed via PowerPoint, the proposed front façade improvements and new ground sign (although not relevant to the request, stated that the interior was also being renovated as part of an overall improvement to the subject property). He reviewed the front façade cladding material as an aluminum composite, which is similar to the nearby Land Rover/Jaguar

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dealership facade. The cladding color was described as Ferrari grey and the proposed text wall sign would have a chrome finish. The architect also reviewed that the size of the proposed ground sign has been reduced per the concerns expressed by the Village Board before referring this to the Plan Commission. To this end, the proposed second ground sign is now to match the existing ground sign in size.

Commissioner Crnovich asked if the applicant has plans for another auto brand.

The owner of Continental AutoSports, Mr. Joel Weinberger replied no, because Ferrari is pushing for “mono-brand” dealerships, and thus, Ferrari would be the sole brand at the subject property.

Commissioner Jablonski reviewed the requests that he was comfortable with, including a second sign, 5 colors versus 3, and setback relief, however, expressed concern for the 15-foot height of the ground sign.

Commissioner Fisher asked if both ground signs would be identical in height.

The architect confirmed yes, both ground sign heights would be 14’-9” and briefly mentioned that the initial height proposed to the Village Board was 20 feet.

Chairman Cashman asked if the initial 20-foot tall ground sign was something Ferrari was pushing for.

The architect responded yes, Ferrari wanted to be bold and believed the height would have been effective near the highway.

The Chairman Cashman reviewed that the proposed wall sign is over the Code permitted, however, the total signage area was much larger when the Maserati wall sign was approved years ago. He also stated that this is a planned development application when the PC makes a recommendation to the Village Board, as compared to the typical sign application that the PC can approve.

Commissioner Braselton asked if the grounds signs are double faced.

The applicant replied yes.

Commissioner Braselton asked how often clients drive past the front entrance curb cut.

Mr. Joel Weinberger replied quite often, and the issue is that turning around is difficult and dangerous.

Commissioner Braselton asked if directional signage was considered.

Mr. Joel Weinberger responded that Ferrari does not offer corporate directional signage.

Commissioner Krillenberger wanted to make sure the PC is not setting a precedent since the request is beyond what the code permits.

Chan reviewed that this is difference because it is a major adjustment to an approved planned development application, which allows the Village to consider code waivers.

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In general, the Plan Commission commented that the proposed request looks good, would be an upgrade to the facility, and compliment the nearby Land Rover dealership.

With no further questions or comments, the PC **unanimously recommended approval** for the major adjust to the planned development exterior appearance/site plan application, as submitted, 7-0, (2 absent).

Adjournment

The meeting was adjourned at 7:54 p.m. after a unanimous vote.

Respectfully Submitted by Chan Yu, Village Planner




MEMORANDUM

DATE: May 13, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 32 Blaine St. – Exterior Appearance/Site Plan to make various improvements to the existing building to be continued as a Law Office.
Case A-08-2020 – O-1 Specialty Office District and Robbins Historic District

Summary

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from 32 Blaine LLC, requesting approval to redevelop and improve an existing 2 and part 3-story building, previously used as a law office at 32 Blaine Street in the O-1 Specialty Office District. The proposed scope of work includes: adding/expanding 2 interior stairwells and dormers, installing a rear deck for ingress/egress, improvements for handicap stairwells, replacing the front porch and new siding to match the existing color scheme. The proposed site plan includes paving a new asphalt driveway, improving the rear parking lot for ADA compliance, and various landscaping improvements around the perimeter of the lot.

Request and Analysis

The proposed materials for the improvements to the existing building include: 6-inch LP Smartside lap siding, Trex or Azek composite decking for the new front and rear porch, Colonial Porch columns, spandrels for a Victorian appearance and cedar and freeze board trim. Per the applicant, the building height, setbacks, lot coverage and floor area ratio will not change. However, the roof shape would change due to the 2 additional dormers on the north and south side of the building (for enclosed interior stairwells). The attached application also includes a landscape plan to enhance the visual appeal to the subject property.

The existing rear parking lot is legal nonconforming due to the required 11 parking spaces. The applicant has concurrently applied for a Zoning Board of Appeals (ZBA) variation request to permit the paving/stripping for 7 parking spaces (ZBA Case V-01-20). To this end, any Plan Commission recommendations to the Village Board should include a condition for ZBA approval for the parking variation request.

Process

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the



MEMORANDUM

form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-604 and 11-606.

Attachments:

- Attachment 1 – Exterior Appearance/Site Plan Application Request and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Street View of 32 Blaine Street



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: 32 Blaine LLC
Address: 26 Blaine
City/Zip: Hinsdale 60521
Phone/Fax: (630) 789 / 6833
E-Mail: thomas@hglegal.com

Owner

Name: 32 Blaine LLC
Address: 26 Blaine
City/Zip: Hinsdale 60521
Phone/Fax: (630) 789 / 6833
E-Mail: thomas@hglegal.com

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Caprio Prisby Architectural Design PC
Title: Architect
Address: 106 South Washington St.
City/Zip: Hinsdale 60521
Phone/Fax: (630) 323 / 7554
E-Mail: vcaprio@caprioprisby.com

Name: SG Home Builders
Title: Contractor
Address: 475 River Bend Rd Ste 400C
City/Zip: Naperville 60540
Phone/Fax: (847) 602 / 7641
E-Mail: ryan@sghomebuilders.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) _____
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 32 Blaine

Property identification number (P.I.N. or tax number): 09 - 12 - 201 - 011

Brief description of proposed project: The site will be used as a Law Office. The Site Plan consists of adding/expanding 2 interior stairwells, expanding the existing dormers to encompass those stairwells, installing a rear deck/porch for means of ingress/egress, adding handicap accessibility, installing a new asphalt driveway, new siding, new front porch and improvements to existing landscaping.

General description or characteristics of the site: The existing site consists of a 2 and part 3-story office/converted residence building.
The site was being used as a professional Law Office.

Existing zoning and land use: O-1 Specialty Office District

Surrounding zoning and existing land uses:

North: OS/B-1

South: B-1

East: R-4/B-1

West: B-1/B-2

Proposed zoning and land use: O-1 professional law office

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E
Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 32 BLAINE

The following table is based on the 0-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	8500	9331.7	9331.70
Lot Depth	125	133	133
Lot Width	60	60 70	60 70
Building Height	30	EXISTING	EXISTING
Number of Stories	2.5	EXISTING	EXISTING
Front Yard Setback	35	EXISTING	EXISTING
Corner Side Yard Setback	35	N/A	N/A
Interior Side Yard Setback	10	EXISTING	EXISTING
Rear Yard Setback	25	EXISTING	EXISTING
Maximum Floor Area Ratio (F.A.R.)*	40% (9331.7) = 3737 SF	34%	34%
Maximum Total Building Coverage*	35% 35% x 9331.7 = 3266.1 SF	18%	18%
Maximum Total Lot Coverage*	80% .8 x 9331.70 = 7465.56	65%	65%
Parking Requirements	11 (ONE PARKING SPACE PER 250 NET FLOOR AREA)		7 WHICH INCLUDES ONE ADA COMPLIANT SPACE
Parking front yard setback	35	EXISTING 35+	EXISTING 35+
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	10	1.37	5
Parking rear yard setback	25	2.66	
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	N/A	N/A	N/A

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: LACK OF COMPLIANCE SHOWN CONSISTS OF PARKING AND IS

BASED ON THE EXISTING CONDITIONS OF BOTH THE PLACEMENT OF THE BUILDING AND THE CONCRETE PARKING LOT. THE NON-COMPLIANCE INCLUDES NUMBER OF PARKING SPACES, PARKING INTERIOR SIDE YARD AND PARKING REAR SETBACKS. THE BUILDING IS IN THE 0-1 DISTRICT AND ALL OF THE NEIGHBORING 0-1 DISTRICT HOMES HAVE SIMILAR RESTRICTIONS ON PARKING MEETING PARKING REQUIREMENTS WHILE MAINTAINING THE EXISTING HOME ARE MUTUALLY EXCLUSIVE

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 10 day of March, 2020, I/We have read the above certification, understand it, and agree to abide by its conditions.

[Signature]
Signature of applicant or authorized agent

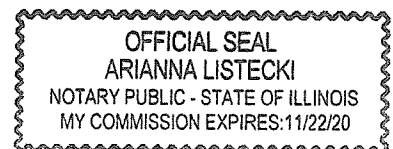
Signature of applicant or authorized agent

THOMAS LAWRECK
Name of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 10th day of
March, 2020

[Signature]
Notary Public





COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA

Address of proposed request: 32 Blaine

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE***** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
Improvements will be made to the site landscaping including removal of a large wooden lady of justice statue. A new asphalt driveway will be installed improving overall quality.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
New exterior materials which include 6 inch LP Smartside lap siding w/ 4 7/8 reveal and blends in with adjacent structures. Composite decking for new front and rear porch
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

The overall structure and shape of the building will remain save expanded dormers on the North/South Sides of the home and a rear porch or ingress/egress. New exterior siding and front and rear porch will give the home a much needed updated appeal.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
A new parking lot in the rear will create a more functional space for the building and its users. New landscaping will be added. Excess shrub and brush overgrowth will be removed.
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
The existing building height will not change.
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
The existing front facade proportions will remain but improvements to building materials will help focus the building visually and be a great improvement to the building overall.
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
The proportion of the openings will largely remain unchanged so as to remain visually compatible with neighboring homes.
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
This will remain largely unchanged so as to stay consistent and visually compatible with neighboring homes.
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
The existing building location is to remain.
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
The existing front porch will be demolished and replaced with new Trex or Azek synthetic decking, also installing Colonial Porch columns with spandrels to restore a Victorian/Colonial style look. The dimensions will be largely unchanged to what now exists.
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
The building siding will be 6 inch LP Smartside lap siding with 4 7/8 reveal with the front and rear porch being Trex or Azek synthetic decking. This will give the building a much needed updated look and visually compatible with the neighboring properties.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.
The roof shape will change with the addition of 2 dormers on the North and South side of the building so as to encompass the construction of the interior stairwells. The height of the roof will remain unchanged.
13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.
N.A.
14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.
The existing building shape, size and location will not change but new front and rear porch and new siding will provide a visually stimulating experience and conform to the neighboring properties.
15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.
The existing building shape, size and location will not change.
16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.
The existing building will remain, however the new materials, detailing and overall style of the building will reflect neighboring homes and give the building a much needed updated look.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The use of the home as professional offices is an allowed use in the O-1 zoning district.

2. The proposed site plan interferes with easements and rights-of-way.

There have been no changes to easements or right-of-ways.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The proposed changes greatly enhance the site by providing for needed updates to siding, paving and landscaping which creates far more visual appeal to the site.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

The proposed changes to the property do not impact the adjacent properties in a negative fashion and only add to an aesthetic improvement to both the site and overall area.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

Nothing has been proposed to the site plan that would impose any unreasonable hazards to safety.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

Both the property to the north and the property to the south are being used as professional office and all properties look residential in nature.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The proposed site development includes adding additional landscape and replacing existing overgrown/dead landscape so as to be compatible to the adjacent properties.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

The site plan is not in conjunction with a special use permit.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The proposed site plan includes installation of a French drainage system that will better direct surface and ground water.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The site plan does not place unreasonable increased utility needs based on the proposed use as a professional office.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The site remains the same in this respect.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

There is nothing proposed for this site that has any adverse affect to the public health, safety or general welfare.



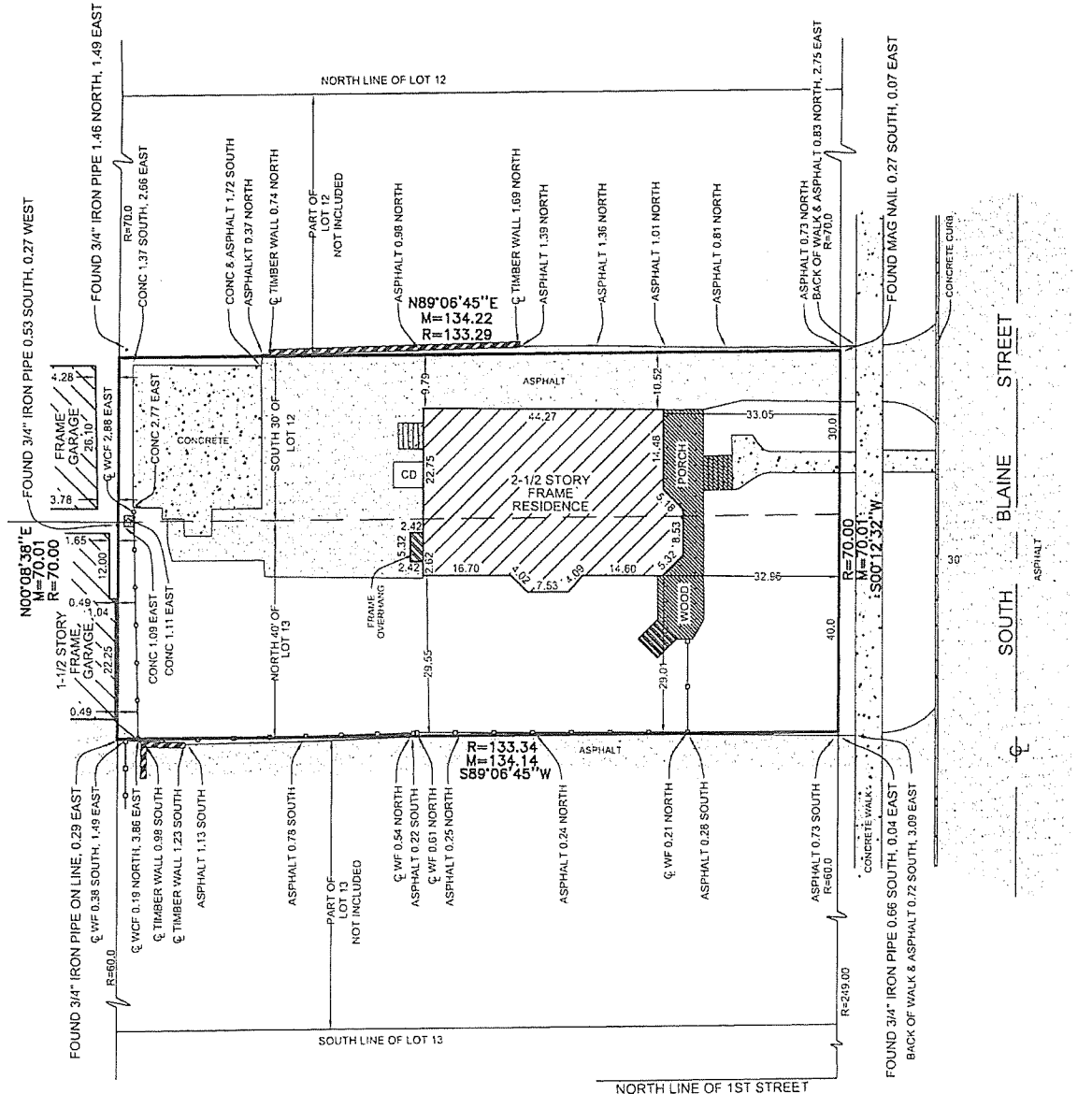
• BOUNDARY • TOPOGRAPHICAL • SUBDIVISIONS • ALTA/ACSM • CONDOMINIUMS • SITE PLANS • CONSTRUCTION • FEMA CERTIFICATES •

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PHONE: 708-352-1452
FAX: 708-352-1454

THE SOUTH 30 FEET OF LOT 12 AND THE NORTH 40 FEET OF LOT 13 IN GLADSTONE PARK, BEING A RESUBDIVISION OF BLOCK 4 IN ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID GLADSTONE PARK, RECORDED SEPTEMBER 7, 1887 AS DOCUMENT 38039, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 32 BLAINE STREET, HINSDALE.



THE CUSTOMER LISTED BELOW PROVIDED THE LEGAL DESCRIPTION SHOWN HEREON. WE DO NOT GUARANTEE THAT THIS IS THE CORRECT LEGAL DESCRIPTION FOR THE TRANSACTION INTENDED.

IMPORTANT: COMPARE LEGAL DESCRIPTION TO DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY FOR CLARIFICATION OR CORRECTION IMMEDIATELY. UNLESS OTHERWISE NOTED, THIS PLAT DOES NOT SHOW BUILDING LINES OR OTHER RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES.

DO NOT SCALE DIMENSIONS FROM THIS PLAT; THE LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN WITHOUT THE WRITTEN PERMISSION OF SCHOMIG LAND SURVEYORS LTD. ONLY PLATS WITH AN EMBOSSED SEAL ARE OFFICIAL DOCUMENTS. FIELD WORK WAS COMPLETED PER SURVEY DATE LISTED BELOW. © COPYRIGHT, ALL RIGHTS RESERVED.

SURVEY DATE: NOVEMBER 1ST, 2019.

BUILDING LOCATED: NOVEMBER 1ST, 2019. FILE: 971549.CRD

ORDERED BY: HAWBECKER & GARVER ATTORNEYS

PLAT NUMBER: 192525 SCALE: 1" = 20'

LEGEND

M. = MEASURED DIMENSION
R. = RECORDED DIMENSION
B.L. = BUILDING LINE
P.U.E. = PUBLIC UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
C.L. = CENTER LINE
W.F. = WOOD FENCE
W.C.F. = WOOD & CHAIN LINK FENCE
C.D. = CELLAR DOORS

STATE OF ILLINOIS } ss.
COUNTY OF COOK }

LOT AREA: 9,392 SQUARE FEET.

WE, SCHOMIG LAND SURVEYORS, LTD. AS AN ILLINOIS PROFESSIONAL DESIGN FIRM, LAND SURVEYOR CORPORATION, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED HEREON.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT. DIMENSIONS SHOWN ON BUILDINGS ARE TO THE OUTSIDE OF BUILDINGS. THE BASIS OF BEARINGS, IF SHOWN AND UNLESS OTHERWISE NOTED, ARE ASSUMED AND SHOWN TO INDICATE ANGULAR RELATIONSHIP OF LOT LINES.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

BY: Russell W. Schomig
PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSE # 035-002446



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: Tom Hawbecker

Owner's name (if different): 32 Blaine LLC

Property address: 32 Blaine

Property legal description: [attach to this form]

Present zoning classification: O-1, Specialty Office District

Square footage of property: 3159.11 S.F.

Lot area per dwelling: 9331.70 S.F.

Lot dimensions: 70 x 133.:

Current use of property: Professional Law Office

Proposed use: ☐ Single-family detached dwelling
☒ Other: Professional Law Office

Approval sought: ☐ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☒ Site Plan ☒ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

Update existing building that entails new interior stairwells, expanded dormers, install rear porch, parking

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>existing</u>	<u>35</u>
interior side(s)	<u>exist /exist</u>	<u>10 /10</u>

WARRANTY DEED
ILLINOIS STATUTORY

PREPARED BY:

The Fry Group, LLC
Vanessa Cici Fry
18W140 Butterfield Road, Suite 1100
Oak Brook Terrace, IL 60181

MAIL RECORDED DEED TO:

HAWBECKER & GARVER, LLC
26 Blaine Street
Hinsdale, IL 60521

NAME & ADDRESS OF GRANTEE:

32 Blaine LLC
26 Blaine Street
Hinsdale, IL 60521

CT-14CNW888043WC 1/5 ECA

THIS INDENTURE WITNESSETH, That the Grantors, Kurtz Investments, Ltd, an Illinois corporation of the Village of Hinsdale, State of Illinois for and in consideration of Ten and no/hundredths (\$10.00) Dollars, and other good and valuable consideration in hand paid, CONVEYS AND WARRANTS unto: 32 Blaine LLC, an Illinois limited liability corporation, the following described real estate in the County of DuPage and State of Illinois, to-wit:

Legal Description:

THE SOUTH 30 FEET OF LOT 12 AND THE NORTH 40 FEET OF LOT 13 IN GLADSTONE PARK, BEING A RESUBDIVISION OF BLOCK 4 IN ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID GLADSTONE PARK, RECORDED SEPTEMBER 7, 1887 AS DOCUMENT 38039, IN DU PAGE COUNTY, ILLINOIS.

Property Address: 32 Blaine St., Hinsdale, IL 60521

Permanent Index Number: 09-12-201-011-0000

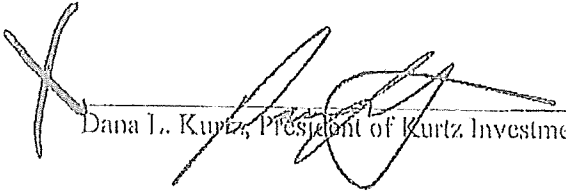
HEREBY releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

TO HAVE AND TO HOLD said premises, forever.

Subject, however, to the general taxes for the year of 2019 and thereafter, and all instruments, covenants, restrictions, conditions, applicable zoning laws, ordinances, and regulations of record.

Dated this 16th day of October, 2019.

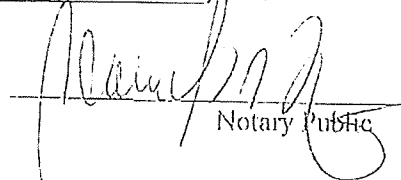
Kurtz Investments, Ltd,

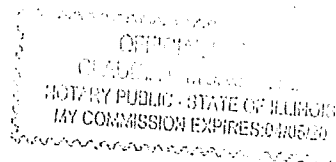

Dana L. Kurtz, President of Kurtz Investments, Ltd.

State of Illinois)
County of DeKalb) SS.

I, the undersigned, a Notary Public in and for said County in the State aforesaid, do hereby certify that the Grantor, Dana L. Kurtz, to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notarial seal this 16th day of October, 2019.


Notary Public



SYMBOL LIST

SEE LIGHTING SCHEDULE FOR ALL LIGHT
FIXTURE SYMBOLS

ELECTRICAL OUTLETS:

- ⊕ DUPLEX OUTLET
⊕ HALF SWITCHED OUTLET
⊕ FLOOR DUPLEX OUTLET
⊕ TWO-WAY SWITCH
⊕ THREE-WAY SWITCH
⊕ FOUR-WAY SWITCH

LOW-VOLTAGE SYMBOLS:

- ⊕ PUSH BUTTON
⊕ TELEPHONE JACK

DETECTORS AND ALARMS:

- ⊕ FIRE ALARM NOTIFICATION PANEL

PLUMBING:

- ⊕ FROST FREE HOSE BIB
⊕ NATURAL GAS CONNECTION

HVAC:

- ⊕ HVAC SUPPLY GRILL
⊕ HVAC RETURN GRILL

UTILITIES:

- ⊕ MAIN ELECTRICAL BOX
⊕ ELECTRICAL METER

FIRE SUPPRESSION:

- ⊕ FIRE EXTINGUISHER

TAGS:

- ⊕ DETAIL NO. 1 ON SHEET A1
⊕ PLAN DETAIL NO. 1 ON SHEET A1
⊕ ELEVATION DETAIL NO. 1 ON SHEET A1

- ⊕ LED TYPE GROUND FAULT INTERRUPT DUPLEX
⊕ WATERPROOF GROUND FAULT INTERRUPT DUPLEX
⊕ DUPLEX OUTLET LOCATED 44" ABOVE FINISHED FLOOR

- ⊕ SWITCH ON TIMER
⊕ DIMMER SWITCH

- ⊕ DSS OUTLET
⊕ CABLE TELEVISION WALL OUTLET

- ⊕ COMBINATION I/OV SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR WIRED IN SERIES

- ⊕ FLOOR DRAIN

- ⊕ THERMOSTAT

- ⊕ LANDSCAPE SPRINKLER CONTROLS
⊕ GAS METER

ABBREVIATIONS

A.O. = ARCHITECT OPENING
A.F.F. = ABOVE FINISHED FLOOR
B.P. = BRICK PAVEMENT
B.P. = BEAM POCKET
C.P. = CARPET
C.I. = CAST IRON
C.J. = CONTROL JOINT
C.O. = CASED OPENING
C.O.C. = CONCRETE
C.T. = CERAMIC TILE
C.U.S. = CUSTOM
G.T. = GRANITE TILE
H.W. = HARDWOOD
L.S. = Limestone
M.D.O. = MAXIMUM DENSITY OVERLAY (TWO SIDED)
M.T. = MARBLE TILE
N.C. = NOT IN CONTRACT
O.C. = ON CENTER

O.V.L. = OVAL
P.L. = POINT LOAD FROM ABOVE
P.T. = PORCELAIN TILE
P.W. = FLYWOOD
S.C. = SEALED CONCRETE
S.I.M. = SIMILAR
S.P. = STONE PAVEMENT
S.S. = STAINLESS STEEL
T.L. = TILE
T.Y.P. = TYPICAL
U.N.O. = UNLESS NOTED OTHERWISE
V.S. = VENT STACK
V.T. = VINYL TILE
V.M.O. = VERIFY WITH OWNER
W.L. = WASTE LINE

LIGHTING SCHEDULE

SYM	DESCRIPTION	MANUFACTURER / MODEL	LAMP
⊕	EXTERIOR WALL SCONCE TO BE SELECTED BY OWNER	N/A	AS RECOMMENDED FOR SELECTED FIXTURE
⊕	WALL SCONCE LIGHT FIXTURE TO BE SELECTED BY OWNER	N/A	AS RECOMMENDED FOR SELECTED FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE TO BE SELECTED BY OWNER	N/A	AS RECOMMENDED FOR SELECTED FIXTURE
⊕	EXTERIOR WALL MOUNTED FLOOD LIGHTS	TBD	TBD
⊕	WALL MOUNTED EMERGENCY LIGHTING UNIT BATTERY UNIT (15 HOURS)	SI MON-LED-BR-ER-SD-V, 120V	(2) 5.4W LED
⊕	CEILING OR HEADER EXIT SIGN IV BATTERY BACK UP, SELF POWERED, MAXIMUM 5 WATTS PER SIDE (15 HOURS)	SI MON-LED-R-X-SD-V, 120 VOLT	5 WATTS

NOTES:
1. PROVIDE AN ALLOWANCE FOR ALL ITEMS LISTED AS "TO BE SELECTED BY OWNER". ALL ITEMS SPECIFIED TO BE INCLUDED IN THE BASE BID.
2. SEE FLOOR PLANS TO DETERMINE QUANTITY.
3. FINISHES AND ACCESSORIES TO BE APPROVED BY OWNER.
4. VERIFY LOCATIONS WHERE RECESSED FIXTURES WILL BE INSTALLED IN INSULATED JOIST SPACES AND PROVIDE APPROPRIATE HOUSING AS REQUIRED BY BUILDING CODE.
5. VERIFY DIMMERS AND OTHER CONTROLS SYSTEMS WITH OWNER.
6. BY THE FIXTURE SPECIFICATIONS AND THE INTERNATIONAL BUILDING CODE, LATEST EDITION
7. PER THE IBC, LATEST EDITION, A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS. (LOW VOLTAGE LIGHTING IS EXEMPT).
ELECTRICIAN TO ENSURE THAT THIS REQUIREMENT IS MET.

TABLE OF CONTENTS

- A1 SYMBOLS LIST, SCHEDULES, GENERAL NOTES AND DETAILS
A2 SITE PLAN AND ZONING INFORMATION
A3 CELLAR AND FIRST FLOOR PLANS
A4 SECOND AND ATTIC FLOOR PLANS
A5 FRONT (EAST) AND REAR (WEST) ELEVATIONS AND DETAILS
A6 RIGHT SIDE (NORTH) ELEVATION AND DETAILS
A7 LEFT SIDE (SOUTH) ELEVATION AND DETAILS
A8 WALL SECTIONS
A9 WALL SECTIONS

D1 DEMOLITION FLOOR PLANS

PROJECT GENERAL NOTES

IN THE FOLLOWING NOTES, WHERE THERE IS CONFLICTING GOVERNING STANDARDS, WHERE APPLICABLE, USE THE MORE STRINGENT STANDARD.

HVAC:

1. HVAC GRILLS AND DUCTWORK TO BE DETERMINED IN THE FIELD BY THE HVAC CONTRACTOR.
2. ALL DUCTWORK SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, LATEST EDITION, REQUIREMENTS OF CHAPTER 15 OF THE INTERNATIONAL BUILDING CODE, LATEST EDITION AND PER VILLAGE REQUIREMENTS.

ELECTRICAL:

1. ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE 120 VOLT WIRING IN SERIES WITH BATTERY BACK-UP.
2. ALL GFCI OUTLETS TO BE LED-TYPE.
3. COORDINATE ALL WORK WITH AUDIO / VISUAL CONSULTANT FOR ALL LOW VOLTAGE WORK.
4. ALL OUTLETS TO CONFORM WITH THE NEC SECTION 210-52 AND PER VILLAGE REQUIREMENTS.
5. A MINIMUM OF 50% OF ALL LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS PER IECG 404.1.

PLUMBING:

(N/A)

FIRE ALARM:

- FIRE ALARM IS NOT INCLUDED IN THIS CONTRACT. FIRE ALARM IS TO BE DESIGN BUILT, SYSTEM TO TIE DIRECTLY TO VILLAGE OF HINSDALE FIRE DEPARTMENT AND DESIGNED PER VILALGE REQUIREMENTS

MASONRY:

(N/A)

INSULATION:

1. MAINTAIN REQUIRED CLEARANCES FROM CAVITY LIGHTING PER THE MANUFACTURERS SPECIFICATIONS AND SECTION R602.1 OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE, LATEST EDITION AND PER VILLAGE REQUIREMENTS.
2. ALL EXPOSED SPRAY FOAM INSULATION TO RECEIVE BLAZE MASTER IGNITION BARRIER.

FRAMING:

1. 0'-0" EQUALS TOP OF THE EXISTING FIRST FLOOR.

MISCELLANEOUS:

1. ALL WORK TO BE PERFORMED IS TO BE IN COMPLIANCE WITH CHAPTER 5 OF THE INTERNATIONAL ENERGY CONSERVATION CODE.

CODES:

1. ALL WORK TO BE PERFORMED PER THE FOLLOWING CODES:
- 2006 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL ENERGY CODE WITH STATE AMENDMENTS
- 2014 ILLINOIS STATE PLUMBING CODE
- THE VILLAGE OF HINSDALE ZONING CODE INCLUDING ALL VILLAGE AMENDMENTS
- 2005 NEC NATIONAL ELECTRICAL CODE
- 2018 ILLINOIS ACCESSIBILITY CODE

DOOR SCHEDULE

TAG	QTY	TYPE	SIZE	MATERIAL	REMARKS
A	1	RH	3'-0" X 6'-8"	ALUM GLAD / GLASS	EXTERIOR FRENCH DOOR BY WINDOW SCHEDULE
B	1	RH	3'-0" X 6'-8" X 1-3/4"	HARDWOOD	WOOD AND PROFILE TO MATCH EXISTING DOORS
C	1	RH	2'-8" X 6'-8" X 1-3/4"	HARDWOOD	WOOD AND PROFILE TO MATCH EXISTING DOORS
D	1	RH	3'-0" X 6'-8" X 1-3/4"	HARDWOOD	WOOD AND PROFILE TO MATCH EXISTING DOORS
E	1	RH	3'-0" X 6'-8" X 1-3/4"	MDF	WOOD AND PROFILE TO MATCH EXISTING DOORS
F	1	LH	2'-8" X 6'-8" X 1-3/4"	HARDWOOD	WOOD AND PROFILE TO MATCH EXISTING DOORS

NOTES:
1. PROVIDE LOCKING HARDWARE FOR EXTERIOR DOOR TO MEET FIRE CODES PER VILLAGE OF HINSDALE FIRE DEPARTMENT.
2. PROVIDE A PASSAGE LOCK TO ALL CLOSETS.
3. "RH" RIGHT HAND SWING, "LH" LEFT HAND SWING.
4. PROVIDE ALL REQUIRED HARDWARE SUCH AS HINGES, DOOR STOPS, AND ANY OTHER HARDWARE FOR PROPER FUNCTION. VERIFY ALL EXTERIOR HARDWARE WITH ARCHITECT AND OWNER.

WINDOW SCHEDULE

TAG	TYPE	MFTR.	MODEL #.	EGRESS	REMARKS
1	DBL HUNG	EXISTING	EXISTING		RELOCATE EXISTING
2	DBL HUNG	EXISTING	EXISTING		RELOCATE EXISTING
3	DBL HUNG	PELLA	2453		
4	DBL HUNG	PELLA	2453		
5	DBL HUNG	PELLA	2453		
6	DBL HUNG	PELLA	2453		
7	AWNINGS	PELLA	2424		
8	AWNINGS	PELLA	2424		
9	FRENCH DOOR	PELLA	3682		SEE DOOR 'A', DOOR SCHEDULE AND NOTES

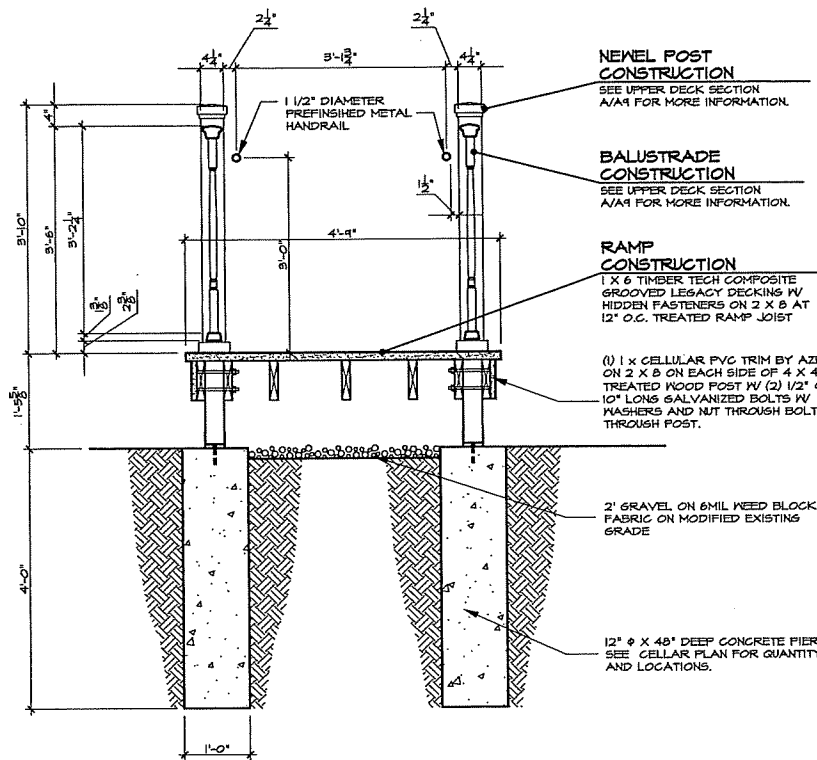
WINDOW NOTES:

1. NUMBERS ON WINDOWS REFER TO PELLA WINDOW COMPANY 450 SERIES UNLESS NOTED OTHERWISE.
2. PROVIDE JAMB EXTENSIONS WHERE REQUIRED.
3. PROVIDE LOCKING HARDWARE (VERIFY FINISH WITH THE OWNER AND ARCHITECT) AND WINDOW PULLS.
4. ALL WINDOWS ARE TO RECEIVE INSULATING GLASS.
5. PROVIDE TEMPERED GLASS AT ALL WINDOWS REQUIRED BY CODE.
6. REFER TO ELEVATIONS FOR ALL MUNTIN PATTERNS.

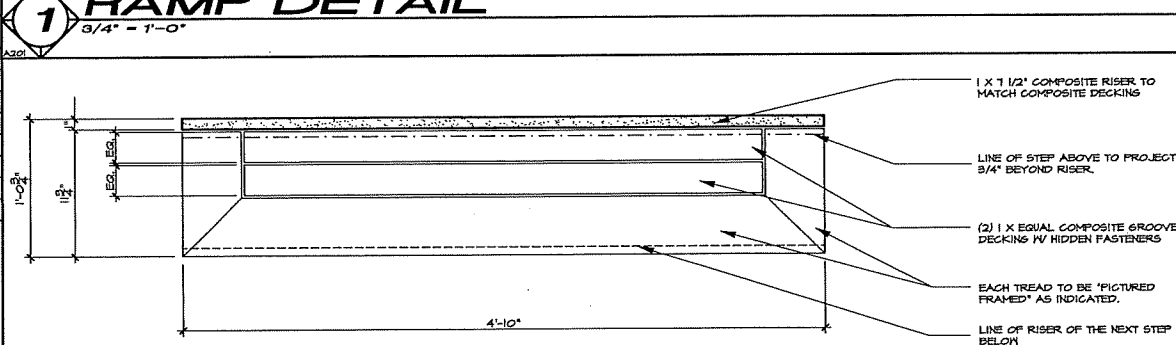
WINDOW SPEC'S:

1. EXTERIOR: GLAD, COLOR: WHITE
2. INTERIOR: UNFINISHED
3. MUNTINS: NONE REQUIRED
4. SCREENS: FULL

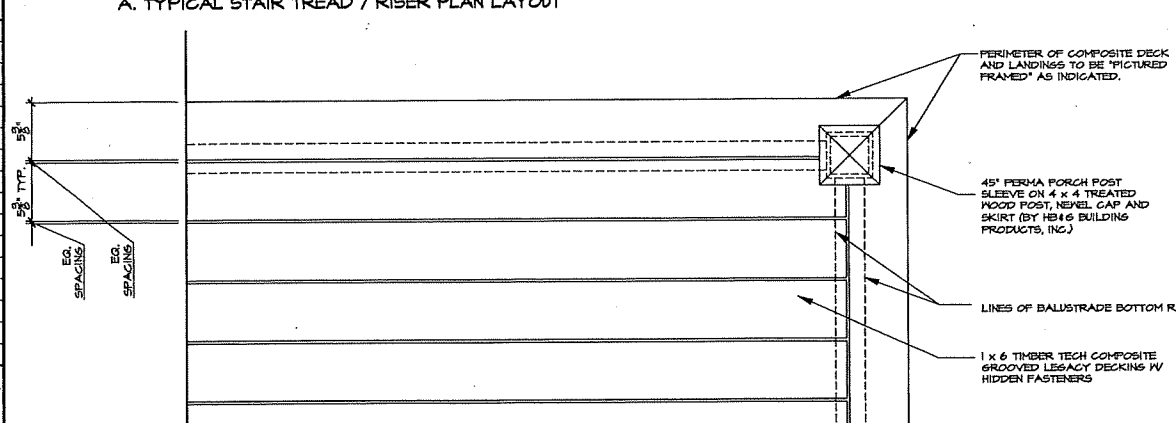
ABBREVIATIONS FOR WINDOW TYPE ARE AS FOLLOWS:
- CSM: CASEMENT
- DBL: DOUBLE HUNG
- AWIN: AWNINGS
- TRNS: TRANSOM
- PIC: PICTURE
- FRCH DR: FRENCH DOOR(S)



1 RAMP DETAIL



A. TYPICAL STAIR TREAD / RISER PLAN LAYOUT



B. TYPICAL DECK AND LANDING PLAN LAYOUT

2 DECK AND STAIR TREAD PLAN DETAIL

105 S. Washington Street
Hinsdale, Illinois 60521
ph. 630.223.7554
fax. 630.223.7632
www.captprisy.com

capriprisy
architectural design

DRAWN BY:
RITA J. KUAN
JAMES C. FRISBY
VINCENTO CAPRIO
CHECKED BY:
JAMES C. FRISBY
VINCENTO CAPRIO

PROJECT #
19024 RC

REVISION DATES

DATE ISSUED
01-20-2020

AN ADDITION AND REMODELING FOR
HAWBECKER
AND
GARVER, LLC.
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521

SHEET TITLE
SYMBOL LIST,
SCHEDULES,
GENERAL NOTES,
AND DETAILS

SHEET NUMBER
A1
OF
9

SURVEYOR: SCHOMIG LAND SURVEYORS, LTD
DATE: NOVEMBER 1, 2019
PLAT #: 192525

MAXIMUM BUILDING ELEVATION: 95.5'
ACTUAL BUILDING ELEVATION: EXISTING

	F.A.R.	BLDQ. COV.
CELLAR	N/A	N/A
FIRST FLOOR *	1,429.34 S.F.	1,711.05 S.F.
SECOND FLOOR	1,429.34 S.F.	N/A
ATTIC (50% OF 1ST ATTIC CEILING AREA) (624.85 S.F. X 50% = 312.43 S.F.)	312.43 S.F.	N/A

TOTALS	3,541.11 S.F.	1,711.05 S.F.
---------------	---------------	---------------

MAX. ALLOW. FLOOR AREA RATIO: .40 X (9,331.70 S.F.) = 3,732.68 S.F.
ACTUAL BUILDING COVERAGE: ACTUAL = 3,159.11 S.F.

MAX. ALLOW. BUILDING COVERAGE: $35 \times (4,331.70 \text{ SF}) = 15,160.95 \text{ SF}$
 ACTUAL BUILDING COVERAGE: EXISTING = 1,111.05 SF.

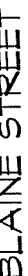
MAX. ALLOW. LOT COVERAGE: $80\% \times (9331.70 \text{ S.F.}) = 7,465.36 \text{ S.F.}$
ACTUAL LOT COVERAGE: $\text{ACTUAL} = 6,114.09 \text{ S.F.}$

CELLAR (ALL STORAGE)	1,423.34 S.F. / 300 S.F. GROSS = 4.71 OCCUPANTS
FIRST FLOOR	1,423.34 S.F. / 100 S.F. GROSS = 14.23 OCCUPANTS
SECOND FLOOR	1,423.34 S.F. / 100 S.F. GROSS = 14.23 OCCUPANTS
ATTIC FLOOR	763.16 S.F. / 100 S.F. GROSS = 7.63 OCCUPANTS

TOTAL OCCUPANCY LOAD	= 40.79 OCCUPANTS
OCCUPANCY LOAD TO BE USED	= 41 OCCUPANTS

CELLAR (ALL STORAGE)	0.00 S.F.
FIRST FLOOR *	1,52.58 S.F.
SECOND FLOOR	979.21 S.F.
ATTIC	511.44 S.F.
TOTAL NET SQUARE FOOTAGE	2,643.28 S.F.

ZONING CLASSIFICATION: O - 1
BUS. / PROF. OFFICE - (1) PARKING SPACE PER 250 SQUARE FEET (NET)
REQUIRED SPACES : 2649.28 / 250 S.F. = (1) TOTAL SPACES REQUIRED
TOTAL SPACES PROVIDED = (1) PARKING SPACES IV (1) ADA COMPLIANT
 SPACE INCLUDED.



NORTH

08 a. Washington street
hinsdale, Illinois 60521
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fax. 630.323.7632
www.captainrobby.com

caprioprissy
architectural design

DRAWN BY:
RITA J. KUAN
JAMES C. FRISBY
VINCENZO CAPRIO
CHECKED BY
JAMES C. FRISBY
VINCENZO CAPRIO

PROJECT #
19024 RC

REVISION DATA

DATE ISSUED
01-20-2021

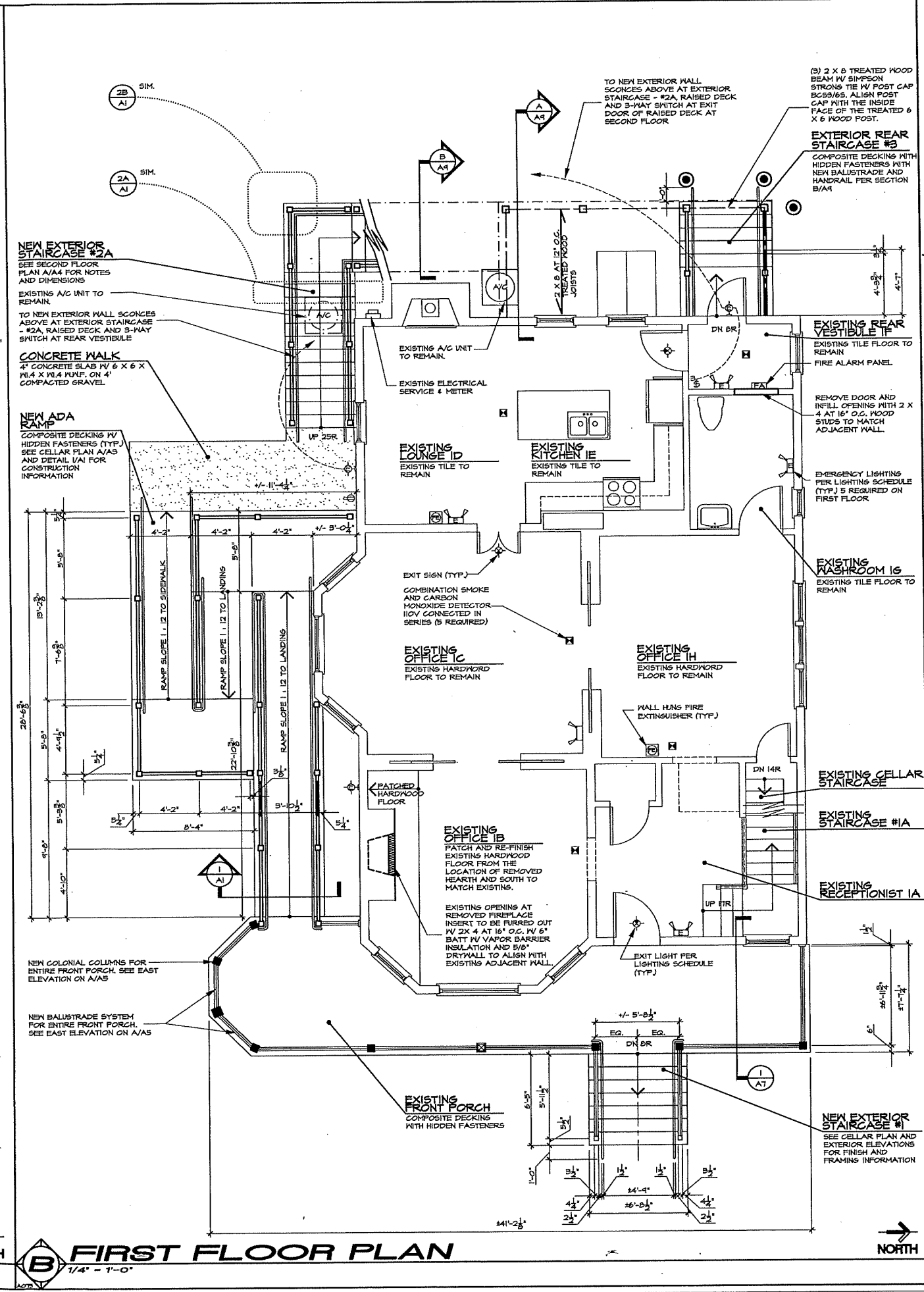
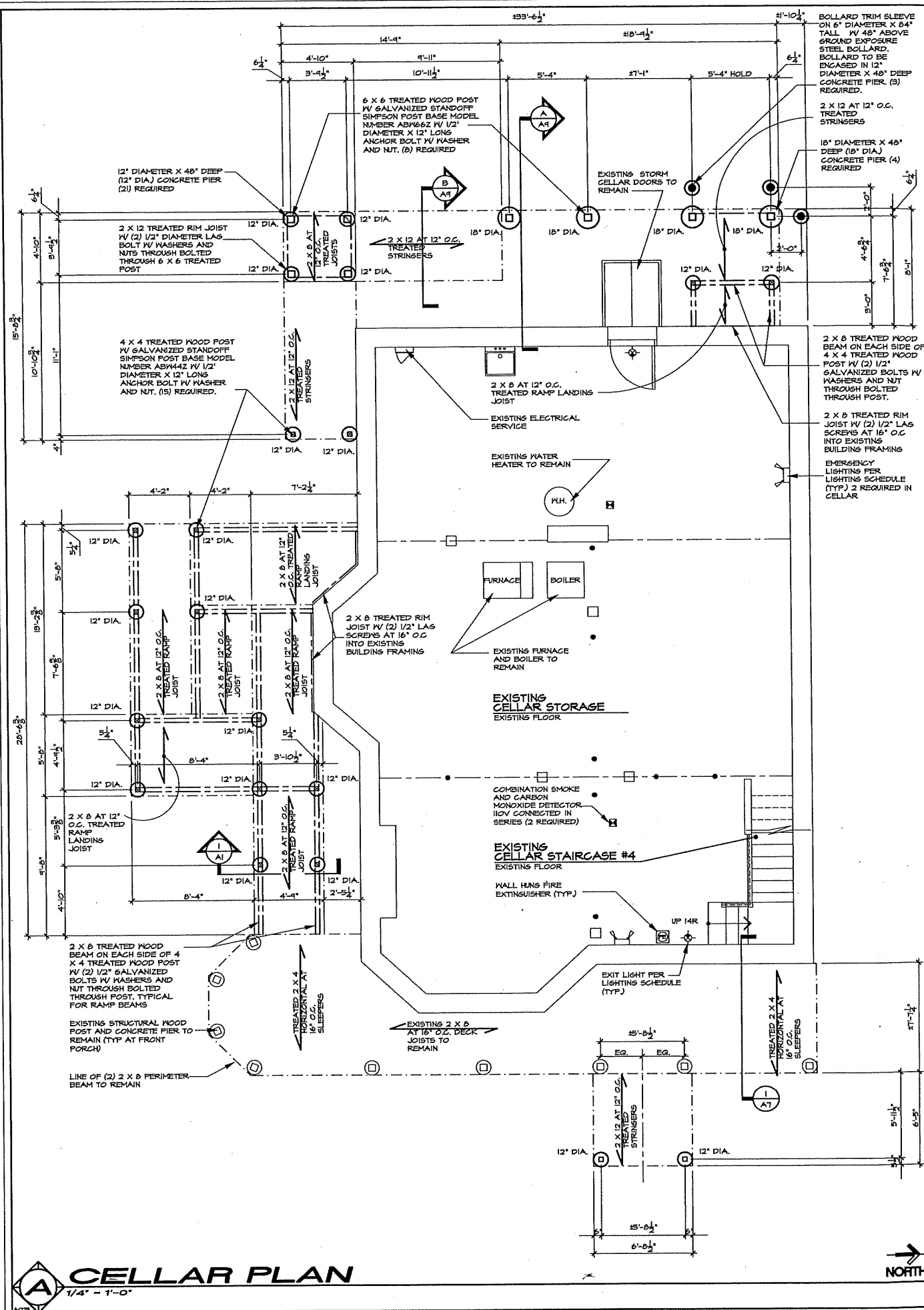
AN ADDITION AND REMODELING FOR:
**HAWBECKER
AND
GARVER, LLC.**

SHEET TITLE
SITE PLAN AND
ZONING
INFORMATION

SHEET NUMBER

A2
OF
9

VOLUME



106 a. Washington street
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caprioprissy
architectural design^{llc}

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RITA J. KUAN
JAMES C. FRISBY
VINCENZO CAPRIO
CHECKED BY:
JAMES C. FRISBY
VINCENZO CAPRIO

PROJECT #
19024 RC

REVISION DATE _____

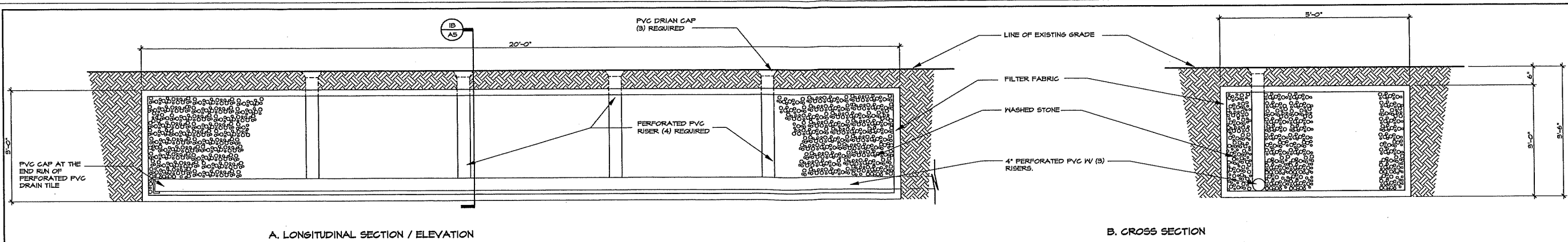
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DATE ISSUED
01-20-2020

ADDITION AND REMODELING FOR:
**HAWBECKER
AND
GARVER, LLC.**
32 SOUTH BLAINE STREET

SHEET TITLE
CELLAR AND
FIRST FLOOR
PLANS

SHEET NUMBER

© COPRITE CARRIO PRISBY ARCHITECTURAL DESIGN 2019



1 SUMP PUMP AND DOWNSPOUT DRAINAGE SYSTEM DETAILS

EXTERIOR ELEVATION NOTES:

1. SEE EXTERIOR ELEVATION NOTES ON SHEET A6 FOR SCOPE OF WORK.



100 S. Washington Street
Hinsdale, IL 60521
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capriprisy
architectural design, llc

DRAWN BY:
RITA J. KUAN
JAMES C. PRIEBY
VINCENTO CARPRIO

CHECKED BY:
JAMES C. PRIEBY
VINCENTO CARPRIO

PROJECT #
19024 RC

REVISION DATES

DATE ISSUED
01-20-2020

AN ADDITION AND REMODELING FOR
HAWBECKER
AND
GARVER, LLC.
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521

SHEET TITLE
FRONT (EAST) AND
REAR (WEST)
ELEVATIONS AND
DETAILS

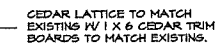
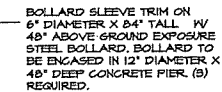
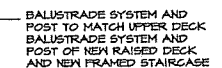
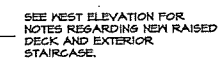
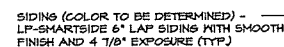
SHEET NUMBER
A5
of
9



1. CBS = CARPENTER BUILT STAIRCASE.
2. SBSS = STAIR BY STAIR SUPPLIER. STAIRS BY STAIR SUPPLIER SHOULD INCLUDE ALL TREADS, RISER, STRINGERS, BALUSTERS AND HANDRAILS PER THE SUPPLIER'S SELECTIONS.
3. ALL STAIRCASES TO HAVE A MINIMUM OF 6'-8" CLEAR HEAD HEIGHT.
4. ALL HANDRAILS TO MEET GRIPABILITY CODES WERE APPLICABLE.
5. ALL BALUSTERS TO BE SPACED TO NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.
6. STAIRS AT KINDERS SHALL NOT BE LESS THAN 6" AT THE NARROWEST EDGE.
7. ENCLOSED ACCESSIBLE SPACES UNDER STAIRCASES TO RECEIVE 5/8" GYPSUM BOARD.
8. WALL MOUNTED HANDRAILS TO HAVE 1/2" MINIMUM CLEARANCE FROM WALL SURF.
9. ALL BALCONY GUARDRAILS TO COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE PER YEAR INDICATED IN "PROJECT GENERAL NOTES".
10. GUARDRAIL DESIGNS SHALL NOT HAVE AN ORNAMENTAL PATTERN WHICH WOULD CREATE A LADDER LIKE EFFECT.

[illegible]

1. REMOVE EXISTING SIDING, CORNER TRIM, RAKE FRIEZE, FISH SCALE SIDING DOWN TO EXISTING WALL SUBSTRATE.
2. EXISTING MOOD WINDOW TRIM, WALL CORBELS, ALUMINUM SOFFITS, ALUMINUM FASCIA RAKE BOARDS, ORNATE GABLE END TRIM, ALUMINUM FASCIA WITH ALUMINUM GUTTERS AND DOWNSPUTS (NOT SHOWN IN EXISTING ELEVATION FOR CLARITY ARE TO REMAIN).
3. ALL EXTERIOR ELEVATIONS ARE TO RECEIVE NEW AIR INFILTRATION BARRIER, FLASHING AS REQUIRED, FRIEZE BOARDS, RAKE FRIEZE, MISCELLANEOUS TRIM, SIDING, FISH SCALE SIDING AND WATER TABLE AS INDICATED ON THE NORTH ELEVATION THIS SHEET.
4. NEW RAKE FASCIA, SOFFITS ON NEW DOWNS ARE TO BE ALUMINUM AND ARE TO MATCH EXISTING.



A RIGHT SIDE (NORTH) ELEVATION
1/4" = 1'-0"

DRAWN BY:
RITA J. KUAN
JAMES C. PRISBY
VINCENZO CAPRIO
CHECKED BY:
JAMES C. PRISBY
VINCENZO CAPRIO

PROJECT #
19024 RC

REVISION DATES

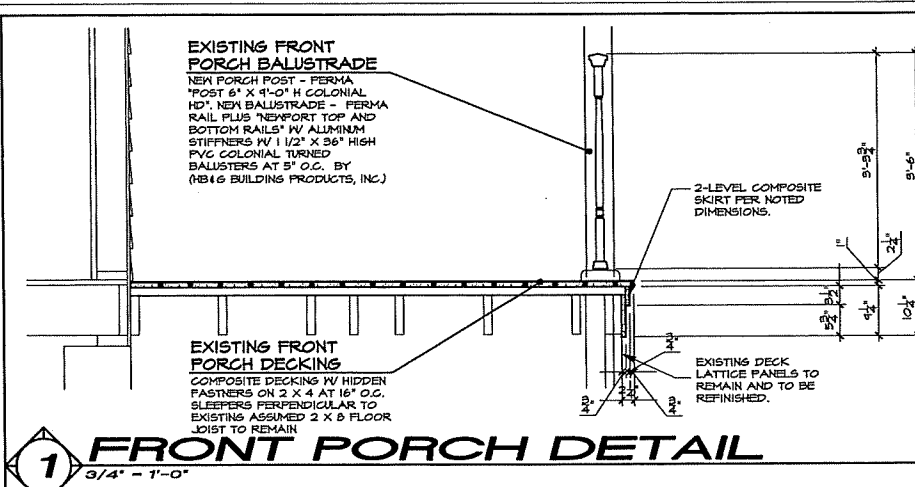
DATE ISSUED
01-20-2020

**HAWBECKER
AND
GARVER, LLC.**
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521

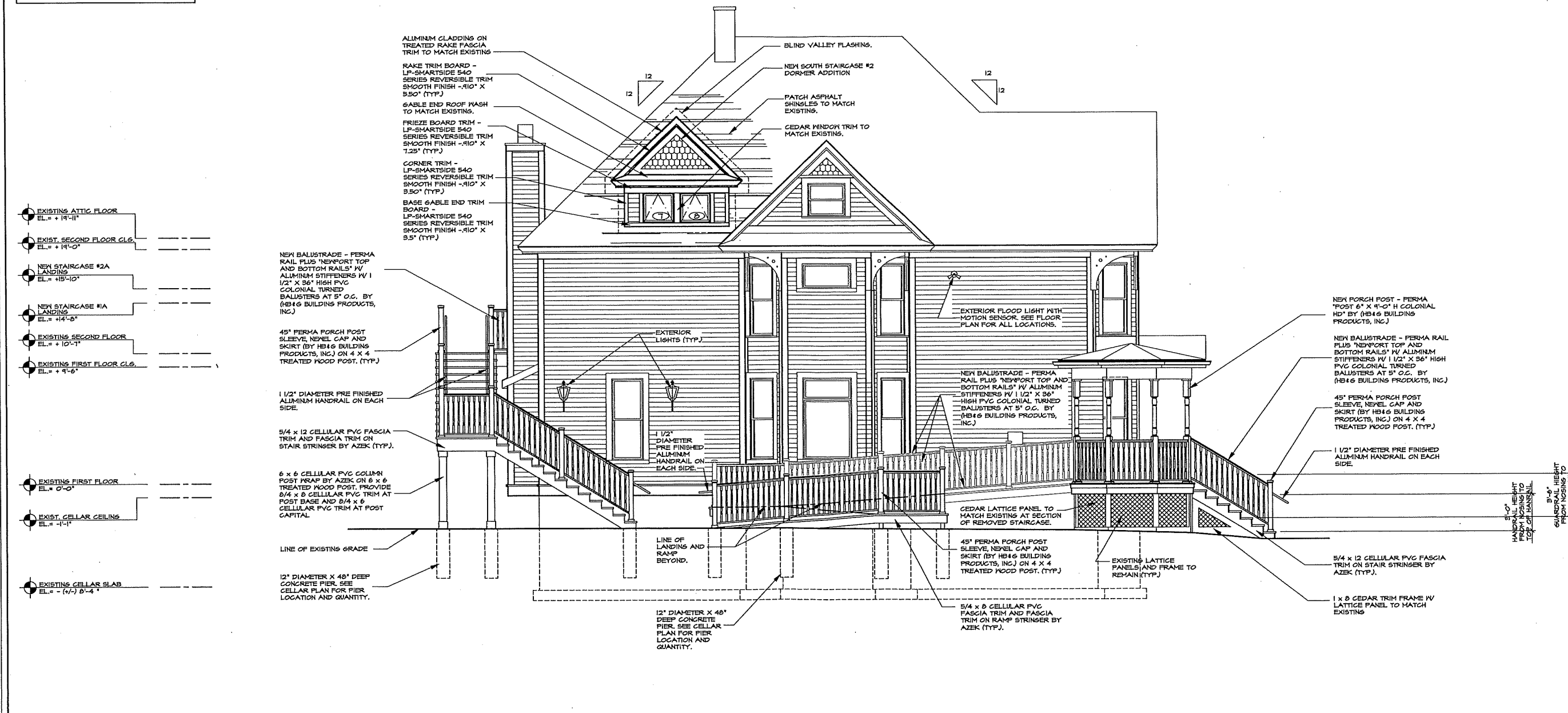
SHEET TITLE
RIGHT SIDE
(NORTH)
ELEVATION AND
DETAILS

SHEET NUMBER
A6
OF
9

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EXTERIOR ELEVATION NOTES:
1. SEE EXTERIOR ELEVATION NOTES ON
SHEET A6 FOR SCOPE OF WORK.



A **LEFT SIDE (SOUTH) ELEVATION**
1/4" = 1'-0"

100 E. Washington Street
Hinsdale, IL 60521
Tel: 630.327.7552
Fax: 630.327.7882
www.cappriprisby.com

cappriprisby
architectural design

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RITA J. KUAN
JAMES C. FRISBY
VINCENZO CAPRIO

CHECKED BY:
JAMES C. FRISBY
VINCENZO CAPRIO

PROJECT #
19024 RC

REVISION DATES

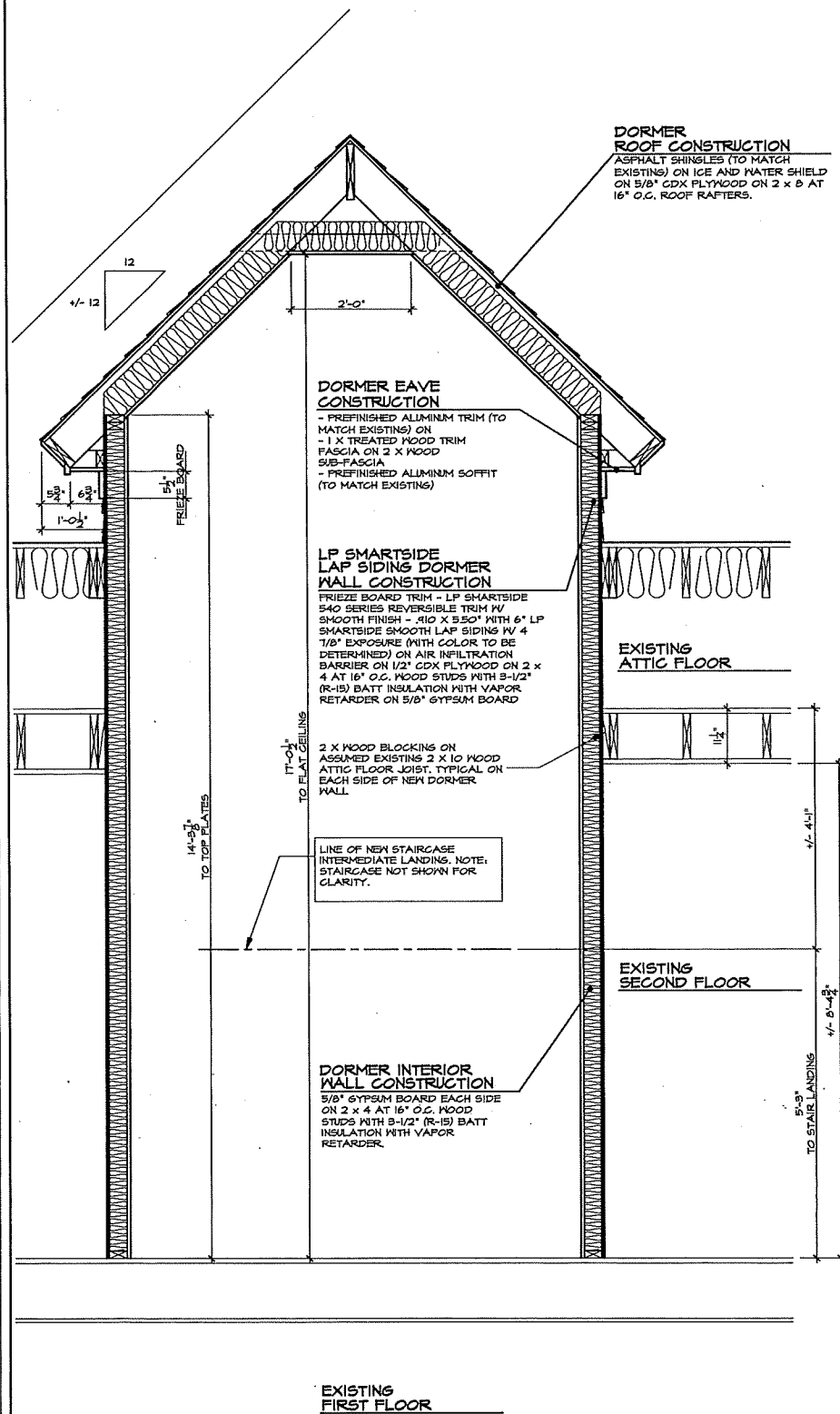
DATE ISSUED
01-20-2020

**AN ADDITION AND REMODELING FOR
HAWBECKER
AND
GARVER, LLC.
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521**

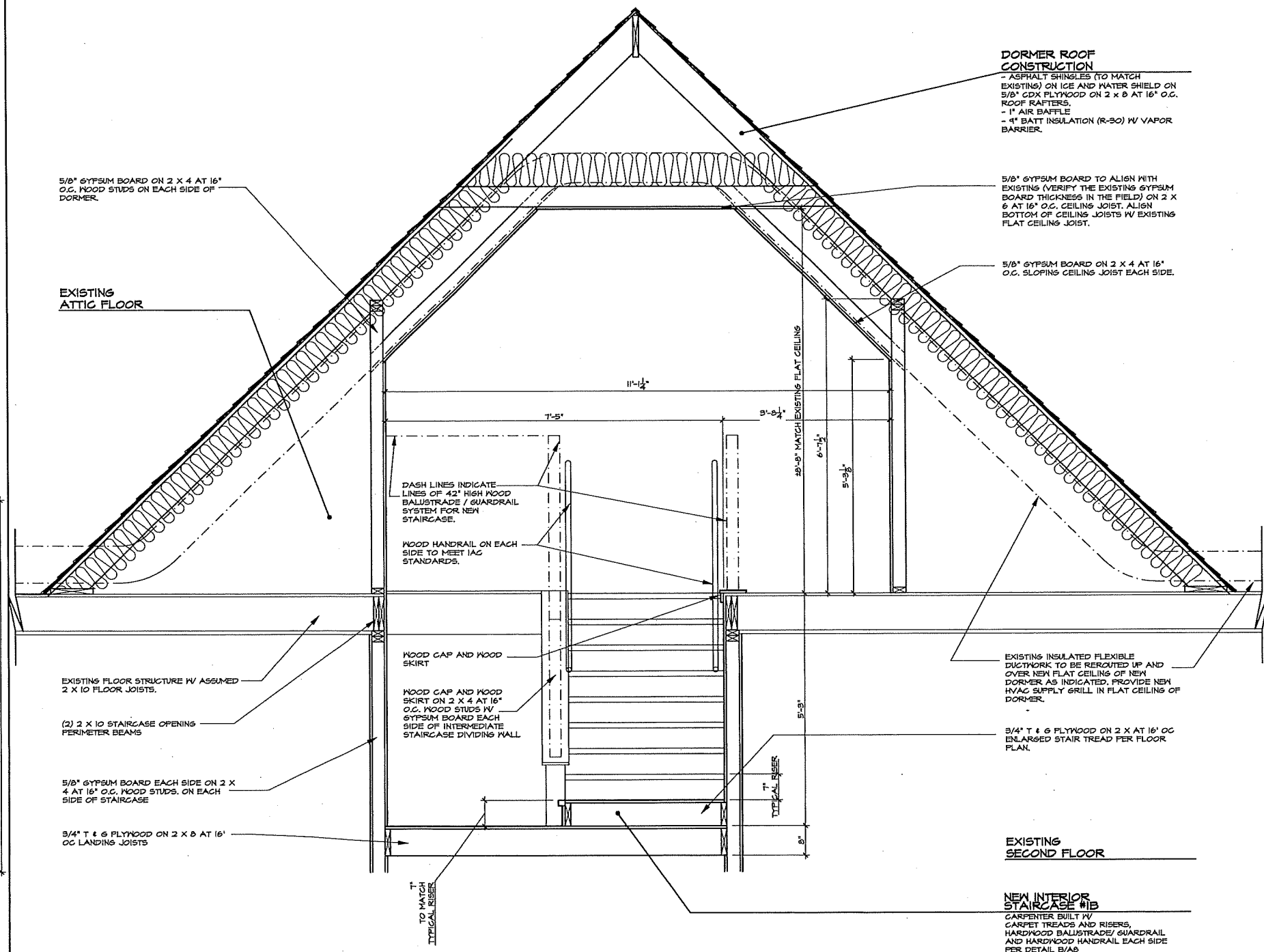
SHEET TITLE
LEFT SIDE (SOUTH)
ELEVATION AND
DETAILS

SHEET NUMBER
A7
OF
9

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PARTIAL SOUTH DORMER WALL SECTION
 3/4" = 1'-0"



PARTIAL EXT. WALL SECTION
 3/4" = 1'-0"

106 a Washington Street
 Hinsdale, Illinois 60521
 PH: 630.932.7554
 FAX: 630.932.7532
 www.capripriso.com

capripriso
 architectural design, pc

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 RITA J. KIAN
 JAMES C. PRISEBY
 VINCENTO CAPRIO
CHECKED BY:
 JAMES C. PRISEBY
 VINCENTO CAPRIO

PROJECT #
 19024 RC

REVISION DATES

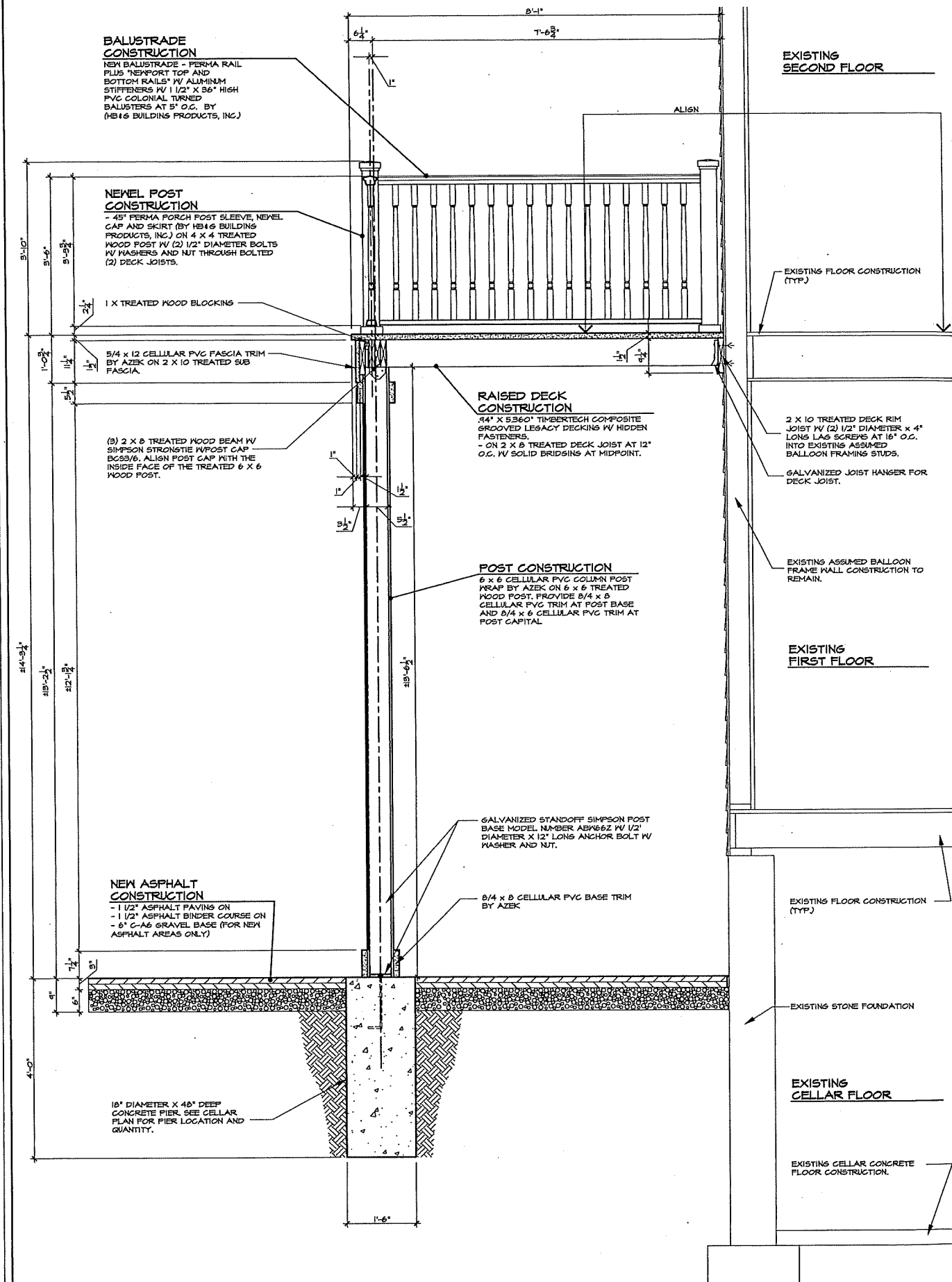
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 01-20-2020

AN ADDITION AND REMODELING FOR
HAWBECKER
AND
GARVER, LLC.
 32 SOUTH BLAINE STREET
 HINSDALE, ILLINOIS 60521

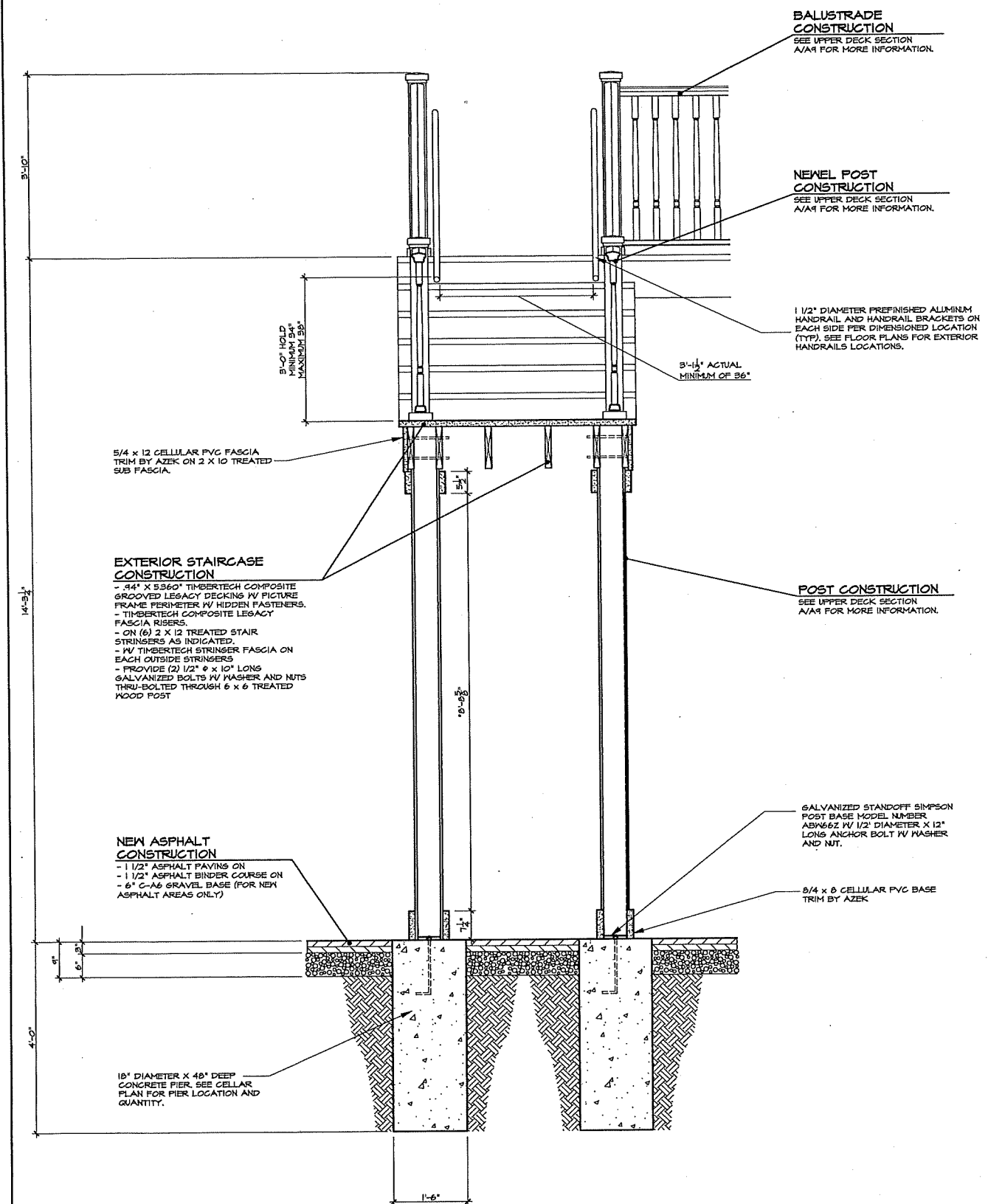
SHEET TITLE
 WALL SECTIONS

SHEET NUMBER
 A8
 OF
 9

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A UPPER DECK SECTION
3/4" = 1'-0"



B PARTIAL EXT. WALL SECTION
1/4" = 1'-0"

108 & Washington Street
Hinsdale, Illinois 60521
Tel: 630.323.7622
Fax: 630.323.7622
www.capiorisy.com

capiorisy
architectural design

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RITA J. KUAN
CHECKED BY:
JAMES C. FRISBY
VINCENZO CAPRIO

PROJECT #
14024 RC

REVISION DATES

DATE ISSUED
01-20-2020

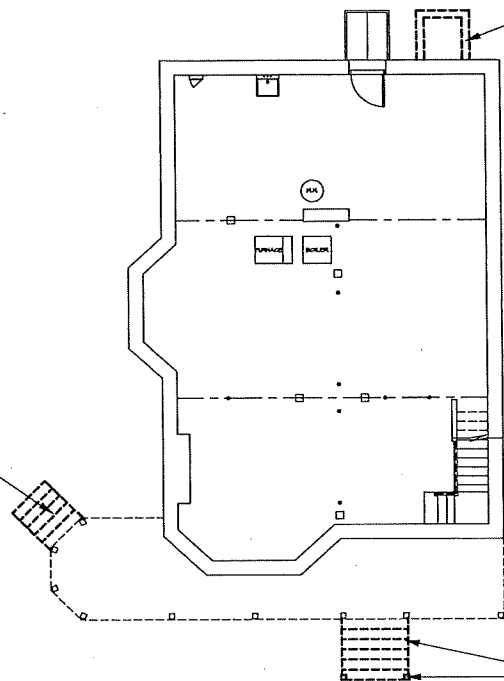
AN ADDITION AND REMODELING FOR:
HAWBECKER AND GARVER, LLC.
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521

SHEET TITLE
WALL SECTIONS

SHEET NUMBER
A9
OF
9

NOTE:
SEE FIRST FLOOR DEMOLITION
PLAN FOR EXTERIOR ELEVATION
DEMOLITION SCOPE OF WORK
NOTES.

REMOVE EXISTING SOUTHWEST
FRONT PORCH STAIRCASE WITH
RELATED CONCRETE PIERS AS
NECESSARY.



SAWCUT AND REMOVE A
PORTION OF THE EXISTING
CONCRETE STAIRCASE
FOUNDATION A MINIMUM OF 12"
BELOW THE EXISTING GRADE.

REMOVE EXISTING FRONT PORCH
STAIRCASE WITH RELATED
CONCRETE PIERS AS
NECESSARY.

A CELLAR DEMOLITION PLAN
1/8" = 1'-0"

**DEMOLITION NOTES FOR
EXTERIOR ELEVATIONS:**

1. REMOVE EXISTING SIDING, CORNER TRIM,
RAKE FRIEZE, FISH SCALE SIDING DOWN
TO EXISTING WALL SUBSTRATE.
2. EXISTING WOOD WINDOW TRIM, WALL
CORBELS, ALUMINUM SOFFITS, ALUMINUM
FASCIA RAKE BOARDS, ORNATE GABLE
END TRIM, ALUMINUM FASCIA WITH
ALUMINUM GUTTERS AND DOWNSPOUTS ARE
TO REMAIN.

EXISTING PRE-FAB
FIREPLACE INSERT,
HEARTH AND SURROUND
TO BE REMOVED.

EXISTING FRONT PORCH
SOUTHWEST STAIRCASE
AND GATES TO BE
REMOVED COMPLETELY.

EXISTING FRONT PORCH
DECKING SKIRT TO BE
REMOVED.

EXISTING FRONT PORCH
DECKING TO BE REMOVED
COMPLETELY.

REMOVE EXISTING CONCRETE
STAIRCASE, BALUSTRADE
SYSTEM AND ROOF STRUCTURE
COMPLETELY.

REMOVE EXISTING FRONT
PORCH BALUSTRADE SYSTEM.

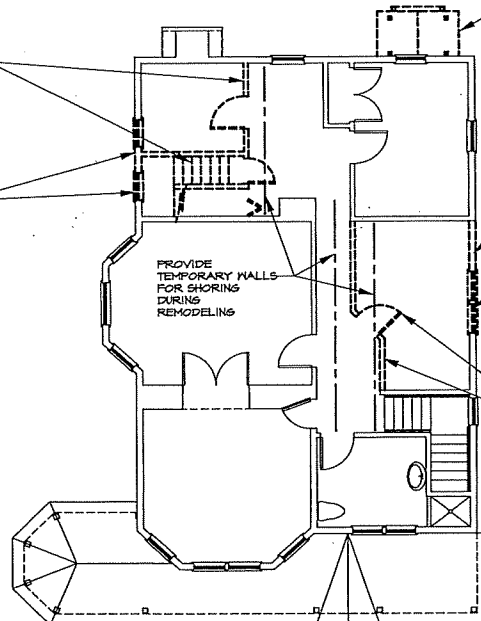
REMOVE EXISTING FRONT
PORCH COLUMNS. PROVIDE
TEMPORARY SUPPORT FOR
EXISTING PORCH ROOF.

B FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

NOTE:
SEE FIRST FLOOR DEMOLITION
PLAN FOR EXTERIOR ELEVATION
DEMOLITION SCOPE OF WORK
NOTES.

REMOVE EXISTING STAIRCASE,
INTERIOR WALLS AND ALL INTERIOR
TRIM AS INDICATED FOR THE NEW
ATTIC STAIRCASE. (SAVE EXISTING
DOORS AND TRIM).

REMOVE EXISTING WINDOWS AND A
PORTION OF THE EXTERIOR HALL AS
INDICATED FOR NEW STAIRCASE
DORMER.



REMOVE EXISTING ROOF STRUCTURE
COMPLETELY AT REAR ENTRY DOOR /
EXTERIOR CONCRETE STAIRS.

REMOVE A PORTION OF THE EXTERIOR
HALL TO CREATE A NEW OPENING FOR
RELOCATED EXISTING WINDOWS.

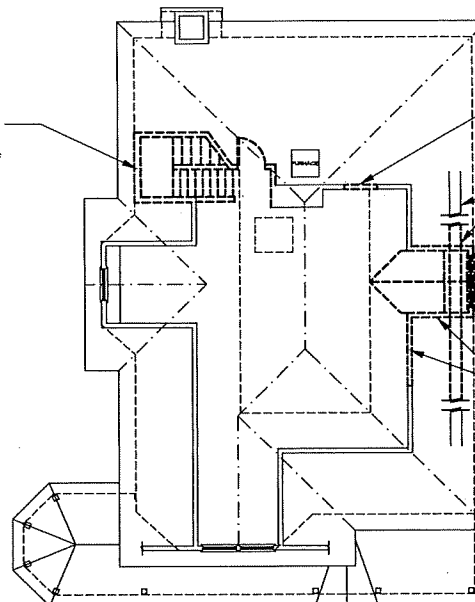
REMOVE EXISTING WINDOWS AND ALL
INTERIOR TRIM FOR THE REWORKED
NORTH WALL FOR NEW ATTIC STAIRCASE.
(SAVE WINDOWS AND TRIM TO BE REUSED)

REMOVE A PORTION OF THE EXISTING
HALL, DOOR AND ALL INTERIOR TRIM
AS INDICATED FOR THE REWORKED
INTERIOR SOUTH WALL, NEW ATTIC
STAIRCASE AND OPEN OFFICE. (SAVE
DOOR AND TRIM TO BE REUSED).

C SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

NOTE:
SEE FIRST FLOOR DEMOLITION
PLAN FOR EXTERIOR ELEVATION
DEMOLITION SCOPE OF WORK
NOTES.

DEMO THE EXISTING ATTIC
STAIRCASE AS WELL AS A
PORTION OF THE EXISTING
EXTERIOR AND INTERIOR
HALLS AND A PORTION OF
THE EXISTING ROOF AS
INDICATED TO CREATE A
NEW SPACE FOR A NEW
STAIRCASE.



REMOVE A PORTION OF THE
EXISTING HALL TO CREATE
AN OPENING FOR NEW
ACCESS DOOR TO THE
EXISTING MECHANICAL
ROOM.

A PORTION OF THE EXISTING
INSULATED FLEXIBLE HVAC
DUCTWORK TO BE REMOVED
AND MODIFIED AS
INDICATED ON WEST AND
EAST END PER NEW DORMER
DETAIL - B ON SHEET AS.

REMOVE EXISTING DORMER
WINDOWS.

REMOVE EXISTING DORMER
AND CREATE A LARGER
OPENING FOR NEW ROOF
DORMER. SEE REVISED
ATTIC PLAN.

D ATTIC DEMOLITION PLAN
1/8" = 1'-0"

100 S. Washington Street
Suite 60521
Hinsdale, IL 60521
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architectural design

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VINCENTO CARPIO
CHECKED BY:
JAMES C. PRISBY
VINCENTO CARPIO

PROJECT #
19024 RC

REVISION DATES

DATE ISSUED
01-20-2020

AN ADDITION AND REMODELING FOR
HAWBECKER
AND
GARVER, LLC.
32 SOUTH BLAINE STREET
HINSDALE, ILLINOIS 60521

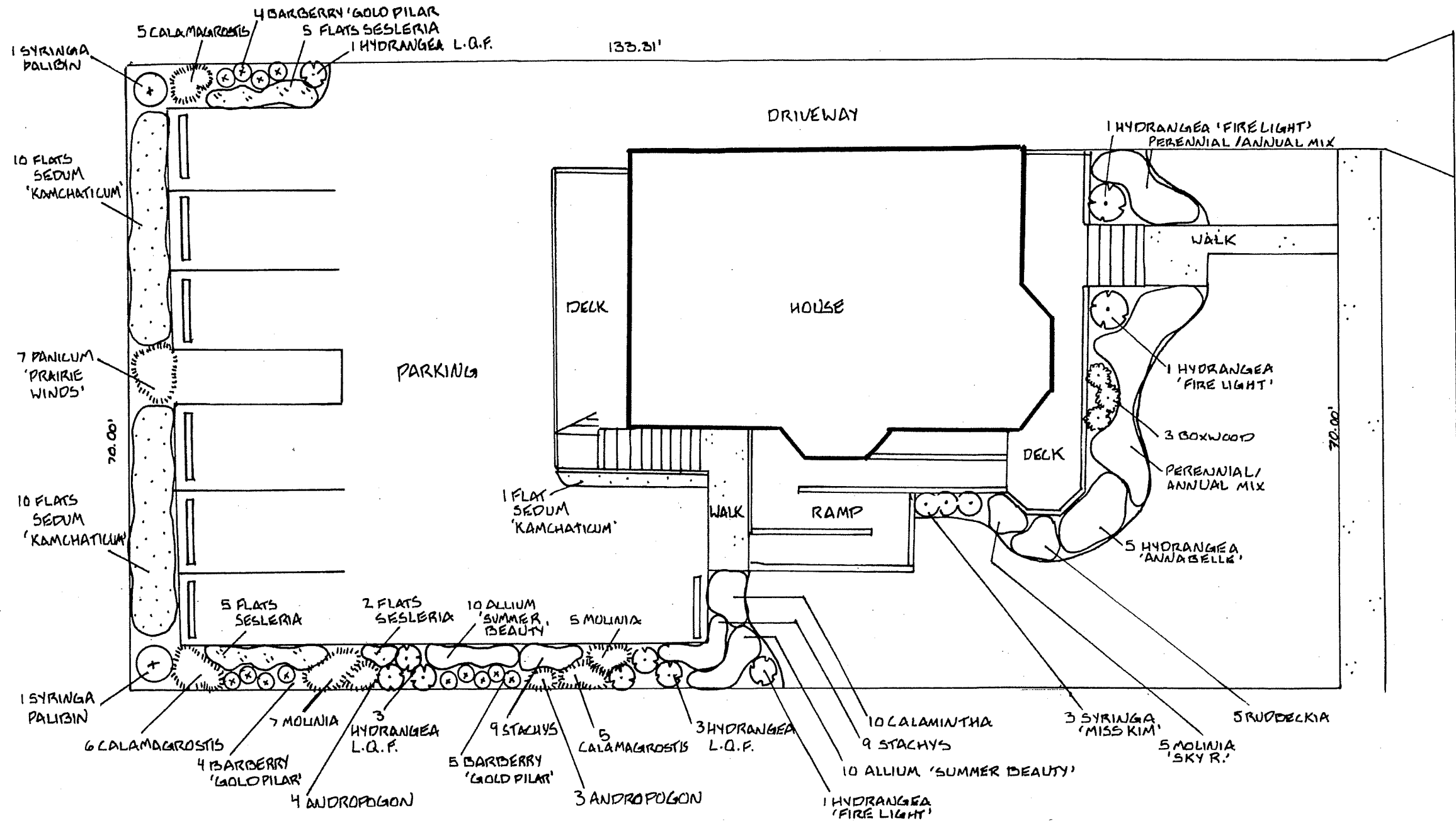
SHEET TITLE
DEMOLITION
FLOOR PLANS

SHEET NUMBER

D1
OF
1

HAWBECKER AND GARVER

32 S. BLAINE ST. HINSDALE, IL 60521



DRAWN BY:

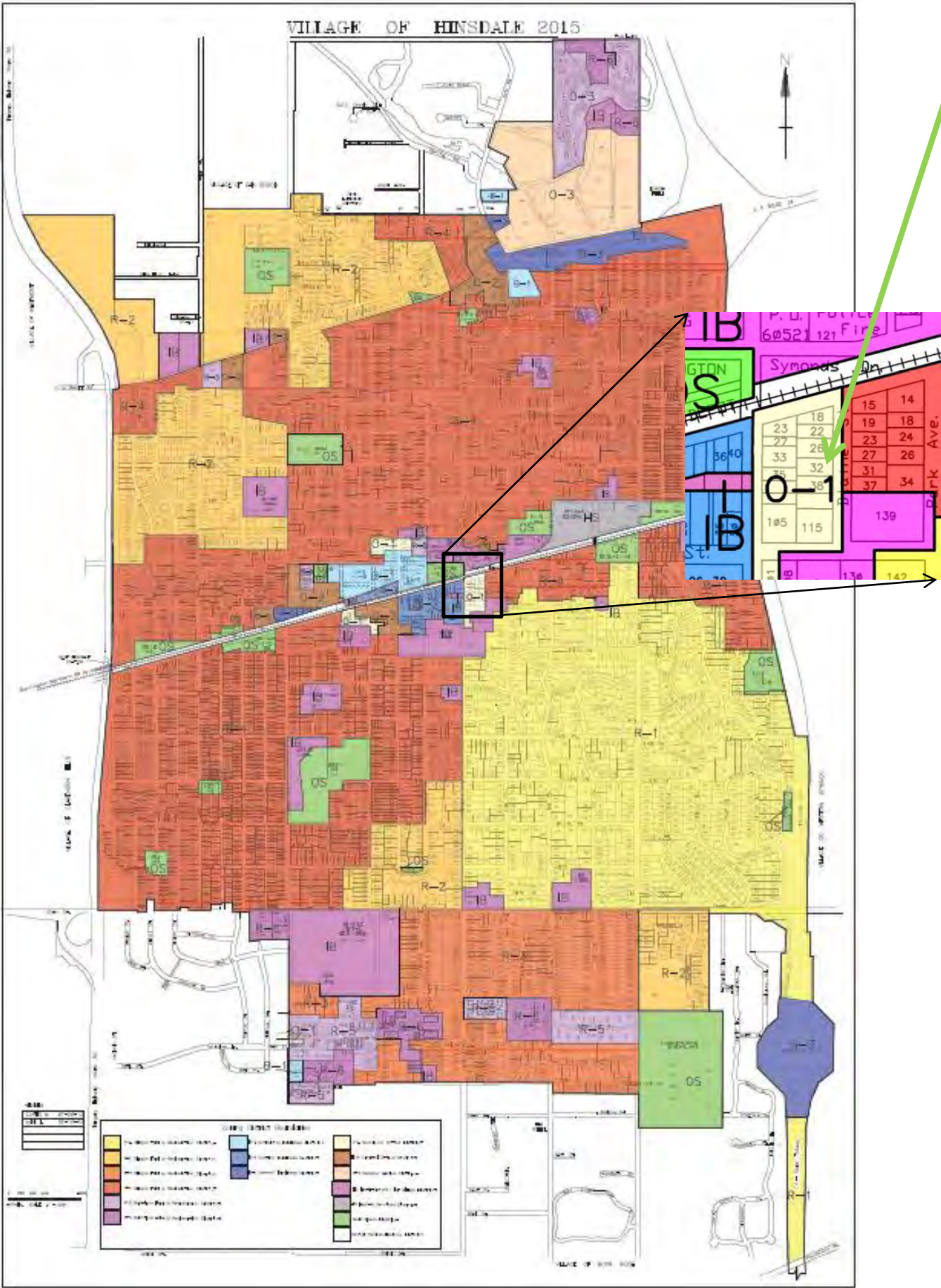
SCALE:

DATE:

COVENTRY GARDENERS 1/8" = 1'-0" 3/16/20



Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View of 32 Blaine Street






MEMORANDUM

DATE: May 13, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 908 N. Elm Street – Exterior Appearance/Site Plan to enclose the entrance into the existing office building - Case A-13-2020 – O-3 General Office District

Summary

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from Jim Doyle, CBRE, and requesting approval to enclose an existing covered but open portico at 908 N. Elm Street in the O-3 General Office District. The proposed glass enclosure would help create a temperature-controlled entrance with 2 new sets of automatic bi-parting doors.

Request and Analysis

The proposed materials of the enclosure include white aluminum and glass, and will not expand the existing building envelope. Per the submitted rendering, the architectural elements of the building would be preserved. The subject property is currently used a medical office building and adjacent to the same O-3 General Office District parcels to the north, south and east, and a B-3 General Business District parcel to the northwest.

Per the application, there would be no change to the building height, setbacks, or lot coverage. However, the proposed enclosure would increase the floor area ratio (FAR) by 1%, or 300 SF, to 43.6%. The existing building has a legal nonconforming FAR because the maximum permitted FAR is 35%. On January 15, 2020, the Zoning Board of Appeals (ZBA) unanimously approved their request (V-06-19) for a 1% increase in FAR (to reflect this application). A few members of the ZBA commented that the current entrance does not function well and the safety and welfare of the patients of the building would be enhanced with the proposed changes.

Process

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-604 and 11-606.



MEMORANDUM

Attachments:

Attachment 1 – Exterior Appearance/Site Plan Application Request and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Aerial View of 908 N. Elm Street

908 N. ELM STREET | BUILDING ENTRY





**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Owner

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: _____

Title: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Name: _____

Title: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

1) _____

2) _____

3) _____

II. SITE INFORMATION

Address of subject property: _____

Property identification number (P.I.N. or tax number): ____ - ____ - ____ - ____

Brief description of proposed project: _____

General description or characteristics of the site: _____

Existing zoning and land use: _____

Surrounding zoning and existing land uses:

North: _____

South: _____

East: _____

West: _____

Proposed zoning and land use: _____

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☐ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E

Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 6, day of May, 2020, I/We have read the above certification, understand it, and agree to abide by its conditions.

Jim Doyle
Signature of applicant or authorized agent

Jim Doyle
Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 6th day of
may, 2020.

Notary Public



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: _____

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

The proposed in-fill of the existing entrance portico does not impact the existing open space between buildings or in setback spaces between street and facades.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

The proposed in-fill will consist of high quality white aluminum and glass storefront that matches that found on the opposite side of the building as well as similar features found in other buildings within the Office Park.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

The proposed in-fill, of white aluminum and glass storefront, matches that found on the opposite side of the building as well as similar features found in other buildings within the Office Park.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The proposed project has no impact on the site development of the property with the exception that it does improve pedestrian access into the building. The existing site development, around the area of work, will remain as-is.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

N/A - The proposed project has no impact on the existing height of the building.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

N/A - The proposed project has no impact on the existing width to height of the building.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The proposed in-fill will, consisting of white aluminum and glass storefront, will have a similar proportion of width to height matching that found on the opposite side of the building as well as similar features found in other buildings within the Office Park.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The proposed storefront in-fill will create a similar appearance, in terms of the relationship of solids to voids, found in other buildings within the Office Park.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

N/A - The proposed storefront in-fill does not impact the relationship of the existing building to the open space between it and adjoining buildings.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The proposed aluminum and glass storefront will be in-filling the existing entrance projection/portico and will be compatible with similar features found on other building within the same Office Park.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The proposed aluminum and glass storefront in-fill matches that found on the opposite side of the building and is visually compatible with similar features on other building within the same Office Park.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

N/A - The proposed storefront in-fill has no impact on the existing roof shape of the building.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

N/A - The proposed storefront in-fill has no impact on the walls of enclosure along the street and maintains the building's existing visual compatibility with the other buildings within the Office Park.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

N/A - The proposed storefront in-fill has no impact on the existing size and massing of the existing building.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The proposed aluminum and glass storefront in-fill will be visually compatible in every way with the surrounding buildings within the Office Park.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The proposed aluminum and glass storefront infill is available and will match exactly to other existing storefront systems around the building. The existing stone and face brick, immediately adjacent to the in-fill will remain as-is.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The proposed storefront in-fill is an approved use, however, it increases the FAR and requires a Variance. The project is currently going through the Variance review/approval process and it is expected to be approved soon.

2. The proposed site plan interferes with easements and rights-of-way.

N/A - The proposed storefront in-fill has no impact on any easements or rights-of-way.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The proposed storefront in-fill does not have a negative impact on the enjoyment of any features on the property and actually enhances the way occupants and visitors enter and exit the building.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

N/A - The proposed storefront in-fill has no impact on the use and enjoyment of the surrounding property.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

N/A - The proposed storefront in-fill has no impact on the traffic in the public streets or within the subject property.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

N/A - The proposed storefront in-fill has no impact on the screening of the building on the property.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The proposed storefront in-fill will create a climate controlled vestibule and valet parking waiting area which creates a new building amenity that other nearby buildings do not currently have.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

N/A - The proposed storefront in-fill is not a special use and has no impact on the property's open space.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

N/A - The proposed storefront in-fill has no impact on water drainage on the property.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

N/A - The proposed storefront in-fill has no impact on the site's utilities.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The proposed storefront in-fill has no impact on the site's utilities.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The proposed storefront in-fill and automatic bi-parting entry doors will significantly improve access into the building, especially for those needing assistance, therefore benefiting the public health, safety and welfare of its occupants and visitors.

TABLE OF COMPLIANCE

Address of subject property: _____

The following table is based on the _____ Zoning District.

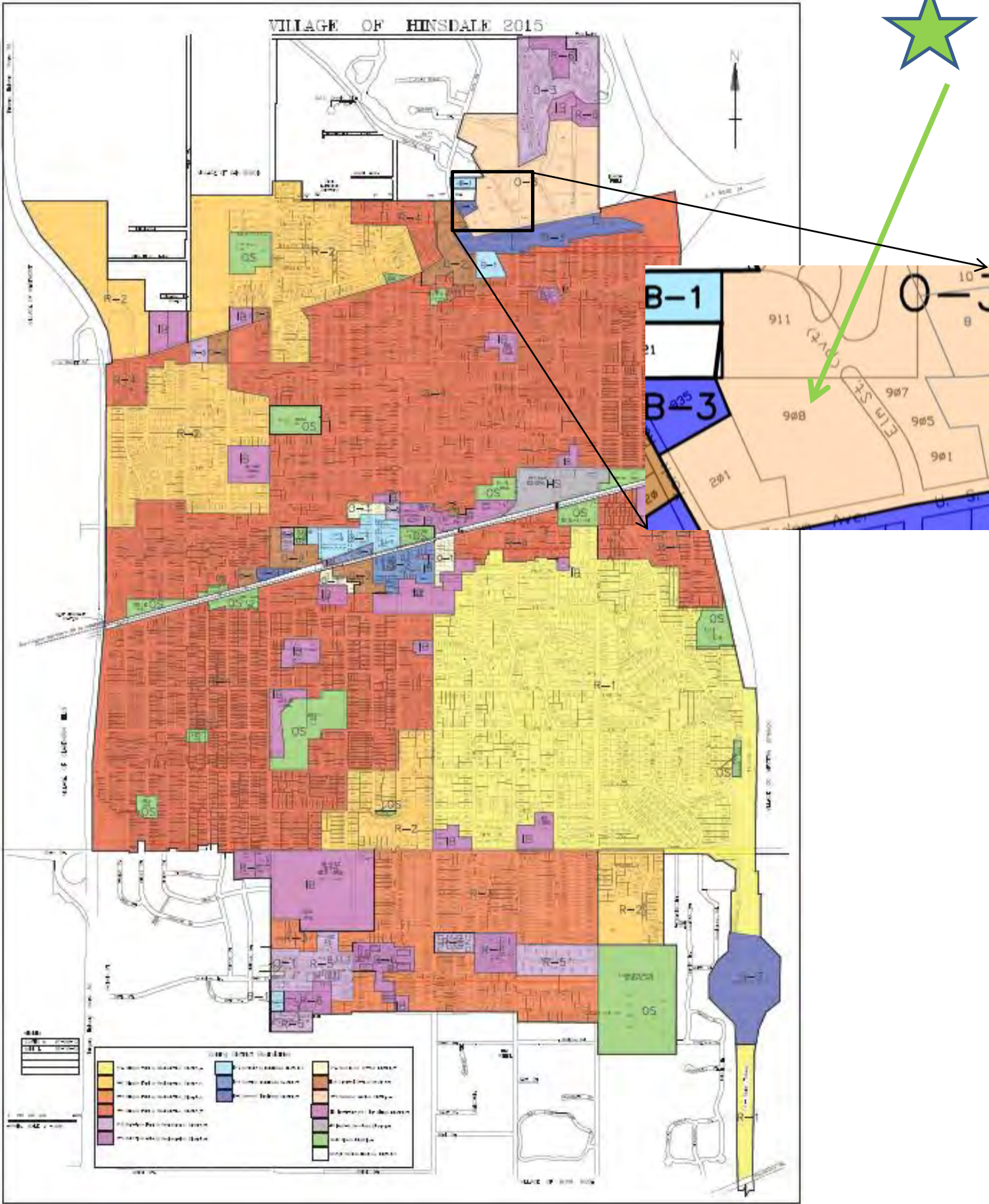
	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)		
Minimum Lot Depth		
Minimum Lot Width		
Building Height		
Number of Stories		
Front Yard Setback		
Corner Side Yard Setback		
Interior Side Yard Setback		
Rear Yard Setback		
Maximum Floor Area Ratio (F.A.R.)*		
Maximum Total Building Coverage*		
Maximum Total Lot Coverage*		
Parking Requirements		
Parking front yard setback		
Parking corner side yard setback		
Parking interior side yard setback		
Parking rear yard setback		
Loading Requirements		
Accessory Structure Information		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

The FAR is larger than required by the current Zoning Ordinance and the proposed project increases the FAR, however the project is currently proceeding through the Village's Zoning Variance review/approval process.

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Aerial View of 908 N. Elm Street






MEMORANDUM

DATE: May 13, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: Consideration of a Temporary 180-Day Moratorium on the Issuance of any Demolition Permit or other Building or Zoning Approvals involving the Demolition of a Single Family Home within the Village
To Schedule for Public Hearing - Village of Hinsdale - Case A-14-2020

Summary

At the March 16, 2020, Village Board meeting, the Board of Trustees discussed a proposed moratorium on demolition permits or other zoning approvals involving a single family home or building that is historically significant or landmarked in the Village (Attachment 1). President Cauley introduced this as a topic of concern shared by the Historic Preservation Commission at the March 3, 2020, Board Meeting during the Village President's Report (Attachment 2).

Two Village residents addressed the Board of Trustees with public comments at the March 16, 2020, meeting (Attachment 3). After discussion, the Village Board unanimously referred to the Plan Commission to hold a public hearing for consideration and recommendation to the Village Board on a temporary, not to be longer than 180 days, a moratorium on the issuance of demolition permits or other building or zoning approvals, involving the demolition of any single-family home or building that is historically significant or landmarked, Village-wide.

Attachments:

- Attachment 1 – Request for Board Action memo dated March 16, 2020.
- Attachment 2 - March 3, 2020, Village Board Meeting minutes regarding the agenda item.
- Attachment 3 - March 16, 2020, Village Board Meeting minutes regarding the agenda item.

REQUEST FOR BOARD ACTION
Community Development

AGENDA SECTION: First Reading - ZPS

SUBJECT: Consideration of a Temporary 180-Day Moratorium on the Issuance of Any Demolition Permits or Other Building or Zoning Approvals Involving the Demolition of Single Family Homes within the Robbins Park and Central Business District.

MEETING DATE: March 16, 2020

FROM: Robert McGinnis, Director of Community Development/Building Commissioner

Recommended Motion

Approve a Referral to Plan Commission of a Request to Hold a Public Hearing for Consideration of, and a Recommendation to the Board of Trustees on, a Temporary 180-day Moratorium on the Issuance of any Demolition Permits or other Building or Zoning Approvals involving the Demolition of Landmarked Single-Family Homes, or of any Single Family Homes within the Village or within the Robbins Park and Central Business District Historic Districts

Background

At the Village Board of Trustee meeting of March 3, 2020, President Cauley cited two specific examples of homes in the Robbins Historic District that are in process for potential demolition. These applications have caused concern for the members of the Historic Preservation Commission (HPC) as in recent years, an alarming number of historic homes have been demolished in the Robbins Historic District and the Village has no process in place to stop these demolitions. An intermediate step under consideration to address the demolitions is to impose a temporary moratorium on demolitions of landmarked structures within the Village in either or both of the two historic districts, or Village-wide, for a finite period of time in order to give the Board of Trustees and applicable commissions time to study the issue and to evaluate recommendations to attempt to safeguard the community from the adverse impact that these demolitions have on Hinsdale's historic community. The process to institute a moratorium would be a public hearing at the Plan Commission to determine if Hinsdale residents support the idea of a moratorium in historic districts. Following the public hearing, the Plan Commission will make a recommendation to the Village Board of Trustees on whether or not to impose a moratorium. If the Board then chooses to impose a moratorium it would do so by Ordinance.

Discussion & Recommendation

Issues for consideration by the Board include how long the moratorium should be (a maximum of 180 days is recommended), whether it should be imposed Village-wide or only within one or both historic districts, and whether, if limited to one or both historic districts, whether it should apply just to contributing buildings and structures or to all buildings and structures within the historic district or districts. The Motion should be revised to reflect those decisions.

Budget Impact

During a potential moratorium as much as \$15,000-\$25,000 per permit may be lost as a result of a demo/rebuild permit not issued during the moratorium. As a point of reference, there were 4 issued in the Robbins Historic District in 2019.

Village Board and/or Committee Action

Documents Attached

**VILLAGE OF HINSDALE
VILLAGE BOARD OF TRUSTEES
MINUTES OF THE MEETING
March 3, 2020**

The regularly scheduled meeting of the Hinsdale Village Board of Trustees was called to order by Village President Tom Cauley in Memorial Hall of the Memorial Building on Tuesday, March 3, 2020 at 7:32 p.m., roll call was taken.

Present: Trustees Scott Banke, Luke Stifflear, Gerald J. Hughes, Laurel Haarlow, Neale Byrnes, and President Tom Cauley

Absent: Trustee Matthew Posthuma

Also Present: Village Manager Kathleen A. Gargano, Assistant Village Manager/Director of Public Safety Brad Bloom, Police Chief Brian King, Fire Chief John Giannelli, Finance Director Darrell Langlois, Director of Community Development/Building Commissioner Robb McGinnis, Director of Public Services George Peluso, Superintendent of Parks & Recreation Heather Bereckis and Village Clerk Christine Bruton

PLEDGE OF ALLEGIANCE

President Cauley led those in attendance in the Pledge of Allegiance.

President Cauley stated that recently there has been a spate of demolitions of historic homes; the Historic Preservation Commission (HPC) hears those requests. The chair of the HPC approached him because Commission members are discouraged as there is little they can do to stop these demolitions. Tomorrow they have three such homes on their agenda, two of which are classic homes: 716 S. Oak, the Dean house, and 419 S. Oak, the Clarke house.

When they are gone you can't get them back, and therefore he recommends a moratorium on further demolition for a reasonable period of time in the Robbins district. He believes there should be a public hearing on this matter at the Plan Commission to determine if residents want this.

This is not punitive, but an effort to slow the process to determine if there is something different we can do, and consider ordinances that would be reasonable to attempt to preserve these homes. It would provide a hurdle for owners before demolishing an historic home. He acknowledged that people have property rights, but it would be beneficial to strike a balance. The Village will lose something if these types of homes are taken down. HPC members in the audience confirmed that the persons who have made application for these particular homes are new residents. Relative to what other communities do, Village Manager Gargano offered that in Wilmette the Village Board made the final decision. President Cauley suggested the moratorium be no more than six months, and there be a public hearing at the Plan Commission to discuss proposed regulations.

Mr. Jim Prisby of 565 N. Vine Street, addressed the Board. He is a member of the HPC and said the Commission has been working on potential changes for the last 18 months. Village employee Mr. Mike Donofrio did a study of 12 other communities that should be available for Board review. President Cauley noted that the Board recently adopted an ordinance requiring plans be included when applying for demolition. Mr. Prisby added they have no enforcement power, HPC is advisory only.

Ms. Alexis Braden of 436 E. First Street, addressed the Board. She is a member of the HPC and while she appreciates the Board's enthusiasm, a moratorium is too late for these homes. Trustee Banke said a moratorium makes sense to de-incentivize people from exercising their property rights, and incentivize preservation. Adjusting fee structures and such could alter the outcome. He pointed out it is expensive to update the mechanical systems of older homes, but a solution might be to preserve the façade. This would maintain the character of the neighborhood. President Cauley asked if there's any way to offer a carrot to these homeowners to keep the façade. Ms. Braden was doubtful, and believes the only solution is a long term education plan for realtors and residents.

Trustee Hughes said there are still plenty of homes in the district to save; there are homes outside the district, too, that would be sad to lose. Maybe the moratorium should go beyond the Robbins historic district. A working group was identified to include two Board members, two members of the Plan Commission and two members of the Historic Preservation Commission.

CITIZENS' PETITIONS

None.

FIRST READINGS – INTRODUCTION

Administration & Community Affairs (Chair Hughes)

b) Approve a Referral to Plan Commission of a Request to Hold a Public Hearing for Consideration of, and a Recommendation to the Board of Trustees on, a Temporary 180-day Moratorium on the Issuance of any Demolition Permits or other Building or Zoning Approvals involving the Demolition of Landmarked Single-Family Homes, or of any Single Family Homes within the Village or within the Robbins Park and Central Business District Historic Districts

Trustee Stifflear introduced the item which is a follow-up on a proposed moratorium that President Cauley discussed in his remarks two weeks ago regarding the teardown of historically significant homes in the Robbins Park historic district. This matter can be heard by the Board, or referred to the Plan Commission with a vote tonight. Any potential moratorium will allow a debate on what a long-term historic preservation ordinance may codify to protect historically significant structures, and insure that those homes are not razed during the process. The Plan Commission would hear public comment and provide the Board with a recommendation. At the last meeting of the Village Board, Historic Preservation Commission members asked the Village to do something about this. If the Plan Commission holds a public hearing, it would come back to the Village Board for a final vote. Trustee Stifflear suggested the Board consider and provide direction to the Plan Commission regarding the length of the moratorium, six months has been recommended; whether the moratorium should be Village-wide or apply only to Robbins Park and/or the Central Business District (CBD); apply to all buildings, or only to contributing buildings, and if we include all buildings, a waiver or appeal process should be considered. President Cauley noted this matter addresses the concept of having a moratorium, not regulations to preserve historic homes. He views the Board of Trustees as an appellate body and that public hearings should be conducted by the Plan Commission the Zoning Board of Appeals. This is a sensitive issue, lots of people in the community want to see older homes preserved, but owners want to develop them, or they can't sell them as they are. The Historic Preservation Commission has asked us to do something, but we don't know what that is yet. No determinations have been made.

Trustee Hughes reminded the Board there are significant homes outside the Robbins historic district. He would suggest, in terms of scope, that the moratorium apply to contributing homes in Robbins and something based on age, pre-war homes, located outside the district. Director of Community Development Robb McGinnis said there were about 40 demolitions in 2019, and since 2008, 24 homes were demolished in Robbins, 19 of which were contribution homes.

Trustee Posthuma agrees property rights should be protected, but also agrees this issue should be looked at. Discussion followed regarding the length of the moratorium the Board agreed to keep it as short as possible to realistically evaluate the problem, but no more than 6 months. Trustee Stifflear agrees that property rights are important, and that this

should only apply to properties that contribute to the historic definition in Robbins and the CBD.

Mr. Mike Ryan, 125 E. Eighth Street, addressed the Board, and echoed their comments but stressed that some houses might not be worthy of being on a list of what is unique and special, stating that some houses should truly come down. He appreciates the Board's consideration of the property rights of owners. President Cauley said he would like to see the opportunity for rehabbing these homes maximized, possibly with incentives regarding FAR, or waiving construction fees or setback requirements.

Mr. Mark Weber, 427 S. Stough, addressed the Board stating he is building a home at 6th & County Line that was a tear down. They looked at rehabbing the property, but they couldn't make the numbers work; economics ruled the outcome. He is concerned about property rights, and he wants Hinsdale to grow. He agrees it would be best to work through this issue quickly.

Trustee Stifflear made an initial motion that was revised following discussion of the Board regarding whether or not to include buildings outside the Robbins historic district, and if so, of what vintage. The Board agreed to make the motion more broad and let the Plan Commission refine the parameters. Trustee Byrnes asked that the motion include parameters for a waiver process. Ms. Gargano asked that the motion include landmarked homes.

Trustee Stifflear moved to **Approve and refer to Plan Commission a request to hold a public hearing for consideration and recommendation to the Village Board on a temporary, not to be longer than 180 days, moratorium on the issuance of demolition permits or other building or zoning approvals, involving the demolition of any single-family home or building that is historically significant or landmarked, Village-wide.** Trustee Posthuma seconded the motion.

AYES: Trustees Posthuma, Stifflear, Hughes, and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: Trustees Banke and Haarlow

Motion carried.




MEMORANDUM

DATE: May 13, 2020

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: Map Amendment, Text Amendment and Planned Development Concept Plan to develop 16.8 Acre "IBLP" Site at 707 W. Ogden Ave (Northwest corner of W. Ogden Ave. and Adams St.) for a New 3-story, 330,000 SF, 245-unit Senior and Assisted Living Development and 9 single story duplex villas for Independent Living Seniors
To Schedule for Public Hearing Request by Ryan Companies, US Inc. - Case A-40-2019

Summary

The Village received a Concept Plan application, as well as related map and text amendment applications, submitted by Ryan Companies US (Ryan), seeking approvals for a Map Amendment, Text Amendment and Planned Development, concurrently, to develop the 16.8 acre site at the Northwest corner of the Village (Northeast and Northwest Corner of Ogden Ave. and Adams St.), and commonly referred to as the "IBLP site". The subject property is west of Adams Street and has unique challenges, including 23% of the area comprised of floodplain/floodway/wetlands and a topography variation of 32 feet across the property. At the January 7, 2020, Village Board meeting, the applicant stated the wetlands would be improved and managed as a public benefit. Since then, the applicant has added that it would also contribute \$250,000 to the Village for local park improvements.

The application proposes to develop a 330,000 SF, 245 unit senior living building called "Hinsdale Senior Residences", to provide independent living (135 units), assisted living (70 units), and memory care (40 units) services. Ryan would be the co-owner, general contractor and developer. Life Care Services (LCS) would be a co-owner and operator for the assisted living services. The plan also proposes 8 duplex villas and 1 single villa structure for 17 independent senior living homes. The single story villas would be north of the assisted living building on Cheval Drive.

Request and Analysis

Established in 1971, LCS is a national senior housing owner and operator, headquartered in Des Moines, Iowa. Per the application, LCS is the second largest operator serving seniors in the country, and manages over 130 communities for over 32,000 residents. This proposed plan would be the 11th Ryan/LCS partnership. Some of the amenities and services offered, include for example: meal plans, fitness activities, and transportation for events, salon, housekeeping, and laundry service.

The proposed 330,000 SF, 245 unit senior living building ranges in height from 1 to 3 stories. Per the applicant, the design of the building layout was driven by a 2-story height along Ogden Avenue, with an increase from 2 to 3 stories further away from Ogden Avenue. The setback distance from the 2-story



MEMORANDUM

portion and south property line ranges from 50.1 feet and 53.6 feet (the actual distance from the building to the north edge of Ogden Avenue is even further). The closest 3-story portion of the building from Ogden Avenue is 146 feet (from the south property lot line).

For context with buildings in the vicinity, ManorCare (600 W. Ogden Ave.) is approximately 54 feet from its front lot line and 2 stories tall and Hinsdale Orthopedics (550 W. Ogden Ave.) is approximately 51 feet from its front lot line and 2 stories tall. There are various views of the proposed building from Ogden Avenue included in Attachment 1. In regards to density by dwelling units per acre (DU/A), the proposed planned development would have approximately 15.6 DU/A. To compare with existing assisted living facilities in Hinsdale, Eve Assisted Living at 10 N. Washington Street features approximately 71 DU/A, and ManorCare at 600 W. Ogden Avenue has approximately 65 DU/A.

The plan also proposes 8 duplex villas and 1 single villa structure for 17 independent senior living homes (43,800 SF). The 1-story tall villas would be north of the assisted living building on Cheval Drive. It should be noted that Cheval Drive is currently in the Village of Oak Brook. However, the plan is to extend Cheval Drive westward, across the municipal boundary into Hinsdale to develop the aforementioned 9 villas. The applicant is also proposing to construct 7 duplex villas (14 independent senior living homes) on the east side of Cheval Drive in the Village of Oak Brook. The applicant has stated that the project would move forward even if the 7 duplex villas in Oak Brook are not approved.

The Map Amendment application is a request to change a 7.6 acre parcel from IB Institutional Buildings District to an R-2 Single Family Residential District to be contiguous with the rest of the R-2 zoning of the proposed development and area north of Ogden Avenue. The proposed Text Amendment is to amend Section 3-106(B)(1), to allow applications for planned developments in the residential districts with a minimum lot area of 15 acres, versus the current 20 acre lot minimum. Per the applicant, the requested planned development waivers are labeled "Concept Level", dated March 26, 2020, and primarily height-oriented requests for zoning relief.

The purpose for the Planned Development Concept Plan application is to provide the applicant an opportunity to show the basic scope, character, and nature of the entire proposed plan without incurring undue cost. It is the initial step towards public hearings for the applicant to present the plan and allow for changes based on the input received throughout the process of approval. Approval of a Concept Plan binds both the applicant and the Village with respect to various basic elements of the development, such as the categories of uses to be permitted, general location of uses, density, architectural style, etc.

Contingent on an approved Concept Plan, a subsequent Planned Development Detailed Plan would be submitted to refine the elements of the Concept Plan. It should be noted that the applicant has included a traffic impact study (dated 12.06.19 and updated 03.13. 20), draft fiscal impact analysis (dated 11.18.19), and a demand analysis study (dated 09.06.19).

On January 28, 2020, the Village Board referred this application to the Plan Commission (PC), with the following comments:

1. The proposed four (4) story height is a non-starter. The maximum height should be three (3) stories.



MEMORANDUM

2. The building should be moved further north for greater setback distance from Ogden Avenue.
3. The building appears too wide and too massive from Ogden Avenue and should be broken up. Glass atria connections were specifically mentioned by the Village Board as an option.
4. The building in general is too large.
5. The Public Benefit requirement should not be waived. Moreover, it should be a benefit to the community at large, and not just to those in the development.
6. Alternate architectural styles should be considered. It should be smaller, understated, and constructed with upscale materials and exterior finishes similar to that at Hinsdale Meadows on 55th & County Line.
7. There were concerns over the market demand.
8. There were concerns over the increased traffic.
9. A request to look at options for the development of a public park on the east side of Adams.

Process

Pursuant to Article 6, Section 11-601(D)(2)(a) of the Village of Hinsdale Zoning Ordinance, every properly filed and completed application for an amendment to this code, before being processed in any other manner, shall be referred to the Village Board for a determination as to whether the application merits a hearing and consideration by the PC or should be summarily denied.

At the January 28, 2020, meeting, the Village Board approved to refer the application packet to the PC for a hearing and consideration of a map amendment, text amendment to Section 3-106: Special Uses, to allow a Planned Development in any single-family residential district, subject to the issuance of a special use permit, and subject to a minimum lot area of 15 acres and Planned Development Concept Plan. The discussion at the public meeting can be viewed here at the 31.45 minute mark: http://villageofhinsdale.granicus.com/MediaPlayer.php?clip_id=305

The purpose of the application for the May 13, 2020, PC meeting is to schedule a future public hearing to consider the application packet, in accordance to Section 11-303.

Within forty five (45) days following the conclusion of the public hearing(s), the PC shall transmit to the Village Board its recommendation in the form specified by subsection [11-103](#)(H). The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

Attachments:

Attachment 1 – Planned Development Concept Plan, Map and Text amendment Applications

Attachment 2 - Zoning Map and Project Location

Attachment 3 - January 28, 2020, Village Board Minutes relevant to application



March 26, 2020

Board of Trustees, Village of Hinsdale
Commissioners, Village of Hinsdale Plan Commission
Kathleen Gargano, Village Manager
Rob McGinnis, Director of Community Development
Chan Yu, Village Planner

**Re: April 2020 Plan Commission Public Hearing Request
Hinsdale Senior Residences Development**

Ryan Companies US, Inc. (Ryan) respectfully requests to be added to the April Plan Commission meeting agenda regarding the Hinsdale Senior Residences development located at the northwest corner of Ogden Avenue and Adams Street. Ryan presented the conceptual plans to the Village Board on January 7th and January 28th. The Board provided a positive vote of referral to the Village Plan Commission on January 28th. Since January, Ryan has taken the time to update the plan in a thoughtful and realistic way. The northern plan for senior living villas has not changed since January. Shown below are the items the Village Board encouraged Ryan to address, along with our adjustments to the plans since then.

1. **Setbacks:** The January plan showed a minimum building setback from Ogden of 39.5 feet. The updated site plan increases the minimum building setback to 50 feet (11 feet increase). In addition, the building setback from Adams Street has been increased from 35 feet to 50 feet. We are challenged to increase the setbacks any more due to the stormwater floodway restrictions of the property.
2. **Height:** The existing building on the property is 2 to 3 stories in height. The January plans showed 4-story height at the rear of the property, about 250 feet away from Ogden Avenue. The current plans have been adjusted to show a building of 3-story maximum height with 2-story height along Ogden Avenue.
3. **Architectural Style:** The January plans showed a Craftsman style architecture. Since January, Ryan has been focused on changing the general architecture theme to a rich Georgian expression and improving the architecture interest and setbacks adjacent to Ogden Avenue.
4. **Public Benefit:** In January, Ryan presented the following public benefits of the development:

Ryan Companies US, Inc.
111 Shuman Boulevard, Suite 400
Naperville, IL 60563

p: 630-328-1100
ryancompanies.com

CHICAGO, IL LICENSE TGC04631
Equal Opportunity Employer



- a. Adds approximately 400 construction jobs and a variety of 95 full time equivalent permanent jobs.
- b. Provides a continuum of care housing stock not currently available in Hinsdale to meet market demand of aging population.
- c. Improves stormwater management in the area.
- d. Replaces the current building with substantially improved architecture from Ogden Avenue.
- e. Invests \$95M of private capital into a property with development challenges.
- f. Adds revenue to the Village and schools
 - i. Approx. \$1.4M additional to Village of 20 years
 - ii. Approx. \$6.4M additional to School District 86 over 20 years
 - iii. Approx. \$11.4M additional to School District 181 over 20 years
- g. Provides a pedestrian walking path and 60% greenspace.

The Board encouraged Ryan in January to provide additional public benefit. In addition to the public benefits listed above, Ryan is willing to contribute \$250,000 to the Village for local park improvements. This contribution would be provided at certificate of occupancy and this would satisfy the Village public open space and public benefit requirements.

- 5. The January presentation include the senior living community name as "Clarendale", which is a brand created by Ryan and our partner LCS. The property at Ogden and Adams is obviously in Hinsdale, but near Clarendon Hills. The community name has been changed to "Hinsdale Senior Residences" to avoid any name confusion.

We are pleased to continue the process and look forward to the Village Plan Commission meeting in April.

Sincerely,
Ryan Companies US, Inc.

A handwritten signature in blue ink, appearing to read "Dave Erickson", written over a light blue circular background.

Dave Erickson
Vice President of Real Estate Development



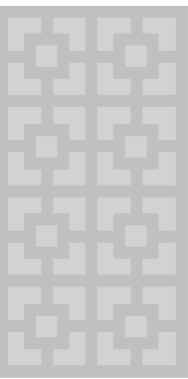
THE NEW DEVELOPMENT

- 16.8 acres at NW corner of Ogden Ave & Adams St
- \$95M in private investment
- 245 residences: 135 independent living, 70 assisted living and 40 memory care; plus 17 senior villas
- 2-story along Ogden Ave
- 204 parking spaces + villa driveway/garages
- 60% greenspace



APPROX. 20-YEAR ECONOMIC IMPACT

- **\$23.1M** increased property tax
- **\$1.4M** additional to Village
- **\$6.4M** additional to School District 86
- **\$11.4M** additional to School District 181
- **95** full time equivalent jobs
- **400+** construction jobs



PUBLIC BENEFIT

- Meets market demand for senior housing continuum not currently available in Hinsdale
- Improving the stormwater management in the area
- Replacing the current aging building with substantially improved architecture from Ogden Ave
- Investing \$95M of private capital into a property with development challenges
- Additional revenue to village & schools
- Pedestrian walking path & 60% greenspace
- Creating 400+ jobs during construction & 95 permanent full-time
- \$250,000 contribution to village for local parks



THE COMMUNITY

- Village-style living
- Well-bundled, quality services
- Dining and deli bistro restaurants, club bar
- Theatre for movies and parties
- Continuing education
- Whole-person health and wellness programs
- Concierge and activities director
- Housekeeping cleaning service
- 24-hour staff, health or nursing related services
- Transportation to local shopping, events, medical appointments
- Wifi, maintenance and utilities
- Covered parking

PROPOSED DEVELOPMENT

HINSDALE SENIOR RESIDENCES

HINSDALE, ILLINOIS

PROJECT NARRATIVE

December 9, 2019
Revised March 26, 2020

I. PROJECT DESCRIPTION

Ryan Companies US, Inc. (Ryan) is pleased to present to the Village of Hinsdale a \$95M Class A senior living development at the northwest corner of the Village. Ryan has under contract to purchase the northwest property at Ogden Avenue and Adams Street, which is currently owned and operated by the not-for-profit organization Institute of Basic Life Principles (IBLP). “Hinsdale Senior Residences” will be 245 residences for seniors that desire an independent living lifestyle, and for seniors in need of assisted living care and memory care as well as an additional 17 single story villas in Hinsdale for independent living seniors. All units will have monthly market rates and will not have a large entrance fee like some other senior living communities in the area.

A few key points regarding this development:

- Quality Sponsorship: Ryan will deliver high-quality attractive buildings that the Hinsdale community will be proud of.
- Market Need: There is strong market demand for seniors housing in Hinsdale.
- Zoning: There will be a rezone from R-2/I-B to R-2 PD.
- Public Benefit: See public benefit section below.

II. VILLAGE BOARD FEEDBACK AND UPDATES

Ryan presented the conceptual plans to the Village Board on January 7th and January 28th. The Board provided a positive vote of referral to the Village Plan Commission on January 28th. Since January, Ryan has taken the time to update the plan in a thoughtful and realistic way. The northern plan for senior living villas has not changed since January. Shown below are the items the Village Board encouraged Ryan to address, along with our adjustments to the plans since then.

1. Setbacks: The January plan showed a minimum building setback from Ogden of 39.5 feet. The updated site plan increases the minimum building setback to 50 feet (11 feet increase). In addition, the building setback from Adams Street has been increased from 35 feet to 50 feet. We are challenged to increase the setbacks any more due to the stormwater floodway restrictions of the property.
2. Height: The existing building on the property is 2 to 3 stories in height. The January plans showed a proposed 4-story height at the rear of the property, about 250 feet away from Ogden Avenue. The current plans have been adjusted to show a proposed building height of 3-story maximum with 2-story height along Ogden Avenue.
3. Architectural Style: The January plans showed a Craftsman style architecture. Since January, Ryan has been focused on changing the general architecture theme to a rich Georgian expression and improving the architecture interest and setbacks adjacent to Ogden Avenue.
4. Public Benefit: The January plan included numerous public benefits such as addressing a housing choice need, additional jobs, improved stormwater for the area, additional revenue of approximately \$1.4M to Village over 20 years and \$17.8M to the school districts. The Board encouraged Ryan in January to provide additional public benefit. In addition to the public benefits listed above, Ryan is willing to contribute \$250,000 to the Village for local park improvements. This contribution would be provided at certificate of occupancy and this would satisfy the Village public open space and public benefit requirements. See the public benefits section below for more detail.
5. The January presentation include the senior living community name as “Clarendale”, which is a brand created by Ryan and our partner LCS. The property at Ogden and Adams is obviously in Hinsdale, but near Clarendon Hills. The community name has been changed to “Hinsdale Senior Residences” to avoid any name confusion.

III. OWNERSHIP

Ryan will be a co-owner, general contractor and developer for the development at the northwest corner of Ogden and Adams Street, and Life Care Services (LCS) will be a co-owner and operator. Ryan, regionally located in Naperville, has been in business for over 85 years and provides real estate development, design, general contracting, asset management and property management services throughout the Country. LCS is a national senior housing owner and operator, headquartered in Des Moines, Iowa. LCS has been in business since 1971 and is the second largest operator serving seniors in the Country. LCS manages over 130 communities and over 32,000 residents. Hinsdale Senior Residences will be the twelfth overall for the Ryan/LCS partnership. Both Ryan and LCS bring expertise to this development that the Village and local seniors will appreciate.

IV. DAY-TO-DAY OPERATIONS

The proposed development will provide housing and amenities for independent seniors, as well as seniors in need of assisted living care and memory care. Life Care Services, a national leader in senior housing management, will be the building operator as well as ownership partner. Included in the monthly rate are meals for independent residents, while the assisted living and memory care residents will be served three meals per day. Each of the three levels of care will have their own dining venue to eat and socialize. Monthly housekeeping services will be provided for independent residents, while weekly housekeeping service will be provided for the assisted living and memory care residents, with daily spot cleaning provided for all residents. Weekly laundry (flat linens) will be provided for all assisted living and memory care residents. Each independent living suite includes a washer and dryer. Life Care Services will establish a comprehensive program that will meet the social, spiritual, emotional, and physical needs of the residents to provide an active and quality lifestyle for the residents who wish to participate.

V. BUILDING DESCRIPTION

The IBLP regional office is located at the northwest corner of Ogden Avenue and Adams Street. This existing maximum 3-story building consists of 28,000 square feet over the top two floors and an additional 63,680 over the first floor. The entire building will be removed as part of the development. The proposed maximum 3-story senior living community will consist of 245 units (135 independent living, 70 assisted living and 40 memory care) with 330,000 gross square feet with an additional 17 villas in Hinsdale with 43,800 gross square feet. The building and surrounding berms/landscaping have been purposefully designed so that the building height is 2-stories along Ogden Avenue, with a maximum height of 3-story. The exterior of the new senior living building will consist primarily of brick, cement fiber board and decorative trim. It is important that the building has the proper mix of materials that result in an inviting residential pallet. Hinsdale Senior Residences accomplishes this residential pallet and material mix. The senior residences will range in size between 300 square feet and 1,800 square feet. Beneath the building includes approximately 40 garage spaces for residents. Approximately 35% of the building is non-rentable space and amenity space for the residents. Amenities include bistro serving coffee and sandwiches, separate dining venues, art studio, wellness and fitness center, movie room, beauty salon, large multipurpose room that is available to the public for meetings with management approval, pub, and ample living room space for socializing. Upon entering the building during normal business hours, a concierge will welcome residents within the main lobby and direct visitors. The memory care area has been thoughtfully designed to give quality service to each of the residents. This controlled area includes an interior courtyard and ample interior common space with lots of outside light for the residents.

The design and construction will include many “green” initiatives, some of which include:

1. Stormwater management systems that reduces pollutants prior to leaving the property
2. Energy Star appliances
3. Low VOC finishes throughout the building for superior air quality
4. Low flow plumbing fixtures
5. A construction waste program that emphasizes recycling
6. Site lighting shields to eliminate light pollution
7. High efficiency heating and cooling units for the building

VI. SITE DESIGN

The 16.8-acre property in Hinsdale is located north of Ogden Avenue and west of Adams Street. To the north is the Village of Oak Brook and Cheval Drive. The plan is to extend Cheval Drive to include villas for independent living seniors. The 16.8-acre property currently includes a building with an existing footprint of 63,680 square foot. A notable site restriction is that floodplain/floodway/wetland buffers include approximately 23% of the 16.8 acres. In addition, the site topography varies from 715 elevation to 683 elevation, which creates engineering challenges.

The subject property does not incorporate any intentional stormwater detention under existing conditions. The proposed development will include stormwater best management practices and detention, which will reduce and improve the water quality runoff. Additionally, currently there is a stormwater culvert with flowing water beneath the building. The plan includes improving this by re-routing the stormwater around the proposed building.

Based on our experience, sufficient parking is being proposed for the senior residents, visitors and staff. Shown below is a parking summary of other Ryan-LCS senior living communities.

	No. of Units (w/o villas)	Parking Stalls For Senior Living	Parking Stalls Per Unit
Hinsdale, IL	245	204	0.83
Clayton, MO	281	223	0.79
St Peters, MO	198	150	0.76
Bellevue, TN	195	152	0.78
Addison, IL	188	150	0.80
Hendersonville, TN	189	152	0.80
Schererville, IN	177	152	0.86
Algonquin, IL	186	157	0.84
Mokena, IL	156	125	0.80

There are currently two curb cuts along Adams Street for the property. The northern curb cut will be used, and the southern curb cut will be vacated. Very few assisted living residents will drive, and memory care residents do not drive. Many of the independent seniors do not drive during peak traffic hours and tend to carpool with other residents. The traffic count and peak traffic flow from the development should have very limited impacts. A traffic impact study was prepared by V3 Companies on March 13, 2020 to assess the potential traffic impacts of the new development. The study concludes that intersection improvements are not warranted per the Illinois Department of Transportation manual. A notable item that is not contemplated in the V3 report is the amount of traffic that could be generated if the current 91,000 square foot building was fully occupied. Per industry standard, the existing office building at full capacity would generate about 112 trips during the AM peak hour and 104 trips during the PM peak hour. It was determined by V3 per actual traffic counts that the peak hour in the morning is 7:45am to 8:45pm and the peak hour in the afternoon is

4:30pm to 5:30pm. Hinsdale Senior Residences is anticipated to generate about 57 trips during the AM peak hour and about 78 during the PM peak hour...both much lower than the existing office building at full capacity.

VII. ZONING

Ryan will be purchasing approximately 16.8 acres within the Village of Hinsdale. Most of the property is currently zoned R-2 single-family residential, with a portion of the property zoned I-B institutional building. The plan is to provide a senior living community with villas; therefore, requiring a Planned District. It is proposed to rezone the property to be an R-2 PD.

Please see the attached Bulk Regs Table for the requested concept modifications.

VIII. PUBLIC BENEFIT

The Hinsdale Senior Residences development will be an asset to the Hinsdale community, which will be the first senior living community in Hinsdale that provides the independent living/assisted living/memory care continuum. This use will serve a need currently not met in the Village of Hinsdale, and substantially upgrade the property by replacing the current aging building. The valuation will have a positive real estate tax impact for local taxing bodies, while adding no additional kids to the local schools. Shown below are a list of public benefits:

- a. Adds approximately 400 construction jobs and a variety of 95 full time equivalent permanent jobs.
- b. Provides a continuum of care housing stock not currently available in Hinsdale to meet market demand of aging population.
- c. Improves stormwater management in the area.
- d. Replaces the current building with substantially improved architecture from Ogden Avenue.
- e. Invests \$95M of private capital into a property with development challenges.
- f. Adds revenue to the Village and schools
 - i. Approx. \$1.4M additional to Village of 20 years
 - ii. Approx. \$6.4M additional to School District 86 over 20 years
 - iii. Approx. \$11.4M additional to School District 181 over 20 years
- g. Provides a pedestrian walking path and 60% greenspace.

The Board encouraged Ryan in January to provide additional public benefit. In addition to the public benefits listed above, Ryan is willing to contribute \$250,000 to the Village for local park improvements. This contribution would be provided at certificate of occupancy and this would satisfy the Village public open space and public benefit requirements.

IX. CONCLUSION

Ryan Companies, US Inc. is excited to present this proposed development to the community of Hinsdale and looks forward to the culmination of efforts with the Village of Hinsdale.

Hinsdale Senior Residences

R2 PD

Bulk Regs. Concept Level Modifications

3/26/2020

	R2 Requirements	Senior Living - Main Building Modifications	Senior Living - Villa Modifications
Minimum Lot Area	20,000SF	No modifications requested	
Minimum Lot Area Per Unit	20,000SF	2,800SF	
Minimum Lot Width (interior or corner lots)	100'	No modifications requested	
Minimum Lot Depth	125'	No modifications requested	
Minimum Front Yard*	35'	No modifications requested	
Minimum Corner Side Yard	35'	No modifications requested	
Minimum Interior Side Yard**	10'	No modifications requested	
Minimum Total Side Yard**	30% of lot width	50'	10'
Minimum Rear Yard (interior or corner lots)***	50' and 25', respectively	25' for 1-story villas	
Maximum FAR	.20 of Lot Area + 2,000SF	0.46	
Maximum Building Coverage	25%	22% (No mod. requested)	
Maximum Lot Coverage	50%	40% (No mod. requested)	
Maximum Height	33' with 34' side setback 34' with 44' side setback	42'9" (Max Mean Roof) with 50' side setback (East Main Building) 42'9" (Max Mean Roof) with 111' side setback (West Main Building)	No modifications requested
Maximum Stories	3	3 (No mod. requested)	No modifications requested
Maximum Elevation	43' with 34' side setback 44' with 44' side setback	42'9" (Max Mean Roof)	No modifications requested

* The proposed modification is a minimum measurement from the front of the lot to the curb, or the nearest edge of sidewalk (as the case may be)

** The proposed modification is a minimum measurement of building separation between the lots/units

*** The proposed modification is a minimum measurement of building separation to the perimeter lot line

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OGDEN AVENUE & ADAMS STREET
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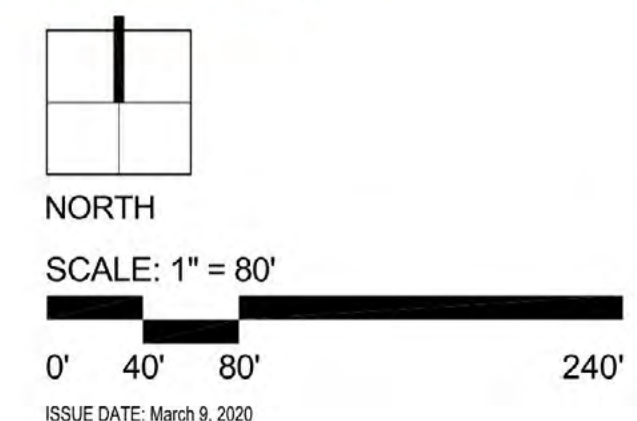
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Hinsdale Senior Residences

Conceptual Site Landscape Plan

Hinsdale / Oak Brook, Illinois





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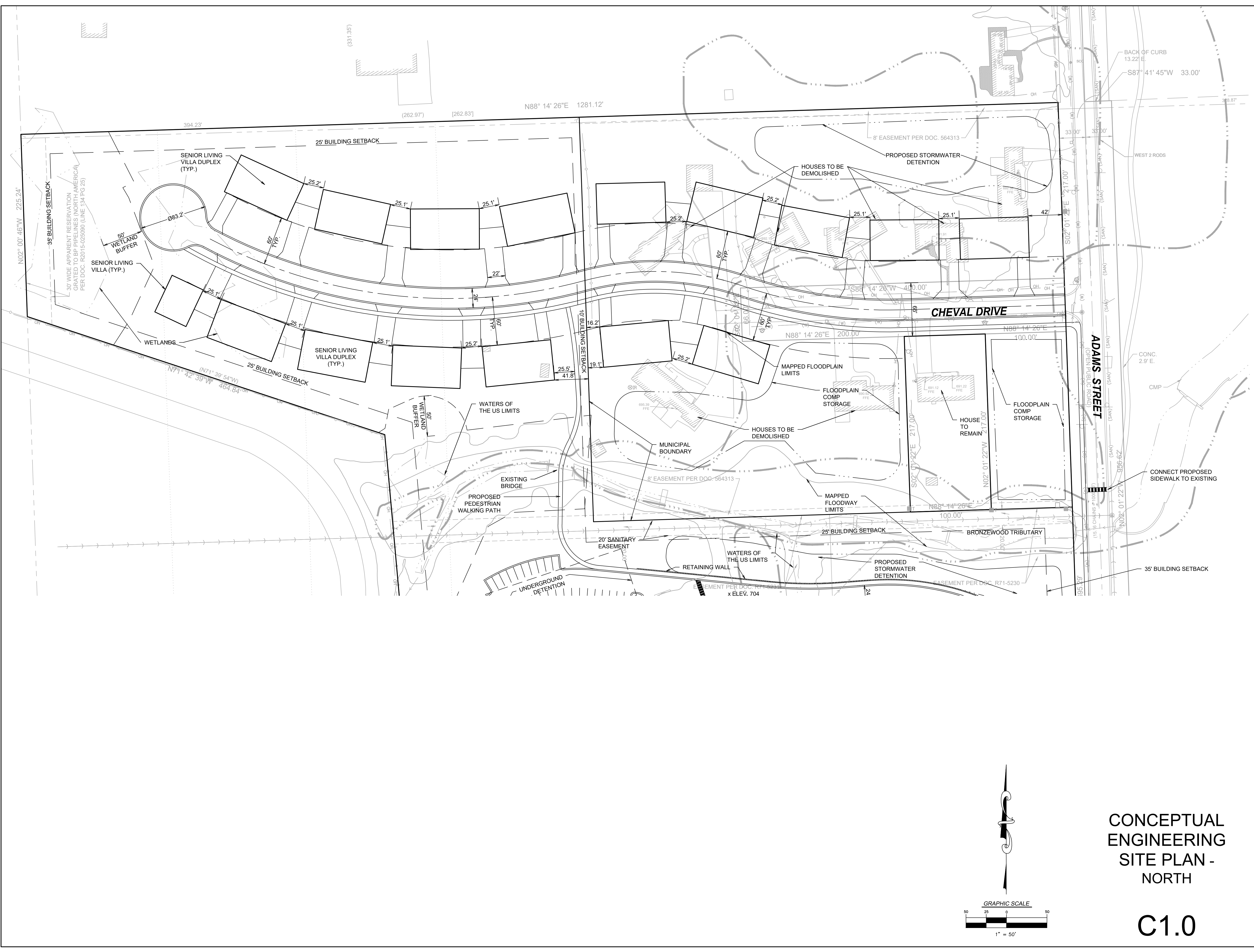
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SITE SUMMARY	
EXISTING PROPERTY AREA	= 16.84 ACRES
PROPERTY AREA (OUTSIDE FLOODPLAIN)	=14.14 ACRES
PROPERTY AREA (OUTSIDE FLOODPLAIN POST DEVELOPMENT)	= 15.83 ACRES
IMPERVIOUS AREA (75% OF COURTYARDS IMPERVIOUS)	= 6.82 ACRES
PERVIOUS AREA	= 10.02 ACRES
OPEN SPACE RATIO	= 60.0%
MAIN BUILDING GROSS FLOOR SIZE W/ GARAGE	= 330,000 SF
GROSS FLOOR SIZE W/O GARAGE	= 300,000 SF
VILLA GROSS FLOOR SIZE W/ GARAGE (EXCLUDING BASEMENTS)	= 43,800 SF
GROSS FLOOR SIZE W/O GARAGE (EXCLUDING BASEMENTS)	= 34,000 SF
TOTAL BUILDINGS GROSS FLOOR SIZE W/ GARAGE	= 373,800 SF
GROSS FLOOR SIZE W/O GARAGE	= 334,000 SF
FLOOR AREA RATIO (F.A.R.)	= 0.46
UNIT BREAKDOWN	
MAIN BUILDING UNITS	
INDEPENDENT LIVING	= 135
ASSISTED LIVING	= 70
MEMORY CARE	= 40
TOTAL MAIN BUILDING UNITS	= 245
VILLAS	= 17
TOTAL UNITS IN PROPERTY	= 262

PARKING SUMMARY	
PROVIDED STALLS (9' x 18.0')	
STANDARD STALLS	= 158
ACCESSIBLE STALLS	= 6
PARKING GARAGE	= 40
TOTAL PARKING PROVIDED	= 204

**PRELIMINARY
ENGINEERING
SITE PLAN**
SOUTH
March 7, 2020

C3.0



CONCEPTUAL
ENGINEERING
SITE PLAN -
NORTH

C1.0



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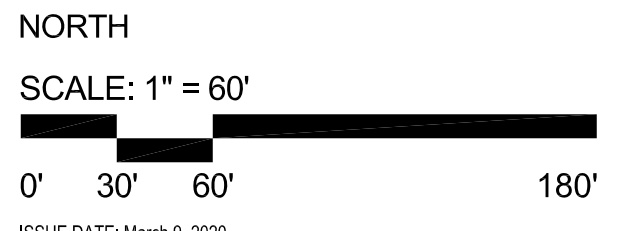


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Hinsdale / Oak Brook, Illinois

Count	Tag #	DBH (Inches)	Species Name*	Common Name	Excellent (1), Good (2), Fair (3), Poor (4), Dead (5), Poor (5),	Multi- stem Sizes (Inches)
X	1	1355	24 <i>Pinus nigra</i>	Austrrian Pine	5	
X	2	1359	15 <i>Juniperus virginiana</i>	Eastern Red Cedar	3	
X	3	1407	6 <i>Picea pungens</i>	Blue Spruce	3	
X	4	1415	20 <i>Picea glauca</i>	White Spruce	4	
X	5	1671	12			
X	6	1672	7 <i>Juniperus virginiana</i>	Eastern Red Cedar	3	
X	7	1712	4 <i>Picea pungens</i>	Blue Spruce	3	
X	8	1767	16 <i>Juniperus virginiana</i>	Eastern Red Cedar	3	
9	1790	20	No Tree Double Tag With 9288			
10	1839	18				
X	11	1853	6 <i>Juniperus virginiana</i>	Eastern Red Cedar	3	
X	12	1894	14 <i>Acer platanoides</i>	Norway Maple	5	
X	13	2111	10 <i>Juniperus virginiana</i>	Eastern Red Cedar	4	
X	14	2112	12 <i>Juniperus virginiana</i>	Eastern Red Cedar	4	
X	15	2239	6 <i>Juniperus virginiana</i>	Eastern Red Cedar	4	
X	16	2240	6 <i>Juniperus virginiana</i>	Eastern Red Cedar	4	6,6
X	17	2244	24 <i>Juniperus virginiana</i>	Eastern Red Cedar	2	
X	18	2343	16 <i>Picea glauca</i>	White Spruce	5	
X	19	2685	3 <i>Picea pungens</i>	Blue Spruce	3	
X	20	2687	3 <i>Picea pungens</i>	Blue Spruce	3	
X	21	2689	3 <i>Picea pungens</i>	Blue Spruce	3	
X	22	2750	3 <i>Picea pungens</i>	Blue Spruce	3	
X	23	2751	3 <i>Picea pungens</i>	Blue Spruce	2	
X	24	2752	3 <i>Picea pungens</i>	Blue Spruce	3	
X	25	2802	14 <i>Picea glauca</i>	White Spruce	5	
X	26	2852	2			
X	27	2925	12 <i>Picea glauca</i>	White Spruce	5	
X	28	2931	16 <i>Picea glauca</i>	White Spruce	5	
X	29	2933	16 <i>Picea glauca</i>	White Spruce	5	
X	30	3001	60 <i>Salix babylonica</i>	Weeping Willow	4	
31	3002	15 <i>Picea pungens</i>	Blue Spruce	3		
X	32	3003	14 <i>Picea pungens</i>	Blue Spruce	6	
X	33	3004	12 <i>Picea pungens</i>	Blue Spruce	6	
X	34	3005	<i>Malis spp.</i>	Apple Cultivar	4	12, 12
X	35	3006	60 <i>Salix babylonica</i>	Weeping Willow	4	
X	36	3007	60 <i>Salix babylonica</i>	Weeping Willow	5	
X	37	3008	28 <i>Ulmus pumila</i>	Siberian Elm	5	
X	38	3009	18 <i>Morus alba</i>	White Mulberry	3	
39	3010	18 <i>Prunus serotina</i>	Black Cherry	4		
40	3011	42 <i>Acer negundo</i>	Box Elder	4		
41	3012	13 <i>Rhamnus cathartica</i>	Common Buckthorn	4		
42	3013	15 <i>Picea pungens</i>	Blue Spruce	5		
43	3014	12 <i>Picea pungens</i>	Blue Spruce	5		
44	3015	14 <i>Ulmus americana</i>	American Elm	3		
45	3016	16 <i>Ulmus pumila</i>	Siberian Elm	6 (Fallen)		

Indicates existing trees to be removed (with an X)

46	3017	12	<i>Morus alba</i>	White Mulberry	3	
47	3018	26	<i>Populus deltoides</i>	Eastern Cottonwood	4	
48	3019	26	<i>Populus deltoides</i>	Eastern Cottonwood	3	
49	3020		Dead	Dead	6	15, 8
50	3021		<i>Prunus serotina</i>	Black Cherry	3	20, 20
51	3022	20				
52	3023	10				
53	3024	8				
54	3025	10				
55	3026	12				
56	3027	8	<i>Morus alba</i>	White Mulberry	4	
57	3028	12	<i>Prunus serotina</i>	Black Cherry	3	
58	3029	24	<i>Morus alba</i>	White Mulberry	3	
59	3030	18	<i>Ulmus pumila</i>	Siberian Elm	4	
60	3031	18	<i>Ulmus pumila</i>	Siberian Elm	4	
X	61	3032	28			
X	62	3033	8			
X	63	3034	12			
X	64	3035	14			
X	65	3036				12, 12, 12
X	66	3037	32			
X	67	3038	12			
X	68	3039	18			
X	69	3040	12			
X	70	3041	24			
X	71	3042	18			
72	3043	10				
X	73	3044	8			
X	74	3046	24			
X	75	3047				18, 18, 18
X	76	3048	10			
X	77	3049				12, 12
78	3050	14	<i>Picea pungens</i>	Blue Spruce	2	
79	3051	14	<i>Picea pungens</i>	Blue Spruce	2	
80	3052	10	<i>Picea pungens</i>	Blue Spruce	2	
81	3053	12	<i>Picea pungens</i>	Blue Spruce	2	
82	3054	12	<i>Picea pungens</i>	Blue Spruce	2	
83	3055	10	<i>Picea pungens</i>	Blue Spruce	2	
84	3056	12	<i>Picea pungens</i>	Blue Spruce	2	
85	3057	14	<i>Picea pungens</i>	Blue Spruce	2	
86	3058	12	<i>Picea pungens</i>	Blue Spruce	2	
87	3059	12	<i>Picea pungens</i>	Blue Spruce	2	
88	3060	14	<i>Picea pungens</i>	Blue Spruce	2	
89	3061	10	<i>Picea pungens</i>	Blue Spruce	2	
X	90	3062	20			
X	91	3063	14			
92	3064	10				
X	93	3065	8			
94	3066	10				

X	95	3067	15			
X	96	3068	12			
X	97	3069	8			
X	98	3070	12			
99	3071	18				
100	3072	12				
101	3073	10				
102	3074	10				
X	103	3075	16			
X	104	3076	16			
X	105	3077	16			
X	106	3078	8			
107	3079	8				
108	3080	8	<i>Morus alba</i>	White Mulberry	3	
109	3081	10	<i>Ulmus americana</i>	American Elm	4	
110	3082	12	<i>Ulmus americana</i>	American Elm	3	
111	3083	9	<i>Ulmus americana</i>	American Elm	3	
112	3084	8	<i>Morus alba</i>	Double Tag 3166		
113	3085	8	<i>Populus deltoides</i>	Eastern Cottonwood	3	
114	3086	10	<i>Populus deltoides</i>	Eastern Cottonwood	3	
115	3087	14	<i>Populus deltoides</i>	Eastern Cottonwood	3	
116	3088	8				
117	3089	10				
118	3090	8				
119	3091	18				
120	3092	10				
121	3093	8				
122	3094	8				
123	3095	8				
124	3096	8				
125	3097	8				
126	3098	8				
127	3099	8				
128	3100	8				
X	129	3101	8			
X	130	3102	10			
X	131	3103	8			
X	132	3104	24			
133	3105	36				
134	3106	13				
135	3107	8				
136	3108	12				
137	3109	12				
138	3110	9				
139	3111	9				
140	3112	24				
141	3113	10				
X	142	3114	8			

143	3115	8				
144	3116	9				
145	3117	8				
146	3118	14				
147	3119	16				
X	148	3120	8			
149	3121	8				
150	3122	8				
151	3123	9				
X	152	3124	10			
153	3125	14				
154	3126	8				
155	3127	12				
156	3128	12				
157	3129	8				
158	3130	9				
X	159	3131	8			
X	160	3132	10			
161	3133	12				
162	3134	12				
X	163	3135	10			
X	164	3136	9			
X	165	3137	9			
166	3138	12				
167	3139	14				
168	3139	12				
X	169	3140	8			
X	170	3141	8			
171	3142	14				
172	3143	8				
173	3144	12				
174	3145	8				
X	175	3146	9			
X	176	3147	8			
177	3148	8				
178	3150	18				
179	3151	10				
180	3152	12				
181	3153	16				
182	3154	8				
183	3155	8				
184	3156	9				
185	3157	10				
186	3158	10				
187	3159	12	<i>Prunus serotina</i>	Black Cherry	4	
188	3160	12				
189	3162	10				
190	3163	10	<i>Prunus serotina</i>	Black Cherry	6	
191	3164	10	<i>Populus deltoides</i>	Eastern Cottonwood	2	

192	3165	10				
193	3166	8	<i>Morus alba</i>	Double Tag 3084	3	
194	3175	8	<i>Ulmus pumila</i>	Siberian Elm	4	
X	195	3177	8			
196	3179	12	<i>Celtis occidentalis</i>	Common Hackberry	1	
197	3183	10				
198	3184	13	<i>Ulmus americana</i>	American Elm	3	
199	3185	10				
200	3405	14	<i>Populus deltoides</i>	Eastern Cottonwood	3	
201	3676	18	<i>Ulmus americana</i>	American Elm	2	
X	202	4045	20			
X	203	4393	42 <i>Salix babylonica</i>	Weeping Willow	5	
204	4534	14	<i>Picea pungens</i>	Blue Spruce	2	
X	205	5607	12			
X	206	6907	6			
X	207	6921	<i>Rhamnus cathartica</i>	Common Buckthorn	4	5,5,5,5,5
X	208	6923	<i>Rhamnus cathartica</i>	Common Buckthorn	4	6,6,6
209	7021	10				
X	210	7041	7			
211	7668	14	<i>Picea glauca</i>	White Spruce	3	
212	7669	16	<i>Picea glauca</i>	White Spruce	3	
213	7670	16	<i>Picea glauca</i>	White Spruce	3	
214	7675	16	<i>Picea glauca</i>	White Spruce	3	
215	7677	18	<i>Picea glauca</i>	White Spruce	3	
216	7679	14	<i>Picea glauca</i>	White Spruce	3	
217	7682	18	<i>Picea glauca</i>	White Spruce	3	
218	7714	16	<i>Picea glauca</i>	White Spruce	4	
219	7719	19	<i>picea glauca</i>	White Spruce	3	
220	7725	18	<i>picea glauca</i>	White Spruce	4	
221	7728	16	<i>picea glauca</i>	White Spruce	6	
222	7916	6				
X	223	7931	7			
224	8030	4				
225	8033	4				
226	8034	4				
227	8035	4				
228	8036	4				
229	8039	4				
230	8043	5				
231	8049	5				
X	232	8303	3			
233	8304	12				
234	8305	12				
235	8306	18				
236	8307	3				
X	237	8308	10			
X	238	8309	12			
X	239	8310	3			
X	240	8311	14			

X241	8312	12			
242	8313	8			
243	8314	10			
244	8315	8			
X245	8316	12			
X246	8317	8			
X247	8318	2			
X248	8319	12			
X249	8320	8			
X250	8321	8			
X251	8322	8			
X252	8323	12			
X253	8324	14			
X254	8325	16			
X255	8326	8			
X256	8327	9			
X257	8328	16			
X258	8329	10			
X259	8330	12			
260	8331				18,18
X261	8332	12			
X262	8333	8			
X263	8334	12			
264	8335	8			
X265	8336	12			
X266	8337	12			
X267	8338	14			
X268	8339	10			
X269	8340	8			
X270	8341	10			
X271	8342	8			
272	8343	10			
273	8343	10			
274	8344	8			
275	8345	8			
276	8346	8			
277	8347	8			
278	8348	9			
X279	8349	10			
X280	8350	8			
X281	8351	8			
X282	8352	10			
X283	8353	10			
X284	8354	14			
X285	8355	16			
X286	8356				12,12
X287	8357	12			
X288	8358	16			



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**BUILDING RENDERING VIEW
FROM OGDEN & ADAMS
3/26/2020**



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**BUILDING RENDERING VIEW
FROM OGDEN & ROUTE 83
3/26/2020**



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**BUILDING RENDERING VIEW
OF MAIN ENTRY
3/26/2020**



1 NORTH ELEVATION - MAIN ENTRY
SCALE: 1" = 25'



2 EAST ELEVATION - ADAMS
SCALE: 1" = 25'



3 SOUTH ELEVATION - OGDEN AVENUE
SCALE: 1" = 25'



4 WEST ELEVATION - RT 83
SCALE: 1" = 25'



5 TYPICAL VILLA ELEVATION
SCALE: 1/16" = 1'-0"

RYAN

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**EXTERIOR BUILDING
ELEVATIONS
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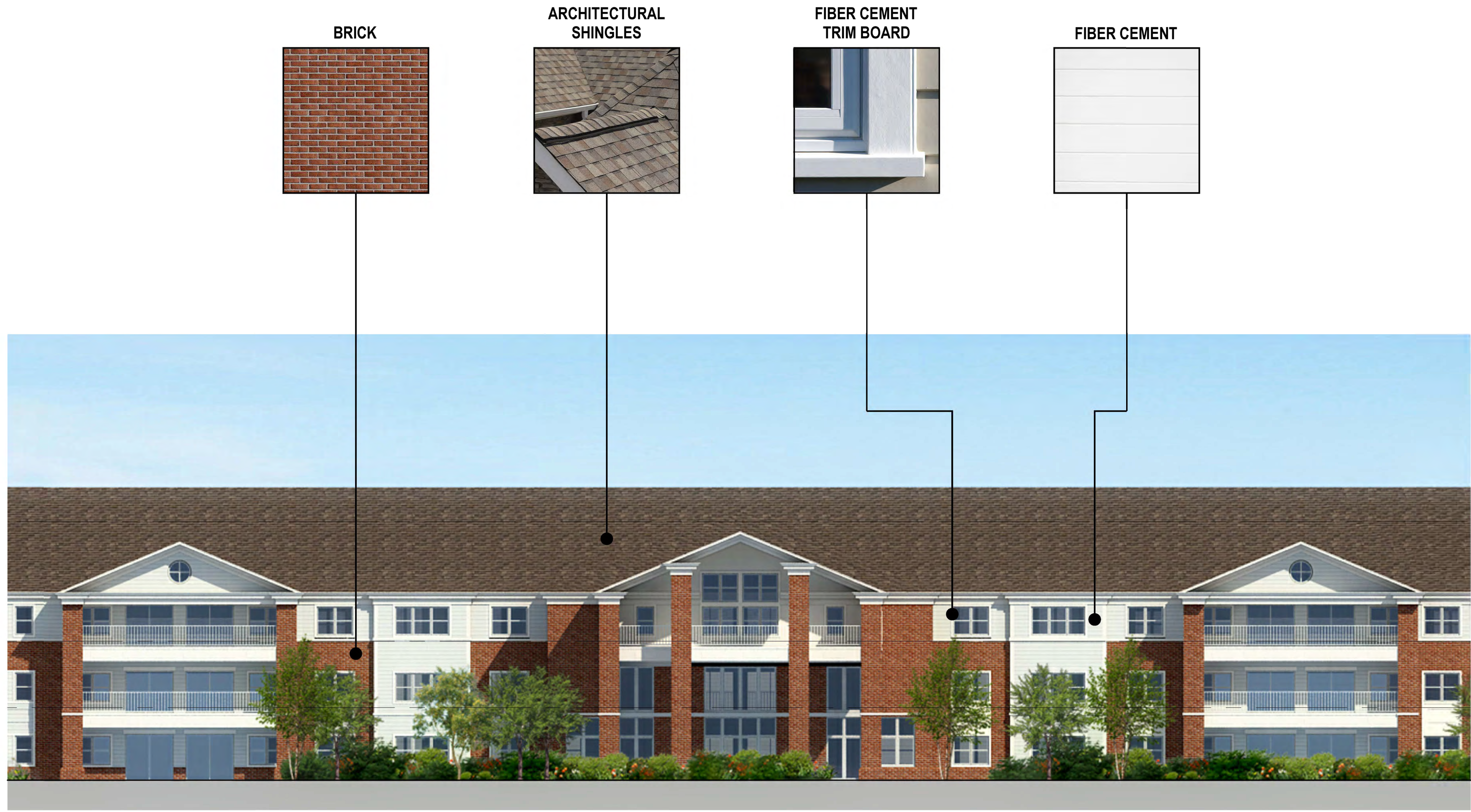
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1 ENLARGED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

**MATERIAL
SELECTIONS**
3/26/2020

TRAFFIC IMPACT STUDY

REPORT FOR:

IBLP Redevelopment



NW CORNER OF OGDEN AVENUE (US 34) & ADAMS STREET **OAK BROOK & HINSDALE, ILLINOIS**

PREPARED BY:



V3 Companies
7325 Janes Avenue
Woodridge, Illinois 60517

V3 Project No. 19187

December 6, 2019
Updated March 13, 2020



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Appendix B	CMAP Correspondence
Appendix C	Auxiliary Lane Warrant Analysis
Appendix D	Capacity Analysis Worksheets – Existing
Appendix E	Capacity Analysis Worksheets – Background
Appendix F	Capacity Analysis Worksheets – Future with Project



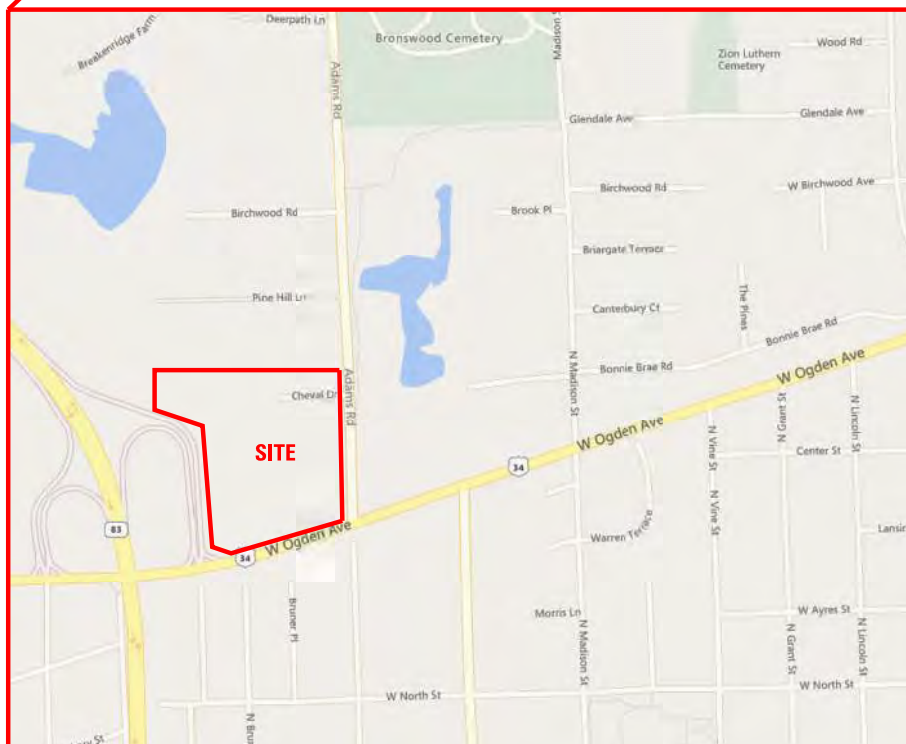
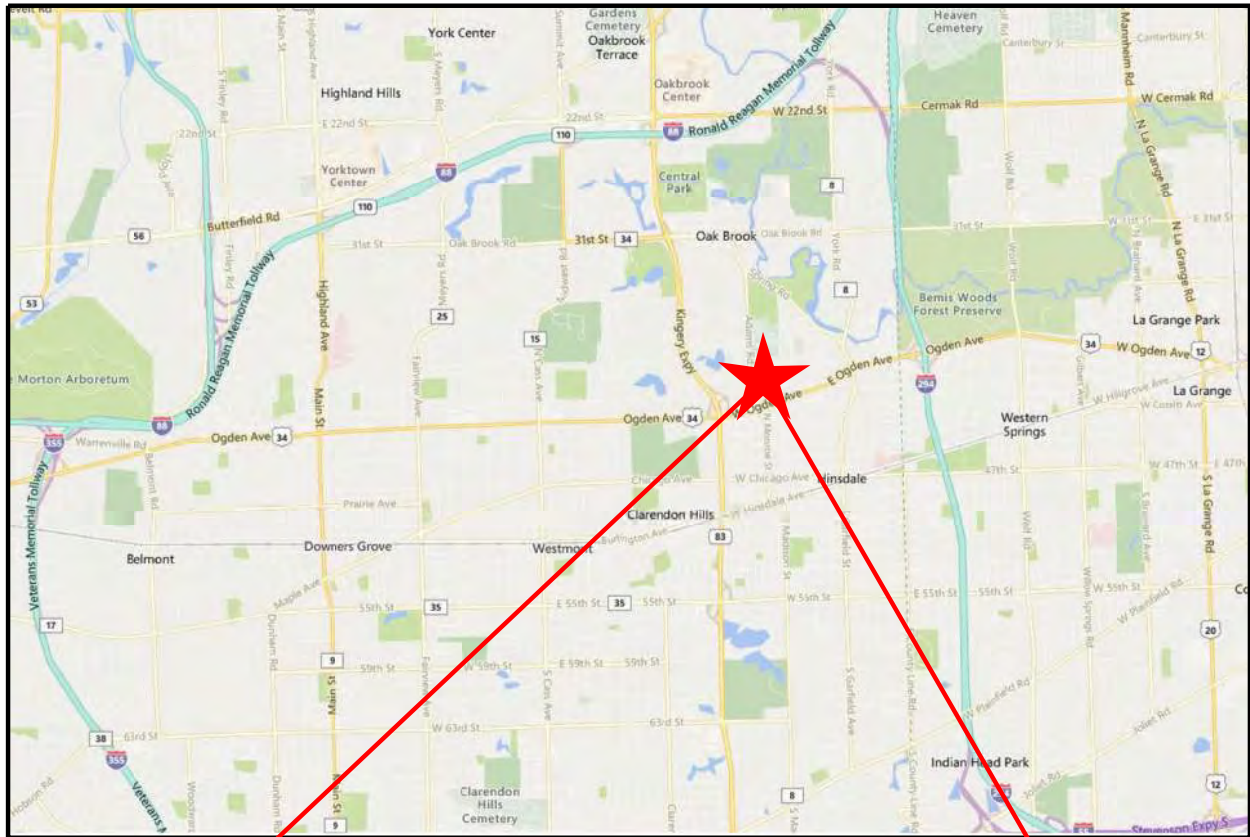
I. INTRODUCTION

V3 Companies has been retained by Ryan Companies to conduct a traffic impact study for the redevelopment of properties located at the northwest corner of Adams Street and Ogden Avenue which falls within the Villages of Oak Brook and Hinsdale, Illinois. The proposed redevelopment consists of senior housing, including independent living, assisted living, memory care, and independent living senior villas using existing driveways on Adams Street and proposed driveways on Cheval Drive. A site location map is included in Figure 1.

The overall site consists of redevelopment pods with direct access on the existing roadway network and no cross access to other pods. Pod 1 is located in the northwest quadrant of the Ogden Avenue/Adams Street intersection and consists of up to 135 residential units of attached senior independent living housing and an assisted living/memory care facility with 128 total beds. Pod 2 is located on Cheval Drive north of Pod 1 and consists of 31 independent living senior villas. A conceptual site plan is included as Figure 2.

The purpose of this report is to evaluate the potential traffic impacts of the proposed redevelopment which is expected to start construction in 2021 and be built out in 2023. Traffic estimates are projected for 2028, which is five years beyond the anticipated opening date. The study area consists of the existing stop controlled intersection of Ogden Avenue/Adams Street as well as the driveways on Adams Street.

This report includes a description of existing conditions, data collection, capacity analysis, evaluation of data, and conclusions.



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**FIGURE 1
SITE LOCATION MAP**

HINSDALE

ILLINOIS





NOT TO SCALE

IBLP REDEVELOPMENT

FIGURE 2 CONCEPTUAL SITE PLAN

HINSDALE

ILLINOIS



Attachment 1



II. PROJECT CONDITIONS

Land Uses

A variety of land uses exist near the project site, primarily consisting of residential, recreational, and medical office uses. The surrounding land uses are illustrated in Figure 3.

Roadway System

The characteristics of the roadways in the vicinity of the site are presented below. The existing lane configurations in the study area are illustrated in Figure 4.

Roadway Descriptions

Ogden Avenue (US 34) is an east-west principal arterial roadway with two lanes in each direction of travel and a posted speed limit of 35 mph. No sidewalks are provided on either side of the roadway. There are several residential street intersections present on Ogden Avenue in the project area as well as driveways for the medical office buildings to the south. Ogden Avenue (US 34) is under IDOT jurisdiction.

Adams Street is a north-south local roadway with one lane in each direction and a posted speed limit of 30 mph. A sidewalk is provided on the east side of Adams Street. A number of residential streets and private driveways are present on both sides of the roadway. Adams Street is under the jurisdiction of the Village of Hinsdale.

Intersection Descriptions

The intersection of *Ogden Avenue/Adams Street* is a minor street stop-controlled T-intersection. The southbound approach on Adams Street is stop controlled and has one shared left/right turn lane. The eastbound and westbound approaches on Ogden Avenue are free-flow. The eastbound approach has one shared left/through lane and one through lane. The westbound approach provides one through lane and one shared through/right turn lane. There are no pedestrian crosswalks at this intersection.



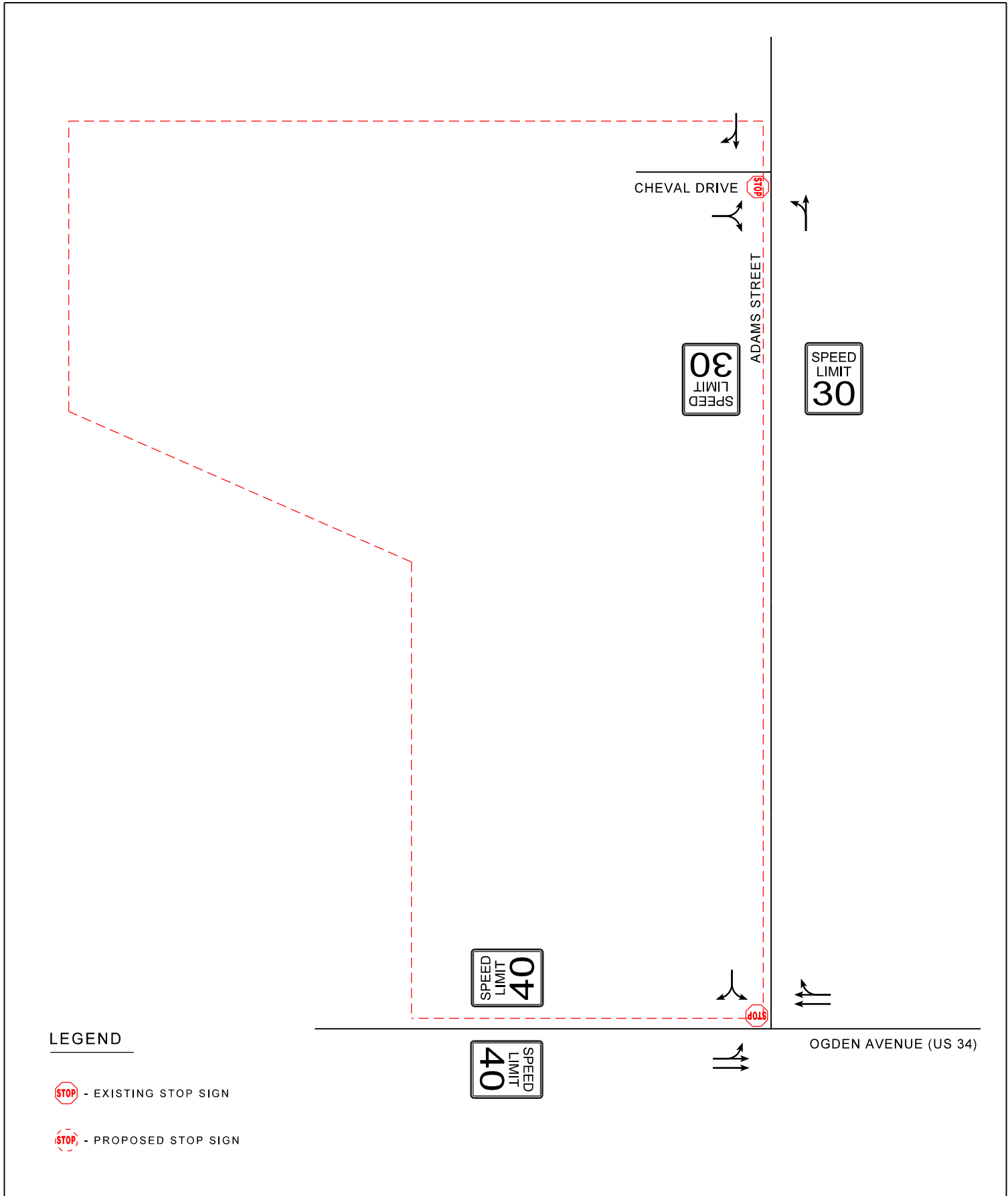
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**FIGURE 3
LAND USE MAP**

HINSDALE

ILLINOIS





IBLP REDEVELOPMENT

**FIGURE 4
EXISTING LANE CONFIGURATION**

HINSDALE

ILLINOIS





Traffic Volumes

To assist in the evaluation of the traffic impact on the roadway system resulting from the proposed redevelopment, existing vehicular volumes were collected at the intersection of Ogden Avenue/Adams Street.

Existing traffic counts were collected on Thursday, August 22, 2019. The morning peak period counts occurred from 7:00 am to 9:00 am and the evening peak period counts occurred from 4:00 pm to 6:00 pm. The count periods were selected to be consistent with traditional peak hours for arterials.

The traffic volumes collected indicate that the weekday peak hours occur from 7:45 am to 8:45 am and 4:30 pm to 5:30 pm. The existing peak hour vehicular volumes at the study area intersections are illustrated in Figure 5. A summary of the traffic volumes collected in fifteen minute increments is provided in Appendix A.

Proposed Development

Land Use Development

The property on the east side of Adams Street is currently vacant and available for redevelopment. The area is currently zoned for R-2 Residential uses which would allow for the development of single family homes. Based on the likely size of the potential lots, approximately 42 single family homes could be developed on this property. For the purposes of this study, assumed values for this potential redevelopment will be included in the background traffic conditions.

It is also worth noting that several properties exist on the project site that will be redeveloped, including a 91,000 square foot building at the northwest corner of Ogden Avenue and Adams Street and several residential homes. The 91,000 square foot building was mostly vacant at the time of traffic counts, and the removal of potential trips associated with the existing homes is expected to be minor. Therefore, no adjustments are made to the existing or background traffic volumes to account for the removal of trips associated with these properties, which will maintain conservative analysis.

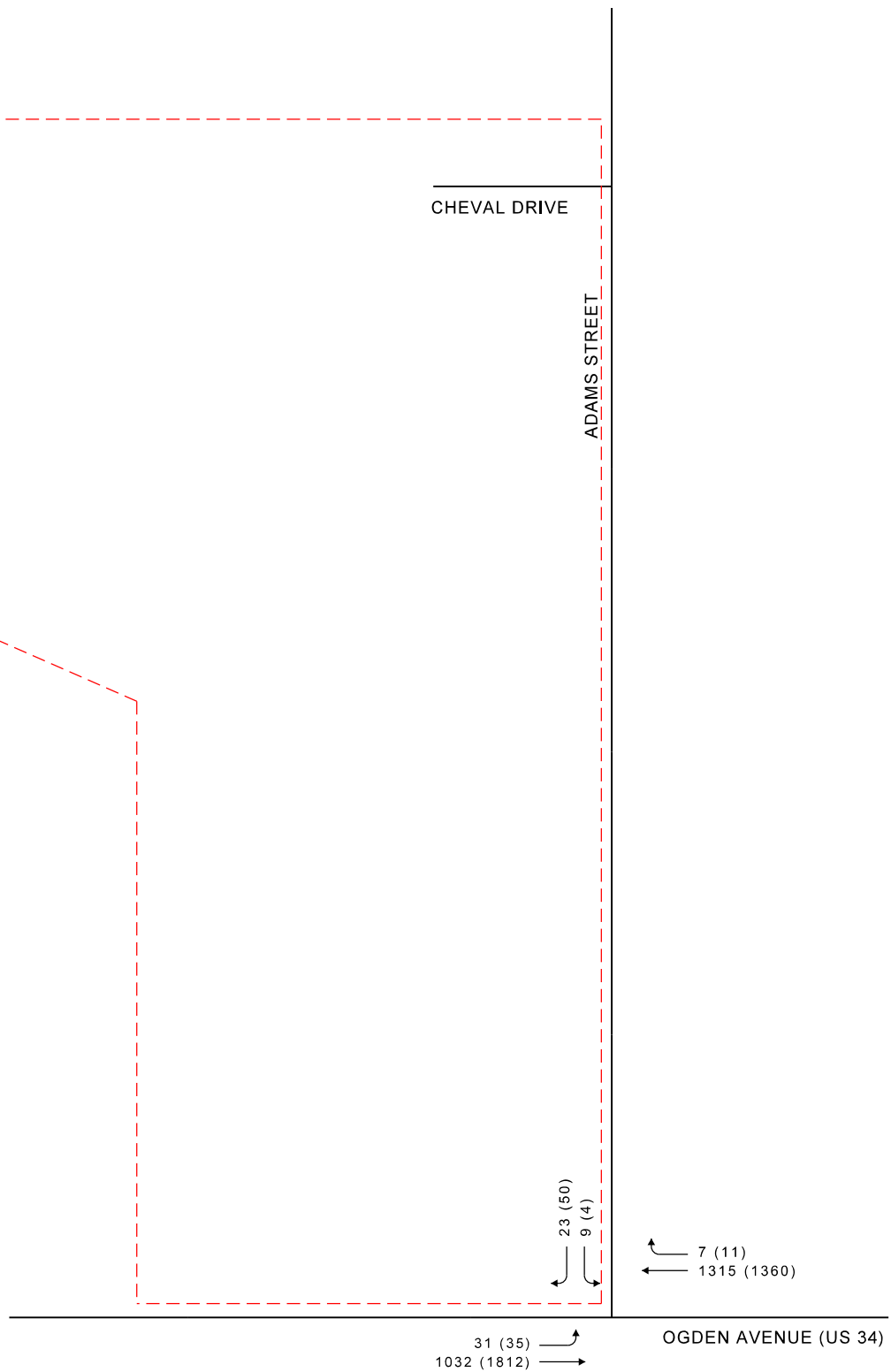
There are no other known proposed land development projects in the vicinity of the site that will impact the study area.

Roadway Development

There are no known proposed roadway projects in the vicinity of the site that will impact the study area. The redevelopment within Pod 1 will be accessed via a full access driveway on Adams Street and consists of one inbound and one outbound lane with no auxiliary lanes provided on



Adams Street. Pod 2 will be accessed via the existing intersection of Adams Street & Cheval Drive.



LEGEND

- AM PEAK HOUR
(##) - PM PEAK HOUR

AM PEAK HOUR: 7:45 AM - 8:45 AM
PM PEAK HOUR: 4:30 PM - 5:30 PM

IBLP REDEVELOPMENT

**FIGURE 5
EXISTING TRAFFIC VOLUMES**

HINSDALE

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III. TRAFFIC FORECASTS

Project Traffic Volumes

Trip Generation

The proposed development consists of several different land uses related to senior housing. For the purposes of this study the proposed development is sorted into discrete pods based on the access points to that portion of the development. Project traffic is estimated using the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 10th Edition*. The following land use categories are used to determine project traffic:

Senior Adult Living - Attached (ITE Land Use Code 252) – Senior adult housing consists of attached independent living developments, including retirement communities, age-restricted housing, and active adult communities. These developments may include limited social or recreational services. However, they generally lack centralized dining and onsite medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired.

Assisted Living (ITE Land Use Code 254) – An assisted living complex is a residential setting that provides either routine general protective oversight or assistance with activities necessary for independent living to mentally or physically limited persons. It commonly has separate living quarters for residents. Its services typically include dining, housekeeping, social and physical activities, medication administration, and transportation. Alzheimer's and ALS care are commonly offered by these facilities, though the living quarters for these patients may be located separately from the other residents. Assisted care commonly bridges the gap between independent living and nursing homes. In some areas of the country, assisted living residences may be called personal care, residential care, or domiciliary care. Staff may be available at an assisted care facility 24 hours a day, but skilled medical care—which is limited in nature—is not required.

The *Trip Generation Manual, 10th Edition* assigns trip generation rates based on a peak period and an independent variable. In this case, dwelling units is the applicable variable for the senior adult living land use, and beds is the applicable variable for assisted living. The am and pm trip generation rates are selected as the average rate for weekday, peak hour of adjacent street traffic for one hour from 7 am to 9 am and 4 pm to 6 pm.

The *Trip Generation Manual, 10th Edition* includes a note that the peak hour of trips generated by age-restricted housing land uses typically do not coincide with the peak hour of the adjacent street traffic. This is due to the fact that residents are largely retired and do not travel during traditional commuting hours. The operator of the proposed development has also confirmed that employee shift-changes for the proposed senior living community will be scheduled at 7:00 am, 3:00 pm, and 11:00 pm, which are outside of the am and pm peak hours. The peak hour of the



adjacent roadway network is used in this analysis because the higher peak hour volumes on Ogden Avenue will likely represent the highest delays that may occur into and out of the proposed redevelopment.

A summary of trip generation is provided in Table 1.

Table 1: Project Trip Generation

POD	LUC	Land Use	Size		AM			PM		
					In	Out	Total	In	Out	Total
1	252	Senior Adult Living - Attached	135	Dwelling Units	9	18	27	19	16	35
	254	Assisted Living	128	Beds	15	9	24	12	21	33
	Sub-Total:				24	27	51	31	37	68
2	252	Senior Adult Living - Attached	31	Dwelling Units	2	4	6	5	5	10
	Sub-Total:				2	4	6	5	5	10
TOTAL TRIP GENERATION:					26	31	57	36	42	78

Trip Distribution and Assignment

The direction from which traffic approaches and departs a site is a function of numerous variables, including location of residences, employment centers, and commercial/retail centers, available roadway systems, location and number of access points, and level of congestion on adjacent road systems.

For this study, 10 percent of traffic generated by the proposed development has been assigned to the north and the remaining 90 percent has been assigned to the south to Ogden Avenue. Since Adams Street currently serves mostly residential traffic, it is anticipated that the existing travel patterns at the Ogden Avenue intersection will continue with the new trips generated by the proposed residential units. Therefore, the trips generated by the proposed development are assigned to the roadway network in proportion to the observed minor movement volumes with different distributions for the am and pm peak hours.

This distribution will be applied to the southbound left and right turning vehicles for the exiting trips and for the eastbound left and westbound right turning vehicles for the entering trips. For example, the southbound/outbound vehicle trips will be assigned the same vehicle split as the existing 23 southbound right turns and 9 southbound left turns during the am peak hour and as the 50 southbound right turns and 4 southbound left turns during the pm peak hour. The project trip distribution percentages for the Ogden Avenue/Adams Street intersection for the exiting and entering vehicles are illustrated in the inset of Figure 6.



The directional distribution and assignment of new project traffic is illustrated in Figure 6.

Background Traffic Volumes

Traffic is projected to 2028, which is five years beyond the anticipated build out in 2023. The anticipated growth rates in the area are based on projections from the Chicago Metropolitan Agency for Planning (CMAP). The AADT for Ogden Street was obtained from the IDOT website. A summary of the CMAP growth rate for Ogden Avenue is provided in Table 2. CMAP correspondence, including supporting historical AADT information, is provided in Appendix B.

Table 2: CMAP Growth Rates

Street	AADT		Total Growth from Count Year to 2050	Non Compounded Yearly Rate	Total Growth from 2019 to 2028
	Existing AADT (Year)	2050 Proj.			
Ogden Avenue	30,300 (2017)	33,900	11.88%	0.36%	3.24%

The CMAP projections indicate that the yearly growth rate is 0.36 percent per year. This amounts to total growth of 3.24 percent from 2019 to 2028. This growth factor is applied to the existing peak hour counts for the Ogden Avenue through movements to obtain the background volumes.

Additionally, areas to the east of Adams Street are currently vacant and could be redeveloped in the future. This area is currently zoned for R-2 Residential, which will allow for the construction of single family homes. For the purposes of this study, it is assumed that 42 single family homes will be constructed in this area by 2028. A summary of the trip generation associated with the assumed single family homes development is provided in Table 3.

Table 3: Additional Background Trip Generation

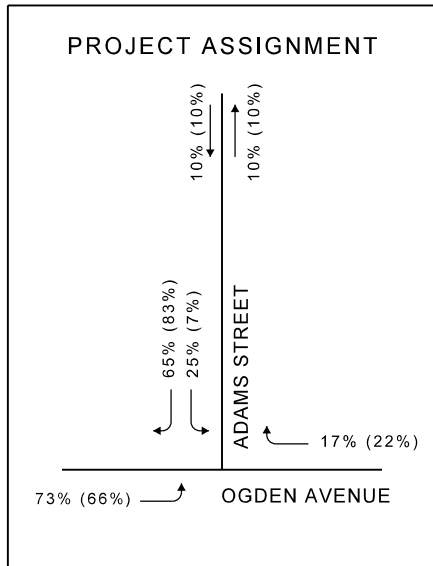
LUC	Land Use	Size	AM			PM		
			In	Out	Total	In	Out	Total
210	Single Family Detached Housing	42 Dwelling Units	10	30	40	28	18	46

It is assumed that the trip distribution and assignment of the assumed single family development will be consistent with the assignment and distribution of the proposed development. The assumed trip generation is added to the CMAP based background growth to obtain the background traffic volumes. The 2028 background traffic volumes are illustrated in Figure 7.



Future Traffic Volumes

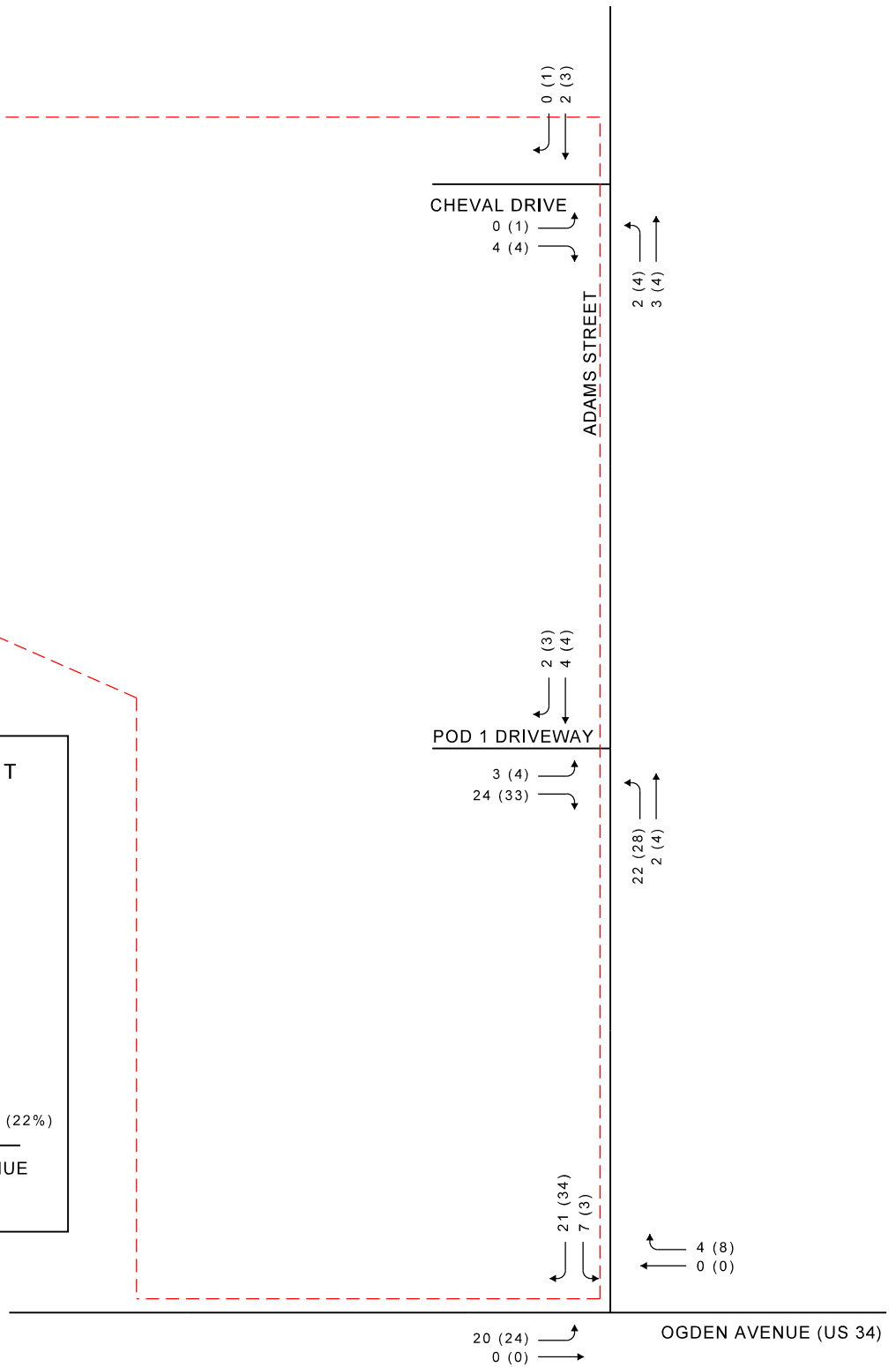
The project traffic volume is added to the background volume to obtain the future traffic volumes for the study intersections. Future with project traffic volumes are depicted in Figure 8.



LEGEND

- AM PEAK HOUR
 (##) - PM PEAK HOUR

AM PEAK HOUR: 7:45 AM - 8:45 AM
 PM PEAK HOUR: 4:30 PM - 5:30 PM



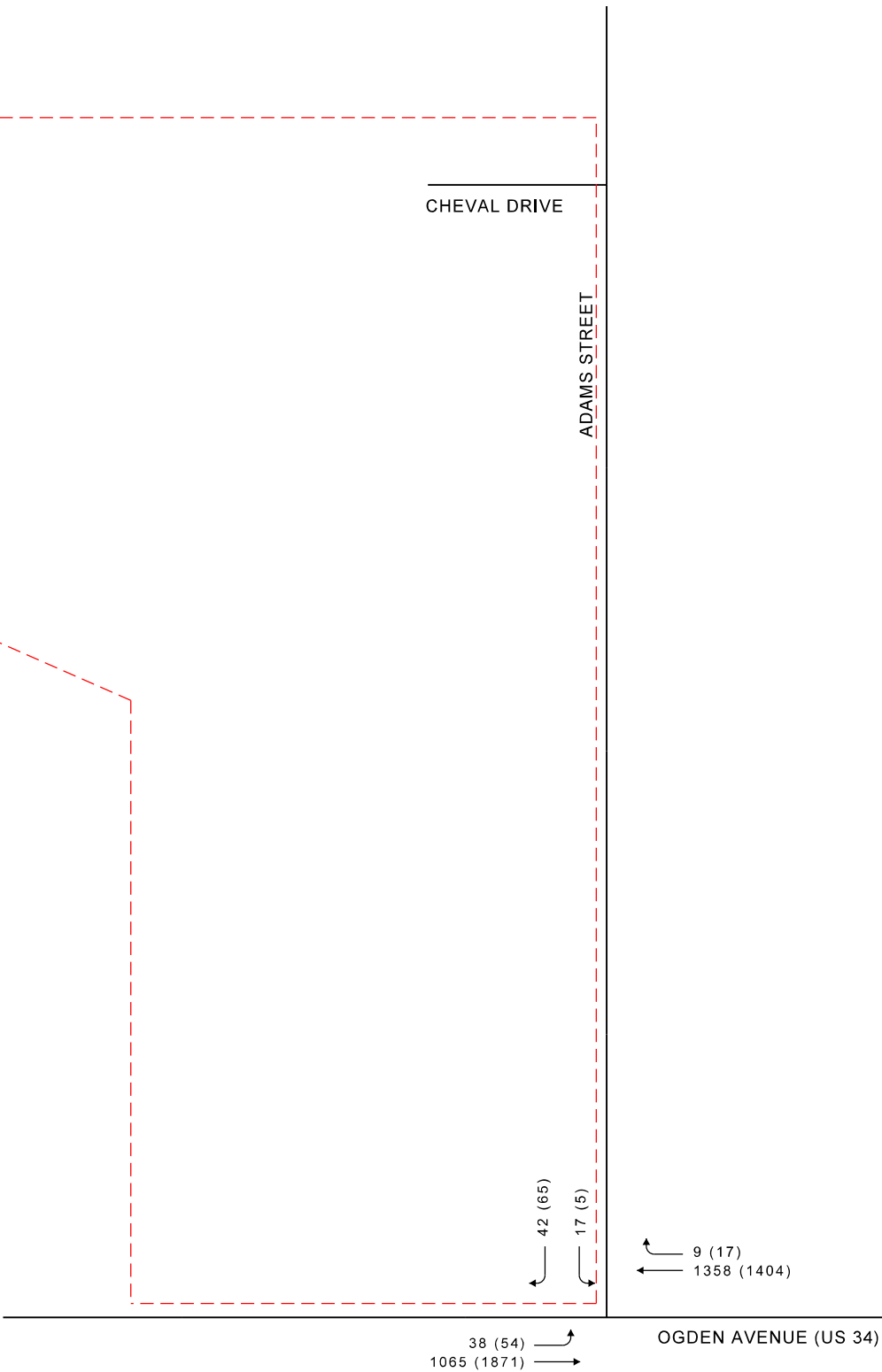
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**FIGURE 6
 PROJECT TRAFFIC VOLUMES**

HINSDALE

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LEGEND

- AM PEAK HOUR
 (##) - PM PEAK HOUR

AM PEAK HOUR: 7:45 AM - 8:45 AM
 PM PEAK HOUR: 4:30 PM - 5:30 PM

NOTE:

2026 BACKGROUND TRAFFIC VOLUME = EXISTING TRAFFIC VOLUME + CMAP GROWTH PROJECTIONS TO 2026 + ASSUMED SINGLE FAMILY HOMES ON ADAMS STREET

(FIGURE 5)

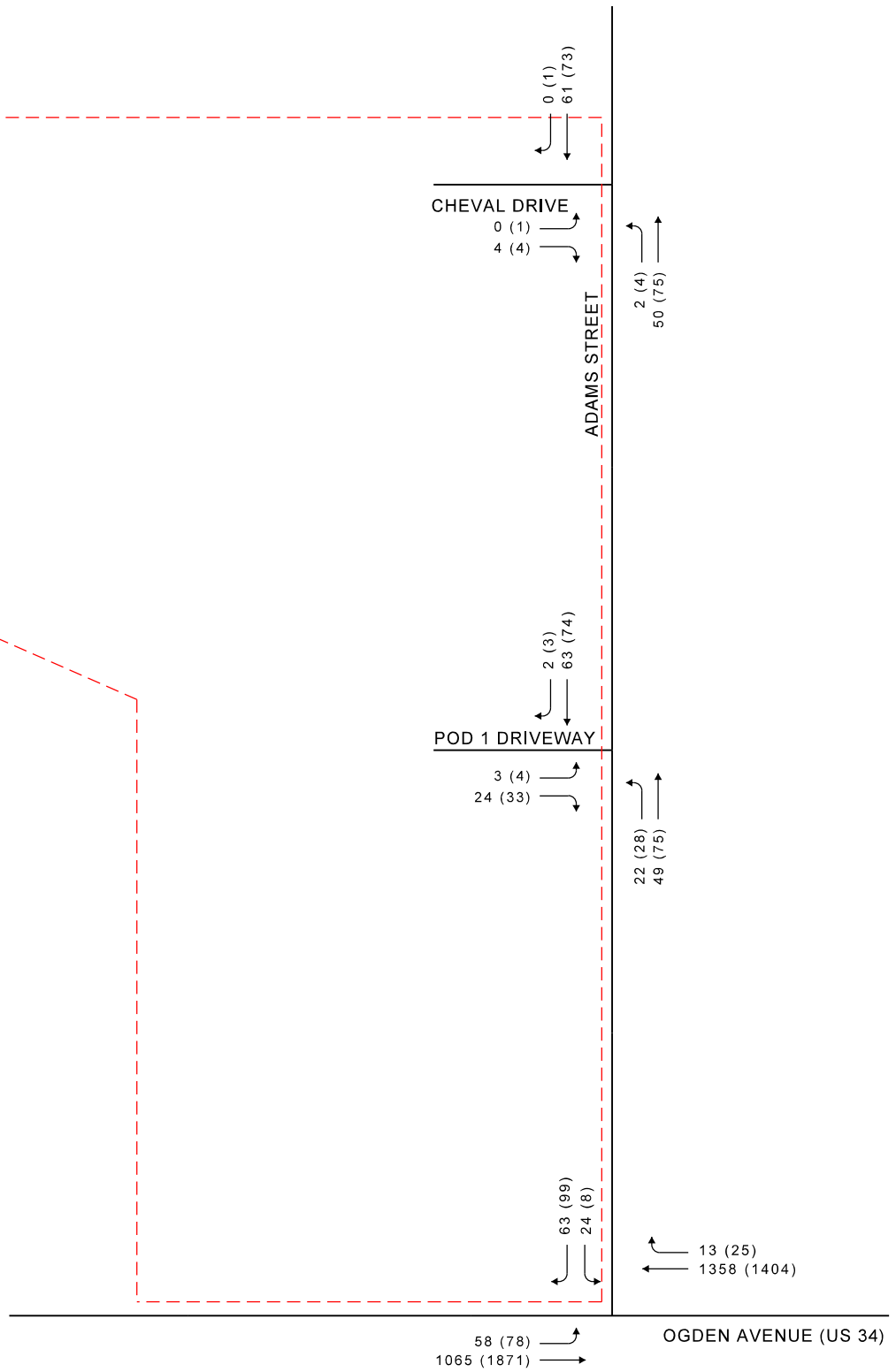
IBLP REDEVELOPMENT

FIGURE 7 BACKGROUND TRAFFIC VOLUMES

HINSDALE

ILLINOIS





IBLP REDEVELOPMENT

FIGURE 8 FUTURE WITH PROJECT TRAFFIC VOLUMES



HINSDALE

ILLINOIS



IV. TRAFFIC ANALYSIS

Auxiliary Lane Analysis

This study evaluated whether additional auxiliary lanes are warranted at the study area intersections. The warrant analysis follows the methodology detailed in IDOT's *Bureau of Design and Environmental Manual* (BDE). Warrants are determined based on factors such as through volume, opposing volume, and percentage of turning vehicles. Different warrants are used for left turn lanes and right turn lanes, and factors such as design speed.

The right turn movements at the intersection of Ogden Avenue and Adams Street do not meet the warrant for an auxiliary right turn lane. Additionally, few driveways in the area have dedicated right turn lanes. Therefore, right turn lanes are not recommended.

The eastbound left turn movement at the intersection of Ogden Avenue and Adams Street does not meet the warrant for an auxiliary left turn lane during either peak hour. Additionally, there are no unsignalized driveways or intersections along the corridor east of IL 83 that have dedicated left turn lanes. Therefore, left turn lanes are not recommended.

Supporting information for the auxiliary lane analysis is included in Appendix C.

Capacity Analysis

The operation of a facility is evaluated based on level of service (LOS) calculations obtained by analytical methods defined in the Transportation Research Board's *Highway Capacity Manual* (HCM), 6th Edition. The concept of LOS is defined as a quality measure describing operational conditions within a traffic stream, generally in terms of such service measures as speed and travel time, freedom to maneuver, traffic interruptions, and comfort and convenience.

There are six LOS letter designations, from A to F, with LOS A representing the best operating conditions and LOS F the worst.

The LOS of an intersection is based on the average control delay per vehicle. For a signalized intersection, the delay is calculated for each lane group and then aggregated for each approach and for the intersection as a whole. Generally, the LOS is reported for the intersection as a whole. For an unsignalized intersection, the delay is only calculated and reported for each minor movement. An overall intersection LOS is not calculated.

There are different LOS criteria for signalized and unsignalized intersections primarily due to driver perceptions of transportation facilities. The perception is that a signalized intersection is expected to carry higher traffic volumes and experience a greater average delay than an unsignalized intersection. The LOS criteria for signalized and unsignalized intersections are provided in Table 4.



Table 4: Level of Service Definitions for Signalized and Unsignalized Intersections

Level of Service	Signalized Intersection Control Delay (seconds/vehicle)	Unsignalized Intersection Control Delay (seconds/vehicle)
A	≤ 10	≤ 10.0
B	> 10.0 and ≤ 20.0	> 10.0 and ≤ 15.0
C	> 20.0 and ≤ 35.0	> 15.0 and ≤ 25.0
D	> 35.0 and ≤ 55.0	> 25.0 and ≤ 35.0
E	> 55.0 and ≤ 80.0	> 35.0 and ≤ 50.0
F	> 80.0	> 50.0

Source: Transportation Research Board, *Highway Capacity Manual 6th Edition*, National Research Council, 2016.

The study area consists of the stop controlled intersection of Ogden Avenue/Adams Street and the proposed site driveways on Adams Street. Capacity analysis was performed with Synchro 9.1 (9.1.912). Models were created for the weekday am and weekday pm peak hours for the existing, 2028 background, and 2028 future with project scenarios. Multiple scenarios are created to evaluate the existing, background, and future with project traffic volumes for the weekday am and pm peak hours. Results for the unsignalized intersections are summarized in Table 5. Supporting analysis worksheets for the existing, background and future traffic conditions are provided in Appendices D, E and F.

Table 5: Unsignalized Intersection Capacity Analysis

Intersection / Approach	AM Peak Hour						PM Peak Hour					
	Existing (2019)		Background (2028)		Future w/ Project (2028)		Existing (2019)		Background (2028)		Future w/ Project (2028)	
	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
Ogden Avenue & Adams Street												
EB Left	9.6	A	9.6	A	9.7	A	9.6	A	10.2	B	10.4	B
SB Approach	15.3	C	16.5	C	18.2	C	15.8	C	19.2	C	28.6	D
Adams Street & Pod 1 Driveway												
NB Left	-	-	-	-	7.4	A	-	-	-	-	7.4	A
EB Approach	-	-	-	-	8.8	A	-	-	-	-	9.0	A
Adams Street & Pod 2 Driveway (Chevel Drive)												
NB Left	-	-	-	-	7.3	A	-	-	-	-	7.4	A
EB Approach	-	-	-	-	8.6	A	-	-	-	-	8.8	A

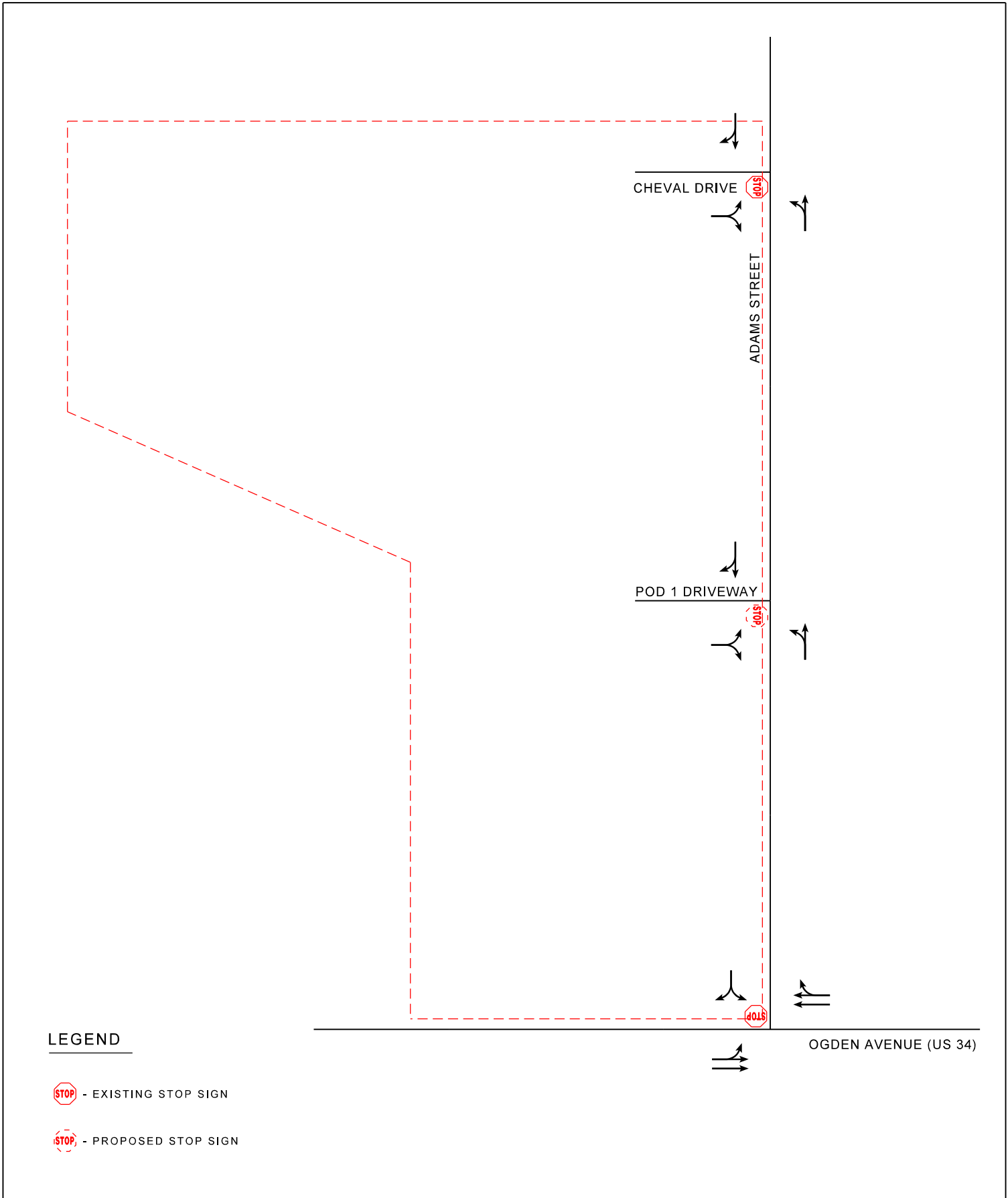
All minor approaches and movements at the unsignalized intersection of Ogden Avenue and Adams Street operate at LOS C or better during both the weekday am and pm peak hours under existing conditions. Delays increase slightly in the background scenario but there are no



changes in level of service. The addition of the project related trips again slightly increases the delay for several movements but all movements continue to operate at LOS C or better with the exception of the southbound approach at the Ogden Avenue/Adams Street intersection during the pm peak hour, which falls to LOS D.

All movements and approaches for the development driveways operate at LOS A during both the am and pm peak hours along Adams Street.

Overall, it is concluded that no modifications are necessary at the study area intersections. The proposed lane configuration is illustrated in Figure 9



IBLP REDEVELOPMENT

**FIGURE 9
PROPOSED LANE
CONFIGURATION**

HINSDALE

ILLINOIS





V. CONCLUSIONS

The purpose of this study is to evaluate the potential traffic impacts for the redevelopment of properties located at the northwest corner of Adams Street and Ogden Avenue which falls within the Villages of Oak Brook and Hinsdale, Illinois. The proposed redevelopment consists of senior housing, including independent living, assisted living, memory care, and independent living senior villas accessed via driveways on Adams Street.

Pod 1 is located in the northwest quadrant of the Ogden Avenue/Adams Street intersection and consists of up to 135 residential units of attached senior independent living housing and an assisted living/memory care facility with 128 total beds. Pod 2 is located on Cheval Drive north of Pod 1 and consists of 31 independent living senior villas.

Traffic estimates are projected to 2028, which is five years beyond the anticipated build out in 2023, utilizing growth rates from CMAP that project traffic volumes to 2050. The background condition also includes the assumed development of 42 single family homes in a separate development on Adams Street.

The proposed development will be accessed through driveways on Adams Street. A substantial portion of traffic is anticipated to approach and depart the site via the intersection of Ogden Avenue and Adams Street. Left turn lane and right turn lane analyses have been conducted following the warrants documented in the IDOT BDE Manual. Results of the warrant analyses indicate that left turn and right turn lanes are not warranted at any study area intersections and driveways.

For this study, 10 percent of traffic generated by the proposed development has been assigned to the north and the remaining 90 percent has been assigned to the south to Ogden Avenue. Since Adams Street currently serves mostly residential traffic, it is anticipated that the existing travel patterns at the Ogden Avenue intersection will continue with the new trips generated by the proposed residential units. Therefore, the trips generated by the proposed development are assigned to the roadway network in proportion to the observed minor movement volumes with different distributions for the am and pm peak hours.

All minor approaches and movements at the unsignalized intersections on Ogden Avenue operate at LOS C or better during both the weekday am and pm peak hours under existing conditions. Delays increase slightly in the background scenario but there are no changes in level of service. The addition of the project related trips again slightly increases the delay times for several movements but all movements continue to operate at LOS C or better with the exception of the southbound approach at the Ogden Avenue/Adams Street intersection during the pm peak hour, which falls to LOS D.

All movements and approaches for the development driveways operate at LOS A during both the am and pm peak hours along Adams Street.



Overall, it is concluded that no modifications are necessary at the intersection of Ogden Avenue/Adams Street and that no auxiliary turn lanes are necessary at the proposed intersections on Adams Street.



Laube Consulting Group LLC
200 S. Wacker Dr., Suite 3100
Chicago, Illinois 60606

Michael S. Laube
mlaube@laubecompanies.com
Direct (312) 674-4537

November 18, 2019

Mr. Brandon Raymond
Ryan Companies

Dear Brandon:

It is a pleasure to present this draft fiscal impact analysis of your proposed seniors housing development in Hinsdale, Illinois. This report addresses the following:

- Estimating the total incremental direct revenue sources and costs to the Village of Hinsdale, School District 86 and 181 as a result of this real estate redevelopment over a 20-year period.

The analysis is dependent on a number of financial and market assumptions that were developed in connection with this report. Since future events are not subject to precise forecasts, some assumptions may not materialize in the exact form presented in this analysis. In addition, other unanticipated events or circumstances may occur which could influence the future outcome and performance of the project. Nonetheless, we believe that the underlying assumptions provide a reasonable basis for this analysis.

We appreciate the opportunity to work with you on this engagement and look forward to discussing the results of the report with you.

Very truly yours,
Laube Consulting Group LLC

DRAFT

By
Michael S. Laube

I. EXECUTIVE SUMMARY

The development program is currently contemplated to be 245 market-rate senior living residences.

We have analyzed the net cost/benefit to the Village, School District 86, and School District 181. The net (cost)/benefit over 20-years for each is as follows:

- Village of Hinsdale – Net Benefit of \$1.3 million
- School District 86 – Net Benefit of \$6.5 million
- School District 181 – Net Benefit of \$11.5 million

Please see the Appendix for the further detail of these summaries.

Additional calculations made on Tables 9 – 11 of the Appendix include the employment and economic impact estimates of the Project. They are summarized as follows:

- Full Time Equivalent Jobs Created by the Project – 95
- Direct Temporary Construction Jobs Created – 409
- Direct Economic Impact - \$57 million
- Direct and Indirect Economic Impact - \$125 million

II. DEVELOPMENT PROGRAM

The development program for this site is planned to entail the construction of 245 senior living residences, consisting of 122 independent living units, 85 assisted living units and 38 memory care units. The development is called the Clarendale of Hinsdale Senior Residences.

The development site is located at the northwest corner of Ogden Ave. & Adams St. in the Village.

Hereinafter referred to as the “Property”.

III. PROPERTY TAXES

Overview

The assessment process involves several steps. First, the County assessor's office establishes the fair market value ("FMV") of the property. The FMV is the most probable price in cash, terms equivalent to cash, or in other precisely revealed terms, for which the appraised property will sell in a competitive market under all conditions requisite to a fair rate. The FMV is determined by any number of factors including, but not limited to: property location, age, type, and condition of facilities and infrastructure.

Second, the "assessed value" is calculated by multiplying the property's FMV by an assessment rate. The assessment rate is determined by county ordinance, in the case of DuPage County, wherein this development resides.

Third, the property's assessed value is multiplied by an equalization factor to determine the equalized assessed value ("EAV"). The equalization factor is used to ensure that property is assessed consistently throughout the state. The equalization factor for Cook County is determined by the Illinois Department of Revenue. Finally, the EAV is multiplied by the property tax rate to determine the tax for the property.

Key Assumptions

- We have used an income approach to valuation and then adjusted for the market (comparable) approach. We capitalized stabilized income by 9% and then discounted that value by 27.5% to get to an assumed tax per unit. We believe this is reasonable and conservative in projecting the taxes for this development.
- We have trended the initial assessed value by a reassessment growth rate of 2.5% annually.

For a complete list of all assumptions used, please see the Appendix.

Collections

(All shown in aggregate dollars over a 20-year period)

- Total Property Tax Collections - \$23,793,835
- Village of Hinsdale - \$1,318,583
- School District 86 Collections – \$6,490,914
- School District 181 Collections – \$11,493,554

Please see the Appendix for the annual cash flows and all detail.

IV. INCREMENTAL MUNICIPAL COSTS

Overview

In order to objectively look at the impact to the Village, the incremental cost of this proposed project must also be evaluated. Incremental municipal costs can come in the form of the need for increased fire, police or emergency services. Additionally, there can also be incremental costs of providing water and sewer as well as Village staff time in order to evaluate the proposed plans for construction, the related zoning. This section will provide a discussion of all of them.

Police, Fire and Ambulance Services

These types of facilities require very little service from municipal police, fire or emergency. Furthermore, this is an infill site that already exists in the Village and is serviced by police and fire. The Village should not need to add staff or additional equipment to service this site.

Police

These types of seniors housing developments experience very few incidents. While it is conceivable that the police may need to respond on occasion, these incidents are very rare.

Emergency

Due to the nature of the development, being a senior residential development, the need for emergency services will occur, but should be able to be serviced by existing capacity due to on-site 24-hour care staff.

Village Staff Costs

The time incurred by Village staff to review and work through the zoning and building process is covered by the normal permits and fees paid for a facility like this. Based upon industry averages, the permit fees are approximately 0.75% - 1% (all in) of the hard costs of the project aggregately. At a minimum, this will cover the costs of review and time.

Water and Sewer Costs

This facility will be a user of the municipal water and sewer and will pay the normal and customary charges for this service. Therefore, this use will not have a negative impact on the Village.

V. SCHOOL DISTRICT 86 AND 181 COSTS

Overview

We have looked at the incremental costs of the new student generation to School District 86 and 181 as a result of the proposed seniors housing development.

Because this is age-targeted seniors housing, the development will not create any additional students or additional demands on the school district. Therefore, all property taxes generated by this Project are accretive to the school district's tax base.

VI. NET COST BENEFIT CALCULATIONS OVER 20-YEARS

Village of Hinsdale

- Total Revenues Collected -- \$1,318,583
- Incremental Costs - \$0
- **Net (Cost)/Benefit to the Village - \$1,318,583**

Village 5-Year Cash Flow

Year	Collections	Costs	Net (Cost)/Benefit
Year 1	\$ 0	\$0	\$ 0
Year 2	\$ 55,065	\$0	\$ 55,065
Year 3	\$ 56,441	\$0	\$ 56,441
Year 4	\$ 57,852	\$0	\$ 57,852
Year 5	\$ 59,299	\$0	\$ 59,299

School District 86

- Total Revenues Collected - \$6,490,914
- Incremental Costs - \$0
- **Net (Cost)/Benefit to SD 86 - \$6,490,914**

School District 86 5-Year Cash Flow

Year	Collections	Costs	Net (Cost)/Benefit
Year 1	\$ 0	\$0	\$ 0
Year 2	\$ 271,065	\$0	\$ 271,065
Year 3	\$ 277,841	\$0	\$ 277,841
Year 4	\$ 284,787	\$0	\$ 284,787
Year 5	\$ 291,907	\$0	\$ 291,907

School District 181

- Total Revenues Collected - \$11,493,554
- Incremental Costs - \$0

Net (Cost)/Benefit to SD 181 - \$11,493,554

School District 181 5-Year Cash Flow

Year	Collections	Costs	Net (Cost)/Benefit
Year 1	\$ 0	\$ 0	\$ 0
Year 2	\$ 479,978	\$ 0	\$ 479,978
Year 3	\$ 491,977	\$ 0	\$ 491,977
Year 4	\$ 504,277	\$ 0	\$ 504,277
Year 5	\$ 516,884	\$ 0	\$ 516,884



CLA (CliftonLarsonAllen LLP)
220 South Sixth Street, Suite 300
Minneapolis, MN 55402-1436
612-376-4500 | fax 612-376-4850
CLAconnect.com

September 6, 2019

MEMORANDUM

TO: Brandon Raymond
Ryan Companies US, Inc.

FROM: Peter Baum
CliftonLarsonAllen LLP

RE: Hinsdale, Illinois Enhanced Demand Analysis Summary

Introduction

Ryan Companies US, Inc. (“Ryan,” “you”) engaged CliftonLarsonAllen (“CLA,” “we”) in June 2019 to conduct a high-level Enhanced Demand Analysis for senior housing at a site in Hinsdale, Illinois. That study, completed in August 2019, found significant demand for all levels of care in the defined primary market area (“PMA”).

The study consisted of a demographic analysis including senior population and household growth, household income, and senior household tenure trends, home value analysis, and analysis of current market conditions for market-rate senior housing (including pending projects). The study also provided an estimate of the potential for future demand for the proposed Project.

The following presents a summary of the key findings from the study.

The Project

The site for Ryan’s proposed project is located at 707 Ogden Avenue, Hinsdale, Illinois. The project is planned to include independent living, assisted living, and memory care assisted living. A PMA made up of 61 census tracts was defined to represent where a majority of potential future residents would originate from, and used as a basis for the demographic and competitor analysis included in the study.

Demographic Analysis

Seniors age 65-and-over are estimated to total 53,533 persons in 2019, representing an increase of 11,612 persons, or 28 percent, from 2010. By 2024, seniors age 65-and-over are projected to total 60,815, a 14 percent increase from 2019 estimates.

The proportion of seniors age 75-and-over in the PMA, compared to the overall population, is estimated to have increased from 2010 to 2019 from 8.1 percent to 8.8 percent. It is projected to increase further to 9.4 percent by 2024. For comparison, the proportion of seniors age 75-and-over in the Chicago Metro Area was 5.3 percent in 2010, estimated to be 5.8 percent in 2019, and projected to be 6.6 percent in 2024 (The Chicago, IL Metro Area includes Cook, DeKalb, DuPage, Grundy, Kane, Kendall, McHenry, and Will counties in Illinois, Jasper, Lake, Newton, and Porter Counties in Indiana, and Lake and Kenosha Counties in Wisconsin).

The estimated median incomes in the PMA were also significantly higher than the Chicago, IL Metro Area. Seniors age 65-to-74 in the PMA had an estimated median income of \$78,619 in 2019. For seniors age 75-to-84, the estimated median income in 2019 was \$48,792, and for seniors age 85-and-over the estimated 2019 median income was \$37,011.

Real estate data from the Illinois MLS shows that cities representing the PMA had an average residential home sale price of \$610,615 in 2017, and \$610,946 in 2018. Specifically in the City of Hinsdale, the average sales price was \$1,127,614 in 2017, and \$1,133,962 in 2018.

Competitive Market Analysis

CLA identified 7 market-rate independent living communities with a total of 1,275 units in the PMA. The weighted average occupancy rate at the time of research was 93.1 percent for all seven communities. Excluding communities in the initial lease-up phase, the weighted average occupancy rate was 97.2 percent.

There were 13 assisted living communities identified with 877 total units in the PMA. The weighted average occupancy at those communities was 88.7 percent at the time of research. Excluding a new community in the initial lease-up phase, the weighted average occupancy rate was 94.6 percent.

There were also 13 memory care assisted living communities identified in the PMA, with a total of 479 units. The weighted average occupancy rate at the time of research was 80.0 percent. However, excluding new communities in the initial lease-up phase, the weighted average occupancy rate was 89.3 percent.

CLA contacted staff at city planning departments to determine if any senior housing projects were pending approval or under construction in the PMA. Three total projects offering independent living, assisted living, or memory care assisted living were identified. Only one of the three was under construction at the time of research and therefore included in the unit demand estimations. However, if all three projects were to move forwards there would still be significant demand for Ryan's project in Hinsdale.

Demand Analysis

- Demand for market-rate independent living units with anticipated resident rates was estimated at 532 units in 2022 and 528 units in 2024.
- Demand for market-rate assisted living units with anticipated resident rates was estimated at 466 units in 2022 and 494 units in 2024.
- Demand for market-rate memory care assisted living units with anticipated resident rates was estimated at 146 units in 2022 and 156 units in 2024.

The estimated demand shown for each level of care is net of existing units; that is, demand for new development.

Recommendation

Based on the results of the study, CLA recommends Ryan continue with plans to develop a senior living community at the site in Hinsdale.



**COMMUNITY DEVELOPMENT
DEPARTMENT
ZONING CODE TEXT AND MAP
AMENDMENT APPLICATION**

Must be accompanied by completed Plan Commission Application

Is this a: Map Amendment Text Amendment

Address of the subject property

Description of the proposed request:

REVIEW CRITERIA

Section 11-601 of the Hinsdale Zoning Code regulates Amendments. The amendment process established is intended to provide a means for making changes in the text of the Zoning Code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confer special privileges or rights. Rather, it is intended as a tool to adjust the provisions of the Zoning Code and the zoning map in light of changing, newly discovered, or newly important conditions, situations, or knowledge. The wisdom of amending the text of the Zoning Code is a matter committed to the sound legislative discretion of the Board of Trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria.

Below are the 14 standards for amendments that will be the criteria used by the Plan Commission and Board of Trustees in determining the merits of this application. Please respond to each standard as it relates to the application. Please use an additional sheet of paper to respond to questions if needed. If the standard is not applicable, please mark N/A.

1. The consistency of the proposed amendment with the purpose of this Code.
2. The existing uses and zoning classifications for properties in the vicinity of the subject property.
3. The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification.

4. The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it.
5. The extent to which any such diminution in value is offset by an increase in the public health, safety, and welfare.
6. The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.
7. The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.
8. The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.
9. The suitability of the subject property for uses permitted or permissible under its present zoning classification.
10. The availability of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.
11. The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification.

12. The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.
13. The community need for the proposed amendment and for the uses and development it would allow.
14. The reasons, where relevant, why the subject property should be established as part of an overlay district and the positive and negative effects such establishment could be expected to have on persons residing in the area.

Clarendale of Hinsdale Senior Residences Map Amendment Responses

The consistency of the proposed amendment with the purpose of this code:

The proposed amendment will allow the site to be developed in an orderly fashion. The amendment will not alter any purpose, goal, objective or standard of the Village code.

The existing uses and zoning classifications for properties in the vicinity of the subject property:

The vast majority of the existing land uses in northwest Hinsdale are residential. To the north of the subject property is Oak Brook.

The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification:

The proposed amendment will continue and complement the trend of development.

The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it:

The current zoning classification of IB adversely impacts the economic viability of the property by limiting the marketable land uses.

The extent to which any such diminution in the value is offset by an increase in the public health, safety, and welfare:

The existing IB zoning does not offer an additional public health, safety or welfare advantages that cannot be achieved in the residential zoning district.

The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment:

The adjacent properties would benefit from the proposed use as the proposed use would better complement their properties. The amendment will not alter the community character of the area.

The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment:

The amendment would result in high quality new senior housing construction in lieu of IB uses which will increase the adjacent property valuation. The amendment would not provide for uses that would negatively affect the adjacent properties.

The extent, if any, to which the future orderly development of the adjacent properties would be affected by the proposed amendment:

The amendment will have no negative impact to adjacent properties within Hinsdale.

The suitability of the subject property for uses permitted or permissible under its present zoning classification:

The current IB zoning allows primarily for government related uses along with museums, schools, daycares and youth centers. None of these uses are needed by the current taxing bodies in this area. The parcels are too large to be economically feasible for other uses and some of those uses have been recently approved (Kensington School) to be constructed in close proximity to the site.

The availability of adequate ingress to an egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment:

The development will not adversely affect the surrounding traffic. There is adequate ingress/egress via Adams Street.

The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification:

The property benefits from adequate utilities and essential public services under either zoning classification.

The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property:

The property is not vacant at this time.

The community need for the proposed amendment and for the uses and development it would allow:

The proposed amendment would allow for uses that are currently underrepresented or not represented by the Village's current senior housing stock. The land uses through their architecture, site features and economics would preserve and enhance the historic character of the Village of Hinsdale.

The reasons, where relevant, why the subject property should be established as part of an overly district and the positive and negative effects such establishment could be expected to have on persons residing in the area:

The map amendment should be granted because it will provide for the orderly development of the property. It will complete the trend of development in this part of the Village of Hinsdale. The IB uses are neither needed in this area nor are they viable. The map amendment will provide for product that complements and enhances the values of the surrounding properties. The map amendment will not adversely affect the overall public health, safety or welfare of the community.



**COMMUNITY DEVELOPMENT
DEPARTMENT
ZONING CODE TEXT AND MAP
AMENDMENT APPLICATION**

Must be accompanied by completed Plan Commission Application

Is this a: Map Amendment Text Amendment

Address of the subject property

Description of the proposed request:

REVIEW CRITERIA

Section 11-601 of the Hinsdale Zoning Code regulates Amendments. The amendment process established is intended to provide a means for making changes in the text of the Zoning Code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confer special privileges or rights. Rather, it is intended as a tool to adjust the provisions of the Zoning Code and the zoning map in light of changing, newly discovered, or newly important conditions, situations, or knowledge. The wisdom of amending the text of the Zoning Code is a matter committed to the sound legislative discretion of the Board of Trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria.

Below are the 14 standards for amendments that will be the criteria used by the Plan Commission and Board of Trustees in determining the merits of this application. Please respond to each standard as it relates to the application. Please use an additional sheet of paper to respond to questions if needed. If the standard is not applicable, please mark N/A.

1. The consistency of the proposed amendment with the purpose of this Code.
2. The existing uses and zoning classifications for properties in the vicinity of the subject property.
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4. The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it.
5. The extent to which any such diminution in value is offset by an increase in the public health, safety, and welfare.
6. The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.
7. The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.
8. The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.
9. The suitability of the subject property for uses permitted or permissible under its present zoning classification.
10. The availability of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.
11. The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification.

12. The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.
13. The community need for the proposed amendment and for the uses and development it would allow.
14. The reasons, where relevant, why the subject property should be established as part of an overlay district and the positive and negative effects such establishment could be expected to have on persons residing in the area.

Clarendale of Hinsdale Senior Residences Text Amendment Responses

The consistency of the proposed amendment with the purpose of this code:

The proposed amendment will allow the site to be developed in an orderly fashion. The amendment will not alter any purpose, goal, objective or standard of the Village code.

The existing uses and zoning classifications for properties in the vicinity of the subject property:

The vast majority of the existing land uses in northwest Hinsdale are residential. To the north of the subject property is Oak Brook.

The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification:

The proposed amendment will continue and complement the trend of development.

The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it:

The subject property is currently located in two separate zoning districts and does meet the twenty acres minimum PD requirement which adversely impacts the economic viability of the property by limiting the marketable land uses.

The extent to which any such diminution in the value is offset by an increase in the public health, safety, and welfare:

The existing IB zoning does not offer an additional public health, safety or welfare advantages that cannot be achieved in a residential planned development.

The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment:

The adjacent properties would benefit from the proposed use as the proposed use would better complement their properties. The amendment will not alter the community character of the area.

The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment:

The amendment would result in high quality new senior housing construction in lieu of IB uses which will increase the adjacent property valuation. The amendment would not provide for uses that would negatively affect the adjacent properties.

The extent, if any, to which the future orderly development of the adjacent properties would be affected by the proposed amendment:

The amendment will have no negative impact to adjacent properties within Hinsdale.

The suitability of the subject property for uses permitted or permissible under its present zoning classification:

The current IB zoning allows primarily for government related uses along with museums, schools, daycares and youth centers. None of these uses are needed by the current taxing bodies in this area. The

parcels are too large to be economically feasible for other uses and some of those uses have been recently approved (Kensington School) to be constructed in close proximity to the site.

The availability of adequate ingress to an egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment:

The development will not adversely affect the surrounding traffic. There is adequate ingress/egress via Adams Street.

The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification:

The property benefits from adequate utilities and essential public services under either zoning classification.

The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property:

The property is not vacant at this time.

The community need for the proposed amendment and for the uses and development it would allow:

The proposed amendment would allow for uses that are currently underrepresented or not represented by the Village's current senior housing stock. The land uses through their architecture, site features and economics would preserve and enhance the historic character of the Village of Hinsdale.

The reasons, where relevant, why the subject property should be established as part of an overly district and the positive and negative effects such establishment could be expected to have on persons residing in the area:

The text amendment should be granted because it will provide for the orderly development of the property. It will complete the trend of development in this part of the Village of Hinsdale. The IB use is neither needed in this area nor are they viable. The text amendment will provide for product that complements and enhances the values of the surrounding properties. The text amendment will not adversely affect the overall public health, safety or welfare of the community.

Application for Certificate of Zoning Compliance

Provided:

Required by Code:

corner side

rear

Setbacks (businesses and offices):

front:

interior side(s)

corner side

rear

others:

Ogden Ave. Center:

York Rd. Center:

Forest Preserve:

Building heights:

principal building(s):

accessory building(s):

Maximum Elevations:

principal building(s):

accessory building(s):

Dwelling unit size(s):

Total building coverage:

Total lot coverage:

Floor area ratio:

Accessory building(s):

None

Spacing between buildings:[depict on attached plans]

principal building(s):

accessory building(s):

Number of off-street parking spaces required: _____

Number of loading spaces required: _____

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Applicant's signature

Brandon Raymond

Applicant's printed name

Director of Real Estate Development

Dated: 11/11, 2019.

Clarendale of Hinsdale Senior Residences
R2 PD
Requested Concept Level Modifications (11-11-2019)
Final Modifications to be Determined at Detail Plan Level

1. The requirement to submit soil borings / prove water table shall be inapplicable to this development.
2. Work hours during construction adjusted so that work can commence starting at 7:00A.M. Monday-Saturday.
3. Work hours during construction shall be added for Sundays commencing at 8:00 AM and ending at 5:00PM.
4. Site Improvements and Architecture per submitted plans.
5. Bulk regulations:
 - a. See attached chart
6. Eliminate cash bond requirements on building permit.
7. The development is grandfathered in the event of any subsequent code changes.
8. The park requirement for the site shall be satisfied in full by the property owner committing to provide the maintenance of the creek and floodplain area located on the property. Owner will also maintain the three large courtyard spaces that are being created for the residents to enjoy outdoor spaces. In addition, improvements include a sidewalk extension to tie the west side of Adams Street to the 20.9 acres of open space/ponds/walking trails along the east side of Adams.



**19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
Community Development Dept.
(630) 789-7000**

Plan Commission Application Directions

*The following items must be submitted: **Do not make copies of the directions.**

Submittal: 28, legible copies of the following to be provided on legal (8.5" or 11") ledger (11" x 17") size paper or folded to those sizes:

- Completed Plan Commission Application, including supplementary information which includes building elevations, site plan, landscape plan, traffic study, etc., and the one page certification that must be signed and notarized. One full size copy in also required. Any other drawings shall be folded to aforementioned dimensions. **Please note that larger projects may require a CD/USB Drive to be submitted with all drawings in PDF Format.**
- Completed standards for approval, relevant to the request, to be submitted at the same time as the basic application.
- Plat of Survey or Site Plan of the subject site drawn to scale. One full size copy (24" x 36") is required in addition.
- One copy of the completed Application for Certificate of Zoning Compliance with \$50 fee (checks made payable to the Village of Hinsdale).
- One copy of Proof of Ownership and, if needed, a letter of authorization.
- Application Fee

General Information

Applicant must complete ALL sections of the application. Failure to complete any section of the application could result in delay in the consideration of the application. A public hearing will not be scheduled until the application is complete and complies with all applicable sections of the Zoning Ordinance. If a section of this application is not applicable, please write "N/A" in the appropriate area.

*In the case of any application being filed less than two years after the denial of an application seeking essentially the same relief, submit with this application a statement as required by Subsection 11-302-B of the Hinsdale Zoning Ordinance.

Important Boards and Commission meeting dates

<u>Plan Commission</u> 2 nd Wednesday of each month. Consists of 9 members recommending to the Board of Trustees.	<u>Board of Trustees</u> 1 st and 3 rd Tuesday of each month. Consists of the Village President and 6 Trustees.	Please note, the Board of Trustees typically meets on the 2 nd Tuesday in December and January.
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Please note that a representative familiar with the application must be present at all meetings to present the application.



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant
Name: <u>SEE ATTACHED</u>
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Owner
Name: <u>SEE ATTACHED</u>
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: <u>SEE ATTACHED</u>
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Name: <u>SEE ATTACHED</u>
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

<p>Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)</p> <p>1) <u>N/A</u></p> <p>2) _____</p> <p>3) _____</p>
--

II. SITE INFORMATION

Address of subject property: SEE ATTACHED

Property identification number (P.I.N. or tax number): - - -

Brief description of proposed project: Residential PD with special
uses & modifications. Uses include senior
living suites & villas

General description or characteristics of the site: Primarily vacant
with an existing institutional building

Existing zoning and land use: R-2 & IB

Surrounding zoning and existing land uses:

North: Oak Brook R-2

South: Hinsdale R-4

East: Hinsdale R-2

West: Route 83 onramp

Proposed zoning and land use: R-2 PD

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☒ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☒ Special Use Permit 11-602E

Special Use Requested:

☒ Map and Text Amendments 11-601E

Amendment Requested: PD min.

20 acres to 15 and

IB to R-2

☒ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: SEE ATTACHED

The following table is based on the R-2 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)			
Lot Depth			
Lot Width			
Building Height			
Number of Stories			
Front Yard Setback			
Corner Side Yard Setback			
Interior Side Yard Setback			
Rear Yard Setback			
Maximum Floor Area Ratio (F.A.R.)*			
Maximum Total Building Coverage*			
Maximum Total Lot Coverage*			
Parking Requirements			
Parking front yard setback			
Parking corner side yard setback			
Parking interior side yard setback			
Parking rear yard setback			
Loading Requirements			
Accessory Structure Information			

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

**Clarendale of Hinsdale Senior Residences
Plan Commission Application
Addendum
November 11, 2019**

General Information:

Applicant:

Ryan Companies US, Inc.
Brandon Raymond
111 Shuman Blvd., Suite 400
Naperville, Illinois 60563
Office: 630-328-1142
Email: brandon.raymond@ryancompanies.com

Owner:

Institute of Basic Life Principles
Robert Barth
707 W Ogden Avenue
Hinsdale, Illinois 60521
Office: 630-323-9800
Email: rbarth@iblp.org

Project Consultants:

Engineering, Survey, Wetlands, Environmental & Traffic

V3 Companies
Ryan Wagner
7325 Janes Avenue
Woodridge, Illinois 60517
Office: 630-729-6261
Email: rwagner@v3co.com

Land Planning & Landscape Architecture:

Hitchcock Design Group
Geoff Roehll
22 E Chicago Avenue, Suite 200A
Naperville, Illinois 60540
Office: 630-961-1787
Email: groehll@hitchcockdesigngroup.com

Architecture:**Seniors Housing**

PFB Architects, LLC

Brian Pugh

33 N LaSalle St., Suite 3600

Chicago, Illinois 60602

Office: 312-376-3100

Email: bpugh@pfbchicago.com

Fiscal Impact Study:

Laube Companies

Michael Laube

200 S Wacker Drive, Suite 3100

Chicago, Illinois 60606

Office: 312-674-4537

Email: mlaube@laubecompanies.com

Market Study:

CliftonLarsonAllen LLP

Peter Baum

220 South Sixth Street, Suite 300

Minneapolis, Minnesota 55402

Office: 612-373-1431

Email: peter.baum@claconnect.com

**Subject Property Addresses & PIN:
IBLP Properties**

707 W Ogden Avenue

09-02-204-011

09-02-204-010

RT 83

09-02-203-004

Clarendale of Hinsdale Senior Residences
R2 PD
Requested Concept Level Modifications (11-11-2019)
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Clarendale of Hinsdale Senior Residences Special Use Standards

Introduction

The Clarendale of Hinsdale development requires a special use permit as part of an R-2 Planned Development.

1. R-2 Planned Development & Modifications

A special use permit for a Planned Development is permissible in the underlying R-2 district. “A Planned Development may be established as a special use, in accordance with the terms and conditions set forth in Section 11-602.” Due to the Clarendale of Hinsdale development’s size and scope a Planned Development is appropriate, especially in context of the code modifications requested, which are listed on the attached addendums.

Special Use Standards

1. The special use will be consistent with the purposes, goals and objectives and standards of the village code and the official comprehensive plan, any adopted overlay plan and these regulations.

The special uses do not alter any of the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan or Village Codes. The Planned Development is consistent with the Comprehensive Plan, residential uses on the properties. Petitioners proposes 245 independent, assisted and memory care units and approximately 20 independent living senior villas. The modifications that petitioner proposes at this concept level are attached.

2. The design of the proposed use will have no undue adverse effect, including visual impacts on adjacent properties.

The Planned Development is planned and designed so that there are no impacts to adjacent properties. The independent, assisted and memory care building is positioned along Ogden Avenue between Adams Street and an access ramp from Route 83 while the independent living senior villas are north of Bronzewood Tributary between Adams and Route 83. Existing homeowners on adjacent properties are not impacted adversely by either of the uses, visually or otherwise, because the uses are self-contained to a pods within the development that, with a minor exception, do not abut other existing residential buildings. The requested modifications do not adversely effect, visually or otherwise, adjacent properties.

3. The proposed use will not have an adverse effect on the value of the adjacent property.

The Planned Development will not negatively affect value of the adjacent property because it will continue to consist of high quality, new construction. The development will add a much needed product to the Village, and the high quality, visually aesthetic architecture and luxury finishes will be a benefit to values in the area. The requested modifications do not impact value.

4. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, waters and sewers, and schools will be capable of serving the special use at an adequate level of service.

The Planned Development can be adequately served by government and emergency services. The existing roadway configuration is sufficient for the proposed uses. The existing public utilities and drainage structures are sufficient. Overall drainage patterns will be improved with new stormwater management areas. The current capacity of the Village and local School Districts are such that the addition of these units will not trigger an additional burden to these services such that it will facilitate the need to bring on any more officers, administrative personnel, and teachers or facilitate the need to expend capital resources (e.g., vehicles, equipment, communication infrastructure, etc.) Therefore, we believe that there will be no negative impacts to the Village or Schools with respect to these services per our fiscal impact analysis.

5. The development will not cause traffic congestion.

The Planned Development will not cause undue congestion. The independent, assisted, memory care units and senior villas generate limited resident, visitor and employee traffic. Additionally, most added traffic is during off-peak hours.

6. The development will not adversely affect a known natural, scenic, historical or cultural resource.

This is not applicable – there are no known archaeological, historical, or cultural resources onsite or on neighboring properties. The large open space corridor is being maintained and enhanced.

7. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

Petitioner has listed all modifications it believes are needed at this time in order to accomplish the proposed use, it will continue to discuss required modifications with Village staff through the concept stage and will then comply with all other provisions of the Residence district, and all other codes of the Village of Hinsdale.



**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT DEPARTMENT
SPECIAL USE PERMIT CRITERIA**

Must be accompanied by completed Plan Commission Application

Address of proposed request: SEE ATTACHED

Proposed Special Use request: R-2 PD

Is this a Special Use for a Planned Development? ☐ No ☒ Yes (If so this submittal also requires a completed Planned Development Application)

REVIEW CRITERIA

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

1. *Code and Plan Purposes.* The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.

SEE ATTACHED

2. *No Undue Adverse Impact.* The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

3. *No Interference with Surrounding Development.* The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations
4. *Adequate Public Facilities.* The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
5. *No Traffic Congestion.* The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.
6. *No Destruction of Significant Features.* The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.
7. *Compliance with Standards.* The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.
8. *Special standards for specified special uses.* When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

9. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:

Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Clarendale of Hinsdale Senior Residences Special Use Standards

Introduction

The Clarendale of Hinsdale development requires a special use permit as part of an R-2 Planned Development.

1. R-2 Planned Development & Modifications

A special use permit for a Planned Development is permissible in the underlying R-2 district. “A Planned Development may be established as a special use, in accordance with the terms and conditions set forth in Section 11-602.” Due to the Clarendale of Hinsdale development’s size and scope a Planned Development is appropriate, especially in context of the code modifications requested, which are listed on the attached addendums.

Special Use Standards

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The special uses do not alter any of the purposes, goals and objectives and standards of the Comprehensive Plan, any adopted overlay plan or Village Codes. The Planned Development is consistent with the Comprehensive Plan, residential uses on the properties. Petitioners proposes 245 independent, assisted and memory care units and approximately 20 independent living senior villas. The modifications that petitioner proposes at this concept level are attached.

2. The design of the proposed use will have no undue adverse effect, including visual impacts on adjacent properties.

The Planned Development is planned and designed so that there are no impacts to adjacent properties. The independent, assisted and memory care building is positioned along Ogden Avenue between Adams Street and an access ramp from Route 83 while the independent living senior villas are north of Bronzewood Tributary between Adams and Route 83. Existing homeowners on adjacent properties are not impacted adversely by either of the uses, visually or otherwise, because the uses are self-contained to a pods within the development that, with a minor exception, do not abut other existing residential buildings. The requested modifications do not adversely effect, visually or otherwise, adjacent properties.

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4. The applicant has demonstrated that public facilities and services, including but not limited to roadways, park facilities, police and fire protection, hospital and medical services, drainage systems, refuse disposal, waters and sewers, and schools will be capable of serving the special use at an adequate level of service.

The Planned Development can be adequately served by government and emergency services. The existing roadway configuration is sufficient for the proposed uses. The existing public utilities and drainage structures are sufficient. Overall drainage patterns will be improved with new stormwater management areas. The current capacity of the Village and local School Districts are such that the addition of these units will not trigger an additional burden to these services such that it will facilitate the need to bring on any more officers, administrative personnel, and teachers or facilitate the need to expend capital resources (e.g., vehicles, equipment, communication infrastructure, etc.) Therefore, we believe that there will be no negative impacts to the Village or Schools with respect to these services per our fiscal impact analysis.

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7. The proposed use will comply with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other requirements of the ordinances of the Village.

Petitioner has listed all modifications it believes are needed at this time in order to accomplish the proposed use, it will continue to discuss required modifications with Village staff through the concept stage and will then comply with all other provisions of the Residence district, and all other codes of the Village of Hinsdale.

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNED DEVELOPMENT CRITERIA**

Must be accompanied by completed Plan Commission Application

Address of proposed request: SEE ATTACHED

Proposed Planned Development request: R2 PD

REVIEW CRITERIA

Section 11-603 of the Hinsdale Zoning Code regulates Planned developments. The Board of Trustees, in accordance with the procedures and standards set out in Section 11-603 and by ordinance duly adopted, may grant special use permits authorizing the development of planned developments, but only in the districts where such developments are listed as an authorized special use. Planned developments are included in the Zoning Code as a distinct category of special use. As such, they are authorized for the same general purposes as all other special uses. In particular, however, the planned development technique is intended to allow the relaxation of otherwise applicable substantive requirements based on procedural protections providing for detailed review of individual proposals for significant developments. This special regulatory technique is included in the Code in recognition of the fact that traditional bulk, space, and yard regulations of substantially developed and stable areas may impose inappropriate pre-regulations and rigidities upon the development or redevelopment of parcels or areas that lend themselves to an individual, planned approach.

1. *Special use permit standards.* No special use permit for a planned development shall be recommended or granted pursuant to this Section unless the applicant shall establish that the proposed development will meet each of the standards made applicable to special use permits pursuant to Subsection 11-602E of the Zoning Code. _____

SEE ATTACHED

2. *Additional standards for all planned developments.* No special use permit for a planned development shall be recommended or granted unless the applicant shall establish that the proposed development will meet each of the following additional standards:

- a. *Unified ownership required.* Ryan Companies US, Inc.
- b. *Minimum area.* Text Amendment to 15 (16.4 Ac)
- c. *Covenants and restrictions to be enforceable by village.* TBD
- d. *Public open space and contributions.* TBD

e. Common open space.

Amount, location, and use.

TBD

Preservation.

Ownership and maintenance.

Senior Living
Owner / Operator

Property owners' association.

N/A

f. Landscaping and perimeter treatment.

to be provided

g. Building and spacing.

per Bulk & Modifications

h. Private streets.

Yes

i. Sidewalks.

Provided

j. Utilities.

Public Sewer & Water
Private Stormwater

Additional standards for specific planned developments.

SEE ATTACHED

List all waivers being requested as part of the planned development.

SEE ATTACHED

Clarendale of Hinsdale Senior Residences Special Use Standards

Introduction

The Clarendale of Hinsdale development requires a special use permit as part of an R-2 Planned Development.

1. R-2 Planned Development & Modifications

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The Planned Development can be adequately served by government and emergency services. The existing roadway configuration is sufficient for the proposed uses. The existing public utilities and drainage structures are sufficient. Overall drainage patterns will be improved with new stormwater management areas. The current capacity of the Village and local School Districts are such that the addition of these units will not trigger an additional burden to these services such that it will facilitate the need to bring on any more officers, administrative personnel, and teachers or facilitate the need to expend capital resources (e.g., vehicles, equipment, communication infrastructure, etc.) Therefore, we believe that there will be no negative impacts to the Village or Schools with respect to these services per our fiscal impact analysis.

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This is not applicable – there are no known archaeological, historical, or cultural resources onsite or on neighboring properties. The large open space corridor is being maintained and enhanced.

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Clarendale of Hinsdale Senior Residences
R2 PD
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6. Eliminate cash bond requirements on building permit.
7. The development is grandfathered in the event of any subsequent code changes.
8. The park requirement for the site shall be satisfied in full by the property owner committing to provide the maintenance of the creek and floodplain area located on the property. Owner will also maintain the three large courtyard spaces that are being created for the residents to enjoy outdoor spaces. In addition, improvements include a sidewalk extension to tie the west side of Adams Street to the 20.9 acres of open space/ponds/walking trails along the east side of Adams.

Clarendale of Hinsdale Senior Residences
R2 PD
Bulk Regs. Concept Level Modifications
11/11/2019

	R2 Requirements	Senior Living - (Main Building) Mods.	Senior Living Villa Mods.
Minimum Lot Area	20,000SF	No modifications requested	TBD
Minimum Lot Area Per Unit	20,000SF	TBD	TBD
Minimum Lot Width (interior or corner lots)	100'	No modifications requested	TBD
Minimum Lot Depth	125'	No modifications requested	TBD
Minimum Front Yard*	35'	No modifications requested	TBD
Minimum Corner Side Yard	35'	No modifications requested	TBD
Minimum Interior Side Yard**	10'	No modifications requested	TBD
Minimum Total Side Yard**	30% of lot width	35'	TBD
Minimum Rear Yard (interior or corner lots)***	50' and 25', respectively	35'	TBD
Maximum FAR	.25 of Lot Area + 1,100SF	TBD	TBD
Maximum Building Coverage	25%	TBD	TBD
Maximum Lot Coverage	50%	TBD	TBD
Maximum Height	30'	TBD	TBD
Maximum Stories	3	4	TBD
Maximum Elevation	37'	TBD	TBD

*The proposed modification is a minimum measurement from the front of the lot to the curb, or the nearest edge of sidewalk (as the case may be)

**The proposed modification is a minimum measurement of building separation between the lots/units

***The proposed modification is a minimum measurement of building separation to the perimeter lot line



COMMUNITY DEVELOPMENT
DEPARTMENT
**EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: See Attached Addendum

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
Extensive open spaces are provided throughout the development per the concept plan. These include large open areas and building setbacks.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
Highest quality of exterior and interior building materials as required by buyer's expectations at the price point
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.
The design quality is of the upmost quality and is in character with the overall neighborhood.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The development will be professional landscaped and will provide for interconnectivity for both pedestrians & vehicles. Vehicle patterns and conditions will be adequately served by the existing infrastructure.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The buildings will be visually comparable to immediately adjacent buildings. Proposed multi-story buildings will be along Ogden Avenue & open spaces.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The building proportions are in line with the overall architecture, the subject property and the other properties along Ogden Avenue.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Building openings have been considered in the overall design of the individual product.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Special attention has been given in respect to the use of space for all of the different product as it relates to all of the building facades.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Spacing has been maximized throughout the development to provide for an open feel.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The vast majority of the proposed architecture is highlighted by entrance porches and covered areas.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The structures will use varied natural materials to provide texture throughout the development. Materials will include stone, brick, wood horizontal, shake and board and batten siding.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Architectural grade asphalt shingles will complement the natural materials on the structures.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

The building facades will be complemented by extensive professional landscaping and other common elements to provide for appropriate scale and visual attractiveness.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The proposed buildings have been sized to complement the surrounding open areas. Building elements have been added and sized to enhance the visual appeal of each structure.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The proposed structures have been located on the site to maximize the overall open area views and minimize the exposure to existing exterior right-of-way.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

N/A

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The plan is extremely well thoughtout. It provides for orderly development, it maintains the village's historic character and does not alter the purpose or goals of the zoning code.

2. The proposed site plan interferes with easements and rights-of-way.

The plan in no instance interferes with easements or right-of way.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The plan preserves and enhances the existing features of the property

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

The site plan causes no harm to surrounding properties.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

The proposed plan in fact improves the overall pedestrian and traffic patterns within the areas

6. The screening of the site does not provide adequate shielding from or for nearby uses.

Professional mature landscaping will be planted to provide exceptional screening for the new residents

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Private amenities within small and large common areas in addition to within the structure will complement the surrounding areas.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

The existing open space corridor will be enhanced with natural materials and professionally maintained by the future homeowners association.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The plan in fact will assist in correcting difficent drainage issues that currently occur on and off site.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The existing utility system has ample capacity. The overall system will be improved by this development's additional improvements that will provide for needed interconnectivity.

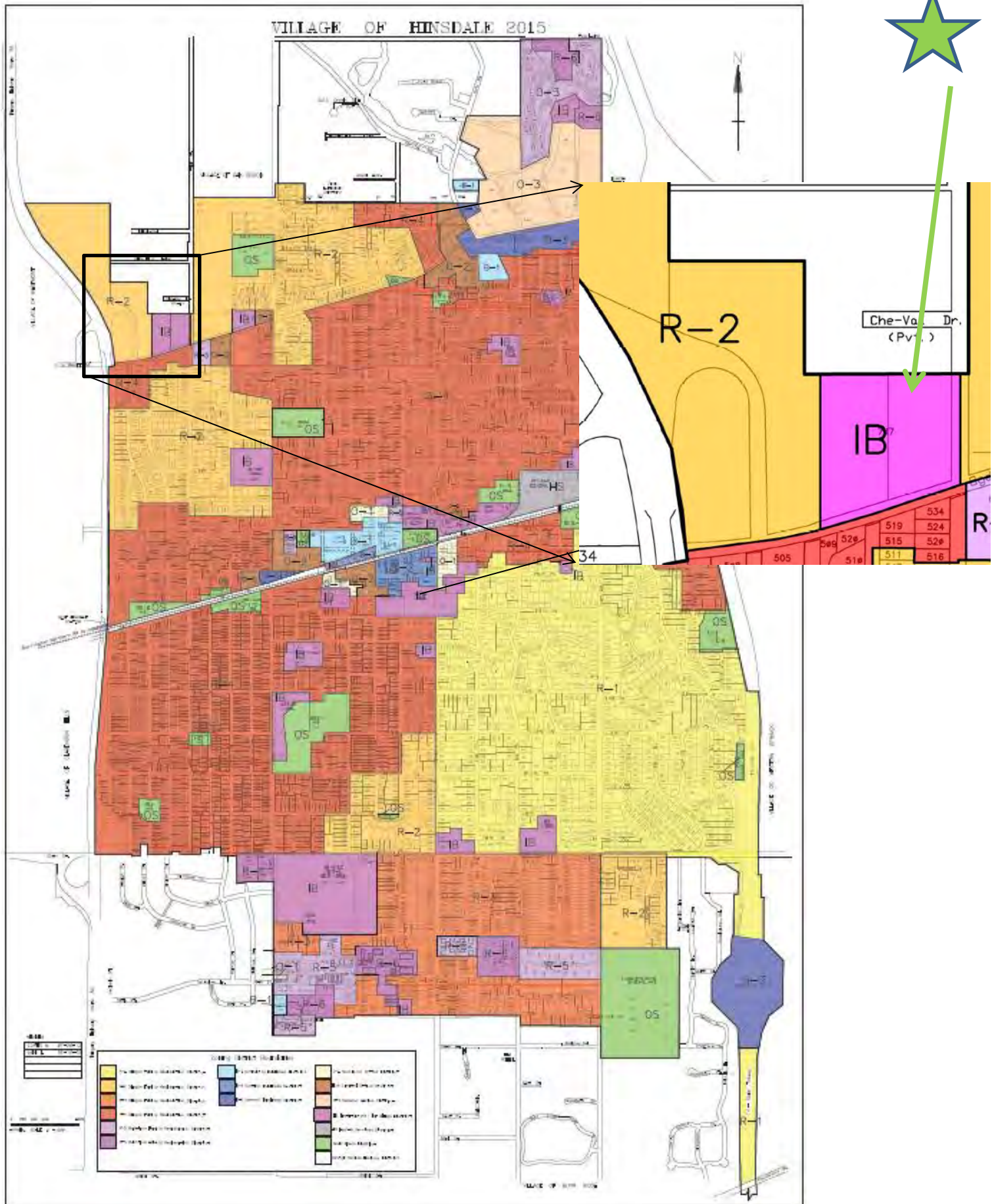
11. The proposed site plan does not provide for required public uses designated on the Official Map.

The plan provides for both private and public uses

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

In no instance will the public health, safety or general wealth be negatively be affected.

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Trustee Byrnes introduced the item stating there was a question from the Board at the first reading about whether the cost of the observation quoted by Rempe-Sharpe was sufficient. Staff contacted the contractor who has provided a letter assuring the price is sufficient.

Trustee Byrnes moved to **Award the engineering services for the 2020 Maintenance Project to Rempe-Sharpe & Associates, Inc. in the amount not to exceed \$76,510.** Trustee Banke seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, Haarlow and Byrnes

NAYS: None

ABSTAIN: None

ABSENT: None

Motion carried.

Zoning & Public Safety (Chair Stifflear)

- b) **Refer the application packet to the Plan Commission for a hearing and consideration of a map amendment, text amendment to Section 3-106(B)(1) and concurrent planned development concept plan by Ryan Companies, US Inc.; or Deny the map amendment, text amendment to Section 3-106(B)(1) and concurrent planned development concept plan by Ryan Companies, US Inc.**

Trustee Stifflear introduced the item and reminded the Board the IBLP property encompasses 60 acres of property, but this application is only for the 16.8 acres west of Adams Street for the construction of 245 senior living residences. Ryan Companies presented at the last Board meeting regarding building height, density, setbacks, public need and waivers. Trustee Stifflear reviewed the process and explained that if the Board refers this to the Plan Commission, they will conduct a public hearing in March, all three matters will be concurrently considered; a map amendment to change 7.6 acres from an IB district to R2, which he noted is more restrictive; a text amendment to reduce the required acreage for a planned unit development (PUD) in a residential district from 20 acres to 15; and the PUD itself. The Plan Commission would recommend a concept plan to the Board, if approved, the Board will provide specific, definitive instructions to the applicant. If approved, then a detailed plan will go back to the Plan Commission and include specifics including water management, building materials, traffic control, landscaping and aesthetics. The Plan Commission will make a recommendation to the Board that it can then approve or deny.

Trustee Stifflear provided summary feedback from Trustees to date; push the setback further back from Ogden Avenue, decrease the height from four to three-stories, use an architectural style the best fits with the residential architecture in the area, make the 540' foot wide front façade more appealing, and provide a public benefit commensurate with that recently provided by Eve Assisted Living and Hinsdale Meadows. He also referenced the site plan, specifically the villas on the north side of property, and noted that some are located in Hinsdale and some in Oak Brook. The applicant will need to go through this process in Oak Brook, but noted that our plan is not contingent on that outcome. If they say no, the 17 villas in Hinsdale can still be developed.

Mr. Dave Erickson, Vice President of Real Estate Development for Ryan Companies, representing Clarendale of Hinsdale, addressed the Board. With respect to parking, he

referenced a comparison of building size and parking for Clarendale's in other communities that was included in the Board packet. Generally, there are .8 stalls per unit. Director of Community Development Robb McGinnis said the proposed plan is only 12 spaces short of code requirements; 216 are required, 204 are provided. Mr. Erickson noted this compares favorably to the parking provided at Eve Assisted Living. Regarding the four story section of the building, he said they will continue to work with staff on this, but it is located 250' from Ogden Avenue.

Trustee Banke said his first impression is this is a worthy project. The exterior appearance is a concern, as this facility is a gateway to the Village. From the east, existing buildings along Ogden are a Georgian style, which is consistent with the Memorial Building and area residences. He would like the building to be consistent with this style, as it has stood the test of time. He thinks the setbacks should be pushed back from current renderings, and a four story building is inappropriate, as residents that live behind the building would be impacted.

Mr. Erickson said there would be 22,000' square feet on the fourth floor. President Cauley cautioned this Board likely won't vote for a fourth story, and to take the Board's recommendations seriously.

Trustee Hughes said he is concerned about traffic, Adams is a very quiet street, and would not want to impact this. He would like the fourth story issue be addressed in terms of number of feet. He said the appearance and standard of quality should fit with the Village character. He thinks the Clarendale name is odd, and should be taken into account when considering signage.

Trustee Haarlow commented four-stories is too high, and will appear massive, especially from Route 83. She is curious as to why there are 245 proposed units in Hinsdale, when there are much lower numbers in other communities. If developed as proposed, it seems outsized for our community. She thinks moving the building further from Ogden is a good idea, and noted there is nothing else in Hinsdale with a continuous façade such as the one proposed. She is concerned about the discernable benefit to Village stating a walking path is not really a benefit to a lot of people on a regular basis. Further, would there be parking to accommodate people if they wanted to use the path. It is laughable to think the area won't be impacted by additional traffic during construction or by visitors and residents in the future. This parcel remains the last undeveloped area of this size in Hinsdale and the Board should explore the use of the land as a park. It would be a compliment to Katherine Legge on the south side of the Village, and be an additional facility with the potential of a multitude of uses. While the Village cannot afford to buy the property at this time, it is a disservice to move forward without exploring ways to finance the purchase, such as a bond issue, or private donations. While she appreciates the proposal of senior living, and acknowledges there is a growing need, she does not believe this is the best use of the land for the Village.

Trustee Byrnes agrees with comments about height and setback, and while less concerned with the architectural style, he would not want it to look institutional. He questioned whether there is real demand for the use, and the public benefit.

Trustee Haarlow added that reducing the PUD from 20 to 15 acres is a dangerous precedent that could increase density.

Trustee Posthuma agreed in an ideal world the land would be made a park, but cautioned it might not be realistic from an economic standpoint. He seconded thoughts on setback, height, breaking up the façade, and looking for something more understated and subtle.

President Cauley added that he and Trustee Stifflear have looked at a number of proposed projects for this property. They concluded that senior and assisted living appears to be a need, and there would be less traffic with this type of residential development than others, and no additional burden on services. He wasn't thinking about the 245 units that will create traffic on Adams, so this may be more dense than he hoped. It should not be four-stories, and the façade should be broken up, possibly with an atrium. This building will take up more of the lot than the current building, and therefore should be set back further. He encouraged the applicant to take these comments to heart and to consider a community benefit, hopefully for the Village at large. Trustee Stifflear appreciates Trustee Haarlow's idea for a park, and suggested that the wetlands area might not be worthless from a park standpoint. Mr. Ericson thanked the Board for their clarity. He said they have no control over the east part of the property, and it is not currently on the market, but noted that 55% of the property is wetlands. The Board thinks this is worth exploring. There were no public comments at this time.

Trustee Stifflear moved to **Refer the application packet to the Plan Commission for a hearing and consideration of a map amendment, text amendment to Section 3-106(B)(1) and concurrent planned development concept plan by Ryan Companies, US Inc. with the caveat that the Village Board of Trustees provided comments for review for setbacks, height, architectural style and public benefit.** Trustee Hughes seconded the motion.

AYES: Trustees Posthuma, Banke, Stifflear, Hughes, and Byrnes

NAYS: Trustee Haarlow

ABSTAIN: None

ABSENT: None

Motion carried.

DISCUSSION ITEMS

a) **Parking deck update**

Mr. Bloom said plumbing work is being done, taking advantage of the favorable weather.

b) **Tollway update** - Nothing to report

DEPARTMENT AND STAFF REPORTS

a) Treasurer's Report

b) Economic Development

c) Community Development

The report(s) listed above were provided to the Board. There were no additional questions regarding the content of the department and staff reports.

REPORTS FROM ADVISORY BOARDS AND COMMISSIONS

No reports.