#### **MEETING AGENDA**



# PLAN COMMISSION Wednesday, January 10, 2018 7:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

- 1. CALL TO ORDER
- 2. MINUTES Minutes of November 8, 2017 and December 13, 2017

#### 3. FINDINGS AND RECOMMENDATIONS

a) Case A-29-2017 – 336 E. Ogden Ave. – Bill Jacobs Land Rover – Exterior Appearance/Site Plan review for new Land Rover Dealership (replacing Land Rover at 300 E. Ogden)

#### 4. SIGN PERMIT REVIEW

- a) Case A-45-2017 Non-compliant, Off-Site Signage on median at Ogden Avenue and Salt Creek Lane MedProperties (8 Salt Creek Campus LLC) New Ground Sign (will also require variation review/approval by the Zoning Board of Appeals)
- **b)** Case A-47-2017 1 Grant Square, suite 102 (inside Evergreen Bank) CHT Ortho 2 New Wall Signs
- c) Case A-48-2017 24 Chicago Ave. Elysian Nail Spa Wall Sign

# 5. PUBLIC HEARING - <u>All those wishing to provide public testimony must be sworn in and after the applicant makes their presentation will be recognized by the Chair to speak.</u>

- a) Case A-38-2017 7 N. Grant St., 1<sup>st</sup> Floor Responsible Driver Text Amendment to allow Driving Schools in the O-2 Limited Office District as a Special Use (application includes concurrent Special Use Permit by Responsible Driver)
- **b)** Case A-39-2017 1 Grant Square., 2<sup>nd</sup> Floor Top Driver Text Amendment to allow Driving Schools in the B-1 Community Business District as a Special Use, but only on the 2<sup>nd</sup> floor in the B-1 Community Business District (application includes concurrent Special Use Permit by Top Driver)

#### 6. EXTERIOR APPEARANCE AND SITE PLAN REVIEW

- **a)** Case A-46-2017 301 W. 59<sup>th</sup> Street Hinsdale Apartments Exterior Appearance/Site Plan for a Playground Structure in the R-6 Multiple Family Residential District
- 7. SCHEDULE OF PUBLIC HEARING (contingent on formal Board of Trustees referral on January 9, 2018. The Village Planner will report to the Plan Commission on January 10, 2018) No discussion will take place except to determine a time and date of hearing.
  - a) Case A-44-2017 540 W. Ogden Ave, Kensington School Map Amendment and concurrent Plat of Subdivision to subdivide and rezone approximately 1.74 acres to an O-2 Limited Office District and subdivide approximately 2.26 acres into 8 R-4 Single Family District lots.

#### 8. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. Web Site: <a href="https://www.villageofhinsdale.org">www.villageofhinsdale.org</a>

Approved

# MINUTES VILLAGE OF HINSDALE PLAN COMMISSION November 8, 2017 MEMORIAL HALL 7:30 P.M.

Chairman Cashman called the meeting to order at 7:30 p.m., Wednesday, November 8, 2017, in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

**PRESENT:** Chairman Cashman, Commissioner Peterson, Commissioner Willobee Commissioner

Krillenberger, Commissioner Crnovich, Commissioner Braselton, Commissioner

Unell, and Commissioner Fiascone

**ABSENT:** Commissioner Jablonski

ALSO PRESENT: Kathleen Gargano Village Manager, Robb McGinnis Community Development

Director, Michael Marrs Village Attorney and Chan Yu Village Planner

Applicants for cases A-29-2017 and A-40-2017

#### **Approval of Minutes**

With no questions or concerns, the PC **unanimously approved** the minutes from the October 11, 2017, meeting 7-0 (1 absent, 1 abstained).

<u>Findings and Recommendations</u> - Case A-36-2017 - 52 S. Washington Street - Green Goddess - Exterior Appearance/Site Plan Review for a front façade alteration to existing retail store.

The PC, with no questions, **unanimously approved** the Findings and Recommendations as submitted, 8-0 (1 absent).

<u>Findings and Recommendations</u> - Case A-33-2017 – 21 Salt Creek Ln. (former Robert Crown Center) – Hinsdale Humane Society – Special Use Permit for Animal Humane Society.

The PC, with no questions, **unanimously approved** the Findings and Recommendations as submitted, 8-0 (1 absent)

# $\underline{Sign\ Permit\ Review}$ - Case A-40-2017 – 4 N. Washington St. – Chase Bank – New Ground Sign and On-Site Informational Wall Sign with Modification Request

The applicant reviewed that their previous Chase wall sign was approved last month by the PC, and they are here to present their ground sign and informational wall sign request. The Chase representative stated that the ground sign has a brick base with white features on top and is illuminated. The location is on the southeast corner of the subject property and meets the sight-distance triangle code, and will face east and west for visibility.

The Chase representative described the informational wall sign to be placed on the front of the building next to the front entrance. Its purpose is to highlight that the location provides "Chase Private Client" services. The applicant also introduced their Chase flag, however, it was later stated by staff that it does not meet the code. (Staff has formally explained that the Chase flag is not permitted to the applicant on November 9, 2017).

#### Plan Commission Minutes November 8, 2017

A Plan Commissioner asked how the sign will be illuminated. The applicant stated that it is illuminated by LED, and will work on the brightness if there's a concern. The Plan Commissioner asked if it is dimmable. The applicant replied they could make it dimmable if they needed to.

A Plan Commissioner asked if the intent is to leave the illumination on all night. The applicant replied that it could be set on a timer, and turned off at a specific time.

The PC Chair reviewed that it's typical to set illumination times for signage around the Village. To that end, a Plan Commissioner expressed that he'd like to stay consistent with other sign approvals, with the condition that they are illuminated only during business hours. Another Plan Commissioner agreed, and asked if the Chase flag was considered a pylon sign.

Chan replied no, structurally, it will be on an existing flag pole. (Chan explained at the end of the meeting however, that the code defines allowable official flags, and that the Chase flag is not permitted)

The PC Chair asked what the hours of operation will be.

The applicant stated the banks are generally closed at 6 PM, however added that he'd like to see the signage illuminated a little bit after business hours. He mentioned that other towns allowed them to stay illuminated until 10 PM or 11 PM.

A Plan Commissioner asked if people could access the ATM (inside the vestibule) after business hours. The applicant replied correct, and that was a good point.

A Plan Commissioner expressed that he likes the sign, and believes that illumination until 10 PM seems reasonable.

The PC Chair reviewed that he likes the sign and believes illumination until 10 PM is acceptable. The applicant and Plan Commissioners agreed in regards to the illumination cut-off time.

A Plan Commissioner asked about the wall sign request. Chan explained that it'd be considered an informational sign if the request did not include the name and logo. However, with the name and logo, the sign would be considered a wall sign. To clarify, this is a sign modification request to the PC since wall signage is limited to one in the B-1 District.

The PC had no major concerns for the request as submitted. The PC **unanimously approved** the sign application as submitted, with the condition that the ground sign illumination would be turned off at 10 PM, 8-0 (1 absent).

<u>Agenda Item Case A-29-2017</u> – 336 E. Ogden Ave. – Bill Jacobs Land Rover – Exterior Appearance/Site Plan review for new Land Rover Dealership (replacing Land Rover at 300 E. Ogden).

The applicant presented its revised plans to the PC, and stated that the changes reflect neighborhood meetings and additional discussions with neighbors and the Village. Some examples of the changes since the last PC meeting on September 13, 2017, included the: south facing garage doors will be sealed by brick and not be used, various building/parking lot lights have been removed and dimmer (data shown on photometric plan), new fence options with a height change per the neighbor's request at 808 Oak Street (8' to 6'),

#### Plan Commission Minutes November 8, 2017

relocated refuse further away from the south property line, arborvitaes along the entire fence, and Oak Street bushes to be trimmed down to 5 feet.

There were approximately 5 neighbors who expressed concerns in regards to the lighting, Oak Street bushes (height), and the proposed fence options (noise related). In regards to lighting, neighbors are worried that it will be too bright, and do not trust that the applicant will adjust the lighting once it is installed. A neighbor, Michael Stick, reviewed a petition letter signed by approximately 25 neighbors, and reviewed why he and the neighbors are opposed to the fence options. In short, they believe the presented fence options are not adequate in regards to sound-absorption, and are designed for residential use. A review of his understanding of sound ratings (STC), ended with a conclusion that the neighbors demand a brick or concrete wall/barrier versus a "fence".

The applicant reviewed cedar, Trex and Simtek, and the potential for a partial concrete wall/barrier. Some neighbors desire a brick wall/barrier, however, Michael Stick stated that a concrete wall/barrier is acceptable. The Village reviewed that there is a possibility to provide financial assistance with Land Rover in regards to a concrete fence/wall/barrier.

There were also 2 Hinsdale residents, who introduced themselves as not nearby neighbors, but explained that some of their family members work/worked at the current Land Rover dealership, and expressed that they are good people and a positive business in the Village.

The PC Chair and PC in general, expressed that they are happy about the dialog and effort between the applicant, neighbors and staff. The PC added that they appreciate the changes the applicant has made, per the neighborhood meetings and discussions, and believe the only fundamental issue for further discussion appears to be the fence/barrier/wall.

The PC unanimously approved the exterior appearance/site plan application as presented, 7-0 (1 abstained, 1 absent), subject to continued discussion among the applicant, neighbors and Village to try to reach a mutually agreed upon solution relative to the barrier, and with the following specific Plan Commission recommendations:

- 1. That the barrier be a precast or cast-in-place concrete or equivalent barrier along the entire property line between the property and neighbors;
- 2. That the landscaping be revised to include a mix of species and the Site Plan revised to reflect 10-foot arborvitaes;
- 3. That exterior lights be dimmed to security levels no later than one (1) hour after closing; and
- 4. That the barrier be placed at the highest available point along the property perimeter.

#### **Adjournment**

The meeting was adjourned at 9:45 p.m. after a unanimous vote.

Respectfully Submitted, Chan Yu, Village Planner Approved

# MINUTES VILLAGE OF HINSDALE PLAN COMMISSION December 13, 2017 MEMORIAL HALL 7:30 P.M.

Chairman Cashman called the meeting to order at 7:30 p.m., Wednesday, December 13, 2017, in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

**PRESENT:** Steve Cashman, Debra Braselton, Troy Unell, Anna Fiascone, and Julie Crnovich

**ABSENT:** Gerald Jablonski, Jim Krillenberger, Scott Peterson and Mark Willobee

**ALSO PRESENT:** Chan Yu Village Planner

Applicant for case A-42-2017

#### **Approval of Minutes**

As a neighbor near the subject property for Case A-29-2017, the 336 E. Ogden Avenue Bill Jacobs Land Rover agenda item, Commissioner Braselton recused herself from voting on the minutes. Without a quorum to vote on this matter, the PC Chairman moved the review of the minutes for the January 10, 2018, PC agenda.

<u>Findings and Recommendations</u> - Case A-29-2017 - 336 E. Ogden Ave. - Bill Jacobs Land Rover - Exterior Appearance/Site Plan review for new Land Rover Dealership (replacing Land Rover at 300 E. Ogden)

Without a quorum to vote on this matter, the PC Chairman moved the Findings and Recommendations for the January 10, 2018, PC agenda.

#### Sign Permit Review - Case A-41-2017 - 9 W. First St. - Altamura (Pizza) - New Wall Sign

Staff reviewed that the applicant was also not present at the Historic Preservation Commission meeting, but can help with questions regarding the proposed sign. Chan also stated that the Historic Preservation Commission unanimously supported the wall sign.

The PC expressed the sign is straight forward, and had no major concerns for the request as submitted. The PC **unanimously approved** the sign application as submitted, 5-0 (4 absent).

<u>Sign Permit Review</u> - Case A-42-2017 – 908 Elm St. – AMITA Health – New Ground Sign, revised location and design submittal (initial application on April 12, 2017, Case A-09-2017)

The applicant presented the revised ground sign elements, as recommended by the PC previously, and reviewed that the new ground sign location complies with the 100' sight distance triangle requirement.

The PC had no concerns for the request and in general, expressed that the sign looked good. The PC Chairman was appreciative for the changes and working with staff for a safer and more suitable ground sign location.

The PC unanimously approved the sign application as submitted, 5-0 (4 absent).

Plan Commission Minutes December 13, 2017

<u>Sign Permit Review</u> - Case A-43-2017 – 42 S. Washington St., 2<sup>nd</sup> FL, - Zouzias & Zouzias CPA - Projecting Sign (modification request)

Staff reviewed the sign and the reason for the modification request to allow a second projecting sign on the same building.

The PC had no concerns for the request and in general, expressed that the sign looked good and made sense given the more "challenged" second floor tenant space and separate entry.

The PC unanimously approved the sign application as submitted, 5-0 (4 absent).

<u>Schedule of Public Hearing</u> - Case A-38-2017 - 7 N. Grant St.,  $1^{st}$  Floor - Responsible Driver - Text Amendment to allow Driving Schools in the O-2 Limited Office District as a Special Use (application includes concurrent Special Use Permit by Responsible Driver)

The PC **unanimously approved** to schedule a public hearing for Case A-38-2017 for the January 10, 2018, PC meeting, 5-0 (4 absent).

<u>Schedule of Public Hearing</u> - Case A-39-2017 -1 Grant Square.,  $2^{nd}$  Floor - Top Driver - Text Amendment to allow Driving Schools in the B-1 Community Business District as a Special Use, but only on the  $2^{nd}$  floor in the B-1 Community Business District (application includes concurrent Special Use Permit by Top Driver)

The PC **unanimously approved** to schedule a public hearing for Case A-39-2017 for the January 10, 2018, PC meeting, 5-0 (4 absent).

#### Adjournment

The meeting was adjourned at 8:05 p.m. after a unanimous vote.

Respectfully Submitted, Chan Yu, Village Planner

#### HINSDALE PLAN COMMISSION

RE: Case A-29-2017 - Applicant: Bill Jacobs Land Rover - 336 E. Ogden Avenue

Request: Exterior Appearance and Site Plan Review for new motor vehicle dealer in the B-3 General Business District

DATE OF PLAN COMMISSION (PC) REVIEW: September 13, 2017 and November 8, 2017

DATE OF BOARD OF TRUSTEES 1<sup>ST</sup> READING: January 23, 2018 (tentative date)

#### FINDINGS AND RECOMMENDATION

#### I. FINDINGS

- 1. On September 13, 2017, the PC heard testimony from the applicant's architect, Jerry Mortier, on behalf of the applicant, reviewed the site plan and building plans to the PC. He reviewed that the building envelope and parking lot will essentially stay the same. The façade of the building and the floorplan will be redeveloped to Land Rover specifications. He also reviewed the parking lot, fence and lighting of the site plan.
- 2. At the PC meeting on September 13, 2017, approximately 5 neighbors who live in the residential neighborhood south of the subject property expressed concerns for the proposal. The concerns focused on the sound of the additional traffic, machines and tire sounds coming from the overhead door facing south, where serviced cars would enter and exit to an area with 19 car lifts and a car wash space. The delivery times for parts and cars was also a concern by the neighbors, and complained that the current Land Rover site receives deliveries at 2 AM. Residents who live directly south/adjacent from the subject property requested for an attractive fence, and functional fence to block sound and lighting from reaching their home.
- 3. At the PC meeting on September 13, 2017, the application was unanimously continued for the October 11, 2017 PC meeting, with the recommendation that the applicant install new plants around the perimeter of the lot, and to present revisions to resolve the issues expressed by the neighbors. However, the applicant requested to continue the agenda item for the November 8, 2017, PC meeting to host a third neighborhood meeting on October 30, 2017, to review changes per the concerns raised at the second neighborhood meeting on October 2, 2017.
- 4. On November 8, 2017, the applicant, Kevin Jacobs, presented its revised plans to the PC, and stated the revisions reflect the neighborhood meetings and discussions between neighbors and the Village. Some examples include: south facing garage doors will be sealed by brick and not be used, various building/parking lot lights have been removed and dimmer (data shown on photometric plan), new fence options with a height change per the neighbor's request at 808 Oak Street (8' to 6'), relocated refuse further away from the south property line, arborvitaes along the entire fence, and Oak Street bushes to be trimmed down to 5 feet.
- 5. There were approximately 5 neighbors at the November 8, 2017, PC meeting who expressed concerns regarding the lighting, the short trimmed height of the Oak Street bushes, and proposed fence options. In regards to lighting, neighbors are worried that it will be too bright, and do not trust that the applicant will adjust the lighting once it is installed. A neighbor, Michael Stick, reviewed a petition letter signed by approximately 25 neighbors, and reviewed why he and the neighbors are opposed to the fence options. In short, they believe the presented fence options are not adequate in regards to sound-absorption, and are designed for residential use. A review of his understanding of sound ratings (STC), ended with a conclusion that the neighbors demand a brick or concrete wall/barrier versus a "fence".
- 6. There were also 2 Hinsdale residents, who introduced themselves as not nearby neighbors, but explained that some of their family members work/worked at the current Land Rover dealership, and expressed that they are good people and a positive business in the Village.
- 7. The PC in general, expressed that they are pleased about the dialog and effort between the applicant, neighbors and staff. The PC added that they appreciate the changes the applicant has made, per the neighborhood meetings and discussions, and believe the only fundamental issue for further discussion appears to be the fence/barrier/wall.

#### II. RECOMMENDATIONS

Following a motion to recommend approval of the exterior appearance/site plan application as presented, the Plan Commission, on a vote of 7-0 (1 abstained, 1 absent), recommends that the President and Board of Trustees approve the application as submitted, subject to continued discussion among the applicant, neighbors and Village to try to reach a mutually agreed upon solution relative to the barrier, and with the following specific Plan Commission recommendations:

- 1. That the barrier be a precast or cast-in-place concrete or equivalent barrier along the entire property line between the property and neighbors;
- 2. That the landscaping be revised to include a mix of species and the Site Plan revised to reflect 10-foot arborvitaes;
- 3. That exterior lights be dimmed to security levels no later than one (1) hour after closing; and
- 4. That the barrier be placed at the highest available point along the property perimeter.

THE HINSDALE PLAN COMMISSION By:		, Chairman	
	Dated this	day of	, 2018.



#### **MEMORANDUM**

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** Off-Site Signage on Median at Ogden Avenue and Salt Creek Lane – MedProperties (8

Salt Creek Campus, LLC) –Illuminated Off-Premise Ground Sign - Case A-45-2017

#### Summary

The Village of Hinsdale has received a non-compliant sign application from QT Signs, on behalf of MedProperties/8 Salt Creek Campus, LLC, requesting approval to install a new illuminated, off-premise identification ground sign on the median of Ogden Avenue and Salt Creek Lane, in the O-3 General Office District.

On April 15, 2015, the request was initially part of an eight (8) ground sign variation application by MedProperties for the subject properties at 8, 10, 11 and 12 Salt Creek Lane and 901 and 907 Elm Street. On June 10, 2015, the Plan Commission (PC) expressed concern over the location of this off-premise ground sign on the median, citing concerns over the line-of-sight, size of the sign and sign content. To this end, the PC recommended approval of the sign to the Board of Trustees with the condition that it is 6' tall and 4' wide (24 SF) with only the text "Salt Creek Lane" on both sides. On August 27, 2015, the applicant removed the sign from the application, citing that it was unlikely to be approved as designed/presented.

This is a revised ground sign request, proposed at the same location, and is 8' tall and 6' wide (48 SF). The content, per the concerns of the PC in 2015, does not include MedProperties branding, and exhibits generic locations and services north of Salt Creek Lane. Per the recommendation by IDOT, the sign construction is designed with breakaway features. Should the PC approve the sign, the request would then move on to the Zoning Board of Appeals (ZBA) for its consideration.

#### **Request and Analysis**

The requested off-premise illuminated ground sign complies with the 100' sight distance triangle. It features a 10" simulated limestone base, thin brick veneer over a breakaway structure and simulated limestone cap. The colors of the brick veneer and simulated limestone are chosen to match the existing signage in the area. The application includes the breakaway post detail for the base of the sign, indicating it is approved by the Federal Highway Administration and designed to collapse under a 10 MPH crash.

# VILLAGE OF Linsdale Est. 1873

#### **MEMORANDUM**

The sign is illuminated by LED lighting recessed into the simulated top and bottom limestone caps, and runs the width and depth of the sign. There is an illustration sim photo of the daytime and illuminated sign at night. The text is black during the day and illuminates white at night.

Per the code, ground signage is limited to 1 per lot, not to exceed 50 SF per sign face and no taller than 8 feet. The applicant, MedProperties, has ground signage for 8, 10, 11 and 12 Salt Creek Lane and 901 and 907 Elm Street. This sign requires variation approval to allow (1) off-premise signage, (2) illumination of off-premise signage, (3) more than 1 ground sign per lot.

On June 10, 2015, the PC recommended approval of the sign to the Board of Trustees with the condition that it is 6' tall and 4' wide (24 SF) with only the text "Salt Creek Lane" on both sides. The latter condition was based on concerns that MedProperties would brand the entire "office park" north of Salt Creek Lane. This request excludes addresses, branding and allocates a space to the Hinsdale Humane Society. It should be noted that the current ground sign for: 8 Salt Creek Lane includes "Immediate Care" on the sign face and 10 Salt Creek Lane includes "Surgery Center" on the sign face (Attachment 4).

#### **Process**

This application requires review by the ZBA since it includes variations beyond the sign modifications the PC are authorized to permit. The PC will forward its decision/recommendations to the ZBA based on the standards for sign permits. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

- 1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
- 2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
- 3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
- 4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

#### Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Sign Location

Attachment 3 - PC Findings and Recommendations, Minutes and approved Signs 1-3, dated 06.10.15

Attachment 4 - Approved/existing MedProperties Ground Signs 5, 6, 7, 8, and 9 from 2015

Attachment 5 - Parcel Map of Salt Creek Lane Properties



#### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor		
Name: 8 Salt Creek Campus LLC	Name: QT Signs		
Address: 40 Skokie Boulevard, Suite 410	Address: 1391 Wright Boulevard		
City/Zip: Northbrook, IL 60062	City/Zip: Schaumburg / 60194		
Phone/Fax: (847) 897-7305 /	Phone/Fax: (847) 847-524-7950 /		
E-Mail: pkopecki@medpropertiesgroup.com	E-Mail: qtsignsbill@gmail.com		
Contact Name: Paul Kopecki	Contact Name: Bill Chase		
Contact Ivanic.	Contact Ivanic.		
ADDRESS OF SIGN LOCATION: Ogden Avenue ar	nd Salt Creek Lane		
ZONING DISTRICT: Please Select One			
SIGN TYPE: Monument Sign	*Illumination cannot exceed 50 foot-		
ILLUMINATION Internally Illuminated	candles as defined in Section 9-106(E)(b)		
Sign Information:	Site Information:		
Overall Size (Square Feet): 48 (8 x 6)	Lot/Street Frontage: Median @ Ogden & Salt Creek Lane		
Overall Height from Grade: 8 Ft.	Building/Tenant Frontage:		
Proposed Colors (Maximum of Three Colors):	Existing Sign Information:		
Silver Metallic	Business Name:		
Slate Metallic	Size of Sign: 48 Square Feet		
<sub>❸</sub> Black	Business Name:		
	Size of Sign: Square Feet		
I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.			
Pen / Comb 5 10/20	6/2017		
Signature of Applicant Date	_		
Pollowsh 10/20	10/26/17		
Signature of Building Owner Date			
FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE			
Total square footage: $x $4.00 = 0$	(Minimum \$75.00)		
Plan Commission Approval Date: Admin	Administrative Approval Date:		



## Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1 201 West Center Court / Schaumburg, Illinois 60196-1096

#### **PERMITS**

Location: US 34 (Ogden Ave.) at Salt Creek Lane / Oak Street

Municipality: Village of Hinsdale, DuPage County

Re: Salt Creek Lane Monument Sign

Reference No.: 022-57528

October 24, 2017

Mr. Curtis P. Dettmann, P.E. Project Manager Manhard Consulting, Ltd. 700 Springer Drive Lombard, IL 60148

Dear Mr. Dettman:

We have completed our review of your Salt Creek Lane Monument Sign Installation request for the subject location. Because the sign is proposed outside of State right of way, the Department cannot approve nor disapprove its location. We can, however, recommend that the sign be placed away from the intersection of US 34 and Salt Creek Lane / Oak Street so as to not inhibit a vehicle's sight distance and be made of breakaway materials as opposed to the currently-shown brick veneer with limestone cap since it is proposed in a location that could be hit by an errant vehicle. This could potentially create safety hazards for pedestrians and/or vehicles if an incident were to occur due to the sign's placement.

If you have any questions regarding this matter, please contact Jonathan Karabowicz at (847) 705-4149.

Very truly yours,

Anthony J. Quigley, P.E. Region One Engineer

By:

Thomas G. Gallenbach, P.E. Traffic Permit Engineer



Civil Engineering
Surveying
Water Resources Management
Construction Management
Landscape Architecture
Land Planning

November 9, 2017

Chan Yu Village Planner Village of Hinsdale 19 E. Chicago Avenue Hinsdale, Illinois 60521

RE: Salt Creek Lane Monument Sign Approval

Dear Mr. Yu,

Based on the attached review letter of the Salt Creek Monument Sign by the Illinois Department of Transportation (IDOT), it was verified that the proposed sign location is outside of the IDOT right-of-way. Because the proposed sign is outside of the IDOT right-of-way, IDOT cannot approve or disapprove the sign or the location as stated by the IDOT Traffic Permit Engineer in the letter.

IDOT can make recommendations, which it did in its letter by recommending that the sign be placed where it will not inhibit a vehicle's sight distance and that the proposed sign have breakaway technology like what IDOT requires in its right-of-way. IDOT did not recommend that the proposed sign location be changed.

Since there are no IDOT objections to the proposed sign location, and IDOT is unable to approve or disapprove the sign or its location because the sign is not in IDOT's right-of-way, approval of the sign placement on Salt Creek Lane is entirely in the purview of the Village of Hinsdale.

Thank you,

Curtis P. Dettmann, P.E.

**Project Manager** 

Encl.

KIPER design group, inc.

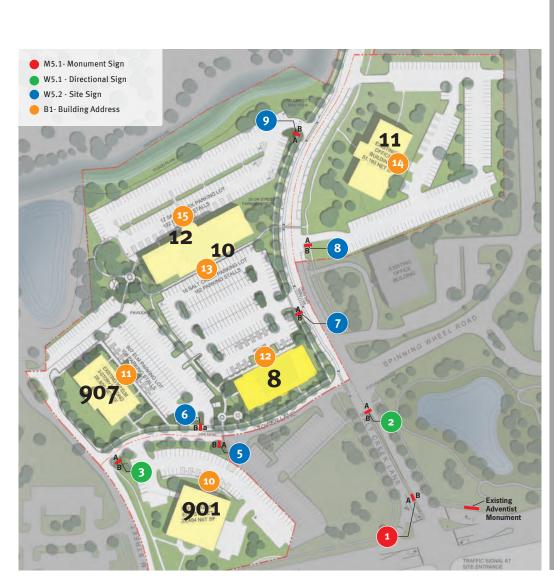


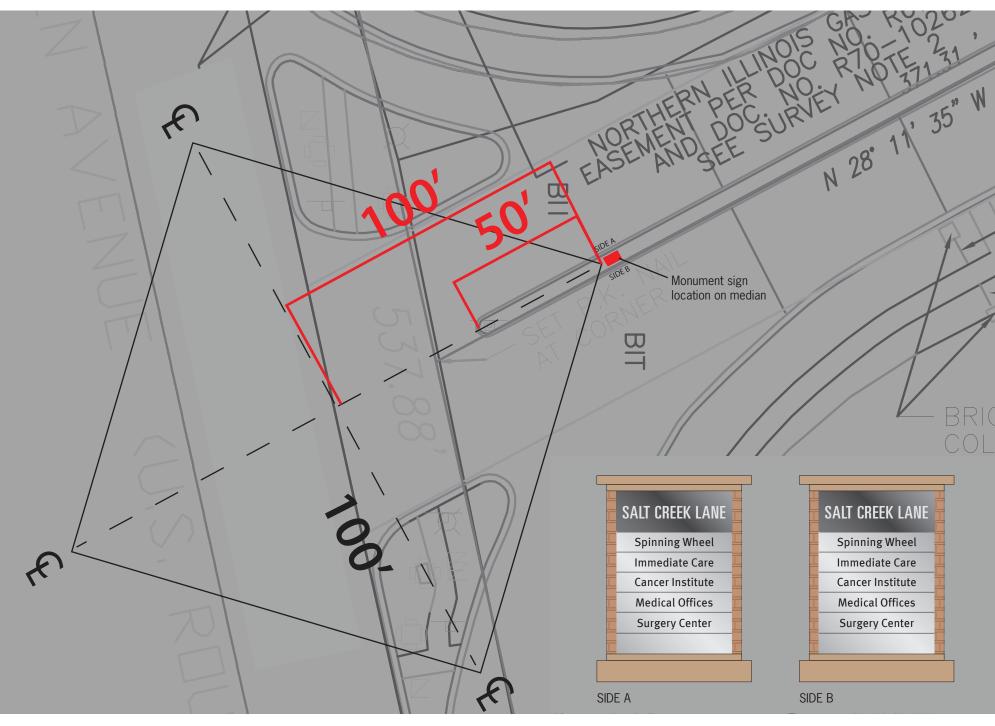
October 25, 2017

Salt Creek Lane Monument Sign Proposal

Med Properties

Northbrook, IL 60062





NOTE: All sign locations are to be sited with Med Properties on an on site walkthough and staked for final locations.

Med Properties

Northbrook, IL 60062

40 Skokie Boulevard, Suite 410



10.25.17

# Rendering on Location



SIDE A - View driving east on Ogden Ave



SIDE B - View driving west on Ogden Ave



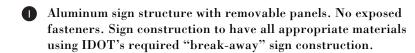
Med Properties 40 Skokie Boulevard, Suite 410 Northbrook, IL 60062 Cardosi Kiper Design Group 2437 South Western Avenue Chicago, Illinois 60608 P 773.523.9300 F 773.523.9305 www.ck-dg.com Phase 4.0 Construction Documents Salt Creek Medical Campus Hinsdale, Illinois 10.25.17

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## **Construction Documents**

### "Break-Away" Sign Construction



2 Routed day/night illuminated push thru acrylic letters, flush with sign face. Allow for appropriate letter tracking for optimum illumination.

Lettering appears black during the day and illuminates white at night.

**Tenant Panel:** 

Font: Meta Office Book

Paint: P1 MP18073 Pale Silver Metallic

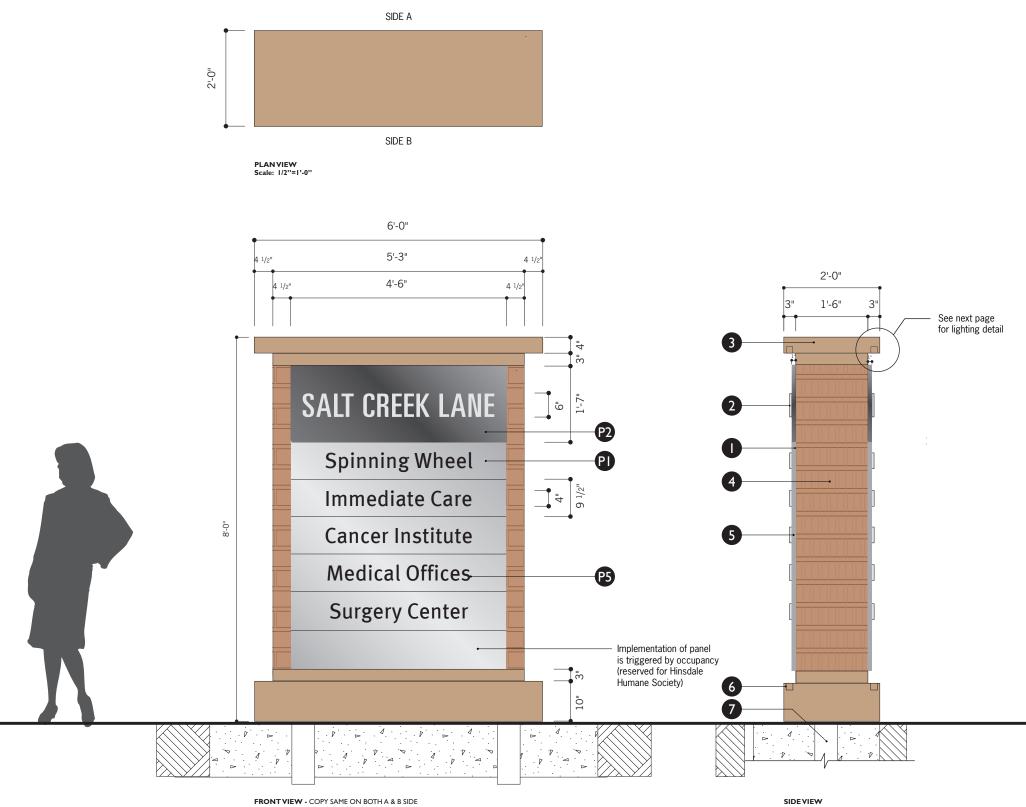
Salt Creek Lane Panel:

Font: Univers 59 Ultra Condensed Paint: P2 MP18207 Slate Metallic

- 3 Limestone-look cap using "break-away" sandstone veneer with recessed light source to highlight masonry.
- 4 Brick veneer sign structure. "Break-away" sign construction to have appropriate interior steel structure. Brick veneer to match site signage.
- 5 1" aluminum pan (P2) with illuminated push thru day/night acrylic letters 1/2" from pan face.
- 6 Limestone-look base using "break-away" using sandstone veneer with recessed light source to highlight masonry.
- 7 All foundations and footings to be adequate for support of sign and with "break-away" materials and technology.

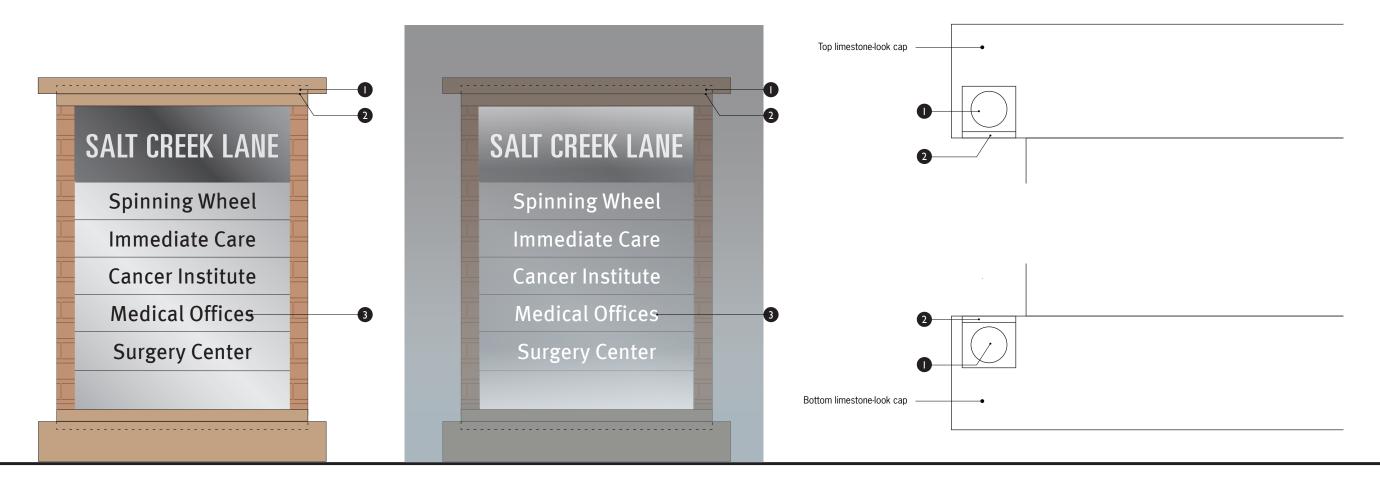
#### GENERAL NOTES

- A. All signs to be certified as IDOT "break-away" technology.
- B. All drawings to be stamped and sealed by a licensed engineer.
- C. Sign faces to have absolutely no "oil-canning."
- D. Sign fabricator to repair any damage to landscaping during installation.
- E. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- F. All signs to be readily accessible for bulb replacement.
- G. All signs to be controlled by a single astronomical time clock timer.
- H. Signs to be installed and connected to power provided by owner.



# Lighting Detail

- Lighting to be recessed into the top and bottom limestone caps and run the width and depth of the brick sign structure. LED light source to wash the face of the brick.
- 2 Acrylic lens.
- 3 Day/Night acrylic push thru letters. Lettering appears black during the day and illuminates white at night.



DAYTIME Scale: 1/2"=1'-0" NIGHTTIME Scale: 1/2"=1'-0" SECTION VIEW



CARDOSI KIPER design group, inc.

ARROWS



META OFFICE BOOK

ABCDEFGHIJKLMNOPQRSTUVWXYZ abdefghijklmnopqrstuvwxyz 1234567890

**UNIVERS 59 ULTRA CONDENSED** 

ABCDEFGHIJKLMNOPQRSTUVWXYZ abdefghijklmnopqrstuvwxyz 1234567890

#### **COLORS**



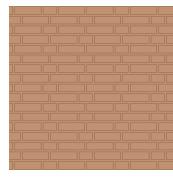


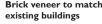


P3 Blacl

MP18073 Pale Silver Metallic

**MATERIALS** 







Limestone to mate existing buildings

#### PART 1 – GENERAL

- 1.1 The work shown in plans, elevations, specifications, work orders, or other drawings (the Drawings) provided is subject to the requirements of the Contract Documents including the General Conditions, Special and Supplementary Conditions and Requirements for Bidding and Instructions for Bidders.
- The Contract shall be governed by the applicable laws and/or ordinances of the State of Illinois, the City of Hinsdale and any other governing body having jurisdiction over the place where the work is performed.
- Final Location of Signs В.

The location of signs as shown on the Sign Drawings is for general reference only and is not representative of the exact final locations. The final locations of signs shall be field located in coordination with the signage consultant and the Owner, at the site.

Final Message Schedule

A final message schedule shall be provided that lists every sign location. The schedule shall be keyed into a sign type with the exact message terminology for each sign location. The schedule will be available at the contract award.

#### DESCRIPTION OF WORK 1.2

- Review and approval of all signage product data, color/material samples, sign face layouts for all sign types, and shop drawings is required prior to construction.
- Interior signs are not part of this scope of work
- Exterior signs included in this Section:
  - M Monument Signs
  - 1. Sign Type M5.1 Primary Monument Pylon (Illuminated)
  - W Wayfinding Signs
  - 2. Sign Type W5.1 Directional Sign (Illuminated)
  - 3. Sign Type W5.2. Site Sign (Illuminated)
  - B Building Entrance Sign
  - 4. Sign Type B1 Building Address (Non-Illuminated)
- Contractor to provide as requested and required by the Owner the sign work shown on the Drawings, including but not limited to:
  - 1. Fabrication and installation of new signs, sign panels, foundation, letters, and components with

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Chicago, Illinois 60608

#### **EXTERIOR SIGNAGE SPECS SECTION 10400**

- message copy and symbols, including all engineering, and erection.
- 2. Review Drawings, Shop Drawings, Working Drawings, As-Built Drawings and incidentals.
- 3. All required submittals, materials, equipment, tools, labor, temporary light and power.
- 4. Provide all materials, fasteners, structures, brackets, and other structural and mounting hardware necessary for fabrication and installation of the signs.
- Engineering of signs, sign structures, sign mounting components and hardware and components, sign foundations and footings for structural adequacy. All signs, sign mounting, and sign support components must be engineered by the fabricator. Shop Drawings to be stamped by a licensed engineer in the State of Illinois.
- 6. Color, finish, material and process matching for all work.

#### REFERENCE STANDARDS 1.3

- Where more stringent requirements than those described in the Drawings and/or specifications are set forth under codes, law and/or ordinances of Federal, State and local governing bodies having jurisdiction, notify the Owner in writing before proceeding with work. Work is subject to the applicable portions of the following standards:
  - 1. All work shall comply with City of Hinsdale codes and ordinances.
  - 2. AWS D1.1 "Structural Welding Code", American Welding Society
  - SSPC SP-6 "Surface Preparation Specification No. 6, Commercial Blast Cleaning, Steel Structures Painting Council
  - SSPC PA-1 "Painting Application Specifications", Steel Structure Painting Council
  - "Aluminum Finishes for Signage Consultanture", Aluminum Association
  - "Code of Standard Practice of Steel Buildings and Bridges", AISC
  - "Specifications for Design, Fabrication and Erection of Structural Steel Buildings", AISC
  - 8. American Society for Testing and Materials (ASTM):
    - ASTM 46 "General Requirements for Delivery of Rolled Steel, Shapes, Sheet Piling and Bars for Structural Use"
    - b. ASTM B209 "Aluminum and Aluminum Alloy Sheet Plate"
    - ASTM B221 "Aluminum and Aluminum Alloy Wire, Rod, Bar, Shapes and Tube; Extended"
    - d. ASTM B241 "Aluminum and Aluminum Alloy Tube; Extended, Seamless"
    - ASTM E1164 Standard Practice for Obtaining Spectrophotometric Data for Object Color
    - f. ASTM E308 Standard Method for Computing the Colors of Objects by Using the CIE
    - ASTM E284 Standard Definition of Terms Relating to Appearance of Materials
    - ASTM D4956 Standard Specification for Retroreflective Sheeting for Traffic Control
    - ANSI/ASTM E329 Specification for Agencies Engaged in the Testing and/or Inspection of **Materials Used in Construction**
  - "Specifications for Assembly of Structural Joints Using High Strength Steel Bolts" as approved



Med Properties

the Research Council on Riveted and Bolted Structural Joints of the Engineering Foundation

- 10. "Handbook on Bolt, Nut and Rivet Standards", Industrial Fasteners Institute
- 11. "Steel Structures Painting Manual, Volume 2, Systems and Specifications" SSPC
- 12. All signage to comply with applicable sections of the Americans with Disabilities Act (ADA) and the Illinois Accessibility Standards (IAC)
- 13. Contractor to comply with all applicable regulations of the Occupational Safety and Health Administration (OSHA)
- 14. AASHTO M68 "Standard Specification for Retroreflective Sheeting for Traffic Control"

#### INTENT OF PLANS AND SPECIFICATIONS

- The Owner shall be notified in writing by the Contractor of any discrepancies in the Drawings, in field dimensions or conditions and / or changes required in construction details.
- The Drawings show design intent and are not intended to cover every detail of materials, parts, construction, mounting or installation. The Contractor shall furnish all required engineering, materials, parts, construction, mounting, and installation necessary to complete the entire work, whether or not said details are shown or specified, at no additional cost to the Owner.
- The location of signs as shown on the Sign Location Plans is for general reference only and is not representative of the exact final locations. The sign locations are to be coordinated with the owner. The final sign locations are to be established on the Shop Drawings to be reviewed by the Owner, Signage Consultant, and Engineer.
- Contractor shall verify all sign locations in a preinstallation walkthrough and locate all signs with a D. semipermanent staked location. Permanent signs to be mounted in exact marked locations.
- All drawings provided by Contractor for final fabrication shall be stamped and signed by a licensed engineer in the State of Illinois.

#### PROJECT / SITE CONDITIONS

- Before sign components are delivered to the site, the contractor to examine the locations in which the signs are to be erected, and report in writing any conditions, which will have an effect on the appearance or design intent of the sign, or prevent proper execution of the work or endanger its permanency. The erection of the sign shall not proceed until such conditions are resolved, corrected or adjusted and Contractor receives written notice.
- Contractor to obtain measurements at the site and not from the Drawings for correct lengths of sign supports and other items required to be accurately fitted. Design (subject to review by the Owner), engineer, fabricate and install sign supports and attachments. The Contractor will be responsible for the engineering, accuracy of measurements, and the precise fitting and assembly of the finished products. Written dimensions on Drawings shall have precedence over scaled dimensions.

#### **EXTERIOR SIGNAGE SPECS SECTION 10400**

Modifications to written dimensions shall be made only when accepted in writing by the Owner.

- The sign fabricator is responsible for JULIE (Joint Utility Locating Information for Excavators) locating any utility conflicts at each sign location. For more information reference www.illinois1call.
- Additional hand dig may be required for locating other facilities including but not limited to irrigation conflicts. For more information on irrigation systems, PCH can provide landscaping reference drawings.
- All locations are staked by contractor and need to be field verified with owner or owners representative. Owner requires on site field verification walkthrough with Contractor and owner or owners representative.

#### COORDINATION

- Coordinate sizes of finished sign assemblies with access limitations to final locations.
- Coordinate with the Med Properties package as required.
- Coordinate with other trades involved in the fabrication and erection of the signs or those trades which may be affected by the work shown in the Drawings and/or any approved variations.
- Owner is to provide removal of existing signs, repair to site as required. Contractor to coordinate installation of signs with owners removal of existing signs.
- Owner to provide electrical to all illuminated locations. Contractor to coordinate installation of signs with electrical work.

#### DELIVERY AND PROTECTION

- Before delivery to the site, each sign shall be tagged or labeled with identifying number and installation location as shown on the Drawings. Labeling shall be both on the sign and the protective covering. Labels on the signs shall be hidden when the sign is installed (unless otherwise specified) or shall be removed without damage to the sign at time of installation.
- Finished surfaces shall be adequately protected during all phases of the work to prevent damage by scratches, stains, discoloration, or other causes. Damage to any surface during fabrication, handling, shipment, storage and the Contractor at his own expense shall remedy installation.
- Contractor to arrange with the Owner to provide adequate, secure, locked storage for signs, which have been delivered to the site but not yet installed. If adequate storage space is not available, the



Contractor is to coordinate delivery of the signs to coincide with installation.

- If not specified for removal from the site and proper disposal by the Contractor, the Contractor is to arrange with the Owner to provide secure, locked, long term storage for signs, sign structures or materials taken down, removed or dismantled.
- Wherever installed signs are exposed to possible damage from ongoing construction, the Contractor will install protective barriers or other measures so as to protect the signs from becoming dirty, dusty, or damaged.
- Owner is to provide removal of existing signs, patching and painting of signs as required. Contractor to coordinate installation of signs with owners removal of existing signs.
- Contractor to repair any damage to landscaping during installation.

#### 1.8 QUALITY ASSURANCE

- All work shall be done by skilled workmen, especially trained in this type of work. All work done must pay prevailing wage to the workers. It is Seller's responsibility to determine the appropriate current
- Submit adequate evidence to the Owner prior to the awarding of the Contract that the items to be furnished will conform completely to the Contract Documents
- A minimum of 50% of the work shall be performed by the Contractor's own forces. Contractor must list all subcontractors, and work being contracted for as an attachment to costing sheet. Subcontractors cannot be changed without pre-approval by owner.
- Contractor must be a firm with at least ten years of successful experience with projects of similar scope. Upon request, the Contractor to provide references, including contact names and telephone numbers, for past projects of similar complexity and scope. Contractor shall be a member of a recognized professional organization including, but not limited to, SEGD or NESA.
- Contractor to provide financial statements for the past 5 years.

#### WARRANTY/CORRECTION OF WORK

- Warranties listed below are in addition to and not a limitation of, other rights Owner may have under the Contract Documents.
- Fastening devices and adhesives should be tamper-proof, non-corrosive and warranted as to

#### **EXTERIOR SIGNAGE SPECS SECTION 10400**

permanency of performance.

- Contractor to warrant to the Owner in writing that the materials and equipment furnished under the Contract will be of good quality and new unless otherwise required or permitted in writing by the Owner, that the work will conform with the requirements of the Contract Documents and the work will be free of defects not inherent in the quality required or permitted in writing by the Owner. Work not conforming to these requirements, including unauthorized substitutions, may be considered defective. If required by the Owner, furnish satisfactory evidence as to the kind and quality of materials and equipment.
- Warrant to the Owner in writing that the acrylic polyurethane finishes furnished under the Contract will be of good quality, free of defects in appearance or application, will not develop excessive fading or excessive non uniformity of color, will not crack, peel, or otherwise fail as a result of defects in materials or workmanship for a period of five (5) years beginning upon final acceptance by the Owner.
- **Sheeting Replacement Obligation** 
  - 1. Where it can be shown that signs with sheeting, supplied and used according to the sheeting manufacturer's recommendations, have not met the performance requirements stated in this Specification, the Contractor shall cover restoration costs as follows for sheetings shown to be unsatisfactory:
  - 2. For ten (10) years after date of installation, the Contractor will replace the sheeting required to restore the sign surface to its original effectiveness.
  - 3. In addition, for seven (7) years after date of installation, the Contractor will cover the cost of restoring the sign surface to its original effectiveness at no cost to the Owner for materials and
- If, within two (2) years after final acceptance of the Work, any of the work is found to be defective or not in accordance with the requirements of the Contract Documents, the work shall be corrected promptly after receipt of written notice from the Owner to do so, unless the Contractor has previously received written acceptance of such condition. Correction of work to be completed at no additional cost to the Owner. This obligation shall survive termination of the Contract. All work to be done at a time convenient to the Owner.
- Contractor to remove from the site and properly dispose of, at his own expense, portions of the work which are defective or not in accordance with the requirements of the Contract Documents and are neither corrected by the Contractor nor accepted by the Owner.
- If the Contractor does not proceed with the correction of work after a reasonable time fixed by written notice from the Owner, the Owner may have the work corrected. The cost for the corrections to be deducted from the payments due the Contractor. If payments due the Contractor are not sufficient to cover such amounts, the Contractor shall pay the difference to the Owner. If there are no payments due the Contractor, the Contractor shall pay the entire amount of the cost of the corrections to the



Hinsdale, Illinois

#### Owner.

- I. Contractor must be fully bonded and insured.
- J. Contractor must provide for insurance as required by Med Properties.

#### 1.10 MAINTENANCE INSTRUCTIONS

- A. Contractor to provide written or printed maintenance and safety inspection instructions to the Owner outlining proper maintenance procedures for all sign types installed under this Contract. A scheduled maintenance program should include regular inspection of the sign structures for safety defects.
- B. Contractor to provide to Owner in manufacturer's original packaging and store at the project site where directed the following:
  - 1. One (1) gallon of touch up paint for each of the colors specified.

#### 1.11 SAMPLES AND SUBMITTALS

- A. Submit a list of all subcontractors, including company name, company address and telephone number, contact name, a minimum of three (3) company references and the percentage of work to be performed by each, for review and approval by the Owner.
- B. Fabricate only from reviewed Shop Drawings. Prior to submission, verify submittal and re-submittal formats, quantities, and procedures with the Owner and Signage Consultant. Shop Drawing submittals will be returned appropriately stamped. Shop Drawings will be checked only for conformance with the design intent of the project. Approval of the Shop Drawings shall not be construed as permitting any departure from the Contract requirements, as relieving the Contractor of the responsibility for any error in details, dimensions or otherwise, as departure from additional details, bulletins or instructions previously furnished by the Owner, unless same has been specifically approved in writing. Also, Shop Drawing approval shall not relieve the Contractor from responsibility for any errors which may exist in the item submitted. If the submitted Shop Drawings show variations from the Contract requirements, make specific reference to such variations on the Drawings and in the letter of transmittal with request for approval. Any substitutions and modifications shall be made only when accepted in writing by the Owner.
- C. If additional review of the Shop Drawings is required after two (2) submittals and two (2) resubmittals, the Owner is to be compensated for any fees or charges for time required to complete subsequent reviews required for acceptance of the Shop Drawings.
- D. Reproduction of any portion of the Owner Construction Documents for use as submittals or Shop Drawings is unacceptable. Such submittals will be returned un-reviewed.
- E. Submit samples of all materials, alphabets, symbols, colors, finishes, fixtures, fittings, extrusions and

## EXTERIOR SIGNAGE SPECS SECTION 10400

hardware as directed by the Owner and Signage Consultant. Color match samples to be provided for each color specified using each graphic technique. Provide color proofs for all digital outputs. The Owner will review the samples and submittals for conformance with the design intent of the project.

- F. Show the sign face graphics for all sign types and sign locations. Camera-ready art for symbols and logos to be Macintosh based digital files provided on CD by Signage Consultant. Sign face layouts are to be in scale. All sign face layouts are to show actual typographic and symbol layout in solid black graphics on white background with the perimeter of the sign face indicated. Font names and color breaks are to be indicated. Layouts will be reviewed for content, accuracy of alignments, typeface, type weight, letter spacing, word spacing, and symbol quality, and quality of reproduction. All work will be expected to conform to the quality of letterform, spacing and acuity of the samples.
- G. All samples and submittals are to be made with such promptness as to cause no delay in the work. Allow a minimum of ten (10) working days for review and response.
- H. Samples and submittals are to be made in accordance with the General Conditions. Samples and submittals are to be of 6" x 6" size to show quality, type, color range, finish, texture, etc. The Contractor shall be responsible for the timely delivery of the samples and submittals in good condition, freight prepaid.
- I. Any work undertaken prior to receipt of written acceptance of the samples and submittals, shall, based upon the acceptance or rejection of the samples and submittals, be corrected at the Contractor's expense. All approvals will be in writing. All materials furnished for the project must be as represented by the approved samples and submittals.
- J. Message Schedules for review shall be provided in the same format and layout (Filemaker Pro) as Signage Consultant's Message Schedule format. Contractor can include company identification on the titleblock.

#### 1.12 PROTOTYPE SIGNS

- A. Prior to commencing fabrication of the final signs, the Contractor shall provide one full size color digital sign face for each sign type for review at the site.
- B. Prior to commencing fabrication of the final signs, the Contractor shall provide one prototype sign type for approval of fabrication technique and quality. Prototype that are approved may be used as a final sign.

#### M - Monument Signs

1. Sign Type M5.1 Primary Monument Pylon (Illuminated) – Partial sections A & B. See sign type drawing for sections.

#### 1.13 AS-BUILT DRAWINGS

Provide As-built drawings for all sign types that reflect the final construction and approved colors and



Hinsdale, Illinois

#### materials.

B. Provide as built message schedule to reflect all final approved messages as a Filemaker Pro document

#### PART 2 – PRODUCTS

#### 2.1 SYSTEM PERFORMANCE

- A. Signs and Sign Components, Letters, Symbols, and Logos
  - Sign components, letters, symbols, and logos shall be constructed to present a neat, clean appearance. Edges and corners shall be true and free of saw marks or other defects.
  - Sign components shall be constructed as shown on the Drawings. External surfaces of sign
    components, faces, structural brackets, elements, and pendants to be finished to match colors
    specified.
  - All artwork shall be enlarged photographically to sizes and placement as shown on Drawings.
     Assemble legends and prepare camera-ready art.
  - 4. Each sign shall have access to allow servicing of components. Finish of removable sign surfaces shall match surrounding material, unless otherwise noted. Provide concealed, tamper resistant fasteners and hold open devices adequate for safety and ease of maintenance. Hold open devices shall not be released accidentally, or by the action of the wind and must not interfere with the display when the access panels are closed.
- B. All sign cabinets are to be rain tight. Service access covers are not to be located on the tops of cabinets.

#### 2.2 MATERIALS AND MANUFACTURERS

- A. Source Quality Control
  - 1. Obtain primary materials from a single manufacturer.
  - 2. Provide secondary materials only as recommended by manufacturer of primary materials.
  - 3. Do not change source or brands of materials during fabrication.
- B. Aluminum
  - Material of alloy and temper as best suited to furnish the finish and strength required.
     Extrusions, plate and sheet as per the Drawings, or equivalent as approved by the Owner and Signage Consultant.
  - 2. Aluminum: ANSI/ASTM B 209
- C. Steel
  - $1. \quad \text{Sheet Steel-cold rolled into 16 gauge channels and other shapes, galvanized, primed.} \\$
  - 2. Structural Steel When structural steel is required, all steel shapes, pipes, etc. are to comply

## EXTERIOR SIGNAGE SPECS SECTION 10400

with all applicable standards.

- 3. Steel Sections: ASTM A 36.
- 4. Steel: ASTM A 283.
- 5. Steel Pipe: ASTM A 53, Grade B.
- D. Acrylic Sheet: "Plexiglas" (Rohm & Haas or equivalent). Thickness of material to be determined by Contractor, subject to review by Owner and Signage Consultant, but is to be not less than 1/8" thick.
- E. Di-Noc film available from 3M
- F. Unfinished Threaded Fasteners
  - 1. ASTM A 300 Series Grade A non-magnetic stainless steel.
  - 2. Tamper resistant screws Stainless steel, tamper resistant drilled spanner drive screws or equal as approved by Owner and Signage Consultant.
- G. Opaque and Reflective Graphic Films/Sheeting
  - Prepare substrates to receive 3M Graphic Films and Sheeting per the appropriate 3M Specifications.
  - 2. 3M ElectroCut 1170 to be used on VIP Series 3990
- H. Paint
  - 1. Paint to be applied per manufacturer's instructions.
  - 2. For painted sign faces, cabinets, brackets and components minimum two coats, Matthews Acrylic Polyurethane, with UV inhibiting satin clear coat, over compatible primer appropriate for substrate.
- I. Colors
  - 1. Colors listed for application using paint/coating specified. Color numbers refer to the Drawings. Submit appropriate samples for review and approval. Final color information for logos to be provided. Owner to have sole authority to determine whether match is accurate.
- J. Lettering Style
  - 1. Meta Office and Univers 59
  - 2. Letter weight to match Drawings. Sign face layouts shown on the Drawings are for reference only. Shop Drawings to show letterforms with inter-letter and inter-word spacing per the standards for the font used. Legends shall include letters, numbers, arrows, symbols, logos, graphics, borders, characters, typography, and other applications shown for sign panels. Enlargement or reduction of artwork applications shall be done photographically. Hand-cut masks or templates will not be accepted. Contractor to submit samples of all alphabets, symbols, arrows, and logos for review and approval prior to fabrication. Font name(s) and color breaks/application to be indicated on the Shop Drawings.
  - 3. Sign lettering shall be executed in such a manner that all edges and corners of letterforms and



symbols are true, clean, photographically precise and must accurately reproduce the letterforms.

#### K. Symbols

- 1. Symbols, logos and logotype to match standards as shown. Original art for all symbols, logos and logotype to be supplied by Signage Consultant.
- 2. Symbols and logos shall be executed in such a manner that all edges and corners are true, clean, photographically precise and must accurately reproduce the symbol or logo.

#### L. Silk Screen

1. Photographic screen. Hand cut screens will not be accepted. Screens shall be fine mesh fabric as required.

#### M. Silk Screen Ink

- Inks to be compatible with specified substrates and finishes. Do not blend materials from different manufacturers.
- 2. Acceptable Silkscreen Ink Manufacturers:
  - a. Naz Dar
  - b. Akzo Coatings
  - c. Spraylay Corp.
- 3. Inks for use with 3M Sheeting
  - a.  $\,$  3M 880 Series Ink and thinner for use with Series 3990 and 3870 3M Sheeting
  - b. 3M 3900, 9700 UV Series ink for Scotchcal 7725 and 3650

#### N. Double Sided Tape

- 1. VHB acrylic tape, thickness as required.
- O. Interior ADA Compliant Signs
  - 1. To comply with ADA regulations and requirements indicated for materials, thickness, finish colors, designs, shapes, sizes and details of construction.
  - 2. Sign face to be acrylic panel with Di-Noc film and appliqués lettering. Copy and Braille to be relieved 1/32inch minimum from plaque first surface by manufacturer's applique process. Precisely formed, uniformly indicated for size, style, spacing, content, position and color. Sign copy and Braille to comply with relevant ADA regulations and the requirements indicated for size, style, spacing, content, position and color. Contractor to translate sign copy to appear in Braille.
- P. Bolts, Nuts, Clips, and Washers: ASTM A 325 or ASTM A 307; galvanized to ASTM A 153 for

## EXTERIOR SIGNAGE SPECS SECTION 10400

galvanized components.

- Q. Locks: Universal locking mechanism as approved by Signage Consultant.
- R. Expansion Anchor Devices: Lead-shield or Toothed-steel, drilled-in expansion bolt anchors.
- S. Primer: Tnemec 10-99, modified alkyd, gray color, 2.0 to 3.5 mils dry film thickness minimum.

#### PART 3 – EXECUTION

- 3.1 EXAMINATION
- A. Examine conditions under which the signage is to be installed.
- B. Notify the Owner in writing of any unsatisfactory conditions.
- C. Do not proceed until unsatisfactory conditions have been corrected.
- 3.2 PREPARATION
- A. Protection: Mask off and protect areas, which may be stained, damaged or adversely affected by installation of the signs.
- B. Clean and prepare surfaces indicated to receive signs prior to installation in accordance with manufacturer's recommendations.
- 3.3 FABRICATION
- . Sign materials, design, sizes and thickness shall be as shown on Drawings and herein specified. Methods of fabrication, assembly and erection, however, unless otherwise specifically stated, shall be at the discretion of the Contractor, whose responsibility it shall be to guarantee satisfactory performance as herein specified.
- B. Contractor to provide interior sign assemblies. Contractor to furnish to the Owner engineering calculations to show that maximum stresses and deflections of signage, and signage support system, do not exceed specified performance requirements under full design loading.
- 2. Anchor bolt sizes and types should conform to the Shop Drawings prepared and stamped by the Contractor's licensed professional structural engineer. All bolts should be properly tightened and equipped with nut-locking devices when structures are erected.
- D. Insofar as practicable, fitting and assembly of the work shall be done in the shop. Work that cannot



- be permanently shop-assembled shall be completely assembled, marked, and disassembled before shipment, to insure proper assembly in the field. Unless otherwise noted, field joints in the face of signs will not be allowed. Contractor to coordinate sizes of finished assemblies with access limitations to final locations.
- E. Steel and aluminum shall be well formed to shape and size. Fabrication shall leave clean, true lines and surfaces. Carefully match exposed work to produce continuity of line and design. Joints, unless otherwise shown or specified, shall be accurately fitted and rigidly secured with hairline contact. Structural details are schematic and the Contractor shall be responsible for thickness of metal and details of assembly and support to give adequate strength and stiffness.
- F. Welding shall be in accordance with appropriate recommendations of American Welding Society, and shall be done with electrodes and methods recommended by manufacturers of alloys being welded. Type, size and spacing of welds shall be as shown on Shop Drawings. Welds behind finished surfaces shall be so done as to minimize distortion and discoloration on finished side. Weld spatter and welding oxides on finished surfaces shall be removed by descaling or grinding. Unless otherwise shown or specified, all weld beads on exposed polished surfaces shall be ground and polished to match and blend with finish on adjacent parent metal. Remove paint from existing steel members at contact areas and on surfaces with 2 inches of field welds, in order to attach signage steel supports. At attachments to exposed steel, grind exposed field welded joints smooth and restore to match factory finishes.
- G. Welding shall be executed by experienced, certified operators with proper equipment and training and who have been qualified previously by tests as prescribed in the American Welding Society's "Standard Qualification Procedure" to perform the work required.
- H. The Contractor shall be responsible for maintaining correct message order. Correct message order to be shown on the Shop Drawings.

#### 3.4 PAINTING AND FINISHES

- A. Protective coating primer system to be shop applied. Steel material shall be shop coated with 1 coat of primer. Surfaces that will be inaccessible for painting after assembly or installation shall be given 2 shop coats of primer. Provisions should be made for proper handling at all stages of the painting shipping storing and erection for protection of primed surfaces from damage or soiling.
- B. Shop painting shall not be performed on the following surfaces: (Protect these surfaces with a rust inhibiting coating readily removable prior to erection.)
  - 1. On contact surfaces within two inches of field welds.
  - 2. On contact surfaces.
  - 3. On milled bearing surfaces.
- C. Aluminum and steel shall be prepared by cleaning in accordance with SSPC SP-1 and shop painted

### EXTERIOR SIGNAGE SPECS SECTION 10400

with primer and finish coats using paint material specified for sign frames and structures.

- D. After being ground and polished, or where subject to severe forming operations, stainless steel surfaces shall be cleaned of all extraneous material, thoroughly rinsed with clean water and dried. Lubricants used in fabrication shall be removed before work leaves the shop.
- E. Shop paint in color as recommended by the manufacturer as a back up to the color of the finish paint.
- F. Field touch up primer after erection (all interior surfaces including bolted connections nuts, and washers, etc.) one coat.
- G. Protection of metals against galvanic action shall be provided wherever dissimilar metals are in contact with galvanized steel. All metals except galvanized steel and stainless steel, which will be in contact with concrete, mortar, plaster, or other masonry, shall also be protected. Protection shall consist of providing stainless steel fasteners and, if concealed, of painting the contact surfaces with a heavy brush coat of bituminous paint.

#### 3.5 ELECTRICAL

- A. Electrical components shall be UL listed. Electrical details are schematic and the Contractor shall identify on submittals the materials and wiring he intends to use. Internally illuminated signs shall be internally wired with concealed leads for connection to service. Electrical wiring, equipment, boxes, conduit, hangers, fittings and fixtures shall conform to all applicable codes including the National Electrical Code and the Med Properties Electrical Requirements.
- B. All surface illuminated signs shall comply with UL, ANSI, NEC and all other applicable safety and performance standards. Contractor's name is not to appear on the visible surfaces of the sign except as required by code.
- C. Contractor to furnish and install electrical conduit, wire, and cable. Provide final electrical connections to the nearest junction boxes- junction boxes to be furnished and installed by others for all new fixtures, pylons and signs.
- D. All signs or sign components with electrical service shall be equipped with an approved external disconnect switch to be flush mounted on the sign/cabinet and shall have circuits and capacity to control all primary wiring within the sign. Location of switch is to be shown on the Shop Drawings for review.
- Provide for sufficient ventilation of sign components to prevent overheating or warpage, while



# **Specifications**

#### **EXTERIOR SIGNAGE SPECS SECTION 10400**

maintaining a proper weather seal. Signs/cabinets with light leaks will not be accepted.

#### 3.6 INSTALLATION

- Properly and legally remove from the site and dispose of all rubbish and debris resulting from the
- Complete installation shall be in accordance with manufacturers' printed instructions and accepted shop drawings.
- Obtain all necessary licenses and permits.
- Install signs level and plumb. D.
- Protect installed signs from damage until acceptance by the Owner.
- After installation, clean soiled sign surfaces and installation area. Remove dirt, dust, fingerprints, shavings, adhesives, packing materials, etc.

#### COMPLETION 3.7

- The work shall be under the charge and care of the Contractor until final acceptance of the work by the Owner, including all Punch List work. The work shall not be considered as completed and accepted until written notice is received from the Owner confirming the completion and acceptance of all work, including Punch List work.
- Upon completion and before final acceptance of the work, the Contractor shall provide a complete set of drawings and digital files for all signs and sign locations showing As Built conditions. Drawings and digital files shall be formatted as specified by the Owner. As Built Drawings to include changes between the work as shown in the Contract Documents and Shop Drawings indicating the work as actually installed and any specific information, locations, or dimensions not included in the Contract Documents.
- All digital files, silk-screens, patterns, and models are to be preserved and shall become the property of the Owner.

END OF SECTION

Med Properties

Northbrook, IL 60062

40 Skokie Boulevard, Suite 410



Phase 4.0 Construction Documents Salt Creek Medical Campus Hinsdale, Illinois



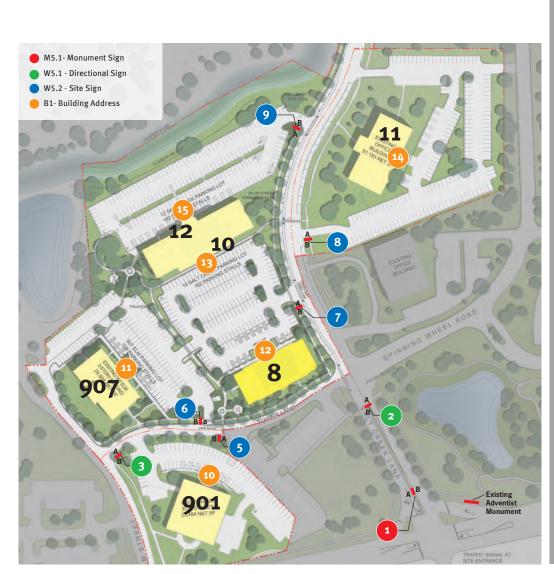
CARDOSI

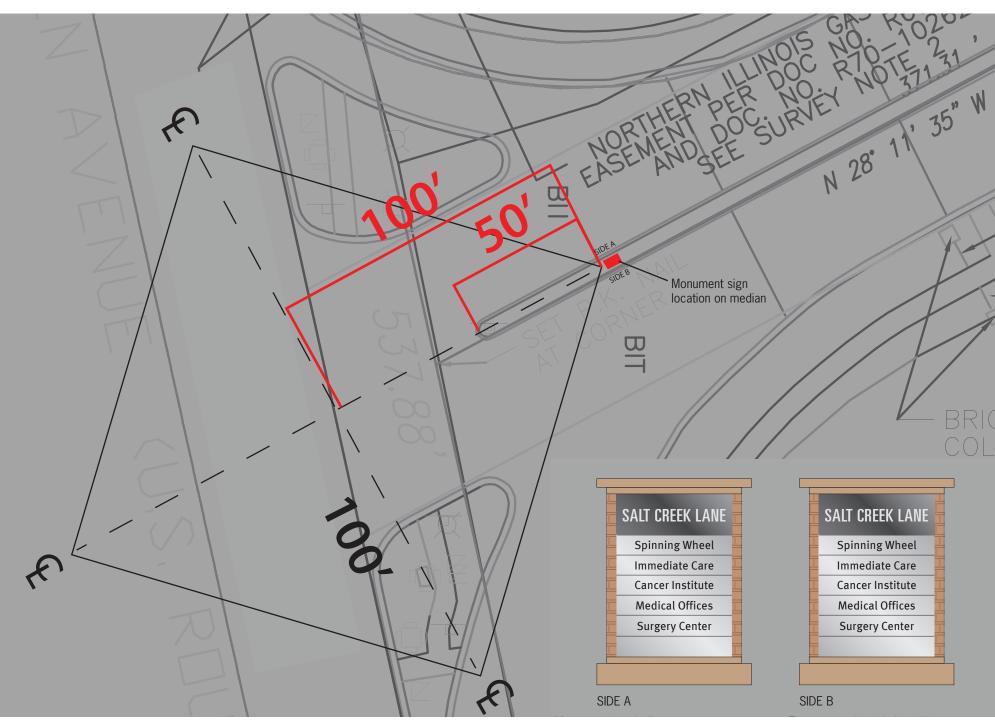
KIPER design group, inc.



November 29, 2017 SUPPLEMENTAL

Salt Creek Lane Monument Sign Proposal





NOTE: All sign locations are to be sited with Med Properties on an on site walkthough and staked for final locations.



Med Properties

# Rendering on Location



SIDE A - View driving east on Ogden Ave



SIDE B - View driving west on Ogden Ave



# **Construction Documents**

### **Breakaway Sign Construction\***

- Aluminum sign structure with removable panels. No exposed fasteners. Sign construction to have appropriate interior breakaway structure.
- 2 Routed day/night LED illuminated push thru acrylic letters, flush with sign face. Allow for appropriate letter tracking for optimum illumination.

Lettering appears black during the day and illuminates white at night.

**Tenant Panel:** 

Font: Meta Office Book

Paint: P1 MP18073 Pale Silver Metallic

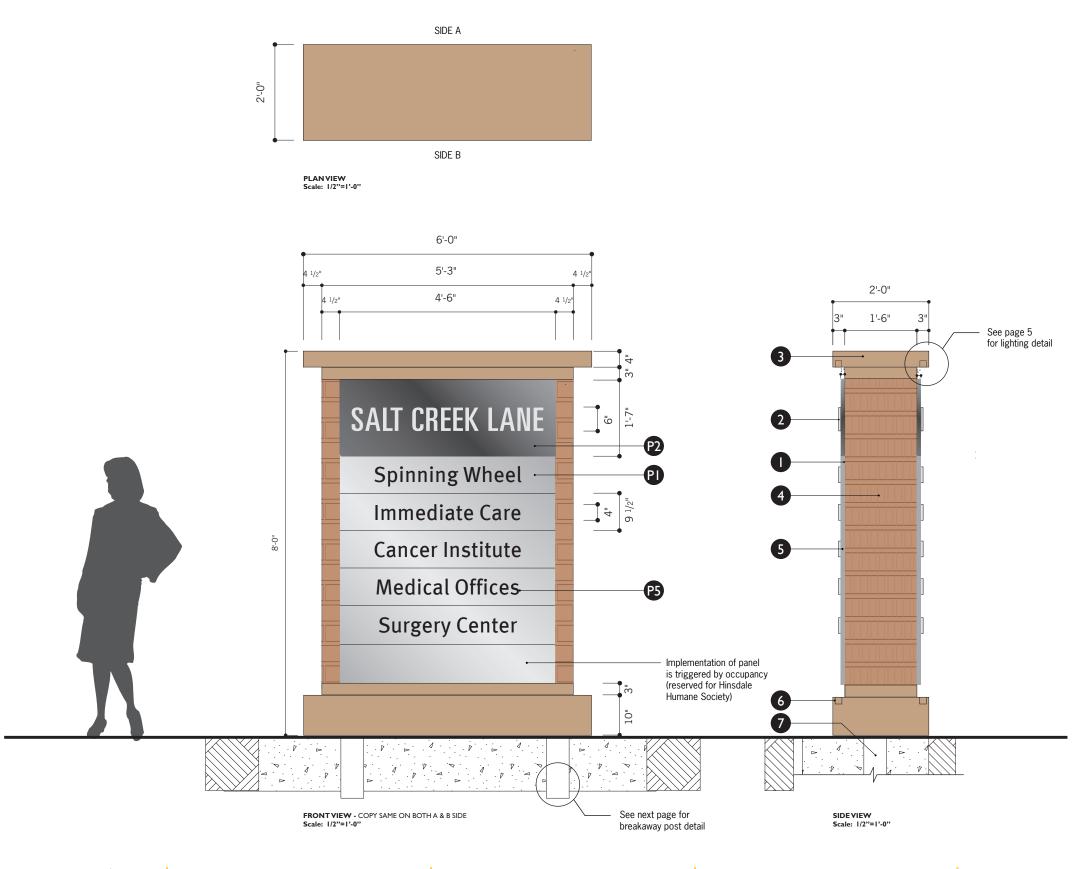
Salt Creek Lane Panel:

Font: Univers 59 Ultra Condensed Paint: P2 MP18207 Slate Metallic

- 3 Simulated limestone cap with recessed light source to highlight sign.
- 4 Thin brick veneer over appropriate breakaway structure. Thin brick veneer to match existing site signage.
- 5 1" aluminum pan (P2) with illuminated push thru day/night acrylic letters 1/2" from pan face.
- 6 Simulated limestone base with recessed light source to highlight sign.
- 7 All foundations and footings to be adequate for IDOT approved breakaway designed poles (see detail on next page).

#### GENERAL NOTES

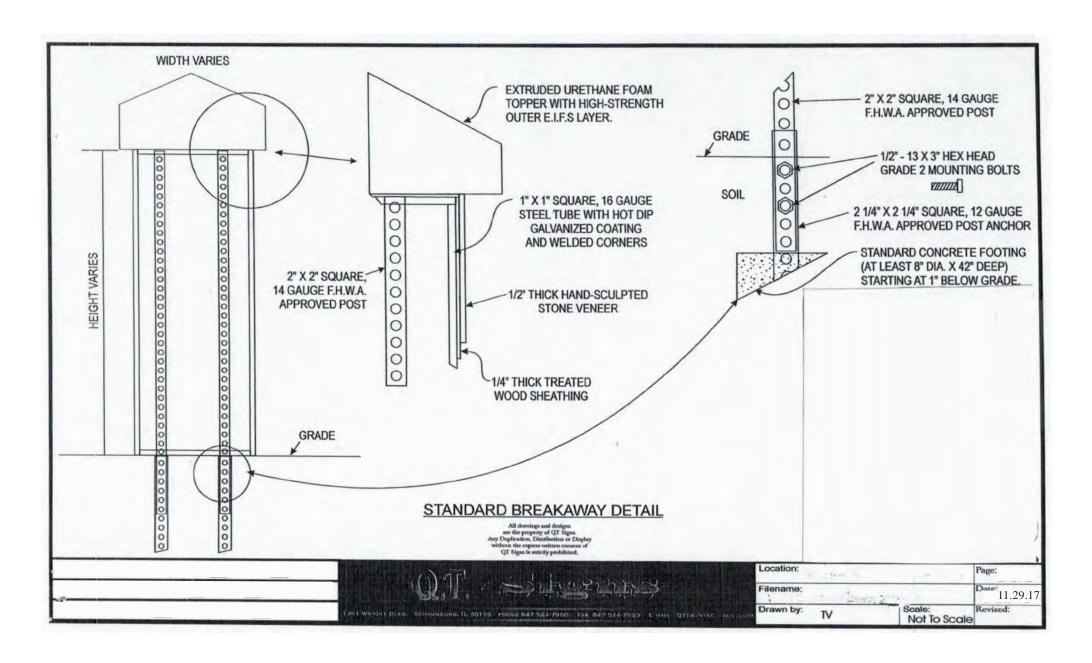
- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.
- H. Internally illuminated with LED.
- \* Sign Construction will be built with IDOT certified breakaway technology. It will be done pursuant to IDOT specifications even though not a requirement and just a suggestion. The IDOT certified Sign Contractor will certify/verify that the sign is being built to those specifications.





# Breakaway Post Detail

#### **Drawing & Narrative Provided by QT Signs**



**Breakaway Construction\*** 

The sign will be manufactured with an approved breakaway interior structure and IDOT approved breakaway poles.

This design to collapse under a 10 mph crash.

Gatorshield tubing 16 Gauge

Telespar breakaway sign poles approved by F.H.W.A (Federal **Highway Administration**)

Standard metal mesh

Thin brick veneer to match existing signs

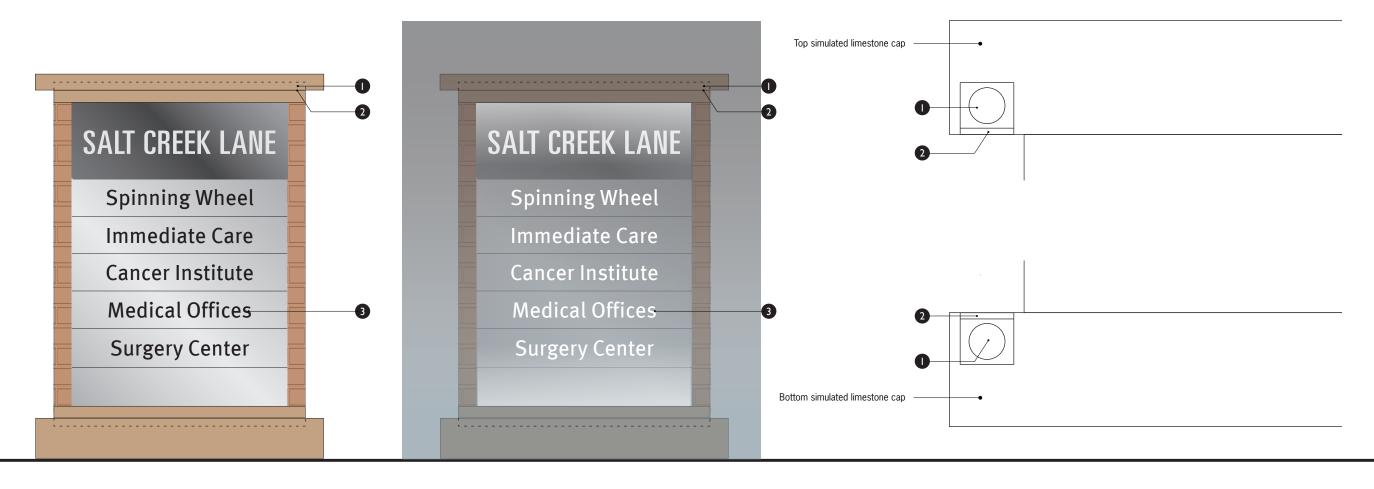
Aluminum sign panels

Simulated limestone base and cap

\* Sign Construction will be built with IDOT certified breakaway technology. It will be done pursuant to IDOT specifications even though not a requirement and just a suggestion. The IDOT certified Sign Contractor will certify/verify that the sign is being built to those specifications.

# Lighting Detail

- LED lighting to be recessed into the top and bottom of simulated limestone caps and run the width and depth of the sign. LED light source to wash the face of the brick.
- 2 Acrylic lens.
- 3 Day/Night LED illuminated acrylic push thru letters. Lettering appears black during the day and illuminates white at night.



DAYTIME Scale: 1/2"=1'-0" NIGHTTIME SECTIONVIEW



Med Properties

Assets CARDOSI KIPER design group, inc.



META OFFICE BOOK

# ABCDEFGHIJKLMNOPQRSTUVWXYZ abdefghijklmnopqrstuvwxyz 1234567890

**UNIVERS 59 ULTRA CONDENSED** 

**ABCDEFGHIJKLMNOPQRSTUVWXYZ** abdefghijklmnopqrstuvwxyz 1234567890

#### **COLORS**

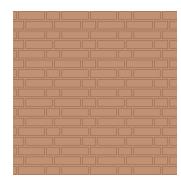


MP18073 Pale Silver Metallic





#### **MATERIALS**

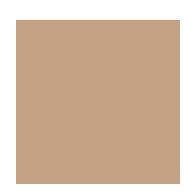


Phase 4.0 Construction Documents

Salt Creek Medical Campus

Hinsdale, Illinois

Thin brick veneer to match existing signs

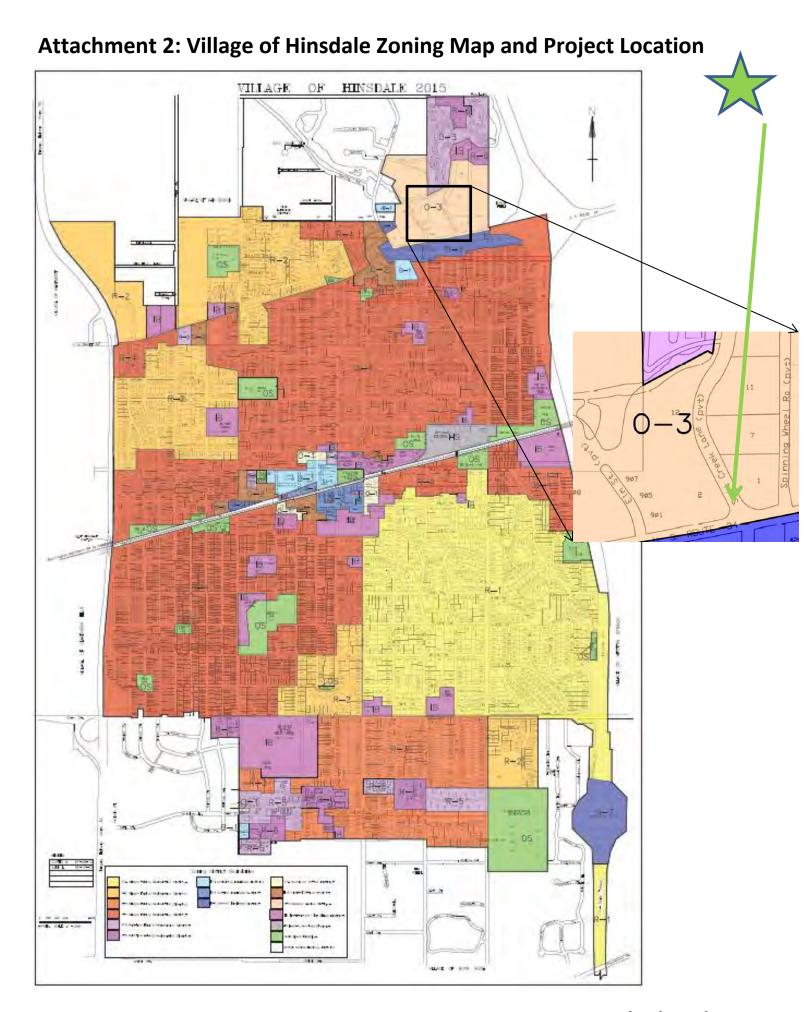


Simulated limestone to match existing signs



#### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor		
Name: 8 Salt Creek Campus LLC  Address: 40 Skokie Boulevard, Suite 410  City/Zip: Northbrook, IL 60062  Phone/Fax: (847) 897-7305 /  E-Mail: pkopecki@medpropertiesgroup.com  Contact Name: Paul Kopecki	Name: QT Signs  Address: 1391 Wright Boulevard  City/Zip: Schaumburg / 60194  Phone/Fax: (847) 847-524-7950 /  E-Mail: qtsignsbill@gmail.com  Contact Name: Bill Chase		
ADDRESS OF SIGN LOCATION: Ogden Avenue and Salt Creek Lane  ZONING DISTRICT: O-3 General Office District  SIGN TYPE: Monument Sign  *Illumination cannot exceed 50 foot- candles as defined in Section 9-106(E)(b)			
Sign Information:  Overall Size (Square Feet): 48 8 56  Overall Height from Grade: 8 Ft.  Proposed Colors (Maximum of Three Colors):  Silver Metallic Slate Metallic Black  Sign Construction will be built with IDOT certified break away technology It will be done pursuant to IDOT specifications even though not a requirement and just a suggestion. The IDOT certified Sign Contractor will certify/verify that the sign is being built to those specifications.	Size of Sign: 48 Square Feet  Business Name:		
I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.    Signature of Applicant   11/29/2017     Date   11/29/17     Signature of Building owner   Date     FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE			
Total square footage: $x $4.00 = 0$ Plan Commission Approval Date: Adm	(Minimum \$75.00)  ninistrative Approval Date:		



#### HINSDALE PLAN COMMISSION

RE: 10, 11 and 12 Salt Creek Lane & 901 and 907 Elm St. - Med Properties/Salt Creek Campus LLC- Ground Signs

DATE OF PLAN COMMISSION REVIEW:

June 10, 2015

DATE OF BOARD OF TRUSTEES – 1<sup>ST</sup> READING:

October 6, 2015

# FINDINGS AND RECOMMENDATION I. FINDINGS

- Med Properties/Salt Creek Campus LLC (the "Applicant") submitted an application
  to the Village of Hinsdale to allow: (1) off premise identification signs, (2)
  illumination of said off premise signs, (3) installation of 8 ground signs and (4) a
  total square footage of 110 square feet, in lieu of the 100 square feet permitted for
  ground signs.
- 2. The Subject Properties 10, 11 and 12 Salt Creek Lane & 901 and 907 Elm Street are located in the O-3 General Office District.
- 3. The applicant's zoning variation application was reviewed by the Zoning Board of Appeals (ZBA) at the April 15<sup>th</sup> meeting where a public hearing was open for comments. The location and content of the two off premise identification signs ("Signs 1 and 2") raised questions and concerns by some of the ZBA members and public.
- 4. General concern for the proposed signage reflected potential confusion in the area due to portrayal of only Med Properties in the "office park" area.
- 5. General concern for the proposed number of signs, its large size(s) and content was expressed.
- 6. Sign 1 concerns revolved around line of sight, location, size and content (portrayal of only Med Properties in the "office park" area).

#### II. RECOMMENDATION

The Village of Hinsdale Plan Commission, on a vote of seven (7) "Ayes," zero (0) "Nays," and two (2) "Absent" recommends that the President and Board of Trustees approve the sign application for 10, 11 and 12 Salt Creek Lane & 901 and 907 Elm Street, subject to the conditions:

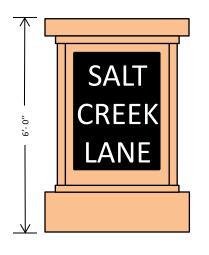
- 1. Sign 1 can be 6' tall by 4' wide, 2" wider than the rest. (Dimension for the rest of the signs would be 6' by 3'10")
- 2. Signs 5 9 were approved as submitted.

- 3. All white wooden signs in area are to be removed.
- 4. Hinsdale Office Park monument sign is to be removed.
- 5. Two yard signs in front of 11 Salt Creek are to be removed.
- 6. Sign 1, 2 and 3 content adjusted per attached. (Note: MedProperties formally removed "Sign 1" from the application on September 2, 2015.)

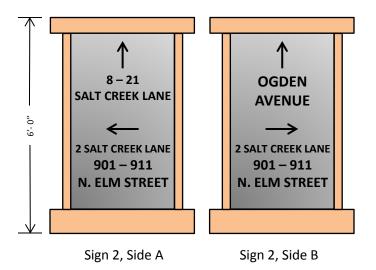
THE HINSDALE PLAN COMMISSION

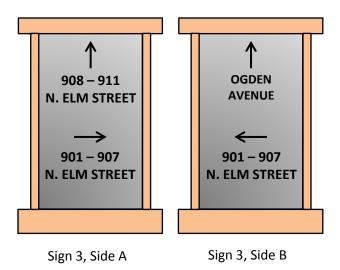
By:	4/3 mm		Chairman
Dated this	23 <u>cd</u> day of	Sept.	, 2015.

# Med Properties Signage Revised Sign Language Plan Commission Meeting, June 10, 2015



Sign 1, Sides A & B





Note: Sign 3 should be located just south of turn-off to 908 N. Elm Street

## Plan Commission Minutes June 10, 2015

Mr. McGinnis explained that won't make any difference because the Board will not take any action without a recommendation from the PC.

There was general agreement for continuation of the application at the next meeting.

## Sign Permit Review

Case A-20-2015 – 10, 11 & 12 Salt Creek Lane and 901 & 907 Elm Street– Med Properties/Salt Creek Campus, LLC – Eight (8) New Ground Signs

Chairman Byrnes gave a brief introduction of the sign application, including the variation process through the ZBA in April that was approved to have 8 signs in the area. He also reiterated the PC will review the signs for compatibility.

Pete Coules, the attorney representing the applicant explained that if IDOT raises an issue with sign 1 of the application, we will have to deal with it at that time.

Commissioner Cashman asked after it's been installed.

Pete Coules said yes, and proceeded to present the application.

Commissioner Crnovich asked for clarification of what was approved at the ZBA meeting.

Pete Coules explained the ZBA approved the 8 offsite locations of the sign, the lighting and the area of the signs.

Commissioner Crnovich asked for clarification for what the PC will be reviewing.

Pete Coules explained the materials. He also talked about the disconnect between the ZBA and PC for this particular application.

Chairman Byrnes explained moving forward, the PC may take a look at the sign variations. In this case, the PC will access the number of signs, visual compatibility and design.

Pete Coules continued to give a presentation of the surrounding area, existing signs and what is proposed through a PowerPoint presentation. A note mentioned was, the existing signage in the area solely benefited Spinning Wheel and cancer center. He clarified what they are proposing are way finding signs.

The sign contractor Kim Cardosi passed out the materials for the PC to pass around. She also explained the reasoning for the materials to match what exists in the area and the purpose and need for the way finding signage.

## Plan Commission Minutes June 10, 2015

Chairman Byrnes expressed that he has a couple of problems with the signs: the number of them, inconsistency, and sign number 1 does not include any other entities in the area.

Commissioner Crnovich concurred with Chairman Byrnes's view. Moreover, she questioned staff if this proposal is allowed through the Zoning code (9-106(D)(1))- since this references medical offices.

Mr. McGinnis explained this was the specific request of the variation.

Commissioner Johnson asked staff if the minutes were included since she did not see it.

Chan replied yes and showed them attachment 4 of the packet.

Commissioner Johnson asked what line.

Chan reads the paragraph of the approval minutes.

Commissioner Crnovich asked what authorized the ZBA for the variation the applicant proposed.

General discussion between the differences between the existing signage and proposed ensued. In short, the other existing signs in the area are on its respective property.

Commissioner Crnovich argues the proposed signage will add to the confusion in the area; because the proposed signage would reflect only Med Properties. She also expressed concern for setting precedence for future sign requests by the other entities.

Pete Coules explains the process by the Association before a sign application is submitted.

General argument with respect to the authority to grant a variation for this case ensued.

Pete Coules explains the need for the way finding signs in the area in general, and its function to get people to the immediate care facilities. General argument for the need ensued. Variables such as travel speed, line of sight and location in relation to the signage were topics discussed.

Commissioner Cashman asked Mr. McGinnis what the timing is for the IDOT intersection.

Mr. McGinnis replied that he can certainly ask the Village Engineer to work with IDOT for larger street signs if that is the concern.

General argument for the need for the signs and comparisons between the existing and proposed signs ensued.

## Plan Commission Minutes June 10, 2015

Discussion for adjusting the signs for approval by the PC included:

- 1. Sign 1 can be 6' tall by 4' wide, 2" wider than the rest. (Dimension for the rest of the signs would be 6' by 3'10")
- 2. Signs 5 9 were approved as submitted.
- 3. All white wooden signs in area are to be removed.
- 4. Hinsdale Office Park monument sign is to be removed.
- 5. Two yard signs in front of 11 Salt Creek are to be removed.
- 6. Sign 1, 2 and 3 content adjusted per attached.

Chairman Byrnes asked for a motion to approve the sign package as submitted and amended (to reflect the above).

Commissioner Unell motioned to approve. Commissioner Crnovich seconded. The motion passed unanimously.

Mr. McGinnis asked for clarification for the Woodland site plan setbacks shown to reflect the current building in lieu of the underlying bulk zoning regulations in 3-110.

Commissioner Cashman replied correct.

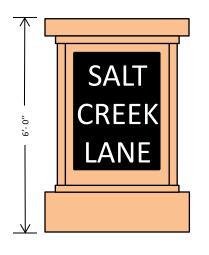
The meeting was adjourned after a motion was made and seconded at 10:08 p.m.

Respectfully Submitted,

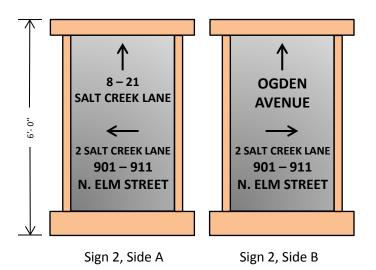
112

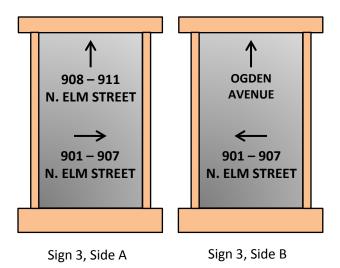
Chan Yu, Village Planner

# Med Properties Signage Revised Sign Language Plan Commission Meeting, June 10, 2015



Sign 1, Sides A & B





Note: Sign 3 should be located just south of turn-off to 908 N. Elm Street



LOCATION 5 - SIDE A



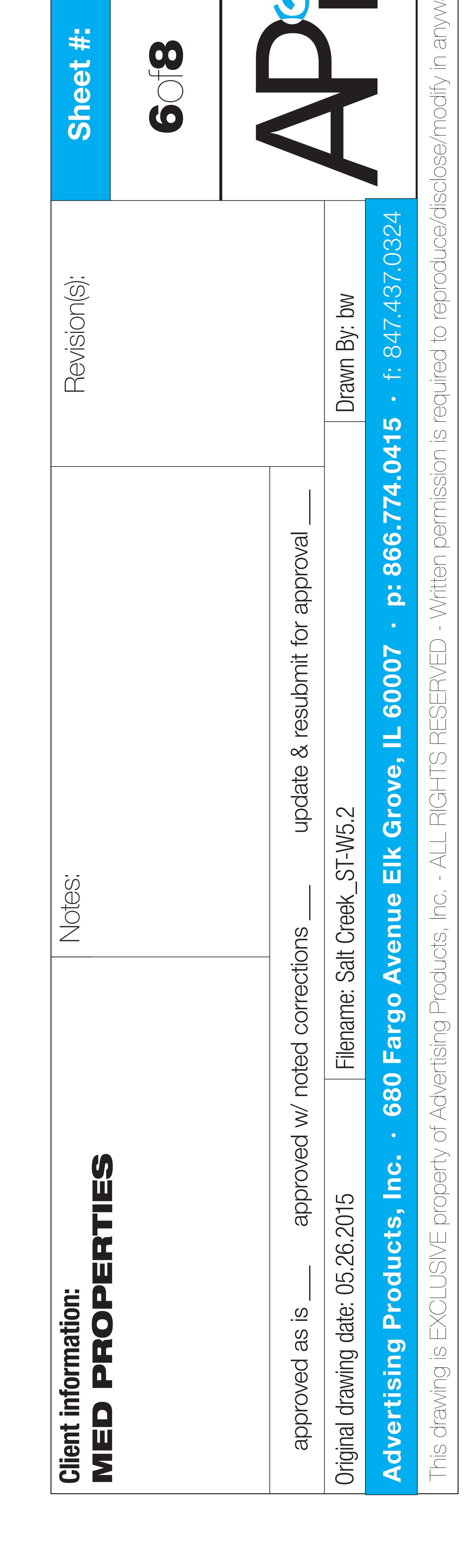
LOCATION 5 - SIDE SCALE: 50%



OCALON 6 - SIUR A SCALE: 50%



LOCALD 6 - SIDE SCALE: 50%

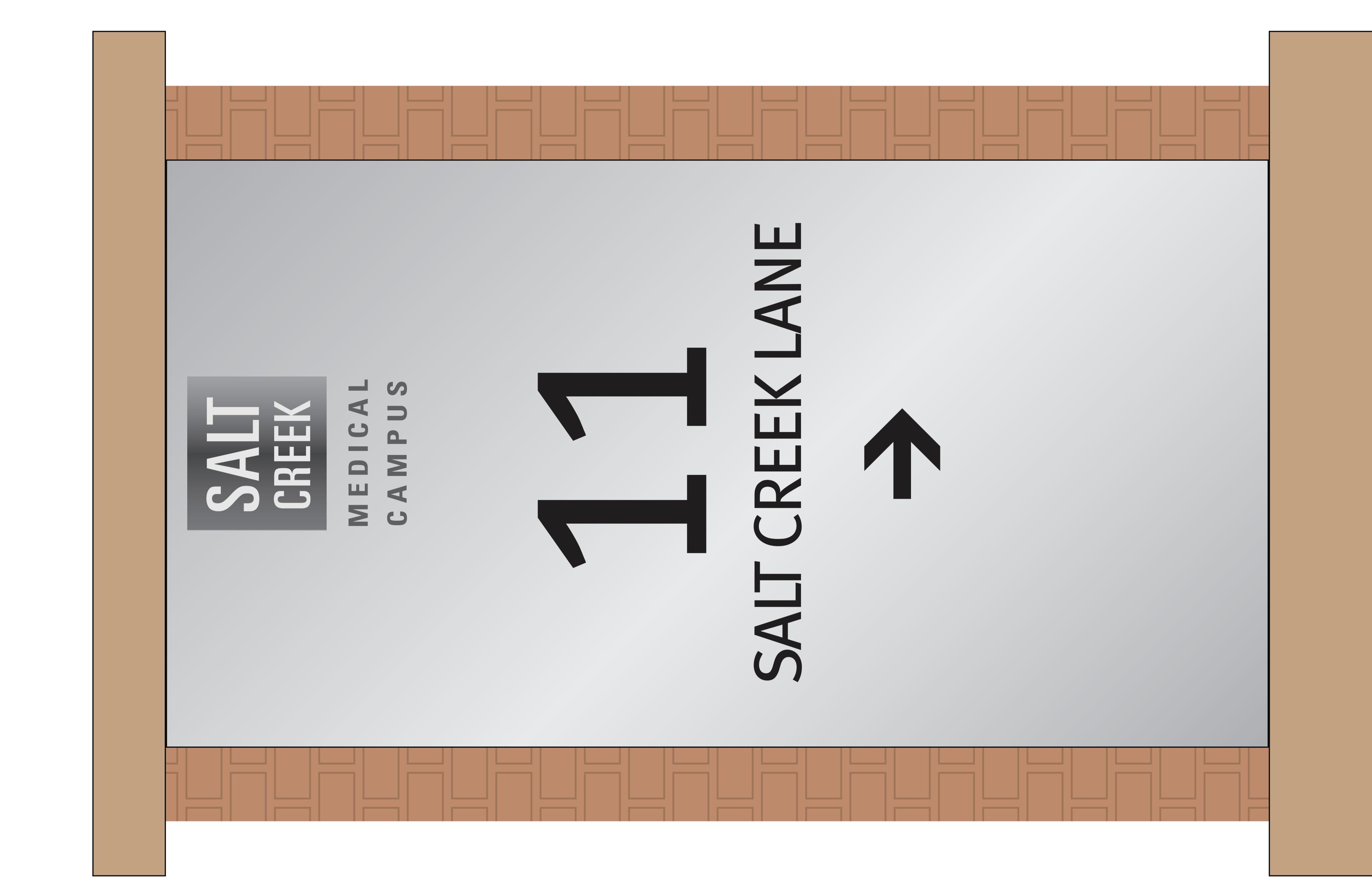


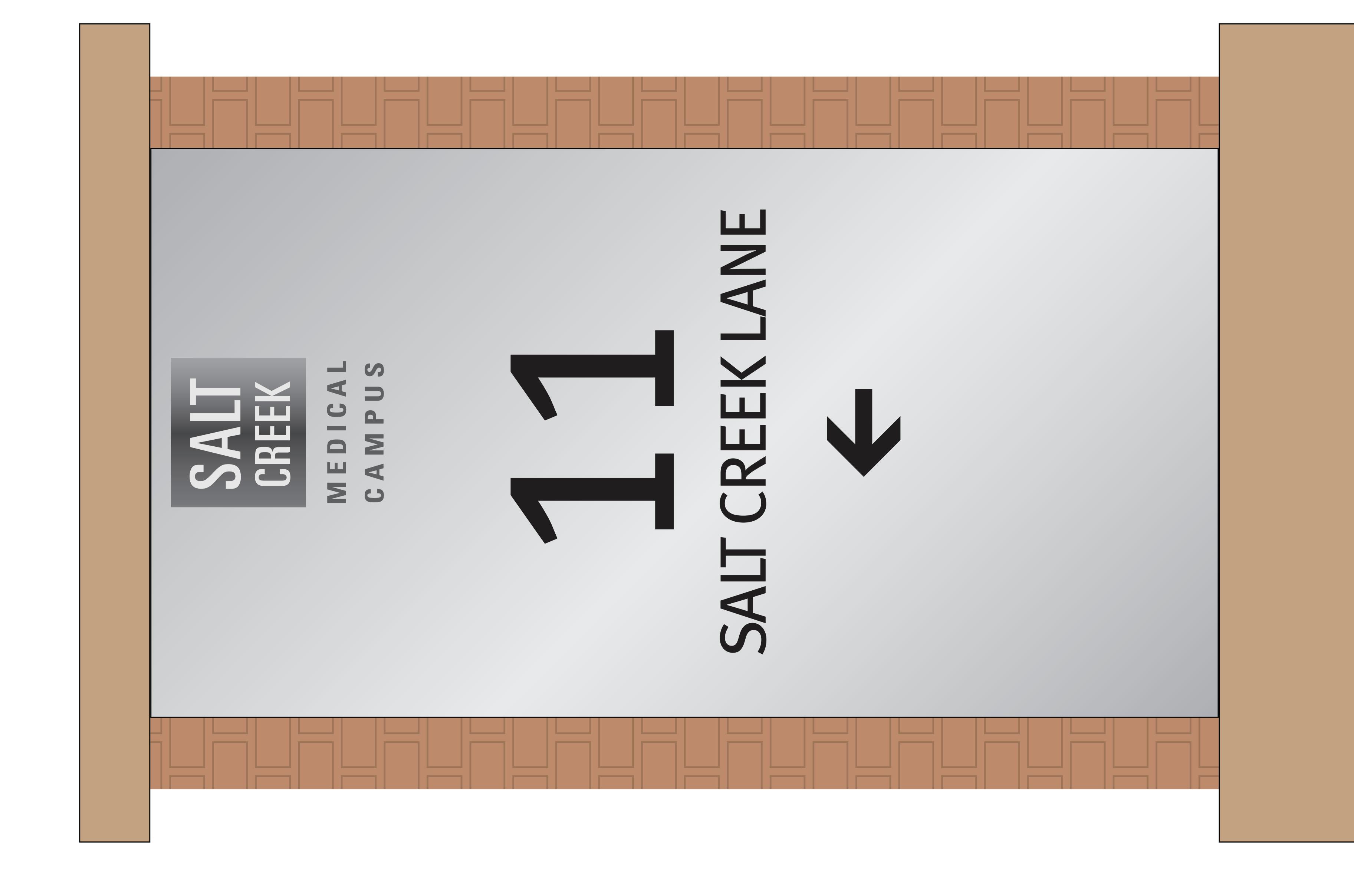


LOCATION 7 - SIDE A SCALF: 50%

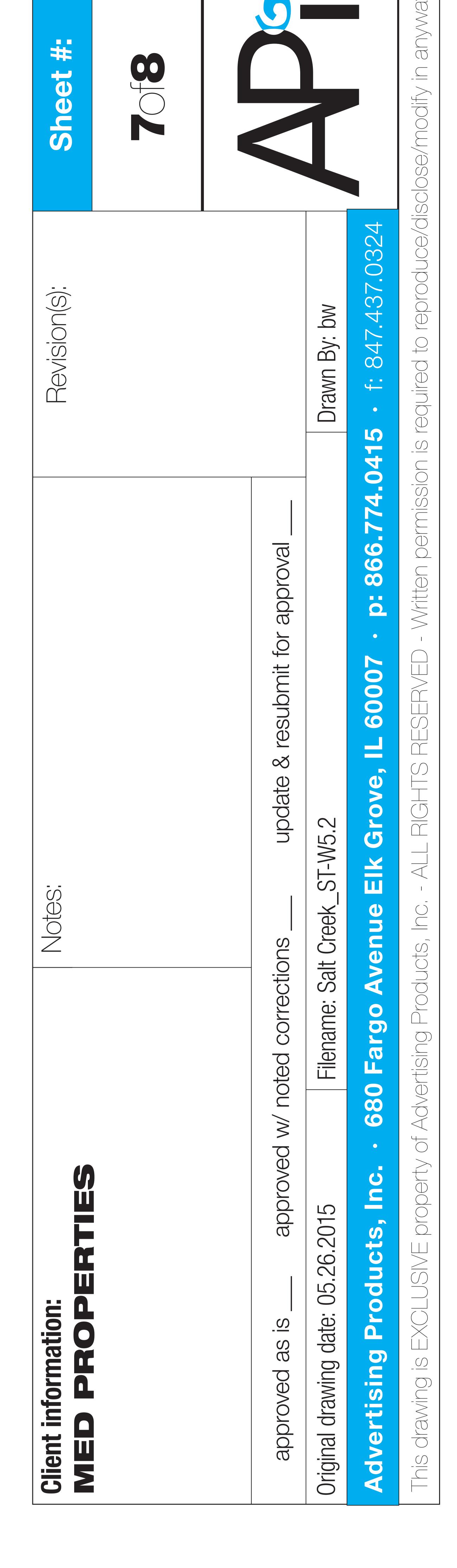


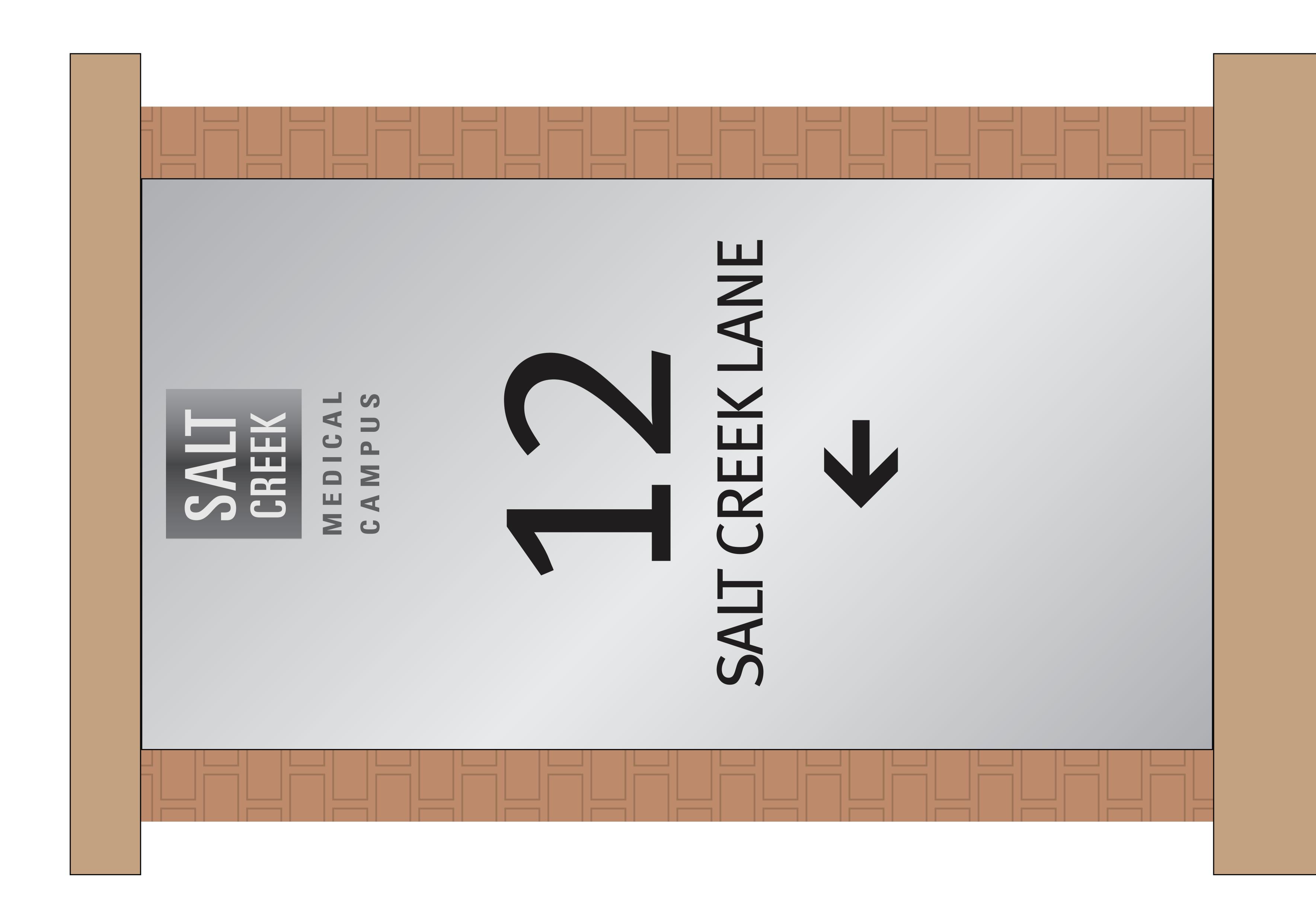
LOCATION 7 - SIDE SCALE: 50%





LOCATION 8 - SIDE SCALF: 50%





LOCATION 9 - SIDE A
SCALF: 50%



OCATION 9 - SIDE SCALF: 50%

 Client information:
 Notes:
 Revision(s):
 She

 MED PROPERTIES
 Revision(s):
 8C

 approved as is approved w/ noted corrections update & resubmit for approval original drawing date: 05.26.2015 Filename: Salt Creek\_ST-W5.2
 Drawn By: bw

 Advertising Products, Inc. • 680 Fargo Avenue Elk Grove, IL 60007 • p: 866.774.0415 • f: 847.437.0324

# Salt Creek Signage Breakdown

## Sign

Number	Sign dimensions	Square footage	Illumination Type	Parcel location	Building Address
1	96"x99.25"	66	LED	Between 7 & 8	
2	72"x46"	23	LED	Between 7 & 8	
3	72"x46"	23	LED	3	901 North Elm
4					
5	72"x46"	23	LED	3	901 North Elm
6	72"x46"	23	LED	4	907 North Elm
7	72"x46"	23	LED	6	10 Salt Creek
8	72"x46"	23	LED	10	11 Salt Creek
9	72"x46"	23	LED	5	12 Salt Creek

Parcel Map of Salt Creek Lane Properties o Show search results for 8 Salt... 8 Salt Creek Ln, Hinsdale, **Proposed Sign Location** W±dos=0 Parcel Viewer Attachment 5: **©** 



## **MEMORANDUM**

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 1 Grant Square, suite 102 (inside Evergreen Bank building) — CHT Orthodontist

2 non-illuminated Wall Signs - Case A-47-2017

#### **Summary**

The Village of Hinsdale has received a sign application from Custom Sign Consultants, on behalf of CHT Orthodontics, requesting approval to install 2 new wall signs at 1 Grant Square, suite 102. This location is a tenant space inside the Evergreen Bank building at Grant Square, in the B-1 Community Business District. The building faces the Grant Square parking lot to the west and Chicago Avenue to the north.

#### **Request and Analysis**

The first requested wall sign is 8-inches tall and 2-feet wide for an area of 1.33 SF. The proposed location is next to the front entrance, facing the parking lot. The material is cast bronze, and colored black and satin brushed bronze. The sign features the name of the orthodontist, CHT Ortho logo and non-illuminated.

The second requested wall sign is circular in shape of the CHT Ortho logo, and is 2.17 feet tall by 2.17 feet wide for an area of 4.69 SF. The proposed location is on the north wall of the building, facing Chicago Avenue, on the east end of the building where the tenant space is located. In the B-1 District, the maximum allowable area for a wall sign is based on 5 percent of the square footage of the wall for the multi-tenant building (3,042 SF) and may be requested when the exterior wall fronts on a public street. The wall sign is 6 feet above grade, will not be illuminated and made of stainless steel. The colors of the sign is brushed stainless steel and white.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:



## **MEMORANDUM**

- 1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
- 2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
- 3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
- 4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

#### **Attachments:**

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 1 Grant Square, N.E. building corner



## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

	- CAS DECITE A
Applicant CHT Orthopushes  Name: Cathe Thangamani, Do Address: I Grant Squart, \$2.101  City/Zip: Hinsdale, IL 6052  Phone/Fax: (80,323 1201/630 325 7016  E-Mail: Carre & Chtortho. corn  Contact Name: Cather Thangaman  ADDRESS OF SIGN LOCATION:  ZONING DISTRICT: B-1 Community Business Dis	City/Zip: Chicago, IL 60612 Phone/Fax: (312) 533.2302 ,575.2075 E-Mail: erik@customsignconsultants.com Contact Name: Erik Woolsey
SIGN TYPE: Wall Sign ILLUMINATION None	Strict S
Sign Information:  Overall Size (Square Feet): 4.69 (26" x 26")  Overall Height from Grade: 6'-0" Ft.  Proposed Colors (Maximum of Three Colors):  brushed stainless steel  White	Site Information: Lot/Street Frontage: 15.20 Building/Tenant Frontage: 11.89 Existing Sign Information: Business Name: Evergreen Bank Size of Sign: 24 Square Feet Business Name: Evergreen Bank Size of Sign: 24 Square Feet
ignature of Building Owner  OR OFFICE USE ONLY - DO NOT WRITE BELOW	29 17  1 17 THIS LINE
an Commission A	(Minimum \$75.00) trative Approval Date:

CONSULTANTS Erik Woolsey 0 exterior wall logo Existing Woll Sign - 24sqft Tenant - Evergreen Bank Loc. - Chicago Ave. CHT ORTHO 26 COURT COURT LEATH DIGITAL POINT NINT SCREEN MOUNTING SCHEDULE SILICONE APHESIVE
FABRICATED MOUNTING ARM
MECHANICAL FASTENING PART#
PART#
PART#

All drawings, materials, data or information developed or provided by Custom Sign Consultants, the and at the Affiliates. Unauthorized copying, reverse engineering, decompiling and creating definitive works are expectely ferbildene. No pair of the content may otherwise or subsequently reportanced, developed, descendinated, published, or transferred, in any form of by any means, except with the prior written permission of and with express attribution to Custom Sign Consultants, Inc., Copyright infringement is a violation of federal law subject to criminal and drift penalties. Custom Sign Consultants, Inc. reserves all rights of reproduction and all copyrights in designs, materials and data on these pages, created by Custom Sign Consultants, Inc., as well as, the preliminary design and any incidental works made thereform. All rights reserved.

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Scaled

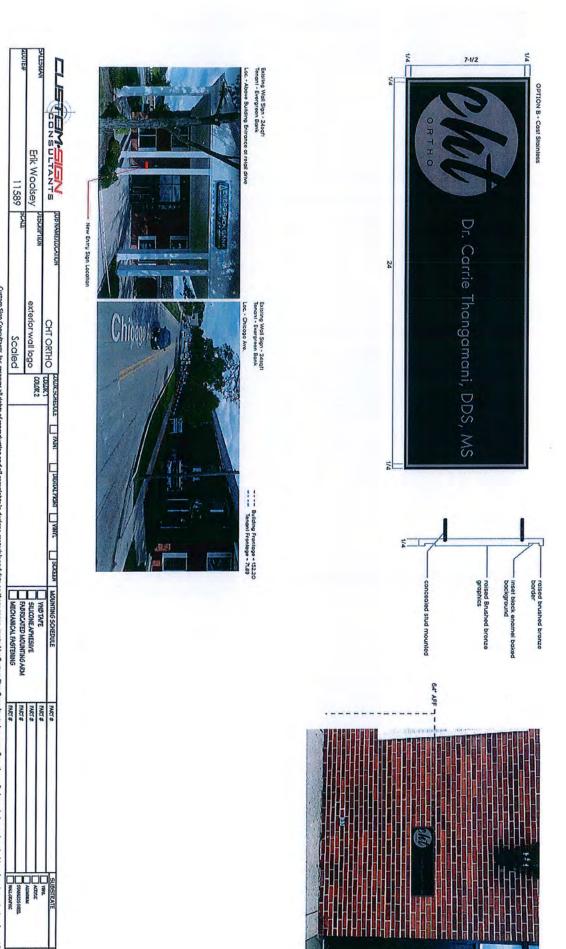
Attachment 1

1/8" anadized aluminum diband labricated sign box - Soin Brushed finish

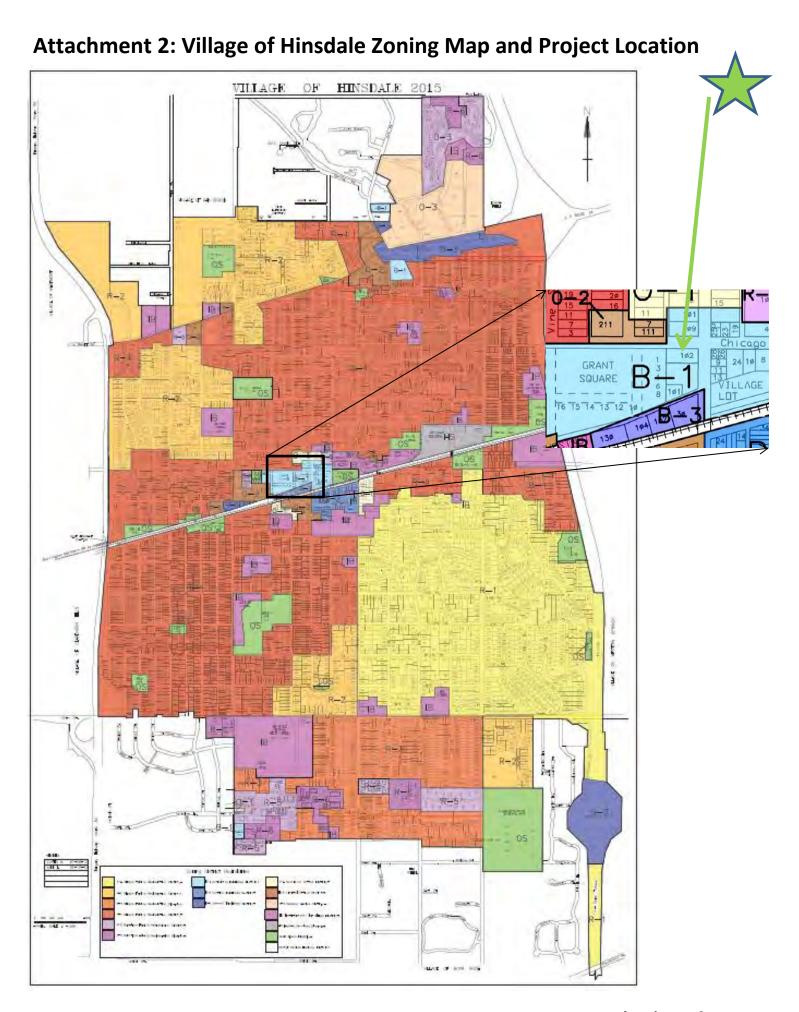


## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

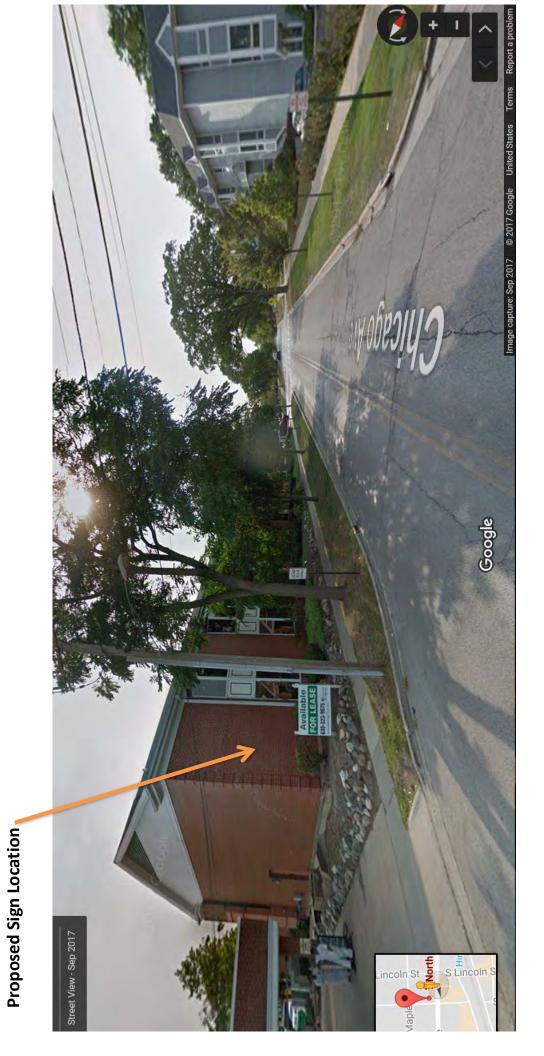
Applicant	Contractor
Name: (Afric Thargamani Address:   Grant Square, Gr. 102- City/Zip: Husdale, L 6050- Phone/Fax: (160) 323/201 / 630 325 7034 E-Mail: Chrrica Chtortho.com Contact Name: Carre Thargamen;	Name: Custom Sign Consultants, Inc Address: 1928 W. Fulton Street City/Zip: Chicago, IL 60612 Phone/Fax: (312) 533.2302 /525.2075 E-Mail: eirk@customsignconsultants.com Contact Name: Erik Woolsey
ADDRESS OF SIGN LOCATION: ZONING DISTRICT: B-1 Community Business Dist SIGN TYPE: Wall Sign ILLUMINATION None	trict
Sign Information:  Overall Size (Square Feet): 1.33 (8" x 24")  Overall Height from Grade: 5'-4" Ft.  Proposed Colors (Maximum of Three Colors):  satin brushed bronze  Black	Site Information:  Lot/Street Frontage: 152.20  Building/Tenant Frontage: 71.89  Existing Sign Information:  Business Name: Evergreen Bank  Size of Sign: 24 Square Feet  Business Name: Evergreen Bank  Size of Sign: 24 Square Feet
No. of the second secon	10/1/17



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Attachment 3: Street View 1 Grant Square, N.E. building corner. (facing west)



## **MEMORANDUM**



**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 24 Chicago Avenue – Elysian Nail Spa – non-illuminated Wall Sign - Case A-48-2017

#### **Summary**

The Village of Hinsdale has received a sign application from Landmark Visibility Solutions, on behalf of Elysian Nail Spa, requesting approval to install a new wall sign at 24 Chicago Avenue, within the Historic Downtown District in the B-1 Community Business District.

### **Request and Analysis**

The requested wall sign will be made from a Sintra PVC material and feature a blue and gold logo and black text on a white background. The proposed sign is 2' tall and 8' wide for an area of 16 SF. The maximum allowable area for a wall sign is 17.6 SF, based on 5 percent of the square footage of the wall for the multi-tenant building (352 SF). The wall sign is 12 feet above grade, will not be illuminated and be mounted using lag bolts. The requested sign is code compliant.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

- 1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
- 2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
- 3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.



## **MEMORANDUM**

4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

### **Attachments:**

Attachment 1 – Sign Application and Exhibits

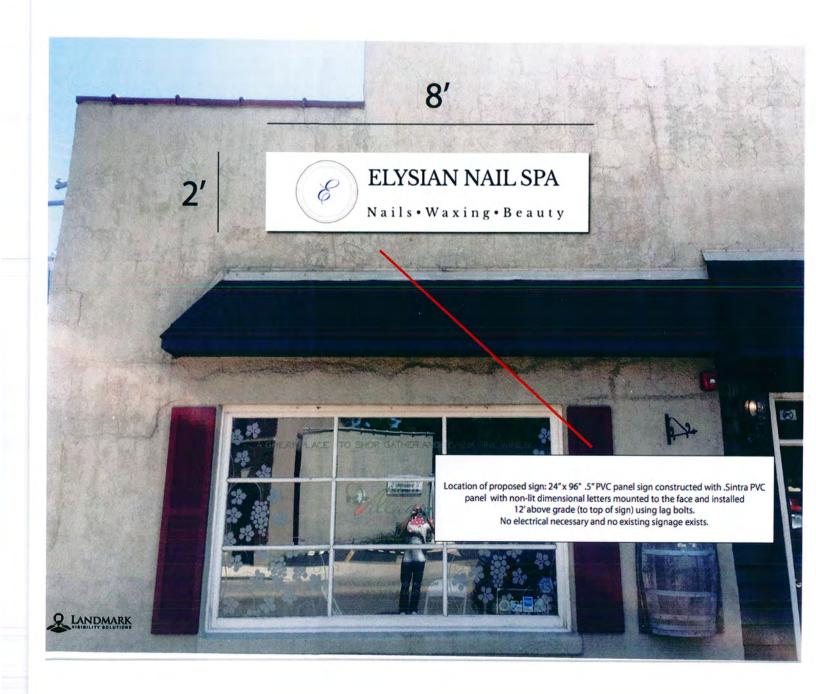
Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 24 Chicago Avenue



## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor		
Name: Nich Proge Address: 339 November Rd City/Zip: Pluthe, 14 Gaz 7 Phone/Fax: 84 971 12981 E-Mail: Nich (andredlus. Com Contact Name: Nich	Name: Londmath Visibility St. Address: 839 Novembre Rd. City/Zip: Polonine, 12 60067 Phone/Fax: (847 971/2981 E-Mail: Name: Nich		
ADDRESS OF SIGN LOCATION: 74  ZONING DISTRICT: Please Select One SIGN TYPE: Please Select One ILLUMINATION Please Select One	2 Eigh		
Sign Information:  Overall Size (Square Feet): 16 (2 x 4 4 5 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	Site Information:  Lot/Street Frontage:  Building/Tenant Frontage:  Existing Sign Information:  Business Name:  Size of Sign: Square Feet  Business Name:  Size of Sign: Square Feet		
I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.			





8'

2′



# ELYSIAN NAIL SPA

Nails • Waxing • Beauty

EXTERIOR SIGN - 24" X 96"

SIGN MATERIAL - [CNC CUT SINTRA PVC WITH .5" SINTRA DIMENSIONAL LETTERS APPLIED TO THE FACE. NON-LIT]



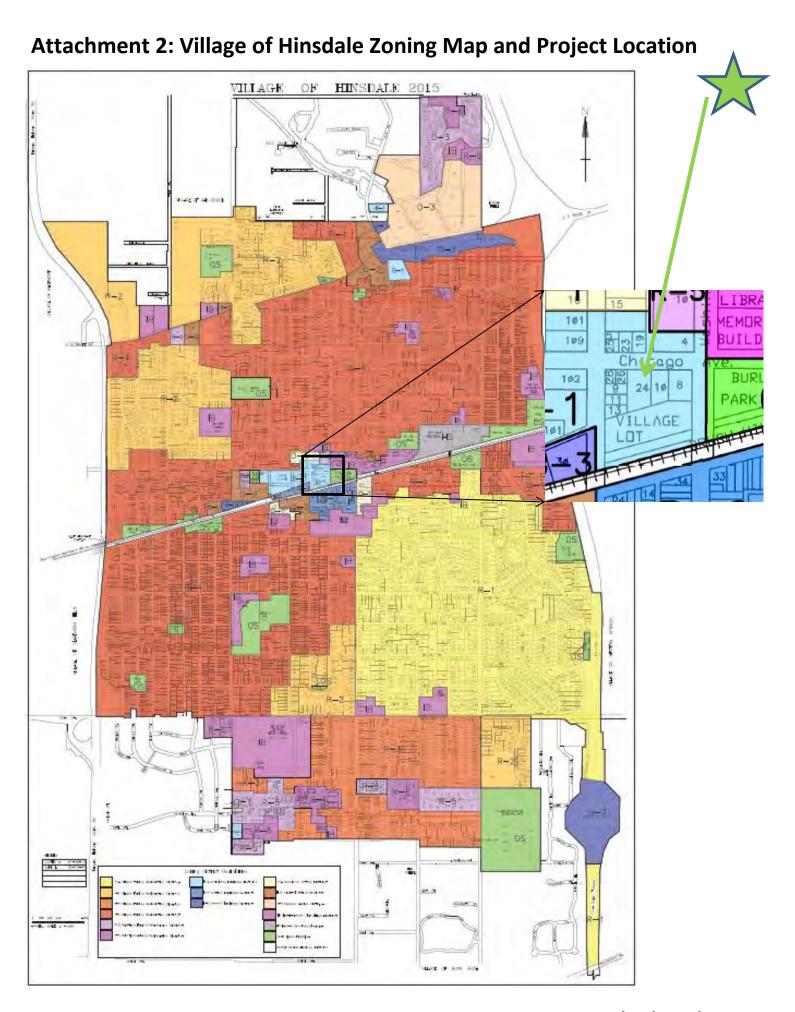
MATCH PANTONE BLACK C



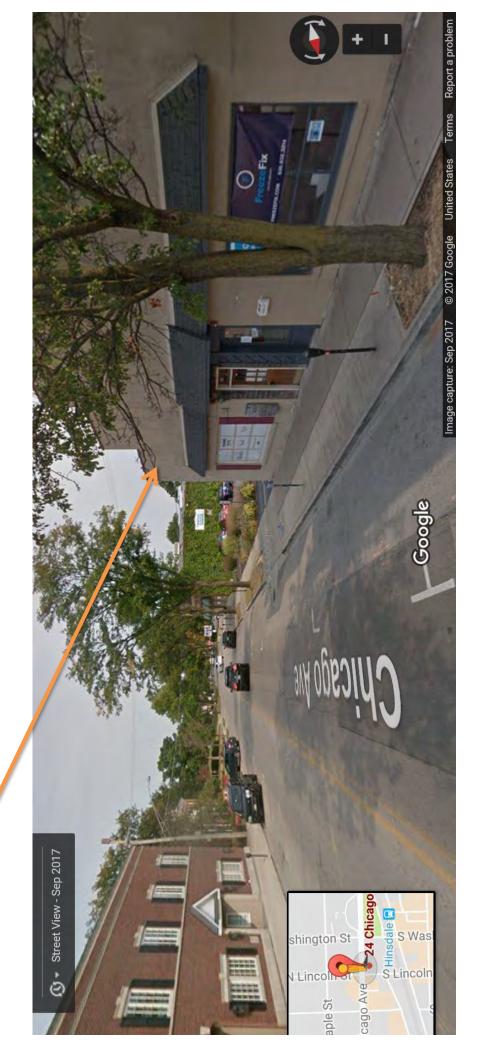
MATCH MATTE WHITE



MATCH MATCH PANTONE BLUE C PANTONE GOLD C



Attachment 3: Street View 24 Chicago Ave. (facing east) Proposed Sign Location





## **MEMORANDUM**

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** Public Hearing for Text Amendment Application for Driving School in the O-2 District as

a Special Use and concurrent Special Use Permit

Responsible Driver – 7 N. Grant Street (Lower Level) in the O-2 District – Case A-38-2017

#### **Summary**

The Village of Hinsdale has received an application from Mr. Bryan Kearney, the owner of Responsible Driver driving school, requesting approval for a Text Amendment to establish a driving school at 7 N. Grant Street, with a Special Use Permit in the O-2 Limited Office District. Per the zoning code, a driving school is not a permitted use or special use in the O-2 Limited Office District. Music schools, tutoring and educational curriculum development services require a special use permit in the O-2 District. However, "automobile driving instruction" is a specific educational service SIC code classification.

At the November 21, 2017, Board of Trustees meeting, the Village Board had no general issues with the application and unanimously referred the item to the Plan Commission (PC), with the recommendation to establish a minimum parking requirement of 1 space for every 250 SF for the special use.

### **Request and Analysis**

Responsible Driver plans to use the Hinsdale location at 7 N. Grant Street to conduct classes in an office space approximately 550 square feet in area. During the months of August through May, classes will be conducted between 6 PM to 8:30 PM, Monday through Thursday, and on Sunday between 1 PM to 7 PM. During the months of June and July, the classes will be conducted between 8 AM to 12 PM and 4 PM to 8 PM.

Each class will have a maximum of 25 students. All students will stay inside the classroom for the entire 2-hour class. Students would be dropped off at the front building entrance on Grant Street or parking lot behind the building. All behind-the-wheel lessons will be arranged through Responsible Driver's main location in La Grange.

There is no defined parking requirement for the proposed driving school. A general requirement for service uses requires 1 space for each 250 SF of net floor area; and elementary schools require 1 for each 2 employees or 1 for each 15 students, whichever is greater. Based on these requirements, Responsible Driver needs 3 spaces or 2 spaces, respectively. 7 Grant Street is an office building with a shared parking lot with 9 parking spaces. The applicant has stated that the building owner will allow access to both parking lots at the subject property and 111 Chicago Avenue (office building south of 7 N.

# VILLAGE OF Linsdale Est. 1873

## **MEMORANDUM**

Grant Street (Attachment 7). The instructional vehicle will be parked in the 111 Chicago Avenue parking lot at all times.

To be consistent moving forward, it was recommended by the Board of Trustees to consider a minimum requirement of 1 space for each 250 SF of net floor area. If necessary, the PC and Board, through the Special Use permit process, could require more parking if the future applicants are more intense in use.

#### **Process**

Within forty five (45) days following the conclusion of the public hearing, the PC shall transmit to the BOT its recommendation in the form specified by subsection <a href="https://doi.org/11-103">11-103</a>(H). The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

#### **Attachments:**

Attachment 1 – Text Amendment, Special Use and Plan Commission Applications

Attachment 2 - Zoning Map Location of 7 N. Grant Street

Attachment 3 - Birds Eye View of 7 N. Grant Street

Attachment 4 - Street View of 7 N. Grant Street

Attachment 5 - Zoning Code Section 6-101 Purposes: Office Districts

Attachment 6 - Zoning Map highlighting all the O-2 Districts in Hinsdale

Attachment 7 - Parking Lot photo for 7 N. Grant Street and 111 Chicago Avenue

## Responsible Driver

La Grange, Melrose Park, Westmont www.BeAResponsibleDriver.com 630-827-2876



To: Village of Hinsdale

This letter is for purpose of discussion for Responsible Driving School to open /move a driving school in the O-2 district at 7 N. Grant St. Lower Level with a text amendment application in lieu of proper zoning and special permit use. Please read below for a description about the business, a general business model and daily operations.

#### **About the Business/Owner:**

I started Responsible Driver in 2014 after working in the public high school system since 2006. Responsible driver currently has 3 locations La Grange, Melrose Park and Westmont. I am passionate about teaching and have created a curriculum that relates to this generation of students. As for my education, I have BA in Middle School/Secondary Education with a minor in Health & Driver Education. I have a MA in Instructional Leadership and currently hold a type 9 and type 75 certificates from the Illinois Board of Education. I have been teaching Driver Education for 12+ years. I am very familiar with the area currently living in Clarendon Hills.

### Space Usage:

The space would be used to conduct driver education classes during non-school hours. These hours are normally 6:00pm-8:00pm twice per week and on Sundays from 3:00pm-7:00pm. The space will allow maximum student classes of 20 students per class session. However, a final decision of maximum class size and scheduling will be determined by the Village of Hinsdale codes, permits and regulations. Responsible Driver will reserve the right for maximum class size to the Village of Hinsdale codes and permits if necessary for the special use permit. We would run between 8-12 classes for the year. The space would be limited to only the classroom portion of the course. The space will only include teaching devices, tables and chairs. Parents will drop off they child on Grant St. or the parking lot behind the building if they are not walking or riding their bike. This will be away from busier driving and though the surrounding areas. The parking lot allows parents to pick up and drop off away from Chicago Avenue. This space will not have visitors during non-classroom times as all meeting and walk-ins are arranged through our La Grange location.

An instructor will accompany all students at all times while use of the building. All liability for all students enrolled in the Driver Education course will be the responsibility of Responsible Driver. All students will say inside the classroom for the entire two hours class unless accompanied by the instructor. Because of the late hours, the instructor of the classroom will stay with all students until they are picked off from their parents. All behind-the-wheel times will be arranged through Responsible Driver main location in La Grange. All Behind-the-Wheel lessons are done off-location as students are picked up and dropped off at their home. No driving instruction will be done on in the O-2 district. All of my employees are certified by Illinois Board of Education in Driver Education and Safety and currently work in high schools in the area.

The space would be Secretary of State Driver Education Services approved prior to start of service. The space will be inspected for proper use by the Secretary of State Driver Education Services twice per year. The classroom and vehicle for behind-the-wheel instruction must pass Illinois State testing and inspections every 6 months. The business will have proper insurance, surety bonded, licensing and will pass all village exceptions. Students will arrive to the classroom from the side of the building and exit the building once their parent arrives to ensure the neighborhood maintains property values and will not injurious the use of other properties in the area. The classroom will be used in the evening when other businesses in the building are normally closed. The space has proper lighting, heating and cooling and use of a washroom. The building is equipped for special needs students and has proper drainage, plumbing, snow removal and garbage removal.

Thank you for this discussion.
Sincerely,
Bryan Kearney
Owner – Responsible Driver
630-827-2876
Bkearney@bearesponsibledriver.com



# VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

# PLAN COMMISSION APPLICATION

Name: BRYAN KEARNEY

# I. GENERAL INFORMATION

Name: BRYDN

Address: 700 E. OBDEN AUE UN City/Zip: WESTMONT, IL 60555 Phone/Fax: (630) 827 / 2876 E-Mail: Blearney Bearesponsible Driver. Com Others, if any, involved in the project (i.e. A)	Address: 359 55TH ST.  City/Zip: CLARTHOGN HILLS.  Phone/Fax: (630) 827 / 2876  E-Mail: Bkearney @BeA Responsible  Driver: Com
Name:	Name: Title: Address: City/Zip: Phone/Fax: ()/ E-Mail:
Disclosure of Village Personnel: (List the name, of the Village with an interest in the owner of record, the application, and the nature and extent of that interest)  1)	

Owner

## II. SITE INFORMATION

Address of subject property:	57.		
Property identification number (P.I.N. or tax number)	:		
Brief description of proposed project: Apply for	text emendment ? Special		
permituse to open a Automobive	Private Instruction to		
service the areas driver edu	cation service.		
General description or characteristics of the site:	he site is located in the 0-2		
district. The office site is a	open space to conduct		
the drivers education classroom	portion.		
Existing zoning and land use:			
Surrounding zoning and existing land uses:			
North: 6-2	South: B-1		
East:	West: R-4		
Proposed zoning and land use: 0-1 (Eclucation)			

Please mark the approval(s) you are seeking and standards for each approval requested:	attach all applicable applications and
☐ Site Plan Approval 11-604	Map and Text Amendments 11-601E Amendment Requested:
☐ Design Review Permit 11-605E	
☐ Exterior Appearance 11-606E	□ Planned Development 11-603E
Special Use Permit 11-602E	
Special Use Permit 11-602E Special Use Requested:	<ul> <li>Development in the B-2 Central Business District Questionnaire</li> </ul>

# TABLE OF COMPLIANCE

You may write "N/A" if the application does NOT affect the building/subject property.		Existing Development	Proposed Development
L-1 A (OF)	-11-		
Lot Area (SF)	PA		
Lot Depth	NA		
Lot Width	N/A		
Building Height	MA		
Number of Stories	NA		
Front Yard Setback	NA		
Corner Side Yard Setback	N/A		
Interior Side Yard Setback	MA		
Rear Yard Setback	NA		_
Maximum Floor Area Ratio (F.A.R.)*	1/A		
Maximum Total Building	101-0		
Coverage*	NA		
Maximum Total Lot			
Coverage*	NA		
Parking Requirements			
	NA		
	NA		
Parking front yard setback	NA		
Parking corner side yard			
setback	N/A		
Parking interior side yard	1.1		
setback	NA		1
Parking rear yard setback	NA		
Loading Requirements	WA		
Accessory Structure	14		
Information	N/		
Information	t provide actual squa	re footage number a	nd percentage.
Where any lack of compliance is shapplication despite such lack of com		explain the Village's author	ity, if any, to approve

## CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
  - Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions
    to the height, width, and depth of any structure.
  - 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
  - All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
  - Location, size, and arrangement of all outdoor signs and lighting.
  - Location and height of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
  - A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
  - 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

	PAYMENT.			
On the agree to	abide by its conditions.	20_	, I/We have read the above certification,	understand it, and
	Signature of applicant or authorized agent		Signature of applicant or authorized agent	
	BRYAN KEARNEY  Name of applicant or authorized agent		Name of applicant or authorized agent	
	RIBED AND SWORN	/		IOSHIIA IIMENEZ

to before me this \_\_\_\_\_\_ day of

October 2017

Notary Public

Official Seal
Notary Public - State of Illinois
My Commission Expires Dec 28, 2020



COMMUNITY DEVELOPMENT DEPARTMENT ZONING CODE TEXT AND MAP **AMENDMENT APPLICATION** 

Must be accompanied by completed Plan Commission Application

Is this a:

Map Amendment (

Text Amendment (•)

Address of the subject property:

7 N. GRALIT, HINGONE

Description of the proposed request: TEXT AMENDMENT ADDITION TO INCLUDE AUTOMUSILE PRIVATE INSTRUCTION.

REVIEW CRITERIA

Section 11-601 of the Hinsdale Zoning Code regulates Amendments. The amendment process established is intended to provide a means for making changes in the text of the Zoning Code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confer special privileges or rights. Rather, it is intended as a tool to adjust the provisions of the Zoning Code and the zoning map in light of changing, newly discovered, or newly important conditions, situations, or knowledge. The wisdom of amending the text of the Zoning Code is a matter committed to the sound legislative discretion of the Board of Trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria.

Below are the 14 standards for amendments that will be the criteria used by the Plan Commission and Board of Trustees in determining the merits of this application. Please respond to each standard as it relates to the application. Please use an additional sheet of paper to respond to questions if needed. If the standard is not applicable, please mark N/A.

1. The consistency of the proposed amendment with the purpose of this Code.

ANSWERS ATTACHED

- 2. The existing uses and zoning classifications for properties in the vicinity of the subject property.
- 3. The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification.



4.	The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it.
5.	The extent to which any such diminution in value is offset by an increase in the public health, safety, and welfare.
6.	The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.
7.	The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.
8.	The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.
9.	The suitability of the subject property for uses permitted or permissible under its present zoning classification.
10.	The availability of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.
11.	The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification.

12.	The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.
13.	The community need for the proposed amendment and for the uses and development it would allow.
	The reasons, where relevant, why the subject property should be established as part of an overlay district and the positive and negative effects such establishment could be expected to have on persons residing in the area.

#### Zoning Code Text and Map Amendment

Address of the Subject Property: 7 N. Grant Street, Hinsdale Illinois (0-2 District)

Description of the Proposed Request: Text Amendment Addition to include Automobile Private Instruction

Requested by: Responsible Driving School (Bryan Kearney-Owner)

#### 1. Consistency of proposed amendment:

I am applying for a text amendment to 6-106.B.7 to add automobile private instruction to the zoning code text and zoning map.

#### 2. Existing use and zoning classifications:

The text amendment for existing uses and zoning classification for automobile private instruction are similar to other services in the area which allows for education services.

#### 3. Trend of development:

The trend of educational services has been increasing within the Hinsdale Community. Many tutor, test prep, music and dance businesses have all opened in the area.

#### 4. Diminishment of property by the existing zoning classifications:

There will be no construction and the space will be an open area design with tables, chairs and multimedia educational equipment. All behind-the-wheel drives/lessons will be arranged through Responsible Driver main location in La Grange. All Behind-the-Wheel lessons are done off-location as students are picked up and dropped off at their home.

#### 5. Diminution in Value:

There will be no interference with surrounding development as no construction will be necessary to the building or the space. Students will arrive to the classroom and exit the building once their parent arrives to ensure the neighborhood maintains property values and will not injurious the use of other properties in the area.

#### 6. Use and enjoyment of adjacent properties affected:

The adjacent properties would not be effected as most of our classes for during off business hours. Normally we have classes in the evening during the weekdays and on Sundays. During the months of August through May the hours of operations would be 4:00pm-8:30pm Monday through Thursday and Sunday from 1:00pm-7:00pm. During the months of June and July the hours of operation would be the 8:00am-12:00pm and 4:00pm-8:00pm.

The Illinois Secretary of State requirements for a driver education classroom is a minimum space of 300 square feet with 150 square feet for an office space for a main branch location. The state requires 10 Square feet per student for a maximum of 30 students per class. The location at 7 S. Grant will be our main branch location. The location on 7 S. Grant is approximately 550 square feet. Our company policy is a maximum enrollment of 25 students per class for the learning environment of the student.

#### 7. Adjacent properties affected:

All steps have been taken to minimize any adjacent affects. All landscaping and site design of the space will not change for this special permit use.

- Future orderly development affected:
   No future development will be affected by this text amendment as the space will be used for classroom proposes only.
- 9. Property for uses permitted under present zoning classifications:
  The property uses coincide with the O-1 zoning classification under education services with a special permit use. Responsible Driver has also applied for this special permit use.

#### 10. Traffic Conditions:

8 Y Y

Traffic would consist of parents dropping their child off for the classroom portion of the course. All drop off would be in the east lot behind the building or on Grant Street away from Fullers Car Wash and Chicago Avenue. I predict most of the students would be walking or riding their bicycle to the location having less traffic most of the year. As for space for parking, the business will only need use of 1 parking spot for the instruction vehicle.

- 11. Adequate utilities and public services permitted and permissible:

  The space will be properly maintained and will pass village exceptions. The space has safety exiting and the drop off of students on the north side of the building away from traffic on Chicago Avenue. The space has proper lighting, heating and cooling and use of a private washroom. The building has proper drainage, plumbing, snow removal and garbage removal.
- 12. Length of time property is vacant:
  The property has been vacant for 2 years.

#### 13. Community need:

The Village of Hinsdale and the surrounding area would benefit by this text amendment as there is no other business providing services in the area. We will provide the adults and teens of Hinsdale and the surrounding areas a better educational experience with texting and driving computer simulations and guest speakers.

14. Why subject property should be established:

I currently service over 150 students in the area and would like to make it closer for the parents of Hinsdale. Responsible Driver is a member of the Hinsdale Chamber of Commerce and has sponsored and participated in Uniquely Thursdays. Automobile private instruction will benefit the community as better drivers in the area making safer street for the community. Private driver education business are shown statistically to have less students in accidents to comparison to public high school driver education. We will provide the adults and teens of Hinsdale and the surrounding areas a better educational experience with texting and driving computer simulations and guest speakers. Our company also works with Officer Coughlin from the Hinsdale Police Department to educate our drivers on obeying the law, speeding and drinking and driving. As the owner, I am passionate about teaching and have created a curriculum that relates to this generation of students. As for my education, I have BA in Middle School/Secondary Education with a minor in Health & Driver Education. I have a MA in Instructional Leadership and currently hold a type 9 and type 75 certificates from the Illinois Board of Education. I have been teaching Driver Education for 15+ years.

Thank You for Considering This Possible Text Amendment. Bryan Kearney; Owner – Responsible Driving School. 630-827-2876 Bkearney@bearesponsibledriver.com



## COMMUNITY DEVELOPMENT DEPARTMENT SPECIAL USE PERMIT CRITERIA

#### Must be accompanied by completed Plan Commission Application

Address of proposed request: _	7 N. GRANT HINSDALE
Proposed Special Use request:	RESPONSIBLE DRIVING SCHOOL - BRYAN KEARNEY
Is this a Special Use for a Planne requires a <u>completed</u> Planned Dev	ed Development? No Yes (If so this submittal also relopment Application)
REVIEW CRITERIA	

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to guestions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.

ANSWERS ATTACHED.

 No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations 4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services. 5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. 6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance. 7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use. 8. Special standards for specified special uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

9.	Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:
	Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.
	Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.
	Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

#### Special Use Permit Criteria

Address of proposed request: 7 N. Grant Street, Hinsdale Illinois (0-2 District)

Proposed Special Use Request: Responsible Driving School (Bryan Kearney-Owner)

#### 1. Code and Plan Purposes:

I, Bryan Kearney, owner of Responsible Driver would like to propose a text amendment to Section 6-106(B), and concurrent special use permit to conduct automobile driving instruction (8299) in the O-2 district for the community of Hinsdale and the surrounding areas at 7 N. Grant Street Lower Level. The teen automobile private instruction will be Secretary of State Driver Education Services approved prior to start of service. The space would be required an inspection for proper use by the Illinois Secretary of State Driver Education Services three times per year. The classroom and vehicle for behind-the-wheel instruction must pass Illinois State testing and inspections every 6 months. The business will have proper insurance, surety bonded, properly licensed and will pass all village expectations. Students of the class would be dropped off at the location for class by a parent or guardian. Most of the area in the area could also walk or ride their bicycle. An instructor will accompany all students at all times while use of the building. All behind-the-wheel times will be arranged through Responsible Driver main location in La Grange. All Behind-the-Wheel lessons are done off-location as students are picked up and dropped off at their home. All of my employees are certified by Illinois Board of Education in Driver Education and Safety and currently work in high schools in the area.

#### 2. No Undue Adverse Impact:

This special permit use will not have a substantial or undue adverse effect upon adjacment property, the character of the area, or the public health, safety and general welfare. The special permit use will be used for educational proposes only. All behind-the-wheel or driving instructor will be done in the surrounding area. For all behind the wheel / driving instruction all students are picked up and dropped at their residents.

#### 3. No Interference with Surrounding Development:

There will be no interference with surrounding development are no construction will be necessary to the building or the space. Students will arrive to the classroom and exit the building once their parent arrives to ensure the neighborhood maintains property values and will not injurious the use of other properties in the area.

#### 4. Adequate Public Facilities:

The business will not require additional public services and infrastructure. The proposed use adequately as the space will only be used for the classroom portion of the driver education course.

#### 5. No Traffic Congestion:

Traffic would consist of parents dropping their child off for the classroom portion of the course. There will be two areas for parents to drop off their child. One area will be the parking lot east of the building through the alley. The second drop off area will be on Grant north of Chicago Avenue. This will ensure the safety of all students away from Fullers Car Wash and Chicago Avenue. I predict some of the students would be walking or riding their bicycle to the location having less traffic most of the year.

#### 6. No Destruction of Significant Features:

The special permit use will not destruction, loss, or damage of any natural, scenic, or historic feature of the space as the space will be used for the classroom portion only. All liability for all students enrolled in the Driver Education course will be the responsibility of Responsible Driver. All students will say inside the classroom for the entire two hours class unless accompanied by the instructor. The instructor of the classroom will stay with all students until they are picked off from their parents or guardians.

#### 7. Compliance with Standards:

The proposed use does comply with standards imposed for education services. Many tutor, Test prep, music and dance businesses have all opened in the area. The business would only need 1 parking space for an instructional vehicle.

#### Special standards for specified special uses: Not Applicable

#### 9. Considerations

#### A. Considerations (Public Benefit)

The Village of Hinsdale and the surrounding area would benefit by this special permit use as there is no other business providing services in the area. I currently service over 150 students in the area and would like to make it closer for the parents of Hinsdale. Responsible Driver is a member of the Hinsdale Chamber of Commerce and has sponsored and participated in Uniquely Thursdays. Automobile private instruction will benefit the community as better drivers in the area making safer street for the community. Private driver education business are shown statistically to have less students in accidents to comparison to public high school driver education. We will provide the adults and teens of Hinsdale and the surrounding areas a better educational experience with texting and driving computer simulations and guest speakers. Our company also works with Officer Coughlin from the Hinsdale Police Department to educate our drivers on obeying the law, speeding and drinking and driving. As the owner, I am passionate about teaching and have created a curriculum that relates to this generation of students. As for my education, I have BA in Middle School/Secondary Education with a minor in Health & Driver Education. I have a MA in Instructional Leadership and currently hold a type 9 and type 75 certificates from the Illinois Board of Education. I have been teaching Driver Education for 15+ years.

#### B. Considerations (Alternate locations)

The O-2 would be an appropriate area for the safety of the students. Other business districts in the area has more traffic congestion and could be danger for students near major intersections in the area. The proposed space at 7 N. Grant Street is away from Chicago Avenue and parents could use the East Parking lot and Grant Street. Parents dropping off their child will not have traffic on Grant St. away from Grant Square other businesses (Walgreens, Kramer's) traffic congestion. All businesses on the building on 7 N. Grant will be closed during Responsible Driver hours of operation.

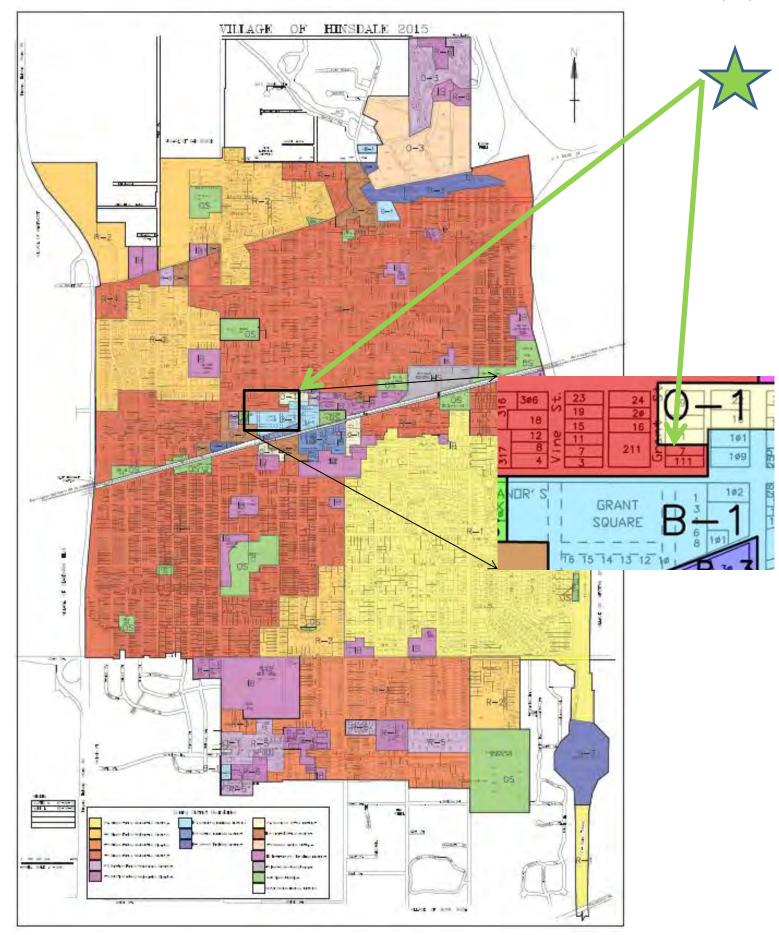
#### C. Considerations (Mitigation of adverse impacts)

All steps have been taken to minimize any adverse effects. There will be no construction and the space will be an open area design with tables, chairs and multimedia educational equipment. All landscaping and site design of the space will not change for this special permit use.

Thank You for Considering This Special Permit Request. Bryan Kearney; Owner – Responsible Driving School Bkearney@bearesponsibledriver.com 630-827-2876

## **Attachment 2: Village of Hinsdale Zoning Map and Project Location**





Chileego Ave Birds Eye View of 7 N. Grant Street (facing north) d Grant St **Proposed Class Location** Attachment 3:

Attachment 4: Street View from Grant Street (facing east) **Proposed Driving Class** Street View - Sep 2012 Lincoln St 2 S Lincoln

#### Attachment 5: Zoning Code Sec. 6-101: Purposes: Office Districts

Three (3) zoning districts are provided for office development. The office districts accommodate a range of suburban office space alternatives in keeping with the residential and local business atmosphere in the village.

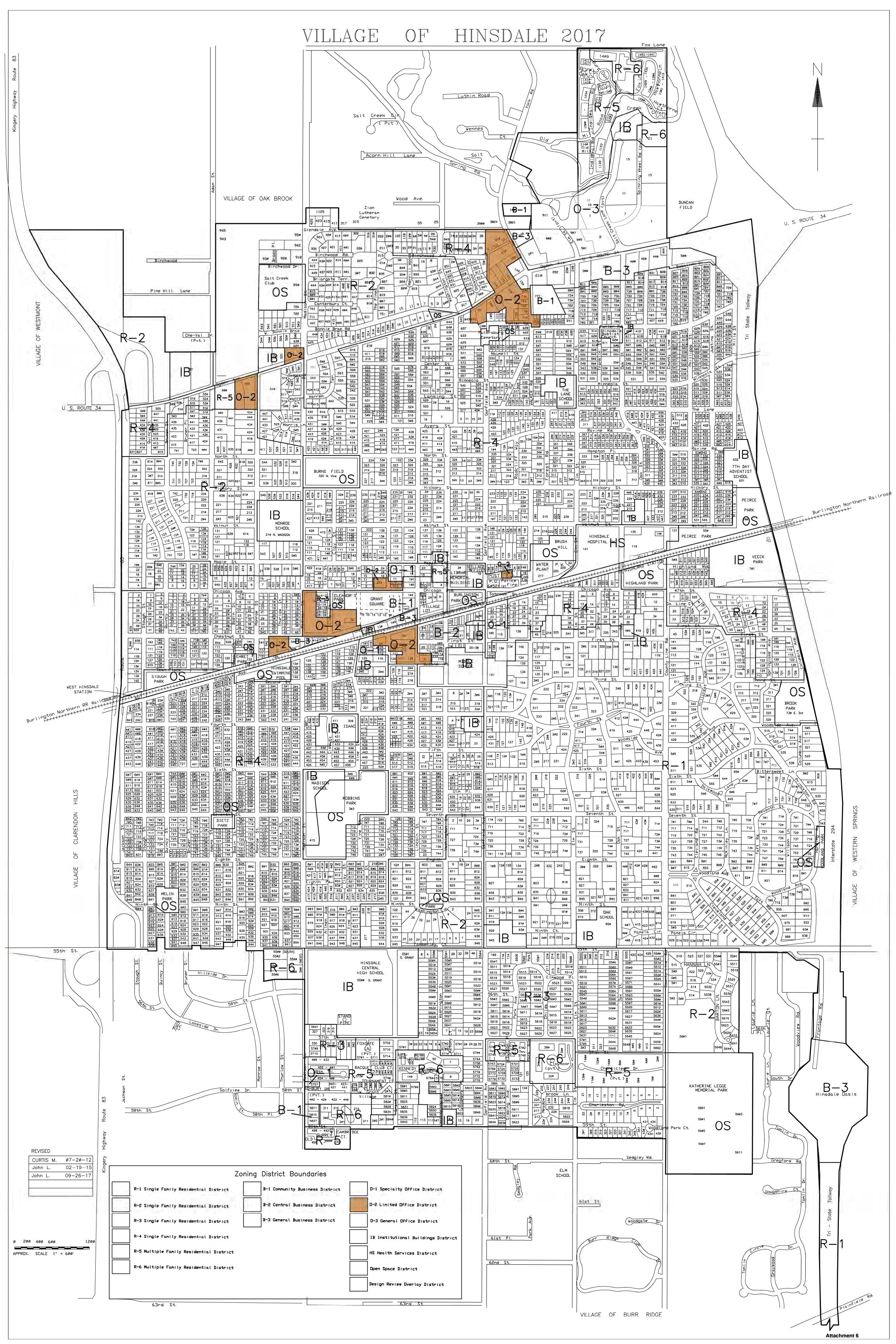
In the office districts, the combination of use regulations and varied bulk and yard regulations is intended to:

- A. Perpetuate the existing high quality character of the village by preserving established office use areas while permitting only beneficial new office development consistent with the overall character and land use patterns of the existing village; and
- B. Assure through height limits, setback and open space requirements, and mapping decisions that all office development is compatible with the residential scale of village; and
- C. Implement through reasonable regulation the purposes and intent of this code.

Specifically, the O-1 specialty office district is intended to provide for small offices in the older areas of the village adjacent to the central business areas where it is possible to retain the residential character and appearance of the village and at the same time promote limited business activity. The uses permitted are characterized by low traffic volume and limited outdoor advertising. The regulations of the O-1 district are designed to encourage the retention and renovation of sound existing structures and to ensure that the office uses remain compatible with the residential uses while permitting the area to maintain a distinctive residential character. Replacement structures in the O-1 district also must have a residential character and appearance. The O-1 district normally is small in size and located to provide a transition between residential areas and less restricted districts.

The O-2 limited office district is designed to provide for the general needs of business and professional offices and related business uses on smaller sites in scattered areas throughout the village. Bulk and height regulations encourage development that is architecturally consistent with smaller sites and compatible with nearby residential uses.

The O-3 general office district is provided to accommodate the needs of business and professional offices and related business uses requiring a somewhat wider range of office space with a somewhat higher intensity of pedestrian and vehicular traffic movements. Bulk and height regulations are consistent with a moderate amount of development. (1991 Code)





Attachment 7: Parking Lot for 7 N. Grant Street



#### **MEMORANDUM**

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** Public Hearing for Text Amendment Application for Driving School in the B-1 District as

a Special Use, but not on the 1st Floor in the B-1 District, and concurrent Special Use

**Permit** 

Top Driver – 1 Grant Square (2nd Floor) in the B-1 District – Case A-39-2017

#### Summary

The Village of Hinsdale has received an application from Mr. Paul Zalatoris, the CEO of Top Driver driving school, requesting approval for a Text Amendment to establish a driving school at 1 Grant Square, on the second floor, with a Special Use Permit in the B-1 Community Business District. Per the zoning code, a driving school is not a permitted use or special use in the B-1 Community Business District. Educational Services require a special use permit in the B-2 (but not on the 1<sup>st</sup> floor) and B-3 Business Districts. However, "automobile driving instruction" is a specific educational service SIC code classification.

At the October 3, 2017, Board of Trustees meeting, the Village Board discussed driving schools in general in the B-1 District, however, agreed the use should be considered for the second floor only, to prevent displacing first floor retail space and uses in the B-1 District.

At the November 21, 2017, Board of Trustees meeting, the Village Board had no general issues with the application and unanimously referred the item to the Plan Commission (PC), with the recommendation to establish a minimum parking requirement of 1 space for every 250 SF for the special use.

#### **Request and Analysis**

Top Driver plans to use its Hinsdale location at 1 Grant Square, second floor, to conduct classes in an office space approximately 1,000 square feet in area. Classes would be held: **August to May**, Monday through Thursday, from 4 PM to 6 PM and 7 PM to 9 PM, and on Sundays from 10:45 AM to 12:45 PM, 1 PM to 3 PM, 3:15 PM to 5:15 PM, and 5:30 PM to 7:30 PM; and from **June to July**, Monday through Thursday, from 8 AM to 10 AM, 10:15 AM to 12:15 PM, 3:30 to 5:30 PM, and 6 PM to 8 PM, and on Sundays from 10 AM to 12 PM or 1 PM to 3 PM.

The applicant has no current plans to conduct classes on Friday or Saturday, but noted it is possible in the future to offer classes on those days. This would require a new special use permit application.

Each class will have a maximum of 30 students, with an average size between 18 and 20 students. The location at 1 Grant Square would be utilized for a classroom only. In-vehicle lessons would be handled

# VILLAGE OF Linadale Est. 1873

#### **MEMORANDUM**

with pick up and drop off from the student's homes. The applicant anticipates using 2 vehicles to service its clients in the area.

There is no defined parking requirement for the proposed driving school. A general requirement for service uses requires 1 space for each 250 SF of net floor area; and elementary schools require 1 for each 2 employees or 1 for each 15 students, whichever is greater. Based on these requirements, Top Driver needs 4 spaces or 2 spaces, respectively. Grant Square features a shared parking lot with 262 parking spaces. Top Driver's lease will dedicate 4 parking spaces in the west side of the parking lot for their 2 company vehicles.

To be consistent moving forward, it was recommended by the Board of Trustees to consider a minimum requirement of 1 space for each 250 SF of net floor area. If necessary, the PC and Board, through the Special Use permit process, could require more parking if the future applicants are more intense in use.

#### **Process**

Within forty five (45) days following the conclusion of the public hearing, the PC shall transmit to the BOT its recommendation in the form specified by subsection <u>11-103(H)</u>. The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

#### Attachments:

Attachment 1 – Text Amendment, Special Use and Plan Commission Applications

Attachment 2 - Zoning Map Location of 1 Grant Square

Attachment 3 - Birds Eye View of 1 Grant Square

Attachment 4 - Street View of 1 Grant Square

Attachment 5 - Zoning Code Section 5-101 Purposes: Business Districts

Attachment 6 - Zoning Map highlighting all the B-1 Districts in Hinsdale



200 W. 22<sup>nd</sup> Street, Suite 251 Lombard, IL 60148

> P: 630.785.6557 F: 630.317.7555

October 26, 2017

Village Board of Trustees Kathleen Gargano, Village Manager Thomas K. Cauley, Jr., Village President Village of Hinsdale 19 East Chicago Ave Hinsdale, IL 60521

Dear Village Board of Trustees,

My wife, Caroline, and I are owners of Top Driver. We are interested in offering our services to the Village of Hinsdale residents by opening a classroom within the village. This classroom would be focused on the required classroom portion of driver education for teens interested in obtaining their driver's license. Due to the need to go through a Text Amendment and Special Use zoning review and its related costs, we were advised to provide this letter detailing the scope of our proposal and the specifics as to how it may impact the village.

Caroline was raised in Hinsdale and her family continue to be residents today. We have lived in Clarendon Hills for the past 25 years and raised two daughters through Districts 181 and 86. I am mentioning this since it is our desire to provide our services to our own community.

Top Driver was founded in 2003 and we are the largest private driving school in Illinois with 32 leased locations in the Chicagoland suburban area. We currently service Hinsdale and Clarendon Hills families through our locations in Western Springs and Downers Grove however many parents and friends have requested that we open a convenient location in one of "our own" two villages.

What differentiates Top Driver from other driving schools is our professionalism - we have a full time Management Team dedicated to the business of educating new drivers. Most competitors do this as a second income and do not invest the resources in the training of their instructors, developing curriculum, maintaining vehicles and the general infrastructure as we do. I believe Hinsdale residents expect and deserve professional, high quality service which is consistent with our company strategies.

#### **Business Plan/Scope of Proposal**

We are interested in leasing approximately 1,000 SF on the 2<sup>nd</sup> floor of the Evergreen Bank building located at 1 Grant Square (requiring a Text Amendment and Special Use Permit since it is zoned B1). This space has been vacant for at least a year and a half according to the building ownership. The location and type of building is consistent with what we look for when entering a community – it is



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perfectly suited for students to walk to/ride their bikes and is a safe place with off street parking for parents who would drop off/pick up their students for class.

The location in Grant Square would be for classroom use only. In-vehicle lessons would be handled with pick up and drop off from the students' homes as is done currently.

We anticipate using 2 vehicles to service the families in this area. Per discussions with the Management of 1 Grant Square these vehicles would be parked in the West "employee" lot along with all other Grant Square employee cars. We currently service Hinsdale residents from our Western Springs location utilizing 2 vehicles.

#### **Projected Classroom Hours**

August through May

Monday through Thursday: 4:00 pm to 9:00 pm (two class offerings: 4-6pm and 7-9pm)

Sunday: 10:45 am to 7:30 pm (four class offerings at most: 10:45 am –

12:45pm, 1:00 – 3:00pm, 3:15 – 5:15 pm, 5:30 – 7:30 pm)

June and July

Monday through Thursday: 8:00 am to 8:00 pm (four class offerings at most: 8:00 – 10:00 am,

10:15 - 12:15 pm, 3:30 - 5:30 pm, 6:00 - 8:00 pm

Sunday: 10:00 - 12:00 pm or 1:00 - 3:00 (one class offering)

While we do not currently conduct classes on Friday or Saturday it is possible that at some point we would like to offer similar classes as those noted above.

#### **Classroom Size**

Maximum of 30, average class size is 18-20

#### **Number of Staff**

1 Classroom teacher plus 1 in-vehicle instructor



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While I understand that some have a negative connotation of driver education, we are a company of professional educators who take great pride in our business. Top Driver's success is based primarily on "word of mouth" recommendations – we have taught thousands of Hinsdale and Clarendon Hills students and would like to continue to do so from the convenience of Grant Square Shopping Center.

I hope that you and the other members providing consideration for our special use request will understand the benefit that this would bring to the residents of the Village. There is little to no negative impact on traffic or noise. Many parents who normally shop in Grant Square will continue to do so while their teen is in class. We are an educational organization looking to provide excellent service and increased convenience to the Hinsdale residents.

I appreciate your time and consideration and welcome an opportunity to answer any questions you have and to meet with you personally to discuss this request.

Sincerely,

Paul R. Zalatons CEO, Top Driver



## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

## PLAN COMMISSION APPLICATION

Name: Top Driver Acquisition, LLC

### I. GENERAL INFORMATION

Name: Top Driver Acquisition, LLC

**Applicant** 

Address: 200 vv. 221d Street, Ste 251  City/Zip: Lombard, IL 60148  Phone/Fax: (630) 785-6557 /630-317-7555  E-Mail: paul.zalatoris@topdriver.com  Others, if any, involved in the project (i.e. An	Address: 200 W. 22nd Street, Ste 251  City/Zip: Lombard, IL 60148  Phone/Fax: (630) 785-6557 /630-317-7555  E-Mail: paul.zalatoris@topdriver.com
Name: Peter Coules, Jr.  Title: Attorney  Address: 15 Salt Creek Lane, Suite 312  City/Zip: Hinsdale, IL 60521  Phone/Fax: (630) 920-0406 /630-920-1338  E-Mail: peter@donatellicoules.com	Name:
Disclosure of Village Personnel: (List the name, of the Village with an interest in the owner of record, the application, and the nature and extent of that interest)  1) n/a  2)	address and Village position of any officer or employee e Applicant or the property that is the subject of this

## II. SITE INFORMATION

<u> </u>			
Address of subject property: 1 Grant Square, 2nd Floor, Hinsdale, IL 60521			
Property identification number (P.I.N. or tax number)	):		
Brief description of proposed project: To create a text ame	endment to allow a drivers education school to be a special use		
in the B-1 zoning district. The amendment request is to Section 5-105(C)	of the Zoning Code to add "Automobile Driving Instruction (8299),		
but not on the first floor of any structure in the B-1 district."			
General description or characteristics of the site: The	property is currently vacant on the second floor and offices will be		
added for the operation of the business. The business will also use the surrounding streets for teaching the students to drive and off street parking for parents.			
No changes will be made to the current property or its setback and no new structure will be built.			
Existing zoning and land use: B-1			
Surrounding zoning and existing land uses:			
North:	South:		
East:	West:		
Proposed zoning and land use: The existing B-1 with a special use for a drivers education school			
Diagon mark the anniquella) you are cooking and			
Please mark the approval(s) you are seeking and standards for each approval requested:	attach all applicable applications and		
☐ Site Plan Approval 11-604	■ Map and Text Amendments 11-601E		
☐ Design Review Permit 11-605E	Amendment Requested: Text amendment to Section 5-105(C) of the Zoning Code to add "Automobile Driving Instruction (8299),		
☐ Exterior Appearance 11-606E	but not on any first floor of any structure in the B-1 district."		
■ Special Use Permit 11-602E	☐ Planned Development 11-603E		
Special Use Requested:	<ul> <li>Development in the B-2 Central Business</li> <li>District Questionnaire</li> </ul>		
	·		

## TABLE OF COMPLIANCE

Address of subject property: 1 Grant Square, 2nd Floor, Hinsdale, IL 60521	

The following table is based on the B-1 Zoning District.

	Minimum Code	Proposed/Existing
	Requirements	Development
D.F.	B-1	B-1
Minimum Lot Area (s.f.)	6,250	n/a - no change
Minimum Lot Depth	125'	n/a - no change
Minimum Lot Width	50'	n/a - no change
Building Height	30	n/a - no change
Number of Stories	2	n/a - no change
Front Yard Setback	25'	n/a - no change
Corner Side Yard Setback	25'	n/a - no change
Interior Side Yard Setback	10'	n/a - no change
Rear Yard Setback	20'	n/a - no change
Maximum Floor Area Ratio	0.5	
(F.A.R.)*	.35	n/a - no change
Maximum Total Building		
Coverage*	n/a	n/a - no change
Maximum Total Lot Coverage*	90%	n/a - no change
Parking Requirements	n/a	n/a - no change
Parking front yard setback	n/a	n/a - no change
Parking corner side yard	-1-	
setback	n/a	n/a - no change
Parking interior side yard		_
setback	n/a	n/a - no change
Parking rear yard setback	n/a	n/a - no change
Loading Requirements	n/a	n/a - no change
Accessory Structure	,	
Information	n/a	n/a - no change
* Must provide actual square feetoge r		

<sup>\*</sup> Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: $\frac{n/a}{a}$		

#### CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
  - B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
    - 1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
    - A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
    - All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
    - Location, size, and arrangement of all outdoor signs and lighting.
    - Location and height of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
    - A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
    - A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
  - E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
  - F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

PAYMENT.	THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR
On the 6th, day of Octuber 2017	, I/We have read the above certification, understand it, and agree
to abide by its conditions?	
Signature of applicant or authorized agent	Signature of applicant or authorized agent
taul 11. Calatoris, CEO	
Name of applicant or authorized agent	Name of applicant or authorized agent
SUBSCRIBED AND SWORN	000000000000000000000000000000000000000
to before me this 6th day of October 3017	"OFFICIAL SEAL"
	PETER COULES JR  Notary Public, STATE OF ILLINOIS }
	Notary Public, STATE OF ILLINOIS AND COMMISSION EXPIRES 9/11/2021



#### **COMMUNITY DEVELOPMENT** DEPARTMENT ZONING CODE TEXT AND MAP **AMENDMENT APPLICATION**

Must be accompanied by completed Plan Commission Application

Is this a: Map Amendment ( **Text Amendment** (●)

Address of the subject property 1 Grant Square, 2nd Floor, Hinsdale, IL 60521

**REVIEW CRITERIA** 

Description of the proposed request: Text amendment to Section 5-105(C) of the Zoning Code to add "Automobile Driving Instruction (8299), but not on the first floor of any structure in the B-1 district."

Section 11-601 of the Hinsdale Zoning Code regulates Amendments. The amendment process established is intended to provide a means for making changes in the text of the Zoning Code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confer special privileges or rights. Rather, it is intended as a tool to adjust the provisions of the Zoning Code and the zoning map in light of changing, newly discovered, or newly important conditions, situations, or knowledge. The wisdom of amending the text of the Zoning Code is a matter committed to the sound legislative discretion of the Board of Trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria.

Below are the 14 standards for amendments that will be the criteria used by the Plan Commission and Board of Trustees in determining the merits of this application. Please respond to each standard as it relates to the application. Please use an additional sheet of paper to respond to questions if needed. If the standard is not applicable, please mark N/A.

- 1. The consistency of the proposed amendment with the purpose of this Code. According to the code, the purpose of the B-1 Community Business District is to serve the everyday shopping needs of village residents and allow compatible uses that would be desirably located in close proximity to potential users. A Drivers Ed School complies with this intent.
- 2. The existing uses and zoning classifications for properties in the vicinity of the subject property. The existing uses and zoning classifications for properties in the are are also B-1.
- 3. The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification.

The proposed amendment to the text to allow special use of a drivers education school fits the intent of the B-1 district. The amendment request is to Section 5-105(C) of the Zoning Code to add "Automobile Driving Instruction (8299), but not on the first floor of any structure in the B-1 district."

 The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it.

The space in the property has been vacant for over a year an a half, per the current owner, so the special use will have a positive impact on the community by bringing business to the vacant space and fitting in with the intended use of the district.

5. The extent to which any such diminution in value is offset by an increase in the public health, safety, and welfare.

Not applicable.

6. The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.

The adjacent properties would be positively effected as the drivers education school would bring additional consumers to the district. Parents may also stay in the district to shop while students are in class, bringing additional business to the area.

7. The extent, if any, to which the value of adjacent properties would be affected by the proposed amendment.

The adjacent properties would be positively effected as a business is taking over vacant space in the area and bringing consumers to the district.

- The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.
   None.
- 9. The suitability of the subject property for uses permitted or permissible under its present zoning classification.

The B-1 zoning district is for the purpose of brining shopping to the area for consumers and allow compatible uses in close proximity and the requested special use is compatible with this purpose.

10. The availability of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.

Special use would have a minimal impact on traffic and ingress and egress issues, as the number of individuals going to the business are relatively small and spread out at different times. Parents also often drop and pick up students, minimizing congestion. All driving for class occurs outside district.

11. The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification.

Not an issue. Only two (2) parking spaces are needed for the business, students are dropped off and picked up by their parents, and all driving for the school occurs outside the district with students being picked up and dropped off at their homes for this portion of the program.

12. The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.

The space in the property has been vacant for over a year an a half, per the current owner.

13. The community need for the proposed amendment and for the uses and development it would allow.

There is not currently a drivers education school in the Village of Hinsdale, with the closest locations being in Western Springs and Downers Grove.

14. The reasons, where relevant, why the subject property should be established as part of an overlay district and the positive and negative effects such establishment could be expected to have on persons residing in the area.

Not Applicable.



#### COMMUNITY DEVELOPMENT DEPARTMENT SPECIAL USE PERMIT CRITERIA

## Must be accompanied by completed Plan Commission Application

Address of proposed request:	1 Grant Square, 2nd Floor, Hinsdale, IL 60521	
Proposed Special Use request:	Drivers Education School	
Is this a Special Use for a Planned Development?   No Yes (If so this submittal also requires a <u>completed</u> Planned Development Application)		
REVIEW CRITERIA		

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

- 1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.
  - The use of the property for a drivers education school by Top Driver Acquisitions, LLC fits into the purpose of the B-1 zoning district as it is a compatible use with providing shopping to consumers in the area and will have a positive impact on the other businesses in the district.
- 2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.
  - The use of the property for a drivers education school will have a positive impact on the other businesses in the district as it will take over vacant space in the area and should bring additional consumers to the district.

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations

The proposed use will have no dominating effect on the area and will comply with all village ordinances. The drivers education school will be located on the second floor of the subject property, not on the first, and most students are dropped off and picked up by their parents, which will also prevent the business from having a dominating effect on the area.

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

The proposed use will be adequately served by the Village facilities. Students will only be coming to the district for the classroom portion of the program, as students are picked up directly from their home for the driving portion of the class. Further, only two (2) parking spaces are needed for business vehicles.

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.

The use of the property for a drivers education school would have a minimal impact on traffic as the number of individuals going to the business are spread out at different times and the driving portion of the program occurs outside the district, with students picked up at home. Further, most students are dropped off and picked up by their parents, which also minimizes traffic congestion.

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

No changes will be made.

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

The proposed use will comply with all relevant standards.

8. Special standards for specified special uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

No special standards.

9. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission shall consider the following:

Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

The drivers education school will have a positive impact on the community by bringing business to the vacant space, brining additional consumers to the area from both students coming to the district and parents who will be dropping their children off (and often times staying in the district to shop during class), and fitting in with the intended use of the district.

Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.

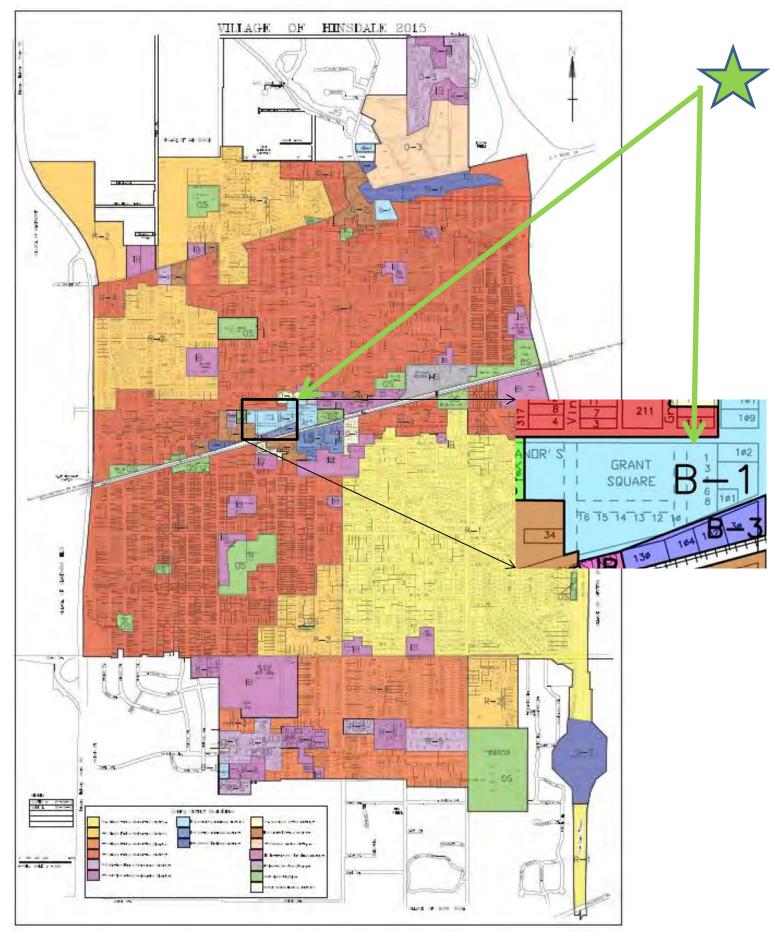
There is not an alternative location that would have a more positive impact on the community.

Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

The exterior to the building will not change so no effect will be made on the surrounding area in this manner.

## **Attachment 2: Village of Hinsdale Zoning Map and Project Location**





sdale Family Denta The UPS Store 18 INFTO N Oniogostvo **Proposed Class Location** 

Birds Eye View of 1 Grant Square (facing southwest) Attachment 3:

Google **Proposed Driving Class** Lincoln St N S Lincoln

Attachment 4: Street View from Chicago Ave. and Grant St. (facing southwest)

#### Attachment 5: Zoning Code Sec. 5-101: Purposes: Business Districts

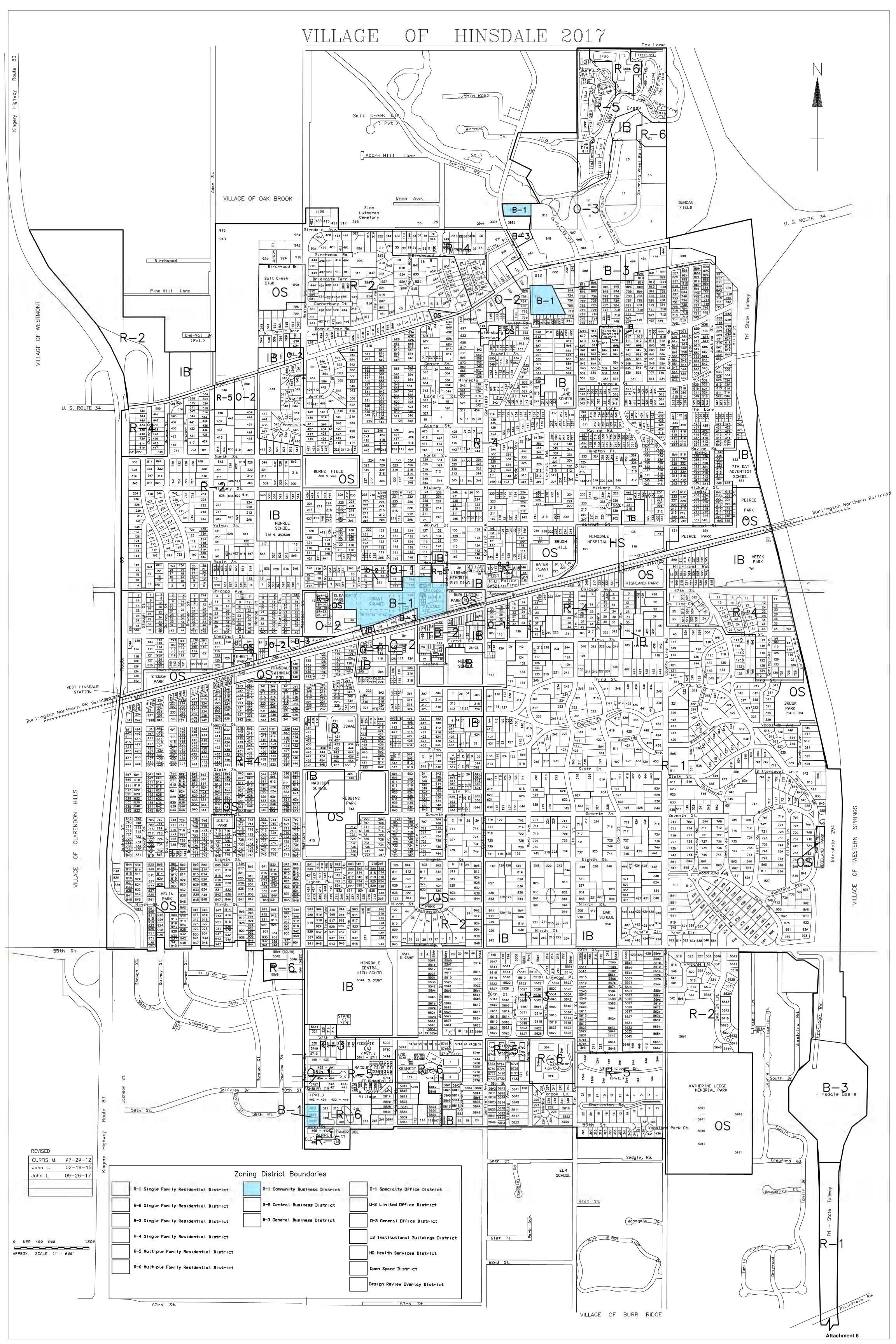
Three (3) zoning districts are provided for business and commercial uses. When taken together, these districts are intended to permit development of property for the full range of business and commercial uses needed to serve the citizens of Hinsdale and surrounding areas in a suburban setting.

The districts, while distinct, permit a harmonious spectrum of general suburban shopping and service opportunities, ranging from a relatively low intensity (B-1), through a higher intensity business zone intended to accommodate local shopping needs in a "downtown" setting (B-2), to a more generalized commercial district designed for established areas of heavier vehicular traffic (B-3).

Specifically, the B-1 community business district is intended to serve the everyday shopping needs of village residents as well as to provide opportunities for specialty shops attractive to wider suburban residential community around the village. It permits uses that are necessary to satisfy most basic, frequently occurring shopping needs. Also allowed are compatible uses that, while not used as frequently, would be desirably located in close proximity to potential users. This district is designed to accommodate development of community shopping centers with planned off street parking and loading as well as existing individual shops or small groups of local stores. The district is normally located on primary or secondary thoroughfares, is relatively small in size, and has bulk standards that provide for compatibility with nearby residential uses.

The B-2 central business district is intended to serve the entire Hinsdale suburban community with a wide variety of retail and service uses. It is intended to serve as the primary shopping area of the village. This district is located in the center of the village, adjacent to commuter facilities, and at the convergence of primary thoroughfares. The bulk standards are intended to reflect the generally more intense development of property in this area.

The B-3 general business district is intended to serve the Hinsdale suburban community with a full range of locally oriented business uses commonly located along established traffic routes. (1991 Code)



# VILLAGE OF Linsdale Est. 1873

#### MEMORANDUM

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 301 W. 59<sup>th</sup> Street – Hinsdale Apartments in the R-6 Multiple Family Residential District

Exterior Appearance/Site Plan for new Playground Structure - Case A-46-2017

#### Summary

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from King's Landscaping Co., requesting approval to construct a community playground for Hinsdale Apartment located at 301 W. 59<sup>th</sup> Street. The subject property is in the R-6 Multiple Family Residential District.

#### **Request and Analysis**

This application is for a community playground for the approximately 6.25 acre (272,333 SF) Hinsdale Apartment subject property. The subject property is south and north of the R-5 Multiple Family Residential District, east of the B-1 Community Business District, and west of both the R-5 and R-3 Single Family Residential District. The proposed playground area is not within the minimum setback distances of the R-6 District, is north of a 2-story apartment building, and not visible from the street on 59<sup>th</sup> Street (Attachment 3). The playground distance from the apartment building to the south is 48 feet and 113 feet from the north property lot line.

Per the applicant, the playground structure features high grade steel and neutral colors (burgundy, blue, gray and butterscotch) to complement the existing apartment buildings. The playground structure is approximately 7 feet tall. The entire playground area would be enclosed by a 5-foot tall ornamental aluminum fence with a single gate since it will be located next to a detention pond. All posts of the fence are to be set in 42-inch deep concrete footing. The proposed playground area will not affect the subject property lot coverage because the area will utilize permeable certified playground mulch (9-inches deep).

#### **Process**

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the

## VILLAGE OF Linsdale Est. 1873

#### **MEMORANDUM**

form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-604 and 11-606.

#### Attachments:

Attachment 1 – Exterior Appearance Application Request and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Birds Eye View Map and Playground Location

Attachment 4 - Parcel Map of 301 W. 59<sup>th</sup> Street

Attachment 5 - Street View of 301 W. 59<sup>th</sup> Street



## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

## PLAN COMMISSION APPLICATION

Name: TRINITY PROPERTY CONSULTANTS

## I. GENERAL INFORMATION

Name: KING'S LANDSCAPING CO

Applicant

Address: 5545 S ELM ST  City/Zip: HINSDALE 60521  Phone/Fax: (630) 323-3757 /630-986-5466  E-Mail: MWEISS@KINGSLANDSCAPING.COM	Address: 301 W 59TH ST  City/Zip: HINSDALE IL  Phone/Fax: (630) 323-5588 /  E-Mail: acourville@redwoodconst.com
Others, if any, involved in the project (i.e. Ar	chitect, Attorney, Engineer)
Name:	Name:
Title:	Title:
Address:	Address:
City/Zip:	City/Zip:
Phone/Fax: ()/	Phone/Fax: ()/
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of the Village with an interest in the owner of record, the application, and the nature and extent of that interest)	address and Village position of any officer or employee e Applicant or the property that is the subject of this
L Short in the B.2 Central Business (1	Samuel State Requested:
2)	
3)	

Owner



## DEPARTMENT EXTERIOR APPEARANCE AND SITE PLAN REVIEW CRITERIA

Address of proposed request:

301 W 59TH ST HINSDALE IL

#### **REVIEW CRITERIA**

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

\*\*\*PLEASE NOTE\*\*\* If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:
Standard Application: \$600.00
Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

- 1. Open spaces. The quality of the open space between buildings and in setback spaces between street and facades.
  - The playground area is proposed in open space and enhances the amenities of the site.
- 2. Materials. The quality of materials and their relationship to those in existing adjacent structures.
  - The play equipment is made out of high grade powder coated steel & the colors are neutral to compliment the existing buildings.
- 3. *General design*. The quality of the design in general and its relationship to the overall character of neighborhood.
  - The design is meant to enhance multi-family/multi-purpose open space and is available for all residents.

12. Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

N/A-The play structure does not have a roof.

13. Walls of continuity. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

N/A- The play structure is not enclosed by walls.

14. Scale of building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The play structure is proportional to the surrounding buildings/structures.

15. Directional expression of front elevation. The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

N/A- The unit is a play structure.

16. Special consideration for existing buildings. For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The play structure selected is to blend with the existing buildings/structures on site.

#### REVIEW CRITERIA - Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining is the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The play area does not impact or is not located near the existing & planned utility system serving the village.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The play area is not on public property and is only for the use by the residents of 'The Hinsdale' and is designated as private property.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The play area greatly increases the publics health and general welfare through outdoor exercise and activities for youth. Safety issues are addressed by planning for the proper safety zone around the play equipment and use of certified playground mulch, 'Playmat', to absorb the impact if a fall were to occur. The entire playground is enclosed by a 5' fence with a single gate for complete the security & safety of the play area.

On Tue, Dec 19, 2017 at 9:04 AM, Chan Yu < cyu@villageofhinsdale.org > wrote:

Tom, your submittal for the playground is incomplete. Please see the attached application, in the attached Review Letter, page 13, Table of Compliance. Staff sent this to you in September. Please also note we do not have the original or copies of the Certification page on page 14.

--The requested Cerfication page (page 14) was submitted on December 8th. It may have been given to the permit side instead of the plan commission. The revised Table of Compliance (page 13) is attached.

The Table submitted is incomplete and the wrong version (attached "incomplete Table"). Please complete pages 13 and 14. If the proposed playground does not affect a row on the Table, write "N/A". The submitted site plan does not match the initial attached site plan. Please confirm the Plan Commission is only reviewing the playground.

--Revised Table of Compliance see attached sheet. The Plan Commission is only reviewing the playground.

Please also submit supplemental information about the 9" playmat, as shown on the retaining wall diagram. If it's just 9" of mulch, please simply confirm. Otherwise, the diagram appears to be a solid 9" playmat.

-- Playmat mulch is certified to be used in playgrounds by the State of IL. 9" of playmat mulch will be used.

Lastly, what is the distance between the playground and north lot line and distance between the playground and south building 305?

--The distance between the playground and north lot line is 113'. The distance between the playground and south building 305 is 48'.

Please submit the above by Friday, Dec. 29, at the latest for the January 10 Plan Commission meeting.

Thank you, -Chan

## Transmittal Letter

Other:

December 28, 2017

#### King's Landscaping Co.

16W280 Jeans Rd. Lemont, IL 60439 630-323-3757 630-986-52466 tjoerger@kingslandscaping.com



www.kingslandscaping.com

To: Village of Hinsdale 19 East Chicago Ave Hinsdale IL 60521

Attached

**Shop Drawings** 

Copy of Letter

**Total Quantity** 

Prints

Change Order

Reproducible

Attention: Chan Yu - Village Planner

Re:

We are sending you

Job Number:

Under Separate Cover via: [Type text here] the following:

Plans

Samples

Revised Table of Compliance  Response to Chan Yu emailed comments  Certification Natural of  hese are transmitted as checked below  For Approval  For Your Use  Approved as Noted  Resubmit copies for approved as Noted  Submit copies for distribution	Revised Table of Compliance  Response to Chan Yu emailed comments  Clintication Notarial d  Read Table of Compliance  Response to Chan Yu emailed comments  Clintication Notarial d  Read Table of Compliance  Response to Chan Yu emailed comments  Clintication Notarial d  Resubmit copies for approval approval as Submitted as Resubmit copies for approval as Requested as Returned for Corrections Return corrected prints  Revise and Resubmit/Work May Not Proceed  Revise and Resubmit/Work May Not Proceed  Revise and Resubmit/Work May Not Proceed  Revise and Resubmit/Work May Not Proceed	Submittal	Quantity	Date	DWG. #	Description
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## TABLE OF COMPLIANCE

Address of subject property: 301	W 59th St	Hinsdale IL 60521	
The following table is based on the	R-6	Zoning District.	

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	15.000	272,333 SF	NO CHANGE
Lot Depth	125'	468'	NO CHANGE
Lot Width	70'	730'	NO CHANGE
Building Height	50'	APPROX 25'	PLAY STRUCTURE- 7'
Number of Stories	4	2 - APT BLDGS	PLAY STRUCTURE- 7'
Front Yard Setback	35'	38.5'	N/A
Corner Side Yard Setback	35'	N/A	N/A
Interior Side Yard Setback	15'	20' - west 40'-east	N/A
Rear Yard Setback	25'	Multiple bldgs - 19' & 30'	N/A
Maximum Floor Area Ratio (F.A.R.)*	.6	.15 - 40,816 SF	N/A play structure
Maximum Total Building Coverage*	25%	15% - 40,816 SF	NO CHANGE
Maximum Total Lot Coverage*		42% - 113,966 SF	N/A-permeable surface
Parking Requirements		121 REGULAR 4 HANDICAP 125 TOTAL SPACES	N/A
Parking front yard setback	······································	NO CHANGE	N/A
Parking corner side yard setback		NO CHANGE	N/A
Parking interior side yard setback		NO CHANGE	N/A
Parking rear yard setback	<del>,</del>	NO CHANGE	N/A
Loading Requirements		NO CHANGE	N/A
Accessory Structure Information	10 %	2104 SF (1%) GARAGE	1,115 SF (.004%) permeable surfact TOTAL - 3219 SF (1%)

<sup>\*</sup> Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reaso application despite such lack of compliance:	on and explain the Village's authority, if any, to approve the
N\A	

#### CERTIFICATION

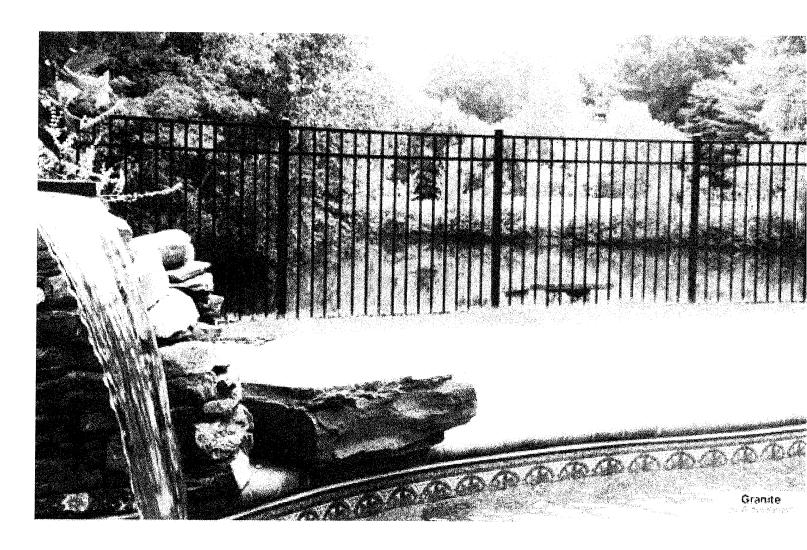
The Applicant certifies and acknowledges and agrees that:

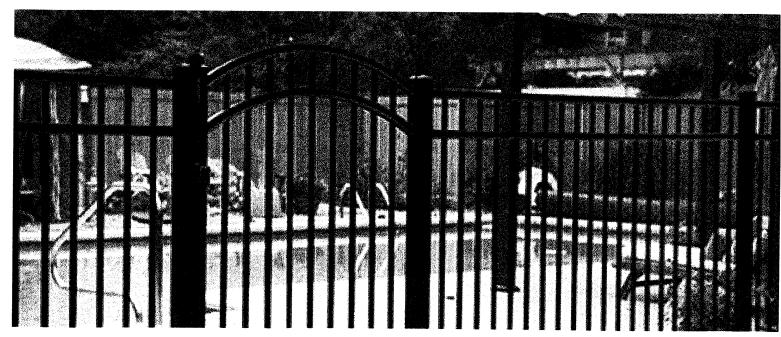
- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
  - Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
  - 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
  - All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
  - Location, size, and arrangement of all outdoor signs and lighting.
  - Location and height of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
  - A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
  - A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that fallure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

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agree to abide by its conditions.		
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MARK KING	No. of the Standard Standard	d and a second
Name of applicant or authorized agent	Name of applicant or authorize	d agent
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SUBSCRIBED AND SWORN to before me, this And day of	X (4)	M. NOEL KING
December, 2017.	y Will a	NOTARY PUBLIC, STATE OF ILLINOIS My Commission Expires June 20, 2020
JAMES AND	Notary Public	I MY COMMISSION EXPIRES JUNE 20, 2020

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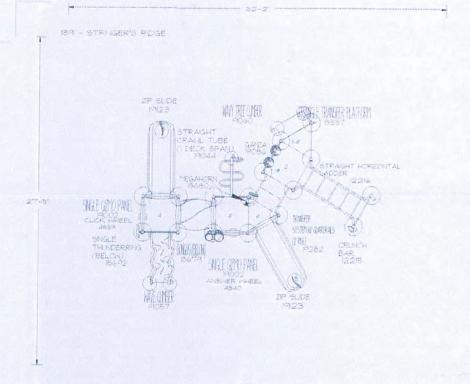


#### COLOR SCHEME:

## **Jellybean**

Uprights Burgundy Metal Rutterscotch Plastic Blue Decks Blue HDPE Blue

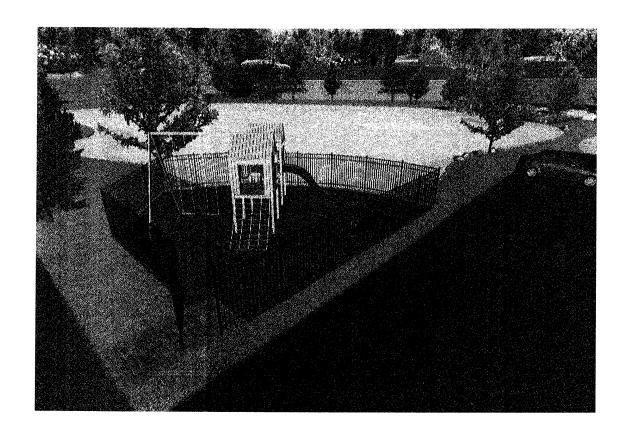
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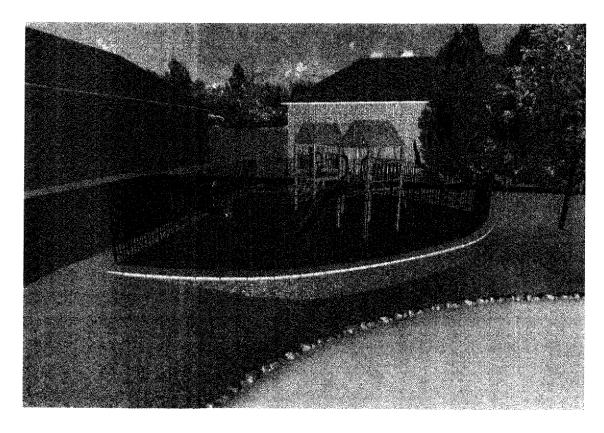


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#### NOTES CORPESPONDA

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Attachment 1

SWEETBRIAR **APARTMENTS** 

(C) Department

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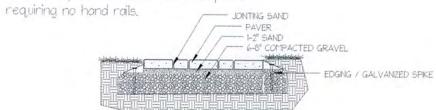
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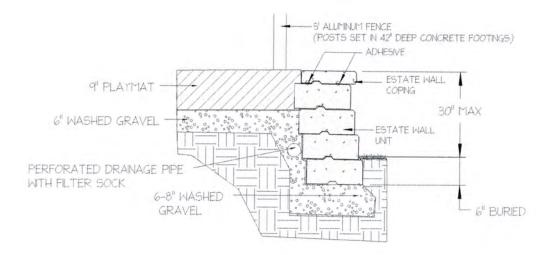


Note:

Proposed slope of new walk is less that one percent and is ADA compliant

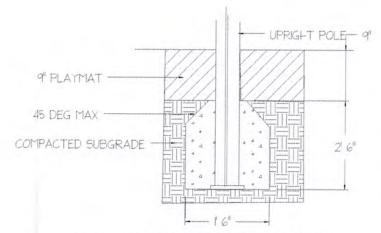






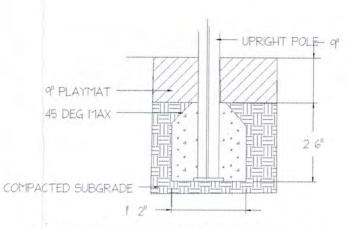






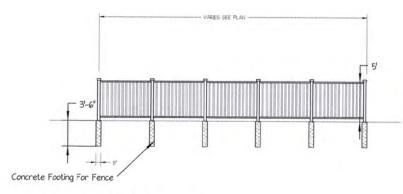
PLAY STRUCTURE FOOTING DETAIL 'A'

TYPICAL INSTALLATION



PLAY STRUCTURE FOOTING DETAIL 'B'

TYPICAL INSTALLATION



Proposed 5<sup>1</sup> Hight Black Ornamental Alminum Fence to enclose Play Lot All Post set in 42<sup>st</sup> deep 8<sup>st</sup> Dia Concrete Footings

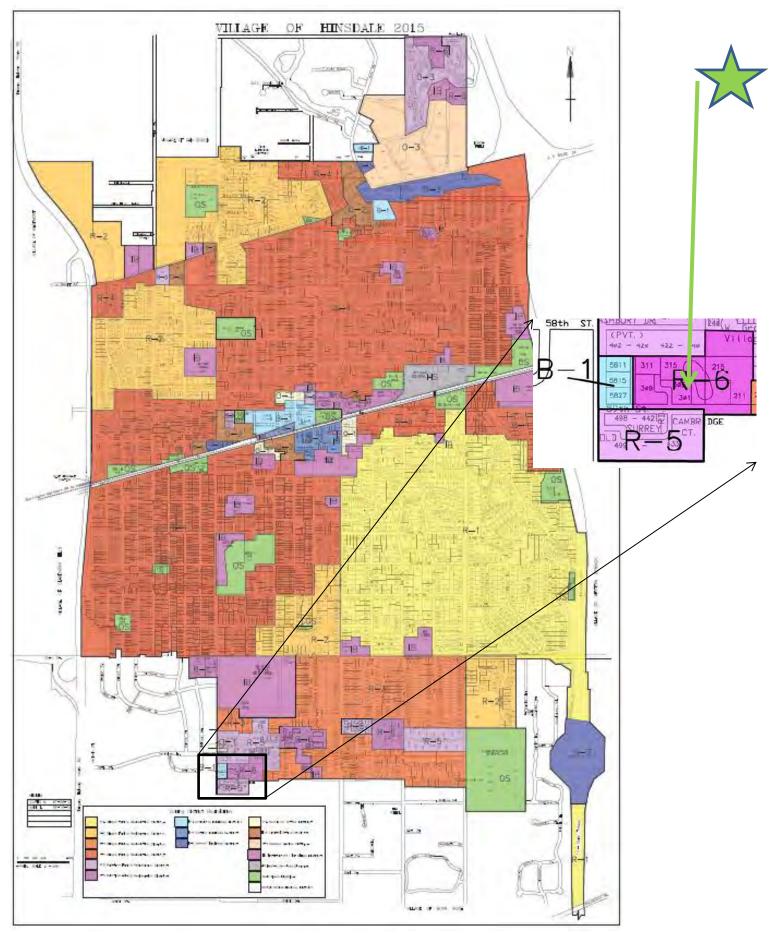
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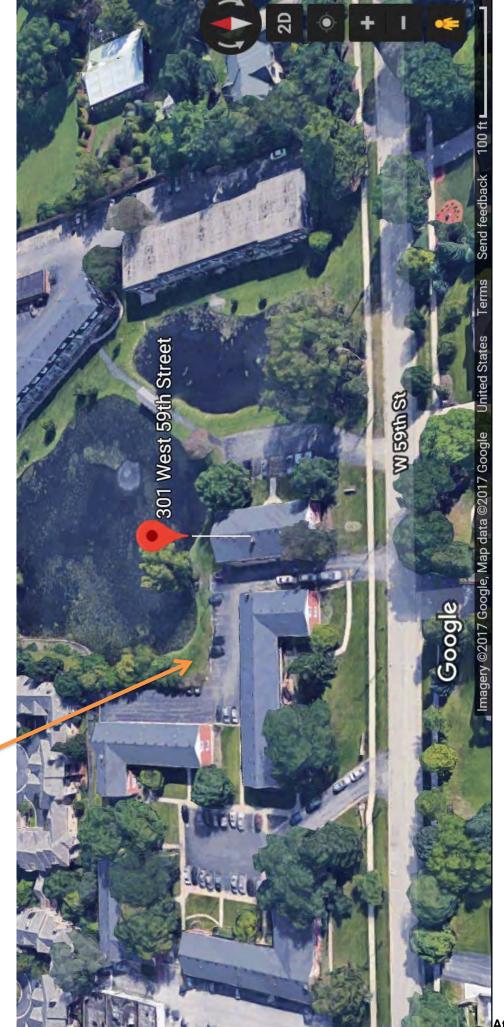
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## **Attachment 2: Village of Hinsdale Zoning Map and Project Location**





Birds Eye View of 301 W. 59<sup>th</sup> Street (facing north) **Proposed Playground Location** Attachment 3:



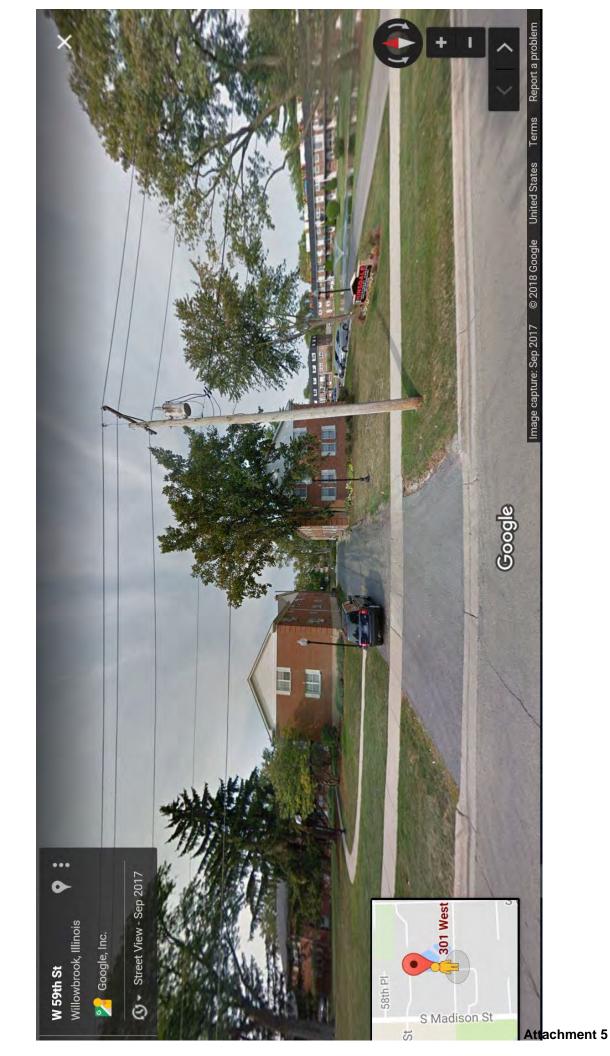
Attachment 3



Parcel Map of 301 W. 59<sup>th</sup> Street Attachment 4: Parce



Street View of 301 W. 59th Street (facing north) Attachment 5:



# VILLAGE OF Linsdale Est. 1873

#### **MEMORANDUM**

**DATE:** January 10, 2018

**TO:** Chairman Cashman and Plan Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** Scheduling of Public Hearing for Map Amendment and Tentative Plat of Subdivision

Request to Subdivide and Amend 4 Acre R-4 Lot into (8) R-4 Lots and (1) O-2 Lot

540 W. Ogden Avenue - Kensington School — Case A-44-2017

#### **Summary**

The Village of Hinsdale has received an application from Charles Marlas, of Kensington School, requesting approval for a Map Amendment and concurrent Tentative Plat of Subdivision to 540 W. Ogden Avenue. The subject property is vacant, is currently zoned R-4 Single Family Residential and is 172,640 SF (4 acres) in area.

The request is to subdivide the southern half of the lot, 2.26 acres in area, into 8 code compliant R-4 residential lots. The land use to the east and south of the proposed residential lots are also R-4 residential. The entrance into the proposed new cul-de-sac is on Monroe Street. The permitted height of single family homes in the R-4 district is 3 stories/35 feet, and is taller than the planned 1-story/23 foot tall Kensington School at the northern half of the lot.

The request also proposes to subdivide 1.74 acres of the northern half of the lot, facing Ogden Avenue, and amend the zoning from R-4 residential to an O-2 office district. On Ogden Avenue, the subject property would be east of an O-2 parcel at 550 W. Ogden Avenue and southwest of an O-2 parcel at 501 W. Ogden Avenue. Per the code, the bulk and height regulations of the O-2 district encourage development that is architecturally consistent with smaller sites and compatible with nearby residential uses.

Should the Map Amendment and tentative Plat of Subdivision application be approved, the applicant plans to apply for a final Plat of Subdivision, and concurrent Exterior Appearance/Site Plan and Special Use Permit to construct a new 15,000 SF, 23-foot tall, one-story child daycare school. The proposed child daycare school use requires a Special Use permit in the O-2 district. A site plan and elevations of the proposed school are included.

#### **Process**

This agenda item for the January 10, 2018, PC meeting is to consider <u>scheduling</u> a public hearing for the February 14, 2018, PC meeting. Within forty five (45) days following the conclusion of the public hearing, the PC shall transmit to the BOT its recommendation in the form specified by subsection <u>11-103(H)</u>. The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such



#### **MEMORANDUM**

further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

#### **Attachments:**

Attachment 1 – Map Amendment, Tentative Subdivision Plan and Plan Commission Applications

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Zoning Map highlighting all the O-2 Districts in Hinsdale

Attachment 4 - Zoning Code Section 6-101 Purposes: Office Districts

Attachment 5 - Parcel Aerial Map and Birds Eye View of 540 W. Ogden Avenue



## VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

## PLAN COMMISSION APPLICATION

Address: 820 DAVIS STREET

#### I. GENERAL INFORMATION

Name: KENSINGTON SCHOOL

Address: 743 MCCLINTOCK DRIVE

**Applicant** 

City/Zip: BURR RIDGE 60527  Phone/Fax: (630) 990 /8000  E-Mail: CMARLAS@KENSINGTONSCHOOL.COM  Others, if any, involved in the project (i.e. A	City/Zip: EVANSTON, IL 60201 Phone/Fax: (847) 558 /2532 E-Mail: MITCHELL@BUILDERSNAB.COM
Name: LANCE LAUDERDALE  Title: ARCHITECT  Address: 743 MCCLINTOCK DR  City/Zip: BURR RIDGE, 60527  Phone/Fax: (630) 990 /8000  E-Mail: LANCELAUDERDALE@GMAIL.COM	Name: JAMES KAPUSTIAK  Title: CIVIL ENGINEER  Address: 9575 HIGGINS RD. STE 700  City/Zip: ROSEMONT, IL 60018  Phope/Fax: (847) 696 /4065  E-Mail: JICAPUSTIAK@SPACECOINC.COM
Disclosure of Village Personnel: (List the name of the Village with an interest in the owner of record, t application, and the nature and extent of that interest)  1)	e, address and Village position of any officer or employee the Applicant or the property that is the subject of this

Owner

Name: MIH, LLC

## II. SITE INFORMATION

Address of subject property: 540 W OGDEN AVE, HINSDALE, IL 60521				
Property identification number (P.I.N. or tax number): 09 - 02 - 213 - 001/2/3/4				
Brief description of proposed project: 4 ACRE PARCEL TO BE SUBDIVIDED AS APPROX 1.85 ACRES O-2				
WITH A SPECIAL USE FOR DAYCARE. REMAINING 2.15 ACRES TO REMAIN R-4 SUBDIVIDED INTO 6 HOME SITES.				
General description or characteristics of the site: NE CORNER OF OGDEN AVENUE AND MONROE				
VACANT PROPERTY.				
Existing zoning and land use: R-4				
Surrounding zoning and existing and uses:				
North: IB & O2 South: R-4				
East: R-4 West: O-2				
Proposed zoning and land use: O2 & R-4				
Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:				
■ Site Plan Approval 11-604 ■ Map and Text Amendments 11-601E				
☐ Design Review Permit 11-605E				
□ Exterior Appearance 11-606E				
☐ Planned Development 1 603E ☐ Special Use Permit 11-602E ☐ Special Use Requested: DAY CARE ☐ Development in the B-2 Central Business ☐ District Questionnaire				

## TABLE OF COMPLIANCE

Address of subject property:	540 W OGDEN AVE
, , , ,	

The following table is based on the <a>O2</a> Zoning District.

	Minimum Code	Proposed/Existing
	Requirements	Development
		201010111011
Minimum Lot Area (s.f.)	25,000	78,085
Minimum Lot Depth	125	223
Minimum Lot Width	100	297
Building Height	40	23
Number of Stories	3	1
Front Yard Setback	100	110
Corner Side Yard Setback	25	64
Interior Side Yard Setback	10	48
Rear Yard Setback	20	56
Maximum Floor Area Ratio	20 E/20E E0	15 000CE 10
(F.A.R.)*	39,542SF .50	15,000SF .19
Maximum Total Building	℃ n/a	15000
Coverage*		13000
Maximum Total Lot Coverage*	63,268SF .80	57,732SF .73
Parking Requirements	39	36
	· 0	
Parking front yard setback	25	10
Parking corner side yard	25	37
setback	20 4/	) <sub>*</sub>
Parking interior side yard	10	<b>^</b> 10
setback	10	
Parking rear yard setback		X NA
Loading Requirements	1	· A
Accessory Structure		
Information		_

<sup>\*</sup> Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the
application despite such lack of compliance:

#### CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
  - B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
    - 1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
    - A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
    - 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and ease nehts and all other utility facilities.
    - 4. Location, size, and arrangement of all outdoor signs and lighting.
    - 5. Location and neight of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
    - 6. A detailed landscaping lan, showing location, size, and species of all trees, shrubs, and other plant material.
    - 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application charges or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
  - E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
  - F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

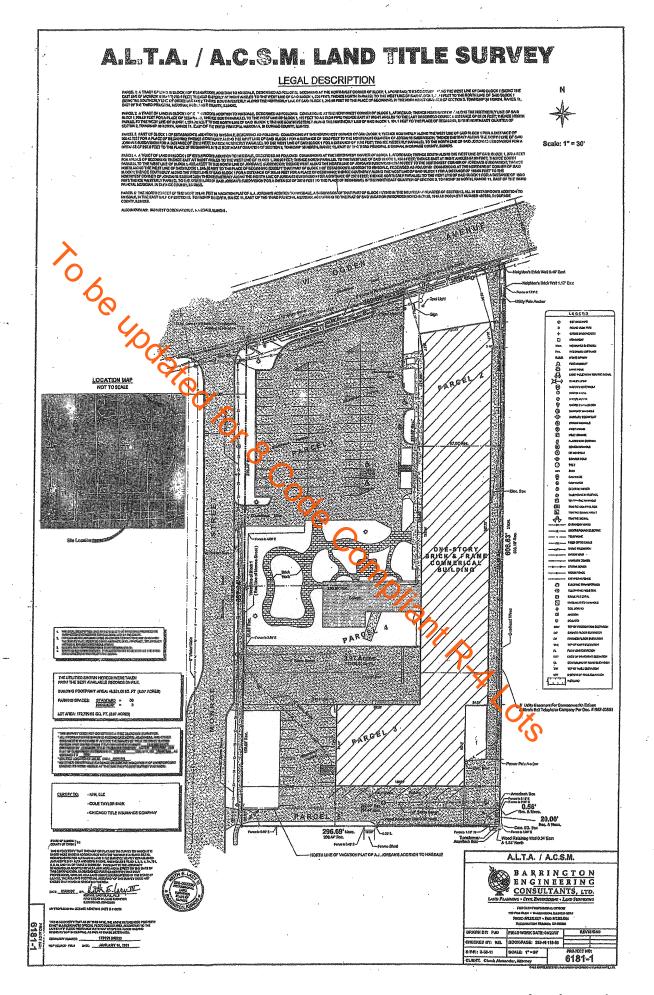
Mitchell Saywitz, Authorized Agent of MIH LLC, Owner Name of applicant or authorized agent

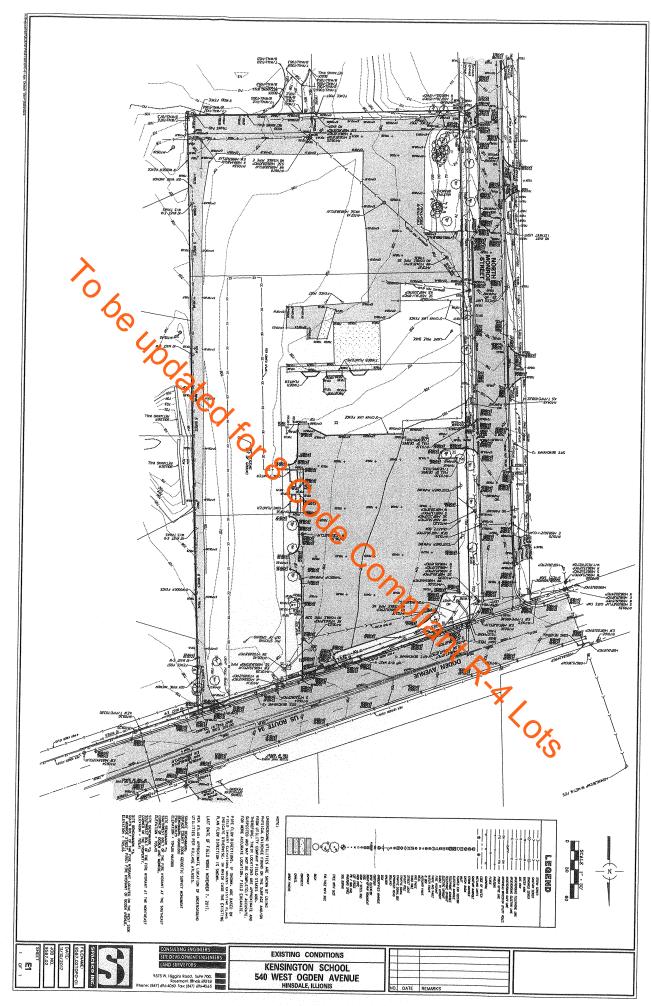
Mitchell Saywitz, Authorized Agent of MIH LLC, Owner Name of owner or authorized agent

Notary Public Spatako

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OFFICIAL SEAL LINDA M SPATARO NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES:07/18/20





### VILLAGE OF HINSDALE

#### **COMMUNITY DEVELOPMENT DEPARTMENT**

19 East Chicago Avenue Hinsdale, Illinois 60521-3489 630.789.7030

## **Application for Certificate of Zoning Compliance**

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name:	KENSINGTON SCHOOL, INC.		
Owner's name (if differer	t): MIH, LLC		
Property address:	540 W ODGEN AVE, HINSDALE, IL 60521		
Property legal description	a: [attach to this form]		
Present zoning classifica	tion: R-4, Single Family Residential		
Square footage of proper	4 ACRES (172,640 SF)		
Lot area per dwelling:			
Lot dimensions:	29 <sup>70</sup> x 600'		
Current use of property:	VACANO		
Proposed use:	✓ Single-fartily detached dwelling ✓ Other: Day Care		
Approval sought:	☐ Building Permit		
Brief description of reque	st and proposal:		
•	are Center with O-2 district. (6) lots to be .30 acr ea with R-4 district		
Plans & Specifications:	[submit with this form] SEE ATTACHED TABLE OF COMPLIANCE SHEETS FOR (7) LOTS	CE	
	Provided: Required by Code:		
Yards:			
front: interior side(s)	110' 100' 100' 10' /25'		

Provided:	Required by Code:		
corner side rear	64' 56'	25' 20'	
Setbacks (businesses ar	nd offices):	**************************************	
front:	110'	100'	
interior side(s) corner side	48' / <u>64'</u> 64'	10' /25'	
rear	56'	<u>25'</u> 20'	
others:	THE PROPERTY AND ADMINISTRATION OF THE PROPERTY AND ADMINISTRATION ADMINISTRATION AND ADMINISTRATION ADMINISTRA	Com Comment of the Co	
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principal building(s):	23'	40'	
accessory building(s):		<del></del>	
Maximum Elevations			
principal building(s): accessory building(s):			
Dwelling unit size(s):	15,000 SF	39,542 SF	
Total building coverage:		**************************************	
Total lot coverage:	57,732 SF	63,268 SF	
Floor area ratio:	.19	.50	
Accessory building(s):		<u>-</u>	NOTE OF THE PROPERTY AND ADDRESS OF THE PROPERTY ADDRE
Spacing between building	gs:[depict on attache	ed plans]	
<pre>principal building(s): accessory building(s):</pre>			
Number of off-street park Number of loading spaces		d: 39	
Statement of applicant:		~< <sub>0*</sub>	
understand that any omissi be a basis for denial or revo	on of applicable or r	in this form is true and complete elevant information from this forr	lete. I n could
By: Applicant's signatur	re		
CHARLES MARLA Applicant's printed i			
Dated: 11/14	. 20 17		



COMMUNITY DEVELOPMENT DEPARTMENT **ZONING CODE TEXT AND MAP** AMENDMENT APPLICATION

Must be accompanied by completed Plan Commission Application

Is this a:

Map Amendment ( )

Text Amendment (●)



Address of the subject property 540 W OGDEN AVE

Description of the proposed request: SUBDIVIDE 4 ACRE R4 PROPERTY TO 2 ACRE CHILD

DAY CARE SITE AND 6 LOT R4 RESIDENTIAL

REVIEW CRITERIA

SUBDIVISION

Section 11-601 of the Hinsdale Zoning Code regulates Amendments. The amendment process established is intended to provide a means for making changes in the text of the Zoning Code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confene pecial privileges or rights. Rather, it is intended as a tool to adjust the provisions of the Zoning Code and the zoning map in light of changing, newly discovered, or newly important conditions, situations, or knowledge. The wisdom of amending the text of the Zoning Code is a matter committed to the sound legislative discretion of the Board of Trustees and is not dictated by any set standard. However, in determining whether a proposed amendment should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Board of Trustees should weigh, among other factors, the below criteria.

Below are the 14 standards for amendments that will be the criteria used by the Plan Commission and Board of Trustees in determining the merits of this application. Please respond to each standard as it relates to the application. Please use an additional sheet of paper to respond to questions if needed. If the standard is not applicable, please mark N/A.

- 1. The consistency of the proposed amendment with the purpose of this Code. CHILD DAY CARE IS PROVIDED AS A SPECIAL USE IN THE 02 DISTRICT. THE R4 CLASSIFICATION FOR THE REAR SUBDIVISION WILL REMAIN.
- 2. The existing uses and zoning classifications for properties in the vicinity of the subject property. O2 AND R4 PROPERTIES ARE CURRENTLY IN THE VICINITY OF THE SUBJECT PROPERTY
- 3. The trend of development in the vicinity of the subject property, including changes, if any, such trend since the subject property was placed in its present zoning classification.

THE TREND OF DEVELOPMENT IN THE VICINITY IS CURRENTLY R4 SINGLE FAMILY AND THE PROPOSED SPECIAL USE OF CHILD DAY CARE IN THE O2 DISTRICT WILL ALSO FIT WELL AS A TRANSITION ON OGDEN TO THE RESIDENTIAL COMPONENT.

4. The extent, if any, to which the value of the subject property is diminished by the existing zoning classification applicable to it.

VALUE WILL INCREASE WITH THE ZONING RECLASSIFICATION

5. The extent to which any such diminution in value is offset by an increase in the public health, safety, and welfare.

NA

6. The extent, if any, to which the use and enjoyment of adjacent properties would be affected by the proposed amendment.

NA

7. The extent, if any, which the value of adjacent properties would be affected by the proposed amendment.

NA

8. The extent, if any, to which the future orderly development of adjacent properties would be affected by the proposed amendment.

NA

9. The suitability of the subject property for uses permitted or permissible under its present zoning classification.

THE R4 HOMES AS SHOWN AT THE REAR OF THE DEVELOPMENT SITE ARE SUITABLE. THE R4 DESIGNATION ON OGDEN AVE. IS NOT AS SUITABLE UNDER ITS PRESENT ZONING.

10. The availability of adequate ingress to and egress from the subject property and the extent to which traffic conditions in the immediate vicinity of the subject property would be affected by the proposed amendment.

EXISTING TRAFFIC INGRESS/EGRESS ON OGDEN AND MONROE WOOD BE LESS IMPACTFUL THAN PRIOR USES AT THIS SITE.

11. The availability of adequate utilities and essential public services to the subject property to accommodate the uses permitted or permissible under the present zoning classification.

ALL UTILITES ARE AVAILABLE

12. The length of time, if any, that the subject property has been vacant, considered in the context of the pace of development in the vicinity of the subject property.

THE SUBJECT PROPERTY HAS BEEN VACANT FOR 10+ YEARS.

13. The community need for the proposed amendment and for the uses and development it would allow.

HINSDALE IS VERY UNDERSERVED BY QUALITY CHILD DAY CARE CENTERS AND KENSINGTON SCHOOL WILL BE A STRONG RESOURCE TO THE COMMUNITY.

14. The reasons, where relevant, why the subject property should be established as part of an overlay district and the positive and negative effects such establishment could be expected to have on persons residing in the area.

NA

and s residi.

Ubotated for o Code Compliant R. A. Lots

## TABLE OF COMPLIANCE

Address of subject property:	540	W. 00	GOEN AVE.	LOT 1 - CHILD DAYCARE CENTER
The following table is based on t	the	0-2	Zoning District.	

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	25,000		75,973
Lot Depth	125		211'
Lot Width	100		297'
Building Height	40		23'
Number of Stories	3		
Front Yard Setback	100' F/Q OF OGOEN		110' F/ Q OF OGDEN
Corner Side Yard Setback	25'		64'
Interior Side Yard Setback	10'		48'
Rear Yard Setback	201		44'
Maximum Floor Area Ratio (F.A.R.)*	.50 37,966		.19 15,000 5F
Maximum Total Building Coverage*	NA		
Maximum Total Lot Coverage*	.80 60,778		.76 57,732 SF
Parking Requirements	39		36
Parking front yard setback	25'		(0'
Parking corner side yard setback	25'		37 '
Parking interior side yard setback	10 '		10'
Parking rear yard setback			N/A
oading Requirements			0
Accessory Structure nformation			

<sup>\*</sup> Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state application despite such lack of compliance:	the reason and explain the Village's authority, if any, to approve the

## TABLE OF COMPLIANCE

Address of subject property:	540 W. OGDEN AVE.	LUTS 2 THRU 9 - RESIDENTIAL

The following table is based on the \_\_\_\_\_Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.		Existing Development	Proposed Development
Lot Area (SF)	10,000		10,000 +
Lot Depth	125'		129' +
Lot Width	INT. LOT - 70' 80% = 56'		LOTS 2,7 = 81' OTHER LOTS = 56
Building Height	35.5'		35'
Number of Stories	3		3
Front Yard Setback	35'		35 '
Corner Side Yard Setback	35'		LOTS 2,7 = 35'
Interior Side Yard Setback	8'		8'
Rear Yard Setback	25'		25'
Maximum Floor Area Ratio (F.A.R.)*	. 24 PWS 1,100 SF 4,220 SF		4200 55
Maximum Total Building Coverage*	. 25 3,250 SF		3,200 SF
Maximum Total Lot Coverage*	. 50 6,500 SF		4,400 SF
Parking Requirements	3 PER OWELLING UNIT		3
Parking front yard setback	NOT ALLOWED		NIA
Parking corner side yard setback	NOT ALLOWED		MA
Parking interior side yard setback	8'		8'
Parking rear yard setback	25'		25'
Loading Requirements	NIA		MA
Accessory Structure Information			

<sup>\*</sup> Must provide actual square footage number and percentage.

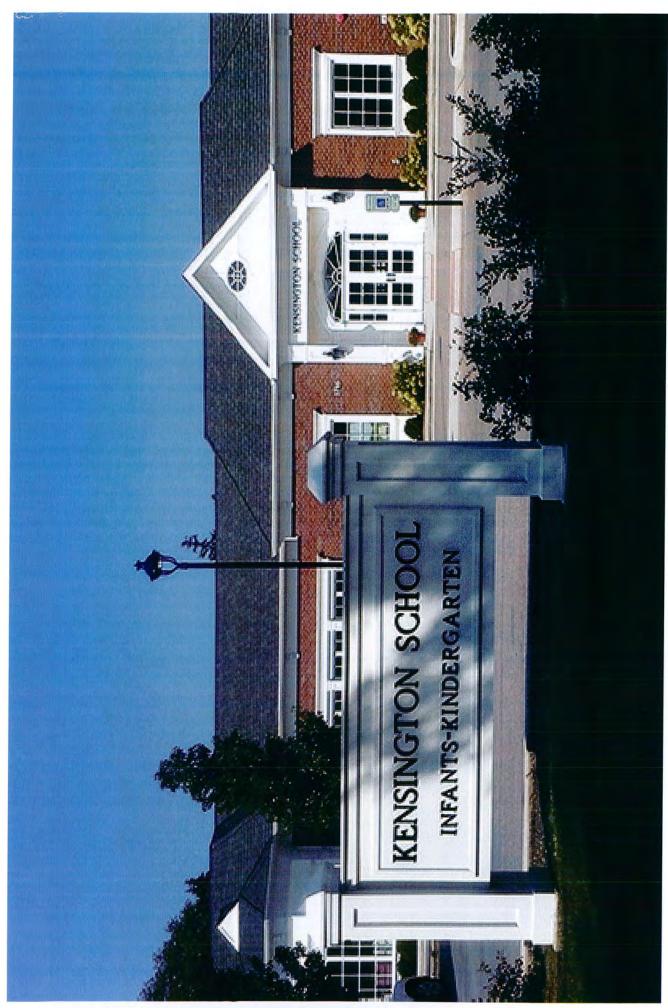
Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

\_119'-5" 96'-3" 81'-0" KENSINGTON SCHOOL , o<del>4</del> 743 MCCLINTOCK DRIVE BURR RIDGE, IL 60527 T 630-990-8000 F -630-990-8041 1" = 20'-0" 20, 10,355 SF 10,482 10,130 SF LOT LOT 4 LOT 3 116'-3" 129'-7" 129'-2" ું 🖵 2 81'-9" wide 81'-0" wide 10,170 SF LOT 8 45, 3,, 81'-0" \_6<u>6</u>"-0" 29'-9" 10,170 81'-0" LOT 9 KENSINGTON SCHOOL OF HINSDALE

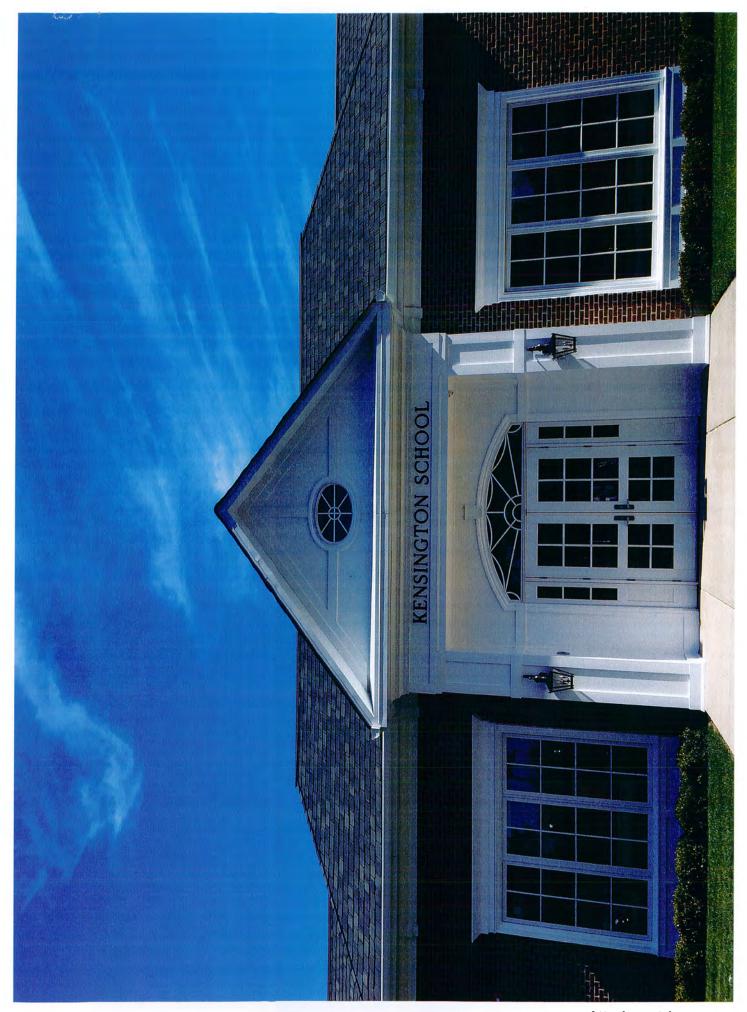
540 WEST OGDEN AVENUE

HINSDALE, ILLINOIS 60521 SF 81'-0" wide 81,-9" wide 129'-2" 10,462 10,053 10,185 LOT 7 LOT 6 LOT 5 Z MONROE SE SE ST 119'-8" 96'-2" 81'-0" 296'-11" ONE-STORY PRESCHOOL 15,000 S.F. 75,973 211'-6" LOT 3 SF SITE PLAN M OGDEN AVENUE

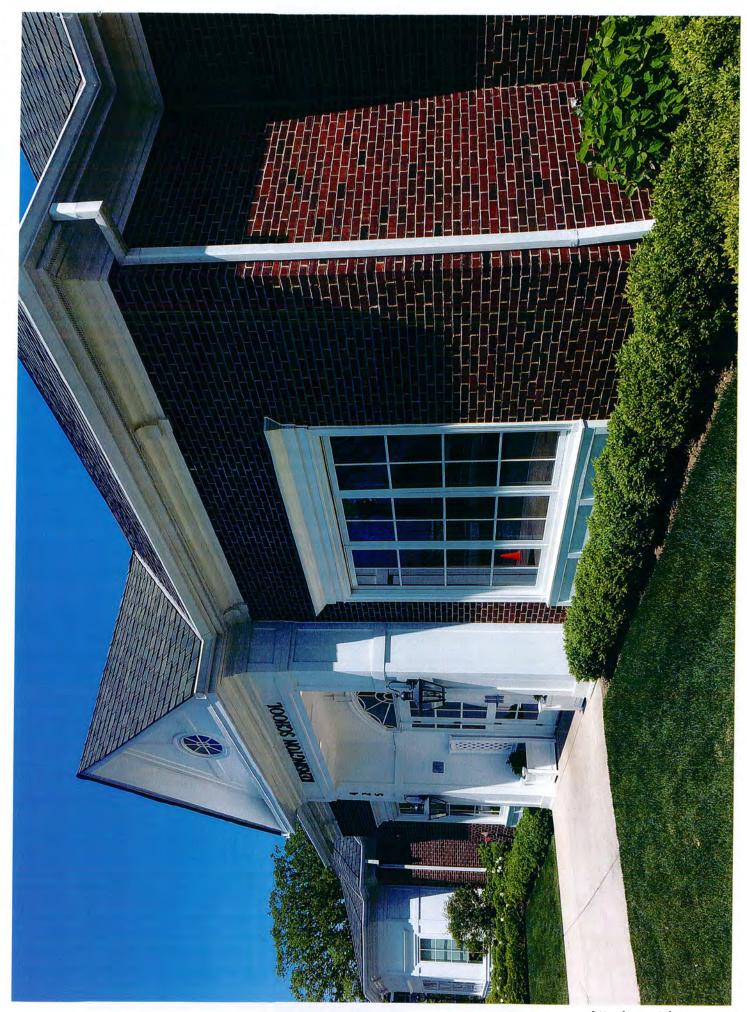
Attachment 1



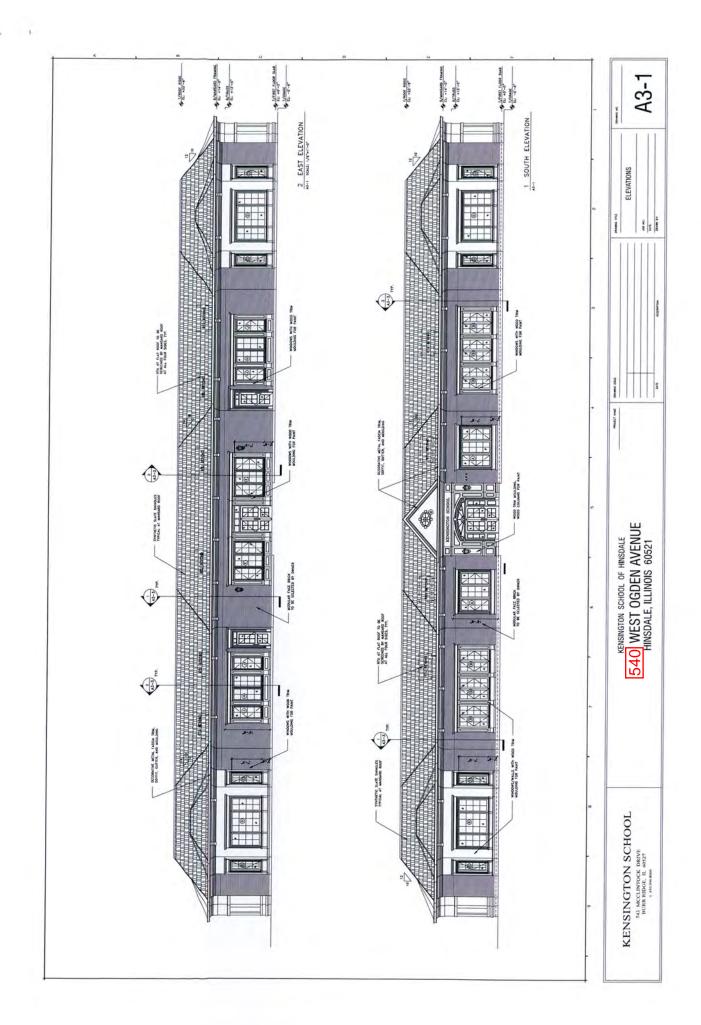
Attachment 1



Attachment 1

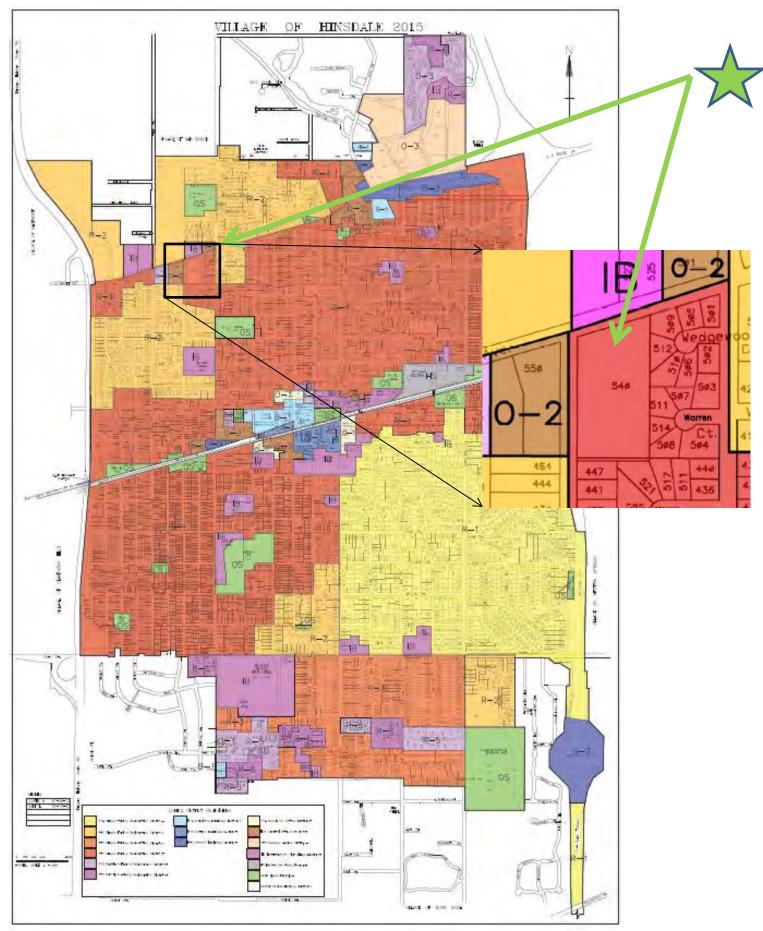


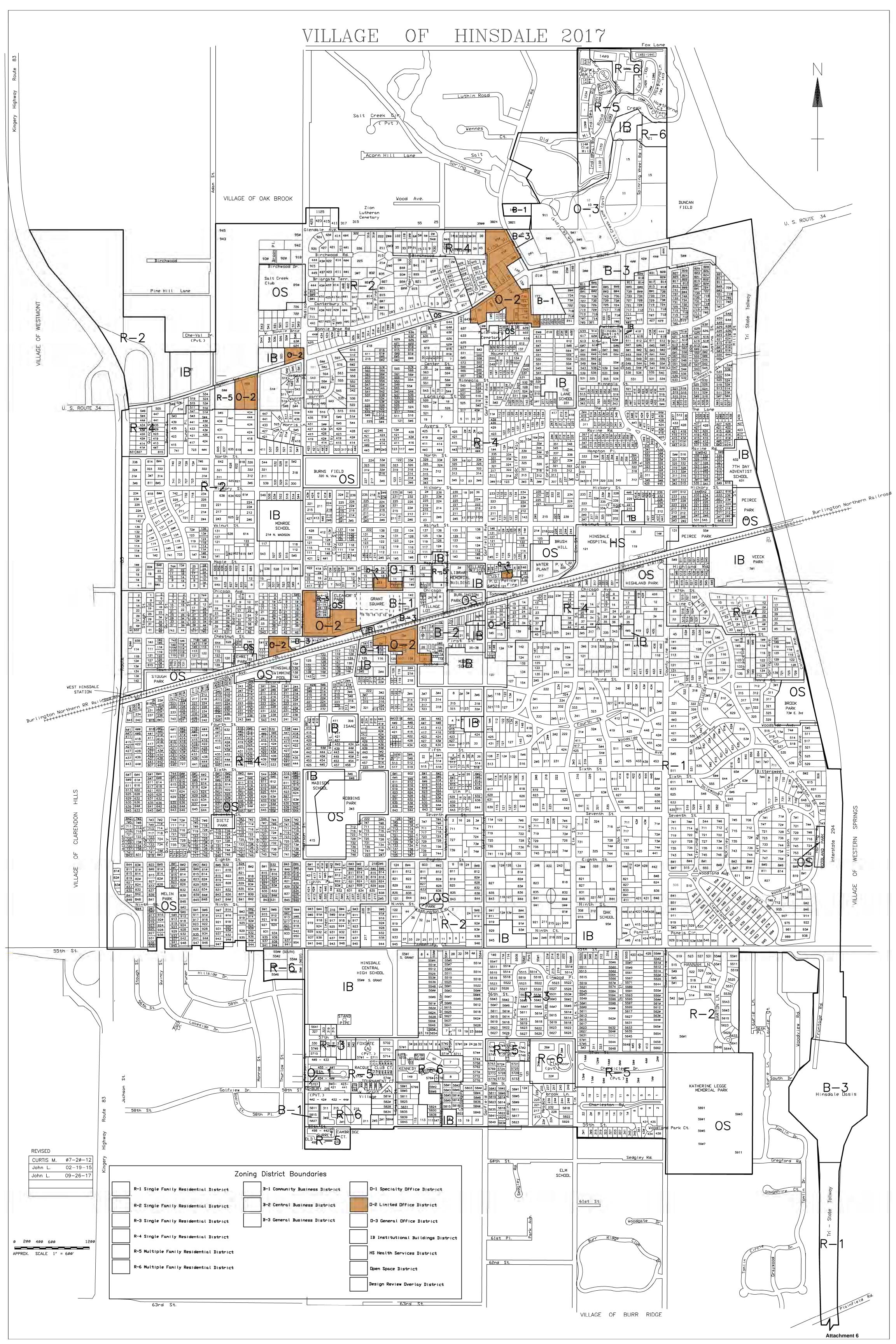
**Attachment 1** 



## **Attachment 2: Village of Hinsdale Zoning Map and Project Location**







#### Attachment 4: Zoning Code Sec. 6-101: Purposes: Office Districts

Three (3) zoning districts are provided for office development. The office districts accommodate a range of suburban office space alternatives in keeping with the residential and local business atmosphere in the village.

In the office districts, the combination of use regulations and varied bulk and yard regulations is intended to:

- A. Perpetuate the existing high quality character of the village by preserving established office use areas while permitting only beneficial new office development consistent with the overall character and land use patterns of the existing village; and
- B. Assure through height limits, setback and open space requirements, and mapping decisions that all office development is compatible with the residential scale of village; and
- C. Implement through reasonable regulation the purposes and intent of this code.

Specifically, the O-1 specialty office district is intended to provide for small offices in the older areas of the village adjacent to the central business areas where it is possible to retain the residential character and appearance of the village and at the same time promote limited business activity. The uses permitted are characterized by low traffic volume and limited outdoor advertising. The regulations of the O-1 district are designed to encourage the retention and renovation of sound existing structures and to ensure that the office uses remain compatible with the residential uses while permitting the area to maintain a distinctive residential character. Replacement structures in the O-1 district also must have a residential character and appearance. The O-1 district normally is small in size and located to provide a transition between residential areas and less restricted districts.

The O-2 limited office district is designed to provide for the general needs of business and professional offices and related business uses on smaller sites in scattered areas throughout the village. Bulk and height regulations encourage development that is architecturally consistent with smaller sites and compatible with nearby residential uses.

The O-3 general office district is provided to accommodate the needs of business and professional offices and related business uses requiring a somewhat wider range of office space with a somewhat higher intensity of pedestrian and vehicular traffic movements. Bulk and height regulations are consistent with a moderate amount of development. (1991 Code)

नार्या प्रमुखन Send feedback (photo outdated, all buildings on 540 W. Ogden have been demolished) N Monroe St Imagery @2017 Google, Map data @2017 Google United States Google **Subject Property** 12 nosibeM M

Parcel Aerial Map of 540 W. Ogden Ave. (facing north) Attachment 5:

(photo outdated, all buildings on 540 W. Ogden have been demolished) 540 W Ogden Ave, Hinskal X Show search results for 540... **Subject Property**