



PLAN COMMISSION Wednesday, September 13, 2017 7:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

- 1. CALL TO ORDER
- 2. MINUTES Minutes of August 9, 2017

3. FINDINGS AND RECOMMENDATIONS

a) Case A-23-2017 - 5819 S. Madison St. - Plate 28 - Special Use Permit for 1,400 SF fitness studio

4. SIGN PERMIT REVIEW

- a) Case A-30-2017 50 S. Washington St., 2nd FL. NL Decorator New Window Signs
- b) Case A-31-2017 33-37 S. Washington St. Starbucks 2 Sign replacements
- c) Case A-32-2017 30 E. First St. Verizon 1 new Wall Sign
- **d)** Case A-27-2017 301 W. 59th St. Hinsdale Apartments Ground Sign replacement (continuation from August 9, PC meeting)

5. SCHEDULE OF PUBLIC HEARING - <u>No discussion will take place except to determine a</u> time and date of hearing.

a) Case A-33-2017 – 21 Salt Creek Ln. (former Robert Crown Center) – Hinsdale Humane Society – Special Use Permit for Animal Humane Society

6. EXTERIOR APPEARANCE AND SITE PLAN REVIEW

- a) Case A-29-2017 336 E. Ogden Ave. Bill Jacobs Land Rover Exterior Appearance/Site Plan review for new Land Rover Dealership (replacing Land Rover at 300 E. Ogden)
- **b)** Case A-34-2017 16 Grant Square Kramer Foods Exterior Appearance/Site Plan review for front façade alteration to existing grocery store.

7. PUBLIC HEARING - All those wishing to provide public testimony must be sworn in and after the applicant makes their presentation will be recognized by the Chair to speak.

a) Case A-25-2017 – 55th St./County Line Rd. – Hinsdale Meadows Venture, LLC – Detailed Plan and Special Use Permit for a 64-unit residential Planned Development. (continuation from August 9, public hearing)

8. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. Web Site: www.villageofhinsdale.org

Approved

MINUTES VILLAGE OF HINSDALE PLAN COMMISSION August 9, 2017 MEMORIAL HALL 7:30 P.M.

<u>Chairman Cashman called the meeting to order at 7:30 p.m., Wednesday, August 9, 2017, in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.</u>

PRESENT: Chairman Cashman, Commissioner Krillenberger, Commissioner

Fiascone, Commissioner Jablonski, Commissioner Braselton,

Commissioner Peterson, Commissioner Willobee

ABSENT: Commissioners Crnovich & Unell

ALSO PRESENT: Chan Yu, Village Planner: Robb McGinnis, Director of Community

Development

Approval of Minutes

Chairman Cashman asked for any comments in regards to the minutes. With no concerns, Chairman Cashman motioned to approve the minutes. The Plan Commission (PC) unanimously approved the minutes from the July 12, 2017, meeting 7-0 (2 absent).

<u>Sign Permit Review</u> - Case A-26-2017 - 13 Grant Square - Zazu Salon - Wall Sign replacement. A representative from the sign company provided a brief description of the sign. With no concerns related to the sign, the PC unanimously approved the sign application as submitted, 7-0 (2 absent).

<u>Sign Permit Review</u> - Case A-27-2017 - 301 W. 59th St. - Hinsdale Apartments - Ground Sign replacement. The applicant presented the request to the PC. It was noted by the PC Chairman that the existing ground sign was installed without a permit. The PC also expressed design issues with the proposed ground sign because it did not match the surrounding area. Illumination concerns were also voiced since the ground sign location is across the street from single-family homes. The PC expressed interest in viewing other options for the sign and obtaining additional information from the property owner.

The PC voted **unanimously (7-0) to continue** the application for new design options to review at the next PC meeting on September 13, 2017.

Plan Commission Minutes August 9, 2017

<u>Public Hearing</u> - Case A-23-2017 – 5819 S. Madison St. – Plate 28 – Special Use Permit for 1,400 SF fitness studio. The applicant presented the request to the PC describing the work out history, benefits and routine. The presentation also addressed projected number of daily classes & participants, proposed parking, and the invitation to neighbors to share thoughts at a meet and greet resulting in not concerns. After answering questions by the PC about the equipment, noise & level of vibrations of the equipment, hours of operation, parking and parking logistics, the PC unanimously recommended approval for the Special Use Permit, as submitted, 7-0 (2 absent).

(Please see the attached transcript for Case A-23-2017 included as part of this record)

Public Hearing - Case A-25-2017 – 55th St./County Line Road. – Hinsdale Meadows Venture, LLC – Detailed Plan and Special Use Permit for a 64-unit residential Planned Development. Chairman Cashman gave a brief background of the committee meetings this project has navigated through. The applicant presented an overview of the housing types, site plan, landscape plan and traffic study to the PC. Details discussed included the number of homes planned, the elevations, floor plans, and brief description possible of deck/stair options. The presentation went on to discuss the number of parkway trees (existing, being added, and number of unhealthy trees removed) and the desire to design around with existing infrastructure and grading. Calculations related to home sites were discussed as well as a brief overview of the results of the traffic study completed in February of 2017. The addition of a gate between the hospital and development allowing for easy access of emergency vehicles to property, should the need arise, was described.

Three neighborhood residents spoke in favor of the plan during the public hearing, two of which expressed the development as meeting a highly desired need of "empty nesters". A resident however, expressed concern for potential cut-through traffic, to and from the County Line Rd. entrance and 55th St. entrance. Another resident explained that there is additional traffic in the area (but is based on reasons unrelated to the applicant; and due to the current road construction project and "new" Oak St. bridge).

Questions by the PC included engineering topics, prices, and the function of the emergency gate in/out of RML Hospital. Specific topics discussed included the features of the side load garage, demand for specific home models & construction of those based on sale and speculation. Also addressed were modifications to the detention pond, screen fall features, landscape screening between strolling park and homes, and frequency of use of the emergency gate between development and hospital. The PC shared positive comments about the amount of details in the HOA agreement supporting the age targeted community over the long term.

The applicant answered all the questions sufficiently by the PC. The public hearing was positive in general. The applicant reviewed items that are still being finalized with staff, and will continue the presentation at the next PC meeting.

Plan Commission Minutes August 9, 2017

The PC unanimously approved to continue the public hearing for Case A-25-2017 for the September 13 PC meeting, 7-0 (2 absent).

(Please see the attached transcript for Case A-25-2017 included as part of this record, Attachment 1)

Adjournment

The meeting was adjourned at 9:25 PM, after a unanimous vote.

Respectfully Submitted, Jennifer Spires, Community Development Secretary

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COUNTY	OF	' DU	PAGE)	

BEFORE THE HINSDALE PLAN COMMISSION

In the Matter of:

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PLATE 28, 5819 S. Madison
Special Use Permit
Case No. A-23-2017.

REPORT OF PROCEEDINGS had and testimony taken at the hearing of the above-entitled matter before the Hinsdale Plan Commission, at 19 East Chicago Avenue, Hinsdale, Illinois, on August 9, 2017, at the hour of 7:30 p.m.

BOARD MEMBERS PRESENT:

MR. STEPHEN CASHMAN, Chairman;

MS. DEB BRASELTON, Member;

MS. ANNA FIASCONE, Member;

MR. GERALD JABLONSKI, Member;

MR. SCOTT PETERSON, Member;

MR. MARK WILLOBEE, Member; and

MR. JIM KRILLENBERGER, Member.

٠,	ALCO DESCENT.		4
1	ALSO PRESENT:	1	there was one in California. So we hopped on a
2	MR. CHAN YU, Village Planner;	2	plane and went to California and did every
3	MR. ROBB McGINNIS, Director of	3	workout they had and it was a great program and
	Community Development;	4	we just thought it would be super successful in
4	MD MICHAEL MADDO Villago Attagrasio	5	Hinsdale.
5	MR. MICHAEL MARRS, Village Attorney;	6	MS. MUELLER: So just to go over a
	MS. KELLY MILNE, Applicant;	7	little bit of what Plate 28 is. We have planned
6	MS. KATIE MUELLER, Applicant.	8	out a fast, efficient workout. So if you think
7		9	about 28 minutes of intense continuous muscle
	(MUEDEUDON, the costlement	07:46:14PM 10	contractions delivering a greater workout and
8	(WHEREUPON, the oath was	11	greater results at a faster pace. And then you
9	administered en masse.)	12	are done.
07:43:16PM 10	CHAIRMAN CASHMAN: First is Case	13	Our workout will be equivalent to a
07:43:16PM 10	A-23-2017, 5819 South Madison Street, Plate 28,	14	more traditional 60 to 90 minute workout and it
12	special use permit for 1,400 square foot fitness	15	will be like a nonstop exercise routine that
13	studio. If you could please introduce	16	will go on for 28 minutes and the vibration of
15	yourselves.	17	the machine will intensify the workout.
16	MS. MILNE: We have a presentation.	18	The whole concept behind Power
17 18	CHAIRMAN CASHMAN: Good. MS. MUELLER: We have spent so much	19	Plate, which is the machine that we are going to
19	time on this presentation. Good evening. We	07:46:50PM 20	have, is this whole body vibration training and
07:44:34PM 20 21	are here this is actually our first presentation as company owners for Plate 28.	21	this training amplifies your natural reflexes
22	And my name is Katie Mueller, this is Kelly	22	inside your body and it forces involuntary
	3		5
1	Milne, and we are copartners and we are here	1	5 muscle contractions throughout the entire
1 2		1 2	
_	Milne, and we are copartners and we are here		muscle contractions throughout the entire
2	Milne, and we are copartners and we are here today to present to you for our special use	2	muscle contractions throughout the entire workout. So again, that is why you are doing a
3	Milne, and we are copartners and we are here today to present to you for our special use permit for Plate 28.	3	muscle contractions throughout the entire workout. So again, that is why you are doing a lot harder work in a shorter amount of time.
3 4	Milne, and we are copartners and we are here today to present to you for our special use permit for Plate 28. Kelly and I moved here five years	2 3 4	muscle contractions throughout the entire workout. So again, that is why you are doing a lot harder work in a shorter amount of time. MS. MILNE: So you can just stand on
2 3 4 5	Milne, and we are copartners and we are here today to present to you for our special use permit for Plate 28. Kelly and I moved here five years ago and each have three children in the area and	2 3 4 5	muscle contractions throughout the entire workout. So again, that is why you are doing a lot harder work in a shorter amount of time. MS. MILNE: So you can just stand on the machine and your muscles are working. We
2 3 4 5 6	Milne, and we are copartners and we are here today to present to you for our special use permit for Plate 28. Kelly and I moved here five years ago and each have three children in the area and we have been raising our children here and have	2 3 4 5 6	muscle contractions throughout the entire workout. So again, that is why you are doing a lot harder work in a shorter amount of time. MS. MILNE: So you can just stand on the machine and your muscles are working. We are going to do more than just stand on it.
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	6		8
1	the bone loss.	1	nail salon there and we have also attached in
2	It is a certified medical device	2	the packet that we handed out a site plan, which
3	and I have a list of the specific uses that you	3	includes the parking, and you can see what other
4	guys can see up there.	4	companies are there.
5	MS. MILNE: It's in your packets, too.	5	So with that, we have placed up
6	MS. MUELLER: Yes, it's in your	6	this other slide for you to look at the benefits
7	packets.	7	of Power Plate and then we would like to address
8	MS. MILNE: So the studio, Plate 28.	8	any of your concerns or questions.
9	So our whole concept was to be working and	9	MS. MILNE: We have also attached some
07:48:24PM 10	living smarter. So we are giving people time	07:50:44PM 10	press on the Power Plate. So there's some
11	back in their day.	11	articles and this is my favorite about Mark
12	Our class will be a maximum of	12	Wahlberg. So these abs that he had for the
13	eight people, one person per Power Plate. For	13	Calvin Klein ads were from Power Plate. So it
14	the first 6 months to 1 year we are hoping to do	14	does work.
15	16 classes per day. Morning classes will be	15	We also have Natalie Barsalli from
16	from 6 to 10 a.m. and evening from 5 to 8. And	16	Power Plate. She is the national customer
17	then after the first year, we hope to have 24	17	engagement manager of North America so she's
18	classes per day, classes starting at 5 a.m. to	18	here to answer any questions for you on Plate
19	12 p.m. and then 4:00 p.m. to 8:00 p.m.	19	itself.
07:48:58PM 20	We hand-delivered notices to all of	07:51:16PM 20	CHAIRMAN CASHMAN: Thank you.
21	our neighbors within a 250-foot radius to all 88	21	Are there any citizens who want to
22	of them that there are and as we were delivering	22	speak on this matter?
	7		•
	1		9
1	them, people we spoke to were really excited	1	(No response.)
1 2	·	1 2	
1 _	them, people we spoke to were really excited		(No response.) Commissioners, any questions for the applicants?
2	them, people we spoke to were really excited about us coming to the shopping center because	2	(No response.) Commissioners, any questions for
2	them, people we spoke to were really excited about us coming to the shopping center because it needs a little life in there and so they were excited about it. And then we invited everyone for a coffee and a meet and greet at our studio	3	(No response.) Commissioners, any questions for the applicants? MS. BRASELTON: The parking lot in the rear of the property, is it shared by anything
3 4	them, people we spoke to were really excited about us coming to the shopping center because it needs a little life in there and so they were excited about it. And then we invited everyone for a coffee and a meet and greet at our studio on Saturday and no one showed up. So I think	2 3 4	(No response.) Commissioners, any questions for the applicants? MS. BRASELTON: The parking lot in the rear of the property, is it shared by anything else?
2 3 4 5 6 7	them, people we spoke to were really excited about us coming to the shopping center because it needs a little life in there and so they were excited about it. And then we invited everyone for a coffee and a meet and greet at our studio on Saturday and no one showed up. So I think they like us then because they didn't come.	2 3 4 5	(No response.) Commissioners, any questions for the applicants? MS. BRASELTON: The parking lot in the rear of the property, is it shared by anything else? MS. MUELLER: Ironically, it's the
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	10		12
1	up so you can come in either side?	1	minimart opens?
2	MS. MUELLER: Yes. You can enter the	2	MS. MUELLER: I don't know.
3	parking lot off of 59th or there's on Madison	3	MS. MILNE: It's not early. It's not
4	Street there's two entrances to that parking lot	4	that early.
5	as well.	5	MS. MUELLER: That's a good question.
6	MS. MILNE: They have an alley from the	6	I don't know when that opens. But I know they
7	back that goes alongside of the building that	7	don't get busy until lunchtime or later
8	they can walk too.	8	afternoon we have been told.
9	CHAIRMAN CASHMAN: You have a front	9	MS. FIASCONE: How close is the closest
07:52:08PM 10	door.	07:53:50PM 10	residence to your building? Are we concerned
11	MS. MUELLER: Patrons will only come	11	with music at 5 a.m., you know, to the apartment
12	through the front door. The back door, it's not	12	buildings or like your employees' cars being
13	so nice back there. But there's a thoroughfare	13	shining in their windows?
14	between the two buildings. So it's like a	14	MS. MUELLER: There's two homes across
15	narrow it's kind of like an ally, but a	15	the street that will be I don't know how many
16	walk-through, thoroughfare. So people can enter	16	feet that is.
17	from the rear parking lot to the front.	17	MS. MILNE: They are across Madison.
18	CHAIRMAN CASHMAN: So typically the	18	MS. MUELLER: They are across Madison
19	staff would park in the back?	19	right next to Ruth Lake.
07:52:34PM 20	MS. MUELLER: Most definitely staff and	07:54:18PM 20	There will be the parking lot and
21	the two of us. There's a nail salon there.	21	when people are coming that early in the
22	It's never full. I mean never. There's always	22	morning, I would assume that they would park
	11		13
		l	
1	five or six spots.	1	closest to the front door so there's
1 2	MS. MILNE: Then we have the gas	1 2	MS. MILNE: When you live on Madison,
	·		
2	MS. MILNE: Then we have the gas	2	MS. MILNE: When you live on Madison, you have traffic anyway all times of day. CHAIRMAN CASHMAN: That's a good
3	MS. MILNE: Then we have the gas station on the corner that used to be a gas	2	MS. MILNE: When you live on Madison, you have traffic anyway all times of day. CHAIRMAN CASHMAN: That's a good question about music. So when you are doing the
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2 3 4 5 6 7 8 9 07.53.04PM 10 11 12 13 14 15 16 17 18 19 07.53.28PM 20	MS. MILNE: Then we have the gas station on the corner that used to be a gas station and now has a lot of parking spaces. MS. MUELLER: We have a lot of options. Which, I mean, obviously for opening a new business like we are that is so key. CHAIRMAN CASHMAN: One question I had here. In the presentation you were talking about 6 a.m. and in the cover letter from Chan it refers to 5 a.m. What are you proposing? MS. MILNE: So we want to apply initially, we are not going to start with 5 a.m. because we just don't think we will have the clientele at 5 a.m. But after the first year, hopefully. MS. MUELLER: Or sooner. MS. MILNE: Yes. As soon as we get the word out about it, and then people will, hopefully, come earlier, like the train	2 3 4 5 6 7 8 9 07:54:42PM 10 11 12 13 14 15 16 17 18 19 07:55:04PM 20	MS. MILNE: When you live on Madison, you have traffic anyway all times of day. CHAIRMAN CASHMAN: That's a good question about music. So when you are doing the class time and instructor is music playing, how is the instruction? MS. MUELLER: Music is playing but we are not putting in a sound system. We plan to have some small Bose. We will be talking throughout the workout and you are constantly changing exercises, so there will be background music, it will not be blaring. We haven't soundproofed the walls. It will just be music. CHAIRMAN CASHMAN: Do all the people do the same thing at the same time? MS. MUELLER: They do. MS. MILNE: Well, you can modify it, too, depending on your level. Because it can be for any fitness level.
2 3 4 5 6 7 8 9 07-53-04PM 10 11 12 13 14 15 16 17 18 19	MS. MILNE: Then we have the gas station on the corner that used to be a gas station and now has a lot of parking spaces. MS. MUELLER: We have a lot of options. Which, I mean, obviously for opening a new business like we are that is so key. CHAIRMAN CASHMAN: One question I had here. In the presentation you were talking about 6 a.m. and in the cover letter from Chan it refers to 5 a.m. What are you proposing? MS. MILNE: So we want to apply initially, we are not going to start with 5 a.m. because we just don't think we will have the clientele at 5 a.m. But after the first year, hopefully. MS. MUELLER: Or sooner. MS. MILNE: Yes. As soon as we get the word out about it, and then people will,	2 3 4 5 6 7 8 9 07:54:42PM 10 11 12 13 14 15 16 17 18 19	MS. MILNE: When you live on Madison, you have traffic anyway all times of day. CHAIRMAN CASHMAN: That's a good question about music. So when you are doing the class time and instructor is music playing, how is the instruction? MS. MUELLER: Music is playing but we are not putting in a sound system. We plan to have some small Bose. We will be talking throughout the workout and you are constantly changing exercises, so there will be background music, it will not be blaring. We haven't soundproofed the walls. It will just be music. CHAIRMAN CASHMAN: Do all the people do the same thing at the same time? MS. MUELLER: They do. MS. MILNE: Well, you can modify it, too, depending on your level. Because it can be

	14		16
1	carry?	1	though.
2	MS. MUELLER: No.	2	CHAIRMAN CASHMAN: It's like four feet
3	MS. MILNE: A concrete floor it will	3	wide or something like that.
4	not carry through it. I have one in my house on	4	MS. MUELLER: I don't even know if it's
5	a wood floor and it's great. But if it did,	5	four feet wide.
6	Power Plate has a power shield we put underneath	6	MS. MILNE: You can fit a bike through
7	that could absorb vibration. Which usually	7	it though.
8	people only use it if they are on a second floor	8	MS. MUELLER: You can fit a bike
9	but for a ground concrete floor we will be fine.	9	through it. We did it. I mean, it's not ideal
07:55:28PM 10	MS. MUELLER: So we there's like she	07:56:52PM 10	but it's fine.
11	said, a concrete floor and there will be vinyl,	11	MR. JABLONSKI: You mention plenty of
12	a vinyl sheet over the concrete. So there's no	12	parking places. Is any of that addressed in
13	hook and key latch type of wood or anything like	13	your lease?
14	that.	14	MS. MUELLER: It is. Yes. All of it
15	CHAIRMAN CASHMAN: How loud are they	15	is open for our lease. Every parking space.
16	when they run?	16	CHAIRMAN CASHMAN: So is it because as
17	MS. MUELLER: They are not loud at all.	17	it vibrates, your body is trying to steady
18	CHAIRMAN CASHMAN: Are you using an	18	itself?
19	amplifier or just talking to the students?	19	MS. MILNE: Involves muscle
07:55:56PM 20	MS. MUELLER: Just talking.	07:57:26PM 20	contractions. So your whole body is trying to
21	MS. MILNE: So in California the one	21	stabilize and you are doing like push ups and
22	studio is on a second floor above like a juice	22	planks and jumping jacks. You are doing
	15		17
1	shop, I think.	1	everything on it and your body is just
2	MS. MUELLER: Above a restaurant.	2	constantly trying to stabilize so it's just so
3	Above like a Corner Bakery.	3	much more intense.
4	MS. BRASELTON: So it's not as noisy as	4	CHAIRMAN CASHMAN: Especially when you
5	a treadmill or is it the same?	5	look at the photo I didn't quite get a sense of
6	MS. MILNE: No.	6	the scale like how big it is but when you read
7	MS. MUELLER: No. It's a lot less	7	this, it's about three feet square, right?
8	noisy than a treadmill.	8	MS. MILNE: Yes.
9	MR. JABLONSKI: Are you between the	9	MR. MUELLER: Yes. So really you are
07:56:20PM 10	Taste of Home Catering and Shiny Nails?	07:57:48PM 10	doing jumping jacks on top of it.
11		11	
	MS. MUELLER: There's a cleaners.	1	CHAIRMAN CASHMAN: Are these the ones
12	MS. MUELLER: There's a cleaners. MS. MILNE: No. We are between Shiny	12	CHAIRMAN CASHMAN: Are these the ones that have these kind of straps on the side?
12 13			
	MS. MILNE: No. We are between Shiny	12	that have these kind of straps on the side?
13 14 15	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home.	12 13 14 15	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes.
13 14 15 16	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a	12 13 14 15 16	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use
13 14 15 16 17	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a walkway from this parking lot to the east and a	12 13 14 15 16 17	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes. MS. MUELLER: We are going to buy straps.
13 14 15 16 17 18	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a walkway from this parking lot to the east and a gas station and minimart.	12 13 14 15 16 17	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes. MS. MUELLER: We are going to buy straps. MS. MILNE: The other ones the computer
13 14 15 16 17 18 19	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a walkway from this parking lot to the east and a gas station and minimart. MS. MILNE: And the minimart.	12 13 14 15 16 17 18 19	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes. MS. MUELLER: We are going to buy straps. MS. MILNE: The other ones the computer screens there's so much wear and tear on it, we
13 14 15 16 17 18 19 07.56:36PM 20	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a walkway from this parking lot to the east and a gas station and minimart. MS. MILNE: And the minimart. MS. MUELLER: It's narrow.	12 13 14 15 16 17 18 19 07-58-00PM 20	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes. MS. MUELLER: We are going to buy straps. MS. MILNE: The other ones the computer screens there's so much wear and tear on it, we are better off having the other ones.
13 14 15 16 17 18 19	MS. MILNE: No. We are between Shiny Nails and the cleaners. MS. MUELLER: Yes. There's a cleaners to the south of Taste of Home. MR. JABLONSKI: And you describe a walkway from this parking lot to the east and a gas station and minimart. MS. MILNE: And the minimart.	12 13 14 15 16 17 18 19	that have these kind of straps on the side? MS. MUELLER: We are not. MS. MILNE: No. We are going to use the pro5. It should be in here. Yes. MS. MUELLER: We are going to buy straps. MS. MILNE: The other ones the computer screens there's so much wear and tear on it, we

KATHLEEN W. BONO,

C.S.R. No. 84-1423,

Notary Public, DuPage County

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18 1 MS. MUELLER: Well, we are still doing market research on our price point. Our goal is 2 we want to keep it affordable so that we can attract everyone from even surrounding 4 communities and we want people to be able to do 6 other things that they like to do, whether it's yoga or SHRED or whatever, so we will let you 7 know. Lower than \$30 a class. 8 9 CHAIRMAN CASHMAN: Questions? Mark? MR. WILLOBEE: No. 07:58:48PM 10 11 CHAIRMAN CASHMAN: Anna? 12 MS. FIASCONE: No. 13 CHAIRMAN CASHMAN: Scott? 14 MR. PETERSON: I'm good. 15 CHAIRMAN CASHMAN: Jim? 16 MR. KRILLENBERGER: All my questions 17 have been addressed. Sounds like an exciting and needed new business venture. I wish you the 18 19 best. 07:59:02PM **20** MS. MILNE: Thank you. 21 MS. MUELLER: Thank you very much. 22 CHAIRMAN CASHMAN: Do I hear a motion 19

- 1 to approve the special use permit for Plate 28
- 2 at 5819 South Madison Street as submitted?
- **3** MR. JABLONSKI: So moved.
- 4 MR. KRILLENBERGER: I'll second.
- **5** CHAIRMAN CASHMAN: Anna?
- 6 MR. MARRS: Is that for the 5:00 a.m.
- 7 start time?
- 8 CHAIRMAN CASHMAN: Yes. My intention
- **9** was for the way it is is fine.
- MR. MARRS: Okay.
- **11** MS. FIASCONE: Aye.
- MR. WILLOBEE: Aye.
- 13 CHAIRMAN CASHMAN: Aye.
- **14** MR. JABLONSKI: Aye.
- **15** MR. PETERSON: Aye.
- MS. BRASELTON: Aye.
- **17** MR. KRILLENBERGER: Aye.
- 18 MS. MUELLER: Thank you.
- **19** MS. MILNE: Thank you.
- **20** (WHICH, were all of the proceedings
- had, evidence offered or received
- in the above entitled cause.)

\$	8	apply [1] - 11:12 approve [1] - 19:1	business [2] - 11:7, 18:18	coming [2] - 7:2,
		area [1] - 3:5	busy [1] - 12:7	commencement [1]
\$30 [1] - 18:8	8 _[1] - 6:16		- I	
ψ30 [1] = 10.0		articles [1] - 8:11	buy [1] - 17:16	- 20:6
4	84-1423 [1] - 20:21	assume [1] - 12:22	bys [1] - 7:16	COMMISSION [1] -
1	88 [1] - 6:21	assuming [1] - 7:8		1:3
	8:00 [1] - 6:19	astronauts [1] - 5:21	С	Commission [1] -
1 [1] - 6:14		atrophy [1] - 5:19		1:10
	9	attached [2] - 8:1,		commissioners [1]
1,400 [1] - 2:12		8:9	C.S.R [1] - 20:21	9:2
10 [1] - 6:16		Attorney [1] - 2:4	California [3] - 4:1,	communities [1] -
12 [1] - 6:19	9 [1] - 1:12	attract [1] - 18:4	4:2, 14:21	18:5
16 [1] - 6:15	90 [1] - 4:14		Calvin [1] - 8:13	Community [1] - 2:3
19 [1] - 1:11		August [2] - 1:12,	carry [2] - 14:1, 14:4	=
	Α	20:18	cars [1] - 12:12	commuters [1] -
2	7.	Avenue [1] - 1:11	Case [2] - 1:7, 2:10	11:21
	_	Aye [3] - 19:11,	• • • •	companies [1] - 8:4
	A-23-2017 [2] - 1:7,	19:12, 19:14	CASHMAN [25] -	company [1] - 2:21
2017 [2] - 1:12, 20:18	2:11	aye [4] - 19:13,	1:15, 2:10, 2:17, 8:20,	complete [1] - 20:14
21st [1] - 20:18	A.D [1] - 20:18	19:15, 19:16, 19:17	9:20, 10:9, 10:18,	computer [1] - 17:18
24 [1] - 6:17	a.m [8] - 6:16, 6:18,	10.10, 10.10, 10.17	11:8, 11:22, 13:4,	concept [2] - 4:18,
		В	13:15, 14:15, 14:18,	6:9
250-foot [1] - 6:21	11:10, 11:11, 11:13,	В	16:2, 16:16, 17:4,	
28 [11] - 1:6, 2:11,	11:15, 12:11, 19:6		17:11, 18:9, 18:11,	concerned [1] -
2:21, 3:3, 3:14, 3:21,	able [1] - 18:5	background [1] -	18:13, 18:15, 18:22,	12:10
4:7, 4:9, 4:16, 6:8,	above-entitled [1] -	•	19:5, 19:8, 19:13	concerns [3] - 7:9,
19:1	1:9	13:12		7:13, 8:8
	abs [1] - 8:12	Bakery [1] - 15:3	Catering [1] - 15:10	conclusion [1] - 7:18
3	absorb [1] - 14:7	Barsalli [1] - 8:15	center [3] - 7:2, 9:14,	concrete [4] - 14:3,
	address [2] - 7:10,	became [1] - 3:16	9:16	14:9, 14:11, 14:12
	8:7	BEFORE [1] - 1:3	Certified [1] - 20:3	congestion [1] - 7:13
36 [1] - 7:21	-	behind [1] - 4:18	certified [2] - 3:17,	constantly [2] -
	addressed [2] -	belongs [2] - 9:13,	6:2	• • •
4	16:12, 18:17	9:15	certify [1] - 20:6	13:11, 17:2
-	administered [1] -		CHAIRMAN [24] -	continuous [1] - 4:9
	2:9	benefits [1] - 8:6	2:10, 2:17, 8:20, 9:20,	contractions [3] -
4:00 [1] - 6:19	ads [1] - 8:13	best [1] - 18:19		4:10, 5:1, 16:20
	affixed [1] - 20:17	better [1] - 17:20	10:9, 10:18, 11:8,	copartners [1] - 3:1
5	affordable [1] - 18:3	between [3] - 10:14,	11:22, 13:4, 13:15,	Corner [1] - 15:3
3	aforesaid [1] - 20:15	15:9, 15:12	14:15, 14:18, 16:2,	corner [1] - 11:3
		big [1] - 17:6	16:16, 17:4, 17:11,	
5 [6] - 6:16, 6:18,	afternoon [1] - 12:8	bike [2] - 16:6, 16:8	18:9, 18:11, 18:13,	correct [1] - 20:14
	ago [3] - 3:5, 3:12,	bit [1] - 4:7	18:15, 18:22, 19:5,	cosmonauts [3] -
11:11, 11:13, 11:15,	3:17		19:8, 19:13	5:17, 5:21
		bloring to 10:40	13.0, 13.13	
	alley [1] - 10:6	blaring [1] - 13:13		COUNTY [2] - 1:2,
5819 [3] - 1:6, 2:11,		blocks [1] - 7:15	Chairman [1] - 1:15	COUNTY [2] - 1:2, 20:2
5819 [3] - 1:6, 2:11,	alley [1] - 10:6 ally [1] - 10:15	• • •	Chairman [1] - 1:15 Chan [1] - 11:10	
5819 [3] - 1:6, 2:11,	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7	blocks [1] - 7:15	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2	20:2
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21,	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1	blocks [1] - 7:15 BOARD [1] - 1:14	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12	20:2 County [2] - 20:5, 20:21
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22,	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15
19:2	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3,	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 [3] - 6:14, 6:16, 11:10	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11,	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 6[3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 [3] - 6:14, 6:16, 11:10	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18 anyway [1] - 13:3	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] -	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 6 [3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] - 1:16, 9:4, 9:13, 9:18,	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11, 15:13, 15:14 clientele [1] - 11:15	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20 delivered [1] - 6:20
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 (6 [3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18 anyway [1] - 13:3	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] - 1:16, 9:4, 9:13, 9:18, 15:4, 19:16	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11, 15:13, 15:14 clientele [1] - 11:15 close [1] - 12:9	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20 delivered [1] - 6:20 delivering [2] - 4:10,
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 6[3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18 anyway [1] - 13:3 apartment [2] - 9:8,	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] - 1:16, 9:4, 9:13, 9:18, 15:4, 19:16 building [3] - 9:8,	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11, 15:13, 15:14 clientele [1] - 11:15 close [1] - 12:9 closest [2] - 12:9,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20 delivered [1] - 6:20 delivering [2] - 4:10, 6:22
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 (6 [3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18 anyway [1] - 13:3 apartment [2] - 9:8, 12:11 Applicant [2] - 2:5,	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] - 1:16, 9:4, 9:13, 9:18, 15:4, 19:16	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11, 15:13, 15:14 clientele [1] - 11:15 close [1] - 12:9 closest [2] - 12:9, 13:1	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20 delivered [1] - 6:20 delivering [2] - 4:10, 6:22 density [1] - 5:19
5819 [3] - 1:6, 2:11, 19:2 59th [3] - 9:20, 9:21, 10:3 5:00 [1] - 19:6 6 6 (6 [3] - 6:14, 6:16, 11:10 60 [1] - 4:14	alley [1] - 10:6 ally [1] - 10:15 alongside [1] - 10:7 ALSO [1] - 2:1 America [1] - 8:17 amount [1] - 5:3 ample [1] - 7:18 amplifier [1] - 14:19 amplifies [1] - 4:21 anna [2] - 18:11, 19:5 ANNA [1] - 1:17 answer [1] - 8:18 anyway [1] - 13:3 apartment [2] - 9:8, 12:11	blocks [1] - 7:15 BOARD [1] - 1:14 body [6] - 4:20, 4:22, 5:12, 16:17, 16:20, 17:1 bone [2] - 5:19, 6:1 BONO [2] - 20:3, 20:20 born [1] - 3:21 Bose [1] - 13:10 bought [1] - 3:18 brainer [1] - 3:16 BRASELTON [6] - 1:16, 9:4, 9:13, 9:18, 15:4, 19:16 building [3] - 9:8,	Chairman [1] - 1:15 Chan [1] - 11:10 CHAN [1] - 2:2 changing [1] - 13:12 Chicago [1] - 1:11 children [2] - 3:5, 3:6 citizens [1] - 8:21 class [4] - 6:12, 13:6, 17:22, 18:8 classes [5] - 5:7, 6:15, 6:18 cleaners [3] - 15:11, 15:13, 15:14 clientele [1] - 11:15 close [1] - 12:9 closest [2] - 12:9,	20:2 County [2] - 20:5, 20:21 couple [1] - 7:15 cover [1] - 11:10 customer [1] - 8:16 D DEB [1] - 1:16 decided [1] - 3:7 definitely [1] - 10:20 delivered [1] - 6:20 delivering [2] - 4:10, 6:22

Development [1] - 2:3 device [1] - 6:2 Director [1] - 2:3 done [1] - 4:12 door [4] - 10:10, 10:12, 13:1 drive [1] - 7:16 drive-bys [1] - 7:16 DU [2] - 1:2, 20:2 duly [1] - 20:8 DuPage [2] - 20:5, 20:21	19:11 fine [3] - 14:9, 16:10, 19:9 first [7] - 2:10, 2:20, 3:18, 6:14, 6:17, 7:12, 11:15 fit [2] - 16:6, 16:8 fitness [2] - 2:12, 13:20 five [2] - 3:4, 11:1 floor [6] - 14:3, 14:5, 14:8, 14:9, 14:11, 14:22	15:15 homes [1] - 12:14 hook [1] - 14:13 hope [1] - 6:17 hopefully [2] - 11:16, 11:20 hoping [1] - 6:14 hopped [1] - 4:1 hour [1] - 1:12 house [1] - 14:4	KATIE [1] - 2:6 Katie [2] - 2:22, 3:19 keep [1] - 18:3 KELLY [1] - 2:5 Kelly [2] - 2:22, 3:4 key [2] - 11:7, 14:13 kind [3] - 5:14, 10:15, 17:12 Klein [1] - 8:13 KRILLENBERGER [4] - 1:21, 18:16, 19:4, 19:17	maximum [1] - 6:12 McGINNIS [1] - 2:3 mean [3] - 10:22, 11:6, 16:9 means [1] - 20:11 medical [1] - 6:2 meet [1] - 7:5 Member [6] - 1:16, 1:17, 1:18, 1:19, 1:20, 1:21 MEMBERS [1] - 1:14 mention [1] - 16:11 MICHAEL [1] - 2:4
20.21	foot [1] - 2:12		L	MILNE [28] - 2:5,
E	forces [1] - 4:22	ideal [1] - 16:9	-	2:16, 3:11, 5:4, 6:5,
early [3] - 12:3, 12:4, 12:21 east [1] - 15:17 East [1] - 1:11 efficient [2] - 3:15,	foregoing [1] - 20:13 form [1] - 20:13 four [2] - 16:2, 16:5 front [5] - 7:19, 10:9, 10:12, 10:17, 13:1 full [1] - 10:22	ILLINOIS [2] - 1:1, 20:1 Illinois [3] - 1:11, 3:19, 20:5 IN [1] - 20:16 includes [1] - 8:3 incorporate [1] - 5:8	Lake [1] - 12:19 last [1] - 3:7 latch [1] - 14:13 lease [2] - 16:13, 16:15 less [1] - 15:7	6:8, 8:9, 9:10, 10:6, 11:2, 11:12, 11:18, 12:3, 12:17, 13:2, 13:18, 14:3, 14:21, 15:6, 15:12, 15:19, 16:6, 16:19, 17:8, 17:14, 17:18, 18:20,
4:8	G	inside [1] - 4:22	letter [1] - 11:10	19:19
eight [3] - 3:12, 3:17, 6:13		instruction [1] - 13:7 instructor [2] - 3:17,	level [2] - 13:19, 13:20	Milne [1] - 3:1 minimart [3] - 12:1,
either [1] - 10:1 employees' [1] -	game [1] - 3:8 gas [3] - 11:2, 11:3,	13:6 intense [2] - 4:9,	life [1] - 7:3 list [1] - 6:3	15:18, 15:19
12:12	15:18	17:3	lit [2] - 15:21, 15:22	minute [2] - 3:14,
en [1] - 2:9	GERALD [1] - 1:18	intensify [1] - 4:17	live [2] - 7:15, 13:2	4:14 minutes [2] - 4:9,
engagement [1] -	given [1] - 20:10	intensity [1] - 5:10	living [2] - 3:12, 6:10	4:16
8:17	goal [1] - 18:2	intention [1] - 19:8	location [1] - 7:11	modify [1] - 13:18
enter [2] - 10:2,	great [2] - 4:3, 14:5	interval [1] - 5:10	London [1] - 3:13	months [1] - 6:14
10:16	greater [2] - 4:10,	introduce [1] - 2:14	look [2] - 8:6, 17:5	morning [2] - 6:15,
entire [1] - 5:1	4:11	invited [1] - 7:4	loss [2] - 5:19, 6:1	12:22
entitled [2] - 1:9,	greet [1] - 7:5	involuntary [1] - 4:22	loud [2] - 14:15,	most [1] - 10:20
19:22 entrances [1] - 10:4	ground [1] - 14:9 guys [2] - 6:4, 9:8	involves [1] - 16:19	14:17	motion [1] - 18:22
equivalent [1] - 4:13	guys [2] - 6.4, 9.6	Ironically [1] - 9:7 issue [1] - 7:22	lower [1] - 18:8	moved [3] - 3:4,
especially [1] - 17:4	Н	itself [2] - 8:19,	lunchtime [1] - 12:7	3:19, 19:3
evening [2] - 2:19,	•	16:18	M	- MR [27] - 1:15, 1:18, 1:19, 1:20, 1:21, 2:2,
6:16				2:3, 2:4, 9:22, 13:21,
evidence [1] - 19:21	half [2] - 9:16 hand [2] - 6:20,	J		15:9, 15:16, 15:21,
examination [1] -	20:17		machine [3] - 4:17, 4:19, 5:5	16:11, 17:9, 17:21,
20:7	hand-delivered [1] -	JABLONSKI [8] -	4.19, 5.5 Madison [8] - 1:6,	18:10, 18:14, 18:16,
excited [2] - 7:1, 7:4	6:20	1:18, 15:9, 15:16,	2:11, 7:20, 10:3,	19:3, 19:4, 19:6,
exciting [1] - 18:17 exercise [1] - 4:15	handed [1] - 8:2	15:21, 16:11, 17:21,	12:17, 12:18, 13:2,	19:10, 19:12, 19:14,
exercises [1] - 4.15	harder [1] - 5:3	19:3, 19:14	19:2	19:15, 19:17 MS [77] - 1:16, 1:17,
extended [1] - 5:18	hear [1] - 18:22	jacks [2] - 16:22,	manager [1] - 8:17	2:5, 2:6, 2:16, 2:18,
	hearing [1] - 1:9	17:10	MARK [1] - 1:20	3:11, 4:6, 5:4, 5:7,
F	hereby [1] - 20:5	Jim [1] - 18:15	Mark [2] - 8:11, 18:9	6:5, 6:6, 6:8, 7:8, 8:9,
-	herein [1] - 20:8	JIM [1] - 1:21	market [1] - 18:2	9:4, 9:7, 9:10, 9:11,
fast [1] - 4:8	hereto [1] - 20:10 hereunto [1] - 20:17	juice [1] - 14:22	MARRS [3] - 2:4,	9:13, 9:15, 9:18, 9:21,
faster [1] - 4:11	high [1] - 5:9	jumping [2] - 16:22, 17:10	19:6, 19:10 massage [1] - 5:11	10:2, 10:6, 10:11,
favorite [1] - 8:11	HINSDALE [1] - 1:3		massage [1] - 3.11	10:20, 11:2, 11:5,
feet [4] - 12:16, 16:2,	Hinsdale [3] - 1:10,	K	Matter [1] - 1:4	11:12, 11:17, 11:18,
16:5, 17:7	1:11, 4:5		matter [2] - 1:10,	12:2, 12:3, 12:5, 12:9, 12:14, 12:17, 12:18,
FIASCONE [4] - 1:17, 12:9, 18:12,	history [1] - 5:15 Home [2] - 15:10,	KATHLEEN [2] - 20:3, 20:20	8:22 matters [1] - 20:9	13:2, 13:8, 13:17, 13:18, 14:2, 14:3,
		20.0, 20.20		

14:10, 14:17, 14:20, 20:21 plan [2] - 8:2, 13:9 **shorter** [1] - 5:3 R 14:21, 15:2, 15:4, notes [1] - 20:15 Plan [1] - 1:10 shorthand [2] -15:6, 15:7, 15:11, notices [1] - 6:20 plane [1] - 4:2 20:12, 20:15 radius [1] - 6:21 15:12, 15:14, 15:19, **planks** [1] - 16:22 **Shorthand** [1] - 20:4 raising [1] - 3:6 15:20, 15:22, 16:4, 0 planned [1] - 4:7 **showed** [1] - 7:6 read [1] - 17:6 16:6, 16:8, 16:14, Planner [1] - 2:2 SHRED [1] - 18:7 ready [1] - 3:7 16:19, 17:8, 17:13, **PLATE** [1] - 1:6 side [5] - 9:10, 9:11, oath [1] - 2:8 really [2] - 7:1, 17:9 17:14, 17:16, 17:18, Plate [20] - 2:11, 10:1, 13:22, 17:12 obviously [1] - 11:6 18:1, 18:12, 18:20, rear [3] - 7:21, 9:5, site [1] - 8:2 2:21, 3:3, 3:10, 3:11, **OF** [5] - 1:1, 1:2, 1:8, 18:21, 19:11, 19:16, 10:17 3:13, 3:18, 3:21, 4:7, sitting [1] - 7:17 20:1, 20:2 19:18, 19:19 received [1] - 19:21 4:19, 5:22, 6:8, 6:13, situation [1] - 7:11 offered [1] - 19:21 MUELLER [40] - 2:6, recovery [1] - 5:10 8:7, 8:10, 8:13, 8:16, six [1] - 11:1 one [8] - 4:1, 6:13, 2:18, 4:6, 5:7, 6:6, reduced [1] - 20:11 8:18, 14:6, 19:1 slide [1] - 8:6 7:6, 9:10, 9:11, 11:8, 7:8, 9:7, 9:11, 9:15, refers [1] - 11:11 playing [2] - 13:6, **small** [1] - 13:10 14:4, 14:21 9:21, 10:2, 10:11, reflexes [1] - 4:21 13:8 **smarter** [1] - 6:10 ones [3] - 17:11, 10:20, 11:5, 11:17, regenerate [1] - 5:22 plenty [1] - 16:11 soon [1] - 11:18 17:18, 17:20 12:2, 12:5, 12:14, relation [1] - 20:9 point [2] - 17:21, sooner [1] - 11:17 open [1] - 16:15 12:18, 13:8, 13:17, **REPORT** [1] - 1:8 18:2 sound [1] - 13:9 opening [1] - 11:6 14:2, 14:10, 14:17, **Reporter** [1] - 20:4 possible [1] - 7:14 soundproofed [1] opens [2] - 12:1, 14:20, 15:2, 15:7, research [2] - 3:22, Power [11] - 3:9, 13:14 15:11, 15:14, 15:20, 12:6 3:11, 3:13, 4:18, 5:21, 18:2 sounds [1] - 18:17 options [1] - 11:5 15:22, 16:4, 16:8, residence [1] - 12:10 6:13, 8:7, 8:10, 8:13, south [1] - 15:15 16:14, 17:9, 17:13, owners [1] - 2:21 8:16, 14:6 response [1] - 9:1 **South** [2] - 2:11, 19:2 17:16, 18:1, 18:21, restaurant [1] - 15:2 power [1] - 14:6 **space** [3] - 5:18, 19:18 P **PRESENT** [2] - 1:14, results [2] - 3:15, 7:16, 16:15 Mueller [1] - 2:22 4:11 spaces [1] - 11:4 multiple [1] - 7:16 present [1] - 3:2 **ROBB** [1] - 2:3 special [3] - 2:12, **p.m** [4] - 1:12, 6:19 muscle [5] - 4:9, 5:1, routine [1] - 4:15 presentation [4] -3:2, 19:1 pace [1] - 4:11 5:18, 5:22, 16:19 2:16, 2:19, 2:21, 11:9 run [1] - 14:16 **Special** [1] - 1:6 packet [1] - 8:2 muscles [1] - 5:5 press [1] - 8:10 Russian [1] - 5:17 **specific** [1] - 6:3 packets [2] - 6:5, 6:7 music [6] - 12:11, previous [1] - 20:6 Ruth [1] - 12:19 **PAGE** [2] - 1:2, 20:2 spent [1] - 2:18 13:5, 13:6, 13:8, price [2] - 17:21, park [2] - 10:19, spots [2] - 7:22, 11:1 13:13, 13:14 S 18:2 square [2] - 2:12, 12:22 **priority** [1] - 7:12 17:7 parking [18] - 7:10, Ν **pro5**[1] - 17:15 ss [2] - 1:1, 20:1 7:11, 7:13, 7:17, 7:18, safe [1] - 7:14 proactively [1] - 5:20 **stabilize** [2] - 16:21, 7:19, 7:21, 7:22, 8:3, safety [1] - 7:13 PROCEEDINGS [1] nail [2] - 8:1, 10:21 9:4, 10:3, 10:4, 10:17, 17:2 salon [2] - 8:1, 10:21 Nails [2] - 15:10, 11:4, 12:20, 15:17, staff [2] - 10:19, **Saturday** [1] - 7:6 proceedings [1] -10:20 15:13 16:12, 16:15 scale [1] - 17:6 19:20 name [1] - 2:22 patrons [1] - 10:11 stalking [1] - 7:17 **SCOTT** [1] - 1:19 program [1] - 4:3 narrow [3] - 10:15, people [10] - 5:14, stand [2] - 5:4, 5:6 Scott [1] - 18:13 **property** [1] - 9:5 15:20, 15:22 start [3] - 3:20, 6:10, 6:13, 7:1, 10:16, screens [1] - 17:19 proposing [1] -**Natalie** [1] - 8:15 11:19, 12:21, 13:15, 11:13, 19:7 seal [1] - 20:18 11:11 national [1] - 8:16 14:8, 18:5 **started** [1] - 3:13 second [3] - 14:8, Public [2] - 20:4, per [3] - 6:13, 6:15, starting [1] - 6:18 natural [1] - 4:21 14:22, 19:4 20:21 needed [1] - 18:18 6:18 **STATE** [2] - 1:1, 20:1 see [3] - 3:22, 6:4, push [1] - 16:21 Permit [1] - 1:6 needs [1] - 7:3 State [1] - 20:5 8:3 **put** [4] - 3:9, 5:14, neighbors [1] - 6:21 permit [3] - 2:12, 3:3, **station** [3] - 11:3, sense [1] - 17:5 5:21, 14:6 never [2] - 10:22 11:4, 15:18 set [2] - 9:22, 20:17 putting [1] - 13:9 new [3] - 5:13, 11:6, person [1] - 6:13 stay [1] - 5:18 **share** [1] - 7:12 pertaining [1] -18:18 steady [1] - 16:17 **shared** [1] - 9:5 Q 20:10 next [1] - 12:19 **STEPHEN** [1] - 1:15 sheet [1] - 14:12 PETERSON [4] nice [1] - 10:13 still [1] - 18:1 shield [1] - 14:6 1:19, 13:21, 18:14, **no-brainer** [1] - 3:16 straps [2] - 17:12, questions [4] - 8:8, shining [1] - 12:13

8:18, 9:2, 18:16

quick [1] - 3:15

quite [1] - 17:5

Questions [1] - 18:9

9:14, 9:16

Shiny [2] - 15:10,

shopping [3] - 7:2,

shop [1] - 15:1

15:12

17:17

street [1] - 12:15

Street [4] - 2:11,

strength [1] - 5:8

7:20, 10:4, 19:2

19:15

photo [1] - 17:5

placed [1] - 8:5

PLAN [1] - 1:3

places [1] - 16:12

noisy [2] - 15:4, 15:8

nonstop [1] - 4:15

notarial [1] - 20:17

Notary [2] - 20:4,

North [1] - 8:17

6:17, 11:15 stretching [1] - 5:9 U students [1] - 14:19 years [3] - 3:4, 3:12, studio [9] - 2:13, 3:9, underneath [1] yoga [1] - 18:7 3:10, 3:14, 6:8, 7:5, yourselves [1] - 2:15 7:15, 9:22, 14:22 **up** [4] - 6:4, 7:6, 8:5, **submitted** [1] - 19:2 YU [1] - 2:2 10:1 successful [1] - 4:4 ups [1] - 16:21 super [1] - 4:4 uses [1] - 6:3 surrounding [1] -18:4 V sworn [1] - 20:8 **symptoms** [1] - 5:20 system [1] - 13:9 various [1] - 20:7 venture [1] - 18:18 Т vibrates [1] - 16:17 **vibration** [5] - 4:16, 4:20, 5:12, 13:21, Taste [2] - 15:10, 14:7 15:15 Village [2] - 2:2, 2:4 tear [1] - 17:19 vinyl [2] - 14:11, technique [1] - 5:11 14:12 tenants [1] - 13:22 testify [1] - 20:9 W testimony [3] - 1:8, 20:7, 20:10 TESTIMONY [1] -Wahlberg [1] - 8:12 20:16 walk [2] - 10:8, 10:16 **THE** [1] - 1:3 walk-through [1] thereafter [1] - 20:12 10:16 thoroughfare [2] walkway [1] - 15:17 10:13, 10:16 walls [1] - 13:14 three [2] - 3:5, 17:7 wear [1] - 17:19 throughout [2] - 5:1, weight [1] - 5:9 13:11 WHEREOF [1] today [1] - 3:2 20:16 together [2] - 3:9, WHEREUPON [1] -5:15 2:8 top [1] - 17:10 WHICH [1] - 19:20 traditional [1] - 4:14 whole [5] - 4:18, traffic [2] - 7:13, 13:3 4:20, 5:12, 6:9, 16:20 train [1] - 11:20 wide [2] - 16:3, 16:5 training [6] - 3:20, WILLOBEE [4] -4:20, 4:21, 5:9, 5:10, 1:20, 9:22, 18:10, 5:13 19:12 transcribed [1] windows [1] - 12:13 20:12 wish [1] - 18:18 transcript [1] - 20:14 witnesses [2] - 20:8, treadmill [2] - 15:5, 20:11 15:8 wood [2] - 14:5, true [1] - 20:14 14:13 truth [1] - 20:9 word [1] - 11:19 **TRX** [1] - 5:9 workout [9] - 3:14, trying [3] - 16:17, 4:3, 4:8, 4:10, 4:13, 16:20, 17:2 4:14, 4:17, 5:2, 13:11 two [4] - 10:4, 10:14, writing [1] - 20:11 10:21, 12:14 **type** [2] - 5:7, 14:13 Υ typewritten [1] -20:13

year [4] - 3:7, 6:14,

typically [1] - 10:18

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BEFORE THE HINSDALE PLAN COMMISSION

In the Matter of:

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HINSDALE MEADOWS VENTURE,

55th St/County Line Road

Special Use Permit

Case No. A-25-2017.

REPORT OF PROCEEDINGS had and testimony taken at the hearing of the above-entitled matter before the Hinsdale Plan Commission, at 19 East Chicago Avenue, Hinsdale, Illinois, on August 9, 2017, at the hour of 7:30 p.m.

BOARD MEMBERS PRESENT:

MR. STEPHEN CASHMAN, Chairman;

MS. DEBRA BRASELTON, Member;

MS. ANNA FIASCONE, Member;

MR. GERALD JABLONSKI, Member;

MR. SCOTT PETERSON, Member;

MR. MARK WILLOBEE, Member; and

MR. JIM KRILLENBERGER, Member.

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1	ALSO PRESENT:		1	was a 64-unit concept which is what the current
2	MR. CHAN YU, Village Planner;		2	plan is.
3	MR. ROBB McGINNIS, Director of		3	So when it went to the trustees,
,	Community Development;		4	they investigated and I think even in our
4	MR. MICHAEL MARRS, Village Attorney;		5	discussions we wanted them to still look at that
5	MR. EDWARD R. JAMES, Applicant;		6	price point issue so they did, and then they
6	MR. LDWARD R. JAMES, Applicant,		7	basically went through a couple of rounds and
7	MR. MICHAEL BALAS, Edward James Company;		8	came back with more of the duplex units, the
			9	kind of space that we are looking at today.
8	MR. BRETT DUFFY, Applicant's Project Engineer;	08:02:20PM	10	Obviously they have been working.
9			11	We talked before about stormwater
10	MR. JOE SAFIN, Applicant's Architect;		12	and all that and now we have the detailed civil
	MR. TERRENCE SMITH, Applicant's Land		13	drawings, we have detailed landscape drawings.
11	Planner.		14	You can see they have utilities, issue about
12			15	utilities easement along 55th Street and
13	CHAIRMAN CASHMAN: Case A-25-2017, 55th		16	electrical service, the sound wall that's being
14	Street and County Line Road, Hinsdale Meadows		17	proposed there.
15 16	Venture, LLC, detail plan and special use permit for a 64-unit residential planned development.		18	And one thing I want to just open
17 18	And this is our second pass as a planned development. Starting back about a year		19	this with is in attachment, the cover letter you
19	ago, I believe you started this process with	08:02:48PM	20	saw that the applicant was asking for us to not
08:00:32PM 20 21	James Company and at that time we were looking at preliminary concepts so that we could look at		21	vote on this tonight because there's still some
22	it and ultimately it went to the board of		22	parts that are still being developed. I'm not
	2			
	3			5
1	trustees so they could evaluate it and now		1	5 sure if I have the right terminology, but
1 2			1	
	trustees so they could evaluate it and now			sure if I have the right terminology, but
2	trustees so they could evaluate it and now basically we had four meetings at the plan		2	sure if I have the right terminology, but basically the second item was the request for
2	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and		2	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision
2 3 4	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and		2 3 4	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan
2 3 4 5	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and then it was approved for them to develop it as a		2 3 4 5	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan commission meeting. No. 1, the proposed final
2 3 4 5 6	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and then it was approved for them to develop it as a detailed development which then gets into all		2 3 4 5 6	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan commission meeting. No. 1, the proposed final development agreement in order to allow
2 3 4 5 6	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and then it was approved for them to develop it as a detailed development which then gets into all the engineering, landscaping, much more detail		2 3 4 5 6 7	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan commission meeting. No. 1, the proposed final development agreement in order to allow additional time to respond to comments from the
2 3 4 5 6 7 8	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and then it was approved for them to develop it as a detailed development which then gets into all the engineering, landscaping, much more detail on the elevations in the plans.	08:03:28PM	2 3 4 5 6 7 8	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan commission meeting. No. 1, the proposed final development agreement in order to allow additional time to respond to comments from the village attorney and to provide the opportunity
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2 3 4 5 6 7 8 9 08.01:10PM 10 11 12 13 14 15 16 17 18	trustees so they could evaluate it and now basically we had four meetings at the plan commission and then it went to the trustees, and I believe they had at least two meetings, and then it was approved for them to develop it as a detailed development which then gets into all the engineering, landscaping, much more detail on the elevations in the plans. So the real focus in this round is really focusing on a detail plan. We had four meetings that went on to about 10:30 for each one. I think the biggest part was on the concept in general and a lot on the special use permit about open space, about density. When it left us in, I believe it was January, it was a 59-unit development and	08:03:28PM	2 3 4 5 6 7 8 9 10 11 12 13 14 15 16	sure if I have the right terminology, but basically the second item was the request for the plan commission to affirm a final decision and/or approval two items before the next plan commission meeting. No. 1, the proposed final development agreement in order to allow additional time to respond to comments from the village attorney and to provide the opportunity for the village parks department and the developer to review and approve the schedule of the final design details for the proposed KLM park development improvement. You may recall that one of the benefits was the leveling of the three cross fields that are on the north end of KLM. Many of your kids were involved in lacrosse over there. It's a very interesting field because it's sloping downhill so I don't know which way
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6 8 development grows and it becomes available they 1 We do have a short presentation to 1 would then level one field at a time keeping the 2 bring you up-to-date visually, and even though 2 field in play for the park district and the you did a great job, Mr. Chairman, in covering lacrosse clubs. what's happened since we last met with you, and 5 What I'd like to do tonight is let we do look forward to discussion and answering any questions both myself and our professionals 6 the applicant give us an update. I appreciate 7 all the information. This is quite a package. 7 if you have them. Thank you. It almost threatened Chan's back in 8 As the chairman so eloquently put 8 the process of delivering this to the it, the concept plan was increased from 59 units 9 commissioners. And then I want to have an 8:04:30PM 10 10 to 64 units and the basic reason was to put in 11 opportunity for any community members to give us 11 more duplex homes in a location that I'll mention in a moment. And so we ended up with 42 12 their opinion on this. 12 13 We had over the period of the four duplex homes, 21 buildings and 22 single-family 13 14 meetings previously we probably covered about 14 homes, including the one existing single-family six months in total, we had a lot of input, most on lot 1. And lot 1 is right there. And the 4 15 15 in email speaking for or against the concept, single-family duplex buildings were on County 16 16 and I know also at the board of trustees level 17 17 Line Road in that location and they actually after we reviewed it. With that, good to see replaced 5 single-family homes so we had one 18 18 19 you again. 19 less building on County Line Road. 08:05:00PM **20** MR. JAMES: Thank you. You have done a 20 The other two changes were we took 21 great job. I can just sit down. 21 two single-family homes on lots 12 and 13 and 22 CHAIRMAN CASHMAN: This is for people 22 changed those to duplex units and the result was it's been a long process and people who weren't to increase the number of duplex homes and part of this and we have some new commissioners decrease the number of single-family and by that are aware of this through the newspaper virtue of doing that, we were able to and we coverage and then they have had plenty of feel comfortable that we will be able to get our 4 duplex prices homes down into the mid to low 8 5 reading material over the last month. 6 Mark, you jumped in halfway through hundreds and we are very, very comfortable with 6 that and happy with that. our previous process. And so Jerry and Debra 7 7 are new to the process. We had two 8 This is an overview of the areas 8 commissioners, Julie unfortunately is sick today that we had in mind. This is the new duplex, 9 10 so she wasn't able to make it and Troy had a 10 this is the old single-family. Here's the other 11 business commitment out of town. 11 single families that we changed. 12 MR. JAMES: Thank you, Mr. Chairman and 12 We will be going through the final welcome Plan Commissioners. I look forward to 13 13 plat and final engineering and you can't see talking with you more. these but they are here and in your book and so 14 14 15 My name is Edward James. I'm with we have talked about the final plat, the 15 Hinsdale Meadows Venture. And this evening we 16 16 engineering and grading plan, the utility plan 17 have with me Michael Balas, vice-president chief and the final landscape plan. We will get into 17 18 financial officer of Edward R. James Companies; 18 that in just a little bit more later. 19 Brett Duffy, engineer with SpaceCo, Inc., our 19 The detailed plans, in short, will 08:05:50PM **20** project engineer; Terry Smith, our land planner 20 show that we have retained as much of the or landscape architect with BSB Design; and Joe existing infrastructure and landscaping as 21 21 Safin, architect with BSB Design. 22 possible and along with putting in the new 22

10 12 improvements that have to go in to accommodate the first elevation A. Second elevation is B 1 2 the additional homes, the different side yard 2 and this is a side-load garage and then the 3 and configurations of the homes. floor plans. You will notice again in the floor 4 You have seen elevations but I plans they are all open living, which most 5 don't know that you have really studied them too everybody is gravitating to at this time. The much, but we did have input from three formal dining room it's a wonderful room but 6 7 architects at large from the village and we were 7 with the young families coming and going, it's very appreciative of that and we tried to not used very much but there is space here for 8 incorporate some of their suggestions although dining but the area is open. 9 08:10:12PM 10 they were very positive for the most part and we 10 And then the next elevation is the 11 were pleased with that. 11 Torrington. This is one of the larger homes. CHAIRMAN CASHMAN: I know I was one of 12 This is the first elevation. You can see the the three that looked at all the different 13 different garage door configurations. This is 13 14 concepts and I gave you some feedback and then 14 the two single doors where some of the other it was Dennis Parsons and -garages are double doors. This is the B 15 15 MR. McGINNIS: Jim Prisby. 16 elevations. And then this is the floor plan for 16 17 CHAIRMAN CASHMAN: So they sent up 17 this home. These are all in your book. uploaded PDFs which were kind of the starting This is the Woodbridge, another 18 18 point which we have seen before and then the side load. It's our A elevation and the B 19 19 08:10:40PM **20** three of us looked at it, we gave comments, 08:13:40PM **20** elevation. Not very dramatic names but they get 21 emailed back to him and then there were some 21 the job done. And then the floor plan for this 22 modifications to the drawings of the different 22 house. Now, on the right side you will see the 11 13 concepts. second floor and there's some options there. 2 2 MR. JAMES: Mike has just put up the People can change it around if they want to. materials board for you to see. And on the 3 And then we have introduced a ranch screen we are going to go through the five floor home. There was a request for a ranch home and 4 plans or buildings that we have showing you the we heard you loud and clear and so this home 5 various elevations for each and then the floor will fit on the same foundation and the same lot 6 plans and then what happens to the rear when we 7 size as the Torrington, the one you previously 7 have them on sloping lots and we have window had seen. We only have one elevation of this 8 walkout or standard basements. now, but we will be coming up with a second 9 9 08:11:26PM 10 This is the New Haven, and it's our 10 elevation for it as well. 11 elevation A. This is the same house with an 11 MR. JABLONSKI: How many square feet elevation B. And then this is a floor plan. will that be? 12 12 13 They are all three bedrooms, two and a half bath 13 MR. JAMES: I think about 2,300 square and every home in the entire development will feet. It's a nice plan. It's in your book I 14 14 15 have a first floor master bedroom. So it is, in 15 know. fact, age-targeted. And this home right now --16 16 All of the homes have decks, an 17 all of our homes, different homes will not go on option for a screened-in porch or a sun room and 17 18 every lot and in your packet you will see where 18 we tried to show what they would look like. specific homes can be built and if it's not 19 The plan on the upper left-hand 08:12:10PM **20** marked as such, then one of these models could 20 corner that's a standard deck. The plan in the not be built on that lot. 21 21 upper right-hand corner is a screened-in porch 22 option. And then the lower left is the standard 22 The next home is the Ridgefield,

14 16 1 deck with the optional stair going down if the 1 may not want a stair. 2 2 home is on a lot that requires a walkout or a The table of compliance has some 3 window basement and the walkout and window 3 changes to it and brought about by the final basements are a function of the topography of 4 engineering and then working with staff as to 5 the site and the fact that we have to do the details involved with the plans and some of 6 something to handle that grade change. And then 6 the site configurations. 7 7 the lower right is the sun room option. The minimum lot width the previous 8 The duplex have both front and 8 was 56 feet for the single-family. The new is 9 side-loaded garages. This building has the 9 56.5 feet. The duplex previous was 85 feet and 10 front-loaded garage on the right side and the the new is 77.8. Now, these are minimums and 10 11 side-loaded garage on the left. just because we have gone down from 85 to 77 12 And here is the same building, same that's not standard. That may be one particular plan but it has two front-loaded garages. And lot. So we have given you the worst option not 13 13 14 this is necessary to be able to build it on the 14 an average or a standard, what have you. 15 15 lot, there's not enough room in the side yard to CHAIRMAN CASHMAN: That's pretty much 16 have a driveway and a turnaround and what have throughout all of this. I know I was talking 16 17 you. So pretty much wherever we could put a 17 with Robb about this and Chan is I like this 18 side yard in, we have done it and the rest are 18 approach. Worst-case scenario every one of front loaded. 19 19 these. You don't know exactly what is going to 08:16:54PM **20** The duplex floor plans are 08:19:40PM **20** be built but if this is approved, it's approved 21 standard. The interior partitions could be 21 under the worst-case conditions and then the market will determine what ultimately is built 22 moved or so forth but no real changes inside 22 15 17 because they are one building and the upstairs out there. Likely not the worst-case scenario, shown on the left has some options to it but but it would be something less. 3 they are pretty standard as well. And those 3 MR. JAMES: We will get into that in 4 average about 2,400 square feet. One is 23 4 more detail when I get to the FAR and building 5 something, the other is 25 something. 5 coverage as well. 6 6 CHAIRMAN CASHMAN: Back to the comment And here again we have the standard deck, which you could see in the upper left-hand about also not voting on this tonight, I thought 7 corner, the upper right-hand corner we have a it was also because the staff is still going 8 9 screen porch option. That deck has been closed 9 through the detailed review of this document. 08:17:40PM 10 in, it becomes a screen porch. And then the 10 MR. McGINNIS: That's correct. We are 11 lower left is a standard deck with the optional getting close but there were still some changes 11 as recently as last Thursday. We are close but 12 stairs going down. Now, those stairs are 12 13 optional. Some people may not want them, others 13 we are not quite there yet with respect to 14 might. And then the lower right is a sun room 14 identifying each of those waivers and how much 15 option. 15 they are asking for. MR. JAMES: The average width of the 16 MR. JABLONSKI: Will each owner be able 16 to choose whether he or she wants the stairs? single-family lot, now this is an average, is 17 17 18 MR. JAMES: Yes. But if the building 18 74.2 inches and the average width of the duplex 19 is a standard-type building that's going to have building is 102 feet 4 inches. And the lot 08:18:18PM **20** a window basement and a walkout basement, both 20 width is measured at the front yard of the 21 units will have the same basement configuration 21 setback line and then a minimum single-family 22 lot, which we refer to above as lot 31, and 22 they can't change but one may want a stair, one

18 20 that's on a cul-de-sac at the far south end by the walkout basements. 1 1 the park. It's a pie-shaped lot and widens up 2 The front yard setback -- and I'm 2 significantly as it gets deeper and we can show 3 3 going through this is the table of compliance that later. that we are going through. The front yard 5 The minimum lot width for lot 12 is setback the minimum code is 35 feet. The on 55th Street whose front yard was set back, previous request was 30 feet and we are now 6 was moved back to 25-foot setback from the 7 7 requesting 25 feet for specific lots and for a 30-foot setback as originally proposed. 8 specific reason. We are talking about lots 7, 8 9 The building heights, the final 8, 9, 10 and 11, as you can see on the screen 08:21:24PM 10 engineering plans required us to calculate the right there on 55th, and also lots 12 and 13, I 10 11 height based on the code definitions and the 11 believe. 12 12 waiver request that we are asking for is due to MR. BALAS: Yes. That's correct. the grade conditions in the final grading plan. 13 MR. JAMES: The reason that we are 13 14 The new height is 30.17 inches and the issue 14 doing that is it's an engineering plus an that we are dealing with here, and we are aesthetic plus some other considerations. But 15 15 working well with staff, is that the site was basically, the overland flow for the property, 16 16 17 previously graded for Sedgwick, the previous 17 the natural drainage, goes from County Line/55th zoned community, yet the streets and the curbs east along the property line at the backyards of 18 18 those homes and it's an overland drainage and 19 were already installed and they are fixed and 19 08:22:00PM **20** they are not going anywhere so that's really 08:24:44PM **20** when looking at the engineering more closely, it 21 setting the grade for those. Yet when you -- if 21 was determined that the rear yard beyond the you measure the existing grade that is called 22 22 patio was going to be at a pretty good steep 19 21 for in the code, the existing grade is the decline or incline going up or going down. 2 property adjacent to the curb that's already So to offset that we are going to been lowered to accommodate the pad for the propose two things. One, we move those homes previous development. So we are working with from instead of 30 feet back from the interior 4 that and I think we have -- we are working well road 25 feet back. You probably won't notice it 5 with staff on that and we hope it won't be a but they will all be the same and that gives us 6 7 problem. 7 a chance to provide a more level rear yard for The building elevation, the minimum the homeowners but it also allows us, which we 8 code is 35.5 feet and the walkout units are will get into later, to install the screen wall 9 9 08:22:42PM 10 40.75, an increase of 5.25 feet. The building 08:25:30PM 10 fence in a location that doesn't restrict the 11 elevation is a new addition to the table of overland flow of the water, the natural flow compliance and it was put in by the village which will end up down into our detention basin 12 13 staff. The elevation height information was 13 and into the pond. So this wasn't a decision provided during the concept plan and approval that we just came out of the blue with. It was 14 14 15 process. The variance, as I said a moment ago, thought about, talked about, and most of the 15 is really due to the existing topography and the landscaping along those lots will come out and 16 16 17 need to provide walkout basements. it will be relandscaped and we think -- we know 17 18 The duplex building, the minimum it's a valuable asset and so we are going to be 19 code is 36, 20.25 and the walkout units are 19 requesting that. 08:23:20PM **20** 42.92, an increase of 6.7 feet but that's again 20 Then we get into the corner and

coming from the back with the walkout basements.

Again, the variance is due to the topography and

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side yard setbacks the minimum code is 35 feet.

The single-family the same 30-foot setback is

22 24 requested that was in the first case and the 1 But I want to make this 1 2 duplex the same 30-foot setback as was asked for 2 observation. We have agreed, and we have no before. problem with it, that any basement -- no 3 4 The interior side yard setback, the basement can include a bedroom or a full bath. single-family minimum code is 14.02 inches and So there's no opportunity, even though we are we request an 8-foot side yard or a 6.2-foot being penalized on the FAR to change the 6 7 reduction and the minimum code for a duplex is 7 character of that basement. If a person wants a 14.2 and we are requesting a 9-foot side yard or 8 recreation room and a closed basement, it's 8 a reduction of 5.42. The figures shown going to be the same recreation room and an open 9 08:26:50PM 10 represent the maximum yard setback compared to 10 basement but he or she can't put a full bath the code requirement. And the minimum code 11 11 down there. You can put a half-bath powder 12 requirements of 14.2 and 14.42 are based on lot 12 room, but you can't have a bedroom down there. width and staff updated the 10-foot previously So we are talking with staff about that and we 13 13 14 shown as a minimum requirement. We understood 14 would ask you to take that into consideration it was 10-foot, now it's 14 but we are working when you look at the fact that the FAR is over 15 15 with that. We think we can resolve it. what might be allowed. 16 16 17 17 When it comes to maximum building Now we come to, I believe, the floor area ratio. That's the FAR. And the coverage, the code requirement is 25 percent. 18 18 total single-family and duplex equal 19 19 The single-family is 29.62, or an increase of 08:28:00PM **20** 304,810.52 feet, an increase of 36,576.27. And 08:30:40PM **20** 4.62 percent, and that refers specifically to 21 the way the FAR was calculated, as Chairman 21 lot 9 and that would be along 55th Street. And the duplex is 34, or an increase of 5.4 percent, 22 Cashman said, we have taken the worst possible 22 23 25 case, the largest home that can be built on any and that refers to lot 10, which is a duplex. 2 individual lot, we have added every option, the So the maximum building coverage as screened-in porch, to increase the FAR in that we did in the FAR concept includes the largest regard and so it can only get better if somebody building, the largest house, all of the options 4 4 picks a smaller house instead of the largest on the lots and the combined building coverage 5 house on a particular lot. But this increase, percentage over all the lots at Hinsdale Meadows the 36,000, is also impacted by the basement 7 including the existing single-family on lot 1 is 7 square footage. The lower areas of the home 8 24.89 percent. 8 account for 47,000 feet of lower level basement 9 So the single-family waiver request 9 08:28:54PM 10 area and that's primarily due to the existing obsitive 10 is based on the Torrington built on lot 9 and 11 grades of the contours of the land. the duplex waiver request is for lot 42 which 11 12 But let me make a point here. The has 15,009 square feet. The maximum total lot 13 code defines basements as cellars, windows and 13 coverage is 50 percent and single families are walkouts and the rationale for that -- I'm not 50 and duplexes are 50. 14 14 15 What's on the screen now is we have 15 going to try to interpret it, but a cellar would be a standard basement, no windows other than done some research and we have looked closely at 16 16 17 the escape well and what have you. A window 17 the fences that people have put on their 18 would be a slight decline where you have English 18 properties to reduce the sound or the visual

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08:29:28PM **20**

basement you can see out but you can't walk out.

And a walkout basement is where the land is

really falling away and you put sliding doors

and you can walk out.

impact or what have you, and we came across this

product, which we call a screen wall, and it's a

faux stone wall and you can see it here and we

are proposing to remove the fence along 55th and

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26 28 replace it with this stone wall as you can see they don't have a problem with it and that will 1 2 samples of it and these happen to be on Willow 2 also be on the gate which is the next -- no, Road in Northfield or Glenview and we have seen it's not. it elsewhere. It's very attractive. You can 4 We have had discussions with RML landscape around it. It acts as a sound and the staff and I think with the fire barrier. It acts as a visual barrier. It will department and what have you. As you know, RML 6 6 7 be 8 feet high and very attractive when you 7 is going to be doing an addition to their drive by it. 8 hospital, their campus site. And they have an 8 9 issue with their expanded footprint or whatever This particular location on Willow 9 08:33:52PM 10 is right next to some other material fences and that they are concerned that fire and emergency 10 11 so forth and it stands out beautifully and so 11 vehicles coming in off of County Line Road may 12 even though it's very expensive, we are going to 12 not be able to get around or access as fast or request that we be permitted to use that wall on as quickly as they would like to from County 13 13 14 55th Street. It will extend from lot 7, the 14 Line Road going through their property. We building on the far left, to the single-family don't know the details, but what we are asked to 15 15 home on the far right, but then it will step do was would we put a gate in our fence that 16 16 17 back under 12 and 13 to protect the large clump 17 accesses their parking lot so that emergency of trees that are already there. We are not vehicles could come in through Barton Lane and 18 18 19 going to take those down, we are going to save 19 then go through that gate and access the far 08:34:40PM **20** them. We are going to bring the wall back. 08:37:26PM **20** eastern end of their property. And we think as 21 And slide 16 you can see we are 21 good neighbors, and good citizens and worried going to transplant a great many trees, and I'll 22 22 about safety, what have you, there's no reason get into that, and remove many trees, and I'll not to do it and we have pretty much agreed with get into that as well. the hospital that we would do that and share the 3 Then along the hospital property cost and we are going to put in the grass bricks line, as you can see on the left slide, we have or grass pavers where the grass comes through it 4 the existing faux wrought-iron aluminum fence. so as we drive down our road, you will see grass 5 Here again we are going to leave that fence but but there's a base there for the heavy vehicles we are talking with the hospital and so far they 7 to cross. Only the emergency vehicles will have 7 are in agreement with this. We are going to put access to the gate. It's either a break through this black cloth that blocks the view of their or a key operation or electronic, whatever comes 9 9 08:35:32PM 10 parking lot and headlights and what have you 10 up with, but no one else will go through it at 11 coming into the property, and what have you, and all and the hospital is going to do the same of course would have landscaping in front of it thing on their side. So we are very happy with 12 13 and behind it, but it does block it and that's 13 that and we are working well with them and will what we will put on the entire perimeter fence be asking for that. 14 14 15 of the hospital and Hinsdale Meadows. 15 Then the tree preservation and 16 transplanting schedule. These are just some Again, the picture that you see 16 17 here is a long fence along Willow Road, lovely numbers that I would like you to pay attention 17 18 area and it just looks just fine. Drive by it to and listen to and hopefully you can and landscaping around it and you don't even appreciate them. 08:36:10PM **20** know it's there. So we will be asking for that. 20 We have already planted many, many 21 And we have been talking -- the trees along the parkway and elsewhere in the 21 development when it was previously zoned for 22 hospital knows this we have talked about it and 22

30 32 Sedgwick. We will leave in place 75 trees. We and in the management end of it for many, many 1 will transplant 30 trees. We will remove 24 2 years, we understand homeowner's associations 2 dead trees, and we will plant 34 new parkway and what they may want, what they may be looking trees with a total parkway tree completion there for. And the worst thing a developer can do is will be 139 trees on the parkway in our well, I'm going to avoid that, let them worry 6 property. And here again, we believe -- we about it. That's not the way we do business. 7 appreciate being able to leave the trees that we 7 We will have an agreement with the hospital. It already planted, they are matured, they have will spell out for the homeowners, it will spell 8 been there ten years or longer, and we will be 9 9 out for the hospital who is responsible for adding to it, removing and pulling out many what, sharing the maintenance and what have you, 08:39:18PM 10 10 11 others. and it will all be done so they can see it. We 12 The next issue is the use of don't want them coming back to you at a later trusses and for both the floors and the roof date saying, you know, why didn't you do this 13 13 14 trusses in the buildings. 14 and then all of a sudden you are in trouble with 15 CHAIRMAN CASHMAN: Robb, this is really your neighbors and friends. We just don't do 15 a building code issue. that. So we would rather tell you about it now 16 16 MR. McGINNIS: It is but it's a waiver. 17 17 and delay it until we can get it done. We have a local ordinance that prohibits And then finally the traffic study, 18 18 19 trusses. There was a quid pro quo in 19 we submitted a complete study several months ago 08:39:54PM **20** conjunction with the fire department they agreed 08:42:28PM **20** and you have had that, but just to give you the 21 to fully suppress those buildings in the quid 21 highlights of that traffic study. 22 pro quo that we would consider them using these. 22 The proposed Hinsdale Meadows 33 1 MR. JAMES: Right. In return for using traffic the projected is 270 average daily trips the trusses, which it's faster, it's better, 2 per day. That's in, out, all day long. The 3 it's done in a factory, in a plant and previously approved development 36-single family everything is in a jig and it comes out right, Sedgwick homes would have generated they 4 okay. There's no human error involved. We are suggested 410 average daily trips per day. So 5 going to sprinkle the units, fire retardant this is a reduction in the average daily traffic 6 sprinkler system, which we think is a wonderful of 140 daily trips in and out even though we 7 trade-off. Better for the homeowners and better have more units. It's the makeup of the unit, for us in both cases in terms of the quality of 9 9 the type of people that will be living there. 08:40:38PM 10 construction and the fire protection. 08:43:22PM 10 You know what, I think that's the 11 The Hinsdale Meadows declaration, end of our short presentation. Now, you can ask 11 all the questions. All of my consultants are 12 homeowner's declaration is being revised, minor 12 13 changes, and they will include the fact that we 13 here to answer if I can't. Thank you. now have 64 units, the fact that we have a gate CHAIRMAN CASHMAN: What I'd like to do 14 14 15 operation. The gate operation we have a first is see if there's any community members 15 16 maintenance agreement with the hospital that's 16 that would like to speak on this matter so we put in there so the homeowners aren't surprised can hear their concerns. Please come up and 17 17

08:41:18PM **20**

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later on and neither is the hospital.

a fiduciary responsibility and that is that we

having been in this business for now 61 years

As I said before, we stand here in

have to think about what the homeowners want and

state your name, your address at the microphone.

I'm a resident of Hinsdale, and we are looking

for empty-nester home, or whatever it's called,

and we are anxious to find out what they offer

MS. BHAT: My name is Vigaya Bhat, and

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1	for us.	1	MS. BELLETETE: Good evening. My name
2	My question is: Is it an age	2	is Aleta Belletete. It's on the sign-in sheet.
3	what is the age restriction to get into this,	3	I live at 1200 Laurie Lane, and I have lived
4	and also is it gated community and is that	4	there for about 21 years. I have lived in the
5	assessment monthly or annual, something like	5	Hinsdale area my whole life. I'm a product of
6	that? And my husband may have some questions.	6	Oak, Elm middle school and Hinsdale Central.
7	This is what I just can think of right now.	7	I share those facts with you just
8	CHAIRMAN CASHMAN: This was really a	8	to let you know that I'm not interested in
9	big area of discussion previously when we did	9	selling my property and the value of it, I'm
08:44:42PM 10	the concept plan: Age-targeted versus age-	08:47:00PM 10	going out feet first and I love the area. So
11	restricted. So this is an age-targeted	11	I'm here as a supporter and lover of the area
12	development. There are no age restrictions on	12	and a concern that I have as a Laurie Lane
13	this development.	13	resident is that currently even without the
14	The second question gated. It's	14	development when we try to turn left out of
15	not a gated community. There's no gates at the	15	Laurie Lane during peak times, it can be an
16	two entrances. And the last, I believe in the	16	inordinately long time. And now with 200 some
17	documents is says approximately \$200 a month.	17	more trips, and I don't know if that includes
18	MR. JAMES: In the mid \$200, yes. At	18	nannies and lawn service people and what have
19	this point, yes.	19	you, but even if it includes all of that, we are
08:45:10PM 20	MS. BHAT: We have to ask somebody to	08:47:38PM 20	going to be growing old just at that
21	be on the waiting list.	21	intersection.
22	CHAIRMAN CASHMAN: All their	22	So is there an opportunity to
	35		0.7
			37
1	information if you go to the village website	1	during peak hours not have right turns out of
1 2		1 2	
	information if you go to the village website	_	during peak hours not have right turns out of
2	information if you go to the village website this entire packet is on the website under the	2	during peak hours not have right turns out of the exit going out onto 55th Street or, more
3	information if you go to the village website this entire packet is on the website under the plan commission and all their information is	2 3	during peak hours not have right turns out of the exit going out onto 55th Street or, more important for the residents of this group, if
2 3 4	information if you go to the village website this entire packet is on the website under the plan commission and all their information is there and if you contact Chan after the meeting.	2 3 4	during peak hours not have right turns out of the exit going out onto 55th Street or, more important for the residents of this group, if you try at those peak times to be on County Line
2 3 4 5	information if you go to the village website this entire packet is on the website under the plan commission and all their information is there and if you contact Chan after the meeting. MR. JAMES: I'm going to give you this.	2 3 4 5	during peak hours not have right turns out of the exit going out onto 55th Street or, more important for the residents of this group, if you try at those peak times to be on County Line Road heading toward 55th Street, right now you
2 3 4 5 6	information if you go to the village website this entire packet is on the website under the plan commission and all their information is there and if you contact Chan after the meeting. MR. JAMES: I'm going to give you this. This is not a marketing. This is just for your	2 3 4 5 6	during peak hours not have right turns out of the exit going out onto 55th Street or, more important for the residents of this group, if you try at those peak times to be on County Line Road heading toward 55th Street, right now you don't have that many cars cutting through to get
2 3 4 5 6 7	information if you go to the village website this entire packet is on the website under the plan commission and all their information is there and if you contact Chan after the meeting. MR. JAMES: I'm going to give you this. This is not a marketing. This is just for your information. That has the site plan and it's	2 3 4 5 6 7	during peak hours not have right turns out of the exit going out onto 55th Street or, more important for the residents of this group, if you try at those peak times to be on County Line Road heading toward 55th Street, right now you don't have that many cars cutting through to get past the light. Because it doesn't look
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40 38 1 appreciated. And we thank you for your time and answer that, but I bet some of the younger 2 2 consideration. people on our street could. But I am up by 3 CHAIRMAN CASHMAN: So the difficulty is 4:30, 5:30 in the afternoon and it's bad in the going westbound out of Laurie Lane or -- I can't rush hour times, very bad, and will also be bad 4 5 think of the next street over. 5 for them. 6 6 MS. BELLETETE: Woodview. What happens is when they get out, 7 CHAIRMAN CASHMAN: Woodview. I was 7 then we really can't go anywhere because now we curious when I was looking at the traffic study 8 are going to hit them if we turn, which is why 8 9 for this it has basically access to 55th Street 9 I'm suggesting maybe restrictions on certain and to County Line that if I was living there 08:49:20PM 10 10 peak hours and minimally putting something on 11 and it was difficult to go out onto 55th Street 11 55th Street that would keep people from dodging 12 and turn left, I would try to go out on County the light and then it would be a great source of Line and turn right and then go westbound at the revenue for you in terms of ticketing, I would 13 13 14 intersection of County Line and 55th Street. 14 think, if you put that up. 15 15 Are you ever forced to go all the CHAIRMAN CASHMAN: When you are talking way down to Plainfield? 16 about people dodging the light, are they dodging 16 17 MS. BELLETETE: Yes. And that's a long 17 it on 55th Street trying to go southbound on 18 way, actually. Twisted roads, long way and 18 County Line. 19 that's time and, you know, I'm old, retired and 19 MS. BELLETETE: They would be trying to 08:49:52PM **20** probably have time. 08:51:54PM **20** go east. They are coming this way, they have 21 The concern is getting to the 21 already waited. I'm not waiting through another 22 hospital. I know you can call 911 but you are 22 light, I'm seeing I'm going to miss it, I'm 41 not always in an ambulance and dire situations going to go through this subdivision. Which now to where someone is going to get hurt because someone might say, well is that a problem now? they are anxious to get to something, a funeral, It's not a problem because they don't figure 4 a wedding, the hospital, whatever, and they are they can do it now and people aren't going to go 5 not as careful. on a street that hasn't been used for ten years. 6 The lanes that were added with your I mean, I don't know, unless you are taking a previous plans and 55th have been helpful in 7 bike or a walk, you don't have any reason to do 7 terms of trying to turn and not feel like that to know that it's developed. They just 8 9 someone is going to rear end you, so I thank you 9 look at it as not a thorough street. So thank 10 for your previous consideration of that and that 10 you for your consideration of that. 11 has worked well for coming home heading west on 11 CHAIRMAN CASHMAN: Thank you very much. 12 55th and then turning into Laurie Lane, you feel 12 MR. JAMES: If you look on page 10 and 13 a little bit safer in that patch that's there 13 11 of your traffic study, you will see the 14 now, so thank you for that. We are talking entire gap report, gap study, and without 14 getting into details, it's a matter of seconds, about -- it's kind of bad all the time, but it's 15 15 16 really bad at peak times. 16 7 seconds, 3 seconds, 4 seconds, 2 seconds, 6.9, 17 CHAIRMAN CASHMAN: Is it worse in the 6.2, 3, 3. 17 18 morning rush hour or afternoon? 18 CHAIRMAN CASHMAN: Yes. Yes. 19 MS. BELLETETE: I'm retired now; I used 19 MS. BARENBERG: How long ago was that 08:50:52PM **20** to take the train. Then I thought it was really 20 traffic study done? 21 bad in the morning. Now, I'm like it's bad in 21 MR. JAMES: Just this year. 22 CHAIRMAN CASHMAN: February. 22 the morning, I'm going to wait. So I can't

42 44 1 MS. BARENBERG: Carolyn Barenberg. We 1 CHAIRMAN CASHMAN: That's an excellent live on the corner of 55th and County Line. We 2 point. I know when the bridge replacement was 2 have an absolute impossible time now getting out considered before they did it the village did a of our house. traffic study to set a baseline of what the 5 CHAIRMAN CASHMAN: Are you on the traffic load was on County Line prior to the northeast corner? bridge replacement and I know the intention was 6 MS. BARENBERG: We are on the northeast 7 that if they saw an uptick in the amount of corner, yes. We could wait for ten minutes 8 traffic that was coming from say Ogden heading 8 trying to get out of our house. So that's why I southbound and down County Line that they were 9 9 08:53:50PM 10 keep asking with all the construction, with all 10 going to explore traffic calming solutions to 11 this traffic coming across the bridge, it is 11 try to stop that. just backed up all the way down. That's why I'm 12 12 Has there been an updated traffic asking how long ago this study was done. study done by the village since this bridge was 13 13 CHAIRMAN CASHMAN: The traffic study 14 14 open? was completed February 27th this year. 15 MR. McGINNIS: That is accurate, but I 15 MR. JAMES: 2017. would need to ask Brad Bloom about that. I 16 16 17 CHAIRMAN CASHMAN: Yes, sir. don't know. 17 18 MR. BARENBERG: Dave Barenberg. I CHAIRMAN CASHMAN: Could you look into 18 think after you installed that bridge across the 19 19 that for us? I think that would be helpful. 08:54:28PM **20** railroad and obsoleted that old one-way bridge, 08:56:38PM **20** I'm sure the downtown with construction of the 21 that really loaded up County Line Road with 21 road isn't helping. I don't really head traffic. And then, in fact, people are looking 22 22 southbound County Line too much but I have gone 43 1 for ways to get around the downtown area, around and gone east on Chicago Avenue to miss circumvent the downtown traffic and the railroad the downtown traffic. So that would be helpful and so forth. So the least amount of difficulty 3 to see. is going across that bridge going straight to 4 But they did do a study because 4 County Line Road and proceeding south. that was a big concern of village residents 5 6 So you have all kinds of people 6 people that were on County Line like yourselves coming through now and I have a car for sale in is what's going to happen when the bridge 7 my driveway and I have people that are from all changes and goes from a one lane one direction 8 8 over the place, nobody from Hinsdale, but 9 bridge. 9 08:55:14PM 10 everybody from other -- Lyons, Brookfield, 08:57:08PM 10 MS. BARENBERG: Our concern is that I 11 everybody cutting through from Ogden Avenue think they are underestimating 200 times coming proceeding southward, which is the point of out with that many units going in. Because I 12 12 13 least resistance to go down County Line Road 13 know with us being retired how many times we go over that bridge straight through to County Line in and out of our house. Trip here, trip there, 14 14 Road to 55th Street and then if not further 15 grocery store, Walgreens, whatever, it's more 15 south. than what they are projecting. 16 16 17 So that gives you an idea of what 17 MR. BARENBERG: It would also be 18 happened. I don't think adequate studies were 18 interesting to take note of this route around done when you put that bridge through because 19 19 Hinsdale showed up on Google maps the way it is 08:55:44PM **20** it's also loading up that residential area south 20 because those two apps change traffic patterns of that bridge. People see traffic there that all by themselves all the time. 21 21

22

they have never seen before.

22

CHAIRMAN CASHMAN: I found shortcuts

46 48 1 that I never knew existed. really made me realize the concerns around the 1 2 Other comments? 2 area there. MR. DONAHUE: Thank you, Mr. Chairman. 3 3 So I looked around and I noticed My name is Michael Donahue, D-o-n-a-h-u-e, that there were two very large trees immediately 5 resident at 1150 Laurie Lane, Burr Ridge, been across my fence that were on the Hinsdale there 19 years. And I'm located probably the 6 6 Meadows property. I called the local -- and I largest property owner along the line of the 7 want to thank the village for their 7 southeast corner of the development where you 8 responsiveness as well, but I called the local 8 see where the cul-de-sac comes up at the end. I village of forestry department and within I 9 08:58:26PM 10 have about an acre and a half there. If I'm think 24 hours I had a call from Mr. Balas from 10 11 telling my friends, I'm telling them it's two 11 Edward James to talk to me about it. We 12 acres. So that lot there is in the southeast 12 exchanged several emails. corner of that development. 13 About two days later Mr. James 13 himself and Mr. Balas and one of the other 14 But I'm here tonight to talk a 14 little bit about the epitome of good neighbors. individuals with the design company came out to 15 15 And Aleta is my neighbor and you couldn't have a see what the problem was and I talked about it 16 16 finer neighbor. I think some of the traffic 17 17 and they couldn't have been, again, more comes just to see her decorations for every responsive. I told them that I was going to 18 18 19 holiday, which is beautiful and she's been great 19 have my additional trees removed. They said, 08:58:54PM **20** for us there. She decorates the escalade and 09:00:52PM **20** why don't you just have your guy remove the 21 the other things in the community. 21 trees behind us here, clear out that area, we 22 I'm here to talk about my 22 want to make sure we take care of it. I took 47 49 experience over the last 12 to 15 years as the opportunity with Mr. James being there to Edward James and Company has worked on that remind them of some of the sediment that came property. Several times I have had issues down and one of the design folks there said to because there's runoff that comes off of the Mr. James well, maybe we can berm that area. 4 property onto my property and I have about an 5 So not only did they immediately 5 remove those trees on their property, 6 acre driveway. 6 7 Every time that I have called or 7 immediately pay for that, allow me to take care of it in due course with mine, which was a talked to anybody about it, they couldn't be 8 more responsive and more considerate and matter of weeks, but then they reassured me 9 9 10 actually 12, 15 years ago they placed a screen 09:01:26PM 10 several times in emails and others that they 11 to try to take some of the sediment so that it were looking at putting a berm so the runoff on 11 would be reduced. My landscapers were shoveling my property would be not such a problem. 12 12 13 13 some of it off and it helped a great deal. But So as far as I'm concerned, you they have always been there and extremely couldn't have a better neighbor. We don't in 14 14 15 helpful. this society say thank you enough. I wanted to 15 thank Edward James and Company for what they 16 More recently in June, I didn't 16 realize how bad my trees were in the back of my did, thank the village for the support that they 17 17 18 yard. I had the Dutch elm and during one of the 18 gave us, and just go on record, I have heard it 19 big storms that we had I had a tree that fell on from their own developments, but go on record 08:59:52PM **20** my property nearly hitting -- I have a sun porch 09:01:54PM **20** from what I have seen in terms of them being a and others in the back, fell on my patio and good neighbor. 21 21 nearly hit my house. So for the first time 22 22 Additionally, I also have called

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1	Hinsdale before so this is part of my saying	1	We have spent the majority of our
2	expedite it as fast as you can because Hinsdale	2	lives in the community and now as empty-nesters
3	has been very responsive again because of the	3	we are faced with a decision on where and how we
4	number of skunks that come over and my dogs have	4	will live. We desperately want to stay in this
5	already been hit three times this year so the	5	community. This is where our friends are and
6	sooner you develop it and take care of that, we	6	where we have attended church since we moved
7	will be happy. But we are looking forward to	7	here in 1992. We want to stay close to our club
8	our new neighbors. Thank you very much.	8	and to the village of Hinsdale where we shop and
9	MR. JAMES: The skunks are not ours.	9	dine. Our children are all out of the house and
09:02:28PM 10	CHAIRMAN CASHMAN: Any other citizens	09:04:30PM 10	it is time to transition our big home to the
11	who would like to speak on this matter? Yes,	11	next generation family that can use all of the
12	sir.	12	space that we no longer need. We love our home
13	MR. BUCHELERES: John Bucheleres,	13	but we know that it is time to move on.
14	B-u-c-h-e-l-e-r-e-s, 718 South Washington.	14	We started to look at various
15	So do we still need people to speak	15	housing options several years ago. There is
16	in favor of the development or are we past that?	16	simply nothing that fits our space needs. While
17	CHAIRMAN CASHMAN: No. If there's	17	surrounding communities and even downtown were
18	anyone here who wants to speak for or against	18	considered, we just do not want to leave
19	it, I want to hear what people have to say;	19	Hinsdale.
09:02:58PM 20	that's important to us.	09:04:56PM 20	The Hinsdale Meadows project is
21	MR. BUCHELERES: I have already done	21	perfect for families like ours and we know many
22	that a few times at a few plan commission	22	other families that feel the same way and are
1			
	51		53
1	meetings and at the village board. So if it's	1	looking to move into this new community.
1 2		1 2	looking to move into this new community. Hinsdale Meadows is the right project at the
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2 3 4 5 6	meetings and at the village board. So if it's instructive, if it's helpful, I'm happy to do it. MS. BRASELTON: I haven't heard you speak before. MR. BUCHELERES: Well, I'll tell you what, I'm going to read a letter that I sent to the village president and the board of trustees	2 3 4 5 6	looking to move into this new community. Hinsdale Meadows is the right project at the right time for our village. I remember standing at village hall some 16 years ago to support the original single-family home project, maybe that was 14 years ago. I have met Ed and Jerry James on many occasions and our village is fortunate to
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	54		56
1	developer that would build commodity homes could	1	MR. JAMES: It really works. And the
2	be a disaster. Something is going to get built	2	duplex homes that we are building here are
3	here and we are fortunate that Edward James	3	similar in style and character to what we did at
4	still wants to build in our community.	4	Fox Meadow.
5	I urge you to vote in the	5	CHAIRMAN CASHMAN: I'm sure you weren't
6	affirmative for this project at next week's	6	happy when you got my comments when I originally
7	meeting. This is a project that needs to get	7	looked at the plans. I like the A-B concepts
8	built now to satisfy the demand of so many	8	the best. I didn't want to see any A-As or
9	families like ours. I am certain that this	9	B-Bs. But when you look at the development and
09:06:30PM 10	project will be incredibly successful and that	09:08:34PM 10	the placement of the buildings, you basically
11	Hinsdale would be proud that this housing option	11	created as many as you could and I'm okay with
12	is finally delivered to our village. Thank you.	12	it because there's a mix of it so it's not like
13	CHAIRMAN CASHMAN: Any other community	13	you see all these ones with two doors.
14	members that would like to speak regarding this	14	MR. WILLOBEE: I like the aesthetics.
15	matter?	15	My in-laws have a place in Florida, it's garage
16	(No response.)	16	door heaven. It's just demand wise,
17	Hearing none, commissioners,	17	functionality. I know we steered away from it
18	questions for the applicant? It's a lot to take	18	because my significant other cannot handle the
19	in. Debra?	19	90-degree turn.
09:07:06PM 20	MS. BRASELTON: I'm thinking. I had a	09:09:06РМ 20	MR. JAMES: It does work.
21	couple but they may have been answered.	21	MS. BRASELTON: You get your own
22	CHAIRMAN CASHMAN: Mark, are you ready?	22	driveway. One of the questions I had is how
	55		57
1	55 MR. WILLOBEE: Yes. As far as the	1	57 much space is in the driveway when you have the
1 2		1 2	
	MR. WILLOBEE: Yes. As far as the		much space is in the driveway when you have the
2	MR. WILLOBEE: Yes. As far as the building elevations, as far as the side-loading	2	much space is in the driveway when you have the two front-load garages in the duet? You can
2	MR. WILLOBEE: Yes. As far as the building elevations, as far as the side-loading garages, just personal experience how much	2	much space is in the driveway when you have the two front-load garages in the duet? You can leave your car out there obviously. It's really
3 4	MR. WILLOBEE: Yes. As far as the building elevations, as far as the side-loading garages, just personal experience how much demand is there for the side-loading? I know	2 3 4	much space is in the driveway when you have the two front-load garages in the duet? You can leave your car out there obviously. It's really hard to tell on the plan.
2 3 4 5	MR. WILLOBEE: Yes. As far as the building elevations, as far as the side-loading garages, just personal experience how much demand is there for the side-loading? I know personally when we looked at houses I didn't	2 3 4 5	much space is in the driveway when you have the two front-load garages in the duet? You can leave your car out there obviously. It's really hard to tell on the plan. MR. JAMES: The apron for the garage
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15 of 31 sheets

	58		60
1	MR. JAMES: I think it's too early to	1	expert speak to this.
2	tell. We are doing a project in Northbrook and	2	MR. DUFFY: Correct. Brett Duffy with
3	we have the Torrington plan there and we have	3	SpaceCo, 9575 West Higgins Road in Rosemont,
4	sold several of those. We are building a new	4	Illinois, Suite 700.
5	Haven model home and I was just in it yesterday,	5	Yes, the current outflow there's an
6	it's all drywalled and they are putting all the	6	emergency overflow spillway that will be raised
7	things to open up in about a month and it's	7	about three-tenths of a foot above the original
8	fantastic. And that's one of the smaller homes.	8	plan design grade to accommodate the additional
9	So we are really pleased with it.	9	impervious coverage for the site. So it will
09:10:48PM 10	CHAIRMAN CASHMAN: I guess on a similar	09:12:36РМ 10	still fit within the same footprint of the
11	note, so will you build any of these in kind of	11	detention basin.
12	a speculative mode or will you wait to have	12	CHAIRMAN CASHMAN: I thought I saw that
13	buyers before you build anything?	13	at the trustee level on the concept plan that
14	MR. JAMES: Ever since this company was	14	they agreed to accept the payment in lieu of the
15	founded and formed and we did Lake Barrington	15	BMP. So the idea is not to go and change this
16	Shores with 1,300 homes, any project we will	16	pond but the trustees wanted to take that
17	have a model here and there, but we don't start	17	donation, the money and leave the pond the way
18	a building if it's a multiunit building, we	18	it was.
19	do not start that building until it's 50 percent	19	MR. DUFFY: Correct. It will be
09:11:16PM 20	sold. So if it's a two-unit building, we will	09:13:02РМ 20	cleaned up and do some enhancements around the
21	sell one. If it's a four-unit, we will sell two	21	basin.
22	and single family we usually build them on	22	CHAIRMAN CASHMAN: I saw new plantings.
	59		61
1	order. 59	1	61 MR. DUFFY: Right.
1 2		1 2	
	order. CHAIRMAN CASHMAN: If someone approached you and wanted to go into a duet,		MR. DUFFY: Right. CHAIRMAN CASHMAN: Along that screen wall on 55th Street, it seems that you have a
2	order. CHAIRMAN CASHMAN: If someone approached you and wanted to go into a duet, then you would start development of that duet	2	MR. DUFFY: Right. CHAIRMAN CASHMAN: Along that screen wall on 55th Street, it seems that you have a swale on the south running to the east. The
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62 64 now. We had the original as builts and we made 1 1 already treated the cattails once in the 2 2 sure in the final condition the conditions out existing pond and I tried to get out there this 3 there right now will be satisfactory to provide afternoon to see them but I couldn't get across the detention volume. the railroad tracks and we will be treating them 4 5 CHAIRMAN CASHMAN: Didn't that again later this summer and then they will be 6 6 emergency outflow, wasn't it -- hadn't it gone. 7 7 settled or something from what was originally CHAIRMAN CASHMAN: Anna, any questions? 8 MS. FIASCONE: Just a clarification on 8 planned? 9 MR. DUFFY: It was originally planned. 9 the gate between the subdivision and the 09:14:30PM 10 I'm not sure if it settled or if it was not 10 hospital. Is that like a just in case gate or 11 constructed at the proper height, so in the 11 how often do you think that would be used? 12 existing condition it's lower than what was 12 MR. JAMES: Hopefully never. proposed to be. All things being equal, it 13 MS. FIASCONE: It's not like for 13 14 would need to be modified regardless to meet the 14 ambulances? 15 15 original design intent but we are going to MR. JAMES: No. No. Our 16 modify it a little bit more. 16 understanding, and we are still talking with the 17 MR. WILLOBEE: Looking at park A the 17 hospital about that and a couple of other 18 grading there's two large berms five feet high 18 things, but it's for emergency vehicles being 19 in that park. What's the reason behind that? 19 fire department as far as we know that the big 09:15:04PM **20** I'm thinking from use perspective and aesthetic truck can't get through their parking lot or 09:17:40PM **20** 21 perspective. We have limited a lot of the uses 21 whatever they are doing and so it would come but I'm thinking from a park wanting to go play 22 22 down Barton Lane. And likewise, let's just say 65 catch with the grandkids or something like that, that there is an accident on Barton Lane and I'm not sure that having 4-foot, 5-foot high they can't get through and there's a need for 3 berms. something south on Barton Lane, they could come 4 CHAIRMAN CASHMAN: Park A is the one in 4 that way. So it's a win-win for everybody and 5 the northwest corner? it was a good idea and we are pleased and we are 5 MR. WILLOBEE: Yes. 6 6 working very well with the hospital. 7 MR. DUFFY: The berm along the house 7 CHAIRMAN CASHMAN: I found on some of was proposed to be installed there to screen the the text refers to the fact that there's concern 8 9 home. We were working with landscaping in order if somehow the access to the hospital off of 10 to provide some -- I don't recall the reasoning 09:18:14PM 10 County Line that was blocked that then they have 11 for the berm on the north side. a second way in to access the property. 11 12 12 CHAIRMAN CASHMAN: Is that a sound MR. JAMES: Here again, that's the 13 barrier? 13 emergency. I mean, you know what, when there's 14 MR. DUFFY: I don't think it's for a an emergency, you do what has to be done and we 14 sound barrier. are pleased to be a part of that process so that 15 15 16 MR. SMITH: Both berms were intended 16 whoever needs the help, they can get to them. 17 MR. McGINNIS: So that gate was pretty 17 just to screen the homes on either side of the 18 park. So that was the purpose. 18 much driven by the fire department. They were 19 CHAIRMAN CASHMAN: These parks both of under the impression that there was an agreement 09:16:22PM **20** them look like just strolling kind of parks. 20 in place in the original improvement agreement 21 MR. SMITH: Right, more of a passive. 21 for the original Sedgwick that mandated for a gate to be installed for fire department access. 22 MR. JAMES: I might add that we have

1	66 There was nothing in the improvement agreement	1	68 that's what they do, about eight feet.
2	that we could find that drove that. So the	'2	MR. KRILLENBERGER: That's enough to
3	request was driven by the fire department and	3	keep sound and lights and everything?
4	James was good enough to accommodate the	4	MR. JAMES: Yes. Eight feet is what it
5	request.	5	comes in the sections.
6	RML is planning on an \$8 million	6	CHAIRMAN CASHMAN: It's 4-foot
7	renovation. They need to locate some temporary	7	sections, right?
8	office trailers on the east side of the	8	MR. JAMES: I wish I knew. I don't
9	development. As you know RML, it's kind of	9	have those details. It will be eight feet.
09:19:26PM 10	built in a spoke pattern and they have a fire	09:21:08PM 10	It's an expensive fence but we think it's going
11	lane that runs around the facility now but it's	11	to be beautiful when it's done.
12	marginal at best. So the fire department was a	12	CHAIRMAN CASHMAN: I thought it was a
13	lot more comfortable knowing they could get	13	good idea. If you actually drive westbound on
14	access off of Barton Lane in the event they had	14	55th Street and take a look at some of the
15	to get to that side of the hospital. Ideally it	15	properties, especially if they don't face 55th
16	never gets used.	16	Street, they have high stockade fences.
17	CHAIRMAN CASHMAN: I read through the	17	MR. JAMES: This is a far cry better
18	legal agreement between the village and the	18	than a stockade fence is. It's really
19	developer, I don't know if it's in it already,	19	attractive.
09:19:52PM 20	but it will be in that agreement.	09:21:32PM 20	MR. WILLOBEE: What's the longevity of
21	MR. JAMES: That will probably be in	21	that fence?
22	the development agreement, No. 1, but it will be	22	MR. JAMES: I don't know. But my guess
			, 5
	67		69
1	67 in the homeowner's association declaration No.	1	
1 2		1 2	69
	in the homeowner's association declaration No. 2, a clear and concise agreement who maintains what for maintenance, for repairs. They are		69 is it will last a lot longer in that condition than a normal wood fence because it's prefab. MR. WILLOBEE: Fences are a part of the
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	70		72
1	I might add one thing. In the	1	declaration. So again, we don't look for
2	homeowner's association budget, as we said	2	problems, we try to get them up front and
3	before, we have single-family homes and duplex	3	discuss them, resolve them, and then everybody
4	homes. With the duplex homes have a common	4	if they like it, fine, if they don't, they don't
5	roof, it's one building, and so the association	5	have to buy there.
6	will insure those, the exterior of those	6	CHAIRMAN CASHMAN: One thing I just
7	buildings. So if something does happen to a	7	want to comment on is the landscape drawings. I
8	roof on one unit and not the other and the roof	8	think it's interesting when you look at the
9	has to be replaced or repaired and you have new	9	duets and then you look at the sample designs
09:23:12РМ 10	shingles and old shingles, it's going to look	09:25:16PM 10	for the single-family models, there's an
11	like a hodgepodge. So different from a single	11	extensive level of landscaping around the
12	family home where a single owner takes care of	12	structures which I know from looking at Lake
13	it. So the association will be responsible for	13	Barrington and I'm more familiar with Fox
14	roof and repairs and that assessment will be on	14	Meadow, Hibbard Gardens and it's nice to see the
15	the duplex homeowners only and single families	15	extent but if you really look at these landscape
16	will still have their own. But in the	16	drawings, there's some serious landscaping and I
17	assessment for the duplex homes, it will include	17	think on a very short order once these buildings
18	the insurance on the structure which includes	18	are built and landscaped, it's going to look
19	the roof. Now interior wise it's all on their	19	very mature and then over time and what's nice
09:23:44PM 20	own.	09:25:50PM 20	unfortunately there was a delay but there's
21	MR. WILLOBEE: I also notice the	21	already been a lot of the landscaping has
22	declaration includes the storm, sanitary	22	matured and interesting the ones that will be
1	71		
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1	ownership. Is that in the right-of-way or is	1	transplanted and saved, but when I looked at the
2	ownership. Is that in the right-of-way or is that just the laterals?	2	transplanted and saved, but when I looked at the landscape drawings, I was pleased. I wasn't
3	ownership. Is that in the right-of-way or is that just the laterals? MR. JAMES: I don't want to misstate	3	transplanted and saved, but when I looked at the landscape drawings, I was pleased. I wasn't surprised but pleased to see it documented how
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19 of 31 sheets

	74		76
1	your part. I hope your sales are progressing	1	p.m.)
	well. They are. I do have a slight issue.	2	p.iii.)
2			
3	This goes back to Mike. It always happens. No	3	
4	crisis. But there is a standing dead tree just	4	
5	inside the conservation area near my place that	5	
6	I would like to chat with one of your guys about	6	
7	what we might do to mitigate an untimely and	7	
8	possible damaging fall down wrong. Just a chat	8	
9	to see what we might do.	9	
09:27:42PM 10	He's already been called and we	10	
11	will address that the same as we did with Mike.	11	
12	Lightening strikes twice. This time it did.	12	
13	CHAIRMAN CASHMAN: Well, it's just	13	
14	about 9:30. We, obviously, are going to need to	14	
15	continue this to next month and then hopefully	15	
16	staff will have time to go through the table of	16	
17	compliance in detail; but also I want to	17	
18	encourage commissioners, we are missing two	18	
19	tonight, but hopefully they will be back because	19	
09:28:16PM 20	both of them were involved in previous meetings	20	
21	and if we have other questions that come up,	21	
22	then we can bring them up a month from now. But	22	
	75	1	STATE OF ILLINOIS)
1	if there's not any other comments, I'd like to	') ss:
2	hear a motion to continue this to the next	2	COUNTY OF DU PAGE)
3	meeting.		
1 4			
4	MR. WILLOBEE: So moved.	3	I, KATHLEEN W. BONO, Certified
5	MR. WILLOBEE: So moved. MR. PETERSON: Second.	4	Shorthand Reporter, Notary Public in and for the
	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna?		Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby
5	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye.	4 5	Shorthand Reporter, Notary Public in and for the
5 6	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye. MR. WILLOBEE: Aye.	4 5 6 7 8	Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to
5 6 7	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye.	4 5 6 7 8 9	Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters
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5 6 7 8 9 10 11 12 13 14 15 16 17	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye. MR. WILLOBEE: Aye. CHAIRMAN CASHMAN: Aye. MR. JABLONSKI: Aye. MR. PETERSON: Aye. MS. BRASELTON: Aye. MR. KRILLENBERGER: Aye. MR. JAMES: Thank you very much. MR. MARRS: Mr. Chairman, just for the record, if we can state the date of the next meeting.	4 5 6 7 8 9 10 11 12 13 14 15 16 17	Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters pertaining hereto; that the testimony given by said witnesses was reduced to writing by means of shorthand and thereafter transcribed into typewritten form; and that the foregoing is a true, correct and complete transcript of my shorthand notes so taken aforesaid. IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my notarial seal this 30th day of August, A.D. 2017.
5 6 7 8 9 10 11 12 13 14 15 16 17	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye. MR. WILLOBEE: Aye. CHAIRMAN CASHMAN: Aye. MR. JABLONSKI: Aye. MR. PETERSON: Aye. MS. BRASELTON: Aye. MR. KRILLENBERGER: Aye. MR. JAMES: Thank you very much. MR. MARRS: Mr. Chairman, just for the record, if we can state the date of the next meeting. CHAIRMAN CASHMAN: September 13th at	4 5 6 7 8 9 10 11 12 13 14 15 16 17 18	Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters pertaining hereto; that the testimony given by said witnesses was reduced to writing by means of shorthand and thereafter transcribed into typewritten form; and that the foregoing is a true, correct and complete transcript of my shorthand notes so taken aforesaid. IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my notarial seal this 30th day of August, A.D. 2017. KATHLEEN W. BONO, C.S.R. No. 84-1423,
5 6 7 8 9 10 11 12 13 14 15 16 17 18	MR. PETERSON: Second. CHAIRMAN CASHMAN: Anna? MS. FIASCONE: Aye. MR. WILLOBEE: Aye. CHAIRMAN CASHMAN: Aye. MR. JABLONSKI: Aye. MR. PETERSON: Aye. MS. BRASELTON: Aye. MR. KRILLENBERGER: Aye. MR. JAMES: Thank you very much. MR. MARRS: Mr. Chairman, just for the record, if we can state the date of the next meeting. CHAIRMAN CASHMAN: September 13th at 7:30.	4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19	Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters pertaining hereto; that the testimony given by said witnesses was reduced to writing by means of shorthand and thereafter transcribed into typewritten form; and that the foregoing is a true, correct and complete transcript of my shorthand notes so taken aforesaid. IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my notarial seal this 30th day of August, A.D. 2017.

\$	25 [5] - 15:5, 20:7,	56 [1] - 16:8	AA [1] - 57:9	agreement [13] - 5:6,
Ф	21:5, 24:18, 57:6	56.5 [1] - 16:9	AB [1] - 56:7	27:8, 31:16, 32:7,
				65:19, 65:20, 66:1,
\$200 [2] - 34:17,	25-foot [1] - 18:7	59 [1] - 8:9	able [8] - 7:10, 9:3,	
34:18	270 [1] - 33:1	59-unit [2] - 3:16,	9:4, 14:14, 15:16,	66:18, 66:20, 66:22,
04.10	27th [1] - 42:15	3:21	28:12, 30:7, 59:17	67:2, 69:7, 69:10
1	29.62 [1] - 24:19	5:30 [1] - 40:3	above-entitled [1] -	Aleta [2] - 36:2, 46:16
	3	6	1:10 absolute [1] - 42:3	allow [2] - 5:6, 49:7
	3	6	accept [1] - 60:14	allowed [1] - 24:16
1 [6] - 5:5, 8:15, 25:7,			access [8] - 28:12,	allows [1] - 21:8
35:17, 66:22	3 [3] - 41:16, 41:17	6.2 [1] - 41:17	28:19, 29:8, 38:9,	almost [2] - 6:8,
1,300 [1] - 58:16	30 [4] - 20:6, 21:4,	6.2-foot [1] - 22:6	· · · · · ·	
10 [3] - 20:9, 25:1,	30:2, 57:6	6.7 [1] - 19:20	65:9, 65:11, 65:22,	55:20
41:12	30-foot [3] - 18:8,	6.9 [1] - 41:16	66:14	ALSO [1] - 2:1
10-foot [2] - 22:13,	21:22, 22:2	61 [1] - 31:22	accesses [1] - 28:17	alternative [1] -
22:15	30.17 [1] - 18:14	64 [2] - 8:10, 31:14	accident [1] - 65:1	53:22
102 [1] - 17:19	304,810.52 [1] -	64-unit [2] - 2:16, 4:1	accommodate [4] -	aluminum [1] - 27:5
10:30 [1] - 3:11	22:20	04-unit [2] - 2.10, 4.1	10:1, 19:3, 60:8, 66:4	ambulance [1] - 39:1
11 [2] - 20:9, 41:13		7	account [1] - 23:9	ambulances [1] -
1150 [1] - 46:5	30th [1] - 77:18	7	accurate [1] - 44:15	64:14
12 [6] - 8:21, 18:5,	31 [1] - 17:22		acre [2] - 46:10, 47:6	amount [2] - 43:3,
20:10, 26:17, 47:1,	34 [2] - 24:22, 30:3	7 [3] - 20:8, 26:14,	acres [1] - 46:12	44:7
	35 [2] - 20:5, 21:21	41:16	acts [2] - 26:5, 26:6	analysis [1] - 61:17
47:10	35.5 [1] - 19:9	700 [1] - 60:4	add [3] - 37:13,	Anets [1] - 73:8
1200 [1] - 36:3	36 [1] - 19:19		63:22, 70:1	anna [2] - 64:7, 75:6
13 [4] - 8:21, 20:10,	36,000 [1] - 23:7	718 [1] - 50:14	added [2] - 23:2,	ANNA [1] - 1:18
26:17, 75:22	36,576.27 [1] - 22:20	74.2 [1] - 17:18	39:6	annual [1] - 34:5
139 [1] - 30:5	36-single [1] - 33:3	75 [1] - 30:1	adding [2] - 30:10,	answer [2] - 33:13,
13th [1] - 75:18		77 [1] - 16:11	37:16	40:1
14 [2] - 22:15, 53:7	4	77.8 [1] - 16:10		
14.02 [1] - 22:5	-	7:30 [3] - 1:13, 75:19,	addition [2] - 19:11,	answered [1] - 54:21
14.2 [2] - 22:8, 22:12		75:22	28:7	answering [1] - 8:5
14.42 [1] - 22:12	4 [5] - 8:15, 17:19,	7th [1] - 73:14	additional [4] - 5:7,	anxious [2] - 33:22,
140 [1] - 33:7	41:16, 57:11, 61:8		10:2, 48:19, 60:8	39:3
15 [3] - 47:1, 47:10,	4-foot [2] - 63:2, 68:6	8	additionally [1] -	appeal [1] - 57:18
61:8	4.62 [1] - 24:20	_	49:22	Applicant [1] - 2:5
15,009 [1] - 25:12	40.75 [1] - 19:10		address [2] - 33:18,	applicant [3] - 4:20,
16 [2] - 26:21, 53:5	410 [1] - 33:5	8 [4] - 9:5, 20:9, 26:7,	74:11	6:6, 54:18
19 [2] - 1:12, 46:6	42 [2] - 8:12, 25:11	66:6	adequate [1] - 43:18	Applicant 's [3] - 2:8,
1992 [1] - 52:7	42.92 [1] - 19:20	8-foot [1] - 22:6	adjacent [1] - 19:2	2:9, 2:10
1002 [1] 02.7	47,000 [1] - 23:9	84-1423 [1] - 77:20	aesthetic [2] - 20:15,	appreciate [4] - 6:6,
	4:30 [1] - 40:3	85 [2] - 16:9, 16:11	62:20	29:19, 30:7, 73:19
2	4.30 [1] 40.0		aesthetics [1] -	appreciated [1] -
	5	9	56:14	38:1
2 [2] - 41:16, 67:2	5		affirm [1] - 5:3	appreciative [1] -
2,300 [1] - 13:13			affixed [1] - 77:17	10:8
2,400 [1] - 15:4	5 [3] - 8:18, 57:11,	9 [4] - 1:13, 20:9,	aforesaid [1] - 77:15	approach [1] - 16:18
20 [1] - 61:9	61:8	24:21, 25:10	afraid [1] - 37:9	approached [1] -
20.25 [1] - 19:19	5-foot [1] - 63:2	9-foot [1] - 22:8	afternoon [3] -	59:3
200 [2] - 36:16, 45:11	5.25 [1] - 19:10	90-degree [2] - 55:6,	39:18, 40:3, 64:3	approval [2] - 5:4,
• • •	5.4 [1] - 24:22	56:19	age [8] - 11:16, 34:2,	19:14
2005 [1] - 61:14	5.42 [1] - 22:9	911 [1] - 38:22	34:3, 34:10, 34:11,	approve [1] - 5:10
2017 [4] - 1:13,		9575 [1] - 60:3	34:12, 69:14	approved [5] - 3:5,
	50 [4] - 25:13, 25:14,	9:30 [1] - 74:14		
	58:19		age-targeted [4] -	16:20, 33:3, 51:9
21 [3] - 8:13, 35:17,	EE46 :c== 4.0 0 40		11:16, 34:10, 34:11, 69:14	apps [1] - 45:20
21 [3] - 8:13, 35:17, 36:4	55th [23] - 1:6, 2:13,	Δ		April [1] - 51:10
21 [3] - 8:13, 35:17,	4:15, 18:6, 20:10,	Α	_	• • • • • • • • • • • • • • • • • • • •
21 [3] - 8:13, 35:17, 36:4	4:15, 18:6, 20:10, 24:21, 25:22, 26:14,	A	ago [10] - 2:19,	apron [1] - 57:5
21 [3] - 8:13, 35:17, 36:4 22 [1] - 8:13	4:15, 18:6, 20:10, 24:21, 25:22, 26:14, 37:2, 37:5, 38:9,	A-25-2017 [2] - 1:7,	ago [10] - 2:19, 19:15, 32:19, 41:19,	• • • • • • • • • • • • • • • • • • • •
21 [3] - 8:13, 35:17, 36:4 22 [1] - 8:13 22-single [1] - 35:15	4:15, 18:6, 20:10, 24:21, 25:22, 26:14,		ago [10] - 2:19,	apron [1] - 57:5
21 [3] - 8:13, 35:17, 36:4 22 [1] - 8:13 22-single [1] - 35:15 23 [1] - 15:4 24 [3] - 30:2, 48:10,	4:15, 18:6, 20:10, 24:21, 25:22, 26:14, 37:2, 37:5, 38:9,	A-25-2017 [2] - 1:7,	ago [10] - 2:19, 19:15, 32:19, 41:19,	apron [1] - 57:5 architect [3] - 7:21,
36:4 22 [1] - 8:13 22-single [1] - 35:15 23 [1] - 15:4	4:15, 18:6, 20:10, 24:21, 25:22, 26:14, 37:2, 37:5, 38:9, 38:11, 38:14, 39:7,	A-25-2017 [2] - 1:7, 2:13	ago [10] - 2:19, 19:15, 32:19, 41:19, 42:13, 47:10, 51:10,	apron [1] - 57:5 architect [3] - 7:21, 7:22, 55:10

22:18, 23:10, 27:18, 34:9, 36:5, 36:10, 36:11, 43:1, 43:20, 48:2, 48:21, 49:4, 61:9, 74:5 areas [2] - 9:8, 23:8 assessment [3] -34:5, 70:14, 70:17 asset [1] - 21:18 association [7] -67:1, 69:10, 70:2, 70:5, 70:13, 71:12, 71:16 associations [1] -32:2 attachment [1] - 4:19 attended [2] - 51:21, attention [1] - 29:17 Attorney [1] - 2:4 attorney [1] - 5:8 attractive [4] - 26:4, 26:7, 53:17, 68:19 August [3] - 1:13, 73:14, 77:18 available [1] - 6:1 Avenue [3] - 1:12, 43:11, 45:1 average [8] - 15:4, 16:14, 17:16, 17:17, 17:18, 33:1, 33:5, 33:6 avoid [2] - 32:5, 67:12 **aware** [1] - 7:3 awesome [1] - 73:22 aye [5] - 75:7, 75:8, 75:9, 75:12, 75:13 Aye [2] - 75:10, 75:11

В

B-Bs [1] - 56:9 backed [1] - 42:12 backyards [1] -20:18 **bad** [9] - 37:21, 39:15, 39:16, 39:21, 40:3, 40:4, 47:17 **balas** [2] - 48:10, 48:14 **BALAS** [2] - 2:6, 20:12 Balas [1] - 7:17 BARENBERG [6] -41:19, 42:1, 42:7, 42:18, 45:10, 45:17 Barenberg [2] - 42:1, 42:18 barrier [4] - 26:6, 63:13, 63:15 Barrington [2] -58:15, 72:13 Barton [5] - 28:18, 64:22, 65:1, 65:3, 66:14 base [1] - 29:6 based [7] - 18:11, 22:12, 25:10, 61:14, 61:17, 61:20, 61:21 baseline [1] - 44:4 basement [15] -14:3, 15:20, 15:21, 23:7, 23:9, 23:16, 23:19, 23:20, 24:3, 24:4, 24:7, 24:8, 24:10, 69:20 basements [6] -11:9, 14:4, 19:17, 19:21, 20:1, 23:13 basic [1] - 8:10 basin [3] - 21:12, 60:11, 60:21 **bath** [4] - 11:13, 24:4, 24:10, 24:11 **BB** [1] - 57:9 beautiful [2] - 46:19, 68:11 beautifully [1] -26:11 becomes [2] - 6:1, 15:10 bedroom [4] - 11:15, 24:4, 24:12, 69:19 bedrooms [2] -11:13, 35:19

48:21, 62:19 BELLETETE [5] -36:1, 38:6, 38:17, 39:19, 40:19 **Belletete** [1] - 36:2 belongs [3] - 69:5, 71:12, 71:14 benefits [1] - 5:14 berm [4] - 49:4, 49:11, 63:7, 63:11 berms [3] - 62:18, 63:3, 63:16 best [2] - 56:8, 66:12 bet [1] - 40:1 better [6] - 23:4, 31:2, 31:8, 49:14, between [5] - 57:8, 57:10, 64:9, 66:18,

68:17

71:15

BEFORE [1] - 1:3

behind [3] - 27:13,

beyond [1] - 20:21 BHAT [4] - 33:19, 34:20, 35:13, 35:20 Bhat [1] - 33:19 big [5] - 34:9, 45:5, 47:19, 52:10, 64:19 bigger [1] - 57:22 biggest [1] - 3:12 bike [1] - 41:7 bit [4] - 9:18, 39:13, 46:15, 62:16 black [2] - 27:9, 67:6 block [1] - 27:13 blocked [1] - 65:10 **blocks** [1] - 27:9 Bloom [1] - 44:16 blue [1] - 21:14 BMP [1] - 60:15 board [7] - 2:22, 6:17, 11:3, 51:1, 51:8, 51:13, 69:11 **BOARD** [1] - 1:15 **bolt** [1] - 67:10 **BONO** [2] - 77:3, 77:20 **book** [3] - 9:14, 12:17, 13:14 **Brad** [1] - 44:16 BRASELTON [6] -1:17, 51:4, 54:20, 56:21, 67:18, 75:12 break [1] - 29:8 Brett [2] - 7:19, 60:2 **BRETT** [1] - 2:8 brick [2] - 67:4, 67:5 **bricks** [1] - 29:3 bridge [12] - 42:11, 42:19, 42:20, 43:4, 43:14, 43:19, 43:21, 44:2, 44:6, 44:13, 45:7, 45:9 bring [3] - 8:2, 26:20, 74:22 **bringing** [1] - 53:22 Brook [1] - 71:20

Brookfield [1] brought [1] - 16:3 **Bs** [1] - 56:9 **BSB** [2] - 7:21, 7:22 **BUCHELERES** [4] -50:13, 50:14, 50:21, Bucheleres [1] **budget** [1] - 70:2 **build** [11] - 14:14, 53:10, 53:20, 54:1,

43:10

51:6

50:13

54:4, 58:11, 58:13,

58:22, 59:8, 59:11,

59:12 builders [1] - 59:11 building [27] - 8:19, 14:9, 14:12, 15:1, 15:18, 15:19, 17:4, 17:19, 18:9, 19:8, 19:10, 19:18, 24:17, 25:2, 25:4, 25:5, 26:15, 30:16, 55:2, 56:2, 58:4, 58:18, 58:19, 58:20, 59:19, 70:5 **buildings** [8] - 8:13, 8:16, 11:5, 30:14, 30:21, 56:10, 70:7, 72:17 built [11] - 11:19, 11:21, 16:20, 16:22, 23:1, 25:10, 35:9, 54:2, 54:8, 66:10, 72:18 **builts** [2] - 61:13, 62:1 **Burr** [1] - 46:5 business [3] - 7:11, 31:22, 32:6 **buy** [1] - 72:5 buyers [1] - 58:13

C

C.S.R [1] - 77:20 calculate [1] - 18:10 calculated [1] -22:21 calming [1] - 44:10 **campus** [1] - 28:8 cannot [1] - 56:18 car [2] - 43:7, 57:3 care [6] - 48:22, 49:7, 50:6, 67:4, 67:5, 70:12 careful [1] - 39:5 Carolyn [1] - 42:1 cars [2] - 37:6, 37:17 case [8] - 2:13, 16:18, 16:21, 17:1, 22:1, 23:1, 55:9, 64:10 Case [1] - 1:7 cases [1] - 31:9 Cashman [1] - 22:22 CASHMAN [60] -1:16, 2:13, 6:22, 10:12, 10:17, 16:15, 17:6, 30:15, 33:14, 34:8, 34:22, 35:22, 38:3, 38:7, 39:17, 40:15, 41:11, 41:18,

41:22, 42:5, 42:14, 42:17, 44:1, 44:18, 45:22, 50:10, 50:17, 54:13, 54:22, 55:16, 55:19, 56:5, 57:8, 57:12, 58:10, 59:2, 59:14, 60:12, 60:22, 61:2, 62:5, 63:4, 63:12, 63:19, 64:7, 65:7, 66:17, 67:13, 67:15, 67:17, 67:19, 68:6, 68:12, 69:8, 72:6, 73:11, 74:13, 75:6, 75:9, 75:18 catch [1] - 63:1 cattails [1] - 64:1 cellar [1] - 23:15 cellars [1] - 23:13 Central [1] - 36:6 certain [2] - 40:9, 54:9 **Certified** [1] - 77:3 certify [1] - 77:6 chairman [3] - 7:12, 8:3, 8:8 CHAIRMAN [59] -2:13, 6:22, 10:12, 10:17, 16:15, 17:6, 30:15, 33:14, 34:8, 34:22, 35:22, 38:3, 38:7, 39:17, 40:15, 41:11, 41:18, 41:22, 42:5, 42:14, 42:17, 44:1, 44:18, 45:22, 50:10, 50:17, 54:13, 54:22, 55:16, 55:19, 56:5. 57:8. 57:12. 58:10, 59:2, 59:14, 60:12, 60:22, 61:2, 62:5, 63:4, 63:12, 63:19, 64:7, 65:7, 66:17, 67:13, 67:15, 67:17, 67:19, 68:6, 68:12, 69:8, 72:6, 73:11, 74:13, 75:6, 75:9, 75:18 Chairman [4] - 1:16, 22:21, 46:3, 75:15 **Chan** [2] - 16:17, 35:4 **CHAN** [1] - 2:2 Chan's [1] - 6:8 chance [1] - 21:7 change [6] - 13:2, 14:6, 15:22, 24:6, 45:20, 60:15 changed [2] - 8:22, 9:11 changes [6] - 8:20,

14:22, 16:3, 17:11,

31:13, 45:8	1:11	10:3, 12:13, 16:6	cry [1] - 68:17	demand [4] - 54:8,
character [2] - 24:7,	commissioners [5] -	conjunction [1] -	cul [2] - 18:1, 46:9	55:4, 55:7, 56:16
56:3	6:10, 7:2, 7:9, 54:17,	30:20	cul-de-sac [2] - 18:1,	Dennis [1] - 10:15
chat [2] - 74:6, 74:8	74:18	conservation [1] -	46:9	density [1] - 3:14
Chicago [2] - 1:12,	Commissioners [1] -	74:5	curb [1] - 19:2	department [10] -
45:1	7:13	consider [1] - 30:22	curbs [1] - 18:18	5:9, 28:6, 30:20, 48:9,
chief [1] - 7:17	commitment [1] -	considerate [1] -	curious [1] - 38:8	64:19, 65:18, 65:22,
children [3] - 51:20,	7:11	47:9	current [4] - 4:1,	66:3, 66:12, 67:10
51:21, 52:9	commodity [1] - 54:1	consideration [4] -	37:21, 57:21, 60:5	Design [2] - 7:21,
choose [2] - 15:17,	common [2] - 69:17,	24:14, 38:2, 39:10,	cut [1] - 67:10	7:22
57:16	70:4	41:10	cutters [1] - 67:11	design [5] - 5:11,
church [1] - 52:6	communities [1] -	considerations [1] -	cutting [2] - 37:6,	48:15, 49:3, 60:8,
circumvent [1] - 43:2	52:17	20:15	43:11	62:15
citizens [2] - 28:21,	Community [1] - 2:3	considered [2] -	10.11	designs [1] - 72:9
50:10	community [13] -	44:3, 52:18	D	desperately [1] -
city [1] - 71:8	6:11, 18:18, 33:15,	constructed [1] -	U	52:4
civil [1] - 4:12	34:4, 34:15, 37:10,	62:11		detail [6] - 2:15, 3:7,
clarification [1] -	46:21, 52:2, 52:5,	construction [3] -	daily [4] - 33:1, 33:5,	3:10, 5:20, 17:4,
64:8	53:1, 53:10, 54:4,	31:10, 42:10, 44:20	33:6, 33:7	74:17
cleaned [1] - 60:20	54:13	consultants [1] -	damaging [1] - 74:8	detailed [5] - 3:6,
	Companies [1] -	33:12	date [3] - 8:2, 32:13,	4:12, 4:13, 9:19, 17:9
clear [4] - 13:5,	7:18	contact [1] - 35:4	75:16	details [5] - 5:11,
48:21, 67:2, 69:16	company [2] - 48:15,	continue [2] - 74:15,	dated [1] - 73:13	16:5, 28:15, 41:15,
clearance [1] - 37:15	58:14	75:2	Dave [1] - 42:18	68:9
close [3] - 17:11,	Company [5] - 2:7,	continued [1] - 75:21	days [1] - 48:13	detention [5] - 21:12.
17:12, 52:7	2:20, 47:2, 49:16,	contours [1] - 23:11	de [2] - 18:1, 46:9	59:18, 60:11, 61:19,
closed [2] - 15:9,	53:20	corner [11] - 13:20,	dead [2] - 30:3, 74:4	62:4
24:8	compared [1] - 22:10	13:21, 15:8, 21:20,	deal [1] - 47:13	determine [1] - 16:22
closely [2] - 20:20,	comparison [1] -	42:2, 42:6, 42:8, 46:8,	dealing [1] - 18:15	determined [1] -
25:16	61:14	46:13, 63:5	Debra [1] - 7:7	20:21
cloth [2] - 27:9, 67:7	complete [2] - 32:19,	correct [6] - 17:10,	DEBRA [1] - 1:17	develop [2] - 3:5,
club [1] - 52:7	77:14	20:12, 60:2, 60:19,	debra [2] - 54:19,	50:6
clubs [1] - 6:4	completed [1] -	69:22, 77:14	67:17	developed [4] - 4:22,
clump [1] - 26:17	42:15	cost [1] - 29:3	decision [3] - 5:3,	37:8, 37:10, 41:8
cluster [1] - 35:17	completion [1] - 30:4	County [23] - 2:14,	21:13, 52:3	developer [6] - 5:10,
code [13] - 18:11,	completion [1] - 30.4	8:16, 8:19, 20:17,	deck [5] - 13:20,	32:4, 53:9, 53:19,
19:1, 19:9, 19:19,	16:2, 19:12, 20:3,	28:11, 28:13, 37:4,	14:1, 15:7, 15:9,	54:1, 66:19
20:5, 21:21, 22:5,	74:17	38:10, 38:12, 38:14,	15:11	Development [1] -
22:7, 22:11, 23:13,	concept [8] - 3:13,	40:18, 42:2, 42:21,	decks [1] - 13:16	2:3
24:18, 30:16	4:1, 6:16, 8:9, 19:14,	43:5, 43:13, 43:14,	declaration [6] -	development [23] -
combined [1] - 25:5	25:3, 34:10, 60:13	44:5, 44:9, 44:22,	31:11, 31:12, 67:1,	2:16, 2:18, 3:6, 3:16,
comfortable [3] -	concepts [5] - 2:21,	45:6, 65:10, 77:5,	70:22, 71:6, 72:1	5:6, 5:12, 6:1, 11:14,
9:4, 9:6, 66:13	10:14, 11:1, 56:7,	77:21	decline [2] - 21:1,	19:4, 29:22, 33:3,
coming [12] - 12:7,	57:13	COUNTY [2] - 1:2,	23:18	34:12, 34:13, 36:14,
13:9, 19:21, 27:11,	concern [6] - 36:12,	77:2	decorates [1] - 46:20	46:8, 46:13, 50:16,
28:11, 32:12, 39:11,	38:21, 45:5, 45:10,	couple [3] - 4:7,	decorations [1] -	51:9, 51:17, 56:9,
40:20, 42:11, 43:7,	65:8, 69:12	54:21, 64:17	46:18	59:4, 66:9, 66:22
44:8, 45:11	concerned [2] -	course [2] - 27:12,	decrease [1] - 9:2	developments [3] -
commencement [1]	28:10, 49:13	49:8	deeper [1] - 18:3	49:19, 53:11, 53:14
- 77:6			defer [1] - 55:9	different [7] - 10:2,
comment [3] - 17:6,	concerns [2] - 33:17, 48:1	cover [1] - 4:19 coverage [7] - 7:4,	defines [1] - 23:13	10:13, 10:22, 11:17,
69:9, 72:7	concise [1] - 67:2	17:5, 24:18, 25:2,	definitely [1] - 71:10	12:13, 57:13, 70:11
comments [6] - 3:17,	concrete [1] - 59:20	25:5, 25:13, 60:9	definitions [1] -	difficult [1] - 38:11
5:7, 10:20, 46:2, 56:6,	condition [3] - 62:2,	covered [2] - 6:14,	18:11	difficulty [2] - 38:3,
75:1		71:21		43:3
COMMISSION [1] -	62:12, 69:1		delay [2] - 32:17,	dine [1] - 52:9
1:3	conditions [3] -	covering [1] - 8:3	72:20	
commission [6] -	16:21, 18:13, 62:2	Cowhey [1] - 61:14	delays [1] - 53:21	dining [2] - 12:6, 12:9
3:3, 5:3, 5:5, 35:3,	configuration [1] - 15:21	created [1] - 56:11	deliver [1] - 59:10	dire [1] - 39:1
50:22, 73:18	configurations (2) -	crisis [1] - 74:4	delivered [1] - 54:12	direction (4) - 45:8

12:20, 13:8, 13:10, 24:15, 25:3 **Director** [1] - 2:3 drove [1] - 66:2 exceptional [1] drywalled [1] - 58:6 19:8, 19:11, 19:13 53:19 far [10] - 18:1, 26:15, disaster [1] - 54:2 **elevations** [6] - 3:8, 26:16, 27:7, 28:19, discuss [1] - 72:3 **DU** [2] - 1:2, 77:2 exchanged [1] -10:4, 11:6, 12:16, 49:13, 55:1, 55:2, discussed [1] due [5] - 18:12, 48:12 19:16, 19:22, 23:10, 35:8, 55:2 existed [1] - 46:1 64:19, 68:17 discussion [2] - 8:5, 49:8 **Elm** [1] - 36:6 existing [15] - 8:14, fast [2] - 28:12, 50:2 34:9 duet [3] - 57:2, 59:3, elm [1] - 47:18 9:21, 18:22, 19:1, faster [1] - 31:2 discussions [2] -59:4 eloquently [1] - 8:8 19:16, 23:10, 25:7, faux [2] - 25:21, 27:5 4:5, 28:4 duets [1] - 72:9 elsewhere [2] - 26:4, 27:5, 35:16, 59:18, favor [1] - 50:16 **DUFFY** [10] - 2:8, 29:21 61:17, 61:19, 61:22, February [2] - 41:22, district [1] - 6:3 60:2, 60:19, 61:1, email [1] - 6:16 62:12, 64:2 document [1] - 17:9 42:15 61:7, 61:18, 62:9, emailed [1] - 10:21 exit [1] - 37:2 feedback [1] - 10:14 documented [1] expanded [1] - 28:9 emails [2] - 48:12, feet [30] - 13:11, 63:7, 63:14, 71:5 **Duffy** [2] - 7:19, 60:2 49:10 **expedite** [1] - 50:2 13:14, 15:4, 16:8, documents [1] duly [1] - 77:8 emergency [8] expensive [2] -16:9, 17:19, 19:9, 34:17 26:12, 68:10 19:10, 19:20, 20:5, 28:10, 28:17, 29:7, dodging [3] - 40:11, **DuPage** [2] - 77:5, 77:21 60:6, 62:6, 64:18, experience [3] -20:6, 20:7, 21:4, 21:5, 40:16 21:21, 22:20, 23:9, duplex [25] - 3:18, 65:13, 65:14 47:1, 55:3, 57:14 dogs [1] - 50:4 25:12, 26:7, 36:10, 4:8, 8:11, 8:13, 8:16, empty [2] - 33:21, expert [1] - 60:1 **DONAHUE** [2] - 46:3, 8:22, 9:1, 9:5, 9:9, 52:2 **explained** [1] - 71:22 57:6, 57:11, 61:8, 14:8, 14:20, 16:9, empty-nester [1] explore [1] - 44:10 61:9, 62:18, 67:20, **Donahue** [1] - 46:4 68:1, 68:4, 68:9 17:18, 19:18, 22:2, 33:21 donation [1] - 60:17 express [1] - 51:15 fell [2] - 47:19, 47:21 22:7, 22:19, 24:22, empty-nesters [1] done [14] - 6:20, extend [1] - 26:14 fence [14] - 21:10, 25:1, 25:11, 56:2, 52:2 12:21, 14:18, 25:16, extensive [2] -70:3, 70:4, 70:15, 25:22, 27:5, 27:6, 31:3, 32:11, 32:17, encourage [3] -72:11, 73:4 27:14, 27:17, 28:16, 70:17 41:20, 42:13, 43:19, 37:11, 73:5, 74:18 extent [1] - 72:15 duplexes [1] - 25:14 48:5, 67:7, 67:21, 44:13, 50:21, 65:14, end [8] - 5:15, 18:1, exterior [1] - 70:6 68:10, 68:18, 68:21, during [4] - 19:14, 21:12, 28:20, 32:1, 68:11 **extremely** [1] - 47:14 69:2 36:15, 37:1, 47:18 door [2] - 12:13, 33:11, 39:9, 46:9 eyesore [1] - 53:18 fences [4] - 25:17, 56:16 **Dutch** [1] - 47:18 ended [1] - 8:12 26:10, 68:16, 69:3 dwellings [1] - 53:17 **Engineer** [1] - 2:8 doors [4] - 12:14, F few [2] - 50:22 12:15, 23:21, 56:13 engineer [2] - 7:19, FIASCONE [4] double [1] - 12:15 Е face [1] - 68:15 1:18, 64:8, 64:13, engineering [7] down [19] - 6:21, 9:5, faced [1] - 52:3 75:7 3:7, 9:13, 9:16, 16:4, 14:1, 15:12, 16:11, early [1] - 58:1 facility [1] - 66:11 fiduciary [1] - 31:20 21:1, 21:12, 24:11, 18:10, 20:14, 20:20 easement [1] - 4:15 facing [1] - 5:19 field [3] - 5:17, 6:2, English [1] - 23:18 24:12, 26:19, 29:5, easiest [1] - 51:11 fact [8] - 11:16, 14:5, 38:16, 42:12, 43:13, enhancements [2] -East [1] - 1:12 24:15, 31:13, 31:14, fields [1] - 5:15 44:9, 49:3, 64:22, 60:20, 61:21 east [5] - 20:18, 42:22, 55:12, 65:8 figure [1] - 41:3 71:7, 74:8 entire [4] - 11:14, 40:20, 45:1, 61:4, factory [1] - 31:3 figures [1] - 22:9 **downhill** [1] - 5:18 27:14, 35:2, 41:14 66:8 facts [1] - 36:7 **final** [11] - 5:3, 5:5, downtown [5] - 43:1, entitled [1] - 1:10 eastern [1] - 28:20 fall [1] - 74:8 5:11, 9:12, 9:13, 9:15, 43:2, 44:20, 45:2, entrance [1] - 73:9 Ed [1] - 53:7 falling [1] - 23:21 9:17, 16:3, 18:9, 52:17 **entrances** [1] - 34:16 **EDWARD** [1] - 2:5 familiar [1] - 72:13 18:13, 62:2 drainage [3] - 20:17, epitome [1] - 46:15 Edward [8] - 2:6, families [7] - 9:11, finally [3] - 3:20, 20:19, 61:11 equal [2] - 22:19, 7:15, 7:18, 47:2, 12:7, 25:13, 52:21, 32:18, 54:12 dramatic [1] - 12:20 62:13 48:11, 49:16, 53:20, 52:22, 54:9, 70:15 financial [1] - 7:18 drawings [6] - 4:13, error [1] - 31:5 54:3 family [27] - 8:13, fine [2] - 27:18, 72:4 10:22, 72:7, 72:16, **escalade** [1] - 46:20 eight [4] - 67:20, 8:14, 8:16, 8:18, 8:21, finer [1] - 46:17 73:2 escape [1] - 23:17 68:1, 68:4, 68:9 9:2, 9:10, 16:8, 17:17, fire [12] - 28:5, 28:10, drive [5] - 26:8, especially [2] either [2] - 29:8, 17:21, 21:22, 22:5, 27:18, 29:5, 55:19, 30:20, 31:6, 31:10, 68:15, 73:21 63:17 22:19, 24:19, 25:7, 68:13 64:19, 65:18, 65:22, evaluate [1] - 3:1 electrical [1] - 4:16 25:9, 26:15, 33:3, driven [2] - 65:18, 66:3, 66:10, 66:12, evening [2] - 7:16, **electronic** [1] - 29:9 35:15, 51:16, 52:11, 66:3 67:10 elevated [2] - 61:8, 53:6, 55:21, 58:22, first [9] - 11:15, 12:1, driveway [5] - 14:16, event [1] - 66:14 61:12 70:3, 70:12, 72:10 12:12, 22:1, 33:15, 43:8, 47:6, 56:22, exactly [1] - 16:19 elevation [13] fantastic [1] - 58:8 35:18, 36:10, 47:22, 57:1 examination [1] -11:11, 11:12, 12:1, **FAR** [7] - 17:4, 22:18, driveways [2] - 57:9, 77:7

excellent [1] - 44:1

12:10, 12:12, 12:19,

57:10

fit [3] - 13:6, 53:18,

22:21, 23:3, 24:6,

	T	1		
60:10	G	н	1:12, 2:14, 7:16, 25:6,	12:22, 23:5, 23:6,
fits [1] - 52:16	G	П	27:15, 31:11, 32:22,	25:4, 42:4, 42:9,
five [2] - 11:4, 62:18			33:20, 36:5, 36:6,	45:14, 47:22, 52:9,
fixed [1] - 18:19	gap [2] - 41:14	half [4] - 11:13,	43:9, 45:19, 48:5,	63:7
floor [12] - 11:4,	garage [8] - 12:2,	24:11, 46:10, 59:5	50:1, 50:2, 51:16,	houses [1] - 55:5
11:6, 11:12, 11:15,	12:13, 14:10, 14:11,	half-bath [1] - 24:11	51:17, 51:18, 51:20,	housing [3] - 51:17,
12:3, 12:16, 12:21,	55:6, 55:12, 56:15,	halfway [1] - 7:6	51:22, 52:8, 52:19,	52:15, 54:11
13:1, 14:20, 22:18,	57:5	hall [1] - 53:4	52:20, 53:2, 53:15,	huge [1] - 73:22
35:18	garages [6] - 12:15,	hand [5] - 13:19,	54:11	human [1] - 31:5
floors [1] - 30:13	14:9, 14:13, 55:3,	13:21, 15:7, 15:8,	hit [4] - 37:15, 40:8,	hundreds [1] - 9:6
Florida [1] - 56:15	55:22, 57:2	77:17	47:22, 50:5	hurt [1] - 39:2
flow [4] - 20:16,	Gardens [3] - 53:12,	handle [2] - 14:6,	hits [1] - 71:14	husband [1] - 34:6
21:11, 61:9	55:13, 72:14	56:18	hitting [1] - 47:20	
focus [2] - 3:9, 69:16	gate [11] - 28:2,	happy [5] - 9:7,	HOA [2] - 69:5, 71:9	ı
focusing [1] - 3:10	28:16, 28:19, 29:8,	29:12, 50:7, 51:2,	HOA's [1] - 69:4	
folks [2] - 37:22,	31:14, 31:15, 64:9,	56:6	hodgepodge [1] -	
49:3	64:10, 65:17, 65:22,	hard [1] - 57:4	70:11	idea [4] - 43:17,
foot [1] - 60:7	67:11	Haven [2] - 11:10,	hold [1] - 71:17	60:15, 65:5, 68:13
footage [1] - 23:8	gated [3] - 34:4,	58:5	holiday [1] - 46:19	ideally [1] - 66:15
footprint [3] - 28:9,	34:14, 34:15	head [1] - 44:21	home [21] - 11:14,	identifying [1] -
60:10, 61:22	gates [1] - 34:15	heading [3] - 37:5,	11:16, 11:22, 12:17,	17:14
forced [1] - 38:15	general [1] - 3:13	39:11, 44:8	13:4, 13:5, 14:2, 23:1,	ILLINOIS [2] - 1:1,
1	generated [1] - 33:4	headlights [1] -	23:8, 26:16, 33:21,	77:1
foregoing [1] - 77:13 forestry [1] - 48:9	generation [1] -	27:10	35:16, 39:11, 52:10,	Illinois [5] - 1:12,
- · · ·	52:11	hear [3] - 33:17,	52:12, 53:6, 55:11,	53:12, 53:13, 60:4,
form [1] - 77:13	GERALD [1] - 1:19	50:19, 75:2	58:5, 63:9, 70:12	77:5
formal [1] - 12:6	given [2] - 16:13,	heard [3] - 13:5,	homeowner [1] -	imagine [1] - 57:16
formed [1] - 58:15	77:10	49:18, 51:4	71:15	immediately [3] -
forth [4] - 14:22,	glass [1] - 37:9	Hearing [1] - 75:21	homeowner 's [6] -	48:4, 49:5, 49:7
26:11, 43:3, 67:7	Glen [1] - 53:11	hearing [2] - 1:10,	31:12, 32:2, 67:1,	impact [1] - 25:19
fortunate [2] - 53:8,	Glenview [2] - 26:3,	54:17	69:9, 70:2, 71:12	impacted [1] - 23:7
54:3	53:12	heaven [1] - 56:16	homeowners [6] -	impervious [1] - 60:9
forward [3] - 7:13,	Google [1] - 45:19	heavy [1] - 29:6	21:8, 31:8, 31:17,	important [2] - 37:3,
8:5, 50:7	grade [7] - 14:6,	height [5] - 18:11,	31:21, 32:8, 70:15	50:20
foundation [1] - 13:6	18:13, 18:21, 18:22,	18:14, 19:13, 62:11,	homes [34] - 8:11,	impossible [1] - 42:3
founded [1] - 58:15	19:1, 51:21, 60:8	67:21	8:13, 8:14, 8:18, 8:21,	impression [1] -
four [6] - 3:2, 3:10,	graded [1] - 18:17	heights [1] - 18:9	9:1, 9:5, 10:2, 10:3,	65:19
6:13, 51:19, 57:18,	grades [1] - 23:11	help [3] - 37:14,	11:17, 11:19, 12:11,	improvement [3] -
58:21	grading [3] - 9:16,	37:16, 65:16	13:16, 20:19, 21:3,	5:12, 65:20, 66:1
four-unit [1] - 58:21	18:13, 62:18	helped [1] - 47:13	33:4, 35:8, 35:14,	improvements [1] -
Fox [3] - 55:14, 56:4,	grandkids [1] - 63:1	helpful [5] - 39:7,	35:16, 35:18, 53:16,	10:1
72:13	grass [6] - 29:3,	44:19, 45:2, 47:15,	54:1, 55:21, 56:2,	IN [1] - 77:16
fox [1] - 55:18	29:4, 29:5, 57:10,	51:2	57:22, 58:8, 58:16,	in-laws [1] - 56:15
friends [3] - 32:15,	61:9	helping [1] - 44:21	59:9, 63:17, 70:3,	Inc [1] - 7:19
46:11, 52:5	gratified [1] - 73:18	hereby [1] - 77:5	70:4, 70:17	inches [6] - 17:18,
front [15] - 14:8,	gravitating [1] - 12:5	herein [1] - 77:8	hope [2] - 19:6, 74:1	17:19, 18:14, 22:5,
14:10, 14:13, 14:19,	great [6] - 6:21, 8:3,	hereto [1] - 77:10	hopefully [4] - 29:18,	59:21, 61:8
17:20, 18:6, 20:2,	26:22, 40:12, 46:19,	hereunto [1] - 77:17	64:12, 74:15, 74:19	incline [1] - 21:1
20:4, 27:12, 37:11,	47:13	Hibbard [3] - 53:12,	hospital [19] - 27:3,	include [3] - 24:4,
57:2, 59:12, 71:6,	greatly [1] - 37:22	55:13, 72:14	27:7, 27:15, 27:22,	31:13, 70:17
72:2, 73:8	grocery [1] - 45:15	Higgins [1] - 60:3	28:8, 29:2, 29:11,	includes [5] - 25:3,
front-load [1] - 57:2	group [1] - 37:3	high [5] - 26:7,	31:16, 31:18, 32:7,	36:17, 36:19, 70:18,
front-loaded [2] -	growing [1] - 36:20	51:22, 62:18, 63:2,	32:9, 37:12, 38:22,	70:22
14:10, 14:13	grows [1] - 6:1	68:16	39:4, 64:10, 64:17,	including [2] - 8:14,
full [2] - 24:4, 24:10	guess [3] - 58:10,	highest [1] - 53:16	65:6, 65:9, 66:15	25:7
fully [2] - 30:21,			hour [3] - 1:13,	incorporate [1] -
71:22	59:13, 68:22	highlights [1] - 32:21	39:18, 40:4	10:9
function [1] - 14:4	guy [1] - 48:20	himself [1] - 48:14	hours [3] - 37:1,	increase [8] - 9:1,
functionality [1] -	guys [3] - 61:15,	HINSDALE [2] - 1:3,	40:10, 48:10	19:10, 19:20, 22:20,
56:17	61:16, 74:6	1:6	house [11] - 11:11,	23:3, 23:6, 24:19,
funeral [1] - 39:3		Hinsdale [27] - 1:11,		
1	1			i

24:22 13:13, 15:18, 17:3, 6:4 life [1] - 36:5 looking [15] - 2:20, increased [1] - 8:9 17:16, 20:13, 31:1, **Lake** [2] - 58:15, light [5] - 37:7, 4:9, 20:20, 32:3, 34:18, 35:5, 35:15, incredibly [1] - 54:10 72:12 37:18, 40:12, 40:16, 33:20, 38:8, 42:22, 35:21, 41:12, 41:21, 40:22 49:11, 50:7, 53:1, **individual** [1] - 23:2 **Land** [1] - 2:10 42:16, 50:9, 55:9, individuals [1] land [3] - 7:20, **lightening** [1] - 74:12 57:13, 57:18, 57:21, 55:18, 56:1, 56:20, 62:17, 72:12 48:15 23:11, 23:20 lights [1] - 68:3 looks [2] - 27:18, 57:5, 57:11, 58:1, information [5] - 6:7, landscape [7] - 4:13, likely [1] - 17:1 58:14, 59:7, 59:22, 19:13, 35:1, 35:3, 7:21, 9:17, 26:5, 72:7, likewise [1] - 64:22 61:15 63:22, 64:12, 64:15, 35:7 72:15, 73:2 limited [1] - 62:21 loud [1] - 13:5 65:12, 66:21, 67:12, infrastructure [1] landscaped [1] love [3] - 36:10, **Line** [21] - 1:6, 2:14, 67:22, 68:4, 68:8, 9:21 72:18 52:12, 55:14 8:17, 8:19, 28:11, 68:17, 68:22, 69:5, inordinately [1] landscapers [1] lovely [1] - 27:17 28:14, 37:4, 38:10, 69:21, 71:3, 71:11, 47:12 lover [1] - 36:11 36:16 38:13, 38:14, 40:18, 71:21, 73:5, 73:12, input [2] - 6:15, 10:6 landscaping [10] -42:2, 42:21, 43:5, low [1] - 9:5 75:14 inside [3] - 14:22, 3:7, 9:21, 21:16, 43:13, 43:14, 44:5, lower [7] - 13:22, James [14] - 2:6, 73:9, 74:5 27:12, 27:19, 63:9, 44:9, 44:22, 45:6, 14:7, 15:11, 15:14, 2:20, 7:15, 7:18, 47:2, install [1] - 21:9 72:11, 72:16, 72:21, 65:10 23:8, 23:9, 62:12 48:11, 48:13, 49:1, installed [4] - 18:19, 73:21 line [9] - 17:21, lowered [1] - 19:3 49:4, 49:16, 53:7, lane [2] - 45:8, 66:11 42:19, 63:8, 65:22 20:18, 27:4, 46:7, lucky [1] - 53:19 53:20, 54:3, 66:4 Lane [13] - 28:18, 71:7, 71:11, 71:14, Lyons [1] - 43:10 instead [2] - 21:4, **January** [1] - 3:16 23:5 36:3, 36:12, 36:15, 71:15, 71:16 Jerry [4] - 7:7, 53:7, 37:16, 37:22, 38:4, Line/55th [1] - 20:17 instructive [1] - 51:2 M 67:13, 73:15 39:12, 46:5, 64:22, lines [3] - 71:8, insurance [1] - 70:18 jig [1] - 31:4 65:1, 65:3, 66:14 71:10, 71:20 insure [1] - 70:6 ma'am [1] - 35:22 **Jim** [2] - 10:16, 67:19 lanes [1] - 39:6 lineup [1] - 57:16 intended [1] - 63:16 magnificent [1] -JIM [1] - 1:22 large [4] - 10:7, intent [1] - 62:15 list [1] - 34:21 73:10 job [5] - 6:21, 8:3, 26:17, 48:4, 62:18 listen [1] - 29:18 **intention** [1] - 44:6 main [6] - 57:19, 12:21, 73:20, 73:22 larger [1] - 12:11 live [6] - 36:3, 37:22, interested [1] - 36:8 71:6, 71:10, 71:11, JOE [1] - 2:9 largest [5] - 23:1, 42:2, 52:4, 53:13, interesting [4] -71:16, 71:20 Joe [1] - 7:21 23:5, 25:3, 25:4, 46:7 55:13 5:17, 45:18, 72:8, maintain [1] - 61:11 **John** [1] - 50:13 last [6] - 7:5, 8:4, lived [2] - 36:3, 36:4 72:22 maintained [1] - 71:7 Julie [1] - 7:9 17:12, 34:16, 47:1, lives [1] - 52:2 interior [4] - 14:21, **maintains** [1] - 67:2 jumped [1] - 7:6 69:1 living [3] - 12:4, 21:4, 22:4, 70:19 maintenance [4] -June [1] - 47:16 laterals [1] - 71:2 33:9, 38:10 interpret [1] - 23:15 31:16, 32:10, 67:3, Laurie [8] - 36:3, **LLC** [1] - 2:15 intersection [2] -69:6 K 36:12, 36:15, 37:16, load [4] - 12:2, 36:21, 38:14 majority [1] - 52:1 37:22, 38:4, 39:12, 12:19, 44:5, 57:2 introduced [1] - 13:3 makeup [1] - 33:8 46:5 loaded [7] - 14:9, inventory [2] - 59:8, KATHLEEN [2] management [1] lawn [1] - 36:18 14:10, 14:11, 14:13, 59:9 77:3, 77:20 32:1 laws [1] - 56:15 14:19, 42:21, 55:12 investigated [1] - 4:4 **keep** [3] - 40:11, mandated [1] - 65:21 least [3] - 3:4, 43:3, loading [4] - 43:20, investment [1] -42:10, 68:3 maps [1] - 45:19 43:13 55:2, 55:4, 55:6 73:22 keeping [1] - 6:2 March [1] - 51:10 leave [6] - 27:6, 30:1, local [3] - 30:18, involved [4] - 5:16, key [1] - 29:9 marginal [1] - 66:12 30:7, 52:18, 57:3, 16:5, 31:5, 74:20 48:6, 48:8 kids [1] - 5:16 mark [2] - 7:6, 54:22 60:17 locate [1] - 66:7 iron [1] - 27:5 kind [7] - 4:9, 10:18, MARK [1] - 1:21 **left** [11] - 3:15, 13:19, located [1] - 46:6 issue [7] - 4:6, 4:14, 39:15, 57:16, 58:11, marked [1] - 11:20 13:22, 14:11, 15:2, location [4] - 8:11, 18:14, 28:9, 30:12, 63:20, 66:9 market [2] - 16:22, 15:7, 15:11, 26:15, 8:17, 21:10, 26:9 30:16, 74:2 kinds [1] - 43:6 27:4, 36:14, 38:12 57:21 longevity [1] - 68:20 issues [1] - 47:3 **KLM** [2] - 5:11, 5:15 left-hand [2] - 13:19, marketing [2] - 35:6, look [22] - 2:21, 4:5, item [1] - 5:2 **knowing** [1] - 66:13 35:9 15:7 7:13, 8:5, 13:18, items [1] - 5:4 knows [1] - 27:22 MARRS [2] - 2:4, legal [1] - 66:18 24:15, 37:7, 41:9, Kraft [1] - 55:17 75:15 less [2] - 8:19, 17:2 41:12, 44:18, 52:14, J KRILLENBERGER Mary [1] - 51:19 **letter** [3] - 4:19, 51:7, 56:9, 61:18, 63:20, [4] - 1:22, 67:20, 68:2, master [2] - 11:15, 51:12 68:14, 70:10, 72:1, 75:13 JABLONSKI [5] -35:18 level [6] - 6:2, 6:17, 72:8, 72:9, 72:15, 1:19, 13:11, 15:16, material [2] - 7:5, 21:7, 23:9, 60:13, 72:18, 73:7 L 67:14, 75:10 26:10 72:11 looked [7] - 10:13, **JAMES** [47] - 2:5, leveling [1] - 5:14 materials [1] - 11:3 10:20, 25:16, 48:3, 6:20, 7:12, 11:2, Matter [1] - 1:4 lieu [1] - 60:14 55:5, 56:7, 73:1 lacrosse [2] - 5:16,

matter [6] - 1:11, 33:16, 41:15, 49:9, 50:11, 54:15 matters [1] - 77:9 mature [1] - 72:19 matured [2] - 30:8, 72:22 maximum [4] -22:10, 24:17, 25:2, 25:12 McGINNIS [7] - 2:3, 10:16, 17:10, 30:17, 44:15, 65:17, 67:9 **Meadow** [4] - 55:15, 55:18, 56:4, 72:14 MEADOWS [1] - 1:6 Meadows [11] - 2:14, 7:16, 25:6, 27:15, 31:11, 32:22, 48:6, 51:16, 52:20, 53:2, 53:15 mean [3] - 41:6, 59:8, 65:13 means [1] - 77:11 measure [1] - 18:22 measured [1] - 17:20 meet [1] - 62:14 meeting [5] - 5:5, 35:4, 54:7, 75:3, 75:17 meetings [6] - 3:2, 3:4, 3:11, 6:14, 51:1, Member [6] - 1:17, 1:18, 1:19, 1:20, 1:21, 1:22 members [3] - 6:11, 33:15, 54:14 **MEMBERS** [1] - 1:15 mention [1] - 8:12 met [2] - 8:4, 53:7 MICHAEL [2] - 2:4, Michael [2] - 7:17, microphone [1] -33:18 mid [2] - 9:5, 34:18 middle [2] - 36:6, 51:22 might [8] - 15:14, 24:16, 37:9, 41:2, 63:22, 70:1, 74:7, 74:9 Mike [3] - 11:2, 74:3, 74:11 million [1] - 66:6 mind [1] - 9:9 mine [1] - 49:8 minimally [2] -

17:21, 18:5, 19:8, 19:18, 20:5, 21:21, 22:5, 22:7, 22:11, 22:14 minimums [1] -16:10 minor [1] - 31:12 minutes [1] - 42:8 miss [2] - 40:22, 45:1 missing [1] - 74:18 misstate [1] - 71:3 mistaken [1] - 71:13 mitigate [1] - 74:7 mix [1] - 56:12 mode [1] - 58:12 model [2] - 58:5, 58:17 models [3] - 11:20, 57:14, 72:10 modifications [1] -10:22 modified [2] - 59:19, 62:14 modify [2] - 59:20, 62:16 moment [2] - 8:12, 19:15 money [1] - 60:17 month [5] - 7:5, 34:17, 58:7, 74:15, 74:22 monthly [1] - 34:5 months [2] - 6:15, 32:19 morning [3] - 39:18, 39:21, 39:22 most [4] - 6:15, 10:10, 12:4, 21:15 motion [1] - 75:2 move [3] - 21:3, 52:13, 53:1 moved [5] - 3:20, 14:22, 18:7, 52:6, 75:4 **MR** [105] - 1:16, 1:19, 1:20, 1:21, 1:22, 2:2, 2:3, 2:4, 2:5, 2:6, 2:8, 2:9, 2:10, 6:20, 7:12, 10:16, 11:2, 13:11, 13:13, 15:16, 15:18, 17:3, 17:10, 17:16, 20:12, 20:13, 30:17, 31:1, 34:18, 35:5,

35:15, 35:21, 41:12,

41:21, 42:16, 42:18,

44:15, 45:17, 46:3,

50:9, 50:13, 50:21,

51:6, 55:1, 55:9,

37:16, 40:10

minimum [11] - 16:7,

55:18, 56:1, 56:14, 56:20, 57:5, 57:11, 58:1, 58:14, 59:7, 59:22, 60:2, 60:19, 61:1, 61:7, 61:13, 61:18, 62:9, 62:17, 63:6, 63:7, 63:14, 63:16, 63:21, 63:22, 64:12, 64:15, 65:12, 65:17, 66:21, 67:9, 67:12, 67:14, 67:16, 67:20, 67:22, 68:2, 68:4, 68:8, 68:17, 68:20, 68:22, 69:3, 69:5, 69:21, 70:21, 71:3, 71:5, 71:11, 71:19, 71:21, 73:5, 73:12, 75:4, 75:5, 75:8, 75:10, 75:11, 75:13, 75:14, 75:15 **MS** [23] - 1:17, 1:18, 33:19, 34:20, 35:13, 35:20, 36:1, 38:6, 38:17, 39:19, 40:19, 41:19, 42:1, 42:7, 45:10, 51:4, 54:20, 56:21, 64:8, 64:13, 67:18, 75:7, 75:12 multifamily [2] -51:17, 53:17 multiunit [1] - 58:18

Ν

name [5] - 7:15, 33:18, 33:19, 36:1, 46:4 names [1] - 12:20 nannies [1] - 36:18 national [1] - 53:22 natural [2] - 20:17, 21:11 **near** [1] - 74:5 nearly [2] - 47:20, 47:22 necessary [1] -14:14 need [8] - 19:17, 44:16, 50:15, 52:12, 62:14, 65:2, 66:7, 74:14 needs [3] - 52:16, 54:7, 65:16 negative [1] - 55:11 neighbor [4] - 46:16, 46:17, 49:14, 49:21 neighbors [6] -28:21, 32:15, 46:15, 50:8, 55:13, 73:15

nester [1] - 33:21 nesters [1] - 52:2 never [5] - 43:22, 46:1, 55:21, 64:12, 66:16 new [15] - 7:2, 7:8, 9:9, 9:22, 16:8, 16:10, 18:14, 19:11, 30:3, 35:17, 50:8, 53:1, 58:4, 60:22, 70:9 New [2] - 11:10, 73:6 newspaper [1] - 7:3 next [12] - 5:4, 11:22, 12:10, 26:10, 28:2, 30:12, 38:5, 52:11, 54:6, 74:15, 75:2, 75:16 nice [3] - 13:14, 72:14. 72:19 **nobody** [1] - 43:9 none [1] - 54:17 normal [1] - 69:2 north [4] - 5:15, 61:5, 63:11, 73:13 Northbrook [1] -58:2 northeast [2] - 42:6, 42:7 Northfield [2] - 26:3, northwest [1] - 63:5 notarial [1] - 77:17 Notary [2] - 77:4, 77:21 note [2] - 45:18, 58:11 **notes** [1] - 77:15 nothing [2] - 52:16,

0

numbers [1] - 29:17

notice [3] - 12:3,

noticed [1] - 48:3

number [3] - 9:1, 9:2,

21:5, 70:21

Oak [2] - 36:6, 71:20 observation [1] -24:2 obsoleted [1] - 42:20 obviously [3] - 4:10, 57:3, 74:14 occasions [1] - 53:8 OF [5] - 1:1, 1:2, 1:9, 77:1, 77:2 offer [1] - 33:22 office [1] - 66:8

officer [1] - 7:18 offset [1] - 21:2 often [1] - 64:11 **Ogden** [2] - 43:11, old [6] - 9:10, 36:20, 38:19, 42:20, 55:17, 70:10 once [3] - 64:1, 71:13, 72:17 one [43] - 3:12, 4:18, 5:13, 6:2, 8:14, 8:18, 10:12, 11:20, 12:11, 13:7, 13:8, 15:1, 15:4, 15:22, 16:12, 16:18, 21:3, 29:10, 35:13, 35:16, 42:20, 45:8, 47:18, 48:14, 49:3, 53:14, 55:16, 56:22, 57:12, 57:19, 58:8, 58:21, 63:4, 69:8, 70:1, 70:5, 70:8, 71:20, 72:6, 73:15, 74:6 one-way [1] - 42:20 ones [4] - 56:13, 57:20, 71:19, 72:22 open [7] - 3:14, 4:18, 12:4, 12:9, 24:9, 44:14, 58:7 **operation** [3] - 29:9, 31:15 opinion [1] - 6:12 **opportunity** [5] - 5:8, 6:11, 24:5, 36:22, 49.1 option [8] - 13:17, 13:22, 14:7, 15:9, 15:15, 16:13, 23:2, 54:11 optional [3] - 14:1, 15:11, 15:13 **options** [6] - 13:1, 15:2, 25:4, 52:15, 57:17, 57:22 order [4] - 5:6, 59:1, 63:9, 72:17 ordinance [1] - 30:18 original [7] - 3:21, 53:5, 60:7, 62:1, 62:15, 65:20, 65:21 $\pmb{\text{originally}} \ \ [4] - 18:8,$ 56:6, 62:7, 62:9 outflow [2] - 60:5, outlet [1] - 59:19

outlined [1] - 71:22

overflow [1] - 60:6

20:19. 21:11

overland [3] - 20:16,

overview [1] - 9:8 own [4] - 49:19, 56:21, 70:16, 70:20 owner [3] - 15:16, 46:7, 70:12 ownership [1] - 71:1 Ρ **p.m** [2] - 1:13, 76:1 package [1] - 6:7 packet [3] - 3:22, 11:18, 35:2 pad [1] - 19:3 padlock [1] - 67:9 PAGE [2] - 1:2, 77:2 page [1] - 41:12 pallet [1] - 57:16 park [8] - 5:12, 6:3, 18:2, 62:17, 62:19, 62:22, 63:4, 63:18 parking [3] - 27:10, 28:17, 64:20 parks [3] - 5:9, 63:19, 63:20 parkway [4] - 29:21, 30:3, 30:4, 30:5 **Parsons** [1] - 10:15 part [9] - 3:12, 7:2, 10:10, 35:11, 50:1, 65:15, 69:3, 69:6, 74:1 particular [3] -16:12, 23:6, 26:9 partitions [1] - 14:21 parts [1] - 4:22 pass [1] - 2:17 passive [1] - 63:21 past [2] - 37:7, 50:16 patch [1] - 39:13 patio [2] - 20:22, 47:21 pattern [2] - 61:11, 66:10 patterns [1] - 45:20 paver [2] - 67:4, 67:5 pavers [1] - 29:4 pay [2] - 29:17, 49:7 payment [1] - 60:14 **PDFs** [1] - 10:18 peak [5] - 36:15, 37:1, 37:4, 39:16, 40:10 **penalized** [1] - 24:6 people [20] - 6:22, 7:1, 13:2, 15:13, 25:17, 33:9, 36:18, 37:8, 37:17, 40:2, 40:11, 40:16, 41:4,

42:22, 43:6, 43:8, 43:21, 45:6, 50:15, 50:19 per [2] - 33:2, 33:5 percent [6] - 24:18, 24:20, 24:22, 25:8, 25:13, 58:19 percentage [1] - 25:6 perfect [1] - 52:21 perimeter [1] - 27:14 period [1] - 6:13 permit [2] - 2:15, 3:14 Permit [1] - 1:7 permitted [1] - 26:13 person [1] - 24:7 personal [1] - 55:3 personally [2] -53:10, 55:5 perspective [2] -62:20, 62:21 pertaining [1] -77:10 PETERSON [4] -1:20, 67:16, 75:5, 75:11 **phase** [2] - 5:22, 35:9 picks [1] - 23:5 **picture** [1] - 27:16 pie [1] - 18:2 pie-shaped [1] - 18:2 place [5] - 30:1, 43:9, 56:15, 65:20, 74:5 placed [1] - 47:10 placement [2] -55:10, 56:10 places [1] - 37:12 **Plainfield** [1] - 38:16 plan [28] - 2:15, 3:2, 3:10, 4:2, 5:3, 5:4, 8:9, 9:16, 9:17, 11:12, 12:16, 12:21, 13:14, 13:19, 13:20, 14:13, 18:13, 19:14, 34:10, 35:3, 35:7, 50:22, 57:4, 58:3, 60:8, 60:13, 73:17 **PLAN** [1] - 1:3 Plan [2] - 1:11, 7:13 planned [4] - 2:16, 2:18, 62:8, 62:9 **planner** [1] - 7:20 Planner [2] - 2:2, **planning** [1] - 66:6 plans [11] - 3:8, 9:19, 11:5, 11:7, 12:3, 12:4, 14:20, 16:5, 18:10,

39:7, 56:7

plant [2] - 30:3, 31:3 planted [2] - 29:20, **plantings** [1] - 60:22 **plat** [2] - 9:13, 9:15 play [3] - 6:3, 62:22, 69:13 pleased [7] - 10:11, 58:9, 65:5, 65:15, 69:10, 73:2, 73:3 plenty [1] - 7:4 plus [2] - 20:14, 20:15 point [7] - 3:18, 4:6, 10:19, 23:12, 34:19, 43:12, 44:2 **pond** [4] - 21:13, 60:16, 60:17, 64:2 popular [2] - 57:15, 57:20 porch [6] - 13:17, 13:21, 15:9, 15:10, 23:3, 47:20 positive [1] - 10:10 possible [3] - 9:22, 22:22, 74:8 powder [2] - 24:11, 69:19 prefab [1] - 69:2 preliminary [1] preschool [1] - 51:21 PRESENT [2] - 1:15, 2:1 presentation [2] -8:1, 33:11 preservation [1] -29:15 president [3] - 7:17, 51:8, 51:13 presumptuous [1] pretty [6] - 14:17, 15:3, 16:15, 20:22, 29:1, 65:17 previous [10] - 7:7, 16:7, 16:9, 18:17, 19:4, 20:6, 39:7, 39:10, 74:20, 77:6 previously [7] - 6:14, 13:7, 18:17, 22:13, 29:22, 33:3, 34:9 price [2] - 3:18, 4:6 prices [1] - 9:5 **primarily** [1] - 23:10 Prisby [1] - 10:16 **pro** [2] - 30:19, 30:22 problem [7] - 19:7, 24:3, 28:1, 41:2, 41:3,

48:16, 49:12

43:5. 43:12 PROCEEDINGS [1] process [7] - 2:19, 6:9, 7:1, 7:7, 7:8, 19:15, 65:15 product [2] - 25:20, 36:5 professionals [1] -8:6 progressing [1] -74:1 prohibits [1] - 30:18 **Project** [1] - 2:8 project [11] - 5:22, 7:20, 52:20, 53:2, 53:6, 53:15, 54:6, 54:7, 54:10, 58:2, projected [2] - 33:1, 37:17 projecting [1] -45:16 proper [1] - 62:11 properties [2] -25:18, 68:15 property [21] - 19:2, 20:16, 20:18, 27:3, 27:11, 28:14, 28:20, 30:6, 36:9, 46:7, 47:3, 47:5, 47:20, 48:6, 49:6, 49:12, 65:11, 69:17, 71:14, 71:15 **propose** [1] - 21:3 proposed [8] - 4:17, 5:5, 5:11, 18:8, 32:22, 51:16, 62:13, 63:8 proposing [1] -25:22 protect [1] - 26:17 protection [1] -31:10 **proud** [2] - 53:13, 54:11 provide [5] - 5:8, 19:17, 21:7, 62:3, 63:10 provided [1] - 19:14 **public** [1] - 71:10 Public [3] - 75:20, 77:4, 77:21 **pulling** [1] - 30:10 purpose [1] - 63:18 **put** [17] - 8:8, 8:10, 11:2, 14:17, 19:12, 23:21, 24:10, 24:11, 25:17, 27:8, 27:14, 28:16, 29:3, 31:17,

problems [1] - 72:2

proceeding [2] -

40:14, 43:19, 67:6
putting [4] - 9:22,
40:10, 49:11, 58:6

Q

quality [2] - 31:9, 53:16 questions [7] - 8:6, 33:12, 34:6, 54:18, 56:22, 64:7, 74:21 quickly [1] - 28:13 quid [2] - 30:19, 30:21 quite [2] - 6:7, 17:13 quo [2] - 30:19, 30:22

R

railroad [3] - 42:20, 43:2, 64:4 raised [3] - 51:19, 59:14, 60:6 raising [1] - 59:19 ranch [2] - 13:3, 13:4 rates [1] - 61:17 rather [1] - 32:16 ratio [1] - 22:18 rationale [1] - 23:14 read [5] - 51:7, 59:16, 66:17, 73:15, 73:17 reading [1] - 7:5 ready [1] - 54:22 real [2] - 3:9, 14:22 realize [2] - 47:17, 48.1 really [21] - 3:10, 10:5, 18:20, 19:16, 23:21, 30:15, 34:8, 39:16, 39:20, 40:7, 42:21, 44:21, 48:1, 55:10, 55:21, 56:1, 57:3, 58:9, 68:18, 69:14, 72:15 rear [4] - 11:7, 20:21, 21:7, 39:9 reason [7] - 8:10, 20:8, 20:13, 28:22, 41:7, 61:16, 62:19 reasoning [1] - 63:10 reassured [1] - 49:9 recent [1] - 61:20 recently [2] - 17:12, 47:16 record [3] - 49:18, 49:19, 75:16

37:13, 45:5 15:14, 24:8, 24:9, recreation [2] - 24:8, Sedgwick [4] shown [3] - 15:2, resistance [1] -24:12, 69:20 18:17, 30:1, 33:4, 22:9, 22:14 reduce [1] - 25:18 43:13 Rosemont [1] - 60:3 sick [1] - 7:9 round [1] - 3:9 reduced [2] - 47:12, resolve [2] - 22:16, sediment [2] - 47:11, **side** [25] - 10:2, 12:2, 77:11 72:3 rounds [1] - 4:7 49:2 12:19, 12:22, 14:9, reduction [3] - 22:7, respect [1] - 17:13 route [1] - 45:18 **see** [32] - 4:14, 6:18, 14:10, 14:11, 14:15, 22:9, 33:6 respond [1] - 5:7 running [1] - 61:4 9:13, 11:3, 11:18, 14:18, 21:21, 22:4, refer [1] - 17:22 response [1] - 54:16 runoff [2] - 47:4, 12:12, 12:22, 15:7, 22:6, 22:8, 29:12, 20:9, 23:19, 25:21, refers [3] - 24:20, responsibility [3] -49:11 55:2, 55:4, 55:6, 55:12, 61:5, 63:11, 31:20, 69:4, 71:9 26:1, 26:21, 27:4, 25:1, 65:8 runs [1] - 66:11 regard [1] - 23:4 responsible [2] -27:16, 29:5, 32:11, 63:17, 66:8, 66:15, rush [2] - 39:18, 40:4 regarding [1] - 54:14 32:9, 70:13 33:15, 41:13, 43:21, 67:5, 67:6 45:3, 46:9, 46:18, side-load [1] - 12:2 regardless [1] responsive [3] -S 48:16, 55:22, 56:8, side-loaded [3] -47:9, 48:18, 50:3 62:14 56:13, 64:3, 69:10, 14:9, 14:11, 55:12 responsiveness [1] relandscaped [1] sac [2] - 18:1, 46:9 72:14, 73:3, 74:9 side-loading [3] -21:17 safer [1] - 39:13 seeing [1] - 40:22 55:2, 55:4, 55:6 rest [1] - 14:18 relation [1] - 77:9 safety [1] - 28:22 sell [2] - 58:21 sign [1] - 36:2 remaining [1] - 35:17 restrict [1] - 21:10 Safin [1] - 7:22 selling [1] - 36:9 sign-in [1] - 36:2 remember [2] - 53:4, restricted [1] - 34:11 **SAFIN** [1] - 2:9 sent [3] - 10:17, significant [1] -71:18 restriction [1] - 34:3 sale [1] - 43:7 51:7, 51:12 56:18 remind [1] - 49:2 restrictions [4] sales [1] - 74:1 September [2] significantly [1] remove [5] - 25:22, 34:12, 40:9, 69:12, **sample** [1] - 72:9 75:18, 75:22 69:19 18:3 27:1, 30:2, 48:20, samples [1] - 26:2 serious [1] - 72:16 **similar** [3] - 37:11, 49:6 result [1] - 8:22 sanitary [1] - 70:22 **service** [3] - 4:16, 56:3, 58:10 removed [1] - 48:19 retained [1] - 9:20 satisfactory [1] -36:18, 71:8 **simply** [1] - 52:16 removing [1] - 30:10 retardant [1] - 31:6 62:3 **set** [3] - 18:6, 44:4, single [30] - 8:13, renovation [1] - 66:7 retention [1] - 59:16 **satisfy** [1] - 54:8 77:17 8:14, 8:16, 8:18, 8:21, repaired [1] - 70:9 retired [3] - 38:19, setback [9] - 17:21, save [1] - 26:19 9:2, 9:10, 9:11, 12:14, repairs [2] - 67:3, 39:19, 45:13 saved [1] - 73:1 18:7, 18:8, 20:2, 20:5, 16:8, 17:17, 17:21, 70:14 return [1] - 31:1 saw [4] - 4:20, 44:7, 21:22, 22:2, 22:4, 21:22, 22:5, 22:19, replace [1] - 26:1 revenue [1] - 40:13 60:12, 60:22 22:10 24:19, 25:7, 25:9, replaced [2] - 8:18, review [3] - 5:10, scenario [2] - 16:18, setbacks [1] - 21:21 25:13, 26:15, 35:14, 70:9 17:9, 71:9 17:1 sets [1] - 69:13 51:16, 53:6, 55:21, replacement [2] reviewed [1] - 6:18 schedule [2] - 5:10, setting [1] - 18:21 58:22, 70:3, 70:11, 44:2. 44:6 revised [1] - 31:12 29:16 settled [2] - 62:7, 70:12, 70:15, 72:10 **REPORT** [1] - 1:9 Ridge [1] - 46:5 school [4] - 36:6, 62:10 single-family [21] report [1] - 41:14 Ridgefield [1] several [6] - 32:19. 51:21, 51:22 8:13, 8:14, 8:16, 8:18, Reporter [1] - 77:4 11:22 Scott [1] - 59:14 47:3, 48:12, 49:10, 8:21, 9:2, 9:10, 16:8, represent [1] - 22:10 right-hand [2] scott [1] - 67:15 52:15, 58:4 17:17, 17:21, 21:22, request [10] - 5:2, 13:21, 15:8 SCOTT [1] - 1:20 sewer [1] - 61:17 22:5, 22:19, 24:19, 13:4, 18:12, 20:6, right-of-way [1] -25:7, 25:9, 26:15, screen [11] - 11:4, **shaped** [1] - 18:2 22:6, 25:9, 25:11, 71:1 53:6, 55:21, 70:3, 15:9, 15:10, 20:9, **share** [2] - 29:2, 36:7 26:13, 66:3, 66:5 **RML** [4] - 28:4, 28:6, 72:10 21:9, 25:15, 25:20, sharing [1] - 32:10 requested [1] - 22:1 66:6, 66:9 sit [1] - 6:21 47:10, 61:2, 63:8, **sheet** [1] - 36:2 requesting [3] -Road [15] - 1:6, 2:14, site [6] - 14:5, 16:6, 63:17 **shingles** [2] - 70:10 20:7, 21:19, 22:8 8:17, 8:19, 26:3, 18:16, 28:8, 35:7, screened [3] - 13:17, **shop** [1] - 52:8 required [2] - 18:10, 27:17, 28:11, 28:14, 13:21, 23:3 **Shores** [1] - 58:16 61:21 37:5, 42:21, 43:5, **situation** [1] - 37:21 screened -in [3] **short** [4] - 8:1, 9:19, 43:13, 43:15, 60:3, requirement [3] -13:17, 13:21, 23:3 **situations** [1] - 39:1 33:11, 72:17 73:7 22:11, 22:14, 24:18 **six** [2] - 6:15, 59:20 screening [1] - 67:21 **shortcut** [1] - 37:18 road [3] - 21:5, 29:5, requirements [1] size [1] - 13:7 seal [1] - 77:18 **shortcuts** [1] - 45:22 44:21 22:12 **skunks** [2] - 50:4, second [9] - 2:17, **Shorthand** [1] - 77:4 roads [1] - 38:18 requires [1] - 14:2 5:2, 12:1, 13:1, 13:9, shorthand [2] reread [1] - 51:12 **ROBB** [1] - 2:3 **slide** [2] - 26:21, 27:4 34:14, 59:5, 65:11, 77:12, 77:15 Robb [2] - 16:17, research [1] - 25:16 75:5 sliding [1] - 23:21 30:15 **shoveling** [1] - 47:12 resident [4] - 33:20, seconds [5] - 41:15, slight [2] - 23:18, **show** [3] - 9:20, 36:13, 46:5, 51:18 **roof** [6] - 30:13, 70:5, 41:16 74:2 13:18, 18:3 70:8, 70:14, 70:19 residential [2] - 2:16, **sections** [2] - 68:5, **sloping** [2] - 5:18, showed [1] - 45:19 43:20 room [10] - 12:6, 68:7 11:8 **showing** [1] - 11:5 residents [3] - 37:3, 13:17, 14:7, 14:15,

15:17 77:7, 77:10 **smaller** [4] - 23:5, studies [1] - 43:18 transplanting [1] -57:20, 57:21, 58:8 stand [1] - 31:19 study [12] - 32:18, TESTIMONY [1] -29:16 **SMITH** [3] - 2:10, standard [12] - 11:9, 32:19, 32:21, 38:8, 77:16 treated [1] - 64:1 41:13, 41:14, 41:20, 13:20, 13:22, 14:21, text [2] - 65:8, 69:11 63:16, 63:21 treating [1] - 64:4 Smith [1] - 7:20 15:3, 15:6, 15:11, 42:13, 42:14, 44:4, THE [1] - 1:3 tree [4] - 29:15, 30:4, 15:19, 16:12, 16:14, 44:13, 45:4 society [1] - 49:15 themselves [1] -47:19.74:4 style [1] - 56:3 23:16, 67:21 **sold** [3] - 58:4, 45:21 trees [15] - 26:18, 58:20, 59:5 standard -type [1] subdivision [2] thereafter [1] - 77:12 26:22, 27:1, 29:21, **solutions** [1] - 44:10 15:19 41:1, 64:9 thinking [3] - 54:20, 30:1, 30:2, 30:3, 30:4, standing [2] - 53:4, subject [1] - 73:16 62:20, 62:22 30:5, 30:7, 47:17, **someone** [4] - 39:2, 74:4 submitted [2] - 3:22, thorough [1] - 41:9 48:4, 48:19, 48:21, 39:9, 41:2, 59:2 stands [1] - 26:11 32:19 threatened [1] - 6:8 49:6 sooner [1] - 50:6 start [3] - 58:17, success [1] - 57:17 tried [3] - 10:8, sound [6] - 4:16, three [7] - 5:14, 10:6, 25:18, 26:5, 63:12, 58:19, 59:4 successful [2] -10:13, 10:20, 11:13, 13:18, 64:2 started [2] - 2:19, Trier [1] - 73:6 63:15, 68:3 54:10, 69:14 50:5, 60:7 trip [2] - 45:14 52:14 **sudden** [1] - 32:14 three-tenths [1] **source** [1] - 40:12 south [7] - 18:1, **starting** [2] - 2:18, suggested [1] - 33:5 60:7 trips [4] - 33:1, 33:5, 43:5, 43:16, 43:20, 10:18 suggesting [1] - 40:9 33:7, 36:17 throughout [1] -61:4, 61:10, 65:3 **state** [2] - 33:18, 16:16 trouble [2] - 32:14, suggestions [1] -75:16 10:9 59:11 **South** [1] - 50:14 Thursday [1] - 17:12 **State** [1] - 77:5 Troy [1] - 7:10 southbound [3] -Suite [1] - 60:4 ticketing [1] - 40:13 **STATE** [2] - 1:1, 77:1 truck [1] - 64:20 40:17, 44:9, 44:22 **summer** [1] - 64:5 tires [1] - 37:9 **stay** [2] - 52:4, 52:7 true [1] - 77:14 southeast [2] - 46:8, **sun** [4] - 13:17, 14:7, today [3] - 4:9, 7:9, **steep** [1] - 20:22 trusses [4] - 30:13, 46:12 15:14, 47:20 51:14 southward [1] steered [1] - 56:17 **support** [3] - 49:17, tonight [5] - 4:21, 30:14, 30:19, 31:2 step [1] - 26:16 51:15, 53:5 6:5, 17:7, 46:14, trustee [1] - 60:13 **space** [6] - 3:14, 4:9, **STEPHEN** [1] - 1:16 **supporter** [1] - 36:11 74:19 trustees [10] - 3:1, 12:8, 52:12, 52:16, **still** [11] - 4:5, 4:21, **suppress** [1] - 30:21 took [2] - 8:20, 48:22 3:3, 3:19, 3:20, 4:3, 6:17, 51:8, 51:13, 57:1 4:22, 17:8, 17:11, surprised [2] topography [4] -**SpaceCo** [2] - 7:19, 50:15, 53:20, 54:4, 31:17, 73:3 60:16, 69:12 14:4, 19:16, 19:22, 60:10, 64:16, 70:16 **surprises** [1] - 67:12 61:20 **truth** [1] - 77:9 speaking [1] - 6:16 stockade [2] - 68:16, try [7] - 23:15, 36:14, surrounding [1] -Torrington [4] -Special [1] - 1:7 68:18 12:11, 13:7, 25:10, 37:4, 38:12, 44:11, 52:17 58:3 47:11, 72:2 **special** [2] - 2:15, stone [3] - 25:21, **survey** [1] - 61:15 26:1, 67:22 swale [1] - 61:4 total [4] - 6:15, trying [7] - 37:18, stop [1] - 44:11 22:19, 25:12, 30:4 39:8, 40:17, 40:19, **specific** [4] - 11:19, **sworn** [1] - 77:8 42:9, 55:7, 69:13 **store** [1] - 45:15 toured [1] - 53:11 20:7, 20:8, 57:14 system [1] - 31:7 storm [1] - 70:22 toward [1] - 37:5 turn [8] - 36:14, specifically [1] -24:20 37:13, 38:12, 38:13, storms [1] - 47:19 town [1] - 7:11 Т 39:8, 40:8, 55:7, speculative [1] stormwater [1] tracks [1] - 64:4 56:19 58:12 trade [1] - 31:8 table [4] - 16:2, turnaround [1] **spell** [3] - 32:8, 67:7 straight [2] - 43:4, trade-off [1] - 31:8 19:11, 20:3, 74:16 **spelled** [1] - 69:15 43:14 traffic [20] - 32:18, talented [1] - 53:9 turning [1] - 39:12 spent [1] - 52:1 Street [17] - 2:14, 32:21, 33:1, 33:6, targeted [4] - 11:16, 4:15, 18:6, 24:21, turns [1] - 37:1 **spillway** [1] - 60:6 38:8, 41:13, 41:20, 34:10, 34:11, 69:14 twice [1] - 74:12 spoils [1] - 5:21 26:14, 37:2, 37:5, 42:11, 42:14, 42:22, **Techny** [1] - 73:13 sprinkle [1] - 31:6 38:9, 38:11, 38:14, 43:2, 43:21, 44:4, twisted [1] - 38:18 temporary [1] - 66:7 40:11, 40:17, 43:15, 44:5, 44:8, 44:10, two [23] - 3:4, 5:4, sprinkler [1] - 31:7 ten [3] - 30:9, 41:5, 61:3, 61:10, 68:14, 44:12, 45:2, 45:20, 7:8, 8:20, 8:21, 11:13, square [5] - 13:11, 42:8 13:13, 15:4, 23:8, 68:16 46:17 12:14, 14:13, 21:3, tends [1] - 57:19 street [5] - 38:5, trailers [1] - 66:8 34:16, 45:20, 46:11, 25:12 tenths [1] - 60:7 40:2, 41:5, 41:9, 71:7 48:4, 48:13, 55:22, train [1] - 39:20 **ss** [2] - 1:1, 77:1 terminology [1] - 5:1 56:13, 57:2, 57:8, **streets** [1] - 18:18 transcribed [1] -**St/County** [1] - 1:6 terms [4] - 31:9, 57:10, 58:20, 58:21, strikes [1] - 74:12 77:12 staff [9] - 16:4, 17:8, 39:8, 40:13, 49:20 62:18, 74:18 **strolling** [1] - 63:20 transcript [1] - 77:14 18:16, 19:6, 19:13, TERRENCE [1] two-unit [1] - 58:20 22:13, 24:13, 28:5, **strong** [1] - 51:15 transition [1] - 52:10 2:10 type [2] - 15:19, 33:9 structure [1] - 70:18 transplant [2] -74:16 **Terry** [1] - 7:20 types [1] - 57:19 stair [3] - 14:1, structures [1] -26:22, 30:2 testify [1] - 77:9 typewritten [1] -15:22, 16:1 72:12 transplanted [1] testimony [3] - 1:9, 77:13 studied [1] - 10:5 73:1 stairs [3] - 15:12,

typically [1] - 71:6	52:14, 77:7	wants [6] - 15:17,	worse [1] - 39:17
typically [1] 71.0	vehicles [5] - 28:11,	24:7, 50:18, 53:9,	worst [7] - 16:13,
U	28:18, 29:6, 29:7,	53:20, 54:4	16:18, 16:21, 17:1,
	64:18	Washington [1] -	22:22, 32:4, 59:7
	VENTURE [1] - 1:6	50:14	worst -case [3] -
ultimately [2] - 2:22,	Venture [2] - 2:15,	water [2] - 21:11,	16:18, 16:21, 17:1
16:22	7:16	61:5	writing [2] - 51:14,
unbelievable [1] -	versus [1] - 34:10	Waukegan [3] - 73:7,	77:11
73:20	vice [1] - 7:17	73:11, 73:12	wrought [1] - 27:5
under [5] - 16:21,	vice-president [1] -	ways [1] - 43:1	wrought -iron [1] -
26:17, 35:2, 61:5,	7:17	website [2] - 35:1,	27:5
65:19	view [1] - 27:9	35:2	1
underestimating [1]	Vigaya [1] - 33:19	wedding [1] - 39:4	Υ
- 45:11	Village [2] - 2:2, 2:4	week's [1] - 54:6	•
understood [1] -	village [22] - 5:8, 5:9,	weeks [1] - 49:9	
22:14	10:7, 19:12, 35:1,	welcome [1] - 7:13	yard [15] - 10:2,
unfortunately [2] -	44:3, 44:13, 45:5,	West [1] - 60:3	14:15, 14:18, 17:20,
7:9, 72:20	48:7, 48:9, 49:17,	west [1] - 39:11	18:6, 20:2, 20:4,
unit [5] - 33:8, 57:9,	51:1, 51:8, 51:13,	west [1] - 39.11	20:21, 21:7, 21:21,
58:20, 58:21, 70:8	51:20, 52:8, 53:3,	38:4, 38:13, 68:13	22:4, 22:6, 22:8,
units [12] - 3:18, 4:8,	53:4, 53:8, 53:21,	WHEREOF [1] -	22:10, 47:18
8:9, 8:10, 8:22, 15:21,	54:12, 66:18	77:16	year [4] - 2:18,
19:9, 19:19, 31:6,	virtue [1] - 9:3	WHEREUPON [1] -	41:21, 42:15, 50:5
31:14, 33:8, 45:12	visual [2] - 25:18,	75:20	years [13] - 30:9,
unless [1] - 41:6	26:6	whole [1] - 36:5	31:22, 32:2, 36:4,
untimely [1] - 74:7	visually [1] - 8:2	widens [1] - 18:2	41:5, 46:6, 47:1,
unwavering [1] -	Voltz [3] - 73:7,	width [6] - 16:7,	47:10, 51:19, 52:15,
51:15	73:12, 73:21	17:16, 17:18, 17:20,	53:5, 53:7, 53:21
up [26] - 8:2, 8:12,	volume [2] - 61:19,	18:5, 22:13	yesterday [1] - 58:5
10:17, 11:2, 13:9,	62:4	wife [1] - 51:19	young [1] - 12:7
18:2, 21:1, 21:12,	vote [2] - 4:21, 54:5	WILLOBEE [12] -	younger [1] - 40:1
29:10, 33:17, 40:2,	voted [1] - 3:20	1:21, 55:1, 56:14,	yourselves [1] - 45:6
40:14, 42:12, 42:21,	voting [1] - 17:7	61:13, 62:17, 63:6,	YU [1] - 2:2
43:20, 45:19, 46:9,	10g [.]	68:20, 69:3, 70:21,	
58:7, 60:20, 67:6,	W	71:19, 75:4, 75:8	Z
72:2, 73:6, 73:7,	**	Willow [4] - 26:2,	
73:17, 74:21, 74:22		26:9, 27:17, 73:13	zoned [2] - 18:18,
up-to-date [1] - 8:2	wait [4] - 37:19,	win [2] - 65:4	29:22
update [2] - 6:6,	39:22, 42:8, 58:12	win-win [1] - 65:4	29.22
61:16	waited [1] - 40:21	window [5] - 11:8,	
updated [2] - 22:13,	waiting [2] - 34:21,	14:3, 15:20, 23:17	
44:12	40:21	windows [2] - 23:13,	
uploaded [1] - 10:18	waiver [4] - 18:12,	23:16	
upper [4] - 13:19,	25:9, 25:11, 30:17	wise [2] - 56:16,	
13:21, 15:7, 15:8	waivers [1] - 17:14	70:19	
upstairs [1] - 15:1	Walgreens [1] -	wish [1] - 68:8	
uptick [1] - 44:7	45:15	witnesses [2] - 77:8,	
urge [1] - 54:5	walk [3] - 23:19,	77:11	
uses [1] - 62:21	23:22, 41:7	wonderful [2] - 12:6,	
	walkaut was 11.0	31:7	
utilities [3] - 4:14,	walkout [10] - 11:9,		
4:15, 71:10	14:2, 14:3, 15:20,	wood [1] - 69:2	
	14:2, 14:3, 15:20, 19:9, 19:17, 19:19,		
4:15, 71:10 utility [1] - 9:16	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20	wood [1] - 69:2 Woodbridge [1] - 12:18	
4:15, 71:10	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14	Woodbridge [1] - 12:18	
4:15, 71:10 utility [1] - 9:16	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9,	Woodbridge [1] - 12:18 Woods [1] - 73:8	
4:15, 71:10 utility [1] - 9:16	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9, 25:20, 25:21, 26:1,	Woodbridge [1] - 12:18	
4:15, 71:10 utility [1] - 9:16 V valuable [1] - 21:18	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9, 25:20, 25:21, 26:1, 26:13, 26:20, 61:3,	Woodbridge [1] - 12:18 Woods [1] - 73:8 woodview [2] - 38:6, 38:7	
4:15, 71:10 utility [1] - 9:16 V valuable [1] - 21:18 value [1] - 36:9	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9, 25:20, 25:21, 26:1,	Woodbridge [1] - 12:18 Woods [1] - 73:8 woodview [2] - 38:6, 38:7 works [2] - 55:14,	
4:15, 71:10 utility [1] - 9:16 V valuable [1] - 21:18 value [1] - 36:9 variance [2] - 19:15,	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9, 25:20, 25:21, 26:1, 26:13, 26:20, 61:3,	Woodbridge [1] - 12:18 Woods [1] - 73:8 woodview [2] - 38:6, 38:7 works [2] - 55:14, 56:1	
4:15, 71:10 utility [1] - 9:16 V valuable [1] - 21:18 value [1] - 36:9	14:2, 14:3, 15:20, 19:9, 19:17, 19:19, 19:21, 20:1, 23:20 walkouts [1] - 23:14 wall [11] - 4:16, 21:9, 25:20, 25:21, 26:1, 26:13, 26:20, 61:3, 61:6, 61:7, 61:12	Woodbridge [1] - 12:18 Woods [1] - 73:8 woodview [2] - 38:6, 38:7 works [2] - 55:14,	

HINSDALE PLAN COMMISSION

RE: Case A-23-2017 - Applicant: Plate28 - 5819 S. Madison Street

Request: Special Use Permit to allow a Fitness Club in the B-1 Community Business District

DATE OF PLAN COMMISSION (PC) REVIEW: August 9, 2017

DATE OF BOARD OF TRUSTEES 1ST READING: September 5, 2017

FINDINGS AND RECOMMENDATION

I. FINDINGS

- 1. The PC heard testimony from the applicant, Ms. Milne and Ms. Mueller, company owners of Plate28. Ms. Milne explained the history of her experience with the Power Plate equipment eight years ago, when she became a certified instructor. She summarized how the equipment works, and the various types of training you can perform on the plate. The applicant also introduced Ms. Natalie Barsalli, the Power Plate national customer engagement manager of North America to answer any questions on the equipment.
- 2. The applicant reviewed that each class will have a maximum of 8 people, 1 person per Power Plate. The 1st year goal for Plate28 is to host 16 classes per day. Morning classes will be from 5 AM to 10 AM, and evenings from 5 PM to 8 PM. The goal after year 1, is to host 24 classes per day, from 5 AM to 12 PM, and 4 PM to 8 PM.
- 3. The applicant hand-delivered the (250') public hearing notices and explained that the people they spoke to were excited about it. The applicant also invited everyone to a coffee meet and greet at their location. However, nobody attended the Saturday event. Ms. Mueller expressed that she believes this indicated there's no concerns. The Plan Commissioner asked if there were any citizens who wished to speak on the application request. There was no one from the audience who spoke.
- 4. The applicant reviewed that they examined the parking use and concluded that there is ample parking. The applicant also indicated available parking in the rear of the building and the next door (former) gas station parking spaces at S. Madison St. and 59th Street. A Plan Commissioner asked if the parking places are addressed in the lease. Ms. Mueller replied that it is, all of it is open for their lease.
- 5. A Plan Commissioner asked if the parking lot in the rear of the building is shared. The applicant explained that one side (half of it) is for the apartment building to the east of the subject property, and the other side/half is for the subject property building tenants' use. The entrance to the rear parking lot is on 59th Street. The applicant also explained that the Plate28 patrons will only enter through the front door, however, the staff will enter from the rear entrance. She also indicated there are always 5 or 6 parking spaces available in the rear lot.
- 6. A Plan Commissioner asked about music, if and when is it played. The applicant replied that music will be played during the class. However, they are not installing a sound system, since they will be talking throughout the workout. However, they will utilize a small portable unit (the example used was a Bose unit) for background music. The applicant also explained that the machines are not loud ("a lot less noisy than a treadmill") and the class host will not need an amplifier
- 7. A Plan Commissioner asked about the vibration of the machines, and the potential vibrations carried to the tenants on each side of the building. The applicant explained that the concrete floors will not carry the vibrations. Ms. Milne said that she has one in her house, on a wood floor, and it's not an issue. The Power Plate also has a "power shield" that is underneath the machine that absorbs vibration; which people usually use if it was on the second floor.

II. RECOMMENDATIONS

Following a motion to recommend approval of the proposed Special Use Permit as submitted, the Village of Hinsdale Plan Commission, on a vote of seven (7) "Ayes," and two (2) "Absent," recommends that the President and Board of Trustees approve the Special Use Permit application as submitted.

THE HINSDALE PLAN COMMISSION By:			, Chairman	
	Dated this	day of	. 2	2017



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 50 S. Washington Street, unit 201 (2nd Floor) – Nathalie Loma Custom Made Designs

New Window Signage - Case A-30-2017

Summary

The Village of Hinsdale has received a sign application from Nathalie Loma, of Nathalie Loma Custom Made Designs, requesting approval to install new window signage at its new location on the second floor of 50 S. Washington Street, in the historic downtown B-2 Central Business District.

Request and Analysis

The requested window signage features white text decals on a single bay window on the second floor of the building at 50 S. Washington Street. The second-story bay window is comprised of 3 glass sections. The applicant is requesting to affix decals on each glass section. The left glass decal is 1.1 SF, the middle decal is 3.4 SF and the right decal is 1.4 SF, for an area of 5.9 SF total.

The bay window could be interpreted as a single window or three separate windows. If the latter, the Plan Commission may approve it per Section 11-607(F)(2)(c), to allow one more sign over the maximum allowed. In the B-2 Central Business Districts, the Code permits a maximum of two window signs.

The gray background of the application exhibit only represents the window size and to illustrate the white text decals. It is not part of the sign application.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 50 S. Washington Street

From: Nathalie Loma
To: Chan Yu
Subject: Fwd: Proof

Date: Wednesday, August 02, 2017 2:31:05 PM

Hi Chan,

Here are the dimensions.

Sent from my iPhone

Begin forwarded message:

From: FASTSIGNS 65 < FASTSIGNS.65@fastsigns.com > Date: August 2, 2017 at 12:16:13 PM CDT

Date: August 2, 2017 at 12:16:13 PM CDT
To: Nathalie Loma < Nloma@nathalieloma.com >
Subject: Proof

Nathalie,

Here's the updated layouts with the size of the windows themselves mentioned and the sizes of the actual graphic going on the windows.

Roz Moore

FASTSIGNS of Oakbrook Terrace I Account Executive I $\underline{65@fastsigns.com}$

17W608 14th St., Oakbrook Terrace, II. 60181

p. 630-932-0001 We can now send and receive text messages at this number

f. 630-932-0004

www.fastsigns.com/65



Left Window Graphic Is Middle Window Graphic Is Right Window Graphic Is 9" tall x 18" wide 25.5" tall x 19" wide 11.5" tall x 18" wide NATHALIE CUSTOM LOMA COUTURE STUDIO NATHALIE LOMA

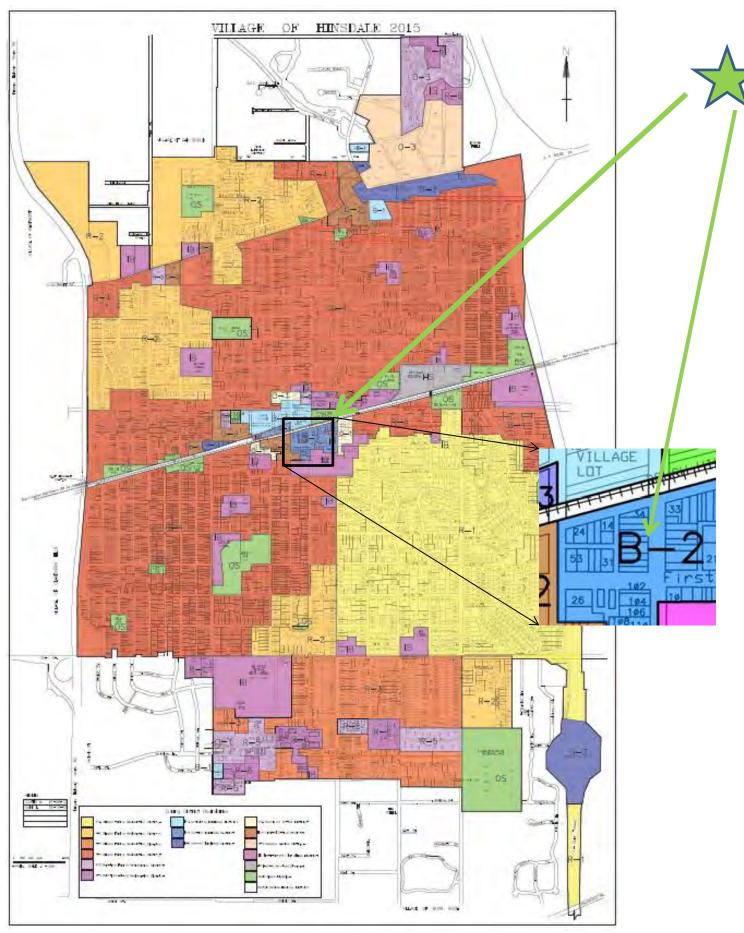


VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor		
Name: Matrial & CITA Address: 505. Washington St City/Zip:	Name: AST SIN NS Address: Ith St City/Zip: CIIS Syech Terrorce Phone/Fax: () C3C / 332 cvc E-Mail: Contact Name:		
ADDRESS OF SIGN LOCATION: 50 S.U. ZONING DISTRICT: Please Select One SIGN TYPE: Please Select One ILLUMINATION Please Select One	3, 1000 C		
Sign Information: Overall Size (Square Feet): 25 (5 x 5) Overall Height from Grade: 15 Ft. Proposed Colors (Maximum of Three Colors): O	Site Information: Lot/Street Frontage:		
I hereby acknowledge that I have read this application a and agree to comply with all Village of Hinsdale Ordina	nd the attached instruction sheet and state that it is correct ances.		
Signature of Applicant Signature of Building Owner FOR OFFICE USE ONLY – DO NOT WRITE BEL	e) in (1) 2017		
Total square footage: $0 x $4.00 = 0$	(Minimum \$75.00)		
Plan Commission Approval Date: Administrative Approval Date:			

Attachment 2: Village of Hinsdale Zoning Map and Project Location





Proposed Sign Location

Street View of 50 S. Washington St. (facing west) Attachment 3:



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 33-37 Washington Street – Starbucks – 2 Replacement Signs (non-illuminated)

Summary

The Village of Hinsdale has received a sign application from Vital Signs USA, on behalf of Starbucks, requesting approval to replace an existing wall sign on E. Hinsdale Avenue and replace the existing window sign on the corner of E. Hinsdale and Washington Street with a wall sign. Both signs are non-illuminated.

Request and Analysis

The wall sign replacement on E. Hinsdale Avenue features the same dimensions as the existing, 2' tall and 12' wide, for an area of 24 SF. The sign features a white background with black colored text. It is likely that former staff and the Plan Commission reviewed the existing signage as a wall sign due to the entrance recess and it being flush with the surrounding wall. The black text matches the current black window frames, lights and awnings. The new sign is made of sandblasted cedar wood, and consistent with the current sign material.

The second proposed sign is to replace the current 21.39 SF window sign above the entrance on the corner of E. Hinsdale and Washington Street with a 6.25 SF wall sign. Although the sign is a circle, per the Code, the area must be measured with a square (30" tall and 30" wide). Due to the second floor turret, and the first floor entrance wall being a window, the wall sign will be fastened under the turret, 18" from the first floor (wall) window. Per the Code, a wall sign cannot project more than 18" from the building. The bottom of the sign will be 10' from grade. The sign features the Starbucks logo in white and black, and is made of high density urethane foam with a black aluminum trim cap.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

Attachment 1 – Sign Applications and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of Existing Signage at 33-37 Washington Street

STARBUCKS #264 Washington & Hinsdale Hinsdale, IL



17-37835

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607 P 800 353 9132 • F 864 242 2204 www.hiltondisplays.com



ELEVATION

30" HANGING SIRENWORDMARK

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607 P 800 353 9132 • F 864 242 2204 www.hitondisplays.com

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO



DRY
DAMP
WET X

REV. DATE / REVISION QID 17-37835 CUSTOMER CONTACT SALESMAN / PM Starbucks 264 Malisa Crow Hinsdale, IL DWG. DATE JOB NAME **Greg Sloan** LOCATION DESIGNER As Noted 7-03-17 SCALE FILE

ﺎً ﻣ-، ﻣﺎﻟ

6،-8 "

STARBUCKS

S X0001

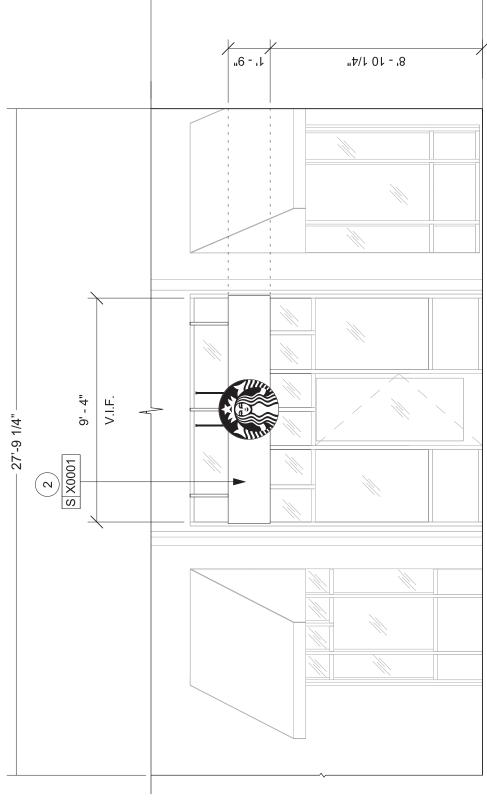
71'-1 3/4"

South ELEVATION 1/4" = 1'-0"

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30" HANGING SIRENB WORDMARK





SOUTHEAST ELEVATION

Scale: 1/4" = 1'-0"

HILTONDISPLAYS

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QID 17-37835 JOB NAME

Starbucks 264

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

الا،- 0،،

DWG. DATE

7-03-17

REV. DATE / REVISION

SCALE

As Noted

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PRODUCED ACCOUNTY



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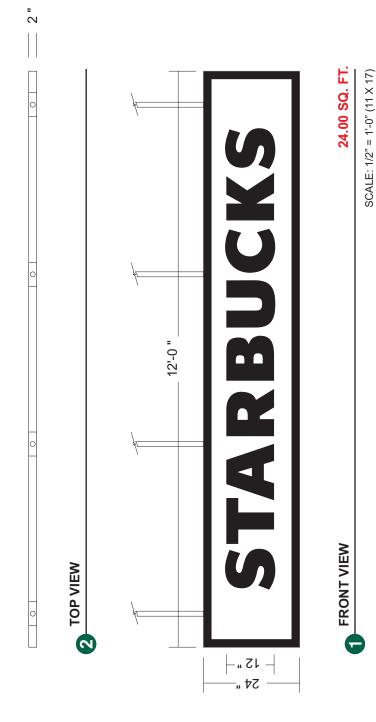


VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor
Name: Cris Meyers/Vital Signs USA, Inc. Address: 791 Industrial Dr. City/Zip: Elmhurst, IL 60126 Phone/Fax: (630) 832-9600 /832-9669 E-Mail: cris@vitalsignsusa.com Contact Name: Cris Meyers	Name: Vital Signs USA, Inc. Address: 791 Industrial Dr. City/Zip: Elmhurst, IL 60126 Phone/Fax: (630) 832-9600 /832-9669 E-Mail: keith@vitalsignsusa.com Contact Name: Keith Watkins
ADDRESS OF SIGN LOCATION: ZONING DISTRICT: Please Select One SIGN TYPE: Please Select One Wordma ILLUMINATION Please Select One - Non - 1	rk hanging sign Iluminated
Sign Information: Overall Size (Square Feet): 24 (2' x 12') Overall Height from Grade: 13' Ft. Proposed Colors (Maximum of Three Colors): Lack	Site Information: Lot/Street Frontage:
I hereby acknowledge that I have read this application and to and agree to comply with all Village of Hinsdale Ordinance Signature of Applicant Date	the attached instruction sheet and state that it is correct is. 8-2-17 8-2-17
Signature of Building Owner Date FOR OFFICE USE ONLY – DO NOT WRITE BELOW	8-2-17 THIS LINE
Total square footage: 0	(Minimum \$75.00)

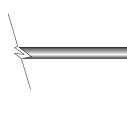
NON-ILLUMINATED HANGING SIGN

SBC-17-37835-2



SPECIFICATIONS

- NON-ILLUMINATED SANDBLASTED WOOD (CEDAR) WITH PAINTED BORDER AND LETTERS AS SHOWN -:
- SIGN RETURNS TO HAVE BLACK ALUMINUM CLADDING 8
- SIGNAGE TO BE SUSPENDED USING FABRICATED TUBE-STYLE BRACKETS AND SUPPORTS. WITH L-SHAPED BRAKEFORMED ALUMINUM BACKER FOR ADDITIONAL SUPPORT AND MOUNTING က
- RAL 7021M SATIN BLACK, AND WHITE 4



HILTONDISPLAYS

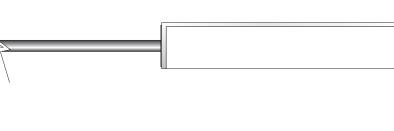
125 HILLSIDE DRIVE - GREENVILLE SC 29607 P 800 353 9132 • F 864 242 2204 www.hiltondisplays.com

QID 17-37835

Starbucks 264

LOCATION

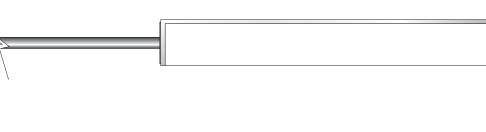
JOB NAME

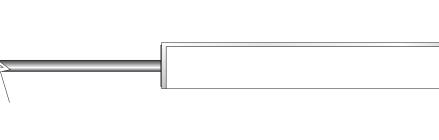


CUSTOMER CONTACT

Hinsdale, IL

SALESMAN / PM





Malisa Crow DWG. DATE **Greg Sloan** DESIGNER

7-03-17

REV. DATE / REVISION

SCALE

As Noted

2017/Starbucks/

FILE

SCALE: NTS SIDE VIEW

(6)

DESIGN SPECIFICATIONS ACCEPTED BY: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO







VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	
Applicant Name: Cris Meyers/Vital Signs USA, Inc. Address: 791 Industrial Dr. City/Zip: Elmhurst, IL 60126 Phone/Fax: (630) 832-9600 /832-9669 E-Mail: cris@vitalsignsusa.com Contact Name: Cris Meyers	Contractor Name: Vital Signs USA, Inc. Address: 791 Industrial Dr. City/Zip: Elmhurst, IL 60126 Phone/Fax: (630) 832-9600 /832-9669 E-Mail: keith@vitalsignsusa.com Contact Name: Keith Watkins
ADDRESS OF SIGN LOCATION: ZONING DISTRICT: Please Select One SIGN TYPE: Please Select One 30" W ILLUMINATION Please Select One hon - i	Sall siren sign Numinated
Sign Information: Overall Size (Square Feet): 6.25 136" \ 36" Overall Height from Grade: 10' F. Proposed Colors (Maximum of Three Colors): black not to exceed 19" projection	Site Information: Lot Street Frontage: 27' 9" Building Tenant Frontage: 27' 9" Existing Sign Information: Business Name: Starfuck rumoval Size of Sign: 21.39 window Feet Business Name: Vihyl Size of Sign: Square Feet
I hereby acknowledge that I have read this application and and agree to comply with all Village of Hinsdale Ordinance	
Signature of Applicant Date	8-2-17
Total square footage: $\frac{0}{\sqrt{84.00}} = \frac{0}{\sqrt{84.00}}$ Plan Commission Approval Date: Admin	(Minimum S ⁺ 5.00) n.strative Approval Date:

/INDOW SIGN SBC-17-37835-1 30" HANGING SANDBLASTED WINDOW SI

FRONT VIEW (mmsə7) "0£



SIDE VIEW Window –

.090" Brakeformed box, painted Black. Notched & Formed **Mounting plate** -1" Dia. . 1'-5 " -- 1'-9 " 1'-1 " c/c m, 9-,0 —

HILTONDISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607 P 800 353 9132 • F 864 242 2204 www.hiltondisplays.com

QID 17-37835

Starbucks 264

JOB NAME

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

DWG. DATE

7-03-17

REV. DATE / REVISION

As Noted SCALE

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNARE DIJE TY

DRY
DAMP
WET X UL Underwriters
Laboratories Inc.

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COLOR LEGEND	NT VINYL	:5 C 3M 3630-76	3M 3630-22	IITE 3M 3630-20/ 7725-10	9 C NA	HITE 3M 680-10
	PMS/PAINT	PMS 3425 C	RAL 7021M	PMS WHITE	PMS 369 C	REFL. WHITE

SPECIFICATIONS:

SCALE: 3/4" = 1'-0" (11X 17)

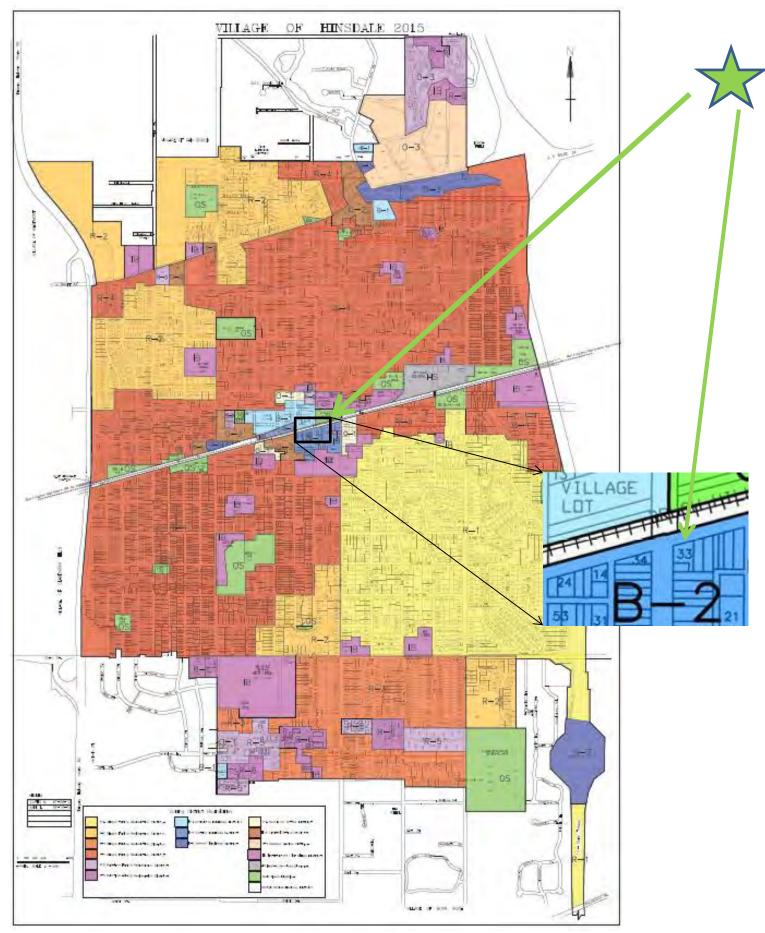
SIGN TO BE SAND-BLASTED HDU, PAINTED TO MATCH RAL 7021M SATIN BLACK AND WHITE WITH RAL 7021M SATIN BLACK HARDWARE

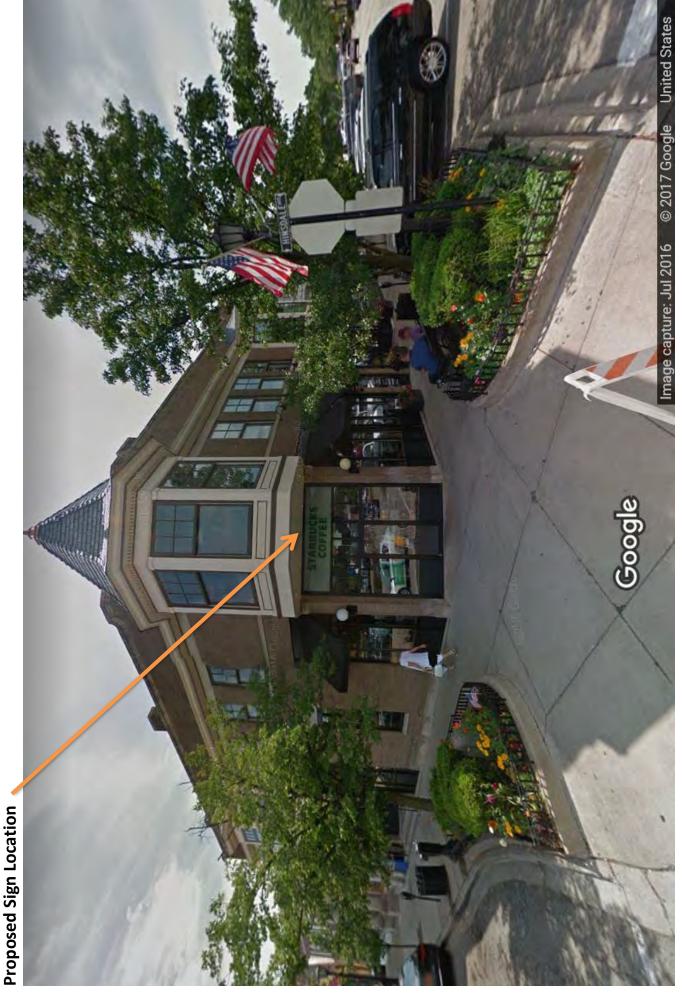
SIGN RETURNS TO HAVE BLACK ALUMINUM CLADDING

NOTE: MOUNTING METHOD TBD PER SURVEY

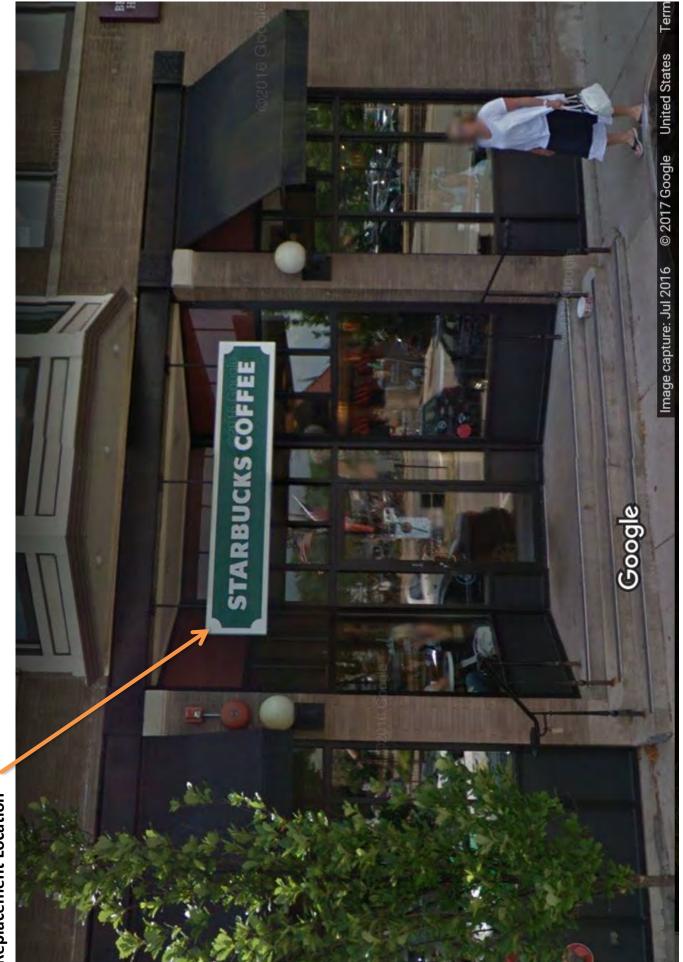
Attachment 2: Village of Hinsdale Zoning Map and Project Location







Street View of E. Hinsdale Ave. and Washington St. (facing southeast) Attachment 3:



Street View of E. Hinsdale Ave. (facing south) Replacement Location Attachment 3:



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 30 E. First Street (Garfield Crossing) – Verizon – 1 New Wall Sign (illuminated)

Case A-32-2017

Summary

The Village of Hinsdale has received a sign application from Comet Neon Inc., on behalf of Verizon, requesting approval to install a new wall sign at its new location in the Garfield Crossing building on 30 E. First Street, in the B-2 General Business District.

Request and Analysis

The requested wall sign features white illuminated channel letters and a red check, which is Verizon's logo. The proposed sign is 2'-1" tall and 9'-7" wide for an area of approximately 20 SF. The sign is 14 feet from grade, and the applicant has submitted three (3) illumination options by white LEDs or a non-illuminated option. The requested sign is Code compliant.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 13 Grant Square



VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

	TOR SIGN FERIVIT
Applicant	Contractor
Name: Comot Neon, Inc.	Name: Comet Neon, Inc.
Address: 120N. Ridge Ave.	Address: 1120 N. Ridge Ave.
City/Zip: Lombard 16, 60148	City/Zip: Lombard 11. 60148
Phone/Fax: (36) 656 1/085	Phone/Fax: (636) 656 1/085
E-Mail: Pade Comot Neon. com	E-Mail: Paul Ecomethoon.com
Contact Name: Paul Rzewski	Contact Name: Parl Rzeurski
ADDRESS OF SIGN LOCATION: 30 East	15t. Streef #106
ZONING DISTRICT: Please Select One	
SIGN TYPE: Please Select One	
ILLUMINATION Please Select One Informal L	ED
Sign Information:	Site Information:
Overall Size (Square Feet): $\frac{19.9}{14.1} (\frac{25}{x})^{1}$	Lot/Street Frontage:
Overall Height from Grade:Ft.	Building/Tenant Frontage: 37 /
Proposed Colors (Maximum of Three Colors):	Existing Sign Information:
o White	Business Name:
e <u>Ked</u>	Size of Sign: 199 Now Square Feet
0	Business Name: Verizan
	Size of Sign: Square Feet
T111 1 1 1 1 1 T1 1 1 1 1 1 1 1 1	
I hereby acknowledge that I have read this application and and agree to comply with all Village of Hinsdale Ordinance	the attached instruction sheet and state that it is correct
	3-14-2017
Signature of Applicant Date	5-19-2011
See Attached	
Signature of Building Owner Date	
FOR OFFICE USE ONLY – DO NOT WRITE BELOW	V THIS LINE
Total square footage: $0 x $4.00 = 0$	(Minimum \$75.00)
Plan Commission Approval Date: Admini	aistrative Approval Date:

30 East 1st Street Unit 106, Hinsdale IL. 60521



Mi Tr

19.9 sq.ft.

3 37.16" ACRYLIC PACE: 97328WHTE ACRYLIC WITH APPLIED 35/ 3630-145 UNYL.

LED UNITS (RED): PRINCIPAL PLF53 ND1-P IDENTICAL SPECS

4

UL LISTED HOUSING: SECONDARY WIRING SPLICE POINT ()

5

9

COMBUTE SECONDARY ELECTRICAL RUN

00 0 WEEP HOLES WITH BAFFLE

10 f---

0.040 AUPAINUM RETURNS (2"DEPT) BAINTED MP 4643 SATIN: PAS 485 SYNTED MP +643 SATIN PMS 485

17 3*5* 3/8*ALUAL ANGLE JEND RITURNS) ISONDED W/ 403/19 SIGNLDC):
PAINTED to match faces.

19

CHECKMARK LOGO

LED UNITS (WHITE): SLOAN PRISM #201269

4

15 RIVETED VERTICAL ALLMANUM RIBS 1976 TLANGE FLANGE RIVET).
1-1/2'' X 1-1/2'' Y 1/3" ALLMANUM ANGLE (AMOUNT VARIES ON WIDTH 0.09G ALUMINUM SHOEGOX RANEL (4"BRAKS CNTOP & BOTTOM); PAINTED to match facta - SW7103 Whitee:1

OGGO ALUASINUM RETURNS (2106PTH): PAÍNTEO MP 46425 SP SATIN HI HIDE VIHITE SANTED MP 46425 SP SETIN HI HIDE WHITE

13 NOUNTING HARIGUMANE. SUPPLIED WATH BANTHARAGED SPEED CLIPS)

12 MOUNTING HARDWARE TO SECURE SHOEDCX BANEL ATO BLAT DAN HEAD SCHEW INTO CARGLE FRANCE

STAINDARD RACEWAY

14 ANGLE FRAME MOUNTED TO SACADE.

14 1-127 x 1-127 x 178 ALUMINUM ANGLE (70P & BOTTOM)

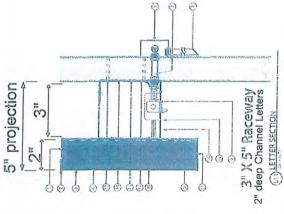
VERIZON LETTERS

3 3716" ACRYLIC FACE: 87328 P95 MATTE ACRYLIC FACE

North Elevation

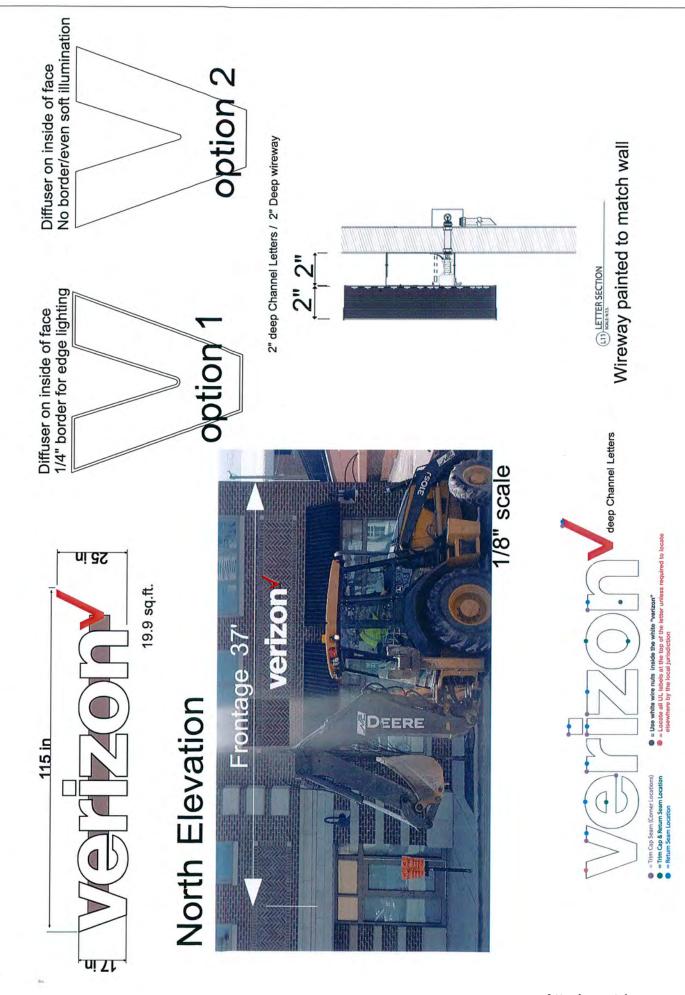






raceway painted to match wall



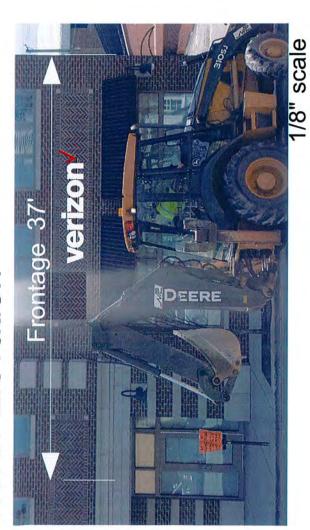


30 East 1st Street Unit 106, Hinsdale IL. 60521

NON ILLUMINATED



North Elevation



Option 3 Non-illuminated

2" deep Channel Letters NON ILLUMINATED

2""



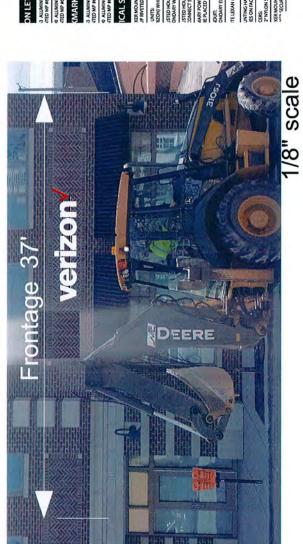


ui 32 19.9 sq.ft. 115 in ni Tr

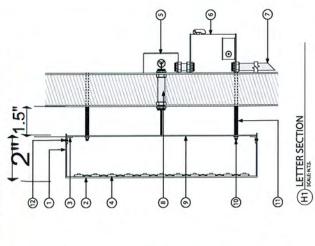
Option 4 HALO LIT

SIGN SPECIFICATIONS: LED HALO LIT CHANNEL LETTERSET

North Elevation









Goose neck lights obscure view of sign Electrical conduit run on exterior of building

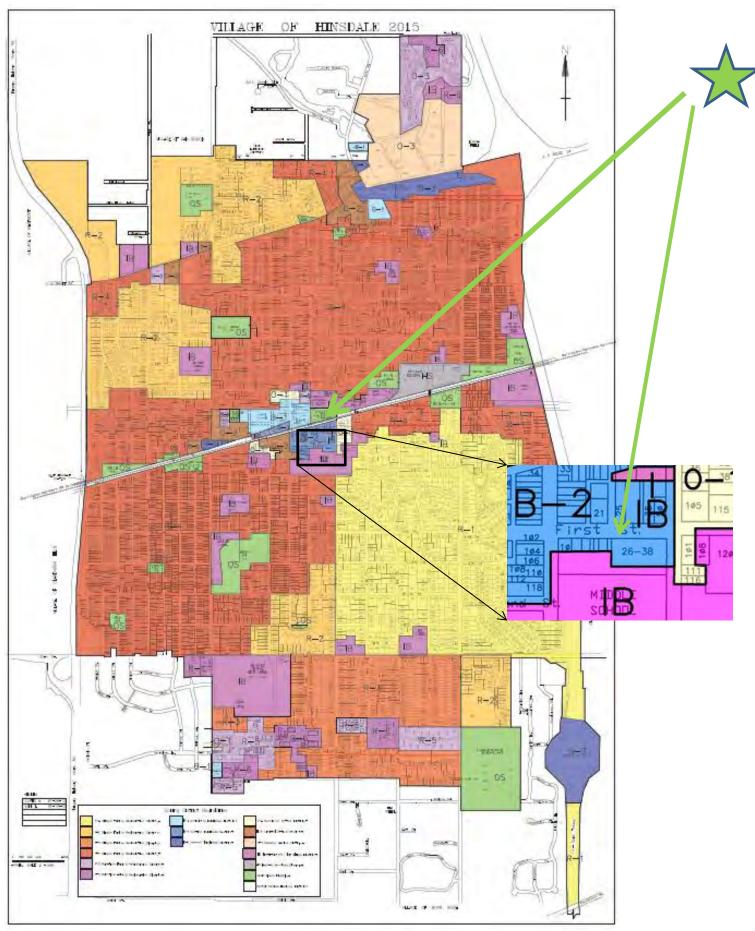






Attachment 2: Village of Hinsdale Zoning Map and Project Location





Street View - Jul 2016 Hinsdale, Illinois S Washington St

Street View of 13 Grant Square (facing southeast) Attachment 3:

Proposed Sign Location



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 301 W. 59th Street – The Hinsdale Apartment Homes (a.k.a. Hidden Lakes Apartments)

Ground Sign Replacement in the R-6 Multiple Family Residential District

Continuation from August 9, 2017, Plan Commission Meeting

Summary

On August 9, 2017, the sign applicant, Ramsay Signs, presented to the Plan Commission (PC) its request to replace an existing ground sign at 301 W. 59th Street at the Hinsdale Apartment Homes, also known as the Hidden Lakes Apartment Complex. The PC expressed opposition for the sign and requested for additional concepts due to the sharp contrast with its surroundings. The PC was also opposed to the illumination feature due to the residential homes across the street.

The applicant has submitted three new concepts for the PC to review. All three (3) concepts now incorporate a brick feature at the base of the ground sign. The concept 1 and concept 2 signs are similar, and deviates from the initial request the most. The concept 3 sign resembles the initial sign, but with a brick base feature. A backlit and externally illuminated illustration is also included for review by the PC.

Request and Analysis

It was noted at the August 9, 2017, PC meeting, that the current sign at Hinsdale Apartment Homes was installed without a permit. The last *approved* ground sign for the subject property was in 2014, and is 4' tall and 8' wide for an area of 32 SF, which includes the entire sign structure. The proposed ground sign structure is 4' tall and 14' wide for an area of 56 SF. However, per Section 9-106(E)(10)(a) of the Code, the supporting structure of a sign shall be omitted in measuring the area of the sign unless such structure is made part of the face of the sign. To that end, and Section 9-106(E)(10)(b), which defines the sign measurement area, counts only the sign cabinet backing that is 2' tall and 9'-4" wide, for an area of approximately 18.7 SF.

It should be noted that staff in 2014, explained to the PC that there are no standards or requirements for ground signs in the Residential Districts. Per Section 9-106(H)(2)(a), ground signs are not permitted in the Residential Districts. However, Section 11-607(F)(2)(d) gives the PC the authority to allow an identification sign to be located on a lot where signs of such functional types are not otherwise allowed. This was the approval method in 2014 for the current ground sign at 301 W. 59th Street.

In 2014, staff suggested that it seemed appropriate to consider the ground sign standards permitted in Section 9-106(J), which includes the B-2, B-3, IB, O-2, O-3 and HS Zoning Districts. A ground sign in these



MEMORANDUM

districts allows an application request for a ground sign face: not to exceed 50 SF, no taller than 8', and no closer than 10' from the front lot line (minimum setback distance).

The requested sign concepts feature a sign face of approximately 18.7 SF, are 4' tall, and have a 10' setback distance from the front lot line. The concept 1 and 2 sign faces features 2 colors, black text on a white background, and concept 3 has 3 colors, a dark grey backing with orange and white colored fonts.

The sign is illuminated by LED, and the applicant has submitted an exhibit to illustrate it at night. On May 30, 2017, the applicant acknowledged and confirmed that illumination will be under 50 lumens, and per the concept sheets, there will be no lighting between 10 PM and 7:30 AM. The double-sided ground sign will be perpendicular to W. 59th Street and the R-5 Multiple Family Residential District across the street. An illustration of the revised sign, externally illuminated, has also been submitted for review. It should be noted, the PC at the August 9, 2017, meeting, expressed concerns for an illuminated sign due to the residential district to the south of the subject property. Staff has conveyed this to the applicant after the PC meeting.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

Attachment 1 – Three (3) new sign concepts for September 13, 2017, PC meeting

Attachment 2 - Initial Sign Application and Exhibits (August 9, 2017, PC meeting)

Attachment 3 - Village of Hinsdale Zoning Map and Project Location

Attachment 4 - Street View of 301 W. 59th Street Sign Location

Attachment 5 - Birds Eye View of 301 W. 59th Street Sign Location

Date: 5/9/17 Project Manager: TODD MROS Designer: Leslie Sullivan

Alton at Hinsdale Apts 301 W. 58th St. Village of Hinsdale, IL 60521

Portland OR 97206 503.777.4555 800.613.4555 Fax 503.777.0220

ramsaysigns.com

9160 SE 74th Ave

Landlord Approval + Date Client Approval + Date

is intended to be installed in the accordance with the equirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper

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n the event that such exhibition occurs, Ramsay Signs Inc. expects to be reimbursed 15% of total project value in compensation for time and effort entailed in creating these plans.

rue representation.

Note: See actual color, lighting, & material samples for

Photo inlay concept - Aprx scale

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shall be adjustable on site.

on a dimmer and

All LED lighting will be

7:30am and 10:00pm

THE HOURS OF:

TIMER CONTROLLED TO ILLUMINATE BETWEEN

SIGN WILL BE

LIGHTING:

17-430-R5-P3 CONCEPT Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct a sign similar to the one embodied herein, is expressly forbidden.

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L73 Grounding and Bonding Statement for each permanently connected sign the following statement or equivalent "This sign grounding and bonding of the sign" should be either directly marked on the sign or label attached to the sign, included in I installation instructions, or provided on a separate sheet or ta shipped with the sign. is intended to be installed in the accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper

Landlord Approval + Date

Date: 5/9/17 Project Manager: TODD MROS

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Designer: Leslie Sullivan

Client Approval + Date

Brick and colors blend with building. 4'-0" overall height structure. 18.66 sq foot cabinet.

Revisions:
R5 permit): Add information about timer 6/22/17
R5-P1): Removed steel, added brick, added dimmers, all faces of copy shall be opaque, added color numbers 8/14/17
R5-P2): revise per city - blend more w/ historical bldg 8/31/17
R5-P3): add lighting options per city 9/1/17

CONCEPT 1

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TIMER CONTROLLED TO

SIGN WILL BE

LIGHTING:

ILLUMINATE BETWEEN

7:30am and 10:00pm

THE HOURS OF:

All LED lighting will be

on a dimmer and

NIGHT CONCEPT #1 - EDGE LIGHTING GRAPHICS AND DOWN LIGHTING WITHIN COLUMNS

800.613.4555 Fax 503.777.0220

Project Manager: TODD MROS Designer:

Leslie Sullivan

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Landlord Approval + Date

Client Approval + Date

Revisions:
R5 permit). Add information about timer 6/22/17
R5-P1): Removed steel, added brick, added dimmers, all faces of copy shall be opaque, added color numbers 8/14/17
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R5-P3): add lighting options per city 9/1/17

is intended to be installed in the accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign' should be either directly marked on the sign or label attached to the sign, included in the L73 Grounding and Bonding Statement for each permanently connected sign the following statement or equivalent "This sign

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installation instructions, or provided on a separate sheet or tag shipped with the sign.

17-430-R5-P3 CONCEPT

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R5-P3): add lighting options per city 9/1/17

Client Approval + Date

Landlord Approval + Date

Project Manager: TODD MROS Designer:

Leslie Sullivan

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shall be adjustable on site.

on a dimmer and

All LED lighting will be

TIMER CONTROLLED TO

SIGN WILL BE

LIGHTING:

ILLUMINATE BETWEEN

7:30am and 10:00pm

PARTMENT

THE HOURS OF:

NIGHT CONCEPT #2 - EXTERNAL UP-LIGHTING FROM LED GROUND LIGHTS

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Designer: Leslie Sullivan

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HINSDALE PARTMENT HOMES

301

Note: See actual color, lighting, & material samples for true representation.

Photo inlay concept - Aprx scale

Manufacture and install one D/F illuminated monument sign.

1 Sign cabinets (two S/F cabinets):

Rout graphics from face for 3/4" clear push-thru acrylic (back-up as required) Interior of cabinet shall be Flat White with Warm White LED grid. All aluminum construction with Dark Grey gloss paint finish.

HILLSDALE RED copy: Face of copy shall be opaque (no light) - halo/edge lighting only. Apply white/white block-out vinyl 1st surface and overlay with Poppy Red vinyl. Add small outline on face (leaving clear acrylic border). Also apply Poppy Red 230-143 vinyl 2nd surface.

WHITE copy: Face of copy shall be opaque (no light) - halo/edge lighting only. Apply white/white block-out vinyl 1st surface - White diffusor 2nd surface. Add small outline on face (leaving clear acrylic border). Interior of cabinet shall be Flat White with Warm White LED grid.

Decorative columns (one on each side of structure):

2

The side facing sign cabinet shall have no pattern. Rout pattern into three sides of column. All aluminum construction.

At the top/interior of column shall be a clear acrylic panel with diffusor film. Paint outside Dark Grey gloss finish. Paint the interior Flat/matte White. Above the clear acrylic panel shall be a Warm White LED light grid. Light shall wash down into column.

The end panels of columns shall be removable to access interior for maintenance and cleaning.

Protective "mow stripe" concrete pad: 2

4" deep structural framework with aluminum skin

Paint PMS Black 3-C

Background monument structure:

က

Concrete pad provided to protect sign. Clean finish aprx 1-1/2" above grade (max).

Install: 9

FC0 1/4" aluminum. Paint PMS 3-C BLACK

Address numerals:

4

Stud mount to base with 1/2" spacers.

6" in height

4" steel upright steel pipe trough sign structure and directly buried in concrete footing per local codes.

Brick base: 7

Aluminum frame with concrete board and brick veneer overlay by mason. Include aluminum cap with sand texture finish. Brick shall blend with building brick. VERIFY FINAL PRODUCT NUMBER.



Note: See actual color, lighting, & material samples for true representation.



Alton at Hinsdale Apts	301 W. 58th St.	Village of Hinsdale, IL	60521	
Portland OR 97206	503.777.4555	800.613.4555	Fax 503.777.0220	

	Client:	Date
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222	VIIIage of Hinsdale, IL	
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	Date:	
Hinsdala Ants	5/9/17	
IIIIIsuale Apto	Project Manager:	Landlo
f Hinsdale, IL	TODD MROS	
	Designer:	
	Leslie Sullivan	

Revisions:	R4): Concept stage - change name 5/26/17	R5): Add details to concept 6/5/17	——— R5 permit): Add information about timer 6/22	R5-P1): Removed steel, added brick, added dir	copy shall be opaque, added color numbers 8/	
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ALL OF	marked on the sign or label attached to the sign, included in the
39	installation instructions, or provided on a separate sheet or tag
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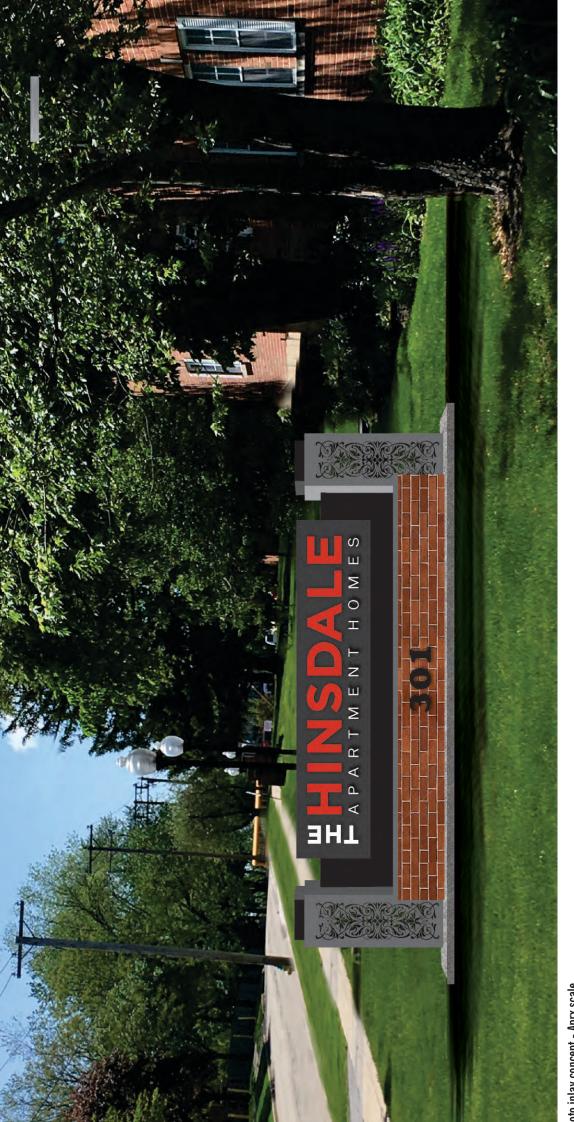


Photo inlay concept - Aprx scale

Note: See actual color, lighting, & material samples for true representation.

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Client Approval + Date		Landlord Approval + Date			
Date:	5/9/17	Project Manager:	TODD MROS	Designer:	Leslie Sullivan

Revisions:	R4): Concept stage - change name 5/26/17	R5): Add details to concept 6/5/17	R5 permit): Add information about timer 6/22/17	R5-P1): Removed steel, added brick, added dimmers, all faces of	copy shall be opaque, added color numbers 8/14/17	
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Night concept



DESIGN: Leslie S

SALES

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PAGE # 3

Number of pages: 3 17-430-R5-P1

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R5 permit): Add information about timer 6/22/17
R5-P1): Removed steel, added brick, added dimmers, all faces of copy shall be opaque, added color numbers 8/14/17

Revisions:

Client Approval + Date

Landlord Approval + Date

Project Manager: TODD MROS

Leslie Sullivan

Designer: Date: 5/9/17

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HOMES



VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor
Name: Same As Contractor Address:	Name: Acand Floct (1 Sign, Inc. Address: 2252 Cornell Ave. City/Zip: Montgome (4, IL 60538) Phone/Fax: 630) 850-0553/ E-Mail: Donge The good electric con. Contact Name: Donge Renson
ADDRESS OF SIGN LOCATION: ZONING DISTRICT: Please Select One SIGN TYPE: Please Select One ILLUMINATION Please Select One	
Sign Information: Overall Size (Square Feet): 18.8 (24" x 9"4 Overall Height from Grade: 9"4" Ft. Proposed Colors (Maximum of Three Colors): October Colors Dead	Site Information: Lot/Street Frontage:
and agree to comply with all Village of Hinsdale Ordin	and the attached instruction sheet and state that it is correct inances. Date
FOR OFFICE USE ONLY – DO NOT WRITE BE	CLOW THIS LINE
Total square footage: 0 x \$4.00 = Plan Commission Approval Date: A	



Photo inlay concept - Aprx scale Note: See actual color, lighting, & material samples for true representation.

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OTHER ALES HOWERONE PRINTING PRINTING
DESIGN: Ledie S
DATE: 6/20/17
DATE:

PAGE # 2 Number of pages: 3 17-430-R5-P

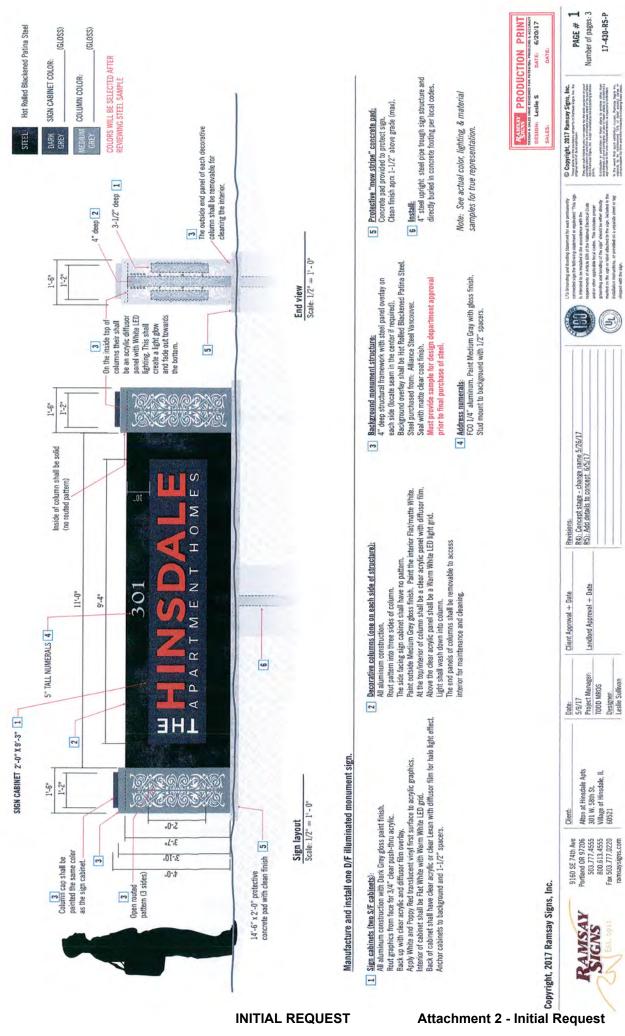
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Revisions: R4): Concept stage – change name 5/26/17 R5): Add details to concept 6/5/17

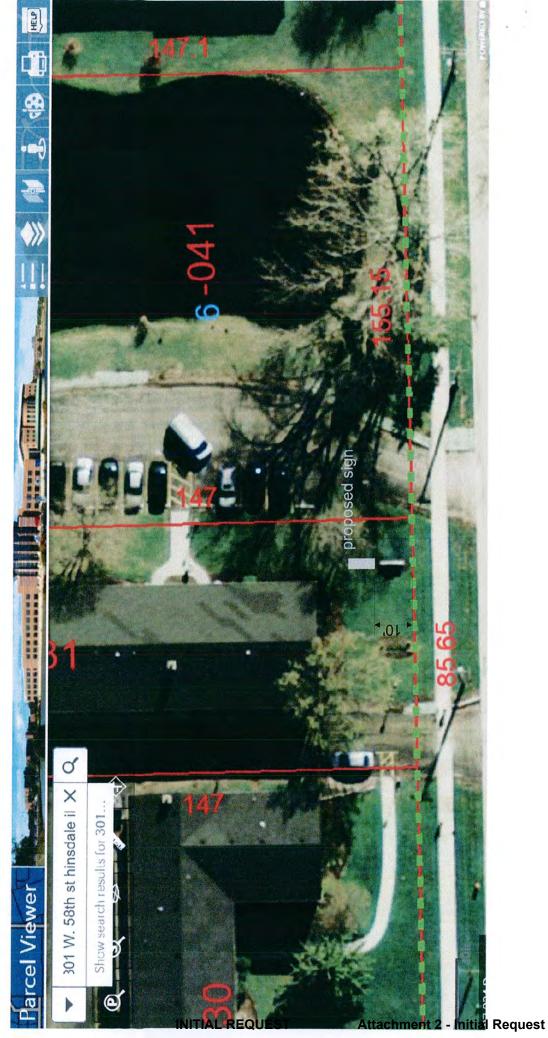
Landlord Approval + Date Client Approval + Date Date: 5/9/17 Project Manager: TODD MROS Designer: Leslie Sullivan

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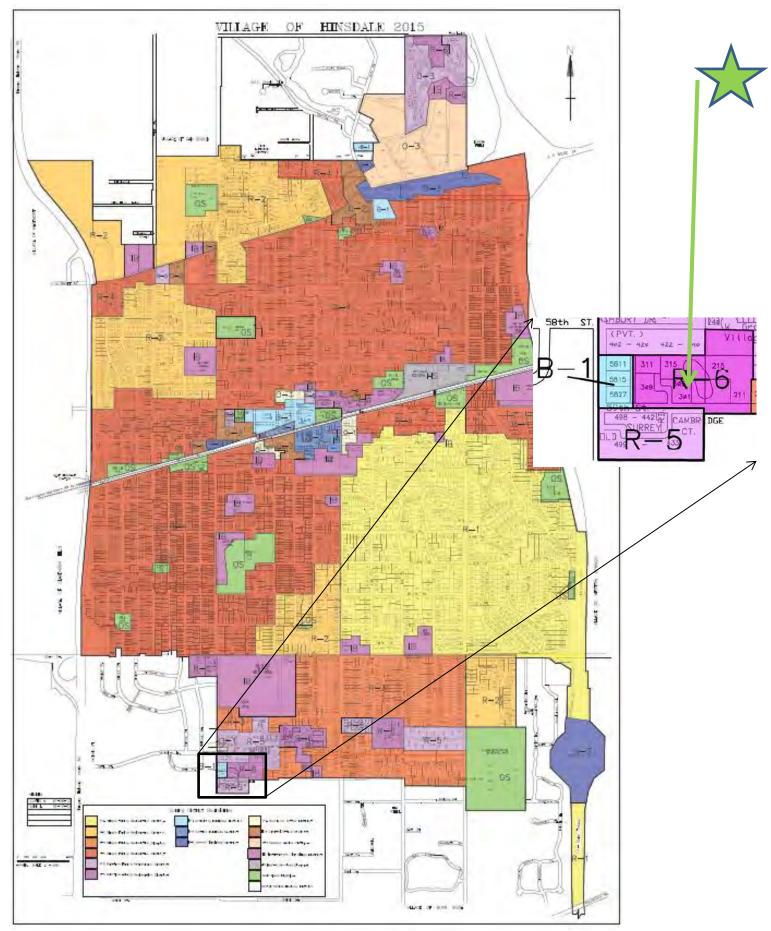
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Designer: Leslie Sullivan

Attachment 3: Village of Hinsdale Zoning Map and Project Location





Street View of 301 W. 59th Street (facing northeast) Attachment 4:

Proposed Sign Location



W Beth St Attachment 5

Birds Eye View of 301 W. 59th Street (facing north) Attachment 5:

Proposed Sign Location



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: Scheduling of Public Hearing for Special Use Permit Application to allow for an Animal

Humane Society in the IB Institutional Buildings District and concurrent Exterior

Appearance and Site Plan Review - Case A-33-2017

Hinsdale Humane Society – 21 Salt Creek Lane (former Robert Crown Center)

Summary

This Plan Commission (PC) Agenda item is to schedule the Public Hearing for the October 11, 2017, PC meeting. The applicant, Mr. Michael Matthys, the architect on behalf of the Hinsdale Humane Society (HHS), is requesting approval for a Special Use permit and concurrent Exterior Appearance and Site Plan application in the former Robert Crown Center at 21 Salt Creek Lane, to allow for an animal humane society in the IB Institutional Buildings District.

Request and Analysis

HHS is requesting a Special Use permit to occupy an existing 15,300 square foot, 22-foot tall, 1-story building to operate a nonprofit animal humane society. The HHS was founded in 1953, and is presently located at 22 N. Elm Street. Due to the limited space of the current location, the shelter staff and administration staff are separated at two locations. The new location would unify the staff, provide for additional kennel space for more intake and adoptions, and increase room for added exams and treatments for the animals. A floorplan and program space allocation chart is included in the application.

The subject property is located at the end of the cul-de-sac on Salt Creek Lane. The lot is 101,377 SF (approximately 2.3 acres) in area with an existing building coverage of 16,841 SF, which is approximately 17 percent of the subject property. The F.A.R is 15 percent, and the proposed site plan illustrates the removal of a large section of the rear parking lot for additional open green space.

The loading area, refuse enclosure and new outdoor dog walk area with privacy fence are shown in the rear of the building. A new front entrance walk path, parking spaces and landscaping is planned for the front of the property. Overall, the site plan will gain an additional 8,200 SF of green space, which is an increase of approximately 17 percent of total green space.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

The existing building envelope and height will not change. Per the applicant, the façade of the building will be redeveloped with new exterior materials including high quality masonry, stone and glass to tie into nearby structures of the subject property. A proposed colored elevation of all four sides of the building is included in the application, and notes the use of new stone veneer, cast stone, brick and panel system.

The subject property is located in the IB Instructional Buildings District, and is surrounded by the R-5 Multiple Family Residential District to the north and west (but separated by a creek), R-6 Multiple Family Residential District to the east, and O-3 General Office District to the south.

Process

Within forty five (45) days following the conclusion of the public hearing, the PC shall transmit to the Village Board its recommendation in the form specified by subsection <u>11-103(H)</u>. The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

On September 5, 2017, the applicant presented the request to the Village Board as a discussion item to address any potential concerns. The Village Board recommended that the applicant reach out to the area residents for information, feedback, and potentially hosting a neighborhood meeting if there is interest.

Attachments:

Attachment 1 – Special Use Permit and Exterior Appearance/Site Plan Applications

Attachment 2 – Zoning Map Location of 21 Salt Creek Lane

Attachment 3 – Birds Eye View of 21 Salt Creek Lane

Attachment 4 – Street View of 21 Salt Creek Lane



VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant	Owner
Name:	Name:
Address:	Address:
City/Zip:	City/Zip:
Phone/Fax: ()/	Phone/Fax: ()/
E-Mail:	E-Mail:
Others, if any, involved in the project (i.e. A	rchitect, Attorney, Engineer)
Name:	Name:
Title:	Title:
Address:	Address:
City/Zip:	City/Zip:
Phone/Fax: ()/	Phone/Fax: ()/
E-Mail:	E-Mail:
Disclosure of Village Personnel : (List the name of the Village with an interest in the owner of record, the application, and the nature and extent of that interest)	e, address and Village position of any officer or employee he Applicant or the property that is the subject of this
1)	
2)	
3)	

II. SITE INFORMATION

Address of subject property:	
Property identification number (P.I.N. or tax number	
Brief description of proposed project:	
General description or characteristics of the site: _	
Existing zoning and land use:	_
Surrounding zoning and existing land uses:	
North:	South:
East:	West:
Proposed zoning and land use:	
Please mark the approval(s) you are seeking an standards for each approval requested:	nd attach all applicable applications and
☐ Site Plan Approval 11-604	☐ Map and Text Amendments 11-601E
☐ Design Review Permit 11-605E	Amendment Requested:
☐ Exterior Appearance 11-606E	☐ Planned Dayslanment 11 602E
☐ Special Use Permit 11-602E	□ Planned Development 11-603E
Special Use Requested:	 Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

	Minimum Code	
	Requirements	Proposed/Existing Development
Minimum Let Area (e.f.)		
Minimum Lot Area (s.f.)		
Minimum Lot Depth		
Minimum Lot Width		
Building Height		
Number of Stories		
Front Yard Setback		
Corner Side Yard Setback		
Interior Side Yard Setback		
Rear Yard Setback		
Maximum Floor Area Ratio		
(F.A.R.)*		
Maximum Total Building		
Coverage*		
Maximum Total Lot Coverage	*	
Parking Requirements		
Parking front yard setback		
Parking corner side yard		
setback		
Parking interior side yard		
setback		
Parking rear yard setback		
Loading Requirements		
Accessory Structure		
Information		
* Must provide actual square footage	ge number and percentage.	'
·		
Where any lack of compliance is shown, s	state the reason and explain the V	illage's authority, if any, to approv



Must be accompanied by completed Plan Commission Application

SPECIAL USE PERMIT CRITERIA

Address of proposed request:		
Proposed Special Use request:		
Is this a Special Use for a Planned Development? requires a <i>completed</i> Planned Development Application)	No	Yes (If so this submittal also
REVIEW CRITERIA		

Section 11-602 of the Hinsdale Zoning Code regulates Special use permits. Standard for Special Use Permits: In determining whether a proposed special use permit should be granted or denied the Board of Trustees should be guided by the principle that its power to amend this Code is not an arbitrary one but one that may be exercised only when the public good demands or requires the amendment to be made. In considering whether that principle is satisfied in any particular case, the Plan Commission and Board of Trustees should weigh, among other factors, the below criteria Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

FEES for a Special Use Permit: \$1,225 (must be submitted with application)

- 1. Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established.
- 2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

3.	No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations
4.	Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
5.	No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets.
6.	No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.
7.	Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.
8.	Special standards for specified special uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district.

9.	standards have been met, the Plan Commission shall consider the following:
	Public benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.
	Alternate locations. Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be
	more appropriate than the proposed site.
	Mitigration of only one imports. Whether and to what output all stone passible bayes been taken
	Mitigation of adverse impacts. Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.



COMMUNITY DEVELOPMENT DEPARTMENT EXTERIOR APPEARANCE AND SITE PLAN REVIEW CRITERIA

Address of proposed request:	

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

PLEASE NOTE If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:
Standard Application: \$600.00
Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

- 1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
- 2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
- 3. *General design*. The quality of the design in general and its relationship to the overall character of neighborhood.

4. General site development. The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible. 5. Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings. 6. Proportion of front façade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related. 7. Proportion of openings. The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related. 8. Rhythm of solids to voids in front facades. The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related. 9. Rhythm of spacing and buildings on streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related. 10. Rhythm of entrance porch and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related. 11. Relationship of materials and texture. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

- 12. Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related. 13. Walls of continuity. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related. 14. Scale of building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related. 15. Directional expression of front elevation. The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character. 16. Special consideration for existing buildings. For existing buildings, the Plan Commission and
- the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining is the application <u>does not</u> meet the requirements for Site Plan Approval. Briefly describe how this application <u>will not</u> do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1.	The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
2.	The proposed site plan interferes with easements and rights-of-way.
3.	The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
4.	The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
5.	The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
6.	The screening of the site does not provide adequate shielding from or for nearby uses.
7.	The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
8.	In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
9.	The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.
11. The proposed site plan does not provide for required public uses designated on the Official Map.
12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Board of Trustees
Department of Community Development
Village of Hinsdale
19 East Chicago Avenue
Hinsdale, IL 60521

Re: Hinsdale Humane Society

Dear Village Board of Trustees,

The Hinsdale Humane Society is in the process of purchasing property at 21 Salt Creek Lane in Hinsdale, Illinois to remodel the existing building into an animal shelter, administration offices and education center. We would like to be placed on the September 5th Village Board meeting agenda to present our concept to receive feedback and direction. HHS would also like to take this opportunity to introduce our new Director, Tom Van Winkle.

The property represents a transformational opportunity for HHS to better deliver on its mission by increasing its animal adoptions, expand humane education programming, bring together our shelter and administrative staff (currently in separate locations) and provide a modern aesthetic and space for staff, volunteers and the community.

Moving forward we will be requesting a special use from the Village of Hinsdale Board to operate an Animal Shelter / Humane Society at the proposed property within the Institutional Buildings District. We are scheduled to appear at the plan commission meeting on September 13th to schedule a public hearing for the October plan commission meeting. I have included a summary of the proposed project below along with attachments including; program summary sheet, proposed floor plan, site plan, landscape plan, and exterior elevations.

The Property:

- Lot size is 101,377 square feet, approximately 2.3 acres
- Bordered by Salt Creek on two sides, located within a flood plain
- Built in the mid 1970's, poured concrete construction
- Approximately 15,000 square feet on the first floor

HHS' Vision for a New Facility:

- Become the destination animal shelter and welfare center for the western suburbs of Chicago, acting as a community resource for a pet loving public
- Provide a modern and comfortable space for animals, a welcoming environment for public viewing, following guidelines for Shelter Standards of Care
- Increase kennel space relative to current facility to allow more animal intake, care and adoptions
- Dedicated space for proper animal exam, treatment and care of animals taken in for adoption (vet services)
- Improve/increase programming (fee-based and free), particularly humane education and pet therapy provided at the facility (vs. offsite locations today)
- Unify our staff; currently split between two sites (shelter staff and admin staff) under one roof providing proper office, meeting and break space

Exterior Improvement Summary

- Enhanced Landscaping.
- Removal of existing bus parking impervious area to the rear of the property.
- Addition of parking spaces in the front and side yard of the building oriented to the front entry.

- Added foundation landscape planting along building at entrance drive. (currant drive runs into building with no landscaping.
- Walking path, donor paver plaza, bike rack, and pedestrian benches.
- Fenced in outdoor play yard.
- New grade mounted signage at drive entrance.
- Updated masonry façade materials with new windows coordinating with updated program layout.
- New relocated trash enclosure.

More about HHS:

Hinsdale Humane Society was founded in 1953 as a nonprofit organization dedicated to the care and adoption of homeless animals. HHS advocates for education and public service to encourage the compassionate treatment of animals and to prevent their suffering and neglect. A voice for companion animals that are completely dependent on people for their care, HHS promotes the belief that animals are entitled to both our respect and our protection. As an active member of the animal welfare community for 64 years, HHS operates a busy 16-dog kennel and 16-cat condo animal shelter in Hinsdale, Illinois, a suburb of Chicago. Each year, HHS facilitates adoption of approximately 900 animals and returns over 100 lost animals to their families through stray animal services in the village and the 9 surrounding suburbs. Additionally, HHS saves 350-400 animals, mostly dogs, through its transfer program where HHS takes in animals, which would otherwise be euthanized in "high kill" shelters. HHS is known for its outstanding shelter care for animals. We are a "no kill" shelter which takes pride in our exemplary live release rate. We also focus on people, connecting the health and well-being of humans and their communities back to their pets. In this way, HHS serves as an integral member of the community-at-large. By offering outreach, education, obedience classes and support for people of all ages, we act as a resource for pet lovers throughout the broader community. Additionally, HHS has a very robust pet therapy program, with over 50 volunteers who improve the lives of seniors and children through programs at schools, libraries, nursing homes, hospitals, and rehabilitation centers.

We look forward to hearing feedback from the Village board on the future plans to relocate our existing services to an updated state of the art regional humane society. Please let me know if any additional information is required.

Sincerely,

Michael Matthys Linden Group Architects



HINSDALE HUMANE SOCIETY PROGRAM/SPACE NEEDS ASSESSMENT APRIL 28, 2017 MEETING

LL PROGRAM SPACES	8,816 sf
	1,883 sf
Van Parking	360 sf
Allowance @ 40%	435 sf
Restroom M&F (1 person each)	128 sf
oordinator Office	100 sf
eady Room (Break/Locker/Log-In Area)	120 sf
reatment Room	100 sf
lure Room	150 sf
Room	100 sf
tion Room	100 sf
m	100 sf
zer	64 sf
ea (2) Includes work area in front of each sink (4x7)	56 sf
rea (2) Includes work area in front of each sink (5x7)	70 sf
<u>T</u>	
	1,558 sf
Allowance @ 75%	668 sf
at Kennels (Min 36) 12 stacks of 3	120 sf
og Kennels (Min 24)	360 sf
nnels (4 Dogs + 2 Cat Stacks)	80 sf
Drop Off Kennels (6 Dogs + 2 Cat Stacks)	110 sf
ng Cat Kennels (12) @ 4 stacks of 3 each at 10sf/stack	40 sf
ng Dog Kennels (12) @ 15 sf each	180 sf
	2,700 sf
Allowance @ 50%	$\frac{900 \text{ sf}}{2.700 \text{ sf}}$
ooms M&F (2 persons each)	250 sf
torage	100 sf
Iulti-Purpose Room (direct after-hour access desired)	600 sf
Get Acquainted" Rooms (Min. 5) 64 sf each	320 sf
splay Pods (Dogs & Cats 5-6 units each)	180 sf
ng Area (10 – 15 seats)	150 sf
esk (2 person with workspace)	200 sf
	• • • •
	2,675 sf
Allowance @ 40%	765 sf
ms M & F (2 persons each)	250 sf
upplies/Storage Room	120 sf
- Kitchenette	150 sf
 Capable of seating 14 people + Guest Space 	400 sf
Office Partitions (6) $50 - 80$ sf each	480 sf
es (3) 100 – 120 sf each	360 sf
= fice (1) 150 sf	150 sf
es (3) Offic	100 - 120 sf each ce Partitions (6) $50 - 80$ sf each

VICINITY MAP NOT TO SCALE LEGEND

₩ HEADWALL CABLE TV PEDESTAL TRAFFIC LIGHT POLE GAS VALVE CURB INLET TRAFFIC CONTROL BOX SG GAS METER STORM INLET TRAFFIC CONTROL VAULT GAS VALVE VAULT STORM MANHOLE TRAFFIC LIGHT GAS METER FLARED END SECTION TELEPHONE PEDESTAL PIPELINE MARKER CLEANOUT TELEPHONE MANHOLE MONITORING WELL SANITARY MANHOLE PAINTED TELEPHONE LINE POST INDICATOR VALVE HOSE BIB FIBER OPTIC CABLE LINE WELL HEAD B-BOX ANCHOR FLAGPOLE HYDRANT GUY POLE MAILBOX WATER VALVE UTILITY POLE SIGN WATER VALVE VAULT POWER POLE POST PAINTED WATER LINE LIGHT STANDARD PUBLIC PAY TELEPHONE SPRINKLER HEAD ELECTRIC MANHOLE PARKING METER ELECTRIC PEDESTAL WETLAND MARKER FOUND DISK IN CONCRETE ELECTRIC TRANSFORMER PAD BASKETBALL HOOP ⊕ FBD FOUND BRASS DISC AIR CONDITIONER PAD/UNIT 🛛 FOUND ROW MARKER ELECTRIC METER HANDHOLE O FIR FOUND IRON ROD W/ TRUNK SIZE ELECTRICAL JUNCTION BOX O FRS FOUND RAILROAD SPIKE ELECTRIC VAULT O FPK FOUND PK NAIL ELECTRIC SERVICE OUTLET BOX O FMG FOUND MAG NAIL PAINTED ELECTRIC LINE +FCC FOUND CUT CROSS TRANSFORMER PAD O FIP FOUND IRON PIPE O FIB FOUND IRON BAR SOIL BORING HOLE W/ NUMBER ▲TP SET TRAVERSE POINT SPK SET PK NAIL ● SMG SET MAG NAIL QUARTER SECTION CORNER SIP SET IRON PIPE

PROPOSED LOT LINE EX. & PRO. CENTERLINE ---- EXISTING EASEMENT LINE ----- PROPOSED EASEMENT LINE — --- SECTION LINE —O—O—O— EXISTING FENCELINE (CHAIN LINK) EXISTING FENCELINE (WOOD) -X-X-X-X- EXISTING FENCELINE (WIRE) RAILROAD TRACKS -- CATV------ UNDERGROUND CABLE TV UNDERGROUND CABLE TV(ATLAS INFO.) — E — UNDERGROUND ELECTRIC ——(E)——— UNDERGROUND ELECTRIC(ATLAS INFO.) — T — UNDERGROUND TELEPHONE —— GAS MAIN(ATLAS INFO.) OVERHEAD WIRES UNPAVED ROAD

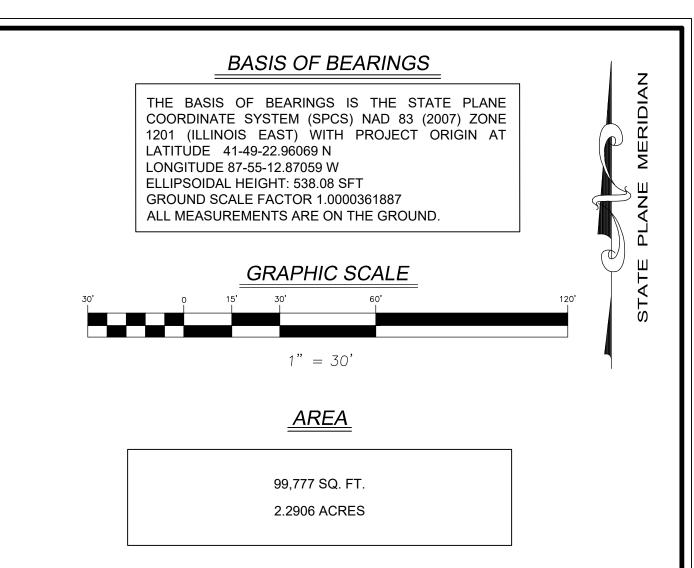
FOR ROBERT CROWN CENTER

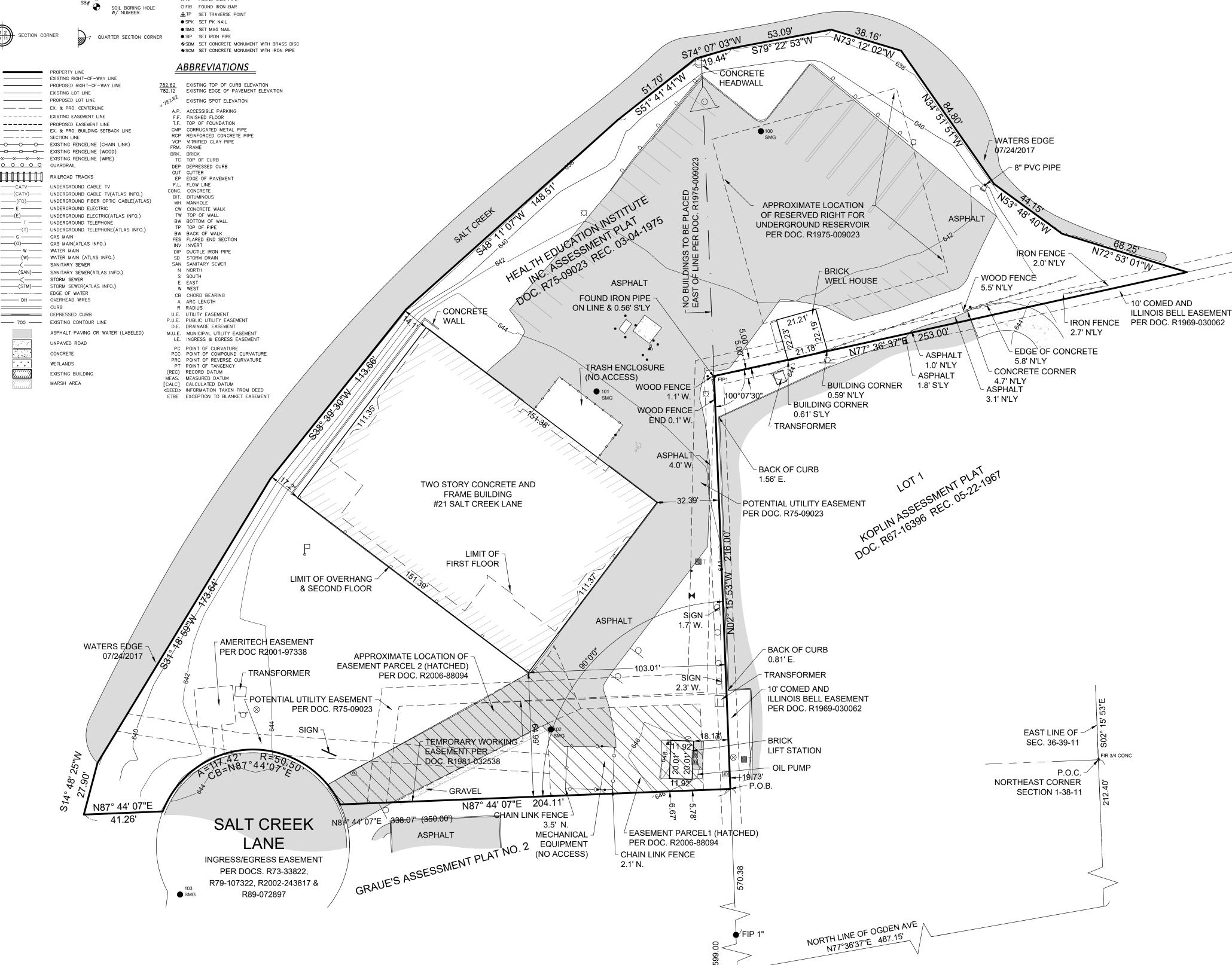
ALTA/NSPS LAND TITLE SURVEY

HINSDALE, IL A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 39 NORTH,

RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN: THENCE SOUTH ON THE SECTION LINE, 212.40 FEET TO THE NORTH RIGHT OF WAY OF THE OLD PLANK ROAD (NOW KNOWN AS OGDEN AVENUE); THENCE SOUTHWESTERLY ON SAID NORTH RIGHT OF WAY, 487.15 FEET; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SAID SECTION 1 AND 36, 1,599,00 FEET TO THE PLACE OF BEGINNING OF SAID TRACT; THENCE CONTINUING NORTH ON THE LAST MENTIONED LINE, 216.00 FEET; THENCE NORTHEASTERLY AND PARALLEL TO THE SAID NORTH RIGHT OF WAY OF OGDEN AVENUE, 253.00 FEET; THENCE NORTHWESTERLY, WESTERLY, AND SOUTHWESTERLY ALONG THE WATERS EDGE OF THE SOUTH SIDE OF THE SALT CREEK AS IT WAS ON SEPTEMBER 12, 1971 TO A POINT THAT IS 350 FEET, MORE OR LESS, DUE WEST FROM THE PLACE OF BEGINNING; THENCE DUE EAST TO THE BACK OF A CONCRETE CURB WITH A 50.5 FOOT RADIUS; THENCE NORTHEASTERLY, EASTERLY, AND SOUTHEASTERLY ALONG THE BACK OF SAID CONCRETE CURB TO A POINT THAT IS ON THE SAID DUE EAST LINE; THENCE DUE EAST TO THE PLACE OF BEGINNING, DUPAGE COUNTY, ILLINOIS.





GENERAL NOTES

- 1. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
- 2. DO NOT SCALE DIMENSIONS FROM THIS PLAT.
- 3. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
- 4. MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
- 5. NO UNDERGROUND UTILITIES, OR DRAIN TILES, IF ANY EXIST, SHOWN HEREON.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
- 8. CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- 9. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR
- 10. A CUF **PREPAI**
- 11. TWO F WHILE **NETWC TOPOG**

NOTES FROM SCHEDULE B

PER FIRST CHICAGO TITLE INSURANCE COMPANY ORDER NO. 1401-008984151-D2 EFFECTIVE DATE: FEBRUARY 13, 2017; PRINTED DATE: MARCH 6, 2017 PROVIDED BY THE CLIENT.

	EXCEPTIONS	PLOTTED HEREON
0	HEALTH EDU. INSTITUTE INC. ASS. PLAT - DOC R75-09023	(h)
N	EASEMENT FOR SAN. DIST DOC. R72-9137	(a)
Q	EASEMENT FOR COMED AND IL. BELL - DOC. R69-30062	YES
1	EASEMENT - DOCS. R73-33822 & R79-107322	YES
Н	EASEMENT TO SANITARY DIST - DOC. R81-32538	YES
J	EASEMENT - DOC. R89-072897	YES
U	EASEMENT TO AMERITECH - DOC. R2001-097338	YES
V	EASE. TO FLAGG CREEK REC. DIST DOC. R2006-088094	(g)
Р	POTENTIAL EASEMENT PER FOUND UTILITY POLES	(b)

ALL OTHER SCHEDULE B ITEMS ARE NON-POTTABLE CLARIFICATION STATEMENTS - TAKEN FROM ALTA STANDARDS

- a. the location cannot be determined from the record document;
- b. there was no observed evidence at the time of the fieldwork;

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS COUNTY OF DUPAGE)

ROBERT CROWN CENTER FOR HEALTH EDUCATION CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEM 5 OF TABLE A THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

SCALE:

1" = 30'

THE FIELD WORK WAS COMPLETED ON JULY 24, 2017. DATED THIS 3RD/DAY/QF/ANGUST, A.D., 2017.

CURRENT TITLE COMMITMENT WAS PROVIDED FOR SURVEYOR'S USE AT THE TIME OF EPARATION OF THIS SURVEY. SEE "NOTES FROM SCHEDULE B" SHOWN HEREON FOR SPECIFICS. O FOOT CONTOUR LINES SHOWN HEREON WERE CREATED FROM POINT ELEVATIONS OBTAINED ILE PERFORMING THE FIELD SURVEY. THE CONTOUR ELEVATIONS ARE TIED INTO TRIMBLE VRS WORK WHICH IS ON THE NAVD88 DATUM. THE CONTOURS ARE NOT TO BE USED FOR DETAILED POGRAPHIC DESIGN. THIS SURVEY DOES NOT CONSTITUTE A TOPOGRAPHIC SURVEY.	 c. blanket easement; d. it is not on, or does not touch, the surveyed property; e. limits access to an otherwise abutting right of way; f. the documents are illegible; g. indications that it may have been released or otherwise terminated. h. not all items listed in exception have defined locations and thus are non plottable; or are plotted in approximate location hereon from scale 	CHARLES W. BARTOSZ ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188 MY LICENSE EXPIRES ON NOVEMBER 30, 2018. V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2019. CBARTOSZ@V3CO.COM	SURVEYOR STATE OF ILLINOIS D. 184000902
PREPARED FOR:	REVISIONS NO. DATE DESCRIPTION	ALTA/NSPS LAND TITLE SURVEY	Project No: 17194



Surveyors

7325 Janes Avenue, Suite 100 Woodridge, IL 60517 630.724.9200 voice 630.724.0384 fax v3co.com

ROBERT CROWN CENTER FOR HEALTH EDUCATION 21 SALT CREEK LANE HINSDALE, IL 60521 630-325-1900

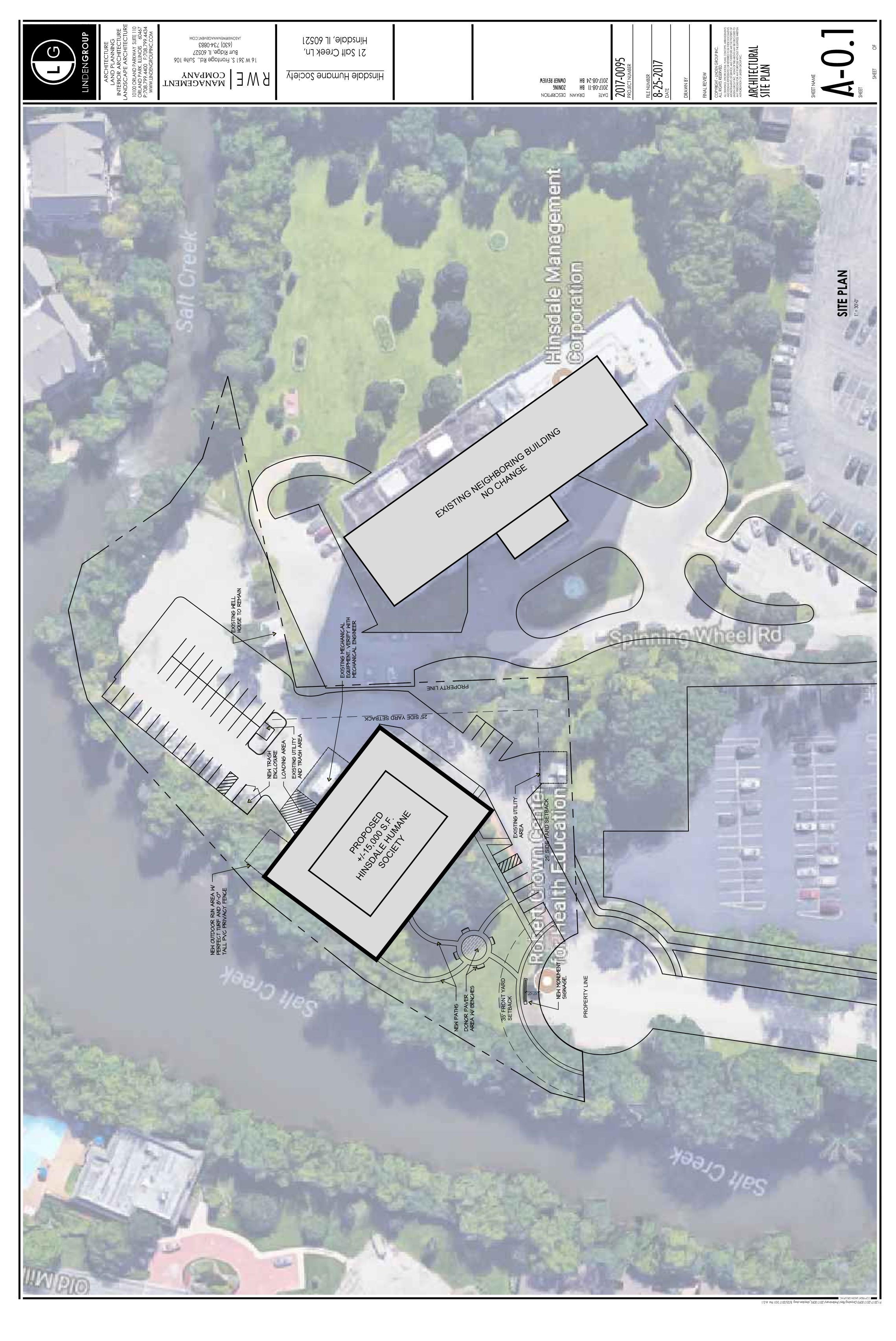
FIELD WORK COMPLETED: 07/24/17

ROBERT CROWN CENTER - HINSDALE, IL DRAFTING COMPLETED: PROJECT MANAGER: CWB 08/02/17 DRAWN BY: EJM

CHECKED BY: CWB

Group No: VP01.1 SHEET NO.

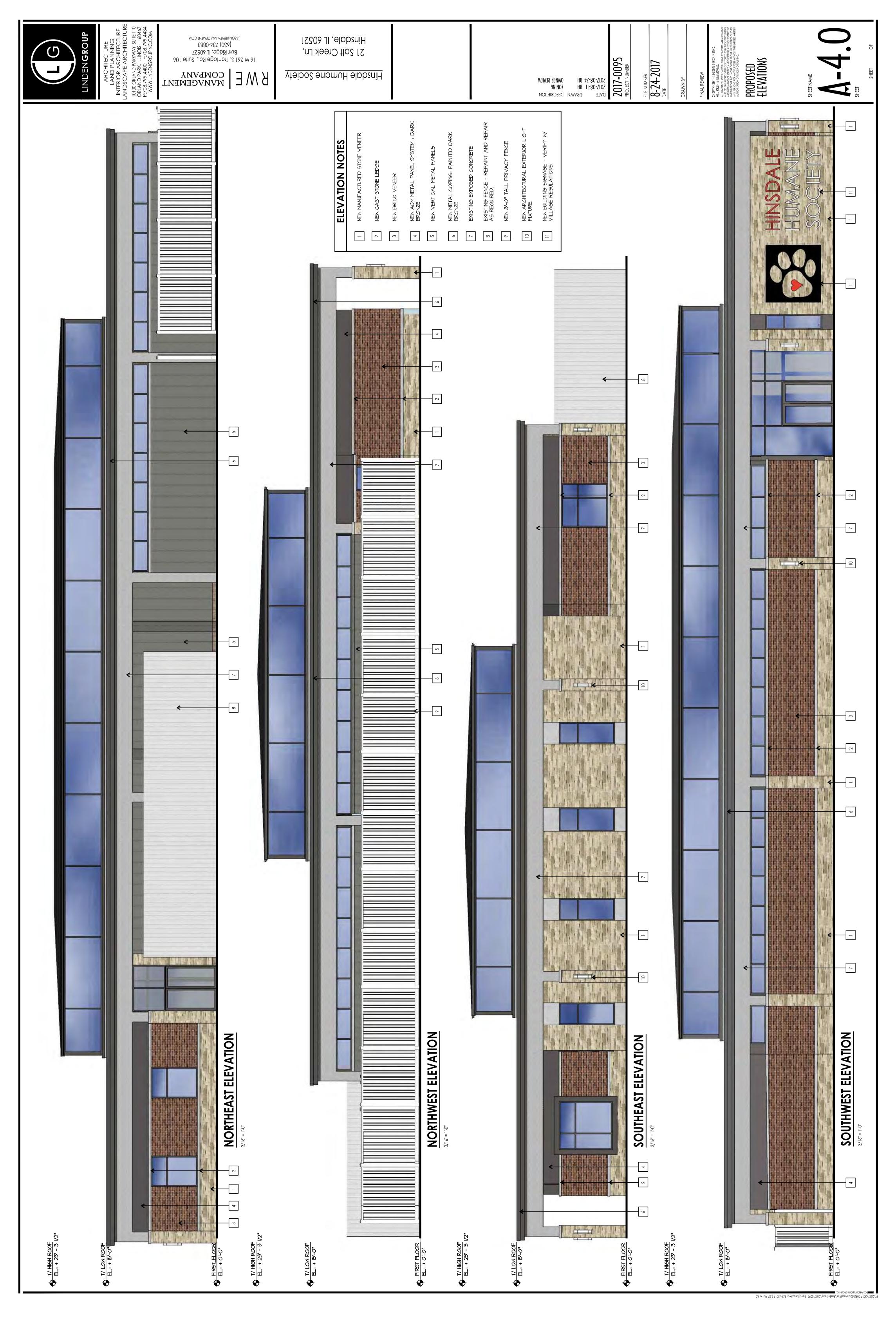
Attachment 1



145 COMMERCE DRIVE, SUITE A GRAYSLAKE, ILLINOIS 60030 PHONE (847) 223-4804 EMAI NFO@EA-LTD.COM PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003220 EXPIRES: 04/30/2019 LANDSCAPE 08/25/17 00.000 21 Salt Creek Lane Hinsdale, Illinois ENGINEERING ERIKSSON ASSOCIATES, LTD PLAN Description 7 **2OCIE. Expiration Date HINSDALE HUMANE** Date esign By: ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISFIGURED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM. QTX 25 QTY 195 86 141 26 46,673 ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC.. SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES. Note: The exact location of all utilities shall be verified the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892—0123 THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC.. WHICH IS DAMAGED DURING PLANTING OPERATIONS. 917 10 10 14 12 12 12 12 12 12 12 ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES. PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THE LANDSCAPE PLAN. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL TAGS AND ROPES REMOVED. <u>SIZE</u> 24" HT. 24" SPREAD 36" HT. QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER J.U.L.I.E. <u>SIZE</u> 1 GAL. 11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS. 2 COND.

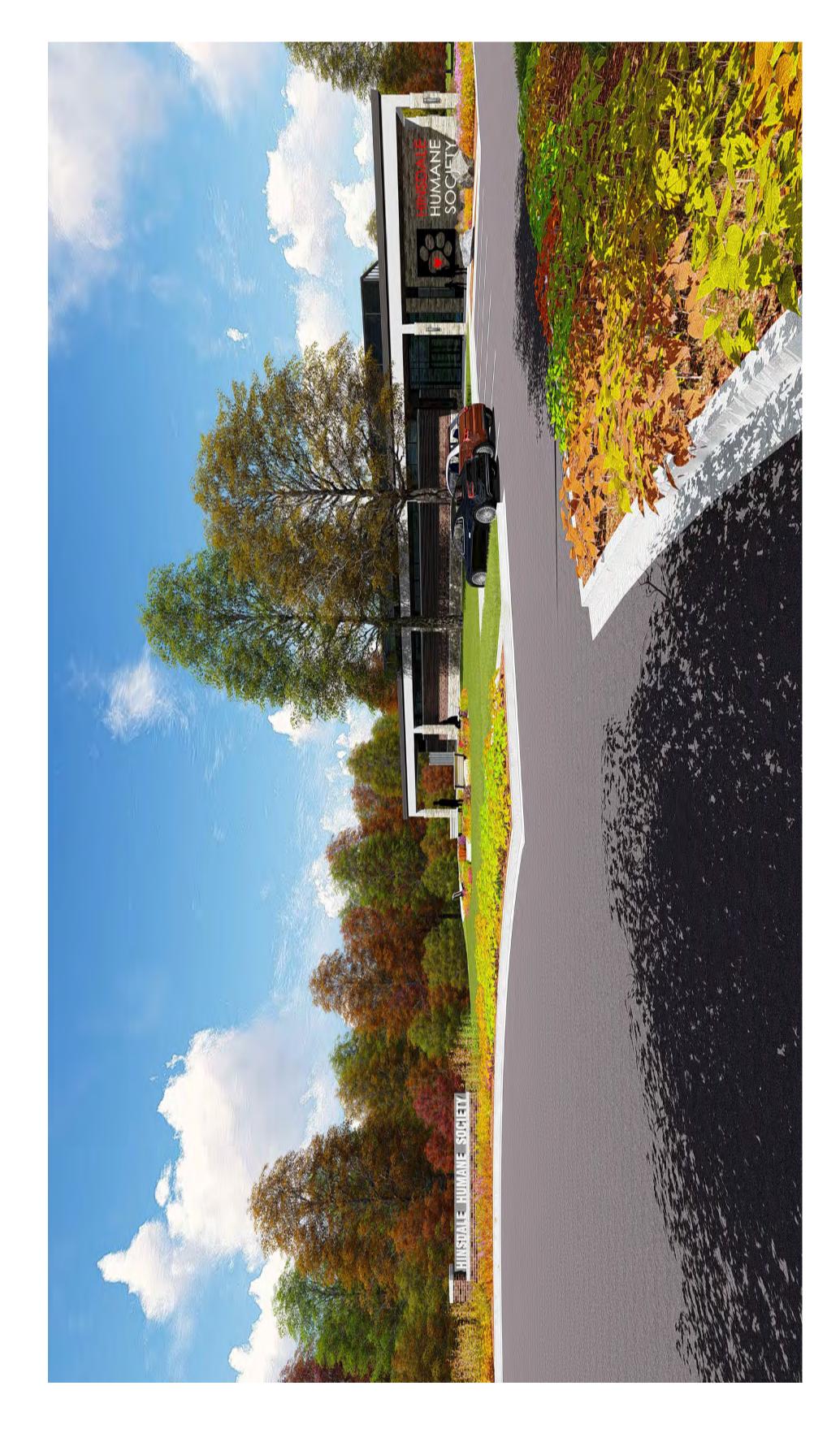
B & B
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#5
B & B 2,826 SF COND. CONT. COND. CONT. CONT. CONT. SOD CONT. 314 SF 27,513 210 SF AND THE LANDSCAPE ARCHITECT HAS THE RIGHT 642 SF 14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE. DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY. BOTANICAL NAME / COMMON NAME
COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER
RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT
ROSA X 'FLOWER CARPET CORAL' / ROSE
SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE
SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC CLUMPS AND DEBRIS. LANDSCAPE NOTE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS. BOTANICAL NAME / COMMON NAME
GAILLARDIA X GRANDIFLORA 'KOBOLD' / BLANKETFLOWER
HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY
NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT
RUDBECKIA FULGIDA 'GOLDSTRUM' / CONEFLOWER
TURF SOD / BLUEGRASS SOD
VINCA MINOR 'BOWLES BLUE' / DWARF PERIWINKLE · WHITE OAK / GREENSPIRE LITTLELEAF LINDEN / COMMON NAME VELVET' / BOXWOOD 1 'BROADMOOR' / BROADMOOR JUNIPER 1S 'WOODWARDII' / WOODWARD ARBORVITAE SITE MATERIAL SCHEDULE BOTANICAL NAME / COMMON NAME CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER DECORATIVE MULCH 21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL 22. LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF BOTANICAL NAME / COMMON NAME
CELTIS OCCIDENTALIS / COMMON HACKBERRY
QUERCUS BICOLOR / SWAMP WHITE OAK
TILIA CORDATA 'GREENSPIRE' / GREENSPIRE I MUST MEET INDUSTRY STANDARDS WORKMANSHIP. CONTRACTORS MUST VERIFY ALL BOTANICAL NAME / CA BUXUS X 'GREEN VEL JUNIPERUS SABINA 'BI THUJA OCCIDENTALIS ' ALL MATERIAL MATERIAL OR V PLANT SCHEDULE 23. REMOVE ALL 20. LANDSCAPE 329301-03 UNDISTURBED SUBGRADE. TEST PLANTING BED FOR PROPER DRAINAGE. ALERT LANDSCAPE ARCHITECT IF THERE ARE ANY CONCERNS. 2" DEEP MULCH. WORK MULCH UNDER BRANCHES.RAISE PLANT BED 2" ABOVE FINISH GRADE. PREPARE ENTIRE PLANT BED TO A 6 MIN. DEPTH WITH AMENDED TOPSOIL. ANNUAL, PERENNIAL, & GROUNDCOVER DETAIL 17. 13. 10. 15. 16. 19. SET PLANTS AT SAME LEVEL AS GROWN IN CONTAINER. 18. 12. CANOPY TREES
CEL OCC
QUE BIC
TIL GRE 5 ø. EVERGREEN BUX GR2 JUN BRO THU WOO GROUND C GAI KOB HEM ORO NEP WAL RUD G19 TUR SOD DECIDUOU COT ACU RIB GRE ROS FL3 SPI SPI SYR MEY GRASSES CAL KAR EXISTING NEIGHBORING BUILDING ကြ 329333-01 BACKFILL PIT WITH PLANTING PIT BACKFILL SOIL. SET ROOTBALL AT OR SLIGHTLY ABOVE, FINISHED GRADE. EXISTING WELL HOUSE TO REMAIN PREPARE A 3" MIN. SAUCER AROUND PIT. DISCARD EXCESS EXCAVATED MATERIAL. LIMIT PRUNING TO DEAD AND BROKEN BRANCHES AND SHOOTS. EXISTING FENCED UTILITY AREA TO REMAIN (37) GAI KOB (1)CEL LT (27,513 sf) PROPERTY LINE ANTING DETAIL SE. SIDE VARD SETBACK EXISTING UTILITY ENCLOSURE TO REMAIN EXISTING FENCED UTILITY AREA TO REMAIN (6)SYR CUT ANY SYNTHETIC CORDS AROUND ROOTBALL AND TRUNK. SHRUB PL MULCH UNDISTURBED SUBGRADE (6)SYR (8)THU 25' SIDE YARD SET \circ 3 (1)TIL GRE 1,400 sf)TUR SOD 329343-01 (1,144 sf) MULCH (48) NEP WAL (3) GAI KOB 5) ROS FL3 SET ROOTBALL APPROXIMATELY 3" HIGHER THAN FINISHED GRA PRUNE 1/3 OF INNER CROWN, MAINTAINING NATURAL SHAPE. - CUT ANY SYNTHETIC CORDS AROUND ROOTBALL AND TRUNK IF WRAPPED IN BURLAP CUT OPEN AND REMOVE AT LEAST TOP 1/3. PREPARE A 3" MIN. SAUCER AROUND PIT. DISCARD EXCESS EXCAVATED MATERIAL. WRAP TRUNK WITH APPROVED TREE WRAP TO FIRST BRANCH DO NOT CUT LEADERS ON EVERGREENS OR PYRAMIDAL PROPOSED TRASH ENCLOSURE —STAKE AND GUY (IF ISEE SPECIFICATIONS.
- BACKFILL PIT WITH PL - 3" DEEP MULCH DO NOT PLACE MULCH AGAINST TREE TRUNK PERFECT TURF (ARTIFICIAL) (642 sf) _CH (145 RS (314 s PROPERTY LINE TREE PLANTING DETAIL TREE PIT WIDTH 2X BALL DIA. MII Scale: (1,580 sf)TUR PROPOSED SEATING AREA WITH BENCHES AND DONOR PAVERS $\overset{\circ}{\vdash}$ $\overline{}$





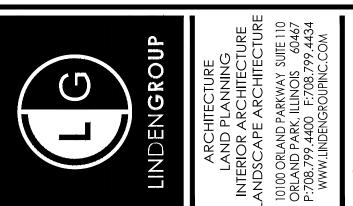
16 W 361 S. Frontage Rd., Suite 106 Burr Ridge, IL 60527 (630) 734-0883 льзои@вчеменесемеит.coм

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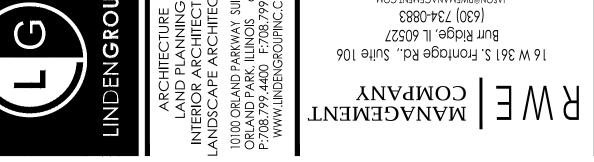


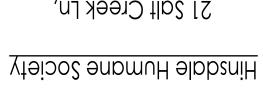
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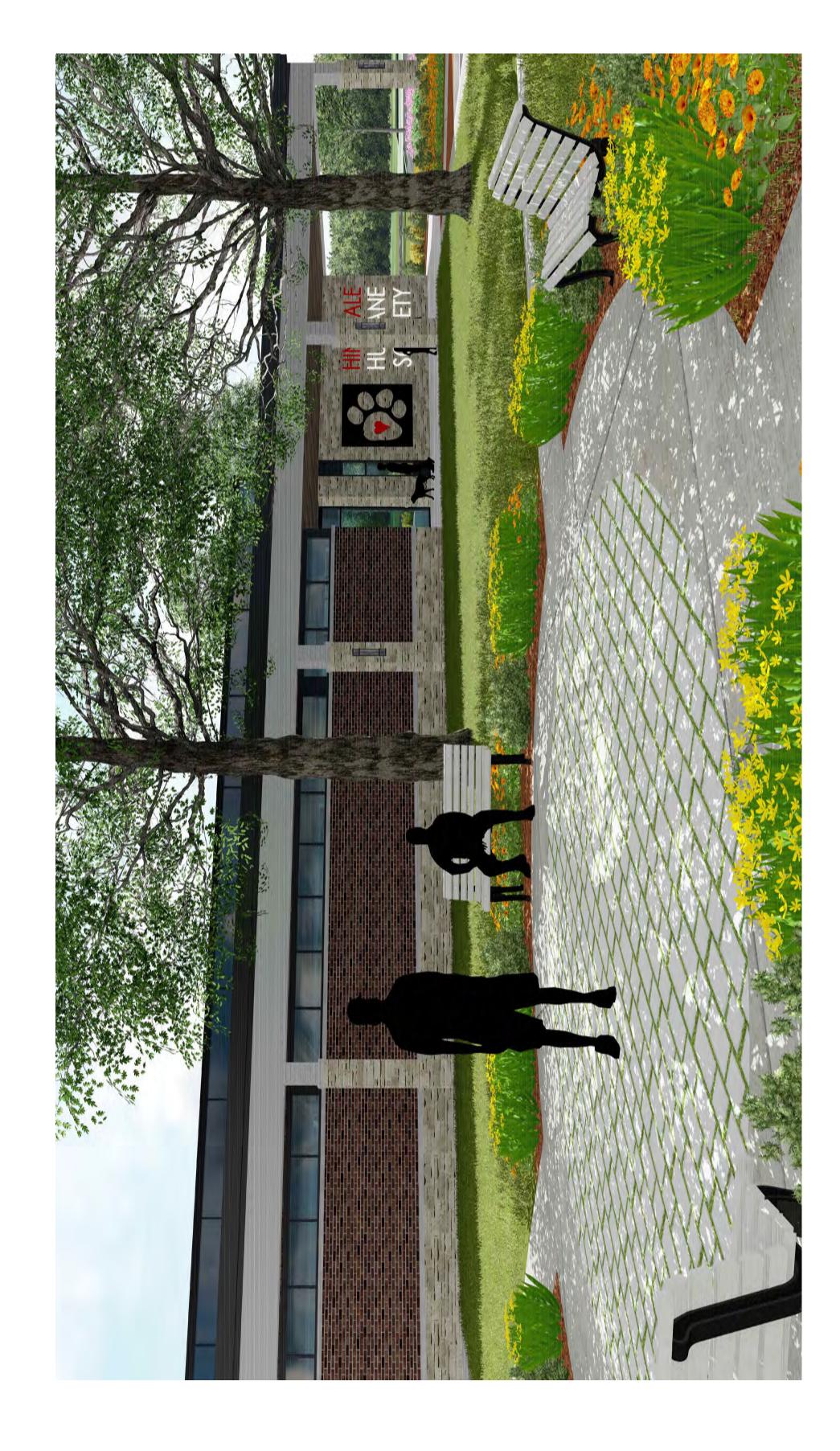


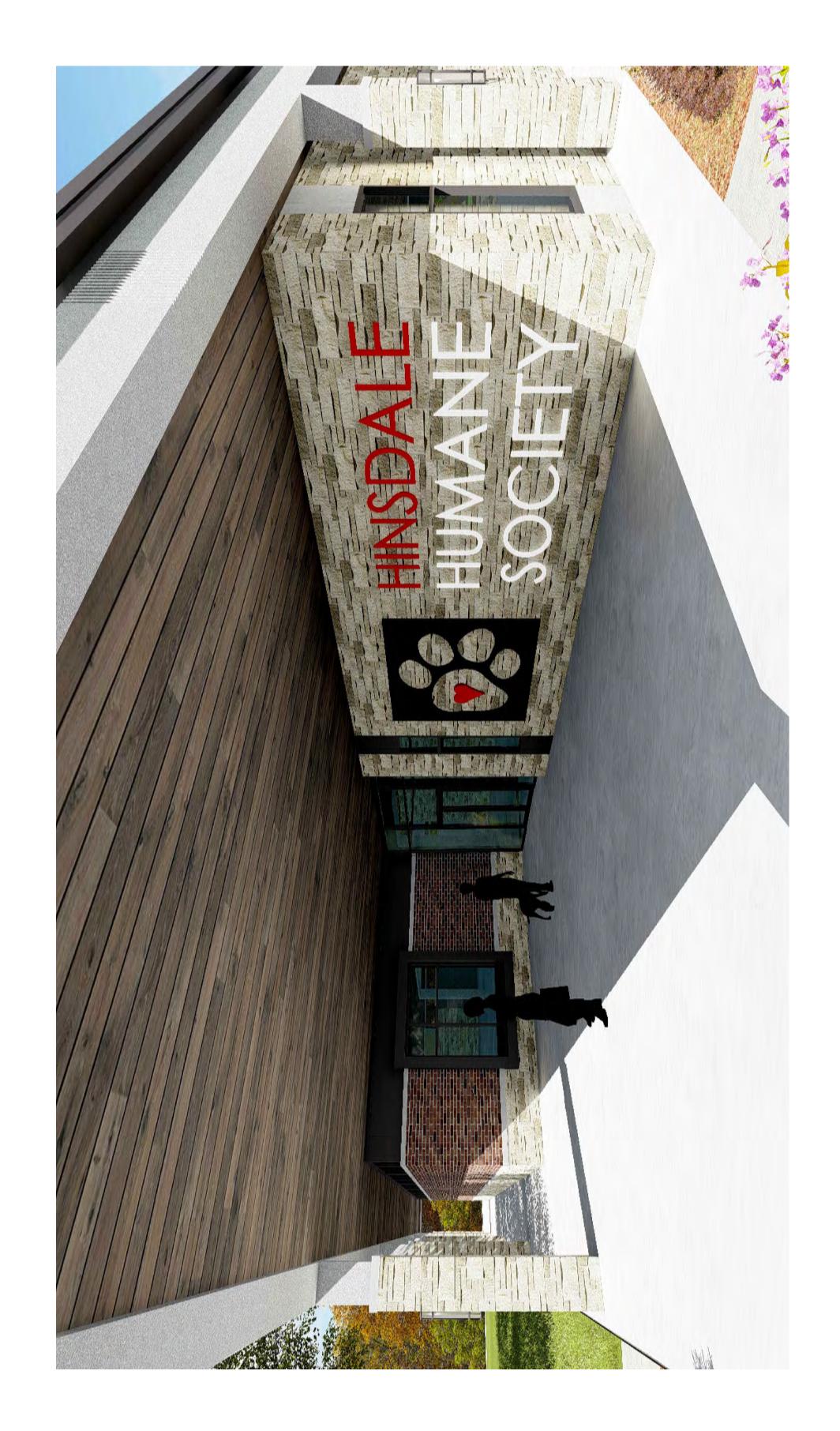
16 W 361 S. Frontage Rd., Suite 106 Burr Ridge, IL 60527 (630) 734-0883 льзои@вчеменесемеит.coм

Hinsdale, IL 60527 5] Salt Creek Ln,





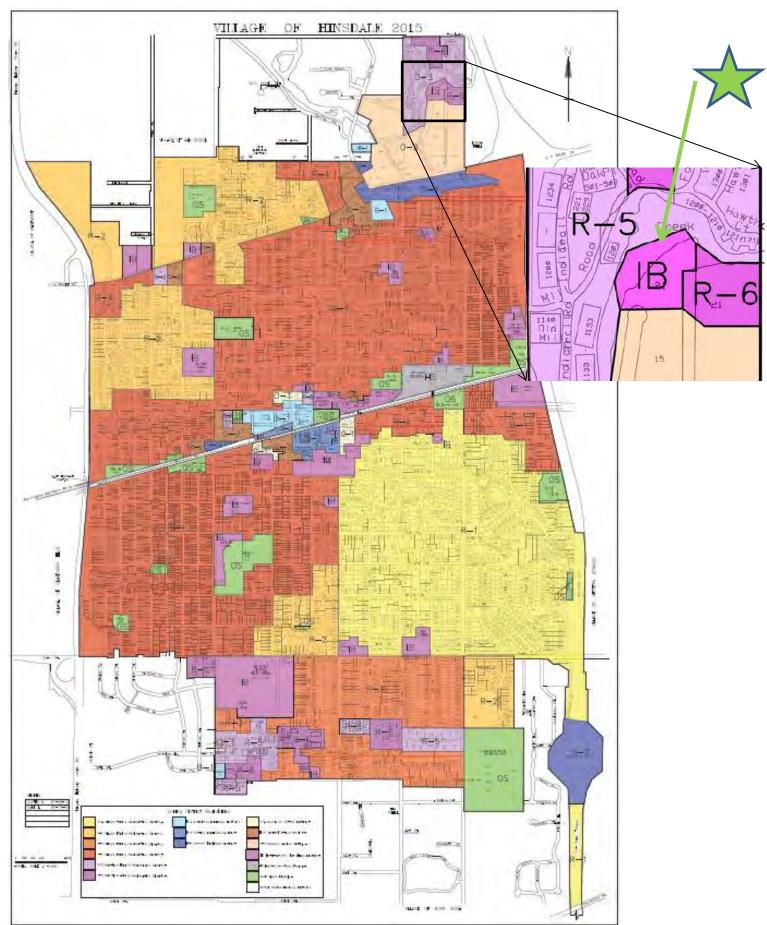




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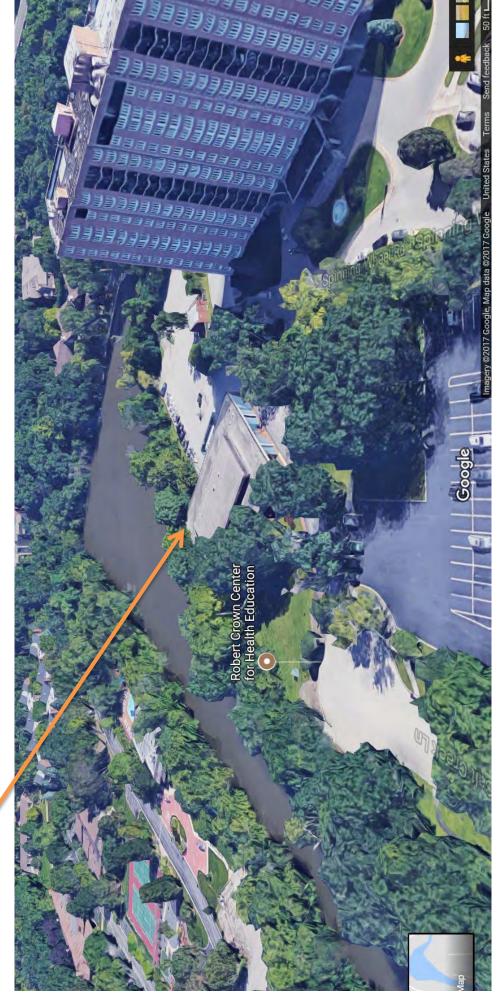
Attachment 2: Village of Hinsdale Zoning Map and Project Location



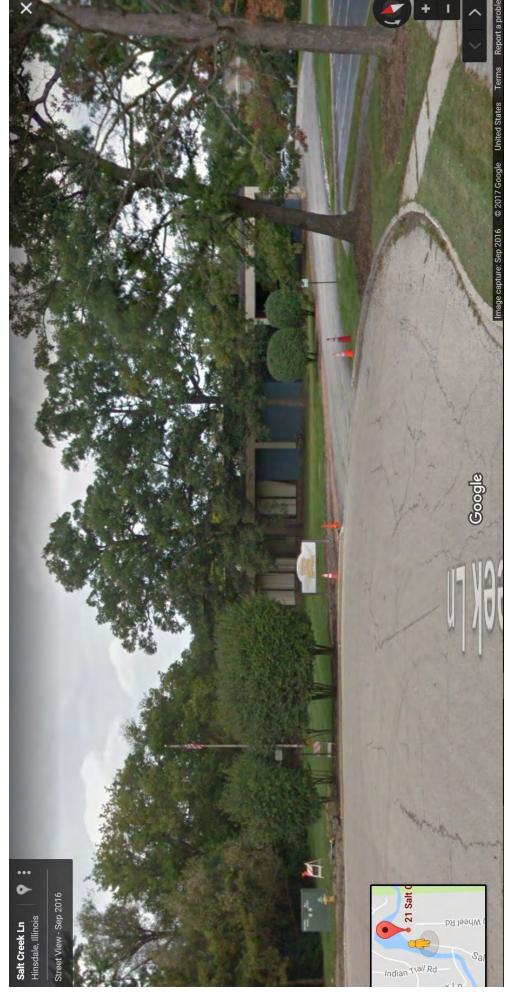




Attachment 3:



Attachment 4:





MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 336 E. Ogden Avenue – Bill Jacobs Group - Relocation of Hinsdale Land Rover Dealership

Exterior Appearance/Site Plan for Renovation of former GM facility - Case A-29-2017

Summary

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from Mr. Peter Nagel, Project Designer on behalf of the Bill Jacobs Group, requesting approval to renovate the existing former GM training facility at 336 E. Ogden Avenue. The renovation request is for the Hinsdale Land Rover dealership at 300 E. Ogden Avenue to relocate to the subject property. Auto dealerships are a permitted use in the B-3 General Business District.

Request and Analysis

Per the applicant, the subject property is 157,687 SF, which is 3.62 acres. The existing GM training facility building is 1-story, 20-foot tall building with a footprint of 37,115 SF. The proposed plan will change the northeast corner of the front façade, and will reduce the building footprint slightly to 36,955 SF. Currently, there is a canopy feature that extends past the brick façade wall at the west of the building. The applicant plans to reconstruct the canopy area, to be flush with the existing brick façade wall by reducing the canopy overhang, but increasing the height 2-inches to match the existing building height of 20 feet. To that end, the front yard setback will not change. The rear and side yard setbacks will also not be affected since the plan will not expand the existing height or building envelope.

The applicant has submitted two options to update the building façade. Option 1 illustrates new metal panels, horizontal in nature, on the north, east and west elevations, with the colors referenced as "sunshine gray" and "champagne". The south elevation indicates only painting the existing brick wall in the color gray. Option 2 shows additional metal horizontal panels on the brick areas of Option 1. The new planar glazing windows on the north, east and west façade are the same on both options.

The site plan shows a new resin walkway with green hedge between the front façade and sidewalk on Ogden Avenue. The landscape plan references two trees in the front yard to be removed, along with four dead trees on the west side yard. There will be six new trees planted for a net zero loss in trees. The site plan will utilize the existing parking lot, however, with newly added interior green island plantings. The total lot coverage will be reduced slightly by 1.1 percent, and there will be a reduction of

MEMORANDUM



21 parking spaces. The existing subject property perimeter green space will be preserved and maintained at its current size and setback.

There is an existing fence along the southeastern portion of the subject property, between Oak Street and Franklin Street that is adjacent to the residential (R-4) zoning district to the south. Per the applicant, this fence will be protected, maintained and repaired as necessary. Additionally, a new 8-foot fence will be extended around the cul-de-sac on Franklin Street, also adjacent to the residential (R-4) zoning district to the south.

A building floorplan is included, and shows the new use of the existing building for the Land Rover dealership its service center. The floorplan legend references space for showrooms, sales offices, parts storage, service reception and service areas. Scaled drawings of cars are also shown to give spatial context.

An updated site plan illustrating the handicapped parking spaces, refuse space, and loading space is anticipated to be ready for the September 13, 2017, Plan Commission (PC) public meeting presentation. In addition, a code compliant photometric site plan and screening elevations for the refuse space and loading space should also be ready to be reviewed by the applicant at the PC meeting.

The public meeting notice requirements have been followed per section 11-604(E), since the nonresidential parcel is within 250 feet from a single-family zoning district. It abuts the R-4 Single Family Residential District to the south. An area neighborhood resident on Franklin Street has organized a neighborhood meeting on September 8, 2017, at their home. The project architect (applicant) will review the application with the neighbors and Village Planner for their feedback before the PC meeting on September 13, 2017.

Process

Pursuant to Section 11-606, the Chairman of the PC shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-606.

Attachments:

Attachment 1 – Exterior Appearance Application Request and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Birds Eye View Map

Attachment 4 - Street View of 336 E. Ogden Avenue



VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant	Owner
Name: Peter Nage! Address: W228 N FAS Westmand Dr City/Zip: Waukesha W1 53/86 Phone/Fax: 262) 5499600 1 262549/314 E-Mail: pragel@ theredmond co.com	Name: Bill Jacobs Group Address: 2495 Awara Ave City/Zip: Naparville 60540 Phone/Fax: (630) 6155771 6306153205 E-Mail: Levin. Jacobs @ bill jacobs. com
Others, if any, involved in the project (i.e. Ar	chitect, Attorney, Engineer)
Name: Jerry Martier Title: Architect Address: Same as applicant City/Zip: Phone/Fax: () E-Mail: jmortier & theredmondco. com	Name:
Disclosure of Village Personnel: (List the name, a of the Village with an interest in the owner of record, the application, and the nature and extent of that interest) 1)	Applicant or the property that is the subject of this

1. SITE INFORMATION

Address of subject property: 336 Ogden	Ave 01 211 001
Property identification number (P.I.N. or tax number)	1 09 - 01 - 211 - 003
Brief description of proposed project: Pero vation	and exterior recladding of
existing former &M training facility	into new Land Rover branded
store Creplaces store next	door)
General description or characteristics of the site:	Site building Currently Vacant,
approximately 3.62 acres and and layout of site remain in	263 parking stalls; fast print ract with additional green space
Existing zoning and land use:	landsigning
Surrounding zoning and existing land uses:	
North: 0-3	South: P-4
East:	West: <u>B-3</u>
Proposed zoning and land use: <u>B-3</u>	

king and attach all applicable applications and
☐ Map and Text Amendments 11-601E Amendment Requested:
□ Planned Development 11-603E
Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 236 Ogden Ave

The following table is based on the _______ Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	6250	157687 SF	Same
Lot Depth	125	435	same
Lot Width	50	432	same
Building Height	301 max	19110"	20'
Number of Stories	2 max		1
Front Yard Setback (10 0 yder	ctr.) 100'	601	60'
Corner Side Yard Setback	25'	150' min.	some
Interior Side Yard Setback	10'	63' min.	63' min.
Rear Yard Setback	20'	40'min.	40' min.
Maximum Floor Area Ratio (F.A.R.)*	0.5	0.23	0.23
Maximum Total Building Coverage*	NA	23.36%	23.44%
Maximum Total Lot Coverage*	90%	90%	88.9%
Parking Requirements	711	284	263
Parking front yard setback	25'	5'	5'
Parking corner side yard setback	25'	5'	5'
Parking interior side yard setback	10'	lo'avg.	10' avg.
Parking rear yard setback	20'	6' arg.	6' avg.
Loading Requirements			
Accessory Structure Information	NA	NA	NA

^{*} Must provide actual square footage number and percentage.

And to	on despite s								
The	Proposed	building	is w	naintains	existing	lesal	noncont	amily of	the existing
bu;									and does

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
 - Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 - A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 - All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 - Location, size, and arrangement of all outdoor signs and lighting.
 - Location and height of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
 - A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 - A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the	17, I/We have read the above certification, understand it, and
Signature of applicant or authorized agent	Signature of applicant or authorized agent
Name of applicant or authorized agent	Name of applicant or authorized agent
SUBSCRIBED AND SWORN to before me this day of	
	Notary Public



COMMUNITY DEVELOPMENT DEPARTMENT EXTERIOR APPEARANCE AND SITE PLAN REVIEW CRITERIA

Address of proposed request:	

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

PLEASE NOTE If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:
Standard Application: \$600.00
Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

- 1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
- 2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
- 3. *General design*. The quality of the design in general and its relationship to the overall character of neighborhood.

4. General site development. The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible. 5. Height. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings. 6. Proportion of front façade. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related. 7. Proportion of openings. The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related. 8. Rhythm of solids to voids in front facades. The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related. 9. Rhythm of spacing and buildings on streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related. 10. Rhythm of entrance porch and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related. 11. Relationship of materials and texture. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

- 12. Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related. 13. Walls of continuity. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related. 14. Scale of building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related. 15. Directional expression of front elevation. The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character. 16. Special consideration for existing buildings. For existing buildings, the Plan Commission and
- the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining is the application <u>does not</u> meet the requirements for Site Plan Approval. Briefly describe how this application <u>will not</u> do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1.	The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
2.	The proposed site plan interferes with easements and rights-of-way.
3.	The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
4.	The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
5.	The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
6.	The screening of the site does not provide adequate shielding from or for nearby uses.
7.	The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
8.	In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
9.	The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.
11. The proposed site plan does not provide for required public uses designated on the Official Map.
12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Exterior Appearance Review Crtieria:

- The existing perimeter landscaping will be preserved and maintained at its current size and setback. We will be adding interior green islands with plantings. The front of the building features a nice resin walkway with green hedge between the front façade and the sidewalk on Ogden Ave.
- 2. The existing facades will be updated to Land Rover manufacturer standards, which includes luxury metal panel and brand new clear glazing on the street sides. The existing brick on the service department in the back will be freshened up with a coat of paint to match the rest of the building.
- 3. The design of the new Land Rover store will greatly enhance a building that is currently derelict and unappealing. The design will also improve upon the current aesthetics of the existing Land Rover store which is outdated.
- 4. A new resin walkway is being added to give customers on foot and from the parking lot easy access to the main entrance. Parking is remaining fairly untouched with the exception of added landscaping and some added display stalls along Ogden Avenue. Both the added display and landscaping will enhance overall curb appeal. The existing perimeter green space is all being maintained and is not being reduced in any way. The existing access points will remain and this building should serve to draw traffic further away from the corner than the existing Land Rover store is now.
- 5. The height of the new Land Rover brand wall façade will be relatively unchanged at 20'-0" max height. The front wall of the existing building will be torn back and a new brand-compliant façade built in its place only a few inches taller than the current elevation.
- 6. The front façade maintains the strict proportions outlined by Land Rover and improves the look of the existing building greatly.
- 7. The proportion of openings adhere to the proportions outlined by Land Rover.
- 8. The relationship of solids to voids in the front façade adhere to the guidelines set forth by Land Rover.
- 9. The renovated building will not be affected the length of the façade dramatically and is in line with the scale of the existing store next door.
- 10. The relationship of the entrance to sidewalk is mandated by Land Rover program and the location of the main entrance is not changing from where it is on the existing building.
- 11. The materials and texture of the façade adhere to the Land Rover manufacturer standards, which includes a luxury gray metal panel and new energy efficient glazing.
- 12. The existing flat roofs will be maintained.
- 13. There is currently an existing fence along the southeastern portion of the property directly adjacent to the residential zoning to the south. This fence will be protected, maintained, and repaired as necessary. Additionally a new fence to match will extend around the dead-end Franklin Street and in the southwestern portion of the site adjacent to the additional residential parcels. The intent is to protect the neighboring residents from as much noise and light as possible and to not allow anybody to park on Franklin Street and access the site.
- 14. The overall footprint of the existing building is mostly unchanged and does not affect the massing or scale in any way.
- 15. The Land Rover metal panel brand wall is horizontal in nature per the manufacturer and fits the scale of the building appropriately.

16. The existing facades are being updated to mandated Land Rover manufacturer standards and will be a vast improvement over the existing building.

Site Plan Review Criteria:

- 1. The existing lot size meets current codes and is unchanged. The current B-3 zoning will also remain unchanged.
- 2. The layout of the existing site and building is relatively unchanged, aside from a very small front addition at the main entrance and some additional landscaping. No changes to the building or site further encroach on any existing setbacks, easements, or right-of-way.
- 3. The existing lot does not interfere with any existing topography. Existing grading and perimeter landscaping is being maintained.
- 4. The existing lot shape is being maintained along with additional landscape islands and an added landscaped walkway. The customer access points are clearly marked and well-lit for safety.
- 5. This site should serve to pull traffic further away from the corner than at the current Land Rover store. The site layout is relatively unchanged to what is there today including the access points.
- 6. There is currently an existing fence along the southeastern portion of the property directly adjacent to the residential zoning to the south. This fence will be protected, maintained, and repaired as necessary. Additionally a new fence to match will extend around the dead-end Franklin Street and in the southwestern portion of the site adjacent to the additional residential parcels. The intent is to protect the neighboring residents from as much noise and light as possible and to not allow anybody to park on Franklin Street and access the site.
- 7. We are adding landscaping islands near the entries and within the lot, as well as a hedged walkway in the front of the building, to soften the site a little and make the customer experience better than what is on the site today. All of the perimeter landscaping will be maintained.
- 8. n/a
- 9. The existing lot does not interfere with any existing topography. Existing grading and perimeter landscaping is being maintained and additional green space will only improve the existing drainage which is already adequately sloped.
- 10. The existing drainage and utilities are not being changed in any way. This building will have the same if not less plumbing fixtures as in the existing building.
- 11. n/a
- 12. The existing site is generally being maintained as is. The building use will be the same as the existing Land Rover store next door and will not cause any safety issues.



- PACKET ALSO CONTAINS:

 EXISTING ALTA SURVEY

 ARCHITECTURAL SITE PLAN

 PHOTOMETRIC SITE PLAN

 LANDSCAPE PLAN

 SCHEMATIC FLOOR PLAN

 SCHEMATIC ELEVATIONS

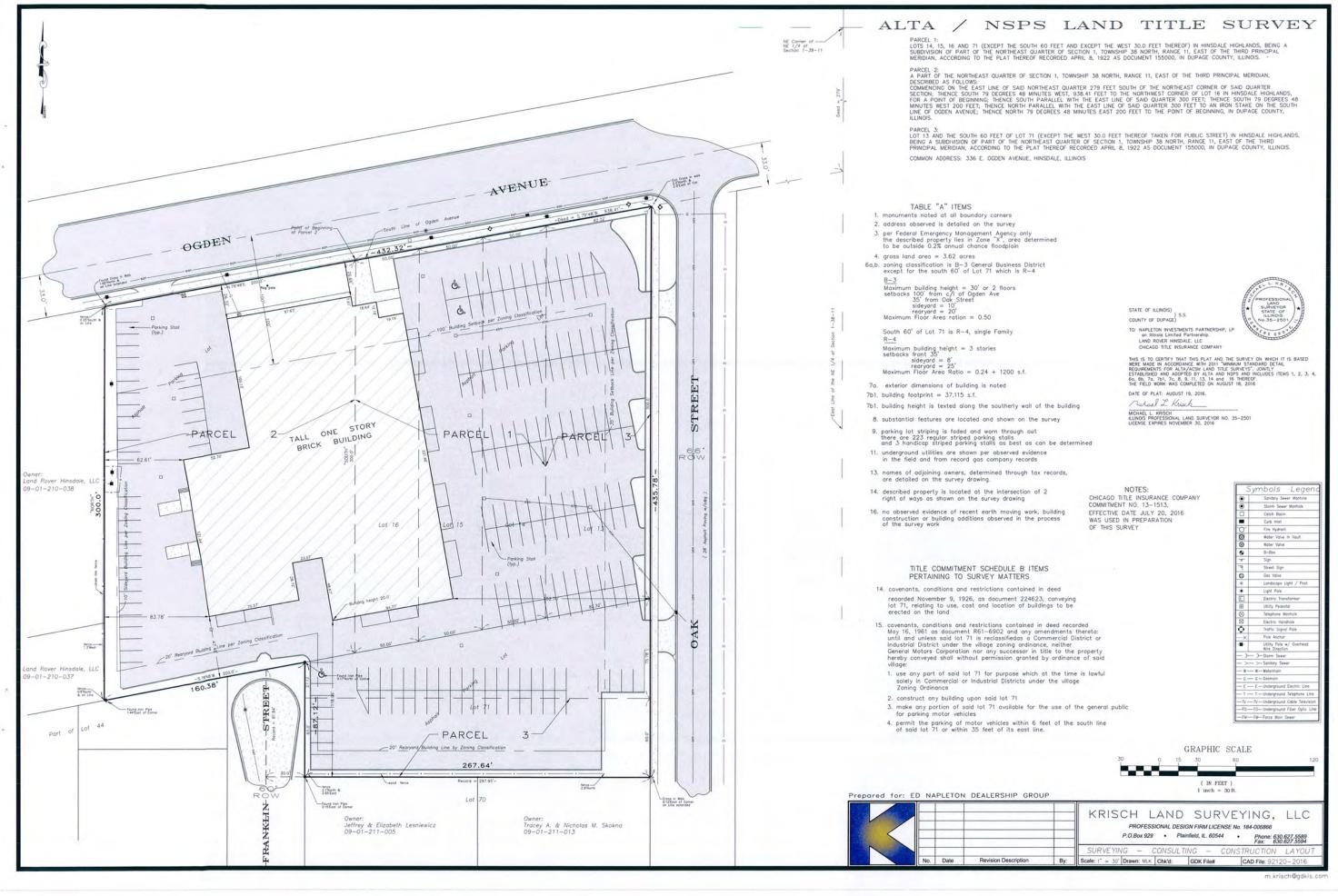


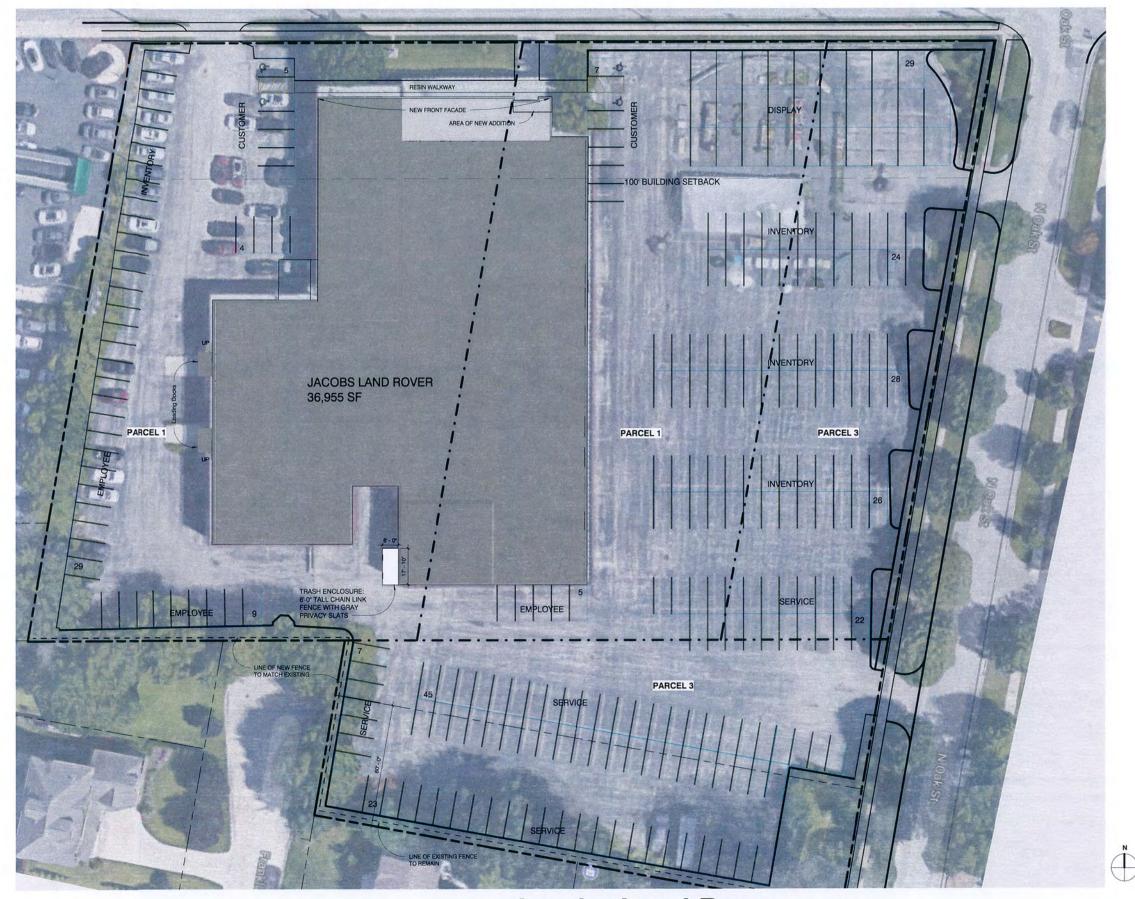
Jacobs Land Rover

Plan Commission Submittal

W228 N745 Westmound Drive Waukesha, Wisconsin 53186 tel 262.549.9600 fax Innovative Approach. Unique Solutions. www.theredmondco.com

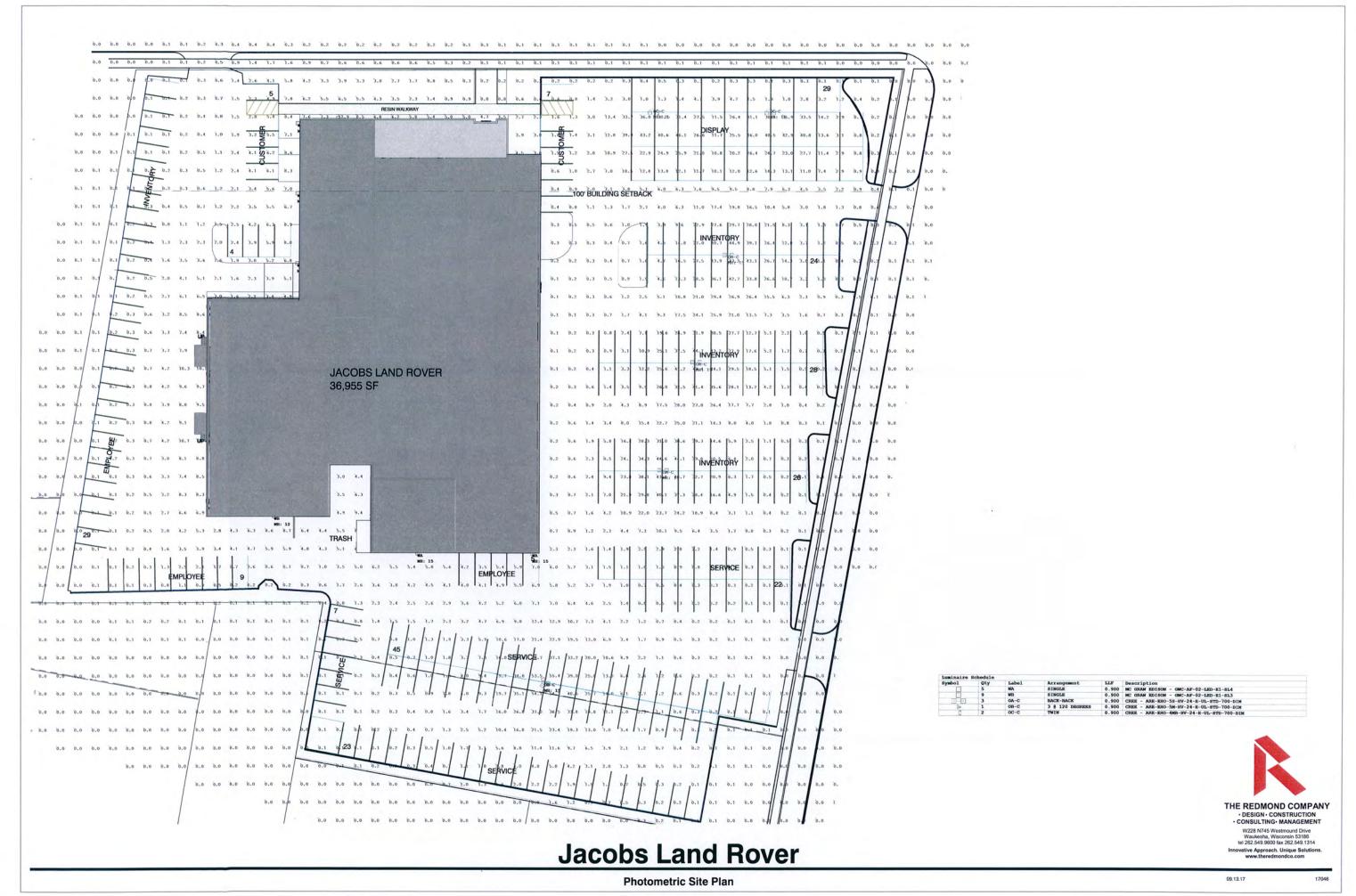
09.13.17







Jacobs Land Rover



Project:

08/14/17

08/15/17 08/24/17

09/01/17

PROPOSED LANDSCAPE PLAN, GENERAL NOTES, AND PLANT MATERIAL TABLE

Date of Drawing: Scale: Drawn By: MCD Job Number: L17-053

Sheet Number:

LANDSCAPE PLAN GENERAL NOTES

* * PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH, * *

* PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. * *

AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIPY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTUTIES OR ENTITIES, REVIEW WITH OWNERS REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS, RECORD SET OF INFORMATION THE SAME SIN POSSESSION OF OWNERS REPRESENTATIVE. ALSO REVIEW OWNERS "ARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION, REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
ALL PLANTINGS SPECIFIED FOR THE JACOBS LAND ROVER PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK AND 120.14 AND DANS STANDARDS FOR PLANTING 2012.

ALL DEVIATIONS FROM THE APPROVED JACOBS LAND ROVER PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE EXECUTED ONLYWITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES PSECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.

ALL AREA STRANGER DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3"
DEEP (IMIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAW DAGEST. LINESCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED
OPERATIONS AS MAY BE POSSIBLY REQUIRED TO RESTABLISH AD JACCHAT TURNER FORSS AREA WHICH MAY BE COME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL

QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.

CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS. SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.

WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.

ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD. 12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL

APPROVAL.
FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD I" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE
PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS
INTO EXISTING TOPSOIL TO A DEPTH OF A PROXIMATELY 8°. A DEPTH OF 12° IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE
CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.

PER EVERY 100 SQUARE FEET ADD:
ONE - 2 CUBIC FOOT BALE OF PEAT MOSS. 2 POUNDS OF 5 - 10 - 5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED.

ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.

ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER

PROVIDE A 4-0" - 5-0" DIAMETER MULCH RING ALL LAWN TREES.
ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2-3" DRESSING OF SHREDDED HARDWOOD DAX BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTIAL TO PLANT LIFE OR GERMINATOR TO INHIBITION STREET IN STATE CONTRACTION TO PROVIDE A SAMPLE TO OWNER FOR A PRPOVAL. CONTRACTOR TO INSTALLATION INSTALLATION TO TO DAMAGE OR COVER PLANTS. REFER TO ISST.) FOR FURTHER HYPORMATION.

LAWN INSTALLATION: CONTRACTOR TO FACE THIN ISSTANDANCE OF THE CONTRACTOR OF THE PROPERTY OF TH

REQUIRED SEED MIXES:
PREMIUM 60 GRASS SEED MIX REINDER'S (847) 573-3300

ORGANIC MATERIAL

20% AMERICAN KENTUCKY BLUE GRASS
20% ALPINE KENTUCKY BLUE GRASS
20% ALPINE KENTUCKY BLUE GRASS
20% ANGLORY CHEWINGS FESCUE
10% HEIST HIP FERENMAR KENTUCKY BLUE GRASS
10% CUTTER PERENMAR KENTUCKY BLUE GRASS
10% CUTTER PERENMAR KE GRASS
10% CUTTER PE APPLY AT A KATE OF 173 POUNDS PER ACIE. REFER TO SUPPLIEDS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR PORTRETS INFORMATION
DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMEN
WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED AND REPL
AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.

ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY. THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRANTON OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLIATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.

MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WITHIN SOR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.

MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY
MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE
FOLLOWING:
1. NECESSARY (RRIGATION (IT REQUIRED)

1. NECESSANT INFROMENT IN REQUIRED;
2. INTEGRATED PEST MANAGEMENT.
3. PROPER FERTILIZATION
4. TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED.
5. REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
6. WEED MANAGEMENT AND BED CARE.

27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTIONS FOR THE PROPERTY OF THE PROPER

CODED NOTES

SCALE: 1" = 30'-0"

Planting Size 3' - 4' - B&B

18" - 24" - 8&B

Planting Size

1-Gal - Cont

1-Gal - Cont

1-Gal - Cont

1-Gal - Cont

4 1/2" pot

4 1/2" pot

1-Gal - Cont

LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE. LANDSCAPE INSTALLATION CONTRACTOR TO COORDINATE INSTALLATION OF NEW PLANT MATERIAL AND THE COORDINATION WITH EXISTING TREES TO BE SALVAGED.

MULCHED 4°0° DIA, TREE RING BED AREA W/ EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE AS REQUIRED. DRESS WITH 2°-3° OF SHREDDED HARDWOOD BARK MULCH. REFER TO LSP1.2, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION. EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE. TYPICAL ALL PLANT MATERIAL AREAS. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.

MULCH BED AREA. DRESS WITH 2°-3° OF SHREDDED HARDWOOD BARK MULCH, TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.

SEEDED AREAS OF TURF GRASS. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS AS REQUIRED. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURERS INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION. ALSO REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.

REMOVE EXISTING TREE IN ITS ENTIRETY. GRIND STUMP AND ROOT FLARE TO 12" BELOW GRADE, MINIMUM. REMOVE ALL DEBRIS AND ROOTS AS REQUIRE AND REPAIR TURF AND PREP FOR NEW TURF OR PLANTING BED AS REQUIRED. REFER TO DETAIL FOR 4/ LSP1.2 FOR TREE PROTECTION DETAIL.

SHOWN IS OBTAINED FROM THE RECORDS OF

SHOWN IS OBJAINED FOOM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES, THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFED TO.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMANE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

ow what's **below. Call** before you dig.

18" - 24"- Conf Нурав Hydrangea paniculata Bobo Bobo Hardy Hydrangea 18" - Conf PhopTW Physocarpus opulifolius SMPOTY Tiny Wine Ninebark 18" - 24"- Conf RomeCC Rosa 'Meiriansois 18" - Cont Fire Light Spirea SpFL Spiraea x 'Fire Light' Spice Island Kore 24" - 30" - B&B My Monet Weigela 15" - 18" - Cont Broadleaf Evergreen Shrub Quantity Code Name Symbol Scientific Name Planting Size Buxus 'Green Mountain' Green Mountain Boxwo BuGM

Common Name

Existing to Remain

Common Name

Existing to be Removed

Autumn Brilliance Servicebe

Cornelian Cherry Dogwood

Proposed Plant Material Table

Planting Size

2 1/2'-Cal - B&B

2 1/2"-Cal - B&B

21/2'-Cal - B&B

Planting Size

Existing

(5)

(1) BuGM

E. OGDEN AVENUE

(1) BuGM 1 4

1 Jusem

(5)

PROPOSED LANDSCAPE PLAN

Code Name

ComaGG маСе

Code Name

Extg

Extg

Broadleaf Deciduous Shrub

Symbol Scientific Name

Amelanchier grandiflo

Malus 'Centzam

Existing to Remai

Cornus Mas 'Golden Glory

(5)

PealLB

Peolt 8

(12) HeGS

RomeCC

BUGM 14

100' BUILDING SETBACK

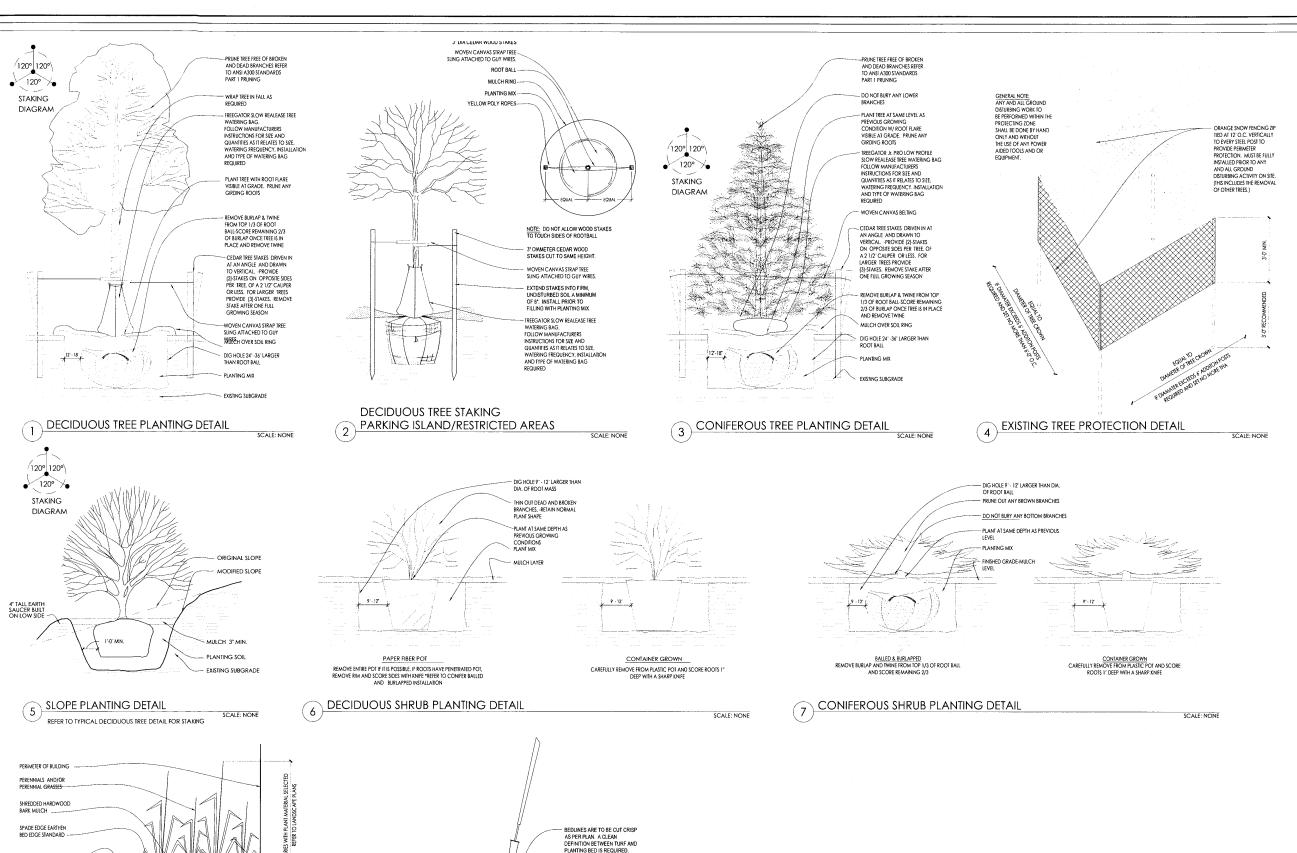
(16) Sphe

Quantity	Code Name	Symbol	Scientific Name	Common Name
3	JuscM	*	Juniperus scapularum 'Medara'	Medora Juniper
7	JupfSG	0	Juniperus x pfizeriana 'MonSan'	Sea of Gold Juniper
erennial Gr	ass			
Quantity	Code Name	Symbol	Scientific Name	Common Name
15	PaviHR	9 %	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass
41	PealLB		Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass
18	Sphe	20	Sporobolus Heterolepis	Prairie Dropseed
erennial				
Quantity	Code Name	Symbol	Scientific Name	Common Name
19	Есва	(2)	Echinacea x 'Balsomsed'	Sombrero Salsa Red Coneflov
10	HeNo	0	Hemerocallis x 'Nosferatu'	Trophytaker Nosferatu Daylily
13	HeRS	0	Hemerocallis x 'Ruby Spider'	Ruby Spider Daylily
12	HeGS	*	Heuchera x hybrida 'Grape Soda'	Grape Soda Coral Bells

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CLIENT AGREES TO INDEMNIFY AND HOLD THE

Sheet Title:

09/01/17 1" = 30'-0"





and Master Planning Design Consulting

11525 W. North Avenue Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitelandscape.com mdavis@insitelandscape.com

Project:

JACOBS LAND ROVER

336 Ogdan Avenue Hinsdale, IL 60521

Issuance and Revisions:

Number Description 08/14/17 Client Review Submittal 08/15/17 Plan Commissio Submittal 08/24/17 Revisions Base on Client

09/01/17 Revisions Based on Staff

Comments / Construction Document Submittal

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ARCHITECT.

Sheet Title:

PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

9/01/17
Noted
MCD
L17-053

LSP1.2

(8) PERENNIAL BED PLANTING DETAIL

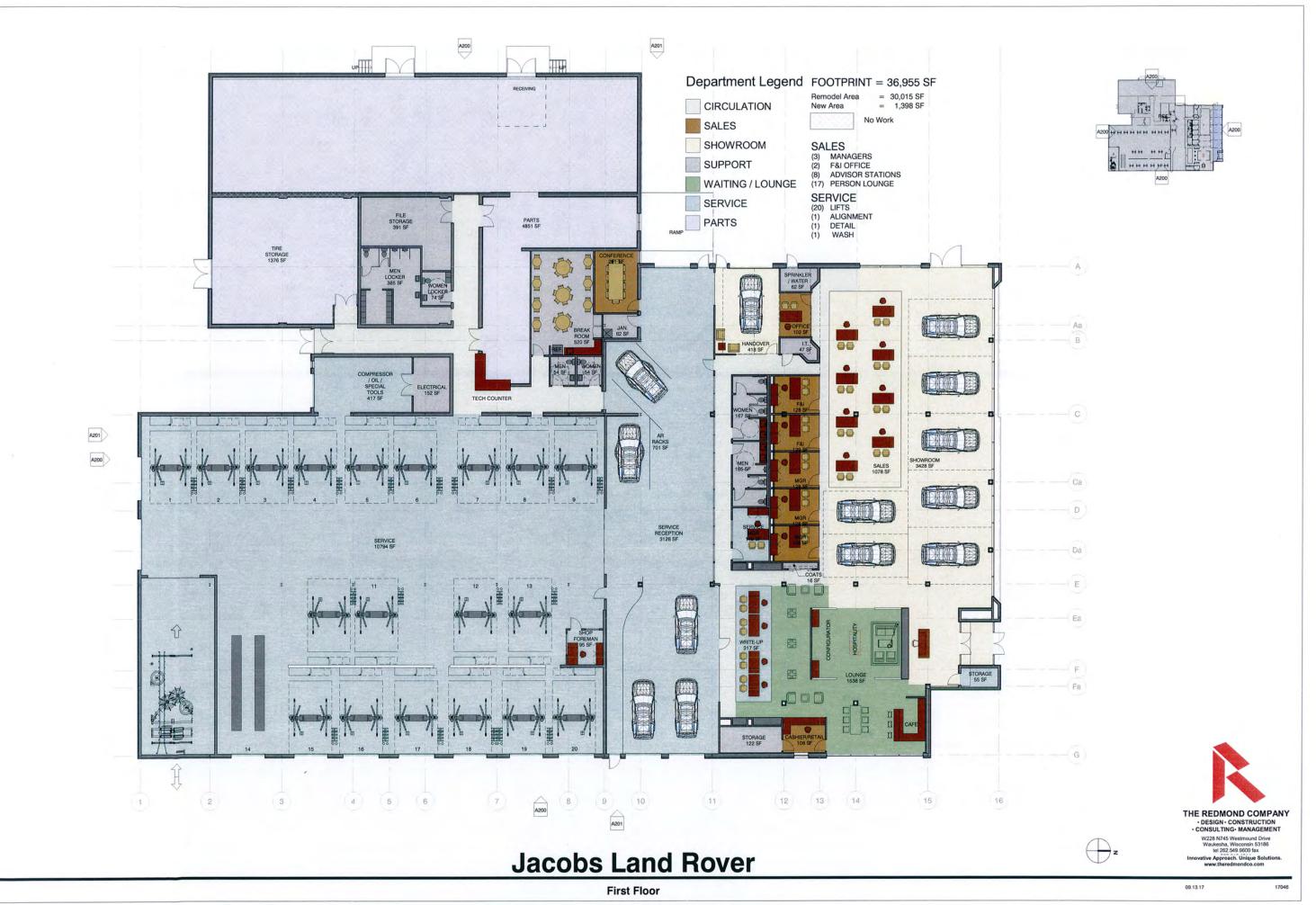
VARIES W/ REDS REFER TO PLANS

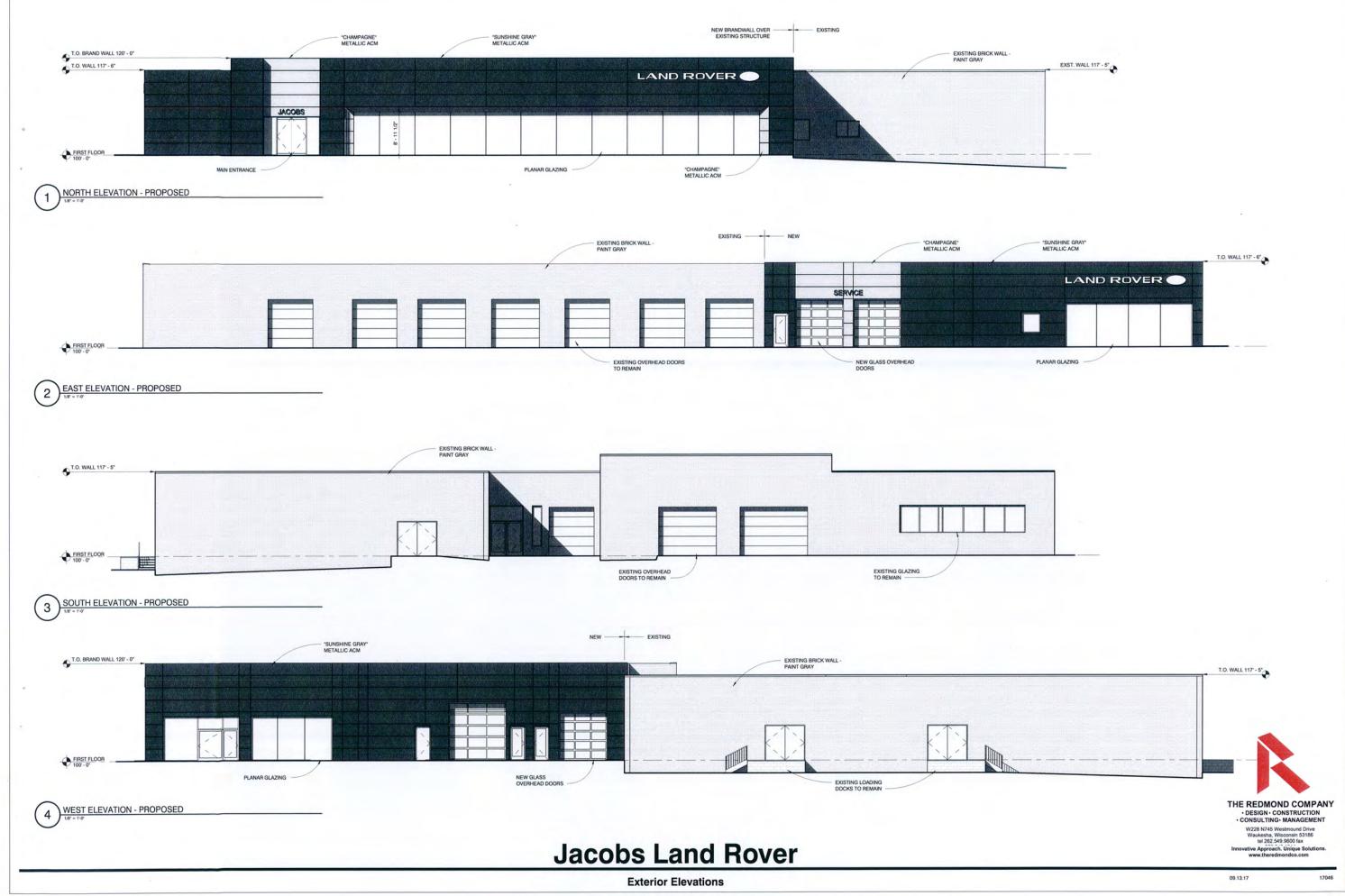
UNDISTURBED EARTH

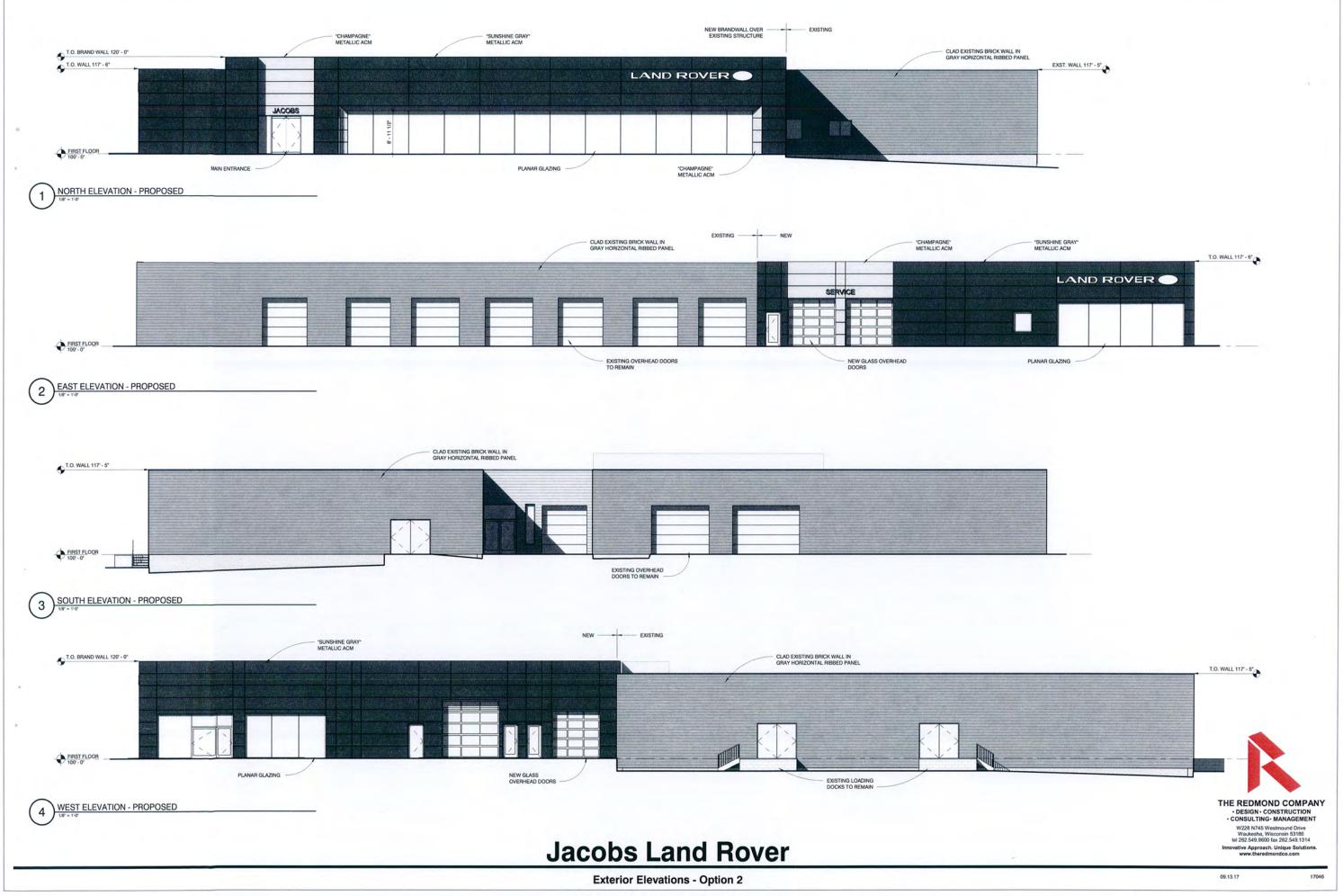
SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

3" (+/-) MULCH BED

TOPSOIL / PLANTING MIX

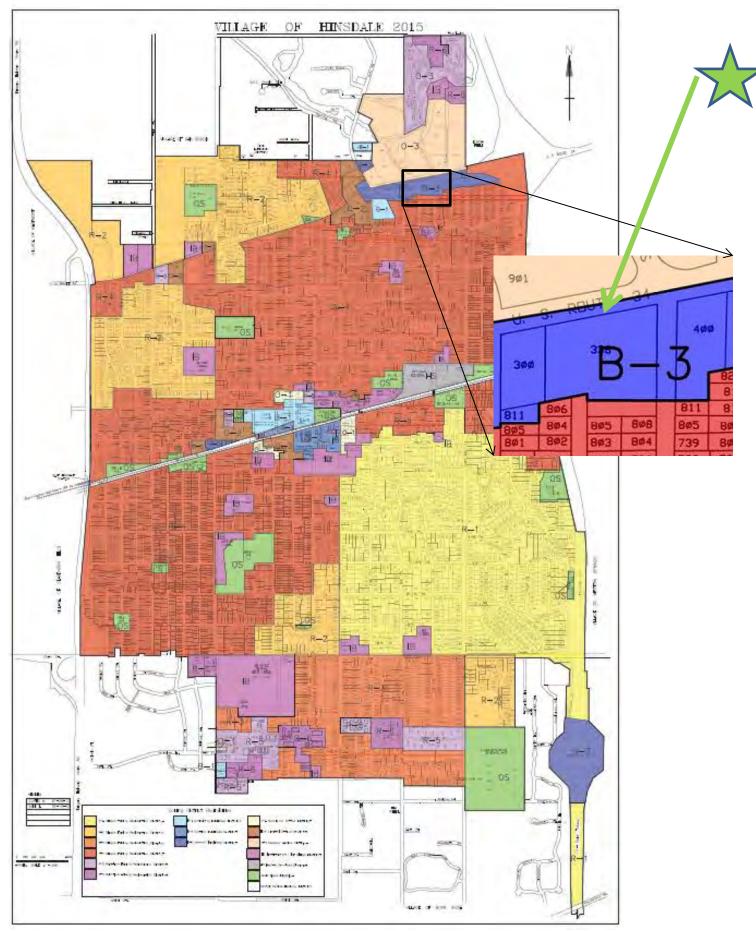






Attachment 2: Village of Hinsdale Zoning Map and Project Location





E Ogden Ave 34 E Ogden Ave Mosks? **Application Location** Modra

Attachment 3: Birds Eye View of 336 E. Ogden Ave. (facing south)

Google

Attachment 4: Street View of 336 E. Ogden Ave. (facing south)

United States TRAIN NG CENTER GENERAL MOTORS Image capture: Sep 2016 Street View - Sep 2016 336 Eas N Oa

Attachment 4: Street View of 336 E. Ogden Ave. (facing south)

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 16 Grant Square, at Chestnut St. and Vine St. – Kramer Foods

Exterior Appearance/Site Plan to Front Addition of existing Grocery - Case A-34-2017

Summary

The Village of Hinsdale has received an Exterior Appearance/Site Plan review application from Mr. Ron Ludwigson, President of Kramer Foods, requesting approval to construct a minor front addition to the existing Kramer Foods grocery at 16 Grant Square. The Grant Square shopping center is in the B-1 Community Business District.

Request and Analysis

The Kramer Foods front building face is approximately 300 feet south from Chicago Avenue. It currently has two customer entrance/exits, in two recessed areas on the east and west ends of the storefront. This application is for an addition that will fill the east recessed area so it will become flush with the front wall. Once the wall is flush, the kitchen and deli area will utilize an additional 166 square feet of usable interior space. Kramer Foods is 18,248 square feet in area.

The addition is Code compliant, and does not affect the front yard setback since the addition will not extend past the existing front wall. A new front entrance/exit will be constructed in the middle of the storefront with a new bi-parting glass slider door that will match the existing storefront features. Per the applicant, the new front entrance/exit will provide for a clearer entrance and better traffic flow into and out of the store. The site plan also shows a new curb ramp directly in front of the entrance. The existing west entrance/exit will not change and still be functional.

The public meeting notice requirements have been followed per section 11-604(E), since the nonresidential parcel is within 250 feet from a single-family zoning district. It abuts the R-4 Single Family Residential District to the north.

Process

Pursuant to Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the



MEMORANDUM

public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance and site plan based on the standards set forth in subsection F1 of this Section 11-606.

Attachments:

Attachment 1 – Exterior Appearance Application Request and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Birds Eye View Map

Attachment 4 - Street View at Chicago Ave. and Vine St.



VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant	Owner
Name: Ron Ludwigson	Name: Kramer Foods
Address: 16 Grant Square	Address: 16 Grant Square
City/Zip: Hinsdale, IL 60521	City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323-0135 /	Phone/Fax: (630) 323-0135 /
E-Mail: ronlud901@yahoo.com	E-Mail: info@kramerfoods.com
Others, if any, involved in the project (i.e.	Architect, Attorney, Engineer)
Name: Thomas Budzik	Name:
Title: Architect	Title:
Address: 2800 S River Rd, Suite 105	Address:
City/Zip: Des Plaines, IL 60018	City/Zip:
Phone/Fax: (847)235-6815/	Phone/Fax: ()/
E-Mail: thomas@thomasarch.com	E-Mail:
Disclosure of Village Personnel : (List the nar of the Village with an interest in the owner of record application, and the nature and extent of that interest	me, address and Village position of any officer or employee, the Applicant or the property that is the subject of this)
1)	
2)	
3)	

II. SITE INFORMATION

Address of subject property: 16 Grant Square, Hinsdale, IL	L		
Property identification number (P.I.N. or tax number			
Brief description of proposed project: FRONT ADDITION			
FOR THE PURPOSE OF RECONFIGURING THE KITCHEN / DEL			
BETTER TRAFFIC FLOW INTO THE STORE.			
General description or characteristics of the site:	EXISTING MULTI-TENANT SHOPPING CENTER		
ON 6.14 ACRE SITE			
Existing zoning and land use: B-1 (RETAIL - GROCERY)			
Surrounding zoning and existing land uses:			
North: R-4 (SINGLE FAMILY)	South: B-3, IB (RAIL STATION)		
East:B-1 (BUSINESS) West:O-2 (BUSINESS)			
Proposed zoning and land use: B-1 (RETAIL - GROCER)	Y) NO CHANGE		
Please mark the approval(s) you are seeking and standards for each approval requested:	l attach all applicable applications and		
☐ Site Plan Approval 11-604	☐ Map and Text Amendments 11-601E		
☐ Design Review Permit 11-605E	Amendment Requested:		
☑ Exterior Appearance 11-606E	□ Planned Development 11-603E		
☐ Special Use Permit 11-602E			
Special Use Requested:	 Development in the B-2 Central Business District Questionnaire 		

	TABLE OF C	OMPLIANCE		
Address of subject property: _	16 GRANT SQUARE, HINS	DALE, IL		
The following table is based on the Zoning District.				
You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development	
Lot Area (SF)	6,250 SF	312,421 SF	NO CHANGE	
Lot Depth	125 FT	235 FT	NO CHANGE	
Lot Width	50 FT	823 FT	NO CHANGE	
Building Height	30 FT	20 FT	NO CHANGE	
Number of Stories	2	2	NO CHANGE	
Front Yard Setback	25 FT	310 FT	NO CHANGE	
Corner Side Yard Setback	N/A			
Interior Side Yard Setback	10 FT	16 FT	NO CHANGE	
Rear Yard Setback	20 FT	24 FT	NO CHANGE	
Maximum Floor Area Ratio (F.A.R.)*	0.35	82,029 SF (0.26)	82,195 SF (0.26)	
Maximum Total Building Coverage*	N/A			
Maximum Total Lot Coverage*	N/A			
Parking Requirements	N/A			
Parking front yard setback	N/A			
Parking corner side yard setback	N/A			
Parking interior side yard setback	N/A			
Parking rear yard setback	N/A			
Loading Requirements	N/A			
Accessory Structure Information	N/A			
* Must	provide actual squar	e footage number and	d percentage.	
Where any lack of compliance is show application despite such lack of comp		xplain the Village's authority	, if any, to approve the	

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
 - 1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 - A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 - All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 - Location, size, and arrangement of all outdoor signs and lighting.
 - Location and height of fences or screen plantings and the type or kink of building materials or plantings used for fencing or screening.
 - A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 - 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

PAYMENT.,	N THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR
On the 177 day of agree to abide by its conditions. 20	///, I/We have read the above certification, understand it, and
Ran Xulwyse	
Signature of applicant of authorized agent	Signature of applicant or authorized agent
RON LUDBUGGON	,
Name of applicant or authorized agent	Name of applicant or authorized agent
SUBSCRIBED AND SWORN to before me this 1777 day of	"OFFICIAL SEAL"

2017 Version

VERA MITREVSKI
NOTARY PUBLIC, STATE OF ILLINOIS \$
My Commission Expires 08/18/2017



COMMUNITY DEVELOPMENT DEPARTMENT EXTERIOR APPEARANCE AND SITE PLAN REVIEW CRITERIA

Address of proposed request: 16 GRANT SQUARE, HINSDALE, IL

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

PLEASE NOTE If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

> **FEES for Exterior Appearance/Site Plan Review: Standard Application: \$600.00** Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

- 1. Open spaces. The quality of the open space between buildings and in setback spaces between street and facades.
 - The proposed addition will have no impact on the open space between buildings and setbacks
- 2. Materials. The quality of materials and their relationship to those in existing adjacent structures.

The materials shall include face brick and aluminum storefront to match existing.

- 3. General design. The quality of the design in general and its relationship to the overall character of neighborhood.
 - This is generally a very small addition that does not appreciable change the form of the existing building. The revised entry should provide for a clearer entrance to the grocer.

4. *General site development*. The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The addition will have no impact on the overall site.

5. *Height*. The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The addition will be entirely beneath the existing front canopy of the building.

6. *Proportion of front façade*. The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The addition will have a minor impact on the front facade. The revised entry is of a scale compatible with a grocery store of this size.

7. Proportion of openings. The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The revised entry is of a scale compatible with a grocery store of this size.

8. Rhythm of solids to voids in front facades. The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The rhythm of solids to voids remains largely unchanged.

9. Rhythm of spacing and buildings on streets. The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

There is no impact on the open space between adjoining structures or buildings.

10. Rhythm of entrance porch and other projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The existing building and front canopy has a strong central axis. The primary entrance has been revised to reflect this.

11. Relationship of materials and texture. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The face brick shall match existing in scale, color, style and grout color as closely as feasible. The storefront and glazing shall match existing.

12. Roof shapes. The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

There are no roofs in the scope of work.

13. Walls of continuity. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

There are no walls of continuity as related to the addition

14. Scale of building. The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The scale of the storefront matches the existing storefront in terms of mullion size, spacing and glazing size.

15. Directional expression of front elevation. The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The revised entry is more closely aligned with the character of the existing building.

16. Special consideration for existing buildings. For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

REVIEW CRITERIA - Site Plan Review

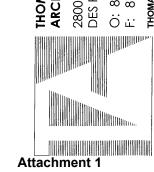
Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining is the application <u>does not</u> meet the requirements for Site Plan Approval. Briefly describe how this application <u>will not</u> do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

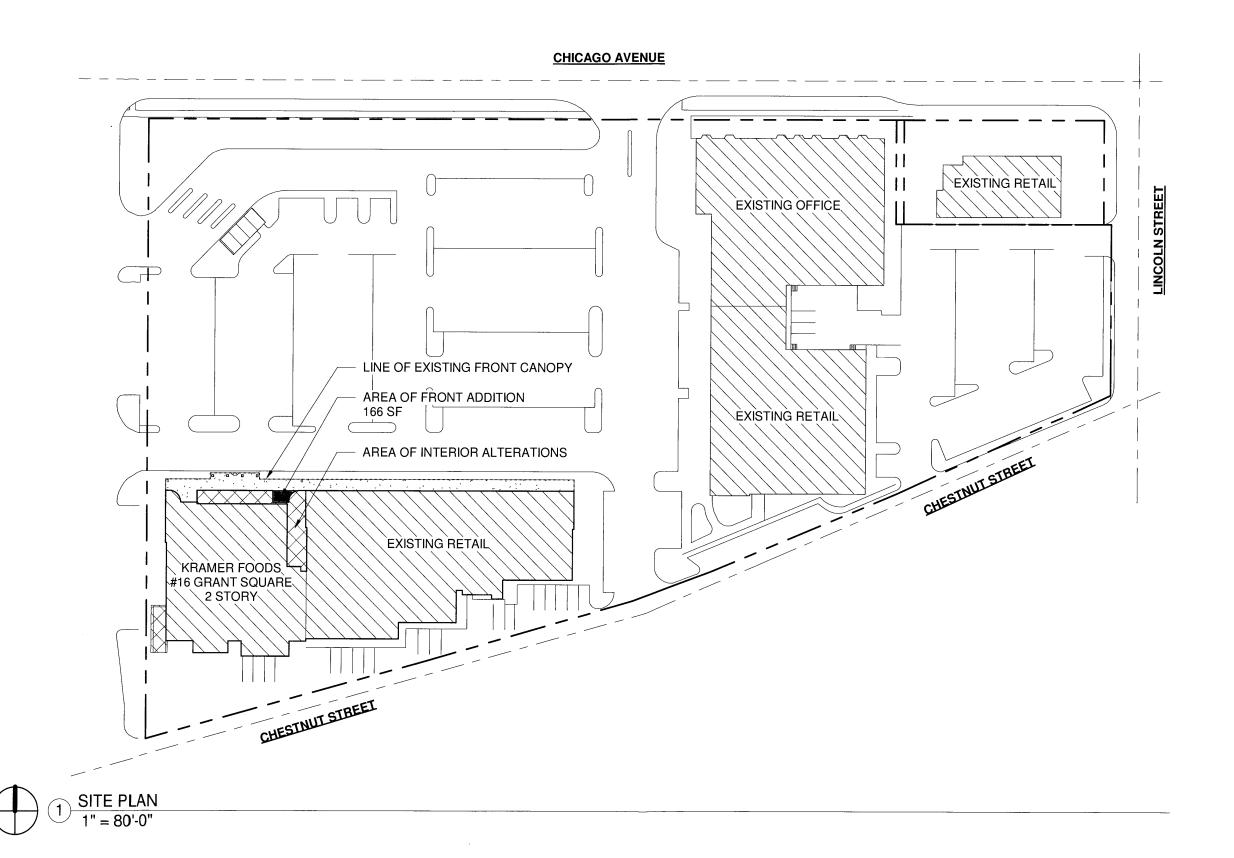
Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

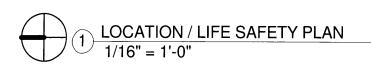
1.	The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
2.	The proposed site plan interferes with easements and rights-of-way.
3.	The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
4.	The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
5.	The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
6.	The screening of the site does not provide adequate shielding from or for nearby uses.
7.	The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
8.	In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
9.	The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

- 10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.
- 11. The proposed site plan does not provide for required public uses designated on the Official Map.
- 12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.





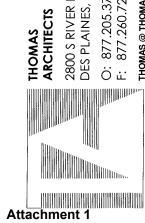






16 GRANT SQUARE, HINSDALE, IL 60521

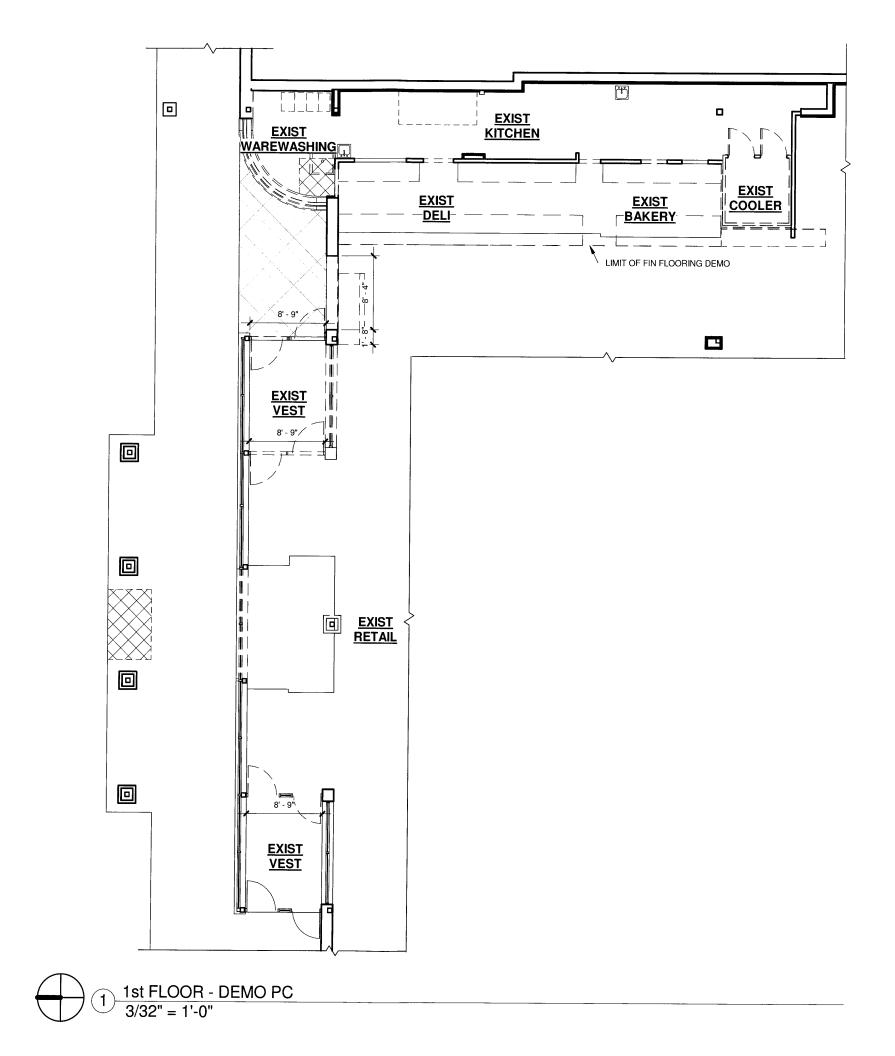
2800 S RIVER RD, #105 DES PLAINES, IL 60018 O: 877.205.3799 F: 877.260.7209



PC-2

PLAN COMM 08/16/17

16073



16 GRANT SQUARE, HINSDALE, IL 60521 **DEMO PLAN**

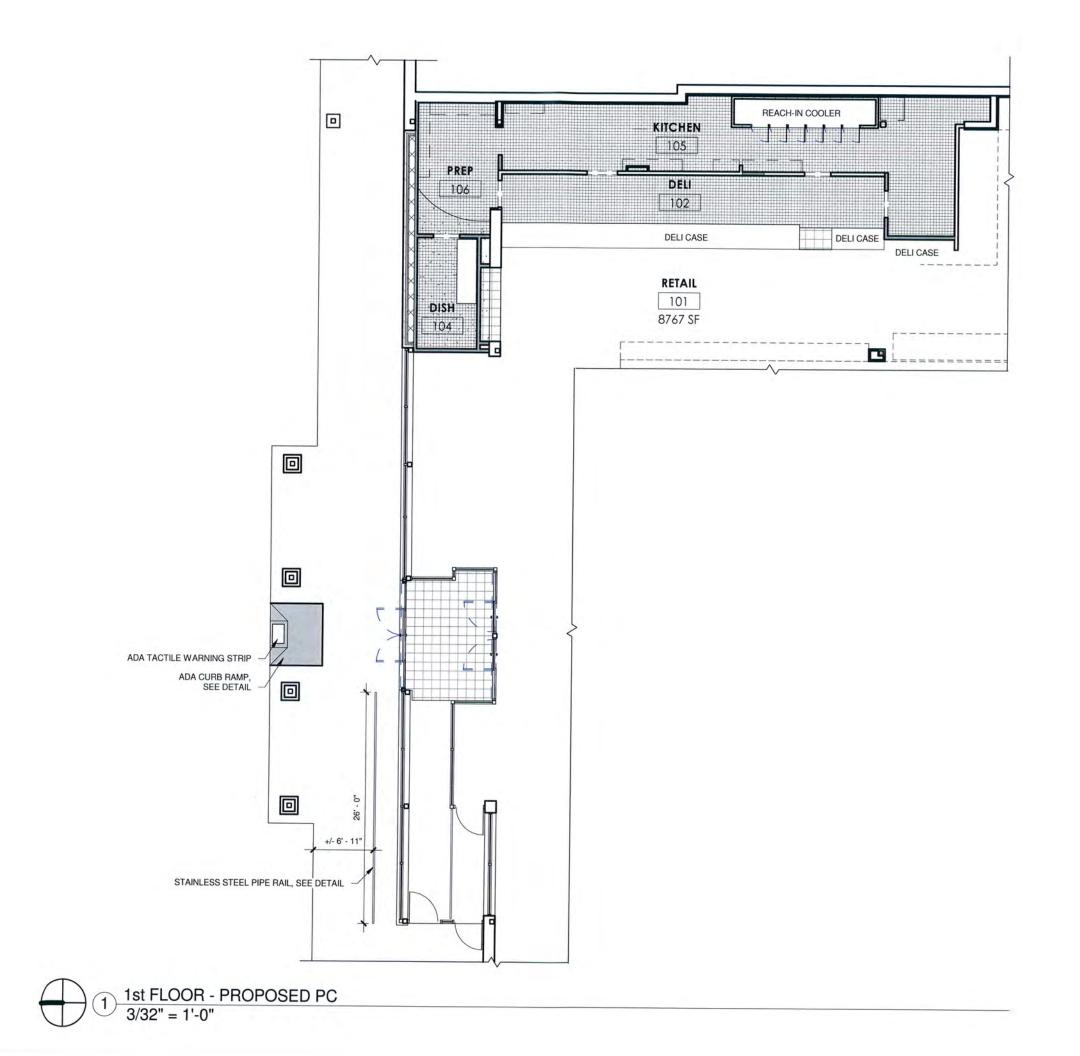
PC-3

PLAN COMM 08/16/17

16073

2800 S RIVER RD, #105 DES PLAINES, IL 60018 O: 877.205.3799 F: 877.260.7209





PROP PLAN

16 GRANT SQUARE, HINSDALE, IL 60521

PC-4

PLAN COMM 08/16/17

16073

THOMAS

ARCHITECTS

2800 S RIVER RD, #105

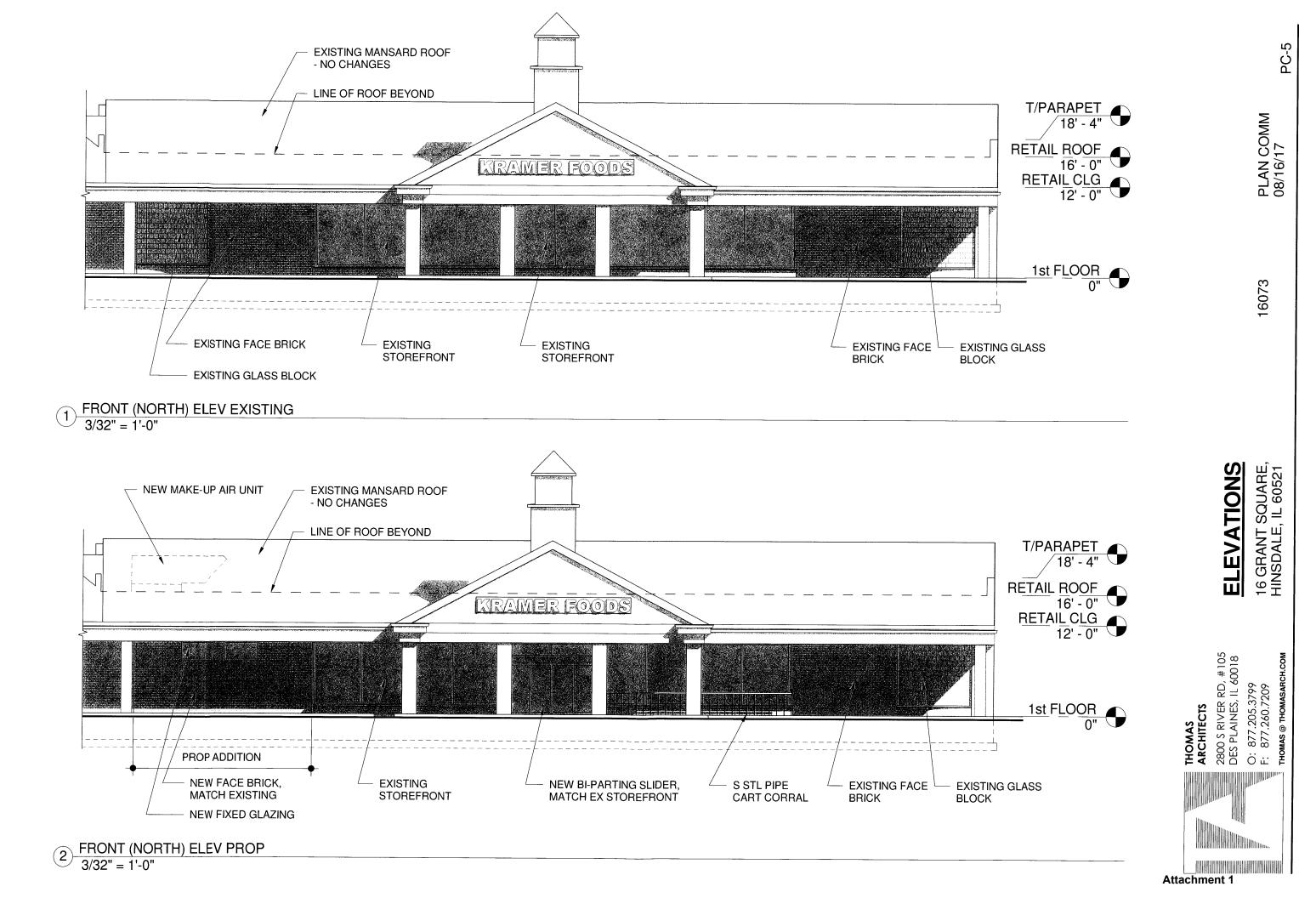
DES PLAINES, IL 60018

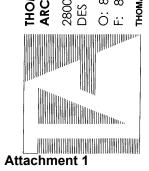
O: 877.205.3799

F: 877.260.7209



Attachment 1





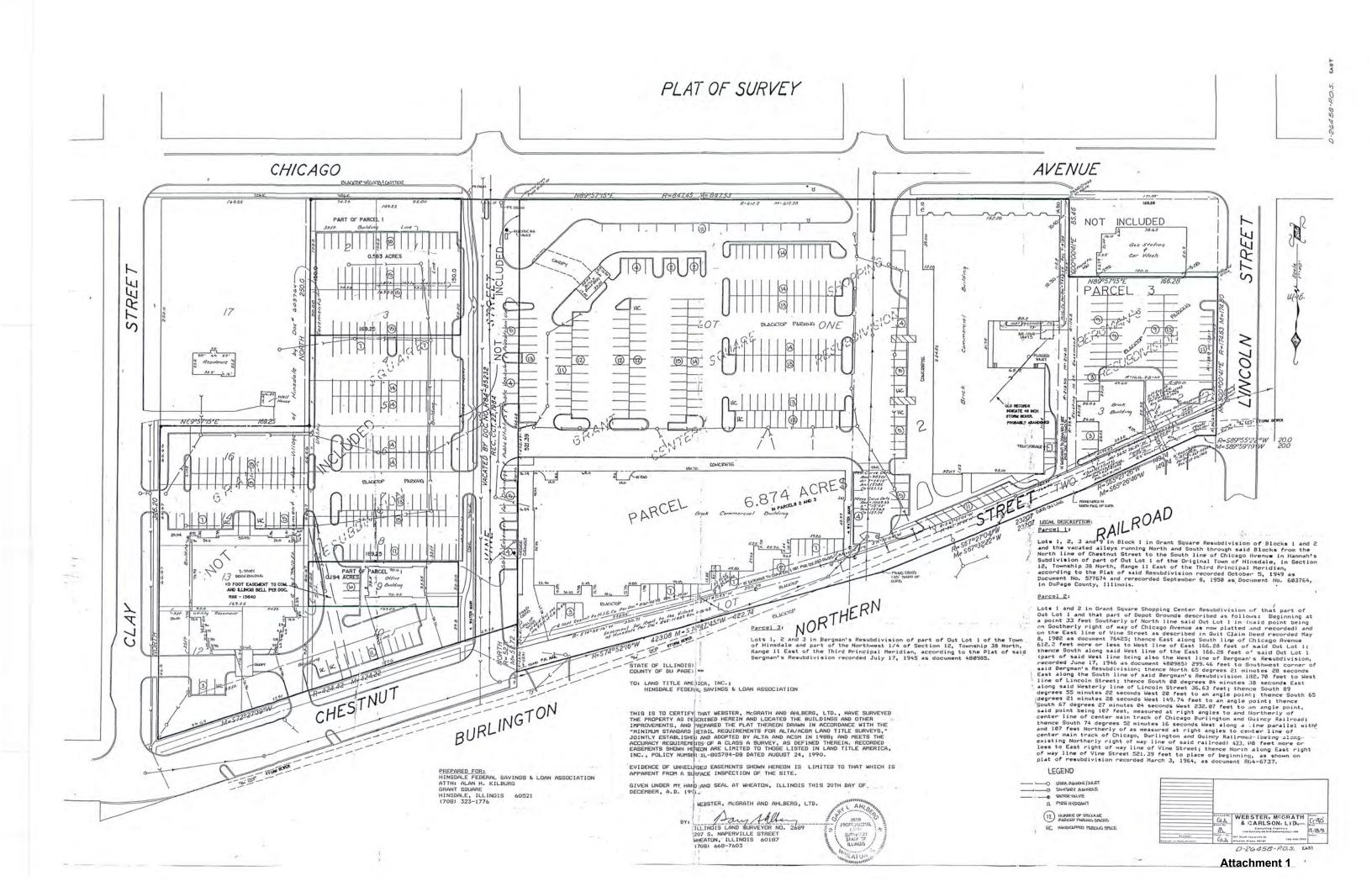






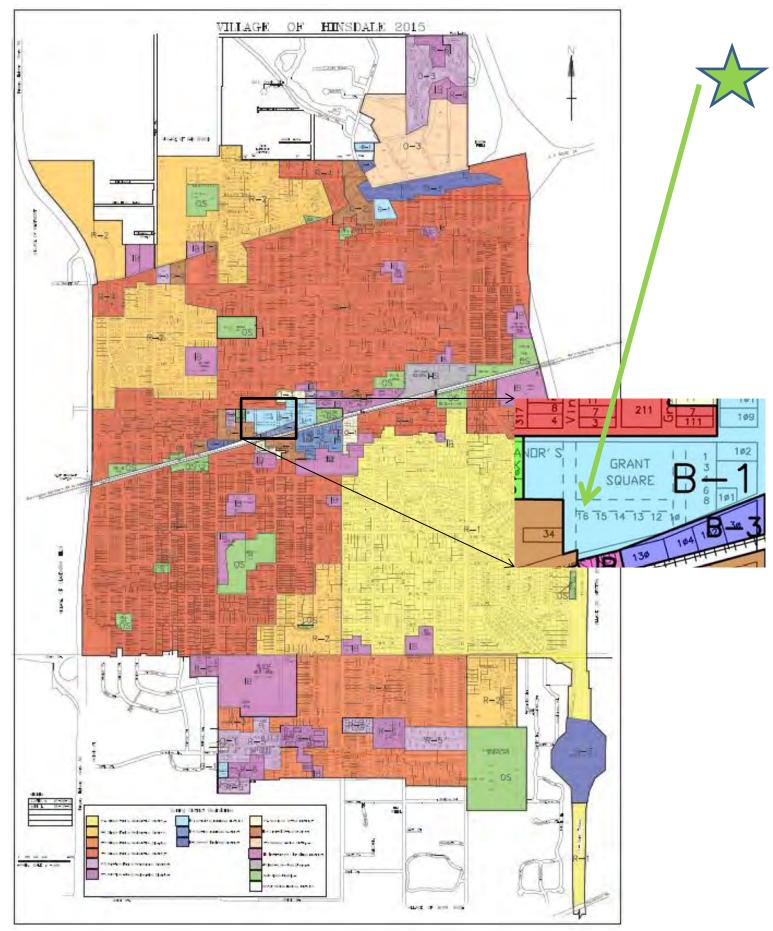


16 GRANT SQUARE, HINSDALE, IL 60521

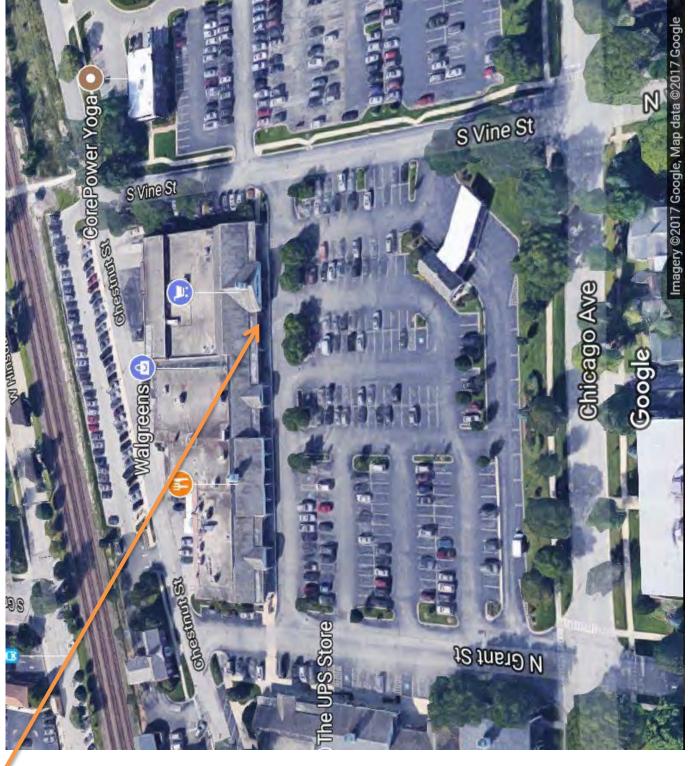


Attachment 2: Village of Hinsdale Zoning Map and Project Location





Birds Eye View of 16 Grant Square (facing south) **Proposed Work Location** Attachment 3:



Google Chicago Ave S Princolu . Hinsdale, Illinois St Chicago A

Attachment 4: Street View from Chicago Ave. and Vine St. (facing southeast) Area of Proposed Work



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: Public Hearing for Detailed Plan and Special Use Permit for a 64-Unit Planned

Development at the 24.5 Acre Site of S. E. Corner of 55th Street and County Line Road in

the R-2 District - Continued from August 9, 2017, Plan Commission Meeting Hinsdale Meadows Ventures, LLC - Case A-25-2017 (in relation to Case A-18-2016)

Summary

The Plan Commission (PC) on July 12, 2017, scheduled a Public Hearing for the August 9, 2017, PC meeting, to review this application. The applicant, Hinsdale Meadows Venture, LLC, is requesting approval for a Detailed Plan and Special Use Permit at the 24.5 acre site in the R-2 District Single Family Residential District. For the August 9, 2017, PC public hearing, the applicant presented an overview of the housing types, site plan, landscape plan and traffic study to the PC.

The public hearing was continued to the September 13, 2017, PC meeting, for the applicant to review items that are still being finalized. To that end, the applicant has submitted a cover letter of the topics to be discussed at the September 13, 2017, public hearing (Attachment 1). A new exterior elevation materials spreadsheet has been submitted for review by the PC (Attachment 2). Staff has confirmed the data in the Table of Compliance, as shown in the August 9, 2017, PC submittal (Attachment 3).

On March 7, 2017, the Village Board approved an Ordinance to allow Planned Developments as a Special Use in single family residential districts (O2017-07), and an Ordinance approving a Planned Development Concept Plan and Special Use Permit for Hinsdale Meadows Venture, LLC (O2017-08) for a 64-unit site plan with a mix of single family and duplex homes. The Concept Plan site plan features 22 single family homes (SFH) with an average lot area of 13,994 SF and 42 duet homes (DH) with an average combined lot area of 15,969 SF.

The Detailed Plan features the same layout and combination of 22 SFH and 42 DH. However, the average lot area of a SFH is 12,250 SF and the average combined lot area of a DH is 17,892 SF. The aggregate site area of the Concept Plan SFH is 7.07 acres and the Detailed Plan SFH is 6.19 acres. The Concept Plan DH site area is 7.70 acres and the Detailed Plan is 8.63 acres. The right-of-way area has decreased slightly from 4.38 acres to 4.33 acres, respectively. And the detention/open space are did not change at 5.35 acres.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

It should be noted that staff used the largest model possible on any given lot in order to determine worst-case scenarios. Using this approach ensures that the applicant does not need to come back for subsequent approvals given that they do not know which models will be built on any given lot.

On February 21, 2017, the applicant stated that it is their hope to offer pricing that ranged from the low to mid-\$800's for a majority of the duplex residences. Per the submitted Detailed Plan application cover letter dated July 6, 2017, this price range for the duplex homes is still the target, with the additional information regarding monthly assessments in the mid \$200 per month.

Planned Development Concept Plan Background

On September 14, 2016, the PC scheduled the public hearing for October 12, 2016. The PC public hearing was continued to the November 9, 2016, December 14, 2016, and formally closed on January 11, 2017. Staff received and shared 14 emails/correspondence by the public to the PC in regards to the application. Of the fourteen, 9 were supportive and 5 were against the application.

A motion by the PC to recommend approval for the Text Amendment as submitted, contingent on further staff consideration of how its wording might be revised in order to preserve its general applicability throughout the Village while ensuring that applications for Planned Developments in single-family zoning districts would be infrequent, passed, 6-1, (2 absent).

A motion by the PC to recommend approval for the Planned Development Concept Plan for 59-units, as amended, during the course of the Public Hearing, and Special Use permit application was approved contingent on; no basement bedrooms allowed; a detailed traffic study be provided for any future Detailed Plan approval; continued discussion between the Developer and Village staff as to storm water management and impacts; further investigation of making the development age restricted for a limited time; and further discussion of proposed public benefits, with a vote of 5-2, (2 absent).

On July 12, 2016, the applicant presented its initial concept site plan with elevation illustrations and floor models to the Village Board as a discussion item. The presentation material was posted on the Village's website and in the lobbies of Village Hall and the Hinsdale Public Library for feedback to the BOT.

On August 9, 2016, the BOT (First Reading item to refer to the PC) reviewed the application and summarized the main issues for further PC discussion including: age-targeted versus age-restricted, architecture of the homes, price point of the homes, public benefits and green space. The applicant summarized the request and answered some of the concerns by the BOT. On September 6, 2016, (Second Reading Agenda item) the Board referred the application packet for consideration by the PC.

On February 7, 2017, the applicant presented the request as a First Reading item to the Board of Trustees after the PC public hearing formally closed on January 11, 2017. The Board discussed and

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

was satisfied with the proposed public benefit, the age-targeted, as opposed to age-restricted, nature of the development, and with the fee in lieu of BMP requirement proposed by the Petitioner relative to storm water management. Changes to the Declaration of Covenants, Conditions, Easements and Restrictions for Hinsdale Meadows for Article IX, Paragraphs 20 and 18, was discussed and requested to reflect: no basement bedrooms by the Developer or Owners; no recreational devices of any kind permitted on a lot within the Planned Development; and no full bathrooms in the basements of the units.

On February 21, 2017, the Board of Trustees requested that the applicant provide an alternative 64-unit site plan to review. The applicant submitted a 64-unit site plan with a revised mix of 42 duplex homes and 22 single family detached homes. Per the applicant, it is their hope to offer pricing that ranges from the low to mid-\$800's for a majority of the duplex residences.

On March 7, 2017, the Village Board approved an Ordinance to allow Planned Developments as a Special Use in single family residential districts (O2017-07), and an Ordinance approving a Planned Development Concept Plan and Special Use Permit for Hinsdale Meadows Venture, LLC (O2017-08) for a 64-unit site plan with a mix of single family and duplex homes.

Public Hearing Process

Within forty five (45) days following the conclusion of the public hearing, the PC shall transmit to the BOT its recommendation in the form specified by subsection <u>11-103(H)</u>. The failure of the PC to act within forty five (45) days following the conclusion of such hearing, or such further time to which the applicant may agree, shall be deemed a recommendation for the approval of the proposed amendment as submitted.

Attachments:

Attachment 1 – Hinsdale Meadows Venture Update Review Memo (dated September 6, 2017)

Attachment 2 - Building Materials List (dated September 8, 2017)

Attachment 3 - Table of Compliance (confirmed by staff on August 16, 2017)

Please refer to the Planned Development Proposal for Hinsdale Meadows binder, dated July 2017, submitted for the July 12, 2017, PC meeting; it is also available here electronically: http://www.villageofhinsdale.org/document_center/PlanCommission/2017/JUL/July_12_2017_PC_Packet.pdf

Please refer to the August 9, 2017, public hearing transcript in the September 13, 2017, "Packet" here: http://www.villageofhinsdale.org/government/committees and commissions/plan commission.php

Hinsdale Meadows Venture

September 6, 2017

Commissioners, Plan Commission Village of Hinsdale Board of Trustees, Village of Hinsdale Kathleen Gargano, Village Manager Rob McGinnis, Director of Community Development Chan Yu, Village Planner

Re: Plan Commission Public Hearing, September 2017

We are pleased with the continuing progress on the Final Plans documents for Hinsdale Meadows. As requested by Chan Yu, this memorandum provides an update for the status of the documents.

- (1) Final Engineering review comments from Village staff have been addressed and the Final Plan with the revisions has been approved.
- (2) The updated Table of Compliance, previously submitted for the August 2017 Plan Commission hearing, has been reviewed and approved by Village staff.
- (3) A draft Emergency Access Easement Agreement has been prepared and forwarded to the Village Attorney for review. The Agreement will provide a recorded easement to the Village to allow emergency vehicles to access the adjacent RML Hospital property off of Barton Lane in the event of emergency. As lessor of the property, the Hospital is currently working with Cook County to provide their own easement through the hospital site in order to access the Hinsdale Meadows site.
- (4) A separate Construction and Cost Sharing Agreement has been prepared and agreed upon with the RML Hospital, to memorialize the cost sharing associated with providing the fire lane access, the gate, and parking lot lighting provisions.
- (5) Minor language changes are included in the HOA Declaration to address comments from the Village attorney, and to provide other minor clarifications.
- (6) Based on two meetings with Village staff, including the Village's Parks and Recreation Department, a revised grading plan and a written work plan for the KLM Park Improvements have been prepared. The Village's Parks & Recreation Commission meets on September 12th and will discuss and approve the plan that night if it meets with their approval.
- (7) The Development Agreement comments from the Village Attorney have been addressed, and a revised version has been forwarded to the Village Attorney for final review and approval.

We hope this description of the Final Plan revisions helps facilitate the Plan Commission's review of our Final Plan submittal, and look forward to our meeting with you. We appreciate the detailed review and input from the Village staff, and thank you again for your cooperation.

Sincerely yours,

Edward R. James

CC: Jerry James Michael Balas

Exterior Elevation Materials		Hinsdale Meadows		
Date:	9/8/2017			
Home Type:	ALL			
Elevation:	ALL			
		MATERIALS SPECIFIC TO ELEVATION STYLES	N STYLES	
Plan	Elevation Style	Siding	Masonry	Stucco
ALL	ALL	Hard Finish Stucco	Standard Brick	Hard Finish Stucco
		MATERIALS INFORMATION		
Element	Material	Manufacturer	Style	Color
Roof Shingles:	Asphalt	Certainteed Landmark or Equal	Architectural	Driftwood
Metal Roofing:	Aluminum	PAC Clad or Equal	Standing Seam	Dark Bronze
Gutters:	Aluminum	ACM or Equal	5" K-Style	Sandstone
Downspouts:	Aluminum	ACM or Equal	3x4	Sandstone
Soffit:	Hardie Board	Hardie	Per plan	SW#7506 Loggia or similar
Fascia:	Hardie Board	Hardie	Per plan	SW#7506 Loggia or similar
Rake:	Hardie Board	Hardie	Per plan	SW#7506 Loggia or similar
Trim:				
Vertical	Hardie Board	5/4"	Per plan	SW#7506 Loggia or similar
Horizontal	Hardie Board	5/4"	Per plan	SW#7506 Loggia or similar
Windows	Hardie Board	5/4"	Per plan	SW#7506 Loggia or similar
Doors	Std Brickmold	Pine Brickmold	Per plan	SW#7506 Loggia or similar
Columns:	Hardie 1x	Carpenter built	Painted per plan	SW#7506 Loggia or similar
Siding:				
Hard Finish Stucco	Stucco		Freestyle	Greyish White 104
Masonry:				
Brick Veneer	Standard Brick	Var.	Standard Brick	Heartland Wyandot
Stone Sills	Cast Stone		Cast Stone	Cast Stone
Heads	Var.	Var.	Var.	
Shutters:	Vinyl	Mid-America or Equal	Per plan	Painted Gray
Railings:	Aluminum	TBD	Prefinished	Dark Bronze
Decking:	Floating	Treated Lumber over EPDM	5/4 x 6	Treated
Brackets:	Fypon	Fypon	Per plan	SW#7506 Loggia or similar
Windows:	Vinyl	TBD	Single Hung	Sandstone
Doors:				
Sliding Glass	Vinyl	TBD	Insulated per Code	Sandstone
Garage	B-Label Steel Door	TBD	Insulated Pan per plan	Desert Tan
Front Entry	Fiberglass	Therma Tru	2 Panel	Painted Gray

TABLE OF COMPLIANCE - Hinsdale Meadows

Address of subject property: SE Corner of County Line Road and 55th Street

The following table is based on standard R-2 Zoning District requirements, as compared to the proposed Hinsdale Meadows Planned Development. For purposes of listing the waivers shown below, the figures shown represent maximum or "worst-case" level of waiver requested for each requirement.

A further description and/or rationale for each required waiver is shown in the "Footnotes/Description/Rationale" column on the Explanation of Requested Relief page attached.

	Minimum Code	Proposed - Single Family	Proposed - Duplex Homes
	requirements	Homes	
Minimum Lot Area (s.f)	20,000	10,000/ reduction of 10,000	15,000/ reduction of 5,000
Minimum Lot Depth	125'	125'	125'
Minimum Lot Width	100'	56.5' /	77.8'/
		reduction of 43.5'	reduction of 22.2'
Building Height	30'	<30'	30.17'/ increase of 0.17'
Building Elevation	35.5 Single Family	40.75' for walk out units /	42.92' for walk out units /
	36.25' Duet	increase of 5.25'	increase of 6.67'
Number of Stories	3	3	3
Front Yard Setback	35'	30' / reduction of 5'	30' / reduction of 5'
		25' for lots 7,8,9,10, & 11 /	25' for lots 12 & 13 /
		reduction of 10'	reduction of 10'
Corner Side Yard Setback	35'	30' / reduction of 5'	30' / reduction of 5'
Interior Side Yard Setback	14.02' SF	8' / reduction of 6.02'	9' / reduction of 5.42'
	14.42' Duet		
Combination Side Yard Setback	39.06' SF	16' / reduction of 23.06'	18' / reduction of 18.93'
	36.93' Duet		
Rear Yard Setback	50'	35' / reduction of 15'	25' / reduction of 25'
		30' along pond / reduction	15' (Lot 41) due to corner
		of 20'	lot and existing storm
Maximum Floor Area Ratio (FAR)	268,234.25	204 910 52	sewer / reduction of 35' / increase of 36,576.27
Maximum 11001 Area Natio (1 Ait)	200,234.23	304,010.32	, increase of 30,370.27
Maximum Building Coverage	25%	29.62% / increase of 4.62%	30.4% / increase of 5.4%
Maximum Total Lot Coverage	50%	<50%	<50%
Parking Requirements	N/A	N/A	N/A
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading requirements	N/A	N/A	N/A
Accessory Structure information	N/A	N/A	N/A

Village staff confirmed the data in the above Table (08.16.17) - C.Y.