

Approved

**MINUTES
VILLAGE OF HINSDALE
PLAN COMMISSION
May 11, 2016
MEMORIAL HALL
7:30 P.M.**

Chairman Cashman called the meeting to order at 7:30 p.m., Wednesday, May 11, 2016, in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

PRESENT: Chairman Cashman, Commissioner Ryan, Commissioner Peterson, Commissioner Fiascone, Commissioner Unell and Commissioner Crnovich

ABSENT: Commissioner Krillenberger and Commissioner McMahon

ALSO PRESENT: Chan Yu, Village Planner
Applicant Representatives for Case: A-03-2016 and A-08-2016

Approval of Minutes

Chairman Cashman asked the Plan Commission (PC) for any questions or comments from the April 13, 2016, meeting. With no questions or comments, Chairman Cashman asked for a motion to approve the minutes. Commissioner Ryan motioned and Commissioner Crnovich seconded. The motion passed unanimously (5 Ayes and 3 absent).

Findings and Recommendations

Case A-03-2016 – 20 E. Ogden Ave. – LaMantia – Exterior Appearance and Site Plan for façade improvement, roof work and landscaping.

Chairman Cashman provided a summary of the application and thanked the applicant for attending the meeting.

Nick Esposito, project applicant reported that the Board of Trustees had no questions at the meeting.

Chairman Cashman mentioned that the PC complimented the applicant for the great presentation and application in the April 13 PC minutes.

Nick Esposito thanked the PC.

Chairman Cashman asked for any comments or questions from the PC. With none, he asked for a motion to approve the Findings and Recommendations as submitted.

Commissioner Crnovich motioned to approve. Commissioner Fiascone seconded. The motion passed unanimously (6 Ayes and 2 absent).

Plan Commission Minutes

May 11, 2016

Case A-05-2016 – 414 W. Chestnut St. – Mani & Pedi – Exterior Appearance and Site Plan for chimney to meet building codes.

Chairman Cashman provided a summary of the application and asked the PC for any comments. With none, he asked for a roll-call vote to approve the Findings and Recommendations.

The motion passed unanimously (6 Ayes and 2 absent).

Sign Permit Review

Case A-08-2016 – 777 N. York Rd. #9 – A.B. Edward Design – 2 Awning Signs with a Height Modification Request (6'-10" vs. 8' above grade)

Chairman Cashman introduced the next new item on the agenda as a sign application from A.B. Edward Design at Gateway Square. He next asked the applicant to please introduce himself and the request.

Jon Edward, introduced himself as the Business Manager and applicant. He explained that they are looking to install a new awning at Gateway Square, as well as replacing the valance on an existing awning to advertise A.B. Edward Designs. He offered to show some photos and mentioned that they will use the same awning company who installed the existing ones in the plaza. Mr. Edward also reiterated that the new awning will be installed on the parking lot side of the plaza. The plan is to lower the existing exterior light to install the new awning. The new awning will also be the same color as the other awnings.

Chairman Cashman asked Village Planner Chan, if the other alternative would be to have the existing tenants conform to the Zoning Code minimum height distance for awnings.

Chan confirmed, and mentioned or have A.B. Edward install an awning that would not match and be out of character with the rest of the Square.

Chairman Cashman asked Chan if knew when the Square was constructed.

Chan replied, unfortunately no.

Chairman Cashman believes it was circa late 1970's or early 1980's.

Chairman Cashman asked Chan if the bottom of the valance is around 7'10" or 7'11".

Chan and the applicant referenced the height is 6'10".

Chairman Cashman thought this was interesting since residential doors are about 6'8", and mentioned he never noticed this at the Square.

Plan Commission Minutes
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Jon Edward mentioned that he believe the Square would perhaps look better and open if all the awnings were higher.

Chairman Cashman thanked the applicant and asked if the PC had any further discussions, comments or questions.

Commissioner Unell expressed that this is a straightforward request.

Chairman Cashman reviewed that this request is logical and in keeping with the character of Gateway Square. He next asked for a motion to approve the sign application as submitted.

Commissioner Ryan motioned to approve. Commissioner Unell seconded. The motion passed unanimously (6 Ayes and 2 absent).

Other Business

The meeting was adjourned after a motion was made by Commissioner Fiascone and seconded by Commissioner Unell at 7:38 p.m.

Respectfully Submitted,

A handwritten signature in black ink, appearing to be 'Chan Yu', with a stylized, sweeping stroke.

Chan Yu, Village Planner

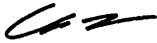


MEMORANDUM

DATE: June 8, 2016

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 49 S. Washington St. – Reflexion Spa – 1 Wall Sign with Height Modification

Summary

The Village of Hinsdale has received an application from Kovar Signs, on behalf of Reflexion Spa to install a new wall sign at 49 S. Washington Street. The tenant is located in a multi-tenant building in the B-2, Central Business District. The applicant is requesting a modification to the sign code to install the wall sign higher than the bottom of the second floor window.

Request and Analysis

The Zoning Code maximum height for a wall sign is 20' or no higher than the bottom of any second floor window. The building at 49 S. Washington Street features a 2nd story bay window that has a bottom height of 156" (13 feet). However, the applicant seeks to install the wall sign at 159" (13.25 feet).

Per Section 11-607(F)(2)(a), the Plan Commission (PC) may authorize an increase by not more than 20% of the maximum allowable height from grade of any sign. The difference between 13' and 13.25' is 2%. Therefore, the height modification request is for a 2% increase from the 13-foot maximum (based from the second floor window).

The wall sign is non-illuminated and features three colors: red, white and black. It is 12" tall and 85" wide, for an area of approximately 7.1 square feet. There is no existing signage for Reflexion Spa at the site.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Streetview of 49 S. Washington Street



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: MIKE KOVAR
Address: 401 N. CASS AVE.
City/Zip: WESTMONT IL. 60559
Phone/Fax: (630) 901 / 4176
E-Mail: michaelkovar9@hotmail.com
Contact Name: MIKE KOVAR

Contractor

Name: KOVAR SIGNS
Address: 401 N. CASS AVE.
City/Zip: WESTMONT IL. 60559
Phone/Fax: (630) 901 / 4176
E-Mail: michaelkovar9@hotmail.com
Contact Name: MIKE KOVAR

ADDRESS OF SIGN LOCATION: 49 S. WASHINGTON STREET, HINSDALE

ZONING DISTRICT: Please Select One DOWNTOWN

SIGN TYPE: Please Select One WALL SIGN / STORE FRONT

ILLUMINATION Please Select One NON ILLUMINATED

Sign Information:

Overall Size (Square Feet): 7.08 (12' x 85")

Overall Height from Grade: 13.25 Ft.

Proposed Colors (Maximum of Three Colors):

- ① RED
- ② White
- ③ Black

Site Information:

Lot/Street Frontage: 24'

Building/Tenant Frontage: N/A (OFFICE BLDG)

Existing Sign Information: None for Reflexion

Business Name: KELSEN

Size of Sign: 18' Square Feet

Business Name: ATRIUM

Size of Sign: 5' Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Michael Kovar
Signature of Applicant

4/11/16
Date

July M...
Signature of Building Owner

4-7-2016
Date

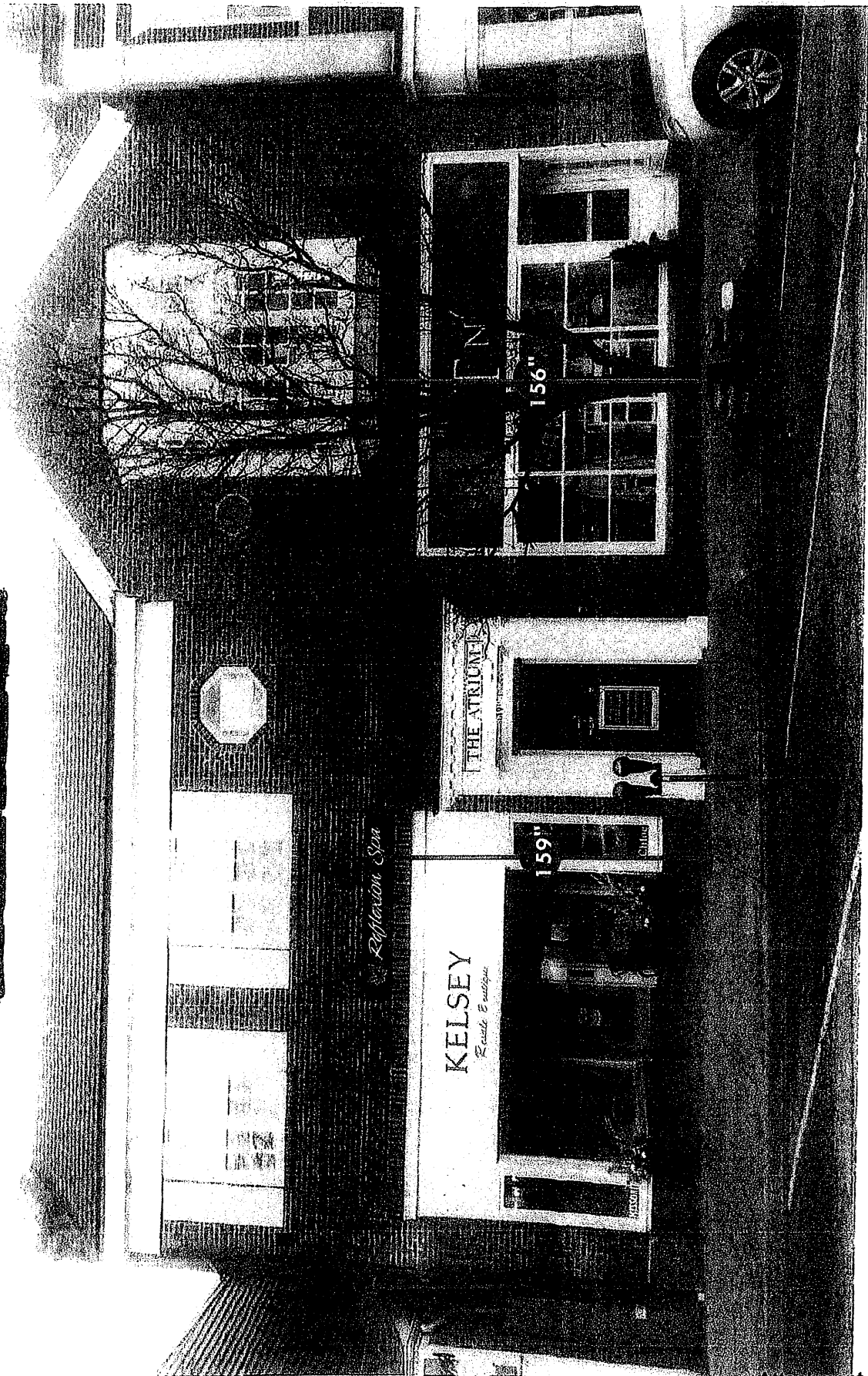
FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

All corrections in red by Chan, per
Kovar Signs email 06.01.16

Approximate
Signs
1/20/20
Signs 1-4 @ 12" x 83"
Signs 5-12 @ 12" x 66"



Reflexion spa sign would be 159" to the top of sign, bottom of window is 156"
20% height increase modification is requested for this signs for reflexion spa.



'Signs... They don't cost money,
they make money'

.com

401 N. Cass Ave Westmont, IL 60559

office 630-968-4176

fax 630-960-3927

cell 630-901-4176

kovarsigns.com

Channel Letter style,
Non Illuminated
routed aluminum,
with jewel lite edge cap
colors white black and red

flush mounted to wall , into brick mortar only
tap con bolts

85"

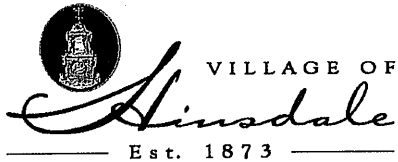


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Attachment 3: Street View 49 S. Washington Street





MEMORANDUM

DATE: July 13, 2016

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner *CU*

RE: 107 S. Vine Street – Hinsdale Psychological Resources Office Building
Exterior Appearance and Site Plan Review for New Exterior Wheelchair Lift

Summary

The Village of Hinsdale has received an application from Hinsdale Psychological Resources, Ltd., requesting approval for a new exterior wheelchair lift to assist ADA clients access the first and second floor. 107 S. Vine Street is a 2.5-story office building in the O-1 General Office District. The wheelchair lift will be installed in the rear of the structure with clapboard siding and roofing to match the existing color, material and style of the building.

Request and Analysis

Hinsdale Psychological Resources was located at 333 Chestnut Street, and has relocated into the office building at 107 S. Vine Street. The applicant is requesting to install an elevator to accommodate disabled patients.

The elevator addition will project from the rear building face 4'-6". It will be constructed on a new foundation with a new rear yard setback of 48'-4" from the rear lot line. The back of the building faces the parking lot and the rear lot line borders undeveloped O-1 General Office District land. The project will have minimal impact to the building coverage, lot coverage and floor area ratio with a one percent increase. The proposed project will be Code compliant as shown on the applicant's table of zoning compliance.

The project site is located in the O-1 General Office District and borders the O-1 General Office District to the south and east, R-4 Single Family Residential District to the west, and W. Hinsdale Avenue and BNSF railroad tracks to the north. The public meeting notice requirements have been followed per section 11-604(E), since the nonresidential project property is within 250 feet from a single-family zoning district.

Process

Pursuant to Section 11-604, the Chairman of the Plan Commission (PC) shall at the public meeting on the application for site plan review allow any member of the general public to offer relevant, material and

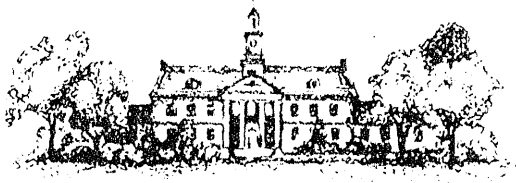


MEMORANDUM

nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the PC shall transmit to the Board of Trustees (BOT) its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the site plan based on the standards set forth in subsection F1 of this section (11-604) and section 11-606.

Attachments:

- Attachment 1 – Exterior Appearance and Site Plan Application Request and Exhibits (packet)
- Attachment 2 - Public Meeting Notice and Certification of Proper Notice
- Attachment 3 - Zoning Map and Project Location
- Attachment 4 - Aerial Photo of 107 S. Vine Street
- Attachment 5 - Street View of 107 S. Vine Street



**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Dennis Batchos
Address: 107 S Vine St
City/Zip: Hinsdale 60521
Phone/Fax: () /
E-Mail: dbatchos@hinsdalepsych.com

Owner

Name: _____
Address: _____
City/Zip: _____
Phone/Fax: () /
E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Dennis Parsons
Title: Architect
Address: 28 Springlake Ave
City/Zip: Hinsdale 60521
Phone/Fax: (⁶³⁰) 567 / 8135
E-Mail: dennis@parsonsarchitects.com

Name: _____
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: () /
E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) _____
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 107 S Vine St

Property identification number (P.I.N. or tax number): 09 - 12 - 110 - 001

Brief description of proposed project: Wheelchair lift addition for ada client access to second floor.

General description or characteristics of the site: 2.5 story farmhouse used for professional offices with parking behind.

Existing zoning and land use: O1 OFFICE

Surrounding zoning and existing land uses:

North: BNSF RAILROAD

South: O1 OFFICE

East: O1 OFFICE

West: R4 RESIDENTIAL

Proposed zoning and land use: O1 OFFICE - NO CHANGE

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E
Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 107 S Vine St

The following table is based on the 01 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	8,500 SF	6,896 SF / No Change
Minimum Lot Depth	125'-0"	120'-0" / No Change
Minimum Lot Width	60'-0"	52'-1" / No Change
Building Height	30'-0"	30'-8" / No Change
Number of Stories	2.5	2.5 / No Change
Front Yard Setback	35'-0"	20'-3" / No Change
Corner Side Yard Setback	35'-0"	16'-8" / No Change
Interior Side Yard Setback	10'-0"	8'-5" / No Change
Rear Yard Setback	25'-0"	52'-10" / 48'-4"
Maximum Floor Area Ratio (F.A.R.)*	2,758 SF (40%)	2,192 SF (31%) / 2,264 SF (32%)
Maximum Total Building Coverage*	5,517 SF (35%)	1,141 SF (16%) / 1,177 SF (17%)
Maximum Total Lot Coverage*	5,517 SF (80%)	4,967 SF (72%) / No Change
Parking Requirements	8	8 / No Change
Parking front yard setback	No Changes	No Changes
Parking corner side yard setback	No Changes	No Changes
Parking interior side yard setback	No Changes	No Changes
Parking rear yard setback	No Changes	No Changes
Loading Requirements	No Changes	No Changes
Accessory Structure Information	No Accessory Structures	No Accessory Structures

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: House pre-dates zoning ordinance adoption.

EAST ELEVATION

1/4" = 1'-0"

ROOFING TO MATCH EXISTING
COLOR, MATERIAL, AND STYLE

CLAPBOARD SIDING ±5" EXP. TO
MATCH EXISTING
TRIM SIZE TO MATCH EXISTING
PAINTED TO MATCH EXISTING

SECOND FLOOR

± 9'-9"

FIRST FLOOR

± 4'-11"

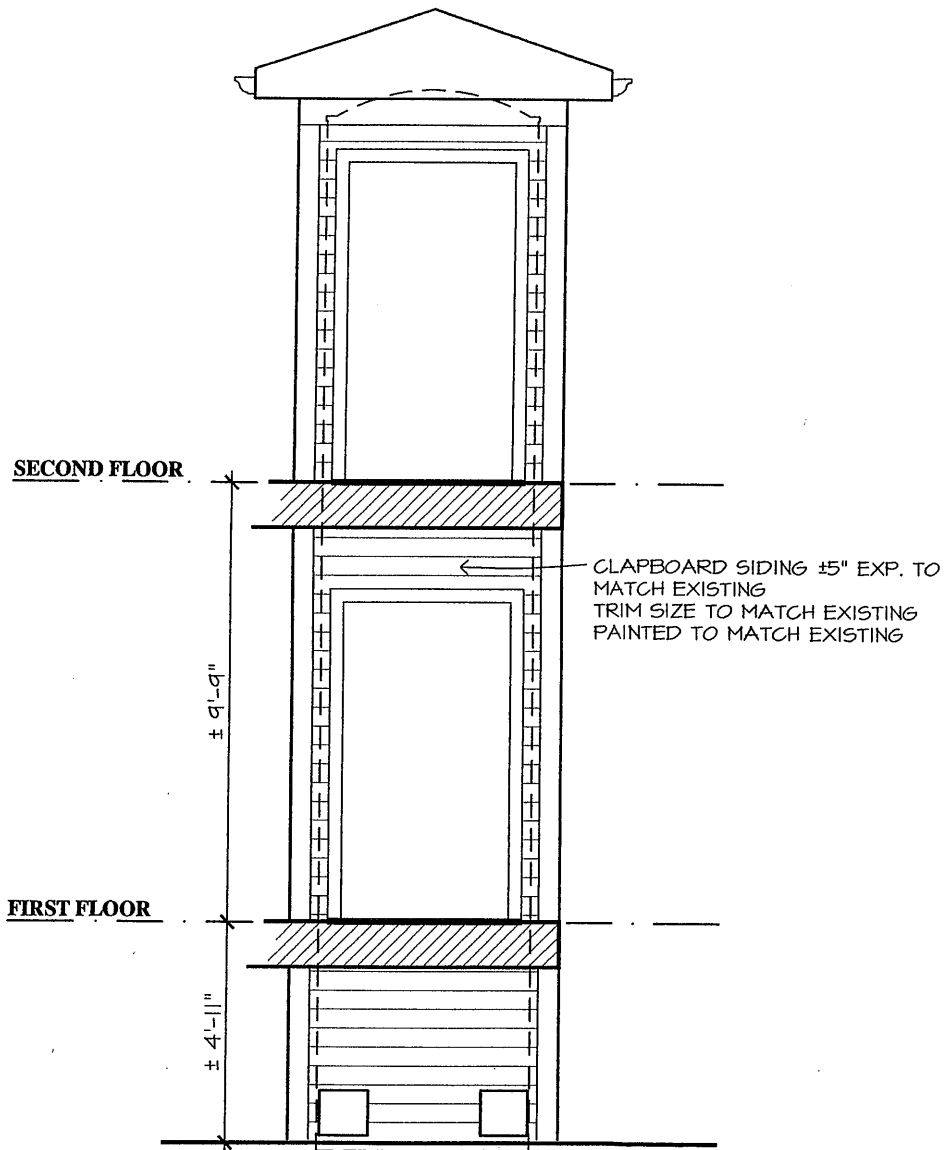
A WHEELCHAIR LIFT FOR:
Dennis BATCHOS

107 S Vine St
HINSDALE, ILLINOIS

PARSONS
ARCHITECTS, LLC

28 SPRINGLAKE AVENUE
HINSDALE, IL 60521
PHONE: 630.567.8135

DATE:
03/14/2016



WEST ELEVATION

1/4" = 1'-0"

A WHEELCHAIR LIFT FOR:
Dennis BATCHOS

107 S Vine St
HINSDALE, ILLINOIS

PARSONS
ARCHITECTS, LLC

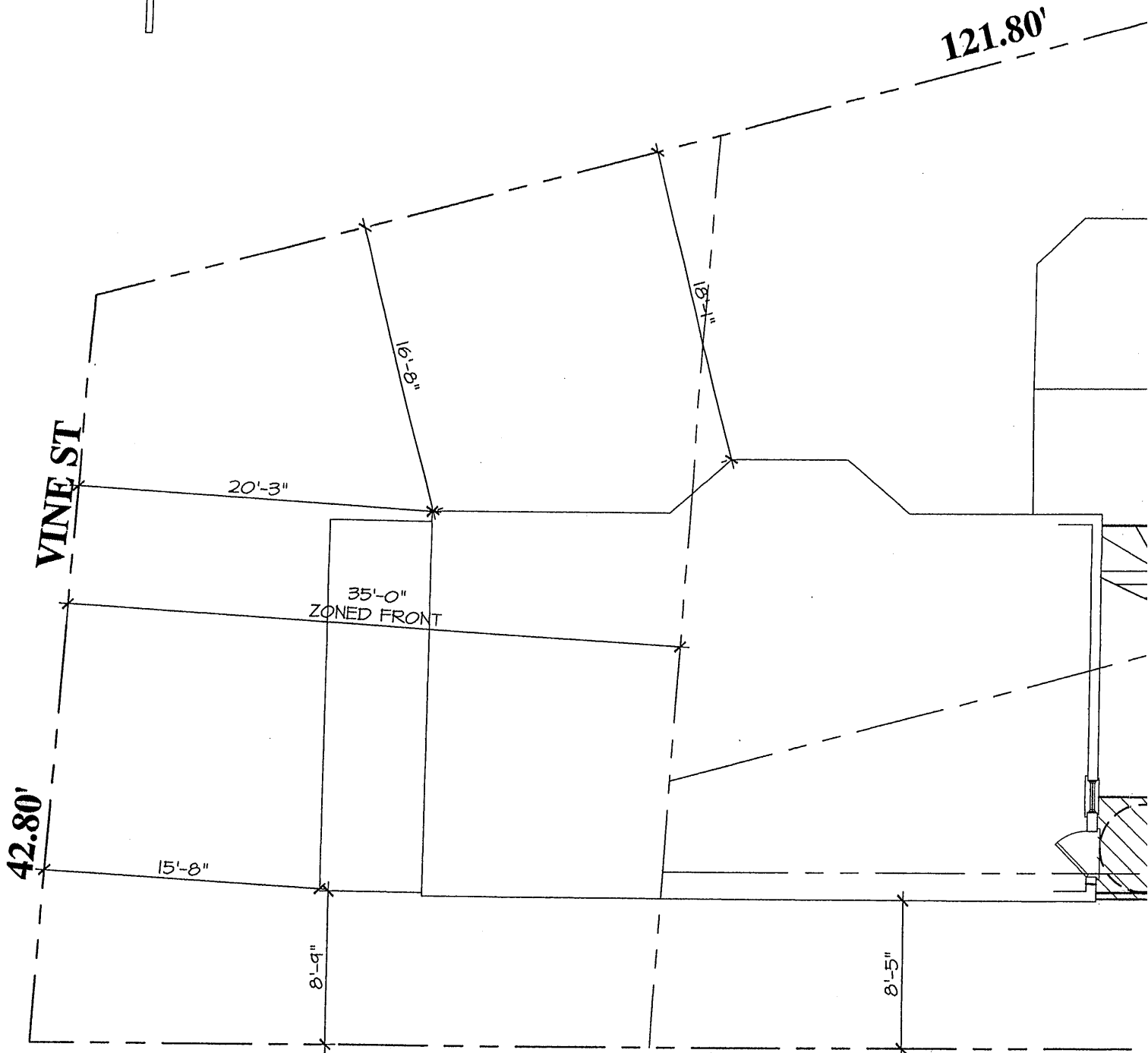
28 SPRINGLAKE AVENUE
HINSDALE, IL 60521
PHONE: 630.567.0135

DATE:
C 2016



ARCHITECTURAL SITE PLAN

1/8" = 1'-0"



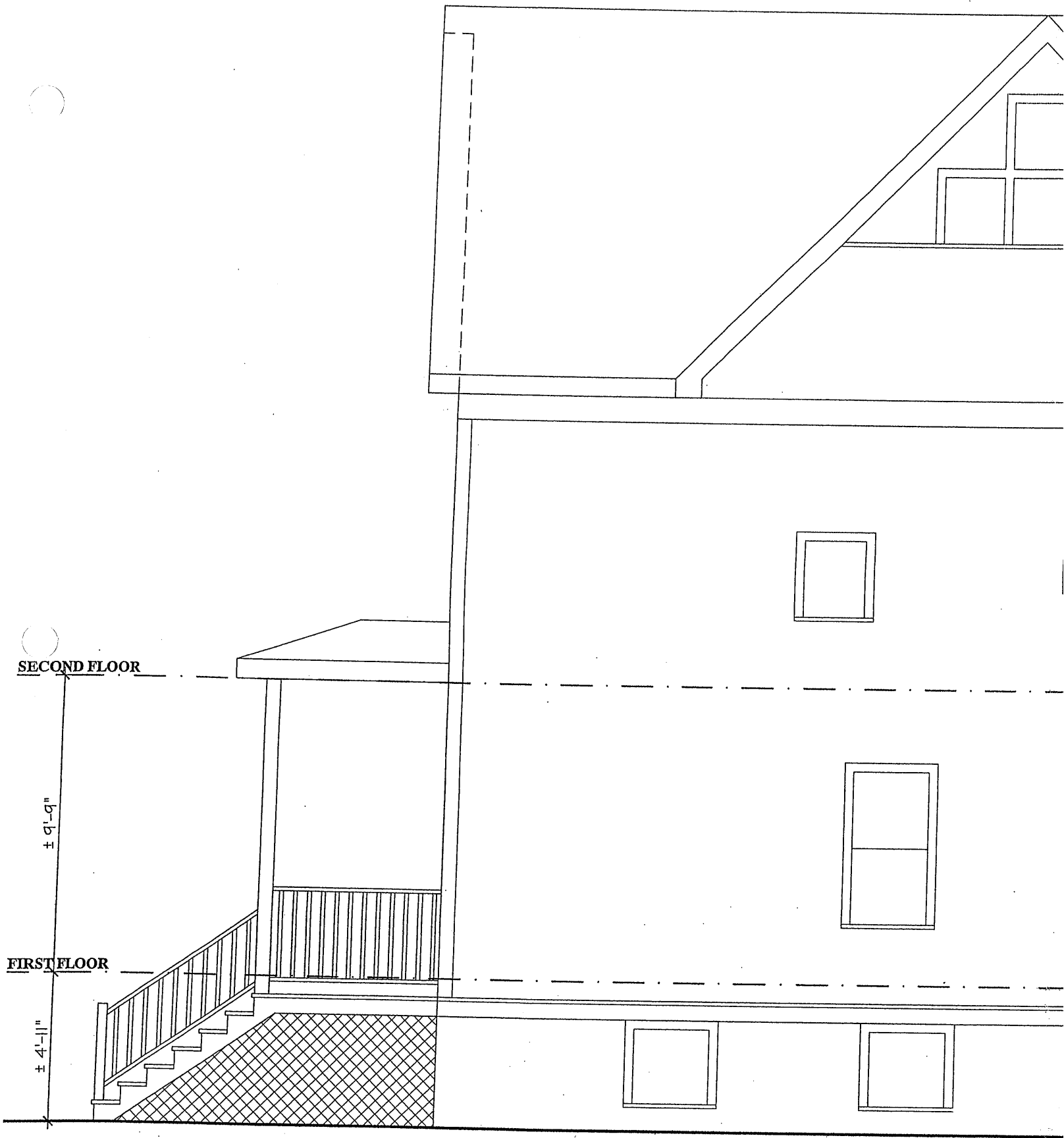
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04-21-2016

A WHEELCHAIR LIFT FOR:

Dennis BATCHOS

107 S Vine St
HINSDALE, ILLINOIS

P
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A WHEELCHAIR LIFT FOR:

Dennis BATCHOS

107 S Vine St
HINSDALE, ILLINOIS

DATE:

04-21-2016

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**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 107 S Vine St

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE***** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

The proposed addition consists of only 38 sf of additional space. This has a negligible impact on the open space of the site which is located on the other side of the site.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

The proposed addition shall be clapboard style siding to match the character of the existing structure.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

The proposed addition shall service the existing home and provide leadership in ADA compliance in this pocket of converted homes that serve as professional offices. The proper execution of this design could lead to the aesthetics of accessibility becoming more accepted.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The proposed addition has no impact on the use of site for able-bodied persons and seeks to allow those with accessibility needs the same level of access and service. No trees or shrubs will be harmed.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The proposed additional shall match eave height and roof lines with the existing rear porch of the building and the overall visual quality of the rear porch will be improved with its repair.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The proposed addition is to the rear of the building and has no impact on the front facade.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The openings of the proposed additional shall reflect the character of the openings of the existing structure.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The proposed addition is to the rear of the building and has no impact on the front facade.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The proposed addition does not change the open space between the existing building and the neighboring structure.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The proposed addition has no impact on the relationship of entrances and projections to sidewalks.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The proposed addition shall be clapboard style siding with trim and painted to match the character of the existing structure. The roofing material shall be chosen to match and blend with the existing porch roof and the eaves shall align.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

The slope of the roof of the proposed addition shall match the slope of the existing porch and the eaves shall align.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

The proposed addition shall align with the south wall of the existing structure.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The scale of the proposed addition is properly lower in hierarchy to the larger existing structure.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The proposed addition is to the rear of the building and has no impact on the front elevation

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Not applicable.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The proposed addition meets and exceeds the specified standards.

2. The proposed site plan interferes with easements and rights-of-way.

The proposed addition does not interfere with easements or rights-of-way.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The proposed addition shall not destroy or damage the site in any way. The proposed addition shall increase the enjoyment and use of the site.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

The proposed addition does not harm the enjoyment of any surrounding properties.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

The proposed addition shall not interfere with existing traffic patterns on or off the site.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

The screening of the site provides adequate shielding.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The proposed structures increase amenity to existing structures.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Not Applicable.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The proposed addition incorporates storm water management recommendations from DuPage county.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The proposed addition shall not burden utility systems.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The proposed addition does not impinge on required public uses.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The proposed addition shall increase the capability of the site and structure to assist those with accessibility needs to enjoy the same public health, safety and welfare as the rest of the public.

VILLAGE OF HINSDALE

CERTIFICATION OF PROPER NOTICE

REGARDING APPLICATION FOR PUBLIC HEARINGS AND MEETINGS

I, Dennis L Batchos, being first duly sworn on oath, do hereby certify that I caused written notice of the filing of my application for a public hearing and or meeting to be given to owners of record of property within 250 feet of any part of the subject property. I further certify that I gave such notice in the form required by the Village (Certified Mail) and that I gave such notice on May 4, 2016.

Attached is a list of all of the addresses of property to whom I gave such notice and the receipts of mailings.

By: Dennis Batchos
Name: Dennis Parsons
Address: 28 Springlake Ave
Hinsdale, IL 60521

Subscribed and sworn to before me

This 4th day of May, 2016.

By: [Signature]
Notary Public

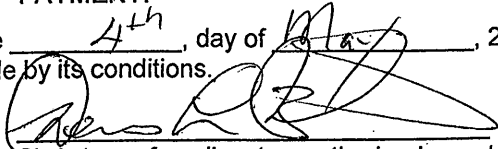


CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 4th day of May, 2016, I/We have read the above certification, understand it, and agree to abide by its conditions.


Signature of applicant or authorized agent

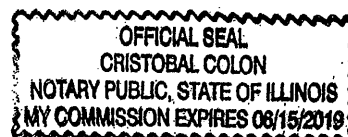
Dennis L. Batchas
Name of applicant or authorized agent

N/A
Signature of applicant or authorized agent

N/A
Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 4th day of May, 2016.


Notary Public



Application for Certificate of Zoning Compliance

VILLAGE OF HINSDALE

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: DENNIS BATCHES

Owner's name (if different): _____

Property address: 107 S VINE ST

Property legal description: [attach to this form]

Present zoning classification: O1 OFFICE

Square footage of property: 6896 SF

Lot area per dwelling: _____

Lot dimensions: 52x120

Current use of property: OFFICE

Proposed use: Single family dwelling
Other: OFFICE (NO CHANGE)

Approval sought: Building Permit Variation
Special Use Permit Planned Development
Site Plan Exterior Appearance
Design Review
Other: _____

Brief description of request and proposal:
WHEELCHAIR LIFT FOR ACCESSIBILITY TO 2ND
FLOOR OFFICES.

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	_____	_____
interior side(s)	<u>1</u>	<u>1</u>
corner side	_____	_____
rear	_____	_____

Application for Certificate of Zoning Compliance

Setbacks (businesses and offices):

front:	EXIST <u>20'-3"</u>	NO CHANGE	<u>35'</u>
interior side(s)	EX <u>8'-5 11/16"</u>	NC	<u>10' 1"</u>
corner side	EX <u>16'-8"</u>	NC	<u>35'</u>
rear	EX <u>48'-3"</u>	NC	<u>25'</u>
others:	_____		_____
Ogden Ave. Center:	_____		_____
York Rd. Center:	_____		_____
Forest Preserve:	_____		_____

Building heights:

principal building(s): EXIST 36'-9" NO CHANGE 30'
 accessory building(s): _____

Maximum Elevations:

principal building(s): _____
 accessory building(s): _____

Dwelling unit size(s):

Total building coverage: 1,177 SF 2,413 SF
 Total lot coverage: 4,967 SF 5,517 SF
 Floor area ratio: 2,264 SF 2,758 SF

Accessory building(s):

Spacing between buildings: [depict on attached plans]

principal building(s): _____
 accessory building(s): _____

Number of off-street parking spaces required:

EXIST 8 NO CHANGE

Number of loading spaces required:

EXIST 0 NO CHANGE

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Applicant's signature

Applicant's printed name

Dated: _____, 20__.

Paul & Alison Fichter
117 S Clay St
Hinsdale IL 60521

Clifford & D Van Wormer
112 S Vine St
Hinsdale IL 60521

Thomas P & M M Heinz
116 S Vine St
Hinsdale IL 60521

Timothy J Devane
120 S Vine St
Hinsdale IL 60521

George G & Anne Wickert
6802 Alabama Ave
Darien IL 60561

Denise C Andrews
128 S Vine St
Hinsdale IL 60521

Grant SQ LLC
21 Spinningwheel Rd
Hinsdale IL 60521

Metra Land Dept
547 W Jackson Blvd NO 15 FL
Chicago IL 60661

Hinsdale Land Restoration
133 N Washington St
Hinsdale IL 60521

Glenn & Suzanne Karnatz
708 Connestee Tr
Brevard NC 28712

KDL Equities LLC
111 S Vine St
Hinsdale IL 60521

Ruth H Larson
636 Lakeside Dr
Hinsdale IL 60521

Patrick D Ford
119 S Vine St
Hinsdale IL 60521

Zion Lutheran Church
204 S Grant Street
Hinsdale IL 60521

Harris NA CRE
PO BOX 755
Chicago IL 60690

J Jordan Homes LLC
112 S Grant St
Hinsdale IL 60521

60 S Grant LLC
Attn: Terrence Sullivan
60 S Grant St
Hinsdale IL 60521

Village of Hinsdale
19 E Chicago Ave
Hinsdale IL 60521

PROVISIONS BY OTHERS

GENERAL

HOISTWAY - THE HOISTWAY MUST BE DESIGNED AND BUILT IN ACCORDANCE WITH "SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS" OR "SAFETY CODE FOR ELEVATORS AND ESCALATORS" AND ALL STATE AND LOCAL CODES.

PLUMB RUNWAY- DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB ($\pm 1/8"$ (3 mm)) AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS.

MINIMUM OVERHEAD CLEARANCE- OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.

CONSTRUCTION SITE- OWNER/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.

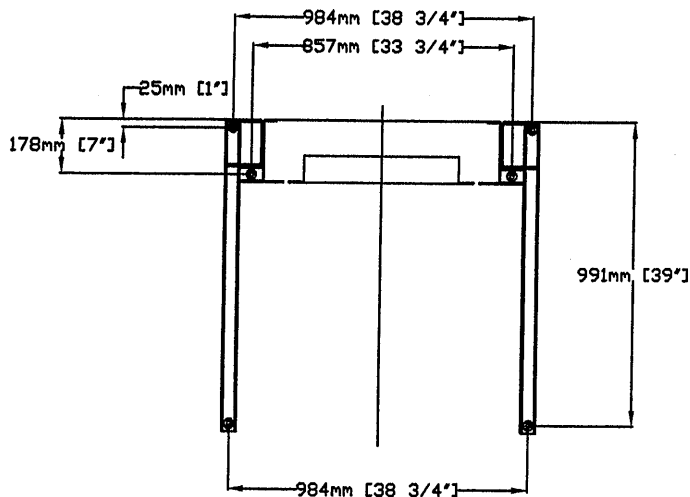
DIMENSIONS- CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

STRUCTURAL

FLOOR/SUPPORT WALL LOADS- CONTRACTOR TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE LOAD DIAGRAM ON THIS DRAWING.

MAST TO BE SECURELY FASTENED- WHERE REQUIRED THE MAST MUST BE SECURELY FASTENED TO THE STRUCTURAL SUPPORT WALL. REFER TO WALL / FLOOR SUPPORT LOAD DIAGRAM AND WALL LAG DIMENSIONS ON THIS DRAWING.

WHERE DOORS ARE REQUIRED- SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.



LOADS CALCULATED ON BASED ON ANCHOR POINTS EVERY 48' EVERY TOWER SECTION NEEDS TO BE ANCHORED. IF SPACING IS INCREASED, LOADS PER BRACKETS WILL INCREASE ACCORDINGLY

ELECTRICAL

GENERAL- ELECTRICAL EQUIPMENT AND WIRING TO COMPLY WITH SECTION 38 OF CSA C22.1 (CANADA) OR SECTION 620 OF NFPA 70 (USA).

POWER SUPPLY- 120VAC, 20A, 60HZ, 1PH CIRCUIT THROUGH FUSE DISCONNECT WITH AUXILIARY CONTACT ON MAIN POWER SUPPLY. PROVIDE TWO 18 AWG CONDUCTORS BETWEEN PLATFORM AND CONTROLLER.

LIGHTING- LIGHTING OF 100 LX MIN. AT PLATFORM AND HOISTWAY PIT. LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.

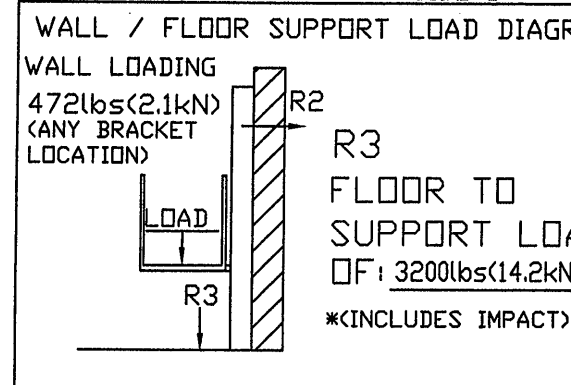
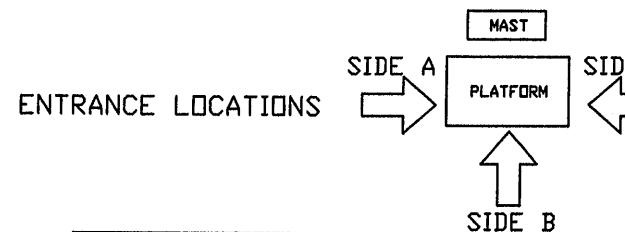
ENTRANCES

UPPER LANDING GATES- WHERE REQUIRED, SMOOTH BARRIERS ARE TO BE SUPPLIED AND INSTALLED ON BOTH SIDES OF ENTRANCE AT UPPER LEVEL AND MUST BE A MINIMUM OF 42" (1067 mm) HIGH. ENTRANCE ASSEMBLY MUST BE IN COMPLIANCE WITH THIS PROVISION.

FASCIA PANEL BELOW UPPER LEVEL ENTRANCE- WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO THE WALL AND BE PERPENDICULAR TO THE FLOOR AND WALL. FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS SPANS. ADEQUATE SUPPORT FOR THE FASCIA PANEL MUST BE PROVIDED.

ENTRANCE ASSEMBLIES- ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND INTERLOCK EQUIPMENT. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.

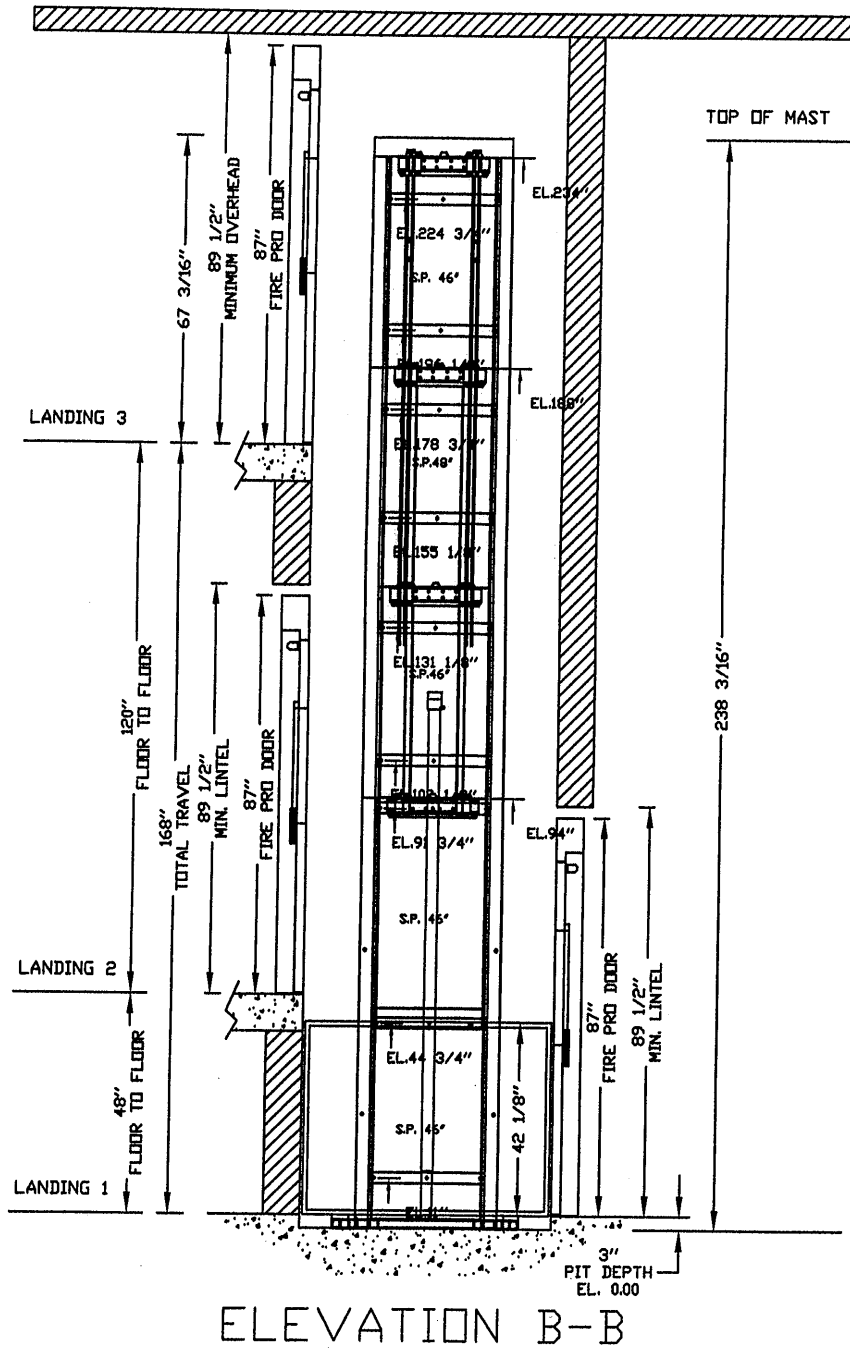
RETURN WALLS- RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE INSTALLED. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO THE WALLS.



DATA SHEET
ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

PLEASE NOTE:

OVERALL HOISTWAY LENGTH AND
WIDTH DIMENSIONS ARE FROM DRYWALL
TO DRYWALL (WHERE APPLICABLE)



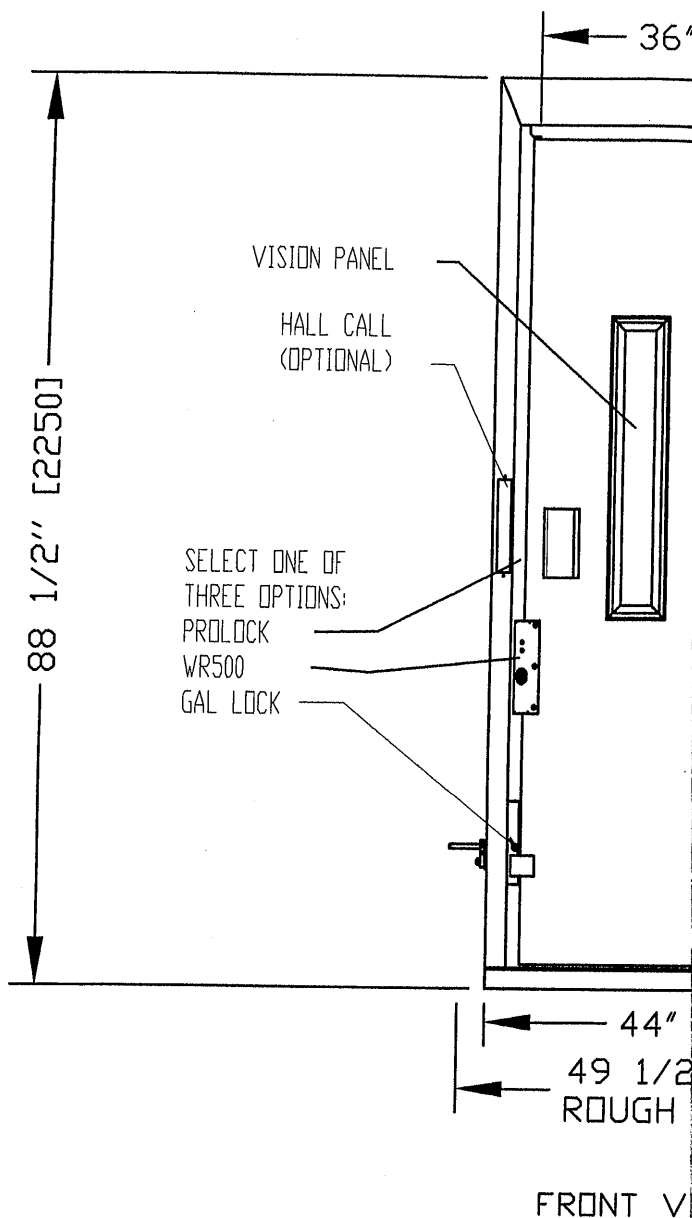
ELEVATION B-B

**PRELIMINARY DRAWING ONLY
DRAWING APPROVAL:**

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE
THE DEALER ON THE ORDER FORM. THIS INFORMATION
RESPONSIBILITY, AND IS THE BASIS FROM WHICH THIS
MANUFACTURED. PLEASE INDICATE THE REQUESTED ACTION
FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE

- ☐ APPROVED WITH NO EXCEPTIONS
MANUFACTURE PRODUCT AS PER DRAWING
- ☐ APPROVED WITH EXCEPTIONS, NO F
REQUIRED
MAKE CHANGES AS NOTED, NO REAPPROVAL DRAW
- ☐ CHANGE AS NOTED, REAPPROVAL R
MAKE CHANGES AS NOTED, SEND CORRECTED DRA
REAPPROVAL BEFORE MANUFACTURE

GENERAL ARRANGEMENT
ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT



GING (BY OTHERS) AS REQ'D.

OF THE INSTALLATION DRAWING FOR
CE SCHEDULE AND RUNNING CLEARANCE.

IS SUBJECT TO CHANGE.

FORMATION:

TRANCE SHALL BE SUPPLIED AS A
Y WITH DOOR AND FRAME BLANKED,
ED AND TAPPED FOR ALL COMPONENTS
FOR INSTALLATION.

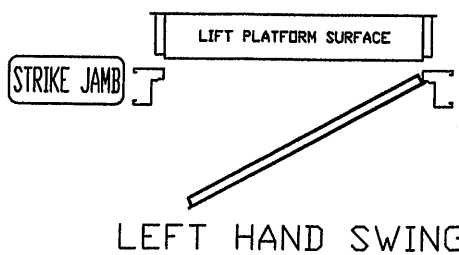
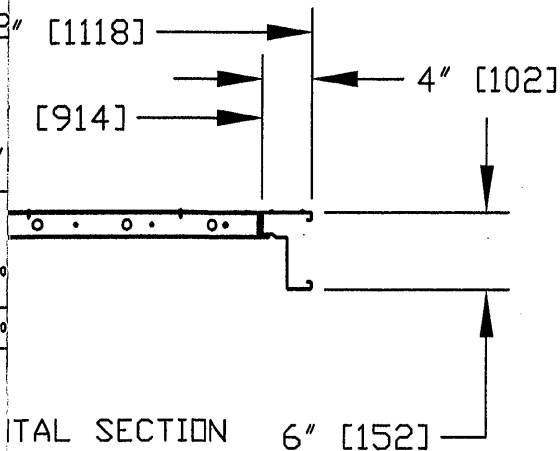
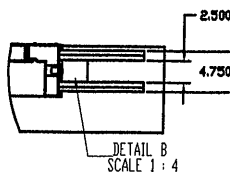
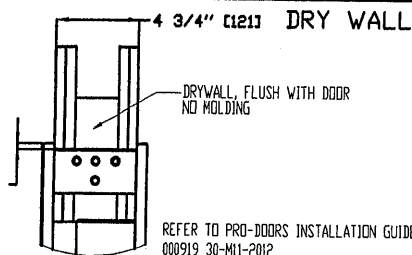
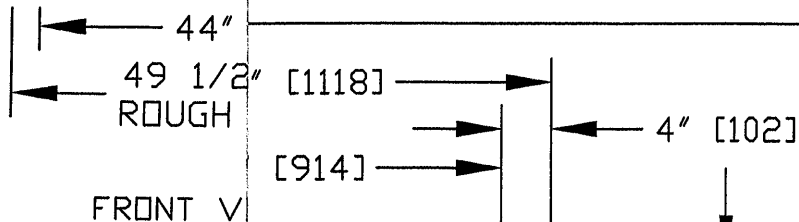
16 GA., FULLY WELDED CONSTRUCTION
JOINTS GROUND TO A SMOOTH,

18 GA., 2" THICK, SWINGING, FLUSH,
O CONSTRUCTION COMPLETE WITH
INDICATED.

BE FABRICATED FROM ZINC WIFE
ED STEEL WITH ZINC RICH PRIMER,
TOUCH-UP AT THOSE AREA WHERE
N REMOVED DUE TO WELDING/GRINDING.

ENTRANCES PROVIDED AS INDICATED
ATED.

FOR IS PROVIDED & INSTALLED



USE ONLY:

0.0

1-S-7424

DATE: 12/21/15

REVISION DATE: 12/21/15

COMPLETED BY: HNC#HSELEVATOR

Part No.

Variant No. 59229

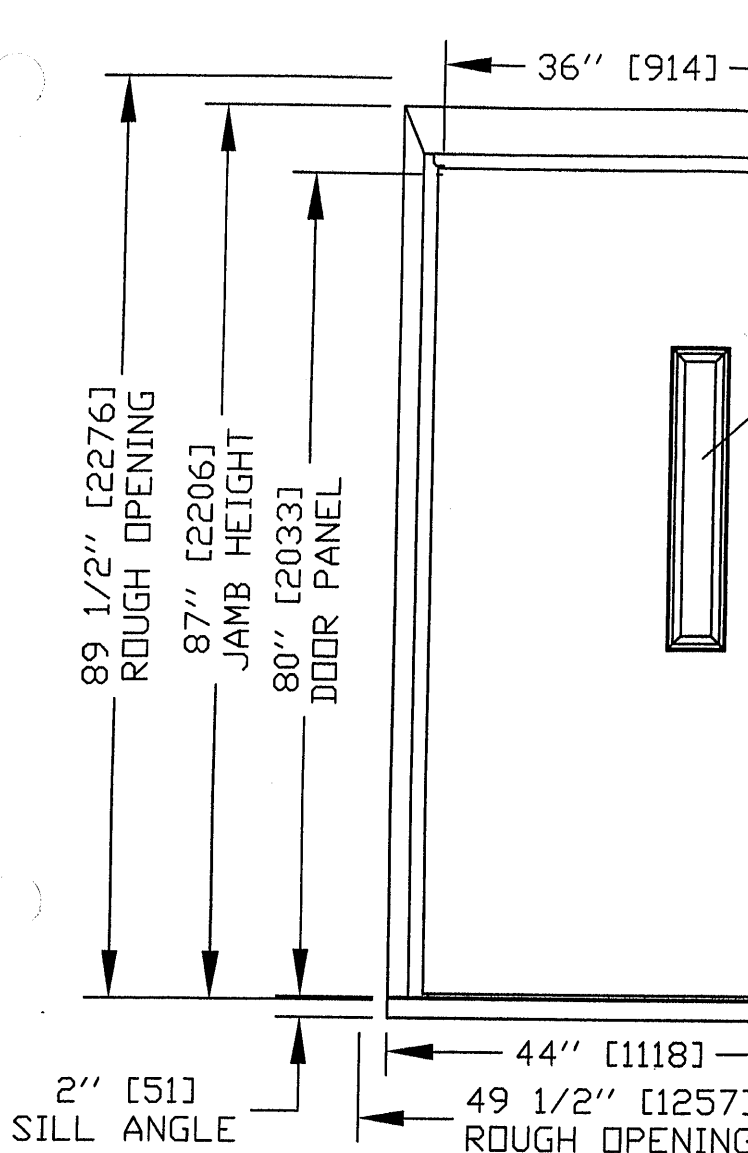
savaria

JOB No.

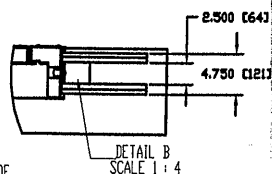
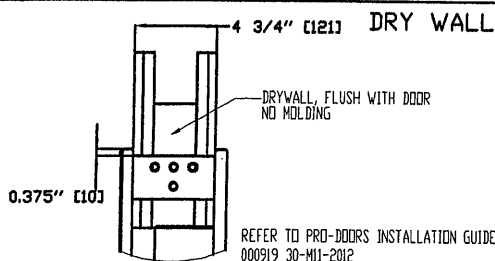
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SHEET No.

3 OF 6



FRONT VIEW



GING (BY OTHERS) AS REQ'D.

OF THE INSTALLATION DRAWING FOR
DE SCHEDULE AND RUNNING CLEARANCE.

IS SUBJECT TO CHANGE.

FORMATION:

FRANCE SHALL BE SUPPLIED AS A
Y WITH DOOR AND FRAME BLANKED,
ED AND TAPPED FOR ALL COMPONENTS
FOR INSTALLATION.

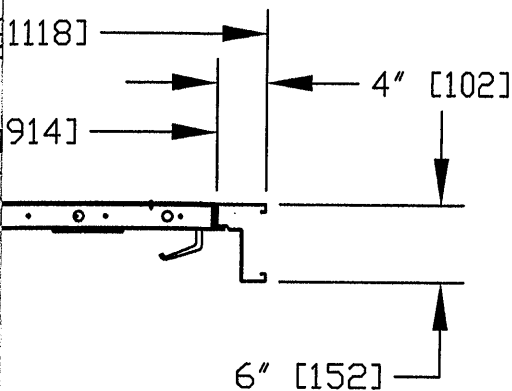
16 GA., FULLY WELDED CONSTRUCTION
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INDICATED.

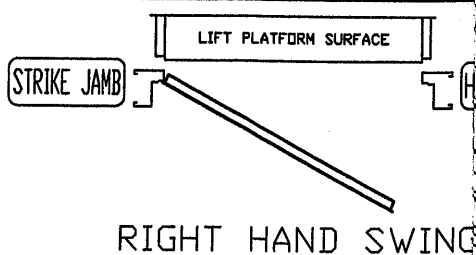
BE FABRICATED FROM ZINC WIFE
ED STEEL WITH ZINC RICH PRIMER,
TOUCH-UP AT THOSE AREA WHERE
REMOVED DUE TO WELDING/GRINDING.

ENTRANCES PROVIDED AS INDICATED
TED.

OR IS PROVIDED & INSTALLED



AL SECTION



USE ONLY:

0.0

B-S-7421

ONS

DATE:
12/21/15

REVISION DATE:
12/21/15

COMPLETED BY:
HUBER@SILVERADO.COM

521

Part No.

Variant No. 59229

savaria

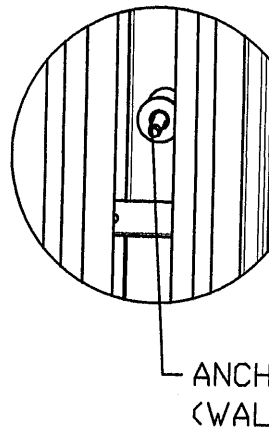
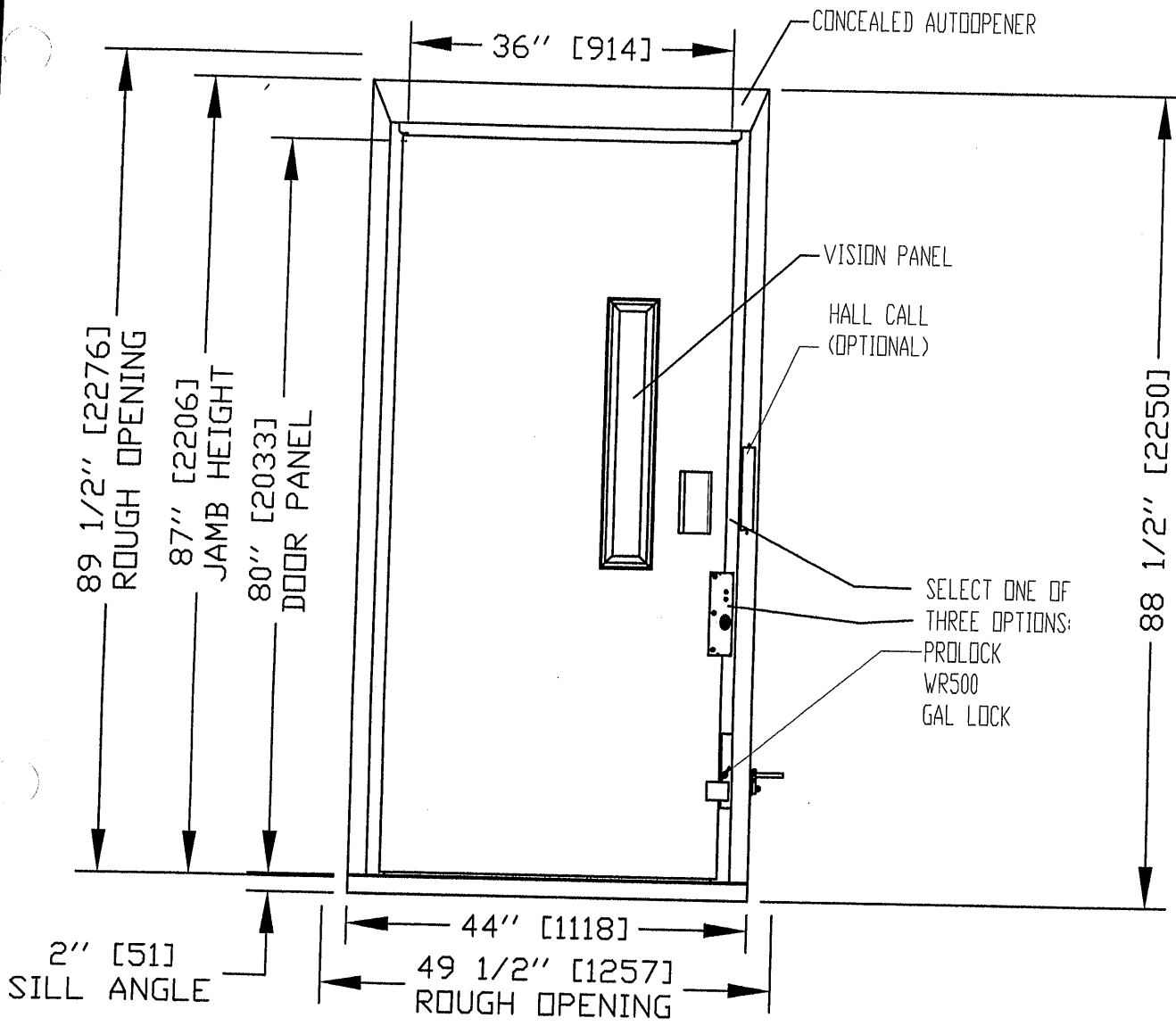


JOB No.

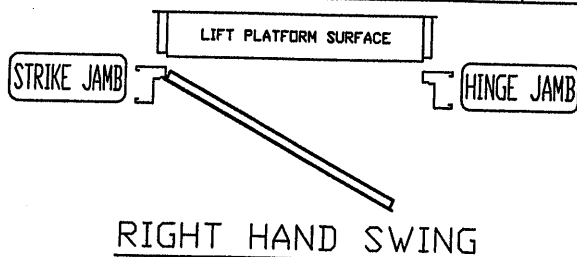
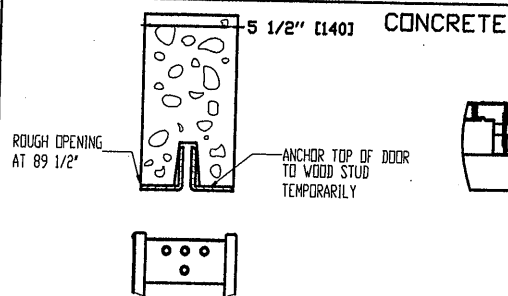
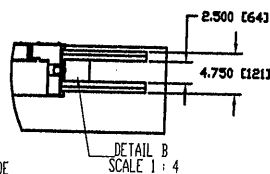
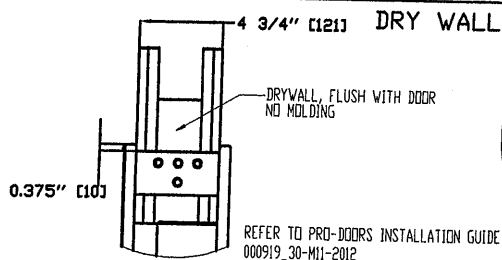
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SHEET No.

4 OF 6

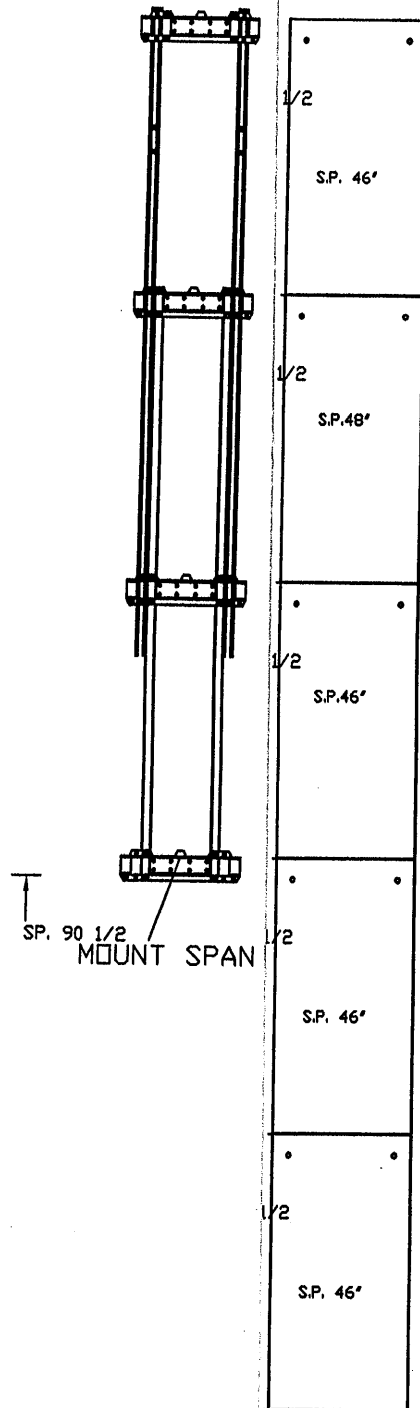


FRONT VIEW



Third Level Door

FIREPRO DOORS
ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT



P: SERVICE PANEL

USE ONLY:

0.0

B-S-7424

Part No.

Variant No.

59229

ONS

DATE: 12/21/15

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REVISION DATE: 12/21/15

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COMPLETED BY: NICHOLAS ELEVATOR

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JOB No.

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SHEET No.

6 OF 6

savaria



LOADS CALCULATED ON BASED ON ANCHOR POINTS E
EVERY TOWER SECTION NEEDS TO BE ANCHORED. IF
IS INCREASED, LOADS PER BRACKETS WILL INCREASE

VILLAGE OF HINSDALE

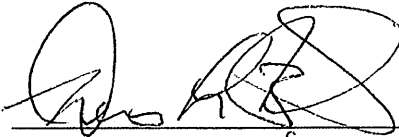
CERTIFICATION OF PROPER NOTICE

REGARDING APPLICATION FOR PUBLIC HEARINGS AND MEETINGS

I, Dennis Batches, being first duly sworn on oath, do hereby certify that I caused written notice of the filing of my application for a public hearing and or meeting to be given to owners of record of property within 250 feet of any part of the subject property. I further certify that I gave such notice in the form required by the Village (Certified Mail) and that I gave such notice on June 23, 2016.

Attached is a list of all of the addresses of property to whom I gave such notice and the receipts of mailings.

By:



Name:

Dennis L. Batches

Address:

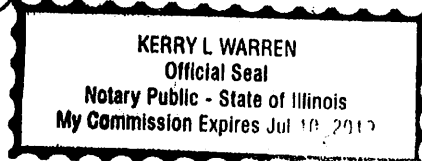
107 S. Vine St, Hinsdale, IL 60521

Subscribed and sworn to before me

This 6th day of July, 2016

By:

Kerry L. Warren
Notary Public



VILLAGE OF HINSDALE

NOTICE OF PLAN COMMISSION
PUBLIC MEETING

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Hinsdale Plan Commission shall conduct a public meeting on Wednesday, July 13, 2016, at 7:30 p.m. in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois for the purpose of considering an application to construct an exterior wheelchair lift addition in the rear of the office building at 107 S. Vine Street for ADA client access to the second floor.

The petitioner is: Dennis Batchos, Hinsdale Psychological Resources, Ltd. Copies of documents relating to the proposed request are on file and available for public inspection during regular Village business hours in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

THAT PART OF LOT 3 IN BLOCK 6 IN J.I. CASE'S ADDITION TO HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTHWEST ¼ OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 13, 1872 AS DOCUMENT 15440, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 3; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 3, 115 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 3 TO THE SOUTH LINE OF HINSDALE AVENUE (FORMERLY CALLED EXCHANGE STREET); THENCE WESTERLY ALONG THE SOUTH LINE OF HINSDALE AVENUE TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 3 TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS.

P.I.N. 09-12-110-001

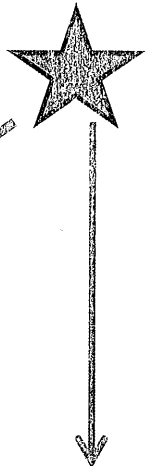
COMMONLY KNOWN AS: 107 S. VINE STREET
HINSDALE, IL 60521

At said public meeting, the Plan Commission shall accept all testimony and evidence pertaining to said application and shall consider any and all possible zoning actions, including the granting of any necessary special permits, variations, other special approvals, or amendments to the Zoning Code that may be necessary or convenient to permit development of the proposed type at the described property. All interested persons are invited to attend and be heard.

Dated: June 10, 2016

Christine M. Bruton, Village Clerk

To be Published in the Hinsdalean on June 16, 2016



Attachment 4: Aerial Photo of 107 S. Vine Street



Attachment 5: Street View of 107 S. Vine Street (looking south from Hinsdale Ave.)



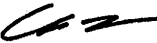


MEMORANDUM

DATE: July 13, 2016

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 5721 S. Garfield Ave. – Sutton Place Townhome Development
Exterior Appearance Review for New Attic Dormer Addition

Summary

The Village of Hinsdale has received an application from Philip Miscimarra, requesting approval for a new exterior attic dormer addition to a townhome residence. 5721 S. Garfield Avenue is in the in the R-5 Multiple Family Resident District and part of a 2-story townhome development called Sutton Place. The attic dormer will be installed in the rear of the development, facing east and not visible from Garfield Street. The roof, corner boards, vinyl siding will be color matched to the existing home.

Request and Analysis

The attic dormer addition will be no taller than the existing height of the townhome. There will also be no difference in projection from the building face. The back of the unit faces a shared landscaped interior courtyard of the townhome development. Per the applicant, the proposed project will be Code compliant as shown on the applicant's table of zoning compliance. The floor area ratio will be confirmed through the building permit plan review. The design will match the existing townhome development in the level of quality and finishes as approved by the Sutton Place Homeowner's Association.

The project site is located in the R-5 Multiple Family Resident District and borders the R-3 Single Family Residential District to the west, north and south, and R-6 Multiple Family Residential District to the east.

Process

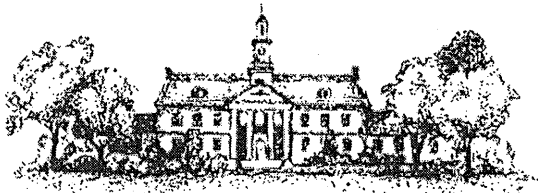
Pursuant to Section 11-604, the Chairman of the Plan Commission (PC) shall at the public meeting on the application for exterior appearance review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the PC shall transmit to the Board of Trustees (BOT) its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the exterior appearance review based on the standards set forth in section 11-606.



MEMORANDUM

Attachments:

- Attachment 1 – Exterior Appearance Application Request and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Aerial Photo of 5721 S. Garfield Ave.
- Attachment 4 - Street View from 5721 S. Garfield Ave.



**VILLAGE
OF HINSDALE** FOUNDED IN 1873

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Philip Miscimarra
Address: 5721 South Garfield Ave.
City/Zip: Hinsdale, IL 60521
Phone/Fax: (773) 255 / 7112
E-Mail: misciph@comcast.net

Owner

Name: Philip Miscimarra
Address: 5721 South Garfield Ave.
City/Zip: Hinsdale, IL 60521
Phone/Fax: (773) 255 / 7112
E-Mail: misciph@comcast.net

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Rita J Kuan (Caprio Prisby Arch Design)
Title: Architect
Address: 106 South Washington
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323 / 7554 x103
E-Mail: rkuan@caprioprisby.com

Name: _____
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) _____
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 5721 South Garfield

Property identification number (P.I.N. or tax number): 09 - 13 - 215 - 006

Brief description of proposed project: Attic dormer addition and Second Floor remodeling to a town home residence

General description or characteristics of the site: Residential town home unit in an R-5 district. Part of the multi-family Sutton Place town home development.

Existing zoning and land use: R-5, Multi-family residential

Surrounding zoning and existing land uses:

North: R-3, Single Family residential

South: R-3, single Family residential

East: R-6, Multi-family residential

West: R-3, Single Family residential

Proposed zoning and land use: existing to remain

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☐ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 5721 South Garfield, Hinsdale, IL 60521

The following table is based on the R-5 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	15000 s.f., 7500/unit	n/a
Minimum Lot Depth	125ft	n/a
Minimum Lot Width	70ft	n/a
Building Height	30ft	+/-27'-4" (existing)
Number of Stories	2 stories	existing
Front Yard Setback	35ft	existing
Corner Side Yard Setback	35ft	n/a
Interior Side Yard Setback	8ft	n/a
Rear Yard Setback	25ft	existing
Maximum Floor Area Ratio (F.A.R.)*	n/a	n/a
Maximum Total Building Coverage*	n/a	n/a
Maximum Total Lot Coverage*	n/a	n/a
Parking Requirements	n/a	n/a
Parking front yard setback	n/a	n/a
Parking corner side yard setback	n/a	n/a
Parking interior side yard setback	n/a	n/a
Parking rear yard setback	n/a	n/a
Loading Requirements	n/a	n/a
Accessory Structure Information	n/a	n/a

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 8th day of June, 2016, I/We have read the above certification, understand it, and agree to abide by its conditions.

Philip A. Miscimarra
Signature of applicant or authorized agent

PHILIP A. MISCIMARRA
Name of applicant or authorized agent

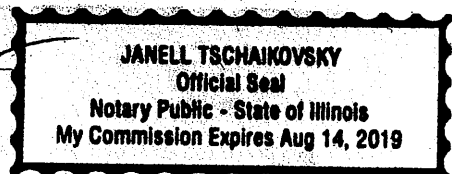
Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 8th day of
June, 2016.

[Signature]
Notary Public

4





COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA

Address of proposed request: 5721 South Garfield

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE***** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

No open space will be compromised as a result of the proposed dormer addition.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

The materials for the proposed dormer addition will be similar to adjacent units and match the existing materials found on the exterior of the existing unit.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

The design of the proposed addition will match the existing town home development in level of quality and finishes as approved by the Sutton Place Homeowner's Association.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

General site development is not applicable to the proposed work and has no impact on the surrounding site.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The maximum height of the new addition will be no taller than the existing height of the main roof of the town home unit.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

Not applicable-the front facade will not be altered in any way due to the proposed addition.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The height to width relationship of the windows is visually compatible w/ its surroundings with respect to the egress requirements set forth by the International Residential Building Code.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Not applicable-the front facade will not be altered in any way due to the proposed addition.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The proposed addition will have little to no impact on the open space between it and the adjoining buildings and structures.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Not applicable-there will be no alterations or projections to the front facade of the town home development.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The materials and texture of the new addition will be visually related in style, color, and configuration with the predominant materials of the existing town home unit.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

The roof of the proposed addition is a gable end, which matches the main roof of the existing town home unit.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

The proposed addition is not visible from the street as it is a rear facing addition. From the rear, it is visually compatible with the adjacent units as viewed from the open space between the first and second row of town home units.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The scale of the proposed addition is proportional and compatible to the units and structures to which it is visually related.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

Not applicable-the proposed addition is rear facing and has no impact on the expression of the front elevation.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Special consideration is not necessary as the availability of materials and methods to duplicate the existing style and details are commonplace and readily available.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

Not applicable

2. The proposed site plan interferes with easements and rights-of-way.

Not applicable

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

Not applicable

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

Not applicable

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

Not applicable

6. The screening of the site does not provide adequate shielding from or for nearby uses.

Not applicable

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Not applicable

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Not applicable

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

Not applicable

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

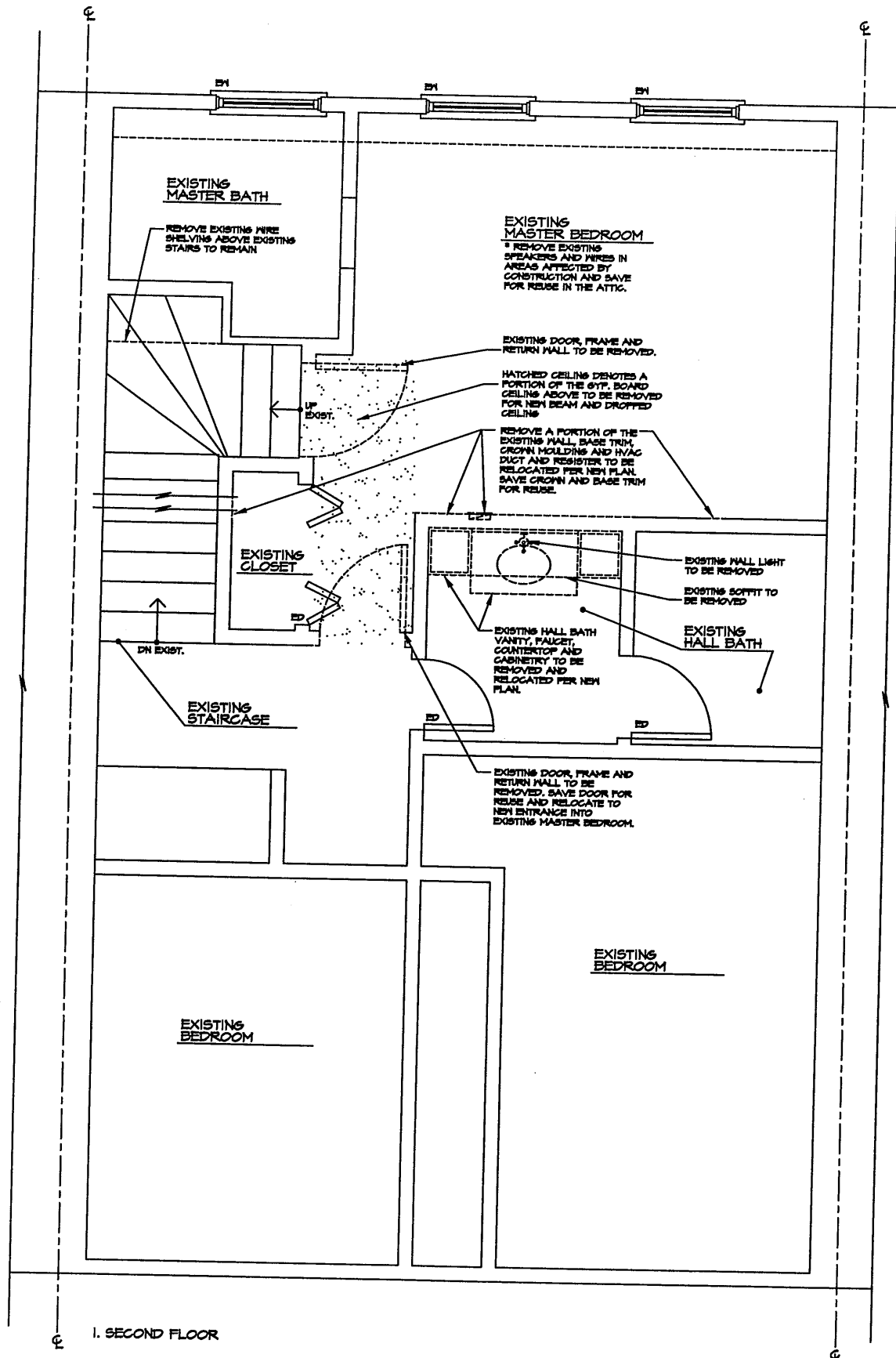
Not applicable

11. The proposed site plan does not provide for required public uses designated on the Official Map.

Not applicable

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

Not applicable



5721 S. GARFIELD

SEE PAGE DGN-13A (58)

57 JH

65-236
SLITTON

COMMON AREA

AVE 300

12

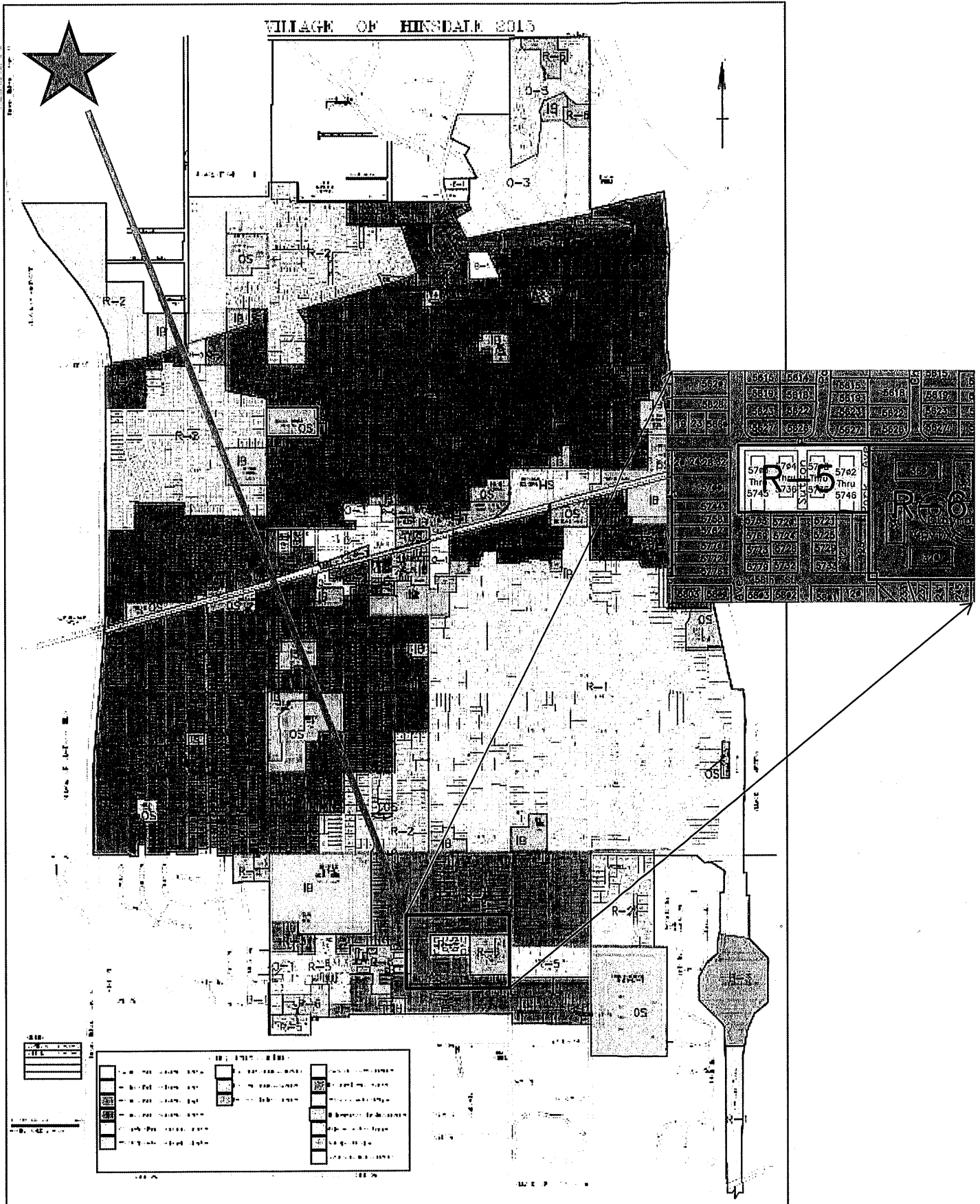
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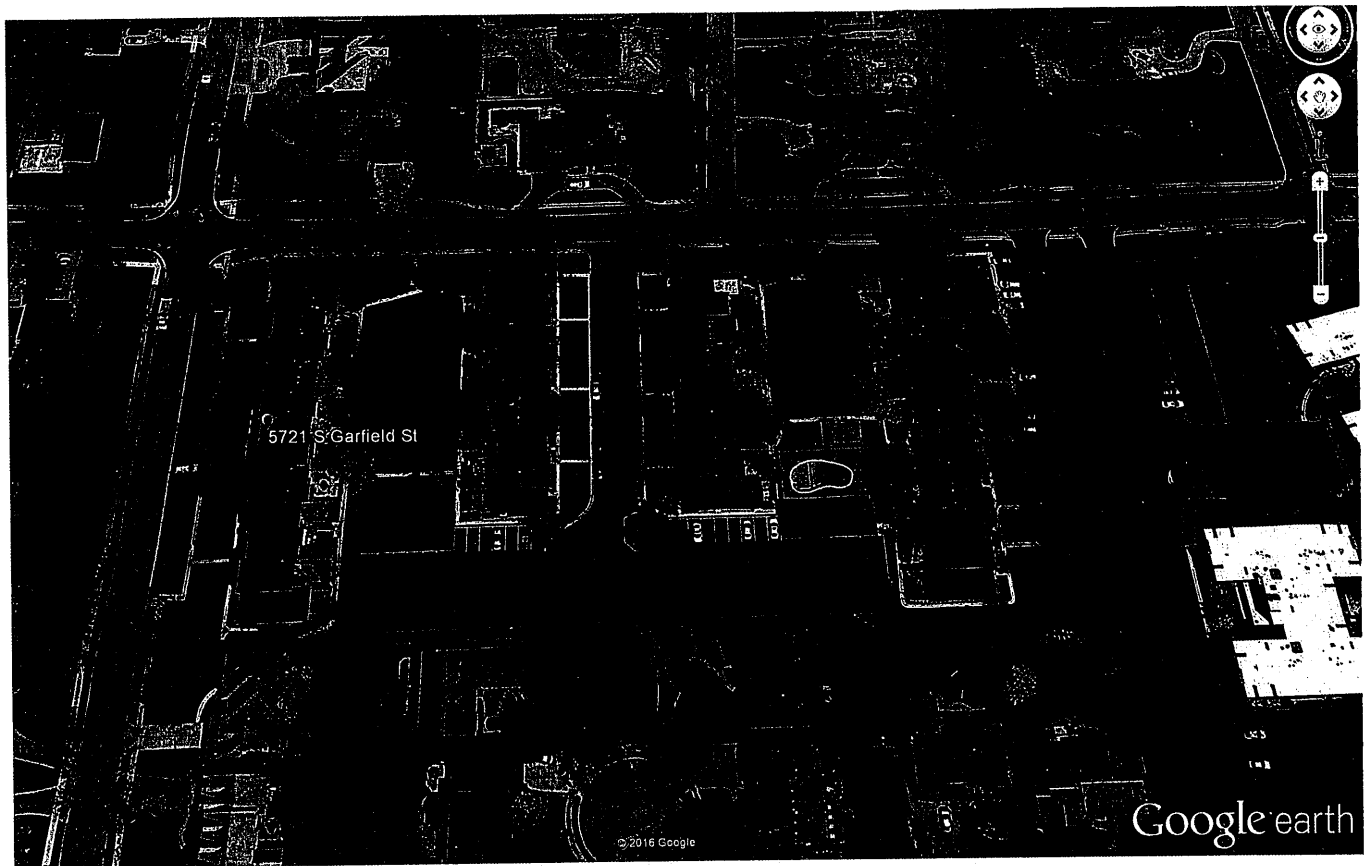




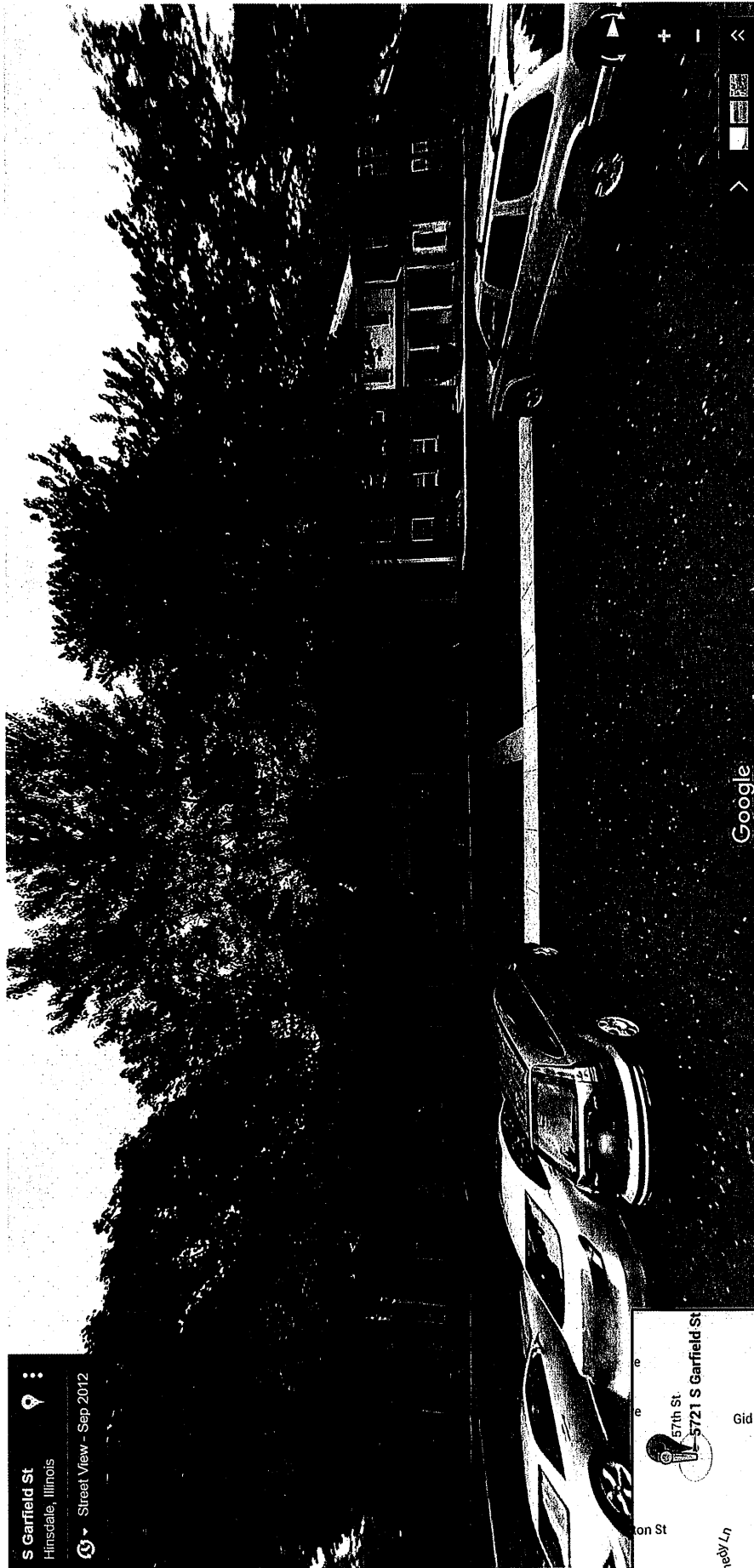
Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Aerial Photo of 5721 S. Garfield Ave.



Attachment 4: Street View from 5721 S. Garfield Ave. (looking east)



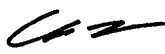


MEMORANDUM

DATE: July 13, 2016

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 120 E. Ogden Avenue – Hinsdale Management Corporation
Site Plan Review for New Off Street Parking Lot Access from Fuller Road

Summary

The Village of Hinsdale has received an application from Hinsdale Management Corporation (HMC), requesting approval to remove the fence from the south end of its parking lot and pave a new asphalt driveway for a secondary access onto Fuller Road, a residential street. The 2-story office building is located at 120 E. Ogden Avenue in the O-2 Limited Office District. Its 178 car parking lot currently has two curb cuts at the north end of the lot for access onto Ogden Avenue. Per the applicant, it is seeking to provide a safer alternative to the parking lot for its tenants.

Request and Analysis

Currently, there is a fence and nonfunctional driveway leftover from a demolished home at the proposed location for the new driveway access (Attachment 2). The applicant plans to remove both and add grass to where the old driveway is. The new driveway will be 30'-9" from the west lot line and 118'-6" from the east lot line. This meets the 5' minimum side yard setback and 10' minimum distance from another driveway.

The proposed driveway width will be 20 feet and 48'-8" long. The length measured within the property lot line is 27'-8" and the lot coverage area is calculated at 553 square feet. The length of the driveway is approximately 21' measured from the lot line to Fuller Road, and under the 30' Code maximum.

The property currently has a nonconforming lot coverage ratio of 94%. The maximum total lot coverage in the O-2 Limited Office District is 80%. To prevent expanding upon the nonconformity, the applicant has planned to replace 692 square feet of existing pavement with grass in various areas in the parking lot for a 1% net decrease in lot coverage (98,237 SF/105,224 total lot area). Per the applicant, there is no change in parking spaces. The proposed project will be Code compliant as shown on the applicant's table of zoning compliance.

The project site is located in the O-2 Limited Office District and borders the O-2 Limited Office District to the north and east. However, the proposed driveway abuts the R-4 Single Family Residential District



MEMORANDUM

to the west and south. To this end, staff has experienced a significant volume of public concern and opposition by the residents on Fuller Road and neighborhood area. In addition to frequent phone calls, emails and a meeting requested by residents, a petition in opposition of the application was submitted to staff (Attachment 7).

The public meeting notice requirements have been followed per section 11-604(E), since the nonresidential project property is within 250 feet from a single-family zoning district.

Process

Pursuant to Section 11-604, the Chairman of the Plan Commission (PC) shall at the public meeting on the application for site plan review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the PC shall transmit to the Board of Trustees (BOT) its recommendation, in the form specified in subsection 11-103(H) of this article, recommending either approval or disapproval of the site plan based on the standards set forth in subsection F1 of this section 11-604.

Attachments:

- Attachment 1 – Site Plan Application Request and Exhibits
- Attachment 2 - Existing Conditions at Project Location
- Attachment 3 - Public Meeting Notice and Certification of Proper Notice
- Attachment 4 - Zoning Map and Project Location
- Attachment 5 - Aerial Photo of 120 E. Ogden Avenue
- Attachment 6 - Street View of Proposed Driveway Site on Fuller Road
- Attachment 7 - Resident Petition in Opposition to New Access Driveway at 120 E. Ogden Ave. and Map

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance


You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: Hinsdale Management Corp

Owner's name (if different): 120 E Ogden, LLC

Property address: 120 E Ogden

Property legal description: [attach to this form]

Present zoning classification: O-2, Limited Office District 

Square footage of property: 2.5 acre

Lot area per dwelling: NA

Lot dimensions: 434 x 347 *feet*

Current use of property: Office Building

Proposed use: ☐ Single-family detached dwelling
☒ Other: no change

Approval sought: ☐ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☒ Site Plan ☐ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

New driveway to Fuller as alternate ingress and egress

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>approx 60</u>	<u>100/200/25</u>
interior side(s)	<u>40 / 50</u>	<u>10 / 10</u>

Provided:

Required by Code:

corner side

rear

20

Setbacks (businesses and offices):

front:

60 approx

25

interior side(s)

40 / 50

5 E / 10 W

corner side

rear

NA

20

others: *Fuller*

28

25

Ogden Ave. Center:

60 approx

100 / 200

York Rd. Center:

Forest Preserve:

Building heights:

principal building(s):

no change

accessory building(s):

Maximum Elevations:

principal building(s):

no change

accessory building(s):

Dwelling unit size(s):

Total building coverage:

NA

Total lot coverage:

.94 no change

.80

Floor area ratio:

no change

.50

Accessory building(s):

Spacing between buildings: [depict on attached plans]

principal building(s):

accessory building(s):

Number of off-street parking spaces required: no change

Number of loading spaces required: no change

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Hinsdale Management Corp

Applicant's signature

[Signature]

Applicant's printed name

Dated:

6/16

, 20 16

EXHIBIT "A"

LEGAL DESCRIPTION:

PARCEL 1: LOT 3 IN RUCHTY'S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: LOT 4 IN RUCHTY'S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3: LOTS 1 AND 2 IN RUCHTY'S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED SEPTEMBER 20, 1945 AS DOCUMENT 484088, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4: THE EAST PART OF LOT 4 IN BLOCK 3 IN THE TOWN OF FULLERSBURG DESCRIBED BY COMMENCING AT THE NORTHEAST CORNER OF SAID LOT AND RUNNING WESTERLY ALONG THE NORTH LINE OF SAID LOT, 83 FEET; THENCE SOUTHERLY TO A POINT ON THE SOUTHERLY LINE OF SAID LOT, 75 FEET FROM THE SOUTHEASTERLY CORNER THEREOF; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT, 75 FEET TO THE SOUTHEASTERLY CORNER; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT, 236.28 FEET TO THE PLACE OF BEGINNING, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929, AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS

PARCEL 5: PART OF LOTS 7 AND 8 IN BLOCK 3 IN THE PLAT OF THE TOWN OF FULLERSBURG DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOTS 7 AND 8 TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT 7, 65.5 FEET; THENCE SOUTHERLY ALONG A STRAIGHT LINE TO A POINT IN THE SOUTH LINE OF SAID LOT 8, 68.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE WESTERLY ALONG THE SAID SOUTH LINE 68.5 FEET TO PLACE OF BEGINNING, BEING IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929 AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS.



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Hinsdale Management Corp.
Address: 21 Spinning Wheel
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323-9075 / 630/323-9103
E-Mail: cpalmer@hinsdalemanagement.com

Owner

Name: 120 East Ogden, LLC
Address: 21 Spinning Wheel
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323-9075 / 630/323-9103
E-Mail: cpalmer@hinsdalemanagement.com

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Matthew M. Klein
Title: Attorney
Address: 322 W. Burlington Avenue
City/Zip: LaGrange, IL 60521
Phone/Fax: (708) 354-8840 / 630/352-1044
E-Mail: mmk131@aol.com

Name: _____
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) None
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 120 E Ogden

Property identification number (P.I.N. or tax number): 09 - 01 - 202 - 003,004,012,013

Brief description of proposed project: New access driveway to Fuller to provide safe alternate ingress and egress from site, instead of only congested and often unsafe Ogden access.

General description or characteristics of the site: Office Building, parking

Existing zoning and land use: O-2, Office Building, Parking

Surrounding zoning and existing land uses:

North: Office, Gas Station

South: Office, Residential

East: Retail (Dunkin Donuts, Firestone) Gas Station

West: Offices

Office, Shopping Center

Proposed zoning and land use: No Change - site plan approval for new driveway to Fuller

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☐ Planned Development 11-603E

☐ Special Use Permit 11-602E

Special Use Requested: _____

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 120 E Ogden

The following table is based on the C-2 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	25,000	2.5 acres - no change
Minimum Lot Depth	125	434 approx - no change
Minimum Lot Width	100	1,347 approx - no change
Building Height	40	no change
Number of Stories	2	2 - no change
Front Yard Setback	100 / 200 (Ogden) 25 (Fuller)	75 approx (Ogden),
Corner Side Yard Setback		
Interior Side Yard Setback	5 (east) 10 (west)	no change
Rear Yard Setback	20	no change
Maximum Floor Area Ratio (F.A.R.)*	.50	no change
Maximum Total Building Coverage*	N/A	
Maximum Total Lot Coverage*	.80	.93 - no change
Parking Requirements	1/250 1- 10,000 1/275 10,001 - 50,000 1/300 50,001 - 100,000 1/335 100,001 and up	no change
Parking front yard setback	25	no change
Parking corner side yard setback		
Parking interior side yard setback	5 (east), 10 (west)	no change
Parking rear yard setback	20	NA
Loading Requirements	1 10,000 - 100,000, 2 100,001 - 500,000	no change
Accessory Structure Information		

*Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

Lot coverage equal to new paving shall be removed so no change in existing lot coverage occurs. All others are existing conditions. _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
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 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 13th day of JUNE, 2016, I/We have read the above certification, understand it, and agree to abide by its conditions.

Signature of applicant or authorized agent

CAROLINE KOPLIN PALMER

Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

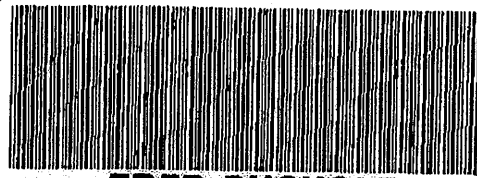
SUBSCRIBED AND SWORN
to before me this 13th day of
June, 2016.

Notary Public

OFFICIAL SEAL
TAMMY D RIDING
Notary Public - State of Illinois
My Commission Expires Sep 9, 2016

TRUSTEE'S DEED

THIS INDENTURE, dated February 24, 2005
LASALLE BANK NATIONAL
ASSOCIATION, a National Banking
Association, successor trustee to American
National Bank and Trust Company of Chicago,
duly authorized to accept and execute Trusts
within the State of Illinois, not personally but as
Trustee under the provisions of a deed or deeds
in trust duly recorded and delivered to said
Bank in pursuance of a certain Trust Agreement
dated July 16, 1965 and known as Trust No.
2212 party of the first part and 120 EAST
OGDEN AVENUE, LLC, an Illinois
limited liability company, whose address is 21 Spinning Wheel Road, Hinsdale, IL., 60521, party/parties of the second part,
WITNESSETH, that said party of the first part, in consideration of the sum of TEN (\$10.00) Dollars and other good and valuable
consideration in hand paid, does hereby convey and QUIT-CLAIM unto said party/parties of the second part, the following
described real estate, situated in DuPage County, Illinois, to-wit:



FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JUL 14, 2005 9:03 AM
DEED 09-01-202-013
002 PAGES R2005-149759

(Reserved for Recorders Use Only)

See legal description marked Exhibit "A" attached hereto and made a part hereto.

Commonly known as: 120 E. Ogden Avenue, Hinsdale, IL.
P.I.N.: 09-01-202-003 09-01-202-012
09-01-202-004 09-01-202-013

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD, the same unto said party of the second part, and to the proper use, benefit and behoof,
forever, of said party of the second part.

This deed is executed by the party of the first part, as Trustee, as aforesaid, pursuant to and in the exercise of the power
and authority granted to and vested in it by the terms of said Deed or Deeds in Trust and the provisions of said Trust Agreement
above mentioned, and of every other power and authority thereunto enabling. This deed is made subject to the liens of all trust
deeds and/or mortgages upon said real estate, if any, recorded or registered in said county.

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its
name to be signed to these presents by one of its officers, the day and year first above written.

LASALLE BANK NATIONAL ASSOCIATION,
as trustee and not personally,

By: Lois Nugent
Assistant Vice President

EXEMPT from e
36 ILCS 200/31-45

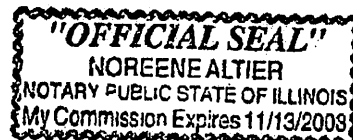
Lois Nugent 7/1/05

Prepared By: LASALLE BANK NATIONAL ASSOCIATION, 135 S. LASALLE ST., CHICAGO, 60603

STATE OF ILLINOIS) I, the undersigned, a Notary Public in and for said County and State, do hereby certify
COUNTY OF COOK) Lois Nugent, an officer of LaSalle Bank National Association personally known to me to be the same
person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that said
officer of said association signed and delivered this instrument as a free and voluntary act, for the uses and purposes therein set
forth.

GIVEN under my hand and seal this 24th day of February, 2005

Noreene Altier
NOTARY PUBLIC



MAIL RECORDED DEED TO:
Lawrence A. Robins
DLA Piper Rudnick
203 North LaSalle Street
Chicago, Illinois 60601

Rev. 8/00

MAIL FUTURE TAX BILLS TO:
Hinsdale Management Company
21 Spinning Wheel Road
Hinsdale, Illinois 60521

FRED BUCHOLZ

R2005-149759

DUPAGE COUNTY RECORDER

EXHIBIT "A"

LEGAL DESCRIPTION:

PARCEL 1: LOT 3 IN RUCHTY'S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: LOT 4 IN RUCHTY'S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

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PARCEL 4: THE EAST PART OF LOT 4 IN BLOCK 3 IN THE TOWN OF FULLERSBURG DESCRIBED BY COMMENCING AT THE NORTHEAST CORNER OF SAID LOT AND RUNNING WESTERLY ALONG THE NORTH LINE OF SAID LOT, 83 FEET; THENCE SOUTHERLY TO A POINT ON THE SOUTHERLY LINE OF SAID LOT, 75 FEET FROM THE SOUTHEASTERLY CORNER THEREOF; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT, 75 FEET TO THE SOUTHEASTERLY CORNER; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT, 236.28 FEET TO THE PLACE OF BEGINNING, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929, AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS

PARCEL 5: PART OF LOTS 7 AND 8 IN BLOCK 3 IN THE PLAT OF THE TOWN OF FULLERSBURG DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOTS 7 AND 8 TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT 7, 65.5 FEET; THENCE SOUTHERLY ALONG A STRAIGHT LINE TO A POINT IN THE SOUTH LINE OF SAID LOT 8, 68.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE WESTERLY ALONG THE SAID SOUTH LINE 68.5 FEET TO PLACE OF BEGINNING, BEING IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929 AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS.

Rcv. 8/00



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 120 E. Ogden Avenue, Hinsdale

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE***** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

All existing open space will remain except for new driveway.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

Driveway will be of high quality paving material.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

Driveway will be designed to all appropriate standards in relation to existing uses and zoning in the neighborhood.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
The quality of the south lot line - landscaping will be preserved. Auto access and safety will be improved. Traffic conditions in the vicinity and on site will be upgraded.
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
No change
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
No change
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
No change
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
No change
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
No change
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
No change
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
Parking lot, fence and landscape materials will be comparable to existing and the area.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

No charge

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Existing fence will be maintained except for driveway opening. Appropriate landscaping will be installed.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

No change

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

No change

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

No change.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.
No significant utility system demand is implicated.

11. The proposed site plan does not provide for required public uses designated on the Official Map.
All existing public uses are to be maintained.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.
The proposed new driveway substantially furthers public health, safety and general welfare.



Ph# 1 (630)407-5000
Email gis@dupageco.org
DuPage Maps Portal:
<http://dupage.maps.arcgis.com/home>

This map is for assessment purposes only.

DuPage Maps Portal:
<http://dupage.maps.arcgis.com/home>

N
Copyright DuPage 2016

OGDEN AVE

347.00'

237.15'

EXISTING PAVEMENT TO
BE REMOVED AND
REPLACED WITH GRASS

150.00'

200.00'

127.62'

Attachment 2: Existing Conditions at Project Location



VILLAGE OF HINSDALE

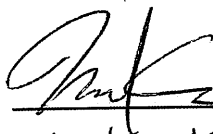
CERTIFICATION OF PROPER NOTICE

REGARDING APPLICATION FOR PUBLIC HEARINGS AND MEETINGS

I, Matthe Klein, being first duly sworn on oath, do hereby certify that I caused written notice of the filing of my application for a public hearing and or meeting to be given to owners of record of property within 250 feet of any part of the subject property. I further certify that I gave such notice in the form required by the Village (Certified Mail) and that I gave such notice on June 23, 2016.

Attached is a list of all of the addresses of property to whom I gave such notice and the receipts of mailings.

By:



Name:

Matthe Klein

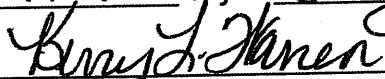
Address:

322 W Burlington LaGrange IL

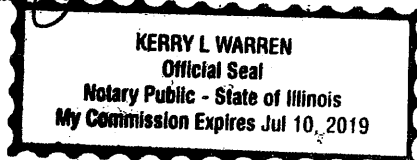
Subscribed and sworn to before me

This 14th day of July, 2016.

By:



Notary Public



VILLAGE OF HINSDALE

NOTICE OF PLAN COMMISSION
PUBLIC MEETING

PUBLIC NOTICE IS HEREBY GIVEN to all persons that the Village of Hinsdale Plan Commission shall conduct a public meeting on Wednesday, July 13, 2016 at 7:30 p.m. in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois for the purpose of considering an application (case A-15-2016) for a site plan review to allow for the construction of a driveway in the south parking lot line of 120 E. Ogden Ave. located in the O-2 Limited Office District. The new driveway access will allow parking lot entry and exiting onto Fuller Road, abutting an R-4 Single Family Residential District.

The petitioner is Hinsdale Management Corp., and the property owner is 120 E. Ogden, LLC. Copies of documents relating to the proposed request are on file and available for public inspection during regular Village business hours in the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

The common address is 120 E. Ogden Avenue, Hinsdale IL. and legally described as follows:

“PARCEL 1: LOT 3 IN RUCHTY’S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: LOT 4 IN RUCHTY’S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG, IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3: LOTS 1 AND 2 IN RUCHTY’S RESUBDIVISION OF LOTS 2 AND 3 IN BLOCK 3 OF THE TOWN OF FULLERSBURG IN SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED SEPTEMBER 20, 1945 AS DOCUMENT 484088, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4: THE EAST PART OF LOT 4 IN BLOCK 3 IN THE TOWN OF FULLERSBURG DESCRIBED BY COMMENCING AT THE NORTHEAST CORNER OF SAID LOT AND RUNNING WESTERLY ALONG THE NORTH LINE OF SAID LOT, 83 FEET; THENCE SOUTHERLY TO A POINT ON THE SOUTHERLY LINE OF SAID LOT, 75 FEET FROM THE SOUTHEASTERLY CORNER THEREOF; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT, 75 FEET TO THE SOUTHEASTERLY CORNER; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT, 236.28 FEET TO THE PLACE OF BEGINNING, ACCORDING TO THE PLAT THEREOF RECORDED

JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929, AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS

PARCEL 5: PART OF THE LOTS 7 AND 8 IN BLOCK 3 IN THE PLAT OF THE TOWN OF FULLERSBURG DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8; THENCE NORTHERLY ALONG THE WEST LINE OF SAID LOTS 7 AND 8 TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT 7, 65.5 FEET; THENCE SOUTHERLY ALONG A STRAIGHT LINE TO A POINT IN THE SOUTH LINE OF SAID LOT 8, 68.5 FEET EAST OF THE SOUTHWEST CORNER THEREOF; THENCE WESTERLY ALONG THE SAID SOUTH LINE 68.5 FEET TO PLACE OF BEGINNING, BEING IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 14, 1852 AS DOCUMENT 6172 AND RE-RECORDED ON APRIL 9, 1929 AS AS DOCUMENT 277264 IN DUPAGE COUNTY, ILLINOIS."

PINs: 09-01-202-003, 09-01-202-004, 09-01-202-012, and 09-01-202-013

At said public meeting, the Plan Commission shall accept all testimony and evidence pertaining to said application and shall consider any and all possible zoning actions, including the granting of any necessary special permits, variations, other special approvals, or amendments to the Zoning Code that may be necessary or convenient to permit development of the proposed type at the described property. All interested persons are invited to attend and be heard.

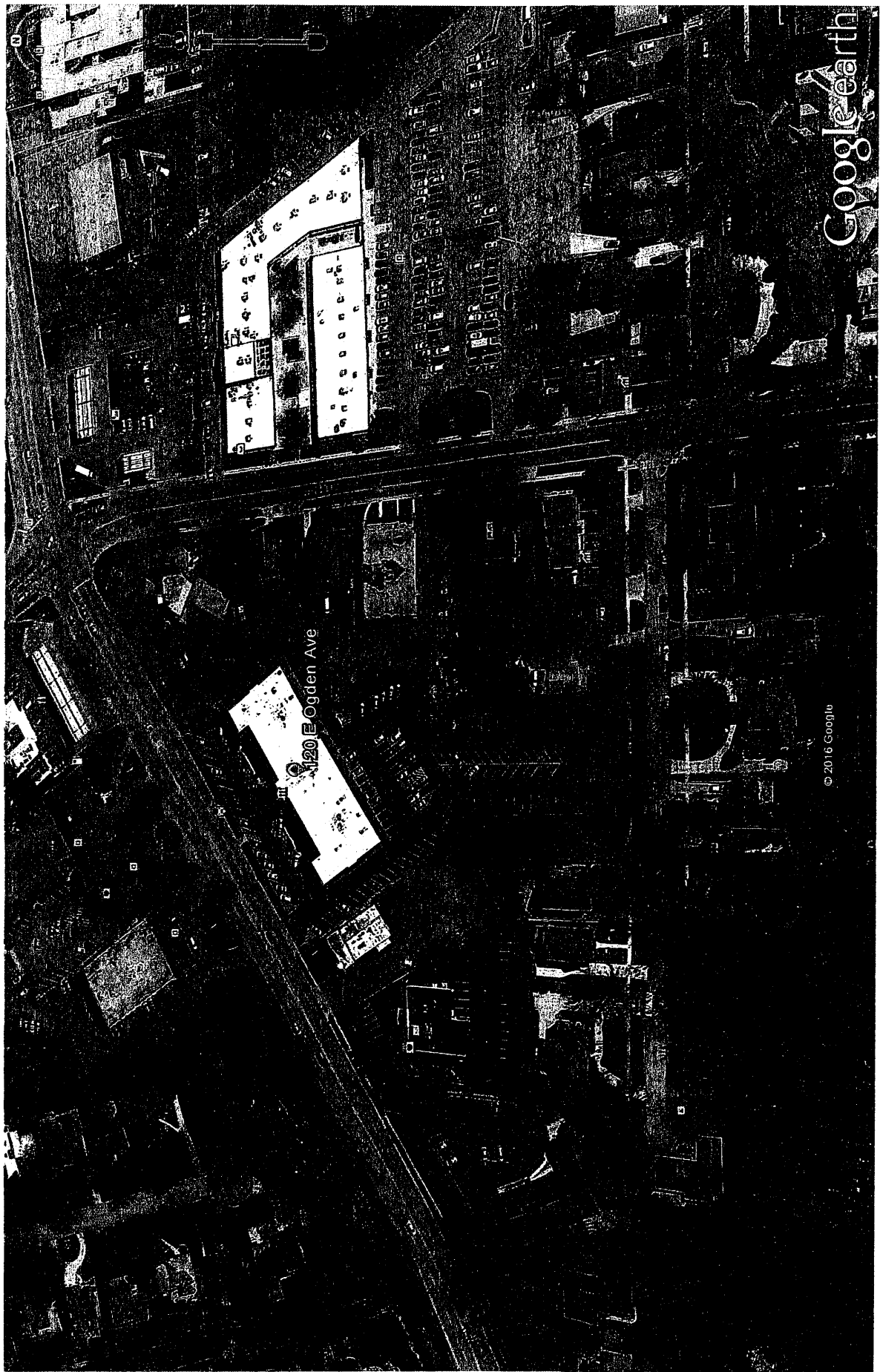
Dated: June 23, 2016

Christine M. Bruton, Village Clerk

Published in the Hinsdalean on June 23, 2016



Attachment 5: Aerial Photo of 120 E. Ogden Avenue



Attachment 6: Street View of Fuller Road with Potential New Ingress/Egress (facing west)



Attachment 6: Street View of Fuller Road with Potential New Ingress/Egress (facing east)



Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

We, the undersigned petitioners and local residents, strongly object to the proposed access driveway connecting the parking lot of 120 E. Ogden Avenue with Fuller Road. Today, Fuller Road is a quiet, dead-end residential street where families are raised and neighborhood children often play outside. Granting petitioners request would transform our quiet neighborhood into a commercial traffic "short-cut" that would dramatically increase traffic and parking in our neighborhood, subject our families to unreasonable risk of harm, and negatively affect our property values. We hope that this board will put the safety, well-being, and economic interests of its residents above a business's desire in creating a traffic "short-cut."

Mari Halligan
Name

234 Fuller Rd Hinsdale
Address

LANA M. EMBREE
Name

429 FULLER RD HINSDALE
Address

[Signature]
Name

444 Fuller Rd Hinsdale
Address

[Signature]
Name

444 Fuller Road Hinsdale
Address

[Signature]
Name

427 Fuller Rd. Hinsdale
Address

[Signature]
Name

427 Fuller Rd Hinsdale
Address

JANET EMBREE
Name

429 FULLER RD HINSDALE
Address

Edward Pound
Name

412 Fuller Rd Hinsdale
Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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William Perry 218 Fuller Rd
Name Address

L. Culma 111 Fuller Rd.
Name Address

Robert Punt 633 W. Elm Street
Name Address

Harold Pelt 814 N. County Line Rd
Name Address

Dygon 927 N County Line Rd
Name Address

Paul Pelt 615 N County Line Rd
Name Address

Stephen Pelt 731 N County Line Rd
Name Address

Elizabeth Pelt 436 Fuller Rd
Name Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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Jim Henry
Name

335 Fuller Rd. Hinsdale IL 60521
Address

Simon B. Owens
Name

331 Fuller Rd. Hinsdale IL 60521
Address

Tim De
Name

241 Fuller Rd Hinsdale IL 60521
Address

Joey Meyer
Name

515 Highland Rd, IL 60521
Address

Joey Meyer
Name

515 Highland Rd 60521
Address

Frankie L. L...
Name

628 N. YORK RD.
Address

Jennifer A. London
Name

628 N. YORK RD
Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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Serdar Walsh
Name

118 Fuller Rd. Hinsdale
Address

Max Peters
Name

118 Fuller Rd. Hinsdale
Address

Jordan Peters
Name

118 Fuller Rd., Hinsdale
Address

Agg Peters
Name

118 Fuller Rd, Hinsdale
Address

[Signature]
Name

501 Walker Rd Hinsdale
Address

[Signature]
Name

549 N. York Rd Hinsdale
Address

[Signature]
Name

543 N York RD Hinsdale
Address

Parker Muggen
Name

525 York Road
Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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George DePhillips 517 N. York Rd.
Name Address

Steeny DePhillips 517 N. York Road
Name Address

Maia Fagan 511 N York Road
Name Address

Yoon Choi 511 N York Rd.
Name Address

Madeline Jeffers 123 The Lane
Name Address

Rita P 129 THE LANE
Name Address

Catherine Stracusa 133 The Lane
Name Address

Frankie Ricci 133 THE LANE
Name Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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<u>Scott A. Spinazola</u> Name	<u>515 Walker Rd. Hinsdale, IL</u> Address
<u>John Spinazola</u> Name	<u>515 Walker Rd. Hinsdale, IL</u> Address
<u>Nicola Spinazola</u> Name	<u>515 Walker Rd. Hinsdale, IL</u> Address
<u>[Signature]</u> Name	<u>800 N. Washington St. Hinsdale</u> Address
<u>Missy Spinazola</u> Name	<u>417 Forest Rd. Hinsdale, IL</u> Address
<u>Dan Spinazola</u> Name	<u>417 Forest Rd. Hinsdale, IL</u> Address
<u>John [Signature]</u> Name	<u>225 THE LANE Hinsdale, IL</u> Address
<u>Margaret Spitzer</u> Name	<u>217 The Lane Hinsdale</u> Address

~~Craig Peters, 118 Fuller Rd.~~

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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Kathryn Callahan Kathryn Callahan 144 The Lane Hinsdale, IL
Name Address

Eugene G Callahan Eugene 144 The Lane, Hinsdale IL
Name Address

Patricia H. Vonder Heide Patricia H. Vonder Heide 124 Fuller Road Hinsdale IL
Name Address

Stephanie F. Sprizer Stephanie F. Sprizer 217 The Lane Hinsdale, IL
Name Address

Amy Brown Amy Brown 122 The Lane Hinsdale IL
Name Address

David Brown David Brown 122 The Lane Hinsdale IL
Name Address

Name Address

Name Address

Case A-15-2016

Petition Opposing New Access Driveway at 120 E. Ogden Avenue

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Robert R. Jeffers 123 THE LANE, HINSDALE
Name Address

Ann h Byr 123 The Lane, Hinsdale
Name Address

Name Address

Name Address

Name Address

Name Address

Name Address

Name Address

Case A-15-2016

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Elizabeth Phelps

Name

241 Fuller Rd., Hinsdale, IL 60521

Address

Chris Pirvega

Name

613 N. Elm St., Hinsdale, IL 60521

Address

Mark Bowgren

Name

408 The Lane, Hinsdale, IL 60521

Address

April Bowgren

Name

408 The Lane, Hinsdale, IL 60521

Address

Nicole Sheridan

Name

613 N. Elm St., Hinsdale, IL 60521

Address

Name

Address

Name

Address

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John
Name

133 Fuller Road Hinsdale
Address

Name

Address

Name

Address

Name

Address

Name

Address

Name

Address

Name

Address

Name

Address

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Francis Lucente 734 N. Elm Street Hinsdale
Name Address

Richie A2 727 N. Elm St Hinsdale
Name Address

Lucente 719 N Elm Hinsdale
Name Address

Vinny M. Kelly 564 N. Elm Hinsdale
Name Address

Butt J 546 N Elm Hinsdale
Name Address

Jim MacKenzie 509 N. Elm St Hinsdale IL
Name Address

Al Brecht 553 N. Elm Hinsdale IL
Name Address

Al Sraga 617 N. Elm Hinsdale
Name Address

Case A-15-2016

Kathy Goya 617 N Elm Hinsdale
Name Address

Gerald Aheru 716 Franklin Hinsdale
Name Address

Debra Kuceln 802 Franklin, Hinsdale
Name Address

Martin Ruyart 804 Franklin, Hinsdale
Name Address

Michael Kuhn 117 Fuller Hinsdale
Name Address

Alice Kuhn 117 Fuller Rd Hinsdale
Name Address

Name Address

Name Address

Name Address

Name Address

Name Address

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✓ Ann M. Burke
Ann M. Burke
Name

520 Walker Rd
Hinsdale, IL 60521
Address

✓ Linda Burke
Name

520 Walker Rd. Hinsdale, IL
60521
Address

✓ Meredith Devereux
Name

528 Walker Rd Hinsdale, IL 60521
Address

✓ Doyle Devereux
Name

528 Walker Road Hinsdale, IL 60521
Address

✓ Julianne Willich
Name

603 Walker Rd Hinsdale, IL 60521
Address

✓ Julianne Willich
Name

603 Walker Rd. Hinsdale, IL 60521
Address

✓ Lynn Peng
Name

137 The Lane, Hinsdale, IL 60521
Address

✓ James Zinkle
Name

137 The Lane, Hinsdale, IL 60521
Address

Greg Peters - 630-531-0214

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Danish Jettax 123 4th Ave R-Jettax@attol63.net
Name Home/Email Address

R. H. H. H. H. 524 Walker Rd Hinsdale
Name Home/Email Address

D. Naughton 539 N. Oak Street
Name Home/Email Address

R. Hopkins 732 N. FRANKLIN, Hinsdale
Name Home/Email Address

T. Albright 551 Walker Road, Hinsdale
Name Home/Email Address

ELLEN AUBREY 551 WALKER ROAD HINSDALE
Name Home/Email Address

Name Home/Email Address

Name Home/Email Address

PLEASE! PLEASE! PLEASE! ATTEND THIS MEETING!
VOH, Plan Commission Meeting, Wednesday, July 13, 2016, 7:30PM
Memorial Building, 19 East Chicago Avenue, Hinsdale, IL

Case A-15-2016

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✓ Gyetta Antonelli 114 Fuller, Hinsdale, IL gyettaantonelli@gmail.com
Name Home/Email Address

✓ Todd Antonelli 114 Fuller, Hinsdale, IL
Name Home/Email Address

✓ Neil Thomas 111 Fuller Rd. Hins IL
Name Home/Email Address

✓ 708-772-1297 Darius Narbutaitis att not IL
Darius Narbutaitis 100 Fuller Rd, Hinsdale IL
Name Home/Email Address

✓ Becky Narbutaitis 100 Fuller Rd.
Becky Narbutaitis Home/Email Address
Name

✓ Kelly Sopel 105 Fuller Rd Hinsdale IL near (Garden) 114 (Soyte)
Name Home/Email Address

✓ Shane Adams 235 N Park Ave, Hinsdale, IL
Name Home/Email Address

Name Home/Email Address

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Edith

Name

556 Jefferson St Hinsdale, IL

Elizabeth.Sinkus@gmail.com

Home/Email Address

M. A. Sankar

Name

PATRICK MCGARRY

Home/Email Address
556 Jefferson Street Hinsdale, IL

Mark.Smyke@gmail.com

Home/Email Address

P.M. & Van

Name

AMY MCGARRY

301 SPRINGLARK AVE.

Home/Email Address

Name Amy M. Casey

Name _____

301 Spindaker Ave.

Home/Email Address

Name _____

Home/Email Address

Name _____

Home/Email Address

Name

Home/Email Address

Name _____

Home/Email Address

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✓ Robert R. Poffen 123 THE LANE, HINSDALE
Name Address

✓ John A. Poffen 123 The Lane, Hinsdale
Name Address

✓ J. MATHW 607 WALKER HINSDALE
Name TAKE Address

✓ Donna DeRose 615 N. York Rd. Hinsdale,
Name Address IL

✓ John DeRose 615 N. York Rd., Hinsdale, IL
Name Address

Name Address

Name Address

Name Address

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✓ SCOTT M. BANKS
Name

427 N. VINE ST. Hinsdale
Home/Email Address

✓ MARGARET BANKS
Name

427 N. VINE ST. Hinsdale
Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

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✓ Beth Forester
Name

4644 Ogden Street
bethforenfrh@icloud.com
Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

Name

Home/Email Address

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✓ Carl Lipanek

Name

103 Minneola St
Address Hinsdale

✓ George Cikarek

Name

103 Minneola St
Address Hinsdale

✓ Grant B. H.

Name

548 N. Garfield Ave.
Address Hinsdale, IL 60521

✓ Walter Heintzen

Name

544 N. Garfield
Address

✓ Eva Heintzen

Name

544 N. Garfield
Address

✓ Mary Ann Palmer

Name

603 N. Garfield
Address

✓ Pat A.

Name

137 N. A. W. St
Address

Name

Address

✓ Craig Peters, 118 Fuller Rd.

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✓ Kathryn Callahan Kathryn Callahan 144 The Lane Hinsdale, IL
Name Address

✓ Eugene G. Callahan Eugene 144 The Lane, Hinsdale IL
Name Address

✓ Patricia H. Vonder Heide Patricia H VonderHeide 124 Fuller Road Hinsdale IL
Name Address

✓ Stephanie F. Spitzer Stephanie F. Spitzer 217 The Lane Hinsdale, IL
Name Address

✓ Amy Brown Amy Brown 122 The Lane Hinsdale IL
Name Address

✓ David Brown David Brown 122 The Lane Hinsdale IL
Name Address

✓ Steve Reitman Steve Reitman 212 The Lane Hinsdale IL
Name Address

✓ Steve Reitman Steve Reitman 212 The Lane Hinsdale IL
Name Address

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Sue Stone
Name 622 York Rd Hinsdale
Address

Phyllis Hogrefe
Name 622 York Rd. Hinsdale
Address

Tony Brown
Name 632 YORK RD, HINSDALE
Address

Margaret Green
Name 616 N. York Rd. Hinsdale
Address

[Signature]
Name 616 N. York Rd Hinsdale
Address

[Signature]
Name 616 N. York Rd Hinsdale
Address

[Signature]
Name 315 Kansas St. Hinsdale, Ill.
Address

[Signature]
Name 50 N. Central Hinsdale
Address

Increase Hinsdale Traffic??

Public Hearing, 7.13.2016, 7:30PM

Village Hall. Oppose A-15-2016:

cmv@villageofhinsdale.com

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Katie Bonk 117 Maumell
Name Address

[Signature] 541 West Sixth Hinsdale
Name Address

Juan Ferrer 105 E. Maple, Hinsdale
Name Address

Peter C. DeWitt 612 N. York Rd.
Name Address

Roberta S. DeWitt 612 N. York Rd.
Name Address

[Signature] 23 N. Vine St
Name Address

Bethany T. Stle 23 N. Vine St.
Name Address

Increase Hinsdale Traffic??

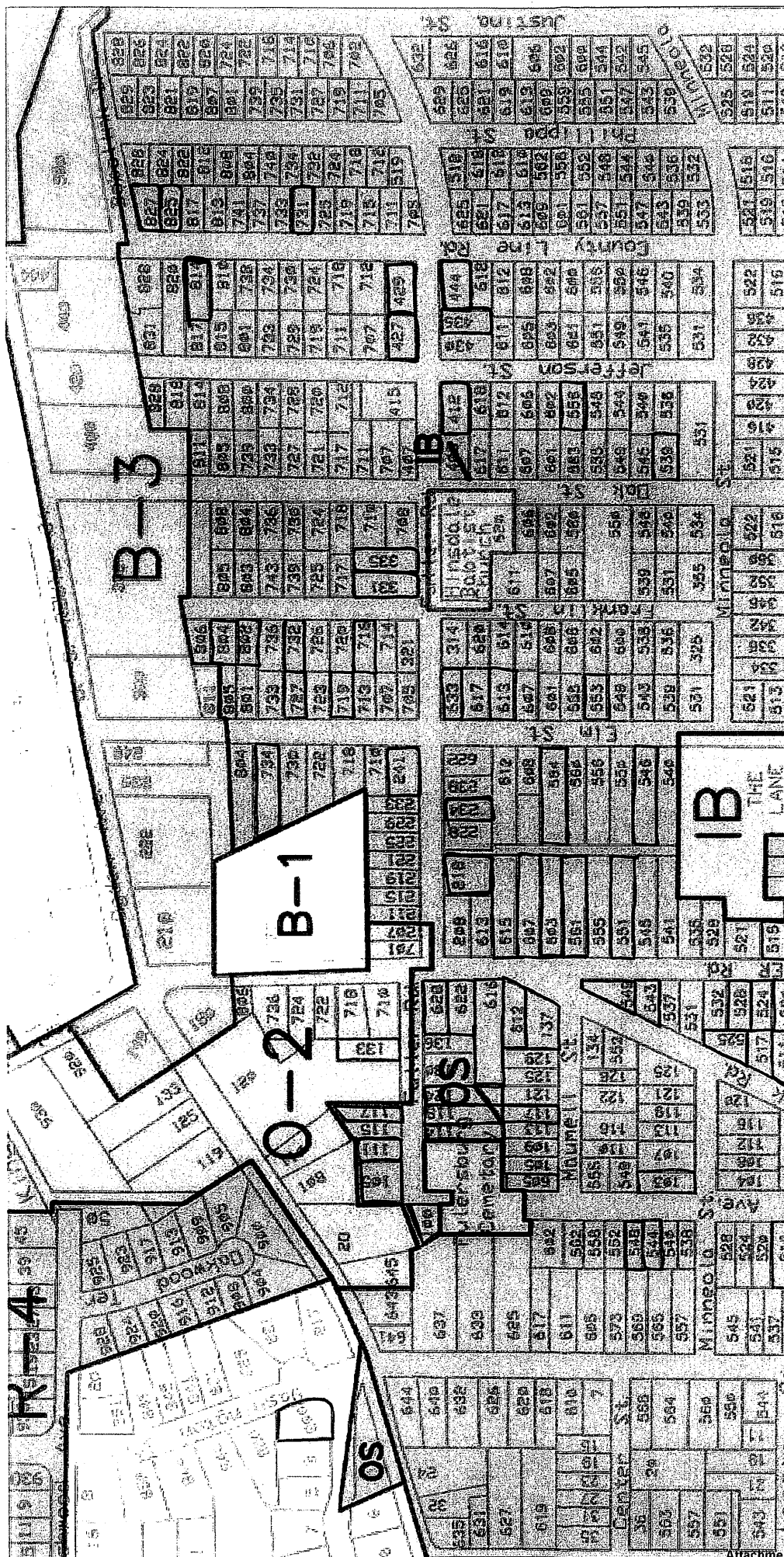
Public Hearing, 7.13.2016, 7:30PM

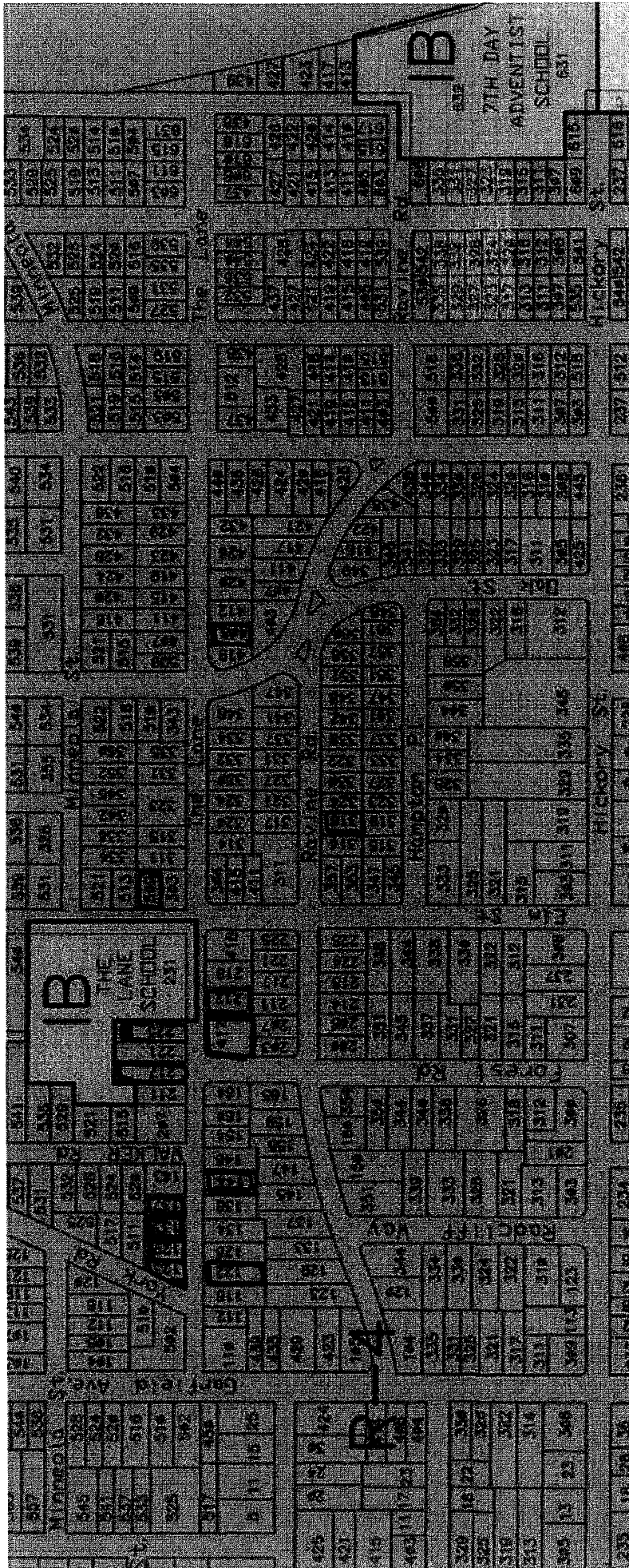
Village Hall. Oppose A-15-2016.

cyu@villageofhinsdale.org

Name

Address





Not mapped:

515 Highland Rd., 235 N. Park Ave., 301 Spring Lake Ave., 422 N. Vine St., 427 N. Vine St., 541 W. 56th St., 105 E. Maple St. and 23 N. Vine St.