

Approved

**MINUTES  
VILLAGE OF HINSDALE  
PLAN COMMISSION  
May 13, 2015  
MEMORIAL HALL  
7:30 P.M.**

Chairman Byrnes called the meeting to order at 7:30 p.m., Wednesday, May 13, 2015 in Memorial Hall, the Memorial Building, 19 East Chicago Avenue, Hinsdale, Illinois.

**PRESENT:** Chairman Byrnes, Commissioner Crnovich, Commissioner McMahon, and, Commissioner Ryan and Commissioner Fiascone, Commissioner Krillenberger, Commissioner Unell, Commissioner Johnson

**ABSENT:** Commissioner Cashman

**ALSO PRESENT:** Robert McGinnis, Director of Community Development/Building Commissioner and Chan Yu, Village Planner  
Applicant Representatives for Cases: A-08-2015, A-09-2015, A-14-2015 and A-07-2015

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**Approval of Minutes**

The Plan Commission reviewed the minutes from the April 8, 2015 meeting. Commissioner Johnson motioned to approve as submitted. Commissioner Crnovich seconded. The motion passed unanimously.

**Sign Permit Review**

**Case A-08-2015 – 440 E. Ogden Avenue– Normandy Remodeling- Existing Ground Sign Re-Face**

Chairman Byrnes provided a brief summary for the reason to review signs as a commission, such as monuments signs, versus administratively for other examples (such as typical wall signs). He next introduced the applicant from Normandy Remodeling for their proposed ground sign re-face.

Mr. Rob Whitehead from the sign company introduced himself and explained that they are proposing to remove the existing face of the sign and replace it with a new one (to reflect new logo). It will be illuminated by LED and use the existing structure of the ground sign.

Chairman Byrnes asked if it's essentially a swap out- "like for like".

Mr. Rob Whitehead responded yes.

Commissioner Ryan commented that the proposed sign will look far better than the existing.

Chairman Byrnes asked if there were any questions. Having none, he asked for a motion to approve the proposed sign as presented.

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Commissioner Ryan motioned to approve. Commissioner Unell seconded. The motion passed unanimously.

### **Case A-09-2015 – 30 E. 1st Street – Ashley's Custom Stationary - New Wall Sign and Awning Fabric color change (no text)**

Chairman Byrnes introduced the next item of the agenda.

Ashley and Josef (sign company) introduced and presented themselves as the first tenants at the new building/development on Garfield Ave. Ashley explained the colors of her business and the need to replace the current awning colors because they are mustard yellow. She is branding herself and showed her logo and color, navy blue.

Josef explained the proposed wall sign will be 20 square feet (SF), which reflects the conversation with Village staff; and within the limits of the code.

Chairman Byrnes explained that he spoke with Village staff and discussed the importance of allocating sign space (square footage) in multi-tenant buildings.

Mr. Robert McGinnis, Director of Community Development/Building Commissioner explained that the general standards define the land owner as responsible for dividing the allowable signage space in a multi-tenant building. And that space is 100 SF maximum or 25 SF per tenant- whichever is the greater of the two.

Chairman Byrnes made a comment that the proposed looks good and proportional.

Ashley agreed and is happy about the way it looks.

Chairman Byrnes asked the Commission if they liked the blue.

Commissioner Ryan commented that it is very tasteful.

Commissioner Crnovich asked for clarification about the 25 SF per tenant.

Mr. Robert McGinnis mentioned this was a question he reviewed with the Village Attorney and referenced the "greater of" stipulation. Moreover, if you consider the preceding general standards of section 9-106-11, that refer to the aforementioned landlord as responsible for dividing the signage space in a multiple users. He also reached out to Sean Gascoigne, the previous Village Planner for historical context. To that end, the Village has taken the position of allowing 25 SF maximum, per tenant in a multi-tenant building. For example, a 5 tenant building would be allowed up to 125 SF.

Commissioner Crnovich explained that she wanted to be careful and clear moving forward with future sign reviews.

Chan Yu, Village Planner mentioned that the owner of the building was notified for the proposed sign.

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Ashley expressed that she would like to be able to put a sign at the rear of the building, where there is an entrance. And unfortunately, there is no more allowable space for a sign in the rear.

Mr. Robert McGinnis believes this is a conversation that the Plan Commission may consider to have in the future.

Chairman Byrnes stated that this is a unique building in the downtown.

Ashley believes this will be a problem in the future for directing her customers after utilizing the parking in the rear.

Commissioner Crnovich asked staff if a projecting sign is allowed in the downtown.

Chan Yu said yes, and it does not count against the allowed SF.

After Josef mentioned that Ashley's has 5 SF left to use, Ashley expressed that she would like to add text to the awning. Josef explained this was reviewed with staff and that would count towards the signage threshold.

Neale again referenced the 5 SF and the possibility of adding something to the door.

Ashley explained that she plans to install a sign indoors on the wall and have a light shine on it.

Chairman Byrnes stated that the general goal is to prevent excessive clutter in the downtown area.

Chairman Byrnes asked for a motion to approve the proposed sign as presented.

Commissioner Ryan motioned to approve. Commissioner Unell seconded. The motion passed unanimously.

**Case A-14-2015 – 36 and 42 S. Washington Ave. – Grafton Holdings LLC - New Wall Sign and Awning Re-Face with text added to its Valance**

Mr. Peter Coules introduced himself as the representative for the sign applicant. He explained the historical background of the sign application; of it originally going through the ZBA process, but canceled it since it was not a variance. He asked Mr. McGinnis to correct him if he is wrong.

Mr. McGinnis replied correct, you could argue with a multi-tenant building with more than 4 tenants, you could potentially have more than 100 SF of signage.

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Mr. Peter Coules explained at the pre-hearing of the ZBA meeting, he was told he did not have to go through the process and to apply to the Plan Commission. He next explained what was being proposed.

A question was asked if the awning shown on the screen would be replaced.

Mr. Peter Coules replied yes; with black, white and grey on the new awning fabric.

Chairman Byrnes asked Chan, Village Planner what the size of the proposed awning is.

Chan Yu replied, the wall sign is 20.4 SF and the awning valance is 7 SF.

Mr. Peter Coules mentioned this puts them over the 25 SF as a tenant, but not per sign.

Commissioner Crnovich asked which tenants are currently occupying the building.

Mr. Peter Coules and the landlord replied with the name of the tenants.

Commissioner Crnovich asked if they counted the permanent window sign.

Mr. Peter Coules stated the window sign does not count.

Chan Yu replied the window sign (area) was not counted.

Commissioner Crnovich stated that she believes it should count.

Mr. Peter Coules explained the window sign is not permanent because it hangs.

Mr. McGinnis explained that it was not included in the applicant's submittal. And if it is a permanent window sign, it should be counted.

Chairman Byrnes reiterated that the proposed is over the maximum 25 SF.

Mr. Peter Coules explained that this is not a variance because he applied this exact application to the ZBA, and the Village attorney explained that it is not a variance.

Mr. McGinnis explained this was not the problem. Instead, with six tenants, they are permitted up to 150 SF total. However, it is a problem if there was no window signs included in the application that needs to be counted.

Commissioner Crnovich cited Section 9-106(j) and what is counted towards the area calculation. She concluded that the Lash Spot has a permanent window sign.

Mr. Peter Coules stated they did not count it because it's a decal.

Commissioner Crnovich explained it is their permanent sign nevertheless.



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Discussion to clarify the tenants of the building ensued.

Chairman Byrnes asked why the ZBA was involved if the Plan Commission approves signs.

Mr. Peter Coules explained that if they needed more signage area than what's allowed, they needed to apply to the ZBA. In addition, the Planner at the time, Sean, suggested they apply for a variance. However, the Village attorney told them they did not.

Discussion to clarify the tenants of the building ensued and whether or not the barber shop was included in the ZBA application.

Chairman Byrnes asked if the window sign was included in the application.

Chan Yu replied no.

Chairman Byrnes states he doesn't know if we can move forward without this information.

Mr. Peter Coules asked if they did return, if the issue had to do with color or etc.

A reply referenced the size and not the color.

Commissioner Crnovich asked if the frame of the proposed wall sign was calculated for the area.

Chan Yu replied that it is excluded.

Mr. Peter Coules replied that by code, it is excluded. However, they could create a sign without the frame. But the idea was to match the other framed sign and existing elements of the building.

General comments included the sign looks larger with the frame and that it looks more like a frame than a window frame. Furthermore, Commission members expressed that they'd like to see the existing frame removed as well, since it would look better without it.

Mr. Peter Coules asked when they return, are the color, materials and awning alright with everybody.

General agreement was reflected to Mr. Peter Coules and suggested that the frame be removed from the existing wall sign; At a minimum, shrink the proposed wall sign frame.

Commissioner Crnovich believes that the frame should be counted towards the area.

Chan Yu explained he interprets it should not count since they could technically wrap text onto the frame.

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Discussion to clarify the area, how it is shared between the tenants of the building and whether or not the existing Caldwell Banker frame can be removed ensued.

Mr. Peter Coules asked if the awning could be approved.

Chairman Byrnes agreed and asked for a motion to approve the awning as submitted. Commissioner McMahon motioned and Commissioner Johnson seconded. The motion passed unanimously.

**Site Plan and Final Plat Review**

**Case A-07-2015 – 950 and 954 S. Madison Street. – Tentative and Final Plat Approval for David Weekly Homes Subdivision**

Chairman Byrnes gives a background in regards to the issues raised (such as the trees, sidewalks and etc.) by the Plan Commission (PC) and that they were covered at the Board of Trustees (BOT) meeting. However, the BOT remanded back to the PC to review the Site Plan application. Chairman Byrnes also mentioned the concern for the alley purchase was also satisfied by the BOT.

Kevin Seay, the applicant explained that they will purchase the alley at the same time with the land. He mentioned that they are scheduled to close on the land on June 1st, and addressed the tree preservation concerns.

Chairman Byrnes also reiterated that he and Mr. McGinnis had discussed about the detention basin and subsequent drainage improvements in the area.

Mr. McGinnis added that Benes & Associates has completed the engineering review.

Chairman Byrnes explained the proper procedure would to approve the Site Plan application, and subsequently, on a separate motion, approved the Findings and Recommendations, as amended (to include the Site Plan review requirement has been a satisfied) to approve the Site Plan and Plat of Subdivision.

The motion was moved and seconded for each of the above and passed unanimously.

The meeting was adjourned after a motion was made and seconded at 8:15 p.m..

Respectfully Submitted,



Chan Yu, Village Planner

# Memorandum

**To:** Chairman Byrnes and Plan Commissioners

**From:** Chan Yu, Village Planner

**Cc:** Kathleen A. Gargano, Village Manager  
Robert McGinnis, Director of Community Development/Building Commissioner

**Date:** June 4, 2015

**Re:** 35 E. First St. – Fuller House– New Wall Sign Approval

## BACKGROUND

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### Application

The Village of Hinsdale has received an application from Right Way Signs, requesting approval to install a new wall sign at 35 E. First Street (Attachment 1). The site features a two-story commercial building in the B-2, Central Business District.

### Request and Analysis

The Central Business District (B-2) is intended to serve the entire community with a wide variety of retail and service uses located in the center of the Village (Attachment 2). The Fuller House is a new business and is seeking approval to install a new wall sign while utilizing its existing gooseneck lights.

The wall sign is located at the south face of the building along E. First Street as depicted in the attached front elevation. Per the application, the new wall sign will feature outdoor treated re-claimed wood with hand painted lettering. It will not be illuminated since the existing gooseneck lights will be utilized. The proposed sign will be 33.5 square feet (21" tall and 230" wide).

Per Zoning Code, the maximum gross surface area allowed is one square foot per foot of building frontage for the wall sign (up to 100 SF maximum). The building frontage is 50', which potentially allows a 50 square foot wall sign. The proposed is 33.5 square feet in area and thus, under the maximum permitted. The building is shared with Fuller's Home and Hardware (Hardware); and per the applicant, its existing wall sign is 29 square feet. Combined, the proposed 33.5 SF sign and existing 29 SF Hardware store sign is 62.5 square feet; which is less than the 100 SF building maximum between 2 tenants (Section 9-106J(4)(b)).

### Planning Commission Action

Per Section 11-607D(2) and the nature of the request, this application would require a meeting before the Plan Commission and does not require public notification. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.

**Attachments:**

Attachment 1 – Sign Application

Attachment 2 - Village of Hinsdale Zoning Map and Project Location



VILLAGE OF HINSDALE  
COMMUNITY DEVELOPMENT DEPARTMENT  
APPLICATION FOR SIGN PERMIT

**Applicant**

Name: PATRICIA VLAHOS  
Address: 35 E First Street  
City/Zip: HINSDALE 60521  
Phone/Fax: (630) 670 0948  
E-Mail: Patricia@FULLERHOUSEBAR.com  
Contact Name: Patricia Vlahos

**Contractor**

Name: RIGHTWAY SIGNS  
Address: 7651N MILWAUKEE  
City/Zip: Chicago 60630  
Phone/Fax: 773 9304361  
E-Mail: Alex@RIGHTWAYSIGNS.com  
Contact Name: ALEX PERRY (OWNER)

**ADDRESS OF SIGN LOCATION:**

ZONING DISTRICT: Please Select One B-2 CENTRAL Business District (CBD)

SIGN TYPE: Please Select One WALL SIGN

ILLUMINATION Please Select One EXISTING GOOSENECKS

**Sign Information:**

Overall Size (Square Feet): 335 (21 x 230)

Overall Height from Grade: 9 Ft.

Proposed Colors (Maximum of Three Colors):

- ① Black Letters wood Backer
- ② \_\_\_\_\_
- ③ \_\_\_\_\_

**Site Information:**

Lot/Street Frontage: 50'

Building/Tenant Frontage: 50'

Existing Sign Information: NONE ON FIRST

Business Name: ONIGARFIELD: FULLER'S HOME and HARDWARE

Size of Sign: 29 FT Square Feet

Business Name: \_\_\_\_\_

Size of Sign: \_\_\_\_\_ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

6-1-15

Signature of Building Owner

Date

6-1-15

**FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE**

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: \_\_\_\_\_ Administrative Approval Date: \_\_\_\_\_



2333 N. Seeley Ave  
Chicago, IL 60647  
Phone 773.930.4361  
artwork@rightwaysigns.com

PRINTED  
RWS-115-56

ALEX PERRY  
REPRESENTATIVE

6-1-2015  
DATE

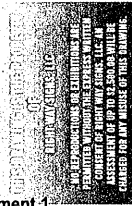
FULLER HOUSE  
CLIENT NAME

36 E. 1ST ST.  
HINSDALE  
JOB LOCATION

ALEX PERRY  
DRAWN BY SCALE

REVISIONS:  
1.

Attachment 1



OUTDOOR TREATED RE-CLAIMED WOOD  
WITH HAND PAINTED LETTERING READING  
"FULLER HOUSE".

By signing the Customer Acceptance on this print, I understand that I am accepting all aspects of this drawing. X  
This includes Artwork, Specifications, Dimensions, Spelling, and all other representations herein.  
I also understand that color reproductions on this print are approximate, and may not match manufactures samples exactly.



CUSTOMER ACCEPTANCE SIGNATURE

DATE

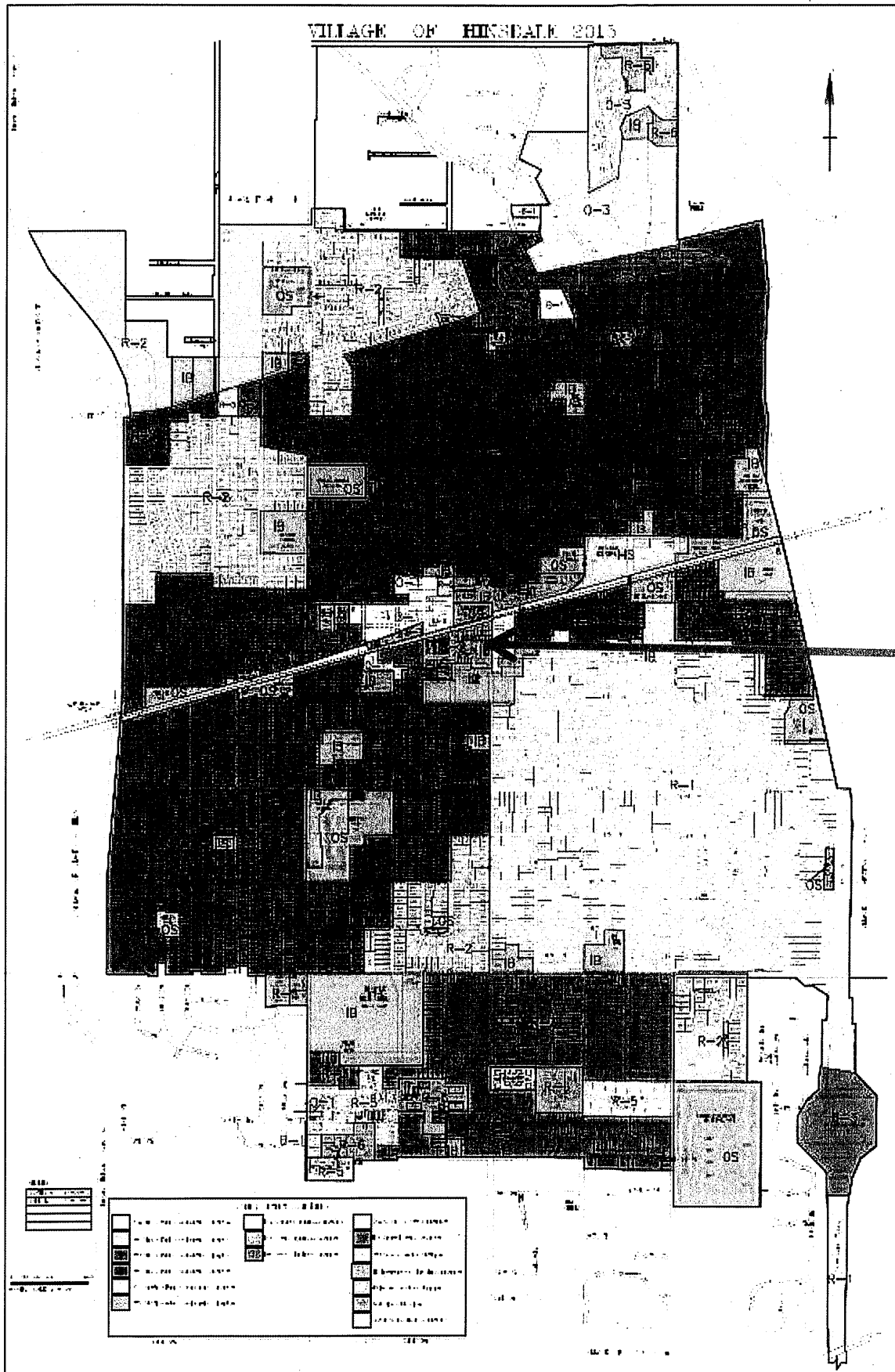
IF REQUIRED: LANDLORD ACCEPTANCE SIGNATURE

DATE

RWS INITIALS


DATE

## Attachment 2: Village of Hinsdale Zoning Map and Project Location ★



# Memorandum

**To:** Chairman Byrnes and Plan Commissioners

**From:** Chan Yu, Village Planner 

**Cc:** Kathleen A. Gargano, Village Manager  
Robert McGinnis, Director of Community Development/Building Commissioner

**Date:** June 1, 2015

**Re:** 10, 11 and 12 Salt Creek Lane & 901 and 907 Elm St.  
Post Zoning Variation Recommendation by the ZBA  
Sign Permit Application Eight (8) Ground Signs

## BACKGROUND

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### Application

On March 6<sup>th</sup>, the Village of Hinsdale received an Application for Zoning Variation from Med Properties/Salt Creek Campus LLC, requesting approval to allow: (1) off premise identification signs, (2) illumination of said off premise signs, (3) installation of 8 ground signs and (4) a total square footage of 110 square feet, in lieu of the 100 square feet permitted for ground signs (Attachment 1). The site, generally known as Med Properties, features 5 addresses located in the O-3, General Office District (Attachment 2).

The zoning variation application was reviewed by the Zoning Board of Appeals (ZBA) at the April 15<sup>th</sup> meeting where a public hearing was open for comments (Attachment 3). In general, the illumination, square footage and number of the signs proposed were not a concern at the meeting. However, the location and content of the two off premise identification signs (1 and 2 on Attachment 2) raised questions and concerns by some of the ZBA members and public.

The concern for the location and content of signs 1 and 2 stems from the lack of opportunity to direct the public and clients to other groups established within the office park. For example, Spinning Wheel Apartments and Robert Crown Centers of Health Education were specifically brought up. In addition, the median location of signs 1 and 2, triggered visibility concerns and may subsequently, create a potential IDOT problem.

Given the above, the ZBA made a motion to approve the application for zoning variation as requested, with respect to the: (1) proposed illumination, (2) location of the off premise signs (on condition of IDOT location and site line approval for sign 1), (3) square footage and (4) the number of signs; and recommends that the Plan Commission review appropriate sign content and recognize those properties who require access from Salt Creek Lane. The motion passed unanimously (Attachment 4). To that end, the sign application should focus on the sign content, in consideration for the multiple entities of the office park area (Attachment 5).



## **Request and Analysis**

The General Office District (O-3) is intended to provide and accommodate the needs of business and professional offices and related business uses requiring a somewhat wider range of office space with a somewhat higher intensity of pedestrian and vehicular traffic movements (Attachment 6). The applicant, Med Properties, is located at 10, 11 and 12 Salt Creek Lane & 901 and 907 Elm Street which represents five separate buildings in the office park on lots 3, 4, 5, 6 and 10 as depicted on Attachment 2.

The applicant's zoning variation request for: (1) off premise identification signs, (2) illumination of said off premise signs, (3) location of the 8 ground signs (on condition of IDOT location and site plan approval for sign 1) and (4) a total square footage of 110 square feet for each was approved unanimously by the ZBA on April 15, 2015. Thus, the sign request analysis will focus on the usual review elements, such as the materials, appearance; and as recommended by the ZBA, sign content based on the consideration for the other multiple entities of the office park area (Attachment 7).

## **Plan Commission Action**

Per Section 11-607D(2) and the nature of the request, this application would require a meeting before the Plan Commission and does not require public notification. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.

## **Attachments:**

- Attachment 1 – Application for Variation (March 6, 2015) and Memo to ZBA (March 9, 2015)
- Attachment 2 - Proposed Sign Location Snapshot and Data Sheet
- Attachment 3 - ZBA Report/Transcript of Proceedings (April 15, 2015)
- Attachment 4 - ZBA (April 15, 2015) Minutes of the Meeting
- Attachment 5 - Sign Application
- Attachment 6 - Village of Hinsdale Zoning Map and Project Location
- Attachment 7 - Birds Eye View Project Location

**MEMORANDUM**

**TO:** Chairman Neiman and Members of the Zoning Board of Appeals

**FROM:** Robert McGinnis MCP  
Director of Community Development/Building Commissioner

**DATE:** March 9, 2015

**RE:** Zoning Variation – V-03-15; 10, 11, 12 Salt Creek Lane & 901, 907 Elm Street

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In this application for variation, the applicant requests several sign variations in conjunction with the medical office campus being assembled and constructed by Med Properties. The sign package will be reviewed by the Plan Commission in terms of design and content, and as such, the relief being requested is for only the number and size of the signs and not the content, materials, etc. It should be noted that this request is being driven by the fact that the Code does not account for campus type signage or the unusual nature of the relationship between their buildings and the rest of the office park. As a result, the applicant is requesting variations from the following:

Section 9-106(G)(5) - to allow off premises identification signs.

Section 9-106(G)(5) – to allow illumination of off premises identification signs.

Section 9-106(J)(3)(d) - to allow 8 ground signs in lieu of 1 permitted.

Section 9-106(J)(4)(d) - to allow a total square footage of 110 square feet, in lieu of the 100 square feet permitted for ground signs.

It should be noted that this request, if approved, will move on to the Plan Commission for its consideration on the sign content.

These properties are located in the O-3 Office District in the Village of Hinsdale and are located on the north side of Ogden Avenue between York Road and the Tri-State. There are a total of 5 parcels included in the request.

cc: Kathleen A. Gargano, Village Manager  
Zoning file V-03-15



Zoning Calendar No. V-03-15

**VILLAGE OF HINSDALE**  
**APPLICATION FOR VARIATION**

**COMPLETE APPLICATION CONSISTS OF TEN (10) COPIES**  
(All materials to be collated)

**FILING FEES: RESIDENTIAL VARIATION \$850.00**

NAME OF APPLICANT(S):

Med Properties

10 Salt Creek Lane, Hinsdale, IL 60521;

11 Salt Creek Lane, Hinsdale, IL 60521;

12 Salt Creek Lane, Hinsdale, IL 60521;

ADDRESS OF SUBJECT PROPERTY: 901 Elm Street, Hinsdale, IL 60521; & 907 Elm Street, Hinsdale, IL 60521

TELEPHONE NUMBER(S): (847) 897-7310

If Applicant is not property owner, Applicant's relationship to property owner.

DATE OF APPLICATION:

March 6, 2015



**RECEIVED**  
**CB 3-6-15**

## SECTION I

Please complete the following:

1. **Owner.** Name, address, and **telephone number** of owner: Salt Creek Campus, LLC  
40 Skokie Boulevard, Suite 410, Northbrook, IL 60062, (847) 897-7310
2. **Trustee Disclosure.** In the case of a land trust the name, address, and **telephone number** of all trustees and beneficiaries of the trust: N/A  
\_\_\_\_\_  
\_\_\_\_\_
3. **Applicant.** Name, address, and **telephone number** of applicant, if different from owner, and applicant's interest in the subject property: Med Properties- Bill Dvorak  
40 Skokie Boulevard, Suite 410, Northbrook, IL 60062,  
\_\_\_\_\_
4. **Subject Property.** Address and legal description of the subject property: (Use separate sheet for legal description if necessary.) See Attached.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
5. **Consultants.** Name and address of each professional consultant advising applicant with respect to this application:
  - a. Attorney: Peter Coules, Jr. 15 Salt Creek Lane, Suite 312, Hinsdale, IL 60521
  - b. Engineer: Cardosi Kiper Design Group, 2437 South Western Avenue, Chicago, IL 60608
  - c. \_\_\_\_\_
  - d. \_\_\_\_\_

6. Village Personnel. Name and address of any officer or employee of the Village with an interest in the Owner, the Applicant, or the Subject Property, and the nature and extent of that interest:

a. N/A

b. \_\_\_\_\_

7. Neighboring Owners. Submit with this application a list showing the name and address of each owner of (1) property within 250 lineal feet in all directions from the subject property; and (2) property located on the same frontage or frontages as the front lot line or corner side lot line of the subject property or on a frontage directly opposite any such frontage or on a frontage immediately adjoining or across an alley from any such frontage.

After the Village has prepared the legal notice, the applicant/agent must mail by certified mail, "return receipt requested" to each property owner/ occupant. The applicant/agent must then fill out, sign, and notarize the "Certification of Proper Notice" form, returning that form and all certified mail receipts to the Village.

8. Survey. Submit with this application a recent survey, certified by a registered land surveyor, showing existing lot lines and dimensions, as well as all easements, all public and private rights-of-way, and all streets across and adjacent to the Subject Property.
9. Existing Zoning. Submit with this application a description or graphic representation of the existing zoning classification, use, and development of the Subject Property, and the adjacent area for at least 250 feet in all directions from the Subject Property.
10. Conformity. Submit with this application a statement concerning the conformity or lack of conformity of the approval being requested to the Village Official Comprehensive Plan and the Official Map. Where the approval being requested does not conform to the Official Comprehensive Plan or the Official Map, the statement should set forth the reasons justifying the approval despite such lack of conformity.
11. Zoning Standards. Submit with this application a statement specifically addressing the manner in which it is proposed to satisfy each standard that the Zoning Ordinance establishes as a condition of, or in connection with, the approval being sought.
12. Successive Application. In the case of any application being filed less than two years after the denial of an application seeking essentially the same relief, submit with this application a statement as required by Sections 11-501 and 11-601 of the Hinsdale Zoning Code.

N/A

## SECTION II

When applying for a variation from the provisions of the Zoning Ordinance, you must provide the data and information required above, and in addition, the following:

1. Title. Evidence of title or other interest you have in the Subject Project, date of acquisition of such interest, and the specific nature of such interest.

2. Ordinance Provision. The specific provisions of the Zoning Ordinance from which a variation is sought:

See attached.

3. Variation Sought. The precise variation being sought, the purpose therefor, and the specific feature or features of the proposed use, construction, or development that require a variation: (Attach separate sheet if additional space is needed.)

See attached.

4. Minimum Variation. A statement of the minimum variation of the provisions of the Zoning Ordinance that would be necessary to permit the proposed use, construction, or development: (Attach separate sheet if additional space is needed.)

See attached.

5. Standards for Variation. A statement of the characteristics of Subject Property that prevent compliance with the provisions of the Zoning Ordinance and the specific facts you believe support the grant of the required variation. In addition to your general explanation, you must specifically address the following requirements for the grant of a variation:

- (a) Unique Physical Condition. The Subject Property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure of sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the Subject Property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current lot owner.
- (b) Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the Subject Property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.
- (c) Denied Substantial Rights. The carrying out of the strict letter of the provision from which a variation is sought would deprive the owner of the Subject Property of substantial rights commonly enjoyed by owners of other lots subject to the same provision.
- (d) Not Merely Special Privilege. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.
- (e) Code and Plan Purposes. The variation would not result in a use or development of the Subject Property that would not be in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted or the general purpose and intent of the Official Comprehensive Plan.
- (f) Essential Character of the Area. The variation would not result in a use or development of the Subject Property that:
  - (1) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use development, or value of property of improvements permitted in the vicinity; or
  - (2) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or
  - (3) Would substantially increase congestion in the public streets due to traffic or parking; or



- (4) Would unduly increase the danger of flood or fire; or
- (5) Would unduly tax public utilities and facilities in the area; or
- (6) Would endanger the public health or safety.
- (g) No Other Remedy. There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Subject Project.  
(Attach separate sheet if additional space is needed.)

See attached.

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### SECTION III

In addition to the data and information required pursuant to any application as herein set forth, every Applicant shall submit such other and additional data, information, or documentation as the Village Manager or any Board of Commission before which its application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular application.

1. A copy of preliminary architectural and/or surveyor plans showing the floor plans, exterior elevations, and site plan needs to be submitted with each copy of the zoning petitions for the improvements.
2. The architect or land surveyor needs to provide zoning information concerning the existing zoning; for example, building coverage, distance to property lines, and floor area ratio calculations and data on the plans or supplemental documents for the proposed improvements.

## SECTION IV

1. Application Fee and Escrow. Every application must be accompanied by a non-refundable application fee of \$250.00 plus an additional \$600.00 initial escrow amount. The applicant must also pay the costs of the court reporter's transcription fees and legal notices for the variation request. A separate invoice will be sent if these expenses are not covered by the escrow that was paid with the original application fees.
2. Additional Escrow Requests. Should the Village Manager at any time determine that the escrow account established in connection with any application is, or is likely to become, insufficient to pay the actual costs of processing such application, the Village Manager shall inform the Applicant of that fact and demand an additional deposit in an amount deemed by him to be sufficient to cover foreseeable additional costs. Unless and until such additional amount is deposited by the Applicant, the Village Manager may direct that processing of the application shall be suspended or terminated.
3. Establishment of Lien. The owner of the Subject Property, and if different, the Applicant, are jointly and severally liable for the payment of the application fee. By signing the applicant, the owner has agreed to pay said fee, and to consent to the filing and foreclosure of a lien against the Subject Property for the fee plus costs of collection, if the account is not settled within 30 days after the mailing of a demand for payment.

## SECTION V

The owner states that he/she consents to the filing of this application and that all information contained herein is true and correct to the best of his/her knowledge.

Name of Owner:

Salt Creek Campus, LLC

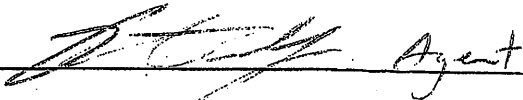
Signature of Owner:

 Agent

Name of Applicant:

Salt Creek Campus, LLC

Signature of Applicant:

 Agent

Date:

3-6-15

## Section I #9

### EXISTING ZONING

The existing zoning for the Subject Properties are O-3 District. The Subject Properties are professional medical office buildings.

The Subject Properties are surrounded by the O-3 Office District on all sides and is surrounded by various professional and medical office buildings. Further to the south of the site, the zoning is B3-3 District and there are various commercial uses fronting Ogden Avenue.

## Section I #10

### CONFORMITY

This approval is for the sign package proposed for 10 Salt Creek Lane, 11 Salt Creek Lane, 12 Salt Creek Lane, 901 N. Elm Street, 907 Elm Street. The proposed sign package conforms to the surrounding area. The request for sign variations conforms with both the Village Official Comprehensive Plan and the Official Map, however, the signs will not be in conformity with the strict terms of the Zoning Code.

Applicant believes that it is justified in seeking approval for a variation from the Village Zoning Code to allow for the proposed signs because there is no provision for campus-style signage in the Village Code. Additionally, Applicant believes that the development will require additional signage so that individuals may find different offices and buildings easily, as the proposed signage includes other buildings.

## Section I #11

### ZONING STANDARDS

Compliance with the Zoning Ordinance is not possible and variations from the strict letter of the Zoning Code are required because the current relationship of the properties is a campus style.

(a) Unique Physical Condition:

The Subject Property is exceptional because it will be an additional building to the campus style buildings already existing. The proposed signage is required to identify the different properties.

(b) Not Self-Created:

The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title.

(c) Denied Substantial Rights:

Applicant believes that if it were required to carry out the strict letter of the Zoning Code, its rights for signage would be deprived.

(d) Not Merely Special Privilege:

The ability to erect the proposed signs on the Subject Property is not a special privilege. Applicant has encountered a hardship in that it must be able to identify the different buildings and new development.

(e) Code and Plan Purposes:

The proposed signage for the Subject Property is in harmony with the general and specific purposes of this Zoning Code and the general purpose and intent of the Official Comprehensive Plan.

(f) Essential Character of the Area:

- 1) The proposed signage is not materially detrimental to the public welfare or materially injurious to the enjoyment, use development, or value of property of improvements permitted in the vicinity.
- 2) The proposed signage will not impair the supply of light and air to the properties and improvements in the vicinity.
- 3) The proposed signage would not increase congestion in the public streets due to traffic or parking.
- 4) The proposed signage will not increase the danger of flood or fire.
- 5) The proposed signage will not impact public utilities or facilities in the area.
- 6) The proposed signage will not endanger the public health or safety.

(g) No Other Remedy:

There are no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient without allowing the proposed variations for the proposed signage.

Section I #12

SUCCESSIVE APPLICATION

N/A

Section II #1

See attached Deeds

Section II #2

ORDINANCE PROVISION

The specific provisions of the Zoning Code from which a variation is sought are as follows:

1. Section 9-106 (G) (5) – Applicant requires a variation from this Section in order to allow off-premises identification signs on the Subject Properties.
2. Section 9-106 (J) (3) (d) – Applicant requires a variation from this Section in order to allow eight (8) ground signs.
3. Section 9-106 (J) (4) (d) – Applicant requires a variation from this Section in order to allow a total of 110 square feet of ground sign area.

**Location 5**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Tower Lane (identify 901 N. Elm Street)

**Location 6**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Tower Lane (identify 907 N. Elm Street)

**Location 7**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane (identify 8 Salt Creek Lane and 10 Salt Creek Lane)

**Location 8**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane (identify 11 Salt Creek Lane)

**LIST OF ALL PROPOSED SIGNS**  
(See attached Sign Package)

**Location 1**

Sign Type: M5.1 Monument Sign  
Illumination: Internally illuminated push thru acrylic letters. Brick face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 45.66 Square Feet  
Overall Sign Size: 8'-6" x 8'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane and Ogden Ave.

**Location 2**

Sign Type: W5.1 Wayfinding Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane

**Location 3**

Sign Type: W5.1 Wayfinding Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: N. Elm Street and Tower Lane



4. Section 9-106 (G) (5) – Applicant requires a variation from this Section in order to allow for illuminated signs.

### Section II #3

#### VARIATION SOUGHT:

Applicant seeks a variance in accordance with Section II 503 (E) (I) (A), which allows the Zoning Board of Appeals to vary the provisions of the Code in order to reduce the dimension of any required yard, setback, or building spacing, and to allow structures and uses to be located in any required yard in addition to and to a greater degree than those authorized by applicable regulations.

Specifically, Applicant seeks:

1. A variation in order to allow off-premises identification signs on the Subject Properties
2. A variation in order to allow eight (8) ground signs.
3. A variation in order to allow a total of 110 square feet of ground sign area.
4. A variation in order to allow for illuminated signs.

### Section II #4

#### MINIMUM VARIATION:

Applicant requires the following minimum variations in order to permit the proposed signs:

1. A variation in order to allow off-premises identification signs on the Subject Property.
2. A variation in order to allow eight (8) ground signs.
3. A variation in order to allow a total of 110 square feet of ground sign area.
4. A variation in order to allow for illuminated signs.

### Section II #5

#### STANDARDS FOR VARIATION:

SEE SECTION I #11

**Location 9**

<b>Sign Type:</b>	W5.2 Site Sign
<b>Illumination:</b>	Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.
<b>Overall Panel Size:</b>	13.33 Square Feet
<b>Overall Sign Size:</b>	3'-10" x 6'-0"
<b>Colors/Materials:</b>	Silver, Brick Veneer and Limestone to match campus buildings.
<b>Lot/Street Frontage:</b>	Salt Creek Lane (identify 12 Salt Creek Lane)

**Billing Address:****Property Address:****PIN:**

OPH 6 LLC  
12 Salt Creek Lane, Unit 400  
Hinsdale, IL 60521

2 Salt Creek Lane  
Hinsdale, IL 60521

09-01-207-012

Adventist Hinsdale Hospital  
c/o Elm Creek Property MG  
907 N. Elm Street, Unit 100  
Hinsdale, IL 60521

Adventist Hinsdale Hospital  
1 Salt Creek Lane  
Hinsdale, IL 60521

09-01-207-013  
06-36-405-023  
06-36-405-024

KOB Inc  
602 Burr Ridge Club  
Burr Ridge, IL 60527

Land Rover Hinsdale, LLC  
300 E. Ogden Avenue  
Hinsdale, IL 60521

09-01-210-038

Napleton Investment LP  
1 E Oak Hill Drive, No 100  
Westmont, IL 60559

General Motors Training Center  
336 E. Ogden Avenue  
Hinsdale, IL 60521

09-01-211-001  
09-01-211-002

GA HC REIT II Hinsdale MO  
4000 Mac Arthur Blvd, Unit 200  
Newport Beach, CA 92660

908 N. Elm Street  
Hinsdale, IL 60521

09-01-207-008  
06-36-405-018

911 Elm Street  
Hinsdale, IL 60521

06-36-405-017

Graue Mill Homeowners  
c/o Midwest Land Co.  
115 S. Vine Street  
Hinsdale, IL 60521

Road D  
Hinsdale, IL 60521

06-36-404-066

Foxford LLC  
c/o Lincoln Property Co.  
901 N. Elm Street  
Hinsdale, IL 60521

Salt Creek Lane  
Hinsdale, IL 60521

06-36-405-026

Harris Banke Hinsdale Trust L 2525  
120 N. Oak  
Hinsdale, IL 60521

120 N. Oak

06-36-406-005

Schwendender 15  
P.O. Box 713  
Hinsdale, IL 60522

Hinsdale, IL 60521

06-36-406-013

15 Spinning Wheel, LLC  
21 Spinning Wheel  
Hinsdale, IL 60521

Spinning Wheel  
Hinsdale, IL 60521

06-36-406-015

21 Spinning Wheel  
Hinsdale, IL 60521

06-36-406-018

AHS Midwest Region  
c/o Elm Creek Property MGMT  
907 N. Elm Street No. 100  
Hinsdale, IL 60521

120 N. Oak  
Hinsdale, IL 60521

06-36-406-016

IN WITNESS WHEREOF, Grantor executes this Deed as of the 30th day of November, 2012.

OPH 6 LLC,  
an Illinois limited liability company

By: [Signature]  
Name: William G. Ryan  
Title: Member

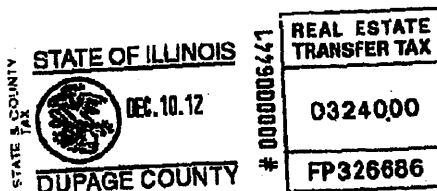
STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF )

I, the undersigned a Notary Public in and for the County and State aforesaid, do hereby certify that William G. Ryan, as Member of OPH 6 LLC, an Illinois limited liability company, personally known to me to be the same person whose name is subscribed to the foregoing instrument in such capacity, appeared before me this day in person and acknowledged that he signed and delivered the foregoing instrument as his own free and voluntary act and as the free and voluntary act of such company, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 30th day of November, 2012.

[Signature]  
Notary Public

My Commission Expires:



801248722/20126404 added

**This Instrument Prepared by:**

Martin Murphy, Esq.  
The Murphy Law Firm  
One Westbrook Corporate Center,  
Suite 300  
Westchester, Illinois 60154

**After Recording Return to:**

Salt Creek Campus LLC  
40 Skokie Blvd  
Suite 410  
Northbrook, IL 60062



**FRED BUCHOLZ**  
DUPAGE COUNTY RECORDER  
DEC.11.2012 RHSP 11:18 AM  
DEED 08-36-405-021  
009 PAGES R2012-175305

*This space reserved for Recorder's use only.*

**SPECIAL WARRANTY DEED**

OPH 6 LLC, an Illinois limited liability company ("Grantor"), having its principal address at 12 Salt Creek Lane, Suite 200, Hinsdale, Illinois 60521, for and in consideration of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration in hand paid, by these presents does REMISE, RELEASE, ALIENATE AND CONVEY to SALT CREEK CAMPUS LLC, a Delaware limited liability company ("Grantee"), having its principal address at 40 Skokie Boulevard, Suite 410, Northbrook, Illinois 60062 and to its successors and assigns, forever, the following described real estate situated in the County of DuPage, in the State of Illinois, known and described as follows, to wit:

See Exhibit A attached hereto and made a part hereof.

**TOGETHER** with all right, title and interest, if any, of the Grantor in and to any streets and roads abutting said premises to the center lines thereof; **TOGETHER** with the hereditaments and appurtenances and all the estate and rights of the Grantor in and to said premises; **TO HAVE AND TO HOLD** said premises unto the Grantee, the heirs or successors and assigns of the Grantee, forever.

Grantor, for itself and its successors and assigns, does covenant, promise and agree to and with Grantee and its successors and assigns that it has not done or suffered to be done, anything whereby the said premises hereby granted are, or may be, in any manner encumbered or charged, except as herein recited; and that it **WILL WARRANT AND DEFEND**, the title to said premises against all persons lawfully claiming, or to claim the same, by, through or under it, subject only to those matters described on Exhibit B attached hereto.

FRED BUCHOLZ

R2012-175305

DUPAGE COUNTY RECORDER

**EXHIBIT A**

**Permanent Index Numbers:**

06-36-405-021

09-01-207-010

**Send Subsequent Tax Bills To:**

12 SALT CREEK LN. #200  
HINSDALE, IL 60521  
Salt Creek Campus LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**Legal Description:**

PARCEL 1: LOT 6 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 AND AMENDED BY R2012-024784 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS; RETENTION, DETENTION AND DRAINAGE OF WATER AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1, 2, 3, 4, 6, 7, 8, 9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

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FRED BUCHOLZ

R2012-175305

DUPAGE COUNTY RECORDER

**EXHIBIT B**

**PERMITTED ENCUMBRANCES**

**[PERMITTED ENCUMBRANCES TO BE ADDED]**

**B-1**

FRED BUCHOLZ

R2012-175305

DUPAGE COUNTY RECORDER

6. EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AND AMENDED BY DOCUMENT R89-072896 AND R89-072897, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

(AFFECTS PARCEL 1)

7. LICENSE AGREEMENT MADE BY AND BETWEEN OFFICE PARK OF HINSDALE AND DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 81116, DATED FEBRUARY 15, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AND SUPPLEMENTAL DECLARATION RECORDED AS DOCUMENT R79-107322, AND SUPPLEMENTARY DECLARATION OF LICENSE RECORDED AS DOCUMENT R77-117083 RELATING TO INGRESS AND EGRESS TO AND FROM OGDEN AVENUE OVER AND ACROSS THE PRIVATE ROADS KNOWN AS SALT CREEK LANE AND ELM STREET, FURTHER PROVIDING FOR THE TERMINATION OF THIS AGREEMENT TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

8. SANITARY SEWER AND WATER LINE EASEMENTS AS ESTABLISHED BY DOCUMENT R73-33823 RECORDED JUNE 11, 1973 AND DEPICTED ON SURVEY MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5 AND ON THE SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

9. EASEMENT CREATED BY A GRANT RECORDED ON OCTOBER 6, 1978 AS DOCUMENT R78-98678, FROM THE DROVERS NATIONAL BANK OF CHICAGO, A NATIONAL BANKING ASSOCIATION, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67927, TO THE ILLINOIS BELL TELEPHONE COMPANY, ITS SUCCESSORS AND ASSIGNS, FOR THE RIGHT TO CONSTRUCT, RECONSTRUCT, ADD TO, REMOVE, OPERATE AND MAINTAIN COMMUNICATION SYSTEMS CONSISTING OF WIRES, CABLES, ETC., OVER A STRIP OF LAND 10 FEET IN WIDTH AS SET FORTH ON EXHIBIT "A" OF SAID DOCUMENT, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

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FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER



15. OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2008, AS DOCUMENT R2008-006826, AND AMENDED BY R2012-024784, MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, L.L.C.
16. TERMS, PROVISIONS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN AMENDED AND RESTATED DEVELOPMENT AGREEMENT BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC FOR THE HINSDALE CLUB, A MIXED-USE DEVELOPMENT RECORDED AUGUST 1, 2008, AS DOCUMENT R2008-120685.
17. GRANT MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 61116, TO THE COMMONWEALTH EDISON COMPANY, A CORPORATION OF ILLINOIS, AND THE ILLINOIS BELL TELEPHONE COMPANY, A CORPORATION OF ILLINOIS, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS, DATED JUNE 10, 1970 AND RECORDED JUNE 15, 1970 AS DOCUMENT R70-19380, OF AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO THE SAME AND THE RIGHT, FROM TIME TO TIME, TO TRIM OR REMOVE TREES, BUSHES AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT THEREIN GIVEN, IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF PROPERTY SITED IN DU PAGE COUNTY, ILLINOIS, AS FOLLOWS:
- STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON THE ATTACHED SKETCH MARKED EXHIBIT "A" AND MADE A PART THEREOF ON THE PROPERTY OF THE GRANTOR
- (AFFECTS LOTS 4 AND 6)
18. GRANT DATED JUNE 30, 1969 AND RECORDED JULY 8, 1969 AS DOCUMENT R69-30080, BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED FEBRUARY 10, 1969 AND KNOWN AS TRUST NUMBER 88035, TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY, THEIR SUCCESSORS AND ASSIGNS, OF EASEMENTS TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE SUCH POLES, WIRES, CABLES AND NECESSARY FACILITIES AND EQUIPMENT IN, OVER, UNDER, ACROSS, ALONG AND UPON STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON PLAT ATTACHED AND MADE A PART THEREOF AND MARKED "EXHIBIT A" TOGETHER WITH PROVISIONS THEREIN CONTAINED.
- (AFFECTS LOTS 4 AND 6)

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FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

10. GRANT DATED JUNE 10, 1970 AND RECORDED JUNE 16, 1970 AS DOCUMENT R70-19379, MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 6, 1969 AND KNOWN AS TRUST NUMBER 69249 TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, OF AN EASEMENT FOR PUBLIC UTILITIES PURPOSES TO INSTALL THEIR RESPECTIVE FACILITIES, OVER A STRIP OF LAND 10 FEET IN WIDTH, AS SHOWN ON THE PLAT ATTACHED THERETO AND MADE A PART THEREOF, AND MARKED "EXHIBIT A", AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.
11. GAS MAIN EASEMENT MADE BY PAUL SCHNEIDENER TO NORTHERN ILLINOIS GAS COMPANY, AN ILLINOIS CORPORATION, DATED MARCH 2, 1970 AND RECORDED APRIL 7, 1970 AS DOCUMENT NUMBER R70-10282, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:
- THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS SALT CREEK LANE, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.
12. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN CROSS EASEMENT AGREEMENT RECORDED MAY 21, 2001 AS DOCUMENT R2001-95641.
13. RIGHTS OF OWNERS NORTH AND ADJOINING IN AND TO THE USE OF SIDEWALKS ON EITHER SIDE OF SALT CREEK LANE AS DISCLOSED BY SURVEYS MADE BY MACKIE CONSULTANTS LLC, DATED MAY 30, 2012, PROJECT NUMBER 2147.
- (AFFECTS PARCEL 2)
14. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCEL 2 AND 3 CONTAINED IN THE INSTRUMENTS CREATING SAID EASEMENTS.
- (B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT.

B-3

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

20124822/201248104 jelled

①

**TRUSTEE'S DEED**



**FRED BUCHOLZ**  
**DUPAGE COUNTY RECORDER**  
DEC:11,2012 RHSP 11:18 AM  
DEED 06-36-405-019  
**004 PAGES R2012-175304**

This space for Recorder's use only

THIS INDENTURE made this 29th day of November, 2012 between **FIRSTMERIT BANK, N.A.**, national banking association organized under the laws of the United States of America, successor Trustee to **Midwest Bank and Trust Company**, as Trustee, not personally, but solely as trustee under the provisions of a Deed or Deeds in Trust duly recorded and delivered to said association in pursuance of a certain Trust Agreement dated November 8, 2001, and known as Trust Number 01-1-7933 in consideration of Ten and 00/100 Dollars (\$10.00), and other valuable considerations paid, conveys and quit claims unto **Salt Creek Campus. LLC**, a Delaware limited liability company-----

Grantee's address: 40 Skokie Boulevard, Suite 410, Northbrook, IL 60062-----  
of Cook County, Illinois, the following described real estate in DuPage County, Illinois:

**SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF**

Property: See Exhibit A

Permanent Index Number: See Exhibit A

Together with the appurtenances attached hereto:

IN WITNESS WHEREOF, Grantor has caused its corporate seal to be hereunto affixed, and name to be signed by its Assistant Vice President-Trust Officer and attested by its Vice President this 29th day of November, 2012.

FIRSTMERIT BANK, N.A., successor trustee to  
Midwest Bank and Trust Company, as Trustee,  
as aforesaid, and not personally

BY *Resene M. L. Pan*  
Assistant Vice President/Trust Officer

ATTEST: *Patricia J. Davidson*  
Vice President


FRED BUCHOLZ R2012-175304 DUPAGE COUNTY RECORDER

State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 29th day of November, 2012

SEAL

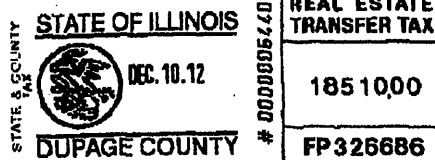
  
\_\_\_\_\_  
Notary Public



**MAIL RECORDED DEED TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**MAIL TAX BILLS TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707



FRED BUCHOLZ R2012-175304 DUPAGE COUNTY RECORDER

State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 29th day of November, 2012

SEAL

  
Notary Public



**MAIL RECORDED DEED TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**MAIL TAX BILLS TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707

FRED BUCHOLZ

R2012-175304

DUPAGE COUNTY RECORDER

19. THE SURVEY PREPARED BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6, INCLUDES A CERTIFICATION BY THE SURVEYOR: ACCORDING TO THE INTERPRETATION OF THE FLOOD INSURANCE RATE MAPS THAT COVER THE AREA, THE HEREIN DESCRIBED PROPERTY FALLS WITHIN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN SAID DESIGNATIONS BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 17043C0608H, WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004, FOR COMMUNITY NUMBER 17043.

(AFFECTS LOTS 4 AND 6)

20. ENCROACHMENT OF THE CIRCULAR CONCRETE PAD LOCATED MAINLY ON THE PROPERTY SOUTHWESTERLY AND ADJOINING AND ONTO THE LAND BY AN UNDISCLOSED AMOUNT, AS DISCLOSED BY SURVEY DATED NOVEMBER 20, 2012, AS PREPARED BY MACKIE CONSULTANTS, LLC.

(AFFECTS THE SOUTHWESTERLY CORNER OF LOT 6)

B-5

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

**EXHIBIT B**  
**PERMITTED ENCUMBRANCES**

1. Real estate taxes not yet due and payable.
2. THE LAND LIES WITHIN THE FLAGG CREEK FORMERLY KNOWN AS HINSDALE SANITARY DISTRICT, WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.
3. GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A PARTNERSHIP, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-89217, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT "A" AND EXHIBIT "B" AND MADE A PART THEREOF, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.  
  
NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.
4. EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT, FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.  
  
(AFFECTS ALL)
5. AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 82019, AND AS TRUSTEE UNDER TRUST NUMBER 81118, AND CATHERINE SOUSTEK, DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02365 AND R2001-197280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITING THE PREMISES IN QUESTION.

B-1

FRED BUCHOLZ      R2012-175305      DUPAGE COUNTY RECORDER


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201365589/20133558

CHARGE CTIC DUPAGE

**TRUSTEE'S DEED**

  
**FRED BUCHOLZ**  
DUPAGE COUNTY RECORDER  
DEC.27.2013 RHBP 10:34 AM  
DEED 08-01-207-011  
003 PAGES R2013-169436

This space for Recorder's use only

**THIS INDENTURE** made this 18th day of December, 2013 between **FIRSTMERIT BANK, N.A.**, national banking association organized under the laws of the United States of America, successor Trustee to **Midwest Bank and Trust Company**, as Trustee, not personally, but solely as trustee under the provisions of a Deed or Deeds in Trust duly recorded and delivered to said association in pursuance of a certain Trust Agreement dated November 8, 2001 and known as Trust Number 01-1-7933 in consideration of Ten and 00/100 Dollars (\$10.00), and other valuable considerations paid, conveys and quit claims unto **Salt Creek Campus, LLC**, a Delaware limited liability company-----

Grantee's address: 460 Highland Avenue, Algonquin, Illinois 60101-----  
of Cook County, Illinois, the following described real estate in DuPage County, Illinois:

**SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF**

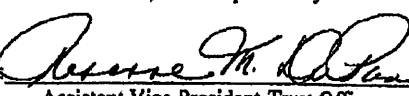
**Property:** 901 N. Elm Street. Hinsdale, Illinois 60521


**PIN:** 09-01-207-011

Together with the appurtenances attached hereto:

**IN WITNESS WHEREOF**, Grantor has caused its corporate seal to be hereunto affixed, and name to be signed by its Assistant Vice President-Trust Officer and attested by its Vice President this 18th day of December, 2013.

FIRSTMERIT BANK, N.A., successor trustee to  
Midwest Bank and Trust Company, as Trustee,  
as aforesaid, and not personally

BY:   
Assistant Vice President-Trust Officer

ATTEST:   
Vice President

FRED BUCHOLZ      R2013-169436      DUPAGE COUNTY RECORDER



**EXHIBIT "A"**

**LEGAL DESCRIPTION**

PARCEL 1: LOTS 4, 5 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2385 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 AND AMENDED BY R2012-024784 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS; RETENTION, DETENTION AND DRAINAGE OF WATER AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1, 2, 3, 4, 6, 7, 8, 9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

907 Elm Street (Lot 4)} HINSDALE, IL  
12 Salt Creek Lane (Lot 5)} 60521

Pins: 06-01-207-009  
06-36-405-019 x (Lot 4)  
06-36-405-020 (Lot 5)

FRED BUCHOLZ R2012-175304 DUPAGE COUNTY RECORDER

Mr. & Mrs. Carl Laudando  
1143 Indian Trail, 2F  
Hinsdale, IL 60521

1143 Indian Trail, Apt 2F  
Hinsdale, IL 60521

06-36-408-011


Mr. & Mrs. Edward Frandsen 1141 Indian Trail, 1A Hinsdale, IL 60521	1141 Indian Trail, 1A Hinsdale, IL 60521	06-36-408-001
Ms. Mary Jane Gibbs 1139 Indian Trail Road Hinsdale, IL 60521	1139 Indian Trail Road Hinsdale, IL 60521	06-36-408-002
St. Mary's St. Real Estate c/o Mary H. Baldwin 105 Buttercup Bank Burr Ridge, IL 60527	1137 Indian Trail Hinsdale, IL 60521	06-36-408-003
Ms. Judy Diekmann 1135 Indian Trail Road, 1D Hinsdale, IL 60521	1135 Indian Trail Road, 1D Hinsdale, IL 60521	06-36-408-004
Ms. Rosemary L. Tye 1133 Indian Trail Road, 1E Hinsdale, IL 60521	1133 Indian Trail Road, 1E Hinsdale, IL 60521	06-36-408-005
DuPage Forest Preserve P.O. Box 5000 Wheaton, IL 60189		06-36-404-061
Robert Crown Center 21 Salt Creek Lane Hinsdale, IL 65021		06-36-406-007
21 Spinning Wheel Drive, LLC 21 Spinning Wheel Drive Hinsdale, IL 60521	21 Spinning Wheel Drive Hinsdale, IL 60521	06-36-406-017
Mr. & Mrs. Will Einspar 1153 Indian Trail Hinsdale, IL 60521	1153 Indian Trail Hinsdale, IL 60521	06-36-408-006
Mose, TR, Janet Cloud 1151 Indian Trail Rd Hinsdale, IL 60521	1151 Indian Trail Road Hinsdale, IL 60521	06-36-408-007
Ms. Nickolene M. Burrello 1149 Indian Trail Road, 2C Hinsdale, IL 60521	1149 Indian Trail Road, 2C Hinsdale, IL 60521	06-36-408-008
Dorothy A. Gurzynski 1147 Indian Trail Road, 2D Hinsdale, IL 60521	1147 Indian Trail Road, 2D Hinsdale, IL 60521	06-36-408-009
1st National Bank Evergreen Park 15370 Melvin Wichter 1212 Hawthorne Court Hinsdale, IL 60521	1145 Indian Trail Road, Apt 2E Hinsdale, IL 60521	06-36-408-010

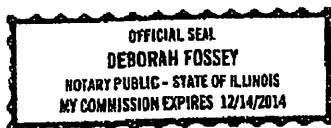
State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 18th day of December, 2013.

SEAL

  
\_\_\_\_\_  
Notary Public



MAIL RECORDED DEED TO:

MAIL TAX BILLS TO:

*East Creek Campville  
40 SKOKK BLVD  
Suite 410  
Northbrook IL 60062*

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707

FRED BUCHOLZ

R2013-169436

DUPAGE COUNTY RECORDER

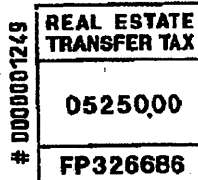
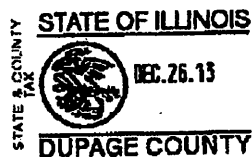
**EXHIBIT "A"**

**LEGAL DESCRIPTIONS**

LOT 3 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

**PARCEL 2:**

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.



FRED BUCHOLZ

R2013-169436

DUPAGE COUNTY RECORDER

880013129 02R

Prepared By:

Brian R. Mullins, Esq.  
Perkins Coie LLP  
131 S. Dearborn, Suite 1700  
Chicago, Illinois 60603

After Recording Return To:

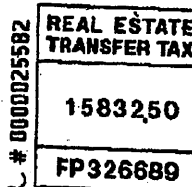
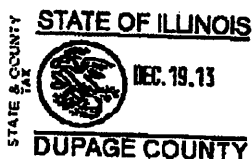
Mary Ann Murray, Esq.  
Burke Burns & Pinelli, Ltd.  
70 West Madison  
Suite 4300  
Chicago, IL 60602

Send Future Tax Bills To:

11 Salt Creek Campus LLC  
40 N. Skokie Blvd.  
Suite 410  
Northbrook, IL 60062



**FRED BUCHOLZ**  
DUPAGE COUNTY RECORDER  
DEC. 20, 2013 RHSP 8:52 AM  
DEED 06-86-405-022  
009 PAGES R2013-167535



SPECIAL WARRANTY DEED

15,832.50

(MGR)

On this 19 day of December, 2013, HVII PROPERTY LLC, an Illinois limited liability company ("Grantor"), for and in consideration of the sum of ten dollars (\$10) cash and other good and valuable consideration to it paid by 11 SALT CREEK CAMPUS LLC, a Delaware limited liability company ("Grantee"), whose mailing address is 40 N. Skokie Blvd., Suite 410, Northbrook, IL 60062, the receipt and sufficiency of which are hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD, and CONVEYED, and by these presents does GRANT, BARGAIN, SELL, and CONVEY unto the Grantee that certain tract of land ("Land") described in Exhibit A hereto, together with all improvements thereon and all rights and appurtenances appertaining thereto (herein collectively called the "Property").

This conveyance is given and accepted subject to the permitted exceptions set forth on Exhibit B hereto and to any and all municipal or other governmental zoning laws, regulations and ordinances, if any, affecting the Property (herein called the "Permitted Encumbrances").

Grantee, by its acceptance hereof, agrees to assume and be solely responsible for payment of all ad valorem taxes pertaining to the Property for the calendar year 2013 and subsequent years; there having been a proper proration of same between Grantor and Grantee.

TO HAVE AND TO HOLD the Property and all improvements located thereon, together with all and singular the rights and appurtenances thereto in anywise belonging, unto Grantee, its legal representatives, successors, and assigns forever.

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ R2013-167535 DUPAGE COUNTY RECORDER

WITNESS THE EXECUTION HEREOF as of the date first written above.

**GRANTOR:**

**HVII PROPERTY LLC**, an Illinois limited liability company

By: C. Biga  
Name: Cathleen Biga  
Title: Managing Partner

STATE OF Illinois )  
 ) ss.  
COUNTY OF \_\_\_\_\_ )

This instrument was acknowledged before me on the \_\_\_ day of December, 2013, by Cathleen Biga, as Managing Partner of HVII Property LLC, an Illinois limited liability company.



[Signature]  
Notary Public

My commission expires: Jan 27, 2014

Signature Page to Special Warranty Deed  
11/1/13

FRED BUCHOLZ

R2013-167535

DUPAGE COUNTY RECORDER

**Exhibit A**

**LEGAL DESCRIPTION**

**PARCEL 1:**

LOT 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

**PARCEL 2:**

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

**PARCEL 3:**

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF LOT 10 OF PARCEL 1, (EXCEPT THAT PART OF SAID LOTS FALLING IN SALT CREEK LANE), AS CREATED BY THAT CERTAIN CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-95641, FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS OVER, UPON AND ACROSS THAT PORTION OF SPINNING WHEEL ROAD BOUNDED ON THE SOUTH BY THE NORTHERLY BOUNDARY LINE OF OGDEN AVENUE AND ON THE NORTH BY THE NORTHERNMOST BOUNDARY LINE OF THE NEW ROAD LAND EXTENDED EASTERLY TO ITS INTERSECTION WITH THE EAST LINE OF SPINNING WHEEL ROAD, WHICH PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS MAY BE TRAVELED SOLELY (i) IN A NORTH AND SOUTH DIRECTION ALONG SAID PORTION OF SPINNING WHEEL ROAD, AND (ii) IN AN EAST AND WEST DIRECTION ONLY IN THOSE LOCATIONS WHERE CURB CUTS (x) CURRENTLY EXIST AT THE INTERSECTIONS OF SPINNING WHEEL ROAD AND THE HOSPITAL PROPERTIES (AS SPECIFICALLY DESCRIBED IN SECTION 1.4, THEREIN).

**PARCEL 4:**

AN EASEMENT FOR THE BENEFIT OF THAT PART OF LOT 10 IN PARCEL 1 THAT FALLS IN THE NORTHERLY 60 FEET THEREOF, (EXCEPT THAT PART OF SAID LOT

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER



FALLING IN SALT CREEK LANE), AS FULLY DESCRIBED AS EXHIBIT D, NEW ROAD LAND, AS CREATED BY THAT CERTAIN CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-95641 FOR A NON-EXCLUSIVE, IRREVOCABLE AND PERPETUAL EASEMENT OVER, UPON AND ACROSS THAT PORTION OF THE WESTERN BOUNDARY OF SPINNING WHEEL ROAD WHICH INTERSECTS WITH THE NEW ROAD LAND, FOR THE PURPOSE OF MAINTAINING AND USING THE CURRENTLY EXISTING CURB CUTS IN ORDER TO PERMIT VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE NEW ROAD LAND, FROM AND TO SPINNING WHEEL ROAD.

Tax Parcel Number: 06-36-405-022

Commonly Known As: 11 Salt Creek Lane, Hinsdale, Illinois 60521

55110-0007/LEGAL28674668.2

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**Exhibit B**

**PERMITTED ENCUMBRANCES**

1. OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111 AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, L.L.C., AS AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT NUMBER R2012-024784.
2. THE LAND LIES WITHIN THE FLAGG CREEK WATER RECLAMATION DISTRICT FORMERLY KNOWN AS HINSDALE SANITARY DISTRICT, WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.

NOTE: TERMS AND CONDITIONS OF THE FLAGG CREEK WATER RECLAMATION DISTRICT AMENDED ORDINANCE 756, RECORDED MARCH 13, 2009, AS DOCUMENT R2009-037066, WHICH RELATE TO THE PAYMENT OF USER CHARGES PRIOR TO THE SALE OR TRANSFER OF REAL ESTATE WITHIN THE DISTRICTS SERVICE AREA, THE COMPUTATION OF WATER CONSUMPTION, AND THE EVALUATION OF CONNECTION PERMITS FOR THE SALE OF COMMERCIAL PROPERTY WITHIN SAID SERVICE AREA.

3. EASEMENT MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, AND OFFICE PARK OF HINSDALE, A PARTNERSHIP, DATED DECEMBER 30, 1971 AND RECORDED FEBRUARY 24, 1972 AS DOCUMENT R72-9137, RELATING TO INTERCEPTOR PIPES, LIFT STATION, WATER STORAGE AND PUMPING STATION, FORCE MAINS AND MAINTENANCE AND OPERATION OF WATER WELLS AND DISTRIBUTION SYSTEM, TOGETHER WITH THE PROVISIONS AND CONDITIONS CONTAINED THEREIN.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

4. GRANT OF EASEMENT MADE BY HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED NOVEMBER 9, 1972 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69216, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS AND FOR WATER MAINS FOR THE PURPOSE OF CONVEYING WATER, ALL AS

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11 Salt IL

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DESCRIBED ON THE PLAT ATTACHED THERETO AS EXHIBIT "A" AND MADE A PART THEREOF.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

5. GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A PARTNERSHIP, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69217, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT "A" AND EXHIBIT "B" AND MADE A PART THEREOF.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK, AND AS SHOWN ON SURVEY MADE BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.

6. EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT, FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.
7. AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 62019, AND AS TRUSTEE UNDER TRUST NUMBER 61116, AND CATHERINE SOUSTEK, DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02365 AND R2001-197280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITING THE PREMISES IN QUESTION.
8. EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AND AMENDED BY DOCUMENT R89-072896, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.
9. SANITARY SEWER AND WATER LINE EASEMENTS AS ESTABLISHED BY DOCUMENT R73-33823 RECORDED JUNE 11, 1973 AND DEPICTED ON SURVEY PREPARED BY MACKIE CONSULTANTS, LLC, NUMBER ALTA-02.PLT DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.

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10. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCELS 2, 3 AND 4 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENTS.

(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENTS.

11. EASEMENT IN, UPON, UNDER, OVER AND ALONG THE 10 FOOT STRIPS OF THE LAND TO INSTALL AND MAINTAIN ALL EQUIPMENT FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY WITH TELEPHONE AND ELECTRIC SERVICE, TOGETHER WITH RIGHT OF ACCESS TO SAID EQUIPMENT, AS CREATED BY GRANT TO COMMONWEALTH EDISON COMPANY AND ILLINOIS BELL TELEPHONE COMPANY RECORDED JULY 8, 1969 AS DOCUMENT R69-30062.

12. GAS MAIN EASEMENT MADE BY PAUL SCHWENDENER AND OFFICE PARK OF HINSDALE, TO NORTHERN ILLINOIS GAS COMPANY, DATED OCTOBER 19, 1967 AND RECORDED NOVEMBER 14, 1967 AS DOCUMENT NUMBER R67-46566, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS "SALT CREEK LANE: INCLUDING THE WESTERLY 1/2 OF THE WEST BOUND TURN LANE LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

13. GAS MAIN EASEMENT MADE BY PAUL SCHWEDENER TO NORTHERN ILLINOIS GAS COMPANY, AN ILLINOIS CORPORATION, DATED MARCH 2, 1970 AND RECORDED APRIL 7, 1970 AS DOCUMENT NUMBER R70-10262, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

AFFECTS A PORTION OF THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS SALT CREEK LANE, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

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14. CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-095641 RELATING TO RIGHT OF WAY/INGRESS AND EGRESS EASEMENTS; CURB CUT EASEMENT, UTILITY EASEMENTS AND THE TERMS, PROVISIONS, AND CONDITIONS AS CONTAINED THEREIN.
15. THE SURVEY PREPARED BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003 INCLUDES A CERTIFICATION BY THE SURVEYOR THAT THE LAND IS LOCATED WITHIN AN AREA OUTSIDE THE SHOWN FLOOD PLAIN LIMITED IS DESIGNATED ZONE C DEFINED AS AN AREA OF MINIMAL FLOODING BY THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170105 004 B, DATED JANUARY 16, 1981, IN DU PAGE COUNTY, ILLINOIS.
16. RIGHTS OF OWNERS NORTH AND ADJOINING IN AND TO THE USE OF SIDEWALKS ON EITHER SIDE OF SALT CREEK LANE AS DISCLOSED BY SURVEY MADE BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.
17. TERMS AND PROVISIONS CONTAINED IN ACCESS EASEMENT AGREEMENT DATED DECEMBER 19, 2001, RECORDED DECEMBER 26, 2001 AS DOCUMENT R2001-284945, BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-1-7933 AND ELM CREEK PROPERTY MANAGEMENT, INC., D/B/A OFFICE PARK OF HINSDALE, AN ILLINOIS CORPORATION AND HINSDALE HOSPITAL, AN ILLINOIS NOT-FOR-PROFIT CORPORATION.
18. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR SPINNING WHEEL ROAD.
19. EASEMENT IN, UPON, UNDER, ALONG AND ACROSS THE LAND TO INSTALL AND MAINTAIN ALL EQUIPMENT NECESSARY TO SERVE THE LAND AND OTHER PROPERTY WITH GAS SERVICE, TOGETHER WITH RIGHT OF ACCESS THERETO, AS CREATED BY GRANT TO NORTHERN ILLINOIS GAS COMPANY RECORDED OCTOBER 9, 1967 AS DOCUMENT R67-40511.
20. EASEMENT CONTAINED IN DEEDS RECORDED AS DOCUMENTS R62-10321, R65-15555, R68-53557, R68-53558 AND R68-53559, AND AS SHOWN ON PLAT OF KOPLIN'S ASSESSMENT PLAT RECORDED AS DOCUMENT R67-16396, FOR INGRESS AND EGRESS OVER THE LAND.
21. AGREEMENT DATED DECEMBER 15, 1967 AND RECORDED DECEMBER 28, 1967 AS DOCUMENT R67-52749, AND AMENDED BY DOCUMENT R69-38273, MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT AND ALFRED N. KOPLIN COMPANY AND ELMHURST NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1967 AND KNOWN AS

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11 Salt IL

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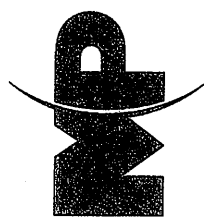
TRUST NUMBER 2487, WHICH PROVIDES FOR THE FURNISHING OF SEWAGE FACILITIES AND SERVICES TO THE LAND AND ANNUAL SEWAGE TREATMENT CHARGES AND TERMINATION OF SERVICES, TOGETHER WITH A 50 FOOT BY 30 FOOT EASEMENT FOR CONSTRUCTION, MAINTENANCE AND OPERATION OF A SANITARY SEWER LIFT STATION, TOGETHER WITH A 20 FOOT EASEMENT FOR PUBLIC UTILITIES, INCLUDING SANITARY SEWER FORCE MAIN FROM THE LIFT STATION TO OGDEN AVENUE.

22. RESTRICTIVE COVENANT FOR CONSTRUCTION OF AN IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY RECORDED JANUARY 10, 2003, AS DOCUMENT R2003-012913, MADE BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC., RELATING TO A LAWN SPRINKLER SYSTEM.
23. ENCROACHMENT OF THE BUILDING LOCATED MAINLY ON THE LAND ONTO THE EASEMENT SHOWN HEREIN AT EXCEPTION REFERENCE LETTER(S) M AS SHOWN ON PLAT OF SURVEY PREPARED BY MACKIE CONSULTANTS LLC DATED AUGUST 24, 2006, PROJECT NO. 949.

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11 Salt IL

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# MedProperties

## Salt Creek Medical Campus Phase 4.0 Construction Documents

01.30.15

Issued for Construction



Med Properties  
40 Skokie Boulevard, Suite 410  
Northbrook, IL 60062

Cardosi Kiper Design Group  
2437 South Western Avenue  
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Phase 4.0 Construction Documents  
Salt Creek Medical Campus  
Hinsdale, Illinois

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ARROWS



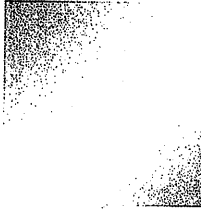
META OFFICE BOOK

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
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UNIVERS 59 ULTRA CONDENSED

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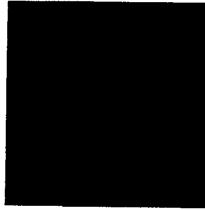
COLORS



P1  
MPI 6072 Pale Silver Metallic

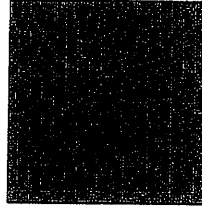


P2  
MPI 6207 Slate Metallic

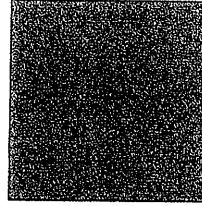


P3  
Black

MATERIALS




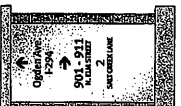











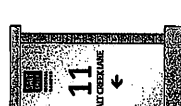


Brick veneer to match  
existing buildings

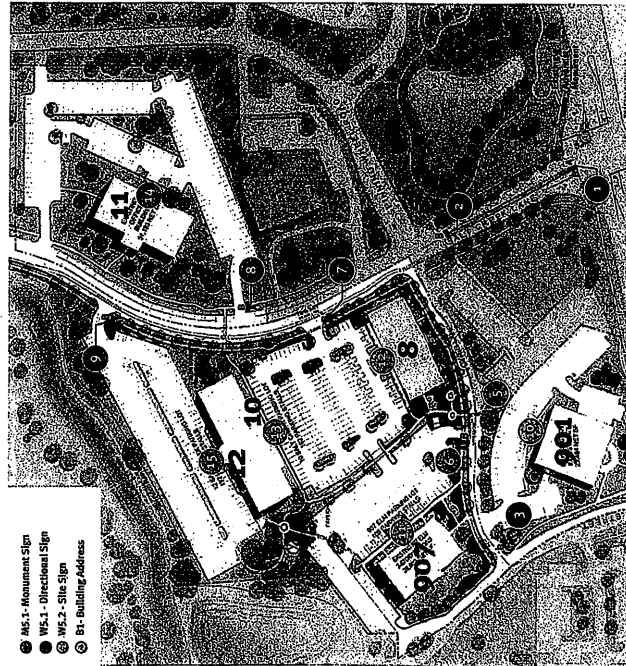


Limestone to match  
existing buildings



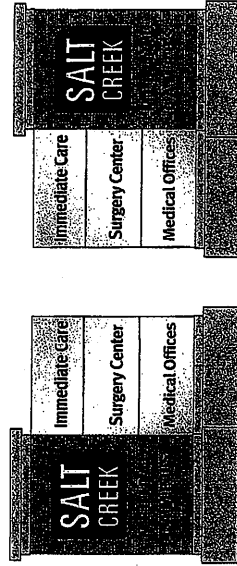
# Sign Location Plan

															
Location 1 Side A Sign Type W5.1	Location 2 Side B Sign Type W5.1	Location 3 Side A Sign Type W5.1	Location 4 Side B Sign Type W5.1	Location 5 Side A Sign Type W5.1	Location 6 Side B Sign Type W5.1	Location 7 Side A Sign Type W5.1	Location 8 Side B Sign Type W5.1	Location 9 Side A Sign Type W5.1	Location 10 Side B Sign Type W5.1	Location 11 Side A Sign Type W5.1	Location 12 Side B Sign Type W5.1	Location 13 Side A Sign Type W5.1	Location 14 Side B Sign Type W5.1	Location 15 Side A Sign Type W5.1	Location 16 Side B Sign Type W5.1



- M5.1 - Monument Sign
- W5.1 - Directional Sign
- W5.2 - Site Sign
- B1 - Building Address

- 901 Location
- 907 Location
- 8 Location
- 10 Location
- 11 Location
- 12 Location



Location 1 Side B  
Sign Type M5.1

Location 2 Side A  
Sign Type M5.1

NOTE: All sign locations are to be sited with Med Properties on an on site walkthrough and staked for final locations.

NOTE: All building numbers to be field verified for mounting conditions.

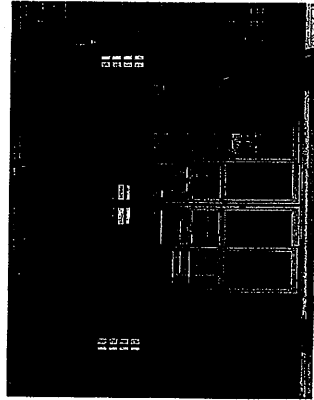
1/2" acrylic dimensional numbers to be painted black or white.  
Font: Univers 39 Ultra Condensed

Mount address above entry doors.  
All locations to be field verified.

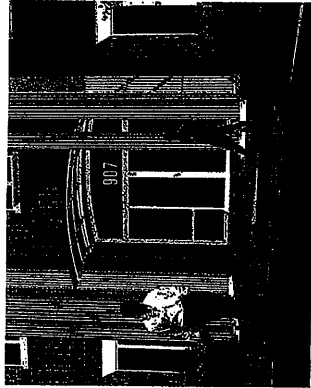
Provide a white vinyl backer for glass locations.

**901**

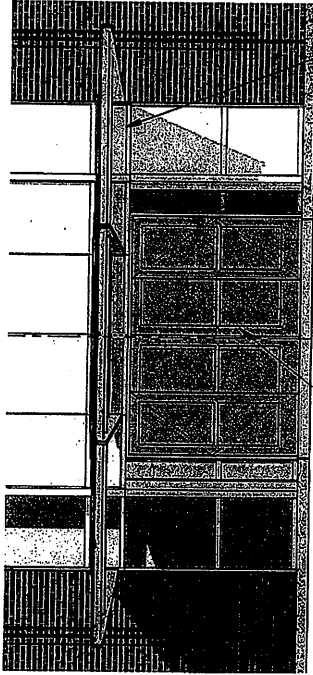
ELEVATION  
Scale: 1"=1'-0"



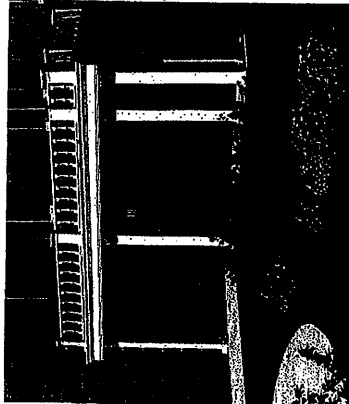
901 North Elm Street



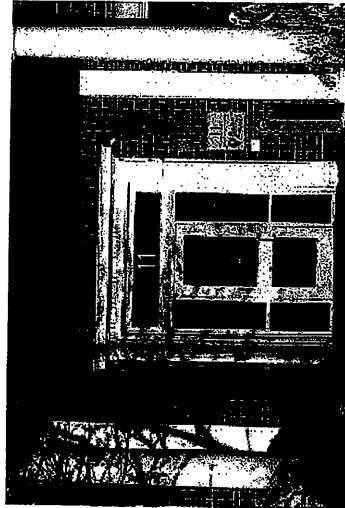
907 North Elm Street



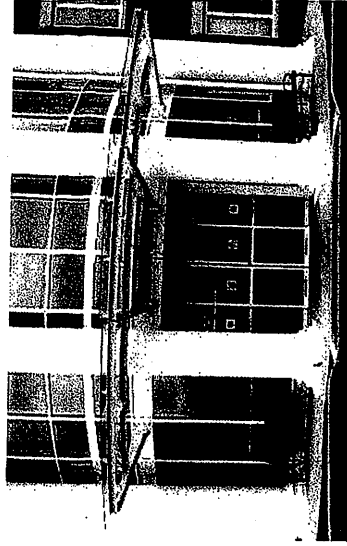
8 Salt Creek Lane



10 Salt Creek Lane

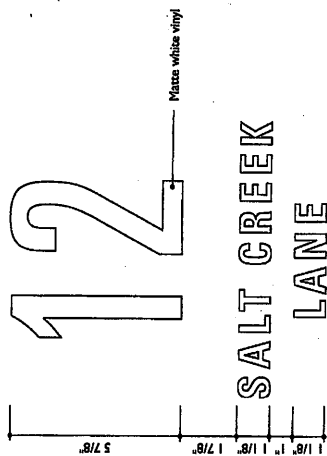
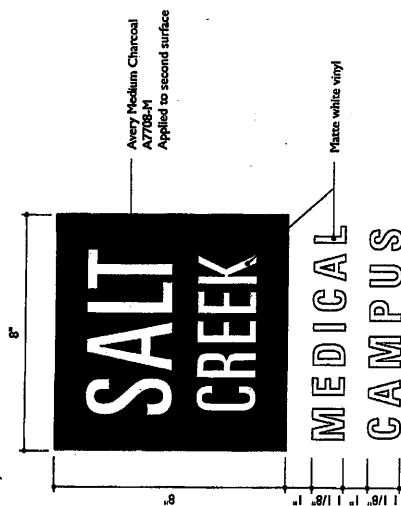


11 Salt Creek Lane

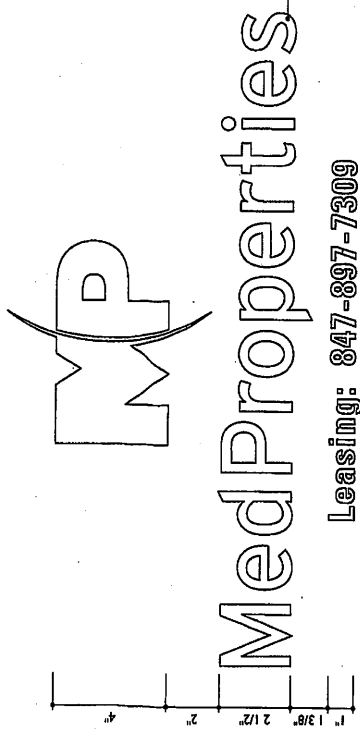


12 Salt Creek Lane

# Exterior Entry Doors

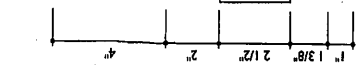
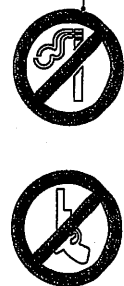


Exterior Side



Interior Side

Digitally printed graphics on clear film to match PMS 032 and white



FRONT VIEW Scale: 3/4"=1'-0"



Med Properties  
40 Skokie Boulevard, Suite 410  
Northbrook, IL 60062

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Page 4

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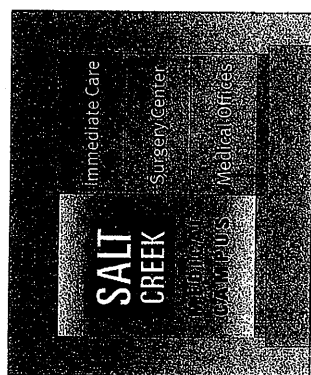
# Sign Type M5.1

## Monument Sign

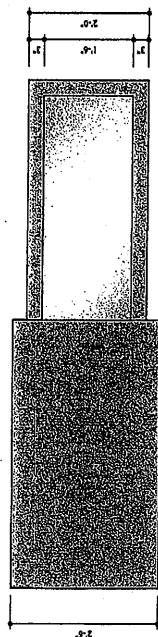
- Aluminum sign structure with removable panels. No exposed fasteners. Sign construction to have appropriate interior steel structure. Paint to match P1.
- Routed day/night illuminated push thru acrylic letters, flush with sign face. Allow for appropriate letter tracking for optimum illumination.  
Day: black, Night: white  
Font: Meta Office Book
- Limestone cap with recessed light source to highlight masonry.
- Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- 1" aluminum pan (P2) with illuminated push thru white acrylic letters 1/2" from pan face.
- 1" thick metal letters (P2). Pin mounted to brick face. Surface illumination from base light source.
- Limestone base with recessed light source to highlight masonry.
- All foundations and footings to be adequate for support of sign.

### GENERAL NOTES

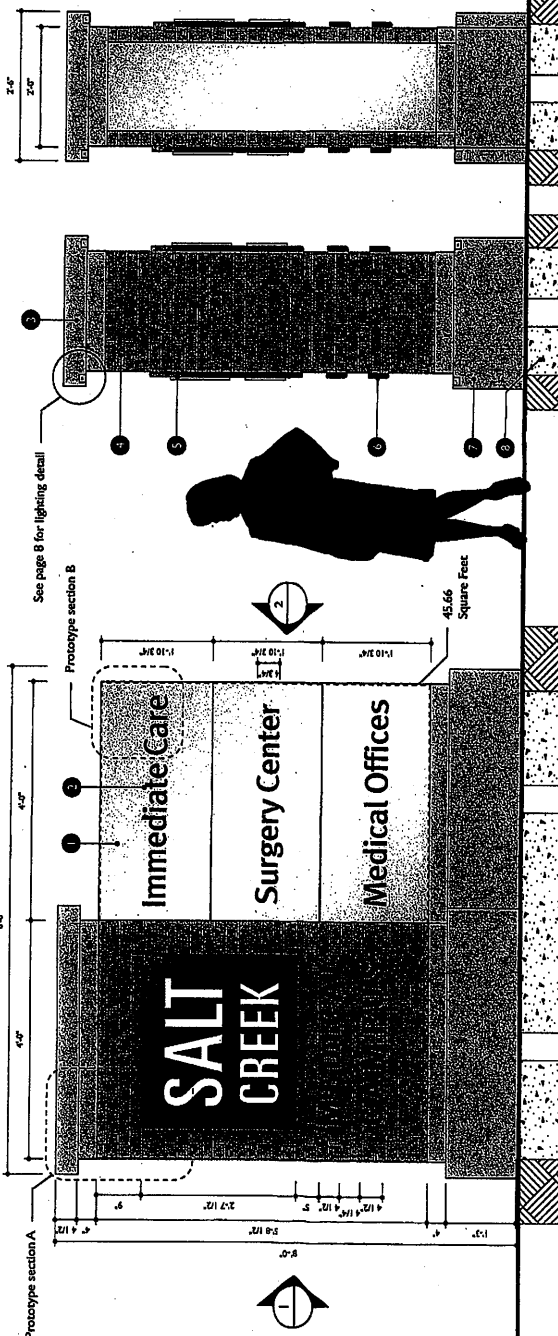
- Sign faces to have absolutely no "oil-canning."
- Sign fabricator to repair any damage to landscaping during installation.
- Sign fabricator to field verify each location and provide elevations of each with grading shown.
- All drawings to be stamped and sealed by a licensed engineer.
- All signs to be readily accessible for bulb replacement.
- All signs to be controlled by a single astronomical time clock timer.
- Signs to be installed and connected to power provided by owner.



NIGHT VIEW  
Scale: NTS



TOP VIEW  
Scale: 1/2"=1'-0"



FRONT VIEW  
Scale: 1/2"=1'-0"

SIDEVIEW - 1  
Scale: 1/2"=1'-0"

SIDEVIEW - 2  
Scale: 1/2"=1'-0"

Med Properties  
40 Skokie Boulevard, Suite 410  
Northbrook, IL 60062

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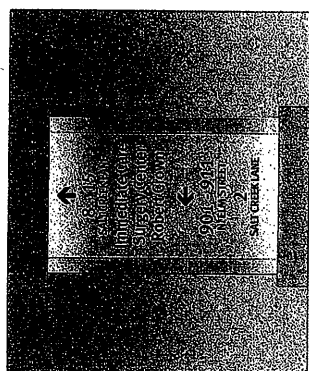
Page 5

### Directional Sign

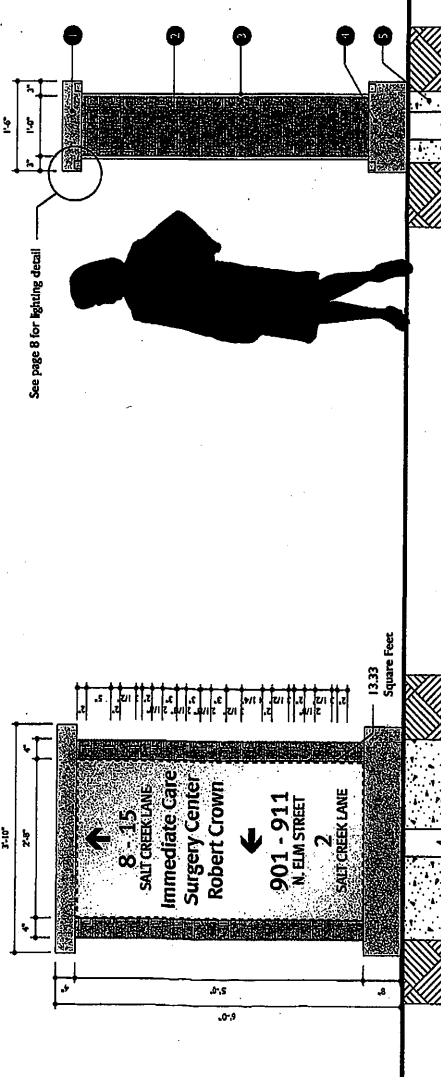
- ② Limestone cap with recessed light source to highlight masonry.
- ② Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- ② 1/2" aluminum panel (P1) with black reflective vinyl lettering.  
Font: Meta Office Book
- ② Limestone base with recessed light source to highlight masonry.
- ② All foundations and footings to be adequate for support of sign.

## GENERAL NOTES

- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.



**NIGHTVIEW**  
Scale: NTS



**FRONT VIEW**

**SIDE VIEW**  
Scale: 1/2"=1'-0"

**MedProperties**  
40 Skokie Boulevard, Suite 410  
Northbrook, IL 60062

**Cardosi Kiper Design Group**  
2437 South Western Avenue  
Chicago, Illinois 60608

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Phase 4.0 Construction Documents  
Salt Creek Medical Campus  
Hinsdale, Illinois

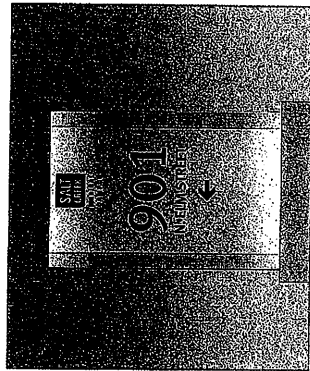
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# Sign Type W5.2

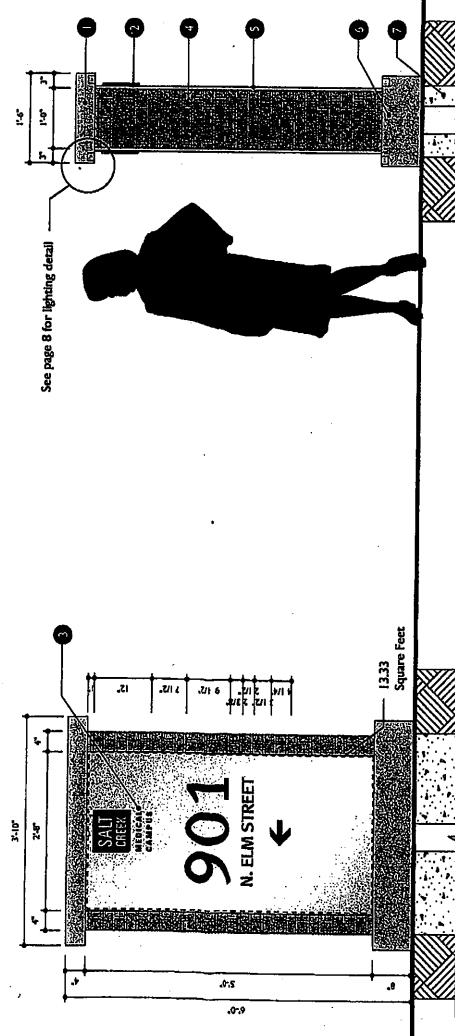
## Site Sign



- 1 Limestone cap with recessed light source to highlight masonry.
- 2 1/2" thick cut aluminum logo (P2).
- 3 Vinyl letters painted to match (P2).
- 4 Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- 5 1/2" aluminum panel (P1) with black reflective vinyl lettering. Font: Meta Office Book
- 6 Limestone base with recessed light source to highlight masonry.
- 7 All foundations and footings to be adequate for support of sign.

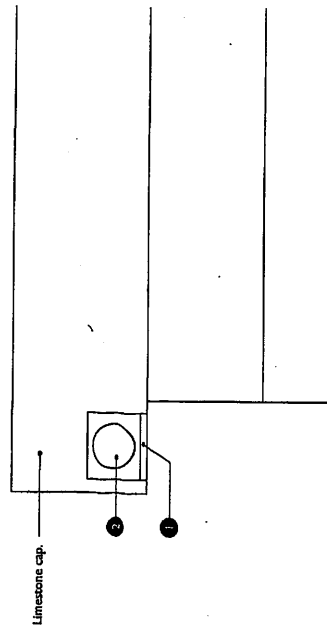
### GENERAL NOTES

- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.



# Lighting Detail

- 1 Acrylic lens.
- 2 Lighting to be recessed into the top and bottom limestone caps and run the width of the brick sign structure. Light source to wash the face of the brick.



LIGHTING DETAIL  
Scale: 3" = 1'-0"

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## PART 1 - GENERAL

1.1 The work shown in plans, elevations, specifications, work orders, or other drawings (the Drawings) provided is subject to the requirements of the Contract Documents including the General Conditions, Special and Supplementary Conditions and Requirements for Bidding and Instructions for Bidders.

A. The Contract shall be governed by the applicable laws and/or ordinances of the State of Illinois, the City of Hinsdale and any other governing body having jurisdiction over the place where the work is performed.

## B. Final Location of Signs

The location of signs as shown on the Sign Drawings is for general reference only and is not representative of the exact final locations. The final locations of signs shall be field located in coordination with the signage consultant and the Owner, at the site.

## C. Final Message Schedule

A final message schedule shall be provided that lists every sign location. The schedule shall be keyed into a sign type with the exact message terminology for each sign location. The schedule will be available at the contract award.

## 1.2 DESCRIPTION OF WORK

A. Review and approval of all signage product data, color/material samples, sign face layouts for all sign types, and shop drawings is required prior to construction.

B. Interior signs are not part of this scope of work

C. Exterior signs included in this Section:

- M - Monument Signs
  - 1. Sign Type MS.1 Primary Monument Pylon (Illuminated)
- W - Wayfinding Signs
  - 2. Sign Type W5.1 Directional Sign (Illuminated)
  - 3. Sign Type W5.2 Site Sign (Illuminated)

- B - Building Entrance Sign
  - 4. Sign Type B1 Building Address (Non-Illuminated)

D. Contractor to provide as requested and required by the Owner the sign work shown on the Drawings, including but not limited to:

- 1. Fabrication and installation of new signs, sign panels, foundation, letters, and components with

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message copy and symbols, including all engineering, and erection.

2. Review Drawings, Shop Drawings, Working Drawings, As-Built Drawings and incidentals.

3. All required submittals, equipment, tools, labor, temporary light and power.

4. Provide all materials, fasteners, structures, brackets, and other structural and mounting hardware necessary for fabrication and installation of the signs.

5. Engineering of signs, sign structures, sign mounting components and hardware and components, sign foundations and footings for structural adequacy. All signs, sign mounting, and sign support components must be engineered by the fabricator. Shop Drawings to be stamped by a licensed engineer in the State of Illinois.

6. Color, finish, material and process matching for all work.

## 1.3 REFERENCE STANDARDS

A. Where more stringent requirements than those described in the Drawings and/or specifications are set forth under codes, law and/or ordinances of Federal, State and local governing bodies having jurisdiction, notify the Owner in writing before proceeding with work. Work is subject to the applicable portions of the following standards:

- 1. All work shall comply with City of Hinsdale codes and ordinances.
- 2. AWS D1.1 "Structural Welding Code", American Welding Society
- 3. SSPC SP-6 "Surface Preparation Specification No. 6, Commercial Blast Cleaning, Steel Structures Painting Council
- 4. SSPC PA-1 "Painting Application Specifications", Steel Structure Painting Council
- 5. "Aluminum Finishes for Signage Consultation", Aluminum Association
- 6. "Code of Standard Practice of Steel Buildings and Bridges", AISC
- 7. "Specifications for Design, Fabrication and Erection of Structural Steel Buildings", AISC
- 8. American Society for Testing and Materials (ASTM):
  - a. ASTM A6 - "General Requirements for Delivery of Rolled Steel, Shapes, Sheet Piling and Bars for Structural Use"
  - b. ASTM B209 - "Aluminum and Aluminum Alloy Sheet Plate"
  - c. ASTM B221 - "Aluminum and Aluminum Alloy Wire, Rod, Bar, Shapes and Tube; Extended"
  - d. ASTM E291 - "Aluminum and Aluminum Alloy Tubes; Extended, Seamless"
  - e. ASTM E1164 - Standard Practice for Obtaining Spectrophotometric Data for Object Color Evaluation
  - f. ASTM E308 - Standard Method for Computing the Colors of Objects by Using the CIE System
  - g. ASTM E284 - Standard Definition of Terms Relating to Appearance of Materials
  - h. ASTM D4956 - Standard Specification for Retroreflective Sheeting for Traffic Control
  - i. ANSI/ASTM E299 - Specification for Agencies Engaged in the Testing and/or Inspection of Materials Used in Construction

9. "Specifications for Assembly of Structural Joints Using High Strength Steel Bolts" as approved by

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- the Research Council on Riveted and Bolted Structural Joints of the Engineering Foundation
10. "Handbook on Bolt, Nut and Rivet Standards", Industrial Fasteners Institute
11. "Steel Structures Painting Manual, Volume 2, Systems and Specifications" SSPC
12. All signage to comply with applicable sections of the Americans with Disabilities Act (ADA) and the Illinois Accessibility Standards (IAC)
13. Contractor to comply with all applicable regulations of the Occupational Safety and Health Administration (OSHA)
14. AASHTO M68 - "Standard Specification for Retro-reflective Sheeting for Traffic Control"

## 1.4. INTENT OF PLANS AND SPECIFICATIONS

- A. The Owner shall be notified in writing by the Contractor of any discrepancies in the Drawings, in field dimensions or conditions and / or changes required in construction details.
- B. The Drawings show design intent and are not intended to cover every detail of materials, parts, construction, mounting or installation. The Contractor shall furnish all required engineering, materials, parts, construction, mounting, and installation necessary to complete the entire work, whether or not said details are shown or specified, at no additional cost to the Owner.
- C. The location of signs as shown on the Sign Location Plans is for general reference only and is not representative of the exact final locations. The sign locations are to be coordinated with the owner. The final sign locations are to be established on the Shop Drawings to be reviewed by the Owner, Signage Consultant, and Engineer.
- D. Contractor shall verify all sign locations in a preinstallation walkthrough and locate all signs with a semipermanent staked location. Permanent signs to be mounted in exact marked locations.
- E. All drawings provided by Contractor for final fabrication shall be stamped and signed by a licensed engineer in the State of Illinois.

## 1.5. PROJECT / SITE CONDITIONS

- A. Before sign components are delivered to the site, the contractor to examine the locations in which the signs are to be erected, and report in writing any conditions, which will have an effect on the appearance or design intent of the sign, or prevent proper execution of the work or endanger its permanency. The erection of the sign shall not proceed until such conditions are resolved, corrected or adjusted and Contractor receives written notice.
- B. Contractor to obtain measurements at the site and not from the Drawings for correct lengths of sign supports and other items required to be accurately fitted. Design (subject to review by the Owner), engineer, fabricate and install sign supports and attachments. The Contractor will be responsible for the engineering, accuracy of measurements, and the precise fitting and assembly of the finished products. Written dimensions on Drawings shall have precedence over scaled dimensions.

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- Modifications to written dimensions shall be made only when accepted in writing by the Owner.
- C. The sign fabricator is responsible for JULIE (Joint Utility Locating Information for Excavators) locating any utility conflicts at each sign location. For more information reference [www.illinoisall.com](http://www.illinoisall.com).
- D. Additional hand dig may be required for locating other facilities including but not limited to irrigation conflicts. For more information on irrigation systems, PCH can provide landscaping reference drawings.
- E. All locations are staked by contractor and need to be field verified with owner or owners representative. Owner requires on site field verification walkthrough with Contractor and owner or owners representative.
- 1.6. COORDINATION
- A. Coordinate sizes of finished sign assemblies with access limitations to final locations.
- B. Coordinate with the Med Properties package as required.
- C. Coordinate with other trades involved in the fabrication and erection of the signs or those trades which may be affected by the work shown in the Drawings and/or any approved variations.
- D. Owner is to provide removal of existing signs, repair to site as required. Contractor to coordinate installation of signs with owners removal of existing signs.
- E. Owner to provide electrical to all illuminated locations. Contractor to coordinate installation of signs with electrical work.

## 1.7. DELIVERY AND PROTECTION

- A. Before delivery to the site, each sign shall be tagged or labeled with identifying number and installation location as shown on the Drawings. Labeling shall be both on the sign and the protective covering. Labels on the signs shall be hidden when the sign is installed (unless otherwise specified) or shall be removed without damage to the sign at time of installation.
- B. Finished surfaces shall be adequately protected during all phases of the work to prevent damage by scratches, stains, discoloration, or other causes. Damage to any surface during fabrication, handling, shipment, storage and the Contractor at his own expense shall remedy installation.
- C. Contractor to arrange with the Owner to provide adequate, secure, locked storage for signs, which have been delivered to the site but not yet installed. If adequate storage space is not available, the

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Contractor is to coordinate delivery of the signs to coincide with installation.

- D. If not specified for removal from the site and proper disposal by the Contractor, the Contractor is to arrange with the Owner to provide secure, locked, long term storage for signs, sign structures or materials taken down, removed or dismantled.
- E. Whenever installed signs are exposed to possible damage from ongoing construction, the Contractor will install protective barriers or other measures so as to protect the signs from becoming dirty, dusty, or damaged.
- F. Owner is to provide removal of existing signs, patching and painting of signs as required. Contractor to coordinate installation of signs with owners removal of existing signs.
- G. Contractor to repair any damage to landscaping during installation.

1.8 QUALITY ASSURANCE

- A. All work shall be done by skilled workmen, especially trained in this type of work. All work done must pay prevailing wage to the workers. It is Seller's responsibility to determine the appropriate current wage rate.
- B. Submit adequate evidence to the Owner prior to the awarding of the Contract that the items to be furnished will conform completely to the Contract Documents
- C. A minimum of 50% of the work shall be performed by the Contractor's own forces. Contractor must list all subcontractors, and work being contracted for as an attachment to costing sheet. Subcontractors cannot be changed without pre-approval by owner.
- D. Contractor must be a firm with at least ten years of successful experience with projects of similar scope. Upon request, the Contractor to provide references, including contact names and telephone numbers, for past projects of similar complexity and scope. Contractor shall be a member of a recognized professional organization including, but not limited to, SECD or NESA.
- E. Contractor to provide financial statements for the past 5 years.

1.9 WARRANTY/CORRECTION OF WORK

- A. Warranties listed below are in addition to and not a limitation of, other rights Owner may have under the Contract Documents.
- B. Fastening devices and adhesives should be tamper-proof, non-corrosive and warranted as to

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permanency of performance.

- C. Contractor to warrant to the Owner in writing that the materials and equipment furnished under the Contract will be of good quality and new unless otherwise required or permitted in writing by the Owner; that the work will conform with the requirements of the Contract Documents and the work will be free of defects not inherent in the quality required or permitted in writing by the Owner. Work not conforming to these requirements, including unauthorized substitutions, may be considered defective. If required by the Owner, furnish satisfactory evidence as to the kind and quality of materials and equipment.

- D. Warrant to the Owner in writing that the acrylic polyurethane finishes furnished under the Contract will be of good quality, free of defects in appearance or application, will not develop excessive fading or excessive non uniformity of color, will not crack, peel, or otherwise fail as a result of defects in materials or workmanship for a period of five (5) years beginning upon final acceptance by the Owner.

E. Sheeting Replacement Obligation

1. Where it can be shown that signs with sheeting, supplied and used according to the sheeting manufacturer's recommendations, have not met the performance requirements stated in this Specification, the Contractor shall cover restoration costs as follows for sheetings shown to be unsatisfactory:
  2. For ten (10) years after date of installation, the Contractor will replace the sheeting required to restore the sign surface to its original effectiveness.
  3. In addition, for seven (7) years after date of installation, the Contractor will cover the cost of restoring the sign surface to its original effectiveness at no cost to the Owner for materials and labor.

- F. If, within two (2) years after final acceptance of the Work, any of the work is found to be defective or not in accordance with the requirements of the Contract Documents, the work shall be corrected promptly after receipt of written notice from the Owner to do so, unless the Contractor has previously received written acceptance of such condition. Correction of work to be completed at no additional cost to the Owner. This obligation shall survive termination of the Contract. All work to be done at a time convenient to the Owner.

- G. Contractor to remove from the site and properly dispose of, at his own expense, portions of the work which are defective or not in accordance with the requirements of the Contract Documents and are neither corrected by the Contractor nor accepted by the Owner.

- H. If the Contractor does not proceed with the correction of work after a reasonable time fixed by written notice from the Owner, the Owner may have the work corrected. The cost for the corrections to be deducted from the payments due the Contractor. If payments due the Contractor are not sufficient to cover such amounts, the Contractor shall pay the difference to the Owner. If there are no payments due the Contractor, the Contractor shall pay the entire amount of the cost of the corrections to the

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Owner.

- I. Contractor must be fully bonded and insured.
- J. Contractor must provide for insurance as required by Med Properties.

## 1.10 MAINTENANCE INSTRUCTIONS

- A. Contractor to provide written or printed maintenance and safety inspection instructions to the Owner outlining proper maintenance procedures for all sign types installed under this Contract. A scheduled maintenance program should include regular inspection of the sign structures for safety defects.
- B. Contractor to provide to Owner in manufacturer's original packaging and store at the project site where directed the following:
  - 1. One (1) gallon of touch up paint for each of the colors specified.

## 1.11 SAMPLES AND SUBMITTALS

- A. Submit a list of all subcontractors, including company name, company address and telephone number, contact name, a minimum of three (3) company references and the percentage of work to be performed by each, for review and approval by the Owner.
- B. Fabricate only from reviewed Shop Drawings. Prior to submission, verify submittal and re-submittal formats, quantities, and procedures with the Owner and Signage Consultant. Shop Drawing submittals will be returned appropriately stamped. Shop Drawings will be checked only for conformance with the design intent of the project. Approval of the Shop Drawings shall not be construed as permitting any departure from the Contract requirements, as relieving the Contractor of the responsibility for any error in details, dimensions or otherwise, as departure from additional detail, bulheads or instructions previously furnished by the Owner, unless same has been specifically approved in writing. Also, Shop Drawing approval shall not release the Contractor from responsibility for any errors which may exist in the item submitted. If the submitted Shop Drawings show variations from the Contract requirements, make specific reference to such variations on the Drawings and in the letter of transmittal with request for approval. Any substitutions and modifications shall be made only when accepted in writing by the Owner.
- C. If additional review of the Shop Drawings is required after two (2) submittals and two (2) re-submittals, the Owner is to be compensated for any fee or charges for time required to complete subsequent reviews required for acceptance of the Shop Drawings.
- D. Reproduction of any portion of the Owner Construction Documents for use as submittals or Shop Drawings is unacceptable. Such submittals will be returned un-reviewed.
- E. Submit samples of all materials, alphabets, symbols, colors, finishes, fixtures, extrusions and

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hardware as directed by the Owner and Signage Consultant. Color match samples to be provided for each color specified using each graphic technique. Provide color proofs for all digital outputs. The Owner will review the samples and submittals for conformance with the design intent of the project.

- F. Show the sign face graphics for all sign types and sign locations. Camera-ready art for symbols and logos to be Macintosh based digital files provided on CD by Signage Consultant. Sign face layouts to be in scale. All sign face layouts are to show actual typographic and symbol layout in solid black graphics on white background with the perimeter of the sign face indicated. Font names and color breaks are to be indicated. Layouts will be reviewed for content, accuracy of alignments, typeface, type weight, letter spacing, word spacing, and symbol quality, and quality of reproduction. All work will be expected to conform to the quality of letterform, spacing and acuity of the samples.

- G. All samples and submittals are to be made with such promptness as to cause no delay in the work. Allow a minimum of ten (10) working days for review and response.

- H. Samples and submittals are to be made in accordance with the General Conditions. Samples and submittals are to be of 6" x 6" size to show quality, type, color range, finish, texture, etc. The Contractor shall be responsible for the timely delivery of the samples and submittals in good condition, freight prepaid.

- I. Any work undertaken prior to receipt of written acceptance of the samples and submittals, shall, based upon the acceptance or rejection of the samples and submittals, be corrected at the Contractor's expense. All approvals will be in writing. All materials furnished for the project must be as represented by the approved samples and submittals.

- J. Message Schedules for review shall be provided in the same format and layout (Fluemaker Pro) as Signage Consultant's Message Schedule format. Contractor can include company identification on the titleblock.

## 1.12 PROTOTYPE SIGNS

- A. Prior to commencing fabrication of the final signs, the Contractor shall provide one full size color digital sign face for each sign type for review at the site.
- B. Prior to commencing fabrication of the final signs, the Contractor shall provide one prototype sign type for approval of fabrication technique and quality. Prototype that are approved may be used as a final sign.

M - Monument Signs

- 1. Sign Type M5.1 Primary Monument Pylon (Illuminated) - Partial sections A & B. See sign type drawing for sections.

## 1.13 AS-BUILT DRAWINGS

- A. Provide As-built drawings for all sign types that reflect the final construction and approved colors and

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materials.

- B. Provide as built message schedule to reflect all final approved messages as a Filemaker Pro document

## PART 2 - PRODUCTS

## 2.1 SYSTEM PERFORMANCE

## A. Signs and Sign Components, Letters, Symbols, and Logos

1. Sign components, letters, symbols, and logos shall be constructed to present a neat, clean appearance. Edges and corners shall be true and free of saw marks or other defects.
2. Sign components shall be constructed as shown on the Drawings. External surfaces of sign components, faces, structural brackets, elements, and pedestals to be finished to match colors specified.
3. All artwork shall be enlarged photographically to sizes and placement as shown on Drawings. Assemble legends and prepare camera-ready art.
4. Each sign shall have access to allow servicing of components. Finish of removable sign surfaces shall match surrounding material, unless otherwise noted. Provide concealed, tamper resistant fasteners and hold open devices adequate for safety and ease of maintenance. Hold open devices shall not be released accidentally, or by the action of the wind and must not interfere with the display when the access panels are closed.

- B. All sign cabinets are to be rain tight. Service access covers are not to be located on the tops of cabinets.

## 2.2 MATERIALS AND MANUFACTURERS

## A. Source Quality Control

1. Obtain primary materials from a single manufacturer.
2. Provide secondary materials only as recommended by manufacturer of primary materials.
3. Do not change source or brands of materials during fabrication.

## B. Aluminum

1. Material of alloy and temper as best suited to furnish the finish and strength required. Extrusions, plate and sheet as per the Drawings, or equivalent as approved by the Owner and Signage Consultant.
2. Aluminum: ANSI/ASTM B 209

## C. Steel

1. Sheet Steel - cold rolled into 16 gauge channels and other shapes, galvanized, primed.
2. Structural Steel - When structural steel is required, all steel shapes, pipes, etc. are to comply

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with all applicable standards.

3. Steel Sections: ASTM A 36.
4. Steel: ASTM A 283.
5. Steel Pipe: ASTM A 53, Grade B.

- D. Acrylic Sheet: "Plexiglas" (Rohm & Haas or equivalent). Thickness of material to be determined by Contractor, subject to review by Owner and Signage Consultant, but is to be not less than 1/8" thick.

- E. Di-Noc film available from 3M

- F. Unfinished Threaded Fasteners

1. ASTM A 300 Series Grade A non-magnetic stainless steel.
2. Tamper resistant screws - Stainless steel, tamper resistant drilled spanner drive screws or equal as approved by Owner and Signage Consultant.

- G. Opaque and Reflective Graphic Films/Sheeting

1. Prepare substrates to receive 3M Graphic Films and Sheeting per the appropriate 3M Specifications.
2. 3M Electro-Cut 1170 to be used on VIP Series 3990

- H. Paint

1. Paint to be applied per manufacturer's instructions.
2. For painted sign faces, cabinets, brackets and components - minimum two coats, Mathews Acrylic Polyurethane, with UV inhibiting satin clear coat, over compatible primer appropriate for substrate.

- I. Colors

1. Colors listed for application using paint/coating specified. Color numbers refer to the Drawings. Submit appropriate samples for review and approval. Final color information for logos to be provided. Owner to have sole authority to determine whether match is accurate.

- J. Lettering Style

1. Meta Office and Univers 59
2. Letter weight to match Drawings. Sign face layouts shown on the Drawings are for reference only. Shop Drawings to show letterforms with inter-letter and inter-word spacing per the standards for the font used. Legends shall include letters, numbers, arrows, symbols, logos, graphics, borders, characters, typography, and other applications shown for sign panels. Enlargement or reduction of artwork applications shall be done photographically. Hand-cut masks or templates will not be accepted. Contractor to submit samples of all alphabets, symbols, arrows, and logos for review and approval prior to fabrication. Font name(s) and color breaks/application to be indicated on the Shop Drawings.
3. Sign lettering shall be executed in such a manner that all edges and corners of letterforms and

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symbols are true, clean, photographically precise and must accurately reproduce the letterforms.

- K. Symbols
1. Symbols, logos and logotype to match standards as shown. Original art for all symbols, logos and logotype to be supplied by Signage Consultant.
  2. Symbols and logos shall be executed in such a manner that all edges and corners are true, clean, photographically precise and must accurately reproduce the symbol or logo.

## L. Silk Screen

1. Photographic screen. Hand cut screens will not be accepted. Screens shall be fine mesh fabric as required.

## M. Silk Screen Ink

1. Inks to be compatible with specified substrates and finishes. Do not blend materials from different manufacturers.

## 2. Acceptable Silkscreen Ink Manufacturers:

- a. Nix-Dur
- b. Akzo Coatings
- c. Spraylay Corp.

## 3. Inks for use with 3M Sheeting

- a. 3M 880 Series Ink and thinner for use with Series 3990 and 3870 3M Sheeting
- b. 3M 8900, 9700 UV Series Ink for Scotchcal 7725 and 3650

## N. Double Sided Tape

1. VHB acrylic tape, thickness as required.

## O. Interior ADA Compliant Signs

1. To comply with ADA regulations and requirements indicated for materials, thickness, finish colors, design, shapes, sizes and details of construction.
2. Sign face to be acrylic panel with Di-Noc film and appliques lettering. Copy and Braille to be relieved 1/32 inch minimum from plaque first surface by manufacturer's applique process. Precisely formed, uniformly indicated for size, style, spacing, content, position and color. Sign copy and Braille to comply with relevant ADA regulations and the requirements indicated for size, style, spacing, content, position and color. Contractor to translate sign copy to appear in Braille.

- P. Bolts, Nuts, Clips, and Washers: ASTM A 325 or ASTM A 307; galvanized to ASTM A 153 for

Med Properties

10400  
IFB-REV 0Wayfinding Signage  
January 30, 2015

Med Properties  
40 Skokie Boulevard, Suite 410  
Northbrook, IL 60062

Cardosi Kiper Design Group  
2437 South Western Avenue  
Chicago, Illinois 60608

P 773.523.9300  
F 773.523.9305  
www.ck-dg.com

# EXTERIOR SIGNAGE SPECS SECTION 10400

galvanized components.

- Q. Locks: Universal locking mechanism as approved by Signage Consultant.
- R. Expansion Anchor Devices: Lead-shield or Toothed-steel, drilled-in expansion bolt anchors.
- S. Primer: Tnemec 10-99, modified alkylid, gray color, 2.0 to 3.5 mils dry film thickness minimum.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine conditions under which the signage is to be installed.
- B. Notify the Owner in writing of any unsatisfactory conditions.
- C. Do not proceed until unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Protection: Mask off and protect areas, which may be stained, damaged or adversely affected by installation of the signs.
- B. Clean and prepare surfaces indicated to receive signs prior to installation in accordance with manufacturer's recommendations.

### 3.3 FABRICATION

- A. Sign materials, design, sizes and thickness shall be as shown on Drawings and herein specified. Methods of fabrication, assembly and erection, however, unless otherwise specifically stated, shall be at the discretion of the Contractor, whose responsibility it shall be to guarantee satisfactory performance as herein specified.
- B. Contractor to provide interior sign assemblies. Contractor to furnish to the Owner engineering calculations to show that maximum stresses and deflections of signage, and signage support system, do not exceed specified performance requirements under full design loading.
- C. Anchor bolt sizes and types should conform to the Shop Drawings prepared and stamped by the Contractor's licensed professional structural engineer. All bolts should be properly tightened and equipped with nut-locking devices when structures are erected.
- D. Insofar as practicable, fitting and assembly of the work shall be done in the shop. Work that cannot

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Wayfinding Signage  
January 30, 2015

Phase 4.0 Construction Documents  
Silt Creek Medical Campus  
Hinsdale, Illinois

01.30.15

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16

EXTERIOR SIGNAGE SPECS  
SECTION 10400

be permanently shop-assembled shall be completely assembled, marked, and disassembled before shipment, to insure proper assembly in the field. Unless otherwise noted, field joints in the face of signs will not be allowed. Contractor to coordinate sizes of finished assemblies with access limitations to final locations.

- E. Steel and aluminum shall be well formed to shape and size. Fabrication shall leave clean, true lines and surfaces. Carefully match exposed work to produce continuity of line and design. Joints, unless otherwise shown or specified, shall be accurately fitted and rigidly secured with hairline contact. Structural details are schematic and the Contractor shall be responsible for thickness of metal and details of assembly and support to give adequate strength and stiffness.
- F. Welding shall be in accordance with appropriate recommendations of American Welding Society, and shall be done with electrodes and methods recommended by manufacturers of alloys being welded. Type, size and spacing of welds shall be as shown on Shop Drawings. Welds behind finished surfaces shall be so done as to minimize distortion and discoloration on finished side. Weld spatter and welding oxides on finished surfaces shall be removed by descaling or grinding. Unless otherwise shown or specified, all weld beads on exposed polished surfaces shall be ground and polished to match and blend with finish on adjacent parent metal. Remove paint from existing steel members at contact areas and on surfaces with 2 inches of field welds, in order to attach signage steel supports. At attachments to exposed steel, grind exposed field welded joints smooth and restore to match factory finishes.
- G. Welding shall be executed by experienced, certified operators with proper equipment and training and who have been qualified previously by tests as prescribed in the American Welding Society's "Standard Qualification Procedure" to perform the work required.
- H. The Contractor shall be responsible for maintaining correct message order. Correct message order to be shown on the Shop Drawings.

3.4 PAINTING AND FINISHES

- A. Protective coating primer system to be shop applied. Steel material shall be shop coated with 1 coat of primer. Surfaces that will be inaccessible for painting after assembly or installation shall be given 2 shop coats of primer. Provisions should be made for proper handling at all stages of the painting shipping storing and erection for protection of primed surfaces from damage or soiling.
- B. Shop painting shall not be performed on the following surfaces: (Protect these surfaces with a rust inhibiting coating readily removable prior to erection.)
  - 1. On contact surfaces within two inches of field welds.
  - 2. On contact surfaces.
  - 3. On milled bearing surfaces.
- C. Aluminum and steel shall be prepared by cleaning in accordance with SSPC SP-1 and shop painted

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EXTERIOR SIGNAGE SPECS  
SECTION 10400

with primer and finish coats using paint material specified for sign frames and structures.

D. After being ground and polished, or where subject to severe forming operations, stainless steel surfaces shall be cleaned of all extraneous material, thoroughly rinsed with clean water and dried. Lubricants used in fabrication shall be removed before work leaves the shop.

- E. Shop paint in color as recommended by the manufacturer as a back up to the color of the finish paint.
- F. Field touch up primer after erection (all interior surfaces including bolted connections nuts, and washers, etc.) one coat.

G. Protection of metals against galvanic action shall be provided wherever dissimilar metals are in contact with galvanized steel. All metals except galvanized steel and stainless steel, which will be in contact with concrete, mortar, plaster, or other masonry, shall also be protected. Protection shall consist of providing stainless steel fasteners and, if concealed, of painting the contact surfaces with a heavy brush coat of bituminous paint.

3.5 ELECTRICAL

- A. Electrical components shall be UL listed. Electrical details are schematic and the Contractor shall identify on submittals the materials and wiring he intends to use. Internally illuminated signs shall be internally wired with concealed leads for connection to service. Electrical wiring, equipment, boxes, conduit, hangers, fittings and fixtures shall conform to all applicable codes including the National Electrical Code and the Med Properties Electrical Requirements.
- B. All surface illuminated signs shall comply with UL, ANSI, NEC and all other applicable safety and performance standards. Contractor's name is not to appear on the visible surfaces of the sign except as required by code.
- C. Contractor to furnish and install electrical conduit, wire, and cable. Provide final electrical connections to the nearest junction boxes- junction boxes to be furnished and installed by others - for all new fixtures, pylons and signs.
- D. All signs or sign components with electrical service shall be equipped with an approved external disconnect switch to be flush mounted on the sign/cabinet and shall have circuits and capacity to control all primary wiring within the sign. Location of switch is to be shown on the Shop Drawings for review.
- E. Provide for sufficient ventilation of sign components to prevent overheating or warpage, while

Med Properties

Wayfinding Signage  
January 30, 2015

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Hinsdale, Illinois

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EXTERIOR SIGNAGE SPECS  
SECTION 10400

maintaining a proper weather seal. Signs/cabinets with light leaks will not be accepted.

3.6 INSTALLATION

- A. Property and legally remove from the site and dispose of all rubbish and debris resulting from the work.
- B. Complete installation shall be in accordance with manufacturers' printed instructions and accepted shop drawings.
- C. Obtain all necessary licenses and permits.
- D. Install signs level and plumb.
- E. Protect installed signs from damage until acceptance by the Owner.
- F. After installation, clean soiled sign surfaces and installation area. Remove dirt, dust, fingerprints, shavings, adhesives, packing materials, etc.

3.7 COMPLETION

- A. The work shall be under the charge and care of the Contractor until final acceptance of the work by the Owner, including all Punch List work. The work shall not be considered as completed and accepted until written notice is received from the Owner confirming the completion and acceptance of all work, including Punch List work.
- B. Upon completion and before final acceptance of the work, the Contractor shall provide a complete set of drawings and digital files for all signs and sign locations showing As Built conditions. Drawings and digital files shall be formatted as specified by the Owner. As Built Drawings to include changes between the work as shown in the Contract Documents and Shop Drawings indicating the work as actually installed and any specific information, locations, or dimensions not included in the Contract Documents.
- C. All digital files, silk-screens, patterns, and models are to be preserved and shall become the property of the Owner.

END OF SECTION

Med Properties 10400 Wayfinding Signage  
IFB - REV 0 January 30, 2015

**LIST OF ALL PROPOSED SIGNS**  
(See attached Sign Package)

**Location 1**

Sign Type: M5.1 Monument Sign  
Illumination: Internally illuminated push thru acrylic letters. Brick face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 45.66 Square Feet  
Overall Sign Size: 8'-6" x 8'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane and Ogden Ave.

**Location 2**

Sign Type: W5.1 Wayfinding Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane

**Location 3**

Sign Type: W5.1 Wayfinding Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: N. Elm Street and Tower Lane



**Location 5**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Tower Lane (identify 901 N. Elm Street)

**Location 6**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Tower Lane (identify 907 N. Elm Street)

**Location 7**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane (identify 8 Salt Creek Lane and 10 Salt Creek Lane)

**Location 8**

Sign Type: W5.2 Site Sign  
Illumination: Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.  
Overall Panel Size: 13.33 Square Feet  
Overall Sign Size: 3'-10" x 6'-0"  
Colors/Materials: Silver, Brick Veneer and Limestone to match campus buildings.  
Lot/Street Frontage: Salt Creek Lane (identify 11 Salt Creek Lane)

**Location 9**

**Sign Type:** W5.2 Site Sign

**Illumination:** Reflective vinyl copy. Face surface illuminated with recessed light source in limestone.

**Overall Panel Size:** 13.33 Square Feet

**Overall Sign Size:** 3'-10" x 6'-0"

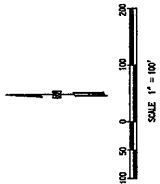
**Colors/Materials:** Silver, Brick Veneer and Limestone to match campus buildings.

**Lot/Street Frontage:** Salt Creek Lane (identify 12 Salt Creek Lane)

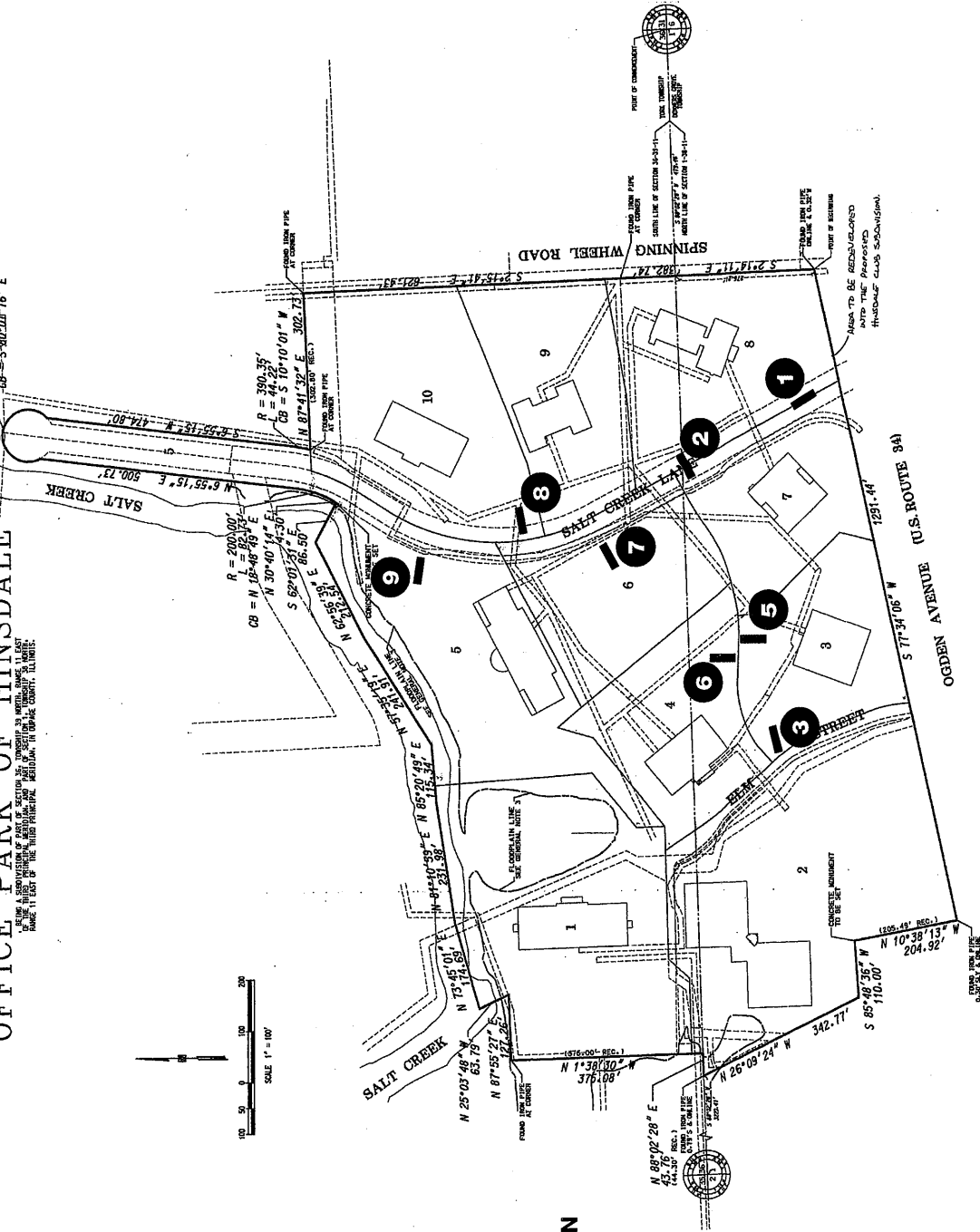
FINAL PLAT OF SUBDIVISION  
OFFICE PARK OF HINSDALE

THESE PLATS WERE PREPARED BY THE ENGINEER AND SURVEYOR, IN ACCORDANCE WITH THE REQUIREMENTS OF THE MISSISSIPPI SURVEYING ACT, AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

$R = 50.50'$   
 $CB = 22.25'$   
 $CB = S 80.00° 16' E$



- # = SIGN LOCATION
- = SIGN ORIENTATION



Client Information: <b>MED PROPERTIES</b>	Notes:	Revision(s):	Sheet #: <b>108</b>
		APi	
approved as is _____ approved w/ noted corrections _____ update & resubmit for approval _____		Drawn By: bw	
Original drawing date: 05.26.2015		Filename: Salt Creek_Plat of subdivision	
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102"

53 7/8"

48 1/8"

24"

18"

ALUMINUM SIGN STRUCTURE W/ REMOVABLE PANELS FOR EASY ACCESS TO THE TOP OF SIGN STRUCTURE TO HAVE APPROPRIATE INTERIOR STEEL STRUCTURE, PAINTED MP 18973

**PLAN VIEW**  
**SCALE: 50%**

99'-1/4"

53'-7/8"

4'-1/2"

48'-1/4"

**SALT  
CREEK**

Immediate Care

Surgery Center

Medical Offices

22'-3/4"

68'-1/4"

22'-3/4"

68'-1/4"

1" THICK ALUM. LETTERS  
PIN MOUNTED TO BRICK FACE  
SURFACE ILLUMINATION FROM  
BASE LIGHT SOURCE

35" WIDE x 31" x 58" HIGH x 1" DEEP  
ALUMINUM PAN PAINTED WP18207  
W/ SLOAN COOL WHITE ILLUMINATION  
PUSH THRU WHITE ACRYLIC LETTERS  
1/2" VISIBLE LETTER DEPTH

ROUTED DAY/NIGHT ILLUMINATED PUSH  
THRU ACRYLIC LETTERS FLUSH WITH FACE  
(DAY: BLACK - NIGHT: WHITE - FONT: METAL OFFICE BOOK)

PRECAST TO REPLICATE LIMESTONE W/ RECESSED  
SLOAN COOL WHITE LIGHT ENCLOSURE

Architectural drawing of a building facade with dimensions and material specifications.

**Dimensions:**

- Overall width: 99'-1/4"
- Overall height: 107'-0"
- Top section height: 96'-0"
- Bottom section height: 4'-0"
- Left section width: 53'-7/16"
- Right section width: 45'-0"
- Top section width: 22'-3/4"
- Bottom section width: 68'-1/4"
- Section width: 48'-1/4"
- Section width: 22'-3/4"
- Section width: 68'-1/4"

**Text on Facade:**

- SALT CREEK** (Large white text on dark background)
- Immediate Care** (White text on light background)
- Surgery Center** (White text on light background)
- Medical Offices** (White text on light background)

**Material Specifications:**

- PRECAST TO REPLICATE LIMESTONE W/ RECESSED SLOAN COOL WHITE LED LIGHT ENCLOSURE
- ROUTED DRY NIGHT ILLUMINATED PUSH TYPE LIGHT FIXTURES (DAY: BLACK - NIGHT: WHITE - CONT: METAL OFFICE BODIES)
- 35" WIDE x 31'-5/8" HIGH x 1" DEEP ALUMINUM PANT PAINTED WP18207 WITH 35" HIGH WHITE ACRYLIC LETTERS PUSH TYPE LETTER DEPTH 1/2" VISIBLE LETTER DEPTH
- 1" THICK METAL LETTERS PIN MOUNTED TO BRICK FACE SURFACE ILLUMINATION FROM BASE LIGHT SOURCE

**Orientation:**

- North arrow pointing up (labeled 1)
- North arrow pointing right (labeled 2)

**Note:**

NOTE: ALL FOUNDATIONS AND FOOTINGS TO BE ADEQUATE FOR SUPPORT OF SIGN

**SALT CREEK**

**Immediate Care**

**Surgery Center**

**Medical Offices**

96'-0"

15'-7 1/2"

4'-0"

68'-1 1/4"

4'-0"

53'-7 1/8"

99'-1 1/4"

48'-1 1/4"

22'-1 1/4"

22'-1 1/4"

68'-1 1/4"

2

1

PRECAST TO REPLICATE LIMESTONE W/ RECESSED SLOAN COOL WHITE LED LIGHT ENCLOSURE

ROUTED DRY/NIGHT ILLUMINATED PUSH THRU ACRYLIC LETTERS FLUSH WITH FACE  
(DAY: BLACK - NIGHT: WHITE - F ONT: META OFFICE BODON)

35" WIDE x 31"-58" HIGH x 1 1/2" DEEP ALUMINUM PAN PAINTED MP18207 W/ SLOAN COOL WHITE ILLUMINATION - PUSH THRU WHITE ACRYLIC LETTERS 1 1/2" VISIBLE LETTER DEPTH

1" THICK METAL LETTERS PIN MOUNTED TO BRICK FACE SURFACE ILLUMINATION FROM BASE LIGHT SOURCE

NOTE:  
ALL FOUNDATION FOOTINGS TO BE ADJUSTED FOR SUPPORT AS SHOWN

99'-1/4"

53'-7/8"

4'-1/2"

68'-1/4"

15'-7/8"

4'

48'-1/4"

22'-1/4"

22'-1/4"

68'-1/4"

22'-1/4"

22'-1/4"

68'-1/4"

1"

2

1"

2

PRECAST TO REPLICATE LIMESTONE W/ RECESSED SLOAN COOL WHITE LED LIGHT ENCLOSURE

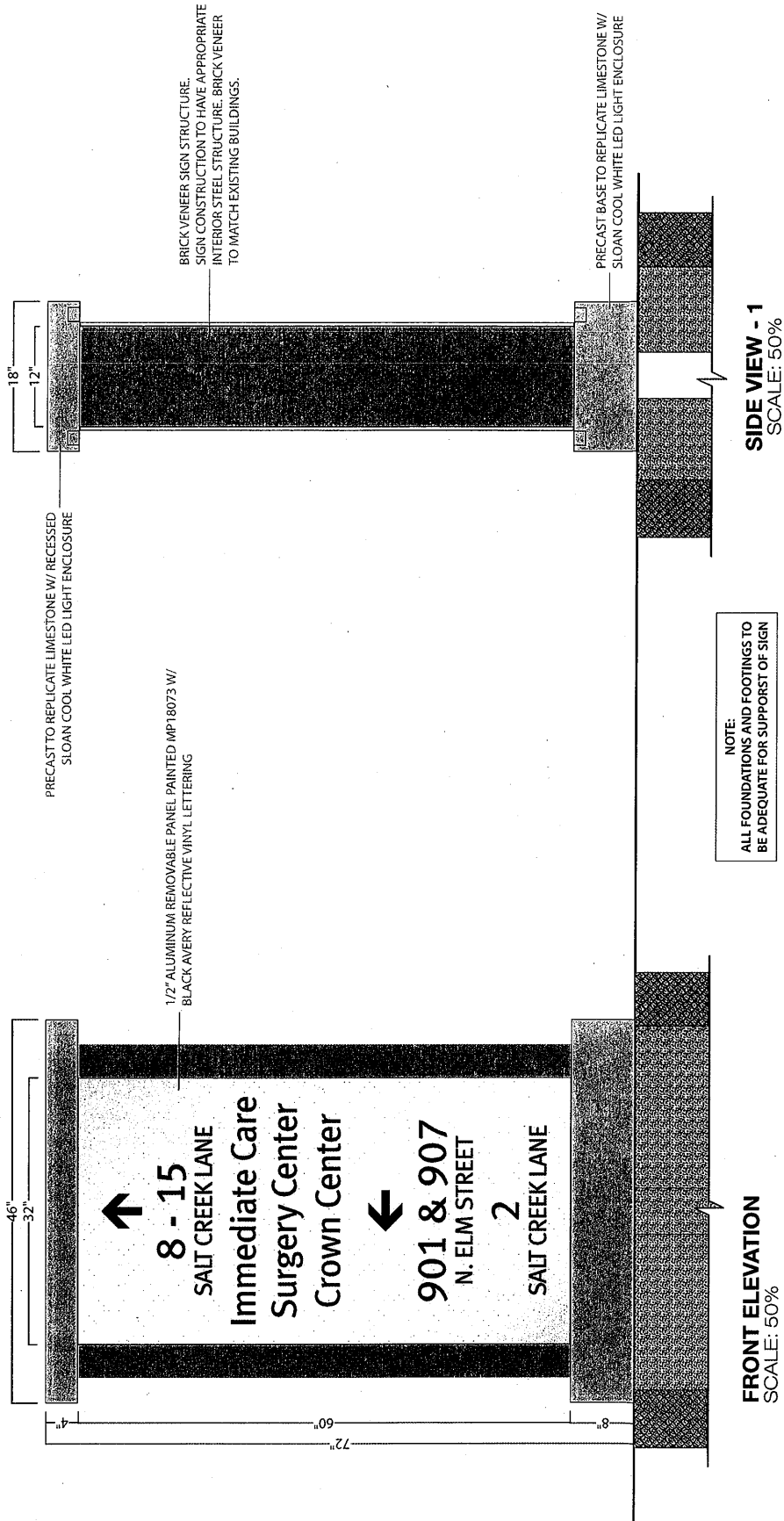
ROUTED DRY/NIGHT ILLUMINATED PUSH THRU ACRYLIC LETTERS FLUSH WITH FACE (DAY: BLACK - NIGHT: WHITE - FONT: METAL OFFICE BOLD)

35" WIDE x 31'-5/8" HIGH x 1" DEEP ALUMINUM PAN PAINTED MP18207 W/ SLOAN COOL WHITE ILLUMINATION - PUSH THRU WHITE ACRYLIC LETTERS 1/2" VISIBLE LETTER DEPTH

1" THICK METAL LETTERS PIN MOUNTED TO BRICK FACE SURFACE ILLUMINATION FROM BASE LIGHT SOURCE

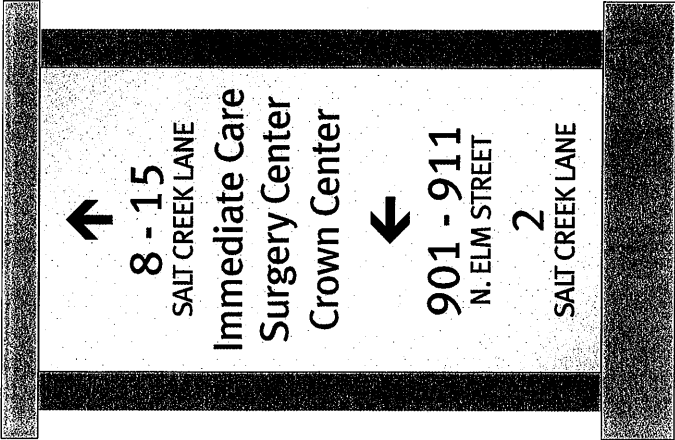
NOTE: ALL FOUNDATION AND FOOTINGS TO BE ADAPTED FOR SUPPORT AS SHOWN

Client Information <b>MED PROPERTIES</b>	Notes:	Revisions:
	approved as is _____ approved w/ noted corrections _____ updated & resubmitted for approval _____ Original drawing date: 05-26-2015 Planning Cell code: ST1463	
Drawn By: <u>                    </u> Date: <u>                    </u>		Drawn By: <u>                    </u> Date: <u>                    </u>

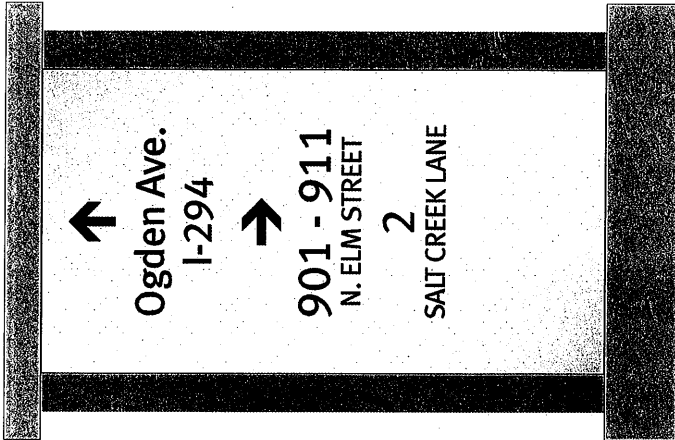


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Original drawing date: 05.26.2015 Advertiser: <b>Med Properties, Inc.</b> 6801 Farrow Avenue Elk Grove, IL 60007 P: 866.774.0011		Revision/Sheet	AP1
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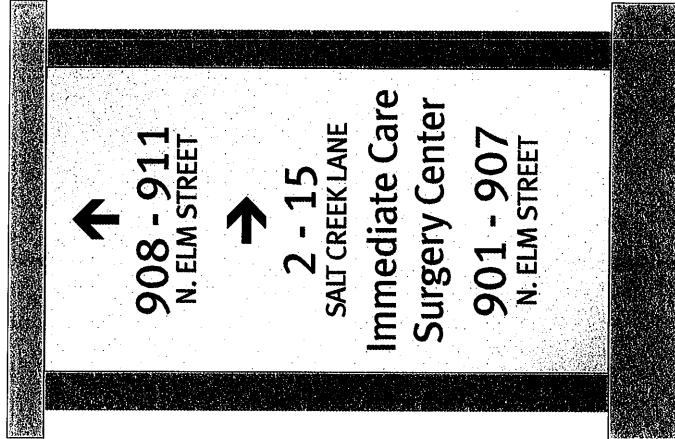
NOTE:  
TYPICAL - SEE PAGE 2 FOR  
LOCATIONS & LAYOUTS



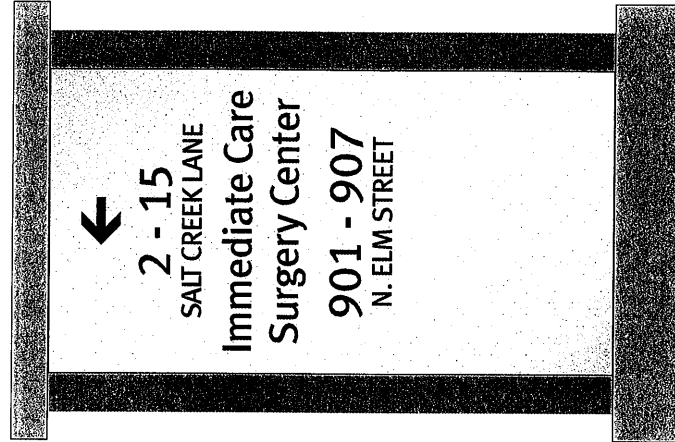
LOCATION 2 - SIDE A  
SCALE: 50%



LOCATION 2 - SIDE B  
SCALE: 50%

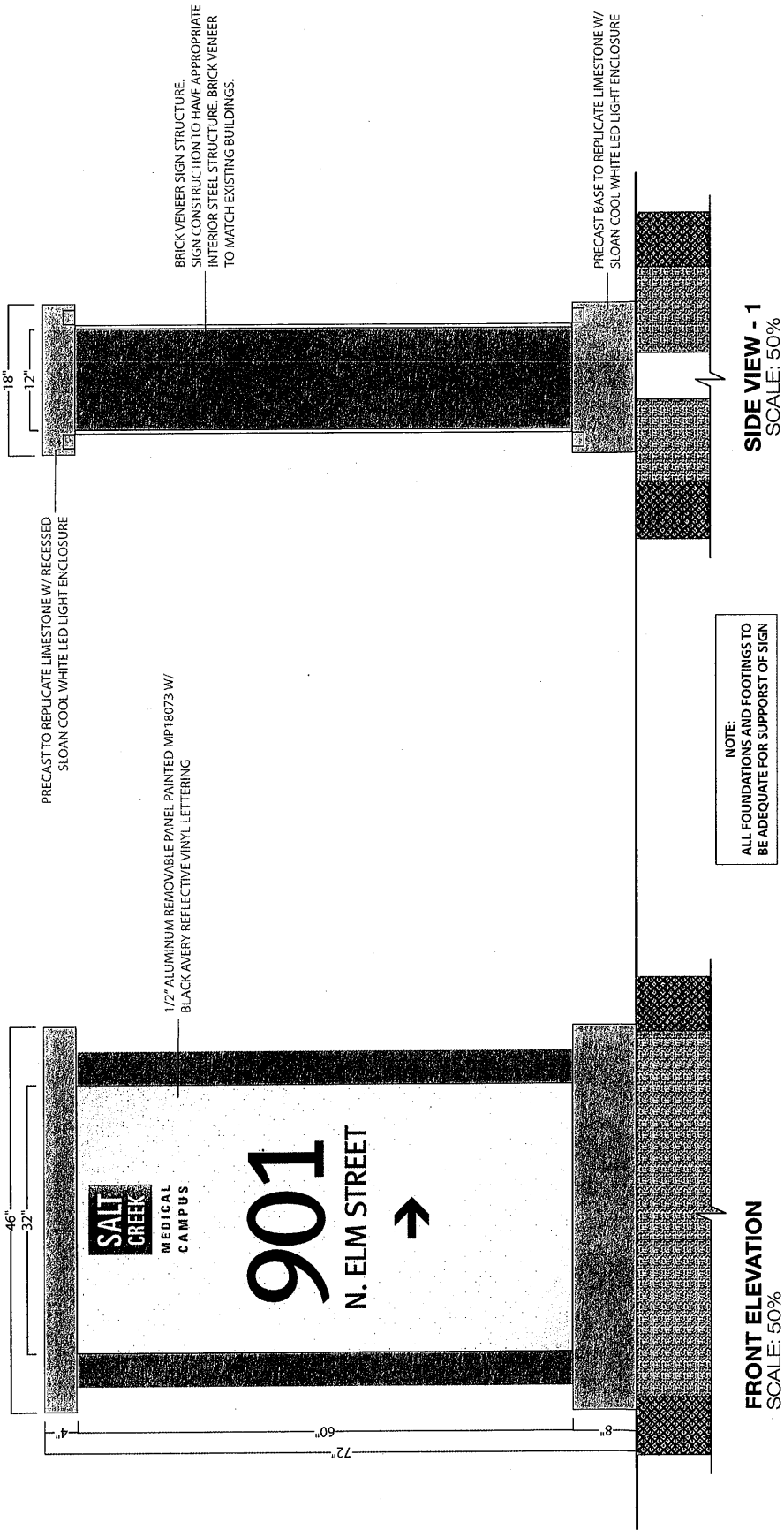


LOCATION 3 - SIDE A  
SCALE: 50%



LOCATION 3 - SIDE B  
SCALE: 50%

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Original drawing date: 05.26.2015		Filename: Salt Creek_ST-W5.1	Drawn By: tw	<b>API</b>
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NOTE:  
TYPICAL - SEE PAGES 2-4  
FOR LOCATIONS & LAYOUTS



LOCATION 5 - SIDE A  
SCALE: 50%



LOCATION 5 - SIDE B  
SCALE: 50%



LOCATION 6 - SIDE A  
SCALE: 50%



LOCATION 6 - SIDE B  
SCALE: 50%

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approved as is _____ approved w/ noted corrections _____ update & resubmit for approval _____				<b>6018</b>		
Original drawing date: 05.26.2015		Filename: Salt Creek_STW5.2	Drawn By: bw			
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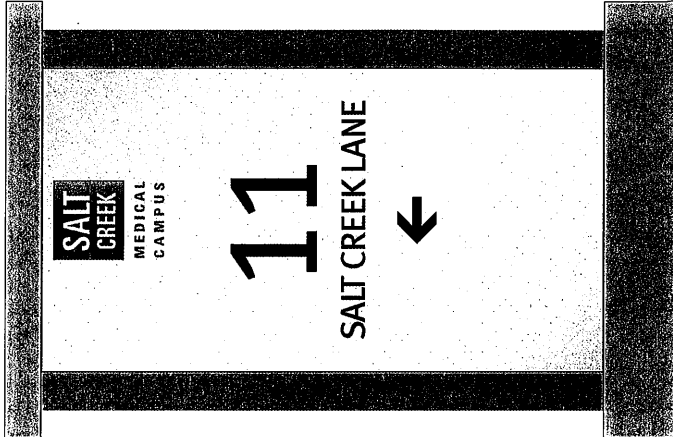
LOCATION 7 - SIDE A  
SCALE: 50%



LOCATION 7 - SIDE B  
SCALE: 50%

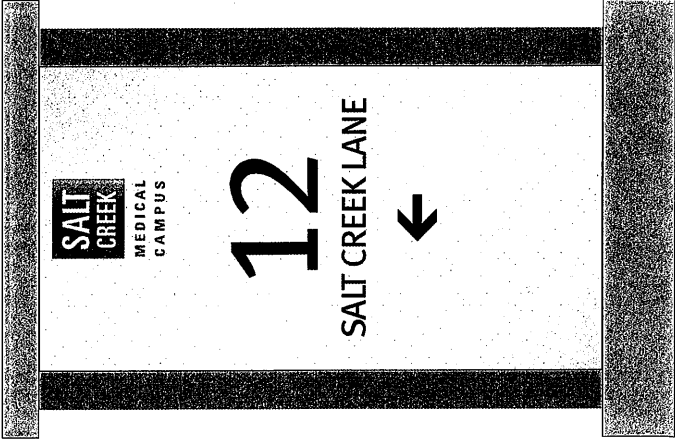


LOCATION 8 - SIDE A  
SCALE: 50%



LOCATION 8 - SIDE B  
SCALE: 50%

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LOCATION 9 - SIDE A  
SCALE: 50%



LOCATION 9 - SIDE B  
SCALE: 50%

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## ***Salt Creek Signage Breakdown***

### ***Sign***

<b><i>Number</i></b>	<b><i>Sign dimensions</i></b>	<b><i>Square footage</i></b>	<b><i>Illumination Type</i></b>	<b><i>Parcel location</i></b>	<b><i>Building Address</i></b>
1	96"x99.25"	66	LED	Between 7 & 8	
2	72"x46"	23	LED	Between 7 & 8	
3	72"x46"	23	LED	3	901 North Elm
4					
5	72"x46"	23	LED	3	901 North Elm
6	72"x46"	23	LED	4	907 North Elm
7	72"x46"	23	LED	6	10 Salt Creek
8	72"x46"	23	LED	10	11 Salt Creek
9	72"x46"	23	LED	5	12 Salt Creek

STATE OF ILLINOIS )  
COUNTY OF DU PAGE ) SS:

BEFORE THE HINSDALE ZONING BOARD OF APPEALS

IN THE MATTER OF: )  
SALT CREEK PROPERTIES, LLC )  
CASE NO. V-03-15 )

REPORT OF PROCEEDINGS had and testimony  
taken at the Deliberations of the public hearing  
of the above-entitled matter before the Hinsdale  
Zoning Board of Appeals, at 19 East Chicago  
Avenue, Hinsdale, Illinois, on the 15th day of  
April, 2015, at the hour of 7:37 p.m.

BOARD MEMBERS PRESENT:

MR. KEITH GILTNER, Vice Chairman;  
MR. RODY BIGGERT, Member;  
MS. KATHRYN ENGEL, Member;  
MR. GARY MOBERLY, Member;  
MR. JOHN PODLIKA, Member.

KATHLEEN W. BONO, CSR, LIMITED  
630-834-7779

ALSO PRESENT:

MR. ROBERT MC GINNIS, Director of  
Community Development/Building  
Commissioner;  
MS. CHRISTINE BRUTON, Deputy Clerk and  
Board's secretary;  
MR. PETER COULES, Attorney for  
Applicant;  
MS. KIM CARDOSI, Cardosi Kiper Design  
Group, Inc.;  
MR. CHRISTOPHER T. MUNDY, Director,  
Project Management, MedProperties  
Group;  
MR. MATTHEW KLEIN, Attorney for  
15 and 21 Spinning Wheel Road;  
MS. JANET MOSE.

\* \* \*

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3

1 VICE CHAIRMAN GILTNER: Yes. Anyone  
2 want to start?

3 MR. BIGGERT: Why don't we take each  
4 variance request separately. Number and  
5 location, what they are, too.

6 VICE CHAIRMAN GILTNER: Yes. So there  
7 are four. Allow off-premises identification  
8 signs, allow low illumination, allow 8 ground  
9 signs in lieu of 1 permitted. So quantity. And  
10 then the square footage of the signs, square  
11 feet.

12 MR. BIGGERT: Okay. Illumination is  
13 one of those.

14 MS. ENGEL: Yes.

15 VICE CHAIRMAN GILTNER: Yes.

16 MR. BIGGERT: I think they have said  
17 enough for us to agree with the illumination.  
18 Sounds like it will improve the ability for  
19 people to read the signs and thereby know where  
20 they are going. The illumination again doesn't  
21 sound excessive, seems like they have thought  
22 out what they were doing. So just to take care

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4

1 of one of their requests.

2 VICE CHAIRMAN GILTNER: So does anyone  
3 else have any comments about illumination?

4 So, okay, why don't we move to,  
5 well, total --

6 MR. MOBERLY: Is the real issue here  
7 like the point three? Because I'm just kind of  
8 going off of this here. The one to allow  
9 off-premises identification signs, I don't think  
10 there is a lot of disagreement from anybody  
11 about that.

12 VICE CHAIRMAN GILTNER: Yes.

13 MR. MOBERLY: We don't seem to have a  
14 lot of disagreement about illumination. The  
15 square footage doesn't seem to be a big fuss.

16 So is the real point of contention  
17 here like point three, to allow 8 ground signs  
18 in lieu of 1 permitted, and should there be  
19 different wording on the signage?

20 VICE CHAIRMAN GILTNER: Yes. And I  
21 mean just allowing off-premises identification  
22 signs does, you know, affect the location of

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1 No. 2.

2 MR. MOBERLY: It affects them all,  
3 doesn't it, 1, 2 and --

4 VICE CHAIRMAN GILTNER: Right. So yes,  
5 I think it affects the location. So I do think  
6 that's something we have to deliberate on.

7 MR. MOBERLY: So we will put those  
8 together, okay.

9 MS. ENGEL: And I'm also, I'm  
10 wondering, too, if it's premature to discuss  
11 option 1 if the Department of Transportation is,  
12 IDOT, is going to come in and say you can't go  
13 there anyway.

14 VICE CHAIRMAN GILTNER: Oh, the --

15 MS. ENGEL: No. 1.

16 VICE CHAIRMAN GILTNER: The monument  
17 sign.

18 MS. ENGEL: Yes. I mean they say that  
19 there is potential that --

20 MR. BIGGERT: She is referring to a  
21 triangle and further up.

22 MR. MC GINNIS: That's a condition.

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1 off-premise sign.

2 MR. BIGGERT: Off premises, okay.

3 VICE CHAIRMAN GILTNER: I mean I do  
4 think I think the content of the sign, even  
5 though that's not under our jurisdiction, I do  
6 think that that's something that I would like  
7 the Planning Commission, if they haven't  
8 already, to consider that there are other  
9 properties and that it's not considered Salt  
10 Creek Medical Campus necessarily for everyone  
11 who would be entering that area.

12 So I think that is a Planning  
13 Commission issue on the content. But I'm less  
14 concerned about the location as long as the  
15 content is appropriate and that, right, it --  
16 that the IDOT approval is part of it.

17 MR. BIGGERT: Isn't it up to the owners  
18 of the Spinning Wheel properties to figure out  
19 what they want to do in terms of their signage?

20 And if they need a variance, to come to us. If  
21 they don't need a variance, then don't. They  
22 have got their little wooden signs up now, but

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1 MR. MOBERLY: It's all conditional on  
2 IDOT approving it. They can overrule us, can't  
3 they?

4 VICE CHAIRMAN GILTNER: So my  
5 understanding for the monument sign, that the  
6 location that is being requested, I mean that's  
7 something that is part of this variation?

8 MR. MC GINNIS: That's correct.

9 VICE CHAIRMAN GILTNER: That monument.  
10 And then, okay, so --

11 MS. ENGEL: But it's conditioned on --

12 VICE CHAIRMAN GILTNER: On their  
13 approval.

14 MS. ENGEL: Yes.

15 MR. BIGGERT: Does it come under  
16 number; or does it come under, what, what --

17 MR. MC GINNIS: Well, that monument  
18 sign --

19 MR. BIGGERT: What of the four  
20 variations requested does the monument sign come  
21 under?

22 MR. MC GINNIS: The monument sign is an  
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1 they may be not -- Are they nonconforming,  
2 Robb?

3 MR. MC GINNIS: Oh, yes. The small  
4 white signs. Yes. Those are original to the  
5 development.

6 MR. BIGGERT: Probably up to them to  
7 straighten it out.

8 MR. MC GINNIS: I think the primary  
9 concern with sign 1 and 2 is the fact that we  
10 have got people other than, you know, the Salt  
11 Creek Medical Campus that need access off of  
12 Spinning Wheel. They are concerned that any  
13 signage south of Tower is going to impede their  
14 ability to find and access their buildings off  
15 of Spinning Wheel if that's fair.

16 MR. KLEIN: Yes.

17 MR. PODLISKA: So that if we approve  
18 the location of signs 1 and 2, the argument is  
19 we have then created confusion because of the  
20 present content of those signs.

21 MR. KLEIN: Yes.

22 MR. PODLISKA: For the people that are  
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1 trying to find some location other than what's  
2 described on those two signs.  
3 VICE CHAIRMAN GILTNER: Right. And I  
4 would say that's where we would probably want,  
5 you know, one scenario would be location of  
6 sign 1 seems reasonable. But Planning  
7 Commission, we sort of have this question or  
8 issue with regard to the content.

9 I think the more maybe  
10 controversial sign is sign No. 2, that is also  
11 subject to content. And so I think if we  
12 approve it for that location, the sign will end  
13 up there. And then it's really up to the  
14 Planning Commission to either agree or disagree  
15 with -- If that's what this group decides that,  
16 you know, the actual information on that sign is  
17 important to help these other properties.

18 MR. PODLIKA: So we can approve the  
19 location or the recommendation for the Plan  
20 Commission, review the content of that, those  
21 signs, so that the eventual location and content  
22 do not confuse people as to finding the

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1 separate groups that are using Salt Creek Lane  
2 to access the property. You have got the  
3 medical campus, and you have got the residences  
4 and offices that are not medical over in the  
5 Spinning Wheel, and you have got the Robert  
6 Crown. Ideally they would use some color coding  
7 of some kind, you know, to direct people.

8 But I think you are on the right  
9 track in terms of let's have the Planning  
10 Commission weigh in on ways to provide signage  
11 for basically the three separate and --  
12 Different people are coming for different  
13 things.

14 VICE CHAIRMAN GILTNER: Yes.

15 MR. BIGGERT: People going to Robert  
16 Crown are going to Robert Crown. They are not  
17 going to the medical buildings. Same way with  
18 the Spinning Wheel people. They are generally  
19 going either to the offices or the residences.  
20 They are not going to doctors' offices, nor are  
21 they going to the surgery center. So that's  
22 where I think color coding would be helpful.

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1 locations other than the ones that are presently  
2 listed.

3 VICE CHAIRMAN GILTNER: Right. And I  
4 guess the only possible risk is that the Planing  
5 Commission doesn't necessarily agree if we think  
6 that it should include or should not include  
7 another additional information. They might go  
8 ahead and approve the signage that is listed  
9 there now with the sign being in the median but  
10 that would be part of our recommendation.

11 MR. PODLIKA: Because we both can't  
12 act together.

13 VICE CHAIRMAN GILTNER: Right.

14 MR. PODLIKA: We can't act, joint  
15 bodies, so we can approve the location and just  
16 make it clear that that approval is done with  
17 the idea that those signs eventually should  
18 direct people to all the locations within that  
19 property.

20 VICE CHAIRMAN GILTNER: Right.

21 MR. BIGGERT: The other thing is when  
22 you look at this there are actually three

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1 MR. PODLIKA: And all three of those  
2 groups would have an opportunity to be heard  
3 before the Planning Commission as to what the  
4 content of the sign was, which is the issue we  
5 are trying to deal with here to avoid people  
6 being confused as they come onto this location  
7 to be able to find where they need to go. It  
8 isn't the location.

9 VICE CHAIRMAN GILTNER: Right.

10 MR. PODLIKA: Once we approve the  
11 location, the issue can still be addressed. And  
12 everybody, all those three groups would have an  
13 opportunity to be heard before the Plan  
14 Commission to make sure the content of the signs  
15 doesn't end up confusing people as to where they  
16 need to go.

17 MR. BIGGERT: And I think, a propos to  
18 the comments the lady made, you can't go by your  
19 decision point and then have a sign. So that  
20 the location of sign 1 and 2, at least 1 is  
21 probably in the right spot. It's right there at  
22 the corner of Salt Creek Lane and Ogden Avenue.

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1 MR. PODLIKA: I think that's right.

2 MR. BIGGERT: And so that's where you  
3 make your decision, and now you see, Okay, I'm  
4 going to Robert Crown, I see something there  
5 that says Robert Crown, fine, go on in.

6 VICE CHAIRMAN GILTNER: I agree, it  
7 should be before the intersection assuming that  
8 the content is appropriate. I don't know about  
9 the median versus the side of the road. I mean  
10 typically these would be signs you would see on  
11 the side. But so I would personally maybe  
12 suggest that the sign get moved to the side, but  
13 that's just my personal opinion.

14 But I do think, right, the  
15 location, if the eventual signage is what we  
16 seem to collectively agree is sort of a  
17 considering all possibilities, then I'm okay  
18 with the location where it is. I should say,  
19 you know, before the Spinning Wheel Road.

20 MR. BIGGERT: I think it's too late  
21 when you get over that far, I think. Because  
22 you are turning in off of Ogden Avenue, which is

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1 has the different entities on there including  
2 the Spinning Wheel Apartments.

3 VICE CHAIRMAN GILTNER: Where is that?

4 MR. BIGGERT: Oh, that's back farther.

5 MR. MOBERLY: That's see --

6 MR. MC GINNIS: The sign on Ogden, the  
7 existing Adventist monument, that's brand-new.

8 MR. MOBERLY: Right there, isn't that  
9 where the white sign is?

10 MR. MC GINNIS: Due east of sign 1,  
11 that's new.

12 MR. MOBERLY: I'm saying that white  
13 sign that we saw, I'm trying to find where that  
14 is on the map. I think it's very close just  
15 east of proposed sign 1.

16 VICE CHAIRMAN GILTNER: Well, if --  
17 No. I believe it's sort on the intersection of  
18 Spinning Wheel and Salt Creek.

19 MR. BIGGERT: Right, right.

20 MS. ENGEL: Right, kind of close to  
21 sign 2.

22 MR. MOBERLY: It's farther up.  
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1 a busy street, and you want to have an idea  
2 there that you are going in the right  
3 directions; right?

4 VICE CHAIRMAN GILTNER: Well, so --  
5 Right, I'm looking at this one.

6 MR. BIGGERT: That one up there?

7 VICE CHAIRMAN GILTNER: The median.  
8 And then if the sign was somewhere, almost where  
9 the dot is or you know --

10 MR. BIGGERT: Okay. Farther.

11 VICE CHAIRMAN GILTNER: You still have  
12 the decision information.

13 MR. BIGGERT: 1 needs to be changed,  
14 too, because it doesn't have everything on it.

15 VICE CHAIRMAN GILTNER: So that's again  
16 sort of the Planning Commission, I would say it  
17 would be a recommendation that, if we agree  
18 collectively, then that should address  
19 potentially these other entities.

20 MR. MOBERLY: But just like 20 feet  
21 east of sign 1, the proposed location for sign 1  
22 is that white sign, if I'm not mistaken, that

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1 [IEZ SPEAKER 01]: It's the same  
2 distance north of sign 2 that's proportioned.

3 MR. MC GINNIS: And that's another new  
4 sign.

5 [IEZ SPEAKER 01]: The other signs that  
6 Robb is talking about are the two stone signs  
7 that are on the corner of Ogden and Salt Creek  
8 on the eastern side.

9 MR. BIGGERT: Those are going to come  
10 down you said?

11 [IEZ SPEAKER 01]: No, sir.

12 MR. BIGGERT: No, they are not going to  
13 come down.

14 MR. KLEIN: They are going to take the  
15 one down that says Office Park on the west  
16 corner and replace it with the new sign on the  
17 west corner.

18 MR. MOBERLY: We should reopen the  
19 hearing.

20 VICE CHAIRMAN GILTNER: Yes, I know.  
21 We probably continued the deliberation amongst  
22 us.

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1 So you asked if the sign that's  
2 being proposed would be in the median and that  
3 is the case?

4 MS. ENGEL: Is the sign actually in the  
5 median?

6 VICE CHAIRMAN GILTNER: Yes. Where  
7 there are trees now, I don't know if we would be  
8 removing trees. Robb, do you know?

9 MR. MC GINNIS: It doesn't appear so on  
10 the plan.

11 VICE CHAIRMAN GILTNER: But that's what  
12 is being proposed.

13 MS. ENGEL: I tend to agree it would be  
14 better to be on the side of the road as opposed  
15 to in the median.

16 MR. PODLISKA: Well, except that the  
17 sign in the median is directing people to go  
18 straight ahead or to the left?

19 MS. ENGEL: Oh, to Elm?

20 MR. PODLISKA: Right. Yes.

21 MR. BIGGERT: Correct. Yes, that arrow  
22 is to the left.

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1 the sign, the signage -- I would be even more  
2 comfortable if it's in the median if it includes  
3 this other property. So I guess that could be a  
4 recommendation, but it does seem like we are  
5 creating -- While I think all this is a very  
6 good attempt to bring consistency and it's an  
7 improvement, there is still this inconsistency;  
8 and I do think that this question about the  
9 content of the signage to me still needs to be  
10 reconciled. It doesn't make sense to me.

11 MR. BIGGERT: Are we in agreement that  
12 the sign at the entrance off Ogden Avenue, which  
13 is 1, all right, ought to include some reference  
14 to the other, other 2, maybe other 2 entities  
15 that are in this property? That being the  
16 Spinning Wheel Properties and the Robert Crown.

17 VICE CHAIRMAN GILTNER: So personally I  
18 think it should.

19 MR. BIGGERT: And that's a Plan  
20 Commission issue.

21 VICE CHAIRMAN GILTNER: So I think that  
22 could be a recommendation that we make if they

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1 VICE CHAIRMAN GILTNER: But it's right  
2 before the street of Spinning Wheel Road.

3 MR. PODLISKA: But if you put it to the  
4 right of the drive, now you are going to --

5 MS. ENGEL: Yes, then you would miss  
6 Elm.

7 MR. PODLISKA: Now you are going to --  
8 And there is already a sign there that's  
9 directing people who are going to the right.

10 VICE CHAIRMAN GILTNER: Right.

11 MR. PODLISKA: That might actually make  
12 it more confusing.

13 VICE CHAIRMAN GILTNER: I guess, you  
14 know, one possible solution is if there is some  
15 way for these groups to work together on a -- I  
16 know this is a gap in the code, but it does  
17 really suggest that there needs to be more  
18 consistency in these sort of situations ideally.  
19 I mean I think that's what we are trying to get  
20 to here.

21 And you know, one, one maybe one  
22 outcome of the Planning Commission would be that

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1 haven't already thought of it already. So yes,  
2 I would agree since it's not our jurisdiction  
3 that we can make that as a recommendation.

4 MR. BIGGERT: Can we put that into a  
5 motion?

6 VICE CHAIRMAN GILTNER: We can do that  
7 either all at one time or individually I  
8 suppose. Chris or Robb, do you know?

9 MR. MC GINNIS: The only thing that I  
10 ask is that you incorporate some caveat into  
11 your motion that allows us the ability to deny  
12 that if, in fact, we end up with an IDOT problem  
13 or a visibility problem.

14 MR. PODLISKA: So that would make it a  
15 condition of our approval rather than a  
16 recommendation along with our approval.

17 VICE CHAIRMAN GILTNER: Well, does the  
18 IDOT condition, though, isn't that automatic?

19 MR. BIGGERT: Yes. Right.

20 MR. MC GINNIS: I don't want to have to  
21 have that fight later.

22 VICE CHAIRMAN GILTNER: Okay.  
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1 MR. MC GINNIS: I mean arguably, yeah,  
2 IDOT would have jurisdiction over something so  
3 important as a sight line problem at an  
4 intersection but certainly would like to avoid  
5 it if possible or make it a condition of to  
6 John's point.

7 VICE CHAIRMAN GILTNER: Okay. So the  
8 illumination seems like everyone has enough  
9 information, they can make a decision on that.  
10 The location sounds like we could probably put a  
11 motion together to get a vote on that with any  
12 conditions.

13 So that the number of signs, square  
14 footage. Anyone have an issue with the square  
15 footage if the number of signs stays the same?

16 MR. PODLISKA: No.

17 VICE CHAIRMAN GILTNER: Is that --  
18 Okay.

19 MR. MOBERLY: No. If anything, it  
20 would help the cause, which is to make things  
21 more visible --

22 VICE CHAIRMAN GILTNER: Well, fit more  
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1 room for other entities.

2 Okay. So then I think we probably  
3 could create a motion that factors this  
4 together. Because I think to do them  
5 individually we might not capture everything  
6 with each one.

7 MR. MOBERLY: Do you want to reopen the  
8 hearing? You have a person, a petitioner --

9 VICE CHAIRMAN GILTNER: Does anyone  
10 want to make a motion to reopen the hearing?

11 MS. MOSE: Could I say something?

12 VICE CHAIRMAN GILTNER: Technically --

13 MR. CONNELLY: I make a motion to  
14 reopen.

15 VICE CHAIRMAN GILTNER: Okay.

16 MR. MOBERLY: Second.

17 VICE CHAIRMAN GILTNER: Roll call,  
18 please.

19 MS. BRUTON: Member Connelly?

20 MR. CONNELLY: Aye.

21 MS. BRUTON: Member Moberly?

22 MR. MOBERLY: Yes.

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1 MS. BRUTON: Member Biggert?

2 MR. BIGGERT: Abstain.

3 MS. BRUTON: Okay.

4 Member Engel?

5 MS. ENGEL: Yes.

6 MS. BRUTON: Member Podliska?

7 MR. PODLISKA: Yes.

8 MS. BRUTON: Vice Chairman Giltner?

9 VICE CHAIRMAN GILTNER: Yes.

10 (Whereupon the public hearing  
11 was resumed, which is not  
12 made a part of this  
13 record.)

14 (Whereupon deliberations  
15 resumed as follows:)

16 VICE CHAIRMAN GILTNER: So I think we  
17 need to put a motion together, a motion for  
18 approval of a variance based on certain  
19 conditions. And --

20 MS. ENGEL: I have a question before --

21 VICE CHAIRMAN GILTNER: Yes.

22 MS. ENGEL: Were all the, all the  
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1 buildings on Salt Creek and Spinning Wheel  
2 invited and had notice of this?

3 MR. COULES: Notification was given to  
4 everybody. It's of record. Chris has them.

5 MS. BRUTON: Uh-huh.

6 MS. ENGEL: Okay.

7 VICE CHAIRMAN GILTNER: So does anyone  
8 want to take a crack at a motion with approval  
9 of the variance based on a specific condition?

10 MR. BIGGERT: Well, we could start  
11 by --

12 VICE CHAIRMAN GILTNER: Listing the  
13 conditions, right?

14 MR. BIGGERT: Motion to approve the  
15 variance as requested for the illumination of  
16 the sign, to approve the number of the signs --

17 MS. ENGEL: As 8?

18 MR. BIGGERT: Whatever it is.

19 MR. MOBERLY: 8 ground signs.

20 MR. BIGGERT: 8. Those are two-sided  
21 signs we see.

22 VICE CHAIRMAN GILTNER: As proposed in  
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1 the application.

2 MR. BIGGERT: As proposed. Motion to  
3 approve the off-site location of, what, sign  
4 No. 1; is that right? Is that the only one?

5 MR. CONNELLY: 2.

6 MR. BIGGERT: 2 is not offsite, is it?

7 MR. CONNELLY: Okay. 1 and 2 should be  
8 the line of sight-contingent location.

9 VICE CHAIRMAN GILTNER: Right.

07:25:09PM

10 MR. BIGGERT: Just the location. The  
11 content of these signs, if we want to, the No. 1  
12 has been up for a lot discussion. That's the  
13 last thing, the location.

14 Well, wait a minute. What did I  
15 say?

16 MR. MOBERLY: Square footage also.

17 MR. MC GINNIS: I don't think that it  
18 would hurt to have it all contingent upon  
19 approval or no objection by IDOT.

07:25:33PM

20 MR. BIGGERT: Okay. We can add that  
21 in.

22 VICE CHAIRMAN GILTNER: Yes. I think  
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1 enough.

2 VICE CHAIRMAN GILTNER: Yes. And then,  
3 well --

4 MR. BIGGERT: Are we okay with sign  
5 No. 2 location, do we leave it where it is?

6 MR. PODLISKA: Yes.

7 MR. BIGGERT: And the other locations  
8 we're okay with, all the other ones?

9 VICE CHAIRMAN GILTNER: Right. Yeah.

07:26:00PM

10 I thought so. I guess we can --

11 MR. MOBERLY: Yes.

12 MR. CONNELLY: Yes.

13 VICE CHAIRMAN GILTNER: And the  
14 motion --

15 MR. BIGGERT: And the entire motion is  
16 subject to -- We've got to get IDOT in here.

17 VICE CHAIRMAN GILTNER: Well, I think  
18 we've covered -- We will cover IDOT sort of  
19 generally, maybe just as, All variations

07:26:18PM

20 requested are subject -- Or approval is subject  
21 to IDOT approval across --

22 MR. PODLISKA: Can we just lead with  
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1 that might just be kind of an overlay on  
2 everything.

3 MR. BIGGERT: Sure. I do not have a  
4 problem with that. But the one argument, the  
5 request for variation on the square footage, the  
6 variance for additional square footage as  
7 requested.

8 VICE CHAIRMAN GILTNER: Right.

07:26:56PM

9 MR. BIGGERT: And then the fourth is  
10 the location. Do we have a problem with the  
11 location setting aside for the moment the  
12 content?

13 MR. MOBERLY: And the IDOT.

14 MR. BIGGERT: That would be an overlay  
15 for everything.

16 VICE CHAIRMAN GILTNER: Yes. I mean to  
17 me the location of sign 1 subject to approval  
18 from IDOT and with the recommendation to the  
19 Planning Commission for appropriate signage to  
20 reflect the multiple entities that exist in this  
21 area.

22 MR. BIGGERT: Okay. That's general  
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1 that subject, subject to the approval?

2 VICE CHAIRMAN GILTNER: Yes.

3 MR. PODLISKA: Subject to IDOT's  
4 approval?

5 VICE CHAIRMAN GILTNER: Sure.

6 MR. BIGGERT: I mean we are granting,  
7 We recommend we grant the variances in the  
8 following manner: 1, illumination, etcetera.

9 VICE CHAIRMAN GILTNER: Right. And I

07:26:58PM

10 think in addition to commenting specifically on  
11 1, I think we should comment specifically on  
12 sign No. 2.

13 MR. CONNELLY: I would just ask if it  
14 has to be affirmative, if it has to be IDOT  
15 approval or the lack of an objection by IDOT?

16 MR. MC GINNIS: Thank you.

17 MR. PODLISKA: Oh, you are right. That  
18 would make it that IDOT would actually have to  
19 weigh in if we said, Subject to their approval.

07:27:00PM

20 MR. MOBERLY: Good.

21 VICE CHAIRMAN GILTNER: So suggested  
22 wording maybe from anyone? Or Robb, do you have  
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1 anything just to make it easier, cleaner?  
 2 MR. MC GINNIS: Yes. It's more  
 3 concerns of an objection.  
 4 VICE CHAIRMAN GILTNER: Okay.  
 5 MR. MC GINNIS: To try and get these  
 6 signs approved by IDOT would be --  
 7 VICE CHAIRMAN GILTNER: So  
 8 notwithstanding --  
 9 MR. PODLIKA: So subject to objection  
 10 by IDOT.  
 11 MR. BIGGERT: Subject to the objection.  
 12 MR. MC GINNIS: Right. Or sign,  
 13 location of sign 1 pending any objection.  
 14 MR. BIGGERT: Affirmatively.  
 15 MS. BRUTON: So hold on.  
 16 MR. PODLIKA: Subject to objection by  
 17 IDOT.  
 18 MS. BRUTON: I thought you guys said  
 19 that you wanted to have the IDOT condition on  
 20 all the signs.  
 21 VICE CHAIRMAN GILTNER: But that would  
 22 sort of lead the approval --  
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1 MS. BRUTON: Okay.  
 2 MR. PODLIKA: We will lead off with  
 3 saying --  
 4 VICE CHAIRMAN GILTNER: By saying it at  
 5 the beginning.  
 6 MR. PODLIKA: -- all of it is subject  
 7 to objection of by IDOT.  
 8 MS. BRUTON: Or a lack of same.  
 9 MR. PODLIKA: Subject to their  
 10 objection.  
 11 MS. BRUTON: Subject to --  
 12 MR. MC GINNIS: Sign 1 would be the  
 13 only sign in question.  
 14 VICE CHAIRMAN GILTNER: Well, it  
 15 sounded like sign 2, something about that  
 16 intersection. I thought it was closer.  
 17 MR. MC GINNIS: It's a private road.  
 18 IDOT is not going to have any input on that.  
 19 VICE CHAIRMAN GILTNER: Okay. So,  
 20 Chris, did you get the things that Rody --  
 21 MS. BRUTON: Well, let me take a stab  
 22 at something. Okay?  
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1 VICE CHAIRMAN GILTNER: Because we  
 2 also, I think I want to see if everyone would  
 3 agree that we should put something in for No. 2.  
 4 MS. BRUTON: Okay. What sounded clear  
 5 to me was, Move to approve the requested  
 6 variation requests with respect to illumination,  
 7 the number of signs, square footage -- are  
 8 those all the -- and the offsite location.  
 9 MR. PODLIKA: And to allow --  
 10 VICE CHAIRMAN GILTNER: With the  
 11 exception of --  
 12 MR. PODLIKA: -- off-premises  
 13 identification signs subject to --  
 14 VICE CHAIRMAN GILTNER: Yes.  
 15 MR. MC GINNIS: The following  
 16 conditions.  
 17 VICE CHAIRMAN GILTNER: Well, and I  
 18 think we also -- Chris, I don't think you had  
 19 that preceded by the, Subject to IDOT?  
 20 MS. BRUTON: Well, I didn't because  
 21 according to -- IDOT really only has anything  
 22 to do with the location of sign No. 1 is what we  
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1 are saying so why make it apply to all of it.  
 2 VICE CHAIRMAN GILTNER: Okay.  
 3 MR. PODLIKA: That's fine. Then put  
 4 those three in and then say, Subject to  
 5 objection by IDOT, approve the off-premises  
 6 identification signs on the condition that the  
 7 Plan Commission approve --  
 8 MR. CONNELLY: The recommendation.  
 9 VICE CHAIRMAN GILTNER: With the  
 10 recommendation.  
 11 MS. BRUTON: With the recommendation.  
 12 VICE CHAIRMAN GILTNER: For appropriate  
 13 sign content that takes into account all the  
 14 properties. Because that's a recommendation.  
 15 MR. BIGGERT: It recognizes the  
 16 other --  
 17 MR. PODLIKA: That's a recommendation  
 18 that the content of the signs not create  
 19 confusion.  
 20 MS. ENGEL: Clearly identified.  
 21 MR. BIGGERT: How about this, that the  
 22 content of the sign recognizes the other -- the  
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1 word constituency comes to mind, but that's too  
2 big a word -- recognizes the other users of the  
3 property.

4 MS. BRUTON: Or maybe, All properties  
5 located on this campus.

6 MR. BIGGERT: Yes, there you go.

7 MR. PODLISKA: That's it.

8 MR. MC GINNIS: Or within the park,  
9 within the office park campus.

08:06:15PM 10 MS. BRUTON: Within the office park  
11 campus. Do you guys like that?

12 VICE CHAIRMAN GILTNER: As long as it's  
13 sort of defined I mean.

14 MS. ENGEL: I'm thinking in the  
15 beginning of the preliminary it should be, that  
16 it's accepted --

17 MR. MC GINNIS: What's a better way of  
18 putting that?

19 MS. ENGEL: -- pursuant to or as it's  
20 proposed or requested in the -- pursuant to the  
21 application.

22 MS. BRUTON: Okay. Let me --  
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1 can come to the Planning Commission and make the  
2 same arguments they made tonight, and then the  
3 Planning Commission can decide on the content.  
4 So I think we are getting into their bailiwick a  
5 little bit.

6 MR. MC GINNIS: And they absolutely  
7 will have a copy of the transcript.

8 VICE CHAIRMAN GILTNER: We are just,  
9 they will making -- They will understand. They  
10 would understand, too, that these are --

11 MR. PODLISKA: We are not invading  
12 their province. We are just letting them --  
13 making sure they understand the circumstances  
14 under which we approve the location.

15 MR. MOBERLY: So they understand our  
16 reasoning, right.

17 MR. CONNELLY: Reduce confusion.

18 VICE CHAIRMAN GILTNER: So did you get  
19 the part about sign No. 1, Chris?

08:06:47PM 20 MS. BRUTON: Let me, I will start over.  
21 Okay?

22 VICE CHAIRMAN GILTNER: Okay.  
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1 MR. MC GINNIS: Well, I mean, Matt  
2 Klein brings up a good point, that the  
3 properties on Spinning Wheel technically aren't  
4 within the park.

5 VICE CHAIRMAN GILTNER: All right.

6 MS. BRUTON: Okay. So you don't like  
7 that.

8 MR. MC GINNIS: So you probably have to  
9 specifically mention those properties that need  
08:06:57PM 10 access to Spinning Wheel. Those properties off  
11 of Spinning Wheel.

12 MR. CONNELLY: Tenants aside from the  
13 applicant?

14 MS. ENGEL: Or the access through --

15 VICE CHAIRMAN GILTNER: Yeah, access.

16 MR. PODLISKA: Through Spinning Wheel  
17 Road.

18 MS. ENGEL: Access from Salt Creek  
19 Road.

20 MR. BIGGERT: Salt Creek Road, right.

21 MR. MOBERLY: Do we need to tell the  
22 Plan Commission what to do? Because everybody

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1 MS. BRUTON: Approval of a -- Move to  
2 approve a variance, a variance as requested with  
3 respect to illumination, the number of signs, 8  
4 as proposed, off-site location and square  
5 footage; sign No. 1 subject to IDOT objections  
6 with the recommendation to the Plan Commission  
7 for appropriate signage to reflect the multiple  
8 entities --

9 Clearly I need to work on this.

08:06:59PM 10 MS. ENGEL: Access.

11 MS. BRUTON: -- those properties who  
12 require access to Salt Creek Road.

13 MR. BIGGERT: Salt Creek Lane.

14 MS. BRUTON: It's kind of a mess.  
15 Salt Creek Lane? Thanks.

16 Access --

17 MR. COULES: Yes.

18 MS. ENGEL: Access from Salt Creek  
19 Lane?

08:07:10PM 20 MR. PODLISKA: Yes.

21 MS. BRUTON: Okay. Okay. Approval of  
22 a variance as requested with respect to

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1 illumination, the number of signs --

2 VICE CHAIRMAN GILTNER: So we should  
3 also decide about the location of sign No. 2.

4 MS. BRUTON: Oh, right. Okay.

5 VICE CHAIRMAN GILTNER: I mean before  
6 we make the motion, before we complete the  
7 motion. Because I think I mean that would be  
8 good if we can to get some consensus on that.  
9 So I --

08:07:12 PM 10 MR. BIGGERT: I think John summed it up  
11 pretty well. You want to stay with the median  
12 location because it's confusing to move it over  
13 to the right, people that are going to want to  
14 turn left.

15 MR. PODLISKA: Yes. Because the arrows  
16 on that sign are going straight ahead and to the  
17 left.

18 MR. BIGGERT: Yes. I agree.

19 VICE CHAIRMAN GILTNER: So would you  
20 then, but again sort of conditional or with a  
21 recommendation to the Planning Commission that  
22 it takes into consideration that --

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1 MS. ENGEL: Access to Spinning Wheel.

2 VICE CHAIRMAN GILTNER: -- access,  
3 yeah, access to all properties.

4 MR. PODLISKA: If the issue of  
5 modifying the content of sign No. 2 is still  
6 there in light of the fact that there is another  
7 sign leading over to Spinning Wheel, right?

8 VICE CHAIRMAN GILTNER: Yeah. I mean  
9 technically it's not, I don't think it's very  
10 effective. And this sign in the median will  
11 probably be the most conspic -- And this would  
12 be the one that's visible. But maybe, maybe we  
13 just, in effect, punt a little bit and say,  
14 Based on the recommendation that the Planning  
15 Commission considers appropriate signage based  
16 on that location of a sign.

17 MR. PODLISKA: Appropriate sign content  
18 to avoid confusion.

19 VICE CHAIRMAN GILTNER: Yes, something  
20 like that, which will at least let them --  
21 Which they probably do anyways with signs and  
22 content. But just because location and content

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1 are kind of connected, that we just state the  
2 concern of having -- making sure that has the  
3 appropriate content, the same way we did that  
4 for sign No. 1.

5 MR. PODLISKA: We might be able to put  
6 both of them together, sign No. 1 and sign  
7 No. 2, use the same language for both of them.

8 MS. BRUTON: Right.

9 MR. PODLISKA: With a recommendation  
10 and content of the signs --

11 VICE CHAIRMAN GILTNER: Yes.

12 MR. BIGGERT: This is really up to the  
13 Planning Commission. We put more, you put more  
14 on sign No. 2, more content in there, more  
15 directions, it would be totally incompre-  
16 hensible. It's already hard enough to read now.

17 VICE CHAIRMAN GILTNER: Right. So, no,  
18 I think that's a good idea. Combine sign 1 and  
19 2 because they are -- We are agreeing to the  
20 location for both, but we are concerned about  
21 the content. And we would like the planing  
22 commission --

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1 MR. BIGGERT: Leave it general, yes.

2 VICE CHAIRMAN GILTNER: Yes.

3 MR. BIGGERT: Content with reference to  
4 the other --

5 VICE CHAIRMAN GILTNER: It's their  
6 jurisdiction.

7 MR. BIGGERT: Chris, you had it there  
8 for a minute. The other people that use this,  
9 use the property, or that need access to the  
10 property, something like that.

11 MS. BRUTON: Now, we had sort of left  
12 that I thought at recognizing those properties  
13 who require access from Salt Creek Lane.

14 So you are saying you want to call  
15 out sign 1 and 2 for Plan Commission to consider  
16 the content?

17 MR. BIGGERT: 1 and 2. Right.

18 VICE CHAIRMAN GILTNER: Along with  
19 the --

08:09:56 PM 20 MS. BRUTON: Sign 1 is subject to IDOT  
21 objection. But as far as location, we are okay.  
22 Am I right?

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1 MR. BIGGERT: I think that works.  
2 VICE CHAIRMAN GILTNER: Right.  
3 MR. PODLISKA: Yes.  
4 MS. BRUTON: Okay. Let me try this one  
5 more time, and I apologize. It's getting kind  
6 of mushy here.

7 A motion to approve the variance as  
8 requested with respect to illumination, the  
9 number of signs as proposed, the offsite --

06:10:21PM 10 Do we want to say the offsite  
11 location, or do we just want to say the location  
12 of the signage? Do we need to specify offsite?

13 MS. ENGEL: Off-premise identification  
14 signs.

15 MS. BRUTON: Off premises. Okay. Is  
16 that all 8 of them?

17 MR. COULES: There is 9.

18 MS. BRUTON: There is 9.

19 [IEZ SPEAKER 01]: The variance is 8,  
06:10:41PM 20 we are allowed 1.

21 MS. BRUTON: Okay. Off premises --  
22 Say that again.

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1 MR. BIGGERT: All proposed signs.

2 MS. ENGEL: Identification of signs.

3 MR. BIGGERT: All proposed signs.

4 Don't give a number.

5 MS. BRUTON: Okay. I am removing the  
6 number.

7 Okay. Approve variances as  
8 requested with respect to illumination, proposed  
9 off-premises identification sign location -- is  
06:11:07PM 10 that okay -- square footage --

11 And square footage.

12 MS. ENGEL: And number of signs.

13 MS. BRUTON: Okay.

14 [IEZ SPEAKER 01]: It's 8 signs total.

15 Sorry. They took one out originally. In the  
16 original submittal, there is 8 --

17 VICE CHAIRMAN GILTNER: 8 ground signs.

18 MS. BRUTON: Square footage --

19 MS. ENGEL: Take it right off of --

20 MS. BRUTON: I will pull it directly  
21 off that. And number of signs. Okay. The  
22 zoning --

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1 I start a new sentence, The Zoning  
2 Board of Appeals recommends that the Plan  
3 Commission review appropriate sign content to  
4 recognize those properties who require access  
5 from Salt Creek Lane; with respect to sign 1, it  
6 would be subject to IDOT objection.

7 VICE CHAIRMAN GILTNER: Yes. And  
8 could, well, could we say like a for example for  
9 sign 1, Robert Crown Center; or do you think  
06:12:09PM 10 that's too specific?

11 MR. BIGGERT: Let them, let them.

12 VICE CHAIRMAN GILTNER: Or there is  
13 enough that they have heard enough of that in  
14 the transcript. Okay.

15 MS. BRUTON: And Rody made that motion  
16 technically I guess.

17 VICE CHAIRMAN GILTNER: Yes, okay.

18 MR. BIGGERT: Does that mean I'm  
19 responsible for it?

06:12:31PM 20 MS. BRUTON: Yes, sir.

21 VICE CHAIRMAN GILTNER: Okay. I think  
22 we need a motion.

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1 Motion to approve?

2 MR. BIGGERT: Motion as stated by --  
3 What is your official title?

4 MS. BRUTON: On this board, I'm  
5 secretary to the board.

6 MR. BIGGERT: The motion as  
7 stated by the secretary to the board be  
8 approved.

9 MR. PODLISKA: Second.

06:12:56PM 10 VICE CHAIRMAN GILTNER: Roll call.

11 MS. BRUTON: Member Connelly?

12 MR. CONNELLY: Aye.

13 MS. BRUTON: Member Moberly?

14 MR. MOBERLY: Yes.

15 MS. BRUTON: Member Biggert?

16 MR. BIGGERT: Yes.

17 MS. BRUTON: Member Engel?

18 MS. ENGEL: Yes.

19 MS. BRUTON: Member Podliska?

06:12:59PM 20 MR. PODLISKA: Yes.

21 MS. BRUTON: Vice Chair Giltner?

22 VICE CHAIRMAN GILTNER: Yes.

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1 MS. BRUTON: So moved.

2 \* \* \*

3 (Which were all the  
4 proceedings had in the  
5 above-entitled cause.)  
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1 STATE OF ILLINOIS )  
2 ) SS:  
3 COUNTY OF DU PAGE )  
4  
5

6 I, JANICE H. HEINEMANN, CSR, RDR, CRR, do  
7 hereby certify that I am a court reporter doing  
8 business in the State of Illinois, that I  
9 reported in shorthand the testimony given at the  
10 hearing of said cause, and that the foregoing is  
11 a true and correct transcript of my shorthand  
12 notes so taken as aforesaid.  
13  
14  
15

16 Janice H. Heinemann CSR, RDR, CRR  
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19  
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22

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**VILLAGE OF HINSDALE  
ZONING BOARD OF APPEALS  
MINUTES OF THE MEETING  
April 15, 2015**

**1. CALL TO ORDER**

Vice-Chairman Keith Giltner called the regularly scheduled meeting of the Zoning Board of Appeals to order on Wednesday, April 15, 2015 at 6:30 p.m. in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, Illinois.

**2. ROLL CALL**

**Present:** Vice-Chairman Keith Giltner, Members Marc Connelly, Gary Moberly, Rody Biggert, Kathryn Engel and John Podliska

**Absent:** Chairman Bob Neiman

**Also Present:** Director of Community Development/Building Commissioner Robb McGinnis and Village Clerk Christine Bruton

**3. APPROVAL OF MINUTES**

**a) March 18, 2015**

Member Moberly moved **to approve the minutes of the meeting of March 18, 2015, as presented.** Member Biggert seconded the motion.

**AYES:** Members Moberly, Biggert, Engel, Podliska and Vice-Chairman Giltner

**NAYS:** None

**ABSTAIN:** Member Connelly

**ABSENT:** Chairman Neiman

Motion carried.

**4. APPROVAL OF FINAL DECISION**

**a) V-01-15, 321 East Ninth Street**

b) Corrections were made to the draft Final Decision. Member Moberly moved **to approve the Final Decision for V-01-15, 321 East Ninth Street, as amended.** Member Engel seconded the motion.

**AYES:** Members Moberly, Biggert, Engel, Podliska and Vice-Chairman Giltner

**NAYS:** None

**ABSTAIN:** Member Connelly

**ABSENT:** Chairman Neiman

Motion carried.

1 **5. RECEIPT OF APPEARANCES** – The court reporter administered the oath to  
2 all those intending to speak at the public hearing.

3  
4 **6. RECEIPT OF REQUESTS, MOTIONS, PLEADINGS, OR REQUESTS TO**  
5 **MAKE PUBLIC COMMENT OF A GENERAL NATURE** – None

6  
7 **7. PRE-HEARING AND AGENDA SETTING** – None

8  
9 **8. PUBLIC HEARINGS**

10 a) **V-02-15, 36 - 42 South Washington Street**

11 No public hearing was held on this matter as the application was withdrawn  
12 by the applicant.

13  
14 b) **V-03-15, Salt Creek Properties, LLC**

15 Mr. Peter Coules, attorney for the applicant and Ms. Kim Cardosi, the sign  
16 designer for the project, addressed the Board. Mr. Coules stated that what  
17 is being proposed are eight way finding signs which include the names of  
18 all the properties in the area, not just those properties owned by Salt Creek  
19 Properties, LLC. He made specific note of the Robert Crown Center. This  
20 is a campus setting and the proposed signage has been designed as such.  
21 They are not requesting a variance for the monument sign, because the  
22 existing sign is being taken down and moved to make it a true way finding  
23 sign. The sign is more than an address; it lists the other businesses on the  
24 campus. Mr. Coules explained they need relief for the size of the sign as  
25 only 100' square feet of signage is allowed, but the proposed sign is 110'  
26 square feet. They want to put lights inside the sign that project down; they  
27 will not be backlit. The lighting is important for the immediate care center  
28 so that people can locate their destination quickly. It was noted that  
29 nowhere in the code does it state off-premises signs are allowed.

30 He personally can attest to how many people get lost in this area and  
31 believes there is a real need for the proposed signage. The number of  
32 signs, the size of the signs and the lighting is before the ZBA for approval,  
33 the content will go back to the Plan Commission for approval.

34 Ms. Cardosi said the base of the signs will match the limestone of the  
35 buildings and will have the same aesthetic as the architecture on the  
36 campus. The illumination will surface light the sign providing enhanced  
37 legibility and improved visibility at night. Way finding is a critical key of the  
38 environment in situations where people are in distress. Some people will  
39 be looking for the hospital and it is even more important to provide stress  
40 free direction on a medical campus such as this. These signs will provide  
41 departure directions, too, as there will be information on both sides of the  
42 signs.

43 Mr. Coules said all 16 faces of the signs will be illuminated and the signs  
44 are approximately six feet in height. Member Podliska asked whether this  
45 will create a driving obstruction. Ms. Cardosi explained that when they do  
46 the actual physical siting of the sign, a full-sized mock up is made to ensure

1 there is no obstruction to site lines. This will be done again with the sign  
2 fabricator at installation. Part of the site plan approval from the Plan  
3 Commission includes the removal of existing signs; all the white wood  
4 panel signs will be removed. The Cancer Center signs recently erected will  
5 remain, and they match the Cancer Center architecture.

6 Mr. Matt Kline, attorney for the owners of 15 and 21 Spinning Wheel Road,  
7 addressed the Board. He commented that his clients are in favor of  
8 appropriate signage, but object to what is indicated for signs #1 and #2  
9 because they believe these signs would have a negative safety impact and  
10 be more confusing. He noted that these signs are off premises to the  
11 applicant present tonight. The applicant may not have a right to provide a  
12 sign at that location. He recommends taking the sign off the median and  
13 noted there are a host of businesses that are not listed on the proposed  
14 monument sign. He believes more consideration is needed. Vice-Chair  
15 Giltner agrees it is a valid point that other businesses are not listed, but this  
16 proceeding can only approve the location of the sign. He believes the  
17 association has jurisdiction over the location of public way signs, not the  
18 individual owners. Discussion followed.

19 Mr. Coules noted that the applicant for signs #1 and #2 is the association.  
20 However, this is a private road plowed by the association and he is not  
21 worried about the legal authority. Discussion followed regarding moving  
22 sign #2 further north; Mr. Coules believes that would make no sense. Ms.  
23 Cardosi added that her firm studied every location of every sign; the signs  
24 should be in advance of the decision point and located very forward of the  
25 turn. The same is true for sign #1; for the majority of the traffic the  
26 information on that sign needs to be forward of the intersection. Mr. Kline  
27 reiterated his position.

28 Discussion followed regarding who is making the application for variation  
29 before the Board.

30  
31 *Vice-Chairman Giltner called a five minute recess at the request of Mr.*  
32 *Kline to allow Mr. Coules and Mr. Kline to converse.*  
33

34 Vice-Chairman Giltner reconvened the meeting. Mr. Coules stated he  
35 would get written permission from the association to erect signs #1 and #2  
36 before final approval for the permits. He stated that the attorney for the  
37 association knows that he is before the ZBA tonight.

38 Discussion followed regarding the impact of the Cancer Treatment Center  
39 on the need and type of signage, the recommendations of the Plan  
40 Commission and possible input from IDOT regarding the location of sign  
41 #1. The Board discussed an approval with conditions, or a modified  
42 approval.

43 **Member Biggert moved to close the Public Hearing on V-03-15, Salt**  
44 **Creek Properties, LLC.** Member Moberly seconded the motion.  
45  
46

1 **AYES:** Members Connelly, Moberly, Biggert, Engel Podliska and Vice-  
2 Chairman Giltner

3 **NAYS:** None

4 **ABSTAIN:** None

5 **ABSENT:** Chairman Neiman

6  
7 Motion carried.

8 **DELIBERATION**

9  
10 Vice-Chair Giltner recapped those aspects before the Board for consideration  
11 which are; off-premises identification signs, illumination, 8 ground signs in lieu  
12 of one permitted, and the total square footage of the signs.

13 The Board agreed the illumination of the signs as proposed sounds like an  
14 improvement, it is not excessive. The Board had no problem with the square  
15 footage requested or the number of signs proposed.

16 With respect to sign #1, the Board concluded that the location was satisfactory  
17 unless IDOT over-ruled this decision. However, they acknowledged that if the  
18 content of this monument sign only referenced the Salt Creek Medical  
19 Campus, to Mr. Kline's point, it could be confusing to those persons looking for  
20 the other entities on Spinning Wheel Road. The Board agreed to make a  
21 recommendation to the Plan Commission to review the content of the signs.  
22 All of the groups impacted can address the Plan Commission at their meeting  
23 on this matter.

24  
25 **PUBLIC HEARING**

26  
27 Member Connelly moved to reopen the public hearing on **V-03-15, Salt Creek**  
28 **Properties, LLC**. Member Moberly seconded the motion.

29  
30 **AYES:** Members Connelly, Moberly, Engel Podliska and Vice-Chairman Giltner

31 **NAYS:** None

32 **ABSTAIN:** Member Biggert

33 **ABSENT:** Chairman Neiman

34  
35 Motion carried.

36  
37 The public hearing was reopened to allow the comments of Ms. Janet Mose,  
38 Hinsdale resident, who wanted clarification as to how many and which entities  
39 were involved in this proposal. It was confirmed that there are four properties  
40 included; these are the MedProperties buildings, an office building, the Spinning  
41 Wheel apartments and the Robert Crown Center. Member Engel **moved to re-**  
42 **close the Public Hearing on V-03-15, Salt Creek Properties, LLC**. Member  
43 Connelly seconded the motion.

44  
45 **AYES:** Members Connelly, Moberly, Biggert, Engel Podliska and Vice-Chairman  
46 Giltner



1 **NAYS:** None  
2 **ABSTAIN:** None  
3 **ABSENT:** Chairman Neiman  
4

5 Motion carried.

6 **DELIBERATIONS - RESUMED**  
7

8 Member Biggert moved **approval of the variance known as V-03-15, Salt Creek**  
9 **Properties, LLC. as requested with respect to proposed illumination,**  
10 **location of off premises signs, on condition of IDOT location and site line**  
11 **approval for sign #1, square footage and number of signs on the**  
12 **recommendation that the Plan Commission review appropriate sign content**  
13 **and recognize those properties who require access from Salt Creek Lane.**  
14 Member Podliska seconded the motion.  
15

16 **AYES:** Members Connelly, Moberly, Biggert, Engel Podliska and Vice-Chairman  
17 Giltner

18 **NAYS:** None

19 **ABSTAIN:** None

20 **ABSENT:** Chairman Neiman  
21

22 Motion carried.  
23

24 **9. NEW BUSINESS – None**  
25

26 **10. OTHER BUSINESS – None**  
27

28 **11. ADJOURNMENT**

29 With no further business before the Zoning Board of Appeals, Member Engel  
30 made a motion to **adjourn the meeting of the Zoning Board of Appeals of**  
31 **April 15, 2014.** Member Moberly seconded the motion.  
32

33 **AYES:** Members Connelly, Moberly, Biggert, Engel Podliska and Vice-  
34 Chairman Giltner

35 **NAYS:** None

36 **ABSTAIN:** None

37 **ABSENT:** Chairman Neiman  
38

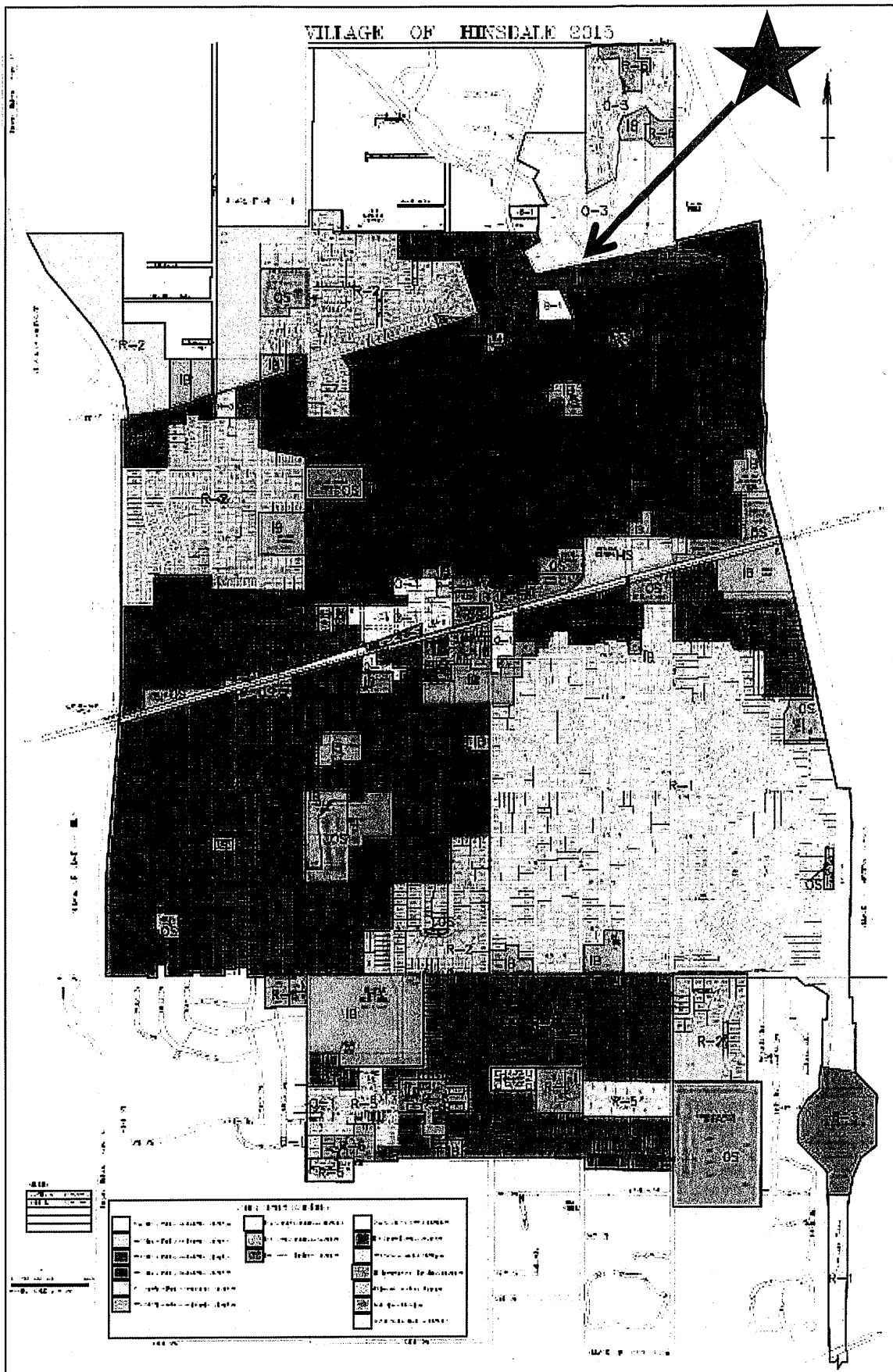
39 Motion carried.  
40

41 Vice-Chairman Giltner declared the meeting adjourned at 8:13 p.m.  
42  
43

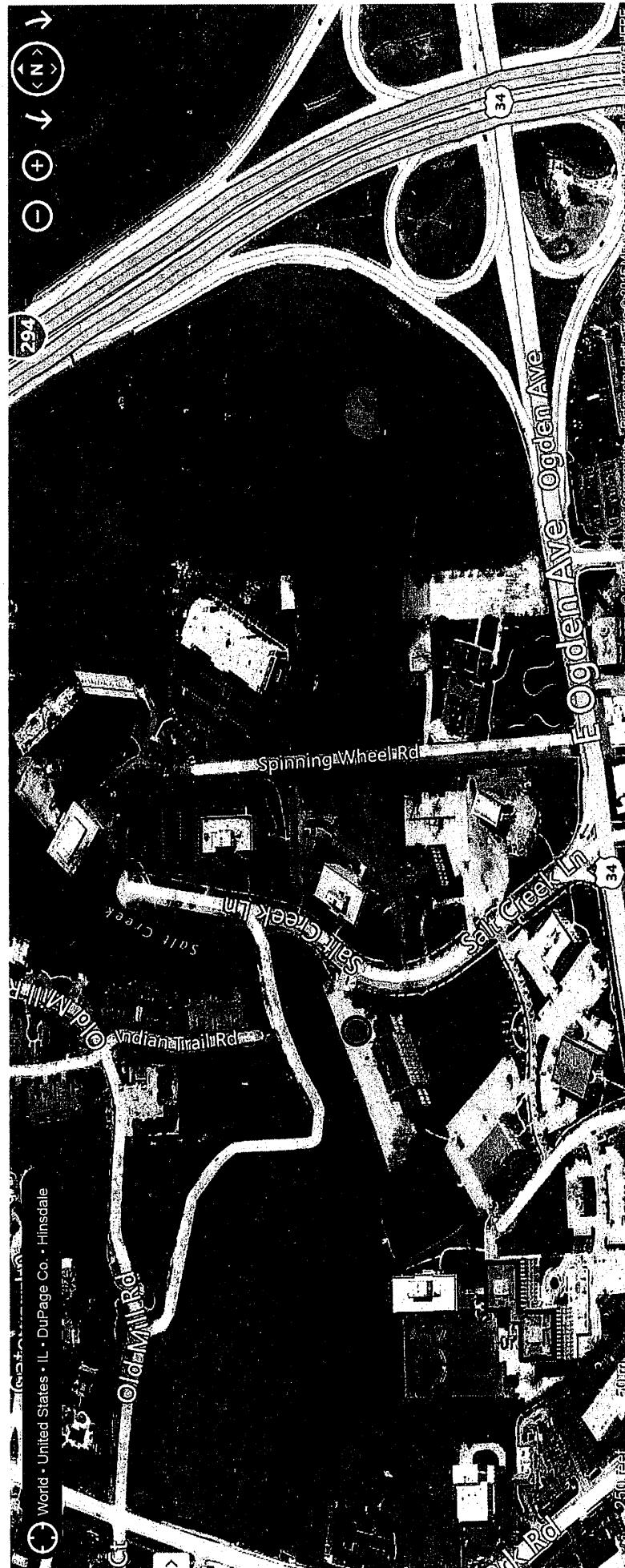
44 Approved: \_\_\_\_\_

45 \_\_\_\_\_  
46 Christine M. Bruton  
Village Clerk

# Attachment 6: Village of Hinsdale Zoning Map and Project Location★



**Attachment 7: Birds Eye View Sign Application Location.**





VILLAGE OF HINSDALE  
COMMUNITY DEVELOPMENT DEPARTMENT  
APPLICATION FOR SIGN PERMIT

**Applicant**

Name: Med Properties/ Salt Creek Campus, LLC  
Address: 40 Skokie Blvd, Suite 410  
City/Zip: Northbrook, IL 60062  
Phone/Fax: (847) 897-7310 /  
E-Mail: bdvorak@medpropertiesgroup.com  
Contact Name: Bill Dvorak

**Contractor**

Name: Cardosi-Kiper Design Group  
Address: 2437 South Western Ave.  
City/Zip: Chicago, IL 60608  
Phone/Fax: (773) 523-9300 / 773-523-9305  
E-Mail: kcardosi@ck-dg.com  
Contact Name: Kim Cardosi

**ADDRESS OF SIGN LOCATION:** 10, 11, 12 Salt Creek Lane; 901, 907 Elm St.

**ZONING DISTRICT:** O-3 General Office District

**SIGN TYPE:** Monument Sign

**ILLUMINATION** Up Lit and Down Lit

**Sign Information:** See Attached.

Overall Size (Square Feet): \_\_\_\_\_ ( \_\_\_\_\_ x \_\_\_\_\_ )

Overall Height from Grade: \_\_\_\_\_ Ft.

Proposed Colors (Maximum of Three Colors):

- ① \_\_\_\_\_  
② \_\_\_\_\_  
③ \_\_\_\_\_

**Site Information:** See Attached.

Lot/Street Frontage: N/A

Building/Tenant Frontage: N/A

Existing Sign Information:

Business Name: \_\_\_\_\_

Size of Sign: \_\_\_\_\_ Square Feet

Business Name: \_\_\_\_\_

Size of Sign: \_\_\_\_\_ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature] (AH)  
Signature of Applicant

4-29-15  
Date

[Signature] (AH)  
Signature of Building Owner

4-29-15  
Date

**FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE**

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: \_\_\_\_\_ Administrative Approval Date: \_\_\_\_\_

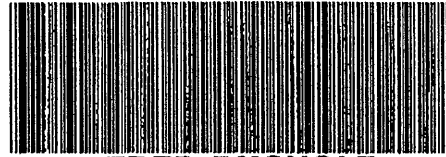
201248722/20126404 relld

**This Instrument Prepared by:**

Martin Murphy, Esq.  
The Murphy Law Firm  
One Westbrook Corporate Center,  
Suite 300  
Westchester, Illinois 60154

**After Recording Return to:**

Salt Creek Campus LLC  
40 Skokie Blvd  
Suite 410  
Northbrook, IL 60062



**FRED BUCHOLZ**  
**DUPAGE COUNTY RECORDER**  
DEC.11.2012 RHSP 11:18 AM  
DEED 08-86-405-021  
**009 PAGES R2012-175305**

*This space reserved for Recorder's use only.*

**SPECIAL WARRANTY DEED**

OPH 6 LLC, an Illinois limited liability company ("Grantor"), having its principal address at 12 Salt Creek Lane, Suite 200, Hinsdale, Illinois 60521, for and in consideration of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration in hand paid, by these presents does REMISE, RELEASE, ALIENATE AND CONVEY to SALT CREEK CAMPUS LLC, a Delaware limited liability company ("Grantee"), having its principal address at 40 Skokie Boulevard, Suite 410, Northbrook, Illinois 60062 and to its successors and assigns, forever, the following described real estate situated in the County of DuPage, in the State of Illinois, known and described as follows, to wit:

See Exhibit A attached hereto and made a part hereof.

**TOGETHER** with all right, title and interest, if any, of the Grantor in and to any streets and roads abutting said premises to the center lines thereof; **TOGETHER** with the hereditaments and appurtenances and all the estate and rights of the Grantor in and to said premises; **TO HAVE AND TO HOLD** said premises unto the Grantee, the heirs or successors and assigns of the Grantee, forever.

Grantor, for itself and its successors and assigns, does covenant, promise and agree to and with Grantee and its successors and assigns that it has not done or suffered to be done, anything whereby the said premises hereby granted are, or may be, in any manner encumbered or charged, except as herein recited; and that it **WILL WARRANT AND DEFEND**, the title to said premises against all persons lawfully claiming, or to claim the same, by, through or under it, subject only to those matters described on Exhibit B attached hereto.

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

IN WITNESS WHEREOF, Grantor executes this Deed as of the 30th day of November, 2012.

OPH 6 LLC,  
an Illinois limited liability company

By: [Signature]  
Name: William G. Ryan  
Title: member

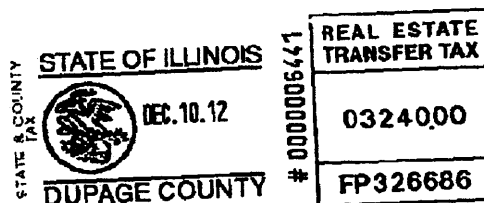
STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF )

I, the undersigned Notary Public in and for the County and State aforesaid, do hereby certify that William G. Ryan as member of OPH 6 LLC, an Illinois limited liability company, personally known to me to be the same person whose name is subscribed to the foregoing instrument in such capacity, appeared before me this day in person and acknowledged that he signed and delivered the foregoing instrument as his own free and voluntary act and as the free and voluntary act of such company, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 30th day of November, 2012.

[Signature]  
Notary Public

My Commission Expires:



EAST46973072.3

2

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

**EXHIBIT A**

**Permanent Index Numbers:**

06-36-405-021

09-01-207-010

12 SALT CREEK LN. #200  
HINSDALE, IL 60521

**Send Subsequent Tax Bills To:**

Salt Creek Campus LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**Legal Description:**

PARCEL 1: LOT 6 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 AND AMENDED BY R2012-024784 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS; RETENTION, DETENTION AND DRAINAGE OF WATER AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1, 2, 3, 4, 6, 7, 8, 9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

A-1

FRED BUCHOLZ

R2012-175305

DUPAGE COUNTY RECORDER

**EXHIBIT B**  
**PERMITTED ENCUMBRANCES**

**[PERMITTED ENCUMBRANCES TO BE ADDED]**

**B-1**

FRED BUCHOLZ      R2012-175305      DUPAGE COUNTY RECORDER



**EXHIBIT B**

**PERMITTED ENCUMBRANCES**

1. Real estate taxes not yet due and payable.
2. THE LAND LIES WITHIN THE FLAGG CREEK FORMERLY KNOWN AS HINSDALE SANITARY DISTRICT, WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.
3. GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A PARTNERSHIP, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973 AND RECORDED NOVEMBER 5, 1973 AS DOCUMENT R73-69217, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT "A" AND EXHIBIT "B" AND MADE A PART THEREOF, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.  
  
NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.
4. EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT. FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.  
  
(AFFECTS ALL)
5. AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 62019, AND AS TRUSTEE UNDER TRUST NUMBER 81118, AND CATHERINE SOUSTEK, DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02365 AND R2001-187280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITING THE PREMISES IN QUESTION.

B-1

FRED BUCHOLZ      R2012-175305      DUPAGE COUNTY RECORDER

6. EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AND AMENDED BY DOCUMENT R89-072896 AND R89-072897, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

(AFFECTS PARCEL 1)

7. LICENSE AGREEMENT MADE BY AND BETWEEN OFFICE PARK OF HINSDALE AND DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 61116, DATED FEBRUARY 15, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AND SUPPLEMENTAL DECLARATION RECORDED AS DOCUMENT R79-107322, AND SUPPLEMENTARY DECLARATION OF LICENSE RECORDED AS DOCUMENT R77-117083 RELATING TO INGRESS AND EGRESS TO AND FROM OGDEN AVENUE OVER AND ACROSS THE PRIVATE ROADS KNOWN AS SALT CREEK LANE AND ELM STREET, FURTHER PROVIDING FOR THE TERMINATION OF THIS AGREEMENT TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

8. SANITARY SEWER AND WATER LINE EASEMENTS AS ESTABLISHED BY DOCUMENT R73-33823 RECORDED JUNE 11, 1973 AND DEPICTED ON SURVEY MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5 AND ON THE SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

9. EASEMENT CREATED BY A GRANT RECORDED ON OCTOBER 6, 1978 AS DOCUMENT R78-98678, FROM THE DROVERS NATIONAL BANK OF CHICAGO, A NATIONAL BANKING ASSOCIATION, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67927, TO THE ILLINOIS BELL TELEPHONE COMPANY, ITS SUCCESSORS AND ASSIGNS, FOR THE RIGHT TO CONSTRUCT, RECONSTRUCT, ADD TO, REMOVE, OPERATE AND MAINTAIN COMMUNICATION SYSTEMS CONSISTING OF WIRES, CABLES, ETC., OVER A STRIP OF LAND 10 FEET IN WIDTH AS SET FORTH ON EXHIBIT "A" OF SAID DOCUMENT, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

B-2

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

10. GRANT DATED JUNE 10, 1970 AND RECORDED JUNE 16, 1970 AS DOCUMENT R70-19379, MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 6, 1969 AND KNOWN AS TRUST NUMBER 69249 TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, OF AN EASEMENT FOR PUBLIC UTILITIES PURPOSES TO INSTALL THEIR RESPECTIVE FACILITIES, OVER A STRIP OF LAND 10 FEET IN WIDTH, AS SHOWN ON THE PLAT ATTACHED THERETO AND MADE A PART THEREOF, AND MARKED "EXHIBIT A", AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

11. GAS MAIN EASEMENT MADE BY PAUL SCHWEDENER TO NORTHERN ILLINOIS GAS COMPANY, AN ILLINOIS CORPORATION, DATED MARCH 2, 1970 AND RECORDED APRIL 7, 1970 AS DOCUMENT NUMBER R70-10262, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS SALT CREEK LANE, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 38, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS, AS SHOWN ON SURVEYS MADE BY MACKIE CONSULTANTS, LLC, NUMBER 2147, DATED MAY 30, 2012, AND LAST REVISED NOVEMBER 20, 2012, AS TO LOT 5; AND THE SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6.

12. TERMS, PROVISIONS, AND CONDITIONS CONTAINED IN THAT CERTAIN CROSS EASEMENT AGREEMENT RECORDED MAY 21, 2001 AS DOCUMENT R2001-95841.
13. RIGHTS OF OWNERS NORTH AND ADJOINING IN AND TO THE USE OF SIDEWALKS ON EITHER SIDE OF SALT CREEK LANE AS DISCLOSED BY SURVEYS MADE BY MACKIE CONSULTANTS LLC, DATED MAY 30, 2012, PROJECT NUMBER 2147.
- (AFFECTS PARCEL 2)
14. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCEL 2 AND 3 CONTAINED IN THE INSTRUMENTS CREATING SAID EASEMENTS.
- (B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT.

B-3

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

15. OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006, AS DOCUMENT R2006-005825, AND AMENDED BY R2012-024784, MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, L.L.C.
16. TERMS, PROVISIONS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN AMENDED AND RESTATED DEVELOPMENT AGREEMENT BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC FOR THE HINSDALE CLUB, A MIXED-USE DEVELOPMENT RECORDED AUGUST 1, 2008, AS DOCUMENT R2008-120685.
17. GRANT MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 81116, TO THE COMMONWEALTH EDISON COMPANY, A CORPORATION OF ILLINOIS, AND THE ILLINOIS BELL TELEPHONE COMPANY, A CORPORATION OF ILLINOIS, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS, DATED JUNE 10, 1970 AND RECORDED JUNE 15, 1970 AS DOCUMENT R70-19380, OF AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO THE SAME AND THE RIGHT, FROM TIME TO TIME, TO TRIM OR REMOVE TREES, BUSHES AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT THEREIN GIVEN, IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF PROPERTY SITED IN DU PAGE COUNTY, ILLINOIS, AS FOLLOWS:
- STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON THE ATTACHED SKETCH MARKED EXHIBIT "A" AND MADE A PART THEREOF ON THE PROPERTY OF THE GRANTOR
- (AFFECTS LOTS 4 AND 6)
18. GRANT DATED JUNE 30, 1969 AND RECORDED JULY 8, 1969 AS DOCUMENT R69-30060, BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED FEBRUARY 10, 1969 AND KNOWN AS TRUST NUMBER 69035, TO THE COMMONWEALTH EDISON COMPANY AND THE ILLINOIS BELL TELEPHONE COMPANY, THEIR SUCCESSORS AND ASSIGNS, OF EASEMENTS TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE SUCH POLES, WIRES, CABLES AND NECESSARY FACILITIES AND EQUIPMENT IN, OVER, UNDER, ACROSS, ALONG AND UPON STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON PLAT ATTACHED AND MADE A PART THEREOF AND MARKED "EXHIBIT A" TOGETHER WITH PROVISIONS THEREIN CONTAINED.
- (AFFECTS LOTS 4 AND 6)

B-4

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER

19. THE SURVEY PREPARED BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2206 AS TO LOT 4 AND SURVEY MADE BY MACKIE CONSULTANTS, LLC DATED OCTOBER 10, 2012 AND LAST REVISED NOVEMBER 20, 2012, AND DESIGNATED JOB NO. 2207 AS TO LOT 6, INCLUDES A CERTIFICATION BY THE SURVEYOR: ACCORDING TO THE INTERPRETATION OF THE FLOOD INSURANCE RATE MAPS THAT COVER THE AREA, THE HEREIN DESCRIBED PROPERTY FALLS WITHIN ZONE "X", DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN SAID DESIGNATIONS BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 17043C0609H, WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004, FOR COMMUNITY NUMBER 17043.

(AFFECTS LOTS 4 AND 6)

20. ENCROACHMENT OF THE CIRCULAR CONCRETE PAD LOCATED MAINLY ON THE PROPERTY SOUTHWESTERLY AND ADJOINING AND ONTO THE LAND BY AN UNDISCLOSED AMOUNT, AS DISCLOSED BY SURVEY DATED NOVEMBER 20, 2012, AS PREPARED BY MACKIE CONSULTANTS, LLC.

(AFFECTS THE SOUTHWESTERLY CORNER OF LOT 6)

B-5

FRED BUCHOLZ R2012-175305 DUPAGE COUNTY RECORDER


7

LD Lulling

201365589/20133558

CHARGE CTIC DUPAGE

TRUSTEE'S DEED

  
**FRED BUCHOLZ**  
 DUPAGE COUNTY RECORDER  
 DEC.27.2013 RHSP 10:34 AM  
 DEED 08-01-207-011  
 003 PAGES R2013-169436

This space for Recorder's use only

THIS INDENTURE made this 18th day of December, 2013 between **FIRSTMERIT BANK, N.A.**, national banking association organized under the laws of the United States of America, successor Trustee to **Midwest Bank and Trust Company**, as Trustee, not personally, but solely as trustee under the provisions of a Deed or Deeds in Trust duly recorded and delivered to said association in pursuance of a certain Trust Agreement dated **November 8, 2001** and known as **Trust Number 01-1-7933** in consideration of Ten and 00/100 Dollars (\$10.00), and other valuable considerations paid, conveys and quit claims unto **Salt Creek Campus, LLC**, a Delaware limited liability company-----

Grantee's address: 460 Highland Avenue, Algonquin, Illinois 60101-----  
 of Cook County, Illinois, the following described real estate in DuPage County, Illinois:

SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF


Property: 901 N. Elm Street. Hinsdale, Illinois 60521

PIN: 09-01-207-011

Together with the appurtenances attached hereto:

IN WITNESS WHEREOF, Grantor has caused its corporate seal to be hereunto affixed, and name to be signed by its Assistant Vice President-Trust Officer and attested by its Vice President this 18th day of December, 2013.

FIRSTMERIT BANK, N.A., successor trustee to  
 Midwest Bank and Trust Company, as Trustee,  
 as aforesaid, and not personally

BY:   
 Assistant Vice President-Trust Officer

ATTEST:   
 Vice President


FRED BUCHOLZ      R2013-169436      DUPAGE COUNTY RECORDER

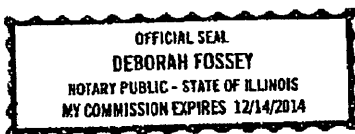
State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 18th day of December, 2013.

SEAL

  
\_\_\_\_\_  
Notary Public



MAIL RECORDED DEED TO:

MAIL TAX BILLS TO:

*East Creek Campground  
40 Skokk Blvd  
Suite 410  
Northbrook IL 60062*

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707

FRED BUCHOLZ

R2013-169436

DUPAGE COUNTY RECORDER

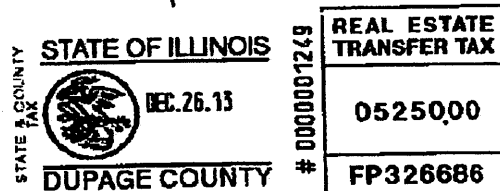
## EXHIBIT "A"

### LEGAL DESCRIPTIONS

LOT 3 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

**PARCEL 2:**

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.



FRED BUCHOLZ      R2013-169436      DUPAGE COUNTY RECORDER



page 401192102/2282102

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**TRUSTEE'S DEED**



**FRED BUCHOLZ**  
**DUPAGE COUNTY RECORDER**  
DEC:11,2012 RHSP 11:18 AM  
DEED 06-86-405-019  
**004 PAGES R2012-175304**

This space for Recorder's use only

**THIS INDENTURE** made this 29th day of November, 2012 between **FIRSTMERIT BANK, N.A.**, national banking association organized under the laws of the United States of America, successor Trustee to Midwest Bank and Trust Company, as Trustee, not personally, but solely as trustee under the provisions of a Deed or Deeds in Trust duly recorded and delivered to said association in pursuance of a certain Trust Agreement dated November 8, 2001, and known as Trust Number 01-1-7933 in consideration of Ten and 00/100 Dollars (\$10.00), and other valuable considerations paid, conveys and quit claims unto **Salt Creek Campus. LLC, a Delaware limited liability company**—

Grantee's address: 40 Skokie Boulevard, Suite 410, Northbrook, IL 60062-----  
of Cook County, Illinois, the following described real estate in DuPage County, Illinois:

**SEE EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF**

Property: See Exhibit A

Permanent Index Number: See Exhibit A

Together with the appurtenances attached hereto:

**IN WITNESS WHEREOF**, Grantor has caused its corporate seal to be hereunto affixed, and name to be signed by its Assistant Vice President-Trust Officer and attested by its Vice President this 29th day of November, 2012.

FIRSTMERIT BANK, N.A., successor trustee to  
Midwest Bank and Trust Company, as Trustee,  
as aforesaid, and not personally

BY: *Patricia E. Canale*  
Assistant Vice President/Trust Officer

ATTEST: *Patricia E. Canale*  
Vice President


FRED BUCHOLZ R2012-175304 DUPAGE COUNTY RECORDER

State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 29th day of November, 2012

SEAL

  
\_\_\_\_\_  
Notary Public



**MAIL RECORDED DEED TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**MAIL TAX BILLS TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707


FRED BUCHOLZ      R2012-175304      DUPAGE COUNTY RECORDER

State of Illinois )  
 ) SS.  
County of Cook )

I, the undersigned, A Notary Public in and for said County, the State aforesaid **DO HEREBY CERTIFY** that Rosanne M. DuPass, Assistant Vice President-Trust Officer and Patricia E. Camaioni, Vice President of FIRSTMERIT BANK, N.A., a national banking association, Trustee, successor trustee to Midwest Bank and Trust Company as trustee, personally known to me to be the same persons, whose names are subscribed to the foregoing instrument, appeared before me this day in person and acknowledge that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes, therein set forth and the said Vice President of said association did also then and there acknowledge that he/she as custodian of the corporate seal of said association did affix the said corporate seal of said association to said instrument as his/her own free and voluntary act, and as the free and voluntary act of said association, as Trustee for the uses and purposes therein set forth.

Given under my hand and Notary Seal this 29th day of November, 2012

SEAL

  
Notary Public

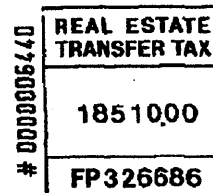
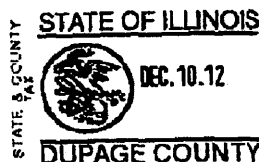


**MAIL RECORDED DEED TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

**MAIL TAX BILLS TO:**  
Salt Creek Campus, LLC  
40 Skokie Blvd., Suite 410  
Northbrook, IL 60062

This document prepared by  
Rosanne DuPass  
FirstMerit Bank, N.A.  
1606 N. Harlem Avenue  
Elmwood Park, IL 60707





FRED BUCHOLZ R2012-175304 DUPAGE COUNTY RECORDER

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

PARCEL 1: LOTS 4, 5 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2: NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 AND AMENDED BY R2012-024784 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS; RETENTION, DETENTION AND DRAINAGE OF WATER AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1, 2, 3, 4, 6, 7, 8, 9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

907 Elm Street (Lot 4) } HINSDALE, IL  
12 Salt Creek Lane (Lot 5) } 60521

Pls: 06-01-207-009  
06-36-405-019 x (Lot 4)

06-36-405-020 (Lot 5)

FRED BUCHOLZ

R2012-175304

DUPAGE COUNTY RECORDER

Prepared By:

Brian R. Mullins, Esq.  
Perkins Coie LLP  
131 S. Dearborn, Suite 1700  
Chicago, Illinois 60603

After Recording Return To:

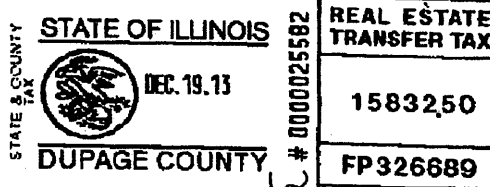
Mary Ann Murray, Esq.  
Burke Burns & Pinelli, Ltd.  
70 West Madison  
Suite 4300  
Chicago, IL 60602

Send Future Tax Bills To:

11 Salt Creek Campus LLC  
40 N. Skokie Blvd.  
Suite 410  
Northbrook, IL 60062



**FRED BUCHOLZ**  
DUPAGE COUNTY RECORDER  
DEC. 20, 2013 RHSP 9:52 AM  
DEED 06-36-405-022  
009 PAGES R2013-167535



**SPECIAL WARRANTY DEED**

15,832.50

(MGR) On this 19 day of December, 2013, HVII PROPERTY LLC, an Illinois limited liability company ("Grantor"), for and in consideration of the sum of ten dollars (\$10) cash and other good and valuable consideration to it paid by 11 SALT CREEK CAMPUS LLC, a Delaware limited liability company ("Grantee"), whose mailing address is 40 N. Skokie Blvd., Suite 410, Northbrook, IL 60062, the receipt and sufficiency of which are hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD, and CONVEYED, and by these presents does GRANT, BARGAIN, SELL, and CONVEY unto the Grantee that certain tract of land ("Land") described in Exhibit A hereto, together with all improvements thereon and all rights and appurtenances appertaining thereto (herein collectively called the "Property").

This conveyance is given and accepted subject to the permitted exceptions set forth on Exhibit B hereto and to any and all municipal or other governmental zoning laws, regulations and ordinances, if any, affecting the Property (herein called the "Permitted Encumbrances").

Grantee, by its acceptance hereof, agrees to assume and be solely responsible for payment of all ad valorem taxes pertaining to the Property for the calendar year 2013 and subsequent years; there having been a proper proration of same between Grantor and Grantee.

TO HAVE AND TO HOLD the Property and all improvements located thereon, together with all and singular the rights and appurtenances thereto in anywise belonging, unto Grantee, its legal representatives, successors, and assigns forever.

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11 Salt IL

FRED BUCHOLZ R2013-167535 DUPAGE COUNTY RECORDER

WITNESS THE EXECUTION HEREOF as of the date first written above.

**GRANTOR:**

**HVII PROPERTY LLC**, an Illinois limited liability company

By: C. Biga  
Name: Cathleen Biga  
Title: managing Partner

STATE OF Illinois )  
 ) ss.  
COUNTY OF \_\_\_\_\_ )

This instrument was acknowledged before me on the \_\_\_ day of December, 2013, by Cathleen Biga, as Managing Partner of HVII Property LLC, an Illinois limited liability company.



[Signature]  
Notary Public

My commission expires: Jan 27, 2014

Signature Page to Special Warranty Deed  
!! Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER

Exhibit A

LEGAL DESCRIPTION

PARCEL 1:

LOT 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DU PAGE COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF LOT 10 OF PARCEL 1, (EXCEPT THAT PART OF SAID LOTS FALLING IN SALT CREEK LANE), AS CREATED BY THAT CERTAIN CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-95641, FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS OVER, UPON AND ACROSS THAT PORTION OF SPINNING WHEEL ROAD BOUNDED ON THE SOUTH BY THE NORTHERLY BOUNDARY LINE OF OGDEN AVENUE AND ON THE NORTH BY THE NORTHERNMOST BOUNDARY LINE OF THE NEW ROAD LAND EXTENDED EASTERLY TO ITS INTERSECTION WITH THE EAST LINE OF SPINNING WHEEL ROAD, WHICH PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS MAY BE TRAVELED SOLELY (i) IN A NORTH AND SOUTH DIRECTION ALONG SAID PORTION OF SPINNING WHEEL ROAD, AND (ii) IN AN EAST AND WEST DIRECTION ONLY IN THOSE LOCATIONS WHERE CURB CUTS (x) CURRENTLY EXIST AT THE INTERSECTIONS OF SPINNING WHEEL ROAD AND THE HOSPITAL PROPERTIES (AS SPECIFICALLY DESCRIBED IN SECTION 1.4, THEREIN).

PARCEL 4:

AN EASEMENT FOR THE BENEFIT OF THAT PART OF LOT 10 IN PARCEL 1 THAT FALLS IN THE NORTHERLY 60 FEET THEREOF, (EXCEPT THAT PART OF SAID LOT

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11 Salt IL

FRED BUCHOLZ

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DUPAGE COUNTY RECORDER

FALLING IN SALT CREEK LANE), AS FULLY DESCRIBED AS EXHIBIT D, NEW ROAD LAND, AS CREATED BY THAT CERTAIN CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-95641 FOR A NON-EXCLUSIVE, IRREVOCABLE AND PERPETUAL EASEMENT OVER, UPON AND ACROSS THAT PORTION OF THE WESTERN BOUNDARY OF SPINNING WHEEL ROAD WHICH INTERSECTS WITH THE NEW ROAD LAND, FOR THE PURPOSE OF MAINTAINING AND USING THE CURRENTLY EXISTING CURB CUTS IN ORDER TO PERMIT VEHICULAR AND PEDESTRIAN ACCESS TO AND FROM THE NEW ROAD LAND, FROM AND TO SPINNING WHEEL ROAD.

Tax Parcel Number: 06-36-405-022

Commonly Known As: 11 Salt Creek Lane, Hinsdale, Illinois 60521

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER



**Exhibit B**

**PERMITTED ENCUMBRANCES**

1. OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111 AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, L.L.C., AS AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT NUMBER R2012-024784.
2. THE LAND LIES WITHIN THE FLAGG CREEK WATER RECLAMATION DISTRICT FORMERLY KNOWN AS HINSDALE SANITARY DISTRICT, WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.

NOTE: TERMS AND CONDITIONS OF THE FLAGG CREEK WATER RECLAMATION DISTRICT AMENDED ORDINANCE 756, RECORDED MARCH 13, 2009, AS DOCUMENT R2009-037066, WHICH RELATE TO THE PAYMENT OF USER CHARGES PRIOR TO THE SALE OR TRANSFER OF REAL ESTATE WITHIN THE DISTRICTS SERVICE AREA, THE COMPUTATION OF WATER CONSUMPTION, AND THE EVALUATION OF CONNECTION PERMITS FOR THE SALE OF COMMERCIAL PROPERTY WITHIN SAID SERVICE AREA.

3. EASEMENT MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, AND OFFICE PARK OF HINSDALE, A PARTNERSHIP, DATED DECEMBER 30, 1971 AND RECORDED FEBRUARY 24, 1972 AS DOCUMENT R72-9137, RELATING TO INTERCEPTOR PIPES, LIFT STATION, WATER STORAGE AND PUMPING STATION, FORCE MAINS AND MAINTENANCE AND OPERATION OF WATER WELLS AND DISTRIBUTION SYSTEM, TOGETHER WITH THE PROVISIONS AND CONDITIONS CONTAINED THEREIN.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

4. GRANT OF EASEMENT MADE BY HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION; AND ITS ASSIGNS, DATED NOVEMBER 9, 1972 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69216, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS AND FOR WATER MAINS FOR THE PURPOSE OF CONVEYING WATER, ALL AS

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER

DESCRIBED ON THE PLAT ATTACHED THERETO AS EXHIBIT "A" AND MADE A PART THEREOF.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

5. GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A PARTNERSHIP, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69217, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT "A" AND EXHIBIT "B" AND MADE A PART THEREOF.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK, AND AS SHOWN ON SURVEY MADE BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.

6. EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT, FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.
7. AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 62019, AND AS TRUSTEE UNDER TRUST NUMBER 61116, AND CATHERINE SOUSTEK, DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02365 AND R2001-197280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITING THE PREMISES IN QUESTION.
8. EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AND AMENDED BY DOCUMENT R89-072896, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.
9. SANITARY SEWER AND WATER LINE EASEMENTS AS ESTABLISHED BY DOCUMENT R73-33823 RECORDED JUNE 11, 1973 AND DEPICTED ON SURVEY PREPARED BY MACKIE CONSULTANTS, LLC, NUMBER ALTA-02.PLT DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.

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11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER

10. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCELS 2, 3 AND 4 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENTS.

(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENTS.

11. EASEMENT IN, UPON, UNDER, OVER AND ALONG THE 10 FOOT STRIPS OF THE LAND TO INSTALL AND MAINTAIN ALL EQUIPMENT FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY WITH TELEPHONE AND ELECTRIC SERVICE, TOGETHER WITH RIGHT OF ACCESS TO SAID EQUIPMENT, AS CREATED BY GRANT TO COMMONWEALTH EDISON COMPANY AND ILLINOIS BELL TELEPHONE COMPANY RECORDED JULY 8, 1969 AS DOCUMENT R69-30062.

12. GAS MAIN EASEMENT MADE BY PAUL SCHWENDENER AND OFFICE PARK OF HINSDALE, TO NORTHERN ILLINOIS GAS COMPANY, DATED OCTOBER 19, 1967 AND RECORDED NOVEMBER 14, 1967 AS DOCUMENT NUMBER R67-46566, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS "SALT CREEK LANE: INCLUDING THE WESTERLY 1/2 OF THE WEST BOUND TURN LANE LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

13. GAS MAIN EASEMENT MADE BY PAUL SCHWNEDENER TO NORTHERN ILLINOIS GAS COMPANY, AN ILLINOIS CORPORATION, DATED MARCH 2, 1970 AND RECORDED APRIL 7, 1970 AS DOCUMENT NUMBER R70-10262, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

AFFECTS A PORTION OF THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS SALT CREEK LANE, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER

14. CROSS EASEMENT AGREEMENT DATED MAY 16, 2001 AND RECORDED MAY 21, 2001 AS DOCUMENT R2001-095641 RELATING TO RIGHT OF WAY/INGRESS AND EGRESS EASEMENTS; CURB CUT EASEMENT, UTILITY EASEMENTS AND THE TERMS, PROVISIONS, AND CONDITIONS AS CONTAINED THEREIN.
15. THE SURVEY PREPARED BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003 INCLUDES A CERTIFICATION BY THE SURVEYOR THAT THE LAND IS LOCATED WITHIN AN AREA OUTSIDE THE SHOWN FLOOD PLAIN LIMITED IS DESIGNATED ZONE C DEFINED AS AN AREA OF MINIMAL FLOODING BY THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 170105 004 B, DATED JANUARY 16, 1981, IN DU PAGE COUNTY, ILLINOIS.
16. RIGHTS OF OWNERS NORTH AND ADJOINING IN AND TO THE USE OF SIDEWALKS ON EITHER SIDE OF SALT CREEK LANE AS DISCLOSED BY SURVEY MADE BY MACKIE CONSULTANTS LLC, NUMBER ALTA-02.PLT, DATED APRIL 25, 2003, LAST REVISED DECEMBER 20, 2005.
17. TERMS AND PROVISIONS CONTAINED IN ACCESS EASEMENT AGREEMENT DATED DECEMBER 19, 2001, RECORDED DECEMBER 26, 2001 AS DOCUMENT R2001-284945, BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-1-7933 AND ELM CREEK PROPERTY MANAGEMENT, INC., D/B/A OFFICE PARK OF HINSDALE, AN ILLINOIS CORPORATION AND HINSDALE HOSPITAL, AN ILLINOIS NOT-FOR-PROFIT CORPORATION.
18. RIGHTS OF THE PUBLIC, THE STATE OF ILLINOIS AND THE MUNICIPALITY IN AND TO THAT PART OF THE LAND, IF ANY, TAKEN OR USED FOR SPINNING WHEEL ROAD.
19. EASEMENT IN, UPON, UNDER, ALONG AND ACROSS THE LAND TO INSTALL AND MAINTAIN ALL EQUIPMENT NECESSARY TO SERVE THE LAND AND OTHER PROPERTY WITH GAS SERVICE, TOGETHER WITH RIGHT OF ACCESS THERETO, AS CREATED BY GRANT TO NORTHERN ILLINOIS GAS COMPANY RECORDED OCTOBER 9, 1967 AS DOCUMENT R67-40511.
20. EASEMENT CONTAINED IN DEEDS RECORDED AS DOCUMENTS R62-10321, R65-15555, R68-53557, R68-53558 AND R68-53559, AND AS SHOWN ON PLAT OF KOPLIN'S ASSESSMENT PLAT RECORDED AS DOCUMENT R67-16396, FOR INGRESS AND EGRESS OVER THE LAND.
21. AGREEMENT DATED DECEMBER 15, 1967 AND RECORDED DECEMBER 28, 1967 AS DOCUMENT R67-52749, AND AMENDED BY DOCUMENT R69-38273, MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT AND ALFRED N. KOPLIN COMPANY AND ELMHURST NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED MAY 29, 1967 AND KNOWN AS

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER

TRUST NUMBER 2487, WHICH PROVIDES FOR THE FURNISHING OF SEWAGE FACILITIES AND SERVICES TO THE LAND AND ANNUAL SEWAGE TREATMENT CHARGES AND TERMINATION OF SERVICES, TOGETHER WITH A 50 FOOT BY 30 FOOT EASEMENT FOR CONSTRUCTION, MAINTENANCE AND OPERATION OF A SANITARY SEWER LIFT STATION, TOGETHER WITH A 20 FOOT EASEMENT FOR PUBLIC UTILITIES, INCLUDING SANITARY SEWER FORCE MAIN FROM THE LIFT STATION TO OGDEN AVENUE.

22. RESTRICTIVE COVENANT FOR CONSTRUCTION OF AN IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY RECORDED JANUARY 10, 2003, AS DOCUMENT R2003-012913, MADE BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC., RELATING TO A LAWN SPRINKLER SYSTEM.
23. ENCROACHMENT OF THE BUILDING LOCATED MAINLY ON THE LAND ONTO THE EASEMENT SHOWN HEREIN AT EXCEPTION REFERENCE LETTER(S) M AS SHOWN ON PLAT OF SURVEY PREPARED BY MACKIE CONSULTANTS LLC DATED AUGUST 24, 2006, PROJECT NO. 949.

55110-0007/LEGAL28674668.2

11 Salt IL

FRED BUCHOLZ      R2013-167535      DUPAGE COUNTY RECORDER



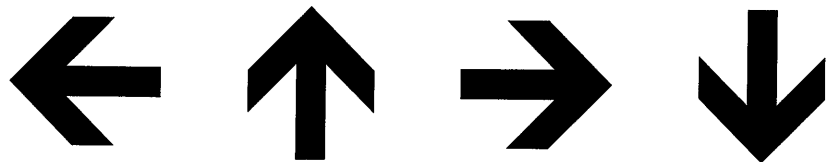
# MedProperties

## Salt Creek Medical Campus Phase 4.0 Construction Documents

01.30.15

Issued for Construction

ARROWS



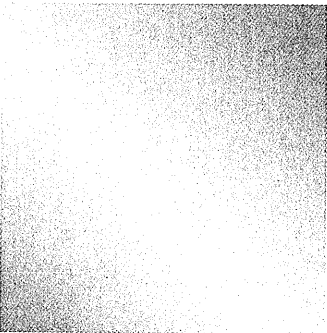
META OFFICE BOOK

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
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1234567890

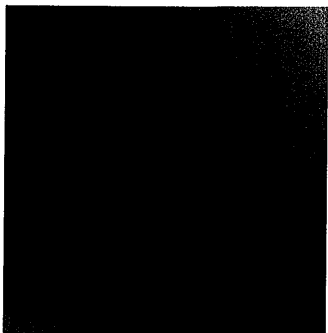
UNIVERS 59 ULTRA CONDENSED

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
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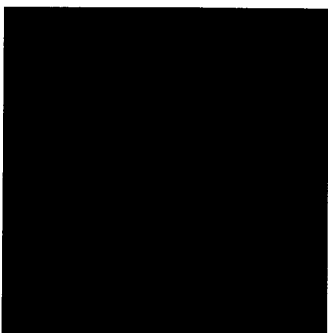
COLORS



P1  
MP18073 Pale Silver Metallic

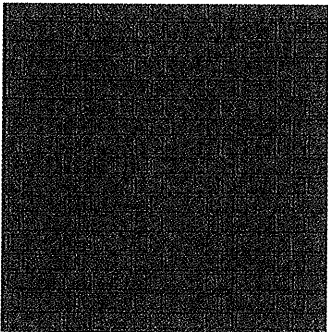


P2  
MP18207 Slate Metallic

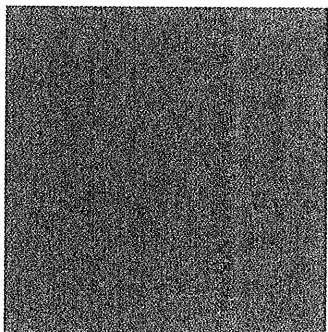


P3  
Black

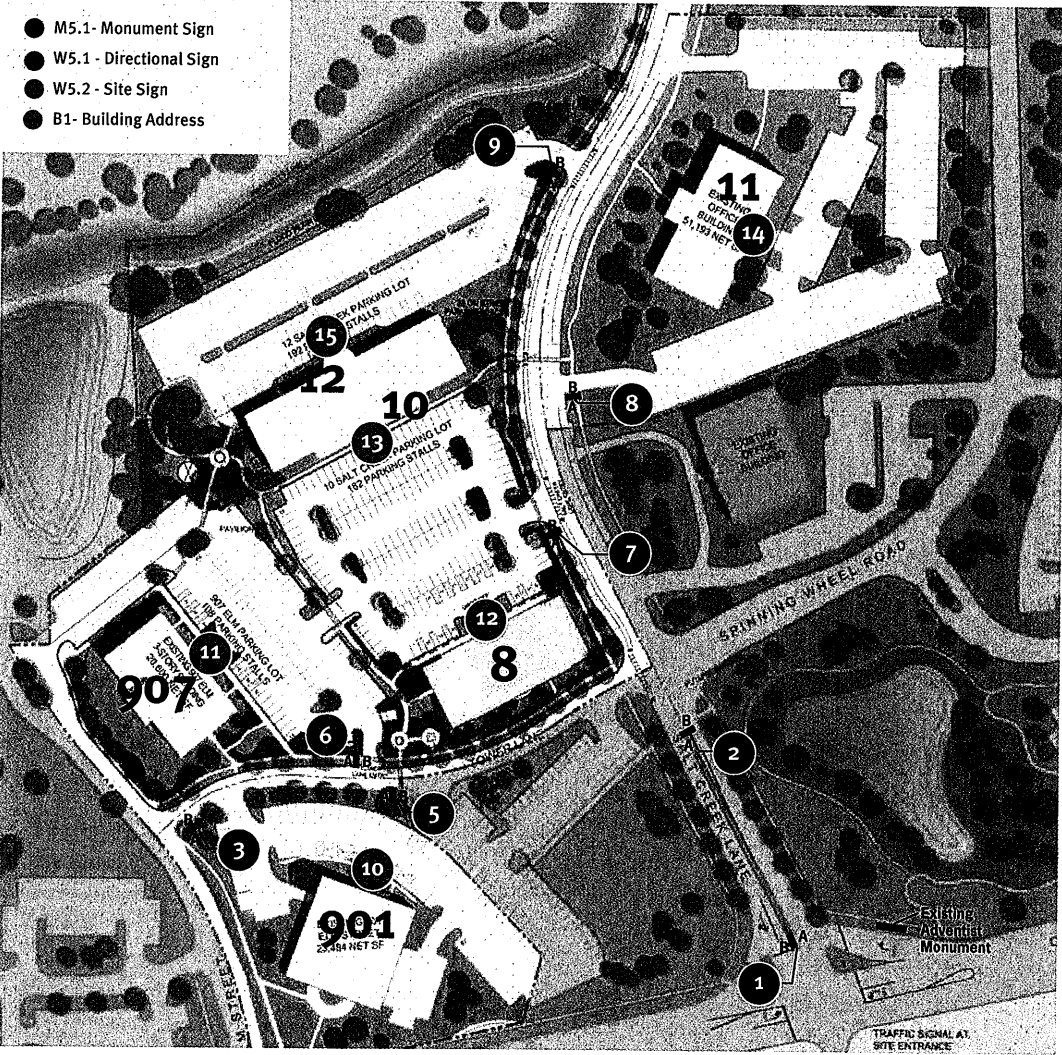
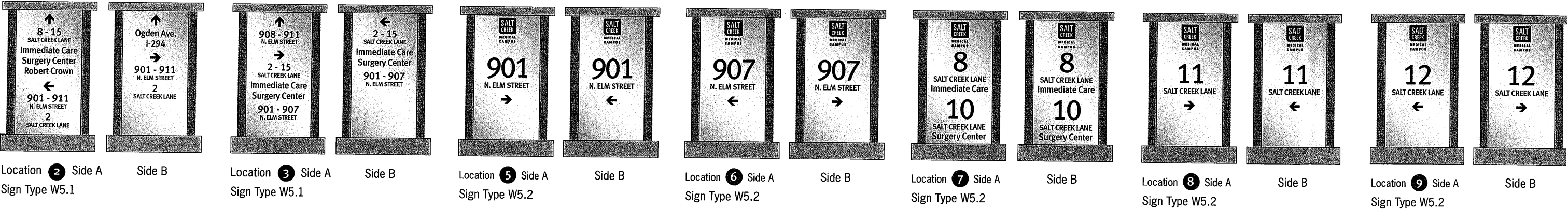
MATERIALS



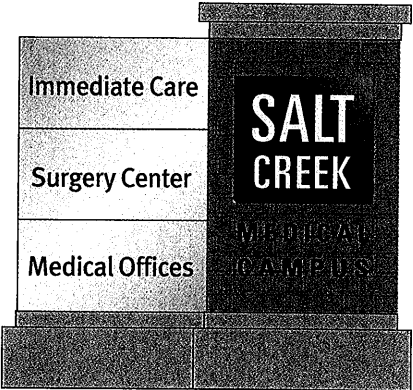
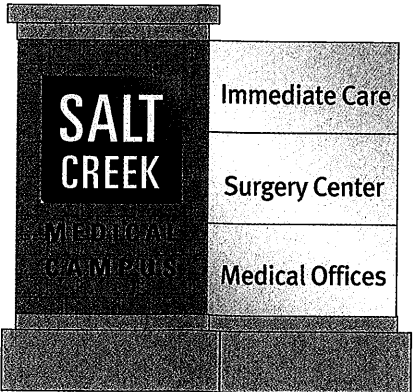
Brick veneer to match  
existing buildings



Limestone to match  
existing buildings



NOTE: All sign locations are to be sited with Med Properties on an on site walkthrough and staked for final locations.



901  
Location 10

907  
Location 11

8  
Location 12

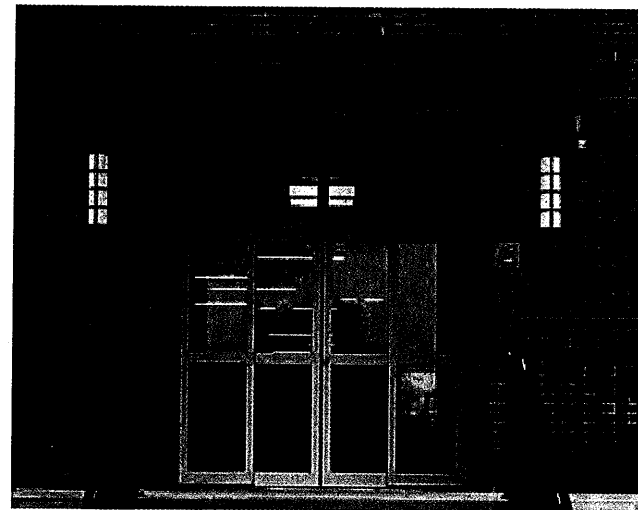
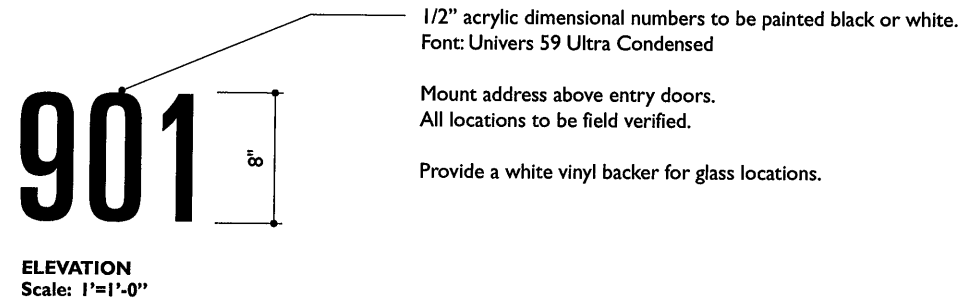
10  
Location 13

11  
Location 14

12  
Location 15  
Sign Type B1

NOTE: All building numbers to be field verified for mounting conditions.

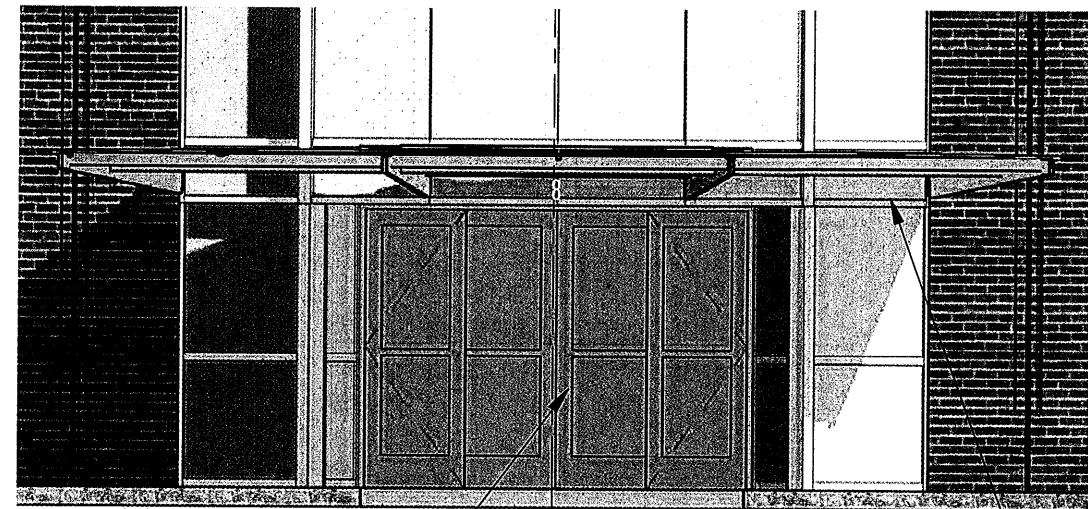




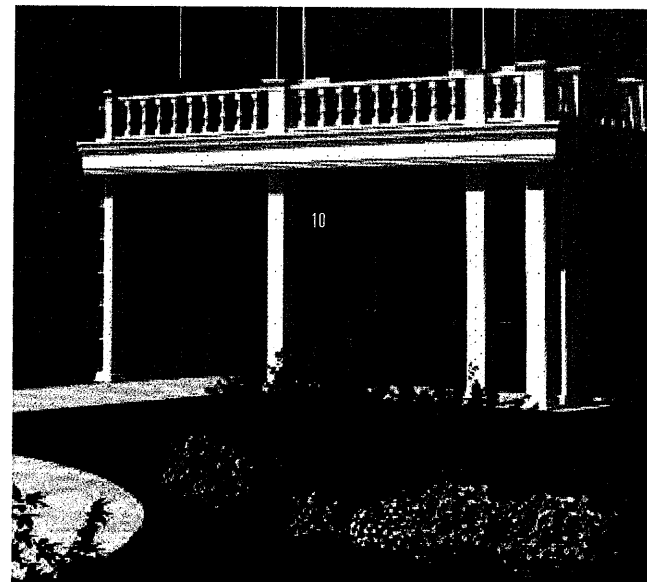
901 North Elm Street



907 North Elm Street



8 Salt Creek Lane



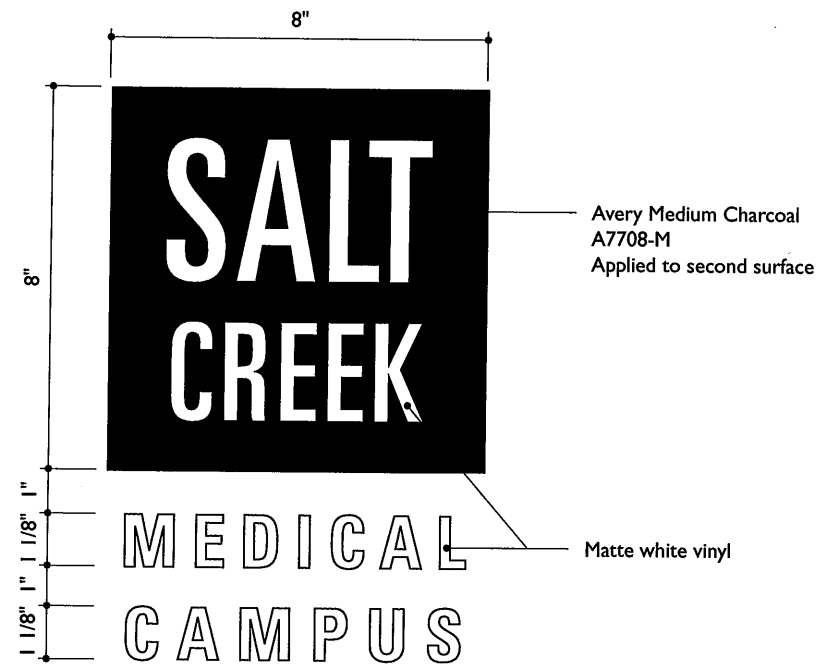
10 Salt Creek Lane



11 Salt Creek Lane



12 Salt Creek Lane



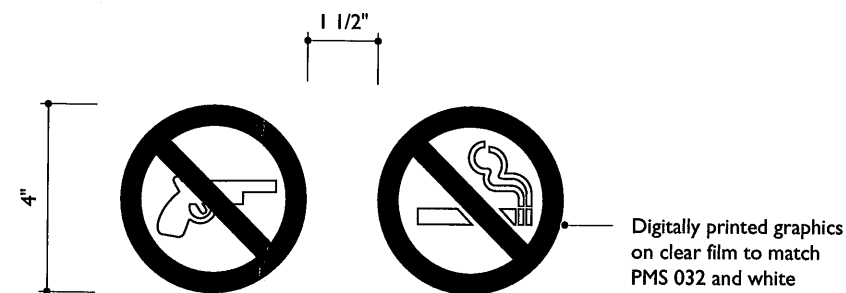
FRONT VIEW  
Scale: 3"=1'-0"



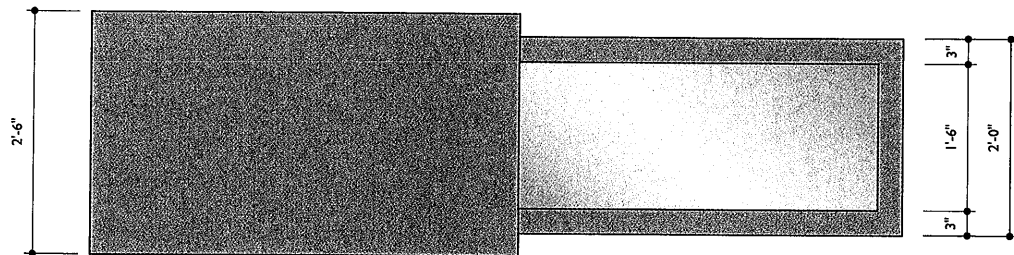
Exterior Side



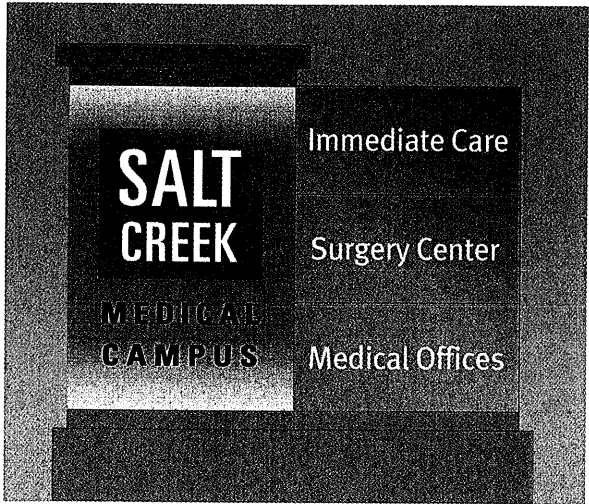
Interior Side



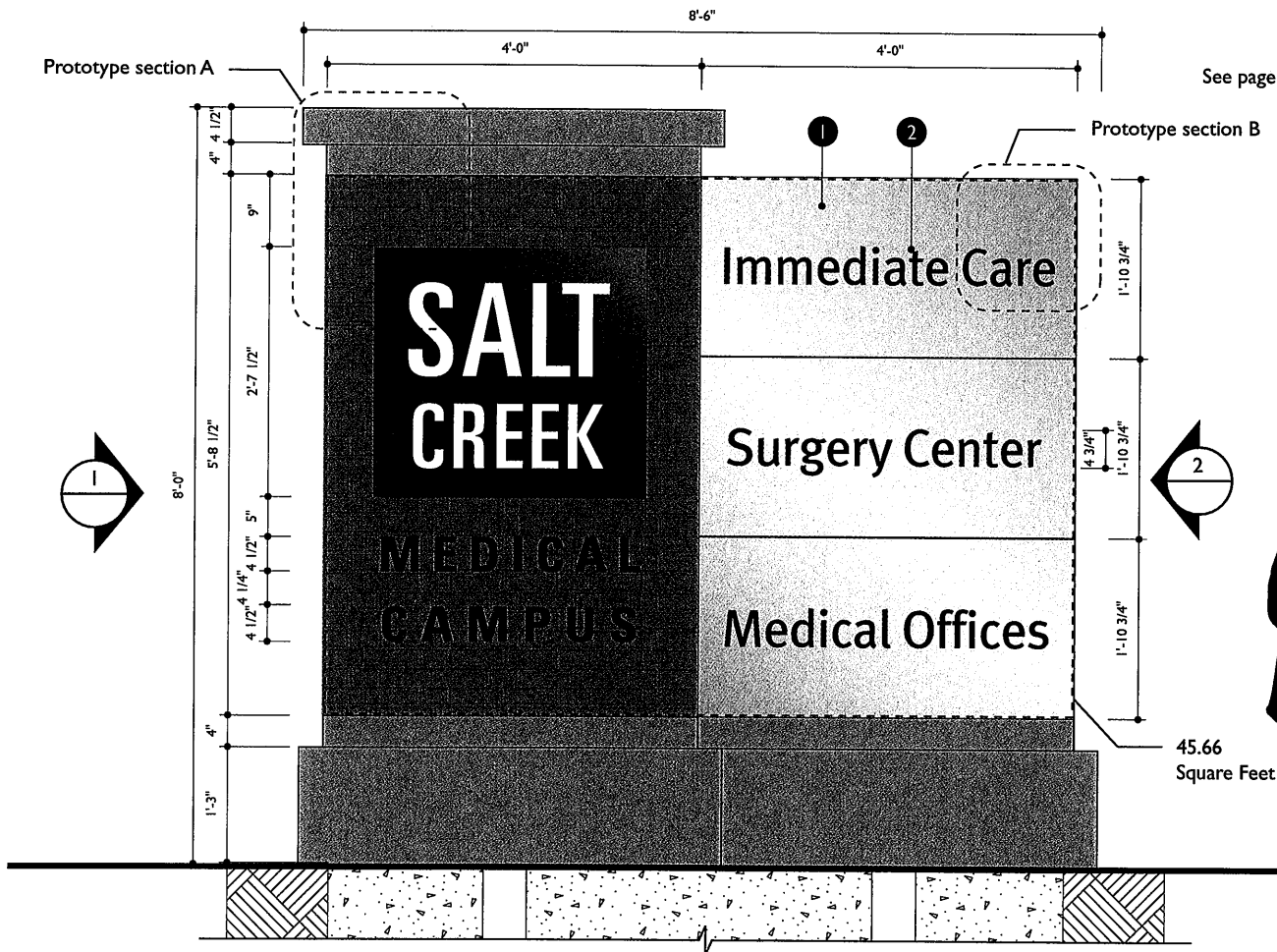
## Monument Sign



TOPVIEW  
Scale: 1/2"=1'-0"

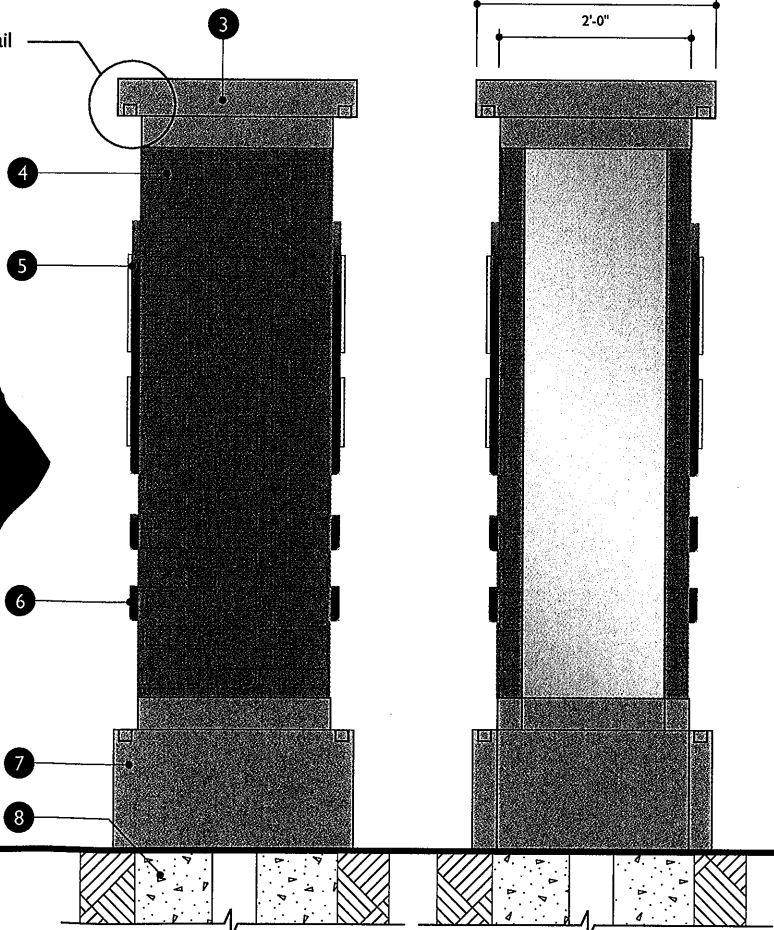


NIGHTVIEW  
Scale: NTS



FRONTVIEW  
Scale: 1/2"=1'-0"

See page 8 for lighting detail



SIDEVIEW - 1  
Scale: 1/2"=1'-0"

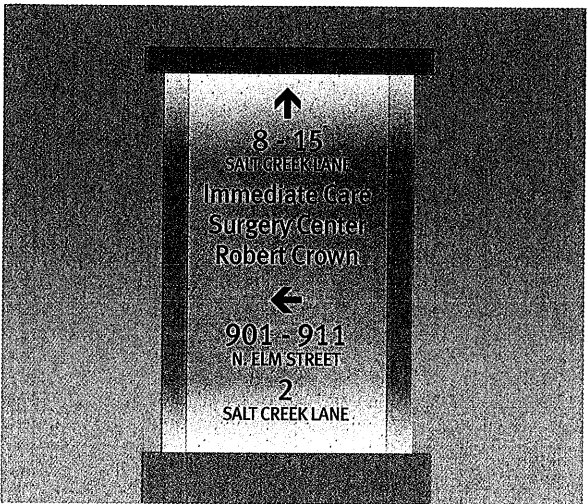
SIDEVIEW - 2  
Scale: 1/2"=1'-0"

- 1 Aluminum sign structure with removable panels. No exposed fasteners. Sign construction to have appropriate interior steel structure. Paint to match P1.
- 2 Routed day/night illuminated push thru acrylic letters, flush with sign face. Allow for appropriate letter tracking for optimum illumination.  
Day: black, Night: white  
Font: Meta Office Book
- 3 Limestone cap with recessed light source to highlight masonry.
- 4 Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- 5 1" aluminum pan (P2) with illuminated push thru white acrylic letters 1/2" from pan face.
- 6 1" thick metal letters (P2). Pin mounted to brick face. Surface illumination from base light source.
- 7 Limestone base with recessed light source to highlight masonry.
- 8 All foundations and footings to be adequate for support of sign.

### GENERAL NOTES

- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.

## Directional Sign

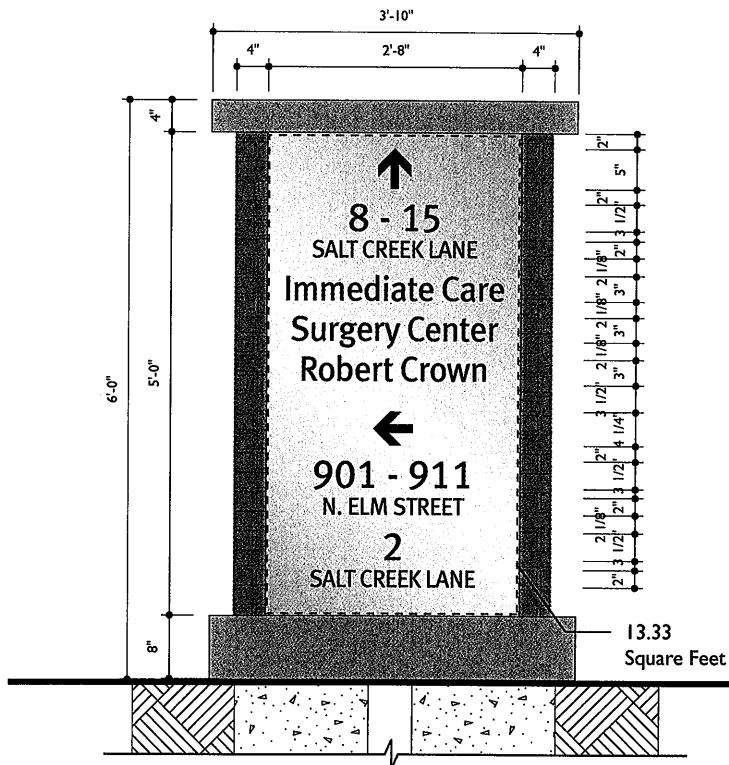


NIGHT VIEW  
Scale: NTS

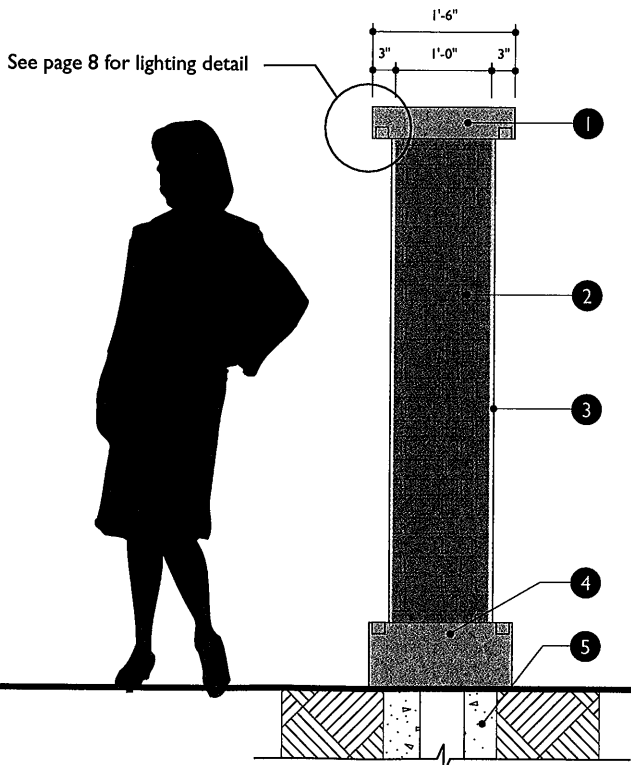
- 1 Limestone cap with recessed light source to highlight masonry.
- 2 Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- 3 1/2" aluminum panel (P1) with black reflective vinyl lettering. Font: Meta Office Book
- 4 Limestone base with recessed light source to highlight masonry.
- 5 All foundations and footings to be adequate for support of sign.

### GENERAL NOTES

- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.



FRONT VIEW  
Scale: 1/2"=1'-0"



SIDE VIEW  
Scale: 1/2"=1'-0"



## Site Sign

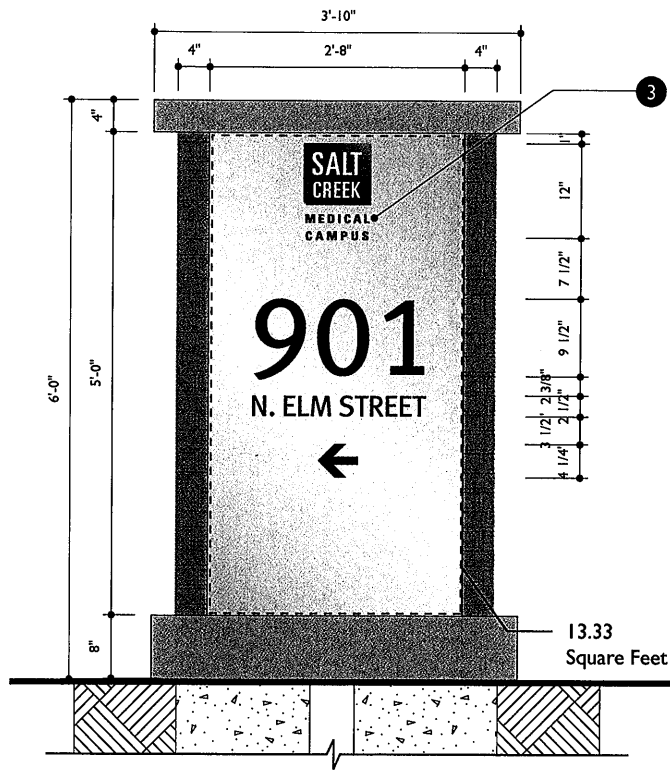


NIGHT VIEW  
Scale: NTS

- 1 Limestone cap with recessed light source to highlight masonry.
- 2 1/2" thick cut aluminum logo (P2).
- 3 Vinyl letters painted to match (P2).
- 4 Brick veneer sign structure. Sign construction to have appropriate interior steel structure. Brick veneer to match existing buildings.
- 5 1/2" aluminum panel (P1) with black reflective vinyl lettering. Font: Meta Office Book
- 6 Limestone base with recessed light source to highlight masonry.
- 7 All foundations and footings to be adequate for support of sign.

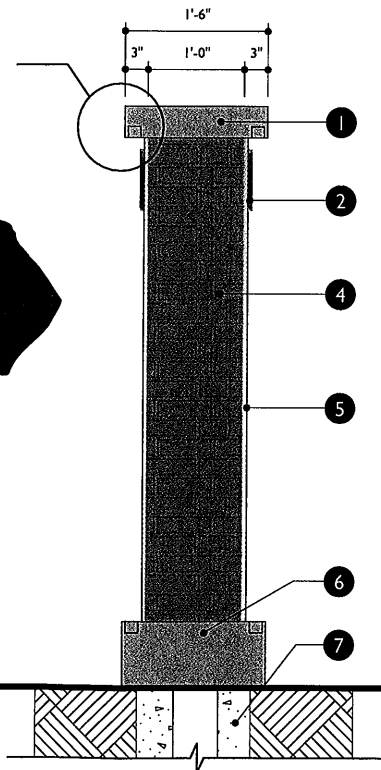
### GENERAL NOTES

- A. Sign faces to have absolutely no "oil-canning."
- B. Sign fabricator to repair any damage to landscaping during installation.
- C. Sign fabricator to field verify each location and provide elevations of each with grading shown.
- D. All drawings to be stamped and sealed by a licensed engineer.
- E. All signs to be readily accessible for bulb replacement.
- F. All signs to be controlled by a single astronomical time clock timer.
- G. Signs to be installed and connected to power provided by owner.



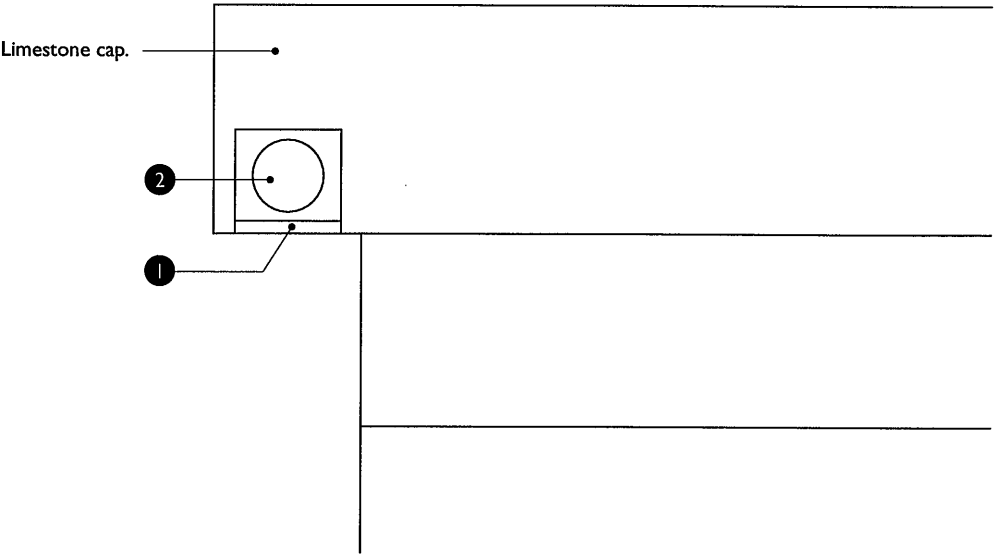
FRONT VIEW  
Scale: 1/2"=1'-0"

See page 8 for lighting detail



SIDE VIEW  
Scale: 1/2"=1'-0"

- 1 Acrylic lens.
- 2 Lighting to be recessed into the top and bottom limestone caps and run the width of the brick sign structure. Light source to wash the face of the brick.



LIGHTING DETAIL  
Scale: 3" = 1'-0"

EXTERIOR SIGNAGE SPECS  
SECTION 10400

PART 1 – GENERAL

- 1.1 The work shown in plans, elevations, specifications, work orders, or other drawings (the Drawings) provided is subject to the requirements of the Contract Documents including the General Conditions, Special and Supplementary Conditions and Requirements for Bidding and Instructions for Bidders.
- A. The Contract shall be governed by the applicable laws and/or ordinances of the State of Illinois, the City of Hinsdale and any other governing body having jurisdiction over the place where the work is performed.
- B. Final Location of Signs  
The location of signs as shown on the Sign Drawings is for general reference only and is not representative of the exact final locations. The final locations of signs shall be field located in coordination with the signage consultant and the Owner, at the site.
- C. Final Message Schedule  
A final message schedule shall be provided that lists every sign location. The schedule shall be keyed into a sign type with the exact message terminology for each sign location. The schedule will be available at the contract award.
- 1.2 DESCRIPTION OF WORK
- A. Review and approval of all signage product data, color/material samples, sign face layouts for all sign types, and shop drawings is required prior to construction.
- B. Interior signs are not part of this scope of work
- C. Exterior signs included in this Section:
- M – Monument Signs
1. Sign Type M5.1 Primary Monument Pylon (Illuminated)
- W - Wayfinding Signs
2. Sign Type W5.1 Directional Sign (Illuminated)
3. Sign Type W5.2. Site Sign (Illuminated)
- B - Building Entrance Sign
4. Sign Type B1 Building Address (Non-Illuminated)
- D. Contractor to provide as requested and required by the Owner the sign work shown on the Drawings, including but not limited to:
1. Fabrication and installation of new signs, sign panels, foundation, letters, and components with

Med Properties

10400  
IFB - REV 0

Wayfinding Signage  
January 30, 2015

EXTERIOR SIGNAGE SPECS  
SECTION 10400

- message copy and symbols, including all engineering, and erection.
2. Review Drawings, Shop Drawings, Working Drawings, As-Built Drawings and incidentals.
3. All required submittals, materials, equipment, tools, labor, temporary light and power.
4. Provide all materials, fasteners, structures, brackets, and other structural and mounting hardware necessary for fabrication and installation of the signs.
5. Engineering of signs, sign structures, sign mounting components and hardware and components, sign foundations and footings for structural adequacy. All signs, sign mounting, and sign support components must be engineered by the fabricator. Shop Drawings to be stamped by a licensed engineer in the State of Illinois.
6. Color, finish, material and process matching for all work.
- 1.3 REFERENCE STANDARDS
- A. Where more stringent requirements than those described in the Drawings and/or specifications are set forth under codes, law and/or ordinances of Federal, State and local governing bodies having jurisdiction, notify the Owner in writing before proceeding with work. Work is subject to the applicable portions of the following standards:
1. All work shall comply with City of Hinsdale codes and ordinances.
2. AWS D1.1 “Structural Welding Code”, American Welding Society
3. SSPC SP-6 “Surface Preparation Specification No. 6, Commercial Blast Cleaning, Steel Structures Painting Council
4. SSPC PA-1 “Painting Application Specifications”, Steel Structure Painting Council
5. “Aluminum Finishes for Signage Consultanture”, Aluminum Association
6. “Code of Standard Practice of Steel Buildings and Bridges”, AISC
7. “Specifications for Design, Fabrication and Erection of Structural Steel Buildings”, AISC
8. American Society for Testing and Materials (ASTM):
- a. ASTM 46 – “General Requirements for Delivery of Rolled Steel , Shapes, Sheet Piling and Bars for Structural Use”
- b. ASTM B209 – “Aluminum and Aluminum Alloy Sheet Plate”
- c. ASTM B221 – “Aluminum and Aluminum Alloy Wire, Rod, Bar, Shapes and Tube; Extended”
- d. ASTM B241 – “Aluminum and Aluminum Alloy Tube; Extended, Seamless”
- e. ASTM E1164 – Standard Practice for Obtaining Spectrophotometric Data for Object Color Evaluation
- f. ASTM E308 – Standard Method for Computing the Colors of Objects by Using the CIE System
- g. ASTM E284 – Standard Definition of Terms Relating to Appearance of Materials
- h. ASTM D4956 – Standard Specification for Retroreflective Sheeting for Traffic Control
- i. ANSI/ASTM E329 – Specification for Agencies Engaged in the Testing and/or Inspection of Materials Used in Construction
9. “Specifications for Assembly of Structural Joints Using High Strength Steel Bolts” as approved by

Med Properties

Wayfinding Signage  
January 30, 2015

EXTERIOR SIGNAGE SPECS  
SECTION 10400

maintaining a proper weather seal. Signs/cabinets with light leaks will not be accepted.

3.6 INSTALLATION

- A. Properly and legally remove from the site and dispose of all rubbish and debris resulting from the work.
- B. Complete installation shall be in accordance with manufacturers' printed instructions and accepted shop drawings.
- C. Obtain all necessary licenses and permits.
- D. Install signs level and plumb.
- E. Protect installed signs from damage until acceptance by the Owner.
- F. After installation, clean soiled sign surfaces and installation area. Remove dirt, dust, fingerprints, shavings, adhesives, packing materials, etc.

3.7 COMPLETION

- A. The work shall be under the charge and care of the Contractor until final acceptance of the work by the Owner, including all Punch List work. The work shall not be considered as completed and accepted until written notice is received from the Owner confirming the completion and acceptance of all work, including Punch List work.
- B. Upon completion and before final acceptance of the work, the Contractor shall provide a complete set of drawings and digital files for all signs and sign locations showing As Built conditions. Drawings and digital files shall be formatted as specified by the Owner. As Built Drawings to include changes between the work as shown in the Contract Documents and Shop Drawings indicating the work as actually installed and any specific information, locations, or dimensions not included in the Contract Documents.
- C. All digital files, silk-screens, patterns, and models are to be preserved and shall become the property of the Owner.

END OF SECTION

Med Properties


10400  
IFB - REV 0

Wayfinding Signage  
January 30, 2015



# Memorandum

**To:** Chairman Byrnes and Plan Commissioners

**From:** Chan Yu, Village Planner 

**Cc:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**Date:** June 3, 2015

**Re:** Applicant: McNaughton Development, Inc.  
Request: 543 N. Madison Street (R-2 District)  
Site Plan Review and Tentative/Final Subdivision Plat Review

## BACKGROUND

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### Application

The Village of Hinsdale has received an application from McNaughton Development Inc. (McNaughton), requesting approval of a site plan and proposed tentative/final plat of subdivision at 543 N. Madison Street (Attachments 1 and 2). The applicant is requesting to subdivide a single 57,916 square foot lot into two conforming residential lots within the R-2 Single Family Residential District. Per Section 11-604(C)(3), a site plan review is necessary for multi-lot developments exceeding 30,000 square feet.

### Request and Analysis

The proposed subdivision is located in the Single-Family Residential District (R-2). Thus, staff reviewed the application with respect to Section 3-101 of the Zoning Code; to perpetuate the existing high quality residential character of the Village by preserving established neighborhoods and encouraging new residential development consistent with the overall character of the Village.

The applicant, McNaughton is proposing to subdivide a single 57,916 square foot lot into two conforming residential lots; as represented as Lot 1 (32,500 SF), Lot 2 (20,569 SF) and a 4,847 SF Madison Street dedication. The table included in the applicant's submittal complies with the relative bulk, space and yard requirements per Section 3-110 of the Zoning Code. The proposed Final Engineering Plans for 543 N. Madison Street was submitted to the Village consultant and is being reviewed concurrently with this application (Attachment 3). The attached Hinsdale Zoning map illustrates the subject property location surrounded by R-2 Single Family Residential (Attachment 4).

The proposed fits the neighborhood and is in concert with the Village's land use plan to: establish a rational pattern of land uses and encourage the most appropriate use of individual parcels, encourage and promote detached single family homes as the principal land use in the Village (Attachment 5) and provide for the gradual elimination of non-conforming uses that adversely affect the character and value of permitted development.

## **Process**

The Plan Commission (PC) shall approve or disapprove the tentative plat within 90 days of receipt. If the tentative plat is not satisfactory in all details presented, the PC may require the applicant to make such corrections or changes as they may request before approval of said plat. Upon the approval of a tentative plat, such plat shall be forwarded to the Village Board for their approval or disapproval within 30 days of receipt by said Board (Title 11, Section 11-1-8).

The applicant shall file application for final approval of a subdivision plat not later than one year after a tentative plat has been approved by the Village Board. Within 60 days of the filing of the last required documents attendant to final plat requirements, the Village Board shall approve or disapprove the final plat (Title 11, Section 11-1-9).

The PC within 60 days following the conclusion of the public meeting, shall transmit to the Board its recommendation, in the form specified in subsection 11-103H of the Zoning Ordinance recommending either approval or disapproval of the site plan based on the standards set forth in subsection F1 of this section. In the case of any recommendation for disapproval, suggestions as required by subsection F2 of this section shall be provided. The failure of the plan commission to act within 60 days, or such further time to which the applicant may agree, shall be deemed to be a recommendation for approval of the site plan as submitted.

## **Attachments**

Attachment 1 – Plan Commission and Site Plan Review Applications

Attachment 2 – Subdivision Application and Proposed Final Plat of 543 N. Madison Street

Attachment 3 – Proposed Final Engineering Plans for 543 N. Madison Street (attached back of packet)

Attachment 4 – Village of Hinsdale Zoning Map and Project Location

Attachment 5 – Neighborhood Birds Eye View and Project Location



## PLAN COMMISSION APPLICATION

### **Applicant**

E-Mail: [pmcnaughton83@yahoo.com](mailto:pmcnaughton83@yahoo.com)

E-Mail: [facker@mwe.com](mailto:facker@mwe.com)

E-Mail: [sschreiner@dtekcorp.com](mailto:sschreiner@dtekcorp.com)

E-Mail:

3) \_\_\_\_\_

## II. SITE INFORMATION

Address of subject property: 543 N. Madison Street

Property identification number (P.I.N. or tax number): 09 - 01 - 115 - 010

Brief description of proposed project: Subdivision of existing Property into 2 conforming lots under the existing zoning classification

General description or characteristics of the site: The Property is located at the southeast corner of Madison and Ogden. There is a detached single family home and a detached garage on the Property, which is accessed with an asphalt drive from Madison Street. The Property is approximately 1.24 acres

Existing zoning and land use: R-2 (detached, SF)

Surrounding zoning and existing land uses:

North: R-2 detached, SF and O-2 office

South: R-2 and R-4 (detached, SF)

East: R-2 and R-4 (detached, SF)

West: R-4 (detached, SF)

Proposed zoning and land use: R-2 detached, SF

**Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:**

☒ Site Plan Approval 11-604

☐ Map and Text Amendments 11-601E  
Amendment Requested: \_\_\_\_\_

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☐ Planned Development 11-603E

☐ Special Use Permit 11-602E  
Special Use Requested: \_\_\_\_\_

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE  
543 N. MADISON STREET  
ZONING DISTRICT - R2

	ZONING CODE	LOT 1	LOT 2
MINIMUM LOT AREA	20,000	32,500	20,569
MINIMUM LOT DEPTH	125.00	214.07	188.46
MINIMUM LOT WIDTH	100.00	143.76	110.00
BUILDING HEIGHT	30.00	N/A	N/A
NUMBER OF STORIES	3.00	N/A	N/A
FRONT YARD SETBACK	35.00	35.00	35.00
CORNER LOT 1 SIDE YARD SETBACK (INTERIOR MIN) *	15.38	15.38	N/A
CORNER LOT 1 SIDE YARD SETBACK (CORNER SIDE)	35.00	35.00	N/A
INTERIOR LOT 2 SIDE YARD SETBACK MINIMUM**	12.00	N/A	12.00
INTERIOR LOT 2 TOTAL SIDE YARD SETBACK ***	33.00	N/A	33.00
REAR YARD SETBACK (INTERIOR LOT 2)	50.00	N/A	50.00
REAR YARD SETBACK (CORNER LOT 1)-SEE BELOW ****	32.11	32.11	N/A
MAXIMUM FLOOR AREA RATIO (FAR)	VARIES	N/A	N/A
MAXIMUM TOTAL BUILDING COVERAGE	VARIES	N/A	N/A
PARKING REQUIREMENTS	VARIES	N/A	N/A
PARKING FRONT YARD SETBACK	N/A	N/A	N/A
PARKING CORNER SIDE YARD SETBACK	N/A	N/A	N/A
PARKING INTERIOR SIDE YARD SETBACK	N/A	N/A	N/A
PARKING REAR YARD SETBACK	N/A	N/A	N/A
LOADING REQUIREMENTS	N/A	N/A	N/A
ACCESSORY STRUCTURE INFORMATION	N/A	N/A	N/A

\*CORNER LOT SIDE SETBACK INTERIOR = 10' OR 6' + 10% OF LOT WIDTH IN EXCESS OF 50'

LOT 2 WIDTH = 143.76

INTERIOR SYSB = 6' + (0.10 X (143.76-50)) = 15.38 ft.

\*\*INTERIOR LOT SIDE SETBACK MINIMUM = 10' OR 6' + 10% OF LOT WIDTH IN EXCESS OF 50'

LOT 2 WIDTH = 110.00

INTERIOR SYSB = 6' + (0.10 X (110.00-50)) = 12.00 ft.

\*\*\*CORNER LOT TOTAL SIDE SETBACK = 30% OF LOT WIDTH UP TO 125' PLUS 35% OF LOT WIDTH IN EXCESS OF 125'

LOT 1 WIDTH = 110.00

INTERIOR SYSB = (0.30 X 110) = 33.00 ft.

\*\*\*\*CORNER REAR YARD SETBACK = 15% OF MAXIMUM LOT DEPTH

MAXIMUM LOT 1 DEPTH = 214.07

RYSB = 214.07 x 0.15 = 32.11 ft.

## CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
  2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
  3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
  4. Location, size, and arrangement of all outdoor signs and lighting.
  5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
  6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
  7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 11th day of May, 2015, I/We have read the above certification, understand it, and agree to abide by its conditions.

Signature of applicant or authorized agent

Paul McVaughen  
Name of applicant or authorized agent

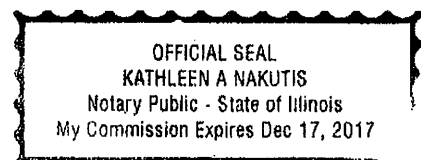
Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN  
to before me this 11 day of May, 2015.

Kathleen A Nakutis  
Notary Public

4



Attachment 1

# VILLAGE OF HINSDALE

## CERTIFICATION OF PROPER NOTICE

### REGARDING APPLICATION FOR PUBLIC HEARINGS AND MEETINGS

I, \_\_\_\_\_, being first duly sworn on oath, do hereby certify that I caused written notice of the filing of my application for a public hearing and or meeting to be given to owners of record of property within 250 feet of any part of the subject property. I further certify that I gave such notice in the form required by the Village (Certified Mail) and that I gave such notice on \_\_\_\_\_.

Attached is a list of all of the addresses of property to whom I gave such notice and the receipts of mailings.

By: \_\_\_\_\_

Name: \_\_\_\_\_

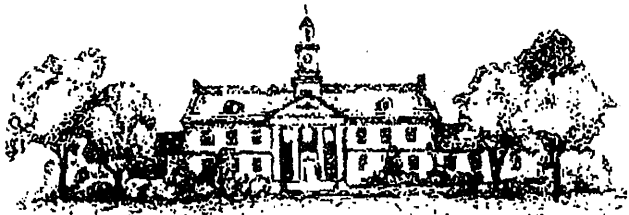
Address: \_\_\_\_\_

Subscribed and sworn to before me

This \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

By: \_\_\_\_\_

Notary Public



**VILLAGE  
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT  
DEPARTMENT  
EXTERIOR APPEARANCE AND  
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 543 N. Madison street

**REVIEW CRITERIA**

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

**\*\*\*PLEASE NOTE\*\*\*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

**FEES for Exterior Appearance/Site Plan Review:**

**Standard Application: \$600.00**

**Within 250 feet of a Single-Family Residential District: \$800**

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. **Open spaces.** The quality of the open space between buildings and in setback spaces between street and facades.

*The quality of the open spaces is at least as good as and better than the quality of the open spaces in the surrounding area.*

2. **Materials.** The quality of materials and their relationship to those in existing adjacent structures.

*The quality of the materials is at least as good as and better than the quality of the materials in the surrounding area. All materials are new.*

3. **General design.** The quality of the design in general and its relationship to the overall character of neighborhood.

*The quality of the design is at least as good as and better than the quality of the design in the surrounding area. The site is engineered.*



4. **General site development.** The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Applicant is subdividing 1 lot into 2 lots, which conform under the existing zoning classification. There is no material change to the surrounding area regarding any of these interests.

5. **Height.** The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Building heights will conform with the Hinsdale zoning code and be compatible with the surrounding area

6. **Proportion of front façade.** The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible

7. **Proportion of openings.** The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The architecture will be high quality and visually compatible

8. **Rhythm of solids to voids in front facades.** The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible.

9. **Rhythm of spacing and buildings on streets.** The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The architecture, site layout, and site design will be thoughtful, strategic, and high quality to accomplish these objectives

10. **Rhythm of entrance porch and other projections.** The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible

11. **Relationship of materials and texture.** The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The architecture will be high quality and visually compatible

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

*The architecture will be high quality and visually compatible*

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

*The architecture will be high quality and visually compatible*

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

*the architecture and site layout will be thoughtful, strategic, and high quality to accomplish these objectives*

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

*The architecture will be high quality and visually compatible*

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

*N/A*

#### **REVIEW CRITERIA – Site Plan Review**

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The site plan will comply w/ all aspects of the Hinsdale zoning code. No relief is requested.

2. The proposed site plan interferes with easements and rights-of-way.

There is no interference with easements and rights of way

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The site plan does not alter the natural features of the lot beyond what is required to comply with Hinsdale's stormwater

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of (code surrounding property.

The site plan calls for 1 additional home beyond what is existing, and the proposed subdivision complies with all zoning regulations without

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

there are no new streets proposed. there is simply 1 additional driveway to service the new home.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

The site is naturally screened.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

the quality of the above will be at least as good as and better than the quality in the surrounding area.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

N/A

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The drainage situation is being vastly improved by the engineering and subdivision of the site.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

*There is only 1 new home to be served*

11. The proposed site plan does not provide for required public uses designated on the Official Map.

*N/A*

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

*The plan is a simple subdivision of 1 lot into 2, which is compliant with the zoning code, no relief requested.*

# SUBDIVISION APPLICATION

TO: ENVIRONMENTAL &  
PUBLIC SERVICES COMMITTEE  
c/o Engineering Department  
19 E. Chicago Avenue  
Hinsdale, Illinois 60521  
(630) 789-7033

Date Filed: \_\_\_\_\_, 20\_\_\_\_

Subdivision Title: Madison Estates

Street Address: 543 N. Madison

Existing Square Footage: 57,915.79 Proposed Square Footage: 57,915.79 Zoning District R-2

Permanent Index Number(s): 09-01-115-010-0000

Name of Applicant: McNaughton Development, Inc.

Address of Applicant: 118.220 Jackson Street, Burr Ridge, IL 60527

Applicant's Phone/Fax Number: 630-325-3400 / 630-325-3402

Applicant's E-Mail: pmcnaughton83 @ yahoo.com

Applicant's Signature: [Signature]

Property Owner: Cynthia Acker

Owner's Address: 543 N. Madison, Hinsdale, IL 60521

Owner's Signature: [Signature] (Att. for Owner)

## FOR OFFICE USE ONLY

Accompanying this application are the following:

- Subdivision Application
- 3 Folded Copies of Plat of Subdivision (Do Not Sign Copies) Applicant Keeps Original
- Current Folded Plat of Survey
- Proof of Ownership
- Letter Allowing Village to Record Plat of Subdivision
- Letter from the School Districts (or plat block signed by property owner) identifying all school districts
- Processing Fee in the Amount of \$ 600.00

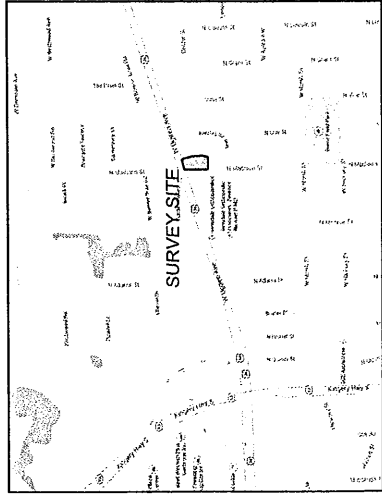


## Attachment 5: Birds Eye View and Project Location.

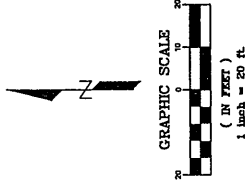


# FINAL PLAT OF MADISON ESTATES III

BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 38  
NORTH, RANGE 11 EAST, JEFFERSON COUNTY, ILLINOIS



VICINITY MAP  
NOT TO SCALE

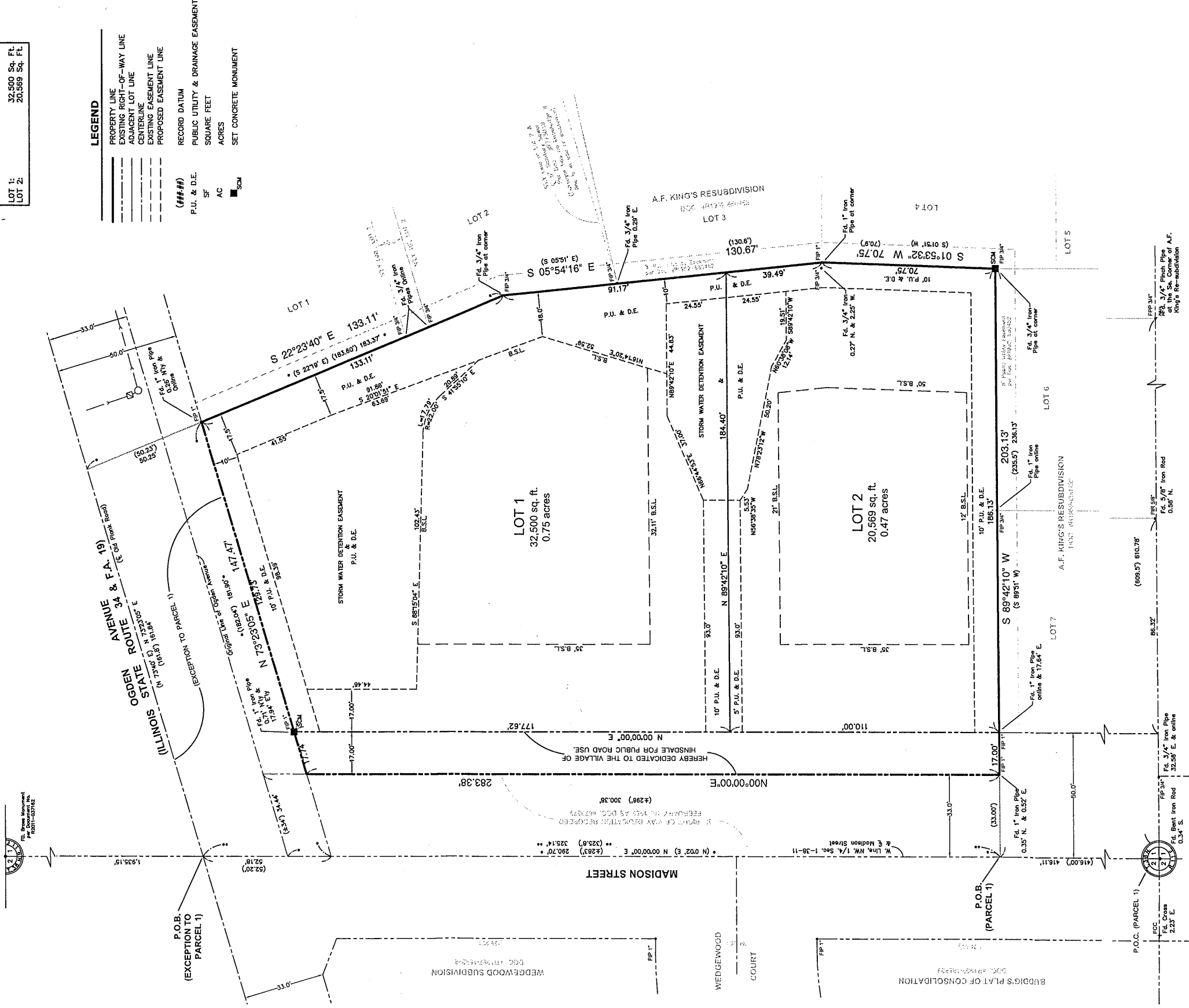


**BASIS OF BEARING**  
ASSUMED THE WEST LINE OF THE  
NORTHWEST QUARTER OF SECTION  
1-38-11 TO BE:  
N. 00°00'00" E.

**PARCEL IDENTIFICATION  
NUMBER**  
08-01-115-010-0000

**SITE DATA**  
GROSS AREA: 57,916 Sq. Ft.  
MADISON STREET: 4,847 Sq. Ft.  
DEDICATION  
LOT 1: 32,500 Sq. Ft.  
LOT 2: 20,569 Sq. Ft.

**LEGEND**  
PROPERTY LINE  
EXISTING RIGHT-OF-WAY LINE  
ADJACENT LOT LINE  
CENTERLINE  
EXISTING EASEMENT LINE  
PROPOSED EASEMENT LINE  
  
RECORD DATUM  
PUBLIC UTILITY & DRAINAGE EASEMENT  
P.U. & D.E.  
SF  
AC  
SET CONCRETE MONUMENT



PREPARED FOR:  
McNaughton Development  
115220 Jackson Street, Suite 101  
Burr Ridge, Illinois 60527  
630-325-3400

DESIGNER:  
DTS  
9930 W. 190th Street, Suite L  
Mokena, Illinois 60448  
708-326-4961 voice  
708-326-4962 fax

DATE: 06/03/2015  
DESCRIPTION: Per Village Review  
NO. 1  
DATE: 06/03/2015  
DESCRIPTION: Per Village Review  
NO. 1

Project No: 14-04001  
SHEET NO. 1 of 2

DRAFTING COMPLETED: 04/11/2014  
CHECKED BY: S.J.L.  
DRAWN BY: S.J.L.  
PROJECT MANAGER: S.J.L.  
MADISON ESTATES III  
FINAL PLAT





FINAL ENGINEERING PLANS  
FOR  
MADISON ESTATES III

HINSDALE, ILLINOIS

**DEVELOPER:**

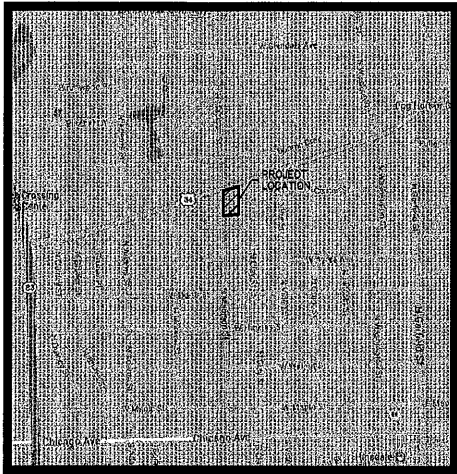
McNAUGHTON DEVELOPMENT, INC.  
220 S. JACKSON STREET, #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

**ENGINEER:**

DESIGNTEK ENGINEERING, INC.  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961

**SURVEYOR:**

DESIGNTEK SURVEYING, LLC.  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 478-6161



LOCATION MAP  
NOT TO SCALE

**INDEX OF PLAN SHEETS**

- COVER SHEET
- 3. SPECIFICATIONS
- EXISTING CONDITIONS & REMOVAL PLAN
- EROSION CONTROL PLAN
- SITE PLAN
- GRADING PLAN
- UTILITY PLAN
- 11. DETAILS

**BENCHMARKS:**

DUPAGE COUNTY BENCHMARK DGN 01001: A BRASS MONUMENT IN A CONCRETE TRAFFIC SIGNAL BASE AT THE NORTHEAST CORNER OF THE INTERSECTION OF OGDEN AVENUE AND MADISON STREET AND IS 33.0 FT NORTH OF THE CENTERLINE OF OGDEN AVENUE, 57.3 FT EAST OF THE CENTERLINE OF MADISON STREET, 37.2 FT SOUTHEAST OF A TRAFFIC SIGNAL POST, 3.9 FT NORTH OF THE BACK OF CURB FOR OGDEN AVENUE, 38.0 FT SOUTHEAST OF A MANHOLE, AND 24.5 FT EAST OF A TRAFFIC SIGNAL CONTROL BOX.

ELEVATION: 704.86 (NAVD 88)

**LEGAL DESCRIPTION:**

PARCEL 1:  
THAT PART OF THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SAID NORTHWEST QUARTER; THENCE NORTHERLY ALONG THE WEST LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 416.0 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH ALONG THE WEST LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 325.8 FEET TO THE CENTER LINE OF OGDEN AVENUE (CENTER LINE OF OLD PLANK ROAD); THENCE NORTHEASTERLY ALONG THE CENTER LINE OF OGDEN AVENUE (CENTER LINE OF OLD PLANK ROAD) NORTH 73 DEGREES 40 MINUTES EAST, A DISTANCE OF 161.8 FEET; THENCE SOUTH 22 DEGREES 19 MINUTES EAST, A DISTANCE OF 183.6 FEET; THENCE SOUTH 5 DEGREES 51 MINUTES EAST, A DISTANCE OF 130.6 FEET; THENCE SOUTH 1 DEGREE 59 MINUTES WEST, A DISTANCE OF 70.9 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES WEST A DISTANCE OF 235.5 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

EXCEPTING THEREFROM THAT PART OF THE PROPERTY DESCRIBED AS: THAT PART OF THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT OF INTERSECTION OF CENTER LINE OF OGDEN AVENUE (U.S. ROUTE 34, FEDERAL AID 19) WITH CENTER LINE OF MADISON AVENUE; THENCE NORTH 73 DEGREES 40 MINUTES EAST ALONG SAID CENTER LINE OF OGDEN AVENUE FOR A DISTANCE OF 161.80 FEET; THENCE SOUTH 22 DEGREES 19 MINUTES EAST FOR A DISTANCE OF 50.23 FEET TO A POINT ON A LINE DRAWN PARALLEL WITH AND 30.00 FEET NORMALLY DISTANT SOUTHERLY OF SAID CENTER LINE OF OGDEN AVENUE; THENCE SOUTH 73 DEGREES 40 MINUTES WEST ALONG THE LAST DESCRIBED PARALLEL LINE FOR A DISTANCE OF 182.04 FEET TO A POINT ON SAID CENTER LINE OF MADISON AVENUE; THENCE NORTH ALONG SAID CENTER LINE FOR A DISTANCE OF 52.20 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY ILLINOIS.

AND ALSO EXCEPTING THEREFROM THAT PART OF THE PROPERTY DESCRIBED AS: THE WEST 33.00 FEET CONVEYED TO THE VILLAGE OF HINSDALE FOR STREET PURPOSES AS DESCRIBED IN QUIT CLAIM DEED DATED JANUARY 23, 1953 AND RECORDED AS DOCUMENT NUMBER 673879.

PARCEL 2:  
EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY GRANT FROM ARTHUR F. KING, MARJORIE W. KING AND CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST NUMBER 35665 TO ANNA D. CONABLE, DATED SEPTEMBER 30, 1954 AND RECORDED OCTOBER 8, 1954 AS DOCUMENT NO. 73909, OF THE RIGHT TO USE A SIX INCH SANITARY SEWER FOR THE PASSAGE OF SEWERAGE WATER AND DOWNSPOUT DRAINAGE FROM BUILDINGS OR OTHER IMPROVEMENTS ON PREMISES IN QUESTION, THROUGH SAID SEWER CONSTRUCTED ACROSS THE FOLLOWING DESCRIBED PROPERTY: BEGINNING AT THE SOUTHWESTERLY CORNER OF LOT 2; THENCE NORTHEASTERLY ALONG A BROKEN LINE DESIGNATED "SOUTHERLY LINE OF LOT 2" TO THE EASTERLY LINE OF SAID LOT 2 IN A.E. KING'S RESUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THIS PLAT THEREOF RECORDED APRIL 30, 1952 AS DOCUMENT NO. 630452, IN DUPAGE COUNTY, ILLINOIS.

**SURFACE WATER  
DRAINAGE CERTIFICATE**

STATE OF ILLINOIS)  
COUNTY OF WILL)S.

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 4th DAY OF JUNE, 2015.

*Boyd Schreiner*  
ENGINEER



EXISTING		PROPOSED	
---	SANITARY SEWER	---	
---	STORM SEWER	---	
□	CATCH BASIN	□	
○	OPEN LID MANHOLE	○	
○	CLOSED LID MANHOLE	○	
□	INLET	□	
W	WATER MAIN	W	
⊗	VALVE	⊗	
▽	HYDRANT	▽	
△	FLARED END	△	
*	STREET LIGHT	*	
*	UTILITY POLE	*	
*	B-BOX	*	
---	RETAINING WALL	---	
---	SILT FENCE	---	
---	CONTOUR	---	
---	FORCEMAIN	---	
---	FLOODPLAIN	---	
---	FLOODWAY	---	
---	OVERLAND FLOW ROUTE	---	
---	WETLANDS	---	
---	WETLAND BUFFER	---	
---	DEPRESSED WALK	---	

**PARCEL IDENTIFICATION  
NUMBER**

09-01-115-010-0000

**SITE DATA**

AREA: 53,834 SQUARE FEET  
OR ±1.24 ACRES

**BASIS OF BEARING**

ASSUMED THE WEST LINE OF THE  
NORTHWEST QUARTER OF SECTION  
1-38-11 TO BE:  
N. 00°00'00" E.

CALL BEFORE YOU DIG

JULIE

CALL 1-800-892-0123  
AT LEAST 48 HOURS (2 WORKING  
DAYS) BEFORE YOU DIG

**REVIEW SET  
NOT FOR CONSTRUCTION**

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06-04-15	PER VILLAGE REVIEW	SDS

FINAL ENGINEERING PLANS  
FOR  
MADISON ESTATES III  
HINSDALE, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS

**PROJECT INFORMATION**

Project No.: 13-0027  
Date: 05-11-15

Design By: SDS  
Drafted By: NSM  
Checked By: SDS

1  
OF  
10

## 1. Definition of Terms

## 1. Definition of Terms

3. The OWNER shall be responsible for the following:
  - a. Scheduling the necessary preconstruction meeting(s) with the Jurisdictional agencies at least two (2) working days prior to the commencement of work.
  - a. Insurance certificates from all contractors, naming the Village of Hinsdale as additional Insured, prior to preconstruction meeting being set.
  - b. Providing the CONTRACTOR with one (1) set of control line and grade stakes (at offsets mutually agreed upon) for the proper prosecution and control of the work.
  - c. Applying for IEPA, IDOT, and all applicable County of DuPage, Village of Hinsdale, and Sanitary District Permits. Other necessary permits shall be the responsibility of the CONTRACTOR.
4. The ENGINEER shall be responsible for the following:
  - a. To periodically visit the construction site in order to better carry out the duties and responsibilities assigned by the OWNER and undertaken by the ENGINEER.
  - b. The ENGINEER shall not, during such visits or as a result of such observations of the CONTRACTOR(s)' work in progress, supervise, direct or have control over the CONTRACTOR(s)' work nor shall the ENGINEER have authority over or responsibility for the means, methods, techniques, sequences or procedures of construction selected by the CONTRACTOR(s)', for safety precautions and programs incident to the work of the CONTRACTOR(s) or for any failure of the CONTRACTOR(s) to comply with laws, rules, regulations, ordinances, codes or orders applicable to the CONTRACTOR(s) furnishing and performing their work. Accordingly, the ENGINEER can neither guarantee the performance of the construction contracts by the CONTRACTOR(s) nor assume responsibility for the CONTRACTOR(s)' failure to furnish and perform their work in accordance with the Contract Documents.

1. The Standard Specifications, which apply to the construction work as shown on the Engineering Plans, are contained in the following documents:
  - a. "Standard Specifications for Road and Bridge Construction", and "Supplemental Specifications and Recurring Special Provisions", latest edition, prepared by the Illinois Department of Transportation (IDOT Standard Specifications).
  - b. Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, as adopted by the Illinois Society of Professional Engineers, et al.
  - c. Illinois Urban Manual, latest edition.
  - d. DuPage County Stormwater & Floodplain Ordinance, latest edition.
  - e. Village of Hinsdale Code, latest edition.
2. In the event of a conflict between statements, which apply to the construction work, the OWNER should contact the Public Works Director at (630) 789-7041 for direction.

## 1. EARTHWORK IMPROVEMENTS

## 1. EARTHWORK IMPROVEMENTS

- # 1. EARTHWORK IMPROVEMENTS
- a. Topsoil Excavation Includes:
- 1) Excavation of topsoil and other structurally unsuitable materials within those areas that will require earth excavation or compacted earth fill material, in order to achieve the plan subgrade elevations. The amount of topsoil to be stripped shall be verified in the field by a soils engineer.
  - 2) Placement of the excavated material in OWNER designated areas for future use within areas to be landscaped, and those areas not requiring structural fill material.
  - 3) Compaction of the excavated material where placed in areas not requiring structural fill material, shall be moderate.
  - 4) Excess materials, if not utilized as fill or if not stockpiled for future landscaping, shall be completely removed from the construction site and disposed of by the CONTRACTOR.
- b. Earth Excavation Includes:
- 1) Excavation of earth and other materials which are suitable for use as structural fill. The excavation shall be to within a tolerance of 0.3 feet ( $\pm$ ) of the plan subgrade elevations. The tolerance within pavement areas shall be such that the earth material shall "balance" as part of the fine grading operation.
  - 2) Placement of the earth and other suitable materials shall be within those areas requiring structural fill in order to achieve the plan subgrade elevations to within a tolerance of 0.3 feet ( $\pm$ ). The fill material shall be placed in loose lifts that shall not exceed eight (8) inches in thickness, and the water content shall be adjusted in order to achieve the required compaction. Earth material may be placed within those portions of the building site not requiring structural fill, to within six (6) inches of the plan finished grade elevation, in areas requiring structural fill, however, the earth material shall not be placed over topsoil or other unsuitable materials unless specifically directed by a Soils Engineer with the concurrence of the OWNER.
  - 3) Compaction of the earth and other suitable materials shall be at least 95% of the maximum dry density as determined by the Modified Proctor Test, ASTM D1557 laboratory procedure within proposed pavement areas, building areas, and rear yards abutting proposed lakes. Moderate compaction is required elsewhere. All fill shall be placed in 8" lifts, loose measure.
  - 4) Excess materials, if not utilized as fill, shall be completely removed from the construction site and disposed of by the CONTRACTOR.
- c. Unsuitable Material
- 1) Unsuitable material shall be considered as material which is not suitable for the support of pavement and building construction, and is encountered below normal topsoil depths and the proposed subgrade elevation. The decision to remove said material, and to what extent, shall be made by a Soils Engineer with the concurrence of the OWNER in writing.
- d. General
- The Grading CONTRACTOR shall:
- 1) Maintain proper site drainage at all times during the course of construction, and prevent storm water from running into or standing in excavated areas.
  - 2) Spread and compact uniformly, to the degree specified, all excess trench spoil after completion of the underground improvements.
  - 3) Scarify and compact, to the degree specified, the upper twelve (12) inches of the suitable subgrade material, in all areas that may be soft due to excess moisture content. This applies to cut areas as well as fill areas.
  - 4) Provide water to add to dry material in order to adjust the moisture content for the purpose of achieving the specified compaction.
  - 5) Be responsible for implementation of the "Soil Erosion and Sedimentation Control Measures" as assigned to the grading CONTRACTOR on the Engineering Plan.
  - 6) Maintain silt fence until grass is established.
- e. Testing and Final Acceptance for Earthwork
- 1) The CONTRACTOR shall provide, as a minimum, a fully loaded six-wheel truck for proof rolling the pavement subgrade prior to the placement of the curb and gutter and the base material. In addition, the pavement aggregate base course shall also be proof rolled. Public Works shall be notified two (2) working days in advance of any proof roll at (630) 789-7041.
  - 2) Specific compaction testing may be required by the OWNER in selected fill areas. The CONTRACTOR shall bear the cost of any compaction testing which does not meet specification as well as the responsibility and cost for the necessary correction(s).
  - 3) Approval of the pavement subgrade by the OWNER shall be required prior to the placement of the pavement materials.
  - 4) The subgrade soil shall be tested by a professional geotechnical engineer at the developer's expense and shall have a minimum designated Illinois Bearing Ratio (IBR) equal to three (3).
  - 5) A soil investigation report shall be provided to the Village to verify the in situ IBR value. Pavement structures with subgrade soil having an IBR value less than three (3) shall have an increased pavement structure as necessary to carry the design traffic loading.
- f. Method of Measurement
- 1) As-built measurements of earthwork for the purpose of payment shall not apply. The quantities shown in the ENGINEER'S "Quantity Estimate" shall be utilized unless said quantities are adjusted by mutual consent of the OWNER and CONTRACTOR prior to the signing and acceptance of a contract.

- 2) The quantities as shown in the ENGINEER'S "Quantity Estimate" are those estimated by the ENGINEER and are provided solely for the convenience of the CONTRACTOR. The CONTRACTOR, by choosing to utilize these quantities in the preparation of his "lump sum" bid, also accepts their accuracy. The CONTRACTOR is therefore encouraged to make his own independent earthwork calculation, and to visit the site prior to the preparation of his bid.
  - 3) Prior to the removal of unsuitable material, the CONTRACTOR shall notify the OWNER for authorization to remove said material. Upon authorization and removal, the CONTRACTOR shall request that the unsuitable material shall be field measured by the ENGINEER in place.
- Basls of Payment**
- 1) Payment for all earthwork shall be "lump sum". The CONTRACTOR shall provide unit prices for earthwork for the purpose of contract adjustment, If required.
  - 2) Payment for the removal of unsuitable material shall be based on the quantities as field measured by the ENGINEER. The contractor shall provide as part of his bid a unit price per CUBIC YARD for the removal of unsuitable material. Said unit price shall include the complete removal of the material, replacement with a suitable material obtained by the CONTRACTOR from a borrow source, and compaction to the required specification.

## 2. PAVING IMPROVEMENTS

- a. Fine Grading
  - 1) Prior to the construction of the curb and gutter and the placement of the base material, the streets shall be fine graded to within 0.1 feet ( $\pm$ ) of final subgrade elevation, to a point two (2) feet beyond the back of the proposed curb.
- b. Curb and Gutter
  - 1) The curb and gutter type is detailed on the Engineering Plans.
  - 2) The curbs shall be backfilled after their construction and prior to the placement of the base course.
- c. Pavement
  - 1) The pavement materials is detailed on the Engineering Plans. Thickness specified shall be considered to be the minimum compacted thickness.
- d. General

The Paving Contractor shall:

  - 1) Repair any base course and binder course failures prior to the installation of the final hot-mix asphalt surface course.
  - 2) Sweep clean the binder course prior to the installation of the final hot-mix asphalt surface course. Excessive cleaning of the binder course that may be required, and is not the fault of the Paving CONTRACTOR, shall be paid for on a time and material basis by prior agreement with the OWNER.
  - 3) Permit the hot-mix asphalt binder course to weather one (1) winter season prior to the installation of the hot-mix asphalt surface course.
  - 4) Install street signs & traffic signs. All signs and their locations shall be in coordination with Village.
- e. Testing and Final Acceptance
  - 1) Prior to the placement of the base course, the subgrade must be approved by the local jurisdictional authority. (See "Testing and Final Acceptance for Earthwork")
  - 2) Prior to placement of the hot-mix asphalt surface course, the CONTRACTOR if requested by the OWNER, shall obtain specimens of the binder course with a core drill where directed by the ENGINEER, for the purpose of thickness verification. Coring shall be performed in accordance with IDOT Standard Specifications. The cost for obtaining cores, which meet or exceed the specification, shall be borne by the OWNER.
  - 3) Deficiencies in the hot-mix asphalt binder course shall be adjusted for by increasing the plan thickness of the surface course with no additional cost to the OWNER.
  - 4) A nuclear density test must be conducted on asphalt pavement in accordance with the IDOT Standard Specifications.
  - 5) Final acceptance of the total pavement installation shall be subject to the testing and checking requirements cited above.
- f. Method of Measurement
  - 1) Curb and Gutter, and base course shall be measured in the field by the CONTRACTOR. The quantities shall be submitted to the OWNER for verification.
  - 2) When requested by the OWNER, documentation for the installed base course, hot-mix asphalt binder, and surface, shall be submitted to the ENGINEER for verification. Deficiencies in total hot-mix asphalt pavement thickness shall be adjusted for in accordance with the requirements of the jurisdictional authority.
- g. Basis of Payment
  - 1) Curb and Gutter will be paid for at the contract unit price per LINEAL FOOT.
  - 2) Prime Coat material will be paid for at the contract unit price per GALLON.
  - 3) Base Course will be paid for at the contract unit price per SQUARE YARD.
  - 4) Hot-mix asphalt base and surface courses will be paid for at the contract unit price per SQUARE YARD.

## a Sanitary Sewer Mains and Services

- 1) Material shall be:
  - a) Polyvinyl chloride pipe (PVC), shall meet or exceed the performance requirements of ASTM D-3034, SDR-26.
  - b) Polyvinyl chloride pipe (PVC) C-900, shall be used when within 10 feet of water mains or water services.
- 2) Joints shall be:
  - a) For PVC; SDR-26 ASDM D-3212 or D-2855.
  - b) For DIP; push-on rubber gasket joints (bell-tite) type, ANSI A21.11.
- 3) Slope for an 8 inch diameter pipe shall be a minimum of 0.42%, and the slope for 6 inch diameter services shall be a minimum of 1.00%.
- 4) Wyes Type Tees or water department approved saddle tap shall be provided on the vent sanitary sewers for proposed building services. All connections to existing sanitary sewers not having wyes shall be made with a "Shower-Tap" for building services and with a manhole for sewer extensions. All taps shall include a properly installed hub wye saddle.
- 5) "Band Seal" or similar couplings shall be used when joining pipes of dissimilar materials.
- 6) Services shall be a minimum 6 inches and extend to the property line or beyond any utility located in the front yard of a lot being served (single-family development), or to within five (5) feet from the face of a proposed building being served (multi-family and commercial development). The termination points shall be clearly located with a green-topped 4 inch x 4 inch stake extending a minimum 3 feet above final grade.
- 7) Service risers shall be provided where the sewer is greater than ten feet (10') below the proposed ground elevation and shall be brought up to a depth minimum of ten feet (10') below the proposed ground line.
- 8) Internal chimney seals shall be provided on all sanitary manholes. Internal flexible water-tight seals shall extend from the manhole cone to the manhole frame.
- 9) Castings/Covers
  - a) Manhole frame and cover - E.J.I.W. 1058, Neenah R-1550 or Village Approved, with machined bearing surfaces and self sealing Type A heavy duty lid, embossed "SANITARY". Covers shall be gasket sealed, have watertite assembly and closed pickholes.
  - b) Bolt down lids shall be provided where indicated on plans.
  - c) Manhole castings shall be adjusted to finished grade using precast concrete adjusting rings set in mortar. Maximum adjustment shall be six (6) inches.
- 10) Trench Backfill
  - a) Bedding, haunching and the initial backfill shall consist of IDOT CA-6, CA-10, OR CA-18 aggregate. The initial backfill shall be placed to at least 12" above the pipe.
  - b) Final backfill of the trench shall be accomplished by careful replacement of the excavated material. Any pipe installed under or within three (3) feet of a pavement edge, driveway (when driveway location is known), or curb and gutter shall be backfilled to the top of the trench with compacted IDOT CA-6, CA-10 , or CA-18 material.
  - c) Compaction shall be in accordance to IDOT Article 550.07(a), Method 1: The material shall be deposited in uniform lifts not exceeding 8" in depth, loose measurement, and each lift shall be up compacted by mechanical means to the satisfaction of the Engineer.
- b. Water Main and Services
  - 1) Material for the water main shall be ductile iron pipe, which shall meet or exceed the performance requirements of ANSI A21.51, Class 52 cement-lined, ext. coated & bituminous coated as specified in AWWA C-151.
  - 2) Joints for the ductile iron pipe shall be the push-on or mechanical (small footage), AWWA C-111. Mechanical joints Mega-Lug should be used in all changes in direction and between hydrant tee and auxiliary valve. All Mega-Lug and other mechanical joint connections shall be secured using stainless steel bolts.
  - 3) The maximum bend shall be 45'.
  - 4) Polyethylene Encasement, conforming to AWWA C-105 shall be provided for all ductile iron pipe.
  - 5) Water Services shall be Type K copper soft tubing and joints shall be flared to fit copper compression type fittings. Diameter of service shall be one and one half inch (1-1/2"). All service pipes shall be installed with a minimum earth cover of four feet six inches (4'6").
  - 6) The shut-off valve or curb stop shall be located on the street side of the street right-of-way line and not more than seven and one-half (7-1/2') therefrom, and shall be installed with a valve vault box of design approved by the Village. The termination points shall be clearly located with a blue-topped 4 inch x 4 inch stake extending a minimum of 3 feet above final grade.
  - 7) Manhole frame and cover - East Jordan Iron Works, Inc. (E.J.I.W.) 1058 or Neenah R-1550. Covers shall be gasket sealed and embossed "WATER".

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**McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400**

FINAL ENGINEERING PLANS  
FOR  
MADISON ESTATES III  
HINSDALE, ILLINOIS

**SIGNTEK ENGINEERING, INC.**  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961



<b>PROJECT INFORMATION</b>
Project No.: 13-0027
Scale: N/A
Date: 05-11-15
Design By: SDS
Drafted By: NSM
Checked By: SDS

2  
OF  
11

## SPECIFICATIONS – 1

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3. UNDERGROUND IMPROVEMENTS (continued)

b. Water Main and Services (continued)

7) Valves:

- a) Epoxy coated resilient wedge with non-rising stem gate valves, counter-clockwise to open, AWWA C-509, Clow, Mueller, or approved equal.
- b) Fire hydrant auxiliary valve shall be one of the same manufacturer as the hydrant, and shall connect to the fire hydrant with a flange connection.

8) Valve Vaults:

- a) Precast reinforced concrete - ASTM C-478 with tongue and groove joints sealed with gaskets conforming to ASTM C-443 or bituminous jointing material.
- b) Size - For twelve (12) inch diameter valves and for pressure connections, valve vaults shall have a minimum inside diameter of sixty (60) inches; for pressure connections and valves sixteen (16) inches and larger, valve vaults shall have a minimum inside diameter of seventy-two (72) inches.
- c) Steps - Cast in place E.J.I.W. No. 8518 or MA Industries PS-4 steel reinforced plastic conforming to O.S.H.A. standards, sixteen (16) inches on center.
- d) Pipe Seals - Pipe openings in manhole walls shall be flexible, watertight connections, A-LOK, Interplace, PS-10, KOR-N-SEAL, or approved equal.

9) Fire Hydrants:

- a) Fire hydrants with six inch (6") flanged inlet connection, five inch (5") valve opening, two and one-half inch (2-1/2") hose nozzles, one four and one-half inch (4-1/2") pumper connection for a six foot (6') depth of trench with a six inch (6") auxiliary valve bolted on. Hydrants should be "open left" and have national standard threads. Before purchasing, the contractor should verify nozzle threads and operating nut size with the appropriate fire protection district.
- b) Shall be painted the color red.

10) Trench Backfill

- a) Bedding, haunching and the initial backfill shall consist of IDOT CA-6, CA-10, OR CA-18 aggregate. The initial backfill shall be placed to at least 12" above the pipe.
- b) Final backfill of the trench shall be accomplished by careful replacement of the excavated material. Any pipe installed under or within three (3) feet of a pavement edge, driveway (when driveway location is known), or curb and gutter shall be backfilled to the top of the trench with compacted IDOT CA-6, CA-10 , or CA-18 material.
- c) Compaction shall be in accordance to IDOT Article 550.07(a), Method 1: The material shall be deposited in uniform lifts not exceeding 8" in depth, loose measurement, and each lift shall be compacted by mechanical means to the satisfaction of the Engineer.

11) Pipe Laying:

- a) The contractor shall keep the trench free from water while the water main is being placed and until the pipe joint has been sealed to the satisfaction of the Village Engineer.
- b) Adequate provisions shall be made for the safety, storage, and protection of all water pipe prior to actual installation in the trench. Care shall be taken to prevent damage to the pipe castings, both inside and out. Provisions shall be made to keep the inside of the pipe clean throughout its storage period and to keep mud and/or other debris from being deposited therein. All pipe shall be thoroughly cleaned on the inside before laying of the pipe. Proper equipment shall be used for the safe handling, conveying, and laying of the pipe so as to prevent damage to water main materials and protective coatings and linings. Under no circumstances shall water main materials be dropped or dumped into the trench.
- c) Polyethylene wrapping of all water main is required in conjunction with AWWA C-105.
- d) In making joints, all portions of the jointing materials and the socket and spigot ends of the joining pipe shall be wiped clean of all foreign materials. The actual assembly of the jointing shall be in accordance with the manufacturer's installation instructions. During construction, until jointing operations are complete, the open ends of all pipes shall at all times be protected and sealed with temporary watertight plugs.
- e) During water main installation, to make a closure between two pipe ends, or between pipe end fittings, or between pipe end and valve, short lengths shall be used with proper connections or couplings. Repair sleeves shall not be used to make closures during new construction.
- f) All pipe and trenching shall be viewed and approved by the Village prior to cover and backfill.
- g) Water mains shall be buried not less than five feet (5') below surface of the final grade as measured to the top of the pipe.

c. Storm Sewer

1) Material shall be:

- a) Reinforced concrete pipe (RCP), unless otherwise noted on the plans, which shall meet or exceed the performance requirements of ASTM C-76, Class IV.
- b) Polyvinyl chloride pipe (PVC), where indicated on the plans which shall meet or exceed the performance requirements of ASTM D-2241, SDR-26.

2) Joints shall be:

- a) For RCP: ASTM C-443 ("a-ring").
- b) For PVC: flexible elastomeric seal joints, ASTM D-3139.

3) Size shall be as indicated on the Engineering Plan.

4) Castings/Covers:

- When used on manholes w/flat tops, a minimum of one 2" adjusting ring shall be used.
- a) Manhole frame and cover - E.J.I.W. No. 1058 or Neenah R-1550 embossed "STORM", with Type A heavy duty cover, for Closed Lids.
- b) Curb and gutter Inlet - E.J.I.W. No. 7464-M2 or Neenah R-3525-L
- c) Yard Inlet - E.J.I.W. No. 1020 with Type M2 flat grate or Neenah R-4340 B.
- d) Manhole and Catchbasin frame and grate - Neenah R-2502-C when noted for open lids.
- e) Storm Grates shall have "Drain to Creek" emblem.

5) Trench Backfill

- a) Bedding, haunching and the initial backfill shall consist of IDOT CA-6, CA-10, OR CA-18 aggregate. The initial backfill shall be placed to at least 12" above the pipe.
- b) Final backfill of the trench shall be accomplished by careful replacement of the excavated material. Any pipe installed under or within three (3) feet of a pavement edge, driveway (when driveway location is known), or curb and gutter shall be backfilled to the top of the trench with compacted IDOT CA-6, CA-10 , or CA-18 material.
- c) Compaction shall be in accordance to IDOT Article 550.07(a), Method 1: The material shall be deposited in uniform lifts not exceeding 8" in depth, loose measurement, and each lift shall be compacted by mechanical means to the satisfaction of the Engineer.

d. Incidental To Construction

The Underground CONTRACTOR Shall:

- 1) Adhere to the criteria for the separation between water mains and the storm and sanitary sewer lines as described in the "Technical Policy Statements", Division of Public Water Supplies, Illinois Environmental Protection Agency (See Standard Specifications).
- 2) Be responsible to place on grade, and coordinate with other CONTRACTORS, all underground utility structure frames such as manholes, catchbasins, and inlets.
- 3) Be aware of potential conflicts with existing utilities. The CONTRACTOR shall excavate around the existing utilities prior to construction of the proposed utility improvements to determine their exact location and elevation.
- 4) Any existing utility structures requiring adjustment or reconstruction shall be completed by the CONTRACTOR to the satisfaction of the utility owner. Adjustments and/or reconstructions not called for on the plans shall be considered incidental to the contract. No more than a total of 6 inches of adjusting rings allowed with a maximum total of 2 rings.
- 5) The concrete fillets shall be pre-cast from the manufacturer in all sanitary and storm manholes and inlets.
- 6) Be responsible for maintaining the top of any utility trench at least three (3) feet away from any existing or proposed curb or pavement, in those instances where the trench runs parallel to said curb or pavement.
- 7) Be responsible for the dewatering of utility trenches during construction and providing the necessary trench bracing that may be required to assure safe working conditions.
- 8) The trench shall be excavated to a depth that will allow a minimum of four (4) inches or one-quarter (1/4) the pipe diameter (whichever is greater) of bedding material to be placed below the pipe.
- 9) Remove soft material that may be encountered at the pipe invert elevation to a depth of at least one (1) foot below the bottom of the pipe or down to firm soils (whichever is greater), and backfill with compacted bedding material.
- 10) Not damage the road subgrade with excessive water saturation from hydrant flushing, or from leaks in the water distribution system. The cost of repair for such damage shall be borne by the CONTRACTOR. Hoses should be used to direct the water from hydrant flushing into the storm sewer system (if available).
- 11) Repair any existing field drainage tile damaged during construction, and properly reroute and/or connect said tile to the nearest storm sewer outlet. All locations of encountered field drainage tile shall be properly indicated on the CONTRACTOR'S record drawing.
- 12) Furnish one (1) set of Record drawings to the ENGINEER upon completion of the sanitary & storm sewers and water mains. Drawings (or table of locations) shall indicate the location of all sanitary sewer wyes (measured from the nearest downstream manhole), sewer stubs, water service along main and b-boxes. The CONTRACTOR shall also furnish linear distance along water main from appurtenances to appurtenance (i.e. valve vault to tee, tee to bend, etc.).
- 13) Be responsible for implementation and maintenance of the "Soil Erosion and Sedimentation Control Measures" as applicable.

e. Testing and Final Acceptance

- 1) Sanitary sewer mains and services shall be tested for exfiltration of air under pressure and deflection for flexible thermoplastic pipe in accordance with the Standard Specifications for Water and Sewer prior to their final acceptance. The sewer shall be tested in accordance with "Air Testing Method Procedures" and "Deflection Testing". Allowable testing limits shall be as described in the "Standard Specifications" unless the local requirements are more restrictive. Sanitary manholes shall be tested for watertightness in accordance with ASTM C969-94 "Standard Practice for Infiltration and Exfiltration Acceptance Testing of Installed Precast Concrete Pipe Sewer Lines" or ASTM C1244-93 "Standard Test Method for Concrete Sewer Manholes by the Negative Pressure (Vacuum) Test" prior to placing into service. Service stubs must be properly plugged and sealed and clearly located at their termination points prior to testing. All sewer mains and service lines and manholes shall be clean and free of debris prior to their final acceptance.
- 2) All sanitary sewer lines & services shall be tested in accordance with local jurisdictional requirements. Pipe shall be televised 60 days after installation. Prior to final acceptance, a written report and DVD copy of the televised main and services shall be provided to the Village Engineer for review.
- 3) Storm sewer and all storm structures shall be clean and free of debris prior to their final acceptance. Storm sewers shall be inspected and tested in accordance with local jurisdictional requirements including television inspection for review by the Village Engineer.
- 4) Water main shall be tested in accordance with AWWA C-600 and the local jurisdictional requirements prior to its final acceptance. A 24 hour system pressure test needs to be performed prior to the 2 hour 150psi test, as per the Village of Hinsdale Standard Specifications. The pressure and leakage tests and disinfection of the mains shall be as described in the "Standard Specifications" unless the local requirements are more restrictive. All valve vaults shall be clean and free of debris and water, and individual service boxes shall be visible and clearly located prior to their final acceptance.
- 5) All sewer and water main separations shall be constructed per the "Standard Specifications for Water and Sewer Main Construction in Illinois".

f. Disinfection

- 1) The preferred point of application of the chlorinating agent shall be at the beginning of the pipeline extension or any valved section of it and through a corporation stop in the top of the newly laid pipe. The injector for delivering the chlorine gas into the pipe should be supplied from a tap on the pressure side of the gate valve controlling the flow into the pipeline extension. Prior to chlorination, 24 hour notice shall be given to the Village of Hinsdale Public Works Department.
- 2) Water from existing distribution system or any other source of supply shall be controlled by the Village of Hinsdale Public Works Department so as to flow slowly into the newly laid pipeline during the application of chlorine-gas. The rate of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall be at least fifty parts-per-million (50ppm), or enough to meet the requirements during the retention period.
- 3) Valves shall be manipulated so that the strong chlorine solution in the line being treated shall not flow back into the line supplying the water. The pipe section being chlorinated shall be kept at a lower pressure than the water system pressure.
- 4) Treated water shall be retained in the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four (24) hours. After the chlorine-treated water has been retained for the required time, the chlorine residual at the pipe extremities and at other representative points shall be at least twenty five parts-per-million (25 ppm).
- 5) In the process of chlorinating newly laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating agent.
- 6) All water mains shall be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA C-601, and as required by this Section. All disinfection, as required by this Section, shall be performed by an independent firm exhibiting experience in the methods and techniques of this operation, and shall be approved by the Village of Hinsdale Water Department. The Village of Hinsdale Water Department is responsible for the sampling and testing of samples of all new water mains.

g. Method of Measurement

- 1) All sanitary sewer, storm sewer, and water main pipe shall be measured in the field after its installation. Payment shall be based on these field measurements.
- 2) All appurtenances such as manholes, catchbasins, inlets, valves and valve vaults, valve boxes, and fire hydrants, shall be paid for on the basis of in-place quantities.
- 3) Water services, where indicated on the "Quantity Estimate" as "long" or "short", shall include the necessary length of Type "K": copper water tube of the size shown on the plans, corporation stop, curb stop, and service box, and all necessary labor, tools, equipment, excavation & backfill, for a complete installation as shown on the Engineering plans. Trench backfill will be paid for separately, when required.
- 4) Trench backfill material shall be measured by multiplying the as-constructed length of pipe (where applicable) by the average depth of the pipe by the "Payment Quantities per foot of Conduit" and "Typical Detail of Conduit Installation" of the Standard Specification for Water and Sewer Construction in Illinois. If requested, the CONTRACTOR shall provide load tickets to the ENGINEER for verification of the trench backfill material delivered to the construction site. Load tickets for bedding material shall be submitted separately.

h. Basis of Payment

- 1) All sanitary sewer, water main, and storm sewer pipe shall be paid for at the contract unit price per LINEAL FOOT. The price shall include the necessary labor and material for a complete in-place installation, as well as all incidental construction, testing, bedding material, and connections to existing utilities.
- 2) All appurtenances for the underground improvements shall be paid for at the contract unit price EACH, said price to include the necessary labor and material for a complete in-place installation. The price for manholes, inlets, and catchbasins shall also include the frame and grate and all incidental construction. The price for fire hydrants shall also include a six (6) inch valve and box, and all incidental construction.
- 3) Trench backfill material shall be paid for at the contract unit price per CUBIC YARD, and shall include the jetting of the in-place material.

REVISIONS		DATE	DESCRIPTION	BY
NO.	DATE	DESCRIPTION	BY	DATE
1	06-04-15	PER VILLAGE REVIEW	SDS	

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
MADISON ESTATES III  
HINSDALE, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
IL PROF. LIC. NO.: 184 - 003740

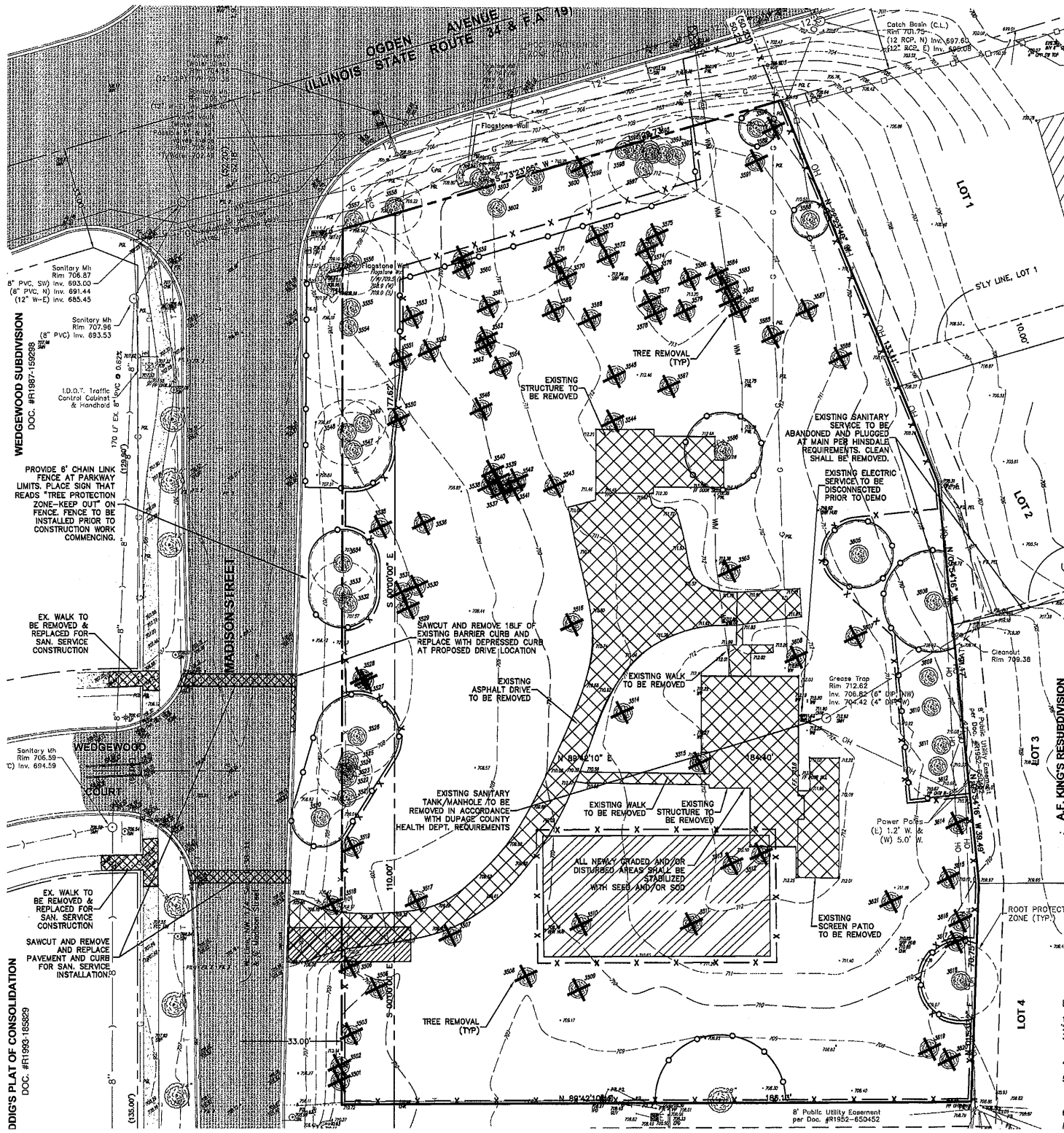


PROJECT INFORMATION	
Project No.:	13-0027
Scale:	N/A
Date:	05-11-15
Design By:	SDS
Drafted By:	NSM
Checked By:	SDS

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11

REVIEW SET  
NOT FOR CONSTRUCTION





- LEGEND**
- x — x — SILT FENCE
  - o — o — TREE PROTECTION FENCE
  - STORM STRUCTURE W/ FILTER BASKET AND INLET PROTECTION (I.E. FABRIC DROP, EXCAVATED DRAIN, ETC.)
  - STORM STRUCTURE WITH FILTER FABRIC
  - ⌒ CULVERT INLET PROTECTION (SEE DETAIL)
  - ▨ ROCK RIPRAP (SEE DETAIL)
  - ▨ EXISTING PAVEMENT, BUILDING STRUCTURE OR UTILITY TO BE REMOVED
  - ✕ TREE TO BE REMOVED PER DEVELOPMENT

Tag #	DBH	Common Name	Condition	Form	Comments	Action Plan
3540 24	18"	American Elm	3	3	tree on south neighbor's prop.	Recommend removal.
3540 26	18"	Red oak	3	3	tree on south neighbor's prop.	Recommend removal.
3540 28	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 30	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 32	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 34	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 36	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 38	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 40	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 42	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 44	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 46	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 48	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 50	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 52	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 54	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 56	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 58	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 60	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 62	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 64	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 66	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 68	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 70	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 72	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 74	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 76	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 78	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 80	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 82	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 84	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 86	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 88	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 90	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 92	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 94	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 96	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 98	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.
3540 100	18"	Red oak	4	4	tree on south neighbor's prop.	Recommend removal.

AS AN ISA CERTIFIED ARBORIST (IL-9084A), HAVE REVIEWED AND PROVIDED INPUT ON THE TREE PRESERVATION PLAN ASSOCIATED WITH THIS PROPOSED PROJECT AND CERTIFY THAT IT MEETS INDUSTRY STANDARDS FOR TREE PROTECTION MEASURES.

- RECOMMENDED PRACTICES FOR TREES TO BE SAVED:**
- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN.
  - AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
  - FENCE THE PUBLIC PORTION (PARKWAYS) OF THE ENTIRE TREE PROTECTION ZONES WITH A 6" CHAIN-LINK FENCE TO PREVENT WOUNDS TO THE PARKWAY TREES AS WELL AS SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING "TREE PROTECTION ZONE - KEEP OUT".
  - INSTALL TREE PROTECTION FENCE AND PERFORM ROOT PRUNING PER PLAN FOR ALL PROTECTED TREES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - NO GRADE CHANGES, STORAGE OF CONSTRUCTION MATERIAL, DUMPING OF WASTE OR STORAGE OF CONSTRUCTION EQUIPMENT SHALL BE ALLOWED WITHIN TREE PROTECTION FENCING ZONES. DO NOT STORE EXCAVATED SOIL, TUS DUMPSTER, OR ANY OTHER CONSTRUCTION MATERIALS WITHIN THE DRAIN LINE (TIZ) OF ANY OF THE TREES, INCLUDING THOSE TREES ON ADJACENT PROPERTIES.
  - ALL TREES TO BE SAVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THE DRAIN LINE OF EXCAVATION SHOULD HAVE THEIR ROOTS PRUNED TO REMOVE DEAD AND WEAK LIMBS. THIS PRUNING SHOULD BE DONE WITHIN 1 FOOT OF EXCAVATION DITCH TO ALLOW FOR A CLEAN WOUND CLOSURE AND TO PROMOTE NECESSARY CLEARANCES AND ELEVATIONS.
  - IF A UTILITY MUST BE WITHIN 15 FEET OF THE TREE TRUNK, IT IS RECOMMENDED THAT IT BE AUGURED. IT IS RECOMMENDED THAT FOLLOWING CONSTRUCTION, TREES BE MAINTAINED IN THEIR NATIVE CONDITION, NO LAWN SHOULD BE PLACED AROUND THE TREES. IT IS RECOMMENDED THAT THE AREA BE MULCHED WITH 2 INCHES OF DECOMPOSED LEAVES AND 2 INCHES OF WOOD CHIP OR BARK.
  - NO TRENCING SHALL BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY UNLESS PRE-APPROVED BY BUILDING DEPARTMENT & FORESTRY STAFF.
  - SHOULD IT BE NECESSARY TO TRENCH WITHIN THE TREE PROTECTION ZONES, THE TRENCH SHOULD BE CUT UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. CUTS SHALL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE SIDE OF THE TRENCH. IF AT ANY TIME TWENTY FIVE PERCENT (25%) OF THE AREA WITHIN THE TREE PROTECTION ZONE IS BEING SEPARATED FROM THE TREE BY A TRENCH, THEN THE LINE SHALL BE EITHER RELOCATED OR INSTALLED USING TRENCHLESS METHODS.
  - REMOVAL OF ANY HARDSCAPE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND.
  - THE PROPOSED SERVICE LINES SHOULD BE LOCATED OUTSIDE THE TREE PROTECTION ZONE TO MINIMIZE DAMAGE TO THE PARKWAY TREES. SEE NOTES REGARDING UTILITY INSTALLATION, CLARIFICATION OF THE AUGER PIT LOCATIONS. IF THEY ARE NEEDED, THEY SHOULD BE SHOWN ON THE PLANS AND BE LOCATED OUTSIDE OF THE TREE PRESERVATION ZONES.
  - THE PROPOSED D-BOX IS TO BE 10' FROM PARKWAY TREES. IF FUTURE UTILITY EXCAVATIONS NEED TO OCCUR, THIS REDUCES THE CHANCE OF EXTENSIVE STEM OR ROOT DAMAGE, WHICH CAN LEAD TO TREE DECLINE.
  - THE LOCATION OF THE PROPOSED DRIVEWAY APRONS OR EXCAVATION FOR THE NEW APRONS IS REQUIRED TO BE AT A MINIMUM OF 10' FROM THE NEAREST FACE OF PARKWAY TREE OR WITHIN THE LIMITS OF THE EXISTING DRIVEWAY APRON; THIS SHOULD BE VERIFIED ON PLANS. THE VILLAGE WILL REQUIRE THE TREE PROTECTION FENCE BE INSTALLED AT A MINIMUM OF 10' FROM THE PARKWAY TREES.
  - ALL TREE PROTECTION FENCING WILL BE MAINTAINED DURING THE ENTIRE PROJECT. A SIGN SHOULD BE PLACED AT THE PROJECT ENTRANCE TO FAMILIARIZE CONTRACTORS WITH TREE PRESERVATION TECHNIQUES.
  - ALL REQUIRED TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING.
  - DEMOLITION AND CONSTRUCTION OF ANY PROPOSED SIDEWALK SHOULD FOLLOW THE VILLAGE DETAIL FOR SIDEWALK CONSTRUCTION WITHIN THE TREE PROTECTION ZONES, INCLUDING NO TO MINIMAL EXCAVATION.

- TREE PRESERVATION PLAN FOR ALL SIGNIFICANT TREES:**
- TREE SURVEY: ALL EXISTING TREES WERE EVALUATED FOR SPECIES, SIZE AND CONDITION. TREES HAVE BEEN NUMBERED WITH A STEEL TAG PLACED AT EYE LEVEL ON THE EAST SIDE OF THE TRUNK. TAGS NUMBERED 2072 THRU 2079 WERE USED. THIS SURVEY DATA SHOULD BE REFERENCED WHEN IDENTIFYING TREES AND NEEDS. SOME TREES WERE NOT TAGGED BUT HAD TO BE EVALUATED PER VILLAGE ORDINANCE/CODE.
  - TREE PRUNING REQUIREMENTS: ALL TREES THAT ARE WITHIN THE CONSTRUCTION TRAUMA ZONE SHOULD BE PROPERLY PRUNED TO REMOVE DEAD AND WEAK LIMBS, AND ALSO SELECTIVE THINNING TO COMPENSATE FOR ROOT LOSS, AND TO PROVIDE NECESSARY CLEARANCES AND ELEVATIONS.
  - ROOT PRUNING REQUIREMENTS: ALL TREES THAT ARE IN CLOSE PROXIMITY TO EXCAVATION SHOULD HAVE ROOT PRUNING DONE WITHIN 1 FOOT OF EXCAVATION DITCH TO ALLOW FOR A CLEAN WOUND CLOSURE AND TO PROMOTE NECESSARY CLEARANCES AND ELEVATIONS.
  - TREE NUTRITIONAL REQUIREMENTS: ALL TREES WITHIN THE TRAUMA ZONE SHOULD BE TREATED WITH A SOIL INJECTED LIQUID ROOT FERTILIZER OF PROPER ANALYSIS, AND EVENLY DISTRIBUTED THROUGHOUT THE ROOT ZONE. THIS IS TO IMPROVE OVERALL VIGOR AND TO HELP IN AERATION OF COMPACTED SOIL.
  - SURFACE MULCHING REQUIREMENTS: ALL TREES WITHIN THE CRITICAL TRAUMA ZONE SHOULD HAVE LAYERED WOOD MULCH BEDS INCORPORATED INTO THE FINAL LANDSCAPE PLAN. THIS WILL IMPROVE SOIL STRUCTURE, FERTILITY, AND AID IN MOISTURE RETENTION. EXPOSED SURFACE ROOTS SHOULD BE PROTECTED DURING CONSTRUCTION WITH A 12" LAYER OF MULCH.
  - GRADING AND BACKFILL REQUIREMENTS: NO OVERFILLING OF SOIL SHOULD OCCUR TO TREE ROOT ZONES WITHIN A 10-15' RADIUS TO PREVENT ROOT LOSS. RETENTION WALLS AND DRAINAGE SHOULD BE INCORPORATED INTO THE INITIAL GRADING AND LANDSCAPE DESIGN CONCEPT.
  - PROTECTIVE BARRIER REQUIREMENTS: A 6" CHAIN LINK FENCE WITH POSTS ON 10' CENTERS SHOULD BE INSTALLED TO PREVENT ANY ACTIVITY FROM OCCURRING WITHIN LIMITS OF TREE PROTECTION AREA. THIS FENCE SHOULD BE MAINTAINED DURING THE ENTIRE PROJECT. A SIGN SHOULD BE PLACED AT THE PROJECT ENTRANCE TO FAMILIARIZE CONTRACTORS WITH TREE PRESERVATION TECHNIQUES.
  - SITE MONITORING REQUIREMENTS: ALL TREES LISTED ON THE SURVEY FORM SHOULD BE MONITORED DURING AND AFTER CONSTRUCTION FOR ANY POSSIBLE HEALTH CARE ISSUES THAT MAY BE ENCOUNTERED. THIS SHOULD BE DONE BY A COMPETENT CERTIFIED ARBORIST WHO IS CAPABLE OF MAKING ON-SITE DECISIONS THAT BEST PROTECT THE TREES.

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BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

**FINAL ENGINEERING PLANS**  
FOR  
MADISON ESTATES III  
HINSDALE, ILLINOIS

**DESIGN/TEK ENGINEERING, INC.**  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
IL Prof. Lic. No.: 184-003740

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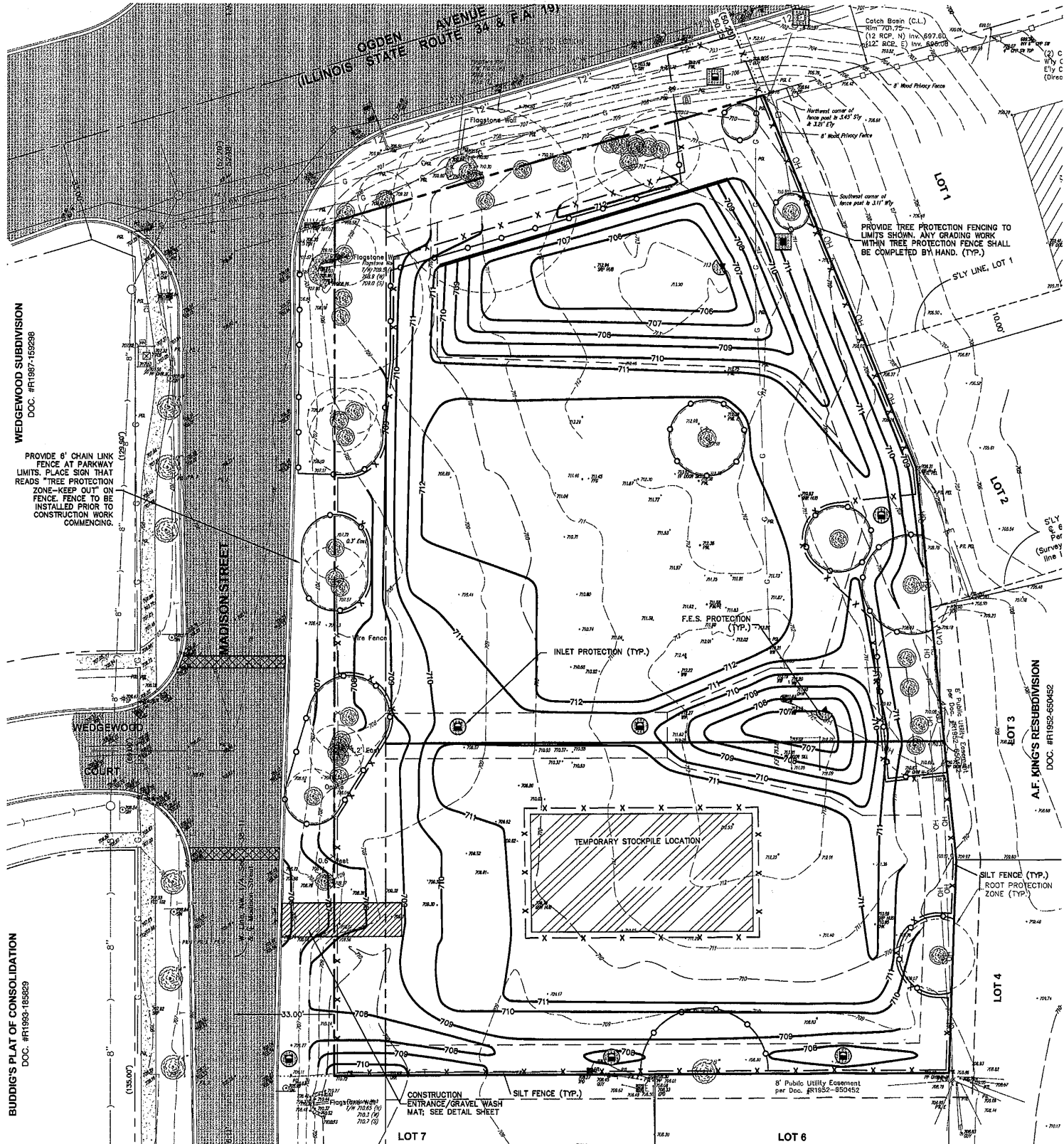
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**EXISTING CONDITIONS & REMOVAL PLAN**

BUDDIS' PLAT OF CONSOLIDATION  
DOC. #R1983-182829

WEDGEWOOD SUBDIVISION  
DOC. #R1987-182828



LEGEND

- SILT FENCE
- TREE PROTECTION FENCE
- STORM STRUCTURE W/ FILTER BASKET AND INLET PROTECTION (I.E. FABRIC DROP, EXCAVATED DRAIN, ETC.)
- STORM STRUCTURE WITH FILTER FABRIC
- CULVERT INLET PROTECTION (SEE DETAIL)
- ROCK RIPRAP (SEE DETAIL)
- EXISTING PAVEMENT, BUILDING STRUCTURE OR UTILITY TO BE REMOVED
- TREE TO BE REMOVED

EROSION CONTROL AND SEDIMENTATION NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION, AND THE VILLAGE OF HINSDALE.
- THE APPLICANT AND/OR CONTRACTOR IS RESPONSIBLE FOR INSURING THE PERMIT IS OBTAINED AND POSTED ON SITE IN A PROMINENT LOCATION BEFORE COMMENCEMENT OF ANY WORK ON SITE AND SHALL CONTACT THE VILLAGE AT LEAST 2 WORKING DAYS BEFORE THE START OF CONSTRUCTION, INSTALLATION OF SEDIMENT AND EROSION MEASURES AND COMPLETION OF FINAL LANDSCAPING. IN ADDITION, THE VILLAGE SHALL BE PROVIDED WITH A COPY OF THE IEPA LETTER OF NOTIFICATION OF COVERAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 1/2-INCH OR MORE OF RAIN BY THE INDIVIDUAL RESPONSIBLE FOR THE SOIL EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE BUILDING DEPARTMENT SHALL BE PROVIDED WITH COPIES OF THE WEEKLY AND POST STORM INSPECTION FORMS ON A MONTHLY BASIS.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE ONLY AT PROPOSED STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON PLANS.
- ALL ADJACENT STREETS MUST BE KEPT CLEAR OF DEBRIS, STREET SWEEPING IS REQUIRED EVERY OTHER DAY AND AS NECESSARY. STREET SWEEPERS ARE REQUIRED, BOBCATS WITH SWEEPING MECHANISMS WILL NOT BE ALLOWED.
- TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
- SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THE ENGINEERING PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONTRIBUTING AREA IS STABILIZED. IN ADDITION TO SILT FENCE SHOWN ON THE SWPPP, SILT FENCE SHALL BE PROVIDED FOR AREAS DRAINING 200' AND GREATER IN ACCORDANCE WITH NRCS CODE 920.
- SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
  - CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
  - CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS.
  - MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

TOPSOIL STRIPPING	SUMMER 2015
ROUGH GRADING AND CONST.	SUMMER 2015
FINAL GRADING	FALL 2015
FINAL LANDSCAPING	FALL 2015
- THE ENTIRE SITE MUST BE STABILIZED, USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.
- DISTURBED AREAS WITHIN ALL PUBLIC R.O.W.'S SHALL BE RESTORED W/ 6" MIN. TOPSOIL & SOD. RESTORATION SHALL OCCUR IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, WEATHER PERMITTING. ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL & SEED.
- STRAW BALES ARE NOT PERMITTED IN AREAS OF CONCENTRATED FLOW. ROCK CHECK DAMS SHALL BE USED IN THESE AREAS. TECHNIQUES THAT DIVERT UPLAND RUNOFF PAST DISTURBED SLOPES SHALL BE EMPLOYED.
- THE PROPOSED STORM WATER DETENTION AREA IS THE MAJOR AREA OF INUNDATION WITHIN THE SITE. POCKETS UPSTREAM OF THE BASIN SHALL BE GRADED IN SUCH A MANNER THAT THEY WILL FUNCTION AS SEDIMENTATION BASINS DURING THE SITE GRADING OPERATIONS. INITIAL WORK SHALL INCLUDE THE CONSTRUCTION OF THE EARTHEN BERM WHICH CONTAIN THE RUN-OFF, AND THE INSTALLATION OF THE NECESSARY STORM STRUCTURES AND PIPES. SEE THE FINAL GRADING PLAN FOR ELEVATIONS.
- THE PROTECTION OF THE OPEN LID DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS SPECIFIED IN DETAILS. ALL OPEN LID DRAINAGE STRUCTURES LOCATED IN YARD AREAS AND THE SEDIMENTATION BASIN MUST BE PROTECTED PER INLET PROTECTION DETAILS UNTIL SUCH A TIME THAT THE LANDSCAPING IS IN PLACE AND EFFECTIVELY PREVENTING POTENTIAL SILTATION OF THESE STRUCTURES. ALL OPEN LID DRAINAGE STRUCTURES IN PAVED AREAS SHALL HAVE FILTER BASKETS INSTALLED UNDER THE LIDS. IN THE EVENT THE GRAVEL BASE IS NOT IN PLACE UPON INSTALLATION, INLET PROTECTION SHALL BE PROVIDED AS INDICATED PER INLET PROTECTION DETAIL.
- EROSION CONTROL BLANKET (ECB) SHALL BE INSTALLED TO ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 5H:1V AND IN CRITICAL AREAS (EX: DETENTION BASIN PERIMETERS, STREAMBANKS, BERMS, ETC.) IMMEDIATELY UPON FINAL GRADING. S175 NORTH AMERICAN GREEN (OR SIMILAR) ECB SHALL BE USED. ECB WITH GREEN DYE IS NOT ACCEPTABLE.
- SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILES TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING. DURING DEWATER OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP AND A STAMPED AND SIGNED COPY OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL ON SITE AT ALL TIMES AND BE PRESENTED WHEN REQUESTED BY ANY AUTHORIZED AGENCY.
- AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED BY THE OWNER TO THE IEPA AND COPIED TO THE VILLAGE IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- SEE EROSION CONTROL DETAILS ON SHEET #9 OF 11.

REVIEW SET  
NOT FOR CONSTRUCTION

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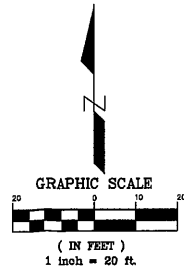
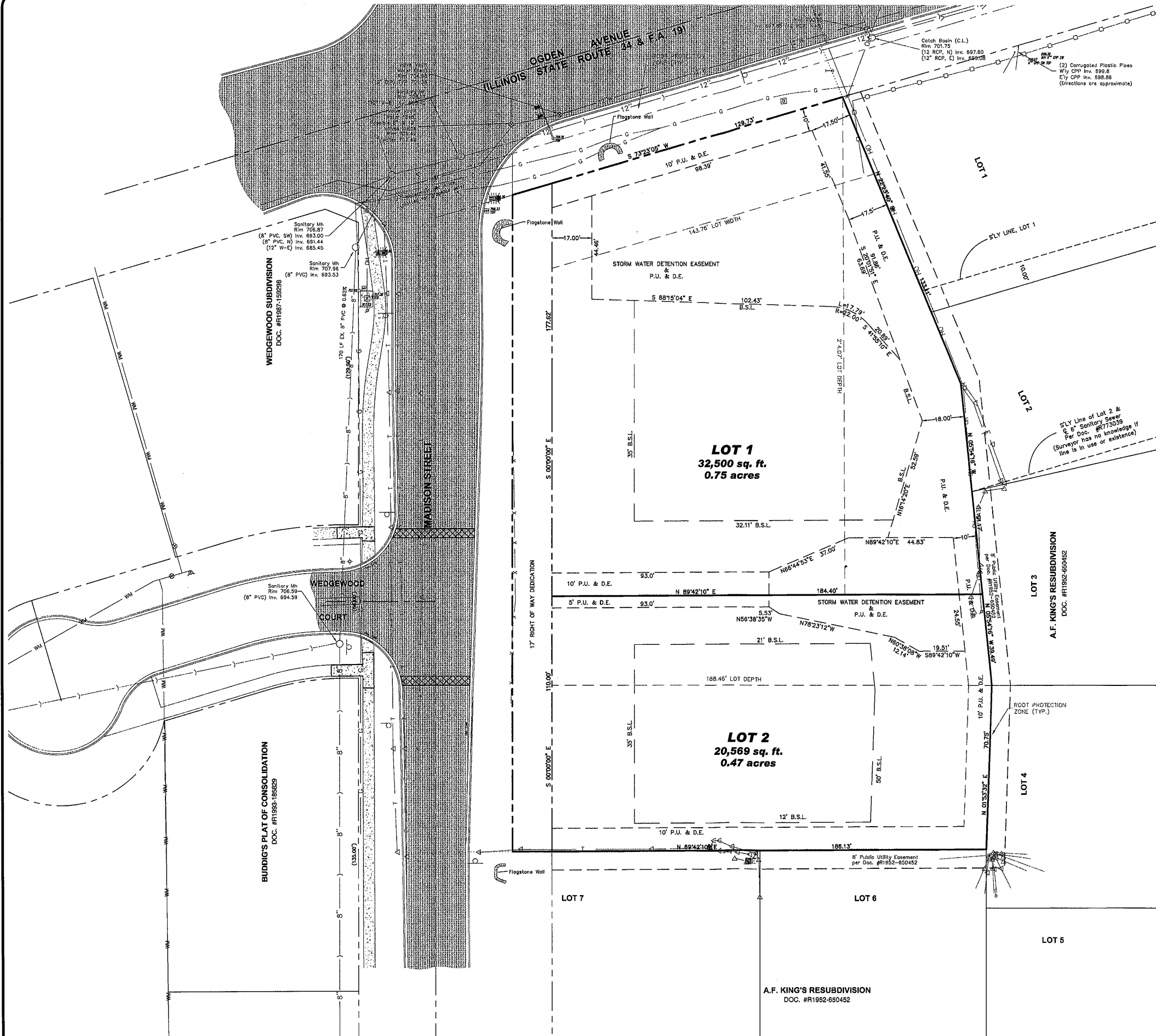
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IL PROF. LIC. NO.: 184-003740



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5  
OF  
11

EROSION CONTROL PLAN



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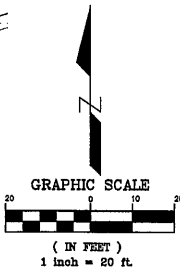
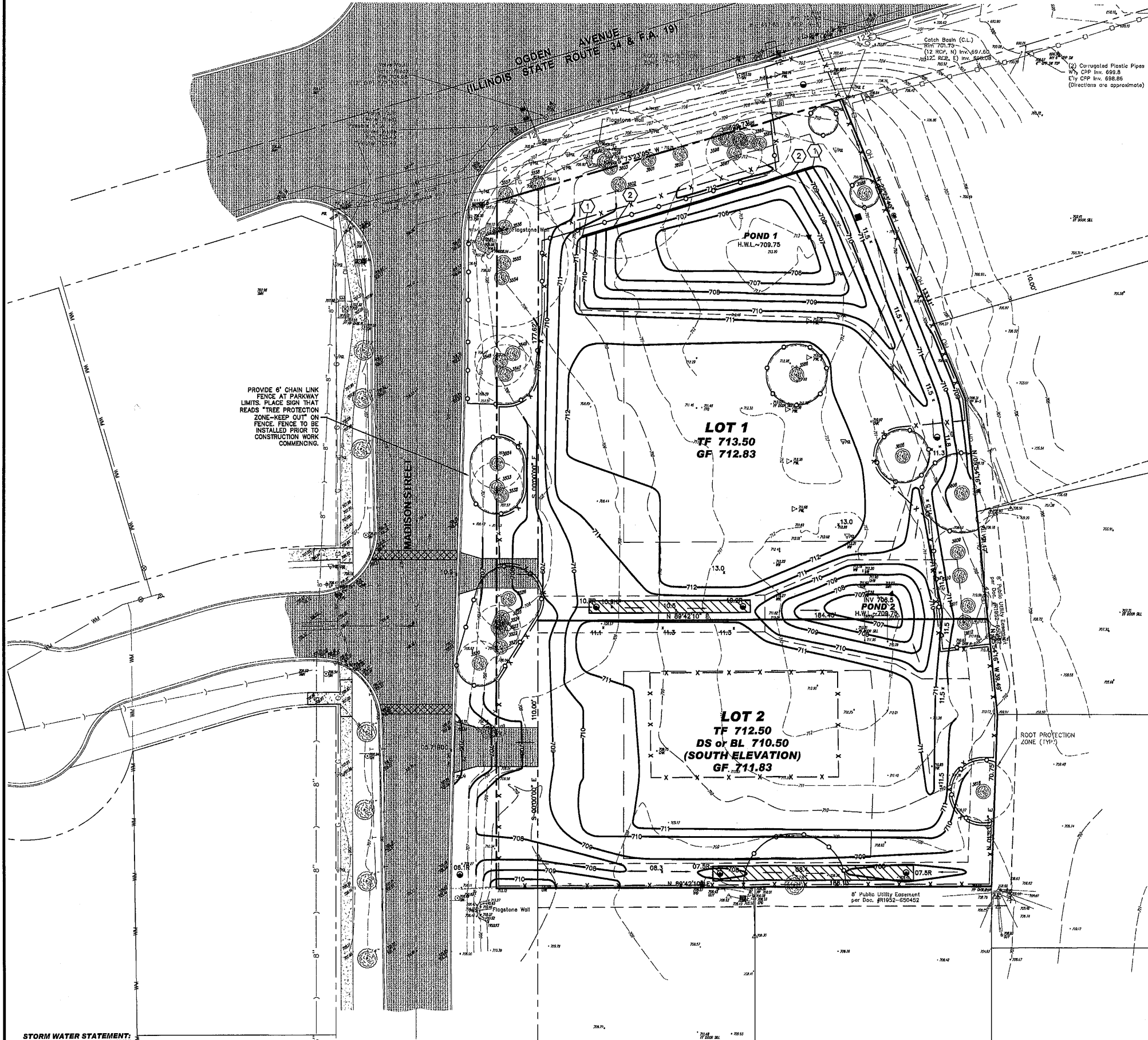
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#### SITE DATA

TOTAL PARCEL AREA: 57,915.79 S.F. OR 1.33+/- ACRES  
RIGHT OF WAY DEDICATION: 0.11 ACRES  
PROPOSED LOT AREA: 1.22 ACRES

#### EXISTING IMPERVIOUS COVERAGE:

LOT #1 (NORTH) IMPERVIOUS SURFACE: 4,083 S.F.  
LOT #2 (SOUTH) IMPERVIOUS SURFACE: 1,910 S.F.  
TOTAL EXISTING IMPERVIOUS: 5,993 S.F.

#### PROPOSED IMPERVIOUS COVERAGE:

LOT #1 (NORTH) IMPERVIOUS SURFACE: 7,500 S.F.  
LOT #2 (SOUTH) IMPERVIOUS SURFACE: 6,500 S.F.  
TOTAL PROPOSED IMPERVIOUS: 14,000 S.F.

LOT 1 PROPOSED COVERAGE: 7500/32500 = 23.08%  
LOT 1 CHANGE IN IMPERVIOUS COVERAGE: +3,417 S.F.

LOT 2 PROPOSED COVERAGE: 6500/20569 = 31.60%  
LOT 2 CHANGE IN IMPERVIOUS COVERAGE: +4,590 S.F.

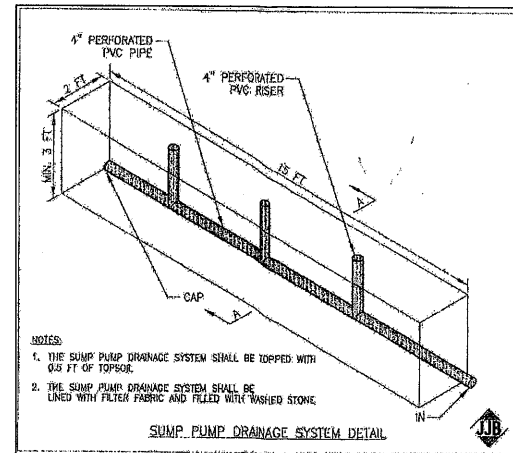
PCBMP VOL. REQ. (LOT 1) = 3,417 S.F. x (1.25"/12) = 355.94 C.F.  
PCBMP VOL. REQ. (LOT 2) = 4,590 S.F. x (1.25"/12) = 478.13 C.F.

C.F. VOLUME PROV. (Rear) = (4x40x4.5) x 0.36 = 259.20 C.F.  
VOLUME PROV. (Front) = (5x28x4.5) x 0.36 = 226.80 C.F.  
VOLUME PROVIDED (TOTAL) = 259.20 + 226.80 = 486 C.F.

#### RETAINING WALL #

- ① TW~711.00  
BW~710.80
- ② TW~711.00  
BW~708.00

#### SUMP PUMP DISSIPATION TRENCH REQUIRED ON EACH LOT AT TIME OF HOME CONSTRUCTION



- NOTES:
1. THE SUMP PUMP DRAINAGE SYSTEM SHALL BE TOPPED WITH 0.5 FT OF TOPSOIL.
  2. THE SUMP PUMP DRAINAGE SYSTEM SHALL BE LINED WITH FILTER FABRIC AND FILLED WITH WASHED STONE.

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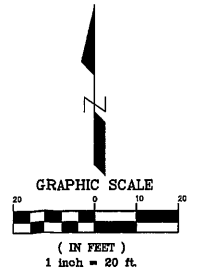
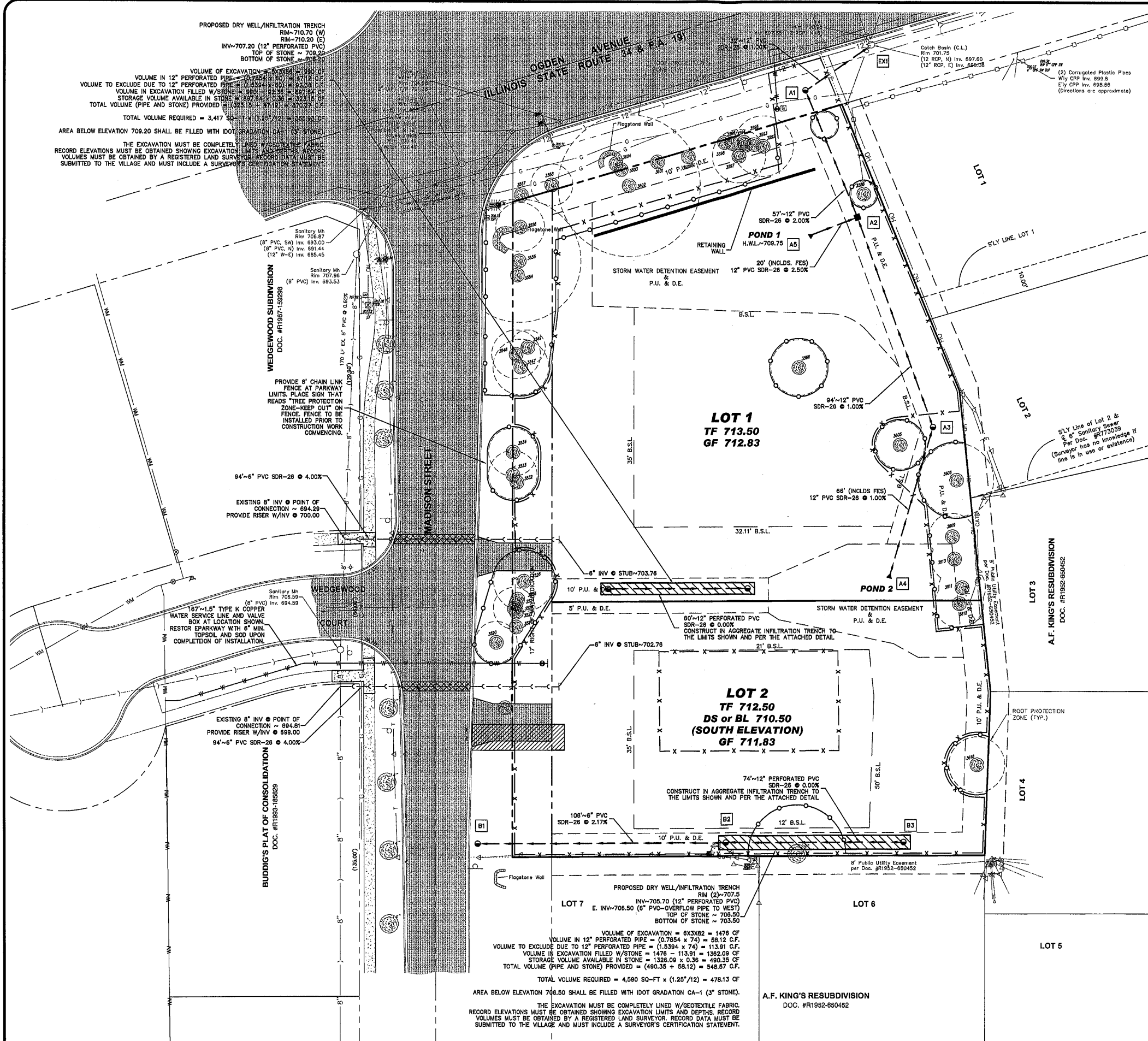
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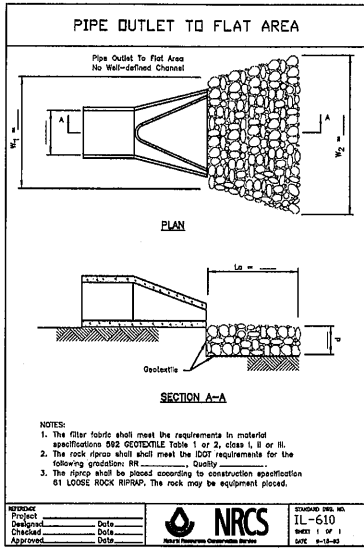
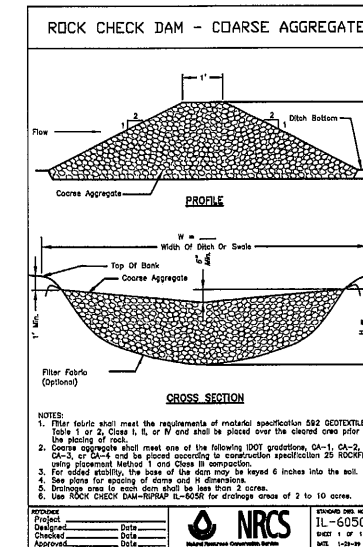
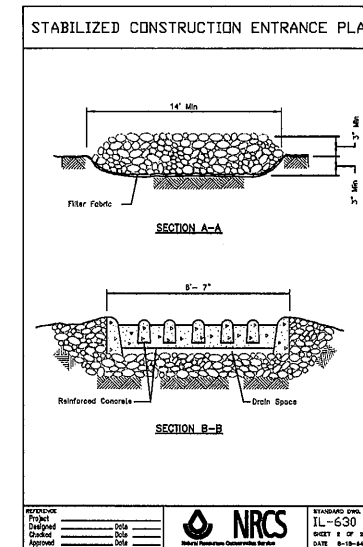
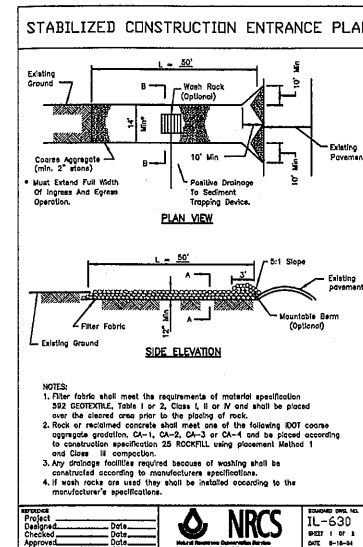
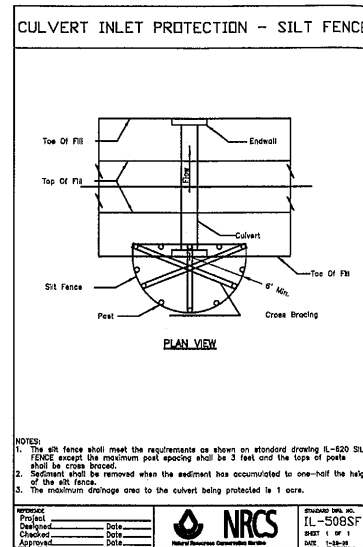
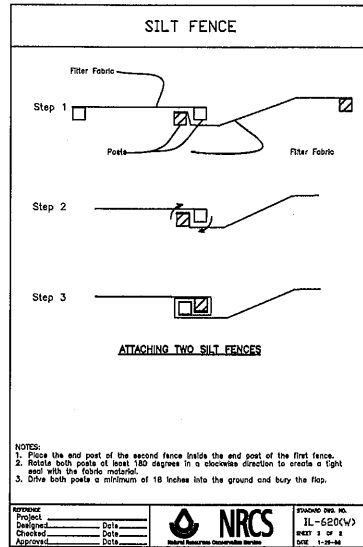
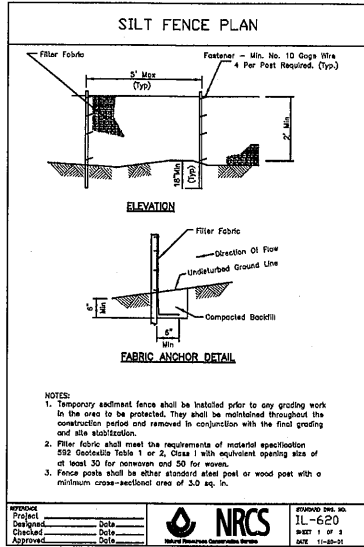
**DESIGN/TEK ENGINEERING, INC.**  
 CONSULTING AND SITE DESIGN ENGINEERS  
 9500 BORMET DRIVE, SUITE 305  
 MOKENA, ILLINOIS 60448  
 (708) 326-4961  
 IL Prof. Lic. No.: 184-003740

**DEI**

**PROJECT INFORMATION**  
 Project No.: 13-0027  
 Scale: 1" = 20'  
 Date: 05-11-15  
 Design By: SDS  
 Drafted By: NSM  
 Checked By: SDS

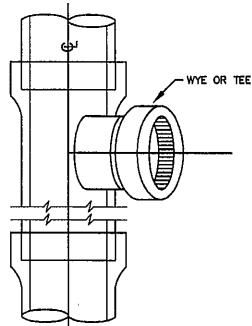
**8**  
 OF  
**11**

**UTILITY PLAN**



## SANITARY SERVICE CONNECTION

NOT TO SCALE

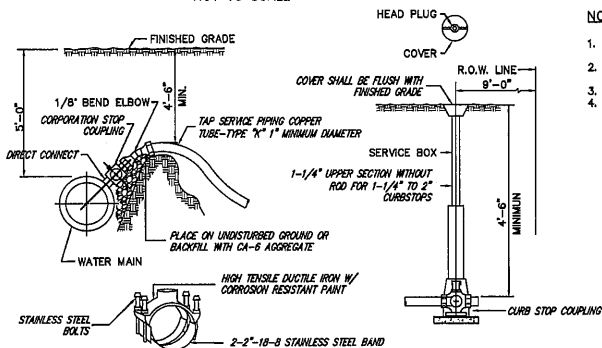


### NOTES:

- WHERE WYE & TEE ARE NOT PROVIDED, TAPPING SADDLES WILL BE REQUIRED.
- SERVICE STUBS SHALL BE PROVIDED WITH EITHER POLYESTER OR VITRIFIED CLAY STOPPER.

## WATER SERVICE CONNECTION

NOT TO SCALE



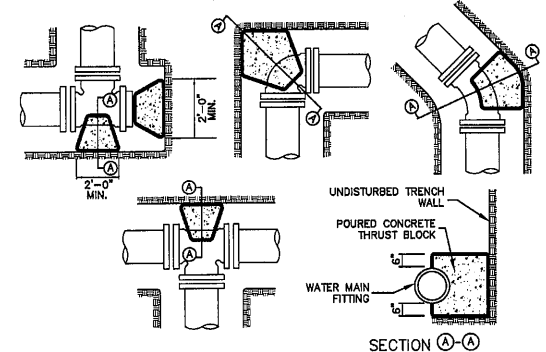
### NOTES:

- CORPORATION STOP IS TO BE FLARING TYPE (FORD F-800 OR MUELLER EQUAL).
- 1/8" BEND ELBOW- FEMALE FLARE TO COMPRESSION (FORD LA04-44 OR MUELLER EQUAL).
- CURB BOX IS ARCH PATTERN, WITH INTERIOR ROD FOR 1" UPPER SECTION ONLY, WHEN USING 1" CURB STOPS.
- CURB BOX IS ARCH PATTERN, WITHOUT ROD, WITH 1 1/2" UPPER SECTION IF FOR 1 1/2"-2" CURB STOP.
- CURB STOP IS WITH COMPRESSION COUPLINGS (FORD B44-444 FOR 1" CURB STOP OR MUELLER EQUAL).
- B-BLOCK CAP HAS 1" THREADED BRASS PENTAGON PLUG WITH THE WORD "WATER" IN RAISED LETTERS.
- SERVICE TAPS GREATER THAN 1" IN DIA. MUST HAVE STAINLESS STEEL BANDED DUCTILE IRON SADDLES (FORD 1015, 2025 OR MUELLER EQUAL).
- CORPORATION STOPS SHALL BE INSTALLED A MINIMUM OF 18" FROM PIPE ENDS AND MULTIPLE INSTALLATIONS SHOULD BE STAGGERED AROUND THE MAIN BY 90° AND SEPARATED BY 18".
- ALL WATER SERVICES SHALL BE 1" DIAMETER UNLESS OTHERWISE NOTED.

## TYPICAL WATER MAIN THRUST BLOCKING

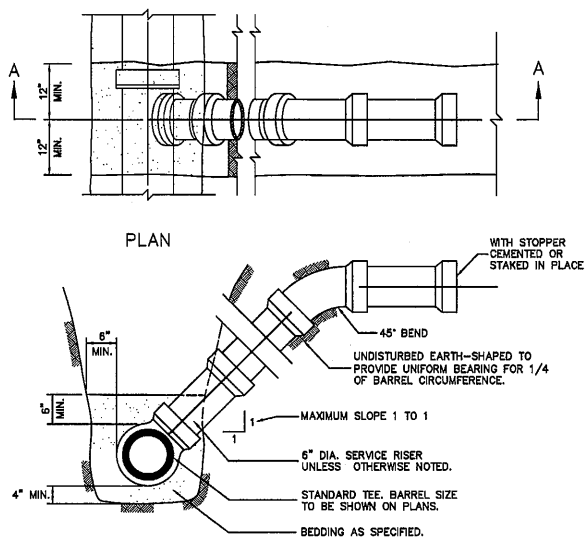
NOT TO SCALE

THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS (1 1/4 DEGREES OR MORE), TEES, CAPS, VALVES, HYDRANTS AND AT POINTS SPECIFIED BY THE ENGINEER SHALL BE CLASS "SI" CONCRETE, MIN. 12" THICK, PLACED BETWEEN SOLID GROUND AND FITTINGS, AND SHALL BE ANCHORED IN SUCH A MANNER THAT PIPE AND FITTING WILL BE ACCESSIBLE FOR REPAIRS.



## SANITARY SERVICE RISER

NOT TO SCALE

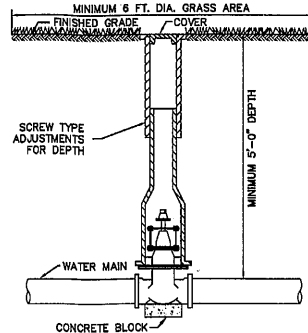


### NOTES:

- ALL OPEN PIPE ENDS SHALL BE PROTECTED WITH EITHER POLYESTER OR VITRIFIED CLAY COVER.
- MAXIMUM SLOPE SHALL BE LESS THAN 1 TO 1 WHEN IT IS NECESSARY TO SECURE BEDDING IN UNDISTURBED EARTH.
- STAKES SHALL BE USED IF NECESSARY TO HOLD LATERAL IN PLACE.
- WHEN A SERVICE CONNECTION REQUIRES TAPPING AN EXISTING MAIN, A SEWER SADDLE SHALL BE USED. CLOW TYPE "SEALTITE" OR APPROVED EQUAL BANDS AND BOLTS MUST BE STAINLESS STEEL.

## VALVE BOX INSTALLATION

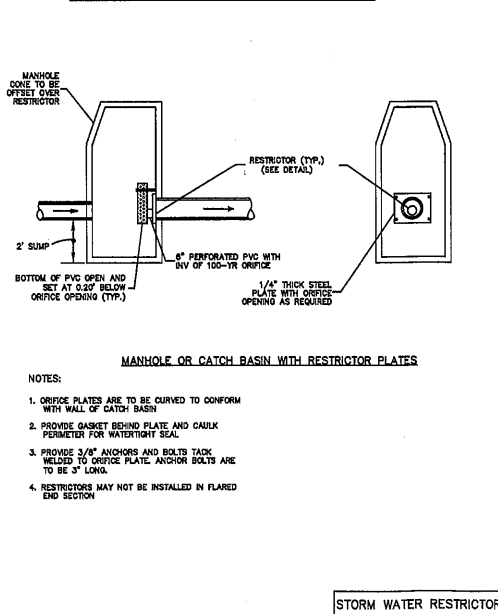
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### NOTES:

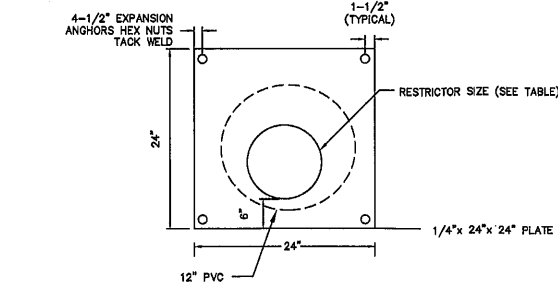
- ALL VALVES IN PAVED AREAS OR VALVES CLOSER THAN 3' FROM A PAVED AREA SHALL BE VAULTED.
- VALVES LARGER THAN 6" SHALL BE VAULTED.

## FOR RESTRICTORS SMALLER THAN 6" Ø



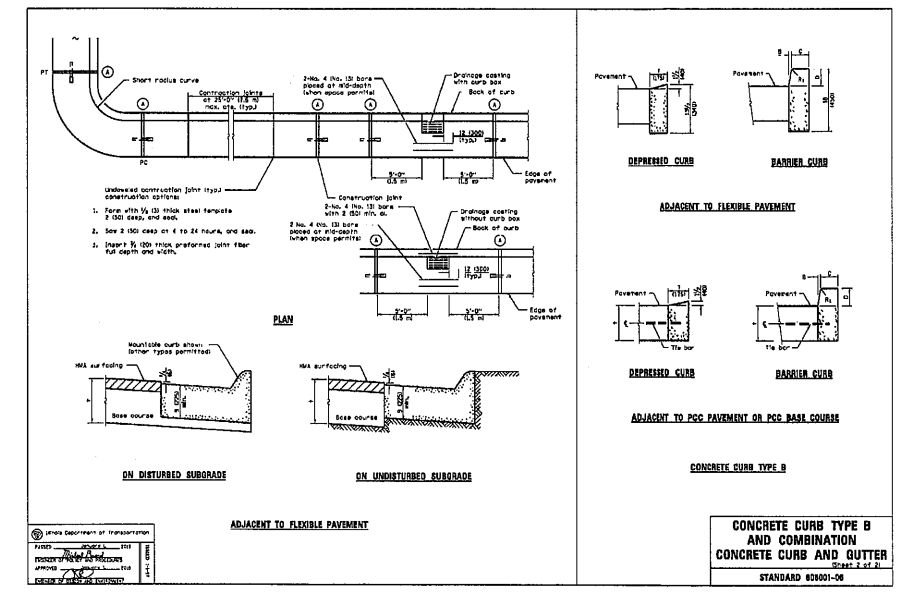
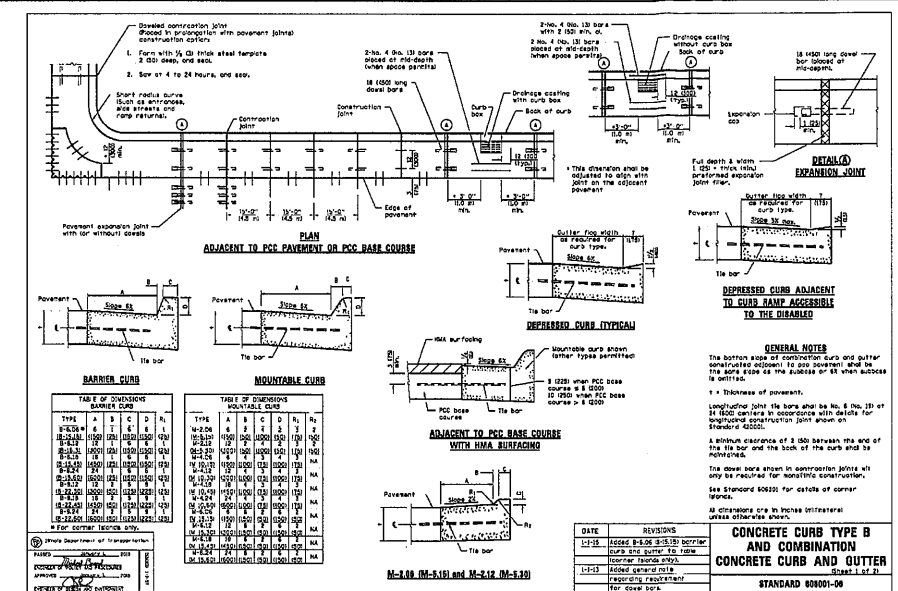
### NOTES:

- ORIFICE PLATES ARE TO BE CURVED TO CONFORM WITH WALL OF CATCH BASIN.
- PROVIDE GASKET BEHIND PLATE AND CAULK PERIMETER FOR WATER-TIGHT SEAL.
- PROVIDE 3/8" ANCHORS AND BOLTS TACK WELDED TO ORIFICE PLATE. ANCHOR BOLTS ARE TO BE 3" LONG.
- RESTRICTORS MAY NOT BE INSTALLED IN FLARED END SECTION.



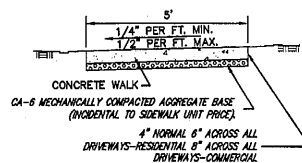
### RESTRICTOR TABLE

DRAINAGE POND	2-YR. DIA.	100-YR. DIA.	2-YR. INV.	100-YR. INV.
1.	N/A	1.36" Ø PLATE	N/A	704.00



## SIDEWALK

NOT TO SCALE

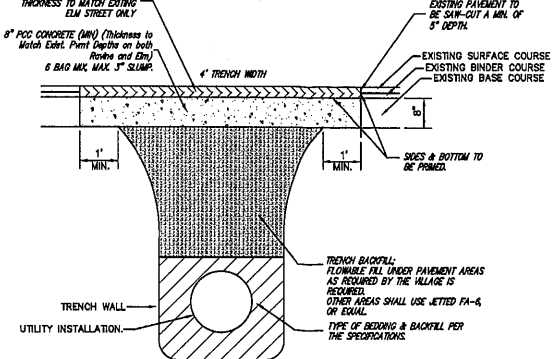


### NOTES:

- REMOVE ALL TOPSOIL. PLACE CONCRETE ON 2" (4" ACROSS DRIVEWAYS) COMPACTED CA-6 STONE.
- HIGH SIDE OF WALK TO BE SET 6" ABOVE THE TOP OF CURB UNLESS OTHERWISE NOTED.
- A CONTROL (CONTRACTION) JOINT SHALL BE TOoled AT 5' INTERVALS. EXPANSION JOINTS WITH 1/2" PREMOULDED EXPANSION JOINT MATERIAL SHALL BE SPACED AT 45' INTERVALS, AND AT 25' EITHER SIDE OF UTILITY STRUCTURE.
- SIDEWALK SHALL BE 6 INCHES THICK MIN. AT WALK, CHAIR RAMPS.
- ALL WALKS SHALL BE PITCHED TO DRAIN WITH A MINIMUM 1/4" PER FOOT CROSS SLOPE, MAX. 1/2" PER FOOT.
- CONCRETE SHALL BE CLASS SI.
- PLACE 1/2" PREMOULDED EXPANSION JOINT MATERIAL ALONG EDGES ABUTTING PRIVATE CONCRETE DRIVES, SIDEWALKS OR CURBS.
- MAXIMUM LONGITUDINAL SLOPE IS 10:1 (6%).

## PAVEMENT REMOVAL & REPLACEMENT

NOT TO SCALE



NO.	DATE	REVISIONS
1	06-04-15	PER VILLAGE REVIEW

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
MADISON ESTATES III  
HINSDALE, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
IL PROF. LIC. NO.: 194-003740



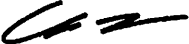
PROJECT INFORMATION
Project No.: 13-0027
Scale: N/A
Date: 05-11-15
Design By: SDS
Drafted By: NSM
Checked By: SDS

11  
OF  
11

REVIEW SET  
NOT FOR CONSTRUCTION

# Memorandum

**To:** Chairman Byrnes and Plan Commissioners

**From:** Chan Yu, Village Planner 

**Cc:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**Date:** June 3, 2015

**Re:** Applicant: McNaughton Development, Inc.  
Request: 510 Woodland Avenue (R-1 District)  
Site Plan Review and Tentative/Final Subdivision Plat Review

## BACKGROUND

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### Application

The Village of Hinsdale has received an application from McNaughton Development Inc. (McNaughton), requesting approval of a site plan and proposed tentative/final plat of subdivision at 510 Woodland Avenue (Attachments 1 and 2). The applicant is requesting to subdivide a single 73,239 square foot lot into two conforming residential lots within the R-1 Single Family Residential District. Per Section 11-604(C)(3), a site plan review is necessary for multi-lot developments exceeding 30,000 square feet.

### Request and Analysis

The proposed subdivision is located in the Single-Family Residential District (R-1). Thus, staff reviewed the application with respect to Section 3-101 of the Zoning Code; to perpetuate the existing high quality residential character of the Village by preserving established neighborhoods and encouraging new residential development consistent with the overall character of the Village.

The applicant, McNaughton is proposing to subdivide a single 73,239 square foot lot into two conforming residential lots; as represented as Lot 1 (41,063 SF) and Lot 2 (32,176 SF). The table included in the applicant's submittal substantially complies with the relative bulk, space and yard requirements per Section 3-110 of the Zoning Code. Due to Section 3-110 (I)(8) of the Zoning Code, the front and side yard setbacks are calculated based on block average and its existing buildings. Thus, the applicant has indicated to Village staff for potentially seeking a variation for the corner lot side yard setback of Lot 1 and/or for the front yard setback of Lot 2.

The proposed Final Engineering Plans for 510 Woodland Avenue was submitted to the Village consultant and is being reviewed concurrently with this application (Attachment 3). The attached Hinsdale Zoning map illustrates the subject property location surrounded by R-1 Single Family Residential (Attachment 4).

The proposed subdivision fits the neighborhood and is in concert with the Village's land use plan to: establish a rational pattern of land uses and encourage the most appropriate use of individual parcels,

encourage and promote detached single family homes as the principal land use in the Village (Attachment 5) and provide for the gradual elimination of non-conforming uses that adversely affect the character and value of permitted development.

### **Process**

The Plan Commission (PC) shall approve or disapprove the tentative plat within 90 days of receipt. If the tentative plat is not satisfactory in all details presented, the PC may require the applicant to make such corrections or changes as they may request before approval of said plat. Upon the approval of a tentative plat, such plat shall be forwarded to the Village Board for their approval or disapproval within 30 days of receipt by said Board (Title 11, Section 11-1-8).

The applicant shall file application for final approval of a subdivision plat not later than one year after a tentative plat has been approved by the Village Board. Within 60 days of the filing of the last required documents attendant to final plat requirements, the Village Board shall approve or disapprove the final plat (Title 11, Section 11-1-9).

The PC within 60 days following the conclusion of the public meeting, shall transmit to the Board its recommendation, in the form specified in subsection 11-103H of the Zoning Ordinance recommending either approval or disapproval of the site plan based on the standards set forth in subsection F1 of this section. In the case of any recommendation for disapproval, suggestions as required by subsection F2 of this section shall be provided. The failure of the plan commission to act within 60 days, or such further time to which the applicant may agree, shall be deemed to be a recommendation for approval of the site plan as submitted.

### **Attachments**

Attachment 1 – Plan Commission and Site Plan Review Applications

Attachment 2 – Subdivision Application and Proposed Final Plat of 510 Woodland Avenue

Attachment 3 – Proposed Final Engineering Plans for 510 Woodland Avenue (attached back of packet)

Attachment 4 – Village of Hinsdale Zoning Map and Project Location

Attachment 5 – Neighborhood Birds Eye View and Project Location



**VILLAGE OF HINSDALE  
COMMUNITY DEVELOPMENT  
DEPARTMENT**

**PLAN COMMISSION APPLICATION**

**I. GENERAL INFORMATION**

**Applicant**

Name: McNaughton Development, Inc.  
Address: 11S220 Jackson Street  
City/Zip: Burr Ridge, IL 60527  
Phone/Fax: (630) 325-3400 / 325-3402  
E-Mail: pmcnaughton83@yahoo.com

**Owner**

Name: Koushan Azad  
Address: 67 Forest Gate Circle  
City/Zip: Oak Brook, IL 60523  
Phone/Fax: (630) 624-5788 /  
E-Mail: koushanazad@hotmail.com

**Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)**

Name: DesignTek Engineering, Inc.  
Title: P.E.  
Address: 9500 Bormet Drive, Suite 304  
City/Zip: Mokena, IL 60448  
Phone/Fax: (708) 326-4961 / 326-4962  
E-Mail: sschreiner@dtekcorp.com

Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Address: \_\_\_\_\_  
City/Zip: \_\_\_\_\_  
Phone/Fax: ( ) \_\_\_\_\_ / \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**Disclosure of Village Personnel:** (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) \_\_\_\_\_
- 2) \_\_\_\_\_
- 3) \_\_\_\_\_

## II. SITE INFORMATION

Address of subject property: 510 Woodland Avenue

Property identification number (P.I.N. or tax number): 18 - 07 - 309 - 048

Brief description of proposed project: Subdivision of existing Property into 2 conforming lots under the existing zoning classification

General description or characteristics of the site: The Property is located at the southeast corner of County Line Road and Woodland. There is a detached single family home, in-ground pool, gazebo, and tennis court on the Property. The Property is accessed with an asphalt drive from Woodland. The Property is approximately 1.68 acres

Existing zoning and land use: R-1 (detached, SF)

Surrounding zoning and existing land uses:

North: R-1 detached, SF

South: R-1 detached, SF

East: R-1 detached, SF

West: R-1 detached, SF

Proposed zoning and land use: R-1 detached, SF

**Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:**

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E  
Special Use Requested: \_\_\_\_\_

☐ Map and Text Amendments 11-601E  
Amendment Requested: \_\_\_\_\_

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE  
510 WOODLAND  
ZONING DISTRICT - R1

	ZONING CODE	LOT 1	LOT 2
MINIMUM LOT AREA	30,000	41,063	32,176
MINIMUM LOT DEPTH	125.00	210.00	198.36
MINIMUM LOT WIDTH	125.00	208.12	152.15
BUILDING HEIGHT	30.00	N/A	N/A
NUMBER OF STORIES	3.00	N/A	N/A
FRONT YARD SETBACK - Lot 1	70.00	70.00	N/A
FRONT YARD SETBACK - Lot 2	35.00	N/A	35.00
CORNER LOT 1 SIDE YARD SETBACK (INTERIOR MIN) *	21.81	21.81	N/A
CORNER LOT 2 SIDE YARD SETBACK (INTERIOR MIN) **	16.22	N/A	16.22
CORNER LOT SIDE YARD SETBACK (CORNER SIDE)	35.00	35.00	35.00
REAR YARD SETBACK (CORNER LOT 1)-SEE BELOW ***	31.50	31.50	N/A
REAR YARD SETBACK (CORNER LOT 2)-SEE BELOW ****	29.75	N/A	29.75
MAXIMUM FLOOR AREA RATIO (FAR)	VARIES	N/A	N/A
MAXIMUM TOTAL BUILDING COVERAGE	VARIES	N/A	N/A
PARKING REQUIREMENTS	VARIES	N/A	N/A
PARKING FRONT YARD SETBACK	N/A	N/A	N/A
PARKING CORNER SIDE YARD SETBACK	N/A	N/A	N/A
PARKING INTERIOR SIDE YARD SETBACK	N/A	N/A	N/A
PARKING REAR YARD SETBACK	N/A	N/A	N/A
LOADING REQUIREMENTS	N/A	N/A	N/A
ACCESSORY STRUCTURE INFORMATION	N/A	N/A	N/A

\*CORNER LOT SIDE SETBACK INTERIOR = 10' OR 6' + 10% OF LOT WIDTH IN EXCESS OF 50'  
LOT 1 WIDTH = 208.12  
INTERIOR SYSB = 6' + (0.10 X (208.12-50)) = 21.81 ft.

\*\*CORNER LOT SIDE SETBACK INTERIOR = 10' OR 6' + 10% OF LOT WIDTH IN EXCESS OF 50'  
LOT 2 WIDTH = 152.15  
INTERIOR SYSB = 6' + (0.10 X (152.15-50)) = 16.22 ft.

\*\*\*CORNER REAR YARD SETBACK = 15% OF MAXIMUM LOT DEPTH  
MAXIMUM LOT DEPTH = 210.00  
RYSB = 210.00 x 0.15 = 31.50 ft.

\*\*\*\*CORNER REAR YARD SETBACK = 15% OF MAXIMUM LOT DEPTH  
MAXIMUM LOT DEPTH = 198.36  
RYSB = 198.36 x 0.15 = 29.75 ft.



## CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
  2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
  3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
  4. Location, size, and arrangement of all outdoor signs and lighting.
  5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
  6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
  7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 11th day of May, 2015, I/We have read the above certification, understand it, and agree to abide by its conditions.

Signature of applicant or authorized agent

Paul McNamara  
Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN  
to before me this 11 day of

May, 2015.

Kathleen A. Nakutis  
Notary Public

4

OFFICIAL SEAL  
KATHLEEN A NAKUTIS  
Notary Public - State of Illinois  
My Commission Expires Dec 17, 2017

Attachment 1

**VILLAGE OF HINSDALE**  
**CERTIFICATION OF PROPER NOTICE**  
**REGARDING APPLICATION FOR PUBLIC HEARINGS AND**  
**MEETINGS**

I, \_\_\_\_\_, being first duly sworn on oath, do hereby certify that I caused written notice of the filing of my application for a public hearing and or meeting to be given to owners of record of property within 250 feet of any part of the subject property. I further certify that I gave such notice in the form required by the Village (Certified Mail) and that I gave such notice on \_\_\_\_\_.

Attached is a list of all of the addresses of property to whom I gave such notice and the receipts of mailings.

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Subscribed and sworn to before me

This \_\_\_\_\_ day of \_\_\_\_\_.

By: \_\_\_\_\_  
Notary Public



**VILLAGE  
OF HINSDALE** FOUNDED IN 1873

**COMMUNITY DEVELOPMENT  
DEPARTMENT  
EXTERIOR APPEARANCE AND  
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 510 Woodland Avenue

**REVIEW CRITERIA**

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

**\*\*\*PLEASE NOTE\*\*\*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

**FEES for Exterior Appearance/Site Plan Review:**

**Standard Application: \$600.00**

**Within 250 feet of a Single-Family Residential District: \$800**

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. **Open spaces.** The quality of the open space between buildings and in setback spaces between street and facades.

*The quality of the open spaces is at least as good as and better than the quality of the open spaces in the surrounding area.*

2. **Materials.** The quality of materials and their relationship to those in existing adjacent structures.

*The quality of the materials is at least as good as and better than the quality of the materials in the surrounding area. All materials are new.*

3. **General design.** The quality of the design in general and its relationship to the overall character of neighborhood.

*The quality of the design is at least as good as and better than the quality of the design in the surrounding area. The site is engineered.*

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Applicant is subdividing 1 lot into 2 lots, which conform under the existing zoning classification. There is no material change to the surrounding area regarding any of these interests.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Building heights will conform with the Hinsdale zoning code and be compatible with the surrounding area

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The architecture will be high quality and visually compatible

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The architecture, site layout, and site design will be thoughtful, strategic, and high quality to accomplish these objectives

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The architecture will be high quality and visually compatible

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The architecture will be high quality and visually compatible

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

*The architecture will be high quality and visually compatible*

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

*The architecture will be high quality and visually compatible*

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

*the architecture and site layout will be thoughtful, strategic, and high quality to accomplish these objectives*

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

*The architecture will be high quality and visually compatible*

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

*N/A*

#### **REVIEW CRITERIA – Site Plan Review**

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The site plan will comply w/ all aspects of the Hinsdale zoning code. No relief is requested.

2. The proposed site plan interferes with easements and rights-of-way.

There is no interference with easements and rights of way

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The site plan does not alter the natural features of the lot beyond what is required to comply with Hinsdale's stormwater

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of (code) surrounding property.

The site plan calls for 1 additional home beyond what is existing, and the proposed subdivision complies with all zoning regulations without

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the relief circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

there are no new streets proposed. there is simply 1 additional driveway to service the new home.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

The site is naturally screened.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The quality of the above will be at least as good as and better than the quality in the surrounding area.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

N/A

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The drainage situation is being vastly improved by the engineering and subdivision of the site.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

*There is only 1 new home to be served*

11. The proposed site plan does not provide for required public uses designated on the Official Map.

*N/A*

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

*The plan is a simple subdivision of 1 lot into 2, which is compliant with the zoning code, no relief requested.*

# SUBDIVISION APPLICATION

TO: ENVIRONMENTAL &  
PUBLIC SERVICES COMMITTEE  
c/o Engineering Department  
19 E. Chicago Avenue  
Hinsdale, Illinois 60521  
(630) 789-7033

Date Filed: \_\_\_\_\_, 20\_\_\_\_

Subdivision Title:

Woodland Estates

Street Address:

510 Woodland Avenue

Existing Square Footage: 73,239 Proposed Square Footage: 73,239 Zoning District R1

Permanent Index Number(s): 18-07-309-048-0000

Name of Applicant:

McVaughton Development, Inc.

Address of Applicant:

115.220 Jackson Street, Burr Ridge, IL 60527

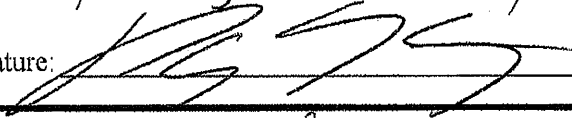
Applicant's Phone/Fax Number:

630-325-3400 / 630-325-3402

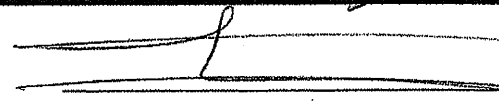
Applicant's E-Mail:

pmcnaughton83 @ yahoo.com

Applicant's Signature:



Property Owner:

 Koushan H. Azad

Owner's Address:

15W480 62<sup>nd</sup> Street, Burr Ridge, IL 60527

Owner's Signature:



## FOR OFFICE USE ONLY

Accompanying this application are the following:

- Subdivision Application
- 3 Folded Copies of Plat of Subdivision (Do Not Sign Copies) Applicant Keeps Original
- Current Folded Plat of Survey
- Proof of Ownership
- Letter Allowing Village to Record Plat of Subdivision
- Letter from the School Districts (or plat block signed by property owner) identifying all school districts
- Processing Fee in the Amount of \$ 600.00



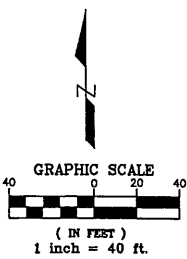


## Attachment 5: Birds Eye View and Project Location.



L:\Surveying\Drawings\Projects\2015-Projects\15-04006.dwg Sub Plat 06-02-2015.dwg, 6/4/2015 7:15:37 PM

<b>PARCEL IDENTIFICATION NUMBER</b>
18-07-309-048-0000
<b>BASIS OF BEARING</b>
ASSUMED
<b>SITE DATA</b>
GROSS AREA: 73,239 SQUARE FEET
LOT 1: 41,063
LOT 2: 32,176



LEGEND	
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	ADJACENT LOT LINE
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	RECORD DATUM
	P.U. & D.E.
	SF
	AC
	SET CONCRETE MONUMENT

# FINAL PLAT OF 510 WOODLAND AVENUE

BEING A SUBDIVISION OF LOTS 1, 2 AND 26 IN BLOCK 9 IN THE WOODLANDS, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 1312.4 FEET OF THE NORTH 718.2 FEET OF SAID SOUTHWEST 1/4, IN COOK COUNTY, ILLINOIS.

COOK COUNTY MAP DEPARTMENT STAMP

COOK COUNTY CLERK SPECIAL ASSESSMENTS STAMP

RECORDER'S OFFICE OF COOK COUNTY STAMP

<b>OWNER'S CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF DUPAGE } SS	
THIS IS TO CERTIFY THAT I/WE _____, I/WE AM/ARE THE OWNER(S) OF PROPERTY DESCRIBED HEREON AND THAT I/WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON.	
THIS IS TO CERTIFY THAT THE UNDERSIGNED, IS THE SOLE OWNER(S) OF RECORD OF THE FOLLOWING DESCRIBED LAND, AND HEREBY CERTIFIES THAT THE SUBJECT PROPERTY IS LOCATED WITH THE FOLLOWING SCHOOL	
DISTRICTS: ELEMENTARY: _____ HIGH SCHOOL: _____ OTHER: _____	
OWNER: _____	ADDRESS: _____
TITLE: _____	
ATTEST: _____	
TITLE: _____	

<b>NOTARY PUBLIC CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF _____ } SS	
I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____, RESPECTIVELY, THE (TITLE) _____ AND (TITLE) _____ OF (CORPORATION OR OTHER ENTITY) _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS OWNERS, AS SUCH (TITLE) _____ AND (TITLE) _____, RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID (CORPORATION OR OTHER ENTITY), FOR THE USES AND PURPOSES THEREIN SET FORTH.	
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____	
NOTARY PUBLIC	

<b>DRAINAGE CERTIFICATION CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF _____ } SS	
WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY ILLINOIS PLAT ACT, ILL. REV. STAT., CH. 109, SEC. 1 ET SEQ., AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.	
DATED THIS _____ DAY OF _____, A.D. 20____	
PROFESSIONAL ENGINEER	OWNER(S) OR DULY AUTHORIZED AGENT

<b>VILLAGE ENGINEER CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF COOK } SS	
APPROVED BY THE VILLAGE ENGINEER FOR THE VILLAGE OF HINSDALE, _____, COUNTY, ILLINOIS ON THIS _____ DAY OF _____, A.D. 20____	
VILLAGE ENGINEER	

<b>CERTIFICATE AS TO SPECIAL ASSESSMENTS</b>	
STATE OF ILLINOIS } COUNTY OF COOK } SS	
I, _____, VILLAGE TREASURER OF HINSDALE, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID SPECIAL ASSESSMENTS, NO REDEEMABLE TAX SALES AGAINST ANY OF THE LANDS SHOWN ON THIS PLAT OF SUBDIVISION AND NO DEFERRED INSTALLMENTS OF ANY OUTSTANDING UNPAID SPECIAL ASSESSMENTS WHICH HAVE NOT BEEN DIVIDED IN ACCORDANCE THE PROPOSED SUBDIVISION AND DULY APPROVED BY THE COURT THAT APPROVED THE SPECIAL ASSESSMENT.	

GIVEN UNDER MY HAND AND SEAL AT HINSDALE, ILLINOIS THIS _____ DAY OF _____, A.D. 20____	
VILLAGE TREASURER	

<b>VILLAGE CLERK CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF COOK } SS	
I, _____, VILLAGE CLERK OF THE VILLAGE OF HINSDALE, ILLINOIS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PRESENTED TO AND BY RESOLUTION OR ORDER DULY APPROVED BY THE BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON _____, A.D. 20____ AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.	
IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL OF THE VILLAGE OF HINSDALE, ILLINOIS THIS _____ DAY OF _____, A.D. 20____	
VILLAGE CLERK	

LINE TABLE		
LINE	LENGTH	BEARING
L1	128.10	S89°25'11"W
L2	87.98	N13°22'28"E
L3	31.30	N70°19'49"E
L4	3.79	N35°30'37"E
L5	40.25	N01°47'57"E
L6	10.49	N76°11'37"E
L7	47.66	N48°48'16"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	112.85	242.76	112.85	S29°12'37"E
C2	12.24	48.50	12.24	S82°53'57"W

<b>SURVEYOR'S CERTIFICATE</b>	
STATE OF ILLINOIS } COUNTY OF WILL } SS	
I, STEVEN J. LAUB, A LICENSED ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE FOLLOWING DESCRIBED PROPERTY:	
LOTS 1, 2 AND 26 IN BLOCK 9 IN THE WOODLANDS, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 1312.4 FEET OF THE NORTH 718.2 FEET OF SAID SOUTHWEST 1/4, RECORDED MAY 7, 1924 DOCUMENT NUMBER 218469, IN COOK COUNTY, ILLINOIS.	
AND THAT THIS SUBDIVISION PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION.	
ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.	
I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION IN COOK AND DUPAGE COUNTIES, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISION HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.	
THIS PROPERTY CONTAINS 2.31 ACRES, MORE OR LESS.	
3/4" x 24" IRON PIPES WILL BE SET AT ALL LOT CORNERS AFTER CONSTRUCTION OF UTILITIES.	

I FURTHER CERTIFY THAT THIS PROPERTY IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD ZONE) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF DUPAGE COUNTY & UNINCORPORATED AREA, MAP NO. 1703104668, WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.	
--	--

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF HINSDALE OR WITHIN 1 1/2 MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.	
--	--

I HEREBY GRANT PERMISSION TO A REPRESENTATIVE OF THE VILLAGE OF HINSDALE, ILLINOIS TO RECORD THIS PLAT. SAID REPRESENTATIVE SHALL SHOW PROPER IDENTIFICATION TO THE RECORDER OF DUPAGE COUNTY.	
--	--

DATED AT MOKENA, ILLINOIS, THIS _____ DAY OF _____, A.D., 20____	
--	--

BY: STEVEN J. LAUB, ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSE NUMBER 035-003160 MY CURRENT LICENSE EXPIRES NOVEMBER 30, 2016
--

Send all future tax bills to:	Submitted by:	Return the original Mylar to:
McNaughton Development 201 S. Jackson Street, Suite 101 Burr Ridge, Illinois 60527 630-325-9400	Village of Hinsdale 7660 County Line Road Burr Ridge, Illinois 60527 630-654-8181	DesignTek Surveying, LLC 9930 W. 190th Street, Suite L Mokena, Illinois 60448 708-326-4961



DESIGNTEK SURVEYING, LLC  
PROFESSIONAL LAND SURVEYORS  
& CONSULTANTS  
11 Prof. Lic. No.: 184 - 004929  
License expires April 30, 2017

9930 W. 190th Street, Suite L  
Mokena, Illinois 60448  
708-326-4961 voice  
708-326-4962 fax

PREPARED FOR:	McNAUGHTON DEVELOPMENT
---------------	------------------------

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1.	06/02/2015	CLIENT & IN-HOUSE REVIEW			

<b>FINAL PLAT</b>			
510 WOODLAND AVENUE SUBDIVISION			
DRAFTING COMPLETED: 05/14/2015	DRAWN BY: SJL	PROJECT MANAGER: SJL	
FIELD WORK COMPLETED: 04/29/2015	CHECKED BY:	SCALE: 1" = 40'	

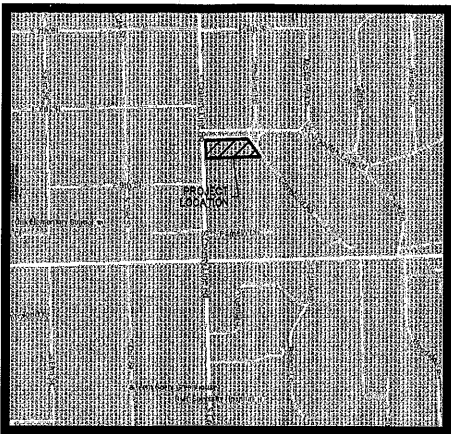
SHEET NO.	1 of 1
Project No:	15-04006

FINAL ENGINEERING PLANS  
FOR  
**510 WOODLAND AVENUE**  
HINSDALE, ILLINOIS

**DEVELOPER:**  
McNAUGHTON DEVELOPMENT, INC.  
220 S. JACKSON STREET, #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

**ENGINEER:**  
DESIGNTEK ENGINEERING, INC.  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961

**SURVEYOR:**  
DESIGNTEK SURVEYING, LLC.  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 478-6161



**LOCATION MAP**  
NOT TO SCALE

**INDEX OF PLAN SHEETS**

1. COVER SHEET
- 2.-3. SPECIFICATIONS
4. EXISTING CONDITIONS & REMOVAL PLAN
5. EROSION CONTROL PLAN
6. SITE PLAN
7. GRADING PLAN
8. UTILITY PLAN
9. - 11. DETAILS

**BENCHMARKS:**

1. DUPAGE COUNTY BENCHMARK "K53", BEING A BRASS DISK IN CONCRETE LOCATED AT THE SOUTHEAST CORNER OF CHICAGO AVENUE AND OAK STREET.  
ELEVATION: 676.86 (NAVD88)
2. SITE BENCHMARK: ARROW BOLT ON HYDRANT LOCATED AT THE SOUTHEAST CORNER OF THE SURVEY SITE, SHOWN HEREON.  
ELEVATION: 693.58
3. SITE BENCHMARK: CHISELED SQUARE ON THE SOUTH CURB LINE OF WOODLAND AVENUE, SHOWN HEREON.  
ELEVATION: 697.10

**LEGAL DESCRIPTION:**

LOTS 1, 2 AND 26 IN BLOCK 9 IN THE WOODLANDS, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 38 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 1312.4 FEET OF THE NORTH 718.2 FEET OF SAID SOUTHWEST 1/4, RECORDED MAY 7, 1924 DOCUMENT NUMBER 216469, IN COOK COUNTY, ILLINOIS.

**SURFACE WATER  
DRAINAGE CERTIFICATE**

STATE OF ILLINOIS)  
COUNTY OF WILL

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 4th DAY OF JUNE, 2015.

*Scott Schreiner*  
ENGINEER



EXISTING		PROPOSED	
--->---	SANITARY SEWER	--->---	
---	STORM SEWER	---	
□	CATCH BASIN	■	
○	OPEN LID MANHOLE	●	
○	CLOSED LID MANHOLE	●	
— W —	INLET	— W —	
— W —	WATER MAIN	— W —	
— V —	VALVE	— V —	
— H —	HYDRANT	— H —	
— F —	FLARED END	— F —	
— S —	STREET LIGHT	— S —	
— U —	UTILITY POLE	— U —	
— B —	B-BOX	— B —	
— R —	RETAINING WALL	— R —	
— S —	SILT FENCE	— S —	
— C —	CONTOUR	— C —	
— FM —	FORCEMAIN	— FM —	
— F —	FLOODPLAIN	— F —	
— F —	FLOODWAY	— F —	
— F —	OVERLAND FLOW ROUTE	— F —	
— F —	WETLANDS	— F —	
— F —	WETLAND BUFFER	— F —	
— F —	DIRECTIONAL BORE	— F —	

PARCEL IDENTIFICATION NUMBER
18-07-308-048-0000

SITE DATA
AREA: 73, 239 SQUARE FEET OR 1.68 ACRES

CALL BEFORE YOU DIG

**JULIE**

CALL 1-800-892-0123  
AT LEAST 48 HOURS (2 WORKING  
DAYS) BEFORE YOU DIG

REVIEW SET  
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	05-19-15	PER OWNER & OFFICE	NSM
2	08-04-15	PER VILLAGE REVIEW	SDS

FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

**DESIGNTEK ENGINEERING, INC.**  
CONSULTING AND SITE DESIGN ENGINEERS



PROJECT INFORMATION	
Project No.:	15-0015
Date:	05-11-15
Design By:	SDS
Drafted By:	NSM
Checked By:	SDS

1  
OF  
11





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3. UNDERGROUND IMPROVEMENTS (continued)

b. Water Main and Services (continued)

7) Valves:

- a) Epoxy coated resilient wedge with non-rising stem gate valves, counter-clockwise to open, AWWA C-509, Clow, Mueller, or approved equal.
- b) Fire hydrant auxiliary valve shall be one of the same manufacturer as the hydrant, and shall connect to the fire hydrant with a flange connection.

8) Valve Vaults:

- a) Precast reinforced concrete - ASTM C-478 with tongue and groove joints sealed with gaskets conforming to ASTM C-443 or bituminous jointing material.
- b) Size - For twelve (12) inch diameter valves and for pressure connections, valve vaults shall have a minimum inside diameter of sixty (60) inches; for pressure connections and valves sixteen (16) inches and larger, valve vaults shall have a minimum inside diameter of seventy-two (72) inches.
- c) Steps - Cast in place E.J.I.W. No. 8518 or MA Industries PS-4 steel reinforced plastic conforming to O.S.H.A. standards, sixteen (16) inches on center.
- d) Pipe Seals - Pipe openings in manhole walls shall be flexible, watertight connections, A-LOK, Interpace, PS-10, KOR-N-SEAL, or approved equal.

9) Fire Hydrants:

- a) Traverse City fire hydrants with six inch (6") flanged inlet connection, five inch (5") valve opening, two and one-half inch (2-1/2") hose nozzles, one four and one-half inch (4-1/2") pumper connection for a six foot (6') depth of trench with six inch (6") auxiliary valve bolted on. Hydrants should be "open left" and have national standard threads. Before purchasing, the contractor should verify nozzle threads and operating nut size with the appropriate fire protection district.
- b) Shall be painted the color red.

10) Trench Backfill

- a) Bedding, haunching and the initial backfill shall consist of IDOT CA-6, CA-10, OR CA-18 aggregate. The initial backfill shall be placed to at least 12" above the pipe.
- b) Final backfill of the trench shall be accomplished by careful replacement of the excavated material. Any pipe installed under or within three (3) feet of a pavement edge, driveway (when driveway location is known), or curb and gutter shall be backfilled to the top of the trench with compacted IDOT CA-6, CA-10, or CA-18 material.
- c) Compaction shall be in accordance to IDOT Article 550.07(c), Method 1: The material shall be deposited in uniform lifts not exceeding 8" in depth, loose measurement, and each lift shall be compacted by mechanical means to the satisfaction of the Engineer.
- 11) Pipe Laying:
- a) The contractor shall keep the trench free from water while the water main is being placed and until the pipe joint has been sealed to the satisfaction of the City Engineer.
- b) Adequate provisions shall be made for the safety, storage, and protection of all water pipe prior to actual installation in the trench. Care shall be taken to prevent damage to the pipe castings, both inside and out. Provisions shall be made to keep the inside of the pipe clean throughout its storage period and to keep mud and/or other debris from being deposited therein. All pipe shall be thoroughly cleaned on the inside before laying of the pipe. Proper equipment shall be used for the safe handling, conveying, and laying of the pipe so as to prevent damage to water main materials and protective coatings and linings. Under no circumstances shall water main materials be dropped or dumped into the trench.
- c) Polyethylene wrapping of all water main is required in conjunction with AWWA C-105.
- d) In making joints, all portions of the jointing materials and the socket and spigot ends of the joining pipe shall be wiped clean of all foreign materials. The actual assembly of the jointing shall be in accordance with the manufacturer's installation instructions. During construction, until jointing operations are complete, the open ends of all pipes shall at all times be protected and sealed with temporary watertight plugs.
- e) During water main installation, to make a closure between two pipe ends, or between pipe end fittings, or between pipe end and valve, short lengths shall be used with proper connections or couplings. Repair sleeves shall not be used to make closures during new construction.
- f) All pipe and trenching shall be viewed and approved by the City prior to cover and backfill.
- g) Water mains shall be buried not less than five feet (5') below surface of the final grade as measured to the top of the pipe.

c. Storm Sewer

1) Material shall be:

- a) Reinforced concrete pipe (RCP), unless otherwise noted on the plans, which shall meet or exceed the performance requirements of ASTM C-76, Class IV.
- b) Polyvinyl chloride pipe (PVC), where indicated on the plans which shall meet or exceed the performance requirements of ASTM D-2241, SDR-26.

2) Joints shall be:

- a) For RCP; ASTM C-443 ("o-ring").
- b) For PVC; flexible elastomeric seal joints, ASTM D-3139.

3) Size shall be as indicated on the Engineering Plan.

4) Castings/Covers:

- When used on manholes w/flat tops, a minimum of one 2" adjusting ring shall be used.
- a) Manhole frame and cover - E.J.I.W. No. 1058 or Neenah R-1550 embossed "STORM", with Type A heavy duty cover, for Closed Lids.
- b) Curb and gutter Inlet - E.J.I.W. No. 7464-M2 or Neenah R-3525-L.
- c) Yard Inlet - E.J.I.W. No. 1020 with Type M2 flat grate or Neenah R-4340 B.
- d) Manhole and Catchbasin frame and grate - Neenah R-2502-C when noted for open lids.
- e) Storm Grates shall have "Drain to Creek" emblem.

5) Trench Backfill

- a) Bedding, haunching and the initial backfill shall consist of IDOT CA-6, CA-10, OR CA-18 aggregate. The initial backfill shall be placed to at least 12" above the pipe.
- b) Final backfill of the trench shall be accomplished by careful replacement of the excavated material. Any pipe installed under or within three (3) feet of a pavement edge, driveway (when driveway location is known), or curb and gutter shall be backfilled to the top of the trench with compacted IDOT CA-6, CA-10, or CA-18 material.
- c) Compaction shall be in accordance to IDOT Article 550.07(c), Method 1: The material shall be deposited in uniform lifts not exceeding 8" in depth, loose measurement, and each lift shall be compacted by mechanical means to the satisfaction of the Engineer.

d. Incidental To Construction

The Underground CONTRACTOR Shall:

- 1) Adhere to the criteria for the separation between water mains and the storm and sanitary sewer lines as described in the "Technical Policy Statements", Division of Public Water Supplies, Illinois Environmental Protection Agency (See Standard Specifications).
- 2) Be responsible to place on grade, and coordinate with other CONTRACTORS, all underground utility structure frames such as manholes, catchbasins, and inlets.
- 3) Be aware of potential conflicts with existing utilities. The CONTRACTOR shall excavate around the existing utilities prior to construction of the proposed utility improvements to determine their exact location and elevation.
- 4) Any existing utility structures requiring adjustment or reconstruction shall be completed by the CONTRACTOR to the satisfaction of the utility owner. Adjustments and/or reconstructions not called for on the plans shall be considered incidental to the contract. No more than a total of 6 inches of adjusting rings allowed with a maximum total of 2 rings.
- 5) The concrete fillets shall be pre-cast from the manufacturer in all sanitary and storm manholes and inlets.
- 6) Be responsible for maintaining the top of any utility trench at least three (3) feet away from any existing or proposed curb or pavement. In those instances where the trench runs parallel to said curb or pavement.
- 7) Be responsible for the dewatering of utility trenches during construction and providing the necessary trench bracing that may be required to assure safe working conditions.
- 8) The trench shall be excavated to a depth that will allow a minimum of four (4) inches or one-quarter (1/4) the pipe diameter (whichever is greater) of bedding material to be placed below the pipe.
- 9) Remove soft material that may be encountered at the pipe invert elevation to a depth of at least one (1) foot below the bottom of the pipe or down to firm soils (whichever is greater), and backfill with compacted bedding material.
- 10) Not damage the road subgrade with excessive water saturation from hydrant flushing, or from leaks in the water distribution system. The cost of repair for such damage shall be borne by the CONTRACTOR. Hoses should be used to direct the water from hydrant flushing into the storm sewer system (if available).
- 11) Repair any existing field drainage tile damaged during construction, and properly reroute and/or connect said tile to the nearest storm sewer outlet. All locations of encountered field drainage tile shall be properly indicated on the CONTRACTOR'S record drawing.
- 12) Furnish one (1) set of Record drawings to the ENGINEER upon completion of the sanitary & storm sewers and water mains. Drawings (or table of locations) shall indicate the location of all sanitary sewer wyes (measured from the nearest downstream manhole), sewer stubs, water service along main and b-boxes. The CONTRACTOR shall also furnish linear distance along water main from appurtenances to appurtenance (i.e. valve vault to tee, tee to bend, etc.).
- 13) Be responsible for implementation and maintenance of the "Soil Erosion and Sedimentation Control Measures" as applicable.

e. Testing and Final Acceptance

- 1) Sanitary sewer mains and services shall be tested for exfiltration of air under pressure and deflection for flexible thermoplastic pipe in accordance with the Standard Specifications for Water and Sewer prior to their final acceptance. The sewer shall be tested in accordance with "Air Testing Method Procedures" and "Deflection Testing". Allowable testing limits shall be as described in the "Standard Specifications" unless the local requirements are more restrictive. Sanitary manholes shall be tested for watertightness in accordance with ASTM C989-94 "Standard Practice for Infiltration and Exfiltration Acceptance Testing of Installed Precast Concrete Pipe Sewer Lines" or ASTM C1244-93 "Standard Test Method for Concrete Sewer Manholes by the Negative Pressure (Vacuum) Test" prior to placing into service. Service stubs must be properly plugged and sealed and clearly located at their termination points prior to testing. All sewer mains and service lines and manholes shall be clean and free of debris prior to their final acceptance.
- 2) All sanitary sewer lines & services shall be tested in accordance with local jurisdictional requirements. Pipe shall be televised 80 days after installation. Prior to final acceptance, a written report and DVD copy of the televised main and services shall be provided to the City Engineer for review.
- 3) Storm sewer and all storm structures shall be clean and free of debris prior to their final acceptance. Storm sewers shall be inspected and tested in accordance with local jurisdictional requirements including television inspection for review by the City Engineer.
- 4) Water main shall be tested in accordance with AWWA C-600 and the local jurisdictional requirements prior to its final acceptance. A 24 hour system pressure test needs to be performed prior to the 2 hour 150psi test, as per the City of Darien Standard Specifications. The pressure and leakage tests and disinfection of the mains shall be as described in the "Standard Specifications" unless the local requirements are more restrictive. All valve vaults shall be clean and free of debris and water, and individual service boxes shall be visible and clearly located prior to their final acceptance.
- 5) All sewer and water main separations shall be constructed per the "Standard Specifications for Water and Sewer Main Construction in Illinois".

f. Disinfection

- 1) The preferred point of application of the chlorinating agent shall be at the beginning of the pipeline extension or any valved section of it and through a corporation stop in the top of the newly laid pipe. The injector for delivering the chlorine gas into the pipe should be supplied from a tap on the pressure side of the gate valve controlling the flow into the pipeline extension. Prior to chlorination, 24 hour notice shall be given to the City of Darien Public Works Department.
- 2) Water from existing distribution system or any other source of supply shall be controlled by the City of Darien Public Department so as to flow slowly into the newly laid pipeline during the application of chlorine-gas. The rate of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall be at least fifty parts-per-million (50ppm), or enough to meet the requirements during the retention period.
- 3) Valves shall be manipulated so that the strong chlorine solution in the line being treated shall not flow back into the line supplying the water. The pipe section being chlorinated shall be kept at a lower pressure than the water system pressure.
- 4) Treated water shall be retained in the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four (24) hours. After the chlorine-treated water has been retained for the required time, the chlorine residual at the pipe extremities and at other representative points shall be at least twenty five parts-per-million (25 ppm).
- 5) In the process of chlorinating newly laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating agent.
- 6) All water mains shall be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA C-601, and as required by this Section. All disinfection, as required by this Section, shall be performed by an independent firm exhibiting experience in the methods and techniques of this operation, and shall be approved by the City of Darien Water Department. The City of Darien Water Department is responsible for the sampling and testing of samples of all new water mains.

g. Method of Measurement

- 1) All sanitary sewer, storm sewer, and water main pipe shall be measured in the field after its installation. Payment shall be based on these field measurements.
- 2) All appurtenances such as manholes, catchbasins, inlets, valves and valve vaults, valve boxes, and fire hydrants, shall be paid for on the basis of in-place quantities.
- 3) Water services, where indicated on the "Quantity Estimate" as "long" or "short", shall include the necessary length of Type "K": copper water tube of the size shown on the plans, corporation stop, curb stop, and service box, and all necessary labor, tools, equipment, excavation & backfill, for a complete installation as shown on the Engineering plans. Trench backfill will be paid for separately, when required.
- 4) Trench backfill material shall be measured by multiplying the as-constructed length of pipe (where applicable) by the average depth of the pipe by the "Payment Quantities per foot of Conduit" and "Typical Detail of Conduit Installation" of the Standard Specification for Water and Sewer Construction in Illinois. If requested, the CONTRACTOR shall provide load tickets to the ENGINEER for verification of the trench backfill material delivered to the construction site. Load tickets for bedding material shall be submitted separately.

h. Basis of Payment

- 1) All sanitary sewer, water main, and storm sewer pipe shall be paid for at the contract unit price per LINEAL FOOT. The price shall include the necessary labor and material for a complete in-place installation, as well as all incidental construction, testing, bedding material, and connections to existing utilities.
- 2) All appurtenances for the underground improvements shall be paid for at the contract unit price EACH, said price to include the necessary labor and material for a complete in-place installation. The price for manholes, inlets, and catchbasins shall also include the frame and grate and all incidental construction. The price for fire hydrants shall also include a six (6) inch valve and box, and all incidental construction.
- 3) Trench backfill material shall be paid for at the contract unit price per CUBIC YARD, and shall include the jetting of the in-place material.

METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO  
TYPICAL GENERAL NOTES

1. The MWRD Local Sewer Systems Section Field Office must be notified at least two (2) working days prior to the commencement of any work (call 708-588-4055).
2. Elevation datum is USGS. Subtract 579.48 to reach City of Chicago Datum.
3. All floor drains shall discharge to the sanitary sewer system.
4. No footing drains or downspouts. (No downspouts or footing drains shall be directly connected to the storm sewer system. All downspouts & sump pumps will discharge to grade.)
5. All sanitary sewer pipe materials and joints (and storm sewer pipe materials and joints in a combined sewer area) shall conform to:

Pipe Material Spec.	Joint Specification
Concrete Pipe C-14	C-443
RCP C-76	C-443
ACP C-428	D-1869
PVC Gravity Sewer Pipe	
6"-15" dia. SDR 23.5	
D-3034	D-3212 or D-2855

(Note: The District has approved less common pipe materials on a qualified basis in addition to those above. Please contact the District if considering using pipe not listed above.)

6. All sanitary sewer construction (and storm sewer construction in combined sewer areas), requires stone bedding 1/4" to 1" in size, with minimum bedding thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than four (4) inches nor more than eight (8) inches. Material shall be CA-11 or CA-13 and shall extend at least 12" above the top of the pipe when using PVC.
7. "Band-Seal" or similar flexible-type couplings shall be used in the connection of sewer pipe of dissimilar materials.
8. When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, one of the following methods shall be used:
- a. Circular saw-cut of sewer main by proper tools ("Shower-Tap" machine or similar) and proper installation of hub-wye saddle or hub-tee saddle.
- b. Remove an entire section of pipe (breaking only top of one bell) and replace with a wye or tee branch section.
- c. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band Seal" or similar couplings to hold it firmly in place.
9. Wherever a sanitary/combined sewer crosses under a watermain, the minimum vertical distance from the top of the sewer to the bottom of the watermain shall be 18 inches. Furthermore, a minimum horizontal distance of 10 feet between sanitary/combined sewers and watermain shall be maintained unless the sewer is laid in a separate trench keeping a minimum 18" vertical separation; or the sewer is laid in the same trench with the watermain located at the opposite side on a bench of undisturbed earth, keeping a minimum 18" vertical separation. Neither the vertical or horizontal distances described above cannot be maintained, or the sewer crosses above the watermain, the sewer shall be constructed to watermain standards.
10. All existing septic systems shall be abandoned. Abandoned tanks shall be filled with granular material or removed.
11. All sanitary manholes (and storm manholes in combined sewer areas), shall have a minimum inside diameter of 48 inches, and shall be cast in place or pre-cast reinforced concrete. Resilient watertight connectors, conforming to ASTM C-923, shall be used between manhole and pipes.
12. All abandoned sewers/force mains shall be plugged at both ends with a minimum of two (2) feet long non-shrink concrete/mortar plugs.
13. Except for foundation/footing drains provided to protect buildings, drain tiles/field tiles/under drains/perforated pipes are not allowed to be connected to or tributary to combined sewers, sanitary sewers, or storm sewers tributary to combined sewers in combined sewer areas. Construction of new facilities of this type is prohibited; and all existing drain tiles and perforated pipes encountered within the project area shall be plugged or removed, and shall not be connected to combined sewers, sanitary sewers, or storm sewers tributary to combined sewers.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	05-19-15	PER OWNER & OFFICE	NSM
2	08-04-15	PER UTILITY REVIEW	SJS

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

DESIGN/TEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORNHET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
ILL. PROF. LIC. NO.: 184 - 003740

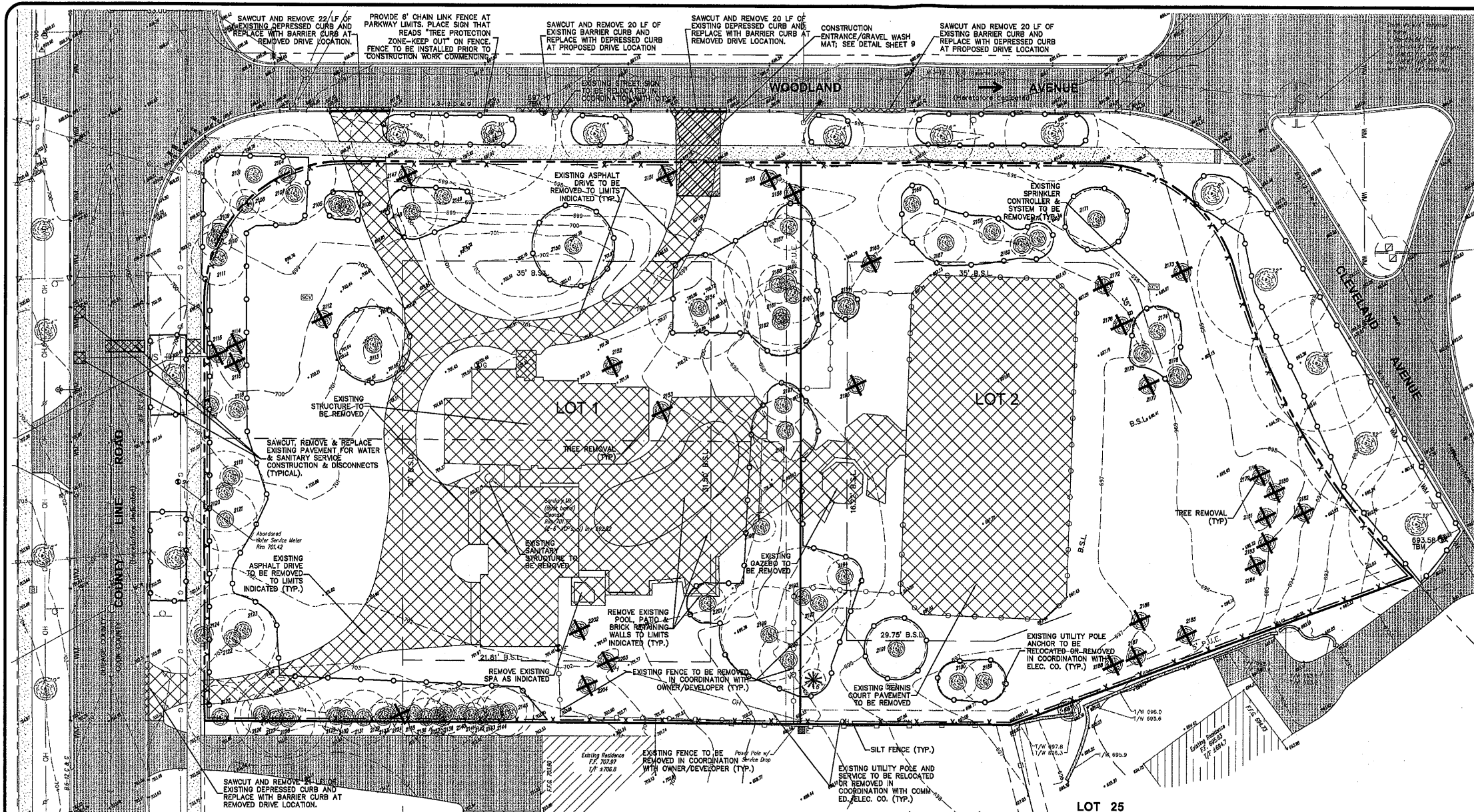


PROJECT INFORMATION	
Project No.:	15-0015
Scale:	N/A
Date:	05-11-15
Design By:	SDS
Drafted By:	NSM
Checked By:	SDS

3  
OF  
11

REVIEW SET  
NOT FOR CONSTRUCTION

SPECIFICATIONS - 2

**LEGEND**

- x — x — SILT FENCE
- x — x — TREE PROTECTION FENCE
- STORM STRUCTURE W/ FILTER BASKET AND INLET PROTECTION (I.E. FABRIC DROP, EXCAVATED DRAIN, ETC.)
- STORM STRUCTURE WITH FILTER FABRIC
- CULVERT INLET PROTECTION (SEE DETAIL)
- ROCK RIPRAP (SEE DETAIL)
- EXISTING PAVEMENT, BUILDING STRUCTURE OR UTILITY TO BE REMOVED
- ✕ TREE TO BE REMOVED PER DEVELOPMENT

**RECOMMENDED PRACTICES FOR TREES TO BE SAVED:**

- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN.
- AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE. FENCE THE PUBLIC PORTION (PARKWAYS) OF THE ENTIRE TREE PROTECTION ZONES WITH A 6' CHAIN-LINK FENCE TO PREVENT WOUNDS TO THE PARKWAY TREES AS WELL AS SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING TREE PROTECTION ZONE - KEEP OUT.
- INSTALL TREE PROTECTION FENCE AND PERFORM ROOT PRUNING PER PLAN FOR ALL PROTECTED TREES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- NO GRADE CHANGES, STORAGE OF CONSTRUCTION MATERIAL, DUMPING OF WASTE OR STORAGE OF CONSTRUCTION EQUIPMENT SHALL BE ALLOWED WITHIN TREE PROTECTION FENCING ZONES. DO NOT STORE EXCAVATED SOIL, DUMPS, OR ANY OTHER CONSTRUCTION MATERIALS WITHIN THE DRAIN LINE (TPZ) OF ANY OF THE TREES, INCLUDING THOSE TREES ON ADJACENT PROPERTIES.
- ALL TREES TO BE SAVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THE DRAIN LINE SHOULD BE SELECTIVELY THINNED 10% BY AN ARBORIST SKILLED AT THE SELECTIVE TRIMMING PROCEDURE. NONE OF THE TREES SHALL BE TOPPED, HEADED BACK, SKINNED (REMOVAL OF INTERIOR BRANCHES), OR CLIMBED WITH SPIKES. ALL DEAD WOOD SHOULD BE REMOVED TO REDUCE HAZARD.
- IF A UTILITY MUST BE WITHIN 15 FEET OF THE TREE TRUNK, IT IS RECOMMENDED THAT IT BE AUGURED.
- IT IS RECOMMENDED THAT FOLLOWING CONSTRUCTION, TREES BE MAINTAINED IN THEIR NATIVE CONDITION. NO LAWN SHOULD BE PLACED AROUND THE TREES. IT IS RECOMMENDED THAT THE AREA BE MULCHED WITH 2 INCHES OF DECOMPOSED LEAVES AND 2 INCHES OF WOOD CHIP OR BARK.
- NO TRENCHING SHALL BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY UNLESS PRE-APPROVED BY BUILDING DEPARTMENT & FORESTRY STAFF.
- SHOULD IT BE NECESSARY TO TRENCH WITHIN THE "TPZ" FOR UTILITIES, INCLUDING DISCONNECTION OR CAPPING OF EXISTING UTILITIES, ALL TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN 2" SHALL BE CUT UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. CUTS SHALL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE SIDE OF THE TRENCH. IF AT ANY TIME TWENTY FIVE PERCENT (25%) OF THE AREA WITHIN THE "TPZ" IS BEING SEPARATED FROM THE TREE BY A TRENCH, THEN THE LINE SHALL BE EITHER RELOCATED OR INSTALLED USING TRENCHLESS METHODS.
- REMOVAL OF ANY HARDCAPE WITHIN THE TREE PROTECTION ZONES WILL BE DONE BY HAND.
- THE PROPOSED WATER, SANITARY, STORM AND GAS SERVICE LINES SHOULD BE LOCATED OUTSIDE THE TREE PROTECTION ZONE TO MINIMIZE DAMAGE TO THE PARKWAY TREES. SEE NOTES REGARDING UTILITY INSTALLATION. CLARIFICATION OF THE AUGER PIT LOCATIONS, IF THEY ARE NEEDED, WILL BE SHOWN ON THE PLANS AND BE LOCATED OUTSIDE OF THE TREE PRESERVATION ZONES.
- THE PROPOSED B-BOX IS TO BE 10' FROM PARKWAY TREES. IF FUTURE UTILITY EXCAVATIONS NEED TO OCCUR, THIS REDUCES THE CHANCE OF EXTENSIVE STEM OR ROOT DAMAGE, WHICH CAN LEAD TO TREE DECLINE.
- THE LOCATION OF THE PROPOSED DRIVEWAY APRONS OR EXCAVATION FOR THE NEW APRONS IS REQUIRED TO BE AT A MINIMUM OF 10' FROM THE NEAREST FACE OF PARKWAY TREE OR WITHIN THE LIMITS OF THE EXISTING DRIVEWAY APRON; THIS SHOULD BE VERIFIED ON PLANS. THE VILLAGE WILL REQUIRE THE TREE PROTECTION FENCE BE INSTALLED AT A MINIMUM OF 10' FROM THE PARKWAY TREES.
- ALL TREE PROTECTION FENCING WILL BE MAINTAINED IN ALL AREAS OUTSIDE OF THE APRON EXCAVATION AREA.
- THE TREE PROTECTION ZONES MAY BE MULCHED TO IMPROVE THE GROWING CONDITIONS FOR TREE ROOTS AND MINIMIZE THE MAINTENANCE OF THE PARKWAY LAWN.
- ALL REQUIRED TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING.
- DEMOLITION AND CONSTRUCTION OF ANY PROPOSED SIDEWALK SHOULD FOLLOW THE VILLAGE DETAIL FOR SIDEWALK CONSTRUCTION WITHIN THE TREE PROTECTION ZONES, INCLUDING NO TO MINIMAL EXCAVATION.

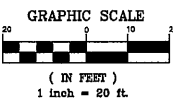
**TREE PRESERVATION PLAN FOR ALL SIGNIFICANT TREES:**

- TREE SURVEY: ALL EXISTING TREES WERE EVALUATED FOR SPECIES, SIZE AND CONDITION. TREES HAVE BEEN NUMBERED WITH A STEEL TAG PLACED AT EYE LEVEL ON THE EAST SIDE OF THE TRUNK. TAGS NUMBERED 2072 THRU 2078 WERE USED. THIS SURVEY DATA SHOULD BE REFERENCED WHEN IDENTIFYING TREES AND NEEDS. SOME TREES WERE NOT TAGGED BUT HAD TO BE EVALUATED PER VILLAGE ORDINANCE/CODE.
- TREE PRUNING REQUIREMENTS: ALL TREES THAT ARE WITHIN THE CONSTRUCTION TRAUMA ZONE SHOULD BE PROPERLY PRUNED TO REMOVE DEAD AND WEAK LIMBS, AND ALSO SELECTIVE THINNING TO COMPENSATE FOR ROOT LOSS, AND TO PROVIDE NECESSARY CLEARANCES AND ELEVATIONS.
- ROOT PRUNING REQUIREMENTS: ALL TREES THAT ARE IN CLOSE PROXIMITY OF EXCAVATION SHOULD HAVE ROOT PRUNING DONE WITHIN 1 FOOT OF EXCAVATION DIG TO ALLOW FOR A CLEAN WOUND CLOSURE AND TO PROMOTE NEW FIBROUS ROOTS. A ROOT PRUNER, STUMP GRINDER, OR SUITABLE TRENCHER CAN BE USED.
- TREE NUTRITIONAL REQUIREMENTS: ALL TREES WITHIN THE TRAUMA ZONE SHOULD BE TREATED WITH A SOIL INJECTED LIQUID ROOT FERTILIZER OF PROPER ANALYSIS, AND EVENLY DISTRIBUTED THROUGHOUT THE ROOT ZONE. THIS IS TO IMPROVE OVERALL VIGOR AND TO HELP IN AERATION OF COMPACTED SOIL.
- SURFACE MULCHING REQUIREMENTS: ALL TREES WITHIN THE CRITICAL TRAUMA ZONE SHOULD HAVE LAYERED WOOD MULCH BEDS INCORPORATED INTO THE FINAL LANDSCAPE PLAN. THIS WILL IMPROVE SOIL STRUCTURE, FERTILITY, AND AID IN MOISTURE RETENTION. EXPOSED SURFACE ROOTS SHOULD BE PROTECTED DURING CONSTRUCTION WITH A 12" LAYER OF MULCH.
- GRADING AND BACKFILL REQUIREMENTS: NO OVERFILLING OF SOIL SHOULD OCCUR TO TREE ROOT ZONES WITHIN A 10'-15' RADIUS TO PREVENT ROOT LOSS. RETENTION WALLS AND DRAINAGE SHOULD BE INCORPORATED INTO THE INITIAL GRADING AND LANDSCAPE DESIGN CONCEPT.
- PROTECTIVE BARRIER REQUIREMENTS: A 6' CHAIN LINK FENCE WITH POSTS ON 10' CENTERS SHOULD BE INSTALLED TO PREVENT ANY ACTIVITY FROM OCCURRING WITHIN LIMITS OF TREE PROTECTION AREA. THIS FENCE SHOULD BE MAINTAINED DURING THE ENTIRE PROJECT. A SIGN SHOULD BE PLACED AT THE PROJECT ENTRANCE TO FAMILIARIZE CONTRACTORS WITH TREE PRESERVATION TECHNIQUES.
- SITE MONITORING REQUIREMENTS: ALL TREES LISTED ON THE SURVEY FORM SHOULD BE MONITORED DURING AND AFTER CONSTRUCTION FOR ANY POSSIBLE HEALTH CARE ISSUES THAT MAY BE ENCOUNTERED. THIS SHOULD BE DONE BY A COMPETENT CERTIFIED ARBORIST WHO IS CAPABLE OF MAKING ON-SITE DECISIONS THAT BEST PROTECT THE TREES.

**CONDITION & FORM INFORMATION/LEGEND:**

Description	General Criteria
1. Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2. Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one of two minor problems that are easily corrected with normal care.
3. Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not eminently lethal to the tree, and no significant decay or structural problems, but the tree must have careful care above normal care in order to minimize the impact of future stress and/or insure continued health.
4. Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay of structural defects, needs, disease, or other problems that can be eminently lethal to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
5. Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with needs, disease, or other problems that even if aggressively corrected would not result in the long-term survival of the tree.
6. Dead	Less than 10% of the tree shows signs of life.

Tag #	Tree Species	Diameter inches	Cond	Form	Notes
2101	Mulberry	18	3	4	
2102	Buckthorn	6.3.4	3	4	
2103	Buckthorn	5.6.4	3	4	
2104	Mulberry	23.13	4	4	Split trunk
2105	Buckthorn	8.6.3.5	3	4	
2106	Buckthorn	4	3	4	
2107	Buckthorn	4	3	3	
2108	Buckthorn	7.6.5.6	3	4	
2109	Buckthorn	6.6	4	4	
2110	Buckthorn	8.7	3	4	
2111	Buckthorn	13.9	3	4	
2112	Spice	4.4	3	0	
2113	Spice	17	3	3	
2114	Buckthorn	4.4	3	4	
2115	Buckthorn	4.4	3	4	
2116	Buckthorn	3.2.2	3	4	
2117	Buckthorn	8.6	3	4	
2118	Buckthorn	5.4.3.3.4	3	4	
2119	Tree of Heaven	4.3	3	3	
2120	Walnut	18	3	3	
2121	Tree of Heaven	15	3	4	
2122	Mulberry	21	3	4	
2123	Grass	10	3	4	
2124	Buckthorn	3.2.3.2	3	4	
2125	Maple	15	3	4	
2126	Maple	10	3	4	
2127	Mulberry	10	3	4	
2128	Maple	21	4	4	
2129	Maple	8	3	4	
2130	Maple	8	3	4	
2131	Maple	12	3	4	
2132	Maple	7	3	4	
2133	Maple	8	3	4	
2134	Maple	6	4	4	
2135	Maple	11	3	4	
2136	Maple	9.4	3	4	
2137	Maple	7.8	3	4	
2138	Maple	10	3	4	
2139	Walnut	18	3	4	
2140	Maple	12	3	4	
2141	Maple	8	3	4	
2142	Maple	9	3	4	
2143	Maple	5 1/2	3	4	
2144	Maple	12	3	4	
2145	Maple	12.6	3	4	
2146	Maple	10.6	3	4	
2147	Spice	4.4.6.6	3	4	
2148	Spice	12.8.8	3	4	
2149	Spice	14	3	4	
2150	Maple	21	3	3	
2151	Spice	2.6.6	4	4	
2152	Hawthorne	6.5.4	3	4	
2153	Hawthorne	6.5.5	3	4	
2154	Linden	24	3	3	
2155	Spice	5	4	4	
2156	Sycamore	24	3	4	
2157	Burkaya	11	3	3	
2158	Elm	9	3	4	
2159	Sycamore	30	3	4	
2160	Elm	13	3	4	
2161	Ash	17	4	4	
2162	Elm	18	3	4	
2163	Hawthorne	4.3.3.2	4	4	
2164	Hawthorne	4.3.2	4	4	
2165	Hawthorne	4.4.3	4	4	
2166	Maple	18	3	3	
2167	Pine	10	4	4	
2168	Aspen	6.5.4	3	4	
2169	Aspen	4.3.2	3	4	
2170	Aspen	6.5.4.4	3	4	
2171	Maple	14	3	3	
2172	White Pine	10	3	3	
2173	Maple	8	3	3	
2174	White Pine	11	3	4	
2175	Redbud	4.4.3.6.5	3	4	
2176	White Ash	17	3	4	
2177	Redbud	4.6.3.3.3	4	4	
2178	Redbud	5.4.3	3	4	
2179	Austrian Pine	10	4	4	
2180	Austrian Pine	8.7.6	4	4	
2181	Austrian Pine	16.7	3	4	
2182	Maple	10	3	4	
2183	Austrian Pine	8	3	4	
2184	Austrian Pine	11	4	4	
2185	Ash	25	3	4	
2186	White Pine	16.4	3	3	
2187	White Pine	15	3	3	
2188	White Pine	15	3	3	
2189	White Pine	15	3	3	
2190	White Pine	15	3	3	
2191	Green Ash	14	4	3	
2192	Austrian Pine	9	3	4	
2193	Elm	23	3	4	
2194	Sugar Maple	8	3	4	
2195	Super Maple	7	3	4	
2196	White Pine	15	3	4	
2197	White Pine	10	3	4	
2198	White Pine	7	3	4	
2199	Elm	22.18	3	3	
2200	Burkaya	14	3	3	
2201	White Pine	9	3	4	
2202	Austrian Pine	10	3	3	
2203	White Pine	10	3	3	
2204	Austrian Pine	10	3	4	
2205	White Pine	8	3	4	no tag, white dot
2206	Crabapple	12	3	3	no tag, white dot



NO.	DATE	REVISION
1	08-19-15	PER OWNER & OFFICE
2	08-04-15	PER VILLAGE REVIEW

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

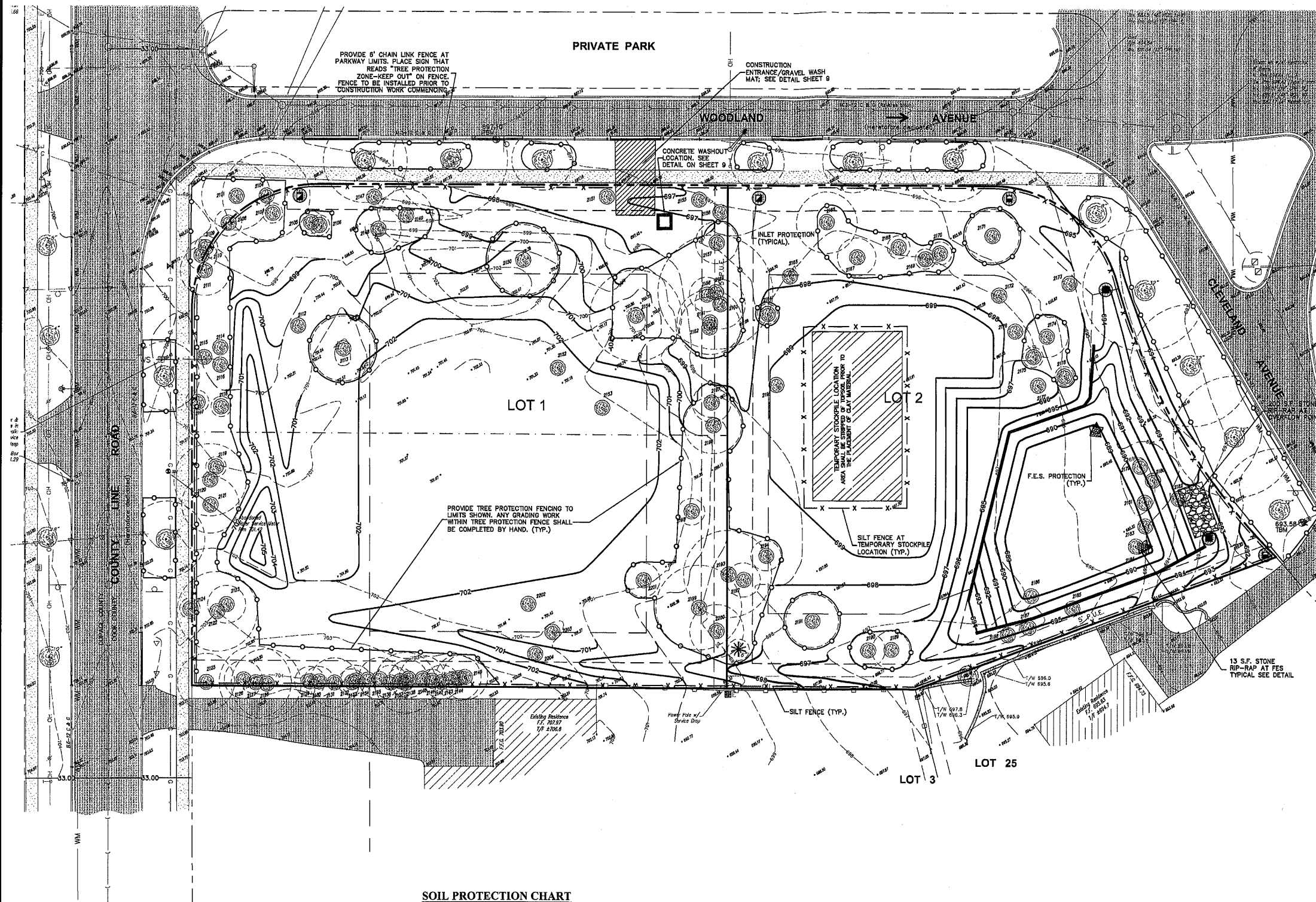
DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORMET DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION  
Project No.: 15-0015  
Scale: 1" = 20'  
Date: 05-11-15  
Design By: SDS  
Drafted By: NSM  
Checked By: SDS

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### SOIL PROTECTION CHART

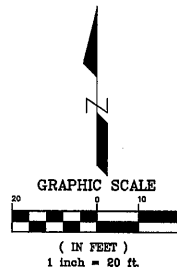
STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING		C				*	D					
SODDING			E									
MULCHING	F											

- A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC
- B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC
- C. SPRING OATS 100 LBS/AC
- D. WHEAT OR CEREAL RYE 150 LBS/AC
- E. SOD
- F. STRAW MULCH 2 TONS/AC

\* IRRIGATION NEEDED DURING JUNE AND JULY  
\*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

### LEGEND

- x — x — SILT FENCE
- o — o — TREE PROTECTION FENCE
- STORM STRUCTURE W/ FILTER BASKET AND INLET PROTECTION (I.E. FABRIC DROP, EXCAVATED DRAIN, ETC.)
- STORM STRUCTURE WITH FILTER FABRIC
- ⬇ CULVERT INLET PROTECTION (SEE DETAIL)
- ▨ ROCK RIPRAP (SEE DETAIL)
- ▦ EXISTING PAVEMENT, BUILDING STRUCTURE OR UTILITY TO BE REMOVED
- x TREE TO BE REMOVED



### EROSION CONTROL AND SEDIMENTATION NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS SWEPP MANUAL, LATEST EDITION, AND THE VILLAGE OF HINSDALE.
- THE APPLICANT AND/OR CONTRACTOR IS RESPONSIBLE FOR INSURING THE PERMIT IS OBTAINED AND POSTED ON SITE IN A PROMINENT LOCATION BEFORE COMMENCEMENT OF ANY WORK ON SITE AND SHALL CONTACT THE VILLAGE AT LEAST 2 WORKING DAYS BEFORE THE START OF CONSTRUCTION. INSTALLATION OF SEDIMENT AND EROSION MEASURES AND COMPLETION OF FINAL LANDSCAPING. IN ADDITION, THE VILLAGE SHALL BE PROVIDED WITH A COPY OF THE IEPA LETTER OF NOTIFICATION OF COVERAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 1/2-INCH OR MORE OF RAIN BY THE INDIVIDUAL RESPONSIBLE FOR THE SOIL EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE BUILDING DEPARTMENT SHALL BE PROVIDED WITH COPIES OF THE WEEKLY AND POST STORM INSPECTION FORMS ON A MONTHLY BASIS.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE ONLY AT PROPOSED STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON PLANS.
- ALL ADJACENT STREETS MUST BE KEPT CLEAR OF DEBRIS. STREET SWEEPING IS REQUIRED EVERY OTHER DAY AND AS NECESSARY. STREET SHEEPERS ARE REQUIRED. BOGCATS WITH SWEEPING MECHANISMS WILL NOT BE ALLOWED.
- TECHNIQUES SHALL BE EMPLOYED TO PREVENT THE BLOWING OF DUST OR SEDIMENT FROM THE SITE.
- SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THE ENGINEERING PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONTRIBUTING AREA IS STABILIZED. IN ADDITION TO SILT FENCE SHOWN ON THE SWPPP, SILT FENCE SHALL BE PROVIDED FOR AREAS DRAINING 200' AND GREATER IN ACCORDANCE WITH NRCS CODE 920.
- SCHEDULE OF CONTROL MEASURE IMPLEMENTATION:
  - CONSTRUCT THE APPLICABLE PORTIONS OF THE EROSION AND SEDIMENTATION CONTROLS PRIOR TO SITE CLEARING.
  - CONTROL SITE DEVELOPMENT IN ACCORDANCE WITH THE SPECIFICATIONS.
  - MAINTAIN INLET PROTECTION, CONSTRUCTION TRAFFIC SURFACES, CLEANING OF STORM STRUCTURES AND THE LIKE ON A REGULAR BASIS AFTER EACH HEAVY RAIN OR AS OTHERWISE REQUIRED.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

TOPSOIL STRIPPING	SUMMER	2015
ROUGH GRADING AND CONST.	SUMMER	2015
FINAL GRADING	FALL	2015
FINAL LANDSCAPING	FALL	2015
- THE ENTIRE SITE MUST BE STABILIZED, USING A HEAVY MULCH LAYER OR ANOTHER METHOD AT THE CLOSE OF THE CONSTRUCTION SEASON.
- DISTURBED AREAS WITHIN ALL PUBLIC R.O.W.'S SHALL BE RESTORED W/ 6" MIN. TOPSOIL & SOD. RESTORATION SHALL OCCUR IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, WEATHER PERMITTING. DISTURBED AREAS SHALL BE RESTORED WITH 4" TOPSOIL & SEED.
- STRAW BALES ARE NOT PERMITTED IN AREAS OF CONCENTRATED FLOW. ROCK CHECK DAMS SHALL BE USED IN THESE AREAS. TECHNIQUES THAT DIVERT UPLAND RUNOFF PAST DISTURBED SLOPES SHALL BE EMPLOYED.
- THE PROPOSED STORM WATER DETENTION AREA IS THE MAJOR AREA OF INUNDATION WITHIN THE SITE. POCKETS UPSTREAM OF THE BASIN SHALL BE GRADED IN SUCH A MANNER THAT THEY WILL FUNCTION AS SEDIMENTATION BASINS DURING THE SITE GRADING OPERATIONS. INITIAL WORK SHALL INCLUDE THE CONSTRUCTION OF THE EARTHEN BERMS WHICH CONTAIN THE RUN-OFF, AND THE INSTALLATION OF THE NECESSARY STORM STRUCTURES AND PIPES. SEE THE FINAL GRADING PLAN FOR ELEVATIONS.
- THE PROTECTION OF THE OPEN LID DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS SPECIFIED IN DETAILS. ALL OPEN LID DRAINAGE STRUCTURES LOCATED IN YARD AREAS AND THE SEDIMENTATION BASIN MUST BE PROTECTED PER INLET PROTECTION DETAILS UNTIL SUCH A TIME THAT THE LANDSCAPING IS IN PLACE AND EFFECTIVELY PREVENTING POTENTIAL SILTATION OF THESE STRUCTURES. ALL OPEN LID DRAINAGE STRUCTURES IN PAVED AREAS SHALL HAVE FILTER BASKETS INSTALLED UNDER THE LIDS. IN THE EVENT THE GRAVEL BASE IS NOT IN PLACE UPON INSTALLATION, INLET PROTECTION SHALL BE PROVIDED AS INDICATED PER INLET PROTECTION DETAIL.
- EROSION CONTROL BLANKET (ECB) SHALL BE INSTALLED TO ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 5H:1V AND IN CRITICAL AREAS (EX: DETENTION BASIN PERIMETERS, STREAMBANKS, BERMS, ETC.) IMMEDIATELY UPON FINAL GRADING. S175 NORTH AMERICAN GREEN (OR SIMILAR) ECB SHALL BE USED. ECB WITH GREEN DYE IS NOT ACCEPTABLE.
- SOIL STOCKPILES SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILES TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- DURING DEWATER OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE SWPPP AND A STAMPED AND SIGNED COPY OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL ON SITE AT ALL TIMES AND BE PRESENTED WHEN REQUESTED BY ANY AUTHORIZED AGENCY.
- AN INCIDENT OF NON-COMPLIANCE (ION) MUST BE COMPLETED AND SUBMITTED BY THE OWNER TO THE IEPA AND COPIED TO THE VILLAGE IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FAILS.
- SEE EROSION CONTROL DETAILS ON SHEET #9 OF 11.

NO.	DATE	DESCRIPTION	BY
1	06-01-15	PER VILLAGE REVIEW	SDS
2	06-01-15	PER VILLAGE REVIEW	SDS

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
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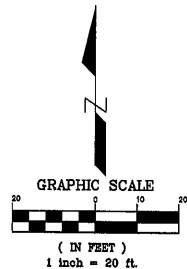
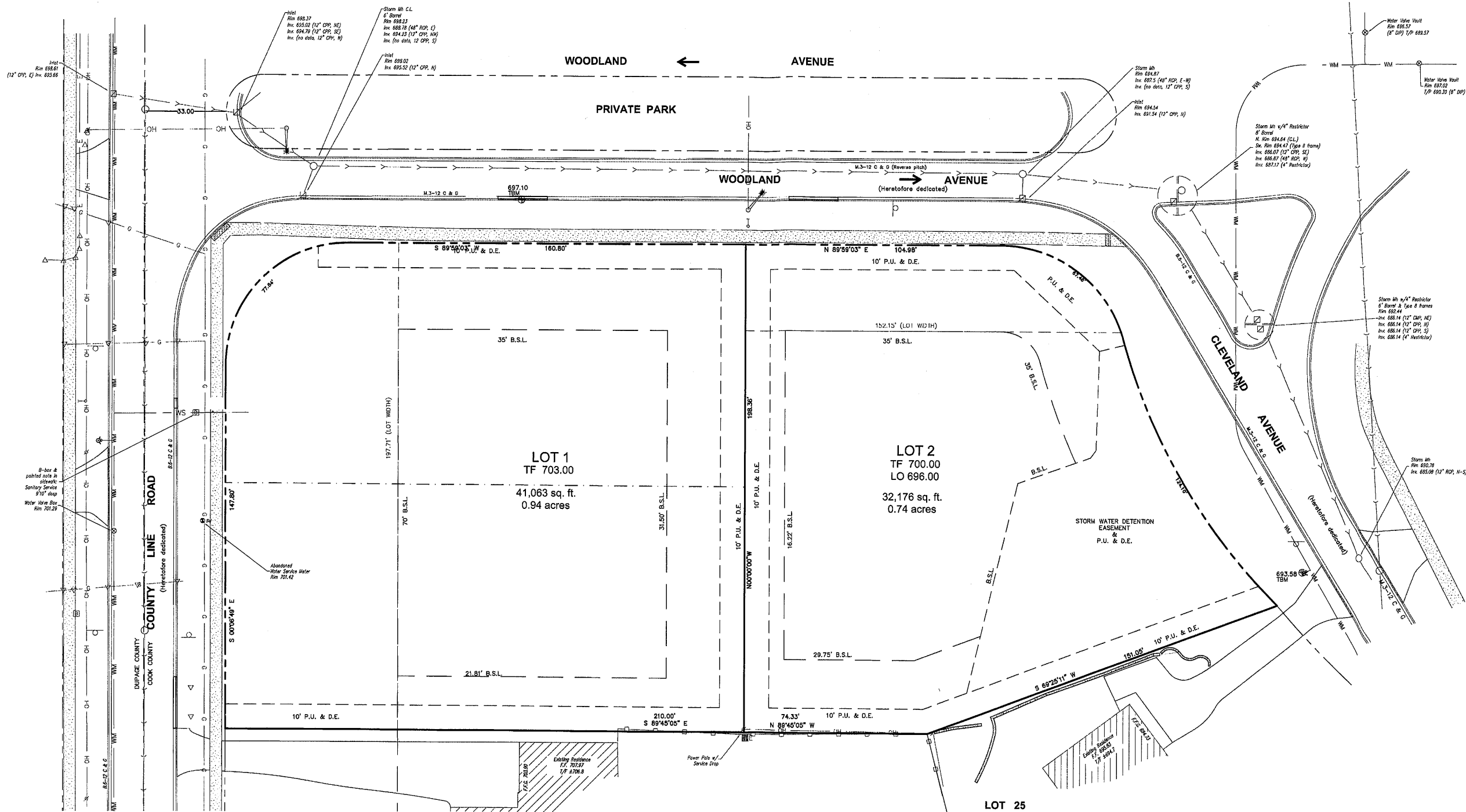
PROJECT INFORMATION  
Project No.: 15-0015  
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Date: 05-11-15  
Design By: SDS  
Drafted By: NSM  
Checked By: SDS

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OF  
11

REVIEW SET  
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EROSION CONTROL PLAN





REVIEW SET  
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
1	05-19-15	PER OWNER & OFFICE	NSM
2	08-01-15	PER VILLAGE REVIEW	SDS

McNAUGHTON DEVELOPMENT  
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FINAL ENGINEERING PLANS  
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HINSDALE, ILLINOIS

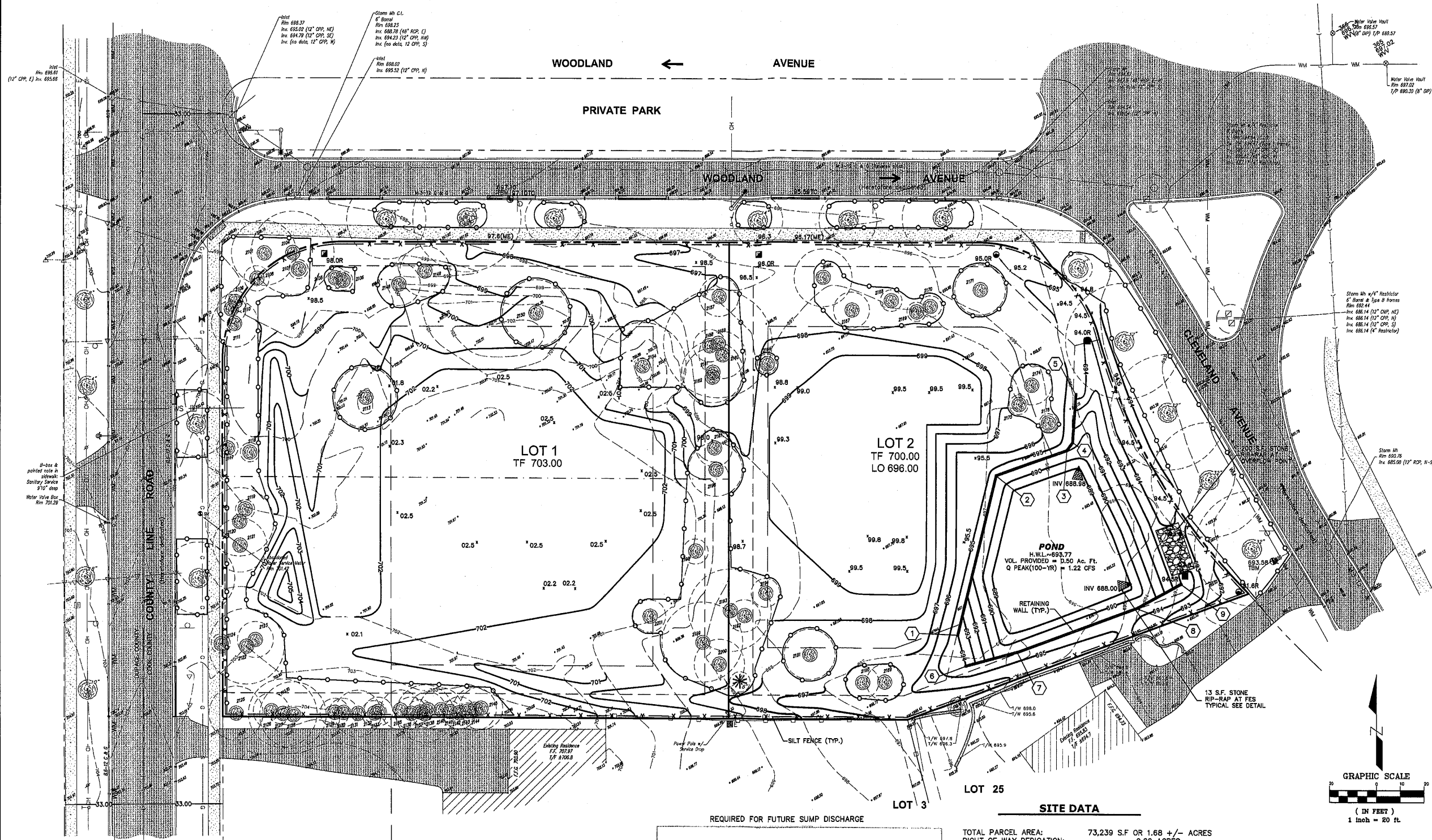
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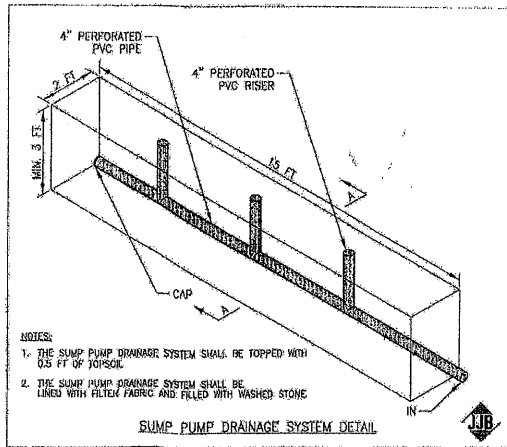
6  
OF  
11

SITE PLAN



#### RETAINING WALL #

- |                          |                          |
|--------------------------|--------------------------|
| 1 TW~694.00<br>BW~693.80 | 6 TW~694.00<br>BW~693.80 |
| 2 TW~694.00<br>BW~691.00 | 7 TW~694.00<br>BW~691.00 |
| 3 TW~694.00<br>BW~691.00 | 8 TW~694.00<br>BW~691.00 |
| 4 TW~694.00<br>BW~691.50 | 9 TW~694.00<br>BW~693.80 |
| 5 TW~694.00<br>BW~693.80 |                          |



#### SITE DATA

TOTAL PARCEL AREA: 73,239 S.F. OR 1.68 +/- ACRES  
RIGHT OF WAY DEDICATION: 0.00 ACRES  
PROPOSED LOT AREA: 1.68 ACRES

#### EXISTING IMPERVIOUS COVERAGE:

LOT #1 (WEST) IMPERVIOUS SURFACE: 13,210 S.F.  
LOT #2 (EAST) IMPERVIOUS SURFACE: 7,619 S.F.  
TOTAL EXISTING IMPERVIOUS: 20,829 S.F.

#### PROPOSED IMPERVIOUS COVERAGE:

LOT #1 (WEST) IMPERVIOUS SURFACE: 10,000 S.F.  
LOT #2 (EAST) IMPERVIOUS SURFACE: 10,000 S.F.  
TOTAL PROPOSED IMPERVIOUS: 20,000 S.F.

LOT 1 PROPOSED COVERAGE: 10,000 / 41,063 = 24.35%  
LOT 1 CHANGE IN IMPERVIOUS COVERAGE: -3,210 S.F.

LOT 2 PROPOSED COVERAGE: 10,000 / 32,176 = 31.08%  
LOT 2 CHANGE IN IMPERVIOUS COVERAGE: +2,381 S.F.

PCBMP VOL. REQ. (LOT 1) = 0 S.F. x (1.25"/12) = 0 C.F.  
PCBMP VOL. REQ. (LOT 2) = 0 S.F. x (1.25"/12) = 0 C.F.

PCBMP'S ARE NOT REQUIRED. NEW IMPERVIOUS IS EITHER REDUCED OR DOES NOT EXCEED 2,500 S.F. NEW IMPERVIOUS.

**STORM WATER STATEMENT:**  
I, SCOTT SCHREINER, AS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS HEREBY STATE THAT IN MY PROFESSIONAL OPINION, THE PROPOSED PLAN AS DESIGNED ON THE FOLLOWING SHEETS, MEETS THE MINIMUM REQUIREMENTS FOR STORM WATER MANAGEMENT IN ACCORDANCE WITH THE VILLAGE OF HINSDALE ORDINANCE IN EFFECT AT THE TIME THE PLAN WAS PREPARED.

REVIEW SET  
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2	06-04-15	PER VILLAGE REVIEW	SDS

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#### PROJECT INFORMATION

Project No.: 15-0015

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Design By: SDS

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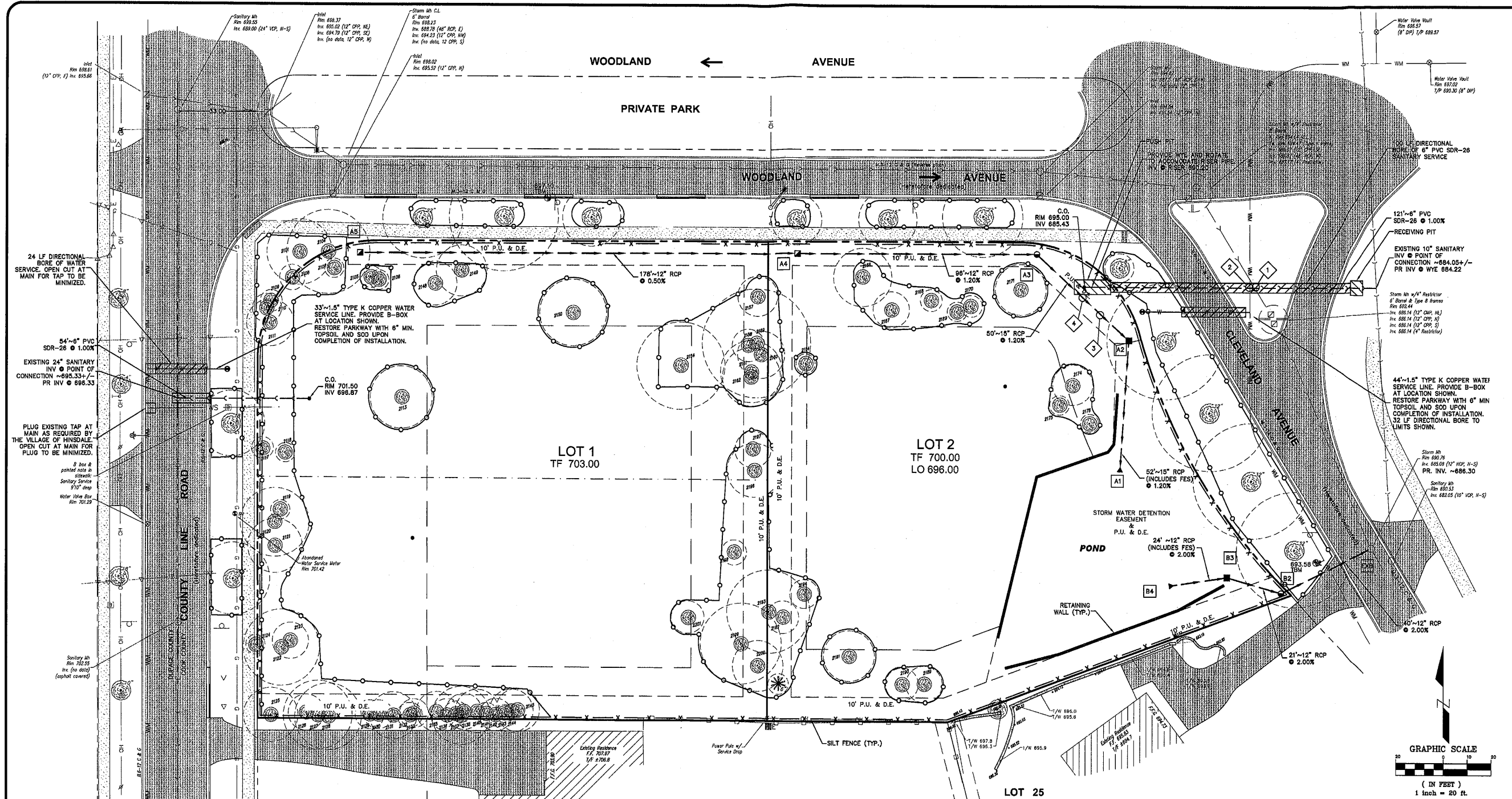
Checked By: SDS

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OF

11

GRADING PLAN

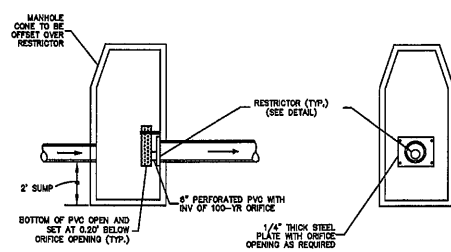


#### UTILITY SEPARATION INFORMATION

1. MAINTAIN 10' MINIMUM SEPARATION BETWEEN WATERMAIN AND STORM AND SANITARY SEWERS.
2. WHENEVER A STORM SEWER IS LOCATED ABOVE A WATERMAIN, THE WATERMAIN SHALL BE ENCASED 10' EITHER SIDE OF THE CROSSING OR AS AN ALTERNATE, THE STORM SEWER SHALL BE CONSTRUCTED WITH WATERMAIN QUALITY PIPE AND JOINTS 10' EITHER SIDE OF THE CROSSING.
3. WHENEVER A SANITARY SEWER IS LOCATED ABOVE A WATERMAIN, THE WATERMAIN SHALL BE ENCASED 10' EITHER SIDE OF THE CROSSING.
4. DEPTHS OF EXISTING WM ARE ASSUMED AND MUST BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.

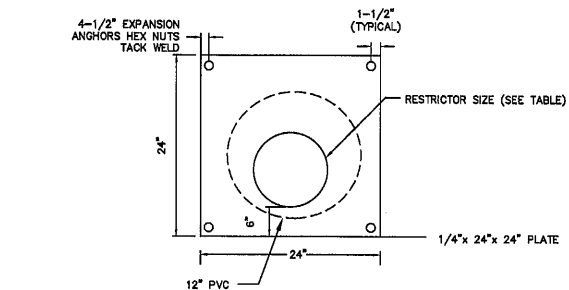
NUMBER	TOP OF SEWER	BOTTOM OF SEWER	TOP OF WATER	BOTTOM OF WATER	CROSSING INFO
1	684.70	685.93	---	---	SANITARY SERVICE UNDER STORM
2	685.44	---	---	686.20	WATER MAIN OVER SANITARY SERVICE
3	---	691.78	689.00	---	LOWER WATER SERVICE UNDER STORM (FUTURE)
4	691.00	691.71	---	---	STORM OVER SANITARY SERVICE (FUTURE)

#### FOR RESTRICTORS SMALLER THAN 6"Ø



#### MANHOLE OR CATCH BASIN WITH RESTRICTOR PLATES

- NOTES:
1. ORIFICE PLATES ARE TO BE CURVED TO CONFORM WITH WALL OF CATCH BASIN
  2. PROVIDE GASKET BEHIND PLATE AND CAULK PERIMETER FOR WATER-TIGHT SEAL.
  3. PROVIDE 3/8" ANCHORS AND BOLTS TACK WELDED TO ORIFICE PLATE. ANCHOR BOLTS ARE TO BE 3' LONG.
  4. RESTRICTORS MAY NOT BE INSTALLED IN FLARED END SECTION



#### RESTRICTOR TABLE

DRAINAGE POND	2-YR. DIA.	100-YR. DIA.	2-YR. INV.	100-YR. INV.
1.	N/A	1.50'Ø PLATE	N/A	686.20

#### STORM STRUCTURES

A1 15" FES W/GRATE RIM 688.98 INV 688.98	EXB EX. MANHOLE, C.L. RIM 690.76 INV 685.08 (12" N. & S.) INV 686.30 (SW-12" RCP)
A2 48" CATCHBASIN, O.L. RIM 694.00 INV 691.61 (NW-15" RCP) INV 689.61 (S-15" RCP)	B2 48" MANHOLE, O.L. RIM 691.60 INV 687.10 (NW & E-12" RCP)
A3 48" MANHOLE, O.L. RIM 695.00 INV 692.46 (W-12" RCP) INV 692.21 (SE-15" RCP)	B3 60" CATCHBASIN, C.L. W/1.50" DIA. HOLE IN RESTRICTOR PLATE RIM 694.50 INV 687.52 (W & SE-12" RCP) INV 687.52 (RESTRICTOR)
A4 24" INLET RIM 696.00 INV 693.61 (E & W-12" RCP)	B4 12" FES RIM 698.00 INV 694.50 (E-12" RCP)

#### WATER & SANITARY SERVICE NOTE:

WATER AND SANITARY SEWER SERVICE LINES MUST BE INSTALLED IN SEPARATE TRENCHES WITH A MINIMUM OF 10 FEET HORIZONTAL SEPARATION. ONLY IF NECESSARY FOR CONSTRUCTION REASONS AND HAVING BEEN APPROVED BY THE VILLAGE CAN THE WATER AND SEWER SERVICE LINES BE INSTALLED IN THE SAME TRENCH PROVIDED THAT THE WATER SERVICE IS PLACED ON A SOLID SHEL AT A MINIMUM OF 18 INCHES ABOVE THE SANITARY SEWER LINE.

NO.	DATE	DESCRIPTION	BY
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BURR RIDGE, ILLINOIS 60527  
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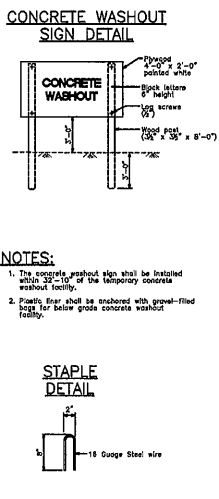
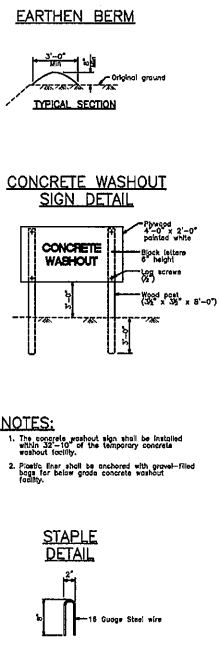
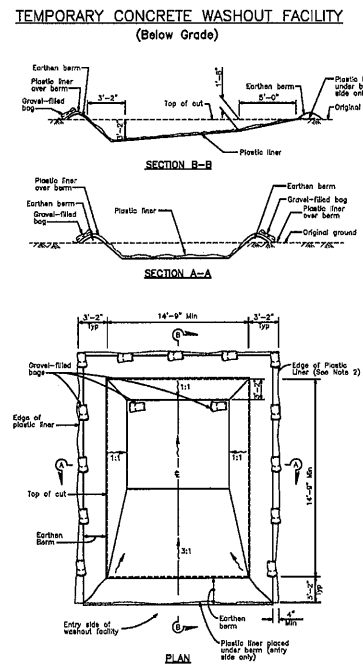
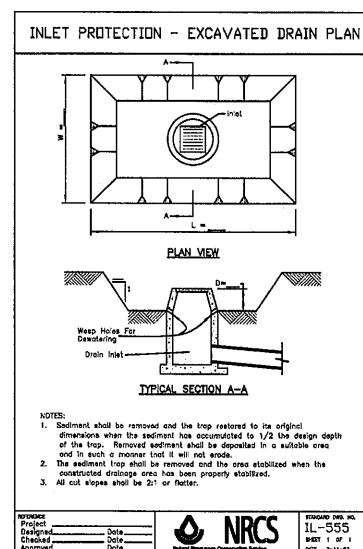
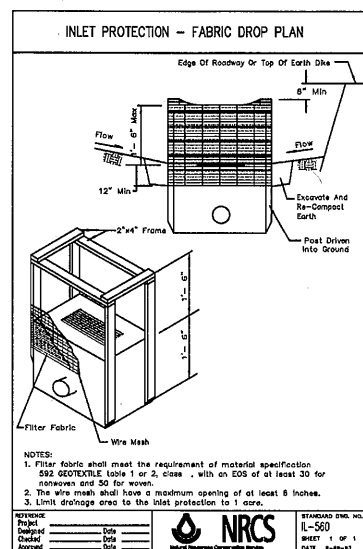
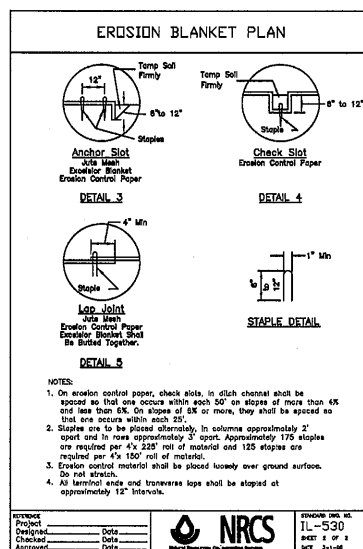
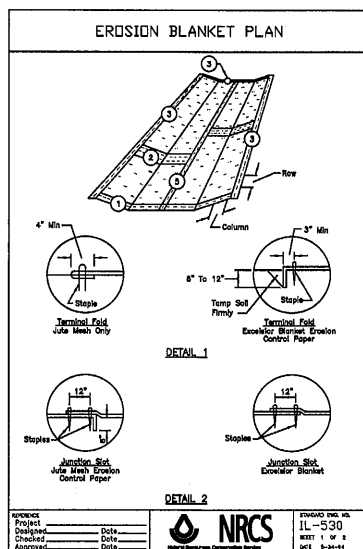
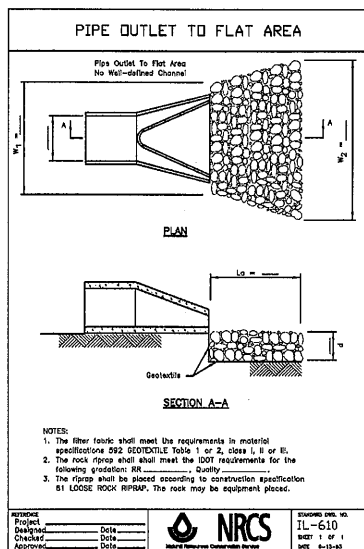
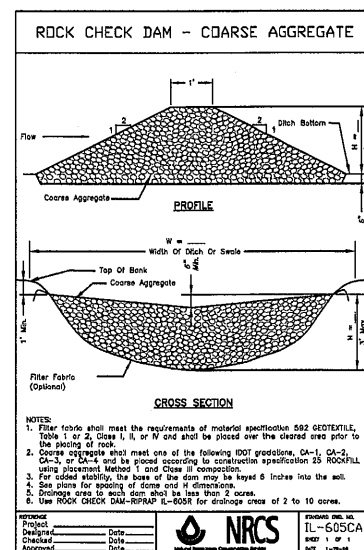
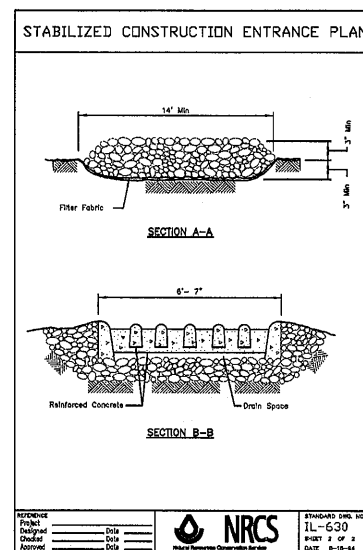
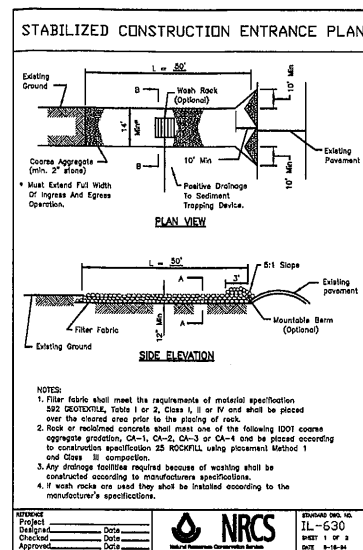
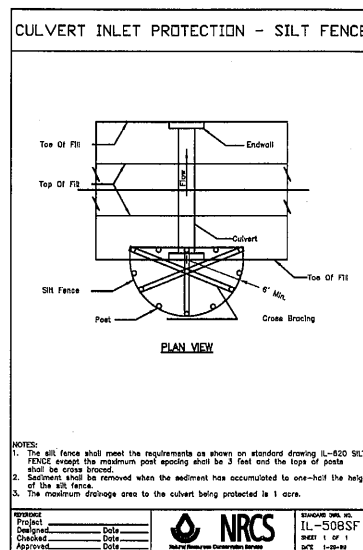
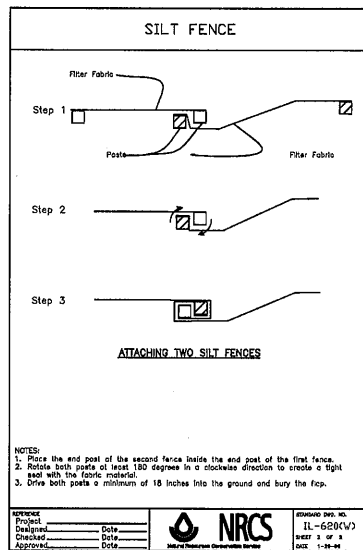
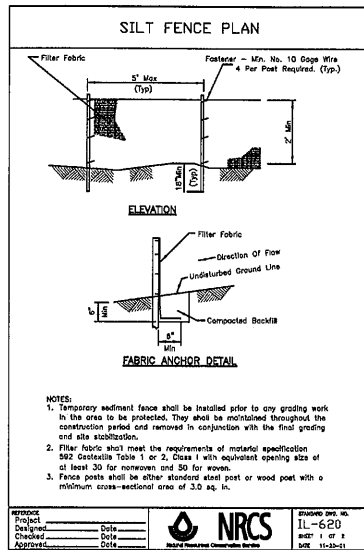
FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

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Scale: 1" = 20'
Date: 05-11-15
Design By: SDS
Drafted By: NSM
Checked By: SDS

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OF  
11



### SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING												
DORMANT SEEDING												
TEMPORARY SEEDING												
SODDING												
MULCHING												

**A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC**  
**B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + 2 TONS STRAW MULCH/AC**  
**C. SPRING OATS 100 LBS/AC**  
**D. WHEAT OR CEREAL RYE 150 LBS/AC**  
**E. SOD**  
**F. STRAW MULCH 2 TONS/AC**

\* IRRIGATION NEEDED DURING JUNE AND JULY  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

REVISIONS

NO.	DATE	DESCRIPTION
1	05-19-15	PER OWNER & OFFICE
2	06-04-15	PER VILLAGE REVIEW

McNAUGHTON DEVELOPMENT

11 S. 220 JACKSON ST., #101

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IL PROF. LIC. NO.: 184-003740

FINAL ENGINEERING PLANS

FOR

510 WOODLAND AVENUE

HINSDALE, ILLINOIS

PROJECT INFORMATION

Project No.: 15-0015

Scale: N/A

Date: 05-11-15

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Drafted By: NSM

Checked By: SDS

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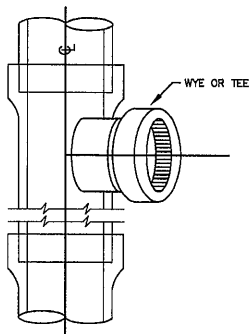
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## SANITARY SERVICE CONNECTION

NOT TO SCALE

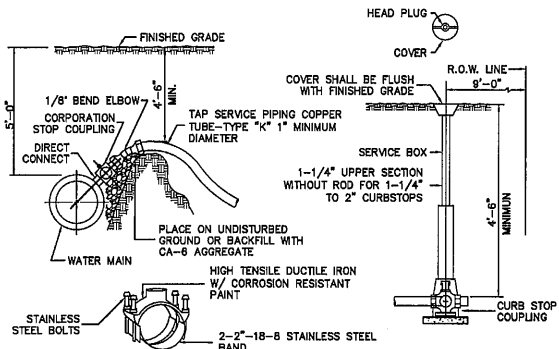


### NOTES:

- WHERE WYE & TEE ARE NOT PROVIDED, TAPPING SADDLES WILL BE REQUIRED.
- SERVICE STUBS SHALL BE PROVIDED WITH EITHER POLYESTER OR VITRIFIED CLAY STOPPER.

## WATER SERVICE CONNECTION

NOT TO SCALE



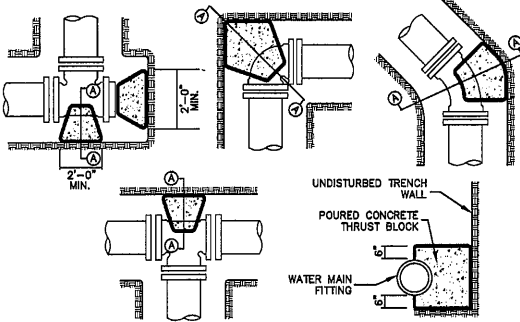
### NOTES:

- CORPORATION STOP IS TO BE FLARING TYPE (FORD F-800 OR MUELLER EQUAL).
- 1/8" BEND ELBOW- FEMALE FLARE TO COMPRESSION (FORD LA04-44 OR MUELLER EQUAL).
- CURB BOX IS ARCH PATTERN, WITH INTERIOR ROD FOR 1" UPPER SECTION ONLY, WHEN USING 1" CURB STOPS.
- CURB BOX IS ARCH PATTERN, WITHOUT ROD, WITH 1 1/2" UPPER SECTION IF FOR 1 1/2"-2" CURB STOP.
- CURB STOP IS WITH COMPRESSION COUPLINGS (FORD B44-444 FOR 1" CURB STOP OR MUELLER EQUAL).
- B-BOX CAP HAS 1" THREADED BRASS PENTAGON PLUG WITH THE WORD "WATER" IN RAISED LETTERS.
- SERVICE TAPS GREATER THAN 1" IN DIA. MUST HAVE STAINLESS STEEL BANDED DUCTILE IRON SADDLES (FORD 101S, 202S OR MUELLER EQUAL).
- CORPORATION STOPS SHALL BE INSTALLED A MINIMUM OF 18" FROM PIPE ENDS AND MULTIPLE INSTALLATIONS SHOULD BE STAGGERED AROUND THE MAIN BY 90" AND SEPARATED BY 18".
- ALL WATER SERVICES SHALL BE 1" DIAMETER UNLESS OTHERWISE NOTED.

## TYPICAL WATER MAIN THRUST BLOCKING

NOT TO SCALE

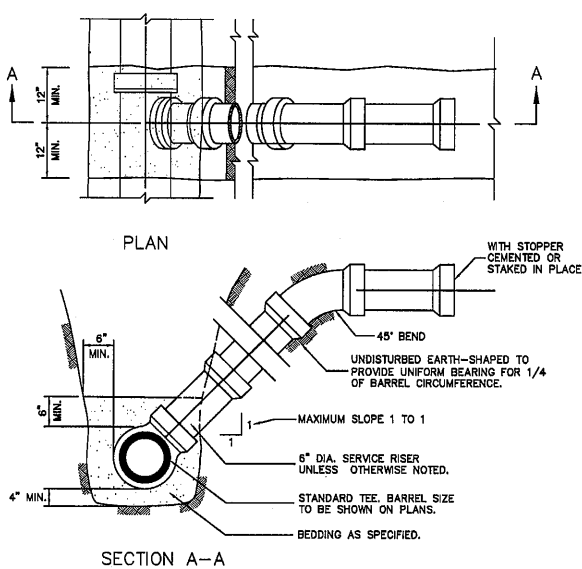
THRUST BLOCKING TO PREVENT MOVEMENT OF LINES UNDER PRESSURE AT BENDS (11 1/4 DEGREES OR MORE), TEES, CAPS, VALVES, HYDRANTS AND AT POINTS SPECIFIED BY THE ENGINEER SHALL BE CLASS "S" CONCRETE, MIN. 12" THICK, PLACED BETWEEN SOLID GROUND AND FITTINGS, AND SHALL BE ANCHORED IN SUCH A MANNER THAT PIPE AND FITTING WILL BE ACCESSIBLE FOR REPAIRS.



SECTION A-A

## SANITARY SERVICE RISER

NOT TO SCALE

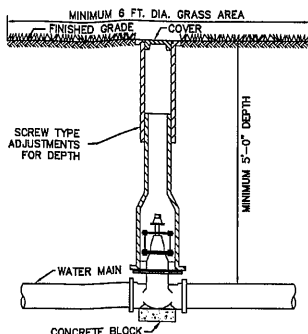


### NOTES:

- ALL OPEN PIPE ENDS SHALL BE PROTECTED WITH EITHER POLYESTER OR VITRIFIED CLAY COVER.
- MAXIMUM SLOPE SHALL BE LESS THAN 1 TO 1 WHEN IT IS NECESSARY TO SECURE BEDDING IN UNDISTURBED EARTH.
- STAKES SHALL BE USED IF NECESSARY TO HOLD LATERAL IN PLACE.
- WHEN A SERVICE CONNECTION REQUIRES TAPPING AN EXISTING MAIN, A SEWER SADDLE SHALL BE USED. CLOW TYPE "SEALITE" OR APPROVED EQUAL BANDS AND BOLTS MUST BE STAINLESS STEEL.

## VALVE BOX INSTALLATION

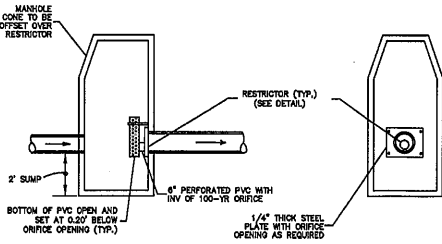
NOT TO SCALE



### NOTES:

- ALL VALVES IN PAVED AREAS OR VALVES CLOSER THAN 3' FROM A PAVED AREA SHALL BE VAULTED.
- VALVES LARGER THAN 6" SHALL BE VAULTED.

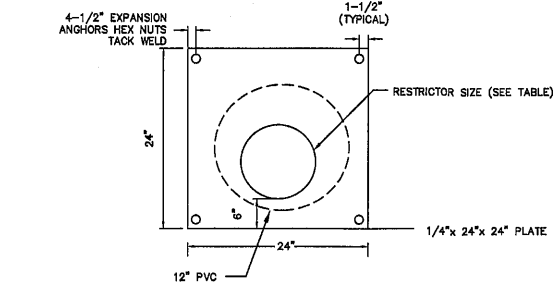
## FOR RESTRICTORS SMALLER THAN 6"Ø



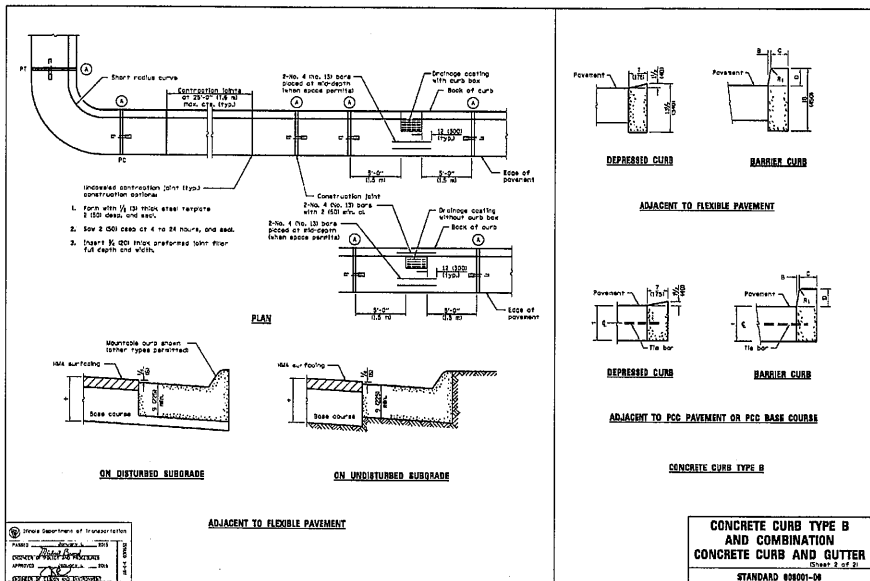
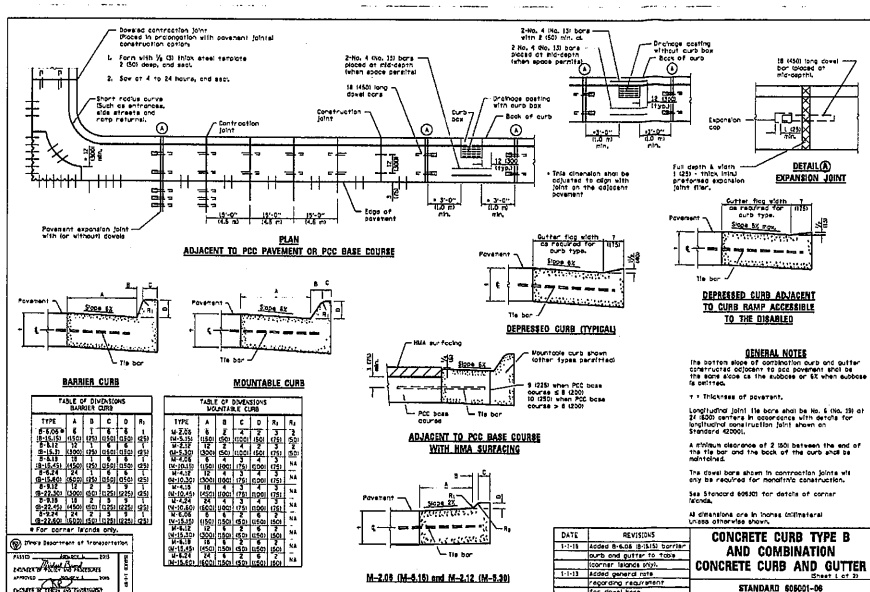
### MANHOLE OR CATCH BASIN WITH RESTRICTOR PLATES

#### NOTES:

- ORIFICE PLATES ARE TO BE CURVED TO CONFORM WITH WALL OF CATCH BASIN.
- PROVIDE GASKET BEHIND PLATE AND CAULK PERIMETER FOR WATER-TIGHT SEAL.
- PROVIDE 3/8" ANCHORS AND BOLTS TACK WELDED TO ORIFICE PLATE. ANCHOR BOLTS ARE TO BE 3" LONG.
- RESTRICTOR MAY NOT BE INSTALLED IN FLARED END SECTION.

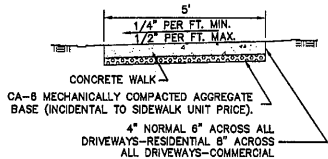


RESTRICTOR TABLE				
DRAINAGE POND	2-YR. DIA.	100-YR. DIA.	2-YR. INV.	100-YR. INV.
1.	N/A	1.50" Ø PLATE	N/A	686.20



## SIDEWALK

NOT TO SCALE

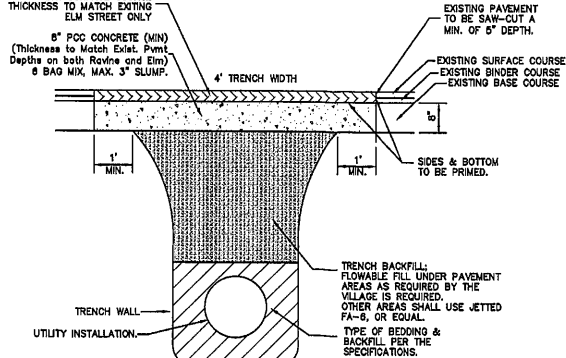


### NOTES:

- REMOVE ALL TOPSOIL. PLACE CONCRETE ON 2" (4" ACROSS DRIVEWAYS) COMPACTED CA-6 STONE.
- HIGH SIDE OF WALK TO BE SET 6" ABOVE THE TOP OF CURB UNLESS OTHERWISE NOTED.
- A CONTROL (CONTRACTION) JOINT SHALL BE TOoled AT 5' INTERVALS. EXPANSION JOINTS WITH 1/2" PREMOULDED EXPANSION JOINT MATERIAL SHALL BE SPACED AT 45' INTERVALS, AND AT 2.5' EITHER SIDE OF UTILITY STRUCTURE.
- SIDEWALK SHALL BE 6 INCHES THICK MIN. AT WHEEL CHAIR RAMPS.
- ALL WALKS SHALL BE PITCHED TO DRAIN WITH A MINIMUM 1/4" PER FOOT CROSS SLOPE, MAX. 1/2" PER FOOT.
- CONCRETE SHALL BE CLASS SI.
- PLACE 1/2" PREMOULDED EXPANSION JOINT MATERIAL ALONG EDGES ADJUTING PRIVATE CONCRETE DRIVES, SIDEWALKS OR CURBS.
- MAXIMUM LONGITUDINAL SLOPE IS 16:1 (6%).

## PAVEMENT REMOVAL & REPLACEMENT

NOT TO SCALE



NO.	DATE	REVISIONS
1	05-19-15	PER OWNER & OFFICE
2	05-04-15	PER VILLAGE REVIEW

McNAUGHTON DEVELOPMENT  
11 S. 220 JACKSON ST., #101  
BURR RIDGE, ILLINOIS 60527  
(630) 325-3400

FINAL ENGINEERING PLANS  
FOR  
510 WOODLAND AVENUE  
HINSDALE, ILLINOIS

DESIGNTEK ENGINEERING, INC.  
CONSULTING AND SITE DESIGN ENGINEERS  
9500 BORNEM DRIVE, SUITE 305  
MOKENA, ILLINOIS 60448  
(708) 326-4961  
IL PROF. LIC. NO.: 184-003740



PROJECT INFORMATION	
Project No.:	15-0015
Scale:	N/A
Date:	05-11-15
Design By:	SDS
Drafted By:	NSM
Checked By:	SDS

11  
OF  
11

REVIEW SET  
NOT FOR CONSTRUCTION

DETAILS - 3