



MEETING AGENDA

Due to the ongoing public health emergency related to COVID-19 and consistent with the Governor Pritzker's most recent emergency declaration, Executive Orders entered by the Governor, and the recent amendments made to the Open Meetings Act in Public Act 101-640, the Village President has determined that an in-person meeting is not practical or prudent at this time, and this meeting will therefore be conducted electronically via Zoom.

Public comments are welcome on any topic related to the business of the Plan Commission at Regular and Special Meetings when received by email or in writing by the Village Clerk prior to 4:30 p.m. on the day of the meeting. Emailed comments may be sent to Village Clerk Christine Bruton at cbruton@villageofhinsdale.org. Written comments may be submitted to the attention of the Village Clerk at 19 E. Chicago Avenue, Hinsdale, Illinois 60521. While emailed or written comments are encouraged, **public comment may also be made using Zoom** following the instructions below:

To join from a computer or a mobile device (PC, Mac, Linux, iPad, iPhone, Android), click on the following link or copy and paste the link into your browser:

<https://zoom.us/j/94384847840?pwd=SmV0NG5FRXd2V3Q1L1IES0ZTbjgwdz09>

Webinar ID: 943 8484 7840

Passcode: 159518

To join by phone, call one of the following phone numbers: 1 312 626 6799 or 1 301 715 8592 or 1 929 205 6099 or 1 346 248 7799 or 1 669 900 6833 or 1 253 215 8782

Webinar ID: 943 8484 7840

Passcode: 159518

MEETING OF THE HISTORIC PRESERVATION COMMISSION

Wednesday, May 5, 2021

6:30 P.M.

This meeting will be conducted electronically. A live audio stream of the meeting will be available to the public via Channel 6 or on the Village website

(Tentative and Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES – February 3, 2021 Historic Preservation Meeting

4. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-01-2021 – 13 S. Elm Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District and to Construct a New Single-Family Home

5. SIGN PERMIT REVIEW

- a) Case A-03-2021 – 29 E. 1st Street – Egg Harbor Cafe – Installation of One (1) Wall Sign
- b) Case A-06-2021 – 34 E. Hinsdale Avenue – Bake Homemade Pizza – Installation of One (1) Wall Sign
- c) Case A-07-2021 – 10 E. 1st Street – Expression Gallery of Final Art – Installation of One (1) Wall Sign
- d) Case A-09-2021 – 48 S. Washington Street Unit 2 – Meredith Jay – Installation of One (1) Wall Sign

6. PUBLIC MEETING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-02-2021 – 419 S. Oak Street – Application for a Certificate of Appropriateness to Allow for Changes to the Elevations of a New Single-Family Home in the Robbins Park Historic District
- b) Case HPC-03-2021 – 448 E. 6th Street – Application for a Certificate of Appropriateness to Allow for Changes to the Elevations of a New Single-Family Home in the Robbins Park Historic District

7. PUBLIC COMMENT

8. NEW BUSINESS

9. ADJOURNMENT

Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons.

Web Site: www.villageofhinsdale.org

**MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION**

February 3, 2021

**Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale
6:30 P.M.**

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on February 3, 2021, conducted electronically, with a live audio stream of the meeting available to the public via Channel 6 and on the Village website.

Present: Chairman Bohnen, Commissioner Braden, Commissioner Weinberger, Commissioner Gonzalez, Commissioner Barclay, and Commissioner Haarlow, Commissioner Prisby

Absent: None

Also Present: Robb McGinnis - Director of Community Development, Nathan Parch - Interim Planner, and Mike Yurchak - Owner of The Fruit Store

Minutes – January 6, 2021

Chairman Bohnen introduced the minutes from the January 6, 2021, meeting and asked for any comments. With no comments or changes, the HPC **unanimously approved** the minutes for the January 6, 2021, HPC meeting, 7-0, (0 absent).

Discussion Items

- a) Downtown Signage - Discussion took place about the commission's plan from April 2019 to develop a more comprehensive approach to signage, relating signage to the architectural elements of the town. Commissioner Prisby will continue to work a document to share educational materials that can be used to make changes. The document will utilize a model from Salt Lake City, Utah and incorporate types of signs, photos and specific examples from Hinsdale. Commissioner Prisby requested 2-3 weeks to complete the document & circulate the materials to the committee. The discussion item was tabled until the document was ready to share with the group.
- b) Overlay District in CBD – Discussion took place about the need to protect the downtown district by re-drawing the historic downtown map to include the First St/Garfield Building and The Fruit Store or creating an overlay district. Historical background was provided to the committee about these two locations and how the current map came to be. It was stated that whichever method chosen should be effective and easily administered.
- c) Robbins Park Signage – Robb McGinnis confirmed \$10,000 was in this year's budget. Chairman Bohnen asked if it would be possible to purchase the Robbins Park Street Sign Toppers at this time for an estimated cost of around \$3,000 and have the Public Services Department install the signs. Chairman Bohnen stated an updated cost would need to be confirmed. Robb McGinnis will look into how soon funds would be made available for the HPC to move forward with the purchase of the street sign toppers.

Discussion moved to the red-lined sign ordinance provided to the committee by Robb McGinnis and the status of abandoned and temporary signs in the downtown district, staff is currently addressing the concerns the HPC had with these signs. The need for removal of brackets when signs are removed was brought up. Robb McGinnis will check the sign code relating to this issue. The committee expressed concerns about the number of signs allowed on job sites, the size of the sign, the length of time the sign is displayed and the need for consistency on this matter. Robb McGinnis will keep the HPC updated on the red-lined ordinance presented to the Village Board by the Village Attorney.

- d) **Title 14 Status** – Commissioner Prisby requested an update on Title 14. Nathan Parch stated the Village Board was working on incentives to include financial assistance, expedited processing of approvals, and zoning relief as well as demolition delays. A “decision making” matrix is being developed to be used by the Village as a tool to evaluate financial impacts and provide an opportunity to incorporate staff insight. At the request of Commissioner Braden, the draft text amendment will be forwarded to HPC. Chairman Bohnen asked what a realistic time line might be. Robb McGinnis stated it is desired a referral be made to the Plan Commission in the next 30-60 days and four to six months for the entire process to be complete.

It was confirmed at that the potential overlay discussed earlier in the meeting must also go through a public hearing process.

Positive comments were shared about the pass thru between the parking garage and the CBD included in the HPC packet.

Work on the revisions to the Robbins historic district map will continue by various committee members.

It was reported that no remnants of the digital map discussed at past meetings have been located at Village Hall.

The idea of working with the Economic Development Committee to purchase and install the CBD street sign toppers was suggested. It was also noted the way finding signs that are showing their age could also be replaced as part of the CBD street sign topper project.

Public Comment – Mike Yurchak, owner of The Fruit Store, explained his desire for The Fruit Store to remain excluded from the historic district based on concerns related to limitations of future renovations, property value and potential re-sale issues.

New Business – Chairman Bohnen asked if any committee members had any new business items to share. Hearing none, the Chairman requested a motion to adjourn the meeting.

Adjournment – The HPC unanimously agreed to adjourn at 7:48PM on February 3, 2021.

Respectfully Submitted,
Jennifer Spires, Community Development Office



MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-01-2021 – 13 S. Elm Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District and to Construct a New Single-Family Home

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received an application from Greenside Design Build / BFC Holdings (builder / owner), requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District and to construct a new house. The project architect is listed as Schwartz Lewis Architects.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a Certificate of Appropriateness.

Request and Analysis

The existing home located at 13 S. Elm Street is a split level home constructed in the 1960s and is classified as a non-contributing structure in the Robbins Park Historic District according to the National Register of Historic Places. The applicant requests the right to obtain a demolition permit and to construct a new code-compliant single family house.

The subject property is located in the R-4 Single Family Residential District and is surrounded by single-family homes to the north, south, east and west in the R-4 Single Family Residential District. The existing home is constructed on two non-conforming parcels. The applicant has submitted a plat of consolidation for the two parcels to the Village for administrative approval in accordance with Section 11-1-4 of the Village Code. After consolidation, the 11,767.5 square foot lot will comply with the bulk requirements for the R-4 District. Approval of the Certificate of Appropriateness and a building permit will be contingent upon the lot consolidation.

The proposed 3,439 square foot, two-story single family house will primarily be constructed of brick and black ship lap siding. The house features a covered front porch, shed dormers, and a detached garage. The applicant has submitted a site plan, colored front elevation, black and white elevations of all sides of the proposed single-family home, and photos of the neighboring properties for review.



MEMORANDUM

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a certificate of appropriateness. The final decision of the Historic Preservation Commission shall be advisory only.

Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2, which are attached for review.

Attachments:

1. Application for Certificate of Appropriateness and Exhibits
2. Zoning Map and Project Location
3. Aerial View – 13 S. Elm Street
4. Birds Eye View – 13 S. Elm Street
5. Robbins Park Historic District Map
6. National Register of Historic Places Sheet
7. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2

RECEIVED

MAR 25 2021

VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 13 S. ELST.
Property Identification Number: 09-12-204-003 / 09-12-204-002

I. GENERAL INFORMATION

- Applicants Name: FRENSIDE DESIGN BUILD / BFC HOLDINGS
Address: 1320 S. MADISON SUITE 300
WILLOWBROOK IL 60527
Telephone Number: 630 913 1385
- Owner of Record (if different from applicant): SAME
Address: _____
Telephone Number: _____
- Others involved in project (include, name, address and telephone number):
Architect: SCHWABZ LEWIS ARCHITECTS 630-537-1416
1550 SPRING RD, SUITE 100 OAK BROOK, IL 60523
Attorney: _____
Builder: SAME AS APPLICANT/OWNER
Engineer: ENGINEERING RESOURCE ASSOCIATES

II. SITE INFORMATION

- Describe the existing conditions of the property: EXISTING SPLIT LEVEL
- Property Designation:
Listed on the National Register of Historic Places? _____ YES X NO
Listed as a Local Designated Landmark? _____ YES X NO
Located in a Designated Historic District? X YES _____ NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

DEMOLITION & CONSTRUCTION OF NEW SFR

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No _____ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Signature of Applicant


Signature of Applicant

☒ CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

☒ PARTNERSHIP



Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

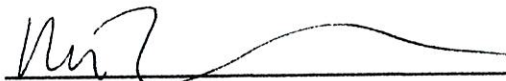
OTHER

Signature

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 2nd day of

MARCH, 2021.



Notary Public



5. TABLE OF COMPLIANCE

Address of subject property: 13 S. ELM ST HANSDALE, IL

*The following table is based on the RL4 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	10,000	11,731	11,762.5
Lot Depth	125'	130.55'	130.55'
Lot Width	70'	89.80	89.80
Building Height	30' AVE GRADE TO MEAN		28
Number of Stories	3	2	3
Front Yard Setback	25.31' AVE BLOCK	20.51	35.62'
Corner Side Yard Setback	N/A	N/A	N/A
Interior Side Yard Setback	10' MIN ; 17' MIN	7.87	11.5 ; 27.42'
Rear Yard Setback	25'	25'	42.06
Maximum Floor Area Ratio (F.A.R.)*	4,024.2	EST. 2900 SF	4,0198.8 SF
Maximum Total Building Coverage*	25% - 2941.8	17.39%	23.7% - 2797.7
Maximum Total Lot Coverage*	50% - 5883.75	28.34%	45.1% - 5,318 SF
Parking Requirements			
Parking front yard setback			
Parking corner side yard setback			
Parking interior side yard setback			
Parking rear yard setback			
Loading Requirements			
Accessory Structure Information	10%	0%	4.54%

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

Photo List

1	13 S Elm St	West Facing
2	13 S Elm St	South Facing
3	13 S Elm St	East Facing
4	13 S Elm St	North Facing
5	304 Chicago Ave	Neighbor to the North
6	21 S Elm St	Neighbor to the South
7	10 S Elm St	Neighbor Across the Street to the North
8	14 S Elm St	Neighbor Across the Street
9	18 S Elm St	Neighbor Across the Street to the South
10	Map of 13 S Elm St and Adjacent Structures	

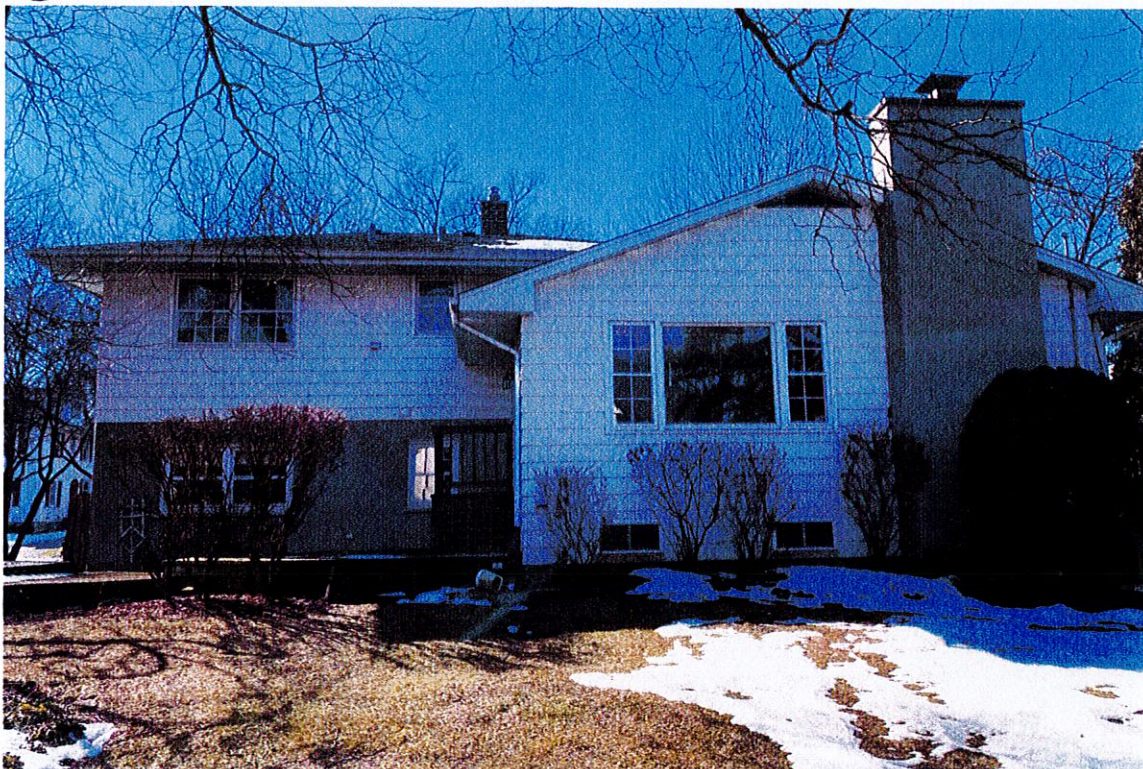
① 13 S. ELM WEST FACING



② 13 S. ELM SOUTH FACING



③ 13 S. ELM EAST FACIN



④ 13 S. ELM NORTH FACIN



(5) 304 CHICAGO - NEIGHBOR TO THE NORTH (WEST FACINE)



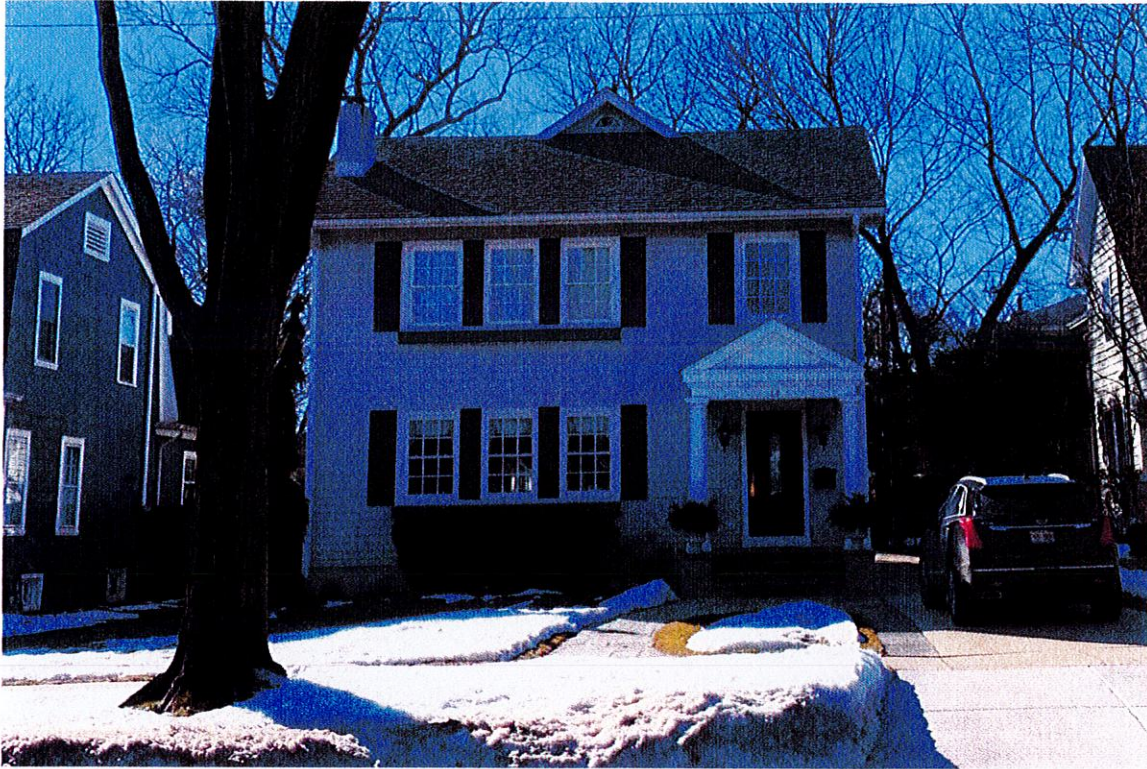
(6) 21 S. ELM - NEIGHBOR TO THE SOUTH (WEST FACINE)



⑦ 10 S. ELM - NEIGHBOR ACROSS THE STREET - NORTH
(EAST FACING)



⑧ 14 S ELM - NEIGHBOR ACROSS THE STREET (EAST FACADE)



⑨ 18 S. ELM NEIGHBOR ACROSS THE STREET TO THE SOUTH (EAST FACADE)



30 Ave

Chicago Ave

Chicago Ave

Chicago Ave

S Elm St

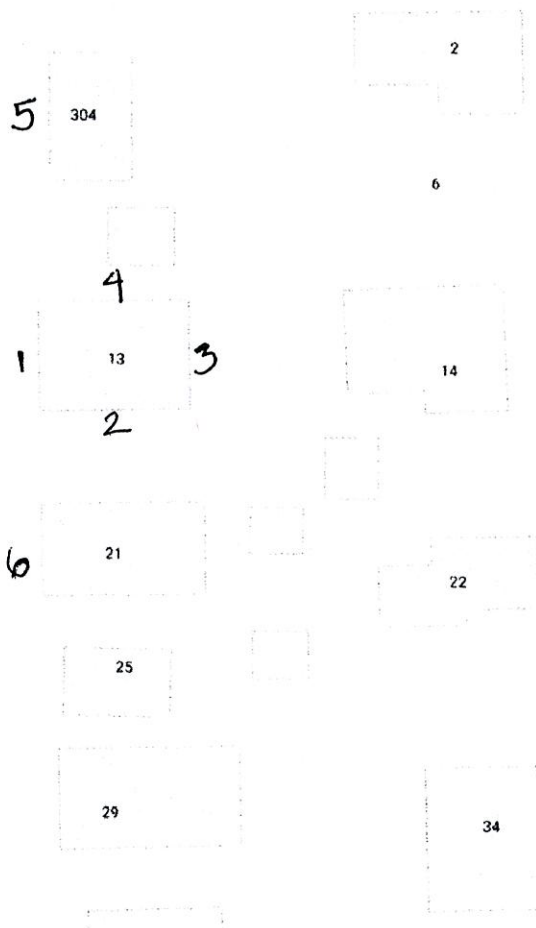
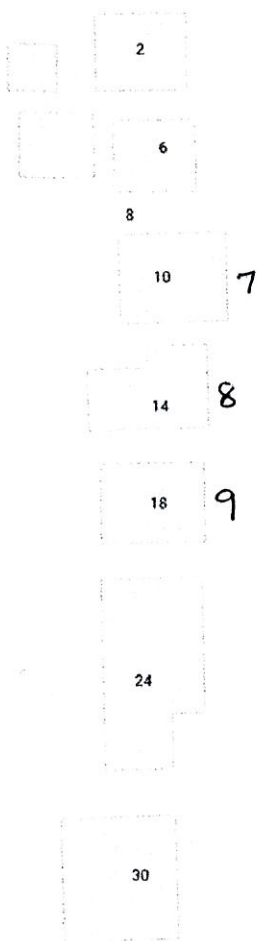
S Elm St

S Elm St

Orchard Pl

Orchard Pl

Orchard Pl



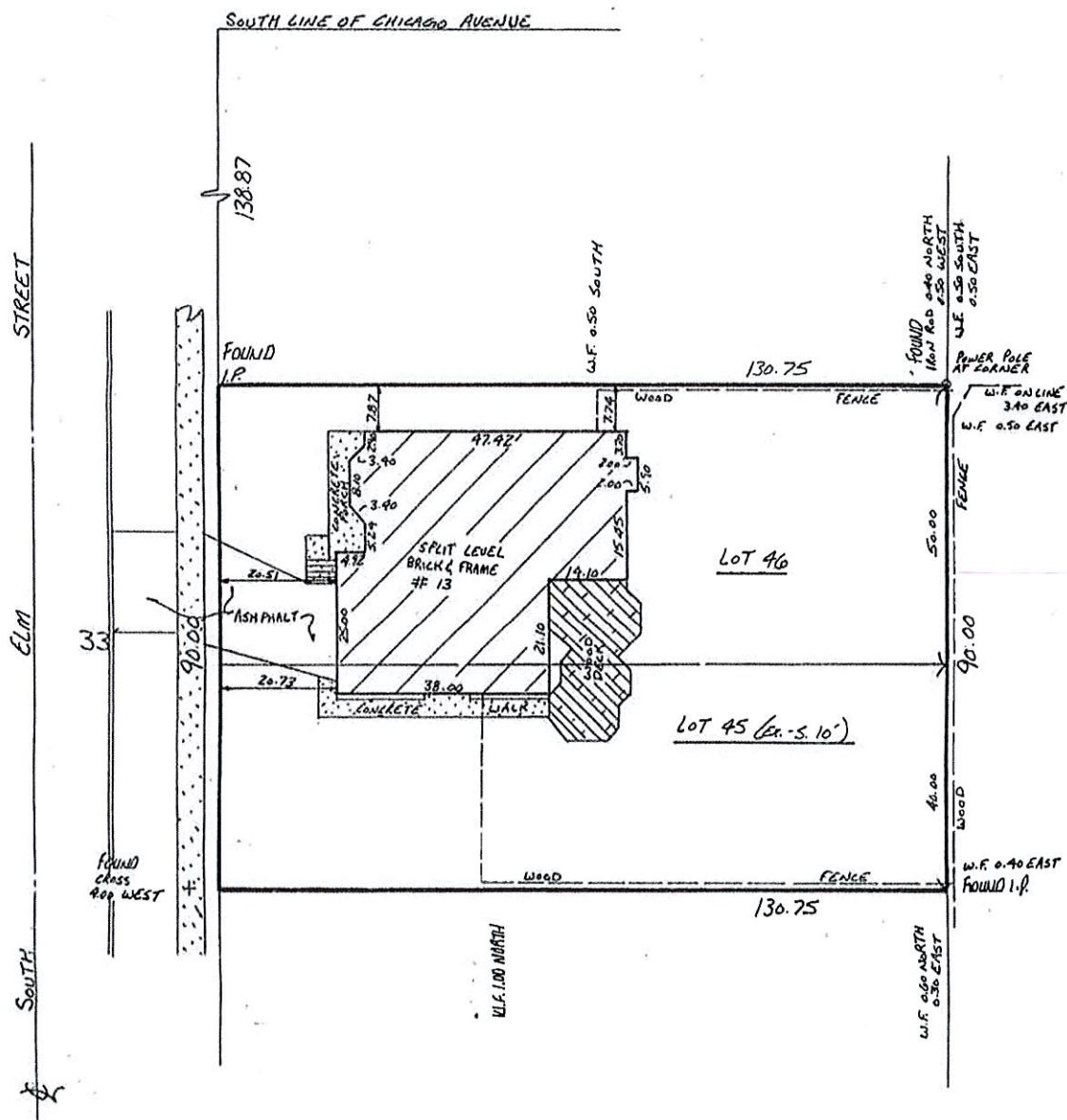
SCHOMIG LAND SURVEYORS, LTD.

1915 East 31st Street
LaGrange Park, Illinois 60525
Office (708) 352-1452
Fax (708) 352-1454

Plat of Survey

LOT 45 (EXCEPT THE SOUTH 10 FEET THEREOF) AND ALL OF LOT 46 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF ROBBINS'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DU PAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 13 SOUTH ELM STREET



COMPARE LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCY IMMEDIATELY. A TITLE COMMITMENT WAS NOT FURNISHED FOR USE IN PREPARATION OF THIS SURVEY. IF A TITLE COMMITMENT WAS NOT FURNISHED, THERE MAY BE EASEMENTS, BUILDING LINES OR OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT. THIS PLAT DOES NOT SHOW BUILDING RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES. LOCAL AUTHORITIES MUST BE CONSULTED REGARDING ANY RESTRICTIONS. DO NOT SCALE DIMENSIONS FROM THIS PLAT. NO EXTRAPOLATIONS SHOULD BE MADE FROM THE INFORMATION SHOWN WITHOUT PERMISSION OF SCHOMIG LAND SURVEYORS, LTD. THIS PLAT IS NOT TRANSFERABLE. ONLY PRINTS WITH AN EMBOSSED SEAL ARE OFFICIAL COPIES.

STATE OF ILLINOIS)
COUNTY OF COOK) ss.

WE, SCHOMIG LAND SURVEYORS, LTD. AS ILLINOIS LICENSED PROFESSIONAL LAND SURVEYORS, HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED IN THE CAPTION TO THE PLAT HEREON DRAWN AND THAT THE SAID PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE SAME.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT AND ARE CORRECT AT A TEMPERATURE OF 68 DEGREES FAHRENHEIT. DIMENSIONS SHOWN ON BUILDINGS ARE TO THE OUTSIDE OF BUILDINGS.

I.P. • IRON PIPE
C.L.F. • CHAIN LINK FENCE
D.E. • DRAINAGE EASEMENT
W.F. • WOOD FENCE
P.U.E. • PUBLIC UTILITY EASEMENT
B.L. • BUILDING LINE

Russell W. Schenck
PROFESSIONAL ILLINOIS LAND SURVEYOR

SURVEYED: JULY 31, 1996

BUILDING LOCATED: JULY 31, 1996

ORDERED BY: Robert J. Oexeman

Attorney .

LAT NUMBER: 91NP19

SCALE 1" = 20



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: BFC Holdings / GREENSIDE DESIGN BUILD

Owner's name (if different): _____

Property address: 13 S Elm St.

Property legal description: [attach to this form]

Present zoning classification: R-4, Single Family Residential

Square footage of property: 11,767.5 sf

Lot area per dwelling: _____

Lot dimensions: 89' x 130'

Current use of property: single family

Proposed use: ☒ Single-family detached dwelling
☐ Other: _____

Approval sought: ☒ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☐ Site Plan ☐ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

Demolition and construction of a new single family residence

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>36.10'</u>	<u>35'</u>
interior side(s)	<u>12.0' / 27.4'</u>	<u>10' / 17'</u>

Provided:

Required by Code:

corner side	<u>n/a</u>	<u>n/a</u>
rear	<u>42.06'</u>	<u>25'</u>

Setbacks (businesses and offices):

front:	<u>n/a</u>	<u>n/a</u>
interior side(s)	<u>n/a / n/a</u>	<u>n/a / n/a</u>
corner side	<u>n/a</u>	<u>n/a</u>
rear	<u>n/a</u>	<u>n/a</u>
others:	<u>n/a</u>	<u>n/a</u>
Ogden Ave. Center:	<u>n/a</u>	<u>n/a</u>
York Rd. Center:	<u>n/a</u>	<u>n/a</u>
Forest Preserve:	<u>n/a</u>	<u>n/a</u>

Building heights:

principal building(s):	<u>28.33'</u>	<u>30'</u>
accessory building(s):	<u>14.72'</u>	<u>15'</u>

Maximum Elevations:

principal building(s):	<u>35.31'</u>	<u>35.5'</u>
accessory building(s):	<u>18.16'</u>	<u>n/a</u>

Dwelling unit size(s):	<u>n/a</u>	<u>n/a</u>
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Total building coverage:	<u>2,476.02sf</u>	<u>2,941.87sf</u>
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Total lot coverage:	<u>5,318 sf</u>	<u>5,883.75sf</u>
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Floor area ratio:	<u>4,021.89sf</u>	<u>4,024.2sf</u>
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Accessory building(s):	<u>Detached 2-car garage</u>
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Spacing between buildings: [depict on attached plans]

principal building(s):	<u>n/a</u>	<u>n/a</u>	<u> </u>
accessory building(s):	<u>16.07'</u>	<u>10.0'</u>	<u> </u>

Number of off-street parking spaces required: n/a

Number of loading spaces required: n/a

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By: 
Applicant's signature

CORASSIDE DESIGN BUILD
Applicant's printed name

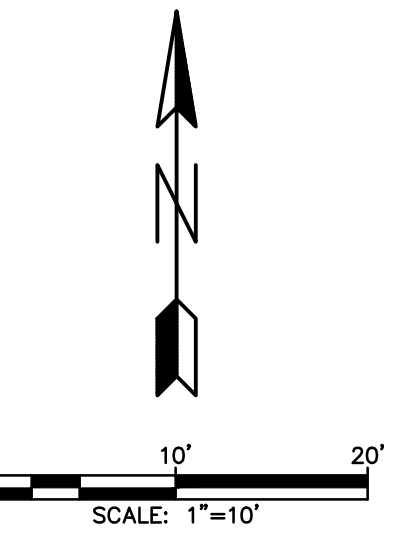
Dated: January 27, 2021.

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 45 (EXCEPT THE SOUTH 10 FEET THEREOF) AND ALL OF LOT 46 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-204-003 & 09-12-204-002

COMMONLY KNOWN AS: 13 S. ELM STREET, HINSDALE, ILLINOIS



61L.F. - 1-1/2" TYPE 'K' COPPER WATER SERVICE LINE PER FROM HOUSE TO THE MAIN. PROVIDE B-BOX IN AN UNPAVED AREA OF ROW. OPEN CUT THE ROAD TO INSTALL WATER SERVICE. TRENCH BACKFILL UNDER AND 2' BEYOND ALL IMPERVIOUS AREAS. REMOVE AND REPLACE DAMAGED SIDEWALK, CURB AND GUTTER. MATCH EXISTING PLAN AND PROFILE. REPAIR PARKWAY W/6" TOPSOIL AND SOD. MAINTAIN A MINIMUM OF 10' HORIZONTAL CLEARANCE BETWEEN THE WATER SERVICE AND SANITARY SERVICE PER EPA REQUIREMENTS.

REMOVE AND REPLACE PUBLIC SIDEWALK THROUGH DRIVEWAY W/6" P.C.C. PER VILLAGE STANDARDS. MATCH EXISTING GRADES ON BOTH SIDES OF DISTURBANCE. CROSS SLOPE SHALL NOT EXCEED 2.0% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5.0% PER ADA REQUIREMENTS.

REMOVE AND REPLACE BARRIER CURB THROUGH DRIVEWAY APRON WITH DEPRESSED CURB. MATCH EXISTING GRADES ON BOTH SIDES OF REMOVAL.

70L.F. - 6" PVC SDR26 SANITARY SERVICE @ 10.0% MIN. ADD 'WYE' OR 'TEE' AT THE MAIN PER VILLAGE STANDARDS. OPEN CU THE ROAD TO INSTALL SERVICE. CONNECT @ INV:686.4±. REMOVE AND REPLACE ANY DAMAGED PUBLIC SIDEWALK, CURB AND GUTTER. MATCH EXISTING PLAN AND PROFILE. TRENCH BACKFILL UNDER AND 2' BEYOND ALL IMPERVIOUS AREAS. RESTORE PARKWAY W/6" TOPSOIL AND SOD. PROVIDE CLEAN OUT WITHIN 5' FROM THE FOUNDATION.

ADDRESS	SETBACK
304 CHICAGO AVE.	19.19'
13 S. ELM ST.	20.27'
21 S. ELM ST.	23.72'
25 S. ELM ST.	23.84'
29 S. ELM ST.	23.98'
37 S. ELM ST.	28.53'
45 S. ELM ST.	31.51'
305 E. 1ST ST.	37.00'
AVERAGE SETBACK: 25.31'	

NOTES:

- EXISTING RESIDENCE, GARAGE, BRICK & CONCRETE WALK, CONCRETE PORCH, WOOD PORCH & STEPS SHALL BE REMOVED IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING RIGHT-OF-WAY CURB AND GUTTER.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - WINTER 2021
 - EXISTING STRUCTURES SHALL BE DEMOLISHED. - WINTER 2021
 - CONSTRUCT NEW RESIDENCE AND GARAGE, RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. - SPRING 2021
 - PREPARE AND SUBMIT RECORD DRAWINGS. - SPRING 2021
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - FALL 2021
- CONTACT PERSON FOR SITE: MICHAEL CONNELLY (708) 505-9606
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8. PARKING SHALL BE ON THE EAST SIDE OF ELM STREET.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE EAST OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.

EXISTING IMPERVIOUS AREA:	PROPOSED IMPERVIOUS AREA:
HOUSE: 2,041 S.F.	HOUSE: 2,077 S.F.
DRIVEWAY: 445 S.F.	CONCRETE AREA: 2,425 S.F.
BRICK AREA: 170 S.F.	COVD PORCH: 123 S.F.
CONCRETE: 286 S.F.	GARAGE: 533 S.F.
DECK: 383 S.F.	PAVER PATIO: 160 S.F.
TOTAL: 3,325 S.F.	TOTAL: 5,318 S.F.

NET NEW IMPERVIOUS: 5,318 S.F. - 3,325 S.F. = 1,993 S.F.
SINCE NET NEW 1,993 S.F. < 2,500 S.F., NO BMP'S ARE REQUIRED FOR THIS PROJECT.

AVG. GRADE DATA (HOUSE)	AVG. GRADE DATA (GARAGE)
A - 690.2	E - 689.9
B - 692.2	F - 688.5
C - 691.6	G - 688.1
D - 688.9	H - 689.6
AVG. - 690.75	AVG. - 689.1

SITE BENCHMARK #1:
NORTH BOLT ON FIRE HYDRANT AT THE SOUTHWEST CORNER OF CHICAGO AVENUE AND ELM STREET.
ELEV: 701.79 (NAVD 88)

SITE BENCHMARK #2:
WEST BOLT ON FIRE HYDRANT ON THE WEST SIDE OF ELM STREET AT THE SOUTHEAST CORNER OF RESIDENCE #24 ELM STREET.
ELEV: 693.53 (NAVD 88)

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2021



PREPARED FOR: GREENSIDE DESIGN BUILD

DRAWN BY: SF
CHECKED BY: JPG
APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60055
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN DATED: JANUARY 15, 2021

SHEET 1 OF 3

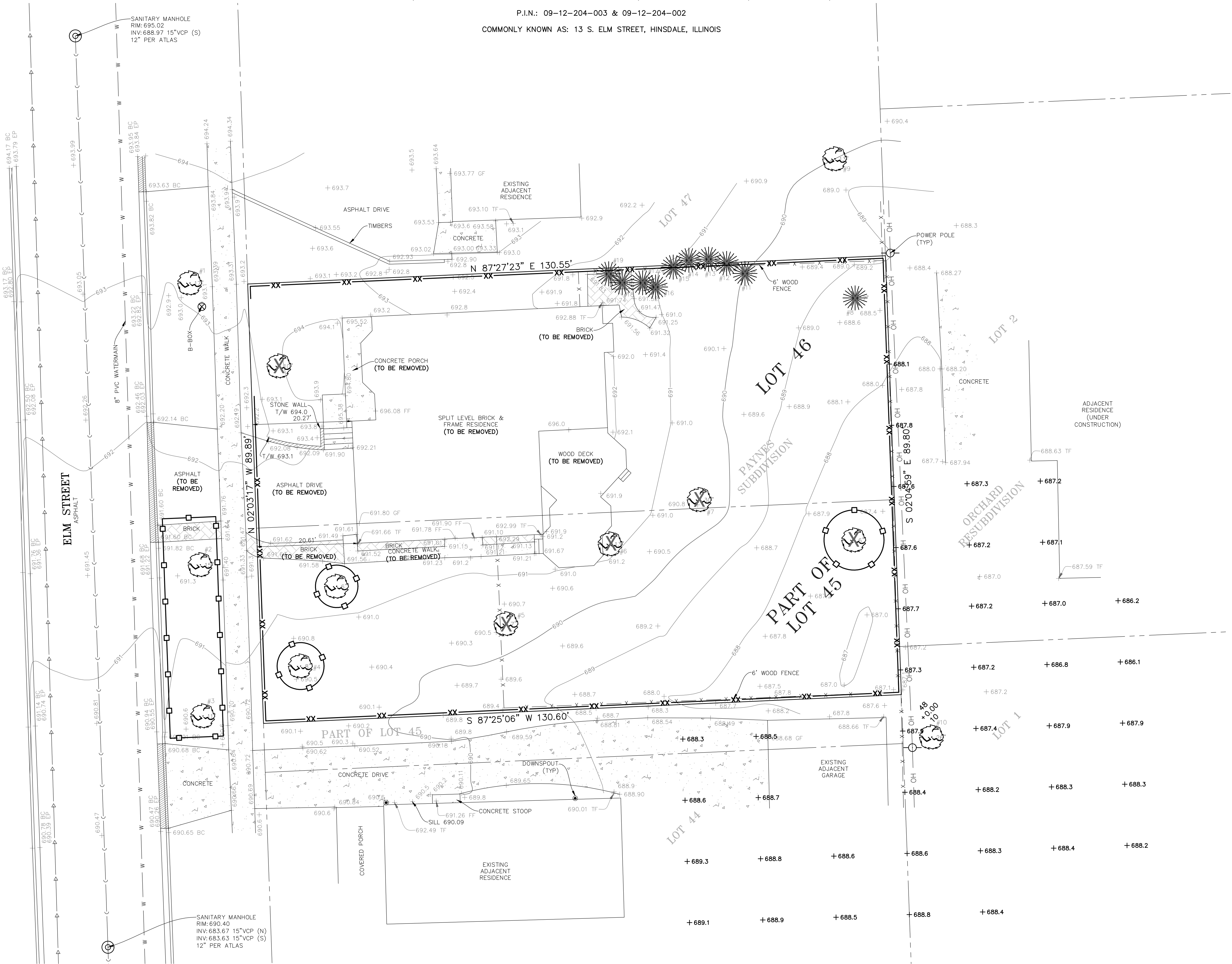
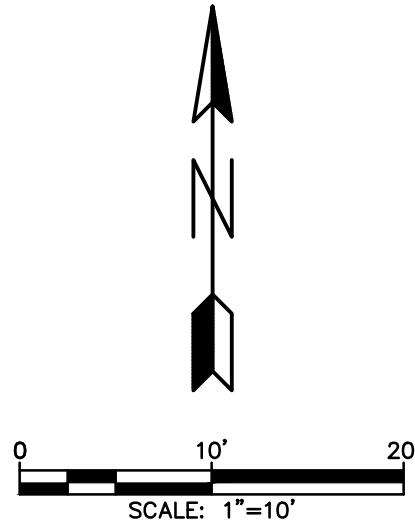
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 45 (EXCEPT THE SOUTH 10 FEET THEREOF) AND ALL OF LOT 46 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-204-003 & 09-12-204-002

COMMONLY KNOWN AS: 13 S. ELM STREET, HINSDALE, ILLINOIS



PREPARED FOR: GREENSIDE DESIGN BUILD

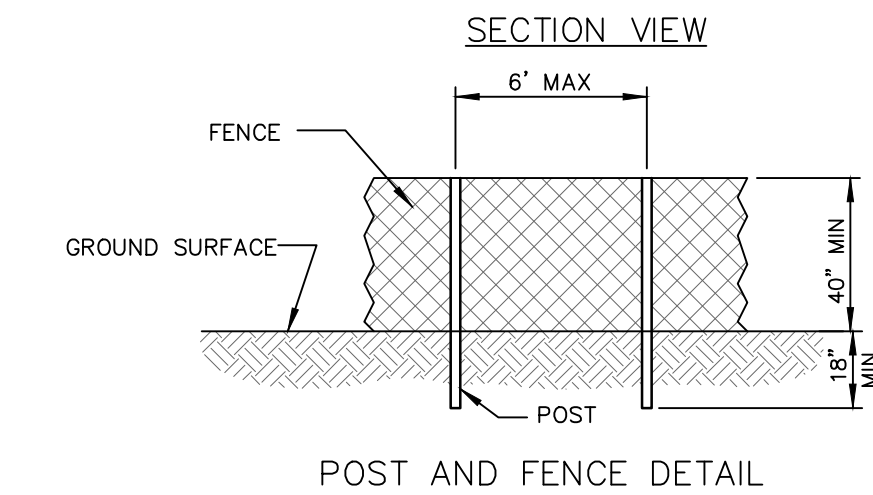
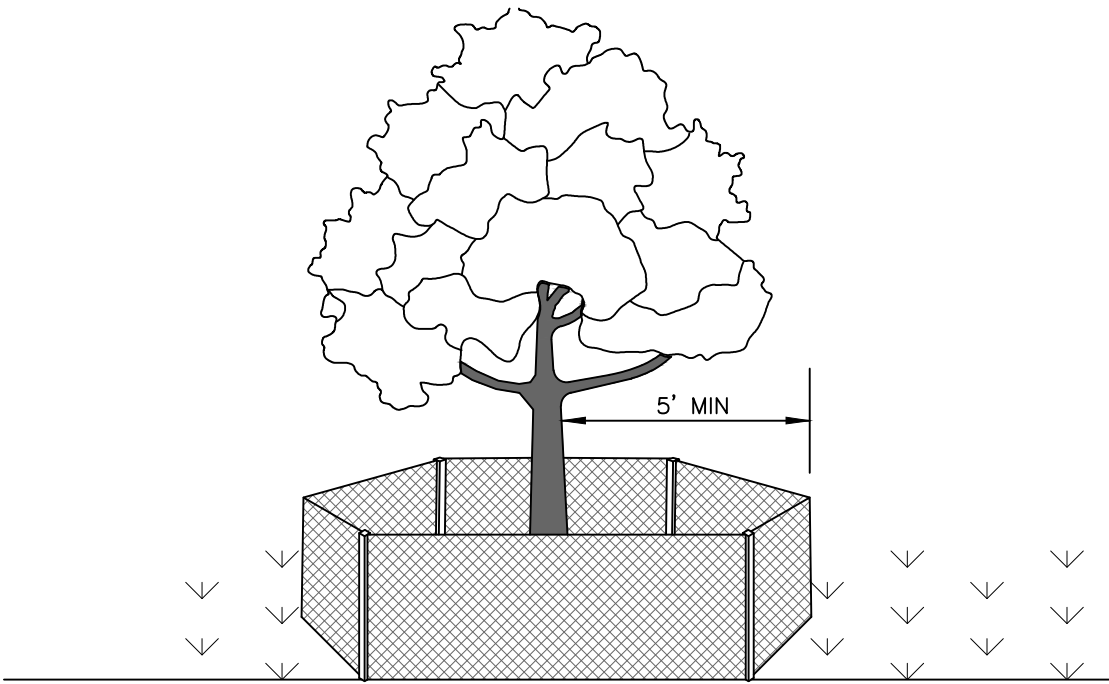
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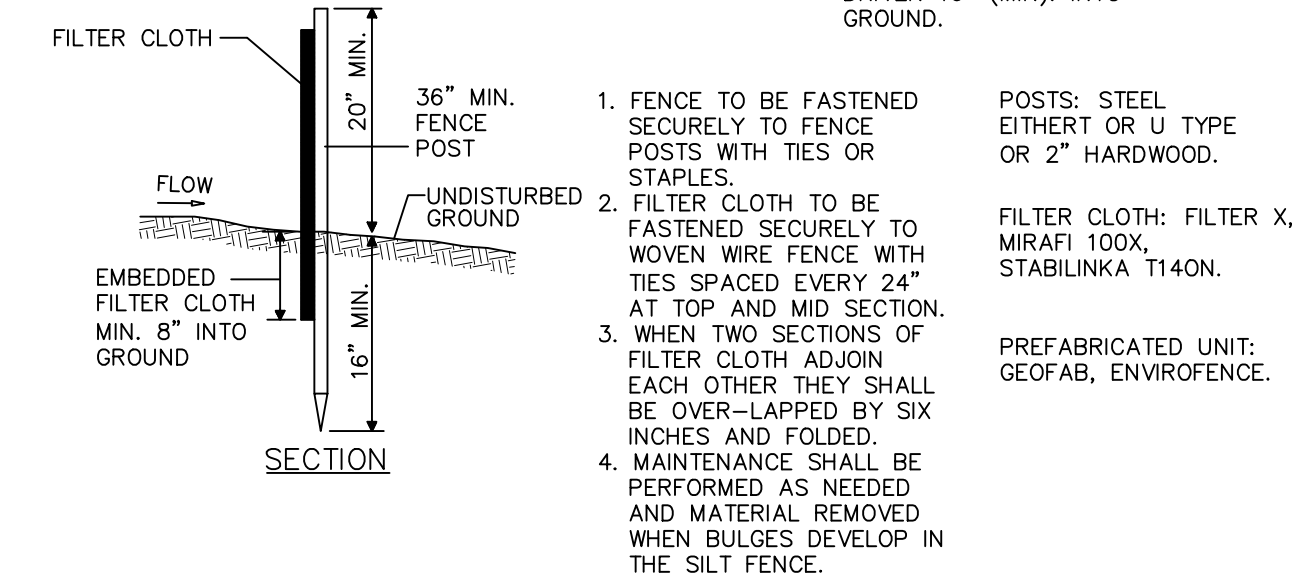
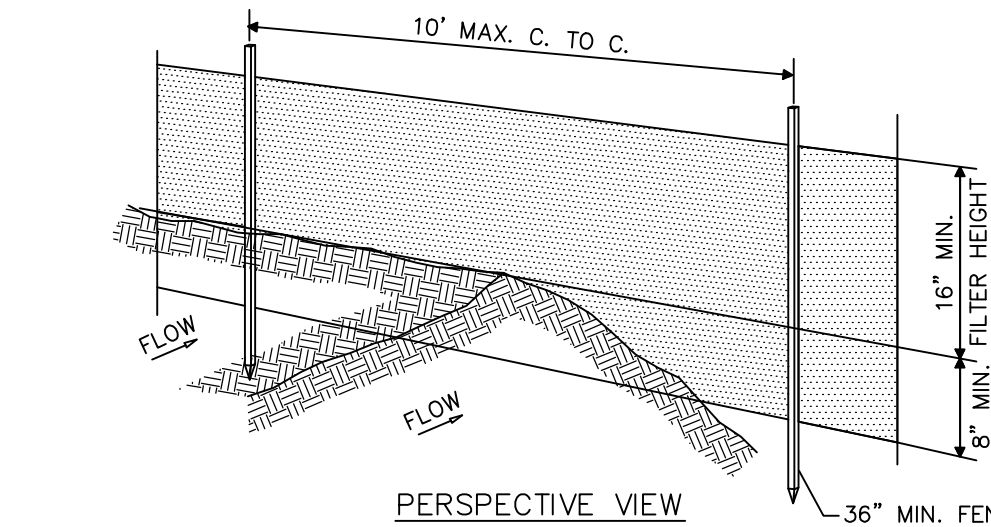
2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902



- NOTES:
1. THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
 2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
 3. THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

TREE PROTECTION

NOT TO SCALE



SILT FENCE

NOT TO SCALE

NOTES:

1. All work must be performed according to the approved Tree Preservation Plan.
2. An approved Tree Preservation Plan must be available on the building site.
3. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
4. Fence the public portion (parkways) of the **entire** Tree Protection Zone(s) with a 6' chain-link fence to prevent wounds to the parkway trees(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone – Keep Out"
5. All required tree protection fencing shall remain in place until the time of the finish grading and landscaping.
6. No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.
7. No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
8. Should it be necessary to trench within the TPZ for utilities, **including disconnection or capping of existing utilities**, all trenches shall be hand dug. No roots larger than two inches (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
9. Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods. **Auger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone**
10. The proposed water service line valves (B-Boxes), is to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.
11. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway tree(s).
12. Removal of any hardscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (2") shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
13. Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy)
14. The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.

13 S Elm Street Tree Inventory					
Tree #	Size (in.)	Species	Common Name	Condition	Rec.
1	17	Acer	Maple	Good	Keep
2	14	Acer	Maple	Good	Keep
3	11	Acer	Maple	Good	Keep
4	2x 9	Cercis	Redbud	Good	Keep
5	8	Cercis	Redbud	Good	Remove
6	12	Cercis	Redbud	Good	Remove
7	28	Acer	Maple	Good	Remove
8	17	Picea	Spruce	Good	Remove
9	13	Acer	Maple	Good	Keep
10	24	Acer	Maple	Good	Keep
11	7	Thuja	Arborvitae	Good	Keep
12	6	Thuja	Arborvitae	Poor	Keep
13	7	Thuja	Arborvitae	Good	Keep
14	7	Thuja	Arborvitae	Good	Keep
15	7	Thuja	Arborvitae	Good	Keep
16	7	Thuja	Arborvitae	Good	Remove
17	6	Thuja	Arborvitae	Good	Remove
18	8	Thuja	Arborvitae	Good	Remove
19	8	Thuja	Arborvitae	Good	Remove

*Rating is based on tree health and structural integrity.

Adjacent private property trees requiring protective fencing will be protected using perimeter construction fen instead of individual tree fencing.

Install Tree Protection Fence per Tree Protection Plan prior to any construction activity

Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence w sign stating "Tree Protection Zone – Keep Out"

At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.

The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, ar minimize the maintenance of the parkway lawn.

Tree Protection Zone is the designated area that encompasses and entire tree canopy.

However, for practical purposes the Village of Hinsdale requires that the public portion be delineated with chain-link fencing.

This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.

The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

6.21.2020

Bradley Earnest Certified Arborist # IL-9808A

PREPARED FOR: GREENSIDE DESIGN BUILD

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CHECKED BY: JPG
APPROVED BY: JPG



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FURNISH ALL LABOR MATERIAL TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REFERENCED IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHED WORK. THE DRAWINGS AND SPECIFICATION SHALL BE INTENDED TO COMPLETE AND PROPERLY FINISHED JOB. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TOWH THE UNDERSTANDING AND AGREEMENT THAT A SATISFACTORY JOB IS OBTAINABLE WITH THE INFORMATION AS PROVIDED. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS OF THE WORK. THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT SHALL BE THE RESPONSIBILITY OF OWNER AND SHALL NULLIFY AND VOID ANY ARCHITECTURAL CERTIFICATION.

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.**
2. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, COUNTY AND LOCAL BUILDING ORDINANCES.
3. APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS
4. CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF.
5. CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
6. ALL PORCHES, STEPS, AND GARAGE FLOOR SLABS SHALL BE A MINIMUM THIRTY-FIVE HUNDRED (3500) PSI, AND A MINIMUM FIVE PERCENT (5%) AND A MAXIMUM SEVEN PERCENT (7%) AIR-ENTRAINED.
7. INSTALL SILL SEALER BETWEEN FOUNDATION AND WOOD PLATE. SHIMMED PLATES TO BE GROUTED.
8. WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED FOR ROT AND TERMITES.
9. PROVIDE A CONTINUOUS 2x6 WOOD NAILER ON TOP OF ALL STEEL BEAMS EXCEPT THOSE USED FOR SUPPORTING MASONRY.
10. WINDOW WELL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. RUNGS AT LEAST 12" WIDE, AT LEAST 3" FROM WALL, SPACED NO MORE THAN 18" O.C. VERTICALLY FOR FULL HEIGHT OF WINDOW WALL. COVERS OVER EGRESS WINDOWS MUST COMPLY WITH EGRESS REQUIREMENTS OF THE IRC. WINDOW WELLS SHALL HAVE COVERS.
11. PROVIDE ONE COAT OF HOT ASPHALTIC DAMP PROOFING WITH FIBERGLASS FROM TOP OF FOOTING TO GRADE LEVEL ON ALL FOUNDATION WALLS ADJOINING ALL INTERIOR SPACE.
12. DRAIN TILE SHALL BE TIED TO STORM SEWER.
13. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, OVERSIZED TUBS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS. SPLIT JOISTS TO ALLOW FOR ELECTRIC, PLUMBING AND MECHANICAL TRADES.
14. PROVIDE 3-2x6's MINIMUM AT EACH END OF ALL WOOD BEAMS & HEADERS CONTINUOUS TO CONCRETE FOUNDATION OR STRUCTURAL STEEL UNLESS NOTED OTHERWISE.
15. ALL INTERIOR WALLS ARE 3 1/2" OR 5 1/2" UNLESS NOTED OTHERWISE. WALLS ARE DIMENSIONED TO FACE OF STUD.
16. DRAFTSTOP ALL SOFFITS. PENETRATIONS BETWEEN STORIES, THE ROOF SPACES AND DROPPED CLG. w/ 1/2" DRYWALL OR 3/4" PLYWOOD w/ JOINTS BACKED.
17. ALL SOFFITS AND LOWERED CEILINGS ARE TO BE 2x4 ON EDGE AT 16" O.C.
18. ALL STAIR SHALL HAVE A MAX. 1 3/4" RISE & MIN. 10" TREADS NOSE TO NOSE WITH HAND RAIL MIN. 34-38" ABOVE NOSING ALL RISERS TO BE CLOSED UNLESS NOTED OTHERWISE. CONTRACTOR TO MAINTAIN MIN. 6'-8" HEAD ROOM CLEARANCE ON STAIRS. UNDERS SHALL HAVE NOT LESS THAN 6" TREAD DEPTH. A NOSING PROFILE FOR STAIR TREADS LESS THAN ELEVEN INCHES (11") SHALL REQUIRE A NOSING BETWEEN THREE-FOURTHS INCHES (3/4") AND ONE AND ONE FOURTH INCHES (1 1/4").
19. WINDOW DESIGNATIONS ARE BASED ON NOMINAL UNIT SIZES IN FEET AND INCHES
20. ALL EGRESS WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN NET CLEAR OPENING OF 5.7 SQ FT, THE MIN NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES, THE MIN NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
21. FIELD VERIFY EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR ALL SLEEPING ROOMS.
22. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATION
- PATIO DOORS
 - ALL EXTERIOR SLIDING DOORS
 - SIDELIGHTS
 - SHOWER DOORS
23. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT W/ (4) OR MORE RISERS.
- TYPE I: HANDRAILS W/ A CIRCULAR CROSS SECTION SHALL HAVE A MIN. OUTSIDE DIA. OF 1 1/2" & MAX. DIA. OF 2". HANDRAILS THAT ARE NOT CIRCULAR THEY SHALL HAVE A MIN. PERIMETER DIM. OF 4" & A MAX. PERIMETER DIM. OF 6 1/2" w/ A MAX. CROSS SECTION DIM. OF 2 1/2". ALL EDGES TO HAVE A MIN. RAD. OF .001".
- TYPE II: HANDRAILS W/ A PERIMETER GREATER THAN 6 1/2" SHALL HAVE A GRASPABLE FINGER AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE & ACHIEVE A DEPTH OF A MIN. 3/8" WITHIN 3" BELOW THE WIDEST PORTION OF THE PROFILE. THIS DEPTH SHALL CONTINUE FOR A MIN. OF 3" TO A LEVEL THAT IS NOT LESS THAN 3" BELOW THE TALLEST PORTION OF THE PROFILE. THE MIN. WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/2" TO A MAX. 2 1/2". ALL EDGES TO HAVE A MIN. RAD. OF .001".
24. PROVIDE FLASHING AT WINDOW AND DOOR LITELS AND WALL BASE AS INDICATED WITH WEAP HOLES AND WICKS AT 24" O.C. FLASHING SHALL BE PLASTICSEAL OR OWNER APPROVED EQUAL.
25. FOR JOISTS AND RAFTERS, STRESS GRADE LUMBER SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR STRONG LUMBER AND ITS FASTENINGS' NALMA LATEST EDITION 2x12 JOIST HEM FIRM 2" WITH A FIBER STRESS BANDING (16) OF 1050 PSI. REPETITIVE AND MODULES OF ELASTICITY (E) OF 1400000 lb+10 UNLESS OTHERWISE NOTED ON THE PLANS. STRUCTURE WOOD POSTS TO BE S-P-F CANADIAN 2" WITH FIBER STRESS BANDING (16) OF 875 REPETITIVE AND MODULES OF ELASTICITY (E) OF 1400,000.
26. BEARING WALL STUDS SHALL BE S-P-F CANADIAN STANDARD OR BETTER Fc = 1000 P.S.I. AND E = 1200000. SOUTHERN PINE STUDS SHALL NOT BE ALLOWED, DUE TO WARPING TENDENCY. NON-BEARING WALL STUDS SHALL BE S-P-F CANADIAN STUD GRADE WITH Fc = 675 P.S.I. OR HEM-FIRM.
27. ALL SILLS AND PLATES SHALL BE SOUTHERN PINE # 1 @ 9% M.C. MAX WITH Fc=565 AND E = 1700000 OR EQUAL, UNLESS OTHERWISE NOTED. SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED AND SET IN SILL SEALER. 2ND FLOOR SILLS TO BE SET IN SILL SEALER.
28. EXTERIOR OPENING TO HAVE 2-2x12 HEADERS UNLESS OTHERWISE NOTED. S-P-F CANADIAN OR HEM FIRM Fc = 875 E = 1300,000.
29. ROOF SHALL BE CEDAR SHINGLE INSTALLED OVER 1/2" BUILDING PAPER. PROVIDE ICE AND WATER DAM PROTECTION AT ALL EAVES AND FLASHING POINTS. ICE DAM PROTECTION TO EXTEND TO A POINT MEASURING 24 INCHES HORIZ. FROM INSIDE FACE OF GUB. FLASH ALL ROOF TO WALL CONDITIONS. USE OF SHINGLES/COVERINGS TO BE IN COMPLIANCE W/ ASTM D 226. TYPE I OR TYPE II.
30. THE DOOR BETWEEN RESIDENCE AND GARAGE SHALL HAVE A SELF CLOSER.
31. EXTERIOR COVERING SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
32. VENEER TIES: IF STRANDED WIRE SHALL NOT BE LESS IN THICKNESS THAN 3/8" US GAGE WIRE & SHALL HAVE A HOOK EMBEDDED IN THE MORTAR JOINT. IF SHEET METAL SHALL NOT BE LESS THAN #2 US GAGE BY 3" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24" ON CENTER HORIZONTALLY & VERTICALLY, & SHALL SUPPORT NOT MORE THAN 267 SF OF WALL AREA.
36. 16 OZ COPPER FLASHING TO BE USED AT ANY ROOF TO WALL CONDITIONS. 16 OZ COPPER TO BE USED FOR ALL COPPER ROOFING.
34. ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, NOTCHED UNLESS SPECIFICALLY INCLUDED IN THE DESIGN. (N/A FOR THIS PROJECT)

AND AT THE FOLLOWING LOCATIONS:
INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR
AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS,
TOP AND BOTTOM OF THE RUN:
REPLACES AT CEILING AND FLOOR LEVEL, WHERE

- FIELD VERIFY CODE COMPLIANT DRAFTSTOPPING IS PROVIDED AT THE FOLLOWING LOCATIONS:
- A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL.
- B. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS, DROP CEILING COVER CEILING, ETC.
- C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- D. OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVEL WHERE NONCOMBUSTIBLE MATERIALS ARE PRESENT.
36. FIELD VERIFY EMERGENCY ESCAPE AND RESCUE REQUIREMENTS FOR ALL SLEEPING ROOMS
37. CONCEALED SPACE BEING CONNECTED BECAUSE OF DROPPED CEILINGS OR SOFFITS IN THE BASEMENT THAT ARE OVER A THOUSAND SQUARE FEET SHALL BE DRAFTSTOPPED INTO APPROXIMATELY EQUAL AREAS
38. $\frac{1}{2}$ " GYPSUM BOARD IS REQUIRED ON THE UNDERSIDE OF STAIRS.
39. ALL WALLS AND CEILINGS OF A GARAGE ADJACENT TO THE RESIDENCE TO WHICH IT IS ATTACHED SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY MEANS OF 5/8 INCH TYPE 'X' DRYWALL APPLIED TO THE GARAGE SIDE. ALL OTHER WALLS SHALL BE PROTECTED BY 5/8 INCH TYPE 'X' DRYWALL APPLIED TO THE GARAGE SIDE. THE GARAGE FLOOR SHALL BE NO LESS THAN 6 INCHES BELOW THE FLOOR OF THE ATTACHED RESIDENCE.
40. GUTTERS OR SCUPPERS AND DOWNSPOUTS TO DIRECT STORMWATER DISCHARGE TO THE FRONT OF THE BUILDING. NO STORMWATER SHALL DISCHARGE DIRECTLY INTO THE STORM OR COMBINED SEWER SYSTEM. A MINIMUM 12-INCH BY 30-INCH SPLASH BLOCK SHALL DISPLACE THE DISCHARGE AT GRADE. ALL DISCHARGE SHALL BE LOCATED AS NOT TO DAMAGE OR CREATE A NUISANCE TO THE PROPERTY OR ADJOINING PROPERTIES.
41. MASONRY FIREPLACE CONSTRUCTION MATERIAL-COMPLIANCE WITH ITEMS LISTED IN CHAPTER 10 (CONSTRUCTION: 1001.02.CHANGES IN DIMENSIONS 1001.3, FLUE LINING 1001.2,TERMINATION 1001.6, INLET 1001.3, CHIMNEY CRICKETS 1001.1, FIREBLOCKING 1001.6, HEARTH EXTENSION MATERIAL 1003.3 & 1003.10, FIREBOX DIMENSIONS 1003.11, MATERIAL AND TRIM 1003.13) UNLESS APPLIANCES ARE NOT PERMITTED. MINIMUM 2" CLEARANCE REQUIRED TO COMBUSTIBLES.
42. ELECTRICAL PANEL TO HAVE MINIMUM 4'-0" CLEARANCE IN FRONT AND 3'-0" CLEARANCE ON SIDES FROM ANY GROUNDED EQUIPMENT
43. PROVIDE INTERCONNECTED SMOKE DETECTORS/CARBON MONOXIDE DETECTORS W/ BATTERY BACK-UP ON EACH LEVEL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
44. PROVIDE INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACK-UP IN EACH SLEEPING ROOM OUTSIDE THE BEDROOMS WITHIN THE IMMEDIATE VICINITY, AND ON EACH STORY.
45. 21012 - ARC FAULT CIRCUIT INTERRUPTER
ALL 120-VOLT, SINGLE PHASE, 15 & 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSET, HALLWAYS, OR SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
46. ELECTRICAL SWITCHES MUST BE AT LEAST 5'-0" FROM ANY TUB OR SHOWER
47. ALL ELECTRIC CEILING BOXES MUST BE FAN RATED.
48. COUNTERTOP RECEPTACLES ARE TO BE INSTALLED 60 NO POINT ALONG THE WALL LINE IS MORE THAN TWENTY-FOUR (24") FROM A RECEPTACLE OUTLET. COUNTERTOPS TWELVE INCHES (12") OR LARGER REQUIRE A RECEPTACLE.
49. NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE TWO FEET (2') OR MORE IN WIDTH, SHALL BE MORE THAN SIX FEET (6') FROM A RECEPTACLE.
50. THE SUMP AND INJECTOR PUMP SHALL BE CONNECTED TO A DEDICATED GFI PROTECTED RECEPTACLE.
51. CLOTHES CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF TWELVE INCHES (12") AWAY FROM THE NEAREST POINT OF STORAGE. RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF SIX INCHES (6") AWAY FROM THE NEAREST POINT OF STORAGE. LIGHT FIXTURES IN CLOSETS MUST HAVE A COMPLETELY ENCLOSED LAMP. COMBUSTIBLE INSULATION SHALL MAINTAIN A MINIMUM 3" CLEARANCE FROM RECESSED LIGHTING UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCES.
52. ALL GFCIs SHALL BE LED TYPE. ALL FLOOR RECEPTACLES MUST BE GFCI PROTECTED.
53. REMOVED
54. ALL BATHROOM VENTING MUST BE VENTED DIRECTLY TO EXTERIOR
55. AIR CHAMBERS - WHEN AIR CHAMBERS ARE INSTALLED IN A FIXTURE SUPPLY, IT SHALL BE A MIN. OF 12" IN LENGTH & THE SAME DIA. AS THE FIXTURE SUPPLY. WHEN AIR CHAMBERS ARE INSTALLED IN A RISER, IT SHALL BE A MIN. OF 24" IN LENGTH & MIN. SAME SIZE AS THE RISER.
56. FROST PROOF HOSE BIBS ARE TO BE LOCATED BY PLUMBING CONTRACTOR (EXCEPT AS SHOWN)
57. WATER SUPPLY DISTRIBUTION: INSTALLATION OF POTABLE WATER SUPPLY AND ITS COMPONENTS SHALL BE DONE IN COMPLIANCE WITH THE CODE.
58. PROVIDE A MINIMUM ONE-HALF INCH CONDUIT LOCATED ONE FOOT FROM THE WATER METER LOCATION TO THE NEAREST EXTERIOR POINT ON THE FRONT ELEVATION (STREET SIDE) OF THE BUILDING. WATER METER TO BE 1" METER.
59. SANITARY WASTES BELOW GRADE SHALL BE DISCHARGED INTO A GAS-TIGHT, COMBINED AND VENTED SUMP FROM WHICH THE WASTE SHALL BE LIFTED AND DISCHARGED INTO A SANITARY WASTE DRAIN BY AUTOMATIC PUMPING EQUIPMENT.
60. ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K OR L COPPER ONLY. COPPER PIPING NOT ACCEPTED FOR WASTE AND VENT PIPING.
61. MINIMUM 2" VENT REQUIRED FOR WATER CLOSET.
62. MINIMUM ONE 3" MAIN VENT STACK REQUIRED.
63. WATER DISTRIBUTION PIPE TO BE SIZED IN ACCORDANCE WITH PLUMBING CODE.
64. N/A
65. PROVISIONS FOR HEATING SYSTEM IN ACCORDANCE WITH CODE.
66. EXHAUST SYSTEMS:
A. CLOTHES DRYERS EXHAUST AND DUCT SIZES, MICROWAVE OVENS, AND EXHAUST DUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND MUST COMPLY WITH THE REQ. OF CODE.
B. RANGE COOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.9 m³/s) SHALL BE PROVIDED MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKE-UP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
67. DUCT SYSTEMS: DUCT SYSTEMS SERVING HEATING, COOLING, AND VENTILATION EQUIPMENT AS WELL AS UNDERGROUND DUCT SYSTEMS, FACTORY MADE DUCTS, RETURN AIR AND SUPPLY SHALL MEET THE REQUIREMENTS OF CODE. HVAC MUST BE A CLOSED SYSTEM, "PANNING" IS NOT PERMITTED.
68. DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT BY MEANS OF TAPES, MASTICS, LIQUID SEALANTS, GASKETING, OR OTHER APPROVED CLOSURE SYSTEMS. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAVE A CONTACT LAP OF A MIN. $\frac{1}{4}$ " & SHALL BE MECHANICALLY FASTENED BY THREE (3) SHEET METAL SCREWS OR RIVETS EVENLY SPACE AROUND THE JOINT.
- PRESSURE TESTING**
POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 8 CFM PER 100 SF OF CONDITIONED

6. DUCT SYSTEMS SHALL BE SUPPORTED A MAXIMUM OF TEN FEET (10') INTERVALS.
7. THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED TWENTY-FIVE FEET (25') FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED TWO (2) AND ONE-HALF FEET (2 1/2') FOR EACH FORTY-FIVE (45) DEGREE BEND, AND FIVE FEET (5') FOR EACH NINETY (90) DEGREE BEND (2ND FLOOR LAUNDRY AREA). CLOTHES DRYER EXHAUST DUCT SHALL NOT BE MECHANICALLY FASTENED BY MEANS OF SCREWS.
8. ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONER, WATER HEATER, AND FURNACE, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. COPY OF MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE AT THE TIME OF INSPECTION.
9. COPPER WIRE SHALL BE USED FOR ALL GROUND CONDUCTORS AND WATER METER JUMBERS.
10. ALL GAS CONNECTIONS SERVING AN APPLIANCE SHALL HAVE A SHUT OFF VALVE THAT IS ACCESSIBLE, IN THE SAME ROOM AS THE APPLIANCE AND WITHIN 60" OF THE APPLIANCE, 4' UPSTREAM OF THE UNION, CONNECTOR OR QUICK DISCONNECT THAT IT SERVES.
11. PLUMBING FIXTURES LOCATED ON EXTERIOR WALLS SHALL BE SUPPLIED FROM SUPPLY LINES THRU THE FLOOR AND CABINETS BELOW.
12. FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, COPPER OR APPROVED EQUAL IN CORROSION RESISTANCE PER R333.3 4 BE 4 MIN. 1/8" THICKNESS INCLUDING FASTENERS LESS THAN 1/4" 4 APPLIES TO NAILS & SCREWS.
13. ISLAND SINKS AND FIXTURES SHALL BE VENTED PER SECTION 930.1600(2) ILLUSTRATION GG APPENDIX K

3306.4 CONSTRUCTION RAILINGS AND CONSTRUCTION FENCES. CONSTRUCTION RAILINGS SHALL BE AT LEAST 42 INCHES IN HEIGHT AND SHALL BE SUFFICIENT TO DIRECT PEDESTRIANS AROUND CONSTRUCTION AREAS.

3306.4.1 CONSTRUCTION FENCE DESIGN.
CONSTRUCTION FENCES SHALL BE DESIGNED TO RESIST
WIND PRESSURE AS SPECIFIED IN CHAPTER 16 AND
CONSTRUCTED AS FOLLOWS: CONSTRUCTION FENCE SHALL BE
AT LEAST 72 INCHES IN HEIGHT AND SHALL FORM A COMPLETE
ENCLOSURE AROUND CONSTRUCTION AREAS.

1. CONSTRUCTION FENCES SHALL BE ADEQUATE TO PREVENT NUISANCE. SCREENING SHALL BE REQUIRED IF DUST OR WIND-BLOWN DEBRIS IS PRESENT.
2. CONSTRUCTION FENCES SHALL BE FIRMLY WEIGHTED TO OR ANCHORED INTO THE GROUND.
3. GAPS OR OPENINGS IN FENCES SHALL BE PROTECTED BY DOORS OR GATES WHICH ARE NORMALLY KEPT CLOSED.
4. DOORS OR GATES SHALL BE AT LEAST THE SAME HEIGHT AS THE FENCE IN WHICH THEY ARE INSTALLED.
5. DOORS OR GATES SHALL BE KEPT LOCKED WHEN THE SITE IS UNATTENDED.
6. CONSTRUCTION FENCES SHALL BE CHAIN LINK OR EQUAL, AS APPROVED BY THE BUILDING OFFICIAL.
7. CONSTRUCTION FENCE SHALL BE BUILT AND MAINTAINED IN A WORKMANLIKE MANNER WITH APPROPRIATE CONNECTION METHODS. SECTIONS JOINED WITH THE WIRES, CABLE TIES, OR SIMILAR FASTENERS SHALL BE REJECTED.

Residential Building Code	2006 ICC INTERNATIONAL RESIDENTIAL CODE
Mechanical	2006 ICC INTERNATIONAL MECHANICAL CODE
Electrical	2005 NFPA NATIONAL ELECTRICAL CODE
Plumbing	2014 ILLINOIS PLUMBING CODE
Energy	2018 ICC INTERNATIONAL ENERGY CONSERVATION CODE
Zoning	VILLAGE OF HINSDALE ZONING ORDINANCE

FILE : 01-14-21



William D. Schwarz

EXP. DATE : 11-30-22

TYPICAL FLOOR LEVEL:	
<u>DEAD LOAD</u>	ACTUAL WEIGHT OF MATERIALS & CONSTRUCTION
<u>LIVE LOADS</u>	
ATTICS w/STORAGE	20 PSF
ATTICS w/o STORAGE	10 PSF
DECKS	40 PSF
ROOMS (other than sleeping rms.)	40 PSF
SLEEPING ROOMS	30 PSF
BALCONIES	60 PSF
<u>ROOF LOADS</u>	
DEAD	17 PSF
LIVE (snow load):	30 PSF

"I HEARBY CERTIFY UNDER OATH THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM FAMILIAR WITH THE CODES AND ORDINANCES OF THE VILLAGE OF HINSDALE, AND TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE BUILDING ORDINANCE, ZONING ORDINANCE AND OTHER APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HINSDALE, ILLINOIS"

R4

LOT SIZE 11,767.5 SF

BLDG. COVERAGE: 25% OF LOT 11,767.5 x .25 =
2,941.8 sf (ALLOWABLE)

2,041.30 sf (1st. FLOOR)
239.53 sf (Porch) (200sf bonus allowed) = 39.53 sf
495.00 sf (Det. Garage)
(472.50 sf x $\frac{1}{4}$ NTE 125sf bonus allowed) = 354.37 sf
2,791.70 sf (PROPOSED TOTAL)

$$\text{FAR } .24 \times 12,474 = 2,824.2 + 1,200 = 4,024.2 \text{ sf (ALLOWABLE)}$$

FIRST FLOOR FAR 2,041.3 sf
DETACHED GARAGE (495sf - 250 bonus allowed) = 2
SECOND FLOOR FAR 1,133.5 sf
THIRD FLOOR FAR (1,133.5 x .2 = 346.6 ALLOWED) 299
TOTAL FAR 4,019.8 (PROPOSED)

FIRST FLOOR	2,198 (PROPOSED)
SECOND FLOOR	1,241 (PROPOSED)
TOTAL	3,439 (PROPOSED)

FINISHED BASEMENT 1,648 (PROPOSED)

$$90.00' \times 130.75$$

50 % LOT AREA

LOT AREA $11,767.5 \times .50 = 5,883.75$ SF

35'-0" (MIN.) & AVERAGE FROM ENGINEER

25'-Ø"

9.0' (MIN.)

N/A

$$34' + .75 (8.2' \text{ SIDE YARD-6}) = 35.65' \text{ (ACTUAL 27.29')}$$

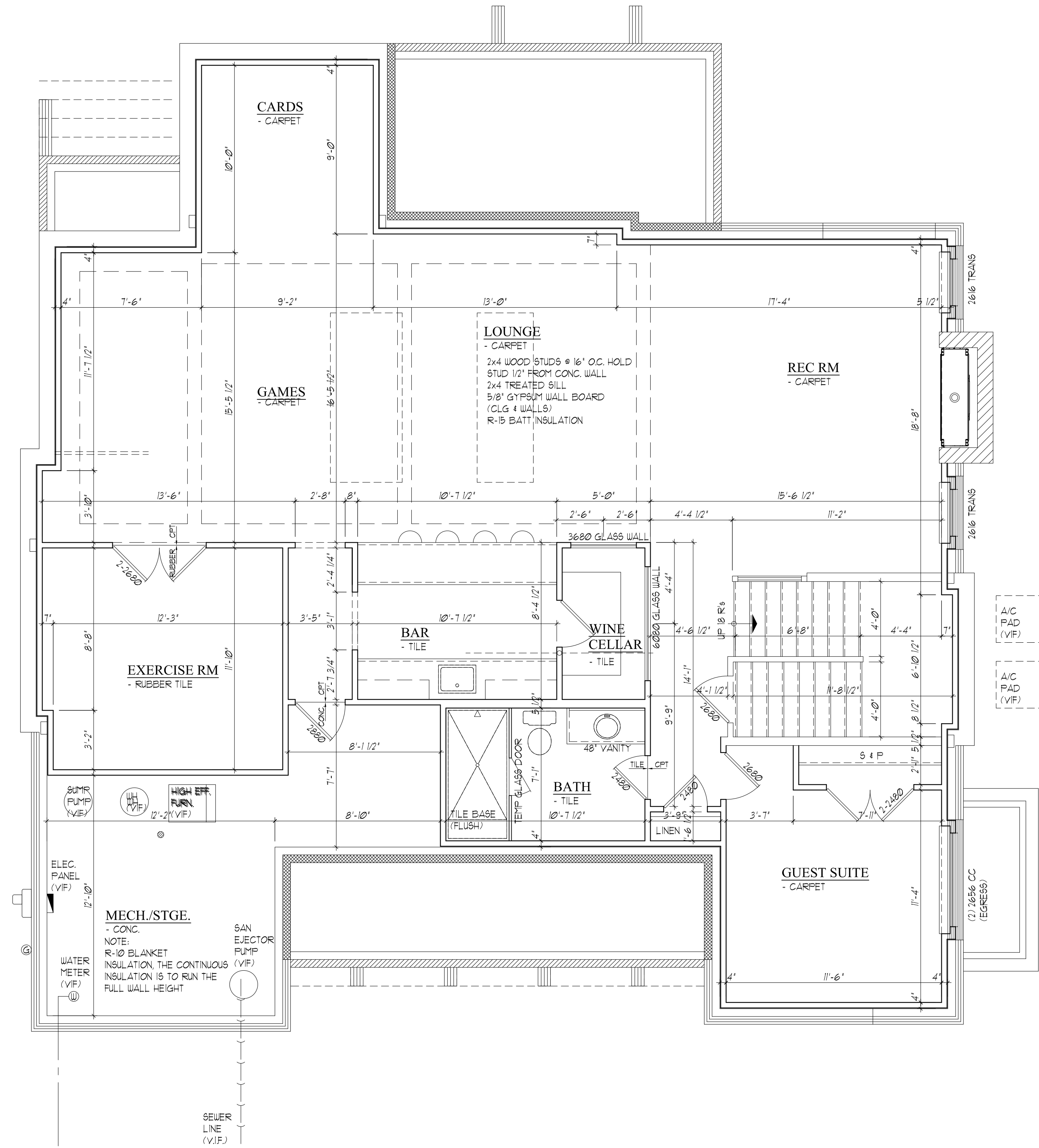
SP	TITLE SHEET, DRAWING INDEX & GENERAL NOTES
A1.0	FOUNDATION PLAN
A1.1	FINISHED BASEMENT & ELEC. PLANS
A2.0	FIRST & SECOND FLOOR PLANS
A3.0	FIRST & SECOND FLOOR ELEC. PLANS
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A5.0	FAR OVERLAYS
A5.1	BUILDING COVERAGE OVERLAYS
A6.0	DETACHED GARAGE PLANS & ELEVATIONS
AS1.0	FIRST & SECOND FLOOR STRUCTURE
AS1.1	ROOF PLAN
D1.0	DETAILS
D1.1	DETAILS, RISERS & SCHEDULES

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[illegible]

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	JOB NO:	
	ISSUED FOR PERMIT:	01.14.21
	ISSUED FOR CONSTRUCTION:	
	DRAWN BY:	PR/FS
	CHECKED BY:	WDS
	01.14.21 Issued for Permit	

	SHEET NO.	
	SP	



FINISHED BASEMENT PLAN
SCALE: 1/4"=1'-0"
1653 SQ. FT.

NOTE:
SEE FOUNDATION PLAN
FOR ADDITIONAL
INFORMATION

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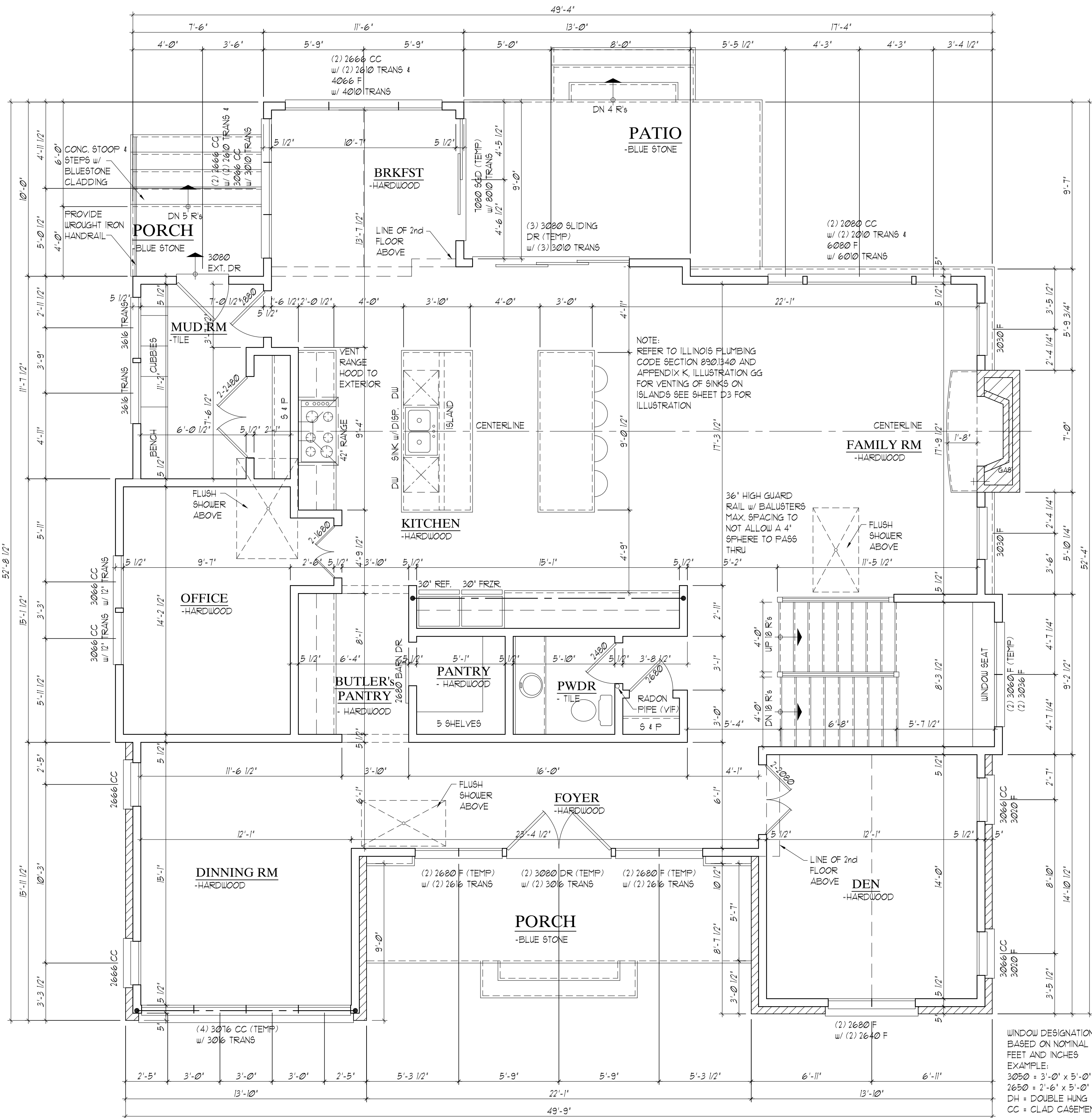
Greenside Spec Home
13 S. Elm St.
Hinsdale, IL 60521
FINISHED BASEMENT PLAN

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A1.1



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" 2,310 SQ. FT. (4,105 TOTAL SQ. FT.)

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13 S. Elm St.
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FIRST FLOOR PLAN

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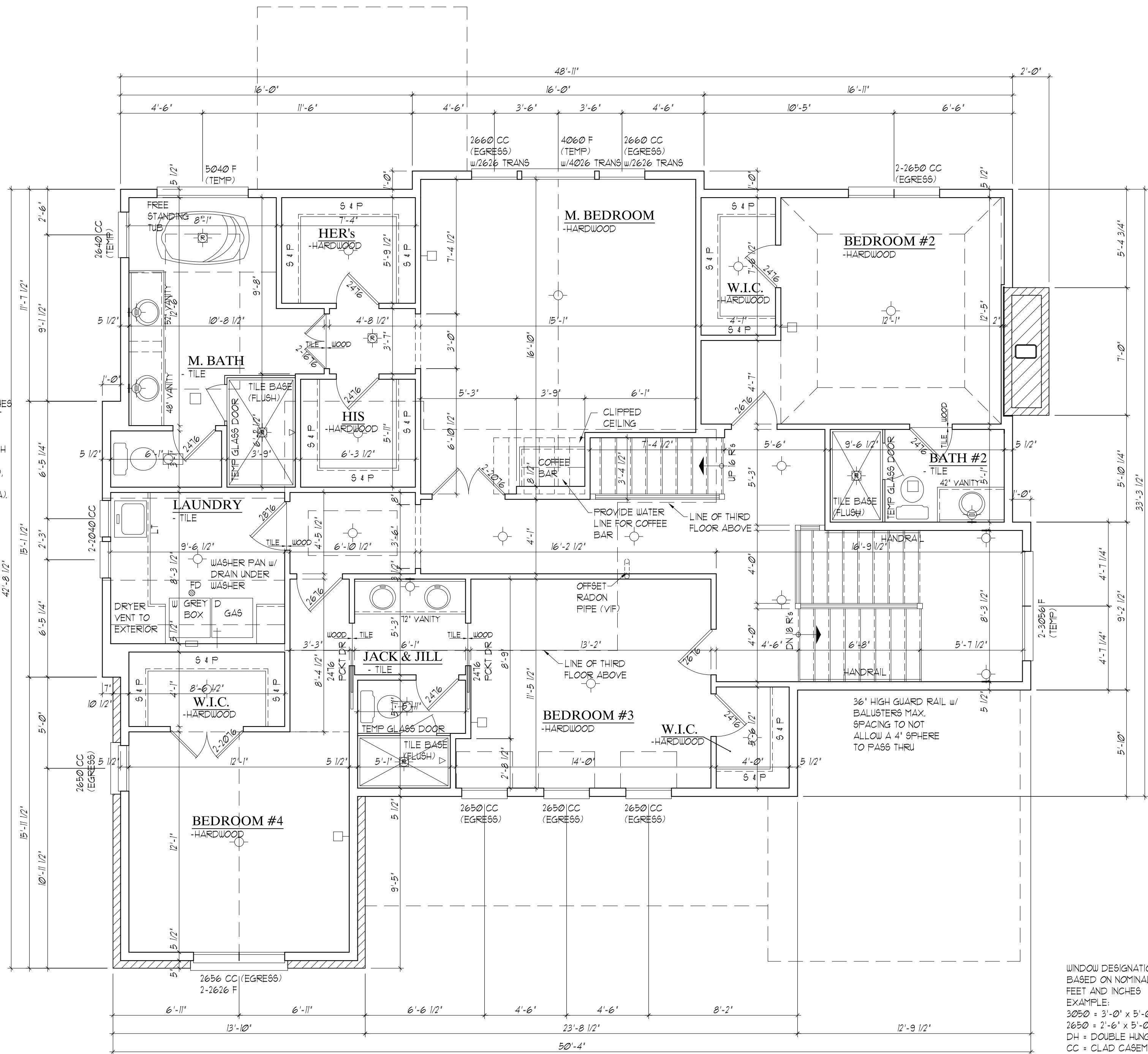
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A2.0

THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25'-0" FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2'-6" FOR EACH 45 DEGREE BEND, AND 5'-0" FOR EACH 90 DEGREE BEND (2ND FLOOR LAUNDRY AREA). CLOTHES DRYER EXHAUST DUCT SHALL NOT BE MECHANICALLY FASTENED BY MEANS OF SCREWS.

NOTE: PROVIDE 8"x15" THROUGH WALL LOUVER HIGH 4" LOW ON WALL WITHIN 12" OF THE FLR & 12" OF THE CLG.



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" 1/32"=0.0 FT.

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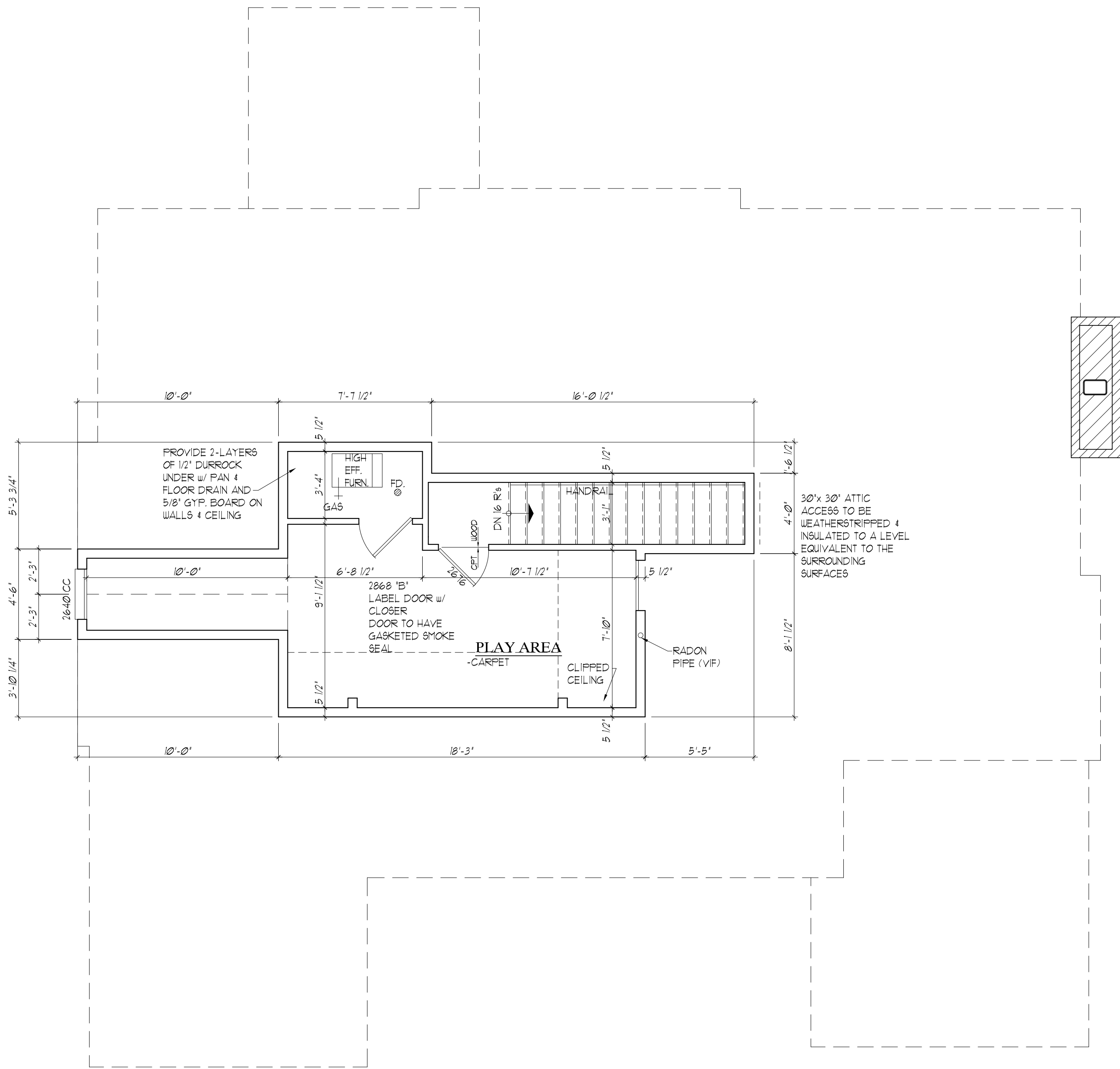
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SECOND FLOOR PLAN

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A2.1



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0" 299 5/8 FT.

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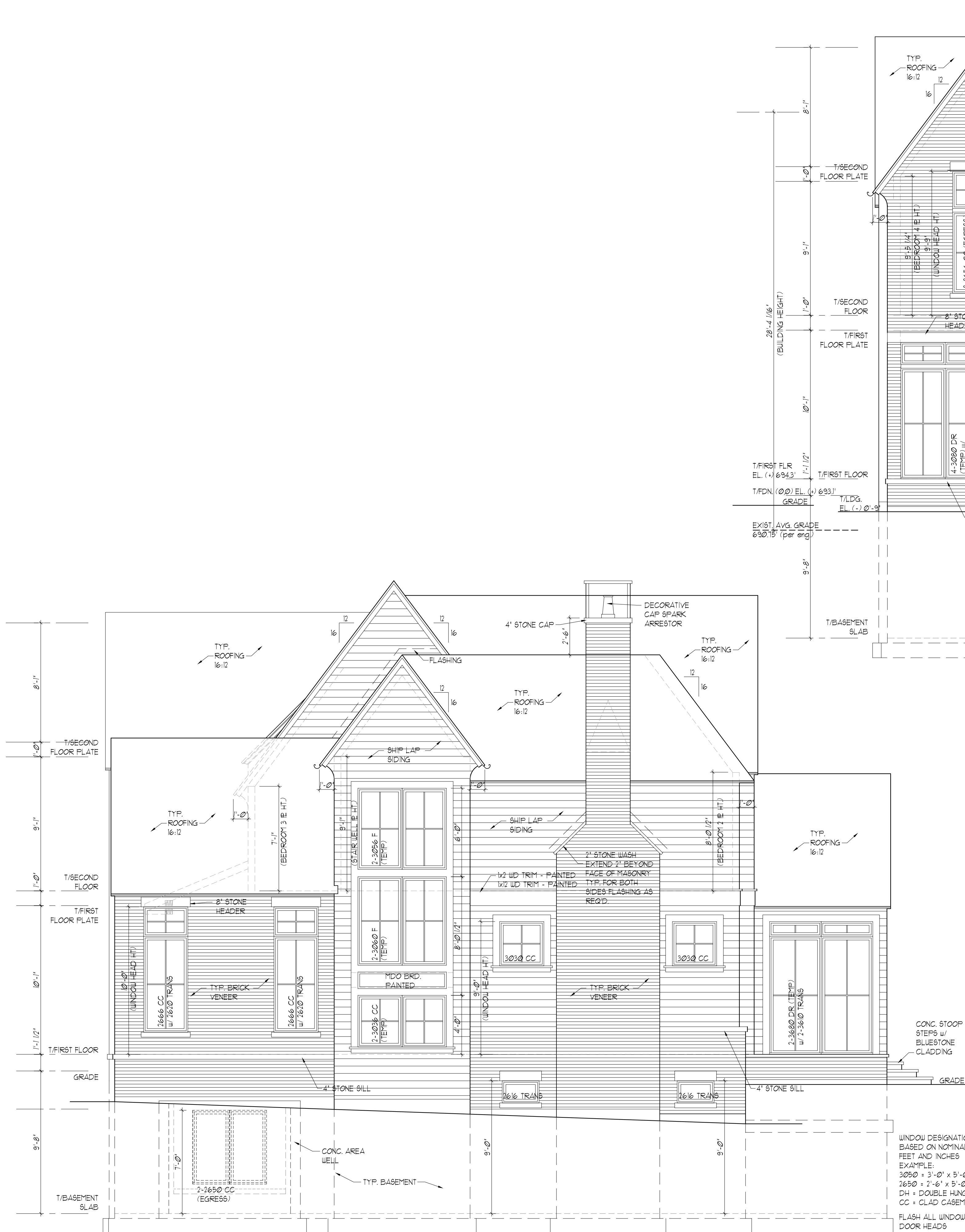
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THIRD FLOOR PLAN

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A2.2



FRONT ELEVATION

SCALE: 1/4"=1'-0"

RIGHT ELEVATION

SCALE: 1/4"=1'-0"

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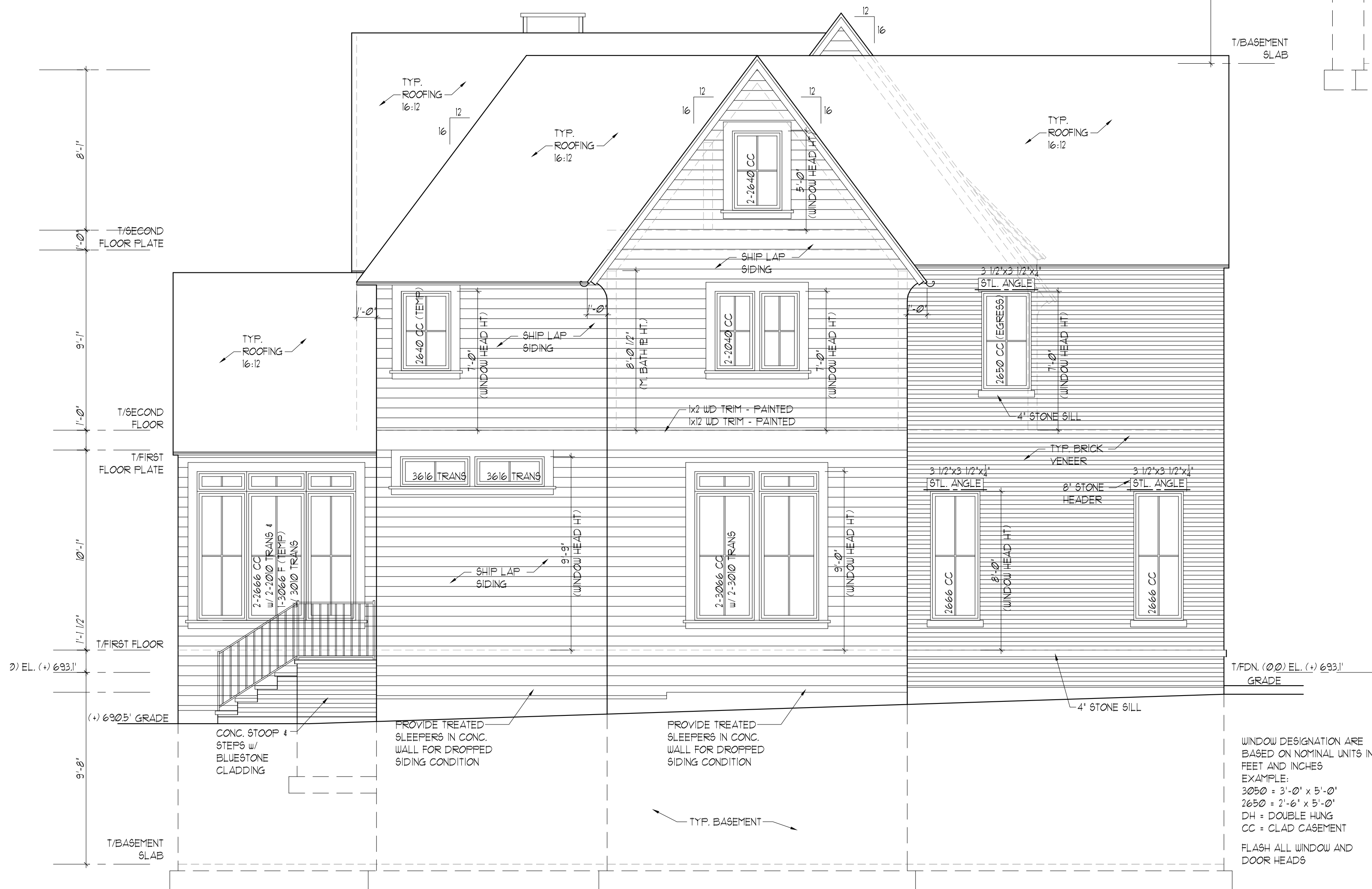
Greenside Spec Home
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FRONT & RIGHT ELEVATION

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A4.0



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

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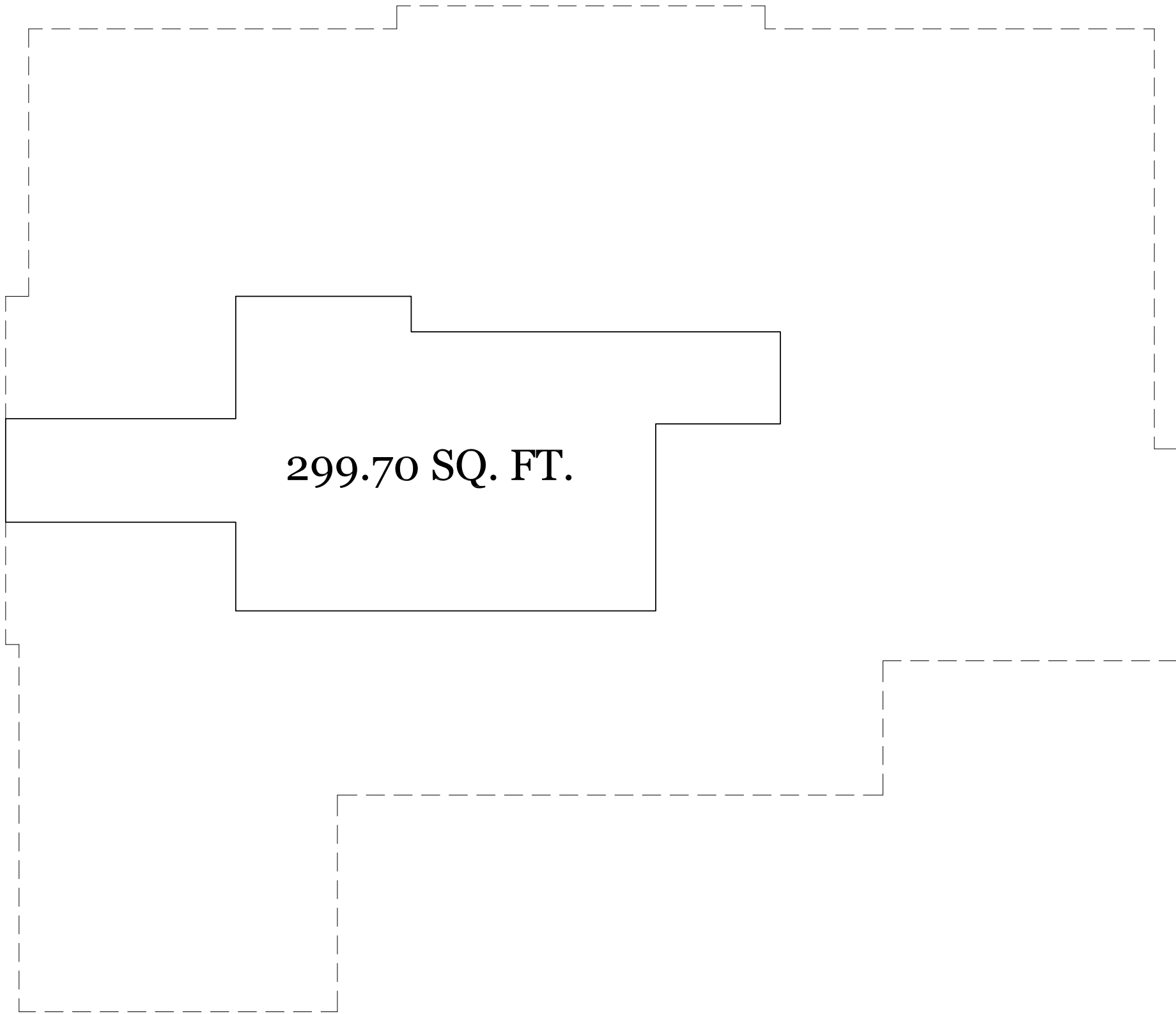
Greenside Spec Home
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REAR & LEFT ELEVATION

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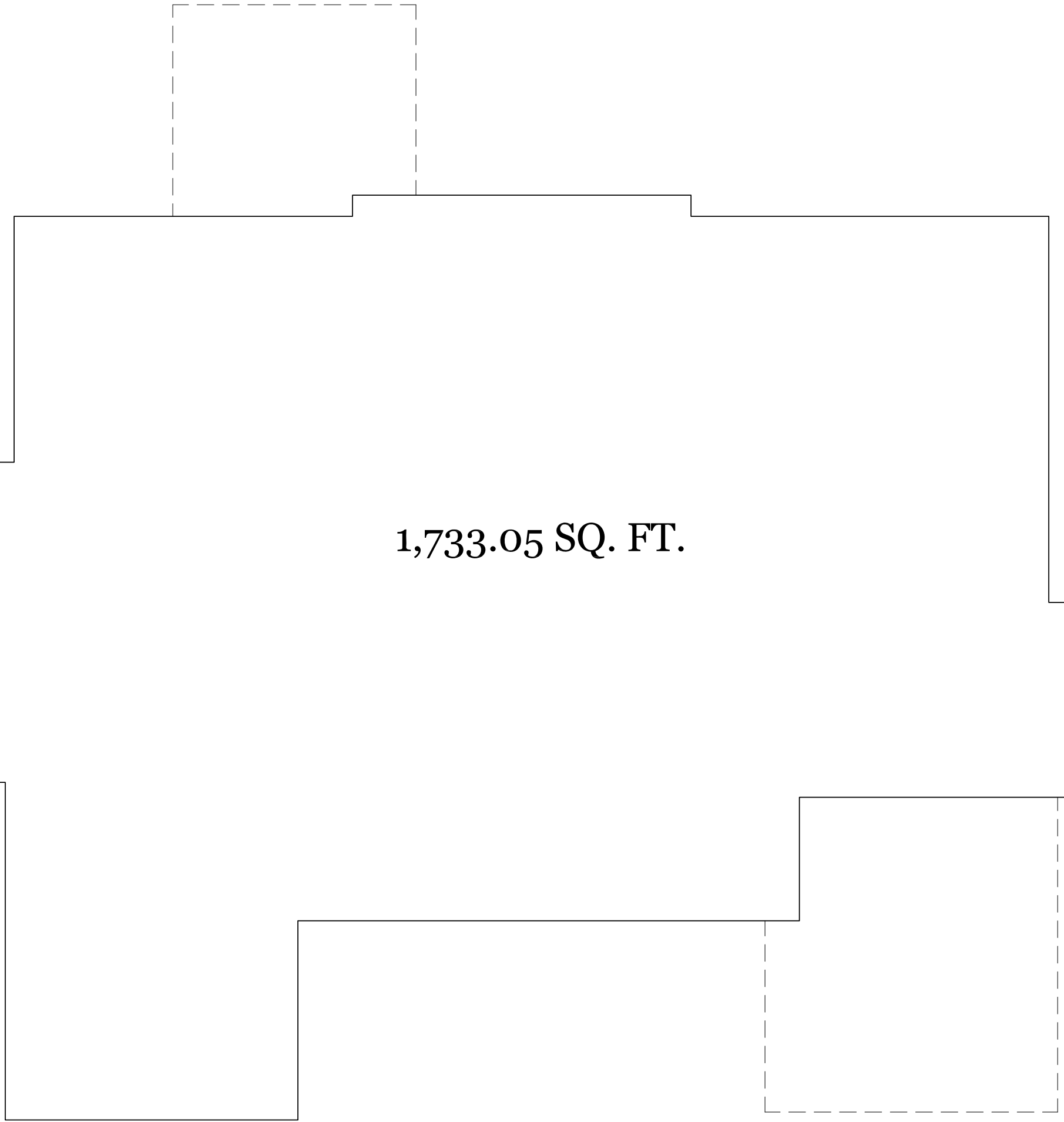
A4.1



299.70 SQ. FT.

ATTIC F.A.R.

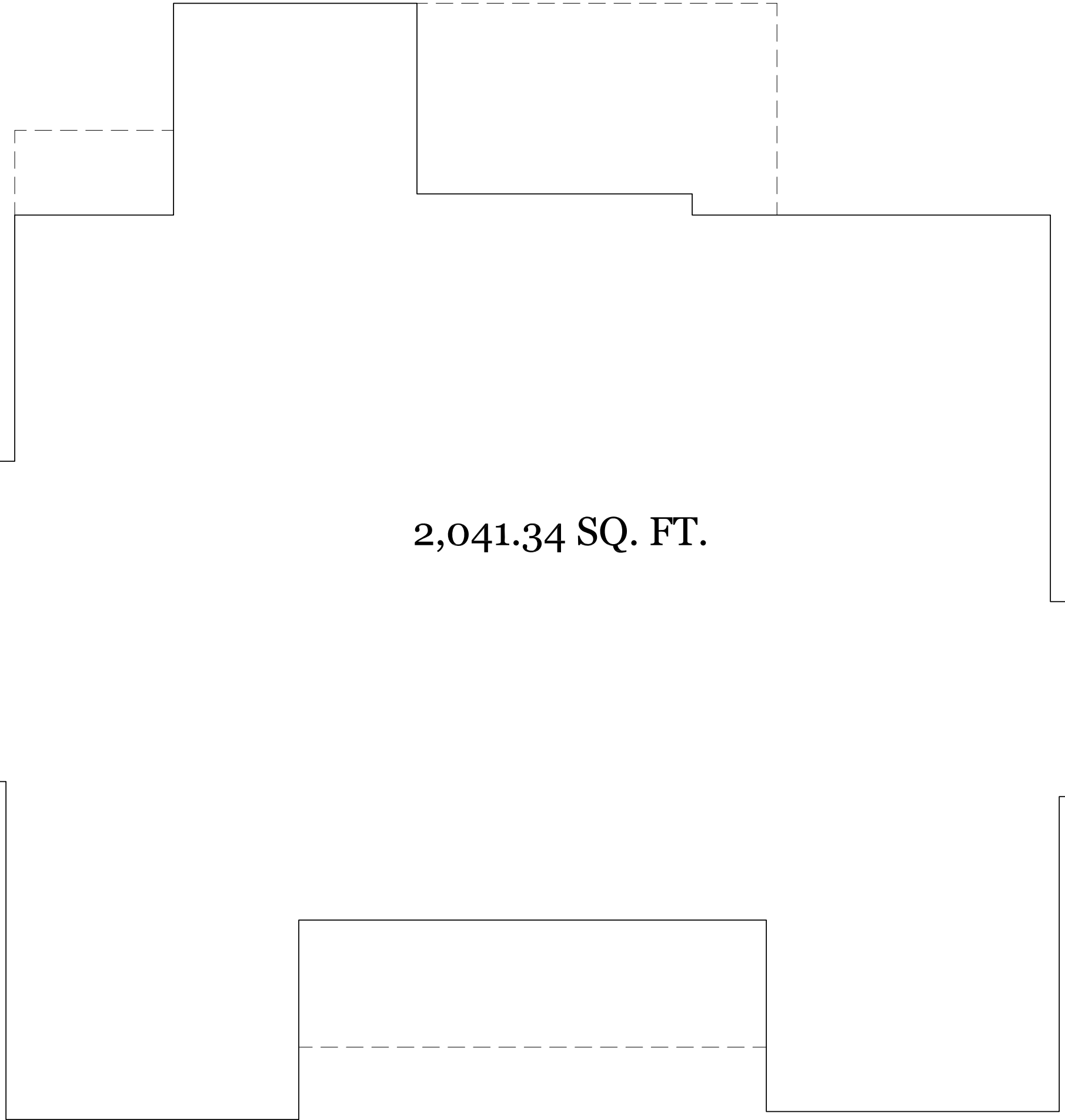
SCALE: 3/16" = 1'-0"



1,733.05 SQ. FT.

SECOND FLOOR F.A.R.

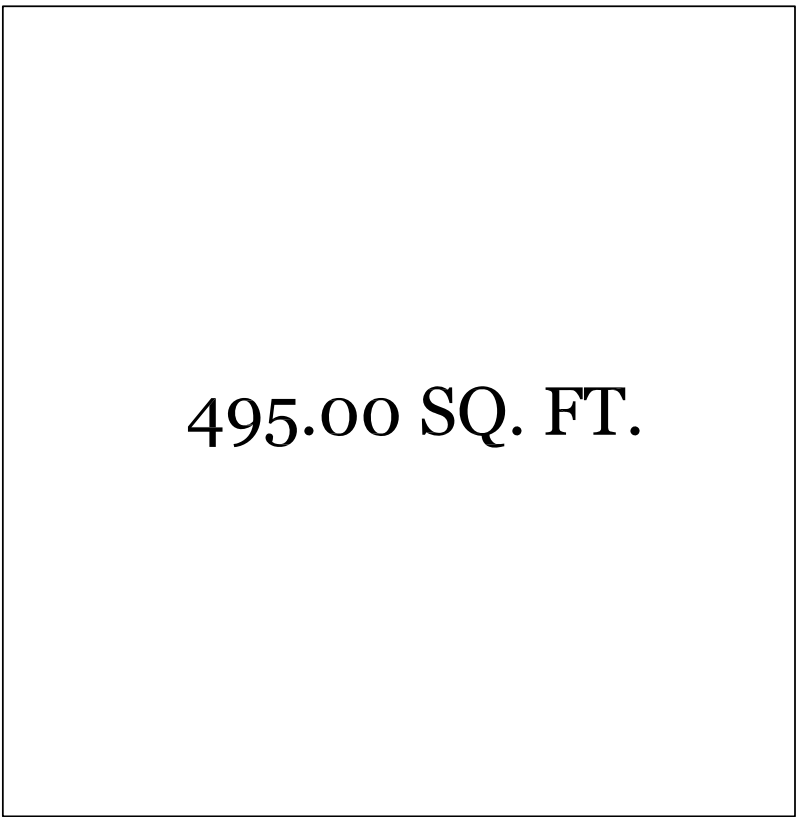
SCALE: 3/16" = 1'-0"



2,041.34 SQ. FT.

FIRST FLOOR F.A.R.

SCALE: 3/16" = 1'-0"



495.00 SQ. FT.

GARAGE FLOOR F.A.R.

SCALE: 3/16" = 1'-0"

F.A.R. CALCULATIONS	
FIRST FLOOR	2,041.34 SQ. FT.
DET. GARAGE (LESS HALF)	247.50 SQ. FT.
SECOND FLOOR	1,733.05 SQ. FT.
THIRD FLOOR/ATTIC (under 20%)	(299.70 SQ. FT.)
TOTAL PROPOSED FAR	4,021.89 SQ. FT.
TOTAL ALLOWABLE FAR	4,024.20 SQ. FT.

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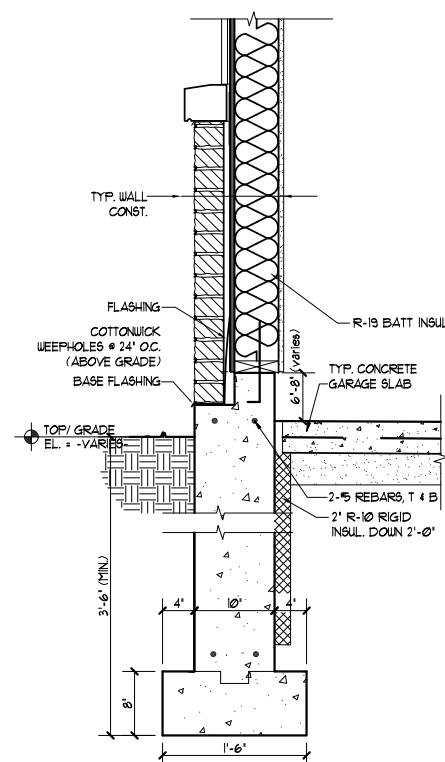
Greenside Spec Home

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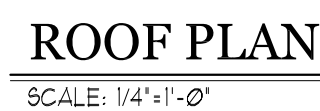
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A5.0



GARAGE WALL SECTION



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GARAGE PLANS

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SHEET NO.

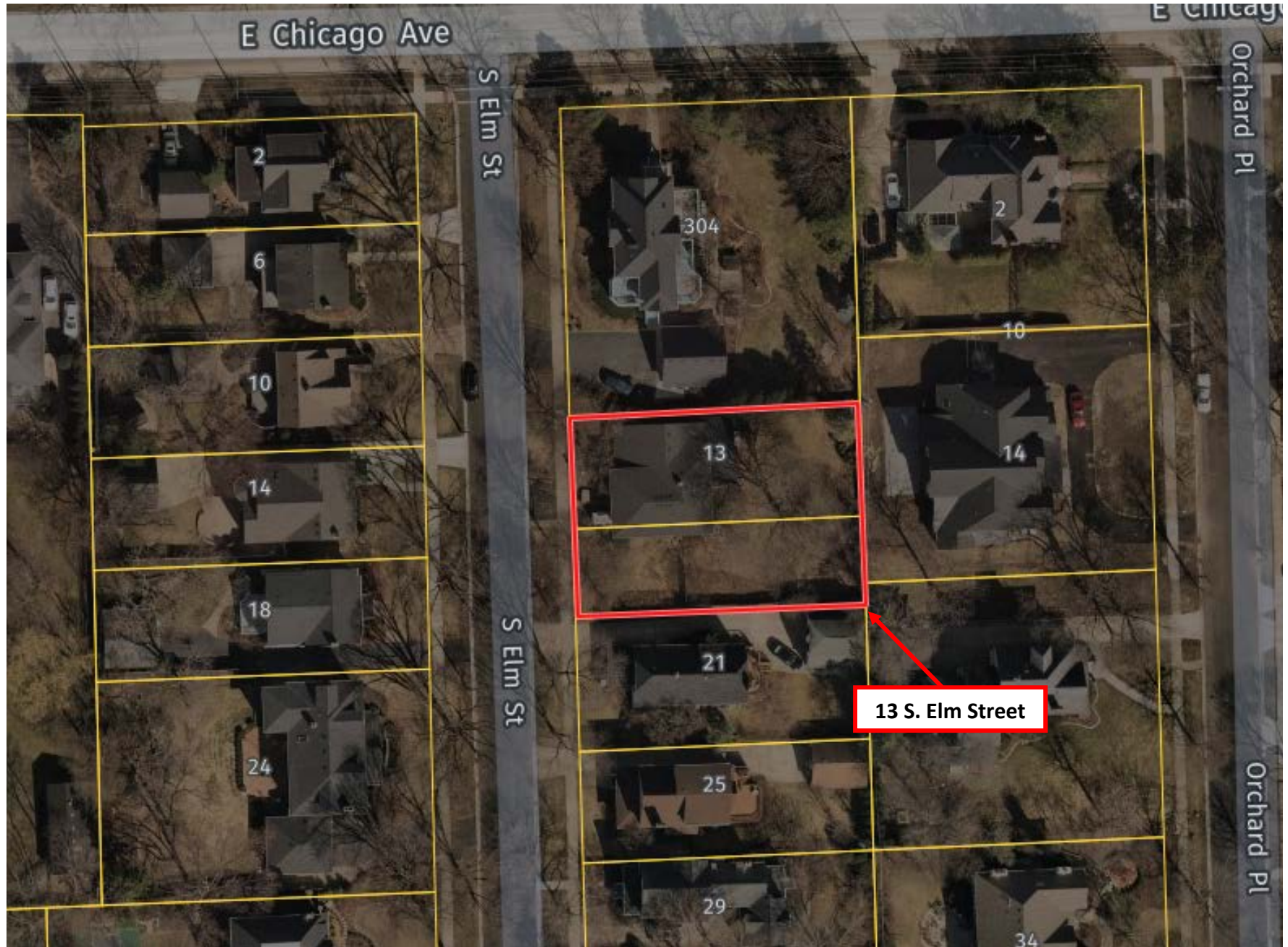
A6.0

Chicago Ave.

13 S. Elm Street

First St.

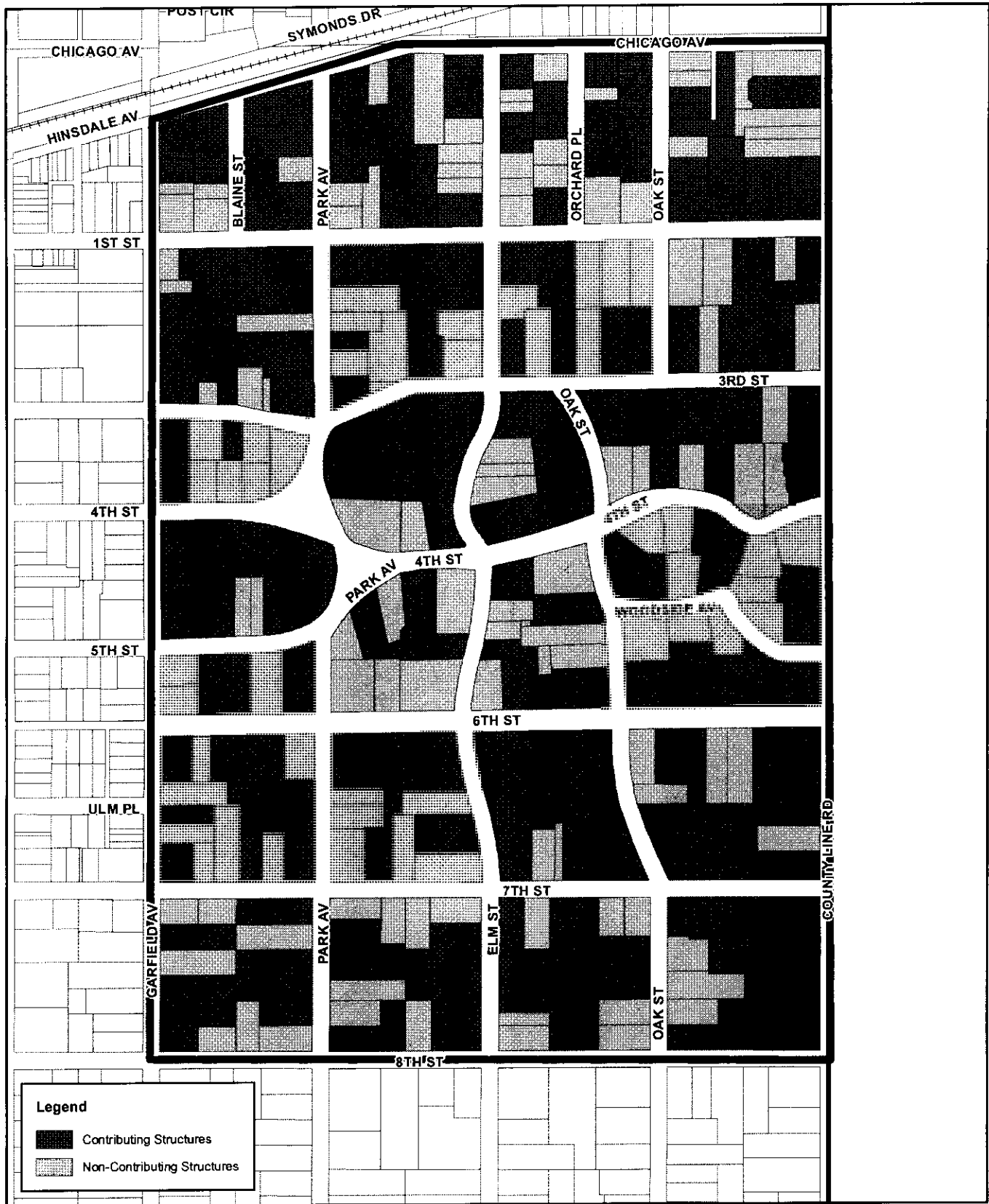
Aerial View – 13 S. Elm Street



Birds Eye View – 13 S. Elm Street



ROBBINS PARK HISTORIC DISTRICT



GRANACKI
HISTORIC CONSULTANTS

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 8

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO	STREET	ARCHCLASS	DATE	HISTORIC NAME	P OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
710	S COUNTY LINE	Colonial Revival	1915	Dart, Guy House	C	C	Chatten & Hammond		detached garage
720	S COUNTY LINE	Colonial Revival	1938	Miller House	C	-	White & Weber		
730	S COUNTY LINE	Colonial Revival	1939	Dilworth, R. M. House	C	-	West, Philip Duke		
740	S COUNTY LINE	Colonial Revival	1939	Cornell, A. House	C	-	Field, Harford		
119	E EIGHTH	Neo-Traditional	1994		NC	-	CVG & Assoc.	Dressler, Phil	
125	E EIGHTH	Neo-Traditional	2003- 05		NC	-	R.A.M.	Kay Brothers	
135	E EIGHTH	Neo-Traditional	1997		NC	-	Olson, Steven	Dressler, Phil & Assoc.	
211	E EIGHTH	Split-Level	1950	Morgenson, Ray House	C	-	Hosek, Joseph E.	Vincent, G. H.	
219	E EIGHTH	Craftsman	1924		C	NC			detached garage
223	E EIGHTH	Shed Style	1978		NC	-	Vostal, John	Wendell, A. W. & Sons	
325	E EIGHTH	Tudor Revival	1928	Thompson, W. W. House	C	C; C	Zook, R. Harold		Detached garage; Shed
425	E EIGHTH	Colonial Revival	1937	Allbright, Norman J. House	C	-	Schmidt, Garden & Erickson	Barnard, A. B. Co.	
441	E EIGHTH	French Eclectic	1939	Rollins, Willis J. House	C	NC	Field, Harford		Shed
2	S ELM	Tudor Revival	c. 1925		C	C			detached garage
6	S ELM	Colonial Revival	c. 1925		C	C			detached garage
10	S ELM	No style	c. 1905		C	C			detached garage
13	S ELM	Split-Level	1960s		NC	-			
14	S ELM	Colonial Revival	c. 1925		C	NC			detached garage
18	S ELM	Dutch Colonial Revival	c. 1920		C	NC			detached garage
21	S ELM	Craftsman	c. 1910		C	C			detached garage
24	S ELM	Colonial Revival	c. 1910		NC	-			
25	S ELM	Gable Front	c. 1900		C	C			detached garage

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.



MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-03-2021 – 29 E. 1st Street – Egg Harbor Café – Installation of One (1) Wall Sign

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received a sign application from Doyle Signs, Inc., on behalf of Egg Harbor Cafe, to install one (1) new wall sign at 29 E. 1st Street. The existing two-story building is located in the B-2 Central Business District and the Downtown Historic District.

Request and Analysis

The applicant is requesting to install one (1) new wall sign on the existing canopy feature of the building located at 29 E. 1st Street. The tenant space was previously occupied by Harry & Eddie's restaurant, which was approved for a 30 square foot sign with solid black text on a white background.

The proposed wall sign for Egg Harbor Café will measure 22'-½" tall and 15'-7" wide, with an overall sign face area of 29.2 square feet. The wall sign will consist of solid white text on a dark red background. The flat cut out letters will measure 19'-½" tall and 12'-2 ¾" wide.

As shown on the submitted plans, the existing black trim on the top and bottom of the canopy will remain as is and will not be repainted. The decorative black detail and white background on the sides of the canopy feature will also remain as is. The sign is currently illuminated by exterior light fixtures, which will be utilized to light the new sign.

Per Section 9-106(J), in the B-2 District, a maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot. The wall sign is comparable in size to the former sign for Harry & Eddie's and meets the sign code requirements listed in Section 9-106.

Process

Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.



MEMORANDUM

Attachments

1. Sign Application and Exhibits
2. Zoning Map and Project Location
3. Birds Eye View of 29 E. 1st Street
4. Street View of 29 E. 1st Street



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

RECEIVED

APR 02 2021

Applicant

Name: Egg Harbor Cafe
Address: 29 E 1st Ave
City/Zip: Hinsdale, IL
Phone/Fax: (847) 475-5100 /
E-Mail: Ghallen@eggharborcafe.com
Contact Name: Graham Hallen

Contractor

Name: Doyle Signs, Inc
Address: 232 W Interstate Road
City/Zip: Addison, IL
Phone/Fax: (630) 543-9490 / 543-9493
E-Mail: Permits@Doylesigns.com
Contact Name: Lisa Neal

ADDRESS OF SIGN LOCATION: 29 E 1st Street

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION Down Lit

Sign Information:

Overall Size (Square Feet): 19.9 (12' 2-3/4" x 19-1/2")

Overall Height from Grade: 13.42 Ft.

Proposed Colors (Maximum of Three Colors):

- ① Bronze background
- ② White Letters
- ③

Site Information:

Lot/Street Frontage: 52'

Building/Tenant Frontage: 30'

Existing Sign Information:

Business Name: Harry & Eddies

Size of Sign: 20 Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Lisa Hallen
Signature of Applicant

3/30/21
Date

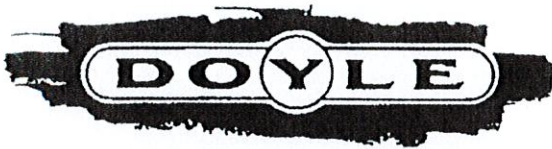
Please see attached
Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: Administrative Approval Date:



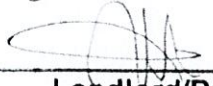
Doyle Signs, Inc., General Sign Contractors
232 Interstate Road, P.O. Box 1068
Addison, IL 60101
Office: (630)543-9490 Fax: (630)543-9493
e-mail address: info@doylesigns.com

2/16/2021

RE: Egg Harbor Cafe
29 East 1st Avenue
Hinsdale, IL

We are proposing to pull permits and do the sign work shown in the attached drawings. We require landlord/property owner approval to permit this work and perform the work.

Can you please review the attached drawings and if approved, sign this letter in the area provided below? Your signature on this letter confirms your approval as landlord or property owner for the above property for Doyle Signs, Inc. to perform and permit the sign work shown in the drawings attached.

29 East 1st, LLC
X 

Landlord/Property Owner Signature
J. Javors, Manager 2/16/2021

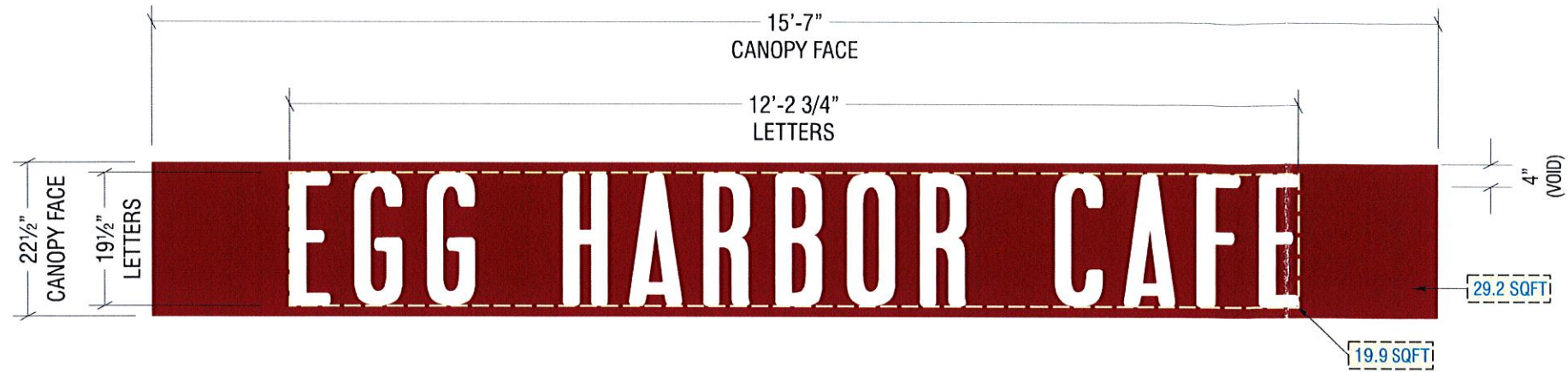
Printed Name and date
c/o Midwest Property Group, LLC
520 West Erie #130
Chicago, IL 60657

Company Name, Address and Phone 312-337-3700, 112

Alternate forms of approval include a letter on your letterhead saying the same and referencing the attached drawings or a formal stamp and signature on the drawings attached. Thank you in advance for your help with this. My contact information is below in case you need anything additional to review this request.

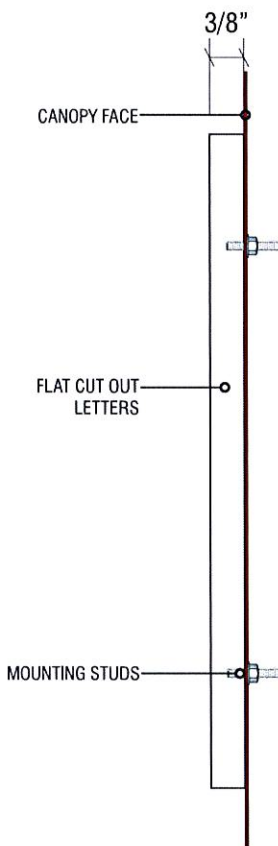
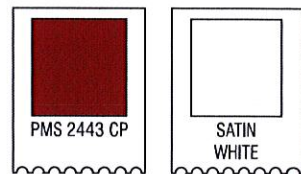
Sincerely,


John E. Streetz
Doyle Signs, Inc.
232 W Interstate Road
Addison, IL 60101
630-543-9490 office
630-543-9493 fax

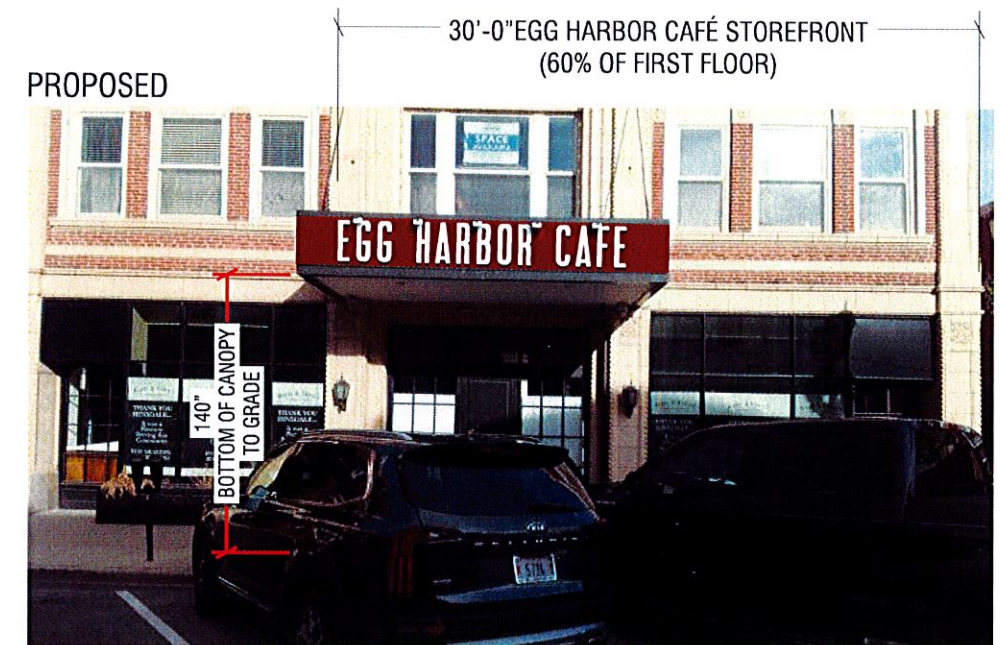


A ONE(1) SET OF FCO PLEX LETTERS ON REPAINTED CANOPY
SCALE 1/2" = 1'

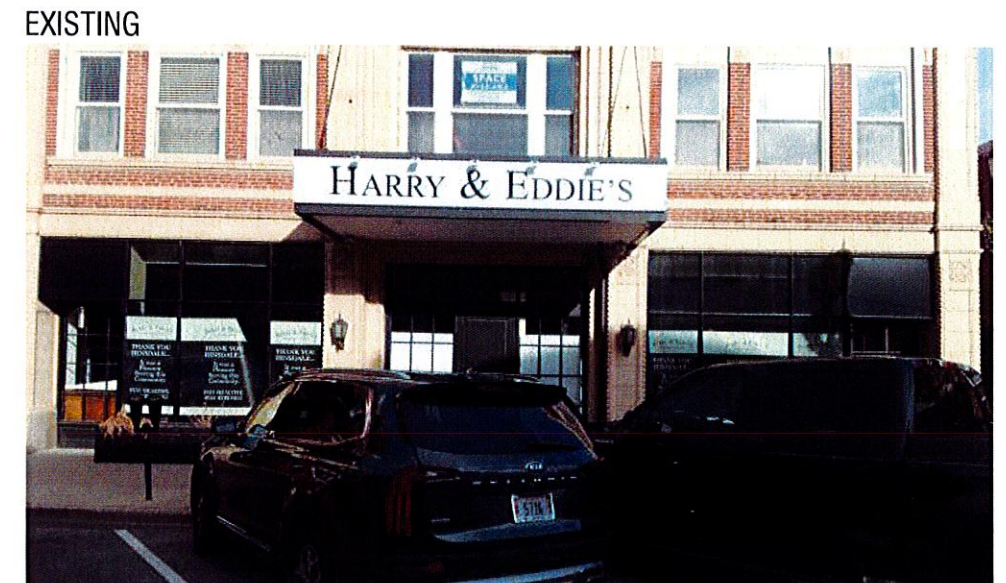
- REMOVE EXISTING "HARRY & EDDIES" LETTERS & REPAINT TO MATCH PMS 2443 CP
- FURNISH & INSTALL NEW 14 1/2" TALL 3/8" THK. WHITE PLEX FCO LETTERS
- RE-USE EXISTING LIGHT FIXTURES



CANOPY SIDES TO REMAIN AS IS



SCALE: 1/8" = 1'



DATE	REVISION
1-31-20	CHANGE QTY PER JST - KD
1.21.21	REVISED SCOPE OF WORK - km
1.21.21	REVISED PER JST - km
2.4.21	UPDATE PANEL AND TEXT SIZE PER JST - KD
2.12.21	UPDATE SQ FT PER JST - KD
3.25.21	REVISED PER JST - km

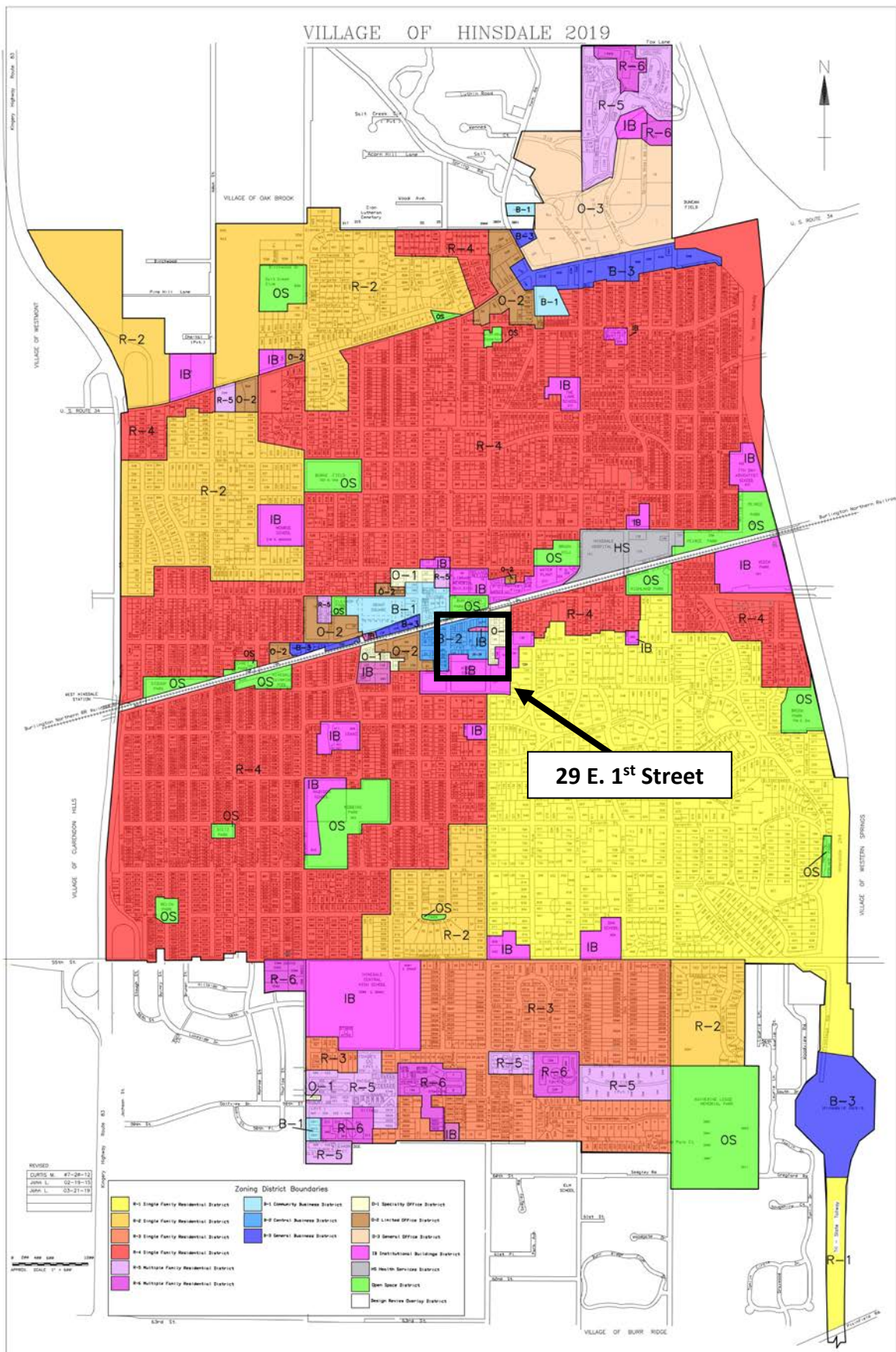
CUSTOMER APPROVAL _____ DATE _____

This design is the original and unpublished work of DOYLE SIGNS, INC. and may not be reproduced, copied or exhibited in any fashion without the expressed written consent from an authorized officer of The Company. The rights to this design may be purchased.

CLIENT	EGG HARBOR CAFÉ (VINYL)				
ADDRESS	HINSDALE				
CITY	CHICAGO	STATE	IL	DESIGNER	KD
SALESPERSON	JST	DATE:	12-29-20	SHEET NO.	1
DRWG. NO.	21010	SCALE:	NOTED		

O:\Design\EGG HARBOR CAFE\HINSDALE IL\EGG HARBOR CAFE HINSDALE v6.cdr

Village of Hinsdale Zoning Map and Project Location



The map shows a neighborhood with several streets and buildings. A red rectangle highlights a specific location on First Street, labeled '29 E. 1st Street'. The map includes labels for 'BURLINGTON PARK', 'First St.', 'Middle School', and 'Symonds'. A large 'IB' logo is prominently displayed in the center.

Birds Eye View – 29 E. 1st Street



Street View – 29 E. 1st Street





MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-06-2021 – 34 E. Hinsdale Avenue – Bake Homemade Pizza – Installation of One (1) Wall Sign

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received a sign application from Aubrey Sign Company to install one (1) new wall sign for Bake Homemade Pizza located at 34 E. Hinsdale Avenue. The existing one-story building is located in the B-2 Central Business District and the Downtown Historic District.

Request and Analysis

The applicant is requesting to install one (1) new wall sign for a new restaurant tenant, Bake Homemade Pizza, located at 34 E. Hinsdale Avenue. The proposed non-illuminated wall sign measures 27.5" tall and 120" wide, with an overall sign face area of 22.9 square feet. The wall sign consists of red and black router cut acrylic letters on a solid white aluminum background. The logo, graphics, and accessory text will be applied adhesive vinyl.

Per Section 9-106(J), in the B-2 District, a maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot. The proposed wall sign meets the sign code requirements listed in Section 9-106.

Process

Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.

Attachments

1. Sign Application and Exhibits
2. Zoning Map and Project Location
3. Birds Eye View – 34 E. Hinsdale Avenue
4. Street View – 34 E. Hinsdale Avenue



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

RECEIVED

APR 02 2021

Applicant

Name: Aubrey Sign Company
Address: 1847 Suncoast Lane
City/Zip: Batavia, IL 60510
Phone/Fax: (630) 482-9901
E-Mail: mike@aubreysigns.com
Contact Name: Mike Hoffer

Contractor

Name: Aubrey Sign Company
Address: 1847 Suncoast Lane
City/Zip: Batavia, IL 60510
Phone/Fax: (630) 482-9901
E-Mail: mike@aubreysigns.com
Contact Name: Mike Hoffer

ADDRESS OF SIGN LOCATION: 34 East Hinsdale Ave

ZONING DISTRICT: Please Select One

SIGN TYPE: Please Select One wall flat panel

ILLUMINATION Please Select One NONE

Sign Information:

Overall Size (Square Feet): 23 (27.5" x 120")

Overall Height from Grade: 14 Ft.

Proposed Colors (Maximum of Three Colors):

- ① Red
- ② Black
- ③ Gold

Site Information:

Lot/Street Frontage: 18 feet

Building/Tenant Frontage: 18 feet

Existing Sign Information: NONE

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Mike Hoffer
Signature of Applicant

3-29-2021
Date

see attached for signature
Signature of Building Owner

Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Aubrey Sign Company
 Address: 1847 Suncoast Lane
 City/Zip: BATAVIA, IL 60510
 Phone/Fax: 630 482-9901
 E-Mail: mike@aubreysigns.com
 Contact Name: Mike Hoffer

Contractor

Name: Aubrey Sign Company
 Address: 1847 Suncoast Lane
 City/Zip: BATAVIA, IL 60510
 Phone/Fax: 630 482 9901
 E-Mail: mike@aubreysigns.com
 Contact Name: Mike Hoffer

ADDRESS OF SIGN LOCATION: 34 East Hinsdale Ave

ZONING DISTRICT: Please Select One

SIGN TYPE: Please Select One wall - flat panel

ILLUMINATION Please Select One NONE

Sign Information:

Overall Size (Square Feet): 23 (27.5" x 126")

Overall Height from Grade: 14 Ft.

Proposed Colors (Maximum of Three Colors):

- ☒ Red
- ☒ Black
- ☒ Gold

Site Information:

Lot/Street Frontage: 18 feet

Building/Tenant Frontage: _____

Existing Sign Information: NONE

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

3-29-2021

Signature of Building Owner

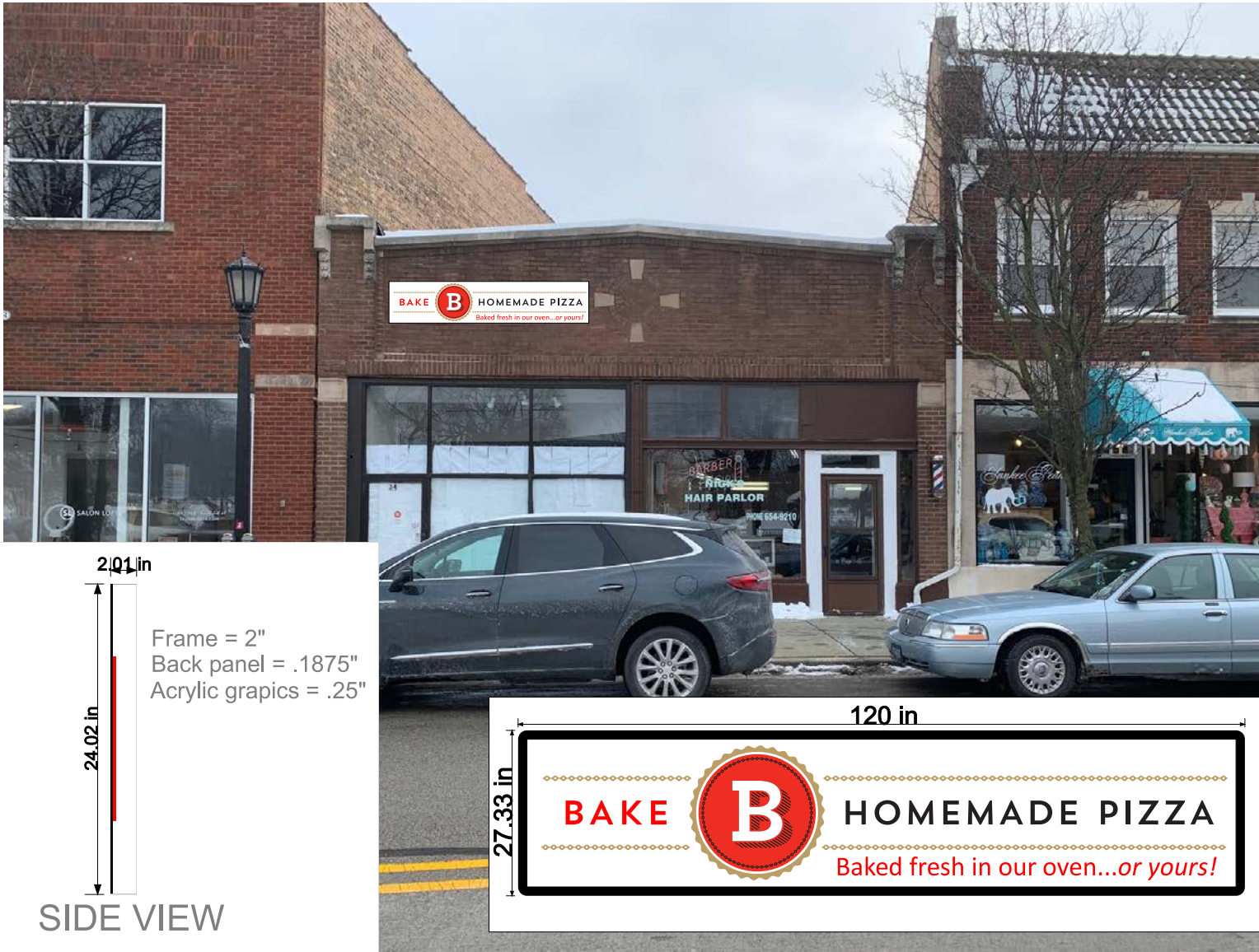
Date

3-29-2021

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



SIDE VIEW

Sign details: Non-illuminated, flat, aluminum, sign with extruded aluminum frame. 1/4" router cut acrylic letters, "BAKE HOMEMADE PIZZA." Other lettering and graphics are applied adhesive vinyl.
 Dimensions: 27.5" H x 120" W = 23 sq. ft.
 Allowable sign limit: 25 sq. ft.
 Special Notes: Sign cannot overlap decorative medallion on building signband.

Account:
 BAKE HOMEMADE
 PIZZA

Location:
 34 HINSDALE AVE
 HINSDALE, IL

Date: 3/29/21
 43REVISED

THIS ARTWORK REMAINS THE INTELLECTUAL PROPERTY OF THE AUBREY SIGN CO. UNTIL PAID FOR, IN FULL, BY CUSTOMER. USE OF THIS ARTWORK FOR ANY COMMERCIAL PURPOSE WITHOUT OUR WRITTEN PERMISSION WILL RESULT IN A \$1,000 PENALTY.

PLEASE REVIEW, SIGN AND DATE THIS -- INDICATING YOUR APPROVAL.

approved by _____

date _____

Aubrey
 SIGN CO.

1847 Suncast Lane
 Batavia, IL 60510

Ph: 630-482-9901
 Fax: 630-482-9906

www.aubreysigns.com

Email:
mike@aubreysigns.com

The map shows a neighborhood layout with several key features:

- Burlington Park (Green Block):** Located at the top, labeled "BURLINGTON PARK" with a large "OS" and the number "30".
- Blue Residential Blocks:** Contain various lot numbers (e.g., 102, 104, 106, 108, 110, 112, 118) and street names like "First St." and "Middle School".
- Pink Block:** A central block with a red arrow pointing to a location labeled "34 E. Hinsdale Avenue".
- Yellow Block:** Located on the right, containing a grid of numbers (e.g., 23, 27, 33, 35, 105, 115, 18, 22, 26, 32, 38, 101, 103, 111, 116, 120, 137).
- Middle School (Pink Block):** A large pink block at the bottom labeled "MIDDLE SCHOOL".

Birds Eye View – 34 E. Hinsdale Avenue



Street View – 34 E. Hinsdale Avenue





MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-07-2021 – 10 E. 1st Street – Expression Gallery of Fine Art – Installation of One (1) Wall Sign

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received a sign application from Concorde Signs, LLC to install one (1) new wall sign for Expression Gallery of Fine Art at 10 E. 1st Street. The existing one-story building is located in the B-2 Central Business District and the Downtown Historic District.

Request and Analysis

The applicant is requesting to install one (1) new wall sign for a new tenant, Expression Gallery of Fine Art, located at 10 E. 1st Street. The proposed non-illuminated wall sign measures 28" tall and 96" wide, with an overall sign face area of 18.6 square feet. The wall sign consists of gold vinyl text on a solid black metal background.

Per Section 9-106(J), in the B-2 District, a maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot. The proposed wall sign meets the sign code requirements listed in Section 9-106.

Process

Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.

Attachments

1. Sign Permit Application and Exhibits
2. Zoning Map and Project Location
3. Birds Eye View of 10 E. 1st Street
4. Street View of 10 E. 1st Street



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: Expression Gallery of Fine Art
Address: 10 E First St
City/Zip: Hinsdale IL 60521
Phone/Fax: (630) 986 / 9848
E-Mail: expressionfineart@sbcglobal.net
Contact Name: Eva Jaroszewicz

Contractor

Name: Concorde Signs LLC
Address: 483 W. Wrightwood Ave
City/Zip: Elmhurst IL 60126
Phone/Fax: (630) 530 / 9019
E-Mail: concorde@ameritech.net
Contact Name: Sue

ADDRESS OF SIGN LOCATION: 10 E. FIRST STREET

ZONING DISTRICT: Please Select One : B2 - Central Business District

SIGN TYPE: Please Select One wall sign

ILLUMINATION Please Select One None

Sign Information:

Overall Size (Square Feet): 18.4 (96in x 28in)

Overall Height from Grade: 8.5 Ft.

Proposed Colors (Maximum of Three Colors):

- ① Black background
- ② Gold lettering
- ③ _____

Site Information:

Lot/Street Frontage: 20 FEET BY 60 FEET

Building/Tenant Frontage: " "

Existing Sign Information:

Business Name: Turquoise

Size of Sign: unknown Square Feet

Business Name: Expression Gallery of Fine Art

Size of Sign: 18.4 (96x28in) Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Eva Jaroszewicz
Signature of Applicant

3/16/2021
Date

[Signature]
Signature of Building Owner

03/16/2021
Date

RECEIVED

APR 06 2021

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

Firsdale LLC
c/o Midwest Property Group, Ltd.
520 W. Erie Street, Suite 430
Chicago, IL 60654

312/337-3700
Fax: 312/337-3710

April 6, 2021


Re: EXPRESSION FINE ART
 10 E. FIRST STREET, HINSDALE, IL

To whom it may concern -

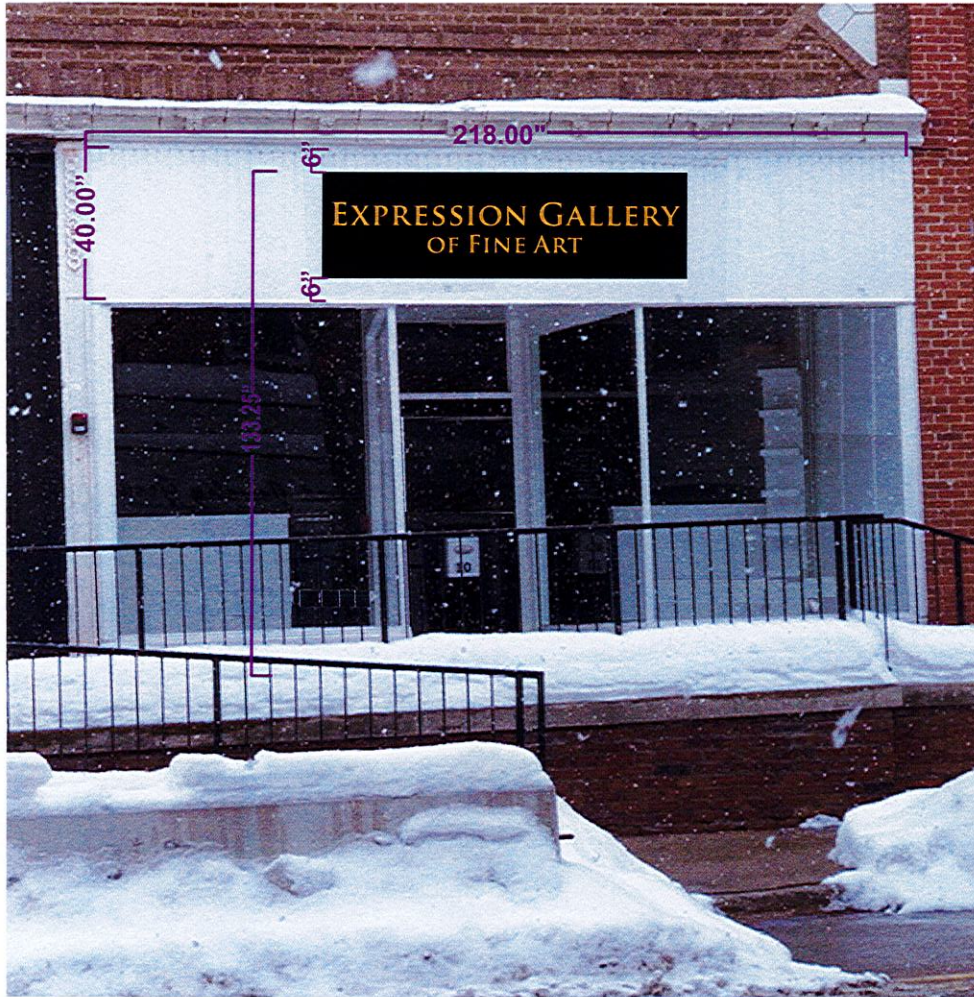
This is to confirm that the subject property is owned by Firsdale LLC whose authorized agent is Midwest Property Group, Ltd. Both Firsdale LLC and/or Midwest Property Group, Ltd. can sign for and approve drawings signs, and permit applications.

Please contact the undersigned if you have questions.

Firsdale LLC.


J. Javors, Manager

96.00"



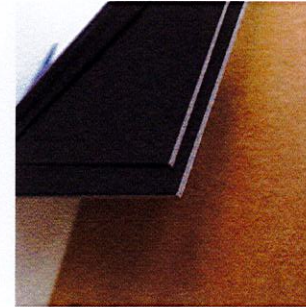
Sign Area Measures: 218.00"w x 40"h
(Area of space above door/windows)

Area of Space above and below proposed sign: 6"
(within area of 'sign area')

Top of Proposed Sign from Grade: 133.25" approx.

Overall Proposed Sign Size: 96"w x 28"h

Proposed Material for Sign Backer -
3mm Maxmetal



3mm Thick
(approx 1/8")

Date: 4/1/2021

CUSTOMER INFORMATION

Company Name:
Expression Gallery of Fine Art

Contact: Eva Jaroszewicz

Job Name: Exterior Building Sign

Phone #: 630.986.9848

E-Mail:
expressionfineart@sbcglobal.net

Job Location: 10 E. First St., Hinsdale

SIGN INFORMATION

MATERIAL: Black Maxmetal Backer
w/ Gold Vinyl Applied to Face

Non-Illuminated Sign

BACKGROUND COLOR: Black

COPY COLOR: Gold Vinyl

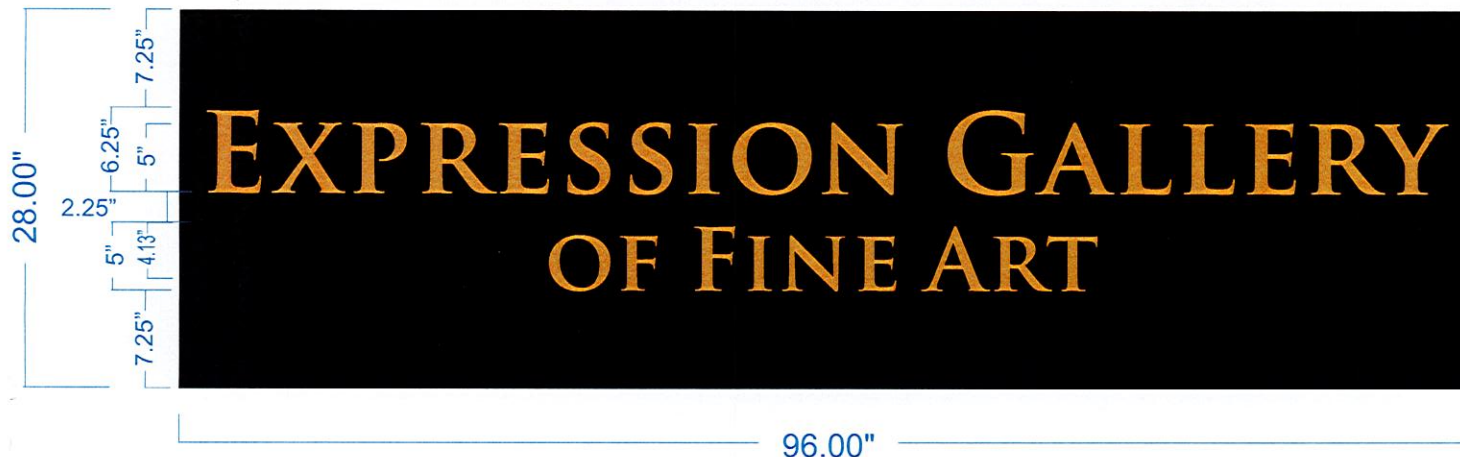
TEXT: Per Layout

MOUNT: Mechanical Fasteners

QTY: One (1)

FONT: Trajan Pro Bold

SIZE: 96"w x 28"h



Aaa: Expression Gallery:10 E 1st:"Village Info 4-1-2021

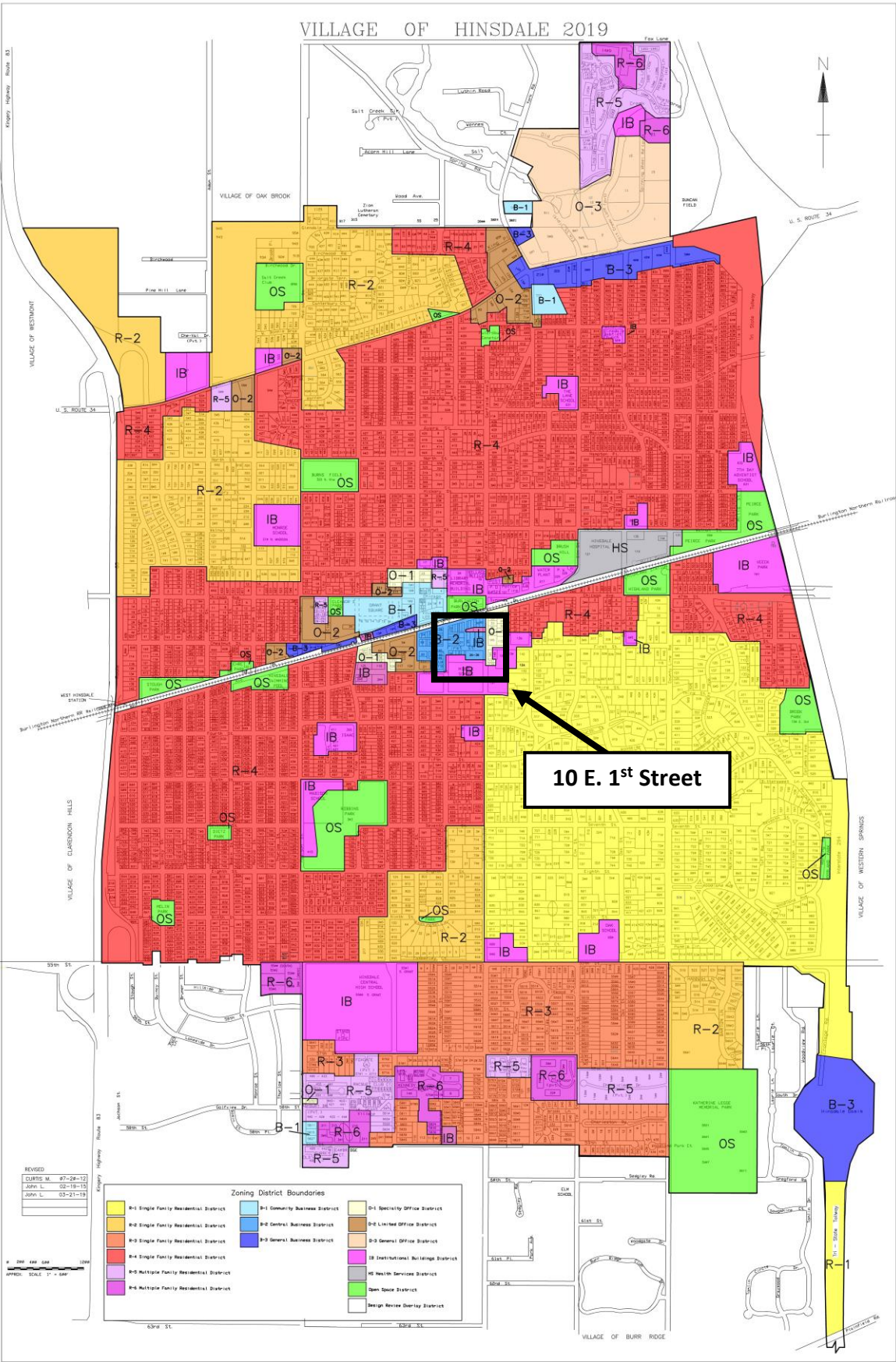
CONCORDE
Signs LLC

483 W. Wrightwood Ave., Elmhurst, IL 60126

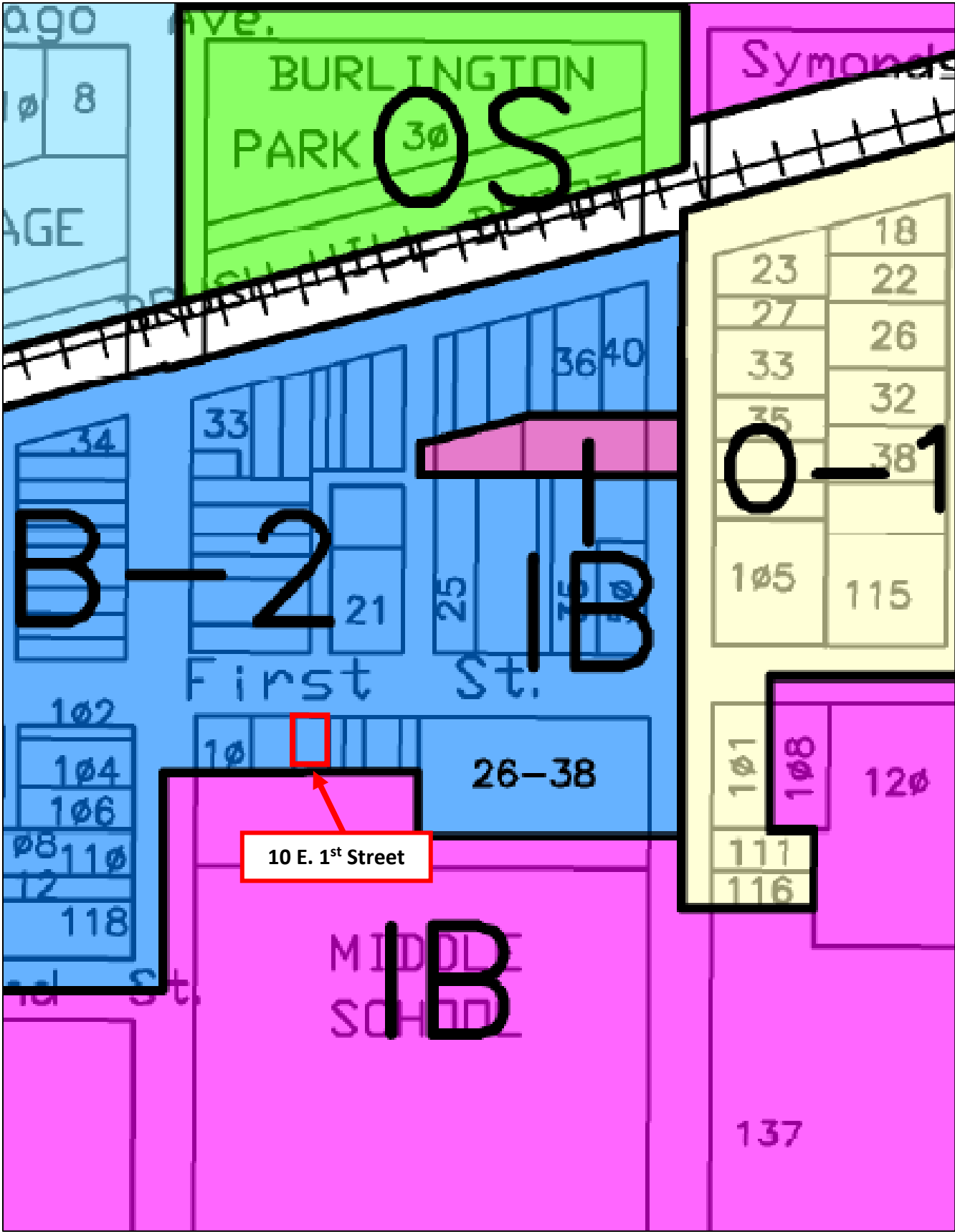
630-530-9019 FAX: 630-530-9015

EMAIL: CONCORDE@AMERITECH.NET

Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Birds Eye View – 10 E. 1st Street



Street View – 10 E. 1st Street





MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-09-2021 – 48 S. Washington Street, Unit 2 – Meredith Jaye – Installation of One (1) Wall Sign

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received a sign application from Meredith Jaye seeking approval to install one (1) new wall sign for Meredith Jaye located at 48 S. Washington Street, Unit 2. The existing one-story building is located in the B-2 Central Business District and the Downtown Historic District.

Request and Analysis

The applicant is requesting to install one (1) new wall sign for a new a clothing and gift boutique store, Meredith Jay, located at 48 S. Washington Street, Unit 2. The proposed non-illuminated wall sign measures 13" tall and 65" wide, with an overall sign face area of 5.8 square feet. The wall sign consists of white aluminum channel letters that will be directly mounted on to the black painted wood area above the storefront window.

Per Section 9-106(J), in the B-2 District, a maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot. The proposed wall sign meets the sign code requirements listed in Section 9-106.

Process

Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees.

Attachments

1. Sign Permit Application and Exhibits
2. Zoning Map and Project Location
3. Birds Eye View - 48 S. Washington Street
4. Street View - 48 S. Washington Street



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: MEREDITH JAYE
Address: 48 S WASHINGTON ST #2
City/Zip: HINSDALE, 60521
Phone/Fax: (630) 363 / 8245
E-Mail: DFSINC490@GMAIL.COM
Contact Name: CULLEN FULLER

Contractor

Name: AFF
Address: 460 N MAIN ST #301
City/Zip: GLEN ELLYN, 60137
Phone/Fax: (630) 363 / 8245
E-Mail: CFULLER@AFFINTERIOR.COM
Contact Name: CJ FULLER

ADDRESS OF SIGN LOCATION: 48 S WASHINGTON ST #2

ZONING DISTRICT: B-2 Central Business District

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 2.70 SQ.FT. (65" W x 6" H)

Overall Height from Grade: 112" - 9.33 Ft.

Proposed Colors (Maximum of Three Colors):

- ① PURE WHITE SW 7005
- ② _____
- ③ _____

Site Information:

Lot/Street Frontage: PLEASE SEE SITE PLAN

Building/Tenant Frontage: SEE FIELD REPORT

Existing Sign Information:

Business Name: NA

Size of Sign: NA Square Feet

Business Name: NA

Size of Sign: NA Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

4-10-21

Signature of Building Owner

Date

04-19-21

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



25% STRETCHED VERSION
ELEVATION

1
1

3 = 1-0

Client: AFF INTERIORS meredith jaye HINSDALE, IL		Revision(s): revise o.a. height to 13" 04/08/21 stretched art 25% in x direction	
Approved as is <input type="checkbox"/>	Approved as noted corrections <input type="checkbox"/>	Update and resubmit for approval <input type="checkbox"/>	Approved by and date: _____
Original Drawing Date: 04/09/2021		File Name: meredith jaye	
Rebechini Studios, Inc. - 690 Fargo Avenue, Elk Grove, IL 60007 - p: 847.437.9030 - f: 847.437.9031			
This drawing is EXCLUSIVE property of Rebechini Studios, Inc. - ALL RIGHTS RESERVED - Written permission is required for reproduction			



**40% STRETCHED VERSION
STOREFRONT**



3/4 = 1-0

Client: AFF INTERIORS meredith jaye HINSDALE, IL		Revision(s): revise o.a. height to 13" 04/08/20 stretched art 25% in x direction stretched art 40% in x direction	
Approved as is <input type="checkbox"/>		Approved as noted corrections <input type="checkbox"/>	
Update and resubmit for approval <input type="checkbox"/>		Approved by and date: _____	
Original Drawing Date: 04/14/2021		File Name: meredith jaye	
Rebechini Studios, Inc. - 580 Fargo Avenue, Elk Grove, IL 60007 - p: 847.437.9030 - f: 847.437.9031			
This drawing is EXCLUSIVE property of Rebechini Studios, Inc. - ALL RIGHTS RESERVED - Written permission is required for reproduction			

SITE PLAN

Space
for
Lease
(630) 986-9400



SCHRAMKO
REAL ESTATE
www.schramko.com

***Project:** 48 S Washington #2

Date: 14/04/21

Contact:

Country:

Meredith Jaye Boutique
48 S Washington St
60521 Hinsdale, IL

Phone:

Table of Content



1. Picture

1.1 3
1.2 4
1.3 1
1.4 2

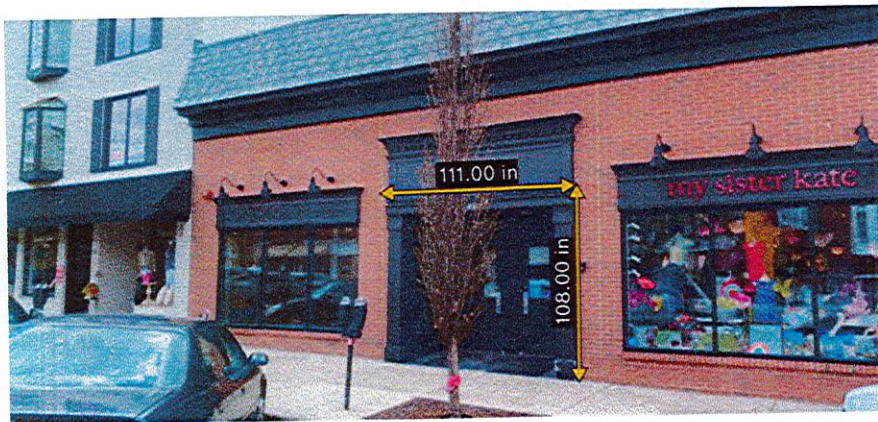
1
2
3
4



Picture : 1



 143.00 in	Length	14/04/21 1:59 PM
 112.00 in	Length	14/04/21 2:00 PM

Picture : 2



 111.00 in	Length	14/04/21 1:53 PM
 108.00 in	Length	14/04/21 1:53 PM

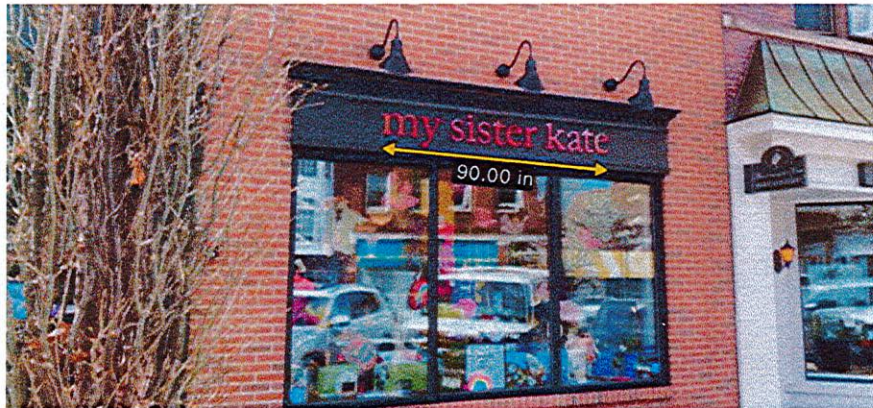
Picture : 3



↑ 108.00 in	Length	14/04/21 1:56 PM
↑ 93.00 in	Length	14/04/21 1:52 PM
↑ 44.50 in	Length	14/04/21 1:55 PM
↑ 15.00 in	Length	14/04/21 1:54 PM
↑ 143.00 in	Length	14/04/21 1:56 PM
↑ 106.00 in	Length	14/04/21 2:04 PM

Note 1: The lights stay as shown.

Picture : 4

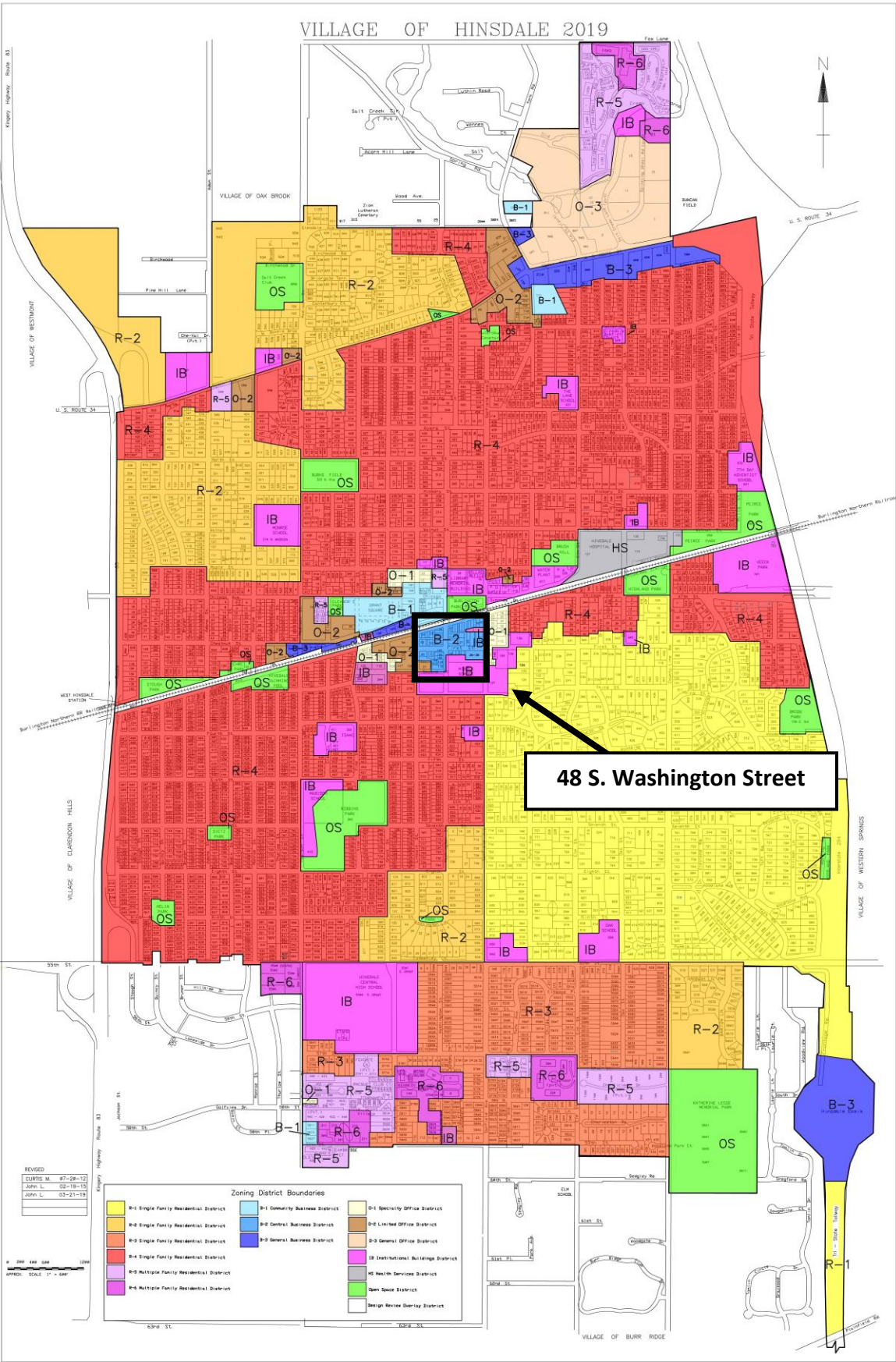


↑ 90.00 in

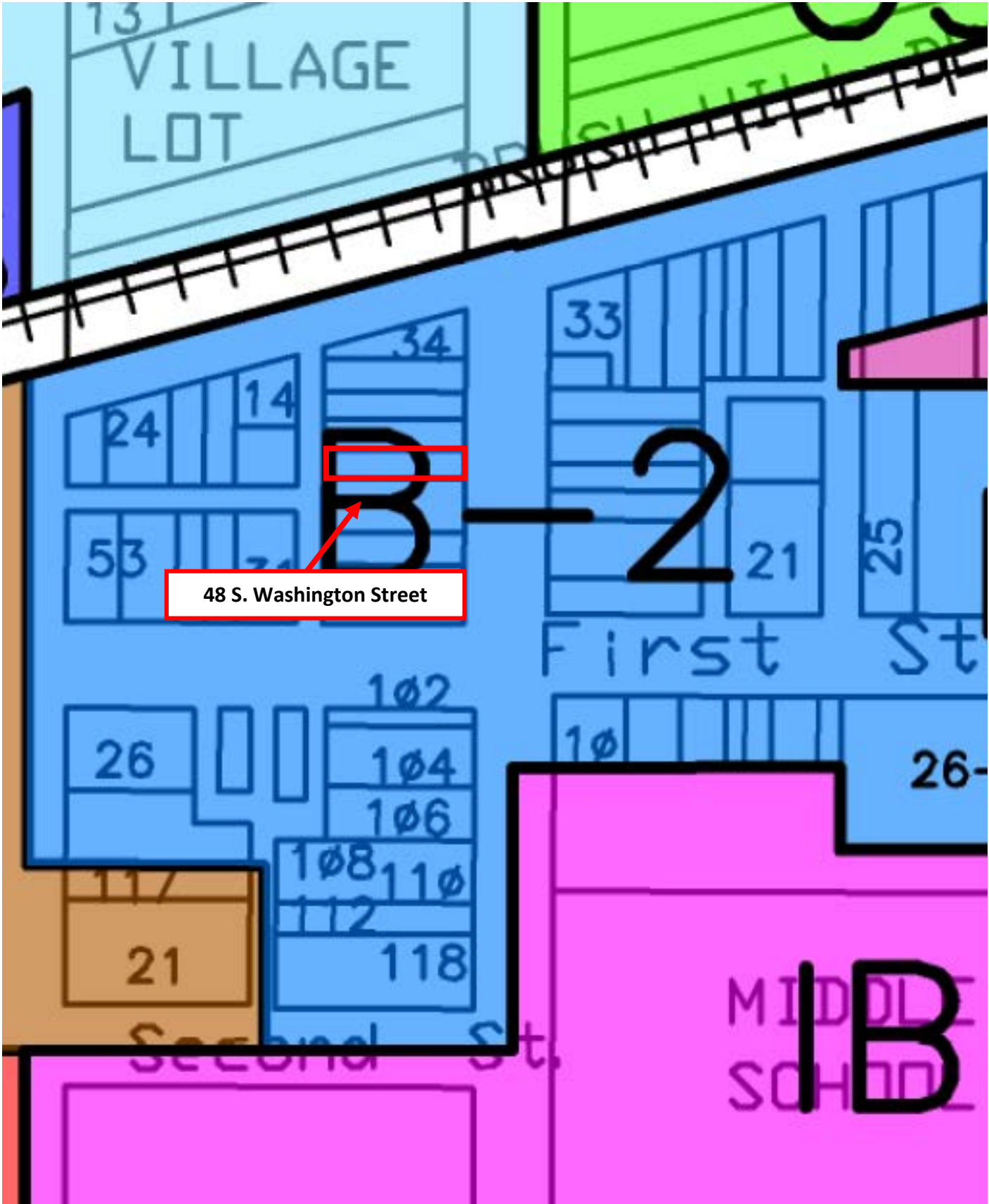
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14/04/21 2:02 PM

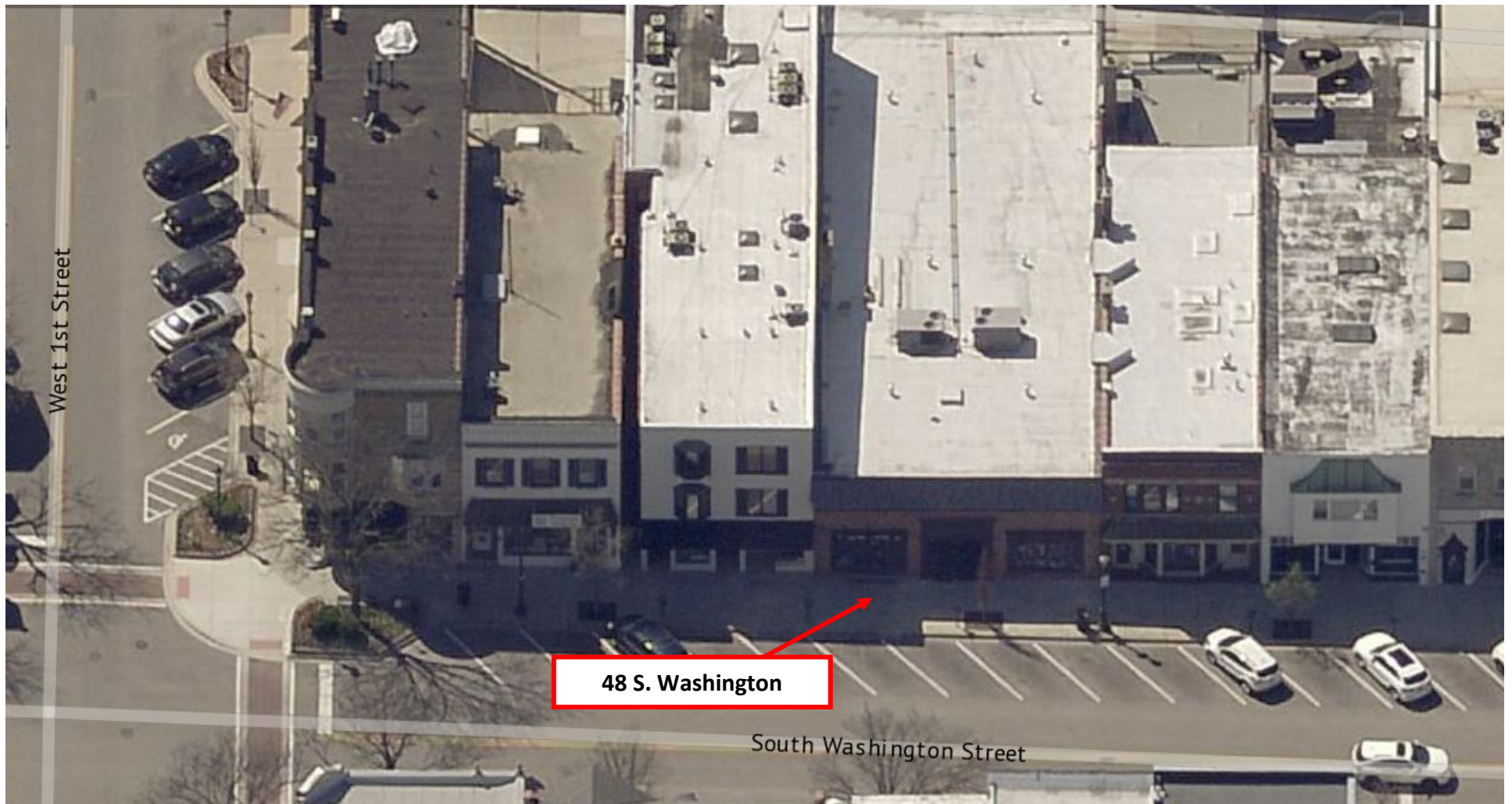
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Birds Eye View – 48 S. Washington Street



Street View – 48 S. Washington Street





MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-02-2021 – 419 S. Oak Street – Application for a Certificate of Appropriateness to Allow for Changes to the Elevations of a New Single-Family Home in the Robbins Park Historic District

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received an application from J Jordan Homes, LLC (builder) requesting approval for a Certificate of Appropriateness (COA) to allow for changes to the building elevations for a new single-family home located at 419 S. Oak Street in the Robbins Park Historic District. Alexa Piemonte is the owner of record listed on the current and previous applications. The project architect is Moment Design.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a Certificate of Appropriateness.

Background

On July 1, 2020, the HPC previously reviewed and unanimously denied a request for a COA to demolish and construct a new home (Case HPC-01-2020). The initial plans for the new house were prepared by Orren Pickell Design Group. On October 7, 2020, the HPC reviewed updated plans presented by a new applicant and builder, J Jordan Homes, and a new architect is Moment Design. At the meeting, the HPC was neutral, voting 2-2 (2 absent), on the request for the COA for the construction of the new home.

Request and Analysis

The subject property, 419 S. Oak Street, is located on a corner lot at South Oak Street and Woodside Avenue. The lot was previously occupied by a single-family home constructed in 1910 in a Classical Revival style and was considered a contributing structure in the Robbins Park Historic District according to the National Register of Historic Places. The house was previously demolished and the construction of a new single-family home is currently underway.

The applicant requests approval to allow for changes to the elevations for a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the north, east, south and west in the R-1 Single Family Residential District. The subject property is code compliant 51,030 SF lot. The application includes a colored front elevation, site plan and elevations of all sides of the new proposed 6,800 SF house.



MEMORANDUM

The applicant has provided side-by-side comparisons of the previously reviewed and proposed elevations indicating the changes to the building. On the west elevation facing Oak Street, a shed dormer has been added on the third floor. The third floor is considered habitable space and therefore requires an egress window to meet building code requirements. The applicant is also proposing the removal of the limewash on the exterior brick, minor changes to the windows on the rear (east) elevation, and minor changes to the windows for the gaming room on the north side of the building and that are visible from the north, west, and east elevations.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a certificate of appropriateness. The final decision of the Historic Preservation Commission shall be advisory only.

Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2, which are attached for review.

Attachments:

1. Application for Certificate of Appropriateness and Exhibits
2. Zoning Map and Project Location
3. Aerial View – 419 S. Oak Street
4. Robbins Park Historic District Map
5. National Register of Historic Places Sheet
6. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
7. Certificate of Appropriateness Application for Case HPC-12-2020 - Presented at the October 7, 2020 Historic Preservation Commission Meeting

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION APPLICATION
FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

419 S. Oak - Hinsdale, IL

Address _____ of _____ Property _____ under _____ review: _____
Property Identification Number: 09-12-221-004

I. GENERAL INFORMATION

1. Applicants Name: J Jordan Homes LLC
Address: 112 S Grant St
Hinsdale, IL 60521
Telephone Number: 312-320-9990
2. Owner of Record (if different from applicant): Alexa Piemonte
Address: 446 S. Cottage Hill, Elmhurst 60126
Telephone Number: 630-835-7544
3. Others involved in project (include, name, address and telephone number):
Architect: Moment Design - 201 E. Ogden #20
Hinsdale, IL 60521 630-828-8161
Attorney: _____
Builder: J Jordan Homes - 112 S. Grant
Hinsdale, IL 60521 312-320-9990
Engineer: _____

II. SITE INFORMATION

① Describe the existing conditions of the property: New Construction

② Property Designation:

Listed on the National Register of Historic Places? _____ YES X NO

Listed as a Local Designated Landmark? _____ YES X NO

Located in a Designated Historic District? X YES _____ NO

3.

Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

The proposed house features a recl. med. heick exterior & was designed w/ the
desire to have permanent and classic exterior materials, with stone, slate
copper & gas lanterns. The large windows will be bright.
It will be inviting with a front entry covered porch while
still classic in appearance. The home was designed to maximize
its presence on this significant & important corner.
The homeowners are expecting a new baby
and have decided to add a third floor.

5. TABLE OF COMPLIANCE

Address of subject property: 419 S OAK ST.

The following table is based on the R-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	30,000 S.F.	51,030 SQ.FT.	51,030 SQ.FT.
Lot Depth	125 FT	237 FT	237 FT
Lot Width	125 FT	221 FT	221 FT
Building Height	30.0 FT	UNKNOWN	28'-0 1/2"
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	49.76 FT	151.79 FT	86.0 FT
Corner Side Yard Setback	35 FT	23 FT	35.58 FT
Interior Side Yard Setback	12.46 FT	24.48 FT	53.33 FT
Rear Yard Setback	N/A	N/A	N/A
Maximum Floor Area Ratio (F.A.R.)*	12,206.0 SF	7,065 SF	9,765.8 SF
Maximum Total Building Coverage*	12,757.5 SF	4,629 SF	5,072.2 SF
Maximum Total Lot Coverage*	25,515.0 SF	12,686 SF	14,759.0 SF
Parking Requirements	N/A	N/A	N/A
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	5,103 SF	N/A	3,976.3 SF

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ **INDIVIDUAL OWNERS**

Signature of Applicant

Signature of Applicant

☐ **CORPORATION**

Julie Lane / J. Gordon

Signature of Applicant's President

Signature of Applicant's Secretary

☐ **PARTNERSHIP**

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

OTHER

Signature

Signature of Authorized Officer

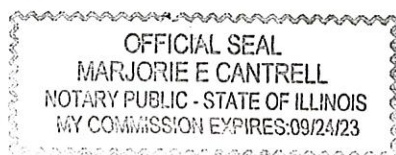
SUBSCRIBED AND SWORN
to before me this 26th day of

March, 2021.

Marjorie E Cantrell

Notary Public

April 2020







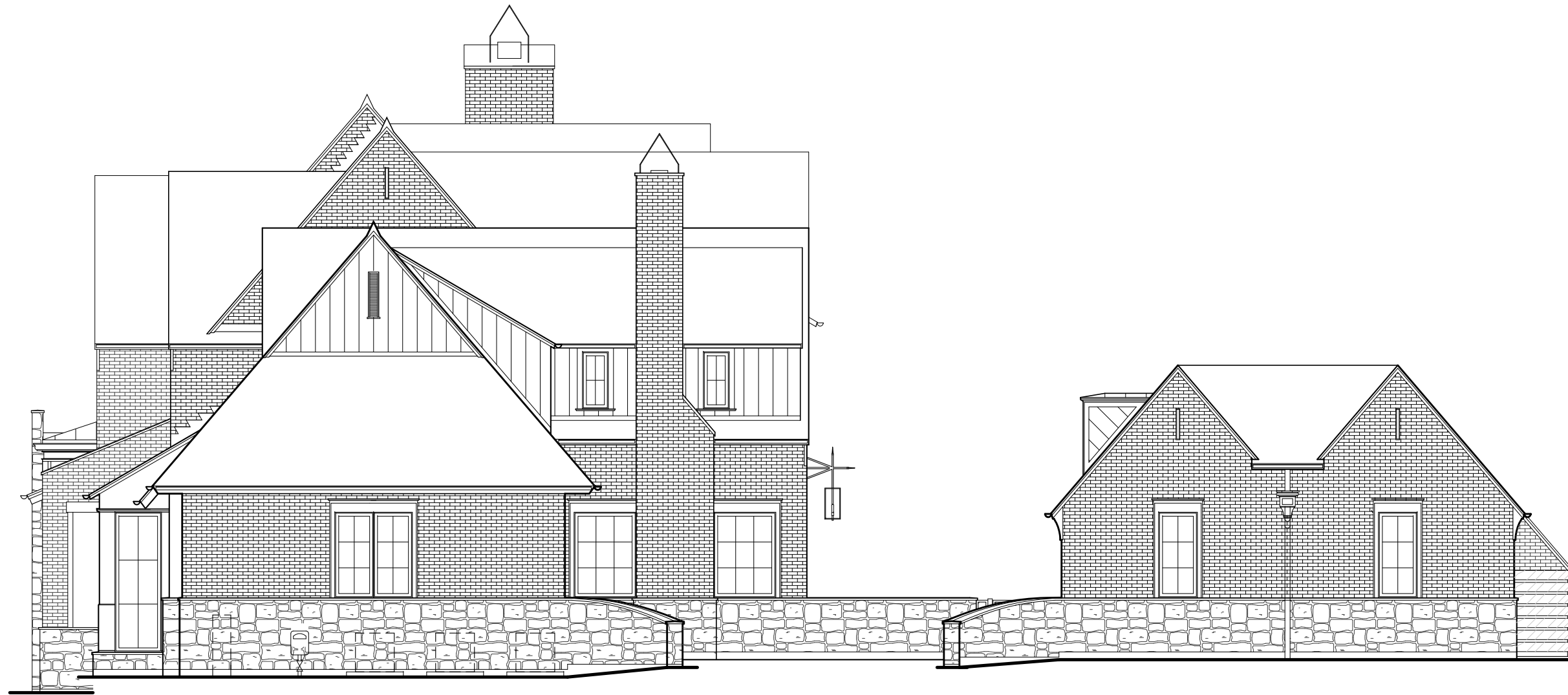
WEST ELEVATION - APPROVED

SCALE: 1/8" = 1'-0"



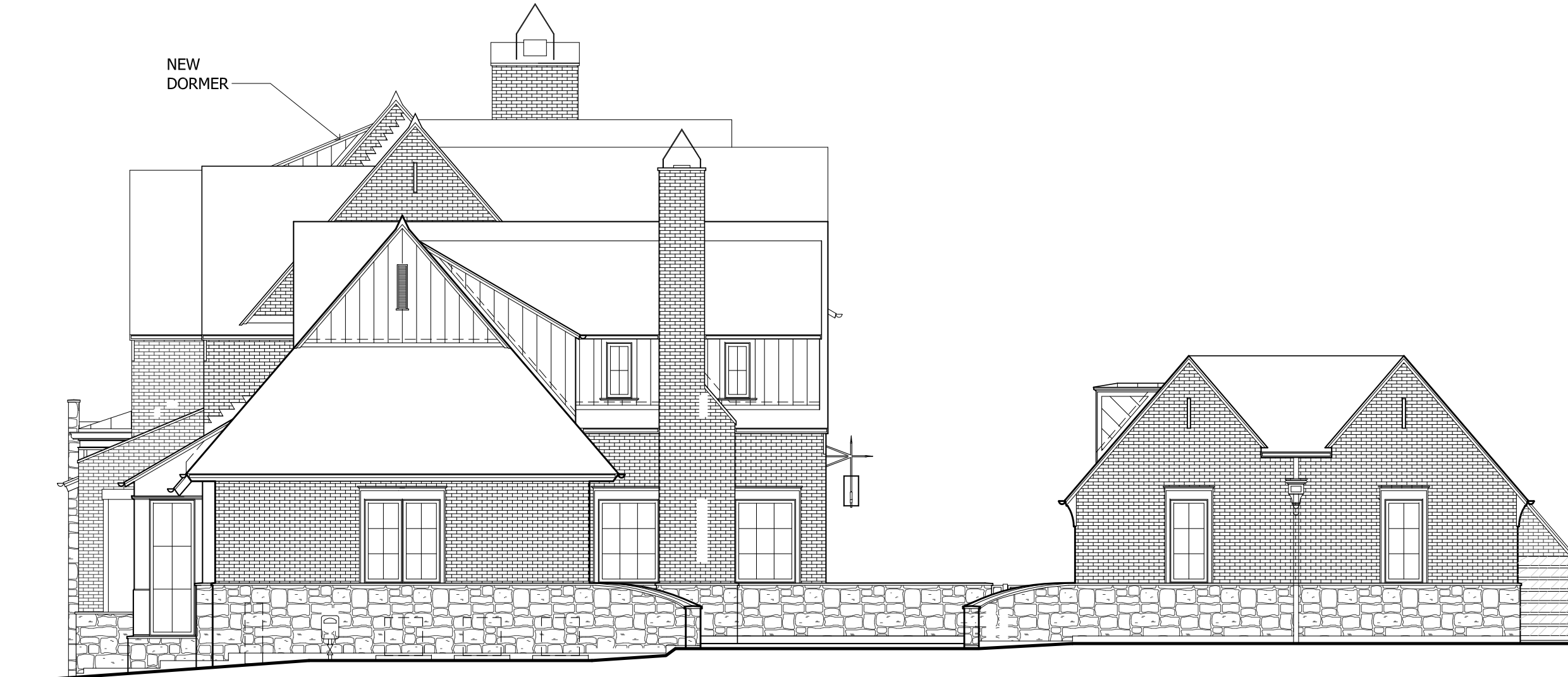
WEST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - APPROVED

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



EAST ELEVATION - APPROVED

SCALE: 1/8" = 1'-0"



EAST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



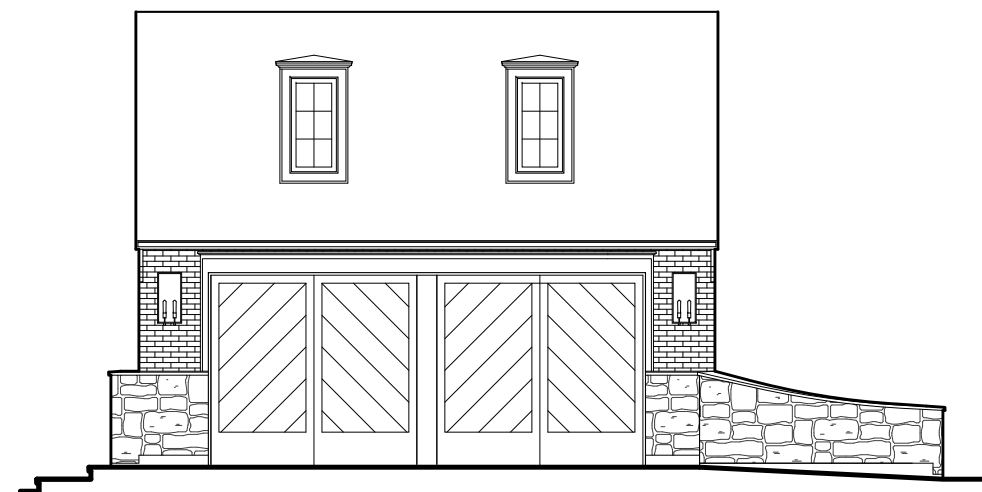
NORTH ELEVATION - APPROVED

SCALE: 1/8" = 1'-0"

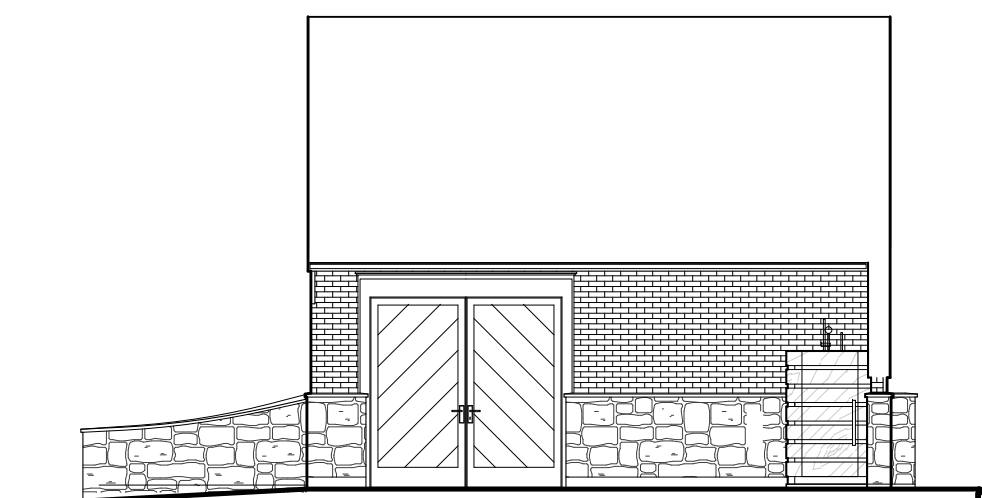


NORTH ELEVATION - PROPOSED

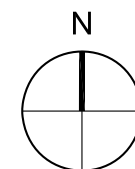
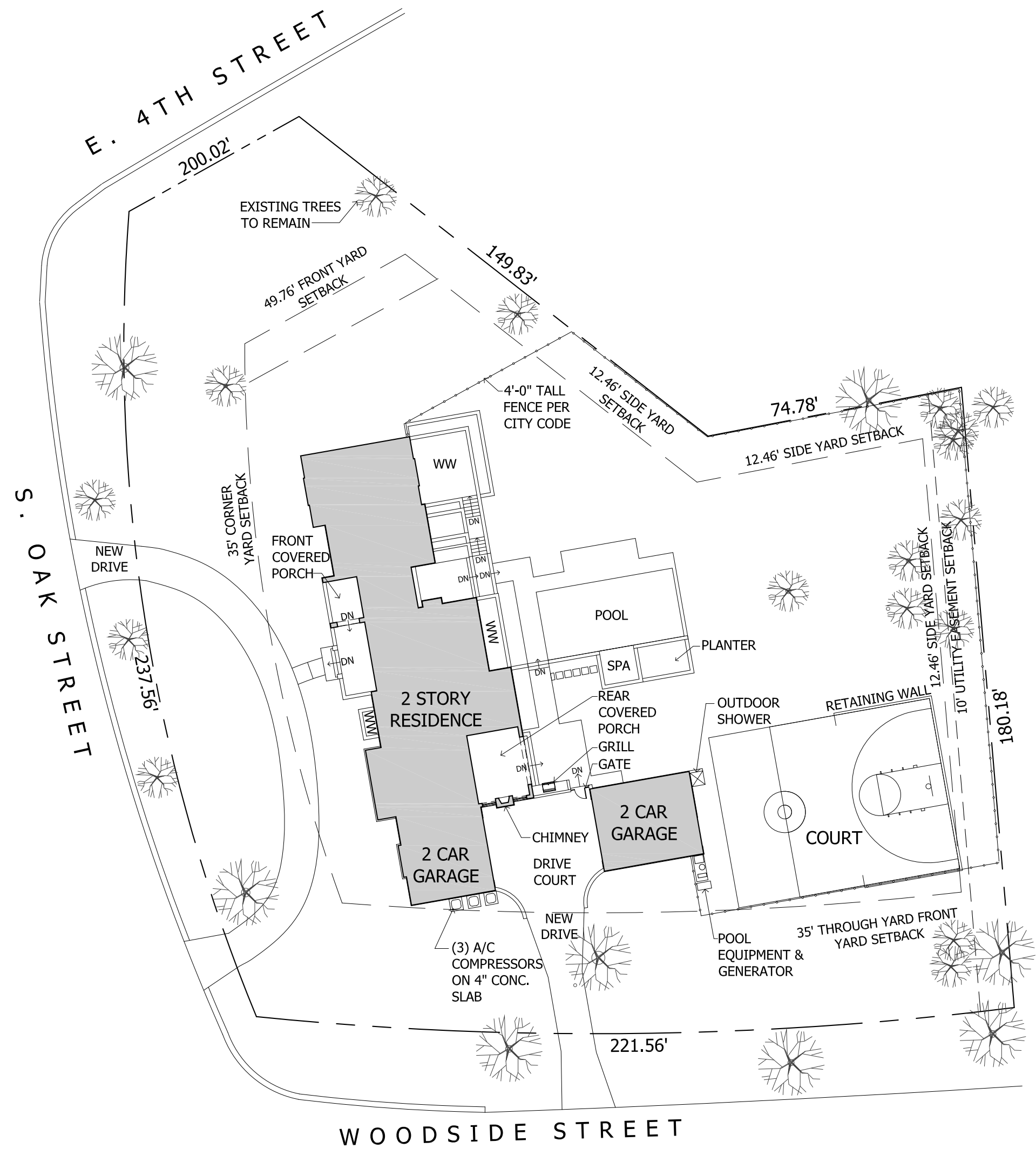
SCALE: 1/8" = 1'-0"



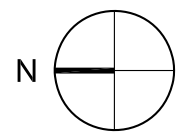
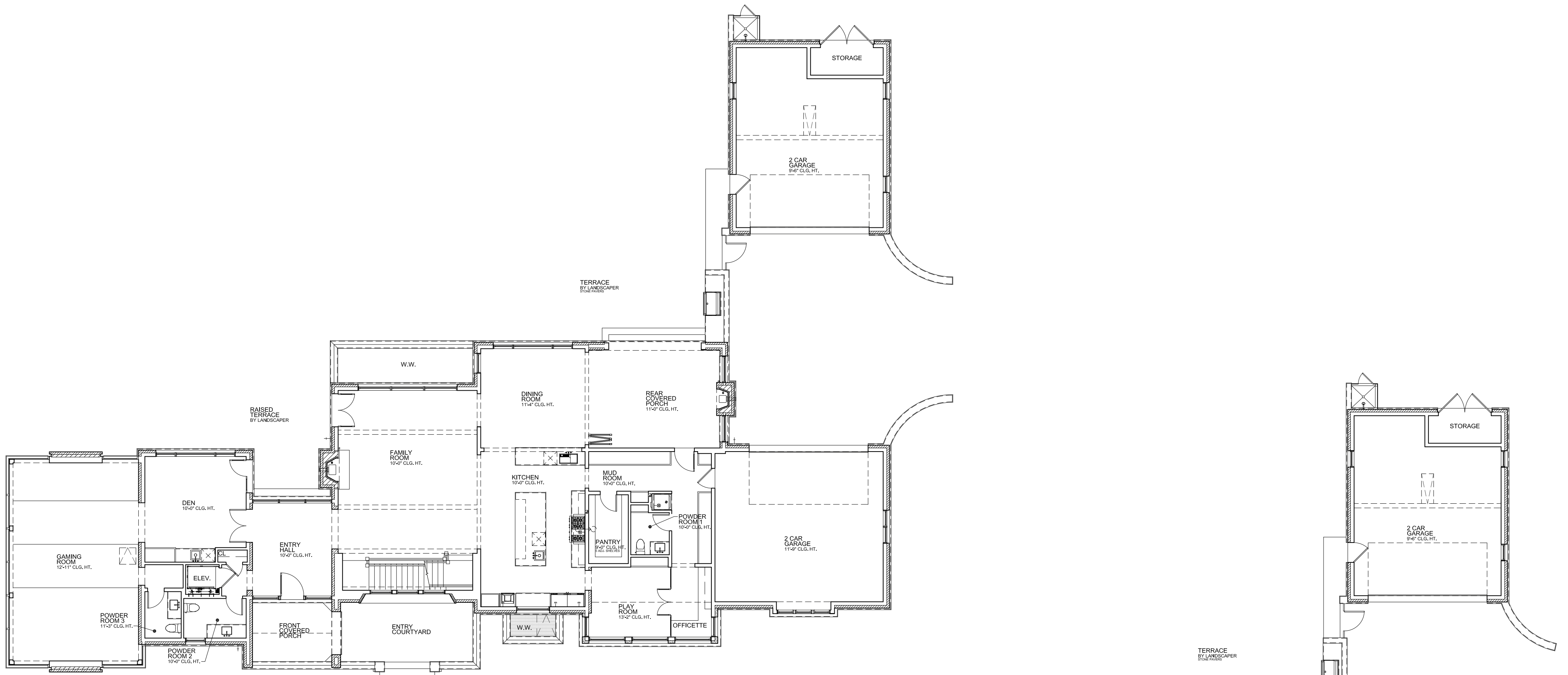
GARAGE WEST ELEVATION - APPROVED
 SCALE: 1/8" = 1'-0" NO CHANGE



GARAGE EAST ELEVATION - APPROVED
 SCALE: 1/8" = 1'-0" NO CHANGE

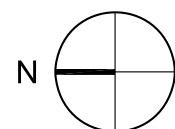
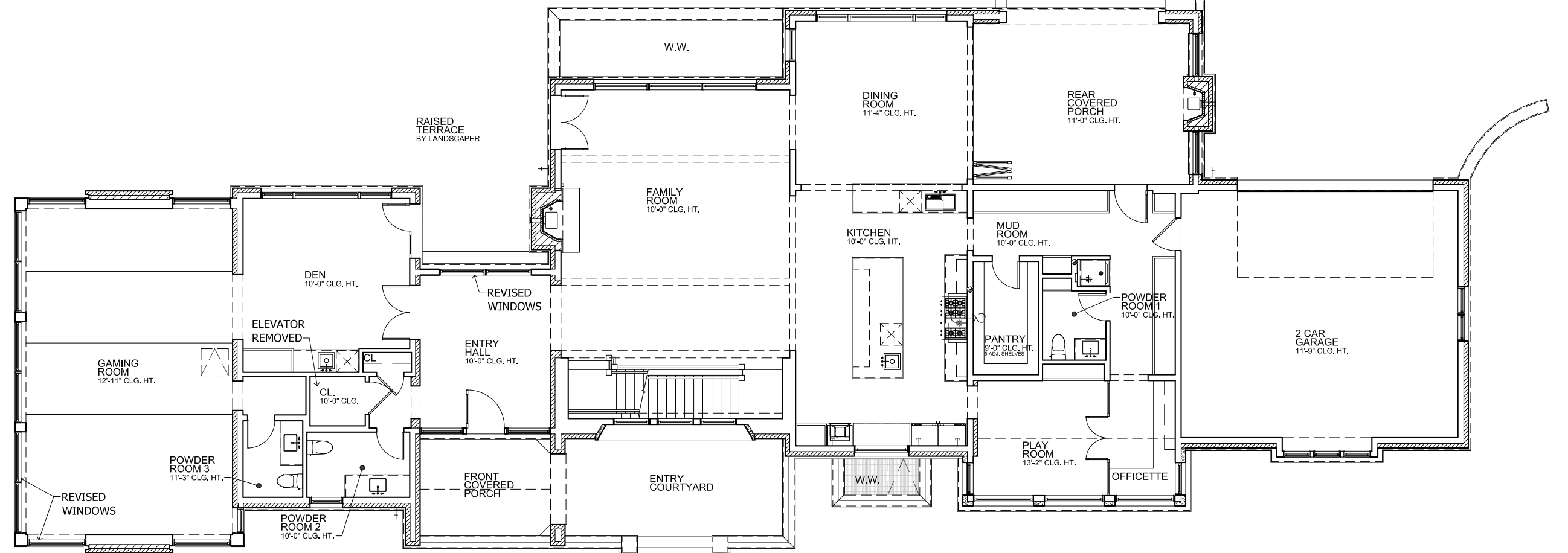


SITE PLAN - APPROVED
 SCALE: 1" = 30'-0" NO CHANGE



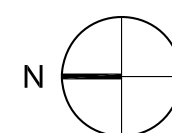
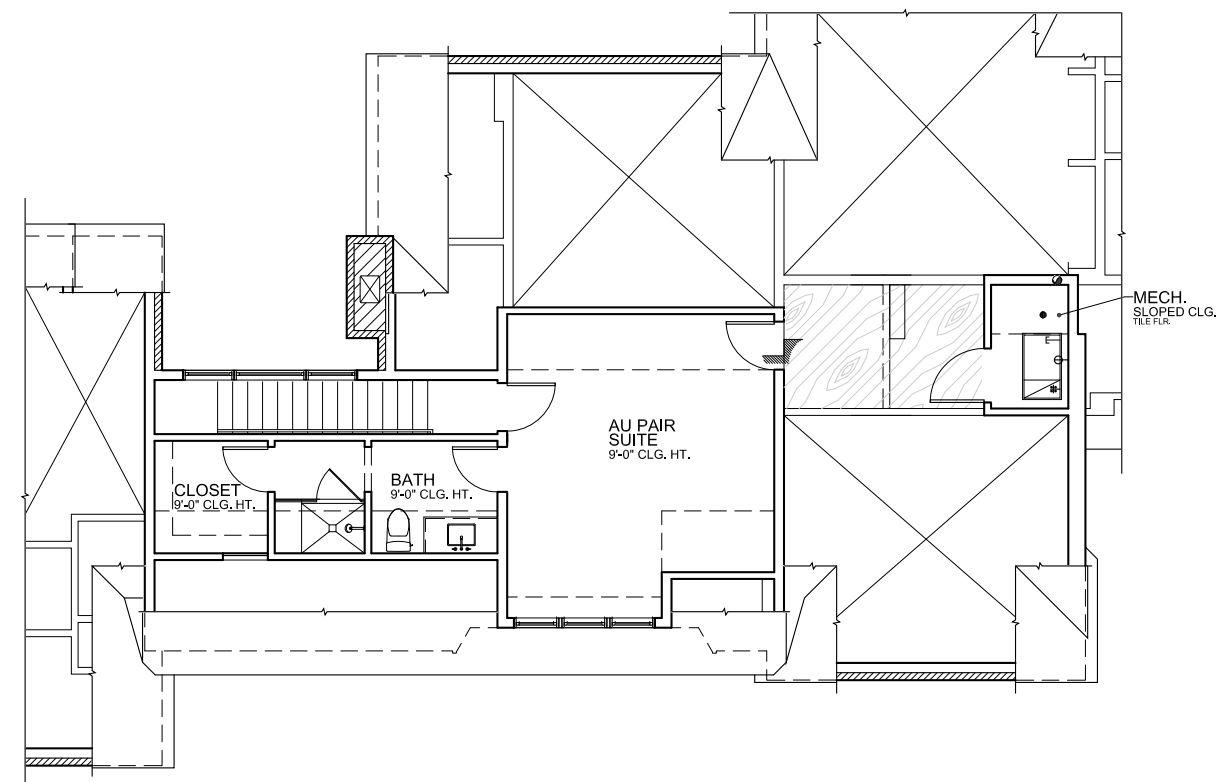
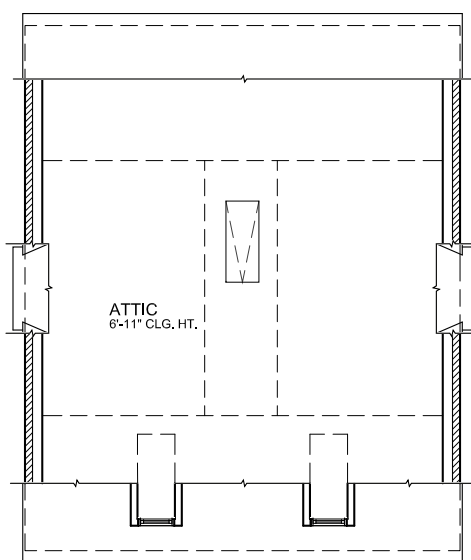
FIRST FLOOR PLAN - APPROVED

SCALE: 3/32" = 1'-0"



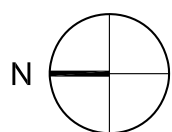
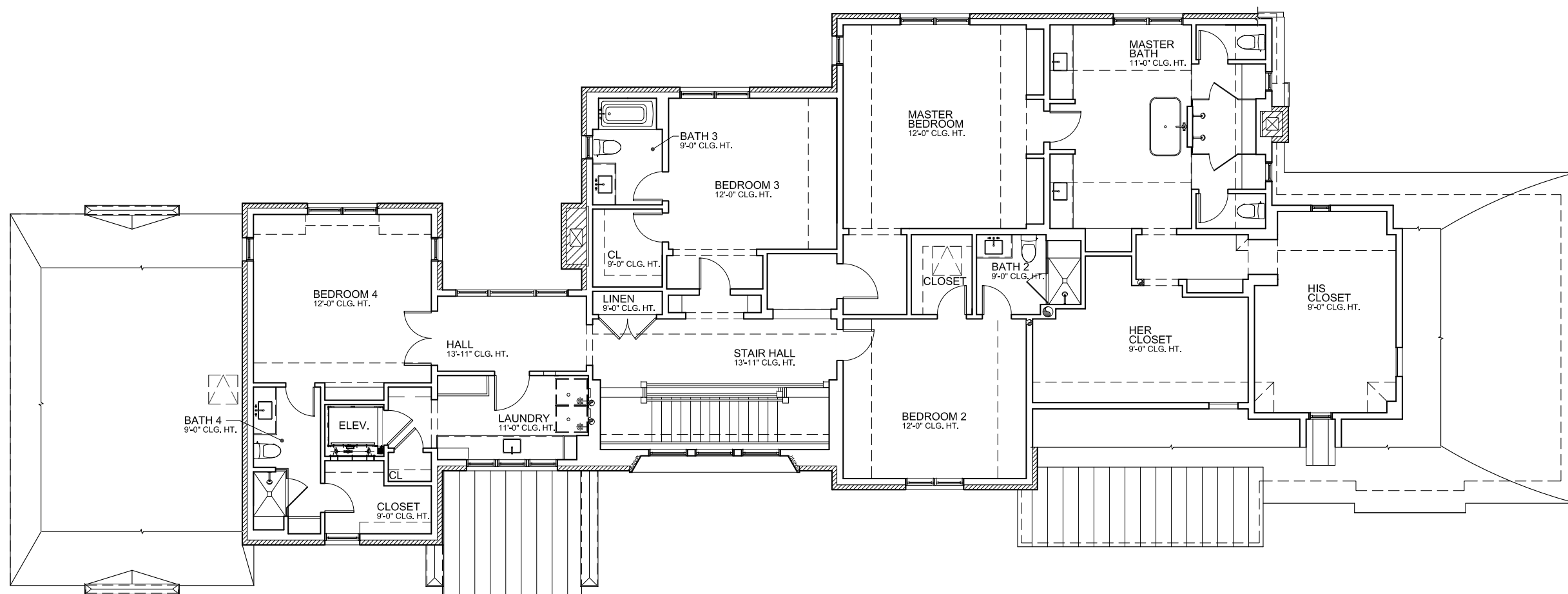
FIRST FLOOR PLAN - PROPOSED

SCALE: 3/32" = 1'-0"



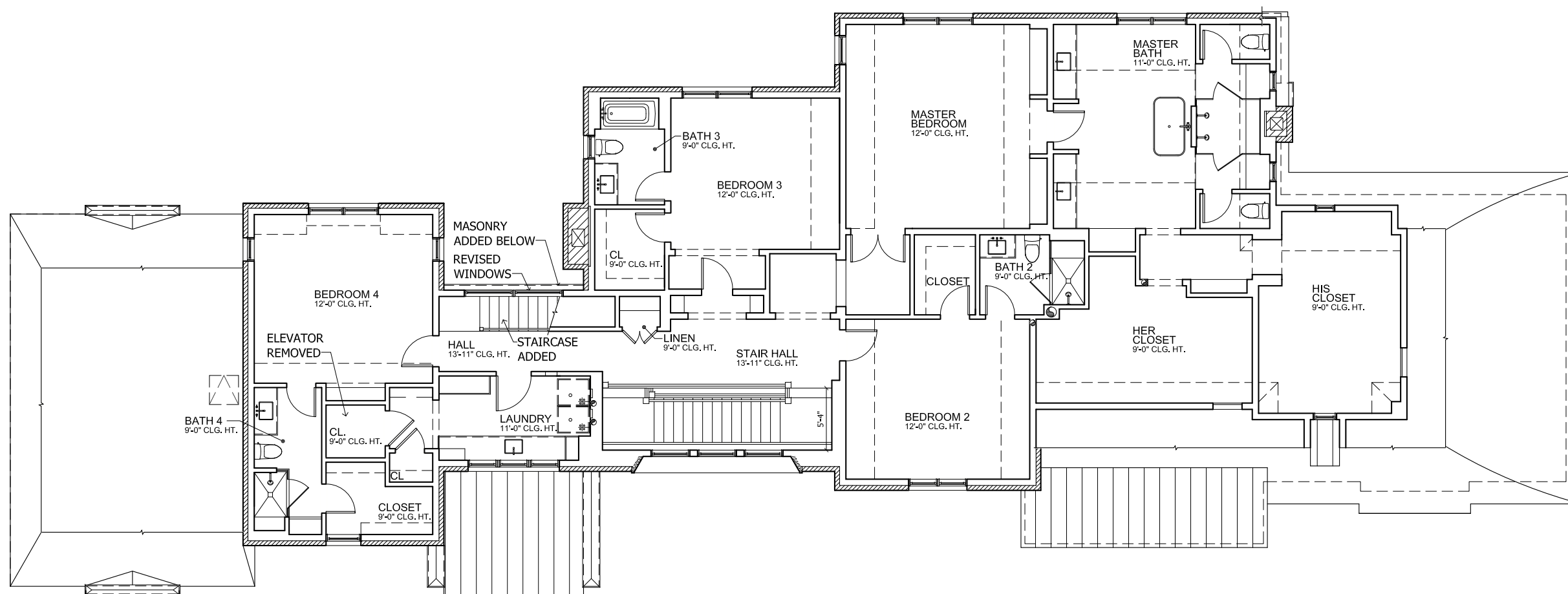
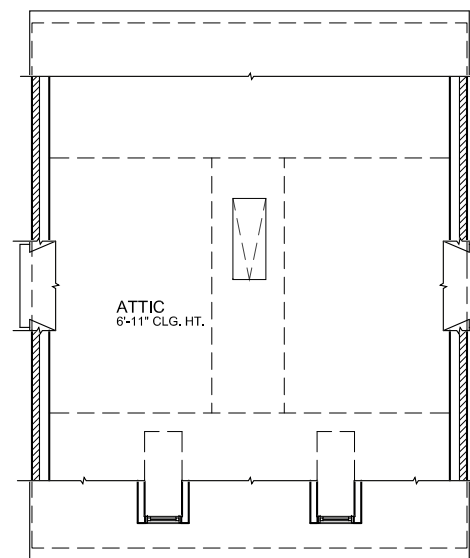
THIRD FLOOR PLAN - PROPOSED

SCALE: 3/32" = 1'-0"



SECOND FLOOR PLAN - APPROVED

SCALE: 3/32" = 1'-0"



SECOND FLOOR PLAN - PROPOSED

SCALE: 3/32" = 1'-0"

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 4 IN SAILOR'S RESUBDIVISION OF LOTS 5 THROUGH 17 IN THE RESUBDIVISION OF BLOCK 8 IN WILLIAM ROBBINS PARK ADDITION TO HINDSALE, A SUBDIVISION OF THE SOUTH HAL OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID SAILOR'S RESUBDIVISION RECORDED JANUARY 10, 1969 AS DOCUMENT R60-1231, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 419 S. OAK STREET, HINSDALE, ILLINOIS
PIN NO. 09-12-221-004

SETBACK DATA TABLE	
4TH STREET ADDRESS:	
412 4TH STREET	37.43'
420 4TH STREET	39.77'
444 4TH STREET	90.96'
448 4TH STREET	46.45'
410 4TH STREET	63.06'
419 OAK STREET	166.60'
Average:	60.06'

AVG. GRADE DATA (HOUSE)	
POINT:	HOUSE
(A)	692.8
(B)	692.1
(C)	699.8
(D)	699.7
AVG.:	696.1

AVG. GRADE DATA (GARAGE)	
POINT:	GARAGE:
(E)	700.30
(F)	699.60
(G)	699.40
(H)	699.80
AVG.:	699.78

PROPOSED IMPERVIOUS COVERAGE DATA	
LOT AREA:	50,276 S.F.
COVERAGE:	10,216 S.F.(20.31%)

SITE BENCHMARK #1:
NORTHWEST BOLT ON HYDRANT ALONG THE SOUTH SIDE OF
OAK STREET AT THE NORTHWEST CORNER OF THE PROJECT SITE.
ELEV: 689.189 (NAVD 88)

SITE BENCHMARK #2:
NORTHWEST BOLT ON HYDRANT ALONG THE NORTH SIDE OF
OAK STREET NEAR THE SOUTHWEST CORNER OF THE PROJECT.
ELEV: 702.413 (NAVD 88)

<u>IMPERVIOUS DATA TABLE</u>		
<u>EXISTING IMPERVIOUS</u>	<u>PROPOSED IMPERVIOUS</u>	
HOUSE & WINDOW WALLS:	DRIVEWAY:	2,403 S.F.
DRIVEWAYS:	HOUSE & WINDOW WALLS:	4,252 S.F.
PORCHES, STOOPS & STAIRS:	FRONT PORCH:	380 S.F.
POOL PATIOS & WALKWAYS:	FRONT PORCH & STEP:	340 S.F.
RETAINING WALL:	GRASS & SHOWER:	741 S.F.
FOUNDATION & EQUIPMENT PAD:	WALLS:	72 S.F.
	COVERED PORCH, PATIO & WALKWAY:	1,353 S.F.
TOTAL:	TERRACE & STEPS, LOWER LEVEL:	814 S.F.
17,886 S.F.	WALLS:	85 S.F.
	GENERATOR:	72 S.F.
	TOTAL:	10,216 S.F.

NET NEW IMPERVIOUS AREA= 10,216 S.F. - 12,686 S.F.= -2,470 S.F.
SINCE -2,470 S.F. < 2,500 S.F. NO BMP IS REQUIRED FOR THE PROJECT.

It's smart It's free It's the law



Call before
you dig
800.892.0123

PREPARED FOR: JJORDAN HOMES, INC.



3S701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA , SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN REVISED: NOVEMBER 12, 2020
SITE PLAN REVISED: OCTOBER 27, 2020
SITE PLAN DATED: SEPTEMBER 29, 2020

SHEET 1 OF 4

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2021

EXISTING CONDITIONS & DEMOLITION PLAN

LOT 4 IN SAILOR'S RESUBDIVISION OF LOTS 5 THROUGH 17 IN THE RESUBDIVISION OF BLOCK 8 IN WILLIAM ROBBINS PARK ADDITION TO HINSDALE, A SUBDIVISION OF THE SOUTH HAL OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID SAILOR'S RESUBDIVISION RECORDED JANUARY 10, 1969 AS DOCUMENT R60-1231, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 419 S. OAK STREET, HINSDALE, ILLINOIS
PIN NO. 09-12-221-004

EXISTING GRADE + XXX.XX
EXISTING CONTOUR -XXX-
PROPOSED GRADE +|XXX.XX|
PROPOSED CONTOUR -XXX-
PROPOSED FLOW -XX-
SILT FENCE -XX-
CONSTRUCTION SAFETY FENCE -X-

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

SITE BENCHMARK #1:
NORTHWEST BOLT ON HYDRANT ALONG THE SOUTH SIDE OF
OAK STREET AT THE NORTHWEST CORNER OF THE PROJECT SITE.
ELEV: 689.189 (NAVD 88)
SITE BENCHMARK #2:
NORTHWEST BOLT ON HYDRANT ALONG THE NORTH SIDE OF
OAK STREET NEAR THE SOUTHWEST CORNER OF THE PROJECT.
ELEV: 702.413 (NAVD 88)

CONTRACTOR SHALL COORDINATE WITH NICOR GAS
AND COMED ON THE DISCONNECTING OF THE GAS
AND ELECTRIC SERVICE.

EXISTING WATER SERVICE SHALL BE DISCONNECT
FROM WATER MAIN PER VILLAGE REQUIREMENTS
EXISTING SANITARY SERVICE SHALL BE DISCONNECT
FROM WATER MAIN PER VILLAGE REQUIREMENTS

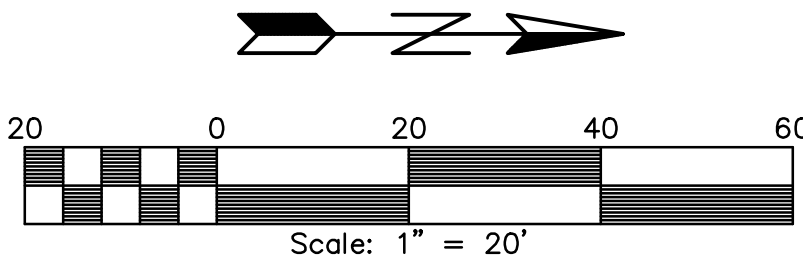
EXISTING DEPRESSED CURB TO
BE REMOVED AND CONSTRUCTED BARRIER
CURB & GUTTER TO MATCH EXISTING ADJACENT
BARRIER CURB & GUTTER
EXISTING BRICK DRIVE
TO BE REMOVED WITHIN
APRON AND REPLACED
WITH 6" TOPSOIL AND
SOD.

EX. SAN. MH.
RIM 692.83
INV 692.73 TC
RIM 692.73 EP

EX. ST. MH.
RIM 686.91
INV 682.81 12" (NE)
INV 682.89 12" (W)
INV 682.86 12" (S)
INV 683.81 12" (E)

EX. SAN. MH.
RIM 686.26

EX. INLET
RIM 686.82
INV 683.72 12" (NE)

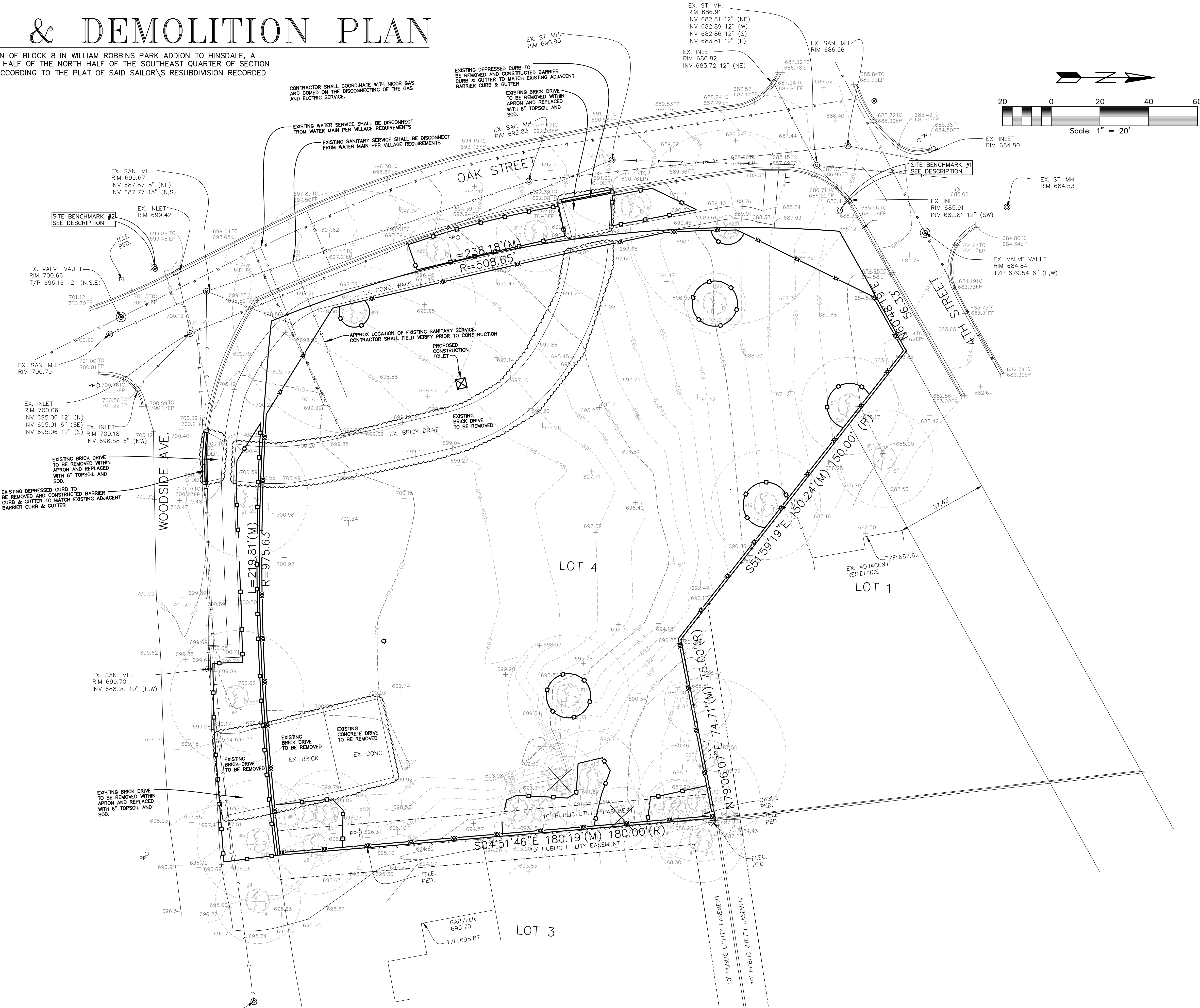


SITE BENCHMARK #1
SEE DESCRIPTION

EX. ST. MH.
RIM 684.53

EX. INLET
RIM 685.91
INV 682.81 12" (SW)

EX. VALVE VAULT
RIM 684.84
T/P 679.54 6" (E.W)



It's smart It's free It's the law



Call before
you dig
800.892.0123

PREPARED FOR: JORDAN HOMES, INC.

DRAWN BY: B.L.
CHECKED BY: J.G.
APPROVED BY: J.G.

ENGINEERING
RESOURCE ASSOCIATES

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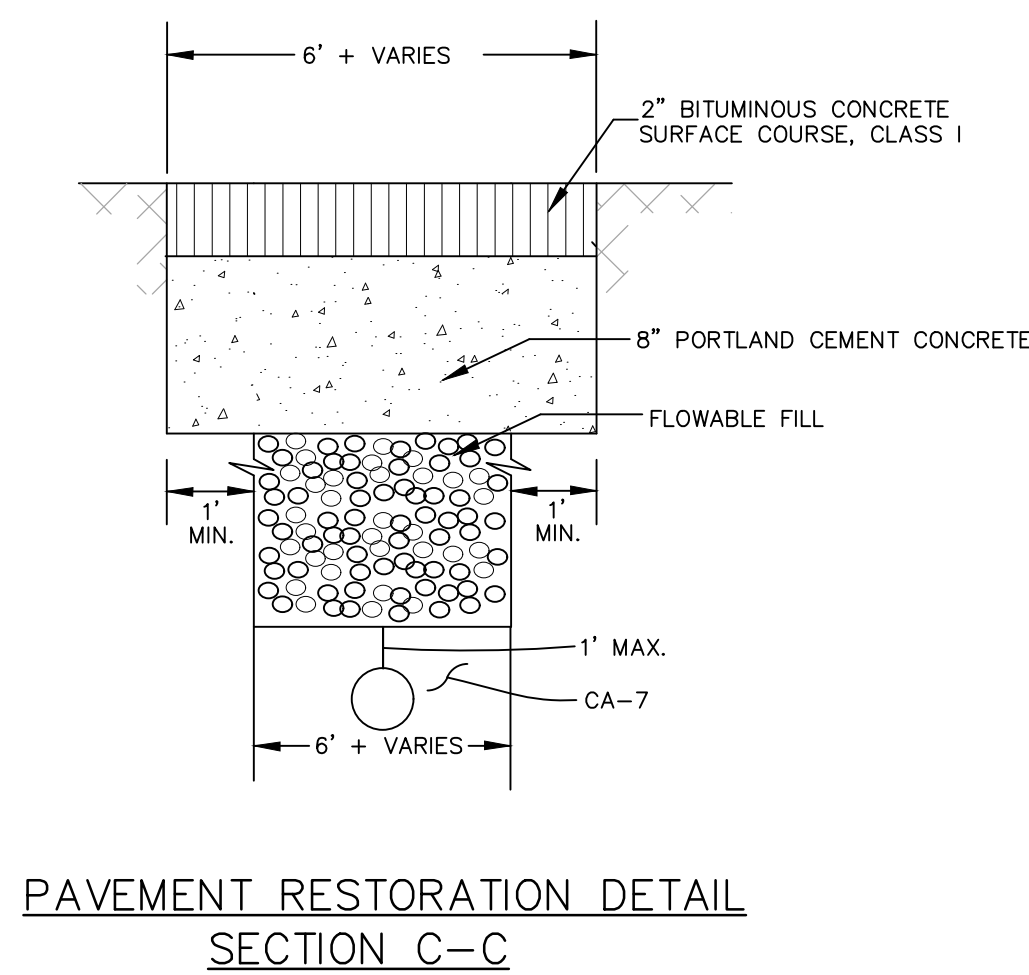
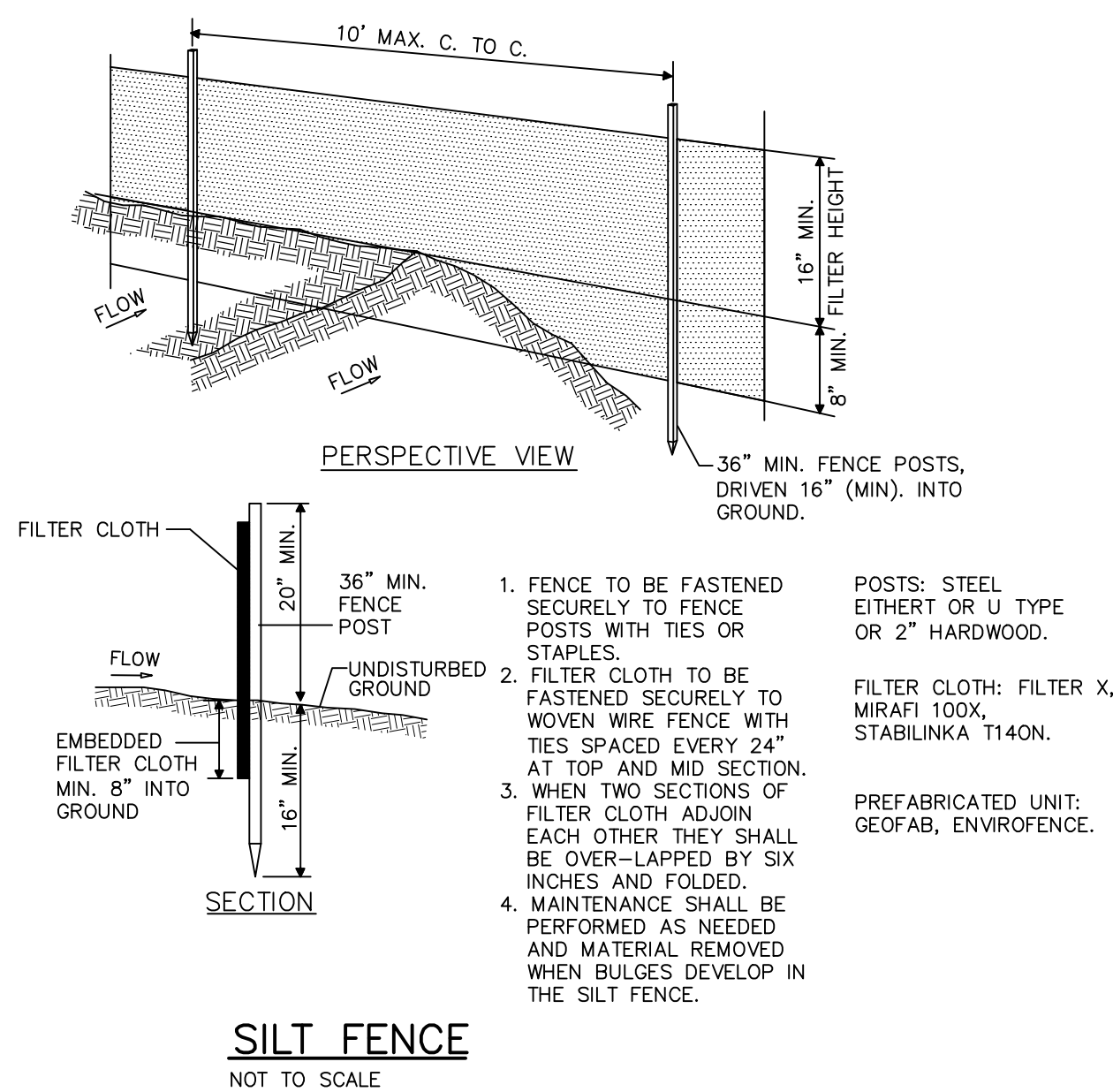
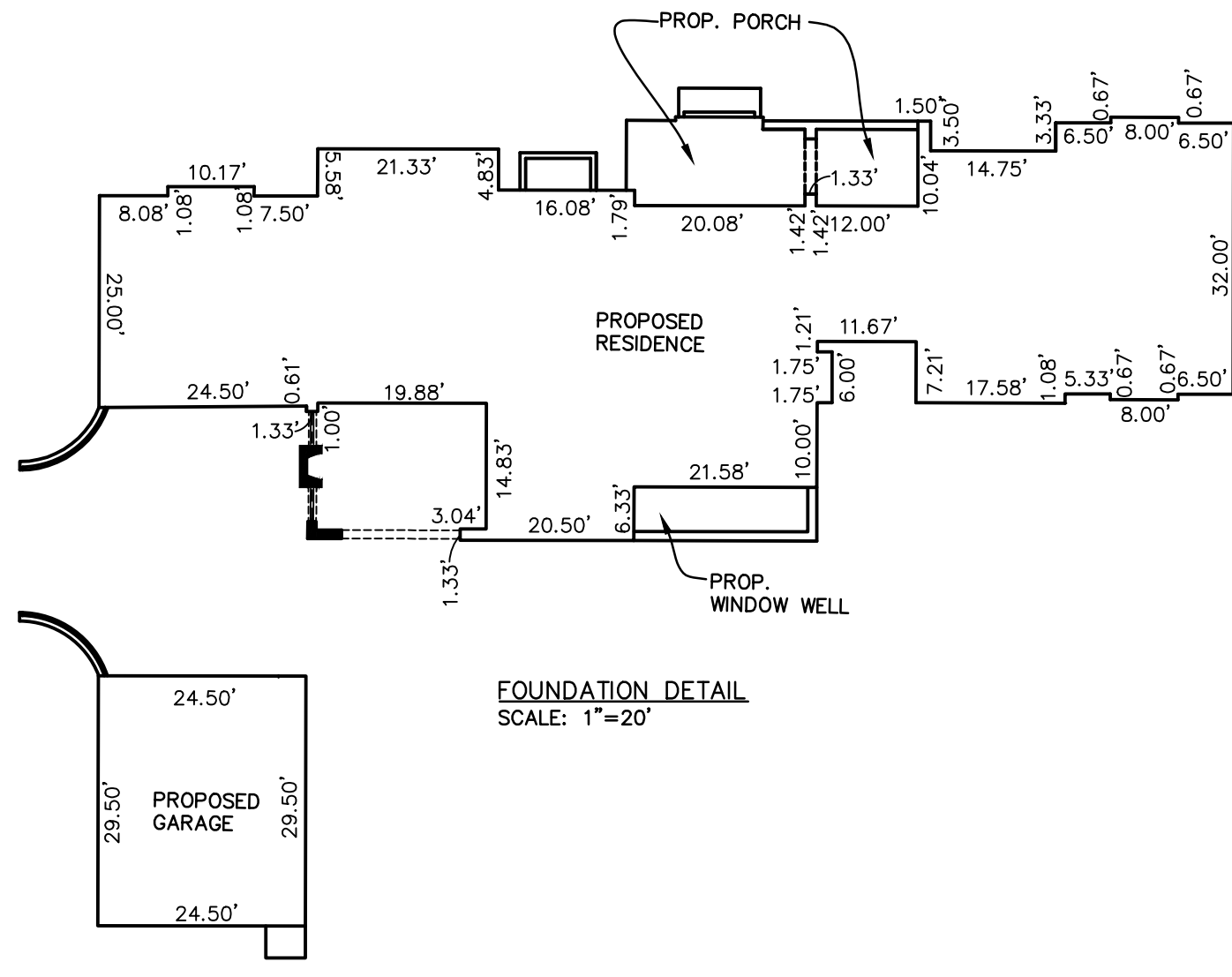
SITE PLAN REVISED: NOVEMBER 12, 2020
SITE PLAN REVISED: OCTOBER 27, 2020
SITE PLAN DATED: SEPTEMBER 29, 2020

SHEET 2 OF 4

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

NOTES:

- EXISTING RESIDENCE, GARAGE, AGGREGATE, CONCRETE PATIO AND SHED SHALL BE REMOVED IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING ELM STREET CURB AND GUTTER.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SPRING 2020
 - EXISTING STRUCTURES SHALL BE DEMOLISHED. - SPRING 2020
 - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. & EXISTING SWALES. - SPRING 2020
 - CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. - SPRING 2020
 - PREPARE AND SUBMIT RECORD DRAWINGS. - SPRING 2021
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - SPRING 2021
- CONTACT PERSON FOR SITE:
JULIE LAUX
(312) 320-9990
- T/F OF DEMOLISHED RESIDENCE AT 641 S. ELM ST. =
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8.
PARKING SHALL BE ON THE WEST SIDE OF PARK AVE.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
- TWO-WAY TRAFFIC ON 4TH STREET SHALL BE MAINTAINED AT ALL TIMES.

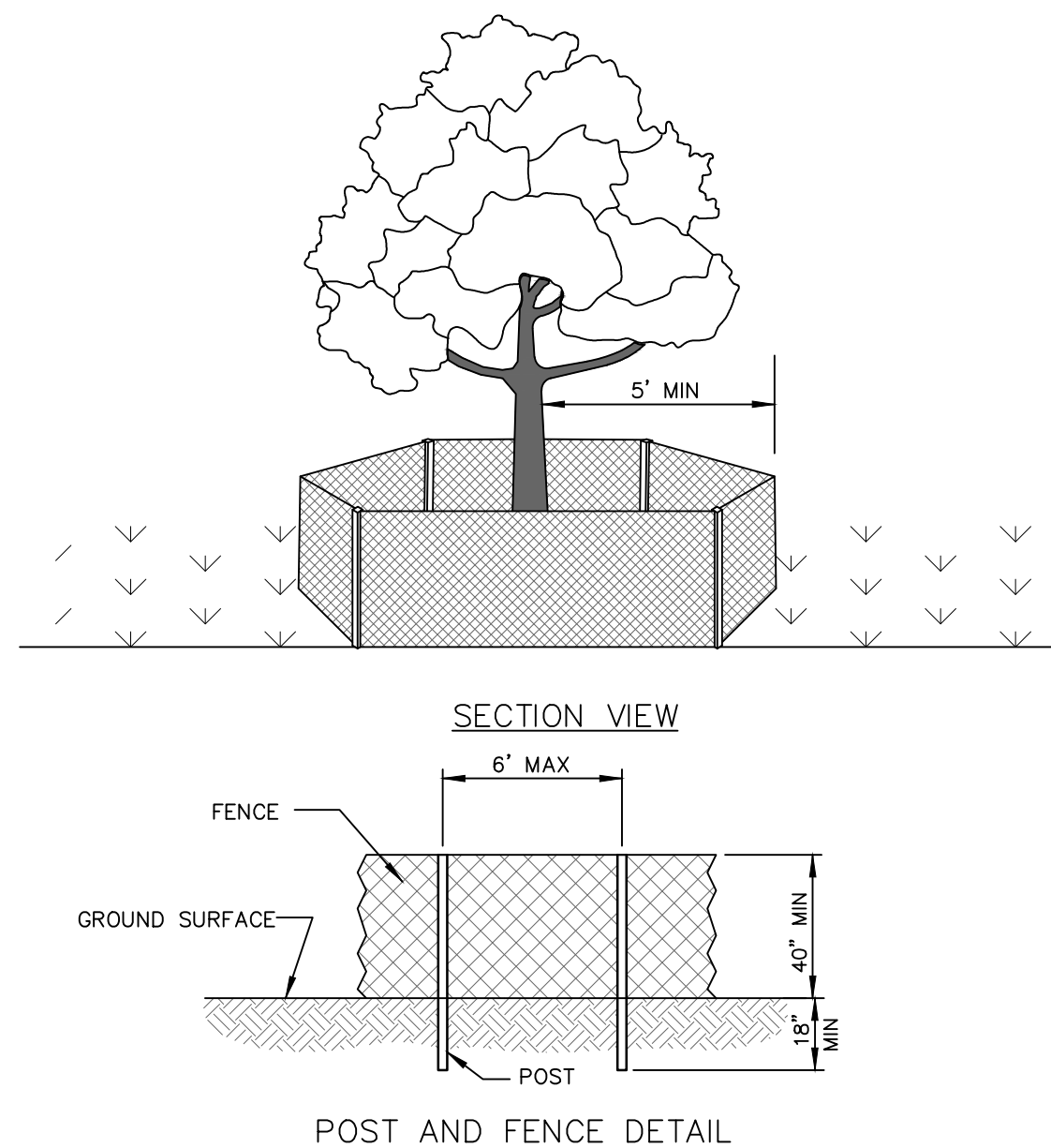


NOTES:

- The tree preservation plan shall include a site plan of the property of a scale not less than one-inch equals twenty feet (1"=20'), which plan shall be graphically and accurately marked with all the following information:
- The street address or legal description of the property and all property lines of the property;
 - The location of all buildings, structures, driveways, walkways, and parking areas on the property;
 - The proposed location of all temporary storage areas during construction on the property;
 - The location of utility service lines on the property;
 - The location of all trees in excess of eight inches (8") in diameter measured at breast height (dbh) on the property and within fifteen feet (15') of any property line of the property (collectively the "protected trees")
 - A legend stating the dbh, genus and species, and general condition of each protected tree;
 - The root protection zones within the property of all protected trees; **(not complete, as above, see below)**
 - A detailed proposal for protection of all protected trees and for protection of all trees other than protected trees that may be damaged or removed during the proposed construction activity, including, without limitation, such measures as pruning, root pruning, use of retaining walls or protective fencing, augering of utility lines (to improve tree survivability), and similar measures;
 - A clear delineation of the perimeters of each construction activity area and each root protection area; **(not complete, this will be complete once the root protection zones are located, see below*)**
 - A certification from an arborist that the tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property adjacent to the property;

The proposed driveway areas should be installed using techniques to minimize damage to the parkway tree.

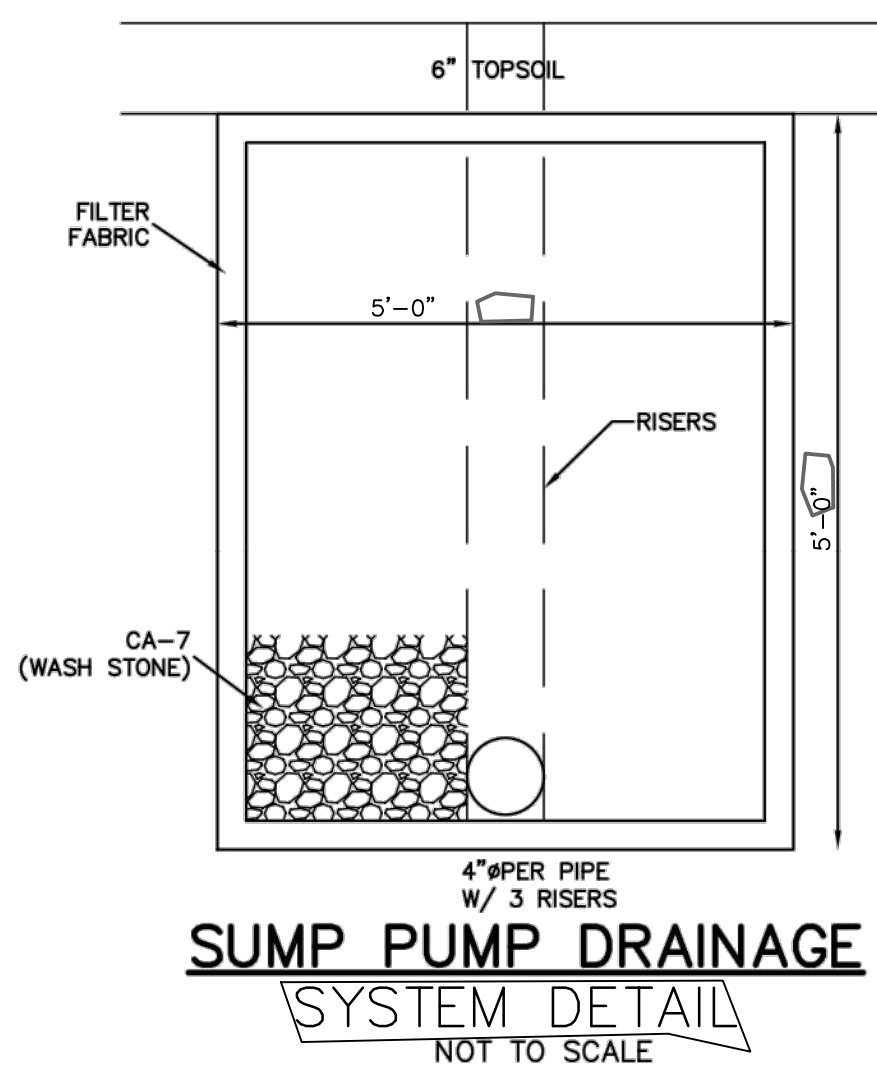
- The Village will require that the Tree Protection Fence be installed a minimum distance from the tree.
- Hand digging only, within Tree Protection Zones.
- Root pruning will be used as necessary prior to driveway demolition to prune tree roots.
- All tree protection fencing will be maintained in all areas outside of the apron excavation area.
- Minimal excavation not to exceed 8" deep within Tree Protection Zones.
- No material or equipment storage within the drip line of the public trees.
- The use of brick pavers for the drives is recommended.
- Notify the Village 24 hours prior to the start of work within the drip line of the public trees.
- All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).



NOTES:

- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
- THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

TREE PROTECTION
NOT TO SCALE



- BMP'S INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- LEVEL SPREADER INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE STORM SEWER - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- DRIVEWAYS, SIDEWALKS & CURBS IN THE PARKWAY - ASPHALT OR CONCRETE, WHEN DRIVEWAY IS LAID-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.
- STREET PATCHES FOR SANITARY CONNECTION - 3 INSPECTIONS
 - CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK
 - PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE
 - PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- STREET PATCHES FOR WATER CONNECTION - 3 INSPECTIONS
 - CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT
 - PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE
 - PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE
- FINAL GRADE INSPECTION
 - WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE.
 - STORMWATER BOND INSPECTION
 - CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

PREPARED FOR: JORDAN HOMES, INC.

DRAWN BY: B.L.
CHECKED BY: J.G.
APPROVED BY: J.G.



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SITE PLAN REVISED: NOVEMBER 12, 2020
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SHEET 3 OF 4

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

Tree#	DBH	Common Name	Species	Rating	Recommend
1	20"	Locust	Gleditsia triacanthos	Good	Protective Fence
2	22"	Maple	Acer	Fair	Protective Fence
3	20"	Maple	Acer	Fair	Protective Fence
4	14"	Locust	Gleditsia triacanthos	Good	Protective Fence
5	16"	Catalpa	Catalpa	Good	Protective Fence
6	9"	Maple	Acer	Fair	Protective Fence
7	14"	Hackberry	Celtis occidentalis	Good	Protective Fence
8	11"	Elm	Ulmus	Good	Protective Fence
9	12"	Boxelder	Acer negundo	Good	Remove
10	16"	Elm	Ulmus	Good	Protective Fence
11	20"	Maple	Acer	Good	Protective Fence

Tree#	DBH	Common Name	Species	Rating	Recommend
12	10"	Ash	Fraxinus	Fair	Remove
13	10"	Elm	Ulmus	Good	Protective Fence
14	11"	Elm	Ulmus	Good	Protective Fence
15	14"	Locust	Gleditsia triacanthos	Good	Protective Fence
16	20"	Elm	Ulmus	Good	Protective Fence
17	26"	Ash	Fraxinus	Poor	Remove
18	11"	Hackberry	Celtis occidentalis	Good	Protective Fence
19	18"	Maple	Acer	Good	Protective Fence
20	16"	Maple	Acer	Good	Protective Fence
21	16"	Horsechest nut	Aesculus hippocastanum	Good	Protective Fence
22	2-10"2-9"	Redbud	Cercis canadensis	Fair	Protective Fence and Fertilize

Tree#	DBH	Common Name	Species	Rating	Recommend
23	32"	Maple	Acer	Fair	Protective Fence and Fertilize
24	13"	Maple	Acer	Poor	Remove
25	10"	Maple	Acer	Good	Protective Fence
26	40"	Maple	Acer	Fair	Protective Fence and Fertilize

• Rating is based on tree health and structural integrity.

Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.

- Install Tree Protection Fence per Tree Protection Plan prior to any construction activity
- Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone – Keep Out"
- At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
- The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
- Tree Protection Zone is the designated area that encompasses and entire tree canopy.

However, for practical purposes the Village of Hinsdale requires that the public portion be delineated with chain-link fencing.

This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.

The Tree Preservation Plan was performed by Certified Arborist Jay Peters



9.26.2020

Jay C. Peters Certified Arborist # IL-1201

PREPARED FOR: JJORDAN HOMES, INC.

DRAWN BY: B.L.

CHECKED BY: J.G.

APPROVED BY: J.G.



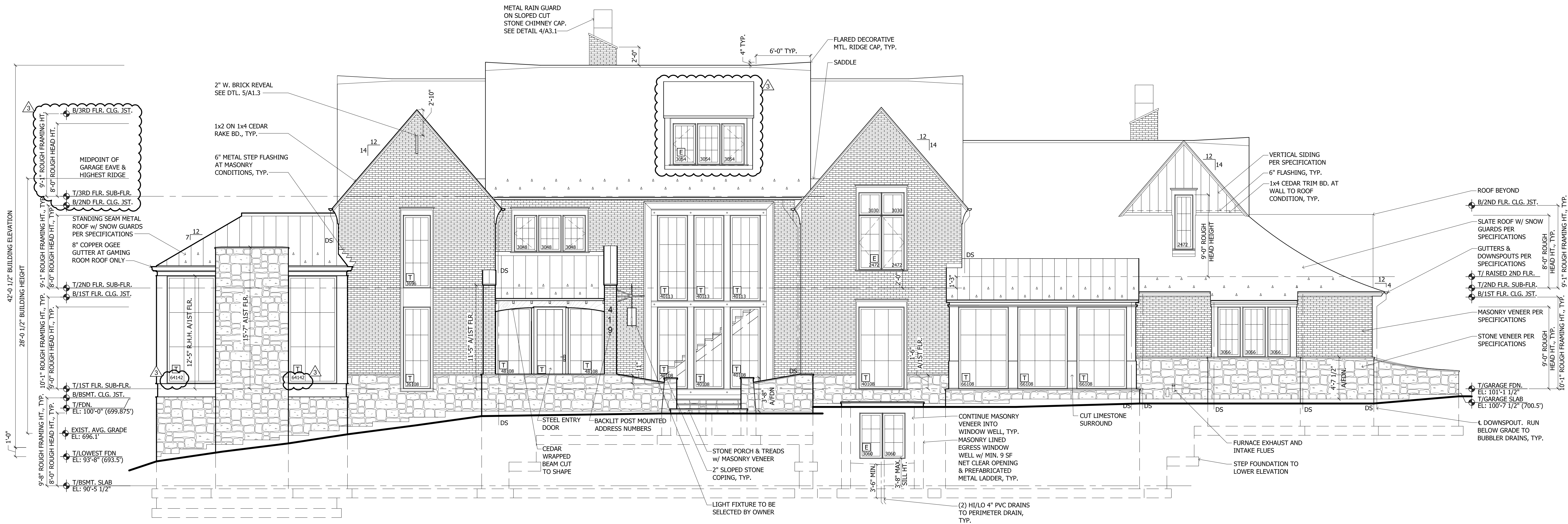
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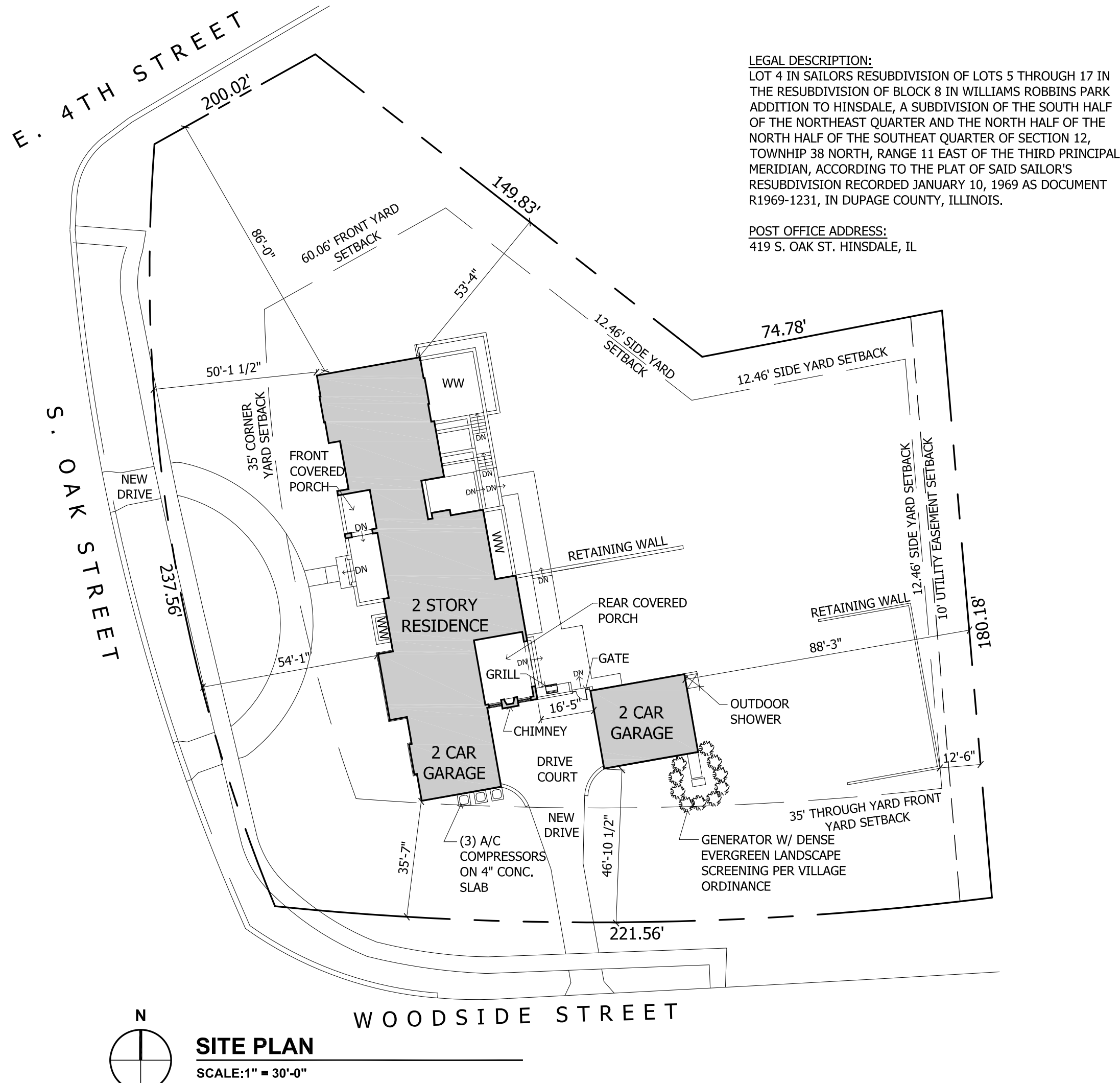
SITE PLAN REVISED: NOVEMBER 12, 2020
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WEST ELEVATION

SCALE: 3/16" = 1'-0"

NOTE DRAWING SCALE. DO NOT SCALE ARCHITECTURAL DRAWINGS



SITE PLAN
SCALE: 1" = 30'-0"

LEGAL DESCRIPTION:
LOT 4 IN SAILORS RESUBDIVISION OF LOTS 5 THROUGH 17 IN THE RESUBDIVISION OF BLOCK 8 IN WILLIAMS ROBBINS PARK ADDITION TO HINSDALE, A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID SAILOR'S RESUBDIVISION RECORDED JANUARY 10, 1969 AS DOCUMENT R1969-1231, IN DUPAGE COUNTY, ILLINOIS.

POST OFFICE ADDRESS:
419 S. OAK ST. HINSDALE, IL

GENERAL NOTES

A. GENERAL REQUIREMENTS

- NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS.
- ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL INTERIOR AND EXTERIOR FRAME WALLS TO BE 2 X 6 STUDS AT 16" O.C. WALLS DRAWN NOMINALLY AT 6 1/2" ASSUME 2 X 6 STUD WALL WITH G.W.B. OR SHEATHING BOTH SIDES PER SPECIFICATION.
- ALL WINDOW/ FRENCH DOOR SIZE DESIGNATIONS SHOWN ARE TO BE FRAME SIZE IN INCHES. G.C. TO COORDINATE ACTUAL WINDOW UNITS AND OPENINGS WITH MANUFACTURER.
- BLOWER DOOR TEST TO BE PERFORMED IN ACCORDANCE WITH IECC 2018 402.4.
- NEW CONSTRUCTION TO COMPLY WITH IECC 2018 PRESCRIPTIVE METHOD.
- BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH 2018 IECC SECTIONS R402.4.1 THROUGH R402.4.4.
- THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPLIANCE WITH 2018 IECC. TESTS TO BE WITNESSED BY THE BUILDING INSPECTOR AND TEST REPORTS ARE TO BE SUPPLIED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. R402.3.1.2.
- ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFIED.

B. FIRE RATINGS

- SPACE BETWEEN FLOOR AND EXTERIOR WALL AND AT ALL OPENINGS IN THE FLOOR, INCLUDING SPACE BETWEEN DUCTS, CONDUIT, PIPING, ETC., EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION, SHALL BE SAFO OFF (FILLED) WITH APPROVED SAFING MATERIAL TO MAINTAIN THE CONTINUITY OF THE FLOOR FIRE RATING. ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION SHALL BE TIGHT AND PREVENT THE PASSAGE OF SMOKE OR FLAME.
- ALL PIPING, DUCTS, ETC., THAT PENETRATE FLOOR SLABS AND WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" MIN. G.W.B., 3/8" WOOD STRUCTURAL PANELS, OR 3/8" TYPE 2-M-W PARTICLEBOARD TO BE INSTALLED PARALLEL TO FLOOR FRAMING

MEMBERS PER IRC R502.12. DRAFTSTOPPING TO BE PROVIDED AT THE FOLLOWING LOCATIONS:

- CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL.
- ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
- CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS & FIREPLACES AT CEILING AND FLOOR LEVEL, WITHOUT NONCOMBUSTIBLE MATERIALS.
- CONCEALED SPACE BECAUSE OF DROPPED CEILINGS OR SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ. FT. SHALL BE DRAFT STOPPED INTO EQUAL AREAS PER IRC R502.12.
- FIREBLOCKING SHALL BE PROVIDED IN FLOOR CONSTRUCTION AND FLOOR-CEILING ASSEMBLIES PER IRC R 602.8.
- COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE
- INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

C. MUNICIPALITY NOTES

- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
- ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K COPPER OR GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE.
- COPPER PIPING WILL NOT BE ACCEPTED FOR WASTE OR VENT PIPING PER HINSDALE LOCAL ORDINANCE.
- DUCT SYSTEMS SHALL BE SUPPORTED AT A MAXIMUM OF 10' INTERVALS. DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE AIR TIGHT BY MEANS OF TAPE AND SHALL BE MECHANICALLY FASTENED BY THREE (3) SCREWS EVENLY SPACED PER THE IRC M1601.3.
- ELECTRIC SERVICE SHALL COMPLY WITH SECTION 9-6-3: SERVICE ENTRANCE CAPACITY AND EQUIPMENT REQUIRED, OF VILLAGE OF HINSDALE, TITLE 9 BUILDING REGULATIONS, CHAPTER 6, ELECTRIC CODE AMENDMENTS.
- PROVIDE PERMANENTLY AFFIXED CERTIFICATE AT ELECTRICAL PANEL COMPLIANT W/ IECC 2018 SECTION R401.3.

PROJECT DATA

JURISDICTION:	DUPAGE or COOK COUNTY, HINSDALE, ILLINOIS
ZONING:	R-1
SITE AREA:	51,030.0 SQ.FT.
ALLOWABLE BLDG. COVERAGE:	12,757.5 SQ.FT.
ACTUAL BLDG. COVERAGE:	FIRST FLOOR= 4,345.9 SQ.FT. PORCHES= 141.1 SQ.FT. GARAGE= 141.1 SQ.FT. TOTAL= 5,072.2 SQ.FT.
ALLOWABLE ACCESSORY USE:	5,103.0 SQ.FT.
ACTUAL ACCESSORY USE:	GARAGE= 726.3 SQ.FT. SPORT COURT= 3,250 SQ.FT. TOTAL= 3,976.3 SQ.FT.
ALLOWABLE LOT COVERAGE:	25,515.0 SQ.FT.
ACTUAL LOT COVERAGE:	10,216 SQ.FT.
ALLOWABLE F.A.R.:	12,206.0 SQ.FT.
ACTUAL F.A.R.:	BASEMENT= 1,695.5 SQ.FT. FIRST FLOOR= 4,345.9 SQ.FT. SECOND FLOOR= 2,997.1 SQ.FT. THIRD FLOOR= 0 SQ.FT. TOTAL= 9,765.8 SQ.FT.
AVERAGE EXTG. GRADE:	HOUSE= 696.10' GARAGE= 699.78'
BUILDING HEIGHT:	HOUSE= 28'-0 1/2" GARAGE= 14'-11 1/8"
BUILDING ELEVATION:	42'-0 1/2"
TYPE OF CONSTRUCTION:	MASONRY / WOOD FRAME

CODE INFORMATION

ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION AS NOTED OF THE FOLLOWING APPLICABLE CODES:

- 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL RESIDENTIAL CODE
- 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2014 ILLINOIS PLUMBING CODE
- 2006 INTERNATIONAL PLUMBING CODE
- 2005 NFPA NATIONAL ELECTRICAL CODE
- 2003 NFPA 101 LIFE SAFETY CODE
- 2006 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 INTERNATIONAL FUEL GAS CODE
- VILLAGE OF HINSDALE ORDINANCES
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE & ILLINOIS AMENDMENTS
- ILLINOIS ACCESSIBILITY CODE - CURRENT EDITION
- ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION.

SHEET INDEX

- EXTERIOR ELEVATION, SITE PLAN & GENERAL NOTES
- EXTERIOR ELEVATION
- EXTERIOR ELEVATIONS & DETAILS
- LOWER LEVEL FLOOR PLAN & LIGHT-VENT SCHEDULE
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN & PLUMBING RISER DIAGRAMS
- ROOF PLAN, PARTIAL THIRD FLOOR PLAN & DETAILS
- TERRACE PLANS & SECTION
- WALL SECTIONS
- WALL SECTIONS & DETAILS
- SPECIFICATION
- FOUNDATION & FIRST FLOOR FRAMING PLAN
- SECOND FLOOR FRAMING PLAN & DETAILS
- SECOND & THIRD FLOOR CEILING FRAMING PLANS
- ROOF FRAMING PLAN & DETAILS
- LOWER LEVEL SCHEMATIC ELECTRICAL PLAN
- FIRST FLOOR SCHEMATIC ELECTRICAL PLAN
- SECOND & THIRD FLOOR SCHEMATIC ELECTRICAL PLANS
- LOWER LEVEL OVERLAY PLAN
- FIRST FLOOR OVERLAY PLAN
- SECOND FLOOR OVERLAY PLAN
- THIRD FLOOR OVERLAY PLAN



EXPIRES 11/30/2022
IL DESIGN FIRM NO.
1 8 4 . 0 0 7 4 9 7

[moment] DESIGN
201 E. OGDEN AVE, STE. 20, HINSDALE, IL 60521
P 630 828 8161
WWW.MOMENTDESIGN.NET

PIEMONTE HOUSE
419 S OAK ST. HINSDALE, IL

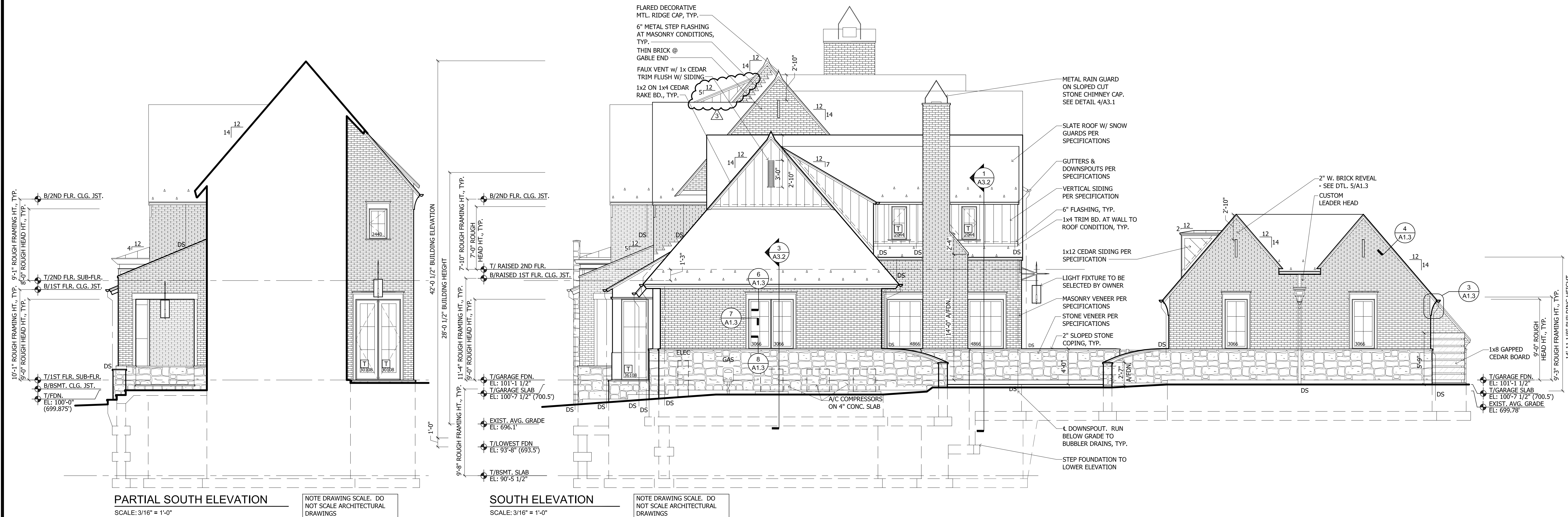
ISSUE/REVISION:
10 27 20 PERMIT REVISIONS
11 13 20 PERMIT REVISIONS
02 04 21 BULLETIN 1

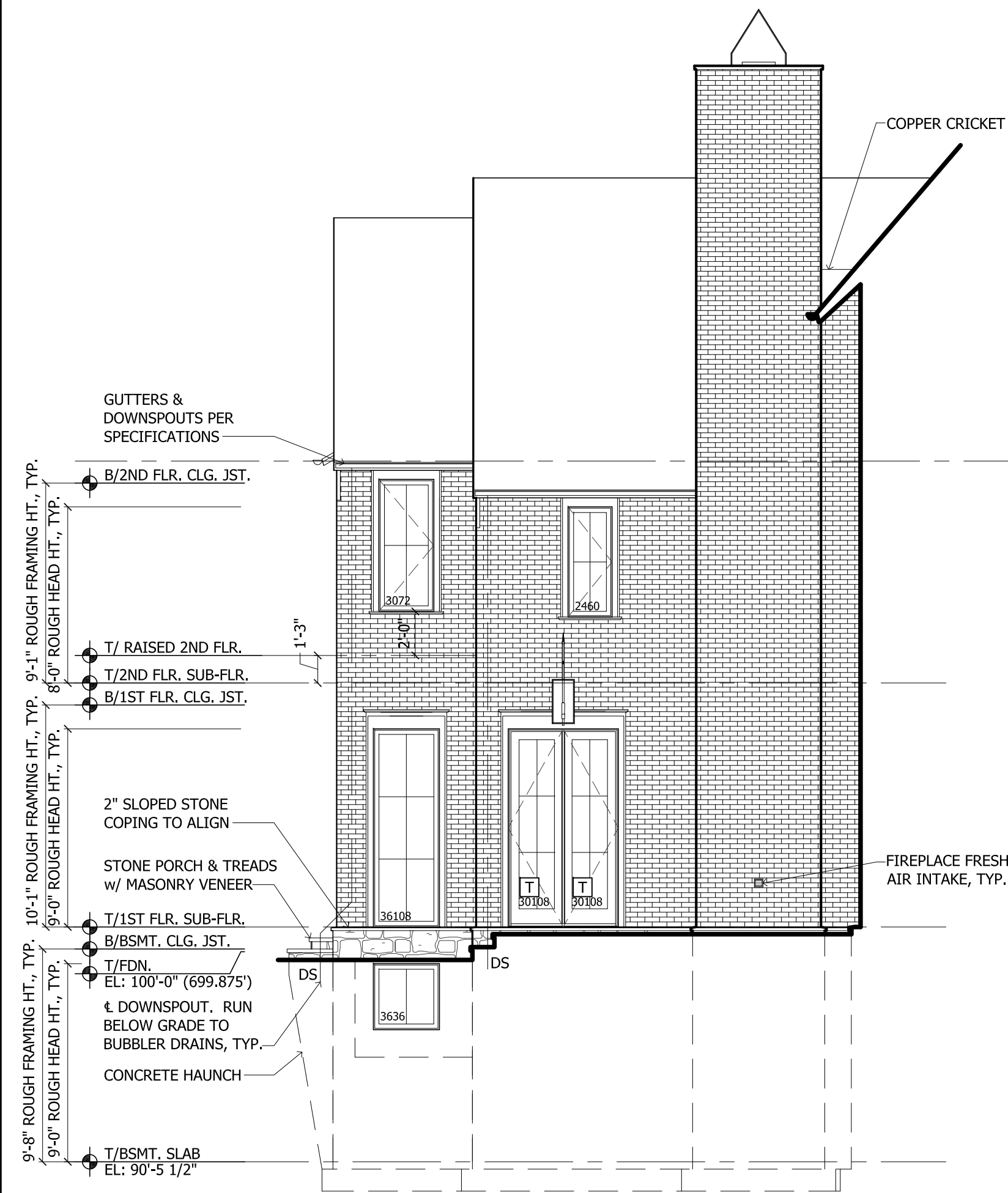
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DATE: 09 21 20

EXTERIOR
ELEVATION,
SITE PLAN &
GENERAL
NOTES

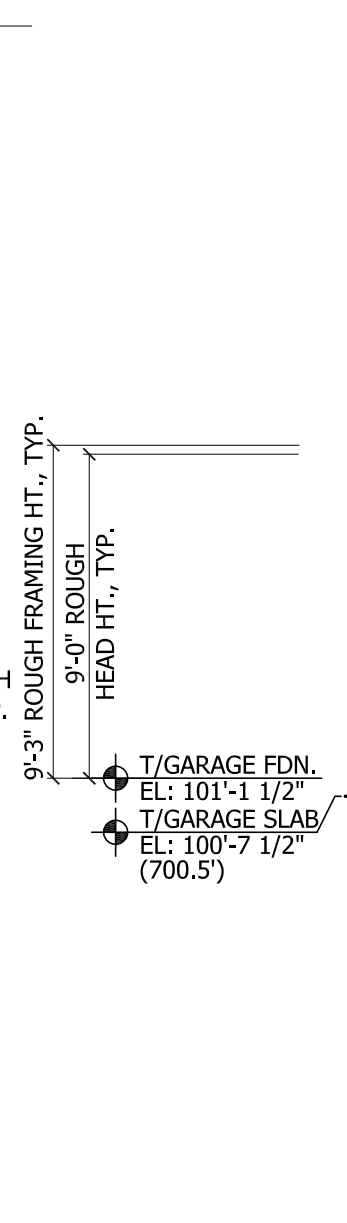
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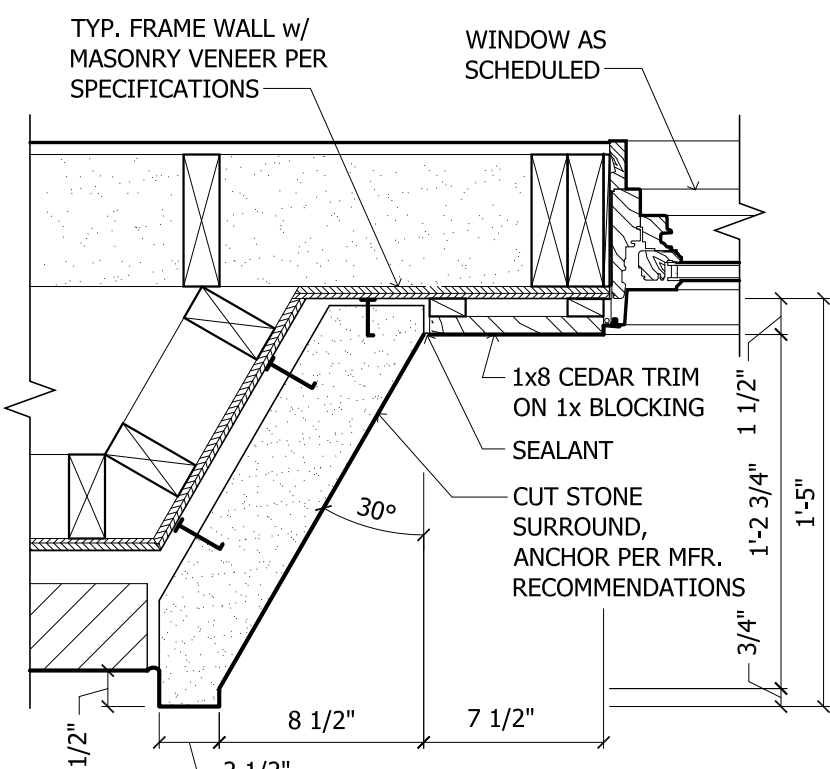
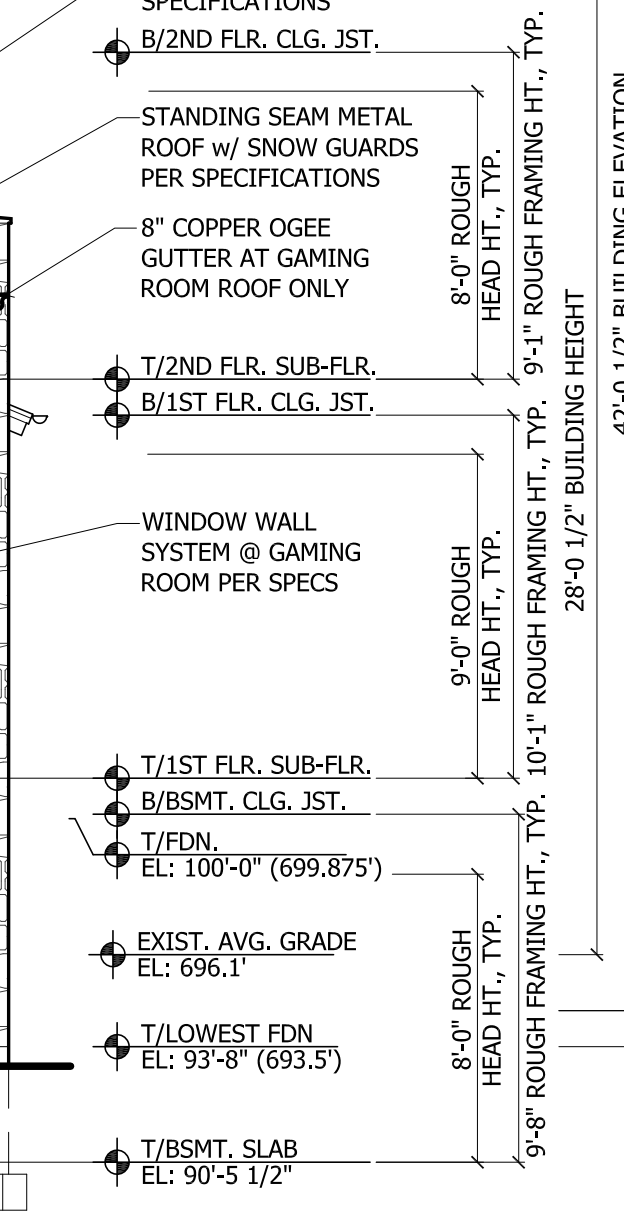
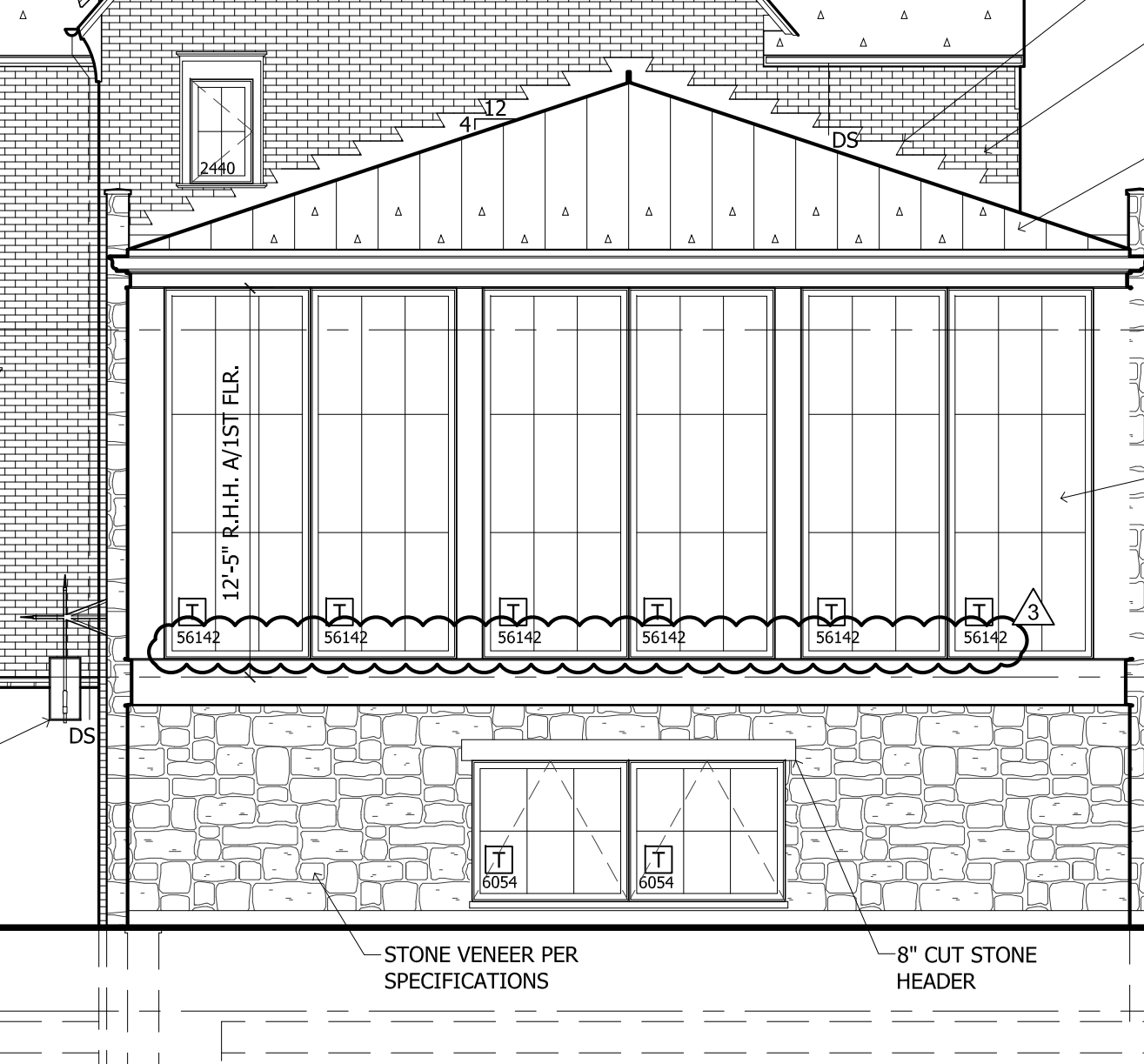
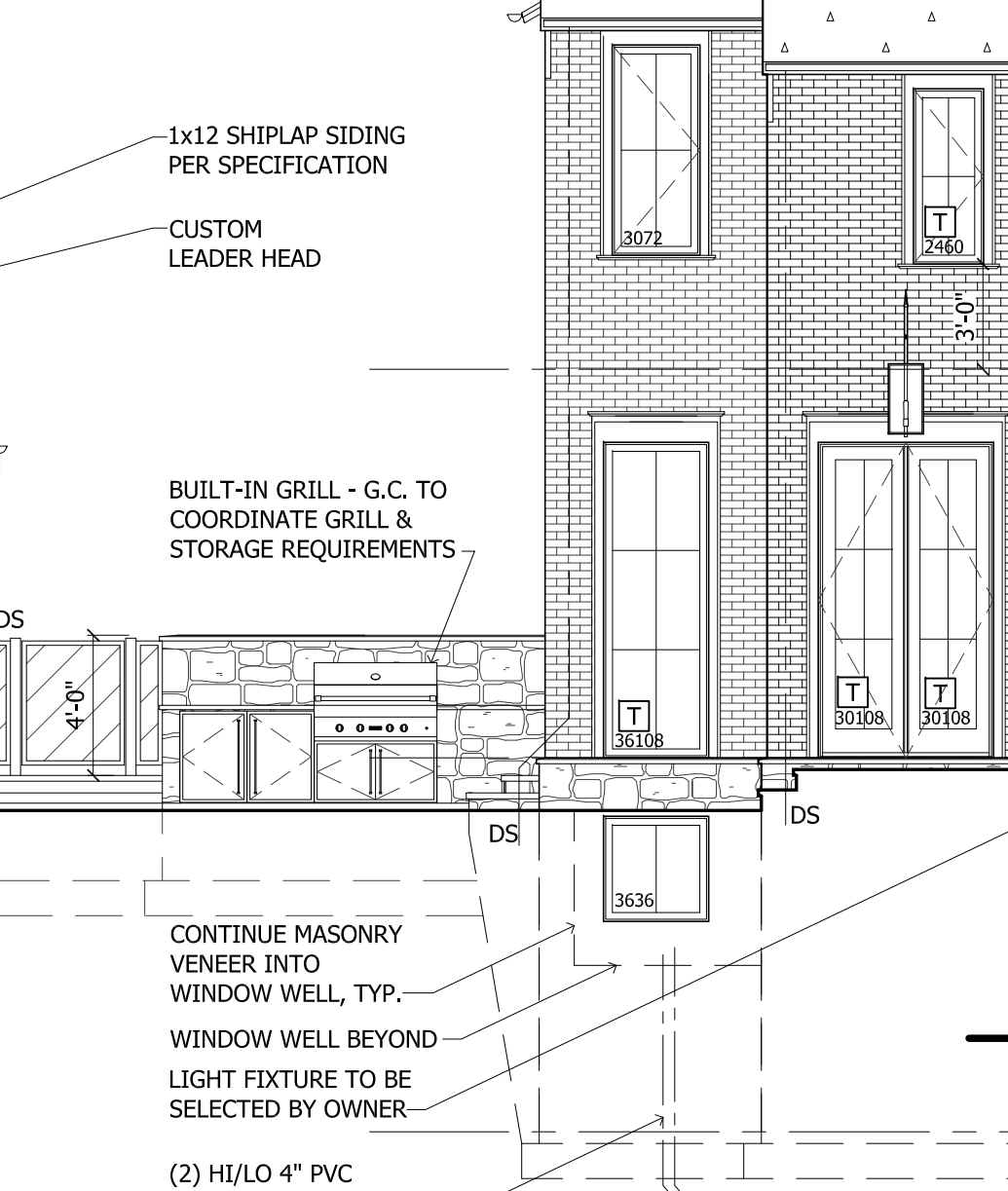
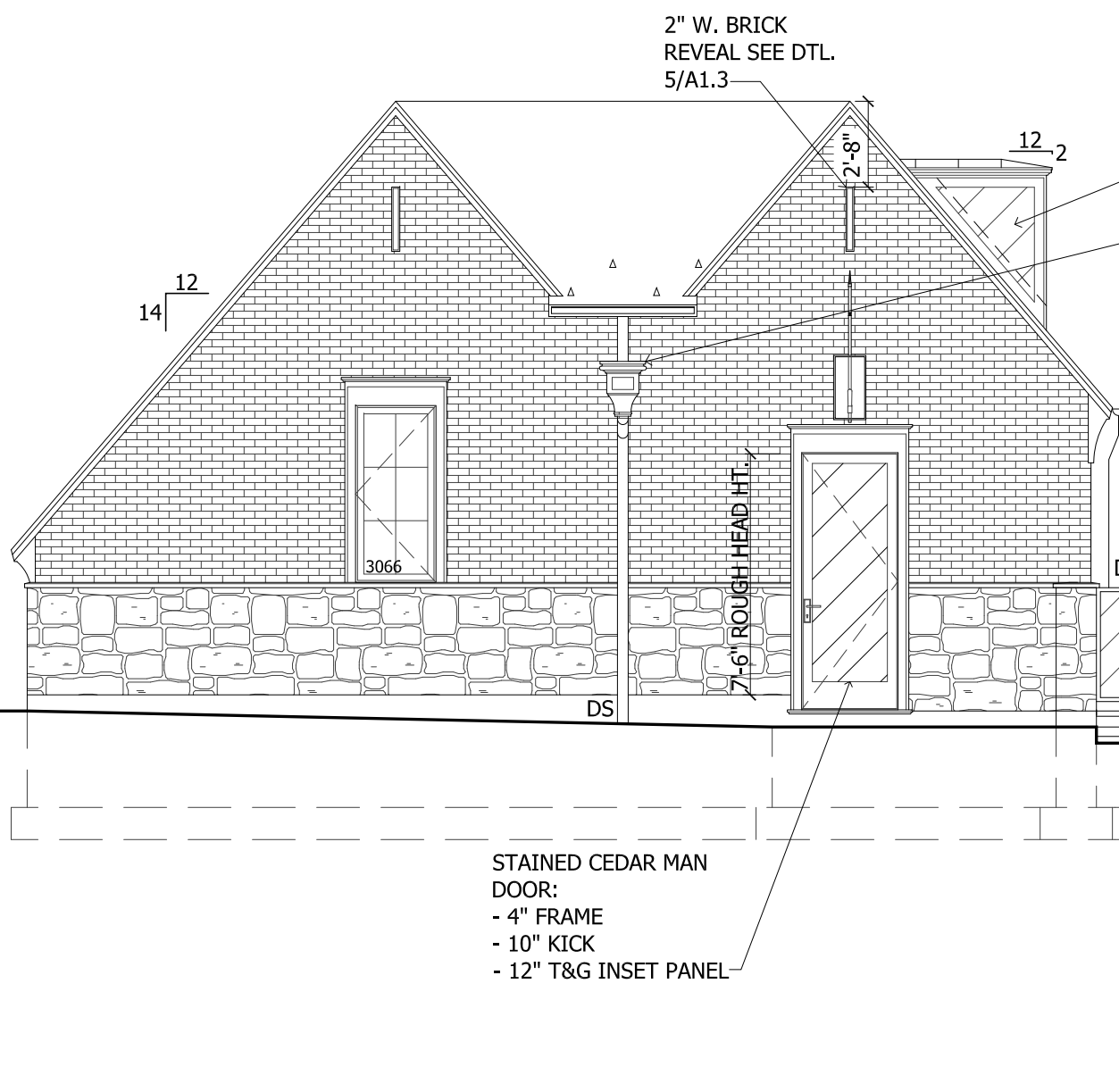
PARTIAL NORTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE DRAWING SCALE. DO NOT SCALE ARCHITECTURAL DRAWINGS

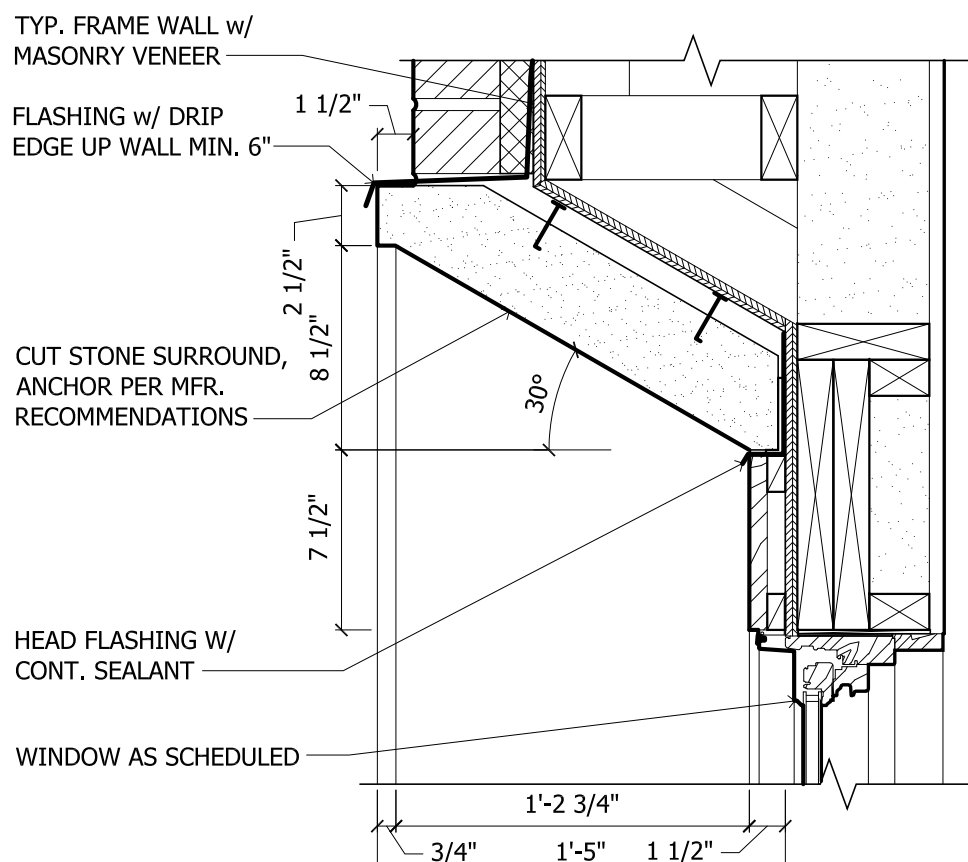


NORTH ELEVATION
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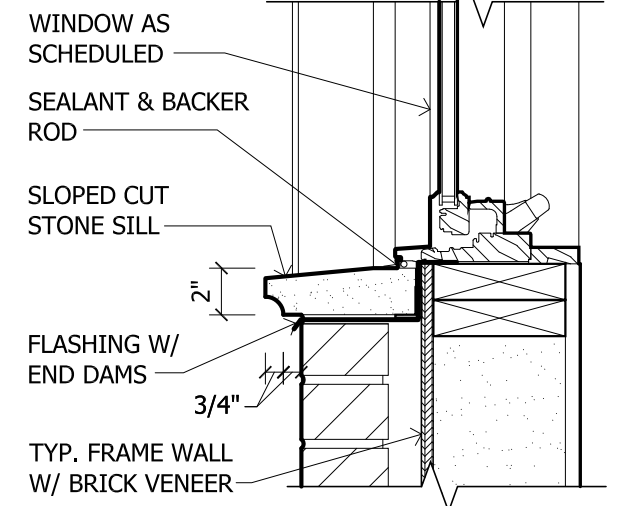
NOTE DRAWING SCALE. DO NOT SCALE ARCHITECTURAL DRAWINGS



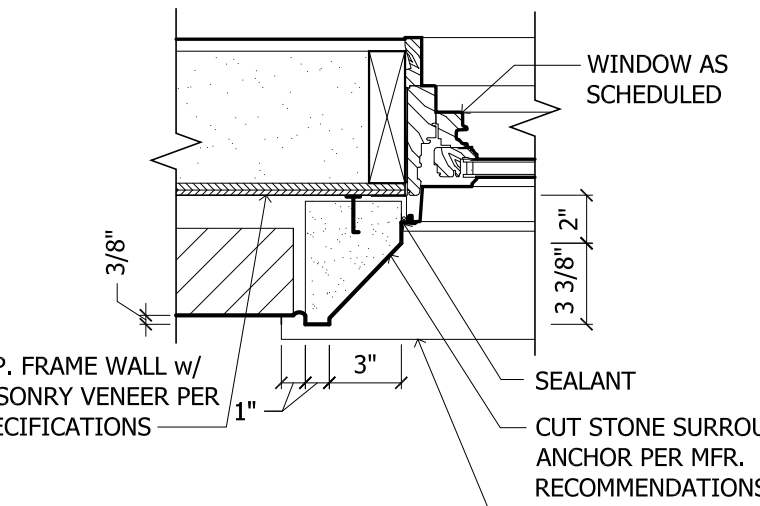
10 CUT STONE WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



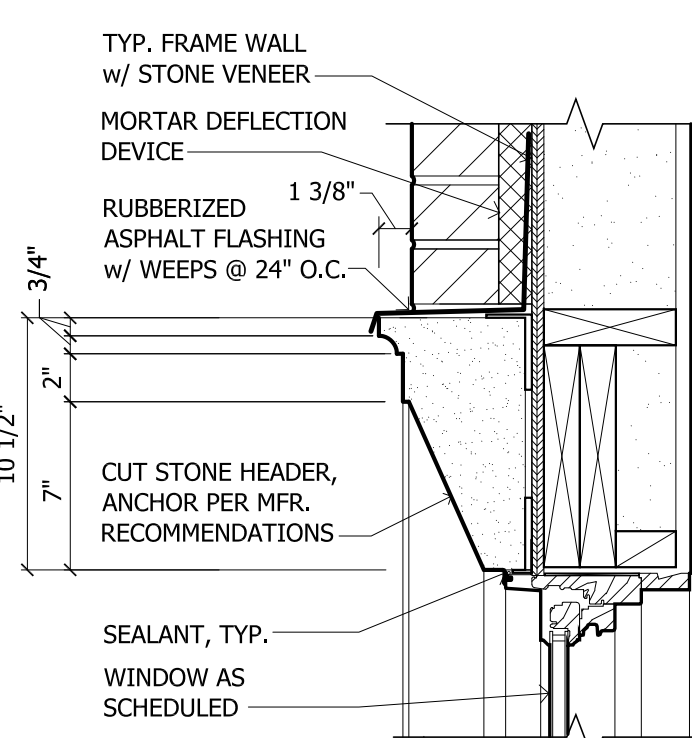
9 CUT STONE WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



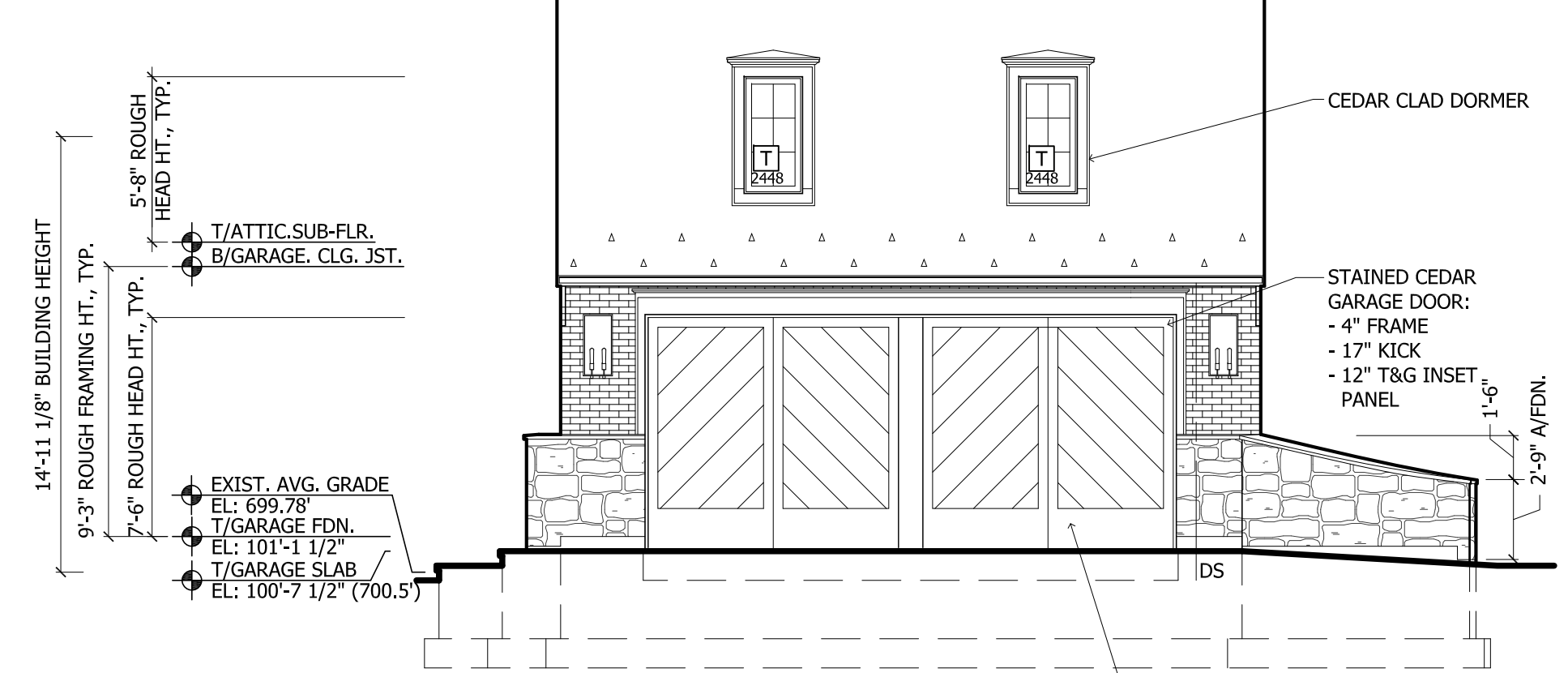
8 TYP. MASONRY SILL DETAIL
SCALE: 1 1/2" = 1'-0"



7 TYP. MASONRY WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

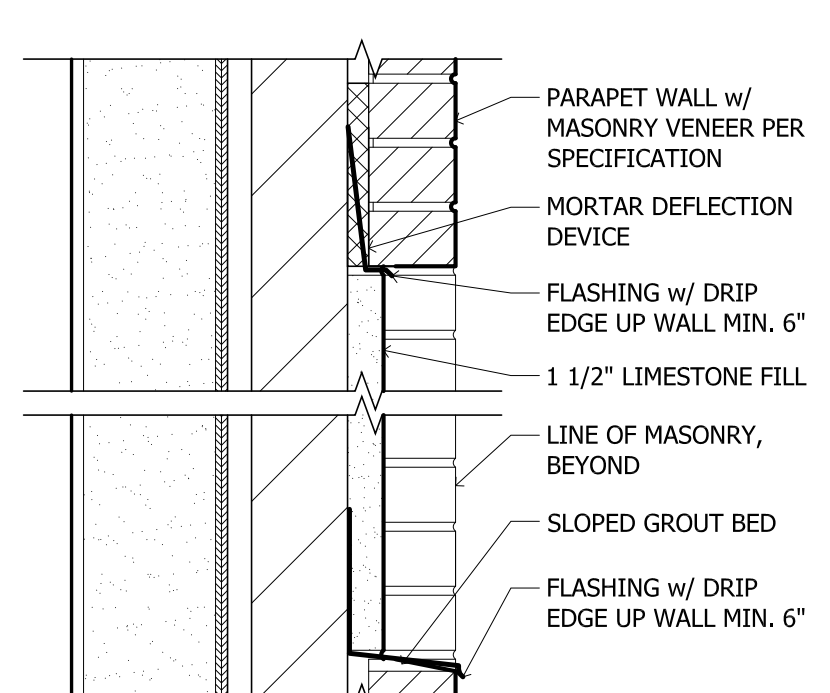


6 TYP. MASONRY HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

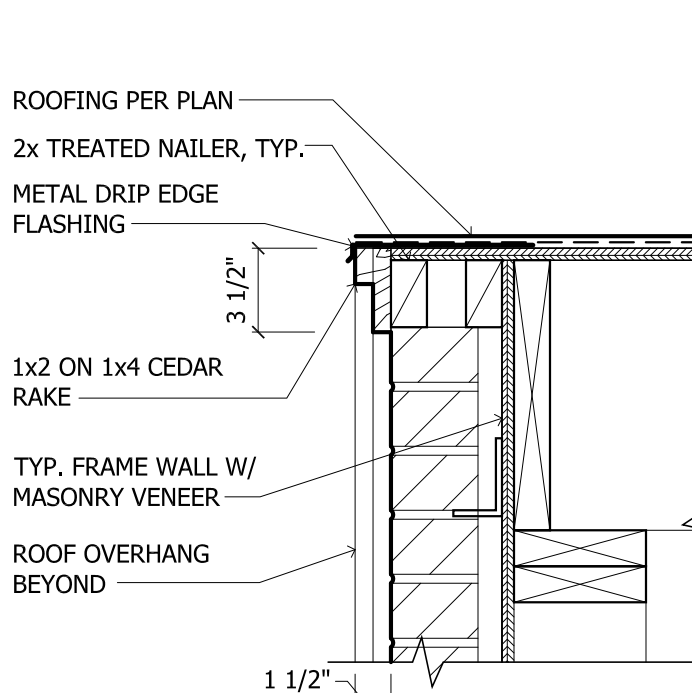


GARAGE WEST ELEVATION
SCALE: 3/16" = 1'-0"

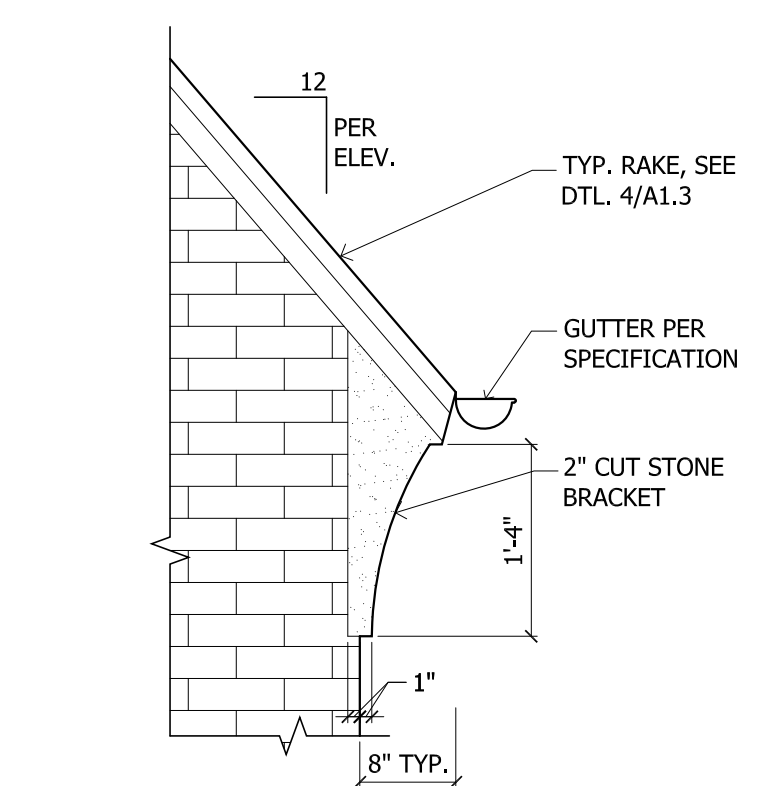
NOTE DRAWING SCALE. DO NOT SCALE ARCHITECTURAL DRAWINGS



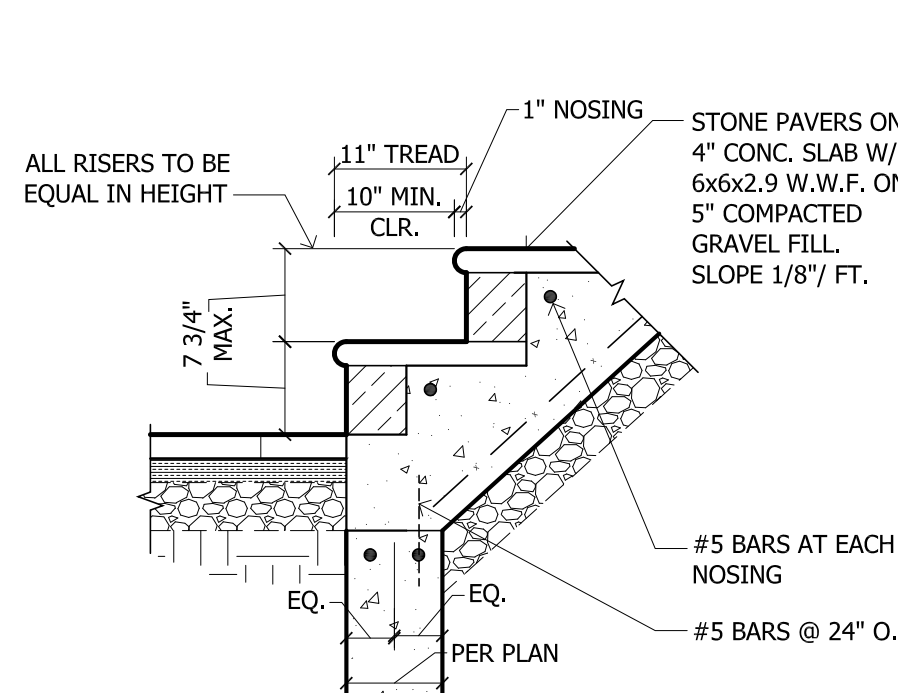
5 MASONRY REVEAL DTL.
SCALE: 1 1/2" = 1'-0"



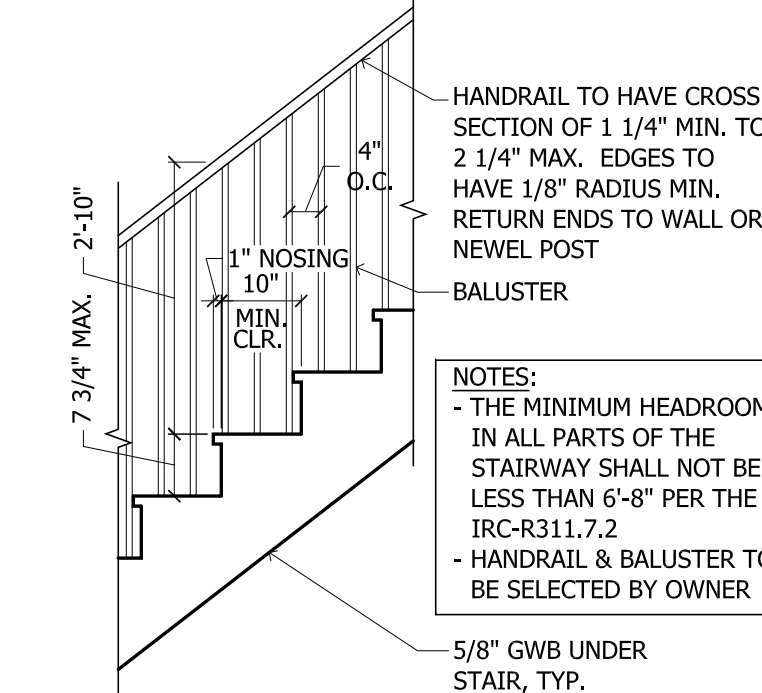
4 MASONRY RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



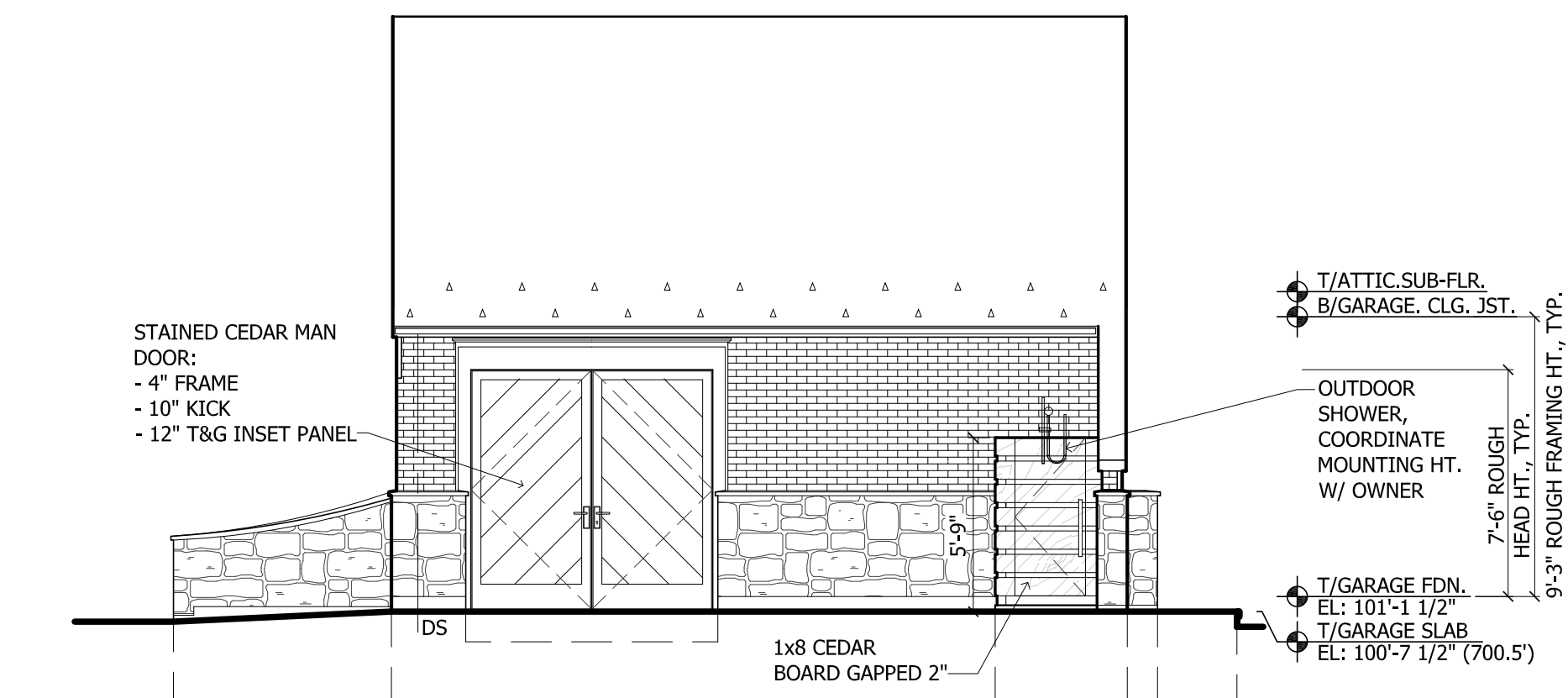
3 TYP. EAVE DETAIL
SCALE: 3/4" = 1'-0"



2 MASONRY STEP DETAIL
SCALE: 3/4" = 1'-0"



1 TYP. STAIR DETAIL
SCALE: 1/2" = 1'-0"



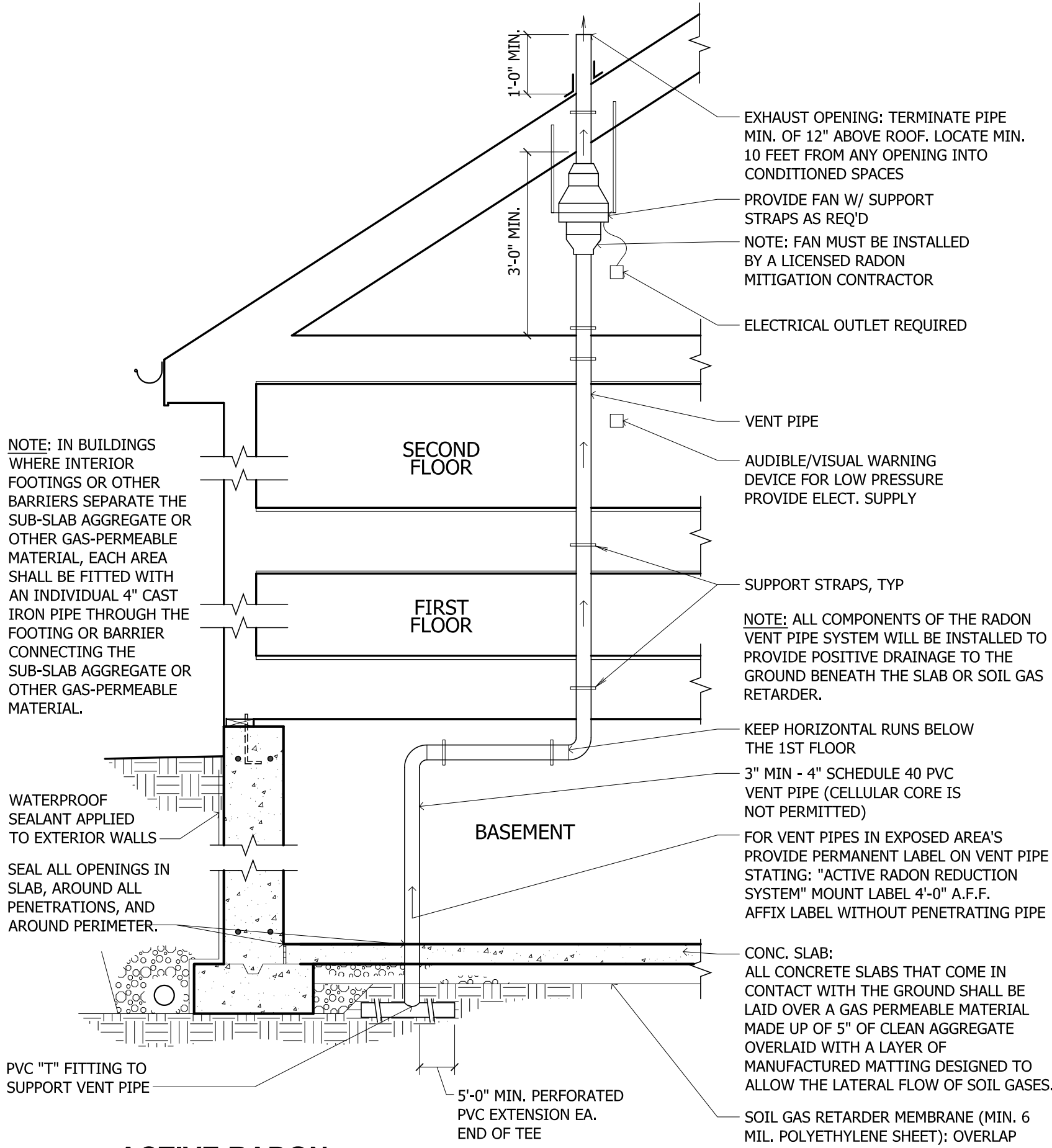
GARAGE EAST ELEVATION
SCALE: 3/16" = 1'-0"

NOTE DRAWING SCALE. DO NOT SCALE ARCHITECTURAL DRAWINGS

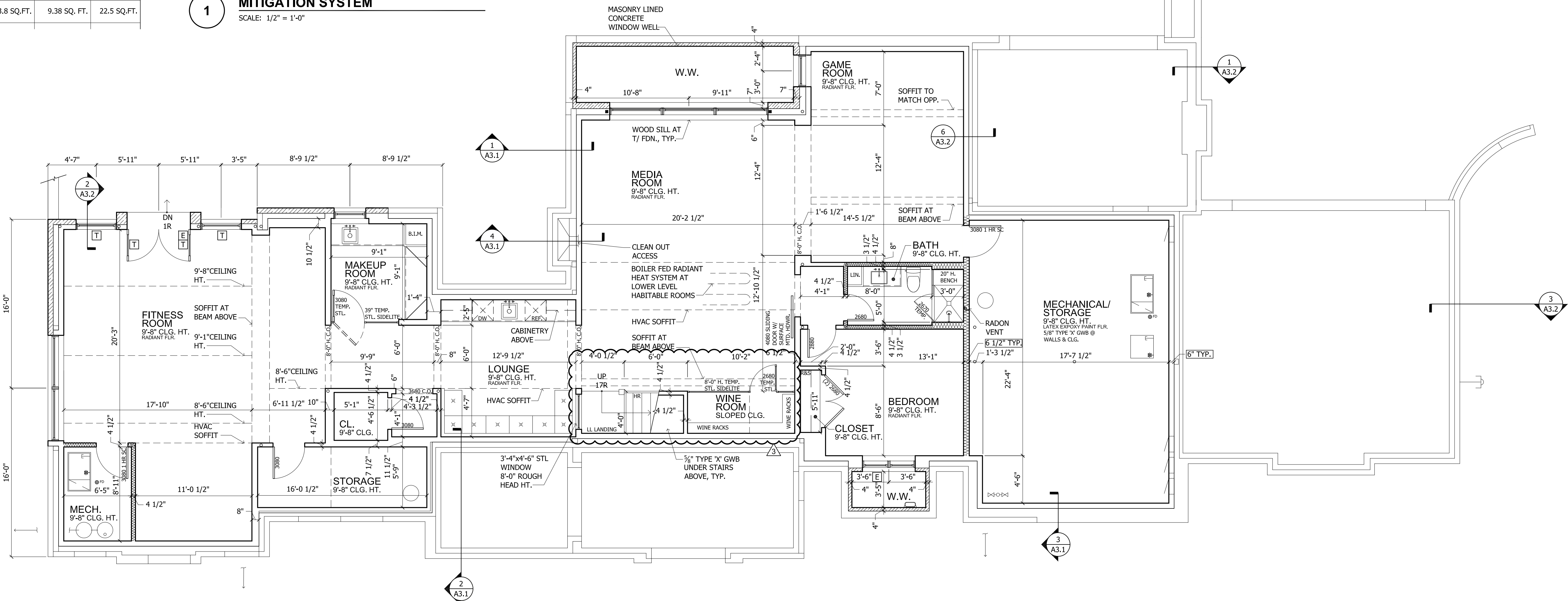
LIGHT & VENT SCHEDULE

LIGHT REQ'D = 8% OF ROOM AREA
VENT REQ'D = 4% OF ROOM AREA
UNFINISHED BASEMENT LIGHT & VENT REQ'D = 2% OF FLOOR AREA

ROOM NAME	AREA	LIGHT REQ'D	LIGHT ACTUAL	VENT REQ'D	VENT ACTUAL
BASEMENT					
FITNESS	606.2 SQ. FT.	48.50 SQ. FT.	ART.	24.25 SQ. FT.	ART.
GAME ROOM	285.9 SQ. FT.	22.87 SQ. FT.	ART.	11.44 SQ. FT.	ART.
LOUNGE	168.5 SQ. FT.	13.48 SQ. FT.	ART.	6.74 SQ. FT.	ART.
FAMILY ROOM	515.2 SQ. FT.	41.22 SQ. FT.	33.5 SQ.FT.	20.61 SQ. FT.	ART.
WINE ROOM	38.8 SQ. FT.	3.10 SQ. FT.	ART.	1.55 SQ. FT.	ART.
BEDROOM	164.8 SQ. FT.	13.18 SQ. FT.	17.8 SQ.FT.	6.59 SQ. FT.	25 SQ.FT.
BATH	59.7 SQ. FT.	4.77 SQ. FT.	ART.	2.39 SQ. FT.	ART.
MAKEUP ROOM	79.5 SQ. FT.	6.36 SQ. FT.	ART.	3.18 SQ. FT.	ART.
FIRST FLOOR					
GAMING ROOM	573.5 SQ. FT.	45.88 SQ. FT.	587.6 SQ.FT.	22.94 SQ. FT.	ART.
DEN	245.3 SQ. FT.	19.63 SQ. FT.	119.9 SQ.FT.	9.81 SQ. FT.	22.5 SQ.FT.
ENTRY	169.0 SQ. FT.	13.52 SQ. FT.	171.3 SQ.FT.	6.76 SQ. FT.	31.5 SQ.FT.
FAMILY ROOM	505.0 SQ. FT.	40.40 SQ. FT.	139.1 SQ.FT.	20.20 SQ. FT.	42.0 SQ.FT.
KITCHEN	370.1 SQ. FT.	29.61 SQ. FT.	38.11 SQ.FT.	14.81 SQ. FT.	ART.
DINING ROOM	236.9 SQ. FT.	18.95 SQ. FT.	198.7 SQ.FT.	9.48 SQ. FT.	119 SQ.FT.
PLAYROOM/ OFFICETTE	196.7 SQ. FT.	15.73 SQ. FT.	169.3 SQ.FT.	7.87 SQ. FT.	ART.
POWDER ROOM	37.2 SQ. FT.	2.98 SQ. FT.	ART.	1.49 SQ. FT.	ART.
POWDER ROOM 2	56.7 SQ. FT.	4.54 SQ. FT.	ART.	2.27 SQ. FT.	ART.
POWDER ROOM 3	38.7 SQ. FT.	3.10 SQ. FT.	ART.	1.55 SQ. FT.	ART.
SECOND FLOOR					
MASTER BEDROOM	290.6 SQ. FT.	23.25 SQ. FT.	48.16 SQ.FT.	11.62 SQ. FT.	51 SQ.FT.
MASTER BATH	326.7 SQ. FT.	26.14 SQ. FT.	34.6 SQ.FT.	13.07 SQ. FT.	48.22 SQ.FT.
BEDROOM 2	216.6 SQ. FT.	17.33 SQ. FT.	29.7 SQ.FT.	8.66 SQ. FT.	30 SQ.FT.
BATH 2	57.8 SQ. FT.	4.62 SQ. FT.	ART.	2.31 SQ. FT.	ART.
BEDROOM 3	187.9 SQ. FT.	15.03 SQ. FT.	37.2 SQ.FT.	7.52 SQ. FT.	36 SQ.FT.
BATH 3	52.4 SQ. FT.	4.19 SQ. FT.	6.6 SQ.FT.	2.10 SQ. FT.	10 SQ.FT.
BEDROOM 4	222.3 SQ. FT.	17.78 SQ. FT.	43.9 SQ.FT.	8.89 SQ. FT.	46 SQ.FT.
BATH 4	71.7 SQ. FT.	5.74 SQ. FT.	ART.	2.87 SQ. FT.	ART.
THIRD FLOOR					
BEDROOM	234.49329269 SQ. FT.	18.76 SQ. FT.	23.8 SQ.FT.	9.38 SQ. FT.	22.5 SQ.FT.



1 ACTIVE RADON MITIGATION SYSTEM
SCALE: 1/2" = 1'-0"



LOWER LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

FINISHED AREA: 2338.9 SQ. FT.
UNFINISHED AREA: 700.6 SQ. FT.

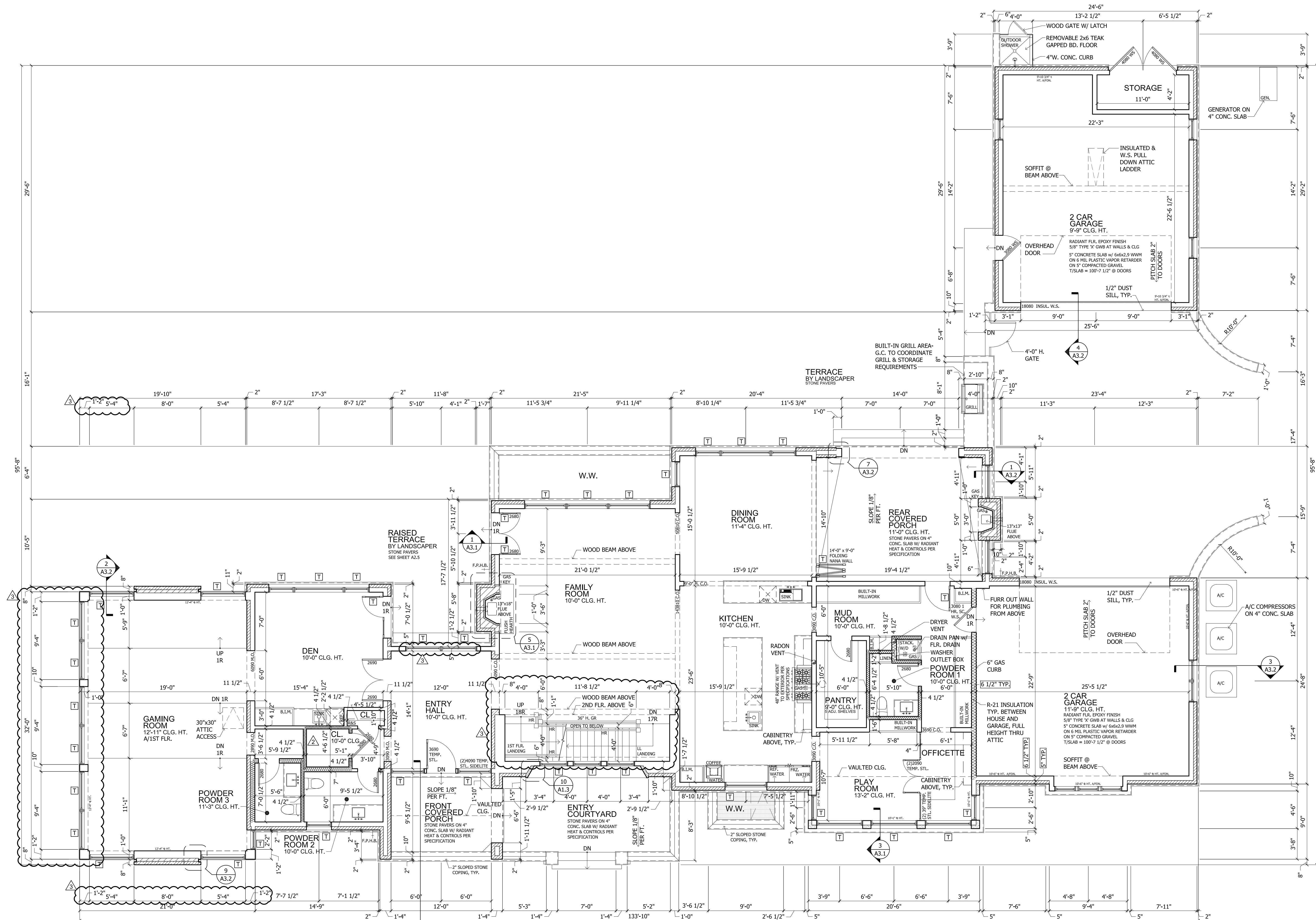


EXPIRES 11/30/2022
IL DESIGN FIRM NO.
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PIEMONTE HOUSE
419 S OAK ST. HINSDALE, IL

ISSUE/REVISION:
10 27 20 PERMIT REVISIONS
11 13 20 PERMIT REVISIONS
02 04 21 BULLETIN 1
JOB NUMBER: 20 15
DATE: 09 21 20

LOWER LEVEL
FLOOR PLAN &
LIGHT-VENT
SCHEDULE



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

AREA: 3332.1 SQ. FT.
GARAGES: 1357.0 SQ. FT.
PORCHES: 336.7 SQ. FT.

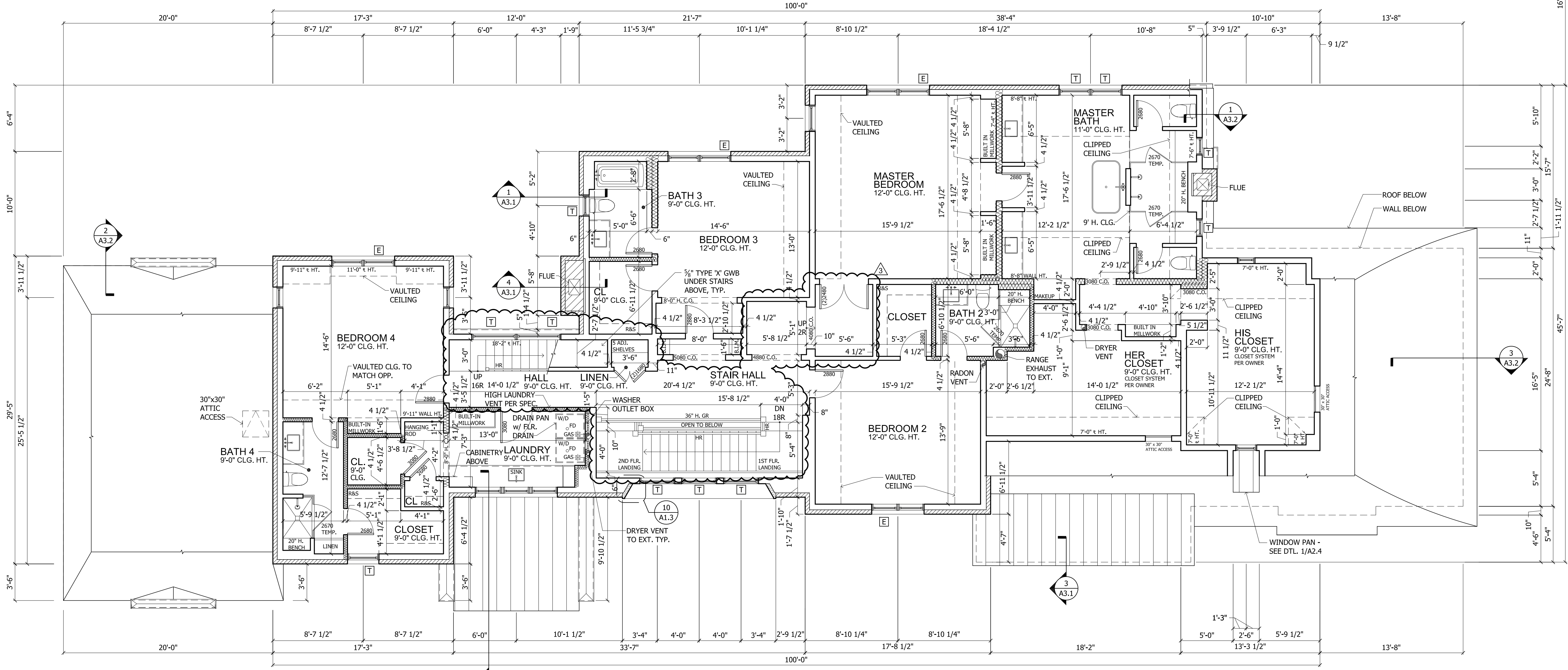
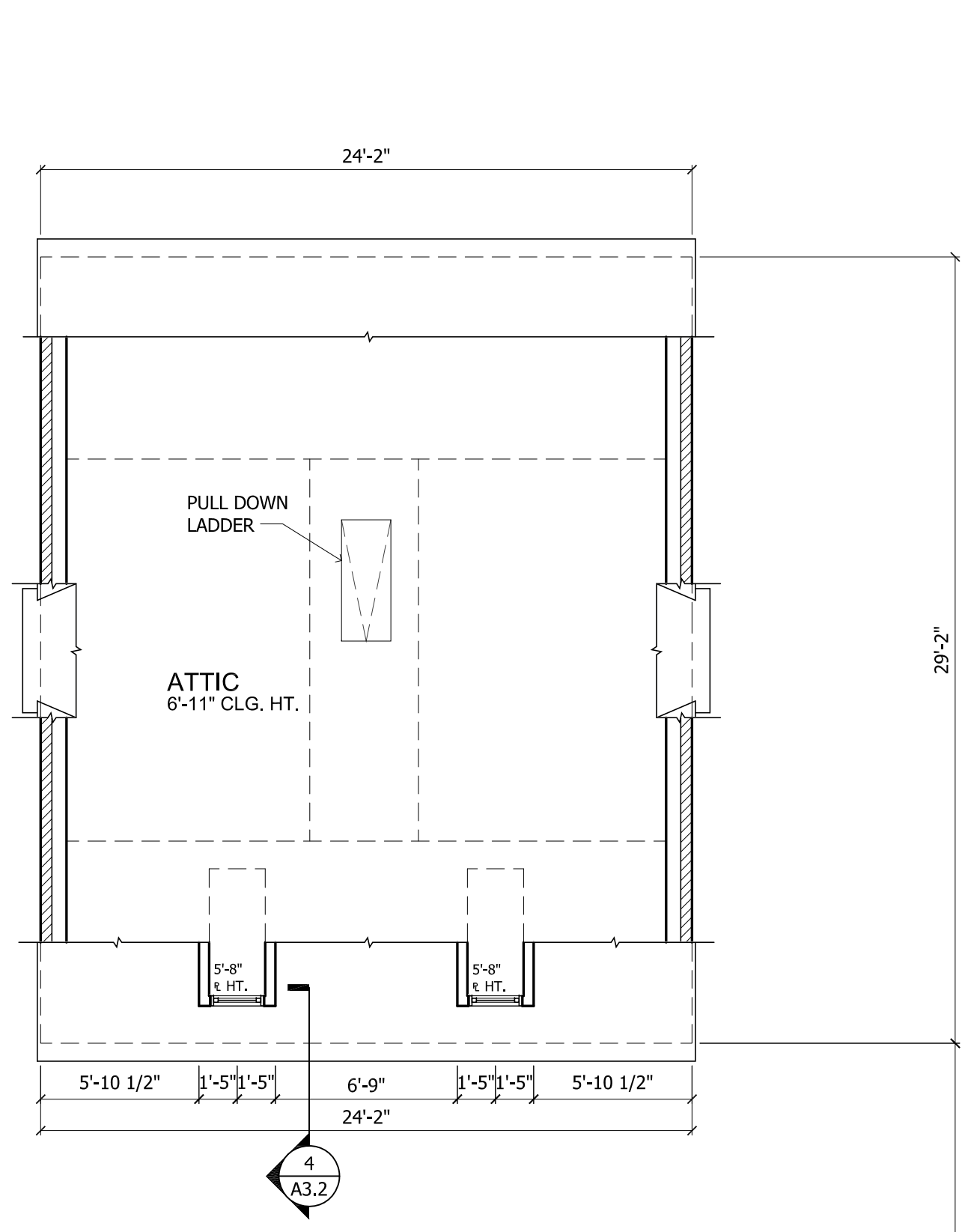
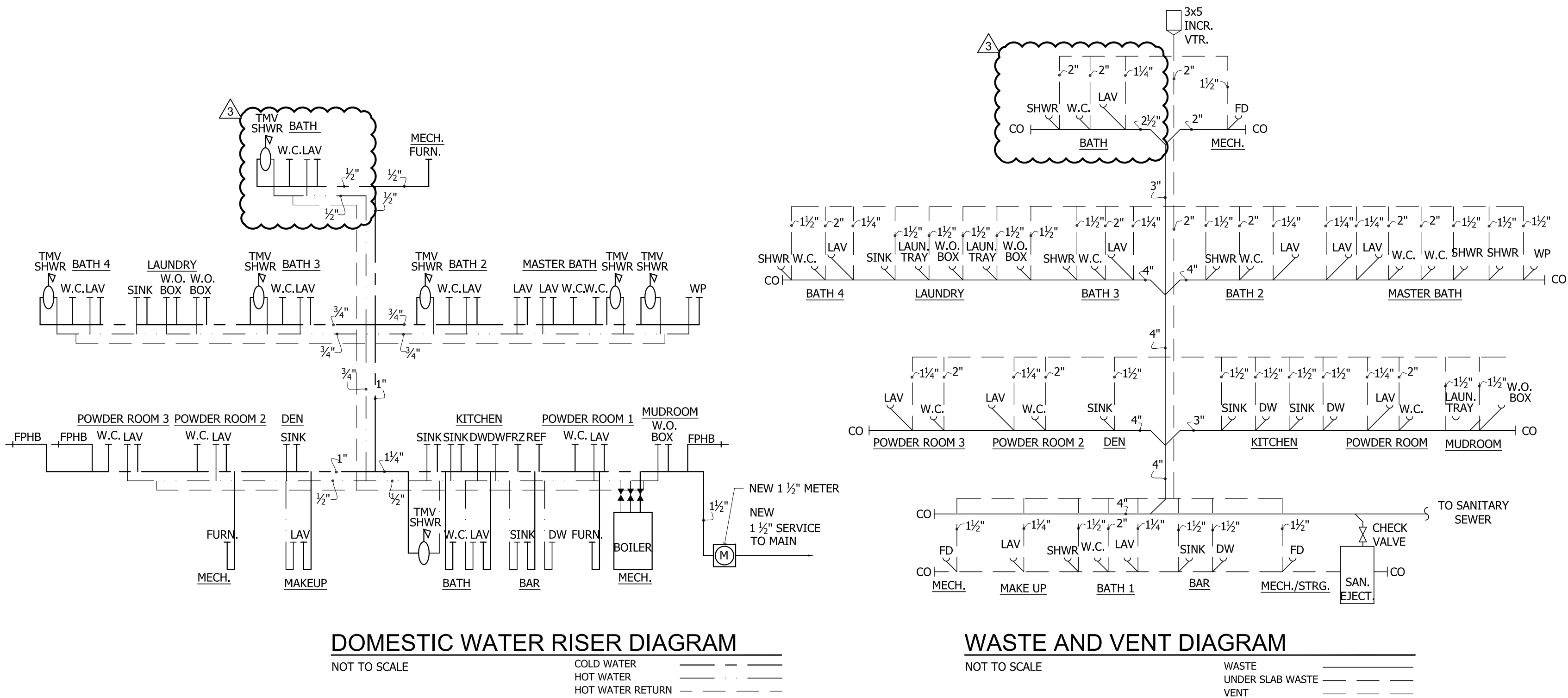
PLUMBING RISER GENERAL NOTES

- 1 ALL SUPPLY PIPING TO BE TYPE "K" COPPER U.N.O..
- 2 PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.
- 3 VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.
- 4 ALL WATER CLOSET VENTS SHALL BE 2" MINIMUM.
- 5 THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 THE DIAMETER OF THE DRAIN TO WHICH IT IS CONNECTED, WHICHEVER IS GREATER.
- 6 ALL UNDERGROUND WASTE PIPING TO BE CAST IRON.
- 7 ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.
- 8 TIE NEW LINES TO EXISTING AS REQUIRED. VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD.
- 9 GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S LANDSCAPE SPRINKLER SYSTEM.
- 10 COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK.

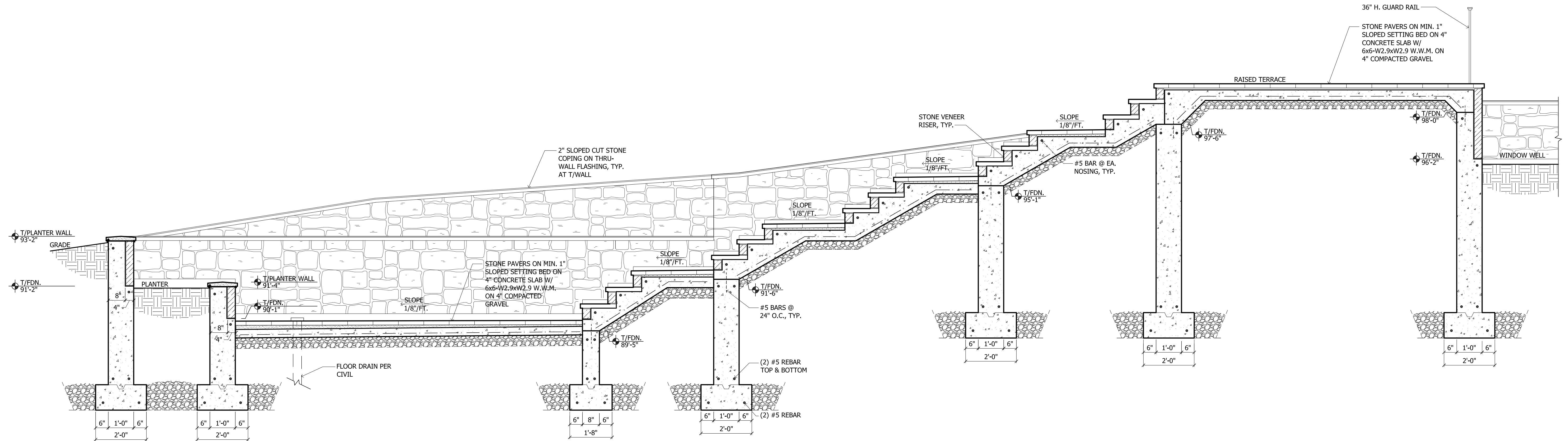
FIXTURE CONNECTION SIZES & QUANTITIES

FIXTURE TYPE	FIXTURE COUNT	SUPPLY				DRAINAGE				
		SUPPLY FIXTURES PER UNIT			TOTAL SUPPLY FIXTURE UNITS	FIXTURE SUPPLY PIPE SIZE	DRAINAGE FIXTURES PER UNIT	TOTAL DRAINAGE FIXTURE UNITS	FIXTURE DRAIN TRAP SIZE	
WATER CLOSET	10	3	0	3	30	3/8"	4	40	3"	
LAVATORY	11	0.75	0.75	1	11	3/8"	1	11	1 1/4"	
SHOWER STALL / TUB	7	1.5	1.5	2	14	1/2"	3	21	2"	
WHIRLPOOL	1	1.5	1.5	2	2	1/2"	3	3	2"	
STEAM UNIT	0	1	0	1	0	3/8"	0	0	-	
KITCHEN SINK	3	1.5	1.5	2	6	1/2"	2	6	1 1/2"	
DISHWASHER	1	0	1	1	1	1/2"	2	2	1 1/2"	
LAUNDRY SINK	1	1.5	1.5	3	3	1/2"	2	2	1 1/2"	
LAUNDRY DRAIN PAN	3	0	0	0	0	-	3	9	1 1/2"	
WASHER OUTLET BOX	3	2.25	2.25	2	6	1/2"	3	9	1 1/2"	
FLOOR DRAIN	3	0	0	0	0	-	3	9	2"	
HOSE BIBB	3	2.5	0	2.5	8	1/2"	0	0	-	
RAINHEAD SHOWER	0	0.5	0.5	1	0	1/2"	3	0	2"	
POT FILLER	0	1.5	1.5	3	0	1/2"	-	0	-	
TOTAL FIXTURE UNITS:	45				73			112		

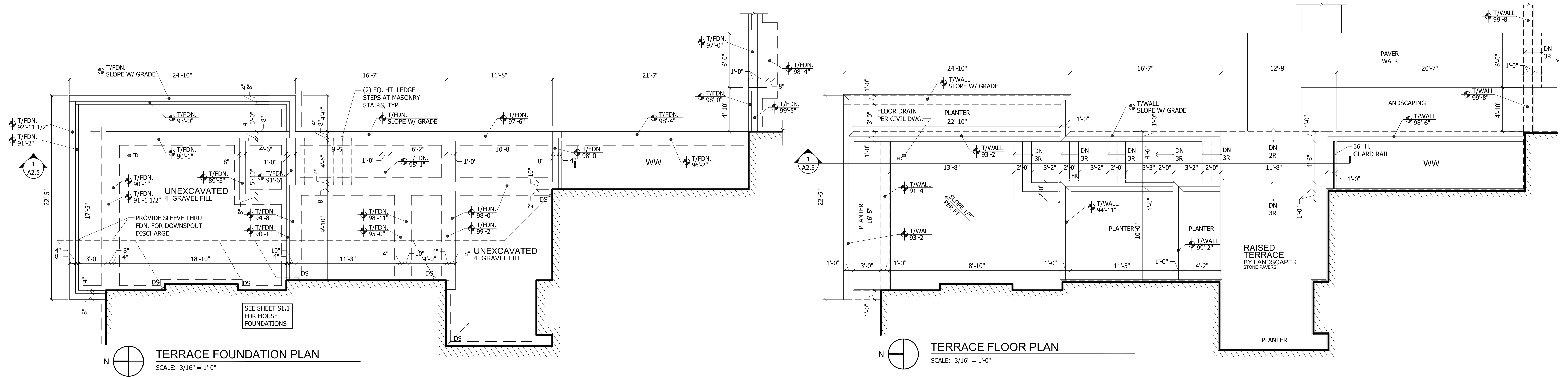
NOTE:
ALL SUPPLY & DRAINAGE FIXTURE UNITS, SUPPLY PIPE SIZES, DRAIN TRAP SIZES & VENT SIZES ARE PER ILLINOIS PLUMBING CODE, 2014 EDITION.



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"
AREA: 3016.0 SQ. FT.



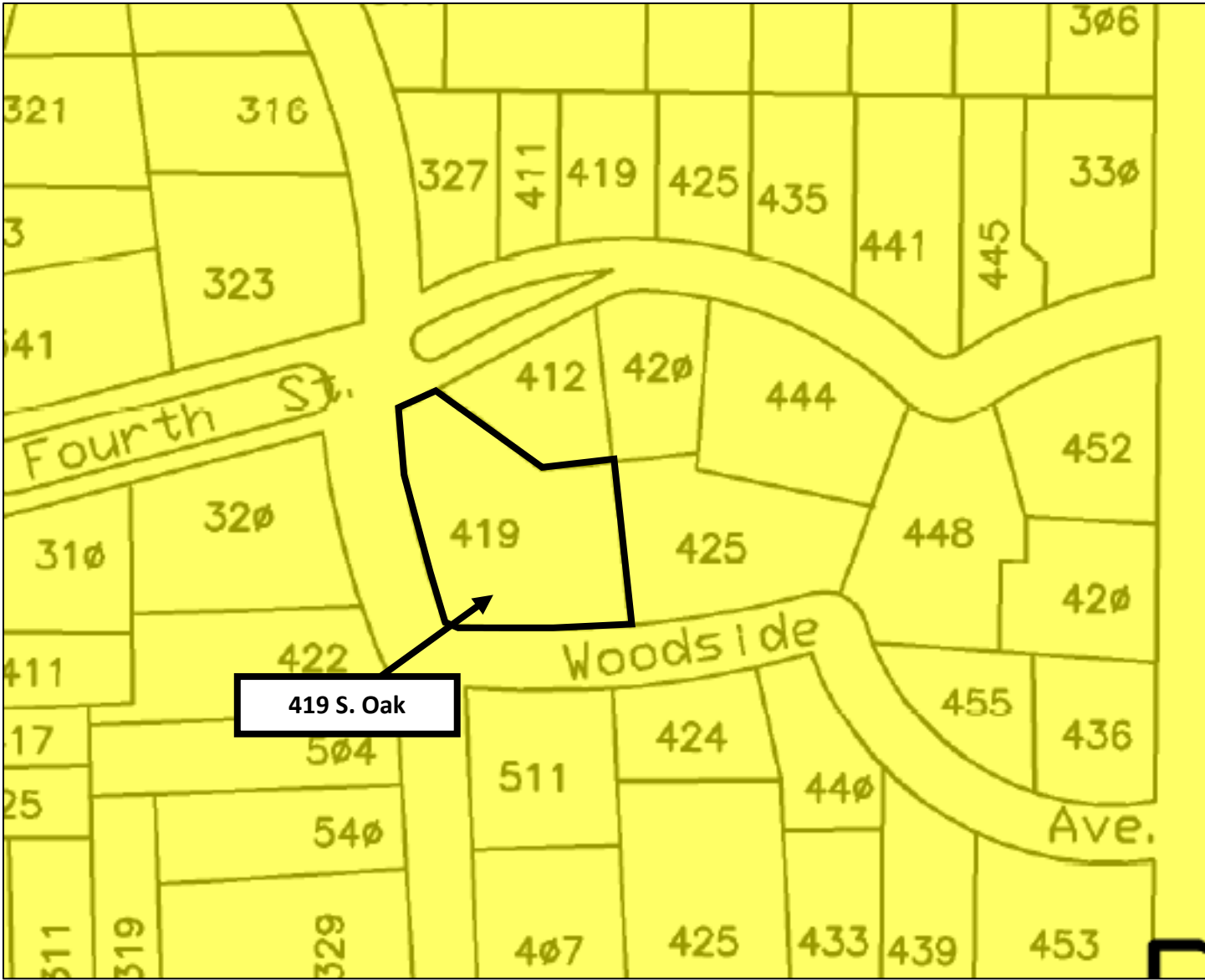
1
TERRACE STAIR SECTION
SCALE: 1/2" = 1'-0"



TERRACE FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

TERRACE FLOOR PLAN
SCALE: 3/16" = 1'-0"

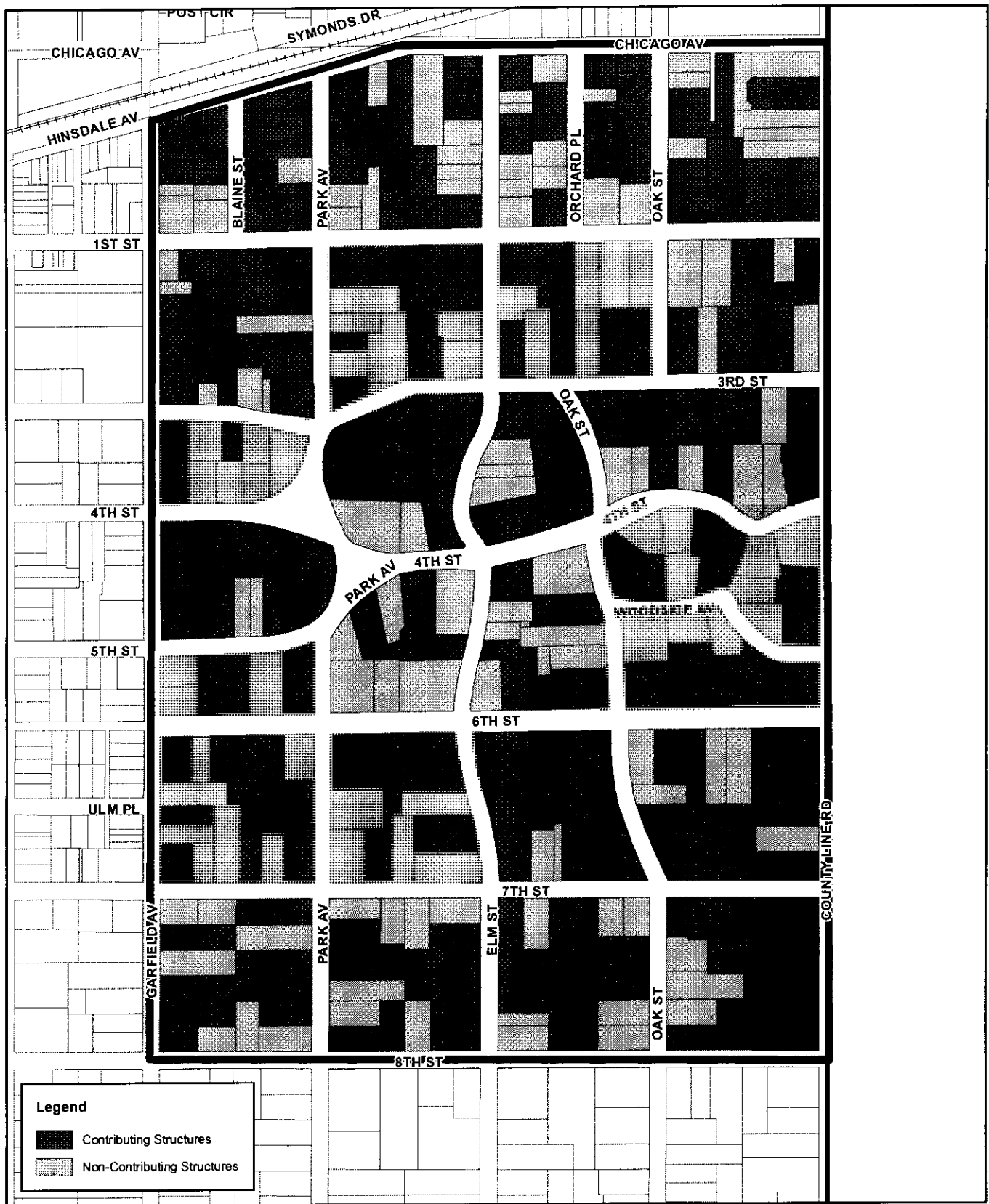
Village of Hinsdale Zoning Map and Project Location



Aerial View – 419 S. Oak Street



ROBBINS PARK HISTORIC DISTRICT



0 250 500 1,000 Feet



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 15

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NO	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
4	S OAK	American Foursquare	c. 1910	Conover, Lawrence F. House	C	-			
7	S OAK	Neo-Traditional	1987		NC	-			
8	S OAK	American Foursquare	c. 1915		C	C			detached garage
13	S OAK	American Foursquare	c. 1910		C	C			detached garage
14	S OAK	Colonial Revival	c. 1910		C	NC			detached garage
17	S OAK	American Foursquare	c. 1910		C	C			detached garage
23	S OAK	Prairie	c. 1915	Conover, Isabel S. House	C	-			
24	S OAK	Colonial Revival	c. 1915		C	NC			detached garage
30	S OAK	Craftsman Bungalow	c. 1920		C	C			detached garage
31	S OAK	Neo-Traditional	1997		NC	-	Mifflin Assoc., R. A. (RAM)	Hallmark Homes of Hinsdale	
35	S OAK	Craftsman	c. 1910		C	-			
36	S OAK	Renaissance Revival	1928	Jaedecke, C.P. House	C	-	Wilkins, S. W.	Droos, A.	
136	S OAK	Craftsman	1912	Barfield, William G. House	C	-	Barfield, William Gibson		
316	S OAK	Colonial Revival	c. 1895	Hildebrand, Lewis K. House	C	C			detached garage
327	S OAK	Neo-Traditional	2005-06		NC	-			
419	S OAK	Classical Revival	c. 1910-11	Hicks, Ernest H. House	C	-			
422	S OAK	Prairie	1904	Brown, Charles A. House	C	-	Zimmerman, William Carbys		
504	S OAK	No style (altered)	c. 1940		NC	-			
511	S OAK	No style	c. 1925		NC	NC			Detached garage
540	S OAK	Neo-Traditional	1998		NC	-	Kang, Sinsuk	Peyton, Alan R.	
610	S OAK	Ranch	1952	Framburg, Mr. & Mrs. Stanley	C	C	Stade, Charles	Wendell, A. W. & Son	Shed

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.




MEMORANDUM

DATE: October 7, 2020

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 419 S. Oak St. – Application for Certificate of Appropriateness to Construct a New Home in the Robbins Park Historic District – Case HPC-12-2020
New Plan/Architect since July 2020, HPC-02-2020 Application

Summary

The Village of Hinsdale has received an application from J Jordan Homes, LLC, and requesting approval for a Certificate of Appropriateness (CoA) to construct a new house in the Robbins Park Historic District. The project architect is Moment Design. Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is 419 S. Oak Street, located on a corner lot at South Oak Street and Woodside Avenue. The HPC previously reviewed and unanimously denied a request for a CoA to demolish and construct a new home on July 1, 2020, for case HPC-01-2020. The initial plans for the new house were prepared by Orren Pickell Design Group (Attachment 5). The new applicant and builder is J Jordan Homes, and the new architect is Moment Design. The owner of record is the same, Alexa Piemonte, for both applications.

The applicant would like to seek the right to obtain a building permit to construct a new Code compliant single family house (attached). The vacant subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. The subject property is code compliant 51,030 SF lot. The application includes a colored front elevation, site plan and elevations of all sides of the new proposed house.

Per the applicant, the proposed house features a limewashed brick exterior and was designed with the desire to have permanent and classic exterior materials, with stone, slate, copper and gas lanterns. The large windows will be bright and it will be inviting with a front entry covered porch while still classic in appearance. The home was designed to maximize its presence on this significant and important corner.



MEMORANDUM

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - Previous July 2020 Application Plans, Case HPC-02-2020



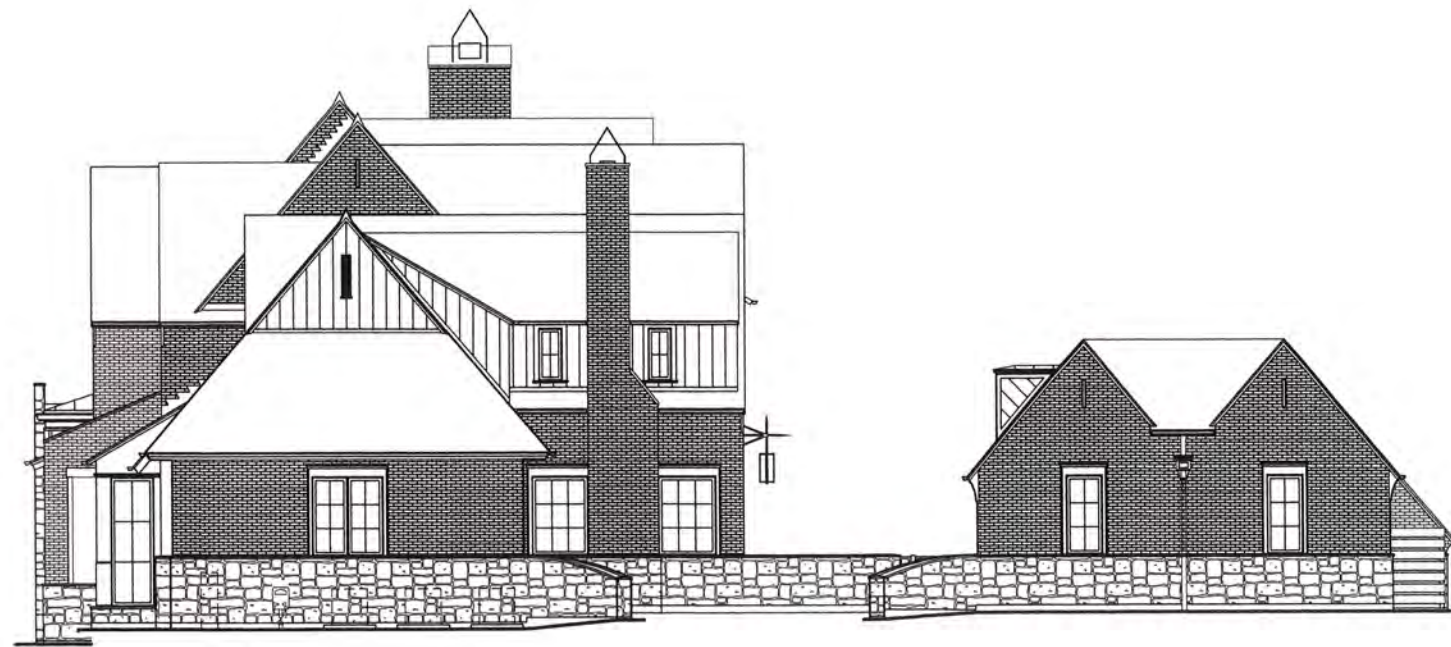
WEST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



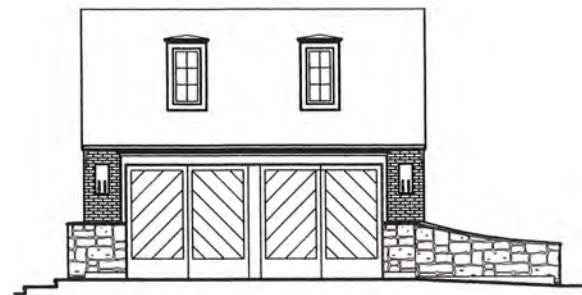
EAST ELEVATION

SCALE: 1/8" = 1'-0"



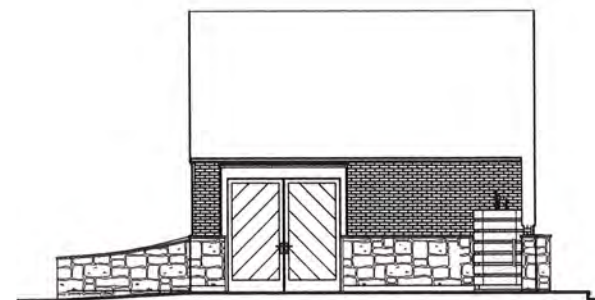
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



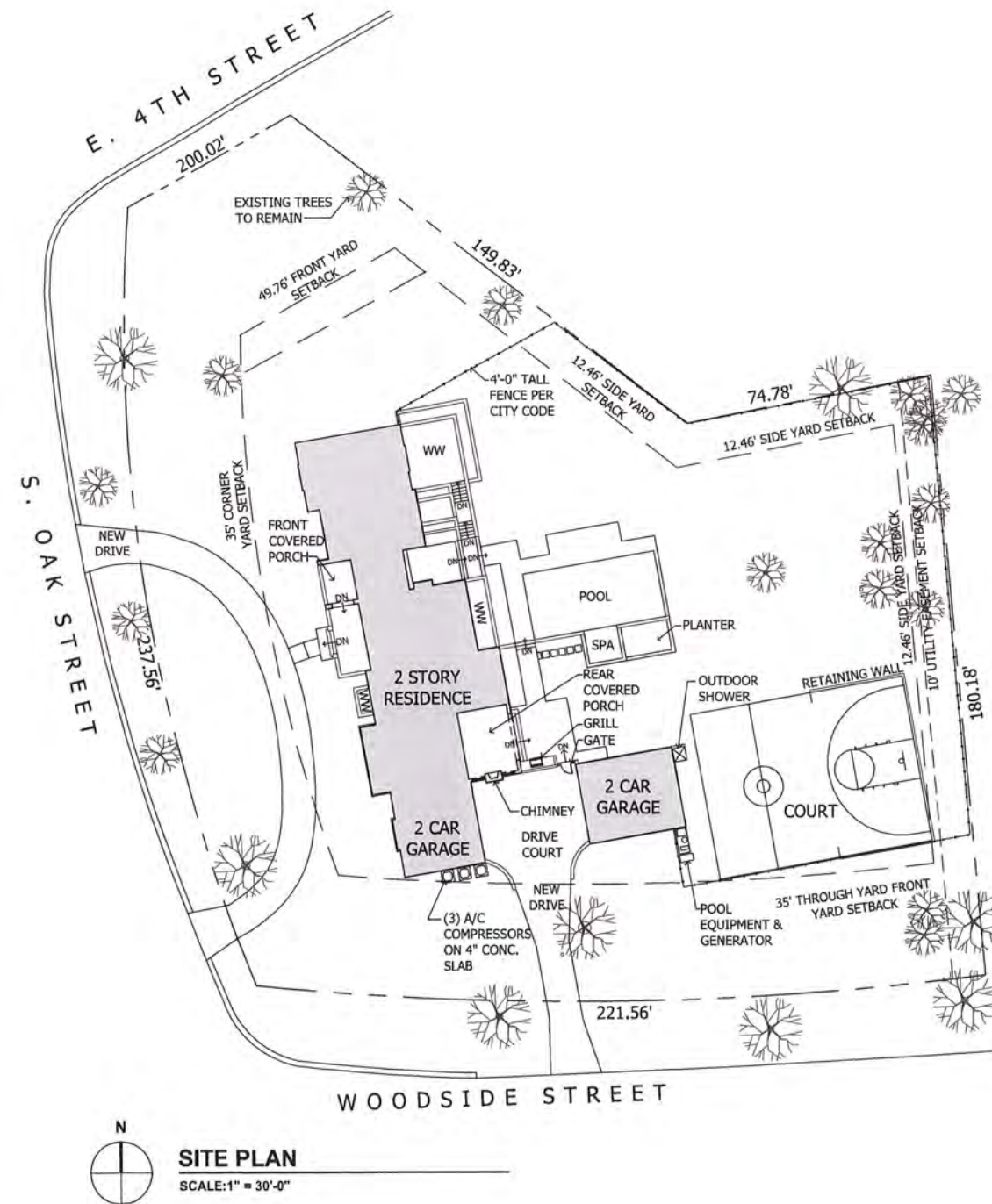
GARAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



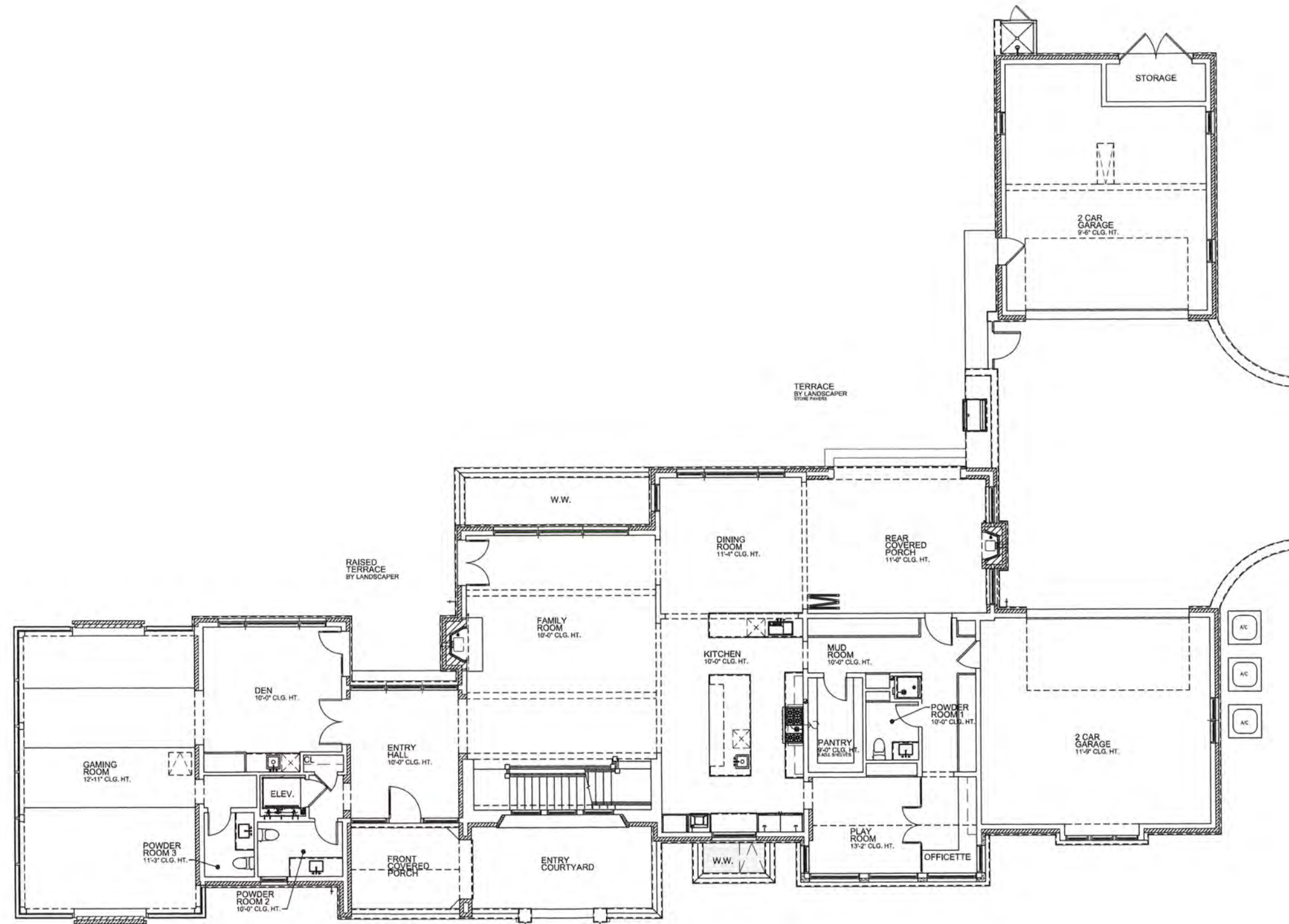
GARAGE EAST ELEVATION

SCALE: 1/8" = 1'-0"

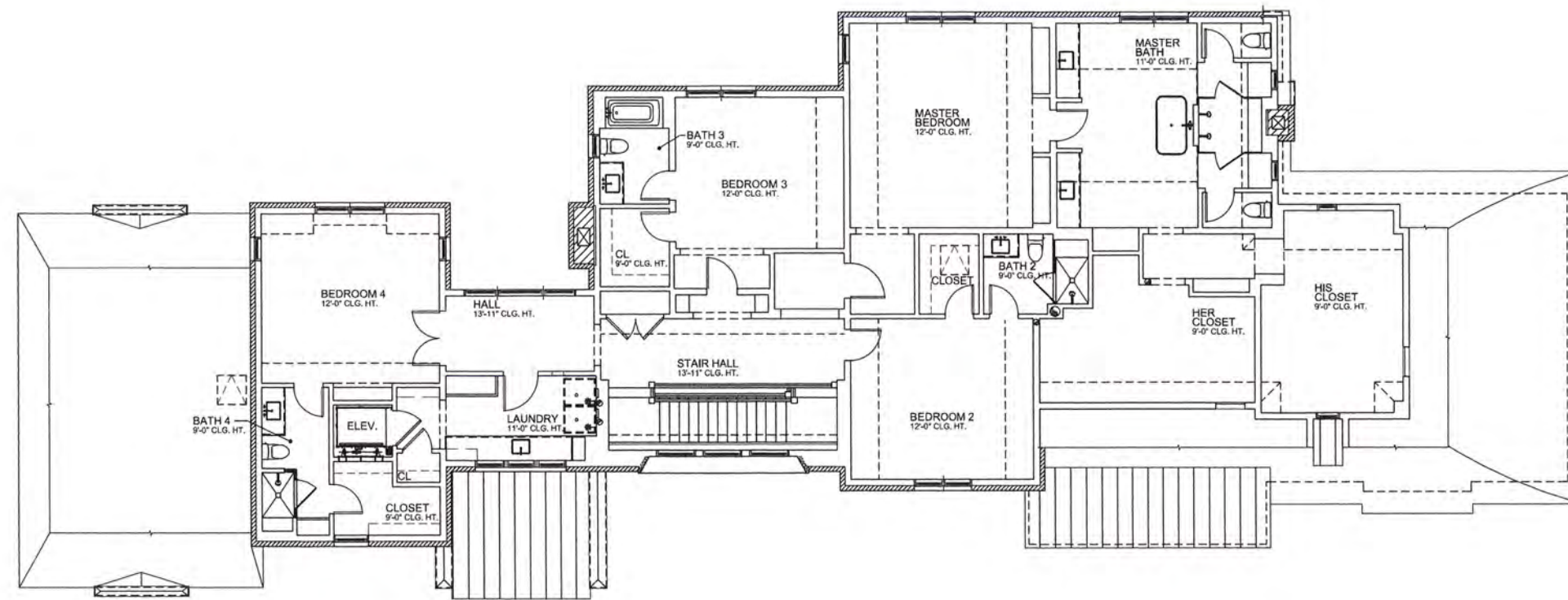
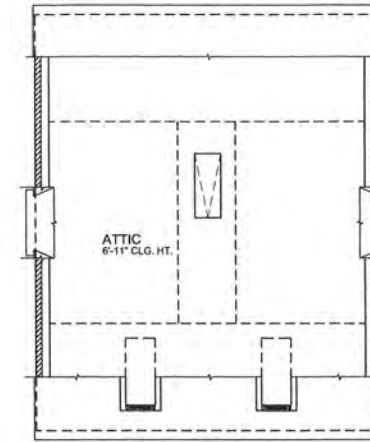



SITE PLAN

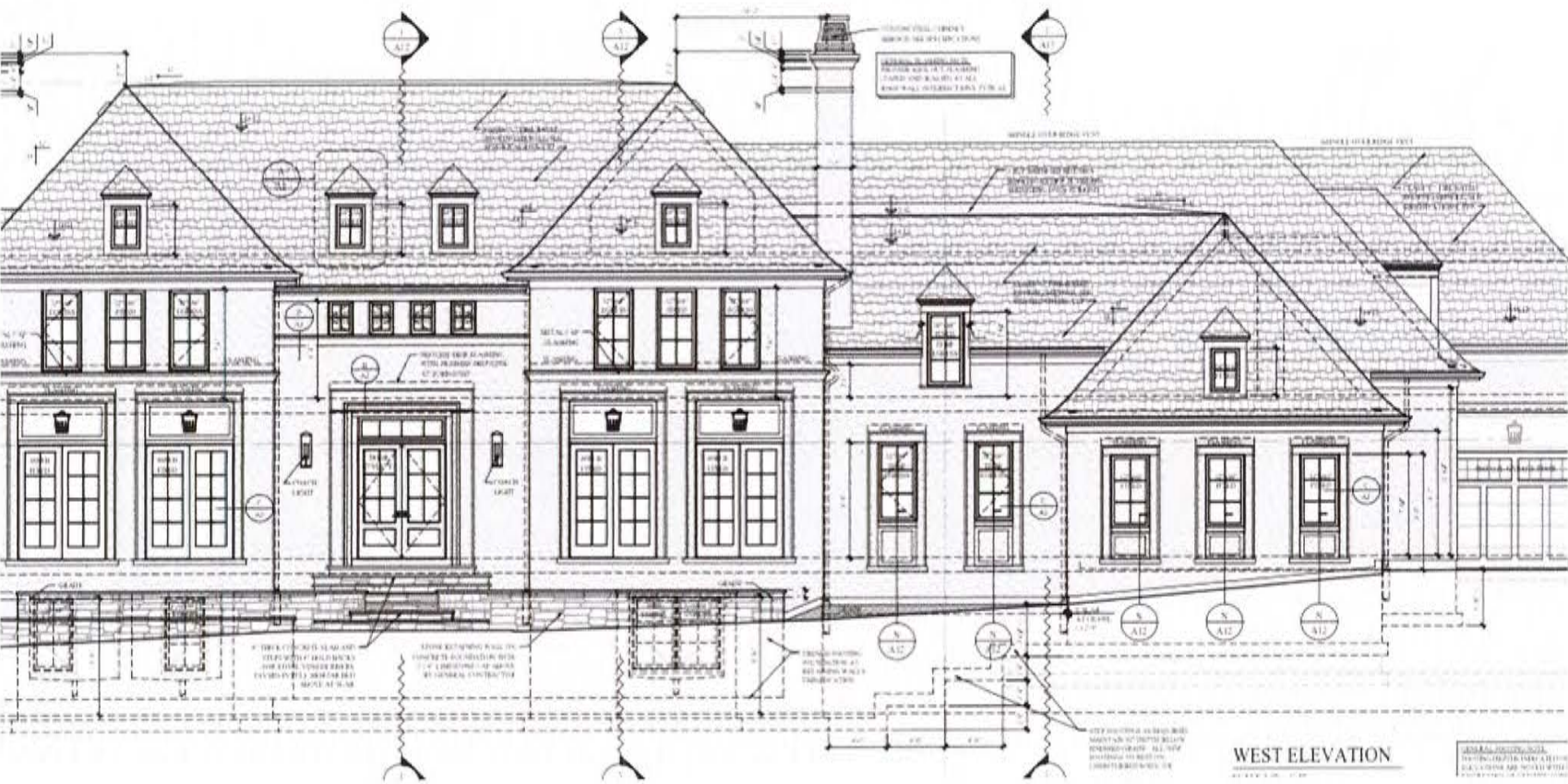
SCALE: 1" = 30'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

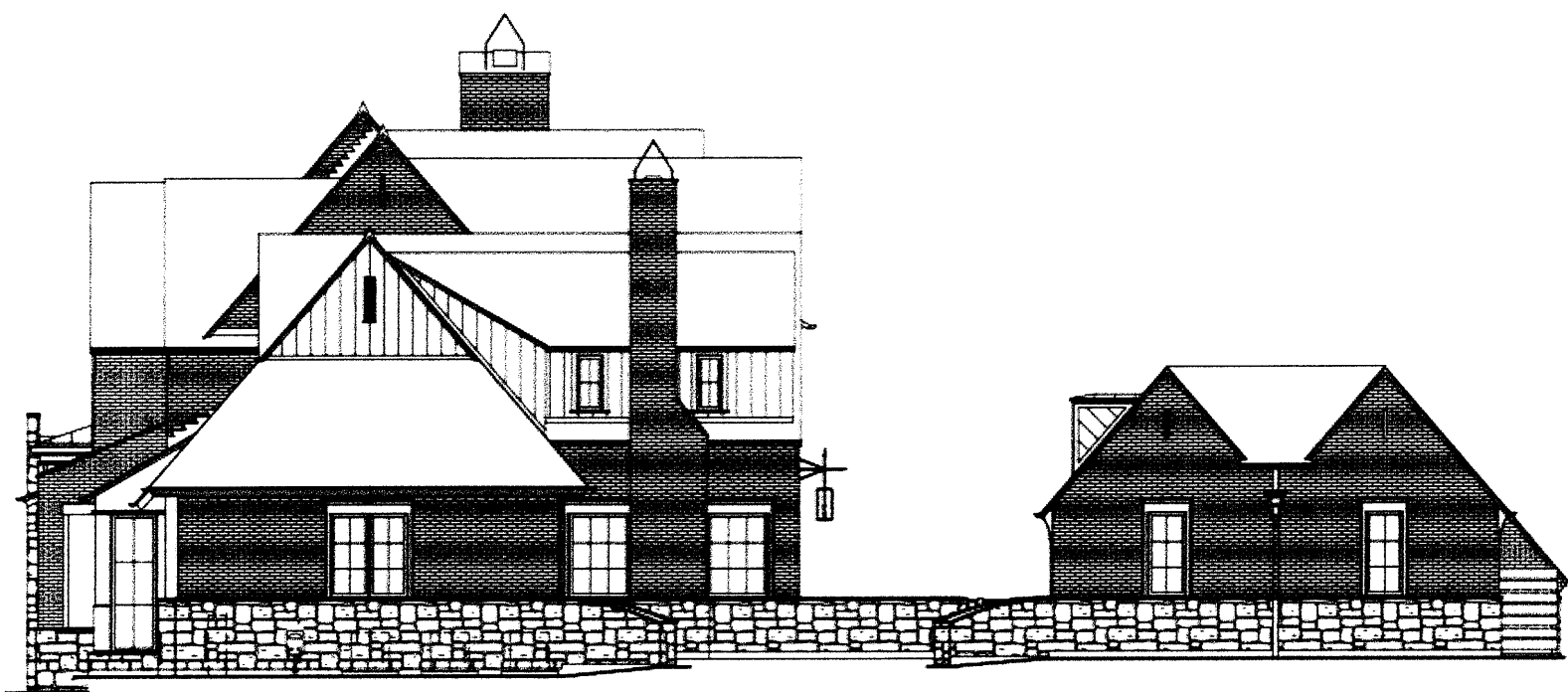


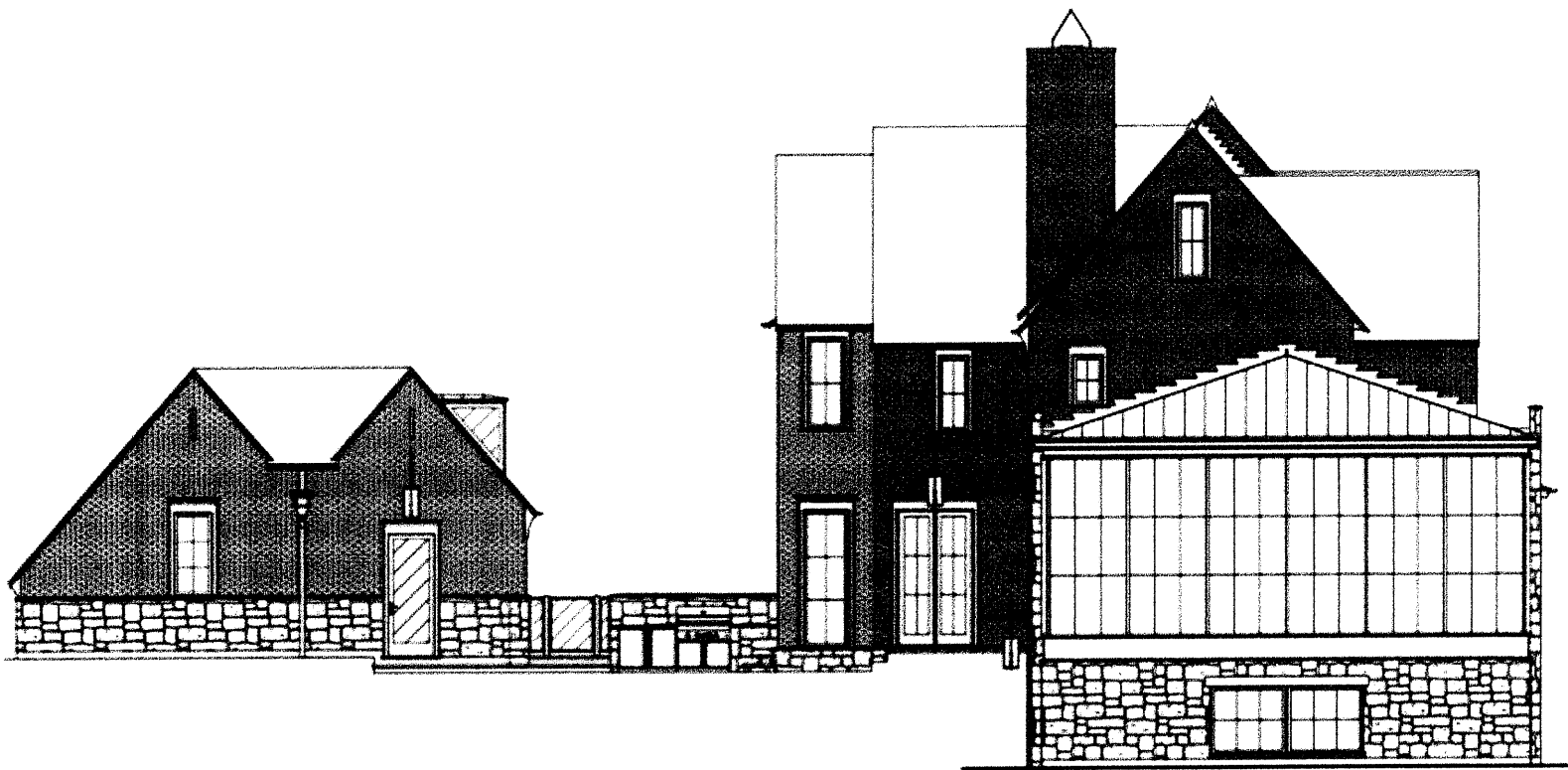
N  **SECOND FLOOR PLAN**
SCALE: 1/8" = 1'-0"



WEST ELEVATION

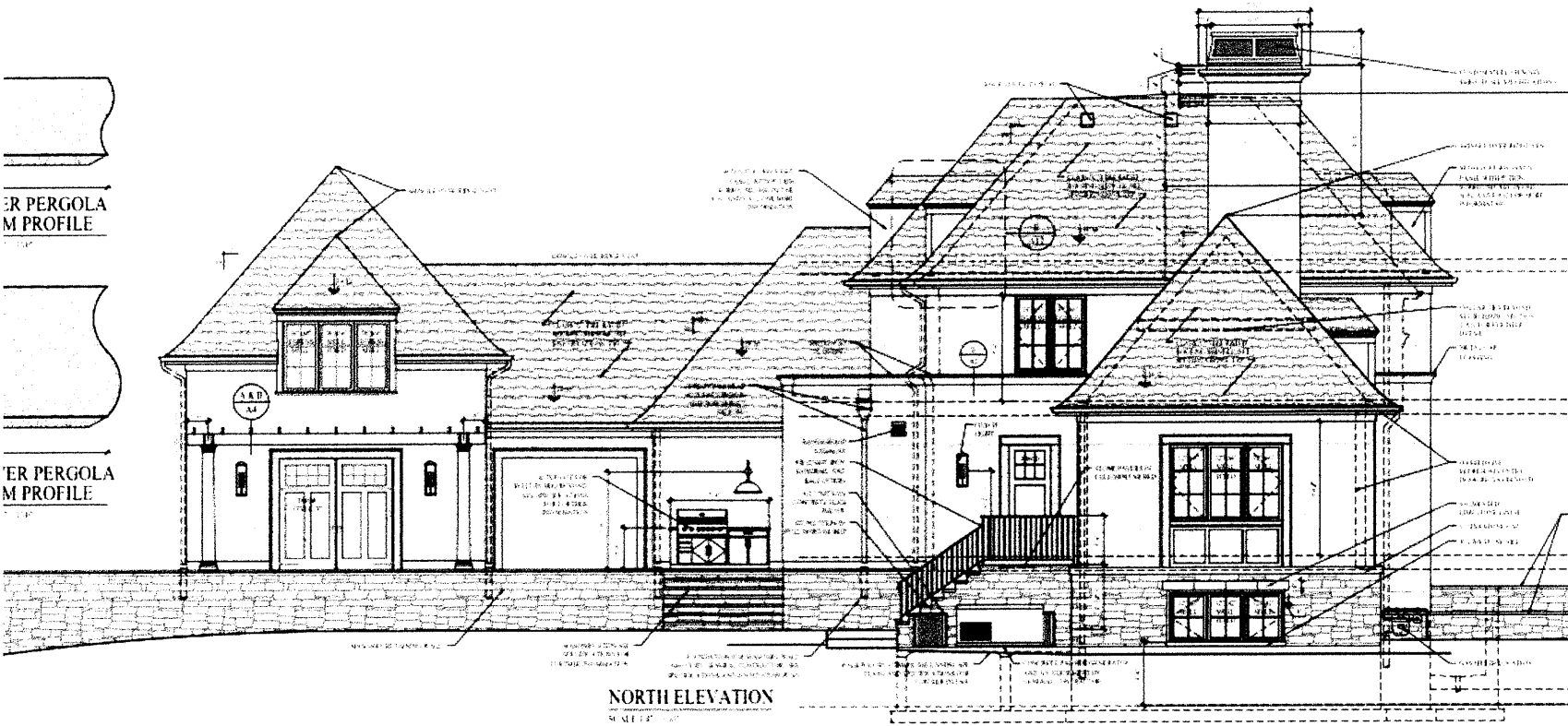
Architectural drawing of the West Elevation of a building. The drawing shows a detailed view of the building's exterior, including the roof, walls, windows, and doors. The drawing is labeled "WEST ELEVATION" and includes various annotations and dimensions. The drawing is a technical representation of the building's design, showing the placement of windows, doors, and other architectural features.





NORTH ELEVATION

SCALE 1/8" = 1'-0"



PERGOLA
M PROFILE

PERGOLA
M PROFILE

NORTH ELEVATION

SCALE 1/8" = 1'-0"

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION APPLICATION
FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

419 S. Oak - Hinsdale, IL

Address of Property under review:
Property Identification Number: 09-12-221-004

I. GENERAL INFORMATION

1. Applicants Name: J Jordan Homes LLC
Address: 112 S Grant St
Hinsdale, IL 60521
Telephone Number: 312-320-9990
2. Owner of Record (if different from applicant): Alexa Piemonte
Address: 446 S. Cottage Hill, Elmhurst 60126
Telephone Number: 630-835-7544
3. Others involved in project (include, name, address and telephone number):
Architect: moment Design - 201 E. Ogden #20
Hinsdale, IL 60521 630-828-8161
Attorney: _____
Builder: J Jordan Homes - 112 S. Grant
Hinsdale, IL 60521 312-320-9990
Engineer: _____

II. SITE INFORMATION

① Describe the existing conditions of the property: demo only

② Property Designation:

Listed on the National Register of Historic Places? YES X NO

Listed as a Local Designated Landmark? YES X NO

Located in a Designated Historic District? X YES NO

5. TABLE OF COMPLIANCE

Address of subject property: 419 S OAK ST.

The following table is based on the R-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	30,000 S.F.	51,030 SQ.FT.	51,030 SQ.FT.
Lot Depth	125 FT	237 FT	237 FT
Lot Width	125 FT	221 FT	221 FT
Building Height	30.0 FT	UNKNOWN	28'-0 1/2"
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	49.76 FT	151.79 FT	86.0 FT
Corner Side Yard Setback	35 FT	23 FT	35.58 FT
Interior Side Yard Setback	12.46 FT	24.48 FT	53.33 FT
Rear Yard Setback	N/A	N/A	N/A
Maximum Floor Area Ratio (F.A.R.)*	12,206.0 SF	7,065 SF	9,765.8 SF
Maximum Total Building Coverage*	12,757.5 SF	4,629 SF	5,072.2 SF
Maximum Total Lot Coverage*	25,515.0 SF	12,686 SF	14,759.0 SF
Parking Requirements	N/A	N/A	N/A
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	5,103 SF	N/A	3,976.3 SF

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

3.

Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

The proposed house features a limewashed brick exterior & was designed w/ the desire to have permanent and classic exterior materials, with stone, slate copper & gas lanterns. The large windows will be bright. It will be inviting with a front entry covered porch while still classic in appearance. The home was designed to maximize its presence on this significant & important corner.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

☐ CORPORATION

Julie Lamy / G Jordan

Signature of Applicant's President

Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

OTHER

Signature

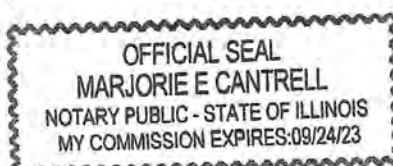
Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 29th day of

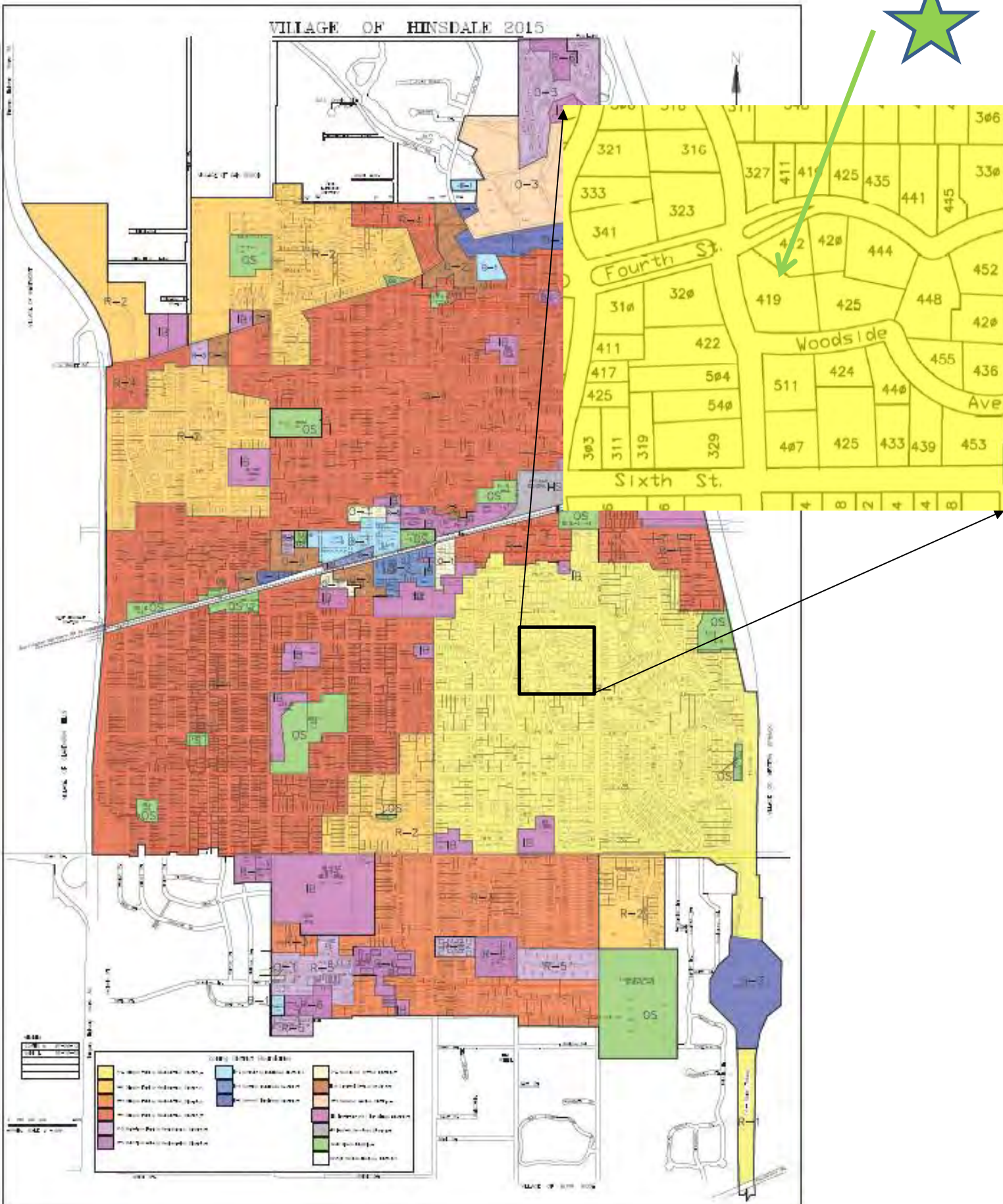
September, 2020.

Marjorie E Cantrell

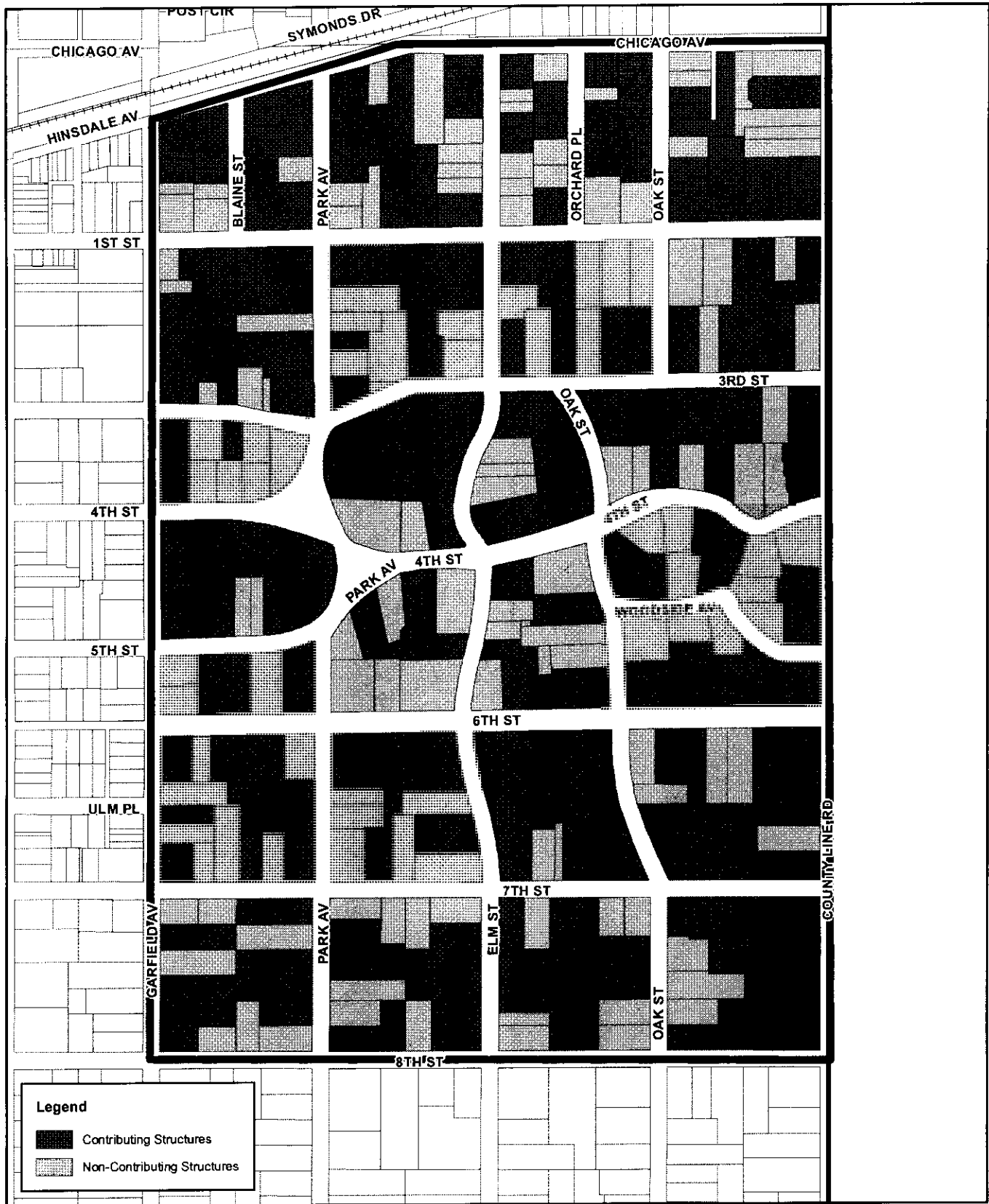
Notary Public



Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.



DATE	NO.	REVISION
11/25/19	1	Blocked Out Drawings

P.N. 2-2646-00

PIEMONTE RESIDENCE
419 South Oak Street, Hinsdale, IL 60521

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PIEMONTE RESIDENCE
419 South Oak Street, Hinsdale, IL 60521

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847.572.5200

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PIEMONTE RESIDENCE
419 South Oak Street, Hinsdale, IL 60521

[illegible]



MEMORANDUM

DATE: April 30, 2021

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-03-2021 – 448 E. 6th Street – Application for a Certificate of Appropriateness to Allow for Changes to the Elevations of a New Single-Family Home in the Robbins Park Historic District

FOR: May 5, 2021 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received an application from Mike and Carolyn Ryan requesting approval for a Certificate of Appropriateness (COA) to allow for changes to the building elevations for a new single-family home located at 448 E. 6th Street in the Robbins Park Historic District. For both the current and previous applications, Carolyn J. Ryan Trust is the owner of record, Mike Ryan is listed as the builder with Park Five Homes, and the project architect is Moment Design.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a Certificate of Appropriateness.

Background

On November 4, 2020, the HPC reviewed and unanimously approved a request for a COA to demolish and construct a new home at 448 E. 6th Street (Case HPC-10-2020). At the public hearing, the HPC supported the application request and commented that the proposed plans included a large front setback, streetscape design, and elevations consistent with the neighboring homes.

The existing single-family home was designed by Walter Anderson and constructed by Bellevue Builders in 1954. It features a contemporary architectural style and is classified as a contributing structure in the Robbins Park Historic District according to the National Register of Historic Places.

The property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the north, east, south and west in the R-1 Single Family Residential District. The subject property is considered a legal nonconforming lot measuring 14,979 square feet in size.

Request and Analysis

The applicant requests approval to allow for changes to the building elevations for a new code-compliant single family house (attached). The proposed 2.5-story home features a Belgian style farmhouse design. Similar to the building elevations approved by the Historic Preservation Commission on November 4, 2020, the house consists of limewashed brick, cedar board and batten siding, a covered front porch, cedar shingled roofing, a two-car attached garage, and a one-car detached garage.

MEMORANDUM

The applicant has provided a site plan, colored front elevations, and side-by-side comparisons of the previously approved and proposed building elevations indicating the changes to the building. The following changes are proposed to the plans previously approved by the Historic Preservation Commission on November 4, 2020:

- On the front (north) elevation, the roof design of the dormer above the garage doors has been revised from a flat roof to a sloped roof
- On the front (north) elevation, the roof material of the dormer has been changed from a metal roof to cedar shingles matching the roofing material used on the remainder of the house
- The brick parapet walls flanking the several gable areas have been removed on all elevations
- Brick has been replaced with board and batten siding on the side (east and west) elevations, rear (south) elevation, and detached garage
- On the front elevation, the garage door design on both the attached and detached garages have been revised
- On the front (north) elevation, minor changes are proposed to the front door and window design
- On the side (east) elevation, minor changes are proposed to the window design
- On the side (east and west) elevations, changes are proposed to the window wells
- The front driveway and drive court have been reconfigured and the terrace located in the backyard has been slightly increased in size

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a certificate of appropriateness. The final decision of the Historic Preservation Commission shall be advisory only.

Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2, which are attached for review.

Attachments:

1. Application for Certificate of Appropriateness and Exhibits
2. Zoning Map and Project Location
3. Aerial View
4. Robbins Park Historic District Map
5. National Register of Historic Places Sheet
6. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
7. Certificate of Appropriateness Application for Case HPC-10-2020 – Presented and Approved at the November 4, 2020 Historic Preservation Commission Meeting

APR 28 2021

VILLAGE OF HINSDALE

HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address _____ of _____ Property _____ under _____ review: _____
Property Identification Number: _____

I. GENERAL INFORMATION

1. Applicants Name: MIKE + CAROLYN RYAN
Address: 125 E 8TH ST., HINSDALE, IL 60521
Telephone Number: 630-306-1917
2. Owner of Record (if different from applicant): _____
Address: _____
Telephone Number: _____
3. Others involved in project (include, name, address and telephone number):
Architect: Moment Design, 201 E. Ogden Ave Hinsdale Illinois 60521 (630) 828-8161
Attorney: FBD PETER COULES, DONATELL COULES 630-920-0406
15 SALT CREEK LN, STE 312, HINSDALE IL 60521
Builder: FBD MIKE RYAN, PARK FIVE HOMES 630-306-1917
Engineer: FBD JON GREEN ERA CONSULTANTS 630-393-3060
35701 WEST AVENUE, STE 150, WARRENVILLE, IL 60555

II. SITE INFORMATION

1. Describe the existing conditions of the property: 2 Story residence & detached garage

2. Property Designation:

Listed on the National Register of Historic Places? _____ YES X NO

Listed as a Local Designated Landmark? _____ YES X NO

Located in a Designated Historic District? X YES _____ NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

New two story Belgian farmhouse home with attached garage.

5. TABLE OF COMPLIANCE

Address of subject property: 448 E. 6TH STREET

*The following table is based on the R-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	30,000 SQ.FT.	14,979.0 SQ.FT.	14,979.0 SQ.FT.
Lot Depth	125 FT	200 FT	200 FT
Lot Width	125 FT	75 FT	75 FT
Building Height	30 FT	UNKNOWN	UNKNOWN
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	92.04'	94.44'	92.72'
Corner Side Yard Setback	N/A	N/A	N/A
Interior Side Yard Setback	10'/12.5'	11.79'/ 13.12	10.5'/13'
Rear Yard Setback	50.0'	74.16'	53.9'
Maximum Floor Area Ratio (F.A.R.)*	4,794.96'	2,772.44'	4,753.5 SQ.FT. (31.7%)
Maximum Total Building Coverage*	3,744.75'	1386.22	2,961.9 SQ.FT. (19.8%) 6,798
Maximum Total Lot Coverage*	7,489.50'	4,473.97'	SQ.FT.(45.4%)
Parking Requirements	N/A	N/A	N/A
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	1,497.90 SQ.FT.	540.24 SQ.FT.	252.0 SQ.FT.

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ **INDIVIDUAL OWNERS**

Signature of Applicant

Signature of Applicant

■ CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

❑ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

OTHER

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 27th day of

April, 2021

Notary Public

Notary Public



April 27, 2021

Village of Hinsdale
19 East Chicago Avenue
Hinsdale, IL 60521

Re: 448 E. 6th Street
HPC Resubmittal

Dear Sir or Madam:

Below is a summary of the proposed plan changes made to the HPC-approved plans for the above-referenced project:

Site Plan

- Reconfigured driveway & drive court. Eliminated drive court walls & added two piers flanking driveway. Detached garage driveway replaced with car path in lieu of 10' wide pavement.
- Removed window well on west elevation. Removed northeast window well. Increased depth of window well north of chimney.

First Floor

- Removed brick parapet walls on west side of garage, rear covered porch & south side of Family Room, replaced with board & batten siding.
- Removed parapet on northwest side, brick veneer to remain.
- Single, wider window east of front entry door in lieu of 2 narrower windows.
- Eliminated two smaller windows in stairway on east wall.

Second Floor

- Removed brick on northwest wall, replaced with board & batten siding.

Third Floor

- Removed brick on west side, replaced with board & batten siding.

Please let me know if you have any questions or comments regarding these changes.

Sincerely,

Moment Design



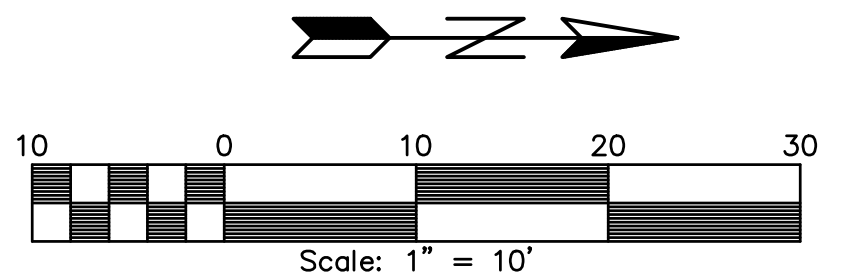
Raynette J. Bradford, RA, NCARB
Owner + Managing Director

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 3 IN HESLER'S RESUBDIVISION OF LOT 1 IN BLOCK 17 IN WILLIAM ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE NORTH HALF OF THE SOUTH EAST QUARTER OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 448 EAST SIXTH STREET, HINSDALE, ILLINOIS
PIN NO: 09-12-403-007

NOTE: THERE IS A \$3,000 SIDEWALK FEE ASSOCIATED WITH THIS PROPERTY

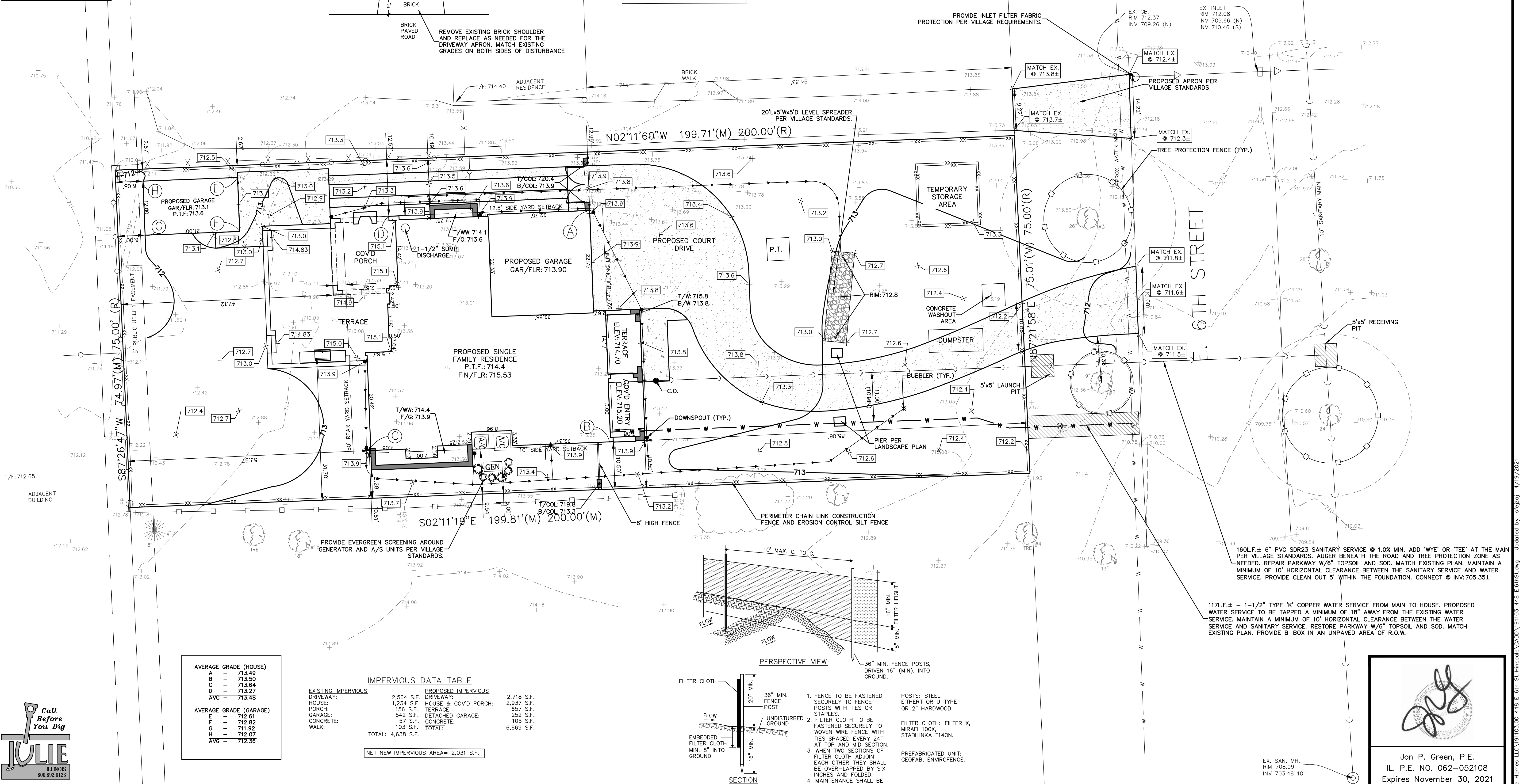
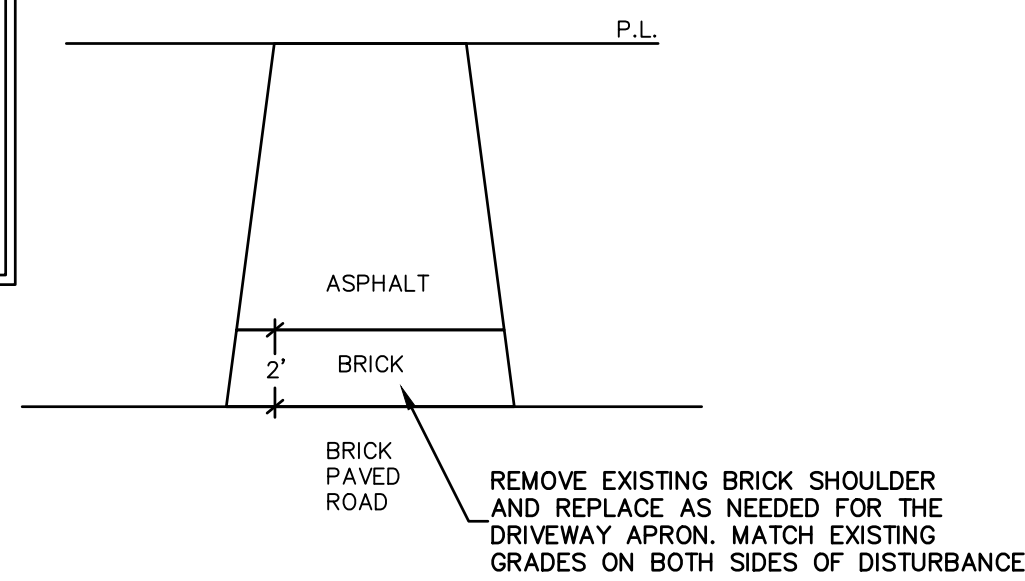


EXISTING GRADE	+XXX.XX
EXISTING CONTOUR	-XXX.XX
PROPOSED GRADE	+XXX.XX
PROPOSED CONTOUR	-XXX.XX
PROPOSED FLOW	---
SILT FENCE	XX XX
CONSTRUCTION SAFETY FENCE	X

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

SETBACK DATA TABLE

ADDRESS: (WEST TO EAST)	85.78'
611 OAK ST.	93.63'
414 SIXTH ST.	92.36'
418 SIXTH ST.	93.80'
422 SIXTH ST.	92.41'
434 SIXTH ST.	94.33'
444 SIXTH ST.	94.28'
448 SIXTH ST.	89.40'
600 COUNTY LINE RD.	92.04'

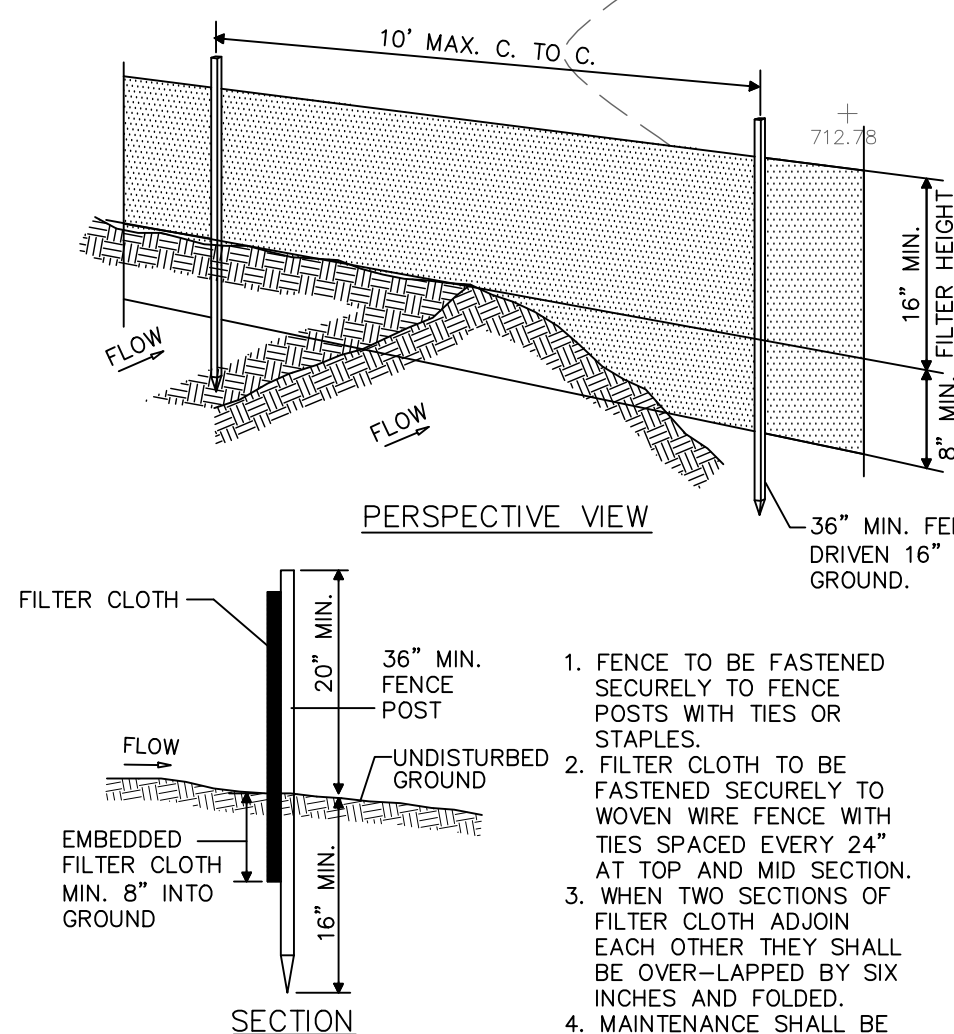


AVERAGE GRADE (HOUSE)	
A	713.49
B	713.50
C	713.64
D	713.27
AVG	713.48
AVERAGE GRADE (GARAGE)	
E	712.61
F	712.82
G	711.92
H	712.07
AVG	712.36

IMPERVIOUS DATA TABLE

<u>EXISTING IMPERVIOUS</u>		<u>PROPOSED IMPERVIOUS</u>	
DRIVEWAY:	2,564 S.F.	DRIVEWAY:	2,718 S.F.
HOUSE:	1,234 S.F.	HOUSE & COVD PORCH:	2,937 S.F.
PORCH:	156 S.F.	TERRACE:	657 S.F.
GARAGE:	542 S.F.	DETACHED GARAGE:	252 S.F.
CONCRETE:	57 S.F.	CONCRETE:	105 S.F.
WALK:	103 S.F.	TOTAL:	6,869 S.F.
TOTAL:	4,638 S.F.		

NET NEW IMPERVIOUS AREA= 2,031 S.F.



SILT FENCE

NOT TO SCALE

1. FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

POSTS: STEEL EITHER OR U TYPE OR 2\"/>

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA 1140N.

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE.

SITE PLAN REVISED: APRIL 19, 2021
SITE PLAN REVISED: MARCH 24, 2021
SITE PLAN DATED: JANUARY 11, 2021

SHEET 1 OF 3

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



PREPARED FOR: PARK FIVE HOMES, LLC

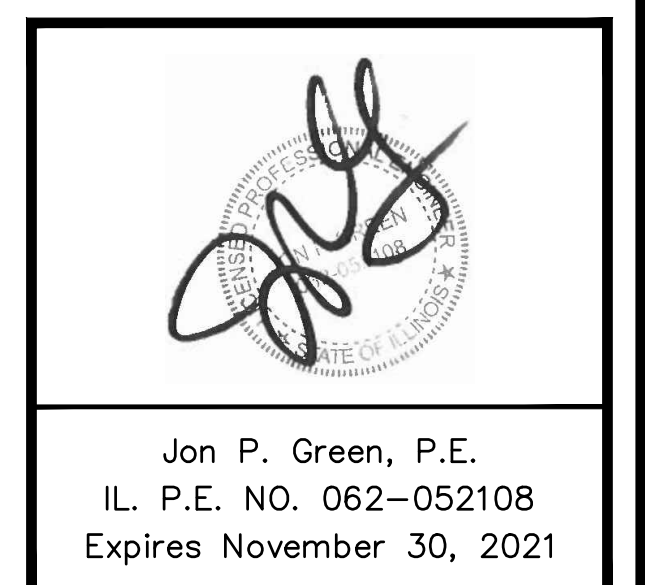
DRAWN BY: S.F.
CHECKED BY: J.G.
APPROVED BY: J.G.

ENGINEERING
RESOURCE ASSOCIATES

35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902



EXISTING CONDITIONS AND DEMOLITION PLAN

LOT 3 IN HESLER'S RESUBDIVISION OF LOT 1 IN BLOCK 17 IN WILLIAM ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE NORTH HALF OF THE SOUTH EAST QUARTER OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 448 EAST SIXTH STREET, HINSDALE, ILLINOIS
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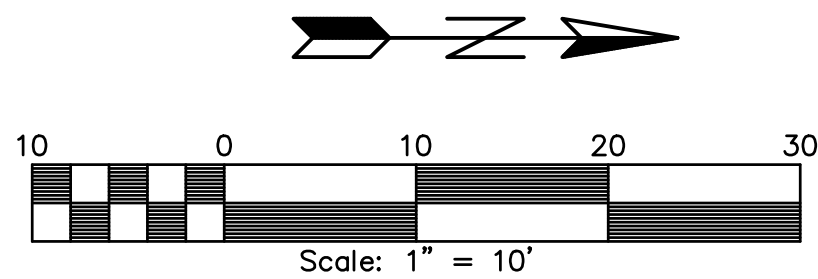
REMOVE NEIGHBOR'S APRON AND REPLACE PER VILLAGE STANDARDS

USE EXISTING DRIVEWAY APRON AS TEMPORARY CONSTRUCTION ENTRANCE. REMOVE AFTER CONSTRUCTION. REPAIR PARKWAY W/6" TOPSOIL AND SOD.

ASSUMED LOCATION OF EXISTING SANITARY SERVICE. CONTRACTOR SHALL FIELD VERIFY SANITARY LOCATION PRIOR TO CONSTRUCTION. ABANDON SANITARY SERVICE PER VILLAGE REQUIREMENTS.

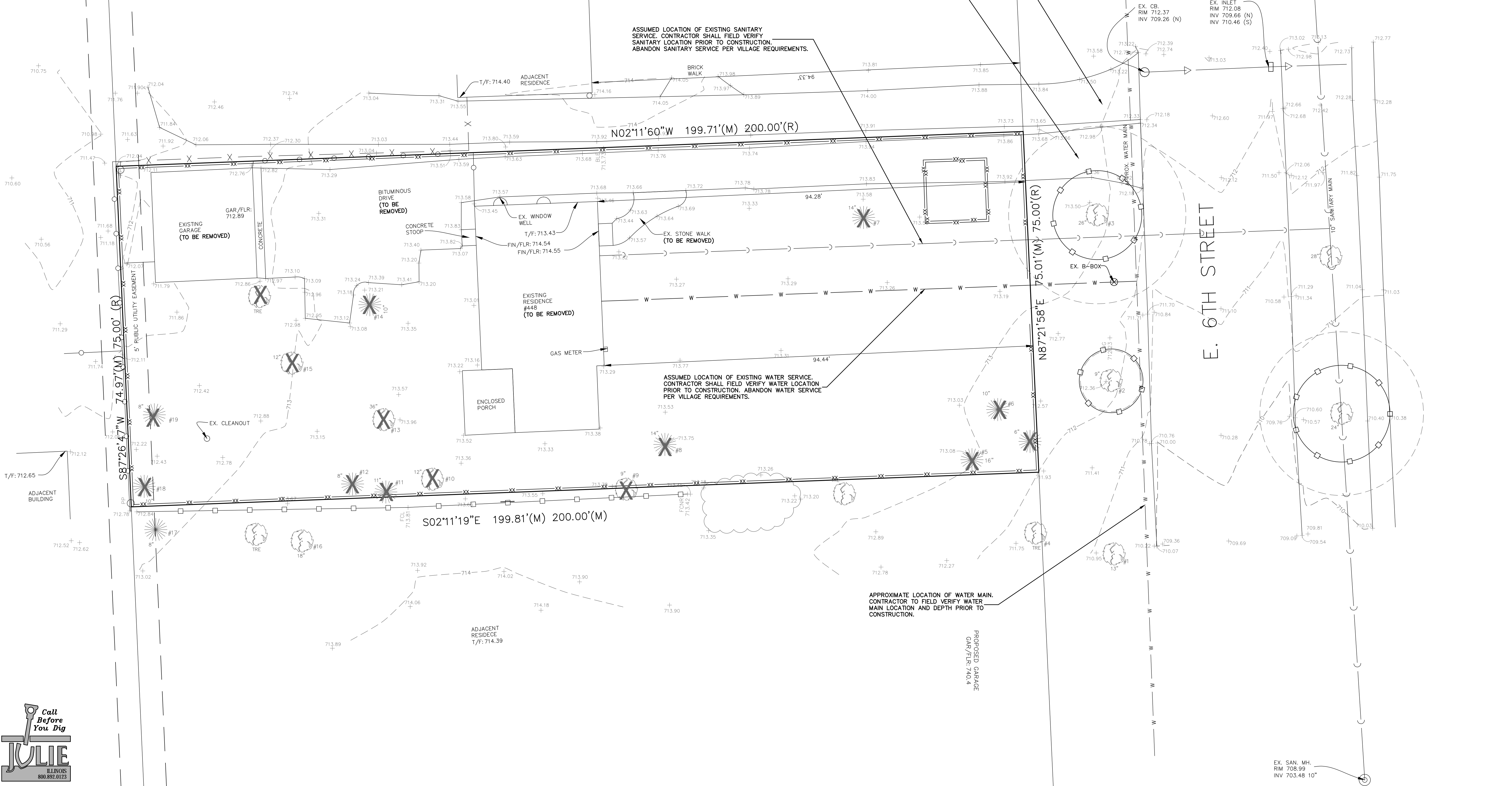
ASSUMED LOCATION OF EXISTING WATER SERVICE. CONTRACTOR SHALL FIELD VERIFY WATER LOCATION PRIOR TO CONSTRUCTION. ABANDON WATER SERVICE PER VILLAGE REQUIREMENTS.

APPROXIMATE LOCATION OF WATER MAIN. CONTRACTOR TO FIELD VERIFY WATER MAIN LOCATION AND DEPTH PRIOR TO CONSTRUCTION.



EXISTING GRADE	+ XXX.XX
EXISTING CONTOUR	-XXX
PROPOSED GRADE	+ [XXX.XX]
PROPOSED CONTOUR	-XXX
PROPOSED FLOW	--->
SILT FENCE	-XX-XX
CONSTRUCTION SAFETY FENCE	-X-

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

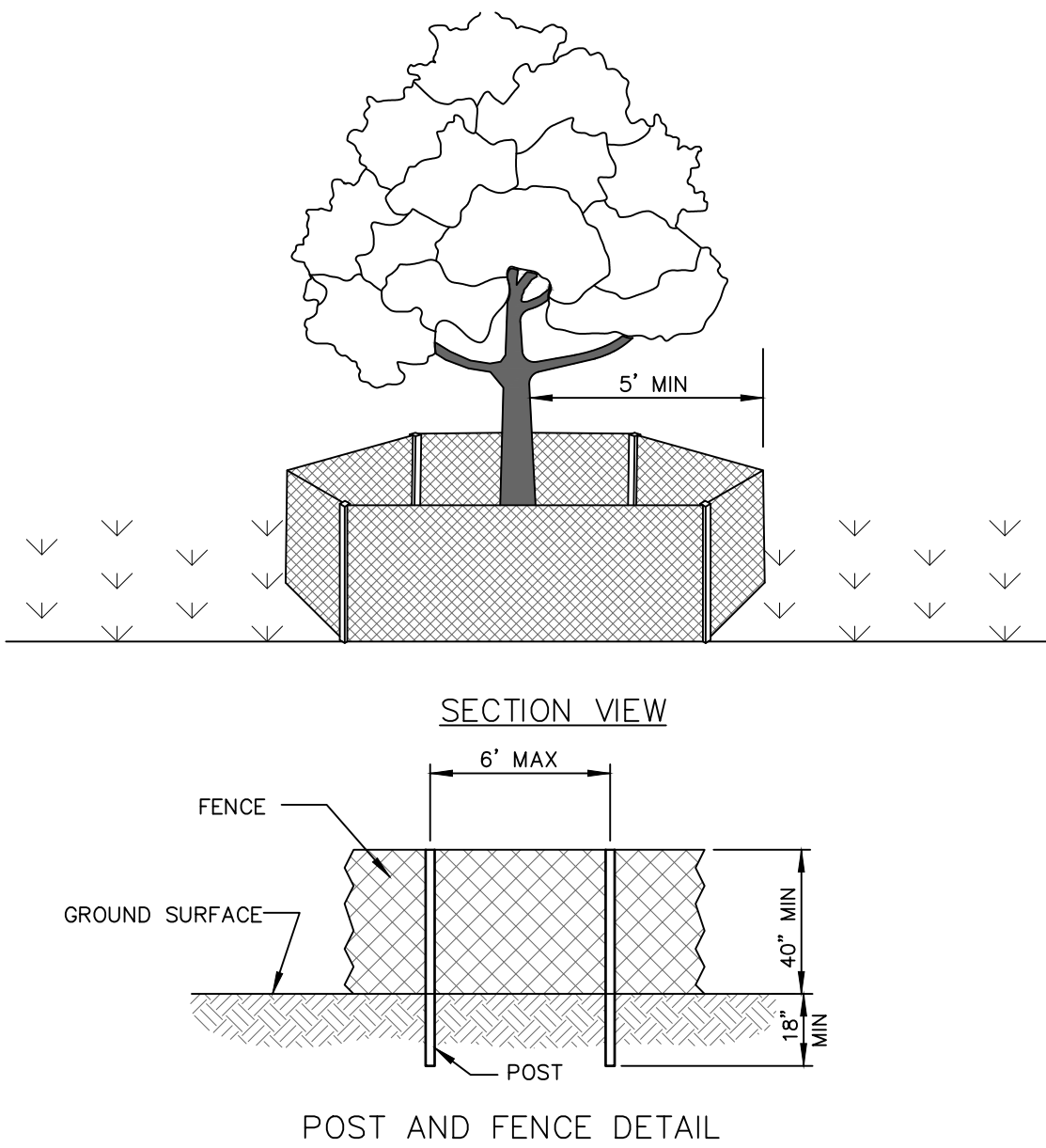


PREPARED FOR: PARK FIVE HOMES, LLC

DRAWN BY:	S.F.		ENGINEERING RESOURCE ASSOCIATES	35701 WEST AVENUE, SUITE 150	10 S. RIVERSIDE PLAZA, SUITE 875	2416 GALEN DRIVE
CHECKED BY:	J.G.			WARRENVILLE, ILLINOIS 60555	CHICAGO, ILLINOIS 60606	CHAMPAIGN, ILLINOIS 61821
APPROVED BY:	J.G.			PHONE (630) 393-3060	PHONE (312) 474-7841	PHONE (217) 351-6268
				FAX (630) 393-2152	FAX (312) 474-6099	FAX (217) 355-1902

NOTES:

1. EXISTING RESIDENCE, GARAGE, STONE WALK, PATIO AND CONCRETE SHALL BE REMOVED IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
2. THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
3. THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
4. DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
5. GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
6. CONTRACTOR SHALL KEEP STREETS CLEAN.
7. ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
8. NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
9. AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
10. THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
11. PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
12. SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
13. MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
14. EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
15. WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING PARK AVENUE CURB AND GUTTER.
16. CONSTRUCTION SCHEDULE:
- A. SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - FALL 2020
- B. EXISTING STRUCTURES SHALL BE DEMOLISHED. - FALL 2020
- C. RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. & EXISTING SWALES. - SPRING 2021
- D. PREPARE AND SUBMIT RECORD DRAWINGS. - SUMMER 2021
- E. LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - SUMMER 2021
17. PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8. PARKING SHALL BE ON THE SOUTH SIDE OF E 6TH ST.
18. WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
19. TWO-WAY TRAFFIC ON PARK AVE. SHALL BE MAINTAINED AT ALL TIMES.



NOTES:

1. THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
3. THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

TREE PROTECTION

PREPARED FOR: PARK FIVE HOMES, LLC NOT TO SCALE

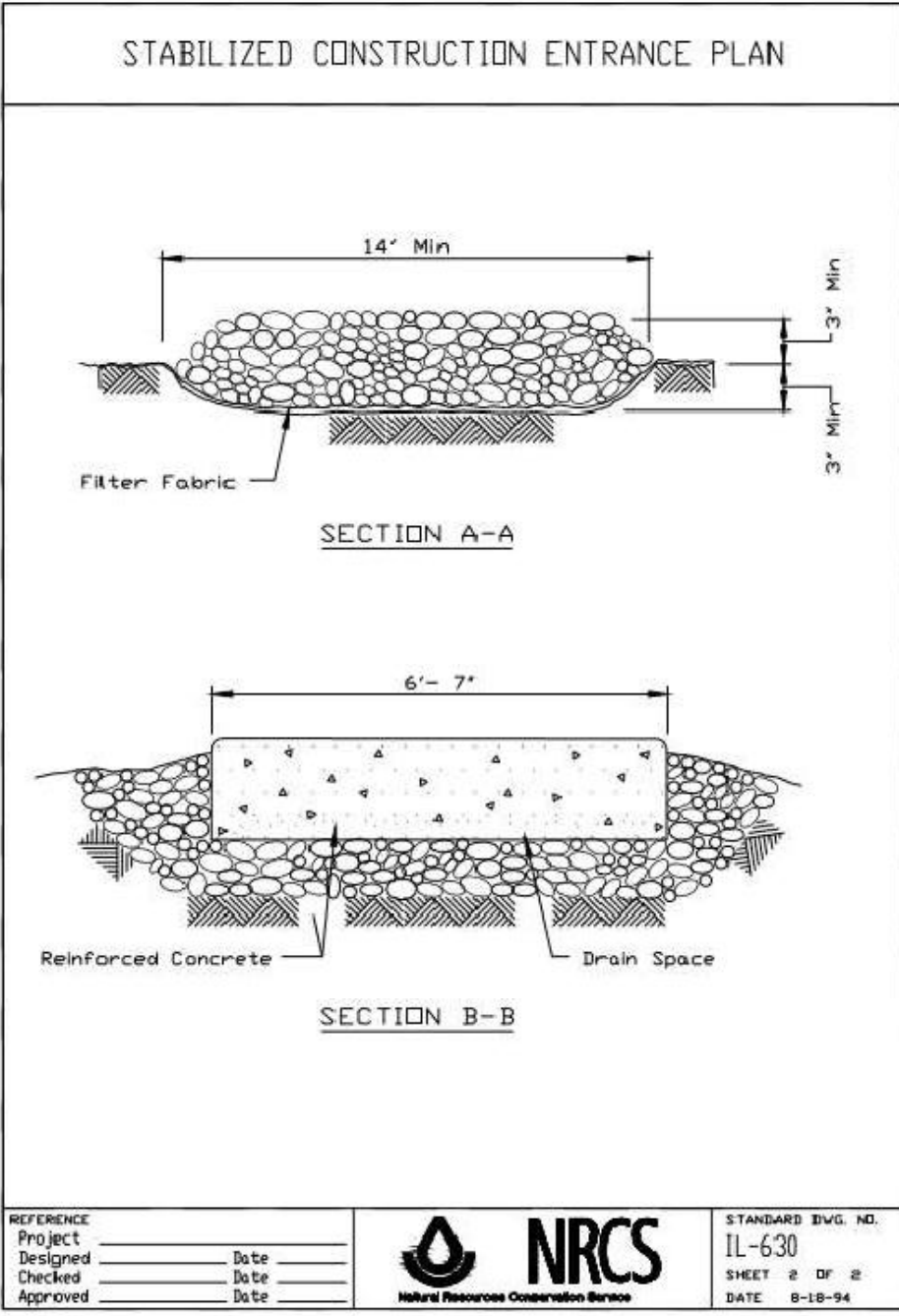
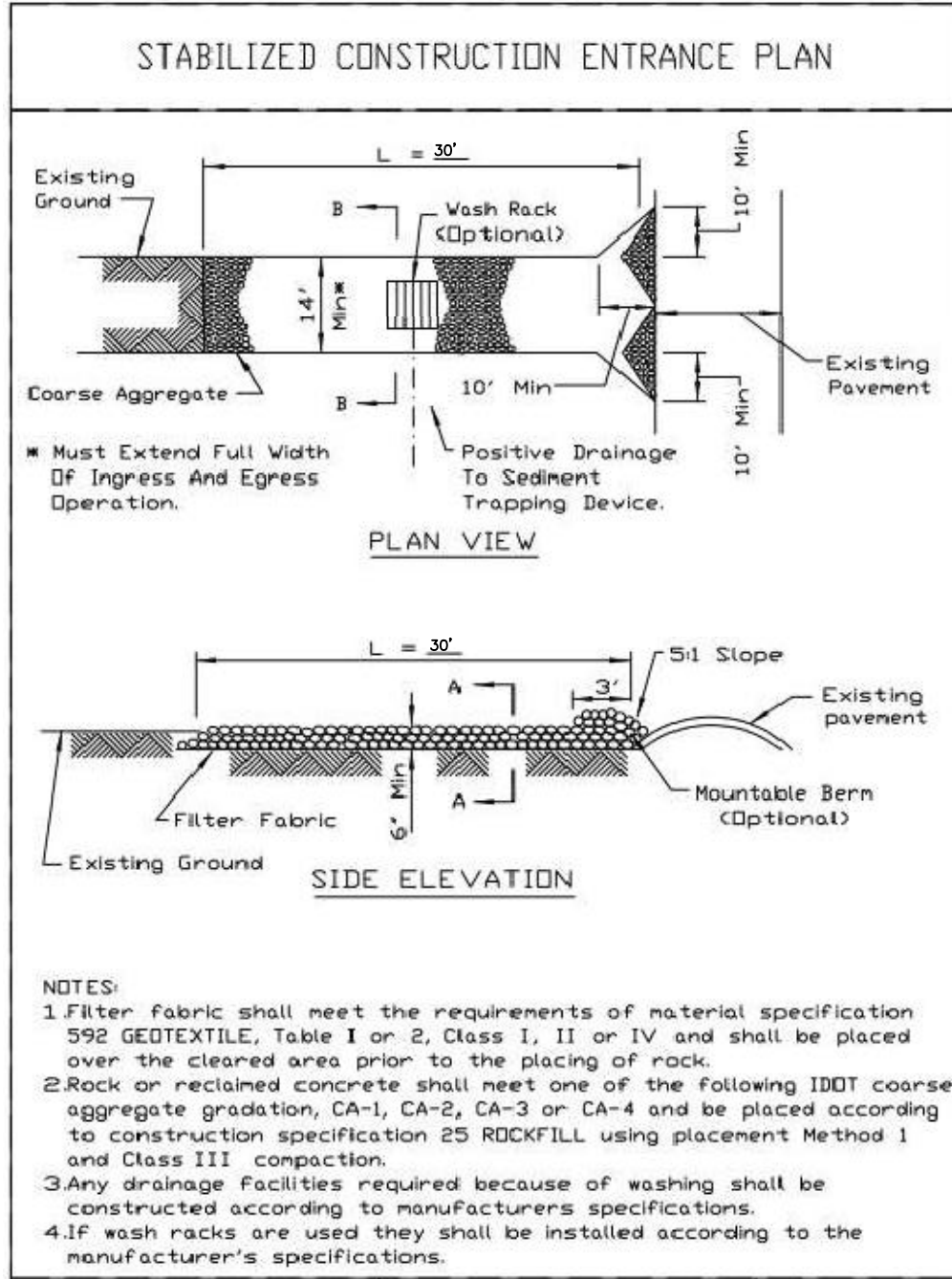
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1. The location of the proposed driveway apron is required to be at a minimum of 10' from the nearest face of a parkway tree or within the limits of an existing driveway apron; this should be verified on plans.

The proposed driveway area should be installed using techniques to minimize damage to the parkway tree.

- a. The Village will require that the Tree Protection Fence be installed a minimum distance from the tree.
- b. Hand digging only, within Tree Protection Zones.
- c. Root pruning will be used as necessary prior to driveway construction to prune tree roots.
- d. All tree protection fencing will be maintained in all areas outside of the apron excavation area.
- e. Minimal excavation not to exceed 8" deep within Tree Protection Zones.
- f. No material or equipment storage within the drip line of the public trees.
- g. The use of brick pavers for the drives is recommended.
- h. Notify the Village 24 hours prior to the start of work within the drip line of the public trees.
- i. All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).

1. All work must be performed according to the approved Tree Preservation Plan.
2. An approved Tree Preservation Plan must be available on the building site.
3. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
4. Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
5. All required tree protection fencing shall remain in place until the time of the finish grading and landscaping.
6. No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.
7. No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
8. Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two inches (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
9. Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods. Auger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone.
10. The proposed water service line valves (B-Boxes), is to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.
11. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway tree(s).
12. Removal of any hardscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (2") shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
13. Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy).
14. The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.

Tree#	DBH	Common Name	Species	Rating	Recommend
7	14"	Spruce	Picea	Poor	Remove
8	14"	Spruce	Picea	Fair	REMOVE
9	9"	Crabapple	Malus	Fair	Remove
10	12"	Tulip Tree	Liriodendro n tulipifera	Good	REMOVE
11	11"	Spruce	Picea	Fair	REMOVE
12	8"	Spruce	Picea	Fair	REMOVE
13	36"	Oak	Quercus	Good	REMOVE
14	10"	Spruce	Picea	Fair	REMOVE
15	12"	Maple	Acer	Good	REMOVE
16	18"	Elm	Ulmus	Good	Protective Fence
17	8"	Douglas Fir	Pseudotsug a menziesii	Good	Protective Fence
18	10"	Cedar	Cedrus	Fair	REMOVE

Tree#	DBH	Common Name	Species	Rating	Recommend
19	8"	Spruce	Picea	Poor	REMOVE

- Rating is based on tree health and structural integrity.

Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.

- Install Tree Protection Fence per Tree Protection Plan prior to any construction activity
- Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out"
- At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
- The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
- Tree Protection Zone is the designated area that encompasses and entire tree canopy.

However, for practical purposes the Village of Hinsdale requires that the public portion be delineated with chain-link fencing.

This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.

The Tree Preservation Plan was performed by Certified Arborist Jay Peters


5.19.2020
Jay C. Peters Certified Arborist # IL-1201



PROPOSED



EXISTING

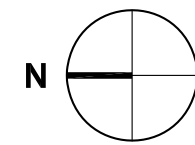
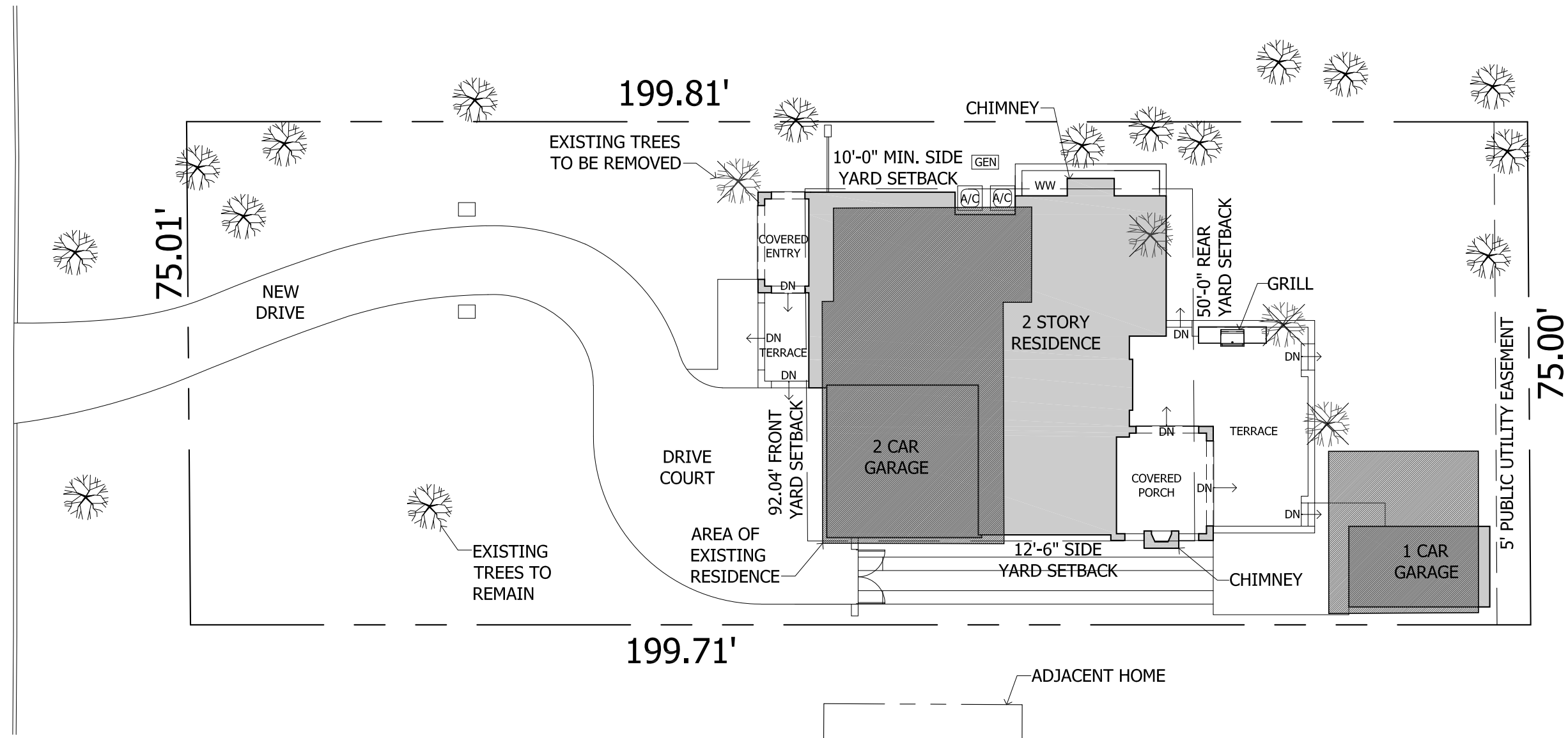


NORTH ELEVATION - APPROVED



NORTH ELEVATION - PROPOSED

SIXTH STREET



SITE PLAN



WEST ELEVATION - APPROVED



WEST ELEVATION - PROPOSED



SOUTH ELEVATION - APPROVED



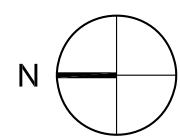
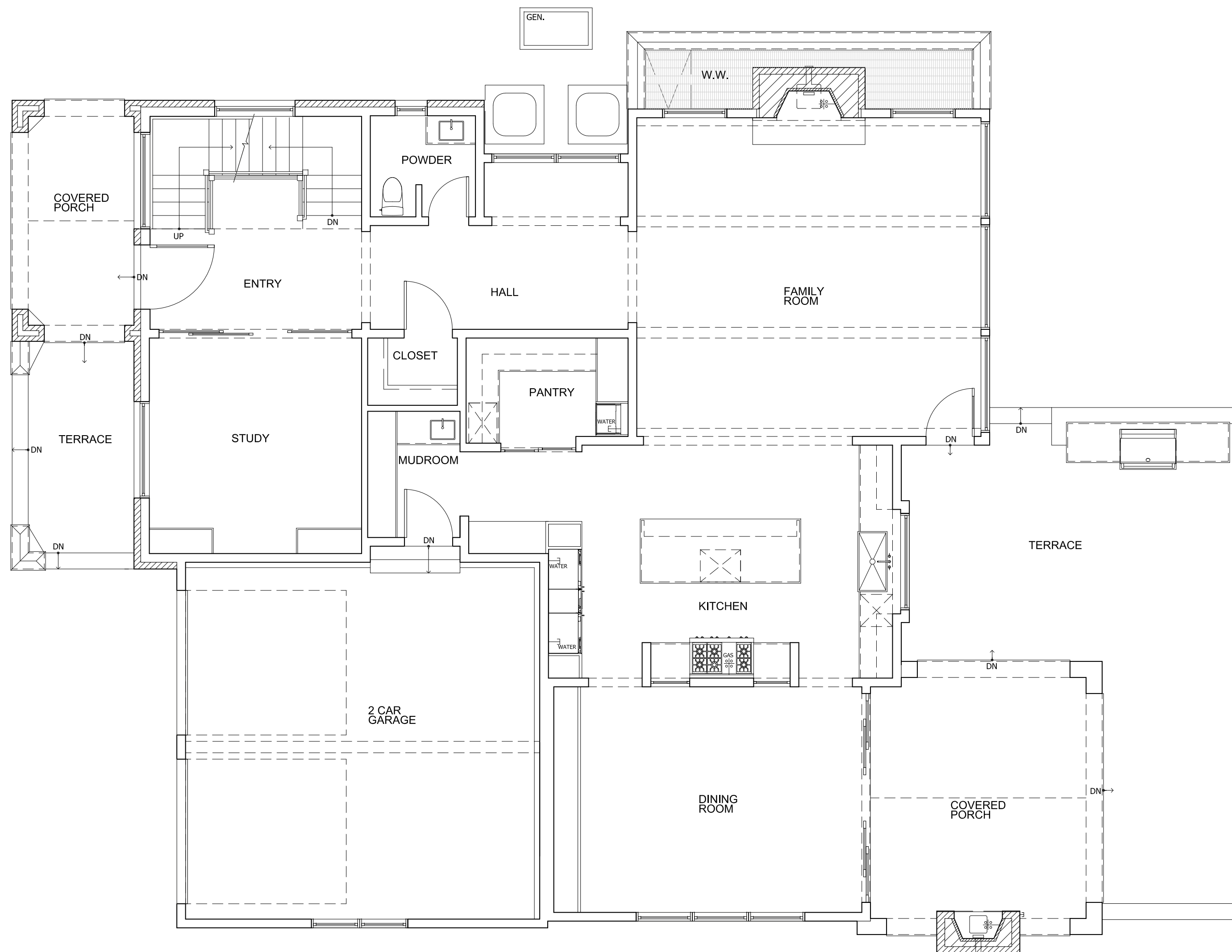
SOUTH ELEVATION - PROPOSED



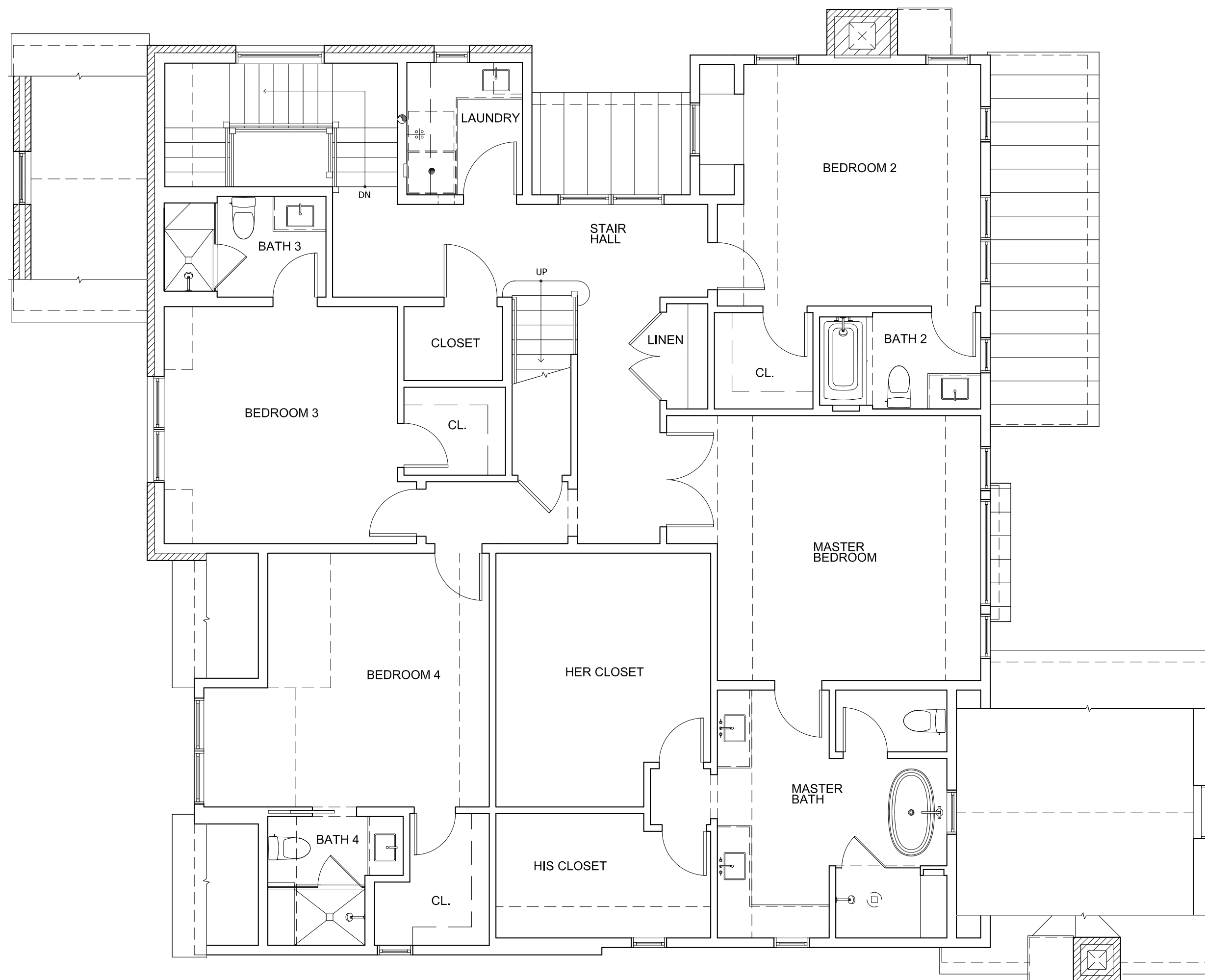
EAST ELEVATION - APPROVED



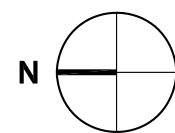
EAST ELEVATION - PROPOSED



FIRST FLOOR PLAN

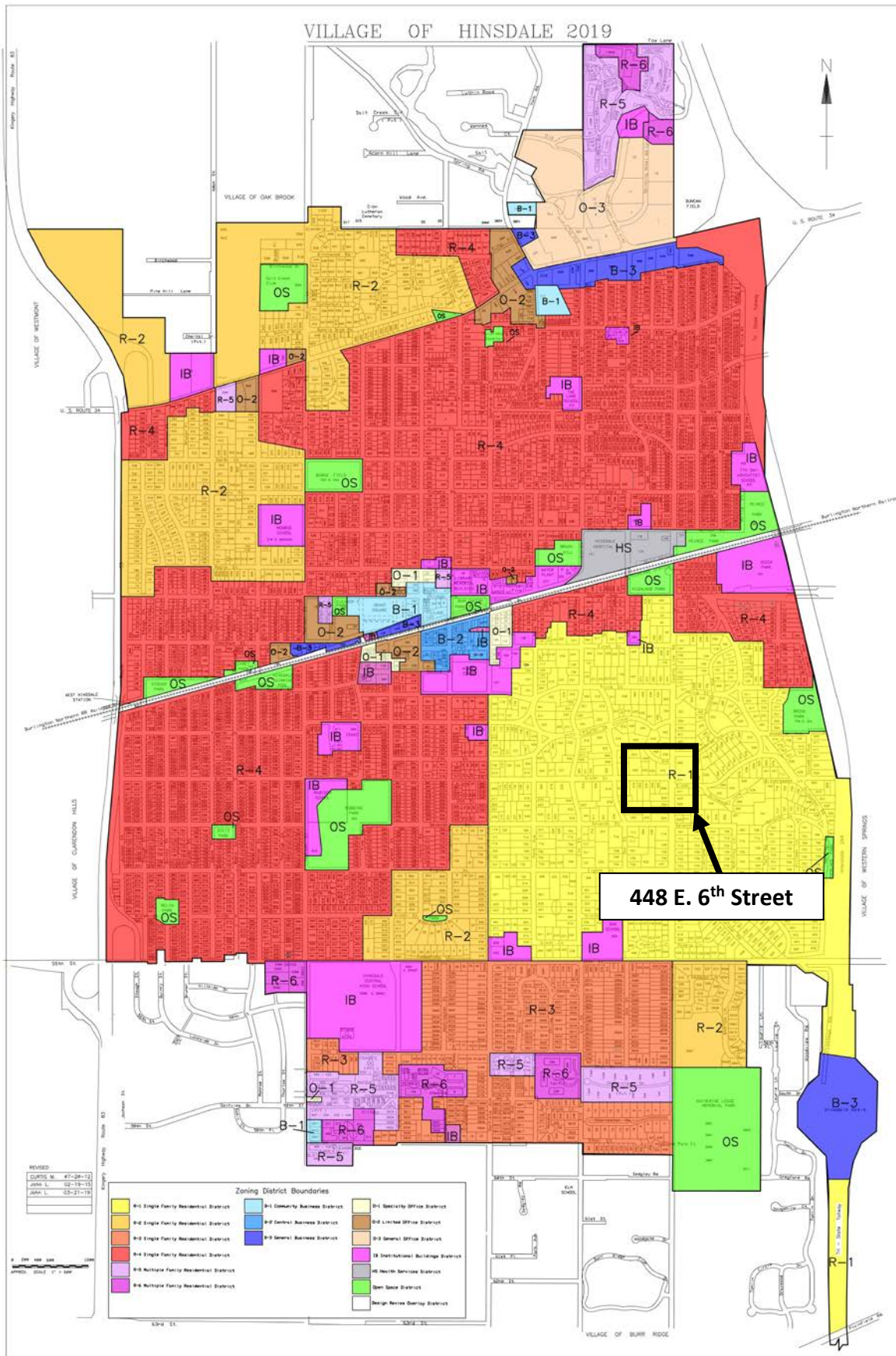


SECOND FLOOR PLAN



THIRD FLOOR PLAN

Village of Hinsdale Zoning Map and Project Location

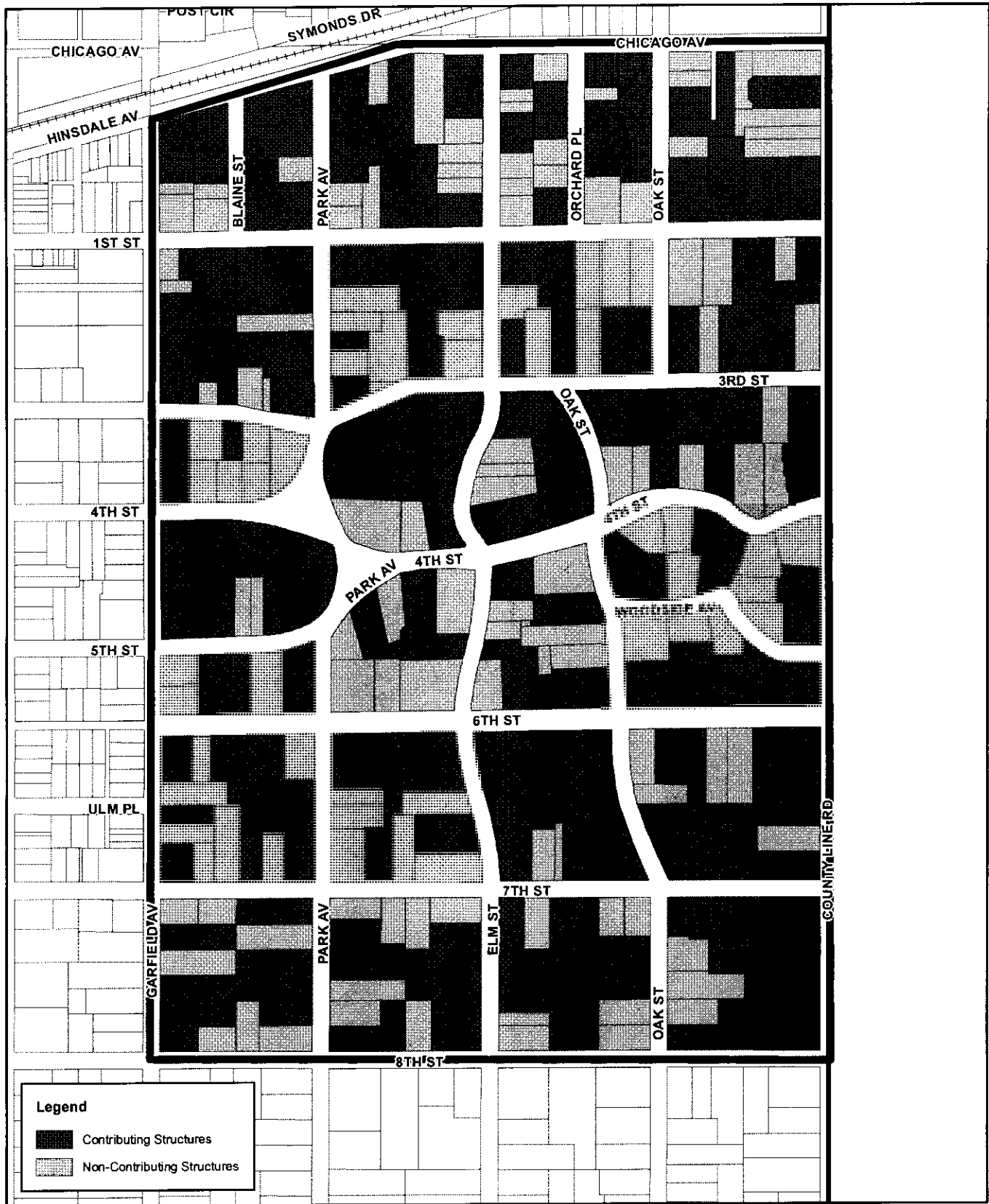


The map displays a grid of streets and house numbers. A red rectangle highlights the house at 448 E. 6th Street. An arrow points from a text box labeled '448 E. 6th Street' to this house. The map also shows 'Woodside Ave.' and 'Sixth St.'.

Aerial View – 448 E. 6th Street



ROBBINS PARK HISTORIC DISTRICT



GRANACKI
HISTORIC CONSULTANTS

0 250 500 1,000 Feet



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 21

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
303	E SIXTH	Neo-Traditional	2003		NC	-	Estenssoro, Sergio G.	Barrett Builders	
308	E SIXTH	Colonial Revival	c. 1925		C	C			Detached garage
311	E SIXTH	Colonial Revival Cottage	1925	Osler, Edwin J. II House	C	NC			Detached garage
316	E SIXTH	Tudor Revival	c. 1925		C	-			
319	E SIXTH	Renaissance Revival	1927	Jackson, Leo W. House	C	C			Detached garage
326	E SIXTH	French Eclectic	1928	Harm, Howard S. House	C	-	Powers, Richard		
329	E SIXTH	Colonial Revival	1899	Bassett, Orland P. House	C	C			Coach House
407	E SIXTH	Colonial Revival	c. 1920		C	NC			Detached garage
414	E SIXTH	Colonial Revival	1936	Effinger, John R. House	C	-	West, Philip Duke		
418	E SIXTH	Craftsman	c. 1925		C	NC			Detached garage
422	E SIXTH	Neo-Traditional	2006		NC	-			
425	E SIXTH	Colonial Revival	1863-64	Robbins, William/Basset House "Woodside"	C	-		Froscher, Adolph	
433	E SIXTH	Ranch	1951	Pierce, J. C. House	C	-	Wendell, A. W.	Wendell, A. W. & Son	
434	E SIXTH	No style (altered)	1949	Stanton, John W. House	NC	-	Binfield, Richard A.	Dressler, Paul	
439	E SIXTH	Colonial Revival	1937	Prescott, Frank House	C	-	Zook, R. Harold		
444	E SIXTH	Colonial Revival	1954	Ritchie, Lyel H. House	C	-	Soucek, Lambert L.		
448	E SIXTH	Contemporary	1954	Anderson, Roger A. House	C	C	Anderson, Walter	Bellevue Builders	Detached garage
453	E SIXTH	Colonial Revival	1953	Pusinelli, John A. House	C	-	Fossier, G. E.		
118	E THIRD	Neo-Traditional	2005		NC	-			
119	E THIRD	Vacant			NC	-			
122	E THIRD	Queen Anne	1883		C	NC		Elmers, Andreas	gazebo
127	E THIRD	Contemporary	1952		NC	-	Gustafson, Virgil E.	Dressler, Paul	

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
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6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.




MEMORANDUM

DATE: November 4, 2020

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 448 E. 6th St. – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District and to Construct a New Home
Case HPC-10-2020

Summary

The Village of Hinsdale has received an application from Michael Ryan of Park Five Homes (builder), requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. The project architect is Moment Design. Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The existing home on 448 E. 6th Street was designed by Anderson Walter, constructed by Bellevue Builders in 1954 and a contributing structure in the Robbins Park Historic District according to the National Register of Historic Places. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The proposed house features limewashed brick parapets, a covered front porch along with a cedar roof, and cedar board and batten siding. The subject property is located in the R-1 Single Family Residential District and borders the same to the north, south, east and west. The parcel is a legal nonconforming 14,979 SF lot. The application includes a colored front elevation, site plan and elevations of all sides of the new proposed 2.5-story 4,789 SF Belgian style farmhouse.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

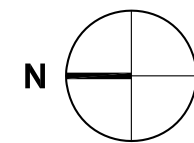
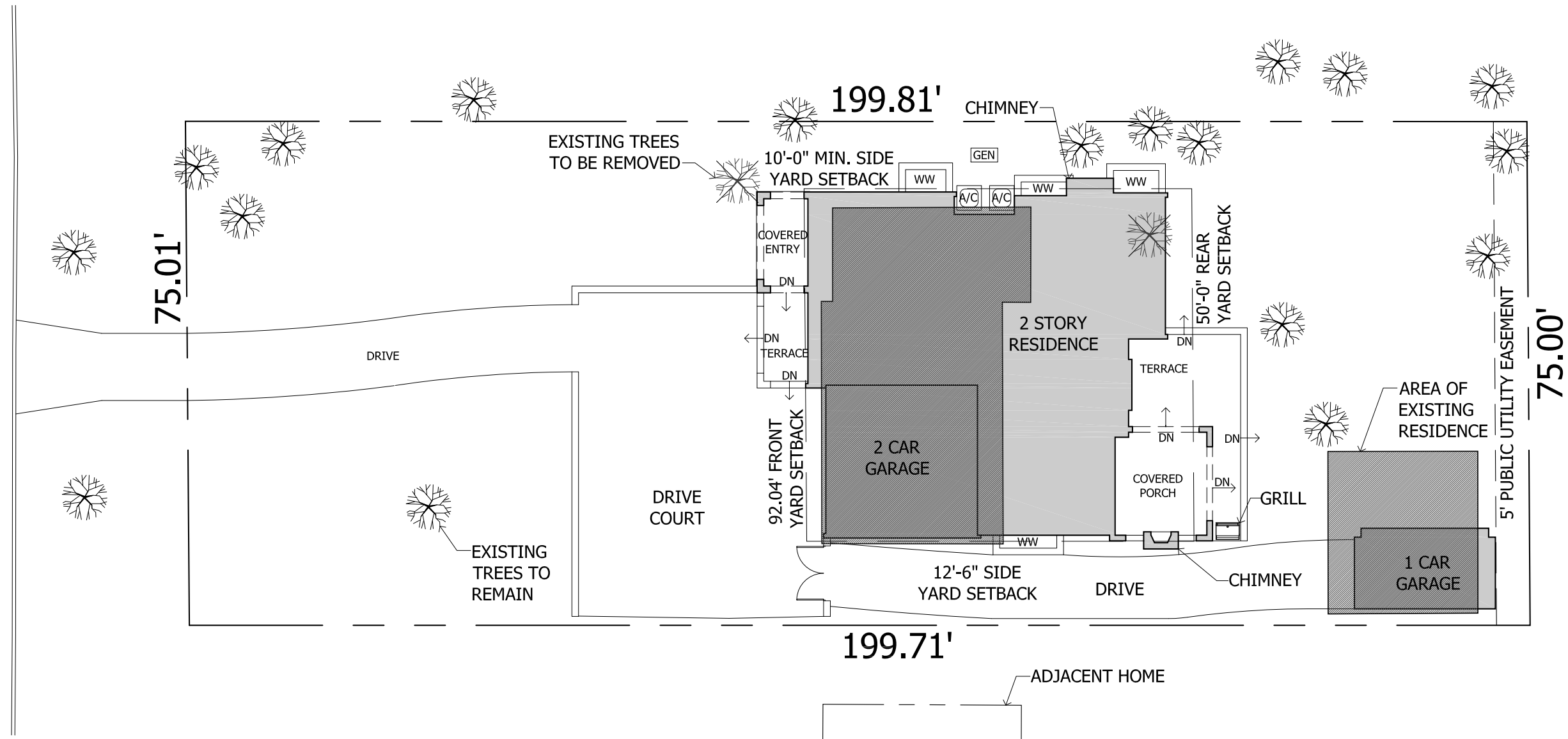
Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - National Register of Historic Places Sheet
- Attachment 6 - 448 E. 6th St. Aerial View



NORTH ELEVATION

SIXTH STREET



SITE PLAN



NORTH ELEVATION



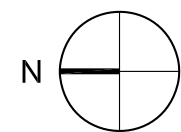
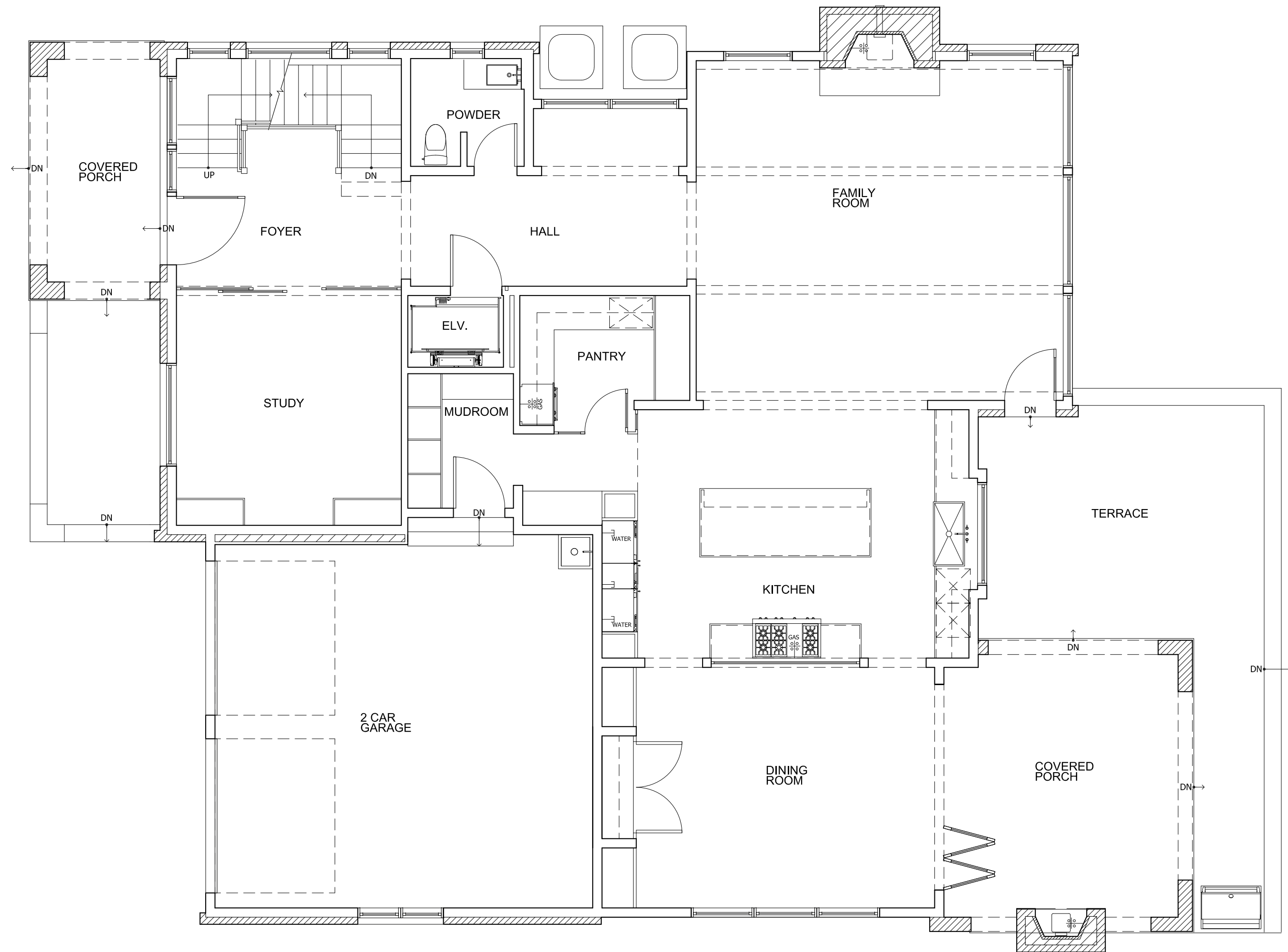
WEST ELEVATION



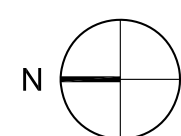
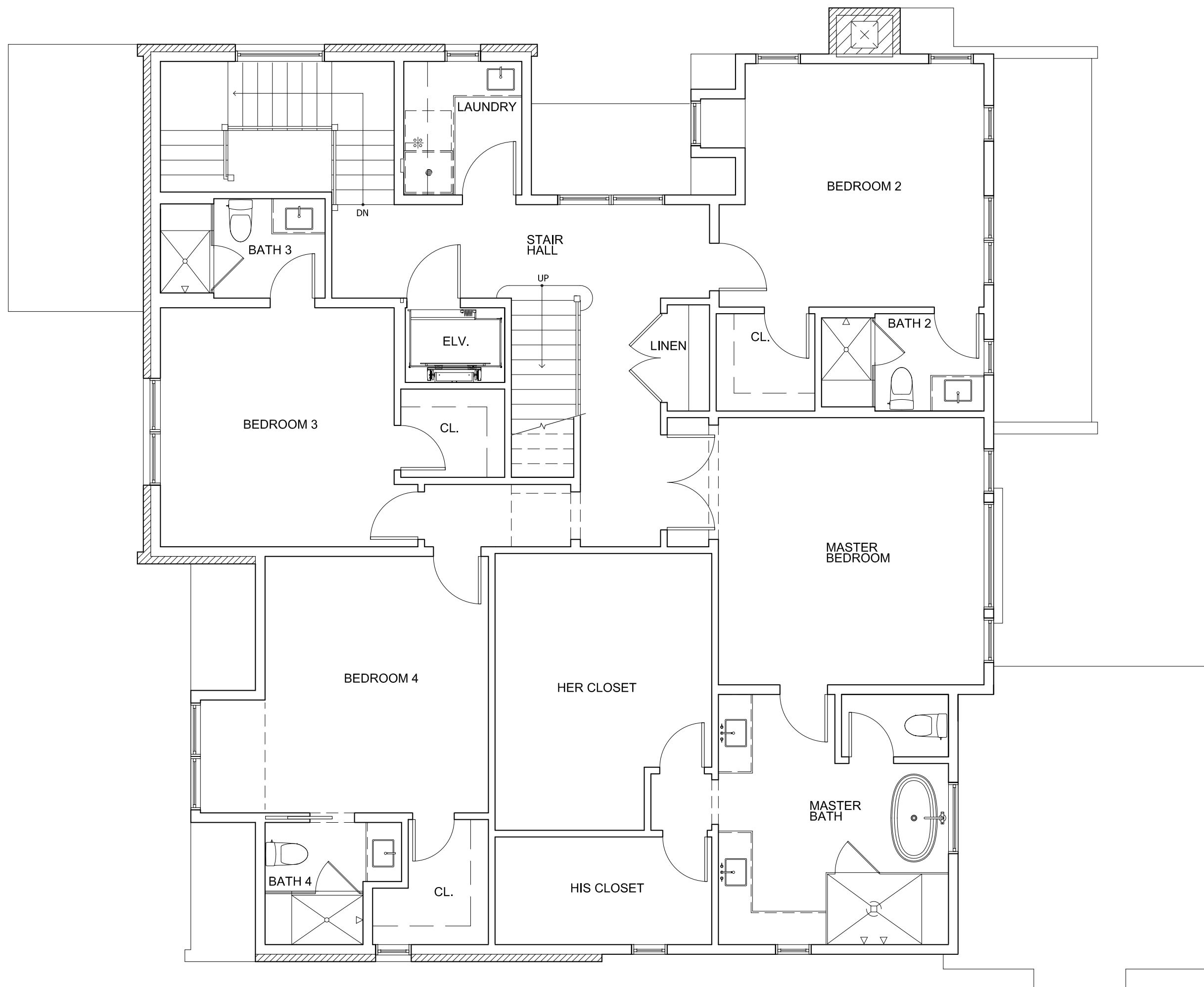
SOUTH ELEVATION



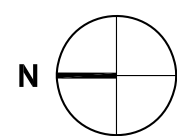
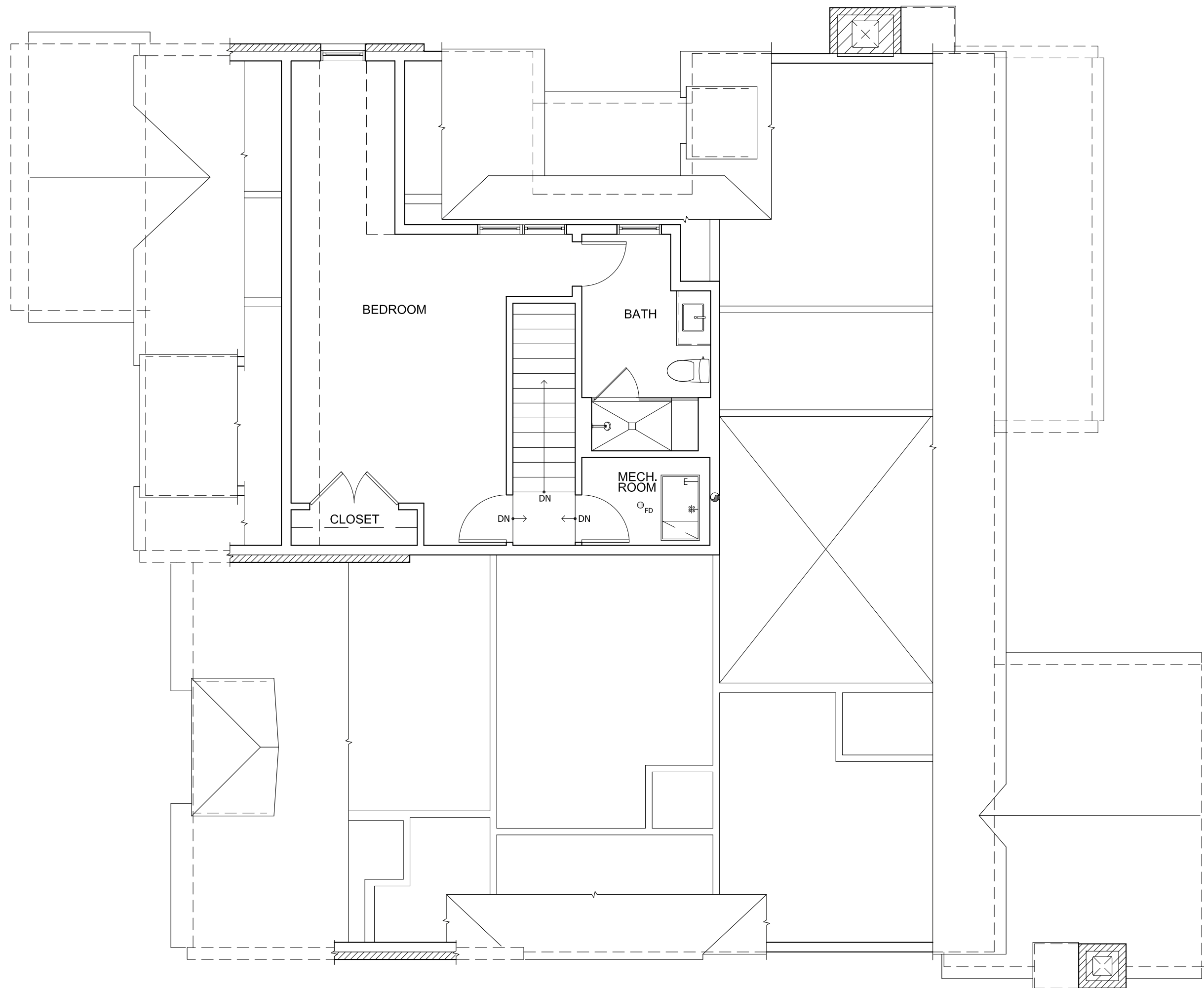
EAST ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



PROPOSED



EXISTING

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION APPLICATION
FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review:
Property Identification Number: 09-12-403-007 448 E. 6th St., Hinsdale, IL 60521

I. GENERAL INFORMATION

1. Applicants Name: MICHAEL J. RYAN
Address: 125 E 8th St., Hinsdale, IL 60521
Telephone Number: 630-306-1917
2. Owner of Record (if different from applicant): CAROLYN J. RYAN TRUST DATED 5/27/94
Address: 125 E 8th St., Hinsdale, IL 60521
Telephone Number: 630-373-7999
3. Others involved in project (include, name, address and telephone number):
Architect: Moment Design, 201 E. Ogden Ave Hinsdale Illinois 60521 (630) 828-8161
Attorney: TBD MARK DONATELLI/PETER COULES 15 SALT CREEK LN, STE 312, Hinsdale, IL 60521
630-920-0406
Builder: TBD PARK FIVE HOMES 1220 Iroquois Ave, Ste 201, Naperville, IL 60563
630-306-1917 MIKE RYAN
Engineer: TBD JON GREEN, ENGINEERING RESOURCE ASSOC. 312-474-7841
35701 WEST AVE, STE 150, WARRENVILLE, IL 60555

II. SITE INFORMATION

1. Describe the existing conditions of the property: 2 Story residence & detached garage
2. Property Designation:
Listed on the National Register of Historic Places? YES X NO
Listed as a Local Designated Landmark? YES X NO
Located in a Designated Historic District? X YES NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

New two story Belgian farmhouse home with attached garage.

ENGLISH MANOR

5. TABLE OF COMPLIANCE

Address of subject property: 448 E. 6TH STREET

The following table is based on the R-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	30,000 SQ.FT.	14,979.0 SQ.FT.	14,979.0 SQ.FT.
Lot Depth	125 FT	200 FT	200 FT
Lot Width	125 FT	75 FT	75 FT
Building Height	30 FT	UNKNOWN	UNKNOWN
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	92.04'	94.44'	92.08'
Corner Side Yard Setback	N/A	N/A	N/A
Interior Side Yard Setback	10'/12.5'	11.79'/ 13.12	10.5'/13'
Rear Yard Setback	50.0'	74.16'	53.58'
Maximum Floor Area Ratio (F.A.R.)*	4,794.96'	2,772.44'	4,788.66 SQ.FT.
Maximum Total Building Coverage*	3,744.75'	1386.22	2,965.8 SQ.FT.
Maximum Total Lot Coverage*	7,489.50'	4,473.97'	UNKNOWN
Parking Requirements	N/A	N/A	N/A
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	N/A	N/A	N/A
Parking interior side yard setback	N/A	N/A	N/A
Parking rear yard setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	1,497.90 SQ.FT.	540.24 SQ.FT.	250 SQ.FT.

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☒ **INDIVIDUAL OWNERS**

Signature of Applicant

X

Signature of Applicant

☐ **CORPORATION**

Signature of Applicant's President

Signature of Applicant's Secretary

☐ **PARTNERSHIP**

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

OTHER

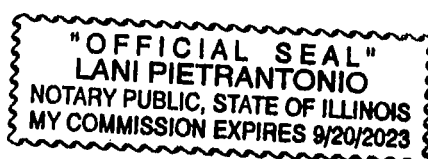
Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 11th day of

September, 2020

Lani Pietrantonio
Notary Public

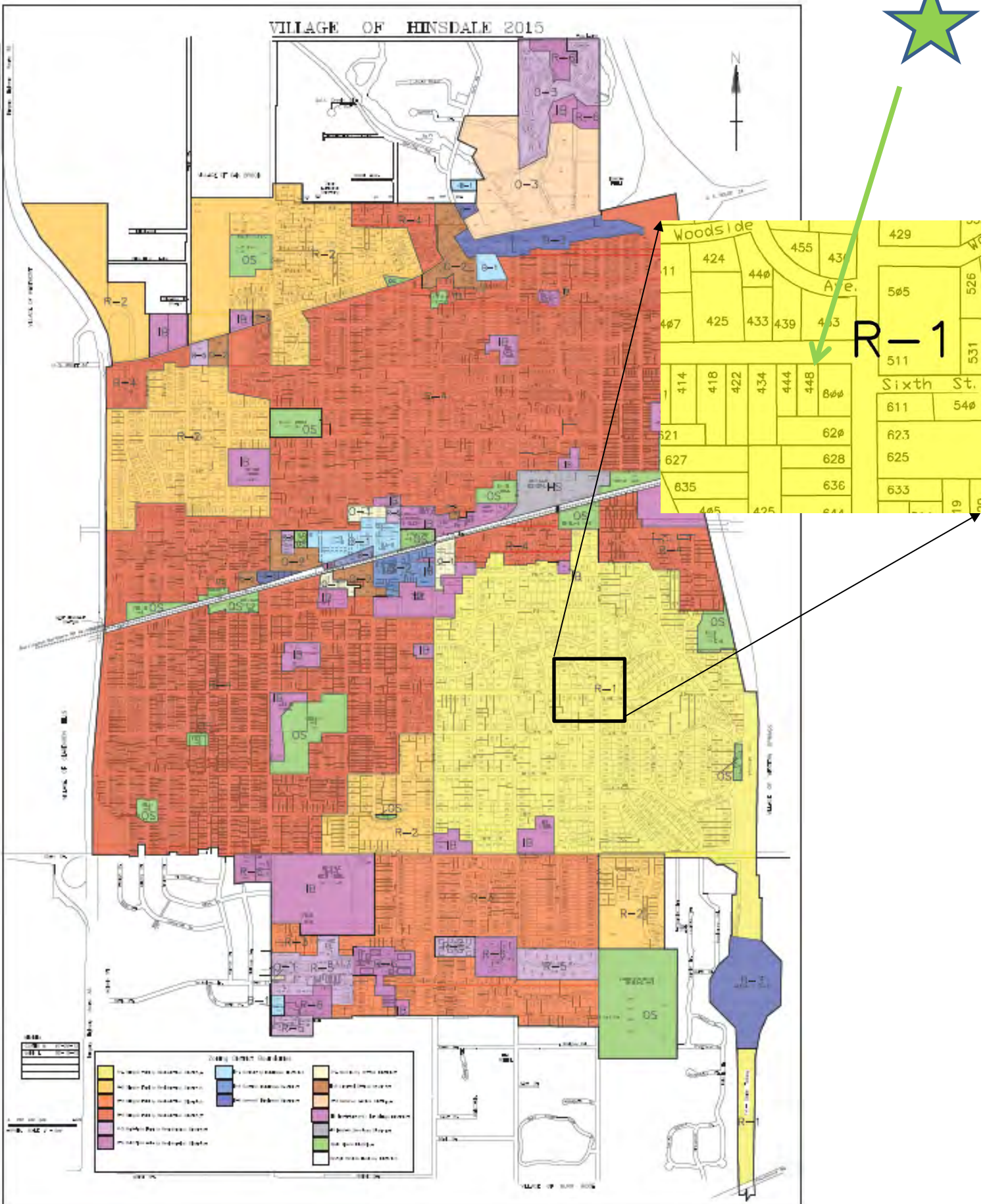
April 2020



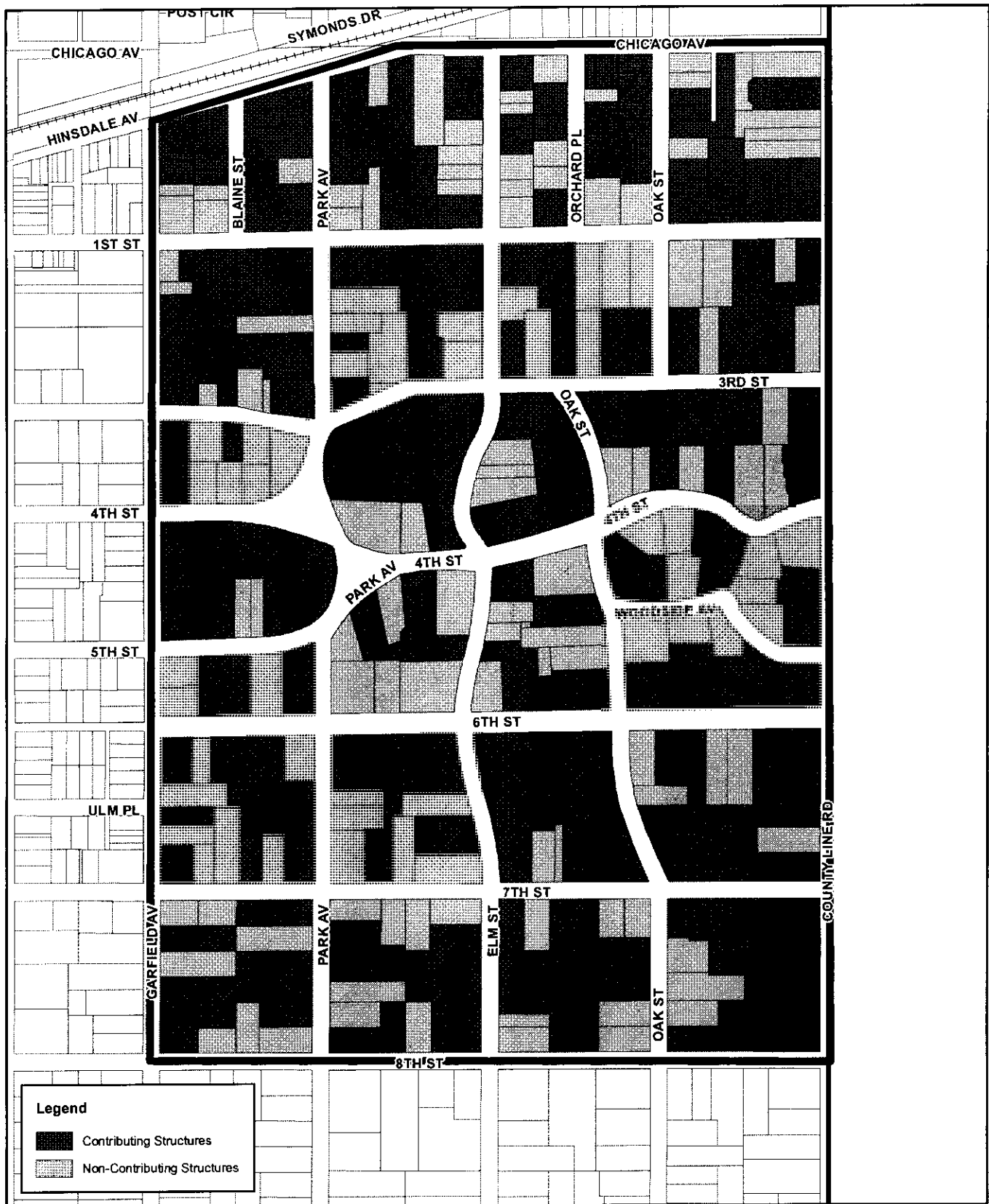
Page 5 of 5

Attachment 1

Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
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4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 21

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
303	E SIXTH	Neo-Traditional	2003		NC	-	Estenssoro, Sergio G.	Barrett Builders	
308	E SIXTH	Colonial Revival	c. 1925		C	C			Detached garage
311	E SIXTH	Colonial Revival Cottage	1925	Osler, Edwin J. II House	C	NC			Detached garage
316	E SIXTH	Tudor Revival	c. 1925		C	-			
319	E SIXTH	Renaissance Revival	1927	Jackson, Leo W. House	C	C			Detached garage
326	E SIXTH	French Eclectic	1928	Harm, Howard S. House	C	-	Powers, Richard		
329	E SIXTH	Colonial Revival	1899	Bassett, Orland P. House	C	C			Coach House
407	E SIXTH	Colonial Revival	c. 1920		C	NC			Detached garage
414	E SIXTH	Colonial Revival	1936	Effinger, John R. House	C	-	West, Philip Duke		
418	E SIXTH	Craftsman	c. 1925		C	NC			Detached garage
422	E SIXTH	Neo-Traditional	2006		NC	-			
425	E SIXTH	Colonial Revival	1863-64	Robbins, William/Basset House "Woodside"	C	-		Froscher, Adolph	
433	E SIXTH	Ranch	1951	Pierce, J. C. House	C	-	Wendell, A. W.	Wendell, A. W. & Son	
434	E SIXTH	No style (altered)	1949	Stanton, John W. House	NC	-	Binfield, Richard A.	Dressler, Paul	
439	E SIXTH	Colonial Revival	1937	Prescott, Frank House	C	-	Zook, R. Harold		
444	E SIXTH	Colonial Revival	1954	Ritchie, Lyel H. House	C	-	Soucek, Lambert L.		
448	E SIXTH	Contemporary	1954	Anderson, Roger A. House	C	C	Anderson, Walter	Bellevue Builders	Detached garage
453	E SIXTH	Colonial Revival	1953	Pusinelli, John A. House	C	-	Fossier, G. E.		
118	E THIRD	Neo-Traditional	2005		NC	-			
119	E THIRD	Vacant			NC	-			
122	E THIRD	Queen Anne	1883		C	NC		Elmers, Andreas	gazebo
127	E THIRD	Contemporary	1952		NC	-	Gustafson, Virgil E.	Dressler, Paul	

Attachment 6: Aerial View 448 E. 6th Street

