VILLAGE OF Lindale Est. 1873

MEETING AGENDA

MEETING OF THE HISTORIC PRESERVATION COMMISSION Wednesday, September 4, 2019 6:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. MINUTES Review and approval of the minutes from the July 10, 2019 special meeting.

4. PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-05-2019 719 S. Park Ave. Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District.
- **b)** Case HPC-07-2019 332 E. Chicago Ave. Request for Certificate of Appropriateness to construct a new home in the Robbins Park Historic District.

5. DISCUSSION

- a) Historic Preservation Commission Regulations Review Certificate of Appropriateness Downtown Historic District
- 6. PUBLIC COMMENT
- 7. OTHER BUSINESS
- 8. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

July 10, 2019

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale 6:30 P.M.

Chairman Bohnen called the special meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on July 10, 2019, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Weinberger, Commissioner Williams,

Commissioner Prisby and Commissioner Gonzalez

Absent: Commissioner Haarlow Also Present: Chan Yu, Village Planner

Minutes

Chairman Bohnen introduced the minutes from the May 1, 2019, meeting and asked for any comments. Commissioner Prisby had a correction request for line 15, of pages 15 and 16, "project" should replace "home". And on page 16, line 16, add "are" after "that".

With no further comments, the HPC unanimously approved the minutes for the May 1, 2019, HPC meeting, 4-0, 2 absent.

Chairman Bohnen introduced the minutes from the June 5, 2019, meetings and asked for any comments. Commissioner Williams had a correction on pages 8 and 18, lines 9 and 18, respectively, the word "Tudor" was misspelled.

With no further comments, the HPC unanimously approved the minutes for the June 5, 2019, HPC meeting, 4-0, 2 absent.

Public Hearing -Certificate of Appropriateness

Case HPC-03-2019 - 321 E. 7^{th} St. - Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District

At the July 10, HPC special meeting, the applicant's attorney, Pete Coules reviewed the application and introduced the project architect to answer questions. In general, the HPC expressed less concern for the request with the additional information, illustration and sample materials provided.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-03-2019

With no further comments, a motion to approve the Certificate of Appropriateness was unanimously approved, 5-0 (1 absent).

Public Hearing -Certificate of Appropriateness

Case HPC-04-2019 – 35 S. Garfield St. - Request for Certificate of Appropriateness to demolish and construct a new office building in the Robbins Park Historic District.

At the July 10, 2019, HPC public hearing, Mr. Tom Hawbecker reviewed the revisions to the elevator to the attic. In general, the HPC expressed support and gratitude for working with Commissioner Prisby and Commissioner Gonzalez for a much improved building plan.

Please refer to Attachment 2, for the transcript for Public Hearing Case HPC-04-2019

With no further comments, a motion to approve the Certificate of Appropriateness was unanimously approved, 5-0 (1 absent).

Signage in the Historic Downtown District

Case A-21-2019 – 40 S. Washington St. – Alixandra Collections – 1 New Wall Sign and 1 Wall Sign Update

The sign contractor introduced himself and asked if the HPC had any questions.

Commissioner Williams raised an issue that the proposed sign has a logo and does not believe that is allowed, and asked Chan for clarification.

Chan responded that an applicant may request for a logo on a wall sign.

Commissioner Prisby asked if that counts towards the maximum SF.

Chan responded correct.

Commissioner Prisby asked if the proposed sign is under the maximum, and if so, how significantly.

Chan responded the sign is less than half the area of the max permitted.

Commissioner Prisby stated that he has no issues with the sign.

Commissioner Gonzalez asked if the wall behind the sign stucco.

The sign contractor replied that he believes it is.

Commissioner Gonzalez asked what is on the 2nd floor.

Chan responded office use.

With no further comments, a motion to recommend approving the sign was **unanimously approved**, 5-0 (1 absent).

Signage in the Historic Downtown District

Case A-22-2019 – 24 W. Hinsdale Ave. – Michael Abraham Architects – 1 New Wall Sign

The sign contractor introduced herself and asked if the HPC had any questions.

Commissioner Weinberger asked to clarify if they are only commenting on the sign.

Chairman Bohnen replied that the HPC can comment on the building.

Chan stated that the proposed sign was not ready for review from the previous exterior appearance review by the Plan Commission. The sign was on the exhibit, but only for illustrative purposes. The dimensions and sign application was not submitted at the time.

Commissioner Weinberger asked why the HPC does not review building rehab if it is in the historic district.

Chairman Bohnen replied we do.

Commissioner Williams asked about the proposed oculus enlargement, and stated that it contradicts the criteria for a certificate of appropriateness and prefers that it stays the same size.

The sign contractor stated that they are attempting to keep it proportionate to the other windows being enlarged.

Commissioner Gonzalez asked how far the canopy extends.

The sign contractor stated about 24 inches.

Commissioner Weinberger asked if the sides are a veneered stone.

The sign contractor stated that she was not sure, but they are not removing the existing brick, and that they are proposing to add brick.

In general, the HPC complimented the plan in that it looks nice.

Commissioner Weinberger asked about the illumination method for the proposed sign.

Commissioner Prisby reviewed halo lighting for signage to the group, but clarified that this sign would be backlit; and asked the application how far is the light source in relation to the wall.

The sign contractor replied about 18 inches from the wall.

Commissioner Prisby stated that the only thing that bothers him about the request is the distance the sign is pulled away from the wall. More discussion regarding the distance between the sign and wall ensued.

With no further comments, a motion to recommend approving the sign was **unanimously approved,** 5-0 (1 absent), with the condition that the Plan Commission consider a shorter distance between the wall and proposed sign.

<u>Discussion - Hinsdale Historical Society (HHS) Project Update - Historic Plaque</u> <u>Program</u>

It was reported that the HHS plaque program is very popular and that the demand is very high.

Public Comment -

Chairman Bohnen reviewed that there is no HPC meeting in August.

Chairman Bohnen stated, as a matter of expediting, he believes staff should inform Certificate of Appropriateness applicants that the HPC will not make a decision for demolition requests unless the HPC knows what will be built/plans for the new house are included in the application.

Adjournment

The HPC unanimously agreed to adjourn at 6:48 PM on July 10, 2019.

Respectfully Submitted,

Chan Yu, Village Planner

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

IN THE MATTER OF:

CASE NO. HPC-03-2019

321 East 7th Street

CONTINUED REPORT OF PROCEEDINGS had and testimony taken at the Public Hearing on the Certificate of Appropriateness in the above-entitled matter before the Hinsdale Historic Preservation Commission, at 19 East Chicago Avenue, Hinsdale, Illinois, on the 10th day of July, 2019, at 6:30 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MR. FRANK GONZALEZ, Member;

MR. JIM PRISBY, Member;

MS. SANDRA WILLIAMS, Member;

MS. SHANNON WEINBERGER, Member.

* * *

	27 ALSO PRESENT:		29
1	ALSO PRESENT.	1	So the colors are there now. I'm sorry
2	MR. CHAN YU, Village Planner;	2	my associate did not know the colors. And there
3	MR. PETER COULES, Attorney for	3	are the materials that are there for the house.
3	Petitioner;	4	Bernie is here to answer any questions.
4		5	It's not an issue anymore of taking
5	MR. BERNIE BARTELLI, Architecture for Petitioner;	6	down the other house. I mean I didn't even fit
	redicioner,	7	through three of the door frames. I had to turn
6	MR. THOMAS HAWBECKER.	8	sideways. It kind of made me feel a little bad.
7	* * *	9	I went home and didn't eat for a day.
		06:06:27PM 10	MR. PRISBY: Hey, Chan, what happened
8		11	to the photos? Everything we have is black on
9	CHAIRMAN BOHNEN: We now have two	12	the inside, the existing.
06:04:30PM 10	public hearings. Anybody that's going to speak	13	MR. YU: That is how it was submitted.
11 12	during these hearings, please stand to be sworn in.	14	MR. PRISBY: Did anyone else get this?
13	(Mr. Coules, Mr. Bartelli, and	15	MS. WEINBERGER: No, they look like
14	Mr. Hawbecker sworn.)	16	that.
15	CHAIRMAN BOHNEN: We will open up with	17	MR. COULES: So we got color renderings
16 17	Case HPC-03-2019 for 321 East 7th Street. MR. COULES: Good evening. Peter	18	since last time put into everybody's packet.
18	Coules on behalf of the owner. Sorry I was not	19	And then, like I said, Bernie is here to answer
19	at the last meeting.	06:06:43PM 20	any questions. Because I know there were
06:05:12PM 20 21	And we have an architect here tonight, Bernie Bartelli, from Michael Abraham's	21	questions about what the materials were, what
22	office to answer any questions. He brought all	22	the colors were, all legitimate questions that
	28		30
			30
1	the materials so you could see the colors. It's	1	my associate did not know the answers to.
1 2		1 2	
_	·		my associate did not know the answers to.
2	all real material. None of it is like a fake frontage with a stone and for the slate roofing	2	my associate did not know the answers to. MS. WEINBERGER: So the stucco areas of the home are that gray? MR. BARTELLI: It will be a whiter gray
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31 33 there will be cut limestone for all the sills 1 MS. WILLIAMS: The setback is further 1 and around the windows on the stone gables will 2 back than those on the east side? 2 3 MR. COULES: Correct. be all cut limestone as well. 4 MR. PRISBY: Well, I have to say, I 4 MR. BARTELLI: And we tried to have the really don't have much issue with the top. It's elements that are closest to the street are 1-, actually one of those things; but while I think 1.5-story. And then further back, you get 6 6 some of the glass, it might be a little large 7 7 2-story. for what we'd like to see and might have a more 8 MS. WILLIAMS: I like the fact that the 8 9 newer-look to it, I like the fact that it is 9 height is in the center. natural materials. I like the color scheme. I MR. PRISBY: There were some, the 06:10:19PM 10 06:08:24PM 10 11 like the fact that in that part of town there 11 houses we have been seeing with the recycled brick, painted or unpainted, very plain, lack are a lot more Tudorish- or cottagey-style houses that are in that area. This seems to detail. It doesn't have the little elements 13 14 have a tip of the hat to that size and scale. 14 that make the architecture special. We are not seeing dormers top 15 And if you open this up, the things 15 through the 3rd floor, they are on the 2nd 16 that jump out to me are the cut stone jambs that 16 floor. It's a lower height as you mentioned. I 17 17 vary in width, a little extra detail right where like it. I think it's a good house. It's the eaves are on each side of the eaves, the cut 18 18 better than a lot of the stuff that has come in 19 19 stone. The stuff we have been seeing just 06:08:52PM **20** front of here in the last 12 months, I hate to 06:10:49PM **20** doesn't have that kind of detail to it, which I 21 tell you. I may be in the minority. 21 think is a little more that adds to the charm of MR. COULES: I think I was with you the architecture. 22 22 34 because I called Mike and said, Wow, it's a 1 MR. GONZALEZ: I'm just curious, it's a good-looking house, at least it's not one of really pretty house. 3 MR. PRISBY: I think it is a pretty those Standard Market houses that we see popping up in Hinsdale we are seeing everywhere. That's 4 house. the new name that we are coining, Standard 5 MS. WEINBERGER: I'm happy to hear it's not as tall as it could be. Given that I don't 6 Markets. have a comparison from the original home to the 7 So the fenestration, they are 7 size of this home, I just visually -- because I large. I assume, as far as like drapery and don't have that comparison -- was, now maybe not anything like that, I mean that's a lot of big 9 06:09:20PM 10 as much so now, but I was concerned about the 06:11:25PM 10 windows. Is that something that people are 11 scale and the size of the home compared to the 11 looking forward to? block. 12 MR. BARTELLI: We have a whole plan for 12 MR. COULES: The width of the home 13 13 what's going on for the interior for that as being built is approximately within 2 feet of well. So I don't think it's --14 14 15 what exists there now, well, what did exist 15 Are you saying is it an issue with there. Yes. It's a very similar scale. That's the owner? 16 16 17 why they kept it within that same turnaround 17 MR. GONZALEZ: No. No. That's more 18 drive. 18 of -- It's because for the last, what, few 19 It's planned almost like backwards years, it's been windows were normal -- I don't 06:09:46PM **20** to keep everything the way it was. Same 06:11:48PM **20** know if you can say normal size -- but they have

21

gotten expanded. And they have, when I look at

windows like that, I think, oh, it resembles a

setback, same everything. And it's behind both

houses next to it, both sides.

21

22

	35		37
1	loft. And I'm wondering if there is a trend to	1	MR. PRISBY: I have a motion to approve
2	go that way.	2	the submittal.
3	MR. BARTELLI: I think with the windows	3	CHAIRMAN BOHNEN: Second?
4	you can do now people want a little more	4	MS. WEINBERGER: I will second.
5	openness.	5	CHAIRMAN BOHNEN: All in favor?
6	MR. GONZALEZ: Light?	6	MR. PRISBY: Aye.
7	MR. BARTELLI: Openness and light.	7	MR. GONZALEZ: Aye.
8	MR. GONZALEZ: Okay.	8	MS. WEINBERGER: Aye.
9	MR. BARTELLI: So these are two, that's	9	MS. WILLIAMS: Aye.
06:12:12PM 10	a living room on the left and a dining room and	10	CHAIRMAN BOHNEN: Approved.
11	a kind of bay in the middle. So they wanted to	11	MR. COULES: Thank you.
12	bring a lot of that light in.	12	CHAIRMAN BOHNEN: Thank you very much.
13	MR. GONZALEZ: Right. No. Okay.	13	Appreciate your presentation.
14	MR. BARTELLI: We still wanted to	14	* * *
15	surround it by masses of stone for those front	15	(Which were all the proceedings had
16	gables, and then big swatches of stucco around	16	in the above-entitled cause.)
17	the big pieces so	17	
18	MR. GONZALEZ: What's the stone name	18	
19	for the stone that you are using? What is it	19	
06:12:36PM 20	called?	20	
21	MR. BARTELLI: This is basswood is what	21	
22	we spec'd for this house. It's by Halquist	22	
	36		38
1	Stone.		STATE OF ILLINOIS)
2	MR. GONZALEZ: Basswood?) ss. COUNTY OF DU PAGE)
3	MR. BARTELLI: Yes.		COUNTY OF DO PAGE)
4	MR. GONZALEZ: And where is Basswood,		I, JANICE H. HEINEMANN, CSR, RDR, CRR,
5	what type of stone is this, a sandstone I		
6	what type of stone is this, a samustone i		do hereby certify that I am a court reporter
	suppose? Is it natural or manmade?		doing business in the State of Illinois, that I
7			doing business in the State of Illinois, that I reported in shorthand the testimony given at the
7 8	suppose? Is it natural or manmade?		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is
	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes.		doing business in the State of Illinois, that I reported in shorthand the testimony given at the
8	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand
8 9	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right.		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand
8 9 06:12:52PM 10	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right. MR. BARTELLI: And it's got a little		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.
8 9 06:12:52PM 10 11	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right. MR. BARTELLI: And it's got a little variation to it. It's not all one color.		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid. Janice H. Heinemann CSR, RDR, CRR
8 9 06:12:52PM 10 11 12	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right. MR. BARTELLI: And it's got a little variation to it. It's not all one color. MR. GONZALEZ: Right.		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.
8 9 06:12:52PM 10 11 12 13	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right. MR. BARTELLI: And it's got a little variation to it. It's not all one color. MR. GONZALEZ: Right. MR. BARTELLI: There are a few darker		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid. Janice H. Heinemann CSR, RDR, CRR
8 9 06:12:52PM 10 11 12 13 14 15 16	suppose? Is it natural or manmade? MR. BARTELLI: All natural, yes. MR. GONZALEZ: Okay. Okay. Okay. All right. MR. BARTELLI: And it's got a little variation to it. It's not all one color. MR. GONZALEZ: Right. MR. BARTELLI: There are a few darker pieces. It's hidden by this. It's darker and		doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid. Janice H. Heinemann CSR, RDR, CRR
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) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

IN THE MATTER OF:

CASE NO. HPC-04-2019

35 South Garfield Street

CONTINUED REPORT OF PROCEEDINGS had and testimony taken at the Public Hearing on the Certificate of Appropriateness in the above-entitled matter before the Hinsdale Historic Preservation Commission at 19 East Chicago Avenue, Hinsdale, Illinois, on the 10th day of July, 2019, at 6:14 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MR. FRANK GONZALEZ, Member;

MR. JIM PRISBY, Member;

MS. SANDRA WILLIAMS, Member;

MS. SHANNON WEINBERGER, Member.

	34		36
1	ALSO PRESENT:	1	MR. PRISBY: We made some suggestions,
2	MR. CHAN YU, Village Planner;	2	but Bill pulled it off.
3	MR. THOMAS HAWBECKER, Petitioner.	3	MR. HAWBECKER: Yes. But, no, those
4	* * *	4	are welcome suggestions. I don't think anybody
5	CHAIRMAN BOHNEN: Our second hearing is	5	can look at the two and think that the current
6	Case HPC-04-2019, 35 South Garfield Street.	6	one doesn't look better than what was originally
7	MR. HAWBECKER: Good evening. Tom	7	submitted.
8	Hawbecker here, one of the owners at 35 South	8	So it's not a huge project on
9	Garfield following up on the June meeting. Jim	9	Garfield, but it's a visible project. So all of
06:14:32PM 10	and Frank have been engaged in this a lot. I	06:15:57PM 10	that helped. It was much appreciated.
11	don't know how privy the rest of you guys are to	11	MR. GONZALEZ: Yes. We were happy.
12	what's been done, but I think Chan had printed	12	There was good collaboration.
13	out the new schematic of what we have kind of	13	MR. HAWBECKER: Yes.
14	come to. I don't know if you guys still have	14	MR. GONZALEZ: Everybody was trying to
15	the original rendering. You can probably	15	help each other.
16	compare the two.	16	MS. WEINBERGER: This looks fabulous.
17	Yes. Exactly.	17	MR. HAWBECKER: It looks good. I
18	CHAIRMAN BOHNEN: This I think was the	18	agree. I would agree.
19	second. This I think was the second rendering.	19	MS. WILLIAMS: That was the right
20	MS. WILLIAMS: Yes.	06:16:10PM 20	answer for sure.
21	CHAIRMAN BOHNEN: Yes.	21	MR. HAWBECKER: The turret was the way
22	MR. HAWBECKER: That was the second	22	to go.
	35		37
1	one.	1	37 MS. WEINBERGER: At our last meeting we
1 2		1 2	
	one.	_	MS. WEINBERGER: At our last meeting we
2	one. CHAIRMAN BOHNEN: Right. First	2	MS. WEINBERGER: At our last meeting we talked about the bulk space that it was taking
3	one. CHAIRMAN BOHNEN: Right. First generation I don't have.	2	MS. WEINBERGER: At our last meeting we talked about the bulk space that it was taking up. MR. HAWBECKER: Right. MS. WEINBERGER: And this completely
2 3 4	one. CHAIRMAN BOHNEN: Right. First generation I don't have. MR. HAWBECKER: Sorry. The first one	2 3 4	MS. WEINBERGER: At our last meeting we talked about the bulk space that it was taking up. MR. HAWBECKER: Right.
2 3 4 5	one. CHAIRMAN BOHNEN: Right. First generation I don't have. MR. HAWBECKER: Sorry. The first one was Yes. The roof line was straight out.	2 3 4 5	MS. WEINBERGER: At our last meeting we talked about the bulk space that it was taking up. MR. HAWBECKER: Right. MS. WEINBERGER: And this completely changes that, completely. Nice. I think it's a perfect example of
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	38		40
1	opportunity. And I really think with the people	1	Garfield, everybody can say, hey, I had a little
2	that are on this Board, there is knowledge here	2	something to do with that building.
3	that we can really help with just another set of	3	CHAIRMAN BOHNEN: That's all right. We
4	eyes to create some things that are really	4	like that.
5	spectacular; and we don't usually get this	5	MR. HAWBECKER: Yes. Right. Right.
6	opportunity.	6	MR. PRISBY: I think we are all good
7	So I know I really appreciate the	7	with the color, right?
8	fact you guys came here early, you were open-	8	MR. GONZALEZ: Oh, color, yes.
9	minded; and I think the end product because of	9	Fantastic.
06:17:24PM 10	it shows. Right?	06:18:45PM 10	CHAIRMAN BOHNEN: Okay. Could I have a
11	MR. HAWBECKER: I agree.	11	motion.
12	MR. PRISBY: And I just wish more		MS. WEINBERGER: I move to approve.
13	people that are watching tonight or read the	13	MR. GONZALEZ: We can go ahead and
14	public record understand how great this can be	14	second it.
15 16	to go through this process. Thank you very much.	15 16	I second it. CHAIRMAN BOHNEN: All those in favor?
		17	
17	MR. HAWBECKER: No. Thanks to you guys		MR. PRISBY: Aye.
18 19	as well. I would agree with everything you	18 19	MR. GONZALEZ: Aye.
00	said, and it is an improvement.	06:13:39PM 20	MS. WEINBERGER: Aye.
	MR. GONZALEZ: Yes. I'm very thankful, too. I think it's the first time ever in		MS. WILLIAMS: Aye.
21 22		21 22	MR. HAWBECKER: Thank you.
	12 years sitting on this Board that I ever been	22	CHAIRMAN BOHNEN: On that note, we will
	00		4.4
4	involved. Recourse usually, it's true, it comes	4	41
1	involved. Because usually, it's true, it comes	1	close the public hearings.
2	involved. Because usually, it's true, it comes after a finished project. And now we are just	2	close the public hearings. MR. PRISBY: John, before we pass,
3	involved. Because usually, it's true, it comes after a finished project. And now we are just saying, you know, sorry. We just reject if it's	3	close the public hearings. MR. PRISBY: John, before we pass, because that wasn't what was in the submittal,
2 3 4	involved. Because usually, it's true, it comes after a finished project. And now we are just saying, you know, sorry. We just reject if it's something so unpleasant for the block.	3 4	close the public hearings. MR. PRISBY: John, before we pass, because that wasn't what was in the submittal, does anything special have to be done here?
2 3 4 5	involved. Because usually, it's true, it comes after a finished project. And now we are just saying, you know, sorry. We just reject if it's something so unpleasant for the block. But in this case, this is like,	2 3 4 5	close the public hearings. MR. PRISBY: John, before we pass, because that wasn't what was in the submittal, does anything special have to be done here? There is no public record or announcements or
2 3 4 5 6	involved. Because usually, it's true, it comes after a finished project. And now we are just saying, you know, sorry. We just reject if it's something so unpleasant for the block. But in this case, this is like, when I saw it this morning, I was like, whoa,	2 3 4 5 6	close the public hearings. MR. PRISBY: John, before we pass, because that wasn't what was in the submittal, does anything special have to be done here? There is no public record or announcements or anything like that.
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1	public hearing. Thank you very much.
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3	(Which were all the proceedings had
4	in the above-entitled cause.)
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STATE OF ILLINOIS)) ss. COUNTY OF DU PAGE)

I, JANICE H. HEINEMANN, CSR, RDR, CRR, do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.

> Janice H. Heinemann CSR, RDR, CRR License No. 084-001391

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MEMORANDUM

DATE: September 4, 2019

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 719 S. Park Ave. – Application for Certificate of Appropriateness to Demolish a house in

the Robbins Park Historic District to Construct a New House – Case HPC-05-2019

Summary

The Village of Hinsdale has received an application from Greenside Design Build, requesting approval for a Certificate of Appropriateness to demolish an existing house in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot on S. Park Avenue. The existing home was constructed in 1915 in a Craftsman style according to the National Register of Historic Places. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, south, east and west. Per the submitted plat of survey, it is a code compliant lot that is 41,474 SF in area. The existing building, per the National Register of Historic Places, is a contributing structure in the Robbins Park Historic District. However, the existing detached garage is not a contributing structure.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Robbins Park Historic District Map

Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)

Attachment 5 - National Register of Historic Places Sheet

Attachment 6 - 719 S. Park Ave. Street View

Attachment 7 - 719 S. Park Ave. Aerial View

VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

		perty under review: 719 S Park St. Hinsdale IL 60521
Prop	erty Identif	fication Number: 09-12-405-005
l.	GENERA	L INFORMATION
1.	Applicants	Name: Greenside Design Build 7320 S Madison St. #300 Willowbrook II, 60527
	-	
	Telephone	Number: 708.505.9606
2.		Record (if different from applicant): Trust Number 8002378564
		e Number:
3.	Others inv	Volved in project (include, name, address and telephone number): Moment Design - 201 E Ogden Ave. #20 Hinsdale IL 60521.
	Attorney:	030.020.0101
	Builder:	Greenside Design Build - 7320 S Madison #300 Willowbrook IL 60527 708.505.9606
	Engineer:	Jon Green - Engineering Resource Consultants 3s701 West Ave. Suite 150 Warrenville IL 60555 630.393.3060
II. SIT	E INFORM	ATION
1.	Describe ti	he existing conditions of the property: Existing single family home and detached garage
2.	Property	y Designation:
	Listed o	n the National Register of Historic Places?YESNO
	Listed a	s a Local Designated Landmark? YESNO
	Located	in a Designated Historic District?YESNO

5. TABLE OF COMPLIANCE

Address of subject property:	719	5 PARK	
The following table is based on the _	R-1	Zoning District.	

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	41,474	11 470	111 (22)
Lot Depth	296'	41,474	41,474
Lot Width	140'	140'	296'
Building Height	30'-3"	140	140
Number of Stories	50-5		29 '- 10.75"
Front Yard Setback	1001	3 61.14'	2
	69.2'	· · · · · · · · · · · · · · · · · · ·	69.8
Corner Side Yard Setback	N/A	N/A 3232/51.741	N/A
Interior Side Yard Setback	15' /27.75'	3232/51.74	15.25 / 30.75
Rear Yard Setback	50'	55:16'	117.25
Maximum Floor Area Ratio (F.A.R.)*	(24.8%) 10,294.8	(11.8%) 4924	(20.8%) 8639.3
Maximum Total Building Coverage*	(25%): 10,368.5	(92) 3,734	(13.8%) 5.734.6
Maximum Total Lot Coverage*	(50%) 20,737	(25.8%) 10,697	(31.4%) 13,037
Parking Requirements			
	N/A	N/A	N/a
Parking front yard setback	N/A	N/A	N/A
Parking corner side yard setback	NIN	N/A	N/A
Parking interior side yard setback	NA	N/A	N/A
Parking rear yard setback	NIA	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	NA	N/A	А/И

^{*} Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

Demolition of	existing hom	e and c	constructio	n of a	new si	ngle	family

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CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

□ INDIVIDUAL OWNERS	
Signature of Applicant	Signature of Applicant
□ CORPORATION	
Signature of Applicant's President	Signature of Applicant's Secretary
PARTNERSHIP	
Signature of Applicant	Signature of Applicant
Signature of Applicant	Signature of Applicant
LAND TRUST	OTHER
Gal	
Signature	Signature of Authorized Officer
SUBSCRIBED AND SWORN to before me this ZND day of	Official Seal Jennifer Conneely Notery Public State of Illinois My Commission Expires 05/31/2021
\wedge	Notary Public

719 S. Park



Front - West Elevation



Right - South Elevation

719 S. Park



Rear - East Elevation



Left - North Elevation

719 S. Park - Detached Garage



Front - West Elevation



Right - South Elevation

719 S. Park- Detached Garage



Rear - East Elevation



Left - North Elevation

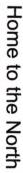
Home to the South

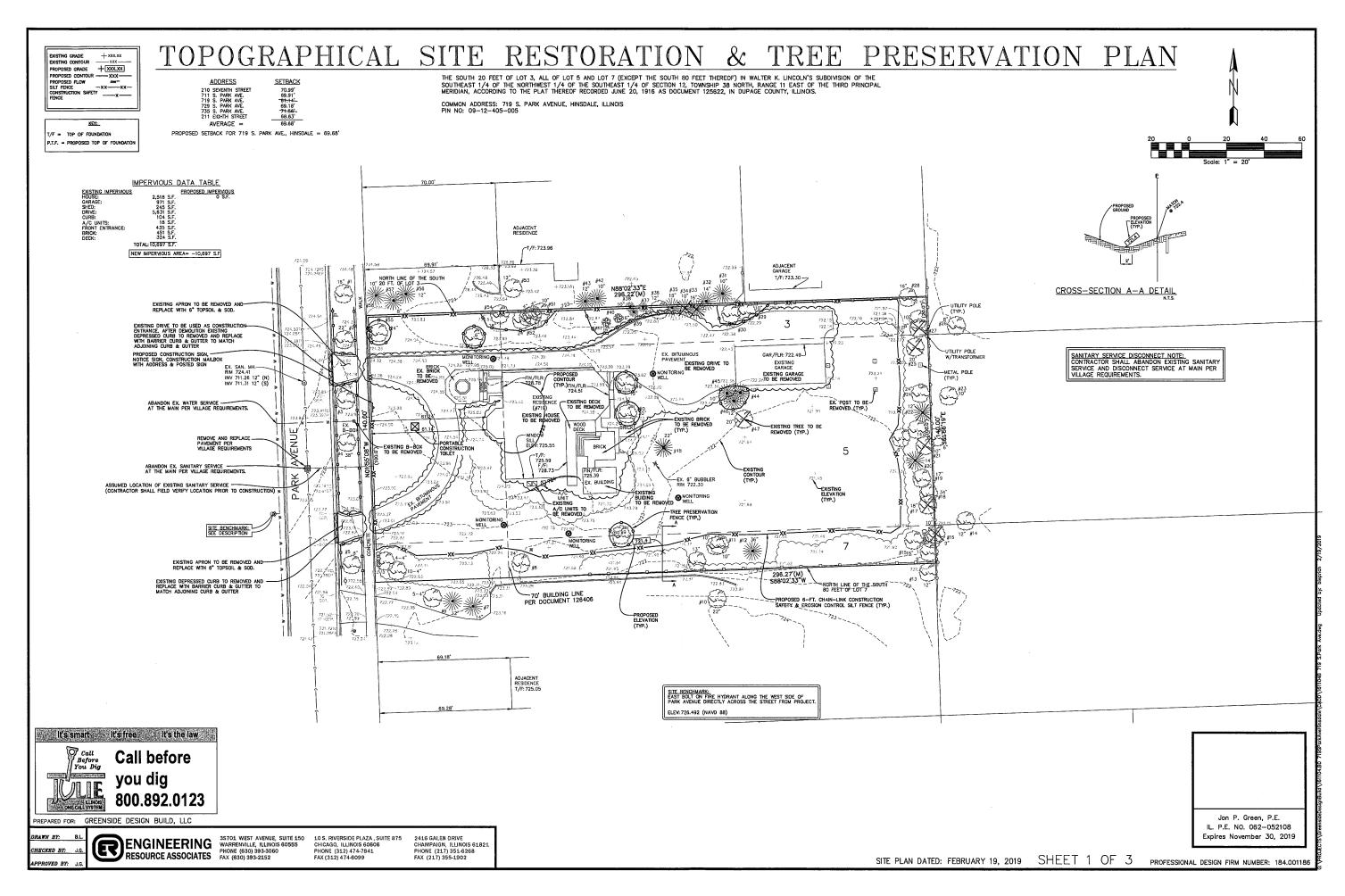


Home to the West (across the Street)



719 S. Park -Adjacent Homes





TOPOGRAPHICAL SITE RESTORATION & TREE PRESERVATION PLAN + xxx.xx +<u>xxx.xx</u> THE SOUTH 20 FEET OF LOT 3, ALL OF LOT 5 AND LOT 7 (EXCEPT THE SOUTH 80 FEET THEREOF) IN WALTER K. LINCOLN'S SUBDIVISION OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1916 AS DOCUMENT 125622, IN DUPAGE COUNTY, ILLINOIS. 70.99' 69.91' 69.18' 69.18' 71.56' 68.63' 69.68' ROPOSED IMPERVIOUS COVERAGE DATA 210 SEVENTH STREET
711 S. PARK AVE.
719 S. PARK AVE.
729 S. PARK AVE.
735 S. PARK AVE.
211 EIGHTH STREET LOT AREA: 41,474 S.F. (MEAS.) COVERAGE: 13,037 S.F. (31.43%) COMMON ADDRESS: 719 S. PARK AVENUE, HINSDALE, ILLINOIS PIN NO: 09-12-405-005AVERAGE = B/W: BOTTOM OF WALL
P.T.F. PROPOSED TOP OF FOUNDATION
M.T.F. MEASURED TOP OF FOUNDATION PROPOSED SETBACK FOR 719 S. PARK AVE., HINSDALE = 69.68 IMPERVIOUS DATA TABLE EXISTING IMPERVIOUS
HOUSE:
GARAGE:
SHED:
DRIVE:
CURB:
A/C UNITS:
FRONT ENTRANCE:
BRICK:
DECK: HOUSE:
GARAGE:
DRIVE:
REAR STAIRS:
COVERED PORCH:
A/C PAD & GENERATOR:
PIERS (FRONT YARD):
REAR PATIO: PROP. 12" X 12" YARD DRAIN INLET RIM: 721.90 INV: 720.40 ADJACENT RESIDENCE -CONTRACTOR SHALL COORDINAT W/COMED ON INSTALLATION OF ELECTRIC SERVICE TOTAL: 10.697 S.F. NEW IMPERVIOUS AREA = 13,037 S.F. PERFORATED OR SLOTTED CAP ADJACENT GARAGE T/F: 723.30 T/W: 724.4 & VARIES B/W: 723.5 AVG. GRADE DATA NORTH LINE OF THE SOUTH - WASHED STONE FILL 3.0"ø FILTER FABRIC
 TO LINE TOP, BOTTOM
 AND ALL SIDES OF
 DRYWELL NET NEW IMPERVIOUS = 13,037 S.F. VOL. REQ. = 13,037 S.F. <u>x 1,25In</u> = 1,358 C.F. (ASSUMING 36% VOID RATIO) PERFORATED PVC PIPE -UTILITY POLE W/TRANSFORMER BMP VOLUME PROVIDED (3 FT. OEEP DRYWELL)

VOL= 40' X 40' X 3' X 0.36 = 1,728 C.F. 722.24 + FOOT PLATE REBAR ANCHOR 40' X 40' X 3' PROP. 120' - 6" PVC (SDR35) STORM UNDER DRAIN • 1.0% DRY WELL DETAIL DISCONNECT EXISTING WATER SERVICE
MAIN PER VILLAGE REQUIREMENTS 721.4 CONNECT PROPOSED WATER SERVICE:
MAIN PER VILLAGE REQUIREMENTS SITE BENCHMARK: SEE DESCRIPTION PROP. SUMP PUMP DRAINAGE SYSTEM PER VILLAGE CODE (SEE DETAIL), RIM: 723.2 PROP. 12" X 12"
YARD DRAIN INLET
RIM: 721.40
INV: 719.90 -PROP. 122' - 6" PVG(SDR35) ● 1.0% MIN 722.26 721,99 AREA (SF) VOL. (CF) 70' BUILDING LINE PER DOCUMENT 126406 PROPOSED RETAINING WALL T/W: 723.0 & VARIES B/W: 721.6 AREA (SF) YOL (CF) SITE BENCHMARK: EAST BOLT ON FIRE HYDRANT ALONG THE WEST SIDE OF PARK AVENUE DIRECTLY ACROSS THE STREET FROM PROJECT ELEV: 726.492 (NAVD 88) it's smart walt's free all's the law Call before you dig 800.892.0123 Jon P. Green, P.E. GREENSIDE DESIGN BUILD, LLC REPARED FOR: IL. P.E. NO. 062-052108 Expires November 30, 2019 ENGINEERING ASTOL WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (830) 393-3060 FAX (630) 393-2152 FAX (630) 393-2152 FAX (630) 393-2152 FAX (630) 393-2152 FAX (312) 474-6099 RAWN BY: B.L.&K. 2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902 HECKED BY: SITE PLAN REVISED: JUNE 14, 2019 SHEET 1 OF 3 PROFESSIONAL DESIGN FIRM NUMBER: 184.00118 SITE PLAN DATED: MAY 6, 2019 PROVED BY

Tre er	DBH	Common Name	Species	Rating	Recommend
1	16"	Kentucky Coffee Tree	Gymnoclad us dioicus	Good	Protective Fence
2	22"	Pin Oak	Quercus palustris	Good	Protective Fence
3	16"	Pin Oak	Quercus palustris	Good	Protective Fence
4	38"	American Elm	Ulmus americana	Good	Protective Fence
5	8"	Oak	Quercus	Good	Protective Fence
6	12"	Norway Spruce	Picea abies	Good	Protective Fence
7	14"	Norway Spruce	Picea abies	Good	Protective Fence

free#	DBH	Common Name	Species	Rating	Recommend
8	24"	Amur Maple	Acer ginnala	Good	Protective Fence
9	60"	Willow	Picea abies	Fair	Protective Fence
10	22"	Redbud	Cercis canadensis	Fair	Protective Fence
11	10"10"	Magnolia	Magnolia	Good	Protective Fence
12	36"	White Pine	Pinus strobus	Good	Protective Fence
13	12"	Austrian Pine	Pinus nigra	Fair	Protective Fence
14	12"	White Pine	Pinus strobus	Fair	Protective Fence
15	16"	Maple	Acer	Good	Protective Fence
16	9"	Buckthorn	Rhamnus	Poor	Remove
17	18"	Hackberry	Celtis occidentalis	Poor	Remove
18	34"	Locust	Robinia pseudoaca cia	Fair	Protective Fence

Tree#	DBH*	Common Name	Species	Rating	Recommend
19	17"	Crabapple	Malus	Fair	Protective Fence
20	14"	Austrian Pine	Pinus nigra	Poor	Remove
21	10"	Austrian Pine	Pinus nigra	Poor	Remove
22	12"	Austrian Pine	Pinus nigra	Poor	Remove
23	10"	Locust	Robinia pseudoaca cia	Fair	Protective Fence
24	24"	Locust	Robinia pseudoaca cia	Fair	Protective Fence
25	20"	Austrian Pine	Pinus nigra	Poor	Remove
26	8"	Buckthorn	Rhamnus	Poor	Protective Fence
27	8"	Buckthorn	Rhamnus	Poor	Remove
28	16"	Locust	Robinia pseudoaca cia	Fair	Protective Fence

Tree#	DBH	Common Name	Species	Rating	Recommend
29	10"	Maple	Acer	Fair	Protective Fence
30	10"	Maple	Acer	Fair	Protective Fence
31	10"	Spruce	Picea	Poor	Protective Fence
32	14"	Austrian Pine	Pinus nigra	Fair	Protective Fence
33	16"	Austrian Pine	Pinus nigra	Poor	Remove
34	10"	Austrian Pine	Pinus nigra	Poor	Remove
35	18"	Austrian Pine	Pinus nigra	Fair	Protective Fence
36	12"	Amur Maple	Acer ginnala	Fair	Protective Fence
37	8"	Cedar	Cedrus	Fair	Protective Fence
38	10"	Cedar	Cedrus	Fair	Protective Fence
39	10"	Cedar	Cedrus	Fair	Protective Fence

ree#	DBH	Common Name	Species	Rating	Recommend
40	16"	Crabapple	Malus	Fair	Protective Fence
41	16"	Crabapple	Malus	Fair	Protective Fence
42	10"	White Pine	Pinus strobus	Good	Protective Fence
43	12"	White Pine	Pinus strobus	Good	Protective Fence
44	10"	Cedar	Cedrus	Fair	Protective Fence
. 45	10"	Cedar	Cedrus	Fair	Protective Fence
46	12"	Cedar	Cedrus	Fair	Protective Fence
47	20"	Buckthorn	Rhamnus	Poor	Remove
48	22"	Spruce	Picea	Poor	Remove
49	19"	Hawthorn	Crataegus	Fair	Protective Fence
50	20"	Magnolia	Magnolia	Fair	Protective Fence
51	10"	Elm	Ulmus	Fair	Remove

Tree#	DBH	Common Name	Species	Rating	Recommend
52	24"	Hackberry	Celtis occidentalis	Good	Remove
53	12"	Pear	Pyrus	Fair	Remove
54	18"	Maple	Acer	Good	Remove
55	24"	Pear	Pyrus	Fair	Remove
56	12"	Spruce	Picea	Fair	Protective Fence
57	8"	Spruce	Picea	Fair	Protective Fence
58	10"	Spruce	Picea	Fair	Protective Fence

· Rating is based on tree health and structural integrity.

Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.

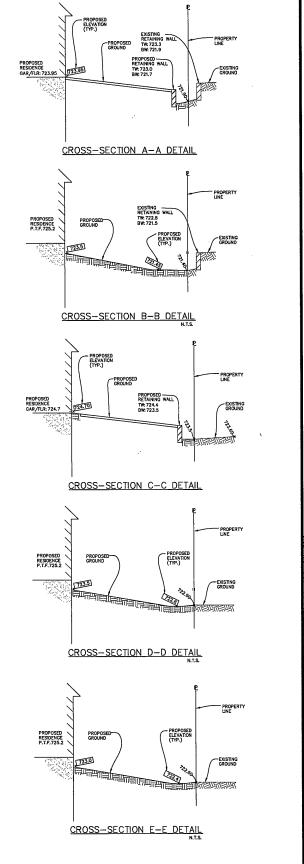
- Install Tree Protection Fence per Tree Protection Plan prior to any construction activity
- Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone Keep Out"
 At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
 The cnitre Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
- Tree Protection Zone is the designated area that encompasses and entire tree canopy.

This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.

The Tree Preservation Plan was performed by Certified Arborist Jay Peters

Jay C. Peters Certified Arborist # IL-1201







PREPARED FOR: GREENSIDE DESIGN BUILD, LLC

CHECKED BY: J.G PROVED BY: J.

ENGINEERING WARRENVILE, ILLINOIS 60555 PHONE (630) 393-2152 TAX (312) 474-7891 PHONE (312) 474-7841 FAX (312) 474-784099

2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902

1. The location of the proposed driveway apron is required to be at a minimum of 10' from the nearest face of a parkway tree or within the limits of an existing driveway apron; this should be verified on plans.

The proposed driveway area should be installed using techniques to minimize

- damage to the parkway tree.
 a. The Village will require that the Tree Protection Fence be installed a
- minimum distance from the tree.

 b. Hand digging only, within Tree Protection Zones.
- c. Root pruning will be used as necessary prior to driveway construction to
- prune tree roots.

 d. All tree protection fencing will be maintained in all areas outside of the apron excavation area.

- e. Minimal excavation not to exceed 8" deep within Tree Protection Zones, f. No material or equipment storage within the drip line of the public trees. g. The use of brick pavers for the drives is recommended. h. Notify the Village 24 hours prior to the start of work within the drip line of
- All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who a win be eniored. The 's section recribent 2-163; Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).

- . All work must be performed according to the approved Tree Preservation
- 2. An approved Tree Preservation Plan must be available on the building
- site.

 S. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.

- site.

 3. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.

 4. Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6° chain-link fence to prevent wounds to the parkway trees[s] as well as soll compaction. Post the fence with a sign staing Tree Protection Zone Keep Correction Zone Keep Correction Zone Keep Correction Zone Keep Correction Zone for fencing shall remain in place until the time of the finish grading and landscaping.

 6. No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.

 7. No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.

 8. Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two inches (27) shall be out unless no other alternative is feasible. All maller roots the require training shall be considered to the control of the tree proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods.

 9. Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods.

 Auger through the entire Tree Protection Zones, locate pits outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods.

 10. The proposed water service line valves (B-Boxes), is to be ten feet [10] from parkway trees. If furure utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead

- reduces the chances of extensive stem or root damage, which could lead to tree decline.

 1. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (FPZ) of the parkway tree(s).

 2. Removal of any hardscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (27) shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.

 3. Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal exeavation (see Mandatory Tree Protection Donstruction Policy).

 4. The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.

- NOTES:

 ***BMPS** INSPECTION INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.

 **LEVEL SPREADER INSPECTION INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.

 **ANY CONNECTIONS TO THE STORM, SERVER INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STORE FOR BACKFILLING IS ON SITE.

 **ANY CONNECTION IS THE STORM SANTIARY CONNECTION OF CONNECTE, WHEN DRIVENLY IS LOAD—OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.

 **ORDINATION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK

 **PRE-POUR FOR FINAL CONCRETE, IO INCHES FROM FINAL GRADE, CONCRETE ON SITE

 **PRE-POUR FOR FINAL CONCRETE, IO INCHES FROM FINAL GRADE, CONCRETE ON SITE

 **PRE-POUR FOR FINAL CONCRETE, IO INCHES FROM FINAL GRADE, CONCRETE ON SITE

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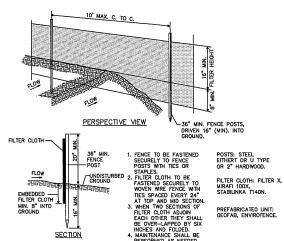
 **PRE-POUR FOR FINAL CONCRETE, IO INCHES FROM FINAL GRADE, CONCRETE ON SITE

 **PRE-POUR FOR FINAL CONCRETE, IO INCHES FROM FINAL GRADE, CONCRETE ON SITE

 **PRE-POUR FOR FINAL CONCRETE ON SECTION FINAL GRADE, CONCRETE ON SITE

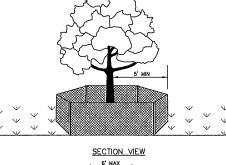
 **PRE-POUR FOR FINAL CONCRETE ON SECTION FINAL

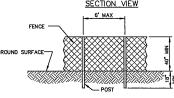
- STORMWATER BOND INSPECTION
 CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.



SILT FENCE

SECTION





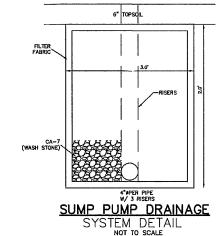
POST AND FENCE DETAIL

- . THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- 2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINUMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
- 3. THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER

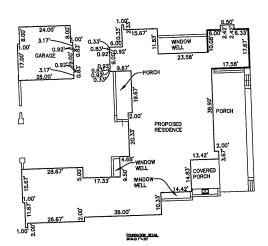
TREE PROTECTION

NOTES:

- EXISTING RESIDENCE, GARAGE, BRICK WALK, STONE PATIO AND CONCRETE SHALL SHALL BE REMOVED IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR BENDLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION OEBRIS AND DEMOUTION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURIN
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES, GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- 13. MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED, DEWARTERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING GARFIELD AVENUE CURB AND GUTTER.
- 16. CONSTRUCTION SCHEDULE:
 - A. SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. SPRING 2019
 - B. EXISTING STRUCTURES SHALL BE DEMOLISHED. SPRING 2019
 - C. RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES.
 - & EXISTING SWALES. SPRING 2019
 - D. CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. SPRING 2019
 - E. PREPARE AND SUBMIT RECORD DRAWINGS. SPRING 2020
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. SPRING 2020
- CONTACT PERSON FOR SITE: MICHEAL CONNEELY (708) 505-9606
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8. PARKING SHALL BE ON THE WEST SIDE OF GARFIELD AVENUE.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
- TWO-WAY TRAFFIC ON PARK AVE. SHALL BE MAINTAINED AT ALL TIMES.









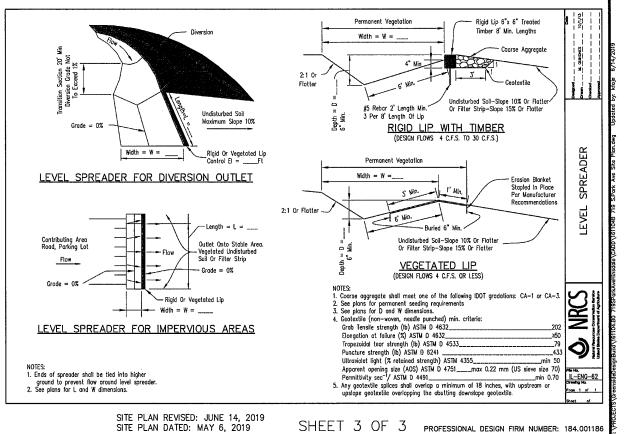
REPARED FOR: GREENSIDE DESIGN BUILD, LLC

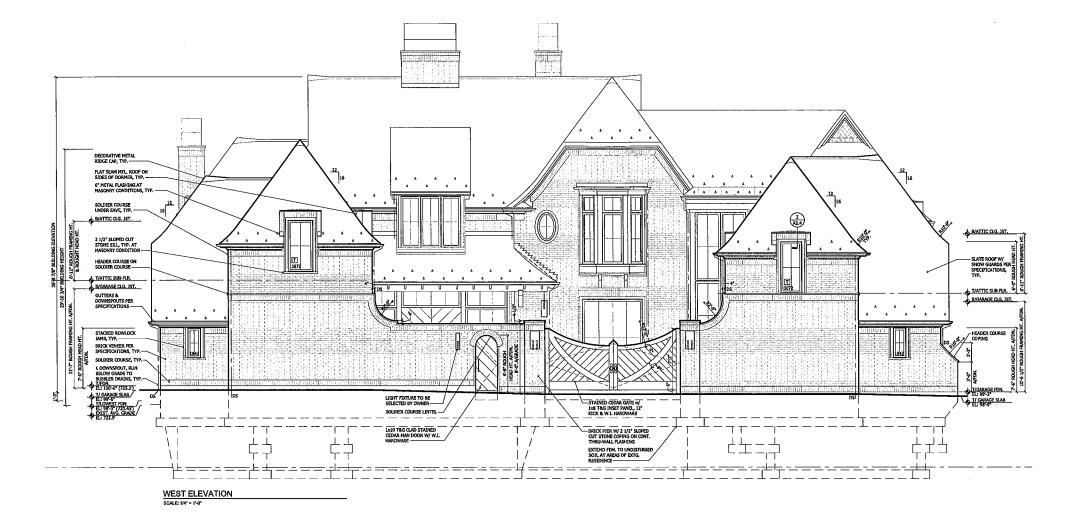
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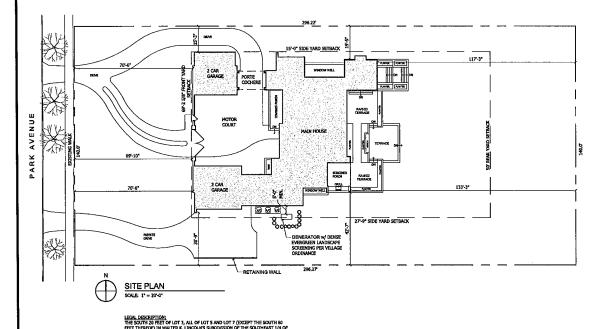


10 S. RIVERSIDE PLAZA , SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099

CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902







GENERAL NOTES

THE	FOLLOWING LOCATIONS:		
		ZONING:	R-1
Α.	CONCEALED SPACES OF STUDS, WALL AND PARTITIONS,		
	INCLUDING FURRED SPACES, AT THE CEILING & FLOOR	SITE AREA:	41,474
	LEVEL.		
B.	ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL	ALLOWABLE	
	AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS,	BLDG. COVERAGE:	10,368.
	DROP CEILINGS, COVE CEILINGS, ETC.		
C.	CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP	ACTUAL	
	AND BOTTOM OF THE RUN.	BLDG. COVERAGE:	LOWER
D.	OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS &		FIRST F
	FIREPLACES AT CEILING AND FLOOR LEVEL, WITHOUT		SECONI
	NONCOMBUSTIBLE MATERIALS.		TOTAL:
E	CONCEALED SPACE BECAUSE OF DROPPED CEILINGS OR		
	SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ.	ALLOWABLE	
	FT. SHALL BE DRAFT STOPPED INTO EQUAL AREAS PER IRC	ACCESSORY USE;	4,147.4

6.	Insulation materials installed within Floor-ceiling assembles, crawl, spaces and attics shall have a ral spread insor not to exceed 25 with an accompanying developed index not to exceed 450 when tested in accompance with astin Em.

2.	ABOYE GROUND WATER PIPENG TO BE TYPE I, TYPE K COPPER GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE.
3.	COPPER PIPING WILL, NOT BE ACCEPTED FOR WASTE OR VENT PIPING PER HINSDALE LOCAL ORDINANCE.

PROJECT DATA

E PROVIDED AT	JURISDICTION;	DUPAGE COUNTY, HINSDALE, ILLINOIS
	ZONING:	R-1
ARTITIONS, 5 & FLOOR	STTE AREA:	41,474 SQ.FT.
LED VERTICAL AT SOFFITS,	ALLOWABLE BLDG. COVERAGE:	10,368.5 SQ.FT.
GERS AT THE TOP HIMNEYS & WITHOUT	ACTUAL BLDG. COVERAGE:	LOWER LEVEL = 150.5 SQ.FT. FIRST FLOOR = 5,370.6 SQ.FT. SECOND FLOOR = 213.5 SQ. FT. TOTAL = 5,734.6 SQ.FT.
EILINGS OR ISAND (1000) SQ. AREAS PER IRC	ALLOWAPLE ACCESSORY USE;	4,147.4 SQ.FT.
ISTRUCTION AND	ACTUAL ACCESSORY USE:	0 SQ.FT.
CLEARANCE FROM	ALLOWABLE LOT COVERAGE:	20,737.0 SQ.FT.

	ACTUAL F.A.R.	CELLAR = FIRST FLOOR = SECOND FLOOR = ATTIC =	0 SQ.FT. 5,165.7 SQ.FT. 3,473.6 SQ.FT. 0 SQ. FT.
		TOTAL=	8,639.3 SQ.FT.
۸.	AVERAGE EXTG, GRADE;	HOUSE=	722.9
1	ALLOWABLE BUILDING HEIGHT:	HOUSE=	30'-3"
	ACTUAL BUILDING HEIGHT:	HOUSE=	29'-10 3/4"
UR IED	ALLOWABLE BUILDING ELEVATION:	40'-2"	
	ACTUAL.		

CODE INFORMATION

		LEQUIREMENTS OF THE LATEST EDITION A
FOL	LOWING	APPLICABLE CODES:
A	2006	INTERNATIONAL BUILDING CODE
В.	2006	INTERNATIONAL RESIDENTIAL CODE
C.	2006	INTERNATIONAL PROPERTY MAINTENANCE
D.	2014	ILLINOIS PLUMBING CODE
E	2006	INTERNATIONAL PLUMBING CODE
F.	2005	NFPA NATIONAL ELECTRICAL CODE
G.	2003	NFPA 101 LIFE SAFETY CODE

SHEET INDEX

AL1	EXTERIOR ELEVATION, SITE PLAN & GENERAL HOTES
A1.2	EXTERIOR ELEVATIONS
A1.3	EXTERIOR ELEVATIONS
A1,4	EXTERIOR ELEVATION, PLUMBING DIAGRAMS, LIGHT-VENT SCH
A2.1	LOWER LEVEL FLOOR PLAN
A2.2	FIRST FLOOR PLAN
42.2	EECONO EI CON MAN

ROOF PLAN, PARTIAL ATTIC PLAN & DETAILS TERRACE PLAN & DETAILS WALL SECTIONS & DETAILS WALL SECTIONS & DETAILS

SPECIFICATION
FOUNDATION PLAN & DETAILS SECOND FLOOR FRAMING PLAN & DETAILS SECOND FLOOR CEILING FRAMING PLAN ROOF FRAMING PLAN & DETAILS

LOWER LEVEL SCHEMATIC ELECTRICAL PLAN FIRST FLOOR SCHEMATIC ELECTRICAL PLAN

FIRST FLOOR SCHEMATIC ELECTRICAL PLAN SECOND FLOOR SCHEMATIC ELECTRICAL PLAN FIRST FLOOR OVERLAY PLAN SECOND FLOOR OVERLAY PLAN ATTIC OVERLAY PLAN

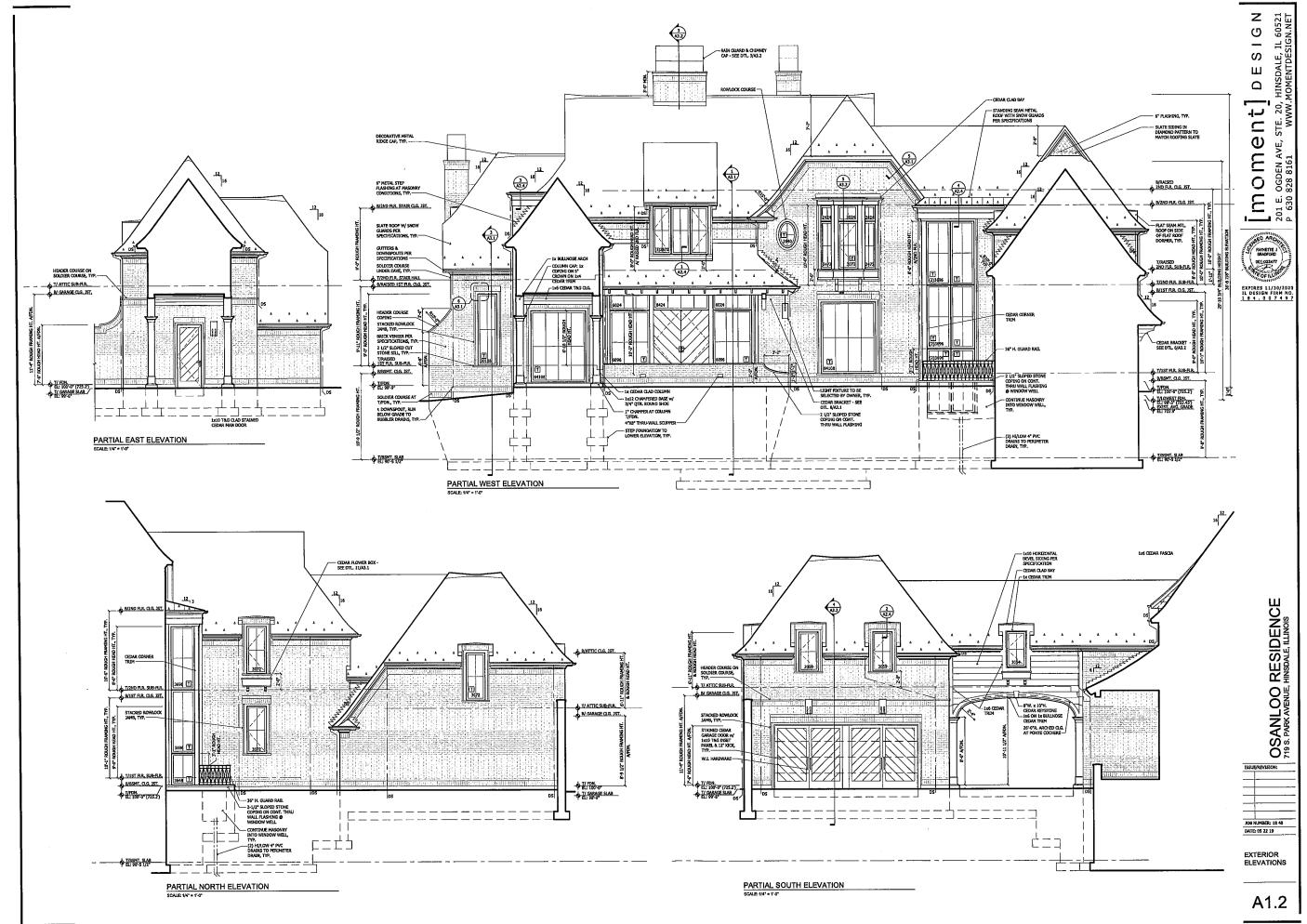
A1.1

308 NUMBER: 18 48

DATE: 05 22 19

EXTERIOR ELEVATION, SITE PLAN & GENERAL NOTES

OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS





Attachment 1

JOB NUMBER: 18 48 DATE: 05 22 19

EXTERIOR ELEVATIONS

A1.3

OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

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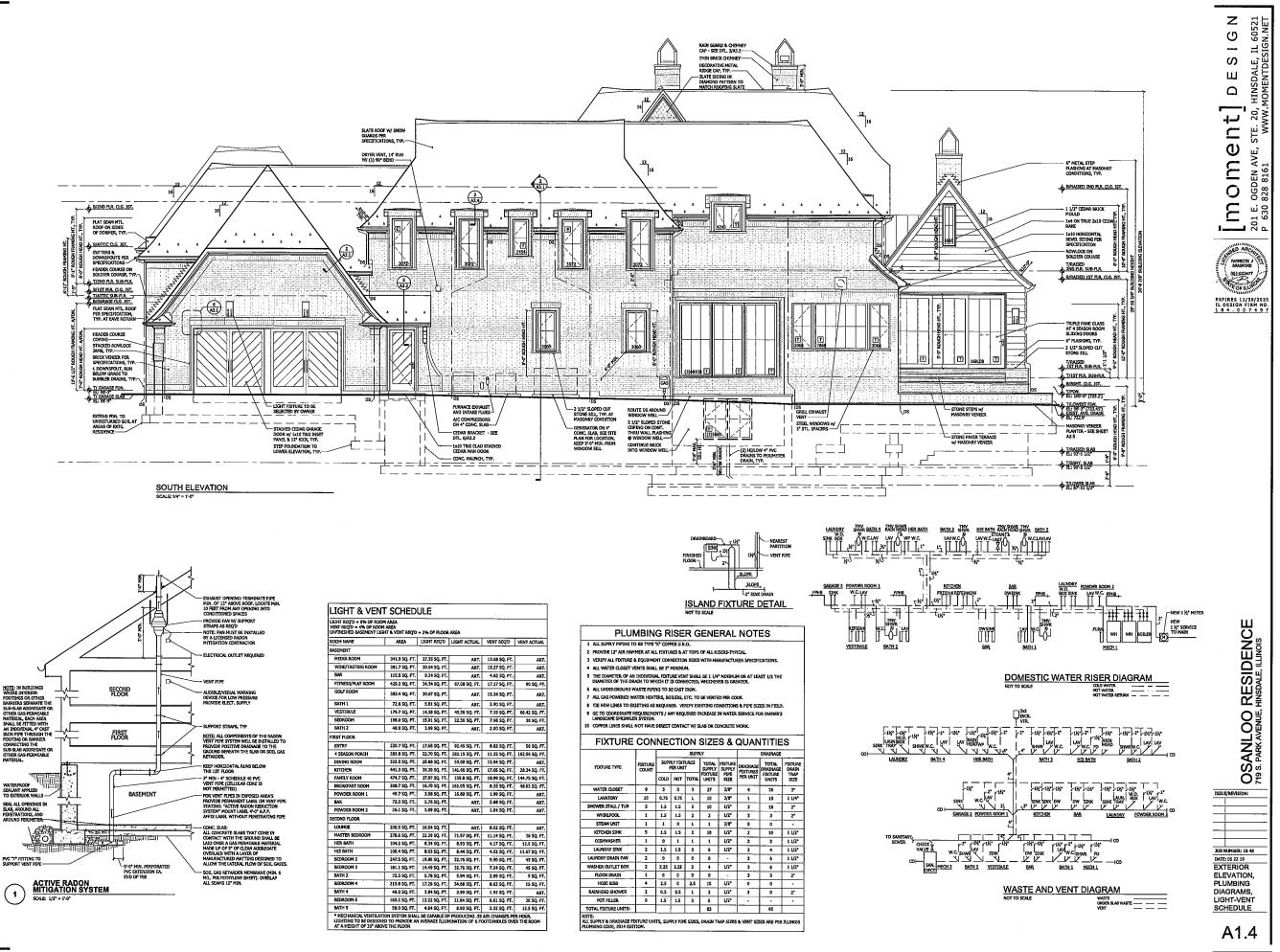
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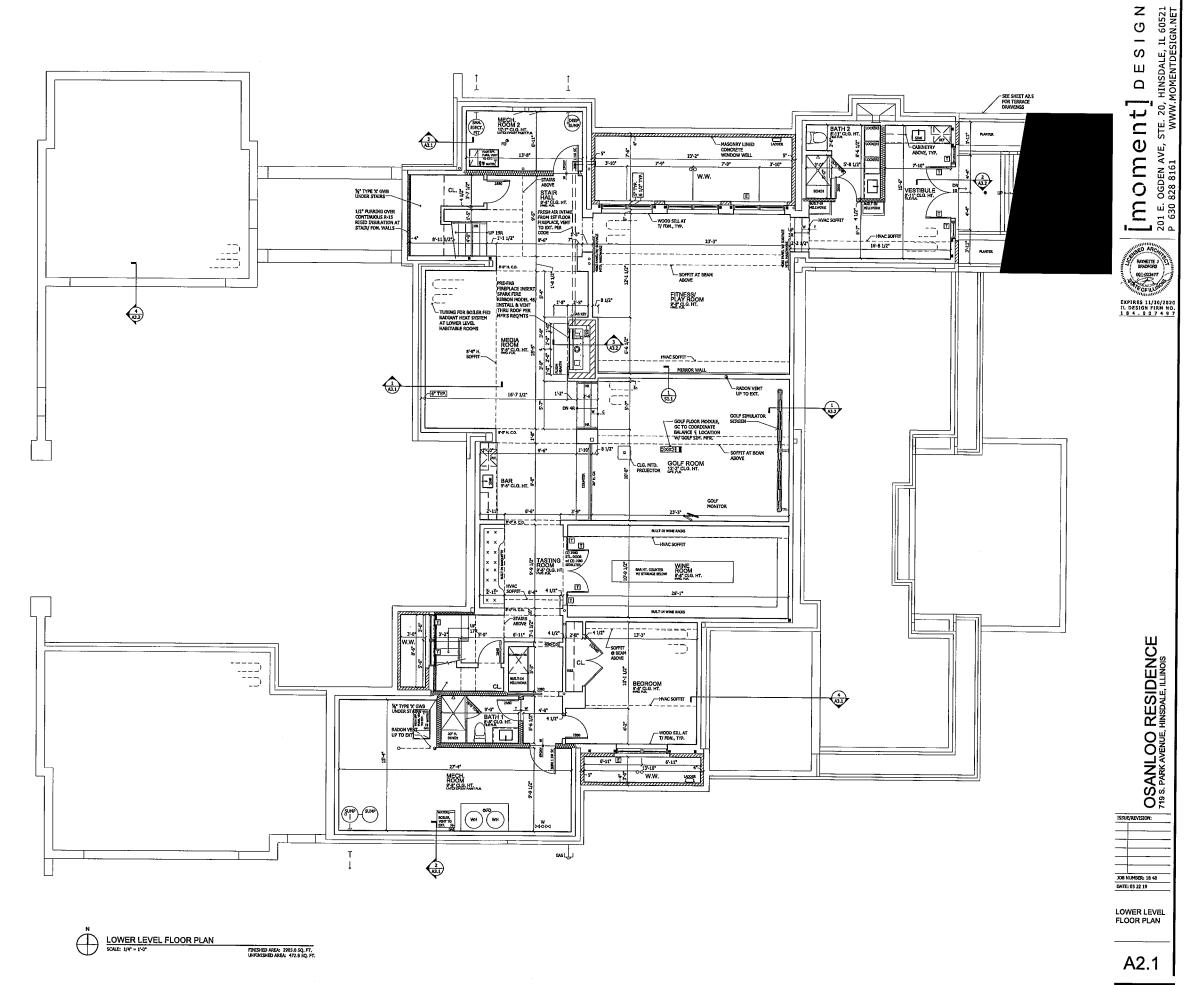
DE

[moment]

PANHETE J S BRADFORD 001-023477

EXPIRES 11/30/2020 IL DESIGN FIRM NO 1 8 4 . 0 0 7 4 9 2





[moment] Design

RAMETE J. J. SOPOROS IL DESIGN FIRM NO 1.8 4.0 0.7 4.9

OSANLOO RESIDENCE
719 S. PARK AVENUE, HINSDALE, ILLINOIS

DATE: 05 22 19
FIRST FLOOR

A2.2

[moment] Design

PAPERTE DE LA CONTRACTOR DE LA CONTRACTO

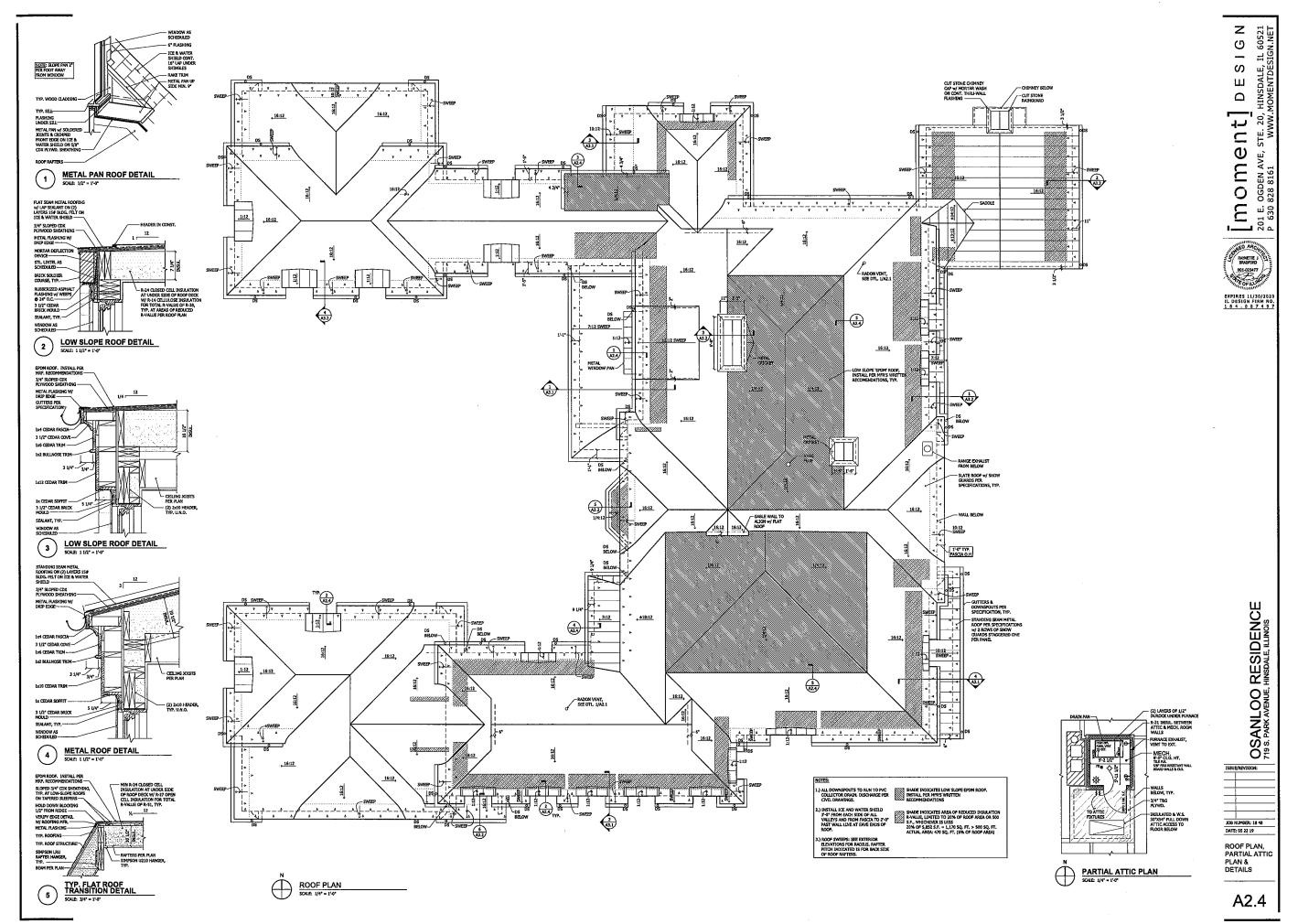
SANLOO RESIDENCE
719 S. PARK AVENUE, HINSDALE, ILLINOIS

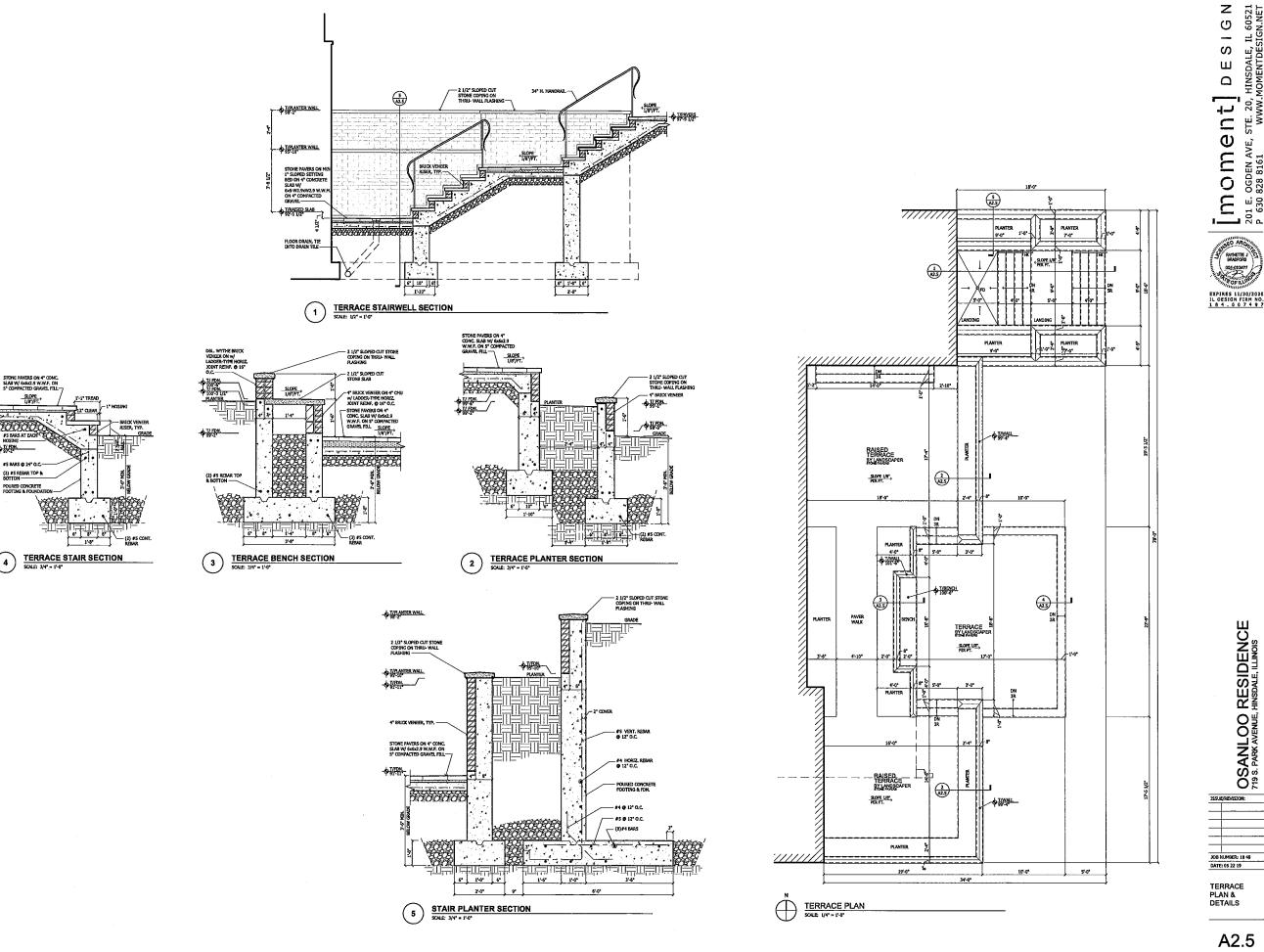
JOB NUMBER: 18 49
DATE: 05 22 19

SECOND
FLOOR PLAN

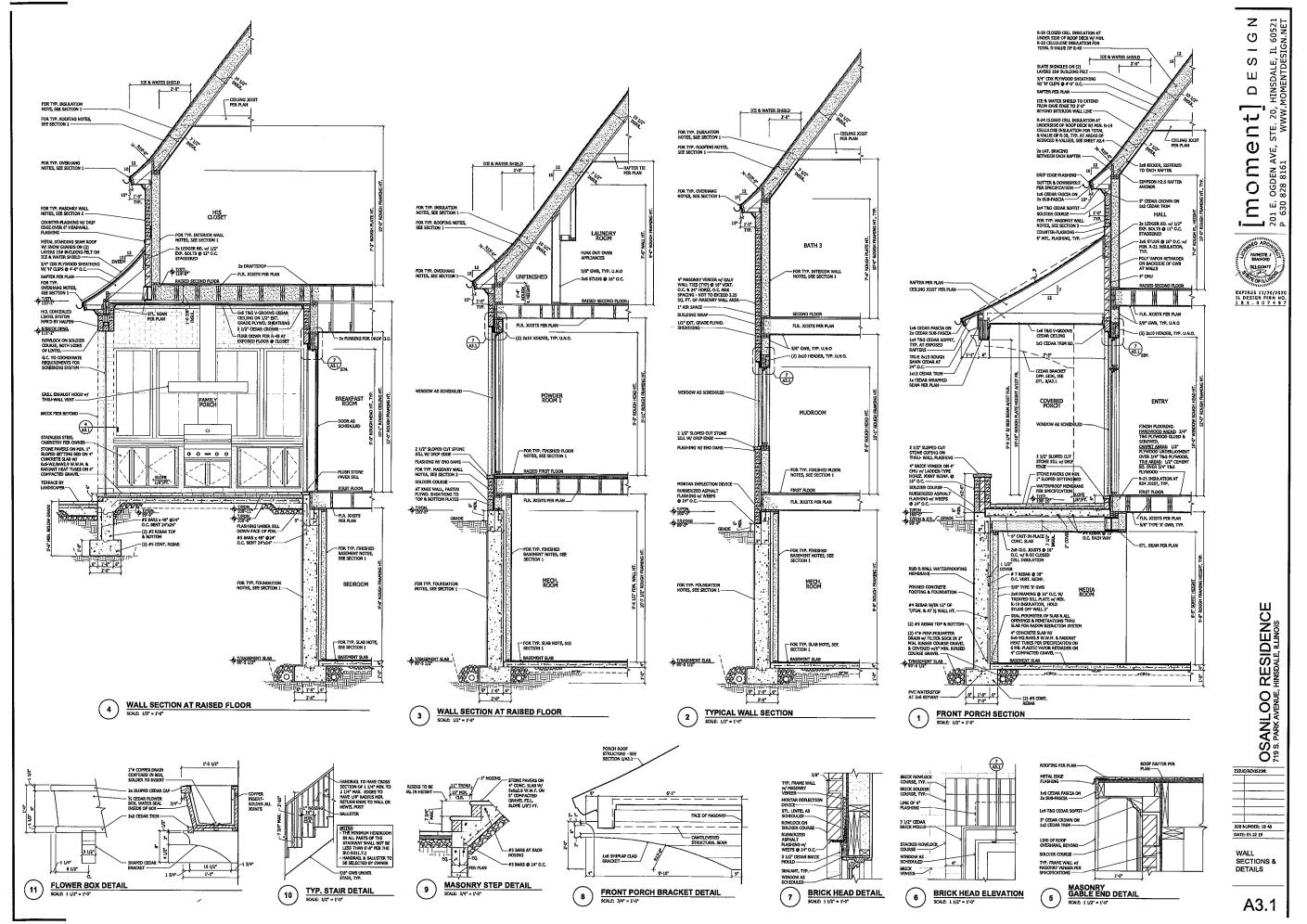
A2.3

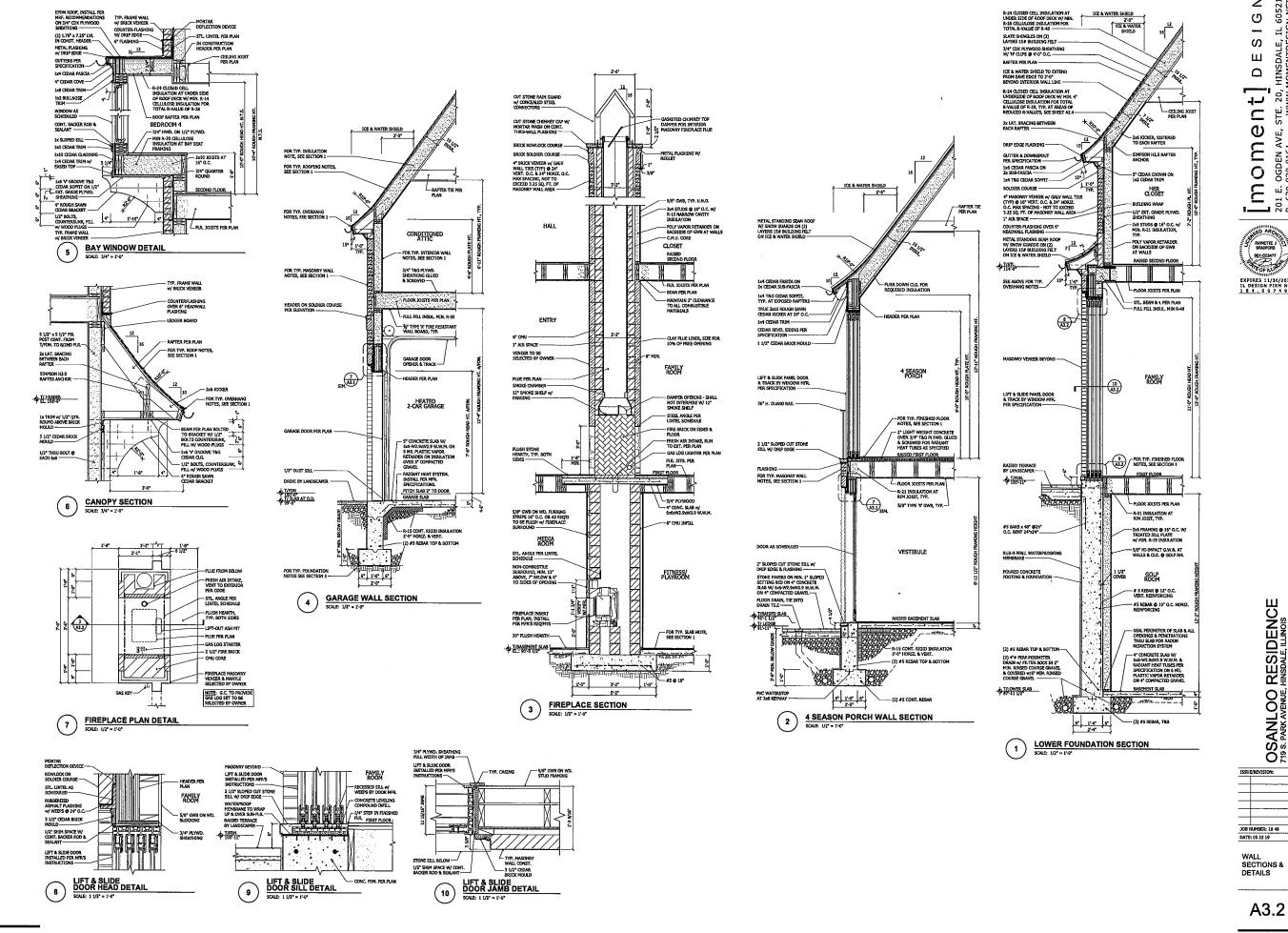
Attachment 1





12.0





A3.2

OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

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OGDEN AVE, 828 8161

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ERMIT & FEES: All permit and utility connection fees to be paid by Owner at actual cost. GC General Contractor) to be responsible for all other inspection-related bonding and floensing fees.

OTICE TO PROCEED: Prior to the execution of the work, the GC (General Contractor) / CM

RANCE REQUIREMENTS: Each contractor shall carry ample public liability insurance and unce to protect the Owner from any and ell ctalins under the Workmen's Compensation Act.

CLARIFICATIONS: <u>Do not scale drawings.</u> Use figured dimensions only. Contact Architect mane dister with any conflicting dimensions.

1.0 GENERAL REQUIREMENTS:

GENERAL CONDITIONS: The GCC shall comply with AIA Document A201-2017 General Conditions of the contract for construction. All work shall be executed in strict accordance with the building ordinance requirements and to the satisfaction of the Building Commissioner of the local Municipality. All trades shall be responsible for the delivery and unloading of their materials as the job site and the protection of the stane from all conditions as necessary. It shall be the duty and responsibility of such contractor and subconditation to arrange with other trades to both lab own who it may proceed without interruption and in conjunction with and in harmony with avery other trade.

he GC / CM shall also include all fencing, clean up and dumpsters.

PROJECT UTILITIES: Owner will pay incremental utility cost for usage only.

SUBSTITUTIONS: VALUE ANALYSIS AND SUBSTITUTIONS: After the contract has been executed, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the conditions systion in the General Requirement.

ents Contractor will provide the same warranty for substitution that of the originally specified

nate installation of the accepted substitute making such changes as may be required for to be complete in all respects.

(UALITY STANDARDS: These conditions are a part of the specifications and apply to the work of the Bulker and all sub-contractors. All materials and futures throughout shell be of first quality. In sease of inconsistency within the contract documents, the CCF OH is to not fye harchitect mittediately. The higher quality or greater quantity of work shall be provided in accordance with the conflicted interpretation. All committees and sub-contractors performing work install be qualified and preference of in intalliny, executing, or assembling work similar in material, design, and overnot to that discussed for this Project, wherea work has resulted in construction with an second of successful in-

CLOSEOUT PROCEDURES: The GC / CM shall guarantee all work under this contract. Guarantee shall be for a period of one year from occupancy or final payment of contract, whichever shall occur fest. Should any petit of develop during all period of guarantee due to improyer workmanship the defect of the branche due to finally environments the defect of the branche good by the GC / CM without expense to the Owner. Additional numericular's generated warrantee are listed within subrecepter sections.

CLEANING: The GC / CM will leave the building clean at completion. The entire house shall be horoughly cleaned and professional window cleaners shall clean all windows or or to occurance.

3.0 CONCRETE:

This Commotor will provide all labor and material to install the lootings, piers, foundations, floor slabs, porches, pads and walks, as shown on the building plans and as required by code. Concrete shall comply with the ASTAM "Standards Specialisation for Ready Mix Connector." All Codings and pads shown on the public plans and as experienced to the pads of the pad

RIMETER DRAWN PIPE: A performed HDPE exterior draingipe system will be installed at the menter of the busings flootings with the exterior pipe, terminaling into 15° aump pibli located on the pipe of the pipe

NTERIOR DRAIN PIPE: A periorated HDPE interior drain-tipe system will be installed at the interior of the building footings with the interior pipe terminating into separate sums prior located on the plans. Provided each of which an interior fright-low ump pit system with bushery budopy with emote allown. It is also to see "dechange run out to grate as a locate and ordinances mandate. All perimeter Jacks to the overed by operating film enables doubted and the provided dishapped course.

AREA WELLS: Area wells to be constructed from poured concrete per plans. All well areas to be cleaned of debris and filled with no less than 6° of a gravel base before commencing backfilling of the gundation and to be firth in a condition that will allow water to flow into the well drains, install two (2) 4° PVC drains with grate covers, one flush with gravel, one 3° highes. Orbin to perimeter drain.

All wholow wells shall have covers or guardina's as indicated on plans. Emergency escape and escape openings to have covers that are releasable or removable from the basks without the use of a covery, od, or force gards than that without is required for removable oversion of the except and rescue opening por HIC RSIO.4. Cancer are to be made of veletied steel. Cancertas to be min of "relight massacted from adjoint or gives with which hinged egipses gain per glars. All model to be primed and it.

Window wells with a depth greater than 44 inches shall have an egress ladder that will be useable when the window is in it fully open position with rungs at least 12" wide, at least 3" from the wall and spaced no more than 1,0" on center vertically for this full helping of the window will. Bot it adder to well

GARAGE FLOOR: Garage concrete floor to consist of 5 or more inches of compacted gravel covered with continuous 6 mill visqueen vapor resenter and 5 inches of concrete reinforced with 6x6x147.9x147.9 wW.F. and courter joint at a machinum 10-7 specing. Garage concrete floor to have tower finish. Provide positive drainage as indicated.

SOLATION JOINTS: Install joint-filer strips of junctions with slabs-on-grade and vertical surfaces, with a column bedestals, foundation walls, grade beams, and other locations, as indicated.

4.0 MASONRY:

his Contractor will furnish all labor and material to complete the masonry work as shown on the utding plans. Mason to build a 4" x 4" sample panel for each type of exposed unit masonry.

MISC, STEEL Af lintels, angles, channels, etc. necessary to the installation of the masonny will be hundhold and installed by this Contractor. Paint exposed portions of steel lintels to match surrounding masoney. Steel findes per finitel schedule. Provide Reshing and weeps 24° O.C. at all steel intels. All patients steel to be advanted.

EXTERIOR MASONRY: Exterior face brick will be installed per plans & details. All veneer will be ited to be building framing with galvarized metal masonry tee installed per building code. Proper ranging will be held and windown to allow for shrinkage. All windows will be covered with plastic gargin will be held and windown to allow for shrinkage. All windows will be covered with plastic gargin visit before and will be supported by the cleaned and all debris removed at the completion free [bt. All excess wates material to be hateful off six.]

IEPLACES OR INTERIOR MASONRY: Will be as per plan details. All freplaces will have a cast. The Insulation Contractor will meet all standards of this specification and will take muchman care to passived dumper and clean out and be equipped with a pas log lighter and fresh air infalse. All eliminate any air inflatation in all seas and provide a continuous and thorough insulation job. Backer board what to be per jet, no Continuous provides and hearth dimensions per manties and local Municipality cleanance ordinates.

MORTARI: Color and joint tooling to be verified with Owner prior to construction. Keep wall cavides clean of motted droppings and meetable during construction. Provide continuous massury joint continuous massury joint selections. The provides of the provides motter continuous massury joint selections. Legal and the provides motter continuous de linear system or equil at base of wall certify. Provide motter net weep vorts or equal at 24° O.C. Color to match motter. Clean flashing and weep looks prior to installation.

SHOP DRAWINGS: This Contractor to submit shop drawings for all custom cut stone shapes to di Architect for review, prior to fabrication.

This Contractor will provide all steel beauss, columns, plates, shims, etc. as called for on the balling beautiful to the plates. The GC / CM will see but hardship and report and discopanary to the Ancherope for complete with requirements for installation tolerances. Verify the substrate is sound, dry, prooch, plans. The GC / CM will see but hardship and report any discopanary to the Ancherope for to conscious. All standards seed shall be factory prime. All coderior steel to be galavarized. CM, clift is purch metals obstayled cocurately. Remove burns at ease ease, will contract a seems configurately. Seems deliberations. Seems configurately. Seems deliberations.

Seems of the factor of the fac

STRUCTURAL STEEL: Verify elevations of conceile and misomy bearing surfaces and bostons of such or fock, bearing plates, and other embedienests. Proceed with installation only after unsatisfactory conditions have been corrected. Fliebi-ring's alseel bear memorisors plot or laborations. Set steel socurately in locations and to elevations included on plans. Set firming members shill be selected or piecel opportunisely after a candidated conceilors which have been designed, distalled and submitted for plote approximated to support at least 50% of the total allowable uniform load fisted in the AISC Manual's Uniform Load Constants for non-composite beams.

Recommendations.

The roofing Contractor is responsible for installing W.R. Grace (or & Waler Shield membrane from fiscal lines to 2-0" beyond the interfor fixe of 4 and 19-0" to each side of all valleys, and at other leads of the control of the

RAILINGS & BALLISTERS: Fabricate railings to comply with design, dimensions, and details indicated, (but not less than that required for supporting structural loads per local Municipal codes and definences). From curves by bending in light of produce uniform curvature, maintain cross sections and definences). From curves by bending in light of produce uniform curvature, maintain cross sections and definences). From curves by bending in light of produce uniform curvature, maintain cross sections show gustrals, fabricated from zinc, to be designed to be installed without penetrating itses with hooks of months throughout bend without carbon control and control in the control of the control

WELDED CONNECTIONS: Cope components at connections to provide close fit, or use fittings designed for the purpose. Well all around et connections, including all fittings. Connect members, which concealed membershale fasteres are affittings. Mirrima stee first fitting with a halb bil 1/4 'Unit Connection freshale fasteres are affittings. Mirrima stee fitting with a halb bil 1/4 'Unit Connection freshale fasteres are affittings. Mirrima stee fitting with a halb bil 1/4 'Unit Connection freshale fasteres and the following size I color characteristics: Thickness 38°. Length: 18° Specification:
All veiding shall be down in accordance with AWS 01.1 "Structural Welding Code - Siee" of the advanced and the structure of the structure of

6.0 WOOD:

SHEET METAL ROOFING: Sheet metal work to be 22-gauge zinc. Sheet metal roding of seam type per plan. Parals to be 15° wide or closest standard manufacturer dimension. Equally custom-space on the building plans. All farming umber will be per plan. All other training tumber will be left or dependent of the parals as required to align with edge of domest. GC to coordinate with Architect. Provide and plans are shown parals as required to align with edge of domest. GC to coordinate with Architect. Provide and the parals are required to align with edge of domest. GC to coordinate with Architect. Provide and the parals are required to align with edge of domest. GC to coordinate with Architect. Provide and the parals are required to the parals are required to align with required to the parals are required to the para

EXTRIOR TRIM & WOOD SIDNO: Typical horizontal siding to be 3.x 12 smooth-aswn Western Red Cedar Nevel siding with 10° exposure, gradu 8 or better. Install all wood siding in accordance with the manufacturer's written instructions. Protect membrane-roofing system from with the manufacturer's written instructions. Protect membrane-roofing system from damage and wear during remainder of construction period.

All wood trin, filezes, soffics and firshes on the building exterior to be painted or stained per Oxwers selection. All exterior word will be pre-stained or primed (8) six sides before installation, upon installation of trin, carpening-confractor to touch up exposed ends or surfaces. All exterior trin to when intered comments.

INTERIOR TRIM: All tim will be clear grade and all windows shall have stools and aprons. All Architectural interior tim joint is shall be bisout-joined, glued, nafed and hard sanded to minimize effects of shirtings. Defective doors and tim are to be bringly to the GC / Oth arterion so they may be replaced by the milwork applier. All relivore to be back primed before installation, All trim and wall intersections to be caulted with joint sealars.

CLOSETS: All shelving in closets to be per plans. Casing and baseboards to match adjacent roo

CABINETRY: Cabinetry is to be provided by Contractor with extent of cabinetry indicated on architectural anxion cabinetry drawing plans. Insultation will be by the Finish Carpenter. All cabine and shelves will be set up and objected at completion by installation Contractural. COUNTERS: Counters to be as per plan.

Solid surface counters: Provide solid surface counters (abricated in one piece with integral backsplash, unless otherwise noted.

For stone counters, see section 9.0 FINISHES.

For Metal Components refer to section 5.0 metals.

7.0 THERMAL & MOISTURE PROTECTION:

ROOF AND ATTIC: The underside of the root deck to be insulated with min. R-24 closed cell polywethane foam insulation with min. R-25 spray-appeid cellulars insulation for total min. R-24 closed cell polywethane foam insulation with min. R-25 spray-appeid cellulars insulation for total min. R-24 closed cell sinsulation with min. R-24 spray-appeid cellulars insulation min. R-24 closed cell polywethane foam insulation with min. R-24 spray-appeid cellulars insulation for total min. R-24 closed cell polywethane foam for total min. R-25 spray-appeid cellulars insulation in R-28 spray-appeid cellulars insulation for total min. R-26 spray-appeid cellulars insulation for total min. R-26 closed cell polywethane foam for total min. R-26 spray-appeid cellulars insulation in R-28 spray-appeid cellulars insulatio

MECHANICAL SYSTEMS: Supply dusts in acids shall be insidered to a minimum of R-8. Return dusts in acids shall be insidered in a minimum of R-8. Return dusts in acids shall be insidered in a minimum of R-8. All mechanical piping capable of carrying fluids above 100 Segrees ePrimerible and but were primery with ble insidered with a manimum behave it is a minimum of R-8. All piping capable of carrying fluids above 100 Segrees ePrimerible and but were primery with ble insidered with a manimum behave it is a minimum of R-8. All piping for hot water re-circulating system immunifications, as a manufacture, is to install all windows and French doors. Install windows level, plants, square, true to to be filled with polycel foam or liberglass bast insulation.

So the size with polycontent in weathers the weathers are sent and any other periods and any other periods and any other periods and any other periods in the sent and any other periods and any other p

openings and health dimensions per manitel and local municipanty character and window sills will be 2 J2?

SILLS 4 CAPS: All door sits will be 2 J2? smooth cut finestone and window sills will be 2 J2?

MATERPROOFING SYSTEM: GC to furnish and install a complete waterproofing assembly immooth cut finestone caps, sloped to shed water with drip edges, thru well floathing and weep holes are consistent of the complete waterproofing assembly industry and continued to the discontance of the control of th

All components shall be obtained as a single-source from the membrane manufacturer to ensure tool system compatibility and integrity. Manufacturer: American Hydrotech, Inc., 303 East Ohio Street, Chicago, Illinds 60011-3318, 800-877-6125 or 312-337-4998, Web Site: www.hydrotechusa.com

The waterproofing contractor shall examine all surfaces to receive the waterproofing assembly to with [8] is acceptable and proper for the application of the membrane. The waterproofing contractor shall not proceed with the installation of the waterproofing membrane assembly until at dock defects shall not be not controlled. It surfaces shall be dry, smooth, free of depressions, voids, protuctions, clean and the of usarpoved curing compounds, from receives agents and other surface consamination.

ROOFING: This Contractor will furnish all materials and perform all labor necessary to complete the roofing as shown on the building plans.

Contractor to Install (2) layers of 154 asphalt-saturated felt underlayment, compliant with ASTM D226, and Installed per manufacturer's written recommandations. The Roofing Contractor will be responsible for seeling and flashing all most penetrations as per the roofing manufacturer's written recommendation.

Structural and pign protection shall be installed in accordance with the provisions of the IRC P2503-SLATE SHINGLES: Side ehigiges to be hard, dense, sound rock, machine guaranteed for Side to be installed per AISC standard beam botted connections. Sease pities to be welded to connections. Connections connections are structural immenders shall be botted using a minimum of 344 similar min

partial is partitions with offset to accommodate plumbing, tub / whitipool areas and kitchen islands.
EPDM MEMBRANE ROOFING: Provide fully-achieved roofing membrane and base Raxings that remain writertight. All rofting materials to be compacible with one arother and part of a complete system as recommonded by manufaction of roofing membrane. Provide proteined roof insulations. Provide proteined roof insulations. Provide proteined roof insulations and referenced standards, selected from manufacturer's standard states and of slepe and roofs proteined standards, selected from manufacturer's standard states and of slepe and roofs proteined.

GUITERS AND DOWN SPOLITS: This Contractor will provide and install 5' standard half round zing guiters and 3' round downspours as shown on the plans. At walks, firthes, prothes, and patios provide clay both and as other nor visible areas provide one hat fereze proof connections leading to calleder drains discharging to bublishers at a min. of 10°-5' from building or as local Municipal codes and ordinance mandate. Downspous terminations to by Landscaper.

Verify that all surfaces are ready to receive sealant work. Clean and prime all joints that are to receive sealants as per manufacturer's recommendations. Remove loose materials and foreign

Apply sealants within recommended application temperature ranges. Install sealants which are free of air pockes, foreign embedded marter, ridges, and sags. Tool joints concave unless noted otherwise. Clean work and adjacent solided surfaces. Repair or replace defaced or disfigured finishes caused by this work. Protect sealants until clued.

8.0 OPENINGS:

n. GARAGE DOORS: The gazage doors will be per exertor elevations, fabricated from Ceder and
provided a installed by GC / CM. Keypad operators to be provided at each door. Each door to be
equipped with "Chamberlain". Ult Master door operator with two remote control units provided for
each door.

A mission as entirection because in the alternium deal used visidous by Tobbe Windows & Boost all windows and the entire deal used in the second of the seco

Adjust operating seasins and vertilators, screens, hardware, and accessories for a light fit at contact. at hot water circulating pump. If required for proper operations provide circulating pump(s) for pinhs and versiber stripping for smooth operation and versiberight dosure. Lubricate hardware and recirculation system.

Protect window surfaces from contact with contaminating substances resulting from construction operations. In addition, monitor window surfaces adjacent to and below exterior concrete and mesourly surfaces during construction for presence of first, sum, alkalies deposits, satish, or other contaminants. If contaminating substances do contact window surfaces, remove contaminants immediately accordant on manufactured's written resourced window surfaces.

STEEL WINDOWS AND DOORS: Fabricate sted windows to comply with SWII standards. Include a SEWER, WATER & STORM SYSTEM: Install required water service with B-Box shut off from the complete system for assembly of components and anchorage of window units. Munifest to be true.

Windows in the standard system for severe pipe to the sever main per Munifest code requirements, Provide winder 61 terms under code and wested to permitted frame. Windows shall be storted, coordinate of the severe pipe to the sever main per Munifest code requirements, Provide officed file munifest to permitted frame. Windows standard severe pipe to the sever main per Munifest code requirements, Provide on control and western, All facilities and control of the severe main per Munifest pide code requirements, Provide on color and western, All facilities and extended permitted frames. One munifest pide of the severe pide to the severe main per Munifest wild receive in the total buildings, Install severe pipe to the severe main per Munifest which were color and to the total pide of the severe pide to the severe main per Munifest work of the color of the severe pide to the severe main per Munifest work of the color of the severe pide to the severe main per Munifest wild receive in the total pide of the severe pide to the severe main per Munifest wild receive in the total buildings, Install severe pide to the severe main per Munifest wild receive in the total pide of the severe pide to the severe main per Munifest wild receive in the total pide of the severe pide of the severe pide to the severe main per Munifest wild receive in the total pide of the severe pide of the severe pide to the severe pide to the severe pide to the severe pide of the severe pide to the severe

General Note for section 8.0 OPENINGS: Mis-installed items or un-verified finishes will be the sol

9.0 FINISHES:

Set stone to comply with requirements indicated on the drawings. Insist anchore, supports, fastions and other attachments necessary to sociate stone in place. Shin and adjust anchore, supports, and accessories to set stone accurately in locations indicated, with uniform joints of standard sites and with edges, joints, supports, supports, and the provisions of the IRC ALSOL. All contools intideze and ethicates and ethic

PAINTING: This Contractor will furnish all labor and materials to execute the painting required for the project as follows:

Protect work of other trades, whether being painted or not, against damage from painting. Correct damage by cleaning, repaining or replacing, and repainting as approved by Architect.

EXTERIOR PAINTING: Apply one (1) coat of exterior solid color stain primer before trim is installed ask (6) sides and one (1) exterior final field finish coat of solid color stain to the exterior woodwork at completion. Garage overhead doors, fabricated in wood, will receive one (1) cost of exterior solid color stain primer and one (1) exterior final field finish cost of solid color stain. Garage walls and ceilings will receive one (1) cost of lywall primer and one (1) cost of faiter firitish paint. Exposed structural steel within garages will receive one (1) cost of finish paint.

Exposed steel limtels to be painted to match edjacent mesonry.

TERIOR PAINTING: Interior woodwork will receive one (1) coat of paint primer and two (2) coats enamed finish coat or one (1) coat of stain and two (2) firsh coats of polyurethane sealer. The GC all provide one (1) coat of pre-stain conditioner as necessary to provide a uniform color at all sheed areas. GC will puny all real fortes and hand-send between coats.

sement. Structural steel and steel window framas will receive linish paint to cover thoroughly, neral Contractor to verify any additional costs for multiple color selections in the bid package. titional pricing is noted it is assumed Owner may select any number of color selections, MISCELLANEOUS FINISH NOTES:

GC / CM to provide and install all joint sealants per section 7.0 THERMAL & MOISTURE PROTECTION.

All dissimilar floor finishes to be flush and level with each other on each level.

10.0 SPECIALTIES:

MIRRORS AND SHOWER DOORS: The GC / CM wid provide and install milrors per Owner, Show toors shall be tempered frameless plass with hardware selection per Owner.

11.0 EQUIPMENT:

APPLIANCES: All appliances to be selected by Owner and installed by GC / CM. GC / CM to verificantly and utility requirements for appliances with Owner and or kitchen /cabinetry drawlings. GOLF SIMULATOR: GC / CM to coordinate with Owner-provided golf simulator to provide finish space ready for simulator installation by Owners contractor.

SECURITY, SOUND, INTERCOM, TELEPHONE and TELEVISON SYSTEMS: This Convactor to provide an allowance to provide and install a complete security, sound, intercom, telephone, and television which belows system. This Continuous is to meet with the Owner, prior to submission of bit to varily the oxferc of this system and specific Owner requirements. GC / CM to provide a detailed breakdown of all systems provided all disting, including name of namefactures.

14.0 CONVEYING SYSTEMS:

/AITER: This Contractor will furnish all labor and material to provide a complete installation of bweiter as shown on plans. All dumbwaiter options to be selected by Owner prior to

22.0 PLUMBING:

PLUMBING: This Contractor will furnish and install all plumbing materials and labor required for the completion of the job as per building plans, librois State Plumbing Code, and local municipal buildin codes. Wester service pine that to installed 6:70 blook grade infinition. Water supply and distribution lines shall be installed in accordance with the provisions of the IRC P2901.

HOT WATER RE-CIRCULATING SYSTEM: Install complete hit water system with appropriately size 60% efficient Quick recovery Water Haterier In series with direct verting and deducated graftly. The Contractor will acquasts to the elevations shown on the plan. If firm bearing soil of 3,000 by s.t. in criticalizing return lines sized for which plause with critical and should be shown and and make the plane or a striker.

STEAM UNIT: Provide Mr. Steam generator unit with sure-flush and Hampophus time & temperature controls. Verify with Owner other optomal features prior to ordering. Steam sheld, nozer's & smarkbus controller to be installed by Userade Phumber. Unit to be sized by steam unit manufacturer. Alternate units to be reviewed & approved by Architect in advance.

GC to coordinate correctly-sized circuit for the steam unit and disconnect within sight, in compliance with the 2005 National Electric Code and the 2006 International Residential Code.

RADON REDUCTION SYSTEM: Install two (2) active sub-slab depressurization systems with 1900 box installed within 100° of point of entry and pipe sized in accordance with the littins Radon Resistant Construction Act. Frun intelled pipe and exhaust thru not in contrarance with local codes and conformace. Walls enclosing years pipes shall be constructed with 2x8 walls.

23.0 HEATING VENTILATING AND AIR CONDITIONING:

HEATING, COOLING AND SHEET METAL: This Contractor will provide all labor and materials to provide and install the InVAC work. Provide I realing and cooling online and design system capable of provide and install the InVAC work. Provide I realing and cooling online and design system capable of provide and of the InvAC work. Invalid and invalidation of the InvAC work of t

panies or other approved methods per RLIGG.1.1.

TILE: If the is indicated, this Contractor to provide and installs the floors set over nin, 3/9"
conventions board on floors and W comentitious boards on the walls with base as indicated on plant, 3/4 fled yeats and callege with set of the contractor is to provide and install as indicated on plant, 3/4 fled yeats and callege with set of the Contractor is to provide and install as indicated on plant, 3/4 fled yeats and callege with set of the Contractor is to provide and install as indicated on the contractor is only on the contractor in the contractor is only on the contractor in the contractor in the contractor is only on the contractor in the contractor in the contractor is only one of the contractor in make all regarded sententials for permitting of the contractor in the contra

selected by Owner.

CARPETS Selected by Owner and installed by this Contractor. Provide cupen pedding and physicod understayment for smooth transforms to afternise surfaces. At expet to be selected by Owner.

STORIES Provide and installed by this Contractor. Provide cupen pedding and physicod understayment for smooth transforms to afternise surfaces. At expet to be selected by Owner.

STORIES Provide and installed for such provided in the surface of contract to afternise surfaces over min. 37° comendation.

STORIES Provide and installed for such places to the provided formation of the surface of contract surfaces (but here is not included) and provided installed for such limited for such installed for such limited for such installed for such limited for such installed for such inst

FIREPLACES: Prefabricated fireplace units and flues to be provided and installed as per location shown on plans.

LAUNDRY ROOM COMBUSTION ARE: For combustion make up air install (2) 100 sq. %1 clear openings (3" min. dimension) within 12" of floor and ceiling in compliance with 02439 & NFPA 5.4.1. Low opening located in laundry room door, high opening located in wall between Laundry and Hall per plan.

RANGE HOODS: Each range hood shall be sized per manufacturer's recommendations and shall be capable of exhausting in excess of 400 cubic feet per minute (CFM) and furnished with an automatic make-up air damper integrated with the operation of the hood. The make-up air damper shall be automatically controlled to start and operate simultaneously with the exhaust system. WHOLE HOUSE VENTILATION SYSTEM: This contractor to provide & Install a whole house exhaust fan system. Ventilation system must be histalfed in compliance with the requirements of IECC Sections R403.5 incupit Rys03.5.1. Fan system to be Interlocked with the operation be power attic exhaust fans, Michankally ventifan through rool in compliance with manufacturer's written recommendations.

RADIANT HEAT SYSTEM: Radiont heat system for the floors to be boller-fied, sized, and designed by an illinois licensed Mechanical Engineer. Boller shall be direct vent, sealed combusion, premit; gas design, and shall be tested and design centified to the current AMSI 2CLI.3. Boller to have controls in compilance with the requirements of IECC Section R404.2 and R403.5. Radiant heat systems to to the ENU to be systems are for concrete and invisional in locations per grains. Each rodart heat zone to be connected to research and feedbased pumps. Radiant heat systems is to the ENU day selems are for concrete and invisional in locations per grains. Each rodart heat zone to be connected to separate and dedicated pumps. Radiant heat systems is to include the addition of propher gloval for feeze protection for active that have a potential for thereing.

SNOW MELT SYSTEM: This Contractor to provide and install a Class 1. Residential / Light Commetcial snow mick system as located on the plans. System to be designed by an illinois Mechanical Engineer and contraly with ECC 403. If he snow meth system is to include disclose the plant of the state of the pumps, controls and the addition of propylone glycol for feeze protection in areas that have a powerful for freeze protection.

26.0 ELECTRICAL:

ELECTRIC: This Contractor will furnish all labor and materials to complete the electrical work. This Contractor shall also include all switches, outlets, recessed light futures, cabinet lighting and any other non-decorative light flutures in his base contract. GC / CM to verify all flutures locations prior to installation with Owner.

All Light controls to be Lurron peddle style Moastro switches with LED Dimmers in locations shown on the prints. All controls are to be programmable and Smart house compatible with the Lutron Frome Networks system. This Contractor to meet with the owner prior to bid and provide an allowance for a complete Lurron Home Networks system.

Before electric rough in starts, the Owner, GC/CM, and the Electrical Contractor will make one trip through the house for the purpose of clasification, positioning of certain features and possible electrical changes. Localism of easing area and dring room features should be verified as well as fistures over just vanities and other critical locations.

All electric work will be done in compliance with the local Municipal building codes and The National Electric Code. All withing will be in thin-wall metal conduit. All appliances, sump pumps, computer localizing, etc. to be on separate circuits.

Electrical service to be grounded by an electrode encased by at least 2 in, of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact With the earth, consisting of a least 20 ft, of electrical conductive conductive conductive relational bars or note on tiess than 1/2" in diameter. Reinforcing bars shall be permitted to be bonded together by the usual steel de wites or other effective means.

ELECTRIC HEAT MATS: Provide a pre-formed electric floor warming met system manufacture fit the shape of the floor. Showers to be or separate circuit. The product thichness shall not see UPF and must be protected by a 25-year warmany. Provide Alvelan for sensing demonstar or Nufrete controls with Class A GPCI protections. Electrician or qualified contractor to whe floor warming system to power source. GENERATOR: This GC/CM to provide an allowance for a 32 kW natural gas-fired generator with unanter switch and smart switch to provide power to Owner-selected items. This Conteator is to meet with Owner, point or submission of lids, to verily interest which are to be connected to the generator. GC/CM to provide a detailed breakform of all systems provided at time of Bidding, including name of equipment manifacturer.

31.0 EARTHWORK;

Call J.U.L.E. for all utility locations before digging. Site clearing operations shall not commence unit temporary encision's sediment control and use protection at dip edge of sees which are to remain use in planc. Repair any diamaged grass areas created by construction traffic. Damaged grass areas to be replaced with soci. Edding planting areas damaged to be replaced with this materials. Keep size clean and maintained throughout socion of protect.

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Trils Contractor will strip black dirt from the building site and stockpile it in an approved location or where specified on the site plan to be used for finish grading. All unused material to be haufed off site at contractors experse.

and an assessment of the conditions will be made as to means by which foundations may be properly supported. Addition dental invented, it leng to environs additionately additionations shall be the size in responsibility of the Owner. Any consistive measures indicated with conditionations and the properties of the p

After foundations are in place, the footing drain the installed, the waits water-proofed and building department inspections made and approved, the Contractor will back fit for whith in 5 below sub-grac compact till to 86% density, even the area for construction, and hate away any excess mental Th Contractor will provide granular fit under all concrete stabs as indicated within Exterior Improvement Section 320, below. The Contractor is to prevent surface water and ground water from entering excavations. At fit material to be placed in max. If the and compacted to 95% density, under all structures, tables, steps, and payements. The Contractor will also, an this time, install a gravel temporary approach other to the building at the approximate focation of final drives. Coordinate this gravel temporary approach with or given of favor experiments stated in Excitor's Improvements Section 150.0. The artificial for the favor of the processing of the section of the sections confirming with the final size grading plans approved by the numbrigation.

32.0 EXTERIOR IMPROVEMENTS:

STONE PAVERS ON CONCRETE (WET-SET): Drives, walks, porches and pallos to consist of 3/4*
min. thick growt set stone pavers on 4" thick concrete referenced with futbwc2 5/42 9 W.W.F. placed
over 4 4" compacted stone base course consisting of CA downshot stone. The sub-grade is to be
proof-rolled and compacted to 95% density before the placement of the stone base course.

Form isolation and contraction joints and tool edges to line with faces perpendicular to surface plans concrete. Construct transverse joints at right englies to centraline, usess otherwise indicated. Form isolation joints or performed join-file stips abuding concrete curtes, structures, wakes and other fixed objects, and where indicated. Form isolation joints or performed joint-file strips abuding concrete curtes, structures, wakes and other fixed objects, and where indicated. Construct contraction joints for a depth equal to a least 4 or the concrete discherss. Tool edges of pervenent and joints in concrete the right foliation. Reveal tooling of deges after applying surface finishes. Elliminate tool marks on

Protect freshly placed concrete from premature drying and excessive cold or hot temperatures. Begin curling after finishing concrete but not before free water has disappeared from the concrete surface. Protect concrete from damage. Do not permit traffic on concrete and erect barricades to protect concrete from traffic for at least 14 days after placement.

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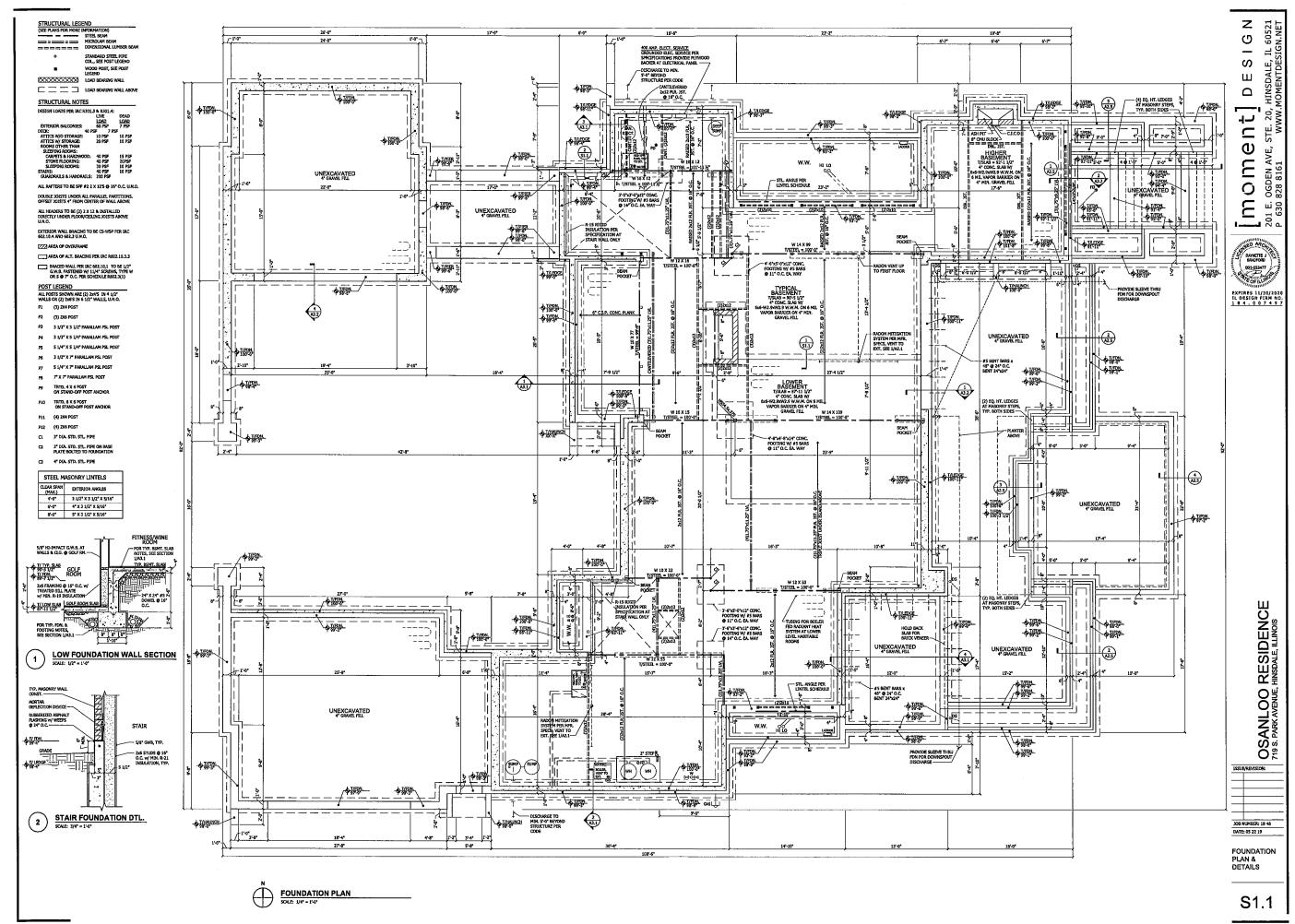


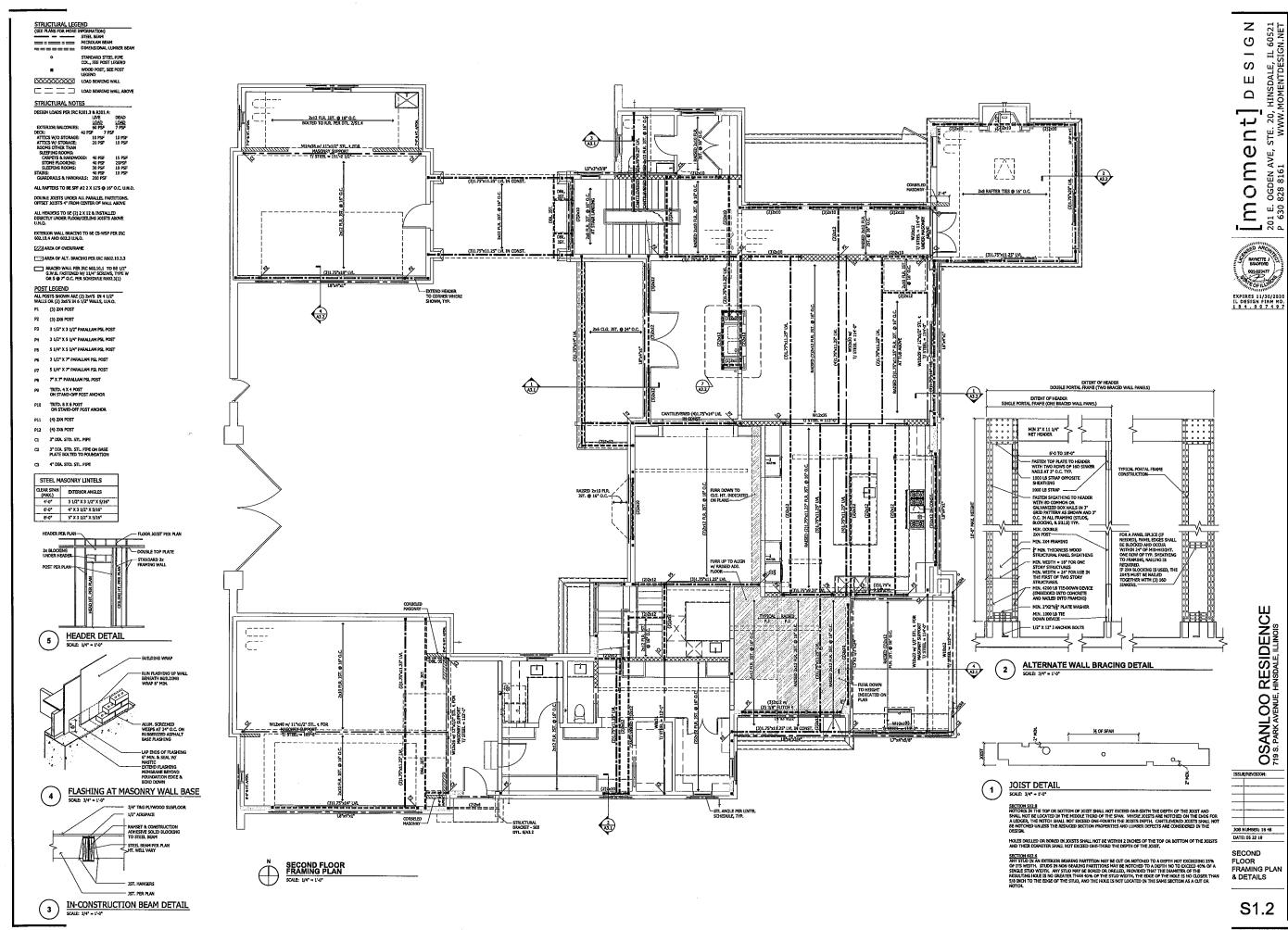
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SPECIFICATION

Attachment 1

A5.1





ALL RAFTERS TO BE SPF #2 2 X 12'S @ 16" O.C. U.N.O. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE U.N.O.

AREA OF ALT. BRACING PER IRC R602.10.3.3 BRACED WALL PER IRC 602.10,1 TO BE 1/2*
G.W.B. FASTENED W/ 11/4* SCREWS, TYPE W
OR S @ 7* O.C. PER SCHEDULE R602.3(1)

POST LEGEND

ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O.

P1 (3) 2X4 POST

P2 (3) 2X6 POST

P3 3 1/2" X 3 1/2" PARALLAM PSL POST

P4 3 1/2" X 5 1/4" PARALLAM PSL POST PS 5 1/4" X 5 1/4" PARALLAM PSI, POST

P7 5 1/4" X 7" PARALLAM PSL POST

P9 TRTD, 4 X 4 POST ON STAND-OFF POST ANCHOR

P11 (4) 2X4 POST

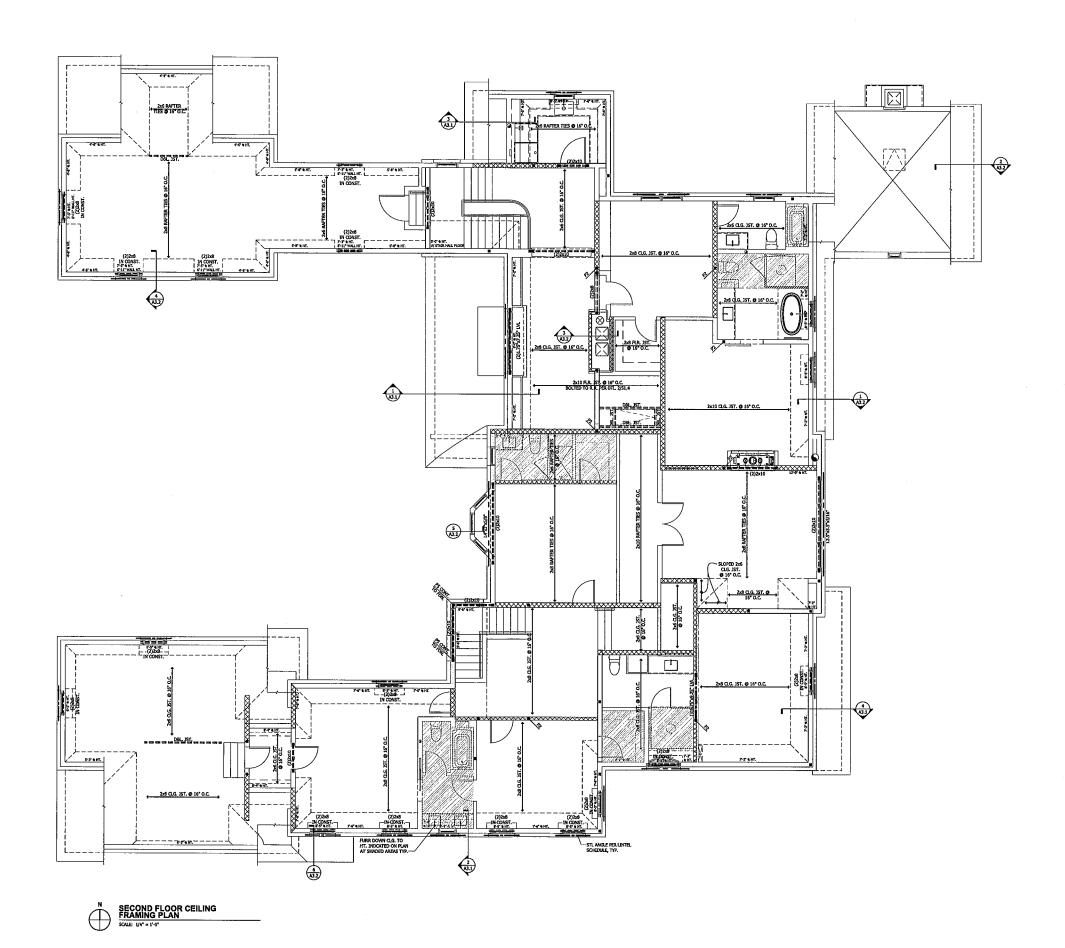
P12 (4) 2X6 POST

C1 3" DIA. STD. STL. PIPE

C2 3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION

C3 4" DEA. STD. STL. PIPE

STEEL MA	ASONRY LINTELS		
CLEAR SPAN (MAX.)	EXTERIOR ANGLES		
4'-0"	3 1/2" X 3 1/2" X 5/16"		
6'-0"	4" X 3 1/2" X 5/16"		
8"-0"	5° X 3 1/2° X 5/16"		



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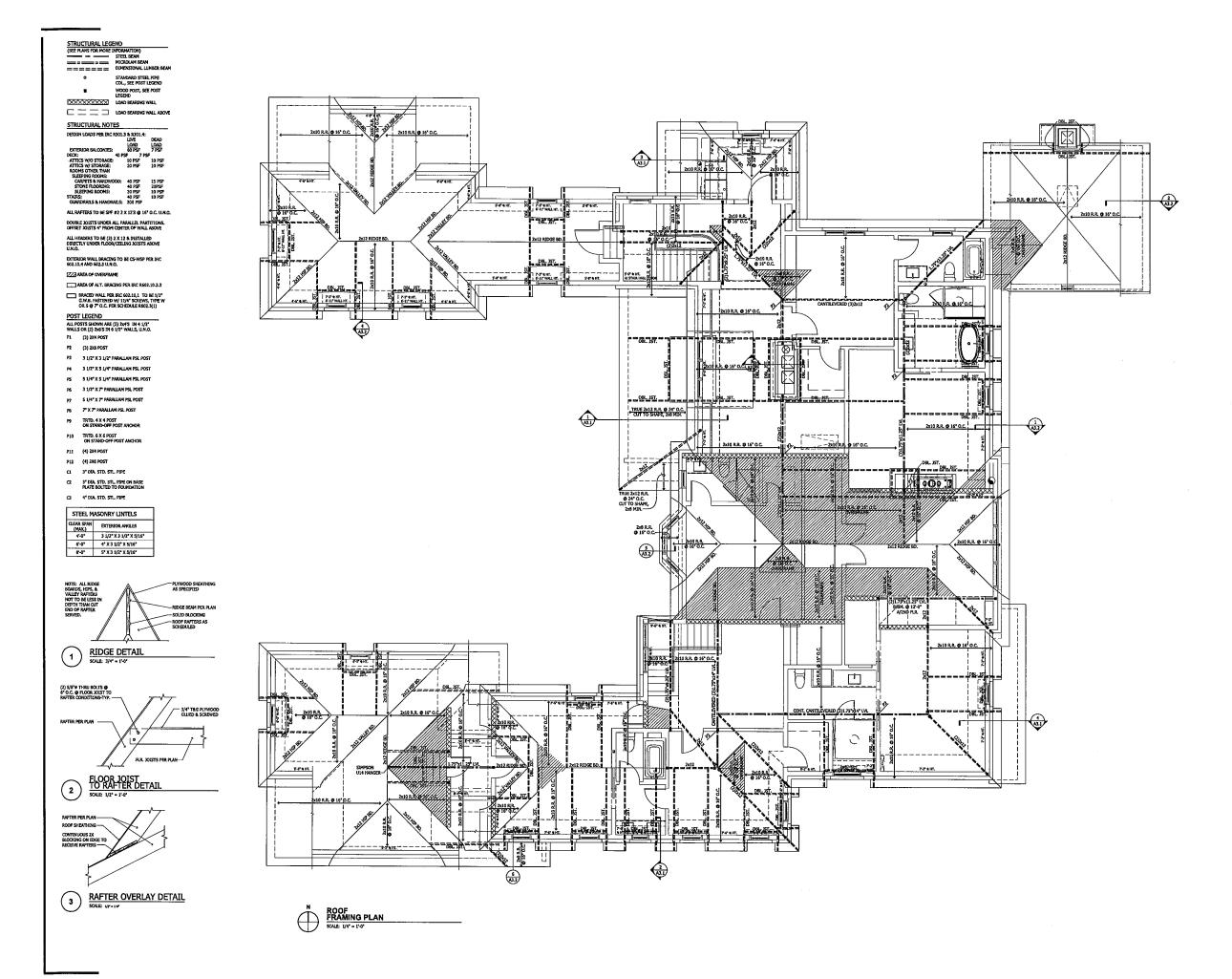


OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

JOB NUMBER: 18 48 DATE: 05 22 19 SECOND

FLOOR CEILING FRAMING PLAN

S1.3



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OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

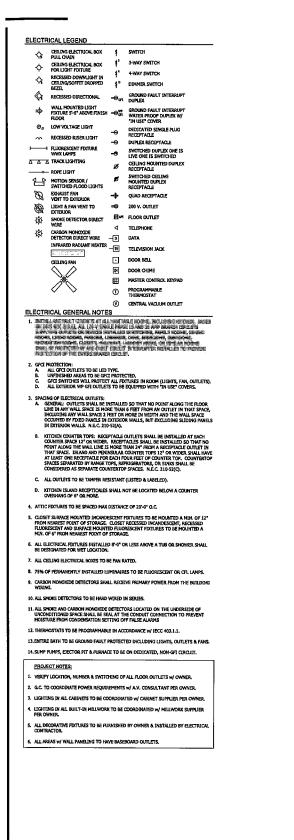
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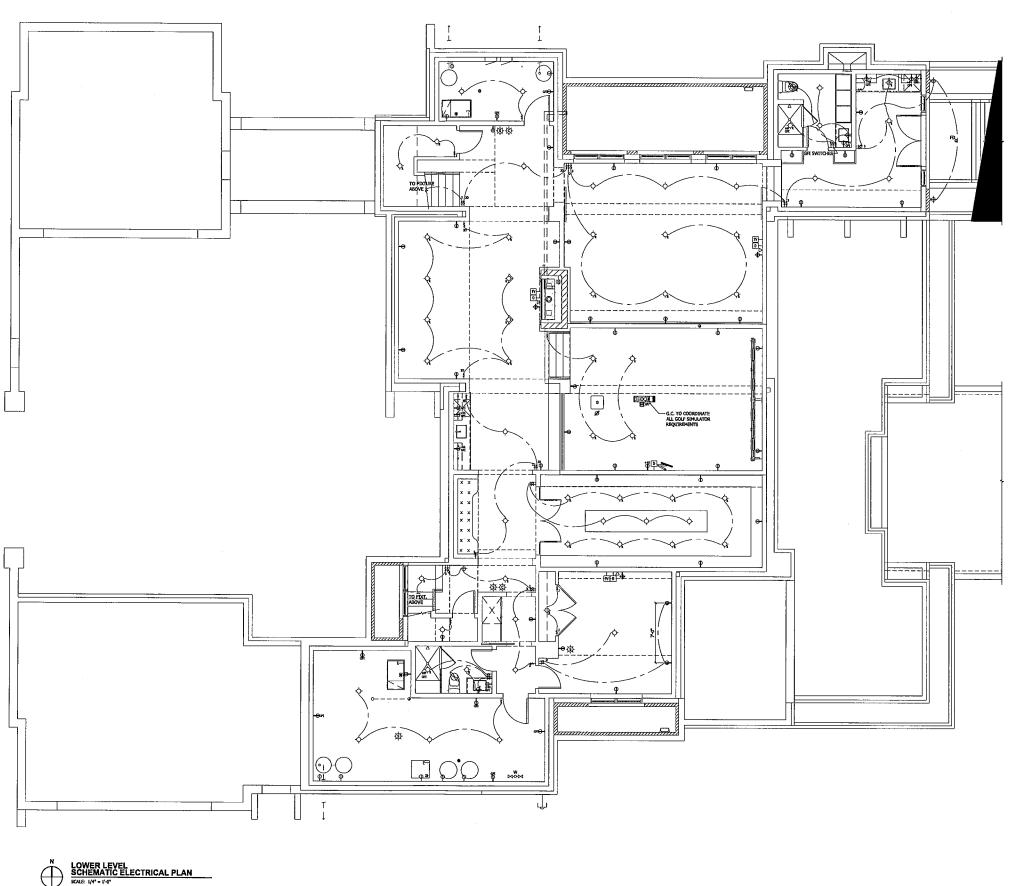
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DATE: 05 22 19

ROOF FRAMING PLAN & DETAILS

S1.4





OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

ISSUE/REVISION:

30B NUMBER: 18 48 DATE: 05 22 19

LOWER LEVEL SCHEMATIC ELECTRICAL PLAN

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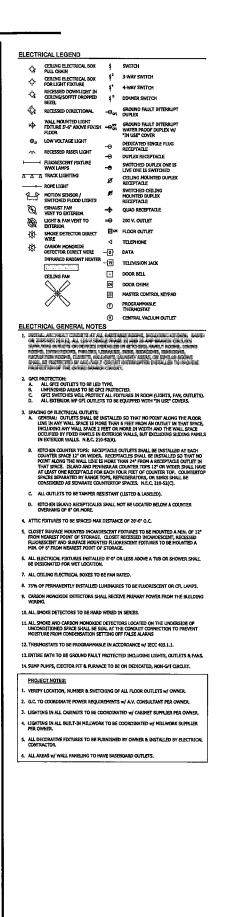
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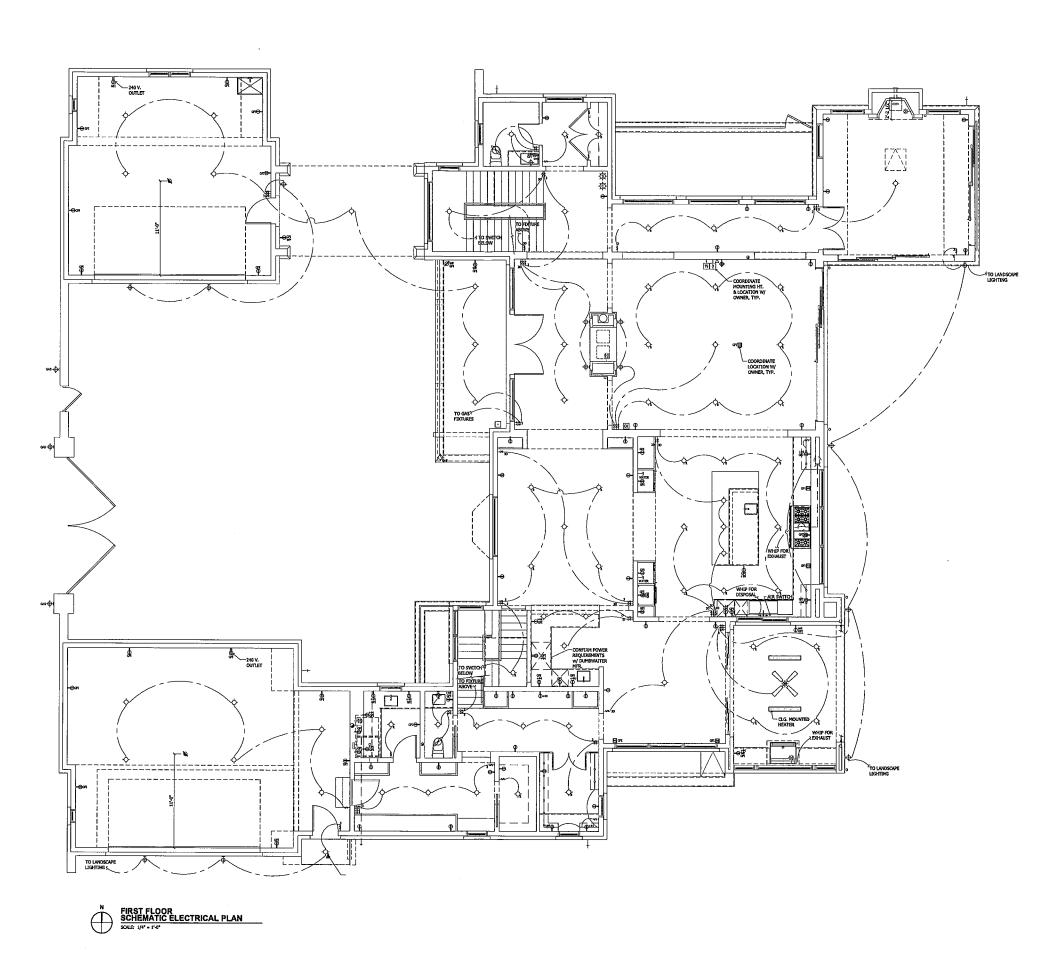
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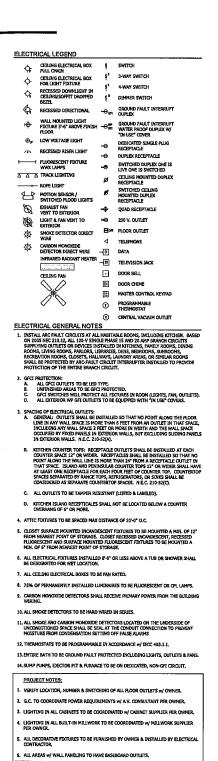
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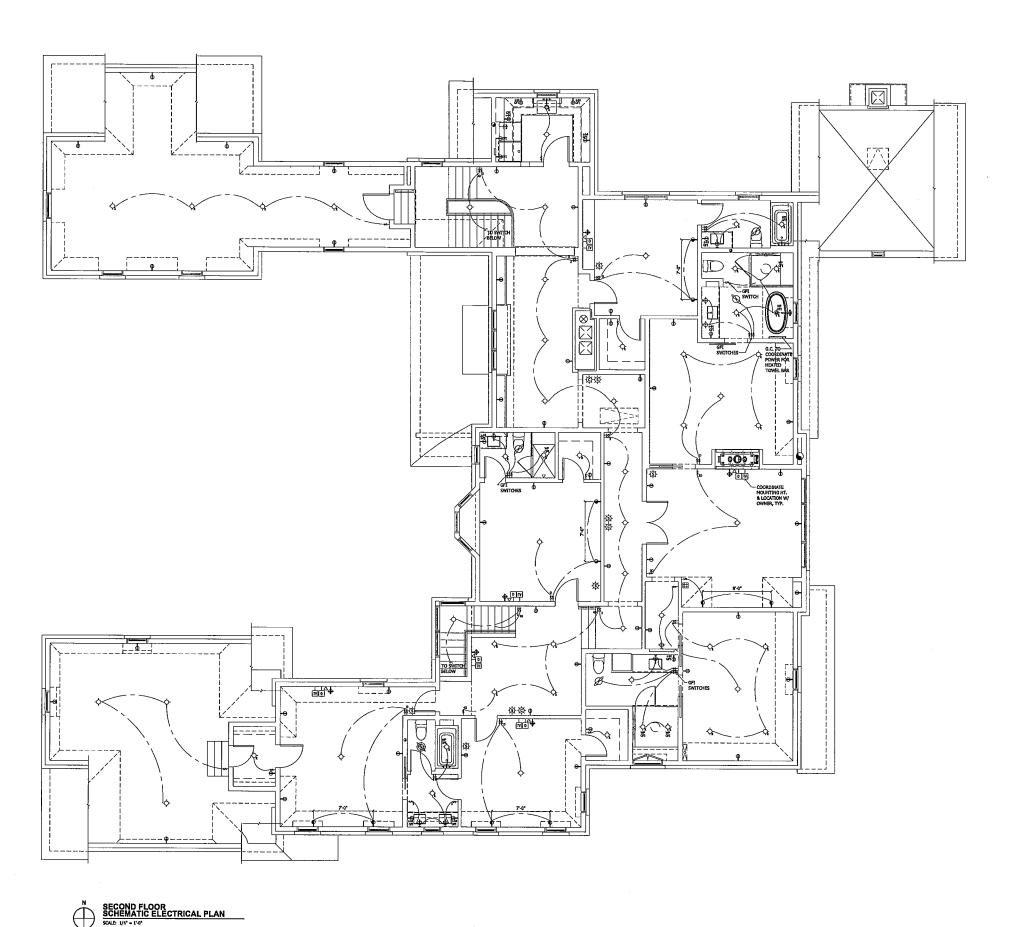
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OSANLOO RESIDENCE 719 S. PARK AVENUE, HINSDALE, ILLINOIS

FIRST FLOOR SCHEMATIC ELECTRICAL PLAN





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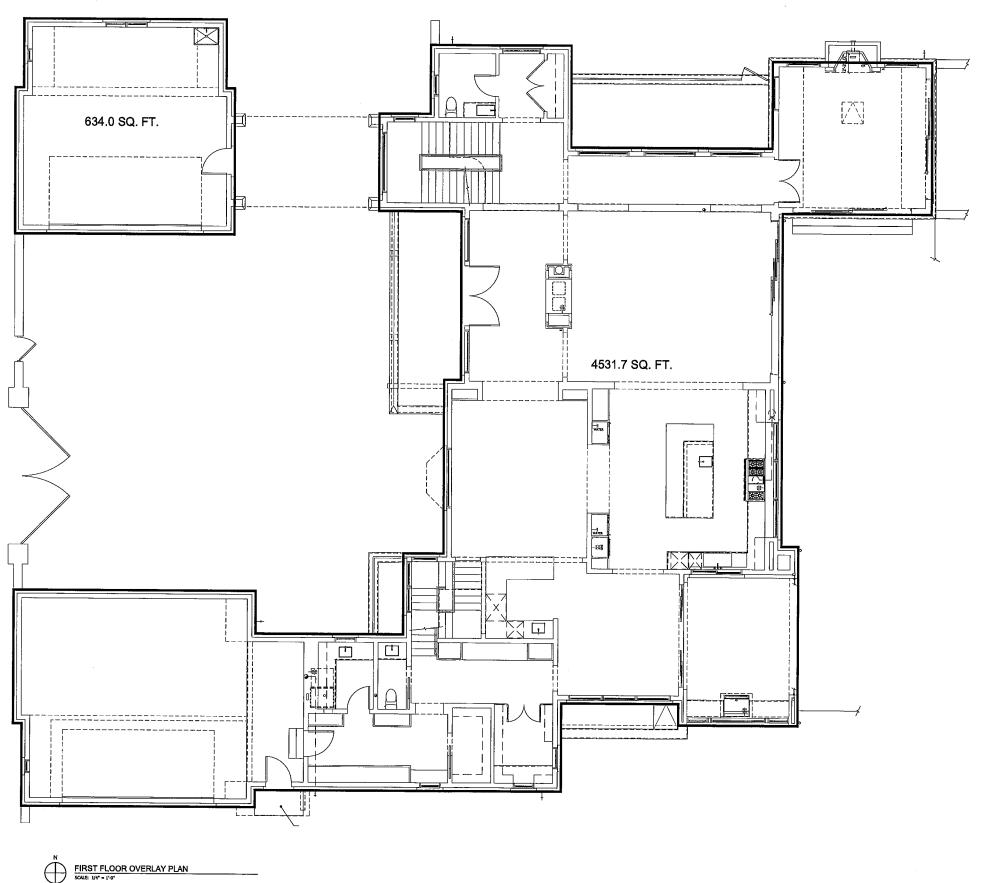
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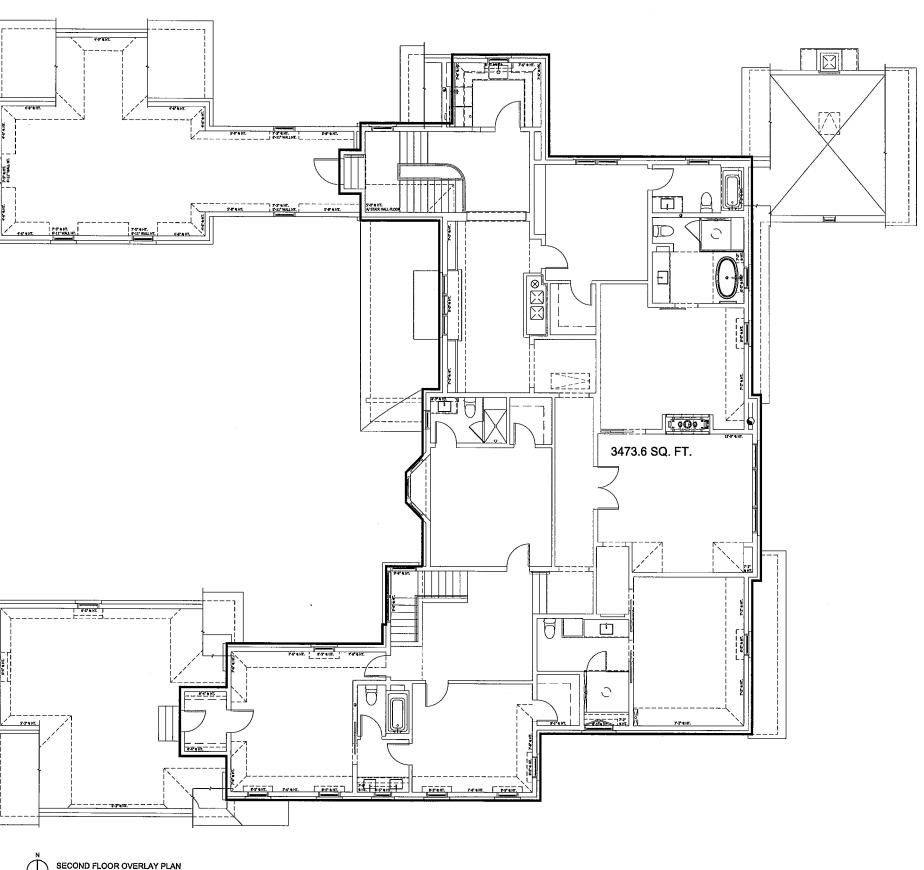
FIRST FLOOR OVERLAY PLAN

R1.1

Attachment 1



R1.2



SECOND FLOOR OVERLAY PLAN

SCALE: 1/4" = 1'-0"

OSANLOO RESIDENCE

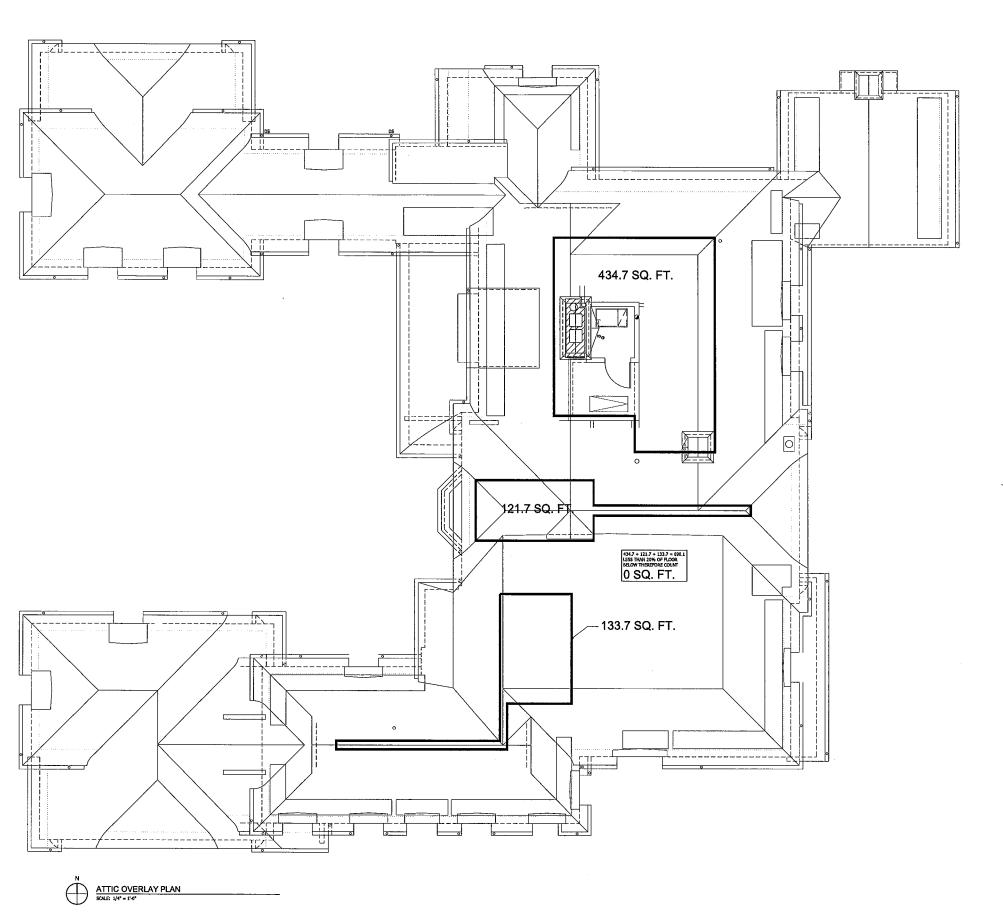
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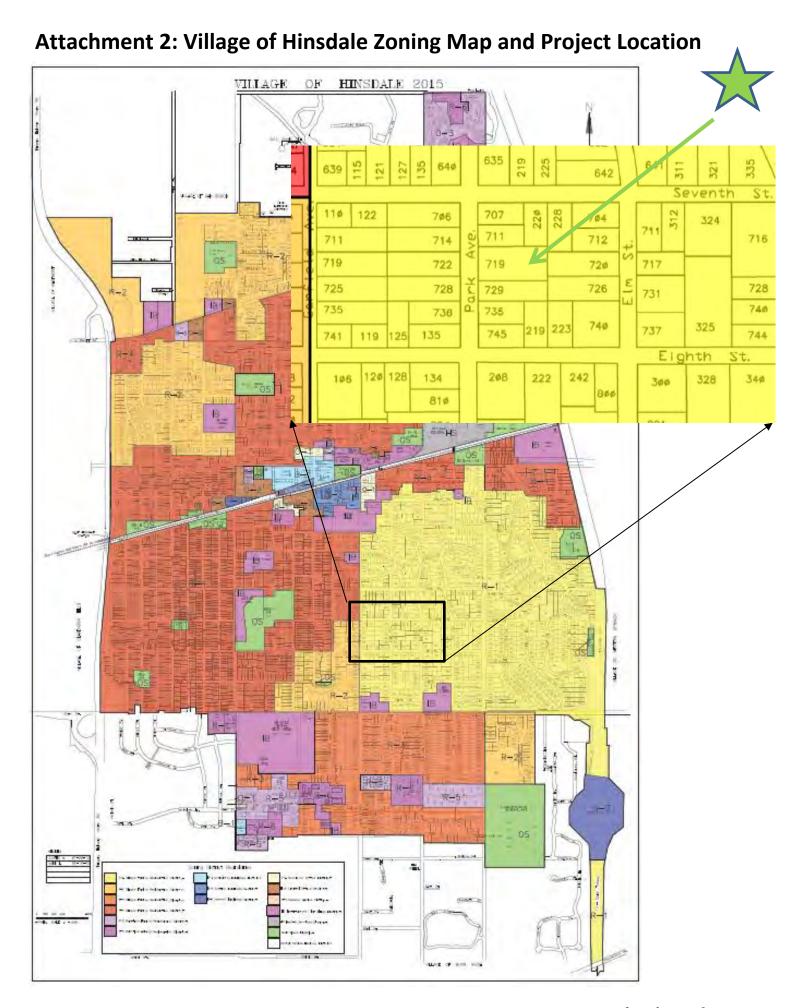
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DATE: 05 22 19 ATTIC OVERLAY PLAN

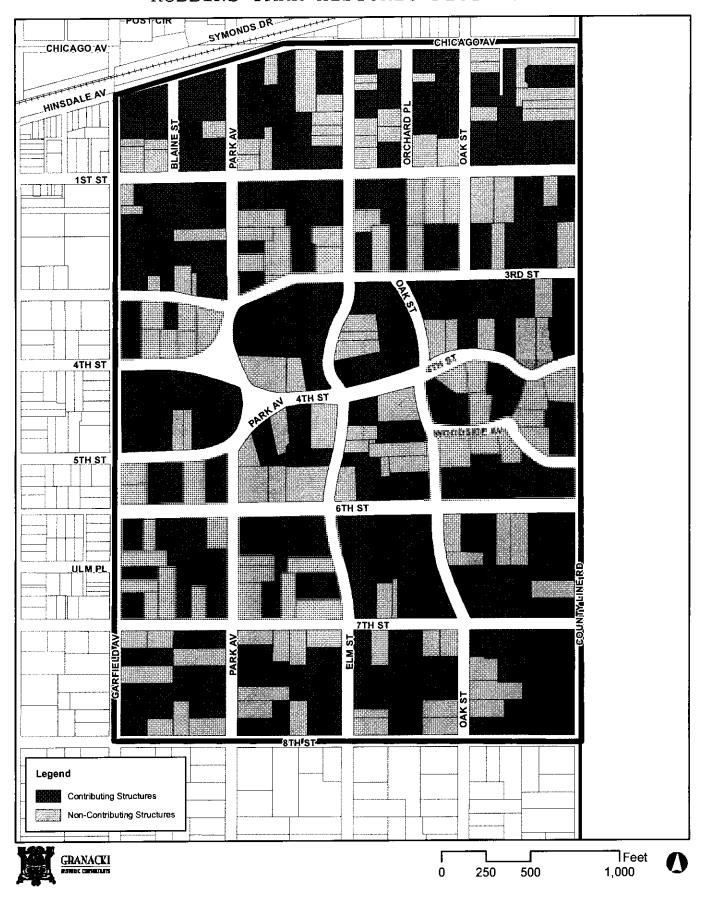
R1.3

Attachment 1





ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

NPS Form 10-900-a (8-86) OMB No. 1024-0018

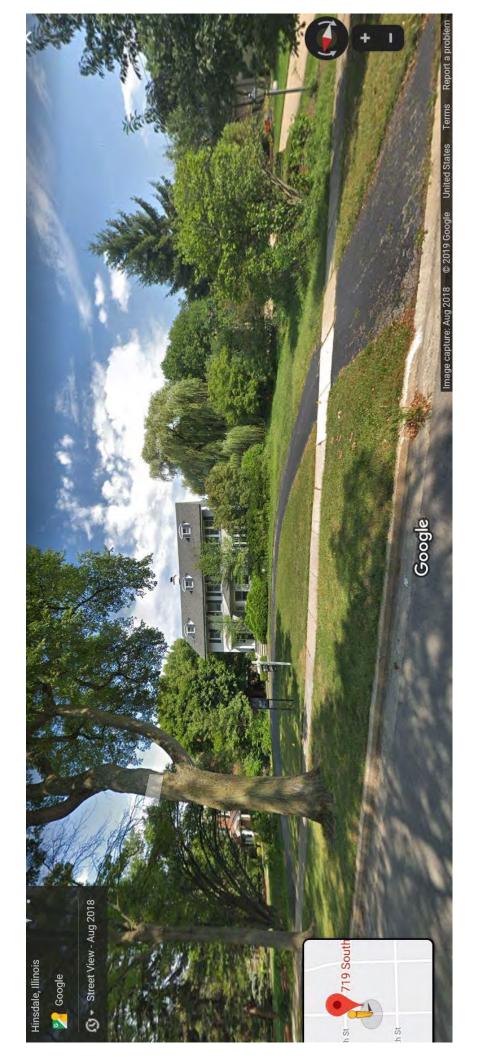
United States Department of the Interior National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 19

Robbins Park Historic District Hinsdale, DuPage County, IL

O STREET	SARCHGASS	DATE	HISTORIC NAME	on NC	SECONDARY STRUCTURES CORNC	ARCHIECT &		
11 S PARK	Colonial Revival	1924	Sailor, C. M. House	c	NC	Thorud, Bert M.		Detached garage
14 S PARK	Neo-Traditional (under construction)	2006- 08		NC	_			
19 S PARK	Craftsman	c. 1915		c	NC			Detached garage
22 S PARK	Colonial Revival	1941	Marshall, F. O. House	c	NC		Nelson, John	Detached garage
28 S PARK	Classical Revival	c. 1925	2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	С	NC			Detached garage
29 S PARK	Neo-Traditional	1994		NC	-	Wigori, Carl		
35 S PARK	Neo-Traditional	2005- 06		NC	NC			Detached garage
36 S PARK	Tudor Revival	1916	Jacks, Arthur House	С	c	Buckley, A. W. & Co.		Detached garage
10 E SEVENTH	No Style	1886		NC	-			
15 E SEVENTH	Neo-Traditional	2005- 06		NC	-			
21 E SEVENTH	French Eclectic	1924	Walker House	NC	C	Foltz & Brand	Braun & Loehman	Detached garage
22 E SEVENTH	No style (altered)	1951	Chiska House	NC	-	Cohen, Arthur S.		
27 E SEVENTH	French Eclectic	c. 1925		c	NC _.			Detached garage
35 E SEVENTH	French Eclectic	c. 1940	AT III A AND AND AND AND AND AND AND AND AND A	NC	NC			Detached garage
19 E SEVENTH	Colonial Revival Cottage	1956	1	c	-	Smithson, A. T.	Dressler, Paul	
20 E SEVENTH	No style	1927	Schmidt, R. F. House	NC	NC	Armstrong, Furst, and Tilton	Soltwisch, William & Son	Detached garage
25 E SEVENTH	Neo-Traditional	2002	10 - 10 - 10 - 10 - 10 - 10 - 10 - 10 -	NC	-	Estenssoro, Sergio G.	Barrett Builders	
28 E SEVENTH	Neo-Traditional	2002		NC	-			
11 E SEVENTH	Neo-Traditional	1995		NC	NC	Buss, Michael	Knight, Dave	Detached garage
12 E SEVENTH	Neo-Traditional	2002		NC	-	R.A.M	Key Brothers	
321 E SEVENTH	Colonial Revival Cottage	c. 1940	14.1000.00.00.00.00.00.00.00.00.00.00.00.0	c	-			







MEMORANDUM

DATE: September 4, 2019

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 332 E. Chicago Ave. – Application for Certificate of Appropriateness to Construct a New

House in the Robbins Park Historic District – Case HPC-07-2019

Summary

The Village of Hinsdale has received an application from Kathleen Hanley, requesting approval for a Certificate of Appropriateness to construct a new house in the Robbins Park Historic District. Per the Village Code, no permits shall be issued for new construction located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot on Chicago Avenue. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant house (attached). The subject property is located in the R-4 Single Family Residential District and borders the same to the north, south, east and west. Per the submitted plat of survey, it is a legal nonconforming lot that is approximately 9,018 SF in area. Bryan/Sebring is the project architect and builder for the proposed new 2-story residential home.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

Attachments:

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Robbins Park Historic District Map

Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)

Attachment 5 - 332 E. Chicago Ave. Aerial View

VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Addre Prope	Property under review:
ì.	GENERAL INFORMATION
1,	Applicants Name: KATHIPPN HAN LEY Address: 8 5. Oak st Hinsdale, 9, 10521 Telephone Number: (847) 977 - 09 82
2.	Owner of Record (if different from applicant):
	Telephone Number:
3.	Others involved in project (include, name, address and telephone number): Architect: DAN BLUAN, BRYANT ASSC. 433 5- Bryaner, Hinstalle 630 - 920 - 6177
	Attorney:
	Builder: BRYAN SEBLING SBLING TESIGN BUILD
	Engineer: Jon Green ERA ASSOCIATE, THE LOSYD 630-918-8010 35701 West, Avenue, #150, Warren Ville IL 6055
IJ. SITI	EINFORMATION 62)-393-ZISA
1.	Describe the existing conditions of the property: ABahalana House,
2	Property Designation:
	Listed on the National Register of Historic Places? YES YES NO
	Listed as a Local Designated Landmark? YESYESNO
	Located in a Designated Historic District? YESNO

New Single Family Dwelling to be house to be house to be housed by the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years? NoYes If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.	Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).
Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?	The current huise to be downished July 2019
Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?	New Single Family Dwelling to
another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years? NoYes If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village	be built in the property
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5. TABLE OF COMPLIANCE

2019

The following table is based on		g District.	
	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)			0.0.61
Lot Depth		9108	9018
Lot Width	· · · · · · · · · · · · · · · · · · ·	<u> </u>	138
Building Height	201	(10	1 60
Number of Stories	3/max)		17'6
Front Yard Setback	18 7	2	+
Corner Side Yard Setback			12'
Interior Side Yard Setback	7/6"/12'4"		The Jack the
Rear Yard Setback	2510		7181/231411
Maximum Floor Area Ratio (F.A.R.)*	3377 (MAX)		2487 (24.2
Maximum Total Building	0000	0.0	
Coverage*	2277	902	1580 (17.3° K
Maximum Total Lot	5464		
Coverage* Parking Requirements	7100		3149 (315)
during tredimenteritie			
Parking front yard setback			
Parking corner side yard setback			· · · · · · · · · · · · · · · · · · ·
Parking interior side yard setback	·		
Parking rear yard setback		· · · · · · · · · · · · · · · · · · ·	
Loading Requirements			
Accessory Structure			
nformation			
* Must pr Where any lack of compliance is shown application despite such lack of complia	ovide actual square , state the reason and exp		

Page 4 of 5

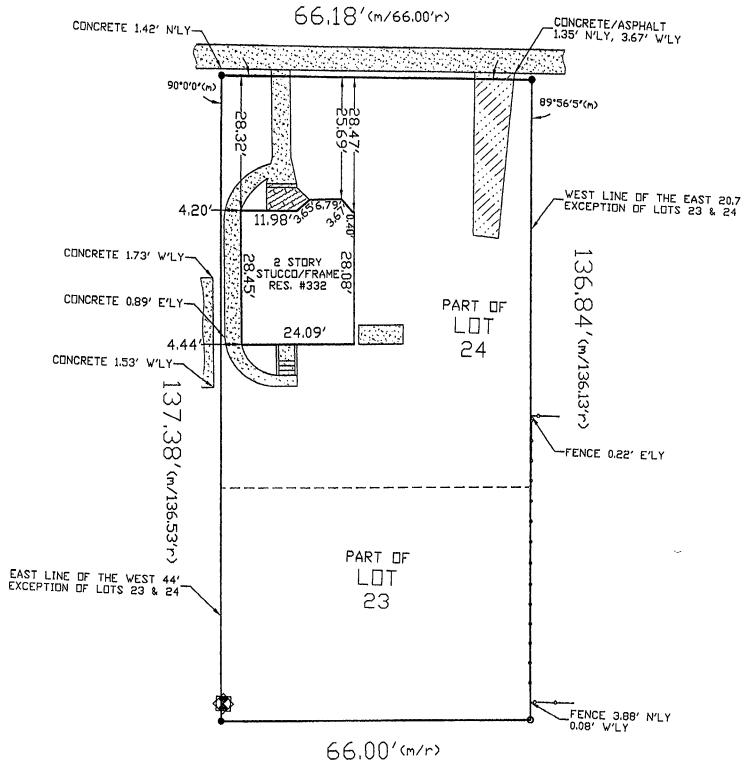
CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

Let Multur	
Signature of Applicant	Signature of Applicant
☐ CORPORATION	
Signature of Applicant's President	Signature of Applicant's Secretary
□ PARTNERSHIP	
Signature of Applicant	Signature of Applicant
Signature of Applicant	Signature of Applicant
LAND TRUST	OTHER
Signature	Signature of Authorized Officer
SUBSCRIBED AND SWORN to before me this 16 th day of 2019.	OFFICIAL SEAL SERGIO D FILICE NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES 06/27/22

LHILAGU AVENUE

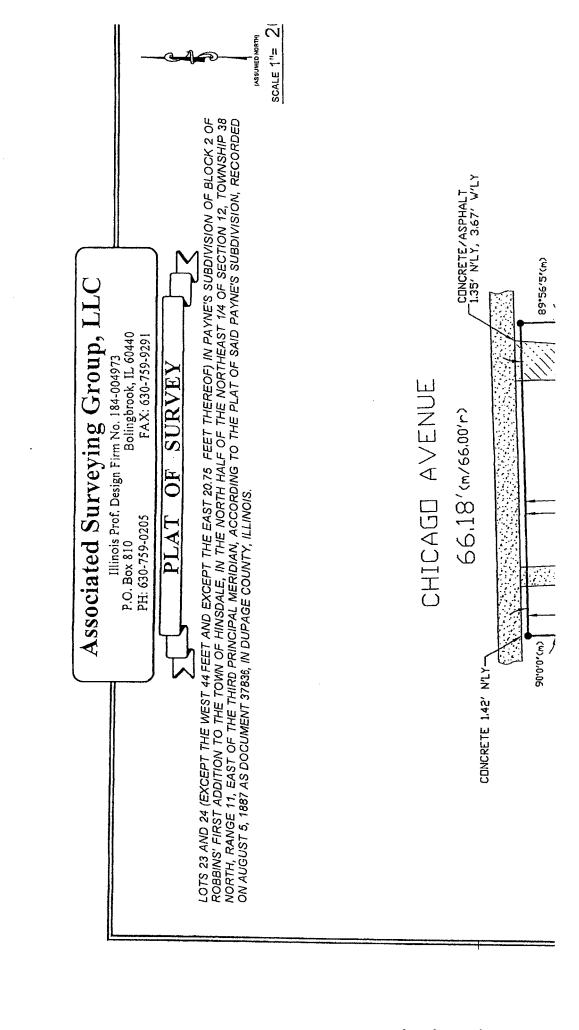




Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current im standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey. MAV

Attachment 1

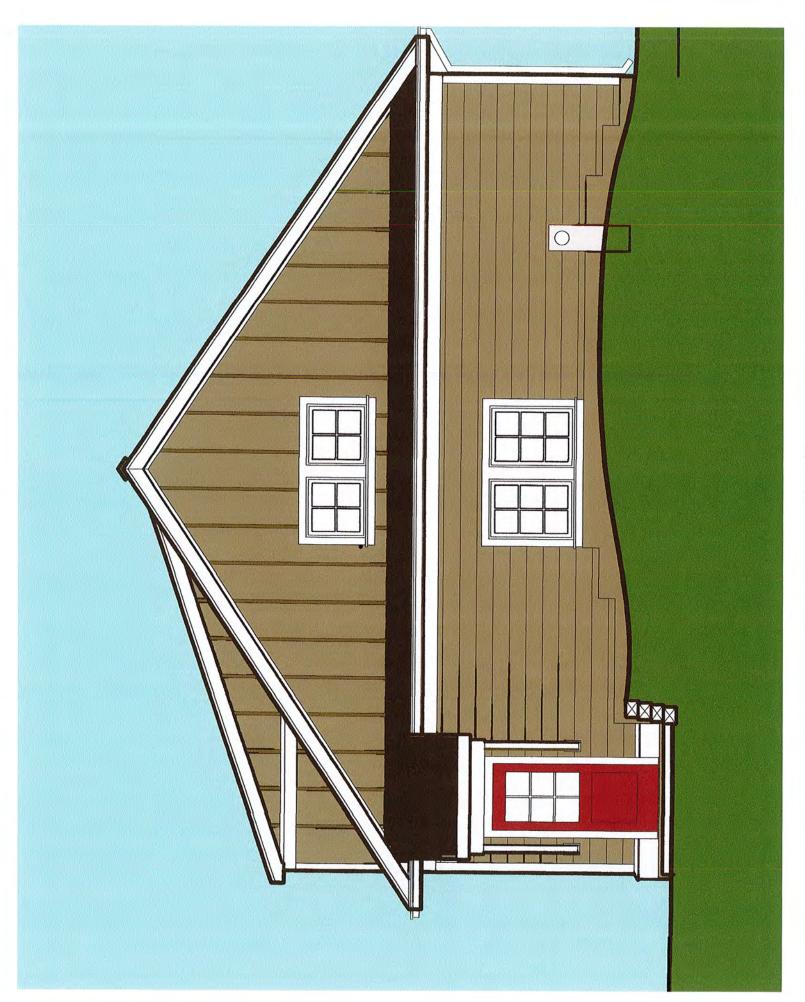
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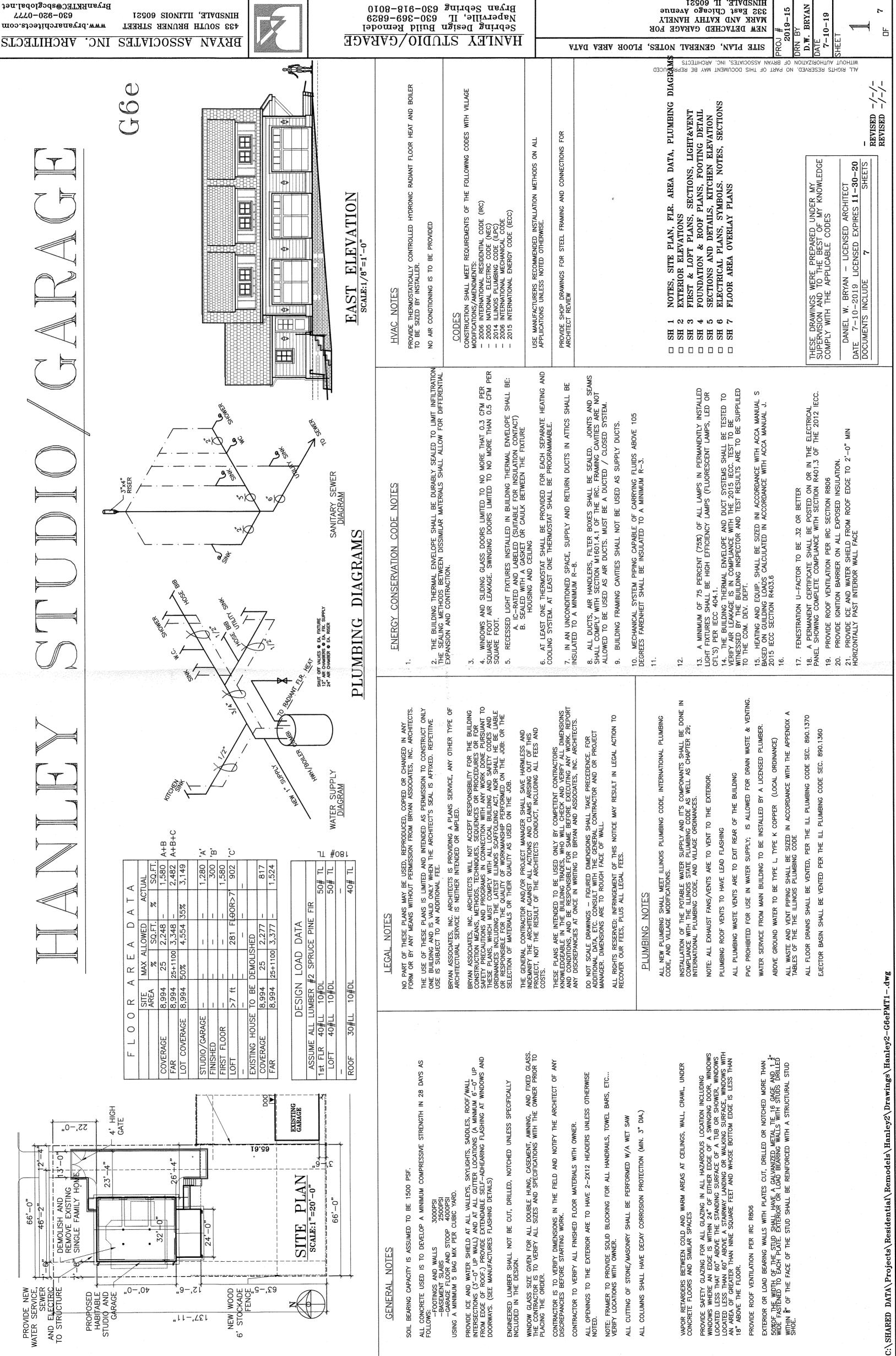
332 E Chicago Avenue Hinsdale







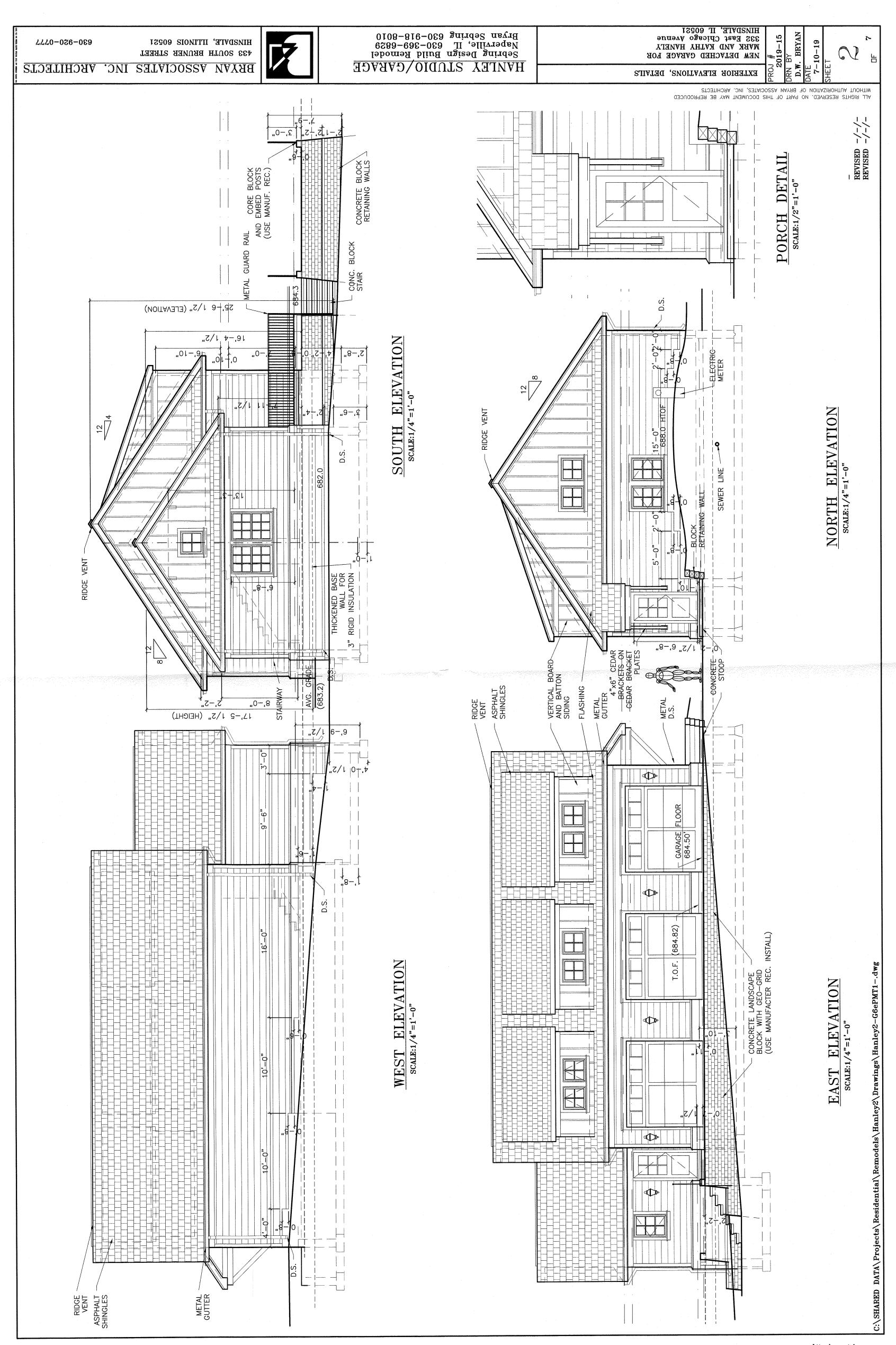
Attachment 1

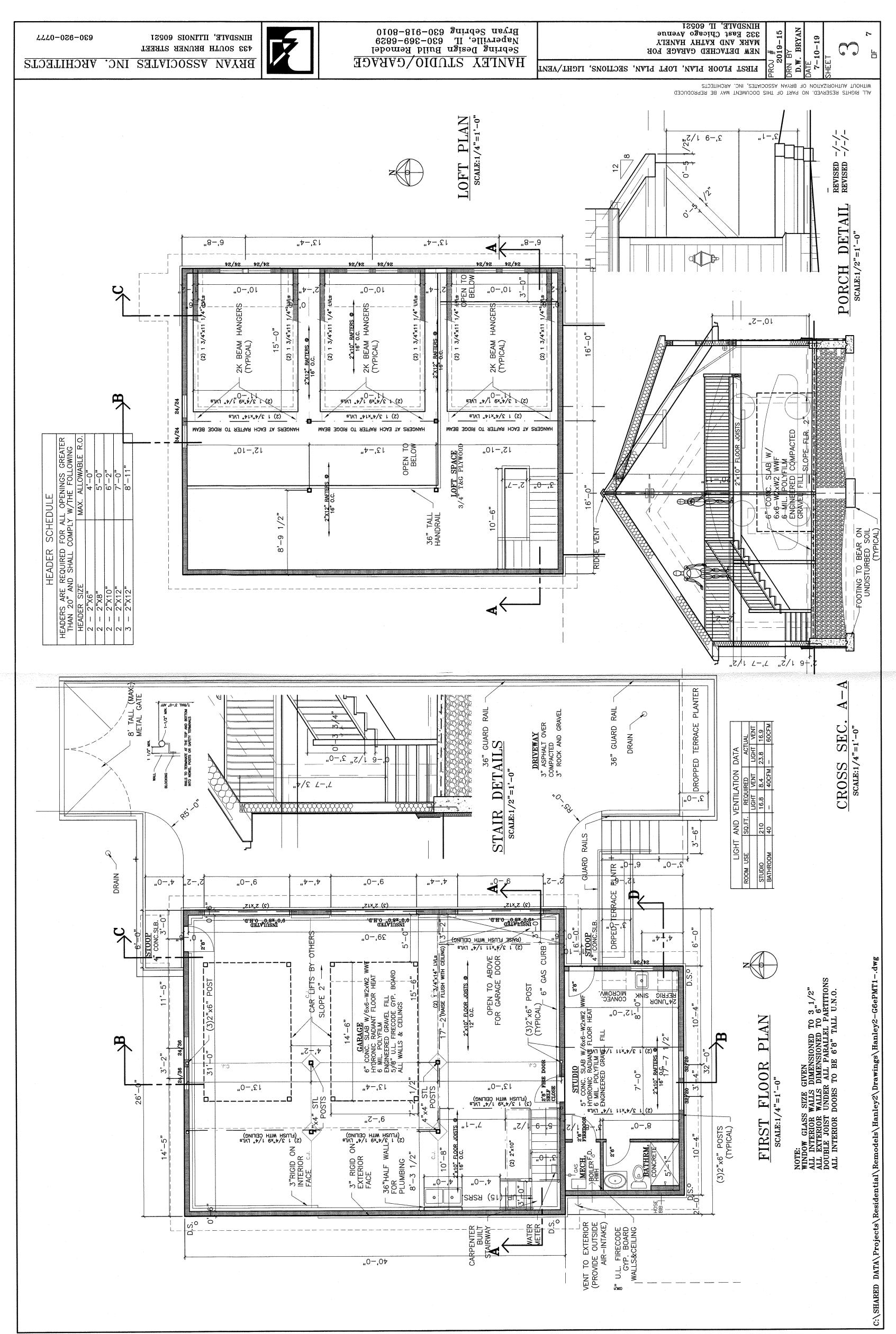


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HINSDALE, IL 60521





BRYAN ASSOCIATES INC. ARCHITECTS

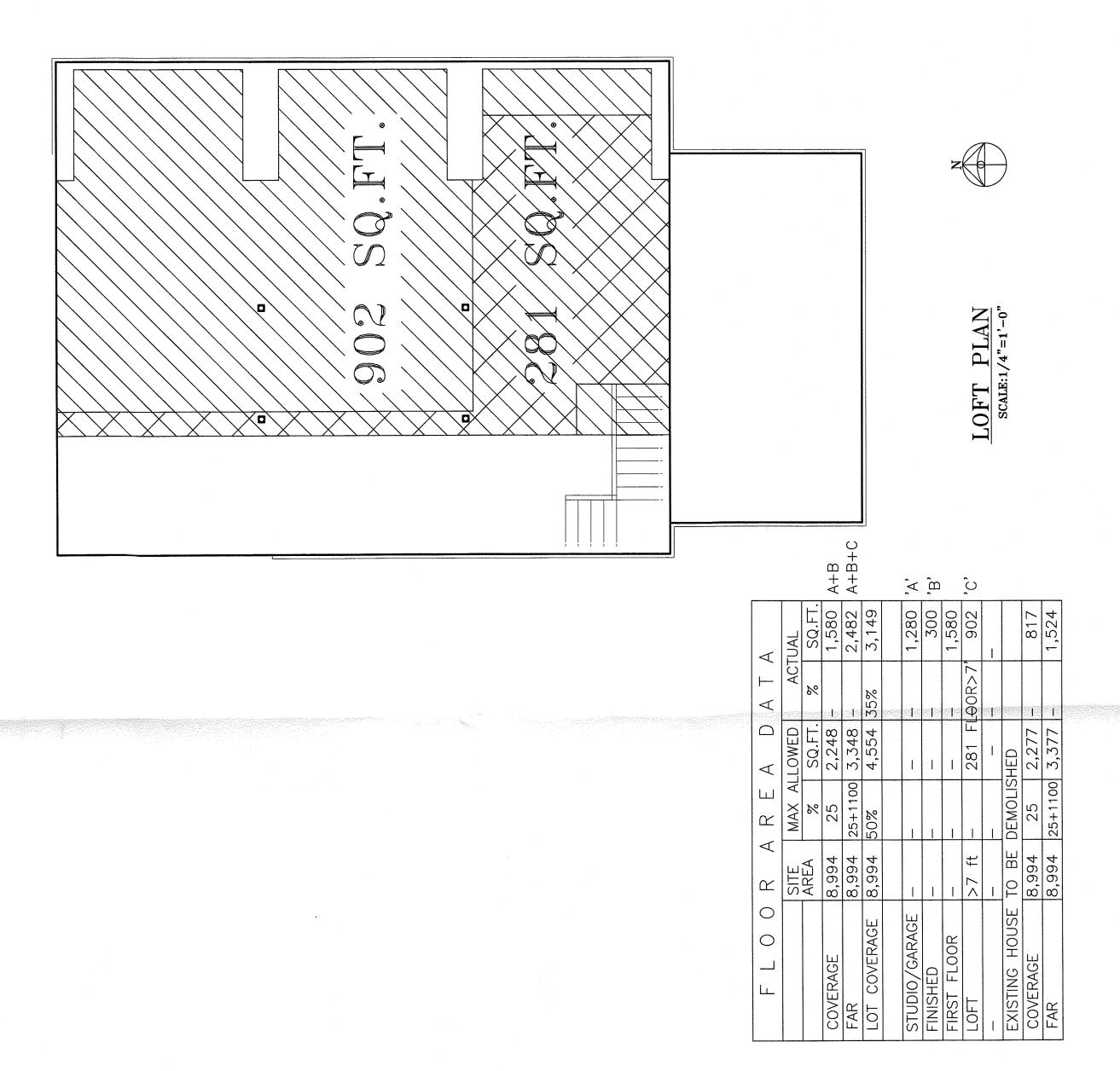
Sebring Design Build Remodel Naperville, IL 630-369-6829 Bryan Sebring 630-918-8010 HVNIEY STUDIO/GARAGE

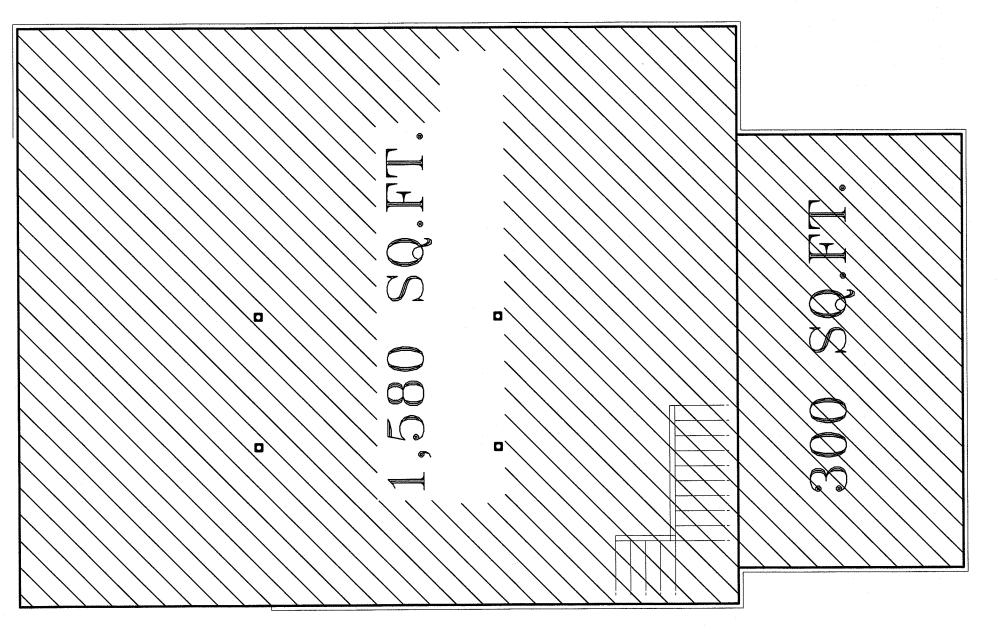
HINSDALE, IL 60521 332 East Chicago Avenue WARK AND KATHY HANELY NEW DETACHED GARAGE FOR

LUOOR AREA OVERLAY PLANS

JRN BY D.W. BRYAN

WITHOUT AUTHORIZATION OF BRYAN ASSOCIATES, INC. ARCHITECTS ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED

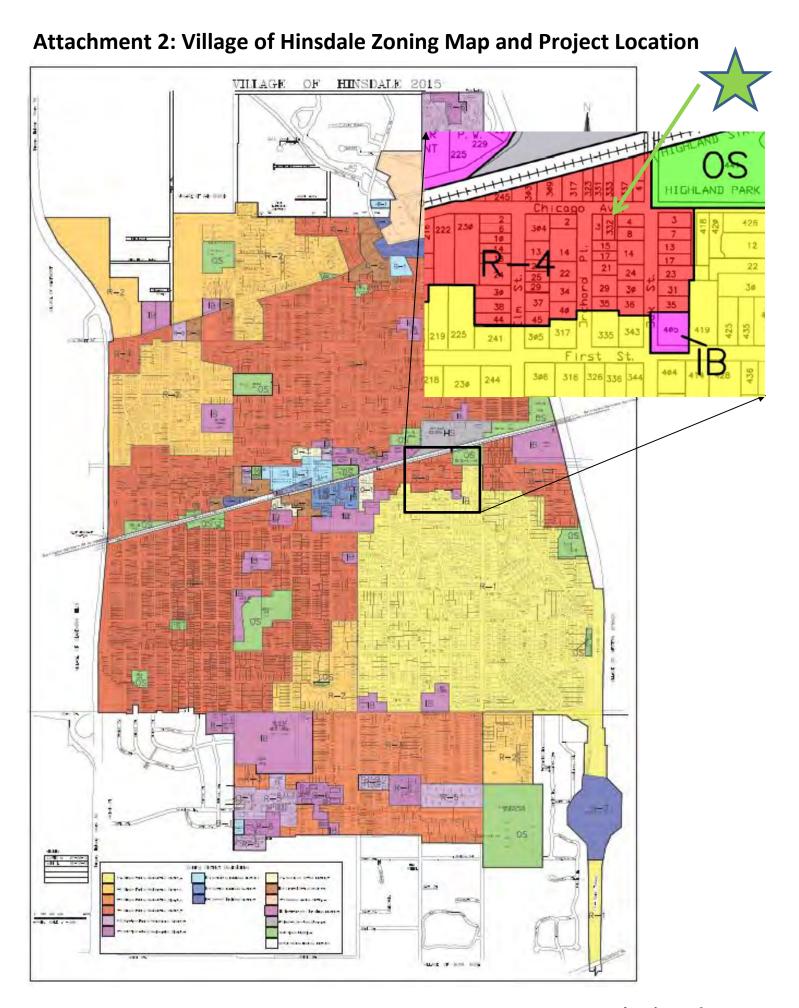




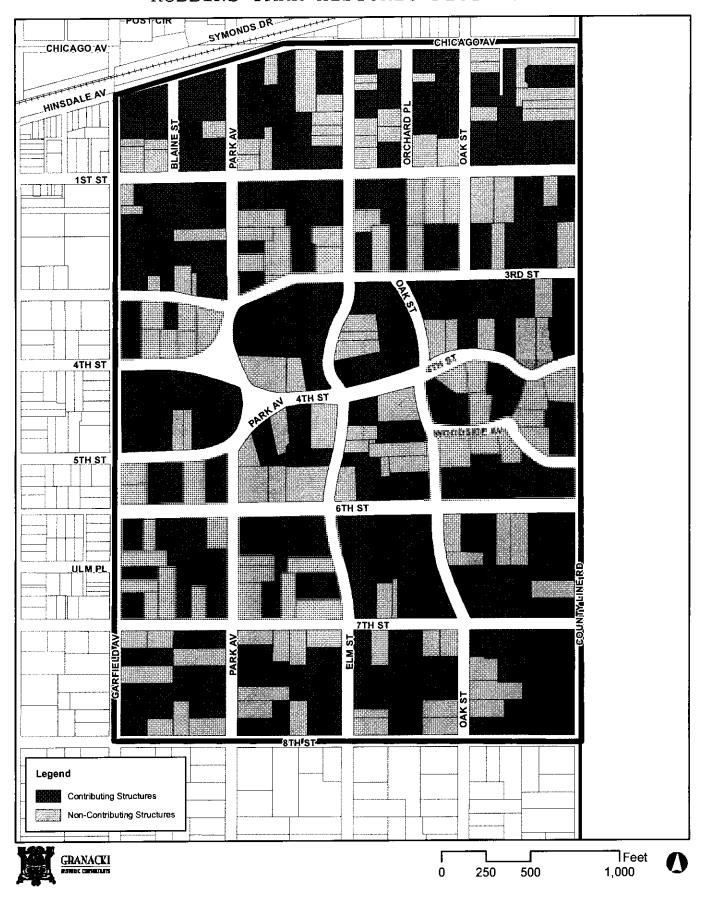


Projects\Residential\Remodels\Hanley2\Drawings\Hanley2-G6ePMT1-.dwg

C:\SHARED DATA\



ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

County of DuPage, Esri Canada, ď IICAGO AV, HINSDALE, IL X Show search results for 332 E...

Attachment 5: Aerial View 332 E. Chicago Ave. (for reference to surrounding setbacks only)

ttachment 5