



## MEETING AGENDA

**MEETING OF THE  
HISTORIC PRESERVATION COMMISSION  
Wednesday, May 1, 2019  
6:30 P.M.  
MEMORIAL HALL – MEMORIAL BUILDING  
(Tentative & Subject to Change)**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. MINUTES** – Review and approval of the minutes from the January 9 and February 6, 2019 meetings.
- 4. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS**
  - a) Case HPC-01-2019 – 722 S. Park Ave. - Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District.
  - b) Case HPC-02-2019 – 324 S. Elm St. - Request for Certificate of Appropriateness to demolish a home in the Robbins Park Historic District.
- 5. PUBLIC MEETING – HPC PARTNERSHIP GRANT TO HINSDALE HISTORICAL SOCIETY**
  - a) Hinsdale Historical Society and partnership proposal with the Historic Preservation Commission - Grant towards the Plaque Award
- 6. DISCUSSION ITEMS**
  - a) Village of Hinsdale Historic Preservation Regulations Review (cont. from 01.09.19)
- 7. PUBLIC COMMENT**
- 8. OTHER BUSINESS**
- 9. ADJOURNMENT**

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MINUTES  
VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION

January 9, 2019

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale  
6:30 P.M.

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Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on January 9, 2019, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Gonzalez,  
Commissioner Williams, and Commissioner Haarlow  
Absent: Commissioner D'Arco and Commissioner Weinberger  
Also Present: Chan Yu, Village Planner

**Public Comment**

Ms. Carrie Kenna introduced herself and stated that she has an interest in the review process of the new regulations for the certificate of appropriateness and landmark status.

Chairman Bohnen reviewed the background of the new historic preservation regulations, which was compiled for about 5 months by a consultant, Mr. Mike D'Onofrio. He explained that this is the first time the HPC will be looking at it. Due to the Open Meetings Act, the HPC will be using the public meeting as a workshop to review the draft document. Mr. Bohnen welcomed Ms. Carrie to sit through the discussion, and assured her that there will not be a vote on the subject matter tonight.

Ms. Carrie Kenna stated that she wanted to make sure that she is on record, reviewing that she has read the material and is concerned for one section. Point 4 on the Certificate of Appropriateness, as she understood it, meant that the HPC would have final authority, versus the current advisory status for the applications in the Robbins District.

Chairman Bohnen reviewed that the consultant's recommendation included only the structures that are contributing to the historic district. He also reviewed the process and the final decision is by the Board of Trustees.

Ms. Carrie Kenna reflected her concern on the affect it would have on the homeowner, potential buyers and home builders, if it changed from an advisory role to anything beyond that. She also added it is not very clear how decisions were made after an application is denied, and to that end, asked, what are the guidelines. It was also her recollection that the HPC was specifically not set up to give authority over design elements, and advisory only, it was the intent, and it should stay that way. She also requested that the homes this new ordinance would affect be notified.

Chairman Bohnen stated it is conceivable if there is a marked change in the definition of the HPCs purview, it is typical that a notice is sent within 250 feet for the proposed subject property. To that end, the thing to do would be to notify the homes in Robbins that are contributing structures.

Ms. Julie Laux asked the HPC what percentage of the homes are contributing structures in the Robbins Historic District.

Chairman Bohnen stated 69% of the homes, when the survey was completed, but acknowledged that this percentage does not exist today.

Ms. Julie Laux stated that she would agree that the draft code would have a significant economic impact on the current homeowners.

Mr. Jim Garber expressed that the draft code would hurt real estate prices in the Village and would be opposed to the mandatory aspect of it, in particular, the potential design/material requests by the HPC. This may cause potential buyers to look outside of Hinsdale.

### **Minutes**

Chairman Bohnen introduced the minutes from the December 5, 2018, meeting and asked for any comments.

Some of the Commissioners requested to add context as to why the Certificate of Appropriateness was denied for Case HPC-08-2018. Commissioner Prisby also added that he voted in favor of the new construction request, thus it should be corrected. The HPC **requested to table** the minutes for the February HPC meeting.

### **Discussion Items**

Chairman Bohnen reviewed the Granacki report, which has criteria, addresses, and details that took place before the ordinance. Discussion ensued in regards to the relatively old data, and concluded it should be a goal to update the survey.

Commissioner Gonzalez suggested the new survey contain a photograph of the home to compare "then versus now". Chairman Bohnen suggested that in addition to updating the website information, an updated version of the pamphlet be published as well. Commissioner Williams will reach out to the 2018 summer intern to determine if he would be interested and available in assisting with the process of the new survey.

It was discussed and determined the best way to begin the discussion of changes would be to do a fast page by page discussion of items that Commissioners had concerns about. The first discussion item discussed by the HPC was fees. Commissioner Williams requested that fees include the cost of the survey and signage needed to make people aware of the Historic District boundaries & the significance of the district. It was felt that people are unaware of this information currently.

The question was asked about the increase in fees & what items would be included in the fee. Chan explained the cost would include the cost of publication (lengthy wording of legal descriptions can cost hundreds of dollars) and cost of the transcriber. Chairman Bohnen added he'd like to see the fees include other items suggested by HPC such as education and signage.

Discussion took place as the origin and accuracy of the number of homes in the report. It was determined the numbers are quite possibly out of date and need to be re-surveyed for an accurate & current count.

Commissioner Williams asked the question about review for non-contributing homes being demolished & replaced by a new home- would it be discussed? Would a certificate of appropriateness be issued? Members of the HPC agreed that it would be reviewed because the new home would now be part of the streetscape of the existing district.

The inclusion of smaller projects, such as fences, was brought up by Commissioner Prisby. For example, how can smaller projects that meet local ordinances but not fit historically with the historic homes and streetscape of the district be evaluated or prevented? Should these smaller projects be included in the review process, incurring large fees, to preserve the streetscape? Discussion continued where to draw the line for required evaluation (side yards included?).

Commissioners went on to discuss what types of projects visible from the street would be included in the review process such as driveways & fountains. The HPC expressed the need to find a balance between high cost of review with the desire to evaluate projects impacting the character of the district and its streetscape. Possible guidelines were discussed to define "small projects" such as the size of the required foundation or the volume of a "structure". The HPC discussed the idea of when evaluating "structures" becomes evaluating landscape. The idea of a lower fee for these "smaller projects" was set to help keep the cost in line with the size of the project was discussed. It was agreed the fees should not be a deterrent to the process.

The HPC moved on to discuss briefly the "appeals" portion of the document and further discuss the "withdrawal" process. All agreed that language would need to be further discussed and revised. The HPC specifically discussed the idea of defining a "financial hardship" and the difficulties associated with proving a hardship.

Stemming from the challenges the group was considering about "financial hardships", discussion followed about the agreed upon goal of the HPC to be pro-active & education based to provide homeowner relief rather than reactive & restrictive. With that goal in mind, further discussion took place about how to retain & obtain future landmarks of homes without limiting the potential sale of the homes. The HPC began to discuss how that idea might look from a legislative point of view.

Commissioner Haarlow suggested that a set of guidelines be designed outlining potential and specific areas of relief that homeowners and potential buyers could look to in an attempt to avoid a complete "leap of faith". Chairman Bohnen agreed. Commissioner



Prisby added that the set of guidelines for potential relief could be tied to non-conforming code. Further discussion took place and Chairman Bohnen asked members to read and review the DRC guidelines available on line for the next session to determine if that information will be useful to further the development of relief guidelines.

With the idea no final decisions made tonight, the HPC continued the very quick “read through” of the document continued. Brief comments were made to identify points to re-visited and changed at a future meeting.

The HPC spent some time discussing the final step to withdraw from land mark status, specifically review by the Village Manager. Some brief discussion took place and Commissioner Williams expressed concern that the recommendation of the HPC presented by only the Chairman may not reflect the views of all HPC members. Commissioner Williams felt the input of the entire HPC was very important in the process and felt all views should be presented the Board of Trustees. Chairman Bohnen suggested that a report prepared by and reflecting views of the entire HPC be delivered to the board by the HPC Chair, members of the HPC agreed this would be appropriate.

Discussion again re-visited the idea of the Village Manager as part of this process. The concern was related to if that person was the most relevant person to be involved in the final approval of the withdrawal process. The HPC agreed that three (3) entities (allowing for a majority) would make a recommendation to the board. The first entity would be the HPC Chairman Report in which the entire HPC would be a part of creating that document. The second entity would be the Zoning & Public Safety Chairman report in which the entire ZPS would be a part of creating that document. It was suggested the third entity to bring a recommendation to the board be the ZBA, replacing the Village Manager as a more relevant entity in the process. The ZBA chair would bring a report that the entire committee would be a part of creating. The HPC agreed having reports reflecting various committees would bring a larger, more diverse group of input than a single chairperson presenting to the Board.

The HPC continued the fast read thru and began discussion on the Honorary/“Feel Good” landmark designation. The need to clearly state that this type of designation would not result in any tax relief was necessary was agreed upon. Discussion clarified that this type of designation was available to all homes in Hinsdale, even those outside the historic district, with the purpose to encourage people to think consider preservation for their Hinsdale homes and to generally view preservation in a more positive manner.

Commissioner Williams raised the question about a need for a public hearing since the designation was only “honorary” and would come with a dated plaque and require some other standards. It was pointed out that a benefit of having a public hearing would be to educate the public and foster positive attitudes toward preservation. The HPC members welcomed the opportunity to welcome the anticipated constant flow of folks for short presentations and awards for homes in & outside of the historic district.

Due to time constraints, Chairman Bohnen wrapped up the discussion of this topic by stating a need for standards to be developed and careful, thoughtful discussion to continue to take place on this topic to result in a product that functions well.

Commissioner Prisby, in an unrelated topic, asked for more time to work on illuminated signs in the Village. The HPC discussed the importance of attending the next upcoming Plan Commission meeting related to the backlit- internally lit signs in the B-2 district.

### **Adjournment**

The HPC unanimously agreed to adjourn at 8:26 PM on January 9, 2019.

Respectfully Submitted,

**Jennifer Spires, Community Development Dept.**

Approved

MINUTES  
VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION

February 6, 2019

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale

6:30 P.M.

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Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on February 6, 2019, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Weinberger, Commissioner Prisby,  
Commissioner Gonzalez, and Commissioner Haarlow  
Absent: Commissioner D'Arco and Commissioner Williams  
Also Present: Chan Yu, Village Planner

**Minutes**

Chairman Bohnen introduced the minutes from the December 5, 2018, meeting and asked for any comments. Commissioner Prisby asked to clarify if the minutes simply reflect the changes requested by the HPC last month. It was confirmed.

The HPC **unanimously approved** the minutes for the December 5, 2018, HPC meeting, 5-0, 2 absent.

**Discussion Item - Hinsdale Historical Society Historic Plaque Program and Historic Tours App.**

Executive Director of the Hinsdale Historical Society, Lynne Smaczny introduced herself and updated the HPC in regards to the Historic Tours App. It is online, it's been promoted, it's being used, and people seem to like it, she reported.

Commissioner Haarlow had two questions, and asked why the Historic Plaque Program lapsed. Ms. Smaczny replied that she is not clear why it lapsed, but she believes part of the reason was due to staff becoming unavailable and therefore unsustainable to continue. The second question was, where the data came from in regards to the historic building survey. Ms. Smaczny replied that was an estimate and from all the historic structure surveys. She had 2 summer interns and put them to good use to review all its files and tour guides. Of note, the list was 20 years old and she estimated at least 20% of the homes on the list no longer existed. Commissioner Haarlow stated that he believes this relates to the concern raised at the previous meeting, understanding that the policy document contained out of date figures.

Commissioner Prisby asked if that list was mapped. Ms. Smaczny replied they tried, but it's difficult. However, she noted the 2 major concentrations were just north and south of the train tracks.

Chairman Bohnen expressed that the Hinsdale Historical Society (HHS) has an existing honorary recognition program, which relates to their ordinance review. Ms. Smaczny added that it was an independent program from the HPC program. Additional program discussion ensued regarding the cost of the program and plaques, and perhaps the HPC potentially offsetting the costs. Ms. Smaczny believes the most expensive cost will be marketing at this point. Commissioner Gonzalez mentioned that he could help shop around for the cost of the plaques.

### **Discussion Item - Village of Hinsdale Historic Preservation Regulations Review**

Chairman Bohnen reintroduced the suggested ordinance as produced and presented to the HPC by Mr. Mike D'Onofrio, a consultant hired by the Village. The HPC discussed the cover memo at the last meeting, but did not review the draft ordinance yet.

Commissioner Weinberger proposed to stagger the fees to lower the cost for someone interested in renovating a historic home.

Commissioner Haarlow reviewed that the data is at least 10 years old, and perhaps it should be updated and/or cross referenced with the HHS data. Moreover, it was suggested to use the HHS data versus the current Granacki map/data.

Commissioner Weinberger suggested that we could perhaps ask the HHS to query which homes on their list is in Robbins Park. Chairman Bohnen asked her if she could reach out to the HHS.

Commissioner Haarlow asked about the criterion for a contributing structure.

Chairman Bohnen stated that it is based on a survey that Granacki did.

Commissioner Gonzalez added that he was a part of the process, and recalled that the criteria included elements that pointed to classical architecture.

Commissioner Weinberger stated page 3 includes a definition by the U.S. Department of Interior. On that note however, the list by the HHS may not match this database, and will need to cross check the homes.

Chairman Bohnen and Commissioner Gonzalez believe the criteria should be based on the Granacki document, and if the HPC had to, drive around the neighborhood to see if the homes still exist.

Commissioner Prisby asked if the HPC should start on Attachment D, which is a chart of other communities, and how it defines the review authority of its HPC. He next pointed to page 7, where it lists the recommendations by the consultant.

Commissioner Weinberger suggested reviewing the recommendations together. Also, since the HHS already has a landmark program, the HPC should not establish another “honorary landmark” designation as recommended on page 9. Chairman Bohnen agreed.

Commissioner Prisby recommended to next look at section 4, Landmark Withdrawals on page 10.

Commissioner Weinberger stated that someone who took advantage of the tax freeze program should not be able to withdrawal its landmark status. The HPC agreed.

Commissioner Prisby jumped ahead to page 7, and reviewed Option 1 and Option 2. Based on the document, Option 2 would add 8 additional applications.

Commissioner Weinberger believes it'd be easier if they had guidelines to review.

Chairman Bohnen stated they are trying to add the design standards document into the draft ordinance to include some actual criteria.

Commissioner Weinberger reviewed how inconsistent the process has been by using her window permit and outdoor patio permit as an example.

Chairman Bohnen asked the HPC if this means the review should be concerned over what's visible from the street.

Commissioner Weinberger asked if Option 1 could be crossed out. Commissioner Prisby replied we already did.

Chairman Bohnen asked the HPC if it would be concerned about a landmarked home from all sides.

Commissioner Gonzalez stated in his opinion, you have to allow for some flexibility.

Commissioner Prisby stated, what's important is in the landmark document, and what features are significant. If it's not mentioned in the document, he does not care about the back of the house.

Commissioner Weinberger warned to not cancel out things the HPC will regret, and would like to keep all angles of review on the table for an opportunity to talk about compromise and good faith.

Chairman Bohnen stated we need standards, or the approval would be inconsistently based on the makeup of the board at the time.

Commissioner Weinberger agreed that we need guidelines and on the same token, not to strike anything the HPC could review.

Commissioner Prisby asked Commissioner Gonzalez for his thoughts on an applicant requesting to add a farmhouse style with siding behind a brick federal style home.

Commissioner Gonzalez replied that he sees his point.

Commissioner Prisby stated perhaps design standards would prevent this.

Commissioner Weinberger pointed out that some of the demo requests are due to the terrible additions constructed over the years.

Chairman Bohnen reiterated the need to incorporate the design standards into the ordinance.

Commissioner Prisby stated that he is not opposed to amending the approval authority to allow village staff to approve Certificate of Appropriateness (CofA) for certain improvements, but the HPC would need to establish the boundaries that trigger a review.

Chan asked what about for noncontributing structures.

Chairman Bohnen replied that is off the table, and Commissioner Gonzalez agreed.

Chan stated so we've determined that a CofA does not apply for noncontributing structures.

Chairman Bohnen replied the only issue with that is the question of what will be built in its place.

Commissioner Haarlow agreed, and stated he would not dismiss this so quickly.

Chan replied, however, the new construction would still require a CofA.

Commissioner Prisby stated so at some level we'd still review it. A discussion ensued in regards to how to reach the applicant before plans and drawings are completed for review.

Chairman Bohnen reiterated the need for standards to review applications for a CofA.

### **Public Comment**

Bryan Bomba, introduced himself as a resident of Hinsdale for nearly 30 years, and a real estate broker with a unique background in that he is an expert in residential property valuation with an SRA designation. He shared his concern regarding an escalation in authority by of the committee and that it could have a negative impact on the valuation of residential property value. As such, his question is to what extent has that consideration been given in the development of this proposed ordinance.

Chairman Bohnen responded that he too is a realtor, a lifelong Hinsdale resident, and that the HPC is also concerned about property values. He expressed that the HPC's mission and belief is that there is value in preservation, not only in property values but in the Village itself. For example, the downtown has become a brand that distinguishes Hinsdale. The lack of a transit oriented development enhances the distinction from other suburbs. The historic district is one of the HPC's primary concerns, and has been deteriorating for years during the teardown phenomenon. The HPC feels the answer to property values is to prevent a South Barrington in southeast Hinsdale. In 2000, the homeowners in Robbins voted to establish a historic district which means everyone in the district bought or should have known their home is in a historic district. As an example, a new Belgium farmhouse style would affect the homes next to it, and they have property rights also Chairman Bohnen explained. The homes in the Robbins district are protected by the current ordinance, but perhaps haven't been followed very strictly. To that end, this is why the HPC is revisiting the ordinance. This is not reviewed with a disregard to property values, to the contrary, the HPC is very concerned with property values, Chairman Bohnen stated. The larger homes will be challenging, and perhaps rather than tearing it down to construct new, renovating a historic home through the tax freeze program may be the answer.

Bryan Bomba asked if there is a provision that addresses impact on residential property valuation in the consultant's report.

Commissioner Prisby responded no, and that the HPC needs to have the consultant review and analyze the property values of the homes in the 12 communities in the report.

Chairman Bohnen stated that when the ordinance was passed, he believes the majority of the people in the Village thought preservation would enhance property values. However, he recognizes that not everyone might agree with that, in particular, if you are building new houses.

Bryan Bomba stated that he believes there is overlap in our thinking. The question is, what the impact on residential real property values is, not that it is negative. And it is prudent and responsible to have that as an integral question as this ordinance is being reviewed.

Chairman Bohnen replied that he doesn't disagree with that at all.

Commissioner Prisby stated the conversation has already started.

Vince Priest introduced himself as a resident since 2007, and has had 10 houses in that time. He has bought, improved and sold the homes, and that is his experience. He stated his experience is "real world", and has made a profit on each transaction. He explained that the older homes, when put money into them, does not get the return as the new homes. And if the property is forced to go before a committee to decide what can be done to it, he doesn't understand why and doesn't know if he'd buy a home knowing if a group of 6 people can tell him what he can do to the home. He believes his judgement is as good as the HPC's judgement. He believes he knows what sells and what people want. He reiterated that he doesn't understand how this committee is benefitting the Village at large.

Commissioner Prisby stated that he needs some time to give him an appropriate answer. He explained that he also has real world experience, been an architect for 26 years, builder for 9 years and grew up in Hinsdale. And as a designer, has completed approximately 20 houses in the district. From his consulting experience, he understands that if an investment of over 50% of the value of the home is necessary, it's not worth it. This ordinance discussion is only the 2<sup>nd</sup> one by the HPC and he does not know which direction it will go.

Vince Priest clarified that what he is hearing is that this group can tell me what I can do with a home in the district, and he doesn't understand why.

Chairman Bohnen replied because the HPC represents the people on either side of this.

Vince Priest replied that he is on both sides as well.

Chairman Bohnen stated that the HPC is not concerned about what sells, which is for general consumption. On the other hand, the HPC knows what sells in the current market. And each time a new house (current style of board and batten and black windows) is built to sell, it does not enhance the historic district. He believes one should view this more globally, as a district.

Commissioner Weinberger added that there is a provision to appeal the HPC's decision, so there is a process. She also expressed this is in the early stages of discussion, the HPC appreciates his input and it will be a part of their discussion.

Commissioner Prisby stated that the HPC wants to be advisory from a design standpoint, and would recommend an applicant to consider design guidelines that gives you the flexibility to do all sorts of great things and very marketable.

Commissioner Haarlow stated the Village is non-home rule and could not anyway. But also reminded to Chairman Bohnen's point, the HPC is not charged to help someone turn a profit.

Vince Priest stated that he'd like to be viewed as a homeowner, and his aforementioned thoughts are the same as an investor.

Carrie Kenna stated a landmarked home should be reviewed as a whole. However, she believes the advisory component in the current code must have been established for a reason. In other communities, a mandatory/binding decision was established from day one. She also reviewed that the area is a reflection of what the new buyer wants. She also added that she doesn't know how to reach people before they start designing for a new addition or home. In conclusion, she asked the HPC to consider the people's right to choose.



Chairman Bohnen stated, the core question is, when the topic of preservation comes up is, whether or not the Village as a whole has an appetite for preservation. What the HPC has found is, the historic downtown when it was established, was that a lot of people valued preservation and heritage.

Commissioner Prisby added one last thing to Vince Priest, that he was one of the persons against establishing a village-wide code for design standards. While the HPC ordinance is a different case, he assured that his concerns will be considered during the ordinance review.

### **Adjournment**

The HPC unanimously agreed to adjourn at 8:42 PM on February 6, 2019.

Respectfully Submitted,

**Chan Yu, Village Planner**



## MEMORANDUM

**DATE:** May 1, 2019

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 722 S. Park Ave. – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – Case HPC-01-2019

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### Summary

The Village of Hinsdale has received an application from Kenna Builders, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

### Request and Analysis

The subject property is located on an interior lot on South Park Avenue. The existing home was constructed in 1941 in a Colonial Revival style according to the National Register of Historic Places. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is approximately 18,826 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure in the Robbins Park Historic District.

### Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



## MEMORANDUM

### **Attachments:**

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - National Register of Historic Places Sheet
- Attachment 6 - 722 S. Park Ave. Street View
- Attachment 7 - 722 S. Park Ave. Aerial View

**VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 722 S. Park  
Property Identification Number: 09-12-484-009

**I. GENERAL INFORMATION**

1. Applicants Name: Kenna Builders Inc  
Address: 611 S Washington St  
Hinsdale IL 60521  
Telephone Number: 630-986-9067
2. Owner of Record (if different from applicant): Chris & Lauren Hill (-79 S Park Ave LLC)  
Address: 606 S Washington St  
Hinsdale IL 60521  
Telephone Number: \_\_\_\_\_
3. Others involved in project (include, name, address and telephone number):  
Architect: G.O. Architectural Design -  
127 S. Stoughton Hinsdale IL 60521 630-857-1405  
Attorney: \_\_\_\_\_  
Builder: \_\_\_\_\_  
Engineer: Hinsdale Engineering  
514 S Grand St Hinsdale IL 60521 630-323-787

**II. SITE INFORMATION**

1. Describe the existing conditions of the property: Older home in good condition -  
wood
2. Property Designation:  
Listed on the National Register of Historic Places? \_\_\_\_\_ YES X NO  
Listed as a Local Designated Landmark? \_\_\_\_\_ YES X NO  
Located in a Designated Historic District? X YES \_\_\_\_\_ NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

New home

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4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No             Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. \_\_\_\_\_

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## CERTIFICATION

The Applicant hereby acknowledges and agrees that:


- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

### ☐ INDIVIDUAL OWNERS

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

### ☐ CORPORATION

  
\_\_\_\_\_  
Signature of Applicant's President

\_\_\_\_\_  
Signature of Applicant's Secretary

### ☐ PARTNERSHIP

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

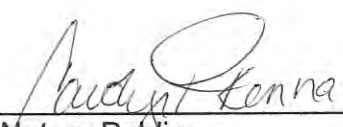
### LAND TRUST

\_\_\_\_\_  
Signature

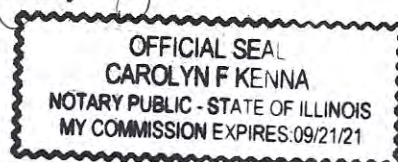
\_\_\_\_\_  
Signature of Authorized Officer

SUBSCRIBED AND SWORN  
to before me this 8 day of

February, 2010

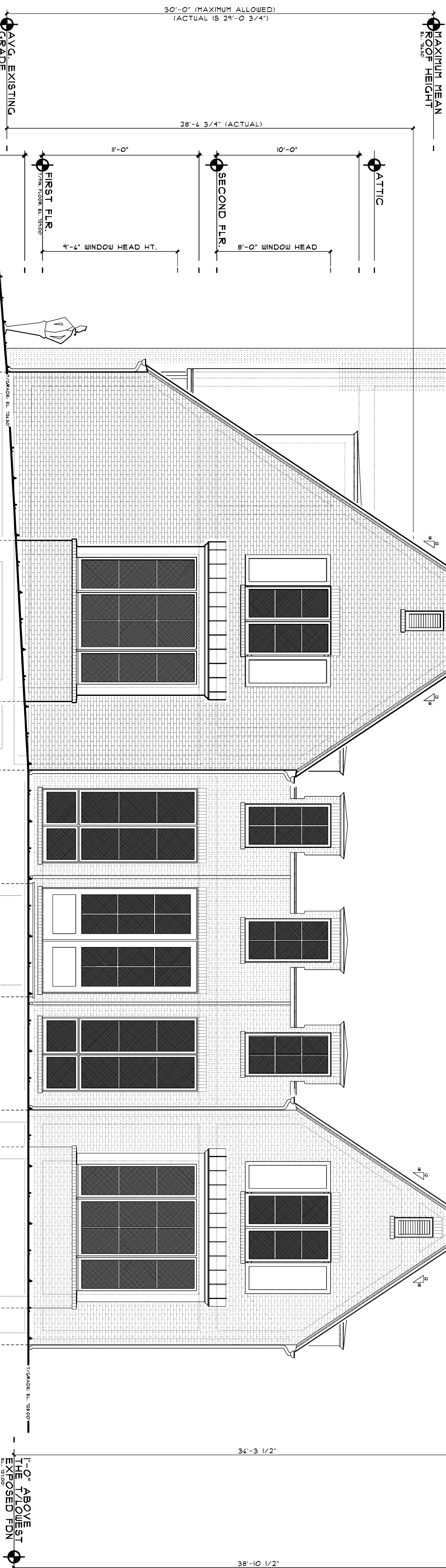
  
\_\_\_\_\_  
Notary Public

4





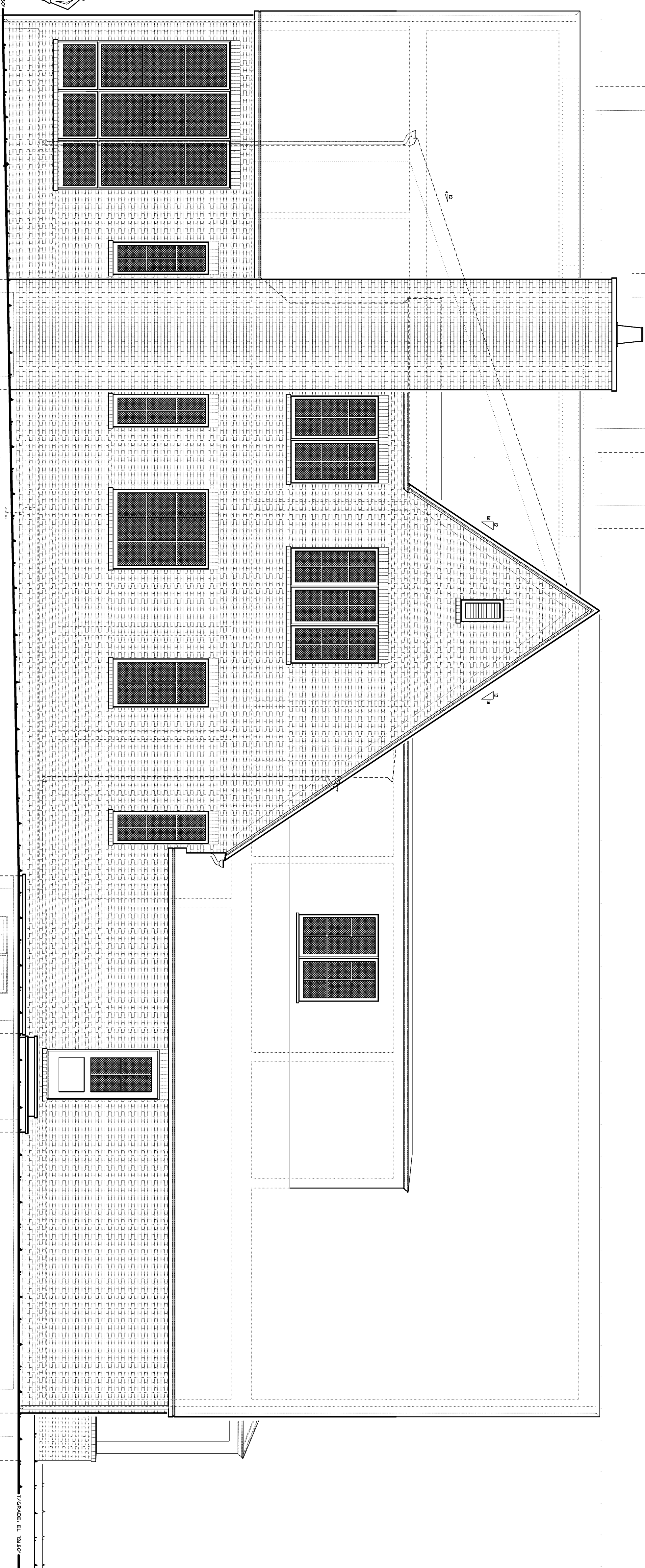
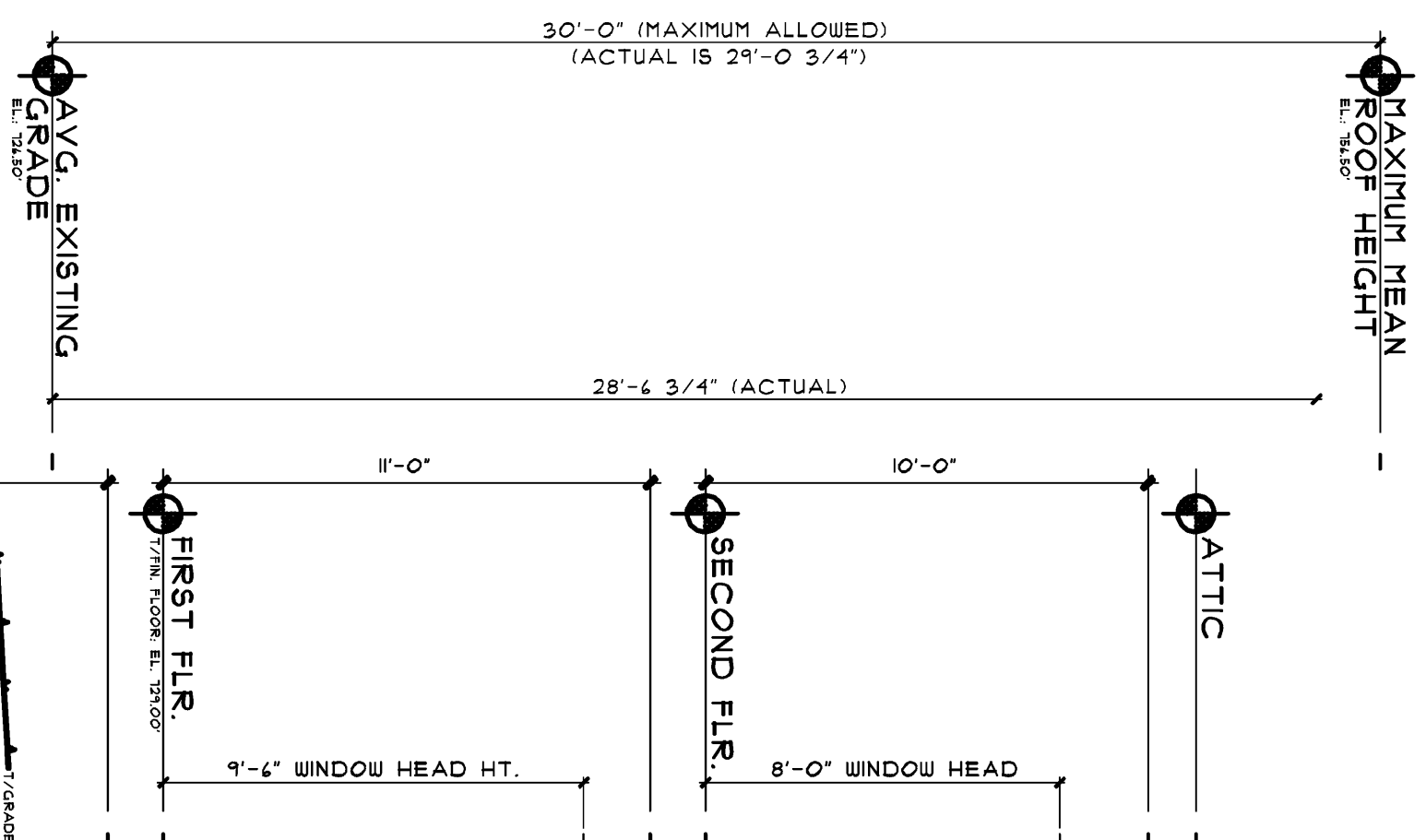
MAXIMUM ELEVATION



## A EAST ELEVATION

Scale: 1/4"=1'-0"

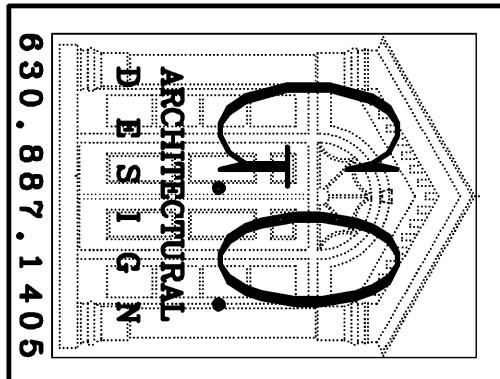
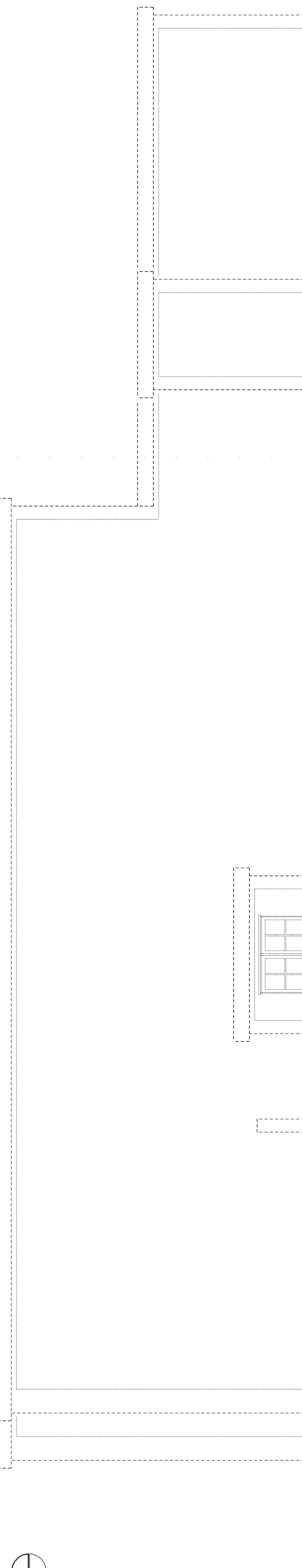
SPORT COURT



## B SOUTH ELEVATION

Scale: 1/4"=1'-0"

SPORT COURT



630.887.1406

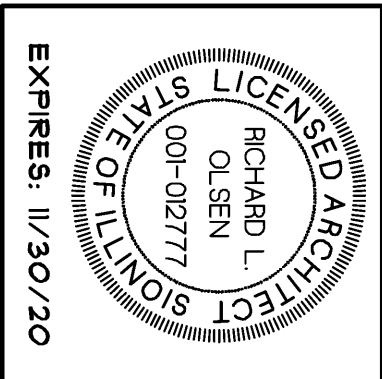
KENNA BUILDERS, INC  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.984.9041 CELL: 630.816.4042

EAST AND SOUTH ELEVATIONS

DATE: FEBRUARY 5, 2018  
DRAWN: GIVEN  
CHECKED: RICHARD OLSEN  
PROJECT: 20117

DATE: 1/2/18  
ISSUED FOR: OWNER REVIEW  
2/5/19 PERMIT 1 BID

HILL RESIDENCE  
122 SOUTH PARK AVE.  
HINSDALE, ILLINOIS



SHEET: A.1



ELEVATION  
ELL 745.806[illegible][illegible]

**KENNA BUILDERS, INC**  
 WWW.KENNABUILDERS.COM  
 611 S. WASHINGTON ST  
 HINSDALE, ILLINOIS  
 PH: 630.986.9067 CELL: 630.816.1062

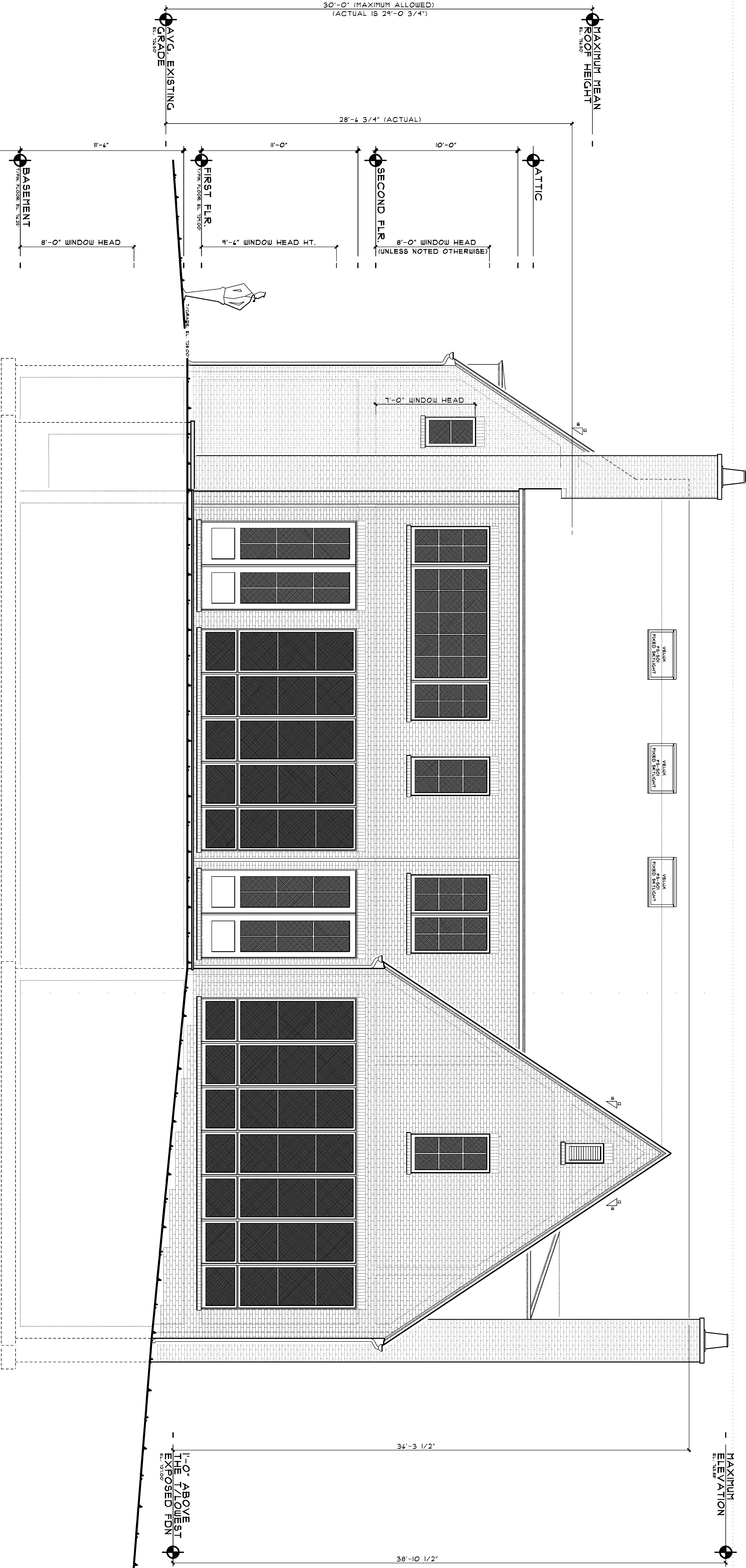
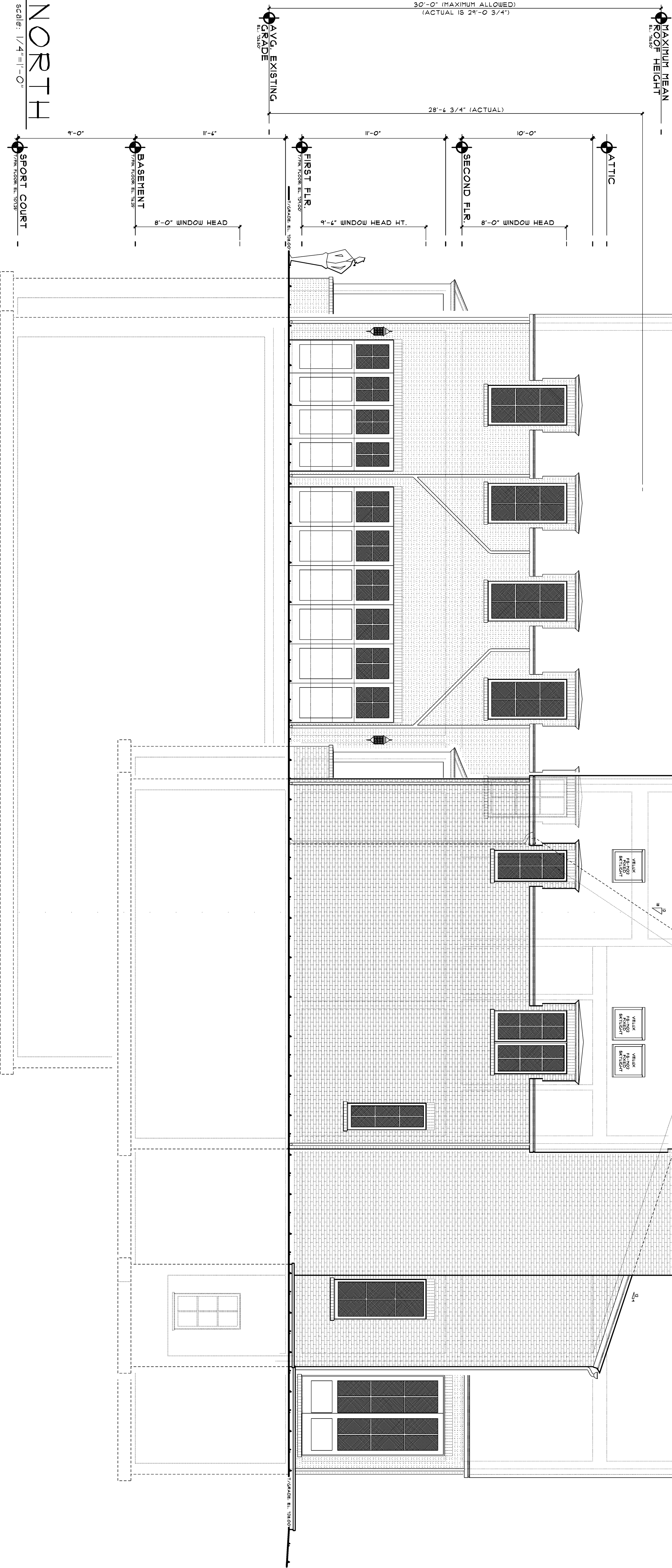
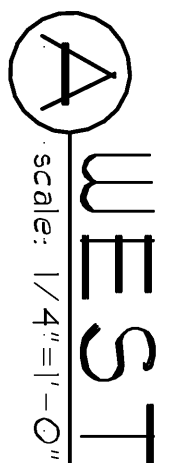
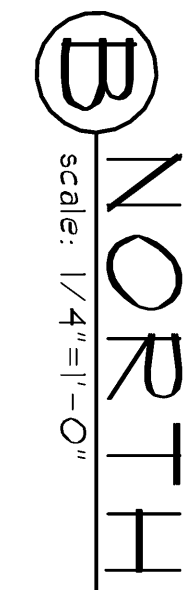
# WEST AND NORTH ELEVATIONS

DATE: FEBRUARY 5, 2019  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO. 2017.17

DATE	ISSUED FOR:
11/2/18	OWNER REVIEW
2/5/19	PERMIT & BID

A NEW HOME:  
HILL  
RESIDENCE  
122 SOUTH PARK AVE.  
HINSDALE, ILLINOIS

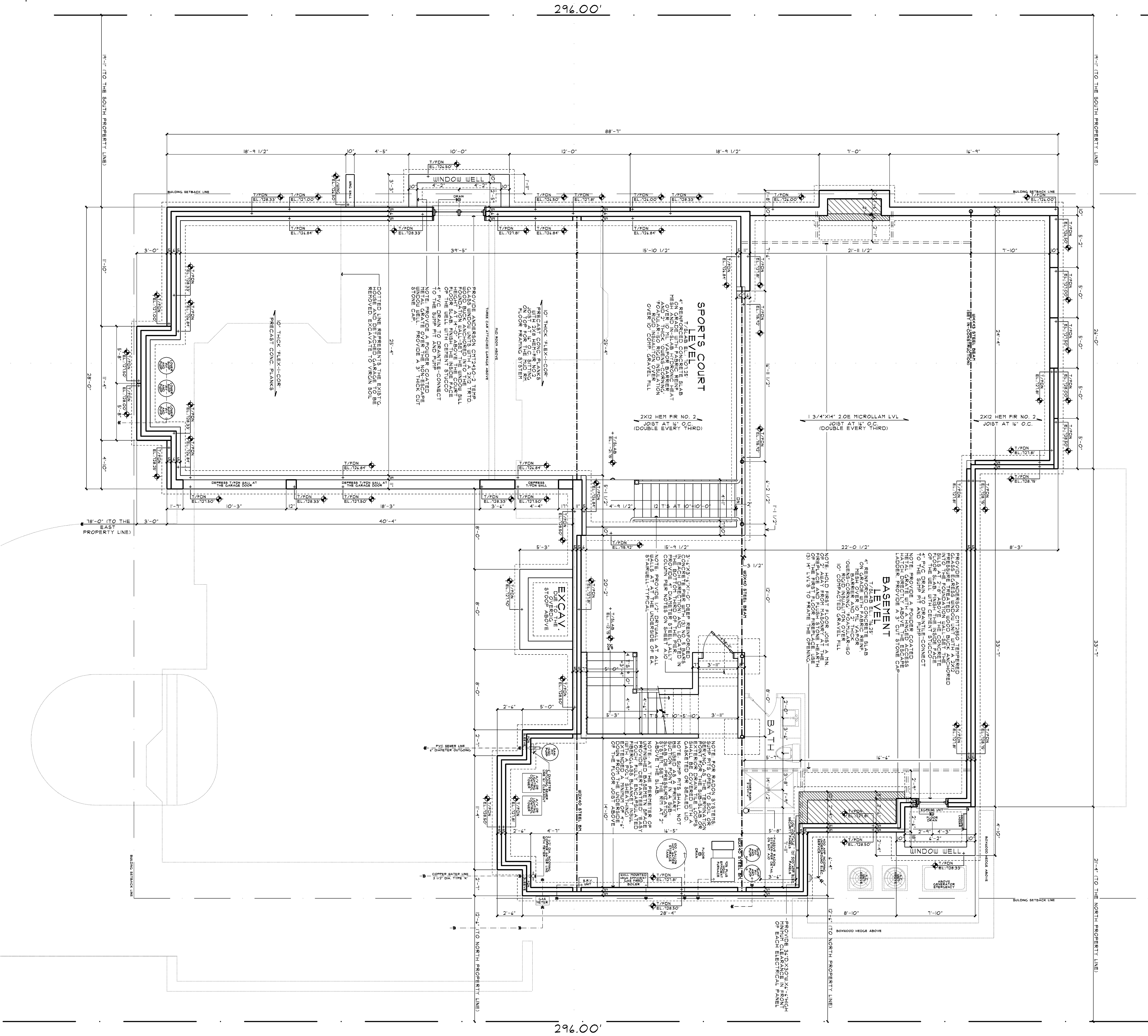
SHEET:  
~~A~~.2





FOUNDATION PLAN

scale: 1/4"=1'-0"



SHEET A.3

EXPIRES: 11/30/20

HILL RESIDENCE  
1222 SOUTH PARK AVE  
HINSDALE, ILLINOIS

DATE ISSUED FOR  
11/27/18 OWNER REVIEW  
2/5/19 PERMIT & BID

DESIGNED  
FEBRUARY 5, 2019  
GIVEN  
RICHARD OLSEN  
PROJECT NO.  
20111

FOUNDATION PLAN

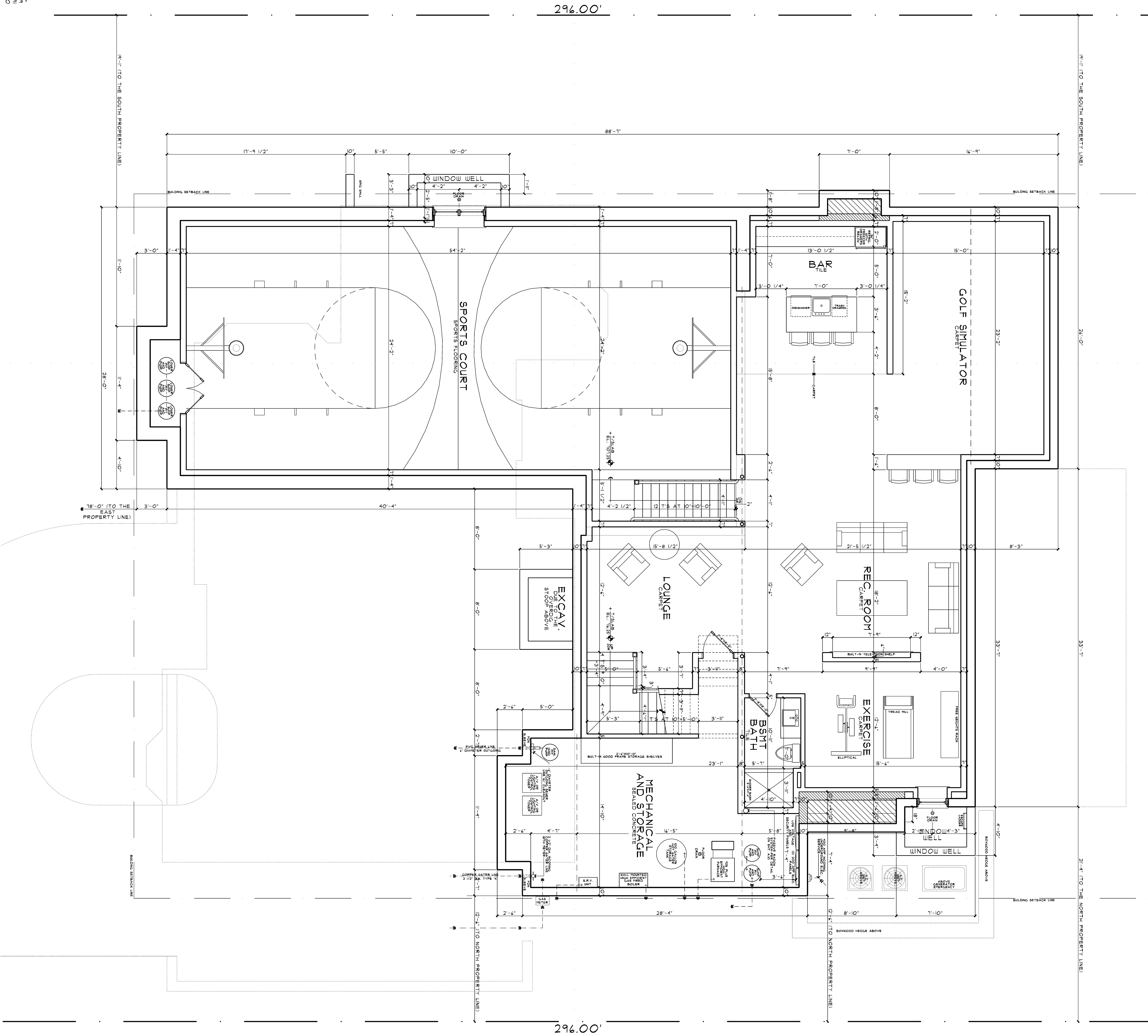
KENNA BUILDERS, INC  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.864.9041 CELL: 630.814.4042

ARCHITECTURAL DESIGN  
630.867.1406

**BASEMENT PLAN**

Scale: 1/4"=1'-0"

GROSS HEATED SQUARE FOOTAGE: 3496.34  
FINISHED SQUARE FOOTAGE: 3320.00  
FLOOR AREA RATIO: 0.00



SHEET  
**A.5**

EXPIRES: 11/30/20  
RICHARD L. OLSEN  
STATE OF ILLINOIS  
004-02777

**HILL RESIDENCE**  
122 SOUTH PARK AVE.  
HINSDALE, ILLINOIS

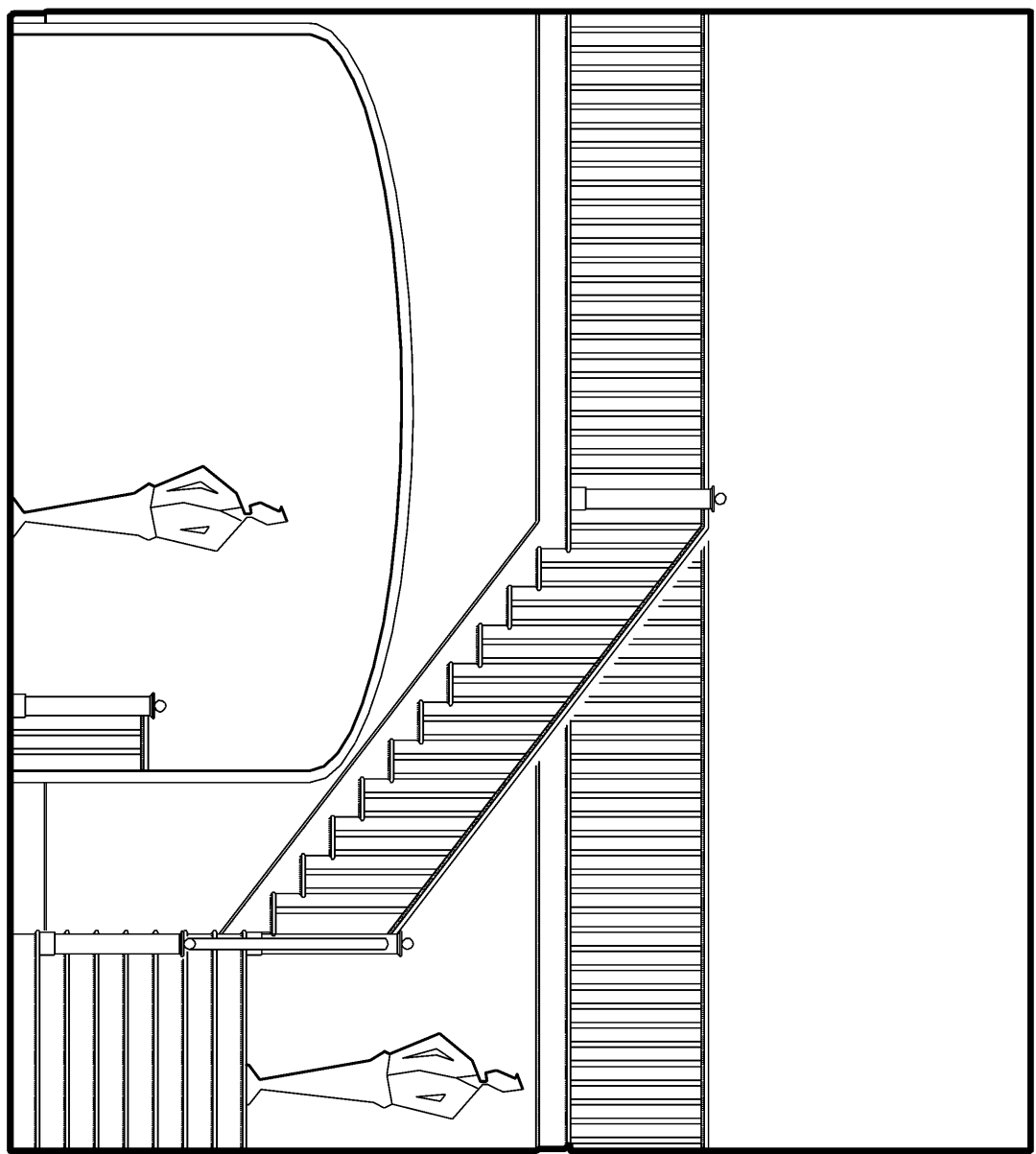
DATE ISSUED FOR  
11/27/18 OWNER REVIEW  
2/5/19 PERMIT & BID

DATE  
FEBRUARY 5, 2019  
GIVEN  
RICHARD OLSEN  
PROJECT NO.  
20111

**BASEMENT PLAN**

**KENNA BUILDERS, INC**  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.984.9047 CELL: 630.816.4042

**GO**  
ARCHITECTURAL  
DESIGN  
630.887.1406



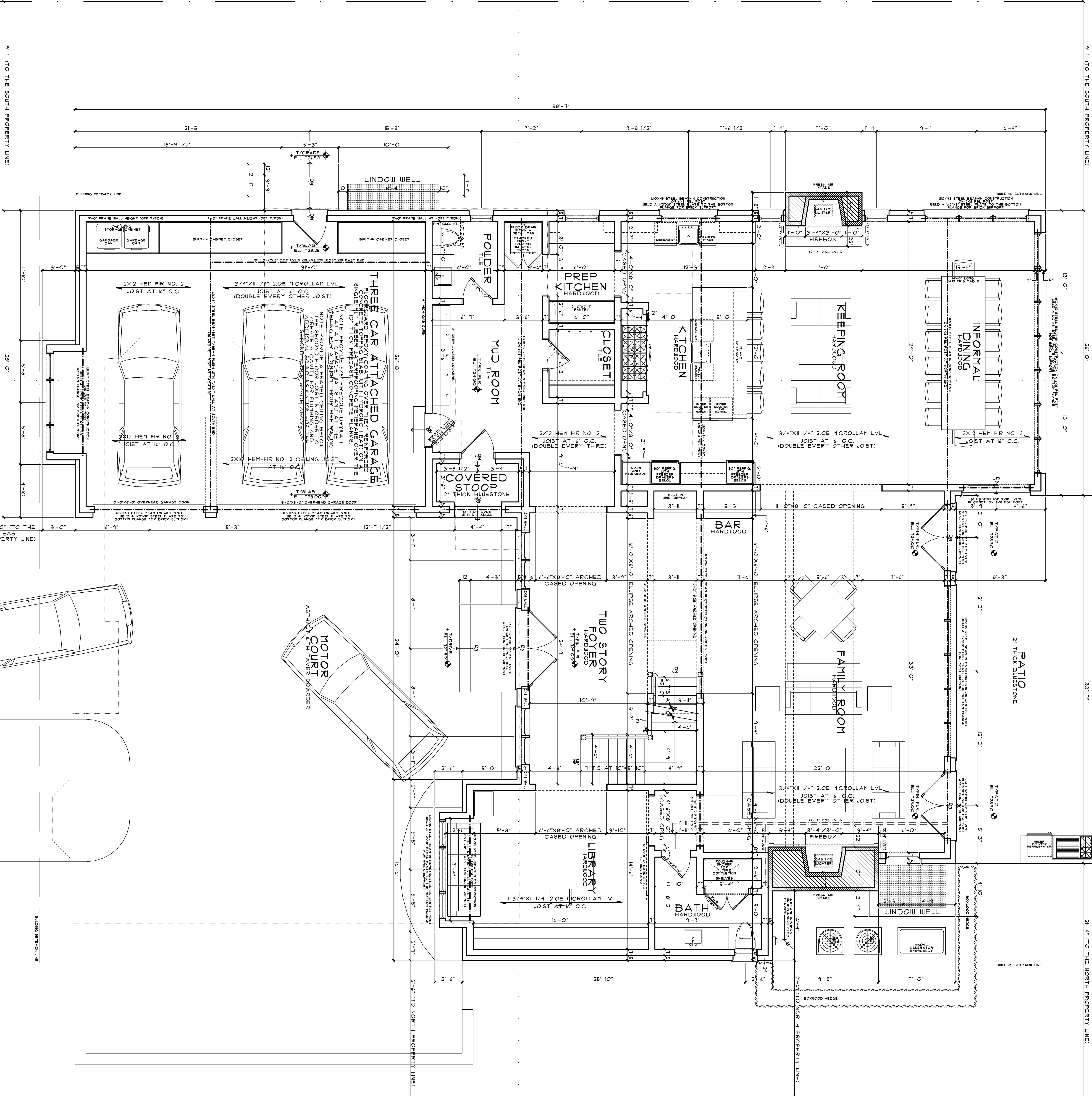
1 INTERIOR ELEVATION  
scale: 1/4"=1'-0"  
AT THE FOYER LOOKING WEST

296.00'

296.00'

A FIRST FLOOR PLAN  
scale: 1/4"=1'-0"

GROSS HEATED SQUARE FOOTAGE: 3411.4  
GROSS UNHEATED SQUARE FOOTAGE: 3500.0  
FLOOR AREA: 10,800.0



296.00'

FIRST FLOOR PLAN

KENNA BUILDERS, INC  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.984.9047 CELL: 630.816.4042

ARCHITECTURAL  
DESIGN  
630.887.1406

HILL RESIDENCE  
1222 SOUTH PARK AVE  
HINSDALE, ILLINOIS

DATE ISSUED FOR  
1/27/18 OWNER REVIEW  
2/5/19 PERMIT 1 BID  
201711

DATE FEBRUARY 5, 2019  
GIVEN  
RICHARD OLSEN  
PROJECT NO  
201711

LICENSED  
RICHARD L. OLSEN  
004-02777  
EXPIRES: 11/30/20

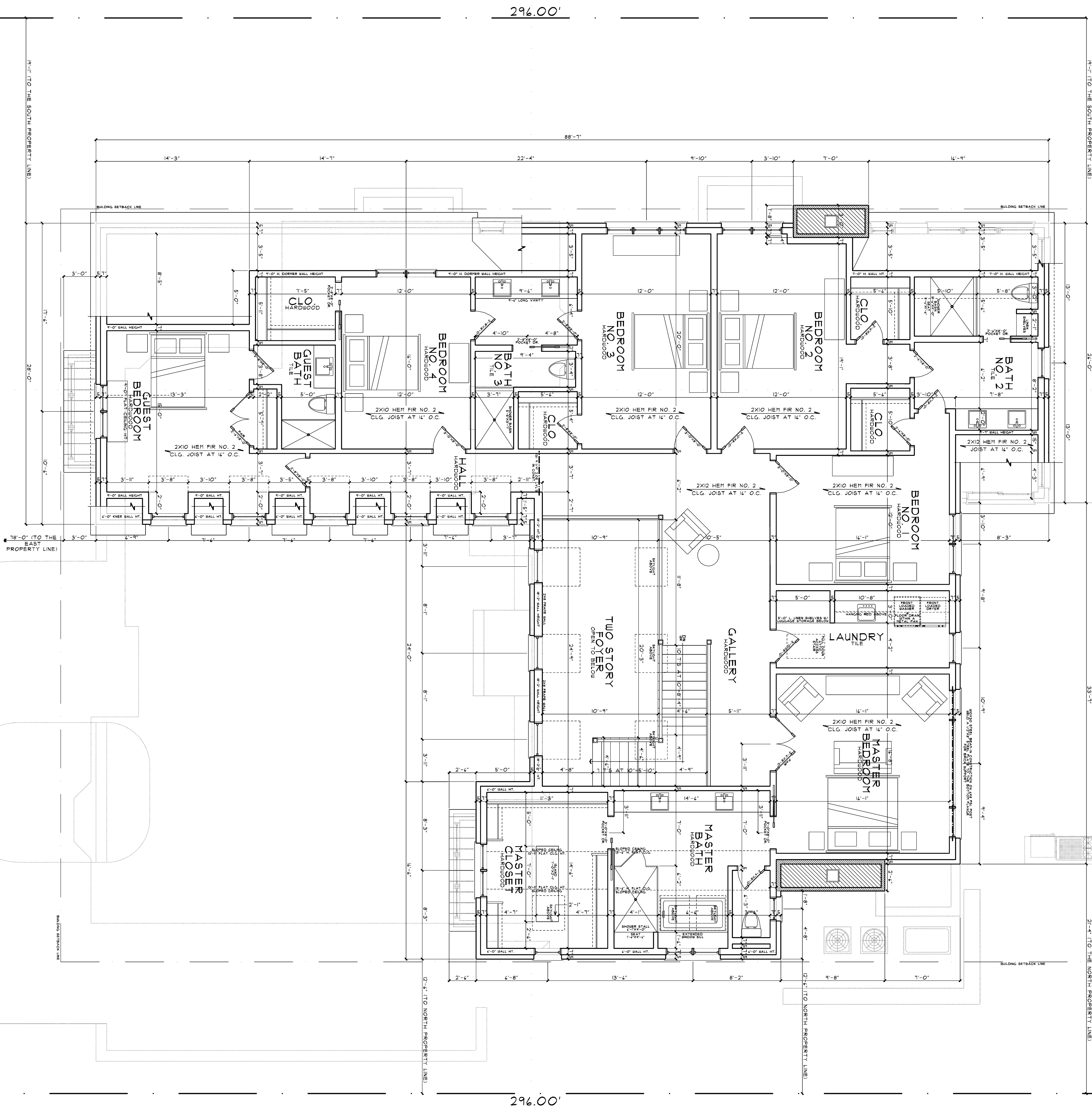
SHEET  
A.6



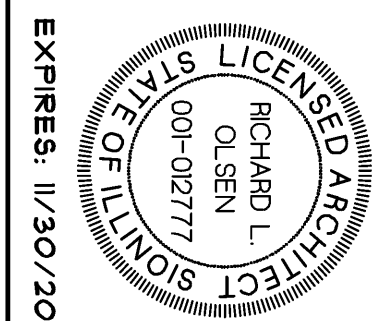
SECOND FLOOR PLAN

Scale: 1/4"=1'-0"

GROSS HEATED FLOOR AREA SQ. FTG.: 3241  
2 STORY FLOOR SQUARE FOOTAGE: 35378  
FLOOR AREA RATIO SQ. FTG.: 3241



SHEET  
A.7



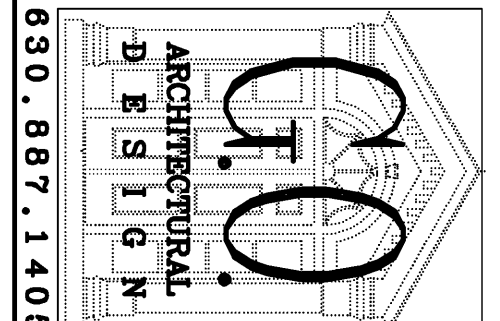
HILL  
RESIDENCE  
122 SOUTH PARK AVE.  
HINSDALE, ILLINOIS

DATE	ISSUED FOR
11/2/18	OWNER REVIEW
2/5/19	PERMIT 1 BID

DATE  
FEBRUARY 5, 2019  
GIVEN  
RICHARD OLSEN  
PROJECT NO.  
20111

SECOND FLOOR PLAN

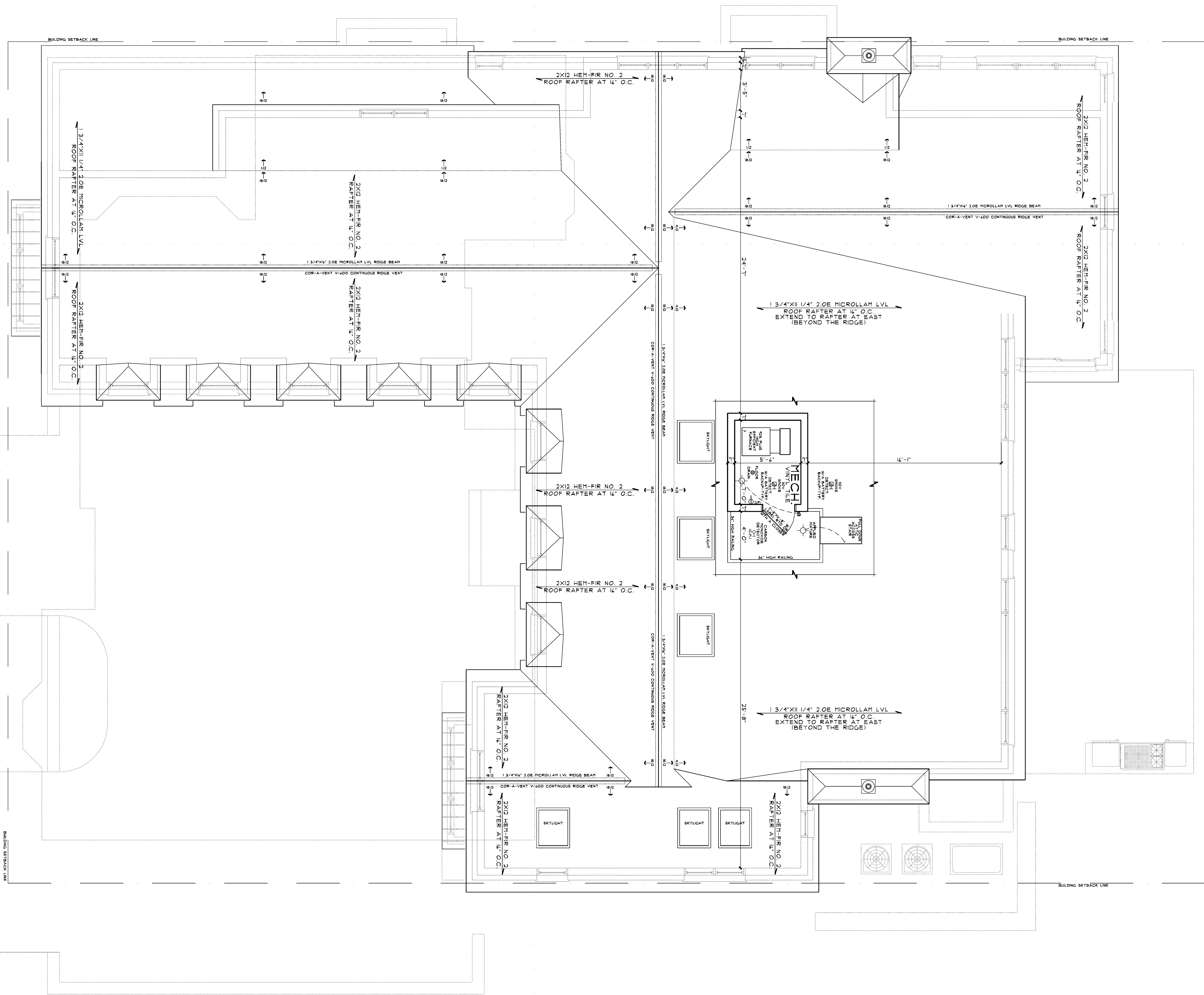
KENNA  
BUILDERS, INC  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.864.9041 CELL: 630.864.4042



ATTIC/ROOF PLAN

Scale: 1/4"=1'-0"

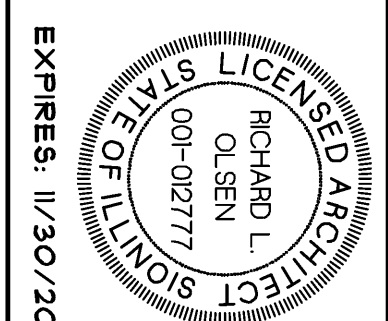
296.00'



296.00'



SHEET  
A.8



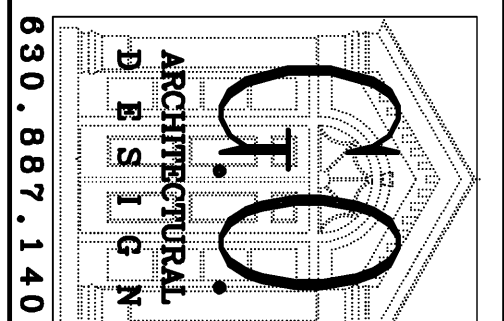
HILL  
RESIDENCE  
1222 SOUTH PARK AVE.  
HINSDALE, ILLINOIS

DATE	ISSUED FOR
11/27/18	OWNER REVIEW
2/5/19	PERMIT 1 BID
2011	

DATE  
FEBRUARY 5, 2019  
SCALE  
GIVEN  
RICHARD OLSEN  
PROJECT NO.  
20111

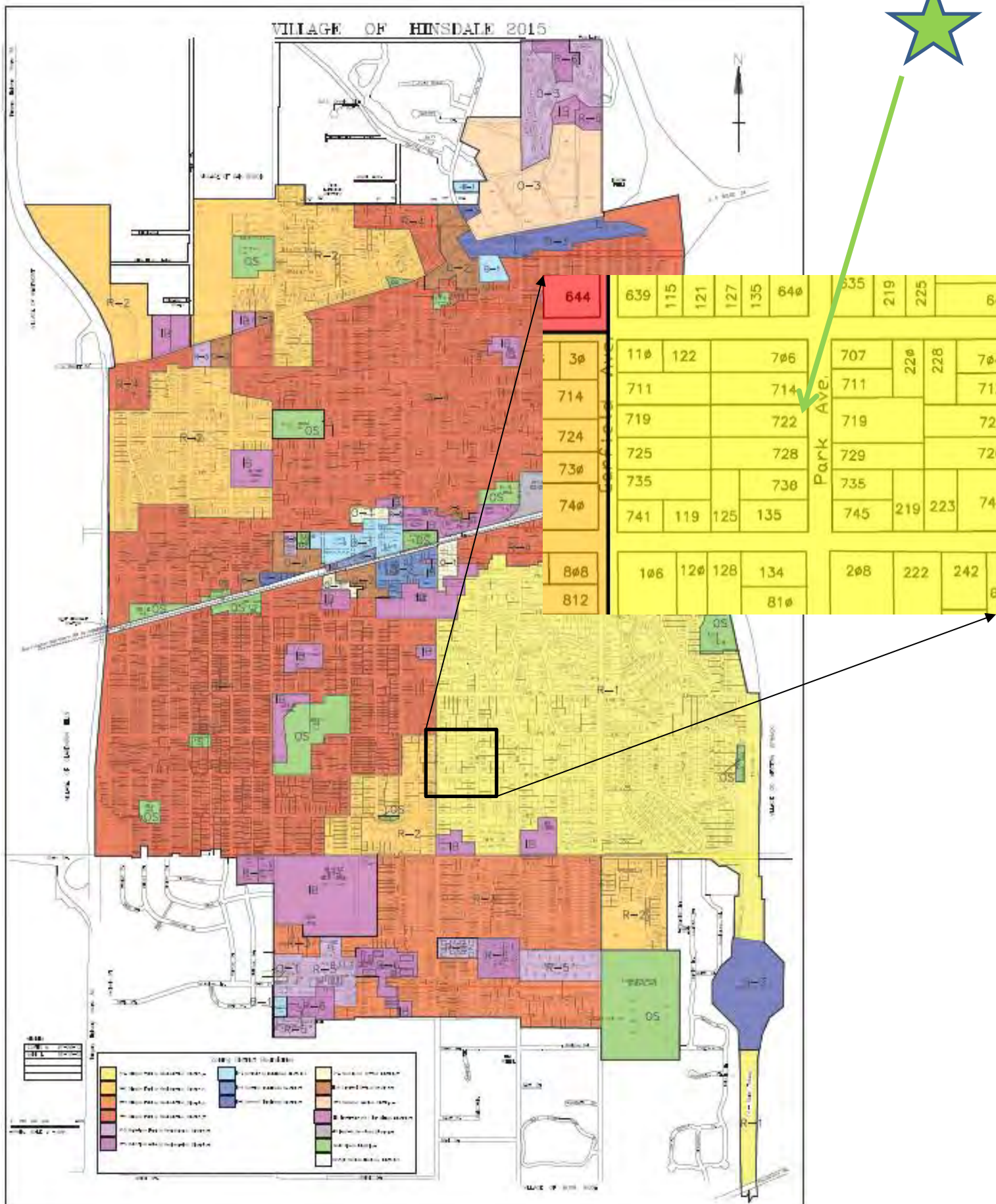
ATTIC/ROOF PLAN

KENNA  
BUILDERS, INC  
WWW.KENNABUILDERS.COM  
411 S. WASHINGTON ST  
HINSDALE, ILLINOIS  
PH: 630.984.9047 CELL: 630.814.4042

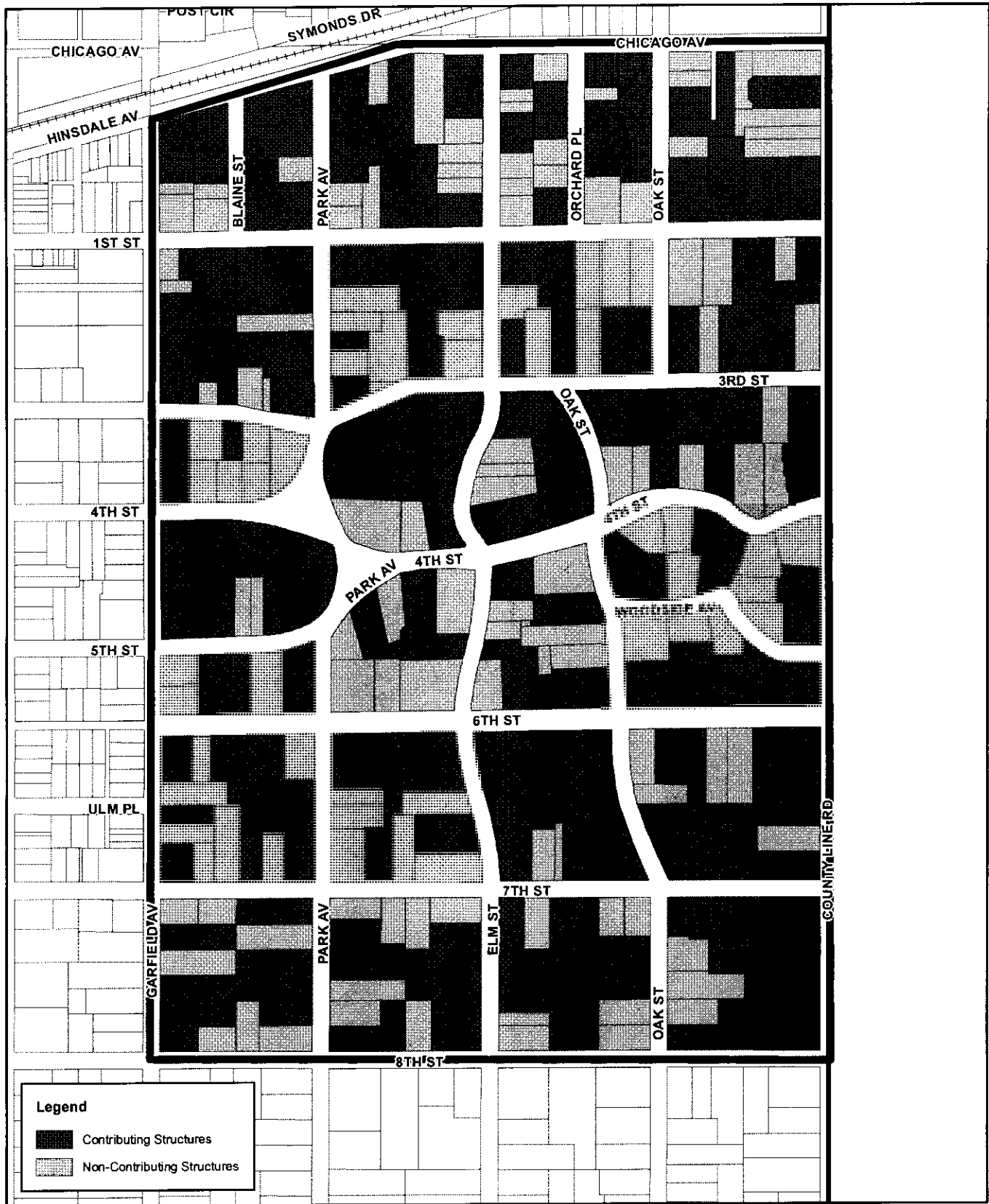




## Attachment 2: Village of Hinsdale Zoning Map and Project Location



# ROBBINS PARK HISTORIC DISTRICT



## Attachment 4

## CERTIFICATE OF APPROPRIATENESS

### 14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

#### **A. General Standards:**

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.



11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## **B. Design Standards:**

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

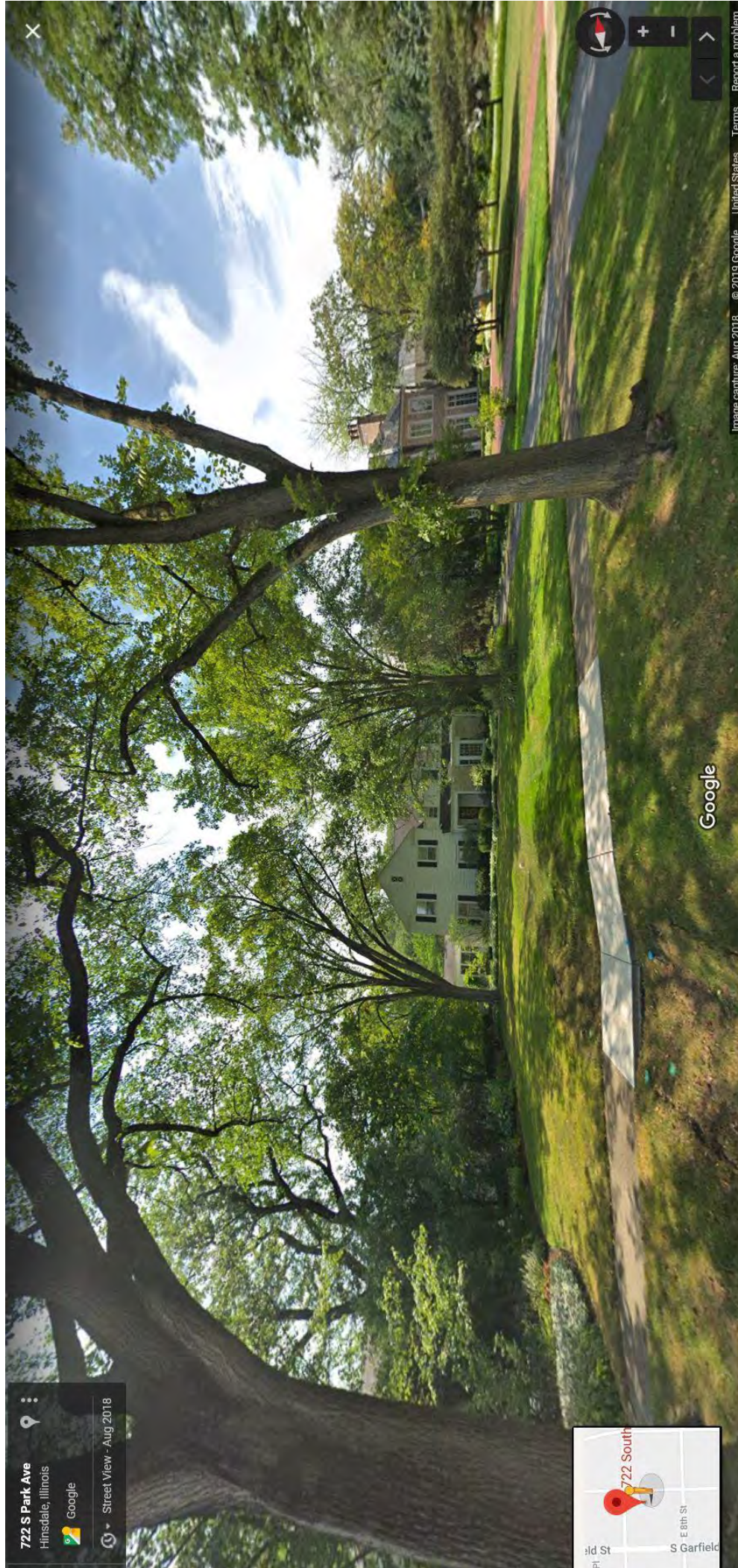
Section number 7 Page 19

Robbins Park Historic District  
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	IC OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
711	S PARK	Colonial Revival	1924	Sailor, C. M. House	C	NC	Thorud, Bert M.		Detached garage
714	S PARK	Neo-Traditional (under construction)	2006-08		NC	-			
719	S PARK	Craftsman	c. 1915		C	NC			Detached garage
722	S PARK	Colonial Revival	1941	Marshall, F. O. House	C	NC		Nelson, John	Detached garage
728	S PARK	Classical Revival	c. 1925		C	NC			Detached garage
729	S PARK	Neo-Traditional	1994		NC	-	Wigori, Carl		
735	S PARK	Neo-Traditional	2005-06		NC	NC			Detached garage
736	S PARK	Tudor Revival	1916	Jacks, Arthur House	C	C	Buckley, A. W. & Co.		Detached garage
110	E SEVENTH	No Style	1886		NC	-			
115	E SEVENTH	Neo-Traditional	2005-06		NC	-			
121	E SEVENTH	French Eclectic	1924	Walker House	NC	C	Foltz & Brand	Braun & Loehman	Detached garage
122	E SEVENTH	No style (altered)	1951	Chiska House	NC	-	Cohen, Arthur S.		
127	E SEVENTH	French Eclectic	c. 1925		C	NC			Detached garage
135	E SEVENTH	French Eclectic	c. 1940		NC	NC			Detached garage
219	E SEVENTH	Colonial Revival Cottage	1956		C	-	Smithson, A. T.	Dressler, Paul	
220	E SEVENTH	No style	1927	Schmidt, R. F. House	NC	NC	Armstrong, Furst, and Tilton	Soltwisch, William & Son	Detached garage
225	E SEVENTH	Neo-Traditional	2002		NC	-	Estenssoro, Sergio G.	Barrett Builders	
228	E SEVENTH	Neo-Traditional	2002		NC	-			
311	E SEVENTH	Neo-Traditional	1995		NC	NC	Buss, Michael	Knight, Dave	Detached garage
312	E SEVENTH	Neo-Traditional	2002		NC	-	R.A.M	Key Brothers	
321	E SEVENTH	Colonial Revival Cottage	c. 1940		C	-			



**Attachment 6: Street View 722 S. Park Ave. (facing west)**



**Attachment 6**



**z** ←





## MEMORANDUM

**DATE:** May 1, 2019

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 324 S. Elm St. – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District – Case HPC-02-2019

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### Summary

The Village of Hinsdale has received an application from Andrew Grieve, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District with no plans to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

### Request and Analysis

The subject property is located on an interior lot on South Elm Street. The existing home was constructed in 1916 in a Prairie style according to the National Register of Historic Places. The applicant would like to seek the right to obtain a demolition permit before plans for the safety and security of the home and property. The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. It is a legal nonconforming R-1 lot that is approximately 19,351 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure in the Robbins Park Historic District.

### Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



## MEMORANDUM

### **Attachments:**

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - National Register of Historic Places Sheet
- Attachment 6 - 324 S. Elm St. Street View
- Attachment 7 - 324 S. Elm St. Aerial View

**VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 324 S. Elm Street, Hinsdale, IL 60521  
Property Identification Number: 09-12-212-0000

**I. GENERAL INFORMATION**

1. Applicants Name: Andrew Grieve  
Address: 609 S. Bruner Street  
Hinsdale, IL 60521  
Telephone Number: (312) 731-1615
2. Owner of Record (if different from applicant): \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_
3. Others involved in project (include, name, address and telephone number):  
Architect: \_\_\_\_\_  
Attorney: Peter Coules, Jr., Donatelli & Coules, Ltd. - (630) 920-0406  
15 Salt Creek Lane, Suite 312, Hinsdale, IL 60521  
Builder: Greenside Design Build, LLC - (630) 913-1385  
7320 S. Madison Street, Suite 300, Willowbrook, IL 60527  
Engineer: \_\_\_\_\_

**II. SITE INFORMATION**

1. Describe the existing conditions of the property: Fair condition. The interior and exterior needs to be almost completely replaced. Plus change of floor plan, including ceilings, floors, walls, staircases and doorways.
2. Property Designation:  
  
Listed on the National Register of Historic Places?        YES   x   NO  
  
Listed as a Local Designated Landmark?        YES   x   NO  
  
Located in a Designated Historic District?   x   YES        NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

Demolition of existing home. No plans or approval for new construction. We are  
Requesting demolition before plans for the safety and security of the home and property

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4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☒ No ☐ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

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## CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☒ **INDIVIDUAL OWNERS**

  
\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

☐ **CORPORATION**

\_\_\_\_\_  
Signature of Applicant's President

\_\_\_\_\_  
Signature of Applicant's Secretary

☐ **PARTNERSHIP**

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

**LAND TRUST**

\_\_\_\_\_  
Signature

**OTHER**

\_\_\_\_\_  
Signature of Authorized Officer

SUBSCRIBED AND SWORN  
to before me this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Notary Public

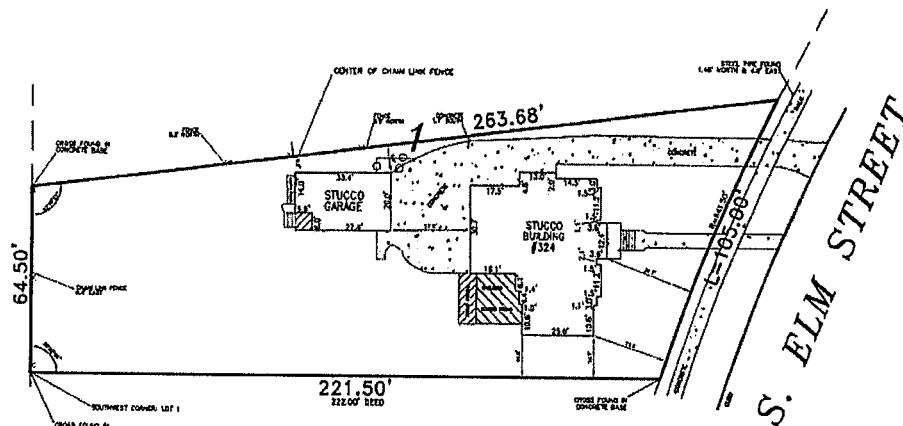
### Exhibit "A"

Applicant, who lives in another house in Hinsdale, is applying for a "Certificate of Appropriateness" in order to demolish the current home on the property commonly known as 324 S. Elm Street, Hinsdale, IL 60521. The home is multi-level with small door frames, low doorways, staircases one has to bend to walk down, small rooms, and an addition on the east side. Also, the basement and third floor have very low ceilings and the duct mount in the third floor office has to be stepped over. The home is currently not in the best repair (see attached pictures) and does not conform with the surrounding homes in the neighborhood. In fact, across the street all homes are new. No one is living in the house due to safety and security concerns. The owners desire to demolish the home and come back at a different time with proposed plans.

The existing home is not historically significant and is not on the National Registry nor is it a Local Designed Landmark (the owners do not receive any tax benefits). The existing home was built in the early 1900's. The house, from the exterior when the District was created, was deemed contributory but not significant. Approximately 65% of the houses in the District were deemed contributory. As stated, the owners desire to protect themselves from liability and the house needs to be demolished to protect their interests, as they are not going to move any walls and completely rebuild the interior of the house and also the foundation. The lot is a beautiful piece of property and they intend to construct a home that utilizes the property and fits into the neighborhood.

# PLAT OF SURVEY

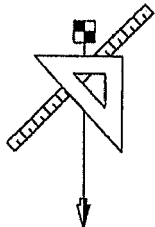
THAT PART OF LOT 1 DESCRIBED BY BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 1, 64.5 FEET NORTH OF THE SOUTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH 64.5 FEET TO THE SOUTHWEST CORNER OF SAID LOT; THENCE EAST ON THE SOUTH LINE, 222.0 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE NORTH ON THE EASTERLY LINE OF SAID LOT, 105.0 FEET; THENCE WESTERLY ON A STRAIGHT LINE TO THE PLACE OF BEGINNING, IN BLOCK 6 IN W. ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1871 AS DOCUMENT 14048, IN DUPAGE COUNTY, ILLINOIS.



## NOTES:

1. AREA: 19,010 SQ FT MORE OR LESS

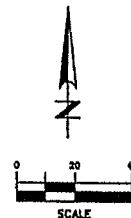
PREPARED FOR: BRIAN J. MULHERN, P.C.



**Urchell and Associates, Inc.**  
Land Surveying Services

PHONE 708.922.7155  
FAX 773.893.9500  
WEBSITE: www.urchellandassociates.com

DESIGN FIRM REGISTRATION #164-004894



FIELD WORK COMPLETED: 12/27/18

THIS PROFESSIONAL SERVICE CONFORMS TO THE  
CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

DATED: 12/27/18

*Robert J. Urchell*

NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT  
ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED  
PRIOR TO COMMENCEMENT OF CONSTRUCTION.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO  
YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING AND  
ZONING ORDINANCES.

ROBERT J. URCELL I.P.L.S. No. 3438  
LICENSE RENEWAL DATE: NOVEMBER 30, 2020  
SURVEY No. 18-11-010



8 0 0 1 1 7 0 3  
Tx:40006522

2018-04219-PT  
**TRUSTEES' DEED**

**Property:**

324 S. Elm Street  
Hinsdale, IL 60521  
PIN: 09-12-212-010

FRED BUCHOLZ, RECORDER  
DUPAGE COUNTY ILLINOIS  
01/02/2019 03:46 PM  
RHSP

COUNTY TAX STAMP FEE 552.50  
STATE TAX STAMP FEE 1,105.00

DOCUMENT # R2019-000234

**Subsequent Tax Bills To:**

Andrew and Julie Grieve  
324 S. Elm Street  
Hinsdale, IL 60521

GRANTORS, HOWARD R. JONES, as Trustee of The Howard R. Jones Revocable Living Trust Dated June 20, 1994 (As Amended/Restated February 21, 2017) and BARBARA A. JONES, as Trustee of the Barbara A. Jones Revocable Trust dated June 20, 1994 (As Amended/Restated February 21, 2017), husband and wife, now of Hinsdale, Illinois, in consideration of Ten Dollars in hand paid and other good and valuable consideration, hereby convey, with covenants of warranty of title to GRANTEES ANDREW J. GRIEVE and JULIE ~~W~~ GRIEVE, husband and wife, now of Hinsdale, Illinois, to hold as ~~Tenants by the Entirety~~, the above-referenced Property located in DuPage County, Illinois, which is legally described in Exhibit "A" attached. *Joint Tenants with rights of survivorship*

DATED this 27<sup>th</sup> day of December, 2018.

THE HOWARD R. JONES  
REVOCABLE LIVING TRUST  
DATED JUNE 20, 1994

(As Amended/Restated February 21, 2017)

THE BARBARA A. JONES  
REVOCABLE LIVING TRUST  
DATED JUNE 20, 1994

(As Amended/Restated February 21, 2017)

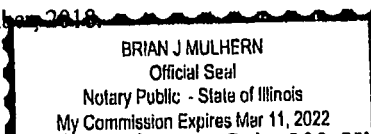
By: Howard R. Jones  
Howard R. Jones, Trustee

By: Barbara A. Jones  
Barbara A. Jones, Trustee

State of Illinois, County of DuPage ) ss.

I, the undersigned, a Notary Public in and for said County and State, DO HEREBY CERTIFY that Howard R. Jones and Barbara A. Jones, husband and wife, now of Hinsdale, Illinois, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as Trustee of The Howard R. Jones Revocable Living Trust Dated June 20, 1994 (as Amended/Restated February 21, 2017) and the Barbara A. Jones Revocable Living Trust dated June 20, 1994, (As Amended/Restated February 21, 2017) respectively (or having produced sufficient identification), appeared before me this day in person and acknowledged signing the said instrument as a free and voluntary act individually as Trustees and on behalf of such Trusts, for the uses and purposes therein set forth.

Given under my hand and official seal  
this 27<sup>th</sup> day of December, 2018.



Brian J. Mulhern  
Notary Public

Prepared by: Brian J. Mulhern, 15 Salt Creek Lane, Suite 200, Hinsdale, IL 60521 (630) 850-9550  
Upon Recording, Mail to: Thomas Anselmo; Anselmo Lindberg & Associates, LLC;  
1771 W. Diehl Road, Suite 250, Naperville, IL 60563

MAIL TO:  
PREMIER TITLE  
1000 JORIE BLVD., SUITE 136  
OAK BROOK, IL 60523  
630-571-2111

**EXHIBIT "A"**  
**Legal Description**

File No.: 2018-04219-PT

THAT PART OF LOT 1 DESCRIBED BY BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 1, 64.5 FEET NORTH OF THE SOUTHWEST CORNER THEREOF AND RUNNING THENCE SOUTH 64.5 FEET TO THE SOUTHWEST CORNER OF SAID LOT; THENCE EAST ON THE SOUTH LINE, 222.0 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE NORTH ON THE EASTERLY LINE OF SAID LOT, 105.0 FEET; THENCE WESTERLY ON A STRAIGHT LINE TO THE PLACE OF BEGINNING, IN BLOCK 6 IN W. ROBBIN'S PARK ADDITION TO HINSDALE, BEING A SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 AND OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1871 AS DOCUMENT 14048, IN DUPAGE COUNTY, ILLINOIS.

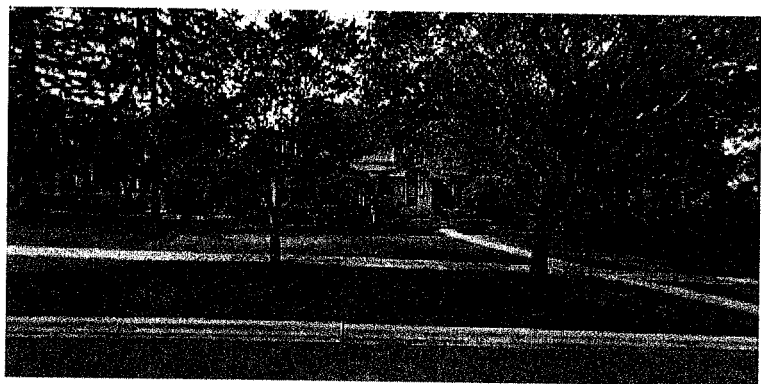
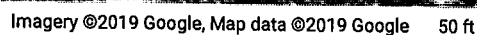
COMMONLY KNOWN AS: 324 S. Elm Street, Hinsdale, IL 60521

PERMANENT INDEX NO.: 09-12-212-010

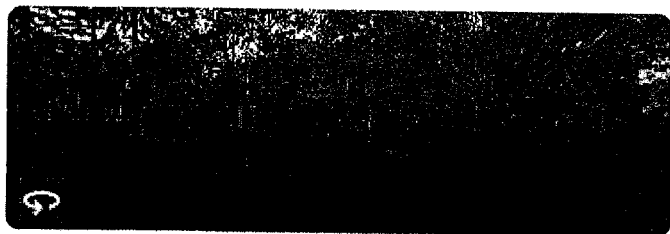
Subject only to: Real estate taxes for 2018 and subsequent years; Covenants, conditions restrictions and easements of record.



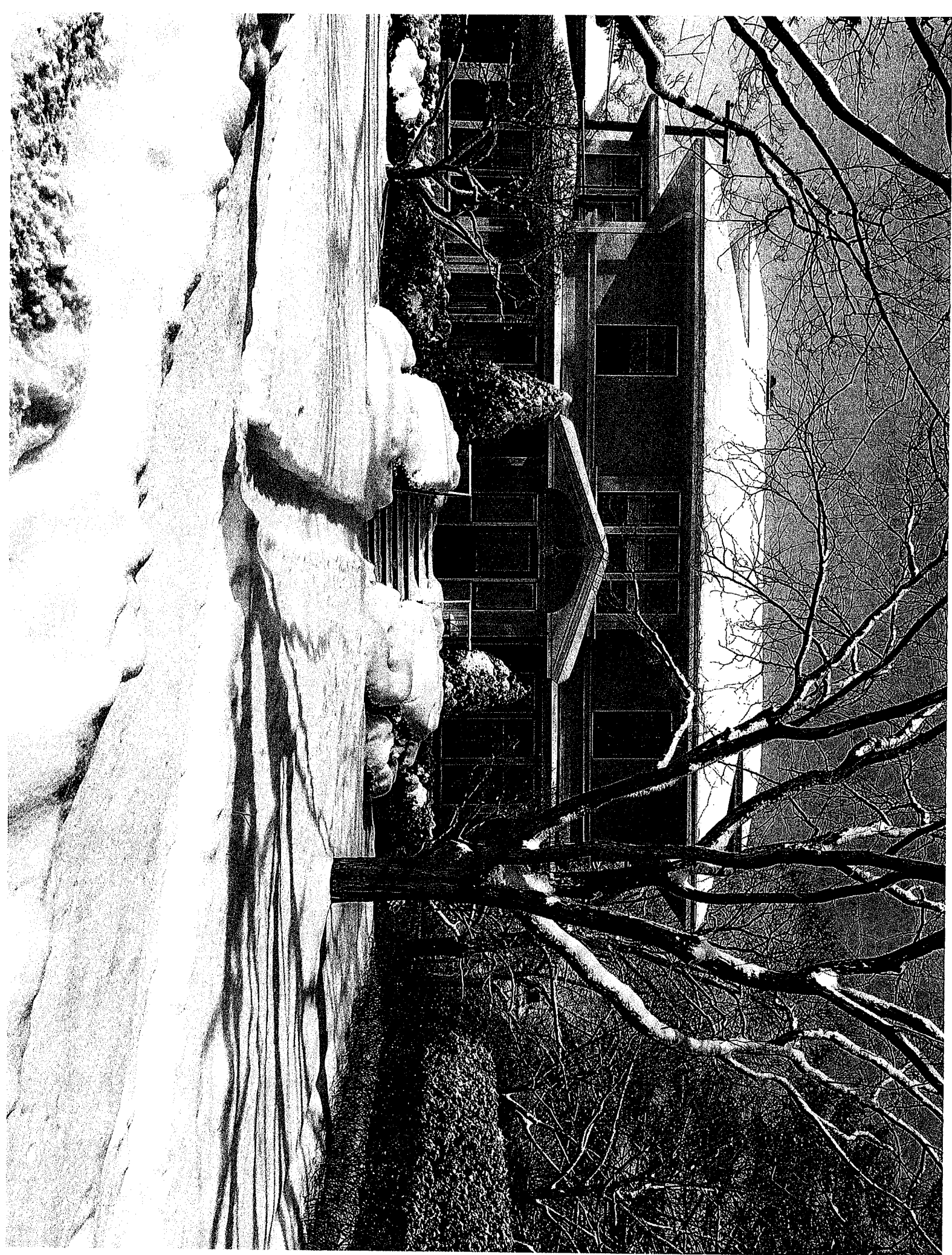




## Photos

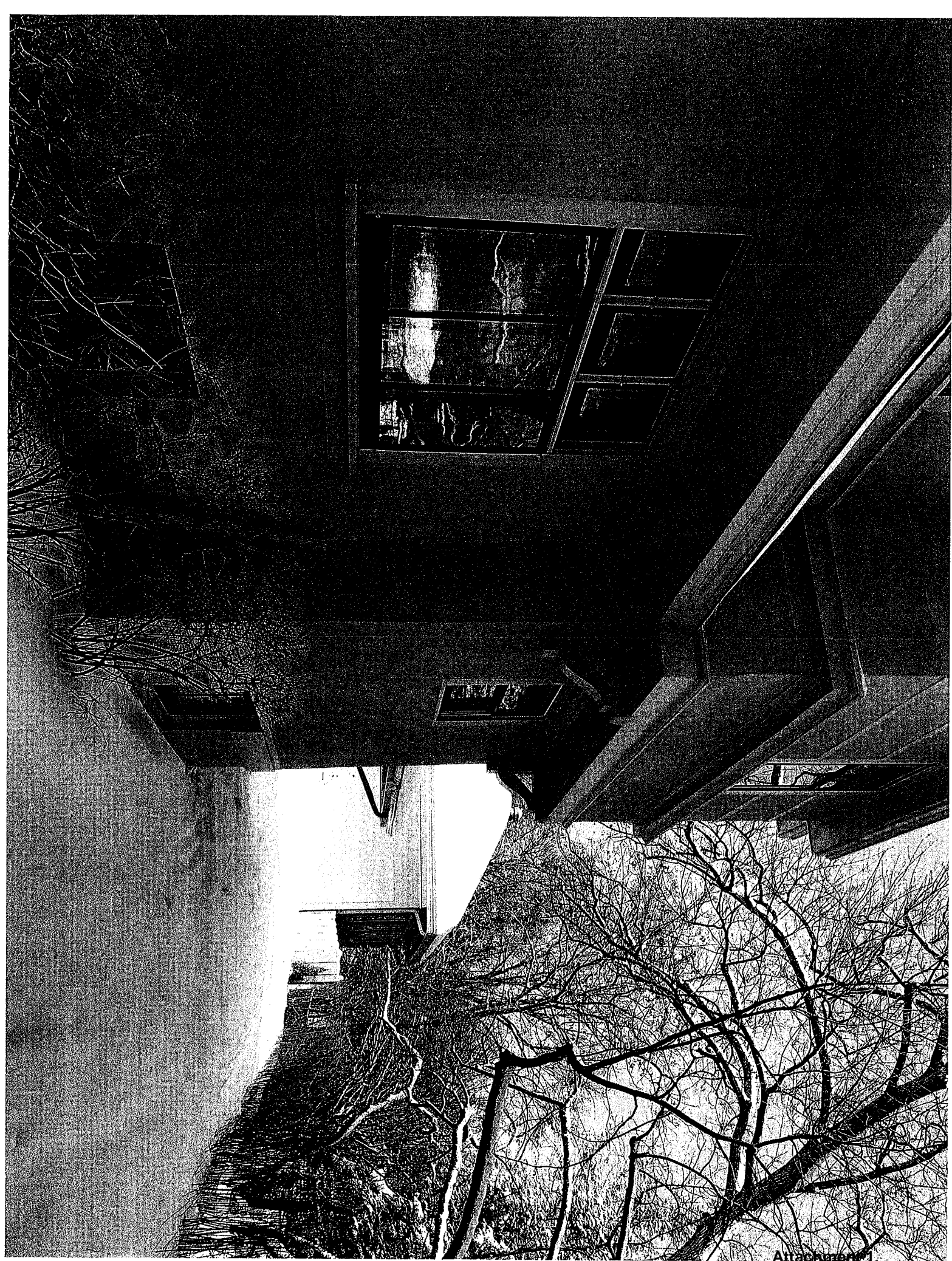


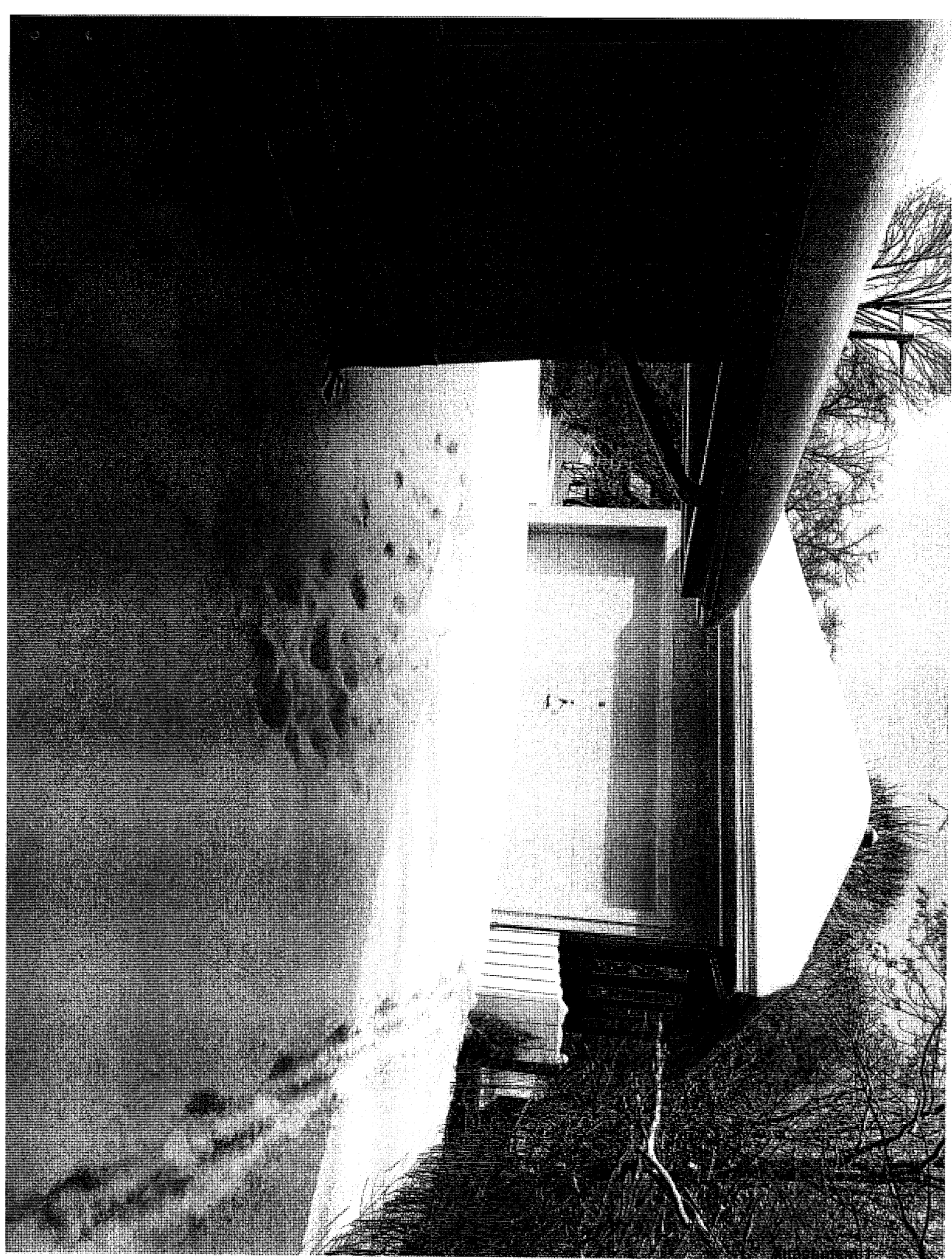








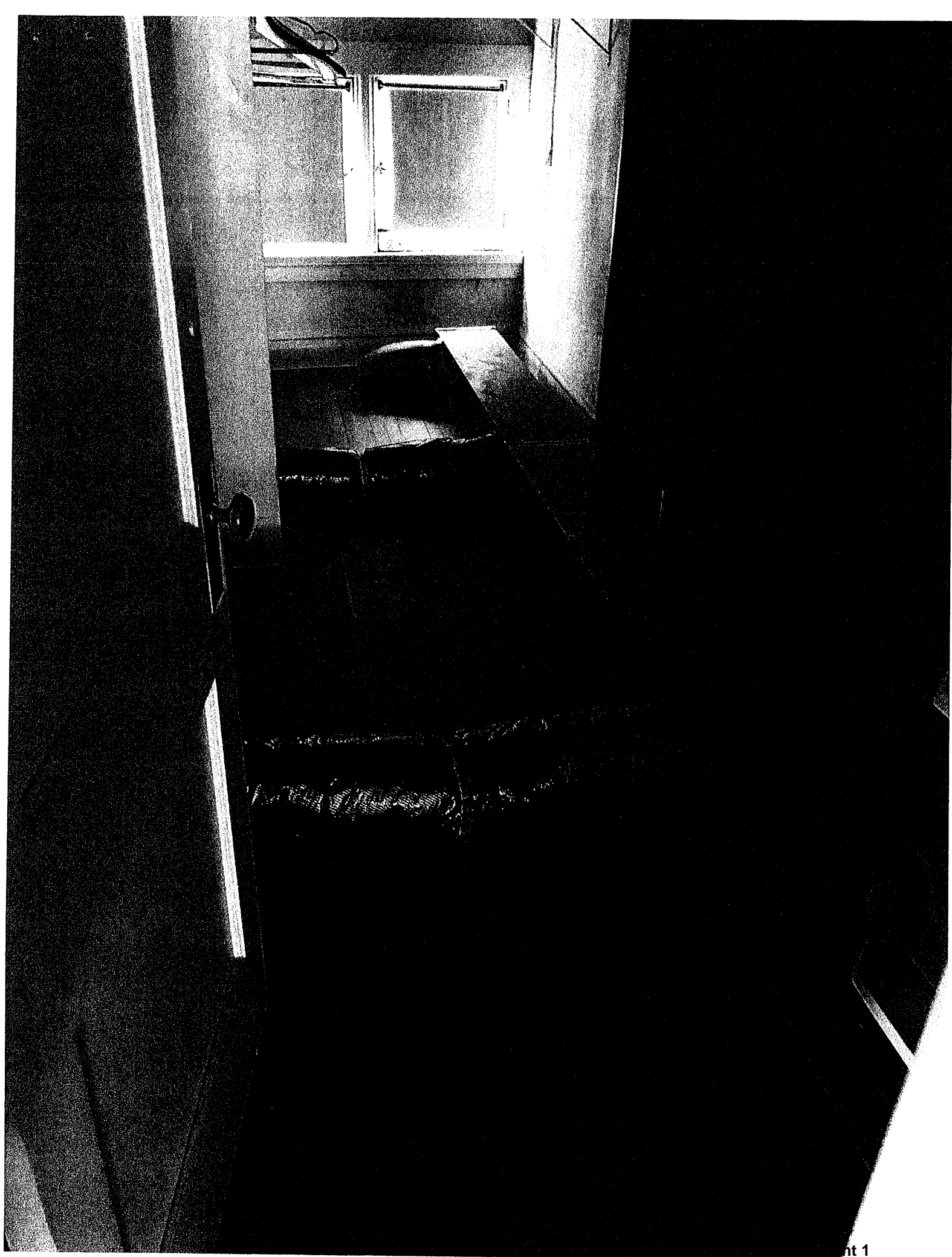




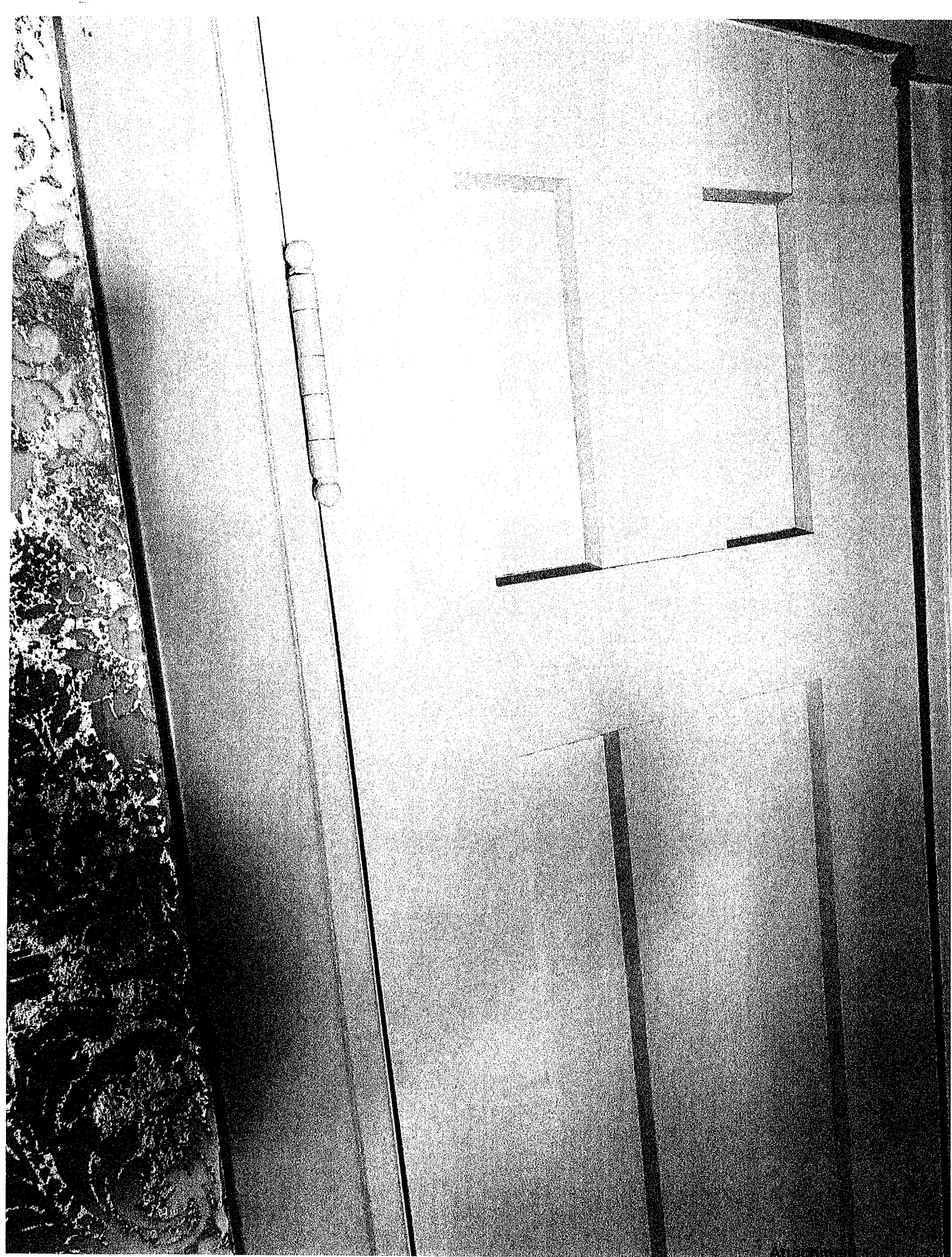




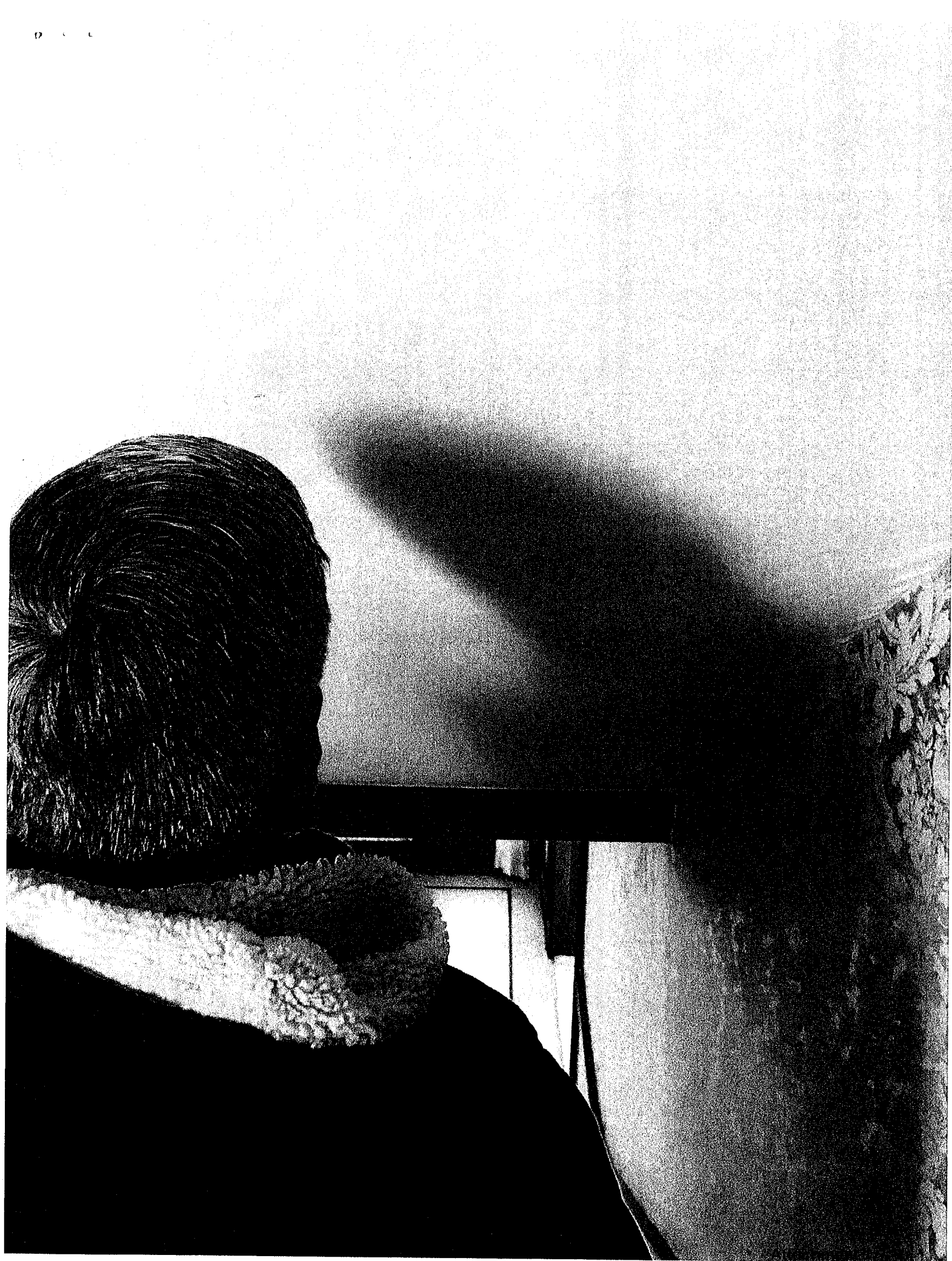


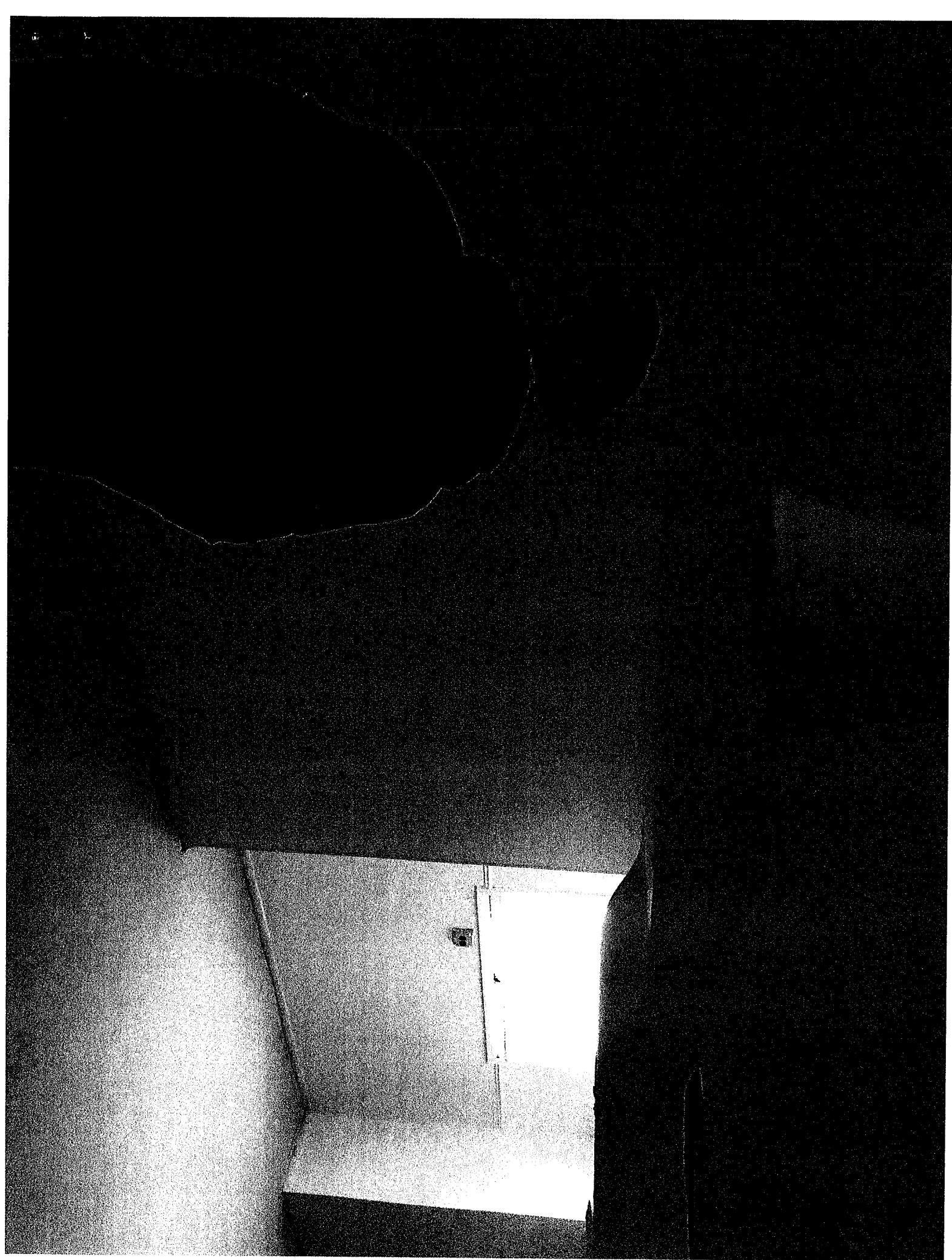




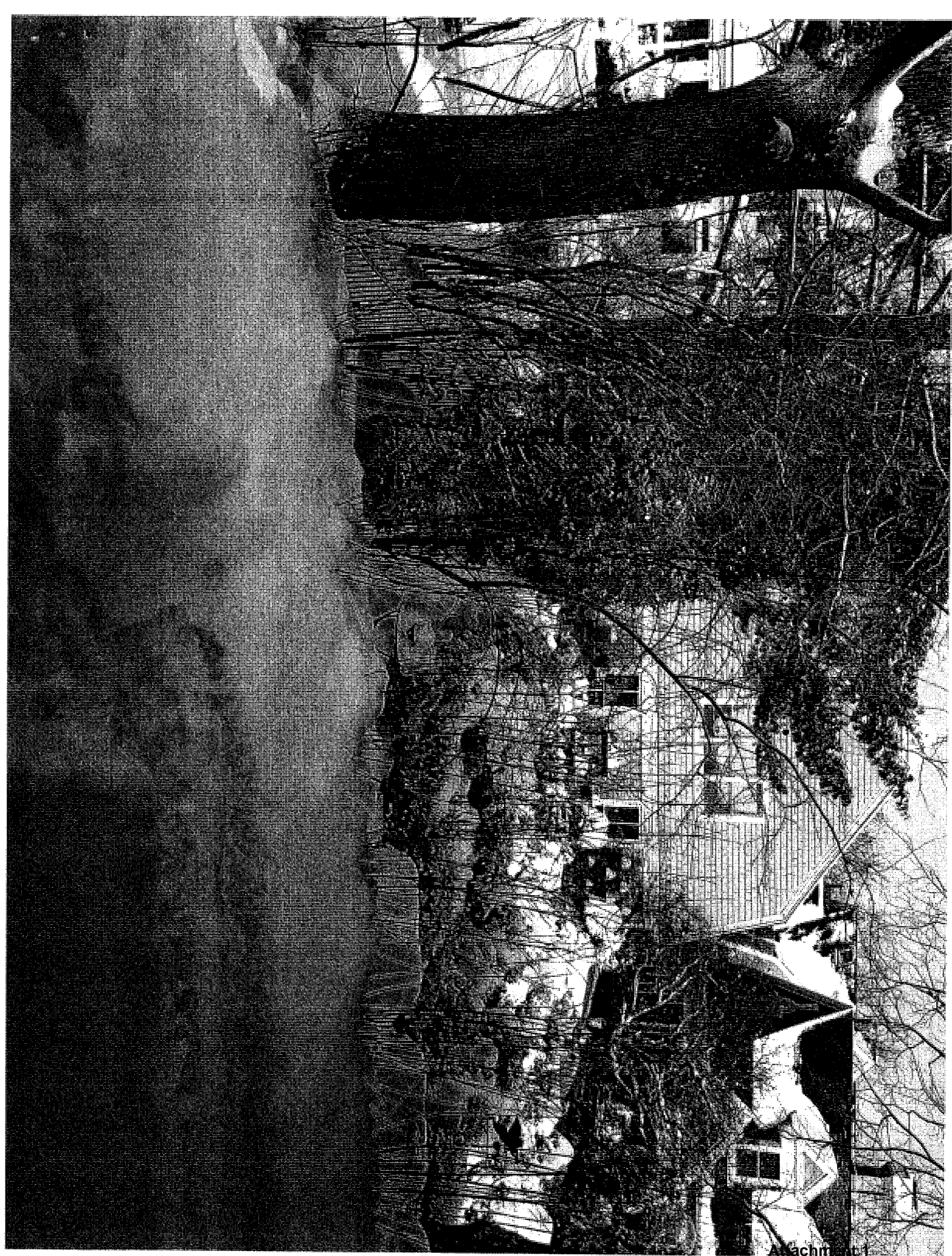




















**VILLAGE OF HINSDALE**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
19 East Chicago Avenue  
Hinsdale, Illinois 60521-3489  
630.789.7030

**Application for Certificate of Zoning Compliance**

*You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.*

**Applicant's name:** Andrew Grieve

**Owner's name (if different):** \_\_\_\_\_

**Property address:** 324 S. Elm Street, Hinsdale, IL 60521

**Property legal description:** [attach to this form]

**Present zoning classification:** R-1, Single Family Residential

**Square footage of property:** 4,534 Sq.Ft.

**Lot area per dwelling:** 4,534 Sq.Ft.

**Lot dimensions:** 105 x 221

**Current use of property:** Single Family Residence

**Proposed use:** ☒ Single-family detached dwelling  
☐ Other: \_\_\_\_\_

**Approval sought:** ☒ Building Permit ☐ Variation  
☐ Special Use Permit ☐ Planned Development  
☐ Site Plan ☐ Exterior Appearance  
☐ Design Review  
☐ Other: \_\_\_\_\_

**Brief description of request and proposal:**

Demolition of existing home

**Plans & Specifications:** [submit with this form]

**Provided:                      Required by Code:**

**Yards:**

front:	<u>N/A</u>	<u>35'</u>
interior side(s)	<u>N/A / N/A</u>	<u>N/A / N/A</u>

Provided:

Required by Code:

corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>N/A</u>	<u>25'</u>

**Setbacks (businesses and offices):**

front:	<u>N/A</u>	<u>N/A</u>
interior side(s)	<u>N/A / N/A</u>	<u>N/A / N/A</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>N/A</u>	<u>N/A</u>
others:	<u>N/A</u>	<u>N/A</u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>

**Building heights:**

principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

**Maximum Elevations:**

principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Dwelling unit size(s):	<u>N/A</u>	<u>N/A</u>
------------------------	------------	------------

Total building coverage:	<u>N/A</u>	<u>N/A</u>
--------------------------	------------	------------

Total lot coverage:	<u>N/A</u>	<u>N/A</u>
---------------------	------------	------------

Floor area ratio:	<u>N/A</u>	<u>N/A</u>
-------------------	------------	------------

Accessory building(s):	<u>N/A</u>	
------------------------	------------	--

**Spacing between buildings: [depict on attached plans]**

principal building(s):	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

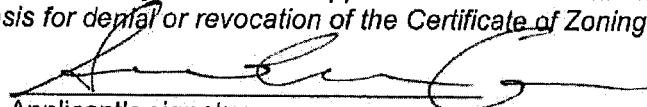
Number of off-street parking spaces required: N/A

Number of loading spaces required: N/A

**Statement of applicant:**

*I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.*

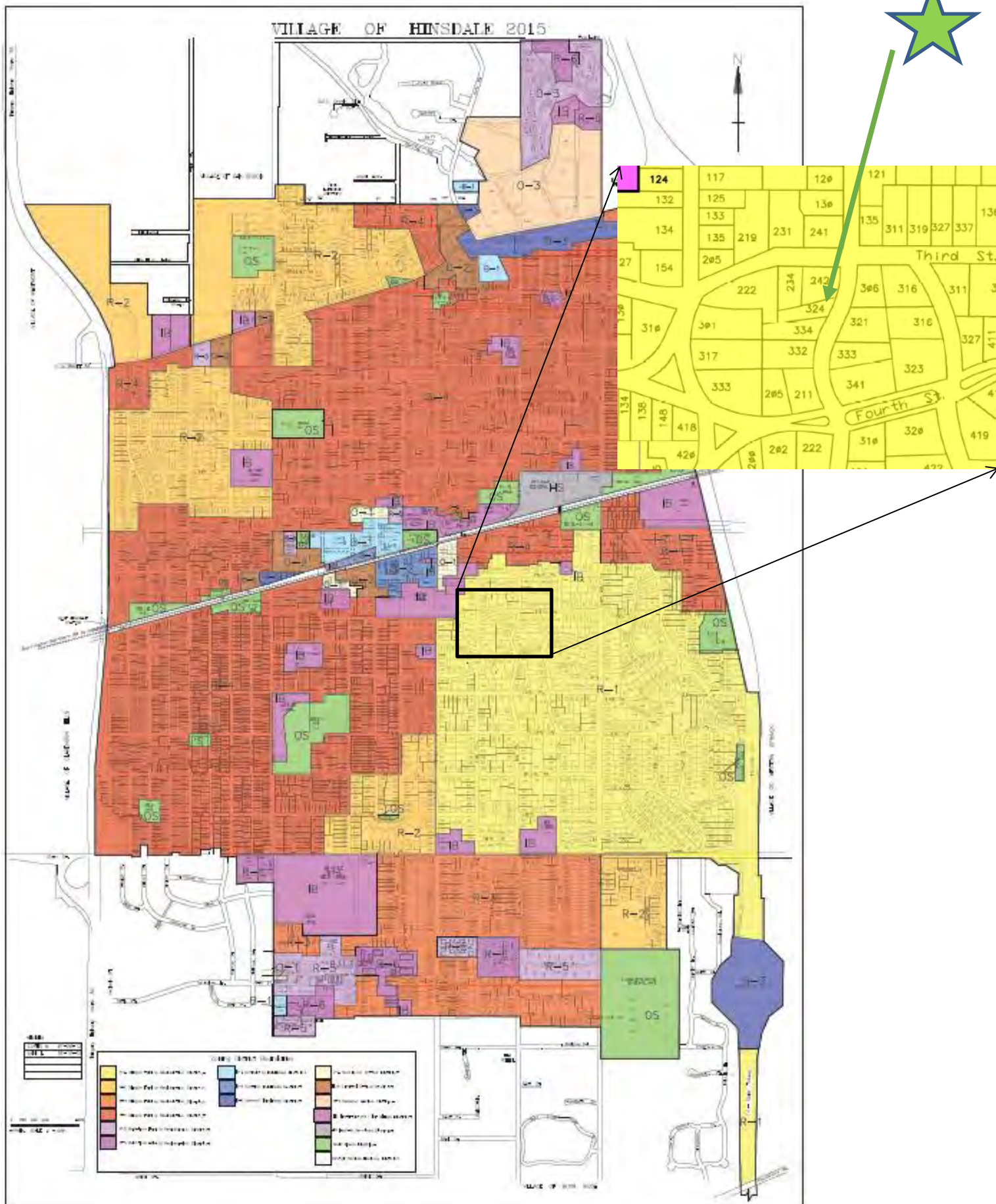
By:

  
Applicant's signature

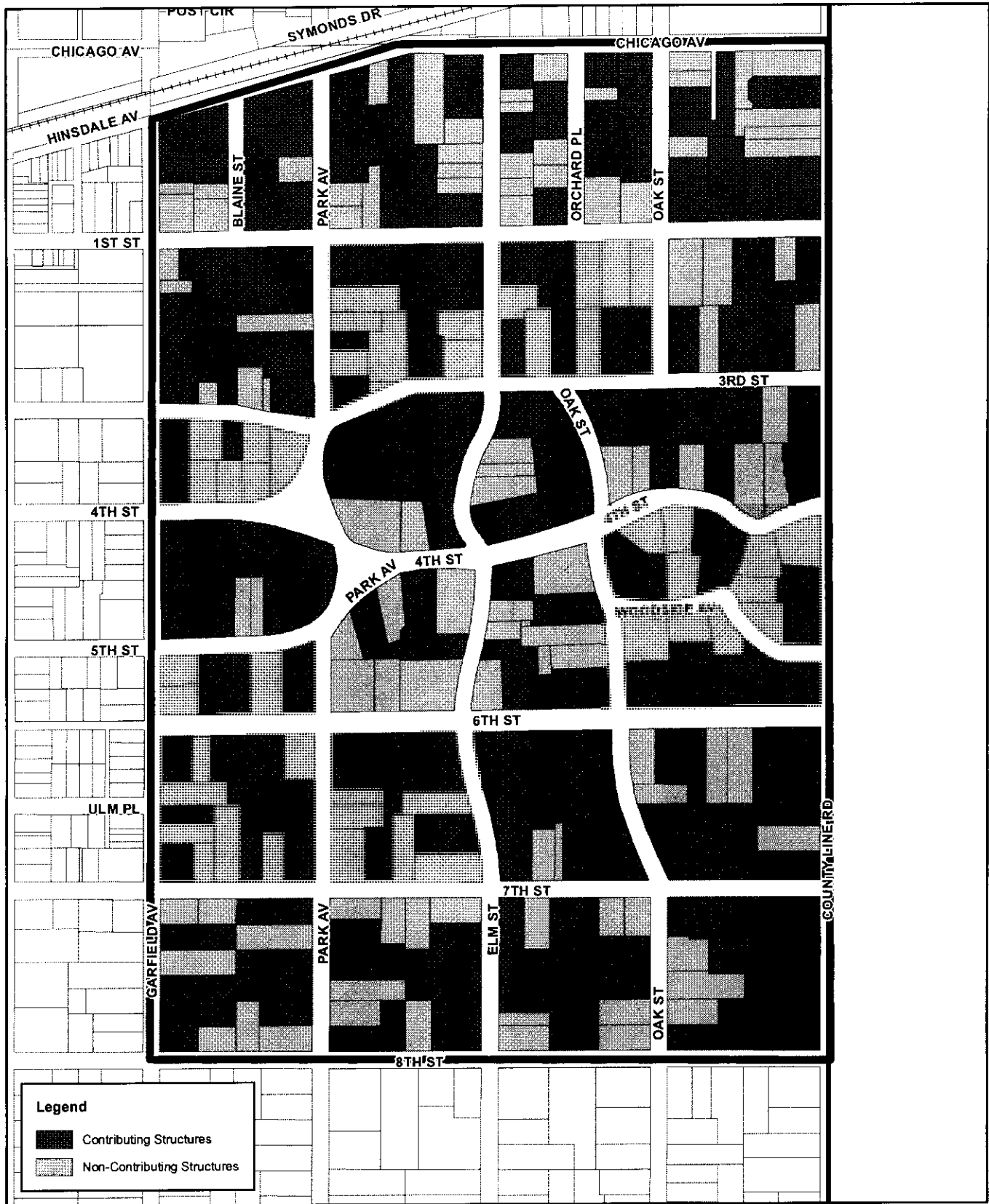
Andrew Grieve  
Applicant's printed name

Dated: 2/8, 2019

## Attachment 2: Village of Hinsdale Zoning Map and Project Location



# ROBBINS PARK HISTORIC DISTRICT



## Attachment 4

## CERTIFICATE OF APPROPRIATENESS

### 14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

#### **A. General Standards:**

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.



11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## **B. Design Standards:**

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

Section number 7 Page 9

Robbins Park Historic District  
Hinsdale, DuPage County, IL

NO.	STREET	ARCH CLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
29	S ELM	Gable Front	c. 1910	Anderson, John A. House	C	C			detached garage
30	S ELM	Neo-Traditional	1999-2000		NC	-			
37	S ELM	Colonial Revival	c. 1900		NC	-			
38	S ELM	No style	c. 1915		NC	-			
44	S ELM	Neo-Traditional	2004-2006		NC	-	Larson, Earl R.	Wilson, Byron	
45	S ELM	Neo-Traditional	2001	Boone, John R. and Tyra T. House	NC	NC			detached garage
120	S ELM	Classical Revival	1893	Mitchell Coach House	C	-	Shepley, Rutan & Coolidge		
121	S ELM	Neo-Traditional	1981	Fox, Pat Davis House	NC	-	Nemoede, Albert H.	Hark, Page	
125	S ELM	Vacant			NC	-			
130	S ELM	Neo-Traditional	1997		NC	-	Estenssoro, Sergio G.	Barrett Bros. Builders	
135	S ELM	Colonial Revival	c. 1900		C	-			
321	S ELM	Neo-Traditional	1999-2001	John, Peter & Julia House	NC	-	Olson, Steven C., LTD.	Azco Builders	
324	S ELM	Prairie	1916	Keith, Carrie Burton House	C	C			detached garage
332	S ELM	Italianate	1873	Landis House	C	C			detached garage
333	S ELM	Neo-Traditional	1996	Carvino, Robert House	NC	-	Erik Johnson & Associates	Workman Builders	
341	S ELM	Colonial Revival	c. 1915		C	NC			detached garage
411	S ELM	Neo-Colonial	1960		NC	-	Smithson, A. T. Jr.	Dressler, Paul	
417	S ELM	Vacant			NC	-			
424	S ELM	French Eclectic	1956	Standen, C. R. House	C	-	Yeretsky, Norman		
425	S ELM	French Eclectic	1925	Burt, Paul G. House	C	NC	Burt, Paul Gordon		Detached garage
620	S ELM	Neo-French	1961		NC	-	Smith & Associates		
627	S ELM	Craftsman	1925		C	-	Fugard & Knapp	Homann & Gille	

**Attachment 6: Street View 324 S. Elm St. (facing west)**





## Attachment 7: Aerial View 324 S. Elm St.



To: Hinsdale Historic Preservation Commission

From: Hinsdale Historical Society

Date: April 25, 2019

Re: Project Update – Historic Plaque Program

---

The Hinsdale Historical Society will be relaunching our Historic Plaque program in May, just in time for Preservation Month.

We are contacting 355 owners of historic structures not previously plaqued with a letter of invitation and a brochure outlining the program details. This brochure will also be used as a handout to interested persons at community events over the next several months. Our website contains all the same information, as well as the application form. We have a social media marketing campaign planned and have sent press releases to all local media. We have contacted *The Hinsdalean* about having a full article about the program published this month.

Again, our program is completely honorary in nature for displaying one of our plaques will not entitle the homeowner to any benefits other than the acknowledgement that they live in an historic home. Although not directly affiliated with the Historic Landmark plaquing that the HPC oversees, we do hope that our program will inspire people to go further with recognizing and protecting the historic value of their buildings.

The historical society is also pleased that the HPC is supportive of our efforts to recognize and honor Hinsdale's historic structure and was thrilled that the commission felt they could assist us financially. The initial suggestion would be to offer an incentive to homeowners to get their homes plaqued, since some felt that the \$300-\$350 cost of the plaque could prove prohibitive.

Although, the added incentive would certainly entice people to participate, it could potentially cause a strain on the society's resources. As an incentive, the funds would not directly benefit the historical society to operate the program. The funds would go towards the cost of the actual plaques, which would normally be covered by the homeowner.

The historical society is reinstating this program because it helps fulfill our mission to bridge the past, present, and future by engaging the community with its history and architecture. We know that this "new" program will demand extra effort to maintain, but if there is an exponential interest by the community, we could risk our ability to actively respond to the increased applications in a timely fashion, particularly in conducting the research necessary to properly verify the actual construction date of the structures.

Would the HPC consider providing funds directly to the historical society to use for staffing? We have several potential options for how that might be structured, if the commission would like to discuss the possibility further.

That said, the Historical Society is truly grateful for the ongoing support, however the HPC decides to financially assist - whether operationally or programmatically. We sincerely treasure our partnership with you and hope to see it flourish for many years to come.






## MEMORANDUM

**DATE:** May 1, 2019

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** Discussion Item - Village of Hinsdale Historic Preservation Regulations Review

---

### Summary

During the summer of 2018 a review of the Village's Historic Preservation regulations was conducted. Two of the main objectives of the analysis were to examine the Certificate of Appropriateness and landmark withdrawal processes. As a result of this review, a report was prepared (See Attachment 1, Village of Hinsdale Historic Preservation Regulations Review) and forwarded to the trustees for comment.

As a result of these discussions, it is being suggested that a number of recommendations from the report be implemented. The remainder of this memorandum will identify and describe the proposed amendments to the historic preservation regulations. The proposed changes to the regulations are broken down into two categories, Certificates of Appropriateness and Landmark Withdrawal. The final section of the report addresses establishment of a new type of landmark designation.

On January 9, 2019, the HPC listened to 3 builders, representing themselves as homeowners, during the public comment period in regards to this discussion item. The 3 public comments reflected concerns for the effect on the homeowners, home builders and potential buyers in the neighborhood, in regards to economic impact/real estate prices. The HPC continued the discussion on this item for the next meeting.

On February 6, 2019, the HPC reviewed and discussed various areas of the proposed historic preservation regulations and recommendations. It was requested for staff to document the progress, and to that end, Attachment 1 has notes that point to where comments have been made at the meeting. Attachment 2 is the "Residential Design Guidelines" document that was referenced throughout the February 6, 2019, HPC meeting. There were 3 public comment speakers at the meeting, all expressing their concerns for the HPC to consider while reviewing the potential amendments to the code.

### Request and Analysis

#### Certificate of Appropriateness

1. Costs associated with consideration of a Certificate of Appropriateness (CofA) – currently the fee for a CofA is \$50. It is recommended that a new fee amount of \$800 be established to cover the Village's costs associated with CofA. Of this total \$350 would be the application fee and



## MEMORANDUM

\$450 would be an escrow to cover the costs related to the preparation and publication cost of legal notice, recording and preparation of minutes and, drafting of formal findings.

2. Properties to be subject to a CofA review – CofA reviews should be limited to only the following types of properties:

- a. Contributing structures in the Robbins Park Historic District (232 properties).
- b. All structures in the Downtown Historic District (74 properties).
- c. Individually designated landmarks (28 properties).

Based on this change, it would eliminate 136 non-contributing structures in the Robbins Park Historic District from being subject to CofA reviews.

3. Additional CofA relief for contributing structures and individually designated structures – only proposed improvements that are visible from the public right-of-way would be subject to CofA review by the Historic Preservation Commission (HPC). All other CofA requests would be subject to review and approval by staff. Patios and fences would not require a CofA.
4. Appeals of HPC denials of CofA – it is being recommended that the HPC has final approval authority over granting or denying all CofA. Currently, its authority is final only in the case of individual historic landmarks; HPC authority is only advisory for structures in the two historic districts.

Although expanding the HPC decision making authority to include all final approvals, an appeal process to the Village Board is necessary. To accomplish this it is recommended that specific standards for considering appeals be established. The standards include the following:

- a. No new evidence can be presented in front of the Village Board.
- b. An applicant must file an appeal within 30 days of the date of the HPC decision.

### Withdrawal of Landmark Designation

1. Conditions for Withdrawal – it is being recommended that Section 14-4-1 Conditions for Withdrawal be amended to add the following requirements. More specifically, the following items relate to a withdrawal based on financial hardship.
  - a. Submittal of the following documents.
    - i. Federal Tax returns from the previous three (3) calendar years.
    - ii. Proof that the property has been on the market for a minimum of the previous 12 months.
  - b. The property has not benefitted from the State of Illinois Property Tax Assessment Freeze Program.

Finally, with respect to process, requests for withdrawal will be reviewed by the Village Manager, the chair of the Zoning and Public Safety, and the chair of the Historic Preservation Commission with their recommendation subsequently considered by the Village Board. This differs from the current procedure in which the HPC considers withdrawal requests, with its recommendations then forwarded to the Village Board.



## MEMORANDUM

### New Landmark Designation

1. Establish a new landmark category – in order to accomplish the dual goals of encouraging property owners to landmark their properties and at the same time lessening the requirements governing them, i.e. withdrawal, it is recommended that a new category of landmarks be established. This would be an “honorary landmark designation”. The benefit of this type of honorific status would allow for historic designation without the being subject to CofA and withdrawal requirements.
2. Standards for granting honorary landmark – at a public hearing the HPC shall review all information presented to it and adopt a recommendation as to whether a property has features in its of its exterior architectural appearance that should be protected and preserved;

### Process

Once the recommendations are reviewed and approved by the HPC, staff will incorporate the changes into Title 14 and bring it back for review and any further comment.

### Attachments:

Attachment 1 – Village of Hinsdale Historic Preservation Regulations Review with Feb. 6, 2019, notes  
Attachment 2 - Residential Design Guidelines

## **VILLAGE OF HINSDALE HISTORIC PRESERVATION REGULATIONS REVIEW**

### **I. Objective**

Conduct a review and analysis of the Village's Historic Preservation Regulations as designated in Title 14 of the Village Code (See Attachment A), with particular focus on the Certificates of Appropriateness (CofA) and landmark withdrawal processes.

### **II. Methodology**

The methodology used in the review and analysis was two-fold, first was a review the Village Code (Code) and the Village's past practices related to historic preservation activities. The second set of activities was to examine other neighboring and compatible municipalities to determine how each treated CofA and landmark withdrawals. Following is a summary of the steps involved with each review and analysis.

#### *1. Village of Hinsdale Activity*

- a. Attended the May 2018 Historic Preservation Committee (HPC) where a presentation was made by Landmarks Illinois concerning historic preservation.
- b. Met with Chair of Village HPC.
- c. Analyzed CofA data from 1/17 to 6/18.
- d. Reviewed previously tabulated building permit data on landmarked properties.
- e. Reviewed data for all individually designated landmarks and historic districts.
- f. Reviewed data for withdrawn landmarks.

#### *2. Review of Other Municipal Historic Preservation Regulations*

- a. Historic preservation regulations from the following 12 municipalities were reviewed: Downers Grove, Evanston, Glencoe, Glen Ellyn, Highland Park, Lake Forest, Naperville, Oak Park, River Forest, Riverside, Wilmette and Winnetka. These municipalities were chosen due to their extensive historic preservation programs as well as in some cases, proximity to the Village.
- b. Data from individual municipalities was compiled and put into a series of matrices. Individual matrices for landmark withdrawals and CofA are included in this report (See Attachments B thru D).

### **III. Analysis – Historic Landmarks and Historic Districts**

#### *1. Historic Landmarks and Historic Districts in Village of Hinsdale*

Pursuant to Section 14-3-1 of the Code, an individual structure, building, or site can be designated as a landmark, or an area can be designated as an historic district.

Following is a table of individually designated landmarks including two types, ones which are locally designated and those on the National Register of Historic Places

<b>TYPES OF LANDMARKS</b>	<b>NUMBER OF LANDMARKS</b>
Locally Designated Landmarks	22
National Register of Historic Places Landmarks	6
<b>TOTAL</b>	<b>28</b>

Following are additional details pertaining to individually designated landmarks:

- Ninety percent (90%) of the individually designated landmarks were nominated between 2001–2007;
- Since 2007, only two properties have been designated as local landmarks, one in 2013 and another in 2016;
- Individually designated landmarks have been withdrawn on two properties – 244 E. First St. and 319 N. Washington St. With respect to the Washington St. property, it was originally landmarked in 2001 and withdrawn in 2014. As for 244 E. First St., it was initially landmarked in 2002 and withdrawn in 2018.

In addition to the individually designated landmarks, the Village has two historic districts, both of which are on the National Register of Historic Places. The National Register of Historic Places is a federal program, under the jurisdiction of the U.S. Department of the Interior. This program designates buildings, structures or sites that are deemed worthy of preservation for their historic significance based on the history and architecture of a geographic area. Additionally, a district must possess integrity with respect to its location, its association with significant persons and events, as well as the construction type, method or design and the period it was built. The first district, established in 2006, is the Downtown District which consists of approximately six blocks encompassing the Village’s commercial area. The second district is Robbins Park which is a residential area and was established in 2008.

All buildings in the Downtown and Robbins Park districts are classified as either Contributing or Noncontributing structures. A Contributing structure is one that is significant with respect to being associated with an historic event or person, or its architecture. A Noncontributing structure is one that does not meet the criteria for a Contributing one; in other words, it is not associated with an historic event or person and is not architecturally significant (See #1 and #2 below for definitions from U.S. Dept. of the Interior). The following table identifies the number of Contributing/Noncontributing structures in the two historic districts.



<b>DISTRICT</b>	<b># OF CONTRIBUTING STRUCTURES*</b>	<b># OF NONCONTRIBUTING STRUCTURES*</b>	<b>TOTAL</b>
Downtown	61	13	74
Robbins Park	232	136	368
<b>TOTAL</b>	<b>293</b>	<b>149</b>	<b>442</b>



\*The number of Contributing and Noncontributing Structures was determined as part of the Village’s Reconnaissance Survey of historic buildings in 1999 and updated for its applications for federal Historic District designation in 2006 for



# Summary of Comments on HPC\_Regulations\_discussion\_Feb\_6\_Notes.pdf

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Page: 2

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 Number: 1      Author: cyu      Subject: Sticky Note      Date: 2/18/2019 11:12:43 AM

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William Haarlow: What is the criteria for "contributing structure"?

Shannon Weinberger pointed to page 3 for the definition by the U.S. Dept. of Interior. She will also see if Lynn could take a look at this and their survey.

Frank Gonzalez: We could use the Granacki book as a guide.

 Number: 2      Author: cyu      Subject: Sticky Note      Date: 2/18/2019 10:54:03 AM

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William Haarlow: Noted that this data is over 10 years old.

Shannon Weinberger to ask Karen if more updated survey could be cross referenced to reflect Robbins Park only

the Downtown Historic District and in 2008 for the Robbins Park Historic District.

*(1) Contributing – defined by the U.S. Dept. of the Interior as: A building, site, structure, or object adding to the historic significance of a property.*

*(2) Noncontributing – defined by the U.S. Dept. of the Interior as: A building, site, structure, or object that does not add to the historic significance of a property.*

## **2. Landmarks and Historic Districts in Other Municipalities**

As mentioned in the Methodology section, matrices were developed in order to group and summarize how the Village and 12 other municipalities address landmarks and historic districts. Attached are two matrices – Municipality Matrix-Landmarks (Attachment B), Municipality Matrix-Historic Districts (Attachment C) - each of which details this data by municipality. Following is a summary of relevant factors that were garnered from this review.

- With respect to designation of individual landmarks, in all 12 municipalities recommendations to nominate buildings are made by an advisory commission (historic preservation related), prior to consideration by the village board/city council, which has final approval/denial authority.
- As to designation of historic districts, the same process holds true as to that of individual landmarks. Recommendations to nominate a district are made by an advisory commission prior to consideration by the village board/city council, which has final approval/denial jurisdiction.
- Of the 12 municipalities, nine allow for individual landmarks to be withdrawn. All follow a similar process which requires an initial review and recommendation by an advisory commission, followed by village board/city council consideration. (For additional details see Column 5 of Attachment B).
- With respect to historic districts, of the 12 municipalities, three allow them to be withdrawn. All follow a similar process which first requires review and recommendation by an advisory commission, followed by village board/city council consideration. (For additional details see Column 5 of Attachment C).

## **IV. Analysis – Certificates of Appropriateness, General**

### **1. Certificates of Appropriateness – Village of Hinsdale Requirements.**

Pursuant to Section 14-5-1 of the Code (See Attachment A), “No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of the designated landmark without the prior issuance of a certificate of appropriateness...” This requirement holds true for individually designated landmarks, as well as all structures (Contributing and Noncontributing) in Historic Districts.

The requirements pertaining to CofA are identified in Sections 14-5-2 thru 14-5-5 of the Code. Following is a summary of CofA requirements/process:

- Section 14-5-2 sets forth the criteria necessary to obtain a CofA, this includes General and Design Standards.
  - Section 14-5-3 identifies the formal application submittal requirements.
  - Section 14-5-4 delineates the application review process.
  - Section 14-5-5 details the role of the HPC.
    - It should be noted that any HPC decision is advisory for properties located in an historic district. However, HPC decisions for individually designated landmarks are binding.
2. *Certificate of Appropriateness – Other 12 Municipalities Requirements*
- As with landmarks and historic districts, the CofA regulations/process of 12 municipalities were examined. (For additional details see Attachment D). Following is a summary the review:
- All municipalities have an advisory commission (similar to the Village’s HPC) responsible for review of CofA. This includes reviews of all individually designated landmarked properties as well as those in historic districts.
  - With the exception of one municipality, all require CofA for construction, demolitions, additions and exterior alterations. (See Column 6 of Attachment D).
  - In nine of the municipalities, CofA reviews are mandatory for individually designated landmarks as well as those in historic districts. By mandatory it means that the advisory commission must approve the CofA. In the remaining three municipalities, the review by the advisory commission is only advisory and not binding.

## **V. Analysis – Certificates of Appropriateness, Hinsdale**

### **1. *Applications Reviewed by Hinsdale HPC***

As mentioned in Section IV above, all individually designated landmarks and properties in historic districts, where alterations, or modifications of the exterior architectural appearance of a structure are proposed, a CofA is required. Based on the number of individually designated landmarks and those properties in the two historic districts, approximately 460 structures would be subject to a CofA review.

Following is a discussion of recent CofA activity in the Village which has been broken out by the type of improvement – new construction, demolition, additions, and alterations. The data comes from an 18 month period from January 2017 to June 2018.

Before discussing the individual activity based on the type of improvement, following is a chart identifying the Village’s CofA approval process. This process takes approximately two months.

## CERTIFICATE OF APPROPRIATENESS REVIEW PROCESS



### 2. *Construction & Demolition*

In 2017, the HPC reviewed 15 CofA applications, 14 of which were residential properties in Robbins Park and one commercial project in the Downtown district. In the first six months of 2018, the HPC reviewed four CofA, all of which were in Robbins Park. This translates into an average of 11 CofA applications per year subject to HPC review. In that all properties were in historic districts, all HPC decisions were advisory and therefore non-binding.

### 3. *Additions & Alterations*

To date, it has been Village policy not to require additions and exterior alterations to properties that are individually designated landmarks, or located in the Robbins Park Historic District to be subject to the CofA review process.

Although additions/alterations to date have not been subject to CofA review, this report did analyze the potential impact if such reviews were done in the future. In order to conduct this analysis previously collected building permit data from 2015 was analyzed. The data revealed that eight permits were issued for exterior alterations; this includes seven permits for additions, and one for an exterior alteration (front porch). All these permits were for properties located in the Robbins Park Historic District.

### 4. *Conclusion*

Based on the data discussed above, if the HPC were to review CofA for all construction, demolitions, additions and exterior alterations on individually landmarked properties and those in the historic districts, it would result in an estimated 20 CofA applications being reviewed annually. Of that 20, half would be for new construction and demolition and the other half for additions and exterior alterations. This would increase the number of CofA applications by approximately 75%.

In addition to substantially increasing the HPC caseload it would also add to the time taken to complete the CofA process. Although formal findings are not currently part of the approval process, it is anticipated that they will be necessary if the CofA process is expanded. As a result, requiring HPC findings to be drafted and considered for adoption at a following HPC meeting, would increase the review time from two to three

months. In addition to increasing the time, it would also add costs associated with the drafting of formal findings which is estimated at \$250 per case.

## **VI. Withdrawing Landmarks**

### *1. Village of Hinsdale Requirements*

Section 14-3-1 of the Code sets forth the requirements and process to establish both individually designated landmarks and historic districts. Landmarking of individual properties is strictly voluntary and can only be initiated by a property owner. Historic districts can be nominated if 25% of the property owners of record in a particular geographic area submit an application for nomination; or the Village has the authority to nominate a district.

With respect to withdrawal of a landmark, the Code (Sec. 14-4-1) only allows for individually designated landmarks to be withdrawn; historic districts cannot be withdrawn. In order to withdraw a landmark it must meet one of five criteria identified in the Code (Sec. 14-4-1. A thru E). Withdrawal is a two-step process, the first being review and recommendation by the HPC, the second being a subsequent review and final action by the Village Board.

### *2. Other Municipalities Requirements*

Of the 12 municipalities, nine allow for individually designated landmarks to be withdrawn. The process of withdrawal is the same as the Village's, in that the final authority for withdrawal rests with the village board/city council, following review and recommendation by an advisory committee (see Attachment B). With respect to historic districts, only four municipalities allow for withdrawal (see Attachment C).

### *3. Concerns Over Withdrawals*

With the withdrawal of an individually designated landmark earlier this year, concerns were expressed over the withdrawal requirements. Following is a list of the issues which have been raised recently.

- Either the HPC or the Village Board can be put in a difficult position of having to take into account the plight of individual property owners when considering a withdrawal request. More specifically, concerns were expressed that too much personal information – financial, health, etc. – might become public when the withdrawal request is being considered.
- As with the most recent landmark withdrawal where the HPC recommended against the request and the Village Board approved it, the HPC expressed concern about the split decision. It felt that split decisions might effect the relationship between the two bodies.
- A third issue raised involves the State of Illinois Property Tax Assessment Freeze Program. This program allows for a qualified\* landmarked property to be eligible for a property tax assessment freeze for eight years. The issue raised in this situation is the equitability of a property owner taking advantage of the tax freeze and then at a later date requesting that the landmark status withdrawn.



\*In order to be qualified for the Property Tax Assessment Freeze, it requires that a designated landmark make building improvements in excess of 25% of its assessed fair market value. See Example below:

Example: If a property had an assessed fair market value of \$2.0 million, in order to be eligible for the Assessment Freeze program, a minimum of \$500,000 in improvements would need to be made.

- Related to the property tax issue, is the recently passed federal tax legislation, limiting the amount of property taxes that can be deducted (property taxes in excess of \$10,000 can no longer be written off). The concern raised by the HPC is that in order to mitigate write off impact, property owners might see landmarking their properties as a way to reduce the amount of property taxes that cannot be written off. However, as illustrated in the above Example, a significant amount of money would have to be invested in property improvements in order to take advantage of the Property Tax Assessment Freeze Program. Additionally, as with the previous bullet point, it was postulated that once the benefit of property tax relief has been exhausted, the property owner might then request withdrawal of the landmark.



## VII. Recommendations – Certificates of Appropriateness

### 1. *Certificates of Appropriateness*

In order to address the issue of which types of projects should require a CofA, following are several options that might be considered. Along with each option is associated potential impacts.

- ~~Option 1 – Leave as is. Follow past practice of only requiring a CofA for new construction and demolitions.~~

#### Impacts

- CofA would not be required for additions, alterations and exterior improvements for structures in the Historic Districts.
- The number of CofA applications reviewed by the HPC would remain at the same level, an average of 11 applications/year.
- Review by the HPC would remain advisory.
- There would be no additional staff costs.




- Option 2 – Follow what is currently in the Village Code and require a CofA for all modifications to the exterior architecture of all landmarks whether individually designated or in an historic district.

#### Impacts

- Based on historical building permit data, it is estimated that on an annual basis, eight additional CofA applications would need to be processed and reviewed. This would increase the current annual average of CofA by 75%. Related to this impact would be the following:


## Page: 7

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 Number: 1      Author: cyu      Subject: Sticky Note      Date: 2/28/2019 9:10:06 AM  
Criteria for design standards should be added for the Certificate of Appropriateness application/review.

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Chan to include Design Guidelines for the next HPC meeting.

 Number: 2      Author: cyu      Subject: Line      Date: 2/28/2019 9:28:32 AM

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 Number: 3      Author: cyu      Subject: Line      Date: 2/28/2019 9:28:37 AM

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 Number: 4      Author: cyu      Subject: Sticky Note      Date: 2/28/2019 9:28:20 AM  
Option 1 is not an option for the HPC.

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- a. Require additional staff time to process the CofA applications. It is estimated that each case would add 20 - 25 hours of staff time. Annualized this translates into approximately 275 hours of staff time.
- b. In that a public hearing is required before the HPC, it would add direct costs to the Village in the form of publishing legal notices. Additionally, the costs associated to have a court reporter at the HPC public hearing and the subsequent transcription of the meeting minutes. Annually, this would result in an increase in \$1,200 for publishing public hearing notices, and \$2,400 for court reporting related services.

Currently these costs are borne by the Village. However, given the potential increased activity, consideration might be given as to whether the Village should pass on some or all of these costs on to the applicant.

- o Consideration should be given to clearly identify what improvements would require a CofA. To that end the following should be considered:
  - a. Amend Sections 14-5-1-A & B of the Village Code to clearly identify what specific types of projects would fall under the CofA requirements. Similarly, it should include those items that would not require a CofA, i.e. driveways, landscaping, patio's, fences, etc.
  - b. Consideration should be given to exempting certain types of improvements based on particular characteristics of the property, or proposed location.
    - This might include exempting additions not visible from a public right-of-way.
    - Another consideration might be to exempt Noncontributing structures in Historic Districts.
- o Consider amending the approval authority, to allow village staff to approve CofA for certain improvements – i.e. Noncontributing structures; minor exterior alterations, etc.



- Option 3 – Revise Section 14-5-1 of Code to codify current practice identifying construction and demolition as the only type of improvements requiring a CofA.


#### Impacts

- o Given this is current practice, there would be a negligible impact.

## 2. *Authority of HPC Over Certificates of Appropriateness*

As discussed previously, pursuant to Section 14-5-5-B of the Code, approval/denial of a CofA differs based on whether the property is an individually designated landmark, or in an historic district. For an individually designated landmark, the HPC decision is final. However, when a property is located in an historic district, the HPC decision is advisory only. Therefore, if the HPC does not approve a CofA for a structure in an historic

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 Number: 1      Author: cyu      Subject: Sticky Note      Date: 2/28/2019 9:43:54 AM

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Jim Prisby believes elements stated by the Certificate of Appropriateness for landmarked homes should be reviewed. If not, only the facade visible from the street should be considered.

 Number: 2      Author: cyu      Subject: Sticky Note      Date: 2/28/2019 10:09:52 AM

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Jim Prisby is not opposed to this, but the HPC would need to establish where the line is.

district, it has no significant impact; following denial, the applicant can proceed with the project as proposed.

According to HPC members and staff, concerns have been expressed over the advisory nature of CofA in historic districts. The main issue is that the HPC has limited authority to ensure that proposed improvements meet the General and Design Standards (Sec. 14-5-2 of Code) of the historic district. In order to address this issue several revisions to the Code might be considered:

- Option 1 – Amend Section 14-5-5-C the Code to provide the HPC the authority to grant final approval of CofA in historic districts. This would result in consistency for approvals, regardless of whether the subject property is an individually designated landmark or in an historic district. As for appeals of the HPC decision to deny a CofA, the Code (Sec. 14-5-5-E) currently designates that they be considered by the Village Board.
- Option 2 – Amend the Village Code to require a specified period of time (i.e. 90 days) following denial of a CofA, in order for the applicant consider revising the plans based on HPC comments. At the end of this period, revised plans would be reviewed again by the HPC. In the event the applicant decided not to revise plans, the HPC would then make an advisory recommendation on the CofA, but only following expiration of the 90 day period. The effect of this option would be to allow time for the applicant to consider design alternatives based on HPC comments.

3. *Provide Incentives*

Incentivize design to be consistent with the General and Design Standards identified in Section 14-5-2 of the Code. The concept here is to provide relief from certain Village regulations if the proposed improvements meet the established design standards. Additionally, incentivizing might also be considered if plans are revised based on HPC comments. Following are areas where incentives might be considered.

- Zoning Relief
  - Floor Area bonus
  - Setbacks
- Expedited permit processing.
- Reduce or eliminate building permit fees.

VIII. **Recommendations – ~~New Landmark Category~~**

1. *Possible Code Amendments*

Consideration should be given to establishing a third type of landmark status, which could be identified as an “Honorary Landmark”. As with other landmarks, the purpose of an honorary designation would be to promote the recognition of buildings and structures in the Village that have historic and architectural interest and value. The intent behind this type of landmark is to promote the idea identifying a structure as being historically or architecturally significant, without encumbering it with the




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 Number: 1      Author: cyu      Subject: Sticky Note      Date: 2/18/2019 10:48:42 AM  
Shannon Weinberger:

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Possibility of staggering the fees to offer less cost to renovate (incentive)

 Number: 2      Author: cyu      Subject: Sticky Note      Date: 2/18/2019 11:17:07 AM  
Shannon Weinberger: Let's check off new landmark category program since the Historical Society has such a program already.

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 Number: 3      Author: cyu      Subject: Line      Date: 2/18/2019 11:17:26 AM

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regulations associated with landmarks. The desired outcome being that more property owners would consider landmarking their properties because it would not bind them, or future owners, to any landmark regulations.

This designation would differ from the other landmark categories (individual, districts), in that it would not require properties to be subject to the CofA and withdrawal regulations. This would allow for building improvements to be made without having to be considered by the HPC for a CofA. Second, since the designation is honorific and is not subject to any regulations, other than the initial approval process, there is no reason for a property owner to request a withdrawal of the designation at a later date. Finally, given its honorific nature, properties obtaining this designation would not be eligible for the State Property Tax Assessment Freeze Program.

Under this type of landmark, it is recommended that a property be subject to the same review and approval process by the HPC and Village Board as is currently required per Section 14-3-1 of the Code.

In order create this third type of landmark, Title 14 of the Code would need to be amended where necessary.

#### **IX. Recommendations – Landmark Withdrawals**

##### *1. Possible Code Amendments*

Based on issues raised concerning the landmark withdrawals following are amendments to the Code that might be considered:

Option 1 - Complete prohibition on landmarks being withdrawn.

- a. This would only apply to landmarks established after 2018; landmarks established prior to 2018, would still be subject to the withdrawal regulations currently in Section 14-4-1 of the Code.

Option 2 - Establish a minimum time period before an application for withdrawal can be submitted:

- a. Establish a minimum time limit (i.e. three years).
- b. For a property taking advantage of the State's Property Tax Assessment Freeze, prohibit any withdrawals for the period the freeze is in effect (8 -12 years).




#### **X. Recommendations – Consultant**

As the consultant compiling this report, based on the options identified above following are my recommendations.

1. *Certificates of Appropriateness* – recommend implementing Option 2, following the existing regulations reviewing all exterior modifications to landmarks, whether individually landmarked or in an historic district (see p.7-8 above, Sec. VII.1).
2. *Authority of HPC Over Certificates of Appropriateness* – recommend implementing Option 2, granting the HPC the authority to delay approval of a CofA for up to 90 days (see p. 9 above, Sec. VII.2).

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 Number: 1      Author: cyu      Subject: Sticky Note      Date: 2/28/2019 9:17:29 AM  
Shannon Weinberger: stated that someone should not be able to withdrawal if they participated in the tax freeze program. The HPC agreed.

3. *New Landmark Category* – recommend establishing an Honorary Landmark category (see p. 9-10 above, Sec. VIII.1).
4. *Landmark Withdrawals* – recommend implementing Option 2a, establishing a minimum time limit before withdrawal of a landmark can be considered (see p. 10 above, Sec. IX).

7/3/18

# Village of Hinsdale Residential Design Guidelines



19 E. Chicago Avenue, Hinsdale, Illinois 60521  
630-789-7000, [www.villageofhinsdale.com](http://www.villageofhinsdale.com)

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A Resource Guide to  
Building in Established Neighborhoods





## Section One. --- Village Character Analysis



History of the Village

Architecture in the Village

Architectural Styles



## INTRODUCTION

The Village of Hinsdale is a very desirable residential community with a strong housing stock, excellent schools, and easy access to the railroad which provides convenient access to downtown Chicago. The Village has always placed an emphasis on its past and many of its magnificent historical homes. Incorporated in 1873, the Village has seen significant change due to the demolition of existing homes. Beginning in the mid-1980's, the first teardowns occurred, and by 1997 and 2007, an average of 100 new homes annually have been constructed in what has been phrased the "teardown phenomenon."

### Design Review Commission

With so many new homes being constructed in existing established neighborhoods, the Village Board voted on January 9, 2007 to establish a Design Review Commission that is composed of nine members with various backgrounds and expertise. The commissioners were appointed by the Village President. The purpose of the Commission was to recommend design guidelines to be adopted by the Village for single-family residential development.

### Purpose of the Design Guidelines

The Design Guidelines have been established to assist builders and architects to develop residential designs that are visually compatible with the character of its neighborhood. In addition, the Guidelines are to be used as a basis for the building professionals to determine if sound design principles are being followed. The Design Guidelines do not prescribe specific architectural styles as being either acceptable or unacceptable. Any architectural style, so long as it is done well and is compatible with its adjacent houses and surrounding neighborhood, can be a positive asset to the Village.

## Village Of Hinsdale Residential Design Guidelines

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### Organization Of The Guidelines

The document is organized into the following four sections;

- Section 1 – Village Character Analysis: This section provides an overview of the history, development, and architecture that have contributed to the existing character of Hinsdale.
- Section 2 – Design Guidelines: This section describes the many elements that should be considered in determining whether or not a new project properly fits within the context of its neighborhood. It also includes the guidelines that should be followed in all aspects of the exterior design of the project.

Cover Photography:

Top: Hinsdale Streetscape

Bottom, left to right:

300 North Forest, home  
designed by R. Harold  
Zook, architect;  
142 E. First Street;  
425 E. Sixth Street;

## Village Of Hinsdale Residential Design Guidelines: Section One



### HISTORY OF THE VILLAGE

The Village of Hinsdale began as the railroad was built. From 1847 to about 1861 the City of Chicago saw eleven separate railroad lines develop that took the form of spokes of a wheel with the center being downtown Chicago. Stations were built along these lines and towns were soon to follow. City dwellers that had the financial means were drawn to the delight of living in a healthier, semi-rural environment within a few minutes travel of their businesses in the clogged and polluted city. In a short time more than 100 railroad towns surrounded Chicago.

The ideal railroad suburb in this Victorian era had a distinctive landscape based on the picturesque English rendering of the country house set in a naturalistic, landscaped garden. Hinsdale was to embrace this ideal from its inception. The same standards exist in the Village today.

In 1858 the Chicago Burlington and Quincy railroad began a line from their Aurora station into Chicago. Although the Civil War hampered construction on this new 35-mile line, the work was completed in May of 1864. The Brush Hill station was completed the same year. A real estate boom began along the right-of-way of this new line. William Robbins purchased approximately 800 acres of farmland that flanked the rail right-of-way which lay south of the town of Fullersburg. The next year Robbins platted the original town of Hinsdale, recording it in 1866. He soon built houses on the south side of the tracks and they sold quickly. By 1871 Oliver J. Stough and Anson Ayres had joined the rush, purchasing and developing land north of the tracks. By 1873 the population of Hinsdale numbered 1,500. There were stores, a post office, a hotel, large stone schoolhouse, and two churches.

The 1890's saw an era of extensive improvements in the Village. Bonds were issued for waterworks, sewers, and electrical lines. Paving of streets began in 1892, telephones arrived in 1896, and concrete sidewalks replaced the wood plank walks in 1904.

Hinsdale came to be regarded as one of the most beautiful and desirable suburbs in the Chicago area. Its status was enhanced by the publication of an article titled "Hinsdale The Beautiful" in the November, 1897 issue of *Campbell's Illustrated Journal*. Nearly fifty of Hinsdale's most impressive homes were illustrated in that issue.

425 E. 6<sup>th</sup> Street,  
William Robbins Home,  
1915.  
Courtesy of Hinsdale  
Historical Society.



## Village Of Hinsdale Residential Design Guidelines: Section One

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### ARCHITECTURE IN THE VILLAGE

Surveys of the various original subdivisions in the Village, commissioned by the Hinsdale Historic Preservation Commission in 2001, identified the various architectural styles represented by early owners and builders. Early Hinsdale dwellings can be placed in two different types, *high-style* and *vernacular and popular*.

High-style architecture can be described as well-defined and commonly illustrated categories based on the distinctive overall massing, floor plan, materials, and architectural detailing that can be readily identified as a specific style. These high-style buildings might have been architect designed, but even if no professional architect were involved, the homes show a conscious effort to incorporate common characteristics in fashion during the time they were built. In Hinsdale the Queen Anne style, Colonial Revival, Craftsman, Italianate, Gothic Revival, Shingle Style, Prairie Style, Dutch Colonial Revival, Tudor Revival, French Eclectic, and Cape Cod styles were represented in the high-style category.

Vernacular and popular house types are generally non-stylistic and include 19<sup>th</sup> century vernacular styles whose design depends on a builder's experience and knowledge, as well as later 20<sup>th</sup> century popular styles that were typically constructed according to widely available published plans. Nineteenth century vernacular buildings were usually built by an owner or builder who relied on simple, practical techniques and locally available materials for an overall design and floor plan layout. Materials, millwork, and structural systems were largely determined by availability and locale. Because of this, vernacular buildings are most readily classified by their general shape, roof style, or floor plan.

Popular house style plans were widely published beginning in the early 20<sup>th</sup> century. A prospective homeowner could easily find catalogues and books from which to choose a plan. The earliest of these 20<sup>th</sup> century popular house styles was the American Foursquare, which some suggest was influenced by the horizontality of the Prairie Style. The American Foursquare, with broad eaves and hipped roof, was particularly popular between 1900 and 1910. Bungalows of various sorts were built nationwide until 1930. After 1930, during the modern period, popular house types included the Ranch, minimal traditional, and the Split Level. All of these styles are represented in Hinsdale.

Left:  
High-style architecture  
in a Queen Anne Style  
home at 239 E. Walnut.



Right:  
Popular architecture in  
a Bungalow Style home  
at 620 South Garfield.



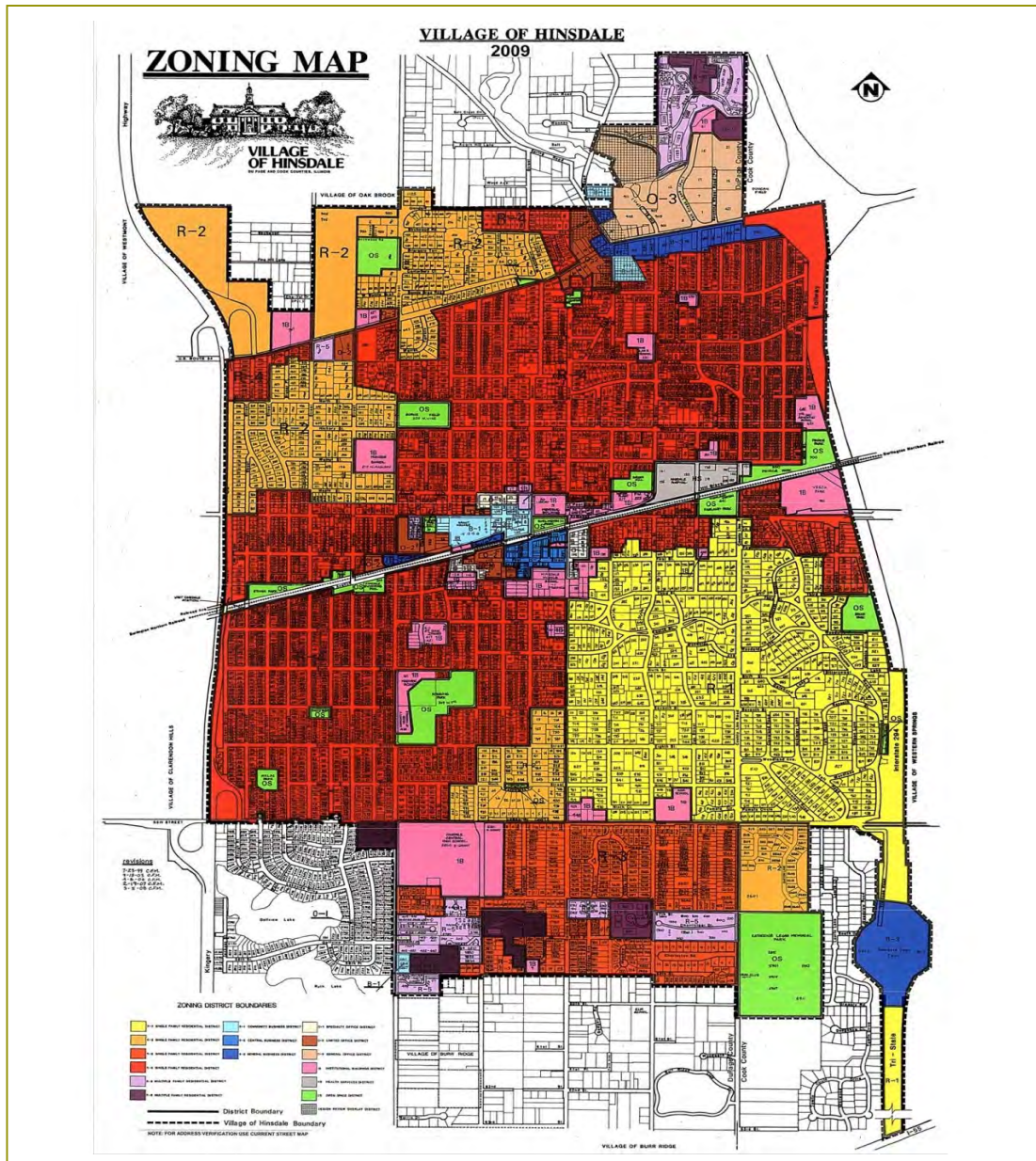


## Village Of Hinsdale Residential Design Guidelines: Section One



### ARCHITECTURAL STYLES

There are many residential styles in the Village of Hinsdale. The following photographs and brief descriptions illustrate some of the predominate styles found. Homeowners and developers should recognize these architectural styles and the appropriate means to respond to the styles in building projects. The approach should include any existing styles that will be retained as well as styles found within the neighborhood.



## Village Of Hinsdale Residential Design Guidelines Section One

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### American Foursquare Form, ca. 1900- ca. 1925

The American Foursquare house reflects an early 20<sup>th</sup> century return to simple building forms and minimal decoration. These house forms are common throughout Hinsdale's neighborhoods and feature rectangular plans with hipped roofs and one-story porches on the primary façade. Porches often have square or Tuscan columns and eaves often feature modillion blocks or brackets. The roofline on the primary façade generally displays a hipped dormer window.



A notable example of this style is located at 234 N. Park Street in Hinsdale.





## Hinsdale Residential Design Guidelines Section One

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### Colonial Revival Style, ca. 1890-ca. 1930

The Colonial Revival style was one of the most popular architectural styles of the early 20<sup>th</sup> century. During the 1890s there was a renewed interest in the architectural forms of Colonial America. These dwellings were built with symmetrical floor plans and with classically detailed formal porches. Common characteristics are columns and pilasters in Doric, Ionic, Corinthian, and Tuscan orders, eave dentils, and pedimented windows and doors. Dwellings in this style were constructed both of brick and frame and are generally two-stories in height.

A notable example of this style is located 339 E. Sixth Street.



## Village Of Hinsdale Residential Design Guidelines Section One

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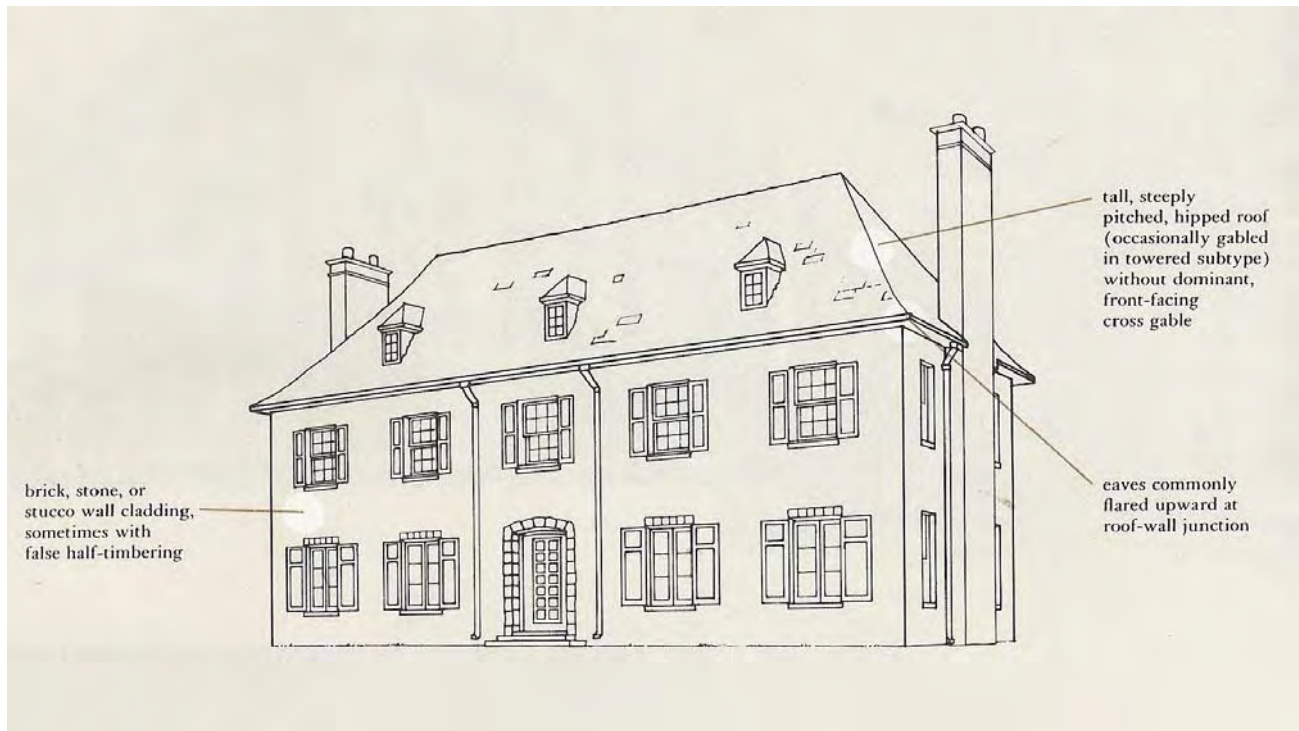


### French Eclectic Style, ca. 1915-ca.1945

The French Eclectic style began to appear in Eclectic suburbs in the 1920's and 1930's. Based upon precedents by many centuries of French domestic architecture, the style shows variety in form and detailing but is united by the characteristic roof. The tall, steeply pitched hipped roof, normally with the ridge paralleling the front of the house, dominates a symmetrical façade with centered entry. Façade detailing is usually rather formal. These dwellings are generally two-stories in height with brick, stone, or stucco wall cladding.



A notable example of this style is located at 127 E. Seventh Street in Hinsdale.



## Village Of Hinsdale Residential Design Guidelines Section One

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### Neo-Classical Style, ca. 1890- ca. 1930

The Neo-Classical style is closely related to the Colonial Revival style of the early 20<sup>th</sup> Century. The Neo-Classical style maintains the symmetrical forms and classical detailing, but is distinguished by two-story or full-height porches called porticos. These porticos most commonly display wood columns in the Doric and Ionic orders. Entrances are often highly decorative with pediments, sidelights, and transoms.

A notable example of this style is located at 419 S. Oak in Hinsdale.





## Village Of Hinsdale Residential Design Guidelines Section One



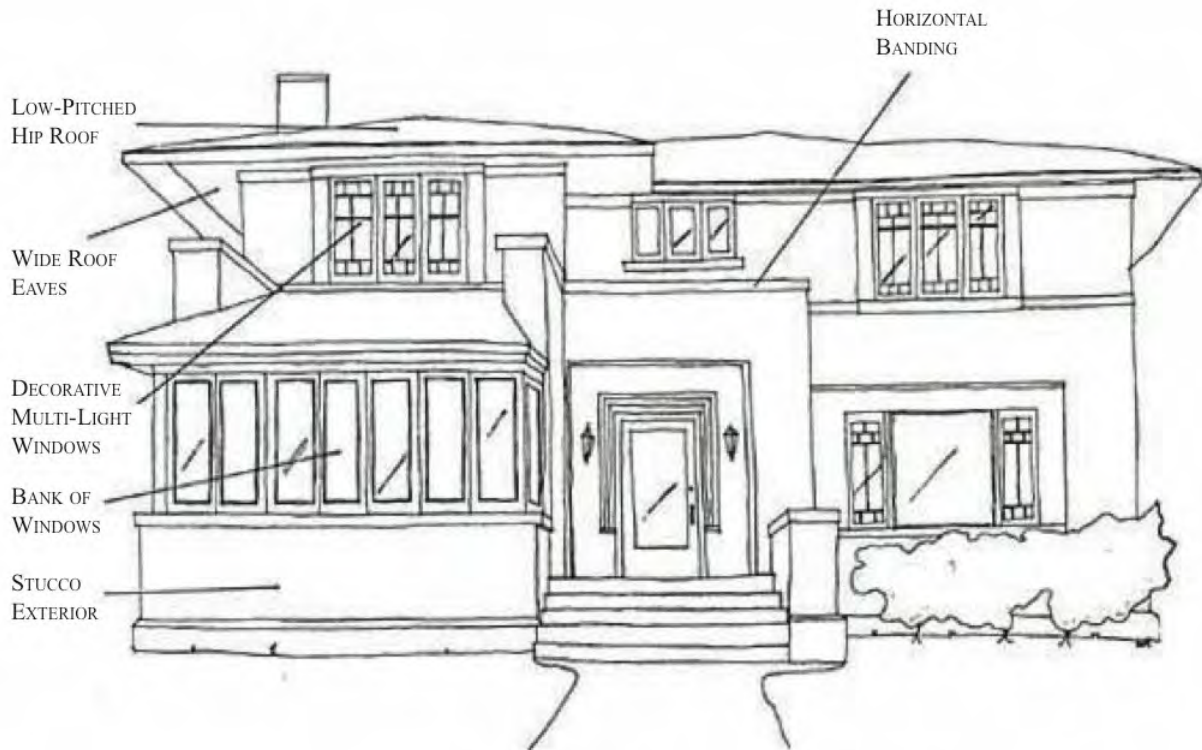
### ARCHITECTURAL STYLES

#### Prairie Style, ca. 1900- ca. 1920

The Prairie style originated in America in the early 1900s, designed by architects such as Frank Lloyd Wright. This style emphasized the importance of blending houses with their surroundings and relating the house to the flat, horizontal lines of the Midwest. Prairie style houses have low-pitched hipped roofs, wide eaves, and broad porches. Exterior wall surfaces are often stucco or brick. These dwellings are generally two-stories in height and have decorative multi-light windows.



A notable example of this style is located at 105 N. Grant Street in Hinsdale.



## Village Of Hinsdale Residential Design Guidelines Section One

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### Queen Anne Style, ca. 1880- ca. 1910

The Queen Anne style was one of the most common American house forms in the late 19<sup>th</sup> century and featured an asymmetrical floor plan and extensive exterior detailing. This style is generally two-stories in height and often features corner towers, turrets, or projecting bays. Exterior wall surfaces are often varied with mixtures of brick, wood siding, stone, and wood shingles. Large wraparound porches with milled columns and baluster are usually present on the main façade. Windows are one-over-one sash or of small multi-light design. Brackets or decorative vergeboard are often found in the gables.



A notable example of this style is located at 318 S. Garfield Street in Hinsdale.



## Hinsdale Residential Design Guidelines Section One

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### Shingle Style , ca. 1880-ca.1900

Related to the Queen Anne style is the Shingle Style which is characterized by an exterior wall sheathing of wood shingles. The shingles are often designed in various interlocking shapes and provide a rich texture to the exterior appearance. In many cases not only is the exterior wall surface covered with shingles but also the front porch columns are sheathed in shingles. Decorative windows and doors are common as are turned porch railings and baluster.

A notable example of this style is located at 127 S. Stough Street in Hinsdale.





## Village Of Hinsdale Residential Design Guidelines Section One

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### Tudor Revival Style, ca. 1910- ca. 1940

The Tudor Revival style was another popular national style of the early 20<sup>th</sup> century. These dwellings are based upon medieval house forms of England and were built in American from 1915 to 1940. These house forms have high-pitched gable roofs, multiple gables on the main façade, and are generally of brick and stucco construction. Doors are often set within rounded or Tudor arches while windows often have multiple lights in the upper and lower sashes. In gable fields stucco and wood are often combined to create the appearance of a design as 'half-timbering'.



A notable example of this style is located at 514 S. Garfield Street in Hinsdale; a home designed by R. Harold Zook, architect.



## Section Two. --- Design Guidelines



Neighborhood Design Context

Architectural Design

Site and Landscape Design



## Village of Hinsdale Residential Design Guidelines: Section Two



### NEIGHBORHOOD DESIGN CONTEXT

#### Height Compatibility

The intent of the guidelines is to have residences responsive in height, to provide cohesiveness to the neighborhood. The rhythm of the street facade establishes the overall opening or solid feel of the streetscape.

#### Rhythm of Spacing

The existing topography, location of the project site, and the homes adjacent to the site should guide the most basic decisions about the design.

The location of the home, the front yard setback, and the side yard setbacks are particularly important to setting the context of the adjacent neighbors.

New construction should follow the rhythm of the existing residences established by the overall open or solid feeling of the neighborhood.

#### Horizontal and Vertical Elements

The horizontal and vertical elements determine the perceived scale of a residence and how it relates to the horizontal and vertical expressions of the neighboring home facades. The overall scale, shape and massing of the home is significant in defining the character of a street, a block, or a neighborhood.

#### **Example: Do**



#### **Example: Don't**



## Village Of Hinsdale Residential Design Guidelines: Section Two



### ARCHITECTURAL DESIGN

#### Scale and Massing Of a Structure

Traditional architecture is rooted in simplicity of form, massing, and in hierarchy of spaces which are cohesive, rational, and sensible. The common basis for the origins of traditional architecture is based in necessity and economy.

Sunlight orientation and view orientation should be determining planning and design factors.

The scale and proportions of new construction should be compatible with adjacent homes and the neighborhood.

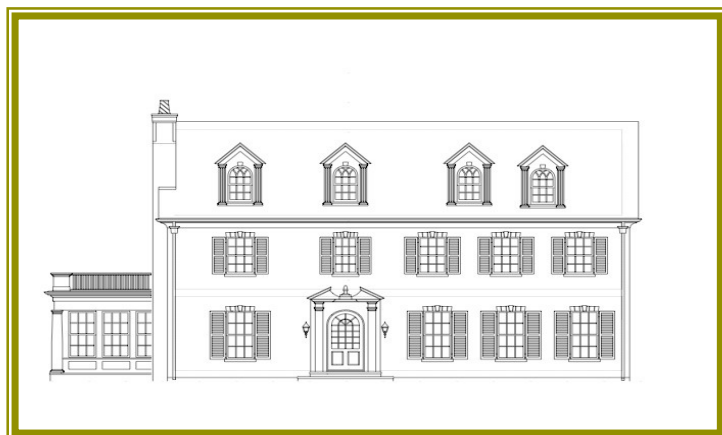
The appearance of large mass can be minimized through the use of design elements such as porches, porticos, bay windows, and dormer windows

Scale and its perception is a functional of the size of the windows, boys, entry doors, and dormers as they relate to the overall composition. For example, small windows can make the mass residence seem larger because of the abundance of surface area of the exterior wall.

#### **Example: Do**



#### **Example: Don't**





### Roof Shapes

Roof shapes are important to defining residential architectural styles. Roof form is often the single most significant factor in determining the massing, scale, and proportions of a home.

The intent of the guidelines is to have roofs compatible with the structure below and with those neighboring residences to which they visually relate. This is particularly important in neighborhoods with smaller lots where homes are spaced closer together. In these neighborhoods, consistency of roof slopes is important.

#### **Example: Do**



#### **Example: Don't**



## Village Of Hinsdale Residential Design Guidelines: Section Two

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### Rhythm and Balance

Each individual residence contains a rhythm established by the arrangement of windows and doors versus solid wall sections. Successful residential architecture almost always places openings in a manner that is simple and rational.

#### **Example: Do**



#### **Example: Don't**







Porches, Recessed Entryways, and Other Projections

Front entryways are comprised of doorways, porches, overhangs, and other elements that help connect the home to the street, begin to create a more human scale, and contribute to the sense of arrival into the home. These elements begin to establish the hierarchy of the home's streetscape. A usable porch should be no less than 7'0" deep.

**Example:**



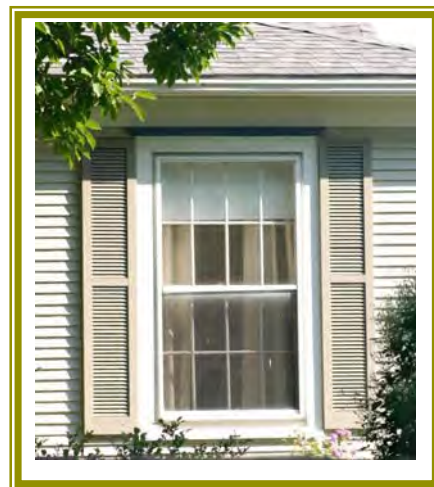
Proportions of Windows and Doors

Typically, window and door opening can make up the largest and most distinctive elements of a façade. Window and door opening should be proportioned according to the style of the residence and to the portion of the façade mass that they are a part of.

**Example: Do**



**Example: Don't**



## Village Of Hinsdale Residential Design Guidelines: Section Two

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### Materials, Texture, and Color

Materials provide the visual diversity and architectural character to the neighborhood. The intent of the guidelines is to provide a continuity of architectural character by using material in their traditional manner and in keeping with the fabric of the neighborhood.

New construction should utilize materials, texture, and color that are compatible to those of neighboring structures and appropriate to the chosen architectural style.

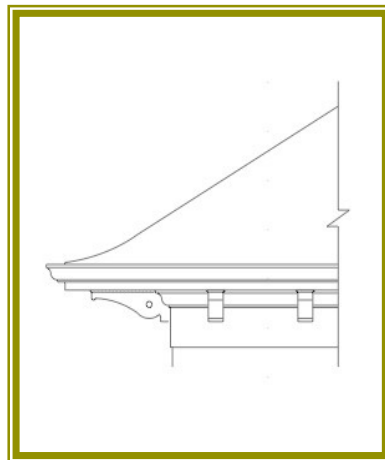
Restraint in materials visible on any exterior wall should be exercised. The palette of materials chosen should be appropriate for a particular style. Limiting the number of materials focuses attentions on design composition and detailing quality rather than quantity.

### Ornamentation

Ornamentation is the refinement of detail and application of decorative elements with the sole purpose of enhancing the building's appearance. The richness and level of detail of the ornamentation in the surrounding area should be used as a guide, without exactly mimicking the facades of neighboring homes.

Ornamentation should be used with understanding and restraint, with consideration of the visual character of the neighborhood.

**Example: Do**



### Style

Although the intent of the guidelines is not to dictate architectural style, the consistency of the one style used on a home is essential. Architectural stylistic integrity is encouraged and should be used through all facades of the structure. All elements of design, shape, and form should be consistent with the selected architectural style.



### Chimneys

Chimneys are essential features of a home's overall design and often represent the strongest vertical element of a design.

### Shutters, Window Planter boxes, and Surface Mounted Gas or Electrical Light Fixtures

Initially, window and exterior door shutters were essential for summer shading and storm protection. With the advent of air conditioning, window shutters are more ornamental in design than practical.

Shutters should be approximately one-half the width of the sash that they are covering. All shutters should be installed to be operable, with hinges and wall-mounted shutter 'hold backs' (a device mounted to the wall that prevents the shutter from moving when in the open position).

Window planter boxes should be used where appropriate and should be designed and mounted in a fashion that supports the architectural style of the house.

Surface mounted gas or electric light fixtures should enhance the overall visual quality of a home rather than over-power it at dusk and after dark. These elements should be designed and placed so that they do not create visual glare or light trespass with the neighborhood.

#### **Example: Do**



#### **Example: Don't**



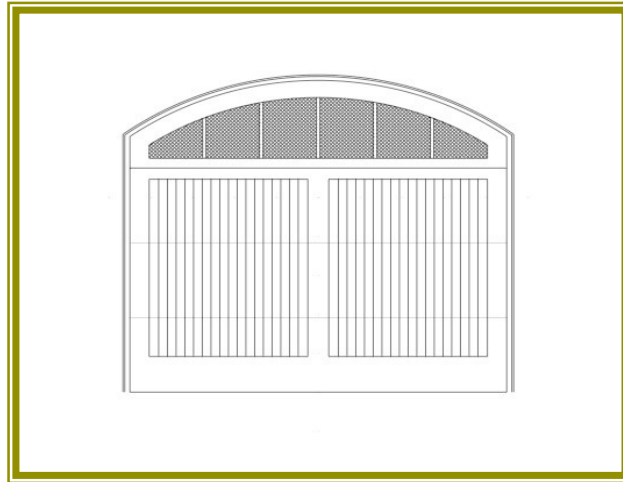


Garage and Garage Doors

Many of the older homes on smaller lots in the Village of Hinsdale have detached garages located behind the home in the rear of the property. Many homes have attached garages that are side loaded where lot width allows. Some of the newer homes have been developed with attached garages placed in front of the main entry to the home in order to create better use of the back yard.

The intent of the guidelines is to have garages compatible with the established character of the neighborhood. The garage should not dominate the street view of the home's façade and should enhance the overall composition.

**Example:**





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## **SITE AND LANDSCAPE DESIGN**

Hinsdale was platted in the mid-19th century, with gradual subdivision of the land that makes up the town today. Recent redevelopment has turned over approximately thirty percent of Hinsdale's housing stock, but most blocks retain their original character of site and setting. Dwellings were built with consistent setbacks from the street, with front yards for landscaping and plantings, and with the house's porch and main entrance oriented towards the street. Within the quadrants formed by Garfield/Washington Street and Chicago Avenue, most blocks were laid out with similar lot dimensions and distances between houses, creating a consistent rhythm and pattern in the location of dwellings and their intervening spaces. This streetscape character should be preserved and maintained.

Subject to the limitations imposed by the underlying zoning district and applicable building codes, any new construction, remodeling, demolition and/or landscaping should attempt to blend proposed work into the traditional design of the area. This includes considerations of items such as:

- Set backs
- Lot sizes
- Density
- Location on the lot
- Orientation & size of:
  - new buildings, additions, remodeling
- Placement of hard scape features such as:
  - driveways, sidewalks, parking pads, retaining walls, patios, planters, fountains, pools, gazebos, etc.
  - Other landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, etc.

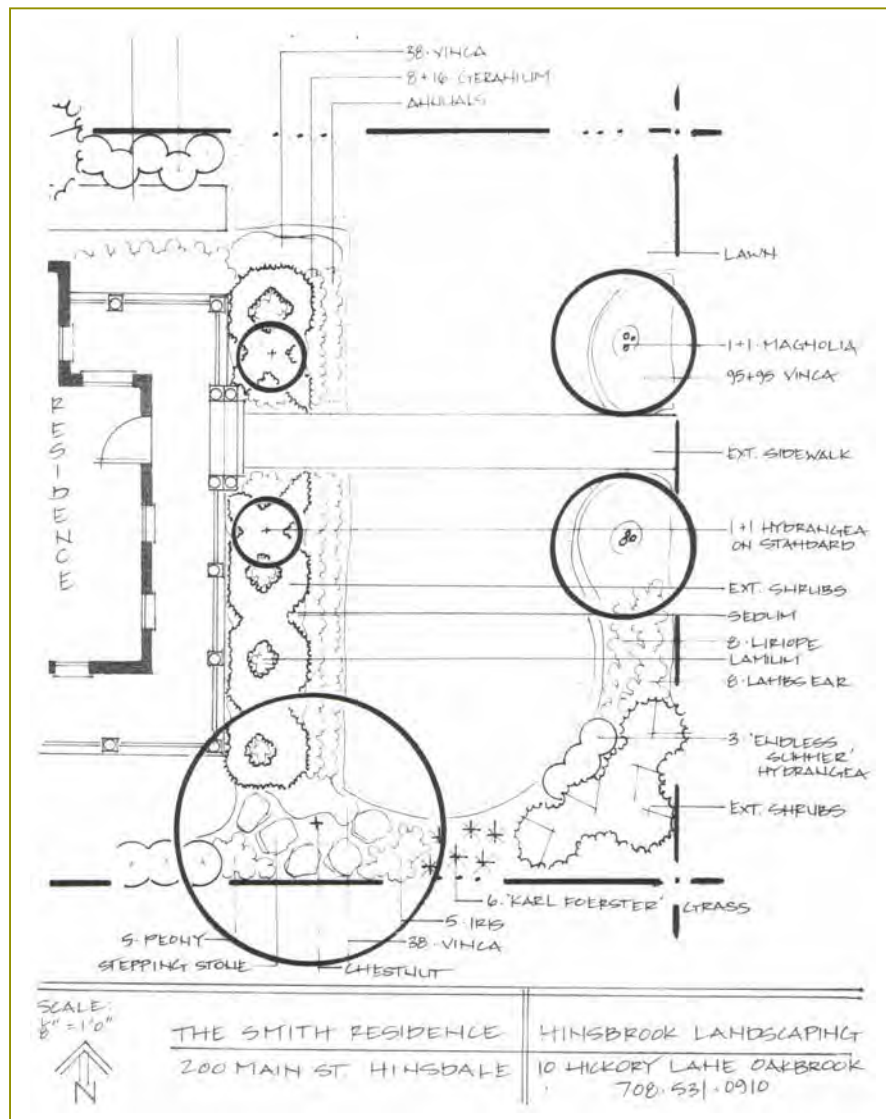
The following guidelines provide information on changes and alterations to a property's site and setting which could affect its architectural appearance.



## Village of Hinsdale Residential Design Guidelines: Section Two



Detail of  
Residential  
Landscape  
Site Plan,  
Courtesy of  
Hinsbrook  
Landscaping, Inc.



### Landscape Plan

For both New Construction and for Alterations (only if major changes to the front elevation), a Landscape Plan must show:

- Existing and proposed plantings, including the species, quantities and installed sizes (show existing trees with diameters of three (3) inches or more and large clump trees);
- All existing and proposed walls and fences, including height and type of materials.
- Proposed grading, drainage, utilities and driveway layout;
- Location of tree protection fencing;
- Location of trees on adjacent properties over 8" in diameter whose roots encroach on the subject property.

## Village Of Hinsdale Residential Design Guidelines: Section Two

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### Character of the Property

New construction should be integrated with the landscape and original distinguishing character of the property and its environment. The existing landscape should be properly protected during construction.



### Tree Preservation

The preservation of mature trees and native vegetation is necessary and desirable to maintain the character of Hinsdale. The demolition of existing structures, new development, and redevelopment of properties threaten the destruction of mature trees which have special historic, community, and aesthetic significance and value. A tree preservation plan is required by Hinsdale's Village Code Section 9-1-7.



## Village Of Hinsdale Residential Design Guidelines: Section Two

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### Site Amenities

Structures such as arbors, pergolas, gazebos, fountains, tree houses, play houses, ponds and statuary should meet the following criteria:

- 1) Be sited in rear yards or side yards
- 2) Be appropriate in scale and in architectural character with the residence;
- 3) Harmonize with the existing on-site and adjacent property trees;



### Patios and Terraces

Use permeable construction for maximum water retention on property

- 1) Acceptable materials include brick, brick pavers, concrete pavers, stone





## Village Of Hinsdale Residential Design Guidelines: Section Two

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### Retaining and Garden Walls

- 1) Retaining walls should be of poured concrete, not concrete blocks, or of stone designs such as cut stone, random rubble, coursed rubble, or cobblestones. Retaining walls of brick are less desirable.
- 2) Garden walls should be of brick, or stone, or concrete pavers, not blocks.



### Driveways

Driveways are often the introduction to a property. In an effort to preserve the landscape and create properties where the landscape is dominant over the improvements, a minimal use of hardscape is encouraged. Driveway design and materials should follow the following criteria:

- 1) Be aesthetically integrated with the site and with the architectural character of the residence;
- 2) Be a subordinate feature of the property;
- 3) Accomplish a desirable transition from the street;
- 4) Avoid impacts to existing trees, both on-site and on adjacent properties;
- 5) Use permeable construction for maximum water retention on property;
- 6) The width of driveways in front of the building line should not exceed ten feet;
- 7) Entry pillars and gates should be consistent with the character of the street.





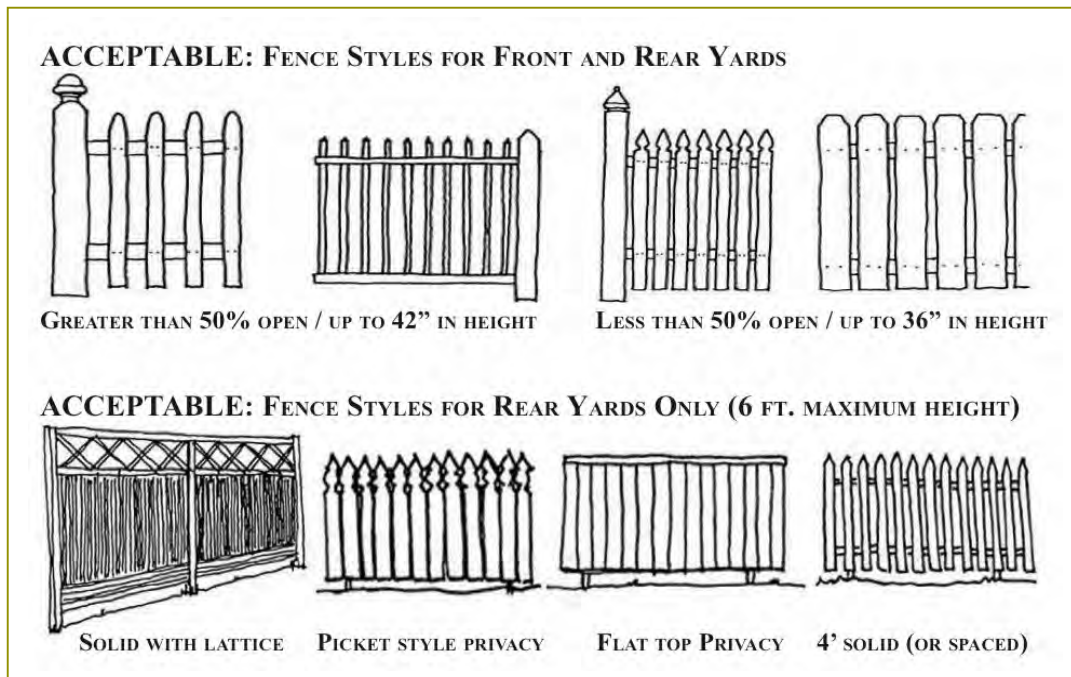
### Fences

Fences serve as a distinctive feature of the streetscape and individual yards while providing a sense of privacy and enclosure for property owners. Well designed fencing can create a unified look for the property on which it is erected, as well as enhance the neighborhood as a whole. Fences are often character defining features and should be treated sensitively.

A number of different types of materials are appropriate for fences, garden walls, and gates. Fences and gates made of cast iron, wrought iron, or wood pickets are appropriate for front yards; solid, vertical board wood fences with a flat cap, are appropriate for rear or side yards. Woven wire (chain link) and stockade fences (with jagged tops) are discouraged.

Fences, garden walls, and gates should be appropriate in materials, design, and scale to the period and character of the structure they surround, and they should harmonize with the surrounding neighborhood. Front yard fences should be designed to allow views of the yard and building, while fences for rear or side yards may be more opaque.

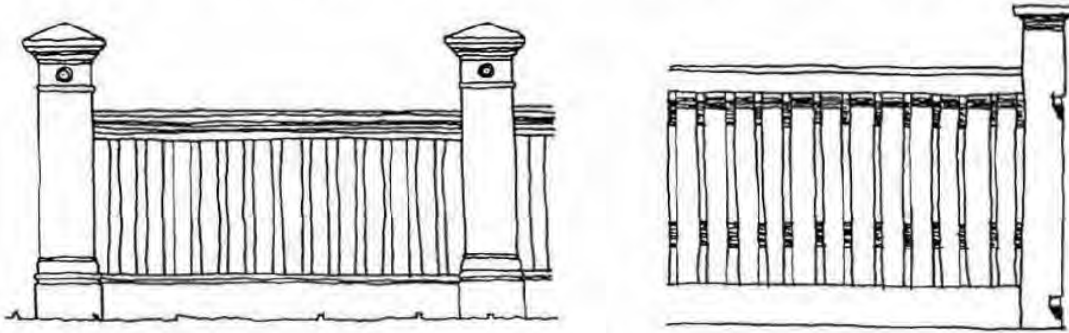
Gates should be compatible with any existing fencing, walls or landscaping, and should be designed to swing onto the private walkway or driveway, not onto the public sidewalk.



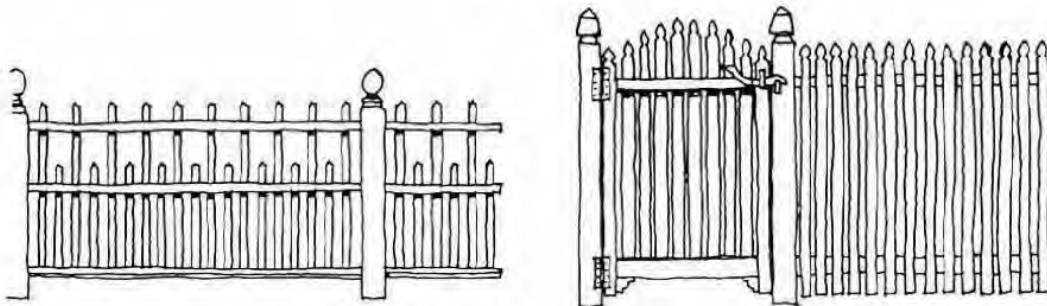




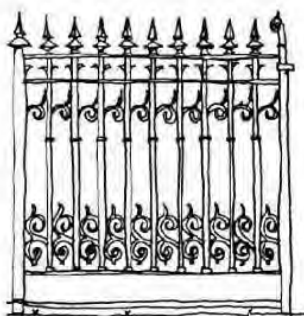
**RECOMMENDED: FENCES OF HISTORIC DESIGN FOR FRONT AND REAR YARDS**



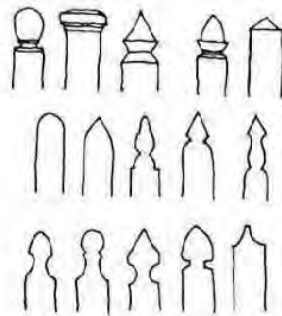
**BALUSTRADE STYLE FENCES**



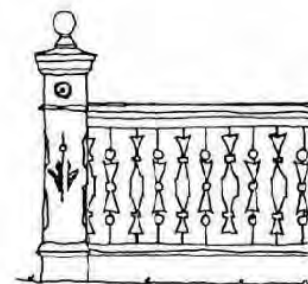
**PICKET STYLE FENCES**



**CAST IRON FENCE**



**POST AND PICKET STYLE**



**SAWN BALUSTER FENCE**

## Village of Hinsdale Residential Design Guidelines: Section Two

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### Unity of Design

Unity of design can be achieved through repetition of plant varieties, limited hardscape materials, and by correlation with the exterior of the residence.



### Plant Material

If a mature tree must be taken down, it should be replaced with a tree of equal or greater landscape value. Plant material should be selected for ultimate growth characteristics such as, structure, texture, color, seasonal interest and hardiness. Choice of native (indigenous to the region) plants is encouraged.



Plantings should be harmonious in quality and type to the scale and architectural character of the residence. The schematic landscape plan should show all pre-existing, saved landscape features (including trees), all new landscape elements, and list all plant materials. It is recommended that a registered landscape architect prepare such plan.



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## ARCHITECTURAL RESOURCES

### Roger and Ruth Anderson Architecture Center at Immanuel Hall

The Roger and Ruth Anderson Architecture Center houses the Hinsdale Historical Society's architectural archive collection, which includes blueprints, house histories, photographs, and information on Village development. In addition, the architecture section of the Society's lending library has been moved to the Anderson Center and continues to expand, covering building styles, interior elements, architect biographies, home maintenance, "green" housing, and information on new architectural products. The center is located at 302 S. Grant Street, on the lower level of Immanuel Hall. For more information call 630-654-9500 or visit the website at [www.hinsdalearchitecture.org](http://www.hinsdalearchitecture.org).

### Architectural Resource Surveys

*Northeast Hinsdale Survey Area A Summary and Inventory, 2006*

*Robbins II Survey Area: A Summary and Inventory, 2007*

The purpose of the architectural resources is to identify, document, and evaluate historic structures for their architectural significance. They were prepared by Granacki Historic Consultants and are available at the Village Hall.



Immanuel Hall at  
302 S. Grant Street  
in Hinsdale. *Courtesy  
of Hinsdale Historical  
Society*

