



## MEETING AGENDA

**MEETING OF THE  
HISTORIC PRESERVATION COMMISSION  
Wednesday, June 6, 2018  
6:30 P.M.  
MEMORIAL HALL – MEMORIAL BUILDING  
(Tentative & Subject to Change)**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**
- 4. MINUTES** – Review and approval of the minutes from the May 2, 2018, special and regular meetings.
- 5. SIGNAGE IN THE HISTORIC DOWNTOWN DISTRICT**
  - a) Case A-23-2018 – 18 W. Hinsdale Ave. – Adore Nails – 1 Illuminated Wall Sign
  - b) Case A-25-2018 – 52 S. Washington St. – Vintage Charm – 1 non-Illuminated Wall Sign
- 6. PUBLIC HEARINGS – CERTIFICATE OF APPROPRIATENESS**
  - a) Case HPC-04-2018 – 311 S. Oak Street - Request for Certificate of Appropriateness to demolish the existing home to construct a new home in the Robbins Park Historic District.
  - b) Case HPC-03-2018 – 14 Orchard Place - Request for Certificate of Appropriateness to demolish the existing home in the Robbins Park Historic District.
- 7. DISCUSSION**
  - a) Memorial Hall 90<sup>th</sup> Anniversary Celebration on July 4, 2018
- 8. ADJOURNMENT**

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: [www.villageofhinsdale.org](http://www.villageofhinsdale.org)



Approved

MINUTES  
VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION

May 2, 2018, SPECIAL MEETING

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale  
5:00 P.M.

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Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 5:00 p.m. on May 2, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Gonzalez, Commissioner D'Arco, Commissioner Bill Haarlow, Commissioner Weinberger and Commissioner Williams

Absent:

Also Present: Chan Yu, Village Planner, Lance Malina, Village Attorney, and Mike D'Onofrio, Planning Consultant

Chairman Bohnen gave a brief summary in regards to the Hinsdale Historic Districts, and the issues of how the historic preservation code has been interpreted. The fundamental question for the community is if it cares about historic preservation. And if it does care, how will it cast the rules and what will be under the purview of the HPC.

Chairman Bohnen gave two examples of applications to un-landmark their homes, which were approved by the Board of Trustees (BOT), even though the HPC unanimously recommended denying the requests. The HPC cautioned the Village and the BOT about writing code on the fly; it sets a dangerous precedent and we would like to rule by code. To that end, the HPC would like to work with the BOT to come up with rules that make sense, so moving forward, we won't have the BOT in situations where they need to listen to woeful stories that do not fit the code.

It was stated the Historic Preservation code (Title 14) should be clear on what the implications are if the tax freeze program is granted to a homeowner, and subsequently attempted to un-landmark the home. In short, one should not be able to utilize the state tax freeze program and un-landmark the home, and the Village should codify this. In addition to reviewing the code for landmarks, the HPC and the Village is also examining what triggers a Certificate of Appropriateness application. Chairman Bohnen explained that the HPC is currently charged with reviewing demolitions and streetscape (new construction) in the Robbins Park Historic District. The scope of review by the HPC may be more or the same, but the code nevertheless needs to be amended to comply with what is being currently processed.



## **Presentation – Landmarks Illinois**

Ms. Lisa DiChiera, Director of Advocacy of Landmarks Illinois, introduced herself and gave a brief background of Landmarks Illinois, established in 1971. She stated that the state tax freeze program is the primary incentive for single family home owners if they rehabilitate their landmarked homes, but acknowledged that there are not enough incentives and tools for historic preservation efforts. Ms. DiChiera explained that the Landmarks Illinois continues to work with the state legislator for a state historic tax credit that can work with the federal historic tax credit (for income producing properties).

One of the best practice communities of late is the Village of Downers Grove. Ms. DiChiera explained the Village streamlined the process to landmark a home and proactively assisted 20 homeowners with landmarking their homes in the last year and a half. On the other hand, not all communities are successful with its historic preservation efforts. For example, Ms. DiChiera mentioned Evanston and Highland Park are unfortunately showing regressive efforts, based on key preservation battles that went the wrong direction.

Chairman Bohnen expressed with pride for the community effort put into the historic downtown district of Hinsdale, and stated the same attitude could catch on for the Robbins historic residential district as well, if done correctly.

Commissioner D'Arco inquired about home rule (authority) and non-home rule communities, and how other communities deal with historic preservation commissions playing an advisory role versus being the final authority on the subject matter.

Mr. Lance Malina, Village Attorney, explained in regards to historic preservation, the difference between a home rule and non-home rule community is minimal. He also added that it is common for the recommending committees/commissions to be more strict with its interpretation of the code than the elected officials are at the final decision making step.

Mr. Michael Rachlis, Landmarks Illinois Attorney, echoed Mr. Malina's views. The issue of home rule and non-home rule in this area of land use regulation is one when you can have some freedom based on the Illinois municipal code. The Illinois municipal code permits the Village to have the authority to have a preservation ordinance, and enforce it, and there is a host of other authorities that provide "teeth" for enforcement.

Chairman Bohnen asked to clarify, if the Village can amend the code to accommodate most of its concerns without going to a home rule community.

Mr. Michael Rachlis replied, from his prospective, correct. To improve your code and for enforcement improvements, it will not require going to a home rule jurisdiction.

Mr. Lance Malina added, you can legally change the ordinance and make it stricter, but a better ordinance is a policy determination. However, that does not remove the dilemma of the elected officials when they hear circumstances that they believe warrant, for example, to un-landmark a home.



Commissioner D'Arco expressed the ordinance should be structured to require facts and evidence for the things the applicant is claiming.

Mr. Lance Malina replied that some of the Board members at the time, stated when the original ordinance was passed, various persons did not believe landmarking was quite as strict as legally it was on paper.

Chairman Bohnen stated that he believes it is very important to have strict meaningful language that fits all unusual circumstances. The way Title 14-4-1(E) is written currently, is not to his satisfaction, and should be rewritten to reflect what the HPC wants it to say, and not with vague language.

As a member of the public meeting audience, Trustee Posthuma reviewed that there is an inconsistency in the code regarding economic hardship for a Certificate of Appropriateness and a landmark withdraw request. It does not make sense it is different and the Village should determine which direction to take. He also added that the Village Board did take into consideration, that the last landmark withdraw applicant did not participate in the state tax freeze program; and on the other hand, agreed that it does not make sense for a homeowner who did participate in the tax freeze program, to be able to un-landmark their home.

Commissioner Haarlow stated that he was on the Board of Trustees at the time of the first landmark withdraw application (Barrow's) and recalled the vague language and difficulty the Board faced, particularly because it was the first withdraw request. On that note, it would be helpful to define the criteria and require written answers to each criterion, to show demonstration of hardship. (A discussion in regards to the Zoning Board of Appeals, variations and an appeal to the interpretation of the code by staff ensued.)

Ms. DiChiera stated that she and Mr. Rachlis agreed that Title 14-4-1(E) should not exist in the code because the financial hardship criteria list is in another section of the code (Certificate of Appropriateness section), and to Mr. Rachlis's point, the Village should evaluate if Title 14-4-1(E) should remain or removed. It was also added that as a certified local government designation, a report should be sent to the state annually. An example of the final decision body at Evanston, agreeing with the HPC's recommendation to deny un-landmarking 2 properties due to the clear language of the code was reviewed. In regards to an example of an incentive, the City of Chicago waives building permit fees to landmarked homes.

Chairman Bohnen expressed it is the HPC's hope to gain a positive attitude for drafting a revised preservation ordinance that is popular, manageable, and the HPC looks forward to working with the Board of Trustees.

Commissioner Williams stated in the interim of revising the ordinance, the HPC should improve its findings and recommendations to elaborate the facts and put their feelings into it.



Chairman Bohnen added that he is surprised and found it unusual that the HPC does not write its own findings and recommendations. To that end, perhaps the HPC could write a draft for the Village Attorney to consider when they create the final version.


Additional discussion about landmark programs in other communities ensued.

Commissioner Prisby suggested that the revised code should be simple and straight forward to prevent a lot of issues moving forward in regards to landmark withdrawal applications.

### **Adjournment**

The HPC unanimously agreed to adjourn at 6:20 PM on May 2, 2018.

Respectfully Submitted,

 , Village Planner



Approved

MINUTES  
VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION

May 2, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale

6:30 P.M.

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Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:45 p.m. on May 2, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Gonzalez, Commissioner Prisby,  
Commissioner Weinberger, Commissioner Williams and Commissioner  
Haarlow  
Absent: Commissioner D'Arco  
Also Present: Chan Yu, Village Planner

**Minutes**

Chairman Bohnen introduced the minutes from the April 4, 2018, meeting and asked for any comments. Commissioner Gonzalez requested a change to the transcript for Case HPC-02-18, to add "9" in vertical elevation" on line 22 of page 16. (Discussion regarding Case HPC-02-18 and the building permit process ensued.)

With no other comments, the HPC **unanimously approved, 6-0** (1 absent) the minutes from the April 4, 2018, meeting, with the requested revision.

**Commissioner Prisby made a motion to flip the order of the sign applications so that Case A-18-2018 is reviewed before Case A-16-2018. Commissioner Gonzalez seconded. The motion was approved unanimously.**

**Signage in the Historic Downtown District**

**Case A-18-2018 – 29 E. First Street – 1 Wall Sign application in the Historic Downtown District for Harry & Eddie's**

The owner of Harry & Eddie's, Brian Goewey, and the sign company introduced themselves, and presented the request to install a new wall sign on the canopy, same location of the former Cine wall sign.

Commissioner Prisby stated that he reviewed this and had no issues with it, and felt it fit well with the building.

Commissioner Williams had a question about the name of the restaurant, regarding "Bill", the architect of the building.



Mr. Goewey replied the names of the restaurant have additional meaning. The corporate chef's grandfather's name is Harry, and his grandfather's name is Eddie. He added the goal is to remove the existing Cine signage to better expose the historic building and features.

The HPC supported the request, and a motion to recommend **approval** of the sign application, as submitted, was **unanimously approved, 6-0 (1 absent)**

### **Signage in the Historic Downtown District**

#### **Case A-16-2018 – 36 E. Hinsdale Avenue – Salon Lofts – 2 Illuminated Wall Signs in the Historic Downtown District.**

The sign applicant introduced himself from Olympic sign company, and presented the scope of the sign request for 1 illuminated wall sign on the front of the building facing Hinsdale Avenue, and a second illuminated wall sign on the back of the building facing the parking lot.

Chairman Bohnen asked the nature of the business.

The applicant replied it is a high end beauty salon.

Chairman Bohnen asked if the business, Salon Lofts stays open at all hours.

The applicant replied he is not sure, but it likely closes at 9 or 10 PM, based on the north shore locations.

Commissioner Prisby asked why there needs to be a sign at the back of the building.

The applicant replied that he believes patrons could enter from the rear door.

Commissioner Williams stated the uncertainty makes it more difficult for the HPC to review the request.

Discussion of the former Foster Toys signage at the back of the building and the name of "Salon Lofts" ensued.

Commissioner Prisby stated that he understands the need for signage, however, if the signage in the rear will not be a primary entrance into the business, he does not see the need for the sign at the back of the building.

Chairman Bohnen stated that he is opposed to illuminated signage.

Commissioner Williams stated that signage that is both halo lit and face lit is not in keeping with the historic character of Hinsdale. She presented photos of the difference between halo lit and both halo and face lit, and is opposed to the latter.



Commissioner Gonzalez asked if that means it is essentially double illuminated.

Commissioner Williams and Weinberger replied correct.

Chairman Bohnen asked if the photo sim is an accurate depiction of how the sign would appear illuminated.

The applicant replied it is the best they can do, and is illuminated by standard 100 watt LED.

Commissioner Prisby asked if there has been any consideration for exterior down lights, which better suits the historic downtown district.

The applicant stated that he can report to Salon Lofts the HPC's concerns.

A motion to recommend **disapproval** of the sign application, as submitted, was unanimously approved, **6-0 (1 absent)**, with a recommendation to illuminate with down lights.

#### **Discussion - Hinsdale Historical Society Mobile Tours App Update**

Commissioner Weinberger reviewed that there are two events, on May 11 at KLM for the app kickoff, and an ice cream social with the tentative date of June 3<sup>rd</sup>.


Commissioner Prisby asked about the time for the May 11 event.

Commissioner Weinberger replied it is during the Kitchen Walk, from 10 AM to 2 PM.

#### **Adjournment**

The HPC unanimously agreed to adjourn at 7:36 PM on May 2, 2018.

Respectfully Submitted,

 , Village Planner





## MEMORANDUM

**DATE:** June 6, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 18 W. Hinsdale Avenue – Adore Nails – 1 New Illuminated Wall Sign - Case A-23-2018

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### Summary

The Village of Hinsdale has received a sign application for Adore Nails, requesting approval to install 1 new illuminated wall sign at 18 W. Hinsdale Avenue, in the Historic Downtown District in the B-2 Central Business District.

### Request and Analysis

The requested wall sign is proposed to be located on the front building facade. It would display white channel letters made of flexi-glass, and is internally illuminated by LED, white in color. The proposed front wall sign is 1'-11" tall and 13' wide for an area of 25 SF. The building frontage is 25' wide, and the Code permits a single tenant building in the B-2 District 1 SF per lineal foot of building frontage.

### Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

### Attachments:

- Attachment 1 – Sign Application and Exhibits
- Attachment 2 - Village of Hinsdale Zoning Map and Project Location
- Attachment 3 - Street View of 18 W. Hinsdale Avenue
- Attachment 4 - Birds Eye View of 18 W. Hinsdale Avenue



# Illuminate Individual channel Letter

CUSTOMER **Adore Nails**

LOCATION **18 W. Hinsdale Ave. Hinsdale Il**



1.9' **Adore Nails**  
13' TOTAL SIGN SQFT : 25 SQFT

## Neon Art Sign

4752 N. Avers Chicago Il 60625

[www. neonartchicago.com](http://www.neonartchicago.com)

[hochulshin1@gmail.com](mailto:hochulshin1@gmail.com)

773-588-5883(B) 224-678-3387(C)

FACE	WHITE
TRIM CAP	BLACK
RETURN	BLACK
RACEWAY	BROWN



- 1.5" RETURNS
2. FLEXI-GLASS FACE
3. FASTEN BOLT FOR MOUNTING
4. LED LIGHTS
5. POWER SUPPLY
6. TRIM CAP
7. WALL
8. TOGGLE SWITCH
9. DRAIN HOLE
10. RACE WAY
11. IRON ANGLE





**VILLAGE OF HINSDALE  
COMMUNITY DEVELOPMENT DEPARTMENT  
APPLICATION FOR SIGN PERMIT**

**Applicant**

Name: Purevsuren Baatarsuren  
 Address: 2525 Virginia Ln  
 City/Zip: Northbrook IL 60062  
 Phone/Fax: (773) 704 1 7479  
 E-Mail: puvjee10@yahoo.com  
 Contact Name: Amy

**Contractor**

Name: Neon Art  
 Address: 4752 N. Avers  
 City/Zip: Chicago IL 60625  
 Phone/Fax: (773) 588 1 5883  
 E-Mail: hochulshin1@gmail.com  
 Contact Name: hochul shin

**ADDRESS OF SIGN LOCATION:** 18 W. Hinsdale Ave. Hinsdale IL  
**ZONING DISTRICT:** Please Select One BUSINESS ZONING  
**SIGN TYPE:** Please Select One INDIVIDUAL CHANNEL LETTER w/Raceway  
**ILLUMINATION** Please Select One LED LIGHTS

**Sign Information:**

Overall Size (Square Feet): 25 (1.9' x 13')  
 Overall Height from Grade: 13' Ft.  
 Proposed Colors (Maximum of Three Colors):  
☒ WHITE  
☐ \_\_\_\_\_  
☐ \_\_\_\_\_

**Site Information:**

Lot/Street Frontage: 25  
 Building/Tenant Frontage: 25  
 Existing Sign Information:  
 Business Name: N/A  
 Size of Sign: N/A Square Feet  
 Business Name: N/A  
 Size of Sign: N/A Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

5.8.18

Signature of Building Owner

Date

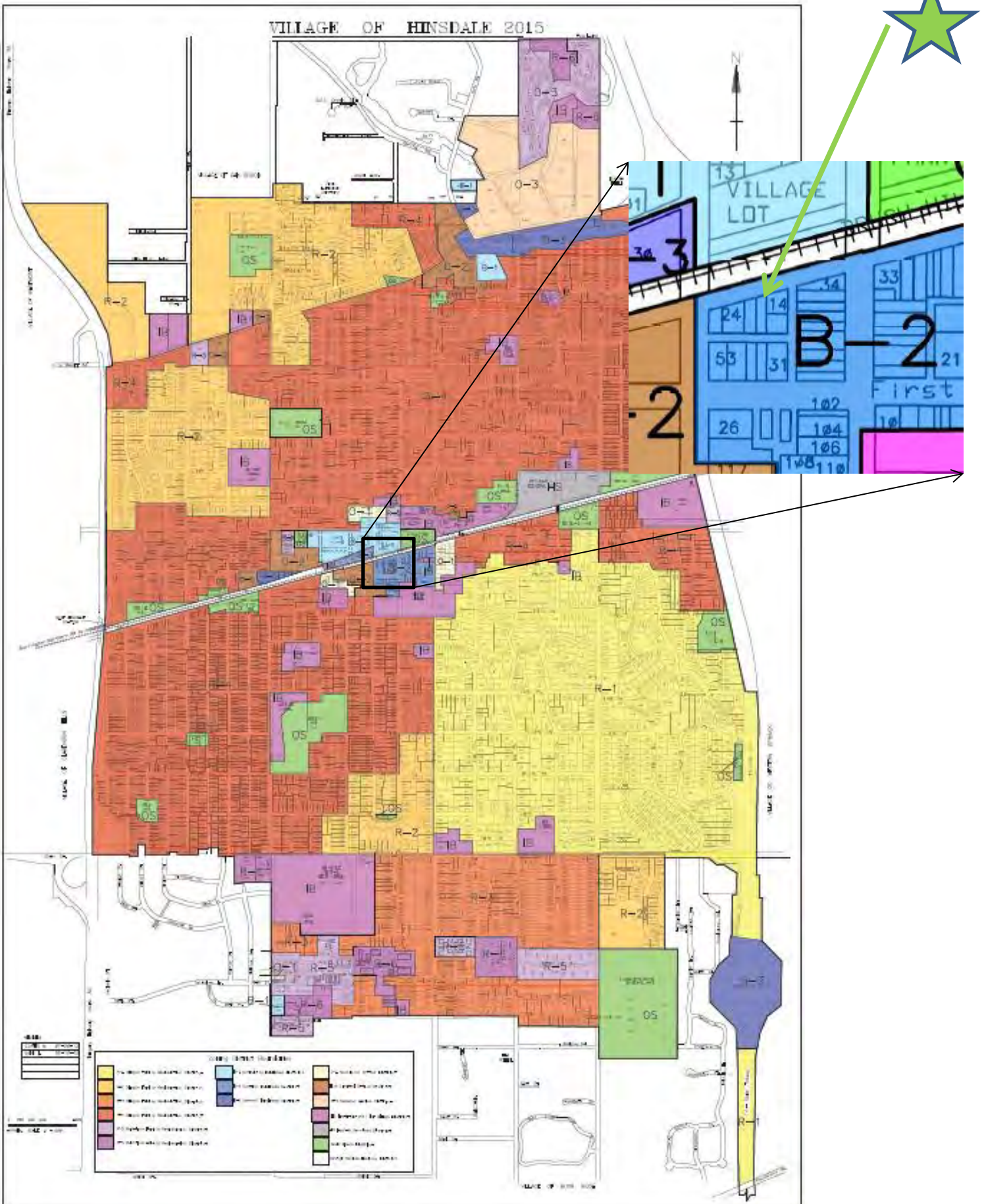
5-8-18**FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE**

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: \_\_\_\_\_ Administrative Approval Date: \_\_\_\_\_



## Attachment 2: Village of Hinsdale Zoning Map and Project Location





**Attachment 3: Street View 18 W. Hinsdale Ave. (facing south east)**  
**Proposed Signage Location**





Attachment 4: Birds Eye View of 18 W. Hinsdale Ave. (facing south)








## MEMORANDUM

**DATE:** June 6, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 52 S. Washington Avenue – Vintage Charm – 1 New non-Illuminated Wall Sign  
Case A-25-2018

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### Summary

The Village of Hinsdale has received a sign application for Vintage Charm, requesting approval to install 1 new non-illuminated wall sign at 52 S. Washington Avenue, in the Historic Downtown District in the B-2 Central Business District.

### Request and Analysis

The requested wall sign is proposed to be located on the front building facade. It would display black text with a pink and black business logo, on a white sign backing. The proposed wall sign is 3' tall and 8' wide for an area of 24 SF (includes sign backing). Per the Code, a multi-tenant building is permitted to request for 25 SF per tenant. The proposed wall sign would replace the existing Green Goddess wall sign and utilize its sign bracket (Attachment 4).

### Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

### Attachments:

- Attachment 1 – Sign Application and Exhibits
- Attachment 2 - Village of Hinsdale Zoning Map and Project Location
- Attachment 3 - Birds Eye View of 52 S. Washington Avenue
- Attachment 4 - Street View of 52 S. Washington Avenue



Existing



Proposed



☒ APPROVED

☐ NOT APPROVED

NOTES: \_\_\_\_\_

\_\_\_\_\_

CLIENT:  
Vintage Charm

CONTACT:  
Kevin Allodi

ADDRESS:  
52 S. Washington  
Hinsdale, IL

PHONE:  
708-207-6256

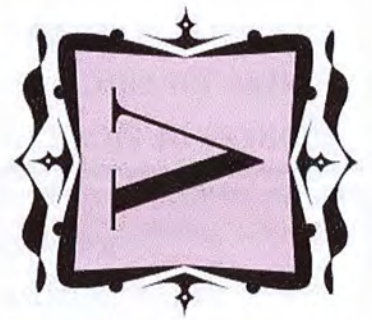
EMAIL:  
kevin@vintagecharm.com

QUANTITY: 1  
SIZE: 92" W X 32" H  
MATERIAL/MEDIA:  
DIGITALLY PRINTED ON 3M ADHESIVE VINYL  
LAMINATED WITH 3M DUTCOAT LAMINATION  
APPLIED TO .063 ALUMINUM MOUNTED  
(SCREWS) OVER EXISTING SIGN WITH BROWN  
BORDER INSTALLED ON SITE

DESIGNER: PRJ | DATE: D5/05/18



15480 Garden Avenue - Downers Grove, IL 60515  
P: 630.515.1085 - F: 630.515.1087  
E-Mail: info@signsnowdownersgrove.com



Vintage  
Charm

92"

32"





**VILLAGE OF HINSDALE  
COMMUNITY DEVELOPMENT DEPARTMENT  
APPLICATION FOR SIGN PERMIT**

**Applicant**

Name: Vintage Charm, Inc.  
 Address: 52 S Washington Street  
 City/Zip: Hinsdale 60521  
 Phone/Fax: (630) 537 / 1916  
 E-Mail: kevin@shopvintagecharm.com  
 Contact Name: Kevin Allodi

**Contractor**

Name: Signs Now  
 Address: 1548 Ogden Ave  
 City/Zip: Downers Grove IL 60515  
 Phone/Fax: (630) 515 / 1085  
 E-Mail: info@signsnowdownersgrove.com  
 Contact Name: Tracy Hodge or Jim

**ADDRESS OF SIGN LOCATION:** 52 S Washington St.

**ZONING DISTRICT:** B-2 Central Business District

**SIGN TYPE:** Wall Sign

**ILLUMINATION** None

**Sign Information:**

Overall Size (Square Feet): 24 sf ( 36" x 96" )

Overall Height from Grade: 24 Ft.

Proposed Colors (Maximum of Three Colors):

- ① White (background)
- ② Black Logo/Lettering
- ③ Pink (background of logo)

**Site Information:**

Lot/Street Frontage: 24 ft

Building/Tenant Frontage: 24 ft

Existing Sign Information:

Business Name: Vintage Charm, Inc. (formerly Green Goddess)

Size of Sign: 24 sf (36"x96") Square Feet

Business Name: Note: we're simply replacing their sign, same dimensions

Size of Sign: \_\_\_\_\_ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Kevin B. Allodi Digitally signed by Kevin B. Allodi  
Date: 2018.05.01 15:13:38 -05'00'

05/01/2018

Signature of Applicant

Date

DocuSigned by:

Steve Rembos

05/01/18

Signature of Building Owner

Date

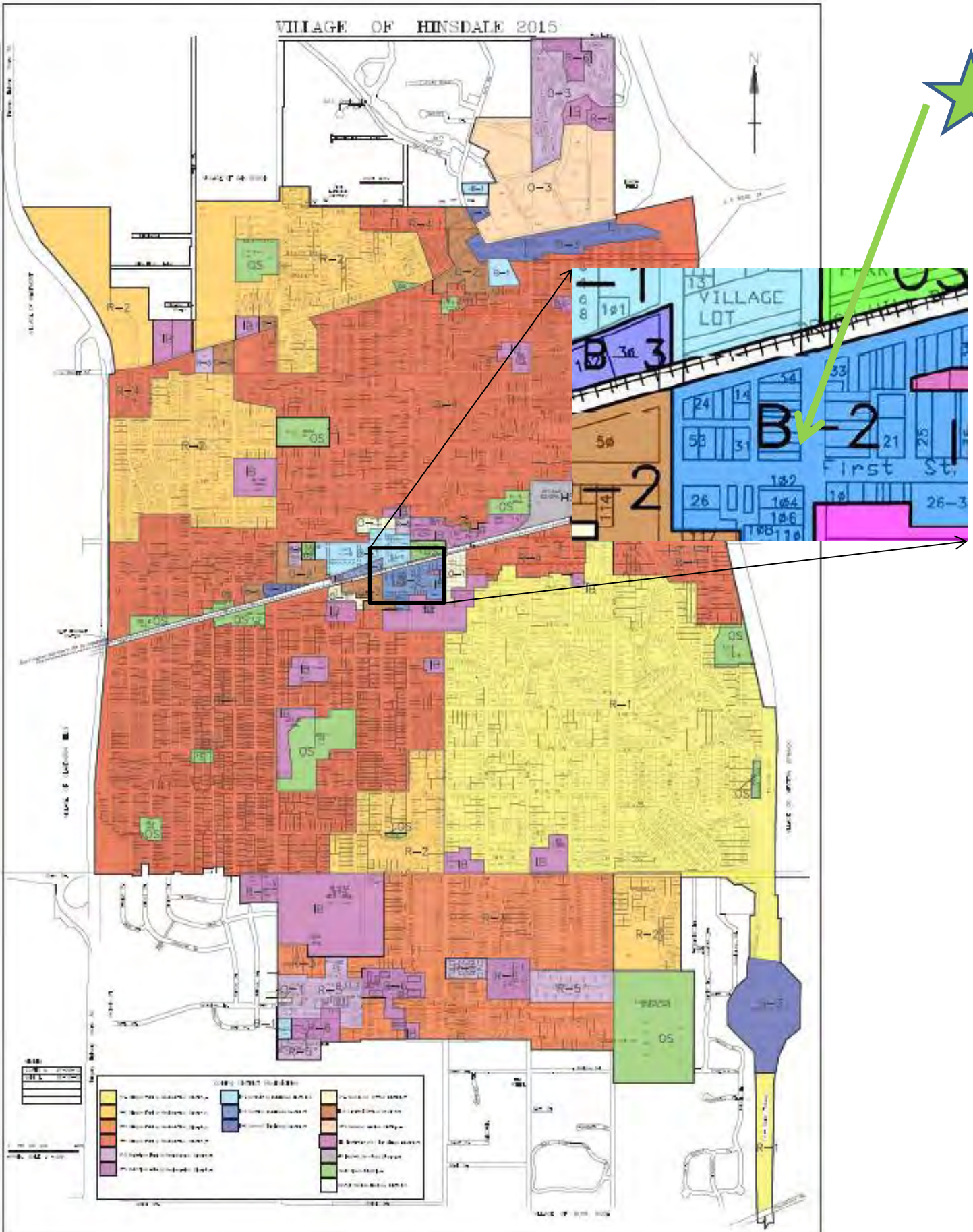
**FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE**

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: \_\_\_\_\_ Administrative Approval Date: \_\_\_\_\_



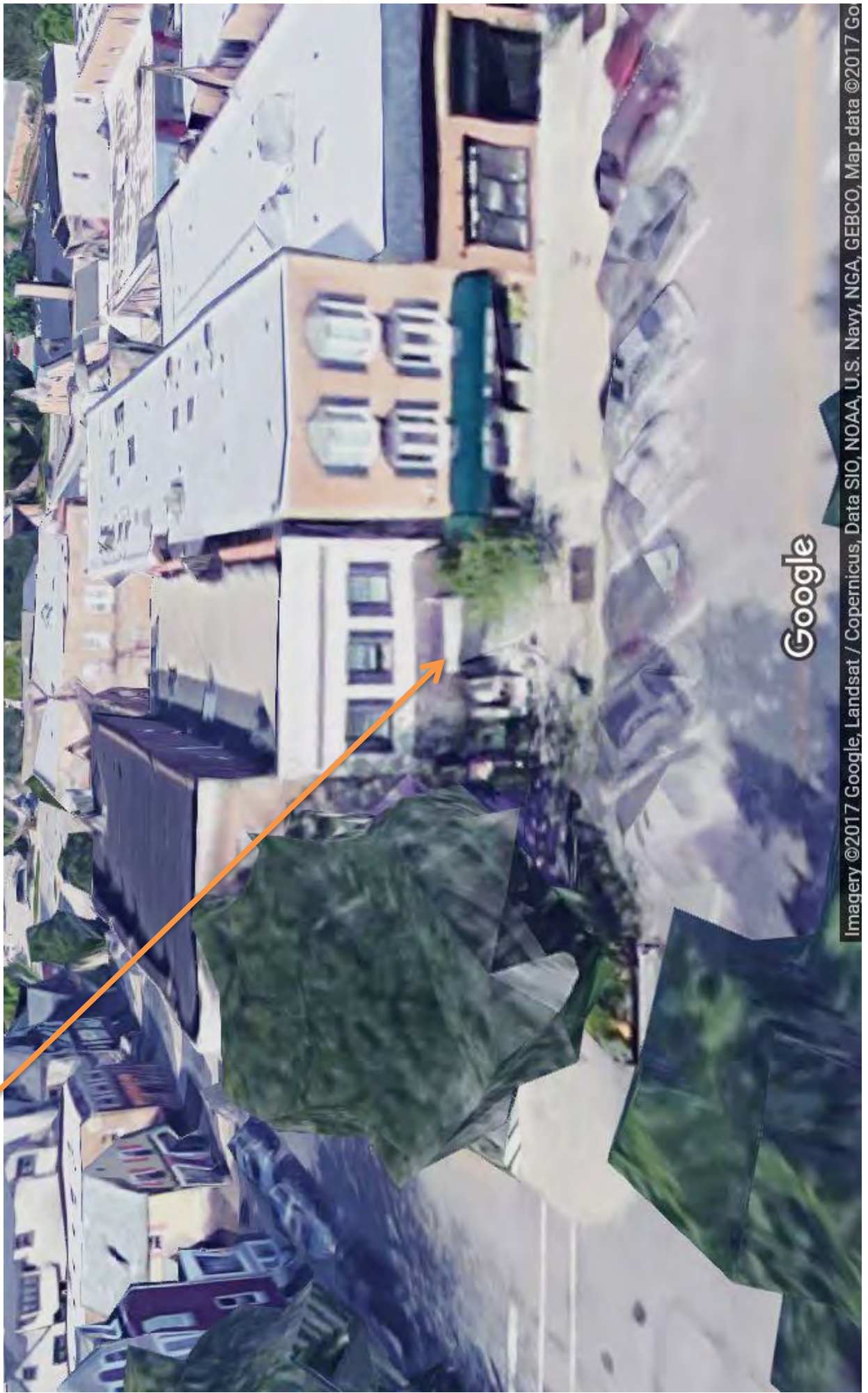
## Attachment 2: Village of Hinsdale Zoning Map and Project Location





**Attachment 3: Birds Eye View of 52 S. Washington Street (facing west)**

Proposed Sign Location





**Attachment 4: Street View of 52 Washington St. (facing west, before updated façade improvement)**  
Existing Wall Sign







## MEMORANDUM

**DATE:** June 6, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 311 S. Oak Street – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – Case HPC-04-2018

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### Summary

The Village of Hinsdale has received an application from Kenna Builders, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

### Request and Analysis

The subject property is located on the corner of E. 3<sup>rd</sup> Street and S. Oak Street. The existing home was constructed in 1915 according to the National Register of Historic Places (and initially surveyed as 334 E. 3<sup>rd</sup> St.). The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). Per the applicant, the proposed new home will be a classic style featuring a stone façade and slate roof.

The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is approximately 25,091 SF in area. The existing home, per the National Register of Historic Places, is a contributing Prairie Style structure in the Robbins Park Historic District.

### Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.





## MEMORANDUM

### **Attachments:**

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - National Register of Historic Places Sheet (Section Number 7 Page 22, note the aforementioned 334 E. 3<sup>rd</sup> Street address)



**VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION  
APPLICATION FOR PRELIMINARY CERTIFICATE OF APPROPRIATENESS  
REVIEW**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Preliminary Certificate of Appropriateness Review for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 311 S Oak St  
Property Identification Number: 09-12-214-001

**I. GENERAL INFORMATION**

1. Applicants Name: Kenna Builders Inc  
Address: 611 S Washington St  
Hinsdale IL 60521  
Telephone Number: 630 986 9067
2. Owner of Record (if different from applicant): Wendy & Benek Delamater  
Address: 912 S. Garfield  
Hinsdale IL 60521  
Telephone Number: \_\_\_\_\_
3. Others involved in project (include, name, address and telephone number):  
Architect: G.O. Architectural Design - 630 887-1405  
107 S. Stoughton St Hinsdale IL 60521  
Attorney: \_\_\_\_\_  
Builder: \_\_\_\_\_  
Engineer: \_\_\_\_\_

**II. SITE INFORMATION**

1. Describe the existing conditions of the property: Single Family Home in  
poor condition
2. Property Designation:  
Listed on the National Register of Historic Places? \_\_\_\_\_ YES X NO  
Listed as a Local Designated Landmark? \_\_\_\_\_ YES X NO  
Located in a Designated Historic District? X YES \_\_\_\_\_ NO



3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

New single Family residence per attached drawings

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4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No        Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. \_\_\_\_\_

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## CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ **INDIVIDUAL OWNERS**

Wendy Delafater

Signature of Applicant

[Signature]

Signature of Applicant

☐ **CORPORATION**

\_\_\_\_\_  
Signature of Applicant's President

\_\_\_\_\_  
Signature of Applicant's Secretary

☐ **PARTNERSHIP**

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

**LAND TRUST**

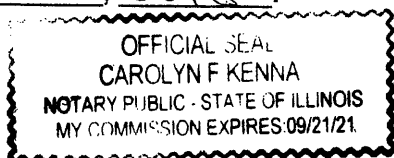
\_\_\_\_\_  
Signature

**OTHER**

\_\_\_\_\_  
Signature of Authorized Officer

SUBSCRIBED AND SWORN  
to before me this 10 day of

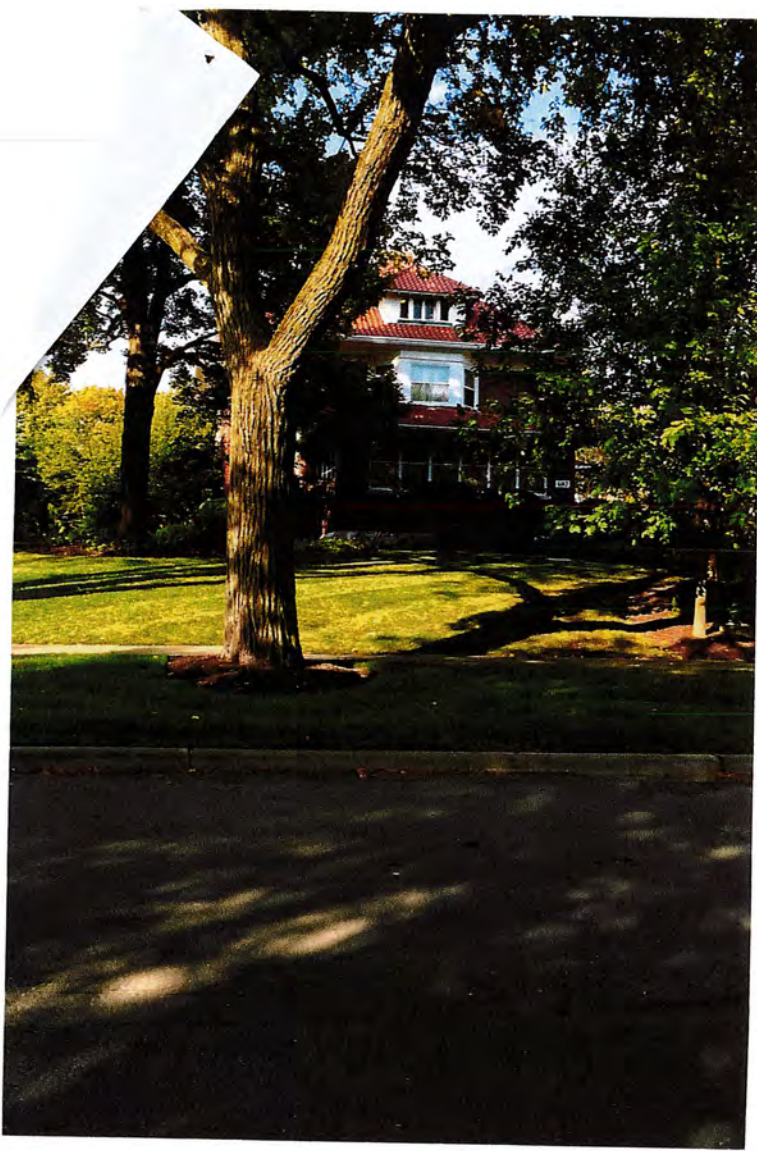
April, 2018



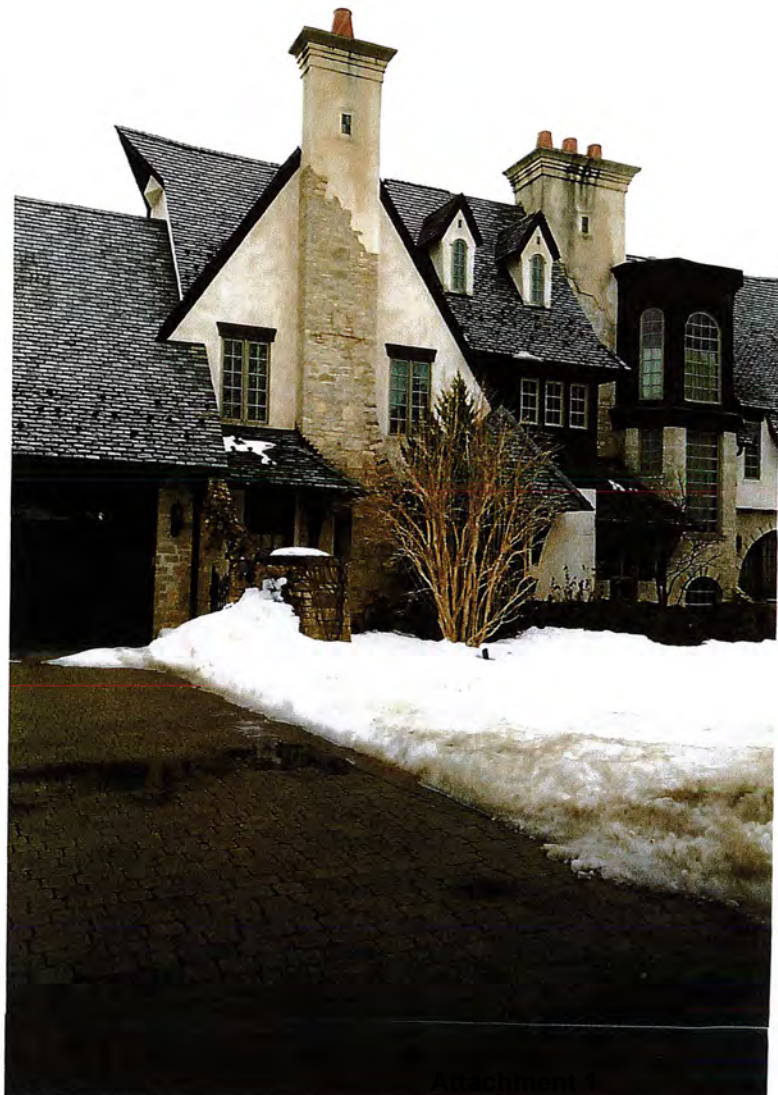
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Notary Public



Subject 311 S. Oak St



327 S. Oak  
South of  
subject

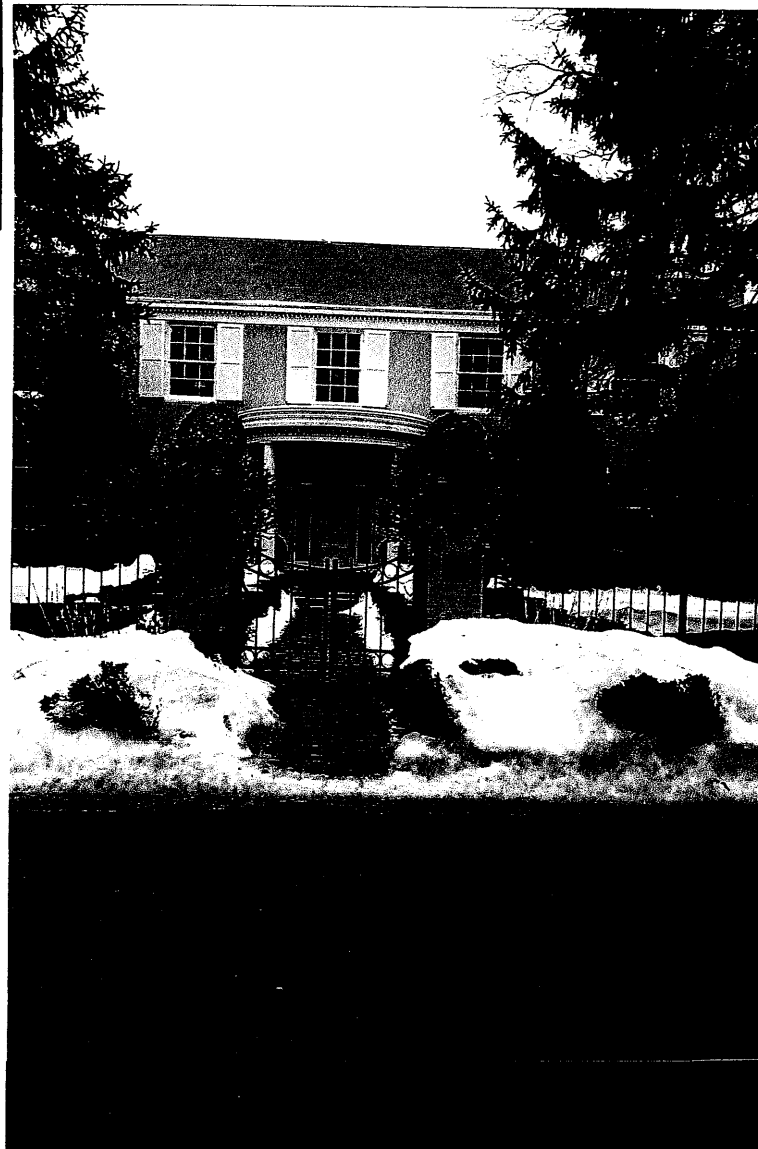






316 E 3rd St.  
West of subject  
across Oak Street

348 E 3rd →  
East of  
subject







337 E 3rd St  
North of subject

327 E 3rd St  
North of subject





# DEMOLITION, EROSION CONTROL & TREE PRESERVATION PLAN

## WARNING



CALL BEFORE  
YOU DIG

## LOT COVERAGE DATA

LOT AREA: 25,091 S.F.  
EXISTING IMPERVIOUS AREA: 5,435 S.F.  
PROPOSED IMPERVIOUS AREA: 8,513 S.F.  
PROPOSED % IMPERVIOUS: 33.9%

## DRAINAGE AREAS TO OFFSITE

EXISTING:  
TO NORTH: 0%  
TO SOUTH: 0%  
TO WEST: 30%  
TO EAST: 70%  
PROPOSED:  
TO NORTH: 0%  
TO SOUTH: 0%  
TO WEST: 30%  
TO EAST: 70%

## EXISTING IMPERVIOUS AREA EXHIBIT

RESIDENCE: 1,816 S.F.  
DETACHED GARAGE: 425 S.F.  
DRIVEWAY: 995 S.F.  
PATIO: 1,126 S.F.  
WALKS: 918 S.F.  
WALLS: 155 S.F.  
TOTAL: 5,435 S.F.

## AVERAGE EXISTING ELEVATION PROPOSED BUILDING CORNERS

SOUTHWEST CORNER: 689.7  
NORTHWEST CORNER: 691.6  
NORTHEAST CORNER: 689.6  
SOUTHEAST CORNER: 685.7  
AVERAGE ELEVATION: 689.2

## VILLAGE FORESTRY NOTES:

- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED TREE PRESERVATION PLAN.
- AN APPROVED TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
- NO TRENCHING SHALL BE DONE WITHIN THE TREE PROTECTION ZONES FOR INSTALLATION OF SILT FENCING. TREE PROTECTION ZONE (TPZ) IS THE DESIGNATED AREA THAT ENCOMPASSES AN ENTIRE TREE CANOPY. THE SILT FENCE SHOULD BE SECURED WITH SAND BAGS OR HAY BALES WITHIN THE TPZ. INSTALL TREE PROTECTION FENCE AND PERFORM ROOT PRUNING PER PLAN FOR ALL PROTECTED TREES PRIOR TO ANY CONSTRUCTION ACTIVITY.
- FENCE THE PUBLIC PORTION (PARKWAYS) OF THE ENTIRE TREE PROTECTION ZONE(S) WITH A 6" CHAIN LINK FENCE TO PREVENT WOUNDS TO THE PARKWAY TREE(S) AS WELL AS SOIL COMPACTION. POST THE FENCE WITH A SIGN STATING "TREE PROTECTION ZONE - KEEP OUT". AT NO TIME SHALL EQUIPMENT, MATERIAL, SUPPLIES, OR FILL SOIL BE ALLOWED IN THE TREE PROTECTION ZONE(S). DO NOT STORE ANY EXCAVATED SOIL OR THE DUMPSTER WITHIN THE DRIP-LINE (TPZ) OF THE PARKWAY TREE(S).
- SHOULD IT BE NECESSARY TO TRENCH WITHIN THE TPZ FOR UTILITIES, INCLUDING DISCONNECTION OR CAPPING OF EXISTING UTILITIES, ALL TRENCHES SHALL BE HAND DUG. NO ROOTS LARGER THAN TWO INCHES (2") SHALL BE CUT UNLESS NO OTHER ALTERNATIVE IS FEASIBLE. ALL SMALLER ROOTS THAT REQUIRE CUTTING SHALL BE CUT WITH PRUNING SAWS. CUTS SHALL BE MADE FLUSH WITH THE SIDE OF THE TRENCH. IF AT ANY TIME TWENTY-FIVE PERCENT (25%) OF THE AREA WITHIN THE TPZ IS BEING SEPARATED FROM THE TREE BY A TRENCH, THEN THE LINE SHALL EITHER BE RELOCATED OR INSTALLED BY USING TRENCHLESS METHODS.
- REMOVAL OF ANY HARDSCAPE AND/OR EXCAVATION WITHIN THE TREE PROTECTION ZONE(S) WILL BE DONE BY HAND. ALL ROOTS LARGER THAN 2" WILL NOT BE CUT UNLESS THERE IS NO ALTERNATIVE. CUTS WILL BE MADE WITH A SHARP PRUNING SAW TO AVOID TEARING AND WILL BE FLUSH WITH THE TREE SIDE OF THE TRENCH.
- TREE PROTECTION ZONE(S) SHOULD BE MULCHED DURING CONSTRUCTION TO IMPROVE THE DRAINAGE CONDITIONS FOR TREE ROOTS BY REDUCING COMPACTION, IMPROVE AERATION, ENHANCE MOISTURE RETENTION, REDUCE TEMPERATURE EXTREMES AND MINIMIZE MAINTENANCE OF THE PARKWAY LAWN.
- NO TRENCHING SHALL BE DONE WITHIN THE TREE PROTECTION ZONES FOR ANY CONSTRUCTION ACTIVITY UNLESS PRE-APPROVED BY BUILDING DEPARTMENT AND FORESTRY STAFF.
- NO GRADE CHANGES SHOULD BE DONE WITHIN THE TREE PROTECTION ZONES OF PARKWAY TREES FOR ANY CONSTRUCTION ACTIVITY.
- LOCATE THE PROPOSED WATER AND SEWER LINES OUTSIDE OF THE TREE PROTECTION ZONE OR INSTALL THE SEWER AND WATER UTILITIES USING TRENCH-LESS METHODS. AUGER THROUGH THE ENTIRE TREE PROTECTION ZONE, LOCATE PITS OUTSIDE OF THE TREE PROTECTION ZONE.
- NO MECHANIZED EQUIPMENT, MATERIALS, OR SUPPLIES SHOULD BE ALLOWED WITHIN THE TREE PROTECTION ZONES OF PROTECTED TREES IN ORDER TO MINIMIZE DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS (IF APPLICABLE).
- NO EQUIPMENT SHALL BE DRIVEN OVER OR MATERIAL STORED ON THE CRITICAL ROOT ZONES OF PROTECTED TREES.
- ALL REQUIRED TREE PRESERVATION FENCING SHALL REMAIN IN PLACE UNTIL THE TIME OF FINISH GRADING AND LANDSCAPING.
- DEMOLITION AND CONSTRUCTION OF ANY PROPOSED SIDEWALK SHOULD FOLLOW THE VILLAGE DETAIL FOR SIDEWALK CONSTRUCTION WITHIN TREE PROTECTION ZONES, INCLUDING NO TO MINIMAL EXCAVATION (SEE MANDATORY TREE PROTECTION DURING CONSTRUCTION POLICY).
- ADJACENT PRIVATE PROPERTY TREES REQUIRING PROTECTIVE FENCING WILL BE PROTECTED USING PERIMETER CONSTRUCTION FENCING INSTEAD OF INDIVIDUAL TREE FENCING. HOWEVER, FOR PRACTICAL PURPOSES THE VILLAGE OF HINSDALE REQUIRES THAT THE PUBLIC PORTION BE DELINEATED WITH CHAIN-LINK FENCING.



STRUCTURES, PAVEMENT AND  
FENCES TO BE REMOVED

THIS TREE PRESERVATION PLAN INCORPORATES ALL REASONABLE STEPS  
NECESSARY TO MINIMIZE DAMAGE TO TREES ON PROPERTY AND ADJACENT  
TO THE PROPERTY.

The Tree Preservation Plan was performed by Certified Arborist Jay Peters

Jay C. Peters Certified Arborist # IL-1201  
2.26.2018

## ADDRESS SETBACK

311 S. OAK STREET 48.8'  
348 E. 3RD STREET 50.1'  
406 E. 3RD STREET (VACANT)  
420 E. 3RD STREET 58.1'  
430 E. 3RD STREET 57.8'  
434 E. 3RD STREET 56.0'  
306 S. COUNTY LINE ROAD (48.5')

AVERAGE SETBACK ON 3RD ST. = 53.2'  
(EXISTING AVERAGE EXCLUDES 406 E. 3RD ST &  
306 S. COUNTY LINE RD.)

311 S. OAK STREET 23.5'  
327 S. OAK STREET 25.5'

AVERAGE SETBACK ON OAK ST. = 24.5'

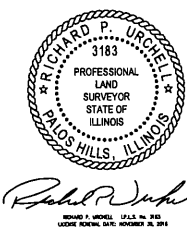
PREPARED FOR:  
G.O. ARCHITECTURAL DESIGN, INC.

PREPARED BY:

**LANDMARK**  
ENGINEERING LLC

DESIGN FIRM REGISTRATION NO. 184-005877  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone (708) 599-3737

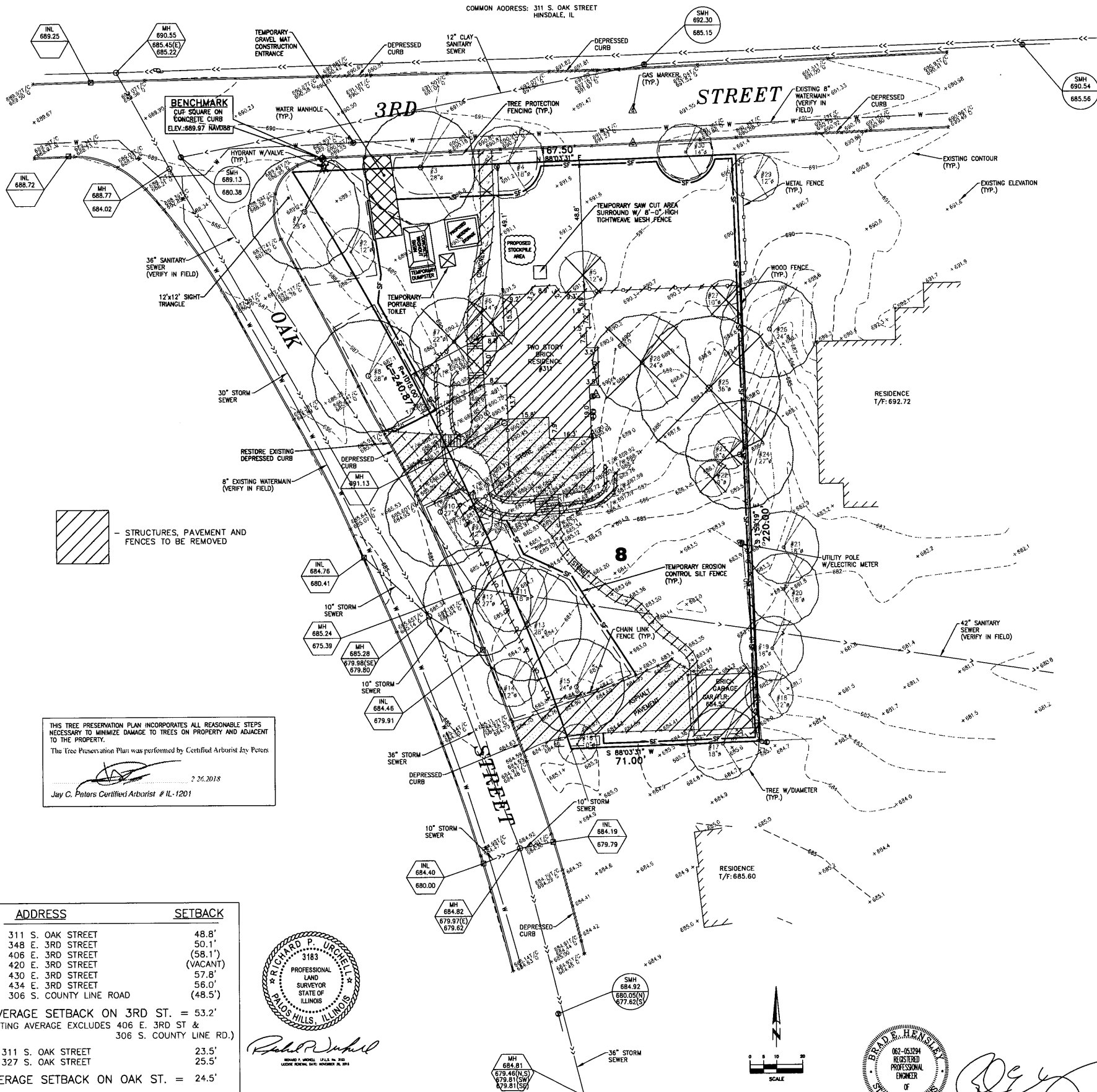
PROJECT No. 17-12-017-ENG  
PAGE 1 OF 3



Richard P. Ulrich  
Professional Land Surveyor  
State of Illinois  
No. 3183

LOT 8 IN BLOCK 1 IN W. ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION  
OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE WEST  
HALF OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11  
EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED  
JUNE 12, 1871, AS DOCUMENT 14048, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 311 S. OAK STREET  
HINSDALE, IL



## LEGEND

EXISTING	SYMBOL
OVERHEAD TRANSMISSION LINES	—
STORM SEWER	—
SANITARY SEWER	—
CHAIN LINK FENCE	—
METAL FENCE	—
SANITARY MANHOLE	—
WATER MANHOLE	—
HYDRANT	—
WATER VALVE	—
CABLE METER	—
TELECO METER	—
GAS METER	—
ELECTRIC METER	—
UTILITY POLE	—
TREE W/DIAMETER	—
TOP OF FOUNDATION	—
SPOT ELEVATION	—

DUPAGE COUNTY PIN  
09-12-214-001

AREA  
25,091 SQ. FT.  
0.576 AC  
(more or less)

Tree#	DBH	Common Name	Species	Rating	Recommend
1	28"	Elm	Ulmus	Good	Protective Fence
2	12"	White Pine	Pinus strobus	Fair	Protective Fence Root Prune Fertilize
3	28"	Ash	Fraxinus	Fair	Protective Fence Root Prune Fertilize
4	18"	Honey Locust	Gleditsia triacanthos	Good	Protective Fence Fertilize
5	12"	Yew	Taxus	Fair	Remove
6	14"	Redbud	Cercis	Good	Remove
7	22"	Spruce	Picea	Poor	Remove
8	28"	Elm	Ulmus	Good	Protective Fence
9	12"	Maple	Acer	Good	Protective Fence
10	27"	Honey Locust	Gleditsia triacanthos	Good	Protective Fence
11	18"	Maple	Acer	Good	Protective Fence
12	27"	Silver Maple	Acer saccharinum	Good	Protective Fence
13	28"	Chestnut	Castanea	Good	Protective Fence
14	12"	Maple	Acer	Good	Protective Fence
15	24"	Boxelder	Acer negundo	Fair	Protective Fence
16	10"	Maple	Acer	Good	Protective Fence
17	18"	Maple	Acer	Good	Protective Fence
18	12"	Maple	Acer	Good	Protective Fence
19	16"	Maple	Acer	Fair	Protective Fence
20	18"	Maple	Acer	Good	Protective Fence
21	18"	Ash	Fraxinus	Fair	Protective Fence
22	9"	Cedar	Cedrus	Fair	Remove
23	8"	Maple	Acer	Good	Remove
24	27"	Chestnut	Castanea	Fair	Protective Fence
25	36"	Chestnut	Castanea	Fair	Remove
26	24"	Chestnut	Castanea	Good	Protective Fence
27	10"	Maple	Acer	Good	Remove
28	24"	Honey Locust	Gleditsia triacanthos	Good	Remove
29	12"	Crabapple	Malus	Good	Protective Fence

\* RATING IS BASED ON TREE HEALTH AND STRUCTURAL INTEGRITY.

## NOTES

- DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND BEARINGS ARE BASED ON TRUE NORTH DETERMINED BY GPS MEASUREMENT.
- ELEVATIONS SHOWN ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS DETERMINED BY LOCAL C.O.R.S. OBSERVATIONS.
- THE PROPERTY LIES WITHIN UNSHADED ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 1704-S0003H, HAVING AN EFFECTIVE DATE OF DECEMBER 16, 2004.
- NO TITLE COMMITMENT WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SURVEY. FOR BUILDING LINES, EASEMENTS AND RESTRICTIONS NOT SHOWN HEREON, REFER TO DEEDS, ABSTRACTS, TITLE POLICIES, SEARCHES OR COMMITMENTS, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.
- NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE AND NO DIMENSIONS, LENGTHS OR WIDTHS SHOULD BE ASSUMED FROM SCALING. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- SURFACE EVIDENCE OF UNDERGROUND IMPROVEMENTS SHOWN HEREON IS BASED ON PHYSICAL OBSERVATION AND RECORDS, IF ANY, PROVIDED.

DATED: FEBRUARY 28, 2018



# WARNING

(OUTSIDE CHARGE)



CALL BEFORE  
YOU DIG

## LOT COVERAGE DATA

LOT AREA: 25,091 S.F.  
EXISTING IMPERVIOUS AREA: 5,435 S.F.  
PROPOSED IMPERVIOUS AREA: 8,513 S.F.  
PROPOSED % IMPERVIOUS: 33.9%

## DRAINAGE AREAS TO OFFSITE

EXISTING:  
TO NORTH: 0%  
TO SOUTH: 0%  
TO WEST: 30%  
TO EAST: 70%  
PROPOSED:  
TO NORTH: 0%  
TO SOUTH: 0%  
TO WEST: 30%  
TO EAST: 70%

## PROPOSED IMPERVIOUS AREA EXHIBIT

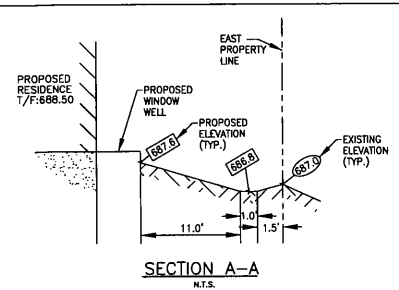
RESIDENCE: 3,730 S.F.  
DRIVEWAY: 3,774 S.F.  
REAR COVERED PATIO: 325 S.F.  
REAR PATIO: 498 S.F.  
FRONT WALK: 186 S.F.  
TOTAL: 8,513 S.F.

## AVERAGE EXISTING ELEVATION @ PROPOSED BUILDING CORNERS

SOUTHWEST CORNER: 689.7  
NORTHWEST CORNER: 691.6  
NORTHEAST CORNER: 689.6  
SOUTHEAST CORNER: 685.7  
AVERAGE ELEVATION: 689.2

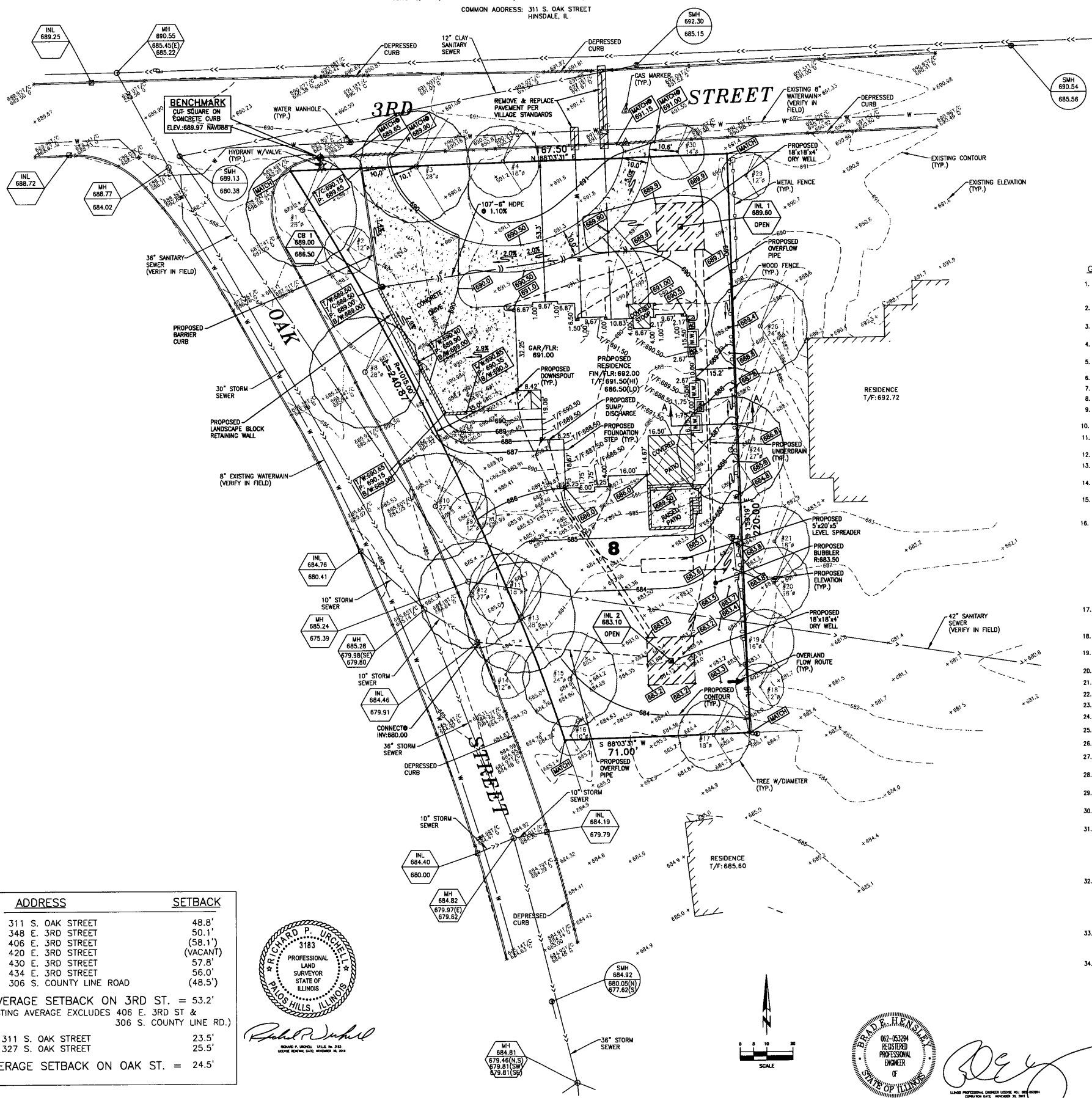
## VOLUME CONTROL BMP CALCULATIONS

NEW IMPERVIOUS: 8,513 S.F.  
REQUIRED STORAGE VOLUME: 887 C.F.  
(NEW IMPERVIOUS x 1.25")  
PROPOSED STORAGE VOLUME: 933 C.F.  
(TWO 18' x 18' x 4' DRY WELLS)  
@ 36% (VOIDS)



## SITE DEVELOPMENT PLAN

LOT 8 IN BLOCK 1 IN W. ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION OF THE SOUTH HALF OF THE NORTH EAST QUARTER AND THE NORTH HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 12, 1871, AS DOCUMENT 14048, IN DUPage COUNTY, ILLINOIS.  
COMMON ADDRESS: 311 S. OAK STREET  
HINSDALE, IL



## LEGEND

EXISTING	SYMBOL
OVERHEAD TRANSMISSION LINES	—
STORM SEWER	—
SANITARY SEWER	—
CHAIN LINK FENCE	—
WOOD FENCE	—
METAL FENCE	—
SANITARY MANHOLE	—
WELL	—
WATER MANHOLE	—
HYDRANT	—
WATER VALVE	—
CABLE METER	—
TELECO METER	—
GAS METER	—
ELECTRIC METER	—
UTILITY POLE	—
TREE W/DIAMETER	—
TOP OF FOUNDATION	—
SPOT ELEVATION	—
STORM SEWER	—
SANITARY	—

DUPAGE COUNTY PIN  
09-12-214-001

AREA  
25,091 SQ.FT.  
0.576 AC  
(more or less)

## GENERAL NOTES:

- EXISTING RESIDENCE, ASPHALT AND CONCRETE SHALL BE REMOVED IN ACCORDANCE WITH SECTION 9 OF THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- PARKWAY SHALL BE RESTORED WITH SOO.
- NO MATERIALS SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT THE TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1 1/2" TYPE K COPPER SIZE ACCORDING TO HINSDALE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00X MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT INTO EXISTING ELM STREET CURB & GUTTER.
- CONSTRUCTION SCHEDULE:
  - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED - SPRING 2018
  - EXISTING STRUCTURES SHALL BE DEMOLISHED - SPRING 2018
  - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES - SPRING 2018
  - CONSTRUCT PROPOSED RESIDENCE & INSTALL DRIVEWAY - SPRING/SUMMER 2018
  - PREPARE & SUBMIT RECORD DRAWINGS - FALL 2018
  - LANDSCAPE & PLANT LAWN & REMOVE TEMPORARY FENCING - FALL 2018
- CONTACT PERSON FOR SITE:
 

CARRIE KENNA  
PHONE (630) 986-9067
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8. PARKING SHALL BE ON THE SOUTH SIDE OF THIRD STREET OR THE EAST SIDE OF OAK STREET.
- WASHDOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON-SITE EAST OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- CURB SHALL BE RESTORED TO MATCH ADJACENT CURB AT EXISTING DRIVEWAY.
- ALL DAMAGED OR UNEVEN PUBLIC SIDEWALK SHALL BE REMOVED AND REPLACED.
- EXISTING WATER & SANITARY SERVICES ARE TO BE REMOVED AT MAIN IF THEY ARE STILL IN EXISTENCE.
- ALL LOT LINES SHALL BE STAKED AT 50 FOOT INTERVALS.
- THE PARKWAY SIDEWALK SHALL REMAIN OPEN AT ALL TIMES.
- VILLAGE FORESTER'S RECOMMENDATIONS SHALL BE COMPLIED WITH.
- THIRD STREET AND OAK STREET MUST REMAIN OPEN TO TWO-WAY TRAFFIC AT ALL TIMES.
- BMP'S INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- LEVEL SPREADER INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE STORM SEWER - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- DRIVEWAYS, SIDEWALKS & CURBS IN THE PARKWAY - ASPHALT OR CONCRETE, WHEN DRIVEWAY IS Laid-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.
- STREET PATCHES FOR SANITARY CONNECTION - 3 INSPECTIONS:
  - CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CRECK.
  - PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE.
  - PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- STREET PATCHES FOR WATER CONNECTION - 3 INSPECTIONS:
  - CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT.
  - PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE.
  - PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- FINAL GRADE INSPECTION:
  - WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE.
- STORMWATER BOND INSPECTION:
  - CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

## ADDRESS

## SETBACK

311 S. OAK STREET 48.8'  
348 E. 3RD STREET 50.1'  
406 E. 3RD STREET (58.1')  
420 E. 3RD STREET (VACANT)  
430 E. 3RD STREET 57.8'  
434 E. 3RD STREET 56.0'  
306 S. COUNTY LINE ROAD (48.5')

AVERAGE SETBACK ON 3RD ST. = 53.2'  
(EXISTING AVERAGE EXCLUDES 406 E. 3RD ST & 306 S. COUNTY LINE RD.)

311 S. OAK STREET 23.5'  
327 S. OAK STREET 25.5'

AVERAGE SETBACK ON OAK ST. = 24.5'



Richard P. Uchell  
PROF. LAND SURVEYOR  
STATE OF ILLINOIS  
NO. 3183  
EXPIRATION DATE: 12/31/2021

PREPARED FOR:  
G.O. ARCHITECTURAL DESIGN, INC.

PREPARED BY:

**LANDMARK**  
ENGINEERING LLC

DESIGN FIRM REGISTRATION NO. 184-005577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone (708) 599-3737

PROJECT No. 17-12-017-ENG  
PAGE 2 OF 3

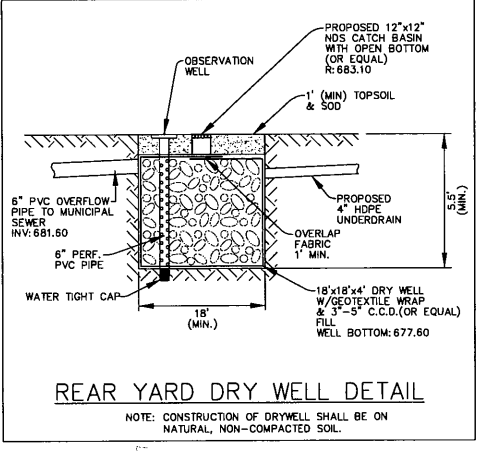
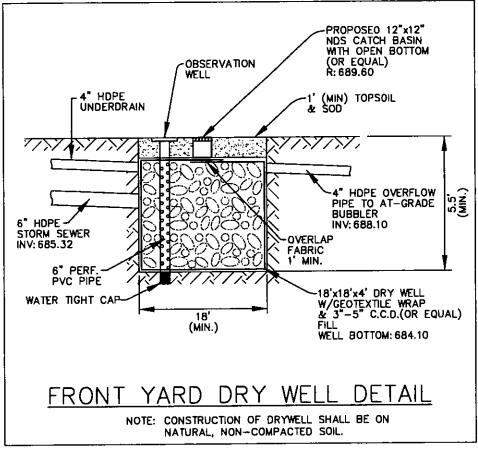
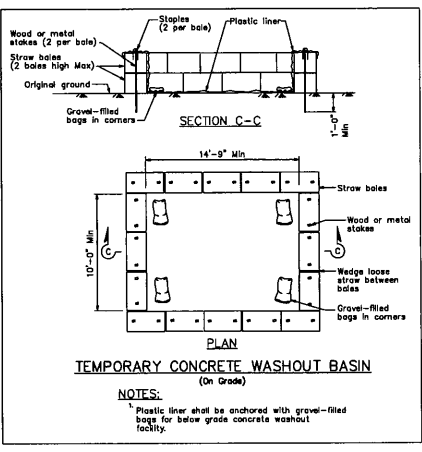
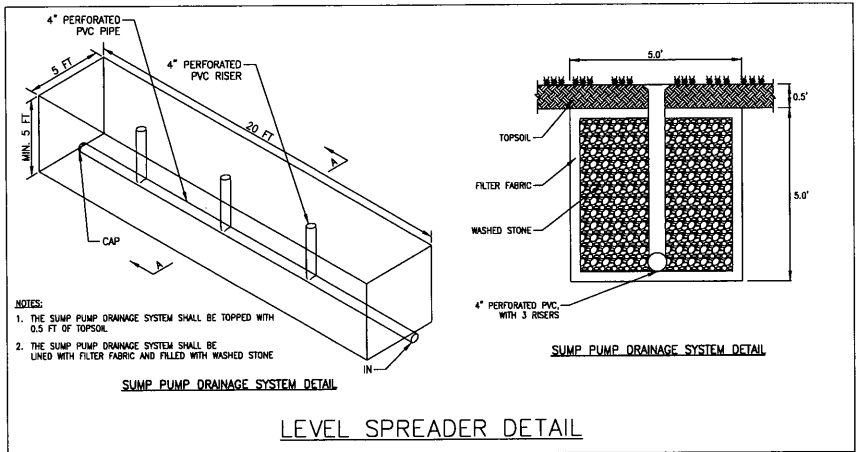
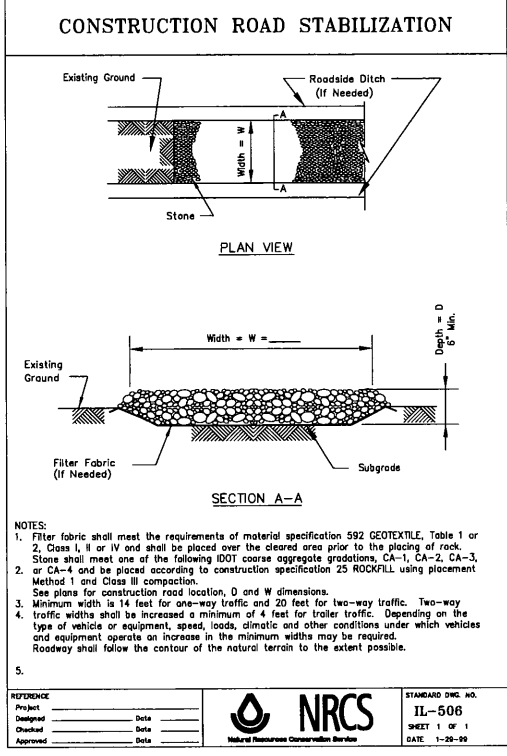
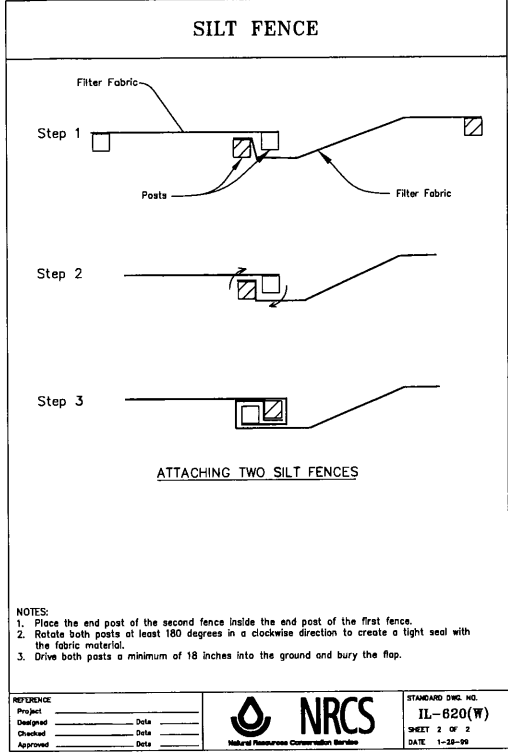
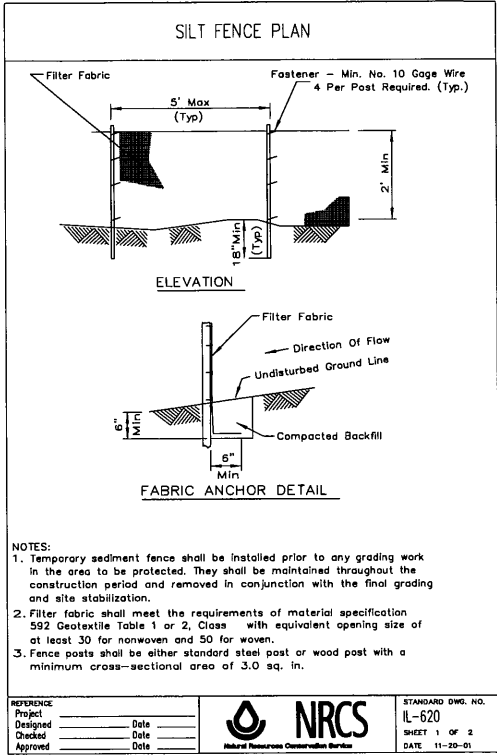
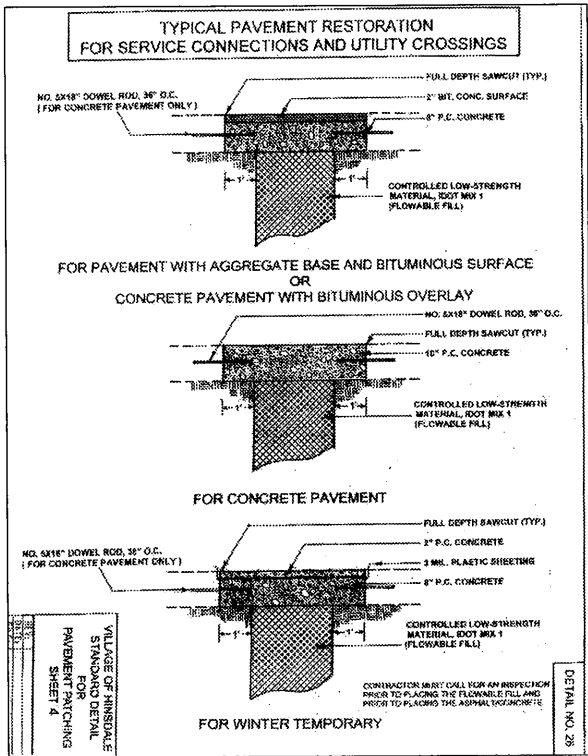


Richard P. Uchell  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF ILLINOIS  
NO. 067-053294  
EXPIRATION DATE: 12/31/2021

DATED: FEBRUARY 28, 2018



DETAILS



PREPARED FOR:  
G.O. ARCHITECTURAL DESIGN, INC.

PREPARED BY:

**LANDMARK**  
ENGINEERING LLC

DESIGN FIRM REGISTRATION NO. 184-005577  
7808 WEST 103RD STREET  
PALOS HILLS, ILLINOIS 60465-1529  
Phone (708) 599-3737

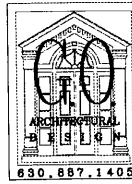
PROJECT No. 17-12-017-ENG  
PAGE 3 OF 3



*Brad E. Hensley*  
BRAD E. HENSELEY  
REGISTERED  
PROFESSIONAL  
ENGINEER  
OF  
STATE OF ILLINOIS

DATED: FEBRUARY 28, 2018

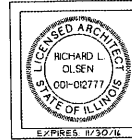




I HEREBY CERTIFY UNDER OATH THAT THESE PLANS WERE PREPARED BY ME,  
THAT I AM FAMILIAR WITH THE CODES AND ORDINANCES OF THE VILLAGE OF HINSDALE  
AND TO THE BEST OF MY KNOWLEDGE THESE PLANS COMPLY WITH THE ZONING  
ORDINANCE AND ALL APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HINSDALE.

SIGNED

DATE



A NEW HOME  
THE DE LA MATER RESIDENCE  
311 SOUTH OAK STREET  
HINSDALE, ILLINOIS

ISSUED FOR: PERMIT  
APRIL 9, 2018

LIST OF DRAWINGS

- A.1 NORTH AND EAST ELEVATIONS
- A.2 SOUTH AND WEST ELEVATIONS
- A.3 FOUNDATION PLAN
- A.4 WALL SECTIONS AND DETAILS
- A.5 BASEMENT PLAN
- A.6 FIRST FLOOR PLAN
- A.7 SECOND FLOOR PLAN
- A.8 ATTIC/ROOF PLAN
- A.9 ENERGY CODE DETAILS, RADON SECTION  
AND GENERAL NOTES
- A.10 RISER DIAGRAMS, FIREPLACE AND STAIR SECTIONS
- E.1 BASEMENT ELECTRICAL PLAN
- E.2 FIRST FLOOR ELECTRICAL PLAN
- E.3 SECOND FLOOR ELECTRICAL PLAN

KENNA BUILDERS, INC.  
HINSDALE, ILLINOIS 60521  
PH: 630.816.4062 WWW.KENNABUILDERS.COM





**A NORTH ELEVATION**  
scale: 1/4"=1'-0"



**B EAST ELEVATION**  
scale: 1/4"=1'-0"



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HINSDALE, IL 60521  
630.812.4042 WWW.KENNABUILDERS.COM

**NORTH AND EAST ELEVATIONS**

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 2011.24

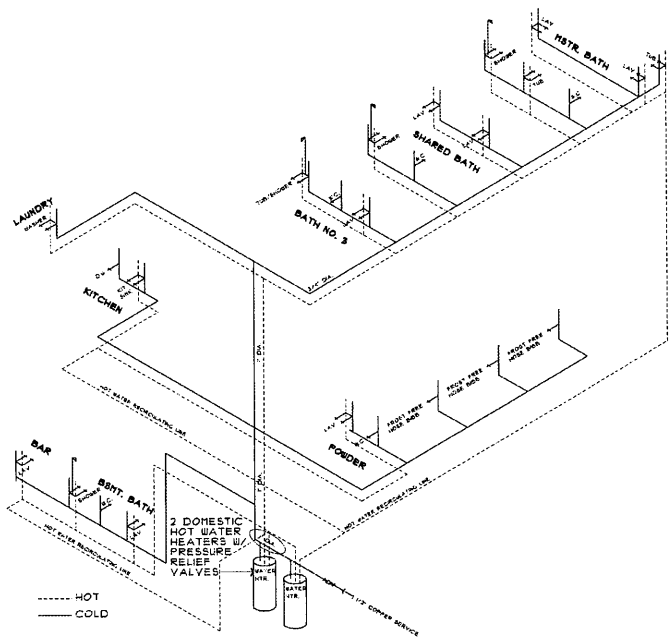
DATE ISSUED FOR:  
1/5/18 OWNER REVIEW  
2/2/18 BIDDING  
4/4/18 PERMIT

**DE LA MATER RESIDENCE**  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS

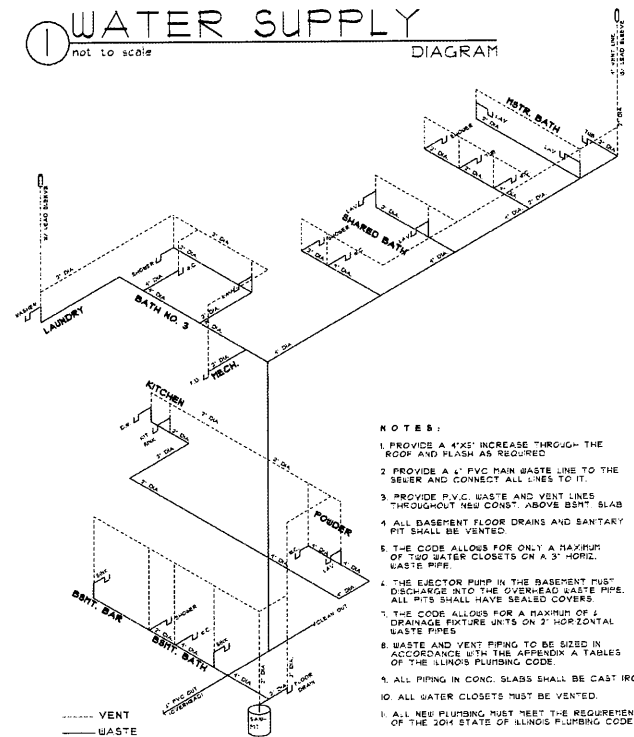


SHEET: **A.1**





① WATER SUPPLY  
not to scale

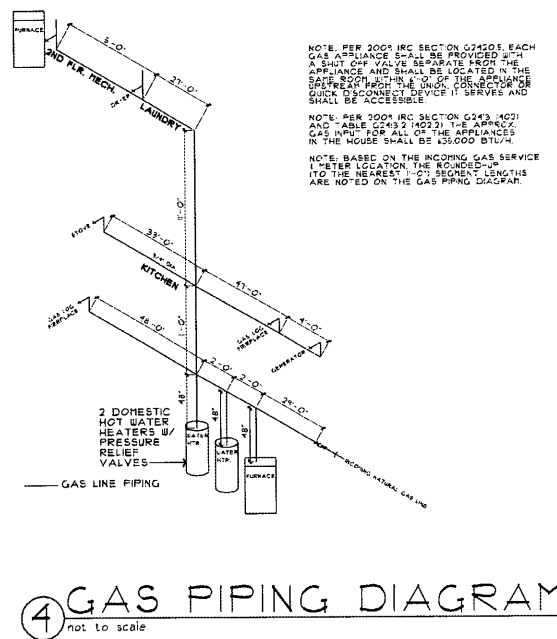


② WASTE AND VENT  
not to scale

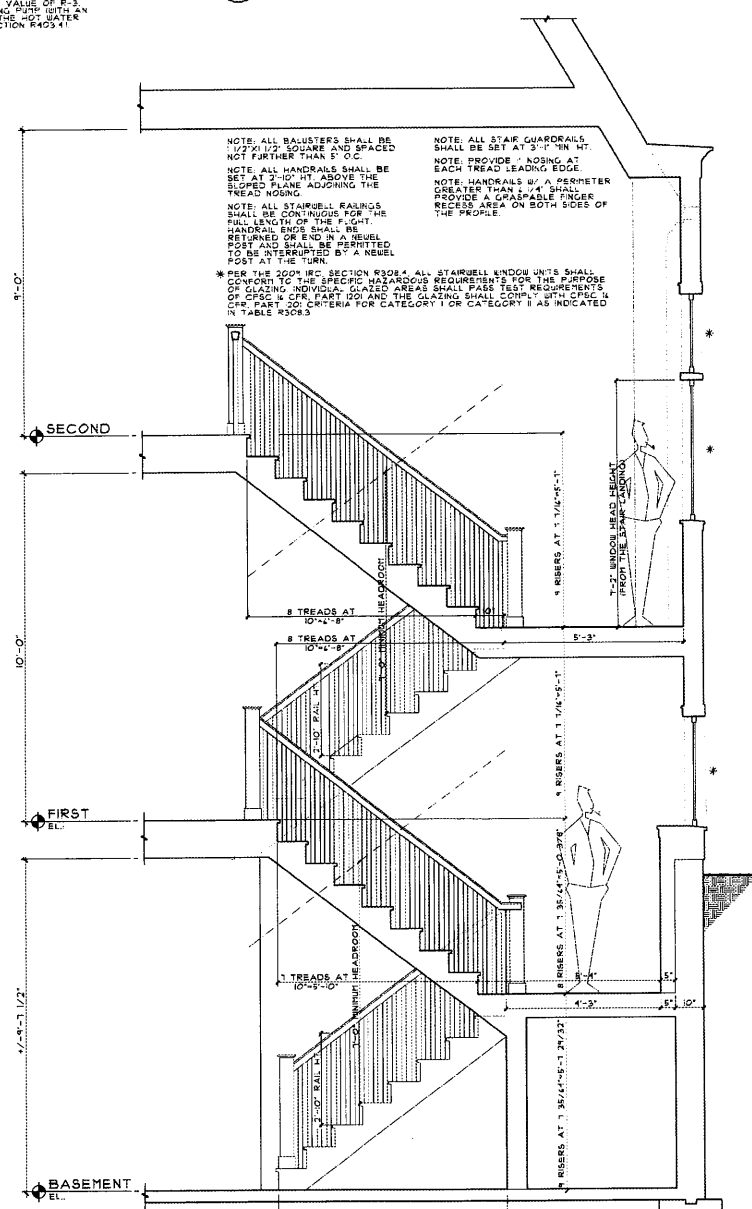
RESIDENTIAL WATER SUPPLY AND PETER SIZE REQUIREMENTS				
FIXTURE TYPE	NUMBER	W.P.U. EACH	W.P.U. TOTAL	
BATH CLOSET	5	3	15	
LAUNDRY	1	1	1	
BATH #3	1	3	3	
SHOWER STALL	3	2	6	
KITCHEN SINK	2	2	4	
LAUNDRY TUB	1	3	3	
DISHWASHER	1	1	1	
LAUNDRY MACHINE	1	3	3	
TOTAL			40	

③ WATER SUPPLY SIZE  
not to scale

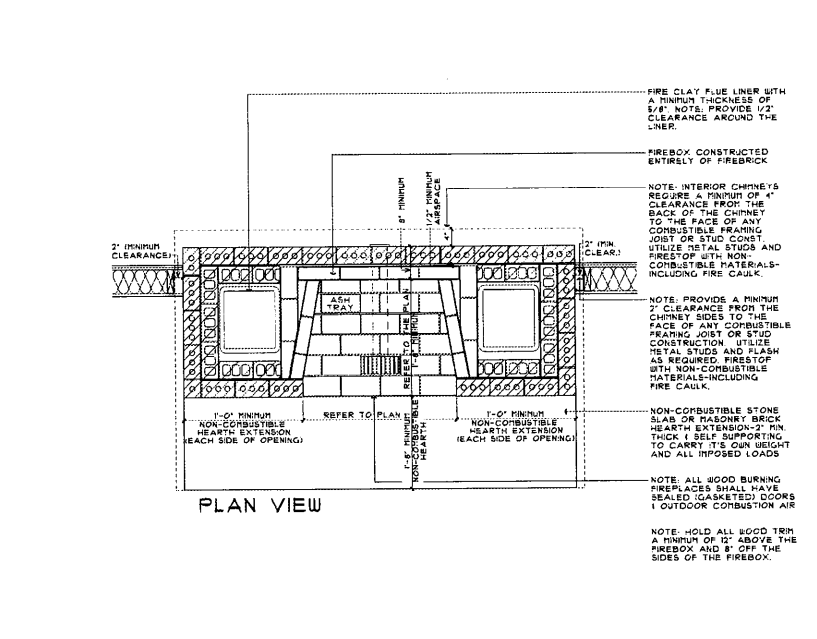
- NOTES:
- PER THE 2014 ILLINOIS PLUMBING CODE SECTION 840.02 (1) ALL BUILDING WATER SUPPLY SYSTEMS SHALL BE PROVIDED WITH AIR CHAMBERS OR APPROVED MECHANICAL DEVICES WATER PRESSURE ARRESTORS SHALL BE INSTALLED AT ENDS OF LONG PIPE RUNS OR NEAR BATTERIES OF FIXTURES. ALL INSTALLED AIR CHAMBERS IN A FIXTURE SUPPLY SHALL BE AT LEAST 12" IN LENGTH AND THE SAME DIAMETER AS THE FIXTURE SUPPLY, OR AN AIR CHAMBER WITH AN EQUIVALENT VOLUME MAY BE USED. AN AIR CHAMBER THAT IS INSTALLED IN A RISER SHALL BE AT LEAST 24" IN LENGTH AND AT LEAST THE SAME SIZE AS THE RISER.
  - PROVIDE SHUT OFF VALVES AT EACH FIXTURE FOR BOTH HOT AND COLD WATER LINES.
  - EACH DOMESTIC HOT WATER HEATER SHALL HAVE A PRESSURE RELIEF VALVE RE-CIRCULATING LINE ABOVE GROUND.
  - PROVIDE A 1/2" TYPE K COPPER INCOMING WATER SERVICE AT THE LOCATION SHOWN ON THE FOUNDATION PLAN.
  - THE NEW WATER SERVICE FROM THE MAIN TO THE HOUSE MUST BE INSTALLED BY A LICENSED PLUMBER.
  - MAIN WATER LINES TO THE DOMESTIC HOT WATER HEATERS AND THE FIRST SET OF RISERS SHALL BE 1" DIAMETER. RISERS TO THE SECOND FLOOR SHALL BE 1" DIA. (MINIMUM).
  - ABOVE GROUND WATER LINES TO BE WELDED COPPER PER ASTM B581-82 OR B592-11.
  - ALL HOT WATER SUPPLY PIPING SHALL BE INSULATED TO A MINIMUM R-3.
  - ALL NEW PLUMBING MUST MEET THE REQUIREMENTS OF THE 2014 STATE OF ILLINOIS PLUMBING CODE.
  - ALL SHOWER VALVES SHALL BE THERMOSTATIC PRESSURE BALANCING OR COMBINATION CONTROLLED TO PREVENT ACCIDENTAL SCALDING.
  - PROVIDE PREPARED INSULATION AROUND ALL INTERIOR COPPER HOT WATER LINES. PROVIDE A CIRCULATING CAP WITH AN ON/OFF SWITCH FOR THE WATER SYSTEM PER ICC SECTION R403.41.



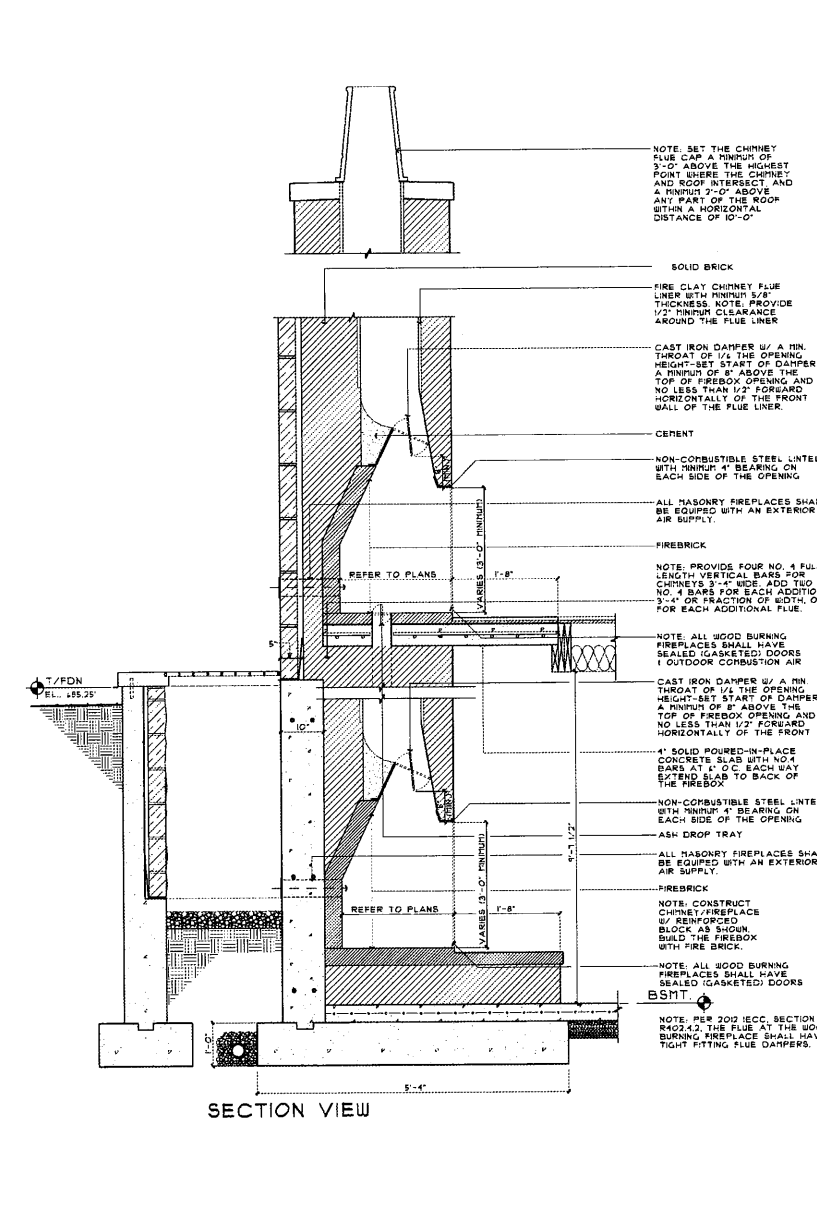
④ GAS PIPING DIAGRAM  
not to scale



⑤ STAIR SECTION  
scale: 1/2"=1'-0"



⑥ FIREPLACE DETAILS  
scale: 3/4"=1'-0"



⑦ SECTION VIEW  
scale: 3/4"=1'-0"

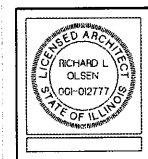


KENNA BUILDERS, INC.  
HINSDALE, IL 60521  
630.887.1405

RISERS, FIREPLACE & STAIR SECT.

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 2011.24

DATE ISSUED FOR:  
3/4/18 OWNER REVIEW  
3/7/18 OWNER REVIEW  
4/1/18 PERMIT



DE LA MATER RESIDENCE  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS

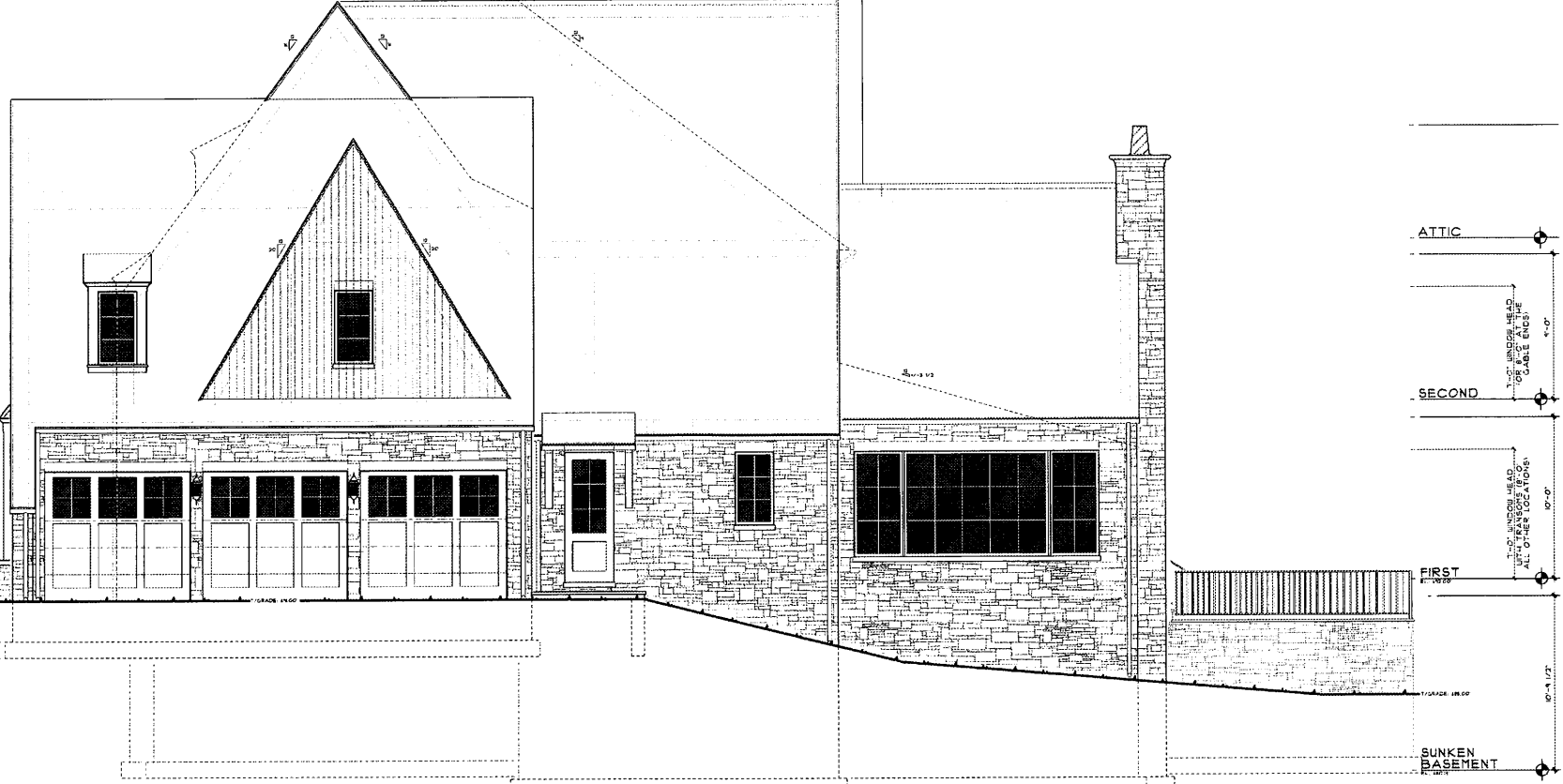
SHEET: A.10



WINDOW SPECIFICATION:  
ALL EXTERIOR WINDOWS AND FRENCH DOORS SHALL BE ANDERSON E-SERIES ALUMINUM  
CLAD WOOD WINDOWS AND DOORS AND SHALL HAVE LOW-E TANTYMER PLUS INSULATED  
GLASS WITH ARGON. 1/8" MODERN DIVIDED LITE GRILLES AND FULL INSECT SCREENS.  
ASSUME WHITE CLAD COLOR, WHITE HARDWARE AND PRIME DOUGLAS FIR INTERIOR WOOD  
SOURCE: EXCLUSIVE WINDOWS  
NOTE: ANY WINDOW UNITS WITHIN 2'-0" OF A HINGED DOOR SHALL BE SAFETY GLAZED.  
NOTE: PER SECTION R304.4 OF THE 2004 INTERNATIONAL RESIDENTIAL CODE, GLAZING  
ADJACENT TO A STAIRWELL, LANDING OR RAMP WITHIN 3' HORIZONTALLY OF A WALKING  
SURFACE MUST BE TEMPERED.  
NOTE: PER THE 2011 ICC SECTION 402.11 THE PENETRATION U-FACTOR FOR THIS  
CLIMATE ZONE (ZONE 5) MUST BE 0.32 OR BETTER WITH THE UNITS LABELED AS SUCH.

WINDOW AND EXTERIOR DOOR SCHEDULE					
ROOM NAME	ROOM LOCATION	WINDOW INFORMATION	GLASS	LIGHT BREAKUP	ADDITIONAL INFORMATION
BASMENT					
BRN BEDROOM	EAST	CH7386 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	NO BRICK HOLD
CLARK ROOM	SOUTH	AN7386	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
REC ROOM	EAST	CH7386 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	NO BRICK HOLD
REC ROOM	EAST	CH7386 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	NO BRICK HOLD
STAIR LANDING	EAST	CH7386-3 (PULLED UNIT)	TEMP	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
FIRST FLOOR					
LIBRARY	EAST	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
LIBRARY	NORTH	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
PORCH	NORTH	CH7344	TEMP	2WIDEX3HIGH	CLAD BRICK HOLD
PORCH	NORTH	CH7344	TEMP	2WIDEX3HIGH	CLAD BRICK HOLD
DINING ROOM	NORTH	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
WEST CAR GARAGE	WEST	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
THREE CAR GARAGE	WEST	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
HOD ROOM	WEST	3'-0"X7'-0" ENTRY DOOR	TEMP	2WIDEX3HIGH	CLAD BRICK HOLD
PREP KITCHEN	WEST	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
SUNROOM	WEST	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
SUNROOM	SOUTH	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
SUNROOM	SOUTH	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
FORMAL DINING	SOUTH	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
FORMAL DINING	EAST	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
FAMILY ROOM	SOUTH	CH7344 (FIXED PICTURE UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
FAMILY ROOM	EAST	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
FAMILY ROOM	EAST	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
STAIR LANDING	SOUTH	CH7386-3 (PULLED UNIT)	TEMP	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
STAIR LANDING	EAST	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
STAIR LANDING	NORTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
SECOND FLOOR					
BEDROOM NO. 1	EAST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 1	EAST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 1	NORTH	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
SHARED BATH	NORTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 2	NORTH	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 2	NORTH	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 3	NORTH	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
BEDROOM NO. 3	NORTH	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
UNFINISHED STORAGE	NORTH	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
UNFINISHED STORAGE	WEST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
LAUNDRY	WEST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
LAUNDRY	SOUTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
MASTER BATH	SOUTH	CH7386-3 (PULLED UNIT)	TEMP	2WIDEX3HIGH (REACH UNIT)	CLAD BRICK HOLD
MASTER BATH	SOUTH	CH7386-3 (PULLED UNIT)	TEMP	2WIDEX3HIGH (REACH UNIT)	CLAD BRICK HOLD
MASTER BEDROOM	SOUTH	CH7386-3 (EGRESS UNIT)	5/8"	2WIDEX3HIGH (REACH UNIT)	CLAD BRICK HOLD
MASTER BEDROOM	SOUTH	CH7386-3 (EGRESS UNIT)	5/8"	2WIDEX3HIGH (REACH UNIT)	CLAD BRICK HOLD
MASTER BEDROOM	EAST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
MASTER BEDROOM	EAST	CH7344 (EGRESS UNIT)	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
ATTIC					
STAIR LANDING	EAST	CH7386-3 (PULLED UNIT) WITH PULLED CLAD-3 TRANSOM	5/8"	2WIDEX3HIGH (REACH UNIT)	NO BRICK HOLD PEACE MALL
UNFINISHED ATTIC	NORTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
UNFINISHED ATTIC	NORTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD
UNFINISHED ATTIC	NORTH	CH7344	5/8"	2WIDEX3HIGH	CLAD BRICK HOLD

A SOUTH ELEV  
Scale: 1/4"=1'-0"



B WEST ELEVATION  
Scale: 1/4"=1'-0"



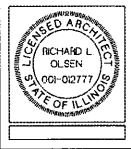
KENNA BUILDERS, INC.  
HINSDALE, IL 60521  
630.816.4042 WWW.KENNABUILDERS.COM

SOUTH AND WEST ELEVATIONS

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 2017.24

DATE ISSUED FOR:  
1/5/18 OWNER REVIEW  
2/2/18 BIDDING  
4/4/18 PERMIT

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311 SOUTH OAK ST.  
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SHEET: A.2





# FOUNDATION PLAN

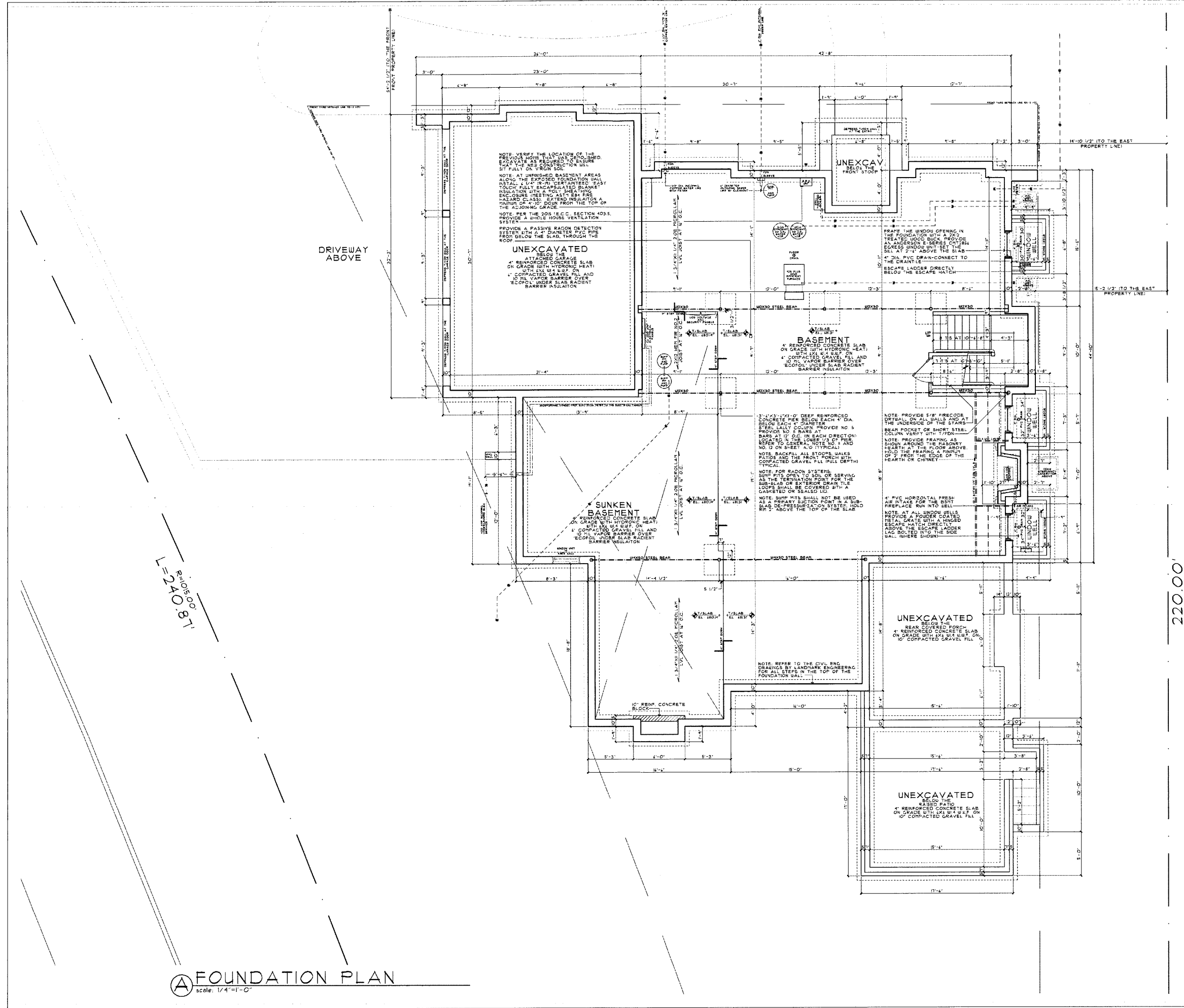
DATE:	APRIL 9, 2018
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PROJECT NO.	2017.24

DATE	ISSUED FOR:
6/6/18	OWNER REVIEW
7/1/18	OWNER REVIEW
9/9/18	PERMIT

DE LA MATER  
RESIDENCE  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



下圖爲：A.3





#### ROOF AND RIDGE CONSTRUCTION:

SLATE ROOF SHINGLES WITH VARYING HEIGHTS AND THICKNESS (OWNER TO SELECT) PROVIDE 5 LB. BUILDING FELT PAPER BETWEEN EACH COURSE OF SLATE SHINGLES. PROVIDE 'GRACE' ICE AND WATER SHIELD (ADHERED MEMBRANE) OVER THE ENTIRE ROOF AREA OVER 5/4" C.D.X. FR EXTERIOR GRADE PLYWOOD SHEATHING ON THE 2ND S-P-F NO. 2 ROOF RAFTERS AT 1' O.C. UNLESS NOTED OTHERWISE-REFER TO THE FLOOR PLANS. NOTE: DOUBLE THE 2X10 DF-L NO. 2 ROOF RAFTERS AT ANY SPANS GREATER THAN 18'-0". NOTE: PROVIDE A 1/3"X1/4" 15# 'LEVEL' MICRO-LVL (LVL) AS THE RIDGE BEAM. NOTE: PROVIDE 1/2 OUNCE COPPER FLASHING AT ALL VALLEYS AND 1/2 OUNCE STANDING SEAM COPPER OR PRE-FINISHED ALUMINUM ROOFING AT THE STAR TOWER AND REAR PORCH AREA. NOTE: PRIOR TO COMMENCEMENT OF THE ROOFING, THE GENERAL CONTRACTOR SHALL INSTALL ALL GUTTER HANGERS/SUPPORT, FINISHED FASCIA AND GUTTER FLASHING SO THAT THE ICE AND WATER SHIELD CAN BE APPLIED OVER THE TOP OF THE FLASHING. NOTE: EXTEND ICE AND WATER SHIELD 2'-0" UP ANY EXTERIOR WALL OR CHIMNEY IN CONTACT WITH THE ROOF. NOTE: PROVIDE 2X8 COLLAR TIES AT 1' O.C. AT 1/2" ABOVE THE ATTIC FLOOR JOIST AT ALL UNFINISHED ATTIC SPACE.

#### ROOF SHINGLE INSTALLATION:

1. NO ROOF SLOPES WITH A PITCH LESS THAN 4:12 SHALL HAVE SLATE ROOF SHINGLES. (PROVIDE 1/2 OUNCE STANDING SEAM COPPER OR 'GRACE' ICE AND WATER SHIELD AT ALL ROOF CONDITIONS AS DESCRIBED ABOVE). 2. ALL SLATE SHINGLE ROOFS SHALL HAVE CONTINUOUS ROOF SHEATHING (NOT SPACED) AND A LAYER OF 'GRACE' ICE AND WATER SHIELD OVER THE ENTIRE ROOF AREA (REFER TO THE ROOF CONSTRUCTION NOTES ABOVE FOR ADDITIONAL INFORMATION). 3. ALL SLATE SHINGLES SHALL BE FASTENED TO THE SHEATHING WITH A MINIMUM OF TWO PER SHINGLE AND SHALL BE CORROSION RESISTANT AND SHALL PENETRATE THE SHEATHING. 4. SHINGLES SHALL BE LAID WITH A SIDE LAP OF NOT LESS THAN 1 1/2" BETWEEN JOINTS IN COURSES AND NO TWO JOINTS IN ANY THREE ADJACENT COURSES SHALL BE IN DIRECT ALIGNMENT. SPACING BETWEEN SHINGLES SHALL BE 1/4" TO 3/8".

#### CABLE END RAKE/BARGE BOARD CONSTRUCTION:

5/4X1/4 CLEAR SMOOTH CEDAR BARGE BOARD WITH 1/2" EXPOSURE WITH A 1/2X1/4 1/4" CLEAR SMOOTH PINE CROWN MOLD AND 1/2X1/4" CLEAR PINE CAP (TO ALIGN AND BUTT INTO THE ROOF SHEATHING) REFER TO 'CABLE END SECTION'.

#### ROOF OVERHANG CONSTRUCTION:

CONTINUOUS 1" DIAMETER 1/2 OUNCE COPPER HALF ROUND GUTTERS AND DOWNSPOUTS WITH COPPER GUTTER FLASHING ON 1X4 ROUGH SAWN TIGHT KNOT CEDAR FASCIA AND 3/4" CEDAR PLYWOOD SOFFITS WITH 3/4X1/2" CLEAR PINE CROWN MOLD HOLD AT THE ROOF/FASCIA BOARD INTERSECTION. PROVIDE 5/4X1/4 ROUGH SAWN TIGHT KNOT FREEZE BOARD AT THE SOFFIT/EXTERIOR WALL INTERSECTION. NOTE: PRE-PRIME ALL EXTERIOR WOOD TRIM MATERIAL WITH SOLID COLOR STAIN ON ALL SIDES. NOTE: FACTORY PRIME AND ONE COAT FACTORY FINISH ALL EXTERIOR TRIM MATERIAL WITH SOLID COLOR STAIN. ON ALL SIDES. AFTER INSTALLATION ADD ADD'L FINISH COAT. BID AS ALTERNATE 1" HALF ROUND COPPER GUTTERS 1/4" ROUND COPPER DOWNSPOUTS.

#### EXTERIOR WALL CONSTRUCTION (STONE VENEER):

2X4 STUDS AT 1' O.C. WITH SOLID WOOD BLOCKING AT 8'-0" ABOVE THE SILL PLATE WITH TRENCOR BARRIER SOLUTIONS' FLUID APPLIED AIR MOISTURE INFILTRATION AND DRAIN BARRIER OVER 1/2" EXT. GRADE C.D.X. PLYWOOD SHEATHING (ISHEAR). PROVIDE STONE VENEER (SELECTION BY THE OWNER) ANCHORED THROUGH A MAXIMUM 1" AIRSPACE WITH NO. 22 U.S. GAUGE BY 1/8" GALVANIZED SHEET METAL CORRUGATED MASONRY TIES AT 1' O.C. VERTICALLY AND 24" O.C. HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 24" SQUARE FEET OF WALL AREA. PROVIDE CONTINUOUS 'YORK' FLEXIBLE STAINLESS STEEL THROUGH WALL FLASHING AT THE BASE OF THE WALL AND ABOVE AND BELOW EVERY OPENING WITHIN THE WALL. PROVIDE CORRUGATED PLASTIC WEEPS AT 24" O.C. HORIZONTALLY AT THE TOP AND THE BOTTOM OF THE WALL AND ABOVE AND BELOW EVERY OPENING WITHIN THE WALL. NOTE: WHERE THE STONE VENEER MEETS ANY ROOFING, PROVIDE PRE-FINISHED ALUMINUM FLASHING AND STEP-OUT FLASHING. NOTE: PROVIDE 1/2" THICK CUT STONE SILLS AT ALL EXTERIOR DOOR AND WINDOW SILL LOCATIONS. SLOPE THE TOP OF THE SILL A MINIMUM OF 1" PER 1' OF DEPTH (AS SHOWN).

#### EXTERIOR WALL CONSTRUCTION (CEDAR PLYWOOD PANELS):

2X4 STUDS AT 1' O.C. WITH SOLID WOOD BLOCKING AT 8'-0" ABOVE THE SILL PLATE WITH TRENCOR BARRIER SOLUTIONS' FLUID APPLIED AIR MOISTURE INFILTRATION AND DRAIN BARRIER OVER 1/2" EXT. GRADE C.D.X. PLYWOOD SHEATHING (ISHEAR). AT ALL WALL LOCATIONS WHERE THERE IS NOT STONE VENEER, PROVIDE 5/4X1/2 ROUGH SAWN TIGHT KNOT CEDAR VERTICAL CORNER BOARDS AND 1/2" ROUGH SAWN TIGHT KNOT CEDAR PLYWOOD PANELS AS SHOWN. PROVIDE 5/4X1/4 VERTICAL CEDAR (AS SHOWN BETWEEN WINDOWS, ETC.) FLASH ALL JOINTS AS REQUIRED AND PROVIDE A CONTINUOUS 1X2 CEDAR DRIP CAP WITH ALUMINUM FLASHING AT THE WINDOW SILLS OF ALL CEDAR SIDED WALLS. PROVIDE A 5/4X1/2 ROUGH SAWN TIGHT KNOT CEDAR BARGE BOARD WITH A 1X2 TAPERED CEDAR DRIP CAP FLASH WITH PRE-FINISHED ALUMINUM FLASHING AS REQUIRED FOR A WATERTIGHT JOINT. NOTE: REFER TO THE 'INSULATION NOTES' FOR ALL BUILDING THERMAL ENVELOPE SPECIFICATIONS. NOTE: FACTORY PRE-PRIME ALL SIDING PIECES PRIOR TO DELIVERY TO THE JOB SITE. COORDINATE SOLID COLOR STAIN SELECTION WITH THE OWNER. NOTE: THE HOME'S EXTERIOR COVERINGS MUST BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. NOTE: AT ALL WINDOW AND DOOR SIDES AND HEADS, PROVIDE 5/4X1/4 ROUGH SAWN CEDAR FLASH WITH PRE-FINISHED ALUMINUM FLASHING AS REQUIRED. NOTE: ALL EXTERIOR WALLS SHALL HAVE PLYWOOD SHEATHING (ISHEAR). NOTE: AT THE BASE OF ALL WALLS, PROVIDE A CONTINUOUS STRIP OF 'GRACE' ICE AND WATER SHIELD (REFER TO THE 'TIE-IN' AT THE FOUNDATION WALL/FRAME WALL INTERSECTION TO ENSURE A WATERTIGHT CONNECTION).

#### FLAT CEILING CONSTRUCTION:

5/8" DRYWALL GUAID AND SCREWED TO THE FLOOR JOIST OR CEILING JOIST ABOVE. NOTE: REFER TO THE 'INSULATION NOTES' FOR ALL THERMAL AND SOUND INSUL. SPECIFICATIONS.

#### SLOPED CEILING CONSTRUCTION:

5/8" DRYWALL GUAID AND SCREWED TO THE UNDERSIDE OF THE ROOF RAFTERS OR THE SLOPED CEILING JOIST. NOTE: REFER TO THE 'INSULATION NOTES' FOR THERMAL I SOUND INSULATION SPECS.

#### FLOOR CONSTRUCTION:

2X12 S-P-F NO. 2 FLOOR JOIST AT 1' O.C. UNLESS NOTED OTHERWISE-REFER TO PLANS WITH 3/4" TONGUE AND GROOVE C.D.X. FR EXTERIOR GRADE PLYWOOD SHEATHING GUAID AND SCREWED. PROVIDE SOLID WOOD BRIDGING AT INTERVALS OF 8'-0" (MAX). NOTE: PROVIDE 1/2" 'DURROCK' CEMENT BOARD BELOW ALL TILE FLOORS. NOTE: PROVIDE A LAYER OF CORK (FOR SOUND CONTROL) BELOW HARDWOOD FLOORS.

#### INTERIOR TRIM AND PARTITION CONSTRUCTION:

2X4 STUDS (UNLESS NOTED OTHERWISE) AT 1' O.C. WITH 5/8" DRYWALL GUAID AND SCREWED (OR 'DURROCK' CEMENT BOARD BEHIND ALL TILE WALLS). NOTE: REFER TO THE DETAILS ON SHEET A.9 FOR ALL INTERIOR TRIM PROFILES AND WOOD SPECIES. COORDINATE ALL PROFILE SELECTIONS WITH THE OWNER. NOTE: REFER TO THE 'INSULATION NOTES' FOR THERMAL I SOUND INSULATION SPECS.

#### SILL CONSTRUCTION:

1/2" DIAMETER 2" LONG ANCHOR BOLTS AT 4'-0" O.C. MINIMUM OF TWO PER PLATE) AND A 2X4 PRESSURE TREATED SILL PLATE ON BATT SILL SEALER WITH A CONTINUOUS BEAD OF CAULK. NOTE: ALL FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, STAINLESS OR EQUAL IN CORROSION RESISTANCE. NOTE: PROVIDE AN ADHERED WATERPROOFING MEMBRANE (SIMILAR TO 'GRACE' ICE AND WATER SHIELD) ACROSS THE FOUNDATION LEDGE FOR THE MASONRY AND 12" UP THE FRAME WALL (BELOW THE AIR INFILTRATION BARRIER) FOR A WATERTIGHT BARRIER.

#### FOUNDATION WALL AND BACK-FILL CONSTRUCTION:

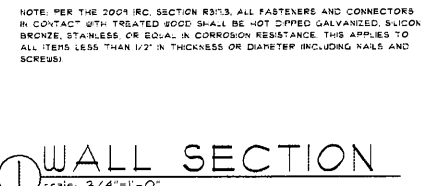
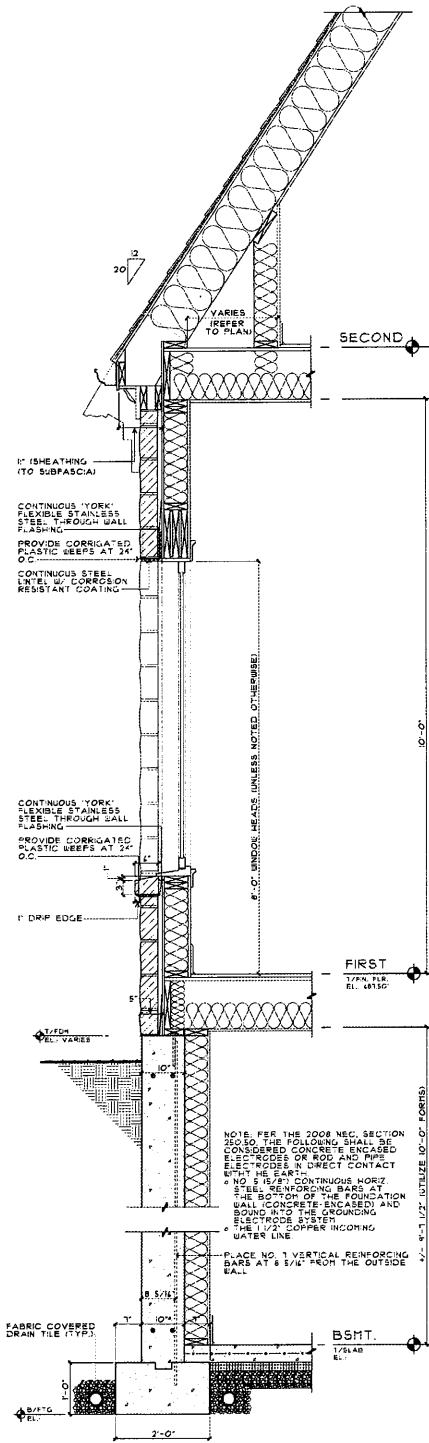
'RUB-R-SALL' WATERPROOFING SYSTEM WITH 3" (IR-15) 'QUEENS-CORNING' FOAMULAR 150' RIGID INSULATION APPLIED TO THE EXTERIOR FACE OF THE POURED-IN-PLACE CONCRETE FOOTING AND FOUNDATION WALLS (WITH A MINIMUM 1# OF 3000 P.S.I.). PROVIDE A CONTINUOUS 2X4 KEYSAT AT THE TOP OF THE FOOTING. PROVIDE VERTICAL NO. 1 BARS AT 30" O.C. (SET TOWARD THE INSIDE FACE PER THE DIMENSION ON THE WALL SECTION PER TABLE R.401 (S)). PROVIDE NO. 5 BARS AT THE TOP, MIDDLE AND BOTTOM OF THIS FOUNDATION WALL. NOTE: PROVIDE FABRIC COVERED CONTINUOUS PERFORATED 4" PVC EXTERIOR AND INTERIOR DRAIN TILE WITHIN A 6" GRAVEL BED AND COVER. CONNECT TO SUMP PIT. NOTE: EXCAVATE SO AS TO ACHIEVE MINIMUM 2000 P.S.I. BEARING CAPACITY. NOTE: BACKFILL ENTIRELY WITH GRAVEL AT STOPS AND AT REAR PATIO.

#### FINISHED BASEMENT CONSTRUCTION:

2X4 PERIMETER STUDS WALLS UTILIZE 2X4S AT INTERIOR WALLS AT 1' O.C. AND 5/8" DRYWALL GUAID AND SCREWED (OR 'DURROCK' CEMENT BOARD BEHIND TILE). THE CEILING SHALL BE 5/8" DRYWALL GUAID AND SCREWED TO THE UNDERSIDE OF THE FIRST FLOOR JOIST CONSTRUCT 2X4 'DROPPED CEILING' AS REQUIRED BELOW ALL MECHANICAL DUCTWORK OR STRUCTURAL STEEL BEAMS. NOTE: REFER TO THE 'INSULATION NOTES' FOR THERMAL I SOUND INSULATION SPECS.

#### FIREBLOCKING NOTE:

PROVIDE FIREBLOCKING PER SECTION R502.3 AND R502.8 OF THE 2001 IRC. 1. VERTICAL AT THE CEILING AND FLOOR LEVELS. 2. HORIZONTALLY AT INTERVALS OF 10'-0" (MAXIMUM). 3. AT THE INTERCONNECTION BETWEEN CONCEALED VERTICAL I HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING. 4. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP I BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY W/ SECTION R512.2. 5. OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT THE CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. 6. CHIMNEYS AND FIREPLACES PER SECTION R503.1.



1 WALL SECTION  
scale: 3/4"=1'-0"

2 WINDOW WELL SECT.  
scale: 3/4"=1'-0"

#### INSULATION NOTES:

BASEMENT FDN. WALLS (AT UNFINISHED AREA): CERTANTEED' EASY TOUCH' FULLY ENCAPSULATED FIBERGLASS BLANKET INSULATION WITH A POLY SWEATING ENCLOSURE (MEETING ASTM E84) FIRE HAZARD CLASS. EXTEND THE INSULATION A MINIMUM OF 4'-1" BELOW THE ADJOINING GRADE LEVEL, ADJACENT TO THE FDN. WALL.

BASEMENT FLOOR SLAB (BELOW THE SLAB): 'ECONOL' UNDER CONCRETE RADIANT BARRIER INSULATION (BELOW THE ENTIRE BASEMENT FLOOR AREA).

BASEMENT WALLS WITH PERIMETER FRAME PARTITIONS: 1 1/2" (R-20) HIGH DENSITY KRAFT BACKED FIBERGLASS BATT INSULATION AT ALL 2X4 WALLS WITH DRYWALL COVER. BASEMENT AND FIRST FLOOR CEILING: 3 1/2" (R-35) UNFACED SOUND ATTENUATION BATTS.

NOTE: PROVIDE A LAYER OF CORK (FOR SOUND CONTROL) FLOORING (FOR SOUND CONTROL). FIRST AND SECOND FLOOR EXTERIOR WALLS: 5 1/2" (R-20) HIGH DENSITY KRAFT BACKED FIBERGLASS BATT INSULATION.

FIRST AND SECOND FLOOR INTERIOR WALLS: 3 1/2" (R-35) UNFACED SOUND ATTENUATION BATTS AT ALL INTERIOR PARTITIONS. PLAT. CEILING UNCONDITIONED SPACE ABOVE: 8 1/2" (R-45) 'QUEENS-CORNING' 'PROF' UNBONDED FIBERGLASS LOOSEFILL INSULATION-RED BAG.

CATHEDRAL VAULTED CEILING AREAS: 1 1/4" NOMINAL (R-49) 'ICTENE' LD-C-50 OPEN CELL EXPANDABLE POLYURETHANE SPRAY FOAM INSULATION AT EACH RAFTER CAVITY AND COVERED WITH 5/8" DRYWALL FOR FULL ENCLOSURE.

UNDERSIDE OF THE ROOF AT THE VENTLESS ATTIC: 1 1/4" NOMINAL (R-49) 'ICTENE' LD-C-50 OPEN CELL EXPANDABLE POLYURETHANE SPRAY FOAM INSULATION AT EACH RAFTER CAVITY I COVERED WITH 'ICTENE' DCS3 SPRAY APPLIED 5 MINUTE THERMAL BARRIER COATING SO AS TO SATIFY THE CODE COMPLIANCE FOR THERMAL BARRIER.

FENESTRATION U-FACTOR: NFRC THERMAL PERFORMANCE DATA: UNIT U-VALUE WITH THE SPECIFIED RAINTER PLUS GLAZING 16/ ARGON: 0.25 MAXIMUM ALLOWED UNIT U-VALUE: 0.35.

FOAM PLASTICS INSULATION NOTE: PER SECTION 344.3 OF THE INTERNATIONAL RESIDENTIAL CODE, ANY FOAM PLASTICS GREATER THAN 1" THICK AND LESS THAN OR EQUAL TO 12" THICK REQUIRE A 5 MINUTE THERMAL BARRIER REFER TO THE I.R.C. AND TO THE MANUFACTURER'S SPECIFICATIONS FOR VARIOUS TYPES OF PERMITTED COATINGS.

ROOF RAFTER CONNECTIONS TO WALLS NOTE: PER SECTION R502.1 OF THE 2001 IRC, WIND UPLIFT CLIPS ARE REQUIRED FOR RAFTERS TO WALL CONNECTIONS WHERE ROOF RAFTERS DO NOT INTERSECT THE CEILING JOIST AT THE TOP PLATE CONNECTION. A CONTINUOUS LOAD PATH SHALL BE PROVIDED TO TRANSFER THE UPLIFT FORCES FROM THE RAFTER TIES TO THE FOUNDATION.

REAR COVERED PORCH CEILING CONSTRUCTION: 2X8 CEILING JOIST AT 1' O.C. WITH 2X4 FURRING STRIPS PERPENDICULAR TO THE 2X8 CEILING JOIST (TO ALLOW ALLOW THE 3/4X3 1/2" DOUBLE BIRTH DOUGLAS FIR BEAD BOARD TO BE APPLIED PARALLEL TO THE CLG. JOIST). COORDINATE BEAD BOARD FINISH WITH THE OWNER AND ASSURE TWO COATS OF POLYURETHANE.

WEST SIDE PORCH BRACKET CONSTRUCTION: 1X4 CLEAR SMOOTH V-GROOVE VERTICAL CEDAR ON 2X4 FRAMING WITH A CURVED FACE (AS SHOWN). COORDINATE.

PORCH FLOOR CONSTRUCTION: 2" THICK BLUESTONE THICKSET ONTO THE 4" REINFORCED CONCRETE SLAB ON GRADE. NOTE: COORDINATE THE STONE PATTERN. NOTE: PROVIDE A BULLNOSE EDGE AT THE PERIMETER. NOTE: AT ALL PORCH STEPS PROVIDE 2" THICK BLUESTONE AT THE EDGE TREAD AND RISER.

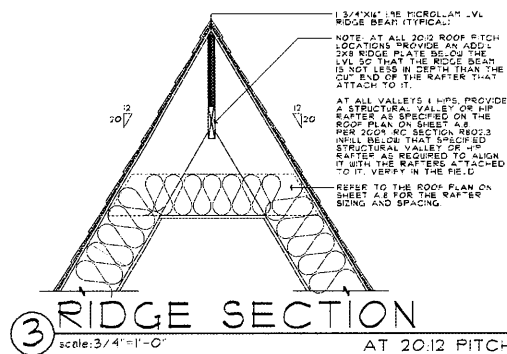
STAIR TOWER ROOF: 1/2 OUNCE STANDING SEAM COPPER ROOFING OVER 'GRACE' ICE AND WATER SHIELD ON 1/2" C.D.X. FR EXTERIOR GRADE PLYWOOD ROOF SHEATHING ON 2X4 SLEEPERS CUT WITH A MINIMUM PITCH OF 3/4" PER 1'-0". NOTE: PROVIDE 1/2 OUNCE COPPER DRIP EDGE.

#### WINDOW WELL NOTES:

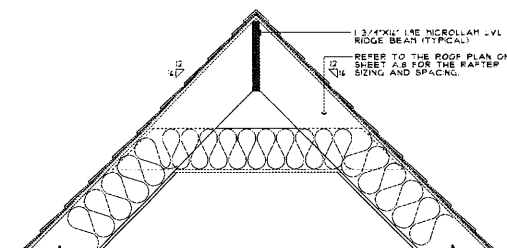
NOTE: AT THE BASEMENT WINDOW WELLS PROVIDE A WROUGHT IRON GRATE SET INTO THE 1" THICK CUT STONE CAP. PROVIDE A WROUGHT HINGED ACCESS HATCH SET DIRECTLY ABOVE THE GALVANIZED METAL ESCAPE LADDER (FOR AN EMERGENCY EXIT). PROVIDE A LEDGE IN THE FOUNDATION WALL FOR PLACEMENT OF STONE VENEER.

NOTE: PROVIDE AN ESCAPE LADDER WITH RUNGS AT LEAST 12" WIDE AT LEAST 3" FROM THE WALL AND SPACED NO MORE THAN 18" O.C. VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

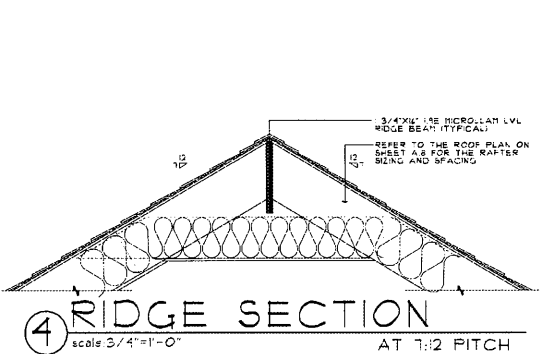
NOTE: PLACE THE ESCAPE HATCH DIRECTLY ABOVE THE LADDER WITH THE HATCH SIZE BEING A MINIMUM OF 24" WIDE X 34" LONG (4.0 SQ. FT.). THE ESCAPE HATCH SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE THAT IS MORE THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF AN ESCAPE AND RESCUE OPENING.



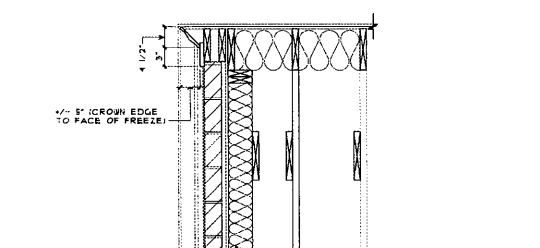
3 RIDGE SECTION  
scale: 3/4"=1'-0" AT 20:12 PITCH



5 RIDGE SECTION  
scale: 3/4"=1'-0" AT 16:12 PITCH



4 RIDGE SECTION  
scale: 3/4"=1'-0" AT 7:12 PITCH



6 RAKE DETAIL  
scale: 3/4"=1'-0"



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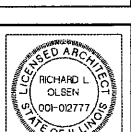
WALL SECTIONS AND DETAILS

DATE:	APRIL 9, 2018
SCALE:	GIVEN
DESIGN:	RICHARD OLSEN
PROJECT NO:	2011.24

#### DATE ISSUED FOR:

3/1/18 OWNER REVIEW  
3/1/18 OWNER REVIEW  
4/1/18 PERMIT

DE LA MATER RESIDENCE  
3315 SOUTH OAK ST.  
HINSDALE, IL 60521



SHEET: A.4





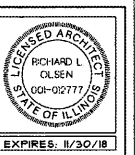
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BASEMENT FLOOR PLAN

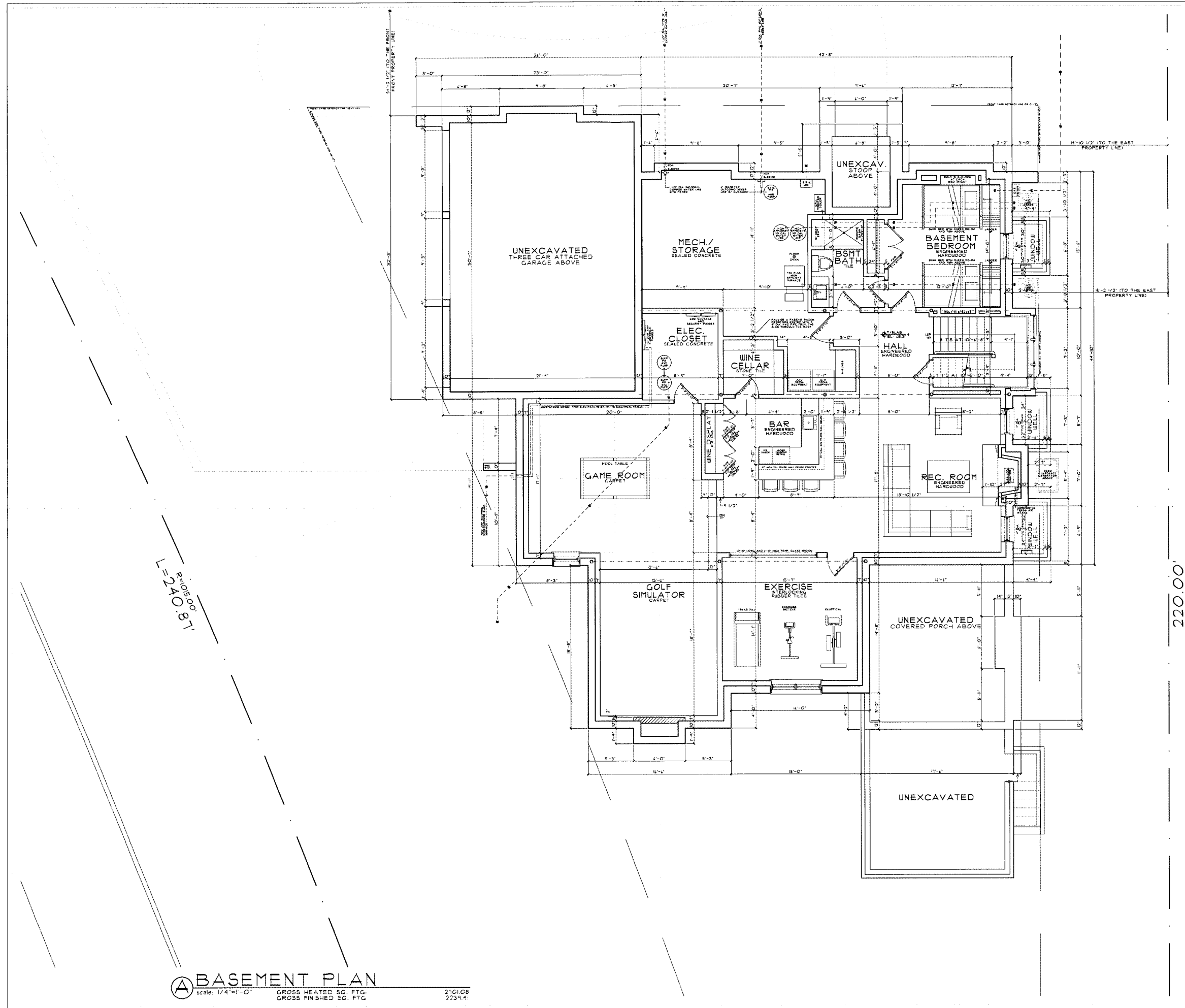
DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 2017.24

DATE ISSUED FOR:  
3/1/18 OWNER REVIEW  
3/1/18 OWNER REVIEW  
4/1/18 PERMIT

DE LA MATER RESIDENCE  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



SHEET: A.5

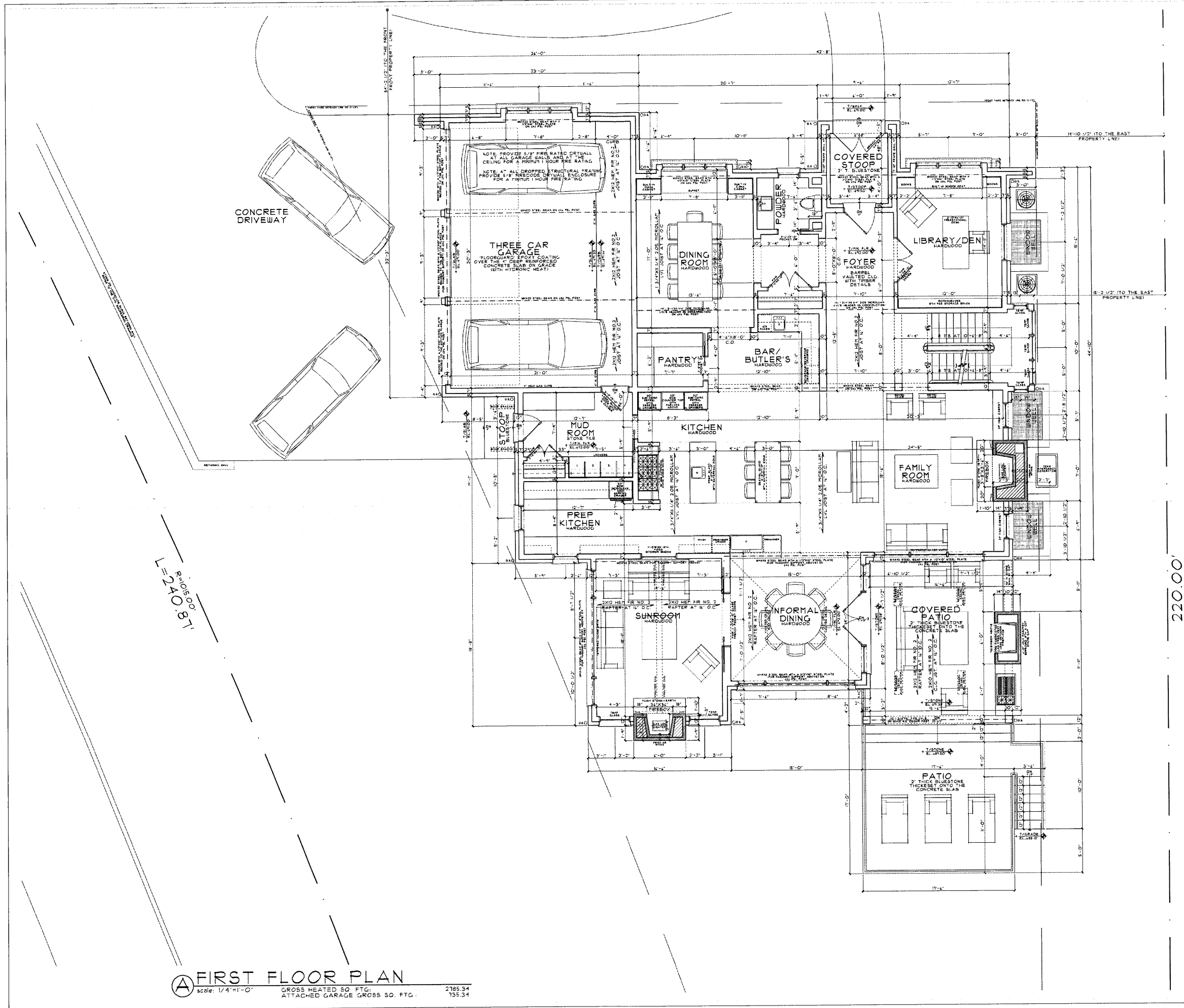


BASEMENT PLAN  
scale: 1/4"=1'-0"

GROSS HEATED SQ. FTG.  
GROSS FINISHED SQ. FTG.

2101.08  
2239.41





**FIRST FLOOR PLAN**  
scale: 1/4"=1'-0"  
GROSS HEATED SQ. FTG. 2785.34  
ATTACHED GARAGE GROSS SQ. FTG. 135.34



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**FIRST FLOOR PLAN**

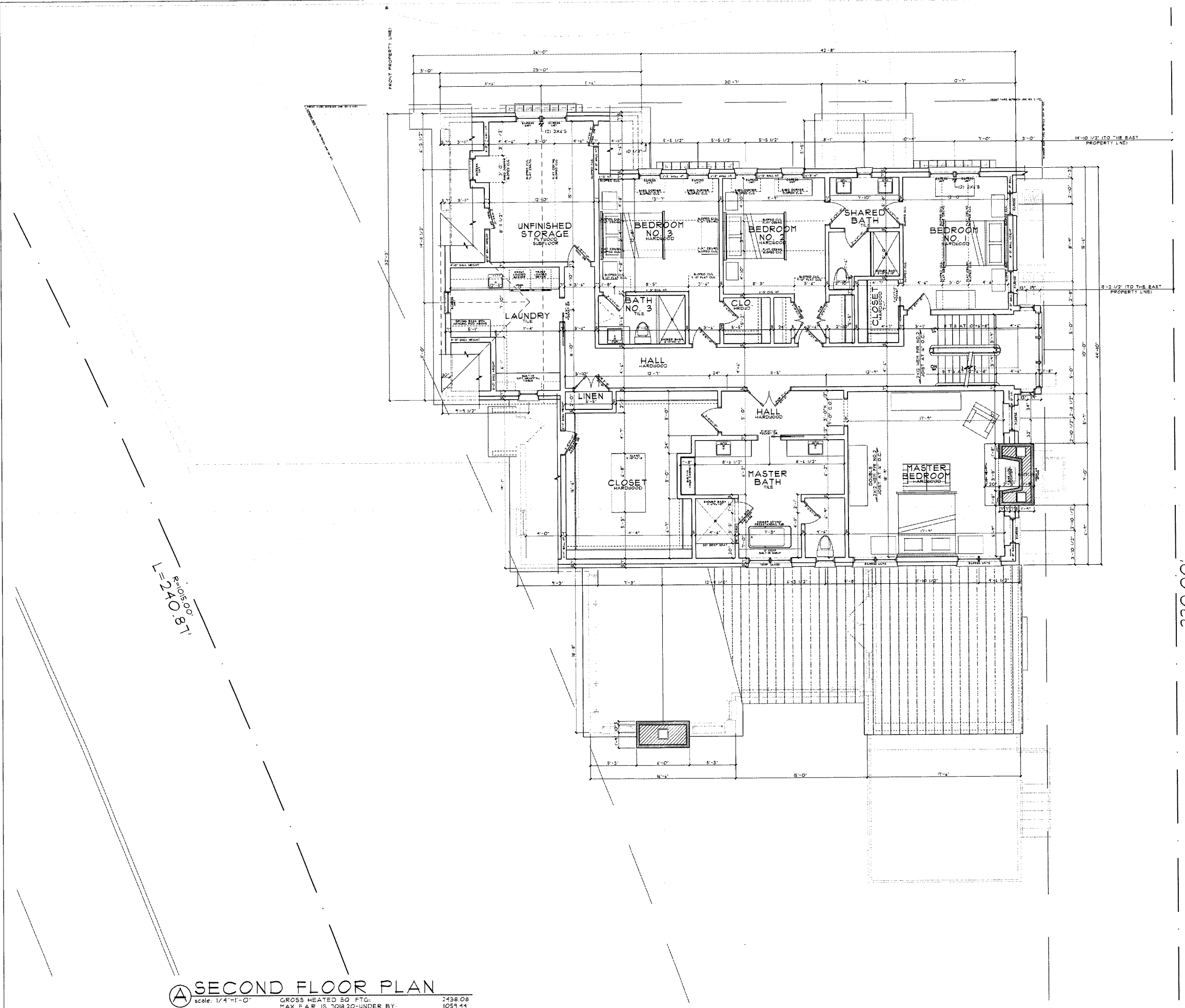
DATE:	APRIL 9, 2018
SCALE:	GIVEN
DRAWN:	RICHARD OLSEN
PROJECT NO.:	2011.24

**DE LA MATER RESIDENCE**  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



SHEET: **A.6**





PERIOD OF  
L=240.81

**SECOND FLOOR PLAN**  
scale: 1/4"=1'-0"  
GROSS HEATED SQ. FTG: 2438.08  
MAX F.A.R. IS 1018.20-UNDER BY: 1059.44



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**SECOND FLOOR PLAN**

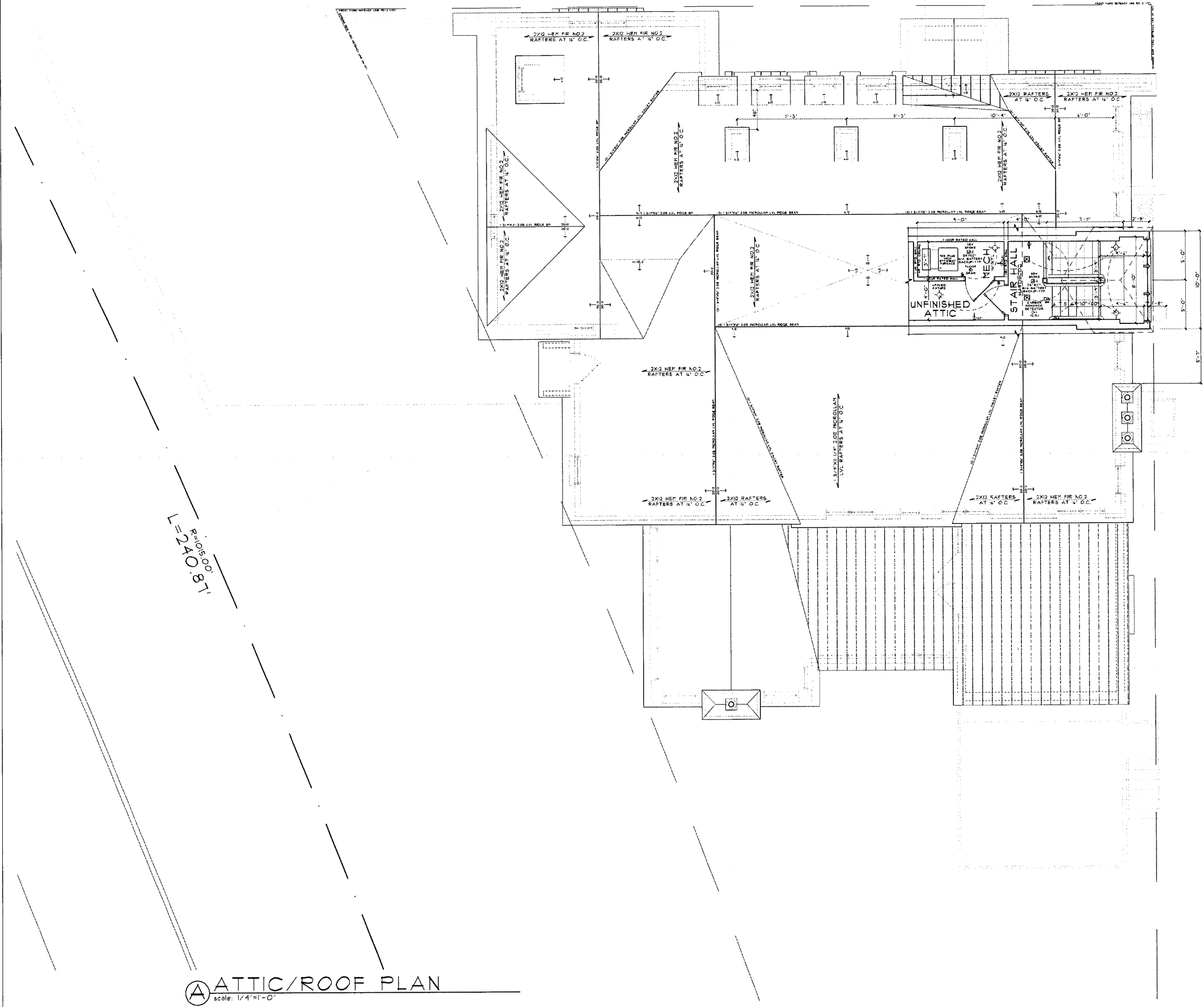
DATE	APRIL 9, 2018
SCALE	GIVEN
DRAWN	RICHARD OLSEN
PROJECT NO.	2011.24

**DE LA MATER RESIDENCE**  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



SHEET: **A.1**





**ATTIC/ROOF PLAN**  
scale: 1/4"=1'-0"



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630.814.1022 WWW.KENNABUILDERS.COM

**ATTIC/ROOF PLAN**

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 201124

DATE ISSUED FOR:  
3/4/18 OWNER REVIEW  
3/1/18 OWNER REVIEW  
4/1/18 PERMIT

**DE LA MATER RESIDENCE**  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



SHEET: **A.8**

220.00'





DATE:	APRIL 9, 2018
SCALE:	GIVEN
DRAWN:	RICHARD OLSEN
PROJECT NO.	2017.24

# DE LA MATER RESIDENCE

GENERAL NOTES

- P L U M B I N G

- MECHANICAL:

- ENERGY

- ELECTRICAL

25. PER TABLE E3503: OF THE I.R.C., THE

- MASONRY LINTEL SCHEDULE

### DESIGN LOADS SCHEDULE

CODE INFORMATION

2. PLEASE NOTE THAT THE 'AMERICAN WOOD

- © 2009 INTERNATIONAL RESIDENTIAL CODE

- FOR STATE OF ILLINOIS FURNISHING SOLE

- ENERGY CONSERVATION

NOTE: TO PROVIDE COMPLIANCE WITH THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE, THIS PROJECT WILL BE BUILT USING THE PRESCRIPTIVE METHOD INDICATED IN THE INTERNATIONAL ENERGY CONSERVATION CODE.

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## GENERAL NOTES

1. ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH THE INSULATION VALUE OF THE ATTIC AND MUST BE WEATHER-RESISTANT.
2. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLE, SEALED TO LIMIT INfiltration, THE SEALING METHODS BETWEEN COMPONENTS SHALL BE DESCRIBED IN THE BIDDING DOCUMENTS. THE FOLLOWING SHALL BE CAULKED:
  - A. EXTERIOR WALLS
  - B. EARTH STOPPED OR OTHERS SEALED WITH AN AIR BARRIER MATERIAL, BUTABLE FLN OR FOAM MATERIAL.
  - C. JOINTS BETWEEN ROOFING AND CEILING ASSEMBLIES AND THE R-E RESPECTIVE JABS AND FRADING.
  - D. UTILITY PENETRATIONS
  - E. CRACKS BETWEEN ROOFING AND CEILING ADJACENT TO THE THERMAL ENVELOPE.
3. FINISH WALLS
  - G. SEALS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
  - H. NEARBY TIERS AND SHOULDERS ON EXTERIOR WALLS.
  - I. COMMON WALLS BETWEEN UNITS
  - J. ATTIC ACCESS OPENINGS
  - K. AIR INTAKE
  - L. OTHER SOURCES OF INFILTRATION
3. THE FIREPLACES SHALL HAVE GASKETED DOORS.
4. WINDOWS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.56m PER SQUARE FOOT AIR LEAKAGE MEASURING CONDUCTED TO NOT EXCEED 0.07 PER SQUARE FOOT.
5. RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE:
  - A. NON-RECESSED AND SEALED IN PLACE USING INSULATION CONTACT CUPS
  - B. SEALED WITH A GASKET OR CAULK BETWEEN THE F-X-TURE HOUSING AND THE CEILING.
6. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. AT LEASE ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE WATER HEATING SYSTEM.
7. AN UNCONDITIONED SPACE, SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-6 ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM R-4.
  - A. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED AT ALL JOINTS & SEAMS DUCT TYPE OF ANY OTHER UNIFORM INSULATION MODE.
8. BUILDING FRANKING CAPACITY SHALL NOT BE USED AS SUPPLY DUCTS.
9. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE LOS DEGREES FAHRENHEIT SHALL BE INSULATED TO MINIMUM R-2.
10. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM R-3 WITH READILY ACCESSIBLE MANUAL SHUT OFF THAT CAN TURN OFF HOT WATER CIRCULATING PUMP WHEN SYSTEM IS NOT IN USE.
11. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE.
12. THE MINIMUM OF 15 PERCENT (15%) OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENT LAMP TYPES. THE CONTRACTOR SHALL PROVIDE THE LAMPS TO BE INSTALLED AND POSITIONED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE PERFORMANCE R-R VALUES OF THE INSULATION INSTALLED, FACTORS FOR SMOG OF THE PENETRATION AND THE RESULTS FROM THE REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DURING COMMISSIONING.
13. THE INSULATION INSTALLER SHALL PROVIDE A CERTIFICATE LISTING THE TYPE MANUFACTURER AND R VALUE OF THE INSULATION INSTALLED, THE LOCATION OF THE BUILDING THERMAL ENVELOPE, THE INSULATION INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATE IN A CONSPICUOUS LOCATION ON THE JOB SITE.
14. PER THE 2017 I.E.C.C. SECTION 403.3. A WHOLE HOUSE VENTILATION SYSTEM IS REQUIRED.
15. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON CALCULATED LOADS.
16. PROVIDE A RIGID OPAQUE AND RESISTANT "PROTECTIVE COVERING TO PROTECT THE EXPOSED ROOF INSULATION AT THE FOUNDATION WALL FROM DEGRADATION". UTILIZE A PREFINISHED ALUMINUM FLASHING TO MATCH THE COLOR OF STAIRS, ETC. AT THE FOUNDATION WALL.

### DESIGN LOADS SCHEDULE

CODE INFORMATION

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
CODE INFORMATION																																																																																																			

2. PLEASE NOTE THAT THE 'AMERICAN WOOD

- © 2009 INTERNATIONAL RESIDENTIAL CODE

- FOR STATE OF ILLINOIS FURNISHING SOLE

- ENERGY CODE DETAILS**  
not to scale  
PRESCRIPTIVE METHOD  
PER THE 2012 IECC



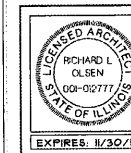


KENNA BUILDERS, INC.  
HINSDALE, IL 60521  
430.814.4042 WWW.KENNABUILDERS.COM

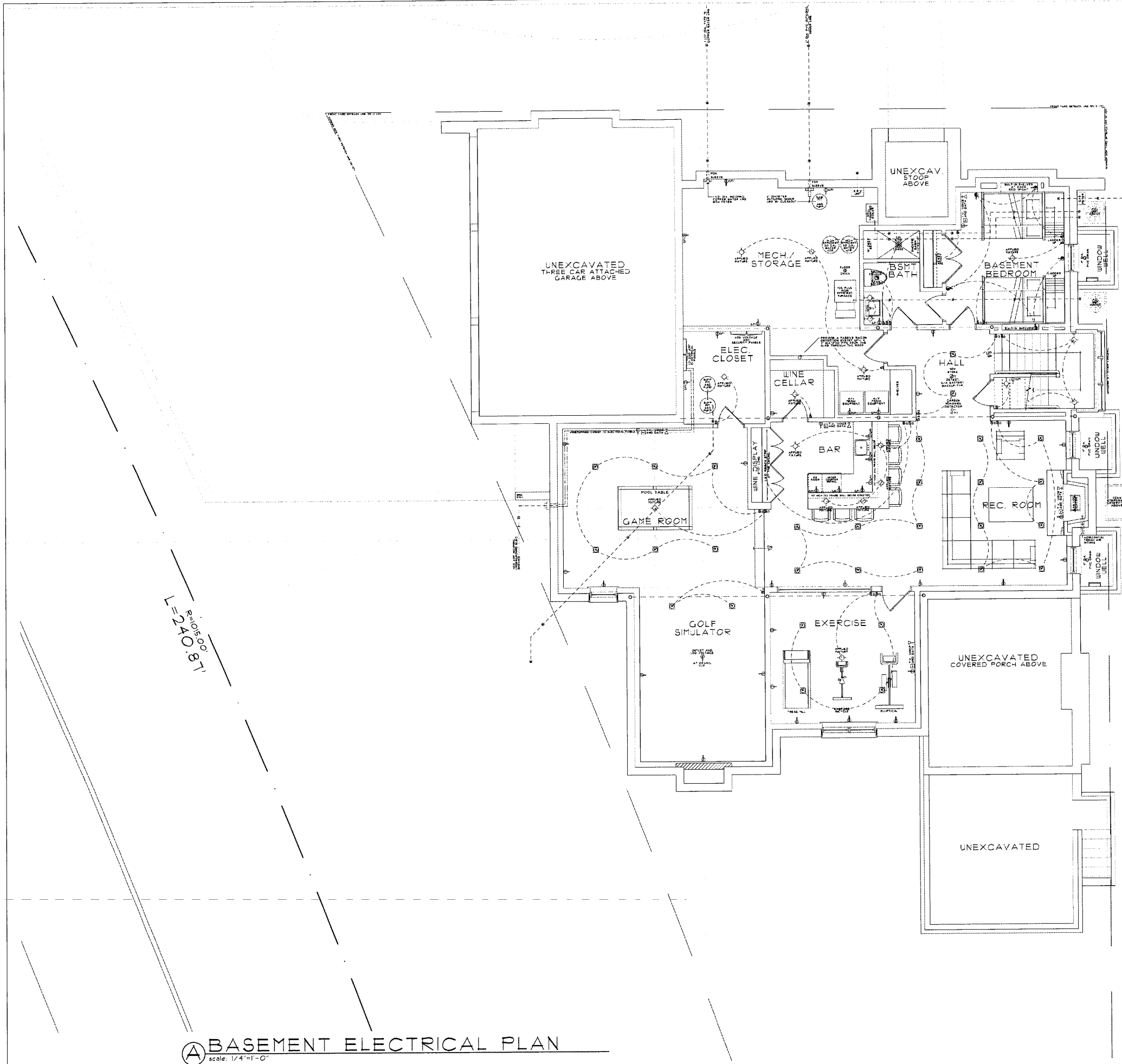
BASEMENT ELECTRICAL PLAN

DATE	APRIL 9, 2018
SCALE	GIVEN
DRAWN	RICHARD OLSEN
PROJECT NO.	2011.24

DE LA MATER RESIDENCE  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS



SHEET E.1



240.00' x 105.00' L

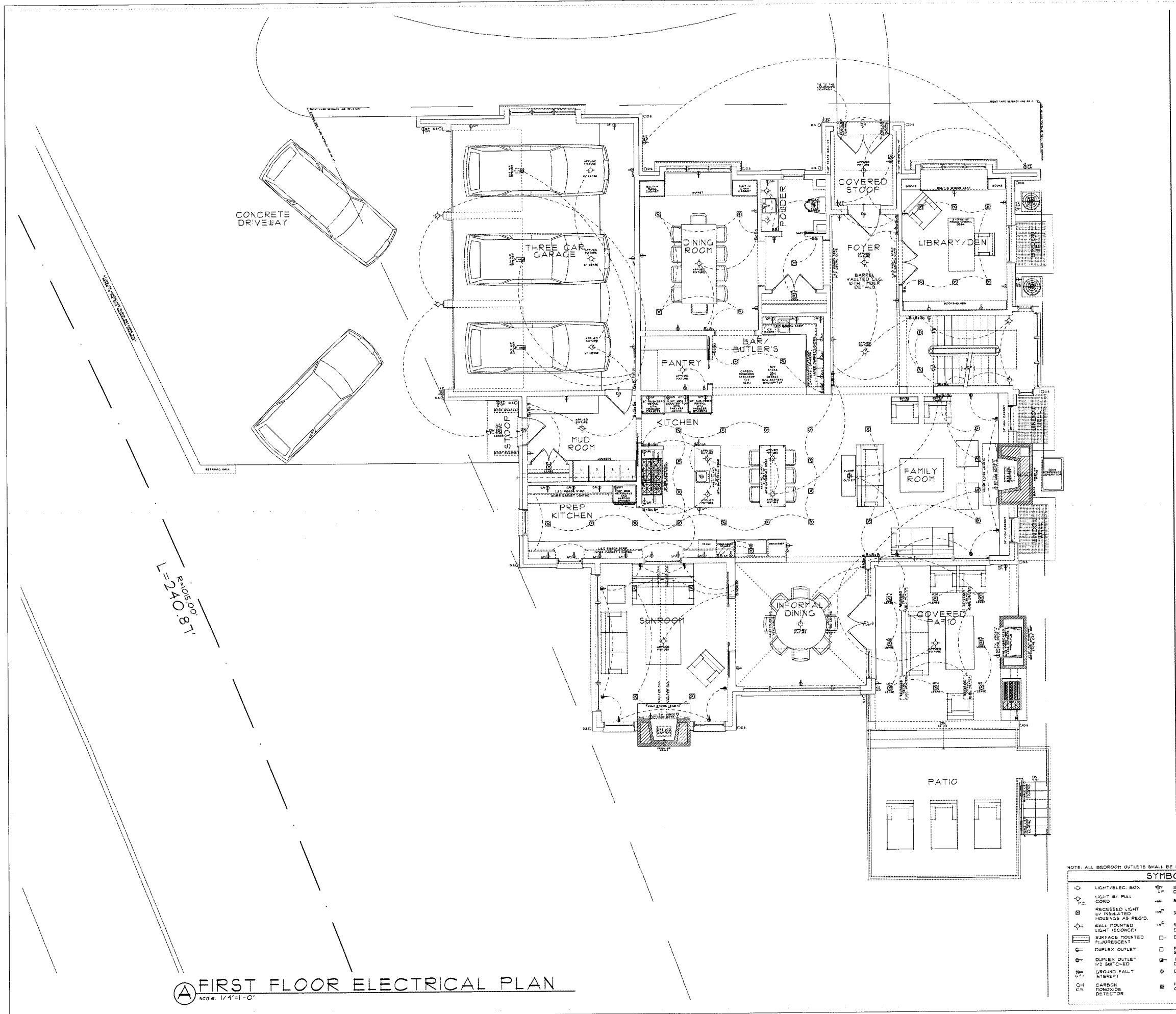
220.00'

BASEMENT ELECTRICAL PLAN  
scale: 1/4"=1'-0"

NOTE: ALL BEDROOM OUTLETS SHALL BE EQUIPPED WITH ARC FAULT PROTECTION

SYMBOL LIST		
○ LIGHT/ELEC. BOX	⊞ INTERPROOF	⊞ TELEPHONE JACK
○ LIGHT 3/4 PULL CORD	⊞ SWITCH	⊞ SOUND SYSTEM (SPEAKERS)
⊞ RECESSED LIGHT 3/4 INSULATED HOUSINGS AS REQ'D.	⊞ 3-WAY SWITCH	⊞ EXHAUST FAN DUCTED OUTSIDE
⊞ WALL MOUNTED LIGHT (SCONCE)	⊞ SWITCH W/ DIMMER	⊞ TELEVISION CONNECTION
⊞ SURFACE MOUNTED FLUORESCENT	⊞ DOOR CHIME	⊞ FLOOR DRAIN
⊞ DUPLEX OUTLET	⊞ PUSH BUTTON SWITCH	⊞ FROST FREE HOSE BIB
⊞ DUPLEX OUTLET 1/2 SWITCHED	⊞ 4-W. SMOKE DETECTOR	⊞ APPLIANCE OUTLET AS REQUIRED
⊞ GROUND FAULT INTERRUPT	⊞ DISPOSAL	⊞ NATURAL GAS CONNECTION
⊞ CARBON MONOXIDE DETECTOR	⊞ FLOOR MOUNTED OUTLET	⊞ EXHAUST FAN COMBO





**FIRST FLOOR ELECTRICAL PLAN**  
scale: 1/4"=1'-0"

NOTE: ALL BEDROOM OUTLETS SHALL BE EQUIPPED WITH ARC FAULT PROTECTION

SYMBOL LIST			
⬢	LIGHT/ELEC. BOX	⬢	TELEPHONE JACK
⬢	LIGHT W/ PULL CORD	⬢	SOUND SYSTEM (SPEAKERS)
⬢	RECESSED LIGHT W/ INSULATED HOUSING AS REQ'D	⬢	EXHAUST FAN DUCTED OUTSIDE
⬢	WALL MOUNTED LIGHT (SCONCE)	⬢	TELEVISION CONNECTION
⬢	SURFACE MOUNTED FLUORESCENT	⬢	FLOOR DRAIN
⬢	DUPLEX OUTLET	⬢	FROST FREE HOSE BIBB
⬢	DUPLEX OUTLET 1/2 SWITCHED	⬢	APPLIANCE OUTLET AS REQUIRED
⬢	GROUND FAULT INTERRUPT	⬢	NATURAL GAS CONNECTION
⬢	CARBON MONOXIDE DETECTOR	⬢	EXHAUST FAN COMBO

630.667.1405

**KENNA BUILDERS, INC.**  
HINSDALE, IL 60521  
630.814.4042 WWW.KENNABUILDERS.COM

**FIRST FLOOR ELECTRICAL PLAN**

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 201124

DATE ISSUED FOR:  
3/4/18 OWNER REVIEW  
3/7/18 OWNER REVIEW  
4/9/18 PERMIT

**DE LA MATER RESIDENCE**  
311 SOUTH OAK ST.  
HINSDALE, ILLINOIS

SHEET **E.2**



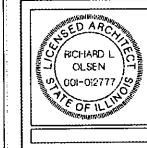


KENNA BUILDERS, INC.  
HINSDALE, IL 60521  
430.816.4042 WWW.KENNABUILDERS.COM

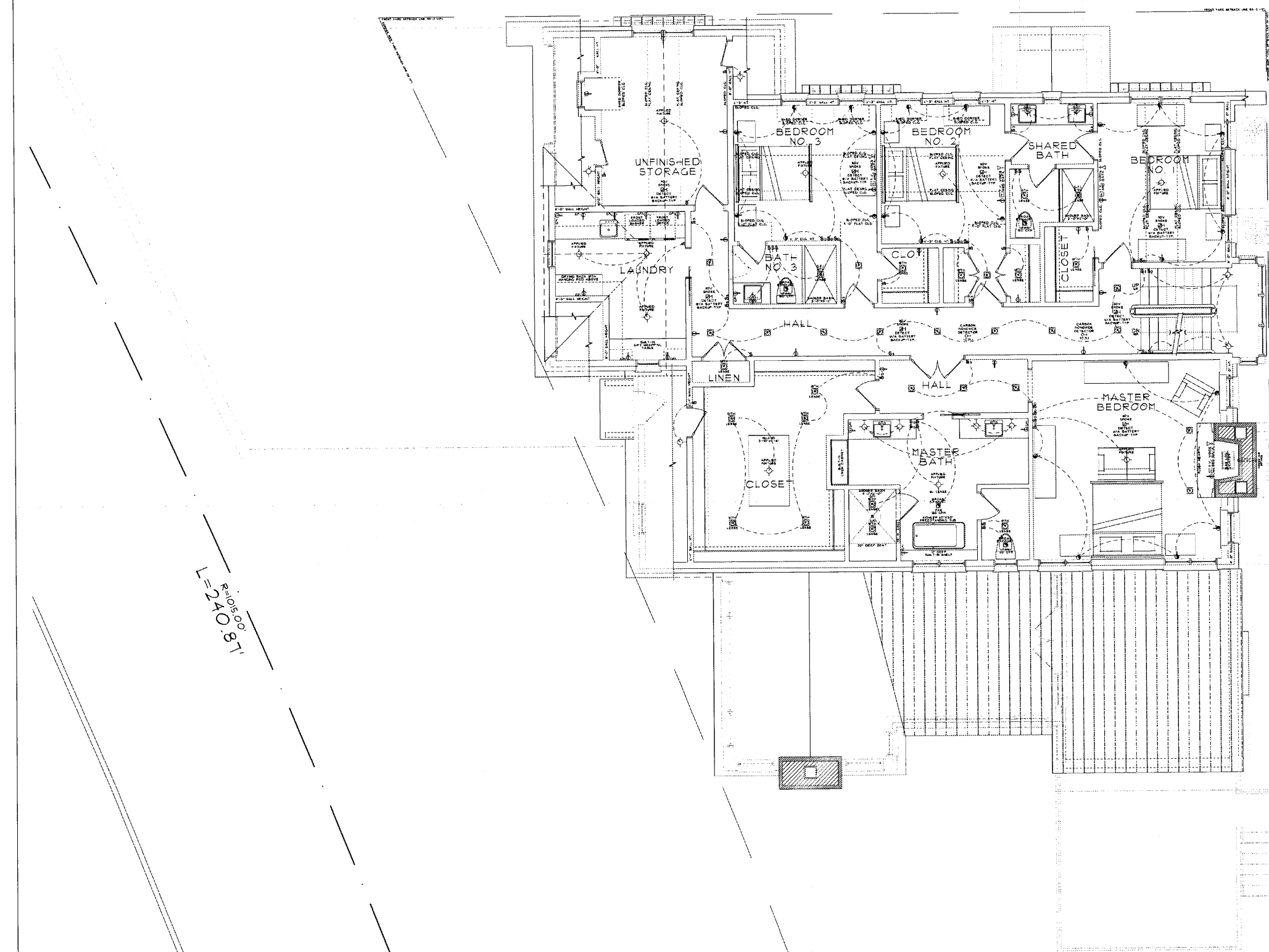
SECOND FLR.  
ELECTRICAL  
PLAN

DATE: APRIL 9, 2018  
SCALE: GIVEN  
DRAWN: RICHARD OLSEN  
PROJECT NO: 2017.24

DATE ISSUED FOR:  
3/1/18 OWNER REVIEW  
3/1/18 OWNER REVIEW  
4/1/18 PERMIT



SHEET E.3



4050.00'  
L=240.81'

220.00'

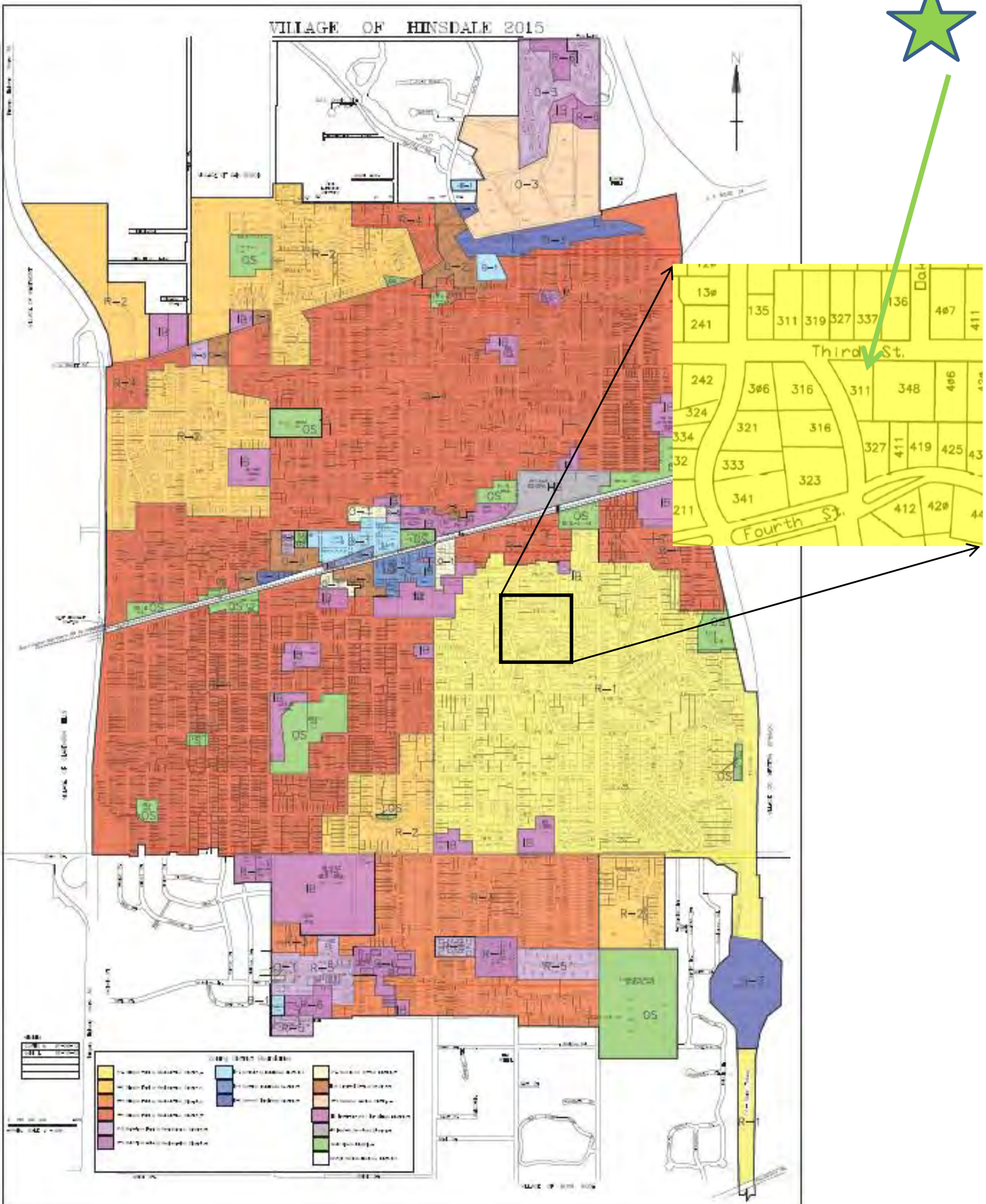
SECOND FLOOR ELECTRICAL PLAN  
scale: 1/4"=1'-0"

NOTE: ALL BEDROOM OUTLETS SHALL BE EQUIPPED WITH ARC FAULT PROTECTION

SYMBOL LIST			
◇ LIGHT/ELEC. BOX	⊞ WATERPROOF DUPLEX	⊞ TELEPHONE JACK	
◇ LIGHT 3/4 PULL CORD	⊞ SWITCH	⊞ SOUND SYSTEM (SPEAKERS)	
⊞ RECESSED LIGHT w/ INSULATED HOUSINGS AS REQ.	⊞ 3-WAY SWITCH	⊞ EXHAUST FAN DUCTED OUTSIDE	
⊞ WALL MOUNTED LIGHT (SCOFF)	⊞ SWITCH w/ DIMMER	⊞ TELEVISION CONNECTION	
⊞ SURFACE MOUNTED FLUORESCENT	⊞ DOOR CHIME	⊞ FLOOR DRAIN	
⊞ DUPLEX OUTLET 1/2 BUTCHED	⊞ FISH BUTTON SWITCH	⊞ FROST FREE ROSE BBB	
⊞ GROUND FAULT INTERRUPT	⊞ 1/2 V. SMOKE DETECTOR	⊞ APPLIANCE OUTLET AS REQUIRED	
⊞ CARBON MONOXIDE DETECTOR	⊞ DISPOSAL	⊞ NATURAL GAS CONNECTION	
	⊞ FLOOR MOUNTED OUTLET	⊞ EXHAUST FAN COMBO	

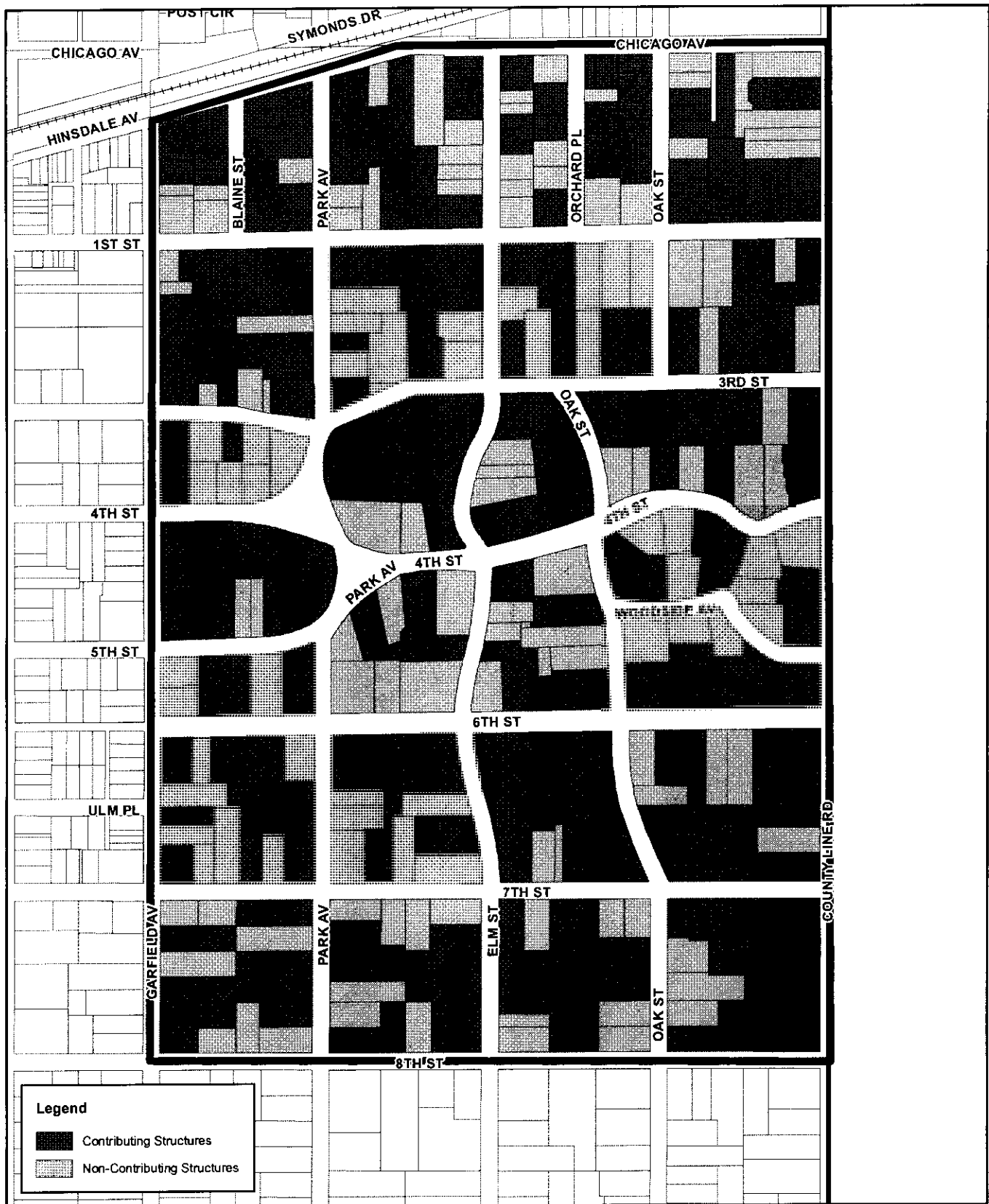


## Attachment 2: Village of Hinsdale Zoning Map and Project Location





# ROBBINS PARK HISTORIC DISTRICT





## **Attachment 4**

## **CERTIFICATE OF APPROPRIATENESS**

### **14-5-2: CRITERIA:**

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

#### **A. General Standards:**

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.



11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## **B. Design Standards:**

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.



United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

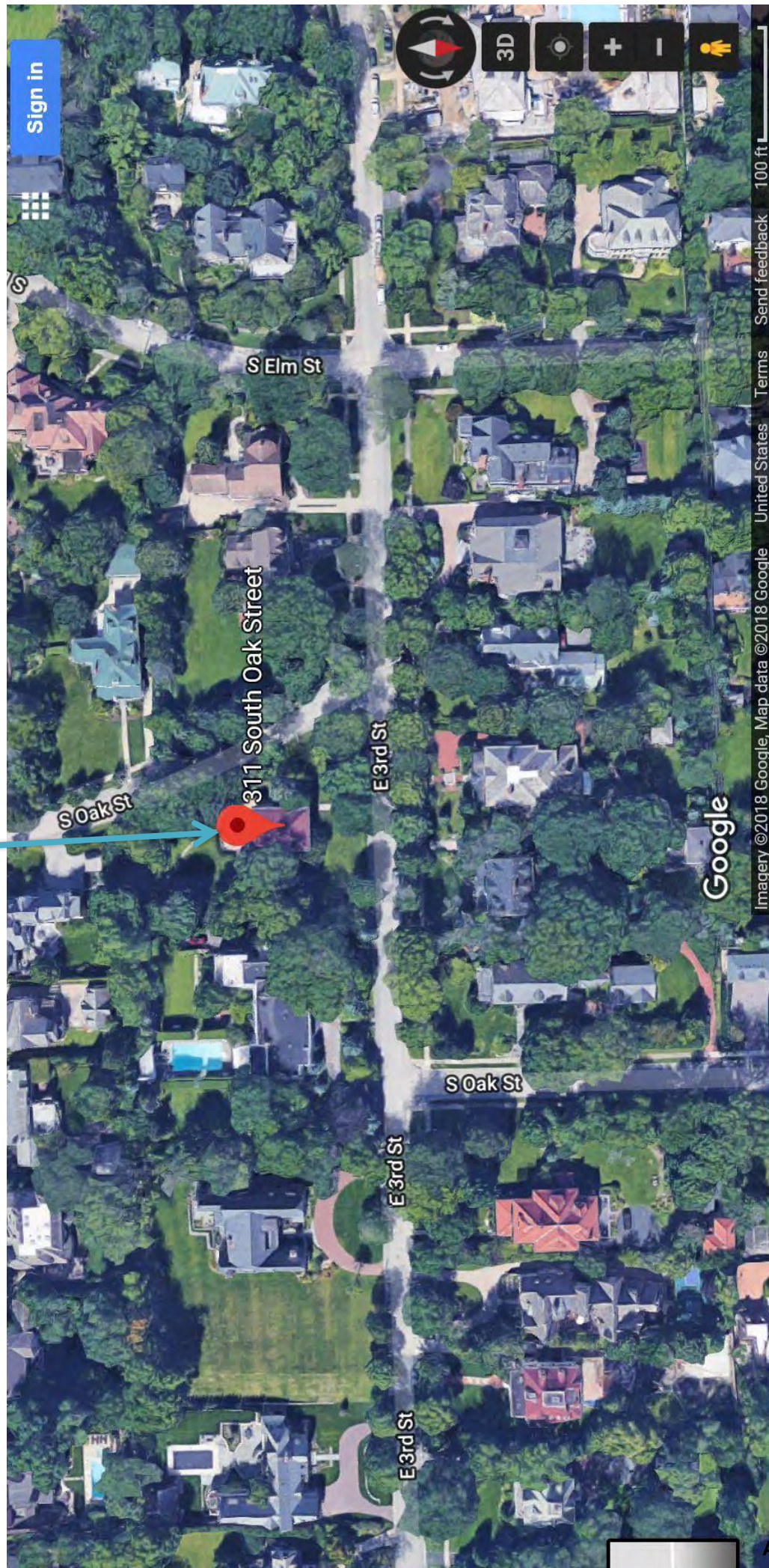
Section number 7 Page 22

Robbins Park Historic District  
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	OWNER	SECONDARY STRUCTURE
130	E THIRD	Neo-Traditional	2001-02		NC	-			
205	E THIRD	Ranch	1955		C	-	Smithson, Albert F. Jr.	Dressler, Paul	
219	E THIRD	Queen Anne	1890		NC	-			
222	E THIRD	Queen Anne	1892	Phillips, Thomas and Sallie House	C	C			detached garage
231	E THIRD	Prairie	1910	True, Albert Wilson House	C	NC	Roberts, Eben Ezra		detached garage
234	E THIRD	Queen Anne - Free Classic	c. 1895	Knisely, Harry C. House	C	C			detached garage
241	E THIRD	Colonial Revival	1991		NC	-	Bruce George (CVG Designs)	Dressler & Assoc., Paul	
242	E THIRD	Queen Anne - Free Classic	1892	(Fayerweather, E. E. House)	C	C	(Rae, Robert)		detached garage
306	E THIRD	Craftsman	c. 1912	Bushnell, Oliver J. House	C	C			detached garage
311	E THIRD	Neo-Traditional	1999		NC	-	Deluca & Assoc., Nicholas R.	DiCosola & Sons	
316	E THIRD	Colonial Revival	1927	Armstrong, M. W. House	C	-	Walcott, Russell S.	Braun & Loehmann	
319	E THIRD	Colonial Revival	1890	Holterscheid, Henry and Emma House	C	-			
327	E THIRD	Neo-Traditional	2005-06		NC	-			
334	E THIRD	Prairie	c. 1915		C	C			detached garage
337	E THIRD	Colonial Revival	1894-95	Dean, Robert M. and Mary House	C	C	Pond & Pond (J. K. and A. B.)		detached garage
348	E THIRD	Colonial Revival	c. 1935		C	-			
406	E THIRD	Colonial Revival	c. 1925		C	C			detached garage
407	E THIRD	Craftsman	c. 1910	Boles, Frederick T. House	C	C			detached garage
411	E THIRD	Neo-Traditional	1990		NC	-	Mifflin & Assoc., Robert	Gail, Casey	
417	E THIRD	Classical Revival	1895	Barker, Esther W. J. House	C	-	Zook, R. Harold (1938 remodel)		
420	E THIRD	Ranch	1954	Carpenter, Brian House	C	-	West, Philip Duke	Braum & Loebman	

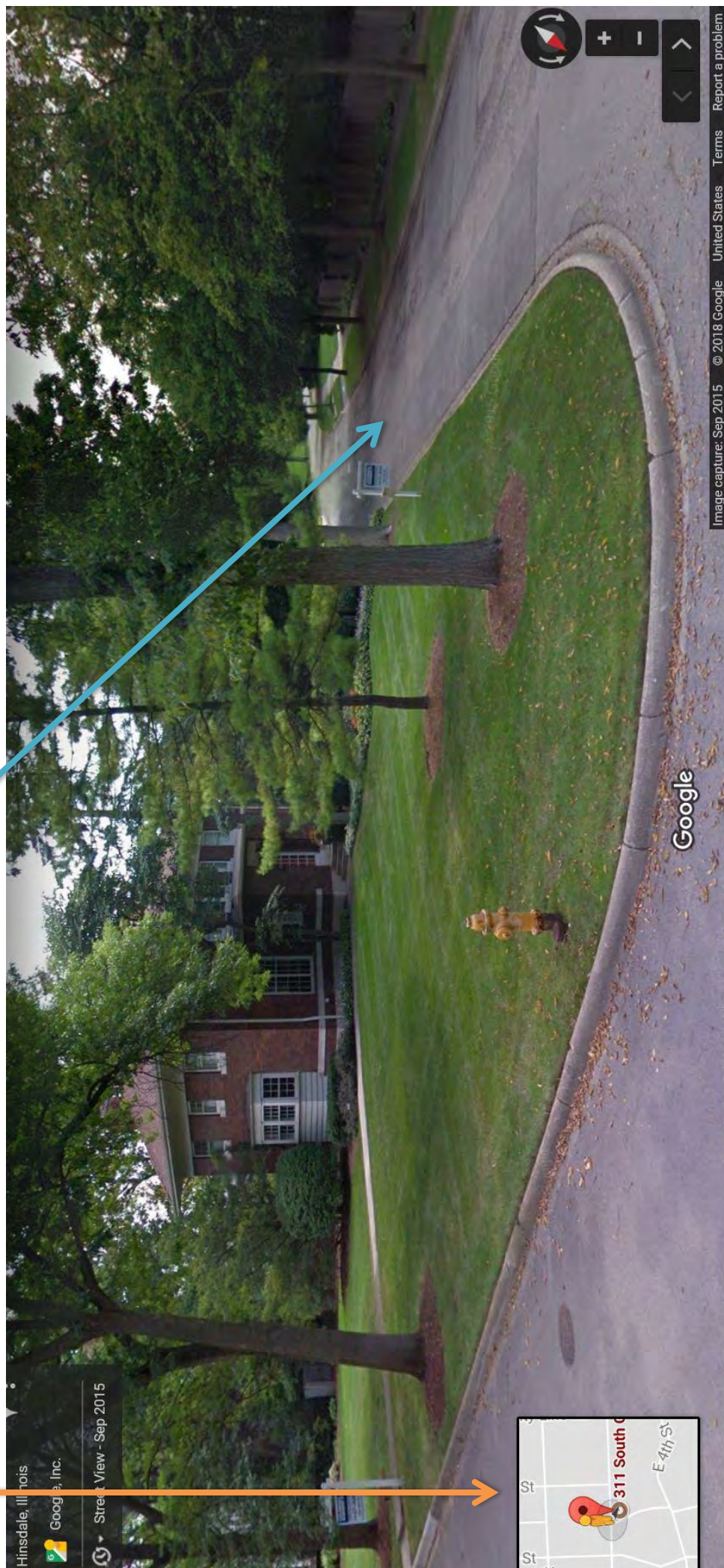


Attachment 6: Aerial Map of 311 S. Oak Street (facing south)





**Attachment 7: Street View of 311 S. Oak Street (facing south east)**  
**3<sup>rd</sup> Street**







## MEMORANDUM

**DATE:** June 6, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 14 Orchard Place – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District – Case HPC-03-2018

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### Summary

The Village of Hinsdale has received an application from Kevin and Theresa McClear, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

### Request and Analysis

The subject property is located on an interior lot at 14 Orchard Place. The existing home was constructed in 1890 according to the National Register of Historic Places, and the applicant would like to seek the right to obtain a demolition permit to list a 90'x130' (11,700 SF) lot for sale after subdividing the lot. 14 Orchard Place is located in the R-4 Single Family Residential District and borders the same to the north, east, south and west. The existing home, per the National Register of Historic Places, is a contributing Queen Anne structure in the Robbins Park Historic District (Attachment 8).

### Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.





## MEMORANDUM

### **Attachments:**

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 - National Register of Historic Places Sheet (Section Number 7 Page 16)
- Attachment 6 - Aerial Map of 14 Orchard Place
- Attachment 7 - Street View of 14 Orchard Place
- Attachment 8 - History Summary of 14 Orchard Place by Matt Stockmal, HPC Intern



**VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 14 Orchard Place, Hinsdale  
Property Identification Number: 09-12-204-010

**I. GENERAL INFORMATION**

1. Applicants Name: Kevin and Theresa McClear  
Address: 22 Orchard Place  
Hinsdale, IL 60521  
Telephone Number: \_\_\_\_\_
2. Owner of Record (if different from applicant): David P. Eller 1992 Trust  
Address: 14 Orchard Place  
Hinsdale, IL 60521  
Telephone Number: \_\_\_\_\_
3. Others involved in project (include, name, address and telephone number):  
Architect: \_\_\_\_\_  
Attorney: Brian Mulhern (630) 850-9550  
15 Salt Creek Lane, Suite 200, Hinsdale, IL 60521  
Builder: \_\_\_\_\_  
Engineer: \_\_\_\_\_

**II. SITE INFORMATION**

1. Describe the existing conditions of the property: Single-Family Residence
2. Property Designation:  
Listed on the National Register of Historic Places? \_\_\_\_\_ YES X NO  
Listed as a Local Designated Landmark? \_\_\_\_\_ YES X NO  
Located in a Designated Historic District? X YES \_\_\_\_\_ NO  
Robbins



3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

Demolition

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No        Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. N/A



## CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☒ **INDIVIDUAL OWNERS**

x [Signature]  
Signature of Applicant

x [Signature]  
Signature of Applicant

☐ **CORPORATION**

\_\_\_\_\_  
Signature of Applicant's President

\_\_\_\_\_  
Signature of Applicant's Secretary

☐ **PARTNERSHIP**

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

**LAND TRUST**

\_\_\_\_\_  
Signature

**OTHER**

\_\_\_\_\_  
Signature of Authorized Officer

SUBSCRIBED AND SWORN  
to before me this 1st day of

May, 2018

[Signature]  
Notary Public





**The David P. Eller 1992 Trust  
14 Orchard Place  
Hinsdale, IL 60521**

May 1, 2018

To: The Village of Hinsdale

Re: 14 Orchard Place, Hinsdale, IL

Please be advised that my above-referenced Trust is the "Owner of Record" of 14 Orchard Place, Hinsdale, IL, that my Trust has entered into a Contract to sell the 14 Orchard property to my next door neighbors (Kevin and Theresa McClear, who live at 22 Orchard Place) with a Closing Date of June 1, 2018 and that I am fully aware of and consent to the plans of the McClears to demolish the home on the 14 Orchard property.

In this regard, I hereby confirm such consent and I hereby authorize the McClears to apply in advance of the Closing Date for a Demolition Permit and, since the 14 Orchard property is within the Robbins Historic District, for a Hearing before the Hinsdale Historic Preservation Commission.

**The David P. Eller 1992 Trust**

By: 

David P. Eller, Trustee

5/1/18





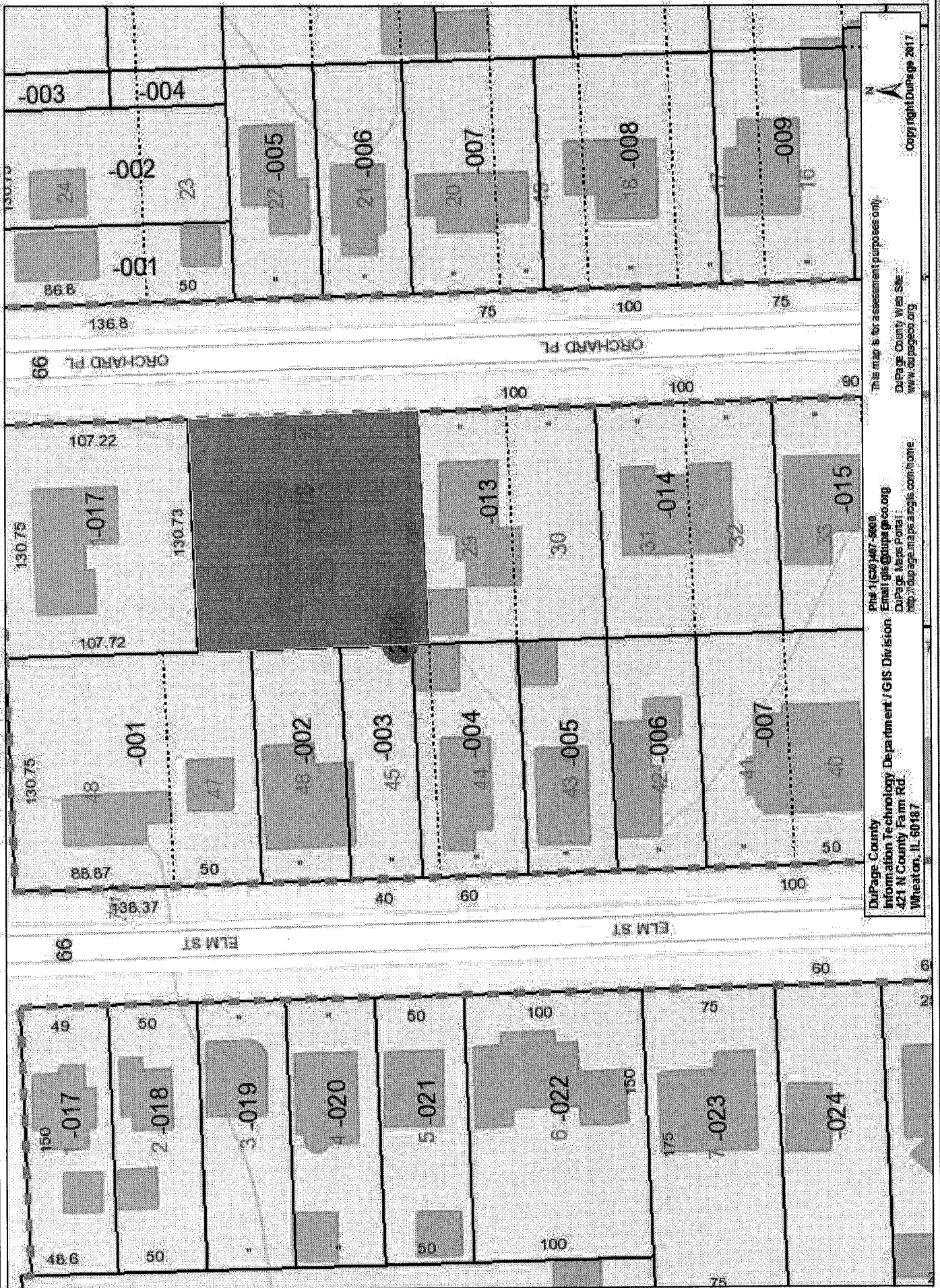










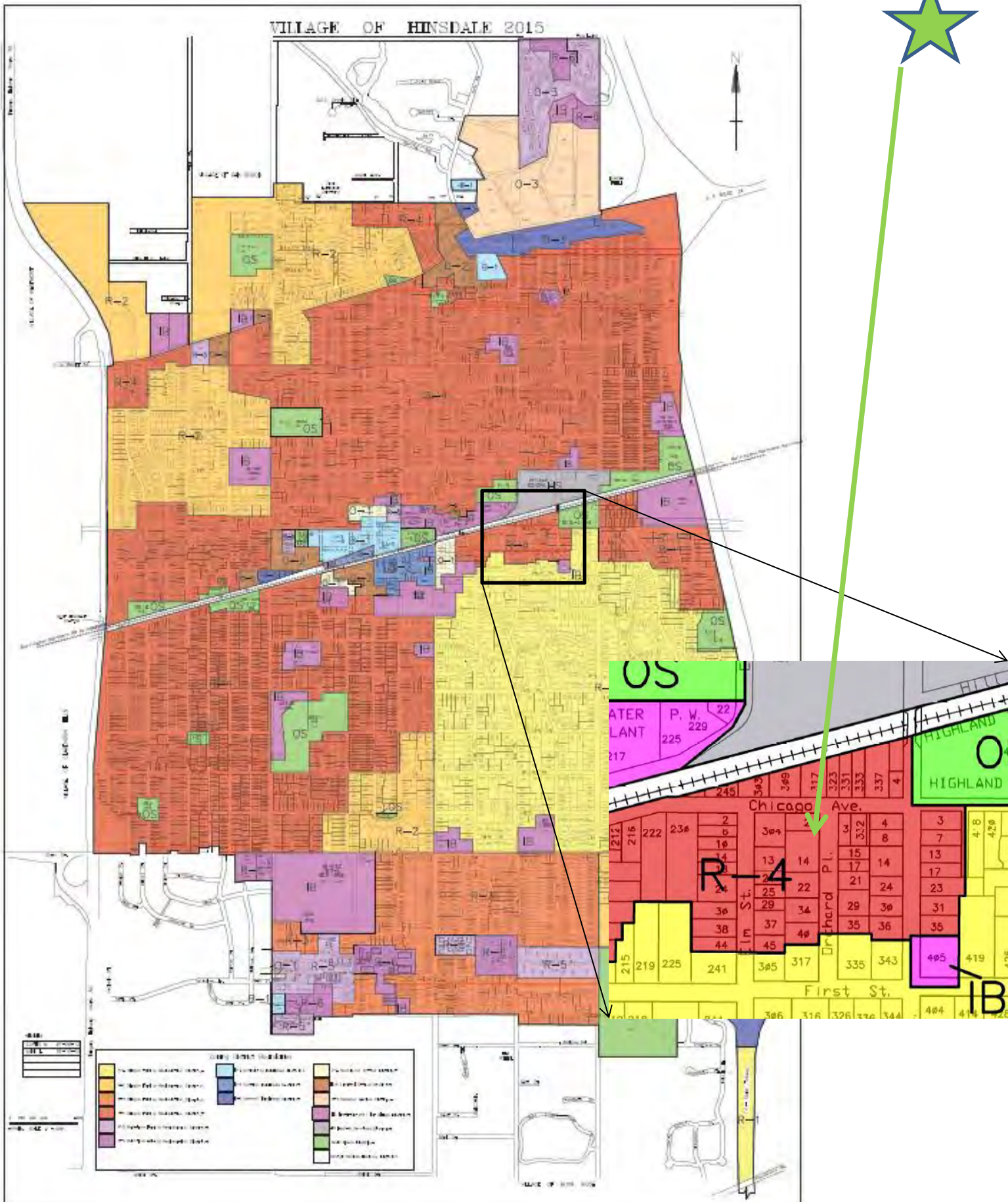


This map is for assessment purposes only.  
 DuPage County Web Site  
 www.dcpgea.org

ph: 1(630) 467-5600  
 Email: gis@dupageco.org  
 DuPage Maps Portal  
 map.dupageinfo.org  
 DuPage County  
 Information Technology Department / GIS Division  
 421 N County Farm Rd.  
 Wheaton, IL 60187

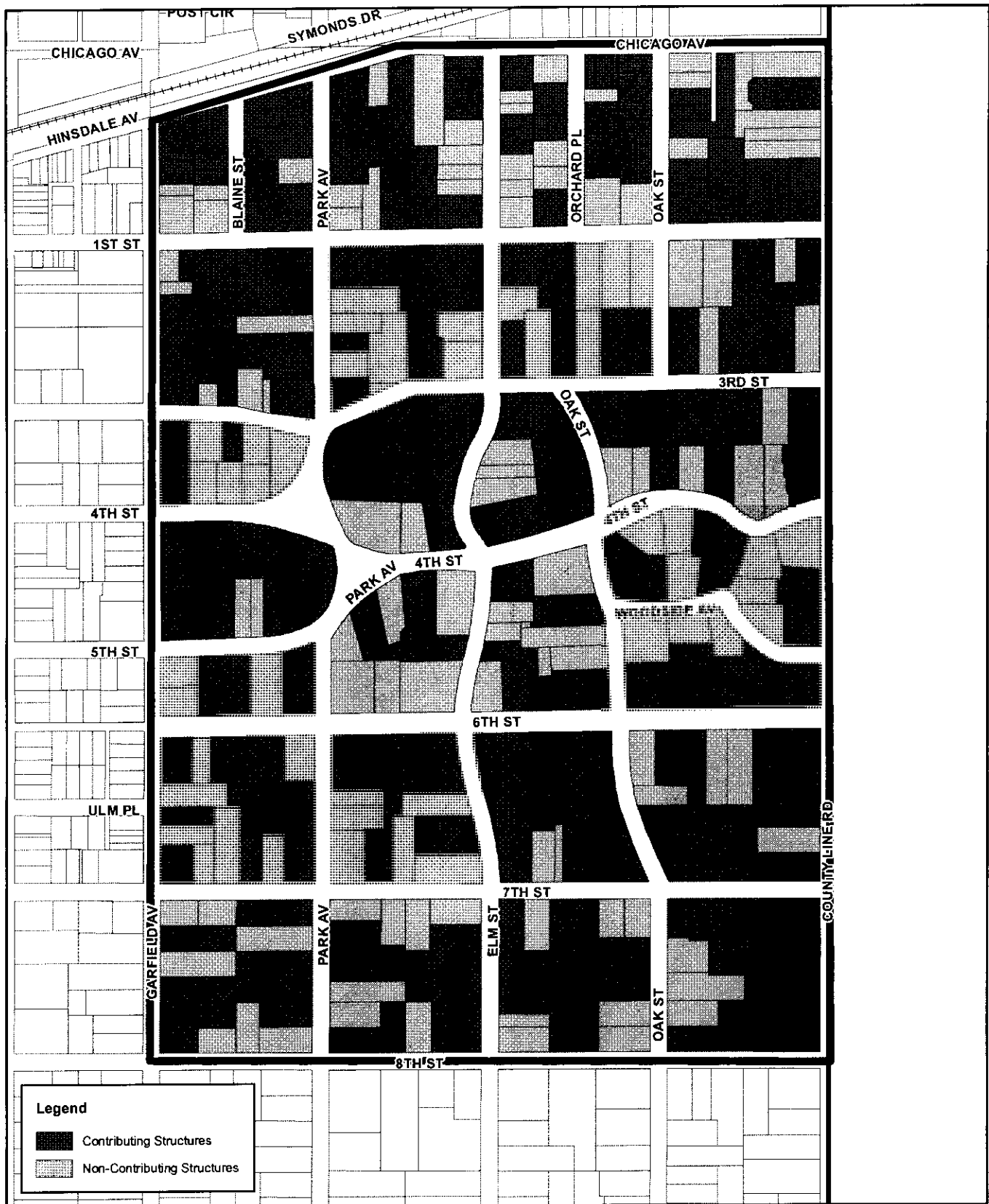


## Attachment 2: Village of Hinsdale Zoning Map and Project Location





# ROBBINS PARK HISTORIC DISTRICT





## **Attachment 4**

## **CERTIFICATE OF APPROPRIATENESS**

### **14-5-2: CRITERIA:**

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9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.



11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## **B. Design Standards:**

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
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4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
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United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

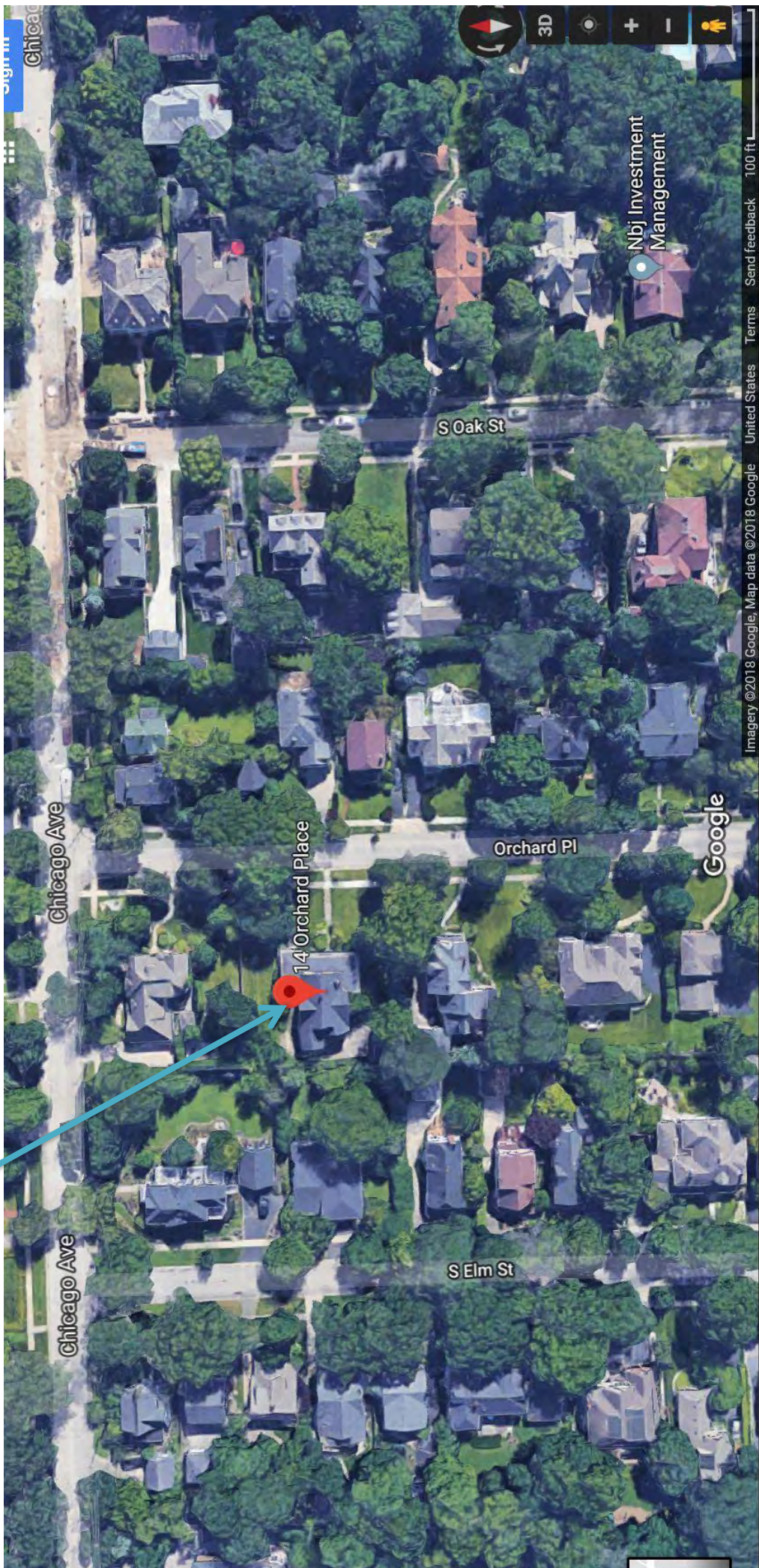
Section number 7 Page 16

Robbins Park Historic District  
Hinsdale, DuPage County, IL

NO	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
611	S OAK	Neo-Traditional (under construction)	2006-08		NC	-			
621	S OAK	Neo-Traditional	1990		NC	NC	George, Charles Vincent	Thompson, Tim, Inc.	Detached garage
627	S OAK	Tudor Revival	c. 1925		C	NC			Detached garage
630	S OAK	Colonial Revival	1935	Nelson, John N. House	C	-	Fielding, H.		
635	S OAK	Colonial Revival	1935	Clarke, Kenton H. House	C	-	Field, Harford		
711	S OAK	Colonial Revival	1937	Foss, Mr. & Mrs. Frank House	C	-	Frazier & Raftery		
716	S OAK	Classical Revival	1928	Morgan, Clarence House	C	-	Meyer & Cook		
717	S OAK	Neo-Traditional	1988		NC	NC	Olsen, Steven	Dressler, Phil	Detached garage
727	S OAK	Neo-Traditional	2002		NC	-			
728	S OAK	French Eclectic	1927	Morency, Francis E. House	C	NC	Morency, F. E. (owner)		Detached garage
735	S OAK	Neo-Colonial	1962	Hartong, John G. House	NC	-	Fossier, A. E. & Co.	Fossier, A. E. & Co.	
740	S OAK	Neo-Traditional	1994		NC	-	Olsen, Steven	Dressler, Phil	
744	S OAK	Neo-Traditional	1994		NC	-	Olson, Steven	Dressler, Phil	
745	S OAK	French Eclectic	1939	Conway, Mr. & Mrs. J. V. House	C	NC	Adelman, Gerald D.		Detached garage
2	ORCHARD	Neo-Traditional	1998		NC	-	Reinke & Associates	Beacon Home Builders, Inc.	
3	ORCHARD	Dutch Colonial Revival	1922	Linden, Charles House	C	C	Carlson, E. Conrad	Carlson, E. Carlson	detached garage
10	ORCHARD	Vacant			NC	-			
14	ORCHARD	Queen Anne	1890	Payne, Alfred Residence	C	C			detached garage
15	ORCHARD	Neo-Traditional	1998	Coffey, Michael & Diane House	NC	-	Shaw, Jeffery A.	Orchard Homes, Inc.	
17	ORCHARD	Craftsman	c. 1910		C	C			detached garage
21	ORCHARD	Colonial Revival	c. 1875		C	-			
22	ORCHARD	Queen Anne - Free Classic	c. 1895		C	NC			detached garage



**Attachment 6: Aerial Map of 14 Orchard Place (facing north)**





**Attachment 7: Street View of 14 Orchard Place (facing west)**





## Attachment 8 – History Summary of 14 Orchard Place by Matt Stockmal, HPC Intern

- House Info
  - Built: 1890
  - Original Owner: Alfred E. Payne (until death three years later)
  - “The original floors and leaded glass windows on the stairway have been beautifully maintained. The house is the typical 1890s style with the unusual shingling clapboard on the face woven into a design. The living room is spanned by an original bentwood oak arch made by heating the oak and bending it to curve into place. The basement still holds the original cast iron stove from the kitchen.” (Aug. 1986)
- Alfred Payne
  - Art
    - According to an interview with his granddaughter, Already Payne taught at the Art Institute of Chicago and specialized in portraiture and landscape.
    - “From the time of his earliest painting in Cincinnati in 1841 until the close of his life his pictures have exhibited among the best collections in Cincinnati, Boston, and other cities where he lives and have been honored at exhibitions at Omaha and Kansas City, Grand Rapids, St. Louis, Denver, and other cities. His portraits include many pictures of noted men, as bishops Onderdonk, Eastbourne, McGivaine, Chase, and McClaren, Dr. De Koven, and the Rev. Chauncey Giles” (Chicago Tribune Obituary)
    - The National Museum of American Art (Smithsonian) held 9 paintings by him
  - Fresh Air
    - In 1888, 1889, 1890, and 1891 Alfred Payne gave his home on the southeast corner of Lincoln Street and Ogden to begin the Fresh Air Home
    - “This proposal was modified somewhat by Helen Coffeen, who suggested instead that they take an empty house and fix it up to provide a country week for working girls, as well as children. Alfred Payne, who was living in the old Marvin Fox home at the southeast corner of Lincoln Street and Ogden Avenue, offered his residence rent-free to try out the idea. That first summer 100 individuals were entertained at the Home, ten at a time.” (pg 190, Bakken)
  - Birth / Death
    - Born in Bristol, England on July 10, 1823 and came to America around 1825.
    - Died Tues, March 14, 1893 after injuries suffered from a hit by a Hansom cab. His work on his last portrait (of Judge Adams of Iowa) also aggravated his injuries.
  - Misc.
    - In 1887 was responsible for dividing Orchard St. into 45 plots labeled as “Payne’s Sub”
- Emma Payne Erskine
  - Alfred’s daughter
  - Died March 5, 1924
  - Listed in “Who Was Who in America” as an author and painter.
  - One of her most popular books, *Eye of Dread* features an artist as the main character, possibly inspired by Alfred
  - Second marriage to Cecil Corwin a long time friend of Frank Lloyd Wright.
- Virginia Trask
  - Lived here from 1946-1961
  - Poetry writer for The Doings



# Hinsdale's 'charm' celebrates 80<sup>th</sup>

## Hinsdale, IL

By Alexa Jenner, [ajenner@mysuburbanlife.com](mailto:ajenner@mysuburbanlife.com) Hinsdale Suburban Life



The Memorial Building was built in 1928 to honor those who served their country. The Village will celebrate the building's 80th birthday on Thursday.

The village will celebrate the building Thursday, before the holiday weekend kickoff.

The idea of a new village hall began to circulate in 1912, but it wasn't until a decade later that the desire for a Memorial Building came to fruition.

"Hardly had the World War terminated than there developed among a few of the citizens of Hinsdale, the idea of a War Memorial," Philip R. Clarke wrote in his memoir, "The Hinsdale War Memorial."

Clarke proposed constructing a memorial to honor Hinsdale residents who died in the recent war and previous conflicts by pooling together the town's resources. By spring of 1927, \$170,000 was collected from residents, with only two homes in the village not contributing to the fund.

The building's hilltop location had been identified in a master plan by architect George Maher as Hinsdale's "natural front yard," and with the help of the community, it was destined to become the heart of Hinsdale. The Memorial Building was presented by Clarke at an opening ceremony July 4, 1928.

"I love the fact that it was such an incredible community effort," said resident Carol Smith, Clarke's granddaughter. "And that the community was so united

### **80th anniversary celebration**

***WHEN*** 3 to 8:30 p.m.

Thursday July 3;

Rededication ceremony at  
6 p.m.

***WHERE*** Memorial  
Building, 19 E. Chicago  
Ave.

***WHAT*** From an open  
house throughout the  
building to bands, dances  
and a rededication,  
Hinsdale's Memorial  
Building celebrates its 80th  
Anniversary

***HONORED SPEAKER***

Lt. Governor Pat Quinn

***HONORED GUESTS***

U.S. Rep. Judy Biggert, R-  
13th District, of Hinsdale;



82 years ago to build this incredible structure to honor those that fought in wars previously and going forward.”

Today, the building continues to honor veterans while housing village offices, the library and rooms for veterans and community service organizations.

state Sen. Kirk Dillard, R-24th District, of Hinsdale; state Rep. Patricia Bellock, R-47th District, of Hinsdale; and past Village Presidents William Moore, W. B.

But the Beautification Task Force, formed in the fall of 2007, worries about its future, and feels there should be a master plan in place to protect and preserve its foundation.

“We’re so lucky to have this building,” said task force member Nancy McKeague. “It’s really the crown jewel of this village.”

One of the concerns involves the huge air conditioning units that sit next to the main entrance. Not only does the task force find it unsightly, but the noise it creates makes it difficult to maintain conversation when sitting on the front patio. One suggestion is to build a brick wall around the units, but Smith and the task force don’t want the architectural beauty of the building to be destroyed.

Task force members also are concerned about the Central Business District/Northtown Task Force’s plan to connect the building to Burlington Park by running a terraced sidewalk down the front lawn.

Task force member Penny Bohnen said they are continuing to stress the need for a long-term plan to protect the integrity of the building instead of small bandages along the way which could destroy it. The task force also recommends emphasizing the history of the building in hopes of enamor residents again.

“Once the story is told and out there and people realize how this was such a unifying process during such hard times our hope is that the care and attention displayed 80 years ago will resurface,” said task force member Candy Cleveland

#### **History at a glance**

**1912** The idea of a new village hall began circulating through Hinsdale

**1926** The American Legion and the Women’s Auxiliary formed a committee to look into the idea of a War Memorial, asking local investment banker Philip R. Clarke to help

**JAN. 1927** Clarke forms the Hinsdale Memorial Association

**MAY 1927** As part of the “We Must Not Fail” campaign, 190 people went door-to-door in the first week of May, collecting \$170,000 from 2000 individual contributors for the Memorial Building

**JULY 1927** Edwin H. Clark wins architect contest, is selected for Memorial Building

**AUG. 1927** Bids go out for construction; Excavation begins in late summer

**NOV. 1927** Cornerstone for the new building laid on Armistice Day, Nov. 11, 1927

**JULY 4, 1928** A large crowd gathers for the opening ceremony as Chairman Clarke presents the completed building to the Village of Hinsdale

**NOV. 11, 1928** “Victory” a 7-foot tall statue by sculptor Oskar J. W. Hansen was dedicated as art of the Memorial Building

**NOV. 11-17, 1928** The gold crest on

the hilt of Victory’s sword is stolen

**1929** Memorial Building completed

**1969** East wing of the Hinsdale Public Library constructed

**1974** The library constructs a west wing

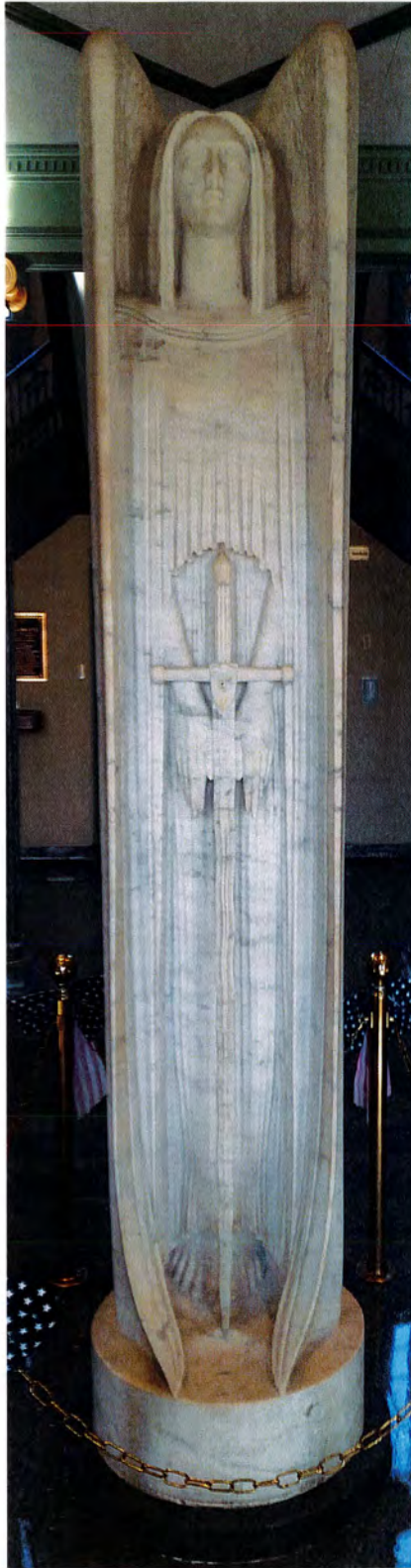
**1988** A \$3.9 million addition on the west side of the Memorial Building is added and the library and village swap office spaces

**FEB. 6, 2001** The Village Board designates the Memorial Building as a Historic Landmark

**2007-08** Hinsdale Library carries out \$2.8 million remodeling project, adding a new entrance and renovating its interior spaces

**APRIL 2008** The Beautification Task Force meets with the EPS Committee to present its work on the Memorial Building Landscape Master Plan



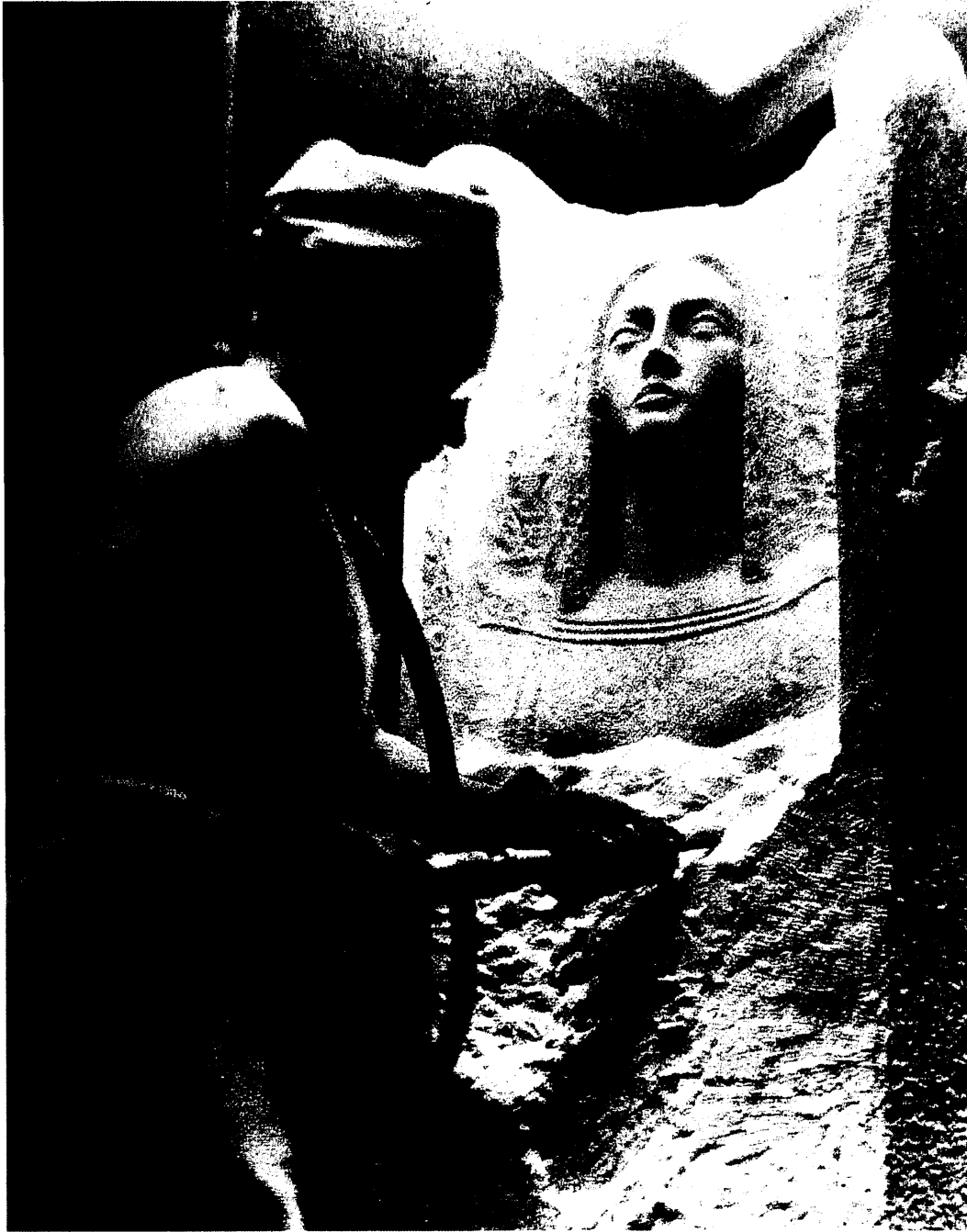


Hinsdale, n0621

**THE VICTORY OF HINS-  
DALE: A HUGE MONOLITH  
MARBLE**

Brought From Carrara, Italy,  
and Cut From a Model by  
Oskar, J. W. Hansen, Which Is  
the Central Figure of a War  
Memorial Dedicated at Hins-  
dale, Ill., on the Tenth Anni-  
versary of the Armistice.  
(Times Wide World Photos.)

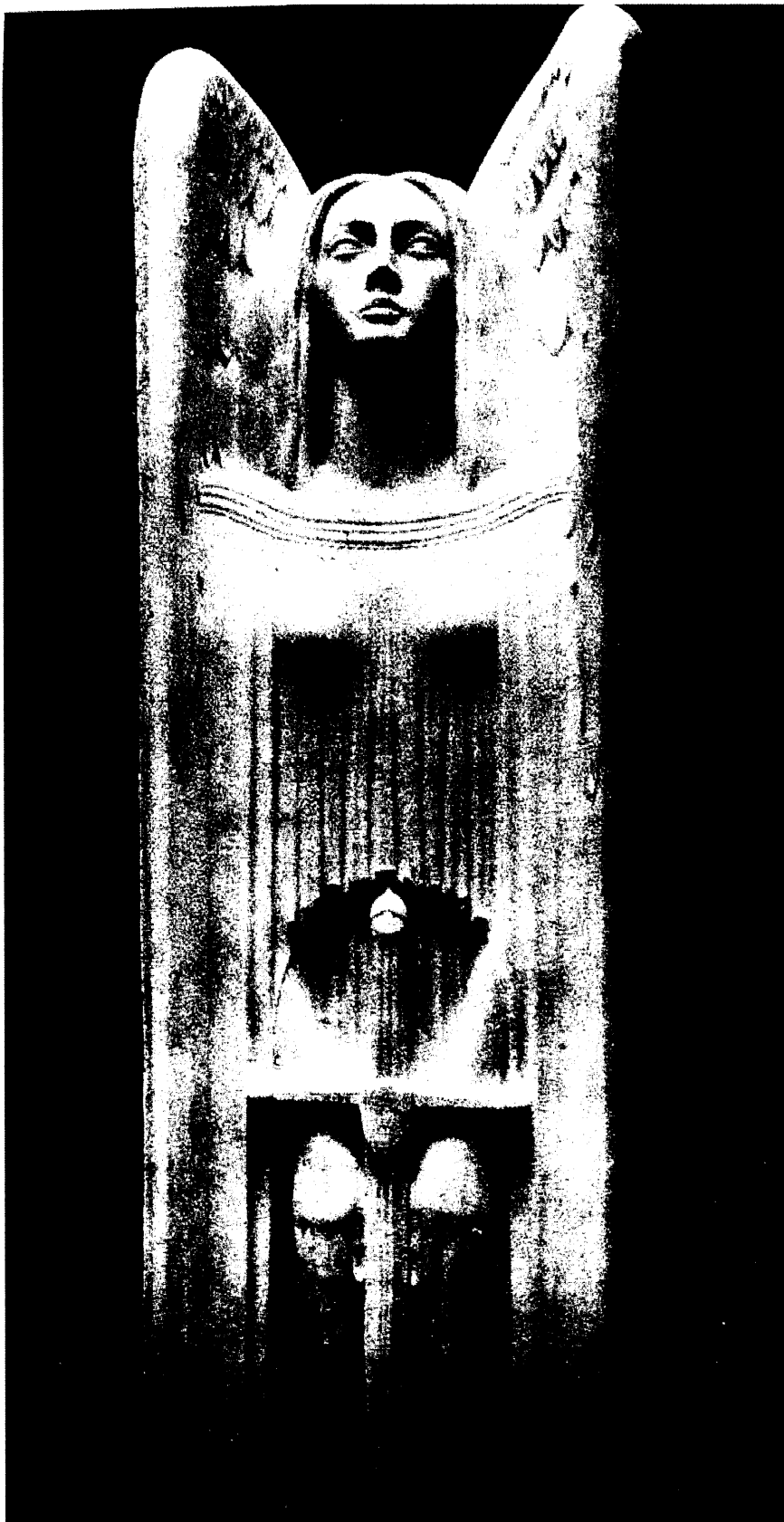




HINSDALE, ILLINOIS, WAR MEMORIAL

"A first blow has been struck; a contact has been made."





VICTORY OF HINSDALE

Figure in Marble  
in the War Memorial,  
Hinsdale



## Hansen, Sculptor, Has Rare Style



Col. Oskar J. W. Hansen

Critics say that Oskar J. W. Hansen, sculptor and creator of the granite statue portrayed on the front cover of this issue of MOTOR NEWS, took the fourth dimension by fierce assault.

They are moved to that statement by the manner in which Mr. Hansen works. He cuts into the stone directly, without first making preliminary models. He hews off the surplus stone in much the same manner as ordinary mortals peel an orange. This method has not been followed with any great degree of success since the day of Michel Agnolo Buonarotti (Michel

## Hansen, Sculptor, Has Rare Style

(Continued from page 4)

Angelo), say those versed in the art.

No one who has viewed a statue of Hansen's can fail to marvel at the subtlety of mental calculation necessary to halt the chisel at the exact spot. The sculptor himself, however, expresses his formula in simple language.

"I just carve off the stone I do not need," he once remarked to an inquisitor.

There have been in Hansen's life

certain conditions which may account for his achievements in the field of art. Born among the rugged, towering mountains of Norway, his soul became nurtured with the majesty of rock. His great physical capacity for work is typical of the Norse stock from which he sprung.

The sculptor's studio is located at 10 West Elm street, Chicago. He is president of the Allied Arts Association and a director of the Illinois Academy of Fine Arts. The statue portrayed on the front cover is located in Hinsdale.



70.2

# THE VICTORY OF HINSDALE

By the Sculptor

Oskar J.W. Hansen

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HINSDALE PUBLIC LIBRARY  
HINSDALE, ILL.

May 17 '37

Jan 23 '39

Man has always sought to express and preserve the magnitude of his exploits in symbols. The written words are symbols arranged so as to preserve in objectified form the thought of man and to record his variant states, both mental and physical. All other arts are similar as to their symbolic significance. They take their place among the category of human endeavor simply as the interpreter of life to itself. They serve as an outer object typifying the inner process. They form the connecting link between the spiritual and the material world. They are the shadows cast by the realities of the soul.

The war was but an outward expression of the inner conflict of a struggling humanity. It was a sudden conflict by which the constructive and spiritual forces of the world advanced upon the path of their destiny. Truth is not always a builder; it must sometimes be the destroyer. It must rectify, it must purify, it must always preserve for itself the bedrock of its own eternal premises. Only in this way may the structure of humanity reach upward; a noble structure representing the truly abiding nature of man. Out of these conflicts heroes are born. We call them heroes because they represent to us a symbol of what we all wish to be. Upon the eternal battlefield of Truth they form the vanguard. With them new epochs are formed upon the path of progress. They solidify and give body to those thoughts which decide the destinies of nations.

It is then inevitable that any thinking community should



wish to perpetuate the memory of such men as an inspiration to posterity. From time immemorial the symbol best suited to such a purpose has been sculpture. From all the distant places on the earth, from the Babylonian colossae carved on the sheer walls of the naked desert rocks, from the Palladian Athena and the flying Victory of Samothrace, from the conquering Augustii elevated from the emperors seat to the allegorical position of Gods, from Saint Louis in his tomb with the superscription of the battlements of Acre, from the great mailed knights of the Gothic cathedrals, and Liberty holding aloft her torch at the gateways of a new world; from all of these symbols in sculpture we read the story of man's aspirations. This then the reason why the form of Hinsdale's sacred symbol to its war dead should be in sculpture, and the temper and nature of the subject to be commemorated appropriately dictated that it should be named a VICTORY.

With the thought of the great heroic traditions of our race there came the visualization of what this Victory should look like. There came the thought of not only the momentary and present conquest which the giving of these lives in war might typify. There came the vision of the great caravan of heroes marching down the unending pathway of the years and into which august company also our generation has been so gloriously represented through those who gave their lives for our sake. There came the picture of the pillars of the temple torn down, and out of the ruin the spiritual Victory arising, always present in calm majesty celebrating the eternal conquest of the spirit, maintaining itself above the sordid fallacy of man. Hence the solid outline, the figure mounting upward, the wish to represent the ultimate reserve and chastity.



There are three elements or ideas represented in this VICTORY. They are coexistent in the whole composition or idea and carried out consistently in every gesture and detail of the symbolism. To me they are of the essence of the idea of VICTORY and they may be expressed in words as Justice, Mercy, and Beauty.

I had in mind Justice when I cut into this stone. In the sight of the Divine Consciousness, humanity exists as a whole. To Him there is no adversary nor friends. To Him both our animosities and our so-called justice must seem but weak and faulty things. Only one thing remains to us intact; our humanity. These boys fought in war and took life. They were animated by the emotion of love for country and kindred but they did not slay their souls for this sake. There was in America's effort in the war a consciousness of it as a sort of surgical operation upon the livid tissues of the social body. There was no hate for any part of humanity as such. There was only a burning desire to make possible a healthy issue into a new Liberty. So the VICTORY guards the sword of Justice. It rather guards than clasps this sword; for Justice watches with dispassionate calm. It is always ready but never strikes except when necessary. Its sword is like a living oame, three-edged; representing the full power of The Trinity.

Then I had in mind Mercy. There came to me the picture of a lad who crawled out into no-mans-land and brought in a German lad, wounded, from the wire. The German was mortally wounded and when he opened his eyes and saw the American uniforms he cried and moaned: "Will you kill me now? Will you kill me now?" and Then the lad who had brought him in put his arms under his head and reassured him:



"You are in an American trench now. For you the war is over."

Wherever there is true strength there is also mercy. So I pictured VICTORY with the wings folded, embracing both friends and foe.

Besides this, I had a wish to create beauty. There is Justice needed for the governance of the world, but beauty is needed for its very existence. There is a golden thread of beauty running through every gesture of that great conflict. The beauty of mounting above the sordid consideration of self into the conscious effort for a better humanity.

The guard of the sword is in the shape of a cross. That is a symbol carried down to us from the Crusades. To me the Great War was the greatest crusade of all times. The hilt is fashioned reeded, symbolic of the rods by which the heads of ancient states made known their power to chastise. It is surmounted by the helmet of a Greek Hoplite, (infantry man) reminiscent of the great Phalanx which defeated the Persians at Marathon.

Upon the guard and the central shield there is the coat of arms of the United States of America. Associated with this is the very birth of our freedom and all the heroic incidents belonging thereto. In this all of us have a definite part. The dead for us; and we to realize for them humanity's great dream. So I have graven upon the guard the motto of our country, symbolic of the very essence of democracy: "E Pluribus Unum." Out of Many One.



*Series  
Copy*

Record Book 10 - Page 242  
Board of Trustees Minutes  
June 26, 1928

RESOLUTION

BE IT RESOLVED, By the Board of Trustees of the Village of Hinsdale:

WHEREAS, there has been presented to this board a copy of a resolution signed by the Hinsdale Memorial Building Committee, Philip R. Clarke, General Chairman, requesting this board to accept the Hinsdale Memorial Building, which has been built upon village property by and with the consent of the Village of Hinsdale, upon the terms and conditions set forth in such resolution, said resolution being in words and figures as follows:

"Whereas over 2000 people of the Village of Hinsdale have subscribed in excess of \$171,943.00 for the purpose of erecting a Memorial Building to be used for the purpose of housing a Memorial Statue and of providing a soldiers' and sailors' room to be occupied by the American Legion and the American Legion Auxiliary and such ex-service organizations as they may designate, and for furnishing quarters for the Boy Scouts of America, Girl Scouts of America, Hinsdale Nursing and Relief Association, the Hinsdale Public Library and Village offices, and to provide a room to be used for civic activities; and

WHEREAS although legal title to the building is now in the Village of Hinsdale, owing to the fact that it stands on village property, the Committee feels that due to the fact that the building was erected by subscriptions made by the citizens of Hinsdale whom it represents, that there is an obligation on the part of the village and its representatives in accepting said building to comply with the desires of said subscribers as to the uses to which the building shall be put; and

WHEREAS it is the desire of such subscribers and the Hinsdale Memorial Building Committee, the organization made up of such subscribers, that the American Legion, American Legion Auxiliary, Boy Scouts of America, Hinsdale Nursing and Relief Association, and the Hinsdale Public Library shall have available for their exclusive use, and without rental (except in the case of the Hinsdale Public Library) quarters in said building until such time as they desire to vacate; and

WHEREAS definite space has been allotted in said building to said Organizations by the Committee on behalf of the subscribers and with the approval of the Village Board of Hinsdale, as shown by said plan attached hereto and made a part hereof;



THEREFORE, BE IT RESOLVED, That the Hinsdale Memorial Building Committee presents and transfers to the Village of Hinsdale the Memorial Building erected on the block north of Chicago Avenue and between Garfield and Washington streets, in the Village of Hinsdale, on the condition that the space allotted to the American Legion, American Legion Auxiliary, Boy Scouts of America, Girl Scouts of America, Village Nursing and Relief Association and the Hinsdale Public Library (as shown by the plan attached hereto) shall be for the exclusive occupancy and use of such organizations until such time as any of same shall vacate, or through its duly accredited officers, shall notify the Village Board of its desire to vacate said quarters; also that the purpose for which each of said rooms shall be used to be determined by the organization to which said rooms are allotted so long as such use shall not be inconsonant with the general purposes for which such organization exists.

AND BE IT FURTHER RESOLVED, That said organizations shall occupy the said space so allotted to them without rental, except that the Hinsdale Public Library Association shall pay to the Village of Hinsdale a reasonable rental for the space occupied by it.

AND BE IT FURTHER RESOLVED, That the room set aside for civic activities (as shown by said plan) be reserved and used exclusively for that purpose and with rental, the Village Board to have the control and direction of both rental and use of said room by local organizations.

AND BE IT FURTHER RESOLVED, That while these conditions as stated above, represent the terms on which the subscribers have furnished the funds with which to construct this building, the Committee does not believe it to be necessarily the desire of said subscribers to so fix the conditions of this gift to the Village of Hinsdale in perpetuity in the event that same might in the distant future react to the detriment of the bent interests of the village. Therefore, if there should ever develop an urgent reason for some change in these conditions which should be supported by a preponderance of sentiment of the then resident citizens of Hinsdale, the Committee recognizes the desirability of the then existing Village Board or municipal authority having sufficient latitude to amend any particular condition if it is clearly understood that the best interests of the Community are thus served, but not otherwise.

AND BE IT FURTHER RESOLVED, That it is the wish of said Committee that the Board of Trustees of the Village of Hinsdale shall accept said Memorial Building in behalf of the Village of Hinsdale on the conditions herein set forth and that they shall express their acceptance thereof by a resolution duly adopted by



said Board approving and accepting the conditions set forth in this resolution, and that such a resolution of acceptance and approval by said Village Board shall constitute an agreement between said Village and said Memorial Building Committee."

NOW, THEREFORE, BE IT RESOLVED, By the President and Board of Trustees of the Village of Hinsdale that said Building be and is hereby accepted upon the terms and conditions set forth in said resolution.

AND BE IT FURTHER RESOLVED, That this resolution be spread upon the record of this Board and that a copy thereof, duly attested by the Village Clerk, be mailed to said Hinsdale Memorial Building Committee.

Moved by trustee Thomas, seconded by trustee Van Inwagen, that said resolution be adopted.

On roll call the following vote was recorded;

Trustee Van Inwagen	Aye
Trustee Dawson	Aye
Trustee Thomas	Aye
Trustee Buchholz	Aye
Trustee Ruchty	Aye

Adjourned to July 3, 1928, at 7:45 o'clock P.M.

Attest: Geo. H. Williams (signed) Village Clerk.