#### **MEETING AGENDA**



# MEETING OF THE HISTORIC PRESERVATION COMMISSION Wednesday, November 7, 2018 6:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PUBLIC COMMENT
- **4. MINUTES** Review and approval of the minutes from the October 3, 2018, meeting.
- 5. SIGNAGE IN THE HISTORIC DOWNTOWN DISTRICT
  - a) Case A-44-2018 30 E. Hinsdale Ave. Yankee Peddler Awning Sign
  - b) Case A-46-2018 16 E. First Street Mucci Di Firenze Wall Sign
  - c) Case A-48-2018 45 S. Washington Street Lepa Boutique & Décor Wall Sign

#### 6. PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

a) Case HPC-07-2018 (Continued from 10.03.18 HPC meeting) – 736 S. Park Street - Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District.

#### 7. DISCUSSION

a) Memorial Hall 90<sup>th</sup> Anniversary Celebration

#### 8. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or by TDD at 789-7022 promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

# MINUTES VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

October 3, 2018 Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale 6:30 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on October 3, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Gonzalez,

Commissioner Weinberger, Commissioner D'Arco, and Commissioner Williams (Commissioner Haarlow attended later, did not vote on

minutes or public hearing item)

Absent:

Also Present: Chan Yu, Village Planner

Applicant for case: HPC-07-2018

#### **Minutes**

Chairman Bohnen introduced the minutes from the September 5, 2018, meeting and asked for any comments.

With no comments, the HPC unanimously approved, 6-0 (1 absent) the minutes from the September 5, 2018, meeting.

#### **Public Hearing**

Case HPC-07-2018 – 736 S. Park St. - Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-07-2018

The applicant, represented by Patrick Fortelka (architect, Moment Design) presented the proposed plans of the new home, and described the existing home of 736 S. Park Street. He reviewed that the existing Tudor styled home has fallen into a state of disrepair, and in his opinion, doesn't have a case to be saved. The new home would be approximately 5,500 SF with an European inspired exterior, featuring stucco cladding, cut limestone detail, slate roof, and copper accents.

Chairman Bohnen asked for comments by the HPC.

Commissioner Prisby asked what was wrong with the existing house.

The applicant responded it is beyond repair, been flooded a few times, and simply falling apart.

Chairman Bohnen expressed that he agreed with the poor condition of the existing home.

Commissioner Prisby asked if there is any historic significance to the house.

Commissioner Williams responded none that she is aware of.

Commissioner D'Arco asked if the use of stucco is demand driven, or a cost effective way of building.

Chairman Bohnen stated that he was not aware of any concerns with real stucco.

Commissioner Gonzalez asked if the proposed material is efis.

The applicant responded it is real concrete based stucco. He mentioned that they are seeing more demand for this and less stone, perhaps for a lighter color context.

Chairman Bohnen added it is a natural material, a great insulating material and supports it.

Commissioner Prisby said that he's seen more of it come through the office too.

Chairman Bohnen asked about the floor to ceiling windows, and the origins of that design.

The applicant responded most architects were taught to lean towards modern, and acknowledged not relevant to the western suburb market place. To that end, when given the opportunity, architects will try to inject some modern characteristics to traditional homes. He stated the windows capture the exterior landscape and light into the interiors of the rooms.

Chairman Bohnen expressed that he is not at ease with this look in the historic district. In general, it is concerning that the neighborhood is being developed with trends, such as a farmhouse design, without continuity.

Commissioner Prisby asked if the HPC feels this is a modern style.

Chairman Bohnen replied yes.

Commissioner D'Arco replied it is on the modern side.

The applicant stated the architectural form is very traditional, and there's a corner window on it that has a modern lean to it.

Commissioner Williams referenced the list of criteria that the HPC must review for a Certificate of Appropriateness, and that new construction in the district should be

compatible with the architectural styles, design standards, streetscapes, within such historic districts. Although it is an attractive home, she felt this is clearly not compatible with the neighborhood.

The applicant stated in studying the streetscape, it is along the lines of a Georgian, Tudor or French Provincial, which he's seen several in the neighborhood that are not great. He explained that his client asked him to reference the 2 homes on the corner of 8<sup>th</sup> and Elm Street.

Additional discussion of the features of the home and the comparison of it being modern versus traditional ensued.

The HPC unanimously approved the Certificate of Appropriateness to demolish the existing house, **6-0** (1 absent).

The HPC approved the proposed architecture, with the condition that the applicant return to the next meeting, with materials and material colors the HPC can review, 4-2 (1 absent).

#### <u>Discussion - Memorial Hall 90th Anniversary Celebration</u>

Tom Lynch, of American Legion Post 250 discussed the refreshments, and is seeking for funding for beverages and snacks.

Chairman Bohnen asked if he had an estimate of the cost.

Mr. Lynch estimated around \$200.

Chainman Bohnen asked Chan about how the Village would feel about funding the light refreshments for the celebration.

Chan asked Mr. Lynch for a rough estimate of the number of people attending.

Mr. Lynch responded he doesn't know.

Commissioner Haarlow asked how many people will be there from the Legion.

Mr. Lynch estimated 25 people for the dedication, and 30-35 thereafter for the veteran's dinner.

Commissioner Haarlow added that it would be great to shop local for the event refreshments.

The HPC unanimously agreed to help grant the Legion \$200 towards refreshments for the event.

### $\underline{Adjournment}$

The HPC unanimously agreed to adjourn at  $7:39~\mathrm{PM}$  on October 3, 2018.

Respectfully Submitted,

Chan Yu, Village Planner

1

STATE OF ILLINOIS )
) ss:
COUNTY OF DU PAGE )

BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

IN THE MATTER OF:

CASE NO. HPC-07-2018

736 South Park Street

REPORT OF PROCEEDINGS had and testimony taken at the Public Hearing of the Certificate of Appropriateness in the above-entitled matter before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale, Illinois, on the 3rd day of October, 2018, at the hour of 6:33 p.m.

#### BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. JANICE D'ARCO, Member;

MR. FRANK GONZALEZ, Member;

MS. SANDRA WILLIAMS, Member;

MS. SHANNON WEINBERGER, Member;

MR. JAMES PRISBY, Member;

MR. BILL HAARLOW, Member.

	2		4
1	ALSO PRESENT:	1	limestone details, slate roof, and copper
2	MR. CHAN YU, Village Planner;	2	accents.
3	MR. PATRICK FORTELKA and	3	CHAIRMAN BOHNEN: Okay. Has everybody
4	MS. RAYNETTE BRADFORD, Moment Design;	4	had a chance to take a look at these plans?
5	MR. DAVE HELLYER, J. Jordan Homes.	5	Who would like to start with their
6	* * *	6	comments?
7	CHAIRMAN BOHNEN: Our first item on our	7	MR. PRISBY: Patrick, what's wrong with
8	agenda tonight is the Case HPC-07-2018, the	8	the existing house? I didn't get a chance, too
9	request for a Certificate of Appropriateness to	9	busy this week. It's not in good shape?
06:33:15PM 10	demolish and construct a new home at 736 South	06:35:37PM 10	CHAIRMAN BOHNEN: It's not in good
11	Park Street.	11	shape.
12	This is a public hearing. And so	12	MR. FORTELKA: It's trashed. It is.
13	anybody that intends to speak at the hearing, I	13	MR. PRISBY: Tell me what you really
14	would ask that you now stand and be sworn in;	14	think.
15	and we will get things going	15	MR. FORTELKA: Yes. It's been flooded
16	(Mr. Patrick Fortelka sworn.)	16	a few times as well, in the lower level. And
17	CHAIRMAN BOHNEN: Okay. Would you	17	it's just fallen on hard times. And yeah, it's
18	please state your name and your position on	18	kind of fallen apart.
19	this.	19	CHAIRMAN BOHNEN: I think if you had
06:33:48PM <b>20</b>	MR. FORTELKA: Yes. My name is Patrick	06:35:53PM <b>20</b>	looked at that, you wouldn't have a problem,
21	Fortelka. I'm with Moment Design. I'm the	21	frankly, with demolishing.
22	architect that designed the house or the plans	22	MR. PRISBY: Is there any historic
	3		5
1	for 736 South Park for John Poalella, who is the	4	at a recognition to the bar and the last and the last and
		1	significance to the house? I know with the age
2	client. The builder is J. Jordan. Dave Hellyer	2	is
3	·	_	
	client. The builder is J. Jordan. Dave Hellyer	2	is
3	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.	3	is MS. WILLIAMS: None that I'm aware of.
3 4	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well. Unfortunately, the homeowners weren't able to	2 3 4	is MS. WILLIAMS: None that I'm aware of. MR. PRISBY: No. Okay.
3 4 5	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well. Unfortunately, the homeowners weren't able to attend.	2 3 4 5	is MS. WILLIAMS: None that I'm aware of. MR. PRISBY: No. Okay. CHAIRMAN BOHNEN: I don't think the
3 4 5 6	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you	2 3 4 5 6	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the  demolition is the issue. If there is an issue,
3 4 5 6 7	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now	2 3 4 5 6 7	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going
3 4 5 6 7 8	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I	2 3 4 5 6 7 8	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.
3 4 5 6 7 8 9	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?	2 3 4 5 6 7 8 9	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for
3 4 5 6 7 8 9	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new	2 3 4 5 6 7 8 9	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that;
3 4 5 6 7 8 9 063428PM 10	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.	2 3 4 5 6 7 8 9 08:38:14PM 10	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.
3 4 5 6 7 8 9 06:34:26PM 10 11	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them	2 3 4 5 6 7 8 9 06:36:14PM 10 11	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the
3 4 5 6 7 8 9 06:34:28PM 10 11 12 13	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as	2 3 4 5 6 7 8 9 06:36:14PM 10 11 12 13	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.
3 4 5 6 7 8 9 06:34:25PM 10 11 12 13	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an	2 3 4 5 6 7 8 9 08:36:14PM 10 11 12 13	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north
3 4 5 6 7 8 9 06:34:28PM 10 11 12 13 14 15	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an existing I would call it a tudor-style	2 3 4 5 6 7 8 9 06:36:14PM 10 11 12 13 14 15	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north is coming down, too, though. There is two to
3 4 5 6 7 8 9 063428PM 10 11 12 13 14 15 16	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an existing I would call it a tudor-style residence on the property that's fallen in	2 3 4 5 6 7 8 9 08:36:14PM 10 11 12 13 14 15 16	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north is coming down, too, though. There is two to the north. They are both coming down.
3 4 5 6 7 8 9 06:34:28PM 10 11 12 13 14 15 16 17	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an existing I would call it a tudor-style residence on the property that's fallen in disrepair, definitely I don't think it has any	2 3 4 5 6 7 8 9 06:36:14PM 10 11 12 13 14 15 16 17	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north is coming down, too, though. There is two to the north. They are both coming down.  MS. WEINBERGER: Okay. That's coming
3 4 5 6 7 8 9 063426PM 10 11 12 13 14 15 16 17 18	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an existing I would call it a tudor-style residence on the property that's fallen in disrepair, definitely I don't think it has any kind of case for being saved. That home will	2 3 4 5 6 7 8 9 08:36:14PM 10 11 12 13 14 15 16 17 18	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north is coming down, too, though. There is two to the north. They are both coming down.  MS. WEINBERGER: Okay. That's coming before us?
3 4 5 6 7 8 9 06:34:28PM 10 11 12 13 14 15 16 17 18 19	client. The builder is J. Jordan. Dave Hellyer is with us today from J. Jordan as well.  Unfortunately, the homeowners weren't able to attend.  CHAIRMAN BOHNEN: Okay. And would you like to present us with your We are just now going to be talking about the demolition first I guess?  MR. YU: It's for a demo and new construction.  CHAIRMAN BOHNEN: And combine them as  MR. FORTELKA: Yes. There is an existing I would call it a tudor-style residence on the property that's fallen in disrepair, definitely I don't think it has any kind of case for being saved. That home will be, hopefully, demolished. And we will be	2 3 4 5 6 7 8 9 06:36:14PM 10 11 12 13 14 15 16 17 18 19	is  MS. WILLIAMS: None that I'm aware of.  MR. PRISBY: No. Okay.  CHAIRMAN BOHNEN: I don't think the demolition is the issue. If there is an issue, the discussion will center around what's going to be built there.  MR. PRISBY: I will take your word for it. If it's in bad shape, I'm good with that; so demo I have no issue.  MS. WEINBERGER: It's definitely the only old house left in that area.  CHAIRMAN BOHNEN: The one to the north is coming down, too, though. There is two to the north. They are both coming down.  MS. WEINBERGER: Okay. That's coming before us?  CHAIRMAN BOHNEN: It hasn't come before

	6		8
1	And I'm not sure about the one	1	which is a terrific system. There are houses
2	south of it. But the one south of it has been	2	that are 100 years old that have stucco on them.
3	bastardized over the years from a design	3	So if maintained and done properly, it will be a
4	standpoint. And so I haven't heard that that's	4	good system.
5	coming down. I don't know, just a rumor I had	5	We are seeing a little bit more,
6	heard. Neither one has come before us.	6	people requesting that, a little less stone, a
7	MS. WILLIAMS: Okay.	7	little brighter kind of a color context, I
8	CHAIRMAN BOHNEN: Basically everything	8	think, too.
9	but the three houses have been torn down on that	9	I have some concept photos that I
06:37:11PM 10	block.	06:39:06РМ 10	got off the Internet just to give you guys kind
11	MS. WEINBERGER: The one across the	11	of a basic feel of color and kind of the basic
12	street.	12	look of materials if you are interested.
13	CHAIRMAN BOHNEN: Well, the one across	13	CHAIRMAN BOHNEN: Stucco is a natural
14	the street, the Welden house, will be coming	14	material, right?
15	down.	15	MR. FORTELKA: It is.
16	MS. WEINBERGER: Okay.	16	CHAIRMAN BOHNEN: A great insulating
17	CHAIRMAN BOHNEN: So rebuilding	17	material?
18	Hinsdale.	18	MR. FORTELKA: Yes.
19	So your request, do you have any	19	CHAIRMAN BOHNEN: And I'm all for
06:37:41PM <b>20</b>	comments on the design in terms of streetscape	06:39:21PM <b>20</b>	stucco.
21	for this home being built?	21	MR. FORTELKA: Good.
22	MS. D'ARCO: I just have a question	22	CHAIRMAN BOHNEN: I'm not aware of
	7		9
1	about the use of stucco. You see that a lot in	1	any market being influenced by stucco.
2	some of the designs I have around town.	2	MR. FORTELKA: I have had clients be
3	And my only concern was that with that, being a	3	wary of it because they have heard the same
4	realtor and sometimes working with buyers,	4	thing.
5	stucco becomes an issue for them. And, you	5	CHAIRMAN BOHNEN: Well, then they don't
6	know, it's just because it has a stigma attached	6	know the difference between artificial
7	from it in years past. There are materials that	7	MR. PRISBY: Once they have been
8	we use.	8	educated, it's a terrific product.
9	Just seeing more and more of that	9	CHAIRMAN BOHNEN: It's a different
06:38:21PM <b>10</b>	going up around town, is that what you are	06:39:40PM <b>10</b>	product.
11	seeing your buyers want? Or is that just a more	11	MR. FORTELKA: It's essentially an inch
12	cost effective way of	12	of concrete on the outside of the house at the
13	CHAIRMAN BOHNEN: Are you talking about	13	end of the day.
14	real stucco? I'm not aware of any concern about	14	MR. PRISBY: Real stucco is very warm
15	real stucco.	15	looking and feeling.
16	MR. GONZALEZ: It's not EIFS.	16	MR. FORTELKA: Yes.
17	MR. FORTELKA: No, it's not. It's real	17	MR. PRISBY: And the EFIS stuff, like
18	concrete stucco. I was just going to explain	18	the old Dryvit stuff, can be very sterile and
19	this. There is some confusion in the	19	cold.
06:38:38PM <b>20</b>	marketplace over what's called EIFS or E-I-F-S,	06:39:56PM <b>20</b>	CHAIRMAN BOHNEN: Yes.
21	which is Styrofoam with a skim coat over it.	21	MR. PRISBY: Completely different.
22	This is real concrete-based stucco,  ets KATHLEEN W. BONG	22	CHAIRMAN BOHNEN: That part doesn't
3 of 20 she			224 7770

	10		12
1	bother me.	1	homes on the other. And when I see these
2	MR. PRISBY: We are also seeing a lot	2	windows, it strikes me as odd. And I'm seeing
3	of stucco come through the office, so I would	3	more and more of them. And I know how fast fads
4	concur with that.	4	come and go.
5	CHAIRMAN BOHNEN: The question I guess	5	At some point board and batten
6	I have, we've seen more and more of these	6	white houses with black window frames were
7	windows go all the way down to the bottom.	7	It sort of looks like Levitt town around here.
8	What's the origin of that design?	8	MR. FORTELKA: Yes.
9	MR. FORTELKA: You know, just in	9	CHAIRMAN BOHNEN: I guess that would be
06:40:19PM 10	design, kind of the way most architects are	06:42:13PM 10	my only comment. From a design standpoint, I'm
11	going to lean is modern is kind of the way we	11	not yet at ease with this look.
12	were schooled and kind of in our blood, not	12	MR. FORTELKA: With all the glass?
13	really relevant in the western suburbs	13	CHAIRMAN BOHNEN: Yes. From an
14	marketplace. So when we get the opportunity, we	14	exterior
15	try to interject a little bit of modern	15	MR. FORTELKA: Yes. And we kind of
16	characteristics to traditional homes.	16	condensed that just on that corner element to
17	But I think it's starting to relate	17	kind of mitigate it and didn't make a lot of
18	to clients, too. They see these things,	18	other fenestration moves on the front of the
19	especially on the interiors. It makes a big	19	house.
06:40:47PM <b>20</b>	difference in the room when you can actually	06:42:30PM <b>20</b>	As we turn the corner and go
21	capture landscape with the inside of the house	21	towards the back, we definitely took some more
22	and bring a lot more light into the body of the	22	risk with more glass on the back; but I was
	4.4		40
	11		13
1	house.	1	cognizant of that in designing the front. I
1 2		1 2	
	house.	_	cognizant of that in designing the front. I
2	house.  So it's kind of a multitiered thing	2 3	cognizant of that in designing the front. I didn't want to go overboard.
2	house.  So it's kind of a multitiered thing that it adds a little bit of modernity to the	2 3	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm
2 3 4	house.  So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a	3 4	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?
2 3 4 5	house.  So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.	2 3 4 5	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a
2 3 4 5 6	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with	2 3 4 5 6	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is
2 3 4 5 6 7 8 9	house.  So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.	2 3 4 5 6 7	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative,
2 3 4 5 6 7 8 9	house.  So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.	2 3 4 5 6 7 8 9	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it
2 3 4 5 6 7 8 9 084120PM 10	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern	2 3 4 5 6 7 8 9	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a
2 3 4 5 6 7 8 9 064120PM 10 11	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more	2 3 4 5 6 7 8 9 0642-56PM 10 11	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house
2 3 4 5 6 7 8 9 06:41:20PM 10 11 12 13	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house CHAIRMAN BOHNEN: For better or for
2 3 4 5 6 7 8 9 06:41:20PM 10 11 12 13 14	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for	2 3 4 5 6 7 8 9 0642:56PM 10 11 12 13	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?
2 3 4 5 6 7 8 9 05:41:20PM 10 11 12 13 14 15	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?
2 3 4 5 6 7 8 9 06:41:20PM 10 11 12 13 14 15 16	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15 16	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that? CHAIRMAN BOHNEN: For better or for
2 3 4 5 6 7 8 9 06-41-20PM 10 11 12 13 14 15 16 17	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't say there is a name to it. And I would say it's	2 3 4 5 6 7 8 9 08-42-SGPM 10 11 12 13 14 15 16 17	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?  CHAIRMAN BOHNEN: For better or for worse.
2 3 4 5 6 7 8 9 05.41:20PM 10 11 12 13 14 15 16 17 18	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't say there is a name to it. And I would say it's definitely a hybrid of the styles. I'm trying	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15 16 17 18	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?  CHAIRMAN BOHNEN: For better or for worse.  MR. FORTELKA: It's good for us.
2 3 4 5 6 7 8 9 06-41-20PM 10 11 12 13 14 15 16 17 18 19	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't say there is a name to it. And I would say it's definitely a hybrid of the styles. I'm trying to think like how, you know, Frank Lloyd	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15 16 17 18 19	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?  CHAIRMAN BOHNEN: For better or for worse.  MR. FORTELKA: It's good for us. CHAIRMAN BOHNEN: I understand.
2 3 4 5 6 7 8 9 05:41:20PM 10 11 12 13 14 15 16 17 18 19 06:41:41PM 20	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't say there is a name to it. And I would say it's definitely a hybrid of the styles. I'm trying to think like how, you know, Frank Lloyd Wright	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15 16 17 18 19 06-43-08PM 20	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?  CHAIRMAN BOHNEN: For better or for worse.  MR. FORTELKA: It's good for us. CHAIRMAN BOHNEN: I understand. MR. FORTELKA: We like kind of pushing
2 3 4 5 6 7 8 9 06:41:20PM 10 11 12 13 14 15 16 17 18 19	So it's kind of a multitiered thing that it adds a little bit of modernity to the exterior, as well as making the interior a little more pleasant and bright.  CHAIRMAN BOHNEN: I get the interior light factor. It just seems to me to bastardize a recognizable design form by coming up with these extended windows, sort of a hybrid.  MR. FORTELKA: It is, indeed, a hybrid.  CHAIRMAN BOHNEN: Between a modern glass house and a traditional house. I was more curious about where we might find the origin of this kind of thing, and do we have a name for this now.  MR. FORTELKA: Not really. I wouldn't say there is a name to it. And I would say it's definitely a hybrid of the styles. I'm trying to think like how, you know, Frank Lloyd	2 3 4 5 6 7 8 9 06-42-56PM 10 11 12 13 14 15 16 17 18 19	cognizant of that in designing the front. I didn't want to go overboard.  CHAIRMAN BOHNEN: I guess what I'm asking is is this something that's client-driven or architect-driven to the client. Do you get a client that requests this type of fenestration?  MR. FORTELKA: No. It's more architect-driven. And typically what happens is when we get the opportunity to be creative, clients go through our houses, they see it executed, and they want it. Or they drive by a house. We did a house  CHAIRMAN BOHNEN: For better or for worse?  MR. FORTELKA: What's that?  CHAIRMAN BOHNEN: For better or for worse.  MR. FORTELKA: It's good for us. CHAIRMAN BOHNEN: I understand.

16 14 1 with your design, getting away from traditional it nicely. Don't you know that we are driving 2 formula. 2 by, we can see you clearly through the glass? That's --3 MR. FORTELKA: Yes. 3 CHAIRMAN BOHNEN: In our Robbins 4 MR. PRISBY: I really don't get that 5 quadrant over there, as you probably know, like 5 mentality, right? I mean I love big glass, 6 the glass house that was built south of 8th 6 right? But like in this town, I have seen a 7 Street --7 couple houses -- And you probably drew them, 8 MR. FORTELKA: That's a rough one. 8 Patrick. CHAIRMAN BOHNEN: -- that could not be 9 9 MR. FORTELKA: I drew them. built in the Robbins Historic District, that MR. PRISBY: Where you see people out 06:43:29PM 10 06:45:03PM 10 11 would not be tolerated. in their back yard from out in the street. I MR. FORTELKA: That house is an 12 don't know, I'm just a little more private than imposition, I think, to the neighborhood, too. that. I don't get that aspect but, you know 13 13 14 It was done almost in spite of the neighborhood. 14 what, to each his own. MR. FORTELKA: It's definitely a Where with our design, we are trying to make 15 15 this house kind of slip in but still have a 16 passion of mine. And it's definitely something 16 little bit more fun with some of the 17 17 I feel driven to -- especially when the weather architectural designs. is like this when it's starting to turn into 18 18 19 CHAIRMAN BOHNEN: Well, I'm not against 19 winter, and you drive by somebody's house and 20 innovation. I don't want you to think I am. the lights that are all on, and that warmth that 06:45:24PM **20** 21 I'm trying to get used to this. you get from just experiencing somebody's house 21 MR. FORTELKA: Okay. 22 22 driving down the street, that's kind of what we 15 17 1 CHAIRMAN BOHNEN: So if somebody said are trying to capture there, that transparency. to me what style is this house, I would be at a And they make blinds so you can close them down 2 3 bit of a loss, frankly, to name it. And I 3 but -wondered whether all you architects, that are 4 4 MR. PRISBY: I got it. No, I got it. creatively drawing things while people sleep, if 5 MR. GONZALEZ: All right. It's a you have got a name for this kind of 6 nice house. fenestration. 7 CHAIRMAN BOHNEN: Okay. 7 MR. PRISBY: And again here, like the MR. FORTELKA: Not yet. We throw the 8 8 Historic District, I'm always most concerned on word around transitional when we don't want to 9 06:44:19PM 10 use the word modern. I think that you would 06:45:53PM 10 these newer houses having solid material. So if 11 call this, you know, French Norman transitional we are dealing with brick, stucco, and limestone, and some of the other things that are 12 or something. 13 MS. WILLIAMS: Wow. 13 going on in this house, to me then it fits in 14 CHAIRMAN BOHNEN: You might. more with that District. 14 15 MR. FORTELKA: And I think we kind of 15 And at some point in time, I'm 16 have a tendency of trying to name something to 16 thinking 100 years from now, people will look 17 get comfortable with it, so maybe the name will back and say this is a historic home. It wasn't 17 18 come over time. 18 something pulled out of a book. Right? A name 19 CHAIRMAN BOHNEN: Yes. will come at some point. 06:44:38PM **20** MR. GONZALEZ: I just wondered because 06:46:19PM **20** CHAIRMAN BOHNEN: How do you feel about I have seen some of the houses built, and you 21 21 the standing seam metal roof that's over these? can see people walking in their pajamas to put 22 22 MR. PRISBY: I'm not a big fan of that,

18 20 1 MR. FORTELKA: Yes. It will be a real 1 I'm not. 2 MR. FORTELKA: It's tucked in there and 2 natural, sort of cream-colored stucco on it and it's going to be copper. 3 cut limestone. 4 MS. D'ARCO: That's similar to what's 4 CHAIRMAN BOHNEN: Well, I don't want to on Oak and 8th right now? beat a horse on this; but as we see our traditional homes being knocked down and our new 6 CHAIRMAN BOHNEN: Yes, which is 6 hideous. 7 7 homes being built, we are not building 8 MR. FORTELKA: That's a Kinner-coated 8 traditional homes. It will be left to somebody else years from now to decide whether or not 9 material. This is going to be -- I'm pretty 9 sure we are going to be using copper on that. 06:48:24PM 10 that was a good decision or not because, 06:46:40PM 10 11 MR. GONZALEZ: But you haven't decided, 11 obviously, many of us -- me -- are kind of stuck 12 that's what you are saying? in our ways of what we like and what we want to 13 MR. FORTELKA: Yes. Materials are see. And some of this, I have my doubts. But 13 14 still, we are still doing material boards on it. 14 keeping in mind that there is an ordinance that 15 MR. GONZALEZ: Because you can purchase does not allow any modern architecture to be 15 aluminum and have them coated green, and it built in the Robbins Historic area. 16 16 MR. FORTELKA: Understood. 17 looks like copper for most people. 17 18 MR. FORTELKA: Yes. Which if we are CHAIRMAN BOHNEN: That's something I 18 19 going to do copper, the idea is that it's going 19 think everybody needs to consider when they are 06:46:58PM **20** to be that more bronzy color over time. So we 06:48:57PM **20** looking at plans for these homes. 21 wouldn't want necessarily the green. It's more 21 I would even go one step farther. of that classic dark. 22 I have a little problem with Belgium farmhouses 19 1 MR. PRISBY: More of a bronze kind being plopped in Hinsdale. And I'm sure that of -some of them are going to be well-executed. 3 MR. FORTELKA: Yes. But we end up with a hodgepodge of architecture CHAIRMAN BOHNEN: Well -and a lack of continuity in a historic 4 5 MR. PRISBY: John, you know my opinion neighborhood. And I mean the board and batten on these reviews. with the black windows and Belgian farmhouses, 6 6 7 CHAIRMAN BOHNEN: Well, Patrick, I 7 and God only knows what other things are guess I have to ask the question. So you have, tripping down the path, and they are momentary 8 you have or have not determined what the 9 as we have seen. 9 06:47:24PM 10 materials are going to be for this house? 06:49:47PM 10 MR. PRISBY: Yes. 11 MR. FORTELKA: Yes. We have made 11 CHAIRMAN BOHNEN: I think the net propositions to the client of what we would like effect is that our Historic District is going to 12 look a hell of a lot different than it did when 13 to see as far as exterior materials go. 13 J. Jordan is in the process of getting stucco we got it designated as such. I don't know how 14 14 samples together, and the metal roof is still it will be appreciated by those that go on 15 15 sort of a bid issue. We have talked about zinc, before us; but as I say, that's for somebody 16 16 we have talked about copper, and we have talked else to decide. 17 17 about clad aluminum as well. That said, no 18 MR. PRISBY: So are you thinking that matter what, it's going to be a darker sort of a 19 this is modern? 06:47:51PM **20** bronze or gunmetal color. 06:50:08PM **20** CHAIRMAN BOHNEN: Well, you know --21 CHAIRMAN BOHNEN: It's going to be a MS. D'ARCO: It's on the modern side. 21 22 metal roof with standing seams of some kind? 22 CHAIRMAN BOHNEN: Yes. I mean --

22 24 1 MS. D'ARCO: But it's what --1 I studied under that type of architecture. My 2 MR. FORTELKA: I would say the point is it does remind me of Bauhaus. You architectural form is very traditional, and can't see it so much on the plans. But when you there is a corner window on it that has a little look at the elevations, it is very similar. I 5 modern lean to it. But -don't know if this one has a ring to it. Even MS. D'ARCO: Ultimately, I mean it's 6 6 the numbers have a style to it. 7 flat, everything is flat, stucco. You have 7 MS. WEINBERGER: It looks very -modern windows. I mean it's a beautiful design. 8 MR. FORTELKA: Those are actually art 8 9 MR. FORTELKA: It's a recognizable deco details, referencing, again, French 9 architecture, how do I integrate modern into a residential form. 06:52:18PM 10 06:50:33PM 10 11 MS. D'ARCO: Right. It's just that French-styled home. I looked heavily into art it's within a District where you are trying to **12** deco. So that's kind of where you are picking 12 preserve some character. It's not happening. up that kind 1920s European-vibe to it, which 14 You are not the first and the last. 14 let's face it, that was invented in the 1920s, MS. WILLIAMS: One of the criteria that so that was 100 years ago. Maybe that was 15 15 is listed that we have to go through for a modern then and now we are bringing it back a 16 16 Certificate of Appropriateness is New little bit; and it feels a little bit new to us, 17 17 construction in the District should be 18 18 too. compatible with the architectural styles, design 19 19 But there is a house on the corner 06:50:56PM **20** standards, and streetscapes within such historic 06:52:45PM **20** of 8th and Elm I believe --21 district. 21 MR. GONZALEZ: Art deco and Bauhaus, 22 This clearly is not. I think it's they overlap a little bit. 23 25 a very attractive home. 1 MR. FORTELKA: Yes. I think they 2 MR. FORTELKA: And in studying the definitely relate to each other. streetscape, I would be relegated to a Georgian 3 MR. GONZALEZ: Yes. or tudor-style home or a French provincial, 4 MR. FORTELKA: I would say probably art 4 which we have seen several of those done in that deco came first and Bauhaus was a reaction to neighborhood that are not great. 6 that. 7 The client actually came to us 7 MS. WEINBERGER: And this is a dark referencing a house on -- Those two big ones on slate roof that you are proposing? the corner of 8th and Elm I think it is, which 9 MR. FORTELKA: It will be a gray slate. 06:51:30PM 10 weren't executed great. So we kind of had our 06.53:08PM **10** It will be monochromatic. 11 hands full with how do we kind of direct this 11 I can't, I don't know the address design to get sort of this French European of this house that's being renovated right now. 12 I'm pretty sure it was 7th and 8th. Is it the 13 context without it being too western-suburban 13 looking for lack of a better term. 14 old --14 MR. GONZALEZ: You know, when I look at CHAIRMAN BOHNEN: Oh, Bunker's house. 15 15 the design, it reminds me of Bauhaus. That's MR. FORTELKA: And they have got this 16 16 17 what I wrote. kind of cool corner window. 17 18 MS. WEINBERGER: That's exactly what. 18 MR. GONZALEZ: How old is that house? 19 MR. GONZALEZ: Except to me it's 19 CHAIRMAN BOHNEN: 20 years. 06:51:52PM **20** modern, hands down. As the Walter Willoughbys 06:53:29PM **20** MR. FORTELKA: We are trying to harken large windows and things like that, I mean back to that a little bit, kind of that classic 21 21 that -- It is what it is. I understand that. roaring '20s kind of a vibe with the inside of 22 22

26 28 this house. 1 design? 1 2 They have a little flat roof 2 But then, you know, we are looking element on the covered entry as well. So not 3 at it before the materials are selected. And 3 that we are trying to copy this house, but we then materials are selected and they change, and 4 did do a due diligence trying to find something then it's built. And then we all say, oh, what that made sense with what the clients were 6 6 the heck happened. 7 CHAIRMAN BOHNEN: Well, the one that 7 after. 8 MR. GONZALEZ: Okay. 8 comes to mind was when we had the Kennas here 9 MR. FORTELKA: We are trying. talking about the Codes and the building going CHAIRMAN BOHNEN: I don't mean to be on on 3rd Street. And Carrie Kenna, represented 06:53:55PM 10 06:55:20PM 10 11 critical. 11 Kenna Builders, made the remark they hadn't 12 MS. WEINBERGER: So I have a question. decided whether or not to use stone or something If we approve this, then what if all the 13 else. And it was a real, a basic decision. 14 materials change? 14 And on that basis, we gave a CHAIRMAN BOHNEN: They can't. conditional approval to the design; and we'd 15 15 MS. D'ARCO: They are in the process. give final approval when they come back to us 16 16 MR. GONZALEZ: They haven't selected with their materials. So if that were an issue 17 17 here in your minds, then you would propose it as 18 them yet. 18 such. 19 CHAIRMAN BOHNEN: Then you have to 19 06:54:12PM **20** give -- If there is a potentiality of the 06:55:55PM **20** MS D'ARCO: Could you see the materials 21 materials changing, then you have to give a 21 changing drastically? When we are talking conditional -- If you want to approve this, you 22 22 about -- Is it really just a metal roof? 29 give a conditional approval based on the final 1 MR. FORTELKA: If you just scroll up materials. and down, that's a two-page concept image board MR. FORTELKA: The materials won't 3 we did. Just to kind of give you a basic look change but colors might, which I'm pretty sure and feel what it's going to look like with the 4 you guys don't have jurisdiction over color; do stucco finish. There is a couple pictures of 5 some slate roofs. It will be a dark clad window you? 6 6 7 CHAIRMAN BOHNEN: Yes, we do. 7 as well. Absolutely. 8 MR. PRISBY: So those are concepts that 8 MR. FORTELKA: Oh, I wasn't aware of haven't been locked in, right? Which I think is 9 06:54:33PM 10 it. 06:56:25PM 10 Shannon's point. 11 CHAIRMAN BOHNEN: Streetscape. 11 MR. FORTELKA: It's going to be in that 12 MR. FORTELKA: The last one we did we neighborhood, but the client has signed off on 13 were talking about painting the brick and we 13 concept for sure. didn't paint it. You said it didn't matter. 14 MR. PRISBY: It's a little touchy 14 15 CHAIRMAN BOHNEN: Streetscape is kind because there have been a couple houses that 15 of our rule. have come through here -- which you guys hadn't 16 16 17 MR. PRISBY: We didn't say we were done, it was a different person, I'm not going 17 18 happy about that. 18 to name names -- that had kind have the recycled 19 MS. WEINBERGER: That happens to us brick. We are not going to paint it, not going 06:54:48PM **20** somewhat often. And so how do we get ahead of 06:56:43PM **20** to paint it. Frank and I both went out to the that yet be respectful to the clients and the job site review, said, Well, we would like to 21 21 architects and the builders to look at the 22 keep this as raw brick. 22

30 32 1 Six months later, it's all white. district -- but on other houses like, you know 1 2 It's all white. Nothing ever came of it, right? 2 it's like we lose power, too. There was no one from the Village went back out MR. PRISBY: But what's happening to us 3 there. What are you going to do at that point? here, even if they get in front of us -- Let's 5 It's already painted, right? say, you know, they buy the house. We think it's a great idea to look at the design 6 MR. FORTELKA: It's interesting, yes. MR. PRISBY: So it's become a little materials or have a meeting with this us. We 7 bit more of a touchy subject. But then the think this should have a red brick and match 8 Codes, I know, Frank, did you ever go talk to with the streetscape or pick up on these 9 06:57:10PM 10 the Codes or to Kenna; right? The house is 06:58:49PM 10 tudorish elements, right? 11 done. So, again --11 They go, No, we are not doing that. 12 And then we end up with this. So does that 12 MR. GONZALEZ: What are we --MR. PRISBY: It was a conditional help? Are we really even achieving anything 13 13 approval and nothing ever followed up with that. with that? And I'm hoping some of this comes 14 14 15 MS. WEINBERGER: Right. Well, kind of out of the changes that are being discussed. 15 MS. WEINBERGER: Yes. what happened to your porch. 16 16 MR. PRISBY: Correct. Right. MS. WILLIAMS: And some attempts at 17 17 MS. WEINBERGER: Same thing. standards for design, which right now we don't 18 18 MR. PRISBY: Stuff was changed, right. have. You mentioned pushing the envelope a 19 19 06:57:27PM **20** Well, he had to change it. 06:59:12PM **20** little. I'm not sure if pushing the envelope is 21 MR. GONZALEZ: That's different. 21 a good idea in the historic district. But we 22 MR. PRISBY: And it's still not good 22 don't have any standards to fall on, design 31 33 but it was still changed. standards, to fall back on. 2 2 MR. GONZALEZ: It still has the --MS. WEINBERGER: And this style is MR. PRISBY: Then he did a side rail on 3 almost reliant on your material selection. that house that doesn't match the front so --Because what happens if they say they want a 4 4 What are you laughing at? stone home, then does this plan even work? I 5 6 MR. FORTELKA: Don't look through my mean so you feel confident that they are happy 6 personal pictures on there, John. 7 with this idea of stucco? 7 CHAIRMAN BOHNEN: If Judge Kavanaugh 8 MR. FORTELKA: That's 100 percent, yes. 8 had these, we probably wouldn't be up here. Definitely. Yes. We are over budget, too, so 9 06:57:54PM **10** MR. FORTELKA: I like beer, drink beer. 06:59:43PM 10 we are not getting --MR. PRISBY: Because I think it's more 11 11 MR. PRISBY: So like as part of that, of -- It's conceptual but it's not locked in, 12 these two covered front porches, right, they 12 have these walls with the limestone coping that 13 right? 13 14 I don't know how many times I tell goes around the whole thing. And it's recessed 14 behind that almost like it's a lower roof to somebody, Hey, I think this will be great in a 15 15 sage green; they go, that's terrific, we are cover that area behind that coping. 16 16 making it brown. Right? 17 MR. FORTELKA: Yes. 17 MR. PRISBY: Looking at the wall 18 MR. FORTELKA: And as a designer, we've 18 19 lost control over materials because it's the section you have on A3.1, very unique, very 06:58:22PM **20** clients' house. And ultimately, we will make 07:00:13PM **20** creative; right? But what it's doing to the suggestions all day long, and if they want to architecture, and you know, we are creating 21 paint the house purple -- not in the historic these almost like barrier walls in front of the 22 22

34 36 house as opposed to what looks like a covered if we could get a sense of the material and what 1 porch. I think that really goes back to what 2 they are agreeing on. When will you know that, 2 Frank was talking about with the Bauhaus the actual color and all that? architecture. Right? 4 MR. FORTELKA: I don't have concept 5 MR. FORTELKA: And it's not necessarily boards even put together yet. Typically a barrier but a process. Instead of just J. Jordan makes like a little house, stands 6 6 walking up to the door under some columns that about 8-foot tall with a roof on it. 7 7 there is a little bit more process to experience 8 MR. GONZALEZ: A model, an actual 8 the house. Not in an unfriendly way, but just 9 model? 9 07:00:43PM 10 again more of kind of taking some turns instead 10 MR. FORTELKA: Like a real mockup. of just being presented the house. 11 11 MR. GONZALEZ: A mockup, okay. 12 MR. PRISBY: From a design standpoint, 12 MR. FORTELKA: That takes guite a bit I get that. I respect that, right? I just get of time, of course, to execute it. We might be 13 back to the whole conversation of in this able to do some smaller like chips or -- With 14 14 District. Right? I just don't know. stucco, it's so hard, though, because that's a 15 15 MR. FORTELKA: Right. And whether or field application. It's not something I can go 16 16 not it's forwarding good design or just a series 17 17 to the paint store and get. of material executions. If I copied a really MR. GONZALEZ: So they will build a 18 18 good old tudor house that everybody would be model to show the colors. And then what if they 19 19 07:01:09PM **20** good with that, but is that really best for the 07:03:11PM **20** don't like it after they doing the mockup? What 21 neighborhood, what the clients want, and 21 do you do, another mockup? 22 property values and all of that? So it is --22 MR. FORTELKA: Yes. Typically. 35 37 Usually we nail it, though, so --1 MR. PRISBY: Just this neighborhood, 2 that's the big thing. I'm with you as far as --MR. HELLYER: That's true. I'm tired of -- Back, what was it, 20 years ago 3 MR. FORTELKA: A lot of thought goes everybody was building a red brick Georgian. Or into it before we get to that. 4 4 everybody is doing a low arch window or doing 5 MR. GONZALEZ: It's funny, not really. 5 French country, right? I know for commercial clients, they still do 6 6 7 And we spent more time as 7 those mockups. But it's getting to a point professionals copying history instead of where it's just not for a lot of construction. 8 8 creating history. And I love trying to come up They are just moving on. Yes, we like the 07:01:43PM 10 with something new and creative and doing 07:03:37PM 10 drawings, show us something in 3D and CAD, and 11 something a little different from the standard 11 move on. norms here. 12 MR. FORTELKA: Yes. And the bigger 12 13 Again, it just gets back to on this 13 samples are definitely very helpful I think. Board in this District, how far can we go with (Enter Mr. Bill Haarlow.) 14 14 creating our own history and still blend in with 15 15 MR. PRISBY: So, Frank, so let's say it the historic neighborhood. gets approved conditionally for the materials. 16 16 17 And I may be on an island with this 17 MR. GONZALEZ: We get invited to see 18 group on that. But, okay, I don't know. 18 the mockup. 19 CHAIRMAN BOHNEN: Where would you like 19 MR. PRISBY: And we get invited to see 07:02:19PM 20 to go? 20 the mockup, the client says, We love this. MR. FORTELKA: York Tavern. And you and I go, We hate this. 21 21 MR. FORTELKA: Oh, you will like it. 22 MR. FRANK GONZALEZ: It would be nice 22

	38		40
1	MR. PRISBY: Hypothetical, right?	1	thought?
2	MR. FORTELKA: I understand.	2	MR. PRISBY: Not at the moment.
3	MR. GONZALEZ: Bring your spray can.	3	But I'm just, I'm trying to think.
4	MR. PRISBY: What do we do?	4	A lot of times these mockups happen when they
5	MS. WEINBERGER: What do we do? It	5	are already in construction. So are they
6	still happened.	6	MR. GONZALEZ: Right. But, yes, that's
7	MR. PRISBY: Right?	7	true. Having said that, they are still having
8	MR. GONZALEZ: But at least we had an	8	completed You haven't completed the envelope
9	opportunity to be part of it much more closer to	9	of the building, right?
07:04:15PM <b>10</b>	the end, you know, the design, the end decision	07:06:11PM 10	MR. PRISBY: Correct. They are trying
11	of the design. That's all we can do.	11	to pull a permit to get started.
12	CHAIRMAN BOHNEN: As long as the	12	MR. GONZALEZ: Right.
13	current ordinance says	13	MR. PRISBY: So I think you still end
14	MR. GONZALEZ: Right.	14	up having to either approve or not.
15	CHAIRMAN BOHNEN: So having batted that	15	CHAIRMAN BOHNEN: Maybe we should do
16	around, where do you want to go?	16	what we used to do commercial construction and
17	MS. WILLIAMS: I think the architects,	17	issue foundation permits and then issue
18	I think the architects have to come up with the	18	superstructure permits.
19	motion.	19	MR. PRISBY: I don't think we have the
07:04:48PM <b>20</b>	MR. PRISBY: Go ahead, Frank.	07:06:30PM <b>20</b>	ability to do that, do we?
21	MR. GONZALEZ: Okay. The motion is	21	CHAIRMAN BOHNEN: I'm asking my friend
22	that we get invited to see the mockup.	22	Chan over there. People come in starting with
	39		41
	MD DD70D1/ 0 11		
1	MR. PRISBY: So you would approve it	1	the job and as they are making the decisions,
2	conditionally?	2	they get into the upgrades, we can have another
3	conditionally?  MR. GONZALEZ: I don't know. No,	3	they get into the upgrades, we can have another meeting. Is that something that's feasible? I
3 4	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see	2 3 4	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't
2 3 4 5	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what,	2 3 4 5	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.
2 3 4 5 6	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if	2 3 4 5 6	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review
2 3 4 5 6 7	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better	2 3 4 5 6 7	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I
2 3 4 5 6 7 8	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.	2 3 4 5 6 7 8	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.
2 3 4 5 6 7 8 9	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with	2 3 4 5 6 7 8 9	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here
2 3 4 5 6 7 8 9 07-05-16PM 10	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes	2 3 4 5 6 7 8 9	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they
2 3 4 5 6 7 8 9 07.05-16PM 10	onditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.	2 3 4 5 6 7 8 9 07.07.03PM 10	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's
2 3 4 5 6 7 8 9 07-05-16PM 10	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes	2 3 4 5 6 7 8 9	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they
2 3 4 5 6 7 8 9 07:05:16PM 10 11	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate	2 3 4 5 6 7 8 9 07.97.93PM 10 11	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?	2 3 4 5 6 7 8 9 07-07-03PM 10 11 12 13	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says
2 3 4 5 6 7 8 9 07.05-16PM 10 11 12 13	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.	2 3 4 5 6 7 8 9 0707039M 10 11 12 13	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13 14 15	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve	2 3 4 5 6 7 8 9 07-07-03PM 10 11 12 13 14 15	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13 14 15 16	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve the demolition of 736 South Park.	2 3 4 5 6 7 8 9 0707030PM 10 11 12 13 14 15 16	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.  CHAIRMAN BOHNEN: What I'm saying is to
2 3 4 5 6 7 8 9 07:05:16PM 10 11 12 13 14 15 16 17	conditionally?  MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve the demolition of 736 South Park.  CHAIRMAN BOHNEN: Second?	2 3 4 5 6 7 8 9 07.07.53PM 10 11 12 13 14 15 16 17	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.  CHAIRMAN BOHNEN: What I'm saying is to get these people off and running, we have
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13 14 15 16 17 18	MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve the demolition of 736 South Park.  CHAIRMAN BOHNEN: Second?  MR. PRISBY: I will second.	2 3 4 5 6 7 8 9 07-07-03PM 10 11 12 13 14 15 16 17 18	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before. What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.  CHAIRMAN BOHNEN: What I'm saying is to get these people off and running, we have approved the demolition, and they want to get in
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13 14 15 16 17 18 19	MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve the demolition of 736 South Park.  CHAIRMAN BOHNEN: Second?  MR. PRISBY: I will second.  CHAIRMAN BOHNEN: All in favor say aye.	2 3 4 5 6 7 8 9 07.07.03PM 10 11 12 13 14 15 16 17 18 19	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before.  What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.  CHAIRMAN BOHNEN: What I'm saying is to get these people off and running, we have approved the demolition, and they want to get in the ground, have we ever considered giving
2 3 4 5 6 7 8 9 07.05:16PM 10 11 12 13 14 15 16 17 18 19 07.05:34PM 20	MR. GONZALEZ: I don't know. No, that's not what I'm saying. I would want to see what's finally decided and say, you know what, we did what we could and that's it. Because if we can offer opinions or thoughts, that's better than being out of the loop.  MS D'ARCO: Maybe we should start with approving the demolition because that comes first. Right? That's part of it.  MS. WEINBERGER: Is it two separate motions?  MR. YU: Yes.  MS. D'ARCO: I will motion to approve the demolition of 736 South Park.  CHAIRMAN BOHNEN: Second?  MR. PRISBY: I will second.  CHAIRMAN BOHNEN: All in favor say aye.  (A chorus of ayes.)	2 3 4 5 6 7 8 9 07-07-03PM 10 11 12 13 14 15 16 17 18 19 07-07-23PM 20	they get into the upgrades, we can have another meeting. Is that something that's feasible? I mean it's done all over the country. I don't know whether it's done residentially.  MR. YU: Unfortunately, I don't review the building permits for residential. But I have never seen a color building permit before. What I do is I look at what was approved here and I compare it to the building permit they submit. And if there is something that's drastically different or the language that says stucco here and it's a different material than what you guys approved, then they have to come back with the revised plan to you.  CHAIRMAN BOHNEN: What I'm saying is to get these people off and running, we have approved the demolition, and they want to get in the ground, have we ever considered giving two-stage construction permits like they do for

	42		44
1	CHAIRMAN BOHNEN: Never happened.	1	MS. D'ARCO: So what's our concern, is
2	MR. GONZALEZ: Never happened.	2	it the metal roof that we are concerned about as
3	MR. FORTELKA: Can I make a suggestion?	3	far as change?
4	CHAIRMAN BOHNEN: Sure.	4	MR. GONZALEZ: The color of the stucco,
5	MR. FORTELKA: In moving forward,	5	the color of the metal roof. And I, I don't
6	perhaps you add to your requirements that during	6	know
7	this meeting that we bring materials with us.	7	MS. D'ARCO: Because it sounds like the
8	If it's a brick or stone house, it's a little	8	stucco is going to be a cream color.
9	bit more difficult; but we could definitely	9	MR. GONZALEZ: Yes.
07:07:55PM <b>10</b>	bring sample boards.	07:09:13PM <b>10</b>	MR. FORTELKA: Off-white.
11	CHAIRMAN BOHNEN: You mean to the	11	MS. D'ARCO: That's not going to be
12	hearing?	12	green. It's not going to be green. That's
13	MR. FORTELKA: I could definitely get	13	pretty standard. So we are talking about the
14	window cladding, roofing samples. So you could	14	roof.
15	at least hit sort of the three big materials	15	MS. WEINBERGER: And we are really only
16	that you are looking for. That's a pretty	16	talking about the flat roofs?
17	simple thing. Or if I would have known going	17	MR. GONZALEZ: No. The flat roof you
18	into this, I probably could have pulled off	18	wouldn't see.
19	something close on the stucco.	19	MR. FORTELKA: You won't see any metal
07:08:15PM <b>20</b>	MR. PRISBY: That's a good point, at	07:09:31PM <b>20</b>	roof around the front. It's tucked around the
21	least the changes we are talking about.	21	sides.
22	MS. WEINBERGER: That would be great.	22	MS. D'ARCO: So when you said the
	43		45
1	MR. GONZALEZ: Hopefully the client is	1	options were between copper and something
2	agreeing with those samples.	2	else
3	MR. FORTELKA: Yes. It would be	3	MR. FORTELKA: It's a colored-aluminum
4	helpful if they were here tonight because I know	4	roof that you typically see.
5	they would back it up and say they are onboard	5	MS. D'ARCO: Would we have an issue in
6	with this aesthetic.	6	any of those if there was a change?
7	MR. GONZALEZ: Maybe the thought would	7	CHAIRMAN BOHNEN: The material itself?
8	be bring the samples and hope that the clients	8	MS. D'ARCO: Yes.
9	come to this next meeting.	9	CHAIRMAN BOHNEN: No.
07:08:37PM 10	CHAIRMAN BOHNEN: So in the interim	07:09:49PM <b>10</b>	MS. D'ARCO: Yes. So then I guess I'm
11	MS. WEINBERGER: Conditional?	11	questioning what is it that we
12	CHAIRMAN BOHNEN: a conditional	12	MR. PRISBY: Step back. Are we in
13	approval based on the design?	13	general going to be okay with the architecture?
14	MS. WILLIAMS: Because it's the color	14	Because I know that was an earlier discussion
15	that you have an issue with, not so much the	15	here
16	material? Because he said it will be cream	16	CHAIRMAN BOHNEN: I haven't heard.
17	and an	17	MR. PRISBY: of approving the
	color.		
18	MR. GONZALEZ: No. I don't have an	18	architecture with a condition they come back
18 19		18 19	
	MR. GONZALEZ: No. I don't have an	19	architecture with a condition they come back
19	MR. GONZALEZ: No. I don't have an issue with stucco being there.	19	architecture with a condition they come back here in one month with finished materials to

	46		48
1	started, gets you	1	MR. FORTELKA: Cut stone.
2	MR. PRISBY: I would think so. They	2	MR. GONZALEZ: Cut stone. Sample of
3	get into construction. They can build If we	3	the stone.
4	are comfortable with the architecture, if they	4	MR. PRISBY: Roof shingle.
5	get four votes	5	MR. GONZALEZ: Roof shingle. I see
6	CHAIRMAN BOHNEN: Again, I don't know	6	some cedar siding for specification. I see
7	how to address the fenestration any differently	7	color, cedar siding, if it's going to be
8	than I already have.	8	stained Not raw.
9	MR. PRISBY: Right.	9	MR. FORTELKA: Understood.
07:10:36PM <b>10</b>	CHAIRMAN BOHNEN: I guess that's a	07:12:17PM <b>10</b>	MR. PRISBY: We all know what cedar
11	question for the Commission.	11	looks like. It's the color we are looking for.
12	MR. PRISBY: Right, it is. Because you	12	MR. GONZALEZ: Anything else? I
13	could vote no, and then they could	13	MR. FORTELKA: Okay.
14	So let me start by, I guess, making	14	MS. WEINBERGER: So that was a motion?
15	a motion to approve the architecture under the	15	MR. PRISBY: That was a motion, yes.
16	condition that they come back in to the next	16	MS. WEINBERGER: I will second it.
17	meeting with materials that we can review and	17	CHAIRMAN BOHNEN: All those in favor?
18	approve.	18	(A chorus of ayes.)
19	CHAIRMAN BOHNEN: Make sense?	19	CHAIRMAN BOHNEN: All those opposed?
07:11:08PM <b>20</b>	MS. WEINBERGER: Yes.	07:12:47PM <b>20</b>	Nay.
21	MR. GONZALEZ: Yes, makes sense.	21	MS. D'ARCO: Nay.
22	MR. PRISBY: And at that point we may	22	I will explain why. Because I feel
	47		49
1	get less than four votes, and then I don't know	1	like we go in circles, and we come back to the
1 2	get less than four votes, and then I don't know what happens at that point if that happens.	1 2	like we go in circles, and we come back to the Board. You told us today it's going to be
_		_	Board. You told us today it's going to be stucco. It's going to be a couple of variations
2	what happens at that point if that happens.	2	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward,
3	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.	3	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not
2 3 4	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.	2 3 4	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our
2 3 4 5 6 7	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?	2 3 4 5	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they
2 3 4 5 6 7 8	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?	2 3 4 5 6	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to
2 3 4 5 6 7 8 9	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through	2 3 4 5 6 7 8 9	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get
2 3 4 5 6 7 8 9	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have	2 3 4 5 6 7 8 9 07:13:13PM 10	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we
2 3 4 5 6 7 8 9 07:11:33PM 10	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know	2 3 4 5 6 7 8 9 07:13:13PM 10	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.
2 3 4 5 6 7 8 9 07:11:33PM 10 11	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof,	2 3 4 5 6 7 8 9 07:13:13PM 10 11	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your
2 3 4 5 6 7 8 9 07-11:33PM 10 11 12 13	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16 17	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.  MR. PRISBY: I don't think it needs to	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16 17	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of zinc, copper, or clad aluminum today, we
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16 17 18	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.  MR. GONZALEZ: Uindow color.  MR. PRISBY: I don't think it needs to be a whole sample, just color.	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16 17 18	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of zinc, copper, or clad aluminum today, we shouldn't have a problem a month from now. And
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16 17 18 19	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.  MR. GONZALEZ: Just a sample color. Is	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16 17 18 19	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of zinc, copper, or clad aluminum today, we shouldn't have a problem a month from now. And the same thing goes for stucco, and the same
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16 17 18 19 07:11:55PM 20	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.  MR. GONZALEZ: Just a sample color. Is there any stone on this building? Oh, there is	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16 17 18 19 07:13:33PM 20	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of zinc, copper, or clad aluminum today, we shouldn't have a problem a month from now. And the same thing goes for the color of the windows. If
2 3 4 5 6 7 8 9 07:11:33PM 10 11 12 13 14 15 16 17 18 19	what happens at that point if that happens.  CHAIRMAN BOHNEN: Let's see, maybe the ordinance changed.  MR. PRISBY: You are dreaming.  So I will make that motion.  CHAIRMAN BOHNEN: Do we have a second?  MS. WEINBERGER: Got that, Chan?  MR. GONZALEZ: Let's just go through the materials we want to see because we have gone through a few different I don't know several. So it's going to be the roof, stucco I don't know window if they want?  MR. PRISBY: I would like to see window color.  MR. GONZALEZ: Window color.  MR. GONZALEZ: Just a sample color. Is	2 3 4 5 6 7 8 9 07:13:13PM 10 11 12 13 14 15 16 17 18 19	Board. You told us today it's going to be stucco. It's going to be a couple of variations of stucco that you are going to bring forward, and we get to decide what it is. We are not becoming a design review board, which is not our function. We can approve and disprove what they bring forward. And ultimately, you will go to the Village; and the client will most likely get what they want if it's not something we approved.  I just want to be mindful of your time, I want to be mindful of our time. And realistically, if you are telling us these are going to be the materials, these are some of the options today, if we don't have a problem of zinc, copper, or clad aluminum today, we shouldn't have a problem a month from now. And the same thing goes for stucco, and the same

	50		52
1	CHAIRMAN BOHNEN: What about the color	1	how effective that's going to be. And that's
2	of the roof?	2	what just what I have seen. And I haven't
3	MS. D'ARCO: Or the color of the roof.	3	been on the Board that long. But over the
4	Right? But I think ultimately even if we	4	last couple of years, that seems to be the
5	disapprove the color of the roof, it's just	5	process.
6	going to start to go on record.	6	If we are agreeing on the home and
7	MS. WEINBERGER: You are not	7	the materials that are being unless they are
8	disagreeing with the design, you are disagreeing	8	drastically different, I would say we should
9	with the process?	9	just make our motion to approve. Not why we are
07:13:58PM 10	MS. D'ARCO: I'm disagreeing with the	07:16:00PM 10	here, so that's where I stand.
11	process because I feel like if we are okay with	11	CHAIRMAN BOHNEN: Okay. So it is
12	architecture, you have already laid it out, you	12	approved with conditions. Jim, sound good?
13	are okay with it. We don't all agree that	13	MR. PRISBY: Great.
14	that's what we want to see in a historic	14	CHAIRMAN BOHNEN: Anything further,
15	district, but we are approving it. We are	15	Patrick?
16	approving the architecture.	16	MR. FORTELKA: No. I think we are
17	And now we are coming down to the	17	good.
18	nitty-gritty of color and this and that. And I	18	CHAIRMAN BOHNEN: We will serve to
19	just don't feel like that's our function. And	19	close the public hearing.
07:14:21PM <b>20</b>	this is why I'm voting no because I feel like we	20	* * *
21	are just going to waste time and resources.	21	(Which were all the proceedings had
22	And I think it's a waste to some	22	in the above-entitled cause.)
	51	1	53 STATE OF ILLINOIS )
1	degree of our time to have to review this when		) ss.
2	in the end it's going to go over our head,	2	COUNTY OF DU PAGE )
3	1 .1 .1 .1 .1		
3	whether we like the gray color you pick or not	3	
4	on the roof, or whether or not it may end up		I, JANICE H. HEINEMANN, CSR, RDR, CRR,
	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I	3	do hereby certify that I am a court reporter doing business in the State of Illinois, that I
4	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.		do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the
4 5	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented	4	do hereby certify that I am a court reporter doing business in the State of Illinois, that I
4 5 6	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have	4 5 6	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is
4 5 6 7 8 9	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just	5	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand
4 5 6 7 8 9 07:14:58PM 10	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where	4 5 6	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand
4 5 6 7 8 9 07:14:56PM 10 11	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an	4 5 6 7	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand
4 5 6 7 8 9 07:14:56PM 10 11	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion	4 5 6 7 8 9	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.
4 5 6 7 8 9 07:14:56PM 10 11 12 13	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little	4 5 6 7 8	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:56PM 10 11 12 13 14	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm	4 5 6 7 8 9 10	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:SEPM 10 11 12 13 14 15	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening.  But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a	4 5 6 7 8 9 10 11 12	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:56PM 10 11 12 13 14 15 16	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we	4 5 6 7 8 9 10 11 12 13 14	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:59PM 10 11 12 13 14 15 16 17	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we have been trying to do this for a long time on	4 5 6 7 8 9 10 11 12 13 14 15	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:58PM 10 11 12 13 14 15 16 17 18	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we have been trying to do this for a long time on what we can really opine on that is valuable to	4 5 6 7 8 9 10 11 12 13 14	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:56PM 10 11 12 13 14 15 16 17 18 19	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we have been trying to do this for a long time on what we can really opine on that is valuable to you. And we always are late in the game.	4 5 6 7 8 9 10 11 12 13 14 15 16 17 18	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:56FM 10 11 12 13 14 15 16 17 18 19 07:15:25FM 20	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we have been trying to do this for a long time on what we can really opine on that is valuable to you. And we always are late in the game.  And whether Frank and Jim go out	4 5 6 7 8 9 10 11 12 13 14 15 16 17	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR
4 5 6 7 8 9 07:14:56PM 10 11 12 13 14 15 16 17 18 19	on the roof, or whether or not it may end up being full-blown gold copper. Hopefully not, I can't see that. I can't see that happening. But it's not within the style that's presented in this town. I just would prefer not to have to go through all this again. I think it's just a wasted effort, and that's where  Even tonight we can't come to an agreement on how we want to put our motion forward, which is sometimes a little frustrating. And I'm just being honest and I'm all about efficiency. And I think we have, as a Commission, we need to come together. And we have been trying to do this for a long time on what we can really opine on that is valuable to you. And we always are late in the game.	4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19	do hereby certify that I am a court reporter doing business in the State of Illinois, that I reported in shorthand the testimony given at the hearing of said cause, and that the foregoing is a true and correct transcript of my shorthand notes so taken as aforesaid.  Janice H. Heinemann CSR, RDR, CRR

				J 1
		04 0 04 04 05 5	00.45.00.47.00.40	10.10.10.10.10.10
•	appreciated [1] -	24:2, 24:21, 25:5,	38:15, 39:17, 39:19,	13:13, 13:16, 13:19,
<b>'20s</b> [1] - 25:22	21:15	34:3	39:21, 40:15, 40:21, 41:16, 42:1, 42:4,	13:22, 14:4, 14:9, 14:19, 15:1, 15:14,
	Appropriateness [1] - 22:17	beat [1] - 20:5	42:11, 43:10, 43:12,	14.19, 15.1, 15.14, 15:19, 17:7, 17:20,
1	approval [5] - 27:1,	beautiful [1] - 22:8 become [1] - 30:7	43:20, 45:7, 45:9,	18:6, 19:4, 19:7,
<u> </u>	28:15, 28:16, 30:14,	becomes [1] - 7:5	45:16, 45:21, 46:6,	19:21, 20:4, 20:18,
<b>100</b> [4] - 8:2, 17:16,	43:13	becoming [1] - 49:6	46:10, 46:19, 47:3,	21:11, 21:20, 21:22,
24:15, 33:8	approve [9] - 26:13,	beer [2] - 31:10	47:7, 48:17, 48:19,	25:15, 25:19, 26:10,
<b>1920 s</b> [2] - 24:13,	26:22, 39:1, 39:15,	behind [2] - 33:15,	50:1, 52:11, 52:14,	26:15, 26:19, 27:7,
24:14	40:14, 46:15, 46:18,	33:16	52:18	27:11, 27:15, 28:7,
•	49:7, 52:9	<b>Belgian</b> [1] - 21:6	book [1] - 17:18	31:8, 35:19, 38:12,
2	approved [6] - 37:16,	Belgium [1] - 20:22	bother [1] - 10:1	38:15, 39:17, 39:19,
<b>20</b> [2] - 25:19, 35:3	41:9, 41:14, 41:18,	best [1] - 34:20	bottom [1] - 10:7	39:21, 40:15, 40:21,
	49:11, 52:12	better [4] - 13:13,	brick [8] - 5:22, 17:11,	41:16, 42:1, 42:4,
3	approving [4] - 39:10,	13:16, 23:14, 39:7	27:13, 29:19, 29:22,	42:11, 43:10, 43:12,
<b>2D</b> 27.40	45:17, 50:15, 50:16	<b>between</b> [3] - 9:6,	32:8, 35:4, 42:8	43:20, 45:7, 45:9,
<b>3D</b> [1] - 37:10	arch [1] - 35:5	11:11, 45:1	bright [1] - 11:5	45:16, 45:21, 46:6,
<b>3rd</b> [1] - 28:10	architect [2] - 13:5,	<b>bid</b> [1] - 19:16	brighter [1] - 8:7	46:10, 46:19, 47:3,
7	13:8	<b>big</b> [6] - 10:19, 16:5,	<b>bring</b> [7] - 10:22, 38:3,	47:7, 48:17, 48:19,
7	architect -driven [2] -	17:22, 23:8, 35:2,	42:7, 42:10, 43:8,	50:1, 52:11, 52:14,
<b>736</b> [1] - 39:16	13:5, 13:8	42:15	49:4, 49:8	52:18
7th [1] - 25:13	architects [5] - 10:10,	bigger [1] - 37:12	bringing [1] - 24:16	<b>Chan</b> [2] - 40:22, 47:8
	15:4, 27:22, 38:17,	Bill [1] - 37:14	bronze [2] - 19:1,	chance [2] - 4:4, 4:8
8	38:18	<b>bit</b> [13] - 8:5, 10:15,	19:20	change [6] - 26:14,
9 fact ::: 26:7	architectural [3] -	11:3, 14:17, 15:3,	bronzy [1] - 18:20	27:4, 28:4, 30:20,
8-foot [1] - 36:7	14:18, 22:3, 22:19	24:17, 24:22, 25:21,	<b>brown</b> [1] - 31:17	44:3, 45:6
<b>8th</b> [5] - 14:6, 18:5, 23:9, 24:20, 25:13	architecture [12] -	30:8, 34:8, 36:12,	<b>budget</b> [1] - 33:9	changed [3] - 30:19,
23.9, 24.20, 23.13	20:15, 21:3, 24:1,	42:9	<b>build</b> [2] - 36:18, 46:3	31:1, 47:4
Α	24:10, 33:21, 34:4,	black [2] - 12:6, 21:6	builders [1] - 27:22	changes [2] - 32:15,
A	45:13, 45:18, 46:4,	blend [1] - 35:15	Builders [1] - 28:11	42:21
<b>A3.1</b> [1] - 33:19	46:15, 50:12, 50:16	<b>blinds</b> [1] - 17:2	<b>building</b> [8] - 20:7,	changing [2] - 26:21, 28:21
ability [1] - 40:20	area [3] - 5:13, 20:16,	<b>block</b> [1] - 6:10	28:9, 35:4, 40:9,	character [1] - 22:13
able [1] - 36:14	33:16	<b>blood</b> [1] - 10:12	41:7, 41:8, 41:10,	characteristics [1] -
above-entitled [1] -	art [4] - 24:8, 24:11,	<b>blown</b> [1] - 51:5	47:20	10:16
52:22	24:21, 25:4	board [4] - 12:5, 21:5,	built [8] - 5:8, 6:21,	chips [1] - 36:14
absolutely [1] - 27:8	artificial [1] - 9:6	29:2, 49:6	14:6, 14:10, 15:21,	chorus [2] - 39:20,
accents [1] - 4:2	aspect [1] - 16:13	<b>Board</b> [4] - 35:14,	20:7, 20:16, 28:5	48:18
achieving [1] - 32:13	attached [1] - 7:6	45:20, 49:2, 52:3	Bunker 's [1] - 25:15	circles [1] - 49:1
actual [2] - 36:3, 36:8	attempts [1] - 32:17 attractive [1] - 23:1	boards [3] - 18:14,	busy [1] - 4:9	clad [3] - 19:18, 29:6,
add [1] - 42:6	aware [4] - 5:3, 7:14,	36:5, 42:10	buy [1] - 32:5 buyers [2] - 7:4, 7:11	49:17
address [2] - 25:11,	8:22, 27:9	body [1] - 10:22	buyers [2] - 1.4, 1.11	cladding [1] - 42:14
46:7	aye [1] - 39:19	BOHNEN [86] - 4:3,	_	classic [2] - 18:22,
adds [1] - 11:3	ayes [2] - 39:20, 48:18	4:10, 4:19, 5:5, 5:14,	С	25:21
aesthetic [1] - 43:6	ayes [2] - 00.20, 40.10	5:19, 6:8, 6:13, 6:17,	CAD [1] - 37:10	clearly [2] - 16:2,
age [1] - 5:1	В	7:13, 8:13, 8:16, 8:19, 8:22, 9:5, 9:9,	capture [2] - 10:21,	22:22
<b>ago</b> [2] - 24:15, 35:3	Ь	9:20, 9:22, 10:5,	17:1	client [9] - 13:4, 13:5,
agree [1] - 50:13	bad [1] - 5:10	9.20, 9.22, 10.5, 11:6, 11:11, 11:21,	Carrie [1] - 28:10	13:6, 19:12, 23:7,
agreeing [3] - 36:2,	barrier [2] - 33:22,	12:9, 12:13, 13:3,	cedar [3] - 48:6, 48:7,	29:12, 37:20, 43:1,
43:2, 52:6	34:6	13:13, 13:16, 13:19,	48:10	49:9
agreement [1] - 51:12	based [3] - 7:22, 27:1,	13:22, 14:4, 14:9,	center [1] - 5:7	client-driven [1] - 13:4
ahead [2] - 27:20,	43:13	14:19, 15:1, 15:14,	Certificate [1] - 22:17	clients [8] - 9:2, 10:18,
38:20	basic [4] - 8:11, 28:13,	15:19, 17:7, 17:20,	CHAIRMAN [86] - 4:3,	13:10, 26:6, 27:21,
allow [1] - 20:15	29:3	18:6, 19:4, 19:7,	4:10, 4:19, 5:5, 5:14,	34:21, 37:6, 43:8
almost [4] - 14:14,	basis [1] - 28:14	19:21, 20:4, 20:18,	5:19, 6:8, 6:13, 6:17,	clients ' [1] - 31:20
33:3, 33:15, 33:22	bastardize [1] - 11:7	21:11, 21:20, 21:22,	7:13, 8:13, 8:16,	close [3] - 17:2, 42:19,
aluminum [4] - 18:16,	bastardized [1] - 6:3	25:15, 25:19, 26:10,	8:19, 8:22, 9:5, 9:9,	52:19
19:18, 45:3, 49:17	batted [1] - 38:15	26:15, 26:19, 27:7,	9:20, 9:22, 10:5,	closer [1] - 38:9
apart [1] - 4:18	batten [2] - 12:5, 21:5	27:11, 27:15, 28:7,	11:6, 11:11, 11:21,	coat [1] - 7:21
application [1] - 36:16	<b>Bauhaus</b> [5] - 23:16,	31:8, 35:19, 38:12,	12:9, 12:13, 13:3,	coated [2] - 18:8,
				Ī

18:16 Codes [3] - 28:9, 30:9, cognizant [1] - 13:1 **cold** [1] - 9:19 colonial [1] - 5:20 color [25] - 8:7, 8:11, 18:20, 19:20, 27:5, 36:3, 41:8, 43:14, 43:17, 43:22, 44:4, 44:5, 44:8, 47:15, 47:16, 47:18, 47:19, 48:7, 48:11, 49:20, 50:1, 50:3, 50:5, 50:18, 51:3 colored [2] - 20:2, 45:3 colored -aluminum [1] - 45:3 colors [2] - 27:4, 36:19 **columns** [1] - 34:7 comfortable [2] -15:17, 46:4 coming [7] - 5:15, 5:16, 5:17, 6:5, 6:14, 11:8, 50:17 comment [1] - 12:10 comments [2] - 4:6, 6:20 commercial [3] - 37:6, 40:16, 41:21 Commission [2] -46:11, 51:16 compare [1] - 41:10 compatible [1] - 22:19 completed [2] - 40:8 completely [1] - 9:21 concept [4] - 8:9, 29:2, 29:13, 36:4 concepts [1] - 29:8 **conceptual** [1] - 31:12 concern [3] - 7:3, 7:14, 44:1 concerned [3] - 17:9, 44:2, 45:22 concrete [3] - 7:18, 7:22, 9:12 concrete -based [1] -7:22 concur [1] - 10:4 condensed [1] - 12:16 condition [2] - 45:18, 46:16 conditional [6] -26:22, 27:1, 28:15, 30:13, 43:11, 43:12 conditionally [2] -37:16.39:2 **conditions** [1] - 52:12

confident [1] - 33:6 confusion [1] - 7:19 Connecticut [1] - 5:20 consider [1] - 20:19 **considered** [1] - 41:19 construction [6] -22:18, 37:8, 40:5, 40:16, 41:20, 46:3 context [2] - 8:7, 23:13 continuity [1] - 21:4 control [1] - 31:19 conversation [1] -34:14 cool [1] - 25:17 copied [1] - 34:18 coping [2] - 33:13, 33:16 copper [9] - 4:1, 18:3, 18:10, 18:17, 18:19, 19:17, 45:1, 49:17, 51:5 copy [1] - 26:4 copying [1] - 35:8 corner [6] - 12:16, 12:20, 22:4, 23:9, 24:19, 25:17 Correct [1] - 40:10 correct [1] - 30:17 cost [1] - 7:12 country [2] - 35:6, 41:4 couple [5] - 16:7, 29:5, 29:15, 49:3, 52:4 course [1] - 36:13 cover [1] - 33:16 covered [3] - 26:3, 33:12, 34:1 cream [3] - 20:2, 43:16, 44:8 cream -colored [1] -20:2 creating [3] - 33:21, 35:9, 35:15 creative [3] - 13:9, 33:20, 35:10 creatively [1] - 15:5 criteria [1] - 22:15 critical [1] - 26:11 curious [1] - 11:13 **current** [1] - 38:13 cut [3] - 20:3, 48:1, 48:2

#### D

**D'ARCO** [20] - 6:22, 18:4, 21:21, 22:1, 22:6, 22:11, 26:16,

28:20, 39:9, 39:15, 44:1, 44:7, 44:11, 44:22, 45:5, 45:8, 45:10, 48:21, 50:3, 50.10 dark [4] - 18:22, 25:7, 29:6, 49:21 darker [1] - 19:19 dealing [1] - 17:11 decide [3] - 20:9, 21:17, 49:5 decided [3] - 18:11, 28:12, 39:5 decision [3] - 20:10, 28:13, 38:10 decisions [1] - 41:1 **deco** [4] - 24:9, 24:12, 24:21, 25:5 **definitely** [10] - 5:12, 11:18, 12:21, 16:15, 16:16, 25:2, 33:9, 37:13, 42:9, 42:13 degree [1] - 51:1 demo [1] - 5:11 demolishing [1] - 4:21 demolition [4] - 5:6, 39:10, 39:16, 41:18 Der [2] - 11:21, 11:22 design [25] - 6:3, 6:20, 10:8, 10:10, 11:8, 12:10, 13:21, 14:1, 14:15, 22:8, 22:19, 23:12, 23:16, 28:1, 28:15, 32:6, 32:18, 32:22, 34:12, 34:17, 38:10, 38:11, 43:13, 49:6, 50:8 designated [1] - 21:14 designer [1] - 31:18 **designing** [1] - 13:1 designs [2] - 7:2, 14.18 details [2] - 4:1, 24:9 determined [1] - 19:9 **difference** [2] - 9:6, 10:20 different [10] - 9:9, 9:21, 21:13, 29:17, 30:21, 35:11, 41:12, 41:13, 47:11, 52:8 differently [1] - 46:7 difficult [1] - 42:9 diligence [1] - 26:5 direct [1] - 23:11 disagreeing [3] - 50:8, 50:10 disapprove [1] - 50:5 discussed [1] - 32:15 discussion [2] - 5:7, 45.14

disprove [1] - 49:7 District [8] - 14:10, 17:9, 17:14, 21:12, 22:12, 22:18, 34:15, 35:14 district [4] - 22:21, 32:1, 32:21, 50:15 done [7] - 8:3, 14:14, 23:5, 29:17, 30:11, 41:4, 41:5 door [1] - 34:7 doubts [1] - 20:13 down [14] - 5:15, 5:16, 5:22, 6:5, 6:9, 6:15, 10:7, 16:22, 17:2, 20:6, 21:8, 23:20, 29:2, 50:17 drastically [3] - 28:21, 41:12, 52:8 drawing [1] - 15:5 drawings [1] - 37:10 dreaming [1] - 47:5 drew [2] - 16:7, 16:9 drink [1] - 31:10 drive [2] - 13:11, 16:19 driven [4] - 13:4, 13:5, 13:8, 16:17 driving [2] - 16:1, 16:22 **Dryvit** [1] - 9:18 due [1] - 26:5 during [1] - 42:6

#### Ε

ease [1] - 12:11 educated [1] - 9:8 effect [1] - 21:12 effective [2] - 7:12, **efficiency** [1] - 51:15 **effort** [1] - 51:10 **EFIS** [1] - 9:17 EIFS [3] - 7:16, 7:20 either [1] - 40:14 element [2] - 12:16, 26:3 elements [1] - 32:10 elevations [1] - 24:4 **Elm** [2] - 23:9, 24:20 end [8] - 9:13, 21:3, 32:12, 38:10, 40:13, 51:2, 51:4 Enter [1] - 37:14 entitled [1] - 52:22 entry [1] - 26:3 envelope [4] - 13:21, 32:19, 32:20, 40:8 especially [2] - 10:19,

16:17 essentially [1] - 9:11 European [2] - 23:12, 24:13 European -vibe [1] -24:13 exactly [1] - 23:18 except [1] - 23:19 execute [1] - 36:13 **executed** [3] - 13:11, 21:2, 23:10 **executions** [1] - 34:18 existing [1] - 4:8 experience [1] - 34:8 experiencing [1] -16:21 explain [2] - 7:18, 48:22 extended [1] - 11:9 exterior [3] - 11:4, 12:14, 19:13 extreme [1] - 11:22

#### F

face [1] - 24:14

factor [1] - 11:7 fads [1] - 12:3 fall [2] - 32:22, 33:1 fallen [2] - 4:17, 4:18 fan [1] - 17:22 far [4] - 19:13, 35:2, 35:14, 44:3 farmhouses [2] -20:22, 21:6 fast [1] - 12:3 favor [2] - 39:19, 48:17 feasible [1] - 41:3 fenestration [4] -12:18, 13:6, 15:7, 46.7 few [2] - 4:16, 47:11 field [1] - 36:16 final [2] - 27:1, 28:16 finally [1] - 39:5 finish [1] - 29:5 finished [1] - 45:19 first [3] - 22:14, 25:5, 39:11 fits [1] - 17:13 flare [1] - 13:22 flat [5] - 22:7, 26:2, 44:16, 44:17 flooded [1] - 4:15 **followed** [1] - 30:14 form [3] - 11:8, 22:3, 22:10 formula [1] - 14:2 **FORTELK** [1] - 25:4

FORTELKA [77] -	35:4	43:4	instead [3] - 34:6,	landscape [1] - 10:21
4:12, 4:15, 7:17,	glass [6] - 11:12,	hideous [1] - 18:7	34:10, 35:8	language [1] - 41:12
8:15, 8:18, 8:21, 9:2,	12:12, 12:22, 14:6,	Hinsdale [2] - 6:18,	insulating [1] - 8:16	large [2] - 5:21, 23:21
9:11, 9:16, 10:9,	16:2, 16:5	21:1	integrate [1] - 24:10	last [3] - 22:14, 27:12,
11:10, 11:16, 12:8,	God [1] - 21:7	Historic [4] - 14:10,	interested [1] - 8:12	52:4
12:12, 12:15, 13:7,	gold [1] - 51:5	17:9, 20:16, 21:12	interesting [1] - 30:6	late [1] - 51:19
13:15, 13:18, 13:20,	GONZALEZ [43] -	historic [8] - 4:22,	interim [1] - 43:10	laughing [1] - 31:5
14:3, 14:8, 14:12,	7:16, 15:20, 17:5,	17:17, 21:4, 22:20,	interior [2] - 11:4, 11:6	lean [2] - 10:11, 22:5
14:22, 15:8, 15:15,	18:11, 18:15, 23:15,	31:22, 32:21, 35:16,	interiors [1] - 10:19	least [3] - 38:8, 42:15,
16:9, 16:15, 18:2,	23:19, 24:21, 25:3,	50:14	interject [1] - 10:15	42:21
18:8, 18:13, 18:18,	25:18, 26:8, 26:17,	history [3] - 35:8,	Internet [1] - 8:10	left [2] - 5:13, 20:8
19:3, 19:11, 20:1,	30:12, 30:21, 31:2,	35:9, 35:15	invented [1] - 24:14	less [2] - 8:6, 47:1
20:17, 22:2, 22:9,	35:22, 36:8, 36:11,	hit [1] - 42:15	invited [3] - 37:17,	level [1] - 4:16
23:2, 24:8, 25:1,	36:18, 37:5, 37:17,	hodgepodge [1] -	37:19, 38:22	Levitt [1] - 4:10
25:9, 25:16, 25:20,	38:3, 38:8, 38:14,	21:3	island [1] - 35:17	light [2] - 10:22, 11:7
26:9, 27:3, 27:9,	38:21, 39:3, 39:22,	home [8] - 5:22, 6:21,		
27:12, 29:1, 29:11,	40:6, 40:12, 42:2,	17:17, 23:1, 23:4,	issue [12] - 5:6, 5:11,	lights [1] - 16:20
30:6, 31:6, 31:10,	43:1, 43:7, 43:18,	24:11, 33:5, 52:6	7:5, 19:16, 28:17,	likely [1] - 49:9
31:18, 33:8, 33:17,	44:4, 44:9, 44:17,	homes [6] - 10:16,	40:17, 43:15, 43:19,	limestone [5] - 4:1,
34:5, 34:16, 35:21,	46:21, 47:9, 47:16,	12:1, 20:6, 20:7,	43:21, 45:5	17:12, 20:3, 33:13,
36:4, 36:10, 36:12,	47:19, 48:2, 48:5,	20:8, 20:20	itself [1] - 45:7	47:22
36:22, 37:3, 37:12,	48:12			listed [1] - 22:16
37:22, 38:2, 42:3,	gray [4] - 25:9, 49:21,	honest [1] - 51:14	J	Lloyd [1] - 11:19
42:5, 42:13, 43:3,	49:22, 51:3	hope [1] - 43:8	Jim [2] - 51:20, 52:12	locked [2] - 29:9,
44:10, 44:19, 45:3,	great [7] - 8:16, 23:6,	hopefully [2] - 43:1,	job [2] - 29:21, 41:1	31:12
48:1, 48:9, 48:13,	23:10, 31:15, 32:6,	51:5	John [2] - 19:5, 31:7	look [15] - 4:4, 8:12,
52:16	42:22, 52:13	hoping [1] - 32:14	Jordan [2] - 19:14,	12:11, 17:16, 21:13,
forward [4] - 42:5,	green [5] - 18:16,	horse [1] - 20:5	36:6	23:15, 24:4, 27:22,
49:4, 49:8, 51:13	18:21, 31:16, 44:12	house [40] - 4:8, 5:1,	Judge [1] - 31:8	29:3, 29:4, 31:6,
forwarding [1] - 34:17		5:13, 5:20, 6:14,	jurisdiction [1] - 27:5	32:6, 41:9, 51:21
foundation [1] - 40:17	gritty [1] - 50:18	9:12, 10:21, 11:1,	jurisdiction [1] - 27.5	looked [2] - 4:20,
four [2] - 46:5, 47:1	ground [1] - 41:19	11:12, 12:19, 13:12,	V	24:11
frames [1] - 12:6	group [1] - 35:18	14:6, 14:12, 14:16,	K	looking [7] - 9:15,
FRANK [1] - 35:22	guess [7] - 10:5, 12:9,	15:2, 16:19, 16:21,	Kavanaugh [1] - 31:8	20:20, 23:14, 28:2,
Frank [7] - 11:19,	13:3, 19:8, 45:10,	17:6, 17:13, 19:10,	keep [1] - 29:22	33:18, 42:16, 48:11
	46:10, 46:14 gunmetal [1] - 19:20	23:8, 24:19, 25:12,	keeping [1] - 20:14	looks [5] - 12:7, 18:17,
			Recorning [1] Lo. 1	100K3 [5] - 12.1, 10.11,
29:20, 30:9, 34:3,	1 •	25:15, 25:18, 26:1,		24:7, 34:1, 48:11
37:15, 38:20, 51:20	guys [4] - 8:10, 27:5,	26:4, 30:10, 31:4,	Kenna [3] - 28:10,	
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3	1 •	26:4, 30:10, 31:4, 31:20, 31:22, 32:5,	<b>Kenna</b> [3] - 28:10, 28:11, 30:10	24:7, 34:1, 48:11
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11,	guys [4] - 8:10, 27:5, 29:16, 41:14	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8	24:7, 34:1, 48:11 <b>loop</b> [1] - 39:8
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9,	guys [4] - 8:10, 27:5,	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6	guys [4] - 8:10, 27:5, 29:16, 41:14	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] -	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14 hands [2] - 23:11,	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1,	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14  hands [2] - 23:11, 23:20  happy [2] - 27:18,	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12,	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14	guys [4] - 8:10, 27:5, 29:16, 41:14  H  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1 hybrid [3] - 11:9, 11:10, 11:18	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8 houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1 hybrid [3] - 11:9, 11:10, 11:18	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18,	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M maintained [1] - 8:3
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6,	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M maintained [1] - 8:3 market [1] - 9:1
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] -	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15   M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] -
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12,	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15   M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7,	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8 knocked [1] - 20:6	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner -coated [1] - 18:8 knocked [1] - 20:6 known [1] - 42:17	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14,
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11 heck [1] - 28:6	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11  indeed [1] - 11:10	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8 knocked [1] - 20:6	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14, 8:17, 17:10, 18:9, 18:14, 33:3, 34:18, 36:1, 41:13, 43:16,
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19 funny [1] - 37:5	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11 heck [1] - 28:6 hell [1] - 21:13	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11  indeed [1] - 11:10  influenced [1] - 9:1	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8 knocked [1] - 20:6 known [1] - 42:17 knows [1] - 21:7	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14, 8:17, 17:10, 18:9, 18:14, 33:3, 34:18,
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19 funny [1] - 37:5  G game [1] - 51:19	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11 heck [1] - 28:6 hell [1] - 21:13 HELLYER [1] - 37:2	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11  indeed [1] - 11:10  influenced [1] - 9:1  innovation [1] - 14:20	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner -coated [1] - 18:8 knocked [1] - 20:6 known [1] - 42:17	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14, 8:17, 17:10, 18:9, 18:14, 33:3, 34:18, 36:1, 41:13, 43:16,
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19 funny [1] - 37:5  G game [1] - 51:19 general [1] - 45:13	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11 heck [1] - 28:6 hell [1] - 21:13 HELLYER [1] - 37:2 help [1] - 32:13	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11  indeed [1] - 11:10  influenced [1] - 9:1  innovation [1] - 14:20  inside [2] - 10:21,	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8 knocked [1] - 20:6 known [1] - 42:17 knows [1] - 21:7	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14, 8:17, 17:10, 18:9, 18:14, 33:3, 34:18, 36:1, 41:13, 43:16, 45:7
37:15, 38:20, 51:20 frankly [2] - 4:21, 15:3 French [6] - 15:11, 23:4, 23:12, 24:9, 24:11, 35:6 French -styled [1] - 24:11 friend [1] - 40:21 front [7] - 12:18, 13:1, 31:4, 32:4, 33:12, 33:22, 44:20 frustrating [1] - 51:14 full [2] - 23:11, 51:5 full-blown [1] - 51:5 fun [1] - 14:17 function [2] - 49:7, 50:19 funny [1] - 37:5  G game [1] - 51:19	guys [4] - 8:10, 27:5, 29:16, 41:14  Haarlow [1] - 37:14 hands [2] - 23:11, 23:20 happy [2] - 27:18, 33:6 hard [2] - 4:17, 36:15 harken [1] - 25:20 hate [1] - 37:21 head [1] - 51:2 heard [4] - 6:4, 6:6, 9:3, 45:16 hearing [2] - 42:12, 52:19 heavily [1] - 24:11 heck [1] - 28:6 hell [1] - 21:13 HELLYER [1] - 37:2	26:4, 30:10, 31:4, 31:20, 31:22, 32:5, 34:1, 34:9, 34:11, 34:19, 36:6, 42:8  houses [9] - 6:9, 8:1, 12:6, 13:10, 15:21, 16:7, 17:10, 29:15, 32:1  hybrid [3] - 11:9, 11:10, 11:18  hypothetical [1] - 38:1  idea [4] - 18:19, 32:6, 32:21, 33:7  image [1] - 29:2  imposition [1] - 14:13  inch [1] - 9:11  indeed [1] - 11:10  influenced [1] - 9:1  innovation [1] - 14:20	Kenna [3] - 28:10, 28:11, 30:10 Kennas [1] - 28:8 kind [31] - 4:18, 8:7, 8:10, 8:11, 10:10, 10:11, 10:12, 11:2, 11:14, 12:15, 12:17, 13:20, 14:16, 15:6, 15:15, 16:22, 19:1, 19:22, 20:11, 23:10, 23:11, 24:12, 24:13, 25:17, 25:21, 25:22, 27:15, 29:3, 29:18, 30:15, 34:10 Kinner [1] - 18:8 Kinner-coated [1] - 18:8 knocked [1] - 20:6 known [1] - 42:17 knows [1] - 21:7	24:7, 34:1, 48:11 loop [1] - 39:8 lose [1] - 32:2 loss [1] - 15:3 lost [1] - 31:19 love [3] - 16:5, 35:9, 37:20 low [1] - 35:5 lower [2] - 4:16, 33:15  M  maintained [1] - 8:3 market [1] - 9:1 marketplace [2] - 7:20, 10:14 match [2] - 31:4, 32:8 material [11] - 8:14, 8:17, 17:10, 18:9, 18:14, 33:3, 34:18, 36:1, 41:13, 43:16, 45:7 materials [23] - 7:7,

27:3, 28:3, 28:4, 28:17, 28:20, 31:19, 32:7, 37:16, 42:7, 42:15, 45:19, 46:17, 47:10, 49:15, 51:21, 52:7 Materials [1] - 18:13 matter [2] - 19:19, 27:14 mean [11] - 11:21, 16:5, 21:5, 21:22, 22:6, 22:8, 23:21, 26:10, 33:6, 41:4, 42:11 meeting [5] - 32:7, 41:3, 42:7, 43:9, 46:17 mentality [1] - 16:5 mentioned [1] - 32:19 metal [7] - 17:21, 19:15, 19:22, 28:22, 44:2, 44:5, 44:19 might [4] - 11:13, 15:14, 27:4, 36:13 mind [2] - 20:14, 28:8 mindful [2] - 49:12, 49:13 minds [1] - 28:18 mine [1] - 16:16 mitigate [1] - 12:17 mockup [9] - 36:10, 36:11, 36:20, 36:21, 37:18, 37:20, 38:22, 51:22 mockups [2] - 37:7, 40:4 model [3] - 36:8, 36:9, 36:19 modern [12] - 10:11, 10:15, 11:11, 15:10, 20:15, 21:19, 21:21, 22:5, 22:8, 23:20, 24:10, 24:16 modernity [1] - 11:3 moment [1] - 40:2 momentary [1] - 21:8 monochromatic [1] -25:10 month [2] - 45:19, 49:18 months [1] - 30:1 most [4] - 10:10, 17:9, 18:17, 49:9 motion [9] - 38:19, 38:21, 39:15, 46:15, 47:6, 48:14, 48:15, 51:12, 52:9 motions [1] - 39:13 move [1] - 37:11 moves [1] - 12:18

moving [2] - 37:9, 42:5 MR [186] - 4:7, 4:12, 4:13, 4:15, 4:22, 5:4, 5:9, 7:16, 7:17, 8:15, 8:18, 8:21, 9:2, 9:7, 9:11, 9:14, 9:16, 9:17, 9:21, 10:2, 10:9, 11:10, 11:16, 12:8, 12:12, 12:15, 13:7, 13:15, 13:18, 13:20, 14:3, 14:8, 14:12, 14:22, 15:8, 15:15, 15:20, 16:4, 16:9, 16:10, 16:15, 17:4, 17:5, 17:8, 17:22, 18:2, 18:8, 18:11, 18:13, 18:15, 18:18, 19:1, 19:3, 19:5, 19:11, 20:1, 20:17, 21:10, 21:18, 22:2, 22:9, 23:2, 23:15, 23:19, 24:8, 24:21, 25:1, 25:3, 25:4, 25:9, 25:16, 25:18, 25:20, 26:8, 26:9, 26:17, 27:3, 27:9, 27:12, 27:17, 29:1, 29:8, 29:11, 29:14, 30:6, 30:7, 30:12, 30:13, 30:17, 30:19, 30:21, 30:22, 31:2, 31:3, 31:6, 31:10, 31:11, 31:18, 32:3, 33:8, 33:11, 33:17, 33:18, 34:5, 34:12, 34:16, 35:1, 35:21, 35:22, 36:4, 36:8, 36:10, 36:11, 36:12, 36:18, 36:22, 37:2, 37:3, 37:5, 37:12, 37:15, 37:17, 37:19, 37:22, 38:1, 38:2, 38:3, 38:4, 38:7, 38:8, 38:14, 38:20, 38:21, 39:1, 39:3, 39:14, 39:18, 39:22, 40:2, 40:6, 40:10, 40:12, 40:13, 40:19, 41:6, 41:22, 42:2, 42:3, 42:5, 42:13, 42:20, 43:1, 43:3, 43:7, 43:18, 44:4, 44:9, 44:10, 44:17, 44:19, 45:3, 45:12, 45:17, 46:2, 46:9, 46:12, 46:21, 46:22, 47:5, 47:9, 47:14, 47:16, 47:17, 47:19, 47:22, 48:1,

48:2, 48:4, 48:5,

48:9, 48:10, 48:12, 48:13, 48:15, 52:13, 52:16 MS [51] - 5:3, 5:12, 5:17, 6:7, 6:11, 6:16, 6:22, 15:13, 18:4, 21:21, 22:1, 22:6, 22:11, 22:15, 23:18, 24:7, 25:7, 26:12, 26:16, 27:19, 28:20, 30:15, 30:18, 32:16, 32:17, 33:2, 38:5, 38:17, 39:9, 39:12, 39:15, 42:22, 43:11, 43:14, 43:22, 44:1, 44:7, 44:11, 44:15, 44:22, 45:5, 45:8, 45:10, 46:20, 47:8, 48:14, 48:16, 48:21, 50:3, 50:7, 50:10 multitiered [1] - 11:2

#### Ν

nail [1] - 37:1 name [8] - 11:14, 11:17, 15:3, 15:6, 15:16, 15:17, 17:18, 29.18 names [1] - 29:18 natural [2] - 8:13, 20:2 Nay [2] - 48:20, 48:21 necessarily [2] -18:21, 34:5 need [1] - 51:16 needs [2] - 20:19, 47:17 neighborhood [8] -14:13, 14:14, 21:5, 23:6, 29:12, 34:21, 35:1. 35:16 net [1] - 21:11 never [3] - 41:8, 41:22, 42:1 Never [1] - 42:2 new [3] - 20:6, 24:17, 35:10 New [1] - 22:17 newer [2] - 5:21, 17:10 next [2] - 43:9, 46:16 nice [2] - 17:6, 35:22 nicely [1] - 16:1 **nitty** [1] - 50:18 **nitty-gritty** [1] - 50:18 **none** [1] - 5:3 Norman [1] - 15:11 norms [1] - 35:12 **north** [2] - 5:14, 5:16 nothing [2] - 30:2, 30:14

numbers [1] - 24:6

Oak [1] - 18:5

#### 0

obviously [1] - 20:11

odd [1] - 12:2 off-white [1] - 44:10 offer [1] - 39:7 office [1] - 10:3 often [1] - 27:20 old [6] - 5:13, 8:2, 9:18, 25:14, 25:18, 34:19 onboard [1] - 43:5 Once [1] - 9:7 one [14] - 5:14, 6:1, 6:2, 6:6, 6:11, 6:13, 11:22, 14:8, 20:21, 24:5, 27:12, 28:7, 30:3, 45:19 One [1] - 22:15 ones [1] - 23:8 opine [1] - 51:18 **opinion** [1] - 19:5 opinions [1] - 39:7 opportunity [3] -10:14, 13:9, 38:9 opposed [2] - 34:1, 48:19 options [2] - 45:1, 49:16 ordinance [3] - 20:14, 38:13, 47:4 origin [2] - 10:8, 11:13 outside [1] - 9:12 overboard [1] - 13:2 overlap [1] - 24:22 **own** [2] - 16:14, 35:15

#### Ρ

page [1] - 29:2 paint [5] - 27:14, 29:19, 29:20, 31:22, 36:17 painted [1] - 30:5 painting [1] - 27:13 pajamas [1] - 15:22 Park [1] - 39:16 part [4] - 9:22, 33:11, 38:9, 39:11 passion [1] - 16:16 past [1] - 7:7 path [1] - 21:8 Patrick [4] - 4:7, 16:8, 19:7, 52:15 people [8] - 8:6, 15:5, 15:22, 16:10, 17:16, 18:17, 40:22, 41:17

percent [1] - 33:8 perhaps [1] - 42:6 permit [3] - 40:11, 41:8. 41:10 permits [4] - 40:17, 40:18, 41:7, 41:20 person [1] - 29:17 personal [1] - 31:7 photos [1] - 8:9 pick [2] - 32:9, 51:3 picking [1] - 24:12 pictures [2] - 29:5, 31:7 plan [2] - 33:5, 41:15 **plans** [3] - 4:4, 20:20, 24:3 pleasant [1] - 11:5 plopped [1] - 21:1 point [10] - 12:5, 17:15, 17:19, 24:2, 29:10, 30:4, 37:7, 42:20, 46:22, 47:2 porch [2] - 30:16, 34:2 porches [1] - 33:12 potentiality [1] - 26:20 power [1] - 32:2 practical [1] - 45:22 prefer [1] - 51:8 present [1] - 45:20 presented [2] - 34:11, preserve [1] - 22:13 pretty [5] - 18:9, 25:13, 27:4, 42:16, 44:13 PRISBY [61] - 4:7, 4:13, 4:22, 5:4, 5:9, 9:7, 9:14, 9:17, 9:21, 10:2, 16:4, 16:10, 17:4, 17:8, 17:22, 19:1, 19:5, 21:10, 21:18, 27:17, 29:8, 29:14, 30:7, 30:13, 30:17, 30:19, 30:22, 31:3, 31:11, 32:3, 33:11, 33:18, 34:12, 35:1, 37:15, 37:19, 38:1, 38:4, 38:7, 38:20, 39:1, 39:18, 40:2, 40:10, 40:13, 40:19, 42:20, 45:12, 45:17, 46:2, 46:9, 46:12, 46:22, 47:5, 47:14, 47:17, 47:22, 48:4, 48:10, 48:15, 52:13 private [1] - 16:12 problem [4] - 4:20, 20:22, 49:16, 49:18

proceedings [1] -

52:21 process [7] - 19:14, 26:16, 34:6, 34:8, 50:9, 50:11, 52:5 **product** [2] - 9:8, 9:10 professionals [1] -35.8 properly [1] - 8:3 property [1] - 34:22 propose [1] - 28:18 proposing [1] - 25:8 propositions [1] -19:12 provincial [1] - 23:4 **public** [1] - 52:19 **pull** [1] - 40:11 pulled [2] - 17:18, 42.18 purchase [1] - 18:15 purchased [1] - 5:22 purple [1] - 31:22 **pushing** [3] - 13:20, 32:19, 32:20 put [3] - 15:22, 36:5, 51:12

#### Q

quadrant [1] - 14:5 questioning [1] -45:11 quite [1] - 36:12

#### R

rail [1] - 31:3 raw [2] - 29:22, 48:8 reaction [1] - 25:5 real [8] - 7:14, 7:15, 7:17, 7:22, 9:14, 20:1, 28:13, 36:10 realistically [1] -49:14 really [12] - 4:13, 10:13, 11:16, 16:4, 28:22, 32:13, 34:2, 34:18, 34:20, 37:5, 44:15, 51:18 realtor [1] - 7:4 rebuilding [1] - 6:17 recessed [1] - 33:14 recognizable [2] -11:8, 22:9 record [1] - 50:6 recycled [1] - 29:18 red [2] - 32:8, 35:4 referencing [2] - 23:8, 24:9 relate [2] - 10:17, 25:2 relegated [1] - 23:3

relevant [1] - 10:13 reliant [1] - 33:3 remark [1] - 28:11 remind [1] - 24:2 reminds [1] - 23:16 renovated [1] - 25:12 represented [1] -28:10 request [1] - 6:19 requesting [1] - 8:6 requests [1] - 13:6 requirements [1] residential [2] - 22:10, 41:7 residentially [1] - 41:5 resources [1] - 50:21 respect [1] - 34:13 respectful [1] - 27:21 review [5] - 29:21, 41:6, 46:17, 49:6, 51:1 reviews [1] - 19:6 revised [1] - 41:15 ring [1] - 24:5 risk [1] - 12:22 roaring [1] - 25:22 Robbins [3] - 14:4, 14:10, 20:16 Rohe [2] - 11:21, 11:22 roof [22] - 4:1, 17:21, 19:15, 19:22, 25:8, 26:2, 28:22, 33:15, 36:7, 44:2, 44:5, 44:14, 44:17, 44:20, 45:4, 47:12, 48:4, 48:5, 50:2, 50:3, 50:5, 51:4 roofing [1] - 42:14 roofs [2] - 29:6, 44:16 room [1] - 10:20 rough [1] - 14:8 rule [1] - 27:16 rumor [1] - 6:5 running [1] - 41:17

#### S

sage [1] - 31:16 sample [4] - 42:10, 47:18, 47:19, 48:2 samples [5] - 19:15, 37:13, 42:14, 43:2, 43:8 schooled [1] - 10:12 scroll [1] - 29:1 seam [1] - 17:21 seams [1] - 19:22 Second [1] - 39:17 second [3] - 39:18, 47:7, 48:16 section [1] - 33:19 see [27] - 7:1, 10:18, 12:1, 13:10, 15:22, 16:2, 16:10, 19:13, 20:5. 20:13. 24:3. 28:20, 37:17, 37:19, 38:22, 39:4, 44:18, 44:19, 45:4, 47:3, 47:10, 47:14, 48:5, 48:6, 50:14, 51:6 seeing [5] - 7:9, 7:11, 8:5, 10:2, 12:2 selected [3] - 26:17, 28:3, 28:4 selection [1] - 33:3 **sense** [4] - 26:6, 36:1, 46:19, 46:21 **separate** [1] - 39:12 series [1] - 34:17 serve [1] - 52:18 several [2] - 23:5, 47:12 **Shannon 's** [1] - 29:10 **shape** [3] - 4:9, 4:11, 5:10 shingle [2] - 48:4, 48:5 **show** [2] - 36:19, 37:10 **side** [3] - 5:21, 21:21, 31:3 sides [1] - 44:21 siding [2] - 48:6, 48:7 signed [1] - 29:12 significance [1] - 5:1 similar [2] - 18:4, 24:4 simple [1] - 42:17 site [1] - 29:21 six [1] - 30:1 skim [1] - 7:21 slate [5] - 4:1, 25:8, 25:9, 29:6, 49:21 sleep [1] - 15:5 slip [1] - 14:16 smaller [1] - 36:14 solid [1] - 17:10 sometimes [2] - 7:4, 51:13 somewhat [1] - 27:20 **sort** [7] - 11:9, 12:7, 19:16, 19:19, 20:2, 23:12, 42:15 sound [1] - 52:12 sounds [1] - 44:7 **South** [1] - 39:16

spent [1] - 35:7 spite [1] - 14:14 **spray** [1] - 38:3 stage [1] - 41:20 stained [1] - 48:8 stand [1] - 52:10 standard [2] - 35:11, 44.13 standards [4] - 22:20, 32:18, 32:22, 33:1 standing [2] - 17:21, 19:22 standpoint [3] - 6:4, 12:10, 34:12 **stands** [1] - 36:6 start [4] - 4:5, 39:9, 46:14.50:6 started [2] - 40:11, starting [3] - 10:17, 16:18, 40:22 step [2] - 20:21, 45:12 sterile [1] - 9:18 **stigma** [1] - 7:6 still [12] - 14:16, 18:14, 19:15, 30:22, 31:1, 31:2, 35:15, 37:6, 38:6, 40:7, 40:13 stone [8] - 8:6, 28:12, 33:5, 42:8, 47:20, 48:1, 48:2, 48:3 store [1] - 36:17 street [4] - 6:12, 6:14, 16:11, 16:22 Street [2] - 14:7, 28:10 Streetscape [1] -27:11 streetscape [4] - 6:20, 23:3, 27:15, 32:9 streetscapes [1] -22:20 **strikes** [1] - 12:2 stucco [28] - 7:1, 7:5, 7:14, 7:15, 7:18, 7:22, 8:2, 8:13, 8:20, 9:1, 9:14, 10:3, 17:11, 19:14, 20:2, 22:7, 29:5, 33:7, 36:15, 41:13, 42:19, 43:19, 44:4, 44:8, 47:13, 49:3, 49:4, 49.19 stuck [1] - 20:11 studied [1] - 24:1 **studying** [1] - 23:2 **stuff** [3] - 9:17, 9:18, 30:19 **style** [5] - 15:2, 23:4,

48:6

24:6, 33:2, 51:7 styled [1] - 24:11 styles [2] - 11:18, 22:19 styrofoam [1] - 7:21 subject [1] - 30:8 submit [1] - 41:11 suburban [1] - 23:13 **suburbs** [1] - 10:13 suggestion [1] - 42:3 suggestions [1] -31:21 superstructure [1] -40:18 system [2] - 8:1, 8:4 Т tall [1] - 36:7 Tavern [1] - 35:21 tendency [1] - 15:16

term [1] - 23:14 terms [1] - 6:20 terrific [3] - 8:1, 9:8, 31:16 thinking [2] - 17:16, 21:18 thoughts [1] - 39:7 three [2] - 6:9, 42:15 throw [1] - 15:8 tired [1] - 35:3 today [3] - 49:2, 49:16, 49:17 together [3] - 19:15, 36:5, 51:16 tolerated [1] - 14:11 tonight [2] - 43:4, 51:11 took [1] - 12:21 torn [1] - 6:9 touchy [2] - 29:14, 30.8 towards [1] - 12:21 town [5] - 7:2, 7:10, 12:7, 16:6, 51:8 traditional [7] - 10:16, 11:12, 11:22, 14:1, 20:6, 20:8, 22:3 transitional [2] - 15:9, 15:11 transparency [1] -17:1 trashed [1] - 4:12 tripping [1] - 21:8 true [2] - 37:2, 40:7 try [1] - 10:15 trying [14] - 11:18, 14:15, 14:21, 15:16, 17:1, 22:12, 25:20, 26:4, 26:5, 26:9,

south [4] - 5:21, 6:2,

specification [1] -

14:6

35:9, 40:3, 40:10, 51:17 tucked [2] - 18:2, 44:20 tudor [2] - 23:4, 34:19 tudor-style [1] - 23:4 tudorish [1] - 32:10 turn [2] - 12:20, 16:18 turns [1] - 34:10 two [6] - 5:15, 23:8, 29:2, 33:12, 39:12, 41:20 two-page [1] - 29:2 two-stage [1] - 41:20 type [2] - 13:6, 24:1 typically [4] - 13:8, 36:5, 36:22, 45:4

#### U

ultimately [4] - 22:6, 31:20, 49:8, 50:4 under [3] - 24:1, 34:7, 46:15 understood [2] -20:17, 48:9 unfortunately [1] -41:6 unfriendly [1] - 34:9 unique [1] - 33:19 unless [1] - 52:7 **up** [15] - 7:10, 11:8, 21:3, 24:13, 29:1, 30:14, 31:9, 32:9, 32:12, 34:7, 35:9, 38:18, 40:14, 43:5, 51:4 upgrades [1] - 41:2

#### ٧

valuable [1] - 51:18 values [1] - 34:22 Van [2] - 11:21, 11:22 variations [1] - 49:3 vibe [2] - 24:13, 25:22 Village [2] - 30:3, 49:9 vote [1] - 46:13 votes [2] - 46:5, 47:1 voting [1] - 50:20

#### W

walking [2] - 15:22, 34:7 wall [1] - 33:18 walls [2] - 33:13, 33:22 Walter [1] - 23:20 warm [1] - 9:14 warmth [1] - 16:20 wary [1] - 9:3 waste [2] - 50:21, 50:22 wasted [1] - 51:10 ways [1] - 20:12 weather [1] - 16:17

ways [1] - 20:12 weather [1] - 16:17 week [1] - 4:9 WEINBERGER [23] -5:12, 5:17, 6:11, 6:16, 23:18, 24:7, 25:7, 26:12, 27:19, 30:15, 30:18, 32:16, 33:2, 38:5, 39:12, 42:22, 43:11, 44:15, 46:20, 47:8, 48:14,

48:16, 50:7 Welden [1] - 6:14 well-executed [1] -21:2

west [1] - 5:21 western [2] - 10:13, 23:13

- 23:13 white [4] - 12:6, 30:1, 30:2, 44:10

western -suburban [1]

**whole** [3] - 33:14, 34:14, 47:18

**WILLAMS** [1] - 6:7 **WILLIAMS** [7] - 5:3, 15:13, 22:15, 32:17,

38:17, 43:14, 43:22

**Willoughbys** [1] - 23:20

Window [1] - 47:16 window [8] - 12:6, 22:4, 25:17, 29:6, 35:5, 42:14, 47:13, 47:14

windows [7] - 10:7, 11:9, 12:2, 21:6, 22:8, 23:21, 49:20

winter [1] - 16:19 wondered [2] - 15:4, 15:20

**word** [3] - 5:9, 15:9, 15:10

worse [2] - 13:14, 13:17

wow [1] - 15:13 Wright [1] - 11:20 wrote [1] - 23:17

#### Υ

yard [1] - 16:11 years [9] - 6:3, 7:7, 8:2, 17:16, 20:9, 24:15, 25:19, 35:3, 52:4 York [1] - 35:21 YU [3] - 39:14, 41:6, 41:22

#### Ζ

**zinc** [2] - 19:16, 49:17

KATHLEEN W. BONO, CSR 630-834-7779



#### **MEMORANDUM**

**DATE:** November 7, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 30 E. Hinsdale Ave. – Yankee Peddler – 1 New Awning Sign

Case A-44-2018

#### **Summary**

The Village of Hinsdale has received a sign application from Chesterfield Awning Co., on behalf of the Yankee Peddler, requesting approval to install 1 new awning sign at 30 E. Hinsdale Avenue, within the Historic Downtown District in the B-2 Central Business District.

#### **Request and Analysis**

The requested awning sign is proposed to be located on the front building facade. The fabric of the awning is "Sunbrella Aquamarine" and the text and logos on the awning valance is white. The text is 8.2" tall by 3'- 1" wide for an area of 2.05 SF. The elephant logo is 7" tall by 1-foot wide for an area of .58 SF. The combined area of signage on the front and side awning valances equals approximately 5.94 SF. The proposed awning sign is code compliant for a multi-tenant building in the B-2 Central Business District.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

#### Attachments:

Attachment 1 – Sign Application and Exhibits

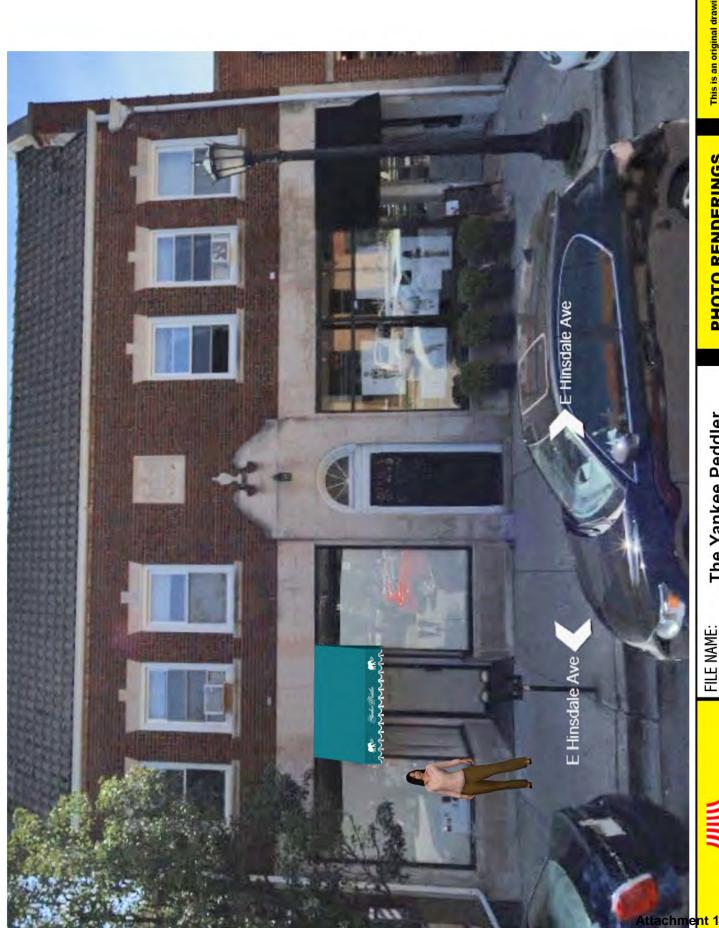
Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 30 E. Hinsdale Ave.



#### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor			
Name: Yunke Pedder  Address: 30 Eurst Handall Ave  City/Zip: Handall , 14, 405,24  Phone/Fax(60) 15, 0095,  E-Mail: Blue Loring grave. Com  Contact Name: Starylorin / Ruhandta  ADDRESS OF SIGN LOCATION:  ZONING DISTRICT: Please Select One 3-2  SIGN TYPE: Please Select One Awing or				
ILLUMINATION Please Select One $\omega/\Omega$				
Sign Information:  Overall Size (Square Feet): (20 x 24)  Overall Height from Grade: 1221 ncl Ft.  Proposed Colors (Maximum of Three Colors):  Aquamarane  until Lettering	Site Information:  Lot/Street Frontage:			
I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.  Signature of Applicant  Date  FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE  Total square footage:   x \$4.00 = 0				
Plan Commission Approval Date: Ac	dministrative Approval Date:			



**GRAPHICS APPROVAL** PHOTO RENDERINGS NOT TO BE USED AS

The Yankee Peddler

08-15-208 08/24/2018

D.A.

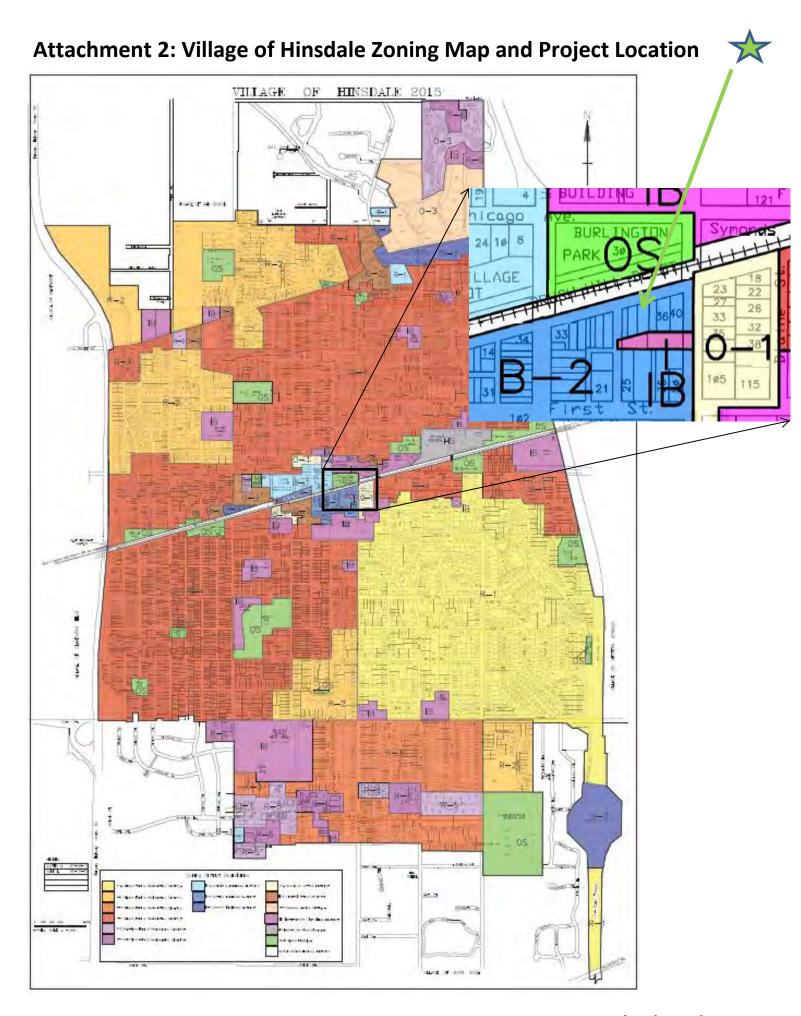
colors and Sizes are representative only THIS DRAWING IS NOT TO SCALE for true colors, please see fabric sample

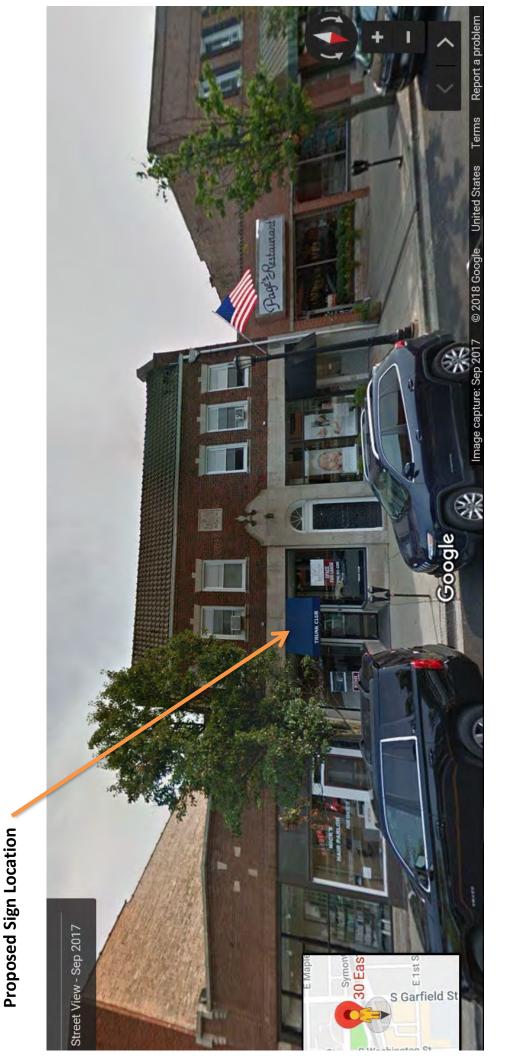
16999 Van Dam Road South Holland, IL 60473 Cherterfield Runing Co. graphics@chesterfieldawning.com P:708-596-4434 F:708-596-9469

Graphic Artist: Matt Coglianese

Awning Company, Inc. expects to be reimbursed \$250.00 in compensation for the time and effort entailed in createing this drawing. being planned for you by Chesterfield Awning Company, Inc. It is not to be used, reproduced, copied or exhibited in any fashion. In the event any of the above occurs, Chesterfield

This is an original drawing, created by Chester-field Awning Company, Inc. It is being submitted for your personal use in connection with a project





Street View of 30 E. Hinsdale Ave. (facing south) Attachment 3:



#### **MEMORANDUM**

**DATE:** November 7, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 16 E. First Street – Mucci Di Firenze – 1 New non-Illuminated Wall Sign

Case A-46-2018

#### **Summary**

The Village of Hinsdale has received a sign application from Cynosure, on behalf of Mucci Di Firenze, requesting approval to install 1 new non-illuminated wall sign at 16 E. First Street, within the Historic Downtown District in the B-2 Central Business District. On October 10, 2018, the Plan Commission supported the proposed sign unanimously.

#### **Request and Analysis**

The requested wall sign is proposed to be located on the front building facade. The panel material is aluminum composite with vinyl lettering. It would display gold text on a green sign backing. The proposed wall sign is 2'-9" tall and 5'-11" wide for an area of 16.4 SF (includes sign backing). Per the Code, a multi-tenant building is permitted to request for 25 SF per tenant.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

#### Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 16 E. First Street



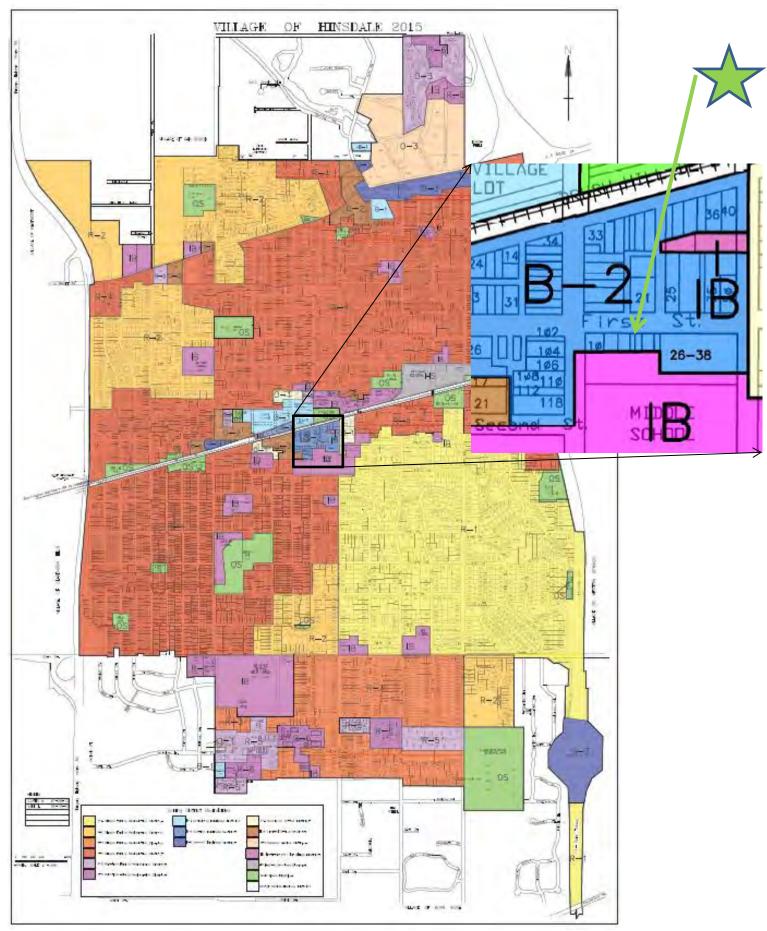
#### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor			
Name: MUCCI DI FIRENZE Address: Le E 15TST  City/Zip: HMSdall II 60521  Phone/Fax: 630 248 19619  E-Mail: Maherrahman MSN.com  Contact Name: Maherrahman	Name: Cynosure  Address: 2300 Wixmsin Net 316  City/Zip: Duwrow Gare Ic 6000  Phone/Fax: 630 986 / 1321  E-Mail: Cynosure Signs & Stagland  Contact Name: Rusty			
ADDRESS OF SIGN LOCATION:   E   STREET, HINS DALE ZONING DISTRICT: Please Select One RETAIL SIGN TYPE: Please Select One ILLUMINATION Please Select One				
Sign Information: (33.25 × 71) Overall Size (Square Feet): 6.4 (33.5 × 74) Overall Height from Grade: 10 Ft.  Proposed Colors (Maximum of Three Colors):  OAREEN  OAREEN  OAREEN	i i			
and agree to comply with all Village of Hinsdale Ordin  Signature of Applicant  Signature of Building Owner  FOR OFFICE USE ONLY – DO NOT WRITE BE  Total square footage:   x \$4.00 =	$\frac{8/28/18}{28/8}$ That $\frac{3/28/8}{28}$ Show this line			



## **Attachment 2: Village of Hinsdale Zoning Map and Project Location**





Google **Proposed Sign Location** ... • 2 Cartield S Scoogle, Inc. 16 E 1st St

Street View of 16 E. 1<sup>st</sup> St. (facing south) Attachment 3:

Attachment 3



# **MEMORANDUM**

**DATE:** November 7, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 45 S. Washington Street – Lepa Boutique & Decor – 1 New non-Illuminated Wall Sign

Case A-48-2018

# **Summary**

The Village of Hinsdale has received a sign application from IC Signs & Graphics, on behalf of Lepa Boutique & Decor, requesting approval to install 1 new non-illuminated wall sign at 45 S. Washington Street, within the Historic Downtown District in the B-2 Central Business District.

# **Request and Analysis**

The requested wall sign is proposed to be located on the front building facade. The panel frame and face material is aluminum. It would display white text on a black sign backing. The proposed wall sign is 1' tall and 15' wide for an area of 15 SF (includes sign backing). Per the Code, a multi-tenant building is permitted to request for 25 SF per tenant.

# **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

# Attachments:

Attachment 1 – Sign Application and Exhibits

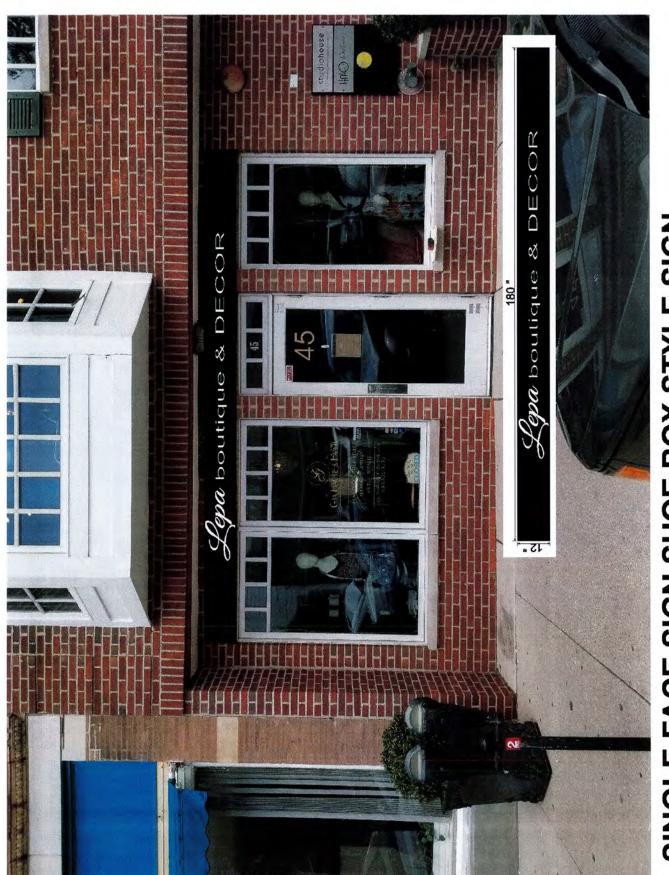
Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 45 S. Washington Street



# VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

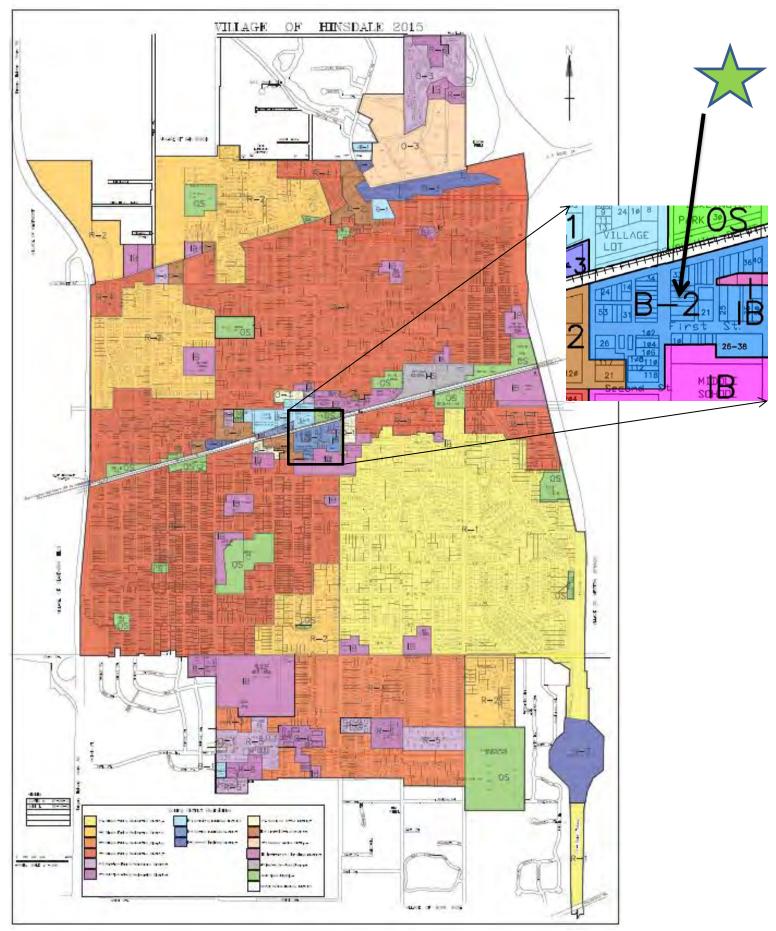
Applicant John Miller 815-376-5927  Name: Louis Masco  Address: 2747 York Street  City/Zip: Blue Island II  Phone/Fax: (108) 388-1598/328-3536  E-Mail: Loug Liberaty Flagano Bannel Cor  Contact Name: Louis Masco	Contractor John Hiller 815-370-59277  Name: Louis Masco  Address: 2747 York STREET  City/Zip: Blue Is (AND Il 60406  Phone/Fax: (108) 388-1598/ 322-3536  E-Mail: Lou@liberty Flag And Brinner  Contact Name: Louis Hasco
ADDRESS OF SIGN LOCATION: 45 South ZONING DISTRICT: Please Select One Down SIGN TYPE: Please Select One Stop Box I ILLUMINATION Please Select One Nov - 1	N'town Flat Wall *Illumination cannot exceed 50 foot-
Sign Information:  Overall Size (Square Feet): 150 (1x15)  Overall Height from Grade: 9' Ft.  Proposed Colors (Maximum of Three Colors):  Black 2"x2"x3/16  Aluminum Frame  OSO mattiblack  Aluminum Face	Site Information: Lot/Street Frontage: Building/Tenant Frontage: Existing Sign Information: Gia Haste & Home Business Name: Size of Sign: 188 Square Feet Business Name: GIA HASTE & Home Size of Sign: 288 Square Feet Size of Sign: 288 Square Feet
	28-18 2/29/16 W THIS LINE
Plan Commission Approval Date: Admi	nistrative Approval Date:



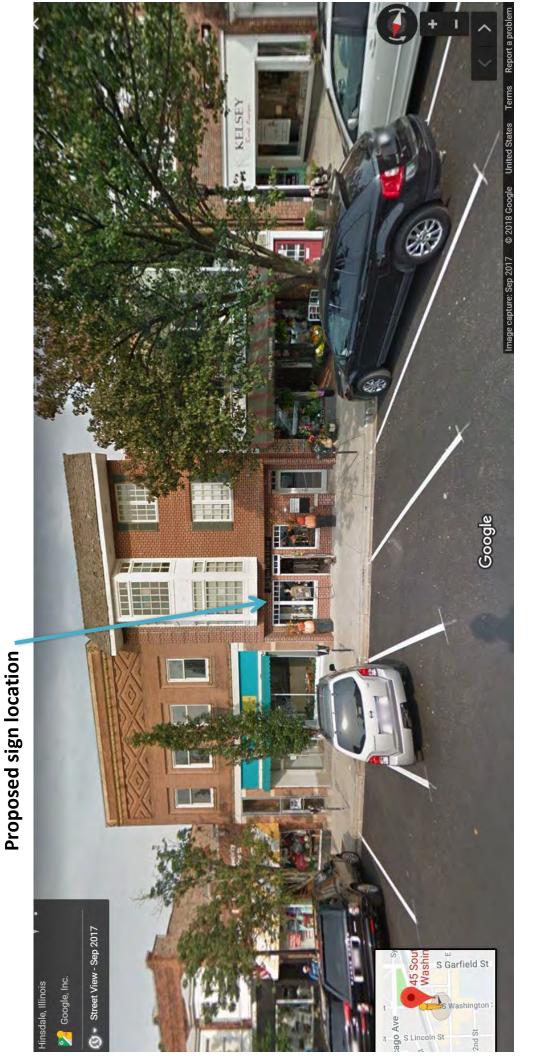
SINGLE FACE SIGN SHOE BOX STYLE SIGN NON-ILLUMINATED COPY 15 SQ FT MATTE BLACK BACKGROUND 1/2" RAISED ACRYLIC LETTERING WHITE COPY

# **Attachment 2: Village of Hinsdale Zoning Map and Project Location**





Attachment 3: Street View of 45 S. Washington Street (facing east)



# VILLAGE OF Linsdale Est. 1873

# **MEMORANDUM**

**DATE:** November 7, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 736 S. Park Street – Case HPC-07-2018 - Application for Certificate of Appropriateness to

Demolish and Construct a New Home in the Robbins Park Historic District

\*Continued from October 3, 2018, HPC meeting\*

# **Summary**

The Village of Hinsdale has received an application from J. Jordan Homes, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

At the October 3, 2018, HPC meeting, the HPC continued the public hearing to review the final colors for various elements of the proposed home. The applicant has submitted an exhibit illustrating the colors of the slate roof, metal roof/gutters, cut stone trim/coping, stucco and window cladding to review at the November 7, 2018, HPC meeting.

# **Request and Analysis**

The subject property is located on an interior lot on 736 S. Park Street. The existing home was constructed in 1916 in a Tudor Revival style according to the National Register of Historic Places, and both the home and detached garage are contributing structures in the Robbins Park Historic District. The applicant has included front, rear and side elevation photos of the existing home, and east and south elevation illustrations of the proposed new house.

The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 20,224 SF in area. The lot is approximately 206 feet deep and 98 feet wide.

# **Process**

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic



# **MEMORANDUM**

district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 3.

# **Attachments:**

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Title 14, Section 14-5-2: Criteria (A) and (B)





cutstone trim & coping

metal roof, gutters, & downspouts - aged bronze

slate roof - weathering grey

stucco veneer

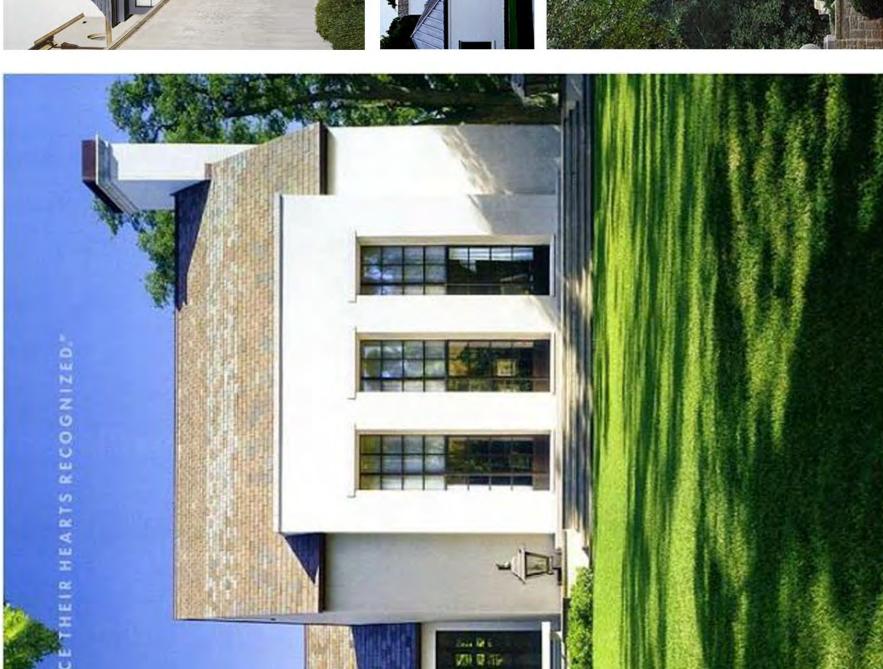


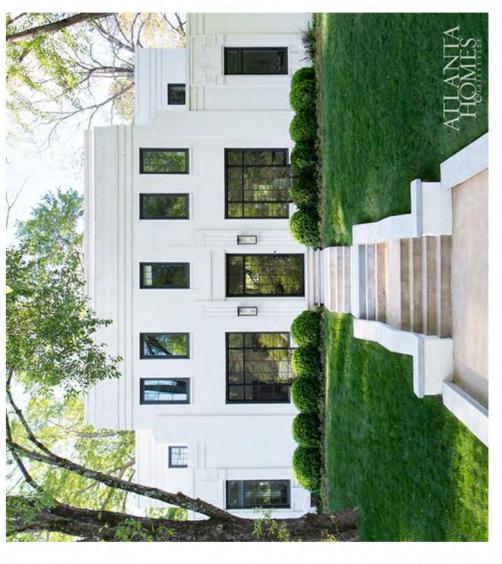
Attachment 1

www.momentdes

ARCHITECTURE

630 828 8161











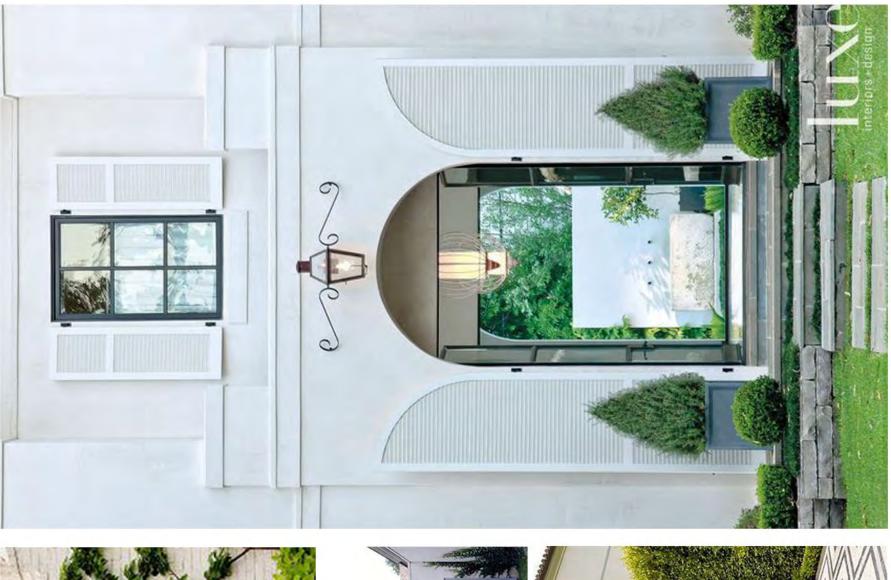
# Ш Z — TURE T E C A R 6 3 0

www.momentdes

 $\infty$ 8

Attachment 1















August 15, 2018

Mr. Chan Yu

Village Planner

Village of Hinsdale

19 E Chicago Avenue

Hinsdale, IL 60521



RE: 736 S Park Street, Hinsdale, IL – Certificate of Appropriateness

Dear Mr. Yu,

Attached you will find the following items for 736 S Park Street:

(7) FULL sets for the Committee Members consisting of:

~Certificate of Appropriateness application

~Architectural Drawing (East and South Elevations)

~Plat of Survey

~Photos

~Plans

(20) sets of same - 8 1/2" x 11"

I can be reached at 312-320-9990 with any questions and am available to meet with anyone at the job site to discuss the project as well.

After your review, please let me know if you need anything else.

Sincerely,

J JORDAN HOMES LLC

Julie J Laux

Managing Member

# VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Addre: Prope	rty Identification Number: <u>09-12-404-01</u>
l <b>.</b>	GENERAL INFORMATION
	Applicants Name: J Jordan Homes LLC  Address: 112 S Grant St.  Hinsdale, 72 60521  Telephone Number: Julie - 312-320-9990
2.	Owner of Record (if different from applicant): John Thomas Paolella Trus Address: 267 Benton Lane Bloomingdal, IL 60108 Telephone Number: 847 = 278 - 272 4
3.	Others involved in project (include, name, address and telephone number):  Architect: Moment. Descrip - 201 E. Ogden Ave., Ste. 20.  (Linsdale, Include - 201 E. Ogden Ave., Ste. 20.  (Linsdale, Include - 201 E. Ogden Ave., Ste. 20.  (Linsdale, Include - 201 E. Ogden Ave., Ste. 20.  Park Rd., 1st Floor, Chicago 60641 773-853-2381  Builder: Jordan 1-tomes LLC-112 Scrant St.  [Hinsdale, Include - 212-320-9990]  Engineer: Engineering Resources Associates 35701 West  Ave., Ste. 150, Warrenville, Includes 555
	E INFORMATION
1.	Describe the existing conditions of the property: aga, unkept, not well  Maintained
2.	Property Designation:
	Listed on the National Register of Historic Places?YESNO
	Listed as a Local Designated Landmark? YESNO
·	Located in a Designated Historic District? YESNO

Successive Applications. Has all or any part of the property been the subjet another application for a Certificate of Appropriateness under Title XIV of the VicCode of Hinsdale within the last two years?  Vo Yes  If yes, state the date of the formal hearing and a statement explaining any relevative evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.	alteratio necessa	
Successive Applications. Has all or any part of the property been the subjet another application for a Certificate of Appropriateness under Title XIV of the VicCode of Hinsdale within the last two years?		New residence - See plans
another application for a Certificate of Appropriateness under Title XIV of the VI Code of Hinsdale within the last two years?		attached.
another application for a Certificate of Appropriateness under Title XIV of the VI Code of Hinsdale within the last two years?		
If yes, state the date of the formal hearing and a statement explaining any relevative evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village	anothe	r application for a Certificate of Appropriateness under Title XIV of the Viff Hinsdale within the last two years?
	eviden conside	state the date of the formal hearing and a statement explaining any relev ce supporting, the reasons why the Applicant believes the Village should er this application at this time, pursuant to Section 14-3-10 of the Village

# CERTIFICATION

MY COMMISSION EXPIRES:09/24/19

The Applicant hereby acknowledges and agrees that:

- The statements contained in this application are true and correct to the best of the Α. Applicant's knowledge and belief;
- The Applicant will provide the Village with all additional information, as required, B. prior to the consideration of, or action on, this application;
- The Applicant shall make the property that is the subject of this application available C. for inspection by the Village at reasonable times;
- If any information provided in this application changes or becomes incomplete or D. inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- If the Applicant fails to provide any of the requested information, or any other E. requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

×	INDIVIDUAL OWNERS  Signature of Applicant  CORPORATION	Signature of Applicant
	Signature of Applicant's President	Signature of Applicant's Secretary
	□ PARTNERSHIP	
	Signature of Applicant	Signature of Applicant
	Signature of Applicant	Signature of Applicant
	LAND TRUST	OTHER
	Signature	Signature of Authorized Officer
9	SUBSCRIBED AND SWORN to before me this	Marjorie & Cantrell Notary Public
	MARJORIE E CANTRELL NOTARY PUBLIC - STATE OF ILLINOIS	4



ARCHITECTURE + INTERIORS 630 828 8161 www.momenidesign.net S W

j.jordan homes 736 s. park avenue hinsdale 05 18 18

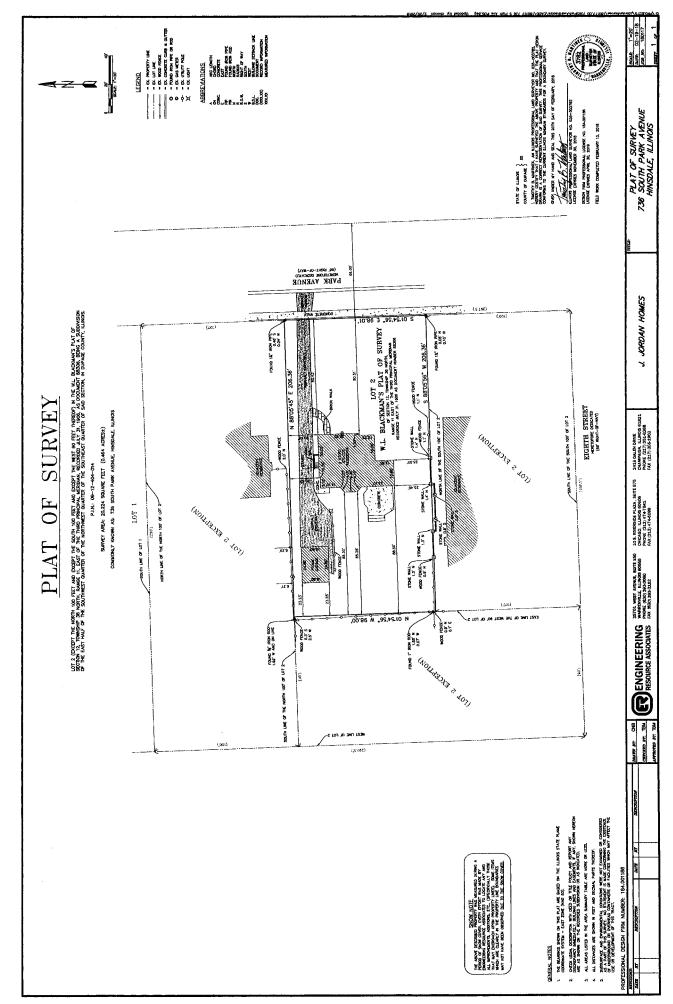


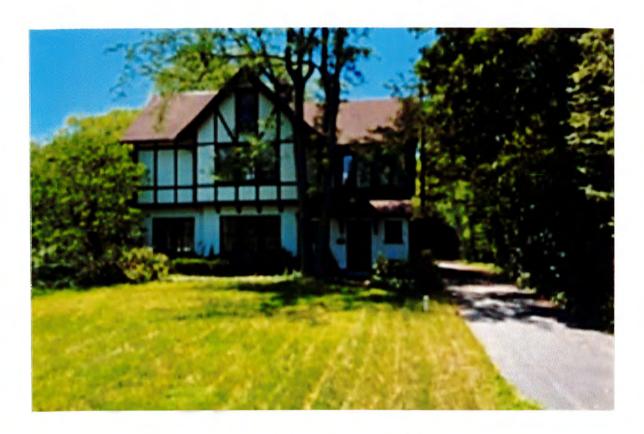
j.jordan homes 736 s. park avenue hinsdale 05 18 18

ARCHITECTURE + INTERIORS 630 828 8161 www.momentdesign.net

DESIGN

**Attachment 1** 





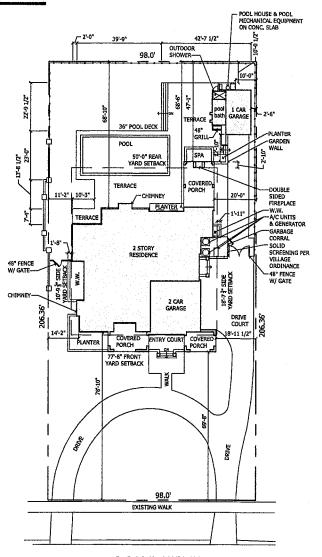
Front Elevation – Facing East



Rear Elevation – Facing West



Side Elevation – Facing North



S PARK AVENUE

SITE PLAN SCALE: 1" = 20'-0"

LEGAL DESCRIPTION:

LOT 2 (EXCEPT THE NORTH 100 FEET AND EXCEPT THE SOUTH 100 FEET AND EXCEPT THE WEST
90 FEET THEREOF) IN THE W.L. BLACKHAN'S PLAT OF SECTION 12, TOWNSHIP 38 NORTH, RANGE
11, BAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JULY 31, 1906, AS DOCUMENT 88306,
BEING A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST
QUARTER OF THE SOUTHEAST QUARTER OF PAID SECTION, IN DUPAGE COUNTY, ILLINOIS.

POST OFFICE ADDRESS: 736 SOUTH PARK AVENUE, HINSDALE, ILLINOIS

# **GENERAL NOTES**

- GENERAL REQUIREMENTS
- NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS,
- ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION
- ALL INTERIOR AND EXTERIOR FRAME WALLS TO BE 2 X 6 STUDS AT 16" O.C. WALLS DRAWN NOMINALLY AT 6 1/2" ASSUME 2 X 6 STUD WALL WITH G.W.B. OR SHEATHING BOTH SIDES PER SPECIFICATION.
- BLOWER DOOR TEST TO BE PERFORMED IN ACCORDANCE WITH IECC 2015 402.4.
- 6. NEW CONSTRUCTION TO COMPLY WITH IECC 2015 PRESCRIPTIVE
- BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH 2015 IECC SECTIONS R402.4.1 THROUGH R402.4.4.
- THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPILANCE WITH 2015 IECC. TESTS TO BE WITHESSED BY THE BUILDING INSPECTOR AND TEST REPORTS ARE TO BE SUPPLIED TO THE COMMUNITY
- ENGINEERED LUMBER SHALL NOT BE CUT, ORILLEO, OR NOTCHED UNLESS SPECIFIED.

# B. FIRE RATINGS

- SPACE BETWEEN FLOOR AND EXTERIOR WALL AND AT ALL SPACE BE WEEN HOOR AND EXTENDITY WALL AND AT ALL OPENINGS IN THE RLOOK, INCLUDING SPACE SETWEEN DUCTS, ONDUTT, PIPING, ETC., EXCEPT WINEY COMPLETELY ENCLOSED BY FIRE RATTED CONSTRUCTION, SHALL BE SAFED OFF (FILLED) WITH APPROVED SAFING PARTEUAL TO MAINTAIN THE CONTINUITY OF THE FLOOR THE RATHING. ALL DIGHTS OF ANY LEENERY OF CONSTRUCTION SHALL BE TIGHT AND PREVENT THE PASSAGE OF SWOKE OR FLAME.
- ALL PIPING, OUCTS, ETC., THAT PENETRATE FLOOR SLABS AND WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESER' THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" MIN. G.W.B., 3/8" WOOD STRUCTURAL PANILS, OR 3/8" TYPE 2-M-W PARTICLESORD TO BE INSTALLED PARALLE. TO FLOOR FRAMING MEMBERS PER IRC RSD.12. DRAFTSTOPPING TO BE PROVIDED AT THE FOLLOWING LOCATIONS.
  - A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR
- A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL.

  A.L. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS DOCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS, CIVE CEILINGS, CIVE CEILINGS, COVE CEILINGS, CIVE CEILINGS, COVE CEILINGS, CIVE CEILINGS, COVE CEILINGS AT CHINNEYS A FIRENCECS AT CEILING AND FLOOR LEVEL, WITHOUT NONCOMBUSTIBLE MATERIALS.

  E. CONCEALED SPACE BECAUSE OF PROPPED CEILINGS OR SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ, FT, SHALL BE ORAFT STOPPED INTO EQUAL AREAS PER IRC RS02.12.
- FIREBLOCKING SHALL BE PROVIDED IN FLOOR CONSTRUCTION AND FLOOR-CEILING ASSEMBLIES PER IRC R 602.8.

# COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE

- INSULATION MATERIALS INSTALLED WITHIN FLDOR-CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOXE DEVLOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.
- D. MUNICIPALITY NOTES

CUSTOM METAL RAIN GUARD AND SPARK ARRESTOR

B/3RD FLR. CLG. JST.

SLATE ROOF W/ SNOW GUARDS PER SPECIFICATIONS CUSTOM METAL HEAD

T/3RD FLR. SUB-FLR. B/2ND FLR, CLG, JST,

METAL CLAD CORNER TO MATCH WINDOW CLAD COLOR

GUTTERS &
DOWNSPOUTS PER
SPECIFICATIONS

MATCH WINDOW CLAD COLOR—

T/2ND FLR. SUB-FLR.

B/1ST FLR, CLG, JST. STUCCO FINISH PER SPECIFICATIONS

€ DOWNSPOUT, RUN

BELOW GRADE TO BUBBLER DRAINS, TYP

SLOPED CUT STONI 36" H. W.I. GUARD RAIL W/ ACCESS GATE @ WINDOW WELL BEYOND

T/1ST FLR. SUB-FLR.

B/BSMT, CLG, JST. T/FDN. EL; 100'-0" (721.5') EXTG, AVG, GRAGE EL; 98-6" (720.5')

T/ LOWEST FDN, EL: 98-0" (719.5')

WINDOW WELL

T/BSMT, SUB FLR, EL: 90'-5 1/2" B/COURT CLG, JST,

EAST ELEVATION

SCALE: 1/4" = 1'-0"

METAL CLAD HEAD AND SLOPED SILL TO

6" FLASHING, TY

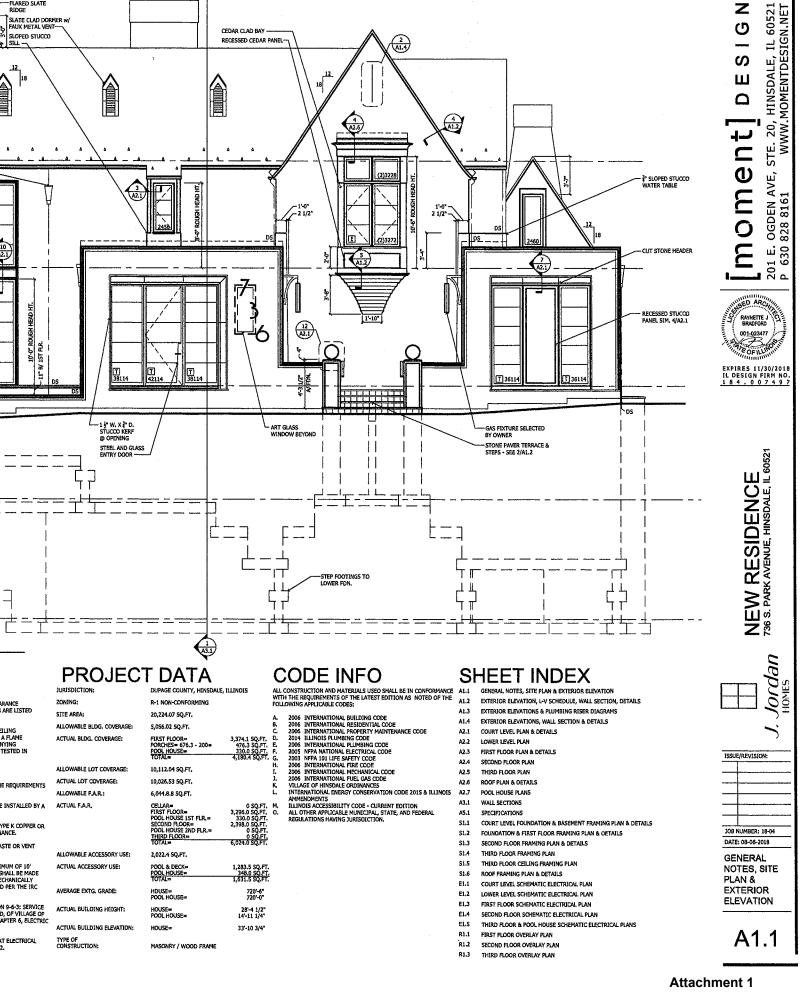
WING WALLS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE HINSOALE FENCE ORDINANCE,

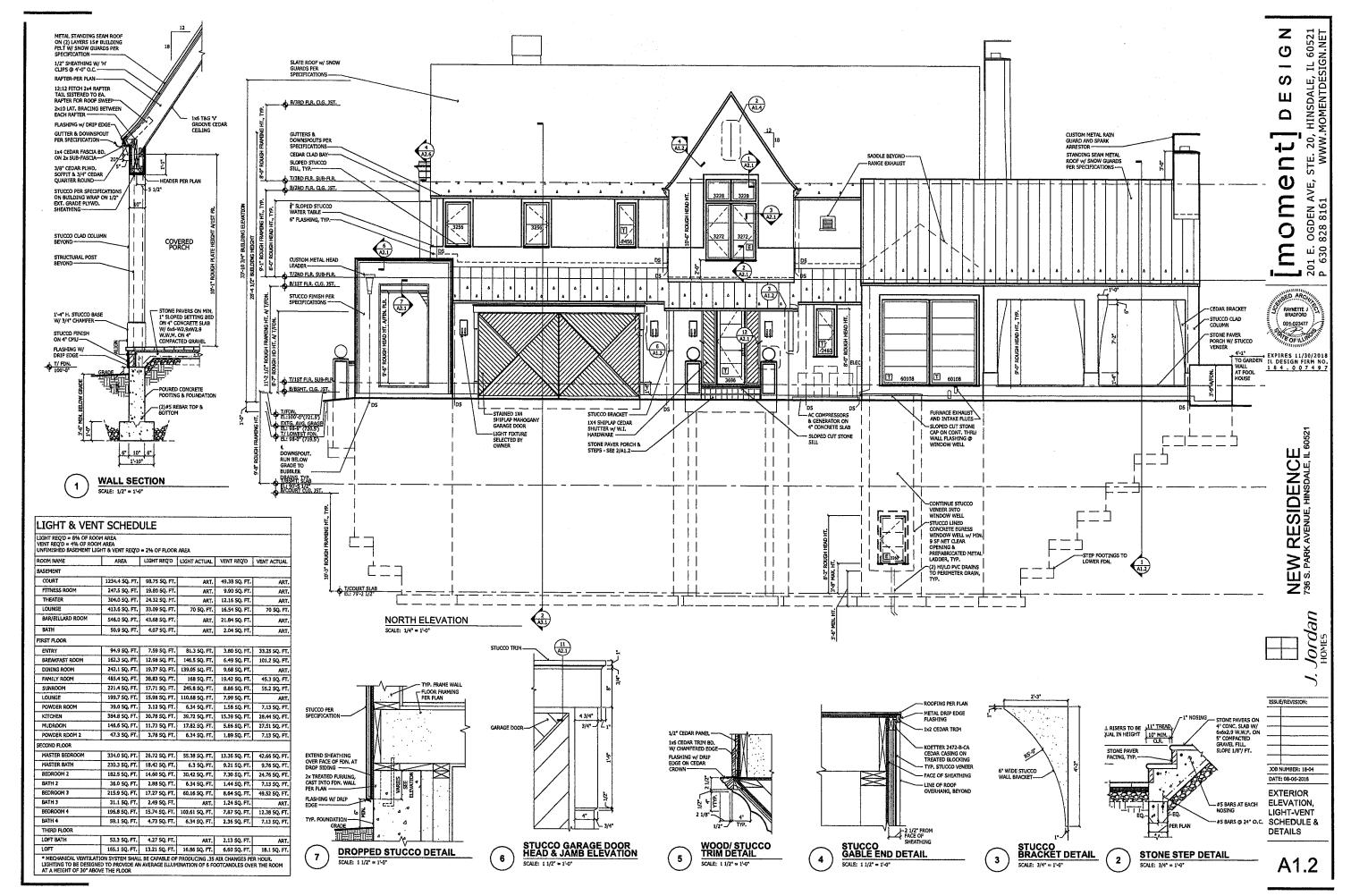
-Flared Slate Ridge

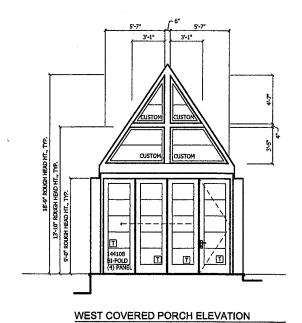
3'-3"

- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A ACTUAL F.A.R. LICENSED PLUMBER.
- ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K COPPER OR GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE.
- DUCT SYSTEMS SHALL BE SUPPORTED AT A MAXIMUM OF 10'
  INTERVALS, DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE
  ART TIGHT BY MEANS OF TABE AND SHALL BE MECHANICALLY
  FASTENED BY THREE (3) SCREWS EVENLY SPACED PER THE IRC ELECTRIC SERVICE SHALL COMPLY WITH SECTION 9-6-3; SERVICE ENTRANCE CAPACITY AND EQUIPMENT REQUIRED, OF VILLAGE OF HINSDALE, TITLE 9 BUILDING REGULATIONS, CHAPTER 6, ELECTRIC CODE AMENOMENTS.

PROVIDE PERMANENTLY AFFIXED CERTIFICATE AT ELECTRICAL PANEL COMPLIANT W/ IECC 2015 SECTION R103.2.







# PLUMBING RISER GENERAL NOTES

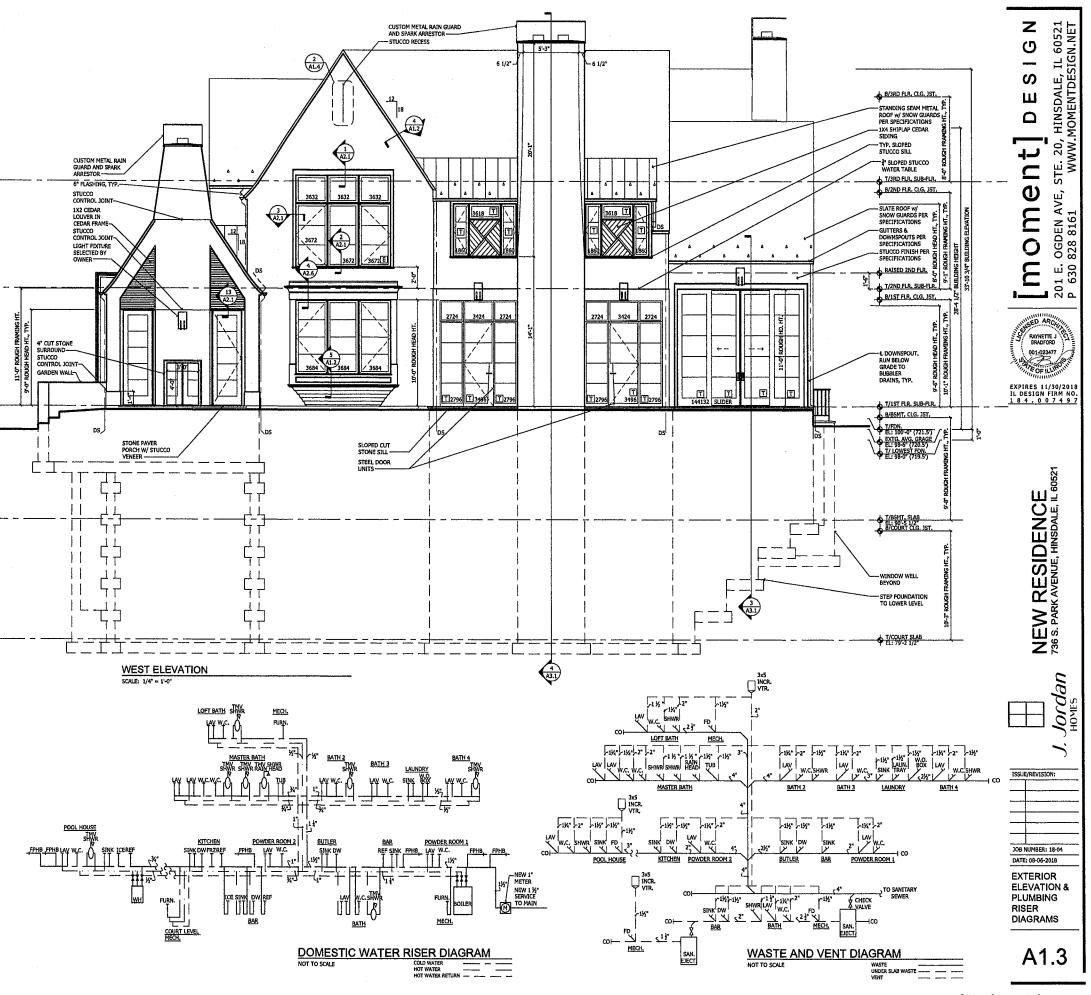
1 ALL SUPPLY PIPING TO BE TYPE "K" COPPER U.N.

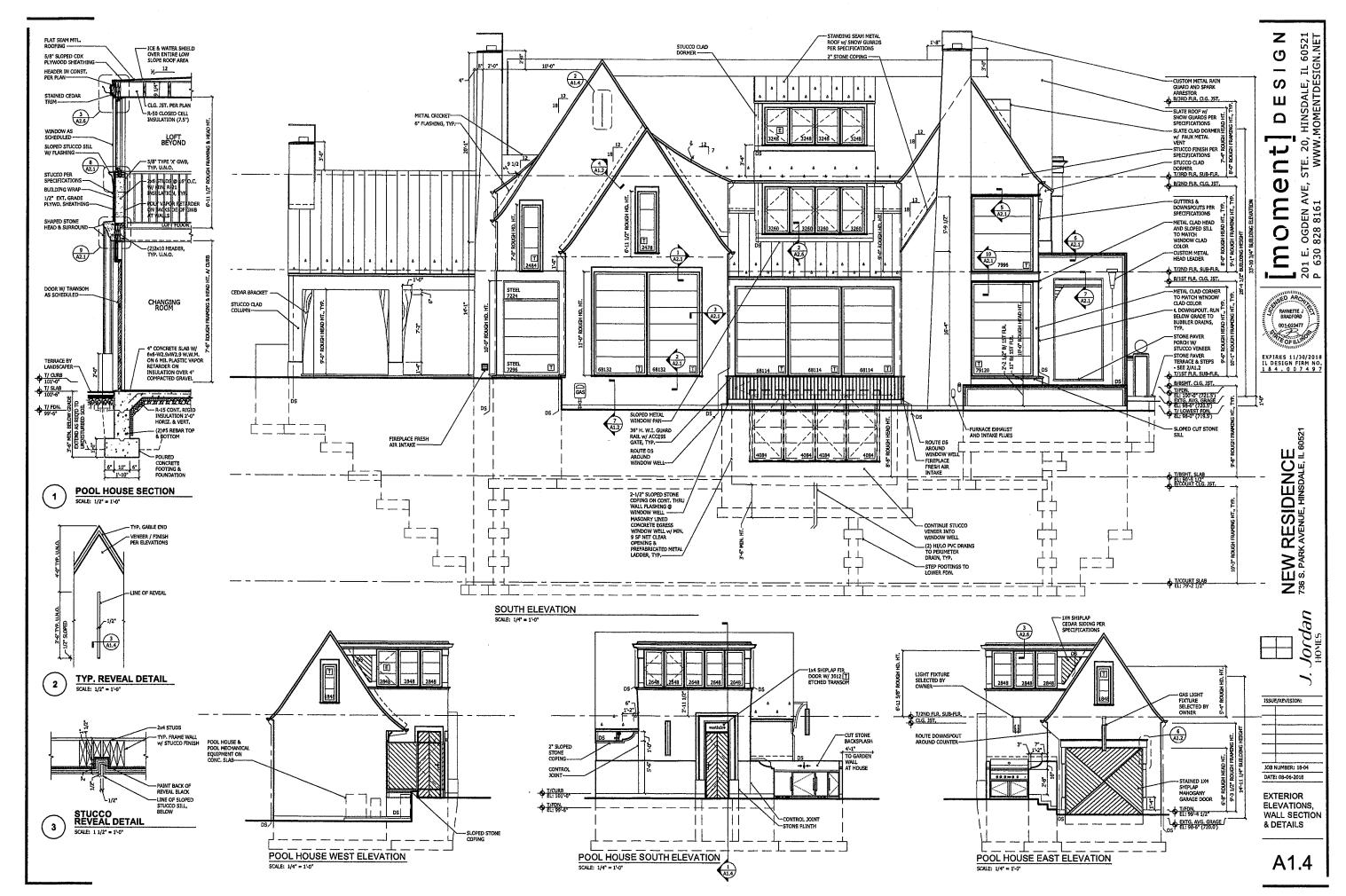
SCALE: 1/4" = 1'-0"

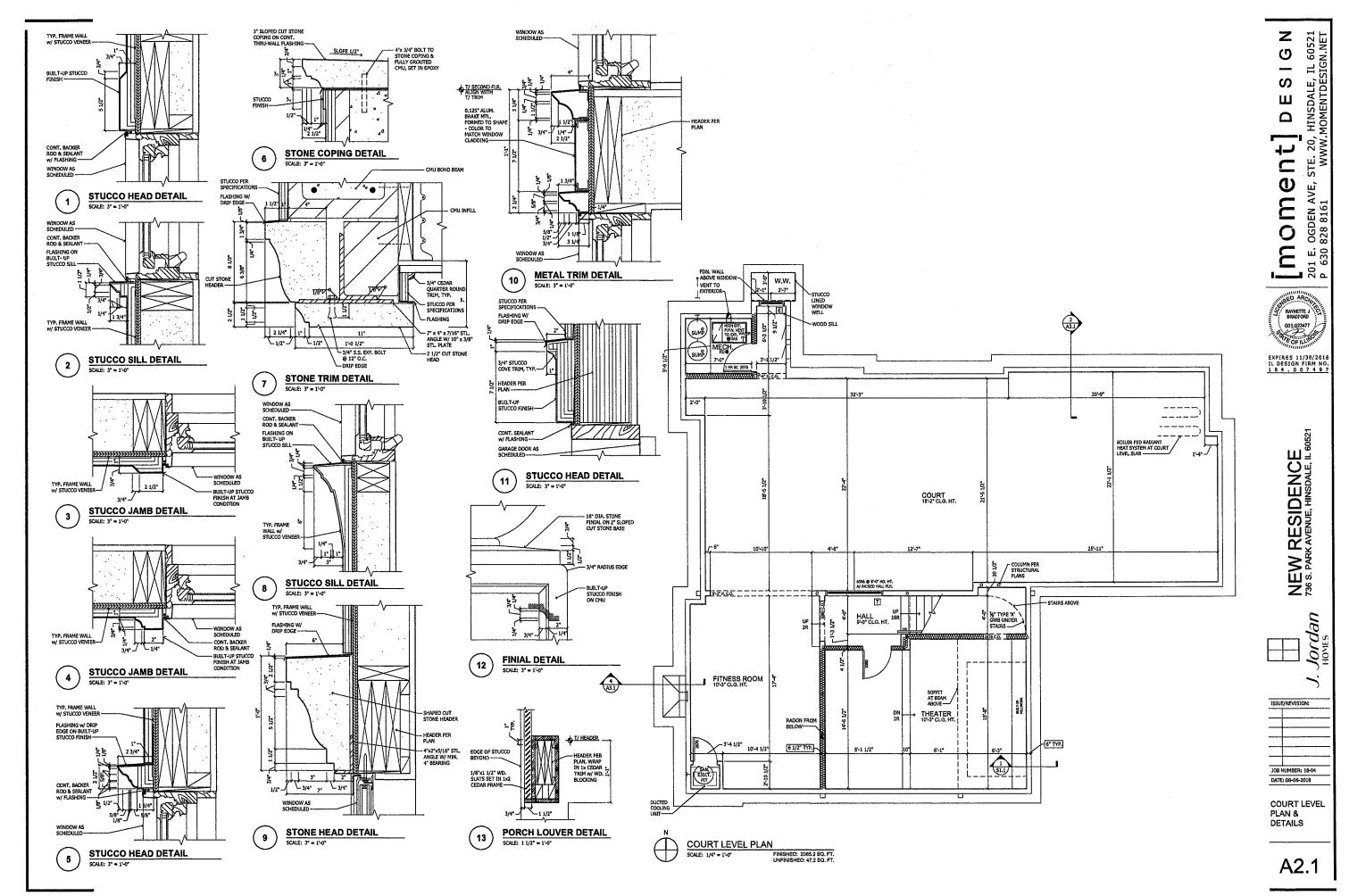
- 2 PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.
- 3 VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.
- S. THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT
- 5 THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 DIAMETER OF THE DRAIN TO WHICH IT IS CONNECTED, WHICHEVER IS GREATER.
- 6 ALL UNDERGROUND WASTE PIPING TO BE CAST IRO
- 7 ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.
- 8 TIE NEW LINES TO EXISTING AS REQUIRED, VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD,
- 9 GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S LANDSCAPE SPRINKLER SYSTEM.
- 10 COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK,

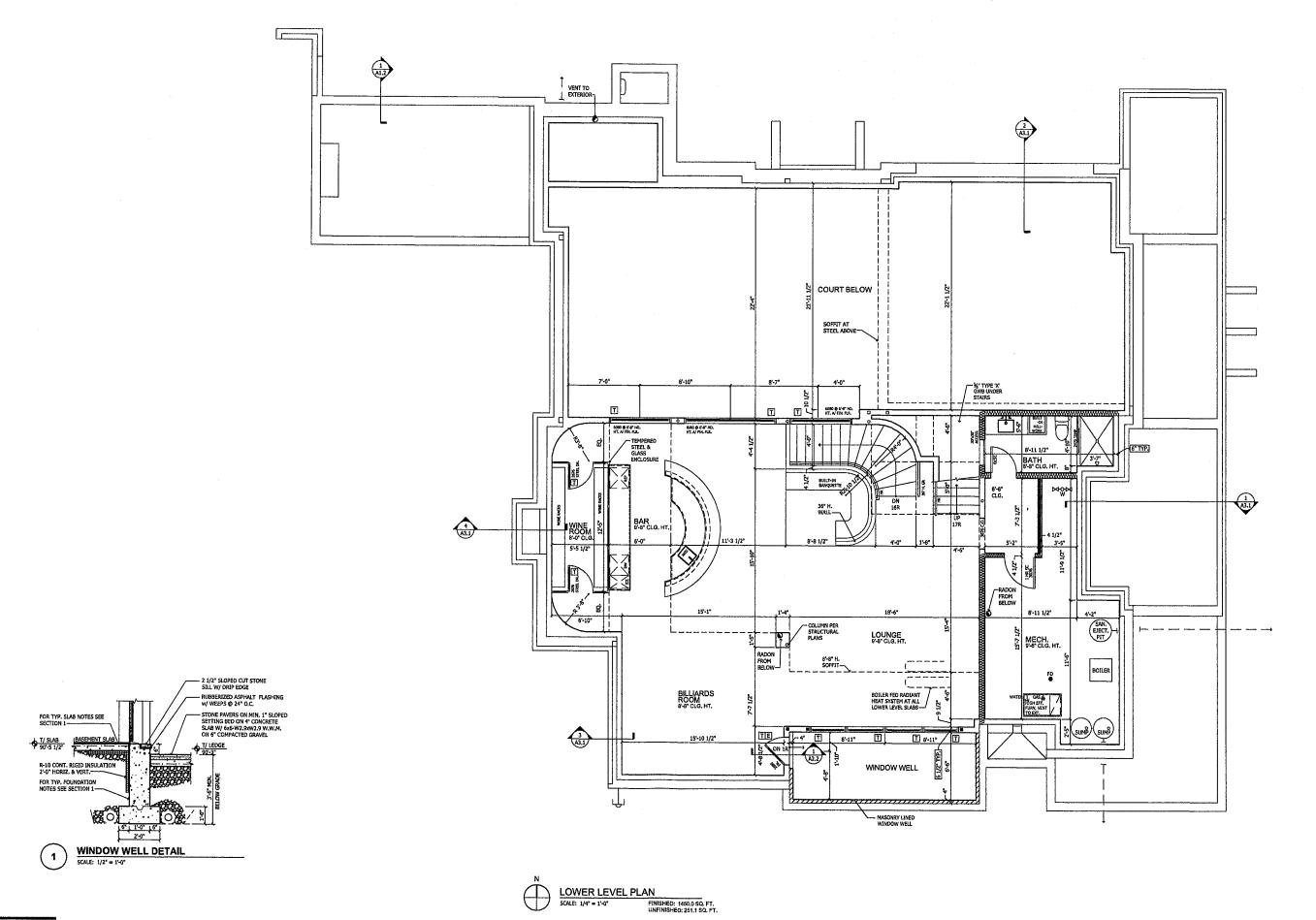
# **FIXTURE CONNECTION SIZES & QUANTITIES**

	SUPPLY				DRAINAGE				
FIXTURE TYPE	FIXTURE COUNT	SUPPLY FIXTURES PER UNIT			TOTAL SUPPLY	FIXTURE SUPPLY	DRAINAGE FIXTURES	TOTAL DRAINAGE	FIXTUR DRAIN
		ωισ	нот	TOTAL	FIXTURE UNITS	PIPE	PER UNIT	FIXTURE	TRAP SIZE
WATER CLOSET	10	3	0	3	30	3/8"	4	40	3"
LAVATORY	10	0,75	0.75	1.5	15	3/6*	1	10	1 1/4"
SHOWER STALL / TUB	7	1.5	1.5	3	21	1/2"	3	21	2"
WHIRLPOOL	1	1.5	1.5	3	3	1/2"	3	3	2"
STEAM UNIT	0	1	0	1	0	3/8*	0	0	•
KITCHEN SINK	5	1.5	1,5	3	15	1/2*	2	10	1 1/2"
DISHWASHER	3	0	1	1	3	1/2*	2	6	1 1/2"
LAUNDRY 51NK	1	1.5	1.5	3	3	1/2*	2	2	1 1/2"
LAUNDRY DRAIN PAN	i	0	0	0	0	•	3	3	1 1/2"
WASHER OUTLET BOX	1	2.25	2.25	4,5	5	1/2*	3	3	1 1/2"
FLOOR DRAIN	4	0	0	0	0	•	3	12	2"
HOSE BIBB	6	2.5	0	2,5	15	1/2"	0	0	•
RAINHEAD SHOWER	1	0,5	0,5	1	1	1/2"	3	0	2*
POT FILLER	0	1.5	1.5	3	0	1/2*	•	-	-
TOTAL FIXTURE UNITS:					111			110	





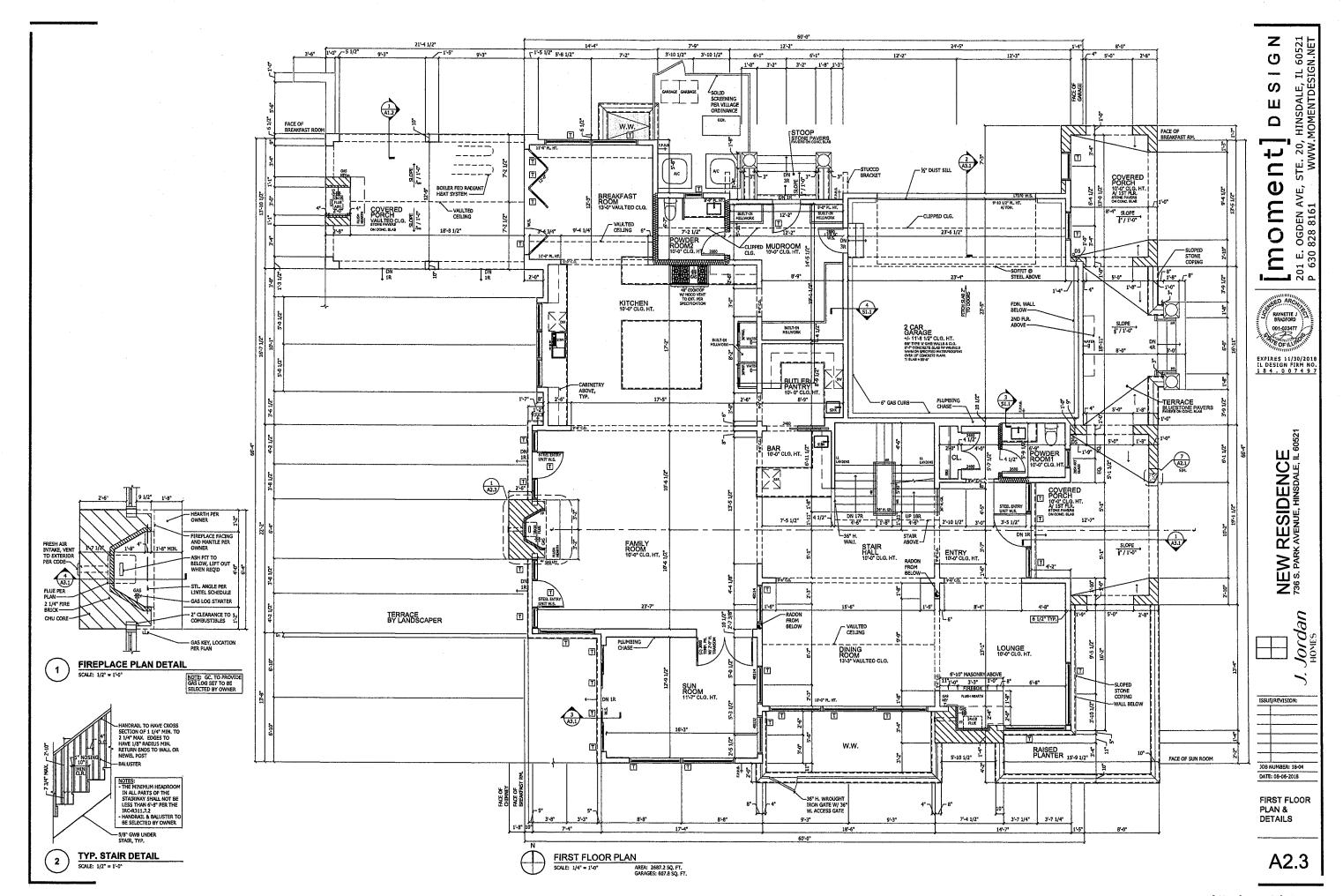


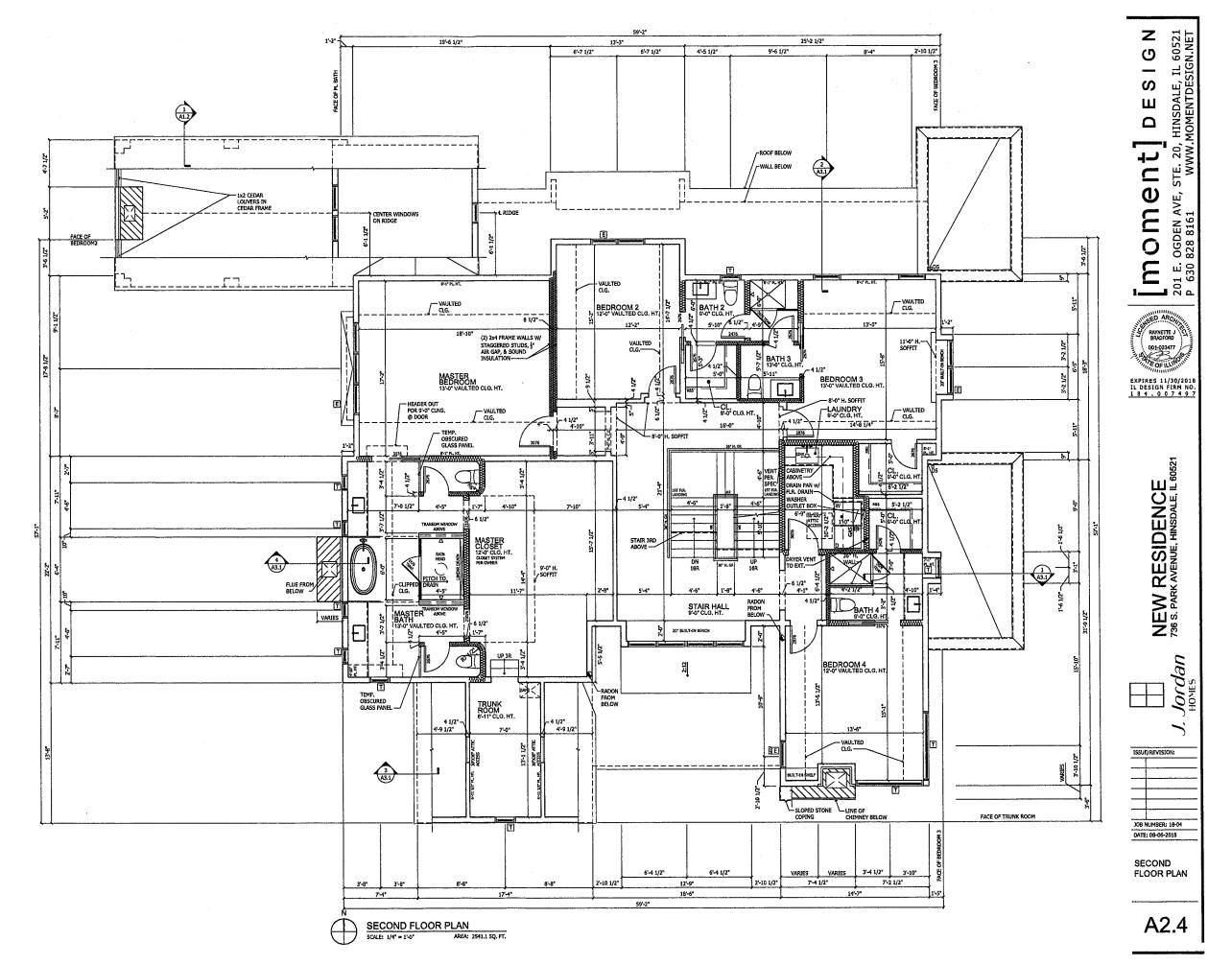


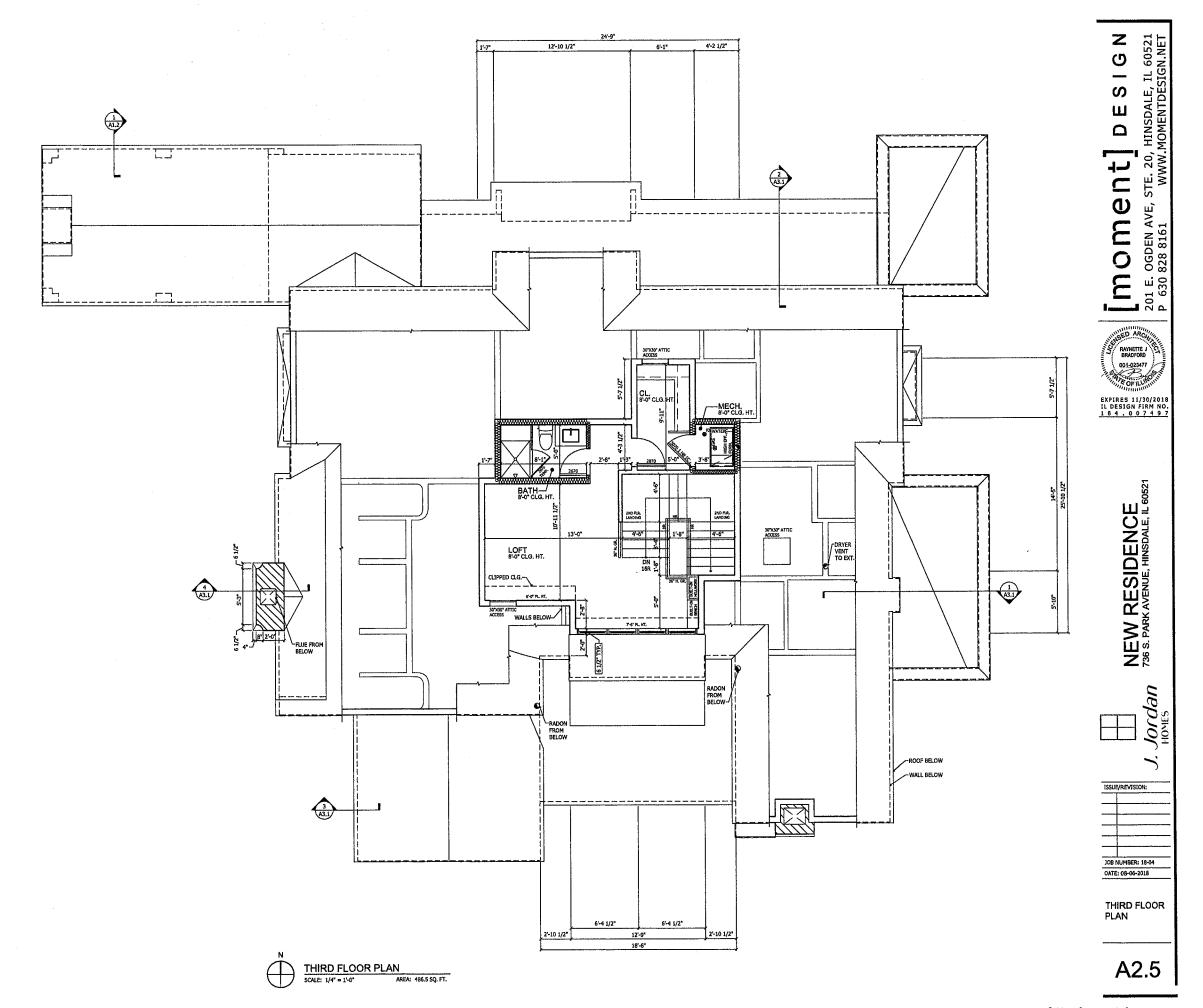
SIGN 60521 N NET ш Ω [moment]
201 E. OGDEN AVE, STE. 20,
P 630 828 8161 www.l RAYNETTE J BRADFORD 001-023477 EXPIRES 11/30/2018 IL DESIGN FIRM NO 1 8 4 . 0 0 7 4 9 NEW RESIDENCE 736 S. PARK AVENUE, HINSDALE, IL 60521 ISSUE/REVISION: JOB NUMBER: 18-04 LOWER LEVEL PLAN

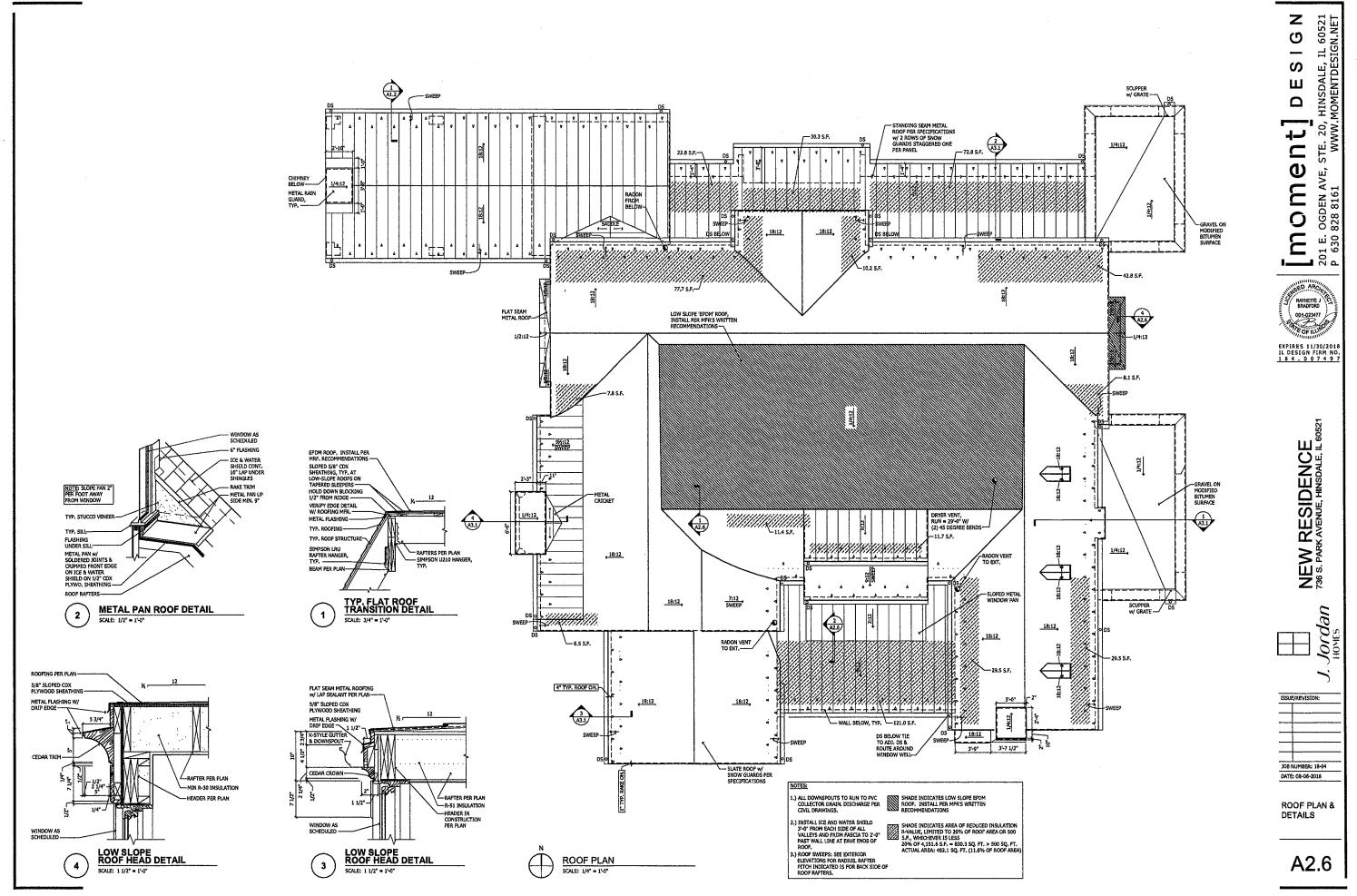
Attachment 1

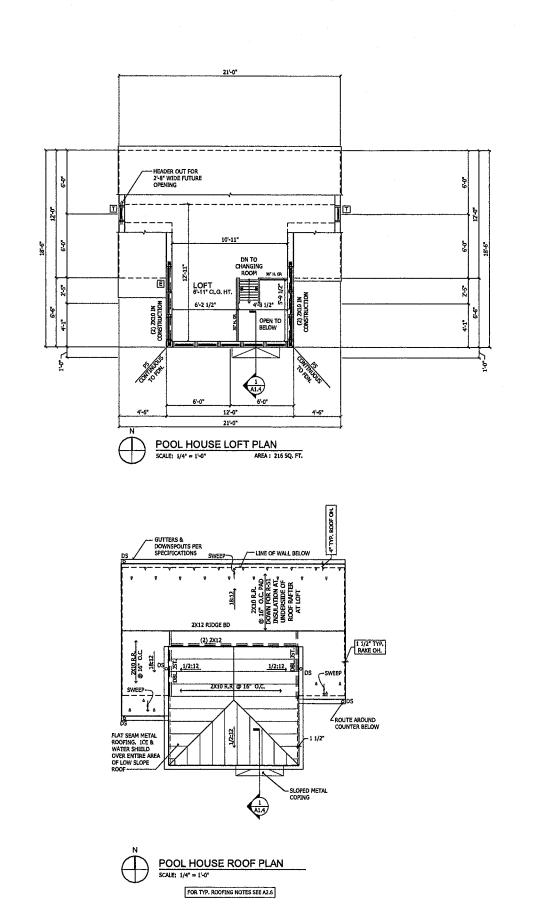
A2.2











(2) 5/8"\$ THRU BOLTS @ 3" O.C. @ FLOOR JOIST TO RAFTER CONDITIONS -

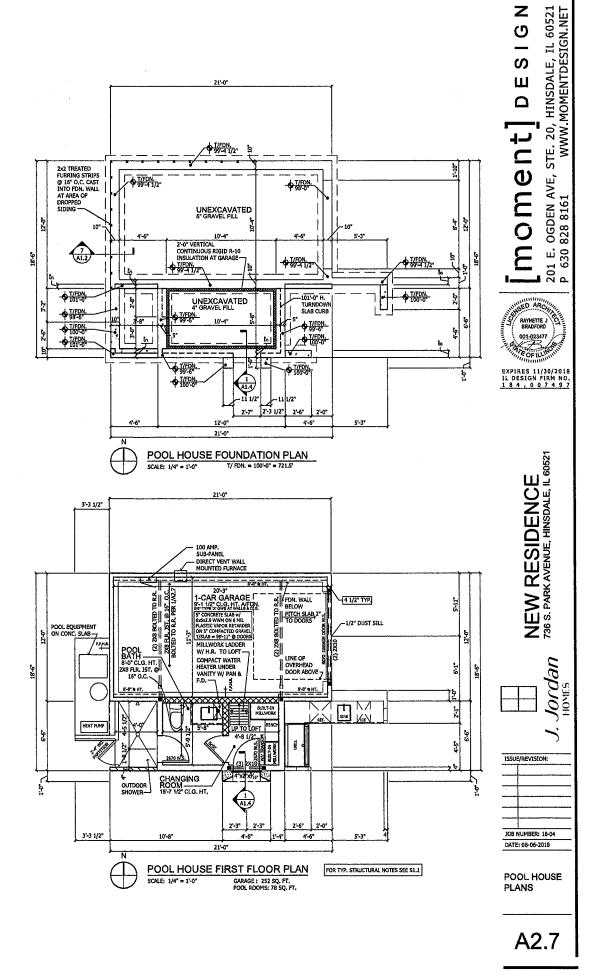
RAFTER PER PLAN -

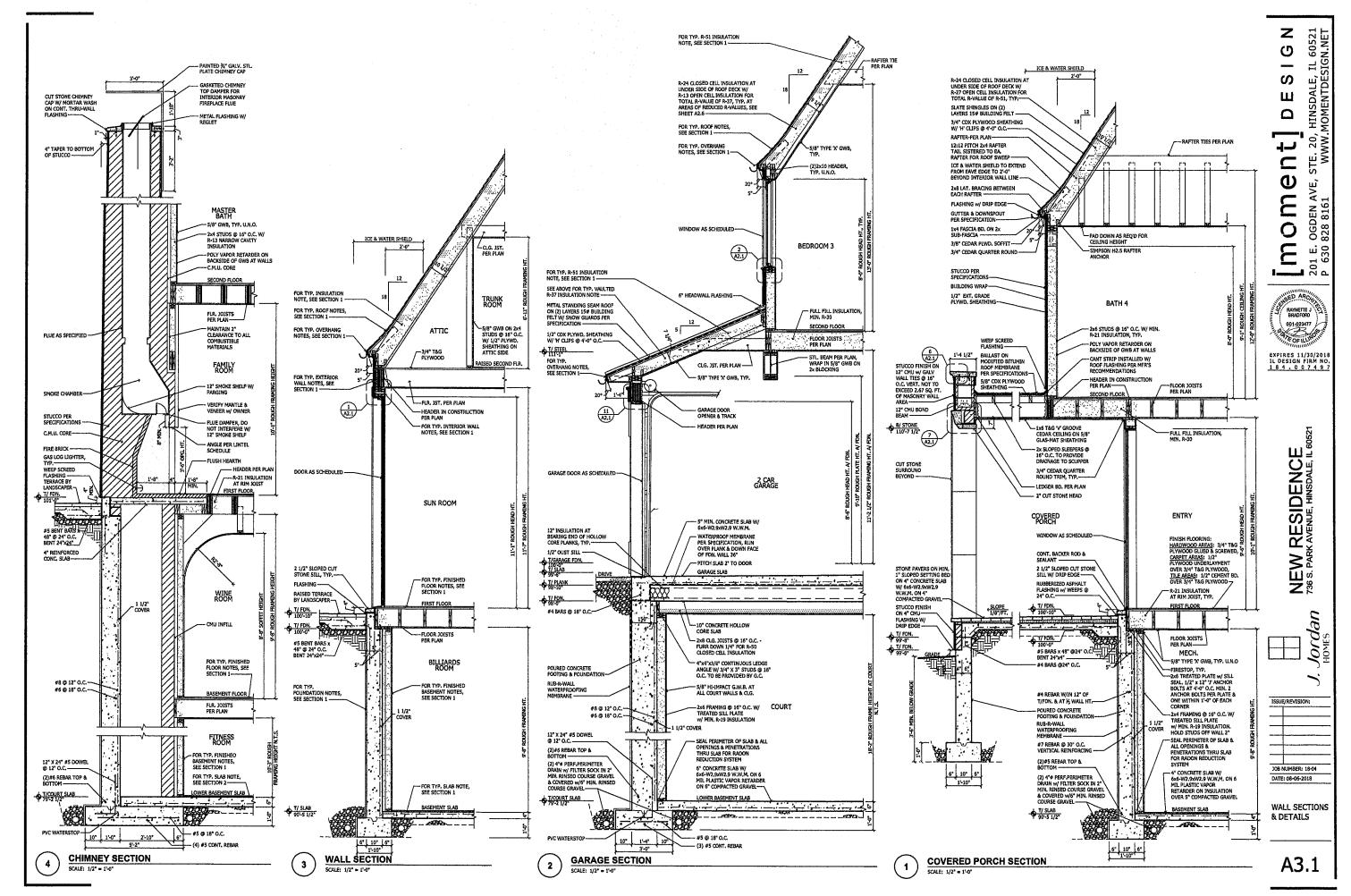
R-24 CLOSED CELL INSULATION AT UNDER SIDE OF ROOF DECK W/ R-27 OPEN CELL INSULATION FOR TOTAL R-VALUE OF R-51

> FLOOR JOIST TO RAFTER DETAIL

-- 3/4" T&G PLYWOOD GLUED & SCREWED

FLR. JOISTS PER PLAN





(General Contractor) to be responsible for as other separation of the work, the GC (General Contractor) will request NOTICE TO PROCEED: Prior to the execution of the work, the GC (General Contractor) will request the anneal and of disastings issued for Construction from the Architect for distriction to the sub-

IRBURRANCE REQUIREMENTS: Each contractor shall carry ample public liability insurance and insurance to protect the Owner from any and all claims under the Workment's Compensation Act. The GC / CH shall carry ample insurance during the proprises of the work to protect himbrer self and the Owner front loss through damage by life, tomade, etc. or loss by their, wandal time, etc. That insurance will be paid for by Owner, excurred by GC with Conflictes to all parkies.

CLARIFICATIONS: Do not exale drawings, Use figured dimensions only. Contact Architect immediately with any conflicting dimensions.

# 1.0 GENERAL REQUIREMENTS:

QENERAL CONDITIONS: The QC shall compty with AA Document A2QL-2007 General Conditions of the contract for construction. All worst shall be assected in sticl accordance with the building ordinance requirement and to the satisfaction of the Building Commissioner of the local Municipality.

All trades shall be responsible for the delivery and unloading of their materials at the job alte and the protection of the senie from all conditions as necessary. It shall be the duty and responsibility of sech contractor and absorbations for terrange with other trades on that he own work may proceed without inserruption and in conjunction with and in harmony with svery other trade.

The GC shall also include all fencing, clean up and dumpsters.

At trades shall be responsible for their workman and equipment meeting all government health and raises standards for the building tradea.

PROJECT STILITIES: Owner will pay incremental utility over for users only

BUBSTITUTIONS: VALUE ANALYBIS AND BUBSTITUTIONS: After the contract has been associated, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the conflictors set forth in the General Recognizations.

The GC shall not make substitutions without the Architects approvel. By making requests for substitutions based on subparagraph above, the Contractor Represents that they have person investigated proposed substitute product and determined it is equal or superior in all respects.

-Regreseria Contrator vill provide the same warranty for substitution that of the originally specified material.

-Certified cost odds presented is complete and includes all related costs under this contract except the Architect's redesign costs, and walves all claims for additional costs related to the substitution which addequately become appeared.

-Vit continues installation of the accepted existent entering such changes as may be requised for the work to be complete in direspects.

SHOP DRAWNGS: Prepare project-specific information, drawn accurately to scale. Do not beare shop drawings on reproductions of the contract documents or standard printed data. All discrepancies to local codes & ordinances are to be brought to the attendion of the Architect immediately.

QUALITY STANDARDS: These conditions are a part of the specifications and apply to the work of the Bulder and all sub-contractors. All materials and flutures throughout shall be of hist quality, in cases of incompletory within the contract documents, in the OI is to norify the Architect immediately. The higher quality or greater quantity of work shall be provided in accordance with the Architect immediately. The higher quality or greater quantity of work shall be provided in accordance with the Architect interpretation. All contractors and sub-contractors performing work shall be qualified and experienced in thirtaining, averaging or assentiating work with the material in design, and evaluate that application of the project, which would have section of construction with a record of successful or-indicated for the project, whose work has resoluted in construction with a record of successful or-indicated for the project, whose work has resoluted in construction with a record of successful or-indicated for the project, whose work has resoluted in construction.

CLOSEDUY PROCEDURES: The QC shall guarantee all work under this contract. Quarantee shall be fire a period of one year from occupancy or find payment of contract, whichever shall occur first. Bhould any detect develop during said period of guarantee due to improve workmantably the defect shall be made good by the QC without expense to the Cover. Additional manufacturer's extended warrantee are listed within tube required a solid provided in the contract of the coverage of t

CLEANING: The GC will leave the building clean at completion. The entire house shall be the models relaxed and emissional valued deaners shall clean all windows prior to occupancy.

EXPLOSIVES: The use of explosives is NOT permitted.

UTILITIES: Cop and seminate all sixting services: Gas, water, electric, sever, etc. prior to demotition. Tris contractor to be responsible for all means, methods and salvy procedures for the demotition and heating army of all building components removed. Contractor to follow at demotition procedures as outlined in local codes and ordinances.

SITE GRADING: Uniformly rough grade are a of demolshed construction to a emooth surface, free from irregular surface changes. Provide a emooth transition between adjacent existing grades and new grades.

HAZARDOUS NAYERIALS: If malerials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by the Owner under a separate contract.

# 3.0 CONCRETE:

This Concentre redi provide all listor lead anneals to immediate bactops, plans, bauminholes, there each, portribus, patch act makes, as all manufacture to be including object and an expected light provide. Committe shall provide a for the provide and th

CONCRETS WALLS: Remove all exposed wall diss, seal with tar and waterproof all basement walls against which earth is to be placed with "RLD-P-Vash" rabber waterproof compound. All voids in basement walls with the filed with Protonal dement and oil joints will be ground empoth at all unfinished areas and exposed axterior areas.

PERMATTER DRAIN PIPE: A perforated HDPE exterior draintips system will be installed at the perimeter of the building bording with the exterior pay, serminating rise 15° sump pits located on the perimeter of the building bording with the exterior pay system with basery belocking with terroris same. An pas to have 70 services are performed to the perimeter of the perimeter of

INTERIOR DRAIN PIPEs A periorated HOPE interior drain-pipe system will be installed as the interior of the building bodings with the interior pipe terminating into separate sump giffs incread on the plants. Provide each pit with an tractive Pipel how sump pit specifies who building with annote stated pit plants, pits to have 2" discharge ran out to grade as local codes and ordinances mindes. All perimeter distinct to so control by gestables the trable under continuous graved distingt a control.

AREA WELLS: Area wells to be constructed from poured concrete and finished per plans. All well areas to be cleaned of debte and tilled with no less than 8° of a grave base before commencing building of the foundation and to be left in a condition that will allow water to flow into the well draint. Intall two (2) 4° PVC drains with graze covers, one flush with gravel, one 3° higher. Drain to perintente drain.

All window wells shall have covers. Emergency escape and seacue openings to have covers that are releasable or removable from the trait of whitout the use of a key, took, or force givered than that within its requised for formal operation of the escape and recess opening per IRC R110.4. Grates are to be made of uneded as at or Austrians. Quantitatis to be mith 36° height with wide hinged agrees gate per place. All maids to be printed and parkets.

Window wells with a depth greater than 44 inches shall have an agress ladder that will be useable when the window is in it fully open position with rungs at least 12" wide, at least 3" runt he wall and spaced no more than 12" on center vertically for the fill higher in the window well. Bot ladder to well

BABEMENT AND POOLHOUSE FLOORs Concrete floor to consist of 4 or more inches of competcad gravel covered with continuous and slequeers vapor restricts, and 4 inches of concrete restricted with devik/25/W/25/W/45, with pooled control plans at a maximum 90-07 specing. No voice allowed in the visiqueen vapor retender and ell taps to be 12°. All intentor concrete score to have toward intelli. Unit.

COURT LEVEL FLOOR: Concrete floor to consist of 8 or more inches of compacted gravel covered with continuous 6 mil visupaen vapor retarder, and 8 inches of concrete rethindred wi backwi2.0w/W.2 e WW.F. with social control joints at a maximum 80-0° specing. No voids abloved in the visupaen vapor retarder and all laps to be 12°. At interior concrete Books to have trowel finish.

ATTACHED GARAGE FLOOR: Garage concrete floor to consist of 5 to 7 inches of concrete reinforced with 6x6x4x2.6x4x2.9 w.w. F. and control joints at a maximum 10-0° specing. Garage concrete floor to have troved finish. Provide goalthy distinges as indicated.

PRESENTED CONCERNED SILEMBER 1940 protecting will provide all index and manufaling based all amounts provide protecting products or statements of the concerney place action for the format in the concerney place action for the concerney place action. First concerned and the concerned action of the concerned action of

Preciat concrete plants to be designed to mest all current codes having jurisdiction including ACI 318 Building Code Requirement for Rehindrored Concrete. This proving loads shall be reviewed county design and conditional by preciation stransfeature and engineer. The loads, concrete looping weight, store 16th, exiling inflames, acros loads, deat loads, wind loads, estamls loads and reliable haveing and exection assesses. Design activations shall be performed by an inflow Licensed haveing and exection assesses.

Concrete mixes shall have a 28-day compressive strength of a minimum of 8,000 pill and a release alreaght of a minimum of 8,000 pill and a release alreaght of a minimum of 3,000 pill. The use of calcium chloride or adminimum of a containing chlorides in operations. Occasion and commit ASTM C 150, Type to rel.

A. Portland Cement. ASTM C 150, Type to rel.

A. Agreequest. ASTM C 30 c 150.

C. Water: Potable, there from deleterious makerial has may effect satisfing or strength of concrete and complying with chemical limits of PCI, NRL 110.

C. Adminimum National Committed Committees and Committees of PCI, NRL 110.

adminimum National Committees of PCI, NRL 110.

Adminimum National Committees of PCI, NRL 110.

artimbures: ASTM CASM. (1994).

Group to be Band-Generat Down, Portiand cement, ASTM CLSO, Type I, and dean natural send a STM CLSO. ASTM CLSO.

Anchor all planks to top of basement walls to selet hortroral soil loads. Bearing pads to be multi-monome, non-seculng light-density plants arity showing no visible sign of expansion when supporting consistent on tests. This contractor to furthal horse see all plants, of pagings, suchose, and provided to the provided of the provided of the provided of the provided of the adjacent construction. All weeks to comply with ANN D.1.1 Structural Welding Codes - Sheet and AW, D.4.5 Structural Welding Codes Refloring Bells. Selectionation material shall be carbon sheet: A. Shapes and Plates ASTM A38 8. Welding Shack in secondarion with AVNO D.1.1

s. Welded Stude: In accordance with AWS D1.1 C. Headed Stude: ASTM A 109, AWS D1.1 D. Plate: ASTM A285 E. Bolts and Stude: ASTM A507

install water-proofing membrane between topping and plank unless structural topping is indicated and run membrane up wall past concrete topping a minimum of 12".

Shop drawings to be provided to Architect and include plans locating and defining all concrete plants furnished by the manufacturer with all major openings shown, seeklon and details showing connections, well places, edge conflicts and support conditions of the concrete plants units, all dead, live and other applicable loads used in the design.

# 4.0 MASONRY:

This Contractor will furnish all labor and meterial to complete the masonry work as shown on the building plans. Mason to build a 4' x 4' sample panel for each type of exposed unit masonry.

Window heads.

WORTAR, Cofor and joint tooling to be verified with Owner prior to construction. Keep well certified clear of mortar dropping and meetable during construction. Provide confinuous measure) joint enforcement, indicate structures and this minimum over of 15th on center of 15th on center

SHOO DEAVISION THE CONTRACTOR IN LINE PROPERTY OF INSTALLATION.

SHOO DEAVISION THE CONTRACTOR IN LINE SHOP drawings for all custom our stone shapes to the and roof penel valions.

This Combactor will provide all steel beams, columns, plates, shims, etc. as called for on the building plans. The roofing Combactor is responsible for installing W.R. Grace los & Water Shield membrane from plans. The GO will stook which labor to enter the main beams. The GO will review the structural laboration and the structural set all the point for structural set all the structural s

on some was peaced up and placed in a dumpeter provided by the GC.

STRUCTURAL STEEL. Verify ejecutions of occrete word manners bearing protections and to account the protection of the following:

STRUCTURAL STEEL. Verify ejecutions of occrete word manners bearing protections and control of the following:

another rode, bearing places and other embodranters. Proceed with installation croy effect unastitatory conditions have been controlled. Field-verify at sized beam dimensions prior to feather than the second process of the following and the second process of the field-very and the second process of the field-very and the field-ver

RALLENGS & BALUSTERGS: Febricase ratings to comply with design, dimensions, and design indicated, out not seen than that required for supporting structural loads per local hundreds could be a second to the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes for the required for supporting structural loads per local hundreds codes for the required for supporting structural loads of the required for supporting structural loads of the required for supporting to the required for supporting structural loads of the supporting structural loads of the required for supporting structural loa

WELDED CONNECTIONS: Cope components at connections to provide close fit, or use fittings designed for this propose. Wald all around at connections, including at fittings, Connect members with connected members and facilities. Inform safe for fittings afford from the fittings and the connection and the fittings and fittings are fittings. All welding shall be alone in accordance with AVB CL1. "Soutcast Walding Code. Scale" of the American Welding Society, Curvas Cation. All welds and be made by AVB-certified welders.

6.0 WOOD:

Copper sheet roomer course molities are the complete the carpeting work as allows the blooding for hair seminal plants. Control of the studies of the studies plants. All founds in the studies of the studies plants. All founds in the studies of the studies plants. All founds in the studies plants. All studies will be all \*\* 120 or settle, but of the studies of the studi

All framing lumber installation to comply with the international Residential Code.

PLENDINGERED LUMBER: At pre-angineered lumber installation to comply with mit, standards EXTERIOR TRAY & WOOD BIDNO; All wood trim, frezas, softse and finishes on the building station to be pathed or schand per Cymans selection. All existed wood will be gre-stained or primed (6) at clade before streation, upon installation of thin, carpently contractor to touch up expessed ands or surfaces. All exterior trim to have mitered corners.

INTERIOR TRINS: All tim will be clear grade and shall be biscult-joined, glued, nailed and hand sanded to milimite effects of shrinkegs. Detective doors and oth any to be bought to the GC's situation, so they may be replaced by this millivork supplier, All milivork to be book private before hastallation. All tim and wall intersections to be outsided with plots sealant.

DETACHIES GARAGE RADOR: Gange concrete for its coales of 5 or more inches of compassed congressed over the following in closure to be per plans. Casing and baseboards to metch adjacent or great covered with orderious of mit in droppen supply retained and Einstein compassing and control of the recommendation of the congression of the control of the recommendation of the congression of the co site Stor CABINETRY: Cabinetry is to be provided by Contractor with extent of cabinetry indicated an architectural plane. Installation will be by the Firish Carpenter. All cabinets and shelves will be set up and adulted at control ston by installation Commence.

> COUNTERS: Counters to be as per plan, if specified in the plans, the following conditions apply: -Solid surface counters: Provide solid surface counters fabricated in one piece with integral backsplath, unless otherwise noted.
>  -For stone counters, see section 9.0 FIMBHES.

STAIRS: Steps, sevel posts, and ratings at porches and stoops to be per place. All samples to be submitted to the Covers for approval prior to fabrication and construction. For Metal Conconences refer to section 5 on metals.

Stalways are based upon minimum 10° tread plus nosing with maximum fiest height of 7-3/4°. Quadralis shall be a minimum of 8-0° high with a maximum of 4-0° between vertical basivance. Handfalls shall be 34° high from notings. All required markets shall be conditious the shall shape the shall shall be shall

### 7.0 THERMAL & MOISTURE PROTECTION:

FLOORS: Af cantilevered or exposed floor areas to be insulated with R-30 blown-in outsides insulation. R-58 where depth of structure allows.

RECOR AND ATTER The emberoise of the modification be included path man. The size alone and pathway fracts have because the first specimen includes because in findings of the first standard control of the first specimens of the first specimens of the first specimens and the first pathway and the first specimens of the first specimens of the first specimens and the first manifestable positioning was also provided to see any obtained first she as the basis part pathway the first specimens of the first specimens of the first specimens and the first specimens are also proposed the first of the promption of information, pathway and specimens are also proposed the first of the promption of information pathway and specimens are also proposed the first of the promption of information pathway and specimens are also proposed the first of the promption of information pathway and pathway the first specimens are proposed the first of the promption of information pathway and pathway and the pathw

MECHANICAL BYSTEMS: Supply ducts in unconsistoned aside shall be insulated to a minimum of R-R, return ducts in action shall be insulated by a minimum of R-R. All methanical plains expected by the return ducts in action shall be insulated by a minimum of R-R. All methanical plains expected by the return of R-R in compliance with section 1464.25. All plains for the water national systems insulated on the value of the control systems and bit insulated to a minimum of R-R. All violal scread doors and windows and between focces, are to be first with project of the return of R-R insulated by the return of the return

SOUND: All Interior partitions surrounding Bashrooms, Powder rooms, Laundry Rooms, Bludy / Dens and any other partitions inclosed on the plane to be sound readable with 3 JZf. Benglass sound adsentation bask. "Full thric the planes sound best so be statuted in all first floor celling assemblies under second floor habitable rooms. All cavides with planning supply or waste lines to be filled high sound but the solid plane."

building plans. Macon to Duillé a \* x \* ample panel for each type of exposed unit inaccopy.

### CATEGOR PROCEING: Insulation contrador to provide more adequate country of the plant of th

Cellings.

RETERIOR ANDONYS: Exect case and a gravaticate to the properties of the p

All components shall be obtained as a single-source from the membrana manufacturer to ensure that as a Knight source from the membrana manufacturer to ensure total SALE & CAPB: All door stills will be 2 12° emoch cut stone with integral out drainings stops and drip Differn compacibility and from the standard American (hordess), libe. 300 East Orto Seet. Orto Se

this wall-proving contractor shall examine all sunfaces to receive the veltarpooring assembly to

FLASHWIGH A nubbertied asphalt base flashing with warps will be installed by the mason contractor verify it is exceptable and proper for the application of the membrane. The value-proving postactor at the foundation top. A nubbertied asphalt base flashing with weeps will be provided under all all sis 6 shall not provided with the installated with the installated by the extent proving mannine absembly under discharged with the installated, for extent provided under all all sis 6 shall not provided with the installated, for extent provided with the installated of the extent provided with the ex

Contractor to testal (2) layers of 156 asphatk-astunated left underlayment, compliant with ASTM D226, and installed per manufacturer's written recommendations. The Rooting Contractor will be responsible for seating and flashing all roof penetrations as per the rooting manufacturer's written recommendation.

COPPER SHEET ROCHANG: Coppor sheet metal rooflog to follow ASTM B 870, bold-rolled coppor sheet, Hoto temper, unless otherwise industed. Orbain copper sheet metal rooflog and accessories through one source from a single manufacture. All copper sheet metal rooflog and accessories materials to be tradalled according to copper sheet metal rooflog and accessories materials to be tradalled according to copper sheet metal rooflog and accessories and accommendations from the sheet all construction. Association.

All joints to trave bridging at maximum intervals of 81/5" o.o. Provide double joints under all publish partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions within tristructions. Protect membrane-rooting system from demands and were during remainder of construction period.

EPOM roofing membrane to be ASTM D 4697, Type II, tabric internally-reinforced uniform, flexible sheet made from EPOM. Thickness to be 50 mile, Excessed face color to be white. -OR-

VALLEYS, FLASHINGS AND OTHER SHEET METAL WORK: All Valeys to be open in Copper.

MOCK-UP: Rooting contractor to submit 4' x 4' mock-up of root showing full range of color.

CLETTERS WITH CONTROL CONTROL THE CONTROL OF CONTROL OF A CONTROL OF CONTROL CARRY SATISFA LINE T accompanied these facility and transies dealers have an effective to black. Further and the Carrier and t

PORTLAND CEMENT STUCCO: The GC will provide all labor and materials to provide exterior Porland cement clasterwork (attoco) on metal lath as shown on the busing plane. Before plant Pomano cemera practiework (atucch) on missal tath as shown on the building plants. Before plastering, install a modelup of at least 50 e.g. in evaluace week to demonstrate assemble of fects and est quality standards for materials and expectation. Approved modkups may become part of the completed work if undisturbed at firm of Substantial Completion.

Expanded metal task to comply with ASTM C 847 with ASTM A 655/4 658M, 660 (2180), hox-dip galvarized zinc coeting with installation to comply with ASTM G 1083, Provide paper backing it required and all regived accessories and miscedameous materials. Plasar mixes to comply with ASTM C 250 for applications included. Peritand cament base-coat mixes; installated over mixel task conclusin straicts but forom cost plastancies. Apply each organizations with ameliar tamperature conclusin straicts but forom cost plastancies. Apply each organizations with ameliar tamperature.

Provide expansion joints at a maximum of 144 sq. ft. or no greater than 18'-o.o. and where indicate per clan.

Stucco contractor to inepect substrate prior to work to ensure compliance with ASTM standards in proper substrates and gapping of plywood substrates.

Provide (2) layers Grade 'D' building paper or approved stucco wreo under sil stucco applications. The color of the base cost is to be white, with a finish cost to be selected by Owner/Architect.

Protect adjacent work from so Ning, spatiering, moisture deterioration, and other harmful effects caused by plastwing. Where required, seal joints between edges of plasterwork and abusing construction with accuration sealests.

Cut, patch, replace, and repair plaster as necessary to accommodate other work and to readors cracks, shrines, and imperirections. Repair or replace work to eliminate bitment, buckles, cracking (check cracking), dry use, afforessence, event outs, and similar defects and where bond to the substrate.

As extensive of deciding materials to be sealed, statined, or pair or replace work to eliminate bitment, buckles, cracking (check cracking), dry use, afforessence, event outs, and similar defects and where bond to the substrate.

JOINT GEALANTS: This Contractor is to provide and install exterior and interior joint gesis to that stablish and matrials westight and slidgly continuous joint seals without staining or destriorating joint substrates. The following positant types are to be used: Estatic area - glouwethers staining infalor non-vest state - acrylic sealaritis, and install over a reas - slickes, indigure restriants.

Verify that all surfaces are ready to receive sealant work. Clean and prime all joints that are to receive sealants as per mentifacturer's economerciations. Remove bose maintains and foreign receive sealants as per mentifacturer is easier, very heigh point backing and referse to person referred to the prime of the p

Apply sealants within reconveneded application temperature ranges. Install sealants which are the of air pockets, fiveign embedded metal, ridges, and egg. Tod joints conceive unless noted or the content of the process of the content sealants which are the content the content sealants which ar

### 8.0 OPENINGS:

SOURS Address door note it by more on the it by more or delivers and pre-plane, marker have inachane as first in proteint by more and installed by the Contention. If pre-time price under the its in Admiration seasons for the contention of the inspectation is the district or described and other individuals, at make any in the extension of members for when represent deliversing or their contention of the seasons when the content of the contention of the contention of the contention of the seasons when the content of the contention of the contention of the contention of the content of the content of the contention of the contentio

WINDOWS & FRENCH DOOR S: Visidorium ai mestruchi ucum asi to be abritum diati visoti vieldoris by Manini Windovia and All'alludioris and funcio dori unite to be abritum diati visoti vieldoris by Manini Windovia and blas. Windovia to be double-pana Insulating cases fisted with any mit all similares of defer lines as see blas. Windovia to be double-pana Insulating cases fisted with any mit all cases of the land of the first surface, unless no todo otherwise. Monini mineralization I visited to the double I ECC table R402.1.1 Girmats 2 case 8 and Matina 4. Masdorium at leakage 0.3 CFM pas aquasis for for windovia and adding quorus 0.5 GFM per equame for the ori windovig document.

Verify at window size and rough openings with window manufacture. All operational classmants she windows are to be push-out operation. All bedrooms to have signes windows per code.

Glasting at hastack locations per code to be impreced. Provide conceased of grantable solvens are 50% of operational classmant windows, location to be selected by Owner. All door units to have structable solvens on the selected by Owner. All door units to have site instantiable solvens or the selected by Owner. All door units to have site instantiable solvens or the selected by Owner. All core and in the committee of the instantiable of the selected by Owner. All core and in the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the selected by the committee of the instantiable of the

INSTALLATION OF WINDOWS & FREINCH DOORS: A Qualified Installer, approved by the 
manufacture, is to hastel all windows and Freigh doors. I related windows level, plants, aquites, true to 22.0 PLUMBING: 
fine, without discolor or impediating themsis movement, suchoods securely in place to shundows 
support, and in proper diston to well fashing and other adjace and construction.

PLUMBING! This Commetter we

Set all members in bed of seatant or with gaskets, as indicated, for weathertons construction

Separate aluminum and other comodible surfaces from sources of coroidon or galvanic action a points or contact with other materials by complying with requirements specified in "Offstimillar Materials", Pergraph in Appendix B in AMAN/MYWOA 10/1. 3 2. Adjust operating seahes and ventilators, screens, hardware, and scoessories for a tight fit at con-points and weather suppling for amouth operation and weathertight closure. Lubricate hardware i

Protect window surfaces from contact with contaminating substances resulting from construction operations, in addition, monitor window surfaces adjacent to and between stated contrasts and makeury sustance subsign contrasts and for presence of risk cours, multium deposits, statis, or other contaminating is obstanced to contact window authories, remove contaminates immediately according to meministrative windom recommendations.

STEEL WINDOWS AND DOORS; Pablicake skel windows to comply with SWI standards, Include a complete system for exsembly of components and anchorage of window units. Muntiles to be the true affided like marks to pose and weded or permiter frame. Furthir theresection shall be alcred, controlled and welder. All fetrior and existent muntil priors to be face-winded and ground smooth. All existent windows to have rink. 1' clear included glass. Over-Archivotto to well glass color and small prior and standard standard

Windows to have a maximum tenestration U-value to be 0.32 per IECC table R402.1.1. Climate Zon 5 and Marine 4. Maximum air Isakaga 0.3 CPM per square foot for windows and sliding doors; 0.5 CPM per square foot for swinging doors.

Windows to have manufacturer's standard two-coat, baked-on finish, consisting of prime coat and thermosetting topcoat. Comply with coating manufacturer's written instructions for applying and baking to achieve a minimum dry film thickness of 2 mils (0.05 mm).

General Note for section <u>8.0 OPENINGS</u>: Mis-installed items or un-verified finishes will be the sole responsibility of this Contractor.

All walls and cellings intelled with sorsers only. No nails permitted. Cementitious board will be used at all wall assay, gives board to be used for remainder of bathroom valls and celling. All work will be all the properties of the properties of

For Special Theater soundproofing dryvall, see Insulation specification above.

CARPET: Selected by Owner and Installed by this Contractor, Provide carpst padding and physicol underlayment for amount runnings to alternate surfaces.

\*\* 6TONE: Provide and install selected atone wall and flooring finishes over min. 3/6' comentitious

board. All stone counter material to be minimum 1 1/4' stabs set on sub-tops provided,

Set stone to coraply with requirements indicated on the drawings, install annihors, supports, fistal rens, and other stationment ancessary to secure stone in place. Skinn and skipus contents, that there, and other stations are received in a content of the conte

FAINTING: This Contractor will furnish all labor and materials to execute the painting required for the project as follows:

All paint will be Benjamin Moore "Regal Classic Premium." All paint selections per Owner for interior Remove handvare and hardware accessories, plates, machined surfaces, 55th flotures, and similar illems already installed that are not to be painted. If removal is impractical or impossible because of size or weight of the item, provide surface applied protection before surface preparation and paintin

Protect work of other trades, whether being painted or not, against clamage from painting. Cornect damage by cleaning, repetring or replacing, and repainting as approved by Architect.

EXTERIOR PARTITION: Apply one (1) post of exterior solid color stain or paint primer before trim is installed on all six (8) alides and one (1) exterior final field first cost of solid color stain or taxex house paint to the exterior voodwork at completion. Burgs or wifined doors, fabricated in wood, will receive one (3) coast of exterior solid coor stain or paint ordinare and one (1) eacher final field inline coat of exist door stain or latest house parts. Casage walks and callings will receive one (3) coast of dywall former and one (3) coast of dywall finare and one (3) coast of final paint. Exposed structural steel within gausges will receive one (1) coast of finals paint.

All exterior wood decking materials to be sealed, stained, or painted on all six (5) sides. Verify finish and installation requirements with Architect.

HYTERIOR PARYING: Inledor woodwork will reache one (1) cost of paint primer and two (2) costs of stated finish costs or one (1) costs of state and two (2) finish costs or one (1) costs of state and two (2) finish costs or one-purelises easier. The GC statil provide or unif (1) costs of pre-state conditioner as necessary to provide a uniform color at all stated wrose. GC will purely all nait holes and finand-sand between costs.

As interior wells and ceilings will receive one (1) coal of drywall primer and two (2) coats of latex finish paint. As wall and ceiling finish paint will cover thoroughly.

Sasament Structural steel and steel window frames will motive finish paint to cover thoroughly.

General Contractor to worlly any additional costs for multiple color selections in the bid package. If no eadditional pricing is noted it is assumed owner may relact any number of color selections. MISCELLANEOUS FINISH NOTES:

GC to neatly poly-seem seel all countertops. Backsplashes to be provided at all counter and tub / whirlocol deck areas in a material to match the adjacent horizontal purifice, unless otherwise noted.

Unless noted otherwise, all closets to have the same floor finishes as the adjacent room,

Cover finish flooring before and after finishing during remainder or construction period. Use heavy duty resin paper or other suitable covering. Do not use plastic sheet or film that could cause confernation. Tile and/or atone installer to provide and install water-proof non-yellowing sealer at all tile and atone

# 10.0 SPECIALTIES:

MIRRORS AND SHOWER DOORS: The GC will provide and install mirrors per Owner, Skower doors shall be tempered frameless glass with hardware selection per Owner.

APPLIANCES: All appliances to be selected by Owner and Installed by GC / CM. GC / CM to verify quantity and utility requirements for appliances with Owner and or kitchen /cabinety or awings.

PLUMBINGs. This Contractor will furnish and Install at journing magnifule and labor required for the completion of the job as per building plans, litinois Blaze Plumbing Code, and local municipal building codes. Water service pipe shall be installed 5-0° below grade minimum. Water supply and distribution lines shall be installed in accordance with the provisions of the RICP 2900.

HOTWATER RE-CIRCULATING SYSTEM: Install complete Hot water system with approprial stad 60% efficient Quick recovery Water Heaster in parties with disect versing and desiclated gracefulded from lines stad for whitele house with check and skindor Wester. Provide a skindor exhaulter circulating gump. If required for proper operations provide circulating pump(s) for reclosation guarder.

SEWER, WATER & STORM SYSTEM: Install required water service with 8-Box stut off from the main frob the building, install severe joes to be sever main per whitefood bode requirement. Proof-dean out midway between house and street, install 5 years place as considerable for each whereir soot earn of stored. The stand place is consistent for each whereir soot earn of stored. Confirm with the local Municipal codes to worthy at connection locations and requirements. RADON REDUCTION BY BTEM: Initial an active sub-slab depresentation system with 1900 box installed within 10°0° of point of entry and pipe stand in accordance with the lithois Radon Realisant Contraction Act. Run history pipe and subsust thru roof in accordance with local codes and activations. Water ancies ing west pipes that be constituted with 20°0 water.

# A 23.0 HEATING VENTILATING AND AIR CONDITIONING:

HEATING, COOLING AND BHILET METAL: This Contactor will provide all labor and materials at provide and install the HYAC work. Provide heating and cooling units and design system capable heating and cooling oldering in accordance with Section 2013 of the intermination Residential and all applicable loos codes. Heating equipment shall be capable of maintaining minimum cool temperature of 80 designess at 37°0 shows the floor and 20°C from seatory water in all habitables of the provider of the seator of the seator

The complete hearing and deciding genero will be designed, what and hearing a hearing to the flames of hearing and the second of the second of

9.0 FINISHES:

See a service of the state of

The heading system units will consist of 90% off. Carrier or equal, gas furnaces with electronic five dempers. Each humans will be endeped with April Ake humiditer with remote controls. A media by a AFFration System will be provided for each transper unit. Additionally, honoxyrell Electrostatic AF Cleanar as to be infrated for each humans with conservation and controls with the appropriate of the control of Air conditioning units will consist of Centler or equal electric air condenser units

Exhaust systems shall be installed per manufacturer's written requirements and in accordance with the provisions of the IRC MISGO. At outdoor hiskes and exhausts shall have externation or provide dempers that clote when the vertilation system is not in use, compliant with IECC Section R403.8 Provide combustion six to all tunnace rooms in compliance with IRC Chapter 17: Combustion Att.

SXHAUST FANS: See plans for clothes dryer and kitchen exhaust locations. Vent bath exhaust fan thru the roof. Notify architect with any conflicts.

RANGE HOODS: Each range hood shall be sized per interdischer's recommendations and shall capable of shibusting in excess of 400 cubic feet per minute (CFM) and furnished with an automo make-up air dumper integrated with the operation of the hood. The method-up air damper shall be automatically controlled to start and operate simultaneously with the exhaust system.

WHOLE HOUSE VENTILATION SYSTEM: This convactor to provide a heats a whole house exhaust an eystem. Verdistion system must be installed in complance with the requirements of IECC Sections R4038 through R403.8.1. Fan system to be interlocked with the operation power astic actuals fans. Inhebitableaby vent fan Inhough nort in complance with manufacturers

FINALAT MEAT FORTING Fundaments paramitering forces to be habitanted, sized, and designed by an illustrationared learnessing fragments, subvariable by their state, selections readed on their state glass design, and establish besided used designs an exhalter in accurate plant (2.1.2. A bittle in their learness is interplantated with five respectivements of SCC Stategor (Media) and (Media). A subface has system belong PSC used sections of in processing and instead of invarious operators. Used has support belong the section of the contract and contract stated in the section between the section of authors of the proceedings of the section of the section of the section of the section of sections of the section of authors of the section of sections of the section of section of the section of section of the section of the section of the section of the section of section of the section of the section of the section of section of section of the section of section o

### 26.0 ELECTRICAL:

ELECTRIC: This Contractor will furnish all labor and materials to complete the electrical work. This Contractor shall also include all systoless, cutiest, recessed light forumes, cathing lighting and any other non-decorative light focuses in his base contract. GC to verify all focuses locations prior to installation with Course.

Figures of high finance installability sharing spanning state in extra till-scale and individual behavior to transact militarious state of the behavior to appear to the behavior from the behavior, and for the properties of the

This Contractor to meet with the owner prior to bid end provide an allowance for a complete Lutron Home Methods available.

Before electric rough in starts, the Owner, Architect, OC, and the Electrical Contractor will make one the through the house for the purpose of cladification, positioning of certain fixtures and possible electrical charges. Location of eating area and offering room fixtures should be verified as well as fixtures over harb verifies and other crifical locations.

All electric work will be done in compiliance with the local Municipal building codes and The Nadonal Electric Code. All wining will be in link-wall metal conduit. All appliances, sump pumps, computer locations, sto, to be on separate choulds.

Electrical service to be grounded by an electrode encased by at least 2 in. of concrete, localled within and man the bottom of a concrete foundation or fooling that is in direct contact with the sands, consisting of at least 010. of electricity concluctive coalists alse in shriving bays or rods not less than 12th in diameter. Relationship bare shall be permitted to be bonded together by the usual steel (8 withing or other other) means. GENERAYOR: This GC/CM to provide an atowance for a natural gas-fired generator with transfer which and arract ewidth to provide power to Owner-selected items. This Contractor is to metivate Owner, pier to submission of bid, overly beam without set to be consided to the generator. Co-to provide a detailed breakdown of all systems provided at this of Bidding, including name of equipment manifecture.

# 31.0 EARTHWORK:

Cell J.U.I.I.E. for all utility locations before disping. Size clearing operations shall not commence until temporary excelor sediment control and the production at disp edge of trase which are to remain see in place. Replair my demanded great seasor crossed by conservation selfs, chamaging datase serve to be replaced with sold. Existing planting urass dramaged to be replaced with tills mesonible. Keep size clear and maintained throughout become planting the server of the placed with tills mesonible. Keep size clear and maintained throughout become planting the server of the placed with tills mesonible.

This Command will strip black dist from the building size and spokepie it in an approved location or where specified on the size plan to be used for finish grading. All unused makings to be hasted off also compandor's expense.

The Contractor will excesses to the silevations shown on the plan. If this bearing soid of 3,000 lb / a /, is not reached at these silevations in the Contractor will cease work and only the Architect and an excellent of the contract of th

After boundaries are in place, the funding passe the souther, the main recommend and funding objects interesting and southern the property of the property of

32.0 EXTERIOR IMPROVEMENTS: STOME PAVERS ON CONCRETE (WET-SET): Walks, porches and palce to consist of 24" min. thick grout set bitustane pawer on 4" thick contrate reinforced with thickys2.ov.2 W.W.F. planed owns a" compacted store base contrace containing of LAS contribet store. The sub-grade is to be probl-rolled and compacted to 95% density before the placement of the atoma base course.

From inchange and continuous print and but integers to the other incompression of the continuous absolutes.

From inchange and continuous prints and but integers to the other incompression or continuous phases in the continuous proportion of a continuous phases in the co

Protect firstly placed concrete from premature drying and excessive cold or hot temperatures. Begin culting after finishing concrete but not before free veter has disappeared from the concrete surface. Protect concrete from disappea. On one permit which on concrete and seed barricades too protect concrete from traffic for all least Let days after placement.

SED ARCA RAYNETTE J BRADFORD 001-023477 COFILLING EXPIRES 11/30/201 IL DESIGN FIRM NO 1 8 4 . 0 0 7 4 9

60521 N.NET

STE.

AVE,

OGDEN

교 없

Z

O

ഗ

Ш

4

O

2

0

Ω∄ S = ЩÃ <u>ଫ</u>୍ଞ୍ଚ Z

JDB NUMBER: 18-04 DATE: 08-06-2018

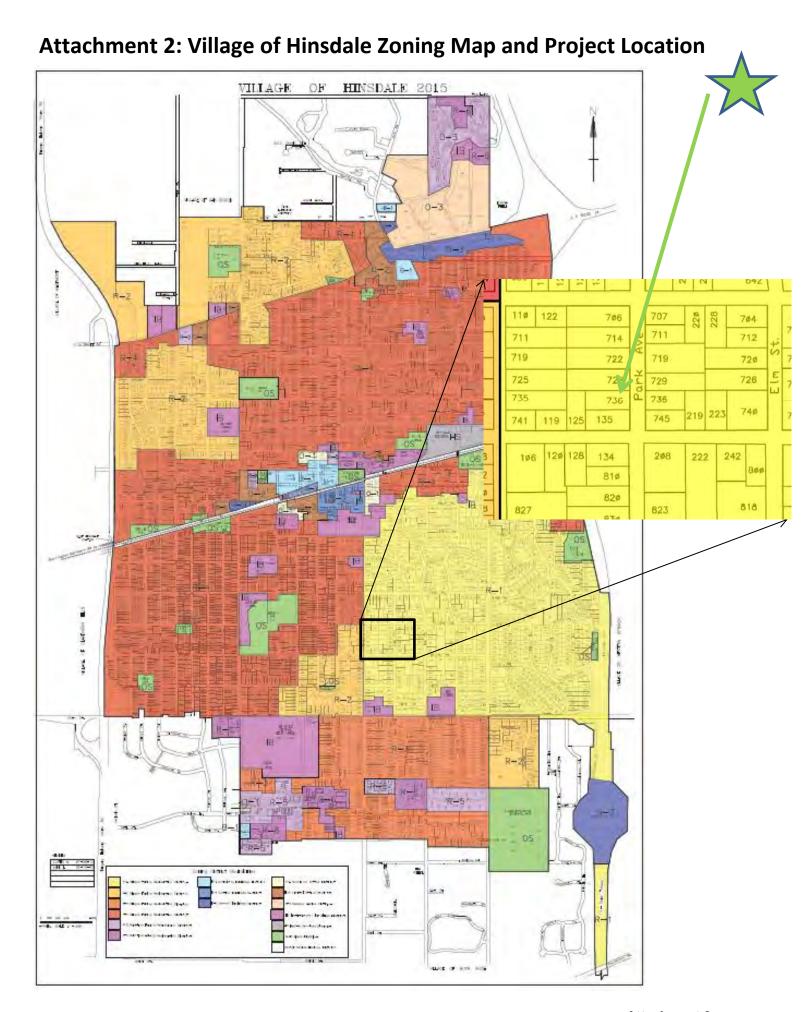
ISSUE/REVISION:

SPECIFICATION & ALLOWANCE

SCHEDULE

A5.1

**Attachment 1** 



# Attachment 3

# **CERTIFICATE OF APPROPRIATENESS**

# 14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

# A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

# B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.