MEETING AGENDA



MEETING OF THE HISTORIC PRESERVATION COMMISSION Wednesday, October 3, 2018 6:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PUBLIC COMMENT
- 4. MINUTES Review and approval of the minutes from the September 5, 2018, meeting.
- 5. PUBLIC HEARING CERTIFICATE OF APPROPRIATENESS
 - a) Case HPC-07-2018 736 S. Park Street Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District.
- 6. DISCUSSION
 - a) Memorial Hall 90th Anniversary Celebration

7. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or by TDD at 789-7022 promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

September 5, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale 6:30 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on September 5, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Gonzalez and

Commissioner Haarlow

Absent: Commissioner Weinberger, Commissioner D'Arco, and Commissioner

Williams

Also Present: Chan Yu, Village Planner

Applicant for cases: HPC-06-2018

Minutes

Chairman Bohnen introduced the minutes from the July 11, 2018, meeting and asked for any comments.

With no comments, the HPC unanimously approved, 4-0 (3 absent) the minutes from the July 11, 2018, meetings.

<u>Signage in the Historic Downtown District</u> Case A-36-2018 – 36 S. Washington St. – Compass – 1 Awning Sign

Chan stated that the sign applicant is unable to present the request to the HPC, however, he can help with questions the HPC may have.

Commissioner Prisby asked if it is 2.48 SF they are asking for.

Chan responded correct.

Commissioner Prisby asked what are they allowed.

Chan responded 25 square feet, and clarified that for awning signage, text is only allowed on the valance of the awning, and not on the slope.

Commissioner Prisby asked if they are reusing the structure.

Chan responded yes, and replacing the awning fabric.

Chairman Bohnen asked for any additional comments by the HPC.

Commissioner Prisby stated that he has no issues with it because it is much smaller than the maximum signage area, the color/design are simple and consistent with what is existing.

Commissioner Gonzalez and Commissioner Haarlow concurred.

The HPC was supportive for the request and recommended **approval** of the sign as submitted **unanimously**, **4-0** (3 absent).

Public Meeting

Case HPC-06-2018 – 329 E. 6th Street - Request for Certificate of Appropriateness to restore a historic home on the National Register of Historic Places in the Robbins Park Historic District

The applicant, Dave Knecht presented the proposed restoration plans, in great detail, to best restore the nationally registered home in the Historic Robbins Park District. He also reviewed the pieces of the home that they are able to salvage and reuse after the unfortunate fire. He also reviewed areas of the interior that was modernized with amenities in the early 2000's, and to restore it with the historic integrity found throughout the rest of the home.

Chairman Bohnen asked if they feel they have sufficient funds for this project.

The applicant responded yes, the insurance coverage is very good.

Commissioner Gonzalez expressed his concern about documentation, early on with the state historic preservation officer, in regards to the historic tax freeze program. He explained, the earlier you begin working with them, the smoother the process will be.

The HPC commended the applicant for its objective to restore the home with its historic elements and recommended approval of the Certificate of Appropriateness, 4-0 (3 absent).

Discussion - Memorial Hall 90th Anniversary Celebration

Tom Lynch, of American Legion Post 250 reviewed the plan for re-dedication on Sunday, November 11, 2018. The plan is to have an open house (at 11 AM) before the dedication ceremony. He also reported that he has invited Governor Rauner, but won't have an answer until October 11, 2018. Joe Craig, a former post commander stated that he would like a blessing from the Village as to what they are planning for, to promote some of the history of the Village.

Chairman Bohnen expressed that he's sure the Village is supportive, but the question is how it can assist them in order to have a good celebration. There needs to be more discussion about coordinating the celebration so it was continued for the next HPC meeting.

Adjournment

The HPC unanimously agreed to adjourn at 7:22 PM on September 5, 2018.

Respectfully Submitted,

Chan Yu, Village Planner

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

DATE: October 3, 2018

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 736 S. Park Street – Case HPC-07-2018 - Application for Certificate of Appropriateness to

Demolish and Construct a New Home in the Robbins Park Historic District

Summary

The Village of Hinsdale has received an application from J. Jordan Homes, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot on 736 S. Park Street. The existing home was constructed in 1916 in a Tudor Revival style according to the National Register of Historic Places, and both the home and detached garage are contributing structures in the Robbins Park Historic District. The applicant has included front, rear and side elevation photos of the existing home, and east and south elevation illustrations of the proposed new house.

The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 20,224 SF in area. The lot is approximately 206 feet deep and 98 feet wide.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 5.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

Attachments:

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Parcel View of 736 S. Park Ave.

Attachment 4 - Robbins Park Historic District Map

Attachment 5 - Title 14, Section 14-5-2: Criteria (A) and (B)

August 15, 2018

Mr. Chan Yu

Village Planner

Village of Hinsdale

19 E Chicago Avenue

Hinsdale, IL 60521



RE: 736 S Park Street, Hinsdale, IL – Certificate of Appropriateness

Dear Mr. Yu,

Attached you will find the following items for 736 S Park Street:

(7) FULL sets for the Committee Members consisting of:

~Certificate of Appropriateness application

~Architectural Drawing (East and South Elevations)

~Plat of Survey

~Photos

~Plans

(20) sets of same - 8 1/2" x 11"

I can be reached at 312-320-9990 with any questions and am available to meet with anyone at the job site to discuss the project as well.

After your review, please let me know if you need anything else.

Sincerely,

J JORDAN HOMES LLC

Julie J Laux

Managing Member

VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Addre: Prope	rty Identification Number: <u>09-12-404-01</u>
l .	GENERAL INFORMATION
	Applicants Name: J Jordan Homes LLC Address: 112 S Grant St. Hinsdale, 72 60521 Telephone Number: Julie - 312-320-9990
2.	Owner of Record (if different from applicant): John Thomas Paolella Trus Address: 267 Benton Lane Bloomingdal, IL 60108 Telephone Number: 847 = 278 - 272 4
3.	Others involved in project (include, name, address and telephone number): Architect: Moment. Descrip - 201 E. Ogden Ave., Ste. 20. (Linsdale, Include - 201 E. Ogden Ave., Ste. 20. (Linsdale, Include - 201 E. Ogden Ave., Ste. 20. (Linsdale, Include - 201 E. Ogden Ave., Ste. 20. Park Rd., 1st Floor, Chicago 60641 773-853-2381 Builder: Jordan 1-tomes LLC-112 Scrant St. [Hinsdale, Include - 212-320-9990] Engineer: Engineering Resources Associates 35701 West Ave., Ste. 150, Warrenville, Includes 555
	E INFORMATION
1.	Describe the existing conditions of the property: aga, unkept, not well Maintained
2.	Property Designation:
	Listed on the National Register of Historic Places?YESNO
	Listed as a Local Designated Landmark? YESNO
·	Located in a Designated Historic District? YESNO

Successive Applications. Has all or any part of the property been the subjet another application for a Certificate of Appropriateness under Title XIV of the VicCode of Hinsdale within the last two years? Vo Yes If yes, state the date of the formal hearing and a statement explaining any relevative evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.	alteratio necessa	
Successive Applications. Has all or any part of the property been the subjet another application for a Certificate of Appropriateness under Title XIV of the VicCode of Hinsdale within the last two years?		New residence - See plans
another application for a Certificate of Appropriateness under Title XIV of the VI Code of Hinsdale within the last two years?		attached.
another application for a Certificate of Appropriateness under Title XIV of the VI Code of Hinsdale within the last two years?		
If yes, state the date of the formal hearing and a statement explaining any relevative evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village	anothe	r application for a Certificate of Appropriateness under Title ATV of the Viff Hinsdale within the last two years?
	eviden conside	state the date of the formal hearing and a statement explaining any relev ce supporting, the reasons why the Applicant believes the Village should er this application at this time, pursuant to Section 14-3-10 of the Village

CERTIFICATION

MY COMMISSION EXPIRES:09/24/19

The Applicant hereby acknowledges and agrees that:

- The statements contained in this application are true and correct to the best of the Α. Applicant's knowledge and belief;
- The Applicant will provide the Village with all additional information, as required, B. prior to the consideration of, or action on, this application;
- The Applicant shall make the property that is the subject of this application available C. for inspection by the Village at reasonable times;
- If any information provided in this application changes or becomes incomplete or D. inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- If the Applicant fails to provide any of the requested information, or any other E. requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

×	INDIVIDUAL OWNERS Signature of Applicant CORPORATION	Signature of Applicant
	Signature of Applicant's President	Signature of Applicant's Secretary
	□ PARTNERSHIP	
	Signature of Applicant	Signature of Applicant
	Signature of Applicant	Signature of Applicant
	LAND TRUST	OTHER
	Signature	Signature of Authorized Officer
9	SUBSCRIBED AND SWORN to before me this	Marjorie & Cantrell Notary Public
	MARJORIE E CANTRELL NOTARY PUBLIC - STATE OF ILLINOIS	4



ARCHITECTURE + INTERIORS 630 828 8161 www.momenidesign.net S W

j.jordan homes 736 s. park avenue hinsdale 05 18 18

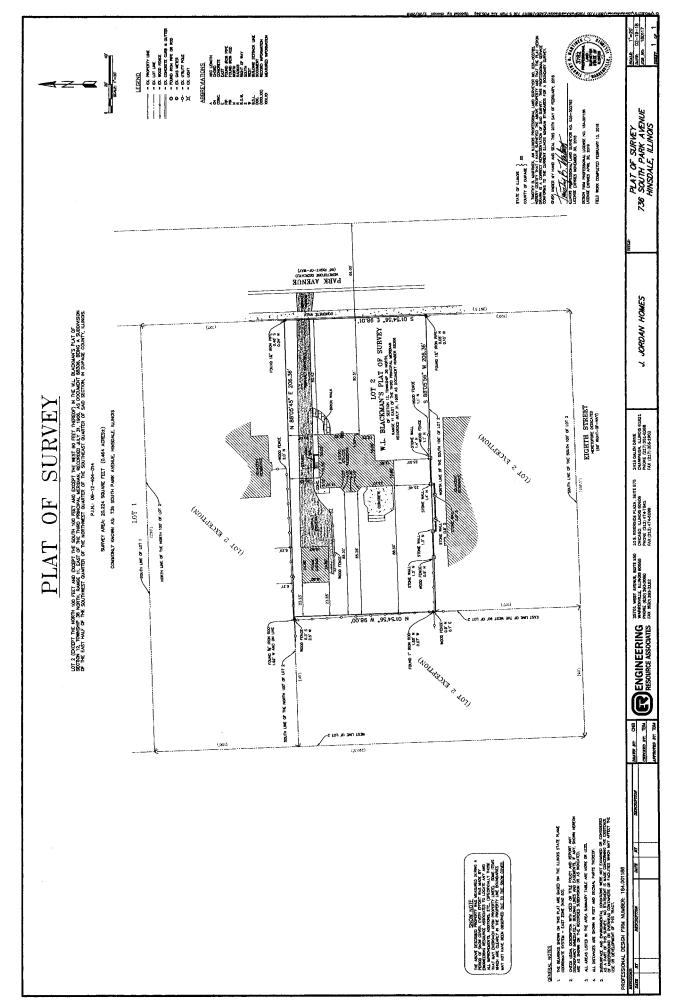


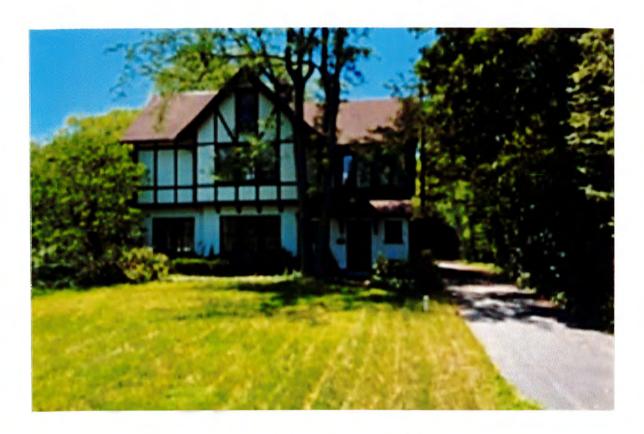
j.jordan homes 736 s. park avenue hinsdale 05 18 18

ARCHITECTURE + INTERIORS 630 828 8161 www.momentdesign.net

DESIGN

Attachment 1





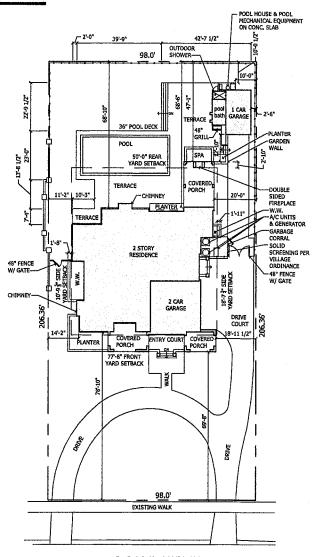
Front Elevation – Facing East



Rear Elevation – Facing West



Side Elevation – Facing North



S PARK AVENUE

SITE PLAN SCALE: 1" = 20'-0"

LEGAL DESCRIPTION:

LOT 2 (EXCEPT THE NORTH 100 FEET AND EXCEPT THE SOUTH 100 FEET AND EXCEPT THE WEST
90 FEET THEREOF) IN THE W.L. BLACKHAN'S PLAT OF SECTION 12, TOWNSHIP 38 NORTH, RANGE
11, BAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JULY 31, 1906, AS DOCUMENT 88306,
BEING A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST
QUARTER OF THE SOUTHEAST QUARTER OF PAID SECTION, IN DUPAGE COUNTY, ILLINOIS.

POST OFFICE ADDRESS: 736 SOUTH PARK AVENUE, HINSDALE, ILLINOIS

GENERAL NOTES

- GENERAL REQUIREMENTS
- NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS,
- ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION
- ALL INTERIOR AND EXTERIOR FRAME WALLS TO BE 2 X 6 STUDS AT 16" O.C. WALLS DRAWN NOMINALLY AT 6 1/2" ASSUME 2 X 6 STUD WALL WITH G.W.B. OR SHEATHING BOTH SIDES PER SPECIFICATION.
- BLOWER DOOR TEST TO BE PERFORMED IN ACCORDANCE WITH IECC 2015 402.4.
- 6. NEW CONSTRUCTION TO COMPLY WITH IECC 2015 PRESCRIPTIVE
- BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH 2015 IECC SECTIONS R402.4.1 THROUGH R402.4.4.
- THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPILANCE WITH 2015 IECC. TESTS TO BE WITHESSED BY THE BUILDING INSPECTOR AND TEST REPORTS ARE TO BE SUPPLIED TO THE COMMUNITY
- ENGINEERED LUMBER SHALL NOT BE CUT, ORILLEO, OR NOTCHED UNLESS SPECIFIED.

B. FIRE RATINGS

- SPACE BETWEEN FLOOR AND EXTERIOR WALL AND AT ALL SPACE BE WEEN HOOR AND EXTENDITY WALL AND AT ALL OPENINGS IN THE RLOOK, INCLIDING SPACE SETWEEN DUCTS, ONDUTT, PIPING, ETC., EXCEPT WINEY COMPLETELY ENCLOSED BY FIRE RATTED CONSTRUCTION, SHALL BE SAFED OFF (FILLED) WITH APPROVED SAFING PARTEUAL TO MAINTAIN THE CONTINUITY OF THE FLOOR THE RATHING. ALL DIGHTS OF ANY LEENERY OF CONSTRUCTION SHALL BE TIGHT AND PREVENT THE PASSAGE OF SWOKE OR FLAME.
- ALL PIPING, OUCTS, ETC., THAT PENETRATE FLOOR SLABS AND WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESER' THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" MIN. G.W.B., 3/8" WOOD STRUCTURAL PANILS, OR 3/8" TYPE 2-M-W PARTICLESORD TO BE INSTALLED PARALLE. TO FLOOR FRAMING MEMBERS PER IRC RSD.12. DRAFTSTOPPING TO BE PROVIDED AT THE FOLLOWING LOCATIONS.
 - A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR
- A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL.

 A.L. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS DOCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS, CIVE CEILINGS, CIVE CEILINGS, COVE CEILINGS, CIVE CEILINGS, COVE CEILINGS, CIVE CEILINGS, COVE CALLED SPACES BETWEEN STAND, DUCTS, CHIMNEYS & FIENERCES AT CEILING AND FLOOR LEVEL, WITHOUT NONCOMBUSTIBLE MATERIALS.

 E. CONCEALED SPACE BECAUSE OF PROPPED CEILINGS OR SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ. FT. SHALL BE ORAFT STOPPED INTO EQUAL AREAS PER IRC RS02.12.
- FIREBLOCKING SHALL BE PROVIDED IN FLOOR CONSTRUCTION AND FLOOR-CEILING ASSEMBLIES PER IRC R 602.8.

COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE

- INSULATION MATERIALS INSTALLED WITHIN FLDOR-CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOXE DEVLOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.
- D. MUNICIPALITY NOTES
- WING WALLS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE HINSOALE FENCE ORDINANCE,

-Flared Slate Ridge

SLOPED STUCCO

3'-3"

CUSTOM METAL RAIN GUARD AND SPARK ARRESTOR

B/3RD FLR. CLG. JST.

SLATE ROOF W/ SNOW GUARDS PER SPECIFICATIONS CUSTOM METAL HEAD

T/3RD FLR. SUB-FLR. B/2ND FLR, CLG, JST,

METAL CLAD CORNER TO MATCH WINDOW CLAD COLOR

GUTTERS &
DOWNSPOUTS PER
SPECIFICATIONS

MATCH WINDOW CLAD COLOR—

T/2ND FLR. SUB-FLR.

B/1ST FLR, CLG, JST. STUCCO FINISH PER SPECIFICATIONS

€ DOWNSPOUT, RUN

BELOW GRADE TO BUBBLER DRAINS, TYP

SLOPED CUT STONI 36" H. W.I. GUARD RAIL W/ ACCESS GATE @ WINDOW WELL BEYOND

T/1ST FLR. SUB-FLR.

B/BSMT, CLG, JST. T/FDN. EL; 100'-0" (721.5') EXTG, AVG, GRAGE EL; 98-6" (720.5')

T/ LOWEST FDN, EL: 98-0" (719.5')

WINDOW WELL

T/BSMT, SUB FLR, EL: 90'-5 1/2" B/COURT CLG, JST,

EAST ELEVATION

SCALE: 1/4" = 1'-0"

METAL CLAD HEAD AND SLOPED SILL TO

6" FLASHING, TY

SLATE CLAD DORMER W

CEDAR CLAD BAY -

RECESSED CEDAR PANEL

(2) (A1.4)

_____Ds_____

- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A ACTUAL F.A.R. LICENSED PLUMBER.
- ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K COPPER OR GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE.
- DUCT SYSTEMS SHALL BE SUPPORTED AT A MAXIMUM OF 10'
 INTERVALS, DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE
 ART TIGHT BY MEANS OF TABE AND SHALL BE MECHANICALLY
 FASTENED BY THREE (3) SCREWS EVENLY SPACED PER THE IRC ELECTRIC SERVICE SHALL COMPLY WITH SECTION 9-6-3; SERVICE ENTRANCE CAPACITY AND EQUIPMENT REQUIRED, OF VILLAGE OF HINSDALE, ITTLE 9 BUILDING REGULATIONS, CHAPTER 6, ELECTRIC CODE AMENOMENTS.

PROJECT DATA

DUPAGE COUNTY, HINSDALE, ILLINOIS R-1 NON-CONFORMING SITE AREA: 20,224,07 SO.FT. ALLOWABLE BLDG, COVERAGE: 5,056.02 SQ.FT. FIRST FLOOR= PORCHES= 676.3 - 200= POOL HOUSE= TOTAL= ACTUAL BLDG. COVERAGE: ALLOWABLE LOT COVERAGE: 10,112.04 SQ.FT.

T T 38114 42114 38114

-- 1 ½" W, X ¾" D. STUCCO KERF

@ OPENING

ACTUAL LOT COVERAGE: 10,026,53 SQ.FT. 6,044.8.8 SQ.FT. CELLAR=
FIRST FLOOR=
POOL HOUSE 1ST FLR.=
SECOND FLOOR=
POOL HOUSE 2ND FLR.=
THIRD FLOOR=
TOTAL=

2,022.4 SQ.FT.

MASONRY / WOOD FRAME

1,283.5 SQ.FT. 348.0 SQ.FT. 1,631.5 SQ.FT.

720'-6" 720'-0"

28'-4 1/2" 14'-11 1/4"

33'-10 3/4

ACTUAL ACCESSORY USE: AVERAGE EXTG. GRADE: HDUSE≃ POOL HOUSE= HOUSE= POOL HOUSE= ACTUAL BUILDING ELEVATION: HOUSE≔

ALLOWABLE ACCESSORY USE:

TYPE OF CONSTRUCTION:

PROVIDE PERMANENTLY AFFIXED CERTIFICATE AT ELECTRICAL PANEL COMPLIANT W/ IECC 2015 SECTION R103.2.

CODE INFO

(12) (A2.1)

STEP FOOTINGS TO

11

11

2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
2014 ILLINOS PLUMBING CODE
2005 INTERNATIONAL PLUMBING CODE
2005 INTERNATIONAL PLETCRICAL CODE
2006 INTERNATIONAL FIRE CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FIRE CAS CODE
VILLAGE OF HINSOALE ORDINANCES
INTERNATIONAL ENERGY CONSERVATION CODE 2015 & ILLINOIS
ANMENDIANTS

ILLINOIS ACCESSIBILITY CODE - CURRENT FOITION ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISOICTION.

SHEET INDEX

GAS FIXTURE SELECTED

GENERAL NOTES, SITE PLAN & EXTERIOR ELEVATION

A1.2 EXTERIOR ELEVATION, L-V SCHEDULE, WALL SECTION, DETAILS

A1.3 EXTERIOR ELEVATIONS & PLUMBING RISER DIAGRAMS A1.4 EXTERIOR ELEVATIONS, WALL SECTION & DETAILS A2.1 COURT LEVEL PLAN & DETAILS

A2.2 LOWER LEVEL PLAN A2.3 FIRST FLOOR PLAN & DETAILS SECOND FLOOR PLAN

THIRD FLOOR PLAN ROOF PLAN & DETAILS A2.7 POOL HOUSE PLANS A3.1 WALL SECTIONS

A5.1 SPECIFICATIONS S1.1 COURT LEVEL FOUNDATION & BASEMENT FRAMING PLAN & DETAILS FOUNDATION & FIRST FLOOR FRAMING PLAN & OFTAILS

S1.2 SECOND FLOOR FRAMING PLAN & DETAILS \$1,3 THIRD FLOOR FRAMING PLAN

THIRD FLOOR CEILING FRAMING PLAN ROOF FRAMING PLAN & DETAILS E1.1 COURT LEVEL SCHEMATIC ELECTRICAL PLAN F1.2 LOWER LEVEL SCHEMATIC ELECTRICAL PLAN

E1.3 FIRST FLOOR SCHEMATIC FLECTRICAL PLAN E1.4 SECOND FLOOR SCHEMATIC ELECTRICAL PLAN E1.S THIRD FLOOR & POOL HOUSE SCHEMATIC ELECTRICAL PLANS

FIRST FLOOR OVERLAY PLAN SECOND FLOOR OVERLAY PLAN R1.3 THIRD FLOOR OVERLAY PLAN

A1.1

ISSUE/REVISION:

JOS NUMBER: 18-04

DATE: 08-06-2018

GENERAL

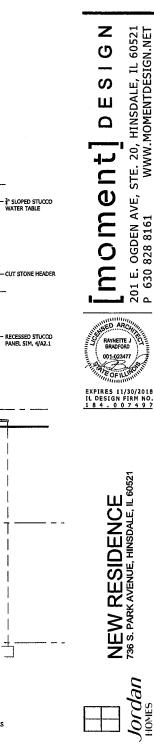
PLAN &

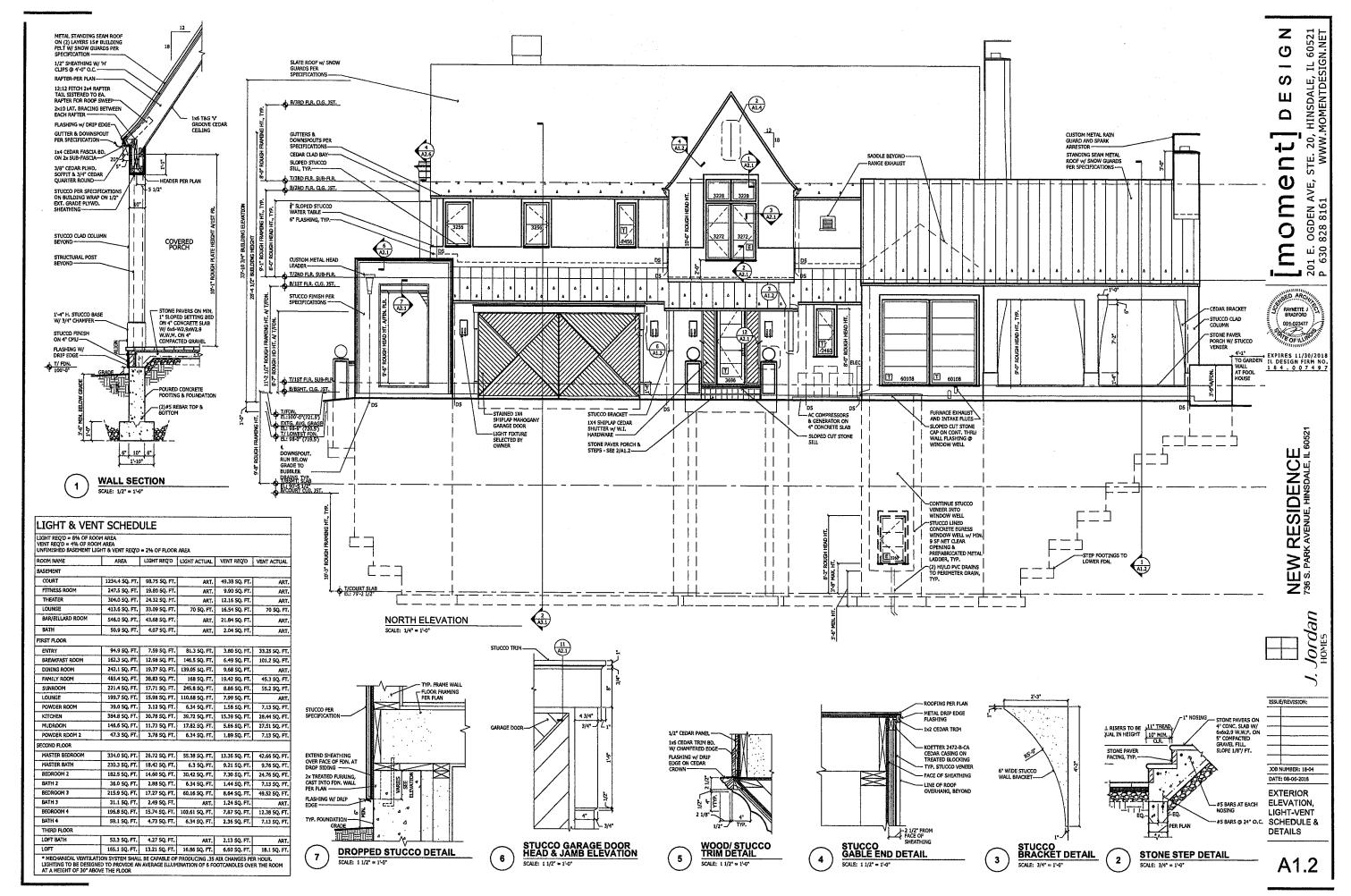
EXTERIOR

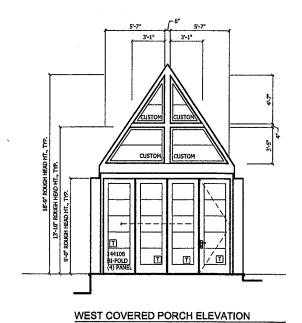
ELEVATION

NOTES, SITE









PLUMBING RISER GENERAL NOTES

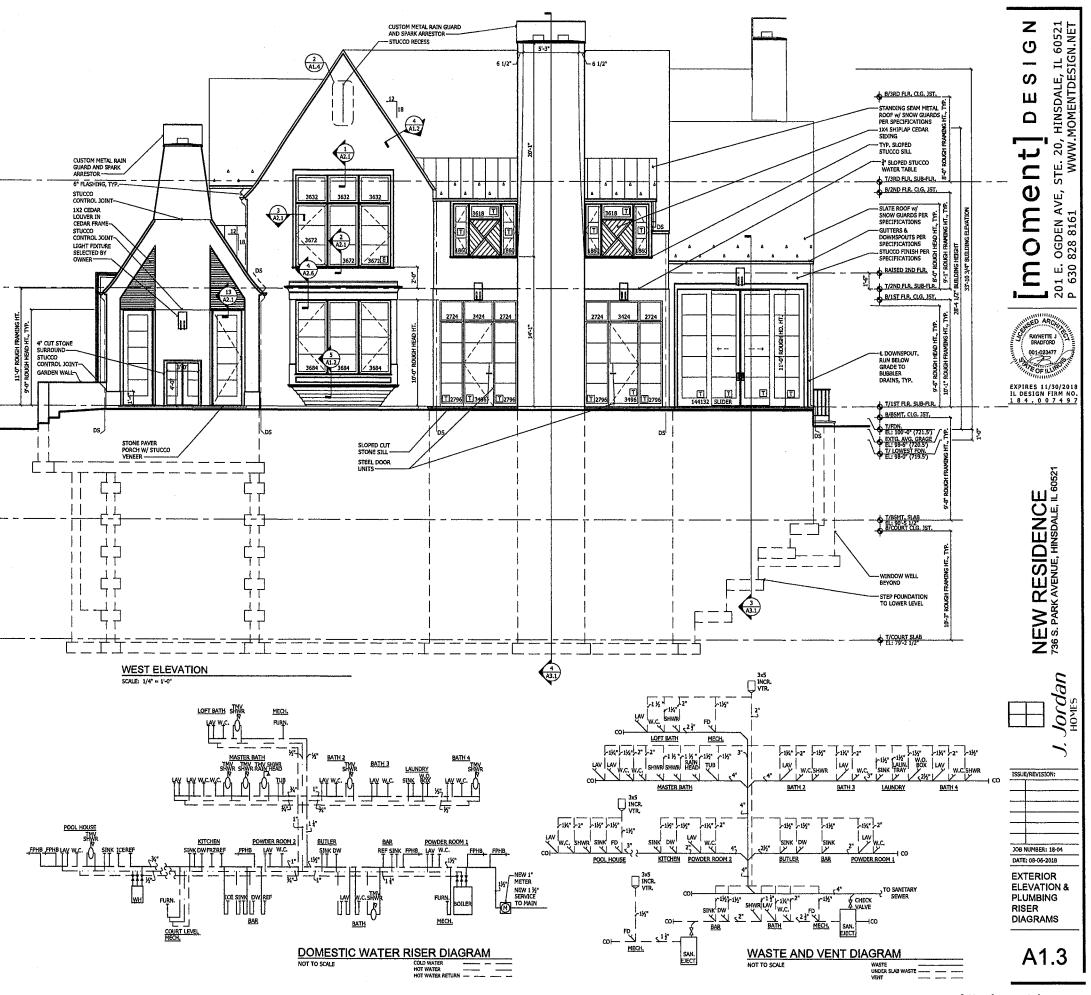
1 ALL SUPPLY PIPING TO BE TYPE "K" COPPER U.N.

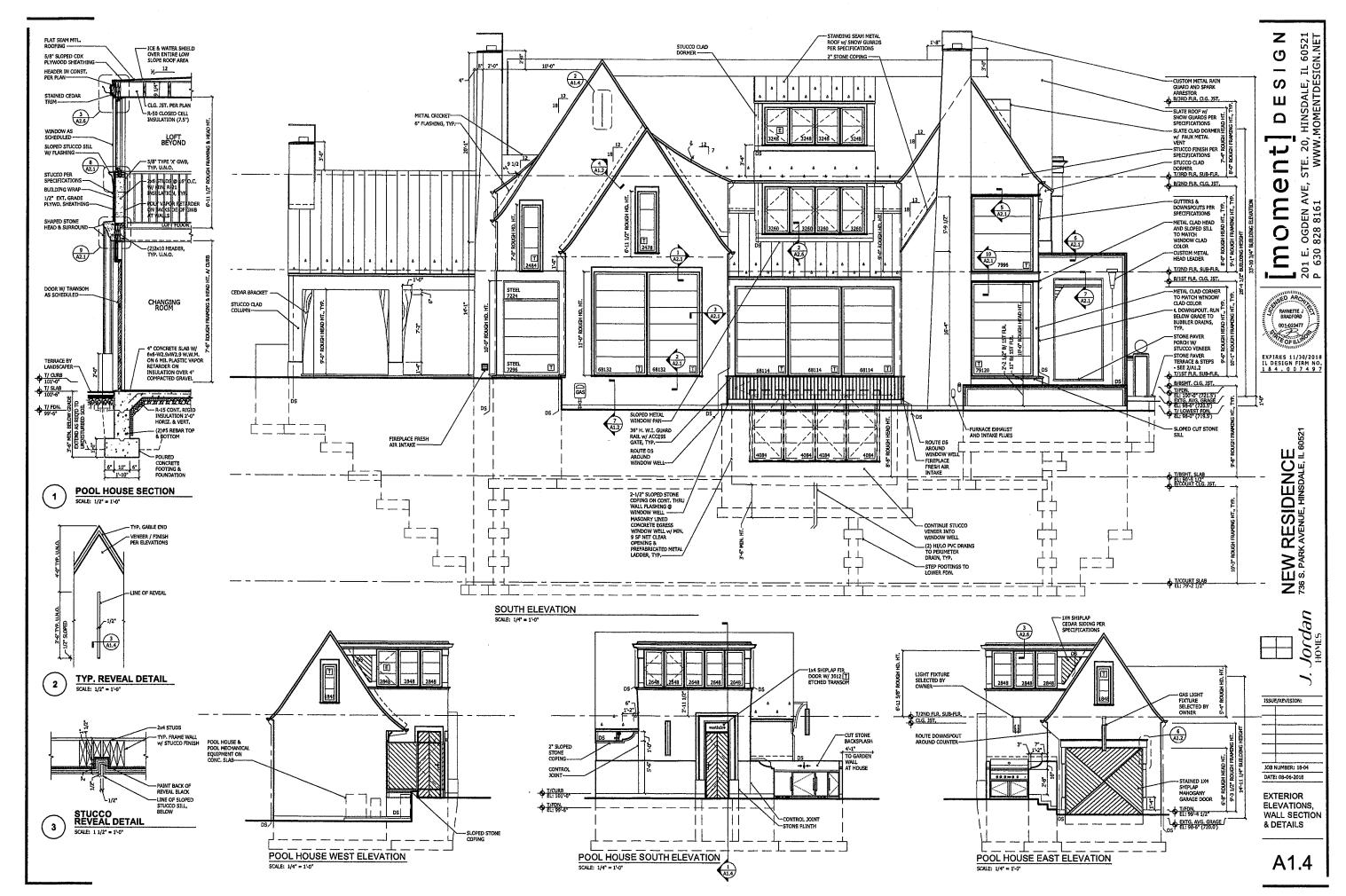
SCALE: 1/4" = 1'-0"

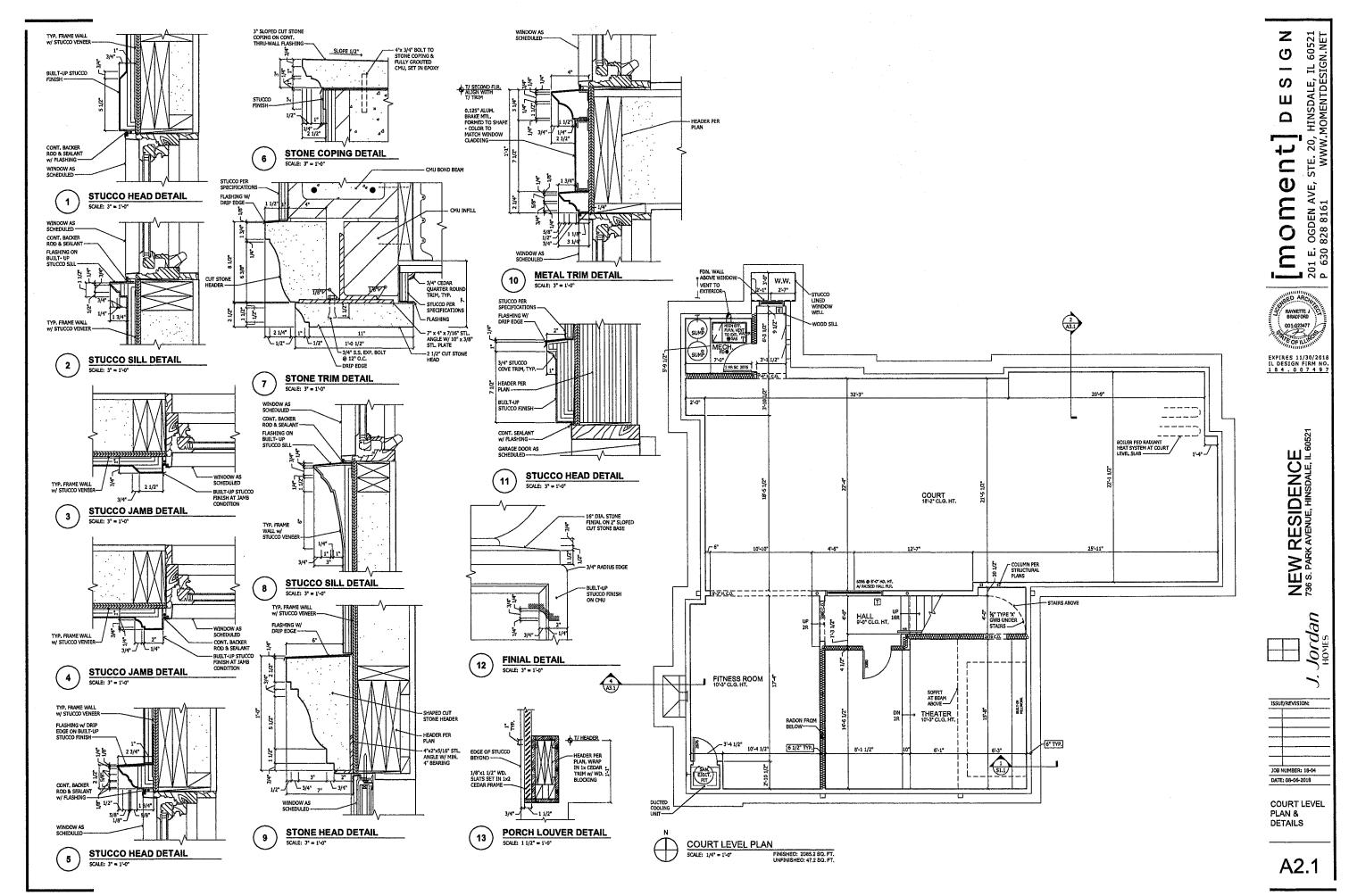
- 2 PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.
- 3 VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.
- 5. THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT
- 5 THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 DIAMETER OF THE DRAIN TO WHICH IT IS CONNECTED, WHICHEVER IS GREATER.
- 6 ALL UNDERGROUND WASTE PIPING TO BE CAST IRO
- 7 ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.
- 8 TIE NEW LINES TO EXISTING AS REQUIRED, VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD,
- 9 GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S LANDSCAPE SPRINKLER SYSTEM.
- 10 COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK,

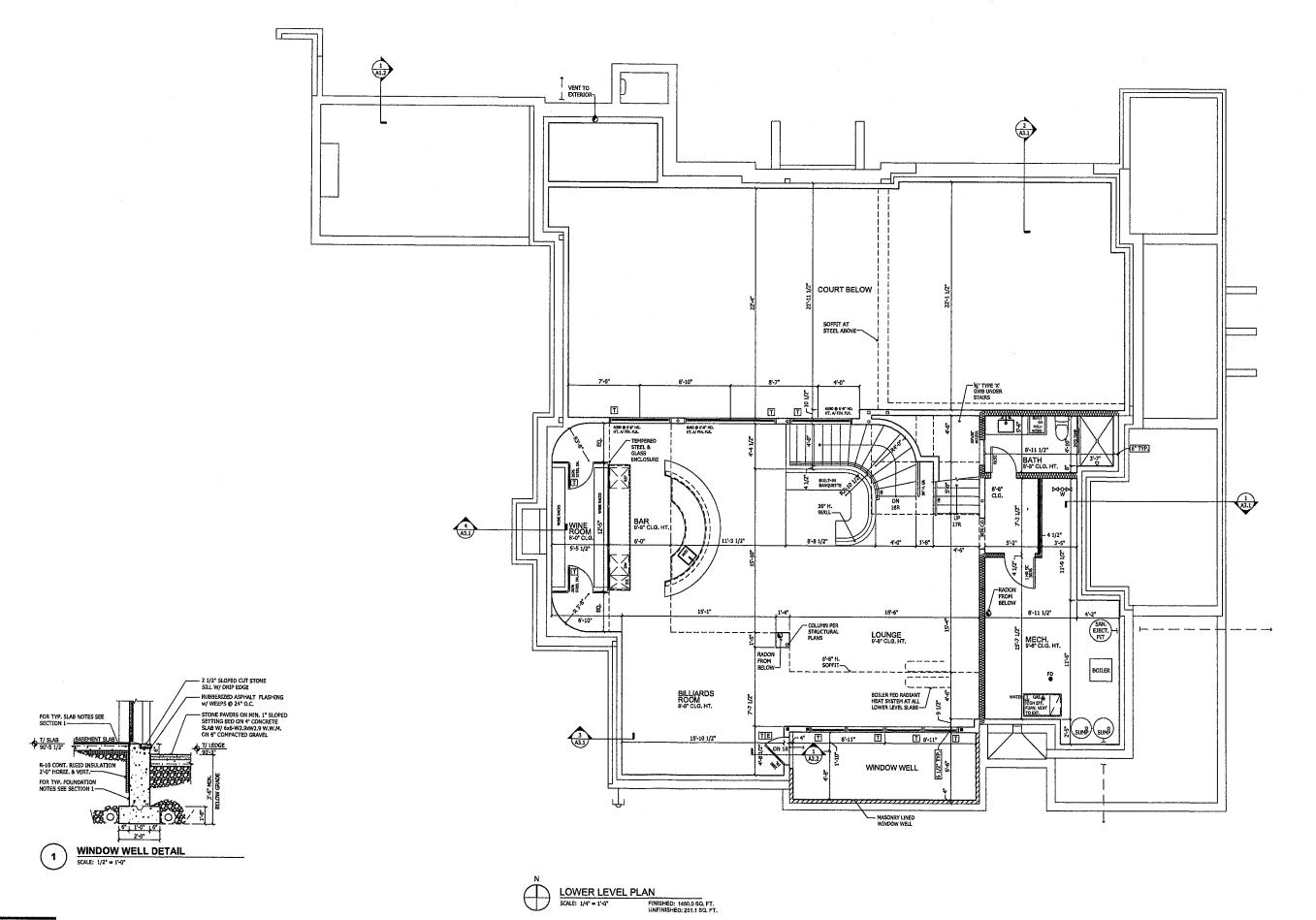
FIXTURE CONNECTION SIZES & QUANTITIES

	FIXTURE COUNT	SUPPLY				DRAINAGE			
FIXTURE TYPE		SUPPLY FIXTURES PER UNIT			TOTAL SUPPLY	FIXTURE SUPPLY	DRAINAGE FIXTURES	TOTAL DRAINAGE	
		ωισ	нот	TOTAL	FIXTURE UNITS	PIPE	PER UNIT	FIXTURE	TRAP SIZE
WATER CLOSET	10	3	0	3	30	3/8"	4	40	3"
LAVATORY	10	0,75	0.75	1.5	15	3/6*	1	10	1 1/4"
SHOWER STALL / TUB	7	1.5	1.5	3	21	1/2"	3	21	2"
WHIRLPOOL	1	1.5	1.5	3	3	1/2"	3	3	2"
STEAM UNIT	0	1	0	1	0	3/8*	0	0	•
KITCHEN SINK	5	1.5	1,5	3	15	1/2*	2	10	1 1/2"
DISHWASHER	3	0	1	1	3	1/2*	2	6	1 1/2"
LAUNDRY 51NK	1	1.5	1.5	3	3	1/2*	2	2	1 1/2"
LAUNDRY DRAIN PAN	i	0	0	0	0	•	3	3	1 1/2"
WASHER OUTLET BOX	1	2.25	2.25	4,5	5	1/2"	3	3	1 1/2"
FLOOR DRAIN	4	0	0	0	0	•	3	12	2"
HOSE BIBB	6	2.5	0	2,5	15	1/2"	0	0	•
RAINHEAD SHOWER	1	0,5	0,5	1	1	1/2"	3	0	2*
POT FILLER	0	1.5	1.5	3	0	1/2*	•	-	-
TOTAL FIXTURE UNITS:					111			110	





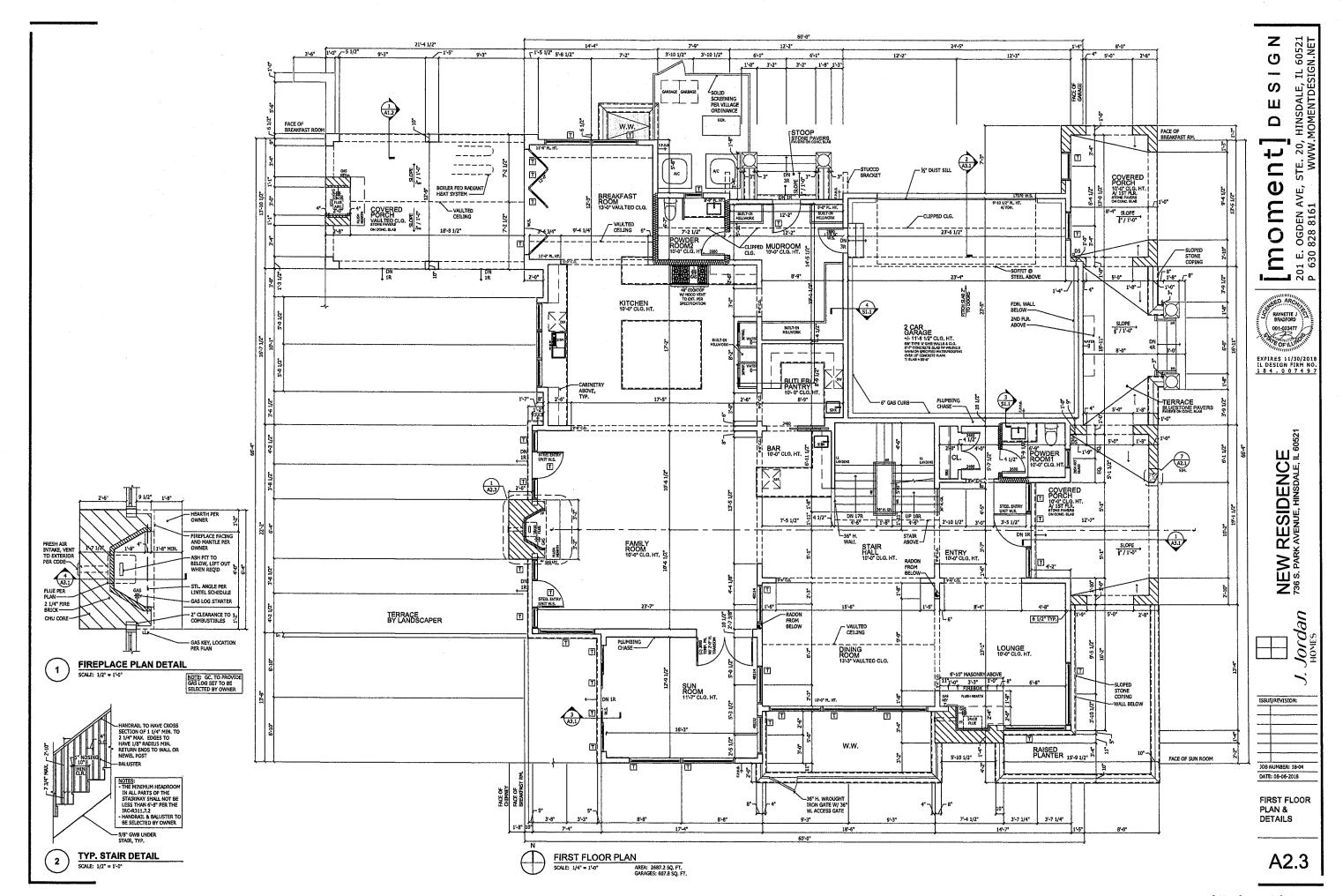


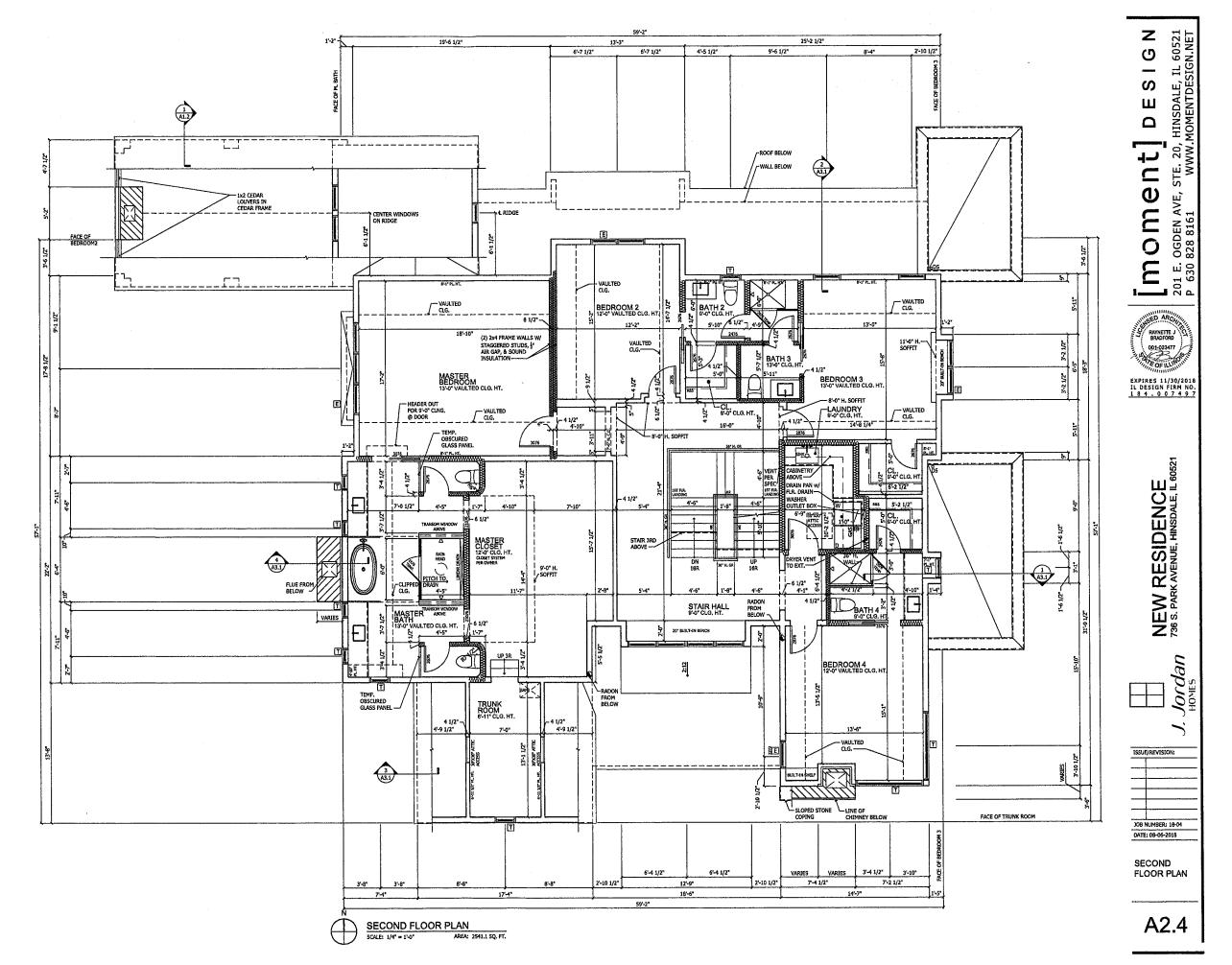


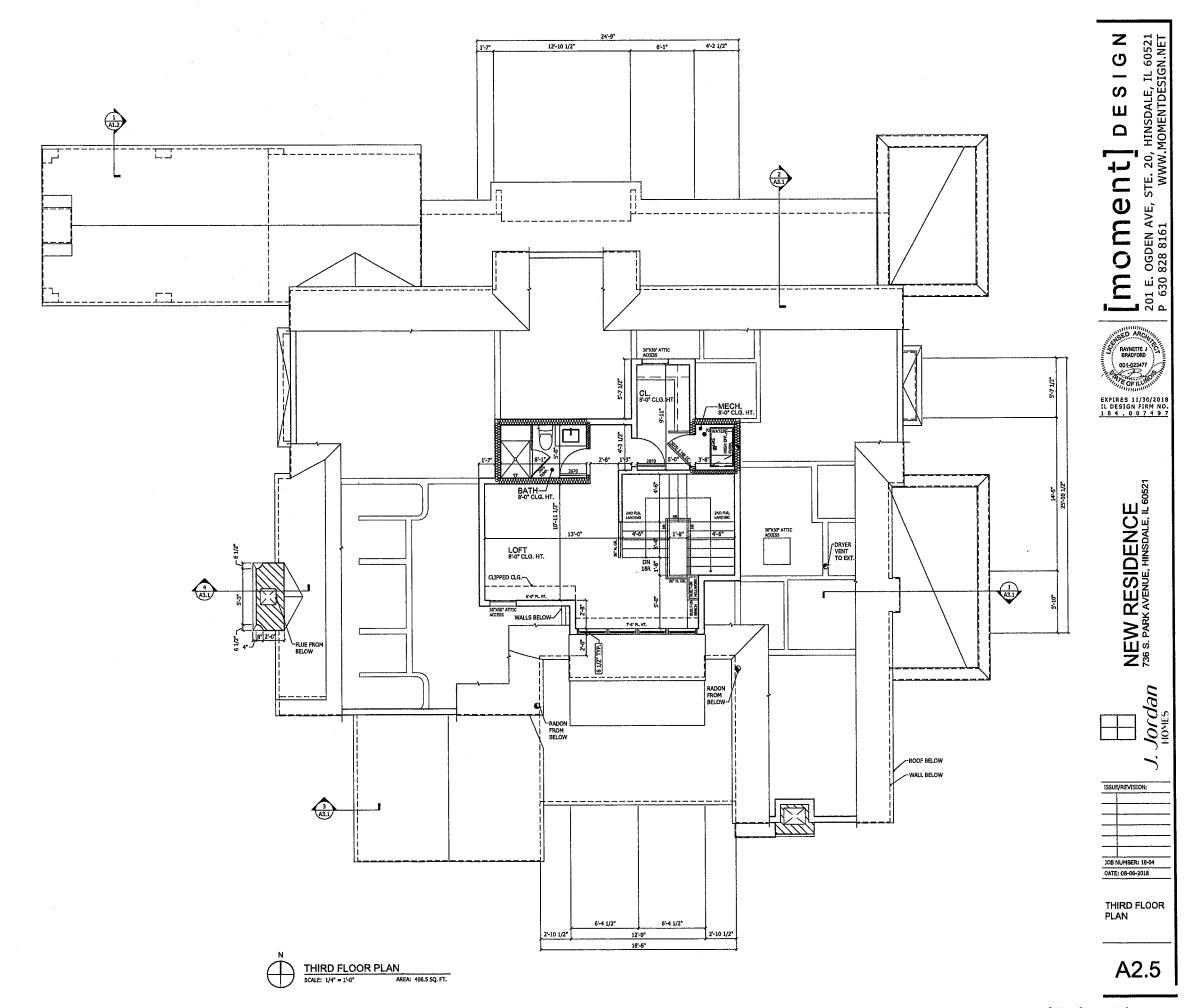
SIGN 60521 N NET ш Ω [moment]
201 E. OGDEN AVE, STE. 20,
P 630 828 8161 www.l RAYNETTE J BRADFORD 001-023477 EXPIRES 11/30/2018 IL DESIGN FIRM NO 1 8 4 . 0 0 7 4 9 NEW RESIDENCE 736 S. PARK AVENUE, HINSDALE, IL 60521 ISSUE/REVISION: JOB NUMBER: 18-04 LOWER LEVEL PLAN

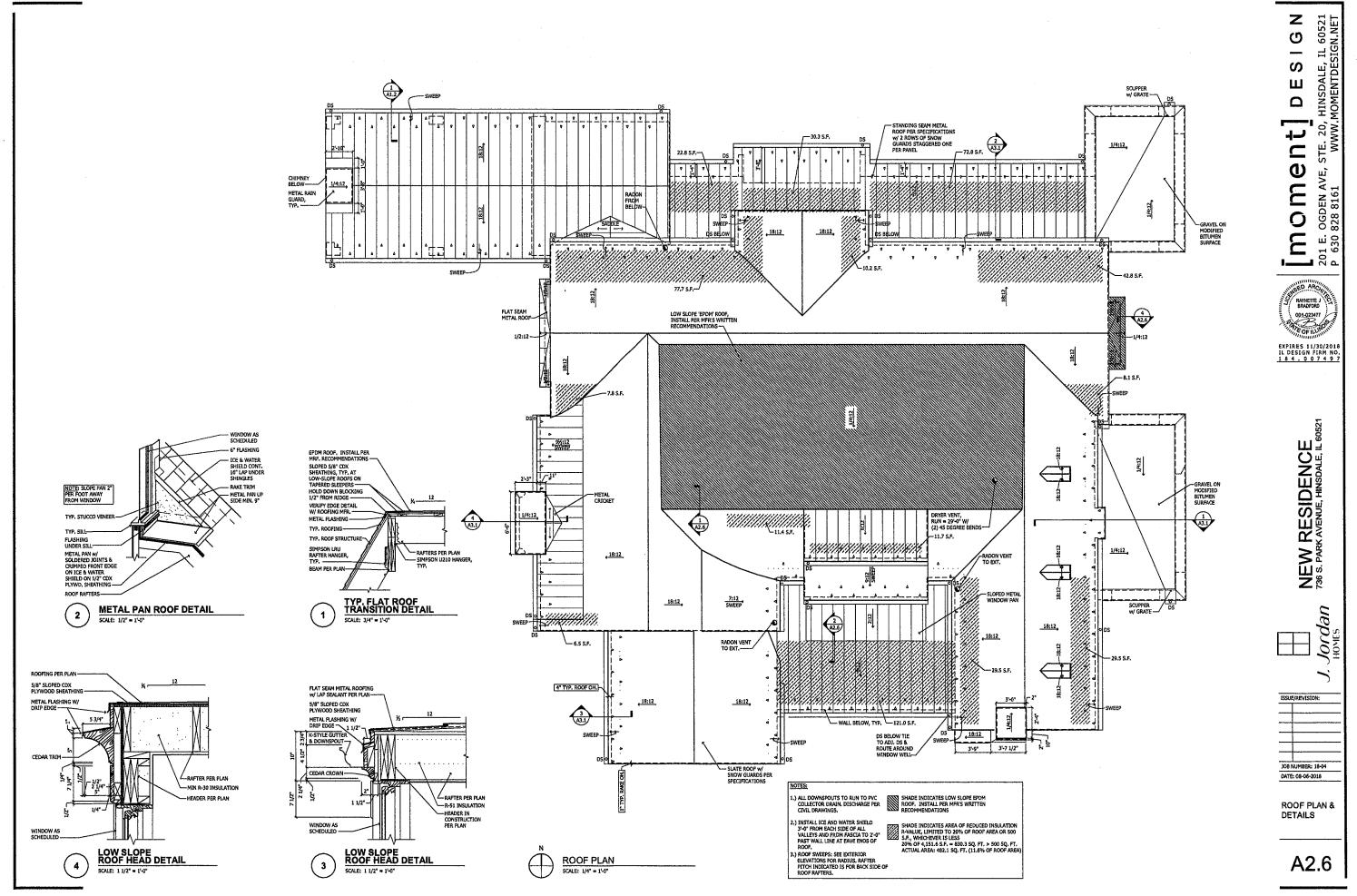
Attachment 1

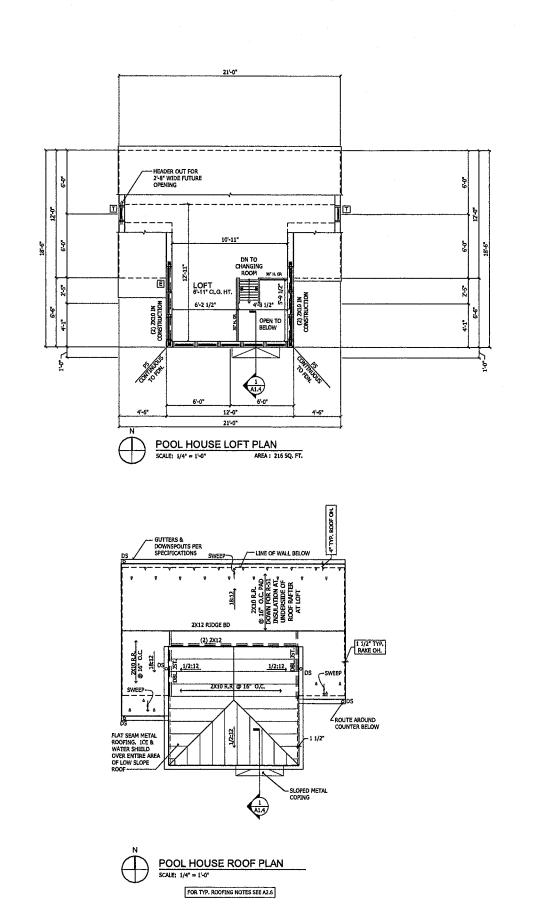
A2.2











(2) 5/8"\$ THRU BOLTS @ 3" O.C. @ FLOOR JOIST TO RAFTER CONDITIONS -

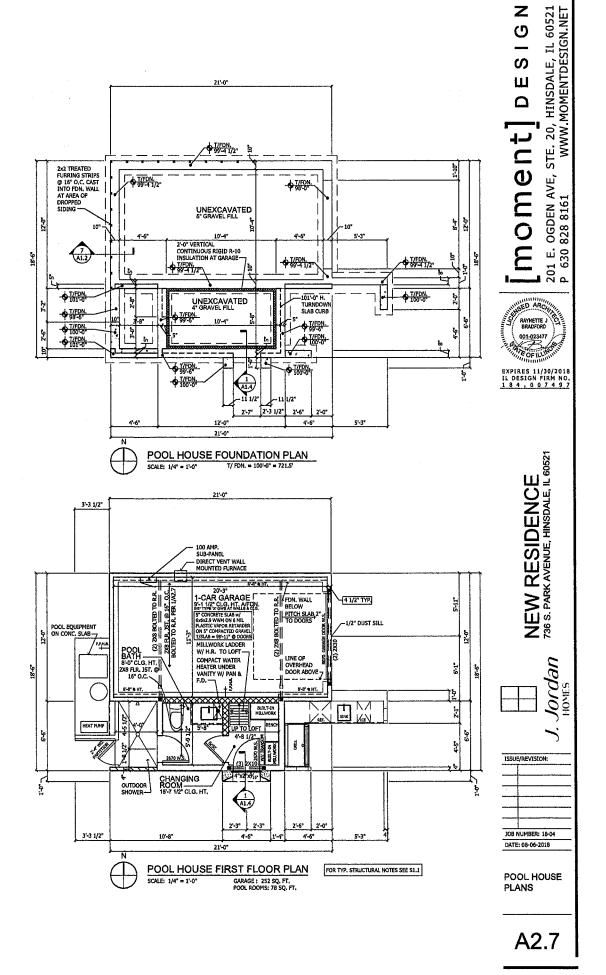
RAFTER PER PLAN -

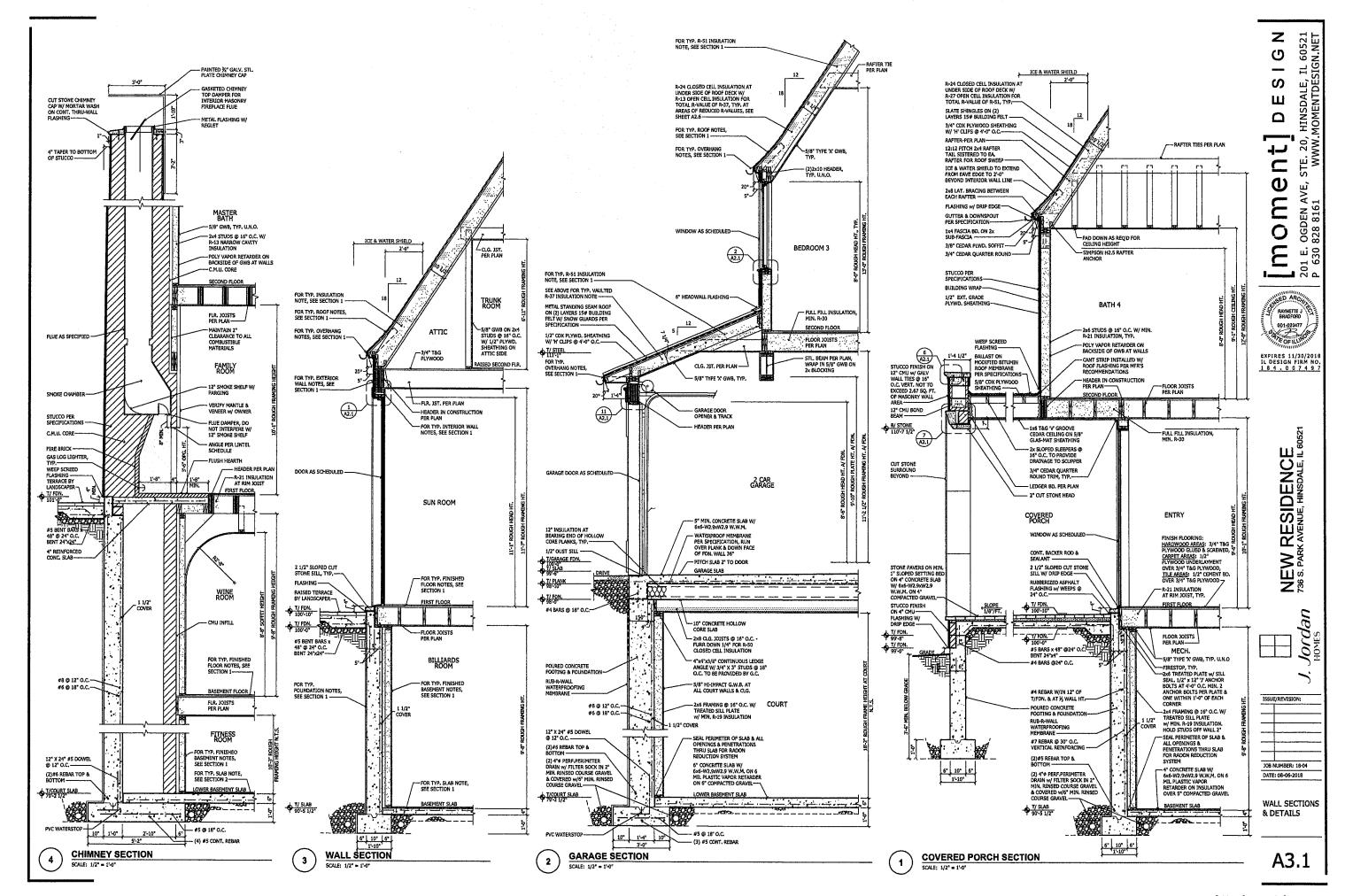
R-24 CLOSED CELL INSULATION AT UNDER SIDE OF ROOF DECK W/ R-27 OPEN CELL INSULATION FOR TOTAL R-VALUE OF R-51

> FLOOR JOIST TO RAFTER DETAIL

-- 3/4" T&G PLYWOOD GLUED & SCREWED

FLR. JOISTS PER PLAN





(General Contractor) to be responsible for as other separation of the work, the GC (General Contractor) will request NOTICE TO PROCEED: Prior to the execution of the work, the GC (General Contractor) will request the anneal and of disastings issued for Construction from the Architect for distriction to the sub-

IRBURRANCE REQUIREMENTS: Each contractor shall carry ample public liability insurance and insurance to protect the Owner from any and all claims under the Workments Compensation Act. The GC / CH shall carry ample insurance during the proprises of the work to protect himbrer self and the Owner front loss through damage by life, tomade, etc. or loss by their, wandal time, etc. That insurance will be paid for by Owner, excurred by GC with Conflictes to all parkies.

CLARIFICATIONS: Do not exale drawings, Use figured dimensions only. Contact Architect immediately with any conflicting dimensions.

1.0 GENERAL REQUIREMENTS:

QENERAL CONDITIONS: The QC shall compty with AA Document A2QL-2007 General Conditions of the contract for construction. All worst shall be assected in sticl accordance with the building ordinance requirement and to the satisfaction of the Building Commissioner of the local Municipality.

All trades shall be responsible for the delivery and unloading of their materials at the job alte and the protection of the senie from all conditions as necessary. It shall be the duty and responsibility of sech contractor and absorbations for terrange with other trades on that he own work may proceed without inserruption and in conjunction with and in harmony with svery other trade.

The GC shall also include all fencing, clean up and dumpsters.

At trades shall be responsible for their workman and equipment meeting all government health and raises standards for the building tradea.

PROJECT STILITIES: Owner will pay incremental utility over for users only

BUBSTITUTIONS: VALUE ANALYBIS AND BUBSTITUTIONS: After the contract has been associated, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the conflictors set forth in the General Recognizations.

The GC shall not make substitutions without the Architects approvel. By making requests for substitutions based on subparagraph above, the Contractor Represents that they have person investigated proposed substitute product and determined it is equal or superior in all respects.

-Regreseria Contrator vill provide the same warranty for substitution that of the originally specified material.

-Certified cost odds presented is complete and includes all related costs under this contract except the Architect's redesign costs, and walves all claims for additional costs related to the substitution which addequately become appeared.

-Vit continues installation of the accepted existent entering such changes as may be requised for the work to be complete in direspects.

SHOP DRAWNGS: Prepare project-specific information, drawn accurately to scale. Do not beare shop drawings on reproductions of the contract documents or standard printed data. All discrepancies to local codes & ordinances are to be brought to the attendion of the Architect immediately.

QUALITY STANDARDS: These conditions are a part of the specifications and apply to the work of the Bulder and all sub-contractors. All materials and flutures throughout shall be of hist quality, in cases of incompletory within the contract documents, in the OI is to norify the Architect immediately. The higher quality or greater quantity of work shall be provided in accordance with the Architect immediately. The higher quality or greater quantity of work shall be provided in accordance with the Architect interpretation. All contractors and sub-contractors performing work shall be qualified and experienced in thirtaining, averaging or assentiating work with the material in design, and evaluate that application of the project, which would have section of construction with a record of successful or-indicated for the project, whose work has resoluted in construction with a record of successful or-indicated for the project, whose work has resoluted in construction with a record of successful or-indicated for the project, whose work is an extended to the project of successful or-indicated for the project, which would have section of the project of successful or-indicated for the project, which would have section of the project of successful or-indicated for the project, which would have section of the project of successful or-indicated for the project, which would have section of the project of the p

CLOSEDUY PROCEDURES: The QC shall guarantee all work under this contract. Quarantee shall be fire a period of one year from occupancy or find payment of contract, whichever shall occur first. Bhould any detect develop during said period of guarantee due to improve workmantably the defect shall be made good by the QC without expense to the Cover. Additional manufacturer's extended warrantee are listed within tube required a solid provided in the contract of the coverage of t

CLEANING: The GC will leave the building clean at completion. The entire house shall be the provided placed and confessional valued will clean all windows prior to occupancy.

EXPLOSIVES: The use of explosives is NOT permitted.

UTILITIES: Cop and seminate all sixting services: Gas, water, electric, sever, etc. prior to demotition. Tris contractor to be responsible for all means, methods and salvy procedures for the demotition and heating any of all building components removed. Contractor to follow all demotition procedures as outfined in local codes and ordinances.

SITE GRADING: Uniformly rough grade are a of demolshed construction to a emooth surface, free from irregular surface changes. Provide a emooth transition between adjacent existing grades and new grades.

HAZARDOUS NAYERIALS: If malerials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by the Owner under a separate contract.

3.0 CONCRETE:

This Concentre redi provide all listor lead anneals to immediate bactops, plans, bauminholes, there each, portribus, patch act makes, as all manufacture to be including object and an expected light provide. Committe shall provide a the provide light provide and the provide and the provide light provide and the provide light provide and patch and the provide light provide and the provide light provide and the provide light provide li

CONCRETS WALLS: Remove all exposed wall diss, seal with tar and waterproof all basement walls against which earth is to be placed with "RLD-P-Vash" rabber waterproof compound. All voids in basement walls with the filed with Protonal dement and oil joints will be ground empoth at all unfinished areas and exposed axterior areas.

PERMATTER DRAIN PIPE: A perforated HDPE exterior draintips system will be installed at the perimeter of the building bording with the exterior pay, serminating rise 15° sump pits located on the perimeter of the building bording with the exterior pay system with basery belocking with terroris same. An pas to have 70 services are performed to the perimeter of the perimeter of

INTERIOR DRAIN PIPEs A periorated HOPE interior drain-pipe system will be installed as the interior of the building bodings with the interior pipe terminating into separate sump giffs incread on the plants. Provide each pit with an tractive high-the sump pit specifies who building with annote stated pit high the bring the pit of the pit of

AREA WELLS: Area wells to be constructed from poured concrete and finished per plans. All well areas to be cleaned of debte and tilled with no less than 6" of a grave base before commencing building of the foundation and to be left in a condition that will allow water to flow into the well draint. Intall two (2) 4" PVC drains with graze covers, one flush with gravel, one 3" higher. Drain to perintente drain.

All window wells shall have covers. Emergency escape and seacus openings to have covers that are releasable or removable from the trait of whitout the use of a key, took, or force given-than that within its requised for normal operation of the escape and recess opening per IRC R110.4. Grates are to be made of unested as at or Austrians. Quantization to be mith 36° height with wide hingest agrees gate per place. All maintain to be primed and patients.

Window wells with a depth greater than 44 inches shall have an agress ladder that will be useable when the window is in it fully open position with rungs at least 12" wide, at least 3" runt he wall and spaced no more than 12" on center vertically for the fill higher in the window well. Bot ladder to well

BABEMENT AND POOLHOUSE FLOORs Concrete floor to consist of 4 or more inches of competcad gravel covered with continuous and slequeers vapor restricts, and 4 inches of concrete restricted with devik/25/W/25/W/45, with pooled control plans at a maximum 90-07 specing. No voice allowed in the visiqueen vapor retender and ell taps to be 12°. All intentor concrete score to have towed infait UNIV.

COURT LEVEL FLOOR: Concrete floor to consist of 8 or more inches of compacted gravel covered with continuous 6 mil visupsen vapor returder, and 8 inches of concrete rethindred wi substw2.0xW2.9 wW.F. with social control joints at a maximum 80-0° specing. No voids abloved in the visupsen vapor returder and all laps to be 12°. At interior concrete Books to have trowel finish.

ATTACHED GARAGE FLOOR: Garage concrete floor to consist of 5 to 7 inches of concrete reinforced with 6x6x4x2.6x4x2.9 w.w. F. and control joints at a maximum 10-0° specing. Garage concrete floor to have troved finish. Provide goalthy distinges as indicated.

DETACHIES GARAGE RADOR: Gange concrete for its costain of 5 or may inche at compassed curvature. An extension of the control of the region overed with orderious of mit invesses valve retains an extension and control and region overed with orderious and retained as a maximum 10°-0" specific, Gange concrete also CASEMETRY, Catholarly is to be provided by Control with state of solicity included on the recommendation in Provide positive disease as in Catholarly included an extension of the control of the recommendation of the

PRESENTED CONCERNED SILEMBER 1914 protecting will provide all inflor and manufaling based all security process of the concerned place action from the concerned place action for the concerned place action for the concerned place action. First concerned and the concerned place action for the concerned action for the conce

Preciat concrete plants to be designed to mest all current codes having jurisdiction including ACI 318 Building Code Requirement for Rehindrored Concrete. This proving loads shall be reviewed county design and conditional by preciation stransfeature and engineer. The loads, concrete looping weight, store 16th, exiling inflames, acros loads, deat loads, wind loads, estamls loads and reliable haveing and exection assesses. Design activations shall be performed by an inflow Licensed haveing and exection assesses.

Concrete mixes shall have a 28-day compressive strength of a minimum of 8,000 pill and a release alreaght of a minimum of 8,000 pill and a release alreaght of a minimum of 3,000 pill. The use of calcium chloride or adminimum of a containing chlorides in operations. Occasion and commit ASTM C 150, Type to rel.

A. Portland Cemant. ASTM C 150, Type to rel.

A. Agreequest. ASTM C 30 or C 350

C. Water. Potable, fire from deleterious makerial has may effect satisfing or strength of concrete and complying with chemical limits of PCI, NNL 110.

C. Adminimum N 150 or C 1

artimbures: ASTM CASM. (1994).

Group to be Band-Generat Down, Portiand cement, ASTM CLSO, Type I, and dean natural send a STM CLSO. ASTM CLSO.

Anchor all planks to top of basement walls to selet hortroral soil loads. Bearing pads to be multi-monome, non-seculng light-density plants arity showing no visible sign of expansion when supporting consistent on tests. This contractor to furthal horse selet plants, plants, suchos, such provides to the selection of the selection of the selection selection selection, and adjacent construction. All weeks to comply with ANN D.1.1 Structural Weighting Codes - Sheet and AW, D.4.4 Structural Weighting Codes Reflictioning Select. Selectionation material shall be carbon steet: A. Strapes and Plates ASTM A38 B. Weight 38 back in secondarion with AVMS D.1.1

s. Welded Stude: In accordance with AWS D1.1 C. Headed Stude: ASTM A 109, AWS D1.1 D. Plate: ASTM A285 E. Bolts and Stude: ASTM A507

install water-proofing membrane between topping and plank unless structural topping is indicated and run membrane up wall past concrete topping a minimum of 12".

Shop drawings to be provided to Architect and include plans locating and defining all concrete plants furnished by the manufacturer with all major openings shown, seeklon and details showing connections, well places, edge conflicts and support conditions of the concrete plants units, all dead, live and other applicable loads used in the design.

4.0 MASONRY:

This Contractor will furnish all labor and meterial to complete the masonry work as shown on the building plans. Mason to build a 4' x 4' sample panel for each type of exposed unit masonry.

this wall-proving contractor shall examine all sunfaces to receive the veltarpooring assembly to

FLASHWIGH A nubbertied asphalt base flashing with warps will be installed by the mason contractor verify it is exceptable and proper for the application of the membrane. The value-proving postactor at the foundation top. A nubbertied asphalt base flashing with weeps will be provided under all all sis 6 shall not provided with the installated with the installated by the extent proving mannine absembly under discharged with the installated, for extent provided under all all sis 6 shall not provided with the installated, for extent provided with the installated of the extent provided with the ex

Window heads.

WORTAR, Cofor and joint tooling to be verified with Owner prior to construction. Keep well certified clear of mortar dropping and meetable during construction. Provide confinuous measure) joint enforcement, indicate shirocement, finish a shirocement, finish a shirocement, finish a shirocement, finish a finish enteron of 50° on ceaser died of wates, 12° on severe 1.00° or 10° on ceaser of 50° on c

SHOO DEAVISION THE CONTRACTOR IN LINE PROPERTY OF INSTALLATION.

SHOO DEAVISION THE CONTRACTOR IN LINE SHOP drawings for all custom our stone shapes to the and roof penel valions.

This Combactor will provide all steel beams, columns, plates, shims, etc. as called for on the building plans. The moding Combactor is responsible for installing W.R. Grace los & Water Shield membrane from plans. The GO will stook which labor to enter the main beams. The GO will review the structural laboration and the desired plans of the des

on some was peaced up and placed in a dumpeter provided by the GC.

STRUCTURAL STEEL. Verify ejecutions of occrete word manners bearing protections and to account the protection of the following:

STRUCTURAL STEEL. Verify ejecutions of occrete word manners bearing protections and control of the following:

another rode, bearing places and other embodranters. Proceed with installation croy effect unastitatory conditions have been controlled. Field-verify at sized beam dimensions prior to feather than the second process of the following and the second process of the field-very and the second process of the field-very and the field-ver

RALLENGS & BALUSTERGS: Febricase ratings to comply with design, dimensions, and design indicated, out not seen than that required for supporting structural loads per local hundreds could be a second to the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes of the required for supporting structural loads per local hundreds codes for the required for supporting structural loads per local hundreds codes for the required for supporting structural loads of the required for supporting structural loads of the required for supporting to the required for supporting structural loads of the supporting structural loads of the required for supporting structural loa

WELDED CONNECTIONS: Cope components at connections to provide close fit, or use fittings designed for this propose. Wald all around at connections, including at fittings, Connect members with connected members and facilities. Inform safe for fittings afford from the fittings of the connection and the fittings of the connection and the fittings of t

6.0 WOOD:

Copper sheet roomer course molities are the complete the carpeting work as allows the blooding for hair seminal plants. Control of the studies of the studies plants. All founds in the studies of the studies plants. All founds in the studies of the studies plants. All founds in the studies plants. All studies will be all ** 120 or settle, but of the studies of the studi

All framing lumber installation to comply with the international Residential Code.

PLENDINGERED LUMBER: At pre-angineered lumber installation to comply with mit, standards EXTERIOR TRAY & WOOD BIDNO; All wood trim, frezas, softse and finishes on the building station to be pathed or schand per Cymans selection. All existed wood will be gre-stained or primed (6) at clade before streation, upon installation of thin, carpently contractor to touch up expessed ands or surfaces. All exterior trim to have mitered corners.

INTERIOR TRINS: All tim will be clear grade and shall be biscult-joined, glued, nailed and hand sanded to milimite effects of shrinkegs. Detective doors and oth any to be bought to the GC's attention, so they may be replaced by this millivork supplier, All milivork to be book private before hastallation. All tim and wall intersections to be outsided with plots sealant.

site Stor CABINETRY: Cabinetry is to be provided by Contractor with extent of cabinetry indicated an architectural plane. Installation will be by the Firish Carpenter. All cabinets and shelves will be set up and adulted at control ston by installation Commence.

COUNTERS: Counters to be as per plan, if specified in the plans, the following conditions apply: -Solid surface counters: Provide solid surface counters fabricated in one place with integral backsplath, unless otherwise noted.
 -For stone counters, see section 9.0 FIMBHES.

STAIRS: Steps, sevel posts, and ratings at porches and stoops to be per place. All samples to be submitted to the Covers for approval prior to fabrication and construction. For Metal Conconences refer to section 5 on metals.

Stalways are based upon minimum 10" tread plus nosing with maximum fiest height of 7-3/4". Quadralis shall be a minimum of 8-0" high with a maximum of 4-0 between vertical basivance. Handfalls shall be 3-4" high from notings. All required markets shall be conditious the shall shape for all the shall with but or more steers from a point disetty above the tips free of a flight to a point directly show the lowest since of the flight per IGR RSILLE. Or Porche, bloomist a raised afforce written located more than 30 inches above the floor or greate bettow shall have quards not less than 86 inches in height per IGR RSILL.

7.0 THERMAL & MOISTURE PROTECTION:

FLOORS: Af cantilevered or exposed floor areas to be insulated with R-30 blown-in outsides insulation. R-58 where depth of structure allows.

MECHANICAL BYSTEMS: Supply ducts in unconsistoned aside shall be insulated to a minimum of R-R, return ducts in action shall be insulated by a minimum of R-R. All methanical plains expected by the return ducts in action shall be insulated by a minimum of R-R. All methanical plains expected by the return of R-R in compliance with section 1464.25. All plains for the water national systems insulated on the value of the control systems and bit insulated to a minimum of R-R. All violal scread doors and windows and between focces, are to be first with project of the return of R-R insulated by the return of the return

SOUND: All Interior partitions surrounding Bashrooms, Powder rooms, Laundry Rooms, Bludy / Dens and any other partitions inclosed on the plane to be sound readable with 3 JZf. Benglass sound abstract be stated in all first froz celling assemblies and setucation bath. "The Lifther Ethiopiass sound batts to be installed in all first froz celling assemblies under second from habitable rooms. All cavides with planning supply or waste lines to be filled high sound but threalists."

building plans. Macon to Duillé a * x * ample panel for each type of exposed unit inaccopy.

CHAINCE, STEEL, A Printer, angle, a chorneys, as necessary to his requisitor of the meanage of the meana

Cellings.

RETERIOR ANDONYS: Exect case and a gravaticate to the properties of the p

All components shall be obtained as a single-source from the membrana manufacturer to ensure that as a Knight source from the membrana manufacturer to ensure total SALE & CAPB: All door stills will be 2 12° emoch cut stone with integral out drainings stops and drip Differn compacibility and from the standard American (hordess), libe. 300 East Orto Seet. Orto Se

Contractor to testal (2) layers of 156 asphatk-astunated left underlayment, compliant with ASTM D226, and installed per manufacturer's written recommendations. The Rooting Contractor will be responsible for seating and flashing all roof penetrations as per the rooting manufacturer's written recommendation.

COPPER SHEET ROCHANG: Copper sheet metal rooflog to follow ASTM B 870, bold-rolled copper sheet, HOD temper, unless otherwise industed. Orbain copper sheet metal rooflog and accessories through one surch form a single manufacture. All copper sheet metal rooflog and accessories materials to be tradalled according to copper sheet metal rooflog and accessories materials to be tradalled according to copper sheet metal rooflog and accessories and accommendations from the sheet all construction. Association.

All joints to trave bridging at maximum intervals of 81/5" o.o. Provide double joints under all publish partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions with offset to accommodate pumping, tub I whitelpool areas and litterium described partitions within tristructions. Protect membrane-rooting system from demands and were during remainder of construction period.

EPOM roofing membrane to be ASTM D 4697, Type II, tabric internally-reinforced uniform, flexible sheet made from EPOM. Thickness to be 50 mile, Excessed face color to be white. -OR-

VALLEYS, FLASHINGS AND OTHER SHEET METAL WORK: All Valeys to be open in Copper.

MOCK-UP: Rooting contractor to submit 4' x 4' mock-up of root showing full range of color.

CLETTERS WITH CONTROL CONTROL THE CONTROL OF CONTROL OF A CONTROL OF CONTROL CARRY SATISFA LINE T accompanied these facility and invasion facility has not offeren on place. From such found, or Table became grades in other facilities and public. As militire, these parties are partied in the property of the parties of the p

PORTLAND CEMENT STUCCO: The GC will provide all labor and materials to provide exterior Porland cement clasterwork (attoco) on metal lath as shown on the busing plane. Before plant Pomano cemera practerwork (atucch) on missal tath as shown on the building plants. Before plastering, install a modelup of at least 50 e.g. in evaluace week to demonstrate assemble of fects and est quality standards for materials and expection. Approved modkups may become part of the completed work if undisturbed at firm of Substantial Completion.

Expanded metal task to comply with ASTM C 847 with ASTM A 655/4 658M, 660 (2180), hox-dip galvarized zinc coeting with installation to comply with ASTM G 1083, Provide paper backing it required and all regived accessories and miscedameous materials. Plasar mixes to comply with ASTM C 250 for applications included. Peritand cament base-coat mixes; installated over mixel task conclusin straicts but forom cost plastancies. Apply each organizations with ameliar tamperature conclusin straicts but forom cost plastancies. Apply each organizations with ameliar tamperature.

Provide expansion joints at a maximum of 144 sq. ft. or no greater than 18'-o.o. and where indicate per clan.

Stucco contractor to inepect substrate prior to work to ensure compliance with ASTM standards in proper substrates and gapping of plywood substrates. Provide (2) layers Grade 'D' building paper or approved stucco wreo under sil stucco applications.

The color of the base cost is to be white, with a finish cost to be selected by Owner/Architect.

Protect adjacent work from so Ning, spatiering, moisture deterioration, and other harmful effects caused by plastwing. Where required, seal joints between edges of plasterwork and abusing construction with accuration sealests.

Cut, patch, replace, and repair plaster as necessary to accommodate other work and to readors cracks, shrines, and imperirections. Repair or replace work to eliminate bitment, buckles, crasting (check crasting (check such check such crasting (check such check such

JOINT GEALANTS: This Contractor is to provide and install exterior and interior joint gesistra that satisfiesh and matriatin westingth and singlet continuous joint seals without staining or destricteding joint substrates. The following posiant types are to be used: Exterior area - polycerobares sealarss; infalor non-vest asset - acrylic sealarsts; and instructives raises - sibook, highly resistants.

Verify that all surfaces are ready to receive sealant work. Clean and prime all joints that are to receive sealants as per mentifacturer's economerciations. Remove bose maintains and foreign receive sealants as per mentifacturer is easier, very heigh point backing and referse to person referred to the prime of the p

Apply sealants within reconveneded application temperature ranges. Install sealants which are the of air pockets, fiveign embedded metals, ridges, and age, 17cd joints conceive unless noted or the contraction. Of the provide and install all joint sealants within a provide and install all joint sealants applied to the

8.0 OPENINGS:

SOURS AND PRODUCTION IS IN Problem on Statement and pro-plane, marker have inachane as first in problems by there is not installed by the Contention. If problems is not the test is in Annuality treatment for the area problem. The installation is the distribution of an extending fall, with individuals, at make are in the revisual and involved for when represent distributions problems emissions of it there, and the problems of the whole of the control problems the individual of the control of Tile and/or atone installer to provide and install water-proof non-yellowing sealer at all tile and atone

WINDOWS & FRENCH DOOR S: Visidorium ai mestruchi ucum asi to be abritum diati visoti vieldoris by Manini Windovia and All'alludioris and funcio dori unite to be abritum diati visoti vieldoris by Manini Windovia and blas. Windovia to be double-pana Insulating cases fisted with any mit all similares of defer lines as see blas. Windovia to be double-pana Insulating cases fisted with any mit all cases of the land of the first surface, unless no todo otherwise. Monini mineralization I visited to the double I ECC table R402.1.1 Girmats 2 case 8 and Matina 4. Masdorium at leakage 0.3 CFM pas aquasis for for windovia and adding quorus 0.5 GFM per equame for the ori windovig document.

Verify at window size and rough openings with window manufacture. All operational classmants she windows are to be push-out operation. All bedrooms to have signes windows per code.

Glasting at hastacking before the provide one called the provide one called in the provide one called the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to be relieved to the completion of the job. Confractor to verify at window and hardware firstness prior to the provide and install a congrate security, sound, intercom, instruction to the prior to the

INSTALLATION OF WINDOWS & FREINCH DOORS: A Qualified Installer, approved by the manufacture, is to hastel all windows and Freigh doors. I related windows level, plants, aquites, true to <u>22.0 PLUMBING</u>: fine, without discolor or impediating themsis movement, suchoods securely in place to education support, and in proper relation to well fashing and other adjace and construction.

PLUMBING! This Comments we

Set all members in bed of seatant or with gaskets, as indicated, for weathertons construction

Separate aluminum and other comodible surfaces from sources of coroidon or galvanic action a points or contact with other materials by complying with requirements specified in "Offstimillar Materials", Pergraph in Appendix B in AMAN/MYWOA 10/1. 3 2. Adjust operating easines and ventilators, screens, hardware, and accessories for a tight fit at con-points and weather suppling for amouth operation and weathertight closure. Lubricate hardware i

Protect window surfaces from contact with contaminating substances resulting from construction operations, in addition, monitor window surfaces adjacent to and between stated contrasts and makeury sustance subsign contrasts and for presence of risk cours, substant adjacent, satists, or other contaminating substances do contact window authorises, remove contaminates immediately according to meninfacture without contaminations.

STEEL WINDOWS AND DOORS; Pablicake skel windows to comply with SWI standards, include a complete system for exsembly of components and anchorage of window units. Muntiles to be the true skided like marks to pose and veleded to permiter frame. Namin theresection shall be alcred, controlled and velede. All fetrior and existent muntil priors to be face-winded and ground smooth. All skided windows to have offs. It clearly included glass. Over-Archivotto to well glass color and skided windows to have offs. It clearly skided glass. Over-Archivotto to well glass color and to skided windows to have offs. It clearly skided glass. Over-Archivotto to well glass color and the skided windows and the skided glass. Over-Archivotto to well glass color and the skided glass color and the skided glass. Over-Archivotto to well glass color and the skided glass color and the skided glass. Over-Archivotto to well glass color and the skided glass color and the skided glass. Over-Archivotto to well glass color and the skided glass color and the skided glass. Over Archivotto to well all the skided glass color and the skided glass color and the skided glass. Over Archivotto to well glass color and the skided glass color and the skided

Windows to have a maximum tenestration U-value to be 0.32 per IECC table R402.1.1. Climate Zon 5 and Marine 4. Maximum air Isakaga 0.3 CPM per square foot for windows and sliding doors; 0.5 CPM per square foot for swinging doors.

Windows to have manufacturer's standard two-coat, baked-on finish, consisting of prime coat and thermosetting topcoat. Comply with coating manufacturer's written instructions for applying and baking to achieve a minimum dry film thickness of 2 mils (0.05 mm).

General Note for section <u>8.0 OPENINGS</u>: Mis-installed items or un-verified finishes will be the sole responsibility of this Contractor.

All walls and cellings intelled with sorsers only. No nails permitted. Cementitious board will be used at all wall assay, gives board to be used for remainder of bathroom valls and celling. All work will be all the properties of the properties of

For Special Theater soundproofing dryvall, see Insulation specification above.

CARPET: Selected by Owner and Installed by this Contractor, Provide carpst padding and physicol underlayment for amount runnings to alternate surfaces.

** 6TONE: Provide and install selected atone wall and flooring finishes over min. 3/6' comentitious

board. All stone counter material to be minimum 1 1/4' stabs set on sub-tops provided,

Set stone to comply with requirements indicated on the drawings, install annihors, supports, fastioners, and other stituthments measure to secure atoms in place. Shirm and adolus entering fastioners, and other stituthments measure to secure atoms of the complex of specific places. The stituthment of the complex of the complex of the complex of particular data and other stituthments of the complex of the complex of the complex of residentially and standard of detainners. Provide and install appropriate filters and poly-seam seale of a dega, prints unstroses, and faces.

FAINTING: This Contractor will furnish all labor and materials to execute the painting required for the project as follows:

All paint will be Benjamin Moore "Regal Classic Premium." All paint selections per Owner for interior Remove handvare and hardware accessories, plates, machined surfaces, 55th flotures, and similar illems already installed that are not to be painted. If removal is impractical or impossible because of size or weight of the item, provide surface applied protection before surface preparation and paintin

Protect work of other trades, whether being painted or not, against clamage from painting. Cornect damage by cleaning, repetring or replacing, and repainting as approved by Architect.

EXTERIOR PARTITION: Apply one (1) post of exterior solid color stain or paint primer before trim is installed on all six (8) alides and one (1) exterior final field first cost of solid color stain or taxex house paint to the exterior voodwork at completion. Burgs or wifined doors, fabricated in wood, will receive one (3) coast of exterior solid coor stain or paint offered one (1) eacher final field inline) coat of exist foot salm or latest house parts. Casage walks and callings will receive one (3) coast of dywall finary and one (3) coast of dywall finary and one (3) coast of final hadre. Exposed structural steel within gausges will receive one (1) coast of final hadre.

All exterior wood decking materials to be sealed, stained, or painted on all six (5) sides. Verify finish and installation requirements with Architect.

HYTERIOR PARYING: Inledor woodwork will reache one (1) cost of paint primer and two (2) costs of stated finish costs or one (1) costs of state and two (2) finish costs or one (1) costs of state and two (2) finish costs or one-purelises easier. The GC statil provide or unif (1) costs of pre-state conditioner as necessary to provide a uniform color at all stated wrose. GC will purely all nait holes and finand-sand between costs.

As interior wells and ceilings will receive one (1) coal of drywall primer and two (2) coats of latex finish paint. As wall and ceiling finish paint will cover thoroughly.

Sasament Structural steel and steel window frames will motive finish paint to cover thoroughly.

General Contractor to worlly any additional costs for multiple color selections in the bid package. If no eadditional pricing is noted it is assumed owner may select any number of color selections. MISCELLANEOUS FINISH NOTES:

GC to neatly poly-seem seel all countertops. Backsplashes to be provided at all counter and tub / whirlocol deck areas in a material to match the adjacent horizontal purifice, unless otherwise noted.

Unless noted otherwise, all closets to have the same floor finishes as the adjacent room,

Cover finish flooring before and after finishing during remainder or construction period. Use heavy duty resin paper or other suitable covering. Do not use plastic sheet or film that could cause confernation.

10.0 SPECIALTIES:

MIRRORS AND SHOWER DOORS: The GC will provide and install mirrors per Owner, Skower doors shall be tempered frameless glass with hardware selection per Owner.

APPLIANCES: All appliances to be selected by Owner and Installed by GC / CM. GC / CM to verify quantity and utility requirements for appliances with Owner and or kitchen /cabinety or awings.

PLUMBINGs. This Contractor will furnish and Install at journing magnifule and labor required for the completion of the job as per building plans, litinois Blaze Plumbing Code, and local municipal building codes. Water service pipe shall be installed 5-0° below grade minimum. Water supply and distribution lines shall be installed in accordance with the provisions of the RICP 2900.

HOTWATER RE-CIRCULATING SYSTEM: Install complete Hot water system with appropriat stack 60% efficient Quick recovery Water Heaters in parties with direct versing and desiclated gra-erizoidating result insess stack for whole-borse with check and skindor "week". Provide a skindor et hat water crouslating pump. If required for proper operations provide circulating pump(s) for reclosation systems. SEWER, WATER & STORM SYSTEM: Install required water service with 8-Box stut off from the main frob the building, install severe joes to be sever main per whitefood bode requirement. Proof-dean out midway between house and street, install 5 years place as considerable for each review review or with the social Municipal codes to worthy at connection locations and requirements.

RADON REDUCTION BY BTEM: Initial an active sub-slab depresentation system with 1900 box installed within 10°0° of point of entry and pipe stand in accordance with the lithois Radon Realistant Contraction Act. Run Initiation pipe and subsust thru roof in actions and with local codes and softmands. Water another types that the constitution with 20° water.

A 23.0 HEATING VENTILATING AND AIR CONDITIONING:

HEATING, COOLING AND BHILET METAL: This Contactor will provide all labor and materials at provide and install the HYAC work. Provide heating and cooling units and design system capable heating and cooling oldering in accordance with Section 2013 of the intermination Residential and all applicable loos codes. Heating equipment shall be capable of maintaining minimum cool temperature of 80 designess at 37°0 shows the floor and 20°C from seatory water in all habitables of the provider of the seator of the seator

The complete hearing and deciding genero will be designed, what and hearing a hearing to the flames of hearing and the second of the second of

9.0 FINISHES:

See a service of the state of The heading system units will consist of 90% off. Carrier or equal, gas furnaces with electronic five dempers. Each humans will be endeped with April Ake humiditer with remote controls. A media by a AFFration System will be provided for each transper unit. Additionally, honoxyreit Electrostatic AF Cleanar as to be infrated for each humans with conservation and controls with the appropriate of the control of

Air conditioning units will consist of Centler or equal electric air condenser units

Exhaust systems shall be installed per manufacturer's written requirements and in accordance with the provisions of the IRC MISGO. At outdoor hiskes and exhausts shall have externation or provide dempers that clote when the vertilation system is not in use, compliant with IECC Section R403.8 Provide combustion six to all tunnace rooms in compliance with IRC Chapter 17: Combustion Att.

SXHAUST FANS: See plans for clothes dryer and kitchen exhaust locations. Vent bath exhaust fan thru the roof. Notify architect with any conflicts.

RANGE HOODS: Each range hood shall be sized per interdischer's recommendations and shall capable of shibusting in excess of 400 cubic feet per minute (CFM) and furnished with an automo make-up air dumper integrated with the operation of the hood. The method-up air damper shall be automatically controlled to start and operate simultaneously with the exhaust system.

WHOLE HOUSE VENTILATION SYSTEM: This convactor to provide a heats a whole house exhaust an eystem. Verdistion system must be installed in complance with the requirements of IECC Sections R4038 through R403.8.1. Fan system to be interlocked with the operation power astio exclusif time. Mechanically vent fan Inhough nort in complance with manufacturers

FINALAT MEAT FORTING Fundaments paramitering forces to be habitanted, sized, and designed by an illustrationared learnessing fragrams, asher shad but these term, exceleditamentation, particle glad adesign, and establish behand used designs another lost in sources devil 20.12. A bittle in the size beautiest is considerate with five respectivements of SCC Station for Medial and Media. A significant has system belong PSC used sections of in process, particle and resident in source per partic. Much relative loss of the source belonging to the behand of the size of the size of the size of the autitude of projection significant be belonging to produce one paramited and the size of the size of maximum of projection significant be belonging to produce one paramited and projection behand or autitude of projection significant be belonging to produce one paramited and projection to be access.

26.0 ELECTRICAL:

ELECTRIC: This Contractor will furnish all labor and materials to complete the electrical work. This Contractor shall also include all systoless, cutiest, recessed light forumes, cathing lighting and any other non-decorative light focuses in his base contract. GC to verify all focuses locations prior to installation with Course.

Figures of high finance installability sharing spanning state in extra till-scale and indicate behavior to transact militaria state of the behavior to appear to the behavior from the state of the production behavior for the behavior of the production of the pro

This Contractor to meet with the owner prior to bid end provide an allowance for a complete Lutron Home Methods available.

Before electric rough in starts, the Owner, Architect, OC, and the Electrical Contractor will make one the through the house for the purpose of cladification, positioning of certain fixtures and possible electrical charges. Location of eating area and offering room fixtures should be verified as well as fixtures over harb verifies and other crifical locations.

All electric work will be done in compiliance with the local Municipal building codes and The Nadonal Electric Code. All wining will be in link-wall metal conduit. All appliances, sump pumps, computer locations, sto, to be on separate choulds.

Electrical service to be grounded by an electrode encased by at least 2 in. of concrete, localled within and man the bottom of a concrete foundation or fooling that is in direct contact with the sands, consisting of at least 010. of electricity concluctive coalists alse in shriving bays or rods not less than 12th in diameter. Relationship bare shall be permitted to be bonded together by the usual steel (6 wines or other definition means. GENERAYOR: This GC/CM to provide an atowance for a natural gas-fired generator with transfer which and arract ewidth to provide power to Owner-selected items. This Contractor is to metivate Owner, pier to submission of bid, overly beam without set to be consided to the generator. Co-to provide a detailed breakdown of all systems provided at this of Bidding, including name of equipment manifecture.

31.0 EARTHWORK:

Cell J.U.I.I.E. for all utility locations before disping. Size clearing operations shall not commence until temporary excelor sediment control and the production at disp edge of trase which are to remain see in place. Replair my demanded great seasor crossed by conservation selfs, chamaging datase serve to be replaced with sold. Existing planting urass dramaged to be replaced with tills mesonible. Keep size clear and maintained throughout become planting the server of the placed with tills mesonible. Keep size clear and maintained throughout become planting the server of the placed with tills mesonible.

This Command will strip black dist from the building size and spokepie it in an approved location or where specified on the size plan to be used for finish grading. All unused makings to be hasted off also compandor's expense.

The Contractor will excesses to the silevations shown on the plan. If this bearing social 3,000 lb / s.f. is not reached at these silevations in the Contractor will cease work and only the Architect and an excellent of the plant of the contract of the co

After boundaries are in place, the funding passe the souther, the main recommend and funding objects interesting and southern the property of the property of

32.0 EXTERIOR IMPROVEMENTS: STOME PAVERS ON CONCRETE (WET-SET): Walks, porches and palce to consist of 24" min. thick grout set bitustane pawer on 4" thick contrate reinforced with thickys2.ov.2 W.W.F. planed owns a" compacted store base contrace containing of LAS contribet store. The sub-grade is to be probl-rolled and compacted to 95% density before the placement of the atoma base course.

From inchange and continuous prime and but integers to the other income properties of the continuous and continuous and the con

Protect firstly placed concrete from premature drying and excessive cold or hot temperatures. Begin culting after finishing concrete but not before free veter has disappeared from the concrete surface. Protect concrete from disappea. On one permit which on concrete and sect barricades too protect concrete from traffic for all least Let days after placement.

SED ARCA RAYNETTE J BRADFORD 001-023477 COFILLING EXPIRES 11/30/201 IL DESIGN FIRM NO 1 8 4 . 0 0 7 4 9

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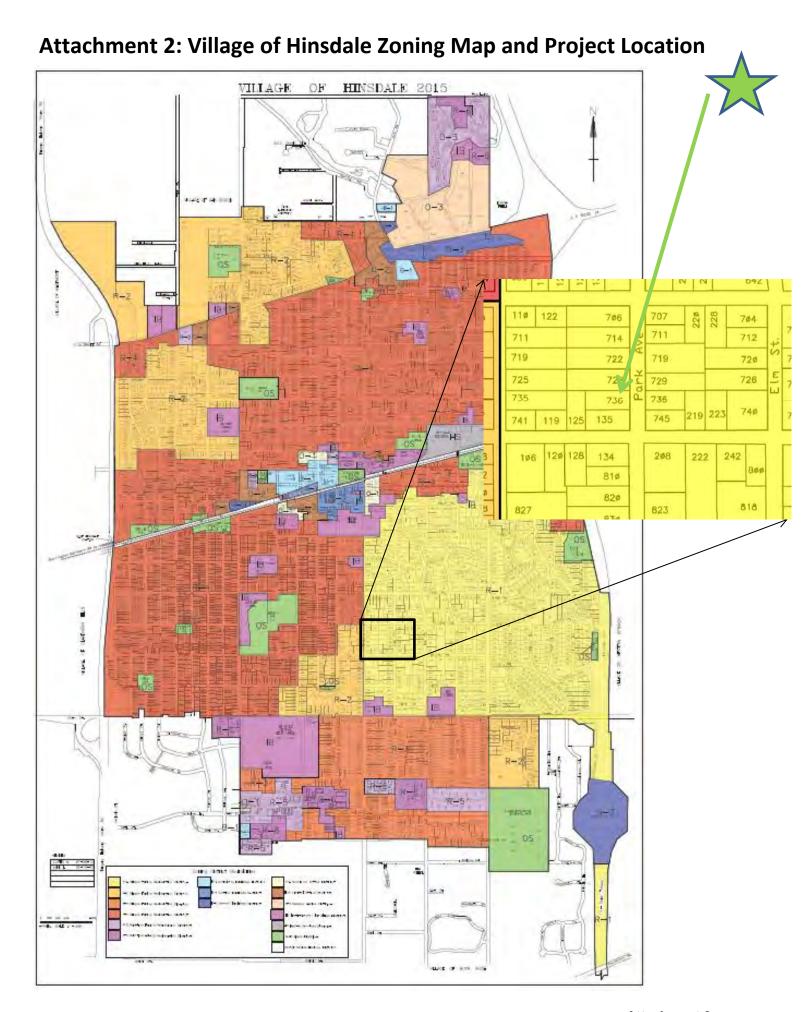
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Attachment 1

DATE: 08-06-2018

SPECIFICATION & ALLOWANCE SCHEDULE

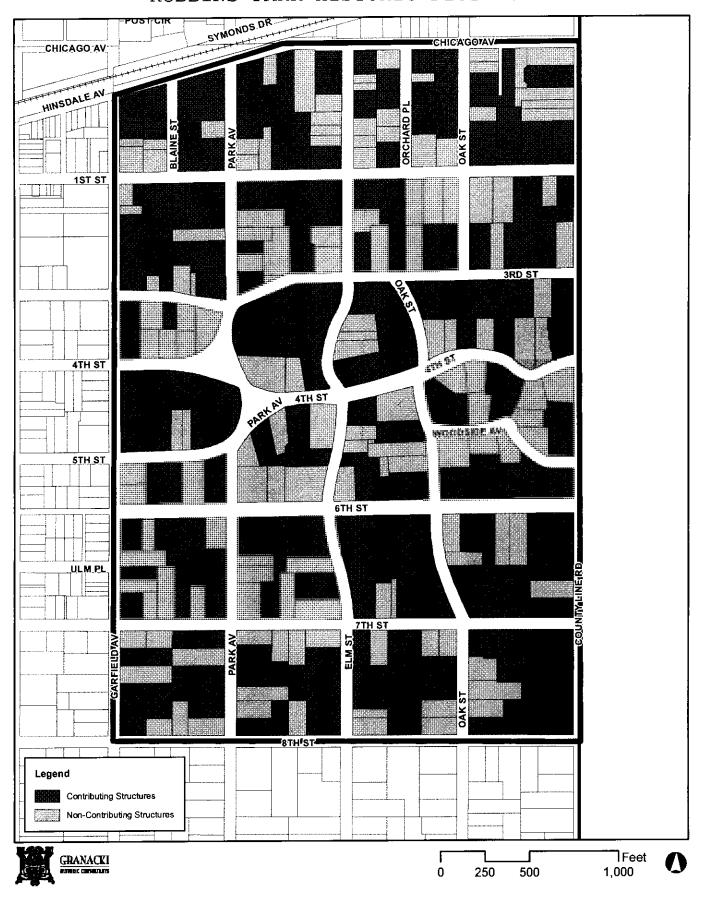
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Attachment 3: Parcel View of 736 S. Park Ave.



ROBBINS PARK HISTORIC DISTRICT



Attachment 5

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.