



## MEETING AGENDA

**MEETING OF THE  
HISTORIC PRESERVATION COMMISSION  
Wednesday, October 3, 2018  
6:30 P.M.  
MEMORIAL HALL – MEMORIAL BUILDING  
(Tentative & Subject to Change)**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**
- 4. MINUTES** – Review and approval of the minutes from the September 5, 2018, meeting.
- 5. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS**
  - a) Case HPC-07-2018 – 736 S. Park Street - Request for Certificate of Appropriateness to demolish and construct a new home in the Robbins Park Historic District.
- 6. DISCUSSION**
  - a) Memorial Hall 90<sup>th</sup> Anniversary Celebration
- 7. ADJOURNMENT**

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: [www.villageofhinsdale.org](http://www.villageofhinsdale.org)

Approved

MINUTES  
VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION

September 5, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale  
6:30 P.M.

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Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on September 5, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Gonzalez and Commissioner Haarlow  
Absent: Commissioner Weinberger, Commissioner D'Arco, and Commissioner Williams  
Also Present: Chan Yu, Village Planner  
Applicant for cases: HPC-06-2018

**Minutes**

Chairman Bohnen introduced the minutes from the July 11, 2018, meeting and asked for any comments.

With no comments, the HPC **unanimously approved, 4-0 (3 absent)** the minutes from the July 11, 2018, meetings.

**Signage in the Historic Downtown District**

**Case A-36-2018 – 36 S. Washington St. – Compass – 1 Awning Sign**

Chan stated that the sign applicant is unable to present the request to the HPC, however, he can help with questions the HPC may have.

Commissioner Prisby asked if it is 2.48 SF they are asking for.

Chan responded correct.

Commissioner Prisby asked what are they allowed.

Chan responded 25 square feet, and clarified that for awning signage, text is only allowed on the valance of the awning, and not on the slope.

Commissioner Prisby asked if they are reusing the structure.

Chan responded yes, and replacing the awning fabric.

Chairman Bohnen asked for any additional comments by the HPC.

Commissioner Prisby stated that he has no issues with it because it is much smaller than the maximum signage area, the color/design are simple and consistent with what is existing.

Commissioner Gonzalez and Commissioner Haarlow concurred.

The HPC was supportive for the request and recommended **approval** of the sign as submitted **unanimously, 4-0 (3 absent)**.

### **Public Meeting**

#### **Case HPC-06-2018 – 329 E. 6<sup>th</sup> Street - Request for Certificate of Appropriateness to restore a historic home on the National Register of Historic Places in the Robbins Park Historic District**

The applicant, Dave Knecht presented the proposed restoration plans, in great detail, to best restore the nationally registered home in the Historic Robbins Park District. He also reviewed the pieces of the home that they are able to salvage and reuse after the unfortunate fire. He also reviewed areas of the interior that was modernized with amenities in the early 2000's, and to restore it with the historic integrity found throughout the rest of the home.

Chairman Bohnen asked if they feel they have sufficient funds for this project.

The applicant responded yes, the insurance coverage is very good.

Commissioner Gonzalez expressed his concern about documentation, early on with the state historic preservation officer, in regards to the historic tax freeze program. He explained, the earlier you begin working with them, the smoother the process will be.

The HPC commended the applicant for its objective to restore the home with its historic elements and recommended **approval** of the Certificate of Appropriateness, **4-0 (3 absent)**.

### **Discussion - Memorial Hall 90<sup>th</sup> Anniversary Celebration**

Tom Lynch, of American Legion Post 250 reviewed the plan for re-dedication on Sunday, November 11, 2018. The plan is to have an open house (at 11 AM) before the dedication ceremony. He also reported that he has invited Governor Rauner, but won't have an answer until October 11, 2018. Joe Craig, a former post commander stated that he would like a blessing from the Village as to what they are planning for, to promote some of the history of the Village.

Chairman Bohnen expressed that he's sure the Village is supportive, but the question is how it can assist them in order to have a good celebration. There needs to be more discussion about coordinating the celebration so it was continued for the next HPC meeting.

**Adjournment**

The HPC unanimously agreed to adjourn at 7:22 PM on September 5, 2018.

Respectfully Submitted,

**Chan Yu, Village Planner**




## MEMORANDUM

**DATE:** October 3, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Chan Yu, Village Planner 

**RE:** 736 S. Park Street – Case HPC-07-2018 - Application for Certificate of Appropriateness to Demolish and Construct a New Home in the Robbins Park Historic District

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### Summary

The Village of Hinsdale has received an application from J. Jordan Homes, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

### Request and Analysis

The subject property is located on an interior lot on 736 S. Park Street. The existing home was constructed in 1916 in a Tudor Revival style according to the National Register of Historic Places, and both the home and detached garage are contributing structures in the Robbins Park Historic District. The applicant has included front, rear and side elevation photos of the existing home, and east and south elevation illustrations of the proposed new house.

The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 20,224 SF in area. The lot is approximately 206 feet deep and 98 feet wide.

### Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 5.



## MEMORANDUM

### **Attachments:**

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Parcel View of 736 S. Park Ave.

Attachment 4 - Robbins Park Historic District Map

Attachment 5 - Title 14, Section 14-5-2: Criteria (A) and (B)

August 15, 2018

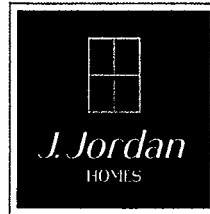
Mr. Chan Yu

Village Planner

Village of Hinsdale

19 E Chicago Avenue

Hinsdale, IL 60521



RE: 736 S Park Street, Hinsdale, IL – Certificate of Appropriateness

Dear Mr. Yu,

Attached you will find the following items for 736 S Park Street:

(7) FULL sets for the Committee Members consisting of:

~Certificate of Appropriateness application

~Architectural Drawing (East and South Elevations)

~Plat of Survey

~Photos

~Plans

(20) sets of same – 8 ½" x 11"

I can be reached at 312-320-9990 with any questions and am available to meet with anyone at the job site to discuss the project as well.

After your review, please let me know if you need anything else.

Sincerely,

**J JORDAN HOMES LLC**

A handwritten signature in black ink, appearing to read "Julie J Laux". The signature is fluid and cursive, with the first name "Julie" and last name "Laux" clearly visible.

Julie J Laux

Managing Member

# VILLAGE OF HINSDALE

## HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review:  
Property Identification Number: 09-12-404-014

### I. GENERAL INFORMATION

1. Applicants Name: J Jordan Homes LLC  
Address: 112 S Grant St.  
Hinsdale, IL 60521  
Telephone Number: Julie - 312-320-9990
2. Owner of Record (if different from applicant): John Thomas Paoletta Trust  
Address: 267 Benton Lane  
Bloomington, IL 60108  
Telephone Number: 847-278-2724
3. Others involved in project (include, name, address and telephone number):  
Architect: Moment Design - 201 E. Ogden Ave., Ste. 20,  
Hinsdale, IL 60521 630-828-8161  
Attorney: Robert Oliver - Beaulieu Law Offices - 4205 Irving  
Park Rd., 1st Floor, Chicago 60641 773-853-2381  
Builder: J Jordan Homes LLC - 112 S Grant St.  
Hinsdale, IL 60521 Julie - 312-320-9990  
Engineer: Engineering Resources Associates 35701 West  
Ave., Ste 150, Warrenville, IL 60555  
630-393-3060

### II. SITE INFORMATION

1. Describe the existing conditions of the property: aged, unkempt, not well  
maintained
2. Property Designation:
 

Listed on the National Register of Historic Places?	___ YES	___ <input checked="" type="checkbox"/> NO
Listed as a Local Designated Landmark?	___ YES	___ <input checked="" type="checkbox"/> NO
Located in a Designated Historic District?	___ <input checked="" type="checkbox"/> YES	___ NO



3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

New residence - see plans  
attached.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☒ No ☐ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

## CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ **INDIVIDUAL OWNERS**

X

*John Doe, UH*  
Signature of Applicant

\_\_\_\_\_  
Signature of Applicant

☐ **CORPORATION**

\_\_\_\_\_  
Signature of Applicant's President

\_\_\_\_\_  
Signature of Applicant's Secretary

☐ **PARTNERSHIP**

\_\_\_\_\_  
Signature of Applicant

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Signature of Applicant

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Signature of Applicant

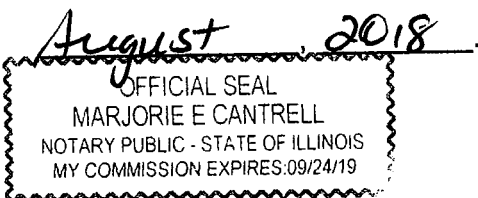
**LAND TRUST**

\_\_\_\_\_  
Signature

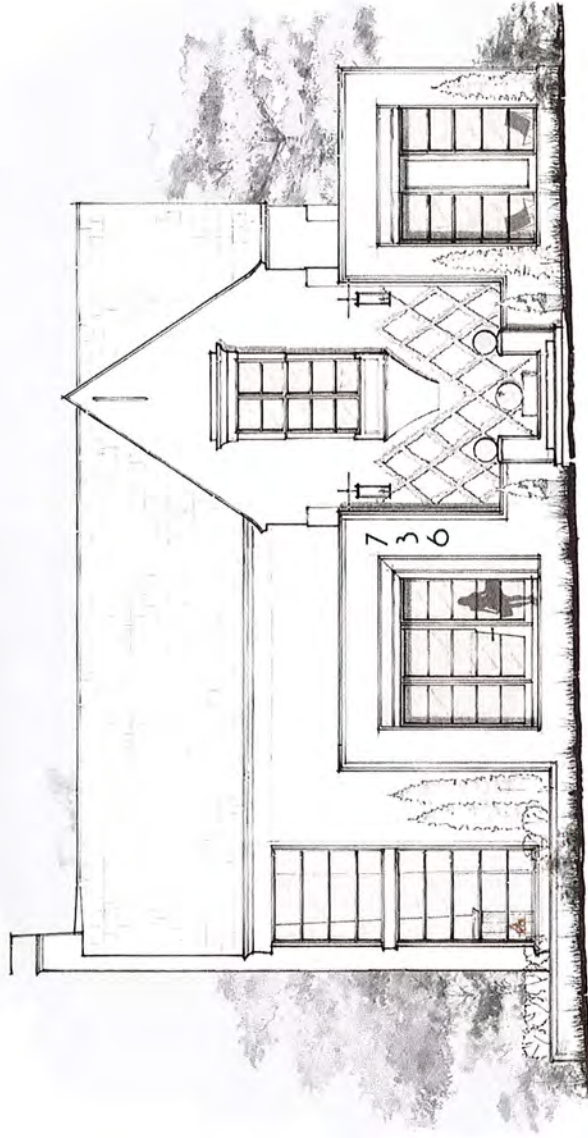
**OTHER**

\_\_\_\_\_  
Signature of Authorized Officer

SUBSCRIBED AND SWORN  
to before me this 15<sup>th</sup> day of



*Marjorie E. Cantrell*  
Notary Public



EAST ELEVATION

**[moment]** DESIGN  
ARCHITECTURE + INTERIORS  
630 828 8161 [www.momentdesign.net](http://www.momentdesign.net)

j.jordan homes  
736 s. park avenue  
hinsdale  
05 18 18



SOUTH ELEVATION

j.jordan homes  
736 s. park avenue  
hinsdale  
05 18 18

**[moment]** DESIGN  
ARCHITECTURE + INTERIORS  
630 828 8161 [www.momentdesign.net](http://www.momentdesign.net)

# PLAT OF SURVEY

LOT 2 (EXCEPT THE NORTH 100 FEET AND EXCEPT THE SOUTH 100 FEET AND EXCEPT THE WEST 80 FEET THEREOF) IN THE W.L. BLACKMAN'S PLAT OF SECTION 12, TOWNSHIP 36 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JULY 31, 1908, AS DOCUMENT 88888, BEING A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 540, TOWNSHIP 36 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUKE COUNTY, ILLINOIS.

P.L.N.: 09-12-404-014

SURVEY AREA: 20,224 SQUARE FEET (0.464 ACRES)

COMMONLY KNOWN AS: 736 SOUTH PARK AVENUE, HINSDALE, ILLINOIS

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**Front Elevation – Facing East**

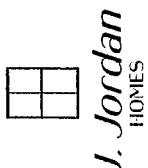


**Rear Elevation – Facing West**



Side Elevation – Facing North

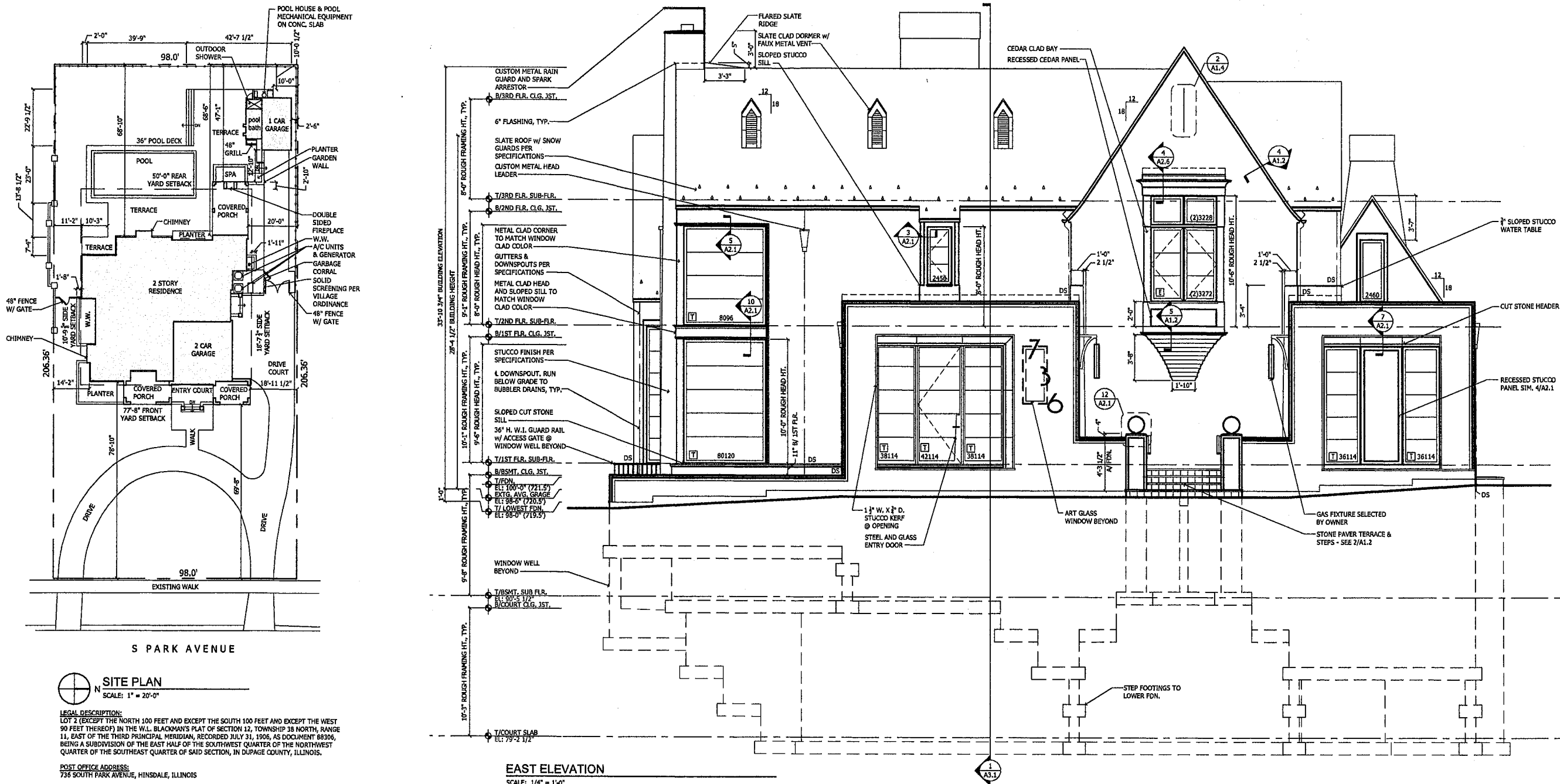




ISSUE/REVISION:	

GENERAL NOTES, SITE PLAN & EXTERIOR ELEVATION

A1.1



## GENERAL NOTES

- A. GENERAL REQUIREMENTS
- NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECT'S DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS.
  - ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  - ALL INTERIOR AND EXTERIOR FRAME WALLS TO BE 2 X 6 STUDS AT 16" O.C. WALLS DRAWN NOMINALLY AT 6 1/2" ASSUME 2 X 6 STUD WALL WITH G.W.B. OR SHEATHING BOTH SIDES PER SPECIFICATION.
  - ALL WINDOW/FRENCH DOOR SIZE DESIGNATIONS SHOWN ARE TO BE FRAME SIZE IN INCHES. G.C. TO COORDINATE ACTUAL WINDOW UNITS AND OPENINGS WITH MANUFACTURER.
  - BLOWER DOOR TEST TO BE PERFORMED IN ACCORDANCE WITH IECC 2015 402.4.
  - NEW CONSTRUCTION TO COMPLY WITH IECC 2015 PRESCRIPTIVE METHOD.
  - BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH 2015 IECC SECTIONS R402.4.1 THROUGH R402.4.4.
  - THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPLIANCE WITH 2015 IECC. TESTS TO BE WITNESSED BY THE BUILDING INSPECTOR AND TEST REPORTS ARE TO BE SUPPLIED TO THE COMMUNITY DEVELOPMENT DEPARTMENT. R402.3.1.2.
  - ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFIED.

- B. FIRE RATINGS
- SPACE BETWEEN FLOOR AND EXTERIOR WALL AND AT ALL OPENINGS IN THE FLOOR, INCLUDING SPACE BETWEEN DUCTS, CONDUIT, PIPING, ETC., EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION, SHALL BE SAFOED OFF (FILLED) WITH APPROVED SAFING MATERIAL TO MAINTAIN THE CONTINUITY OF THE FLOOR FIRE RATING. ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION SHALL BE TIGHT AND PREVENT THE PASSAGE OF SMOKE OR FLAME.
  - ALL PIPING, DUCTS, ETC., THAT PENETRATE FLOOR SLABS AND WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
  - DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" MIN. G.W.B., 3/8" WOOD STRUCTURAL PANELS, OR 3/8" TYPE 2-M-W PARTICLEBOARD TO BE INSTALLED PARALLEL TO FLOOR FRAMING MEMBERS PER IRC R502.12. DRAFTSTOPPING TO BE PROVIDED AT THE FOLLOWING LOCATIONS:
    - CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL.
    - ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
    - CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    - OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS & FIREPLACES AT CEILING AND FLOOR LEVEL, WITHOUT NONCOMBUSTIBLE MATERIALS.
    - CONCEALED SPACE BECAUSE OF DROPPED CEILINGS OR SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ. FT. SHALL BE DRAFT STOPPED INTO EQUAL AREAS PER IRC R502.12.
  - FIREBLOCKING SHALL BE PROVIDED IN FLOOR CONSTRUCTION AND FLOOR-CEILING ASSEMBLIES PER IRC R 602.8.

- D. MUNICIPALITY NOTES
- WING WALLS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE HINSDALE FENCE ORDINANCE.
  - WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
  - ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K COPPER OR GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE.
  - COPPER PIPING WILL NOT BE ACCEPTED FOR WASTE OR VENT PIPING PER HINSDALE LOCAL ORDINANCE.
  - DUCT SYSTEMS SHALL BE SUPPORTED AT A MAXIMUM OF 10' INTERVALS. DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE AIR TIGHT BY MEANS OF TAPE AND SHALL BE MECHANICALLY FASTENED BY THREE (3) SCREWS EVENLY SPACED PER THE IRC M1601.3.
  - ELECTRIC SERVICE SHALL COMPLY WITH SECTION 9-6-3; SERVICE ENTRANCE CAPACITY AND EQUIPMENT REQUIRED, OF VILLAGE OF HINSDALE, TITLE 9 BUILDING REGULATIONS, CHAPTER 6, ELECTRIC CODE AMENDMENTS.
  - PROVIDE PERMANENTLY AFFIXED CERTIFICATE AT ELECTRICAL PANEL COMPLIANT W/ IECC 2015 SECTION R103.2.

## PROJECT DATA

JURISDICTION:	DUPAGE COUNTY, HINSDALE, ILLINOIS
ZONING:	R-1 NON-CONFORMING
SITE AREA:	20,224.07 SQ. FT.
ALLOWABLE BLDG. COVERAGE:	5,056.02 SQ. FT.
ACTUAL BLDG. COVERAGE:	FIRST FLOOR= 3,374.1 SQ. FT. PORCHES= 676.3 - 200= 330.0 SQ. FT. POOL HOUSE= 475.3 SQ. FT. TOTAL= 4,180.4 SQ. FT.
ALLOWABLE LOT COVERAGE:	10,112.04 SQ. FT.
ACTUAL LOT COVERAGE:	10,026.53 SQ. FT.
ALLOWABLE P.A.R.1:	6,044.8.8 SQ. FT.
ACTUAL F.A.R.:	CELLAR= 0 SQ. FT. FIRST FLOOR= 3,296.0 SQ. FT. POOL HOUSE 1ST FLR= 330.0 SQ. FT. SECOND FLOOR= 2,398.0 SQ. FT. POOL HOUSE 2ND FLR= 0 SQ. FT. THIRD FLOOR= 0 SQ. FT. TOTAL= 6,024.0 SQ. FT.
ALLOWABLE ACCESSORY USE:	2,022.4 SQ. FT.
ACTUAL ACCESSORY USE:	POOL & DECK= 1,283.5 SQ. FT. POOL HOUSE= 349.0 SQ. FT. TOTAL= 1,632.5 SQ. FT.
AVERAGE EXT.G. GRADE:	HOUSE= 720'-4" POOL HOUSE= 720'-0"
ACTUAL BUILDING HEIGHT:	HOUSE= 28'-4 1/2" POOL HOUSE= 14'-11 1/4"
ACTUAL BUILDING ELEVATION:	HOUSE= 33'-10 3/4"
TYPE OF CONSTRUCTION:	MASONRY / WOOD FRAME

## CODE INFO

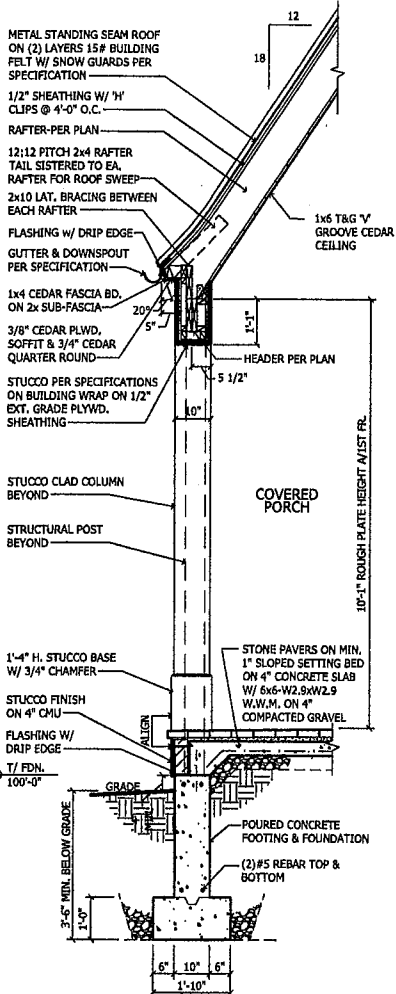
ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION AS NOTED OF THE FOLLOWING APPLICABLE CODES:

A.	2006 INTERNATIONAL BUILDING CODE
B.	2006 INTERNATIONAL RESIDENTIAL CODE
C.	2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
D.	2014 ILLINOIS PLUMBING CODE
E.	2006 INTERNATIONAL PLUMBING CODE
F.	2005 NFPA NATIONAL ELECTRICAL CODE
G.	2003 NFPA 101 LIFE SAFETY CODE
H.	2006 INTERNATIONAL FIRE CODE
I.	2006 INTERNATIONAL MECHANICAL CODE
J.	2006 INTERNATIONAL FUEL GAS CODE
K.	VILLAGE OF HINSDALE ORDINANCES
L.	INTERNATIONAL ENERGY CONSERVATION CODE 2015 & ILLINOIS AMENDMENTS
M.	ILLINOIS ACCESSIBILITY CODE - CURRENT EDITION
O.	ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION.

## SHEET INDEX

A1.1	GENERAL NOTES, SITE PLAN & EXTERIOR ELEVATION
A1.2	EXTERIOR ELEVATION, L-V SCHEDULE, WALL SECTION, DETAILS
A1.3	EXTERIOR ELEVATIONS & PLUMBING RISER DIAGRAMS
A1.4	EXTERIOR ELEVATIONS, WALL SECTION & DETAILS
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A2.2	LOWER LEVEL PLAN
A2.3	FIRST FLOOR PLAN & DETAILS
A2.4	SECOND FLOOR PLAN
A2.5	THIRD FLOOR PLAN
A2.6	ROOF PLAN & DETAILS
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A3.1	SPECIFICATIONS
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S1.3	SECOND FLOOR FRAMING PLAN & DETAILS
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S1.5	THIRD FLOOR CEILING FRAMING PLAN
S1.6	ROOF FRAMING PLAN & DETAILS
E1.1	COURT LEVEL SCHEMATIC ELECTRICAL PLAN
E1.2	LOWER LEVEL SCHEMATIC ELECTRICAL PLAN
E1.3	FIRST FLOOR SCHEMATIC ELECTRICAL PLAN
E1.4	SECOND FLOOR SCHEMATIC ELECTRICAL PLAN
E1.5	THIRD FLOOR & POOL HOUSE SCHEMATIC ELECTRICAL PLANS
R1.1	FIRST FLOOR OVERLAY PLAN
R1.2	SECOND FLOOR OVERLAY PLAN
R1.3	THIRD FLOOR OVERLAY PLAN

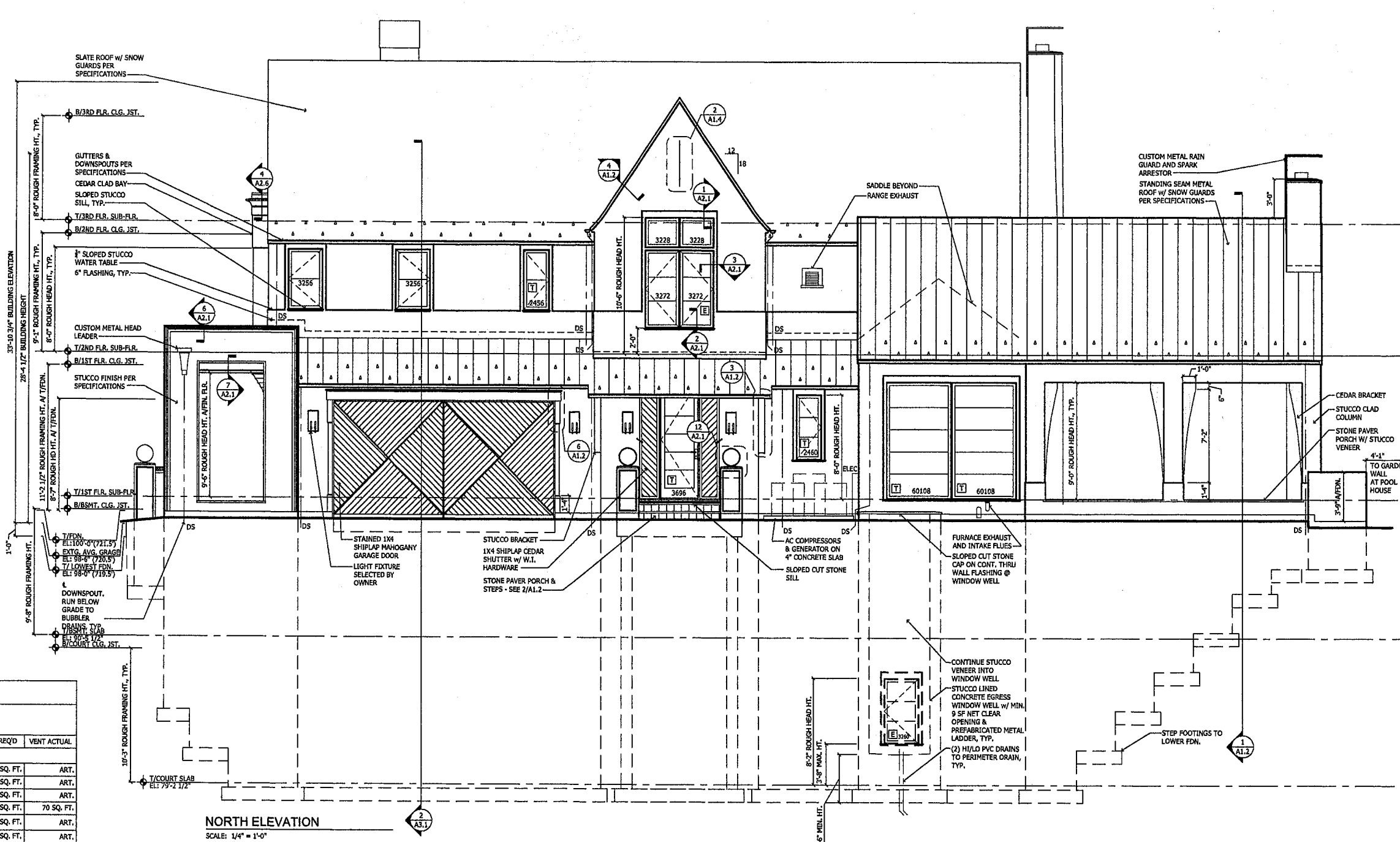




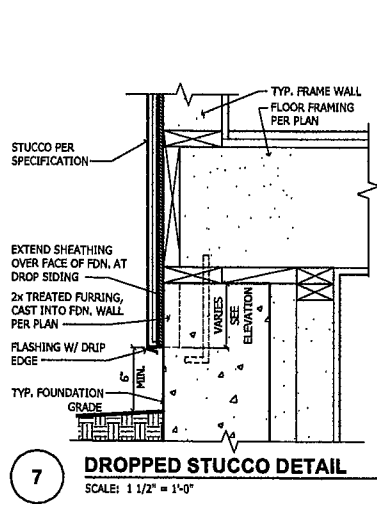
**1 WALL SECTION**  
SCALE: 1/2" = 1'-0"

LIGHT & VENT SCHEDULE					
LIGHT REQ'D = 8% OF ROOM AREA VENT REQ'D = 4% OF ROOM AREA UNFINISHED BASEMENT LIGHT & VENT REQ'D = 2% OF FLOOR AREA					
ROOM NAME	AREA	LIGHT REQ'D	LIGHT ACTUAL	VENT REQ'D	VENT ACTUAL
<b>BASEMENT</b>					
COURT	1234.4 SQ. FT.	98.75 SQ. FT.	ART.	49.38 SQ. FT.	ART.
FITNESS ROOM	247.5 SQ. FT.	19.80 SQ. FT.	ART.	9.90 SQ. FT.	ART.
THEATER	304.0 SQ. FT.	24.32 SQ. FT.	ART.	12.16 SQ. FT.	ART.
LOUNGE	413.6 SQ. FT.	33.09 SQ. FT.	70 SQ. FT.	16.54 SQ. FT.	70 SQ. FT.
BAR/BILLARD ROOM	546.0 SQ. FT.	43.68 SQ. FT.	ART.	21.84 SQ. FT.	ART.
BATH	50.9 SQ. FT.	4.07 SQ. FT.	ART.	2.04 SQ. FT.	ART.
<b>FIRST FLOOR</b>					
ENTRY	94.9 SQ. FT.	7.59 SQ. FT.	81.3 SQ. FT.	3.80 SQ. FT.	33.25 SQ. FT.
BREAKFAST ROOM	162.3 SQ. FT.	12.98 SQ. FT.	146.5 SQ. FT.	6.49 SQ. FT.	101.2 SQ. FT.
DINING ROOM	242.1 SQ. FT.	19.37 SQ. FT.	139.05 SQ. FT.	9.68 SQ. FT.	ART.
FAMILY ROOM	485.4 SQ. FT.	38.83 SQ. FT.	168 SQ. FT.	19.42 SQ. FT.	45.3 SQ. FT.
SUNROOM	221.4 SQ. FT.	17.71 SQ. FT.	245.8 SQ. FT.	8.86 SQ. FT.	55.2 SQ. FT.
LOUNGE	199.7 SQ. FT.	15.98 SQ. FT.	110.68 SQ. FT.	7.99 SQ. FT.	ART.
POWDER ROOM	39.0 SQ. FT.	3.12 SQ. FT.	6.34 SQ. FT.	1.56 SQ. FT.	7.13 SQ. FT.
KITCHEN	384.8 SQ. FT.	30.78 SQ. FT.	39.72 SQ. FT.	15.39 SQ. FT.	28.44 SQ. FT.
MUDROOM	146.5 SQ. FT.	11.73 SQ. FT.	17.82 SQ. FT.	5.86 SQ. FT.	27.51 SQ. FT.
POWDER ROOM 2	47.3 SQ. FT.	3.78 SQ. FT.	6.34 SQ. FT.	1.89 SQ. FT.	7.13 SQ. FT.
<b>SECOND FLOOR</b>					
MASTER BEDROOM	334.0 SQ. FT.	26.72 SQ. FT.	55.38 SQ. FT.	13.36 SQ. FT.	42.66 SQ. FT.
MASTER BATH	230.3 SQ. FT.	18.42 SQ. FT.	6.3 SQ. FT.	9.21 SQ. FT.	9.76 SQ. FT.
BEDROOM 2	182.5 SQ. FT.	14.60 SQ. FT.	30.42 SQ. FT.	7.30 SQ. FT.	24.76 SQ. FT.
BATH 2	36.0 SQ. FT.	2.88 SQ. FT.	6.34 SQ. FT.	1.44 SQ. FT.	7.13 SQ. FT.
BEDROOM 3	215.9 SQ. FT.	17.27 SQ. FT.	60.16 SQ. FT.	8.64 SQ. FT.	49.52 SQ. FT.
BATH 3	31.1 SQ. FT.	2.49 SQ. FT.	ART.	1.24 SQ. FT.	ART.
BEDROOM 4	196.8 SQ. FT.	15.74 SQ. FT.	103.61 SQ. FT.	7.87 SQ. FT.	12.38 SQ. FT.
BATH 4	59.1 SQ. FT.	4.73 SQ. FT.	6.34 SQ. FT.	2.36 SQ. FT.	7.13 SQ. FT.
<b>THIRD FLOOR</b>					
LOFT BATH	53.3 SQ. FT.	4.27 SQ. FT.	ART.	2.13 SQ. FT.	ART.
LOFT	165.1 SQ. FT.	13.21 SQ. FT.	16.86 SQ. FT.	6.60 SQ. FT.	18.1 SQ. FT.

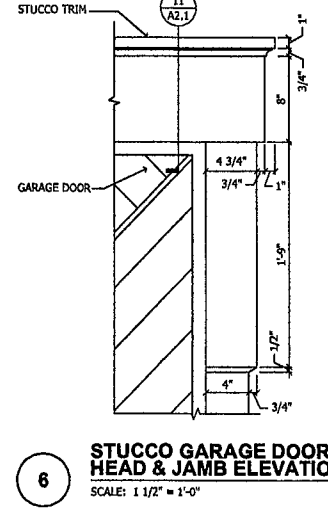
\* MECHANICAL VENTILATION SYSTEM SHALL BE CAPABLE OF PRODUCING .35 AIR CHANGES PER HOUR. LIGHTING TO BE DESIGNED TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR



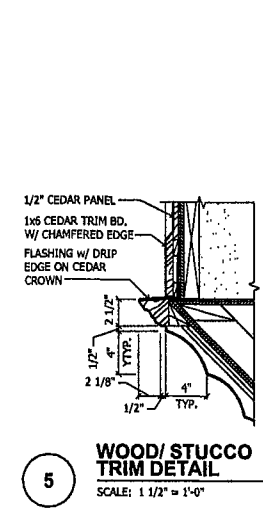
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



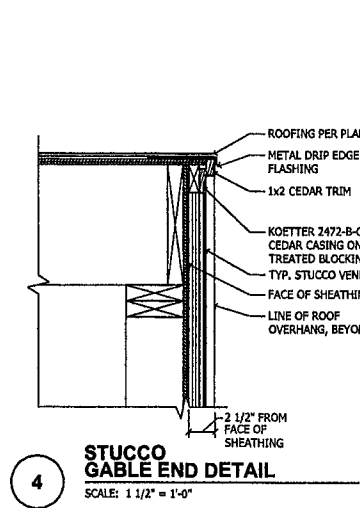
**7 DROPPED STUCCO DETAIL**  
SCALE: 1 1/2" = 1'-0"



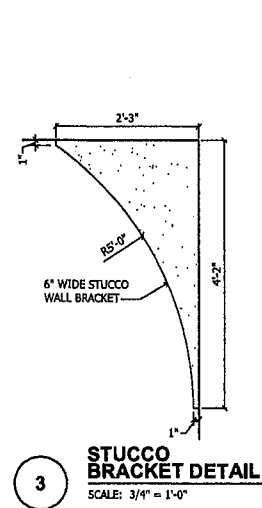
**8 STUCCO GARAGE DOOR HEAD & JAMB ELEVATION**  
SCALE: 1 1/2" = 1'-0"



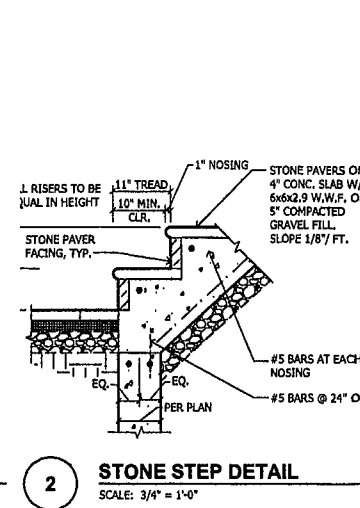
**5 WOOD/STUCCO TRIM DETAIL**  
SCALE: 1 1/2" = 1'-0"



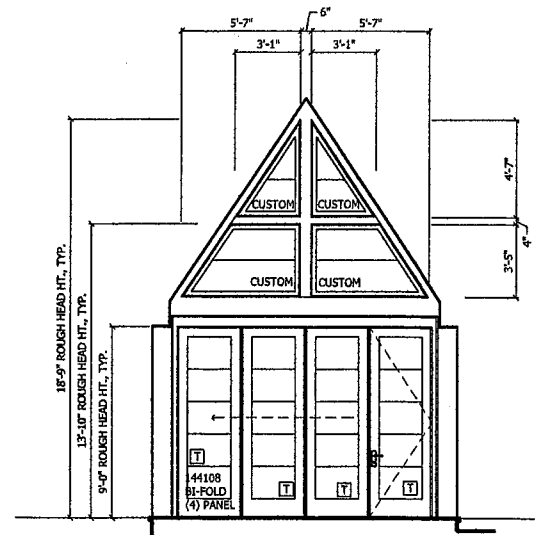
**4 STUCCO GABLE END DETAIL**  
SCALE: 1 1/2" = 1'-0"



**3 STUCCO BRACKET DETAIL**  
SCALE: 3/4" = 1'-0"

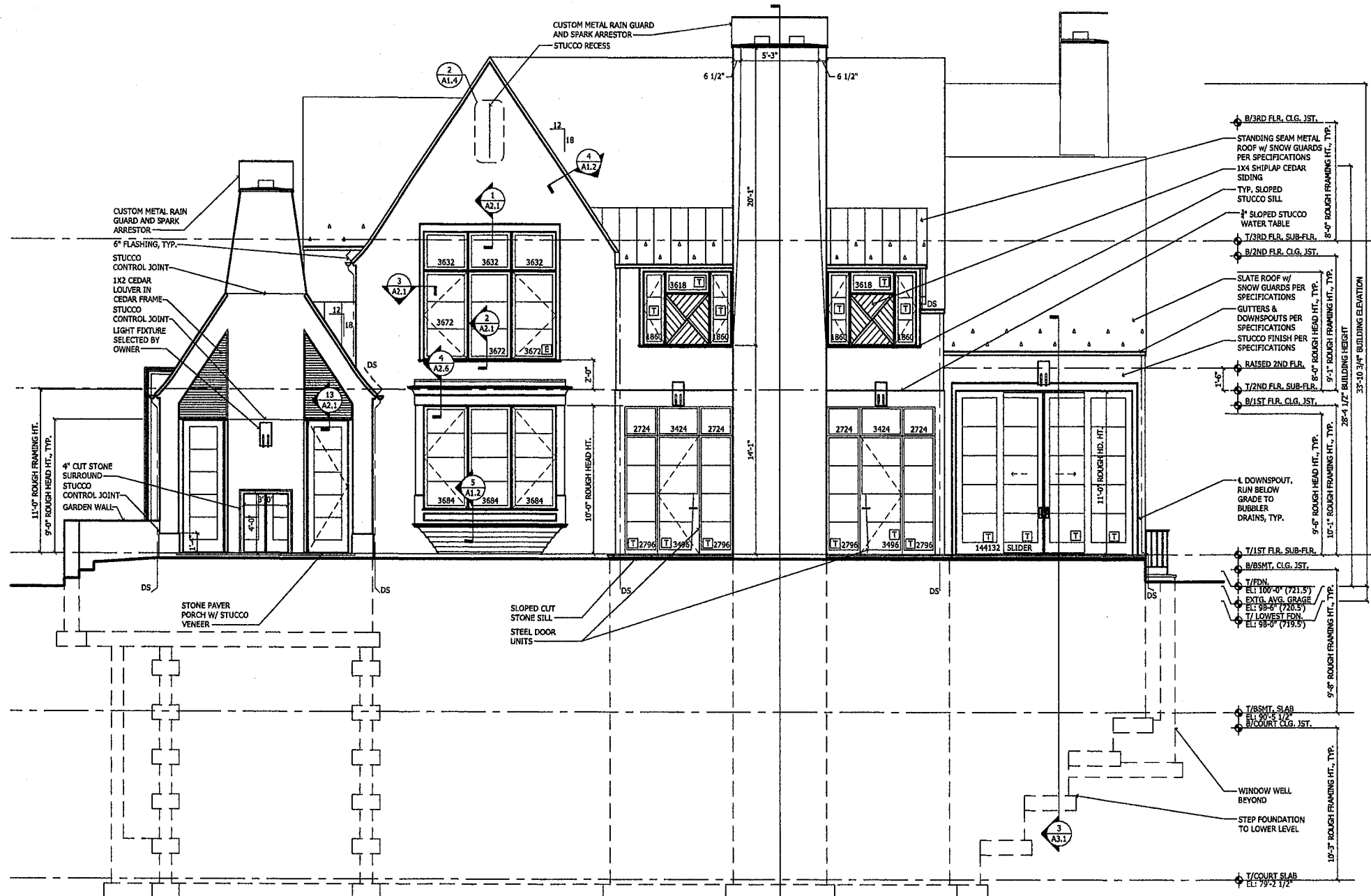


**2 STONE STEP DETAIL**  
SCALE: 3/4" = 1'-0"



WEST COVERED PORCH ELEVATION

SCALE: 1/4" = 1'-0"

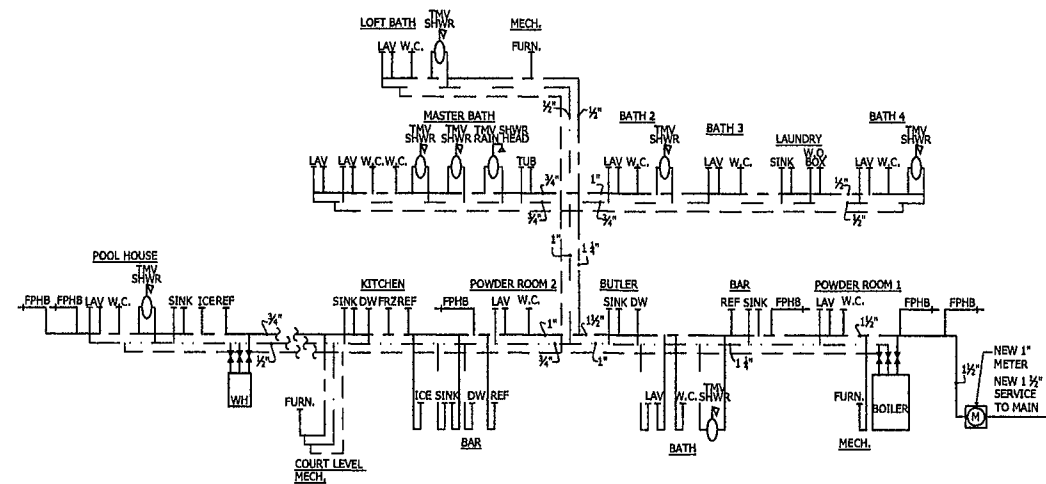


WEST ELEVATION

SCALE: 1/4" = 1'-0"

PLUMBING RISER GENERAL NOTES									
1. ALL SUPPLY PIPING TO BE TYPE "K" COPPER UNLESS OTHERWISE NOTED.									
2. PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.									
3. VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.									
4. ALL WATER CLOSET VENTS SHALL BE 2" MINIMUM.									
5. THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 THE DIAMETER OF THE DRAIN TO WHICH IT IS CONNECTED, WHICHEVER IS GREATER.									
6. ALL UNDERGROUND WASTE PIPING TO BE CAST IRON.									
7. ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.									
8. TIE NEW LINES TO EXISTING AS REQUIRED. VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD.									
9. GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S LANDSCAPE SPRINKLER SYSTEM.									
10. COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK.									
FIXTURE CONNECTION SIZES & QUANTITIES									
FIXTURE TYPE	FIXTURE COUNT	SUPPLY			DRAINAGE			TOTAL DRAINAGE FIXTURE UNITS	FIXTURE DRAIN TRAP SIZE
		COLD	HOT	TOTAL	FIXTURE SUPPLY PIPE SIZE	FIXTURE DRAINAGE PER UNIT	FIXTURE DRAINAGE UNITS		
WATER CLOSET	10	3	0	3	3/8"	4	40	3"	
LAVATORY	10	0.75	0.75	1.5	3/8"	1	10	1 1/4"	
SHOWER STALL / TUB	7	1.5	1.5	3	1/2"	3	21	2"	
WHIRLPOOL	1	1.5	1.5	3	1/2"	3	3	2"	
STEAM UNIT	0	1	0	1	3/8"	0	0	-	
KITCHEN SINK	5	1.5	1.5	3	1/2"	2	10	1 1/2"	
DISHWASHER	3	0	1	1	3/8"	2	6	1 1/2"	
LAUNDRY SINK	1	1.5	1.5	3	1/2"	2	2	1 1/2"	
LAUNDRY DRAIN PAN	1	0	0	0	-	3	3	1 1/2"	
WASHER OUTLET BOX	1	2.25	2.25	4.5	5	3	3	1 1/2"	
FLOOR DRAIN	4	0	0	0	-	3	12	2"	
HOSE BIB	6	2.5	0	2.5	1/2"	0	0	-	
RAINHEAD SHOWER	1	0.5	0.5	1	1/2"	3	0	2"	
POT FILLER	0	1.5	1.5	3	0	1/2"	-	-	
TOTAL FIXTURE UNITS:							111		110

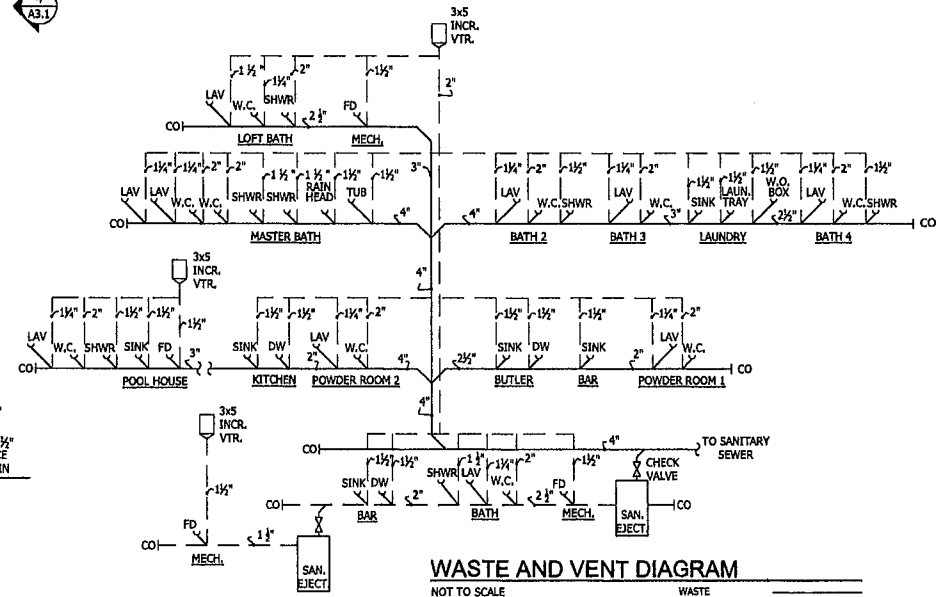
NOTE: ALL SUPPLY & DRAINAGE FIXTURE UNITS, SUPPLY PIPE SIZES, DRAIN TRAP SIZES & VENT SIZES ARE PER ILLINOIS PLUMBING CODE, 2014 EDITION.



DOMESTIC WATER RISER DIAGRAM

NOT TO SCALE

COLD WATER  
HOT WATER  
HOT WATER RETURN



WASTE AND VENT DIAGRAM

NOT TO SCALE

WASTE  
UNDER SLAB WASTE  
VENT





**STUCCO HEAD DETAIL**  
SCALE: 3" = 1'-0"

**STUCCO SILL DETAIL**  
SCALE: 3" = 1'-0"

**STUCCO JAMB DETAIL**  
SCALE: 3" = 1'-0"

**STUCCO JAMB DETAIL**  
SCALE: 3" = 1'-0"

**STUCCO HEAD DETAIL**  
SCALE: 3" = 1'-0"

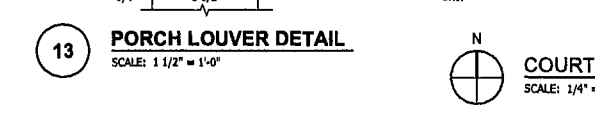


**STONE COPING DETAIL**  
SCALE: 3" = 1'-0"

**STONE TRIM DETAIL**  
SCALE: 3" = 1'-0"

### STUCCO SILL DETAIL

**STONE HEAD DETAIL**  
SCALE: 3" = 1'-0"

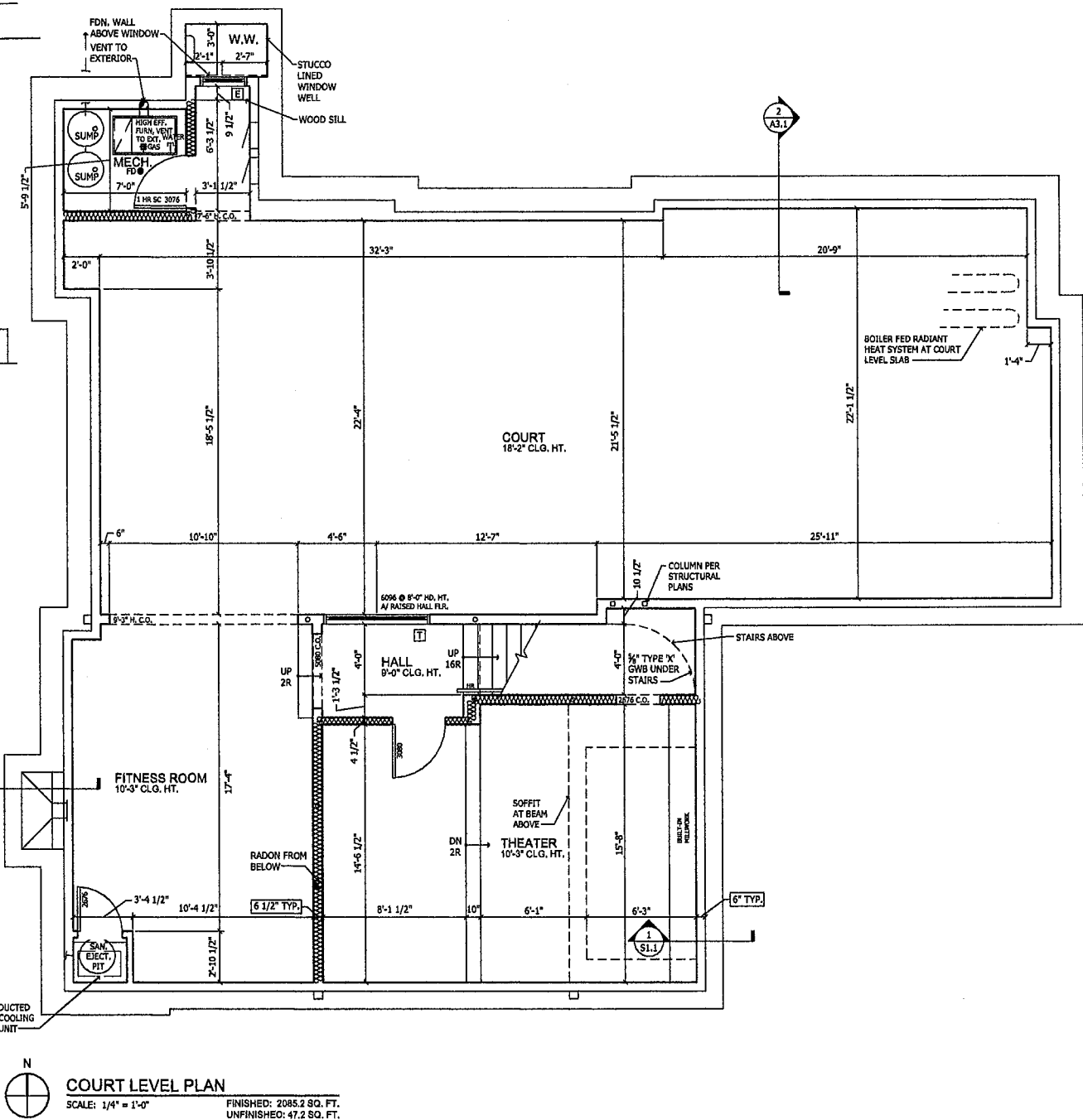


**METAL TRIM DETAIL**  
SCALE: 3" = 1'-0"

### STUCCO HEAD DETAIL

**FINIAL DETAIL**  
SCALE: 3" = 1'-0"

### **PORCH LOUVER DETAIL**




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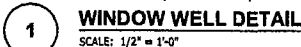


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COURT LEVEL  
PLAN &  
DETAILS

## A2.1

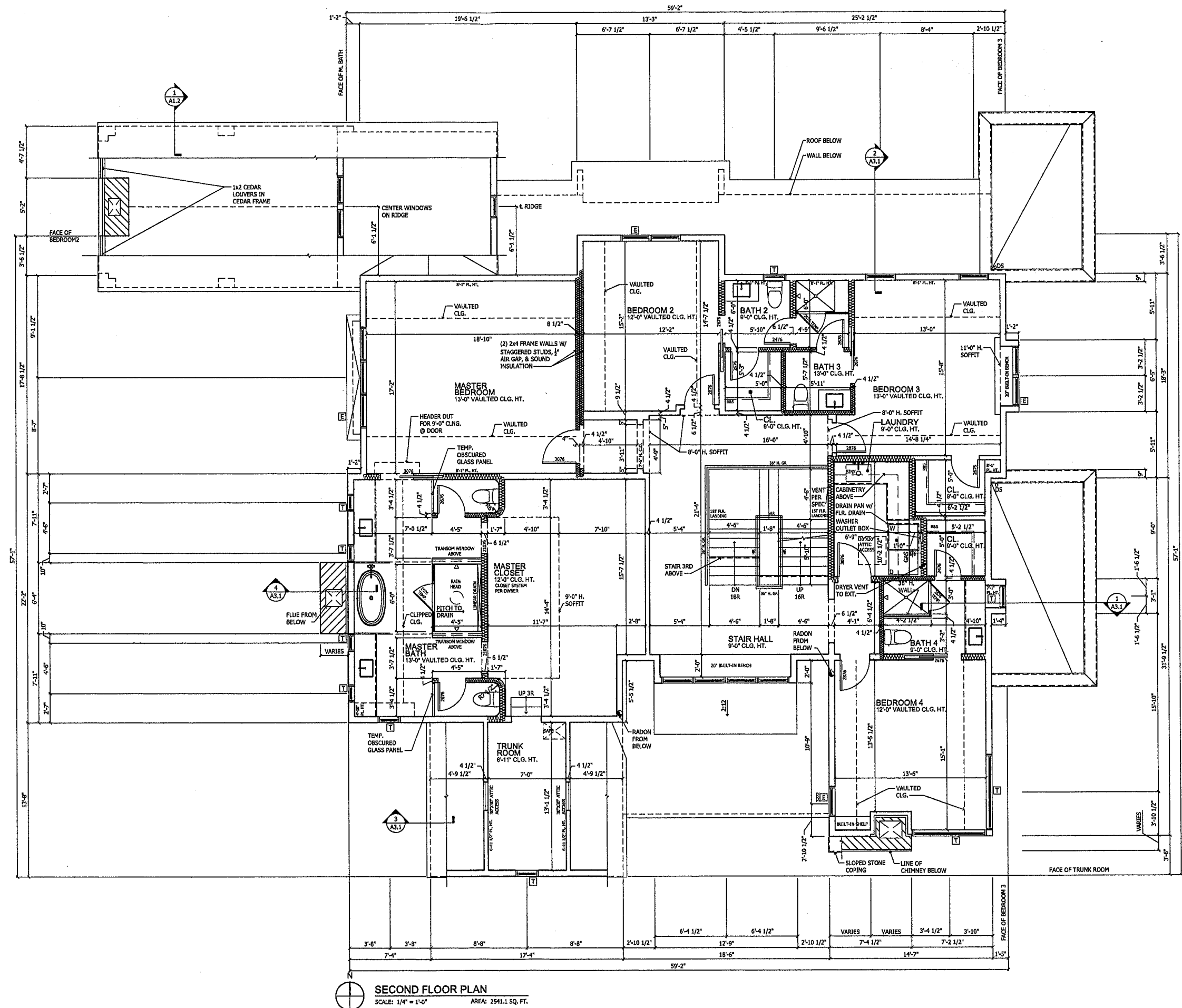


FINISHED: 1450.0 SQ. FT.  
UNFINISHED: 251.1 SQ. FT.

## A2.2



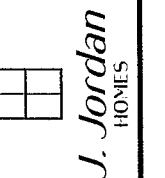




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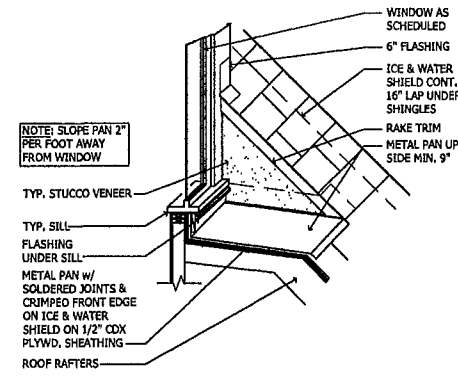
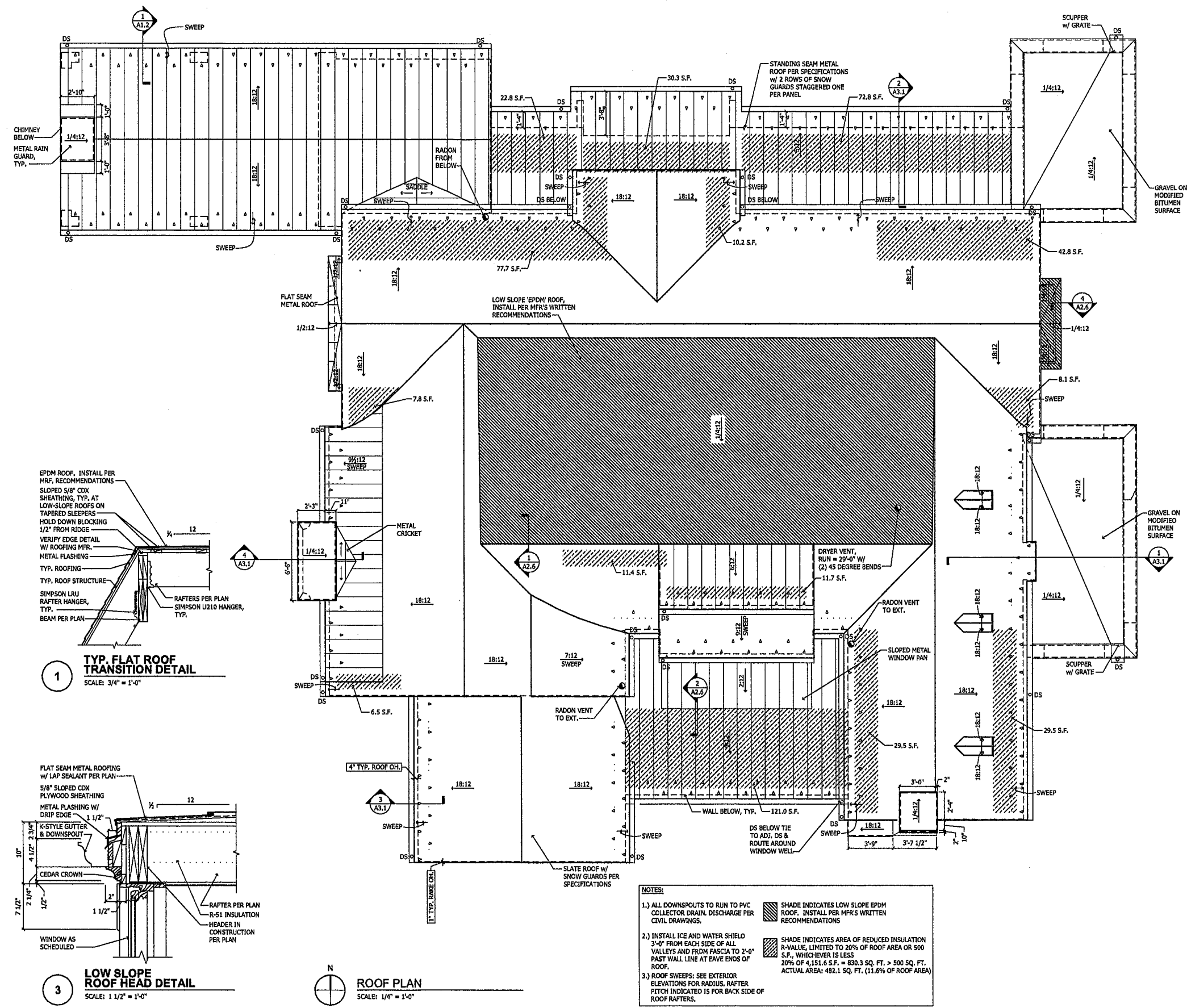
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JOB NUMBER: 18-04	
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SECOND  
FLOOR PLAN

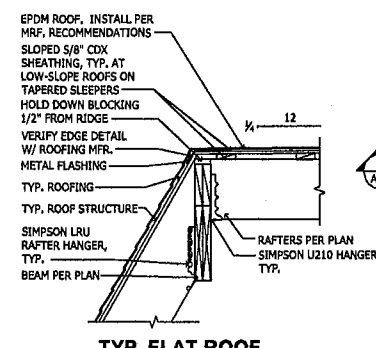
## A2.4



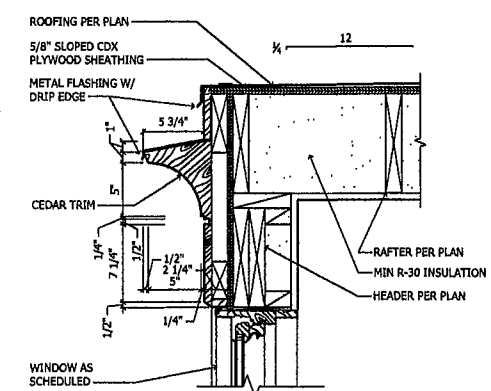




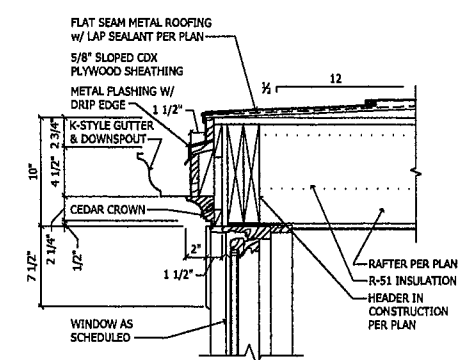
**2 METAL PAN ROOF DETAIL**  
 SCALE: 1/2" = 1'-0"



**1 TYP. FLAT ROOF TRANSITION DETAIL**  
 SCALE: 3/4" = 1'-0"

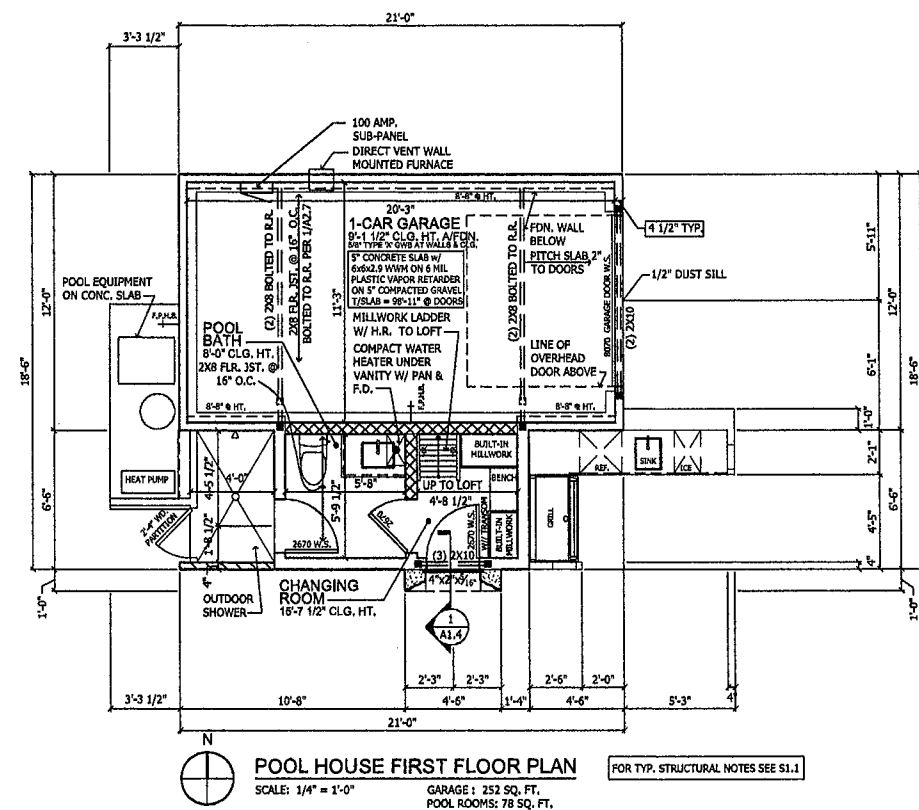
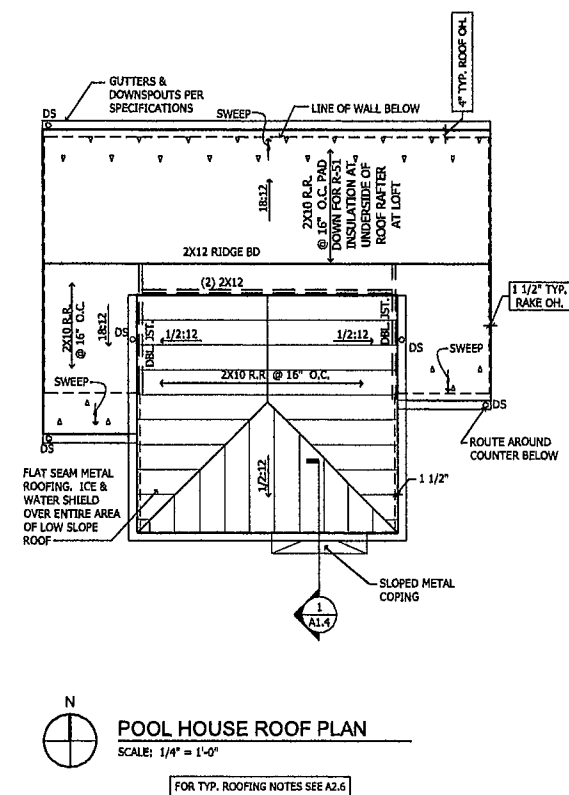
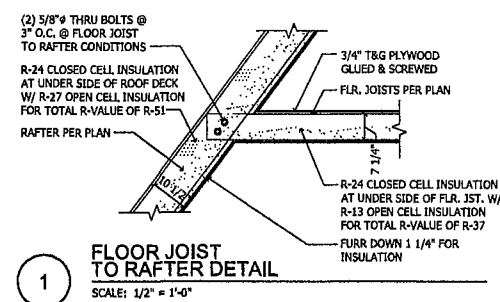
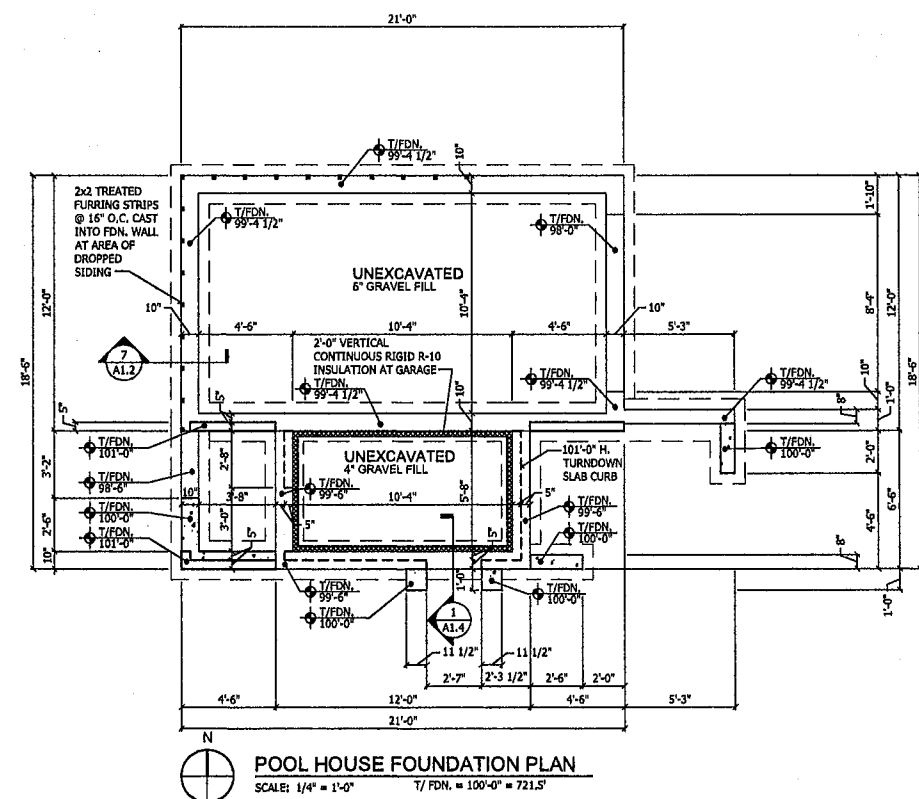
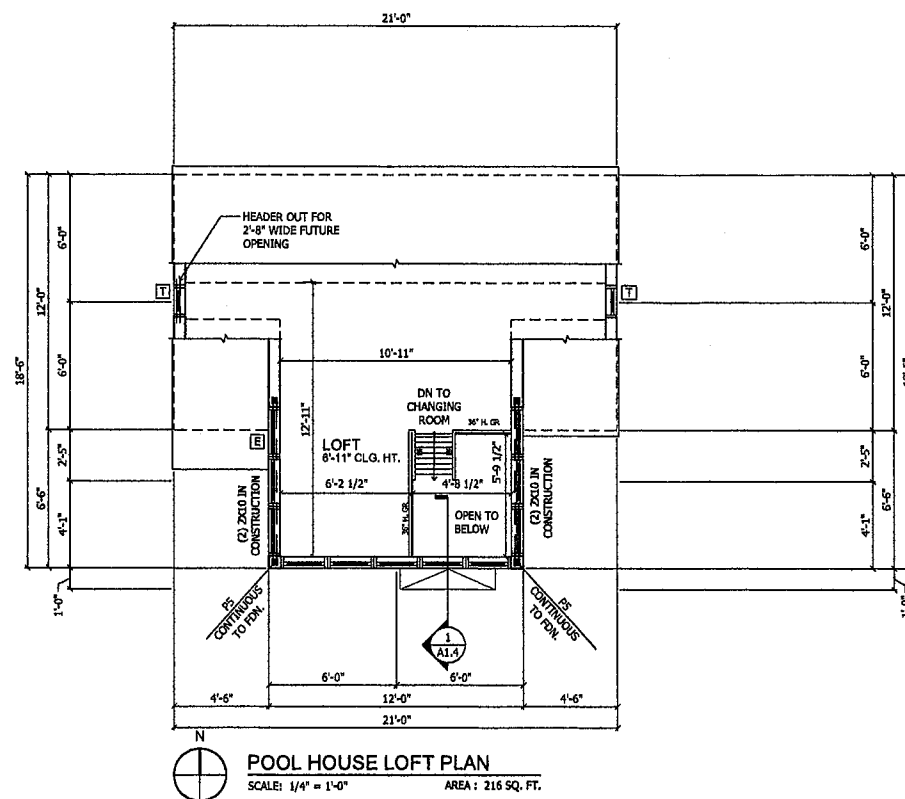


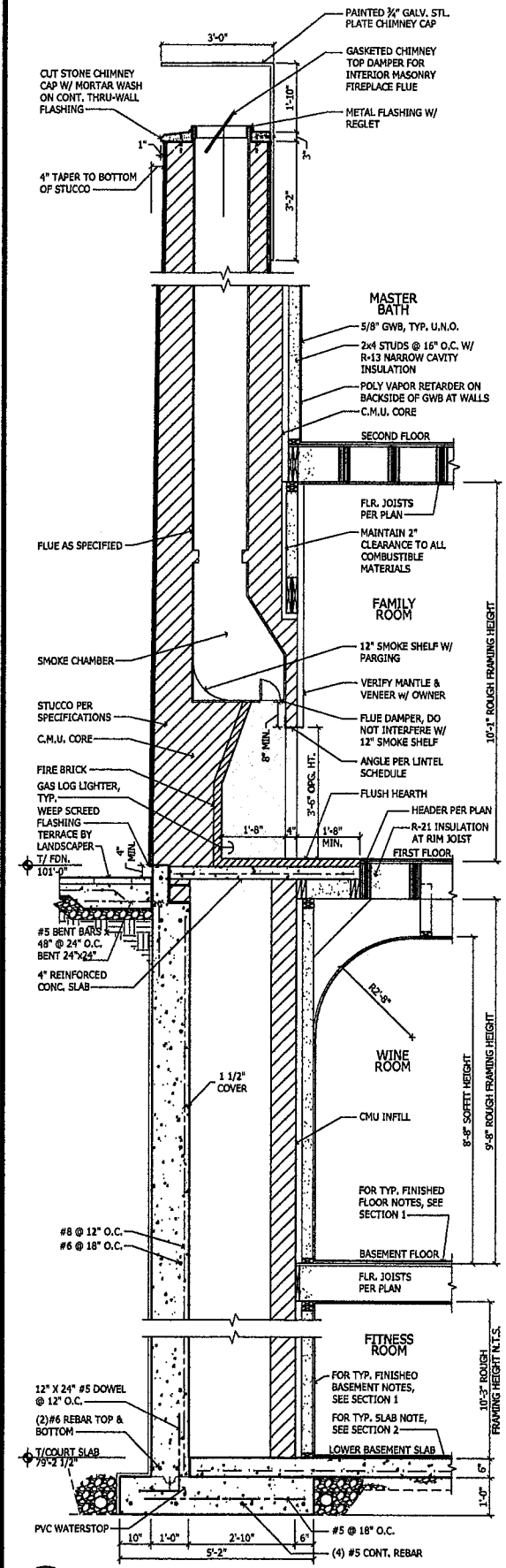
**4 LOW SLOPE ROOF HEAD DETAIL**  
 SCALE: 1 1/2" = 1'-0"



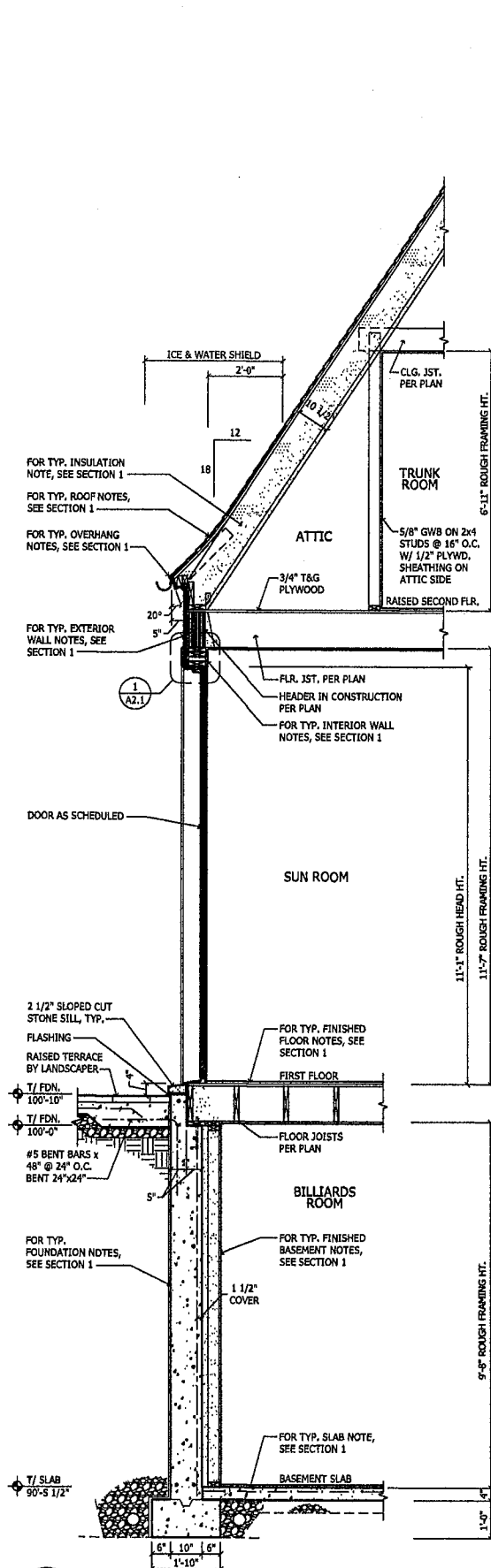
**3 LOW SLOPE ROOF HEAD DETAIL**  
 SCALE: 1 1/2" = 1'-0"

- NOTES:**
- 1.) ALL DOWNSPOUTS TO RUN TO PVC COLLECTOR DRAIN. DISCHARGE PER CIVIL DRAWINGS.
  - 2.) INSTALL ICE AND WATER SHIELD 3'-0" FROM EACH SIDE OF ALL VALLEYS AND FROM FASCIA TO 2'-0" PAST WALL LINE AT EAVE ENDS OF ROOF.
  - 3.) ROOF SWEEPS: SEE EXTERIOR ELEVATIONS FOR RADII. RAFTER PITCH INDICATED IS FOR BACK SIDE OF ROOF RAFTERS.
- SHADE INDICATES LOW SLOPE EPDM ROOF. INSTALL PER MFR'S WRITTEN RECOMMENDATIONS
- SHADE INDICATES AREA OF REDUCED INSULATION R-VALUE, LIMITED TO 20% OF ROOF AREA OR 500 S.F., WHICHEVER IS LESS. 20% OF 4,151.6 S.F. = 830.3 SQ. FT. > 500 SQ. FT. ACTUAL AREA: 482.1 SQ. FT. (11.6% OF ROOF AREA)

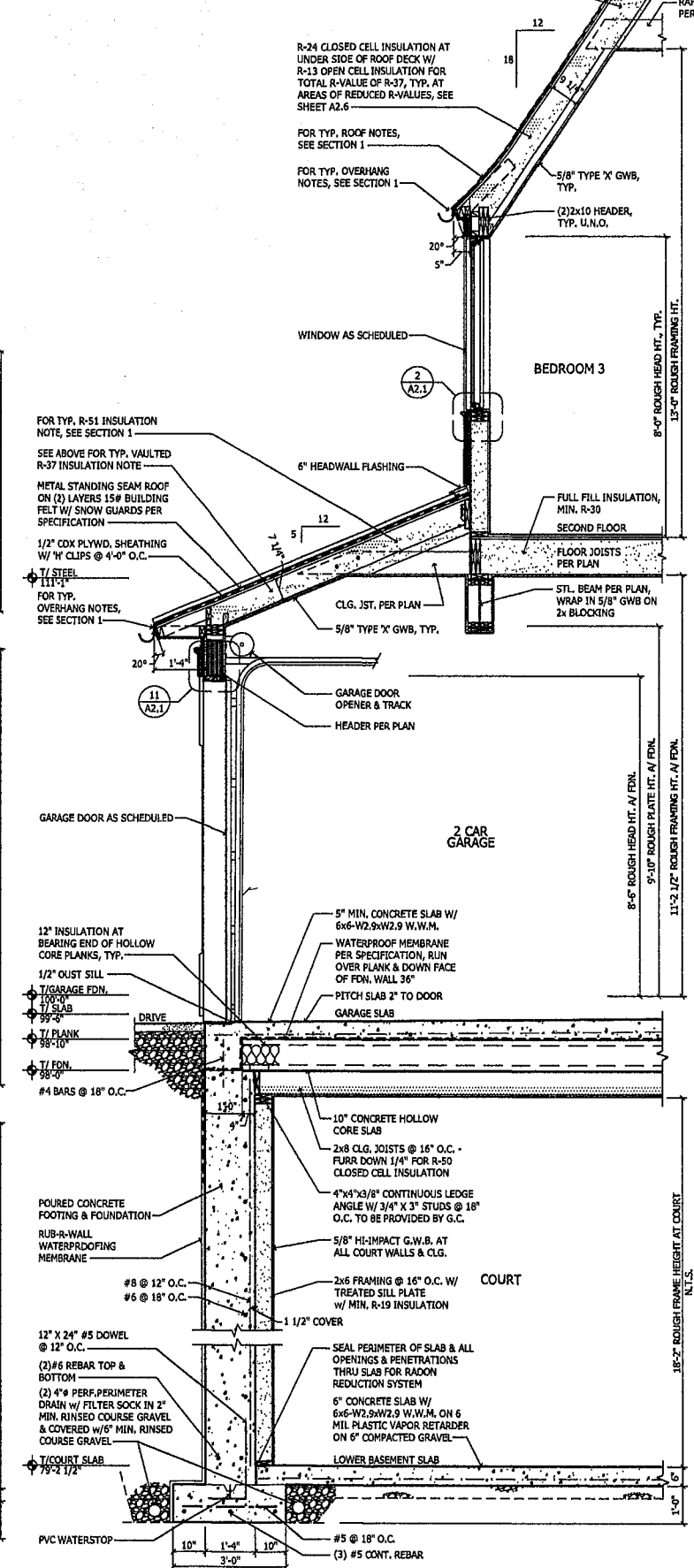




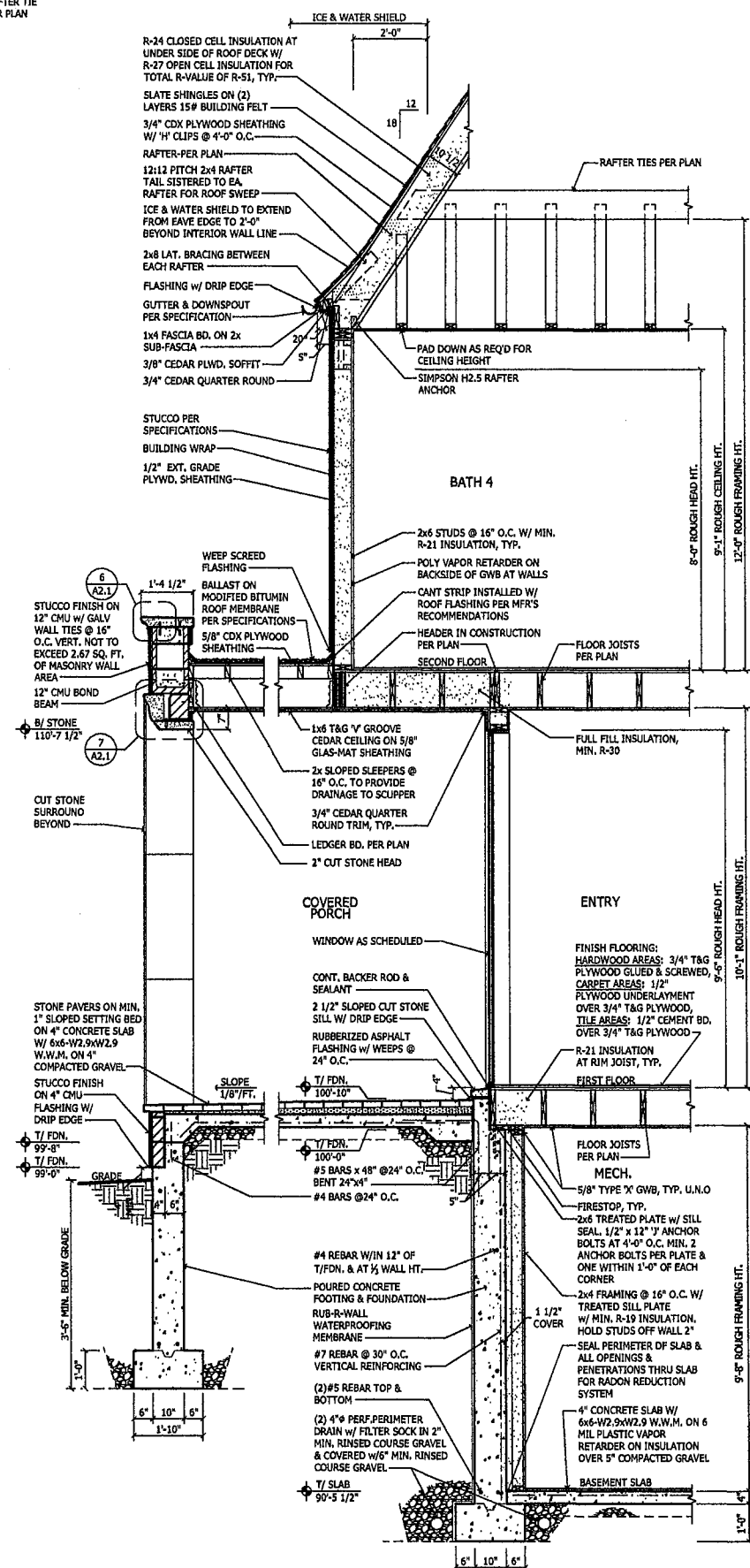
**4 CHIMNEY SECTION**  
SCALE: 1/2" = 1'-0"



**3 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**2 GARAGE SECTION**  
SCALE: 1/2" = 1'-0"



**1 COVERED PORCH SECTION**  
SCALE: 1/2" = 1'-0"

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**NEW RESIDENCE**  
736 S. PARK AVENUE, HINSDALE, IL 60521

**J. Jordan**  
HOMES

ISSUE/REVISION:	

JOB NUMBER: 18-04  
DATE: 08-06-2018

**WALL SECTIONS & DETAILS**

**A3.1**

### 9.0 CONTRACTING REQUIREMENTS:

**PERMIT & FEES:** All permit and utility connection fees to be paid by Owner at actual cost. GC (General Contractor) to be responsible for all other inspection-related bonding and licensing fees.

**NOTICE TO PROCEED:** Prior to the execution of the work, the GC (General Contractor) will request the most recent set of drawings issued for construction from the Architect for distribution to the sub-contractor. GC to ensure that the submitted proposal is based on the most recent set of documents at time of execution of contract.

**INSURANCE REQUIREMENTS:** Each contractor shall carry single public liability insurance and insurance to protect the Owner from any and all claims under the Workmen's Compensation Act. The GC/CM shall carry single insurance during the progress of the work to protect himself and the Owner from loss through damages by fire, tornado, or loss by theft, vandalism, etc. The insurance will be paid for by Owner, secured by GC with Certificates to all parties.

**CLAUSEMENTS:** Do not use drivers, use figured dimensions only. Contact Architect immediately with any conflicting drawings.

### 1.0 GENERAL REQUIREMENTS:

**GENERAL CONDITIONS:** The GC shall comply with AIA Document A201-2007 General Conditions of the contract for construction. All work shall be executed in strict accordance with the building ordinance requirements and to the satisfaction of the Building Commissioner of the local Municipality.

All trades shall be responsible for the delivery and unloading of their materials at the job site and the protection of the same from all conditions as necessary. It shall be the duty and responsibility of each contractor and subcontractor to arrange with other trades so that the own work may proceed without interruption and in conjunction and in harmony with every other trade.

The GC shall also include all fencing, clean up and dumpsters.

All trades shall be responsible for their workmen and equipment meeting all government health and safety standards for the building industry.

**PROJECT UTILITIES:** Owner will pay incremental utility cost for usage only.

**SUBSTITUTIONS:** VALUE ANALYSIS AND SUBSTITUTIONS: After the contract has been executed, the Owner and the Architect will consider a formal request for the substitution of products in place of those specified only under the General Requirements.

The GC shall make material substitutions without the Architect's approval. By making requests for substitutions based on subcontractor issues, the Contractor represents that they have thoroughly investigated proposed a substitute product and determined it is equal or superior in all respects to that specified.

Represent Contractor will provide the same warranty for substitution that of the originally specified material.

Certified cost data presented in complete and includes all related costs under this contract except the Architect's redesign costs, and values all claims for additional costs related to the substitution which subsequently become apparent.

Will coordinate installation of the accepted substitute material with any changes as may be required for the Project, whose work has resulted in construction with a record of successful installation performance.

**SHIP DRAWINGS:** Prepare project-specific information, drawn accurately to scale. Do not base shop drawings on reproductions of the contract documents or standard printed data. All discrepancies to local codes or ordinances are to be brought to the attention of the Architect immediately.

**QUALITY STANDARDS:** These conditions are a part of the specifications and apply to the work of the Bidder and all subcontractors. All materials and workmanship shall be of first quality. In case of inconsistency within the contract documents, the GC is to notify the Architect immediately. The highest quality or greater quality of work shall be provided in accordance with the Architect's interpretation. All contractors and subcontractors performing work shall be qualified and experienced in installing, welding, or assembling work similar in material, design, and extent to that indicated for the Project, whose work has resulted in construction with a record of successful installation performance.

**CLOSEOUT PROCEDURES:** The GC shall guarantee all work under this contract. Guarantee shall be for a period of one year from occupancy of final payment of contract, whichever shall occur first. Should any defect develop during said period of guarantee due to improper workmanship the defect shall be made good by the GC without expense to the Owner. Additional materials or extended warranties are listed within subsequent sections.

**CLEANING:** The GC will leave the building clean at completion. The entire house shall be thoroughly cleaned, and professional window cleaners shall clean all windows prior to occupancy.

**BUILDING DEMOLITION:** DEMOLITION OF STRUCTURE: Contractor not to proceed with demolition of structure until notified by Owner in writing.

**EXPLOSIVES:** The use of explosives is NOT permitted.

**UTILITIES:** Dig and terminate all existing services: Gas, water, electric, sewer, etc. prior to demolition. This contractor to be responsible for all means, material and safety procedures for the demolition and handling away of all building components removed. Contractor to follow all demolition procedures as outlined in local codes and ordinances.

**BITS DRAWING:** Uniformly rough grade area of demolished construction to a smooth surface, free from irregular surface rough. Provide a smooth transition between adjacent existing grades and new grades.

**HAZARDOUS MATERIALS:** If materials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by the Owner under a separate contract.

### 3.0 CONCRETE:

This Contractor will provide all steel bars, columns, piers, slabs, etc. as called for on the building plans. The GC will also furnish labor to erect the main beams. The GC will review the structural drawings and report any discrepancy to the Architect prior to construction. All structural steel shall be factory primed to be galvanized. GC will be responsible for the removal of all steel from the building. Remove bracing & brace edges. Weld corners & seams continuously. Set metal fabrications accurately in location, with edges and surfaces level, plumb and true. Touch up surfaces after erection.

**CONCRETE WALLS:** Remove all exposed wall ties, seal with tar and waterproof all basement walls against which earth is to be placed with "Rub-R-Wall" rubber waterproof membrane. All voids in basement walls will be filled with Portland cement and all joints will be ground smooth at all unfinished areas and exposed exterior areas.

**PERIMETER DRAIN PIPES:** A perforated HDPE interior drainage system will be installed at the perimeter of the building footprint with the exterior pipe, penetrating into 18" sump pits located on plans. Provide each pit with a high-low sump pit system with battery backup with remote alarm. All pipes to have 2" discharge run out to grade as local codes and ordinances mandate. All perimeter drains to be covered w/ grates. Filter fabric under 18" sump, gravel. PVC drains will be installed at all perimeter window walls per the AIA wall section listed below.

**INTERIOR DRAIN PIPES:** A perforated HDPE interior drain-pipe system will be installed at the interior of the building footprint with the interior pipe terminating into separate sump pits located on the plans. Provide each pit with a high-low sump pit system with battery backup with remote alarm. All pipes to have 2" discharge run out to grade as local codes and ordinances mandate. All perimeter drains to be covered w/ grates. Filter fabric under 18" sump, gravel. PVC drains will be installed at all perimeter window walls per the AIA wall section listed below.

**AREA WALLS:** Area walls to be constructed from poured concrete and finished per plans. All wall areas to be cleaned and dried with no less than 6" of a gravel base before commencing basing of the foundation and to be left in a condition that will allow water to flow freely into the drains. Install two (2) 4" PVC drains with grates covers, one flush with gravel, one 3" higher. Drain to perimeter drain.

All window walls shall have covers. Emergency escape and rescue openings to have covers that are releasable or removable from the inside without the use of a key, tool, or force greater than that which is required for normal operation of the escape and rescue opening. No other window areas to be finished. All window walls shall be finished with 1/2" thick rigid foam insulation. All window walls shall be finished with 1/2" thick rigid foam insulation. All window walls shall be finished with 1/2" thick rigid foam insulation.

Window walls with a depth greater than 44 inches shall have an egress ladder that will be usable when the window is in the fully open position with steps at least 12" wide, at least 2" from the wall and spaced no more than 18" on center vertically for the full height of the window wall. Not ladder to wall wall.

**BASEMENT AND POOLHOUSE FLOOR:** Concrete floor to consist of 6 or more inches of compacted gravel covered with continuous 6 mil vapor barrier and 4 inches of concrete reinforced w/ 6x6x2x12 W.W.F. w/ control joints at a maximum 10'-0" spacing. No voids allowed in the vapor barrier vapor retarder and all gaps to be 1/2". All interior concrete floors to have trowel finish U.N.O.

**COURT LEVEL FLOOR:** Concrete floor to consist of 6 or more inches of compacted gravel covered with continuous 6 mil vapor barrier and 4 inches of concrete reinforced w/ 6x6x2x12 W.W.F. w/ control joints at a maximum 10'-0" spacing. No voids allowed in the vapor barrier vapor retarder and all gaps to be 1/2". All interior concrete floors to have trowel finish U.N.O.

**ATTACHED GARAGE FLOOR:** Garage concrete floor to consist of 6 or 7 inches of concrete reinforced w/ 6x6x2x12 W.W.F. and control joints at a maximum 10'-0" spacing. Garage concrete floor to have trowel finish. Provide positive drainage as indicated.

**DETACHED GARAGE FLOOR:** Garage concrete floor to consist of 6 or more inches of compacted gravel covered with continuous 6 mil vapor barrier and 4 inches of concrete reinforced w/ 6x6x2x12 W.W.F. and control joints at a maximum 10'-0" spacing. Garage concrete floor to have trowel finish. Provide positive drainage as indicated.

**PRECAST CONCRETE FLOOR:** Precast concrete floor to consist of 6 or more inches of compacted gravel covered with continuous 6 mil vapor barrier and 4 inches of concrete reinforced w/ 6x6x2x12 W.W.F. and control joints at a maximum 10'-0" spacing. Precast concrete floor to have trowel finish. Provide positive drainage as indicated.

**PRECAST CONCRETE FLOOR:** Precast concrete floor to consist of 6 or more inches of compacted gravel covered with continuous 6 mil vapor barrier and 4 inches of concrete reinforced w/ 6x6x2x12 W.W.F. and control joints at a maximum 10'-0" spacing. Precast concrete floor to have trowel finish. Provide positive drainage as indicated.

**CONCRETE MIX:** Shall have a 28-day compressive strength of a minimum of 5,000 psi and a release strength of a minimum of 3,000 psi. The use of calcium chloride or admixtures containing chlorides is not permitted. Concrete shall comply with the following:

- A. Portland Cement: ASTM C150, Type I or II
- B. Aggregates: ASTM C33 or C330
- C. Water: Potable, free from deleterious material that may affect setting or strength of concrete and complying with chemical limits of PCA MNL 118.
- D. Admixtures: Water-reducing, retarding, accelerating, high-range water-reducing admixtures: ASTM C494.

Gross to be Standard-Ground Grit, Portland Cement, ASTM C150, Type I, and clean natural sand ASTM C144 or ASTM C404. Mix ratio to be 1 part cement to 2 parts sand by volume. Gross shall achieve a minimum 28-day compressive strength of 2,000 psi.

**Anchor all plates to top of basement walls to resist horizontal soil loads. Bearing pads to be multi-member, non-leaking high-density plastic slip-shifting the visible sign of expansion when supporting construction loads. The Contractor to provide bearing pads, pipe, angles, anchors, dowels, hangers, and other hardware supports for securing precast concrete units to supporting and adjacent construction. All walls to comply with AWS D1.1 Structural Welding Code - Steel and AWS D1.3 Structural Welding Code - Reinforcing Steel. Steel connection material shall be carbon steel.**

- A. Shapes and Plates: ASTM A36
- B. Welds: AWS D1.1
- C. Welds: AWS D1.1
- D. Plates: ASTM A36
- E. Bolts and Studs: ASTM A307

Initial water-proof membrane between topping and plan will extend structural topping is indicated and run membrane up wall past concrete topping a minimum of 12".

Certified cost data presented in complete and includes all related costs under this contract except the Architect's redesign costs, and values all claims for additional costs related to the substitution which subsequently become apparent.

Will coordinate installation of the accepted substitute material with any changes as may be required for the Project, whose work has resulted in construction with a record of successful installation performance.

**ISOLATION JOINTS:** Install joint-drift strips at junctions with slope-on-grade and vertical surfaces, such as column pedestals, foundation walls, grade beams, and other locations, as indicated.

### 4.0 MASONRY:

This Contractor will furnish all labor and materials to complete the masonry work as shown on the building plans. Masonry work shall be of first quality.

**MISC. STEEL:** All steel, angles, channels, etc. necessary to the installation of the masonry will be furnished by the Contractor. Paint exposed steel to RAL 6005 and coat with rust-inhibiting preservative. Steel frame per final schedule. Provide flashing and weep 24" O.C. at all steel details. All exterior steel to be galvanized.

**INTERIOR MASONRY:** Exterior stone will be installed per plans & details. All veneer will be set to the building framing with galvanized metal fasteners installed per building code. Proper margin will be held at all windows to allow for shrinkage. All windows will be covered with plastic during installation of masonry. The masonry will be cleaned and all debris removed at the completion of the job. All excess waste material to be hauled off site.

**REPLACES OR INTERIOR MASONRY:** (Veneer) will be as per plan details. All fireplaces will have a cast iron calibrated damper and clean out and be equipped with a gas log lighter and fresh air intake. All hearths to be per plan. Contractor to provide masonry per plan. Contractor to coordinate area of openings and hearth dimensions per materials and local municipal clearance ordinances.

**BULB & CABLE:** All door sills will be 1/2" above all doors with integral cut drainage slope and dip slope. Window walls will have 2 1/2" smooth stone coping, sloped to shed water with drip edges. GC will finish and weep holes at 24" O.C.

**FLASHING:** A submerged siphon base flashing with weeps will be installed by the mason contractor as the foundation top. A Robertson siphon base flashing with weeps will be provided under all windows and doors.

**MORTAR:** Cement and Joint mortar to be verified with Owner prior to construction. Keep walls clean of mortar droppings and materials during construction. Provide continuous masonry joint reinforcement. Install reinforcement with a minimum cover of 5/8" on exterior side of walls, 1/2" on interior side. Reinforcement a minimum of 6 inches. Provide mortar mix: 1 part cement, 2 parts sand, 1 part water. Reinforcement a minimum of 6 inches. Provide mortar mix: 1 part cement, 2 parts sand, 1 part water.

**SHOP DRAWINGS:** The Contractor to submit shop drawings for all custom cut stone shapes to the Architect for review, prior to fabrication.

### 5.0 METALS:

This Contractor will provide all steel bars, columns, piers, slabs, etc. as called for on the building plans. The GC will also furnish labor to erect the main beams. The GC will review the structural drawings and report any discrepancy to the Architect prior to construction. All structural steel shall be factory primed to be galvanized. GC will be responsible for the removal of all steel from the building. Remove bracing & brace edges. Weld corners & seams continuously. Set metal fabrications accurately in location, with edges and surfaces level, plumb and true. Touch up surfaces after erection.

**STRUCTURAL STEEL:** Vary elevations of concrete and masonry bearing surfaces and locations of anchor rods, bearing plates, and other embedments. Provided with installation only after construction conditions have been completed. Field welds shall be as follows: All steel framing members shall be welded or joined together using AWS standard conditions which have been indicated on drawings. Welding shall be performed by the fabricator. Where reactions are indicated on the drawings, connections shall be proportioned to support at least 80% of the total allowable uniform load listed in the AISC Manual's Uniform Load Constraints for non-composite beams.

**WELDED CONNECTIONS:** Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams. Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams. Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams.

**RAILING & BALUSTERS:** Fabricate railings to comply with design, dimensions, and details indicated, (not less than that required for supporting structural loads per local Municipal codes and ordinances). Form curves by bending in legs to produce uniform curvature; maintain cross section of member throughout bend without cracking or otherwise deforming exposed surfaces. All railings shall be made of well-tempered handrails, unless otherwise noted.

**WELDED CONNECTIONS:** Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams. Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams. Welded connections shall be made in accordance with the provisions of the AISC Manual's Uniform Load Constraints for non-composite beams.

### 6.0 WOOD:

This Contractor will provide all labor and materials required to complete the carpentry work as shown on the building plans. All framing lumber will be per plan. All other framing lumber will be 1/2" thick S-P-F-42 or better. Exterior house walls will be 2 x 8 studs, 16" on center, and nailed with ring shank nails. Foundation walls will be 2 x 4 studs, 16" on center, half old foundation wall 2 x 4 studs, or as per plan. All additions will be 2 x 4 studs, 16" on center, half old foundation wall 2 x 4 studs, or as per plan. All additions will be 2 x 4 studs, 16" on center, half old foundation wall 2 x 4 studs, or as per plan.

**ROOFING:** All roof areas shall be finished with 1/2" thick rigid foam insulation. All roof areas shall be finished with 1/2" thick rigid foam insulation. All roof areas shall be finished with 1/2" thick rigid foam insulation. All roof areas shall be finished with 1/2" thick rigid foam insulation. All roof areas shall be finished with 1/2" thick rigid foam insulation.

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**CLOSETS:** All shelving in closets to be per plans. Ceiling and baseboards to match adjacent room.

**CABINETRY:** Cabinetry to be provided by Contractor with cabinet of cabinetry indicated on architectural plan. Installation will be by the Finish Carpenter. All cabinets and shelves will be set up and adjusted at completion by Installation Contractor.

**COUNTERS:** Counters to be as per plan. If specified in the plans, the following conditions apply:

- Solid surface counters: Provide solid surface counters fabricated in one piece with integral backsplash, unless otherwise noted.
- For stone counters, see section 6.0 FINISHES.

**STAIRS:** Steps, navel posts, and railings at porches and stoops to be per plans. All samples to be submitted to the Owner for approval prior to fabrication and construction. For Metal Components refer to section 6.0 METALS.

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**Asphalt roofing** shall be base flashing shall be as per plans. Ceiling and baseboards to match adjacent room.

**CABINETRY:** Cabinetry to be provided by Contractor with cabinet of cabinetry indicated on architectural plan. Installation will be by the Finish Carpenter. All cabinets and shelves will be set up and adjusted at completion by Installation Contractor.

**COUNTERS:** Counters to be as per plan. If specified in the plans, the following conditions apply:

- Solid surface counters: Provide solid surface counters fabricated in one piece with integral backsplash, unless otherwise noted.
- For stone counters, see section 6.0 FINISHES.

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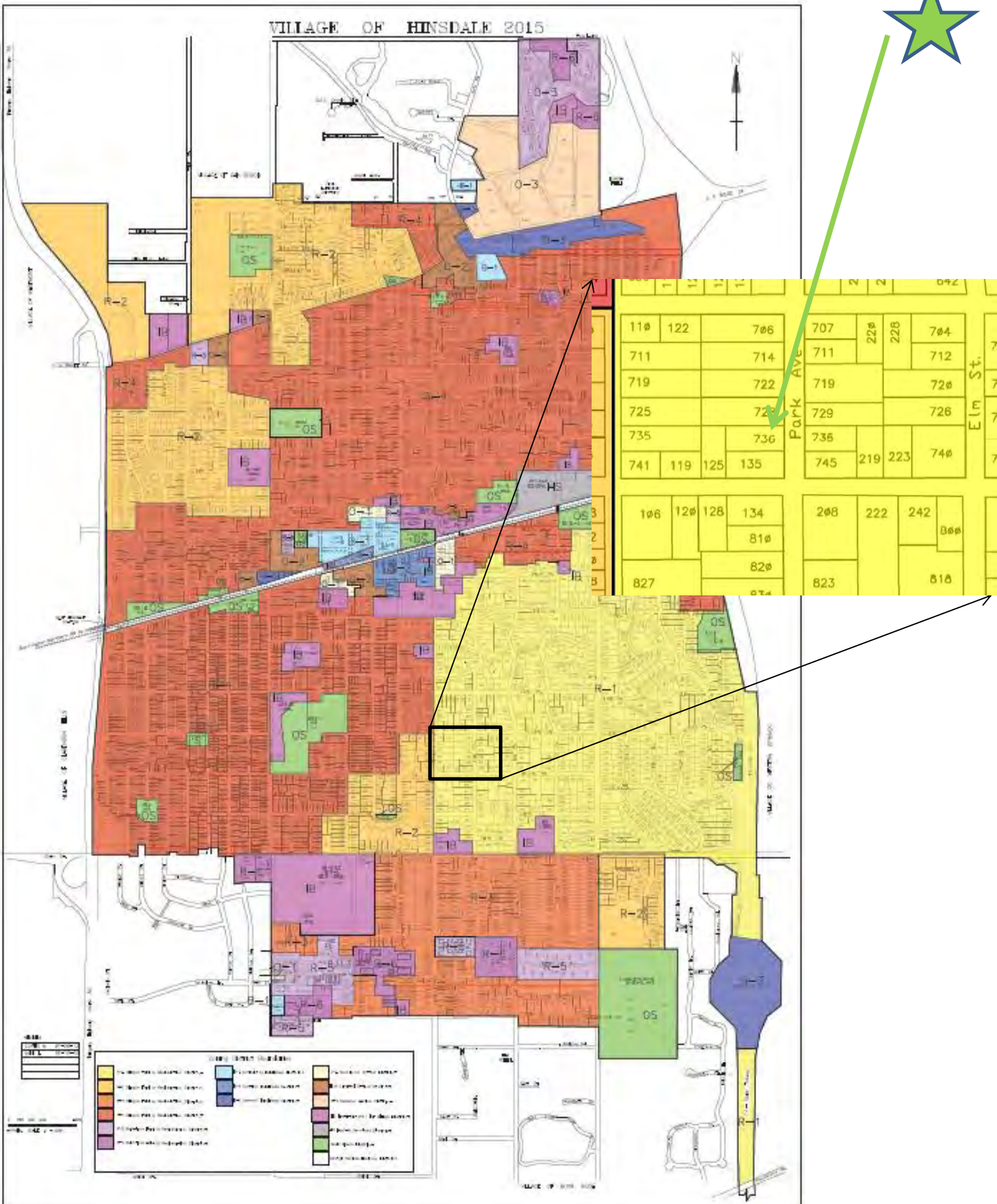
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## Attachment 2: Village of Hinsdale Zoning Map and Project Location

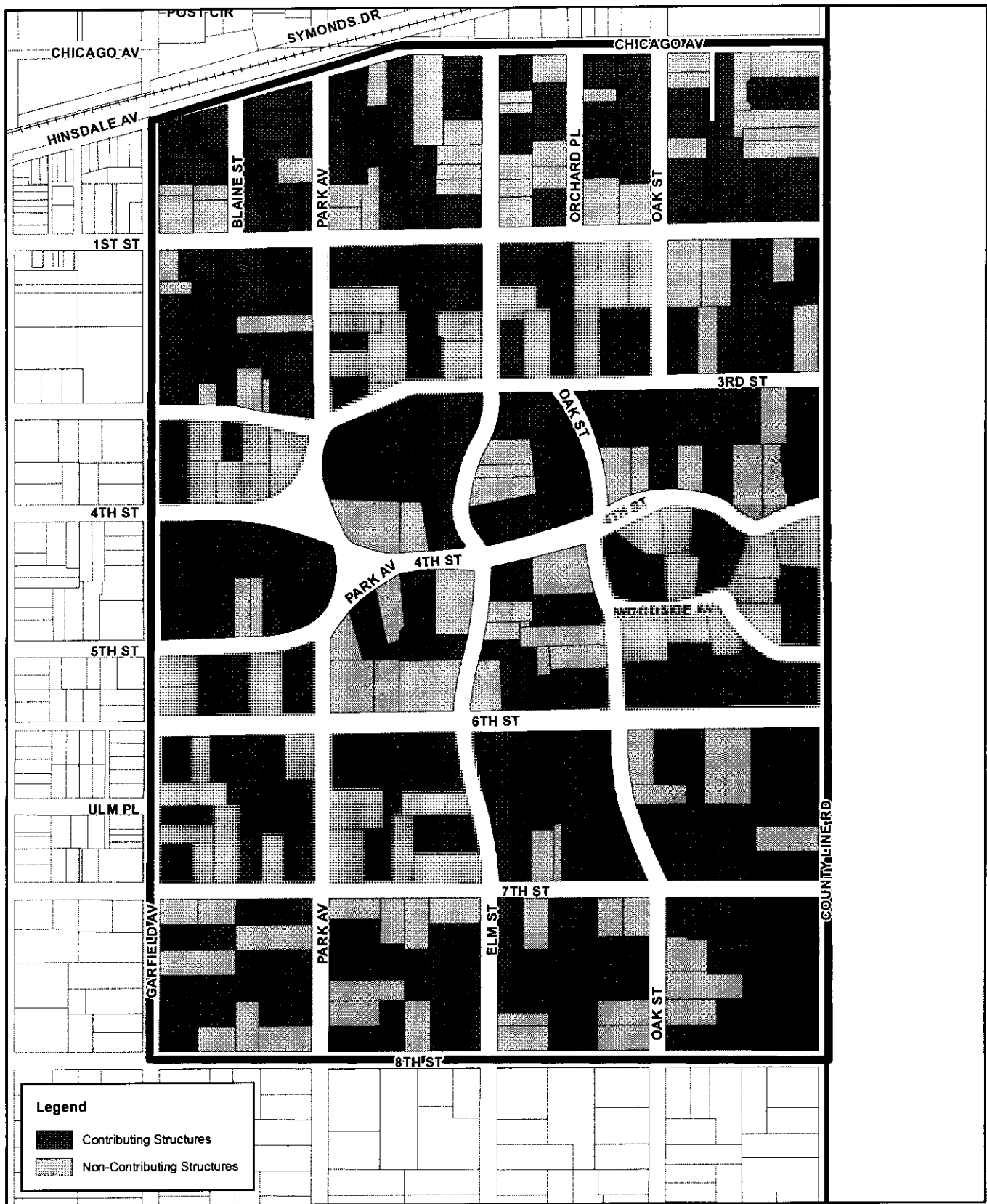




Attachment 3: Parcel View of 736 S. Park Ave.



# ROBBINS PARK HISTORIC DISTRICT



0 250 500 1,000 Feet



## Attachment 5

## CERTIFICATE OF APPROPRIATENESS

### 14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

#### **A. General Standards:**

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.



11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## **B. Design Standards:**

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.