



# SPECIAL MEETING OF THE HISTORIC PRESERVATION COMMISSION Wednesday, July 11, 2018 6:30 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PUBLIC COMMENT
- **4. MINUTES** Review and approval of the minutes from the June 6, 2018, meeting.

## 5. SIGNAGE IN THE HISTORIC DOWNTOWN DISTRICT

- a) Case A-31-2018 28 E. Hinsdale Ave. Suite 1 Hinsdale Music Studio 1 Projecting Sign
- **b)** Case A-32-2018 22 W. First Street John Green Realty Illumination Request for 1 previously approved Wall Sign (sign approved on April 11, 2018 Case A-17-2018)

# 6. PUBLIC HEARINGS - CERTIFICATE OF APPROPRIATENESS

a) Case HPC-05-2018 – 441 E. 3<sup>rd</sup> Street - Request for Certificate of Appropriateness to revise \*previously approved plans to construct a new home in the Robbins Park Historic District. \*(08.09.17/HPC-04-2017 and 02.07.18/HPC-01-2018)

#### 7. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or by TDD at 789-7022 promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

# MINUTES VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

June 6, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale 6:30 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on June 6, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger,

and Commissioner Williams

Absent: Commissioner D'Arco, Commissioner Gonzalez, and Commissioner

Haarlow

Also Present: Chan Yu, Village Planner and Matt Stockmal, HPC Intern

Applicant for cases: A-23-2018, A-25-2018, HPC-03-2018, HPC-04-2018

## Minutes

Chairman Bohnen introduced the minutes from the May 2, 2018, regular and special meetings and asked for any comments. With no comments, the HPC **unanimously approved**, **4-0** (3 absent) the minutes from the May 2, 2018, meetings.

# <u>Signage in the Historic Downtown District</u> Case A-23-2018 – 18 W. Hinsdale Ave. – Adore Nails – 1 Illuminated Wall Sign

The owner of Adore Nails introduced herself and presented the request to install a new illuminated wall sign at 18 W. Hinsdale Avenue. Chan mentioned to the HPC that the sign contractor stated they are unable to attend the meeting, and that he would assist with any questions regarding the sign.

Commissioner Weinberger asked if the band on the illustration is behind the channel letters. Chan replied yes, to hold up the letters.

Chairman Bohnen asked if only the letters will be the illuminated. Chan replied yes.

Commissioner Williams stated that the downtown is a national registered historic district and this particular sign is not appropriate.

Commissioner Prisby stated he doesn't mind the sign, however, has an issue with the illumination. Commissioner Prisby asked Chan who the sign contractor is. Chan replied Neon Art.

Commissioner Prisby asked if they have submitted to the HPC in the past. Chan replied no.

Chairman Bohnen asked if it is known that the HPC not prefer illumination when they come in for application. It appears to be an issue every time the HPC reviews signage.

Chan responded it is part of due process, the Village allows applicants to request for illumination per the Code.

Commissioner Prisby stated staff should let the applicant know the Board doesn't approve illumination, and the applicant just wasted 30 days; where had they have known, they should consider it as part of the application.

Chan responded he reflects the HPC's comments to the Plan Commission (PC).

Commissioner Prisby stated that he is wondering for the applicant because they may feel blindsided here.

Chairman Bohnen added that illumination might not even be important to the client.

Chan responded he understands, however, the PC approved the illumination, for example, last month. Chairman Bohnen asked which one was that. Chan stated for Salon Lofts.

Commissioner Williams stated perhaps the HPC should look more into the different methods of illumination.

Chairman Bohnen asked if the HPC recommendation to turn off the signage after business hours was upheld by the PC. Chan responded it was upheld. It was made clear, the HPC is not supportive for internally illuminated signage.

The motion to recommend **denial** of the sign application, as submitted, was **unanimously approved**, **4-0** (3 absent)

# Signage in the Historic Downtown District

Case A-25-2018 – 52 S. Washington St. – Vintage Charm – 1 non-Illuminated Wall Sign

The owner of Vintage Charm presented the request to reface an existing wall sign at the former location of Green Goddess at 52 S. Washington Street.

Commissioner Prisby asked if he purchased the building.

The applicant responded no, the Green Goddess folks own the building.

Commissioner Prisby stated he believes the sign should be centered on the building, per a previously approved Certificate of Appropriateness for Green Goddess. To that end, he believes the sign would look better in the center of the building, being all symmetrical.

The applicant stated he is open to the center of the building to comply with the previous approval or as submitted.

Chairman Bohnen agreed with Commissioner Prisby, and asked Chan if Green Goddess ever moved the sign per the previously approved plan.

Chan replied he believes no, because Green Goddess was not open long enough for them to change the sign.

The applicant added that they never re-opened after the auto incident which caused the necessary front façade repair.

A motion to recommend approval of the sign application, with the condition to move the sign south per the previously approved plan, was unanimously approved, 4-0 (3 absent).

# **Public Hearing**

Case HPC-04-2018 – 311 S. Oak Street - Request for Certificate of Appropriateness to demolish the existing home to construct a new home in the Robbins Park Historic District.

Ms. Carrie Kenna, representing Kenna Builders, presented to the HPC, and reviewed the request to demolish the home at 311 S. Oak Street to construct a new home.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-04-2018

The HPC in general, believes the builder is missing an opportunity to build something better on the special corner of Oak Street and Third Street. To that end, the HPC, recommended denial of the application, as submitted, unanimously, 4-0 (3 absent)

# **Public Hearing**

Case HPC-03-2018 – 14 Orchard Place - Request for Certificate of Appropriateness to demolish the existing home in the Robbins Park Historic District.

Mr. Bob Schultz, representing as the applicant's realtor, answered questions by the HPC.

Please refer to Attachment 2, for the transcript for Public Hearing Case HPC-03-2018

Commissioner Prisby made a motion to approve the certificate of appropriateness to demolish the home simply because unfortunately, the house is not worth saving any longer. The HPC, approved the motion unanimously, 4-0 (3 absent)

# Discussion - Memorial Hall 90th Anniversary Celebration on July 4, 2018

On June 6, 2018, Mr. Thomas Lynch, the representative of the American Legion Post 250, discussed at the HPC meeting of celebrating the 90<sup>th</sup> anniversary of Memorial Hall with the HPC. The initial plan was to host the celebration during the Village's Fourth of July parade. At the HPC meeting, Mr. Lynch also reviewed the importance of celebrating "The Victory of Hinsdale" statue located inside Memorial Hall, and its spiritual dedication for the veterans (Attachment 3).

Due to the relatively short time to prepare for the event on July 4<sup>th</sup>, and the event potentially being overshadowed by the parade, Mr. Lynch proposed to celebrate the Memorial Hall anniversary, the Victory Statue and the Legion's 100<sup>th</sup> anniversary on Veterans Day, Sunday, November 11, 2018. The HPC agreed to serve as the Village liaison and assist the American Legion for its celebration and educational efforts.

# **Adjournment**

The HPC unanimously agreed to adjourn at 8:11 PM on June 6, 2018.

Respectfully Submitted,

Chan Yu, Village Planner

STATE OF ILLINOIS	) ss:
COUNTY OF DU PAGE	)
BEFORE T	THE VILLAGE OF HINSDALE
HISTORIC	PRESERVATION COMMISSION

In the Matter of:

Case No. HPC-04-2018
311 South Oak Street.

REPORT OF PROCEEDINGS had and testimony taken at the Certificate of Appropriateness

Public Hearing of the above-entitled matter

before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale,

Illinois, on the 6th day of June 2018, at the hour of 6:30 p.m.

#### BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MS. SHANNON WEINBERGER, Member; and

MR. JIM PRISBY, Member.

	2		4
1	ALSO PRESENT:	1	other matters. You are starting to understand
2	MR. CHAN YU, Village Planner;	2	the bailiwick that we exist in and we can talk
_	That Sinut 15, Vinage Hamler,	3	about the significance of the existing house and
3	MR. MATT STOCKMAL, HPC Intern;	4	our attitudes about demolishing it, but
		5	ultimately, you are going to go forward and
4	MS. CARRIE KENNA, Applicant.	6	demolish the house. And so in the interest of
5		7	streamlining things, which is in everybody's
		8	interest, ours as well as the applicants, I'm
6	(WHEREUPON, the oath was	9	not opposed to moving into the discussion about
7	administered en masse.)	07:04:00PM 10	the house also. Why drag it on.
8	CHAIRMAN BOHNEN: Public Hearing	11	Again, we are advisory on things
9 07:01:04PM 10	HPC-04-2018 for 311 South Oak Street, request for Certificate of Appropriateness to demolish	12	like that. So if you as commissioners want to
07:01:04PM 10 11	the existing home and construct a new home in	13	weigh in on the prospect of the demolition
12	the Robbins Park Historic District.	14	first, I'd be happy to listen to that and any
13	MS. KENNA: Hello. I'm Carrie Kenna	15	comments that you might have and we will see
14	with Kenna Builders and we are the general	16	where that leads and then if you are of align,
15	contractor for the project at 311 South Oak	17	we can go into the next phase which is the
16 17	Street, so we are here to ask for a certificate of appropriateness. We are going to do a	18	·
18	demolition at 311 South Oak and construction of	19	design of the house that's been proposed.
19	a new residence.		MS. WEINBERGER: It's kind of hard to
07:02:00PM <b>20</b>	CHAIRMAN BOHNEN: Okay. We all have	07:04:34PM <b>20</b>	have a discussion not going into the Murco.
21	materials about this and looked at the plans.	21	CHAIRMAN BOHNEN: It's a chicken and an
22	Jim, would you like to start out	22	egg. I agree. Maybe by background we will talk
			_
_	3	4	5
1	and talk a little bit about your thoughts?	1	a little bit about this if we may.
2	and talk a little bit about your thoughts?  MR. PRISBY: Where do we want to start?	2	a little bit about this if we may.  In a perfect world, these issues
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6 8 be able to talk people out of demolition, far as I'm concerned, you can put it all back 1 because I think that's probably wishful thinking 2 in. It's a contributing building to a national 2 on our parts, but it seems to us that registered district and it will never get my desiccating an existing house that has 4 vote of approval. architectural elements and features that are 5 MS. WEINBERGER: I a hundred percent agree. I walked through the house and it's a worthy of our consideration are being stripped 6 6 fine house. Missing a lot of parts now but it 7 out of the houses before we even have an 7 opportunity to talk about the houses and their 8 is a fine house and on a fine lot. I wouldn't 8 eventual fate, okay? Would that accurately 9 approve a demolition. 9 07:06:48PM 10 state our position? 07:08:58PM 10 MR. PRISBY: I haven't been through in 11 So I don't know where we go on 11 15 years. Didn't get a chance to get through this week due to some conflicts, but I remember 12 this. I think it's a policy thing that the village has got to take up. We are prepared to it being a nice home back then and the Mays, I'm 13 13 14 talk to the village about it and as a part of 14 sure, took care of it. I know they had some our ongoing meetings that we are having in the roof issues way back when and I don't know if 15 15 review and rewriting of the preservation those were addressed but there were some nice 16 16 things in the house. 17 ordinance. But at this juncture, the ordinance 17 is what it is. People seem to be anxious to CHAIRMAN BOHNEN: It's rather an iconic 18 18 19 jump in and start stripping elements out of the 19 corner and has an interesting grade to the lot 07:07:14PM **20** houses and we are left in having to react in the 07:09:24PM **20** and the house that's there seems to fit very 21 wake of this and so I don't know what else we 21 well and has always been a pleasing view for me can do at this juncture. 22 22 during my time in the village. MS. WILLIAMS: And it can be considered 1 So if that satisfies your attitude 1 at the moment, that's all I think I can give landmarked and it is a noteworthy site within 3 vou. the village of Hinsdale. Cleveland, the 4 MR. PRISBY: I think it's nice to have landscape architect who developed that whole area of the village, went out of his way to 5 that on the record as we push forward with the changes we would like to see in the future. highlight a lot of properties in that area, so 6 6 7 CHAIRMAN BOHNEN: So with that in mind, 7 it's a shame it's coming down. I think we are charged with talking about the 8 CHAIRMAN BOHNEN: Do you have any 8 demolition of the house at 311 and also the 9 further comments? 9 07:07:50PM 10 house at the next hearing to come forth on 07:10:12PM 10 MR. PRISBY: On the demo, no. 11 Orchard Place, but I think in terms of 11 CHAIRMAN BOHNEN: I guess what we will expediting things, knowing that we are not going do is have a vote on the certificate of 13 to stop the demolition, it seems to me that if 13 appropriateness to demolish the existing home, you have the patience and the interest, that we and then if you have the appetite to go further 14 14 should move right through the demolition hearing 15 we can or we can go to a further meeting, but 15 and then move through to the design. I'll speak to that after we have this vote. 16 16 17 May I have your comments? 17 Can I have a motion, please, about the demolition of the home at 311 South Oak 18 MR. PRISBY: Motion to approve the 18 Street? 19 demo. 19 07:08:26PM **20** MS. WILLIAMS: I couldn't possibly vote 07:10:40PM **20** MS. WEINBERGER: I move to deny the for demolition and I realize it's been stripped, certificate of appropriateness to demolish the 21 I was in the house and I know what's there. As home at 311 South Oak Street. 22

	10		12
1	CHAIRMAN BOHNEN: May I have a second,	1	difficult setbacks on the west side. Did they
2	please?	2	ever find did Robb do any research on the
3	MS. WILLIAMS: Second.	3	drainage system that might be under this lot
4	CHAIRMAN BOHNEN: All in favor?	4	that public works brought up?
5	(All aye.)	5	MR. YU: I do not know.
6	The vote is to vote against the	6	MR. PRISBY: I believe there's a
7	demolition of the house and the certificate of	7	42-inch round brick sewer line that goes through
8	appropriateness for 311 South Oak Street.	8	this site that nobody really knows where it
9	Now, moving through this, prior	9	goes. So that's something that you might
07:11:08PM <b>10</b>	hearing with you, Ms. Kenna on Third Street, it	07:13:20PM <b>10</b>	discover at some point that drops down to Fourth
11	was your first appearance before our commission	11	Street.
12	on matters of design and there seemed to be an	12	I have known Rich Olson for a long
13	attitude or a misunderstanding that you could	13	time; I like his work. I think he's a very
14	appear before us and that even though you had	14	talented architect so I wanted to start with
15	not finalized plans in terms of the exterior	15	that because I do think Rich is a good
16	components and things like that, that you could	16	architect; he's a good choice.
17	get a resulting vote from this commission and we	17	I do not like this plan at all and
18	are not in that business frankly.	18	I'll tell you why. I think the real beauty of
19	We are here to approve what you are	19	this site is that northwest corner. As you
07:11:42PM <b>20</b>	going to build and so I guess the first question	07:13:48PM <b>20</b>	travel north on Oak Street or as you travel east
21	I would have for you would be the materials that	21	on Third Street, just the shape of the lot and
22	you put forth in the meeting proposed to us for	22	the slope of the property that particular corner
	11		13
	11		13
1	311, are those firm or are those design	1	is screaming for an architectural piece of
1 2		1 2	
	311, are those firm or are those design		is screaming for an architectural piece of
2	311, are those firm or are those design MS. KENNA: We have made that decision	2 3	is screaming for an architectural piece of significance. And what we got instead is a
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2 3 4 5 6 7 8 9 07:12:12PM 10 11 12 13 14 15 16 17 18 19 07:12:48PM 20	MS. KENNA: We have made that decision and I have the other ones for you.  CHAIRMAN BOHNEN: So we are able to look at that and comment on it. And is there any commissioner that has a problem with moving through this?  MS. WILLIAMS: No.  CHAIRMAN BOHNEN: So if I could have your comments, please, on the home that's being proposed to be built at 311 South Oak Street for the DeLaMcler family.  MR. PRISBY: Okay. Can I start?  Great. Reviewed the house, know the property. Full disclosure, I was working with the Mays 15 years ago to build a house for this site. Scott Mays decided to halt on the eleventh hour, which is fine. It was before the market crashed so they didn't sink a lot of money into it, but I'm very familiar with this site itself.	2 3 4 5 6 7 8 9 07:1428PM 10 11 12 13 14 15 16 17 18 19 07:14:56PM 20	is screaming for an architectural piece of significance. And what we got instead is a garage. And I understand the slope of the property is a huge issue and I personally went round and round with that myself back in the day, right, but right now what I'm seeing on the grading plan is if I travel north where this property juts out and you just get past Fourth Street, I am now going to look at a series of what looks like retaining wall or a severe drop-off of six or seven feet up to a driveway that plateaus with a garage straight in front of me.  As I'm traveling eastbound, I am now going to see garage doors instead of the red brick house or something that from an architectural standpoint and I know we are just advisory on this, I would much prefer something that I know Rich he's done plenty of these, right, whether it's a tower or something
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	14		16
1	garage.	1	layman's opinion.
2	So I have a real problem with that	2	MR. PRISBY: If I didn't have the site
3	aspect of the design. That may have been owner-	3	to consider, just looking at the elevations,
4	driven, I don't know. But I was very	4	standard nice work for Rich, all right, no
5	disappointed to see that aspect of this plan. I	5	issues with that. It's just the site to me is
6	would prefer to have seen something on the east	6	just that special.
7	side, something maybe basement level, something	7	CHAIRMAN BOHNEN: So our world is
8	plateaued over there on that side to bring in a	8	streetscape. And that's how we have the
9	side-load garage and then slide the house over	9	opportunity to opine on things like this. And
07:15:30PM 10	so that as I'm driving north on Fourth Street,	07:17:32PM 10	our opinion appears to be that this particular
11	wow. That could have been spectacular,	11	design does nothing to enhance the streetscape,
12	especially with the drop-off and chance for a	12	perhaps even detracts from it. So when we have
13	walk-out basement. I mean, that could have been	13	a motion, it will be an advisory vote and people
14	absolutely stunning, and I feel like we are	14	will do what they do but I think you understand
15	missing an opportunity to really enhance that	15	where we are coming from.
16	area on what I think is a special corner in that	16	So to finish the public hearing on
17	part of town. That's just me.	17	this, if I could have a motion to vote against
18	MS. WILLIAMS: I agree. I think it is	18	the design that's being proposed for 311, that
19	a very special corner and I don't think this	19	would be fine?
07:15:56PM <b>20</b>	does it justice.	07:18:06PM <b>20</b>	MR. PRISBY: I motion to deny approval.
21	CHAIRMAN BOHNEN: I think they are	21	CHAIRMAN BOHNEN: Second, please?
22	missing an opportunity, frankly, not only for	22	MS. WILLIAMS: Second.
	15		17
			11
1	themselves but for the citizens of the village.	1	CHAIRMAN BOHNEN: Vote, please?
1 2		1 2	
	themselves but for the citizens of the village.		CHAIRMAN BOHNEN: Vote, please?
2	themselves but for the citizens of the village. It's a custom home, they can build what they	2	CHAIRMAN BOHNEN: Vote, please? MS. WILLIAMS: Aye.
2	themselves but for the citizens of the village.  It's a custom home, they can build what they wish.	2	CHAIRMAN BOHNEN: Vote, please? MS. WILLIAMS: Aye. MS. WEINBERGER: Aye.
2 3 4	themselves but for the citizens of the village.  It's a custom home, they can build what they wish.  MS. WILLIAMS: I a hundred percent	2 3 4	CHAIRMAN BOHNEN: Vote, please? MS. WILLIAMS: Aye. MS. WEINBERGER: Aye. CHAIRMAN BOHNEN: Aye.
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18
1
   that, Chan, since we do write our own findings.
2
           MR. YU: Yes.
3
          CHAIRMAN BOHNEN: Thank you.
4
                (WHICH, were all of the
5
                proceedings had, evidence
6
                offered or received in the
                above entitled cause.)
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                                          19
1 STATE OF ILLINOIS )
                ) ss:
2 COUNTY OF DU PAGE )
3
             I, KATHLEEN W. BONO, Certified
4 Shorthand Reporter, Notary Public in and for the
5 County DuPage, State of Illinois, do hereby
6 certify that previous to the commencement of the
7 examination and testimony of the various
8 witnesses herein, they were duly sworn by me to
9 testify the truth in relation to the matters
10 pertaining hereto; that the testimony given by
11
    said witnesses was reduced to writing by means
12 of shorthand and thereafter transcribed into
   typewritten form; and that the foregoing is a
13
   true, correct and complete transcript of my
14
15 shorthand notes so taken aforesaid.
             IN TESTIMONY WHEREOF I have
16
17
    hereunto set my hand and affixed my notarial
   seal this 27th day of June, A.D. 2018.
18
19
20
                   KATHLEEN W. BONO,
21
                   C.S.R. No. 84-1423
22
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worthy [1] - 6:6 wow [1] - 14:11 write [1] - 18:1 writing [1] - 19:11

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years [2] - 8:11, 11:16 YU [3] - 2:2, 12:5, 18:2

STATE OF ILLINOIS	`.	ss:		
COUNTY OF DU PAGE		55.		
BEFORE 1	CHE	VILLAGE	OF	HINSDALE
HISTORIC	PRE	SERVATIO	ΝС	OMMISSION

REPORT OF PROCEEDINGS had and testimony taken at the Certificate of Appropriateness

Public Hearing of the above-entitled matter

before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale,

Illinois, on the 6th day of June 2018, at the hour of 6:30 p.m.

#### BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MS. SHANNON WEINBERGER, Member; and

MR. JIM PRISBY, Member.

	2		4
1	ALSO PRESENT:	1	Corwin and Frank Lloyd Wright and he always
2	MD CHAN VII Village Dianner	2	felt, not proved, doesn't mean anything, Cecil
	MR. CHAN YU, Village Planner;	3	Corwin was the architect of the building and
3	MR. MATT STOCKMAL, HPC Intern;	4	Frank Lloyd Wright, who were friends, designed
		5	the porch and he was trying to pursue that. He
4	MR. BOB SCHULTZ, Applicant's	6	has since passed away so that's where the
_	representative.	7	research ended up.
5		8	It was a very interesting building
6 7	CHAIRMAN BOHNEN: Next is case	9	and back in the day when he was still with us he
8	HPC-03-2018, 14 Orchard Place request for a	07:22:48PM 10	gave me a list of things to look for in Cecil
9	Certificate of Appropriateness to demolish the	11	Corwin's house. There wasn't one thing left
07:20:40PM <b>10</b>	existing home in Robbins Park Historic District.	12	that we could have saved.
11	MR. SCHULTZ: Bob Schultz representing	13	And I would love to see, not this
12	the owner of the property.	14	means anything after the fact, but just in the
13	CHAIRMAN BOHNEN: You represent the	15	record at the historical society in the home, I
14 15	owners of the property?  MR. SCHULTZ: Yes.	16	would love to have had photos of those stained
16	CHAIRMAN BOHNEN: In what capacity,	17	glass windows, of the leaded windows, some of
17	Bob?	18	
18	MR. SCHULTZ: As their realtor.		the doors and they were all gone.
19	CHAIRMAN BOHNEN: Realtor?	19	MR SCHULTZ: I'd be happy to
20	MR. SCHULTZ: Yes.	07:23:18PM <b>20</b>	communicate that to the previous owner and see
21	CHAIRMAN BOHNEN: Okay. Speak to us.	21	if he has those photos. I'll be happy to ask
22	MR. SCHULTZ: I'll be happy to answer	22	him.
	_		
	3		5
1	any questions you have.	1	MS. WILLIAMS: The historical society
2	any questions you have.  CHAIRMAN BOHNEN: Well, there's a	2	MS. WILLIAMS: The historical society would like photos. It would be delightful to
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6 8 1 MR SCHULTZ: I understand. When I went 1 the post office and sign for it. So it's in the house I saw the ground floor or the main 2 actually a little bit of a burden, you know, once 2 floor and it was not any kind of livable you do that. If there's a way to streamline condition so there was never really any that, I think it would make everything work in a 4 5 question. He didn't want anyone going in the 5 better light. house and we respect his will. 6 6 CHAIRMAN BOHNEN: I agree. I do. 7 MS. WILLIAMS: And I definitely agree 7 Again, we had no knowledge that this was that the home was allowed to deteriorate to the 8 happening on this particular house or maybe if 8 point that it was not livable. Nonetheless the we had some prior knowledge ourselves, we could 9 9 photos would be wonderful. 07:27:04PM 10 have gotten through there or the historical 07:24:52PM 10 11 MR SCHULTZ: I can't imagine him not 11 society, take some pictures. There's definitely having some kind of photos. The windows were --12 a need for better coordination and to save the I did see those and was kind of bummed when they time of the citizens and the monies involved. 13 14 were gone. 14 We agree with that completely. We are not here 15 CHAIRMAN BOHNEN: Any further comment? 15 to be an obstacle, we have a job to do. MS. WILLIAMS: It's education. There's MR SCHULTZ: I think there's got to be 16 16 17 a lot we need to do, talk about with the 17 just a better method to do it. website, make the website better, offer CHAIRMAN BOHNEN: Right now we are 18 18 19 resources way before we get to this point. It's 19 working with a consultant the village has hired 07:25:26PM **20** unfortunate. to try and coordinate these different processes 07:27:28PM **20** 21 MR SCHULTZ: I think if there was a 21 better to make it expeditious for everybody 22 proactive way from the buyer and seller they 22 involved, ourselves included. 9 look at the process they have to go through as 1 MR SCHULTZ: Because otherwise you are the person purchasing the home, they -- there's talking about something that's going to already a carrying cost whether they take 20 feet off of happen and you have no say. it and add to their house or whatever they are 4 CHAIRMAN BOHNEN: I don't disagree with 4 going to do and they are calculating how long 5 you. Okay. 5 it's going to take to go through your committee 6 So having heard that, do we have a that adds 8 or 10,000 a month that affects the 7 motion for the appropriateness for the 7 8 demolition? ultimate property value. 8 9 9 Like in this case, we have to send MR. PRISBY: Can I add one other thing? 07:26:02PM 10 out notification through certified mail. I 07:27:54PM 10 CHAIRMAN BOHNEN: Yes. 11 think that costs \$260 or \$280 to every resident. 11 MR. PRISBY: Do you want to save that In two more weeks we are going to have to do for -- because it really doesn't apply -- I'd 12 13 that again and send out another certified mail 13 kind of like Bob to hear what I have to say. and then have a 30-day waiting period for the 14 CHAIRMAN BOHNEN: Sure. 14 demo permit to be issued. You would think once 15 15 MR. PRISBY: I don't know if you want we had one public hearing we wouldn't have to do to hang around until the end. We are going to 16 16 17 that again because everyone has been notified, 17 have some discussion at the end. 18 knows what's going to happen. 18 MR SCHULTZ: Say it now. 19 Quite frankly, my block we have had 19 CHAIRMAN BOHNEN: I'll leave that up to

you. It gets a side from the demolition.

group's responsibility at this point, just

MR. PRISBY: It really isn't this

20

21

22

21

22

07:26:32PM **20** 

quite a few constructions and both my wife and I

work and we are not real excited about getting

certified mail because one of us has to get to

10 12

- thinking long-term, all right, so we talked 1
- about this a little bit at the house, that they 2
- have every right within the zoning to subdivide
- part of that property and sell it to the house
- to the south and increase the size of that
- property, which if I'm in their shoes, I'd do 6
- the same thing. They could take that lot that's 7
- now 130 by 130. 8
- 9 MR. SCHULTZ: 130 by 130. And now it
- will end up being somewhere between 178 feet, 07:28:48PM 10
  - 11 somewhere in there, and the neighbor just didn't
  - 12 want a huge house right next to his and he
  - wanted to lessen the impact and that helps the 13
  - 14 whole neighborhood really.
  - 15 MR. PRISBY: If I'm developing, if I'm
  - an owner of that area, R-4 district, absolutely, 16
  - subdivide it, make that the smallest lot you can 17
  - that conforms to zoning, which that would, and 18
  - 19 add that to my property.
- 07:29:18PM **20** My concern I guess is more
  - 21 philosophical long term. That house to the
  - 22 south right now is in terrific shape. It looks
    - 11
    - great from the street but for them right now --
    - and I think it's larger than what the floor area
  - ratio would allow someone else to come in and
  - tear that house down and build new, right? 4
  - 5 MR. SCHULTZ: It's a pretty big lot.
  - 6 MR. PRISBY: Some of those houses that
  - are in such great shape and it has been well-7
  - maintained and it's as big as you can get on 8
  - that lot, that you look at it and go yes, that's 9
- 07:29:54PM 10 not really a viable house for a teardown. It
  - 11 looks fine the way it is.
  - 12 Now, when somebody comes back and
  - 13 adds 60 feet let's say, just picking a number,
  - 30 to 60 feet to the property, and I look at 14
  - that house and I say, okay, well, it's on the 15
  - side where the garage is now so if someone wants 16
  - 17 to go to add onto that house, they have to redo
  - 18 the garage, they have to change their approach
  - location, maybe there's a tree in the way,
- 07:30:24PM **20** suddenly now I have a nice, old charming house
  - on a lot that has much more available floor area 21
  - 22 ratio that then might become more viable as a

- teardown than it would today. Again, they have
- 2 every right to do that.
- MR. SCHULTZ: On that case I remember 3
- the house I was involved actually in the
- 5 financing portion of the house, I think it's the
- -- I forgot the previous owners' name and that
- house was on the market for years if I do
- recall, and they found that special owner, which
- I'm looking for on First Street right now, and
- they love the house and it fits their needs, 07:31:00PM 10
  - they love old houses, and it just depends on
  - 12 what cycle we will be in at that time.
  - MR. PRISBY: To me I think it's more of 13
  - 14 an issue that can come up in 20 years. It's not
  - something for today. 15

16

- MR. SCHULTZ: The new owners aren't
- 17 looking to add anymore. Their current house is
- not centered on the property. I believe there 18
- 19 was a sewer line running through on the south
- 07:31:26PM **20** side. I remember hearing some stories about how
  - 21 it runs diagonally across their property but
  - when they did that add on years ago, they 22
    - 13
  - couldn't go to the south, they went behind and I
  - don't know why. But now the driveway runs right
  - along the north edge. It's kind of falling off
  - and it's a very difficult driveway to back out
  - of and there's no turnaround. So their ultimate
  - goal they would like to move the driveway a
  - 7 little bit away from their house and have some
  - grass there. They have no plans to remove --8

  - 9 MR. PRISBY: Even if they did, we don't
- 07:32:06PM 10 have a problem with that, meets the zoning code.
  - I'd love to see them add 60 feet to that 11
  - property and add onto that house. 12
  - 13 MR. SCHULTZ: Keeping that house with a
  - bigger piece of land actually, a smaller house 14
  - next to it will set it out so that it actually 15
  - stands out even more. 16
  - 17 MR. PRISBY: I'm more concerned about
  - 18 when they are done, whether it's 5, 10, 20 years
  - from now and they go to sell, the person that's
- 07:32:28PM **20** going to come to buy that is going to go nice
  - 21
  - big lot, southeast Hinsdale. I think that might
  - also be R-4. Sign me up. I can build a huge

14 16 donation you are giving it to Illinois and that 1 house on that property. 1 2 CHAIRMAN BOHNEN: It would be signing a 2 could make a difference of selling that home. CHAIRMAN BOHNEN: I agree. These are 3 future death warrant for that house. 3 4 MR. PRISBY: That is a good way of the kinds of things that we have -putting it. And it's not something that you 5 MR. SCHULTZ: But I called ten need to be concerned about. You are already appraisers in the last two weeks trying to find 6 6 out if anyone would step up and do this and concerned about. It is something that this 7 board and this community should be concerned that's the big issue and that's what the people 8 about. I talked to at Illinois told me. 9 07:32:52PM 10 I'm not even saying it's a bad 07:34:50PM 10 CHAIRMAN BOHNEN: Is this Landmarks 11 thing to subdivide. I just said I would do the 11 Illinois you are talking about? same thing. I think the owners are doing a 12 12 MR. SCHULTZ: Yes. A real pleasant great thing. I just get concerned with the woman. And it's something at least our thought 13 was we could close on 244 we could certainly try 14 house long-term when we increase the size of 14 that particular property. That's all. There's to use something like that and let them because 15 15 no solution to that that I'm aware of at the they would come back, landmark it. 16 16 moment. CHAIRMAN BOHNEN: Well, one of our 17 17 18 MR. SCHULTZ: I just hope the market charges is to explore this stuff farther so we 18 19 changes. I don't know that it will. Everyone 19 can get some good definition to people because 07:33:14PM **20** wants new houses. I'm amazed the house on the 07:35:22PM **20** this might -- it's through the side door on tax 21 corner there on Orchard, they are beautiful 21 relief that we might be able to further 22 homes, and they are selling at unbelievable 22 preservation and we realize that. 17 prices, you know, so who knows. I don't foresee 1 MR. SCHULTZ: And the big thing is like it changing. I said that if you ever talk to an appraiser, 3 CHAIRMAN BOHNEN: We are hoping that ask them about that because they actually will the new tax law, Bob, that caps the real estate have a comparable if that house ever sells, we 4 tax rate will encourage people to renovate their will know what he paid for it and now what it's 5 homes and take advantage of the tax freezes and 6 worth, how much less it's worth. that could be the single driving feature that 7 CHAIRMAN BOHNEN: Right. 7 promotes preservation going forward. 8 MR. SCHULTZ: And that will be --8 9 MR. SCHULTZ: I had an interesting 9 CHAIRMAN BOHNEN: A donation. 07:33:44PM 10 conversation with the Illinois Landmark --07:35:52PM **10** MR. SCHULTZ: Well, could be. 11 excuse me. I don't want to misspeak. It was 11 CHAIRMAN BOHNEN: Did you talk to Lisa similar to what Mr. Krehbiel did on --DiChiera from the Landmarks? CHAIRMAN BOHNEN: The covenant on the MR. SCHULTZ: I didn't talk to Lisa. I 13 13 14 deed. talked to -- I forget her name. Sue might be 14 15 MR. SCHULTZ: The house at 244 there's 15 her name. some tax advantages to doing that or they are CHAIRMAN BOHNEN: Susan Benjamin? 16 16 17 pending but they are very unclear from the IRS 17 MS. WILLIAMS: No. 18 about once you -- I know Mr. Krehbiel doesn't 18 CHAIRMAN BOHNEN: No. She's with 19 really need that kind of incentive, but if you **19** Independent.

who handled that one.

MR. SCHULTZ: I got the card when I was

at the Krehbiel house, the person who helped,

07:36:10PM **20** 

21

07:34:16PM **20** 

could find an appraiser to put a value on the

house with the easement because that's a

house before you have that easement, then the

	18		20
1	CHAIRMAN BOHNEN: Exactly. She's from	1	MR. PRISBY: Or deny.
2	downstate.	2	CHAIRMAN BOHNEN: Either way you want
3	MR. SCHULTZ: I don't know her name but	3	to phrase it.
4	it's a Chicago office.	4	MR. PRISBY: I will make the motion to
5	CHAIRMAN BOHNEN: She has a direct line	5	approve the certificate of appropriateness
6	down to she's right in line with the tax	6	simply because I don't think that house is worth
7	relief.	7	saving any longer unfortunately.
8	MR. SCHULTZ: That's something where	8	CHAIRMAN BOHNEN: May I have a second,
9	it's in perpetuity. There's two sides of these	9	please?
07:36:36РМ 10	homes that are landmarked but this is the one	07:38:40PM 10	MS. WEINBERGER: Second.
11	and so it's something to really think about.	11	CHAIRMAN BOHNEN: All in favor?
12	CHAIRMAN BOHNEN: Well, I appreciate	12	MS. WILLIAMS: Aye.
13	you sharing that and it's something we need to	13	MS. WEINBERGER: Aye.
14	do. And again, this discussion we just had has	14	MR. PRISBY: Aye.
15	really nothing to do with you.	15	CHAIRMAN BOHNEN: Aye.
16	MR. SCHULTZ: I understand that. We	16	Motion carries. The public
17	would all like to help with the preservation of	17	hearings are now adjourned.
18	the homes.	18	(WHICH, were all of the
19	MR. PRISBY: And maybe my concern won't	19	proceedings had, evidence
07:37:06РМ 20	be an issue in 15 years when we finally get in	20	offered or received in the
21	front of things 15 years from now.	21	above entitled cause.)
22	CHAIRMAN BOHNEN: Bob, thank you for	22	
	19		21
1	appearing before us.	1	STATE OF ILLINOIS )
2	Is there anything further that we	2	) ss: COUNTY OF DU PAGE )
3	want to talk about?	_	COUNTY OF BUTAGE )
4	MS. WILLIAMS: In the findings and	3	I, KATHLEEN W. BONO, Certified
5	recommendations can we include, no matter what	4	Shorthand Reporter, Notary Public in and for the
6	this board decides, attachment 8 that our intern	5	County DuPage, State of Illinois, do hereby
7	Matt Stockmal put together for us, the history	6	certify that previous to the commencement of the
8	summary? I think it's important to have it in	7 8	examination and testimony of the various witnesses herein, they were duly sworn by me to
9	the record.	9	testify the truth in relation to the matters
07:37:48PM <b>10</b>	CHAIRMAN BOHNEN: I do, too.	10	pertaining hereto; that the testimony given by
11	MS. WILLIAMS: No matter what we	11	said witnesses was reduced to writing by means
12	decide.	12	of shorthand and thereafter transcribed into
13	CHAIRMAN BOHNEN: I agree. That was a	13 14	typewritten form; and that the foregoing is a true, correct and complete transcript of my
14	nice document, Matt. We appreciate that. If	15	shorthand notes so taken aforesaid.
15	that's indicative of the work that you are going	16	IN TESTIMONY WHEREOF I have
16	to be doing with us, hail, hail. Certainly that	17	hereunto set my hand and affixed my notarial
17	can be done.	18	seal this 27th day of June, A.D. 2018.
18	MS. WILLIAMS: Great. Thank you.	19	
19	CHAIRMAN BOHNEN: So with that in mind,	20	KATHLEEN W. BONO,
07:38:04PM <b>20</b>	can I have a motion, please, to approve the	21	C.S.R. No. 84-1423
1 04			
21	certificate of appropriateness to demolish the		

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The following is a transcription of Oskar Hansen's speech at the Memorial Building dedication, November 11, 1928.

# THE VICTORY OF HINSDALE By the Sculptor Oskar J. W. Hansen

Man has always sought to express and preserve the magnitude of his exploits in symbols. The written words are symbols arranged so as to preserve in objectified form the thought of man and to record his variant states, both mental and physical. All other arts are similar as to their symbolic significance. They take their place among the category of human endeavor simply as the interpreter of life to itself. They serve as an outer object typifying the inner process. They form the connecting link between the spiritual and the material world. They are the shadows cast by the realities of the soul.

The war was but an outward expression of the inner conflict of a struggling humanity. It was a sudden conflict by which the constructive and spiritual forces of the world advanced upon the path of their destiny. Truth is not always a builder; it must sometimes be the destroyer. It must rectify, it must purify, it must always preserve for itself the bedrock of its own eternal premises. Only in this way may the structure of humanity reach upward; a noble structure representing the truly abiding nature of man. Out of these conflicts heroes are born. We call them heroes because they represent to us a symbol of what we all wish to be. Upon the eternal battlefield of Truth they form the vanguard. With them new epochs are formed upon the path of progress. They solidify and give body to those thoughts which decide the destinies of nations.

It is then inevitable that any thinking community should wish to perpetuate the memory of such men as an inspiration to posterity. From time immemorial the symbol best suited to such a purpose has been sculpture. From all the distant places on the earth, from the Babylonian collossae carved on the sheer walls of the naked desert rocks, from the Palladian Athena and the flying Victory of Samothrace, from the conquering Augustii elevated from the emperors seat to the allegorical position of gods, from Saint Louis in his tomb with the superscription of battlements of Acre, from the great mailed knights of the gothic cathedrals, and Liberty holding aloft her torch at the gateways of a new world; from all these symbols in sculpture we read the story of man's aspirations. This then the reason why the form of Hinsdale's sacred symbol to its war dead should be in sculpture, and the temper and nature of the subject to be comemorated appropriately dictated that it should be named a Victory.

With the thought of the great heroic traditions of our race there came the visualization of what this Victory should look like. There came the thought of not only the momentary and present conquest which the giving of these lives in war might typify. There came the vision of the great caravan of heroes marching down the unending pathway of the years and into which august company also our generation has been so gloriously represented through those who gave their lives for our sake. There came the picture of the pillars of the temple torn down, and out of the ruin the spiritual Victory arising, always present in calm majesty celebrating the eternal conquest of the spirit, maintaining itself above the sordid fallacy of man. Hence the solid outline, the figure mounting upward, the wish to represent the ultimate reserve and chastity.

There are three elements or ideas represented in this Victory. They are coexistent in the whole composition or idea and carried out consistently in every gesture and detail of the symbolism. To me they are of the essence of the idea of Victory and they may be expressed in words as Justice, Mercy, and Beauty.

I had in mind Justice when I cut into this stone. In the sight of the Divine Consciousness, humanity exists as a whole. To Him there is no adversary nor friends. To Him both our animosities and our so-called justice must seem but weak and faulty things. Only one thing remains to us intact; our humanity. These boys fought in war and took life. They were animated by the emotion of love for country and kindred but they did not slay their souls for this sake. There was in America's effort in the war a consciousness of it as a sort of surgical operation upon the livid tissues of the social body. There was no hate for any part of humanity as such. There was only a burning desire to make possible a healthy issue into a new Liberty. So the Victory guards the sword of Justice. It rather guards than clasps this sword; for Justice watches with dispassionate calm. It is always ready but never strikes except when necessary. Its sword is like a living oame [SIC], three-edged; representing the full power of The Trinity.

Then I had in mind Mercy. There came to me the picture of a lad who crawled out into no-mansland and brought in a German lad, wounded, from the wire. The German was mortally wounded and when he opened his eyes and saw the American uniforms he cried and moaned: "Will you kill me now? Will you kill me now?" And then the lad who had brought him in put his arms under his head and reassured him: "You are in an American trench now. For you the war is over." Wherever there is true strength there is also mercy. So I pictured Victory with the wings folded, embracing both friends and foe.

Besides this, I had a wish to create beauty. There is Justice needed for the governance of the world, but beauty is needed for its very existence. There is a golden thread of beauty running through every gesture of that great conflict. The beauty of mounting above the sordid consideration of self into the conscious effort for a better humanity.

The guard of the sword is in the shape of a cross. That is a symbol carried down to us from the Crusades. To me the Great War was the greatest crusade of all times. The hilt is fashioned reeded, symbolic of the rods by which the heads of ancient states made known their power to chastise. It is surmounted by the helmet of a Greek Hoplite, (infantry man) reminiscent of the great Phalanx which defeated the Persians at Marathon.

Upon the guard and the central shield there is the coat of arms of the United States of America. Associated with this is the very birth of our freedom and all the heroic incidents belonging thereto. In this all of us have a definite part. The dead for us; and we to realize for them humanity's great dream. So I have graven upon the guard the motto of our country, symbolic of the very essence of democracy: "E Pluribus Unum." Out of Many One.



#### **MEMORANDUM**

**DATE:** July 11, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 28 E. Hinsdale Avenue – Hinsdale Music Studio (Historic Downtown District)

1 New Blade Sign

#### **Summary**

The Village of Hinsdale has received an application from Hinsdale Music Studio requesting approval to install a new Code compliant blade sign at 28 E. Hinsdale Avenue (Suite 1). Hinsdale Music Studio is in the B-2 Central Business District in the Historic Downtown District.

#### **Request and Analysis**

The proposed blade sign is non-illuminated, has 2 colors and doubled faced. The blade sign bracket projects 2 feet 6 inches from the building face and the bottom of the sign is 8 feet from grade. The blade sign is 18 inches tall by 15.2 inches long, which is approximately 1.9 square feet and under the 3 square feet limit. Given the above, the requested blade sign is Code compliant.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission (HPC) shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

#### Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 28 E. Hinsdale Avenue

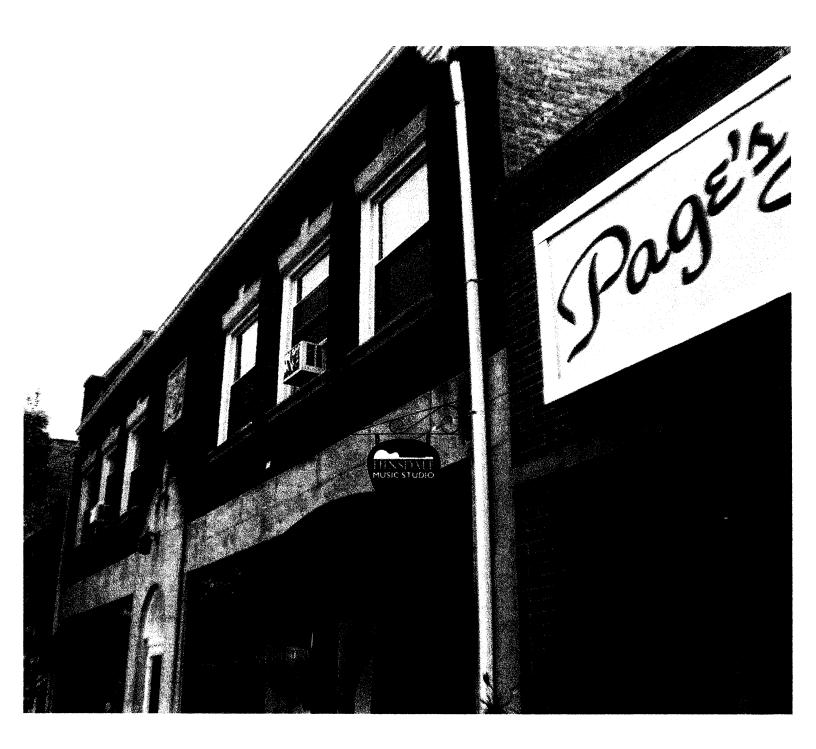
Attachment 4 - Birds Eye View of 28 E. Hinsdale Avenue

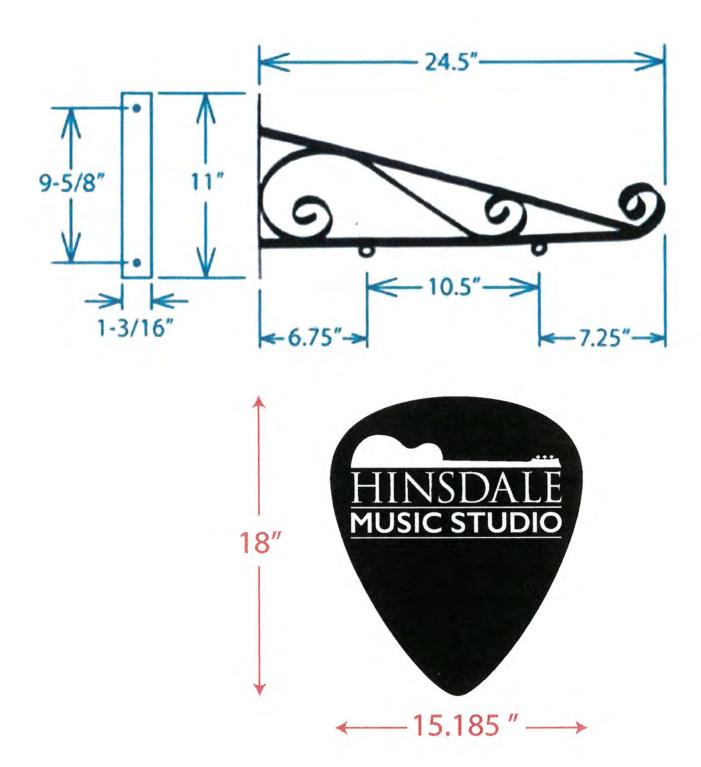


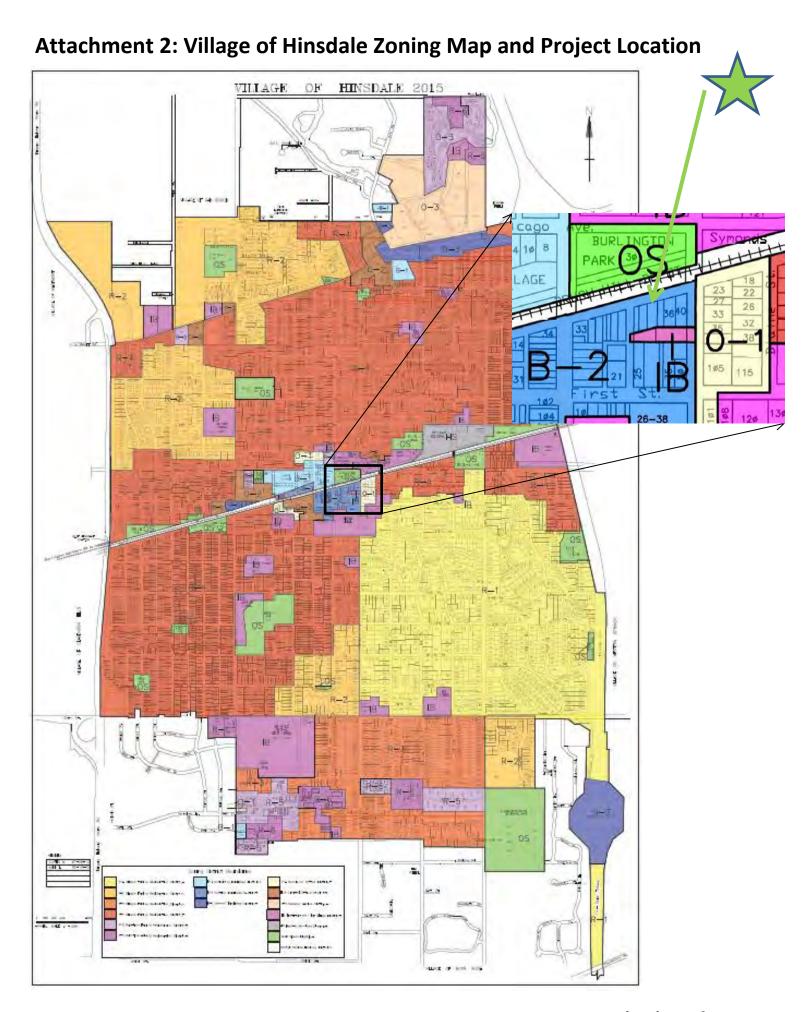
# VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant Hinsdale Music Studio	Contractor
Name: Mathew Scarpelli	Name: Maximun Printing
Address: 28 E Hinsdale Ave City/Zip: Mahsole Hinsdale IL (2012)	Address: 911 Burlington Ave City/Zip: Downers Grove (00515
Phone/Fax: (108) 705 / 4622	Phone/Fax: $(630)$ 737 / 02 70
E-Mail: matscarpelli 35@ hotmail. Com	E-Mail: Maxprint @maximumprinting.
Contact Name: Mathew Scarpell.	Contact Name:K
`	
ADDRESS OF SIGN LOCATION: 28 E. Hinsdale Ave  ZONING DISTRICT: Please Select One B-2 Central Business District  SIGN TYPE: Please Select One Projecting Blade Sign  ILLUMINATION Please Select One None	
Sign Information:	Site Information:
Overall Size (Square Feet): $1.875$ ( $1.5$ x $1.2$	
Overall Height from Grade: Ft.	Building/Tenant Frontage: Mather Serrell:
Proposed Colors (Maximum of Three Colors):	Existing Sign Information: Wall Sigm
• Black	Business Name: Hinsdale Music Studio
White Produktern	Size of Sign: 15,145 Square Feet
3 Burgundy Brown	Business Name: Hinsdale Music Studio Size of Sign: 14 15.145 Square Feet
	Size of Sign. 14 x 13 5 143 Square Feet
I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.	
Signature of Applicant D	May 8, 2018 May 8, 2018
May 8, 2018	
2 rea	May 8, 2018
Signature of Building Owner D	May 8, 2018
Signature of Building Owner D  FOR OFFICE USE ONLY – DO NOT WRITE BE	Date S
	CLOW THIS LINE









Attachment 3: Street View 28 E. Hinsdale Ave. (facing south)



28 East Hinsdale Aven

Birds Eye View of 28 E. Hinsdale Ave. (facing south) Attachment 4:



## **MEMORANDUM**

**DATE:** July 11, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 22 W. 1st Street – John Green Realtor – Illumination of 1 previously approved Wall Sign

Case A-32-2018

# Summary

On April 11, 2018, the Plan Commission approved a sign application from Accurate Repro Inc., on behalf of John Greene Realtor, requesting approval to install 2 new non-illuminated wall signs at 22 W. First Street, within the Historic Downtown District in the B-2 Central Business District. The applicant is now requesting to illuminate <u>one</u> of the previously approved wall signs.

At the April 4, 2018, Historic Preservation Commission (HPC) meeting, with no concerns by the HPC, unanimously recommended approval of the sign application, as submitted.

#### **Request and Analysis**

The wall sign proposed to be externally illuminated is made from a max metal substrate lamination material, and features light green, dark green and white text, on a black background. The sign is located on the side the building, facing a parking lot and is 2'-10.5" tall and 9'-9.5" wide, for an area of 28.15 SF. To illuminate the approved wall sign, the plan is to install 2 angled light fixtures above the sign extended 1-foot from the wall with straight arms. Each circular light fixture has a diameter of 12" and utilizes LED.

#### **Process**

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

#### **Attachments:**

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 22 W. First Street

Attachment 4 - Birds Eye View of 22 W. First Street

Attachment 5 - Previously approved non-illuminated wall sign (04.11.18)



### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

Applicant	Contractor
Name: john greene Realtor  Address: 22 W 1st Street  City/Zip: Hinsdale, IL 60521  Phone/Fax: (630) 229 /2211  E-Mail: wendyyaksich@johngreenerealtor.com  Contact Name: Wendy Yaksich	Name: James Miller Remodel  Address: 1198 Lawnmeadow Ln  City/Zip: Naperville, IL 60540  Phone/Fax: (630) 688 /6205  E-Mail:
ADDRESS OF SIGN LOCATION: 22W 1st street ZONING DISTRICT: B-3 General Business Distri SIGN TYPE: Wall Sign ILLUMINATION Down Lit	
Sign Information:  Overall Size (Square Feet): 29sqft (35" x 117")  Overall Height from Grade: 35" Ft.  Proposed Colors (Maximum of Three Colors):  Green  White  Black	Site Information:  Lot/Street Frontage: 37'  Building/Tenant Frontage: 27'  Existing Sign Information:  Business Name: john greene Realtor  Size of Sign: 29 Square Feet  Business Name: Square Feet  Size of Sign: Square Feet
Signature of Applicant COO - STR Date  Signature of Building Owner Date  HOME SPACE LL.C.  FOR OFFICE USE ONLY - DO NOT WRITE BELOWERS	6 21 18 W THIS LINE
Total square footage: $0 \times \$4.00 = 0$ Plan Commission Approval Date: $Adm$	(Minimum \$75.00) sinistrative Approval Date:

### **Illuminated Sign Permit Request**

Applicant: john greene Realtor 22 W. 1<sup>st</sup> Street Hinsdale, IL 60521

In April of 2018, we received a permit to install a non-illuminated wall sign on the western façade of our business at 22 W. 1<sup>st</sup> Street in Hinsdale. The approved sign is shown below:



We would like to illuminate this sign panel and have therefore applied for an additional sign permit. Two lighting fixtures would be added directly above the sign panel. The fixtures (shown below) would be installed on 12' straight arms directly above the sign with the fixture itself angled to illuminate the panel. The down lighting for this sign will be compliant with the illumination standards provided in the Village Code.



The sign has been mocked up below to identify placement of the lighting fixtures.



### Vendor documentation confirming compliance with lighting standards:

From: Raymond Zambrano

Sent: Wednesday, June 13, 2018 3:41 PM

To: hvinton@galleria-lighting.com

Cc: David Alvarado Subject: RE: head for sign

Heather,

Yes, it will comply with the building codes.

Regards,

Raymond Zambrano Technical Support/ Quotations Troy-CSL Lighting Inc.

From: David Alvarado

Sent: Wednesday, June 13, 2018 1:39 PM

To: Raymond Zambrano Subject: FW: head for sign

Importance: High

Raymond,

Can you verify if this will meet the following codes listed below.

Best Regards,
David Alvarado
Technical Support
Troy-CSL Lighting Inc.

From: Heather Gedvilas < hvinton@galleria-lighting.com >

Sent: Wednesday, June 13, 2018 1:04 PM

To: David Alvarado

Subject: RE: head for sign

Importance: High

Hi David,

The city council needs to verify that the sign meets the required standards. I have listed below the requirements that they sent us. Can you please take a look and let me know if the items you quoted us meet the requirements? If you could let me know by tomorrow morning I would appreciate it. Thank you for your help!

2RA12LED18BK/2A12BK

I need confirmation that the fixture meets the following standards:

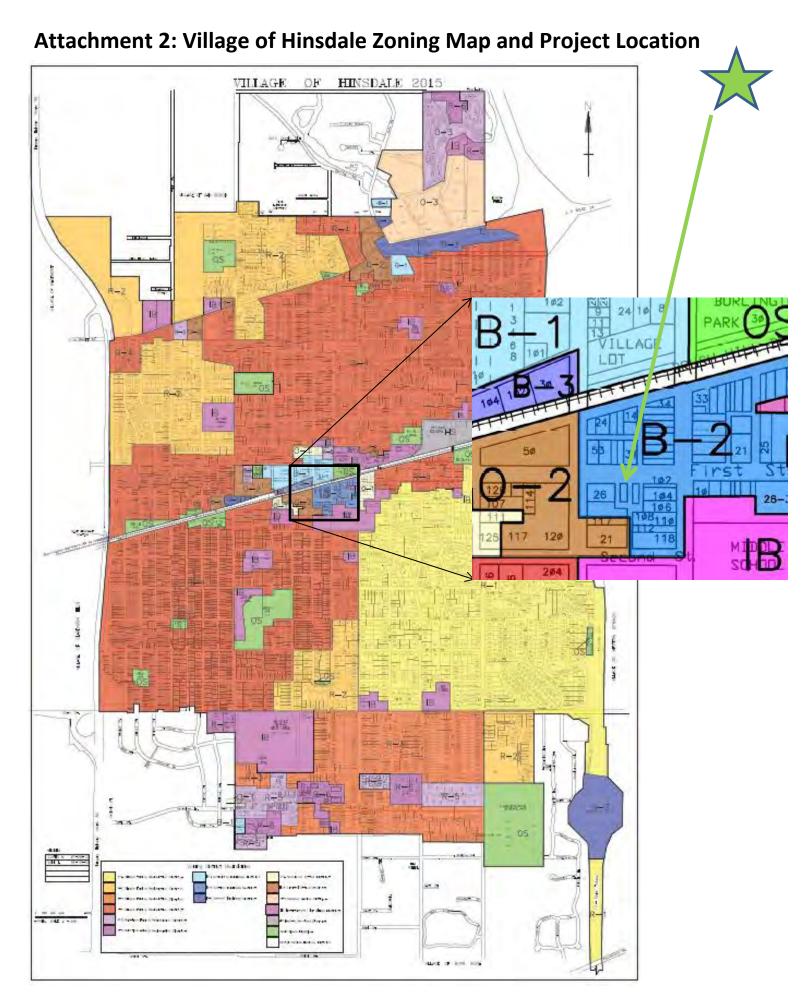
- E. General Standards: The following general standards shall apply to all signs:
- 1. Illumination:
- (a) Location And Design Of Light Source: Whenever an external artificial light source is used for a sign, such source shall be located, shielded, and directed so as not to be directly visible from any public street or private residence. No receptacle or device housing a permitted light source for a

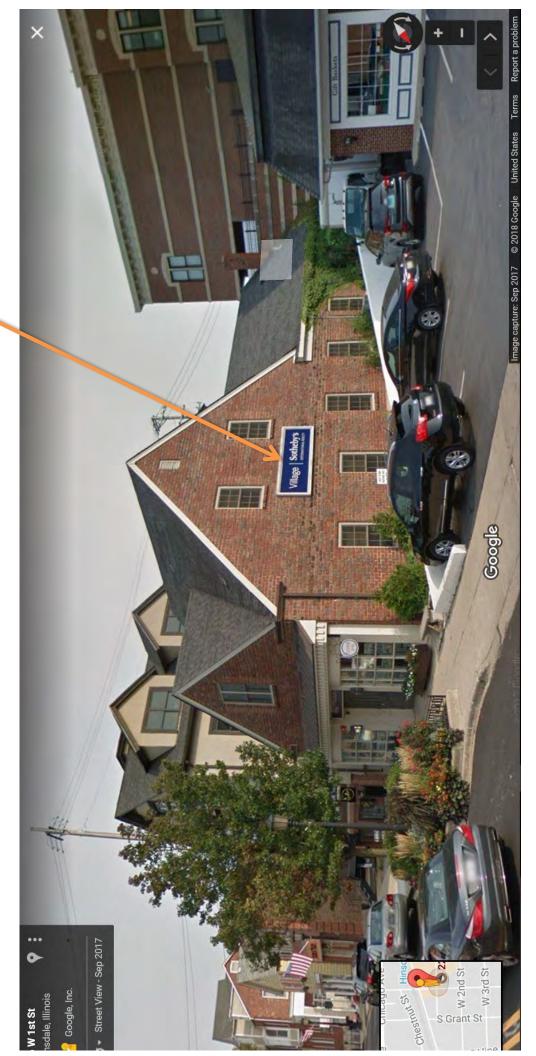
- sign shall protrude more than eighteen inches (18") from the face of the sign or building to which it is attached.
- (b) Level Of Illumination: In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed fifty (50) foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. In no event shall signs located in single-family residential districts be illuminated.

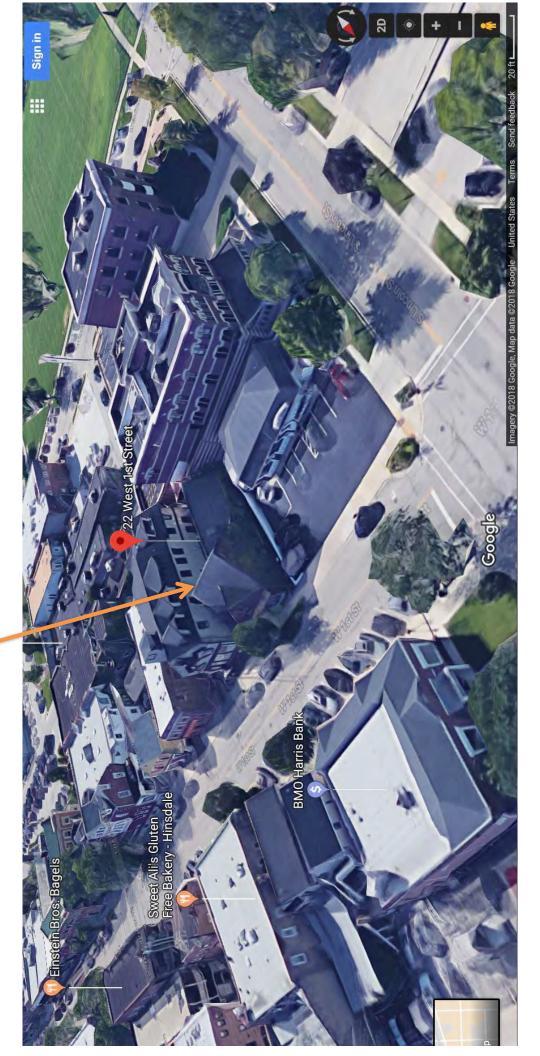
(and the lighting will be installed directly above).

Thank you, Heather Gedvilas

Galleria Lighting 760 S. Route 59 #104
Naperville, IL 60540
630-357-4155
630-357-4804Fax







# **DESCRIPTION OF WORK:**

Digital print and laminated (1) 117.5"x34.5" max metal signage

## MATERIALS:

Max Metal Substrate Lamination





34.5"

# NSDALE SDALE



Current Signage



Proposed Signage

CCUrale Kepro 2368 Corporate Ln. #100, Naperville, 1L 60563 www.AccurateRepro.com 630-428-4433 No Scale
TOTAL COPY, GR.
2388 COPPORTE LI.
xww.AccurateRe

Client Name: John Greene

**Start Date:** 03/21/2018

Phone:

Page: 2 of 2

File Name: JG\_Max\_ExtSigns.pdf Last Revision: 03/21/2018

Scale = 1:20

Client Approval (Required)

Sales Rep: Mike Merle Designer: PYRIGHT 2017, BY ACCURATE REPRO, INC. • ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF ACCURATE REPRO, INC., AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM ACCURATE REPRO, INC.,



### VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT APPLICATION FOR SIGN PERMIT

APPLICATION FO	OR SIGN PERMIT
Applicant	Contractor
Name: john greene Realtor Address: 22w 1st Street  City/Zip: Hinsdale Phone/Fax: (630) 885-2557 / E-Mail: emilybell@johngreenecommercial.com Contact Name: Emily Bell  ADDRESS OF SIGN LOCATION: 22W 1st street H ZONING DISTRICT: B-3 General Business District SIGN TYPE: Wall Sign ILLUMINATION None	
Sign Information:  Overall Size (Square Feet): 29 sqft (35 x 117")  Overall Height from Grade: 35" Ft.  Proposed Colors (Maximum of Three Colors):  Green  White  Black	Site Information:  Lot/Street Frontage: _37'  Building/Tenant Frontage: _27'  Existing Sign Information:  Business Name: _Village Sotheby's Reality  Size of Sign: _35x117  8 sqft _Square Feet  Business Name: _Sotheby's Reality  Size of Sign: _29 sqft Square Feet
Signature of Building Owner  Date  FOR OFFICE USE ONLY – DO NOT WRITE BELOW  Total square footage: $0 \times \$4.00 = 0$	the attached instruction sheet and state that it is correct es.    27/18     18

### VILLAGE OF Linsdale Est. 1873

### **MEMORANDUM**

**DATE:** July 11, 2018

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

**RE:** 441 E. Third Street – Case HPC-01-2018 - Application for Certificate of Appropriateness

to Construct a New Home in the Robbins Park Historic District

\*Second Revised Plan from HPC-04-2017\*

### Summary

The Village of Hinsdale has received an application from Oakley Home Builders, the owner of 441 E. Third Street, requesting approval for a Certificate of Appropriateness to construct a new house, with its second revised plans in the Robbins Park Historic District. The initial application to demolish and construct a new home was approved by the Historic Preservation Commission (HPC) on August 9, 2017 (Case HPC-04-2017) and the first revision request was approved on February 7, 2018.

Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the HPC on an application for a Certificate of Appropriateness.

### **Request and Analysis**

The subject property is located on the corner of Third Street and S. County Line Road. The applicant would like to seek the right to obtain a construction permit for a new Code compliant single family house with revised plans after the HPC approved it on February 7, 2018 (Attachment 7). Per the applicant, the second revision to the plans reflect a change from a farmhouse to a refined farmhouse, and include changes to the front elevation, windows, roof line, and rear elevation and basement floor plan.

The lot is located in the R-1 Single Family Residential District and borders the same to the north, east, south and R-4 Single Family Residential District to the west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is approximately 26,160 SF in area.

### **Process**

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic



### **MEMORANDUM**

district without the rendering of a final decision by the commission on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.

### Attachments:

Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Robbins Park Historic District Map

Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)

Attachment 5 - HPC Public Hearing Transcript - Case HPC-04-2017 - August 9, 2017

Attachment 6 - Approved Initial Elevation Plans from August 9, 2017, HPC Meeting

Attachment 7 - HPC Public Hearing Transcript – Case HPC-01-2018 – February 7, 2018

### VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Addre	ess of Property under review: 441 E. 3rd. Street erty Identification Number: 09-12-210-014
l.	GENERAL INFORMATION
1.	Applicants Name: Oakley Home Builders  Address: 5216 Main Street, Unit A  Downers Grove, IL 60515  Telephone Number: 630.241.9402
2.	Owner of Record (if different from applicant): Oakley Home Builders  Address: See Above  Telephone Number: " "
3.	Others involved in project (include, name, address and telephone number):  Architect: Richard Olsen 630.887.1405  127 S. Stough St, Hinsdale, IL 60521
	Attorney: Peter Coules, Jr. 630.920.0406  15 Salt Creek Ln, Ste. 312, Hinsdale, IL 60521
	Builder: Oakley Home Builders 630.241.9402 5216 Main St. Downers Grove, IL 60515
	Engineer: Alecs Ho 630.772.9393 P.O. Box 5376, Oakbrook, IL 60522
II. SIT	E INFORMATION
1.	Describe the existing conditions of the property: Home that has not been maintained. The roof is worn and in poor condition. Full replacement of the interior and exterior is required.
2.	Property Designation:
	Listed on the National Register of Historic Places?YESX_NO
	Listed as a Local Designated Landmark?YESX_NO
	Located in a Designated Historic District? X YESNO

alte	scription of work proposed. (Please submit a description of the proposed erations and/or additions. Attach additional sheets, and photographs, as cessary).
	Build a new single family home to match the historic structure of the neighboring
h	ouses. Please see the attached plans of the proposed renovations for further
de	etail and full scope of the project.
and Co	ccessive Applications. Has all or any part of the property been the subject of the application for a Certificate of Appropriateness under Title XIV of the Village de of Hinsdale within the last two years?  NoX_ Yes
evi cor	es, state the date of the formal hearing and a statement explaining any relevant dence supporting, the reasons why the Applicant believes the Village should naider this application at this time, pursuant to Section 14-3-10 of the Village de.
	lease see attached.
<u></u>	
-	

### CERTIFICATION

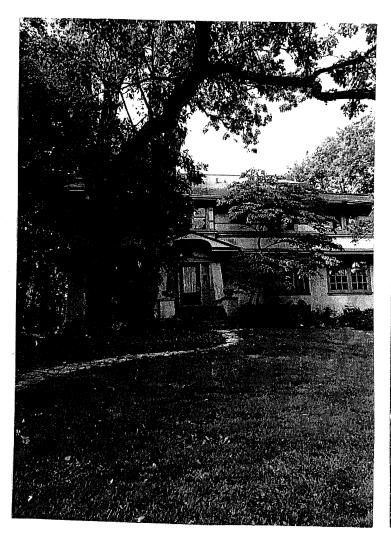
The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

□ INDIVIDUAL OWNERS	
Signature of Applicant	Signature of Applicant
CORPORATION	
Signature of Applicant's President	Signature of Applicant's Secretary
PARTNERSHIP	
Signature of Applicant	Signature of Applicant
Signature of Applicant	Signature of Applicant
LAND TRUST	OTHER
Signature	Signature of Authorized Officer
SUBSCRIBED AND SWORN	
to before me this 13 day of	
June ONS.	Lennier & Ammerio
OFFICIAL SEAL	Notary Public
JENNIFER L SOMMERIO  NOTHEY PUBLIC - STATE OF ILLINOIS  MY CHARBSION EXPIRES DEC: 16, 2018	OFFICIAL SEAL JENNIFER L SOMMERIO NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES DE COMISSION EXPIRES
	Attachment 1

The date of the formal hearing was Wednesday, August 9, 2017, 4. pertaining to the demolition and construction of a new single family home. The Village approved both the demolition and construction of the property, and issued a "Certificate of Appropriateness" (under the previously proposed plans). Oakley Home Builders applied for a permit of revised plans including only minor adjustments, with the most significant change being that the driveway needed to be moved for engineering purposes. Revised plans were submitted to the Village on December 18, 2017. The revised plans submitted for permit were designed within the same design parameters (i.e. still single peak and same color schemes) as the previous plans, and the exterior of the property is very similar to the exterior already approved. The Village requested that this matter be returned to the Historic Preservation Commission solely for a "Certificate of Appropriateness" to approve the plans submitted for the house to be constructed. The plans have been further revised as the style of the house has been updated from farmhouse to refined farmhouse. Revisions to the plans include changes to the front elevation, windows, roof line, rear elevation, and basement floor plan. Attached is a copy of the plans submitted, and as evidenced therein, the proposed plan for the house is appropriate for the neighborhood/district.

### 441 E. 3<sup>rd</sup> Street, Hinsdale

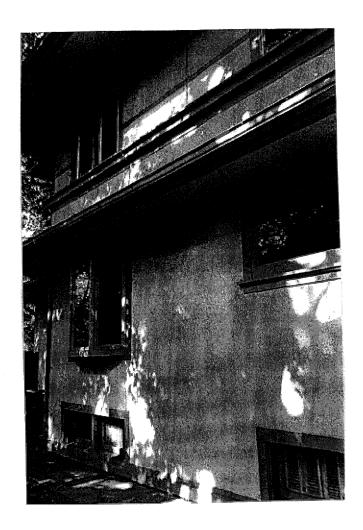


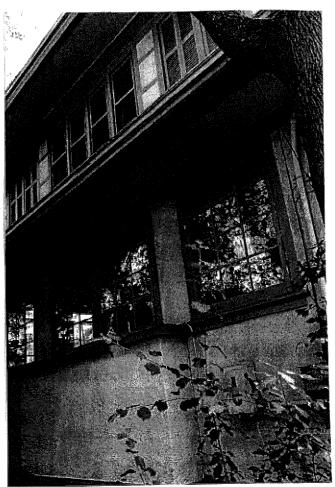


1. Front view of home. (South)

2. Rear view of home. (North)

### 441 E. 3rd Street, Hinsdale

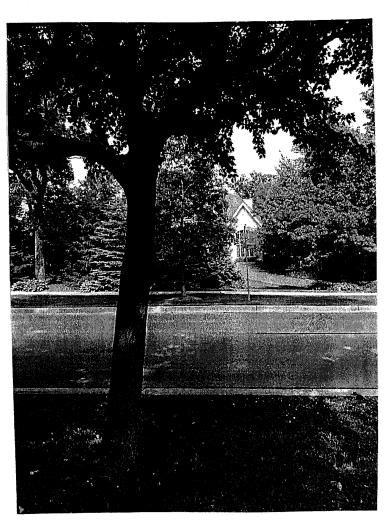




3. East side view of home

4. West side view of home

### 441 E. 3<sup>rd</sup> Street, Hinsdale

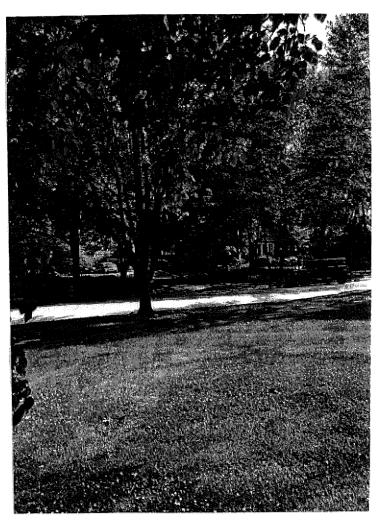


5. Neighbors to the East. (across County Line Rd.)

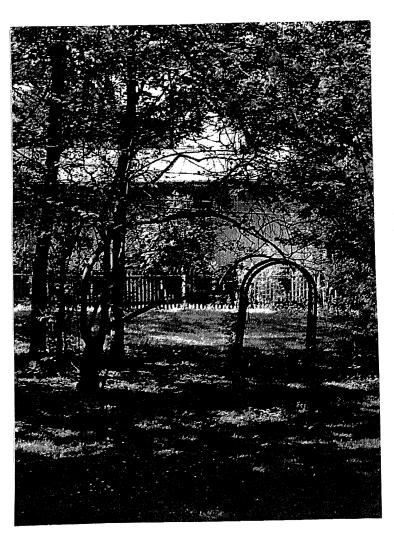


6. Neighbors to the West

### 441 E. 3<sup>rd</sup> Street, Hinsdale



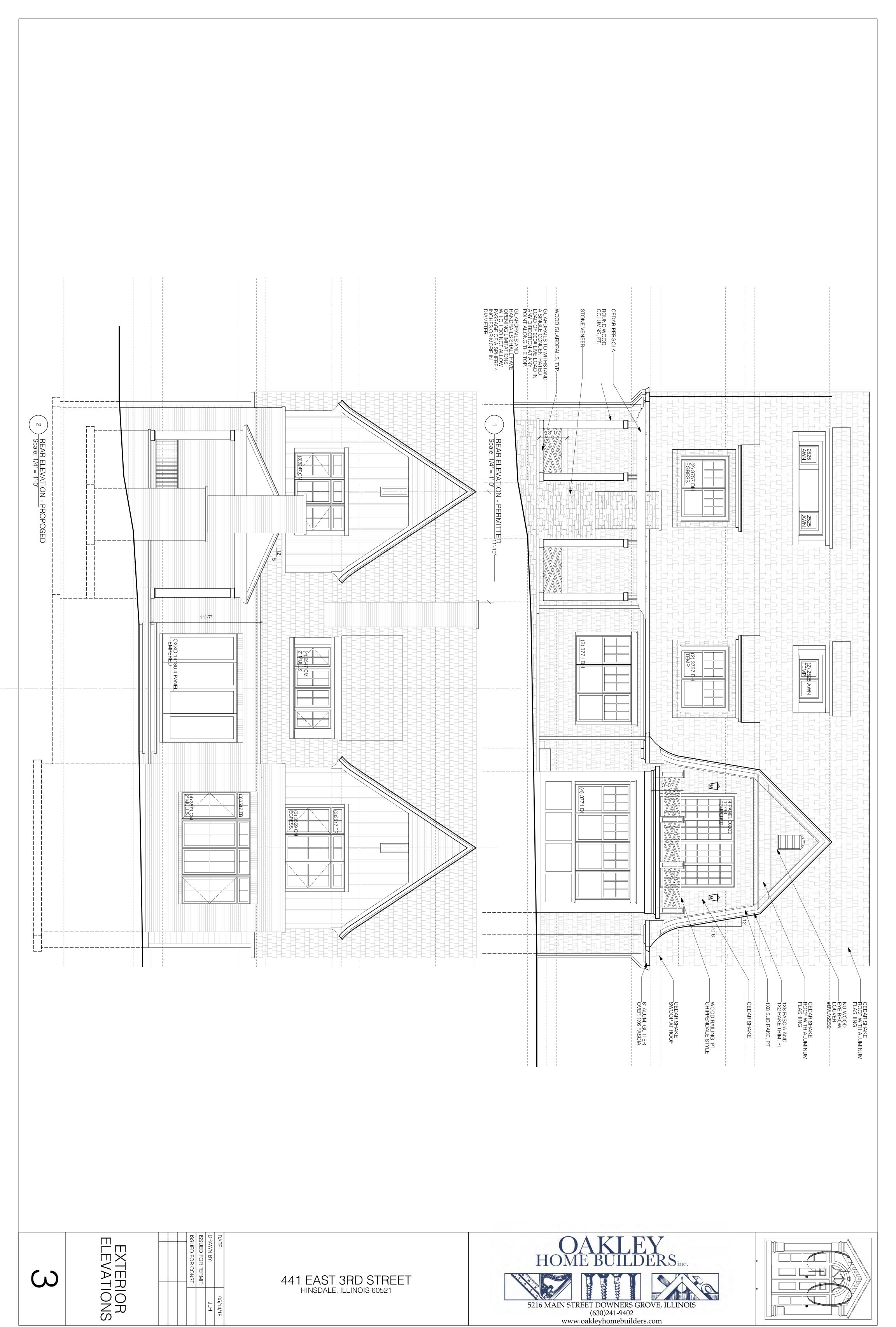
5. Neighbors to the South (across 3<sup>rd</sup> St.)



6. Neighbors to the North

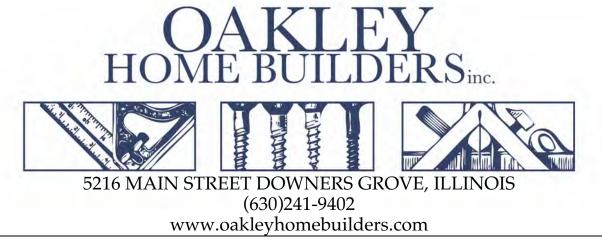


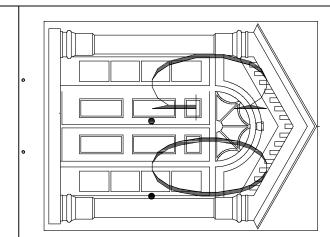


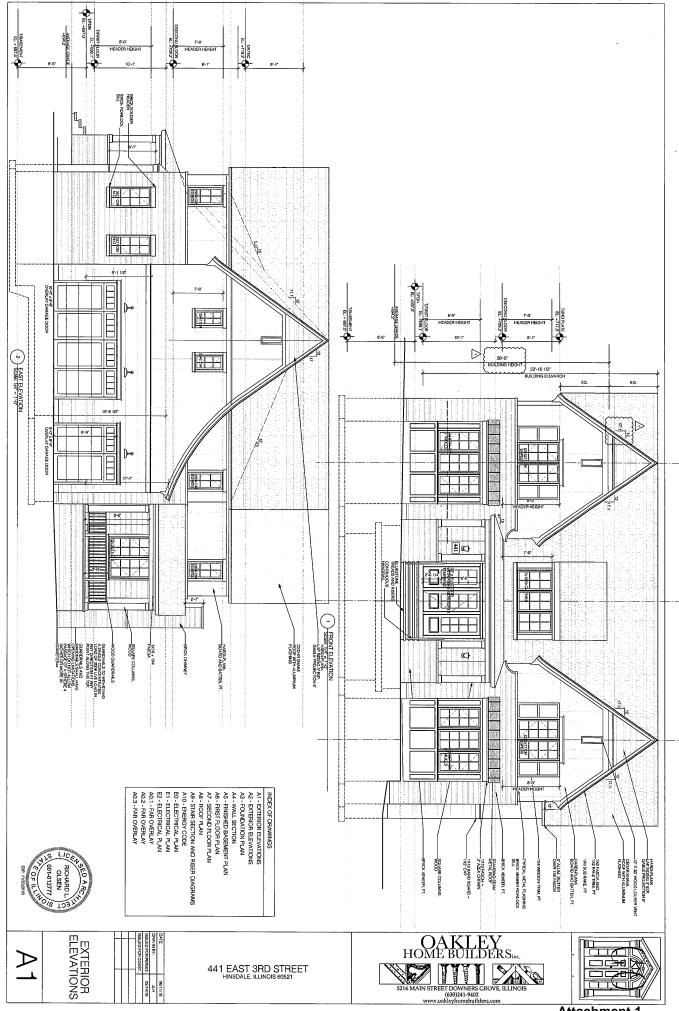




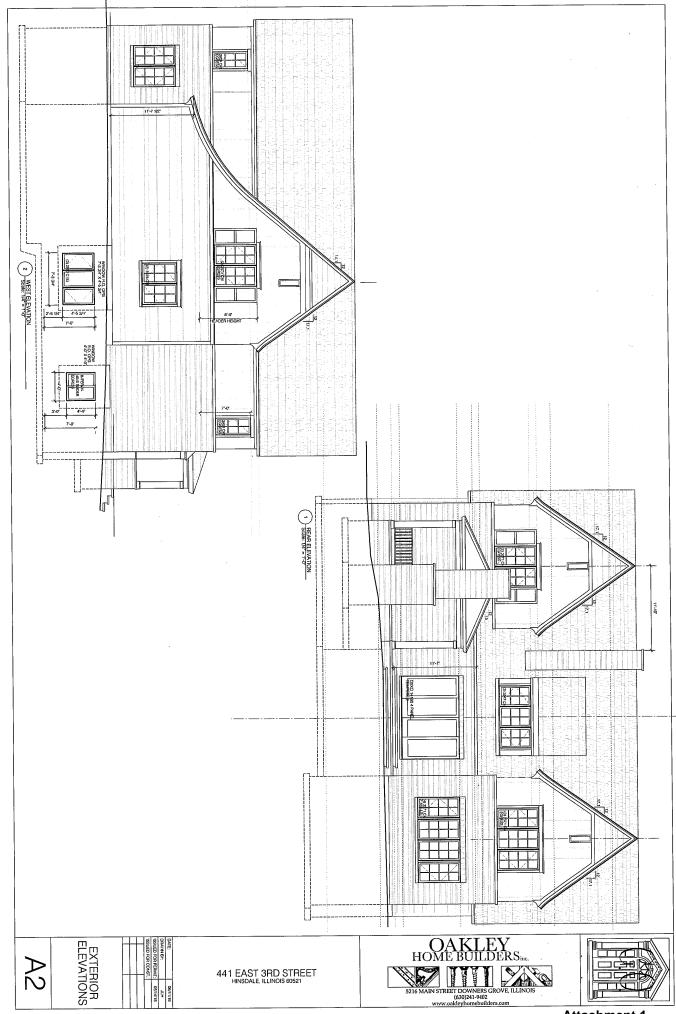




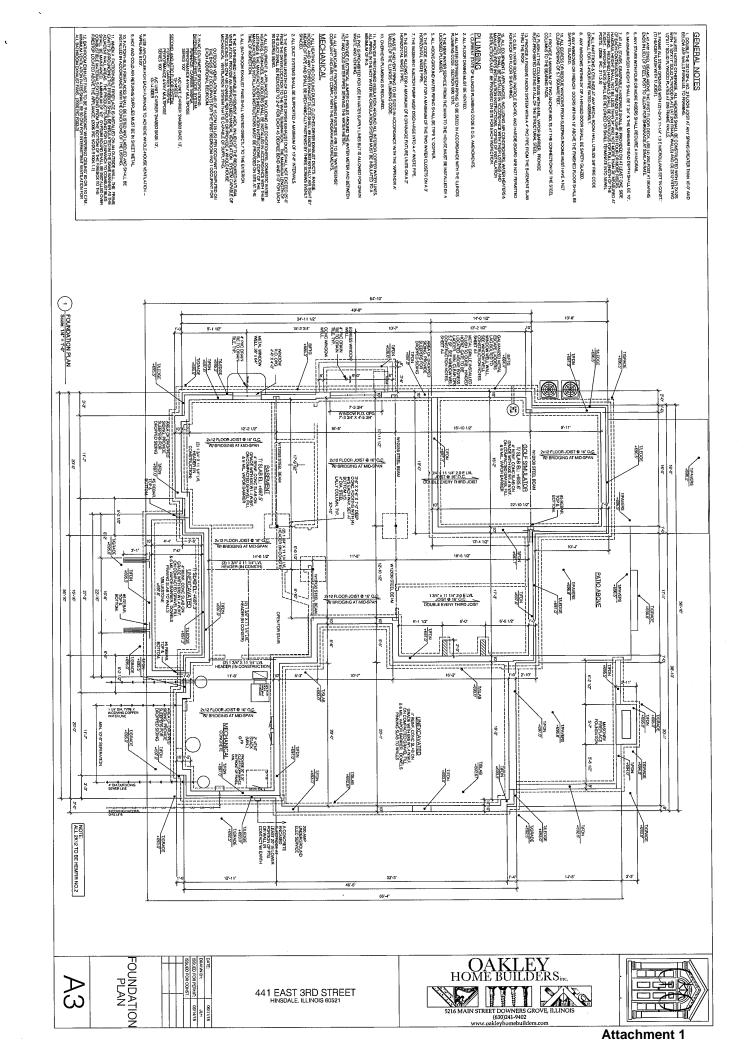


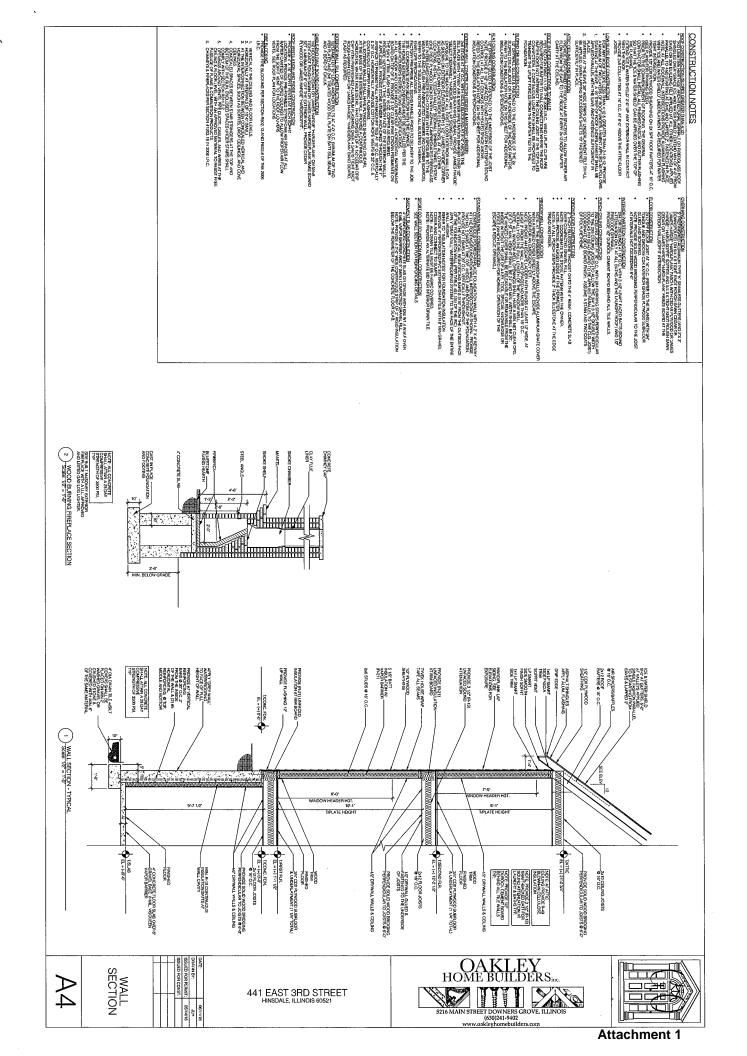


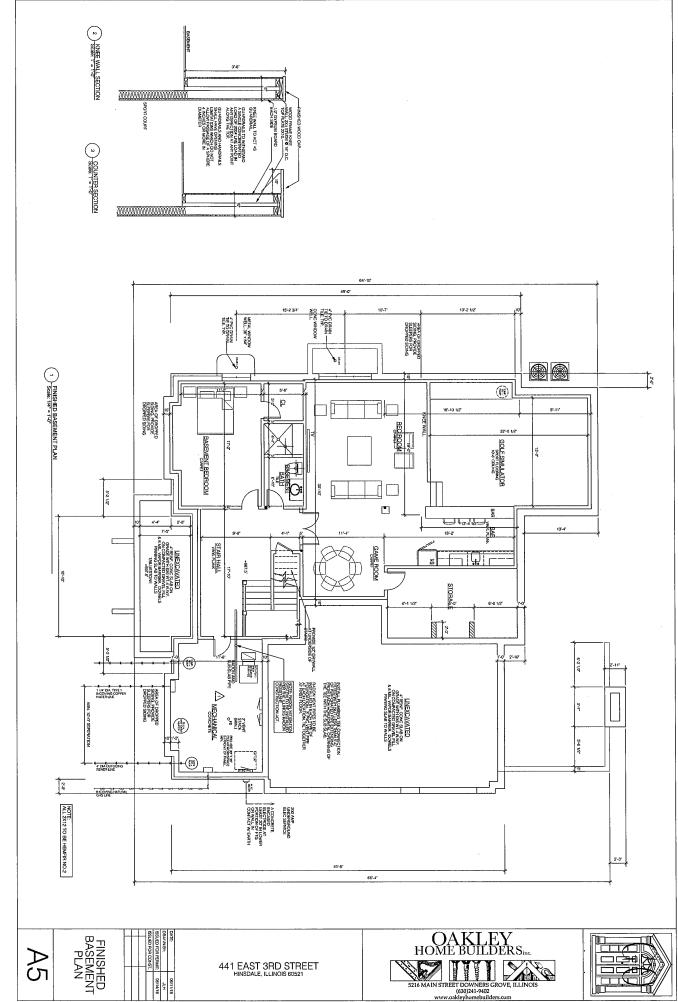
Attachment 1

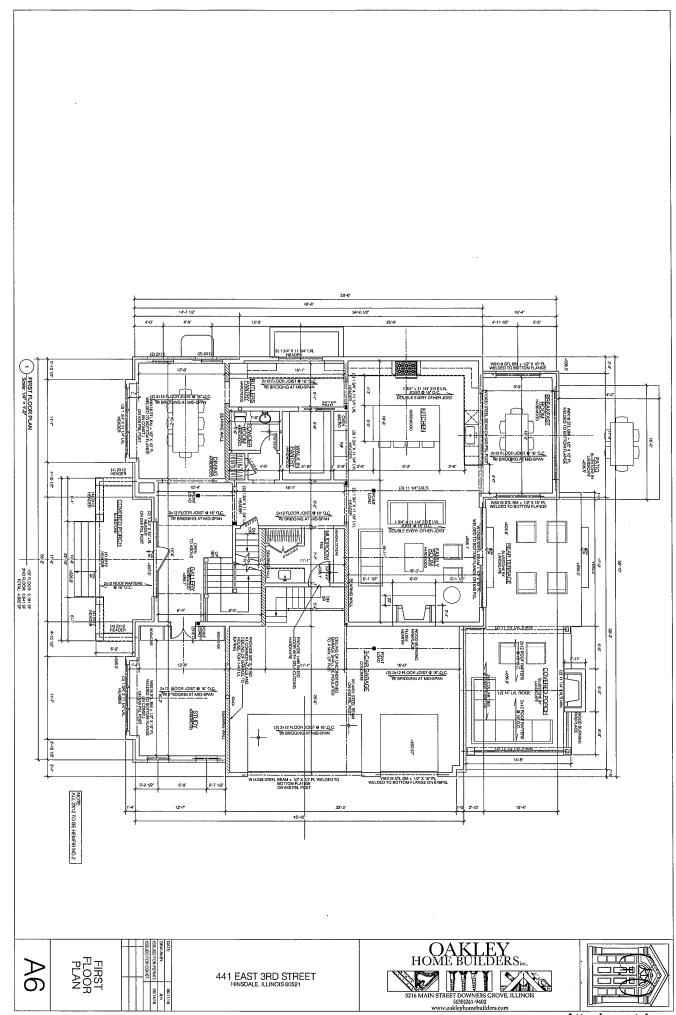


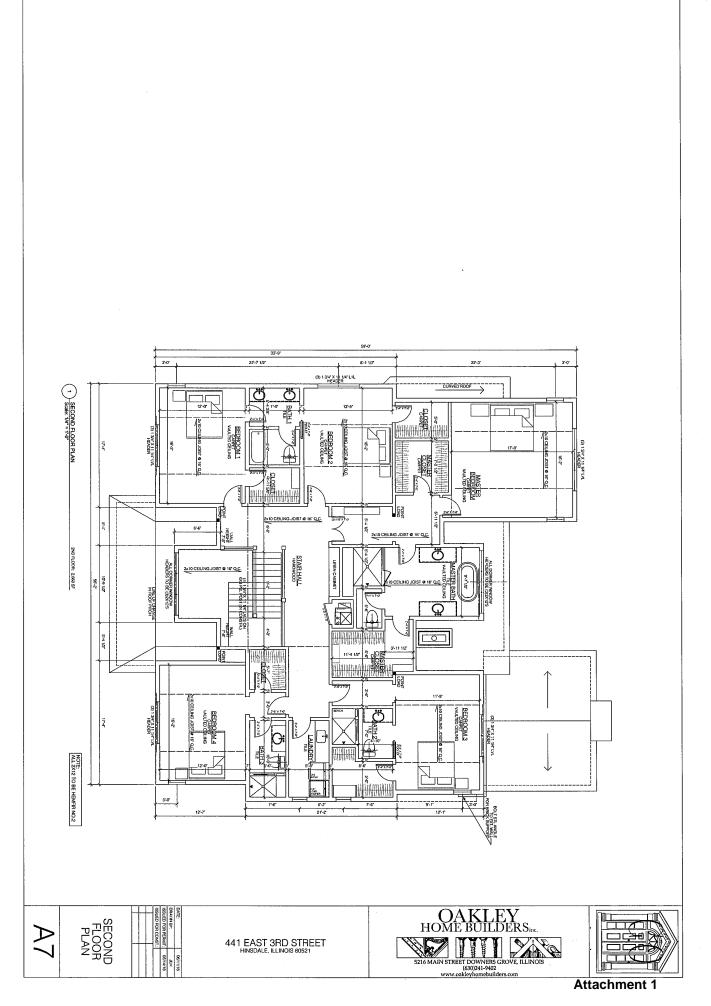
**Attachment 1** 

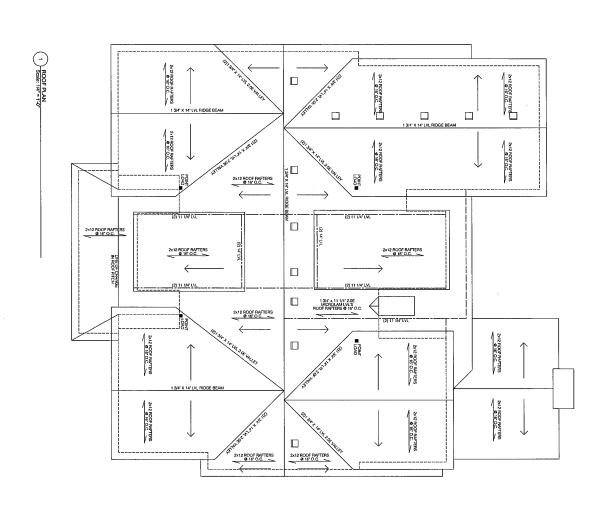










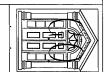


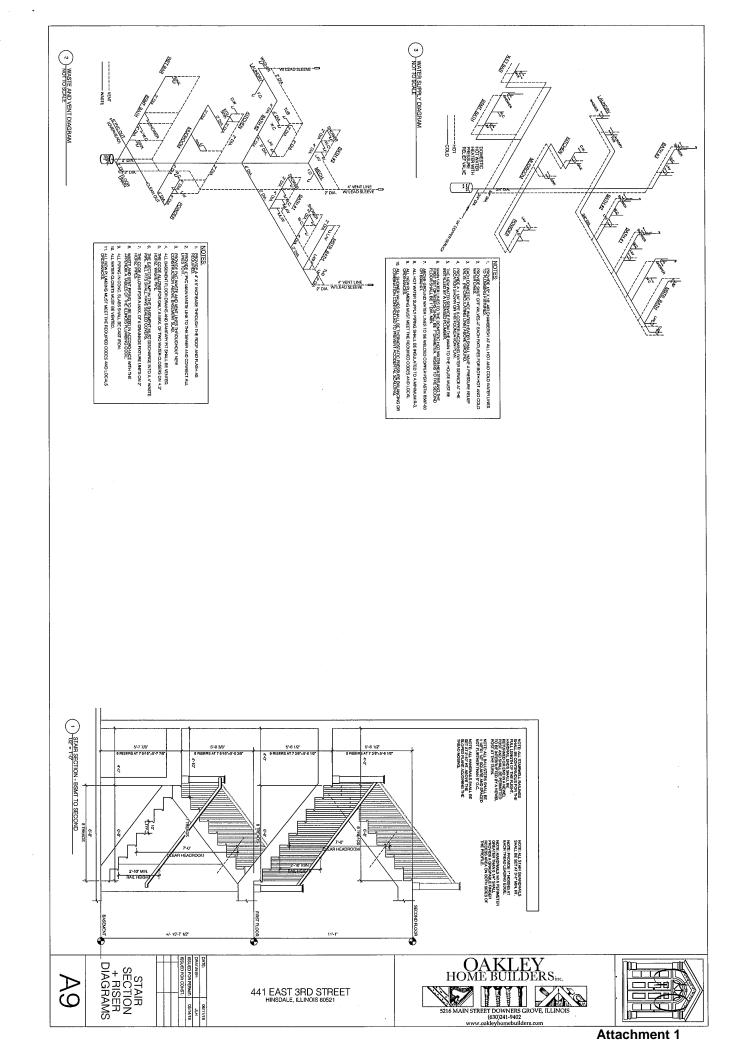
**A8** 

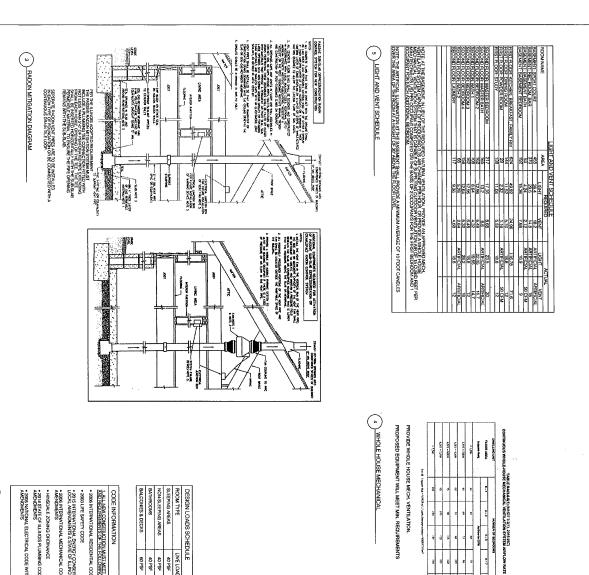
ROOF PLAN DATE: 08/11/18
DANYN BY: JUH
ISSUED FOR FERMIT: 05/14/18
ISSUED FOR CONST;

441 EAST 3RD STREET HINSDALE, ILLINOIS 60521









DESIGN LOADS SCHEDULE	ULE	
ROOM TYPE	LIVE LOAD	DEAD LOAD
SLEEPING AREAS	40 PSF	20 PSF
NON-SLEEPING AREAS	40 PSF	20 PSF
BATHROOMS	40 PSF	20 PSF
BALCONIES & DECKS	60 PSF	50 PSF

 CRAWL SPACE WALLS: 5 1/2" (P-19) "OWENS COPNING" ECOTOLICH PINK FIBERGLAS' PREFORMED FLEXIBLE BLANKET INSULATION UNFACED PERIMETER BASEMENT WALLS AT FINISHED AREAS: 3-1/2" (P-19) YOWENS CORNING HIGH-DENSITY KRAFT-FACED FIBERGLASS
 THERMAL BATT INSULATION ALONG THE PERIMETER.

BATH AND LAUNDRY INTERIOR WALLS & CEILING: 3-1/2" (R-13) KRAFT-BACKED BATTS FOR SOUND ATTENUATION FIRST AND SECOND FLOOR EXTERIOR WALLS: 5-1/2 (R-21) KRAFT-BACKED FIBERGLASS BATT INSULATION AT ALL EXTERIOR WALLS.

GARAGE AND COVERED PORCH CEILINGS (WITH CONDITIONED SPACE ABOVE); (FI-30) MIN, BLOWN-IN CELLULOSE

ATTIC CEILINGS (EXPOSED COLD AIR): (R-49) BLOVIN-IN CELLULOSE

2 DESIGN LOADS + LOCAL CODE

MENTS
NATIONAL ELECTRICAL CODE WITH LOCAL
STATE OF ILLINOIS PLUMBING CODE WITH LOCAL MENTS
DALE ZONING ORDINANCE
INTERNATIONAL MECHANICAL CODE WITH MENTS
INTERNATIONAL ENERGY CONSERVATION CODE W/ AMENDMENTS & STATE OF ILLINOIS AMENDMENTS
LIFE SAFETY CODE
INTERNATIONAL RESIDENTIAL CODE
NEW CONSTRUCTION MUST MEET THE STANDARDS.
CHRESTICIA

OHERWANDLESCHAR SPERS, IPOSIENDERWANDLE KROCKER STATEMENT OF THE SERVICE STATEMENT OF THE S	· —			
PRESCRIPTIVE MATCH OF REALIZING WITH BURNESS WE FOOL PROVIDE MAY COME WORK OF THE TOTAL NEULATED CELLING AREA. LILLIOSE FOR SOURCE ATTENATION. MINIMAND SOTT INSLIATION.  FRECORIES  FRECOR	MAXIMUM ALLOWED UNIT U-VALUE 0.29	PELLA PROJING 450 SERIES	PLUMBING DRAIN PIPES: BLOWN-IN CE     PLUMBING WATER SUPPLY PIPES: R-3 (	CATHEDRAL IVAUL TEDCELLING AREAS:     PER SECTION RADZ.22 OF THE 201     PROVIDE INSULATION VALUES ABORDUCTION OF INSULATION SHALL
	PRESCRIPTIVE METHOD PER THE 2015 IFCC	IECO 2016)	ELLUCSE FOR SOUND ATTENUATION. MENIMUM) BATT INSULATION.	(R-38) BLOWNAN CELLULOSE INSULATION WITH VENT BAFFLES IS IECC, WHERE THERE IS NOT SUFFICIENT SPACE TO VER PAS, PROVIDE A MIN, OF R-30 INSULATION. THIS L BE LIMITED TO 500 SF OR 20% OF THE TOTAL INSULATED CELLING AREA.

ENERGY CODE

A ALL DIVITS ISSUES AND PREFINATIONS  R STEERLY WANDOWN COOKS, AND SYCHOLOUS  R STEERLY WANDOWN COOKS, AND SYCHOLOUS  R STEERLY WANDOWN AND DOOR ASSENDED AND THEIR RESPECTIVE LAMBS AND FRAMING.  DIVIDITY PREFINATIONS  AND AND AND SYCHOLOUS THE THERMAN EAVER OPE  OF THE THE PROPERTY OF THE
F WHER WALLS.  WILLS AND CHINGS SEPHANTING AS GARAGE FROM COMMITTIONED SPACES  G WALLS AND CHINGS SEPHANTING AS GARAGE FROM COMMITTIONED SPACES  HE BEHAND THESE SEPTIMES WELLINGS WHILLS  A COMMINING WAS USED WELLINGS WHILLS WILLIAMS WHILLS  A COMMINING WAS USED WELLINGS WHILLIAMS WHILLS  A COMMINING WAS USED WELLINGS WHILLIAMS WHILLIA
I. OTHER SOURCES OF INFILITIATION
3. ALL FIREPLACES SHALL HAVE GASKETED DOORS.
4. WINDOWS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE. SWINGING DOORS LIMITED TO NO MORE THAN 0.5 CFM PER SQUARE FOOT.
S, RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL BIVELOPE SHALL BE: A, IC-PATED AND LABELED (SUTFABLE FOR INSLICTION COMPACT) B. SEALEN WITH A GASKET OF CALLIK BETWEEN THE FIXTURE HOUSING AND THE CELLING.
6. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM, ALL THERMOSTATS SHALL BE PROGRAMMABLE.
7. IN UNCONDITIONED SPACE, ALL DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8.
8. ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED AT ALL JOINTS ND SEAMS DUCT TAPE OR ANY OTHER UNUSTED TAPE IS NOT PERMITTED.
9. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS.
10, MECHANICAL SYSTEM PIPING CAPABLE OF CAPRYING FLUIDS ABOVE 105 DEGREES FAHRENHEIT SHALL BE INSULATED TO MINIMUM OF R-3.
11. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM R-3 WITH READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF HOT WATER CIRCULATING PUMP WHEN SYSTEM IS NOT IN USE.
12, OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT IN USE.
13. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS
HADIOTS, ARE HANDERS, AND FLETBROXES SHALL BE SELECTIO DICTS SHALL BE FRESSILITE ITSTED TO DETERMINE ARE LEXAGE WITH DOCEPTION DICTS LOCATED BATHER. WITHOUT BOODE REQUIREMENTS HER PROBLEMENT OF THE TEST RESULTS (BITHER PROBLEM HERS AND PROBLEMEDT OF THE TEST RESULTS CONDUCTION THE EST AND PROPROBLED TO HE CODE EPICHAL.
16. THE BULDING THEBMAL ENFELORE SHALL BE CURRELY SEALED TO LIMIT ARE INTELTRATION IN ACCORDANCE WITH SECTION 402.4.1. IF THE BULDING, OFFICIAL IS NOT SATISFED WITH THE MUSISHIES TAKEN TO SEAL THE BULDING, A THIRD PARTY TEST MAY BE RECURRED AT THE CONTRACTIONS EXPENSE.
16. APERANJENT BERDY CRITICALITÉ VALUE COMPLETE NA PYSTED OND IN THE ELCTRICAL DISTRIBUTION PAREL. THE CRITICALIE SHALL LIST THE PREDAMENT HANALES OF INSLATION (NEXTLED) LYACTÓRS SHÓC OF TREISTRIPION, NOT THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENFELORE ARI LEMANGE TESTING DOME ON THE BUILDING PER 2015 IECC, 401.3.
17. A BLOWER DOOR TEST SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED AND PROVIDED TO THE CODE OFFICIAL- 2015 IECC, 401.4.1.2
 18 THE INSTALTON NISTALESS SHALL PROJUCE A CERTIFICATION LISTING THE TYPE MANUFACTURED AND FAVALLE OF INSTALLATION IN EXCHELIGIBLE OF THE BILLIANS THE PERMAL NISTALES. THE RISTAL FOUNDATION SHALLES SHALL SIGN, DATE, AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION AT THE JOB SITE. 2019 EDC PROG. 1.1.
INSULATION NOTES
BASEMENT FLOOR SLAB (ON OUTSIDE FACE):
<ul> <li>FOUNDATION WALLS AT UNFINISHED BASEMENT: MIN. R-15 "CERTAINTEED" PSK: FIBER GLASS BLANKET INSULATION DOWN 4:0" BELOW GRADE, CONTINUOUS, TO TOP OF BASEMENT WALL.</li> </ul>

HO N STREET DOWNERS GROVE, ILLINOIS (630)241-9402 www.oakleyhomebuilders.com

2-2 4-5 4-7 >7

CUMATE

PENESTRATION 0.29

SKYLIGHT

CEILING 0.026

FRAME WALL

WALL 0.582

H-FACTOR

BASEMENT WALL PACTOR 0.050

SPACE WALL NAVALUE

0.033

TABLE 402.1.3 EQUIVALENT U-FACTORS ATIONAL ENERGY CONSERVATION CODE

8

0.057

GENERAL NOTES

1. ATIC ACCESS PANELS MUST BE RISULATED TO MATCH THE RISULATION VALUE OF THE ATTIC MOD MUST BE WEATHER-STRUPED 2. THE BUILDING THERMAL ENKELOPS SHALL BE LORGARY SEALED TO JUMIT PRITIATION. THE SEALING METHODS BETWEEN DISBURLAH MATERIALS SHALL ALLOW OF OPERBETRING JE ROWSKOSON AND CONTRACTION.

THE FOLLOWING SHALL BE CAULKED, WEATHER-STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FLM, OR SOLID MATERIAL:



NOTE: TO PROVIDE COMPLANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, THIS PROJECT WILL BE BUILT USING THE PRESCRIPTIVE METHOD INDICATED IN THE INTERNATIONAL ENERGY CONSERVATION CODE:

ENERGY CONSERVATION

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONE 2015 INTERNATIONAL ENERGY CONSERVATION CODE

CLIMATE

FENESTRATION UHACTOR

SKYLIGHT

GLAZED FENESTRATION SHGC

CEILING FRAME WALL
R-VALUE R-VALUE

WALL WALL RAVALUE 13/17

R-VALUE

BASEMENT WALL R-VALUE 15/19

SLAB R-VALUE & DEPTH 10 2 FT.

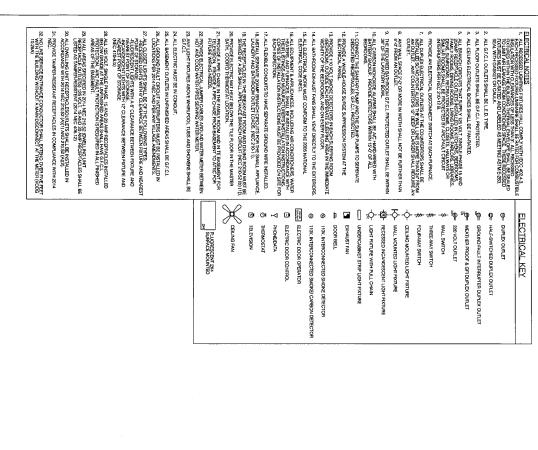
SPACE WALL PAYALII

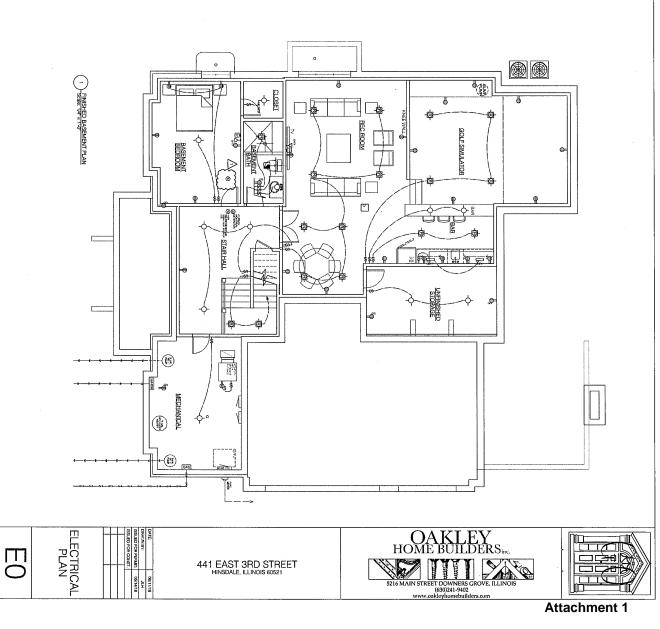
13 OR

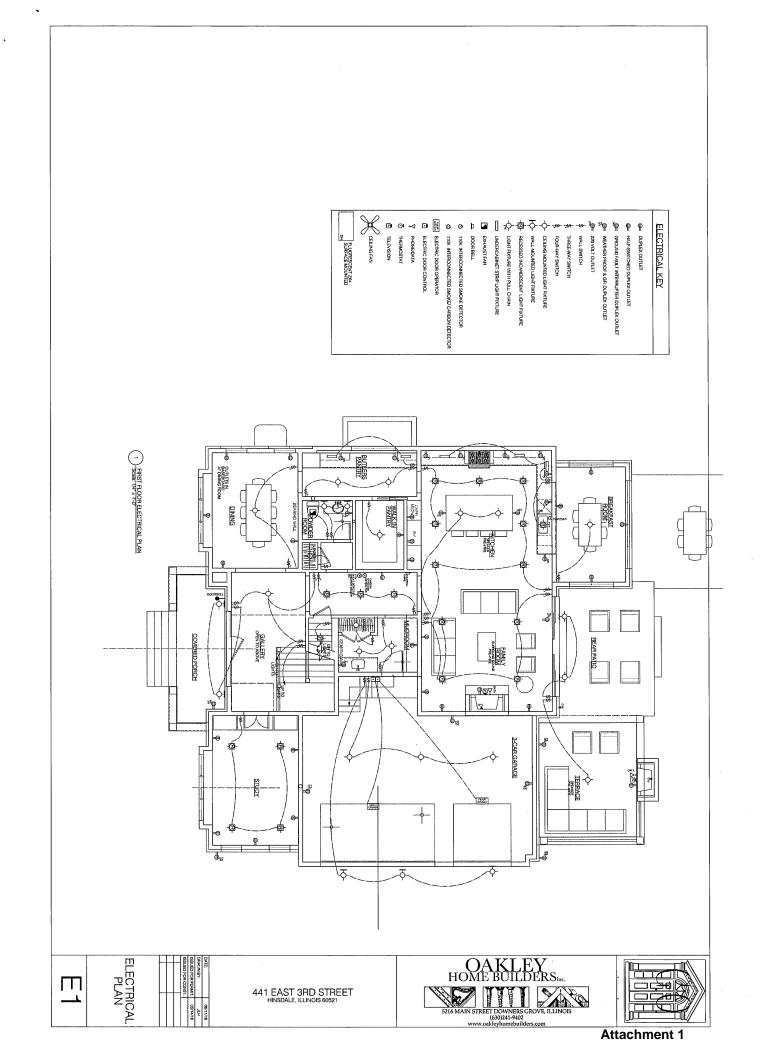
30"

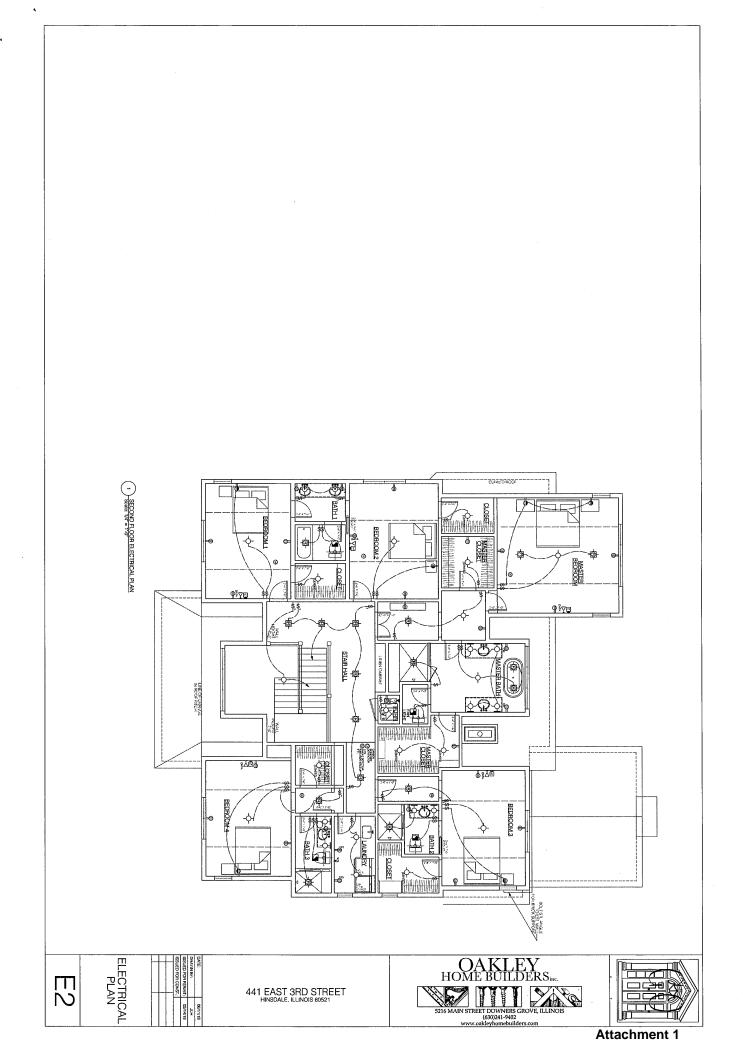
22

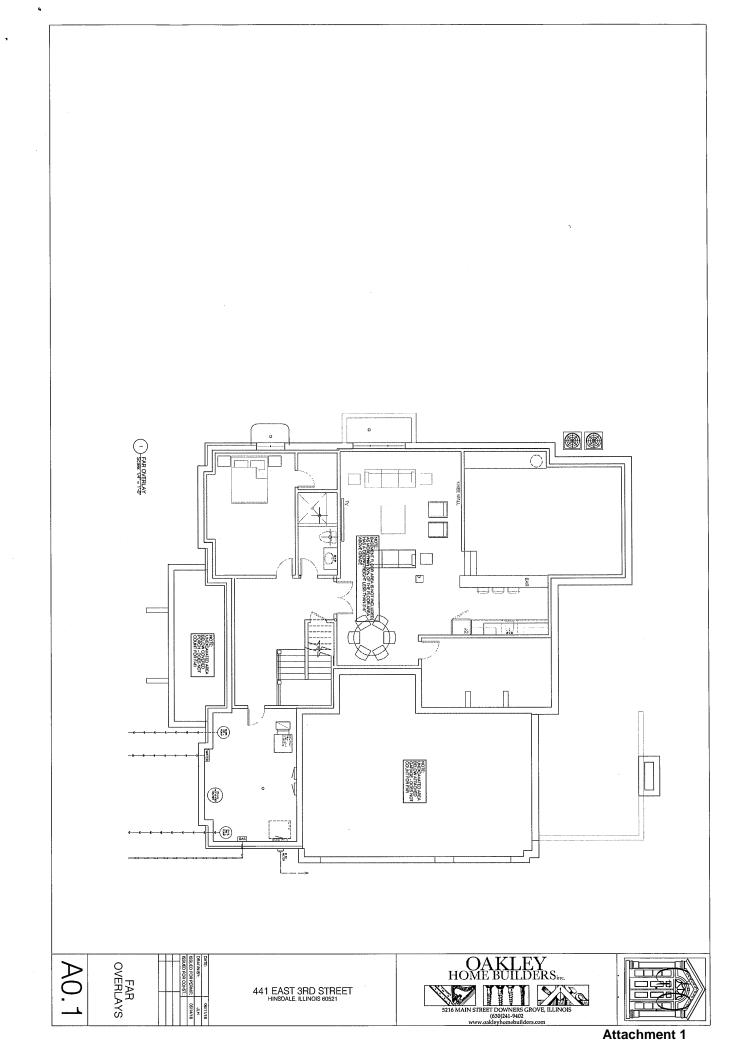
255

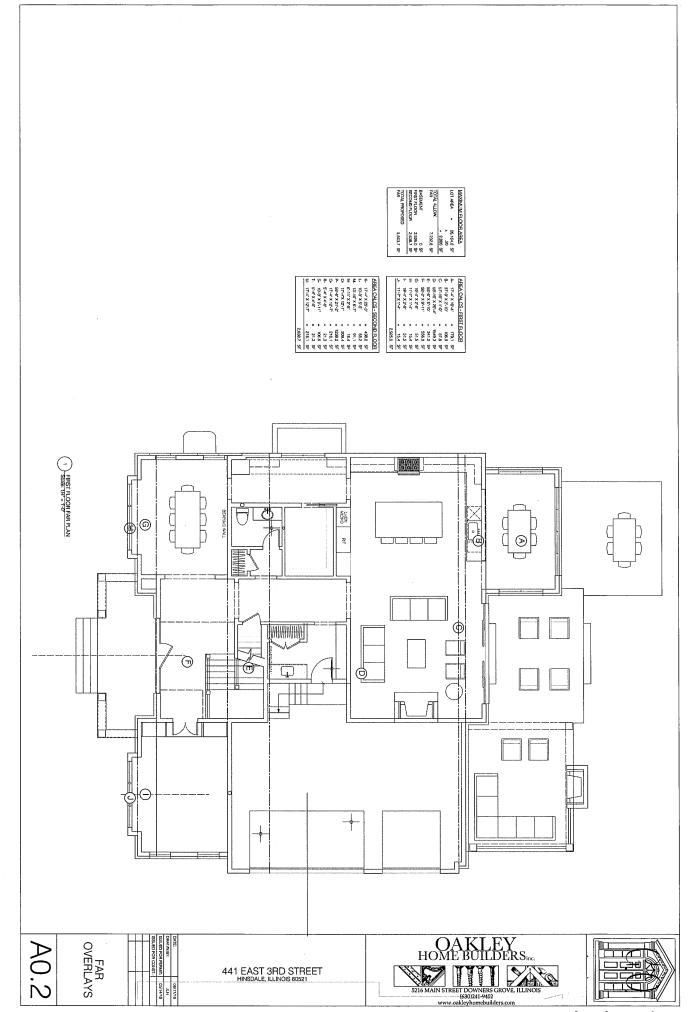


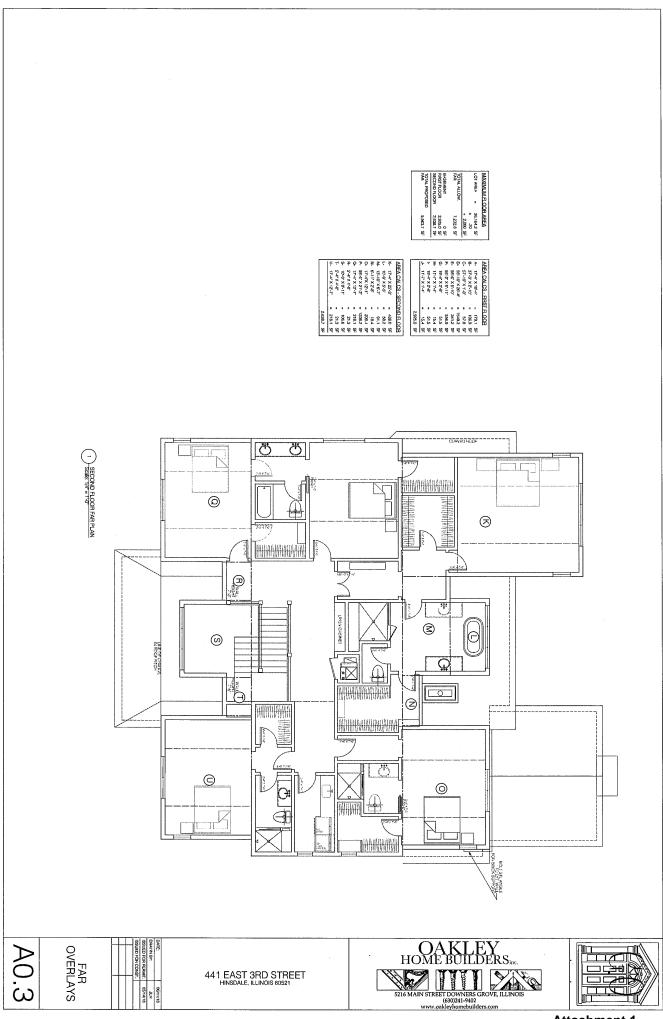


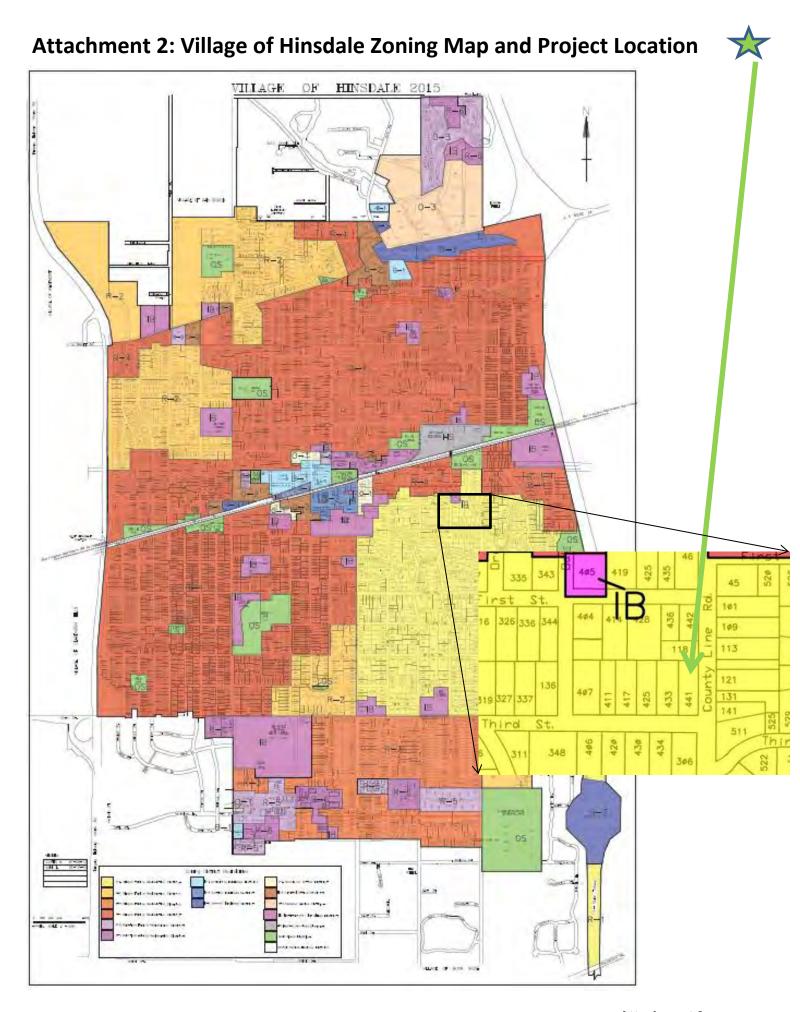




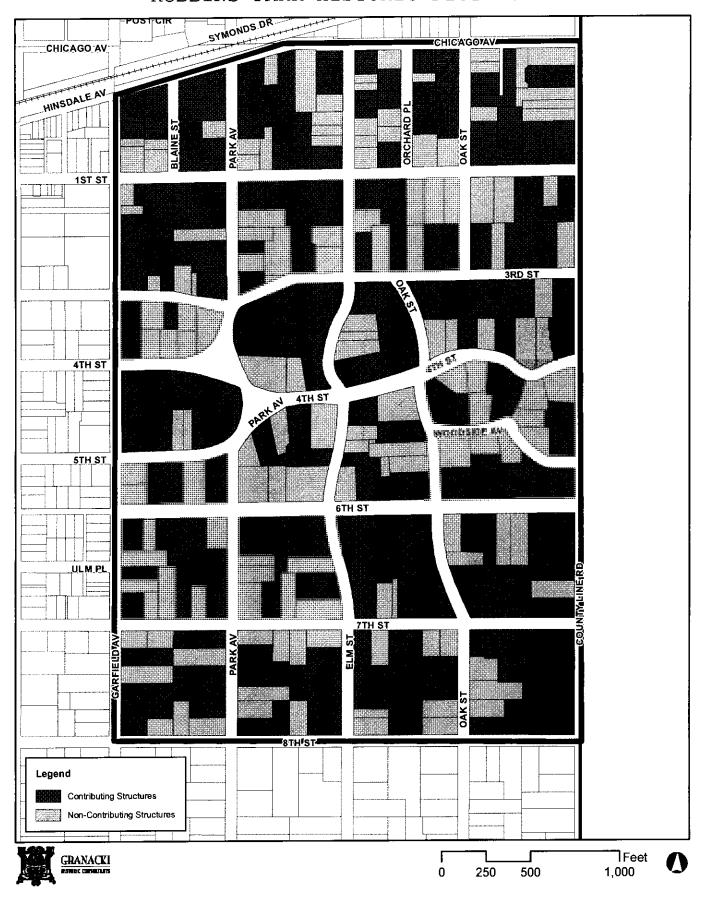








# ROBBINS PARK HISTORIC DISTRICT



## Attachment 4

## **CERTIFICATE OF APPROPRIATENESS**

#### 14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

## A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

## B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

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STATE OF ILLINOIS )
) ss:
COUNTY OF DU PAGE )
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BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

In the Matter of:

Case No. HPC-04-2017

441 East Third Street.

REPORT OF PROCEEDINGS had and testimony taken at the Certificate of Appropriateness

Public Hearing of the above-entitled matter

before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale,

Illinois, on the 9th day of August 2017, at the hour of 6:00 p.m.

#### BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MS. JANICE D'ARCO, Member;

MR. JIM PRISBY, Member;

MR. FRANK GONZALEZ, Member;

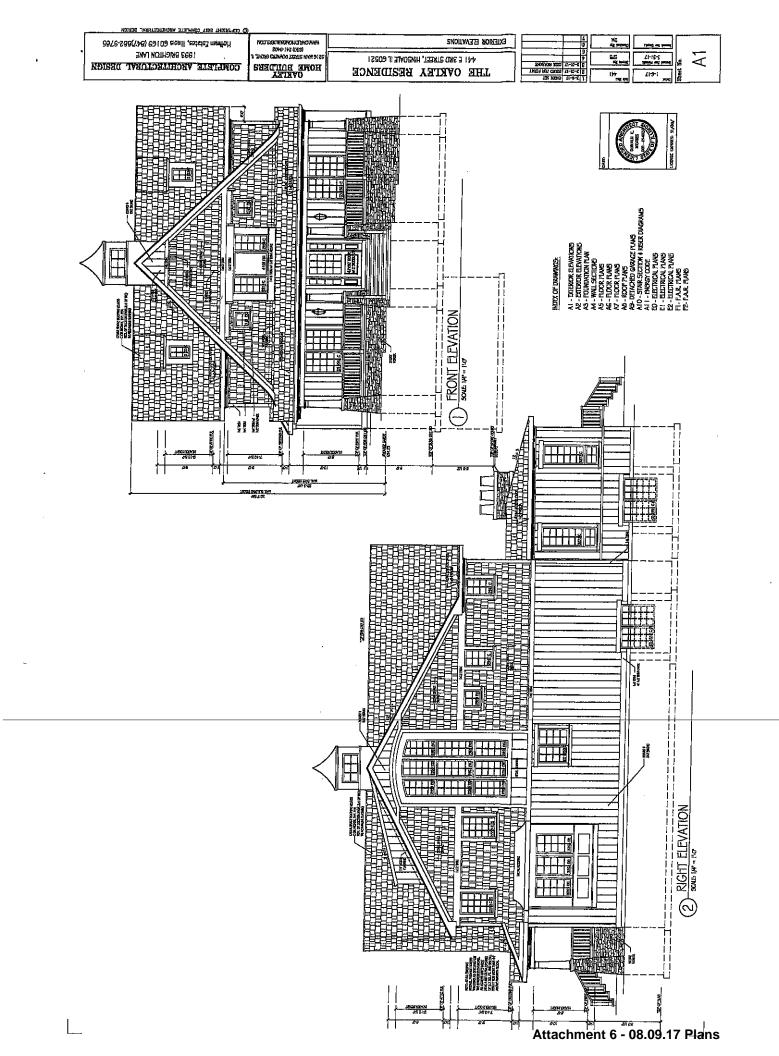
MS. SHANNON WEINBERGER, Member.

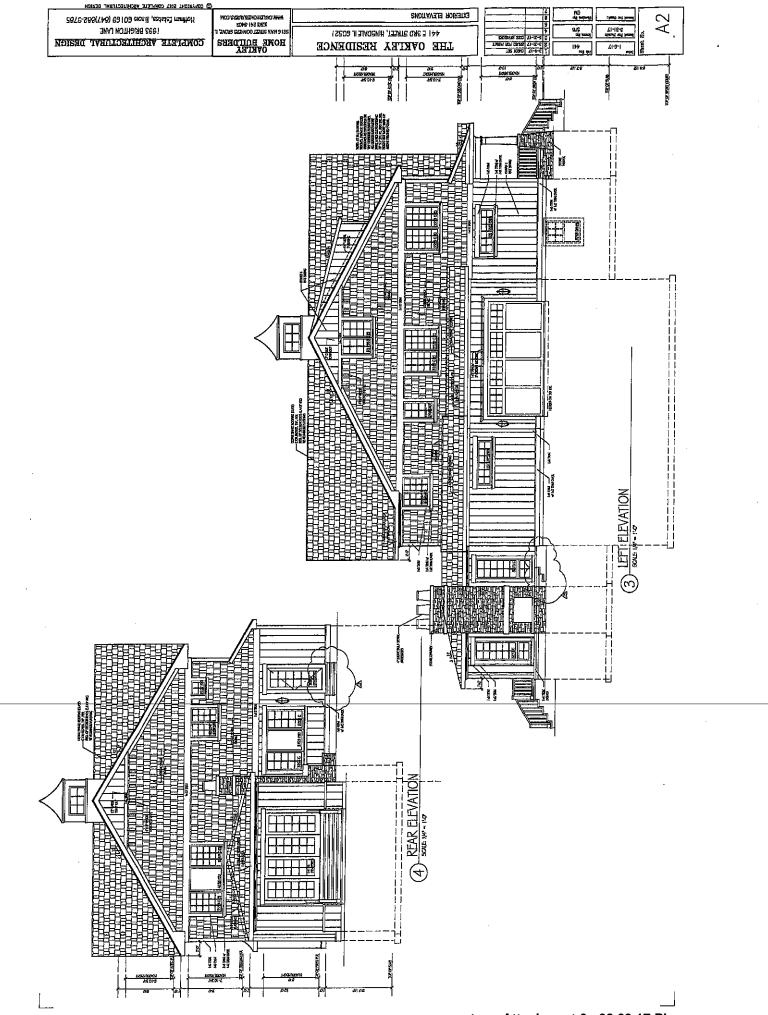
1 .	2		4
1	ALSO PRESENT:	1	The structure itself you could go
2	MR. CHAN YU, Village Planner;	2	put your finger right through the bottom base of
		3	the house. The garages were added on and it's
3	MR. PETER COULES, Attorney for	4	very dangerous to go on from County Line. If
,	Applicant;	5	anyone did go see the house, hopefully you
4	MR. RYAN DUNHAM, Applicant.	6	parked on Third Street because you can't even
5		7	see coming down from County Line.
		8	So I'll show some pictures of the
6		9	inside of the house. There's a part of the
7	CHAIDMAN BOUNEN. We will open the	06:18:00PM 10	house where I have to duck to go into it because
8	CHAIRMAN BOHNEN: We will open the public hearing on Case HPC-04-2017, and anybody	11	it was an addition built, I'm sure without a
9	that is going to speak, approach the podium and	12	permit or something, over some period of time
06:16:16PM <b>10</b>	be sworn in.	13	where they did the kind of work.
11	(WHEREUPON, Mr. Coules and	14	These are the front of the houses
12	Mr. Dunham were administered the oath.)		
14	Mr. Coules, would you like to start	15	that I took first. This shows what was one
15	us out?	16	of the additions that was done on the house to
16	MR. COULES: I would. So what I have	17	the sides. Both sides of the house were blown
17	done is I went out to the house myself, I took	18	out by somebody over time. I don't know who did
18 19	some supplemental pictures that I'll show everybody and talk a little bit about the house.	19	it. The records are too old to know when it was
06:16:46PM <b>20</b>	The house was built in 1906. Some	06:18:26PM <b>20</b>	done. There's nothing in the village because it
21	of the problems with the house is the commission	21	was done way before the '80s when all the work
22	like this, and I did make the comment tonight,	22	was done to this house.
	3		5
1	it's nice to see seven people up here myself to	1	
			5
1	it's nice to see seven people up here myself to	1	5 They did modernize a galley
1 2	it's nice to see seven people up here myself to my client, is there was no boards along the	1	They did modernize a galley kitchen. And you can see where they actually
1 2 3	it's nice to see seven people up here myself to my client, is there was no boards along the years.	1 2 3	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley
1 2 3 4	it's nice to see seven people up here myself to my client, is there was no boards along the years.  When one goes out and sees this	1 2 3 4	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley kitchen. There were bump outs that weren't
1 2 3 4 5	it's nice to see seven people up here myself to my client, is there was no boards along the years.  When one goes out and sees this house, you can see that there was addition upon	1 2 3 4 5	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley kitchen. There were bump outs that weren't designed for this kind of a house.
1 2 3 4 5	it's nice to see seven people up here myself to my client, is there was no boards along the years.  When one goes out and sees this house, you can see that there was addition upon addition upon addition slapped onto this house.	1 2 3 4 5	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley kitchen. There were bump outs that weren't designed for this kind of a house. This is the family room, believe it
1 2 3 4 5 6 7	it's nice to see seven people up here myself to my client, is there was no boards along the years.  When one goes out and sees this house, you can see that there was addition upon addition upon addition slapped onto this house.  The house is literally falling down in more than	1 2 3 4 5 6 7	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley kitchen. There were bump outs that weren't designed for this kind of a house.  This is the family room, believe it or not. You walk in and you are in a looks
1 2 3 4 5 6 7 8	it's nice to see seven people up here myself to my client, is there was no boards along the years.  When one goes out and sees this house, you can see that there was addition upon addition upon addition slapped onto this house.  The house is literally falling down in more than one spot on the house. The foundation cannot	1 2 3 4 5 6 7 8	They did modernize a galley kitchen. And you can see where they actually have just thrown rooms on the back of the galley kitchen. There were bump outs that weren't designed for this kind of a house.  This is the family room, believe it or not. You walk in and you are in a looks like a Viking ship, seriously. How and who
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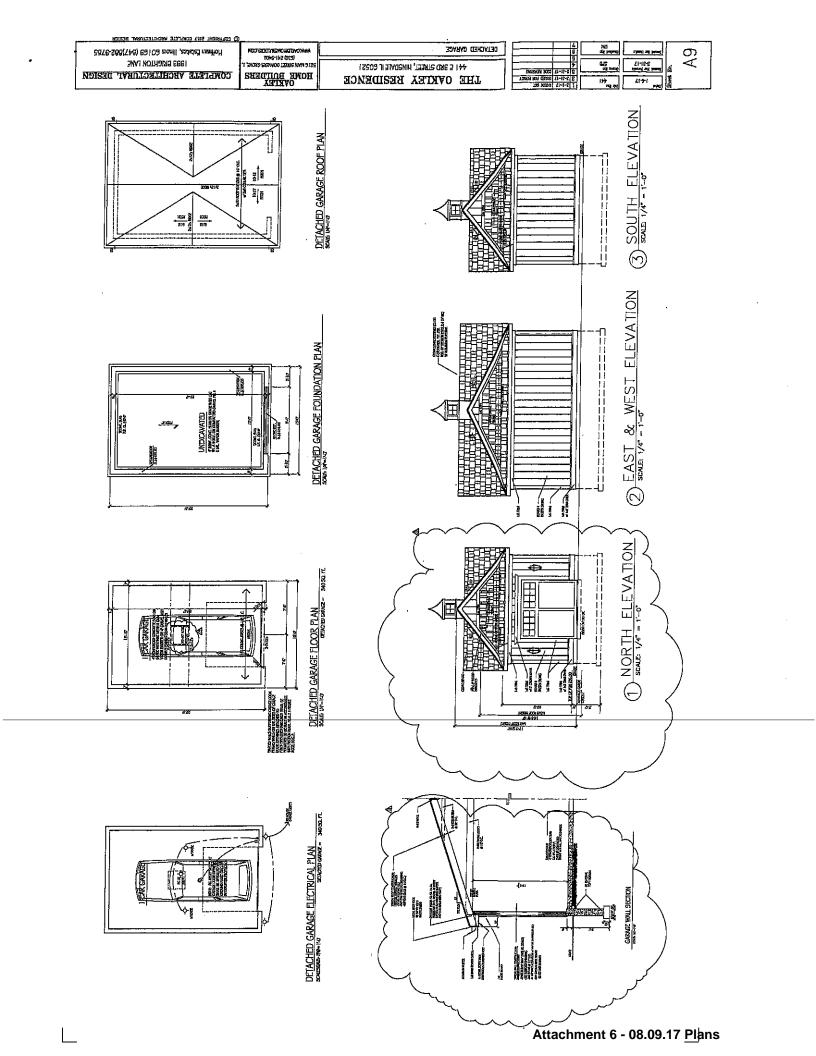
	6		8
1	back two different or three different edifices,	1	it was done.
2	but these additions because the garage looks	2	So the main front of the house when
3	like a 1970's style of garage, it's put on the	3	you first see it, it doesn't look that bad until
4	side of the house with the stucco that's on	4	you walk up to it. When you walk up to it, as I
5	there.	5	said, everything is delaminated from the middle
6	This is upstairs. They even built	6	part of the house down. The foundation is not
7	out the third floor where the eaves in the third	7	usable.
8	floor are sitting at about four feet. So I know	8	There's been at least two additions
9	today you couldn't do that. I don't know when	9	that I as a layman can tell have been done over
06:19:52PM <b>10</b>	it was done, but you can't even the third	06:21:36PM <b>10</b>	the timeframe, and there's nothing left of the
11	floor you duck to go up, and then you duck	11	original house except two rooms. Everything
12	everywhere you walk up there and the basement is	12	else is gone. So that's why they tried to save
13	even higher.	13	it. They looked at it. They wanted to at least
14	This shows that there's cracking	14	save part of it. Save the foundation. Nothing
15	and everything is delaminating on this house.	15	is even saveable. Roof itself it's surprising
16	The Dryvit like I said and it's true	16	it's still up. I don't really think you can
17	Dryvit material, it's not even cement stucco.	17	even have anyone living there tomorrow.
18	It's the kind of material that will have to be	18	CHAIRMAN BOHNEN: Okay. Members of our
19	replaced.	19	commission that went out to see this house,
06:20:12PM <b>20</b>	This is one of the additions which	06:22:02PM <b>20</b>	would you
21	is the garage that's built off of County Line.	21	MR. GONZALEZ: I only drove by it; I
22	It definitely does not go with a prairie style	22	didn't go inside.
	7		9
1	house. And what they are designing to do now,	1	MS. D'ARCO: I have been in the house.
2	if you noticed in your plans, is to get rid of	2	Not recently. It's been on the market since
3	anybody accessing the house off of County Line	3	2014 and it sold last year, so it's been vacant
4	and coming solely off of Third Street with a	4	for quite some time. It doesn't surprise me
5	T	_	
۱ ۵	garage. The backyard, once you orientate the	5	that things are happening. I had walked through
6	house as truly being off of Third Street, the	6	that things are happening. I had walked through the house and I agree with all the points you
7	house as truly being off of Third Street, the backyard of the property is really deep and		
_	house as truly being off of Third Street, the	6	the house and I agree with all the points you
7 8 9	house as truly being off of Third Street, the backyard of the property is really deep and really nice.  I know Mr. Willett had a chance to	6 7 8 9	the house and I agree with all the points you made here today.  MR. COULES: It's actually a shame that someone did it that way. I was surprised when I
7 8 9 06:20:42PM 10	house as truly being off of Third Street, the backyard of the property is really deep and really nice.  I know Mr. Willett had a chance to go out to the property and see that. Because I	6 7 8 9 0622:32PM 10	the house and I agree with all the points you made here today.  MR. COULES: It's actually a shame that someone did it that way. I was surprised when I walked in there.
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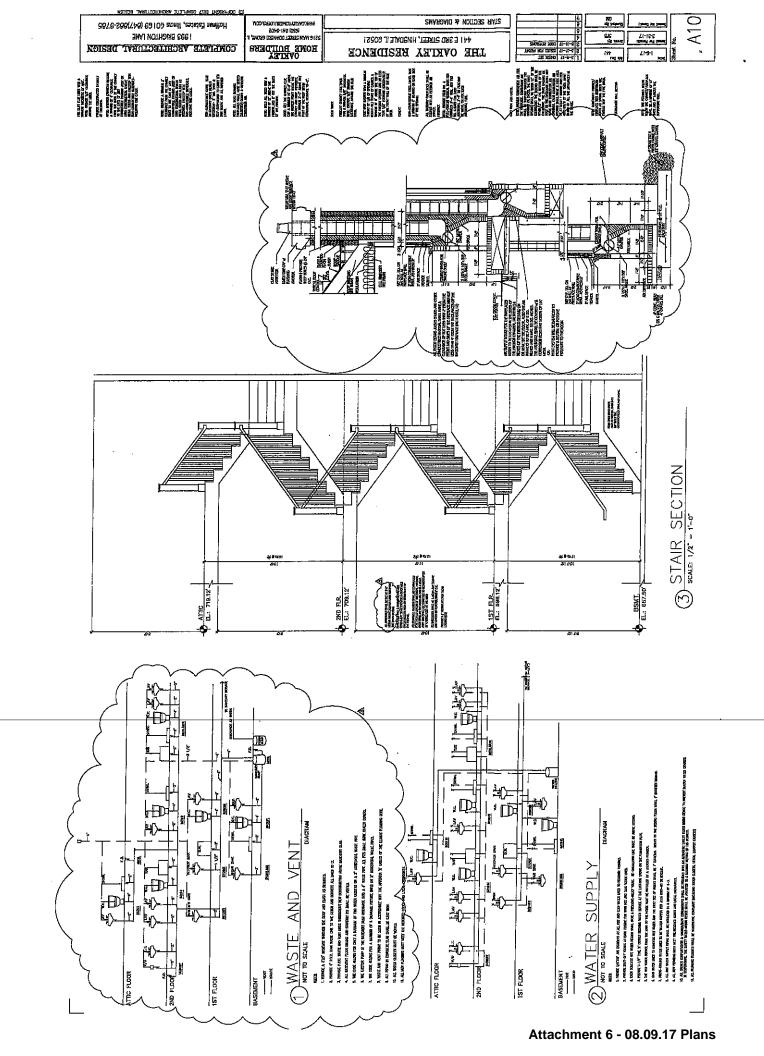
	10		12
1	no were no takers.	1	opportunity to I think there's too many
2	CHAIRMAN BOHNEN: Shannon, did you have	2	issues with the home overall and from the
3	a chance?	3	standpoint the request to teardown, I don't have
4	MS. WEINBERGER: I did not.	4	a concern with holding that back.
5	MR. PRISBY: I'm familiar with that	5	CHAIRMAN BOHNEN: Anybody else that
6	house. I know the issues that they are having.	6	have any other comments?
7	You can see them from the exterior. I did not	7	MR. PRISBY: Sounds to me like it's old
8	get a chance to go inside the house. The photos	8	but not historic. The structural issues are so
9	were pretty evident what's going on.	9	great that the value of trying to restore that
06:23:24PM 10	CHAIRMAN BOHNEN: Tom?	06:25:50PM 10	house is just beyond repair economically.
11	MR. WILLETT: Yes. So I walked the	11	CHAIRMAN BOHNEN: I agree with all the
12	neighborhood trying to get a sense on and	12	comments that have been made. I did have
13	this is a historic district. I wanted to get a	13	occasion to go through the house early on when
14	broader view before going in the house.	14	it first came on the market and it even had
15	Seems like a lot of the homes with	15	foundation problems, water problems in the
16	what I can see weren't necessarily really old	16	foundation.
17	homes, ones have been built to try to emulate	17	MR. COULES: Yes, it does.
18	old characteristic or style. So started there.	18	CHAIRMAN BOHNEN: To me it just
19	Then we did a walk through of the	19	basically gone too far along in the process and
06:23:56PM <b>20</b>	house both exterior and saw several pretty	06:26:20PM <b>20</b>	sort of cobbled together architecturally, so I
21	severe structural issues in terms of the roof as	21	would concur also.
22	Mr. Coules referenced earlier. Lots of issues	22	So I guess at this point may I have
	11		13
1	with the overhang and just general overall	1	a motion to approve the request for a
1 2	with the overhang and just general overall design but structurally there are a lot of	1 2	a motion to approve the request for a certificate of appropriateness to demolish?
3	with the overhang and just general overall		a motion to approve the request for a
2	with the overhang and just general overall design but structurally there are a lot of challenges exterior wise.  Interior, to echo Janice's key	2	a motion to approve the request for a certificate of appropriateness to demolish?  MR. WILLETT: I'd like to submit a motion to approve the request to demolish 441
3	with the overhang and just general overall design but structurally there are a lot of challenges exterior wise.  Interior, to echo Janice's key point, that in walking through the house it does	3	a motion to approve the request for a certificate of appropriateness to demolish?  MR. WILLETT: I'd like to submit a motion to approve the request to demolish 441 East Third Street.
3 4	with the overhang and just general overall design but structurally there are a lot of challenges exterior wise.  Interior, to echo Janice's key point, that in walking through the house it does not flow. It is not, I feel, in its current	2 3 4	a motion to approve the request for a certificate of appropriateness to demolish?  MR. WILLETT: I'd like to submit a motion to approve the request to demolish 441 East Third Street.  CHAIRMAN BOHNEN: May I have a second,
2 3 4 5	with the overhang and just general overall design but structurally there are a lot of challenges exterior wise.  Interior, to echo Janice's key point, that in walking through the house it does not flow. It is not, I feel, in its current layout a home that would meet this current	2 3 4 5	a motion to approve the request for a certificate of appropriateness to demolish?  MR. WILLETT: I'd like to submit a motion to approve the request to demolish 441  East Third Street.  CHAIRMAN BOHNEN: May I have a second, please?
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1 STATE OF ILLINOIS )
               ) ss:
2 COUNTY OF DU PAGE )
3
             I, KATHLEEN W. BONO, Certified
4 Shorthand Reporter, Notary Public in and for the
5 County DuPage, State of Illinois, do hereby
6 certify that previous to the commencement of the
7 examination and testimony of the various
8 witnesses herein, they were duly sworn by me to
9 testify the truth in relation to the matters
10
   pertaining hereto; that the testimony given by
11 said witnesses was reduced to writing by means
12 of shorthand and thereafter transcribed into
13
    typewritten form; and that the foregoing is a
14
   true, correct and complete transcript of my
15
   shorthand notes so taken aforesaid.
16
             IN TESTIMONY WHEREOF I have
17
    hereunto set my hand and affixed my notarial
18
    seal this 18th day of August, A.D. 2017.
19
20
                   KATHLEEN W. BONO,
21
                   C.S.R. No. 84-1423,
                   Notary Public, DuPage County
22
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STATE OF ILLINOIS )
) ss:
COUNTY OF DU PAGE )
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BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

In the Matter of:

Case No. HPC-01-2018

441 East Third Street.

REPORT OF PROCEEDINGS had and testimony taken at the Certificate of Appropriateness

Public Hearing of the above-entitled matter

before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale,

Illinois, on the 7th day of February 2018, at

the hour of 6:30 p.m.

#### BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MR. FRANK GONZALEZ, Member;

MS. JANICE D'ARCO, Member;

MR. JIM PRISBY, Member; and

MS. SHANNON WEINBERGER, Member.

,	2		4
1	ALSO PRESENT:	1	to have the breadth and the look from the
2	MR. LANCE MALINA, Village Attorney;	2	street, and all the grass look a lot nicer to
		3	the people that live along Fourth Street there.
3	MR. CHAN YU, Village Planner;	4	So you are going to keep it an open nice look,
4	MR. PETER COULES, Attorney for Petitioner;	5	small driveway off of County Line Road. And
5	. 3,	6	then it also allows the house to stay up on the
	MS. JENNIFER HENSE, Representative of	7	hill, so it keeps the presence it has presently.
6	Builder.	8	And the other major change, and
7		9	Jennifer can attest to that, is the roofline of
		06:36:40PM <b>10</b>	the front of the house which gave it a different
8	CHAIRMAN BOHNEN: Mr. Coules, please	11	look. It's still going to be a cream color
9 06:34:42PM 10	step up for Case HPC-01-2018 Public Hearing. We	12	off-white type of home, but the roofline went
06:34:42PM 10	will open the public hearing and anybody that's going to be speaking at the public hearing,	13	from a true gable to
12	please rise and be sworn in so that you can	14	MS. HENSE: A gambrel.
13	speak. And I'd ask that anyone who is going to	15	MR. COULES: a gambrel. Which is a
14 15	speak at the public hearing, please approach the	16	name that I'm not familiar with and I didn't
16	podium and use the microphone when it's your time so that people at home can hear us discuss	17	want to mispronounce it.
17	this.	18	So that was the main change of the
18	(WHEREUPON, Mr. Coules and	19	look of the house from the street and it was to
19 06:35:22PM <b>20</b>	Ms. Hense were administered	06:37:00PM <b>20</b>	keep the grass up front, keep the bigger
06:35:22PM <b>20</b>	the oath.) MR. COULES: Good evening. We will be	21	backyard. The driveway alone would have been a
22	brief. This is a matter that we were before you	22	major change, but they also changed the
1			
	3		5
1	in November. This house, we don't need to go	1	7 roofline. So there's two really major changes
1 2		1 2	
1 _	in November. This house, we don't need to go		roofline. So there's two really major changes
2	in November. This house, we don't need to go through it again, everyone voted unanimously to	2	roofline. So there's two really major changes to the home. That's what we are here for
3	in November. This house, we don't need to go through it again, everyone voted unanimously to tear it down. The house is in really bad shape	3	roofline. So there's two really major changes to the home. That's what we are here for approval for tonight and, hopefully, it's not an
3 4	in November. This house, we don't need to go through it again, everyone voted unanimously to tear it down. The house is in really bad shape inside. There's hodgepodge of additions as time	2 3 4	roofline. So there's two really major changes to the home. That's what we are here for approval for tonight and, hopefully, it's not an issue.
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	6		8
1	evening.	1	MR. PRISBY: So the drain is this way?
2	MS. D'ARCO: Is the number of spaces	2	MS. HENSE: Right.
3	changing at all?	3	MR. PRISBY: Frank?
4	MS. HENSE: No, still a three car.	4	MR. GONZALEZ: Yes. Let me see it.
5	MR. COULES: I have a color rendition	5	MR. COULES: One of the nicest things
6	of the actual house. This is actually what's	6	is this lot itself. The backyard is immense.
7	going to be built.	7	When I went back there the first time, I was
8	MR. GONZALEZ: Do you have like a site	8	surprised because they hide it well.
9	plan showing	9	MR. PRISBY: It's much higher at that
06:38:28PM 10	MR. COULES: Where it sits on the	06:40:36РМ 10	curb cut. It goes down and continues down to
11	property, I do not, with me. Maybe Jennifer	11	Third Street?
12	does. I will approach if I can. Here's the	12	MR. COULES: Correct.
13	color rendition.	13	MS. D'ARCO: It does sit nicely.
14	MR. GONZALEZ: Thank you.	14	MR. GONZALEZ: Okay. I'm good.
15	MR. PRISBY: If you can't find it, it's	15	MR. COULES: Thank you.
16	not the end of the world.	16	MR. GONZALEZ: I understand.
17	MR. COULES: That became the issue after	17	MR. PRISBY: I have no issues with
18	the original plans were brought to you after	18	this.
19	they started laying it out on the property.	19	MS. D'ARCO: Me neither.
06:39:00PM <b>20</b>	They were not using the topography of the	06:41:34PM <b>20</b>	MS. WEINBERGER: No.
21	property.	21	MR. GONZALEZ: I'm good.
22	MR. GONZALEZ: I think this photograph	22	CHAIRMAN BOHNEN: Okay. Mr. Coules,
	7		9
1	7 shows a driveway. Is that the old design?	1	9 thank you. Thank you, Ms. Hense.
1 2	·	1 2	
	shows a driveway. Is that the old design?		thank you. Thank you, Ms. Hense.
2	shows a driveway. Is that the old design?  MR. COULES: The driveway goes through.	2	thank you. Thank you, Ms. Hense.  We need a motion to accept the
3	shows a driveway. Is that the old design?  MR. COULES: The driveway goes through.  MS. HENSE: Maintain the driveway off	3	thank you. Thank you, Ms. Hense.  We need a motion to accept the changes to the driveway and the gables as
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2 3 4 5 6	shows a driveway. Is that the old design?  MR. COULES: The driveway goes through.  MS. HENSE: Maintain the driveway off of County Line.  MR. PRISBY: Okay. Maintain the existing curb cut?	2 3 4 5 6	thank you. Thank you, Ms. Hense.  We need a motion to accept the changes to the driveway and the gables as presented.  Do we have a motion?  MS. D'ARCO: I motion to approve the
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1	(WHICH, were all of the
2	proceedings had, evidence
3	offered or received in the
4	above entitled cause.)
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1	STATE OF ILLINOIS )
1 2 3 4 5 6	STATE OF ILLINOIS ) ) ss:  COUNTY OF DU PAGE )  I, KATHLEEN W. BONO, Certified Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the
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2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17	STATE OF ILLINOIS ) ) ss:  COUNTY OF DU PAGE )  I, KATHLEEN W. BONO, Certified Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters pertaining hereto; that the testimony given by said witnesses was reduced to writing by means of shorthand and thereafter transcribed into typewritten form; and that the foregoing is a true, correct and complete transcript of my shorthand notes so taken aforesaid.  IN TESTIMONY WHEREOF I have
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