



MEETING AGENDA

**MEETING OF THE
HISTORIC PRESERVATION COMMISSION
Wednesday, April 4, 2018
6:30 P.M.
MEMORIAL HALL – MEMORIAL BUILDING
(Tentative & Subject to Change)**

- 1. CALL TO ORDER**
- 2. MINUTES** – Review and approval of the minutes from the February 7, 2018, and March 7, 2018, meetings.
- 3. SIGNAGE IN THE HISTORIC DOWNTOWN DISTRICT**
 - a) Case A-17-2018 – 22 W. First Street – John Greene Realtor – 2 Wall Signs
- 4. PUBLIC HEARINGS – CERTIFICATE OF APPROPRIATENESS**
 - a) Case HPC-02-2018 – 120 E. 5th Street - Request for Certificate of Appropriateness to construct a new home in the Robbins Park Historic District.
- 5. DISCUSSION**
 - a) A general discussion about Landmarking
- 6. ADJOURNMENT**

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Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

February 7, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale

6:30 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on February 7, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Gonzalez, Commissioner Prisby,
Commissioner Weinberger and Commissioner D'Arco
Absent: Commissioner Williams
Also Present: Chan Yu, Village Planner

Minutes

Chairman Bohnen introduced the minutes from the January 10, 2018, meeting and asked for any questions. With no questions regarding the minutes, the HPC **unanimously approved, 5-0** (1 absent) the minutes from the January 10, 2018, meeting.

Chairman Bohnen asked for a motion to move the Public Hearing Agenda item (4) before item (3). The HPC unanimously approved, 5-0 (1 absent).

Public Hearing

Case HPC-01-2018 – 441 E. Third St. – Request for Certificate of Appropriateness for revisions to previously approved new home plans (HPC-04-2017) in the Robbins Park Historic District.

Mr. Pete Coules, representing Oakley Home Builders, presented to the HPC, and explained this request is back because the plans have changed after the HPC approved it in August, 2017. The only changes include shifting the driveway a minimal distance and a new roof style. While minimal, the applicant acknowledged it is nevertheless different than what the HPC initially approved.

With no concerns by the HPC, a motion to recommend **approval** of the application, as submitted, was **unanimously approved, 5-0** (1 absent)

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-01-2018

Findings and Recommendations

Case HPC-10-2017 – 244 E. First Street - Request to withdraw the local landmark designation for the home in the Robbins Park Historic District.

Chairman Bohnen, recused himself for this agenda item, and Acting Chairman Gonzalez introduced the draft Findings and Recommendations. The Village Attorney, Lance Malina, summarized the language difference in the codified Title 14 Section, 14-4-1(E), and what was actually approved by the Board in 2014:

The originally proposed standard was: “The owner of the structure, building or site demonstrates that he or she is experiencing significant financial hardship of a nature that has, and will going forward, negatively impact the ability of the owner to adequately maintain the structure, building or site.”

The correct standard as revised and approved by the BOT is: “The owner of the structure, building or site demonstrates that the landmark designation creates significant and continuing financial hardship.”

It is the Village’s opinion that the language difference has no effect on the draft Findings and Recommendations.

Mr. Malina also pointed out in paragraph 5, the addition in brackets, should be discussed if Commissioner William’s comment should be included in the Findings. After review, the HPC agreed that it should be removed because the “sales price of a property” could be a financial hardship.

With no other revision requests by the HPC, a motion to recommend **approval** of the Findings and Recommendations, with the elimination of the bracketed sentence in paragraph 5, as discussed, was **unanimously approved, 4-0 (1 absent and 1 abstention)**

Signage in the Historic Downtown District

Case A-01-2018 – 24 Chicago Ave., unit B – FreezeFix – Wall Sign application in the Historic Downtown District.

Chan stated that the proposed wall sign is identical in dimension and material, as the Elysian Nail Spa wall sign, approved by the HPC last month for the same building at 24 Chicago Avenue, and clarified that this is the tenant space next door to it.

With no concerns by the HPC, a motion to recommend **approval** of the sign application, as submitted, was **unanimously approved, 5-0 (1 absent)**

Signage in the Historic Downtown District

Case A-02-2018 – 36 E. Hinsdale Ave. 2nd Floor – Hinsdale Garage (potential restaurant) – Non-compliant Neon-Illuminated Projecting Sign in the Historic Downtown District.

The applicant introduced his restaurant concept and the importance of the proposed sign. As part of his presentation, he showed other historical neon signage in the region, and showed photos of examples of non-historic “looking” signage in the downtown of Hinsdale.


The HPC agreed together, that illumination by neon is unacceptable. The proposed size of the sign was also too large. A Commissioner asked what is allowed by Code, and Chan replied 3 SF for a projecting sign, versus the proposed 33 SF sign. The proposed height of the sign was also an issue for the HPC. However, the primary concerns were the neon illumination and the large sign size of the request.

A motion to recommend **denial** of the sign application, as submitted, was **unanimously approved, 5-0 (1 absent)**

Adjournment

The HPC unanimously agreed to adjourn at 7:43 PM on February 7, 2018.

Respectfully Submitted,

 , Village Planner

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
Case No. HPC-01-2018)
441 East Third Street.)

REPORT OF PROCEEDINGS had and testimony
taken at the Certificate of Appropriateness
Public Hearing of the above-entitled matter
before the Hinsdale Historic Preservation
Commission, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 7th day of February 2018, at
the hour of 6:30 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MR. FRANK GONZALEZ, Member;

MS. JANICE D'ARCO, Member;

MR. JIM PRISBY, Member; and

MS. SHANNON WEINBERGER, Member.

<p style="text-align: right;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MR. LANCE MALINA, Village Attorney;</p> <p>3 MR. CHAN YU, Village Planner;</p> <p>4 MR. PETER COULES, Attorney for</p> <p>5 Petitioner;</p> <p>6 MS. JENNIFER HENSE, Representative of</p> <p>7 Builder.</p> <hr/> <p>8 CHAIRMAN BOHNEN: Mr. Coules, please</p> <p>9 step up for Case HPC-01-2018 Public Hearing. We</p> <p>10 will open the public hearing and anybody that's</p> <p>11 going to be speaking at the public hearing,</p> <p>12 please rise and be sworn in so that you can</p> <p>13 speak. And I'd ask that anyone who is going to</p> <p>14 speak at the public hearing, please approach the</p> <p>15 podium and use the microphone when it's your</p> <p>16 time so that people at home can hear us discuss</p> <p>17 this.</p> <p>18 (WHEREUPON, Mr. Coules and</p> <p>19 Ms. Hense were administered</p> <p>20 the oath.)</p> <p>21 MR. COULES: Good evening. We will be</p> <p>22 brief. This is a matter that we were before you</p>	<p style="text-align: right;">4</p> <p>1 to have the breadth and the look from the</p> <p>2 street, and all the grass look a lot nicer to</p> <p>3 the people that live along Fourth Street there.</p> <p>4 So you are going to keep it an open nice look,</p> <p>5 small driveway off of County Line Road. And</p> <p>6 then it also allows the house to stay up on the</p> <p>7 hill, so it keeps the presence it has presently.</p> <p>8 And the other major change, and</p> <p>9 Jennifer can attest to that, is the roofline of</p> <p>10 the front of the house which gave it a different</p> <p>11 look. It's still going to be a cream color</p> <p>12 off-white type of home, but the roofline went</p> <p>13 from a true gable to --</p> <p>14 MS. HENSE: A gambrel.</p> <p>15 MR. COULES: -- a gambrel. Which is a</p> <p>16 name that I'm not familiar with and I didn't</p> <p>17 want to mispronounce it.</p> <p>18 So that was the main change of the</p> <p>19 look of the house from the street and it was to</p> <p>20 keep the grass up front, keep the bigger</p> <p>21 backyard. The driveway alone would have been a</p> <p>22 major change, but they also changed the</p>
<p style="text-align: right;">3</p> <p>1 in November. This house, we don't need to go</p> <p>2 through it again, everyone voted unanimously to</p> <p>3 tear it down. The house is in really bad shape</p> <p>4 inside. There's hodgepodge of additions as time</p> <p>5 went on.</p> <p>6 So the plans that were originally</p> <p>7 presented have changed. So when they were</p> <p>8 submitted for permit, and I agree with Chan that</p> <p>9 it was a major change, we had to come back</p> <p>10 before the board for permission to construct the</p> <p>11 house that we actually want to construct at this</p> <p>12 time.</p> <p>13 The main changes of the house from</p> <p>14 then to now that made it a major change is the</p> <p>15 driveway is back off of County Line. If it was</p> <p>16 going to be on the north side of the property</p> <p>17 with the way it laid out, we had to move the</p> <p>18 house over 25 feet to get the driveway in and</p> <p>19 get the turn correctly and it kind of pushed the</p> <p>20 house into a weird spot on the property. It</p> <p>21 didn't allow the backyard to stay -- that big</p> <p>22 backyard, the way that it is and allow the house</p>	<p style="text-align: right;">5</p> <p>1 roofline. So there's two really major changes</p> <p>2 to the home. That's what we are here for</p> <p>3 approval for tonight and, hopefully, it's not an</p> <p>4 issue.</p> <p>5 CHAIRMAN BOHNEN: Good. Thank you.</p> <p>6 Can we have discussion on those two</p> <p>7 items, please?</p> <p>8 MR. PRISBY: Is there a site plan in</p> <p>9 here? I want to see the driveway change.</p> <p>10 MS. HENSE: It was in the engineering</p> <p>11 drawing.</p> <p>12 MR. COULES: It's not a surveyor</p> <p>13 drawing.</p> <p>14 MR. HENSE: It would have been a site</p> <p>15 plan drawing by the civil engineer.</p> <p>16 MS. D'ARCO: The garage is currently in</p> <p>17 the back anyway. So I don't think it will be an</p> <p>18 issue.</p> <p>19 MR. PRISBY: I don't think it will be</p> <p>20 an issue. I didn't see one.</p> <p>21 MR. COULES: It's in with the permit</p> <p>22 plans but I don't have it here with me this</p>

<p style="text-align: center;">6</p> <p>1 evening.</p> <p>2 MS. D'ARCO: Is the number of spaces</p> <p>3 changing at all?</p> <p>4 MS. HENSE: No, still a three car.</p> <p>5 MR. COULES: I have a color rendition</p> <p>6 of the actual house. This is actually what's</p> <p>7 going to be built.</p> <p>8 MR. GONZALEZ: Do you have like a site</p> <p>9 plan showing --</p> <p>06:38:28PM 10 MR. COULES: Where it sits on the</p> <p>11 property, I do not, with me. Maybe Jennifer</p> <p>12 does. I will approach if I can. Here's the</p> <p>13 color rendition.</p> <p>14 MR. GONZALEZ: Thank you.</p> <p>15 MR. PRISBY: If you can't find it, it's</p> <p>16 not the end of the world.</p> <p>17 MR. COULES: That became the issue after</p> <p>18 the original plans were brought to you after</p> <p>19 they started laying it out on the property.</p> <p>06:39:00PM 20 They were not using the topography of the</p> <p>21 property.</p> <p>22 MR. GONZALEZ: I think this photograph</p>	<p style="text-align: center;">8</p> <p>1 MR. PRISBY: So the drain is this way?</p> <p>2 MS. HENSE: Right.</p> <p>3 MR. PRISBY: Frank?</p> <p>4 MR. GONZALEZ: Yes. Let me see it.</p> <p>5 MR. COULES: One of the nicest things</p> <p>6 is this lot itself. The backyard is immense.</p> <p>7 When I went back there the first time, I was</p> <p>8 surprised because they hide it well.</p> <p>9 MR. PRISBY: It's much higher at that</p> <p>06:40:36PM 10 curb cut. It goes down and continues down to</p> <p>11 Third Street?</p> <p>12 MR. COULES: Correct.</p> <p>13 MS. D'ARCO: It does sit nicely.</p> <p>14 MR. GONZALEZ: Okay. I'm good.</p> <p>15 MR. COULES: Thank you.</p> <p>16 MR. GONZALEZ: I understand.</p> <p>17 MR. PRISBY: I have no issues with</p> <p>18 this.</p> <p>19 MS. D'ARCO: Me neither.</p> <p>06:41:34PM 20 MS. WEINBERGER: No.</p> <p>21 MR. GONZALEZ: I'm good.</p> <p>22 CHAIRMAN BOHNEN: Okay. Mr. Coules,</p>
<p style="text-align: center;">7</p> <p>1 shows a driveway. Is that the old design?</p> <p>2 MR. COULES: The driveway goes through.</p> <p>3 MS. HENSE: Maintain the driveway off</p> <p>4 of County Line.</p> <p>5 MR. PRISBY: Okay. Maintain the</p> <p>6 existing curb cut?</p> <p>7 MR. COULES: Yes. Not changing the</p> <p>8 curb cut at all.</p> <p>9 MR. PRISBY: So this is down from the</p> <p>06:39:40PM 10 street a little bit; correct?</p> <p>11 MR. COULES: Down from County Line or</p> <p>12 down from --</p> <p>13 MR. PRISBY: Yes, down from County</p> <p>14 Line. I'm seeing elevations like 687.</p> <p>15 MS. HENSE: The driveway, yes.</p> <p>16 MR. PRISBY: Is that 692?</p> <p>17 MR. COULES: It's a slight elevation</p> <p>18 change.</p> <p>19 MR. PRISBY: This wall is hiding in</p> <p>06:40:04PM 20 front of the garage?</p> <p>21 MS. HENSE: Yes. Because County Line</p> <p>22 is so low at the curb cut.</p>	<p style="text-align: center;">9</p> <p>1 thank you. Thank you, Ms. Hense.</p> <p>2 We need a motion to accept the</p> <p>3 changes to the driveway and the gables as</p> <p>4 presented.</p> <p>5 Do we have a motion?</p> <p>6 MS. D'ARCO: I motion to approve the</p> <p>7 changes for 441 East Third Street as discussed.</p> <p>8 MR. GONZALEZ: I second it.</p> <p>9 CHAIRMAN BOHNEN: Roll call vote.</p> <p>10 Shannon?</p> <p>11 MS. WEINBERGER: Aye.</p> <p>12 CHAIRMAN BOHNEN: Frank?</p> <p>13 MR. GONZALEZ: Aye.</p> <p>14 CHAIRMAN BOHNEN: Jan?</p> <p>15 MS. D'ARCO: Aye.</p> <p>16 MR. PRISBY: Aye.</p> <p>17 CHAIRMAN BOHNEN: Aye.</p> <p>18 So they will get their certificate</p> <p>19 amended, I guess, with the changes that were</p> <p>06:42:16PM 20 submitted.</p> <p>21 MR. MALINA: Correct. As to those</p> <p>22 major changes, yes.</p>

(WHICH, were all of the
proceedings had, evidence
offered or received in the
above entitled cause.)

1 STATE OF ILLINOIS)
) ss:
2 COUNTY OF DU PAGE)

3 I, KATHLEEN W. BONO, Certified
4 Shorthand Reporter, Notary Public in and for the
5 County DuPage, State of Illinois, do hereby
6 certify that previous to the commencement of the
7 examination and testimony of the various
8 witnesses herein, they were duly sworn by me to
9 testify the truth in relation to the matters
10 pertaining hereto; that the testimony given by
11 said witnesses was reduced to writing by means
12 of shorthand and thereafter transcribed into
13 typewritten form; and that the foregoing is a
14 true, correct and complete transcript of my
15 shorthand notes so taken aforesaid.

16 IN TESTIMONY WHEREOF I have
17 hereunto set my hand and affixed my notarial
18 seal this 9th day of February, A.D. 2018.

19
20 _____
KATHLEEN W. BONO,
21 C.S.R. No. 84-1423,
Notary Public, DuPage County
22

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main [2] - 3:13, 4:18 maintain [2] - 7:3, 7:5 major [6] - 3:9, 3:14, 4:8, 4:22, 5:1, 9:22 MALINA [2] - 2:2, 9:21 Matter [1] - 1:4 matter [2] - 1:10, 2:22 matters [1] - 11:9 means [1] - 11:11 Member [4] - 1:18, 1:19, 1:20, 1:21 MEMBERS [1] - 1:16 microphone [1] - 2:15 mispronounce [1] - 4:17 motion [3] - 9:2, 9:5, 9:6 move [1] - 3:17 MR [44] - 1:17, 1:18, 1:20, 2:2, 2:3, 2:4, 2:21, 4:15, 5:8, 5:12, 5:14, 5:19, 5:21, 6:5, 6:8, 6:10, 6:14, 6:15, 6:17, 6:22, 7:2, 7:5, 7:7, 7:9, 7:11, 7:13, 7:16, 7:17, 7:19, 8:1, 8:3, 8:4, 8:5, 8:9, 8:12, 8:14, 8:15, 8:16, 8:17, 8:21, 9:8, 9:13, 9:16, 9:21 MS [18] - 1:19, 1:21, 2:5, 4:14, 5:10, 5:16,	oath [1] - 2:20 OF [6] - 1:1, 1:2, 1:3, 1:8, 11:1, 11:2 off-white [1] - 4:12 offered [1] - 10:3 old [1] - 7:1 one [2] - 5:20, 8:5 open [2] - 2:10, 4:4 original [1] - 6:18 originally [1] - 3:6	really [2] - 3:3, 5:1 received [1] - 10:3 reduced [1] - 11:11 relation [1] - 11:9 rendition [2] - 6:5, 6:13 REPORT [1] - 1:8 Reporter [1] - 11:4 Representative [1] - 2:5 rise [1] - 2:12 Road [1] - 4:5 roll [1] - 9:9 roofline [3] - 4:9, 4:12, 5:1	T	unanimously [1] - 3:2 up [3] - 2:9, 4:6, 4:20
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Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

March 7, 2018

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale

6:30 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:30 p.m. on March 7, 2018, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger
and Commissioner Williams
Absent: Commissioner Gonzalez and Commissioner D'Arco
Also Present: Chan Yu, Village Planner

Minutes

The HPC reviewed the February 7, 2018, HPC minutes, and agreed to remove paragraph 5 from the Findings and Recommendations for Case HPC-10-2017.

Commissioner Williams recused herself from voting due to her absence at the February 7, 2018, HPC meeting. The vote to approve the minutes with the above request failed to meet quorum.

Discussion - Hinsdale Historical Society Mobile Tours App (Historical Tourist Hinsdale Ed.) February 2018 Update

Ms. Karen Lopez gave an update to the Historic Tours app, and reviewed that there are 4 Zook tours on the app, and is currently under field testing. She invited the HPC to download and test the app, in particular for Android users.

Ms. Lynne Smaczny summarized the promotional and marketing plan for the app (Attachment 1), which was passed out to the HPC. The launch event on May 11, 2018, will be during the 2018 Hinsdale Cooks! Kitchen Walk event. Other promotional and marketing dates include an Ice Cream Social on June 3, 2018; Hinsdale Farmers Market on June 4, 2018; Hinsdale Fine Arts Festival on June 9, 2018; and Uniquely Thursdays on June 14 and 21, 2018.

Discussion - Voluntary Landmark Program

Chairman Bohnen stated that he would like to invite Landmarks IL. to present to the HPC at a special meeting (in March), in regards to how other municipalities process landmarking and un-landmarking historical homes, and information on the Property Tax Assessment Freeze program.

Chairman Bohnen asked staff, to request to the Village that the HPC would like to review Certificate of Appropriateness's for physical modifications of the exterior architectural appearance of any structures in the Historic Downtown District. Chairman Bohnen also requested to revise the borders of the Historic Downtown District to include the Garfield Crossings building at 26-32 E. First Street and The Fruit Store at 26 W. First Street. Staff indicated that might not be so easy, but he'll look into it.


Chairman Bohnen expressed to the Commissioners that he'd like for them to think about a voluntary landmark program that does not qualify the home for the Property Tax Assessment Freeze program, but is easier to un-landmark. On the other hand, he recommended the Village revisit the code for landmark withdrawal, per Section 14-4-1(E), for homeowners who utilized the Tax Freeze program.

Commissioner Williams recommended the Village reach out to a potential intern for assistance with an HPC handbook, including the HPC Ordinance, requirements for the Certificate of Appropriateness, list of the landmarked homes, a map of the historic district, duties of the HPC and additional information to assist the HPC.

Adjournment

The HPC unanimously agreed to adjourn at 7:42 PM on March 7, 2018.

Respectfully Submitted,

, Village Planner

Hinsdale Historical Society
HistoricTours: Hinsdale App
Promotional & Marketing Plan
App Goes Live May 11, 2018

Promotion Plan

Launch Event at KLM – May 11, 2018; 10:00 am – 2:00 pm

During the 2018 Hinsdale Cooks! Kitchen Walk

- Trolley stop on the *Hinsdale Cooks! Kitchen Walk* and open to the public, including the approximately 1,000 *Kitchen Walk* attendees.
- Tented event will include food, non-alcoholic refreshments, and a dessert food truck.
- Promotion during the event includes a full-page ad in the *Kitchen Walk Program Book* (which goes to all *Kitchen Walk* attendees), printed materials, demonstrations on how to download the app, tours of the Zook Studio and grounds, as well as special access to the KLM Lodge.

Ice Cream Social – June 3, 2018; 2:00 – 4:00pm

- Partner with *Dips and Dogs*, and possibly other businesses located in Zook-designed buildings on the Downtown Tour.
- Free ice cream with coupon from *Kitchen Walk Program Book*.
- Promotion during the event includes printed materials, giveaways and demonstrations on how to download the app.

Hinsdale Farmers' Market – June 4, 2018

- Staffed table with promotional printed materials, giveaways, and demonstrations on how to download the app.

Hinsdale Fine Arts Festival – June 9, 2018

- Staffed table with promotional printed materials, giveaways and demonstrations on how to download the app.

Uniquely Thursdays – June 14, 2018 and June 21, 2018

- Staffed table with promotional printed materials, giveaways and demonstrations on how to download the app.

Other Possible Promotional Events/Programs through 2018-2019

Zook Home and Studio open houses

Adult program – Zook Lecture

Kids programs – Architecture-related and annual pumpkin decorating at Zook Studio

Special Zook Guided Bike Tour and Lunch

Marketing and Publicity Plan

Press release sent to local and Chicagoland newspapers/magazine (both paper and digital)

Target marketing to local and Chicagoland architectural and historical organizations, bicycle clubs/groups, Village Newcomers, local realtors, etc.

Local magazine ads

Society website

Social media on Facebook, Instagram, and Twitter

Postcard mailers

Posters displayed at local businesses

Poster in Burlington Park

Display placed at Hinsdale Public Library

Event and program specific marketing (i.e. ad in Kitchen Walk program)

Community Calendars (i.e. Village of Hinsdale, Hinsdale Chamber of Commerce, etc.)




MEMORANDUM

DATE: April 4, 2018

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 22 W. First Street – John Green Realtor – 2 New Non-Illuminated Wall Signs
Case A-17-2018

Summary

The Village of Hinsdale has received a sign application from Accurate Repro Inc., on behalf of John Greene Realtor, requesting approval to install 2 new non-illuminated wall signs at 22 W. First Street, within the Historic Downtown District in the B-2 Central Business District.

Request and Analysis

The requested 2 wall signs will utilize the 2 existing wall signage frames, approved on December 29, 2014, for the former tenant, Village Sotheby's Realty. The digital print will be made from a max metal substrate lamination material, and features a light green, dark green and white text, on a black background. The proposed wall sign at the front entrance (Sign 1) is 1'-1" tall and 6'-6.5" wide, for an area of 7.1 SF.

The 2nd wall sign is proposed to be made from the same material as Sign 1, and features the same colors and design as Sign 1. The current sign frame is located on the side the building, facing a parking lot. The proposed 2nd wall sign will also utilize an existing sign frame, and is 2'-10.5" tall and 9'-9.5" wide, for an area of 28.15 SF.

Per Section 9-106(E)(11), when more than one user occupies a zoning lot, the owner of the lot shall be responsible for allocating permitted signage among its tenants. Currently, there are 2 tenants at 22 W. First Street, allowing for up 50 SF of wall, awning, or window signage. The proposed 2 wall signs combine to 35.25 SF. The current tenant, Peter Burdi Attorney law office, has a projecting sign, which does not count towards the same square footage signage allocation.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the PC and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.



MEMORANDUM

Attachments:

Attachment 1 – Sign Application and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of 22 W. First Street

Attachment 4 - Birds Eye View of 22 W. First Street

DESCRIPTION OF WORK:

(1) 78.5"x13"

Digital print and laminated
max metal signage

MATERIALS:

Max Metal Substrate
Lamination

COLOR KEY:

JG Greene O1

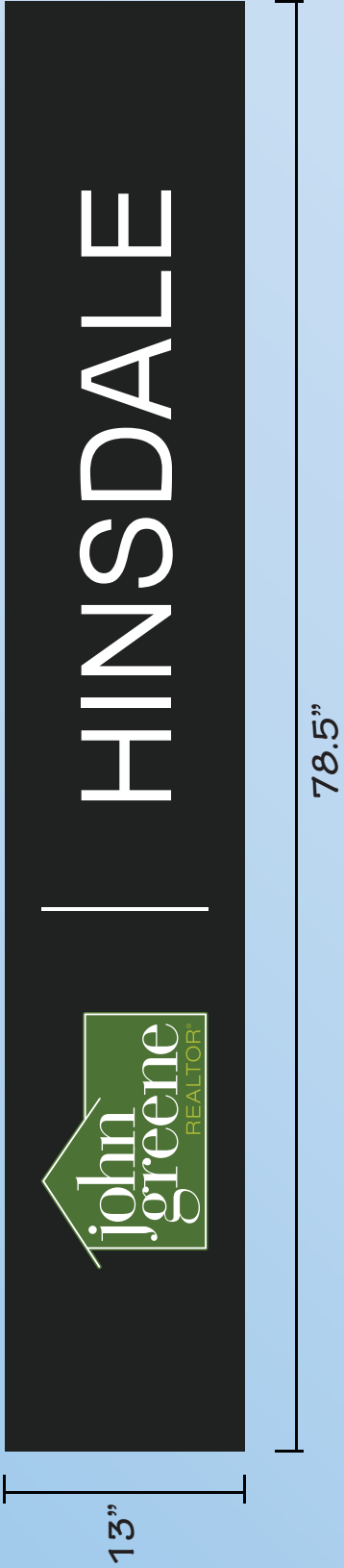
JG Greene O2

Black

White

NOTES:

>>>



No Scale



Current Signage



Proposed Signage



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: John Greene Realtor
Address: 22w 1st Street
City/Zip: Hinsdale
Phone/Fax: (630) 885-2557 /
E-Mail: emilybell@johngreenecommercial.com
Contact Name: Emily Bell

Contractor

Name: Accurate Repro Inc
Address: 2368 Corporate Lane ste 100
City/Zip: Naperville
Phone/Fax: (630) 428-4433 / 428-4449
E-Mail: mmerle@accuraterepro.com
Contact Name: Michael Merle

ADDRESS OF SIGN LOCATION: 22W 1st street Hinsdale

ZONING DISTRICT: B-3 General Business District

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 8 sqft (13 x 80")

Overall Height from Grade: 13" Ft.

Proposed Colors (Maximum of Three Colors):

- ① Green
- ② White
- ③ Black

Site Information:

Lot/Street Frontage: 37'

Building/Tenant Frontage: 27'

Existing Sign Information:

Business Name: Village Sotheby's Reality

Size of Sign: 13x80 8 sqft Square Feet

Business Name: Sotheby's Reality

Size of Sign: 8 sqft Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

M Merle
Signature of Applicant

3/27/18
Date

Sharon A. Stanton
Signature of Building Owner

3/27/18
Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

DESCRIPTION OF WORK:

(1) 117.5"x34.5"
Digital print and laminated
max metal signage

MATERIALS:

Max Metal Substrate
Lamination

COLOR KEY:

- JG Greene O1
- JG Greene O2
- Black
- White

NOTES:

>>>



No Scale



Current Signage



Proposed Signage



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: John Greene Realtor
Address: 22w 1st Street
City/Zip: Hinsdale
Phone/Fax: (630) 885-2557 /
E-Mail: emilybell@johngreenecommercial.com
Contact Name: Emily Bell

Contractor

Name: Accurate Repro Inc
Address: 2368 Corporate Lane ste 100
City/Zip: Naperville
Phone/Fax: (630) 428-4433 / 428-4449
E-Mail: mmerle@accuraterepro.com
Contact Name: Michael Merle

ADDRESS OF SIGN LOCATION: 22W 1st street Hinsdale

ZONING DISTRICT: B-3 General Business District

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 29 sqft (35 x 117")
Overall Height from Grade: 35" Ft.
Proposed Colors (Maximum of Three Colors):
① Green
② White
③ Black

Site Information:

Lot/Street Frontage: 37'
Building/Tenant Frontage: 27'
Existing Sign Information:
Business Name: Village Sotheby's Reality
Size of Sign: 35x117 8 sqft Square Feet
Business Name: Sotheby's Reality
Size of Sign: 29 sqft Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Michael Merle
Signature of Applicant

3/27/18
Date

John A. Stankovic
Signature of Building Owner

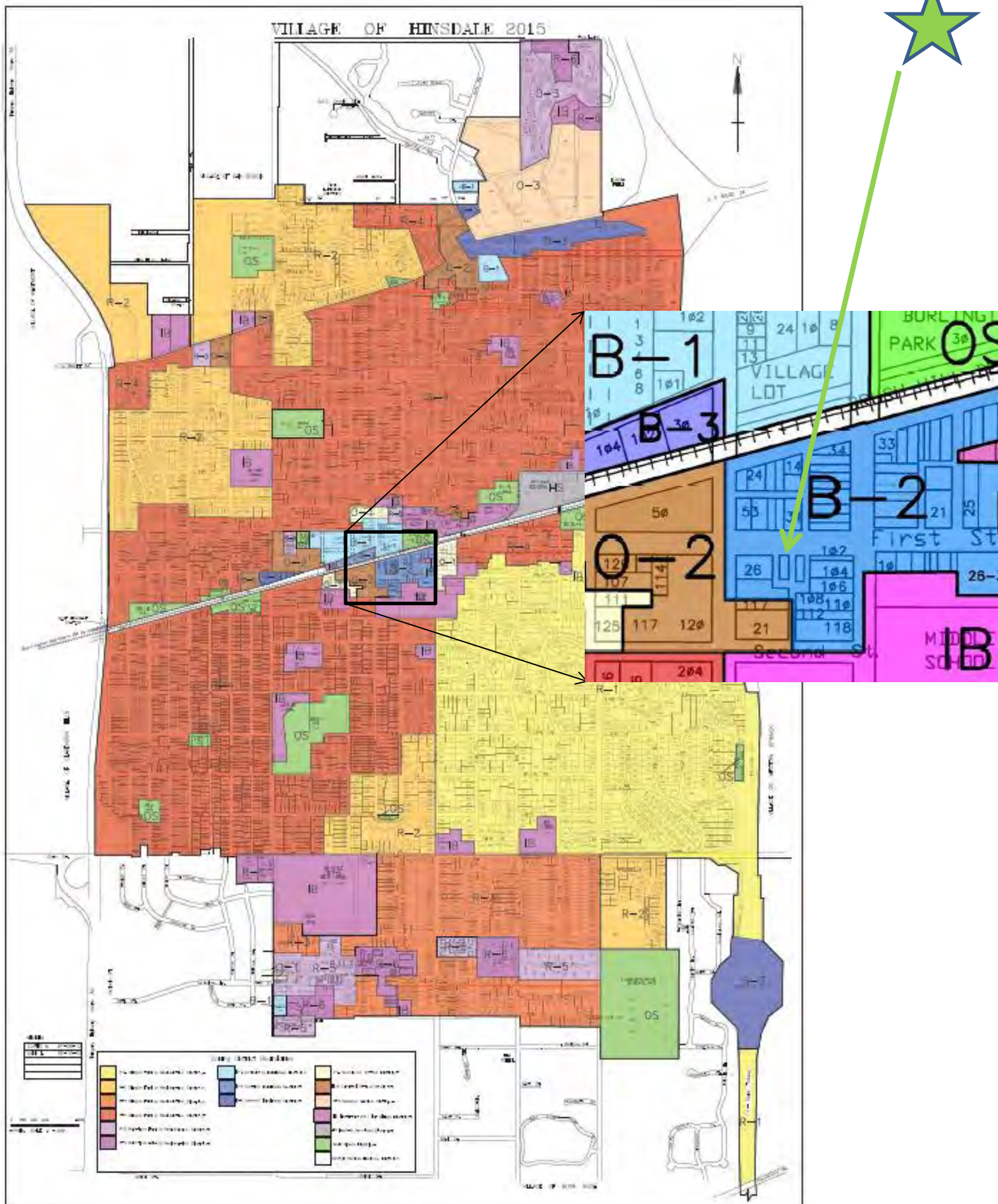
3/27/18
Date

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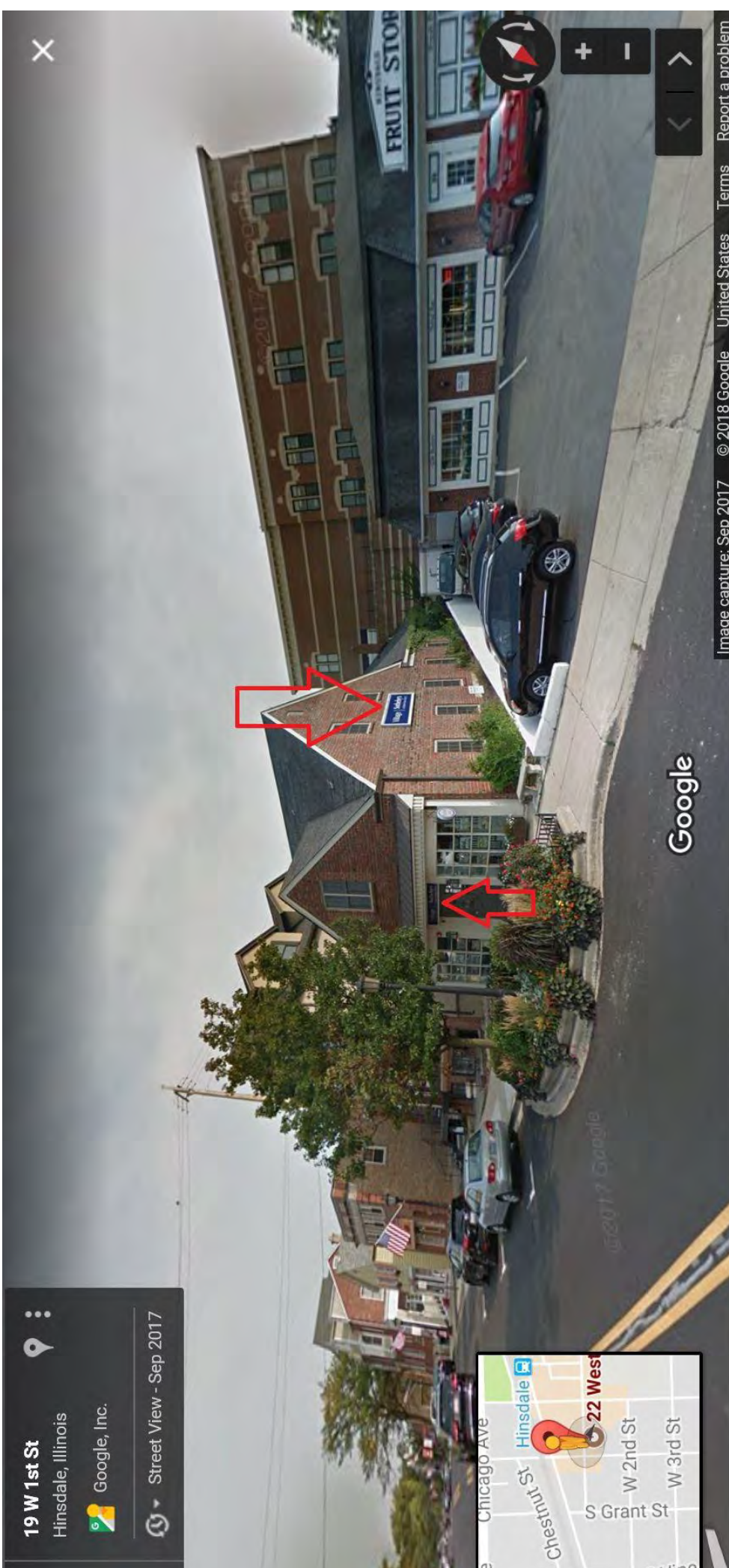
Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

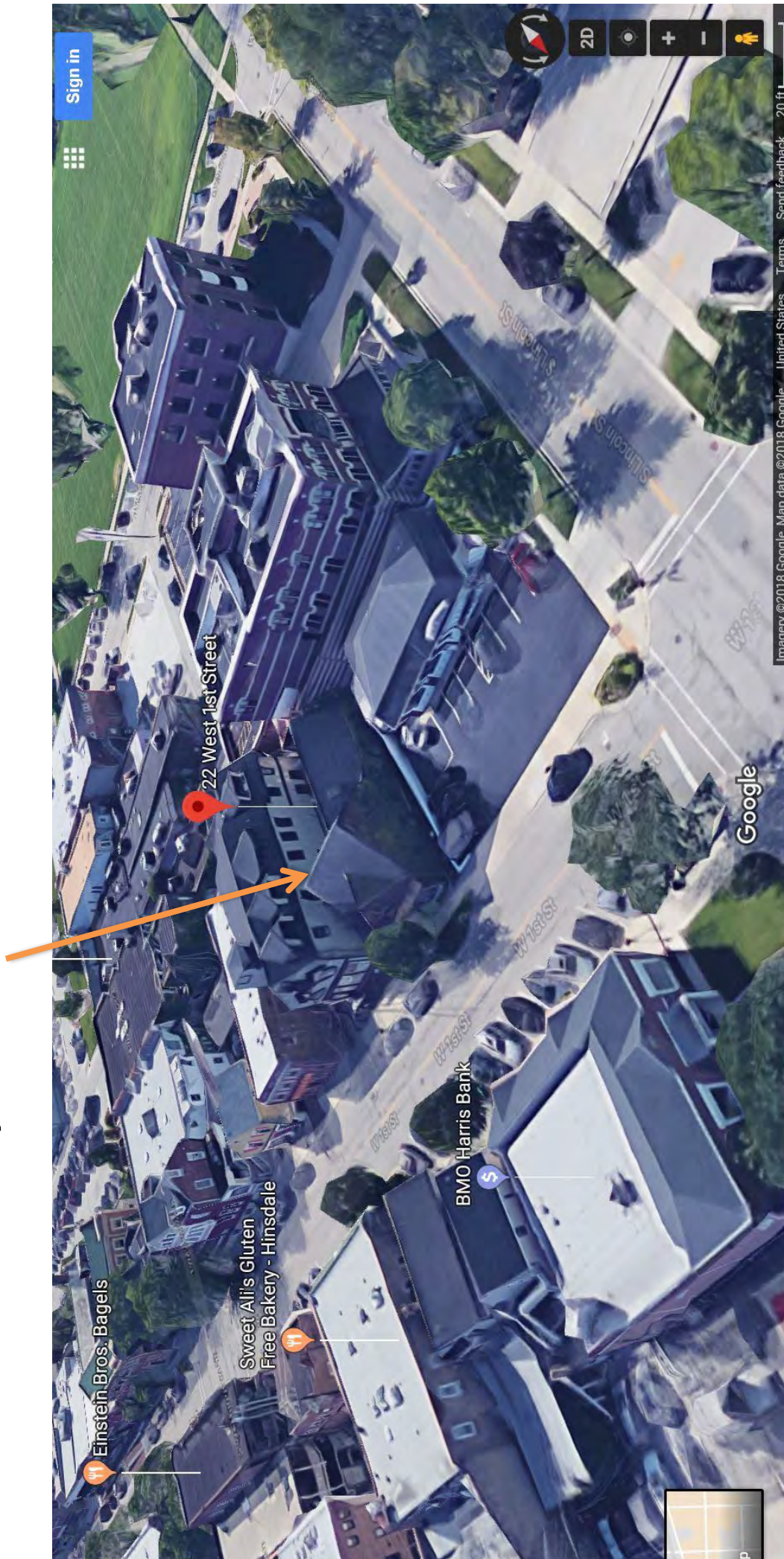
Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View 22 W. First Street (facing southeast)



Attachment 4: Birds Eye View 22 W. First Street (facing southwest)






MEMORANDUM

DATE: April 4, 2018

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 120 E. 5th Street – Application for Certificate of Appropriateness to Construct a New Home in the Robbins Park Historic District – Case HPC-02-2018

Summary

The Village of Hinsdale has received an application from J Jordan Homes, LLC, requesting approval for a Certificate of Appropriateness to construct a new home in the Robbins Park Historic District. Per the Village Code, no permits shall be issued for new single family construction in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC).

Request and Analysis

On February 8, 2017, the HPC unanimously denied the Certificate of Appropriateness to demolish the existing two-story frame residence constructed in 1863 in the Gothic Revival style. The applicant is currently waiting for the residence to be demolished, and is requesting a Certificate of Appropriateness to construct a new home at 120 E. 5th Street, located in the R-1 Single Family Residential District, which borders the same to the north, east, west and south. Mr. Patrick Fortelka, from Moment Design, will present to the HPC at the public hearing on April 4, 2018, and answer questions regarding the design of the proposed home. In regards to the site plan, the applicant is requesting to create a driveway onto 5th Street (Attachment 7).

Process

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 9.

Per Section 14-5-1(B), the final decision of the HPC shall be advisory only since the subject property is not a local landmark, but is located in a designated historic district.

Attachments:

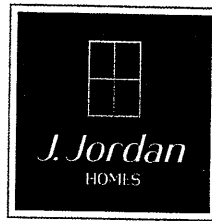
- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Street View 120 E. 5th St. facing south
- Attachment 4 - Street View 120 E. 5th St. facing north



MEMORANDUM

- Attachment 5 - Birds Eye View 120 E. 5th St. facing south
- Attachment 6 - Birds Eye View 120 E. 5th St. facing north
- Attachment 7 - Site Development Plan and Existing/Demo Site Plan
- Attachment 8 - Robbins Park Historic District Map
- Attachment 9 - Title 14, Section 14-5-2: Criteria (A) and (B)

February 21, 2018



Mr. Chan Yu

Village Planner

Village of Hinsdale

19 E Chicago Avenue

Hinsdale, IL 60521

RE: 120 E 5th Street, Hinsdale, IL – Certificate of Appropriateness

Dear Mr. Yu,

Attached you will find the following items for 120 E 5th Street:

(8) FULL sets for the Committee Members consisting of:

~Certificate of Appropriateness application

~Architectural Rendering

~Plat of Survey

~Plans

(20) sets of same – 8 ½" x 11"

I can be reached at 312-320-9990 with any questions and am available to meet with anyone at the job site to discuss the project as well.

After your review, please let me know if you need anything else.

Sincerely,

J JORDAN HOMES LLC

A handwritten signature in black ink that reads "Julie J Laux". The signature is written in a cursive, flowing style.

Julie J Laux

Managing Member

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 120 E. 5th
Property Identification Number: 09-12-223-004

I. GENERAL INFORMATION

1. Applicants Name: J Jordan Homes LLC
Address: 112 S Grant Street, Hinsdale, IL 60521
Telephone Number: 630-455-0855
2. Owner of Record (if different from applicant): Congeo LLC
Address: 120 E 5th - Hinsdale, IL 60521
Telephone Number: 312-927-3210
3. Others involved in project (include, name, address and telephone number):
Architect: Moment Design - 201 E Ogden Ave.
Ste. 20, Hinsdale, IL 60521 630-747-9415
Attorney: Peter Verros
421 N Grant St - Hinsdale, IL 60521
Builder: J Jordan Homes LLC - 112 S. Grant St.
Hinsdale, IL 60521
Engineer: Engineering Resources Assoc - 35701 West Ave.
Ste 150 Warrenville, IL 60555 630-393-3060

II. SITE INFORMATION

1. Describe the existing conditions of the property: Awaiting demolition
2. Property Designation:
Listed on the National Register of Historic Places? YES ✓ NO
Listed as a Local Designated Landmark? YES ✓ NO
Located in a Designated Historic District? ✓ YES NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

Construct a new home - See attached plans, specifications and rendering

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☐ No ☒ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

Feb. 8, 2017 - Continuation from Jan. 11, 2017 HPC hearing - demolition

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

☐ CORPORATION

Marjorie E. Cantrell, Managing Member
Signature of Applicant's President

Julie J. H.
Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

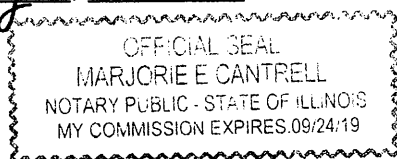
OTHER

Signature

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 21st day of

February, 2018.



Marjorie E. Cantrell
Notary Public



NORTH ELEVATION

scale: 1/8"=1'-0"

[moment] DESIGN
 ARCHITECTURE + INTERIORS
 630 828 8161 www.momentdesign.net

120 E FIFTH STREET
 HINSDALE
 10 11 17

A1.1

GEN. NOTES,
SITE PLAN &
EXTERIOR
ELEVATIONS

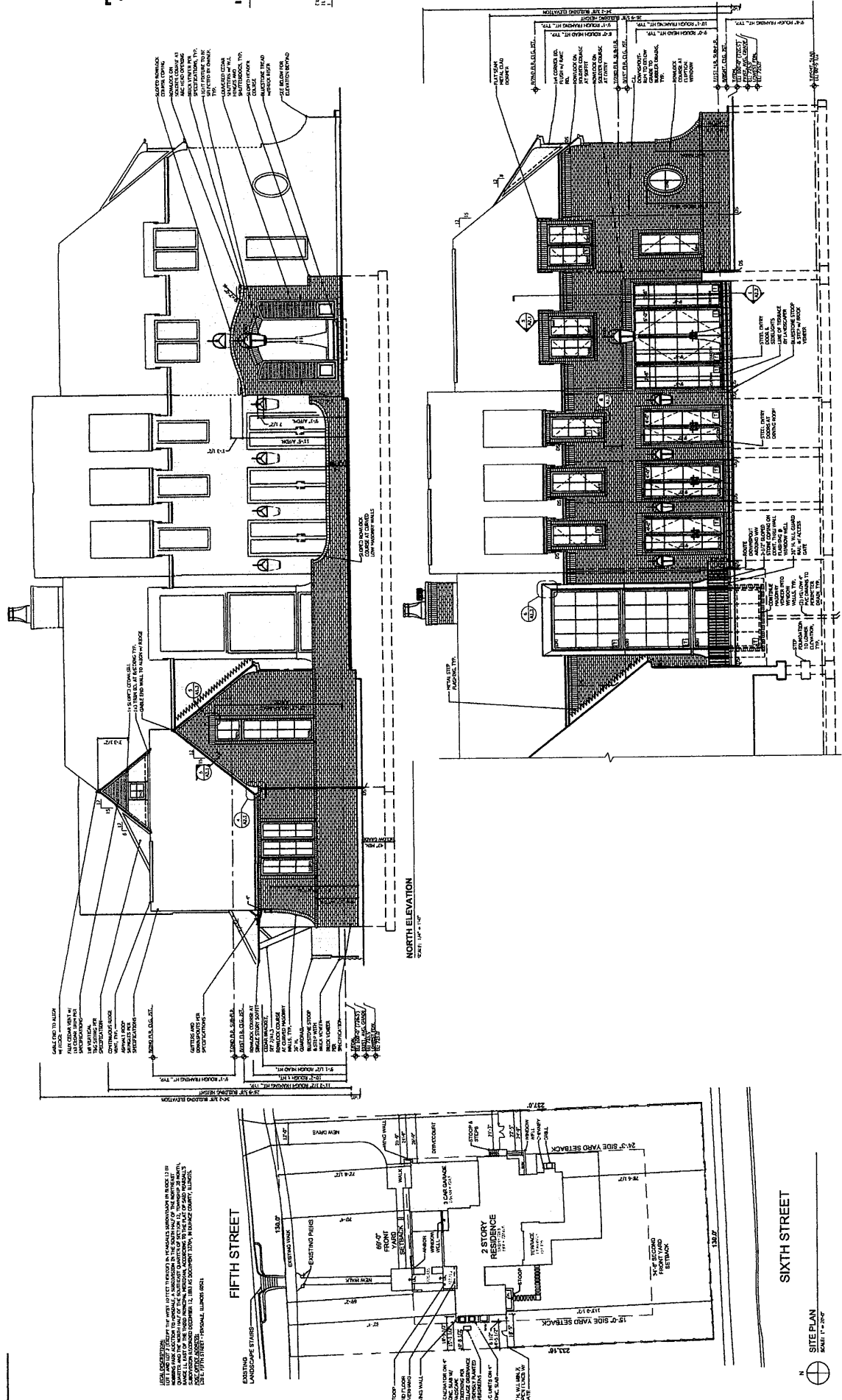
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DATE: 01-M-2018

TOTAL SHEETS: 10

CODE INFORMATION SHEET INDEX

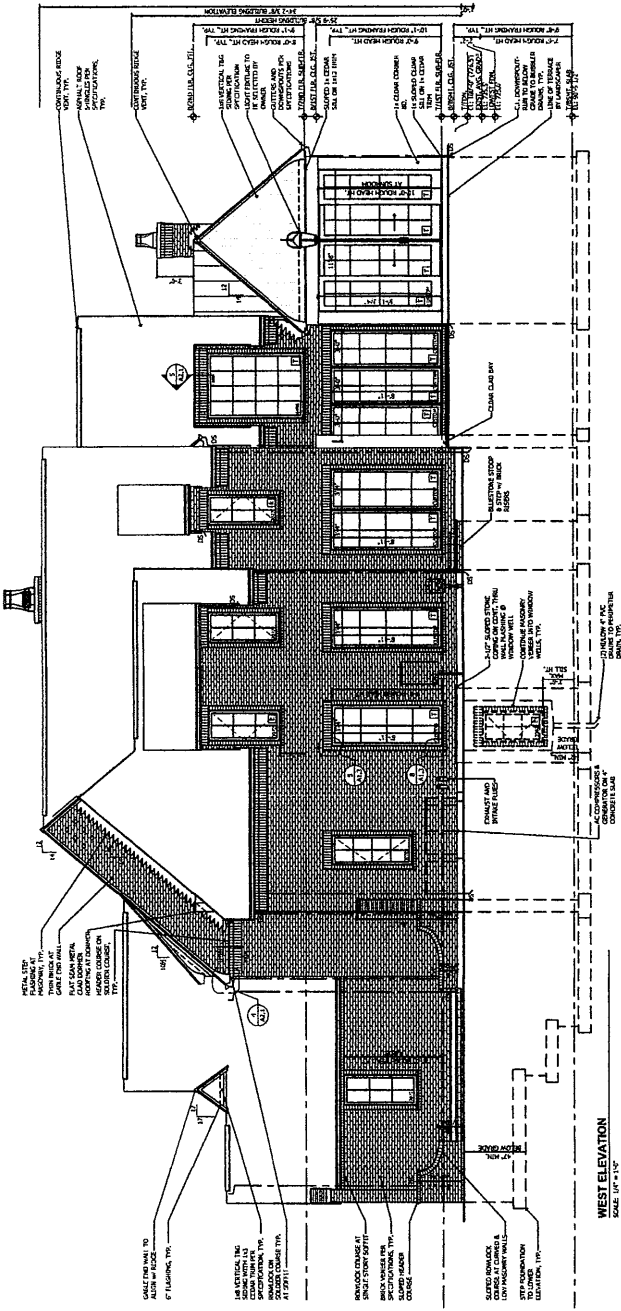
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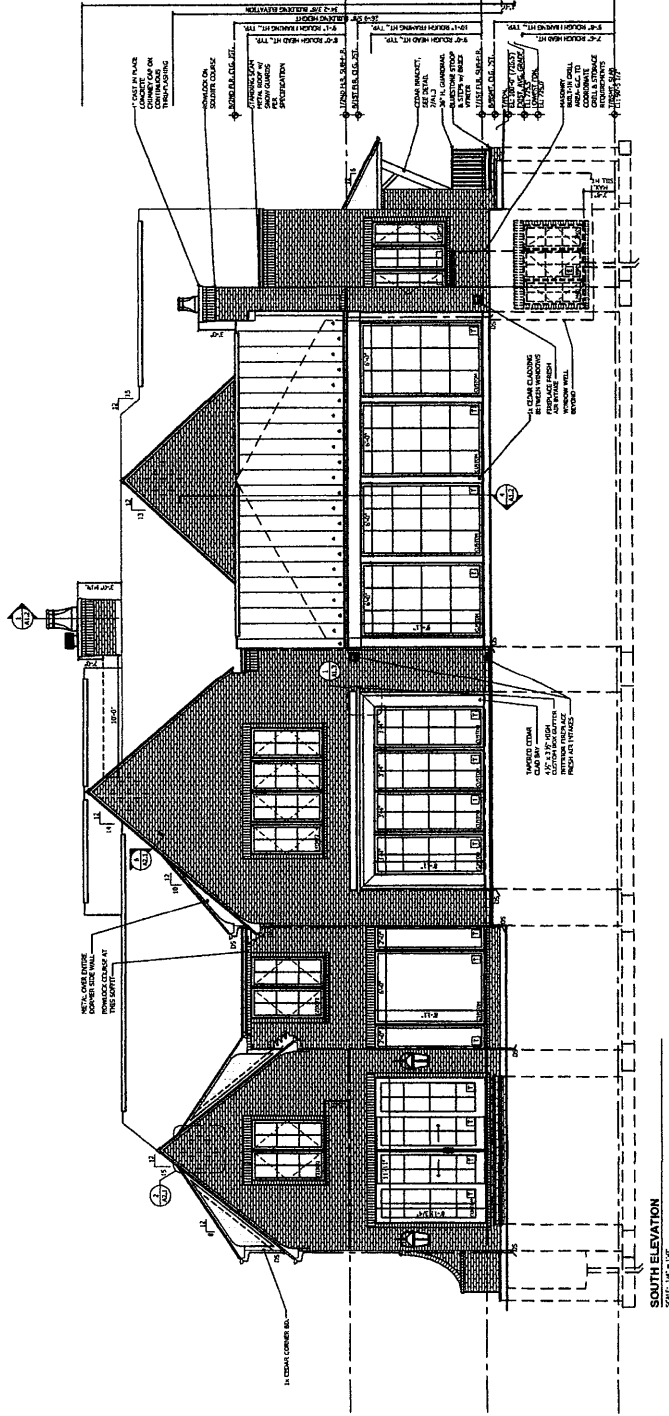
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VERROS RESIDENCE
120 E. FIFTH STREET - HINSDALE, IL

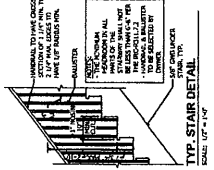
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P. 630 828 8161 WWW.MOMENTDESIGN.NET



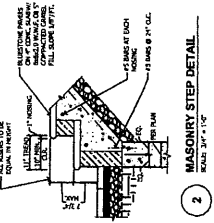
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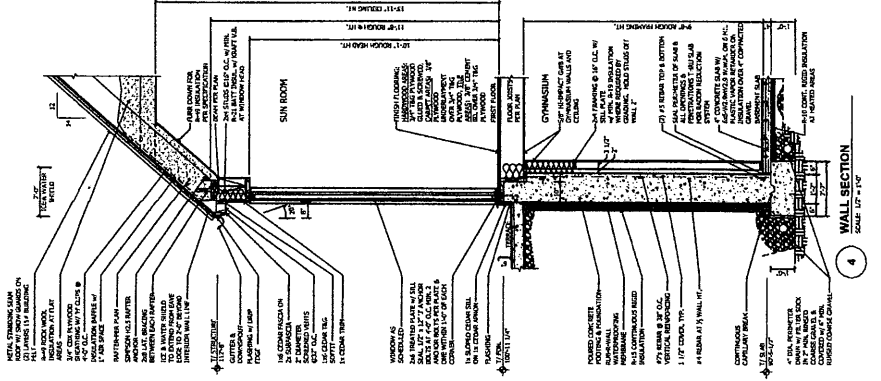
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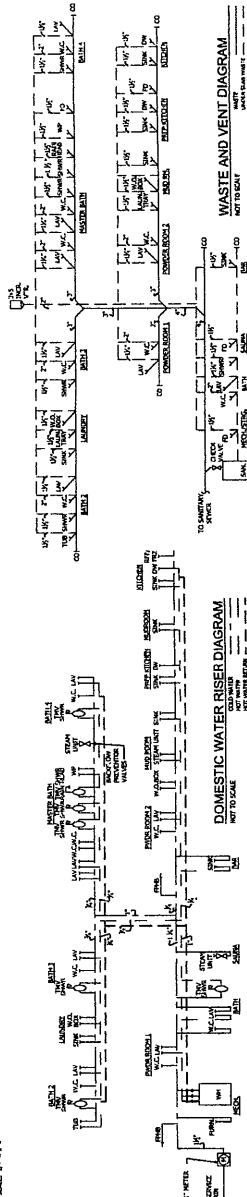
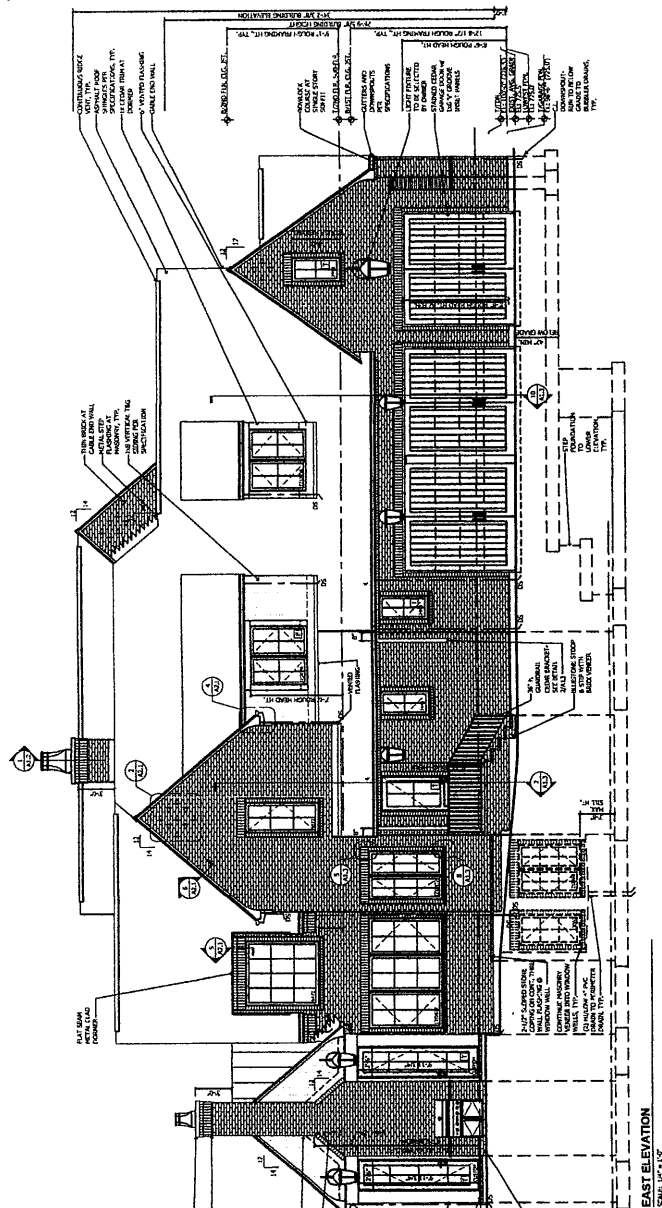
1 TYP. STAIR DETAIL
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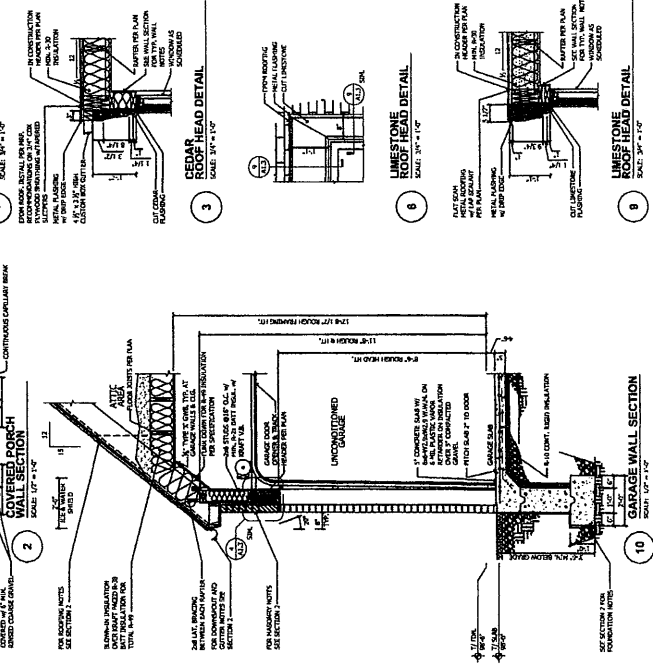
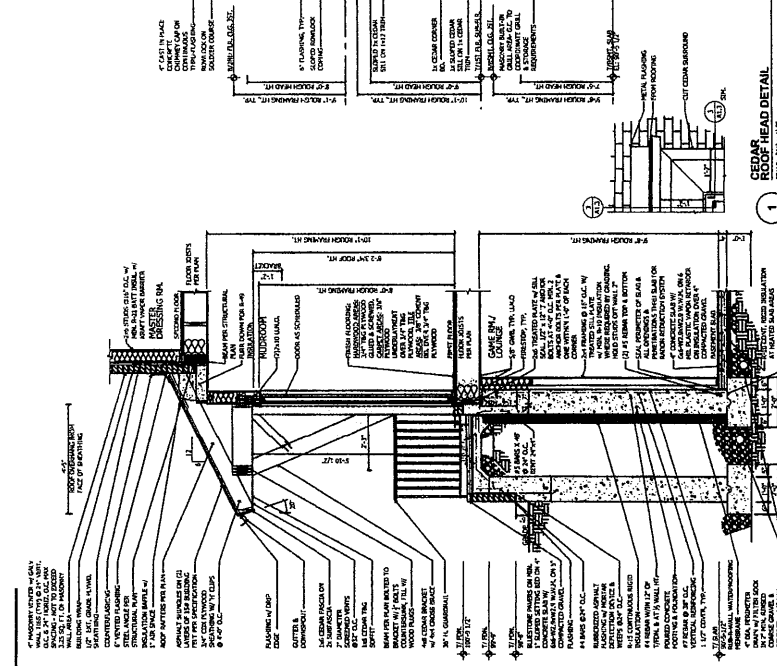
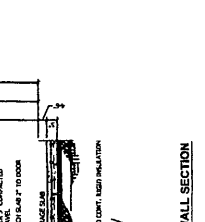
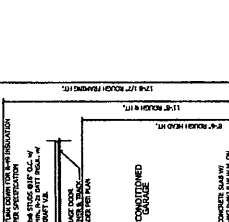
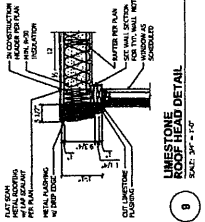
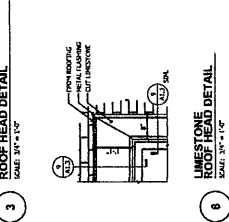
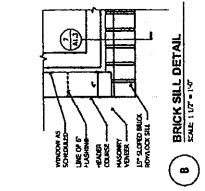
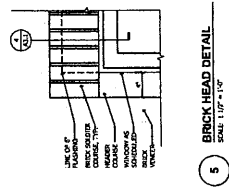
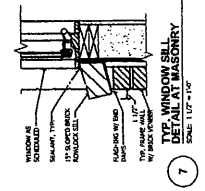
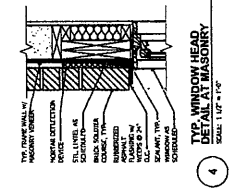
2 MASONRY STEP DETAIL
SCALE: 3/4" = 1'-0"

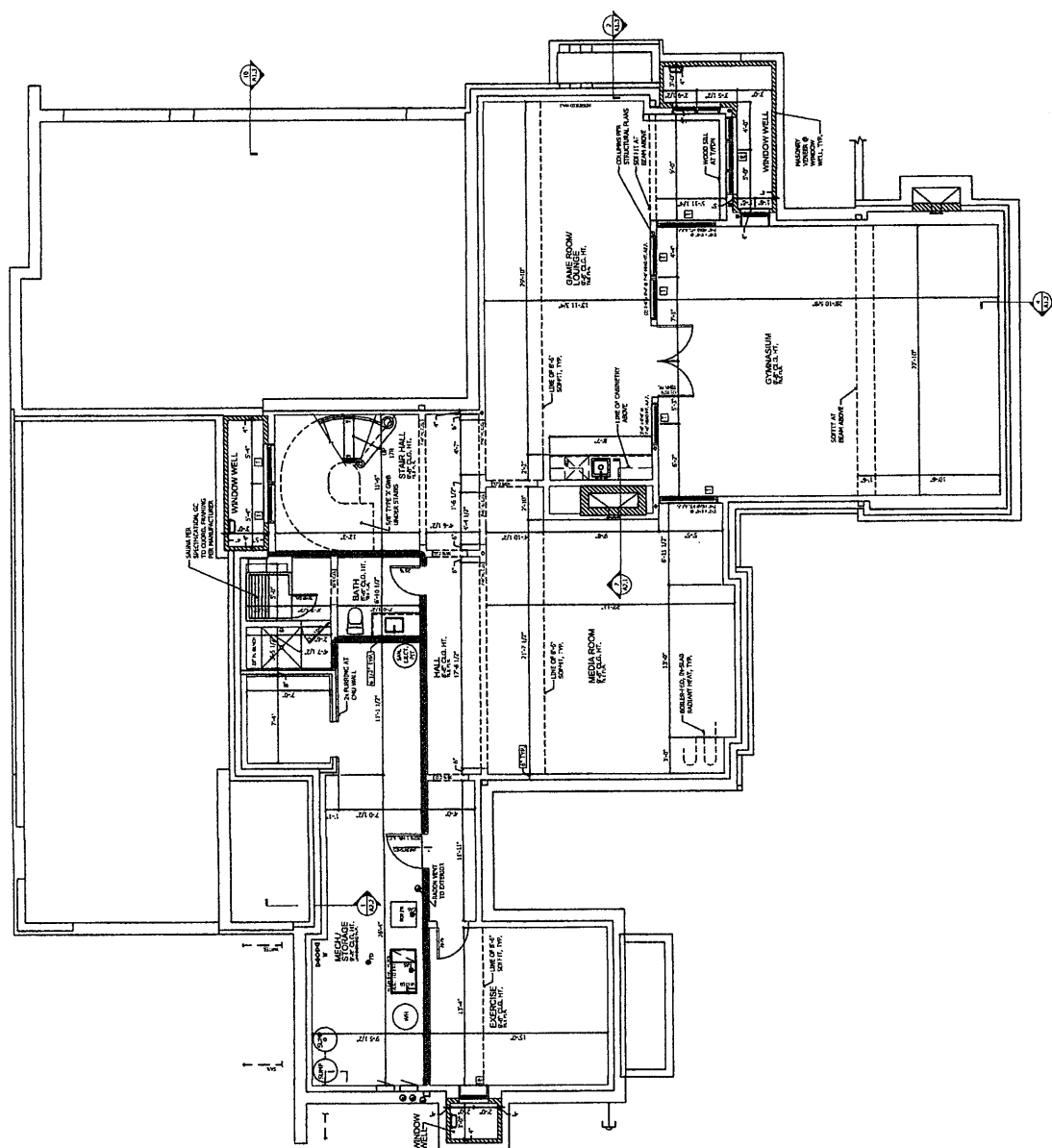


4 WALL SECTION
SCALE: 1/4" = 1'-0"

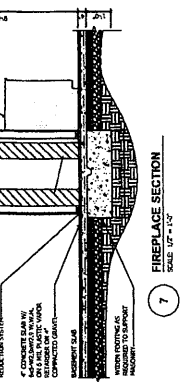
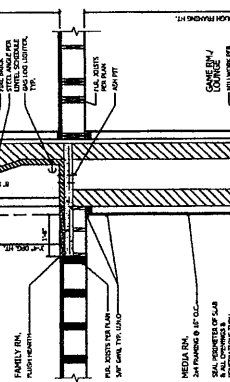
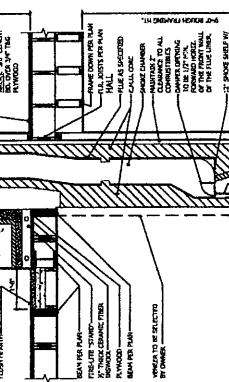
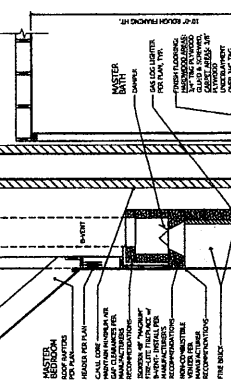
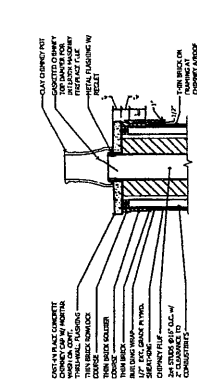
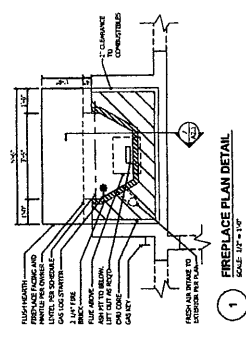
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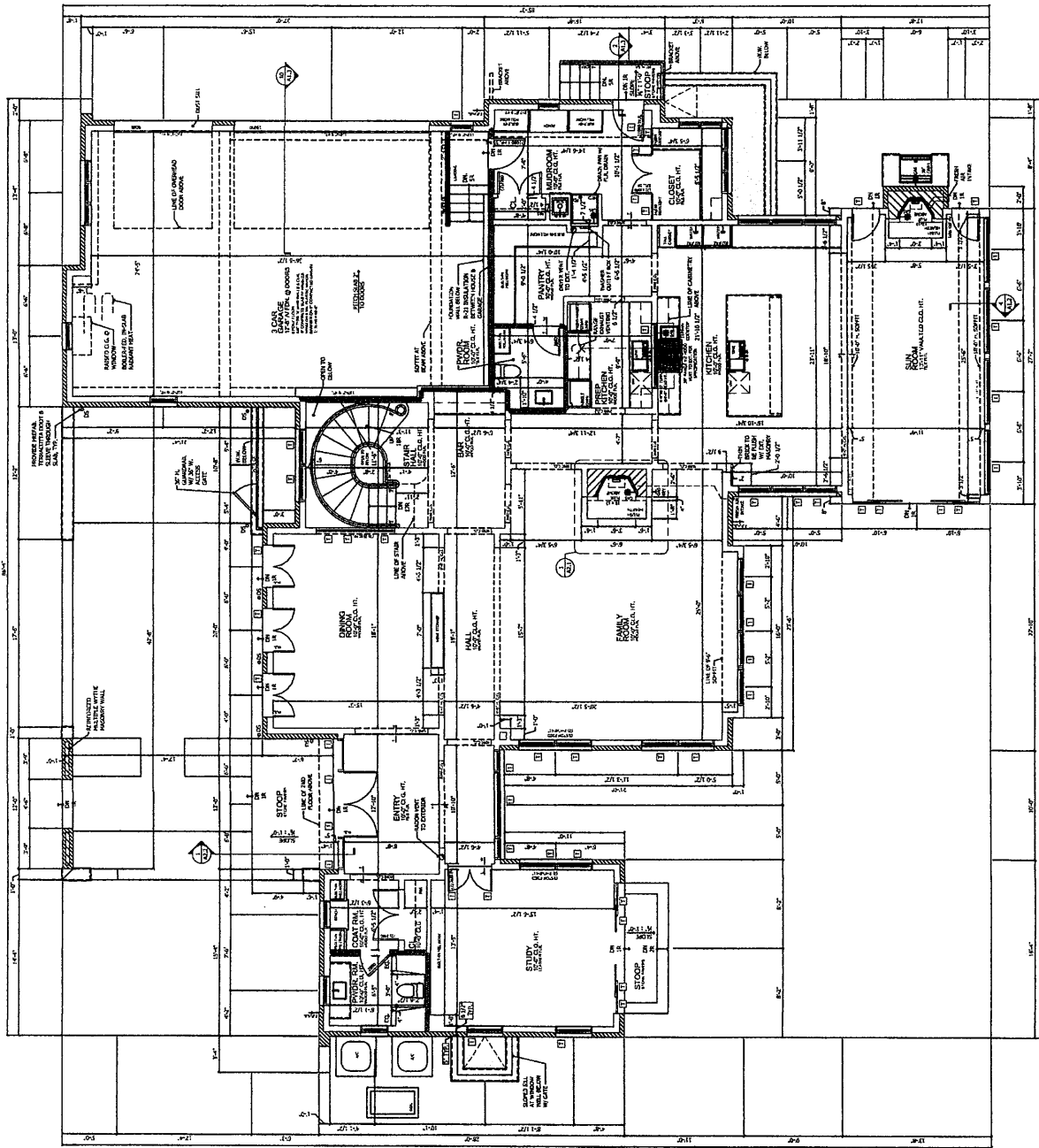
PLUMBING RISER GENERAL NOTES									
1	PROVIDE 1/2" MIN. THICKNESS FOR ALL CURVED LAYOUT.								
2	PROVIDE 1/2" MIN. IMPERMEABLE LAYER UNDER ALL RISER SYSTEM.								
3	REMOVE ALL EXISTING EQUIPMENT CONNECTIONS WITH IMPERMEABLE DISPOSITION.								
4	REMOVE ALL EXISTING RISER SYSTEMS WITH IMPERMEABLE DISPOSITION.								
5	THE SHOWN AT AN INDIVIDUAL EQUIPMENT SHALL BE 1/2" MIN. THICKNESS AT LEAST TO THE SHOWN OF THE SHOWN 1/2" MIN. THICKNESS OF EQUIPMENT, PROVIDER IS CRUCIAL.								
6	ALL SHOWN RISER SYSTEMS SHALL BE 1/2" MIN. THICKNESS OF EQUIPMENT, PROVIDER IS CRUCIAL.								
7	ALL SHOWN RISER SYSTEMS SHALL BE 1/2" MIN. THICKNESS OF EQUIPMENT, PROVIDER IS CRUCIAL.								
8	THE NEW LAYOUTS OF EQUIPMENT AS REQUIRED, WARE, EASTING CONNECTIONS & NEW LINES IN FIELD.								
9	ALL SHOWN RISER SYSTEMS SHALL BE 1/2" MIN. THICKNESS OF EQUIPMENT, PROVIDER IS CRUCIAL.								
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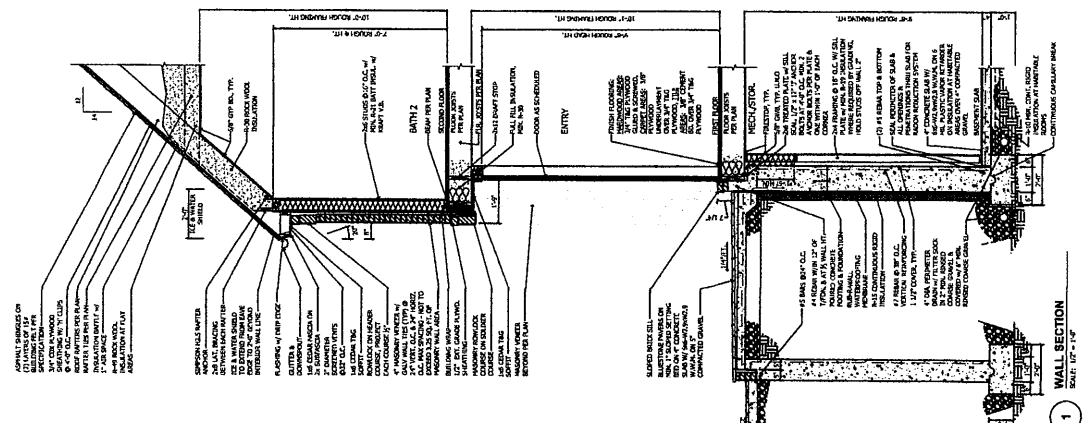


LOWER LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

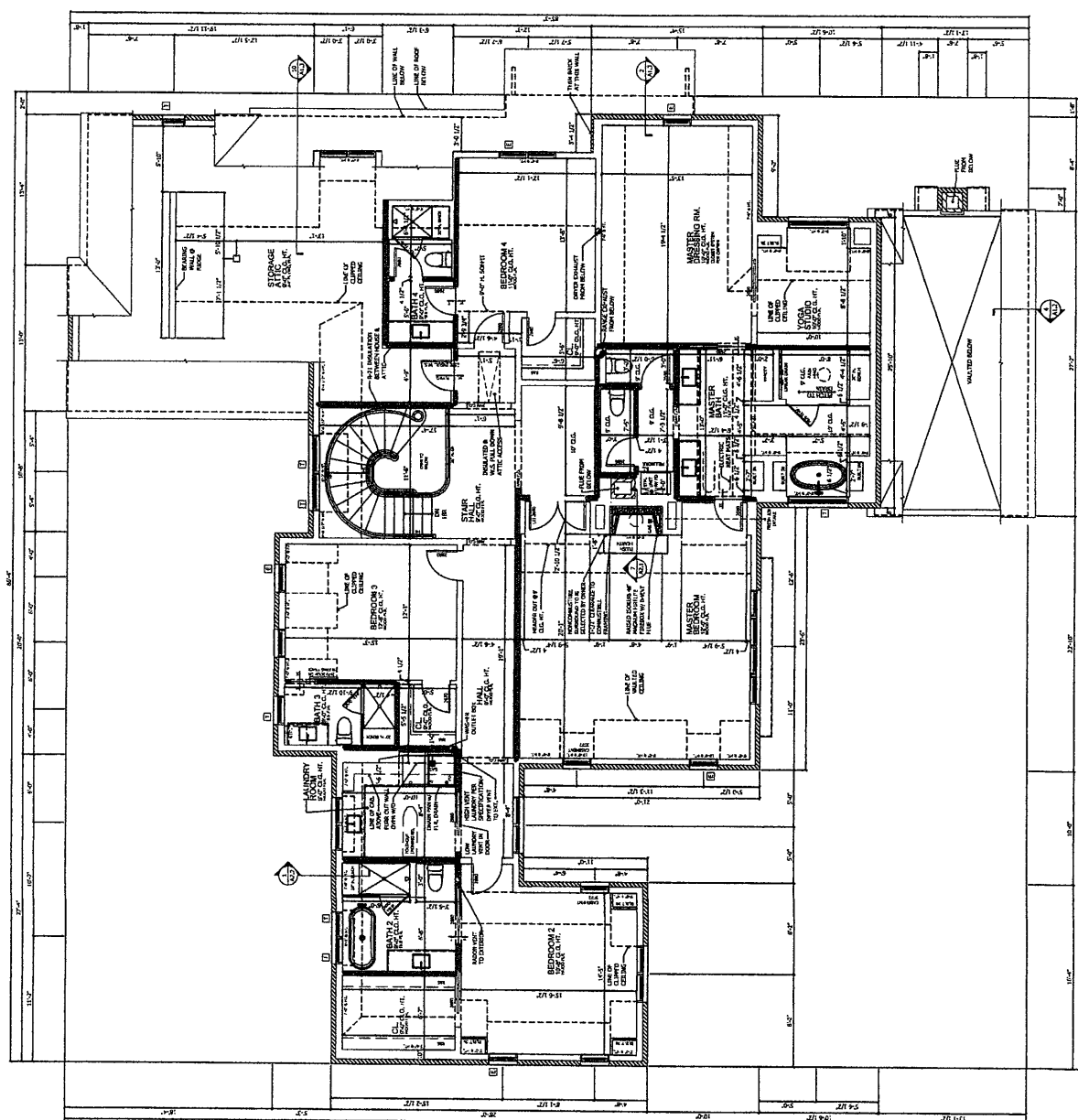




FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



WALL SECTION
 SCALE: 1/4" = 1'-0"

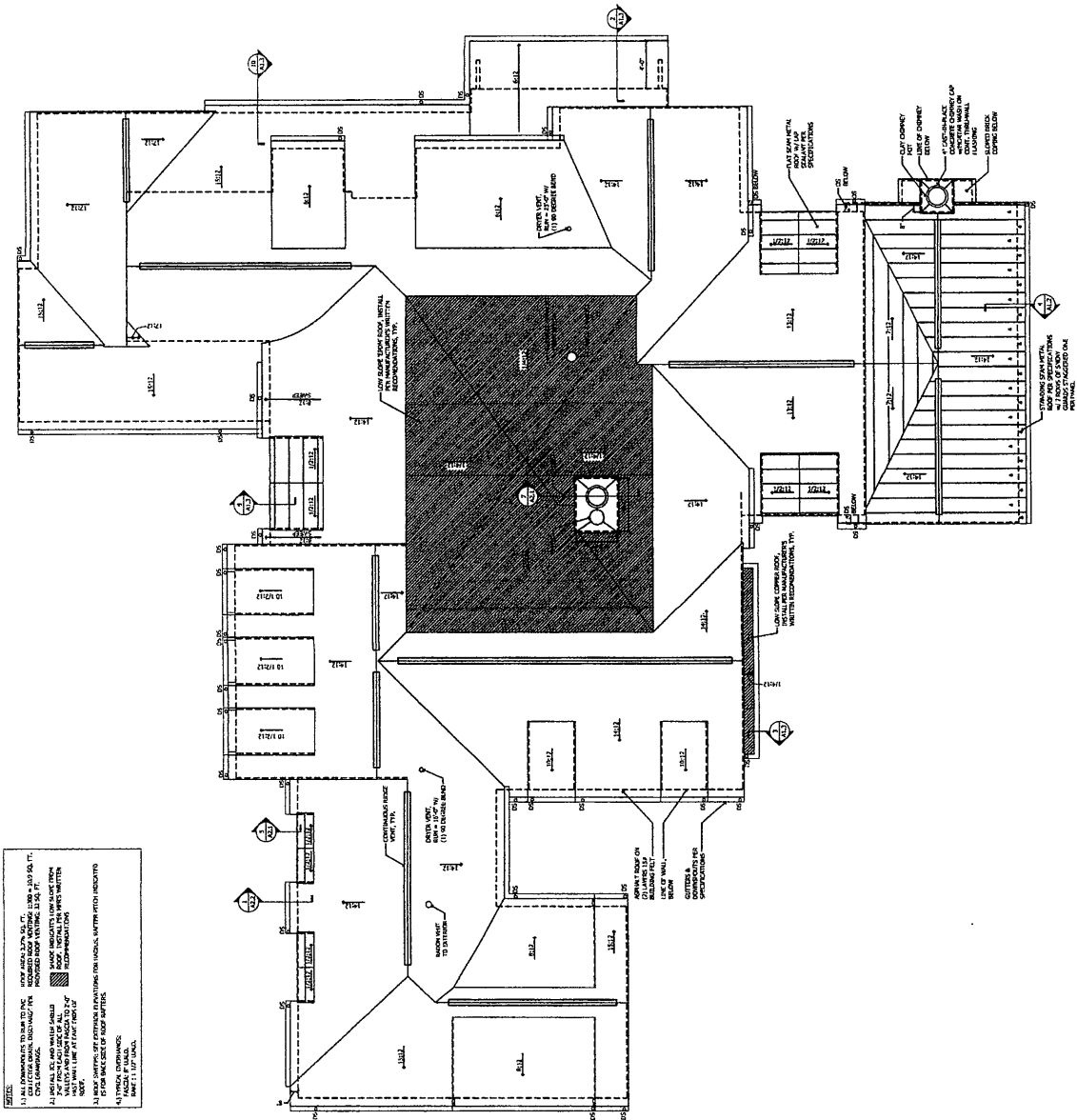


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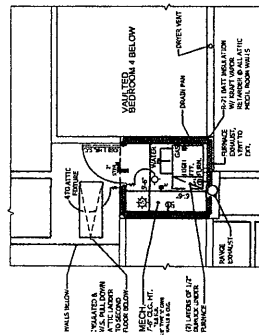
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

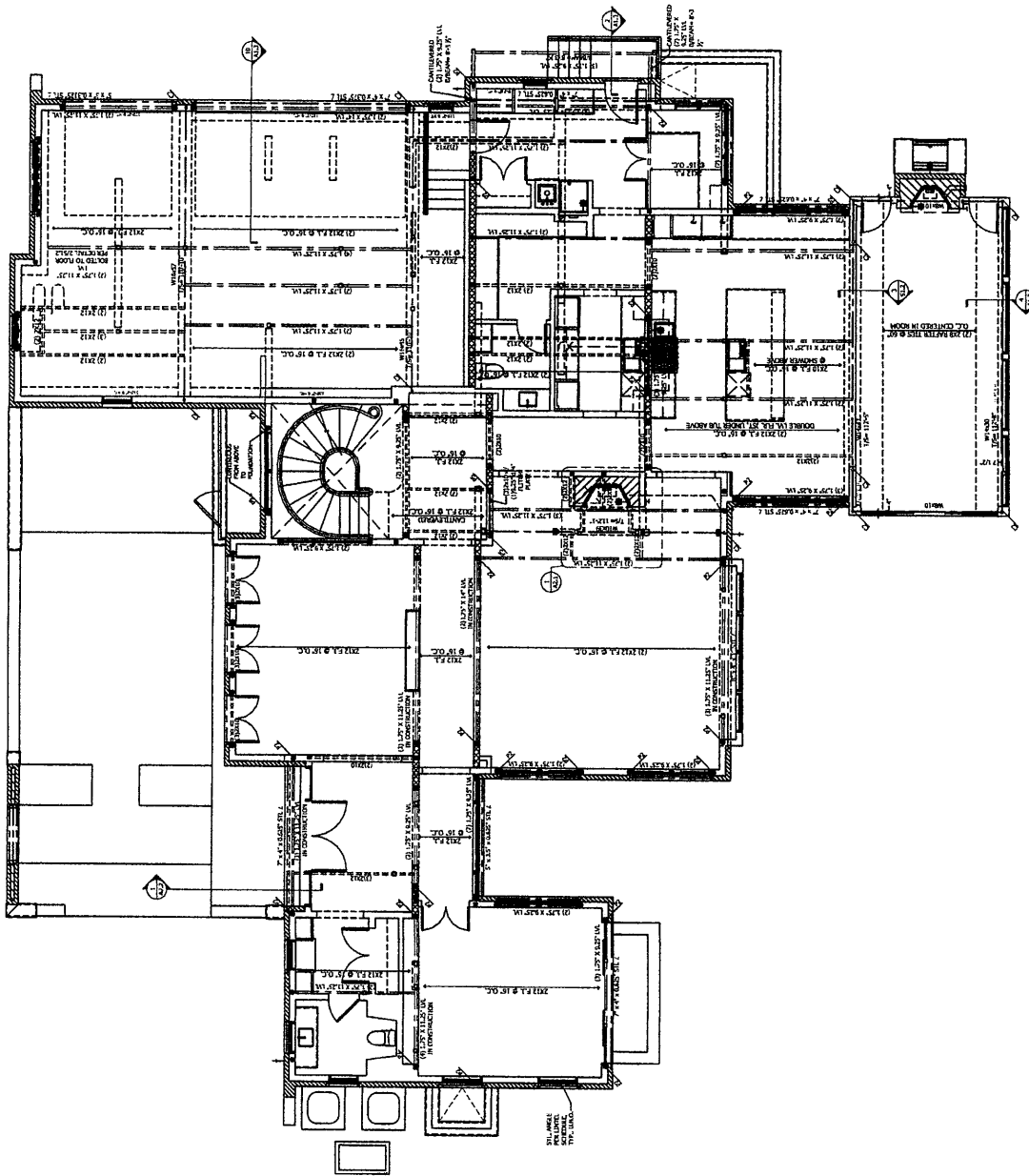
2018.100 PL.



ROOF PLAN
SCALE: 1/4" = 1'-0"

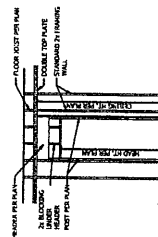


PARTIAL ATTIC PLAN
SCALE: 1/4" = 1'-0"

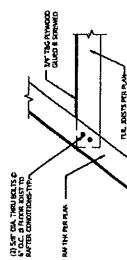


SECOND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

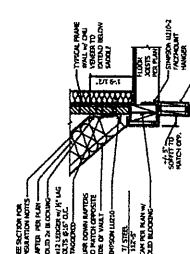
STRUCTURAL LEGEND		PAINT LEGEND	
1	1" x 4" STUDS	1	BLACK
2	2" x 4" STUDS	2	RED
3	3" x 4" STUDS	3	GREEN
4	4" x 4" STUDS	4	BLUE
5	5" x 4" STUDS	5	BROWN
6	6" x 4" STUDS	6	PINK
7	7" x 4" STUDS	7	WHITE
8	8" x 4" STUDS	8	GRAY
9	9" x 4" STUDS	9	YELLOW
10	10" x 4" STUDS	10	PURPLE
11	11" x 4" STUDS	11	ORANGE
12	12" x 4" STUDS	12	TEAL
13	13" x 4" STUDS	13	LIME
14	14" x 4" STUDS	14	MAGENTA
15	15" x 4" STUDS	15	SLATE
16	16" x 4" STUDS	16	INDIGO
17	17" x 4" STUDS	17	VIOLET
18	18" x 4" STUDS	18	NAVY
19	19" x 4" STUDS	19	SLATE
20	20" x 4" STUDS	20	INDIGO
21	21" x 4" STUDS	21	VIOLET
22	22" x 4" STUDS	22	NAVY
23	23" x 4" STUDS	23	SLATE
24	24" x 4" STUDS	24	INDIGO
25	25" x 4" STUDS	25	VIOLET
26	26" x 4" STUDS	26	NAVY
27	27" x 4" STUDS	27	SLATE
28	28" x 4" STUDS	28	INDIGO
29	29" x 4" STUDS	29	VIOLET
30	30" x 4" STUDS	30	NAVY
31	31" x 4" STUDS	31	SLATE
32	32" x 4" STUDS	32	INDIGO
33	33" x 4" STUDS	33	VIOLET
34	34" x 4" STUDS	34	NAVY
35	35" x 4" STUDS	35	SLATE
36	36" x 4" STUDS	36	INDIGO
37	37" x 4" STUDS	37	VIOLET
38	38" x 4" STUDS	38	NAVY
39	39" x 4" STUDS	39	SLATE
40	40" x 4" STUDS	40	INDIGO
41	41" x 4" STUDS	41	VIOLET
42	42" x 4" STUDS	42	NAVY
43	43" x 4" STUDS	43	SLATE
44	44" x 4" STUDS	44	INDIGO
45	45" x 4" STUDS	45	VIOLET
46	46" x 4" STUDS	46	NAVY
47	47" x 4" STUDS	47	SLATE
48	48" x 4" STUDS	48	INDIGO
49	49" x 4" STUDS	49	VIOLET
50	50" x 4" STUDS	50	NAVY
51	51" x 4" STUDS	51	SLATE
52	52" x 4" STUDS	52	INDIGO
53	53" x 4" STUDS	53	VIOLET
54	54" x 4" STUDS	54	NAVY
55	55" x 4" STUDS	55	SLATE
56	56" x 4" STUDS	56	INDIGO
57	57" x 4" STUDS	57	VIOLET
58	58" x 4" STUDS	58	NAVY
59	59" x 4" STUDS	59	SLATE
60	60" x 4" STUDS	60	INDIGO
61	61" x 4" STUDS	61	VIOLET
62	62" x 4" STUDS	62	NAVY
63	63" x 4" STUDS	63	SLATE
64	64" x 4" STUDS	64	INDIGO
65	65" x 4" STUDS	65	VIOLET
66	66" x 4" STUDS	66	NAVY
67	67" x 4" STUDS	67	SLATE
68	68" x 4" STUDS	68	INDIGO
69	69" x 4" STUDS	69	VIOLET
70	70" x 4" STUDS	70	NAVY
71	71" x 4" STUDS	71	SLATE
72	72" x 4" STUDS	72	INDIGO
73	73" x 4" STUDS	73	VIOLET
74	74" x 4" STUDS	74	NAVY
75	75" x 4" STUDS	75	SLATE
76	76" x 4" STUDS	76	INDIGO
77	77" x 4" STUDS	77	VIOLET
78	78" x 4" STUDS	78	NAVY
79	79" x 4" STUDS	79	SLATE
80	80" x 4" STUDS	80	INDIGO
81	81" x 4" STUDS	81	VIOLET
82	82" x 4" STUDS	82	NAVY
83	83" x 4" STUDS	83	SLATE
84	84" x 4" STUDS	84	INDIGO
85	85" x 4" STUDS	85	VIOLET
86	86" x 4" STUDS	86	NAVY
87	87" x 4" STUDS	87	SLATE
88	88" x 4" STUDS	88	INDIGO
89	89" x 4" STUDS	89	V



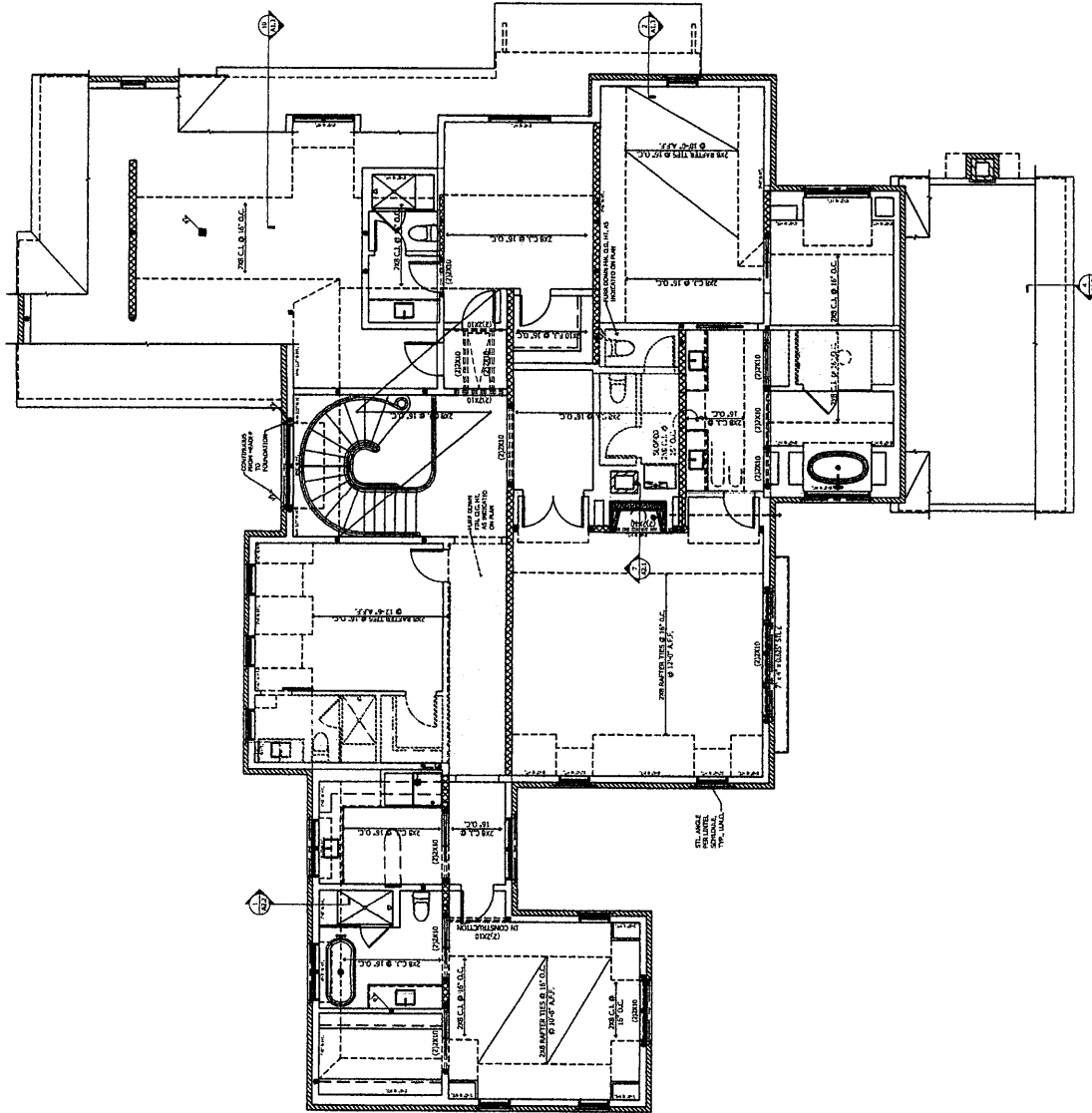
HEADER DETAIL



**FLOOR JOIST
TO RAFTER DETAIL**
SCALE: 1/2" = 1'-0"



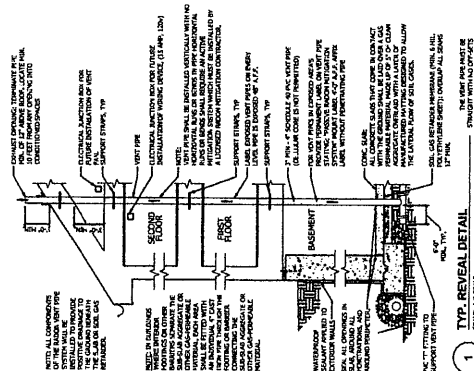
BEAM DETAIL
AT SUN ROOM
SCALE 1/2" = 1'-0"



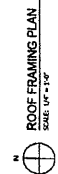
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SECOND FLOOR CEILING FRAMING PLAN

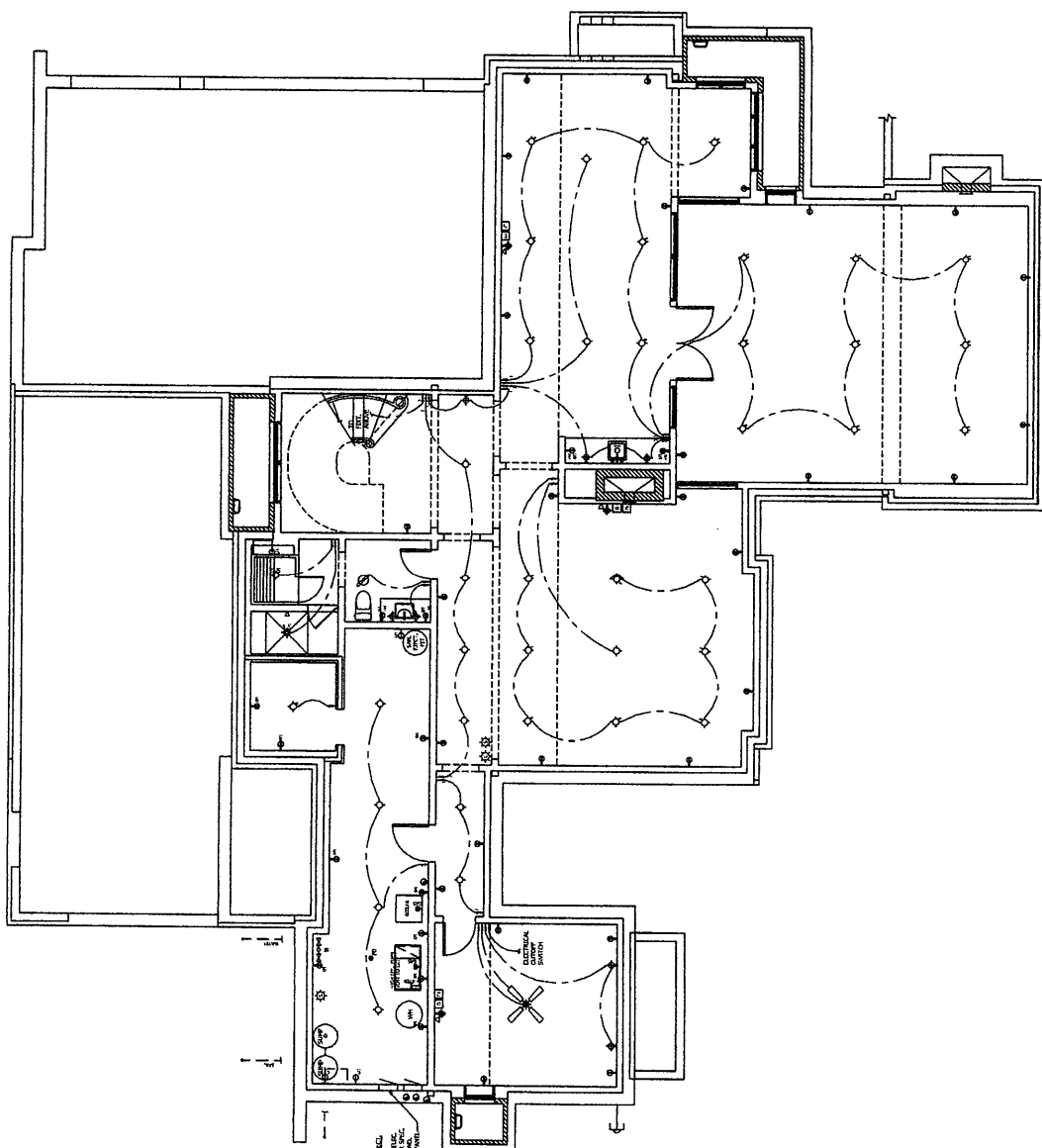
SCALE: 1/4" = 1'-0"

[illegible]

1



2



N

LOWER LEVEL
SCHEMATIC ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

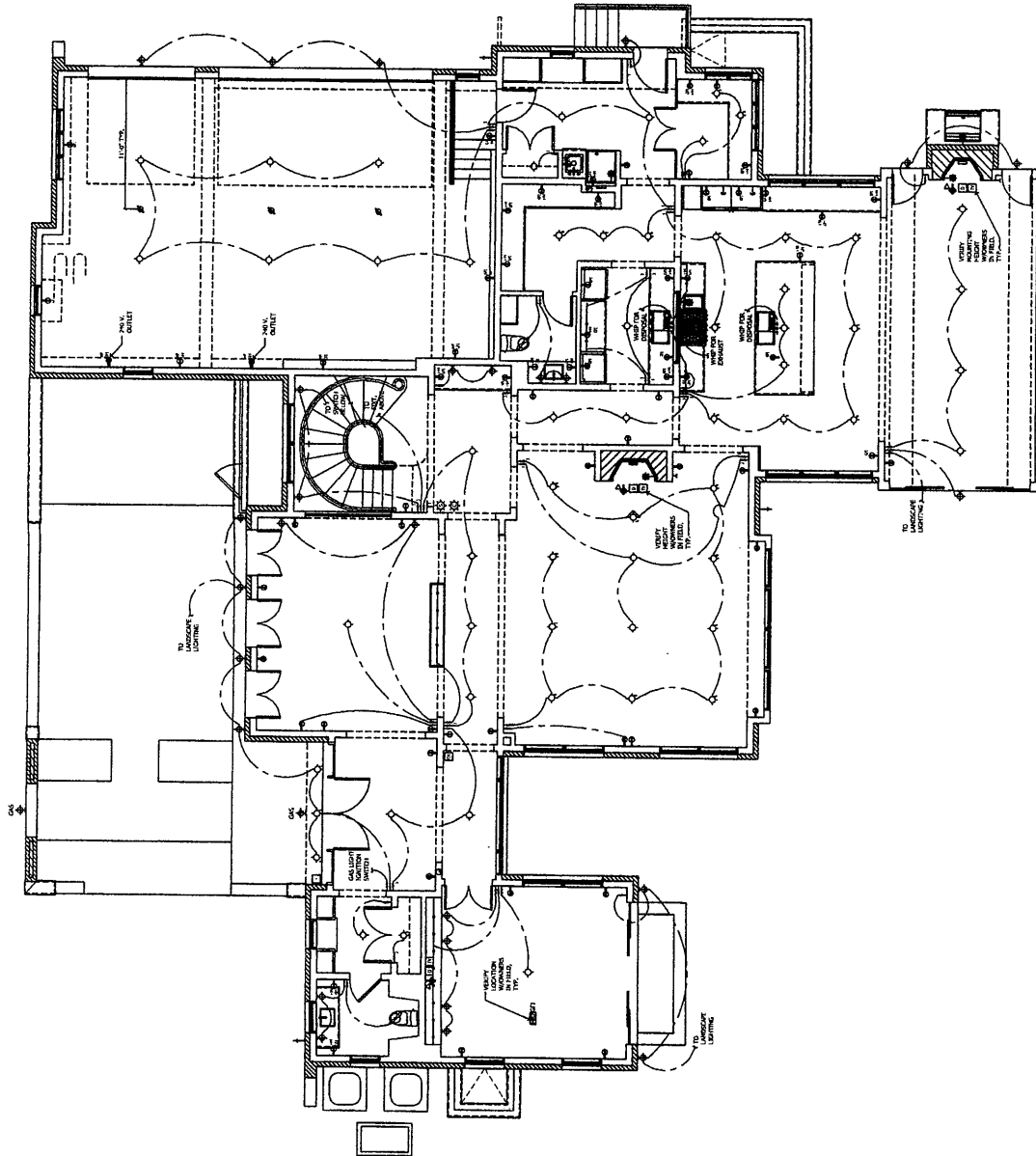
- [illegible]

ELECTRICAL GENERAL NOTES

- [illegible]

PROJECT NOTES:

1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/ OWNER.
2. G.C. TO COORDINATE POWER REQUIREMENTS w/ A/E, CONSULTANT PER OWNER.
3. LIGHTING IN ALL CABINETS TO BE COORDINATED w/ CABINET SUPPLIER PER OWNER.
4. LIGHTING IN ALL BUILT-IN FURNITURE TO BE COORDINATED w/ FURNITURE SUPPLIER PER OWNER.
5. ALL DECORATIVE PORTLANDS TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
6. ALL LAMPS & WALL SWITCHES TO HAVE APPROVED CORDS.




**FIRST FLOOR
SCHEMATIC ELECTRICAL PLAN**
 SCALE: 3/16" = 1'-0"

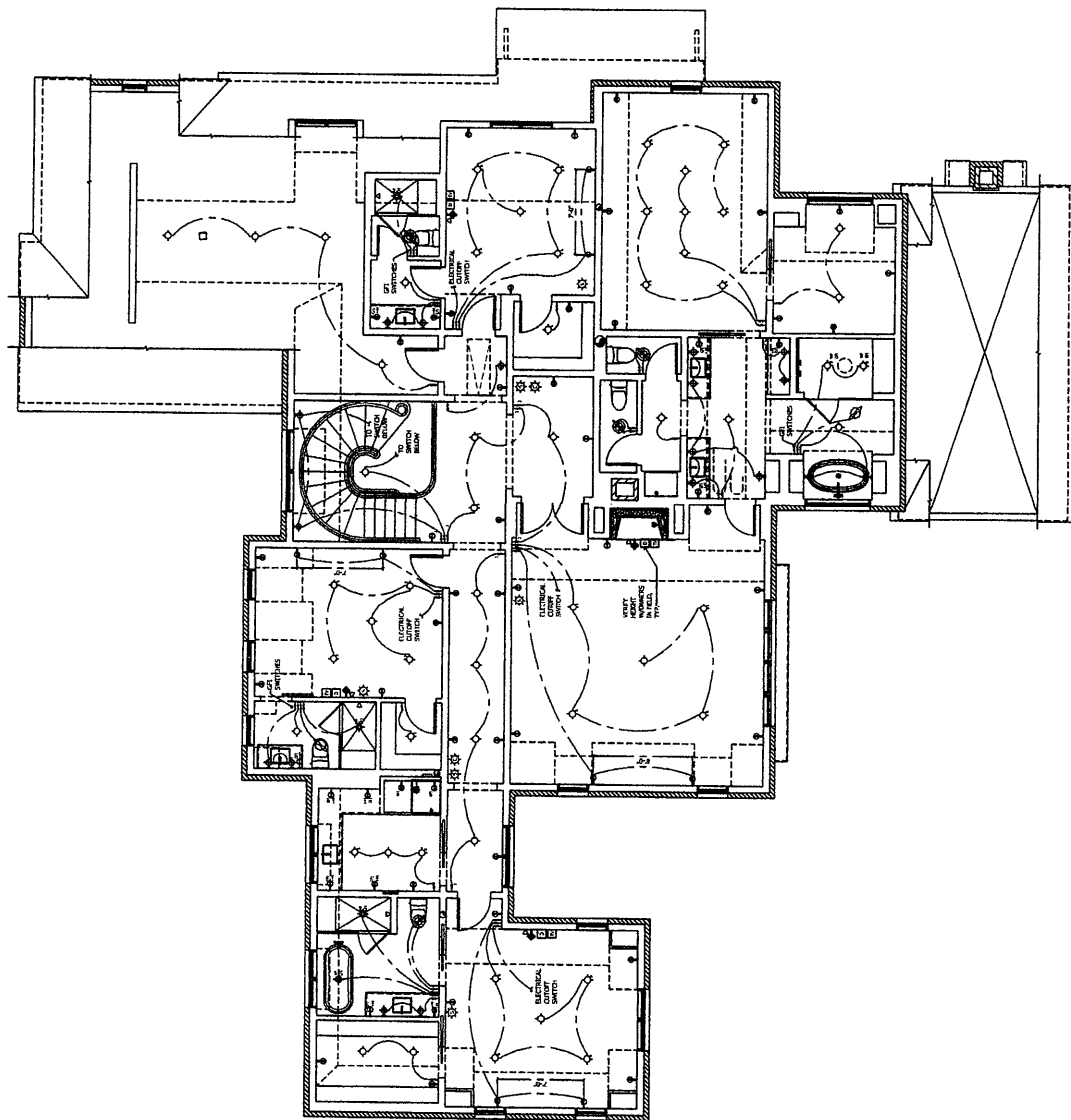
- [illegible]

ELECTRICAL GENERAL NOTES

- [illegible]

SUBJECT MATTER

1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS PER OWNER.
2. G.C. TO COORDINATE POWER REQUIREMENTS OF A/V, CONSULTANT PER OWNER.
3. LIGHTING IN ALL CABINETS TO BE COORDINATED BY CABINET SUPPLIER PER OWNER.
4. LIGHTING IN ALL BUILDING WALLS/POLE TO BE COORDINATED BY WALL/SHELF SUPPLIER PER OWNER.
5. ALL DECORATIVE FIXTURES TO BE PROVIDED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
6. ALL APPLIANCES & WALL MOUNTING TO BE PROVIDED BY OWNER.



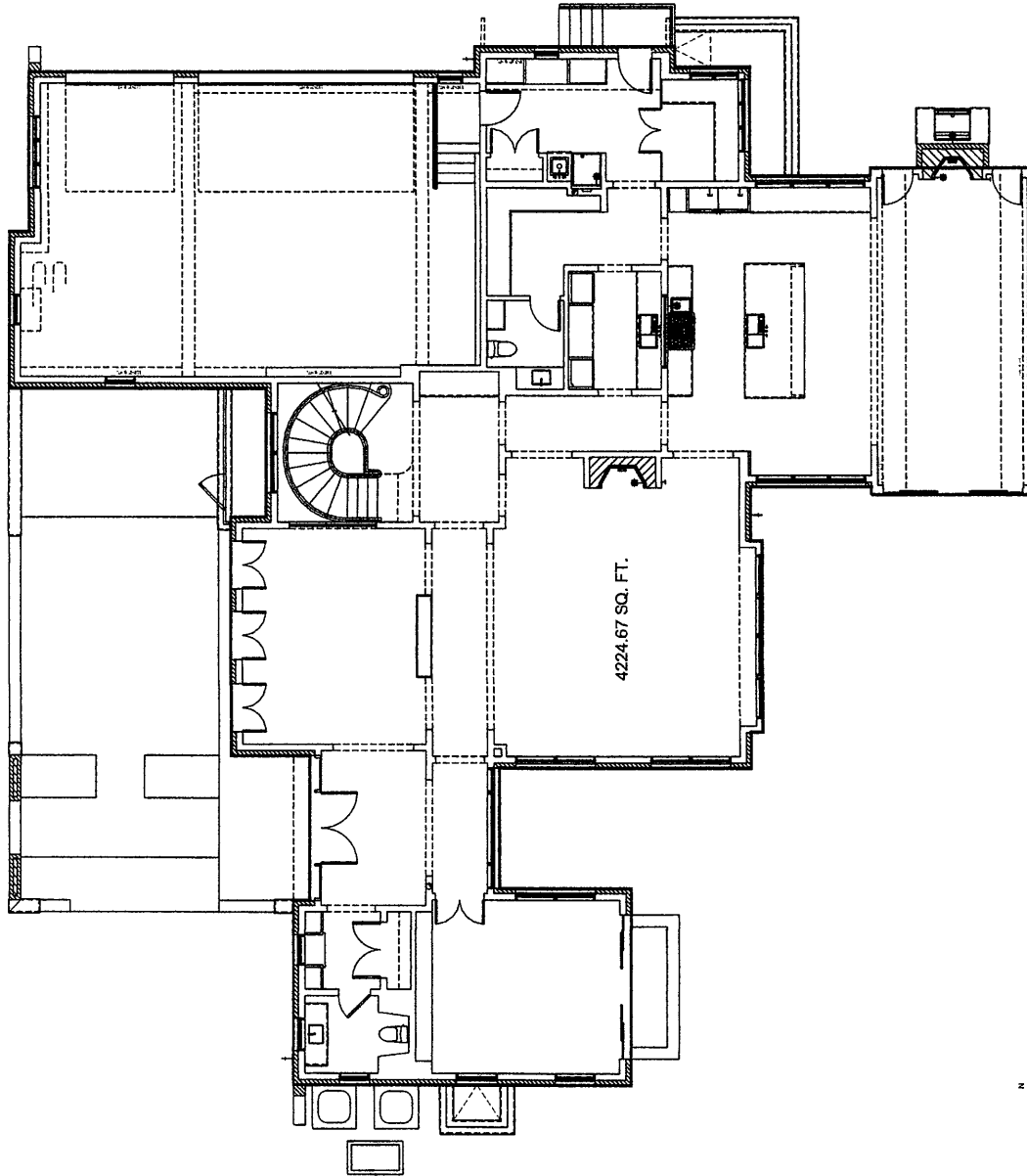
N
SECOND FLOOR
SCHEMATIC ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"

- [illegible]

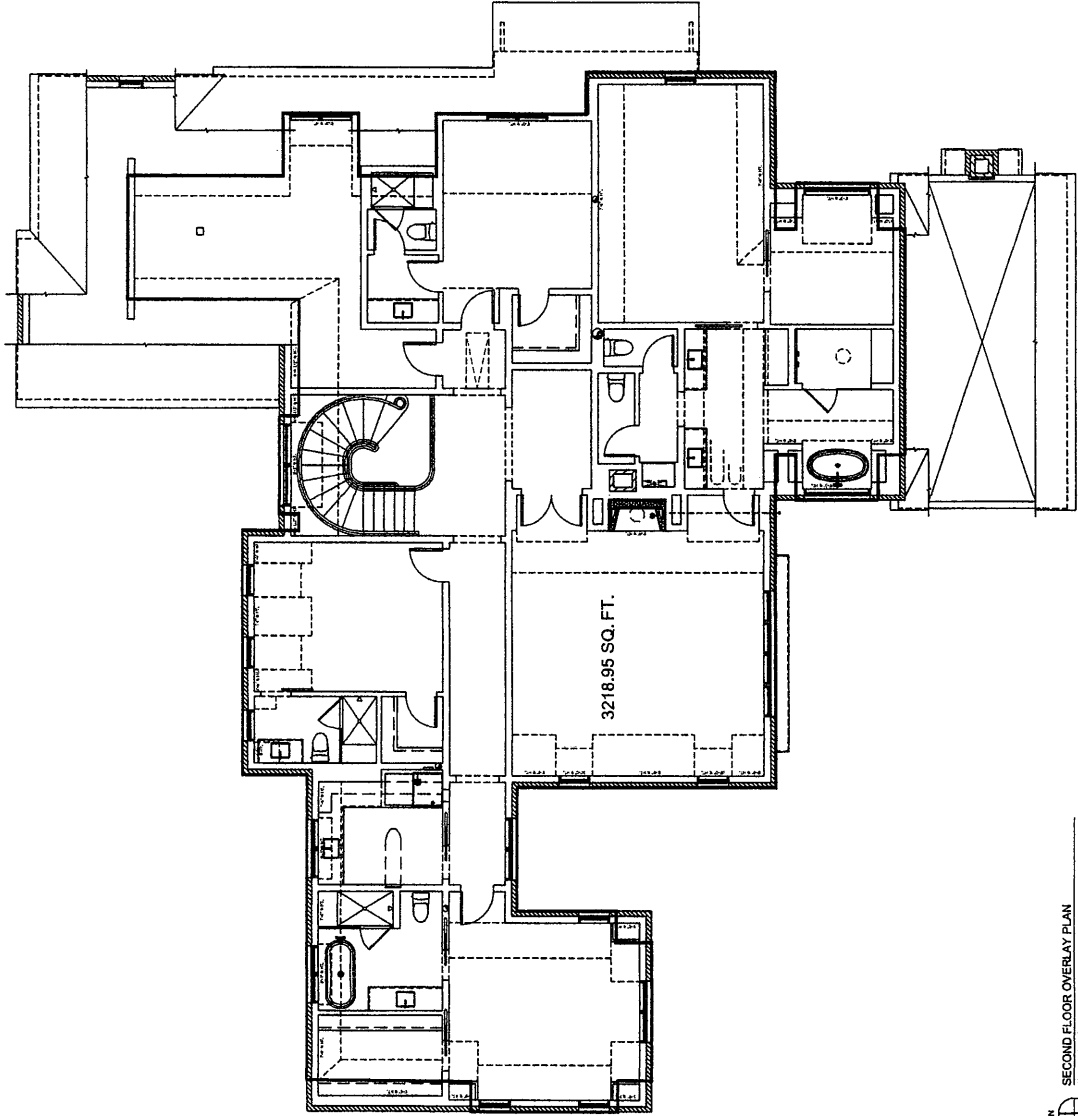
ELECTRICAL GENERAL NOTES

- [illegible]

- PROJECT NOTES:**
1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS BY OWNER.
 2. DISCONNECT POWER REQUIREMENTS BY A.N. CONSULTANT FOR OWNER.
 3. U.G. TO ALL CONDUITS TO BE DISCONNECTED BY CONDUIT SUPPLIER FOR OWNER.
 4. LOCATING IN ALL INLET-ON WELLSHOLE TO BE DISCONNECTED BY WELLSHOLE SUPPLIER FOR OWNER.
 5. ALL DECORATIVE FITTINGS TO BE FURNISHED & INSTALLED BY ELECTRICAL CONTRACTOR.
 6. ALL AREAS W/ WALL FINISHING TO HAVE BASEBOARD QUANTITY.



FIRST FLOOR OVERLAY PLAN
 SCALE: 1/8" = 1'-0"



N
 SECOND FLOOR OVERLAY PLAN
 SCALE: 1/4" = 1'-0"

PLAT OF SURVEY

LOT 1 AND LOT 2 (EXCEPT THE WEST 10 FEET THEREOF) IN PEARSALL'S SUBDIVISION IN BLOCK 13 IN ROBBINS PARK ADDITION TO HINSDALE, A SUBDIVISION IN THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID PEARSALL'S SUBDIVISION RECORDED DECEMBER 12, 1883 AS DOCUMENT 32704, IN DuPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-223-004
Area of Parcel: 30,011 S.F.

FIFTH STREET
66' RIGHT OF WAY
ASPHALT PAVEMENT

CROSS CUT IN
SIDEWALK IS 2.50'
NORTH & ON LINE.

EDGE OF PAVEMENT
BACK OF CURB

Arc 129.96' MEAS.
Rad 794 39' MEAS.

FC. END IS
ON PROPERTY
LINE AND
1.76' SOUTH.

CROSS CUT IN
SIDEWALK IS 4.55'
NORTH & ON LINE.

LOT 3 PEARSALL'S SUBDIVISION

LOT 1 PEARSALL'S SUBDIVISION

EAST LINE OF LOT 3
WEST LINE OF LOT 2

EAST LINE OF THE WEST 10' OF LOT 2

N 00°19'56" E

N 00°25'40" E

N 89°59'28" E

129.40'

THIS SURVEY IS NOT VALID WITHOUT
THE SURVEYORS SEAL.

COMPARE THE DESCRIPTION OF THIS
PLAT WITH YOUR DEED, ABSTRACT OR
CERTIFICATE OF TITLE; ALSO COMPARE
ALL POINTS BEFORE BUILDING BY SAME,
AND AT ONCE REPORT ANY DIFFERENCE.

STATE OF ILLINOIS } S.S.
COUNTY OF DUPAGE }

GENESIS SURVEYING AND ENGINEERING,
P.C., AN ILLINOIS PROFESSIONAL DESIGN
FIRM, HEREBY CERTIFIES THAT THE
PROPERTY DESCRIBED HEREON HAS
BEEN SURVEYED UNDER OUR DIRECTION
AND THAT THIS PLAT IS A TRUE AND
CORRECT REPRESENTATION THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS
TO THE CURRENT ILLINOIS MINIMUM
STANDARDS FOR A BOUNDARY SURVEY.
BUILDING LINES ARE SHOWN ONLY
WHERE THEY ARE SO RECORDED ON THE
MAPS. REFER TO YOUR DEED OR
ABSTRACT. ALL DIMENSIONS ARE GIVEN
IN FEET AND DECIMAL PARTS THEREOF.
BEARINGS AS SHOWN ARE ASSUMED AND
ARE SO INDICATED FOR INTERIOR
ANGLES ONLY.

DATED THIS 27th DAY OF SEPTEMBER ,
A.D. 2016.

Ted G. Staley

ILLINOIS PROFESSIONAL LAND
SURVEYOR NO. 2348
REGISTERED AGENT OF GENESIS
SURVEYING AND ENGINEERING, P.C.
LICENSE TO BE RENEWED NOVEMBER 30,
2016

CROSS CUT IN SIDEWALK
IS 5.37' SOUTH & ON LINE

FC. COR. IS
0.55' NORTH.

FC. IS 1.03' NORTH.

FC. COR. IS 0.19'
EAST OF EAST LINE
OF LOT 1 IN
PEARSALL'S SUB.



SIXTH STREET
82.5' RIGHT OF WAY
BRICK PAVEMENT

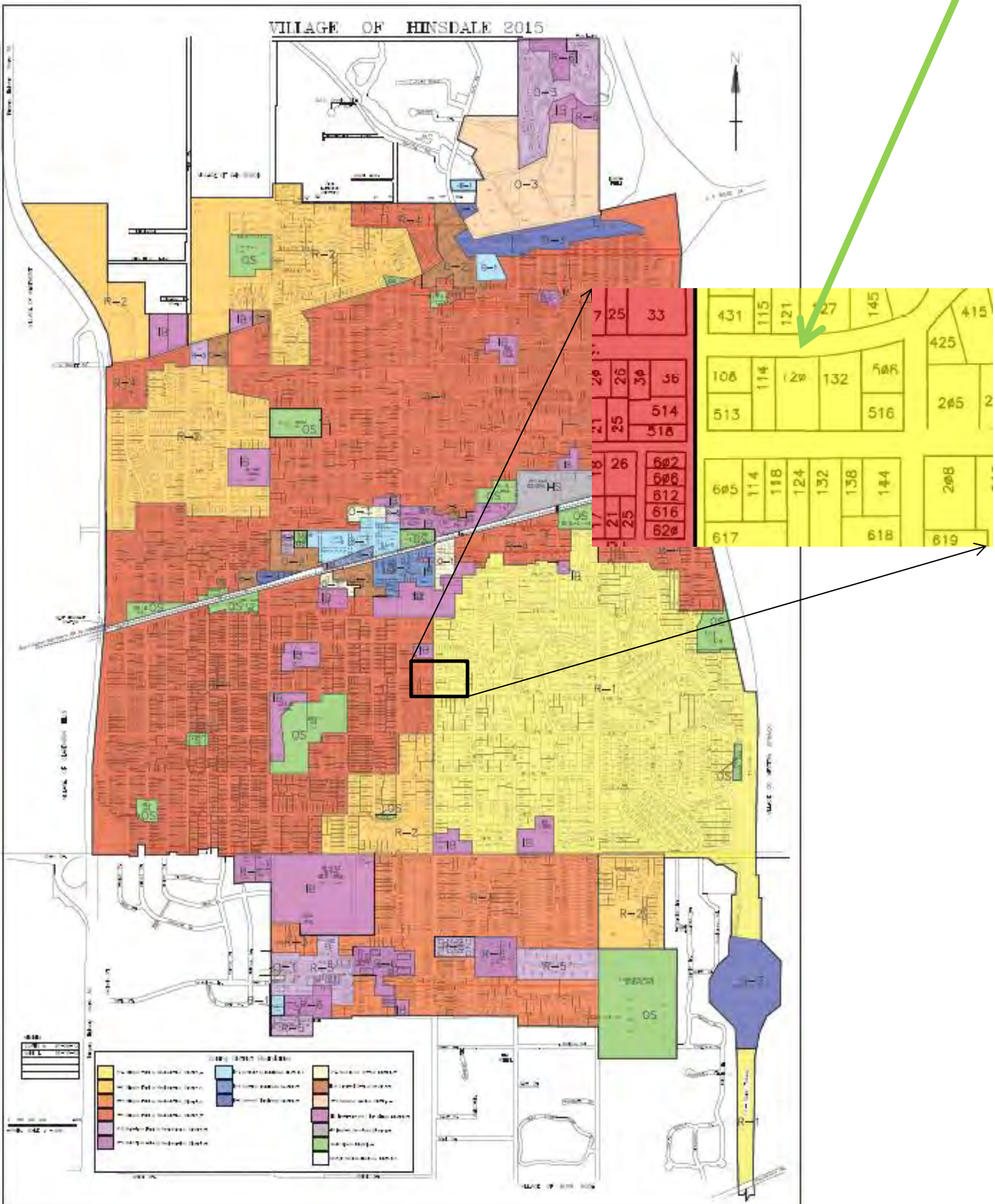
CONCRETE
APRON

Genesis Surveying and Engineering, PC

PROFESSIONAL DESIGN FIRM No. 184-002922
71 W. 61st STREET
WESTMONT, ILLINOIS 60559
PH (630) 271-0930 FAX (630) 271-0933

COMMON ADDRESS: 120 EAST 5th STREET, HINSDALE, IL
JOB NUMBER: 16-082 SCALE 1"= 20' DRAWN BY: TGS
CLIENT: KIM LOTKA
DATE OF FIELD WORK COMPLETION: 09-22-16

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View 120 E. 5th Street (facing south)

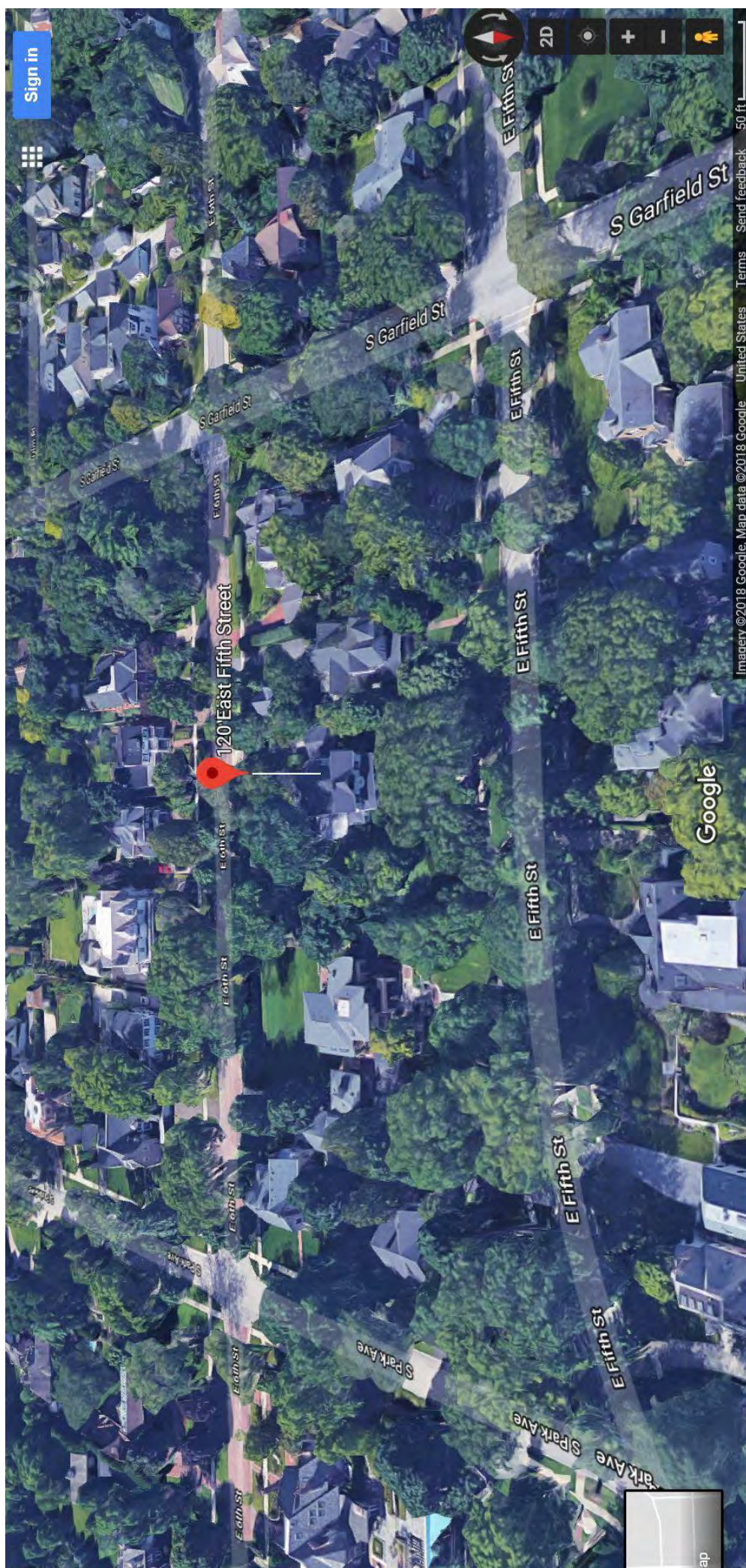


Attachment 4: Street View 120 E. 5th Street (facing north)

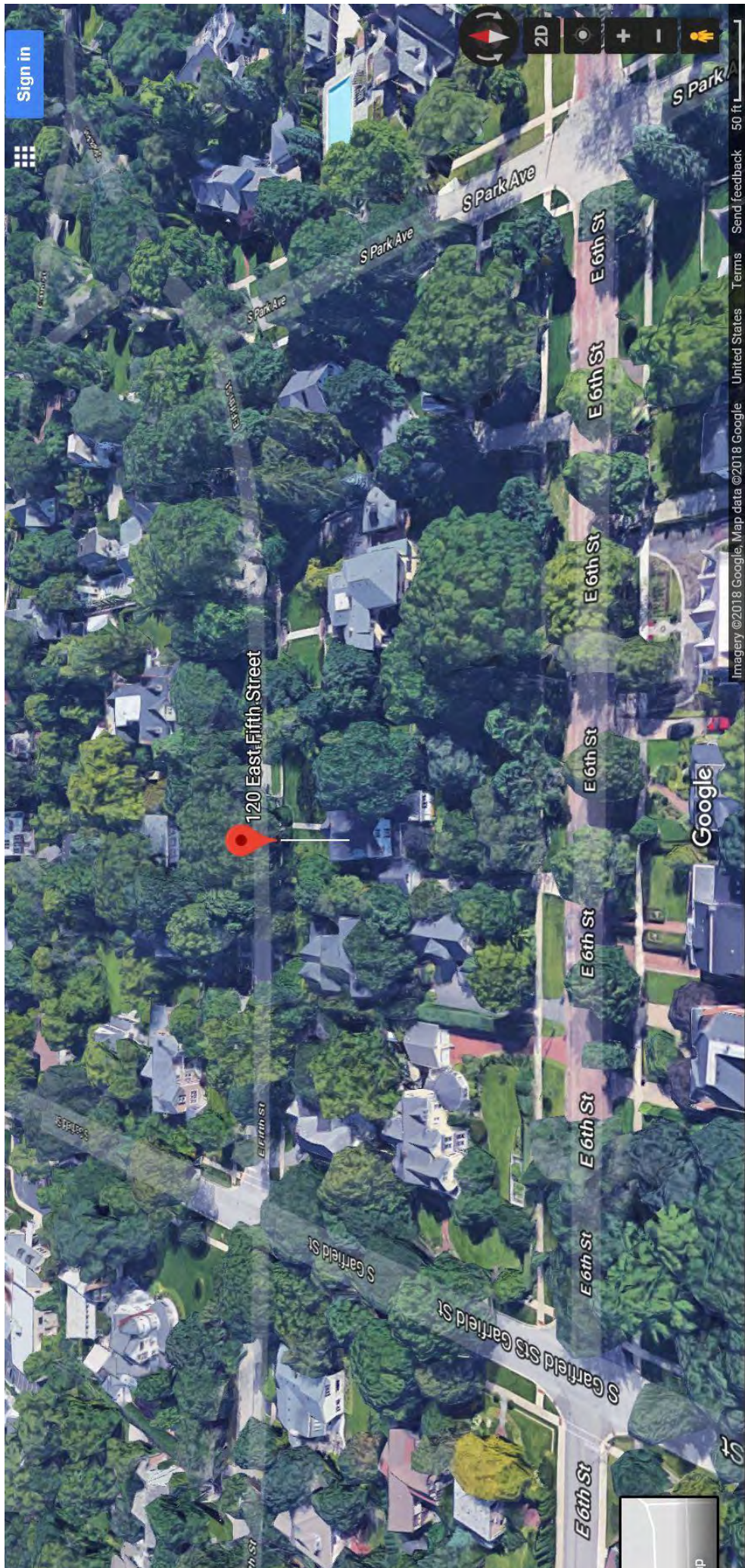


Attachment 4

Attachment 5: Birds Eye View 120 E. 5th Street (facing south)



Attachment 6: Birds Eye View 120 E. 5th Street (facing north)



TOPOGRAPHICAL SITE DEVELOPMENT PLAN

EXISTING GRADE	XXXXXX
PROPOSED GRADE	XXXXXX
PROPOSED FLOW	XXXXXX
SILT FENCE	XX-XX
CONSTRUCTION SAFETY FENCE	XX-XX

KEY
1/2" = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

LEGAL DESCRIPTION

LOT 1 AND LOT 2 (EXCEPT THE WEST 10 FEET THEREOF) IN PEARSALL'S SUBDIVISION IN BLOCK 13 IN ROBBINS PARK ADDITION TO HINSDALE, A SUBDIVISION IN THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID PEARSALL'S SUBDIVISION RECORDED DECEMBER 12, 1883 AS DOCUMENT 32704, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 120 E. 5TH STREET, HINSDALE, ILLINOIS
PIN: 09-12-223-004
LOT AREA: 30,328 SQ. FT. (MEASURED)

NOTE:
FOR TREE PRESERVATION INFORMATION
PLEASE SEE LANDSCAPE PLAN.

5TH STREET SETBACKS	SETBACK
ADDRESS	
505 GARFIELD STREET	44.52'
114 E. 5TH STREET	61.56'
132 E. 5TH STREET	86.64'
506 PARK AVENUE	59.17'
AVERAGE =	66.99'

6TH STREET SETBACKS	SETBACK
ADDRESS	
512 GARFIELD STREET	37.80'
120 E. 5TH STREET	72.91'
132 E. 5TH STREET	86.99'
516 PARK AVENUE	77.45'
AVERAGE =	66.57'

ARCHITECTURAL 100'-0" = CIVIL 726.5'

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800.892.0123

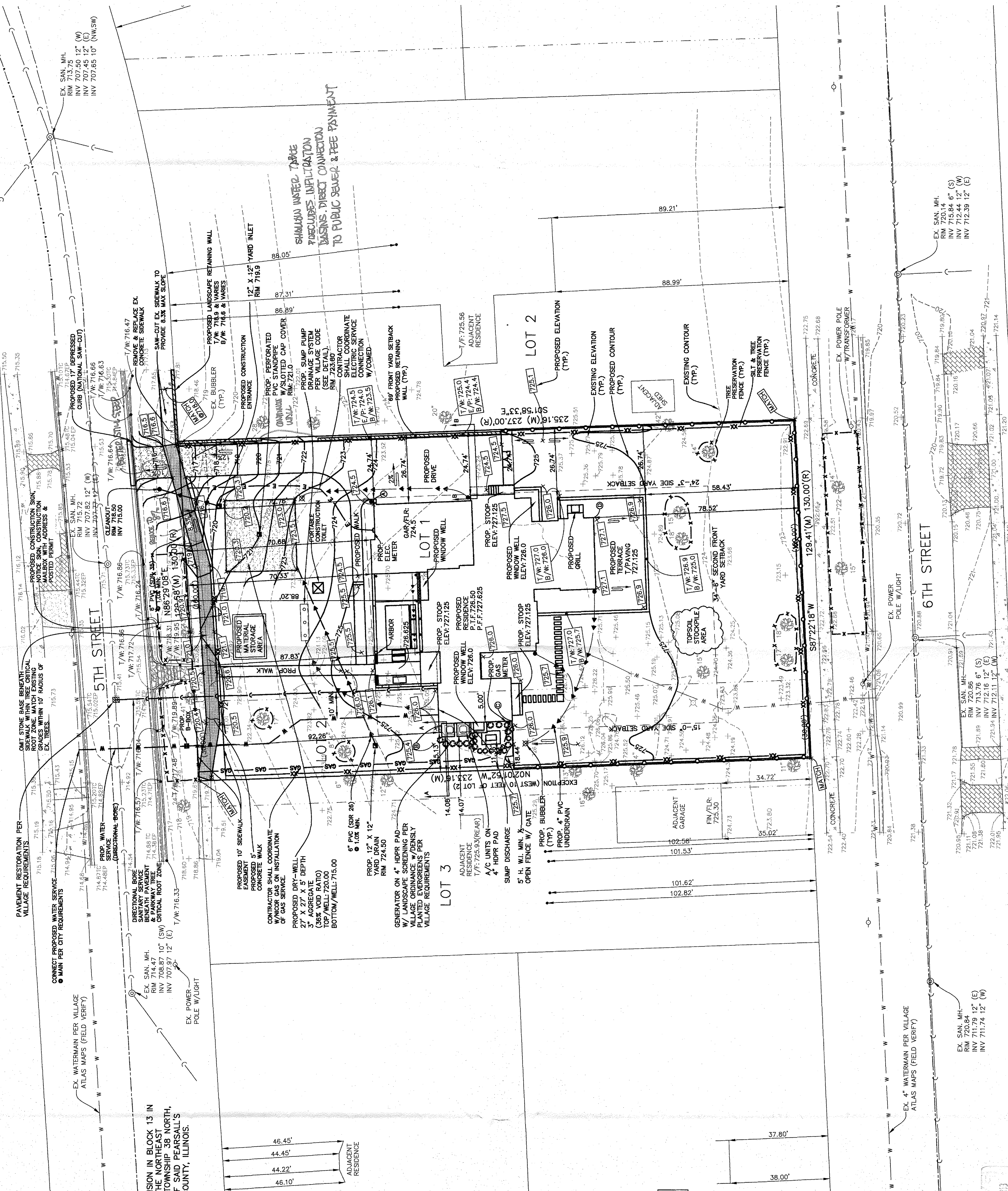
PREPARED FOR: VERRIOS
DRAWN BY: B.L.
CHECKED BY: J.G.
APPROVED BY: J.G.

35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152



10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2418 GALEN DRIVE
CHICAGO, ILLINOIS 60606
PHONE (312) 351-6268
FAX (312) 355-1902



AVG. GRADE DATA (HOUSE)	
POINT	HOUSE
724.2	724.2
726.1	726.1
725.1	725.1
725.5	725.5
AVG.	725.5

DRAINAGE CALC.

() Approved as Submitted
() Approved as Noted
(X) Returned for Corrections
JMS
JAMES J. MURPHY, P.E.
3-26-18

Professional Engineer
State of Illinois
No. 062-052108
Expires November 30, 2019

Jon P. Green, P.E.
IL P.E. NO. 062-052108
Expires November 30, 2019

109.584-2

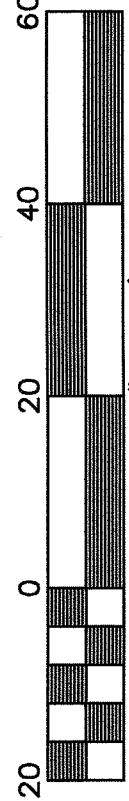
EXISTING CONDITIONS & DEMOLITION PLAN

EXISTING GRADE	— XXXXX —
PROPOSED GRADE	— XXXXX —
PROPOSED CONTOUR	— XXXXX —
PROPOSED FENCE	— XXXXX —
PROPOSED FENCE	— XXXXX —
PROPOSED FENCE	— XXXXX —

KEY:	
T/F = TOP OF FOUNDATION	
P.T.F. = PROPOSED TOP OF FOUNDATION	

LEGAL DESCRIPTION
LOT 1 AND LOT 2 (EXCEPT THE WEST 10 FEET THEREOF) IN PEARSALL'S SUBDIVISION IN BLOCK 13 IN ROBBINS PARK ADDITION TO HINSDALE, A SUBDIVISION IN THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID PEARSALL'S SUBDIVISION RECORDED DECEMBER 12, 1883 AS DOCUMENT 32704, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 120 E. 5TH STREET, HINSDALE, ILLINOIS
PIN: 09-12-223-004



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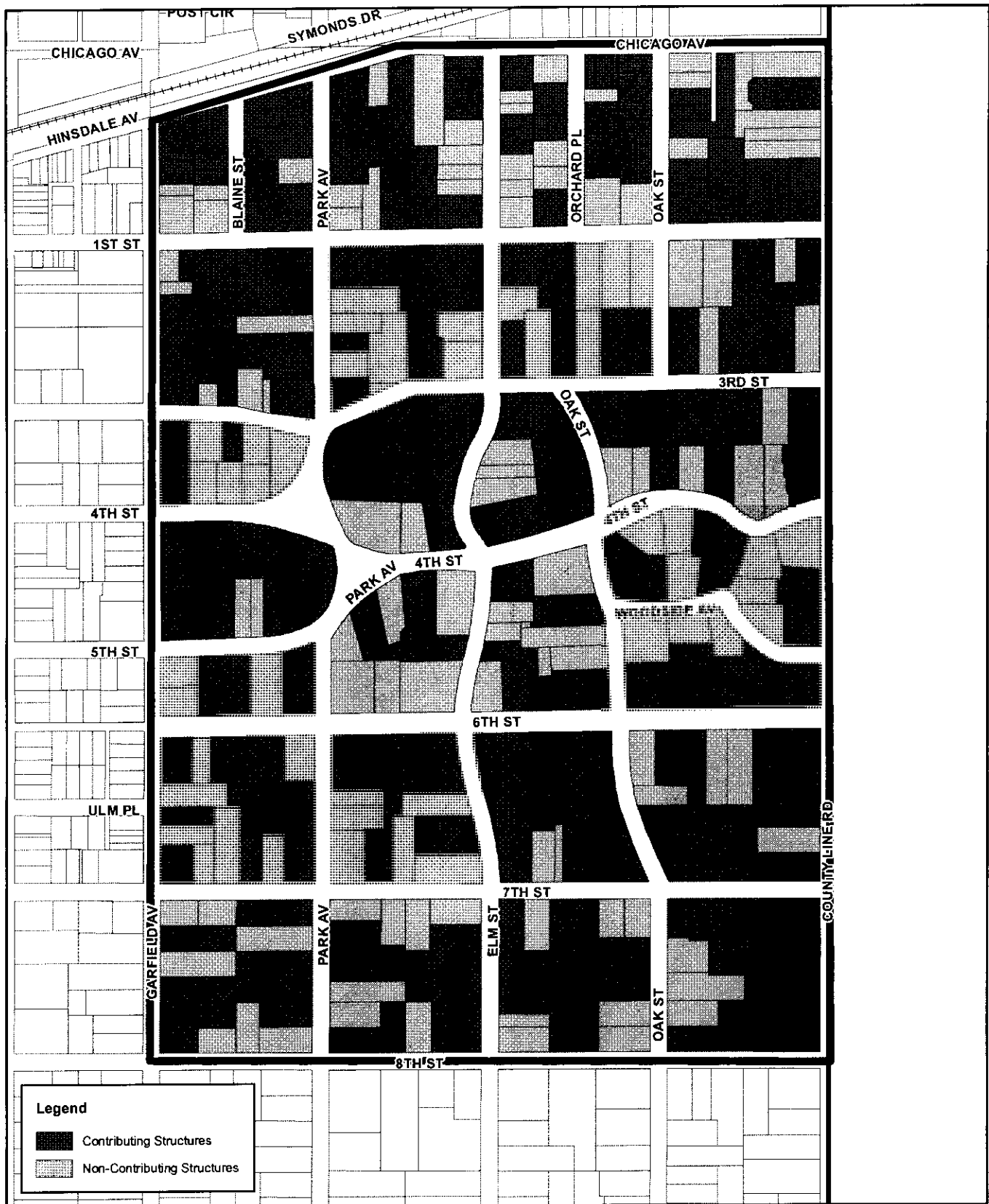
800.892.0123

ENGINEERING
RESOURCE ASSOCIATES

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60055
PHONE (630) 393-3060
FAX (630) 393-2152

ROBBINS PARK HISTORIC DISTRICT



14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.