



MEETING AGENDA

**MEETING OF THE
HISTORIC PRESERVATION COMMISSION
Wednesday, September 13, 2017
6:00 P.M.
MEMORIAL HALL – MEMORIAL BUILDING
(Tentative & Subject to Change)**

1. CALL TO ORDER

2. MINUTES – Review and approval of the minutes from the August 9, 2017, meeting.

3. PUBLIC HEARINGS – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-05-2017 – 434 E. Sixth St. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

4. SIGNAGE IN THE HISTORIC DOWNTOWN DISTRICT

- a) Case A-30-2017 – 50 S. Washington St., 2nd FL. – NL Custom Designs – 3 Window Signs application in the Historic Downtown District.
- b) Case A-31-2017 – 33-37 Washington St.– Starbucks – 2 Sign Replacements in the Historic Downtown District

5. DISCUSSION

- a) 304 S. Lincoln Street – Case HPC-04-2016 (approved on November 9, 2016)
- b) Schedule a Special HPC meeting for Historic District Process Awareness

6. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

August 9, 2017

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale
6:00 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on August 9, 2017, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger, Commissioner D'Arco, Commissioner Gonzalez , Commissioner Willett and Commissioner Williams

Absent:

Also Present: Applicant for Case HPC-04-2017

Minutes

Chairman Bohnen introduced the minutes from the June 14, 2017 (no quorum on July 12), meeting and asked for any questions. The HPC reviewed and **unanimously approved, 7-0** the minutes.

Public Hearing – Certificate of Appropriateness

Case HPC-04-2017 – 441 E. Third Street – Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District to construct a new house.

The applicant reviewed the general poor condition of the house and explained that the additions over the years were constructed without regard to the historical elements of the house and creates a nonfunctional home. Several HPC members were familiar with the house and agreed with the request.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-04-2017

A motion to **approve** the Certificate of Appropriateness was unanimously approved 7-0, as submitted.

Discussion Item – 304 S. Lincoln Street – (no action to be taken)

Chairman Bohnen asked the HPC if Certificate of Appropriateness applications like this example are what they want to continue reviewing, and what their thoughts were on the final product. Several HPC members believed they failed in terms of preserving the historic

appearance of the home. A couple of HPC members explained, what was presented in the exhibits is not what was actually constructed.


The HPC asked Chan to report back on how the Village enforces the final construction after the review by the HPC is handled. The HPC also expressed that they receive design plans after they've been completed, leaving little opportunity for HPC input. To that end, the HPC believes that it is the Village's responsibility to make sure builders understand the HPC review process in Robbins Park, prior to submitting for a construction permit.

Chairman Bohnen requested that this discussion item be carried over for next month's HPC meeting.

Adjournment

Commissioner Bohnen asked for a motion to adjourn. The HPC unanimously agreed to adjourn at 6:51 PM. on August 9, 2017.

Respectfully Submitted,

 , Village Planner

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
Case No. HPC-04-2017)
441 East Third Street.)

REPORT OF PROCEEDINGS had and testimony
taken at the Certificate of Appropriateness
Public Hearing of the above-entitled matter
before the Hinsdale Historic Preservation
Commission, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 9th day of August 2017, at the
hour of 6:00 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MS. JANICE D'ARCO, Member;

MR. JIM PRISBY, Member;

MR. FRANK GONZALEZ, Member;

MS. SHANNON WEINBERGER, Member.

<p style="text-align: right;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MR. CHAN YU, Village Planner;</p> <p>3 MR. PETER COULES, Attorney for</p> <p>4 Applicant;</p> <p>5 MR. RYAN DUNHAM, Applicant.</p> <hr/> <p>6</p> <p>7 CHAIRMAN BOHNEN: We will open the</p> <p>8 public hearing on Case HPC-04-2017, and anybody</p> <p>9 that is going to speak, approach the podium and</p> <p>10 be sworn in.</p> <p>11 (WHEREUPON, Mr. Coules and</p> <p>12 Mr. Dunham were</p> <p>13 administered the oath.)</p> <p>14 Mr. Coules, would you like to start</p> <p>15 us out?</p> <p>16 MR. COULES: I would. So what I have</p> <p>17 done is I went out to the house myself, I took</p> <p>18 some supplemental pictures that I'll show</p> <p>19 everybody and talk a little bit about the house.</p> <p>20 The house was built in 1906. Some</p> <p>21 of the problems with the house is the commission</p> <p>22 like this, and I did make the comment tonight,</p>	<p style="text-align: right;">4</p> <p>1 The structure itself you could go</p> <p>2 put your finger right through the bottom base of</p> <p>3 the house. The garages were added on and it's</p> <p>4 very dangerous to go on from County Line. If</p> <p>5 anyone did go see the house, hopefully you</p> <p>6 parked on Third Street because you can't even</p> <p>7 see coming down from County Line.</p> <p>8 So I'll show some pictures of the</p> <p>9 inside of the house. There's a part of the</p> <p>10 house where I have to duck to go into it because</p> <p>11 it was an addition built, I'm sure without a</p> <p>12 permit or something, over some period of time</p> <p>13 where they did the kind of work.</p> <p>14 These are the front of the houses</p> <p>15 that I took first. This shows what was -- one</p> <p>16 of the additions that was done on the house to</p> <p>17 the sides. Both sides of the house were blown</p> <p>18 out by somebody over time. I don't know who did</p> <p>19 it. The records are too old to know when it was</p> <p>20 done. There's nothing in the village because it</p> <p>21 was done way before the '80s when all the work</p> <p>22 was done to this house.</p>
<p style="text-align: right;">3</p> <p>1 it's nice to see seven people up here myself to</p> <p>2 my client, is there was no boards along the</p> <p>3 years.</p> <p>4 When one goes out and sees this</p> <p>5 house, you can see that there was addition upon</p> <p>6 addition upon addition slapped onto this house.</p> <p>7 The house is literally falling down in more than</p> <p>8 one spot on the house. The foundation cannot</p> <p>9 even hold the structure. The builders, Oakley</p> <p>10 Builders, the owners, tried -- even tried to see</p> <p>11 if they could save the foundation. It's not</p> <p>12 doable. This house is not on the national</p> <p>13 register or our local landmark.</p> <p>14 The biggest problems became is when</p> <p>15 they were done over time -- and I'll show you</p> <p>16 pictures -- the back of fireplaces that were the</p> <p>17 outside walls of part of the house are in the</p> <p>18 family room. All the rooms are a mess. The</p> <p>19 house doesn't -- not only does it not flow, it</p> <p>20 has Dryvit on the house. Any house that was</p> <p>21 built in 1906 I can guarantee you did not have</p> <p>22 Dryvit on any house.</p>	<p style="text-align: right;">5</p> <p>1 They did modernize a galley</p> <p>2 kitchen. And you can see where they actually</p> <p>3 have just thrown rooms on the back of the galley</p> <p>4 kitchen. There were bump outs that weren't</p> <p>5 designed for this kind of a house.</p> <p>6 This is the family room, believe it</p> <p>7 or not. You walk in and you are in a -- looks</p> <p>8 like a Viking ship, seriously. How and who</p> <p>9 designed it, I have no clue. It just doesn't</p> <p>10 make any sense. That's the biggest room of the</p> <p>11 house and everything feeds into that house.</p> <p>12 And then they did rooms off the</p> <p>13 bedrooms upstairs to make other rooms into the</p> <p>14 house. I know that was done on some older</p> <p>15 houses but this was done with no closets or</p> <p>16 anything. So I don't even know what -- if they</p> <p>17 are parlor rooms or what kind of rooms they are.</p> <p>18 The ceilings are sloped in them.</p> <p>19 And that turned sideways. It's the</p> <p>20 fireplace from the old house is actually behind</p> <p>21 the first room of the house. So I think the</p> <p>22 original house was very small and this is going</p>

1 back two different or three different edifices,
2 but these additions because the garage looks
3 like a 1970's style of garage, it's put on the
4 side of the house with the stucco that's on
5 there.

6 This is upstairs. They even built
7 out the third floor where the eaves in the third
8 floor are sitting at about four feet. So I know
9 today you couldn't do that. I don't know when
10 it was done, but you can't even -- the third
11 floor you duck to go up, and then you duck
12 everywhere you walk up there and the basement is
13 even higher.

14 This shows that there's cracking
15 and everything is delaminating on this house.
16 The Dryvit -- like I said -- and it's true
17 Dryvit material, it's not even cement stucco.
18 It's the kind of material that will have to be
19 replaced.

20 This is one of the additions which
21 is the garage that's built off of County Line.
22 It definitely does not go with a prairie style

06:19:52PM

06:20:12PM

1 it was done.

2 So the main front of the house when
3 you first see it, it doesn't look that bad until
4 you walk up to it. When you walk up to it, as I
5 said, everything is delaminated from the middle
6 part of the house down. The foundation is not
7 usable.

8 There's been at least two additions
9 that I as a layman can tell have been done over
10 the timeframe, and there's nothing left of the
11 original house except two rooms. Everything
12 else is gone. So that's why they tried to save
13 it. They looked at it. They wanted to at least
14 save part of it. Save the foundation. Nothing
15 is even saveable. Roof itself it's surprising
16 it's still up. I don't really think you can
17 even have anyone living there tomorrow.

18 CHAIRMAN BOHNEN: Okay. Members of our
19 commission that went out to see this house,
20 would you --

21 MR. GONZALEZ: I only drove by it; I
22 didn't go inside.

06:21:36PM

06:22:02PM

1 house. And what they are designing to do now,
2 if you noticed in your plans, is to get rid of
3 anybody accessing the house off of County Line
4 and coming solely off of Third Street with a
5 garage. The backyard, once you orientate the
6 house as truly being off of Third Street, the
7 backyard of the property is really deep and
8 really nice.

9 I know Mr. Willett had a chance to
10 go out to the property and see that. Because I
11 was surprised by how deep the yard actually is
12 off of Third that runs along County Line.

13 So the whole house was redone and
14 remapped. And you can see the house itself on
15 some of the additions are just like wall stuck
16 against wall. It wasn't even -- I don't know
17 how they ran the rooflines, and I think that's
18 probably why some of them are collapsing as you
19 can see it on the back of that house. They just
20 ran cement stucco against Dryvit and just kept
21 going with this house but there's no way that
22 this house was, of course, Dryvit in 1906 when

06:20:42PM

06:21:08PM

1 MS. D'ARCO: I have been in the house.
2 Not recently. It's been on the market since
3 2014 and it sold last year, so it's been vacant
4 for quite some time. It doesn't surprise me
5 that things are happening. I had walked through
6 the house and I agree with all the points you
7 made here today.

8 MR. COULES: It's actually a shame that
9 someone did it that way. I was surprised when I
10 walked in there.

11 MS. D'ARCO: The house doesn't flow.
12 It's odd in particular. There's nothing, I
13 feel, historical other than the year it was
14 built.

15 MR. COULES: Correct.

16 MS. D'ARCO: Nothing has been done to
17 the house that really preserves the historical
18 nature of it, in my opinion, and I think it was
19 listed -- it lost almost 40 percent of its
20 listing value to the time it was sold. So I
21 think there was an honest effort on the seller's
22 part to sell the house. There were no buyers,

06:22:32PM

06:22:54PM

<p style="text-align: right;">10</p> <p>1 no were no takers.</p> <p>2 CHAIRMAN BOHNEN: Shannon, did you have</p> <p>3 a chance?</p> <p>4 MS. WEINBERGER: I did not.</p> <p>5 MR. PRISBY: I'm familiar with that</p> <p>6 house. I know the issues that they are having.</p> <p>7 You can see them from the exterior. I did not</p> <p>8 get a chance to go inside the house. The photos</p> <p>9 were pretty evident what's going on.</p> <p>06:23:24PM 10 CHAIRMAN BOHNEN: Tom?</p> <p>11 MR. WILLETT: Yes. So I walked the</p> <p>12 neighborhood trying to get a sense on -- and</p> <p>13 this is a historic district. I wanted to get a</p> <p>14 broader view before going in the house.</p> <p>15 Seems like a lot of the homes with</p> <p>16 what I can see weren't necessarily really old</p> <p>17 homes, ones have been built to try to emulate</p> <p>18 old characteristic or style. So started there.</p> <p>19 Then we did a walk through of the</p> <p>06:23:56PM 20 house both exterior and saw several pretty</p> <p>21 severe structural issues in terms of the roof as</p> <p>22 Mr. Coules referenced earlier. Lots of issues</p>	<p style="text-align: right;">12</p> <p>1 opportunity to -- I think there's too many</p> <p>2 issues with the home overall and from the</p> <p>3 standpoint the request to teardown, I don't have</p> <p>4 a concern with holding that back.</p> <p>5 CHAIRMAN BOHNEN: Anybody else that</p> <p>6 have any other comments?</p> <p>7 MR. PRISBY: Sounds to me like it's old</p> <p>8 but not historic. The structural issues are so</p> <p>9 great that the value of trying to restore that</p> <p>06:25:50PM 10 house is just beyond repair economically.</p> <p>11 CHAIRMAN BOHNEN: I agree with all the</p> <p>12 comments that have been made. I did have</p> <p>13 occasion to go through the house early on when</p> <p>14 it first came on the market and it even had</p> <p>15 foundation problems, water problems in the</p> <p>16 foundation.</p> <p>17 MR. COULES: Yes, it does.</p> <p>18 CHAIRMAN BOHNEN: To me it just</p> <p>19 basically gone too far along in the process and</p> <p>06:26:20PM 20 sort of cobbled together architecturally, so I</p> <p>21 would concur also.</p> <p>22 So I guess at this point may I have</p>
<p style="text-align: right;">11</p> <p>1 with the overhang and just general overall</p> <p>2 design but structurally there are a lot of</p> <p>3 challenges exterior wise.</p> <p>4 Interior, to echo Janice's key</p> <p>5 point, that in walking through the house it does</p> <p>6 not flow. It is not, I feel, in its current</p> <p>7 layout a home that would meet this current</p> <p>8 contemporary buyers' needs, especially when you</p> <p>9 go upstairs. The height, the angles are pretty</p> <p>06:24:42PM 10 pronounced in a way that's not really positive,</p> <p>11 in my opinion. There's a lot of physical issues</p> <p>12 with the home. I can't speak to the foundation,</p> <p>13 but I was walking and thinking I don't see much</p> <p>14 from a historical standpoint that we could</p> <p>15 maintain or protect.</p> <p>16 I'm encouraged though in talking to</p> <p>17 Ryan that some of the woodwork may be able to be</p> <p>18 repurposed, possibly the banisters and some</p> <p>19 other that is something that's original to the</p> <p>06:25:14PM 20 house. If it's not, that's fine. So it's good</p> <p>21 to hear that, that is the best efforts with</p> <p>22 that. But I don't feel that this really has an</p>	<p style="text-align: right;">13</p> <p>1 a motion to approve the request for a</p> <p>2 certificate of appropriateness to demolish?</p> <p>3 MR. WILLETT: I'd like to submit a</p> <p>4 motion to approve the request to demolish 441</p> <p>5 East Third Street.</p> <p>6 CHAIRMAN BOHNEN: May I have a second,</p> <p>7 please?</p> <p>8 MR. PRISBY: I'll second.</p> <p>9 CHAIRMAN BOHNEN: All in favor?</p> <p>06:26:50PM 10 (All aye.)</p> <p>11 It's unanimous approved. Thank</p> <p>12 you.</p> <p>13 MR. COULES: Thank you. Have a good</p> <p>14 night.</p> <p>15 (WHICH, were all of the</p> <p>16 proceedings had, evidence</p> <p>17 offered or received in the</p> <p>18 above entitled cause.)</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p>

1 STATE OF ILLINOIS)
2) ss:
3 COUNTY OF DU PAGE)

3 I, KATHLEEN W. BONO, Certified
4 Shorthand Reporter, Notary Public in and for the
5 County DuPage, State of Illinois, do hereby
6 certify that previous to the commencement of the
7 examination and testimony of the various
8 witnesses herein, they were duly sworn by me to
9 testify the truth in relation to the matters
10 pertaining hereto; that the testimony given by
11 said witnesses was reduced to writing by means
12 of shorthand and thereafter transcribed into
13 typewritten form; and that the foregoing is a
14 true, correct and complete transcript of my
15 shorthand notes so taken aforesaid.

16 IN TESTIMONY WHEREOF I have
17 hereunto set my hand and affixed my notarial
18 seal this 18th day of August, A.D. 2017.

19

20

KATHLEEN W. BONO,
C.S.R. No. 84-1423,
Notary Public, DuPage County

21

22

'	Applicant [2] - 2:3, 2:4	cannot [1] - 3:8	D	evident [1] - 10:9
'80s [1] - 4:21	approach [1] - 2:9	Case [2] - 1:5, 2:8	D'ARCO [4] - 1:19, 9:1, 9:11, 9:16	examination [1] - 14:7
1	Appropriateness [1] - 1:9	ceilings [1] - 5:18	dangerous [1] - 4:4	except [1] - 8:11
18th [1] - 14:18	appropriateness [1] - 13:2	cement [2] - 6:17, 7:20	deep [2] - 7:7, 7:11	exterior [3] - 10:7, 10:20, 11:3
19 [1] - 1:12	approve [2] - 13:1, 13:4	Certificate [1] - 1:9	definitely [1] - 6:22	F
1906 [3] - 2:20, 3:21, 7:22	approved [1] - 13:11	certificate [1] - 13:2	delaminated [1] - 8:5	falling [1] - 3:7
1970's [1] - 6:3	architecturally [1] - 12:20	Certified [1] - 14:3	delaminating [1] - 6:15	familiar [1] - 10:5
2	Attorney [1] - 2:3	certify [1] - 14:6	demolish [2] - 13:2, 13:4	family [2] - 3:18, 5:6
2014 [1] - 9:3	August [2] - 1:13, 14:18	CHAIRMAN [9] - 2:7, 8:18, 10:2, 10:10, 12:5, 12:11, 12:18, 13:6, 13:9	design [1] - 11:2	far [1] - 12:19
2017 [2] - 1:13, 14:18	Avenue [1] - 1:12	Chairman [1] - 1:17	designed [2] - 5:5, 5:9	favor [1] - 13:9
4	aye [1] - 13:10	challenges [1] - 11:3	designing [1] - 7:1	feeds [1] - 5:11
40 [1] - 9:19	B	CHAN [1] - 2:2	different [2] - 6:1	feet [1] - 6:8
441 [2] - 1:6, 13:4	backyard [2] - 7:5, 7:7	chance [3] - 7:9, 10:3, 10:8	district [1] - 10:13	fine [1] - 11:20
6	bad [1] - 8:3	characteristic [1] - 10:18	doable [1] - 3:12	finger [1] - 4:2
6:00 [1] - 1:14	banisters [1] - 11:18	Chicago [1] - 1:12	done [12] - 2:17, 3:15, 4:16, 4:20, 4:21, 4:22, 5:14, 5:15, 6:10, 8:1, 8:9, 9:16	fireplace [1] - 5:20
8	base [1] - 4:2	client [1] - 3:2	down [3] - 3:7, 4:7, 8:6	fireplaces [1] - 3:16
84-1423 [1] - 14:21	basement [1] - 6:12	closets [1] - 5:15	drove [1] - 8:21	first [4] - 4:15, 5:21, 8:3, 12:14
9	became [1] - 3:14	clue [1] - 5:9	Dryvit [6] - 3:20, 3:22, 6:16, 6:17, 7:20, 7:22	floor [3] - 6:7, 6:8, 6:11
9th [1] - 1:13	bedrooms [1] - 5:13	cobbled [1] - 12:20	DU [2] - 1:2, 14:2	flow [3] - 3:19, 9:11, 11:6
A	BEFORE [1] - 1:3	collapsing [1] - 7:18	duck [3] - 4:10, 6:11	foregoing [1] - 14:13
A.D [1] - 14:18	behind [1] - 5:20	coming [2] - 4:7, 7:4	duly [1] - 14:8	form [1] - 14:13
able [1] - 11:17	best [1] - 11:21	commencement [1] - 14:6	DUNHAM [1] - 2:4	foundation [7] - 3:8, 3:11, 8:6, 8:14, 11:12, 12:15, 12:16
above-entitled [1] - 1:10	beyond [1] - 12:10	comment [1] - 2:22	Dunham [1] - 2:12	four [1] - 6:8
accessing [1] - 7:3	biggest [2] - 3:14, 5:10	comments [2] - 12:6, 12:12	DuPage [2] - 14:5, 14:21	FRANK [1] - 1:21
added [1] - 4:3	bit [1] - 2:19	COMMISSION [1] - 1:3	E	front [2] - 4:14, 8:2
addition [4] - 3:5, 3:6, 4:11	blown [1] - 4:17	commission [2] - 2:21, 8:19	early [1] - 12:13	G
additions [5] - 4:16, 6:2, 6:20, 7:15, 8:8	BOARD [1] - 1:16	Commission [1] - 1:12	East [3] - 1:6, 1:12, 13:5	galley [2] - 5:1, 5:3
administered [1] - 2:13	boards [1] - 3:2	complete [1] - 14:14	eaves [1] - 6:7	garage [4] - 6:2, 6:3, 6:21, 7:5
affixed [1] - 14:17	BOHNEN [10] - 1:17, 2:7, 8:18, 10:2, 10:10, 12:5, 12:11, 12:18, 13:6, 13:9	concern [1] - 12:4	echo [1] - 11:4	garages [1] - 4:3
aforesaid [1] - 14:15	BONO [2] - 14:3, 14:20	concur [1] - 12:21	economically [1] - 12:10	general [1] - 11:1
agree [2] - 9:6, 12:11	bottom [1] - 4:2	contemporary [1] - 11:8	edifices [1] - 6:1	given [1] - 14:10
almost [1] - 9:19	broader [1] - 10:14	correct [2] - 9:15, 14:14	effort [1] - 9:21	GONZALEZ [2] - 1:21, 8:21
ALSO [1] - 2:1	builders [1] - 3:9	COULES [6] - 2:3, 2:16, 9:8, 9:15, 12:17, 13:13	efforts [1] - 11:21	great [1] - 12:9
angles [1] - 11:9	Builders [1] - 3:10	coules [1] - 10:22	emulate [1] - 10:17	guarantee [1] - 3:21
	built [7] - 2:20, 3:21, 4:11, 6:6, 6:21, 9:14, 10:17	Coules [2] - 2:11, 2:14	encouraged [1] - 11:16	guess [1] - 12:22
	bump [1] - 5:4	COUNTY [2] - 1:2, 14:2	entitled [2] - 1:10, 13:18	H
	buyers [1] - 9:22	County [7] - 4:4, 4:7, 6:21, 7:3, 7:12, 14:5, 14:21	especially [1] - 11:8	hand [1] - 14:17
	buyers' [1] - 11:8	course [1] - 7:22	everywhere [1] - 6:12	hear [1] - 11:21
	C	cracking [1] - 6:14	evidence [1] - 13:16	Hearing [1] - 1:10
	C.S.R [1] - 14:21	current [2] - 11:6, 11:7		hearing [1] - 2:8
				height [1] - 11:9
				hereby [1] - 14:5

<p>herein [1] - 14:8 hereto [1] - 14:10 hereunto [1] - 14:17 higher [1] - 6:13 HINSDALE [1] - 1:3 Hinsdale [2] - 1:11, 1:12 historic [2] - 10:13, 12:8 HISTORIC [1] - 1:3 Historic [1] - 1:11 historical [3] - 9:13, 9:17, 11:14 hold [1] - 3:9 holding [1] - 12:4 home [3] - 11:7, 11:12, 12:2 homes [2] - 10:15, 10:17 honest [1] - 9:21 hopefully [1] - 4:5 hour [1] - 1:14 house [55] - 2:17, 2:19, 2:20, 2:21, 3:5, 3:6, 3:7, 3:8, 3:12, 3:17, 3:19, 3:20, 3:22, 4:3, 4:5, 4:9, 4:10, 4:16, 4:17, 4:22, 5:5, 5:11, 5:14, 5:20, 5:21, 5:22, 6:4, 6:15, 7:1, 7:3, 7:6, 7:13, 7:14, 7:19, 7:21, 7:22, 8:2, 8:6, 8:11, 8:19, 9:1, 9:6, 9:11, 9:17, 9:22, 10:6, 10:8, 10:14, 10:20, 11:5, 11:20, 12:10, 12:13 houses [2] - 4:14, 5:15 HPC-04-2017 [2] - 1:5, 2:8</p>	<p>J</p> <p>JANICE [1] - 1:19 Janice's [1] - 11:4 JIM [1] - 1:20 JOHN [1] - 1:17</p> <p>K</p> <p>KATHLEEN [2] - 14:3, 14:20 kept [1] - 7:20 key [1] - 11:4 kind [4] - 4:13, 5:5, 5:17, 6:18 kitchen [2] - 5:2, 5:4</p> <p>L</p> <p>landmark [1] - 3:13 last [1] - 9:3 layman [1] - 8:9 layout [1] - 11:7 least [2] - 8:8, 8:13 left [1] - 8:10 Line [5] - 4:4, 4:7, 6:21, 7:3, 7:12 listed [1] - 9:19 listing [1] - 9:20 literally [1] - 3:7 living [1] - 8:17 local [1] - 3:13 look [1] - 8:3 looked [1] - 8:13 looks [2] - 5:7, 6:2 lost [1] - 9:19</p> <p>M</p> <p>main [1] - 8:2 maintain [1] - 11:15 market [2] - 9:2, 12:14 material [2] - 6:17, 6:18 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 14:9 means [1] - 14:11 meet [1] - 11:7 Member [5] - 1:18, 1:19, 1:20, 1:21, 1:22 members [1] - 8:18 MEMBERS [1] - 1:16 mess [1] - 3:18 middle [1] - 8:5 modernize [1] - 5:1</p>	<p>motion [2] - 13:1, 13:4 MR [17] - 1:17, 1:20, 1:21, 2:2, 2:3, 2:4, 2:16, 8:21, 9:8, 9:15, 10:5, 10:11, 12:7, 12:17, 13:3, 13:8, 13:13 MS [7] - 1:18, 1:19, 1:22, 9:1, 9:11, 9:16, 10:4</p> <p>N</p> <p>national [1] - 3:12 nature [1] - 9:18 necessarily [1] - 10:16 needs [1] - 11:8 neighborhood [1] - 10:12 nice [2] - 3:1, 7:8 night [1] - 13:14 notarial [1] - 14:17 Notary [2] - 14:4, 14:21 notes [1] - 14:15 nothing [5] - 4:20, 8:10, 8:14, 9:12, 9:16 noticed [1] - 7:2</p> <p>O</p> <p>Oakley [1] - 3:9 oath [1] - 2:13 occasion [1] - 12:13 odd [1] - 9:12 OF [6] - 1:1, 1:2, 1:3, 1:8, 14:1, 14:2 offered [1] - 13:17 old [5] - 4:19, 5:20, 10:16, 10:18, 12:7 older [1] - 5:14 once [1] - 7:5 one [4] - 3:4, 3:8, 4:15, 6:20 ones [1] - 10:17 open [1] - 2:7 opinion [2] - 9:18, 11:11 opportunity [1] - 12:1 orientate [1] - 7:5 original [3] - 5:22, 8:11, 11:19 outs [1] - 5:4 outside [1] - 3:17 overall [2] - 11:1,</p>	<p>12:2 overhang [1] - 11:1 owners [1] - 3:10</p> <p>P</p> <p>p.m [1] - 1:14 PAGE [2] - 1:2, 14:2 parked [1] - 4:6 parlor [1] - 5:17 part [5] - 3:17, 4:9, 8:6, 8:14, 9:22 particular [1] - 9:12 people [1] - 3:1 percent [1] - 9:19 period [1] - 4:12 permit [1] - 4:12 pertaining [1] - 14:10 PETER [1] - 2:3 photos [1] - 10:8 physical [1] - 11:11 pictures [3] - 2:18, 3:16, 4:8 Planner [1] - 2:2 plans [1] - 7:2 podium [1] - 2:9 point [2] - 11:5, 12:22 points [1] - 9:6 positive [1] - 11:10 possibly [1] - 11:18 prairie [1] - 6:22 PRESENT [2] - 1:16, 2:1 PRESERVATION [1] - 1:3 Preservation [1] - 1:11 preserves [1] - 9:17 pretty [3] - 10:9, 10:20, 11:9 previous [1] - 14:6 PRISBY [4] - 1:20, 10:5, 12:7, 13:8 problems [4] - 2:21, 3:14, 12:15 proceedings [1] - 13:16 PROCEEDINGS [1] - 1:8 process [1] - 12:19 pronounced [1] - 11:10 property [2] - 7:7, 7:10 protect [1] - 11:15 public [1] - 2:8 Public [3] - 1:10,</p>	<p>14:4, 14:21 put [2] - 4:2, 6:3</p> <p>Q</p> <p>quite [1] - 9:4</p> <p>R</p> <p>ran [2] - 7:17, 7:20 really [7] - 7:7, 7:8, 8:16, 9:17, 10:16, 11:10, 11:22 received [1] - 13:17 recently [1] - 9:2 records [1] - 4:19 redone [1] - 7:13 reduced [1] - 14:11 referenced [1] - 10:22 register [1] - 3:13 relation [1] - 14:9 remapped [1] - 7:14 repair [1] - 12:10 replaced [1] - 6:19 REPORT [1] - 1:8 Reporter [1] - 14:4 repurposed [1] - 11:18 request [3] - 12:3, 13:1, 13:4 restore [1] - 12:9 rid [1] - 7:2 roof [2] - 8:15, 10:21 rooflines [1] - 7:17 room [4] - 3:18, 5:6, 5:10, 5:21 rooms [7] - 3:18, 5:3, 5:12, 5:13, 5:17, 8:11 runs [1] - 7:12 Ryan [1] - 11:17 RYAN [1] - 2:4</p> <p>S</p> <p>SANDRA [1] - 1:18 save [4] - 3:11, 8:12, 8:14 saveable [1] - 8:15 saw [1] - 10:20 seal [1] - 14:18 second [2] - 13:6, 13:8 see [14] - 3:1, 3:5, 3:10, 4:5, 4:7, 5:2, 7:10, 7:14, 7:19, 8:3, 8:19, 10:7, 10:16, 11:13</p>

sees ^[1] - 3:4 sell ^[1] - 9:22 seller's ^[1] - 9:21 sense ^[2] - 5:10, 10:12 seriously ^[1] - 5:8 set ^[1] - 14:17 seven ^[1] - 3:1 several ^[1] - 10:20 severe ^[1] - 10:21 shame ^[1] - 9:8 SHANNON ^[1] - 1:22 shannon ^[1] - 10:2 ship ^[1] - 5:8 Shorthand ^[1] - 14:4 shorthand ^[2] - 14:12, 14:15 show ^[3] - 2:18, 3:15, 4:8 shows ^[2] - 4:15, 6:14 side ^[1] - 6:4 sides ^[2] - 4:17 sideways ^[1] - 5:19 sitting ^[1] - 6:8 slapped ^[1] - 3:6 sloped ^[1] - 5:18 small ^[1] - 5:22 sold ^[2] - 9:3, 9:20 solely ^[1] - 7:4 someone ^[1] - 9:9 sort ^[1] - 12:20 sounds ^[1] - 12:7 spot ^[1] - 3:8 ss ^[2] - 1:1, 14:1 standpoint ^[2] - 11:14, 12:3 start ^[1] - 2:14 started ^[1] - 10:18 State ^[1] - 14:5 STATE ^[2] - 1:1, 14:1 still ^[1] - 8:16 Street ^[5] - 1:6, 4:6, 7:4, 7:6, 13:5 structural ^[2] - 10:21, 12:8 structurally ^[1] - 11:2 structure ^[2] - 3:9, 4:1 stucco ^[3] - 6:4, 6:17, 7:20 stuck ^[1] - 7:15 style ^[3] - 6:3, 6:22, 10:18 submit ^[1] - 13:3 supplemental ^[1] - 2:18 surprise ^[1] - 9:4	surprised ^[2] - 7:11, 9:9 surprising ^[1] - 8:15 sworn ^[2] - 2:10, 14:8	V
	T	vacant ^[1] - 9:3 value ^[2] - 9:20, 12:9 various ^[1] - 14:7 view ^[1] - 10:14 Viking ^[1] - 5:8 Village ^[1] - 2:2 village ^[1] - 4:20 VILLAGE ^[1] - 1:3
	takers ^[1] - 10:1 teardown ^[1] - 12:3 terms ^[1] - 10:21 testify ^[1] - 14:9 testimony ^[3] - 1:8, 14:7, 14:10 TESTIMONY ^[1] - 14:16 THE ^[1] - 1:3 thereafter ^[1] - 14:12 thinking ^[1] - 11:13 Third ^[6] - 1:6, 4:6, 7:4, 7:6, 7:12, 13:5 third ^[3] - 6:7, 6:10 three ^[1] - 6:1 thrown ^[1] - 5:3 timeframe ^[1] - 8:10 today ^[2] - 6:9, 9:7 together ^[1] - 12:20 tom ^[1] - 10:10 tomorrow ^[1] - 8:17 tonight ^[1] - 2:22 took ^[2] - 2:17, 4:15 transcribed ^[1] - 14:12 transcript ^[1] - 14:14 tried ^[3] - 3:10, 8:12 true ^[2] - 6:16, 14:14 truly ^[1] - 7:6 truth ^[1] - 14:9 try ^[1] - 10:17 trying ^[2] - 10:12, 12:9 turned ^[1] - 5:19 two ^[3] - 6:1, 8:8, 8:11 typewritten ^[1] - 14:13	W
	U	walk ^[5] - 5:7, 6:12, 8:4, 10:19 walked ^[3] - 9:5, 9:10, 10:11 walking ^[2] - 11:5, 11:13 wall ^[2] - 7:15, 7:16 walls ^[1] - 3:17 water ^[1] - 12:15 WEINBERGER ^[2] - 1:22, 10:4 WHEREOF ^[1] - 14:16 WHEREUPON ^[1] - 2:11 WHICH ^[1] - 13:15 whole ^[1] - 7:13 WILLETT ^[2] - 10:11, 13:3 Willett ^[1] - 7:9 WILLIAMS ^[1] - 1:18 wise ^[1] - 11:3 witnesses ^[2] - 14:8, 14:11 woodwork ^[1] - 11:17 writing ^[1] - 14:11
	unanimous ^[1] - 13:11 up ^[6] - 3:1, 6:11, 6:12, 8:4, 8:16 upstairs ^[3] - 5:13, 6:6, 11:9 usable ^[1] - 8:7	Y
		yard ^[1] - 7:11 year ^[2] - 9:3, 9:13 years ^[1] - 3:3 YU ^[1] - 2:2



MEMORANDUM

DATE: September 13, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 434 E. Sixth Street – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home

Summary

The Village of Hinsdale has received an application from Jim Garber of Garber Construction, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 434 E. Sixth Street. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot in the Robbins Park Historic District. The existing home was constructed in 1949, designed by Richard A. Binfield, and also known as the John W. Stanton House. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The home is located in the R-1 Single Family Residential District and borders the same to the north, east, south and R-4 Single Family Residential District to the west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 29,500 SF in area. The home, per the National Register of Historic Places, is a noncontributing structure to the Robbins Park Historic District.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet (Section Number 7 Page 21)

DONATELLI & COULES, LTD.

ATTORNEYS AT LAW

15 SALT CREEK LANE, SUITE 312
HINSDALE, ILLINOIS 60521

MARK R. DONATELLI *
PETER COULES, JR.

TELEPHONE (630) 920-0406

FACSIMILE (630) 920-1338

PATRICK C. MCGINNIS

August 31, 2017

* Certified Public Accountant

Via Hand Delivery

Village of Hinsdale
Attn: Chan Yu, Village Planner
19 E. Chicago Avenue
Hinsdale, IL 60521

Re: HPC Hearing on September 13, 2017
434 E. 6th Street
Certificate for Appropriateness for demolition
Rebrag Inc. (Owner)

Dear Chan:

Please be advised that I am representing Rebrag Inc. in the above stated matter. Attached please find the thirty (30) copies of the "Application for Certificate of Appropriateness" (with attachments). As stated the Hearing is scheduled for September 13th and I am requesting a vote on the matter that evening. The house has been vacant for two (2) to three (3) years and has been badly vandalized. In fact, when I went out this week to take pictures, the neighbor, Elizabeth Pyle, came out and asked me when demolition is going to begin as she can't wait for the "eyesore" to be removed. The house is not listed on any historic registers and is only before the Historic Preservation Commission because of its location in the "district".

If any commissioner would like to view the property they can contact Jim Garber of Rebrag Inc. at (630)863-2503 or myself and we will get them into the house.

Thank you, and please contact me with any questions.

Very truly yours,
DONATELLI & COULES, LTD.



Peter Coules, Jr.

PC/mg
Enclosure

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 434 E 6th St
Property Identification Number: 09-12-403-005

I. GENERAL INFORMATION

1. Applicants Name: JIM GARBER
Address: 115 S VINE
Telephone Number: 630-920-9612
2. Owner of Record (if different from applicant): Rebrag Inc
Address: 115 S VINE
Telephone Number: 630 920-9612
3. Others involved in project (include, name, address and telephone number):
Architect: MOMENT DESIGN Patrick Fortelka
201 E Ogden Ave Hinsdale 630-747-9415
Attorney: JIM DERRUYN
15252 S. Harlem Ave 708-532-3223 #104
Builder: GARBER CONSTRUCTION
115 S VINE Hinsdale 630-920-9612
Engineer: Engineering Resource Assoc JOHN GAERN
35-701 W Ave #150 Warrenville 630-327-6464

II. SITE INFORMATION

1. Describe the existing conditions of the property: VACANT HOME THAT HASN'T BEEN MAINTAINED OR LIVED IN FOR SEVERAL YEARS
2. Property Designation:
- Listed on the National Register of Historic Places? YES ✓ NO
- Listed as a Local Designated Landmark? YES ✓ NO
- Located in a Designated Historic District? ✓ YES NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

We propose to demolish the existing home
and build a new single family home.

Please see attached

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☒ No ☐ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☒ **INDIVIDUAL OWNERS**

[Signature]
Signature of Applicant

Signature of Applicant

☐ **CORPORATION**

[Signature]
Signature of Applicant's President

Signature of Applicant's Secretary

☐ **PARTNERSHIP**

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

OTHER

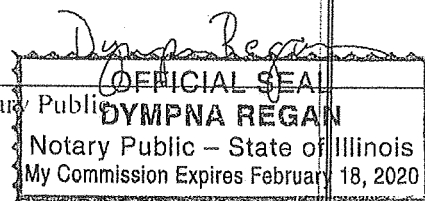
Signature of Authorized Officer

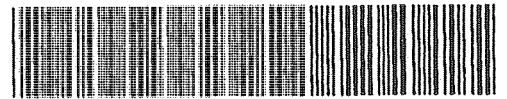
SUBSCRIBED AND SWORN
to before me this 9th day of

August, 2017

Notary Public

4





FRED BUCHOLZ

DUPAGE COUNTY RECORDER

APR. 19, 2017 RHSP 12:13 PM
DEED \$40.00 09-12-403-005

003 PAGES R2017-037339

2400.00

ORS

1013

16-02971

STATE & COUNTY
TAX

STATE OF ILLINOIS



APR. 19. 17

DUPAGE COUNTY

0000016074

REAL ESTATE
TRANSFER TAX

02400.00

FP326689

To Record: ☒ Deed
☐ Mortgage
☐ Release
☐ Power of Attorney

(This page added to allow space above line for Recording Data)

Return to:

(Burnet Title)

1301 W. 22nd Street, Suite 510
Oak Brook, IL 60523

WARRANTY DEED

Mail To:

J. De Bruyn
Jeff R. Sagan 1525 S. HANLEY
1035 North Dearborn St., Unit 16
Chicago, IL 60610 ORLAND PARK IL
60462

THE GRANTOR(S), JEFF SAGAN, a married man, of 1035 North Dearborn St., Unit 16, Chicago, IL 60610, County of Cook, for and in consideration of the sum of Ten Dollars (\$10.00), in hand paid, and other good and valuable consideration, receipt of which is hereby duly acknowledged, CONVEYS AND WARRANTS unto

GRANTEE(S), REBRAG, INC., an Illinois corporation, with a mailing address of 115 South Vine St., Hinsdale, IL 60521, County of DuPage, the following described Real Estate situated in the County of DuPage in the State of Illinois, to wit:

LOT 1 IN HESLER'S RESUBDIVISION OF LOT 1 IN BLOCK 17 IN W. ROBBINS' PARK ADDITION TO HINSDALE, BEING A SUBDIVISION IN THE EAST HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED FEBRUARY 27, 1950 AS DOCUMENT 587064, IN DU PAGE COUNTY, ILLINOIS

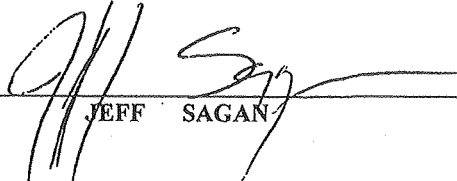
Including any improvements thereon, subject to any and all covenants, conditions, and restrictions of record, and public and utility easements, if any, and subject to general real estate taxes for the year 2016 and thereafter not yet due and payable and all subsequent years. Releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

THIS IS NOT A HOMESTEAD PROPERTY

PERMANENT INDEX NUMBER: 09-12-403-005-0000

Address(es) of Real Estate: 434 East 6th Street, Hinsdale, Illinois 60521

IN WITNESS WHEREOF, the said Grantor(s) has/have signed and sealed these presents this 5th day of April, 2017.


JEFF SAGAN

• State of Illinois)
) ss.
County of DuPage)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that **JEFF R. SAGAN**, personally known to me (or proved on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she signed, sealed and delivered the said instrument as his/her free and voluntary act, for the uses and purposes therein set forth and releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

Given under my hand and official seal this 5th day of April, 2017.

X Angela M Huber
NOTARY PUBLIC

My commission expires on: 4/19/17



This document was prepared by:
Angela M. Huber, Esq.
Huber Law Group PL
475 River Bend Road, Suite 102-A
Naperville, IL 60540

Send Subsequent Tax Bills to:

~~Jeff R. Sagan~~
~~1095 North Dearborn St., Unit 16~~
~~Chicago, IL 60610~~

R4DRAG, INC
115 S. VINE HINSDALE IL
60521

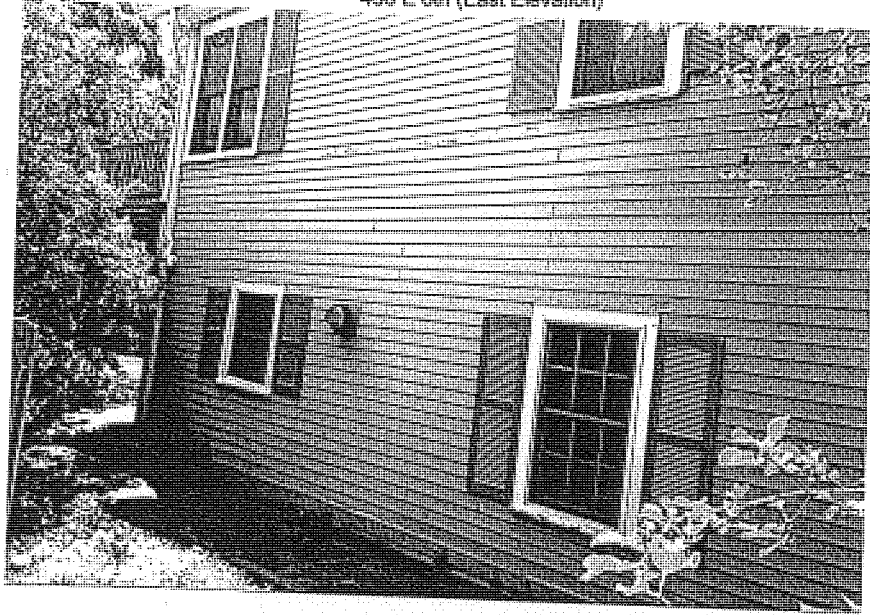
434 E 6th (Front Elevation)



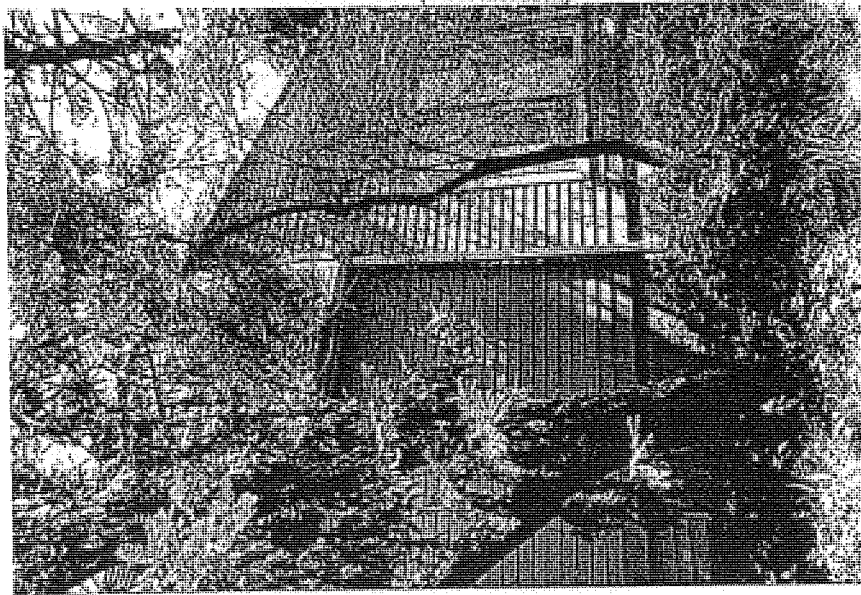
434 E 6th St (Rear Elevation)



436 E 6th (East Elevation)



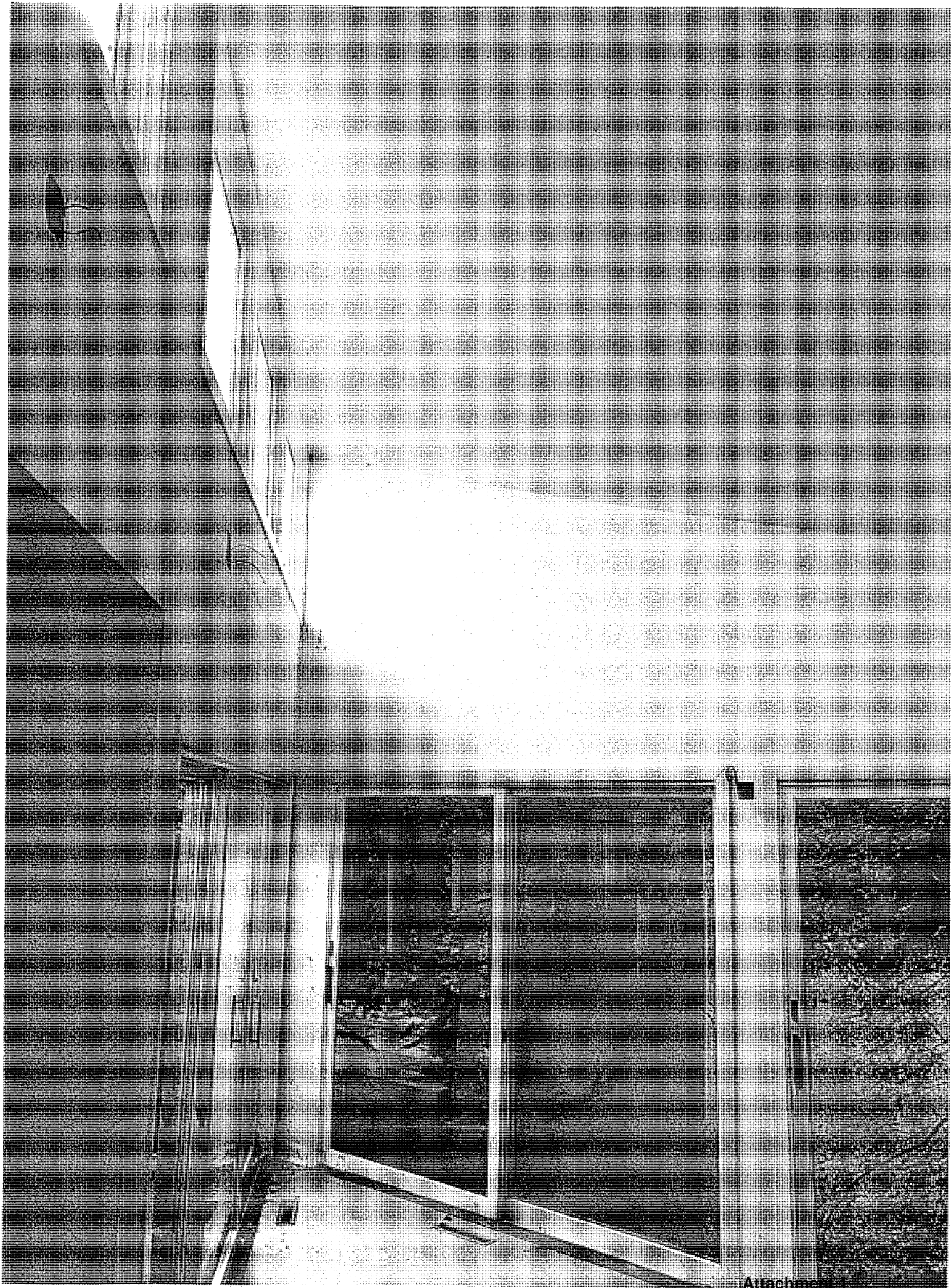
436 E 6th (West Elevation)





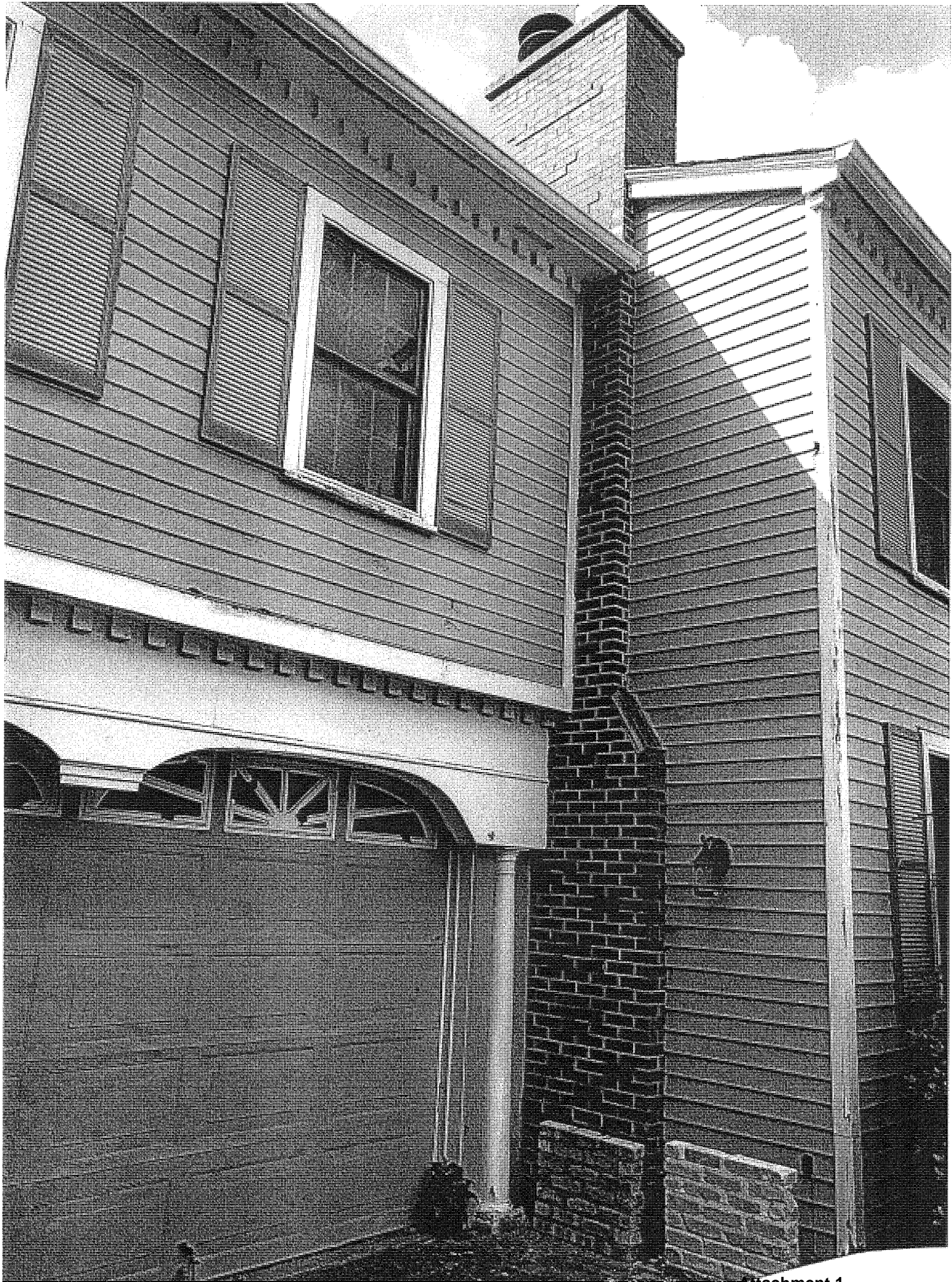


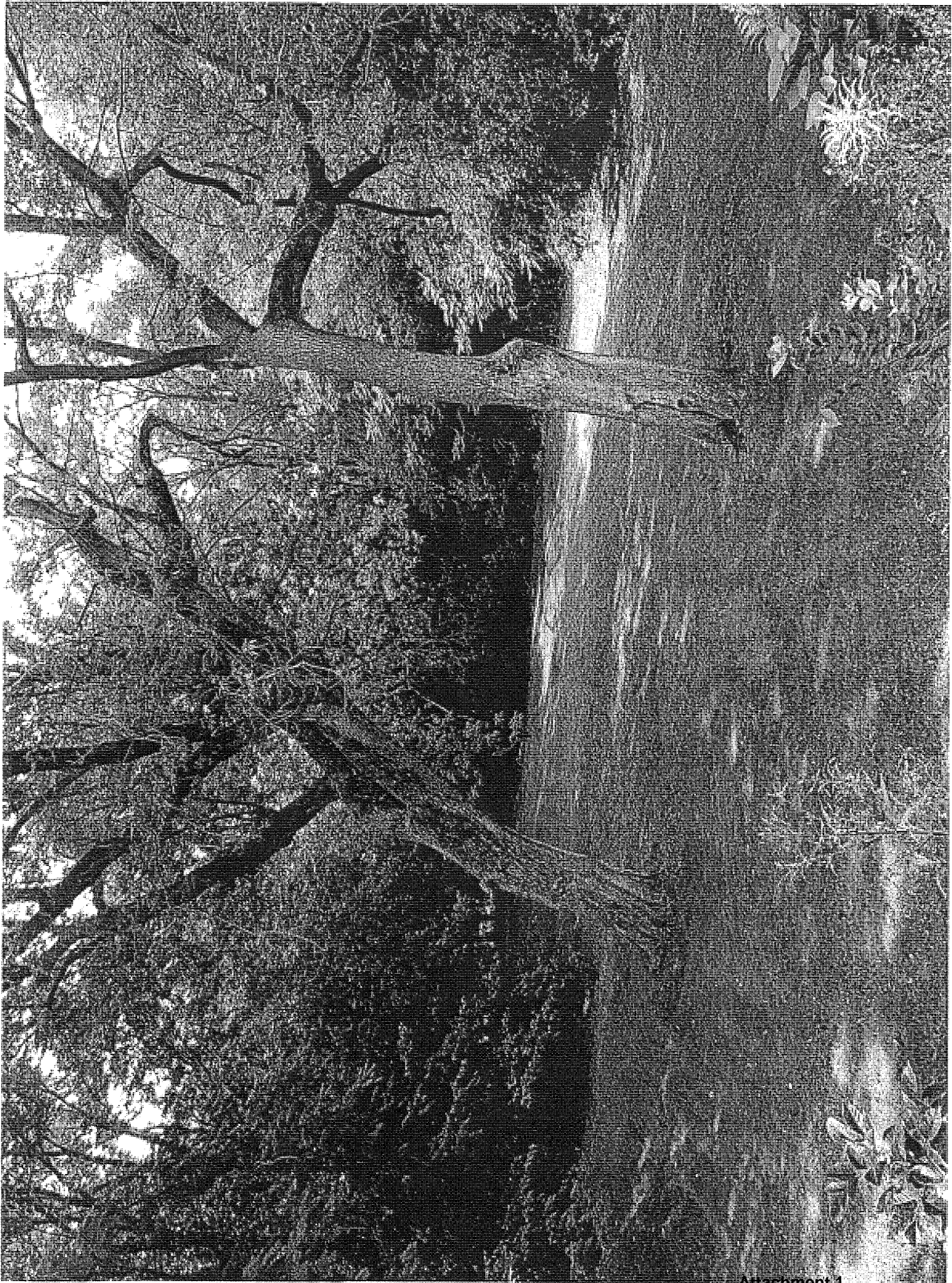






Attachment 1





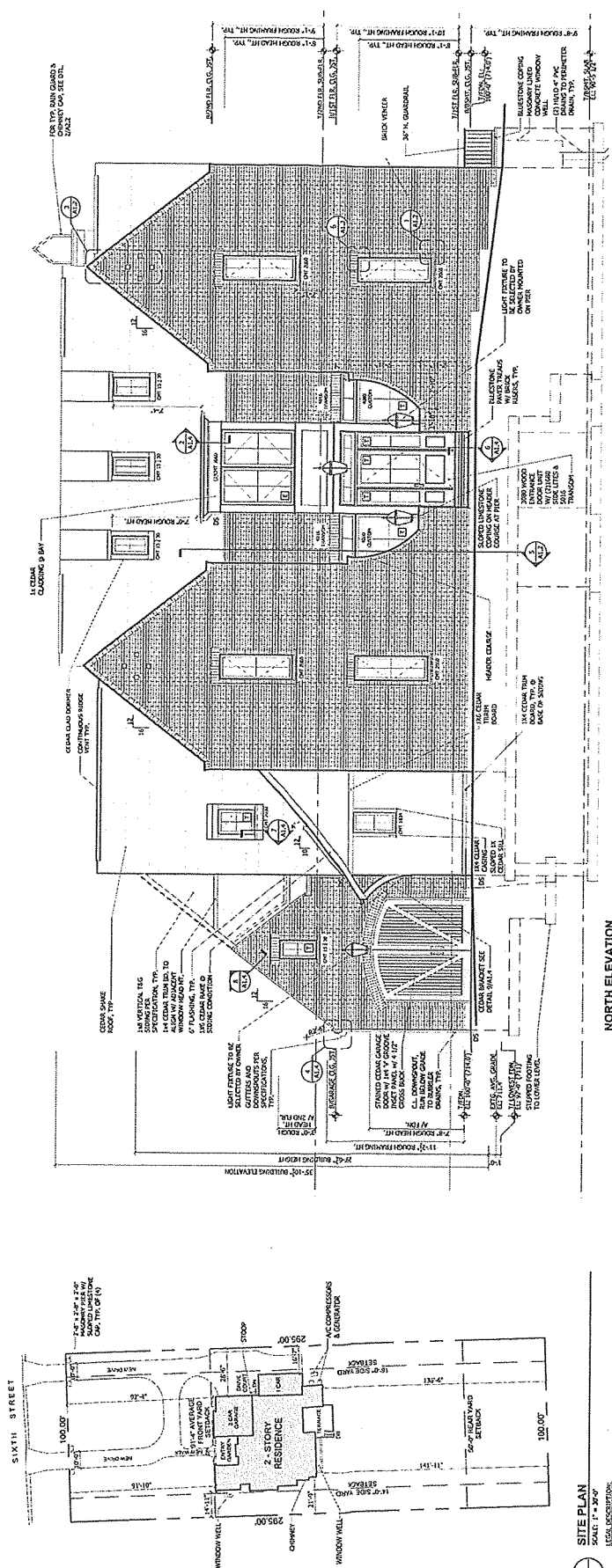
Gray/white house
Reclaimed Chicago brick so will look older than house now.

[moment] DESIGN
201 E. OGDEN AVE., STE. 20, HINSDALE, IL 60521
P 630.747.9415 WWW.MOMENTDESIGN.NET

REVISED: 11/28/2018
11/28/2018
11/28/2018
11/28/2018

GARBER CONSTRUCTION
34 E. SIXTH ST., HINSDALE, IL

A1.1



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES, SPECIFICATIONS, AND STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
7. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.

PROJECT DATA

DESCRIPTION	QUANTITY	UNIT	REMARKS
FOUNDATION	1	SQ. FT.	1,000.00
FIRST FLOOR	1	SQ. FT.	1,000.00
SECOND FLOOR	1	SQ. FT.	1,000.00
ROOF	1	SQ. FT.	1,000.00
EXTERIOR WALLS	1	SQ. FT.	1,000.00
INTERIOR WALLS	1	SQ. FT.	1,000.00
FLOORS	1	SQ. FT.	1,000.00
CEILING	1	SQ. FT.	1,000.00
DOORS	1	EA.	1,000.00
WINDOWS	1	EA.	1,000.00
STAIRS	1	EA.	1,000.00
BATHS	1	EA.	1,000.00
KITCHENS	1	EA.	1,000.00
BEDROOMS	1	EA.	1,000.00
LIVING ROOMS	1	EA.	1,000.00
DINING ROOMS	1	EA.	1,000.00
BREAKFAST ROOMS	1	EA.	1,000.00
PORCHES	1	EA.	1,000.00
PATIOS	1	EA.	1,000.00
DECKS	1	EA.	1,000.00
SCREENED PORCHES	1	EA.	1,000.00
PERGOLAS	1	EA.	1,000.00
TRAMPOLINES	1	EA.	1,000.00
SWIMMING POOLS	1	EA.	1,000.00
SPAS	1	EA.	1,000.00
SAUNAS	1	EA.	1,000.00
GYMS	1	EA.	1,000.00
OFFICES	1	EA.	1,000.00
STUDIOS	1	EA.	1,000.00
LABORATORIES	1	EA.	1,000.00
CLUBS	1	EA.	1,000.00
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THEATERS	1	EA.	1,000.00
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GYMNASIUMS	1	EA.	1,000.00
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SKATING RINKS	1	EA.	1,000.00
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BOAT HOUSES	1	EA.	1,000.00
BOAT LIFTS	1	EA.	1,000.00
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BOAT HOUSES	1	EA.	1,000.00

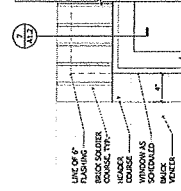
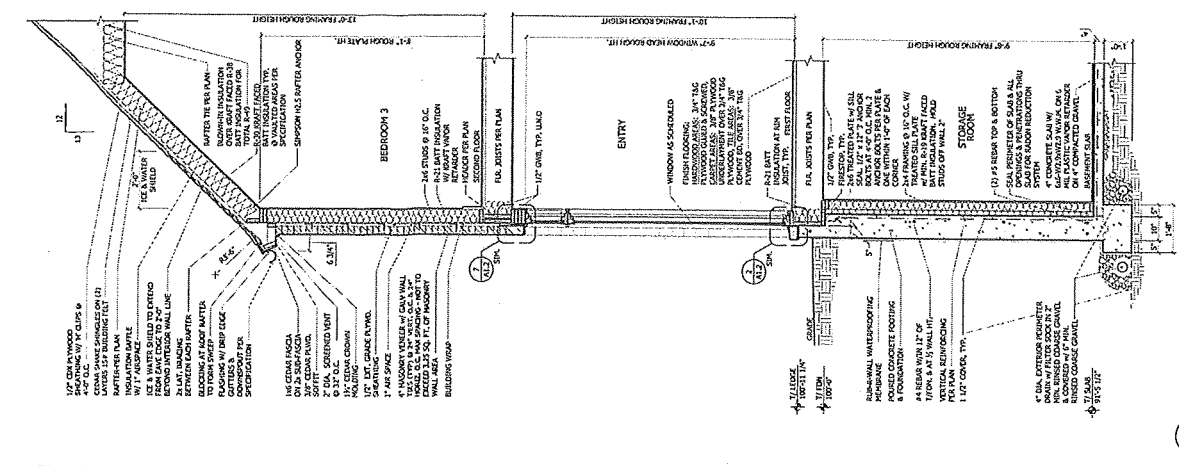
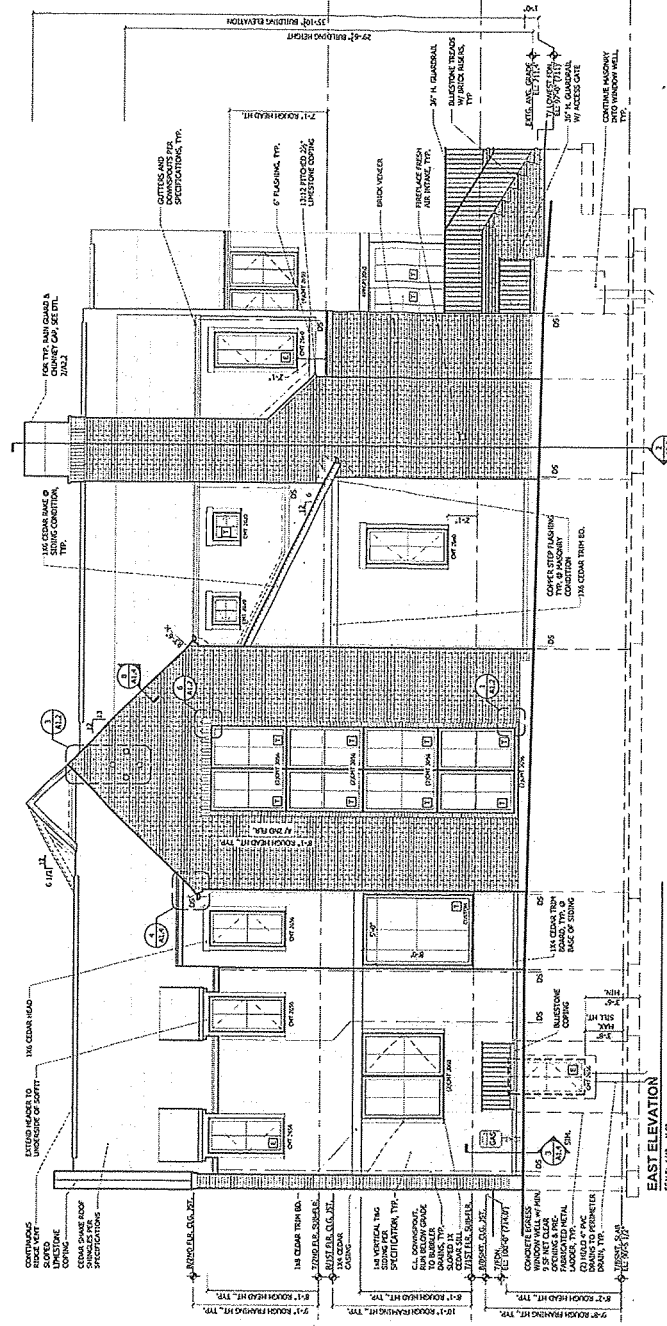
CODE INFORMATION

SECTION	DESCRIPTION	REMARKS
1.	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES, SPECIFICATIONS, AND STANDARDS.	
2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.	
3.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	
4.	THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.	
5.	THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.	
6.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	
7.	THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.	
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	
9.	THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.	
10.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.	

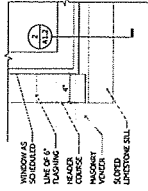
SHEET INDEX

SHEET	DESCRIPTION	REMARKS
A1.1	GENERAL NOTES, SITE PLAN, EXTERIOR ELEVATION	
A1.2	EXTERIOR ELEVATIONS, WALL SECTION, & DETAILS	
A1.3	A WALL SECTION	
A1.4	EXTERIOR ELEVATION, WALL SECTION, & DETAILS	
A1.5	LOWER LEVEL PLAN & WALL SECTION, & DETAILS	
A1.6	FIRST FLOOR PLAN, WALL SECTION, & DETAILS	
A1.7	SECOND FLOOR PLAN, WALL SECTION, & DETAILS	
A1.8	ROOF PLAN, WALL SECTION, & DETAILS	
A1.9	FOUNDATION & FIRST FLOOR PLAN & DETAILS	
A1.10	SECOND FLOOR ELEVATION PLAN & DETAILS	
A1.11	ROOF ELEVATION PLAN & DETAILS	
A1.12	FIRST FLOOR ELEVATION PLAN & DETAILS	
A1.13	SECOND FLOOR ELEVATION PLAN & DETAILS	
A1.14	ATTIC ELEVATION PLAN	

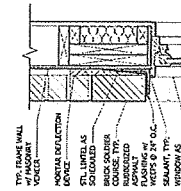
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2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
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9.	THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING AREA AT ALL TIMES.
10.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.



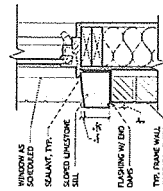
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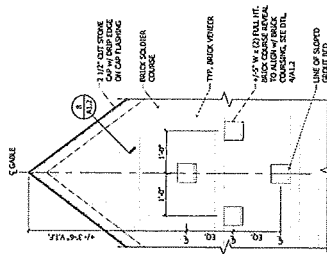
BRICK SILL DETAIL
SCALE: 1 1/2" = 1'-0"



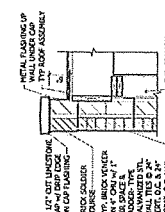
**TYP. WINDOW HEAD
DETAIL AT MASONRY**



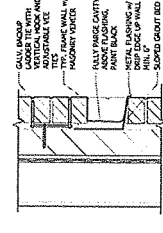
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MASONRY REVEAL DETAIL
SCALE: 3/4" = 1'-0"



**MASONRY
PARAPET DETAIL**
SCALE: 3/4" = 1'-0"

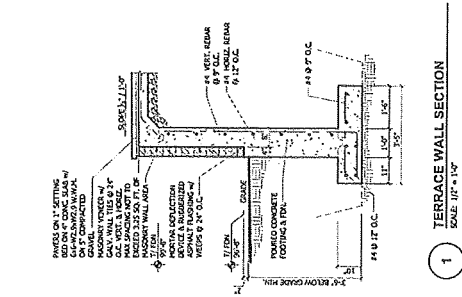


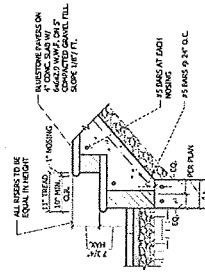
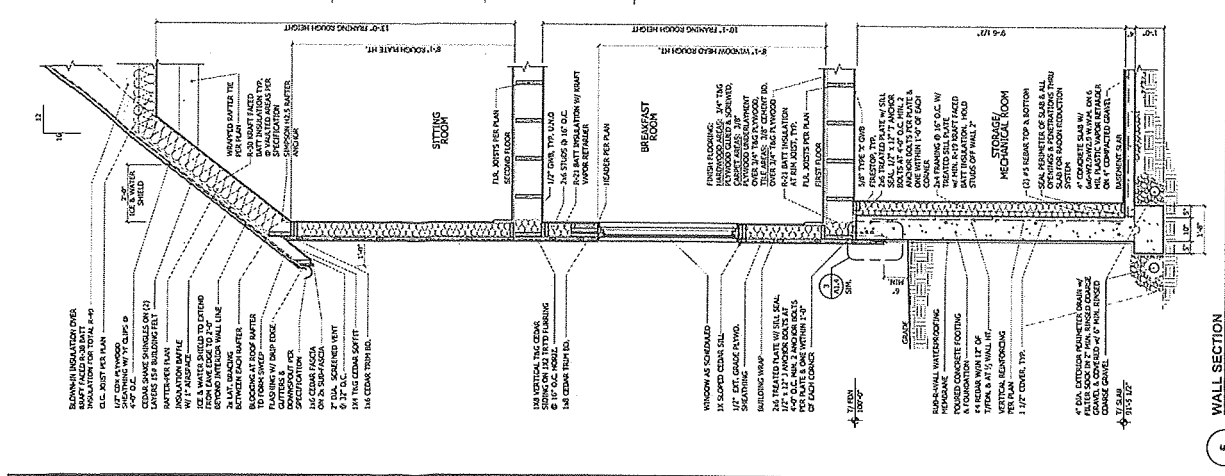
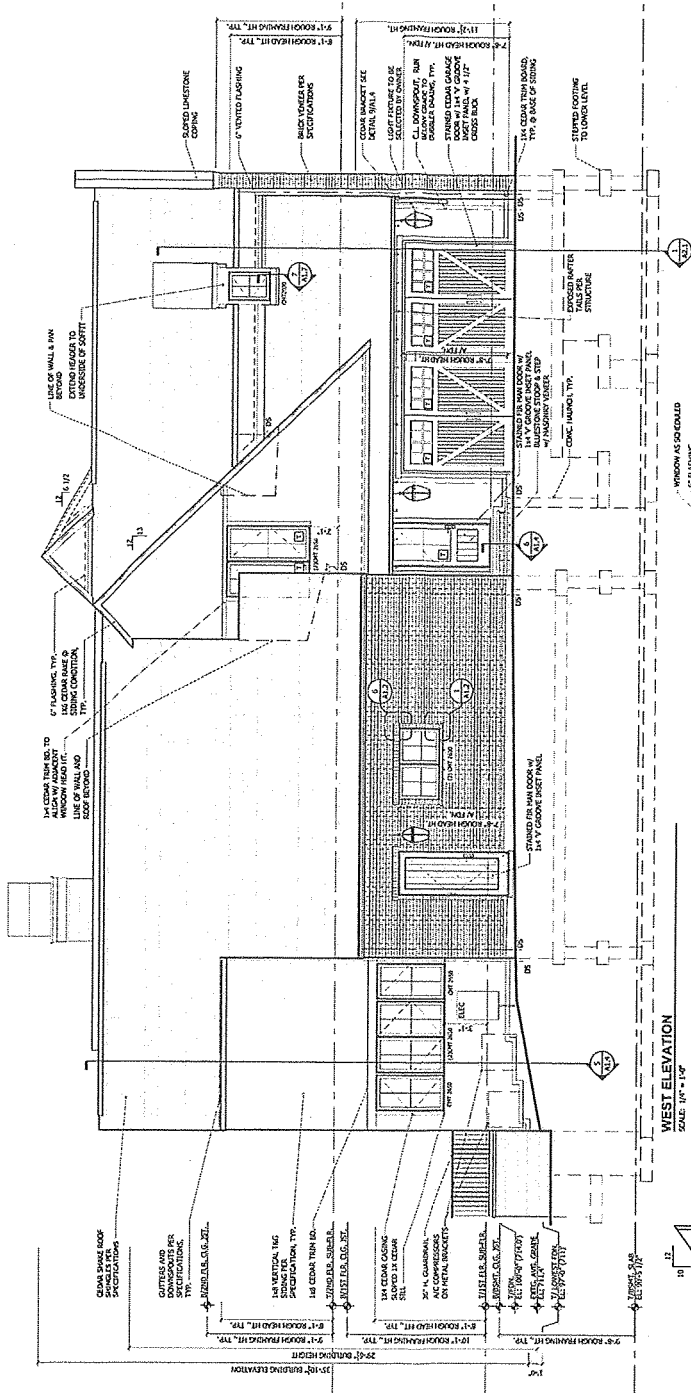
BRICK REVEAL DTL
SCALE: 1/2" = 1'-0"

SCALE 1/2" = 1'-0"

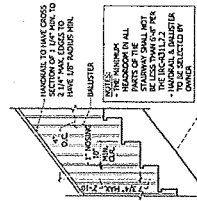


Figure 1. The study area. The map shows the location of the study area in the north-east of Iran, near the border with the Soviet Union. The map includes the Caspian Sea, the city of Gilan, and the study area. The map is oriented with North at the top.

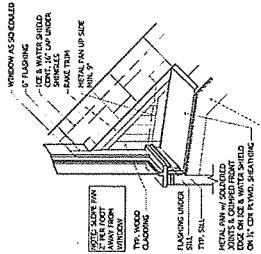
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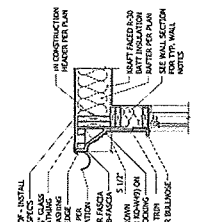
⑤ MASONRY STEP DETAIL



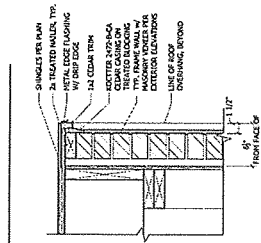
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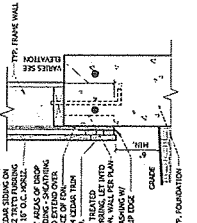
7 PAN ROOF DETAIL



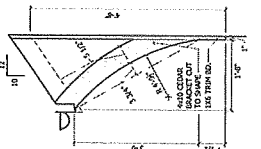
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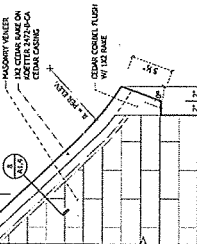
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3

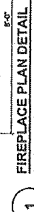
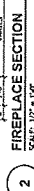
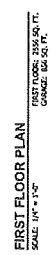


0.1 = 10% increase



4

5





JOE NUMBER: 16 07
DATE: 05 25 17

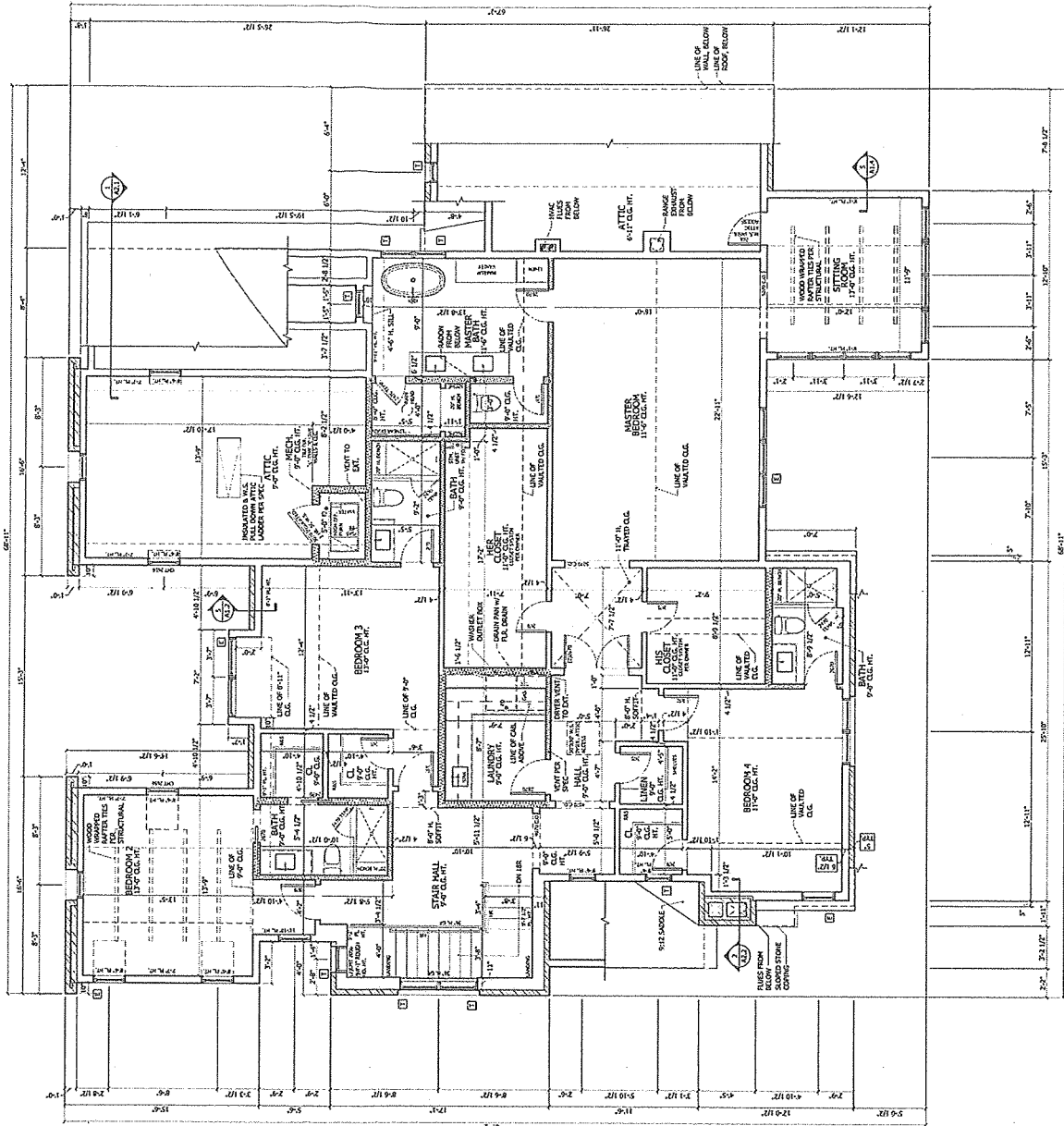
ISSUE ALERTS: ONE

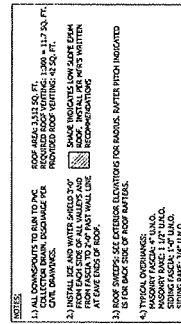
GARBER CONSTRUCTION
434 E. SIXTH ST., HINSDALE, IL

434 E. SIXTH ST., HINSDALE, IL

EXPIRES 12/30/2010
IL DESIGN FIRM NO.
184.007497

[moment] DESIGN
201 E. OGDEN AVE, STE. 20, HINSDALE, IL 60521
P 630 747 9415 WWW.MOMENTDESIGN.NET





ROOF PLAN
SCALE: 1/4" = 1'-0"





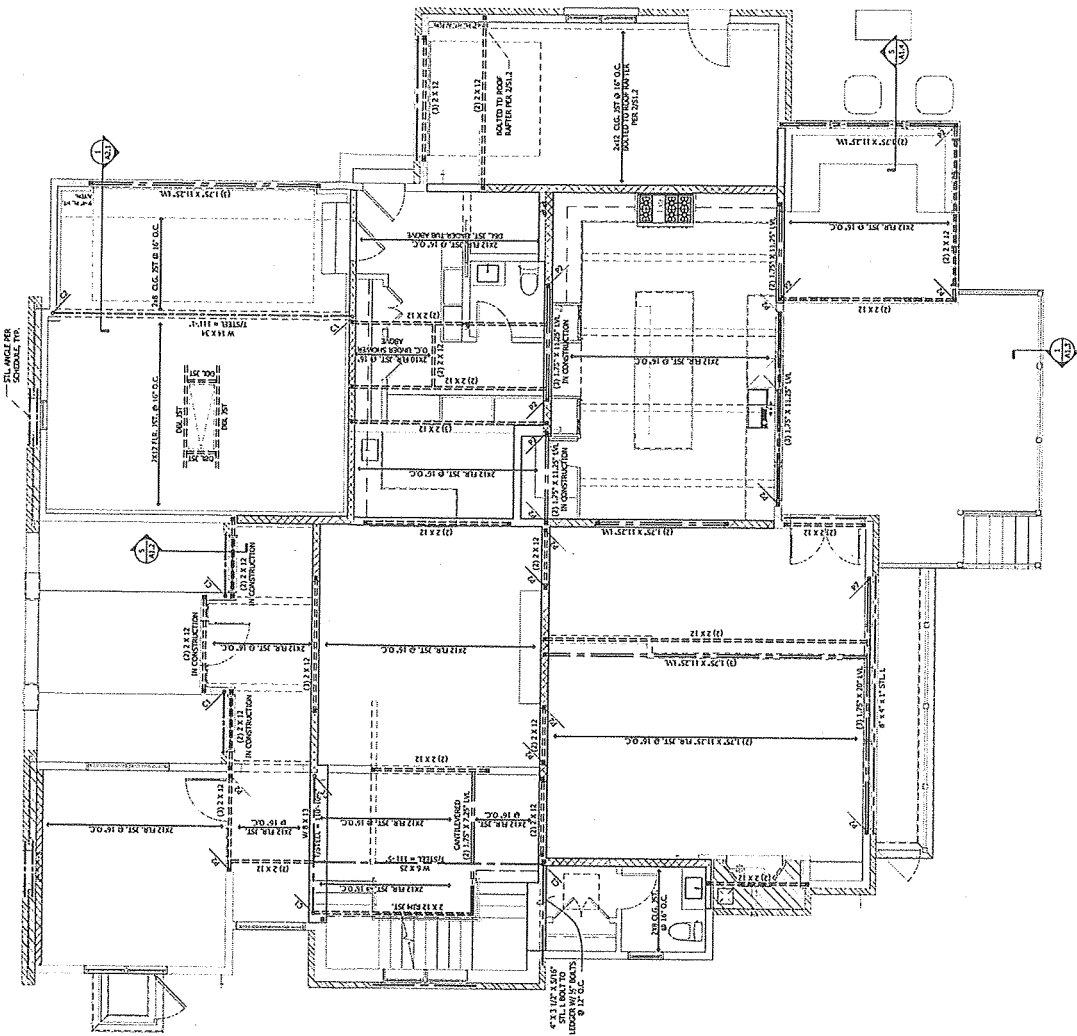
FLASHING AT MASONRY WALL BASE

LOCAL PERMITS:

DATE: 05/15/17	BY: [Signature]
DATE: 05/15/17	BY: [Signature]

SECOND FLOOR
 FORMING PLAN
 & DETAILS

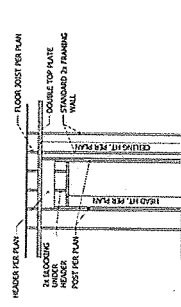
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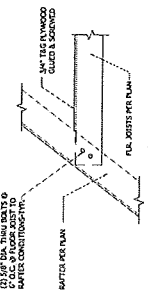
**SECOND FLOOR
 FORMING PLAN**
 SCALE: 1/4" = 1'-0"

STRUCTURAL LEGEND

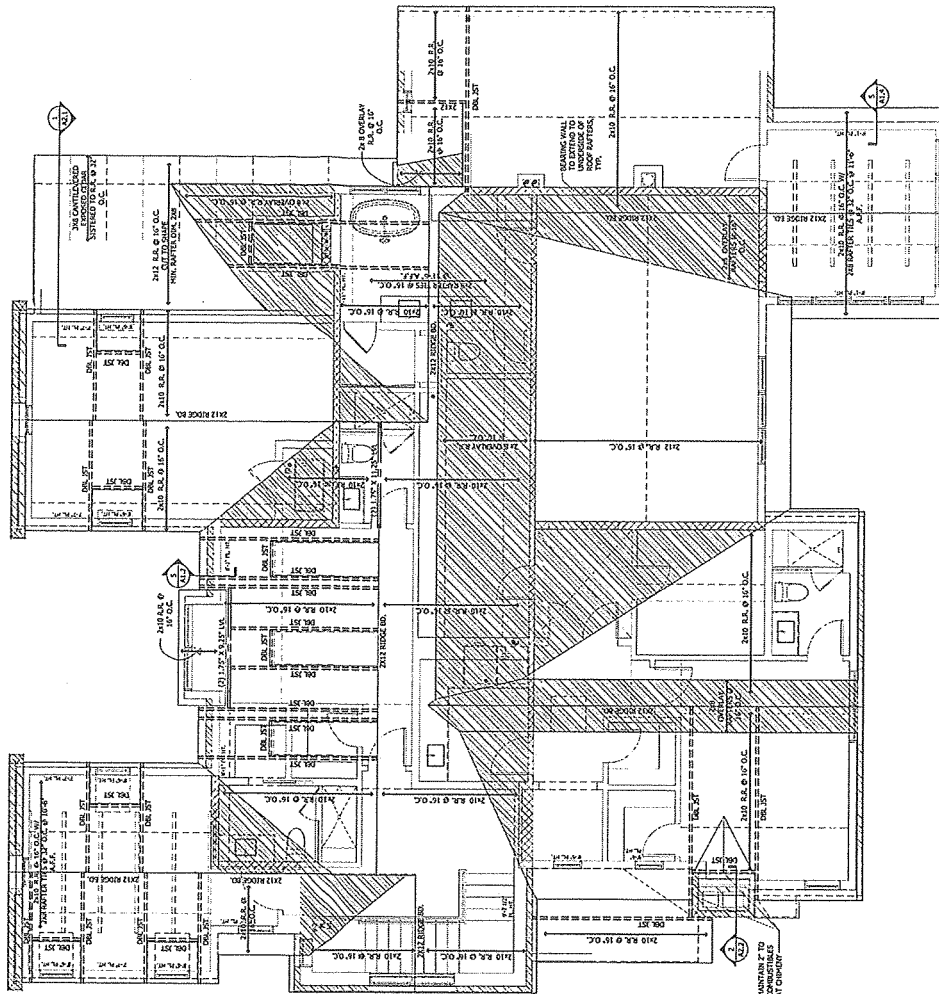
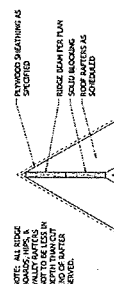
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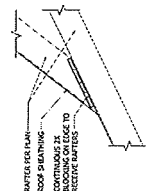
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2
**FLOOR JOIST
 TO RAFTER DETAIL**
 SCALE: 1/4" = 1'-0"

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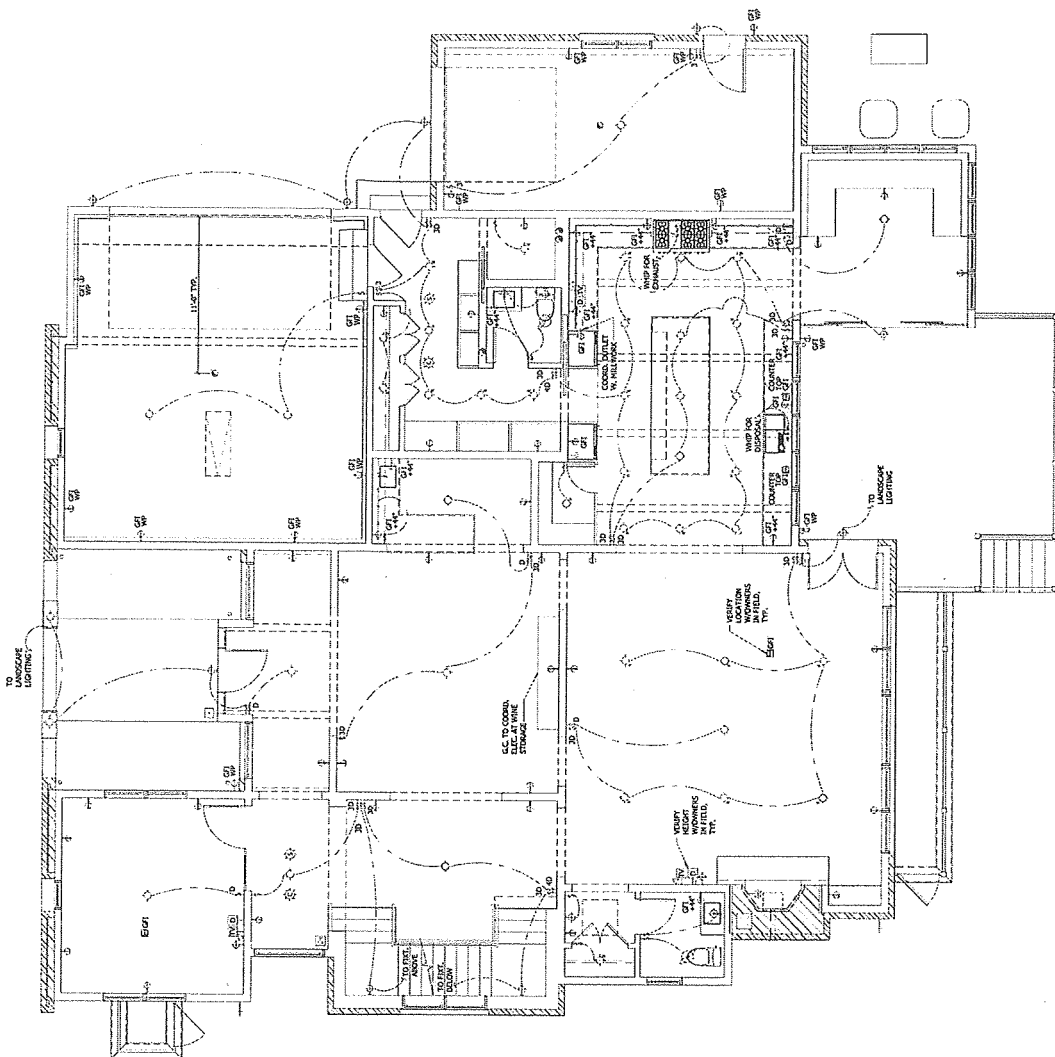
RIDGE DETAIL



2



- VEHICLE LOCATION, NUMBERS & SWITCHING OF ALL FLOOR OUTLETS ☐ OWNER.
 COORDINATE POWER REQUIREMENTS w/ A/C CONSULTANT PER OWNER.
 LOCATING IN ALL CABINETS TO BE COORDINATED w/ CABINET SUPPLIER PER OWNER.
 LOCATING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/ MILLWORK SUPPLIER PER OWNER.
 ALL RECREATIVE FURNITURE TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
 ALL AREAS w/ WALL PANELING TO HAVE BACKSPOUR OUTLETS.



N

FIRST FLOOR
SCHEMATIC ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

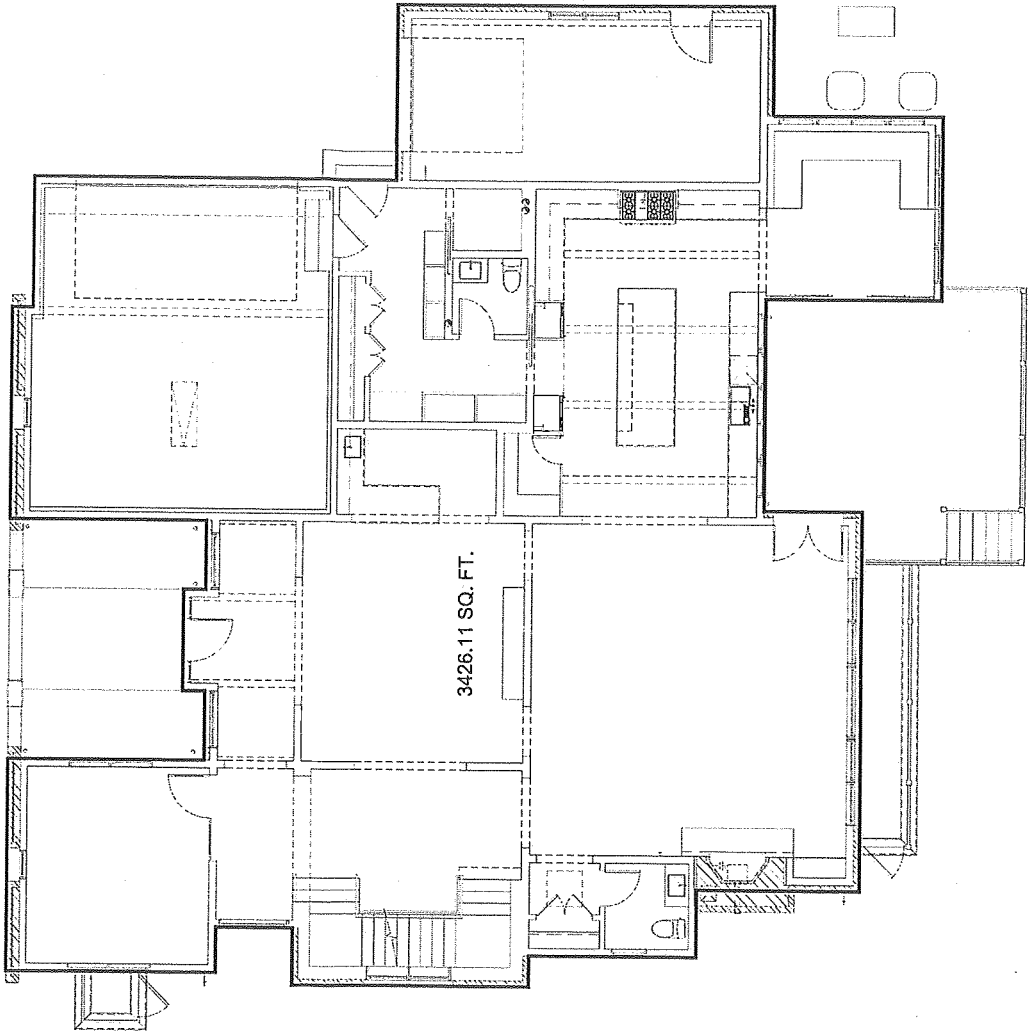
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ELECTRICAL GENERAL NOTES

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PROJECT NOTES:

1. VENTURY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS BY OWNER.
2. C.G. TO COORDINATE POWER REQUIREMENTS W/ A.V. CONSULTANT PER OWNER.
3. LIFTING IN ALL CABINETS TO BE COORDINATED W/ CABINET SUPPLIER PER OWNER.
4. LIFTING IN ALL BUILT-IN MELLORSE TO BE COORDINATED W/ MELLORSE SUPPLIER PER OWNER.
5. ALL DECORATIVE FEATURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
6. ALL AREAS w/ WALL PANELING TO HAVE DOWNGRASS OUTLETS.





 FIRST FLOOR
 OVERLAY PLAN
 SCALE: 1/4" = 1'-0"

R1.1

FIRST FLOOR
 OVERLAY
 PLAN

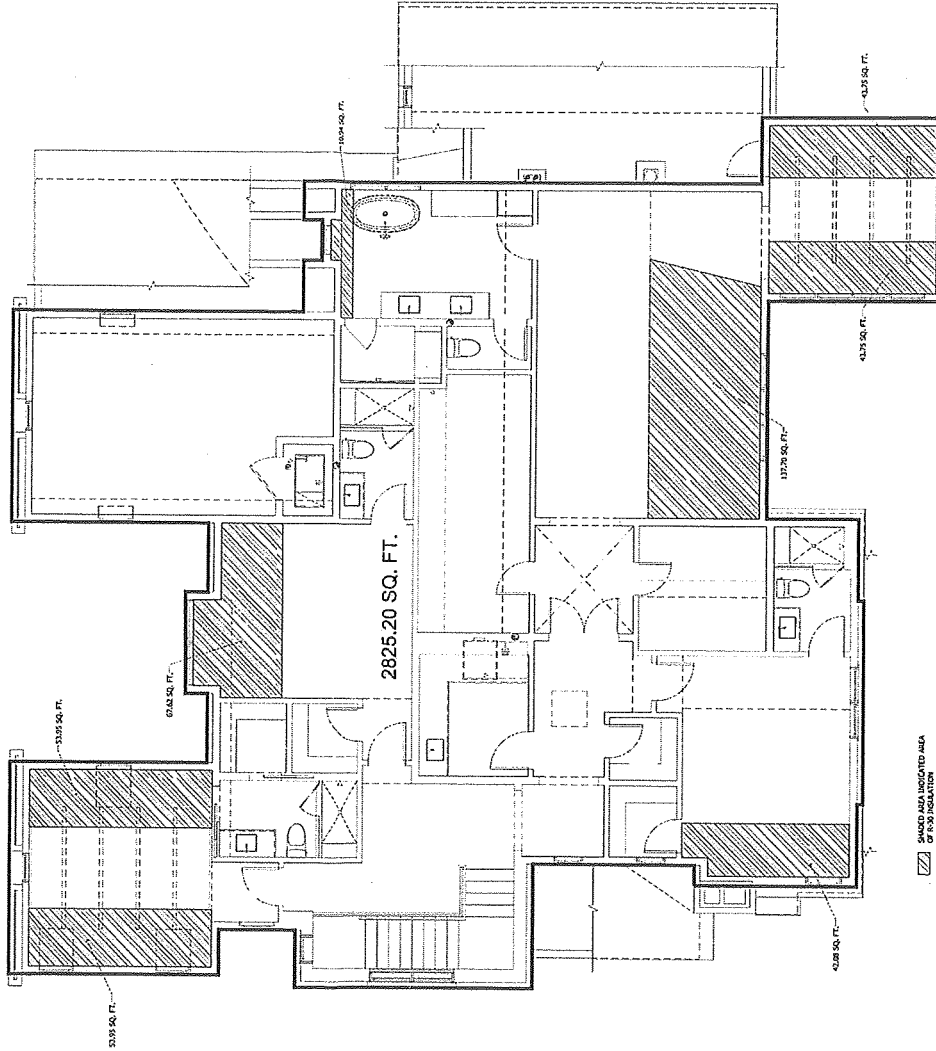
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 DATE: 09.22.17

TRANSITION

434 E. SIXTH ST., HINSDALE, IL
 GARBER CONSTRUCTION

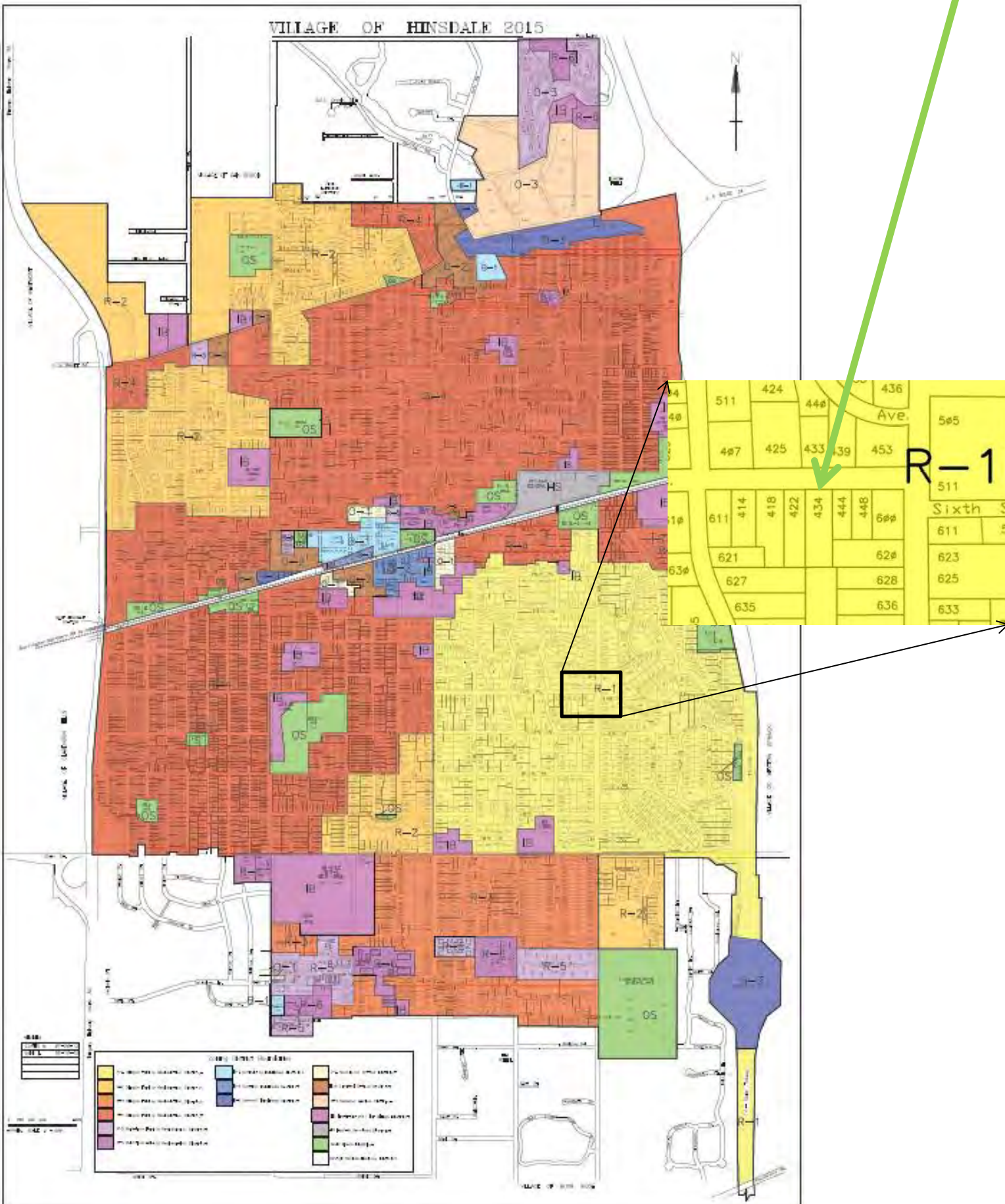
1000 S. HALSTED
 HINSDALE, IL 60521
 708.400.9747

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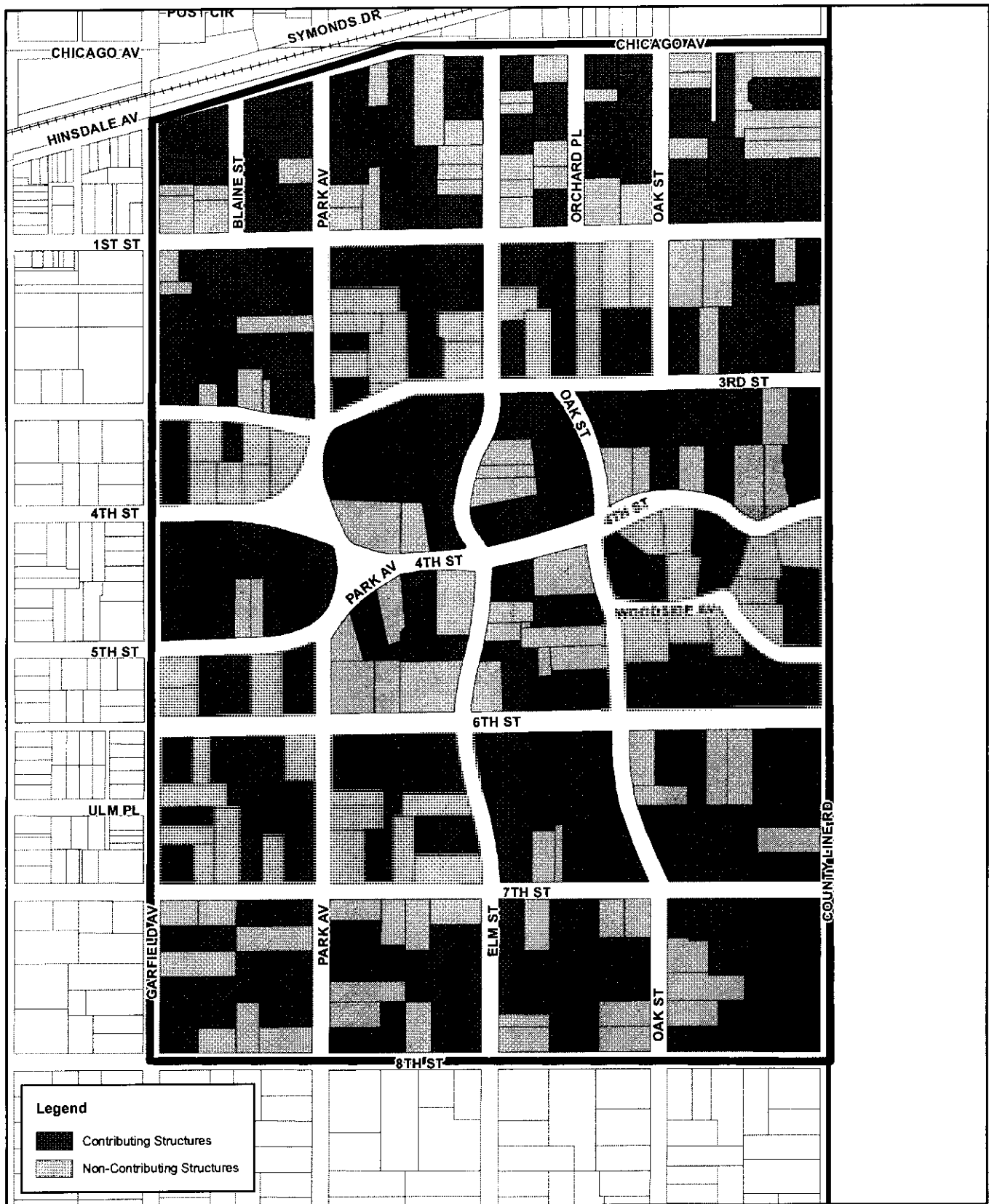


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201 E. OGDEN AVE, STE. 20, HINSDALE, IL 60521
P 630 747 9415 WWW.MOMENTDESIGN.NET

Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



GRANACKI
HISTORIC CONSULTANTS

0 250 500 1,000 Feet



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 21

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
303	E SIXTH	Neo-Traditional	2003		NC	-	Estenssoro, Sergio G.	Barrett Builders	
308	E SIXTH	Colonial Revival	c. 1925		C	C			Detached garage
311	E SIXTH	Colonial Revival Cottage	1925	Osler, Edwin J. II House	C	NC			Detached garage
316	E SIXTH	Tudor Revival	c. 1925		C	-			
319	E SIXTH	Renaissance Revival	1927	Jackson, Leo W. House	C	C			Detached garage
326	E SIXTH	French Eclectic	1928	Harm, Howard S. House	C	-	Powers, Richard		
329	E SIXTH	Colonial Revival	1899	Bassett, Orland P. House	C	C			Coach House
407	E SIXTH	Colonial Revival	c. 1920		C	NC			Detached garage
414	E SIXTH	Colonial Revival	1936	Effinger, John R. House	C	-	West, Philip Duke		
418	E SIXTH	Craftsman	c. 1925		C	NC			Detached garage
422	E SIXTH	Neo-Traditional	2006		NC	-			
425	E SIXTH	Colonial Revival	1863-64	Robbins, William/Basset House "Woodside"	C	-		Froscher, Adolph	
433	E SIXTH	Ranch	1951	Pierce, J. C. House	C	-	Wendell, A. W.	Wendell, A. W. & Son	
434	E SIXTH	No style (altered)	1949	Stanton, John W. House	NC	-	Binfield, Richard A.	Dressler, Paul	
439	E SIXTH	Colonial Revival	1937	Prescott, Frank House	C	-	Zook, R. Harold		
444	E SIXTH	Colonial Revival	1954	Ritchie, Lyel H. House	C	-	Soucek, Lambert L.		
448	E SIXTH	Contemporary	1954	Anderson, Roger A. House	C	C	Anderson, Walter	Bellevue Builders	Detached garage
453	E SIXTH	Colonial Revival	1953	Pusinelli, John A. House	C	-	Fossier, G. E.		
118	E THIRD	Neo-Traditional	2005		NC	-			
119	E THIRD	Vacant			NC	-			
122	E THIRD	Queen Anne	1883		C	NC		Elmers, Andreas	gazebo
127	E THIRD	Contemporary	1952		NC	-	Gustafson, Virgil E.	Dressler, Paul	




MEMORANDUM

DATE: September 13, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 50 S. Washington Street, unit 201 (2nd Floor) – Nathalie Loma Custom Made Designs
New Window Signage in the Downtown Historic District - Case A-30-2017

Summary

The Village of Hinsdale has received a sign application from Nathalie Loma, of Nathalie Loma Custom Made Designs, requesting approval to install new window signage at its new location on the second floor of 50 S. Washington Street, in the historic downtown B-2 Central Business District.

Request and Analysis

The requested window signage features white text decals on a single bay window on the second floor of the building at 50 S. Washington Street. The second-story bay window is comprised of 3 glass sections. The applicant is requesting to affix decals on each glass section. The left glass decal is 1.1 SF, the middle decal is 3.4 SF and the right decal is 1.4 SF, for an area of 5.9 SF total.

The bay window could be interpreted as a single window or three separate windows. If the latter, the Plan Commission may approve it per Section 11-607(F)(2)(c), to allow one more sign over the maximum allowed. In the B-2 Central Business Districts, the Code permits a maximum of two window signs.

The gray background of the application exhibit only represents the window size and to illustrate the white text decals. It is not part of the sign application.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission (HPC) shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:

- Attachment 1 – Sign Application and Exhibits
- Attachment 2 - Village of Hinsdale Zoning Map and Project Location
- Attachment 3 - Street View of 50 S. Washington Street

From: [Nathalie Loma](#)
To: [Chan Yu](#)
Subject: Fwd: Proof
Date: Wednesday, August 02, 2017 2:31:05 PM

Hi Chan,
Here are the dimensions.

Sent from my iPhone

Begin forwarded message:

From: FASTSIGNS 65 <FASTSIGNS.65@fastsigns.com>
Date: August 2, 2017 at 12:16:13 PM CDT
To: Nathalie Loma <Nloma@nathalieloma.com>
Subject: Proof

Nathalie,

Here's the updated layouts with the size of the windows themselves mentioned and the sizes of the actual graphic going on the windows.

Roz Moore

FASTSIGNS of Oakbrook Terrace | Account Executive | 65@fastsigns.com

17W608 14th St., Oakbrook Terrace, IL 60181

p. 630-932-0001 *We can now send and receive text messages at this number*

f. 630-932-0004

www.fastsigns.com/65



THE GRAY BACKGROUND REPRESENTS THE WINDOWS SIZED 61.75"H X 20.25"W AND WILL NOT BE PRINTED

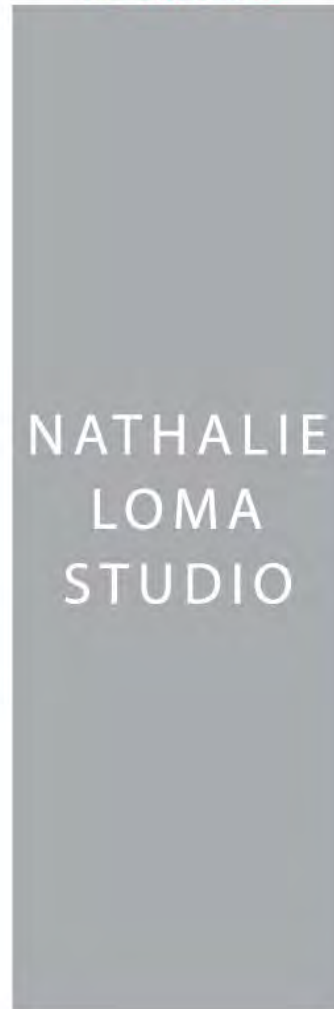
Left Window Graphic Is
9" tall x 18" wide



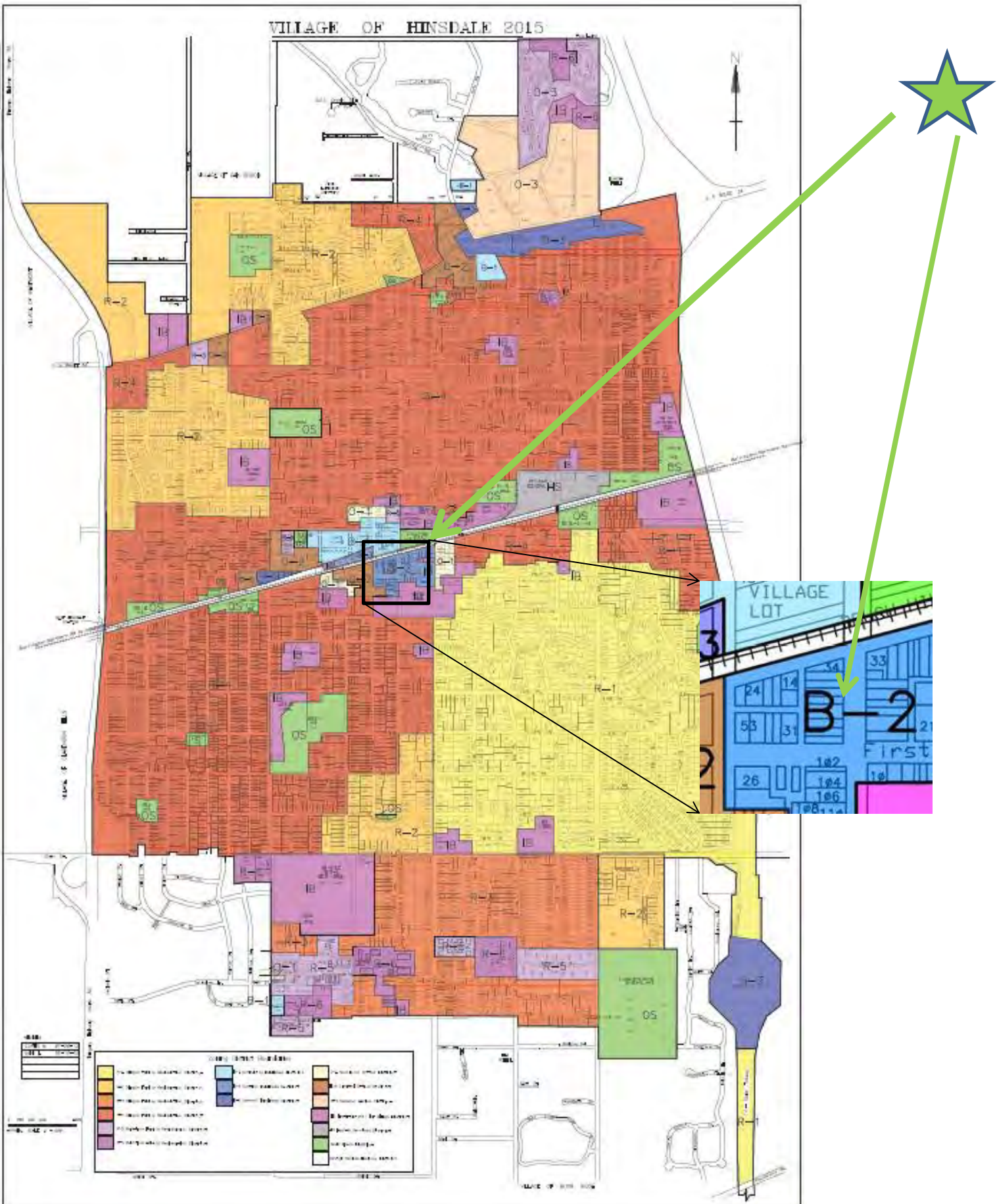
Middle Window Graphic Is
25.5" tall x 19" wide



Right Window Graphic Is
11.5" tall x 18" wide



Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View of 50 S. Washington St. (facing west)

Proposed Sign Location






MEMORANDUM

DATE: September 13, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 33-37 Washington Street – Starbucks – 2 Replacement Signs (non-illuminated) in the Historic Downtown District

Summary

The Village of Hinsdale has received a sign application from Vital Signs USA, on behalf of Starbucks, requesting approval to replace an existing wall sign on E. Hinsdale Avenue and replace the existing window sign on the corner of E. Hinsdale and Washington Street with a wall sign. Both signs are non-illuminated.

Request and Analysis

The wall sign replacement on E. Hinsdale Avenue features the same dimensions as the existing, 2' tall and 12' wide, for an area of 24 SF. The sign features a white background with black colored text. It is likely that former staff and the Plan Commission reviewed the existing signage as a wall sign due to the entrance recess and it being flush with the surrounding wall. The black text matches the current black window frames, lights and awnings. The new sign is made of sandblasted cedar wood, and consistent with the current sign material.

The second proposed sign is to replace the current 21.39 SF window sign above the entrance on the corner of E. Hinsdale and Washington Street with a 6.25 SF wall sign. Although the sign is a circle, per the Code, the area must be measured with a square (30" tall and 30" wide). Due to the second floor turret, and the first floor entrance wall being a window, the wall sign will be fastened under the turret, 18" from the first floor (wall) window. Per the Code, a wall sign cannot project more than 18" from the building. The bottom of the sign will be 10' from grade. The sign features the Starbucks logo in white and black, and is made of high density urethane foam with a black aluminum trim cap.

Process

Per Section 11-607(D) and the nature of the request, this application would require a meeting before the Plan Commission (PC) and does not require public notification. Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the HPC shall be advisory only. The PC maintains final authority on signage with no further action required by the Board of Trustees.

Attachments:



MEMORANDUM

Attachment 1 – Sign Applications and Exhibits

Attachment 2 - Village of Hinsdale Zoning Map and Project Location

Attachment 3 - Street View of Existing Signage at 33-37 Washington Street

STARBUCKS #264
Washington & Hinsdale
33-37 Washington Street
Hinsdale, IL



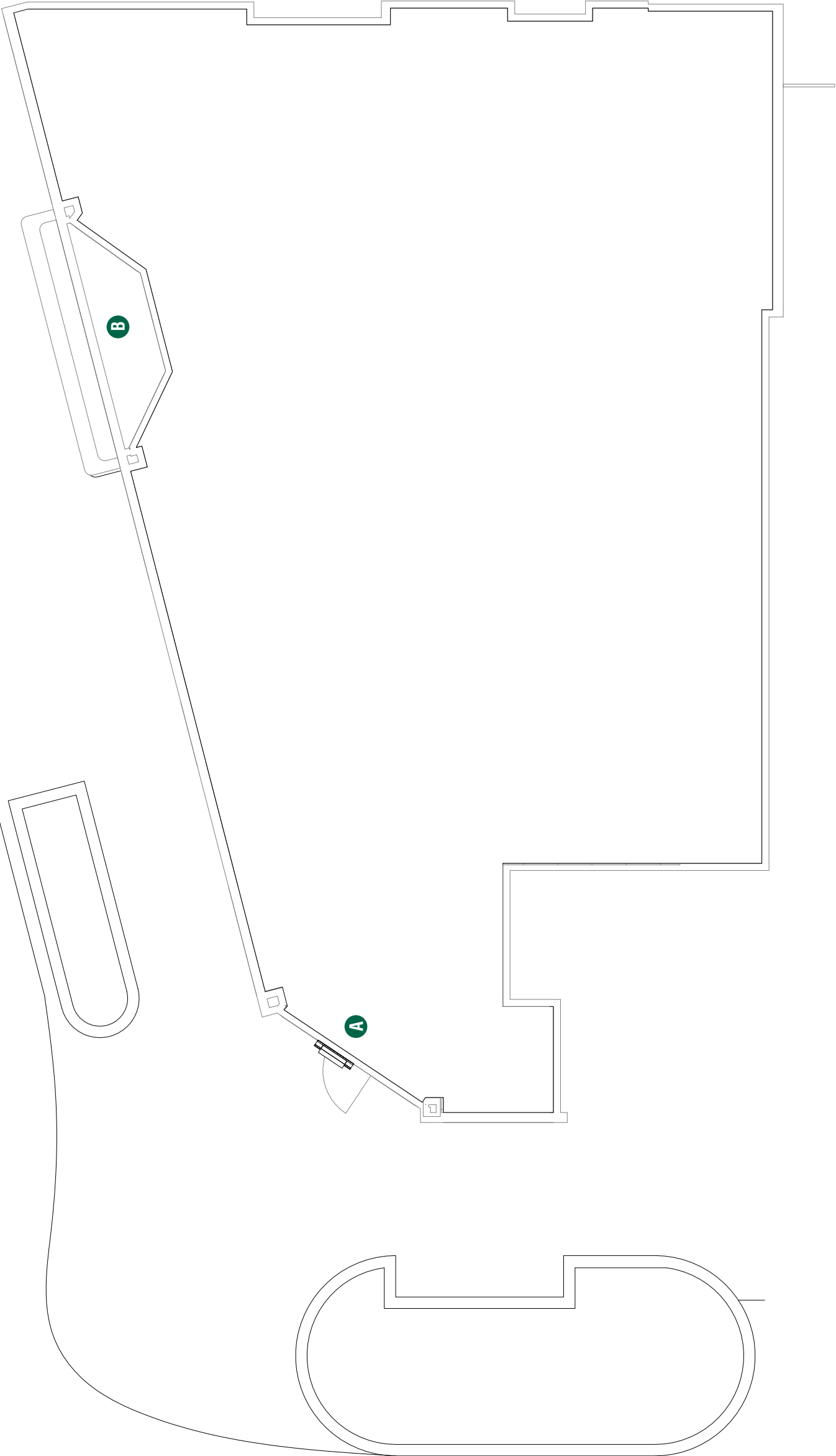
17-37835

~~HILTON~~DISPLAYS

125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

SITE PLAN

- A 30" HANGING SIREN
- B WORDMARK



1 1ST FLOOR - SITE PLAN
Scale: 1/4" = 1'-0"

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P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 17-37835

JOB NAME

Starbucks 264

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

DWG. DATE

7-03-17

REV. DATE / REVISION

SCALE

As Noted

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
SLS/PM:	LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

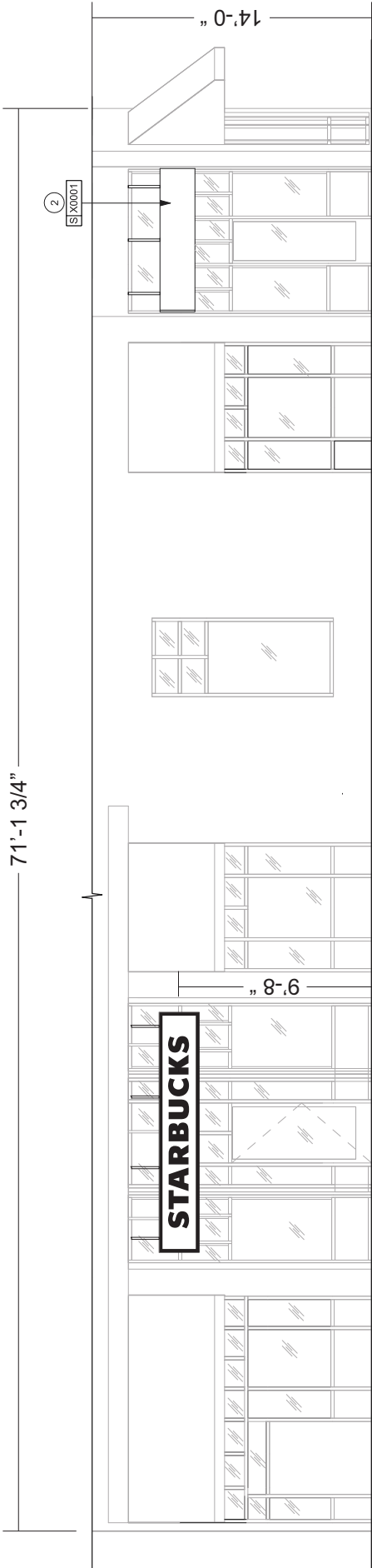


ELEVATION

- A

30” HANGING SIREN
- B

WORDMARK



1 SOUTH ELEVATION

Scale: 1/4" = 1'-0"

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P 800 353 9132 • F 864 242 2204
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QID 17-37835

JOB NAME

Starbucks 264

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

DWG. DATE

7-03-17

REV. DATE / REVISION

SCALE

As Noted

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

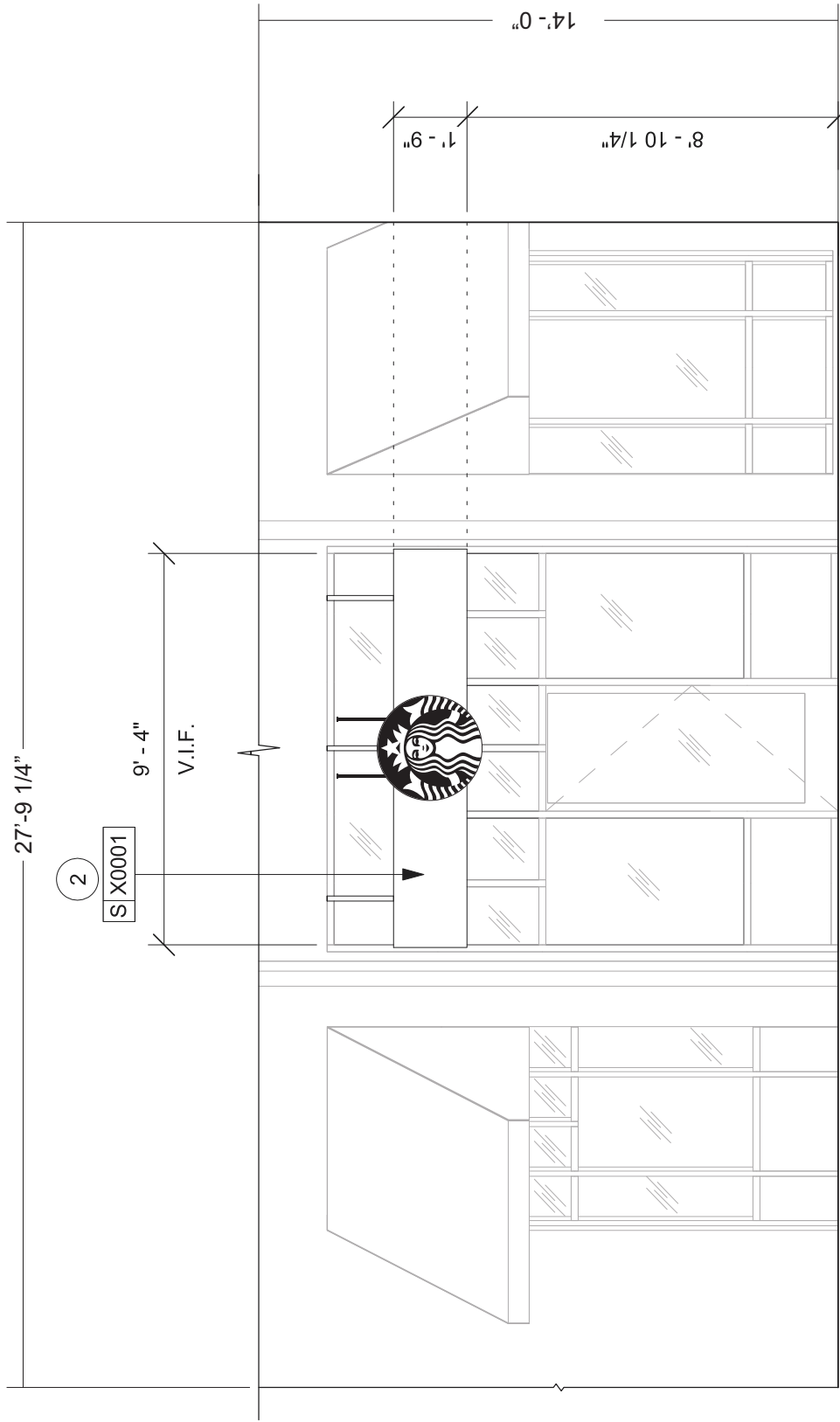
SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



ELEVATION

- A** 30" HANGING SIREN
- B** WORDMARK



SOUTHEAST ELEVATION

Scale: 1/4" = 1'-0"



QID 17-37835

JOB NAME

Starbucks 264

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

DWG. DATE

7-03-17

REV. DATE / REVISION

SCALE

As Noted

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
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SLS/PM: LANDLORD:	
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THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



**Underwriters
Laboratories Inc.**

DRY		
DAMP		
WET		X



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: Cris Meyers/Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832-9600 / 832-9669
E-Mail: cris@vitalsignsusa.com
Contact Name: Cris Meyers

Contractor

Name: Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832-9600 / 832-9669
E-Mail: keith@vitalsignsusa.com
Contact Name: Keith Watkins

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT: Please Select One

SIGN TYPE: Please Select One

Wordmark hanging sign

ILLUMINATION Please Select One

- non-illuminated

Sign Information:

Overall Size (Square Feet): 24 (2' x 12')

Overall Height from Grade: 13' Ft.

Proposed Colors (Maximum of Three Colors):

- ① black
- ② _____
- ③ _____

Site Information:

Lot/Street Frontage: 72'

Building/Tenant Frontage: 72'

Existing Sign Information:

Business Name: Starbucks *-removing*

Size of Sign: 24 Square Feet

Business Name: Starbucks

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Dorothy M.
Signature of Applicant

8-2-17
Date

see attached
Signature of Building Owner

8-2-17
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

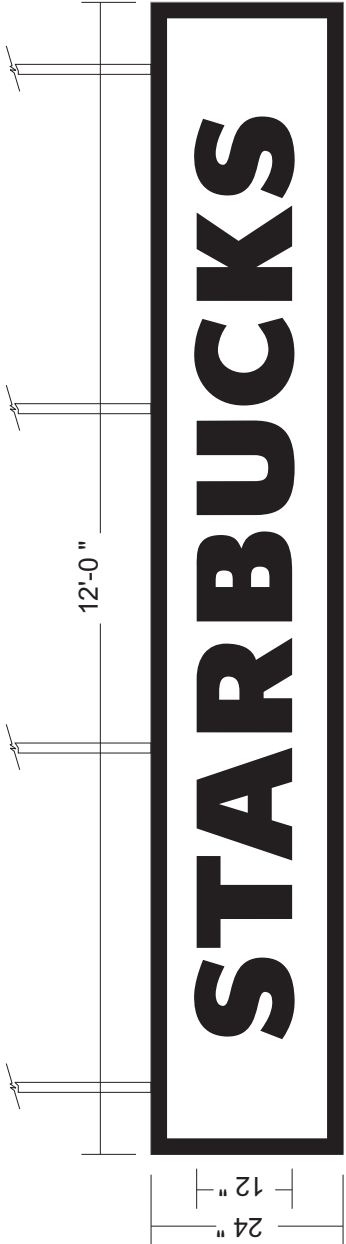
NON-ILLUMINATED HANGING SIGN

QTY. 1 SBC-17-37835-2



TOP VIEW

2



FRONT VIEW

1

24.00 SQ. FT.

SCALE: 1/2" = 1'-0" (11 X 17)

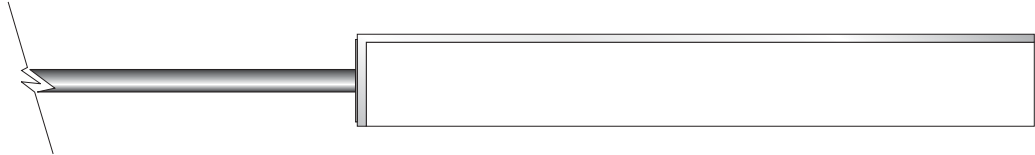
SPECIFICATIONS

1. NON-ILLUMINATED SANDBLASTED WOOD (CEDAR) WITH PAINTED BORDER AND LETTERS AS SHOWN
2. SIGN RETURNS TO HAVE BLACK ALUMINUM CLADDING
3. SIGNAGE TO BE SUSPENDED USING FABRICATED TUBE-STYLE BRACKETS AND SUPPORTS. WITH L-SHAPED BRAKEFORMED ALUMINUM BACKER FOR ADDITIONAL SUPPORT AND MOUNTING
4. RAL 7021M SATIN BLACK, AND WHITE

SIDE VIEW

3

SCALE: NTS



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QID 17-37835

JOB NAME

Starbucks 264

LOCATION

Hinsdale, IL

CUSTOMER CONTACT

SALESMAN / PM

Malisa Crow

DESIGNER

Greg Sloan

DWG. DATE

7-03-17

REV. DATE / REVISION

SCALE

As Noted

FILE

2017/Starbucks/

DESIGN SPECIFICATIONS ACCEPTED BY:

EST: CLIENT:

SLS/PM: LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.





VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: Cris Meyers/Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832-9600 / 832-9669
E-Mail: cris@vitalsignsusa.com
Contact Name: Cris Meyers

Contractor

Name: Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832-9600 / 832-9669
E-Mail: keith@vitalsignsusa.com
Contact Name: Keith Watkins

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT: Please Select One

SIGN TYPE: Please Select One

ILLUMINATION Please Select One

30" Wall sign
non-illuminated

Sign Information:

Overall Size (Square Feet): 6.25 30" 30"

Overall Height from Grade: 10' Ft.

Proposed Colors (Maximum of Three Colors):

① black

② _____

③ _____

not to exceed 18" projection
from wall

Site Information:

Lot Street Frontage: 27' 9"

Building Tenant Frontage: 27' 9"

Existing Sign Information:

Business Name: Starbuck - removed

Size of Sign: 21.39 window Square Feet

Business Name: Vihyl

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinance.

Dorey G.
Signature of Applicant

8-2-17
Date

see attached
Signature of Building Owner

8-2-17
Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

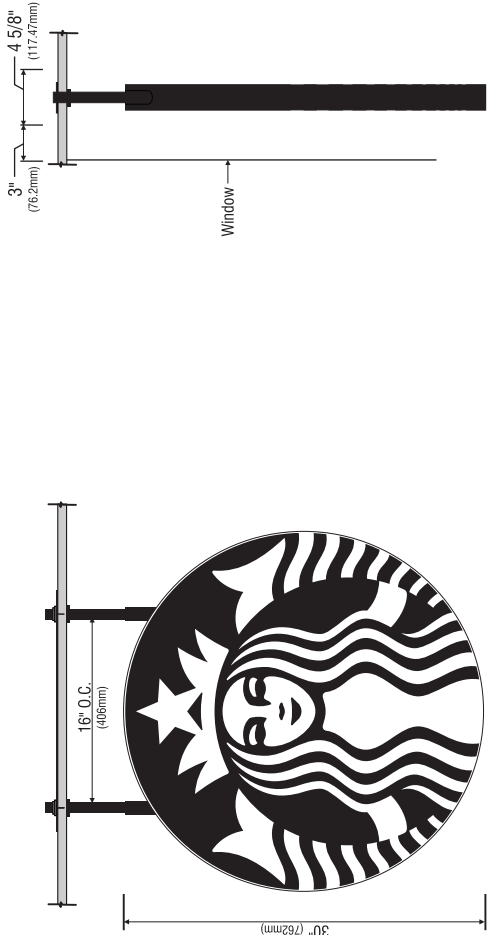
Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

30” HANGING SANDBLASTED WINDOW SIGN

SBC-17-37835-1

Qty. 1



FRONT VIEW

SCALE: 3/4" = 1'-0" (11X 17)

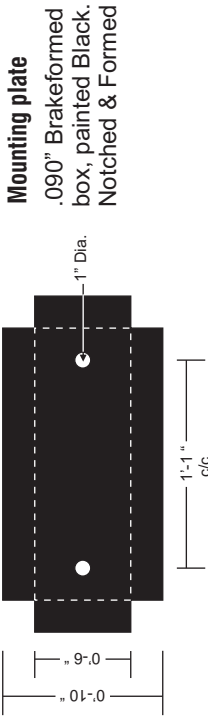
SIDE VIEW

SPECIFICATIONS:

SIGN TO BE SAND-BLASTED HDU, PAINTED TO MATCH RAL 7021M SATIN BLACK AND WHITE WITH RAL 7021M SATIN BLACK HARDWARE

SIGN RETURNS TO HAVE BLACK ALUMINUM CLADDING

NOTE: MOUNTING METHOD TBD PER SURVEY



Mounting plate

.090” Brakeformed box, painted Black. Notched & Formed

COLOR LEGEND		
	PMS/Paint	Vinyl
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

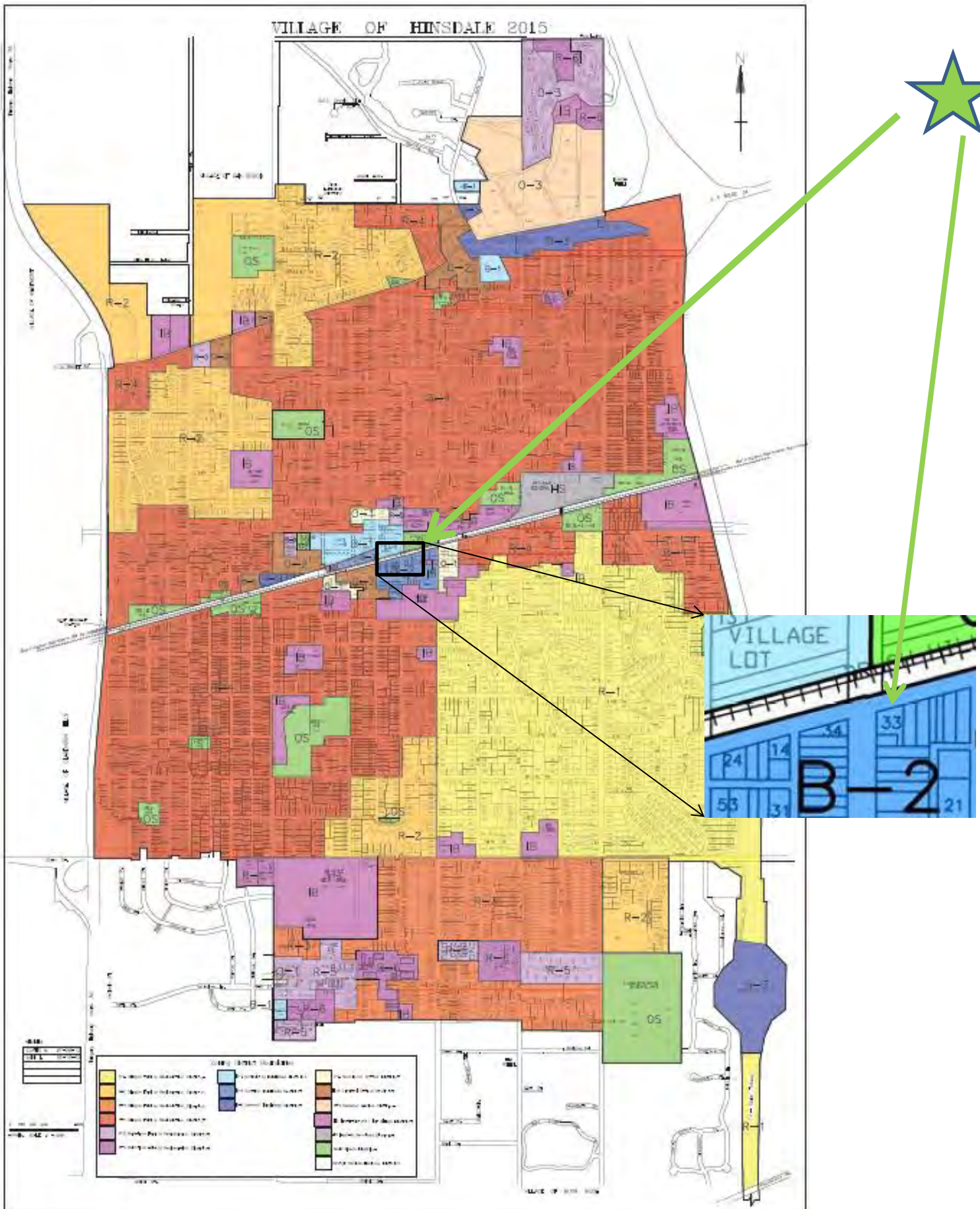
THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



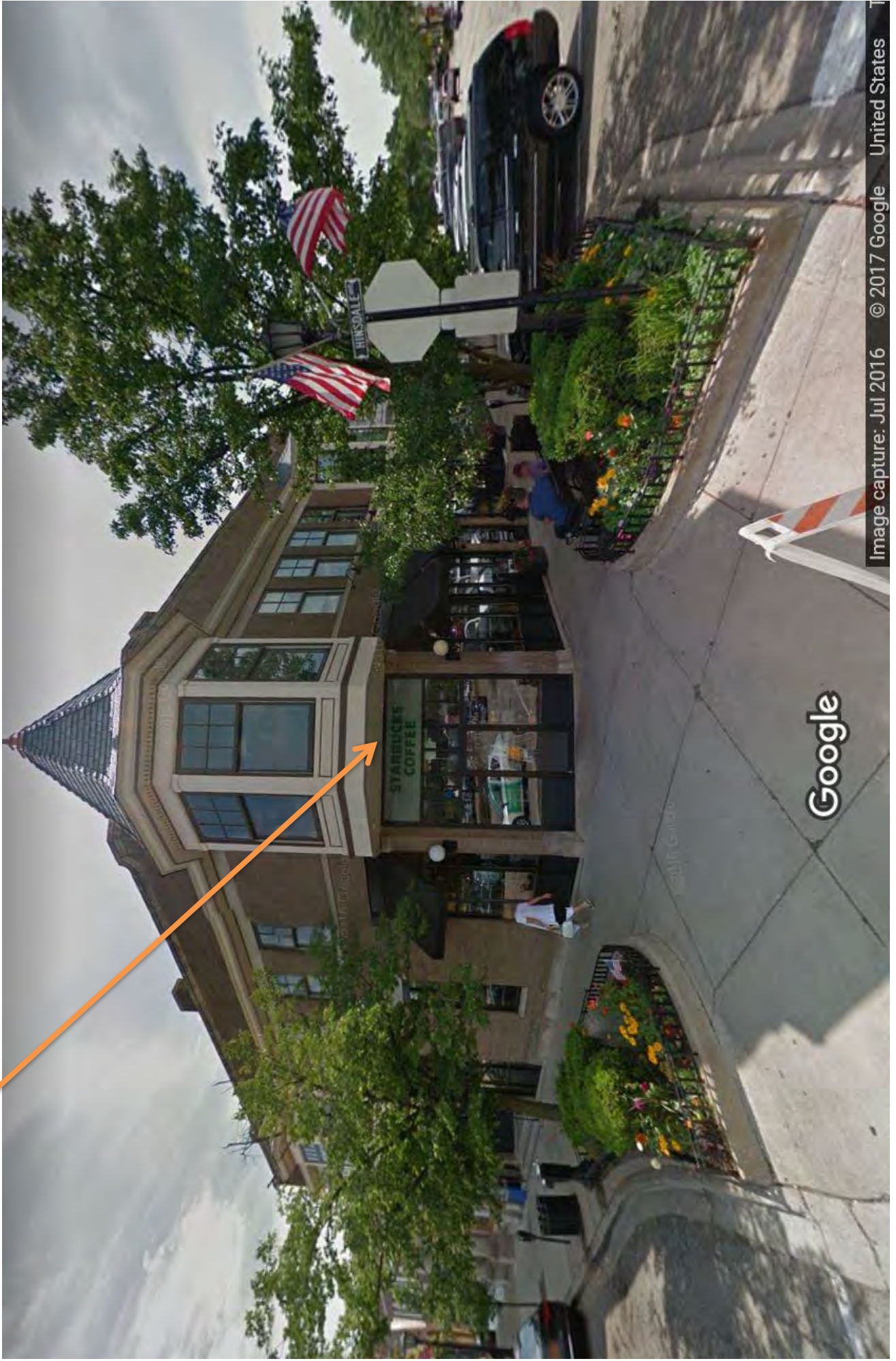
Underwriters Laboratories Inc.

DRY	
DAMP	
WET	X

Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Street View of E. Hinsdale Ave. and Washington St. (facing southeast)
Proposed Sign Location



Attachment 3: Street View of E. Hinsdale Ave. (facing south)
Replacement Location

