



MEETING OF THE HISTORIC PRESERVATION COMMISSION Wednesday, October 11, 2017 6:00 P.M. MEMORIAL HALL – MEMORIAL BUILDING

(Tentative & Subject to Change)

1. CALL TO ORDER

2. MINUTES – Review and approval of the minutes from the September 13, 2017, meeting.

3. PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

a) Case HPC-06-2017 – 418 S. Park Ave. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

4. PUBLIC MEETING - CERTIFICATE OF APPROPRIATENESS

a) Case HPC-07-2017 – 52 S. Washington St. - Request for Certificate of Appropriateness for a new front entrance plan at the Green Goddess retail business in the Downtown Historic District.

5. DISCUSSION

- a) Schedule a Special HPC meeting for Historic District Process Awareness
- b) Potential updates of the Hinsdale Historical Society for Historic Tours App

6. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

MINUTES VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

September 13, 2017

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale 6:00 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on September 13, 2017, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger

and Commissioner Williams

Absent: Commissioner D'Arco, Commissioner Gonzalez and Commissioner

Willett

Also Present: Applicant for Case HPC-05-2017

Minutes

Chairman Bohnen introduced the minutes from the August 9, 2017, meeting and asked for any questions. The HPC reviewed and **unanimously approved**, **4-0** (3 absent) the minutes.

<u>Public Hearing - Certificate of Appropriateness</u>

Case HPC-05-2017 - 434 E. Sixth Street - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

The applicant reviewed the poor condition of the house and explained that the house has been vacant for 3 years. Mr. Coules also explained that the Census reported this house having "no style" in regards to historical architecture types. There were no questions by the HPC members, and with that, supported the request.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-05-2017

A motion to **approve** the Certificate of Appropriateness was unanimously approved 4-0, (3 absent) as submitted.

Signage in the Historic Downtown District

Case A-30-2017 — 50 S. Washington St., 2nd FL. – NL Custom Designs – 3 Window Signs application in the Historic Downtown District.

Village staff reviewed the request for window signage on the second floor of the building at 50 S. Washington Street. The HPC questioned the function of the signs because it is on the second floor and not noticeable from the street. There were also concerns for the language of

the Code, to allow each tenant up to 25 SF of signage in a multi-tenant building. In this example, the HPC expressed that each floor could potentially have 4 tenants, which allowed 100 SF of signage on the windows. The general consensus was to consider the bay window as a single window, with 3 bays. Additional concerns for the possibilities for cluttering based on the current Code ensued.

A motion to recommend the Plan Commission to review the language of the sign code regarding window signage and multi-tenant buildings was **unanimously approved, 4-0** (3 absent).

Case A-31-2017 – 33-37 Washington St.– Starbucks – 2 Sign Replacements in the Historic Downtown District

Village staff reviewed the request to replace the existing signage at the downtown Starbucks. In general, the HPC had no issues with the requested signs.

A motion to **approve** the sign application, as submitted, was **unanimously approved**, **4-0** (3 absent)

Discussion Items

304 S. Lincoln Street - (Case HPC-04-2016)

Chairman Bohnen asked the HPC if they have seen the updated porch rails at 304 S. Lincoln Street in relation to the approved Certificate of Appropriateness. Due to the absence of 3 Commissioners, and requested update from the architect, Chairman Bohnen asked that this discussion item be carried over for next month's HPC meeting.

Schedule a Special HPC meeting for Historic District Process Awareness

Chairman Bohnen reviewed that the HPC should explore ways to promote the Historic District Certificate of Appropriateness process to receive housing plans as soon as possible. Since the Certificate of Appropriateness is advisory only for new construction homes in the Robbins Park District, the issue expressed by the HPC is that their recommendations to the architects and homebuilders are too late by the time they receive it for the public hearing. Chairman Bohnen requested that this discussion item be carried over for next month's HPC meeting.

In relation to Historic Preservation Awareness, staff from the Hinsdale Historic Society (HHS) visited the HPC to give the group/public an update with the Zook House mobile app. (The correspondence to the visit was received after the September 13 HPC agenda packet was delivered, but is attached as Attachment 2) It was explained, rather than launch the app on Sunday, September 17, 2017, as conveyed to the HPC at the June 14, 2017, meeting, the HHS is adding additional features to the app, which will take additional time to develop.

Historic Preservation Commission September 13, 2017

The new launch date is approximately October, along with the Hinsdale Kitchen Walk event by the HHS in October. A few Commissioners expressed concerns about the Kitchen Walk event possibly overshadowing the app launch. However, the HPC believed the delay for a better quality app is justifiable.

Adjournment

Commissioner Bohnen asked for a motion to adjourn. The HPC unanimously agreed to adjourn at 7:02 PM. on September 13, 2017.

Respectfully Submitted,

, Village Planner

STATE	OF	ILL	INOIS)	
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COUNTY	OF	' DU	PAGE)	

BEFORE THE VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION

In the Matter of:

Case No. HPC-05-2017
434 East Sixth Street.

REPORT OF PROCEEDINGS had and testimony taken at the Certificate of Appropriateness

Public Hearing of the above-entitled matter

before the Hinsdale Historic Preservation

Commission, at 19 East Chicago Avenue, Hinsdale,

Illinois, on the 13th day of September 2017, at the hour of 6:00 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MR. JIM PRISBY, Member; and

MS. SHANNON WEINBERGER, Member.

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1	ALSO PRESENT:	1	beautiful, amazing.	
2	MR. CHAN YU, Village Planner;	2	The house that's being proposed	
	, , , ,	3	does not maximize the FAR. They are already	
3	MR. PETER COULES, Attorney for	4	getting back their second comments because they	
	Applicant;	5	are in for permits, so they are getting very	
4	MD 11M CADDED Applicant	6	close to being able to start the property.	
5	MR. JIM GARBER, Applicant.	7	There are people that are already	
		8	going to have the house built for themselves.	
6	CHAIRMAN BOHNEN: I'm going to open the	9	This is not a spec home. These are actual	
7	public hearing for certificate of	06:06:52PM 10	people that lived in Hinsdale, sold their house,	
8	appropriateness for Case HPC-05-2017 for the	11	they are renting for a year, found this to be	
9 06:05:10PM 10	home at 434 East Sixth Street. Mr. Coules?	12	the right property for them and they are going	
06:05:10PM 10	MR. COULES: Thank you, Mr. Bohnen.	13	to be coming back into town.	
12	Good evening, everyone. I represent it's	14	So I just took some pictures to	
13	actually Garber backwards if anyone caught on,	15	show. It's kind of strange, you walk up and	
14	the owner of the property Rebrag, Inc. Jim	16	down different levels all over the house,	
15	Garber is here to explain anything we need to	17	besides the kids getting in there and beating it	
16 17	explain on the new house that's being proposed to be built.	18		
18	So it was an interesting house to	19	all up.	
19	go visit as you can see by the pictures I put in		This shows the ceiling lines that	
06:05:30PM 20	your package. It's been empty almost three	06:07:10PM 20	go up and shows the two different additions	
21	years now. Elizabeth Pyle, the next-door	21	going one next to the other. So basically what	
22	neighbor, actually came out, and I know the Pyle	22	we have going on here is we have a house that	
	3			
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1	family, and she's, like, please tell me this	1	doesn't really have any kind of significance	
2	family, and she's, like, please tell me this house is coming down was her direct quote to me.	2	doesn't really have any kind of significance architecturally. I believe Mr. Prisby would	
_	family, and she's, like, please tell me this house is coming down was her direct quote to me. Because kids go in and vandalize it. That's why	_	doesn't really have any kind of significance architecturally. I believe Mr. Prisby would agree with me being an architect sitting on the	
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	6		8
1	it and it's going to fit in very nice with the	1	MS. WILLIAMS: So moved.
2	neighborhood. No variances being requested or	2	CHAIRMAN BOHNEN: Second, please?
3	anything. They are ready to go forward on the	3	MS. WEINBERGER: Second.
4	house. The proposal was to tear it down and	4	CHAIRMAN BOHNEN: All in favor?
5	build a nice new home on this property.	5	(All aye.)
6	Like I said, Jim is here to answer	6	Thank you very much.
7	any questions if anyone has questions about the	7	MR. COULES: Thank you.
8	new house.	8	(WHICH, were all of the
9	CHAIRMAN BOHNEN: Ladies?	9	proceedings had, evidence
06:08:30PM 10	MS. WEINBERGER: So the whole facade is	10	offered or received in the
11	reclaimed Chicago brick?	11	above entitled cause.)
12	MR. COULES: Is it all reclaimed?	12	
13	MR. GARBER: Yes, all of it is. There	13	
14	is some siding on it as well. It's about 70	14	
15	percent brick.	15	
16	MR. COULES: The siding is that cream	16	
17	color. And it is reclaimed Chicago brick.	17	
18	CHAIRMAN BOHNEN: Jim, any comments?	18	
19	MR. PRISBY: Demo. No issues at all.	19	
06:08:58PM 20	Done. The house is a disaster. Still looking	20	
21	at the design.	21	
22	CHAIRMAN BOHNEN: This is a custom	22	
	7		9
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1	home?	1	STATE OF ILLINOIS)
2	home? MR. COULES: Correct. It's not a spec,) ss:
		2	
2	MR. COULES: Correct. It's not a spec,	2) ss: COUNTY OF DU PAGE)
3	MR. COULES: Correct. It's not a spec, John, you are correct. People are really) ss:
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2 3 4 5	MR. COULES: Correct. It's not a spec, John, you are correct. People are really interested in going and getting into their home. MS. WILLIAMS: It is noncontributing to the historic district obviously. It is a	3 4) ss: COUNTY OF DU PAGE) I, KATHLEEN W. BONO, Certified Shorthand Reporter, Notary Public in and for the
2 3 4 5 6 7	MR. COULES: Correct. It's not a spec, John, you are correct. People are really interested in going and getting into their home. MS. WILLIAMS: It is noncontributing to the historic district obviously. It is a 1950ish home and I don't think it has any	2 3 4 5 6 7) ss: COUNTY OF DU PAGE) I, KATHLEEN W. BONO, Certified Shorthand Reporter, Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various
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1	architecturally [1] - 5:2	4:13 commencement [1]	evidence [1] - 8:9 examination [1] - 9:7	I
4046	attached [2] - 3:17	- 9:6	explain [2] - 2:15,	II I IN 010 4.4
13th [1] - 1:13	Attorney [1] - 2:3	comments [2] - 4:4,	2:16	ILLINOIS [2] - 1:1,
19 [1] - 1:12	Avenue [1] - 1:12	6:18	eyesore [1] - 5:6	9:1
1949 [1] - 3:20	aye [1] - 8:5	COMMISSION [1] -		Illinois [2] - 1:13, 9:5
1950 ish [1] - 7:7		1:3	F	IN [1] - 9:16
	− B	Commission [1] -		Inc [1] - 2:14
2		1:12	facade [1] - 6:10	interested [1] - 7:4
	backwards [2] -	common [1] - 5:20	family [1] - 3:1	interesting [3] -
2017 [2] - 1:13, 9:18	2:13, 5:14	complete [1] - 9:14	FAR [1] - 4:3	2:18, 3:5, 3:10
20th [1] - 9:18		contemporary [1] -	1	issues [1] - 6:19
	backyard [2] - 3:21, - 3:22	3:12	farmhouse [1] - 5:18	
4		correct [3] - 7:2, 7:3,	favor [1] - 8:4	J
7	beating [1] - 4:17	9:14	fireplace [1] - 3:17	
	beautiful [2] - 3:20,	COULES [7] - 2:3,	fit [1] - 6:1	JIM [2] - 1:19, 2:4
434 [2] - 1:6, 2:9	4:1	2:11, 6:12, 6:16, 7:2,	foregoing [1] - 9:13	Jim [4] - 2:14, 5:16,
	BEFORE [1] - 1:3	7:9, 8:7	form [1] - 9:13	6:6, 6:18
6	Belgium [1] - 5:18	Coules [2] - 2:10,	forward [1] - 6:3	John [1] - 7:3
	block [1] - 3:9	7:16	front [1] - 3:18	JOHN [1] - 1:17
	board [1] - 5:4	County [2] - 9:5,		- JOHN [1] - 1.17
6:00 [1] - 1:14	BOARD [1] - 1:16	9:20	G	V
	Bohnen [1] - 2:11	COUNTY [2] - 1:2,		K
7	BOHNEN [8] - 1:17,	9:2	garage [1] - 3:18	
	2:6, 6:9, 6:18, 6:22,	cream [2] - 5:20,	GARBER [2] - 2:4,	KATHLEEN [2] - 9:3,
70 [1] - 6:14	7:15, 8:2, 8:4	6:16	6:13	9:19
10 [i] 0.14	BONO [2] - 9:3, 9:19	custom [1] - 6:22	Garber [5] - 2:13,	kept [1] - 3:21
8	bought [1] - 5:13		2:15, 5:13, 5:16, 7:19	kids [2] - 3:3, 4:17
	brick [4] - 5:20, 6:11,	D		kind [2] - 4:15, 5:1
			I diven [1] - 9:1()	1 11114 [2] 1110, 011
	6:15, 6:17	_	given [1] - 9:10	Killa [2] 1.10, 0.1
84-1423 [1] - 9:20	build [1] - 6:5		gray [1] - 9:10 gray [1] - 5:21	
84-1423 [1] - 9:20	build [1] - 6:5 built [3] - 2:17, 3:20,	demo [1] - 6:19	gray [1] - 5:21	L
84-1423 [1] - 9:20	build [1] - 6:5	demo [1] - 6:19 design [1] - 6:21		L
	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14,	gray [1] - 5:21	L ladies [1] - 6:9
A	build [1] - 6:5 built [3] - 2:17, 3:20,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20	gray [1] - 5:21	ladies [1] - 6:9
A .D _[1] - 9:18	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2	gray [1] - 5:21	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19
A .D [1] - 9:18 able [1] - 4:6	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20	gray [1] - 5:21 H half [2] - 5:8, 5:11	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] -	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] -	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19,	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15,	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15,	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16,	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7,
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20,	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5,	gray [1] - 5:21 H half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8	H	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20	H H H H H H H H H H	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5,	H H H H H H H H H H	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20	H	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 1:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E	H	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 1:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3,	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12,	Half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3,	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9	Half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18,
A.D [1] - 9:18 able [1] - 4:6 above -entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21	Half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 4:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3, 2:4	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2 Chicago [4] - 1:12,	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21 empty [3] - 2:20,	Half [2] - 5:8, 5:11 half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8, 4:2, 4:8, 4:10, 4:16,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20 MEMBERS [1] - 1:16
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3, 2:4 Appropriateness [1] 1:9 appropriateness [2]	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2 Chicago [4] - 1:12, 5:20, 6:11, 6:17	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21 empty [3] - 2:20, 5:10, 5:11	Half [2] - 5:8, 5:11 half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8, 4:2, 4:8, 4:10, 4:16, 4:22, 5:15, 5:21, 5:22,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:4 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20 MEMBERS [1] - 1:16 motion [1] - 7:21
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3, 2:4 Appropriateness [1] 1:9 appropriateness [2]	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2 Chicago [4] - 1:12, 5:20, 6:11, 6:17 close [1] - 4:6	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21 empty [3] - 2:20, 5:10, 5:11 entirety [1] - 3:22	Half [2] - 5:8, 5:11 half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8, 4:2, 4:8, 4:10, 4:16, 4:22, 5:15, 5:21, 5:22, 6:4, 6:8, 6:20, 7:10,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20 MEMBERS [1] - 1:16 motion [1] - 7:21 moved [2] - 5:8, 8:1
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - :10 actual [1] - 4:9 additions [2] - 3:15, :20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, :7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3, ::4 Appropriateness [1] 1:9 appropriateness [2]	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2 Chicago [4] - 1:12, 5:20, 6:11, 6:17 close [1] - 4:6 colonial [1] - 3:11	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21 empty [3] - 2:20, 5:10, 5:11 entirety [1] - 3:22 entitled [2] - 1:10,	Half [2] - 5:8, 5:11 half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8, 4:2, 4:8, 4:10, 4:16, 4:22, 5:15, 5:21, 5:22, 6:4, 6:8, 6:20, 7:10, 7:12	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20 MEMBERS [1] - 1:16 motion [1] - 7:21 moved [2] - 5:8, 8:1 MR [13] - 1:17, 1:19,
A.D [1] - 9:18 able [1] - 4:6 above-entitled [1] - 1:10 actual [1] - 4:9 additions [2] - 3:15, 1:20 affixed [1] - 9:17 aforesaid [1] - 9:15 agree [1] - 5:3 almost [3] - 2:20, 5:7, 5:10 ALSO [1] - 2:1 amazing [1] - 4:1 Anne [1] - 3:11 answer [1] - 6:6 Applicant [2] - 2:3, 2:4 Appropriateness [1] 1:9 appropriateness [2] 2:8, 7:22	build [1] - 6:5 built [3] - 2:17, 3:20, 4:8 C C.S.R [1] - 9:20 car [1] - 3:18 Case [2] - 1:5, 2:8 caught [1] - 2:13 ceiling [2] - 3:16, 4:19 census [1] - 3:7 Certificate [1] - 1:9 certificate [2] - 2:7, 7:22 Certified [1] - 9:3 certify [1] - 9:6 CHAIR MAN [7] - 2:6, 6:9, 6:18, 6:22, 7:15, 8:2, 8:4 Chairman [1] - 1:17 CHAN [1] - 2:2 Chicago [4] - 1:12, 5:20, 6:11, 6:17 close [1] - 4:6	demo [1] - 6:19 design [1] - 6:21 different [3] - 3:14, 4:16, 4:20 direct [1] - 3:2 disaster [1] - 6:20 district [1] - 7:6 done [3] - 3:7, 3:19, 6:20 door [1] - 2:21 down [3] - 3:2, 4:16, 6:4 DU [2] - 1:2, 9:2 duly [1] - 9:8 DuPage [2] - 9:5, 9:20 E East [3] - 1:6, 1:12, 2:9 Elizabeth [1] - 2:21 empty [3] - 2:20, 5:10, 5:11 entirety [1] - 3:22	Half [2] - 5:8, 5:11 half [2] - 5:8, 5:11 hand [1] - 9:17 Hearing [1] - 1:10 hearing [1] - 2:7 hereby [1] - 9:5 herein [1] - 9:8 hereto [1] - 9:10 hereunto [1] - 9:17 HINSDALE [1] - 1:3 Hinsdale [3] - 1:11, 1:12, 4:10 historic [2] - 3:6, 7:6 HISTORIC [1] - 1:3 Historic [1] - 1:11 home [6] - 2:9, 4:9, 6:5, 7:1, 7:4, 7:7 hour [1] - 1:14 house [19] - 2:16, 2:18, 3:2, 3:6, 3:8, 4:2, 4:8, 4:10, 4:16, 4:22, 5:15, 5:21, 5:22, 6:4, 6:8, 6:20, 7:10,	L ladies [1] - 6:9 levels [1] - 4:16 lines [1] - 4:19 lived [2] - 4:10, 7:11 looking [1] - 6:20 M man [1] - 7:10 market [3] - 5:6, 5:7, 5:10 marketed [1] - 5:9 matches [1] - 3:16 Matter [1] - 1:4 matter [1] - 1:10 matters [1] - 9:9 maximize [1] - 4:3 means [1] - 9:11 Member [3] - 1:18, 1:19, 1:20 MEMBERS [1] - 1:16 motion [1] - 7:21 moved [2] - 5:8, 8:1

7:2, 7:9, 8:7 MS [6] - 1:18, 1:20,	PRESENT [2] - 1:16,	represent [1] - 2:12 requested [1] - 6:2	thereafter [1] - 9:12 three [3] - 2:20, 5:7,
6:10, 7:5, 8:1, 8:3	presenting [1] - 5:15	response [2] - 7:17,	5:11
N	PRESERVATION [1] - 1:3	7:20 revival [1] - 3:11	took [1] - 4:14 total [1] - 5:12
	Preservation [1] -		town [1] - 4:13
named [2] - 7:10,	1:11	S	transcribed [1] -
7:14	previous [1] - 9:6 Prisby [1] - 5:2		9:12 transcript [1] - 9:14
names [1] - 7:13	PRISBY [2] - 1:19,	SANDRA [1] - 1:18	true [1] - 9:14
need [1] - 2:15 neighbor [1] - 2:22	6:19	sat [1] - 5:6 seal [1] - 9:18	truth [1] - 9:9
neighborhood [1] -	proceedings [1] -	second [3] - 4:4, 8:2,	Tudor [1] - 3:10
6:2	8:9 PROCEEDINGS [1] -	8:3	two [4] - 3:18, 4:20, 5:8, 5:11
new [3] - 2:16, 6:5,	1:8	see [2] - 2:19, 3:14	two -car [1] - 3:18
6:8 next [2] - 2:21, 4:21	process [1] - 5:14	September [2] - 1:13, 9:18	typewritten [1] - 9:13
next -door [1] - 2:21	property [6] - 2:14,	set [1] - 9:17	
nice [2] - 6:1, 6:5	3:22, 4:6, 4:12, 5:19, 6:5	SHANNON [1] - 1:20	U
noncontributing [1]	proposal [1] - 6:4	Shorthand [1] - 9:4	
- 7:5 notarial [1] - 9:17	propose [1] - 5:19	shorthand [2] - 9:12, 9:15	up [3] - 4:15, 4:18, 4:20
Notary [2] - 9:4, 9:20	proposed [3] - 2:16,	show [1] - 4:15	4.20
notes [1] - 9:15	4:2, 5:19 Public [3] - 1:10, 9:4,	showed [1] - 3:4	V
nothing [1] - 3:16	9:20	shows [2] - 4:19,	
	public [1] - 2:7	4:20 side [2] - 3:15, 5:22	vacant [1] - 5:7
0	put [1] - 2:19	siding [3] - 5:20,	vandalize [1] - 3:3
ahulawahu w. 7.0	Pyle [2] - 2:21, 2:22	6:14, 6:16	variances [1] - 6:2
obviously [1] - 7:6 OF [6] - 1:1, 1:2, 1:3,	Q	significance [1] - 5:1	various [1] - 9:7 vaulted [1] - 3:16
1:8, 9:1, 9:2		sitting [1] - 5:3	VILLAGE [1] - 1:3
offered [1] - 8:10	qualities [1] - 7:8	Sixth [3] - 1:6, 2:9, 3:8	Village [1] - 2:2
one [4] - 3:15, 4:21,	Queen [1] - 3:11	sold [1] - 4:10	visit [1] - 2:19
5:22, 7:10 open [1] - 2:6	questions [4] - 6:7,	sometimes [1] - 7:13	W
originally [2] - 5:9,	7:16, 7:18 quote [1] - 3:2	spec [2] - 4:9, 7:2 ss [2] - 1:1, 9:1	VV
7:11	quote [1] - 3.2	ss [2] - 1.1, 9.1 - stamped [1] - 7:14	wolk to 4:15
owner [1] - 2:14	R	start [1] - 4:6	walk [1] - 4:15 WEINBERGER [3] -
Р		State [1] - 9:5	1:20, 6:10, 8:3
•	rather [1] - 3:9	STATE [2] - 1:1, 9:1	WHEREOF [1] - 9:16
p.m [1] - 1:14	ready [1] - 6:3	still [1] - 6:20 strange [1] - 4:15	WHICH [1] - 8:8
package [1] - 2:20	really [3] - 3:5, 5:1, 7:3	Street [3] - 1:6, 2:9,	white [2] - 5:21, 5:22 whole [1] - 6:10
PAGE [2] - 1:2, 9:2	reason [2] - 3:13,	3:8	WILLIAMS [3] - 1:18,
part [1] - 3:20	7:12	style [2] - 3:9, 3:12	7:5, 8:1
people [5] - 4:7, 4:10, 5:8, 5:18, 7:3	Rebrag [2] - 2:14,	sworn [1] - 9:8	witnesses [2] - 9:8, 9:11
percent [1] - 6:15	5:13 received [1] - 8:10	Т	writing [1] - 9:11
permits [1] - 4:5	reclaimed [3] - 6:11,		
personally [1] - 7:9	6:12, 6:17	tall [1] - 3:15	Υ
pertaining [1] - 9:10	redeeming [1] - 7:8	tear [1] - 6:4	
PETER [1] - 2:3	reduced [1] - 9:11	testify [1] - 9:9	year [1] - 4:11
PETER [1] - 2:3 photographs [1] -	redistered (4) = 3.6	1 TOSTIMONY [2] - 1:X	1 Magra (4) 0:01 E:7
	registered [1] - 3:6 registries [1] - 3:7	testimony [3] - 1:8,	years [4] - 2:21, 5:7,
photographs [1] - 3:14 pictures [3] - 2:19,	registered [1] - 3:6 registries [1] - 3:7 relation [1] - 9:9	9:7, 9:10 TESTIMONY [1] -	5:11, 5:12
photographs [1] - 3:14 pictures [3] - 2:19, 3:4, 4:14	registries [1] - 3:7 relation [1] - 9:9 renting [1] - 4:11	9:7, 9:10 TESTIMONY [1] - 9:16	•
photographs [1] - 3:14 pictures [3] - 2:19,	registries [1] - 3:7 relation [1] - 9:9	9:7, 9:10 TESTIMONY [1] -	5:11, 5:12
photographs [1] - 3:14 pictures [3] - 2:19, 3:4, 4:14	registries [1] - 3:7 relation [1] - 9:9	9:7, 9:10 TESTIMONY [1] -	5:11, 5:12

Chan Yu

From: Executive Director < Director@hinsdalehistory.org>

Sent: Friday, September 08, 2017 4:43 PM

To: Chan Yu

Subject:Historic Tours App UpdateAttachments:Historic Tours App Update.pdf

HI Chan -

We wanted to update the Historic Preservation Commission on the progress of the Historic Tours App. Please find an attached letter to submit in their meeting packet for next week.

Thanks!

Lynne Mickle Smaczny
Executive Director
Hinsdale Historical Society
630-789-2600
www.hinsdalehistory.org



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VILLAGE OF Linsdale Est. 1873

MEMORANDUM

DATE: October 11, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 418 S. Park Avenue – Application for Certificate of Appropriateness to Demolish a Home

in the Robbins Park Historic District to Construct a New Home - H-06-2017

Summary

The Village of Hinsdale has received an application from Julie Laux of J Jordan Homes, LLC, and requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 418 S. Park Street. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot in the Robbins Park Historic District. The existing home was constructed in 1952, designed by Philip Duke West, and also known as the Mrs. R. W. McKinstry House. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 14,791.84 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure to the Robbins Park Historic District.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

Attachments:

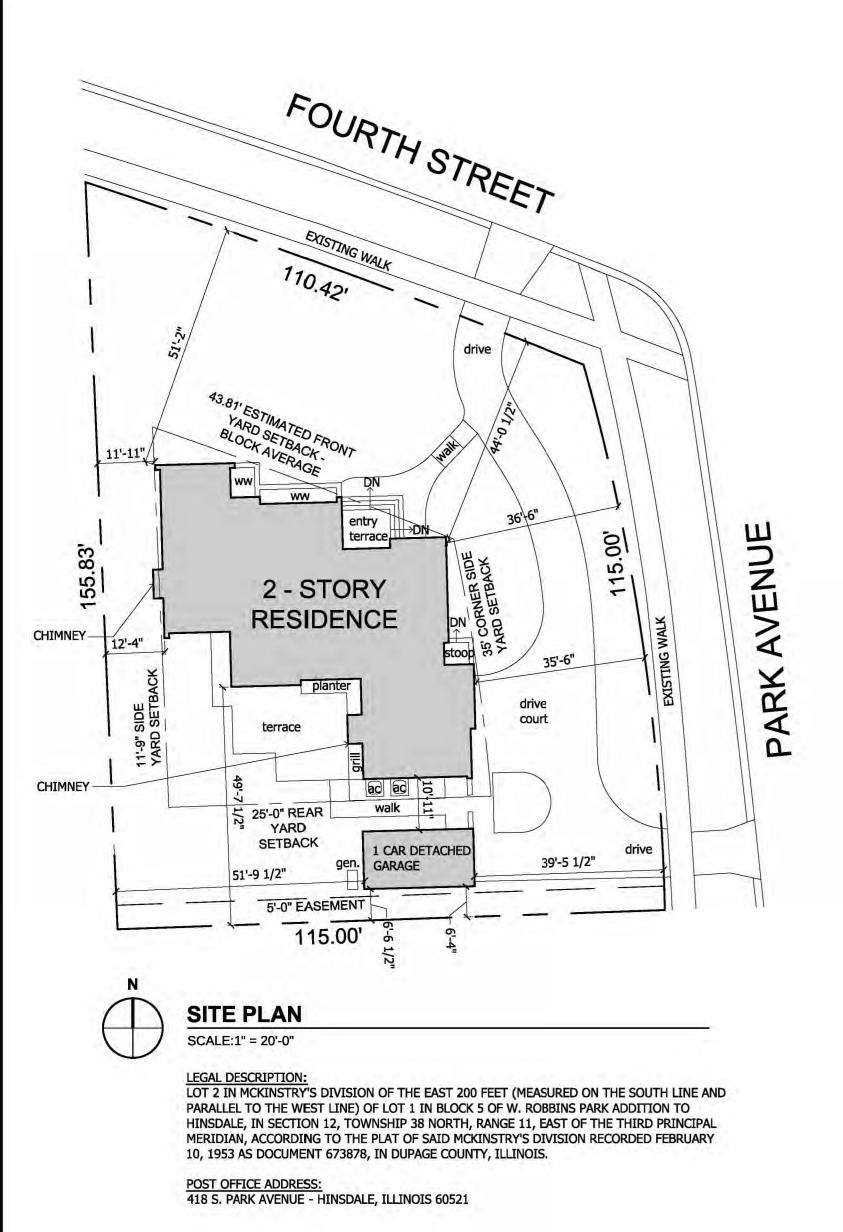
Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Robbins Park Historic District Map

Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)

Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)





STANDING SEAM METAL ROOF w/

SNOW GUARDS PE

SPECIFICATIONS :

5 A1.3

GENERAL NOTES

- A. GENERAL REQUIREMENTS
 - NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND OWNER'S CONSULTANTS DOCUMENTS.
- ALL EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL INTERIOR AND EXTERIOR FRAME WALLS TO BE 2 X 6 STUDS AT 16" O.C. WALLS DRAWN NOMINALLY AT 6 1/2" ASSUME 2 X 6 STUD WALL WITH G.W.B. OR SHEATHING BOTH SIDES PER SPECIFICATION.
- 4. BLOWER DOOR TEST TO BE PERFORMED IN ACCORDANCE WITH IECC 2015 402.4.
- NEW CONSTRUCTION TO COMPLY WITH IECC 2015 PERSCRIPTIVE
- 6. BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH 2015 IECC SECTIONS R402.4.1 THROUGH R402.4.4.
- 7. THE BUILDING THERMAL ENVELOPE AND DUCT SYSTEMS SHALL BE TESTED TO VERIFY AIR LEAKAGE IS IN COMPLIANCE WITH 2015 IECC. TESTS TO BE WITNESSED BY THE BUILDING INSPECTOR AND TEST REPORTS ARE TO BE SUPPLIED TO THE COMMUNITY DEVELOPMENT DEPARTMENT, R402.3.1.2.
- ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFIED.

FIRE RATINGS

SPACE BETWEEN FLOOR AND EXTERIOR WALL AND AT ALL OPENINGS IN THE FLOOR, INCLUDING SPACE BETWEEN DUCTS, CONDUIT, PIPING, ETC., EXCEPT WHEN COMPLETELY ENCLOSED BY FIRE RATED CONSTRUCTION, SHALL BE SAFED OFF (FILLED) WITH APPROVED SAFING MATERIAL TO MAINTAIN THE CONTINUITY OF THE FLOOR FIRE RATING. ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION SHALL BE TIGHT AND PREVENT THE PASSAGE OF SMOKE OR FLAME.

- ALL PIPING, DUCTS, ETC., THAT PENETRATE FLOOR SLABS AND WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" MIN. G.W.B., 3/8" WOOD STRUCTURAL PANELS, OR 3/8" TYPE 2-M-W PARTICLEBOARD TO BE INSTALLED PARALLEL TO FLOOR FRAMING MEMBERS PER IRC R502.12. DRAFTSTOPPING TO BE PROVIDED AT THE FOLLOWING LOCATIONS:
- A. CONCEALED SPACES OF STUDS, WALL AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR
- B. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC. C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP
- AND BOTTOM OF THE RUN. D. OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS & FIREPLACES AT CEILING AND FLOOR LEVEL, WITHOUT
- NONCOMBUSTIBLE MATERIALS. E. CONCEALED SPACE BECAUSE OF DROPPED CEILINGS OR SOFFITS IN THE BASEMENT OVER ONE THOUSAND (1000) SQ. FT. SHALL BE DRAFT STOPPED INTO EQUAL AREAS PER IRC R502.12.
- FIREBLOCKING SHALL BE PROVIDED IN FLOOR CONSTRUCTION AND FLOOR-CEILING ASSEMBLIES PER IRC R 602.8.
- COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE
- INSULATION MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84.

MUNICIPALITY NOTES

 WING WALLS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE HINSDALE FENCE ORDINANCE.

SLOPED LIMESTONE

- 2. WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER. ABOVE GROUND WATER PIPING TO BE TYPE L, TYPE K COPPER OR
- GALVANIZED STEEL PER HINSDALE LOCAL ORDINANCE. COPPER PIPING WILL NOT BE ACCEPTED FOR WASTE OR VENT
- PIPING PER HINSDALE LOCAL ORDINANCE.
- DUCT SYSTEMS SHALL BE SUPPORTED AT A MAXIMUM OF 10' INTERVALS. DUCT SYSTEM JOINTS AND SEAMS SHALL BE MADE AIR TIGHT BY MEANS OF TAPE AND SHALL BE MECHANICALLY FASTENED BY THREE (3) SCREWS EVENLY SPACED PER THE IRC
- ELECTRIC SERVICE SHALL COMPLY WITH SECTION 9-6-3: SERVICE ENTRANCE CAPACITY AND EQUIPMENT REQUIRED, OF VILLAGE OF HINSDALE, TITLE 9 BUILDING REGULATIONS, CHAPTER 6, ELECTRIC CODE AMENDMENTS.
- PROVIDE PERMANENTLY AFFIXED CERTIFICATE AT ELECTRICAL PANEL COMPLIANT w/ IECC 2015 SECTION R103.2.

JURISDICTION: DUPAGE COUNTY, HINSDALE, ILLINOIS ZONING: R-1, NON-CONFORMING SITE AREA: 14,791.84 SQ.FT. ALLOWABLE BLDG. COVERAGE: 3,697.96 SQ.FT. ACTUAL BLDG. COVERAGE: 2,765.9 SQ.FT. 7,425.92 SQ.FT. ALLOWABLE LOT COVERAGE: ACTUAL LOT COVERAGE: 5,901 SQ.FT. ALLOWABLE F.A.R.: 4,750.04 SQ.FT. CELLAR= ACTUAL F.A.R.

0 SQFT. 2,765.90 SQ.FT. FIRST FLOOR= SECOND FLOOR= 1,983.00 SQ.FT. 0 SQ.FT. 4,748.9 SQ.FT.

713.025 AVERAGE EXTG. GRADE: ACTUAL BUILDING HEIGHT: 29'-0" ACTUAL BUILDING ELEVATION: 34'-11 1/4" TYPE OF

MASONRY / WOOD FRAME CONSTRUCTION:

- 1. ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION AS NOTED OF THE FOLLOWING APPLICABLE CODES:
- A. 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL RESIDENTIAL CODE 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE 2014 ILLINOIS PLUMBING CODE
- 2006 INTERNATIONAL PLUMBING CODE 2005 NFPA NATIONAL ELECTRICAL CODE 2003 NFPA 101 LIFE SAFETY CODE 2006 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL FUEL GAS CODE VILLAGE OF HINSDALE ORDINANCES
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 & ILLINOIS AMMENDMENTS
- ILLINOIS ACCESSIBILITY CODE CURRENT EDITION ALL OTHER APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS HAVING JURISDICTION.

GENERAL NOTES, SITE PLAN & EXTERIOR ELEVATION

FOR TYP. RAIN GUARD & CHIMNEY CAP, SEE DTL.

-STUCCO CLAD DORMER

-6" METAL STEP FLASHING AT

-6" FLASHING, TYP.

- A1.3 **EXTERIOR ELEVATION & DETAILS**
- LOWER LEVEL PLAN FIRST FLOOR PLAN
- SPECIFICATION
- S1.2 SECOND FLOOR FRAMING PLAN & DETAILS
- S1.4 THIRD FLOOR CEILING FRAMING PLAN S1.5 **ROOF FRAMING PLAN & DETAILS**
- E1.3 E1.4
- R1.1 FIRST FLOOR OVERLAY PLAN
- SECOND FLOOR OVERLAY PLAN

SHEET INDEX

- A1.2 **EXTERIOR ELEVATION & PLUMBING RISER DIAGRAMS**
- A1.4 **EXTERIOR ELEVATION & LIGHT-VENT SCHEDULE** A2.1
- A2.2 A2.3 SECOND FLOOR PLAN
- A2.4 THIRD FLOOR PLAN A2.5 ROOF PLAN WALL SECTION
- S1.1 FOUNDATION & FIRST FLOOR FRAMING PLAN & DETAILS
- 51.3 THIRD FLOOR FRAMING PLAN
- E1.1 LOWER LEVEL SCHEMATIC ELECTRICAL PLAN E1.2 FIRST FLOOR SCHEMATIC ELECTRICAL PLAN
- SECOND FLOOR SCHEMATIC ELECTRICAL PLAN THIRD FLOOR SCHEMATIC ELECTRICAL PLAN
- THIRD FLOOR OVERLAY PLAN

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GEN. NOTES,

SITE PLAN &

EXTERIOR

ELEVATION

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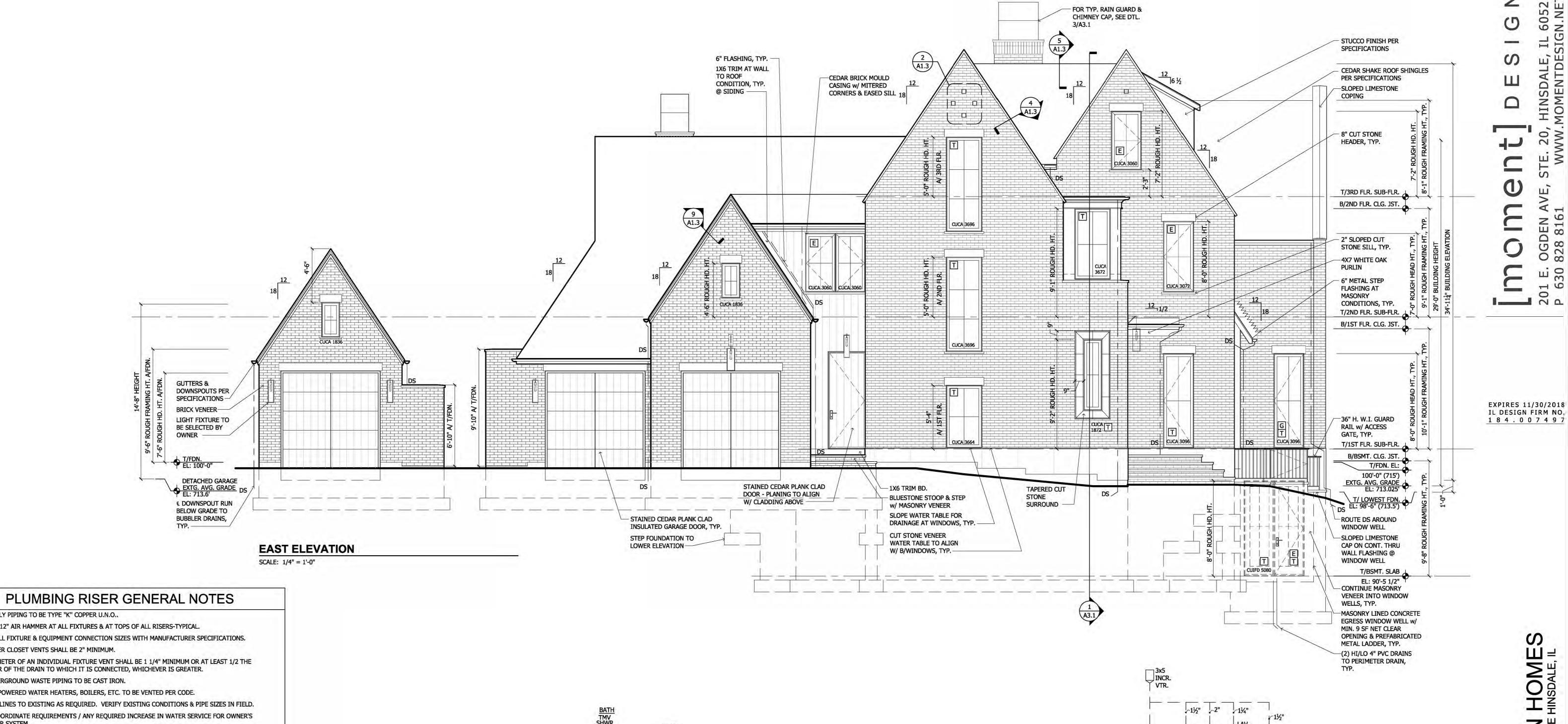
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1 ALL SUPPLY PIPING TO BE TYPE "K" COPPER U.N.O..

- 2 PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.
- 3 VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.
- 4 ALL WATER CLOSET VENTS SHALL BE 2" MINIMUM.
- 5 THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 THE
- 6 ALL UNDERGROUND WASTE PIPING TO BE CAST IRON.

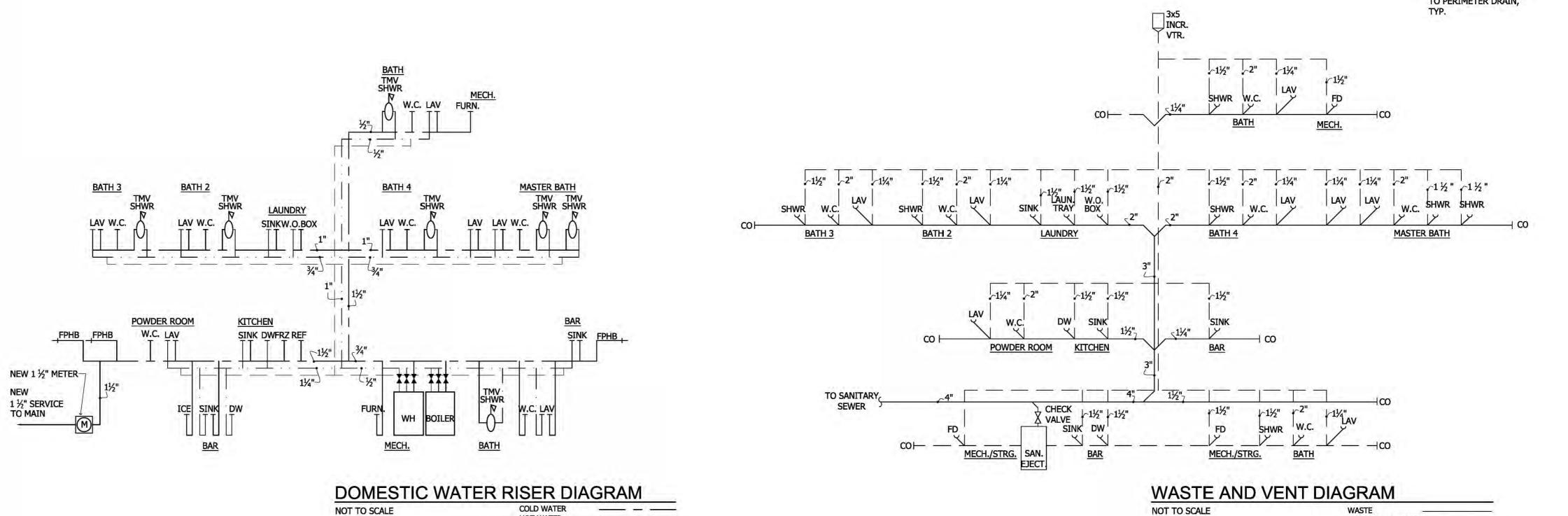
PLUMBING CODE, 2014 EDITION.

- 7 ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.
- 8 TIE NEW LINES TO EXISTING AS REQUIRED. VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD.
- 9 GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S SPRINKLER SYSTEM.
- 10 COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK.

FIXTURE CONNECTION SIZES & QUANTITIES

				SUPP	LY		DRAINAGE		
FIXTURE TYPE	FIXTURE QUANTI TY	SUPPLY FIXTURES PER UNIT			TOTAL SUPPLY FIXTUR	FIXTUR E SUPPLY	DRAINAG E	TOTAL DRAINAG E	FIXTURE DRAIN
	11	COLD	нот	TOTA L	E UNITS	PIPE SIZE	FIXTURES PER UNIT	FIXTURE UNITS	TRAP
WATER CLOSET	7	3	0	3	21	3/8"	4	28	3"
LAVATORY	8	0.75	0.75	1.5	12	3/8"	1-1	8	1 1/4"
SHOWER STALL / TUB	7	1.5	1.5	3	21	1/2"	3	21	2"
WHIRLPOOL	0	1.5	1.5	3	0	1/2"	3	0	2"
STEAM UNIT	0	1	0	1	0	3/8"	0	0	-
KITCHEN SINK	3	1.5	1.5	3	9	1/2"	2	6	1 1/2"
DISHWASHER	2	0	1	1	2	1/2"	2	4	1 1/2"
LAUNDRY SINK	1	1.5	1.5	3	3	1/2"	2	2	1 1/2"
LAUNDRY DRAIN PAN	1	0	0	0	0	-	3	3	1 1/2"
WASHER OUTLET BOX	1	2.25	2.25	4.5	5	1/2"	3	3	1 1/2"
FLOOR DRAIN	3	0	0	0	0	+	3	9	2"
HOSE BIBB	3	2.5	0	2.5	8	1/2"	0	0	
RAINHEAD SHOWER	0	0.5	0.5	1	0	1/2"	3	0	2"
POT FILLER	0	1.5	1.5	3	0	1/2"	ė	8	-
TOTAL FIXTURE UNITS:	1	1-1	== 1		80			84	

ALL SUPPLY & DRAINAGE FIXTURE UNITS, SUPPLY PIPE SIZES, DRAIN TRAP SIZES & VENT SIZES ARE PER ILLINOIS



HOT WATER RETURN — — — —

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EXTERIOR

RISER

UNDER SLAB WASTE -

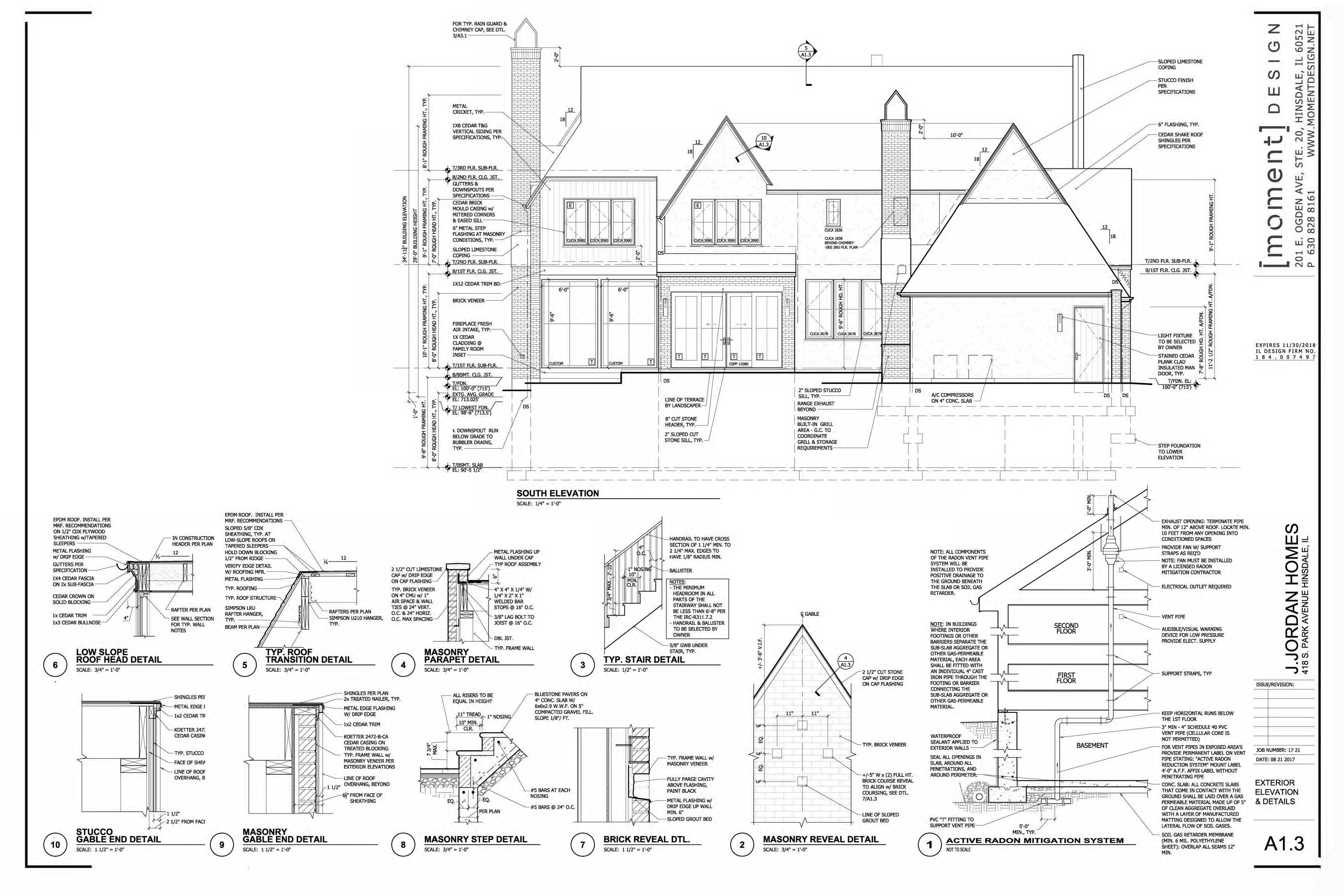
ELEVATION

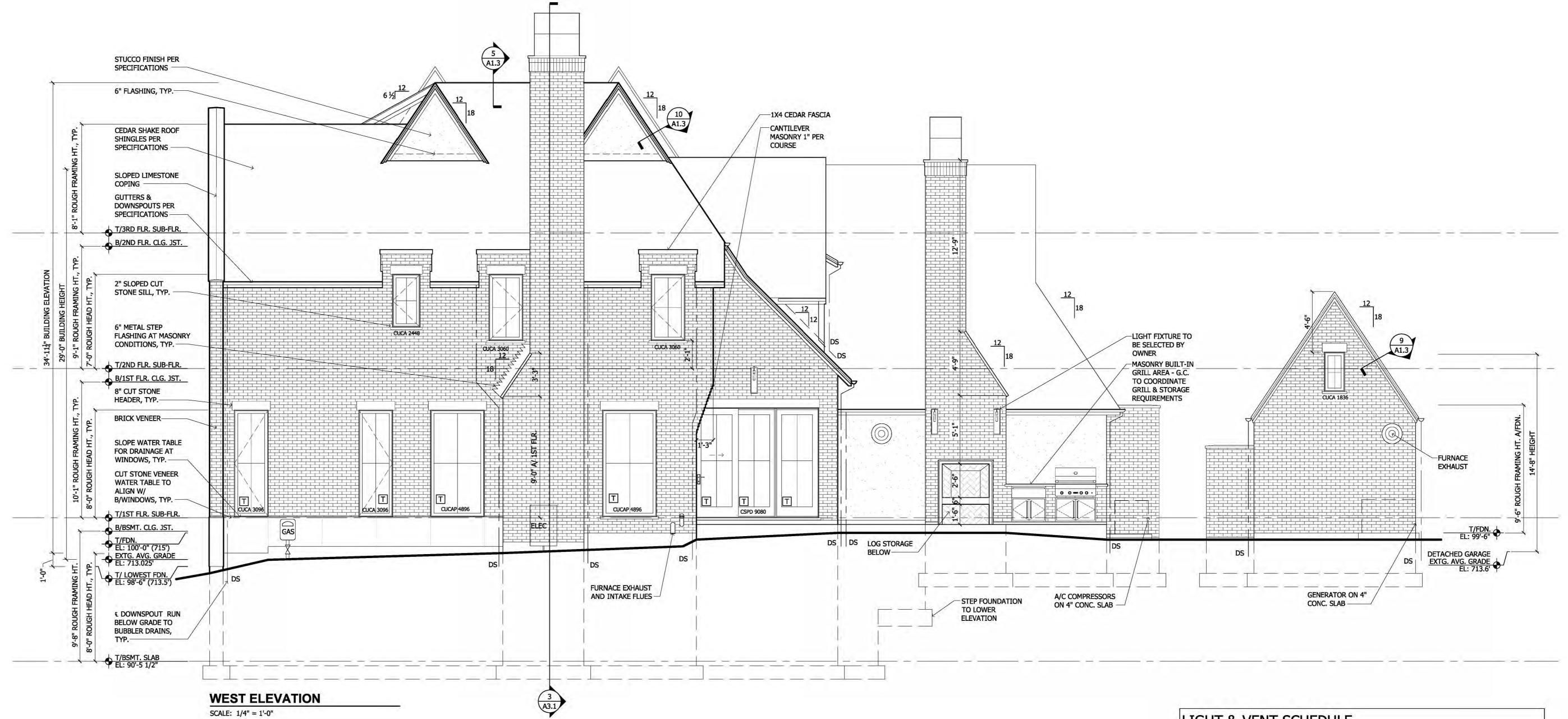
DIAGRAMS

& PLUMBING

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LIGHT REQ'D = 8% OF ROO VENT REQ'D = 4% OF ROO UNFINISHED BASEMENT LI	M AREA	= 2% OF FLOOR	AREA		
ROOM NAME	AREA	LIGHT REQ'D	LIGHT ACTUAL	VENT REQ'D	VENT ACTUAL
BASEMENT					
WINE ROOM	47.8 SQ. FT.	3.82 SQ. FT.	ART.	1.91 SQ. FT.	ART
BAR / LOUNGE	213.2 SQ. FT.	17.06 SQ. FT.	34.36 SQ. FT.	8.53 SQ. FT.	37.52 SQ. FT
MEDIA ROOM	505.5 SQ. FT.	40.44 SQ. FT.	ART.	20.22 SQ. FT.	ART
EXERCISE ROOM	164.2 SQ. FT.	13.14 SQ. FT.	ART.	6.57 SQ. FT.	ART
BEDROOM	145.5 SQ. FT.	11.64 SQ. FT.	22.37 SQ. FT.	5.82 SQ. FT.	25.03 SQ. FT
BATH	44.8 SQ. FT.	3.58 SQ. FT.	ART.	1.79 SQ. FT.	ART
FIRST FLOOR					
ENTRY	91.3 SQ. FT.	7.30 SQ. FT.	57.76 SQ. FT.	3.65 SQ. FT.	32.33 SQ. FT
STUDY	171.0 SQ. FT.	13.68 SQ. FT.	69.11 SQ. FT.	6.84 SQ. FT.	77.44 SQ. FT
DINING ROOM	191.2 SQ. FT.	15.30 SQ. FT.	71.55 SQ. FT.	7.65 SQ. FT.	78.20 SQ. FT
FAMILY ROOM	376.2 SQ. FT.	30.10 SQ. FT.	151.06 SQ. FT.	15.05 SQ. FT.	171.20 SQ. FT
BAR	38.0 SQ. FT.	3.04 SQ. FT.	14.49 SQ. FT.	1.52 SQ. FT.	16.89 SQ. FT
BREAKFAST ROOM / KITCHEN	408.2 SQ. FT.	32.66 SQ. FT.	90.84 SQ. FT.	16.33 SQ. FT.	90.30 SQ. FT
POWDER ROOM	30.5 SQ. FT.	2.44 SQ. FT.	ART.	1.22 SQ. FT.	ART
SECOND FLOOR					
MASTER BEDROOM	310.1 SQ. FT.	24.81 SQ. FT.	71.55 SQ. FT.	12.40 SQ. FT.	78.20 SQ. FT
MASTER BATH	177.1 SQ. FT.	14.17 SQ. FT.	20.41 SQ. FT.	7.08 SQ. FT.	22.99 SQ. FT
BEDROOM 2	160.1 SQ. FT.	12.81 SQ. FT.	25.77 SQ. FT.	6.40 SQ. FT.	28.14 SQ. FT
BATH 2	57.0 SQ. FT.	4.56 SQ. FT.	ART.	2.28 SQ. FT.	ART
BEDROOM 3	162.5 SQ. FT.	13.00 SQ. FT.	17.18 SQ. FT.	6.50 SQ. FT.	18.76 SQ, FT
BATH 3	52.5 SQ. FT.	4.20 SQ. FT.	ART.	2.10 SQ. FT.	ART
BEDROOM 4	182.3 SQ. FT.	14.58 SQ. FT.	31.47 SQ. FT.	7.29 SQ. FT.	34.41 SQ. FT
BATH 4	46.5 SQ. FT.	3.72 SQ. FT.	ART.	1.86 SQ. FT.	ART
THIRD FLOOR					
BATH	51.4 SQ. FT.	4.11 SQ. FT.	ART.	2.06 SQ. FT.	ART
BEDROOM	212.5 SQ. FT.	17.00 SQ. FT.	ART.	8.50 SQ. FT.	14.93 SQ. FT

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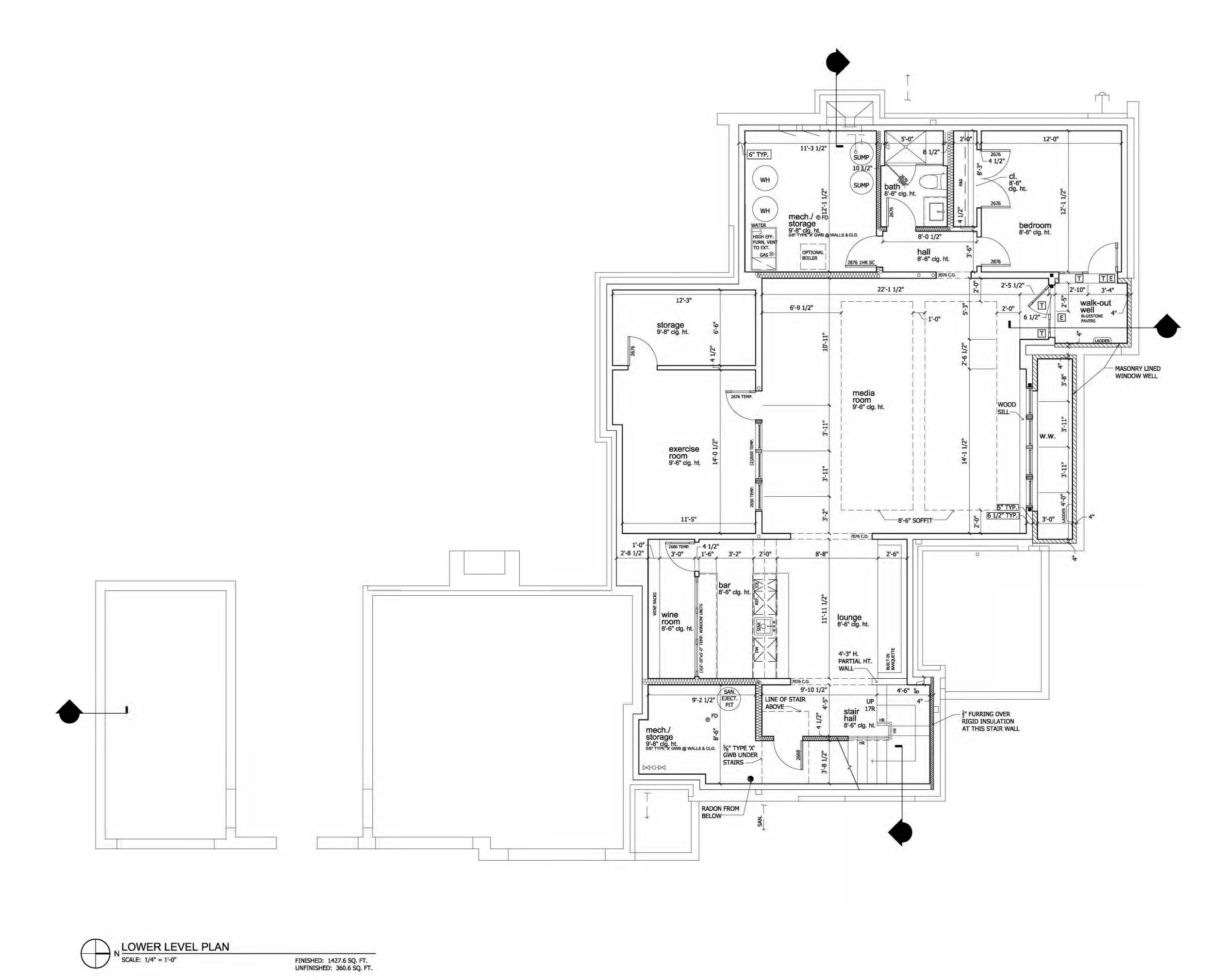
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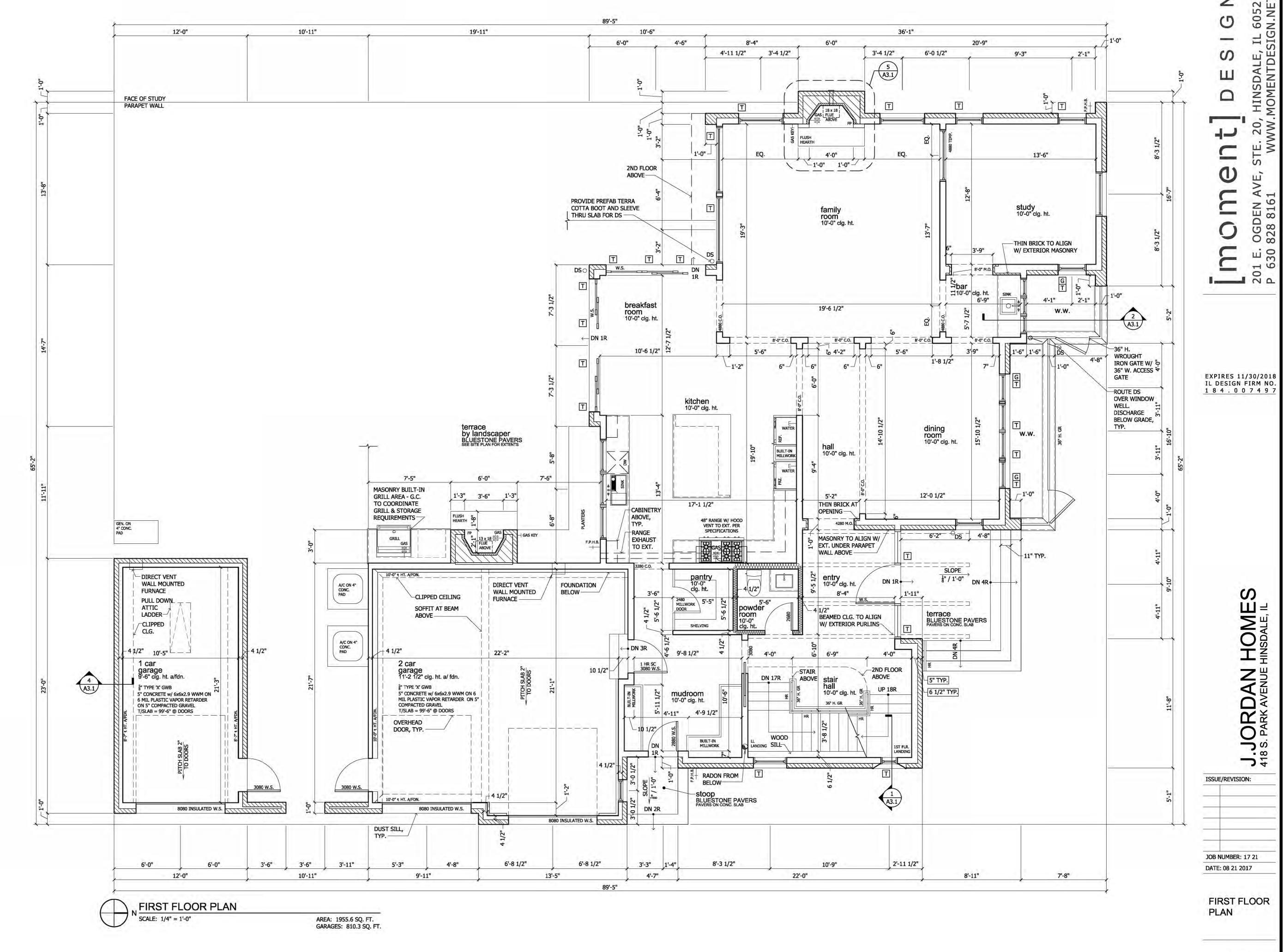
EXTERIOR ELEVATION & LIGHT-VENT SCHEDULE

A1.4

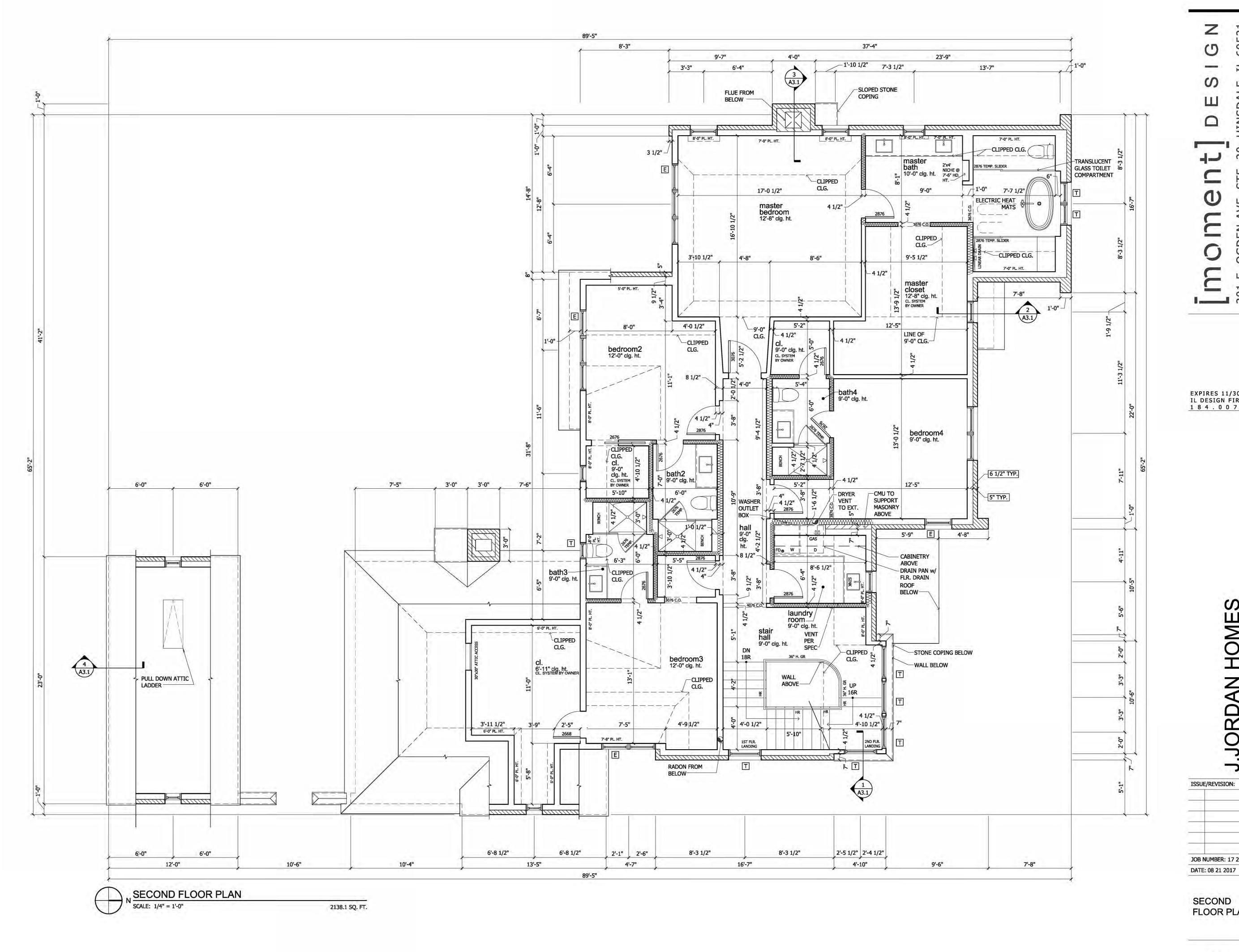
LOWER LEVEL PLAN

A2.





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SECOND FLOOR PLAN

16'-7"

N THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 460.5 SQ. FT.

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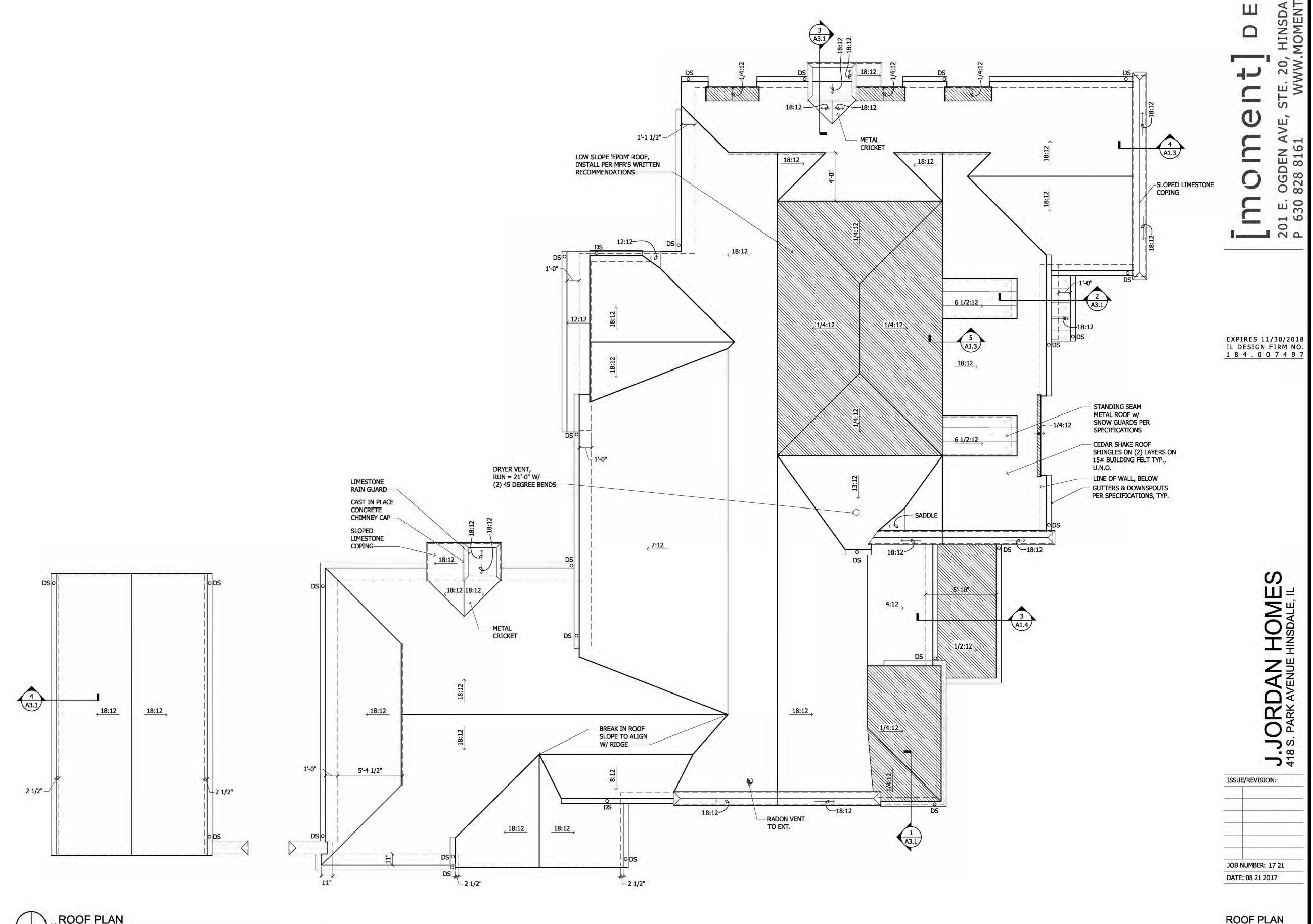
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THIRD FLOOR PLAN

A2 /



SHADE INDICATES LOW SLOPE EPDM ROOF. INSTALL PER MFR'S WRITTEN RECOMMENDATIONS 1.) ALL DOWNSPOUTS TO RUN TO PVC COLLECTOR DRAIN. DISCHARGE PER CIVIL DRAWINGS. 2.) INSTALL ICE AND WATER SHIELD
3'-0" FROM EACH SIDE OF ALL
VALLEYS AND FROM FASCIA TO 2'-0"
PAST WALL LINE AT EAVE ENDS OF
ROOF. 3.) TYPICAL OVERHANGS: FASCIA: 6" U.N.O. RAKE: 1 1/2" U.N.O.

ROOF PLAN SCALE: 1/4" = 1'-0"

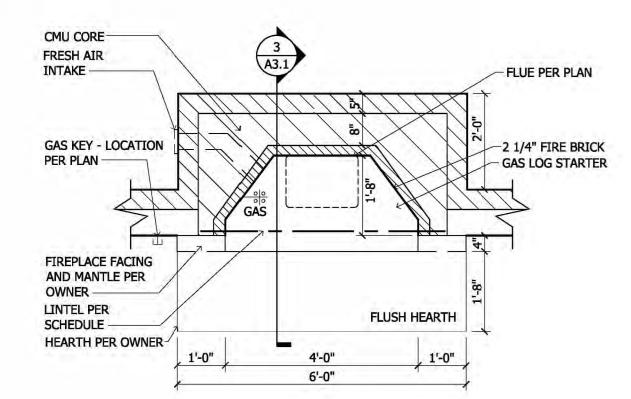
ROOF PLAN

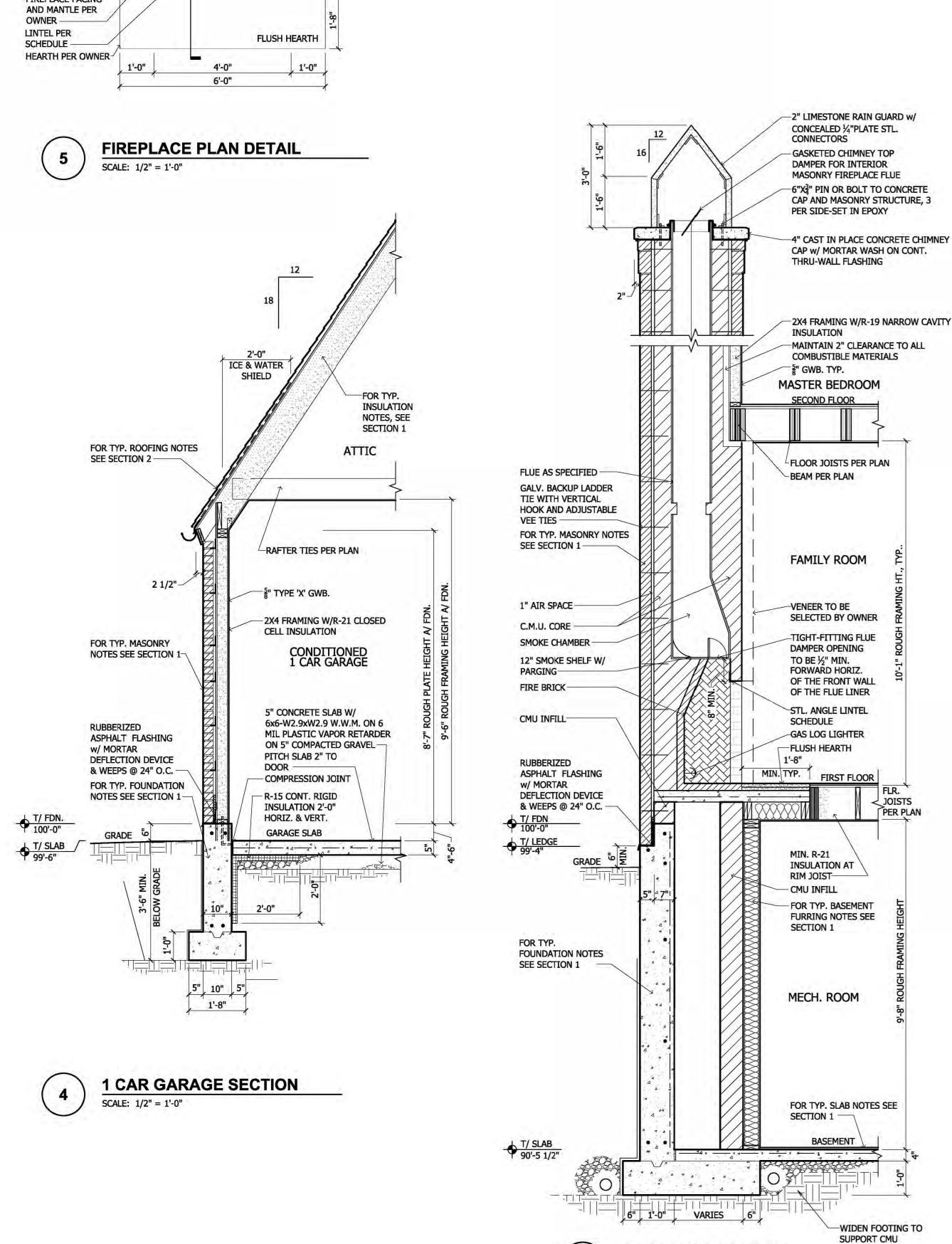
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FIREPLACE SECTION

INSULATION -2" SLOPED STUCCO SILL NOTES, SEE SECTION 1 STUCCO VENEER ON (2) LAYERS GRADE 'D' BUILDING PAPER 6" FLASHING, TYP. RAFTERS PER CEDAR SHINGLES ON (2) LAYERS 15# BUILDING FELT EPDM ROOF. INSTALL PER MRF. PER SPECIFICATION RECOMMENDATIONS ON 1/2" CDX PLYWOOD SHEATHING w/TAPERED -1/2" CDX PLYWOOD SLEEPERS -SHEATHING W/ 'H' CLIPS @ MIN R-21 CLOSED CELL INSULATION RAFTER-PER PLAN-AT UNDER SIDE OF ROOF DECK W/ ICE & WATER SHIELD TO EXTEND 2x10 LAT, BRACING R-28 OPEN CELL INSULATION FOR FROM EAVE EDGE TO DORMER BETWEEN EACH A1.3 TOTAL R-VALUE OF R-49, TYP. RAFTER SIMPSON H2.5 RAFTER ANCHOR FLASHING WITH DRIP EDGE **GUTTER & DOWNSPOUT PER SPECIFICATION** 1X CEDAR TRIM **FURR DOWN FOR** HEADER PER PLAN FLUSH CEILING @ - 1x6 CEDAR FASCIA ON 2x SUB-FASCIA SECOND FLOOR -- 1X4 T&G CEDAR SOFFIT -8" CUT STONE HEADER -FLASHING - STEEL ANGLE PER LINTEL SCHEDULE WINDOW AS SCHEDULED STAIR HALL -WINDOW AS SCHEDULED FLASHING 1X CEDAR TRIM-FOR TYP. MASONRY NOTES SEE SECTION 1 FLASHING-STEEL ANGLE PER LINTEL SCHEDULE -2X4 FRAMING CUT LIME STONE SILL-W/R-20 NARROW CAVITY INSULATION COUNTER FLASHING W/ FASTENER & FLASHING -SEALANT AT VERTICAL LEG & UNDER "Z" STAIR & LANDING BY STAIR 4" MASONRY VENEER w/ MANUFACTURER, SEE STRUCTURAL GALV WALL TIES (TYP) @ 24" ICE AND WATER HEAD WALL FLASHING W/ 'Z' PLAN FOR EXTENT OF LANDING VERT. O.C. & 24" HORIZ. SHIELD ENTIRE CLOSURE O.C. MAX SPACING - NOT TO ROOF -EXCEED 3.25 SQ. FT. OF -METAL STANDING SEAM ROOF ON (2) R-21 INSULATION AT RIM MASONRY WALL AREA LAYERS 15# BUILDING FELT JOIST, TYP. SIMPSON H2.5 RAFTER ANCHOR FLOOR SECOND FLOOR STEEL ANGLE PER LINTEL EXPIRES 11/30/2018 -2x6 STUDS @ 16" O.C. FOR TYP. ROOFING NOTES, SEE SCHEDULE w/ MIN. R-21 FLR. JOISTS PER PLAN INSULATION, TYP. FLASHING W/ DRIP EDGE ELASTOMERIC SEALANT-POLY VAPOR RETARDER ON BACKSIDE OF GWB AT WALLS BEAM PER PLAN -1/2" GWB, TYP. U.N.O (2) 2x10 U.N.O HEADER PER PLAN--1x4 CEDAR TRIM BD. - CEDAR BRICK MOULD CASING W/ MITERED CORNERS & EASED SILL STAIR HALL -FLASHING -WINDOW AS SCHEDULED WINDOW AS SCHEDULED-FINISH FLOORING: FOR TYP. WALL NOTES SEE 1" gap between HARDWOOD AREAS: 3/4" SECTION 1 T&G PLYWOOD GLUED & SCREWED, CARPET WINDOW & CUT STONE SURROUND - FILL W/ AREAS: 3/8" PLYWOOD ELASTOMERIC SEALANT-UNDERLAYMENT OVER CUT LIMESTONE 3/4" T&G PLYWOOD, TILE FOR TYP. FLOORING NOTES SURROUND -AREAS: 3/8" CEMENT BD. OVER 3/4" T&G SEE SECTION 1-FLASHING -STAIR BY STAIR MANUFACTURER --1/2" EXT, GRADE PLYWD. **BUILDING WRAP** PLYWOOD — SHEATHING LANDING 1/2" EXT. GRADE PLYWD. BUILDING WRAP SHEATHING --1X8 VERTICAL T&G CEDAR R-21 INSULATION AT 1" AIR SPACE-SIDING ON 1X2 TRT'D FURRING MORTAR DEFLECTION RIM JOIST, TYP. -@ 16" O.C. HORIZ. DEVICE-FIRST FLOOR FIRST FLR. RUBBERIZED ASPHALT CEDAR BRICK MOULD CASING W/ FLASHING w/ WEEPS MITERED CORNERS & EASED SILL @ 24" O.C.— -WD. SILL AT T/ FDN. FLR. JOISTS PER PLAN T/ FDN 100'-0" FLR. JOISTS PER PLAN-W.I. GUARDRAIL 2x6 TREATED PLATE W/ SILL SEAL. 1/2" T/ LEDGE SLOPED LIMESTONE COPING ON x 12" J ANCHOR BOLTS AT 4'-0" O.C. CONT. THRU-WALL FLASHING-MIN. 2 ANCHOR BOLTS PER PLATE & ONE WITHIN 1'-0" OF EACH CORNER GRADE 5/8" GWB SOFFIT —1 1/2" COVER, TYP. 1 1/2" COVER, -POURED CONCRETE FOOTING & FOUNDATION -2x4 FRAMING @ 16" O.C. W/ TREATED SILL PLATE w/ MIN. R-19 INSULATION. HOLD STUDS OFF WALL 2" #4 REBAR W/ IN 12" OF **MEDIA ROOM** FOR TYP. MASONRY NOTES T/FDN. & 1/3 WALL HT. -#6 @ 34" O.C. VERTICAL REINFORCING SEE SECTION 1-RUB-R-WALL /⁵, GWB, TYP. WATERPROOFING SYSTEM-SEAL PERIMETER OF SLAB STAIR HALL WALK OUT WELL AND ALL OPENINGS & #4 REBAR W/ DOOR AS SCHEDULED -IN 12" OF PENETRATIONS THRU SLAB ┌ (2) #5 REBAR TOP & BOTTOM FOR RADON REDUCTION PAVERS ON MIN. 1" SLOPED T/FDN. & 1/3 SETTING BED ON 4" CONCRETE WALL HT. SYSTEM -LINE OF SLAB W/ 6x6-W2.9xW2.9 CARPENTER 4" PERF. PERIMETER DRAIN W.W.M. ON 4" COMPACTED 4" CONCRETE SLAB W/ **BUILT STAIR** w/ FILTER SOCK IN 2" MIN. GRAVEL -6x6-W2.9xW2.9 W.W.M. ON 6 RINSED COARSE GRAVEL & MIL PLASTIC VAPOR RETARDER FOR TYP. SLAB NOTES SEE 4" SCREENED DRAIN. INSTALL COVERED w/ 6" MIN. RINSED ON 4" COMPACTED GRAVEL SECTION 1 — ADDITIONAL OVERFLOW DRAIN 2" COARSE GRAVEL-#6 REBAR @ 34" O.C. BASEMENT SLAB BASEMENT SLAB T/ SLAB 90'-5 1/2" POURED CONCRETE R-15 CONT. RIGID INSULATION FOOTING & FOUNDATION 2'-0" HORIZ. & VERT.-FOR TYP. FOUNDATION **NOTES SEE SECTION 1** 2'-0" **WALL SECTION** STAIR HALL SECTION SCALE: 1/2" = 1'-0"

2'-0"

* * *

WINDOW AS SCHEDULED

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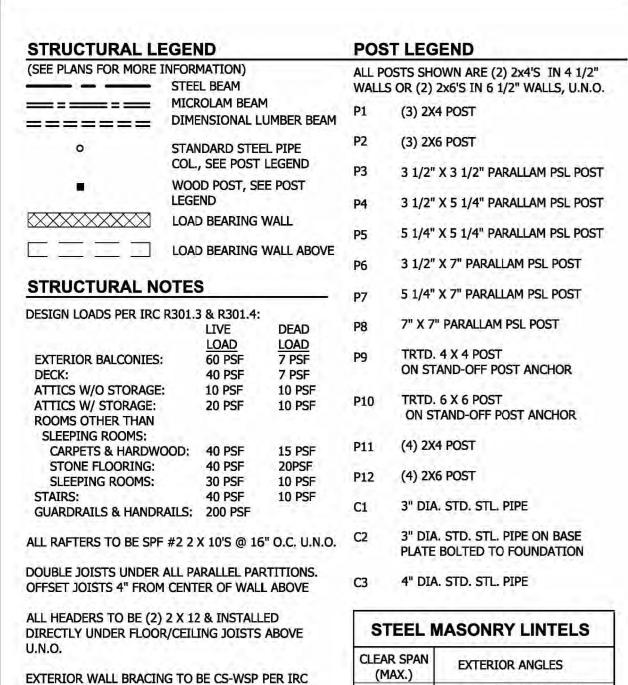
DATE: 08 21 2017 WALL

JOB NUMBER: 17 21

SECTIONS & DETAILS

perimeter of the building footings with the exterior pipe, terminating into 18" sump pit's located on plans. Provide each pit with a high-low sump pit system with battery backup with remote alarms. All pits to have 2" discharge run out to grade as local codes and ordinances amandate. All perimeter drains to be covered w/ georextile filter fabric under 12" min. gravel. PVC risers will be installed at all basement window wells per the Area Well section listed below. INTERIOR DRAIN PIPE: A perforated HDPE interior drain-pipe system will be installed at the interior of the building footings with the interior pipe termineting into separate sump pit's located on the plans. Provide each pit with an interior high-low sump pit system with battery backup with remote alarm. All pits to have 2" discharge run out to grade as local codes and ordinances mandate. All perimeter drains to be covered w// geo-textile filter fabric under continuous gravel drainage course. AREA WELLS: Area wells to be masonry lined poured concrete per plans. All well areas to be cleaned of debris and filled with no less than 6" of a gravel base before commencing backliling of the foundation and to be left in a condition that will gravel, one 3" higher. Drain to perimeter drain. All window wells shall have min. 36" high guardrails with 36" wide hinged egress gate per plans. Emergency escape and rescue openings that are releasable or removable from the inside without the use of a key, tool, or force greater than that which is required for normal operation of the escape and rescue opening ber like that urgs at least 2" wide, at least 3" from the wall and spaced no more than 18" on center vertically for the full halph of the window well. Bolt ladder to well wall. BASEMENT FLOOR: Basement concrets floor to consist of 4 or more inches of concrets reinforced w/m 5x8xW2 2xW2 2xW2 2xW2. Full the control joints at a maximum 30"-0" spacing. No voids allowed in the visqueen vapor retarder and 5 inches of concrete floor to have trowel finish LUN.D. GARAGE F	ceed with demolition of structure values, water, electric, sewer, etc. prior procedures, methods and safety procedures, methods and safety procedures, methods and safety procedures and construction to a smooth surtion between adjacent existing graph hazardous materials are tand Owner. Hazardous materials are tand Owner. Hazardous materials are tand owner. Hazardous materials are tand es required by code. Contest of the concrete used shall have a company with Concrete, slabs, steps, and concrete shall be air entraîned in the tamped. Two #5 steel reinformed continuous with 20" laps as it and with tar and waterproof all basibber waterproof compound. All vill joints will be ground smooth at all joints will be ground smooth at	Represents the following: "sonally investigated proposed substitute product and determine in all respects to that specified. actor will provide the same warranty for substitution that of the presented is complete and includes all related costs under the cit's redesign costs, and waives all claims for additional costs nich subsequently become apparent; stallation of the accepted substitute making such changes as a ork to be complete in all respects. Do lone of the contract documents or standard printed data. All sectors are to be brought to the attention of the Archite rectors. All materials and fixtures throughout shall be of first quantity of work shall be provided in accordant contractors and sub-contractors performing work shall be questing, or assembling work similar in material, design, and extreat from occupancy or final payment of contract, whichever a elop during said period of guarantee due to improper workmany the GC / CM without expense to the Owner. Additional maneral within subsequent sections. NIDITIONS: NIDITIONS:	Q.O. CONTRACTING REQUIREMENTS: PERMIT & FEES: All parmit and utility comrection fees to be paid by Owner at actual cost. GC (General Contractor) to be responsible for all other inspection-related bonding and iterating fees. NOTICE TO PROCEED: Prior to the execution of the work, the GC (General Contractor) CM (Construction Manage) will request the most recent set of drawings issued For Construction from the Architect for distribution to the sub-contractors. GC / CM to ensure that the submitted proposal is based on the most recent set of cocuments at time of execution of contract. INSURANCE REQUIREMENTS: Each contractor shall carry ample public liability insurance and insurance during the progress of the work to protect him/her self and the Cowner from loss through damage by fife, tornade, etc. or loss by theft, vandalism, etc. That insurance will be paid for by Owner, secured by GC / CM with Certificates to all parties. CLARIFICATIONS: Do not scale drawings. Use figured dimensions only. Contact Architect immediately with any conflicting dimensions. CLARIFICATIONS: Do not scale drawings. Use figured dimensions only. Contact Architect immediately with any conflicting dimensions. CLARIFICATIONS: Do not scale drawings. Use figured dimensions only. Contact Architect immediately with any conflicting dimensions. CLARIFICATIONS: Do not scale drawings. Use figured dimensions only. Contact Architect immediately with any conflicting dimensions. CLARIFICATIONS: Do not scale drawings. Use figured dimensions only. Contact Architect immediately with a parties. CLARIFICATIONS: All work shall be executed in strict accordance with the building ordinance requirements and to the satisfaction of the Building Commissioner of the local Municipality. All trades shall be responsible for the delivery and unloading of their materials at the job site and the protection of the building trades. The GC / CM shall also include all fencing, clean up and dumpsters. All trades shall be responsible for their workmen and equipment meeti
Plastic laminate counters: Provide premium grade finishes with integral backsplashes unless otherwise noted. Install per AWI standards. All chipped or delaminated surfaces to be replaced at Contractor's Expense Sold surface counters: Provide sold surface counters fabricated in one place with integral backsplash, unless otherwise noted. For stone counters, see section 9.0 FINISHES. STARS: Steps, newel posts, and railings at porches and stoops to be per plans. All samples to be submitted to the Owner for approval prior to fabrication and construction. For Metal Components refer to section 5.0 metals. Stainvays are based upon minimum 10" fread plus nosing with maximum riser height of 73/4". Guardrails shall be 34" high from nosings. All required handralis shall be continuous the full length of the stairs with four or more feers from a point directly above the top fiser of a flight to a point directly above the top fiser of a flight to a point directly above the top fiser of a flight to a point directly above the floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height per IRC R312.1. 7.0 THERMAL & MOISTURE PROTECTION: INSULATION: EXTERIOR WALLS: The exterior 2x6 walls will be insulated with R-21 blown-in cellulose. Insulate the interior side of foundation with manufacturers written recommendations -or-R-19 blown-in cellulose insulation with thermal barrier in compliance with manufacturers written recommendations -or-R-19 blown-in cellulose insulation. R-20 horizontal continuous R-15 polyscoyanurate insulation at heated garage with 2-0" vertical x 2-0" horizontal continuous R-15 polyscoyanurate insulation. FLOORS: All camilevered or exposed floor areas to be insulated with R-30 blown-in cellulose insulation.	This Contractor will provide all labor and materials required to compeler the carpentry work as shown on the building plants. All triffenning lumber will be plan replant. All suber framing lumber will be kind rided SPF #2 or better. Exterior house wells will be 2 x 6 studs, 15° on center, or as per plans. Well aftering lumber will be kind rided SPF #2 or better. Exterior house wells will be 2 x 6 studs, 15° on center, held off foundation well 2" for installation, or as per plans. All subicions will be 34° T&C playwood glued and screwed to joists. All non-habitable atto storage areas incloaded with decking to be 34° T&C playwood, glued and screwed to joists. All non-habitable atto storage areas incloaded with decking to be 34° T&C playwood, glued and screwed to joists. All non-habitable atto share from playwood Association's seconmended method of installing wood shear paneling half parallel	This Contractor will provide all steel beams, columns, plates, shirts, etc. as called for on the building plants. The GC / CM will labor to recert the main beams. The GC / CM will review the structural drawings and report any discrepancy to the Architect prior to construction. All structural steel shall be factory primed. All exterior steel to be galaxinized, Cut, drill & punch metals cleanly & accurately, remove burns & ease edges. Weld comers & seams continuously. Set metal fabrications accurately in location, with edges and surfaces level, plumb and true. Touch up surfaces after erection. Structrual stated by plates, and other embedments, Proceed with installation only after unsatisfactory conditions have been corrected, relied-verify all steel beam dimensions prior to fabrication. Set steel accurately in locations and to elevations indicated on plans. Steel framing members shall be assated or joined together using AISC standard connections which have been designed, detailed and submitted for prior approval by the fabricator. Where reactions are not shown on the drawings, connections shall be installed in accordance with the proxisions of the IRC P2803. Steel to be installed per AISC standard beam bolted connections. Base plates to be welded connections. Connections for structural and piping protection shall be installed in accordance with the proxisions of the IRC P2803. Steel to be installed per AISC, trandard beam bolted connections. Base plates to be welded connections. Connections for structural Joints." All botts, ruts and weathers shall be of domestic origin. All structural steel and recordance with the proxisions of the IRC P2803. Steel to be profit to the AISC standard beam bolted connections. Base plates to be welded confectated, (but not less than that required for supporting structural loads per local Municipal codes and orcinances). Form curves by bending in ligs to produce uniform curvatures, maintain cross section or members with connections of the IRC p2804 seeds of the total alloweble shall	4.0 MASONRY: 1. This Contractor will furnish all labor and material to complete the masonry work as shown on the building plans. Mason to build a 4" x 4" sample panel for each type of exposed unit masonry. 1. MISC, STEEL; All lindle, angles, channels, etc. necessary to the installation of the nasonry will be furnished and installed by this Contractor. Paint exposed portions of seel linels to match surrounding masonry. Steel linels per linel schedule. Provide flashing and weeps 24" O.C. at all steel lintels. All extenior steel to be galvanized. 1. EXTERIOR MASONRY: Extenior face brick or stone will be installed per plans & details. All veneer will be first at least the building farming with galvanized metal masonry bes installed per building code. Proper margins will be held at all windows to allow for shrinkage. All windows will be completion of the job. All excess wasts material to be haused off site. 1. EXTERIOR MASONRY: Extenior face brick or stone will be installed per plans & details. All veneer will be installed per building code. Proper margins will be held at all windows to allow for shrinkage. All windows will be covered with plastic during installation of masonry. The masonry will be cleaned all debris removed at the completion of the job. All excess wasts material to be haused off site. 1. EXTENDED AND ALL SALE OF INTERIOR MASONRY: Will be as per plan details. All fireplaces will have a cast fron gaskered damper and clean out and be equipped with a pas log lighter and fresh all intake. All hearths to be per plant. Contractor to profitzed materials be per plant as as log lighter and fresh all intake. All hearths to be per plant. Confirator interiors per marriels and local Municipality clearance ordinances: 1. SILLS & CAPS: All door and window sills at masonry conditions will be 2" out limestone with integral out desinage slope and the per plant to confirator interiors. Profitzed asphalt base flashing with weaps will be provided under all sills & window heads. 1. All the provided marries are pro
compatible with sealants, Measure joint dending and release tables are compatible with sealants. Measure joint backing to achieve a neck dimension and size material to achieve required width / depth ratios, install joint backing to achieve a neck dimension no less than 1/3 the joint width. Provide Bond Backer where joint backing is not used. Apply sealants within recommended application temperature ranges, install sealants which are free of air pockets, foreign embedded mater, ridges, and sags. Tool joints concave unless noted otherwise. Clean work and adjacent solled surfaces. Repair or replace defaced or disfigured finishes caused by this work. Protect sealants until cured. 8.0 OPENINGS: 8.0 OPENINGS: 8.0 OPENINGS: After installation, all units are to be reviewed and chacked for sharp egges and spiritered top or bottom conditions and, if found, sanded and rounded off cleanly. Door supplier to comply with Avril architectural woodwork quality standards. Grade for transparent finish to be: Premium. All extentor doors are to be supplied and installed with high-quality weather-stripping. GARAGE DOORS: The garage doors will be per extentor elevations, fabricated from Cedar and provided & installed by GC / CM. Key pad operators to be provided at each door. Each door to be equipped with "Chamberfain" Lift Master door operator with two remote control units provided for each door.	PORTLAND CEMENT STUCCO: The GC will provide portland cement plasterwork (stucco) on metal lath install a mockup of at least 50 sq. ft. in surface area standards for materials and execution. Approved moundisturbed at time of Substantial Completion. Expanded metal lath to comply with ASTM C 847 will galvanized zinc coating with installation to comply with receive and miscelland ASTM C 926 for applications indicated. Portland oer contain scratch and brown coat plasterwork. Apply eigreater than 40 deg F. Stucco contractor to inspect substrate prior to work is proper substrates and gapping of plywood substrate proper substrates and gapping of plywood substrate proper or appropriate (2) layers Grade 'D' building paper or appropriate (2) layers Grade 'D' building paper or appropriate color of the base coat is to be white with a finist protect adjacent work from soiling, spattering, moist caused by plastering. Where required, seel joints be construction with acoustical sealant. Cut, patch, replace, and repair plaster as necessary gracking), dry outs, efficiescence, sweat outs, and a stalled. JOINT SEALANTS: This Contractor is to provide an establish and maintain watertight and airtight continuity fractive sealants as per manufacturer's recommendative sealants.	materials to be installed according to copper sheet metal roofing manufacturer's recommendations and accessory materials to be installed according to copper sheet metal roofing manufacturer's recommendations and recommendations from the Metal Construction Association. Copper sheet roofing to have the following characteristics: Seam type: Standing-seam Exposed finish type: Mill Weight (hickness): 20 oz./sq.tt. (0.70 mm] unless otherwise indicated. Underlayment: Building Feit: asphalt-saturated organic feit: Type II (no. 30). Underlayment: Building Feit asphalt-saturated organic feit: Type III (no. 30). Snow guards, fabricated from copper, to be designed to be installed without penetrating tiles by soldering to copper sheet. Install the required number of rows of anow guards as recommended by the MRCA and the Western States Roofing Contractors Association, in a minimum of two rows, staggered one per panel. EPPOM MEMBRANE ROOFING: Provide fully-adhered roofing membrane and base flashings that remain waterdight. All roofing materials to be compatible with one another and part of a complete system as recommended by manufacturer of roofing membrane. Provide preformed not insulation boards that comply with requirements and referenced standards, selected from manufacturer's standard sizes and of slope and/or thickness indicated on plans. Examine substrates, areas, and conditions for compliance with manufacturer's requirements. Install all components as per manufacturers written instructions. Protect membrane-roofing system from damage and wear during remainder of construction period. EPDM roofing membrane to be ASTM D 4837, Type II, scrim or fathric internally-reinforced uniform, flexible sheet made from EPDM. Thickness to be 60 mills. Exposed face color to be white. VALLEYS, FLASHINGS AND OTHER SHEET METAL WORK: All Valleys to be open in Copper. All other sheet metal Hashing materials to be provided in Copper - ASTM B 370 GUITTERS AND DOWN SPOUTS: This Contractor will provide open site freeze proof comecti	sulation for total R-Value of R-49. Pall be insulated to a minimum of R-8. Return 8. All mechanical piping capable of carrying piping shall be insulated with a minimum of R-8. Return 19. All piping to hot watter re-circulating system ound doors and windows and between floors, are ation. Powder rooms, Laundry Rooms, and any sulated with 3 1/2" fiberglass sound attenuation in all first floor celling assemblies under second oply or waste lines to be filled with sound bett this specification and will take maximum care to a continuous and thorough insulation job. Backer ssary by insulation contractor to stop air and conditions with installer present for leashing and that provision has been made for flashing and that provision has been made for flashing ted felt underlayment, compliant with ASTM mineralations. The Roofing Contractor will be ions as per the roofing manufacturer's written valls and 3"-0" to each side of all valleys, and at r provided by the GC / CM. Troovided by the GC / CM. Troovided by the GC / CM.
to be flush and level with e closets to have the same and after finishing during ultable covering. Do not use provide and install water to be selected by Ownments for appliances with Covering to be selected by Ownments for	and extenior applications. Remove hardware and hardware accessories, plates, machined surfaces, light fixtures, and similar items already installed that are not to be painted. If removal is impractical or impossible because of size or weight of the item, provide surface-applied protection before surface preparation and painting. Protect work of other trades, whether being painted or not, against damage from painting. Correct damage by cleaning, repairing or replacing, and repainting as approved by Architect. EXTERIOR PAINTING: Apply one (1) coat of exterior final field finish coat of solid color stain or paint primer before trim is installed on all six (8) sides and one (1) exterior final field finish coat of solid color stain or paint primer before trim is installed on all six (8) sides and one (1) exterior final field finish coat of solid color stain or latex house paint. Or paint primer and one (1) exterior solid solors, fabricated in wood, will receive one (3) coat of exterior solid color stain or paint primer and one (1) exterior solid solors, fabricated in wood, will receive one (1) coat of finish paint. Garage overhead doors, fabricated in wood, will receive one (1) coat of finish paint. Exposed structural steel within garages will receive one (1) coat of finish paint. All exterior wood decking materials to be sealed, stained, or painted on all six (6) sides. Verify finish and installation requirements with Architect. Exposed steel lines to be painted to match adjacent masonry. INTERIOR PAINTING: Interior woodwork will receive one (1) coat of paint primer and two (2) coats of early finish paint to coat of pre-stain conditioners are necessary to provide a uniform color at all stained areas. GC will putty all nail holes and hand-sand between coats. All interior wells and ceiling finish paint will cover thoroughly. General Contractor to verify any additional costs for multiple color selections in the bid package. If no additional pricing is noted it is assumed owner may select any number of color s	: This Contract coard will be \$18 al Municipal co board. Iboard. Iboard. Iboard. Illed with screv ard to be used erts in this field erts in this field erts in this field erts in this field erts and ½" cer cellings will be simdicated. Indicated. Indicated. Indicated. Indicated stail b-floor and stail b-floor and instal transitions to a material to be n material to be n material to sec accurately in lo se, and faces a vide and install to will furnish	All windows and french door units to be aluminum clad windows by "Manyin Windows and Doors" as scheduled in a standard manufacturer color complete with simulated chidse lites & spacer bars. Windows to be double-pane insulating glass filled with argon gas and include LoE2-272 costing on the xiz sunface, unless noted otherwise. Maximum in seekage 0.3 CFM per square foot for windows and sliding doors; 0.5 CFM per square foot for swinging doors. Verify all window sizes and rough openings with window manufacturer. All operational casement an awring style windows are to be push-out operation. All badrooms to have egress windows per route claiming at fazardous locations are copied to be tempered. Provide concealed hinged or retractable screens at 50% of operational casement and awring windows, location to be selected by offerens at 50% of operations aleasement and awring windows, location to be selected by Owner. All french door units to have retractable jamb screens, All screens, window hardware, etc. furnished by window company will be installed at the completion of the job. Contractor to verify all window and hardware finishes prior to placement of order. NSTALLATION OF WINDOWS & FRENCH DOORS: A qualified installer, approved by the manufacturer, is to install windows and French doors. Install windows level, plumb, square, true time, without clastorion or impeding thermal movement, archarged securely in place to structural support, and in proper relation to well flashing and other adjacent construction. Set sill members in bed of sealant or with gaskers, as indicated, for weathertight construction. Separate aluminum and other corrocible surfaces from sources of corrosion or galvanic action at points and weather stripping for smooth operations, and accessories for a tight fit at contact with owners and working parts. Adjust operating sashes and ventilators, screens, hardware, and accessories for a tight fit at contact window surfaces resulting from construction operations, in addition, monitor window surfaces ad
231.0 EARTHWORK: Call J.U.L.I.E. for all utility locations before digging. Site clearing operations shall not commence until temporary eroslory sediment control and tree protection at drip edge of trees which are to remain are in place. Repair any damaged grass areas created by construction traffic. Damaged grass areas to be replaced with soft Existing planting areas damaged to be replaced with like materials. Keep site clean and maintained throughout scope of project. This Contractor will strip black dirt from the building site and stockpile it in an approved location or where specified on the site plan to be used for finish grading. All unused material to be hauled off site at contractors expense. The Contractor will excavate to the elevations shown on the plan. If firm bearing soil of 1,500 lb./ s.f. is not reached at these elevations the Contractor will cease work and notify the Owner of Architect and an assessment of the contitions will be made as to means by which foundations may be properly supported. Additional costs involved, if any, to overcome substandard soil conditions shall be the sole responsibility of the Owner. Any corrective measures initiated will be done to meet municipality-approved soil standards. Additional costs to be documented by this Contractor by providing quantity and unit costs for materials removed and added for reparations. All additional costs to be approved by the Owner prior to completion of work. After foundations are in place, the footing drain tile installed, the walls water-proofed and building department inspections made and approved, the Contractor will back fill to within 5° below sub-grade, compact till to 85% density under all concrete slabs as indicated within Exercior improvements section 32.0, below. The Contractor is to prevent surface water and ground water from entering exavations. All fill material to the building at the approximate location of final drive. Coordinate this section 32.0, at the time of finish grading the Contractor will also, at this time, i		oversity event, clearly rectined the coordinate all supply register installations. All ducits, all has boxes shall be sealed. Joints and seams shall comply with Section M1601.4.1 o Residential Code and IECC Section R403.2.2. Before HVAC rough-in starts, the and the HVAC Contractor will make one trip through the house for the purpose of positioning of certain supply and return vents. The heating system units will consist of 90% eff. Carrier or equal, gas furnaces will be equipped with a humidifier with remote controls. Filtration System will be provided for each furnace unit. Additionally, Electrostatic be installed for each furnace unit. Each zone will have its own Honeywell 7-day; thermostet with battery back-up. Mechanical Engineer to provide locations. Vertru the roof. Northy architect with any conflicts. LAUNDRY ROOM COMBUSTION AIR: For combustion make up air install (2) openings within 12" of floor and ceiling in compliance with G2439 & NFPA 5.4.1. locations. LAUNDRY ROODS: Each range hood shall be sized per manufacturer's recommer capable of exhausting in excess of 400 cubic feet per minute (CFM) and furnishe make-up air damper integrated with the operation of the hood. The make-up air automatically controlled to start and operate simultaneously with the exhaust system Sections R403.5 through R403.5.1. Fan system to be interlocked with the ECC Sections R403.5 through R403.5.1. Fan system to be interlocked with the power attic exhaust fans. Nechanically vent fan through roof in compliance with written recommendations. OPTIONAL RADIANT HEAT SYSTEM: Radiant heat system for the floors to be and designed by an illinois licensed Mechanical Engineer. Radiant heat system locations shown on the plans. Each radiant heat zone to be connected to separate pumps. Radiant heat system is to include the addition of propylene glycol for free areas that have a potential for freezing.	PLUMBING: This completion of the codes. Water set distribution lines at that water circular recirculation systemain into the built clean out midway sump discharge. requirements. RADON REDUCTIONS ACT. Construction Act. Construction Act. ordinances. Wall provide and installed within 10 Construction Act. ordinances. Wall construction act. ordinances. Wall provide and install applicable temperature of 68 at design tempera
			STONE PAYERS ON CONCRETE (WET-SET): Walks, po thick grout set bluestone pavers on 4" thick concrete reinfor over a 4" compacted stone base course consisting of CA-6 proof-rolled and compacted to 95% density before the place concrete. Construct transverse joints and tool edges to line concrete. Construct transverse joints at right angles to centisolation joints or performed join-filler strips abutting concrete objects, and where indicated. Form isolation joints or performed curbs, structures, walks and other fixed objects, and where a depth equal to at least 14 of the concrete thickness. Tool after initial floating. Repeat tooling of edges after applying a concrete. Protect freshly placed concrete from premature drying and Begin curling after finishing concrete but not before free was surface. Protect concrete from traffic for at least 14 days after placer protect concrete from traffic for at least 14 days after placer.

SPECIFICATION



3 1/2" X 3 1/2" X 5/16"

4" X 3 1/2" X 5/16"

5" X 3 1/2" X 5/16"

MEMBRANE BEYOND FOUNDATION EDGE &

BEND DOWN

4'-0"

6'-0"

602.10.4 AND 602.3 U.N.O.

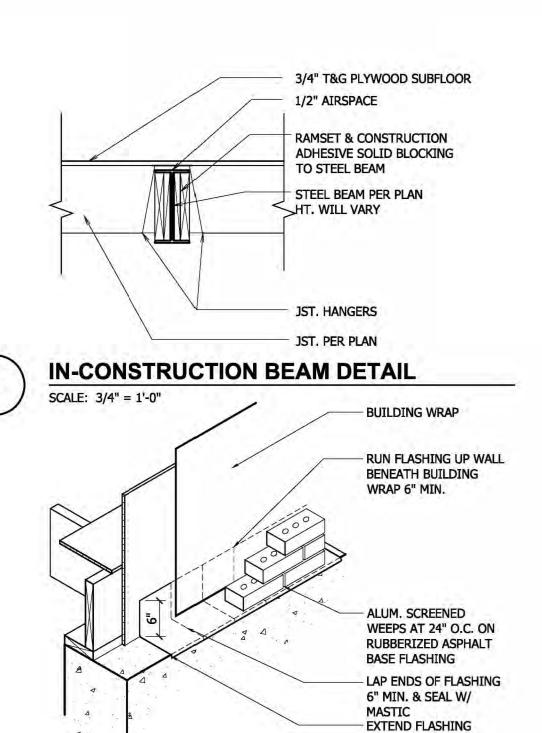
AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

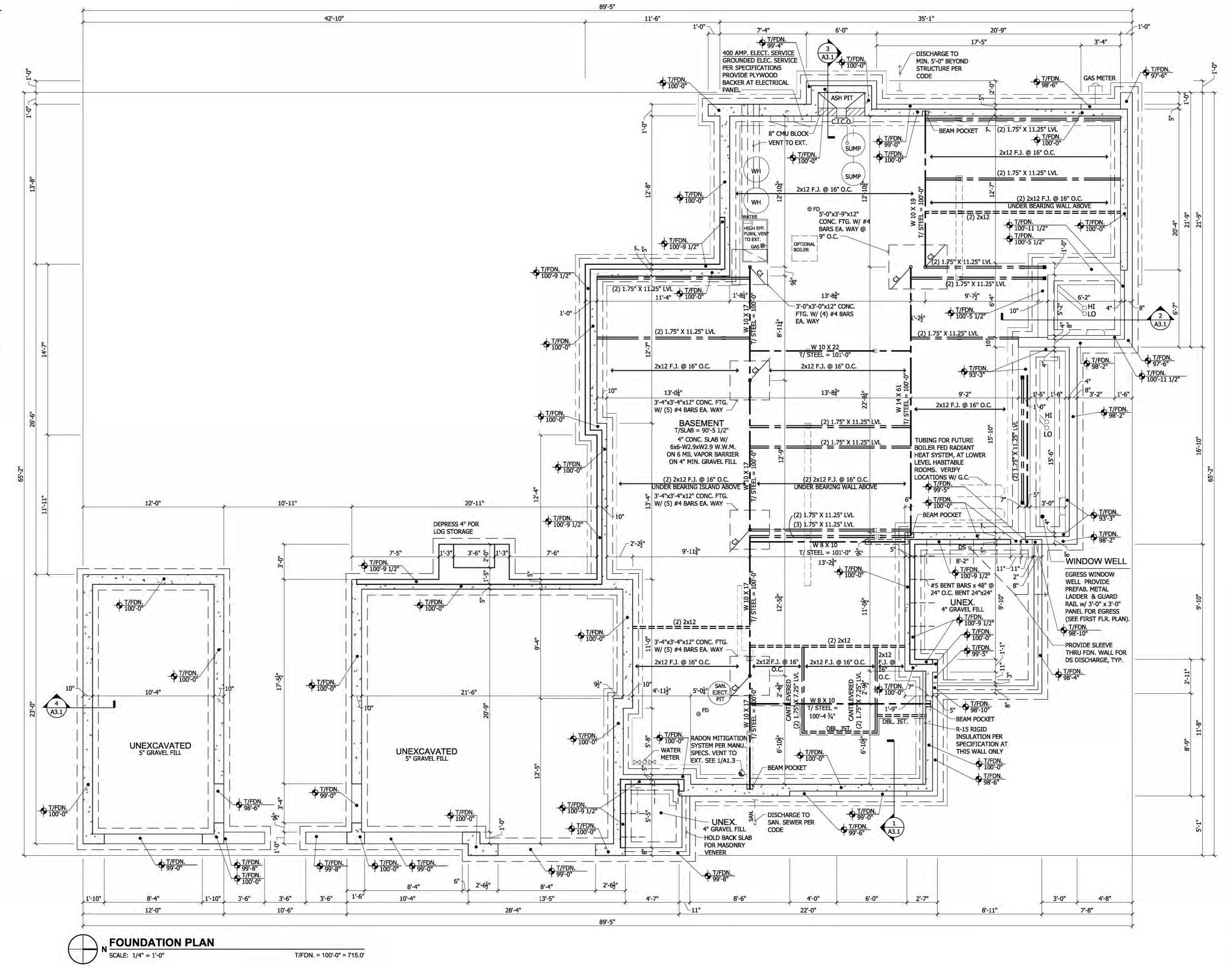
BRACED WALL PER IRC 602.10,1 TO BE 1/2"

OR S @ 7" O.C. PER SCHEDULE R602.3(1)

G.W.B. FASTENED W/ 11/4" SCREWS, TYPE W







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EXPIRES 11/30/2018 IL DESIGN FIRM NO. 1 8 4 . 0 0 7 4 9 7

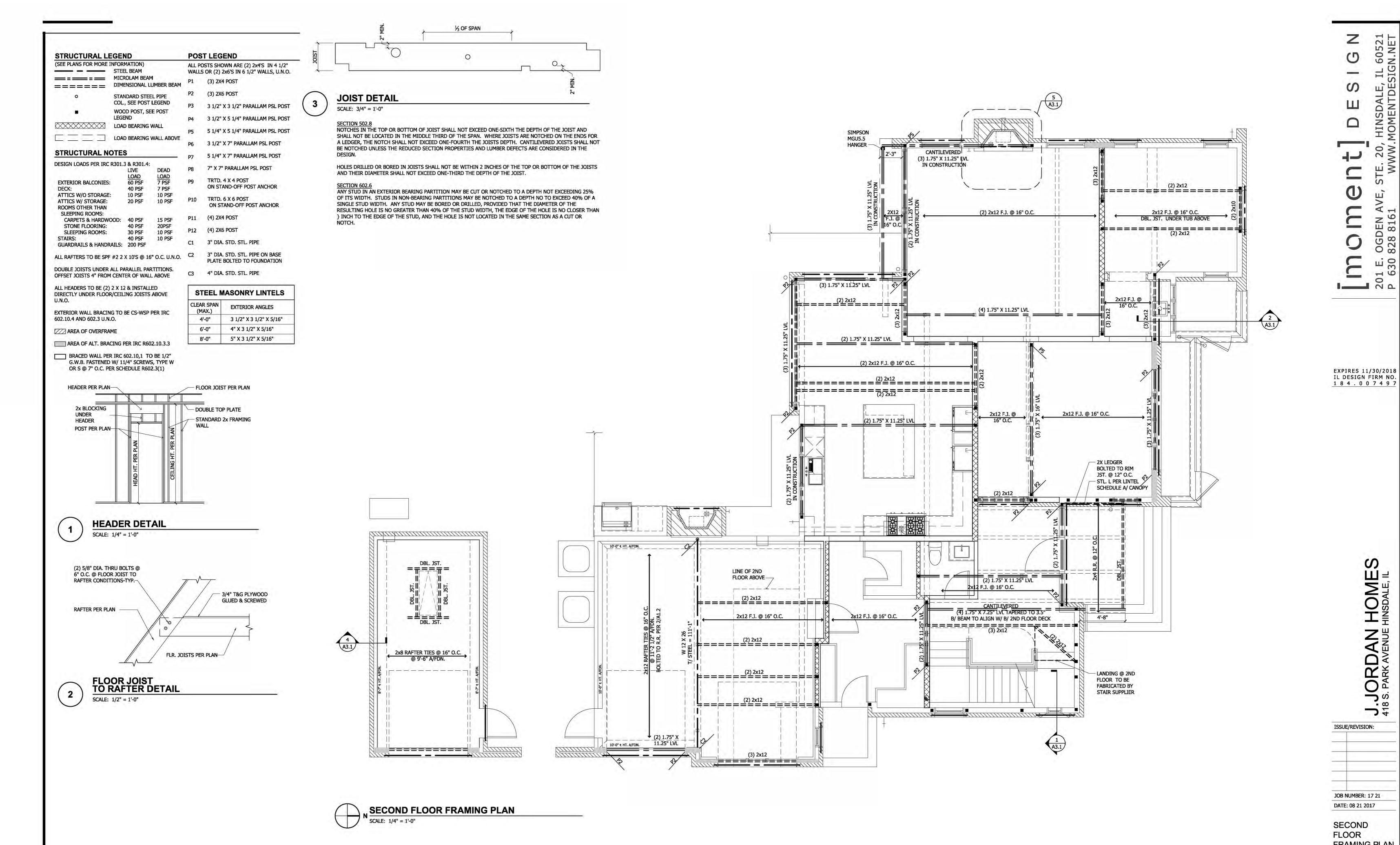
J.JORDAN HOMES
418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21 DATE: 08 21 2017

FOUNDATION & 1ST FLOOR FRAMING PLAN & DETAILS

S1.1



J.JORDAN HOMES
418 S. PARK AVENUE HINSDALE, IL

0

ISSUE/REVISION:

JOB NUMBER: 17 21 DATE: 08 21 2017

SECOND **FLOOR** FRAMING PLAN & DETAILS

STRUCTURAL LEGEN	ID		POST LEGEND			
(SEE PLANS FOR MORE INFORM		ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2				
	STEEL BEAM			WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.		
	OLAM BEAM INSIONAL L	1 UMBER BEAM	P1	(3) 2X4 POST		
	DARD STEE	Charles and Charle	P2	(3) 2X6 POST		
	COL., SEE POST LEGEND WOOD POST, SEE POST LEGEND		P3	3 1/2" X 3 1/2" PARALLAM PSL POST		
			P4	3 1/2" X 5 1/4" PARALLAM PSL POST		
LOAD	BEARING \	WALL	P5	5 1/4" X 5 1/4" PARALLAM PSL POST		
	BEARING V	WALL ABOVE	P6	3 1/2" X 7" PARALLAM PSL POST		
STRUCTURAL NOTES	STRUCTURAL NOTES					
# 10 to 10 to 10 A \$ A \$ A \$ 0 to 10 B \$ 1 \$ 0 to 10	00/-2770		P7	5 1/4" X 7" PARALLAM PSL POST		
DESIGN LOADS PER IRC R301,3	8 & R301.4: LIVE	DEAD	P8	7" X 7" PARALLAM PSL POST		
	LOAD	LOAD				
CALCULATE WORK OF BUILDING CONTRACTOR	- Table		00	TDTD AVADOCT		
EXTERIOR BALCONIES:	60 PSF	7 PSF	P9	TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR		
DECK:	40 PSF	7 PSF	P9	ON STAND-OFF POST ANCHOR		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE:			P9	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN	40 PSF 10 PSF	7 PSF 10 PSF		ON STAND-OFF POST ANCHOR		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN SLEEPING ROOMS:	40 PSF 10 PSF 20 PSF	7 PSF 10 PSF 10 PSF		ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN	40 PSF 10 PSF	7 PSF 10 PSF	P10	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR (4) 2X4 POST		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN SLEEPING ROOMS: CARPETS & HARDWOOD:	40 PSF 10 PSF 20 PSF 40 PSF	7 PSF 10 PSF 10 PSF 15 PSF	P10	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN SLEEPING ROOMS: CARPETS & HARDWOOD: STONE FLOORING: SLEEPING ROOMS: STAIRS:	40 PSF 10 PSF 20 PSF 40 PSF 40 PSF 30 PSF 40 PSF	7 PSF 10 PSF 10 PSF 10 PSF	P10 P11 P12	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR (4) 2X4 POST (4) 2X6 POST		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN SLEEPING ROOMS: CARPETS & HARDWOOD: STONE FLOORING: SLEEPING ROOMS:	40 PSF 10 PSF 20 PSF 40 PSF 40 PSF 30 PSF	7 PSF 10 PSF 10 PSF 15 PSF 20PSF 10 PSF	P10	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR (4) 2X4 POST		
DECK: ATTICS W/O STORAGE: ATTICS W/ STORAGE: ROOMS OTHER THAN SLEEPING ROOMS: CARPETS & HARDWOOD: STONE FLOORING: SLEEPING ROOMS: STAIRS:	40 PSF 10 PSF 20 PSF 40 PSF 40 PSF 40 PSF 40 PSF 200 PSF	7 PSF 10 PSF 10 PSF 15 PSF 20PSF 10 PSF 10 PSF	P10 P11 P12	ON STAND-OFF POST ANCHOR TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR (4) 2X4 POST (4) 2X6 POST		

STEEL MASONRY LINTELS

3 1/2" X 3 1/2" X 5/16" 4" X 3 1/2" X 5/16"

CLEAR SPAN EXTERIOR ANGLES

8'-0" 5" X 3 1/2" X 5/16"

4'-0"

OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE

EXTERIOR WALL BRACING TO BE CS-WSP PER IRC 602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

BRACED WALL PER IRC 602.10,1 TO BE 1/2"
G.W.B. FASTENED W/ 11/4" SCREWS, TYPE W
OR S @ 7" O.C. PER SCHEDULE R602.3(1)

$\overline{A3.1}$
8'-0" PL HT.
2x10 RAFTER TIES @ 16" O.C. @ 12'-8" A.F.F. 2x10 RAFTER TIES @ 16" O.C. @ 16" O.C. @ 12'-8" A.F.F.
2x6 SLOPED C.J. @ FF F
(2) 2x12 IN CONSTRUCTION (2) 1.75" X 11.25" LVL
■ Property of the Property of
(2) 1.75" X 11.25" LV 2x12 F.J. @ 16" O.C. LINE OF 3RD FLOOR ABOVE
FURR DOWN CLG. TO HT. INDCATED ON PLAN AT SHADED AREAS
TYP.
(S) 2x12 IN CONSTRUCTION
6'-0" PL. HT.
2x8 RAFTER TIES (2) 2x12 IN (2) 2x12 IN (3) 2x12 IN (4) 1.75" x 11.25" IN (5) 1.75" x 11.25" IN (6) 1.75" x 11.25" IN (7) 1.75" x 11.25" IN (8) 6-11" F
7-8" PL HT.
(2) 1.75" X 7.25" LVL IN CONSTRUCTION LE L

(2) 2x10

STL L PER LINTEL SCHEDULE, TYP.



201 P 6.

EXPIRES 11/30/2018 IL DESIGN FIRM NO. 1 8 4 . 0 0 7 4 9 7

J.JORDAN HOMES 418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21 DATE: 08 21 2017

THIRD FLOOR FRAMING PLAN

DATE: 08 21 2017

THIRD FLOOR CEILING FRAMING PLAN

S1.4

STRUCTURAL LEGEND POST LEGEND (SEE PLANS FOR MORE INFORMATION) ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" - STEEL BEAM WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O. ___ = ___ _ MICROLAM BEAM P1 (3) 2X4 POST ===== DIMENSIONAL LUMBER BEAM P2 (3) 2X6 POST STANDARD STEEL PIPE COL., SEE POST LEGEND P3 3 1/2" X 3 1/2" PARALLAM PSL POST WOOD POST, SEE POST LEGEND P4 3 1/2" X 5 1/4" PARALLAM PSL POST LOAD BEARING WALL P5 5 1/4" X 5 1/4" PARALLAM PSL POST LOAD BEARING WALL ABOVE P6 3 1/2" X 7" PARALLAM PSL POST STRUCTURAL NOTES 5 1/4" X 7" PARALLAM PSL POST DESIGN LOADS PER IRC R301.3 & R301.4: 7" X 7" PARALLAM PSL POST LIVE LOAD 60 PSF LOAD 7 PSF TRTD. 4 X 4 POST EXTERIOR BALCONIES: ON STAND-OFF POST ANCHOR 7 PSF 40 PSF ATTICS W/O STORAGE: 10 PSF 10 PSF P10 TRTD. 6 X 6 POST ATTICS W/ STORAGE: 20 PSF 10 PSF ON STAND-OFF POST ANCHOR ROOMS OTHER THAN SLEEPING ROOMS: P11 (4) 2X4 POST CARPETS & HARDWOOD: 40 PSF 15 PSF STONE FLOORING: 40 PSF SLEEPING ROOMS: 30 PSF 10 PSF 40 PSF 10 PSF C1 3" DIA. STD. STL. PIPE GUARDRAILS & HANDRAILS: 200 PSF ALL RAFTERS TO BE SPF #2 2 X 10'S @ 16" O.C. U.N.O. C2 3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. C3 4" DIA. STD. STL. PIPE OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE ALL HEADERS TO BE (2) 2 X 12 & INSTALLED STEEL MASONRY LINTELS DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE EXTERIOR WALL BRACING TO BE CS-WSP PER IRC

602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

G.W.B. FASTENED W/ 11/4" SCREWS, TYPE W
OR S @ 7" O.C. PER SCHEDULE R602.3(1)

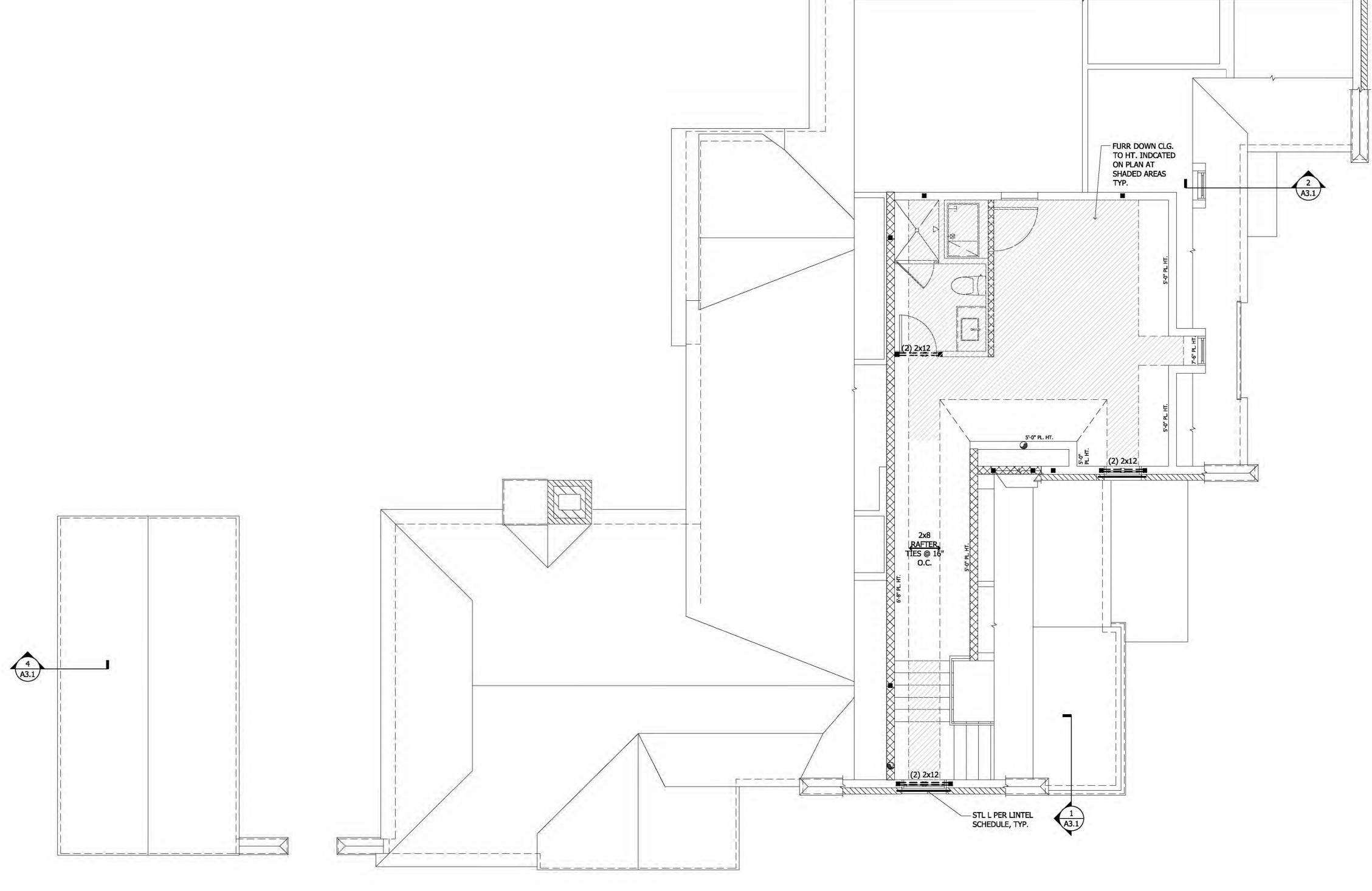
 STEEL MASONRY LINTELS

 CLEAR SPAN (MAX.)
 EXTERIOR ANGLES

 4'-0"
 3 1/2" X 3 1/2" X 5/16"

 6'-0"
 4" X 3 1/2" X 5/16"

 8'-0"
 5" X 3 1/2" X 5/16"





-2x8 R.R. @ 16"

-2x8 R.R. @ 16"

2x10 R.R. @ 16" O.C.

2x10 R.R. @ 16" O.C.

=====

2x8 R.R. @ 16" O.C.

2x10 R.R. @ 16" O.C.

6'-0" PL. HT.

1.75" X 11.25" LVL

2x12 RIDGE BD

2x10 R.R. @ 16" O.C.

U210-2 HANGER

SIMPSON U210-2 HANGER

2x10 R.R. @ 16 0.C.

科科科科科科·**第** = 1

O.C.

7'-0" PL. HT.

2x12 RIDGE BD

7'-0" PL. HT.

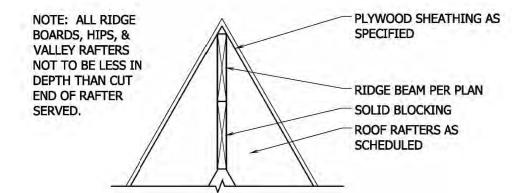
STL L AT PARAPET SEE

DETAIL 4/A1.3,

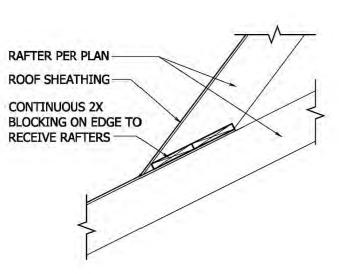
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ROOF FRAMING PLAN

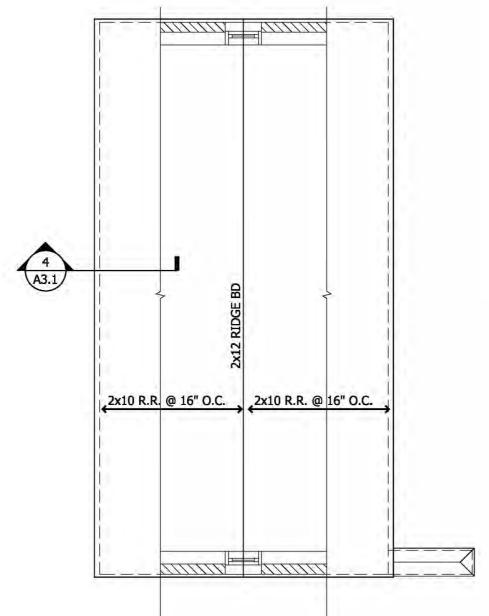


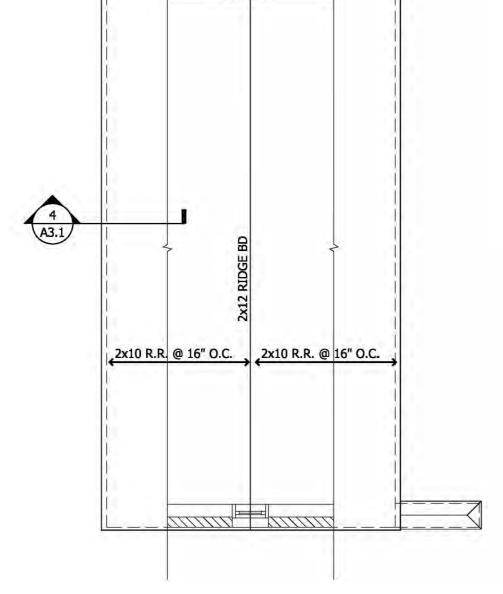


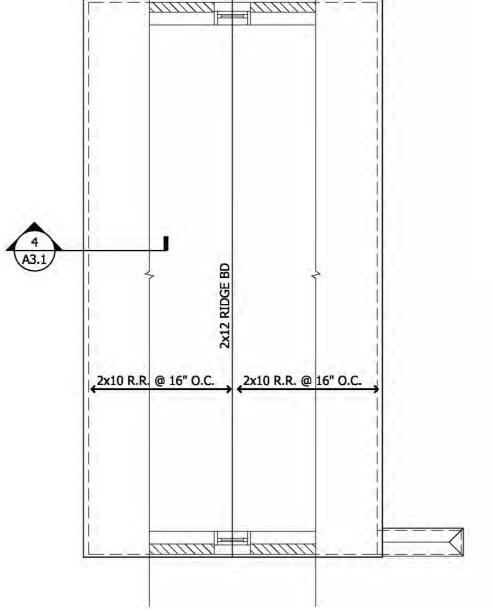












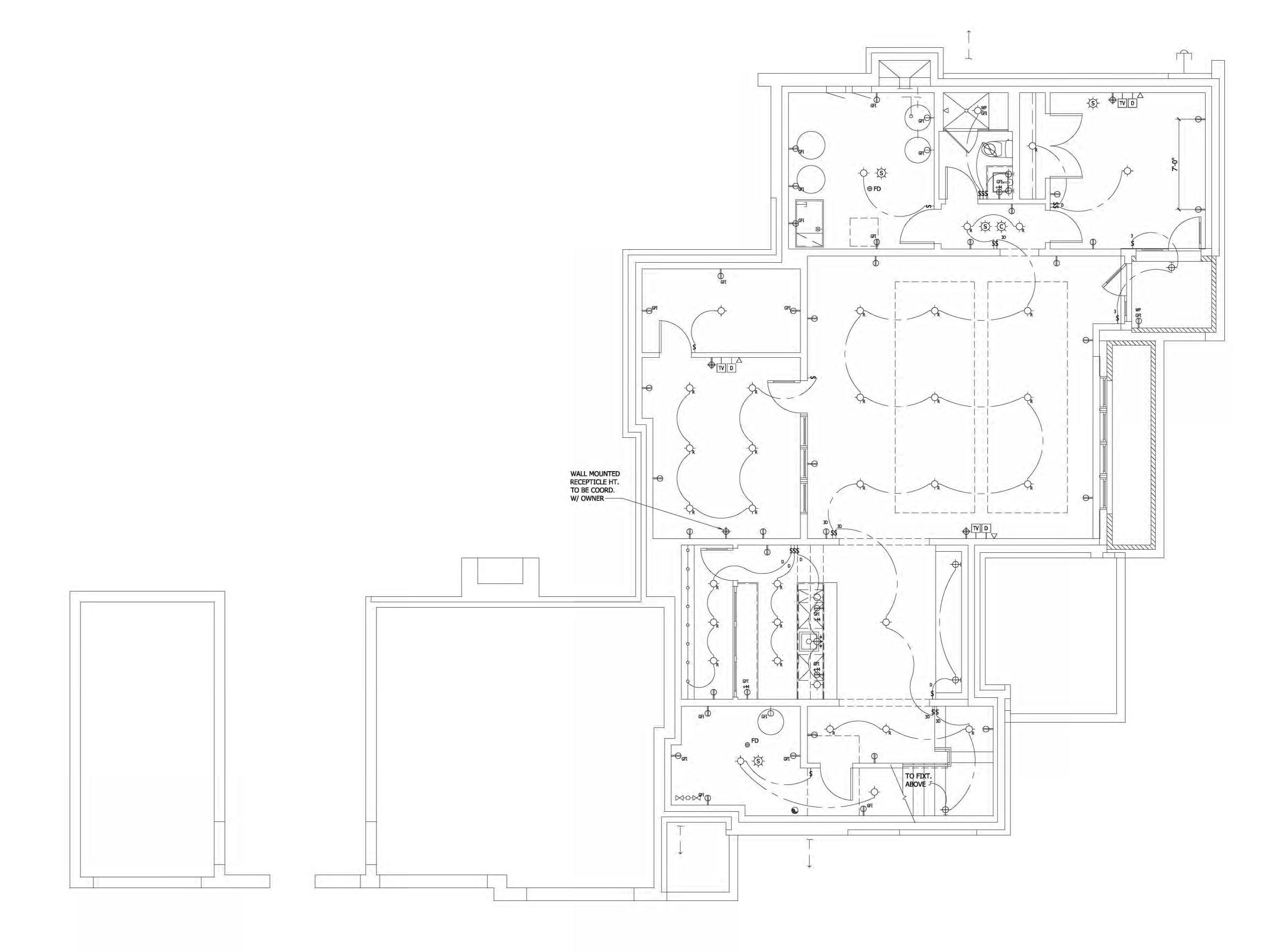


-	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
<u></u>	CEILING ELECTRICAL BOX	\$ ³	3-WAY SWITCH
Υ .	FOR LIGHT FIXTURE RECESSED DOWNLIGHT IN	\$ ⁴	4-WAY SWITCH
₩ ✓	CEILING/SOFFIT DROPPED BEZEL	\$ D	DIMMER SWITCH
\	RECESSED DIRECTIONAL	⊕ _{GFI}	GROUND FAULT INTERRUPT DUPLEX
 	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	→WP	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/
\bigoplus_{LV}	LOW VOLTAGE LIGHT		"IN USE" COVER
	RECESSED RISER LIGHT	-0	DEDICATED SINGLE PLUG RECEPTACLE
-1	FLUORESCENT FIXTURE WWX LAMPS		DUPLEX RECEPTACLE
ΔΔ	TRACK LIGHTING	-	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
- 0-	ROPE LIGHT	Ø	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	Ø	SWITCHED CEILING MOUNTED DUPLEX
B	EXHAUST FAN		RECEPTACLE
XA)	VENT TO EXTERIOR LIGHT & FAN VENT TO	\Rightarrow	QUAD RECEPTACLE
W	EXTERIOR	\Rightarrow	220 V. OUTLET
S	SMOKE DETECTOR DIRECT WIRE	⊜ GFI	FLOOR OUTLET
\$	CARBON MONOXIDE DETECTOR DIRECT WIRE	\triangleleft	TELEPHONE
	INFRARED RADIANT HEATER		DATA
		—TV	TELEVISION JACK
	CEILING FAN	•	DOOR BELL
		CH	DOOR CHIME
		1	PROGRAMMABLE THERMOSTAT
		(V)	CENTRAL VACUUM OUTLET

ELECTRICAL GENERAL NOTES

- 1. INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
- 2. GFCI PROTECTION:
- A. ALL GFCI OUTLETS TO BE LED TYPE.
- B. UNFINISHED AREAS TO BE GFCI PROTECTED.
- C. GFCI SWITCHES WILL PROTECT ALL FIXTURES IN ROOM (LIGHTS, FAN, OUTLETS)
- 3. SPACING OF ELECTRICAL OUTLETS:
- A. GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS. N.E.C. 210-52(A).
- B. KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12" OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES. N.E.C. 210-52(C).
- C. ALL OUTLETS TO BE TAMPER RESISTANT.
- D. KITCHEN ISLAND RECEPTICALES SHALL NOT BE LOCATED BELOW A COUNTER OVERHANG OF 6" OR MORE.
- 4. ATTIC FIXTURES TO BE SPACED MAX DISTANCE OF 20'-0" O.C.
- 5. CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES TO BE MOUNTED A MIN. OF 12" FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A MIN. OF 6" FROM NEAREST POINT OF STORAGE.
- 6. ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION.
- 7. ALL CEILING ELECTRICAL BOXES TO BE FAN RATED.
- 8. 75% OF PERMANENTLY INSTALLED LUMINAIRES TO BE FLUORESCENT OR CFL LAMPS.
- 9. CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING
- WIRING.

 10. ALL SMOKE DETECTORS TO BE HARD WIRED IN SERIES.
- 11. ALL SMOKE AND CARBON MONOXIDE DETECTORS LOCATED ON THE UNDERSIDE OF UNCONDITIONED SPACE SHALL BE SEAL AT THE CONDUIT CONNECTION TO PREVENT MOISTURE FROM CONDENSATION SETTING OFF FALSE ALARMS
- 12. THERMOSTATS TO BE PROGRAMMABLE IN ACCORDANCE w/ IECC 403.1.1.
- PROJECT NOTES:
- 1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/ OWNER.
- 2. G.C. TO COORDINATE POWER REQUIREMENTS w/ A.V. CONSULTANT PER OWNER.
- 3. LIGHTING IN ALL CABINETS TO BE COORDINATED w/ CABINET SUPPLIER PER OWNER.
- 4. LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/ MILLWORK SUPPLIER PER OWNER.
- 5. ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
- 6. ALL AREAS w/ WALL PANELING TO HAVE BASEBOARD OUTLETS.





[moment] DESIGN 201 E. OGDEN AVE, STE. 20, HINSDALE, IL 60521

EXPIRES 11/30/2018 IL DESIGN FIRM NO. 1 8 4 . 0 0 7 4 9 7

J.JORDAN HOMES

18 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21

DATE: 08 21 2017

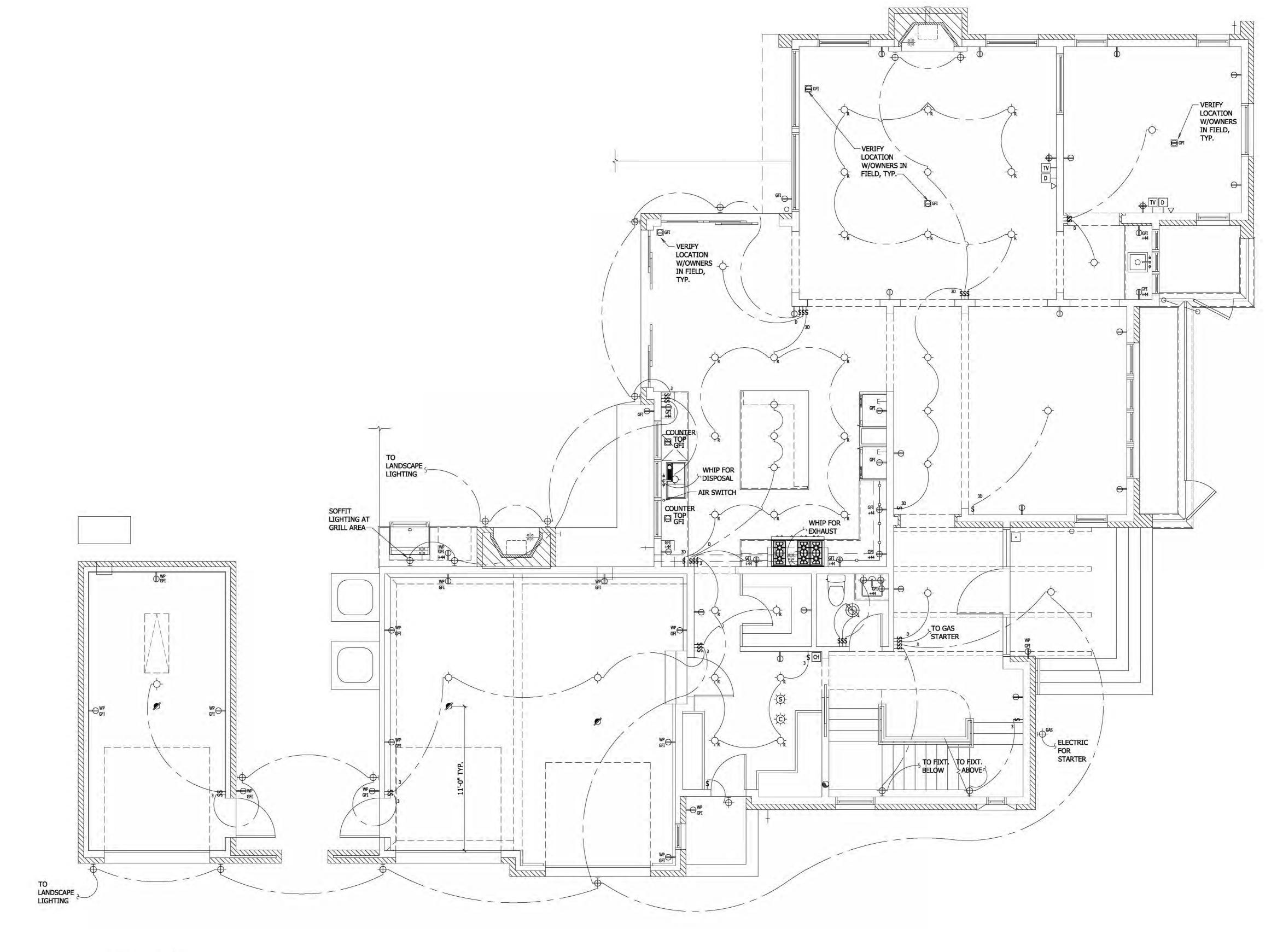
LOWER LEVEL SCHEMATIC ELECTRICAL PLAN

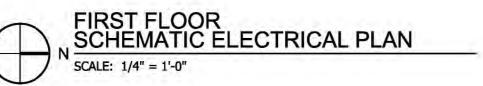
- \circ	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
- (-	CEILING ELECTRICAL BOX	\$ ³	3-WAY SWITCH
Y	FOR LIGHT FIXTURE RECESSED DOWNLIGHT IN	\$ ⁴	4-WAY SWITCH
Q	CEILING/SOFFIT DROPPED BEZEL	\$ D	DIMMER SWITCH
€ r	RECESSED DIRECTIONAL	-	GROUND FAULT INTERRUPT
+	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	→WP	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/
\oplus_{LV}	LOW VOLTAGE LIGHT		"IN USE" COVER
•	RECESSED RISER LIGHT	\rightarrow	DEDICATED SINGLE PLUG RECEPTACLE
+	FLUORESCENT FIXTURE WWX LAMPS	-0	DUPLEX RECEPTACLE
ΔΔΔ	TRACK LIGHTING	-	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
	ROPE LIGHT	Ø	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	Ø	SWITCHED CEILING MOUNTED DUPLEX
B	EXHAUST FAN		RECEPTACLE
×	VENT TO EXTERIOR LIGHT & FAN VENT TO	\Rightarrow	QUAD RECEPTACLE
	EXTERIOR	\Rightarrow	220 V. OUTLET
-\$\frac{1}{2}	SMOKE DETECTOR DIRECT WIRE	☐ GFI	FLOOR OUTLET
\$	CARBON MONOXIDE DETECTOR DIRECT WIRE	\triangleleft	TELEPHONE
	INFRARED RADIANT HEATER	D	DATA
		─ [TV]	TELEVISION JACK
	CEILING FAN	•	DOOR BELL
		СН	DOOR CHIME
		1	PROGRAMMABLE THERMOSTAT
		V	CENTRAL VACUUM OUTLET

ELECTRICAL GENERAL NOTES

- 1. INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
- 2 GECT PROTECTION:
- A. ALL GFCI OUTLETS TO BE LED TYPE.
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- 4. ATTIC FIXTURES TO BE SPACED MAX DISTANCE OF 20'-0" O.C.
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 FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED
 FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A
 MIN. OF 6" FROM NEAREST POINT OF STORAGE.
- 6. ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION.
- 7. ALL CEILING ELECTRICAL BOXES TO BE FAN RATED.
- 8. 75% OF PERMANENTLY INSTALLED LUMINAIRES TO BE FLUORESCENT OR CFL LAMPS.
- 9. CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING
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- 6. ALL AREAS w/ WALL PANELING TO HAVE BASEBOARD OUTLETS.





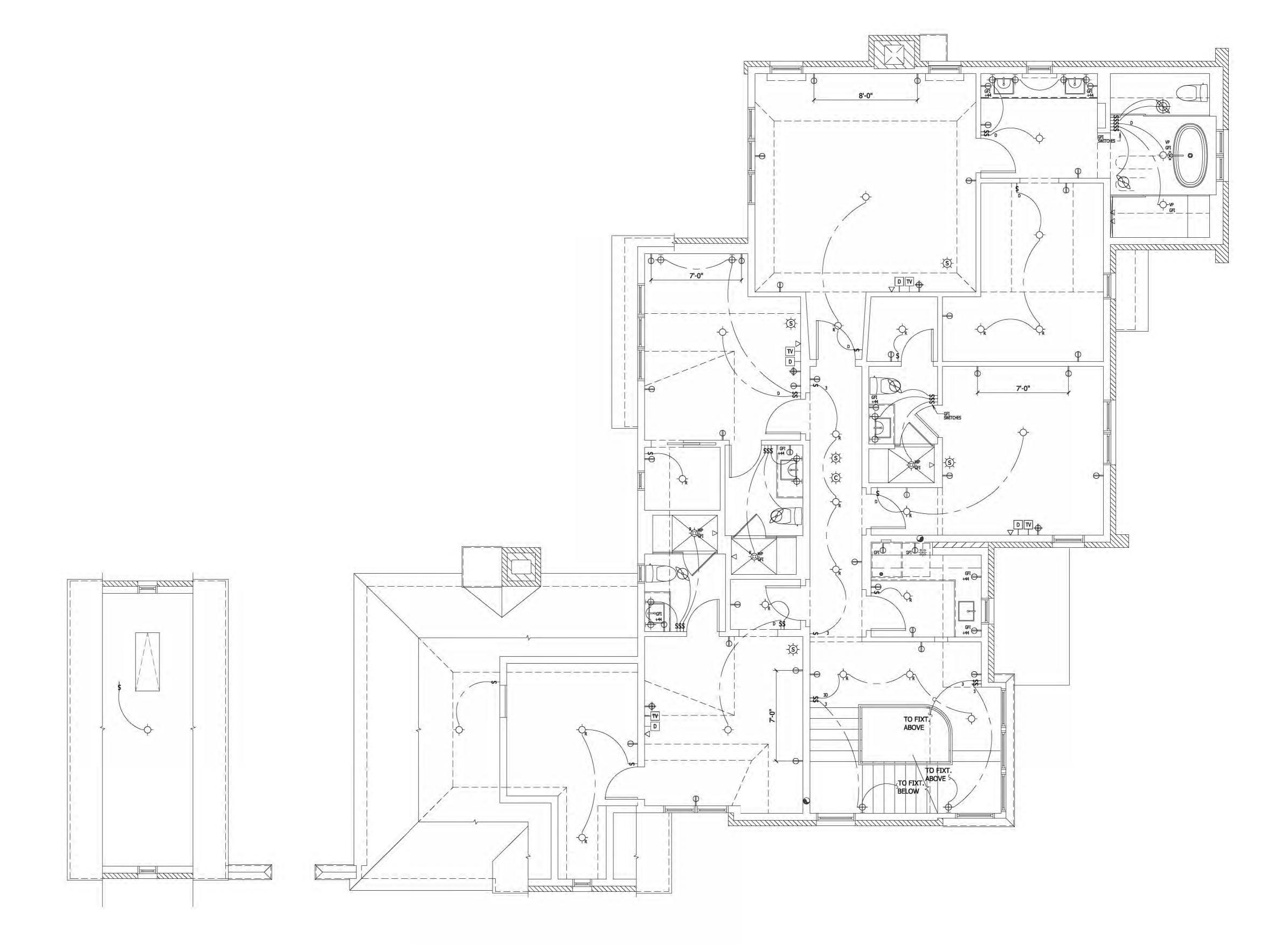
DESIGNAVE, STE. 20, HINSDALE, IL 60521

FIRST FLOOR SCHEMATIC ELECTRICAL PLAN

-	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
<u></u>	CEILING ELECTRICAL BOX	\$ ³	3-WAY SWITCH
Y	FOR LIGHT FIXTURE RECESSED DOWNLIGHT IN	\$ ⁴	4-WAY SWITCH
-Q _k	CEILING/SOFFIT DROPPED BEZEL	\$ D	DIMMER SWITCH
€ R	RECESSED DIRECTIONAL	→ GFI	GROUND FAULT INTERRUPT DUPLEX
 	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	→ WP GFI	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/
\bigoplus_{LV}	LOW VOLTAGE LIGHT		"IN USE" COVER
~	RECESSED RISER LIGHT	$\overline{}$	DEDICATED SINGLE PLUG RECEPTACLE
-	FLUORESCENT FIXTURE WWX LAMPS	-0	DUPLEX RECEPTACLE
ΔΔ	TRACK LIGHTING	-	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
- 0-	ROPE LIGHT	Ø	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	Ø	SWITCHED CEILING MOUNTED DUPLEX
B	EXHAUST FAN		RECEPTACLE
X	VENT TO EXTERIOR LIGHT & FAN VENT TO	-	QUAD RECEPTACLE
	EXTERIOR	\Rightarrow	220 V. OUTLET
(S)	SMOKE DETECTOR DIRECT WIRE	G FI	FLOOR OUTLET
፟	CARBON MONOXIDE DETECTOR DIRECT WIRE	◁	TELEPHONE
	INFRARED RADIANT HEATER	_ D	DATA
		—TV	TELEVISION JACK
	CEILING FAN	•	DOOR BELL
		СН	DOOR CHIME
		(1)	PROGRAMMABLE THERMOSTAT
			A STATE OF THE STATE OF THE STATE OF

ELECTRICAL GENERAL NOTES

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- 6. ALL AREAS w/ WALL PANELING TO HAVE BASEBOARD OUTLETS.





DONGEN AVE, STE. 20, HINSDALE, IL 60521

EXPIRES 11/30/2018 IL DESIGN FIRM NO. 1 8 4 . 0 0 7 4 9 7

JORDAN HOMES
8 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21 DATE: 08 21 2017

SECOND FLOOR SCHEMATIC ELECTRICAL PLAN

\	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
-	CEILING ELECTRICAL BOX	\$ ³	3-WAY SWITCH
Ψ 	FOR LIGHT FIXTURE RECESSED DOWNLIGHT IN	\$ ⁴	4-WAY SWITCH
₩	CEILING/SOFFIT DROPPED BEZEL	\$ D	DIMMER SWITCH
⊘ r	RECESSED DIRECTIONAL	→ GFI	GROUND FAULT INTERRUPT DUPLEX
 	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	→ WP GFI	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/
$\oplus_{\iota v}$	LOW VOLTAGE LIGHT		"IN USE" COVER
\sim	RECESSED RISER LIGHT	-0	DEDICATED SINGLE PLUG RECEPTACLE
	FLUORESCENT FIXTURE WWX LAMPS	\rightarrow	DUPLEX RECEPTACLE
ΔΔ	TRACK LIGHTING	→	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
 o	ROPE LIGHT	Ø	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	Ø	SWITCHED CEILING MOUNTED DUPLEX
B	EXHAUST FAN VENT TO EXTERIOR		RECEPTACLE
X	LIGHT & FAN VENT TO	\Rightarrow	QUAD RECEPTACLE
図	EXTERIOR	=	220 V. OUTLET
\$	SMOKE DETECTOR DIRECT WIRE	G FI	FLOOR OUTLET
₩	CARBON MONOXIDE DETECTOR DIRECT WIRE	◁	TELEPHONE
	INFRARED RADIANT HEATER	_ D	DATA
		_TV	TELEVISION JACK
	CEILING FAN		DOOR BELL
		СН	DOOR CHIME
		1	PROGRAMMABLE THERMOSTAT
		(V)	CENTRAL VACUUM OUTLET

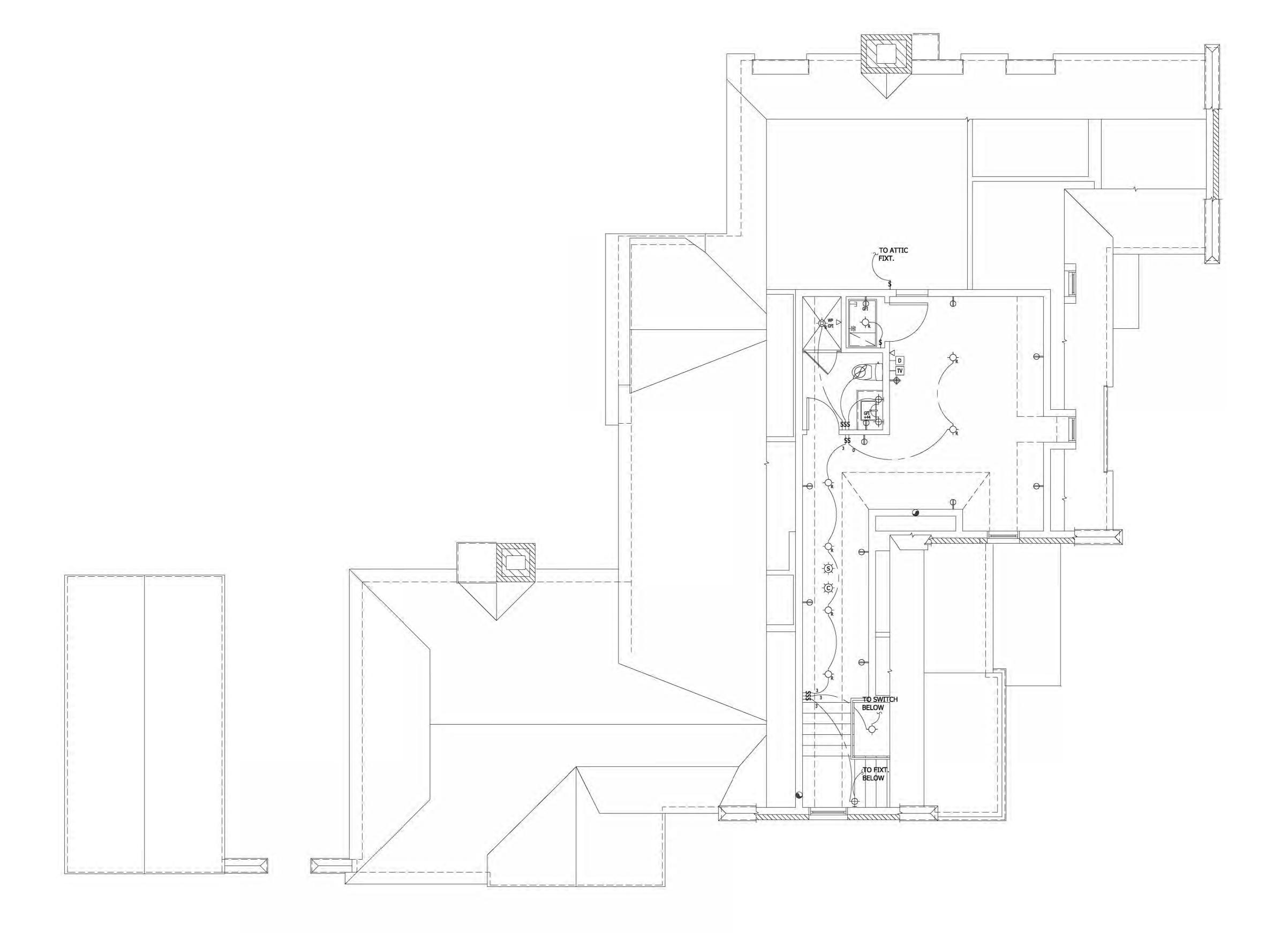
ELECTRICAL GENERAL NOTES

- 1. INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
- 2. GFCI PROTECTION:
- A. ALL GFCI OUTLETS TO BE LED TYPE.
- B. UNFINISHED AREAS TO BE GFCI PROTECTED.C. GFCI SWITCHES WILL PROTECT ALL FIXTURES IN ROOM (LIGHTS, FAN, OUTLETS)
- 3. SPACING OF ELECTRICAL OUTLETS:
- A. GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS. N.E.C. 210-52(A).
- B. KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12" OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES. N.E.C. 210-52(C).
- C. ALL OUTLETS TO BE TAMPER RESISTANT.
- KITCHEN ISLAND RECEPTICALES SHALL NOT BE LOCATED BELOW A COUNTER OVERHANG OF 6" OR MORE.
- 4. ATTIC FIXTURES TO BE SPACED MAX DISTANCE OF 20'-0" O.C.
- CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES TO BE MOUNTED A MIN. OF 12"
 FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED
 FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A
 MIN. OF 6" FROM NEAREST POINT OF STORAGE.
- 6. ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION.
- 7. ALL CEILING ELECTRICAL BOXES TO BE FAN RATED.
- 8. 75% OF PERMANENTLY INSTALLED LUMINAIRES TO BE FLUORESCENT OR CFL LAMPS.
- 9. CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING
- WIRING.

 10. ALL SMOKE DETECTORS TO BE HARD WIRED IN SERIES.
- 11. ALL SMOKE AND CARBON MONOXIDE DETECTORS LOCATED ON THE UNDERSIDE OF UNCONDITIONED SPACE SHALL BE SEAL AT THE CONDUIT CONNECTION TO PREVENT MOISTURE FROM CONDENSATION SETTING OFF FALSE ALARMS
- 12. THERMOSTATS TO BE PROGRAMMABLE IN ACCORDANCE w/ IECC 403.1.1.

PROJECT NOTES:

- 1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/ OWNER.
- 2. G.C. TO COORDINATE POWER REQUIREMENTS W/ A.V. CONSULTANT PER OWNER.
- 3. LIGHTING IN ALL CABINETS TO BE COORDINATED w/ CABINET SUPPLIER PER OWNER.
- 4. LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/ MILLWORK SUPPLIER PER OWNER.
- 5. ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
- 6. ALL AREAS w/ WALL PANELING TO HAVE BASEBOARD OUTLETS.





[MONDANE, STE. 20, HINSDALE, IL 60521 P 630 828 8161 WWW. MOMENT DESIGN. NET

THIRD FLOOR SCHEMATIC ELECTRICAL PLAN



DOMENTO STE. 20, HINSDALE, IL 60521

EXPIRES 11/30/2018 IL DESIGN FIRM NO. 1 8 4 . 0 0 7 4 9 7

J.JORDAN HOMES
418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21
DATE: 08 21 2017

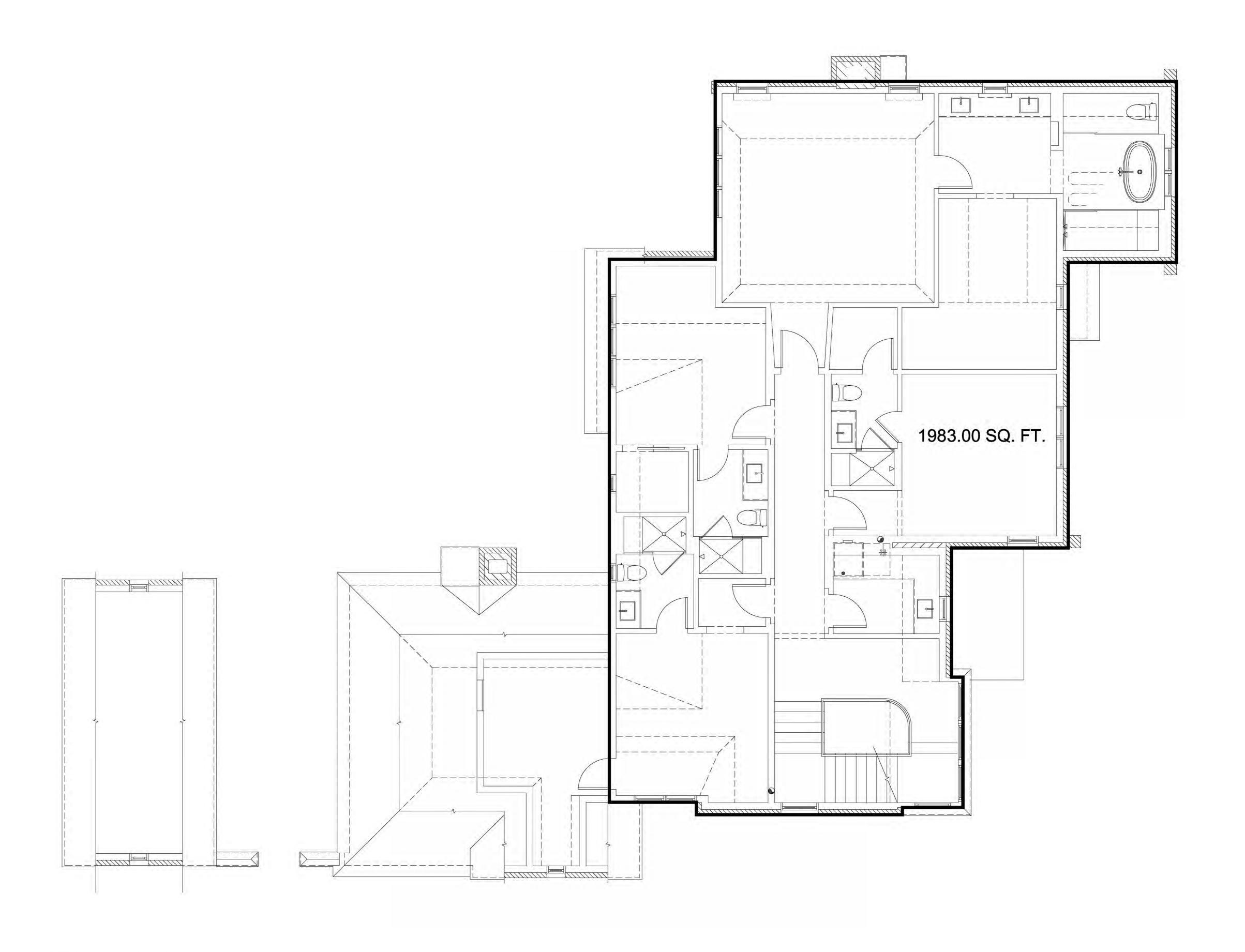
FIRST FLOOR OVERLAY PLAN

R1.1

JOB NUMBER: 17 2 DATE: 08 21 2017

SECOND FLOOR OVERLAY PLAN

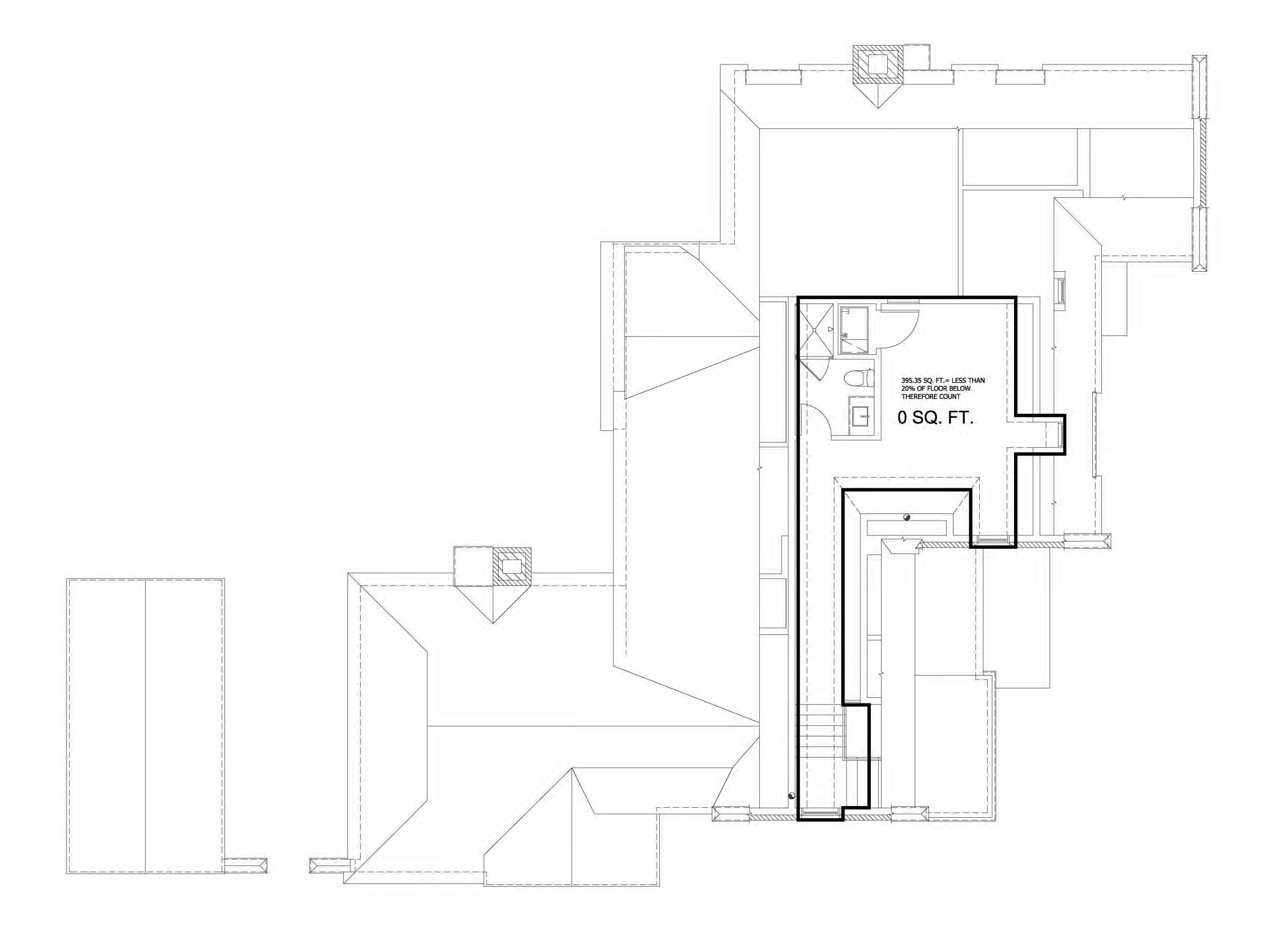
R1.2





THIRD FLOOR OVERLAY PLAN

R1.3





VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

1. Applicants Name: J Tordan I formes LLC Julie Laux Address: 112 S Grant Street Itinsdale. T. (1952) Telephone Number: Office - 630 - 455 - 0855 (211:312-320-9990) 2. Owner of Record (if different from applicant): See above Address: See above See above Address: See above See above Telephone Number: See above See above Architect: Moment Design - 201 E. Ogden Ave. Swite 20 (1:nsdale, Th. 6052) (300:147-9416 Attorney: Joseph Tordan - 5749 Park Center Ct., Toledo, OH 43615 419-262-5764 Builder: J Tordan I Jomes LLC - 112 S. Grant St., Itinsdale, Th. 60521 (230-455-0855) Engineer: Engineering Resource Assaiaks - 3 \$701 west Ave. Swite 150, Warrenville, Th. 60555 (30-393-3060) II. SITE INFORMATION 1. Describe the existing conditions of the property: The home is in Substandard Conduction. The Argoperty is Very overgrown & unmanaged It is difficult for fully See the home. The low Ceiling height Property Designation: make it less than Conductive to currents. Listed on the National Register of Historic Places? YES NO Listed as a Local Designated Landmark? YES NO NO		ess of Property under review: <u>418 5.12ark</u> erty Identification Number: <u>09-12-215-009</u>
Telephone Number: Office - 630 - 455 - 0855 / Cell: 312-320-9990 2. Owner of Record (if different from applicant): See above Address: See above Telephone Number: See above See above Telephone Number: See above Telephone Numbe	1.	GENERAL INFORMATION
Address: See above Telephone Number: See above 3. Others involved in project (include, name, address and telephone number): Architect: Moment Design - 201 E. Ogden Ave., Suite 20 (Linsdele, The loose) (230-747-9415) Attorney: Joseph Jordan - 5749 Park Center Ct., Toledo, OH 43615 419-262-57164 Builder: Jordan Homes LLC - 112 S. Grant St., Hinsdele, The loose of the loose of the loose of the property of the loosest Ave. Suite 150, Warrenville, The loosest (230-292-2060) II. SITE INFORMATION 1. Describe the existing conditions of the property: The home is in Substandard Conduction. The property is very overgrown + unmanaged. This difficult to fully see the home. The low ceiling height property Designation: make it less than conducive to current standards. Listed on the National Register of Historic Places? YES NO Listed as a Local Designated Landmark? YES NO	1.	Applicants Name: JJordan Homes LLC / Julie Laux Address: 112 S Grant Street 1tinsdale, IL 60521 Telephone Number: office-630-455-0855 / Cen: 312-320-9990
Architect: Moment Design - 201 E. Ogden Ave. Swite 20 [Linsdele, Fl. 6052] 630-747-9415 Attorney: Joseph Jordan - 5749 Park Center Ct., Toledo, OH 43615 419-262-5764 Builder: J. Tordan Homes LLC - 112 S. Grant St., Hinsdele, Ir 60521 630-455-0855 Engineer: Enginearing Resource Associates - 3 S. 701 West Ave. Swite 150, Warrenville, Ir 60555 630-393-3060 II. SITE INFORMATION 1. Describe the existing conditions of the property: The home is in Substandard Condution. The Droperty is very overgrown + unmanaged. It is difficult to fully see the home. The low Ceiling height 2. Property Designation: Make it less than Conducive to Current Standards Listed on the National Register of Historic Places? Listed as a Local Designated Landmark? YES NO	2.	Address: See above See above
1. Describe the existing conditions of the property: The home is in substandard Conduction. The property is very overgrown + unmanaged. It is difficult to fully see the home. The low ceiling height Property Designation: make it less than conducive to current standards Listed on the National Register of Historic Places?YESNO Listed as a Local Designated Landmark?YESNO	3.	Architect: moment Design - 201 E. Ogden Ave. Suite 20 Linsdale, The 60521 630-747-9415 Attorney: Joseph Jordan - 5749 Park Center Ct., Toledo, OH 43615 419-262-5764 Builder: Jordan Homes LLC - 112 S. Grant St., Hinsdale, IT 60521 630-455-0855 Engineer: Engineering Resource Associates - 3 S 701 West Ave.
Condution. The property is very overgrown + unmanaged. It is difficult to fully see the home. The low ceiling height Property Designation: make it less than conducive to current standards Listed on the National Register of Historic Places?YESNO Listed as a Local Designated Landmark?YESNO	II. SIT	E INFORMATION
	1. 2.	Conduction. The Property is very overgrown + unmanaged. It is difficult to fully see the home. The low ceiling height Property Designation: make it less than conducive to current standards. Listed on the National Register of Historic Places?YESNO Listed as a Local Designated Landmark?YESNO

3.	Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).
	We plan to tear the existing home down
	in its entirety and construct a new single
	family home. Please see the attached
	in its entirety and construct a new single family home. Please see the attached plans for full scope of the project.
ŀ.	Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?
	Yes
	If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

CERTIFICATION

......

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

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icer
true

418 S PARK

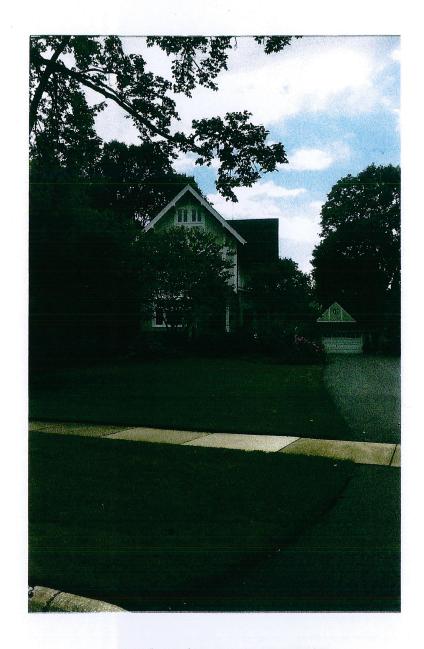


FRONT ELEVATION – EXISTING



SIDE ELEVATION - EXISTING

418 S PARK



NEIGHBOR TO THE WEST

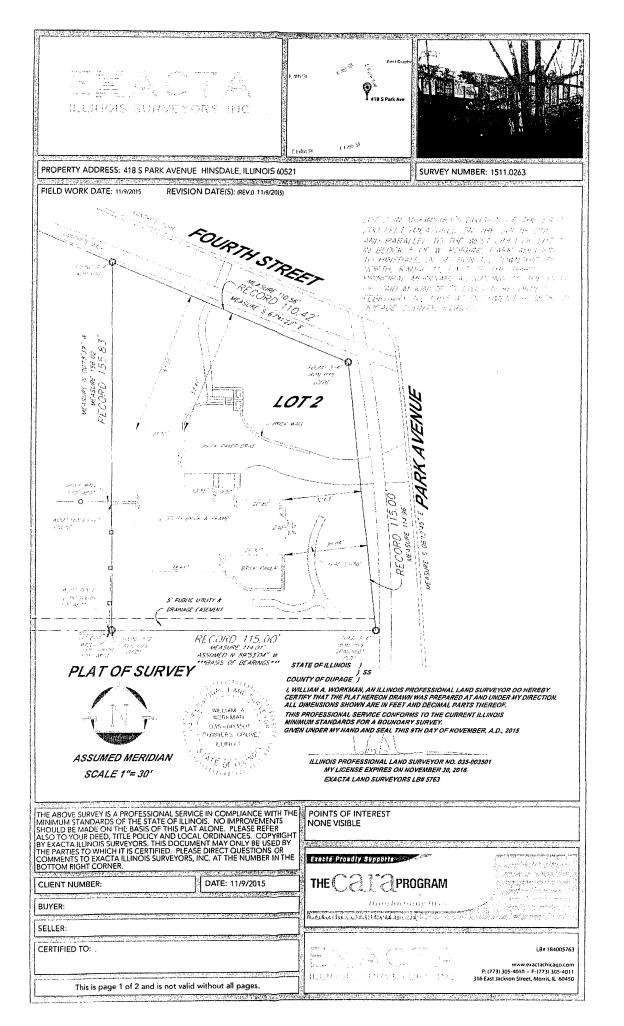
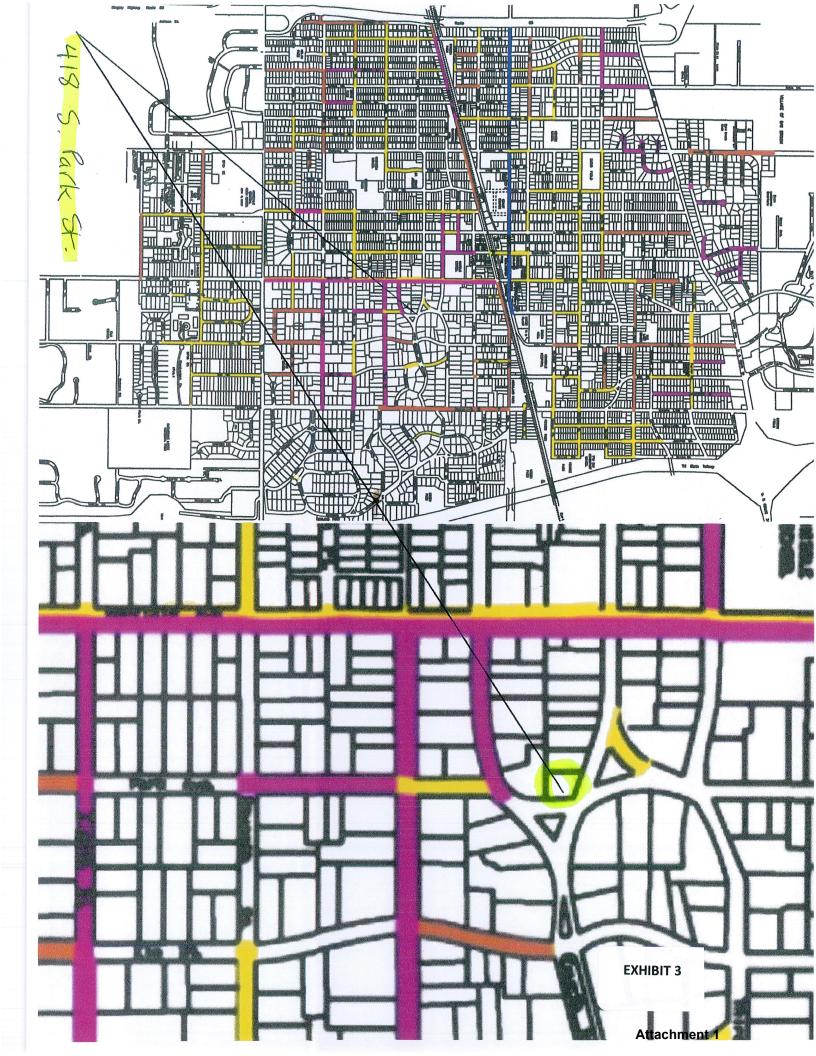
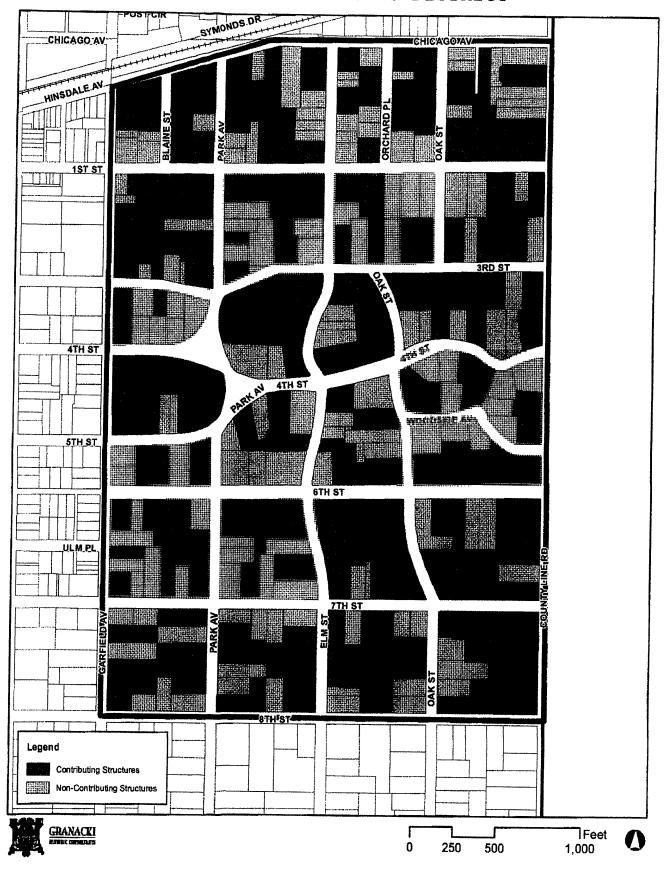
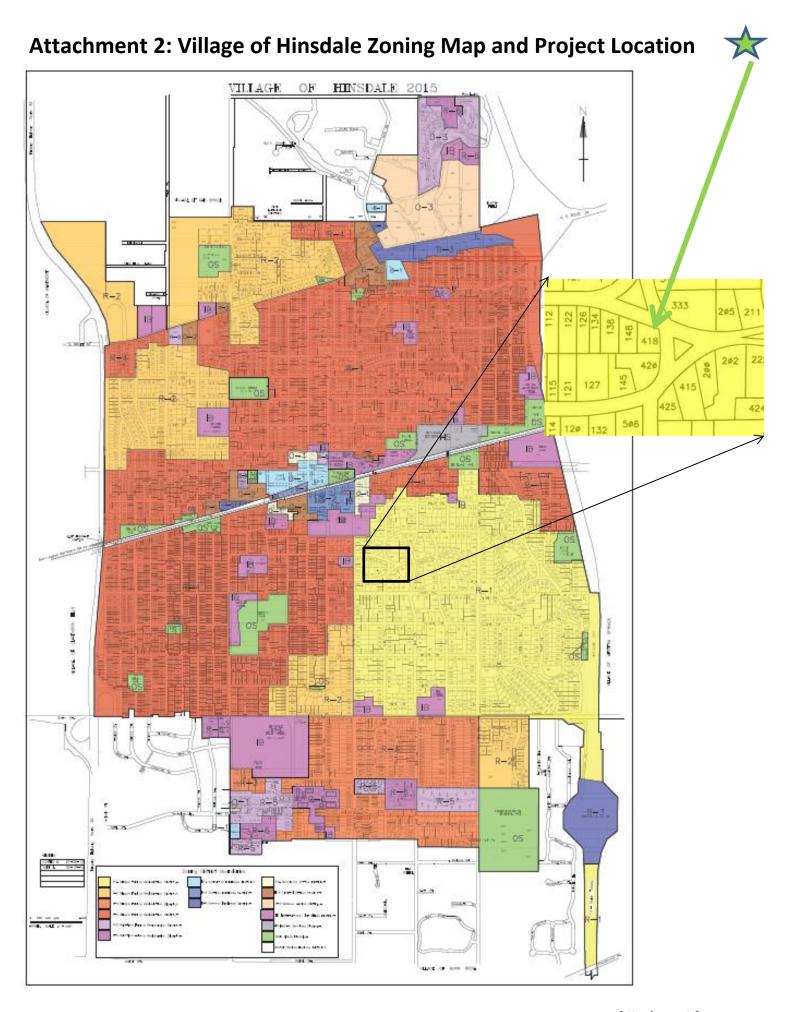


EXHIBIT 2

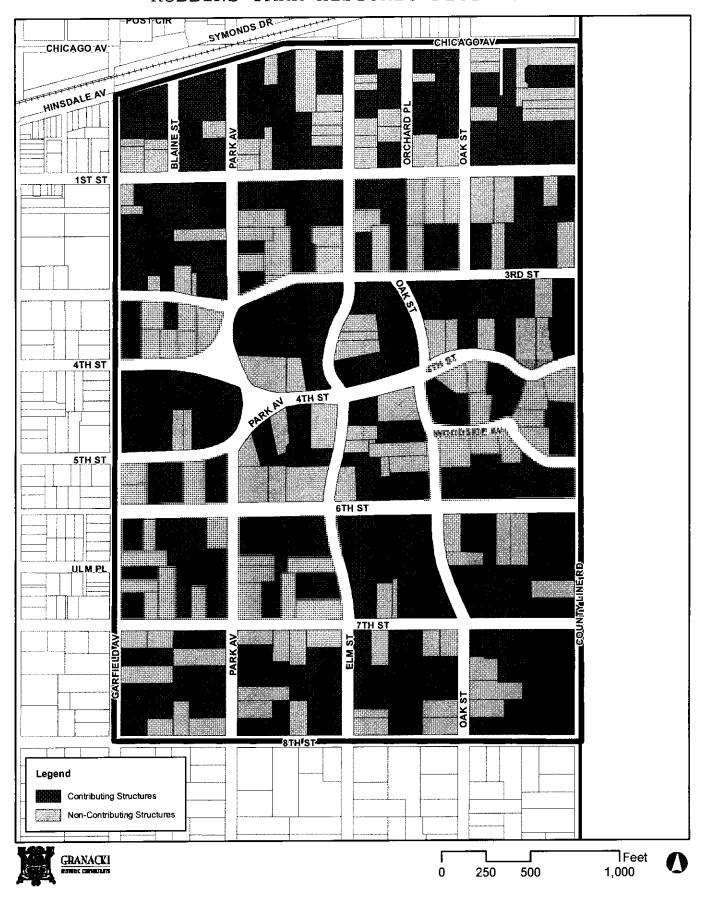


ROBBINS PARK HISTORIC DISTRICT





ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

- 1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
- 2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
- 3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
- 4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
- 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
- 6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- 7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
- 8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
- 9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
- 10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

- 1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
- 2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
- 3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
- 4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
- 5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
- 6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
- 7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
- 8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

NPS Form 10-900-a

OMB No. 1024-0018

United States Department of the Interior National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 18

Robbins Park Historic District Hinsdale, DuPage County, IL

NO	structiv	ARCHCLASS	DATE.	HISTORIC NAME 3		ASEGONDARY, STRUCTURES ASCOR NO AR		Favior Par	ETCONOARY STRUCTURE
135 S	PARK	Neo-Traditional	2004- 05	The control of the co	NC	-	and the second of the second o		
154 S	PARK	Ranch	1951		С	-	Nemoede, Albert H.	Fleisch, J. R.	
301 S	PARK	Queen Anne	1887	Landis, John W. House	c	С			detached garage
310 S	PARK	Neo-Traditional (under construction)	2006- 08		NC	_	Culligan Abrahim		
317 S	PARK	Second Empire	1 .	Stuart, John Frederick House	С	С			coach house
333 S	PARK	Neo-Traditional	2002- 03		NC	_			annie ogeograpie a karalinia karalinia antono antono alektronia
415 S	PARK	Craftsman	1886	Dana, Henry C. House	С	NC			Detached garage
418	PARK	Craftsman	ł	McKinstry, Mrs. R. W. House	С		West, Philip Duke	Braun & Loehman	
420 5	PARK	French Eclectic	1924	Besley, Mrs. Charles House	C	C	Pasniey, Airred		Coacii nouse
425	PARK	Neo-Traditional	1955	Rose, Howard G. House	NC	NC	Larson, Arnold L	Wilson, Byron	Detached garage
506	PARK	Craftsman	c. 1910	Lilly, Guy House	С	С			Detached garage
516	PARK	Colonial Revival	1910	Wilson, George R. & Hazel Thorne House	С	NC			Detached garage
618	PARK	Colonial Revival	c. 1920		С	С			Detached garage
619	PARK	Neo-Traditional	1993	2.200	NC	-	Olson, Steve C.	McNaughton, James	
623	PARK	Neo-Traditional	2006		NC	-			
626	PARK	Shingle Style	1900	Thompson, Edwin House	С	NC			Detached garage
635	PARK	Tudor Revival (altered)	c. 1925		NC	-		THE RESERVE OF THE PARTY OF THE	
640	PARK	Colonial Revival	c. 1915	42 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	С	C			Detached garage
706	PARK	French Eclectic	1925	Bauer, M.B. & J.R. House	c	-	Olsen & Urbain		
707	SPARK	Neo-Traditional	2001		NC	-	Carrio Prisby Arch. Design	Legacy Home Biders	

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

DATE: October 11, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager

Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner

RE: 52 S. Washington Street – Green Goddess Boutique – Downtown boutique retail store

Certificate of Appropriateness for Front Addition in Historic District - Case HPC-07-2017

Summary

The Village of Hinsdale has received a Certificate of Appropriateness application from GG Hinsdale, LLC, d.b.a. Green Goddess Boutique, to construct a minor front addition to the existing commercial building at 52 S. Washington Street. The building is in the historic downtown district of Hinsdale. Per the Village Code, no permits shall be issued for physical modifications of the exterior architectural appearance of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The existing 2-story commercial building at 52 S. Washington Street is 25 feet wide, and features a door on the south end for entry to the second floor. It had a recessed area, approximately 18 feet wide, leading into the first floor retail space. However, in May, 2017, due to a vehicular incident, the majority of the front building façade, including the front entrance was destroyed.

This Certificate of Appropriateness is for an addition that will fill the former recessed area so it will become flush with the front wall. However, a new entry door to the north end of the building will be installed, with a recessed area of 4 feet deep by approximately 5 feet wide to allow the door to swing outwards. The entry door has a wood residential style, and will be next to the existing wood fluted pilasters to the north.

The former recessed area will be replaced with a brick veneer knee wall with limestone cap to match and align with the existing sill, and be painted white to match the existing building features. Three windows with prefinished aluminum will be installed on top of the brick veneer knee wall and colored. Per the exhibit, the color is "TBD", and should be discussed at the HPC meeting.

The applicant plans to relocate the existing sign to center it over the new window storefront. The blade sign on the exhibit will need to be formally reviewed separately through the sign application in the future. The existing roof feature will not change.

VILLAGE OF Linsdale Est. 1873

MEMORANDUM

Process

Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review physical modifications of the exterior architectural appearance of a building in the Historic District. The final decision of the HPC shall be advisory only. (concurrent Plan Commission A-36-2017 Exterior Appearance/Site Plan application)

Attachments:

Attachment 1 – Certificate of Appropriateness and Exhibits (packet)

Attachment 2 - Zoning Map and Project Location

Attachment 3 - Birds Eye View Map

Attachment 4 - Street View of former building façade at 52 S. Washington Street

VILLAGE OF HINSDALE HISTORIC PRESERVATION COMMISSION APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Addre Prope	erty Identification Number: 09-12-121-019
T000000 10	GENERAL INFORMATION
1.	Applicants Name: GG Hinsdale, LLC Address: 52 South Washington St. Hinsdale, IL 60524 Telephone Number: (630) 450-1987
2.	Owner of Record (if different from applicant):Address:
	Telephone Number:
3.	Others involved in project (include, name, address and telephone number): Architect: <u>James C. Prisby, Carprio Prisby Architectural Design, P.C.</u> 106 South Washington Street, Hinsdale, Illinois 60521
	Attorney: Peter Coules, Jr. as attorney for Owner
	15 Salt Creek Lane, Suite 312, Hinsdale Illinois 60521 Builder:
	Engineer:
II. SIT	E INFORMATION
1.	Describe the existing conditions of the property: Two story building in need of major repair to storefront due to vehicle crashing through storefront window. totaling approximately 3,200 s.f
2.	Property Designation:
	Listed on the National Register of Historic Places?YESX_NO
	Listed as a Local Designated Landmark?YESX_NO
	Located in a Designated Historic District?YESX_NO

	Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).
	1) Brick veneer knee wall stone cap/water table to match and align with existing sill,
	to be painted white to match existing. 2) Wood residential style entry door and
	sidelight recessed into building structure plan to match other entry door.
	3) Pre-finished aluminum storefront system. Color TBD.
	4) Relocate sign to be centered over windows.
	All work necessitated because a motor vehicle drove through the front of store.
•	Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?
	XNoYes
	If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.
	As you can see by the attached renderings the proposed plans are consistent with
	the structure that was damaged as well as the existing downtown Hinsdale structures
	It is complimentary in architecture and color. The changes are to the first floor.
	Attached are: 1) Deed 2) Survey 3) Street view from Google Maps in 2016
	4) View of damage 5) Proposed plans 6) Proposed rendering.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

INDIVIDUAL OWNERS Signature of Applicant Signature of Applicant: GG Hinsdale, LLC □ CORPORATION Signature of Applicant's President Signature of Applicant's Secretary PARTNERSHIP Signature of Applicant Signature of Applicant Signature of Applicant Signature of Applicant LAND TRUST **OTHER** Signature SUBSCRIBED AND SWORN to before me this 18 day of NOTARY PUBLIC, STATE OF ILLINOIS MY COMMISSION EXPIRES 9/11/2021

Exhibit "A"

For the property located at 52 S. Washington Street, Hinsdale, IL the owner is seeking the right to obtain a building permit without the necessity of any further Village Board or Commission Hearings or approval so that they may proceed with the repairs if they so choose. The property is in the Village's Historic District and therefore, the reasoning of a demolition permit is as follow:

- 1. It is necessary to complete the repair because a car drove through the front of the store.
- 2. The colors and designs will fit in with the downtown style.

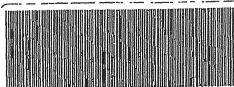
A8387300 183

CHARGE C.T.I.C. DUPAGE

WARRANTY DEED (Individual)

GRANTOR.

Wisch Rental Properties, LLC, an Illinois limited liability company, for and in consideration of Ten and no/100 Dollars (\$10.00), hereby CONVEYS and WARRANTS to GG Hinsdale, LLC, an Illinois limited liability company, 52 South Washington St., Hinsdale, Illinois, 60521, the following



FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JAN.09,2012 RHSP 11:04 AM

DEED 002 PAGES 09-12-121-019 R2012-003091

described Real Estate in the County of DuPage, State of Illinois, to wit:
THE NORTH 1/2 OF LOT 5 IN GEORGE'S RESUBDIVISION OF BLOCK 3 II

THE NORTH 1/2 OF LOT 5 IN GEORGE'S RESUBDIVISION OF BLOCK 3 IN THE TOWN OF HINSDALE, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1871 AS DOCUMENT 14624, IN DU PAGE COUNTY, ILLINOIS.

Property Address: 52 South Washington Street, Hinsdale, Illinois 60521

P.I.N.: 09-12-121-019

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

SUBJECT TO: General taxes not yet due and payable, covenants, conditions and restrictions of record; building lines and easements, if any, so long as they do not interfere with the current use and enjoyment of the property.

Dated this 5th day of January, 2012

Wisch Rental Properties, LLC, an Illinois limited liability company

Leroy-Wisch, Manager

STATE OF ILLINOIS, COOK COUNTY SS:

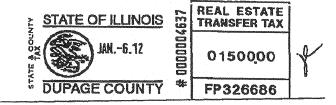
I, M. Currow in and for said County and State, do hereby certify that Leroy Wisch, Manager of Wisch Rental Properties, LLC, known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his free and voluntary act for the purposes herein set forth. Given under my hand and official seal, this 5th day of January, 2012.

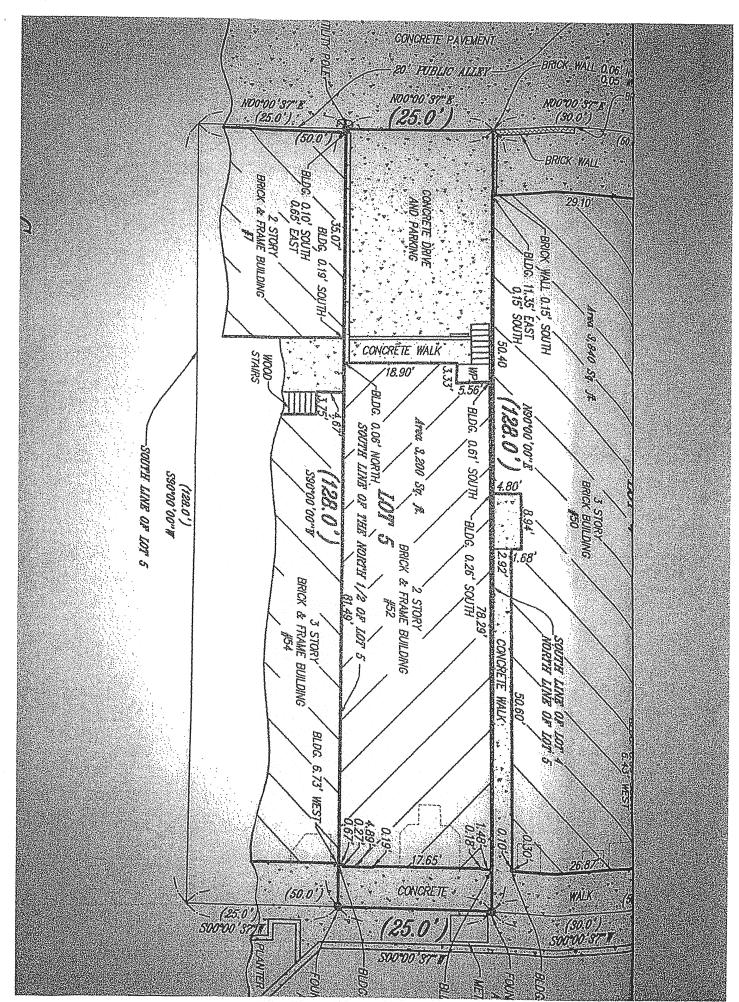
Notary Public

MICHELE A CURTIN MY COMMISSION EXPIRES MARCH 10, 2014 This instrument was prepared by Alan S. Levin, 205 W. Randolph, Suite 1030, #1030, Chicago, IL 60606

MAIL TO: Mark S. Litner, Esq. Jaffe & Berlin, LLC 111 West Washington Street Suite 900 Chicago, Illinois 60602

SEND SUBSEQUENT TAX BILLS TO: GG Hinsdale, LLC 52 South Washington Street Hinsdale, Illinois 60521





Google Maps 49 S Washington St

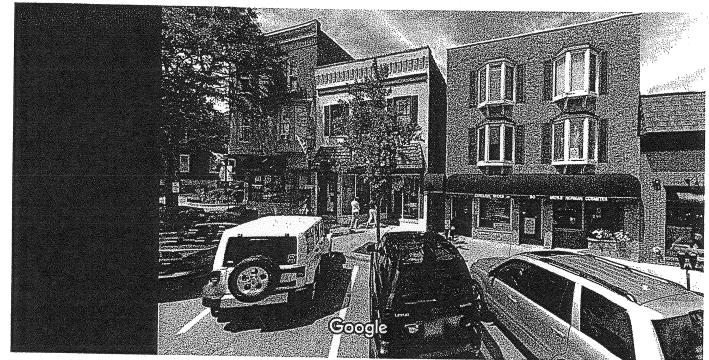


Image capture: Jul 2016 © 2017 Google **United States**

Hinsdale, Illinois

Street View - Jul 2016

W 1s1 St

E 1s

49 S Washington St

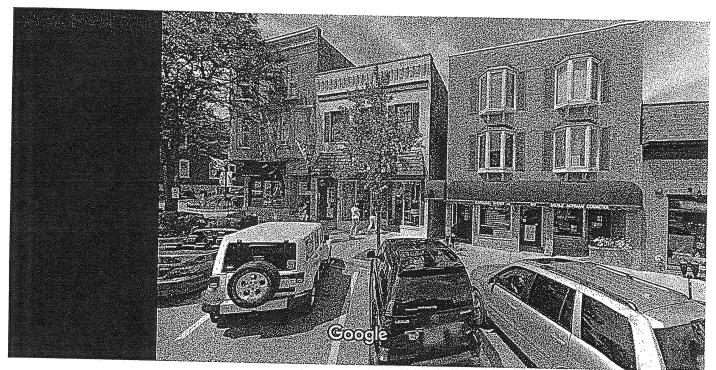


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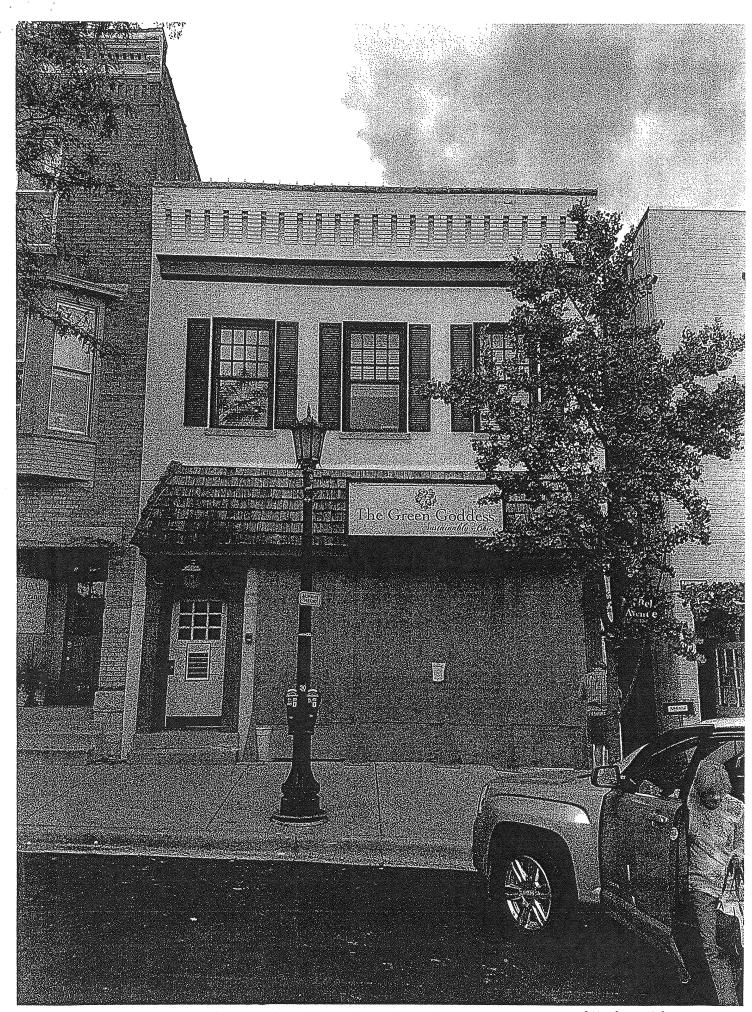
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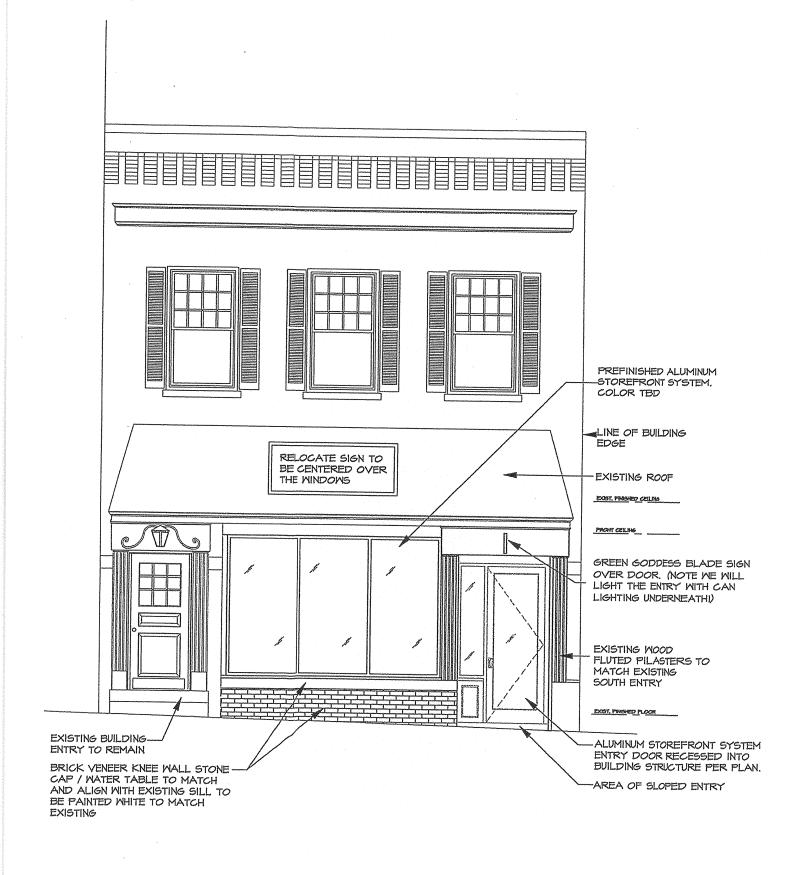
Hinsdale, Illinois

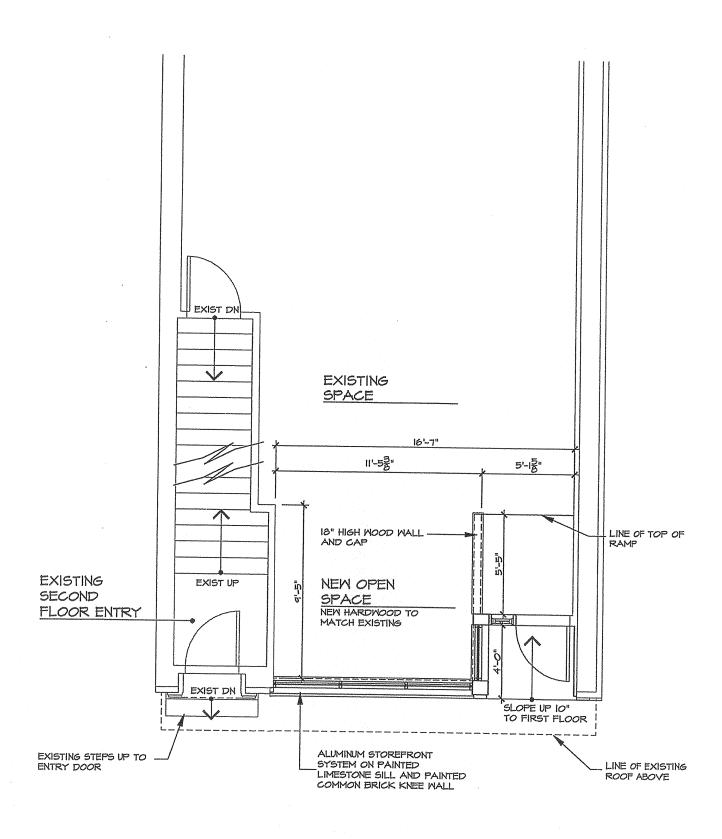
Street View - Jul 2016



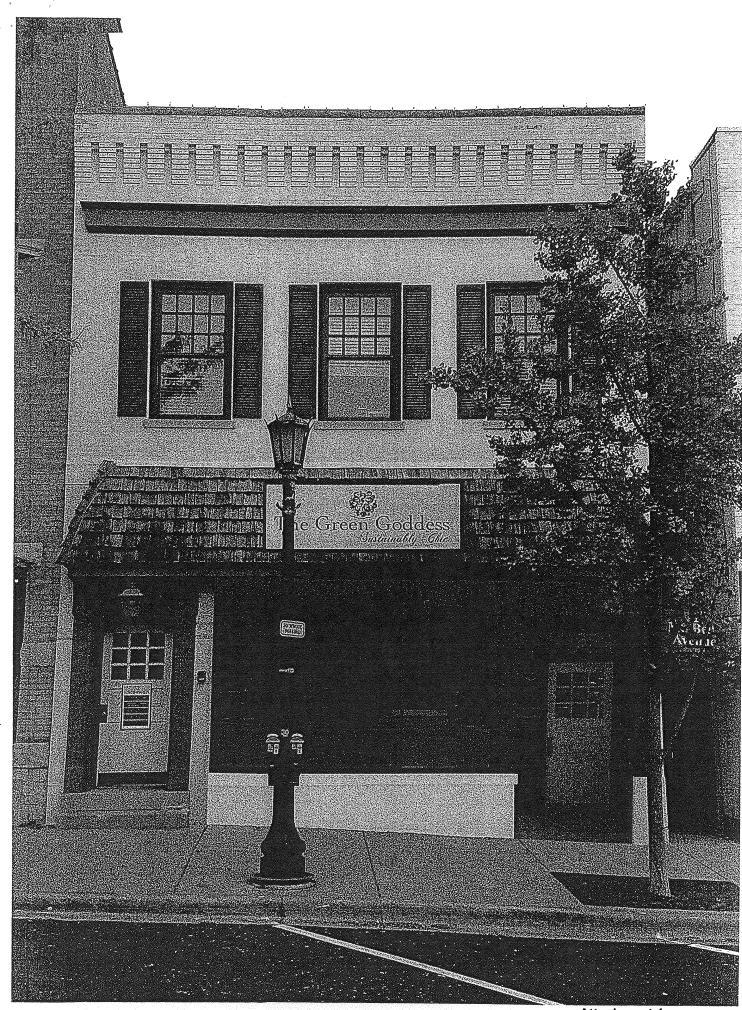


Attachment 1









Attachment 1

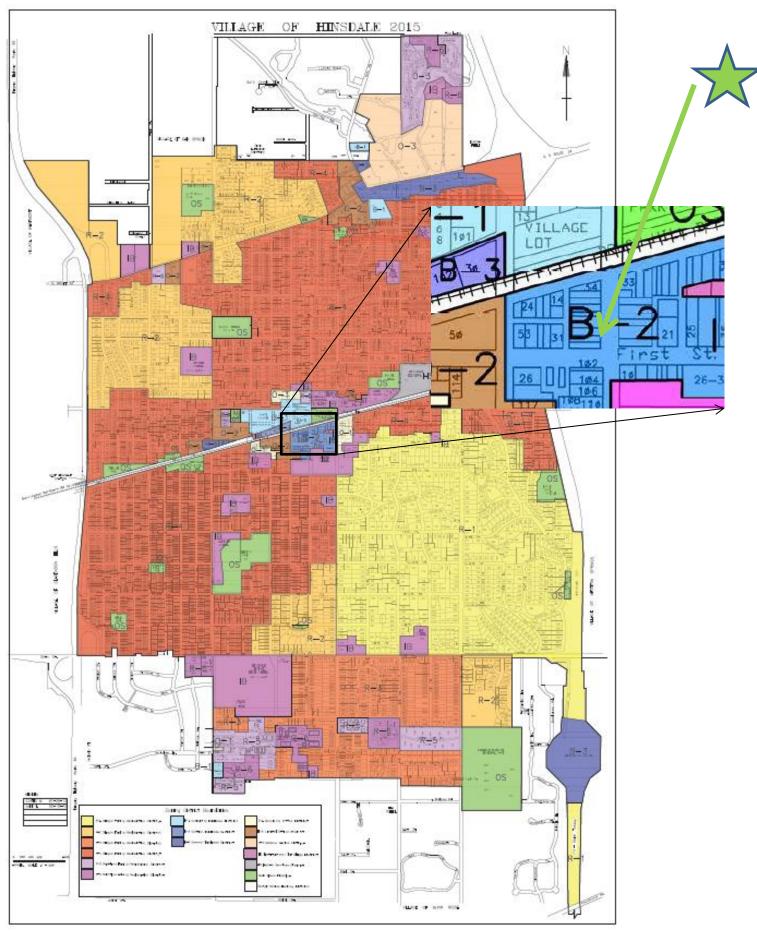


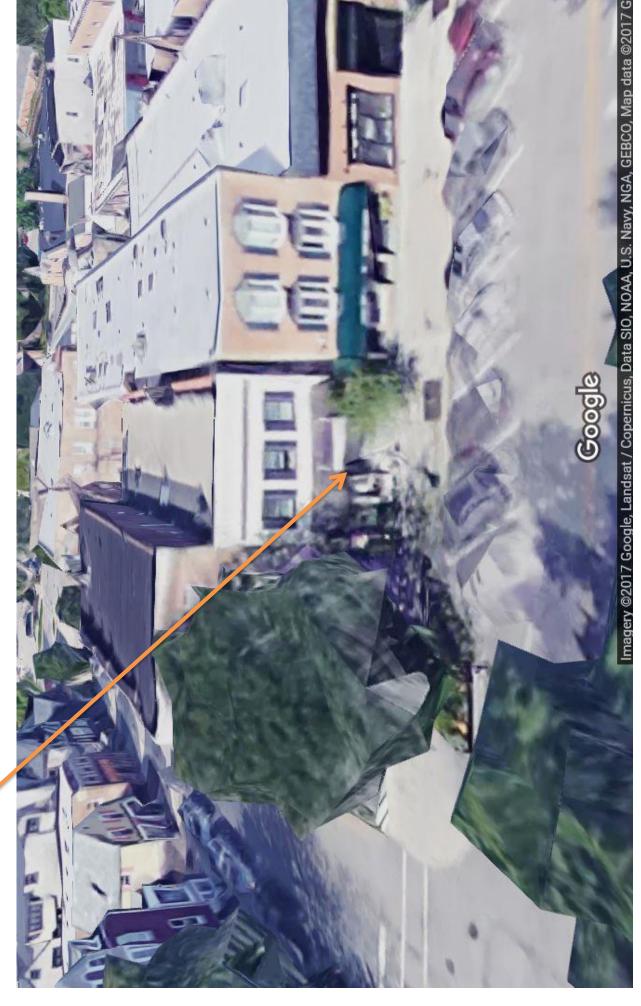


Attachment 1

Attachment 2: Village of Hinsdale Zoning Map and Project Location







Birds Eye View of 52 S. Washington Street (facing west) Proposed Work Location Attachment 3:

Attachment 4: Street View of 52 Washington St. (facing west, before vehicular incident)

Area of Proposed Work