



MEETING AGENDA

**MEETING OF THE
HISTORIC PRESERVATION COMMISSION
Wednesday, October 11, 2017
6:00 P.M.
MEMORIAL HALL – MEMORIAL BUILDING
(Tentative & Subject to Change)**

1. CALL TO ORDER

- 2. MINUTES** – Review and approval of the minutes from the September 13, 2017, meeting.

3. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-06-2017 – 418 S. Park Ave. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

4. PUBLIC MEETING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-07-2017 – 52 S. Washington St. - Request for Certificate of Appropriateness for a new front entrance plan at the Green Goddess retail business in the Downtown Historic District.

5. DISCUSSION

- a) Schedule a Special HPC meeting for Historic District Process Awareness
b) Potential updates of the Hinsdale Historical Society for Historic Tours App

6. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

September 13, 2017

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale
6:00 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on September 13, 2017, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger
and Commissioner Williams
Absent: Commissioner D'Arco, Commissioner Gonzalez and Commissioner
Willett
Also Present: Applicant for Case HPC-05-2017

Minutes

Chairman Bohnen introduced the minutes from the August 9, 2017, meeting and asked for any questions. The HPC reviewed and **unanimously approved, 4-0** (3 absent) the minutes.

Public Hearing – Certificate of Appropriateness

Case HPC-05-2017 – 434 E. Sixth Street – Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

The applicant reviewed the poor condition of the house and explained that the house has been vacant for 3 years. Mr. Coules also explained that the Census reported this house having “no style” in regards to historical architecture types. There were no questions by the HPC members, and with that, supported the request.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-05-2017

A motion to **approve** the Certificate of Appropriateness was unanimously approved 4-0, (3 absent) as submitted.

Signage in the Historic Downtown District

Case A-30-2017 — 50 S. Washington St., 2nd FL. – NL Custom Designs – 3 Window Signs application in the Historic Downtown District.

Village staff reviewed the request for window signage on the second floor of the building at 50 S. Washington Street. The HPC questioned the function of the signs because it is on the second floor and not noticeable from the street. There were also concerns for the language of

the Code, to allow each tenant up to 25 SF of signage in a multi-tenant building. In this example, the HPC expressed that each floor could potentially have 4 tenants, which allowed 100 SF of signage on the windows. The general consensus was to consider the bay window as a single window, with 3 bays. Additional concerns for the possibilities for cluttering based on the current Code ensued.

A motion to recommend the Plan Commission to review the language of the sign code regarding window signage and multi-tenant buildings was **unanimously approved, 4-0** (3 absent).

Case A-31-2017 – 33-37 Washington St.– Starbucks – 2 Sign Replacements in the Historic Downtown District

Village staff reviewed the request to replace the existing signage at the downtown Starbucks. In general, the HPC had no issues with the requested signs.

A motion to **approve** the sign application, as submitted, was **unanimously approved, 4-0** (3 absent)

Discussion Items

304 S. Lincoln Street – (Case HPC-04-2016)

Chairman Bohnen asked the HPC if they have seen the updated porch rails at 304 S. Lincoln Street in relation to the approved Certificate of Appropriateness. Due to the absence of 3 Commissioners, and requested update from the architect, Chairman Bohnen asked that this discussion item be carried over for next month's HPC meeting.

Schedule a Special HPC meeting for Historic District Process Awareness

Chairman Bohnen reviewed that the HPC should explore ways to promote the Historic District Certificate of Appropriateness process to receive housing plans as soon as possible. Since the Certificate of Appropriateness is advisory only for new construction homes in the Robbins Park District, the issue expressed by the HPC is that their recommendations to the architects and homebuilders are too late by the time they receive it for the public hearing. Chairman Bohnen requested that this discussion item be carried over for next month's HPC meeting.


In relation to Historic Preservation Awareness, staff from the Hinsdale Historic Society (HHS) visited the HPC to give the group/public an update with the Zook House mobile app. (The correspondence to the visit was received after the September 13 HPC agenda packet was delivered, but is attached as Attachment 2) It was explained, rather than launch the app on Sunday, September 17, 2017, as conveyed to the HPC at the June 14, 2017, meeting, the HHS is adding additional features to the app, which will take additional time to develop.

The new launch date is approximately October, along with the Hinsdale Kitchen Walk event by the HHS in October. A few Commissioners expressed concerns about the Kitchen Walk event possibly overshadowing the app launch. However, the HPC believed the delay for a better quality app is justifiable.

Adjournment

Commissioner Bohnen asked for a motion to adjourn. The HPC unanimously agreed to adjourn at 7:02 PM. on September 13, 2017.

Respectfully Submitted,

 , Village Planner

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
Case No. HPC-05-2017)
434 East Sixth Street.)

REPORT OF PROCEEDINGS had and testimony
taken at the Certificate of Appropriateness
Public Hearing of the above-entitled matter
before the Hinsdale Historic Preservation
Commission, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 13th day of September 2017, at
the hour of 6:00 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SANDRA WILLIAMS, Member;

MR. JIM PRISBY, Member; and

MS. SHANNON WEINBERGER, Member.

<p style="text-align: right;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MR. CHAN YU, Village Planner;</p> <p>3 MR. PETER COULES, Attorney for</p> <p>4 Applicant;</p> <p>5 MR. JIM GARBER, Applicant.</p> <hr/> <p>6 CHAIRMAN BOHNEN: I'm going to open the</p> <p>7 public hearing for certificate of</p> <p>8 appropriateness for Case HPC-05-2017 for the</p> <p>9 home at 434 East Sixth Street.</p> <p>06:05:10PM 10 Mr. Coules?</p> <p>11 MR. COULES: Thank you, Mr. Bohnen.</p> <p>12 Good evening, everyone. I represent -- it's</p> <p>13 actually Garber backwards if anyone caught on,</p> <p>14 the owner of the property Rebrag, Inc. Jim</p> <p>15 Garber is here to explain anything we need to</p> <p>16 explain on the new house that's being proposed</p> <p>17 to be built.</p> <p>18 So it was an interesting house to</p> <p>19 go visit as you can see by the pictures I put in</p> <p>06:05:30PM 20 your package. It's been empty almost three</p> <p>21 years now. Elizabeth Pyle, the next-door</p> <p>22 neighbor, actually came out, and I know the Pyle</p>	<p style="text-align: right;">4</p> <p>1 beautiful, amazing.</p> <p>2 The house that's being proposed</p> <p>3 does not maximize the FAR. They are already</p> <p>4 getting back their second comments because they</p> <p>5 are in for permits, so they are getting very</p> <p>6 close to being able to start the property.</p> <p>7 There are people that are already</p> <p>8 going to have the house built for themselves.</p> <p>9 This is not a spec home. These are actual</p> <p>06:06:52PM 10 people that lived in Hinsdale, sold their house,</p> <p>11 they are renting for a year, found this to be</p> <p>12 the right property for them and they are going</p> <p>13 to be coming back into town.</p> <p>14 So I just took some pictures to</p> <p>15 show. It's kind of strange, you walk up and</p> <p>16 down different levels all over the house,</p> <p>17 besides the kids getting in there and beating it</p> <p>18 all up.</p> <p>19 This shows the ceiling lines that</p> <p>06:07:10PM 20 go up and shows the two different additions</p> <p>21 going one next to the other. So basically what</p> <p>22 we have going on here is we have a house that</p>
<p style="text-align: right;">3</p> <p>1 family, and she's, like, please tell me this</p> <p>2 house is coming down was her direct quote to me.</p> <p>3 Because kids go in and vandalize it. That's why</p> <p>4 I showed some of the pictures.</p> <p>5 What was really interesting -- and</p> <p>6 this house is not registered in any historic</p> <p>7 registries -- was when the census was done for</p> <p>8 Sixth Street, this was the only house on the</p> <p>9 block where it said no style. Found it rather</p> <p>06:05:58PM 10 interesting. There's a Tudor, there's a</p> <p>11 colonial revival, there's a Queen Anne, there's</p> <p>12 a contemporary and this was no style.</p> <p>13 And the reason being, as you can</p> <p>14 see from the photographs, is they did different</p> <p>15 additions over time and one has a long tall side</p> <p>16 vaulted ceiling which matches nothing. They</p> <p>17 just attached on to the fireplace and attached a</p> <p>18 two-car garage on to the front.</p> <p>19 So a lot of things were done since</p> <p>06:06:28PM 20 it was built in 1949, but the beautiful part was</p> <p>21 the backyard is going to be kept in its</p> <p>22 entirety. The backyard of this property is</p>	<p style="text-align: right;">5</p> <p>1 doesn't really have any kind of significance</p> <p>2 architecturally. I believe Mr. Prisby would</p> <p>3 agree with me being an architect sitting on the</p> <p>4 board.</p> <p>5 It's something that's been an</p> <p>6 eyesore and on the market -- it actually sat</p> <p>7 vacant for three years, was on the market almost</p> <p>8 two and a half, people moved out and it was</p> <p>9 being originally marketed by them when it was</p> <p>06:07:36PM 10 empty. Then it's been on the market for almost</p> <p>11 a little over two and a half years, empty three</p> <p>12 years total.</p> <p>13 So it was bought by Rebrag, Garber</p> <p>14 backwards, and they are in the process of</p> <p>15 presenting the house. It's called a -- we had</p> <p>16 to ask the architect because Jim Garber and</p> <p>17 myself didn't know what it was called. It's</p> <p>18 called a Belgium farmhouse is what people</p> <p>19 propose for the property. It's being proposed</p> <p>06:08:00PM 20 to be in Chicago common brick with cream siding.</p> <p>21 It's not another gray house; it's not a white</p> <p>22 house. There's a white house to the one side of</p>

<p style="text-align: center;">6</p> <p>1 it and it's going to fit in very nice with the</p> <p>2 neighborhood. No variances being requested or</p> <p>3 anything. They are ready to go forward on the</p> <p>4 house. The proposal was to tear it down and</p> <p>5 build a nice new home on this property.</p> <p>6 Like I said, Jim is here to answer</p> <p>7 any questions if anyone has questions about the</p> <p>8 new house.</p> <p>9 CHAIRMAN BOHNEN: Ladies?</p> <p>06:08:30PM 10 MS. WEINBERGER: So the whole facade is</p> <p>11 reclaimed Chicago brick?</p> <p>12 MR. COULES: Is it all reclaimed?</p> <p>13 MR. GARBER: Yes, all of it is. There</p> <p>14 is some siding on it as well. It's about 70</p> <p>15 percent brick.</p> <p>16 MR. COULES: The siding is that cream</p> <p>17 color. And it is reclaimed Chicago brick.</p> <p>18 CHAIRMAN BOHNEN: Jim, any comments?</p> <p>19 MR. PRISBY: Demo. No issues at all.</p> <p>06:08:58PM 20 Done. The house is a disaster. Still looking</p> <p>21 at the design.</p> <p>22 CHAIRMAN BOHNEN: This is a custom</p>	<p style="text-align: center;">8</p> <p>1 MS. WILLIAMS: So moved.</p> <p>2 CHAIRMAN BOHNEN: Second, please?</p> <p>3 MS. WEINBERGER: Second.</p> <p>4 CHAIRMAN BOHNEN: All in favor?</p> <p>5 (All aye.)</p> <p>6 Thank you very much.</p> <p>7 MR. COULES: Thank you.</p> <p>8 (WHICH, were all of the</p> <p>9 proceedings had, evidence</p> <p>10 offered or received in the</p> <p>11 above entitled cause.)</p> <p>12</p> <p>13</p> <p>14</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p>
<p style="text-align: center;">7</p> <p>1 home?</p> <p>2 MR. COULES: Correct. It's not a spec,</p> <p>3 John, you are correct. People are really</p> <p>4 interested in going and getting into their home.</p> <p>5 MS. WILLIAMS: It is noncontributing to</p> <p>6 the historic district obviously. It is a</p> <p>7 1950ish home and I don't think it has any</p> <p>8 redeeming qualities.</p> <p>9 MR. COULES: I personally think the</p> <p>06:09:40PM 10 house was named at one point because the man was</p> <p>11 an architect who originally lived there. So I</p> <p>12 think that's the only reason why -- the house --</p> <p>13 sometimes houses get names. I think it was</p> <p>14 named after him because he stamped the plans.</p> <p>15 CHAIRMAN BOHNEN: Do we have any</p> <p>16 questions for Mr. Coules?</p> <p>17 (No response.)</p> <p>18 Do we have any questions for</p> <p>19 Mr. Garber?</p> <p>06:10:14PM 20 (No response.)</p> <p>21 May I have a motion to approve the</p> <p>22 certificate of appropriateness, please?</p>	<p style="text-align: center;">9</p> <p>1 STATE OF ILLINOIS)</p> <p style="text-align: center;">) ss:</p> <p>2 COUNTY OF DU PAGE)</p> <p>3 I, KATHLEEN W. BONO, Certified</p> <p>4 Shorthand Reporter, Notary Public in and for the</p> <p>5 County DuPage, State of Illinois, do hereby</p> <p>6 certify that previous to the commencement of the</p> <p>7 examination and testimony of the various</p> <p>8 witnesses herein, they were duly sworn by me to</p> <p>9 testify the truth in relation to the matters</p> <p>10 pertaining hereto; that the testimony given by</p> <p>11 said witnesses was reduced to writing by means</p> <p>12 of shorthand and thereafter transcribed into</p> <p>13 typewritten form; and that the foregoing is a</p> <p>14 true, correct and complete transcript of my</p> <p>15 shorthand notes so taken aforesaid.</p> <p>16 IN TESTIMONY WHEREOF I have</p> <p>17 hereunto set my hand and affixed my notarial</p> <p>18 seal this 20th day of September, A.D. 2017.</p> <p>19</p> <p style="text-align: right;">KATHLEEN W. BONO,</p> <p>20 C.S.R. No. 84-1423,</p> <p style="text-align: right;">Notary Public, DuPage County</p> <p>21</p> <p>22</p>

1	architecturally [1] - 5:2 attached [2] - 3:17 Attorney [1] - 2:3 Avenue [1] - 1:12 aye [1] - 8:5	4:13 commencement [1] - 9:6 comments [2] - 4:4, 6:18 COMMISSION [1] - 1:3 Commission [1] - 1:12 common [1] - 5:20 complete [1] - 9:14 contemporary [1] - 3:12 correct [3] - 7:2, 7:3, 9:14 COULES [7] - 2:3, 2:11, 6:12, 6:16, 7:2, 7:9, 8:7 Coules [2] - 2:10, 7:16 County [2] - 9:5, 9:20 COUNTY [2] - 1:2, 9:2 cream [2] - 5:20, 6:16 custom [1] - 6:22	evidence [1] - 8:9 examination [1] - 9:7 explain [2] - 2:15, 2:16 eyesore [1] - 5:6	I
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Chan Yu

From: Executive Director <Director@hinsdalehistory.org>
Sent: Friday, September 08, 2017 4:43 PM
To: Chan Yu
Subject: Historic Tours App Update
Attachments: Historic Tours App Update.pdf

Hi Chan -

We wanted to update the Historic Preservation Commission on the progress of the Historic Tours App. Please find an attached letter to submit in their meeting packet for next week.

Thanks!

Lynne Mickle Smaczny
Executive Director
Hinsdale Historical Society
630-789-2600
www.hinsdalehistory.org



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MEMORANDUM

DATE: October 11, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 418 S. Park Avenue – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – H-06-2017

Summary

The Village of Hinsdale has received an application from Julie Laux of J Jordan Homes, LLC, and requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 418 S. Park Street. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot in the Robbins Park Historic District. The existing home was constructed in 1952, designed by Philip Duke West, and also known as the Mrs. R. W. McKinstry House. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted plat of survey, it is a legal nonconforming R-1 lot that is 14,791.84 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure to the Robbins Park Historic District.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

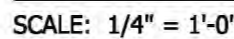
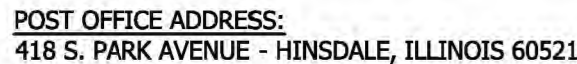
The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)



EXPIRES 11/30/2018
IL DESIGN FIRM NO.
184.007497

J.JORDAN HOMES
418 S. PARK AVENUE HINSDALE, IL

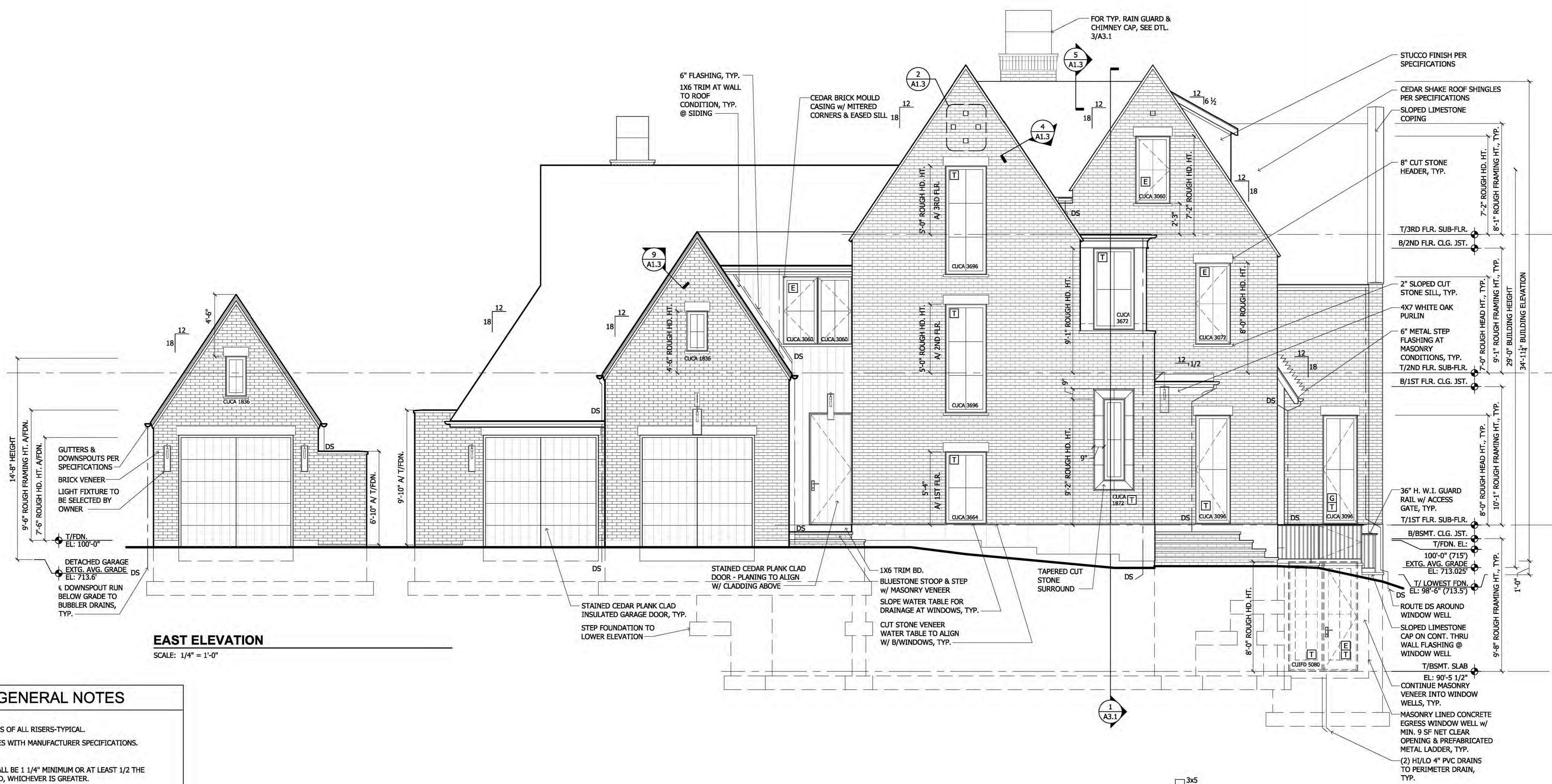
ISSUE/REVISION:	

JOB NUMBER: 17 21

DATE: 08 21 2017

EXTERIOR
ELEVATION
& PLUMBING
RISER
DIAGRAMS

A1.2



EAST ELEVATION
SCALE: 1/4" = 1'-0"

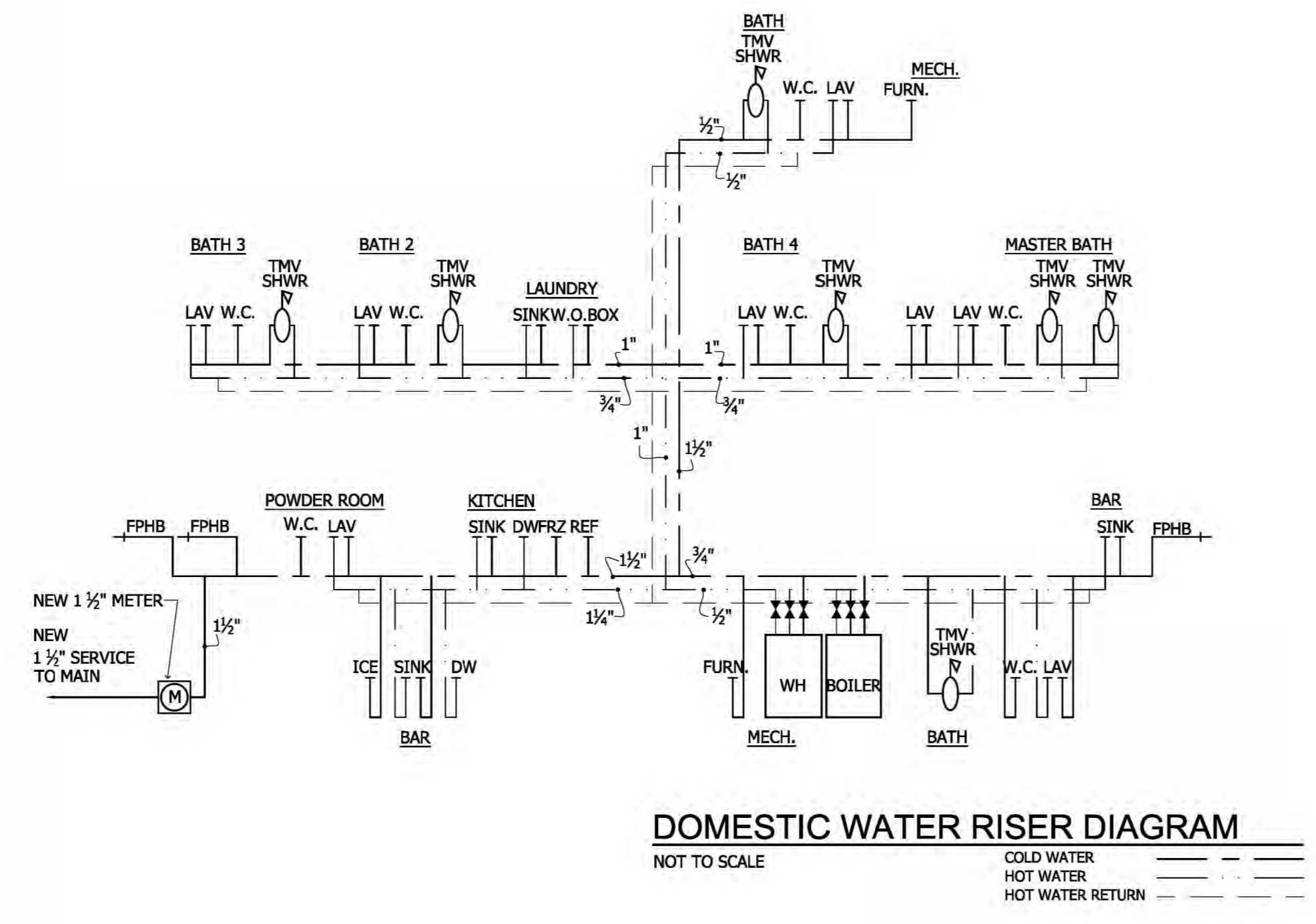
PLUMBING RISER GENERAL NOTES

1. ALL SUPPLY PIPING TO BE TYPE "K" COPPER U.N.O..
2. PROVIDE 12" AIR HAMMER AT ALL FIXTURES & AT TOPS OF ALL RISERS-TYPICAL.
3. VERIFY ALL FIXTURE & EQUIPMENT CONNECTION SIZES WITH MANUFACTURER SPECIFICATIONS.
4. ALL WATER CLOSET VENTS SHALL BE 2" MINIMUM.
5. THE DIAMETER OF AN INDIVIDUAL FIXTURE VENT SHALL BE 1 1/4" MINIMUM OR AT LEAST 1/2 THE DIAMETER OF THE DRAIN TO WHICH IT IS CONNECTED, WHICHEVER IS GREATER.
6. ALL UNDERGROUND WASTE PIPING TO BE CAST IRON.
7. ALL GAS POWERED WATER HEATERS, BOILERS, ETC. TO BE VENTED PER CODE.
8. TIE NEW LINES TO EXISTING AS REQUIRED. VERIFY EXISTING CONDITIONS & PIPE SIZES IN FIELD.
9. GC TO COORDINATE REQUIREMENTS / ANY REQUIRED INCREASE IN WATER SERVICE FOR OWNER'S SPRINKLER SYSTEM.
10. COPPER LINES SHALL NOT HAVE DIRECT CONTACT W/ SLAB OR CONCRETE WORK.

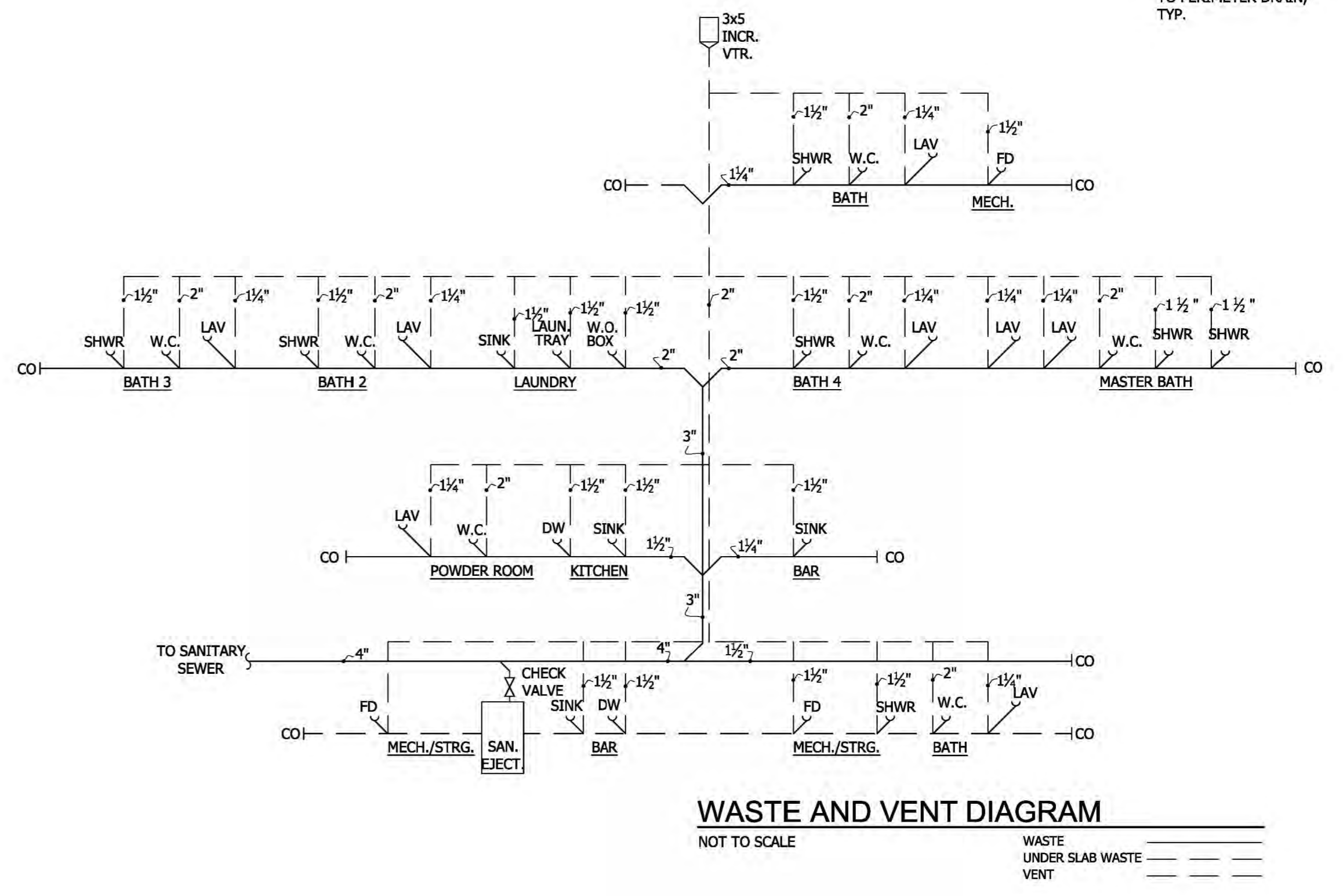
FIXTURE CONNECTION SIZES & QUANTITIES

FIXTURE TYPE	FIXTURE QUANTITY	SUPPLY					DRAINAGE		
		SUPPLY FIXTURES PER UNIT			TOTAL SUPPLY FIXTURE UNITS	FIXTURE SUPPLY PIPE SIZE	DRAINAGE E FIXTURES PER UNIT	TOTAL DRAINAGE E FIXTURE UNITS	FIXTURE DRAIN TRAP SIZE
		COLD	HOT	TOTAL					
WATER CLOSET	7	3	0	3	21	3/8"	4	28	3"
LAVATORY	8	0.75	0.75	1.5	12	3/8"	1	8	1 1/4"
SHOWER STALL / TUB	7	1.5	1.5	3	21	1/2"	3	21	2"
WHIRLPOOL	0	1.5	1.5	3	0	1/2"	3	0	2"
STEAM UNIT	0	1	0	1	0	3/8"	0	0	-
KITCHEN SINK	3	1.5	1.5	3	9	1/2"	2	6	1 1/2"
DISHWASHER	2	0	1	1	2	1/2"	2	4	1 1/2"
LAUNDRY SINK	1	1.5	1.5	3	3	1/2"	2	2	1 1/2"
LAUNDRY DRAIN PAN	1	0	0	0	0	-	3	3	1 1/2"
WASHER OUTLET BOX	1	2.25	2.25	4.5	5	1/2"	3	3	1 1/2"
FLOOR DRAIN	3	0	0	0	0	-	3	9	2"
HOSE BIBB	3	2.5	0	2.5	8	1/2"	0	0	-
RAINHEAD SHOWER	0	0.5	0.5	1	0	1/2"	3	0	2"
POT FILLER	0	1.5	1.5	3	0	1/2"	-	-	-
TOTAL FIXTURE UNITS:					80			84	
NOTES:									

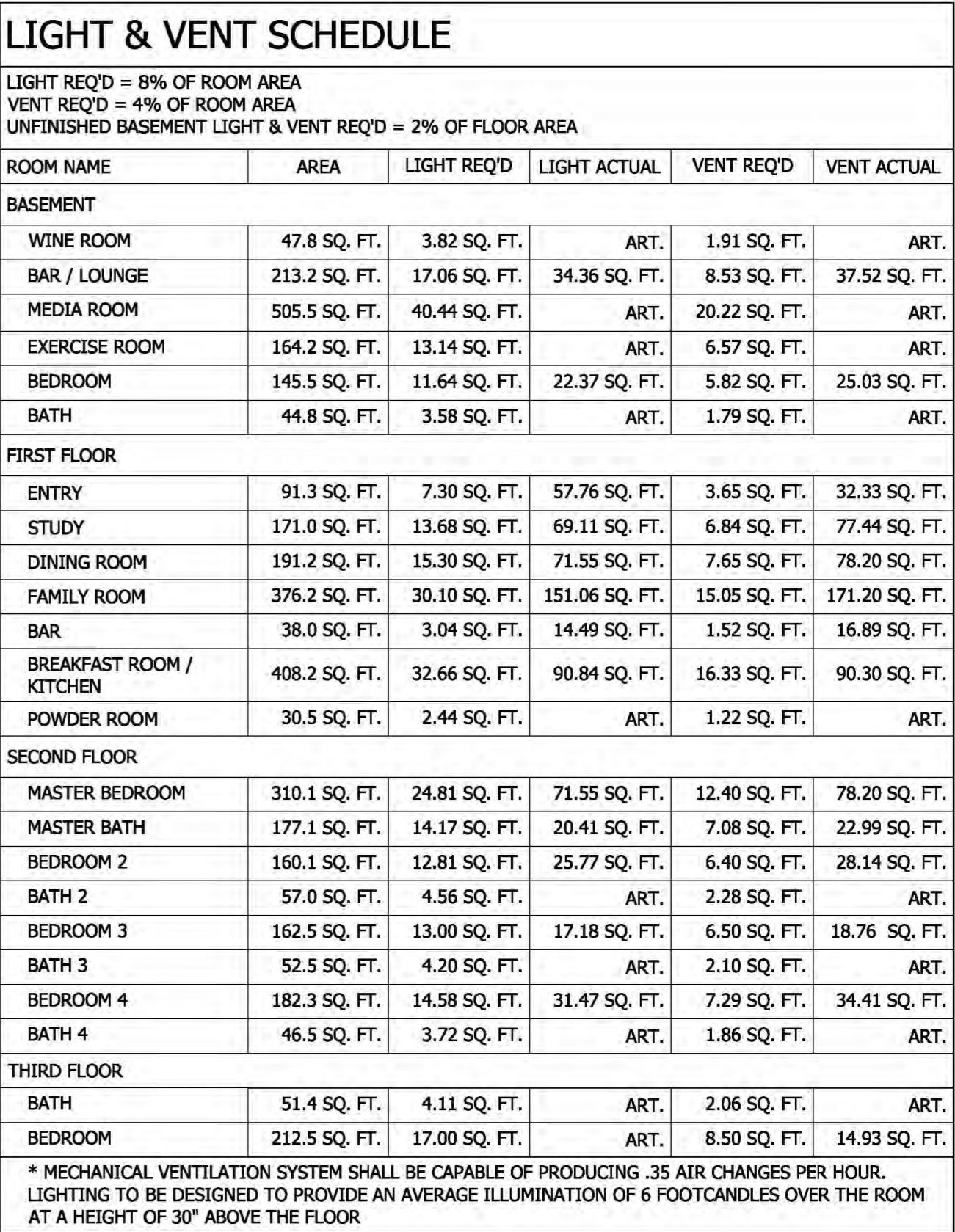
NOTE:
ALL SUPPLY & DRAINAGE FIXTURE UNITS, SUPPLY PIPE SIZES, DRAIN TRAP SIZES & VENT SIZES ARE PER ILLINOIS PLUMBING CODE, 2014 EDITION.

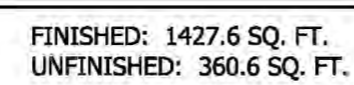


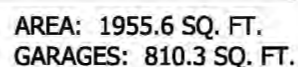
DOMESTIC WATER RISER DIAGRAM
NOT TO SCALE

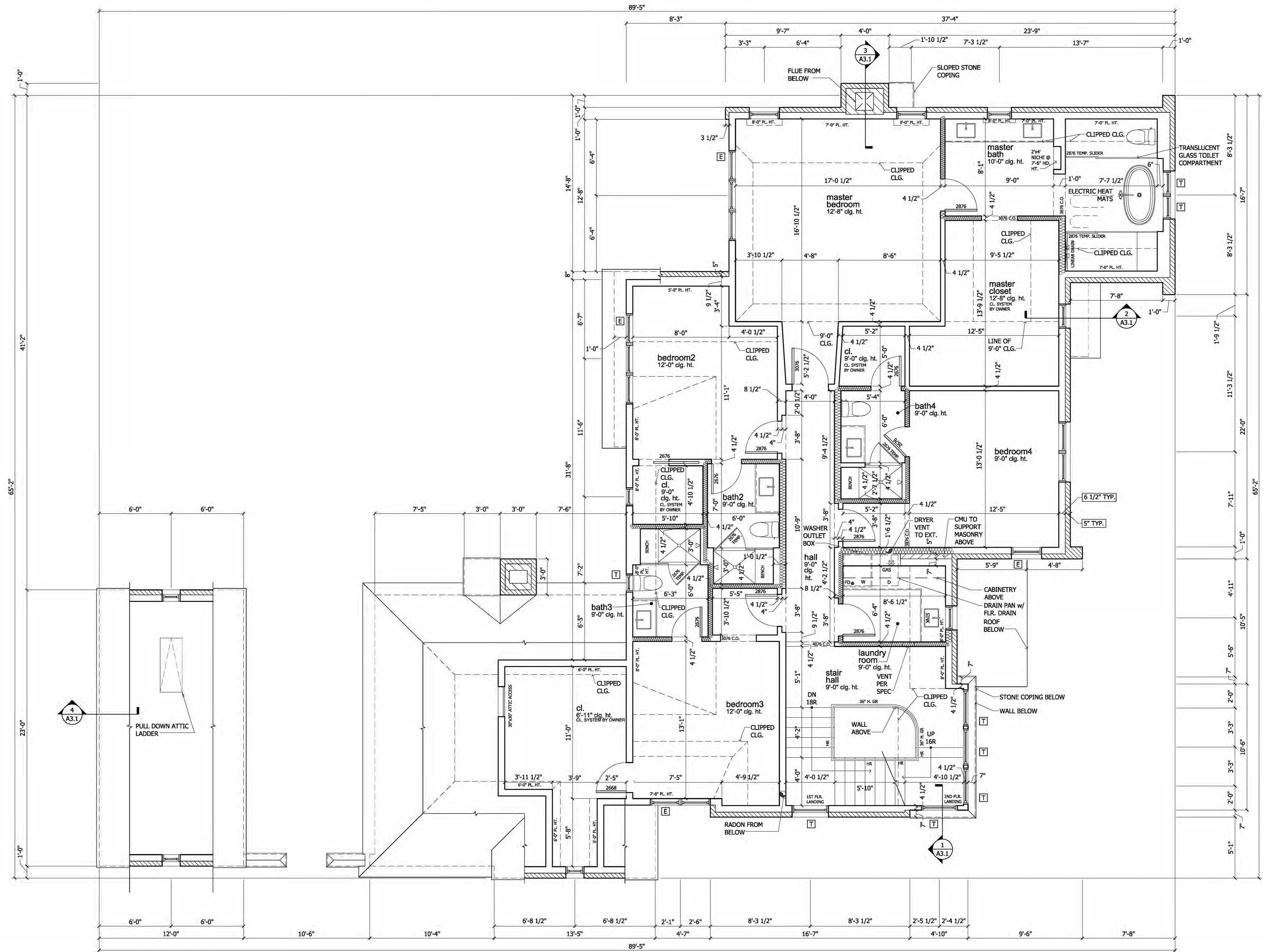


WASTE AND VENT DIAGRAM
NOT TO SCALE

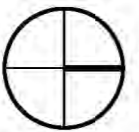
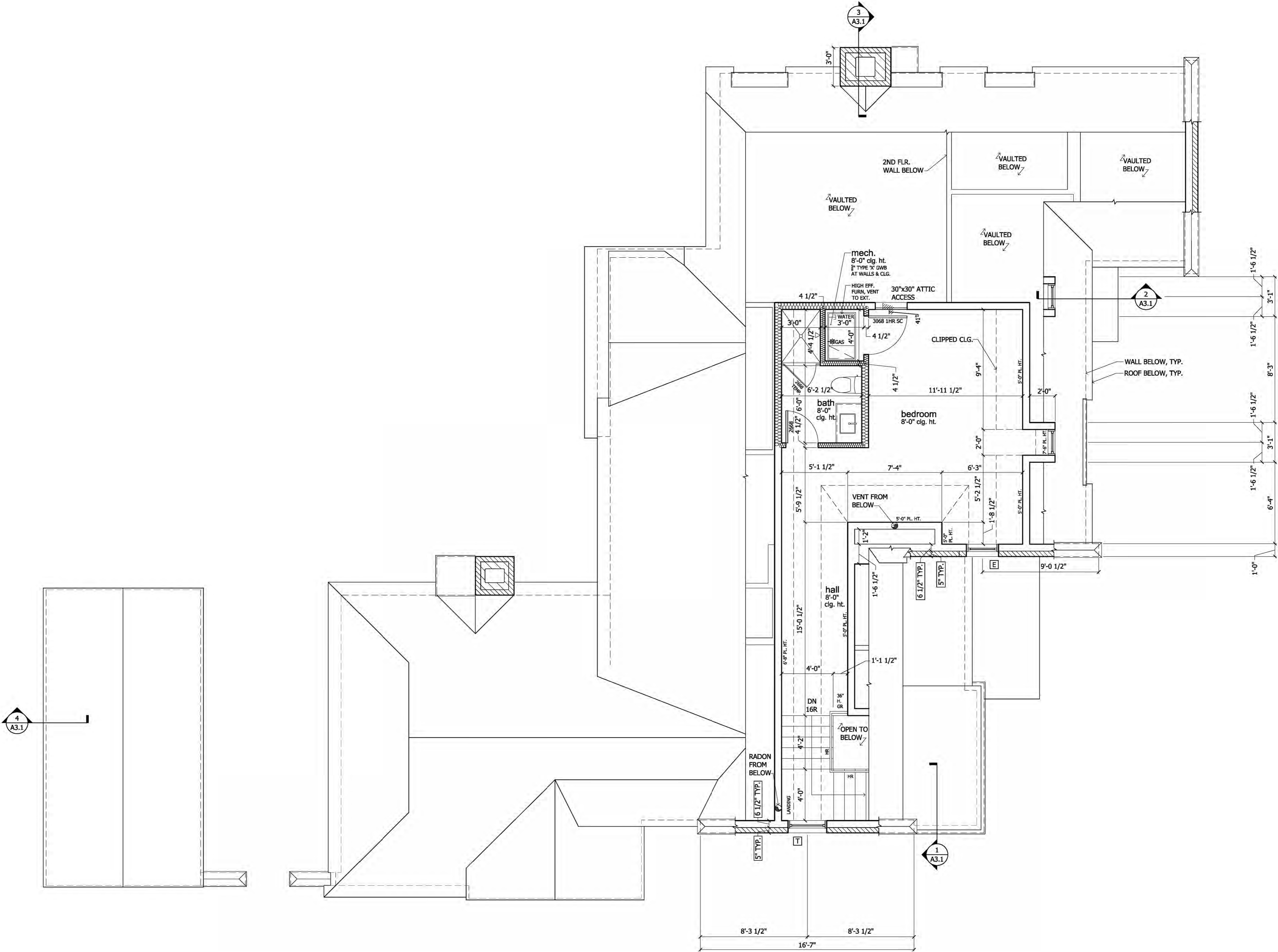








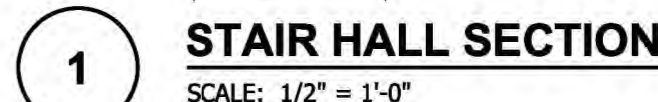
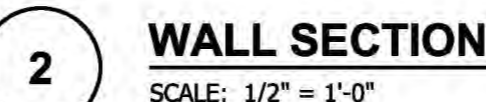
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
2138.1 SQ. FT.



THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA: 460.5 SQ. FT.



STRUCTURAL LEGEND

(SEE PLANS FOR MORE INFORMATION)

STEEL BEAM

MICROLAM BEAM

DIMENSIONAL LUMBER BEAM

STANDARD STEEL PIPE

COL., SEE POST LEGEND

WOOD POST, SEE POST LEGEND

LOAD BEARING WALL

LOAD BEARING WALL ABOVE

STRUCTURAL NOTES

DESIGN LOADS PER IRC R301.3 & R301.4:

EXTERIOR BALCONIES:

DECK:

ATTICS W/O STORAGE:

ATTICS W/ STORAGE:

ROOMS OTHER THAN SLEEPING ROOMS:

SLEEPING ROOMS:

STONE FLOORING:

SLEEPING ROOMS:

STAIRS:

GUARDRAILS & HANDRAILS:

DEAD LOAD

LIVE LOAD

60 PSF

7 PSF

40 PSF

7 PSF

10 PSF

10 PSF

20 PSF

10 PSF

40 PSF

15 PSF

40 PSF

20PSF

30 PSF

10 PSF

40 PSF

10 PSF

200 PSF

ALL RAFTERS TO BE SPF #2 X 10'S @ 16" O.C. U.N.O.

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE U.N.O.

EXTERIOR WALL BRACING TO BE CS-WSP PER IRC 602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

BRACED WALL PER IRC 602.10.1. TO BE 1/2" G.W.B. FASTENED W/ 1 1/4" SCREWS, TYPE W OR S @ 7" O.C. PER SCHEDULE R602.3(1)

POST LEGEND

ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O.

P1 (3) 2X4 POST

P2 (3) 2X6 POST

P3 3 1/2" X 3 1/2" PARALLAM PSL POST

P4 3 1/2" X 5 1/4" PARALLAM PSL POST

P5 5 1/4" X 5 1/4" PARALLAM PSL POST

P6 3 1/2" X 7" PARALLAM PSL POST

P7 5 1/4" X 7" PARALLAM PSL POST

P8 7" X 7" PARALLAM PSL POST

P9 TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR

P10 TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR

P11 (4) 2X4 POST

P12 (4) 2X6 POST

C1 3" DIA. STD. STL. PIPE

C2 3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION

C3 4" DIA. STD. STL. PIPE

STEEL MASONRY LINTELS

CLEAR SPAN (MAX.)	EXTERIOR ANGLES
4'-0"	3 1/2" X 3 1/2" X 5/16"
6'-0"	4" X 3 1/2" X 5/16"
8'-0"	5" X 3 1/2" X 5/16"

IN-CONSTRUCTION BEAM DETAIL

SCALE: 3/4" = 1'-0"

FLASHING AT MASONRY WALL BASE

SCALE: 3/4" = 1'-0"

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

T/FDN. = 100'-0" = 715.0'

moment] DESIGN
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EXPIRES 11/30/2018
IL DESIGN FIRM NO.
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418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:
JOB NUMBER: 17 21
DATE: 08 21 2017

FOUNDATION
& 1ST FLOOR
FRAMING PLAN
& DETAILS

S1.1

STRUCTURAL LEGEND

(SEE PLANS FOR MORE INFORMATION)

---	STEEL BEAM
=====	MICROLAM BEAM
=====	DIMENSIONAL LUMBER BEAM
o	STANDARD STEEL PIPE COL., SEE POST LEGEND
■	WOOD POST, SEE POST LEGEND
XXXXXX	LOAD BEARING WALL
---	LOAD BEARING WALL ABOVE

STRUCTURAL NOTES

DESIGN LOADS PER IRC R301.3 & R301.4:

	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES:	60 PSF	7 PSF
DECK:	40 PSF	7 PSF
ATTICS W/O STORAGE:	10 PSF	10 PSF
ATTICS W/ STORAGE:	20 PSF	10 PSF
ROOMS OTHER THAN SLEEPING ROOMS:		
CARPETS & HARDWOOD:	40 PSF	15 PSF
STONE FLOORING:	40 PSF	20PSF
SLEEPING ROOMS:	30 PSF	10 PSF
STAIRS:	40 PSF	10 PSF
GUARDRAILS & HANDRAILS:	200 PSF	

ALL RAFTERS TO BE SPF #2 2 X 10'S @ 16" O.C. U.N.O.

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE U.N.O.

EXTERIOR WALL BRACING TO BE CS-WSP PER IRC 602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

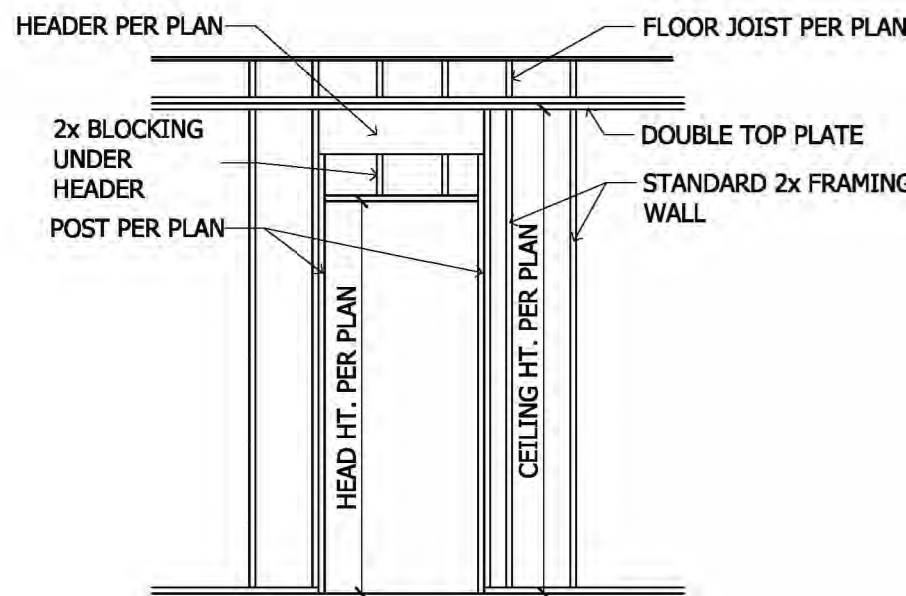
BRACED WALL PER IRC 602.10.1 TO BE 1/2" G.W.B. FASTENED W/ 1 1/4" SCREWS, TYPE W OR S @ 7" O.C. PER SCHEDULE R602.3(1)

POST LEGEND

ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O.		
P1	(3) 2X4 POST	
P2	(3) 2X6 POST	
P3	3 1/2" X 3 1/2" PARALLAM PSL POST	
P4	3 1/2" X 5 1/4" PARALLAM PSL POST	
P5	5 1/4" X 5 1/4" PARALLAM PSL POST	
P6	3 1/2" X 7" PARALLAM PSL POST	
P7	5 1/4" X 7" PARALLAM PSL POST	
P8	7" X 7" PARALLAM PSL POST	
P9	TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR	
P10	TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR	
P11	(4) 2X4 POST	
P12	(4) 2X6 POST	
C1	3" DIA. STD. STL. PIPE	
C2	3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION	
C3	4" DIA. STD. STL. PIPE	

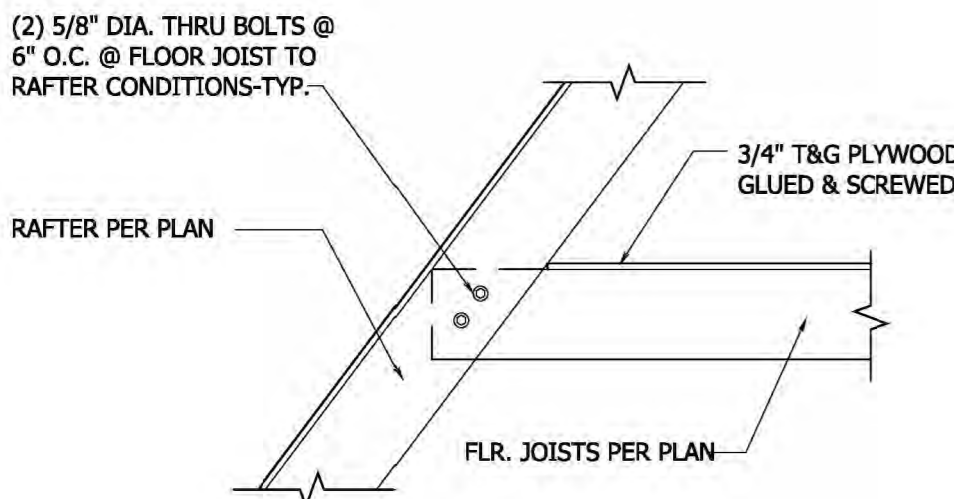
STEEL MASONRY LINTELS

CLEAR SPAN (MAX.)	EXTERIOR ANGLES
4'-0"	3 1/2" X 3 1/2" X 5/16"
6'-0"	4" X 3 1/2" X 5/16"
8'-0"	5" X 3 1/2" X 5/16"



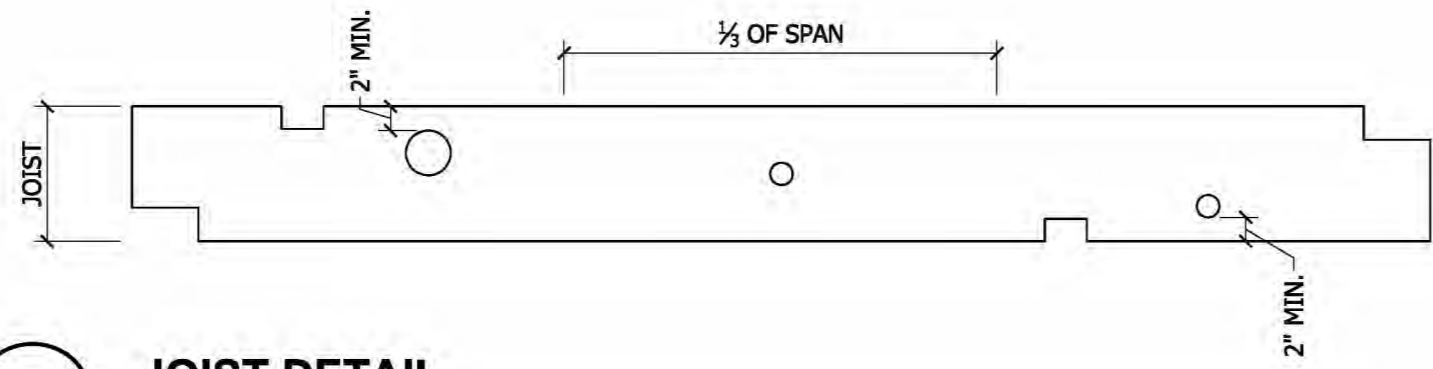
HEADER DETAIL

SCALE: 1/4" = 1'-0"



FLOOR JOIST TO RAFTER DETAIL

SCALE: 1/2" = 1'-0"



JOIST DETAIL

SCALE: 3/4" = 1'-0"

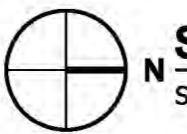
SECTION 502.8

NOTCHES IN THE TOP OR BOTTOM OF JOIST SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOISTS DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.

HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

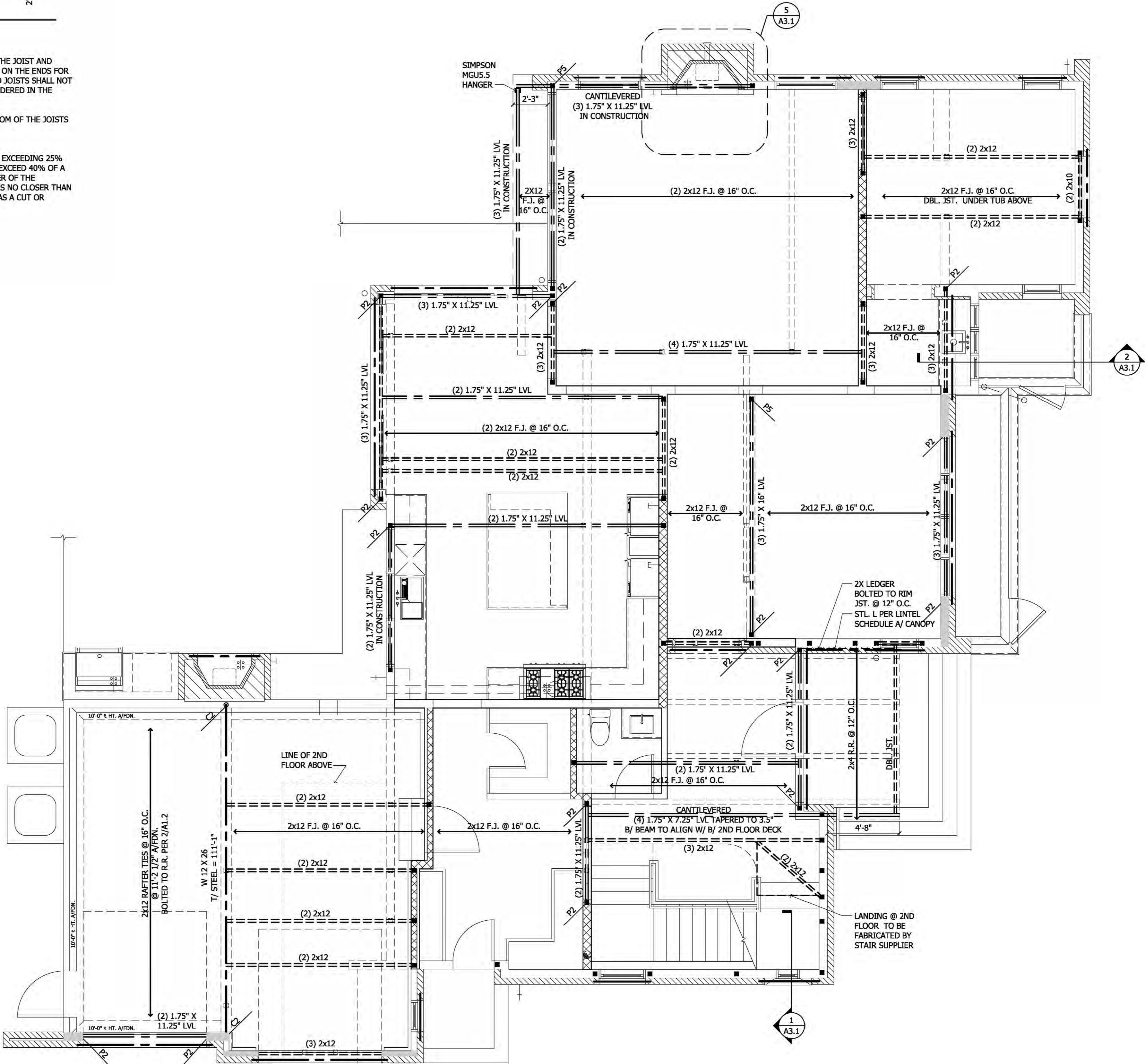
SECTION 602.6

ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NO TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 1 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



STRUCTURAL LEGEND

(SEE PLANS FOR MORE INFORMATION)

---	STEEL BEAM
=====	MICROLAM BEAM
=====	DIMENSIONAL LUMBER BEAM
o	STANDARD STEEL PIPE COL., SEE POST LEGEND
■	WOOD POST, SEE POST LEGEND
XXXXXX	LOAD BEARING WALL
----	LOAD BEARING WALL ABOVE

STRUCTURAL NOTES

DESIGN LOADS PER IRC R301.3 & R301.4:

	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES:	60 PSF	7 PSF
DECK:	40 PSF	7 PSF
ATTICS W/O STORAGE:	10 PSF	10 PSF
ATTICS W/ STORAGE:	20 PSF	10 PSF
ROOMS OTHER THAN SLEEPING ROOMS:		
CARPETS & HARDWOOD:	40 PSF	15 PSF
STONE FLOORING:	40 PSF	20PSF
SLEEPING ROOMS:	30 PSF	10 PSF
STAIRS:	40 PSF	10 PSF
GUARDRAILS & HANDRAILS:	200 PSF	

ALL RAFTERS TO BE SPF #2 2 X 10'S @ 16" O.C. U.N.O.

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE U.N.O.

EXTERIOR WALL BRACING TO BE CS-WSP PER IRC 602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

BRACED WALL PER IRC 602.10.1 TO BE 1/2" G.W.B. FASTENED W/ 1 1/4" SCREWS, TYPE W OR S @ 7" O.C. PER SCHEDULE R602.3(1)

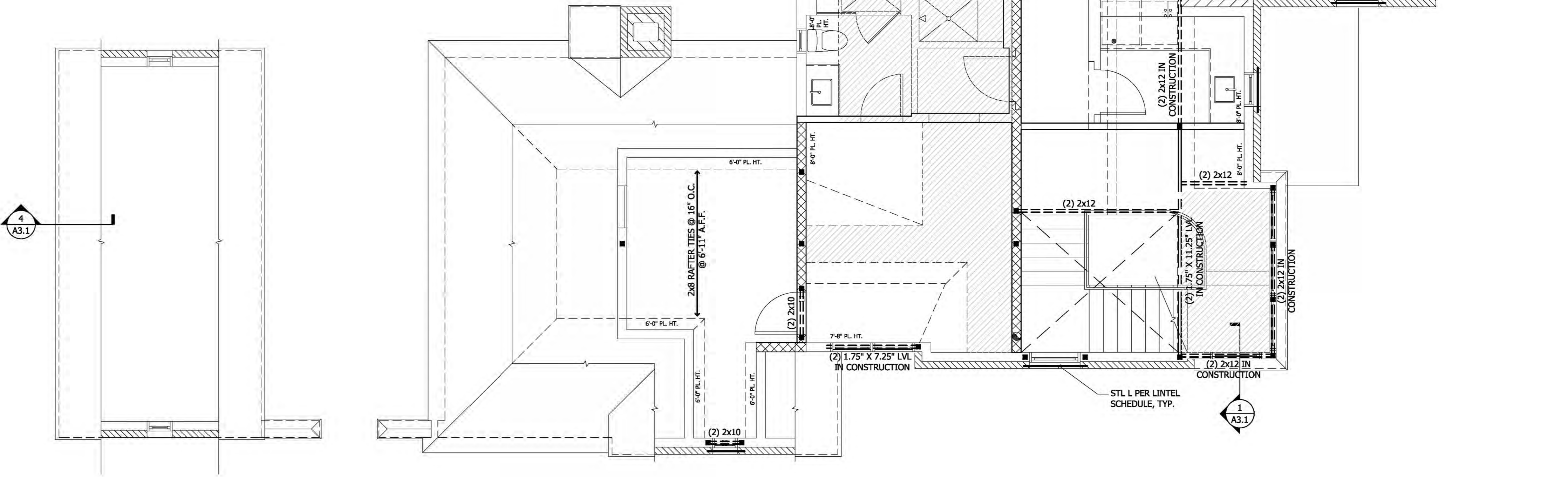
POST LEGEND

ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O.

P1	(3) 2X4 POST
P2	(3) 2X6 POST
P3	3 1/2" X 3 1/2" PARALLAM PSL POST
P4	3 1/2" X 5 1/4" PARALLAM PSL POST
P5	5 1/4" X 5 1/4" PARALLAM PSL POST
P6	3 1/2" X 7" PARALLAM PSL POST
P7	5 1/4" X 7" PARALLAM PSL POST
P8	7" X 7" PARALLAM PSL POST
P9	TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR
P10	TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR
P11	(4) 2X4 POST
P12	(4) 2X6 POST
C1	3" DIA. STD. STL. PIPE
C2	3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION
C3	4" DIA. STD. STL. PIPE

STEEL MASONRY LINTELS

CLEAR SPAN (MAX.)	EXTERIOR ANGLES
4'-0"	3 1/2" X 3 1/2" X 5/16"
6'-0"	4" X 3 1/2" X 5/16"
8'-0"	5" X 3 1/2" X 5/16"



THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

STRUCTURAL LEGEND

(SEE PLANS FOR MORE INFORMATION)

STEEL BEAM

MICROLAM BEAM

DIMENSIONAL LUMBER BEAM

STANDARD STEEL PIPE COL., SEE POST LEGEND

WOOD POST, SEE POST LEGEND

LOAD BEARING WALL

LOAD BEARING WALL ABOVE

POST LEGEND

ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS, U.N.O.

P1

(3) 2X4 POST

P2

(3) 2X6 POST

P3

3 1/2" X 3 1/2" PARALLAM PSL POST

P4

3 1/2" X 5 1/4" PARALLAM PSL POST

P5

5 1/4" X 5 1/4" PARALLAM PSL POST

P6

3 1/2" X 7" PARALLAM PSL POST

P7

5 1/4" X 7" PARALLAM PSL POST

P8

7" X 7" PARALLAM PSL POST

P9

TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR

P10

TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR

P11

(4) 2X4 POST

P12

(4) 2X6 POST

C1

3" DIA. STD. STL. PIPE

C2

3" DIA. STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION

C3

4" DIA. STD. STL. PIPE

STRUCTURAL NOTES

DESIGN LOADS PER IRC R301.3 & R301.4:

EXTERIOR BALCONIES:

DECK:

ATTICS W/O STORAGE:

ATTICS W/ STORAGE:

ROOMS OTHER THAN SLEEPING ROOMS:

SLEEPING ROOMS:

STONE FLOORING:

SLEEPING ROOMS:

STAIRS:

GUARDRAILS & HANDRAILS:

LIVE LOAD

60 PSF

40 PSF

10 PSF

20 PSF

40 PSF

40 PSF

30 PSF

40 PSF

200 PSF

DEAD LOAD

7 PSF

7 PSF

10 PSF

10 PSF

15 PSF

20PSF

10 PSF

10 PSF

ALL RAFTERS TO BE SPF #2 2 X 10'S @ 16" O.C. U.N.O.

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OFFSET JOISTS 4" FROM CENTER OF WALL ABOVE

ALL HEADERS TO BE (2) 2 X 12 & INSTALLED DIRECTLY UNDER FLOOR/CEILING JOISTS ABOVE U.N.O.

EXTERIOR WALL BRACING TO BE CS-WSP PER IRC 602.10.4 AND 602.3 U.N.O.

AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

BRACED WALL PER IRC 602.10.1 TO BE 1/2" G.W.B. FASTENED W/ 1 1/4" SCREWS, TYPE W OR S @ 7" O.C. PER SCHEDULE R602.3(1)

STEEL MASONRY LINTELS

CLEAR SPAN (MAX.)

EXTERIOR ANGLES

4'-0"

3 1/2" X 3 1/2" X 5/16"

6'-0"

4" X 3 1/2" X 5/16"

8'-0"

5" X 3 1/2" X 5/16"

The diagram is a detailed structural framing plan for the third floor ceiling. It shows a complex arrangement of structural elements including steel beams, posts, and masonry linteels. Key features include:

- Beams:** Various sizes of steel beams are shown, with labels like (2) 2x12, 2x8 RAFTER, and 2x12.
- Posts:** Posts are indicated by small squares and labeled with codes like P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, C1, C2, and C3.
- Lintels:** Steel masonry linteels are shown as horizontal lines with labels like 4'-0", 6'-0", and 8'-0".
- Dimensions:** Numerous dimensions are provided for beam spans, post spacings, and lintel lengths.
- Notes:** Several notes are present, such as "FURR DOWN CLG. TO HT. INDICATED ON PLAN AT SHADED AREAS TYP." and "STL L PER LINTEL SCHEDULE, TYP."
- Orientation:** A north arrow is located in the bottom left corner, pointing towards the top of the page.
- Scale:** The scale is given as 1/4" = 1'-0".

THIRD FLOOR
CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"

moment] DESIGN
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ISSUE/REVISION:

JOB NUMBER: 17 21
DATE: 08 21 2017

THIRD FLOOR
CEILING
FRAMING PLAN

S1.4

STRUCTURAL LEGEND

(SEE PLANS FOR MORE INFORMATION)

---	STEEL BEAM
=====	MICROLAM BEAM
=====	DIMENSIONAL LUMBER BEAM
o	STANDARD STEEL PIPE
■	COL., SEE POST LEGEND
■	WOOD POST, SEE POST LEGEND
XXXXXX	LOAD BEARING WALL
---	LOAD BEARING WALL ABOVE

STRUCTURAL NOTES

DESIGN LOADS PER IRC R301.3 & R301.4:

	LIVE LOAD	DEAD LOAD
EXTERIOR BALCONIES:	60 PSF	7 PSF
DECK:	40 PSF	7 PSF
ATTICS W/O STORAGE:	10 PSF	10 PSF
ATTICS W/ STORAGE:	20 PSF	10 PSF
ROOMS OTHER THAN SLEEPING ROOMS:		
CARPETS & HARDWOOD:	40 PSF	15 PSF
STONE FLOORING:	40 PSF	20PSF
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AREA OF OVERFRAME

AREA OF ALT. BRACING PER IRC R602.10.3.3

BRACED WALL PER IRC 602.10.1 TO BE 1/2" G.W.B. FASTENED W/ 11/4" SCREWS, TYPE W OR S @ 7" O.C. PER SCHEDULE R602.3(1)

POST LEGEND

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P4	3 1/2" X 5 1/4" PARALLAM PSL POST
P5	5 1/4" X 5 1/4" PARALLAM PSL POST
P6	3 1/2" X 7" PARALLAM PSL POST
P7	5 1/4" X 7" PARALLAM PSL POST
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STEEL MASONRY LINTELS

CLEAR SPAN (MAX.)	EXTERIOR ANGLES
4'-0"	3 1/2" X 3 1/2" X 5/16"
6'-0"	4" X 3 1/2" X 5/16"
8'-0"	5" X 3 1/2" X 5/16"

NOTE: ALL RIDGE BOARDS, HIPS, & VALLEY RAFTERS NOT TO BE LESS IN DEPTH THAN CUT END OF RAFTER SERVED.

PLYWOOD SHEATHING AS SPECIFIED

RIDGE BEAM PER PLAN
SOLID BLOCKING
ROOF RAFTERS AS SCHEDULED

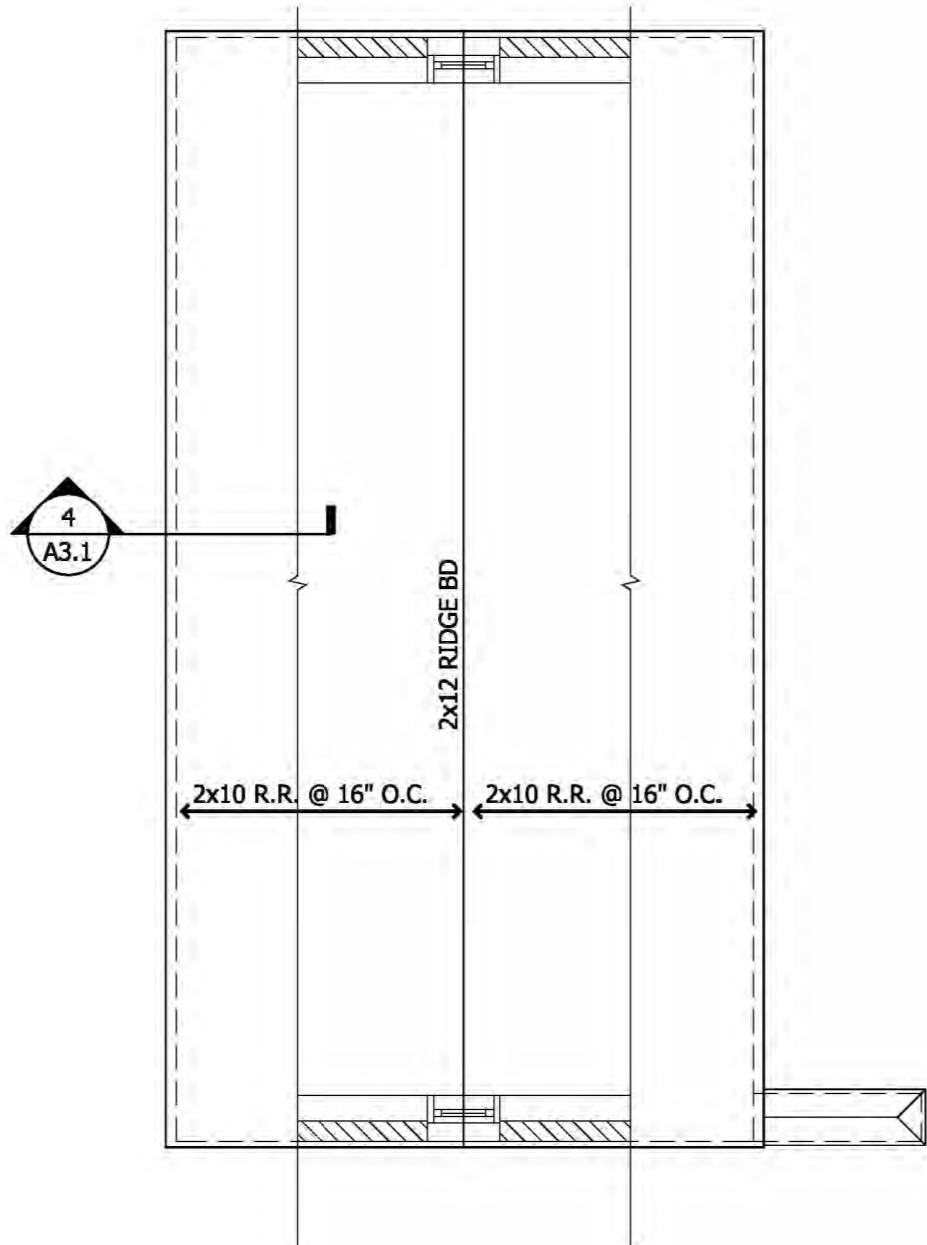
1 RIDGE DETAIL

SCALE: 3/4" = 1'-0"

RAFTER PER PLAN
ROOF SHEATHING
CONTINUOUS 2X BLOCKING ON EDGE TO RECEIVE RAFTERS

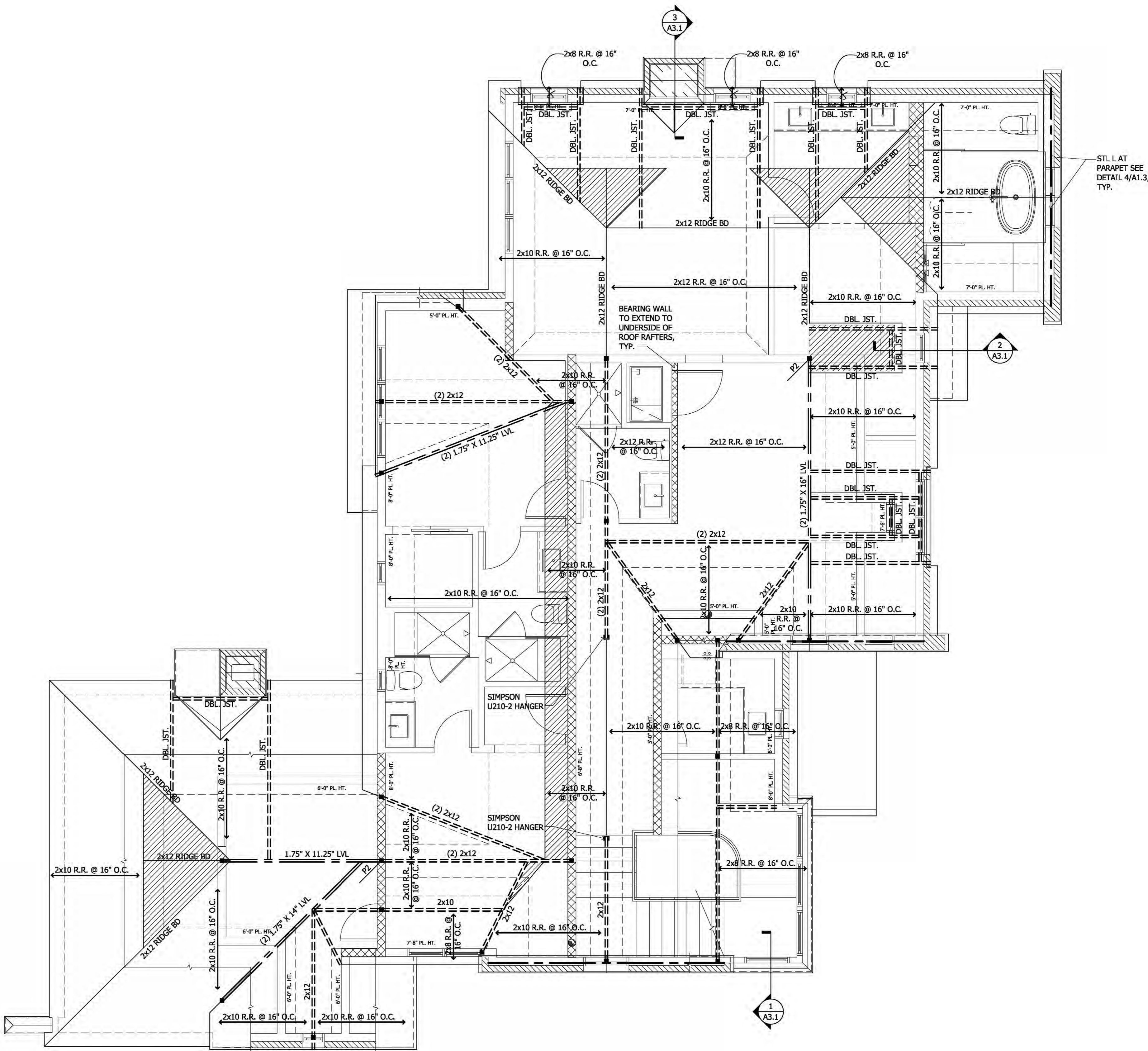
2 RAFTER OVERLAY DETAIL

SCALE: 1/2" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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ROOF
FRAMING PLAN

ELECTRICAL LEGEND

	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
	CEILING ELECTRICAL BOX FOR LIGHT FIXTURE	\$^1	3-WAY SWITCH
	RECESSED DOWNLIGHT IN CEILING/SOFFT DROPPED BEZEL	\$^4	4-WAY SWITCH
	RECESSED DIRECTIONAL	\$^0	DIMMER SWITCH
	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	⊖ GFI	GROUND FAULT INTERRUPT DUPLEX
	LOW VOLTAGE LIGHT	⊖ WP GFI	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/ "IN USE" COVER
	RECESSED RISER LIGHT	⊖	DEDICATED SINGLE PLUG RECEPTACLE
	FLUORESCENT FIXTURE W/WX LAMPS	⊖	DUPLEX RECEPTACLE
	TRACK LIGHTING	⊖	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
	ROPE LIGHT	⊖	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	⊖	SWITCHED CEILING MOUNTED DUPLEX RECEPTACLE
	EXHAUST FAN VENT TO EXTERIOR	⊖	QUAD RECEPTACLE
	LIGHT & FAN VENT TO EXTERIOR	⊖	220 V. OUTLET
	SMOKE DETECTOR DIRECT WIRE	⊖ GFI	FLOOR OUTLET
	CARBON MONOXIDE DETECTOR DIRECT WIRE	⊖	TELEPHONE
	INFRARED RADIANT HEATER	⊖ D	DATA
	CEILING FAN	⊖ TV	TELEVISION JACK
	DOOR BELL	⊖	DOOR BELL
	DOOR CHIME	⊖ CH	DOOR CHIME
	PROGRAMMABLE THERMOSTAT	⊖ T	PROGRAMMABLE THERMOSTAT
	CENTRAL VACUUM OUTLET	⊖ V	CENTRAL VACUUM OUTLET

ELECTRICAL GENERAL NOTES

1. INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
2. GFCI PROTECTION:
 - A. ALL GFCI OUTLETS TO BE LED TYPE.
 - B. UNFINISHED AREAS TO BE GFCI PROTECTED.
 - C. GFCI SWITCHES WILL PROTECT ALL FIXTURES IN ROOM (LIGHTS, FAN, OUTLETS)
3. SPACING OF ELECTRICAL OUTLETS:
 - A. GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS. N.E.C. 210-52(A).
 - B. KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 12" OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES. N.E.C. 210-52(C).
 - C. ALL OUTLETS TO BE TAMPER RESISTANT.
 - D. KITCHEN ISLAND RECEPTACLES SHALL NOT BE LOCATED BELOW A COUNTER OVERHANG OF 6" OR MORE.
4. ATTIC FIXTURES TO BE SPACED MAX DISTANCE OF 20'-0" O.C.
5. CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES TO BE MOUNTED A MIN. OF 12" FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A MIN. OF 6" FROM NEAREST POINT OF STORAGE.
6. ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION.
7. ALL CEILING ELECTRICAL BOXES TO BE FAN RATED.
8. 75% OF PERMANENTLY INSTALLED LUMINAIRES TO BE FLUORESCENT OR CFL LAMPS.
9. CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING.
10. ALL SMOKE DETECTORS TO BE HARD WIRED IN SERIES.
11. ALL SMOKE AND CARBON MONOXIDE DETECTORS LOCATED ON THE UNDERSIDE OF UNCONDITIONED SPACE SHALL BE SEAL AT THE CONDUIT CONNECTION TO PREVENT MOISTURE FROM CONDENSATION SETTING OFF FALSE ALARMS
12. THERMOSTATS TO BE PROGRAMMABLE IN ACCORDANCE W/ IECC 403.1.1.

PROJECT NOTES:

1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/ OWNER.
2. G.C. TO COORDINATE POWER REQUIREMENTS w/ A.V. CONSULTANT PER OWNER.
3. LIGHTING IN ALL CABINETS TO BE COORDINATED w/ CABINET SUPPLIER PER OWNER.
4. LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/ MILLWORK SUPPLIER PER OWNER.
5. ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
6. ALL AREAS w/ WALL PANELING TO HAVE BASEBOARD OUTLETS.

LOWER LEVEL
SCHEMATIC ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

WALL MOUNTED
RECEPTICLE HT.
TO BE COORD.
W/ OWNER.

TO FIXT.
ABOVE

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LOWER LEVEL
SCHEMATIC
ELECTRICAL
PLAN

ELECTRICAL LEGEND

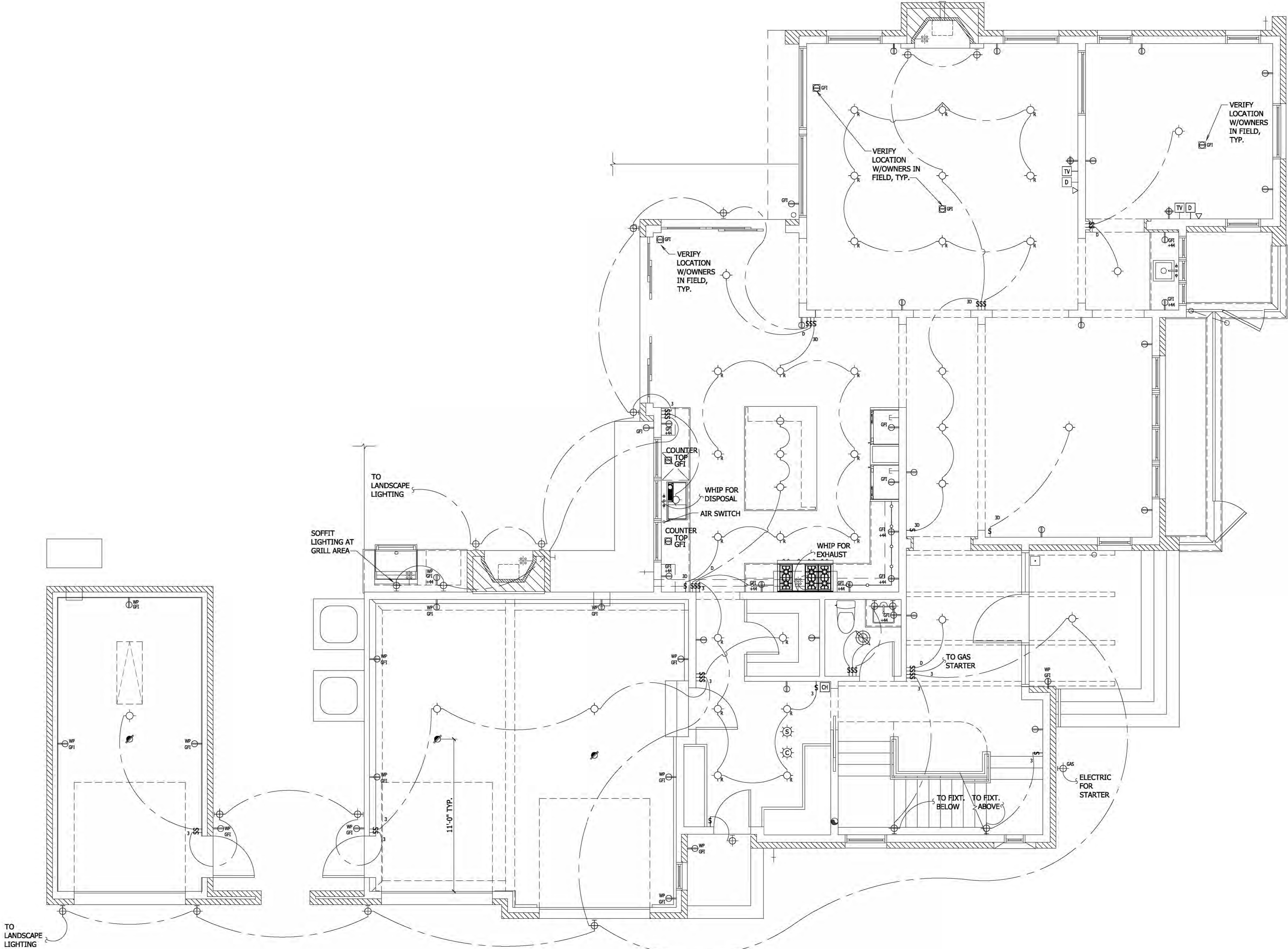
	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
	CEILING ELECTRICAL BOX FOR LIGHT FIXTURE	\$ ¹	3-WAY SWITCH
	RECESSED DOWNLIGHT IN CEILING/SOFFT DROPPED BEZEL	\$ ⁴	4-WAY SWITCH
	RECESSED DIRECTIONAL	\$ ⁰	DIMMER SWITCH
	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	⊖ GFI	GROUND FAULT INTERRUPT DUPLEX
	LOW VOLTAGE LIGHT	⊖ WP GFI	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/ "IN USE" COVER
	RECESSED RISER LIGHT	⊖	DEDICATED SINGLE PLUG RECEPTACLE
	FLUORESCENT FIXTURE WXX LAMPS	⊖	DUPLEX RECEPTACLE
	TRACK LIGHTING	⊖	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
	ROPE LIGHT	⊖	CEILING MOUNTED DUPLEX RECEPTACLE
	MOTION SENSOR / SWITCHED FLOOD LIGHTS	⊖	SWITCHED CEILING MOUNTED DUPLEX RECEPTACLE
	EXHAUST FAN VENT TO EXTERIOR	⊖	QUAD RECEPTACLE
	LIGHT & FAN VENT TO EXTERIOR	⊖	220 V. OUTLET
	SMOKE DETECTOR DIRECT WIRE	⊖ GFI	FLOOR OUTLET
	CARBON MONOXIDE DETECTOR DIRECT WIRE	⊖	TELEPHONE
	INFRARED RADIANT HEATER	⊖ D	DATA
	CEILING FAN	⊖ TV	TELEVISION JACK
	DOOR BELL	⊖	DOOR BELL
	DOOR CHIME	⊖	DOOR CHIME
	PROGRAMMABLE THERMOSTAT	⊖	PROGRAMMABLE THERMOSTAT
	CENTRAL VACUUM OUTLET	⊖	CENTRAL VACUUM OUTLET

ELECTRICAL GENERAL NOTES

1. INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
2. GFCI PROTECTION:
 - A. ALL GFCI OUTLETS TO BE LED TYPE.
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FIRST FLOOR
SCHEMATIC ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

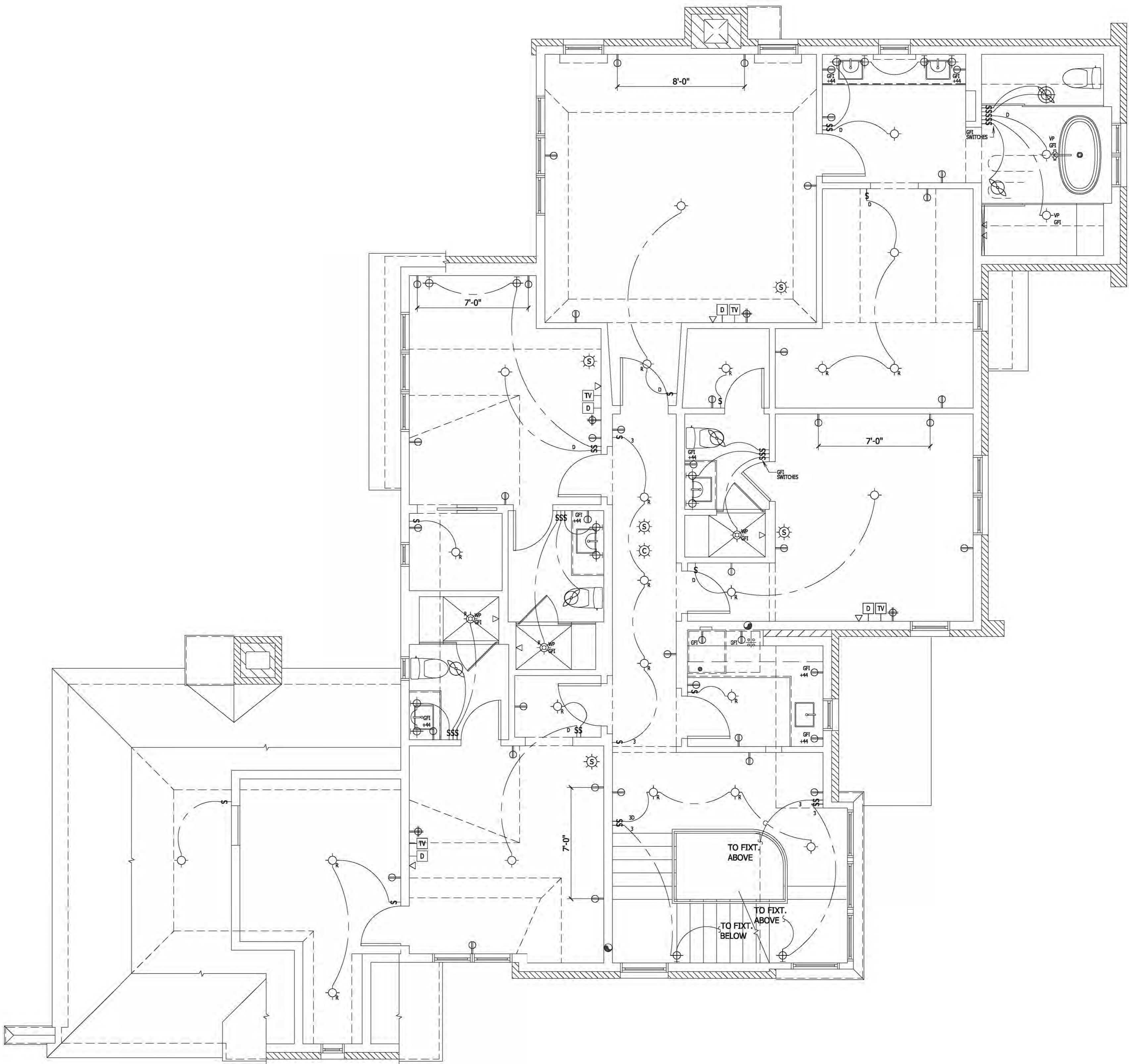
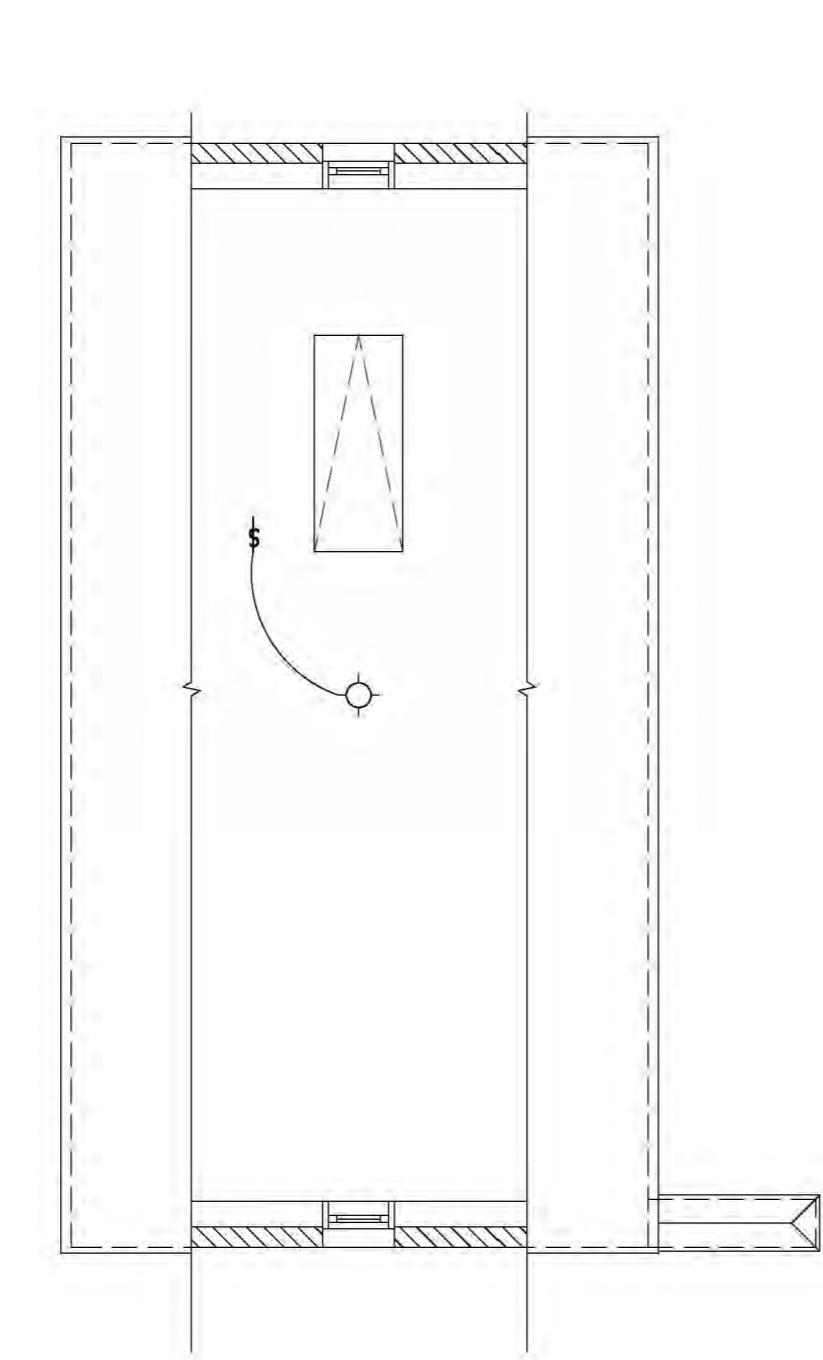
	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
	CEILING ELECTRICAL BOX FOR LIGHT FIXTURE	\$^1	3-WAY SWITCH
	RECESSED DOWNLIGHT IN CEILING/SOFFT DROPPED BEZEL	\$^4	4-WAY SWITCH
	RECESSED DIRECTIONAL LIGHT	\$^0	DIMMER SWITCH
	GROUND FAULT INTERRUPT DUPLEX		
	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/ "IN USE" COVER		
	DEDICATED SINGLE PLUG RECEPTACLE		
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	QUAD RECEPTACLE		
	220 V. OUTLET		
	FLOOR OUTLET		
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	DATA		
	TELEVISION JACK		
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	CEILING FAN		

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SECOND FLOOR
SCHEMATIC ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

	CEILING ELECTRICAL BOX PULL CHAIN	\$	SWITCH
	CEILING ELECTRICAL BOX FOR LIGHT FIXTURE	\$ ³	3-WAY SWITCH
	RECESSED DOWNLIGHT IN CEILING/SOFFT DROPPED BEZEL	\$ ⁴	4-WAY SWITCH
	RECESSED DIRECTIONAL	\$ ⁰	DIMMER SWITCH
	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR	⊖ GFI	GROUND FAULT INTERRUPT DUPLEX
	LOW VOLTAGE LIGHT	⊖ WP GFI	GROUND FAULT INTERRUPT WATER PROOF DUPLEX W/ "IN USE" COVER
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	INFRARED RADIANT HEATER	⊖	DATA
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	DOOR BELL	⊖	DOOR CHIME
	DOOR CHIME	⊖	PROGRAMMABLE THERMOSTAT
	CENTRAL VACUUM OUTLET	⊖	

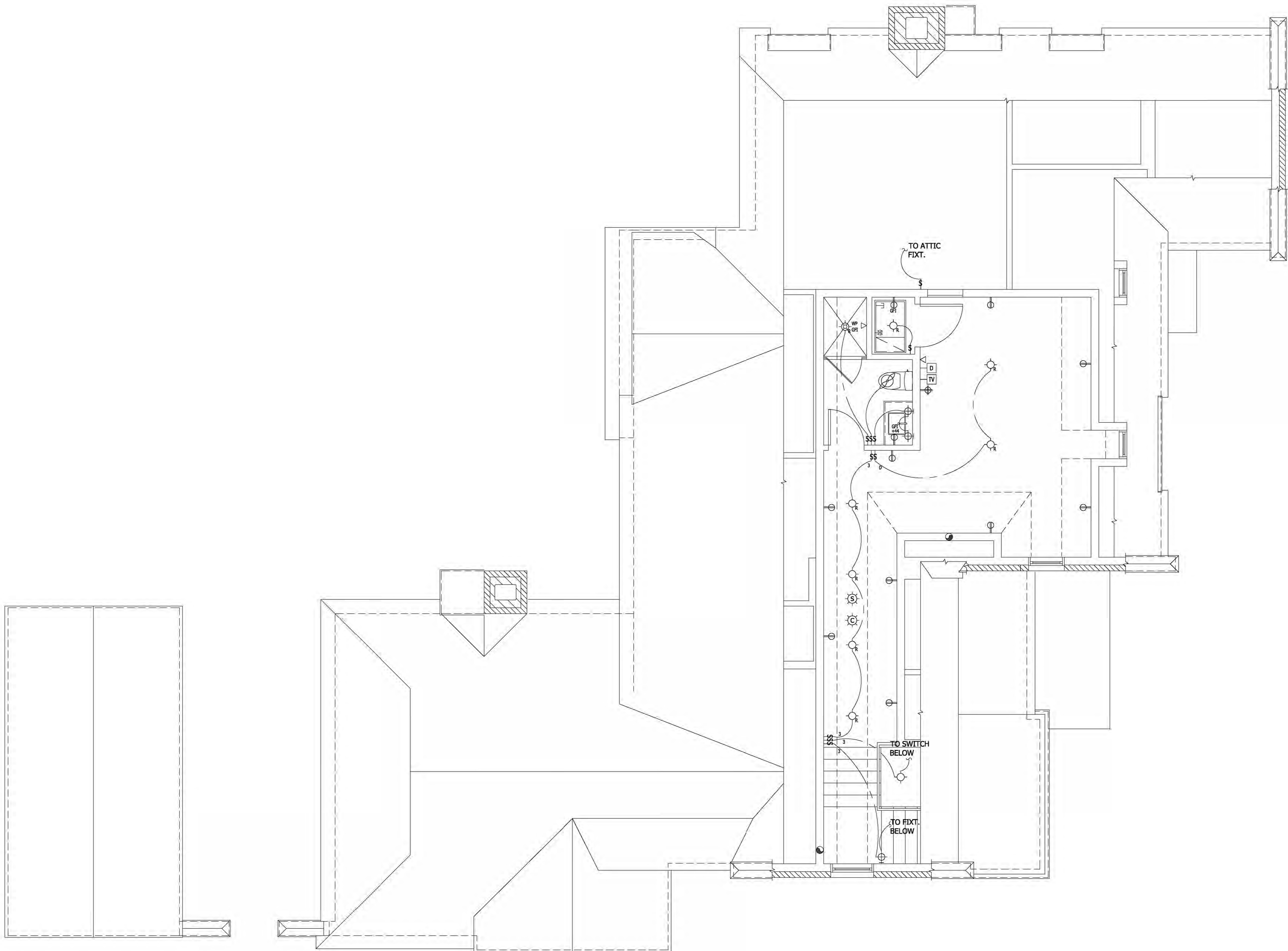
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THIRD FLOOR
SCHEMATIC ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



EXPIRES 11/30/2018
IL DESIGN FIRM NO.
184.007497

J.JORDAN HOMES
418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:

JOB NUMBER: 17 21

DATE: 08 21 2017

THIRD FLOOR
SCHEMATIC
ELECTRICAL
PLAN

E1.4

moment] DESIGN
201 E. OGDEN AVE, STE. 20, HINSDALE, IL 60521
P 630 828 8161 WWW.MOMENTDESIGN.NET



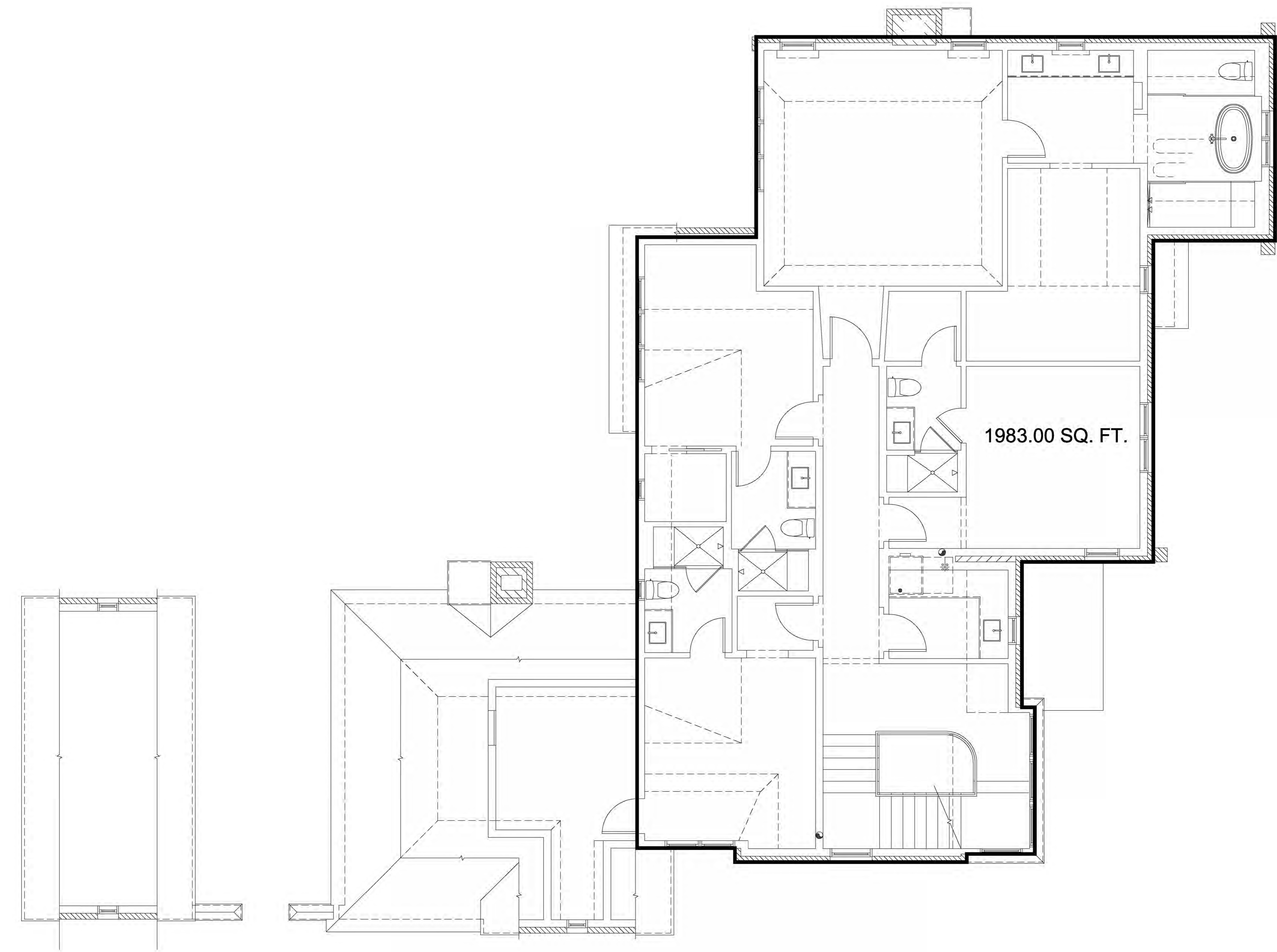
 **FIRST FLOOR OVERLAY PLAN**
SCALE: 1/4" = 1'-0"

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FIRST FLOOR
OVERLAY
PLAN



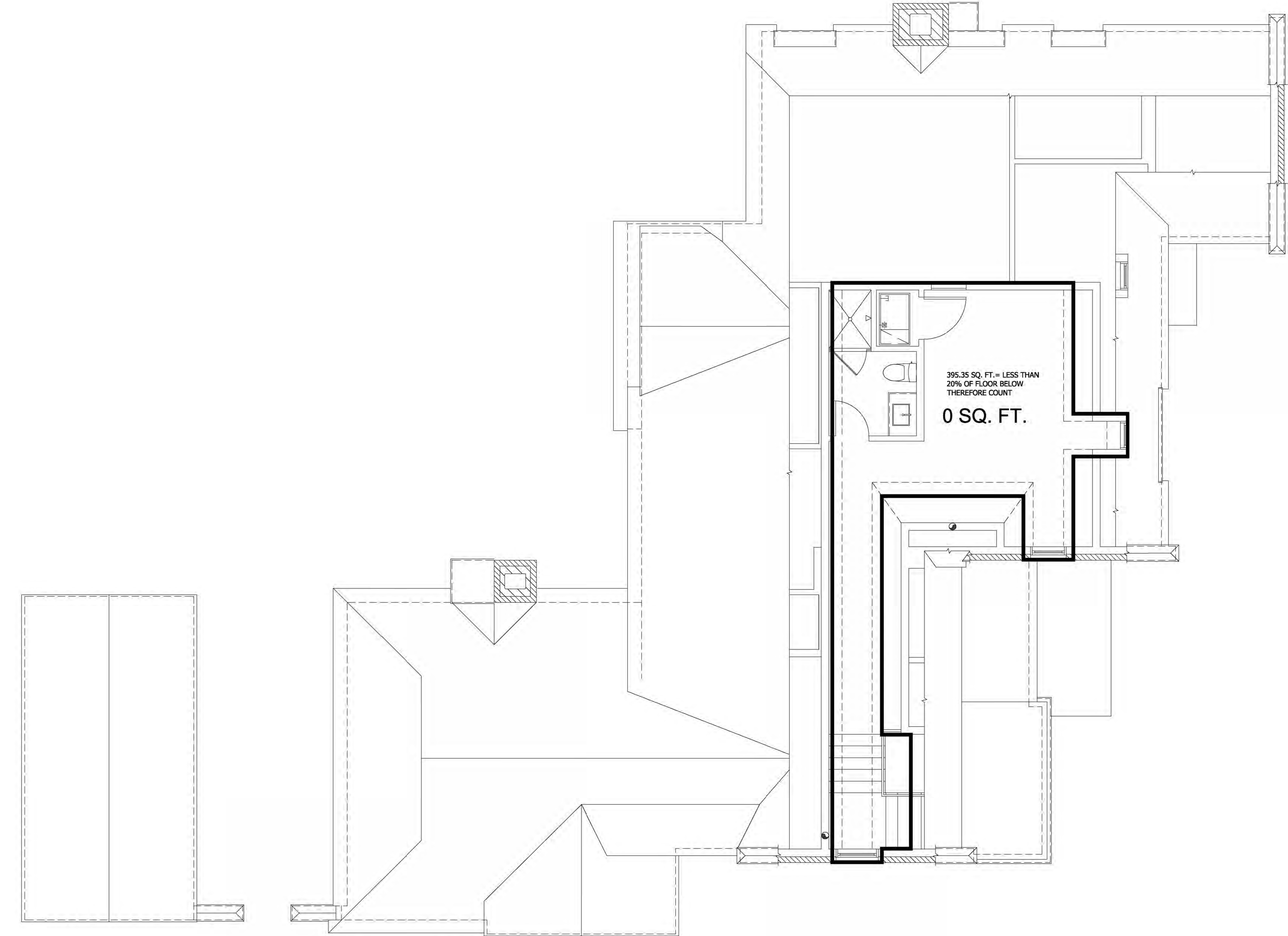
 **SECOND FLOOR OVERLAY PLAN**
SCALE: 1/4" = 1'-0"

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418 S. PARK AVENUE HINSDALE, IL

ISSUE/REVISION:	
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SECOND
FLOOR
OVERLAY
PLAN



 **THIRD FLOOR OVERLAY PLAN**
SCALE: 1/4" = 1'-0"

ISSUE/REVISION:	
JOB NUMBER: 17 21	
DATE: 08 21 2017	

VILLAGE OF HINSDALE

HISTORIC PRESERVATION COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 418 S. Park
 Property Identification Number: 09-12-215-009

I. GENERAL INFORMATION

1. Applicants Name: J Jordan Homes LLC / Julie Laux
 Address: 112 S Grant Street
Hinsdale, IL 60521
 Telephone Number: office - 630-455-0855 / cell: 312-320-9990
2. Owner of Record (if different from applicant): See above
 Address: See above
See above
 Telephone Number: See above
3. Others involved in project (include, name, address and telephone number):
 Architect: Moment Design - 201 E. Ogden Ave., Suite 20
Hinsdale, IL 60521 630-747-9415
 Attorney: Joseph Jordan - 5749 Park Center Ct., Toledo, OH
43615 419-262-5764
 Builder: J Jordan Homes LLC - 112 S. Grant St., Hinsdale, IL
60521 630-455-0855
 Engineer: Engineering Resource Associates - 35701 West Ave.
Suite 150, Warrenville, IL 60555 630-393-3060

II. SITE INFORMATION

1. Describe the existing conditions of the property: The home is in substandard condition. The property is very overgrown & unmanaged. It is difficult to fully see the home. The low ceiling heights
2. Property Designation: make it less than conducive to current standards.
 Listed on the National Register of Historic Places? YES ☒ NO
 Listed as a Local Designated Landmark? YES ☒ NO
 Located in a Designated Historic District? ☒ YES NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

We plan to tear the existing home down
in its entirety and construct a new single
family home. Please see the attached
plans for full scope of the project.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☒ INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

☒ CORPORATION

Signature of Applicant's *Managing Member* President

Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

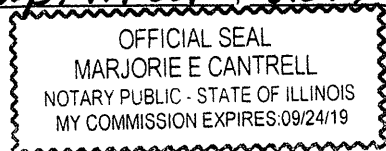
LAND TRUST

Signature

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 11th day of

September 2017



Marjorie E. Cantrell
Notary Public

418 S PARK



FRONT ELEVATION – EXISTING



SIDE ELEVATION - EXISTING

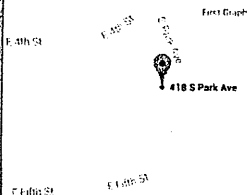
418 S PARK



NEIGHBOR TO THE WEST

EXACTA

ILLINOIS SURVEYORS INC.

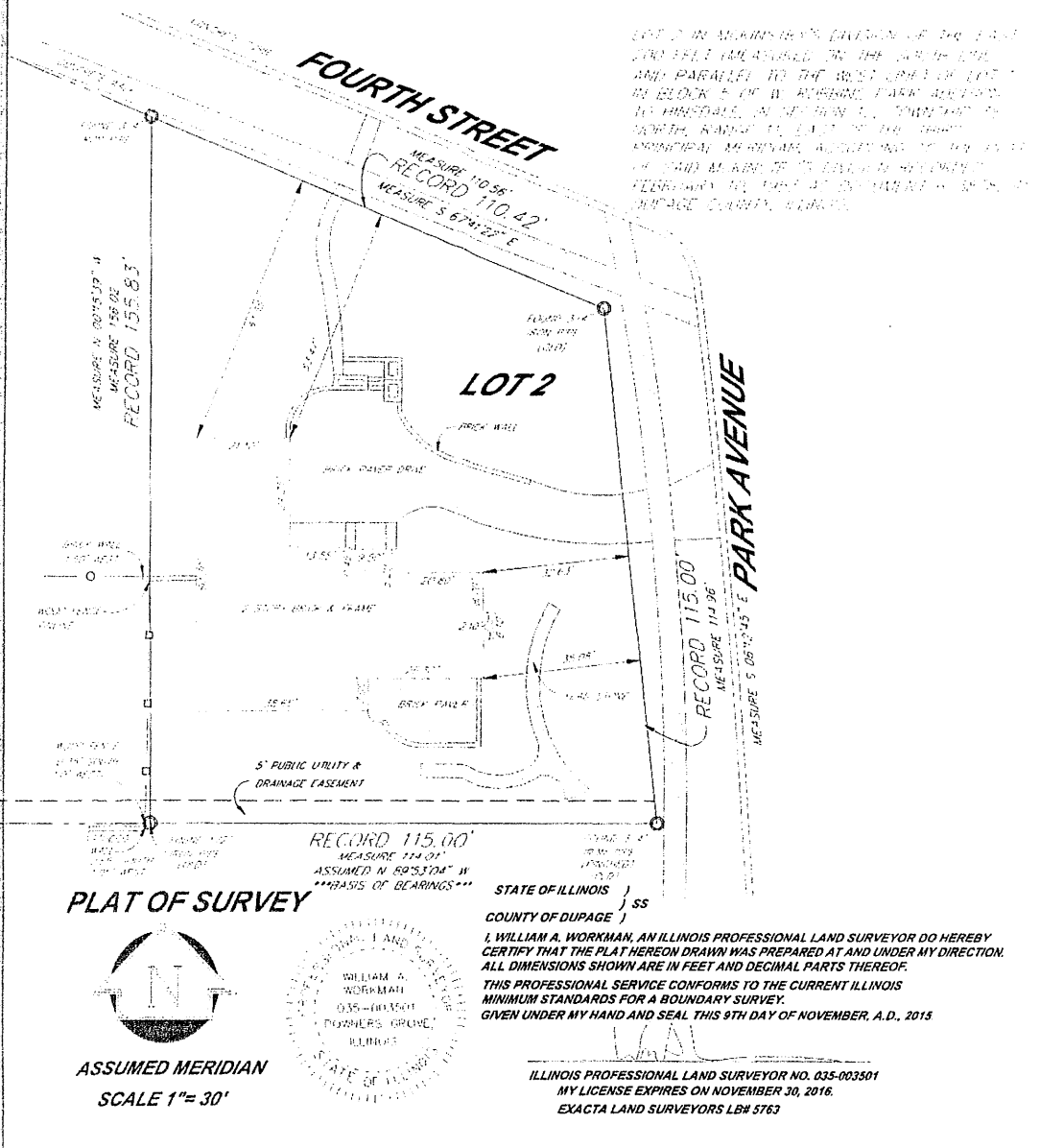


PROPERTY ADDRESS: 418 S PARK AVENUE HINSDALE, ILLINOIS 60521

SURVEY NUMBER: 1511.0263

FIELD WORK DATE: 11/9/2015

REVISION DATE(S): (REV.0 11/9/2015)



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

POINTS OF INTEREST
NONE VISIBLE

CLIENT NUMBER:

DATE: 11/9/2015

BUYER:

SELLER:

CERTIFIED TO:

Exacta Proudly Supports
THE cara PROGRAM
transforming lives

EXACTA
ILLINOIS SURVEYORS INC.

LB# 184005763

www.exactachicago.com
P: (773) 305-4010 • F: (773) 305-4011
316 East Jackson Street, Morris, IL 60450

This is page 1 of 2 and is not valid without all pages.

EXHIBIT 2

418 S. Park St.

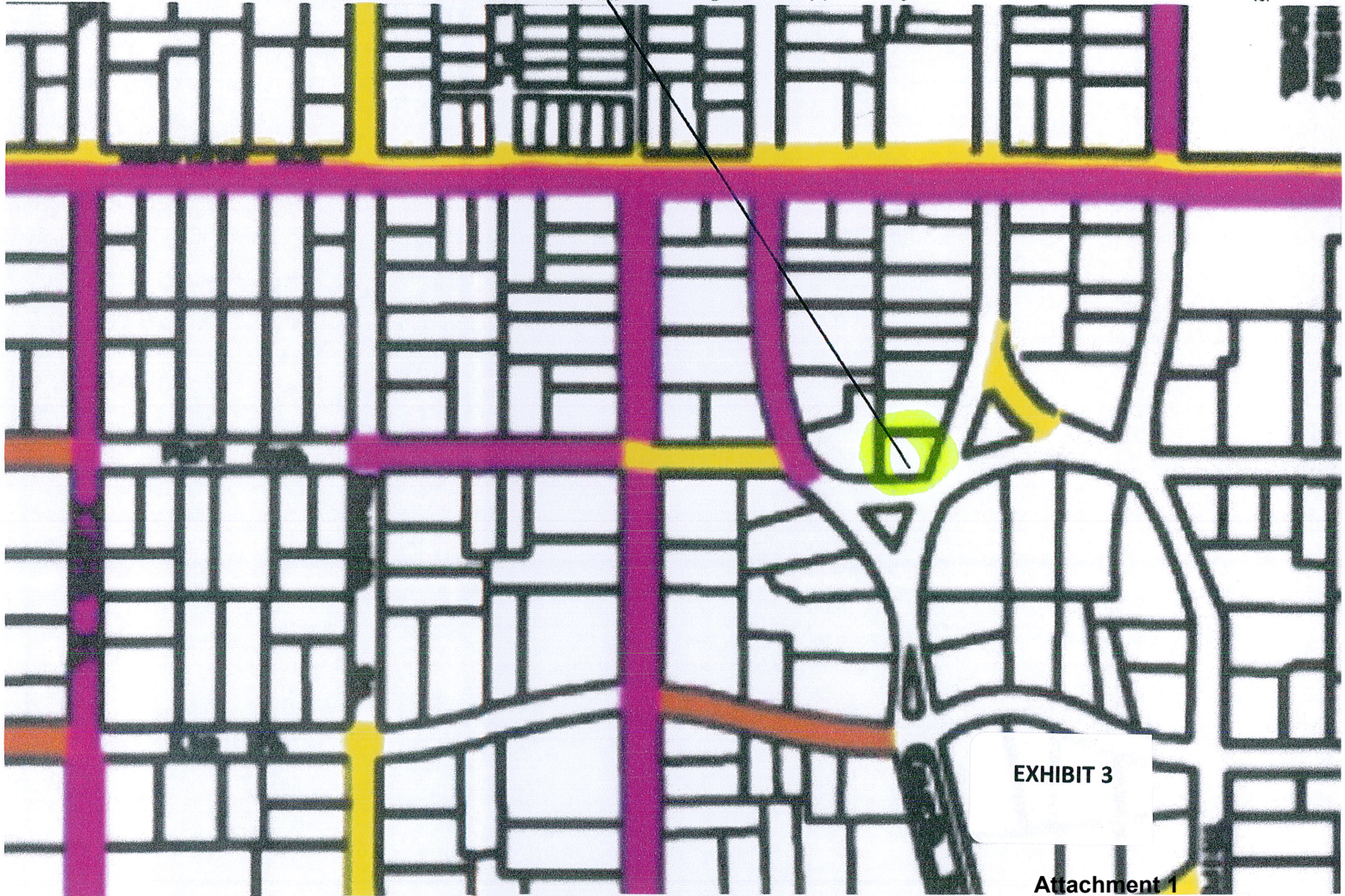
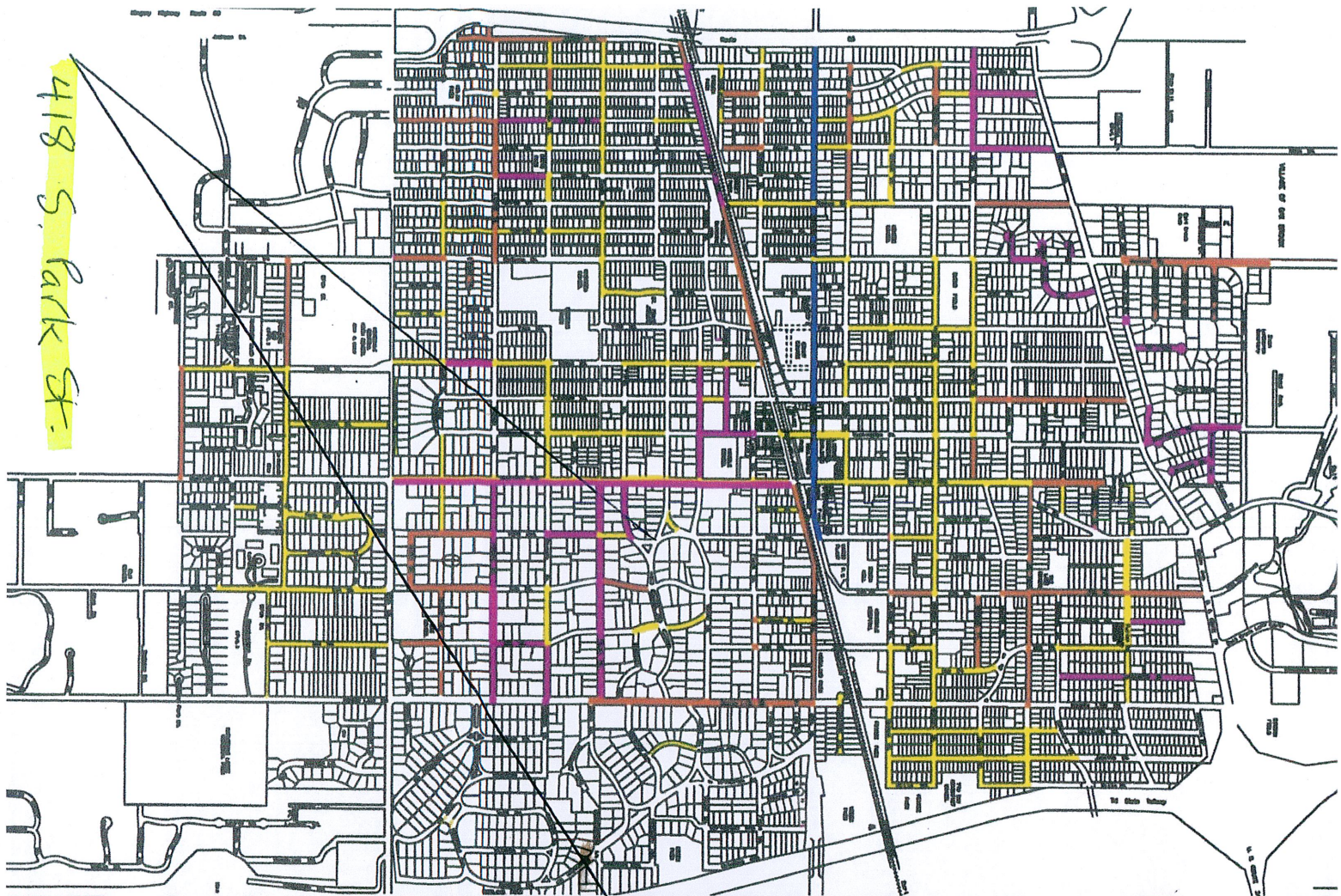
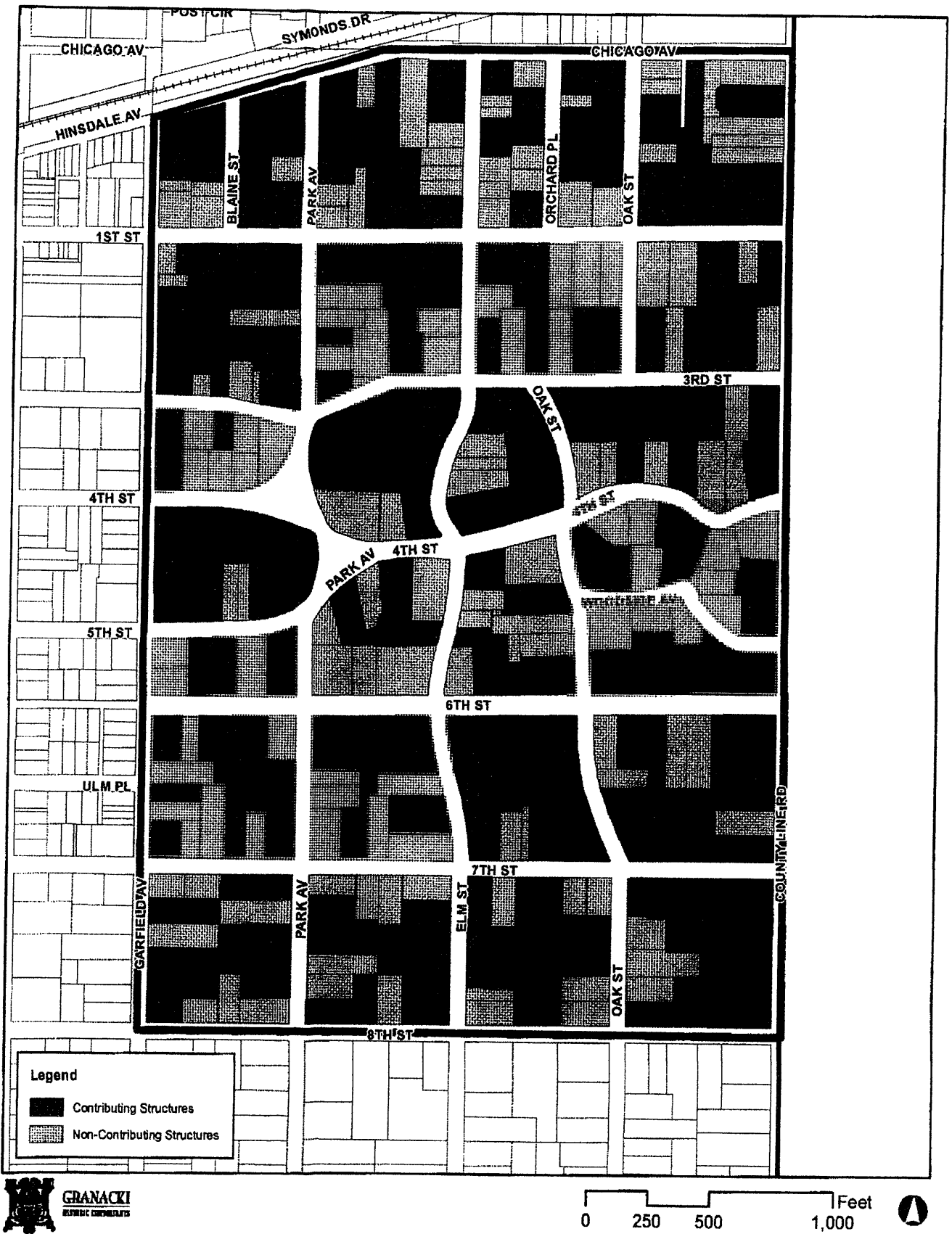


EXHIBIT 3

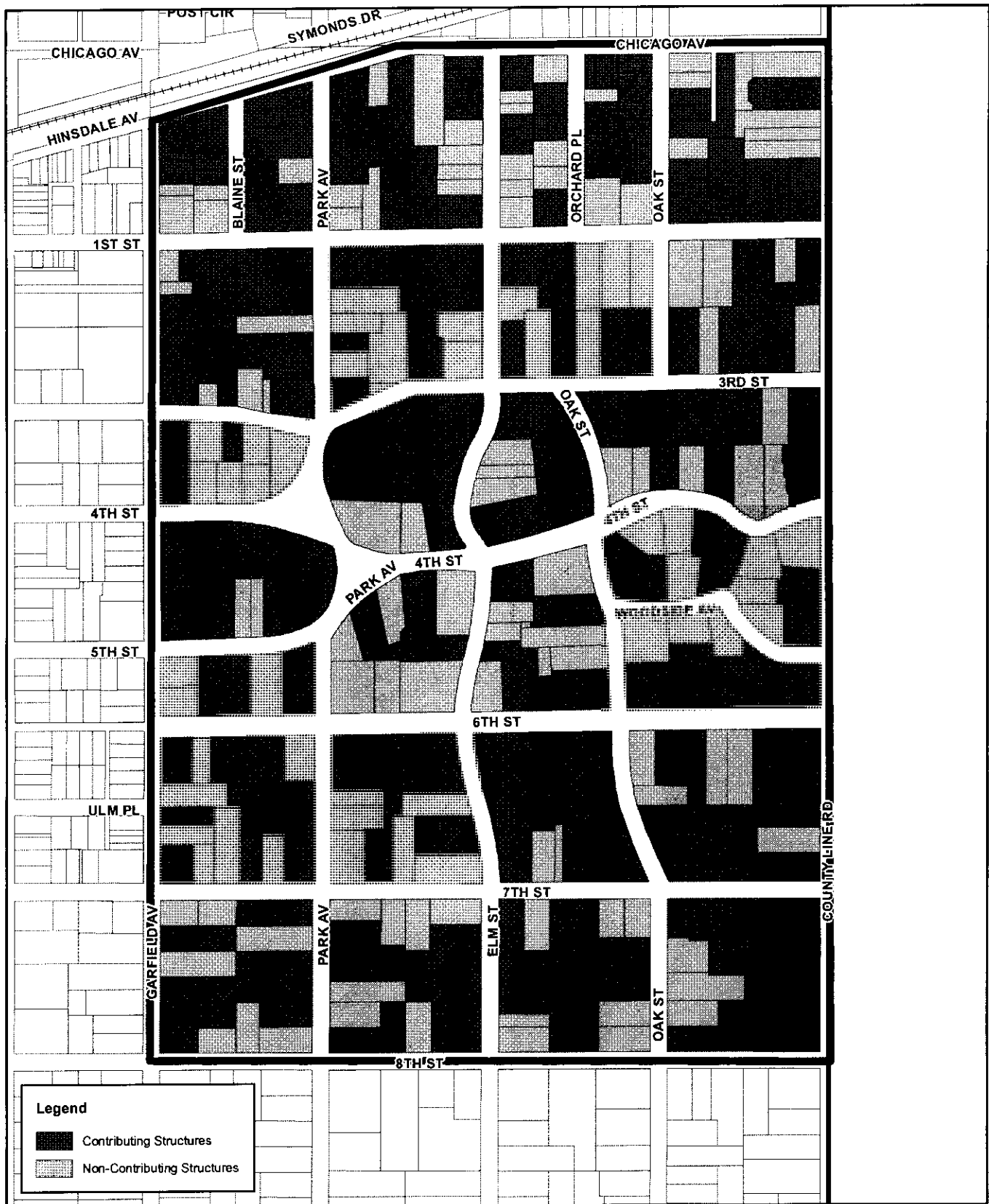
Attachment 1

ROBBINS PARK HISTORIC DISTRICT





ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 18

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
135	S PARK	Neo-Traditional	2004-05		NC	-			
154	S PARK	Ranch	1951		C	-	Nemoede, Albert H.	Fleisch, J. R.	
301	S PARK	Queen Anne	1887	Landis, John W. House	C	C			detached garage
310	S PARK	Neo-Traditional (under construction)	2006-08		NC	-	Culligan Abraham		
317	S PARK	Second Empire	1872	Stuart, John Frederick House	C	C			coach house
333	S PARK	Neo-Traditional	2002-03		NC	-			
415	S PARK	Craftsman	1886	Dana, Henry C. House	C	NC			Detached garage
418	S PARK	Craftsman	1952	McKinstry, Mrs. R. W. House	C	-	West, Philip Duke	Braun & Loehman	
420	S PARK	French Eclectic	1924	Besley, Mrs. Charles House	C	C	Pashley, Alfred		Coach house
425	S PARK	Neo-Traditional	1955	Rose, Howard G. House	NC	NC	Larson, Arnold L.	Wilson, Byron	Detached garage
506	S PARK	Craftsman	c. 1910	Lilly, Guy House	C	C			Detached garage
516	S PARK	Colonial Revival	1910	Wilson, George R. & Hazel Thorne House	C	NC			Detached garage
618	S PARK	Colonial Revival	c. 1920		C	C			Detached garage
619	S PARK	Neo-Traditional	1993		NC	-	Olson, Steve C.	McNaughton, James	
623	S PARK	Neo-Traditional	2006		NC	-			
626	S PARK	Shingle Style	1900	Thompson, Edwin House	C	NC			Detached garage
635	S PARK	Tudor Revival (altered)	c. 1925		NC	-			
640	S PARK	Colonial Revival	c. 1915		C	C			Detached garage
706	S PARK	French Eclectic	1925	Bauer, M.B. & J.R. House	C	-	Olsen & Urbain		
707	S PARK	Neo-Traditional	2001		NC	-	Carrio Prisby Arch. Design	Legacy Home Blders	




MEMORANDUM

DATE: October 11, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 52 S. Washington Street – Green Goddess Boutique – Downtown boutique retail store
Certificate of Appropriateness for Front Addition in Historic District - Case HPC-07-2017

Summary

The Village of Hinsdale has received a Certificate of Appropriateness application from GG Hinsdale, LLC, d.b.a. Green Goddess Boutique, to construct a minor front addition to the existing commercial building at 52 S. Washington Street. The building is in the historic downtown district of Hinsdale. Per the Village Code, no permits shall be issued for physical modifications of the exterior architectural appearance of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The existing 2-story commercial building at 52 S. Washington Street is 25 feet wide, and features a door on the south end for entry to the second floor. It had a recessed area, approximately 18 feet wide, leading into the first floor retail space. However, in May, 2017, due to a vehicular incident, the majority of the front building façade, including the front entrance was destroyed.

This Certificate of Appropriateness is for an addition that will fill the former recessed area so it will become flush with the front wall. However, a new entry door to the north end of the building will be installed, with a recessed area of 4 feet deep by approximately 5 feet wide to allow the door to swing outwards. The entry door has a wood residential style, and will be next to the existing wood fluted pilasters to the north.

The former recessed area will be replaced with a brick veneer knee wall with limestone cap to match and align with the existing sill, and be painted white to match the existing building features. Three windows with prefinished aluminum will be installed on top of the brick veneer knee wall and colored. Per the exhibit, the color is “TBD”, and should be discussed at the HPC meeting.

The applicant plans to relocate the existing sign to center it over the new window storefront. The blade sign on the exhibit will need to be formally reviewed separately through the sign application in the future. The existing roof feature will not change.



MEMORANDUM

Process

Per municipal code Section 14-5-1(B), the Historic Preservation Commission shall review physical modifications of the exterior architectural appearance of a building in the Historic District. The final decision of the HPC shall be advisory only. (concurrent Plan Commission A-36-2017 Exterior Appearance/Site Plan application)

Attachments:

- Attachment 1 – Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Birds Eye View Map
- Attachment 4 - Street View of former building façade at 52 S. Washington Street

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 52 S. Washington Street, Hinsdale, IL 60521

Property Identification Number: 09-12-121-019

I. GENERAL INFORMATION

1. Applicants Name: GG Hinsdale, LLC
Address: 52 South Washington St.
Hinsdale, IL 60524
Telephone Number: (630) 450-1987
2. Owner of Record (if different from applicant): _____
Address: _____
Telephone Number: _____
3. Others involved in project (include, name, address and telephone number):
Architect: James C. Prisby, Carprio Prisby Architectural Design, P.C.
106 South Washington Street, Hinsdale, Illinois 60521
Attorney: Peter Coules, Jr. as attorney for Owner
15 Salt Creek Lane, Suite 312, Hinsdale Illinois 60521
Builder: _____
Engineer: _____

II. SITE INFORMATION

1. Describe the existing conditions of the property: Two story building in need of major repair to storefront due to vehicle crashing through storefront window. totaling approximately 3,200 s.f.
2. Property Designation:

Listed on the National Register of Historic Places? YES X NO

Listed as a Local Designated Landmark? YES X NO

Located in a Designated Historic District? YES X NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

1) Brick veneer knee wall stone cap/water table to match and align with existing sill,
to be painted white to match existing. 2) Wood residential style entry door and
sidelight recessed into building structure plan to match other entry door.

3) Pre-finished aluminum storefront system. Color TBD.

4) Relocate sign to be centered over windows.

All work necessitated because a motor vehicle drove through the front of store.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

 X No Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. _____

As you can see by the attached renderings the proposed plans are consistent with
the structure that was damaged as well as the existing downtown Hinsdale structures.

It is complimentary in architecture and color. The changes are to the first floor.

Attached are: 1) Deed 2) Survey 3) Street view from Google Maps in 2016

4) View of damage 5) Proposed plans 6) Proposed rendering.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant : GG Hinsdale, LLC

☐ CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

OTHER



Signature of Authorized Officer
9/18/17

SUBSCRIBED AND SWORN
to before me this 18th day of

September, 2017.



Notary Public



Exhibit "A"

For the property located at 52 S. Washington Street, Hinsdale, IL the owner is seeking the right to obtain a building permit without the necessity of any further Village Board or Commission Hearings or approval so that they may proceed with the repairs if they so choose. The property is in the Village's Historic District and therefore, the reasoning of a demolition permit is as follow:

1. It is necessary to complete the repair because a car drove through the front of the store.
2. The colors and designs will fit in with the downtown style.

WARRANTY DEED
(Individual to Individual)

GRANTOR,

Wisch Rental Properties, LLC,
an Illinois limited liability company,
for and in consideration of Ten and
no/100 Dollars (\$10.00), hereby
CONVEYS and WARRANTS to
GG Hinsdale, LLC,
an Illinois limited liability company,
52 South Washington St., Hinsdale,
Illinois, 60521, the following

described Real Estate in the County of DuPage, State of Illinois, to wit:

THE NORTH 1/2 OF LOT 5 IN GEORGE'S RESUBDIVISION OF BLOCK 3 IN THE TOWN OF
HINSDALE, A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION
12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING
TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1871 AS DOCUMENT 14624, IN DU PAGE
COUNTY, ILLINOIS.

Property Address: 52 South Washington Street, Hinsdale, Illinois 60521

P.I.N.: 09-12-121-019

hereby releasing and waiving all rights under and by virtue of the Homestead Exemption
Laws of the State of Illinois.

SUBJECT TO: General taxes not yet due and payable, covenants, conditions and restrictions of
record; building lines and easements, if any, so long as they do not interfere with the current use
and enjoyment of the property.

Dated this 5th day of January, 2012

Wisch Rental Properties, LLC,
an Illinois limited liability company

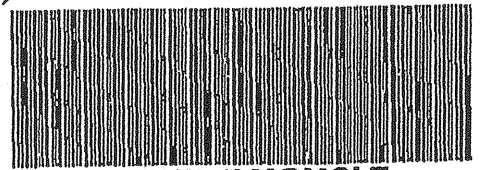
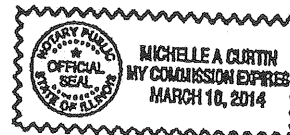
By: 

Leroy Wisch, Manager

STATE OF ILLINOIS, COOK COUNTY SS:

I, M. Curtin in and for said County and State, do hereby certify that Leroy Wisch, Manager of Wisch Rental
Properties, LLC, known to me to be the same person whose name is subscribed to the foregoing instrument, appeared
before me this day in person and acknowledged that he signed and delivered the said instrument as his free and
voluntary act for the purposes herein set forth. Given under my hand and official seal, this 5th day of
January, 2012.


Notary Public




FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JAN. 09, 2012 RHSP 11:04 AM
DEED 09-12-121-019
002 PAGES R2012-003091

This instrument was prepared by Alan S. Levin, 205 W. Randolph, Suite 1030, #1030, Chicago, IL 60606

MAIL TO:
Mark S. Litner, Esq.
Jaffe & Berlin, LLC
111 West Washington Street
Suite 900
Chicago, Illinois 60602

SEND SUBSEQUENT TAX BILLS TO:
GG Hinsdale, LLC
52 South Washington Street
Hinsdale, Illinois 60521

STATE & COUNTY TAX	STATE OF ILLINOIS	# 0000004637	REAL ESTATE TRANSFER TAX
	 JAN. -6.12		01500.00
	DUPAGE COUNTY		FP326686

[Handwritten signature]

Google Maps 49 S Washington St

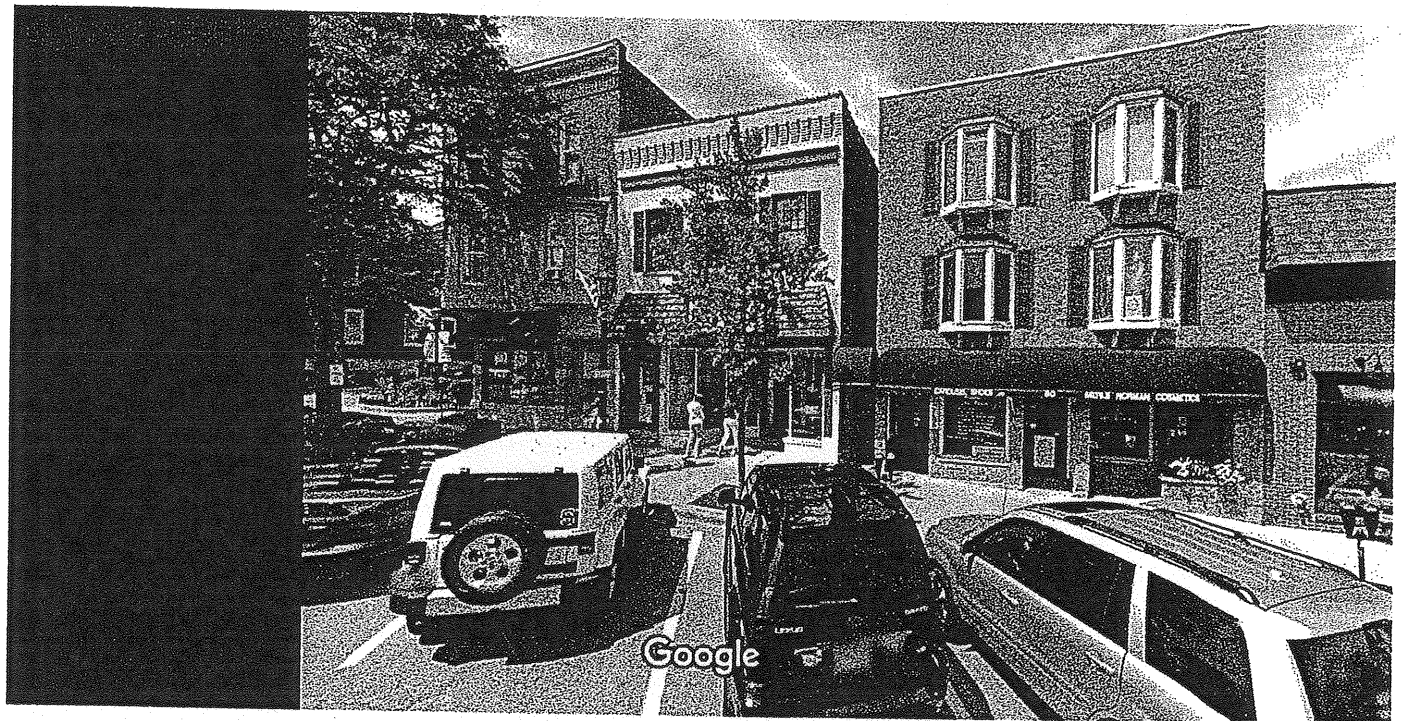
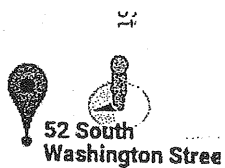


Image capture: Jul 2016 © 2017 Google United States

Hinsdale, Illinois

Street View - Jul 2016



W 1st St E 1st

49 S Washington St

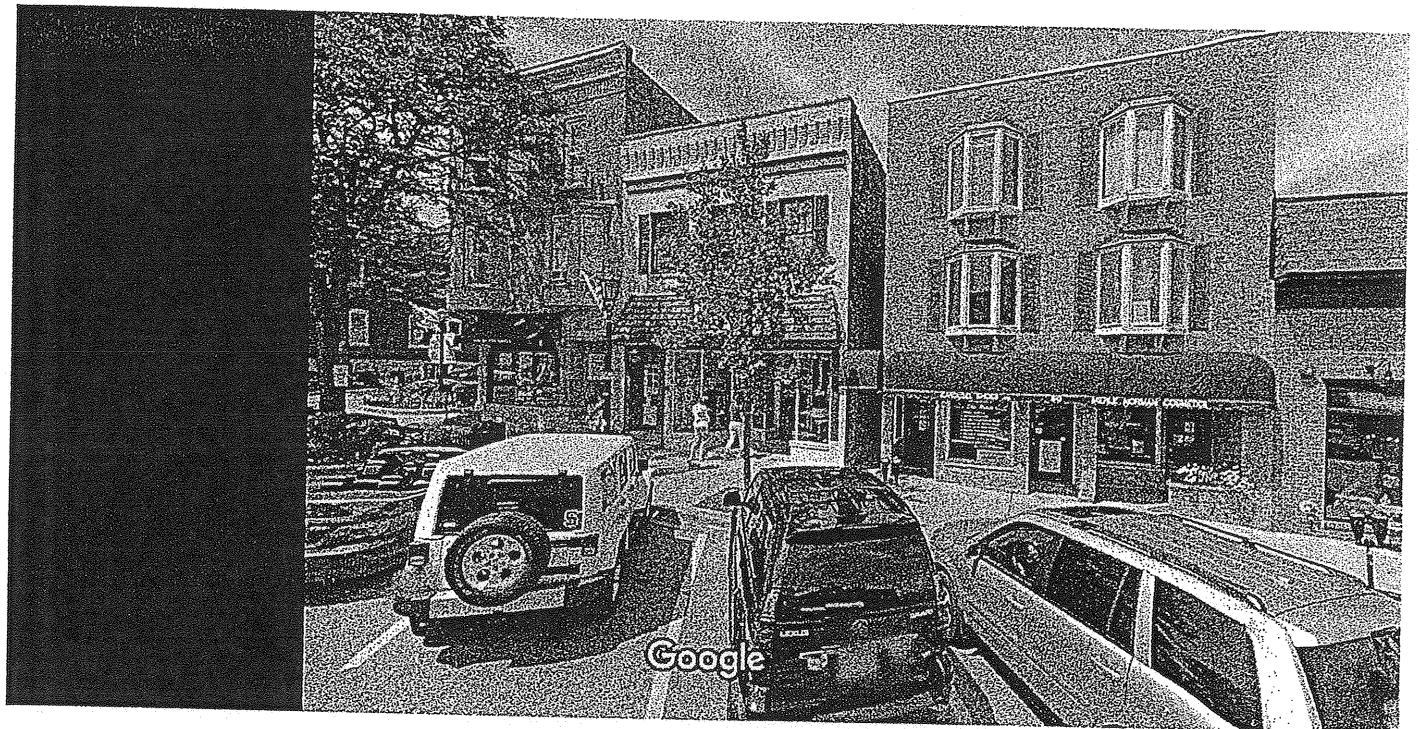
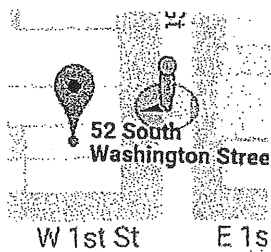
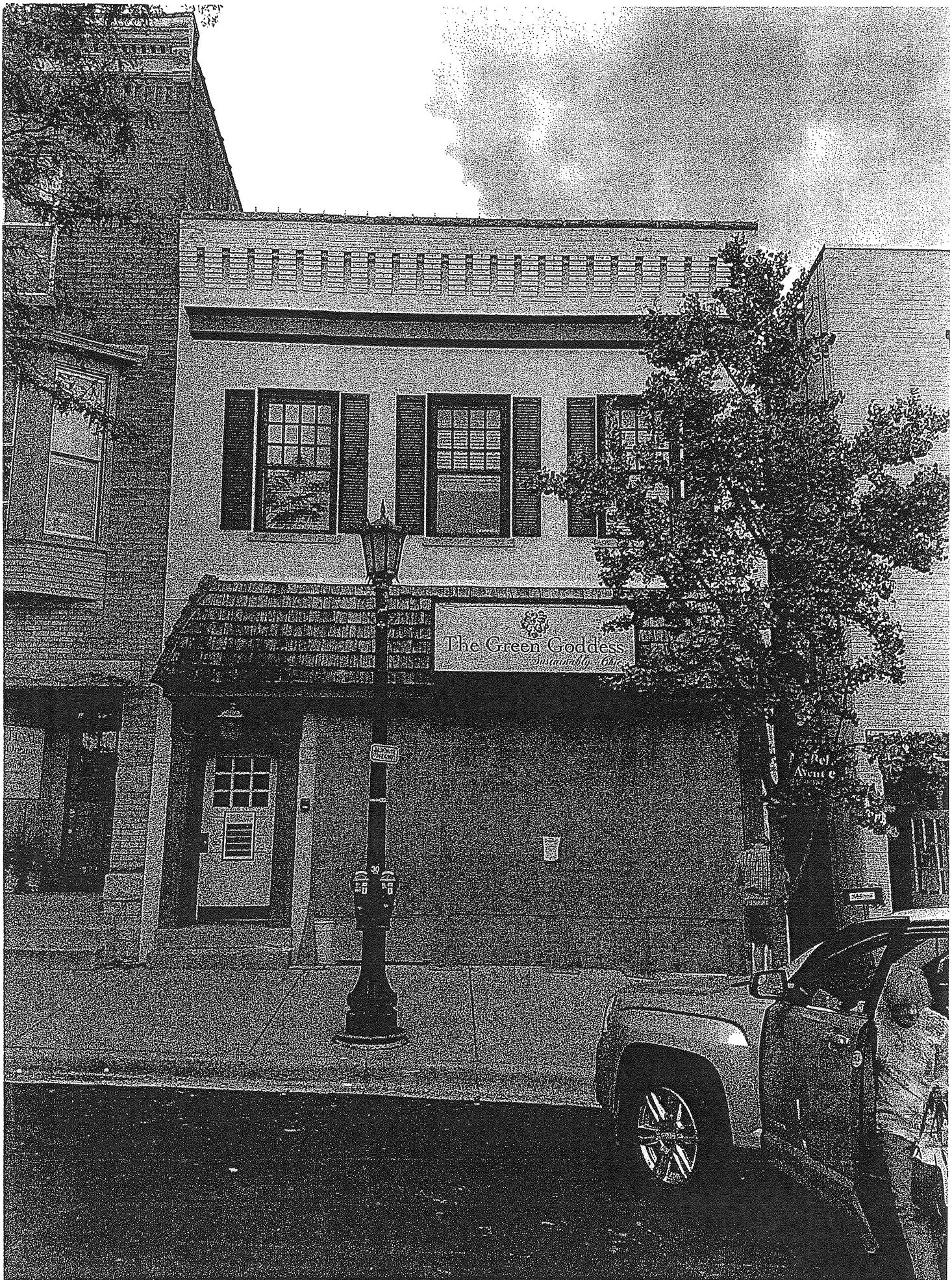


Image capture: Jul 2016 © 2017 Google United States

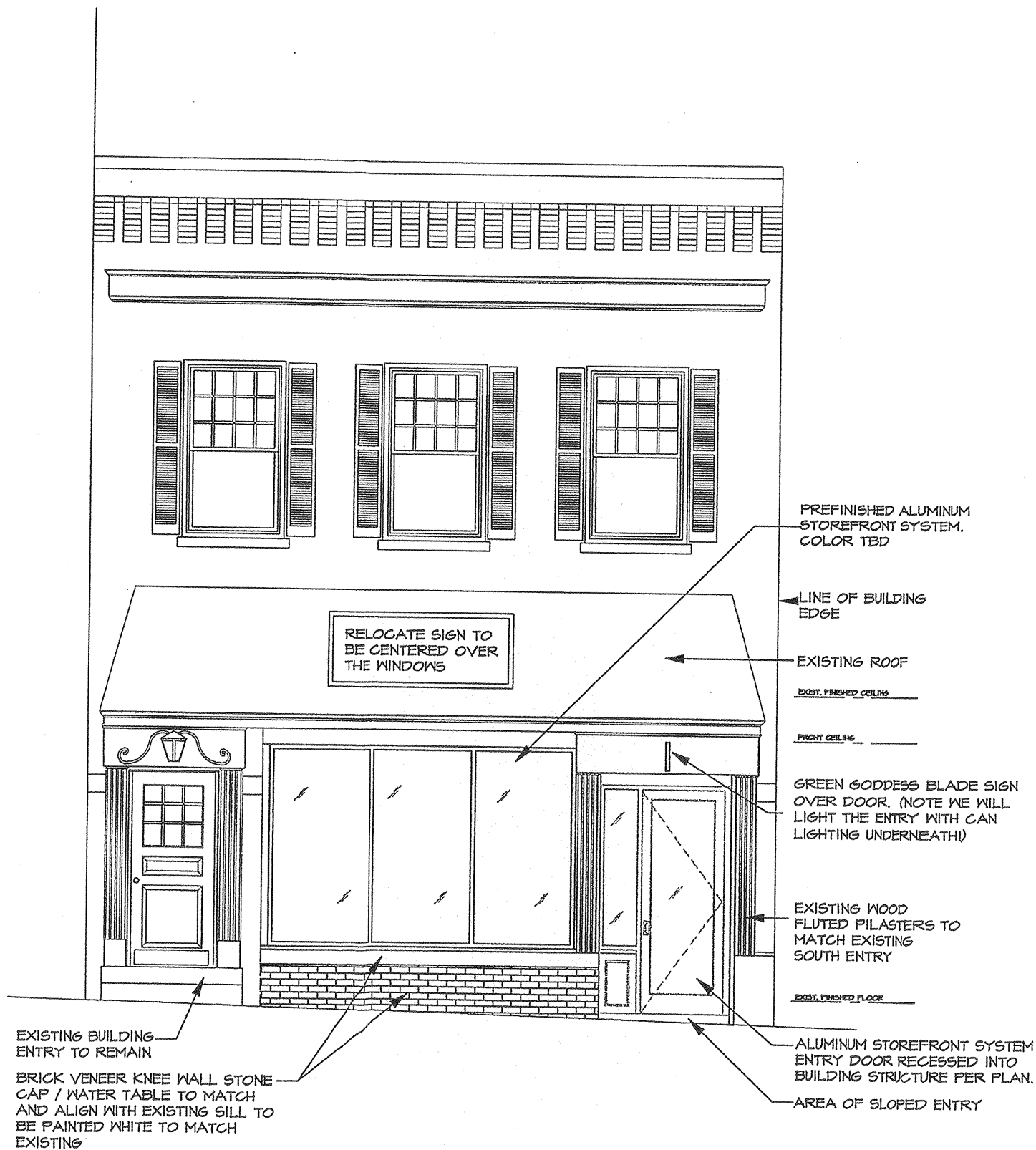
Hinsdale, Illinois

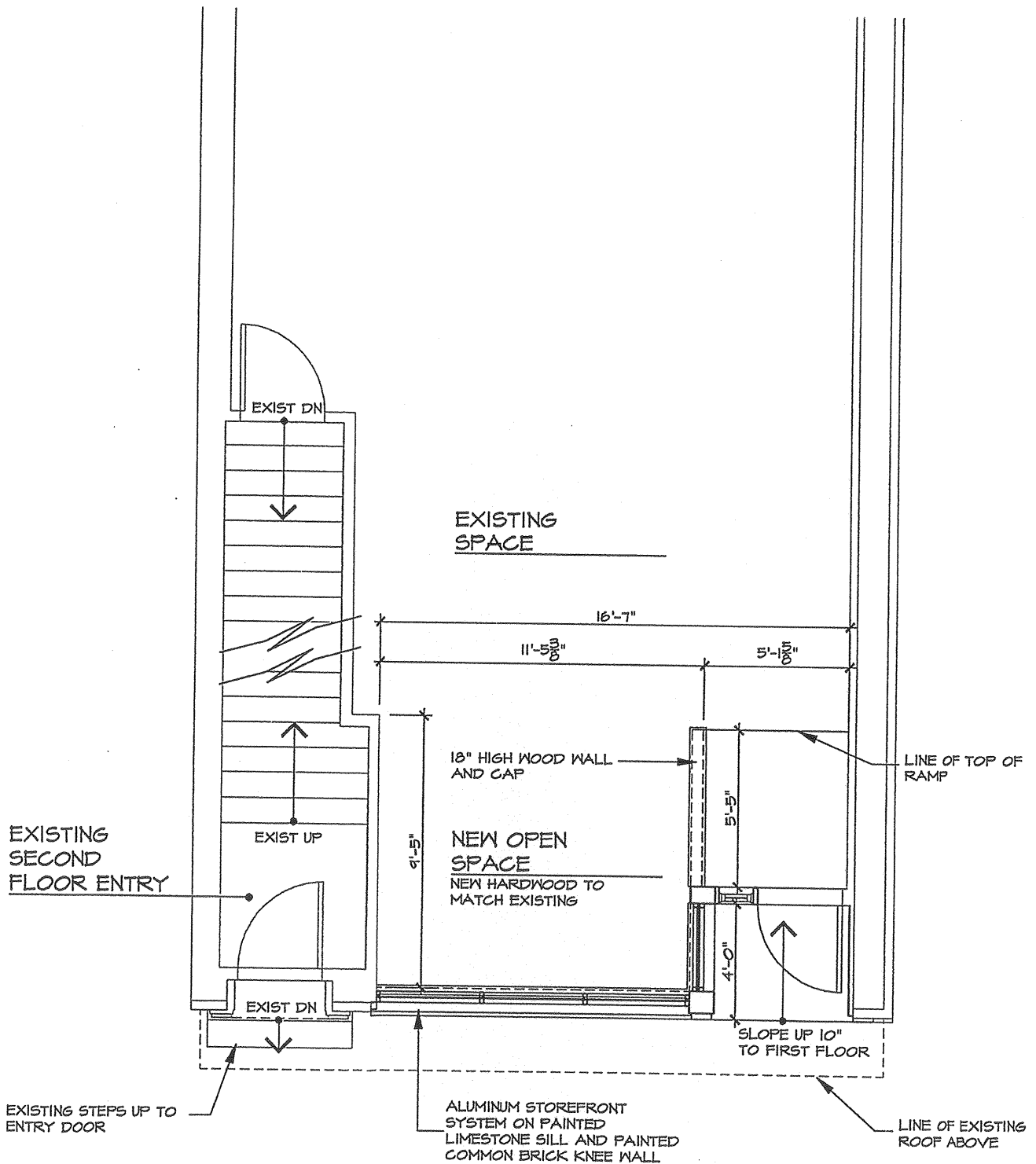
Street View - Jul 2016



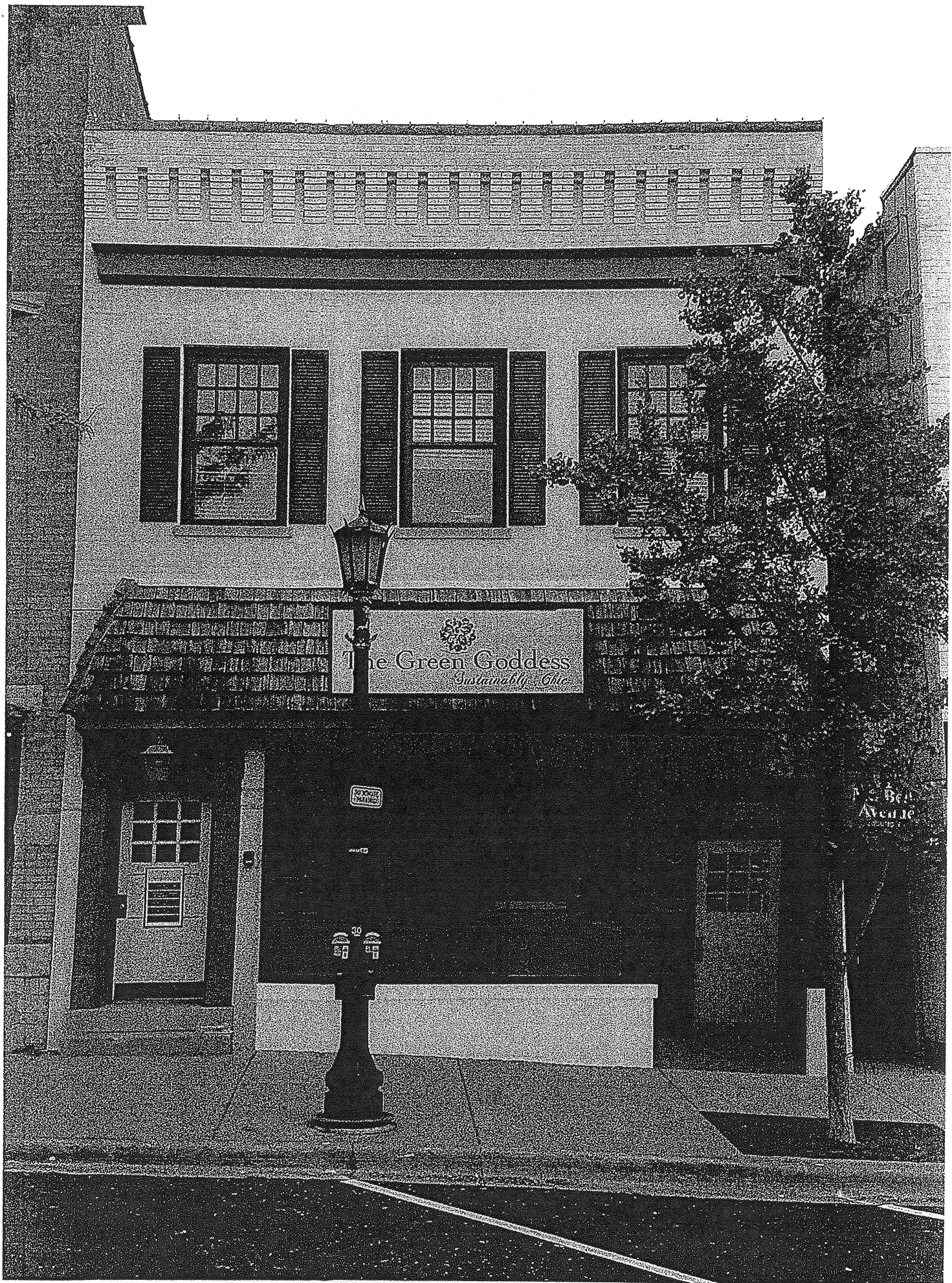


Attachment 1

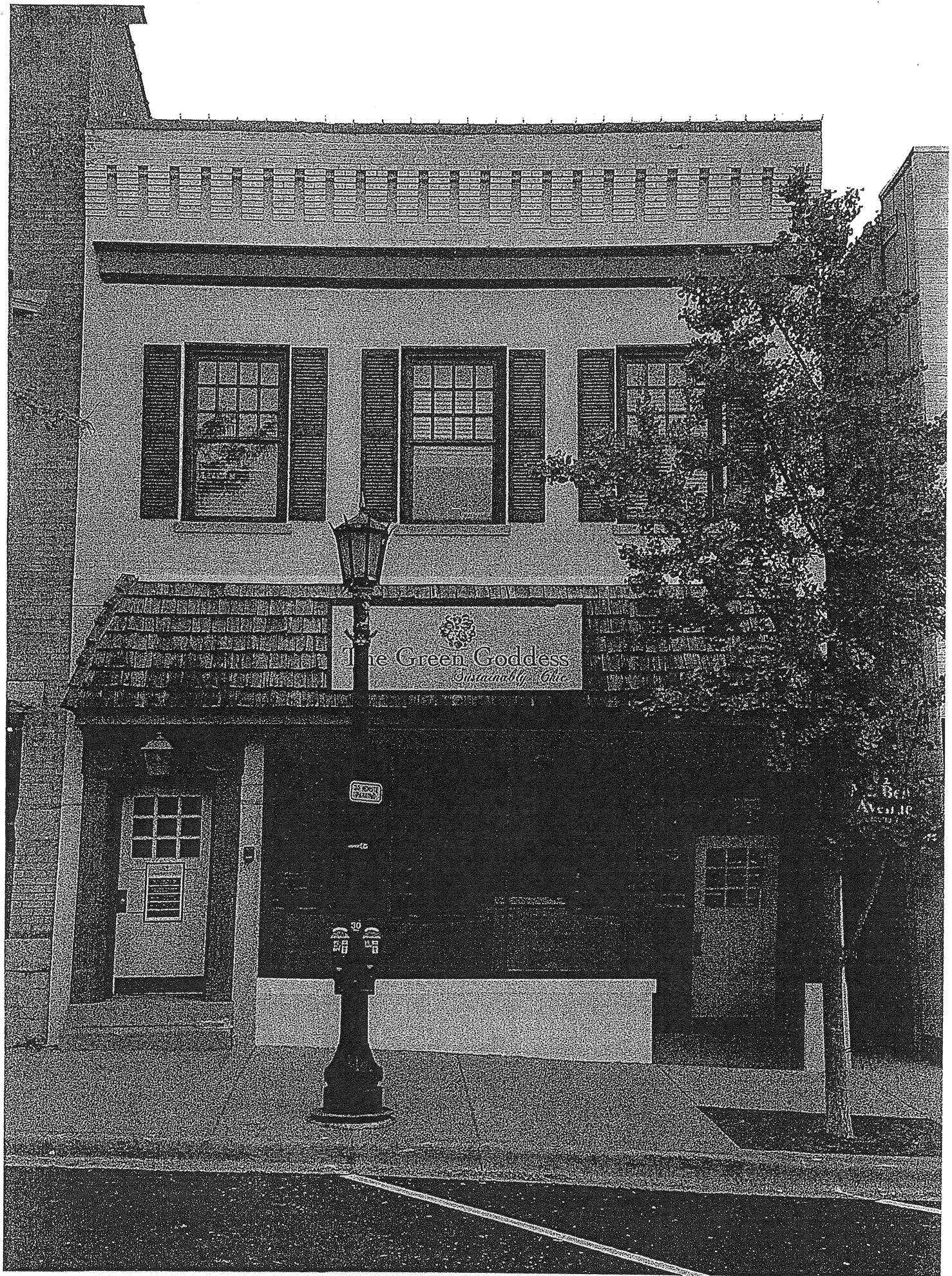




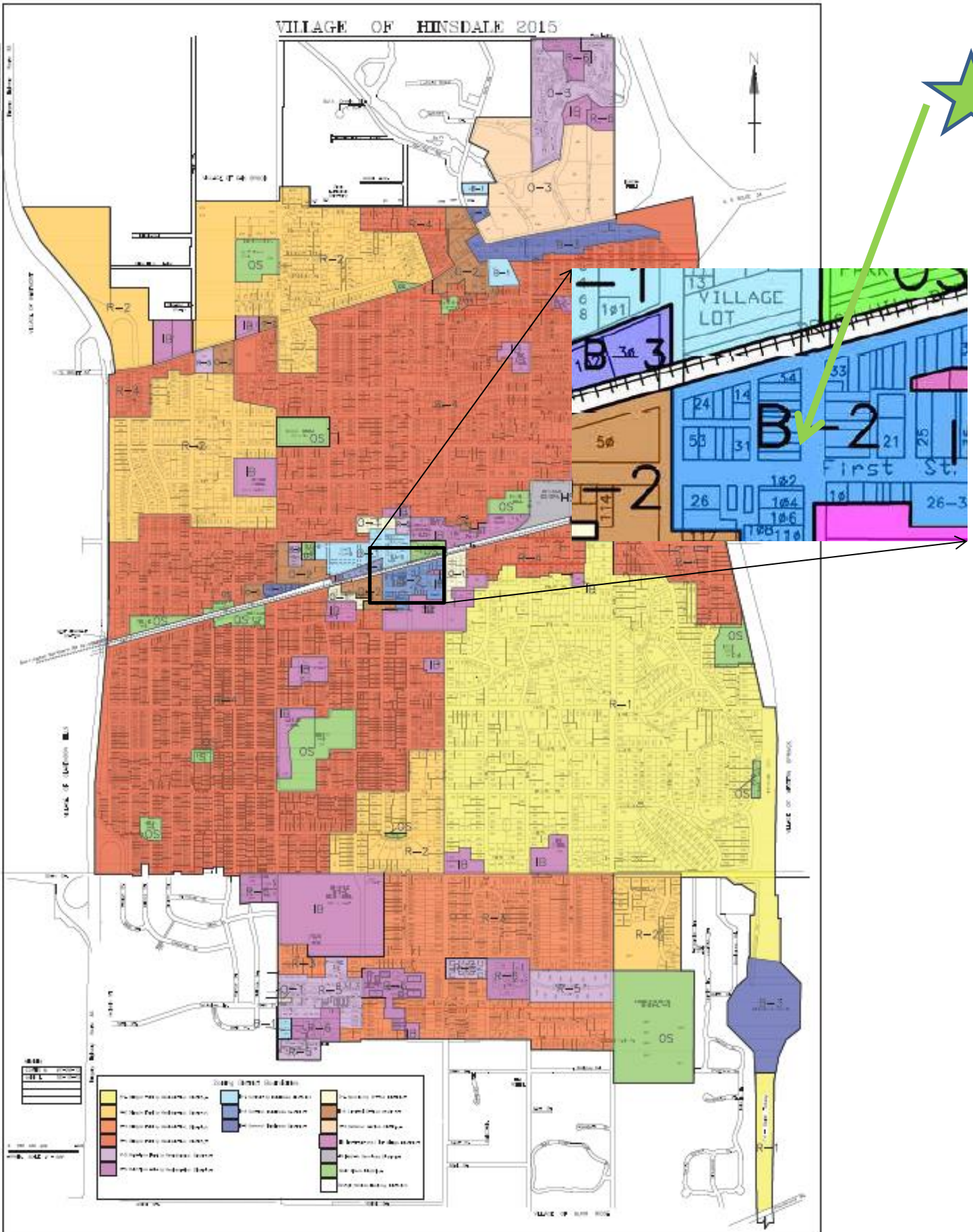
FIRST FLOOR PLAN N.T.S.



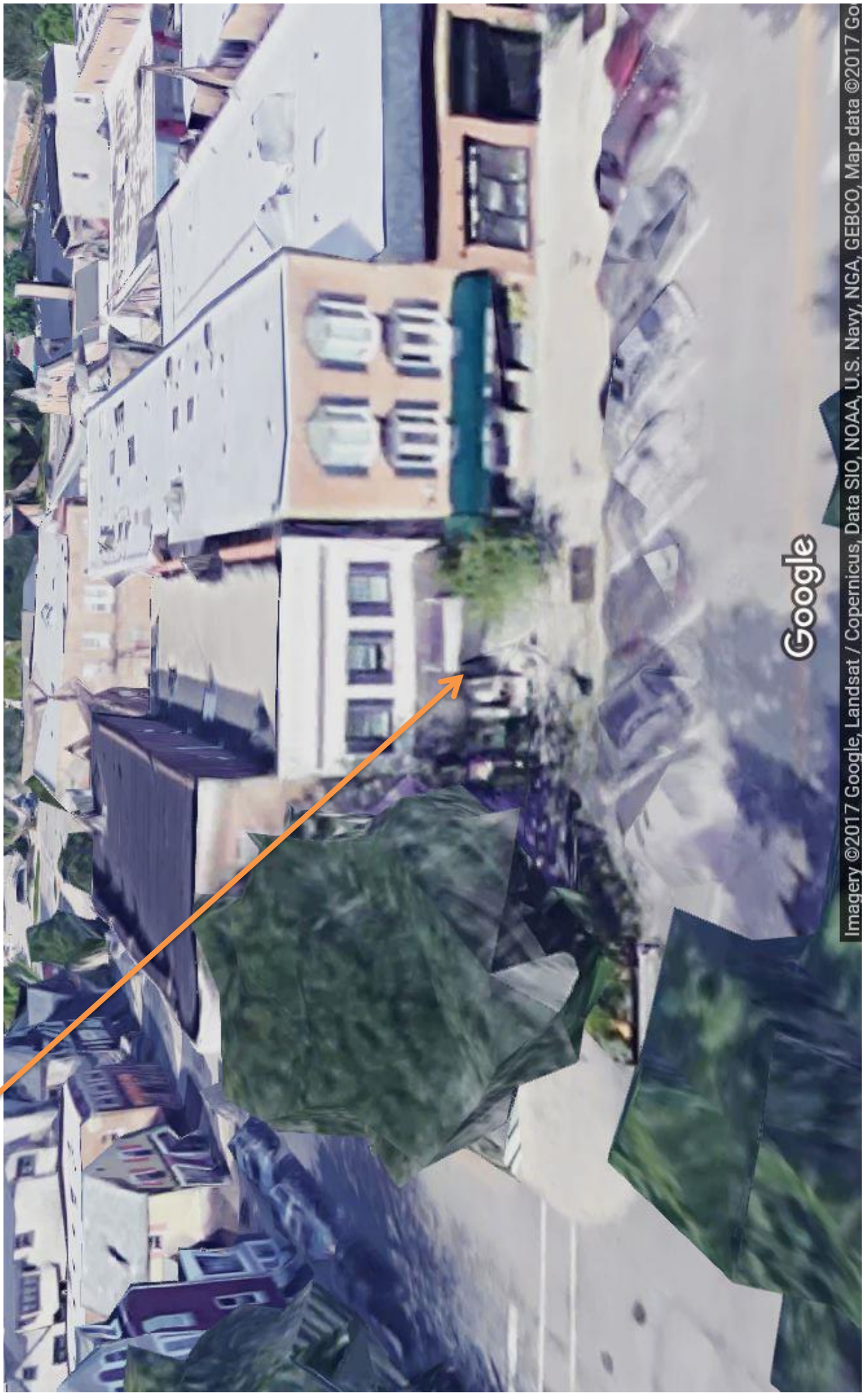




Attachment 2: Village of Hinsdale Zoning Map and Project Location



Attachment 3: Birds Eye View of 52 S. Washington Street (facing west)
Proposed Work Location



Attachment 4: Street View of 52 Washington St. (facing west, before vehicular incident)
Area of Proposed Work

