



MEETING AGENDA

**MEETING OF THE
HISTORIC PRESERVATION COMMISSION
Wednesday, November 8, 2017
6:00 P.M.
MEMORIAL HALL – MEMORIAL BUILDING
(Tentative & Subject to Change)**

1. CALL TO ORDER

2. MINUTES – Review and approval of the minutes from the October 11, 2017, meeting.

3. PUBLIC HEARING – CERTIFICATE OF APPROPRIATENESS

- a) Case HPC-08-2017 – 107 S. Park Ave. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.
- b) Case HPC-09-2017 – 504 S. Oak St. - Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

4. DISCUSSION

- a) 304 S. Lincoln Street – Case HPC-04-2016 (approved on November 9, 2016)
- b) Update letter regarding the Hinsdale Historical Society for Historic Tours App

5. ADJOURNMENT

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend any meetings and who require certain accommodations in order to allow them to observe and/or participate in these meetings, or who have questions regarding accessibility of the meetings or the facilities, are requested to contact Darrell Langlois, ADA Coordinator at 630.789-7014 or **by TDD at 789-7022** promptly to allow the Village of Hinsdale to make reasonable accommodations for those persons. website: www.villageofhinsdale.org

Approved

MINUTES
VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

October 11, 2017

Memorial Hall – Memorial Building, 19 East Chicago Avenue, Hinsdale
6:00 P.M.

Chairman Bohnen called the meeting of the Historic Preservation Commission (HPC) to order at 6:00 p.m. on October 11, 2017, in Memorial Hall in the Memorial Building, 19 East Chicago Avenue, Hinsdale IL.

Present: Chairman Bohnen, Commissioner Prisby, Commissioner Weinberger,
Commissioner D'Arco, and Commissioner Gonzalez
Absent: Commissioner Williams and Commissioner Willett
Also Present: Applicant for Case HPC-06-2017 and HPC-07-2017

Minutes

Chairman Bohnen introduced the minutes from the September 13, 2017, meeting and asked for any questions. Commissioner Weinberger had two correction requests; (1) under the discussion item for the “Zook House” mobile app, it should reference “Historic Tours” mobile app, and (2), corrected that both the targeted app launch time and Kitchen walk are in May, not October.

Thereafter, the HPC **unanimously approved, 5-0** (2 absent) the minutes.

Public Hearing – Certificate of Appropriateness

Case HPC-06-2017 – 418 S. Park Avenue – Request for Certificate of Appropriateness to Demolish the Existing Home and construct a new home in the Robbins Park Historic District.

The applicant presented to the HPC, the current condition of the house at 418 S. Park Avenue. It was explained that it does not have any historical value, is in bad shape and needs to be demolished. The applicant also reviewed that she spoke with several neighbors, who are in support of the request. Several HPC members were familiar with the house and agreed with the applicant. A discussion about the detached (3rd car) garage and streetscape view determined it would be not inappropriate.

Please refer to Attachment 1, for the transcript for Public Hearing Case HPC-06-2017

A motion to **approve** the Certificate of Appropriateness was unanimously approved 5-0, (2 absent) as submitted.

Certificate of Appropriateness in the Historic Downtown District

Case HPC-07-2017 — 52 S. Washington St., – Green Goddess Boutique – Certificate of Appropriateness for a new front entrance plan at the 1st floor retail business in the Historic Downtown District.

The applicant presented to the HPC, the current condition of the commercial building in historic downtown district and the plan to construct a new front façade with elements to match the surrounding buildings and features.

A color rendition of the proposed store front was projected via PowerPoint presentation and described by the applicant representative. The door to the store entrance would be relocated front the center of the building (as it was previous to the accident) to the right side of the building. An HPC Commissioner asked why the relocation of the centered door to the right side of the building. It was reviewed that the proposed recessed door on the right side of the building is likely the original location of the store entry door when the building was constructed and would be a better match with the other buildings on the block. The center front door entrance was modified at some point, explained by the architect of record, who recused himself from voting. The proposed door would look like a house door and be recessed so that it does not open on to the sidewalk.

The applicant noted the knee wall in the proposed picture would appear more crème color and not bright white in reality and be constructed of brick, after an HPC Commissioner asked about the contrasting color on the PowerPoint slide. The applicant also stated the sign above the store would remain the same but be re-located to the center of the building. The sign is currently set off-center. An HPC Commissioner added that the proposed new façade is consistent with the other building frontage on the block.

There were no additional concerns by the HPC.

A motion to **approve** the Certificate of Appropriateness was unanimously approved 4-0, (2 absent, 1 abstained) as submitted.

Discussion Items

Schedule a Special HPC meeting


The Chairman expressed that the HPC has wanted to hold a special meeting to discuss mission/scope and timing on HPC matters. After reviewing dates and times, the HPC set a tentative date and time for a special meeting on Monday, October 23, 2017, at 8:45 AM in the Village Hall large conference room to review the municipal code Title 14. It was requested that staff send to the HPC a PDF via email and a hardcopy of Title 14 (Historic Preservation). Staff has completed this.

Adjournment

Commissioner Bohnen asked for a motion to adjourn. The HPC unanimously agreed to adjourn at 6:42 PM. on October 11, 2017.

Historic Preservation Commission
October 11, 2017

Respectfully Submitted,

 , **Village Planner**

STATE OF ILLINOIS)
) ss:
COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
Case No. HPC-06-2017)
418 South Park Avenue.)

REPORT OF PROCEEDINGS had and testimony
taken at the Certificate of Appropriateness
Public Hearing of the above-entitled matter
before the Hinsdale Historic Preservation
Commission, at 19 East Chicago Avenue, Hinsdale,
Illinois, on the 11th day of October 2017, at
the hour of 6:00 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MR. FRANK GONZALEZ, Member;

MS. JANICE D'ARCO, Member;

MR. JIM PRISBY, Member; and

MS. SHANNON WEINBERGER, Member.

<p style="text-align: right;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MR. CHAN YU, Village Planner;</p> <p>3 MS. JULIE LAUX, Applicant;</p> <p>4 MR. PATRICK FORTELKA, Applicant's architect.</p> <p>5 _____</p> <p>6</p> <p>7 CHAIRMAN BOHNEN: Case HPC-06-2017</p> <p>8 418 South Park Avenue. Will the applicants</p> <p>9 please approach the podium and be sworn in.</p> <p>06:04:38PM 10 (WHEREUPON, Ms. Laux was</p> <p>11 administered the oath.)</p> <p>12 MS. LAUX: Julie Laux, L-a-u-x.</p> <p>13 CHAIRMAN BOHNEN: Would you like to</p> <p>14 explain to us what you have in mind for 418</p> <p>15 South Park Avenue, please.</p> <p>16 MS. LAUX: Sure. We would like to</p> <p>17 teardown 418 South Park and construct a new</p> <p>18 home. I think you all have the plans for that.</p> <p>19 The existing house is in a state of</p> <p>06:05:20PM 20 disarray. I sent some photos along with the</p> <p>21 application. I have some more now.</p> <p>22 I bought the house in sort of an</p>	<p style="text-align: right;">4</p> <p>1 MS. LAUX: It does. Especially the</p> <p>2 outside. There's usually tweaks to the inside</p> <p>3 but the exterior stays.</p> <p>4 MR. PRISBY: That was designed without</p> <p>5 a specific owner attached to it?</p> <p>6 MS. LAUX: That is correct.</p> <p>7 CHAIRMAN BOHNEN: Should we discuss it?</p> <p>8 MS. LAUX: I was going to mention one</p> <p>9 other thing, John. Sorry to interrupt.</p> <p>10 I know it isn't really part of the</p> <p>06:06:44PM 11 requirement, but I met with all the neighbors</p> <p>12 both as a part of doing our visits for the</p> <p>13 permit process but also I just so happen to know</p> <p>14 most of the neighbors and I have emails from all</p> <p>15 of them weighing in in support of a teardown and</p> <p>16 a new construction, so if you would like to see</p> <p>17 those.</p> <p>18 One homeowner just to the west is</p> <p>19 out of town, the Templetons, they are in Ireland</p> <p>06:07:12PM 20 right now, but I have a text from them saying</p> <p>21 they are in favor and I have met with them</p> <p>22 previously as well. So the other neighbors are</p>
<p style="text-align: right;">3</p> <p>1 unusual circumstance where I didn't have access</p> <p>2 to the inside until after the closing. Since</p> <p>3 that time, I have gone inside. Two feet of</p> <p>4 drywall is cut in the basement. There was</p> <p>5 obviously water there and there's quite a bit of</p> <p>6 mold. It's in a pretty sorry state.</p> <p>7 CHAIRMAN BOHNEN: Julie, are you</p> <p>8 proposing to build a spec home here or is this a</p> <p>9 custom home?</p> <p>06:05:56PM 10 MS. LAUX: So our typical rhythm, I</p> <p>11 guess I don't really use those words is, I own</p> <p>12 the lot right now, my company owns the lot J.</p> <p>13 Jordan Homes, and we often start the house and</p> <p>14 then we sell it some time during construction.</p> <p>15 We don't usually complete a house so I don't</p> <p>16 really use the word spec.</p> <p>17 CHAIRMAN BOHNEN: But you obviously</p> <p>18 start building from a set of plans?</p> <p>19 MS. LAUX: That is correct.</p> <p>06:06:20PM 20 CHAIRMAN BOHNEN: So ultimately if</p> <p>21 someone were to buy it midstream, it would most</p> <p>22 likely follow the plans?</p>	<p style="text-align: right;">5</p> <p>1 all in support of my plan.</p> <p>2 CHAIRMAN BOHNEN: Who would like to</p> <p>3 start?</p> <p>4 MS. WEINBERGER: I'll start. I did not</p> <p>5 go in the home, but just walking around the home</p> <p>6 it's another one of these cases where we missed</p> <p>7 it. The house is already really rough and I'm</p> <p>8 not sure anything historic is there and it's --</p> <p>9 yes, not a whole lot of historic there.</p> <p>06:08:06PM 10 MS. D'ARCO: I agree. The house was on</p> <p>11 the market for quite some time. It was lucky to</p> <p>12 get a buyer. So I don't have any opposition to</p> <p>13 a new home there.</p> <p>14 MS. LAUX: Thank you.</p> <p>15 MR. PRISBY: I went past the exterior</p> <p>16 today, it was in disarray, but I didn't have a</p> <p>17 chance to go inside.</p> <p>18 MS. LAUX: I have some photos of the</p> <p>19 inside if you are interested.</p> <p>06:08:34PM 20 MR. PRISBY: No. I think I could take</p> <p>21 their word for it.</p> <p>22 MS. D'ARCO: The space is being cleared</p>

<p style="text-align: center;">6</p> <p>1 out already?</p> <p>2 MS. LAUX: Yes. We took down some of</p> <p>3 the trees. Some of the trees were elms and they</p> <p>4 were on their way out anyhow. There hadn't been</p> <p>5 a lot of landscaping maintenance done there in a</p> <p>6 number of years so it needed to clear out.</p> <p>7 MS. D'ARCO: I think a new home would</p> <p>8 be great. It's a little dreary right now, so a</p> <p>9 new home will brighten up that corner.</p> <p>06:09:10PM 10 MS. LAUX: Thank you.</p> <p>11 CHAIRMAN BOHNEN: Frank?</p> <p>12 MR. GONZALEZ: I have driven by it a</p> <p>13 number of times. It doesn't look appealing to</p> <p>14 the block or the neighbors. How far -- as I'm</p> <p>15 looking, is the new home going to be more or</p> <p>16 less on the same footprint?</p> <p>17 MS. LAUX: So right now the house is</p> <p>18 out with the point of the L towards the</p> <p>19 southwest corner and we sort of flipped the L</p> <p>06:09:42PM 20 the other way so the point of the L would be</p> <p>21 more towards the prominent corner, which I think</p> <p>22 is a better look for the property anyhow.</p>	<p style="text-align: center;">8</p> <p>1 They are one of my emails that have weighed in</p> <p>2 for support.</p> <p>3 CHAIRMAN BOHNEN: Would it be right</p> <p>4 that this garage would be considerably forward</p> <p>5 of the facade of the Trauscht's house?</p> <p>6 MS. LAUX: Yes.</p> <p>7 MR. PRISBY: The site plan says it's a</p> <p>8 35-foot corner side yard setback along Park</p> <p>9 Street. Is that established as an average with</p> <p>06:11:56PM 10 the Trauscht's house? Do you know where they</p> <p>11 are in relation to the property line?</p> <p>12 MS. LAUX: They are quite a bit further</p> <p>13 back. We actually before -- I have Pat Fortelka</p> <p>14 here who is with Moment Design, my architect, so</p> <p>15 maybe he can answer those better, but we did</p> <p>16 check our setbacks with the village prior to</p> <p>17 buying the property because corners are dicey</p> <p>18 and so I know it's within the code.</p> <p>19 MR. PRISBY: Well, I'm sure it's within</p> <p>06:12:22PM 20 the code. It just gives me a mental picture on</p> <p>21 where this house is in relation to the lot next</p> <p>22 to it in terms of how far back off of Park</p>
<p style="text-align: center;">7</p> <p>1 CHAIRMAN BOHNEN: We seem to be seeing</p> <p>2 a lot of these detached third garages. Is there</p> <p>3 a big demand for this?</p> <p>4 MS. LAUX: So most people want at least</p> <p>5 a three-car garage in our town and the house</p> <p>6 becomes a little cumbersome when it's three</p> <p>7 attached so it gives the house a little</p> <p>8 breathing room to detach that third garage.</p> <p>9 CHAIRMAN BOHNEN: I guess my concern is</p> <p>06:10:40PM 10 -- and I'd have to look at the streetscape --</p> <p>11 but next door is the French chateaux. If I'm</p> <p>12 driving down Park Street, am I going to be</p> <p>13 bothered by that third garage there as it</p> <p>14 pertains to the setback, the Trauscht's house?</p> <p>15 MS. LAUX: I don't think so. We are</p> <p>16 quite a bit higher than they are elevation wise</p> <p>17 and they have a line of landscaping that comes</p> <p>18 east to west, so there is landscaping blocking</p> <p>19 the Trauscht's property from this property</p> <p>06:11:18PM 20 that's on the Trauscht's, so it will stay as</p> <p>21 long as that property remains with the</p> <p>22 Trauschts. That property is for sale as well.</p>	<p style="text-align: center;">9</p> <p>1 Street.</p> <p>2 MS. LAUX: It's like a hard question</p> <p>3 because the street is also angling very much</p> <p>4 towards the west. So if the street went</p> <p>5 straight, it would be a completely different</p> <p>6 answer but the street is angling back.</p> <p>7 MR. PRISBY: I know there's a couple</p> <p>8 over there that have crazy setbacks.</p> <p>9 MS. LAUX: Yes. Especially this lot.</p> <p>06:12:50PM 10 MS. D'ARCO: There's quite a bit of</p> <p>11 distance between where the house currently is</p> <p>12 and the Trauschts?</p> <p>13 MS. LAUX: Right. The Trauschts have</p> <p>14 quite a bit of property and a lot of frontage,</p> <p>15 that's for sure. They have no backyard which I</p> <p>16 think is an issue for them.</p> <p>17 CHAIRMAN BOHNEN: Used to.</p> <p>18 MS. LAUX: Yes. Right. But that ship</p> <p>19 sailed.</p> <p>06:13:16PM 20 CHAIRMAN BOHNEN: I just kind of</p> <p>21 visualize driving down Park Street if this</p> <p>22 garage is hanging out like a moving pendant or</p>

<p style="text-align: center;">10</p> <p>1 something.</p> <p>2 MS. LAUX: I don't think so. Pat, do</p> <p>3 you want to weigh in?</p> <p>4 (WHEREUPON, Mr. Fortelka was</p> <p>5 administered the oath.)</p> <p>6 MR. FORTELKA: Patrick Fortelka. The</p> <p>7 question with the accessory structure, the</p> <p>8 detached garage, you can see in the exterior</p> <p>9 elevation -- sorry, mine are marked up. I just</p> <p>06:13:58PM 10 got our permit comments back.</p> <p>11 We used two brick kind of wing</p> <p>12 walls on either side to make a more homogenous</p> <p>13 kind of a connection between the detached garage</p> <p>14 and the house itself. We were concerned with</p> <p>15 the idea of it being an appendage itself. It</p> <p>16 will have matching material, matching garage</p> <p>17 door. So it really will go with the house. If</p> <p>18 code allowed it, we had hoped to put a gate</p> <p>19 between those two structures that would really</p> <p>06:14:28PM 20 kind of bring them together, make them feel as</p> <p>21 one, but unfortunately the code doesn't allow</p> <p>22 for that. That said, the garage itself is quite</p>	<p style="text-align: center;">12</p> <p>1 down Park Street, am I going to see the side of</p> <p>2 this one-car garage?</p> <p>3 MS. LAUX: It's stepping way back.</p> <p>4 MR. PRISBY: The road jogs out.</p> <p>5 MS. LAUX: Well, it jogs out sort of</p> <p>6 north of there. So it's jogging back, I think,</p> <p>7 it's jogging back west as you get to the south</p> <p>8 end of the property.</p> <p>9 MR. PRISBY: I'm looking at our general</p> <p>06:16:00PM 10 zoning map here. So I'm just looking at if my</p> <p>11 property is here, right, the Trauscht's house is</p> <p>12 over here. (Indicating.)</p> <p>13 MS. LAUX: You drew your circle way too</p> <p>14 far. It's way up here.</p> <p>15 MR. PRISBY: That's what I'm wondering</p> <p>16 if I'm seeing this as I come down here it's the</p> <p>17 side of the one-car garage.</p> <p>18 MS. LAUX: You will not. There's a</p> <p>19 line of landscaping. Let me just check my</p> <p>06:16:38PM 20 photos and see if we have a photo.</p> <p>21 MR. PRISBY: That would be very helpful</p> <p>22 for me. That's just a concern that I had when I</p>
<p style="text-align: center;">11</p> <p>1 a bit lower than the house so it has a nice</p> <p>2 rhythm, it kind of grows up to the corner.</p> <p>3 MS. LAUX: And we like that the space</p> <p>4 between the accessory structure and the main</p> <p>5 structure because some of the less attractive</p> <p>6 parts of the house, the air-conditioners, et</p> <p>7 cetera, are in that space so they are not</p> <p>8 bothering the neighbors on the perimeter.</p> <p>9 CHAIRMAN BOHNEN: Anybody else?</p> <p>06:15:02PM 10 MR. PRISBY: I think those are fair</p> <p>11 points. I like the screening off the air-</p> <p>12 conditioners. I do like the idea of not having</p> <p>13 a wing of three cars coming out. You see that a</p> <p>14 lot.</p> <p>15 MS. LAUX: It's not that cute, right.</p> <p>16 MR. PRISBY: My only concern on this is</p> <p>17 when you drive north on Park Street because of</p> <p>18 how that road jogs around and because of where</p> <p>19 the Trauscht's house is located, I can't kind of</p> <p>06:15:28PM 20 picture it completely here.</p> <p>21 If I'm all the way down at Sixth</p> <p>22 Street, Seventh Street and I'm looking north</p>	<p style="text-align: center;">13</p> <p>1 saw this. I wouldn't be that opposed to where</p> <p>2 it is if there's something that would improve</p> <p>3 that elevation. That's something that you are</p> <p>4 driving from a few blocks away and all I see is</p> <p>5 the side of a one-car brick detached garage as</p> <p>6 my focus piece, I have issue with that. I</p> <p>7 didn't drive by there with that kind of thought</p> <p>8 in mind.</p> <p>9 MS. LAUX: That's looking a little bit</p> <p>06:17:14PM 10 south of the house now and so the garage would</p> <p>11 be kind of here. (Indicating.)</p> <p>12 MR. PRISBY: Chan, can you show that</p> <p>13 from the south looking north?</p> <p>14 CHAIRMAN BOHNEN: There you go, north</p> <p>15 on Park.</p> <p>16 MR. PRISBY: I see the vegetation</p> <p>17 which, by the way, thank you for taking down.</p> <p>18 MS. LAUX: Yes. But a lot of that,</p> <p>19 interestingly, once we sort of cleared our</p> <p>06:18:12PM 20 property, there is a nice line of vegetation on</p> <p>21 the Trauscht's property that feels very much</p> <p>22 like a blocker. That's what I was trying to see</p>

<p style="text-align: right;">14</p> <p>1 if I had a photo that shows that.</p> <p>2 MR. PRISBY: The black box there just</p> <p>3 to the left of that there's some kind of tree or</p> <p>4 vegetation there.</p> <p>5 MS. LAUX: There's some great poplar</p> <p>6 trees there too that help.</p> <p>7 MR. PRISBY: It looks like a red roof</p> <p>8 forward of that.</p> <p>9 MS. LAUX: We are 39 off the parkway.</p> <p>06:19:58PM 10 MR. PRISBY: See where this house is in</p> <p>11 relation to that? (Indicating.)</p> <p>12 MS. LAUX: I have a topo right here.</p> <p>13 (Discussion had off the record.)</p> <p>14 MR. PRISBY: I don't have an issue.</p> <p>15 It's far enough back, there's enough vegetation</p> <p>16 in between that I'm not staring at the green</p> <p>17 monster.</p> <p>18 MS. LAUX: Thank you.</p> <p>19 CHAIRMAN BOHNEN: Let the record show</p> <p>06:23:38PM 20 that we had a discussion about the positioning</p> <p>21 of the third garage and I think everybody is</p> <p>22 satisfied that it will not be a problem as far</p>	<p style="text-align: right;">16</p> <p>1 MR. FORTELKA: It's a lime wash,</p> <p>2 actually, that is better than paint and let's a</p> <p>3 little bit of the brick come through, very</p> <p>4 historic look to it.</p> <p>5 MS. LAUX: And whether it's an antique</p> <p>6 brick or not, something definitely textural not</p> <p>7 really flat. Something very natural looking,</p> <p>8 which is almost always what we do.</p> <p>9 MR. GONZALEZ: With regards to the</p> <p>06:25:18PM 10 present home, are you going to do anything with</p> <p>11 reclaiming anything from the home?</p> <p>12 MS. LAUX: I have scoured the place for</p> <p>13 anything to reclaim and so far all I have come</p> <p>14 up with is the flagstone. There's quite a bit</p> <p>15 of flagstone on the property in the walks and so</p> <p>16 we are going to reclaim that. I can't find</p> <p>17 anything else to save.</p> <p>18 MR. GONZALEZ: How old is the house?</p> <p>19 MS. LAUX: I should know that, but my</p> <p>06:25:42PM 20 guess is the '50s.</p> <p>21 MR. GONZALEZ: I was just thinking of</p> <p>22 the timber what kind of wood they were using.</p>
<p style="text-align: right;">15</p> <p>1 as the streetscape.</p> <p>2 MS. LAUX: Thank you.</p> <p>3 CHAIRMAN BOHNEN: Are there any other</p> <p>4 comments or questions that we have?</p> <p>5 MS. D'ARCO: I was just going to ask</p> <p>6 about timing.</p> <p>7 MS. LAUX: So I'd like to get started</p> <p>8 as soon as possible. We got our comments back</p> <p>9 from the village like a week ago and so we</p> <p>06:24:10PM 10 should be back in for our revision this week.</p> <p>11 I'm anxious to get started; it doesn't look very</p> <p>12 good, and the winter is coming so the sooner the</p> <p>13 better for me. The day I get a permit, the day</p> <p>14 the fencing goes up and I'm ready to rock so I'm</p> <p>15 all set up.</p> <p>16 MS. WEINBERGER: This is red brick?</p> <p>17 MS. LAUX: It's going to be probably an</p> <p>18 acid-washed brick. There's a product called</p> <p>19 ROMABIO that we like. Let me show you just two</p> <p>06:24:42PM 20 photos. Obviously this isn't the house but just</p> <p>21 to give you some concept. Can you see it from</p> <p>22 there?</p>	<p style="text-align: right;">17</p> <p>1 MR. PRISBY: '52.</p> <p>2 MS. LAUX: No. There's just nothing.</p> <p>3 And I did meet with the deconstruction people to</p> <p>4 see if that was an option. It's just not.</p> <p>5 CHAIRMAN BOHNEN: Okay. So we seem to</p> <p>6 be pretty much in concert here. We will be</p> <p>7 looking for a motion. The motion can be either</p> <p>8 a motion to approve it as submitted, or you can</p> <p>9 have your approval conditioned by conditions</p> <p>06:26:28PM 10 where you meet with Julie and Patrick one more</p> <p>11 time before they go and break ground.</p> <p>12 MR. PRISBY: Well, I stated numerous</p> <p>13 times in these hearings that I won't do it with</p> <p>14 conditions. I'm interested in the special</p> <p>15 meeting getting in front of this. They</p> <p>16 submitted, they are in for permit, they got</p> <p>17 their comments back, they are ready to go.</p> <p>18 CHAIRMAN BOHNEN: So why don't you make</p> <p>19 a motion that we approve this as submitted?</p> <p>06:26:54PM 20 MR. GONZALEZ: There's not going to be</p> <p>21 any deviation from the facade of what we see</p> <p>22 here; correct?</p>

1 MS. LAUX: I can't say any because
 2 there's always minor modifications. I mean,
 3 maybe the door is not herringbone. I don't have
 4 any intentions of making any modifications from
 5 what I have presented.

6 MR. GONZALEZ: All right.

7 CHAIRMAN BOHNEN: May I have a motion,
 8 please?

9 MR. PRISBY: I make a motion to approve
 10 as submitted.

06/27/20PM

11 CHAIRMAN BOHNEN: Second, please?

12 MS. WEINBERGER: I'll second.

13 CHAIRMAN BOHNEN: All in favor?

14 (All aye.)

15 Your application is approved.

16 MS. LAUX: Thank you very much.

17 (WHICH, were all of the

18 proceedings had, evidence

19 offered or received in the

20 above entitled cause.)

21

22

1 STATE OF ILLINOIS)
) ss:

2 COUNTY OF DU PAGE)

3 I, KATHLEEN W. BONO, Certified
 4 Shorthand Reporter, Notary Public in and for the
 5 County DuPage, State of Illinois, do hereby
 6 certify that previous to the commencement of the
 7 examination and testimony of the various
 8 witnesses herein, they were duly sworn by me to
 9 testify the truth in relation to the matters
 10 pertaining hereto; that the testimony given by
 11 said witnesses was reduced to writing by means
 12 of shorthand and thereafter transcribed into
 13 typewritten form; and that the foregoing is a
 14 true, correct and complete transcript of my
 15 shorthand notes so taken aforesaid.

16 IN TESTIMONY WHEREOF I have
 17 hereunto set my hand and affixed my notarial
 18 seal this 30th day of October, A.D. 2017.

19

20

 KATHLEEN W. BONO,
 C.S.R. No. 84-1423

21

22

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MEMORANDUM

DATE: November 8, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 107 S. Park Avenue – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – H-08-2017

Summary

The Village of Hinsdale has received an application from the homeowner, Teresa Liu, and requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 107 S. Park Avenue. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on a corner lot in the Robbins Park Historic District. The existing home was constructed in 1940 in a French Eclectic style. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted site plan, it is a legal nonconforming R-1 lot that is 12,137 SF in area. The existing home, per the National Register of Historic Places, is a contributing structure to the Robbins Park Historic District.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 107 SOUTH PARK AVE. HINSDALE
Property Identification Number: 09-12-208-001

I. GENERAL INFORMATION

1. Applicants Name: YUNG & TERESA LIU
Address: 107 SOUTH PARK AVE
HINSDALE.
Telephone Number: 630-484-5692
2. Owner of Record (if different from applicant): TERESA L. LIU LIVING TRUST
Address: DATED March
Telephone Number: SAME AS ABOVE
3. Others involved in project (include, name, address and telephone number):
Architect: BRIAN PETERSON OF Michael Abraham Architecture
630-655-9417 X304, 148 Burlington Ave. C.H. 60514
Attorney: _____
Builder: _____
Engineer: Ridge Line Engineering LLC, 1661 Aucutt Rd., Montgomery IL.
630-861-7927 60538

II. SITE INFORMATION

1. Describe the existing conditions of the property: Poor, functionally obsolete,
and not enough space
2. Property Designation:
Listed on the National Register of Historic Places? _____ YES ☒ NO
Listed as a Local Designated Landmark? _____ YES ☒ NO
Located in a Designated Historic District? ☒ YES _____ NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary). We PLAN TO TEAR DOWN THE EXISTING HOME IN ITS ENTIRETY and

A NEW home will be built on the
location. Please see attached Plans.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☒ No ☐ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

From: Teresa Liu teresaliu3@gmail.com
Subject: 107 South Park Ave. Hinsdale
Date: Oct 12, 2017, 8:45:48 PM
To: sharon431@gmail.com

*Subject Property (Front Elevation)
West*



From: Teresa Liu teresaliu3@gmail.com
Subject: 107 South Park, Hinsdale IL (North Elevation)
Date: Oct 12, 2017, 8:49:57 PM
To: sharon431@gmail.com

*Subject Property
(North Elevation)*



From: Teresa Liu tygliu@aol.com
Subject: 107 South Park Ave., Hinsdale IL (East Elevation)
Date: Oct 12, 2017, 8:52:03 PM
To: Liu, Sharon H shliu1@kpmg.com

*Subject Property
(East Elevation)*



From: Teresa Liu teresaliu3@gmail.com
Subject: 130 East First St. Hinsdale
Date: Oct 12, 2017, 8:47:33 PM
To: sharon431@gmail.com

Home to the West (SW
Across the Street Corner)
of 1st &
Park)



From: Teresa Liu teresaliu3@gmail.com
Subject: 45 S Park Hinsdale
Date: Oct 12, 2017, 8:44:23 PM
To: sharon431@gmail.com

*Home to the North (NE Corner)
of 1st & Park
Across the street*

Pls pry a copy



*Home to the South
Adjacent*



Home to the East
Adjacent

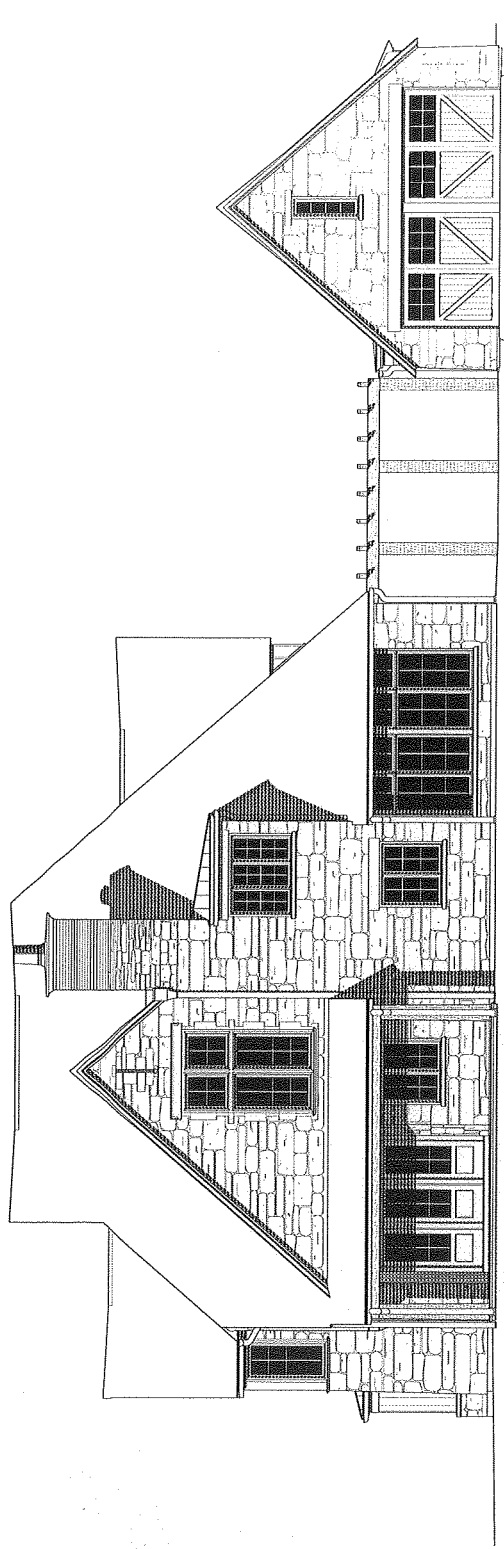


LEGAL:

THE EAST 75.00 FEET TO THE WEST 108.00 FEET (EXCEPT THE SOUTH 100.00 FEET THEREOF AND EXCEPT THE NORTH 33.00 FEET THEREOF) OF THE NORTHWEST 1/4 OF BLOCK 6 IN WM. ROBBINS 1ST ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT 7893, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 107 S PARK AVE.
HINSDALE, IL 60521

PIN: 09-12-208-001-0000



THE LIU RESIDENCE

107 SOUTH PARK AVENUE HINSDALE IL

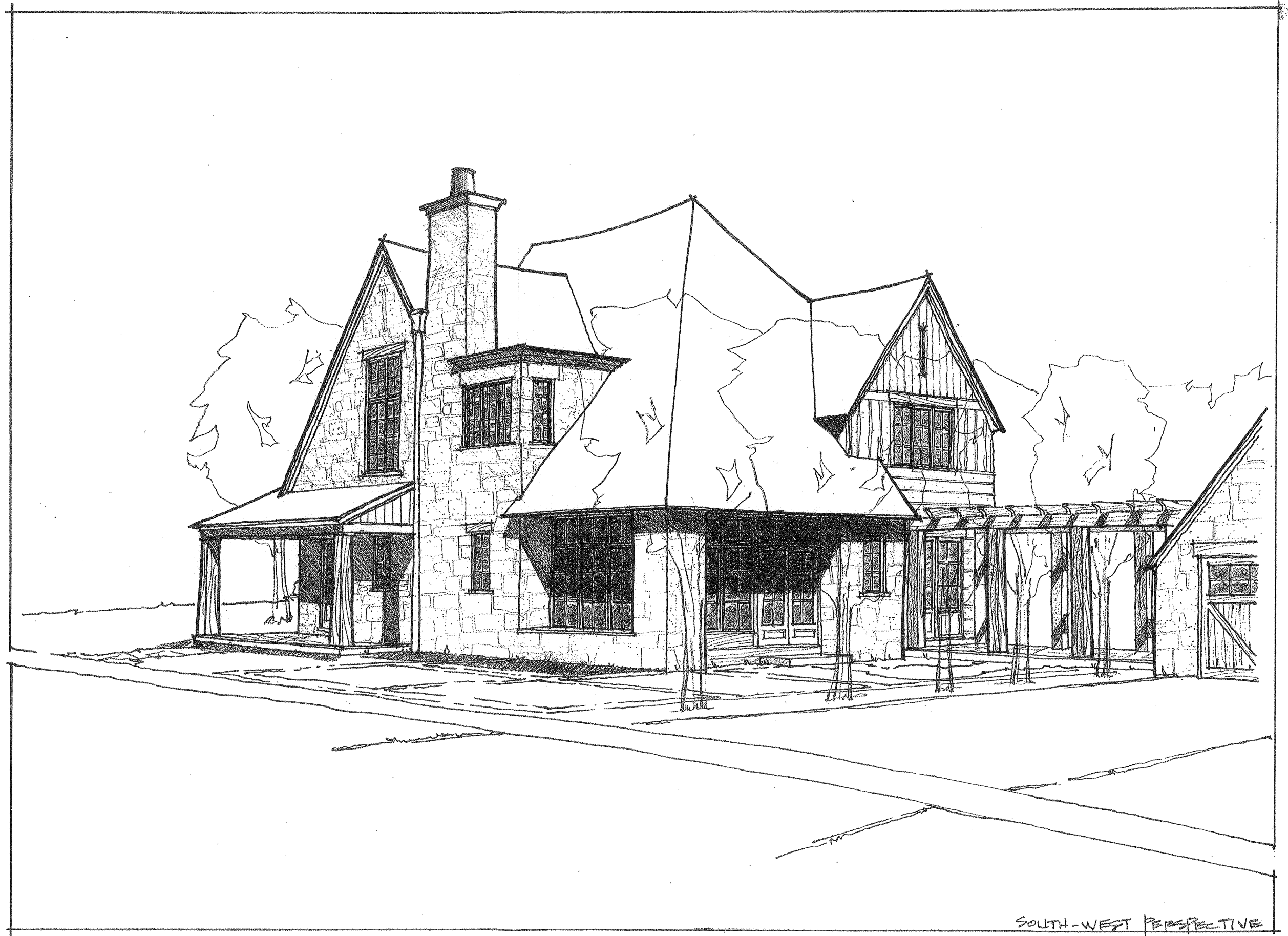
MICHAEL ABRAHAM ARCHITECTURE

148 BURLINGTON AVENUE CLARENDON HILLS IL PHONE (630)655-9417 MICHAELABRAHAM.COM



NORTH-WEST PERSPECTIVE

LIU RESIDENCE



LILI RESIDENCE

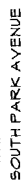
SOUTH-WEST PERSPECTIVE

TYPICAL RAIL DETAIL
SCALE: 3" = 1'-0"

 LOT COVERAGE DATA
 TOTAL ALLOWABLE COVERAGE
 TOTAL PROPOSED COVERAGE

COVERAGE DATA	TOTAL ALLOWABLE COVERAGE	6288

LOT COVERAGE DATA	
TOTAL ALLOWABLE COVERAGE:	6000.5 SF.
TOTAL PROPOSED COVERAGE:	9522.00 S.F.



GENERAL PERFORMANCE SPECIFICATIONS

1. SUMMARY

- Part 1.01 - General
- Part 1.02 - Materials
- Part 1.03 - Installation
- Part 1.04 - Maintenance
- Part 1.05 - Testing
- Part 1.06 - Acceptance
- Part 1.07 - Warranty
- Part 1.08 - Training
- Part 1.09 - Documentation
- Part 1.10 - Safety
- Part 1.11 - Environmental
- Part 1.12 - Health
- Part 1.13 - Security
- Part 1.14 - Privacy
- Part 1.15 - Accessibility
- Part 1.16 - Usability
- Part 1.17 - Interoperability
- Part 1.18 - Scalability
- Part 1.19 - Flexibility
- Part 1.20 - Reliability
- Part 1.21 - Availability
- Part 1.22 - Performance
- Part 1.23 - Efficiency
- Part 1.24 - Effectiveness
- Part 1.25 - Satisfaction
- Part 1.26 - Supportability
- Part 1.27 - Sustainability
- Part 1.28 - Resilience
- Part 1.29 - Adaptability
- Part 1.30 - Evolvability
- Part 1.31 - Portability
- Part 1.32 - Reusability
- Part 1.33 - Comprehensibility
- Part 1.34 - Predictability
- Part 1.35 - Verifiability
- Part 1.36 - Confirmability
- Part 1.37 - Reproducibility
- Part 1.38 - Auditability
- Part 1.39 - Accountability
- Part 1.40 - Transparency
- Part 1.41 - Openness
- Part 1.42 - Honesty
- Part 1.43 - Integrity
- Part 1.44 - Trustworthiness
- Part 1.45 - Credibility
- Part 1.46 - Reliability
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- Part 1.98 - Reliability
- Part 1.99 - Availability
- Part 2.00 - Performance

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2. REFERENCES

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3. MATERIALS

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3.79 - Sustainability

3.80 - Resilience

3.81 - Adaptability

ELEVATION NOTES

HEAD HEIGHTS NOTED ARE FROM TOP OF UNIT TO TOP OF FINISH FLOOR. CONSIDERATION FOR OPENINGS TO BE MADE BY HANDY MAN AT TOP OF LUT HEAD HEIGHT.

ALL TYP. AS PER ADJETER.

DOOR AND WINDOW SIZES PER MAR. IN.

TE DISCONNECTS INTO DRAINAGE SYSTEM.

PENETRATION TO HAVE MINIMUM VALUE OF 0.22

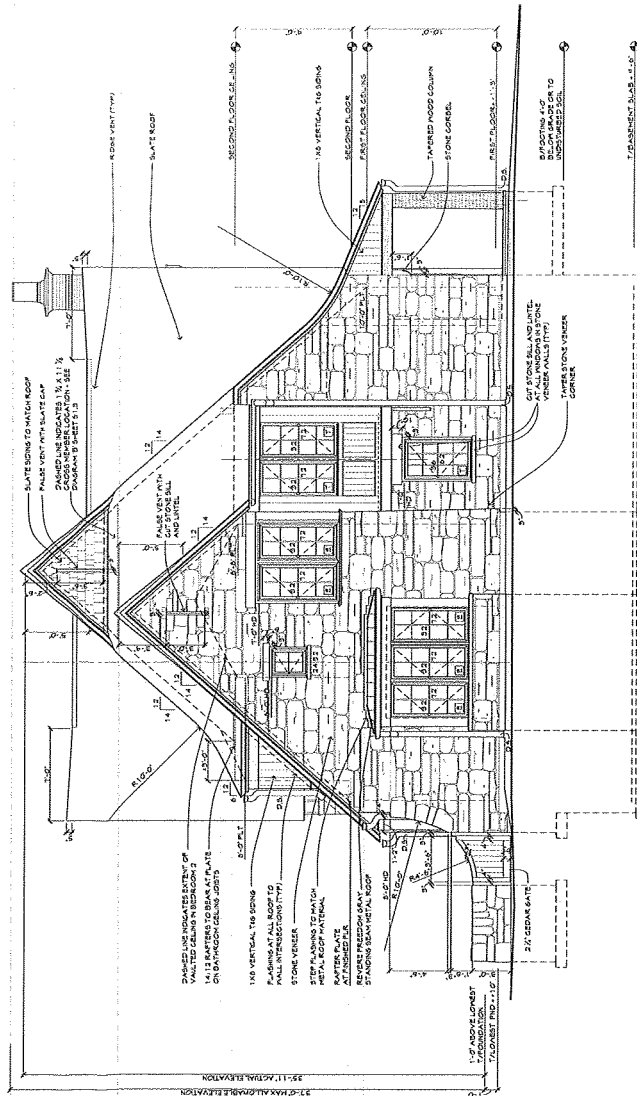
CEILING R-VALUE MIN. 0.4

FRAME WALL R-VALUE MIN. 0.20

FLOOR R-VALUE MIN. 0.30

NOTE: PROVIDE ALTERNATE PRICE
FOR STANDING SEAM COPPER IN
LIEU OF REVERSE FREEDOM GRAY
STANDING SEAM ROOF

0'-0" - EL. 708'-2"



NON-TELEVISION
1/4" x 3/8"

ELEVATION NOTES

HEAD JOISTS NOTED AND FINISH TOP OF JOIST TO TOP OF ROOF LINE. ROOF FINISH TO BE SHINGLES. ROOF DRAINAGE TO BE DOWNSPOUTS INTO DRAINAGE SYSTEM. RECOMMENDED BY MANUFACTURER AT TOP OF JOIST HEAD JOIST.

ALL TRIM AS PER SPECIFICATIONS.

DOOR AND WINDOW SIZES PER MANUFACTURER.

*E DRAINAGE INTO DRAINAGE SYSTEM.

PENETRATION TO HAVE PROPOSED VALUE OF 212.

CEILING & FLOOR FINISH 44.

FRAMES SHALL BE VALUE 100, 200.

FLOOR FINISH SHALL BE 200.

**MICHAEL ABRAHAM
ARCHITECTURE**

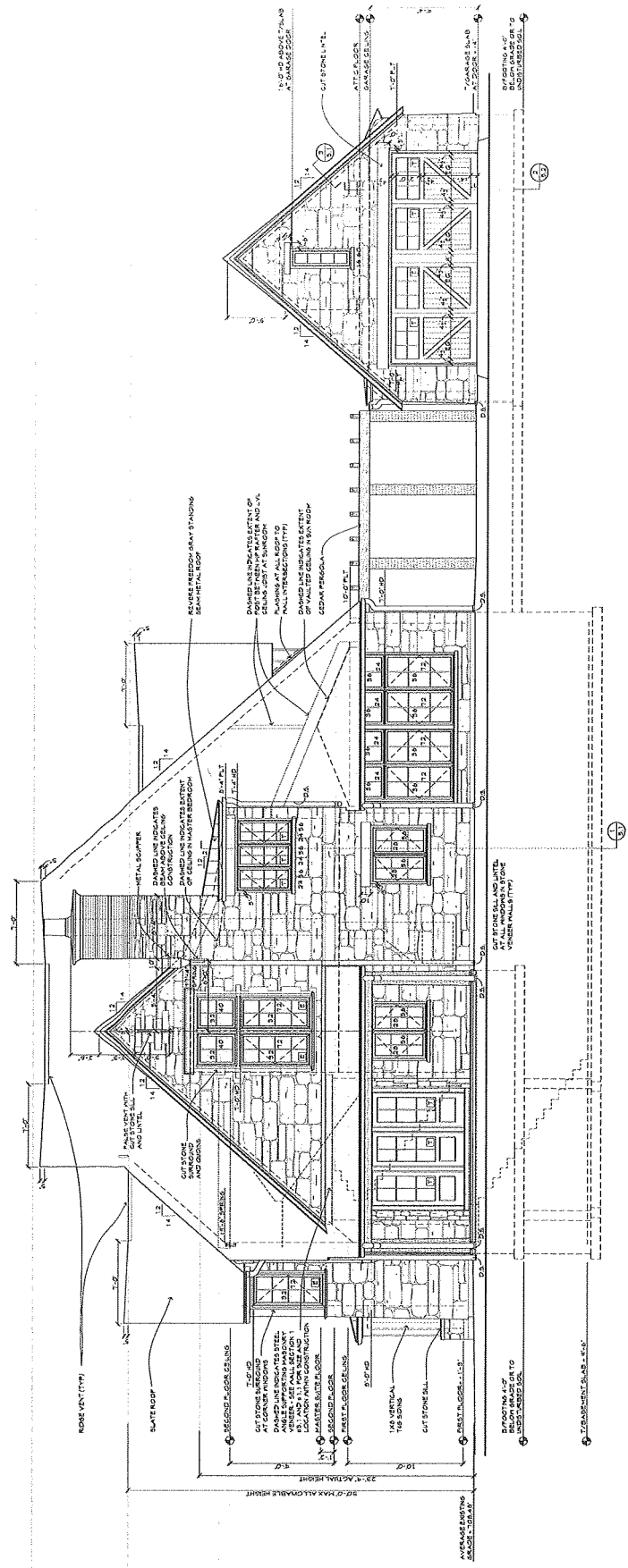
The Liu Residence
107 S. Park Avenue
Hinsdale, IL

DOCUMENT:
Based on Permit 8 23 17
Issued for Bldg 9 23 17
Access for Permit 10 13 17

DRAWN BY:
MA
CHECKED:
PROJECT NO:
16019
West Elevation

a1.2

0'-0" - EL. 108'-2"

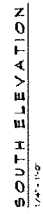


WEST ELEVATION
1/4" = 1'-0"

DRAWN BY:
 BP
 CHECKED:
 MA

DOCUMENT:
Issued for Permit B 23.17
Issued for Bid 0.29.17
Reissue for Permit 10.13.17

The Liu Residence
107 S. Park Avenue
Hinsdale, IL

MICHAEL ABRAHAM
ARCHITECTURE[illegible]

ELEVATION NOTES

HEAD HEIGHTS NOTED ARE FROM TOP OF JOINT TO TOP OF FINISH FLOOR. COORDINATE ROOM OPENINGS TO MATCH WITH HEAD HEIGHTS OF ADJACENT ROOMS WITH TOP OF FINISH FLOOR.

ALL DIMS AS PER BESTER.

DOOR AND WINDOW SIZES PER HANVYN.

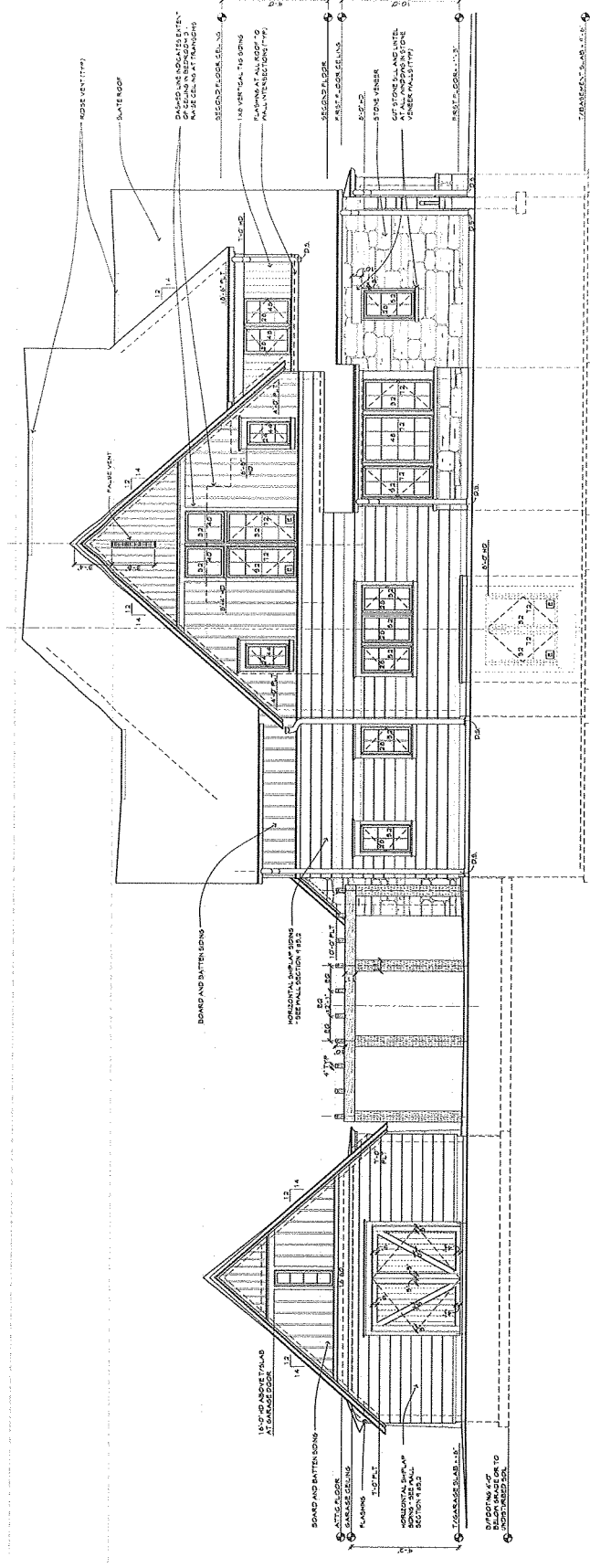
*2 DOORWAYS INTO DRAINAGE SYSTEM

PERFORATION TO HAVE MINIMUM VALUE OF 0.32

CEILING R-VALUE MIN 0.44

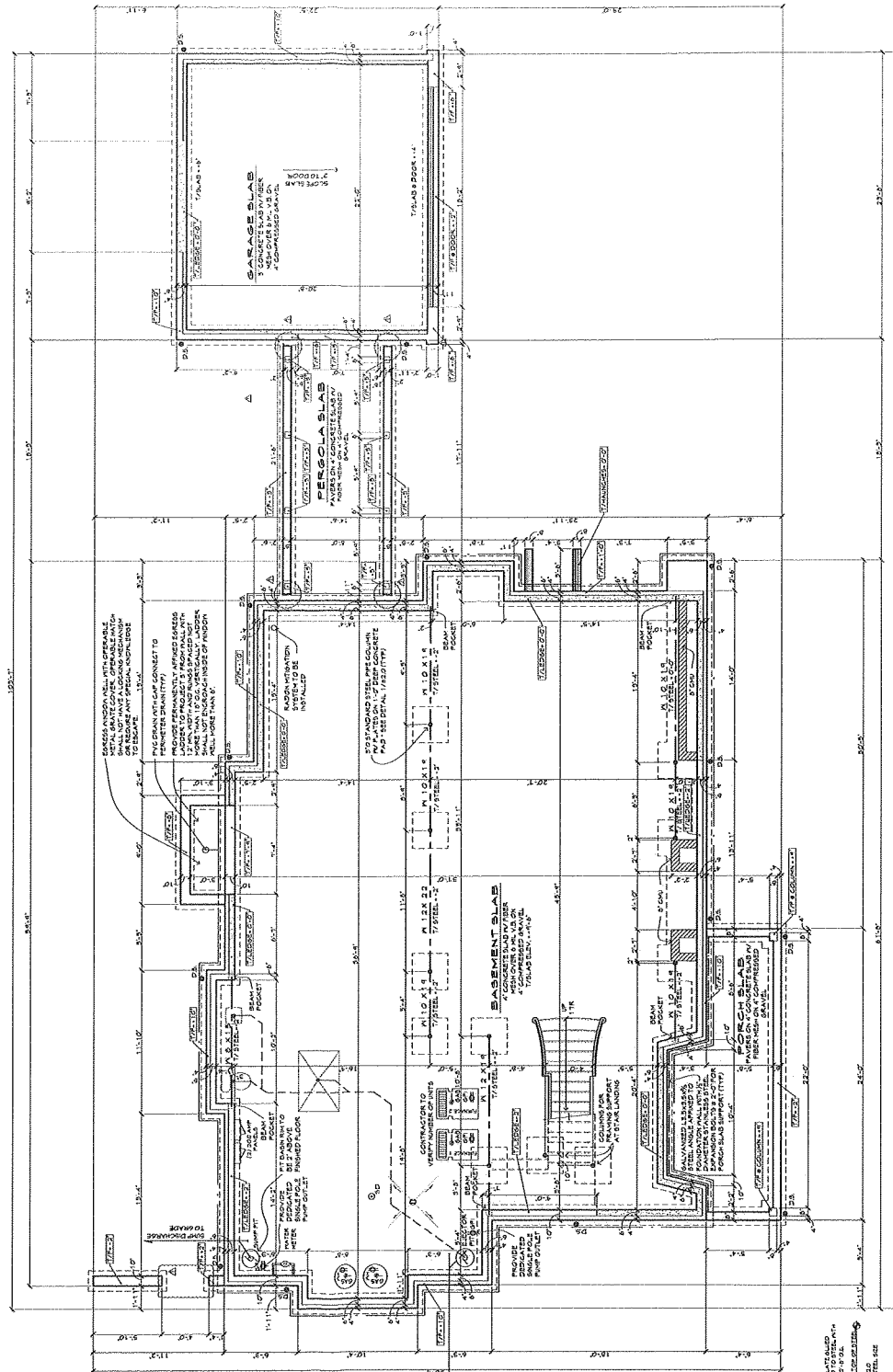
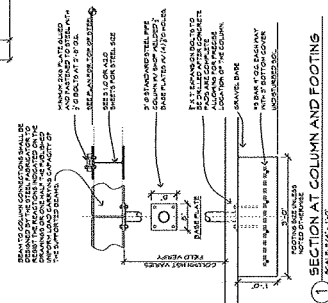
FRAME WALL R-VALUE MIN 0.20

FLOOR R-VALUE MIN 0.20

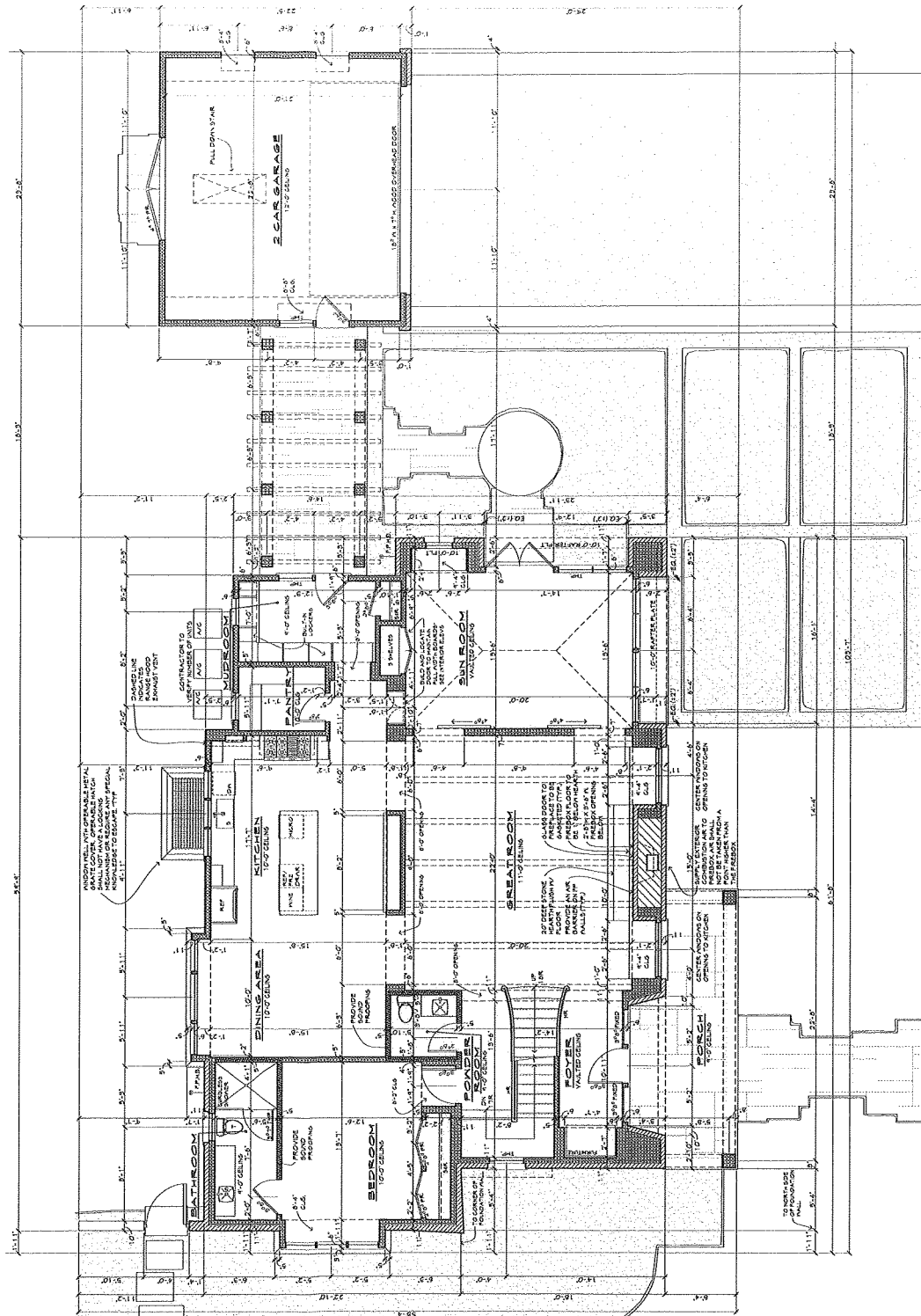


EAST ELEVATION
1/4" = 1'-0"

FOUNDATIONS
1/11/20

[illegible]

1 SECTION AT COLUMN AND FOOTING



PLAN NOTES

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. SEE PAGE 11.1 FOR RES. PRESCRIPTIVE REQUIREMENTS. SEE PAGE 11.2 FOR RES. PRESCRIPTIVE REQUIREMENTS. SEE PAGE 11.3 FOR RES. PRESCRIPTIVE REQUIREMENTS. SEE PAGE 11.4 FOR RES. PRESCRIPTIVE REQUIREMENTS. SEE PAGE 11.5 FOR RES. PRESCRIPTIVE REQUIREMENTS.

PROVIDE A MINIMUM 1/4" CLEARANCE BETWEEN ALL WALLS AND FLOORS OF BATHROOMS FOR SOUND ISOLATION. PROVIDE A MINIMUM 1/4" CLEARANCE BETWEEN ALL WALLS AND FLOORS OF BATHROOMS FOR SOUND ISOLATION. PROVIDE A MINIMUM 1/4" CLEARANCE BETWEEN ALL WALLS AND FLOORS OF BATHROOMS FOR SOUND ISOLATION.

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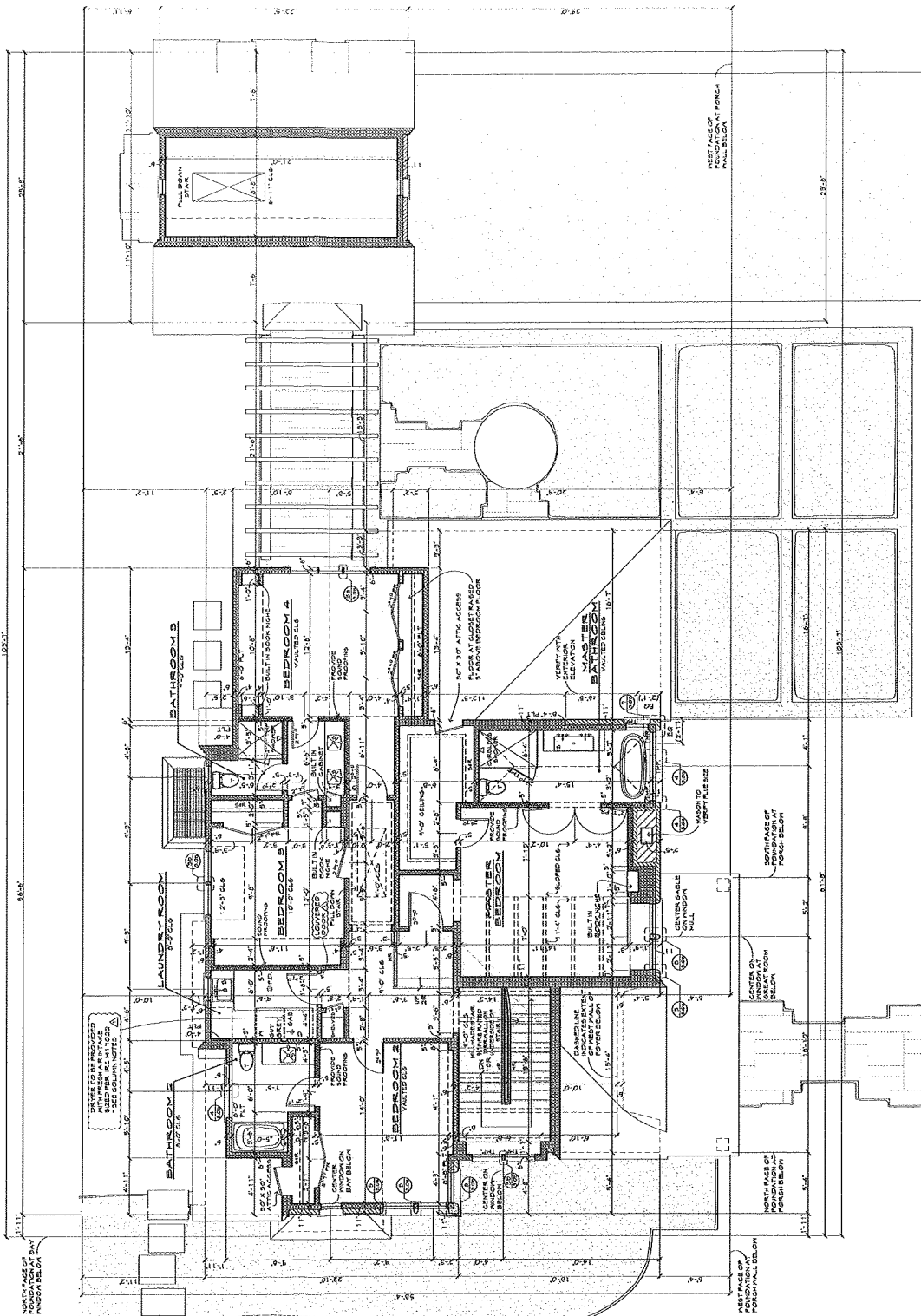
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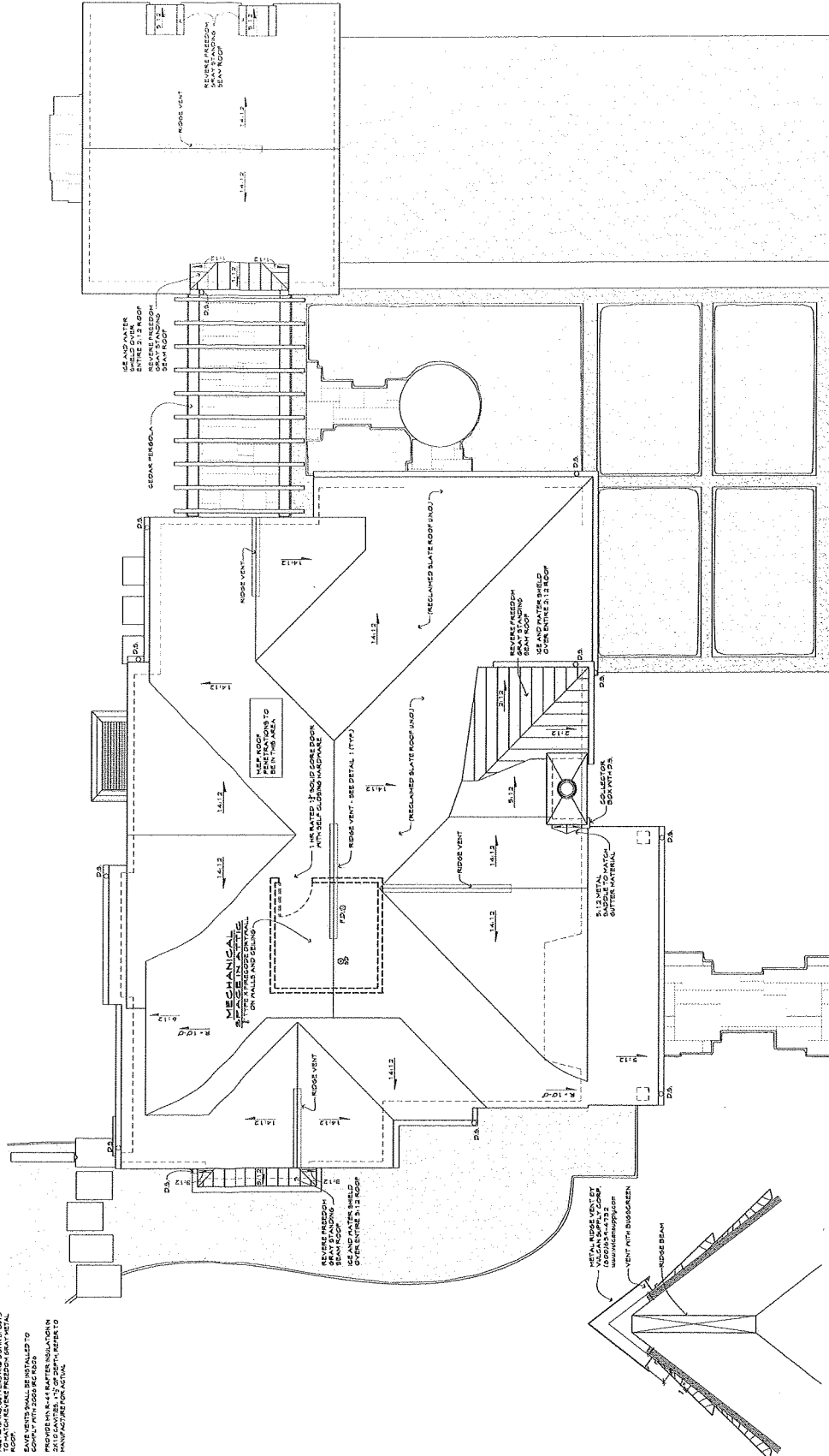
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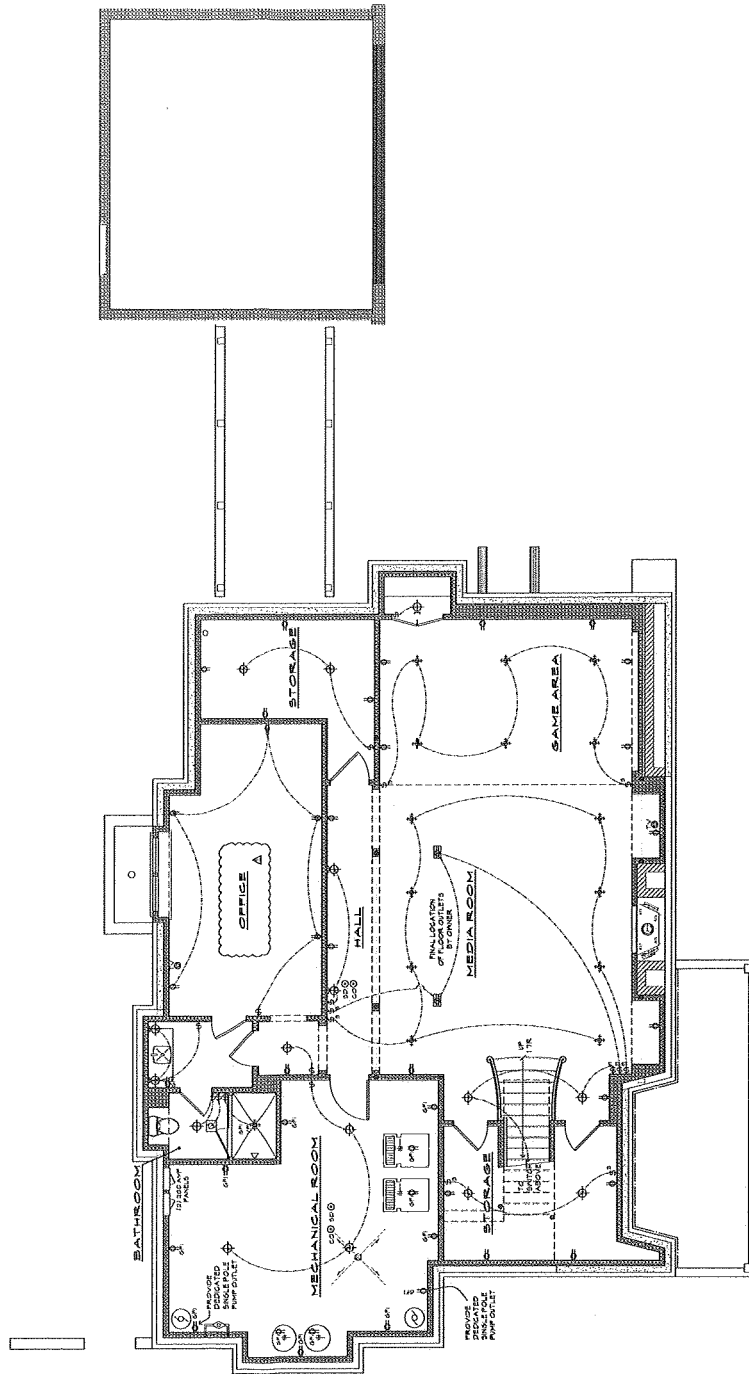
ROOF NOTES

1. ICE AND WATER SHIELD OVER ENTIRE ROOF OF 5:12 PITCH OR LESS.
2. FLASHING AT ALL PENETRATIONS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ALL ROOF PENETRATIONS SHALL BE TO MATCH EXISTING ROOF.
4. PROVIDE 2" MIN. INSULATION TO ALL ROOF PENETRATIONS.
5. PROVIDE 2" MIN. INSULATION TO ALL ROOF PENETRATIONS.
6. PROVIDE 2" MIN. INSULATION TO ALL ROOF PENETRATIONS.



SECTION 01 RIDGE VENT





ELECTRICAL LEGEND

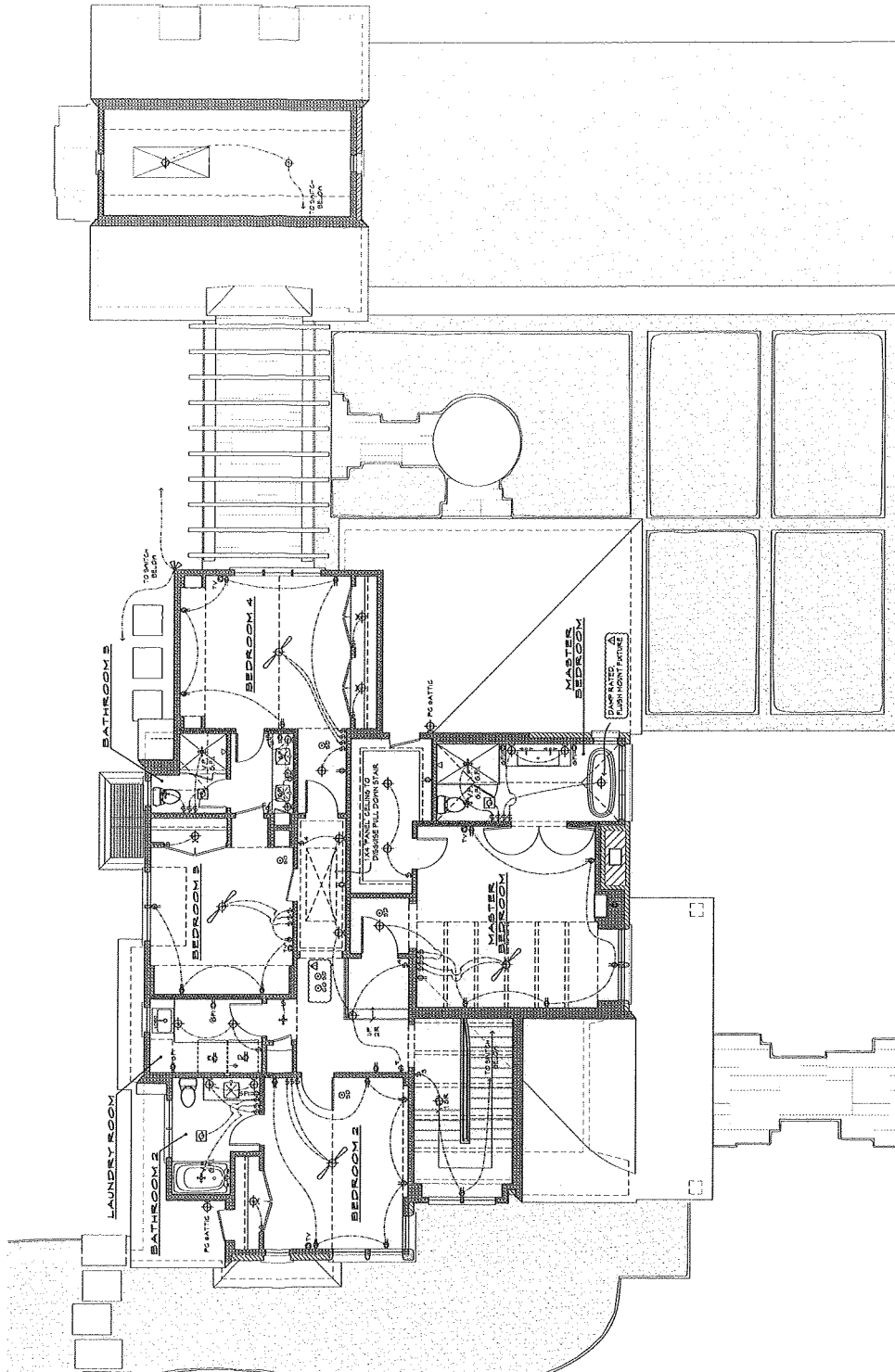
- [illegible]

ELECTRICAL NOTES

THE UNIVERSITY OF CHICAGO
 5408 S. UNIVERSITY AVE.
 CHICAGO, ILL. 60637
 TEL: 773/936-5000
 FAX: 773/936-5000
 WWW: WWW.CHICAGO.EDU



SECOND FLOOR ELECTRICAL PLAN



ELECTRICAL LEGEND

- [illegible]

ELECTRICAL NOTES

1. **THE COMPANY'S BUSINESS** is the design, development, production, sale, and distribution of a line of men's and women's sportswear, including shirts, sweaters, slacks, and dresses. The company is currently operating in the United States and has plans to expand its operations into other countries.

2. **THE COMPANY'S FINANCIAL STATEMENTS** for the year ended December 31, 1987, are as follows:

3. **THE COMPANY'S MANAGEMENT** consists of the following individuals:

4. **THE COMPANY'S BOARD OF DIRECTORS** consists of the following individuals:

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36. **THE COMPANY'S FINANCIAL STATEMENTS** for the year ended December 31, 1988, are as follows:

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163. **THE COMPANY'S LEGAL MATTERS** are as follows:

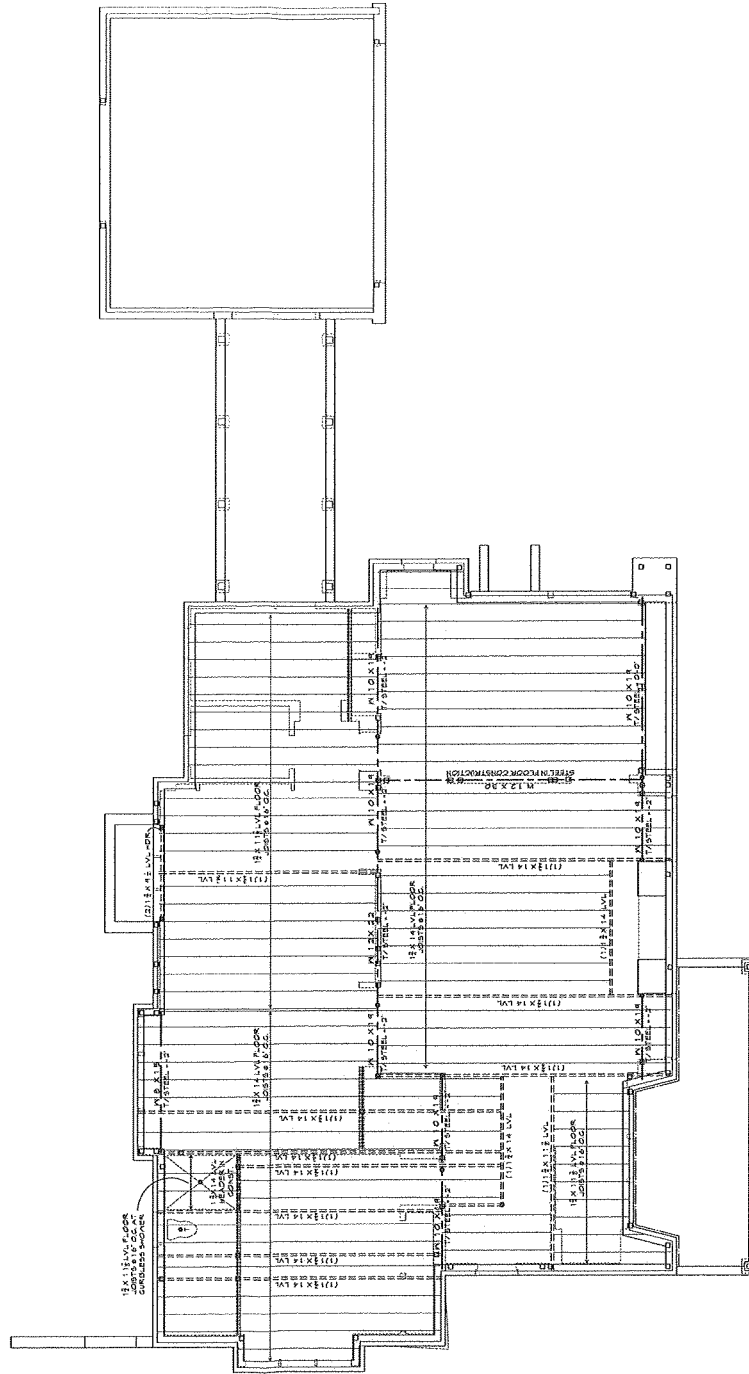
164. **THE COMPANY'S RELATED PARTY TRANSACTIONS** are as follows:

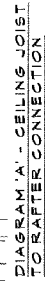
165. **THE COMPANY'S SIGNATURES** are as follows:

166. **THE COMPANY'S EXHIBITS** are as follows:

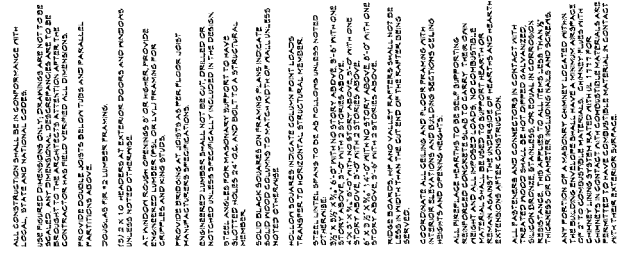
167. **THE COMPANY'S INDEX**

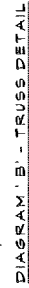
FIRST FLOOR DECK FRAMING PLAN
1/4" = 1'-0"

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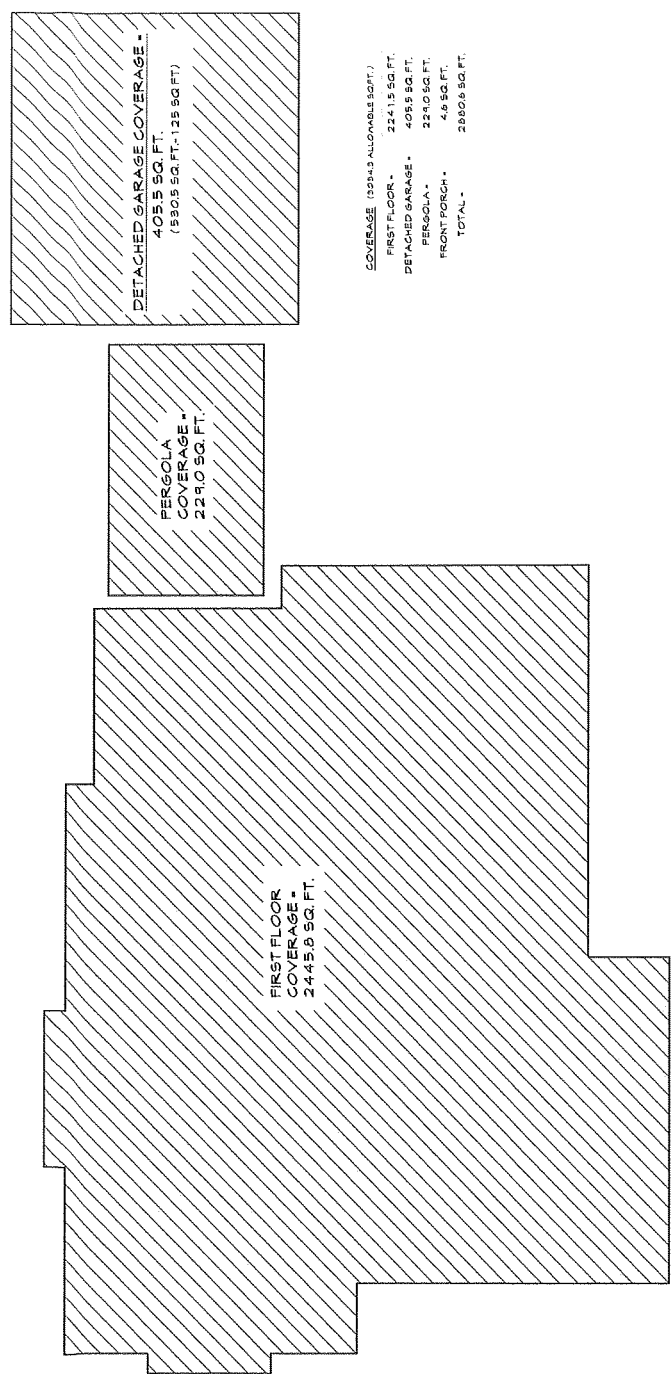


Attachment 1



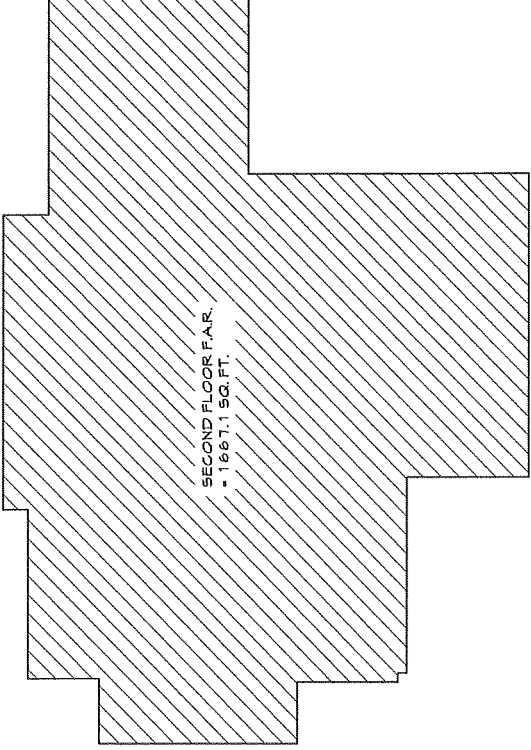


Attachment 1



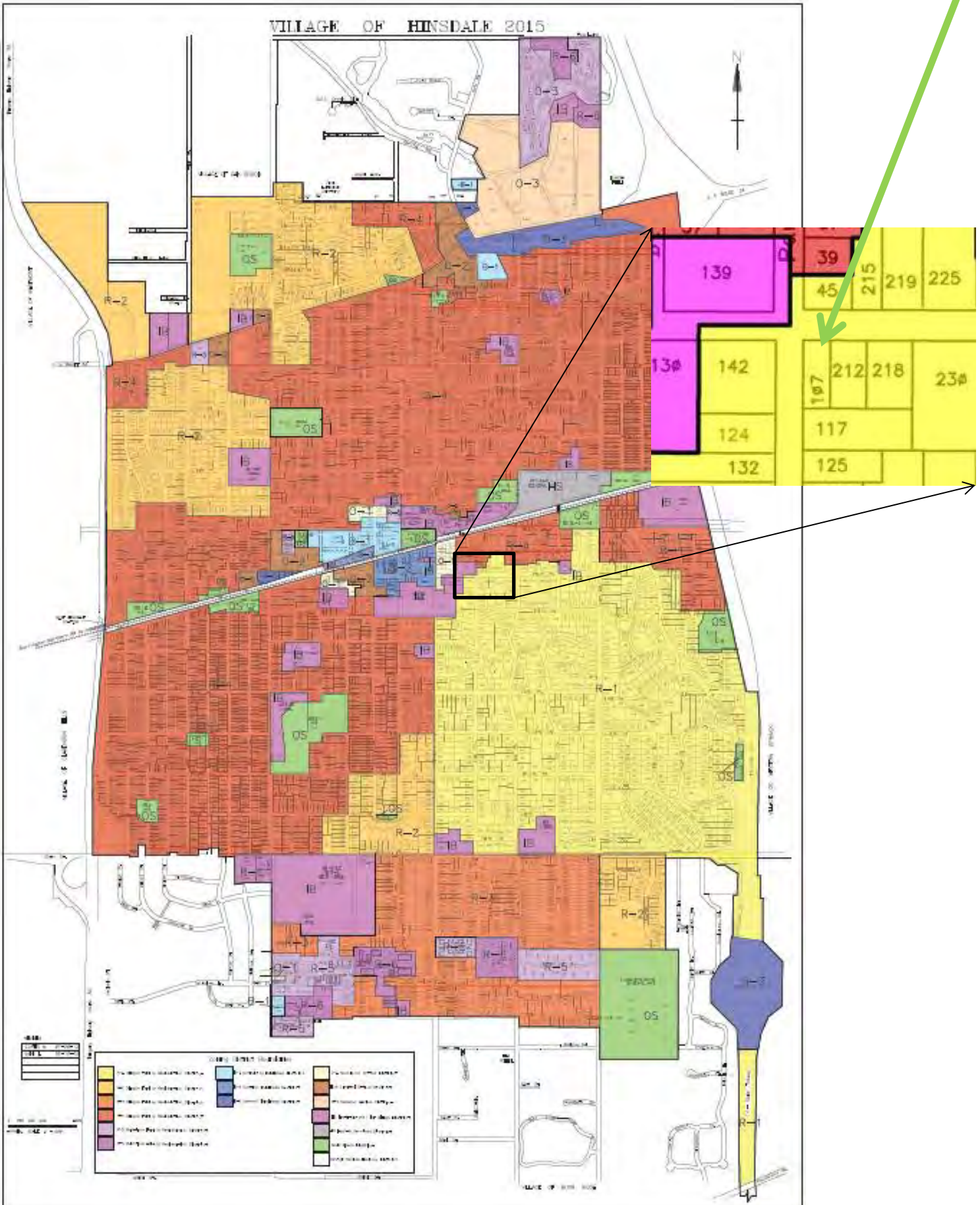
PROJECT NO: 16079	DRAWN BY: BP	Second Floor F.A.R. Overlay
CHECKED: MA	DOCUMENT: Issued for Permit B 23 17	
The Liu Residence 107 S. Park Avenue Hinsdale, IL		
MICHAEL ABRAHAM ARCHITECTURE		

ATTIC F.A.R. -
OSF (ceiling
joists 6" - 1"
above floor

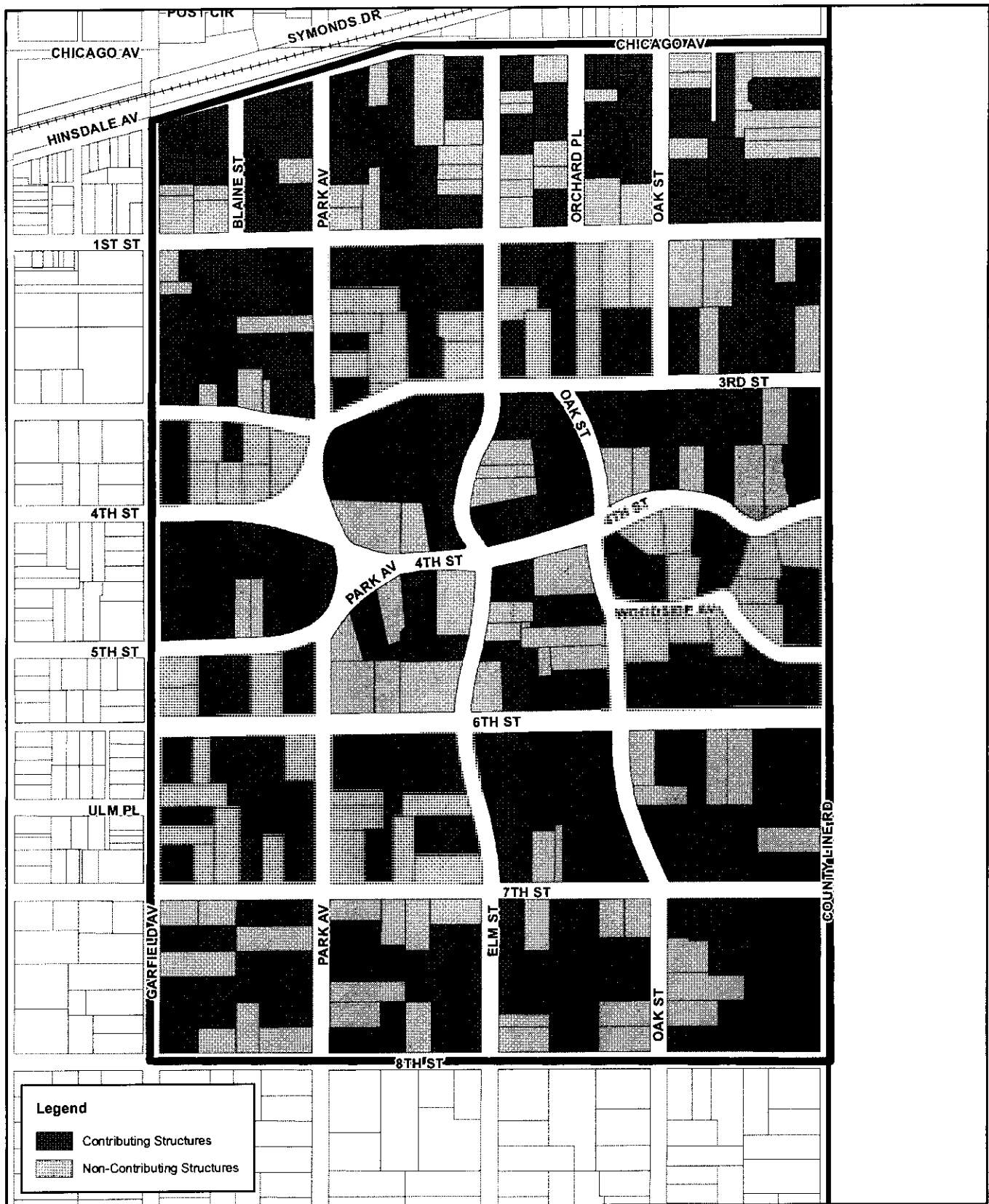


SECOND FLOOR F.A.R.
= 1667.1 SQ. FT.

Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 17

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
29	ORCHARD	Italianate	c. 1875		C	C			detached garage
34	ORCHARD	Neo-Traditional	1996	Gutman, Phil House	NC	-	DVL Design	Wightman Homes	
35	ORCHARD	Dutch Colonial Revival	1924	Reiher, William H. House	C	NC	Braucher, Ernest	Brochman	detached garage
40	ORCHARD	Contemporary	c. 1960		NC	-			
7	S PARK	American Foursquare	c. 1910		C	NC			detached garage
13	S PARK	American Foursquare	c. 1910		C	C			detached garage
14	S PARK	Queen Anne	1888	Grabo, Herman House	C	NC			detached garage
17	S PARK	Queen Anne	c. 1895		C	NC			detached garage
18	S PARK	Cape Cod	1938		C	-			
23	S PARK	Colonial Revival	c. 1890	Roth, David House	C	NC			detached garage
24	S PARK	Queen Anne	c. 1880		C	NC			detached garage
26	S PARK	Colonial Revival	c. 1905	Hetzler, Howard George House	C	C			detached garage
29	S PARK	Gothic Revival	1868	Lake, Daniel House	C	NC			detached garage
34	S PARK	Queen Anne	c. 1895		NC	-			
37	S PARK	French Eclectic	c. 1925		C	C			detached garage
39	S PARK	Neo-Traditional	1969		NC	-	Murphy & Assoc., W. D.	Koplin & Co., Inc., Alfred N.	
45	S PARK	Neo-Colonial	1971		NC	-			
107	S PARK	French Eclectic	c. 1940		C	NC			detached garage
117	S PARK	Neo-Traditional	2003		NC	-			
124	S PARK	Ranch	c. 1955		C	-			
125	S PARK	Neo-Traditional	2001-02		NC	-			
132	S PARK	Neo-Traditional	2005-06		NC	-			
133	S PARK	Tudor Revival	1924	Mark, N. H. House	C	C	Briggs, Ella (NYC)	Lacey, P.	detached garage
134	S PARK	Colonial Revival	1908	Root, Charles G. House	C	C	Rawson, Lorin A.		detached garage



MEMORANDUM

DATE: November 8, 2017

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Chan Yu, Village Planner 

RE: 504 S. Oak Street – Application for Certificate of Appropriateness to Demolish a Home in the Robbins Park Historic District to Construct a New Home – H-09-2017

Summary

The Village of Hinsdale has received an application from Bayit Builders, LLC, on behalf of the property owner, Avra Properties, requesting approval for a Certificate of Appropriateness to demolish an existing home in the Robbins Park Historic District to construct a new house at 504 S. Oak Street. Per the Village Code, no permits shall be issued for demolition of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) on an application for a Certificate of Appropriateness.

Request and Analysis

The subject property is located on an interior lot in the Robbins Park Historic District. The existing home was constructed in 1940, with no particular historic category per the National Register of Historic Places, and a noncontributing structure to the Robbins Park Historic District. The applicant would like to seek the right to obtain a demolition permit to construct a new Code compliant single family house (attached). The subject property is located in the R-1 Single Family Residential District and borders the same to the north, east, south and west. Per the submitted site plan, it is a legal nonconforming R-1 lot that is 25,894 SF in area.

Process

Pursuant to Title 14, Section 14-5-1: (B) Historic District: No alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the HPC on an application for a certificate of appropriateness. The final decision of the commission shall be advisory only.

The Title 14, Section 14-5-2 (A) General Standards and (B) Design Standards to review can be found on Attachment 4.



MEMORANDUM

Attachments:

- Attachment 1 – Application for Certificate of Appropriateness and Exhibits (packet)
- Attachment 2 - Zoning Map and Project Location
- Attachment 3 - Robbins Park Historic District Map
- Attachment 4 - Title 14, Section 14-5-2: Criteria (A) and (B)
- Attachment 5 – National Register of Historic Places Sheet for the subject property (highlighted)

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address of Property under review: 504 S OAK
Property Identification Number: 09-12-225-009

I. GENERAL INFORMATION

1. Applicants Name: Bayit Builders
Address: 212 W Van Buren
Chicago 60607
Telephone Number: 312-588 1497
2. Owner of Record (if different from applicant): Avra Properties
Address: 212 W Van Buren
Telephone Number: 708 903 5800
3. Others involved in project (include, name, address and telephone number):
Architect: Plunkett Architects
19 N Grant Hinsdale 630-789-8100
Attorney: _____
Builder: _____
Engineer: Gabriel Group - PO Box 5376
Oak Brook 630-772-9393

II. SITE INFORMATION

1. Describe the existing conditions of the property: Single Family Residence
built in 1993/94.
2. Property Designation:
Listed on the National Register of Historic Places? _____ YES ☒ NO
Listed as a Local Designated Landmark? _____ YES ☒ NO
Located in a Designated Historic District? ☒ YES _____ NO

3. Description of work proposed. (Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).

Removal of existing structure. Build new single family residence per plans

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

☒ No ☐ Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code.

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

☒ CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

Signature

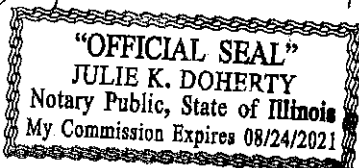
OTHER

James Doherty
Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 30th day of

September, 2017

Julie K. Doherty
Notary Public



REMOVE GARAGE ROOF

REMOVE ROOF

REMOVE BALCONY

REMOVE BALCONY

REMOVE FLOORING, PLASTER AND PLASTER FROM WALLS

EXISTING TO BE REMOVED, TYPICAL

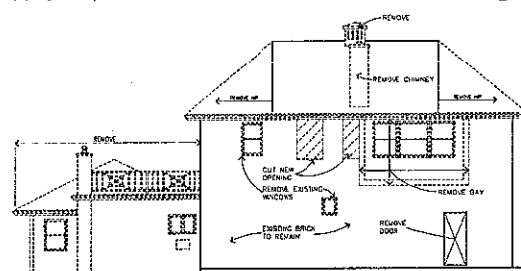
REMOVE FLOORING, PLASTER, JOIST AND CEILING BELOW

REMOVE CEILING AND CEILING JOIST ABOVE

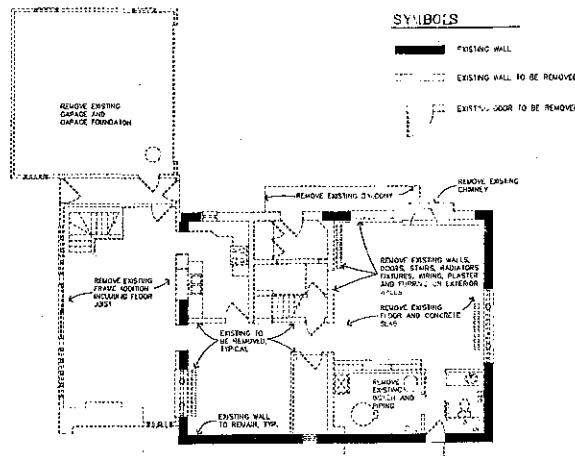
EXISTING WALLS TO REMAIN

REMOVE BAY

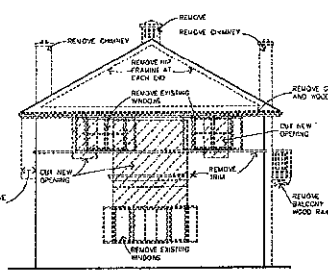
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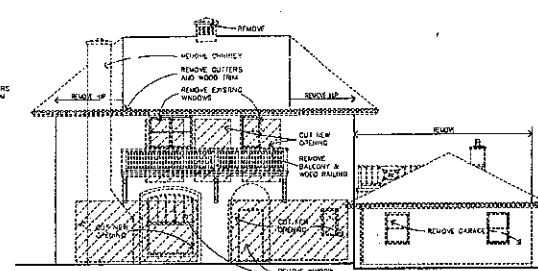
SCALE: 1/8" = 1'-0"



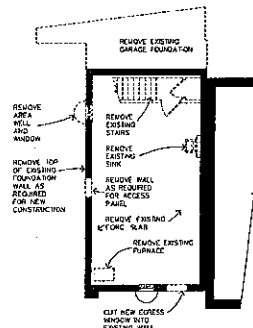
SCALE: 1/8" = 1'-0"



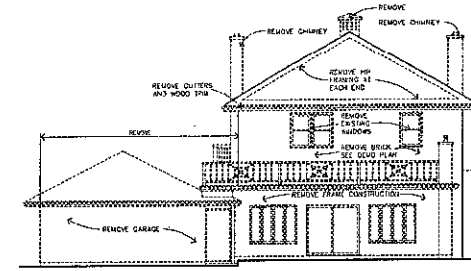
SCALE: 1/8" = 1'-0"



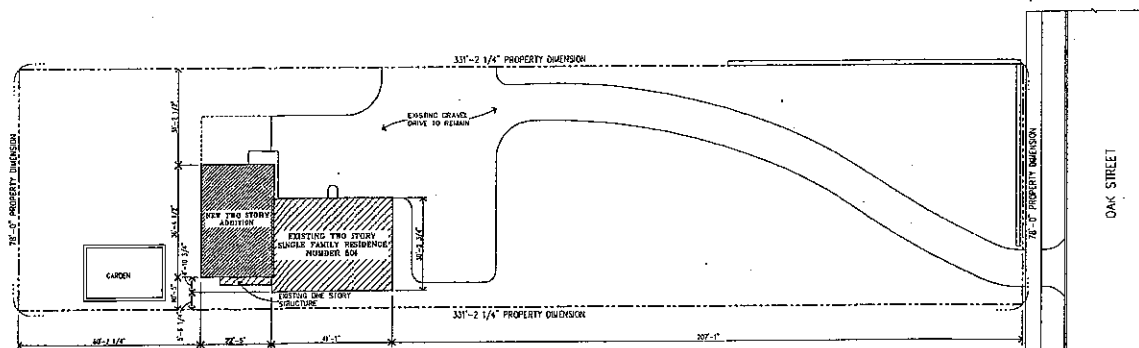
SCALE: 1 / 8" = 1' - 0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1" = 20'-0"

1

GENERAL NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCY TO THE ARCHITECT IMMEDIATELY.
2. DO NOT SCALE DRAWINGS.
3. ALL WALL AND CEILING FINISHES TO BE CLASS 2 OR BETTER.
4. ALL COMPETING TO PASS DUE FEB-1.
5. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULING OF THE WORK, THE SEQUENCE OF OPERATIONS, OR FOR SAFETY PRECAUTIONS AND PROCEEDINGS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULING OF THE WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHANGE OF AND HAS NO LIABILITY FOR THE CONTRACTOR'S SCHEDULING OF THE WORK OR ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
6. THE AIA (AMERICAN INSTITUTE OF ARCHITECTS) DOCUMENT A191, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, LATEST EDITION IS HEREBY MADE A PART OF THESE AGREEMENTS.

LIST OF DRAWINGS

- | | |
|-------|---|
| A1.1 | DEMOLITION PLANS & ELEVATIONS, SITE PLAN AND GENERAL NOTES |
| A2.1 | FLOOR PLANS AND SCHEDULES |
| A3.1 | EXTERIOR ELEVATIONS |
| A4.1 | DOOR & WINDOW DETAILS, INTERIOR ELEVATIONS, SCHEDULES AND ROOF PLAN |
| A6.1 | BUILDING SECTIONS |
| A6.1 | CONSTRUCTION DETAILS |
| M31.1 | FOUNDATION PLAN, FOUNDATION DETAILS, PLUMBING DIAGRAMS |
| M32.1 | FRAMING PLANS |
| SP1 | SPECIFICATIONS |
| SP2 | SPECIFICATIONS |
| SP3 | SPECIFICATIONS |

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORMS TO THE BUILDING CODES AND ORDINANCES OF HINSDALE, DU PAGE COUNTY, ILLINOIS - MICHAEL J. REALMUTO, ILL. LICENSED ARCHITECT # 1-9554

DATE: _____

ARCHITECTURAL LICENSE EXPIRATION DATE: 11/30/94

STATE OF ILLINOIS
MICHAEL J.
REALMIO
1-2554

PROJECT NO. 93117
DRAWN BY. M&R

RECORD:

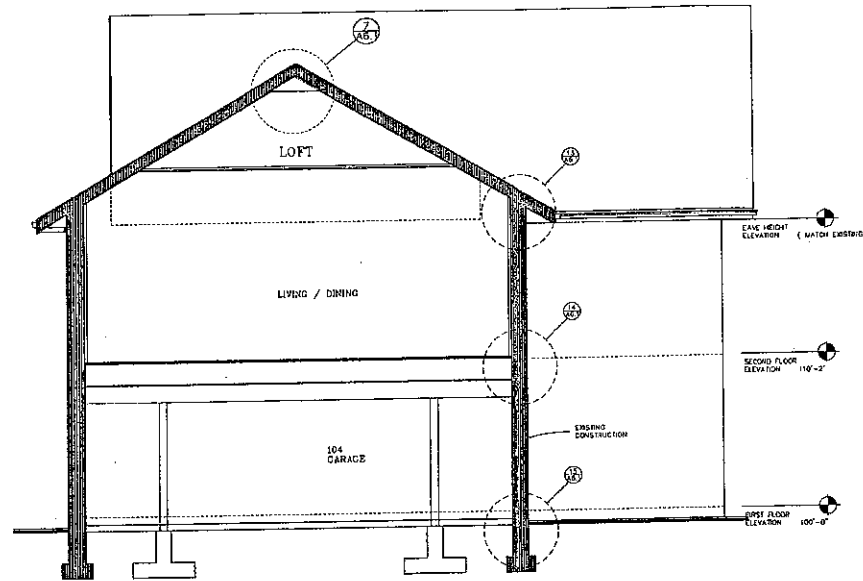
- | | |
|---|--------------------------------------|
| 2 | 04 DEC 93 ISSUED FOR
BUDGET PHONO |
| 3 | 21 JAN 94
ISSUED FOR PERMIT |
| 4 | 11 MAR 94
PERMIT REVISIONS |

PROJECT
BUILDING ALTERATIONS

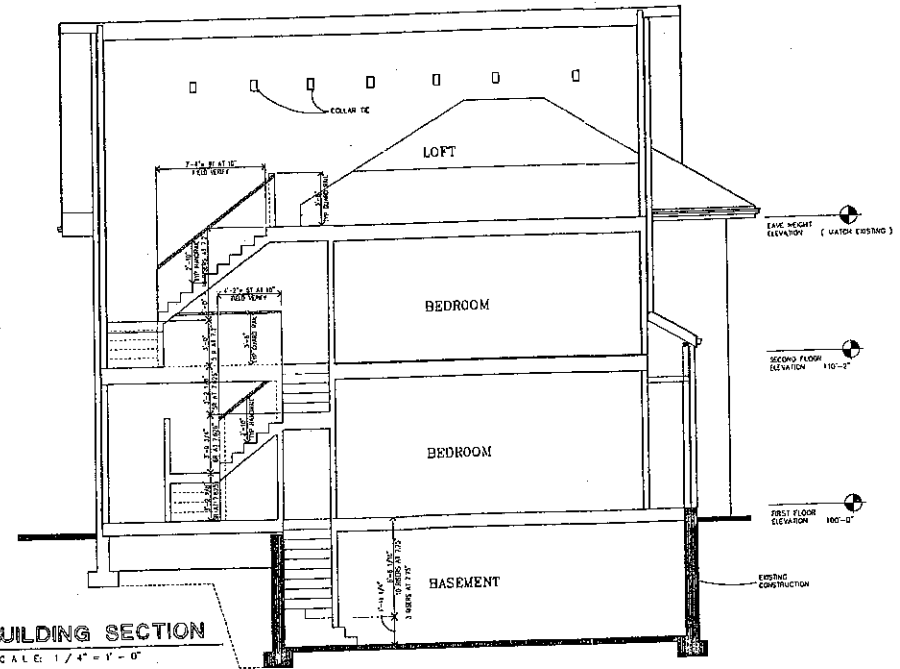
MICHAEL J. REALMUTO
ARCHITECT

DEMOLITION
PLANS,
DEMOLITION
ELEVATIONS,
& SITE PLAN

A1.1



AA BUILDING SECTION
SCALE: 1/4" = 1'-0"



BB BUILDING SECTION
SCALE: 1/4" = 1'-0"

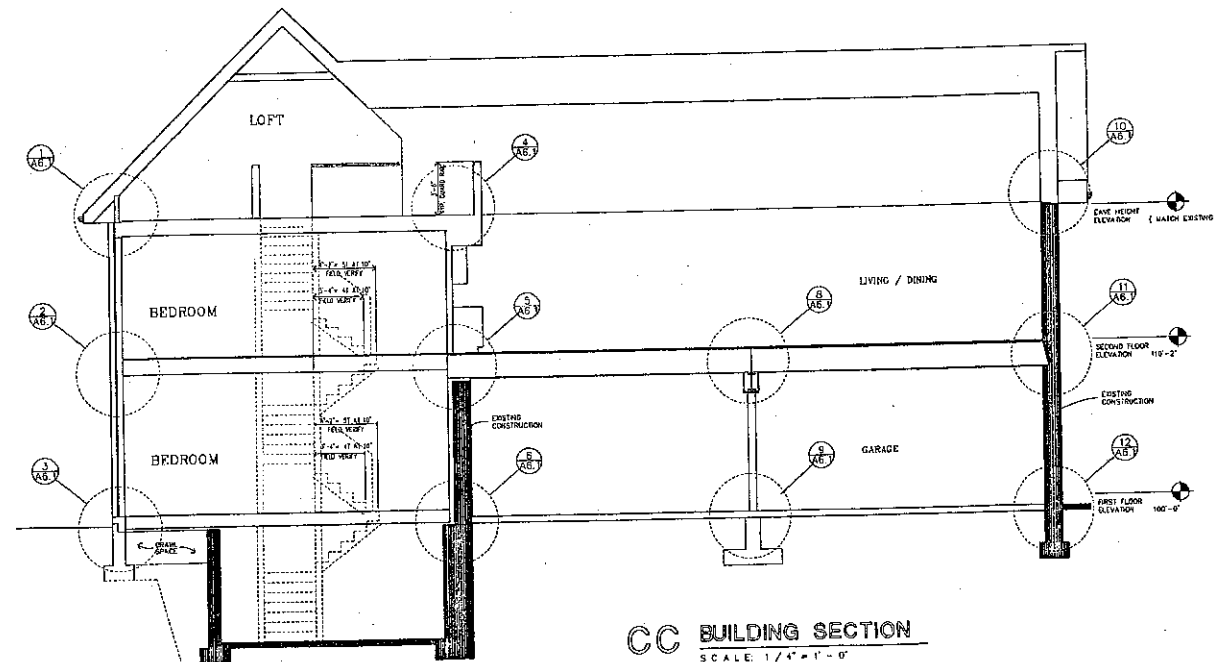
1 DETAIL
SCALE: 1" = 1'-0"

2 DETAIL
SCALE: 1" = 1'-0"

3 DETAIL
SCALE: 1" = 1'-0"

4 DETAIL
SCALE: 1" = 1'-0"

INSULATION SCHEDULE			
DESCRIPTION	BATT INSULATION	RIGID INSULATION	PLAN REQUIREMENTS TOTAL ASSEMBLY
EXT BRICK WALLS	R-13		
BRICK VENEER WALLS	R-13		
ROOF ASSEMBLY	R-22		
FLOOR INSULATION OVER UNFINISHED SPACE	R-22		
FRAME WALL	R-13		



CC BUILDING SECTION
SCALE: 1/4" = 1'-0"

PROJECT NO.: 03117
DRAWN BY: MJK/RLR

RECORD:

1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
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49	ISSUED FOR PERMIT
50	ISSUED FOR PERMIT

BUILDING ALTERATIONS
604 SOUTH OAK STREET, UNDEVELOPED LOTS

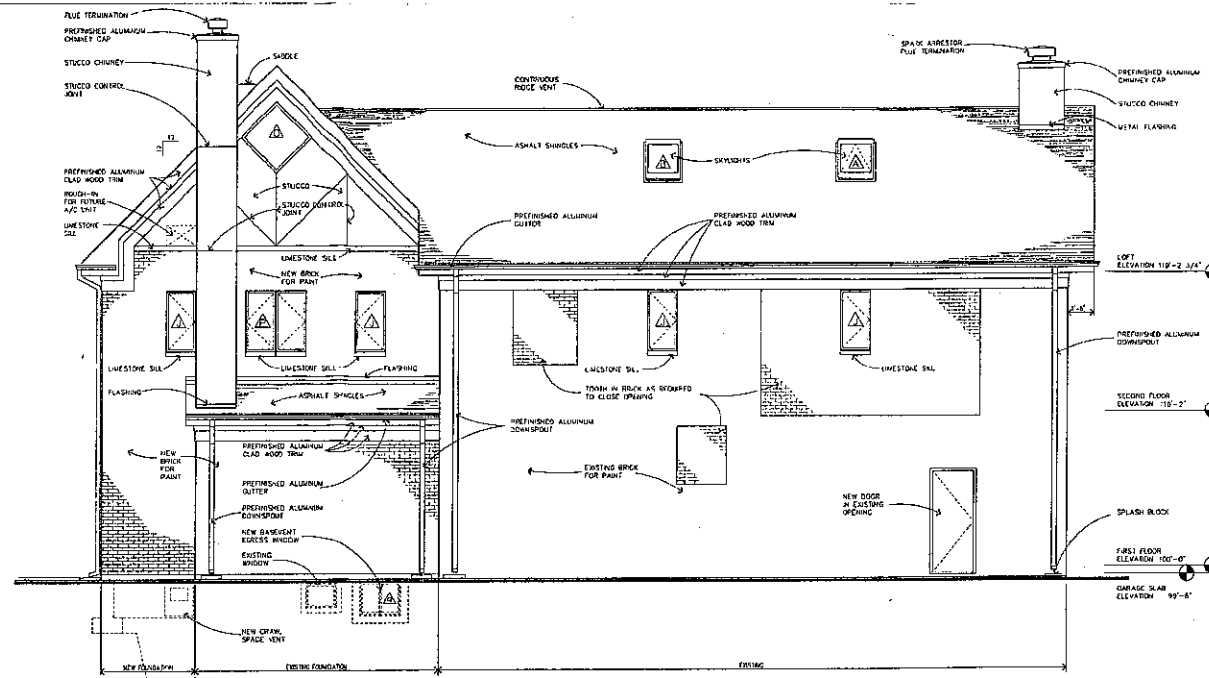
PROJECT: MR. AND MRS. GREGG

MICHAEL J. REALMUTO ARCHITECT
604 SOUTH OAK STREET, SUITE 200
TAMPA, FL 33606
TEL: (813) 288-0005
FAX: (813) 288-0006

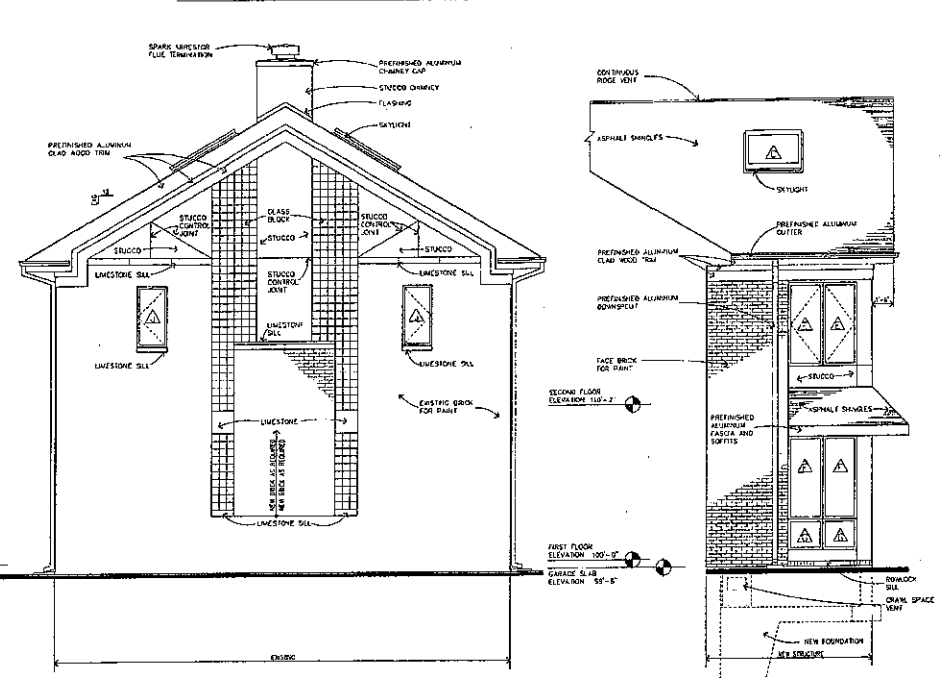
BUILDING SECTIONS

A5.1

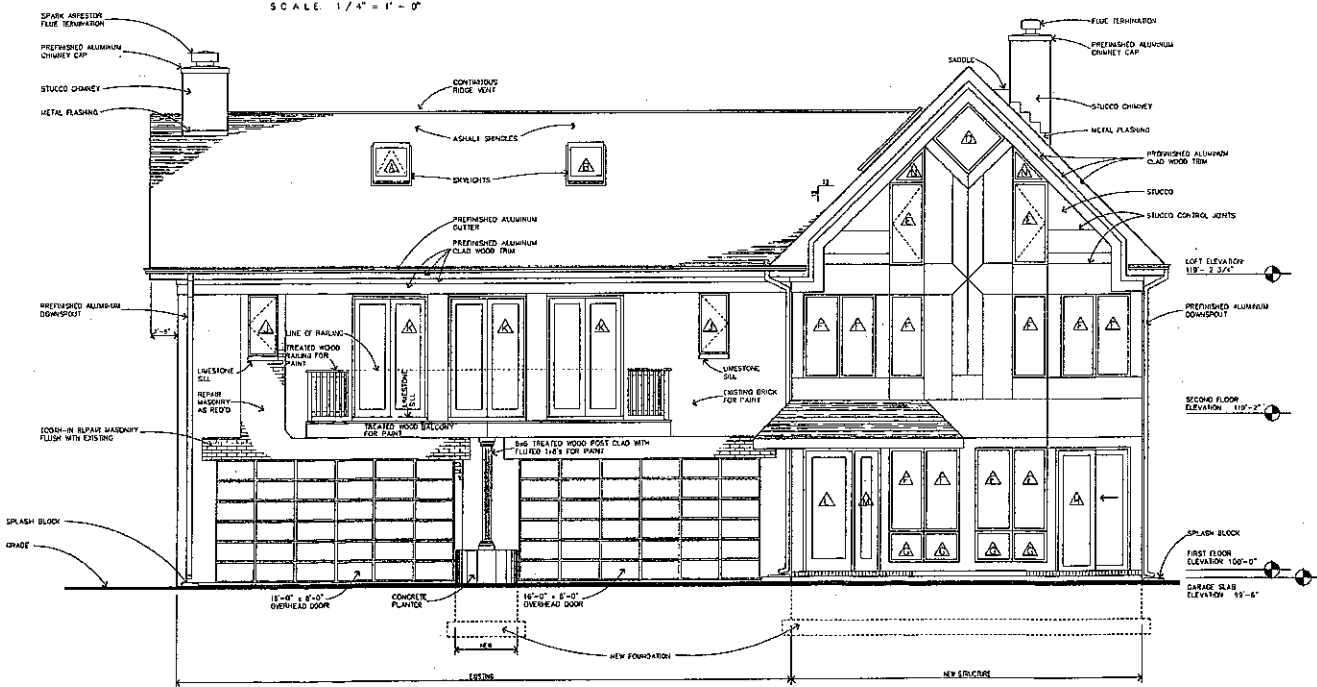
1994 PLANS



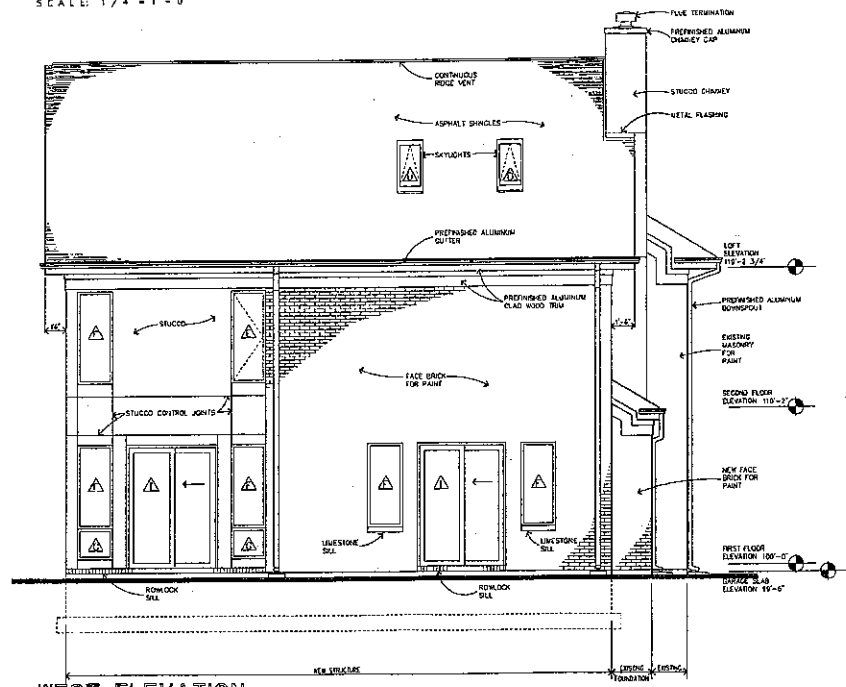
SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"



EAST ELEVATION
SCALE: 1/4" = 1' - 0"



NORTH ELEVATION

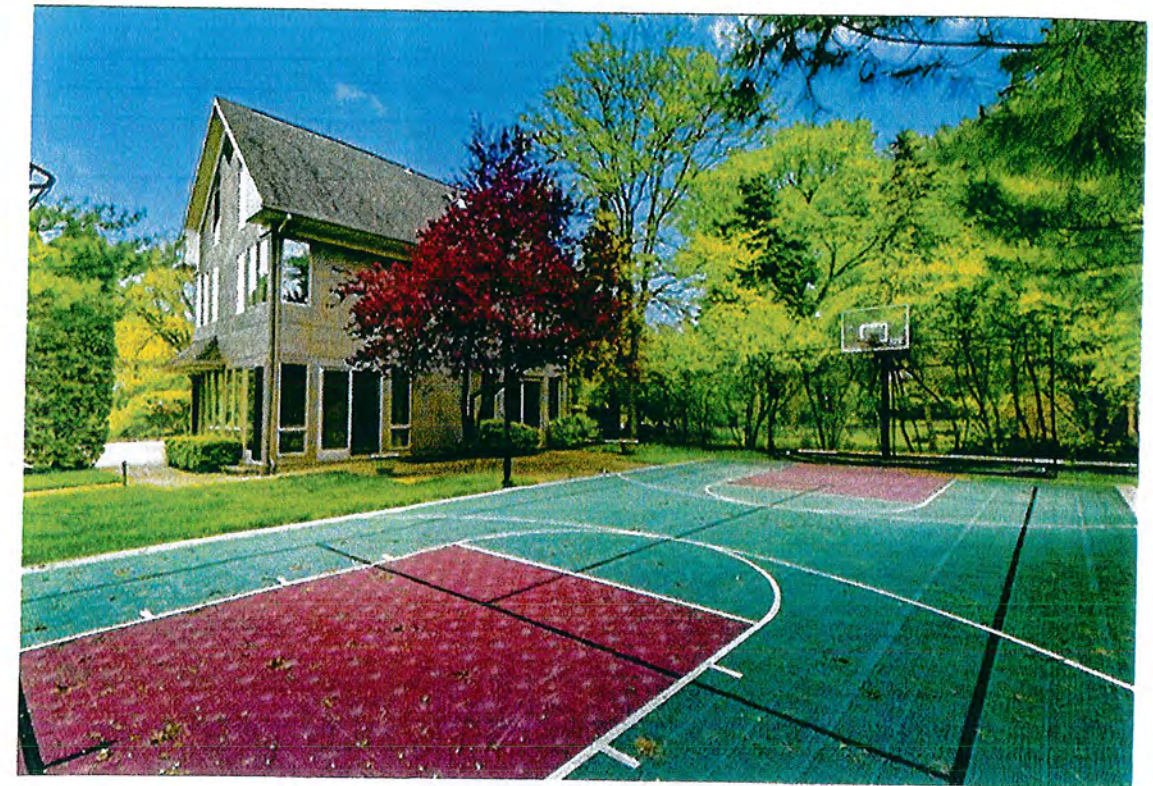


WEST ELEVATION

PROJECT NO: 93117 CRAVY RY. ALJURR	
RECORD:	
1. 10.10.93	ISSUED FOR REVIEW
2. 10.10.93	ISSUED FOR SINGLE PRICING
3. 10.10.93	ISSUED FOR PERMIT
4. 10.10.93	ISSUED FOR PERMIT
PROJECT: BUILDING ALTERATIONS	
FOR: MR. AND MRS. CECIL	
ARCHITECT: MICHAEL J. REALMUTO ARCHITECT	
1000 N. 10TH AVE. SUITE 100, DENVER, CO 80202	
TELEPHONE: (303) 733-1111	
FAX: (303) 733-1111	
ELEVATIONS	
A3.1	



FRONT/SIDE VIEW: 504 S. OAK



FROM BACKYARD/SPORTS COURT



VIEW FROM OAK STREET
HOUSE FRONT



FIRST FLOOR



FIRST
FLOOR - DOOR/HALL



STAIRS TO BSMT



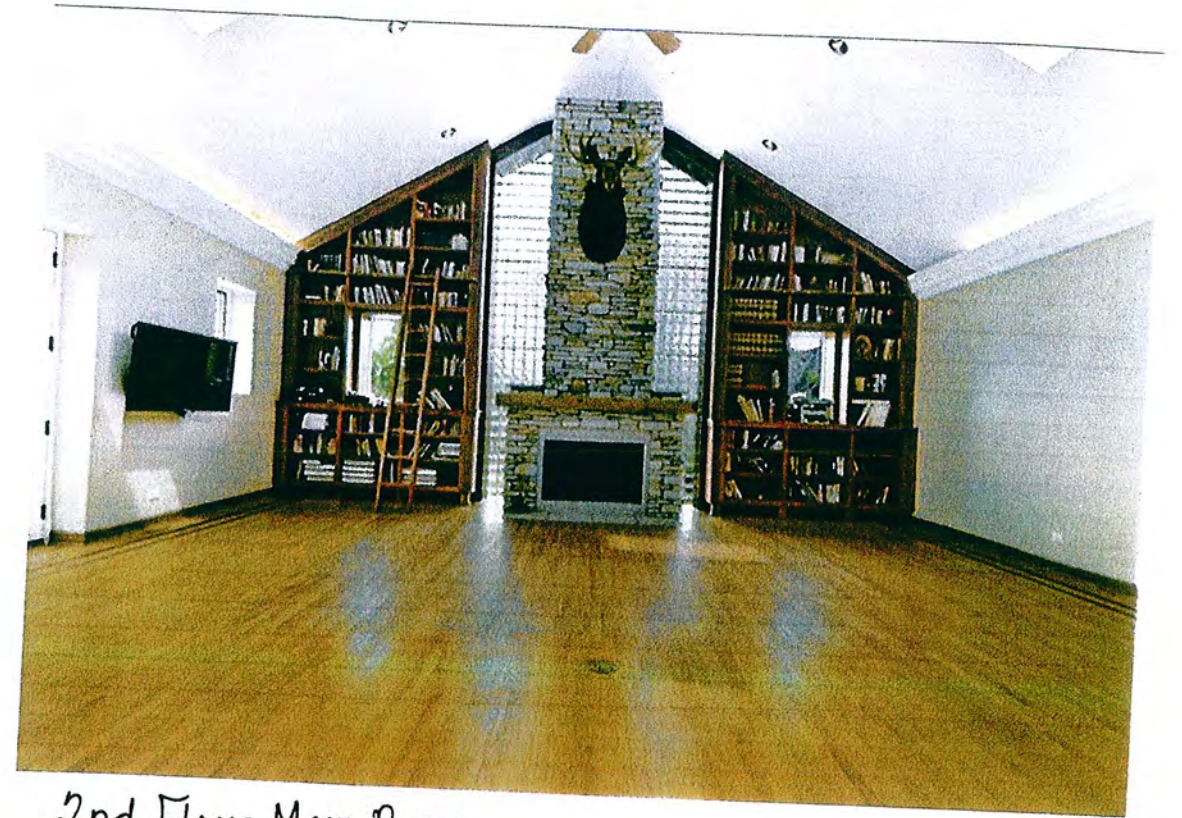
FIRST FLOOR BEDROOM



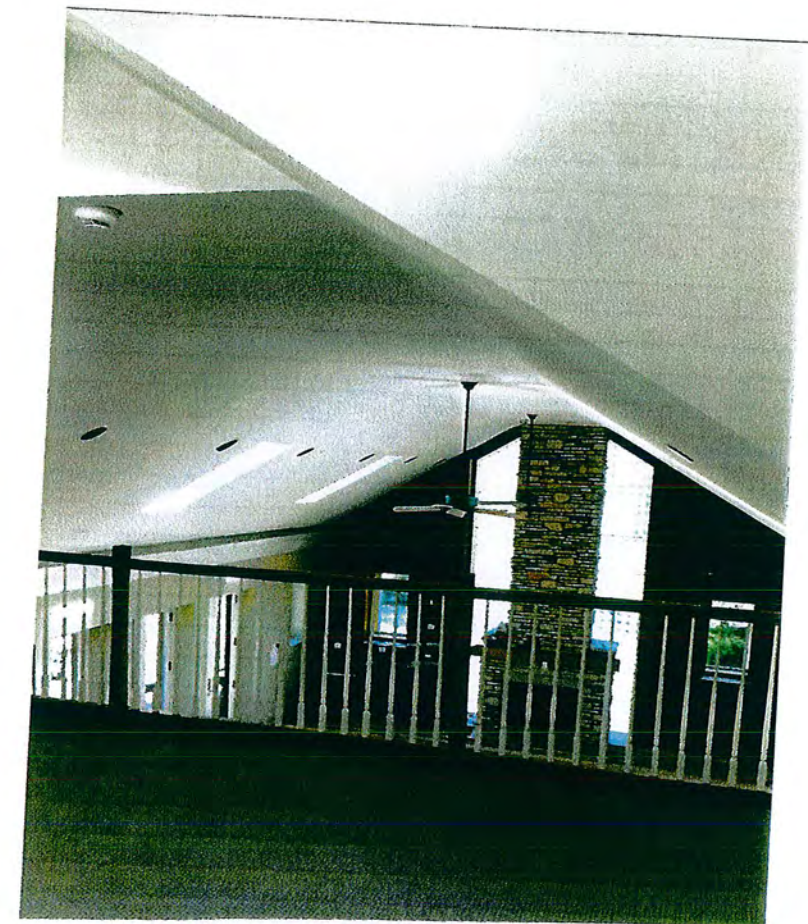
BATH ON FIRST FLOOR TO BEDROOM



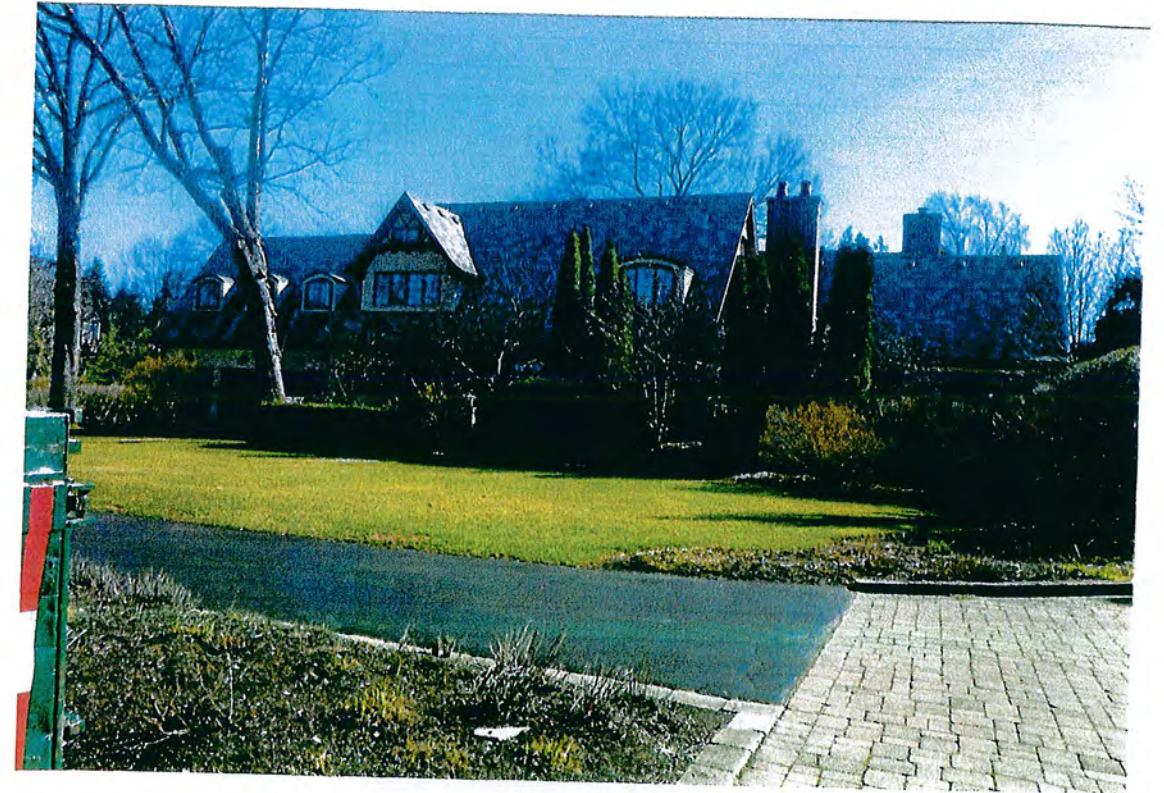
2nd Floor Bedroom



2nd Floor Main Room



LOFT VIEW OF MAIN FLOOR



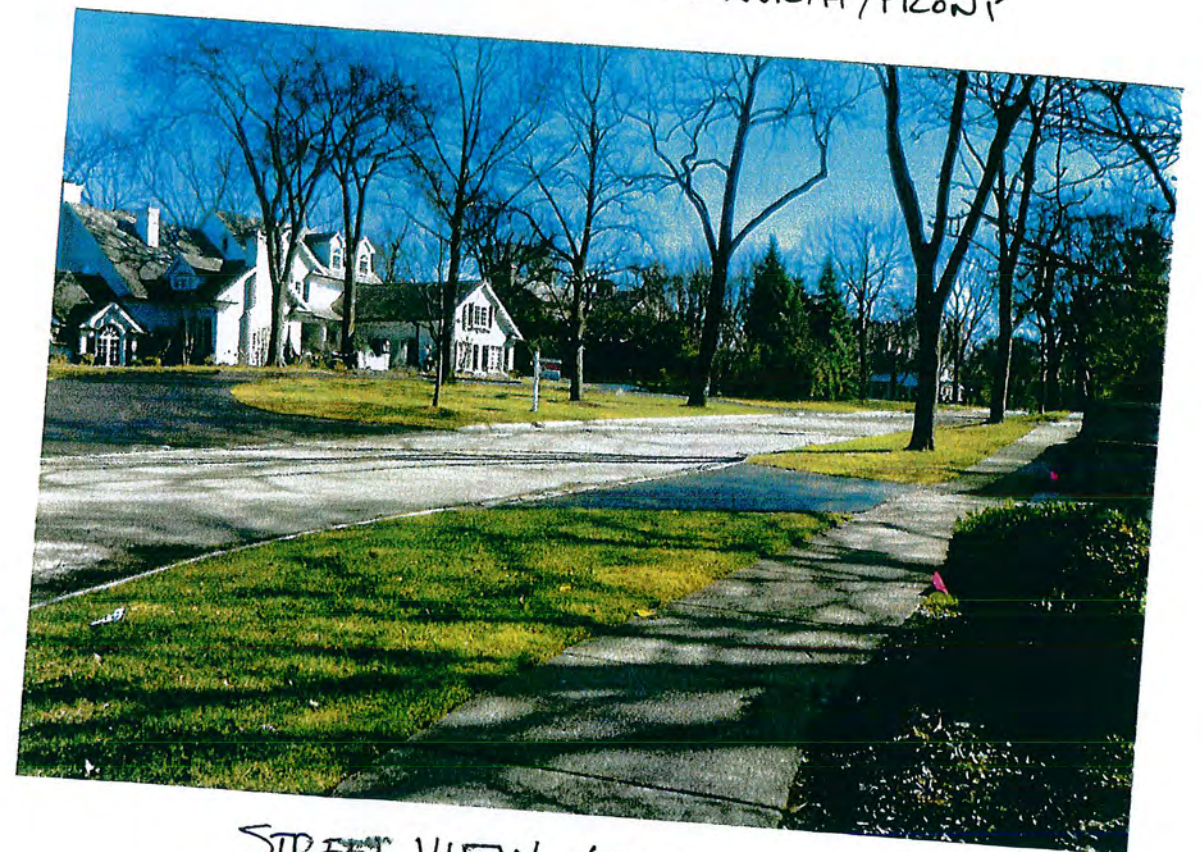
HOUSE TO SOUTH - 511 OAK



422 S. OAK
HOUSE TO NORTH

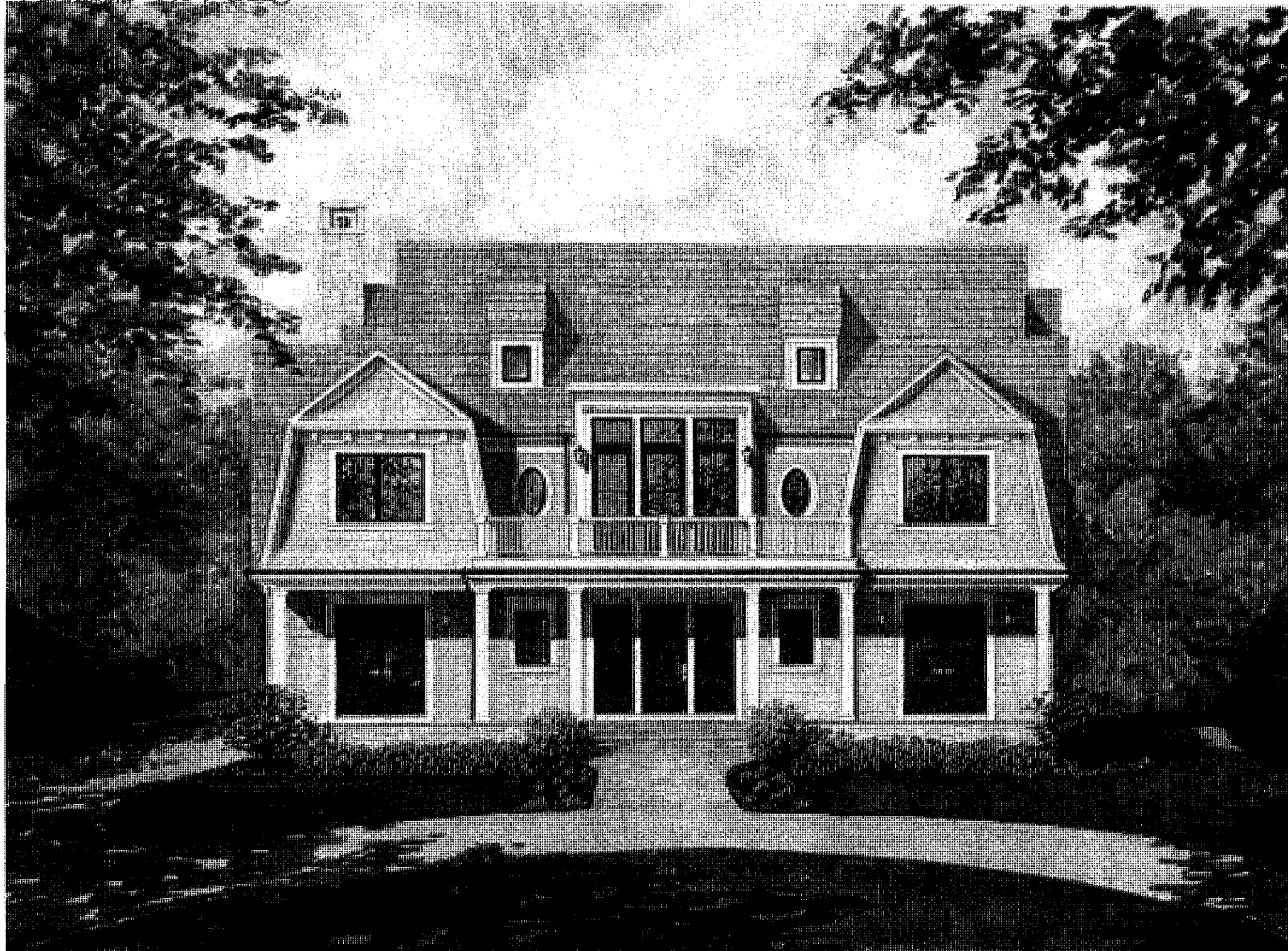


STREET VIEW
TO NORTH / FRONT



STREET VIEW (TO SOUTH & FRONT)

Bendering 544 Oct



SITE GENERAL NOTES:

1. ALL LEGAL DESCRIPTION, PROPERTY LINE, BUILDING SETBACK, PUBLIC UTILITY, AND TOPOGRAPHIC TREE INFORMATION IS FURNISHED BY THE OWNER. THEREFOR, THE USE OF THE SITE PLAN BY THE OWNER OR CONTRACTOR SHALL CONSTITUTE A HOLD HARMLESS AGREEMENT BETWEEN THE DRAWING USER AND ARCHITECT. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM NEGLIGENCE OF THE CONTRACTOR, SUBCONTRACTORS, BUILDER, SURVEYOR OR OWNER, OR FOR THEIR FAILURE TO COMPLY WITH AND ADHERE TO ALL APPLICABLE REQUIREMENTS. THE ARCHITECT IS NOT SUPERVISING THE STAKING OF THIS BUILDING.
2. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITY NOTIFICATION / LOCATION SERVICE AT LEAST 48 HOURS BEFORE COMMENCING AND DIGGING WORK ON AREAS WITH UNDERGROUND UTILITY FACILITIES SO THAT ALL NECESSARY ON SITE STAKING OR MARKINGS CAN BE ACCOMPLISHED.
3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROPERLY CONTROL EROSION ON THE JOB SITE THROUGH THE USE OF HAY BAILS, FILTER FABRICS OR OTHER MEASURES AS MAY BE REQUIRED. ALL SITUATIONS OF PIPELINES, STRUCTURES OR DITCHES SHALL BE CLEANED AND MAINTAINED BY THERE CONTRACTOR UNTIL SUCH TIME AS A FINAL OCCUPANCY PERMIT HAS BEEN OBTAINED. AFTER OCCUPANCY, THE ABOVE RESPONSIBILITIES SHALL SHIFT TO AND BE ASSUMED BY THE OWNER.
4. CONTRACTOR TO BE RESPONSIBLE FOR ENGINEERED EARTH RETENTION SYSTEM. DO NOT UNDERMINE OR IMPACT ADJACENT STRUCTURES.
5. DUE TO THE CLOSE PROXIMITY OF THE ADJACENT BUILDING SETBACK LINES, THE SERVICE OF A REGISTERED ILLINOIS LAND SURVEYOR IS RECOMMENDED. ADDITIONAL FIELD STAKING OF THE ACTUAL BUILDING SETBACK LINES SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR TO FACILITATE ALL PHASES OF THE CONSTRUCTION PROCESS.
6. ALL HARD IMPERVIOUS SURFACES TO SLOPE AWAY FROM THE HOUSE. NEW SERVICE WALKS 4" CONC. SLAB WITH 6 X 6 W.W.F. ON 4" OF COMPACTED CA-10 FILL CONSTRUCTION JOINTS AT 5 FT O.C. SLOPE 1/4" PER FT AWAY FROM HOUSE.
7. THE ADDRESS NUMBERS ON HOUSE SHALL CONTRAST WITH THE BACKGROUND AND BE A MINIMUM 4" HIGH WITH A MINIMUM 0.5 INCH. 2006 IRC R321.1 & 2006 IPMC 304.3.
8. PROVIDE PEDESTRIAN PROTECTION AT SITE TO MEET 2006 IBC AS REQUIRED BY THE VILLAGE. PROVIDE LOCKED CHAIN LINK FENCE AROUND SITE, REFERENCE CODE FOR ADDITIONAL ITEMS.

COMPLY WITH ALL LOCAL CODES AND ORDINANCES

THE VILLAGE OF HINSDALE
2006 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
2014 ILLINOIS PLUMBING CODE
ELECTRICAL 2005 NEC WITH AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE

DRAWING LEGEND

- A-1 TITLE SHEET & SITE PLAN
A-2 PLAN NOTES & FIREPLACE SECTION
A-3 BASEMENT PLAN
A-4 FIRST FLOOR PLAN
A-4.1 FIRST FLOOR FAR DIAGRAM
A-5 SECOND FLOOR PLAN
A-5.1 SECOND FLOOR FAR DIAGRAM
A-6 ROOF PLAN
A-7 EXTERIOR ELEVATIONS
A-8 EXTERIOR ELEVATIONS
A-9 EXTERIOR ELEVATIONS
A-10 EXTERIOR ELEVATIONS
A-11 SECTIONS
& RADON MITIGATION DIAGRAM
A-12 SECTIONS
A-13 GENERAL NOTES
P-1 PLUMBING
ME-1 MECHANICAL/ELECTRICAL
ME-2 MECHANICAL/ELECTRICAL
ME-3 MECHANICAL/ELECTRICAL
ME-4 MECHANICAL/ELECTRICAL

TOTAL FLOOR AREA	
3,630 SF	FIRST FLOOR
3,527 SF	SECOND FLOOR
7,157 SF	PROPOSED TOTAL BLDG. COVERAGE
TOTAL BLDG. LOT COVERAGE	
3,689 SF	HOUSE + GARAGE
417 SF	FRONT COVERED PORCH
4,106 SF	PROPOSED TOTAL BLDG. COVERAGE
TOTAL LOT COVERAGE 2017-0721	
4,106 SF	TOTAL BLDG. LOT COVERAGE
167 SF	FRONT WALK & STEP
3,228 SF	DRIVEWAY
484 SF	PATIO AND LANDING
19 SF	REAR EXTERIOR CHIMNEY
26 SF	AC PADS AND GENERATOR
20 SF	WINDOW WELLS
8,050 SF	PROPOSED TOTAL LOT COVERAGE

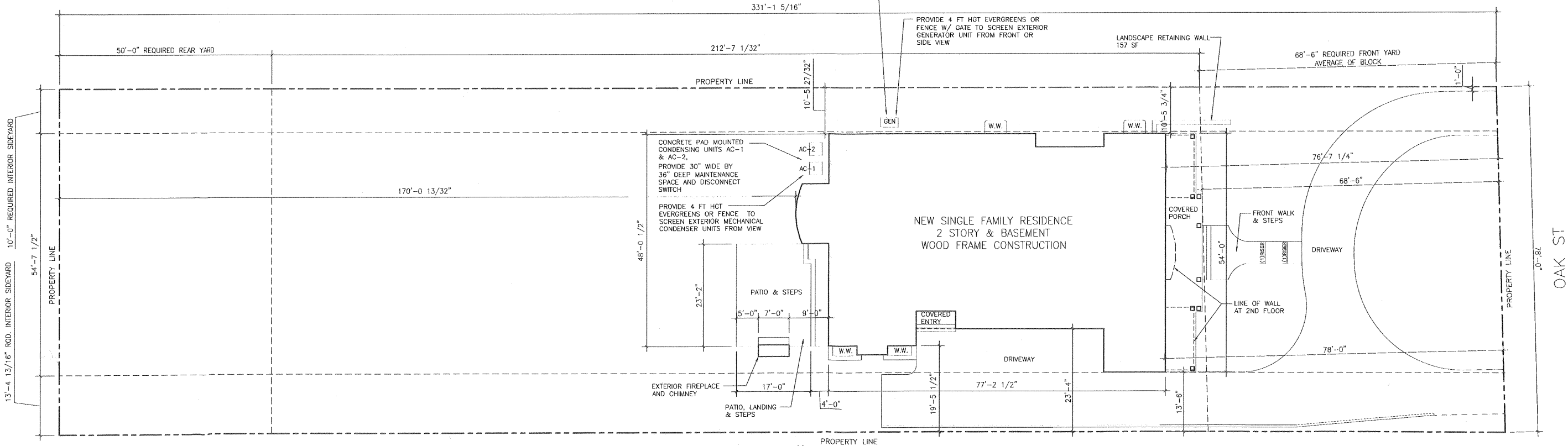
ZONING PROJECT DATA - HINSDALE, IL

DESCRIPTION	REQUIRED / ALLOWED	ACTUAL	
		R1	NON-CONFORMING
ZONING DISTRICT			
SPECIAL USE/P.D. REQUIREMENTS			
MINIMUM LOT SIZE	30,000 SF		78' X 331.98' = 25894 SF
MINIMUM LOT WIDTH	125 FT		78 FT
MINIMUM LOT DEPTH	125 FT		332.11 FT
SETBACK REQUIREMENTS			
FRONT YARD	AVG. OF BLOCK = 68.5 FT		76'-7 1/4"
SIDE YARDS			
INTERIOR SIDES MIN. TOTAL	30% OF LOT WIDTH, 78 FT x .3 = 23.4' FT		23'-11 3/4"
INTERIOR SIDE	10 FT OR 6 FT + 10% OF LOT WIDTH IN EXCESS OF 50 FT, WHICHEVER IS MORE = 10 FT		10'-5 3/4" 13'-6"
REAR YARD	50 FT		170'-0 13/32"
MAX. FLOOR AREA	20 X LOT SF + 2000 SF 5178.8 SF + 2000 SF = 7178.8 SF		7176 SF
FIRST FLOOR SF	100% SF		3639 SF
SECOND FLOOR SF	100% SF		3537 SF
ATTIC FLOOR SF	- IF LESS THAN 20% OF FLR BELOW INCLUDE 0% OF ATTIC AREA - IF LESS THAN 50% OF FLR BELOW & GREATER THAN 20% INCLUDE 50% OF ATTIC AREA - IF MORE THAN 50% OF FLR BELOW INCLUDE 100% OF ATTIC AREA		NA
DETACHED GARAGE SF (BONUS IF ONLY DETACHED)	FLR AREA BONUS, EXCLUDE 1/2 AREA OF GARAGE NOT MORE THAN 250 SF		NA
MAXIMUM BUILDING COVERAGE			
MAX. COMBINED TOTAL PRINCIPLE & ACCESSORY USE	25% OF LOT AREA = 6473.5 SF BLDG COVERAGE EXCEPTIONS 1. 1/4 OF FLR AREA FOR DETACHED GARAGE BUT NOT MORE THAN 125 SF 2. 1ST 200 SF OF COVERED PORCH ON FRONT OR CORNER SIDE		4106 SF
MAX. ACCESSORY USE	10% OF LOT AREA = 2589.4 SF		NA
MAXIMUM TOTAL LOT COVERAGE	50% OF LOT AREA = 12947 SF		8050 SF
MAXIMUM BUILDING HEIGHT	30 FT THE SMALLEST SIDE YARD PROVIDED OF 14 FT OR LESS VERTICAL DISTANCE MEASURED TO MEAN OF ROOF FROM AVG. GROUND ELEVATION PRIOR TO ANY RESHAPING AT 4 CORNERS OF PROPOSED STRUCTURE CLOSEST TO THE LOT LINES. LOWEST GRADE WITHIN 6 FT OF THE 4 CORNERS		25'-2 7/16"
MAXIMUM NUMBER OF STORIES	3 STORIES		2 STORIES
MAXIMUM ELEVATION	34.0 FT PLUS .75 FT FOR EVERY FOOT OF SIDE YARD PROVIDED IN EXCESS OF 6 FT NOT MORE THAN 14 FT BUT NOT TO EXCEED 40 FT. STARTING 1 FT ABOVE LOWEST TOP OF FOUNDATION VISIBLE ABOVE GRADE TO HIGHEST RIDGE. 34' + (.75)(4.47') = 37.35' (37'-4 1/4")		36'-4"
DRIVE WAY MAXIMUM WIDTH IN FRONT YARD (2 CURB CUTS ALLOWED ON LOTS 75 FT WIDE OR GREATER)	20 FT OR 1/3 LOT WIDTH WHICHEVER IS LESS = 20 FT DRIVE AT CURB CAN BE 5 FT WIDER		16 FT
DRIVE WAY SETBACK	1 FT OFF PROPERTY LINE		1 FT
GARAGE MAXIMUM HEIGHT	15 FT MEAN HGT. OF ROOF		NA
GARAGE PROXIMITY TO PRINCIPLE	10 FT MIN. DISTANCE		NA
GARAGE SETBACKS	IF LOCATED REAR 20% OF LOT		
SIDE SETBACK	2 FT		NA
REAR SETBACK	2 FT		NA

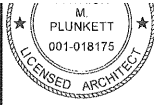
GENERATOR MUST BE 3 FT MIN. FROM LOT LINE & NO FARTHER THAN 5 FT FROM PRINCIPLE STRUCTURE AND 18" MIN. FROM WALL OF HOUSE AND 5'-0" FROM ANY OPERABLE OPENING (DOOR OR WINDOW).

SEPARATE GENERATOR PERMIT APPLICATION WITH UNIT CUT SHEET/SPECIFICATIONS TO BE PROVIDED PRIOR TO INSTALLATION

CONCRETE PAD MOUNTED BACK-UP GENERATOR, MEETING REQUIRED SIDE YARD SETBACK
INSTALL AND LOCATE GENERATOR PER MANUFACTURER SPECIFICATIONS.



1 SITE PLAN
SCALE: NTS



REMARKS

ISSUE DATES:

DATE

ISSUED FOR REVIEW

ISSUED FOR PERMIT & CONSTRUCTION

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NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT

PATRICK PLUNKETT

architectural design llc

19 north grant street
hinsdale, il. 60521

630.789.8100

TITLE SHEET, SITE PLAN

SINGLE FAMILY RESIDENCE

504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.

A-1



- BASEMENT EXCEPTION TO LIGHT AND VENT CODE REQUIREMENT PER SECTION R303.1 2006 IRC.
8. PROVIDE APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM INSTALLED OR WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CUBIC FEET PER MINUTE PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
9. PROVIDE ARTIFICIAL LIGHT CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE

- | | | |
|---|---|----------------------------|
| <h2 style="text-align: center; text-decoration: underline;">DESIGN CRITERIA</h2> | | |
| FLOOR | = 40# L.L. 20# D.L. | OTHER THAN SLEEPING RMS. |
| WALL | = 20# P.S.F. | OR ACTUAL LOAD |
| WALL | = 60# P.L.F. | OR ACTUAL LOAD |
| CEILING | = 20# L.L. 10# D.L. | ROOF SLOPES OVER 3" IN 12" |
| ROOF | = 30# L.L. 15# D.L. | ALL SLOPES |
| CATHEDRAL | = 30# L.L. 15# D.L. | ALL SLOPES |
| EXT. DECK | = 40# L.L. 20# D.L. | EXTERIOR |
| BALCONY | = 60# L.L. 10# D.L. | EXTERIOR |
| LATERAL LOAD (WIND) | = 20# P.S.F. MAIN WIND FORCE RESISTING SYSTEM | |
| | = 25# P.S.F. AT CORNER & CLADING COMPONENTS | |
| | = 90 MPH WIND | |
| INT. STAIRS | = 40# L.L. 10# D.L. | INTERIOR |
| <h3 style="text-align: center;">STRUCTURAL FRAMING LUMBER</h3> | | |
| FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE) | | |
| GRADE # S.P.F. #2 OR BETTER (N.L.G.A.), U.N.O. CROSS BRIDGE WITH MAXIMUM SPACING OF 8 FT. O.C. FOR ALL 2x DIMENSIONAL LUMBER | | |
| CANADIAN BASE $E = 1.4 \times 10^6$ | | |
| FLOOR LOADS ARE DESIGNED FOR 40# L.L. & 20# D.L. FLOORS ARE NOT DESIGNED FOR THICKER THAN 3/8" INTERIOR STONE. PRIOR TO INSTALL, ALL STONE SHOULD BE REVIEWED FOR DEFLECTION REQUIREMENTS BY CONTRACTOR FOR STONE INDUSTRY STANDARD REQUIREMENTS. | | |

FOOTINGS		
SIZE	REINFORCING	
F1 30" x 30" x 12"	(4) #4 BARS EACH WAY	
F2 36" x 36" x 12"	(5) #4 BARS EACH WAY	
F3 54" x 54" x 12"	(5) #5 BARS EACH WAY	

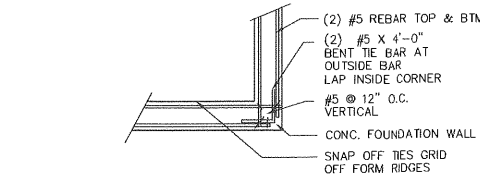
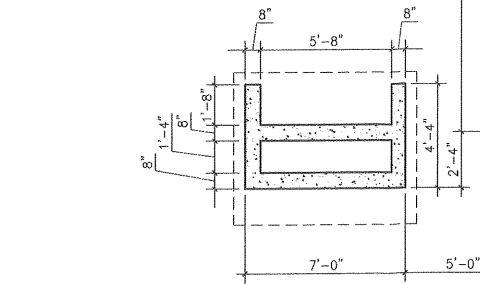
COLUMNS		
SIZE	BASE PLT.	CAP PLT.
C1 3 1/2" O.D. STD. PIPE	8" x 10" x 3/8"	6" x 1/2" x 10"
C2 4" O.D. STD. PIPE	8" x 12" x 3/8"	8" x 1/2" x 10"
C3 4" x 4" x 1/2" HSS	10" x 12" x 3/4"	6" x 1/2" x 10"

FOUNDATION REINFORCING		
5 FT	THK	VERTICAL
10 FT	10"	#5 @ 24" O.C. (2) #5 TOP, BOT & MID
16'-0"	12"	#6 @ 9" O.C. #5 @ 24" O.C.
TYP. FOOTING: 24" x 12"D CONT. 33" x 12"D CONT. @ 16'-0" FND. 18" x 12"D @ PORCHES & PATIO		

CONCRETE REINFORCING @ STL POSTS (4 PLACES)		
P1	(4) #5 VERTICAL BARS W/ TIES #3 @ 8" O.C. 12"x12" IN FOUNDATION REINFORCING	

- DOUBLE UP FLOOR JOISTS UNDER BATH TUBS TYP.
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE
- NOTE: PROVIDE CLOSET HANGROD AND SHELF AT EACH CLOSET
- PROVIDE 2X12 @ 24" O.C. LADDER FRAMING WHERE JOISTS RUN PARALLEL TO FOUNDATION WALL, PER CODE

BLUE STONE LANDING AND STAIR TREADS W/ STONE VENEER SURROUND AND RISERS, ABOVE 5" CONC. SLAB W/ 6X6 W2.1/W2.1 W.W.F. OVER 5" COMPACTED GRAVEL BASE. REMOVE ALL ORGANIC MATERIAL AND UNSUITABLE SOIL. BACK FILL AS NECESSARY W/ COMPACTED GRANULAR FILL IN 12" LIFTS COMPACTED TO 95% DUE TO THE OVERDIG. CONCRETE PORCH SLABS AND LANDINGS, DOWEL 18" LONG #4 REBAR @ 18" O.C. CONNECTING THICKENED SLAB TO ADJACENT FOUNDATION WALL FOR ADEQUATE ADDITIONAL SUPPORT. WATERPROOFED & PROPERLY FLASH EXTERIOR FOUNDATION WALL. FND. WALL IS TO BE A MIN. 10" WIDE AND 48" BELOW FIN. GRADE MIN., STEP DOWN FND. TO UNDISTURBED SOIL AS REQUIRED. SLOPE SLAB AND FIN. PAVERS 1/4" PER FT TO EXTERIOR EDGE.



② TYP. CONC. CORNER DETAIL
ALL CORNERS
1/2"=1'-0"

- INDICATES FOUNDATION WALLS WITH A TOP / FOUNDATION ELEVATION THAT IS LOWER OR HIGHER THAN THE BENCHMARK ELEVATION OF -1'-3"
- BENCHMARK FOUNDATION ELEVATION OF -1'-3" SEE BASEMENT PLAN FOR FOUNDATION ELEVATIONS

PROVIDE: RADIANT HEAT IN THE CONCRETE SLAB AT THE FOLLOWING LOCATIONS:
- FRONT PORCH
- FRONT WALK AND STEPS
- DRIVEWAY
- REAR PORCH
- GARAGE
- BASEMENT
VERIFY SYSTEM & LOCATIONS WITH OWNER, COORDINATE WITH APPROPRIATE SUBCONTRACTORS. INSTALL PER INDUSTRY STANDARDS.
RADIANT HEAT TO BE PLACED SOLELY ON PRIVATE PROPERTY, NOT PERMITTED IN THE PUBLIC RIGHT OF WAY

ALL INTERIOR DIMENSIONS ARE MEASURED TO FACE OF DRYWALL. ALL EXTERIOR DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF CARPENTER APPLIED SHEATHING OR TO OUTSIDE FACE OF MASONRY.

ALL INTERIOR WALLS NOT DIMENSIONED ARE ASSUMED TO BE 3 1/2" WOOD STUD WITH WITH 1/2" DRYWALL ON BOTH SIDES.

DO NOT SCALE FROM THESE DRAWINGS

PROVIDE RADON MITIGATION SYSTEM WITH MOST DIRECT ROUTE TO ROOF, REF DIAGRAM 3/A-12

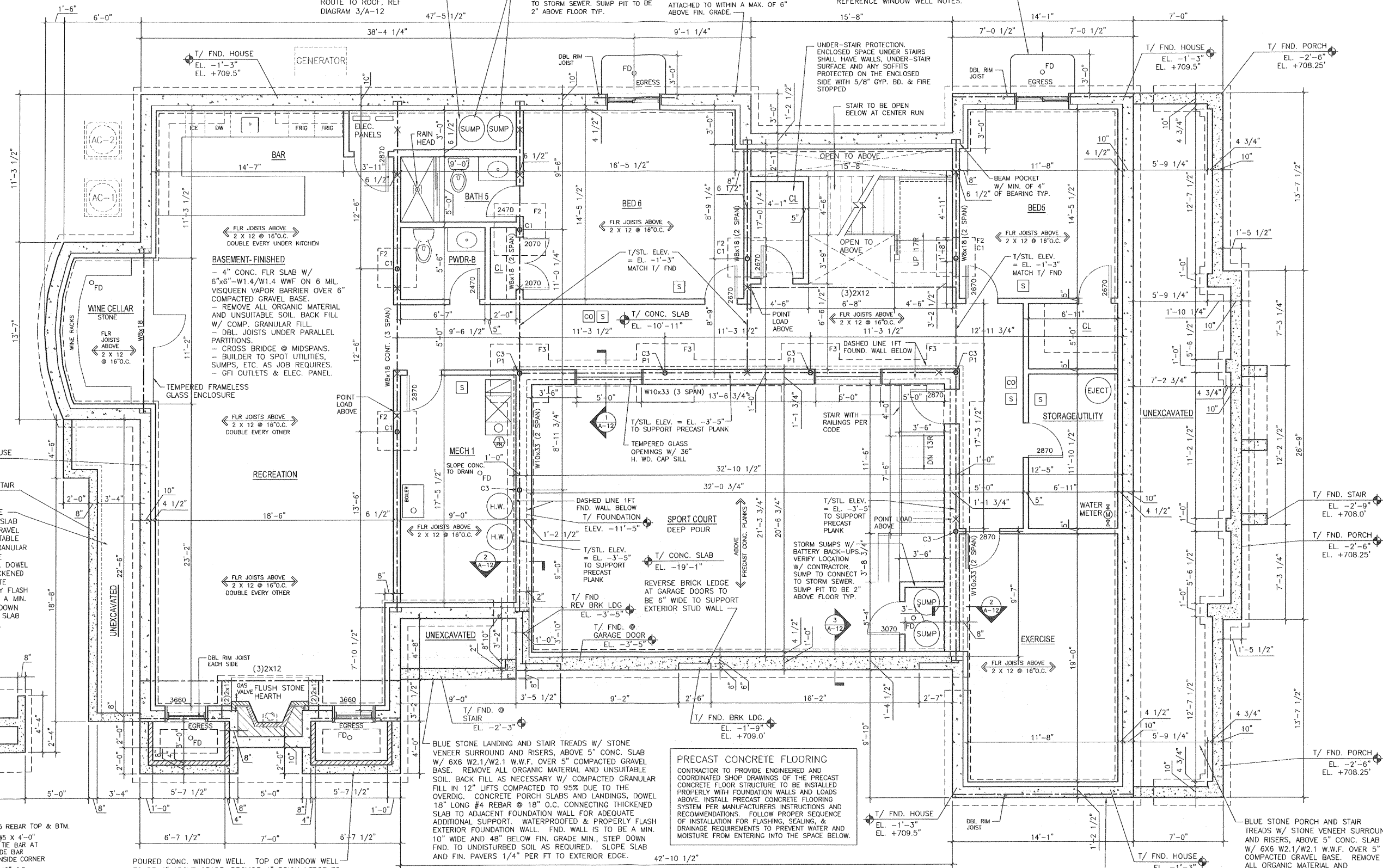
BASEMENT EXCEPTION TO LIGHT AND VENT CODE REQUIREMENT PER SECTION R303.1 2006 IRC. CONTRACTOR TO COORDINATE COMPLIANCE WITH THIS EXCEPTIONS' REQUIREMENTS USING THE MECHANICAL VENTILATION SYSTEM AND ARTIFICIAL LIGHTING.

AND COOLED BY ALL VILLAGE CODES. BEDROOMS REQUIRE DUCTED RETURNS AND SUPPLIES.

PROVIDE DRAFT STOP AT TUB, SHOWER AND TOILET WALL DUROCK AT TUB & SHOWER SURROUND C.T. DUCT ALL EXHAUST VENTS DIRECTLY TO EXTERIOR AWAY FROM WINDOWS

TOP/STEEL BEAMS
TO BE LEVEL WITH TOP OF FOUNDATION, LOWER TOP OF BEAM UNDER PRECAST SLAB AS SHOWN. CONTINUOUS 2x6 PLATE ON TOP OF STEEL BEAMS (TYPICAL UNLESS NOTED OTHERWISE)

PROVIDE NAILERS EMBEDDED IN FOUNDATION WALL WHERE FOUNDATION IS EXPOSED ABOVE GRADE TO ALLOW FOR SIDING AND TRIM BD. TO BE ATTACHED TO WITHIN A MAX. OF 6" ABOVE FIN. GRADE.



PRECAST CONCRETE FLOORING
CONTRACTOR TO PROVIDE ENGINEERED AND COORDINATED SHOP DRAWINGS OF THE PRECAST CONCRETE FLOOR STRUCTURE TO BE INSTALLED PROPERLY WITH FOUNDATION WALLS AND LOADS ABOVE. INSTALL PRECAST CONCRETE FLOORING SYSTEM PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. FOLLOW PROPER SEQUENCE OF INSTALLATION FOR FLASHING, SEALING, & DRAINAGE REQUIREMENTS TO PREVENT WATER AND MOISTURE FROM ENTERING INTO THE SPACE BELOW.

HOT WATER HEATER NOTES:
ALL HOT WATER HEATER TO BE INSTALLED WITH VENT & INTAKE (2) PIPE SYSTEM. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR. SYSTEM TO COMPLY WITH IECC 2015 R403.5

BOILER NOTES:
ALL BOILERS TO BE MIN. 90% EFFICIENT WITH VENT & INTAKE (2) PIPE SYSTEM. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR.

MECHANICAL NOTES:
1. ALL FURNACES TO BE MIN. 90% EFFICIENT WITH VENT & INTAKE (2) PIPE SYSTEM, EQUIPPED W/ HUMIDIFIER & DEHUMIDIFICATION. PROVIDE MAKE-UP ARE DIRECTLY FROM OUTSIDE. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR.
2. REFER TO HVAC GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. PROVIDE SHUT-OFF SWITCH FOR ALL FURNACES
4. PROVIDE DRAIN PAN WITH A WATER-LEVEL MONITORING DEVICE INSTALLED INSIDE THE PRIMARY DRAIN PAN TO SHUT OFF THE EQUIPMENT SERVED IN THE EVENT THE PRIMARY DRAIN BECOMES RESTRICTED.
5. PROVIDE SUFFICIENT INTAKE OF COMBUSTION AIR

NOTE: PROVIDE RADIANT HEAT IN BASEMENT CONC. SLAB VERIFY WITH OWNER EXACT LOCATIONS TO BE PROVIDED. COORDINATE WITH APPROPRIATE SUBCONTRACTORS.

SPORT COURT NOTES:
PROVIDE COMPLETE BASEMENT WATERPROOF SYSTEM FOR ALL PORTIONS OF EXTERIOR BELOW GRADE CONCRETE WITH PROPER SEALS AND STOPS AT JOINTS AND PENETRATIONS.
PROVIDE BOTH EXTERIOR AND INTERIOR CONTINUOUS DRAINTILE, AND A DRAINTILE GRID 5 FT O.C. BOTH DIRECTIONS BELOW SLAB AT CONTRACTOR

SPORT COURT NOTES:
1. PROVIDE 3/4" HIGH IMPACT DRYWALL AT WALLS AND CEILINGS.
2. PROVIDE VANDEL PROOF IMPACT LIGHT FIXTURES
3. COORDINATE FINISHES AND FIXTURES WITH SPORTCOURT BUILD-OUT SUB-CONTRACTOR
4. PROVIDE VAPOR BARRIER ABOVE AND BELOW SLAB PER EXPERIENCED SPORTCOURT BELOW GRADE FLOORING CONTRACTOR



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BASEMENT PLAN
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.

Attachment A-3



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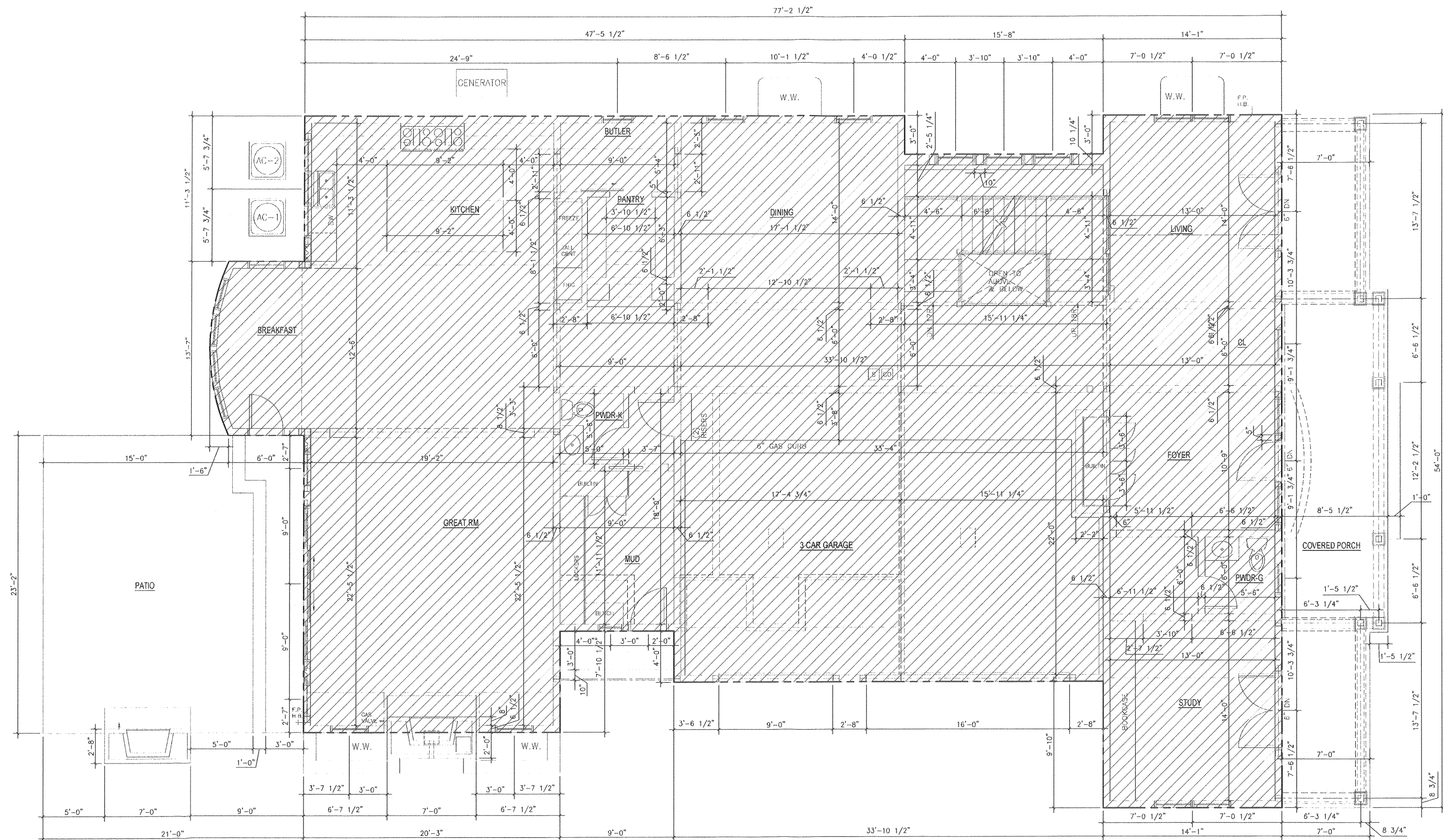
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FIRST FLOOR FAR DIAGRAM

SINGLE FAMILY RESIDENCE

504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.



F.A.R. DIAGRAM
FIRST FLOOR
SCALE: 1/4" = 1'-0"
1ST FL = 3639 SF FAR

MAX. FLOOR AREA	
3,639 SF	= FIRST FLR
3,537 SF	= SECOND FLR
7,176 SF	= FAR TOTAL

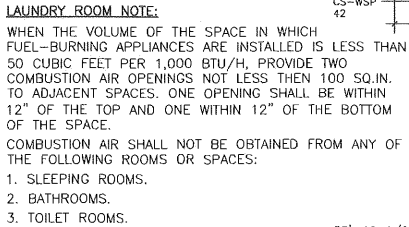


NOTE:
PROVIDE CLOSET HANGROD AND
SHELF AT EACH CLOSET

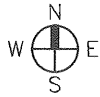
DOUBLE UP FLOOR JOISTS
UNDER BATH TUBS TYP.

WSP = WOOD STRUCTURAL PANEL SHEATHING
CS-WSP = CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING
CS-PF = CONTINUOUS PORTAL FRAME
GB-2 = GYPSUM BOARD BOTH SIDES OF WALL
MP = MANUFACTURED PANEL

HEADER = (2) 2X12
BUILT UP COLUMN = (3) STUD
- ALL POSTS MUST BEAR DIRECTLY ON LOAD
BEARING WALLS, POSTS BELOW, OR STEEL
BEAMS TO TRANSFER TO FOUNDATION.
BLOCK DOWN THROUGH FLOOR OR WALL
CAVITIES WHERE NECESSARY.



2ND FL = 3537 SF FAR



SHEET NO.

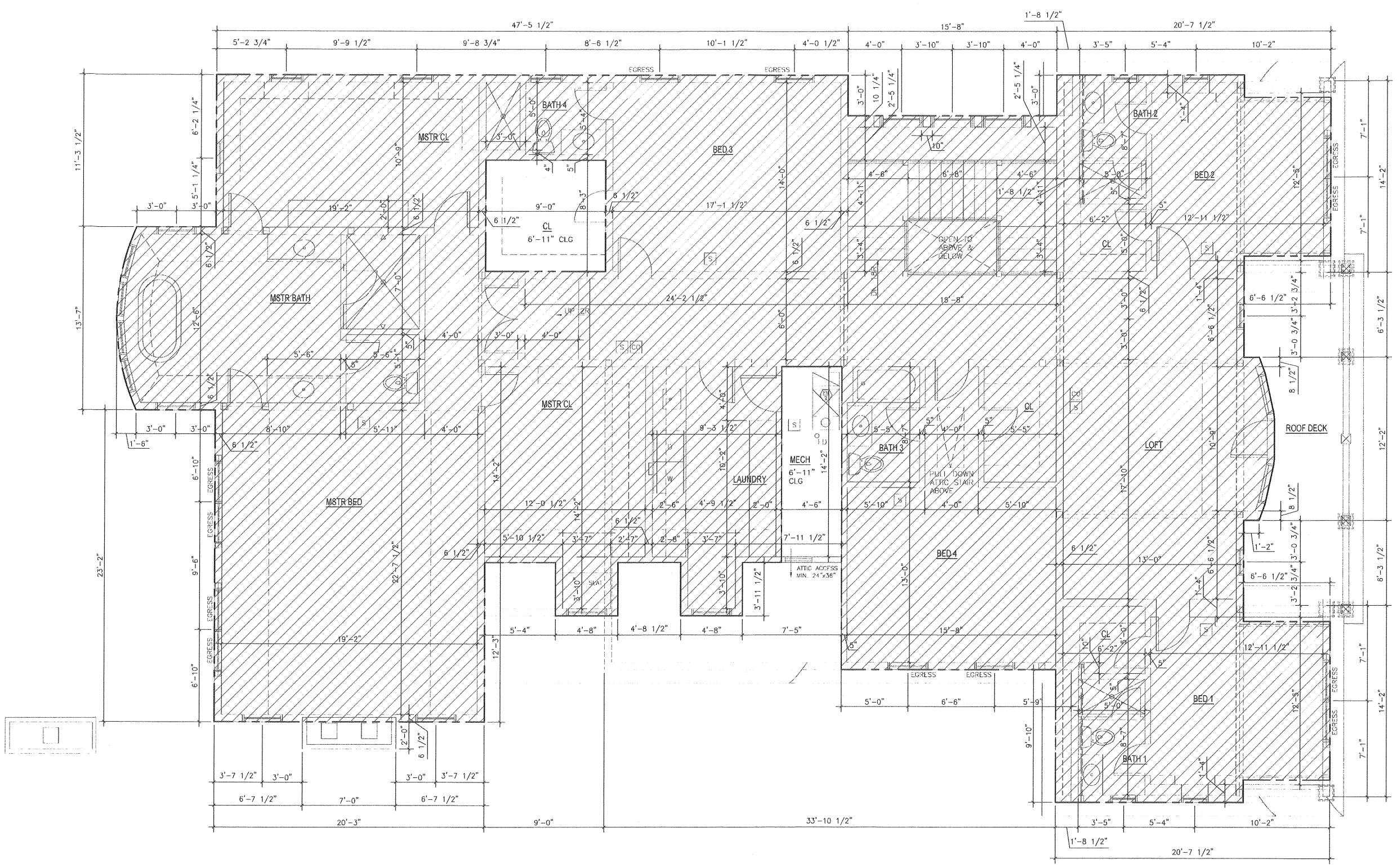
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SECOND FLOOR FAR DIAGRAM
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.



F.A.R. DIAGRAM
1 SECOND FLOOR
SCALE: 1/4" = 1'-0"
2ND FL = 3537 SF FAR



ROOF VENTILATION

ROOF VENTING TO MEET INTERNATIONAL RESIDENTIAL CODE 2006, SECTION R806

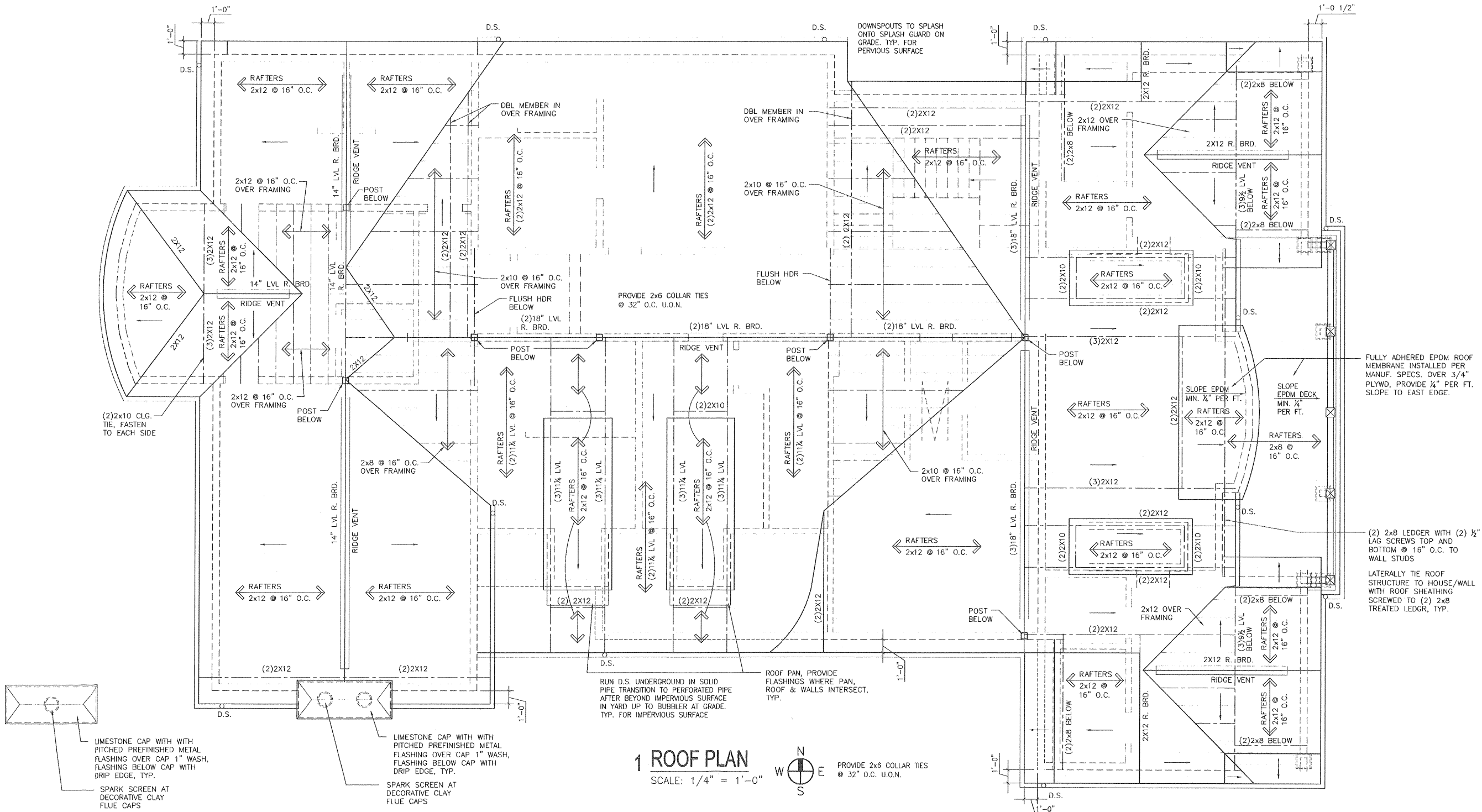
AREA = 3648 SF
REQUIRED VENTILATION: 3648 SF X (1/300) = 12.16 SF
144 SQIN x 12.16 SF = 1751 SQIN TOTAL VENTILATION REQUIRED
1751 SQIN / 2 = 876 SQIN INTAKE AND 876 EXHAUST SQIN

* ROOF RIDGE VENTS 18 SQIN PER LINEAR FT
* ROOF VENTS 72 SQIN PER VENT
ROOF EVE VENTS 12 SQIN PER LINEAR FT

EXHAUST 876 SQIN DIVIDED BY RIDGE VENTS 18 SQIN PER LINEAR FT
= 48.67 LINEAR FT OF RIDGE VENT.
INTAKE 876 SQIN DIVIDED BY 12 SQIN CONT. EVE VENT INTAKE PER 1FT
= 73 LINEAR FT OF EVE VENT.

DESIGN INCORPORATES 80 LINEAR FT OF RIDGE VENT
& 80 LINEAR FT OF EVE VENT

* INDICATES VENTILATOR 3'-0" ABOVE CORNICE OF EVE VENTS.
NOTE: IF AT LEAST 50% AND NO MORE THAN 80% OF ROOF VENTILATION IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EVE OR CORNICE VENTS, THE REQUIRED VENTILATION CAN BE REDUCED TO 1/300 OF THE TOTAL ROOF AREA.



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ROOF PLAN

SINGLE FAMILY RESIDENCE

504 S. OAK ST.
HINSDALE, ILLINOIS

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SHEET NO.

Attachment 1
A-6

WALL SHEATHING/DRAINAGE
WSP = WOOD STRUCTURAL PANEL SHEATHING
CS-WSP = CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING
CS-PF = CONTINUOUS PORTAL FRAME
GB-2 = GYPSUM BOARD BOTH SIDES OF WALL
MP = MANUFACTURED PANEL

STANDARD ELEVATION NOTES

INSTALL EXTERIOR FINISH MATERIALS PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND PER INDUSTRY STANDARDS. FOLLOW PROPER INSTALLATION SEQUENCE FOR FLASHING, SEALING, & DRAINAGE SYSTEMS TO PREVENT WATER MOISTURE FROM ENTERING ENCLOSURE AND DIVERT WATER AWAY FROM BUILDING.

PROVIDE A PITCH, SLOPE, OR ANGLE AWAY FROM BUILDING FACE FOR ALL EXTERIOR HORIZONTAL PROTRUDING ELEMENTS TO DRAIN WATER AWAY FROM THE BUILDING AND NOT BACK INTO THE BUILDING. MINIMUM SLOPE TO DRAIN WATER OF 1/2" PER FOOT. I.E. SILLS, LEDGES.

ALL RAFTER HEELS TO REST ON TOP OF DOUBLE PLATES. DOUBLE PLATE AND BEARING HEIGHTS MEASURED FROM SUB FLOOR

SHAKE WALL SIDING
PAINTED WOOD TRIM BOARDS AND PANELS
STONE VENEER AT PORCH WALLS
STONE CHIMNEY

ASPHALT SHINGLES ROOF SYSTEM

PRE-FINISHED ALUMINUM GUTTERS AND DOWN SPOUTS

FLASHING AT ALL ROOF TO WALL INTERSECTIONS

FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS

IMPORTANT FLASHING NOTE

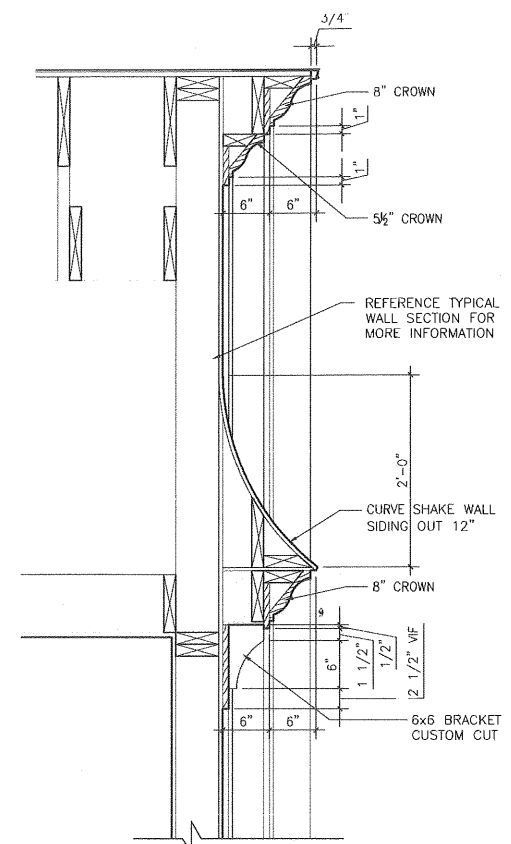
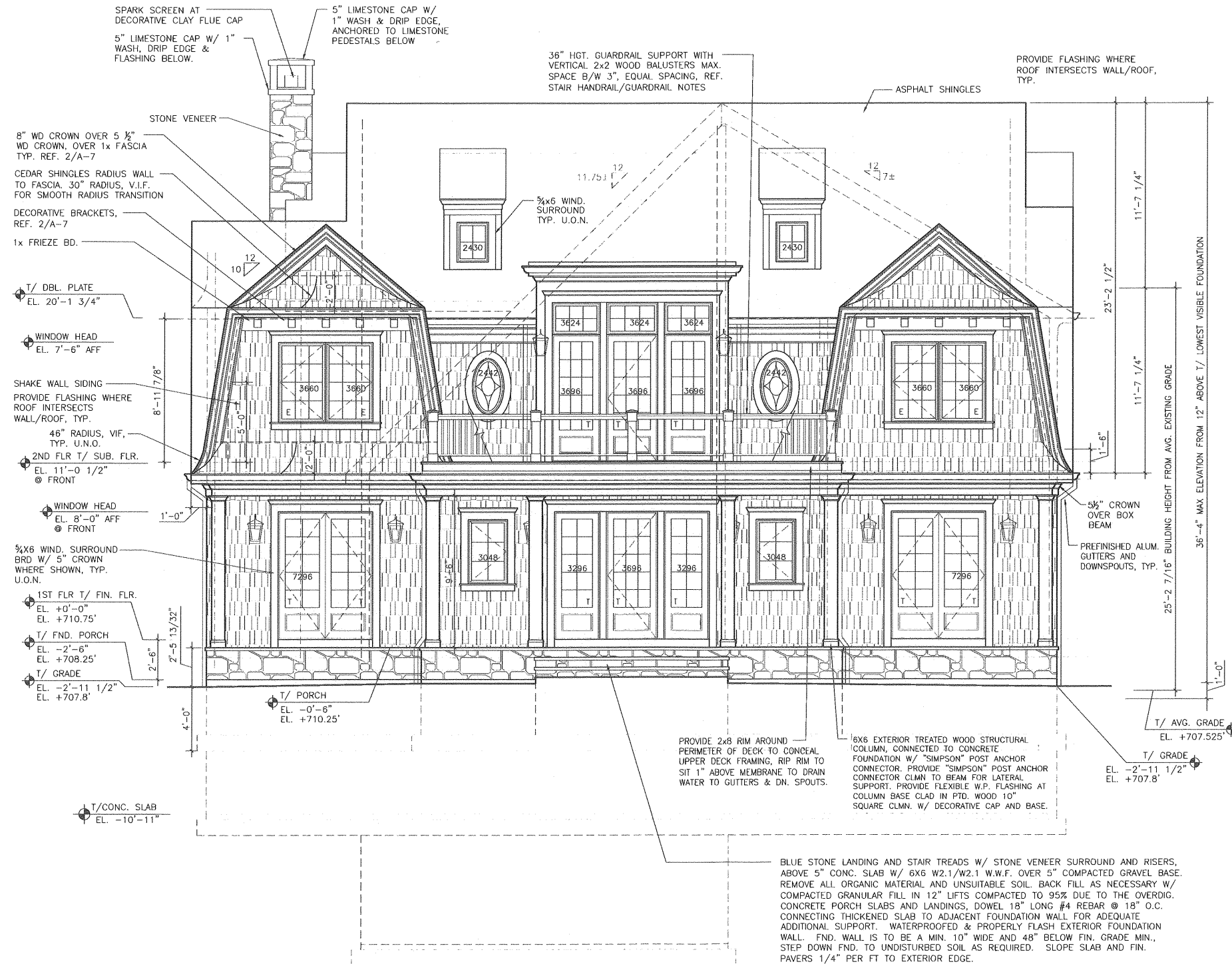
ALL CONCRETE STOOPS, STEPS, PATIOS OR PORCHES BEING POURED TO AN ELEVATION HIGHER THAN THE TOP OF FOUNDATION AND AGAINST A CARPENTER - FRAMED WALL OR RIM JOIST MUST BE FLASHED WITH 26 GA. SHEET METAL (FLASHING PROTECTION) 3 INCHES (MIN.) ABOVE TOP OF STOOP (AND UNDER THRESHOLD AT DOORS) AND BENT AS REQUIRED TO EXTEND 3 INCHES (MIN.) BELOW TOP OF FOUNDATION. BUILDING PAPER, TYVEK 15# FELT COVERING THE WALL SHEATHING MUST BE LAP OVER THIS REQUIRED FLASHING.

ALL FLASHING MUST BE INTEGRATED WITH WATER DRAINAGE PLANE & PROPER SEQUENCE OF CONSTRUCTION. PROVIDE FLASHING AT ALL ROOF TO WALL INTERFACES & TERMINATE WITH "KICKOUT" FLASHING, PENETRATIONS IN BUILDING ENCLOSURE, INCLUDING WINDOWS, DOORS, VENTS, PIPES, ETC., LAP WEATHER BARRIER OVER FLASHINGS. WINDOWS TO BE PAN FLASHED, BACK DAMMED, & WEEPED FOR PROPER WATER MOISTURE DRAINAGE TO EXTERIOR.

FOLLOW SMACNA INSTALLATION DETAILS.

BUILDING PAPER AND AIR BARRIER INFORMATION

ALL EXTERIOR WALLS SHALL BE WRAPPED WITH TYVEK AIR & WATER BARRIER PER MANUFACTURERS RECOMMENDATIONS & INSTRUCTIONS WITH PROPER SEQUENCE OF CONSTRUCTION FOR WATER MANAGEMENT. INSTALL OVER THE EXTERIOR WALL SHEATHING WITH PROPER LAPPING, FASTENING, AND TAPPING. PROPERLY INTEGRATE WITH ALL WALL FLASHINGS & FLASHINGS AROUND WALL PENETRATIONS. REPAIR AS REQUIRED BEFORE INSTALLATION OF SIDING OR MASONRY.



REFERENCE TYPICAL WALL SECTION FOR MORE INFORMATION

2 PROJECTION @ GABLE END

SCALE: 1" = 1'-0"

PROVIDE FIELD MOCK-UP FOR REVIEW

SECTION IS PROVIDED FOR DIMENSIONING AND TRIM DETAILS ONLY PROVIDE INSULATION AND STRUCTURAL TAILING AS REQUIRED BY VILLAGE CODES

1 EAST ELEVATION

SCALE: 1/4" = 1'-0"



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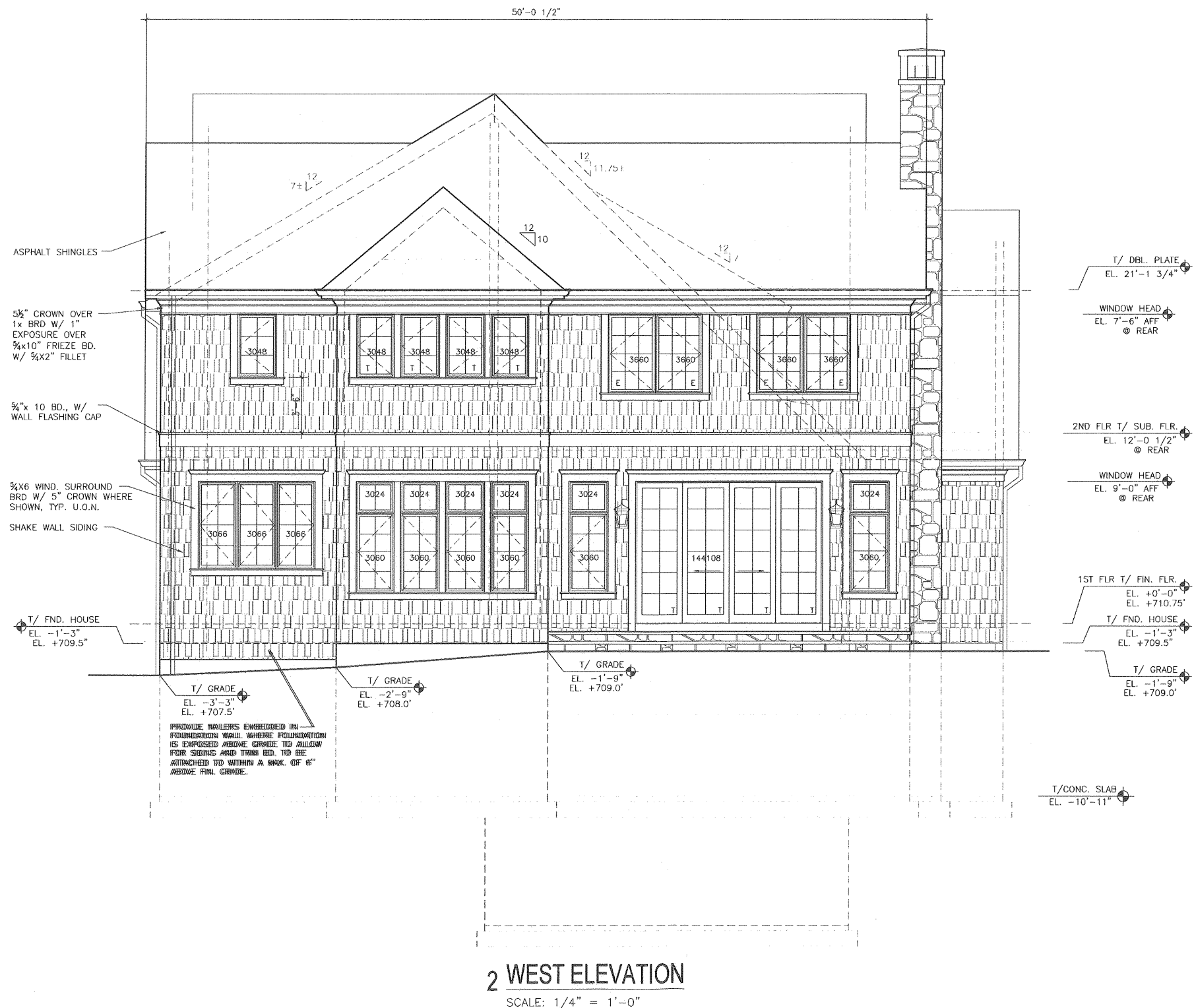
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EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.

1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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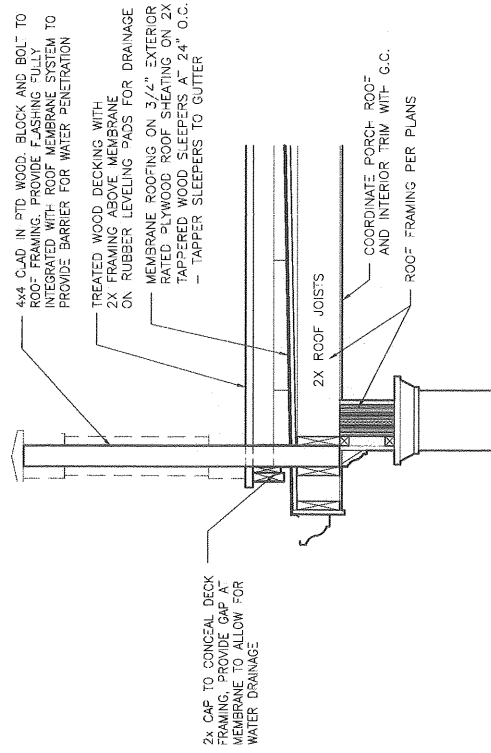
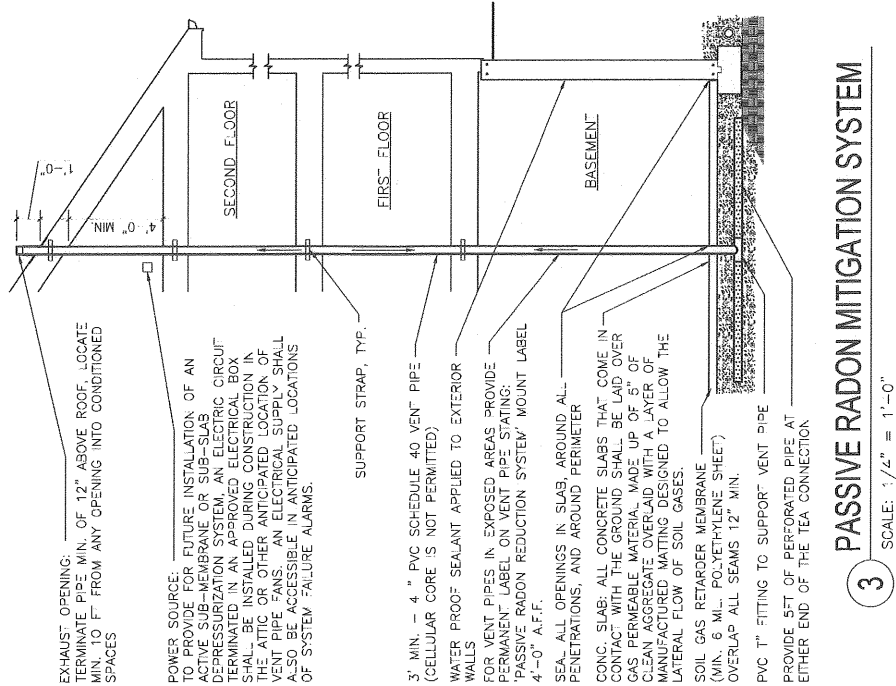
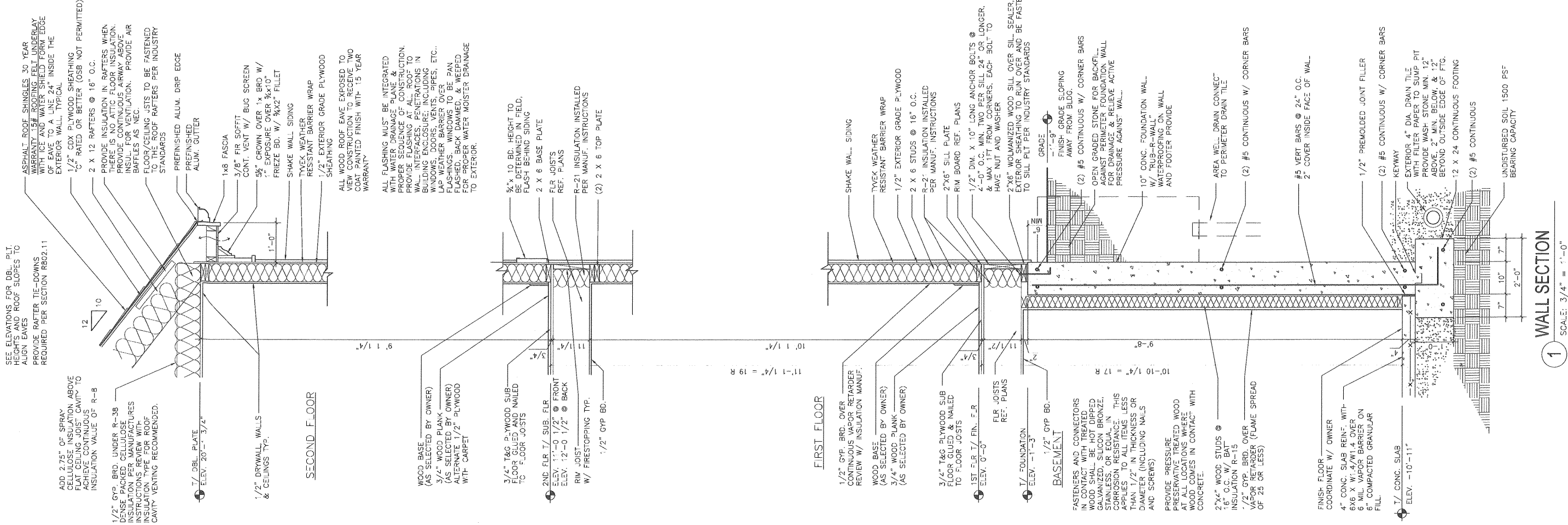
EXTERIOR ELEVATIONS
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SPORT COURT NOTES:
1. PROVIDE 3/4" HIGH IMPACT DRYWALL AT WALLS AND CEILINGS.
2. PROVIDE VANDEL PROOF IMPACT LIGHT FIXTURES
3. COORDINATE FINISHES AND FIXTURES WITH SPORTCOURT BUILD-OUT SUB-CONTRACTOR
4. PROVIDE VAPOR BARRIER ABOVE AND BELOW SLAB PER EXPERIENCED SPORTCOURT BELOW GRADE FLOORING CONTRACTOR

SPORT COURT NOTES:
PROVIDE COMPLETE BASEMENT WATERPROOF SYSTEM FOR ALL PORTIONS OF EXTERIOR BELOW GRADE CONCRETE WITH PROPER SEALS AND STOPS AT JOINTS AND PENETRATIONS.
PROVIDE BOTH EXTERIOR AND INTERIOR CONTINUOUS DRAINTILE, AND A DRAINTILE GRID 5 FT O.C. BOTH DIRECTIONS BELOW SLAB AT DEEP PORTION OF BASEMENT.



SECTIONS & RADON MITIGATION DIAGRAM

SINGLE FAMILY RESIDENCE

504 S. OAK ST.
HINSDALE, ILLINOIS

PATRICK PLUNKETT
a r c h i t e c t u r a l d e s i g n i t d

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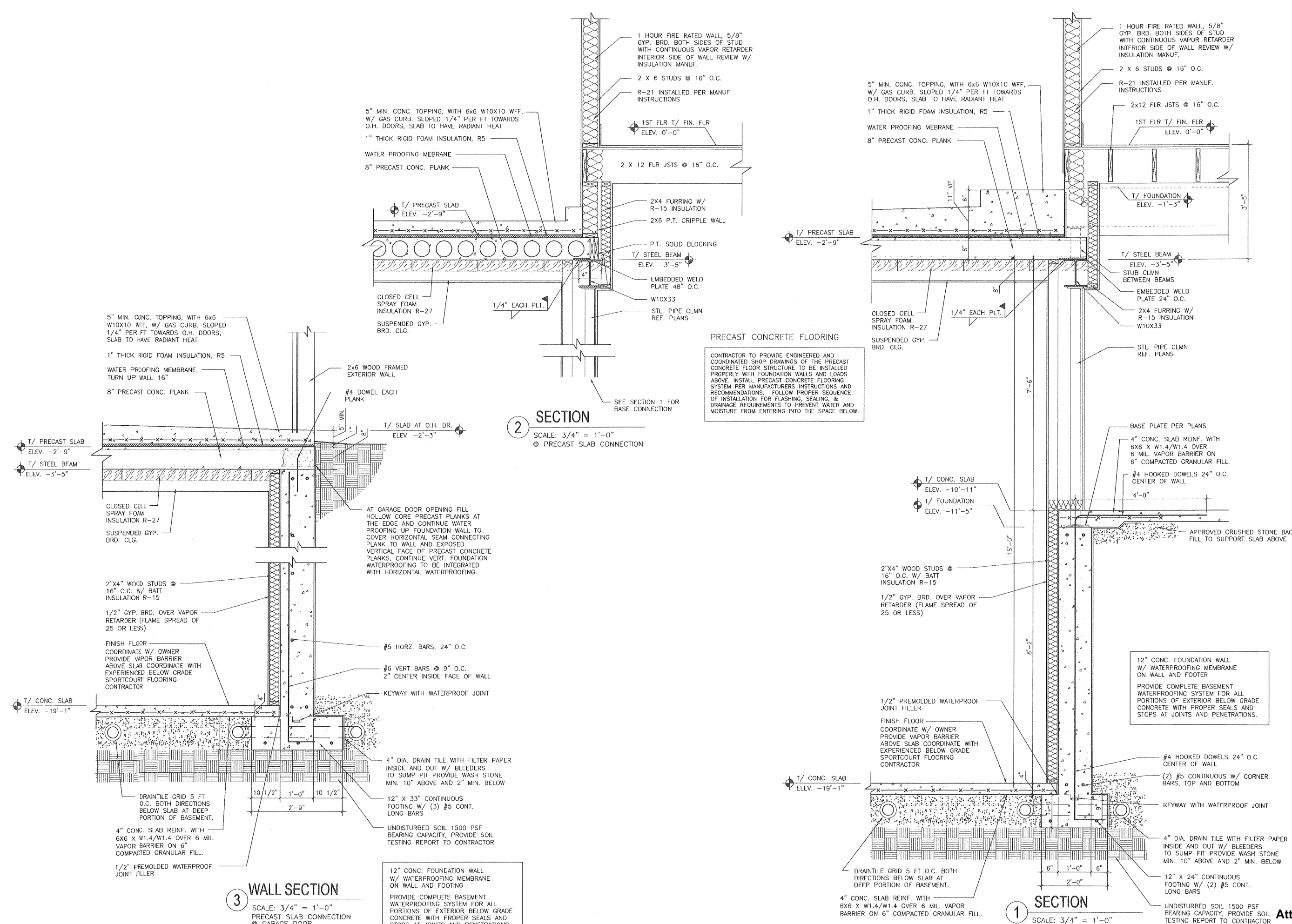
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hinsdale, il 60521

SECTIONS
SINGLE FAMILY RESIDENCE
504 S. OAK ST.
HINSDALE, ILLINOIS

SHEET NO.

A-12



ADDRESS	FRONT SETBACK
#320	69.1'
#422	86.2'
#504	206.4' (HIGH - EXCLUDE)
#540	50.1' (LOW - EXCLUDE)
#328 6th	128.4'

AVERAGE = 91.9'

PLANTING PLAN NOTES & COST ESTIMATE

ALL PVIOUS AREAS SHALL BE PLANTED WITH SOD. TOPSOIL AND SOD SHALL BE PLACED WITHIN 14 DAYS AFTER COMPLETION OF FINE GRADING OPERATIONS.

ITEM	UNITS	UNIT PRICE	QUANTITY	COST
4" TOPSOIL	S.Y.	\$ 2.00	1800	\$ 3600
SOD	S.Y.	\$ 3.00	1800	\$ 5400
TOTAL COST				\$ 9000



SCALE: 1" = 10'

FOR
504 S. OAK ST. - HINSDALE, IL

EXISTING GRADE CALCULATIONS

FRONT NORTH = 707.5
FRONT SOUTH = 707.6
REAR NORTH = 708.6
REAR SOUTH = 708.1

AVERAGE = 708.0

LOT AREA = 25900 S.F. (34.4 %)

EXISTING IMPERVIOUS AREA = 9950 S.F. (38.4 %)

PROPOSED IMPERVIOUS AREA = 8650 S.F. (33.4 %)

PROPOSED FRONT YARD COVERAGE = 2700 S.F. (37.6 %)

DRAINAGE AREA CALCULATION (EXISTING)

WEST = 0 S.F. (0 %)
NORTH = 6900 S.F. (26.6 %)
SOUTH = 0 S.F. (0 %)
EAST = 18000 S.F. (73.4 %)

TOTAL = 25900 S.F. (100 %)

DRAINAGE AREA CALCULATION (PROPOSED)

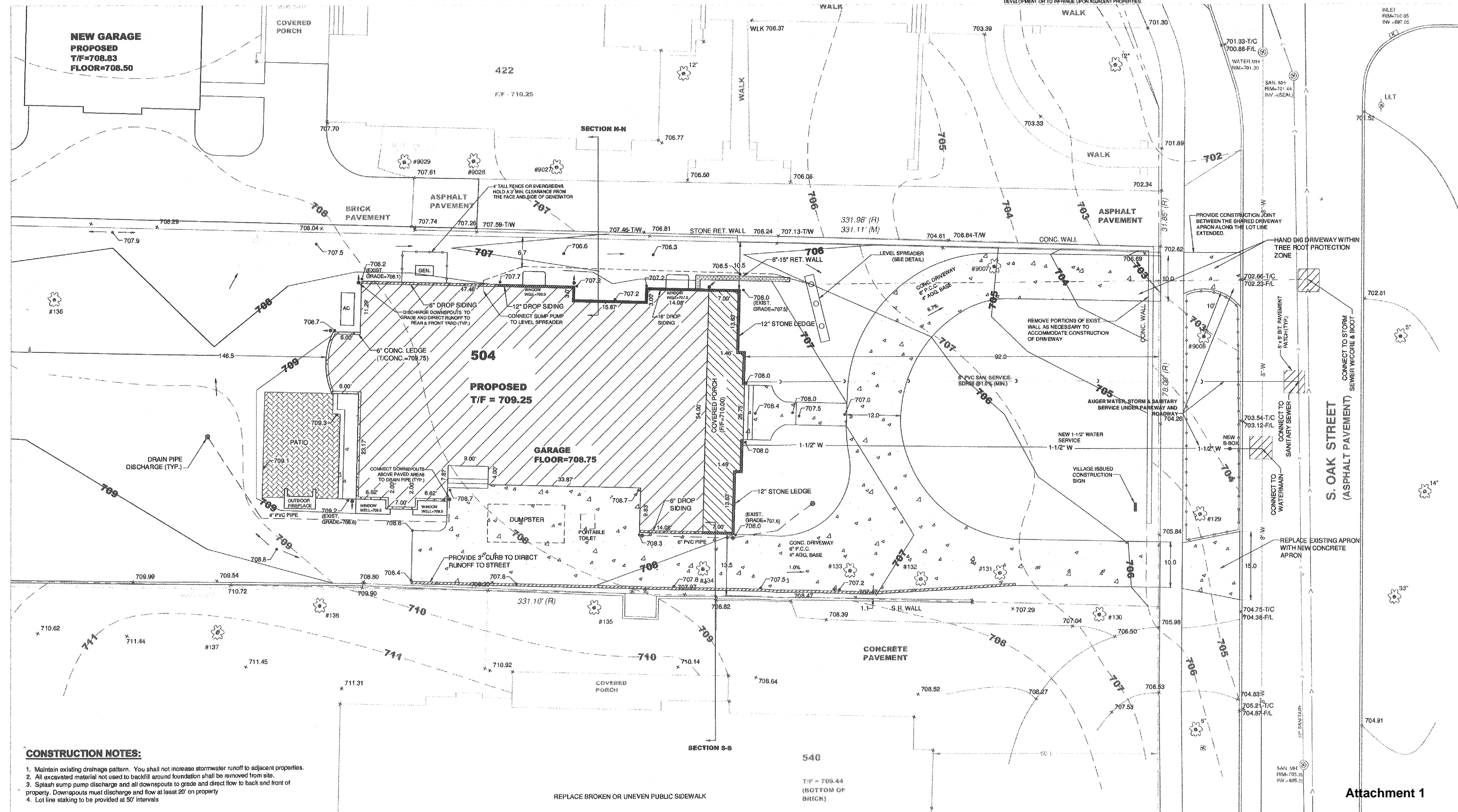
WEST = 0 S.F. (0 %)
NORTH = 6500 S.F. (25.1 %)
SOUTH = 0 S.F. (0 %)
EAST = 19400 S.F. (74.9 %)

TOTAL = 25900 S.F. (100 %)

- AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST REVISION, SHALL GOVERN CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS UNLESS SUPERCEDED BY SPECIAL PROVISIONS IN THE VILLAGE OF HINSDALE SUBDIVISION AND ENGINEERING SPECIFICATIONS MANUAL.
- THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF HINSDALE AT LEAST TWO (2) WORKING DAYS BEFORE THE INITIAL START OF OPERATIONS, OPENING ANY STREET PAVEMENT OR ANY TEMPORARY STOP OR RESUMPTION OF OPERATIONS.
- ALL NEW UNDERGROUND SERVICES SHALL BE PLACED AT LEAST FIVE (5) FEET FROM SANITARY AND WATER SERVICES.
- WHEREVER THE WORDS "ENGINEER" OR "INSPECTOR" APPEAR, IT SHALL BE INTERPRETED TO MEAN A REPRESENTATIVE OF THE VILLAGE OF HINSDALE.
- A COPY OF THE CITY APPROVED STAMPED PLANS AND SPECIFICATIONS AND OTHER AGENCIES' PERMITS, I.E. COUNTY HIGHWAY, ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, ETC., MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION OF THE PROJECT WORK.
- CHANGES IN THE ENGINEERING PLANS MUST BE APPROVED BY THE VILLAGE ENGINEER. A WRITTEN REQUEST, ACCOMPANIED BY REVISED ENGINEERING PLANS, IS TO BE SUBMITTED AND APPROVED BEFORE CHANGES ARE STARTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES (AMERITECH, COMMONWEALTH EDISON ELECTRIC COMPANY, ETC.) PRIOR TO CONSTRUCTION AND ALL UTILITIES DAMAGED AND/OR DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER, LOCATIONS AS SHOWN ARE APPROXIMATE AND BASED UPON THE BEST AVAILABLE INFORMATION. CALL 811 I.E. FOR MAJOR UTILITY LOCATIONS.
- THE CONTRACTOR IS TO VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE DESIGN ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCIES ARE RESOLVED.
- EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE REMOVED TO A MINIMUM DISTANCE OF 16 FEET ON EACH SIDE OF ANY EXISTING UTILITIES TO REMAIN IN SERVICE AND/OR ANY PROPOSED UTILITIES.

MASS GRADING NOTES

- ALL UNSUITABLE MATERIAL MUST BE REMOVED FROM THE PROPOSED BUILDING AREA OR AS INDICATED ON THE SOILS REPORT FOR THE SUBJECT DEVELOPMENT.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE MASS GRADING OPERATIONS OF A SUBDIVISION OR PARCEL OF LAND, THE DEVELOPER OR BUILDER, MUST NOTIFY THE VILLAGE ENGINEER TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. IN ADDITION, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ALL REQUIRED BONDS MUST BE POSTED AND PERMIT FEES PAID. ALL MASS GRADING OPERATIONS OF A SUBDIVISION OR INDIVIDUAL BUILDING PARCEL, AS WELL AS ANY ROADWAY OR PARKING LOT IMPROVEMENT, MUST BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IN ILLINOIS, CURRENT EDITION, AS WELL AS THE AMERICAN SOCIETY OF STATE HIGHWAY OFFICIALS, CURRENT EDITION.
- ALL GRADING OPERATIONS MUST BE CONSTRUCTED ACCORDING TO THE ELEVATIONS AND GRADES, AS SHOWN ON THE PLANS OR MODIFIED BY THE VILLAGE ENGINEER. ALL EXCAVATED MATERIAL SHALL BE PLACED AND STOCKPILED ON THE SUBJECT PROPERTY, AS PREVIOUSLY APPROVED. THE SUBDIVIDER OR BUILDER MUST ADHERE TO THE APPROVED ENGINEERING PLANS, DURING THE COURSE OF CONSTRUCTION OF THE DESIGNATED IMPROVEMENTS. POSITIVE DRAINAGE MUST BE PROVIDED AT ALL TIMES IN AN ATTEMPT NOT TO AFFECT THE SUBJECT DEVELOPMENT OR TO INFRINGE UPON ADJACENT PROPERTIES.



CONSTRUCTION NOTES:

- Maintain existing drainage pattern. You shall not increase stormwater runoff to adjacent properties.
- All excavated material not used to backfill around foundation shall be removed from site.
- Splash sump pump discharge and all downspouts to grade and direct flow to back and front of property. Downspouts must discharge and flow at least 20' on property.
- Lot line staking to be provided at 50' intervals.

REPLACE BROKEN OR UNEVEN PUBLIC SIDEWALK

540
T/F = 709.44
(BOTTOM OF BRICK)

EROSION CONTROL NOTES

THE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND DIMINATION CONTROL, PROCEDURES AND STANDARDS FOR URBAN SOIL AND DIMINATION CONTROL IN ILLINOIS, AND THE VILLAGE OF HINSDALE.

PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED WITHIN 15 LENDAR DAYS OF THE END OF ACTIVE SOIL DISTURBANCE.

SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL ASURES SHALL BE INSTALLED PRIOR TO MASS GRADING.

ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INTAINED AND REPAIRED AS DEEMED NECESSARY BY THE VILLAGE OF HINSDALE.

INSTALL PERMANENT SEEDING AND SOD IN ALL AREAS AS REQUIRED BY THE LAJE OF HINSDALE.

ALL EROSION CONTROL DEVICES SHALL BE INSPECTED WEEKLY AND AFTER INFALLS GREATER THAN 0.5" BY QUALIFIED PERSONNEL. WHEN SILT FENCE COMES MORE THAN ONE-THIRD FULL, IT SHALL BE CLEANED.

CONSTRUCTION SCHEDULE

DEMOLITION	SEPTEMBER	2017
FOUNDATION POUR	SEPTEMBER	2017
FRAMING	OCTOBER	2017
RESTORATION	APRIL	2018

FOR 504 S. OAK ST. - HINSDALE, IL

SCALE: 1" = 15'

VILLAGE NOTES

BMP's inspection - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.

Level spreader inspection - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.

Any connections to the storm sewer - inspection is required when excavation is complete, pipes are connected and exposed and stone for backfilling is on site.

Driveways, Sidewalks & curbs in the parkway - Asphalt or Concrete, when driveway is laid-out, excavated, formwork is in place, and subgrade has been placed.

Street patches for sanitary connection - 3 inspections

Connection inspection to be carried out and approved by Flag Creek
Pre-pour inspection for flow-able fill, stone backfilled 1 ft above pipework, flow-able fill on site
Pre-pour for final concrete, 10 inches from final grade, concrete on site.

Street patches for water connection - 3 inspections

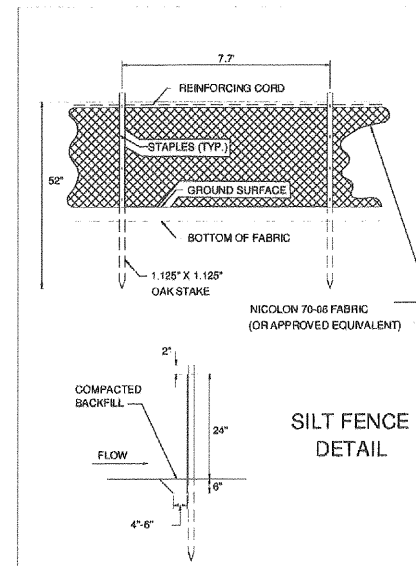
Connection inspection to be carried out and approved by Hinsdale Water Department
Pre-pour inspection for flow-able fill, stone backfilled 1 ft above pipework, flow-able fill on site
Pre-pour for final concrete, 10 inches from final grade, concrete on site

Final Grade Inspection

When the site is complete in accordance with the permitted site grading plan, 70 % vegetated and all other Engineering and Public Works inspections are complete.

Stormwater Bond Inspection

Carried out 12 months after the Certificate of Occupancy has been issued.



LEGEND

Existing Proposed

Sanitary Sewer	---	---
Storm Sewer	---	---
Watermain	---	---
Contour Lines	704	704
Spot Elevations	708.00	705.00
Fence	---	---
Fire Hydrant	---	---
Manhole	---	---
Light Pole	---	---
Power Pole	---	---
B-Box	---	---
San. Cleanout	---	---
Tree	---	---
Shrubs	---	---
Drainage Pattern	---	---
Silt Fence	---	---

BENCHMARK INFORMATION

VILLAGE OF HINSDALE BENCHMARK: FIRE HYDRANT LOCATED AT THE SOUTHEAST CORNER OF OAK AND FOURTH STREET. ARROW ON CAP

ELEVATION = 689.39

SITE BENCHMARK: WATER VALVE MANHOLE LOCATED ON THE INTERSECTION OF WOODSIDE AVENUE AND OAK STREET.

IRM ELEVATION = 701.30

INTERIM STORM WATER NOTES

- FOUNDATION DE-WATERING WILL BE DIRECTED TO THE CURB AND AIMED TOWARDS A CURB INLET.
- CONSTRUCT SWALES AFTER FOUNDATION BACKFILL DIRECTING STORMWATER AWAY FROM ADJACENT RESIDENCES, IF REQUESTED BY VILLAGE OF HINSDALE STAFF.

DEMOLITION NOTES

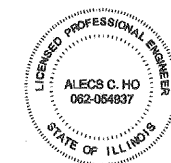
- TANKER TRUCK ON SITE WITH A MINIMUM 100 GALLON/MINUTE CAPACITY TO PROVIDE WATER SOURCE FOR DEMOLITION OPERATIONS.
- CLEANUP CONTACT: JAMES DOHERTY (PHONE # (630) 484-9319)

CONSTRUCTION NOTES:

- Install Silt/Safety Fence prior to the start of excavation activities.
- Install 3" rock for construction entrance prior to excavation activities.
- Disconnect all utilities at their mains.

GENERAL NOTES:

- Utilities and Improvements shown hereon based on visible field verified structures and Village of Hinsdale Utility Atlases.
- Boundary information shown hereon is for graphical depiction only.
- This drawing does not constitute a plat of survey.



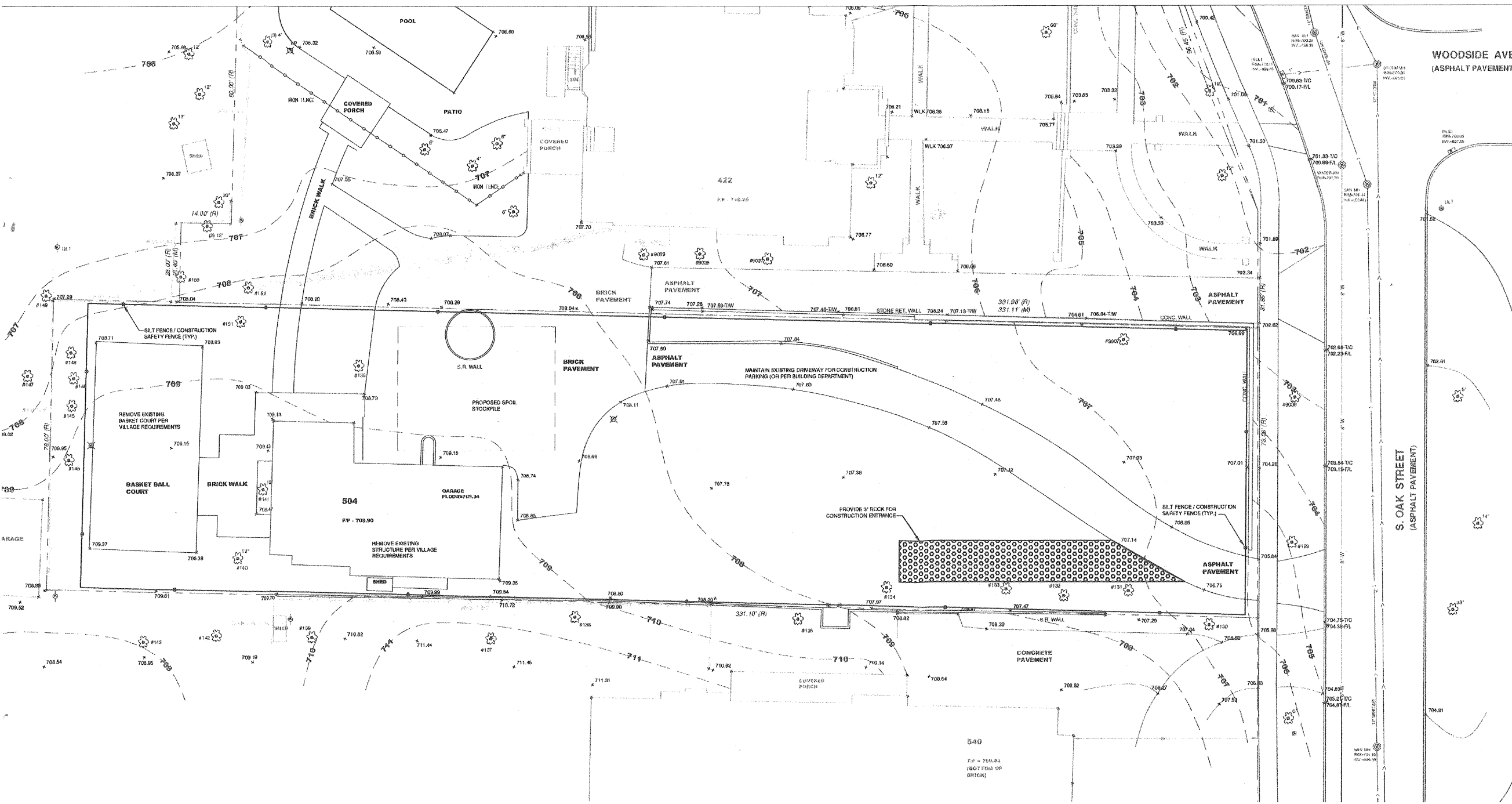
This is to certify that I, Alec C. Ho, performed the topographical survey and that what is drawn is a correct representation of the field observations

Dated this 12th day of January 2017 at Elmhurst, Illinois.

Alec C. Ho

Illinois Professional Engineer Number 062-054937
My License Expires November 30, 2017

Attachment 1



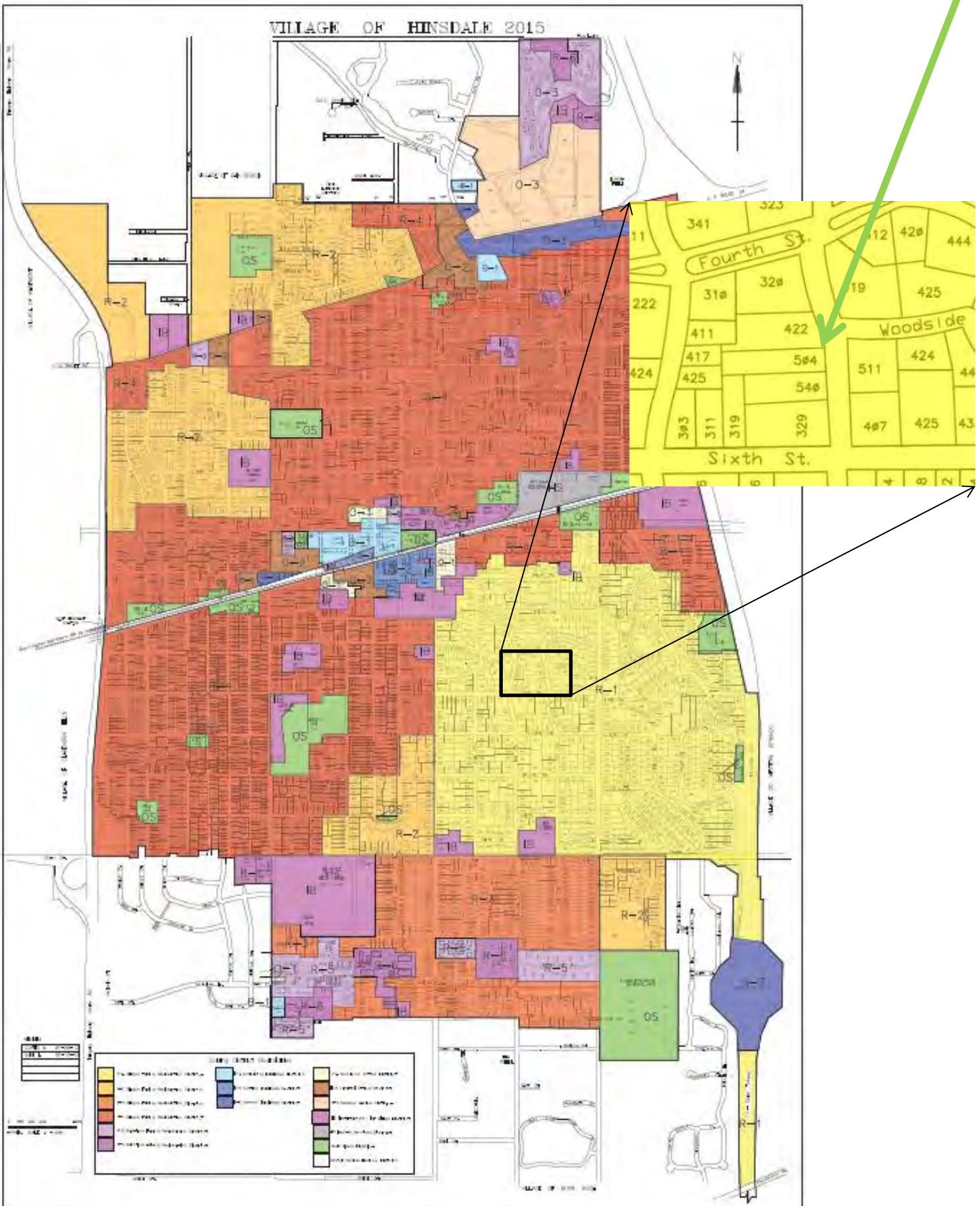
EXISTING TOPOGRAPHY & EROSION CONTROL PLAN
504 S. OAK ST. - HINSDALE, IL
DRAWN BY: -
CHECKED BY: -

DATE	REVISION	COMMENTS
08/11/17	1	REVISED PER VILLAGE COMMENTS

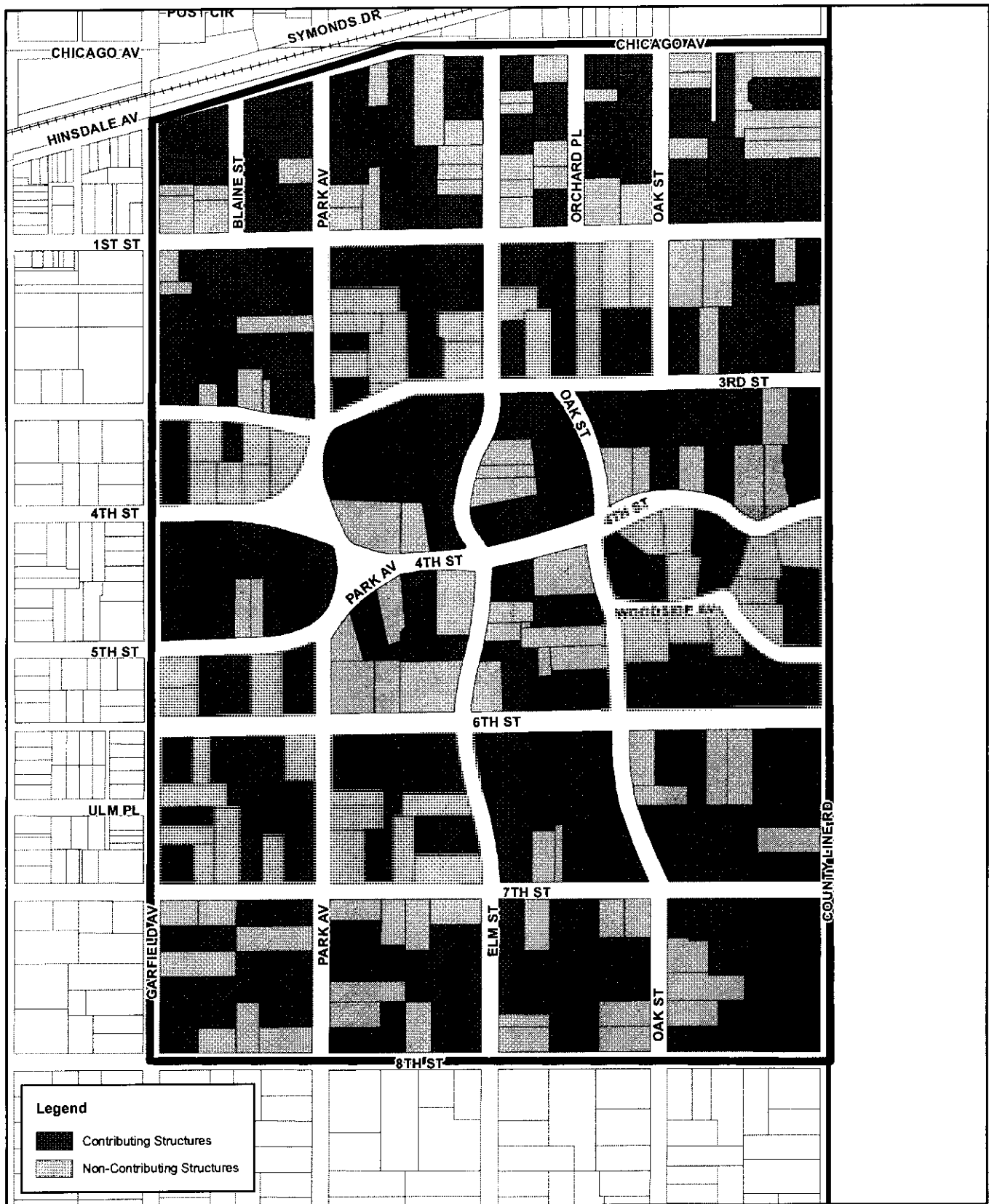
PREPARED FOR
BAYT BUILDERS

Gabriel Group, Inc.
Civil Engineering Solutions
P.O. Box 5376 - Oak Brook, IL 60522
Tel: 630-772-9383 Fax: 630-756-4151

Attachment 2: Village of Hinsdale Zoning Map and Project Location



ROBBINS PARK HISTORIC DISTRICT



0 250 500 1,000 Feet



Attachment 4

CERTIFICATE OF APPROPRIATENESS

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.

11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 15

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES C OR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
4	S OAK	American Foursquare	c. 1910	Conover, Lawrence F. House	C	-			
7	S OAK	Neo-Traditional	1987		NC	-			
8	S OAK	American Foursquare	c. 1915		C	C			detached garage
13	S OAK	American Foursquare	c. 1910		C	C			detached garage
14	S OAK	Colonial Revival	c. 1910		C	NC			detached garage
17	S OAK	American Foursquare	c. 1910		C	C			detached garage
23	S OAK	Prairie	c. 1915	Conover, Isabel S. House	C	-			
24	S OAK	Colonial Revival	c. 1915		C	NC			detached garage
30	S OAK	Craftsman Bungalow	c. 1920		C	C			detached garage
31	S OAK	Neo-Traditional	1997		NC	-	Mifflin Assoc., R. A. (RAM)	Hallmark Homes of Hinsdale	
35	S OAK	Craftsman	c. 1910		C	-			
36	S OAK	Renaissance Revival	1928	Jaedecke, C.P. House	C	-	Wilkins, S. W.	Droos, A.	
136	S OAK	Craftsman	1912	Barfield, William G. House	C	-	Barfield, William Gibson		
316	S OAK	Colonial Revival	c. 1895	Hildebrand, Lewis K. House	C	C			detached garage
327	S OAK	Neo-Traditional	2005-06		NC	-			
419	S OAK	Classical Revival	c. 1910-11	Hicks, Ernest H. House	C	-			
422	S OAK	Prairie	1904	Brown, Charles A. House	C	-	Zimmerman, William Carbys		
504	S OAK	No style (altered)	c. 1940		NC	-			
511	S OAK	No style	c. 1925		NC	NC			Detached garage
540	S OAK	Neo-Traditional	1998		NC	-	Kang, Sinsuk	Peyton, Alan R.	
610	S OAK	Ranch	1952	Framburg, Mr. & Mrs. Stanley	C	C	Stade, Charles	Wendell, A. W. & Son	Shed

Wednesday, November 1, 2017

Hinsdale Historical Society and Historic Preservation Committee's partnership.

Mobile Tours App: Historical Tourist: Hinsdale Edition

October 2017 Update

The ad hoc app workgroup at the Society continue to make substantial progress on the app testing and development.

The Downtown Tour has: complete information uploaded, been developed into the Round 1 prototype and undergone its first full review. Next steps are to work with the MYTOURS vendor to address the minor cosmetic issues in the app presentation (eg. extra white space in some areas), identify a few new photographs about the: society, zook home and studio, volunteering and donating and then testing the touring functionality.

The South and North Tours are nearly ready for submission to the vendor to "publish" those tours in the app prototype. The narratives have been written, reviewed, and edited. Photographs have been chosen and captioned. Next steps are to: load the photos, submit the tour information to MYTOURS to publish in the app, review these tour features and layout in the app prototype, identify and rectify any cosmetic changes and test the touring functionality.

As a reminder, we welcome the help of any interested Commissioners who would like to be involved in the launch planning or testing the tour functionality of the prototype this fall and winter. Please send Society board member, Karen Dunn Lopez and email if you are interested at kdunnlopz@gmail.com.