



MEETING AGENDA

PLAN COMMISSION
Wednesday, July 12, 2023
7:30 p.m.

MEMORIAL HALL – MEMORIAL BUILDING
19 East Chicago Avenue, Hinsdale, Illinois 60521
(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT (Non-Agenda Items)

4. APPROVAL OF MINUTES

- a) Special Meeting – May 22, 2023
- b) Regular Meeting – June 14, 2023

5. FINDINGS AND RECOMMENDATIONS

- a) Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to Allow for Changes to the Existing Building Elevation, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O-3 General Office District

6. PUBLIC MEETINGS

- a) Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District

7. SIGN PERMIT REVIEW

- a) Case A-25-2023 – Sign Permit Review – 14 Grant Square, Suite B – Jocelyn D Jewelry – Installation of One (1) Wall Sign

8. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA

Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
PLAN COMMISSION
MINUTES OF THE MEETING
Monday, May 22, 2023**

The special meeting of the Village of Hinsdale Plan Commission was called to order by Chairman Cashman, in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, May 22, 2023 at 7:41 p.m., roll call was taken.

PRESENT: Commissioners Laurel Haarlow, Cynthia Curry, Jim Krillenberger, Gerald Jablonski, Julie Crnovich, Mark Willobee, Anna Fiascone, Scott Moore, and Chairman Steven Cashman

ABSENT: None

ALSO PRESENT: Bethany Salmon, Village Planner; Kathleen Gargano, Village Manager; Andrianna Peterson, Assistant Village Manager; and Trustee Michelle Fisher, Committee Liaison

Public Comment on Non-Agenda Items

Chairman Cashman asked for public comments. There were no public comments pertaining to non-agenda items.

Public Meetings

a) Case A-18-2023 – 19 E. Chicago Avenue – Exterior Appearance and Site Plan Review to allow for the construction of a new patio on the south side of the Memorial Building in the IB Institutional Buildings District

Mike Wood, of Hitchcock Design, was present to address the Commission. Mr. Wood provided a brief overview and photos of the current patio. Mr. Wood stated that the proposed project was the preferred plan of the Village working group. It was noted that not all details, such as exact landscape, have been determined. The proposed patio would be a gathering space, containing a band of reclaimed brick pavers and a 150th seal. The east and west side would have separated garden spaces containing more intimate seating. The patio would have symmetrical entrances from the east and west with generous spacing for pedestrian traffic. The seasonal planting bed would be kept but shift to the south. Dense evergreens to the west would screen the utilities, an evergreen hedge would be planted to create an enclosure for the patio, and a more secure guardrail by the library window. Rose bushes resembling the American Beauty Rose would be planted to acknowledge their dedication to the Village. Brick seat walls with limestone caps would be installed for seating and to extend the architecture of the building.

Two shade trees would be planted and the concept illustrations of the landscape and photos potential materials were shared. It was noted that the HPC preferred natural materials for the patio, the advantages and disadvantages of various options were discussed. Mr. Wood suggests installing thermal blue stone pavers in a large format installed on a concrete underlayment to help keep them secure over time. Mr. Wood shared some examples of a man made paver that are very durable, cost effective and mimic the desired natural blue stone. Maintenance concerns of the natural pavers were shared such as the need to clear snow by hand from the pavers, the inability to use salt or drive maintenance equipment over the pavers.

Granite and precast concept images of the seal were shared, it was noted the granite would be a cleaner, durable seal but is the more expensive material. An example of the four (4) foot guardrail fence with gate for maintenance to be used by the library window was shared as well as options for barriers to the garden beds and the Village standard benches and trash receptacles. Options of tables and chairs were shared in classic black of durable materials.

The preliminary planting list containing choices that would survive well were shared. The beds would be designed to contain an irrigation system based on available funding. Various options of the trees discussed were shared as well as options for the planting urns.

Commissioner Haarlow deferred from being the first to comment since she was part of the planning committee.

Commissioner Curry asked about the seating capacity of the patio tables considering the area will be used for various events. Mr. Wood estimated seating for twenty four (24) to thirty (30) people would be accommodated. If the tables were removed, the area could accommodate fifty (50) to one hundred (100). Although the garden is beautifully designed, Commissioner Curry stated that it does hide the view of the main stairs a bit. It was confirmed the garden areas would contain seat walls in a more intimate space than the main patio and the garden barriers would be around the outer edges. It was also confirmed that the area would contain ample electric sources to be used daily and for special events. Commissioner Curry confirmed that either the natural or manmade pavers utilized would be set in concrete and sand to prevent shifting. Commissioner Krillenberger asked if the grading of the great lawn would need to be changed as a result of the enlarged patio. Mr. Wood said that it would need to change the grade but the pitch would be feathered out. No formal grading plan has been developed at this time but the patio would be pitched at 1% to allow for run off.

Trustee Fisher stated the patio is increasing about 800 square feet, 400 to each side, making the patio wider on the sides but not deeper to preserve the great lawn as much as possible. Thermal blue stone pavers are the preferred material and the amounts of reclaimed pavers are being inventoried to determine if an ample amount is available. Trustee Fisher stated that the lighting would be consistent and not be the shade of orange of the current lighting, some of which would be installed at a later date. Plantings would not be installed until the spring after the installation of the patio in the fall and would be complimentary to the surroundings. The trees planted would provide shade but not be too large that they overpower the building. The garden plan will incorporate as many of the recent Village plantings in a new location as possible. It was confirmed that evergreens would provide screening for the mechanicals and plantings would have some color year round. Trustee Fisher stated that a commemorative wall or donor plaques would be used to acknowledge contributors, not donor bricks. Staff is working with the library to ensure that the furniture is consistent with the Outdoor Dining and Village standards.

Commissioner Jablonski prefers that the tables do not have the umbrellas discussed as an option because they would significantly block the grand view. Commissioner Jablonski would like to see the curved angles of the garden be shaped to rectangular to better keep with the colonial style of the building. The curved lines look out of place. It was suggested to upgrade the electrical to allow for larger equipment to be utilized and minimize future issues. Commissioner Jablonski is excited about the project and believes it will restore the space.

Commissioner Crnovich stated she is pleased the proposed set of stairs to Chicago Avenue is no longer part of the plan, the open area of the great lawn is more charming. It was suggested that the seasonal garden bed be eliminated and the area left as green space and the idea of installing a pumping station to keep the irrigation cost down. Mr. Wood stated that the installation of coupling systems was discussed to allow public services to hand water. Commissioner Jablonski suggested looking at a rain water collection system.

Commissioner Crnovich stated that she was glad the electrical and lighting were addressed and feels updating the space is a great tribute and will continue to be enjoyed by individuals as well as large groups.

Commissioner Willobee asked what the rose bed would look like in the winter months at the main entry ways. Mr. Wood stated that all the plantings are not finalized yet but that the areas surrounding the area will have winter interest. Commissioner Willobee shared the idea that the table umbrellas should not be part of the plan because it will block the view of the great lawn and that careful consideration should be given to the shade trees planted and how they may block the building in future years. When asked about any potential ADA issues with the reclaimed pavers, Mr. Wood stated that the unchipped bricks would be chosen to be ADA compliant and not a trip hazard. If not enough of the reclaimed pavers were available, a historic "looking" brick would be substituted. It was requested that the optional fencing be used only where necessary to prevent the space from being chopped up too much.

Commissioner Fiascone stated the landscaping plan looked great and understood the concerns about the umbrellas blocking the view but reminded the group that the space was in full sun all day long. Commissioner Fiascone likes the symmetry of the plan but is concerned the display bed may look out of scale. She likes the fact the lighting will be addressed and supports the natural blue stone pavers. The stamped concrete only held up about 15 years and when the stone pavers deteriorate, they can be replaced one by one. It was noted that the railings are not depicted in the renderings but there will be railings installed. Commissioner Fiascone suggested a process be considered to reserve the space for small events because it will be so desirable.

Commissioner Moore requested that target audiences be made aware of the availability of the space for various uses, possibly for rent, if people are made aware of it. It was suggested that the emblem be re-located to the base of the stairs to increase its visibility and the walls near the urns would be a logical place for the acknowledgement plaques. Commissioner Moore stated that he liked the lighting changes, especially the symmetrical placement of the posts, and liked the suggestion to up-grade the electric to allow for larger needs.

With as welcoming as the new patio will be, Commissioner Moore asked that money be kept in the budget to clean up and repair the Memorial Hall foyer which currently is in bad shape and looks very beat up. It was stated that the roof rail installation will help to restore the building and the stairs and wing walls need to be power washed. He posed the question about who will be responsible for maintaining the garden space.

In response to Commissioner Moore's question about the cement base of patio being connected to a drain to prevent water pooling, Mr. Wood responded that PVC weeps would be part of the design and drainage will continue to be considered as the final details of the plan are designed.

Chairman Cashman asked if the scope of this project includes repair or replacement of the broken stairs. It was confirmed that it did not include the stairs. Ms. Fisher stated that it would be a gradual process to address the maintenance concerns of the building and perhaps discussions continue about using public donations, as was the case to construct the original building, to bring the building back.

Chairman Cashman emphasized the importance of constructing the seat walls in a way that prevents them from being used by skateboarders to prevent damage. He stated it was important to replace the window railings with something more attractive, code compliant and safer and eventually others around the building be replaced in the future. Chairman Cashman prefers that the blue stone be used for the patio, due to be completed in November. He stated that he liked the idea of using rain from the large roof area for irrigation purposes so long as the system is properly maintained and selecting shade trees that would not block the building. Chairman Cashman stated he preferred using the umbrellas only at the side patio areas, leaving the center tables open to the sun and utilizing rectangular planting beds to be more in line with the colonial building.

Chairman Cashman felt the seasonal planting bed could be removed in light of all of the other newly installed landscaping, agreed the seal should be moved backward toward the stairs to increase visibility and stated that re-locating the street lights to make them symmetrical was desirable.

In response to Commissioner Curry's inquiry about budget amount, Ms. Gargano stated that the project is being funded through Capital Improvement funds and no specific dollar amount has been attached to it at this point. Now that feedback about the project elements has been heard, Hitchcock will refine the plan and determine a cost. Ms. Gargano explained the project may need to be completed in phases with the plan to have the patio completed for the 150th with landscaping following at a later date if need be.

Commissioner Fiascone stated that was very important that the railing be replaced as soon as possible due to the safety factors.

Commissioner Haarlow stated that she liked the plan and is not opposed to the curved corners of the linear planting beds because they integrate well with the paths. She stated that care should be taken to include a diversity of species of hardy evergreens in case one of the species dies out in future years and to keep the winter appearance. Commissioner Haarlow stated that off-season renderings would be helpful since there are more months out of bloom than in bloom. Ground cover was offered as a suggestion to enhance the winter appearance.

Commissioner Haarlow acknowledged that shade umbrellas would improve the comfort of users in the summer months but is concerned about the view being blocked from the bottom of the hill. A rendering depicting the view up the hill from Chicago Avenue with the umbrellas would be very useful. Commissioner Haarlow felt that the use of blue stone would greatly enhance the integrity of the building, even if the cost requires phasing in of other project components over time.

Commissioner Curry suggested flipping the plan so the umbrella table seating would be located on the sides of the patio and maintain the view from Chicago Avenue based on the input from tonight's meeting.

A motion was made by Commissioner Willobee, seconded by Commissioner Crnovich, to approve Case A-18-2023 – 19 E. Chicago Avenue – Exterior Appearance and Site Plan Review to allow for the construction of a new patio on the south side of the Memorial Building in the IB Institutional Buildings District with the Plan Commission input incorporated. The motion carried by the roll call vote of 9-0 as follows:

AYES:	Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Fiascone, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	None

Findings and Recommendations

a) Case A-18-2023 – 19 E. Chicago Avenue – Exterior Appearance and Site Plan Review to allow for the construction of a new patio on the south side of the Memorial Building in the IB Institutional Buildings District

Hearing no comments, a motion was made by Commissioner Krillenberger, seconded by Commissioner Jablonski, to approve Case A-18-2023 – 19 E. Chicago Avenue – Exterior Appearance and Site Plan Review to allow for the construction of a new patio on the south side of the Memorial Building in the IB Institutional Buildings District subject to staff revisions.

The motion carried by the roll call vote of 9-0 as follows:

AYES: Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee,
Fiascone, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: None

Adjournment

A motion was made to adjourn the specially scheduled meeting of the Village of Hinsdale Plan Commission of the May 22, 2023. The meeting was adjourned at 8:37 PM after a unanimous voice vote of 9-0.

ATTEST: _____
Jennifer Spires, Community Development Office

**VILLAGE OF HINSDALE
PLAN COMMISSION
MINUTES OF THE MEETING
Wednesday, June 14, 2023**

The regularly scheduled meeting of the Village of Hinsdale Plan Commission was called to order by Chairman Cashman, in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, June 14, 2023 at 7:32 p.m., roll call was taken.

PRESENT: Commissioners Cynthia Curry, Jim Krillenberger, Julie Crnovich, Mark Willobee, Scott Moore, and Chairman Steven Cashman

ABSENT: Commissioners Laurel Haarlow, Gerald Jablonski, and Anna Fiascone

ALSO PRESENT: Bethany Salmon, Village Planner, Robert McGinnis, Director of Community and Development, Natalie Crown, Planning Intern

Public Comment on Non-Agenda Items

Chairman Cashman asked for public comments. There were no public comments pertaining to non-agenda items.

Approval of Minutes – May 10, 2023

Hearing no comments, a motion was made by Commissioner Willobee, seconded by Commissioner Curry, to approve the May 10, 2023 draft minutes as submitted. The motion carried by the roll call vote of 6-0 as follows:

AYES: Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Haarlow, Jablonski, and Fiascone

Findings and Recommendations

- a) **Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate across Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District**

Hearing no comments, a motion was made by Commissioner Krillenberger, seconded by Commissioner Moore, to approve Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate across Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District. The motion carried by the roll call vote of 6-0 as follows:

AYES: Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioners Haarlow, Jablonski, and Fiascone

Public Meetings

- a) **Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to Allow for Changes to the Existing Building Elevations, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O-3 General Office District**

David Dastur, architect from Jensen & Halstead, was present to describe the changes to the application since the Plan Commission meeting in March 2023. The material of the trash enclosure was changed from cedar to a composite material to match the transformer screening as requested and the front stoop has been made smaller allowing for more green space at the front entry.

Some design elements were taken from canopies on other buildings in Office Park and incorporated into the proposed plans. Different outdoor light fixtures and entry doors were selected and the window trim was modified slightly. The canopy for the entry door is similar to the building at 901 Elm, but will be white to match the trim and a smaller version with posts was chosen for one entrance.

Commissioner Curry felt the changes made were still more modern than the surrounding area.

Commissioner Krillenberger stated he liked the consistent look of the changes, that the proposed changes look great, as does the landscaping.

Commissioner Crnovich stated the changes were a much better fit with the proposed windows that the applicant had already purchased.

Commissioner Willobee asked about the acrylic canopy. Mr. Dastur stated it would probably have a slight tint to, they have used this product in other projects in the past, and requires little maintenance. Commissioner Willobee stated that he liked the landscaping and the slightly modern features.

Commissioner Moore asked about plans to clean the building where the previous portico was. Mr. Dastur stated the exact clean up method will be decided upon once the original porticos are removed. He believed a power wash or acid wash will be used and the newly exposed area should age and blend in fairly quickly. It was also stated the windows will not open.

Chairman Cashman stated the changes made will refresh the look of the building and blend in well with some other buildings in the area. Appreciation for the time and expense to make the changes was expressed by Commissioners.

A motion was made by Commissioner Curry, seconded by Commissioner Willobee, to approve Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to Allow for Changes to the Existing Building Elevation, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O-3 General Office District. The motion carried by a roll call vote of 6-0 as follows:

AYES:	Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioners Haarlow, Jablonski, and Fiascone

b) Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District

Peter Coules, the attorney representing Salt Creek Club, stated the existing courts were unanimously approved in 2008 and the only new impervious space being proposed under this project is a patio that measures fifteen (15) by seventy-five (75) feet in size.

The paddle tennis court installation in this application will be installed directly over existing courts, resulting in no additional impervious space from the court alteration.

Mr. Coules stated the courts are located approximately six-hundred (600) feet away from the house to the south. The existing sport courts where the new paddle tennis courts are located is not well utilized. The area is already lit up at night, and the court modification will not result in an increase in number of members.

Commissioner Moore stated that he understands the proposal is utilizing the existing footprint and did not have any questions.

Commissioner Willobee asked what the current sport court is currently used for. Mr. Coules stated its current use is for kickball and basketball. It was stated that the lights turn off automatically at 10:30 p.m. and that there have been no noise violations to date for the court related activities.

Commissioner Crnovich asked for more detail about the shields on the lights. Mr. Coules responded all of the court lights will be fully shielded and will be 0.1 foot candles. The lights are controlled by a timer that is contained in a locked room that only staff has access to.

Commissioner Krillenberger asked what the purpose of the paver patio will be. Mr. Coules confirmed that it will not be used for activities, but rather a waiting area for the paddle courts and a space with seating and for belongings.

Commissioner Curry asked if the patio would contain a fire feature. Mr. Coules confirmed the fire feature would be used to keep members warm during the winter months. It was confirmed that the proposal does not contain any changes for the existing lights in the other areas. Mr. Coules stated that there was one neighbor complaint.

Chairman Cashman asked Mr. McGinnis to respond to some of the items of concern from a letter written by the resident of 915 N. Madison, Jeffrey Allen. The letter did not have concerns about the paddle court proposal but rather concerns involving other Club activities and areas. Mr. McGinnis responded the letter was received late in the day today, contained a lot of information, and staff has not had sufficient time to look into the concerns and make a site visit. It was noted that the Village Manager responded to Mr. Allen's email and Mr. McGinnis spoke with Mr. Allen late in the afternoon that day.

Chairman Cashman invited any members of the audience wishing to speak on this topic to step up to the podium and state their name.

Maria Shakir, resident of 543 Bonnie Brae Road, stated she was at a Commission meeting in 2008 related to the courts regarding noise and light disruptions. Ms. Shakir stated the police have been contacted in the past. Looking over the criteria of the application, she stated she had concerns with the height of the lights, the increased number of disruptions since 2001 as membership grew, and noise generated by the equipment in a game of paddle and pickle ball. Ms. Shakir stated that vehicles of club patrons have parked on the sidewalk preventing the safe use of public sidewalks.

Ms. Shakir shared photos showing the lights on outside of the proposed hours and that she has more examples of this. She stated the amount of noise has increased over time, members come and go as they please at all hours.

Ms. Shakir went to various Village parks with courts and all were quiet and peaceful at 9:30 pm. Other nearby clubs contacted ceased play at 9:00 or 9:30 pm. Ms. Shakir stated that she was told to go into the Police Department to file a complaint personally and go before a judge for every violation, a process that did not make sense for impacted residents. The noise and the lights have impacted the family's health negatively.

Kal Shakir, resident of 543 Bonnie Brae Road, stated he met with Club representatives before COVID. Mr. Shakir stated the Club currently has sixteen (16') foot tall lights and want twenty-four (24') feet for the new courts for matches to be scheduled, which would result in more people using the facilities than currently. Mr. Shakir stated that the Club never closes and the doors remain open to members at all times. Mr. Shakir offered to share a video of landscape crews beginning work at 7:00 am. The noise, which sometimes goes to 12 a.m. or 1 a.m., was described as unbearable. Mr. Shakir stated he calls the police to report the noise issues. It was stated that operational hours have changed drastically since the club opened, drainage is directed toward the neighboring properties, and sewage and the lack of a pond is problematic.

Mr. Shakir stated the club has 350 members and only 70 parking spots, and no employee parking. The large amount of street parking is a problem. He asked why the Village allows them to operate until 10:30 pm. and where the sound proof fence was in the plan that other pickle ball court locations require. The taller lights proposed in the plan would shine directly into Mr. Shakir's bedroom. Mr. Shakir stated that he was concerned with who was going to be responsible for the fire pit and the amount of grass that will be covered with the patio area and the destination of the water run-off. The audio of the meeting was disrupted for a period of time.

Discussion followed about neighborhood resident letters to inform the public about parking volume increases due to upcoming events, suggested hours of operation for the club, prior projects meeting stormwater codes, height of the light poles, the timer operating the lights, and lack of documentation resulting in police complaints.

Commissioner Krillenberger asked if the application can be paused until the legitimate, but unrelated, concerns are properly addressed. Chairman Cashman stated the Commission can recommend approval with conditions or the applicant can make suggested revisions to the application and return to a future meeting for a vote.

The applicant responded with inaudible comments.

Chairman Cashman re-stated the items of concern which included 1) Shields on existing lights, 2) timers instead of manual switches on the courts to prevent early starts or after hour play, and 3) the Club working with neighboring properties for large events.

Commissioner Willobee asked if there were any restrictions on the operations from the application in 2008. Staff replied that no restrictions could be identified. It was stated that the landscape and concerns and closing the gate, and sound proofing could not be addressed by this Commission. Those concerns fall outside of the areas able to be addressed by the Plan Commission.

A motion was made by Commissioner Willobee, seconded by Commissioner Moore, to continue Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District to the July 12, 2023 Plan Commission Meeting. The motion carried by a roll call vote of 6-0 as follows:

AYES: Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioners Haarlow, Jablonski, and Fiascone

Sign Permit Review

a) Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles

Kerry Leonard, representative for District 181, and Mike Dugan, Facilities Manager of District 181, were present to address the Commission. Mr. Leonard stated that the concerns from the last meeting were taken to the District architect as well as the architect of the Middle School. Mr. Leonard very briefly summarized the changes that were made to the proposal based on Commission comments. The wall sign of concern will be re-located and lowered to make it code compliant, the blue ribbon emblem will be lowered and lighting reduced and ensure timers are properly functioning, lighting and noise of flagpole and internal lighting within the building. It was stated that the District is checking with the manufacturer of the flag pole for further sound dampening devices that can be purchased and installed specifically for that specific flag pole model. Mr. Leonard stated that any device available will be purchased and installed on the existing and proposed flag poles. Mr. Dugan has been in contact with vendors and contractors to modify the internal lighting system to reduce the amount of time the indoor lights are on. Renderings of the modifications were shared with the Commission.

Commissioner Curry asked if the flag could be lowered at dusk, perhaps by the boy scouts, to reduce the time the pole is making noise until a permanent solution is installed. She stated she is not fond of the second flag pole proposed location, it would be a lot of stuff too close to the street. Commissioner Curry suggested the location of the second pole be placed in a location to balance the first pole and the Illinois State flag or perhaps a Middle School flag be flown. Mr. Leonard replied that the location of the second pole is code compliant and was part of an original agreement with the Village. Mr. Leonard added that the flag poles and signage work together in school buildings to identify the main door.

Discussion followed about possible ways to make the north side of the building to look more like a main entrance.

Commissioner Curry asked if it was necessary to relocate sign five (5) to above the gymnasium, it seemed to be a lot of signage. Mr. Leonard responded that the letters would be a re-use of the existing letters and would assist directing unfamiliar drivers up to the parking deck to enter the building at the main door where visitors check in. By breaking up the ground sign, the wall sign, and the flagpole it adds to the confusion of the site. Commissioner Moore asked about locating the sign on the west side of the building.

Commissioner Krillenberger stated that he was in support of the project.

Commissioner Crnovich stated that during the time the school plans were being designed, school districts had a different set of standards than local ordinances and that was a confusing, transitional time. It was stated that the school district does need to comply with sign illumination between the hours of 10:00 pm and 7:00 am. Commissioner Crnovich stated that the signs were not part of the original plans and appreciates the district efforts to bring them into compliance and working with neighbors on the noise generated by the flagpole(s) that can be heard a block away. Commissioner Crnovich also suggested taking the flag down at dusk for the time being. She stated she is hopeful a solution can be determined for the wasteful and stark appearance of the internal lighting inside the building.

Commissioners Willobee and Moore echoed the comments made by Commissioners Curry and Crnovich.

Chairman Cashman is ok with the changes and acknowledged the importance of signage for the many visitors to this unique physical location.

Jim Oles, resident across the street from HMS, commented he did not see any shields on the plans for the monument sign. Mr. Leonard stated that the monument sign is lit from the bottom up and typically shields are utilized to reduce the amount of far reaching lighting on wall signs illuminated from above. Mr. Oles disagreed and suggested the shielding utilized on the Union Church monument sign as an excellent example.

A motion was made by Commissioner Krillenberger, seconded by Commissioner Curry, to approve Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles with the provisions that:

- 1) The flag be lowered at dusk until a noise reducing device is installed
- 2) Shields for the ground sign be investigated.

The motion carried by a roll call vote of 6-0 as follows:

AYES:	Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioners Haarlow, Jablonski, and Fiascone

Discussion followed about the recommendations passed along for the patio on the great lawn to the Village Board, the development of the plan, and the process possibly followed for approval.

Adjournment

Chairman Cashman asked for a motion to adjourn. A motion was made by Commissioner Krillenberger, seconded by Commissioner Moore, to adjourn the regularly scheduled meeting of the Village of Hinsdale Plan Commission of the June 14, 2023.

The meeting was adjourned at 9:18 PM after a unanimous voice vote of 6-0.

ATTEST: _____
Jennifer Spires, Community Development Office

**FINDINGS OF FACT AND RECOMMENDATION
OF THE HINSDALE PLAN COMMISSION
TO THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES**

APPLICATION: Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to allow for changes to the existing Building Elevations, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O-3 General Office District

PROPERTY: 11 Salt Creek Lane (PIN: 06-36-405-022)

APPLICANT: David Dastur, Jensen & Halstead, LTD.

REQUEST: Exterior Appearance and Site Plan Review

PLAN COMMISSION (PC) REVIEW: March 8, 2023 / June 14, 2023

BOARD OF TRUSTEES 1ST READING: July 11, 2023

SUMMARY OF REQUEST: The Village of Hinsdale received an application from David Dastur, Jensen & Halstead, LTD, requesting approval of an Exterior Appearance and Site Plan to allow for changes to the site plan, landscaping, and exterior façade of the existing three-story building located at 11 Salt Creek Lane in the O-3 General Office District.

The property is located in the Hinsdale Office Park. The building is used as a multi-tenant medical office building and is accessible from Salt Creek Lane, a private street. The property is surrounded by a mix of office buildings in the O-3 District, most of which are used for medical offices. There are no properties in a Single-Family Residential District located within 250 feet of the site. The existing site is non-conforming with respect to several bulk requirements for the O-3 District, such as yards and setbacks.

Proposed changes to the site include the construction of a new drop-off and loading area near the main entrance on the east side of the building, alterations to the existing parking lot and sidewalks, modifications to site landscaping and screening around an existing transformer, and the replacement of the existing dumpster enclosure. The applicant is also proposing changes to the building elevations, including the replacement of all windows and doors, the removal of the existing entrance porticos and trim, installation of canopies over the entrances, and installation of new light fixtures.

PUBLIC MEETING SUMMARY AND FINDINGS: The application request for an Exterior Appearance and Site Plan Review was reviewed by the Plan Commission at public meetings held on March 8, 2023 and June 14, 2023,

Plan Commission Meeting – March 8, 2023: Members of the architectural, landscaping, and engineering design team were present at the meeting to address the Plan Commission. John McDonald, representing the project architect, provided an overview of the application.

Mr. McDonald stated that there is a need for a reconfigured, enlarged vehicle drop-off area and noted patients are making dangerous turns near pedestrians under the current configuration. Mr. McDonnell confirmed during the meeting that no new signage is proposed as part of this project.

The landscape architect, Michael Trippiedi, provided an overview of the landscape plan and stated he has been involved in landscape improvements in the Office Park campus since 2012 to make the area more welcoming for visitors, patients and staff. Mr. Trippiedi noted he met with the Village Forester to assess tree preservation where the primary goal was to preserve as many landmark trees as possible, but identify undesirable or declining trees for removal.

During the public meeting, several Commissioners stated they appreciated efforts to update the building and the extensive landscape improvements. There was a discussion that the applicant consider using the same brown composite fencing material for the dumpster that is proposed to screen the transformer near the main entrance on the east side of the building.

Chairman Cashman noted concerns over the changes to the building elevations, stating the proposed design used a mix of architectural styles that are not consistent and the changes would not be harmonious with the Colonial style of the building or several adjacent buildings in Office Park.

Specific concerns noted during the meeting were that the replacement windows used a horizontal mullion versus a vertical mullion and the door trim and door changes were not appropriate. The applicant stated that the windows have already been ordered as they were unaware of the approval process. The property owner stated that he believed the change to the mullions made the windows more attractive and did not feel this building needed to match those across the street or nearby. He also pointed out that the windows are not terribly different from those of the other buildings.

A Commissioner noted that that the relationship of the building to the neighborhood, materials, and adjacent structures is part of the approval criteria. It was added that this is a good opportunity to make a complete change toward a contemporary look with more extensive design elements, if that was the desire of the applicant. A more robust design could be a catalyst for the re-design of nearby buildings. Commissioners recommended that the applicant come back at the next meeting in April with a different design. It was recommended that if the applicant wished to make the building more modern or contemporary, then they should provide a revised design and look to unify architectural features on the building.

By a vote of six (6) ayes and zero (0) nays, with three (3) absent, the Plan Commission voted to continue the project to the April 12 meeting.

Plan Commission Meeting – June 14, 2023: Members of the architectural, landscaping, and engineering design team were present at the meeting to address the Plan Commission. David Dastur, representing the project architect, provided an overview of the application and the changes made to the plans based on the feedback provided at the March 8, 2023 Plan Commission meeting, including:

- West Elevation - The plans presented at the March 8, 2023 meeting proposed the removal of the existing railings / balustrades on top of the two-story portico. The applicant is now proposing to remove the existing portico and the concrete pad below. A modern one-story white steel canopy with an acrylic roof and supporting posts on each side of the entrance door will be constructed. A slightly smaller concrete pad will be installed below the canopy. The central pendant light underneath the portico is no longer proposed and instead wall mounted sconces will be installed on each side of the entrance door. The applicant is proposing the same trim, transom window, and doors shown on the March 8, 2023 plan submittal.
- East Elevation - The plans presented at the March 8, 2023 Plan Commission meeting proposed the removal of the existing railings / balustrades on top of the portico. Under the revised plan submittal, the existing portico over the entrance door will be removed. A new white steel canopy with an acrylic roof and tie-backs will be installed over the entrance door. A new concrete steel lintel and fiber cement trim will be installed around the entrance door and painted white. The applicant is still proposing to install the aluminum and glass sliding glass doors with a transom window above.
- North and South Elevations - New white steel canopies with an acrylic roof and tie-backs will be installed over the entrance doors. The plans presented at the March 8, 2023 Plan Commission meeting did not include canopies above the entrances. The applicant is proposing the same trim, transom window, and doors shown on the March 8, 2023 plan submittal.

- Dumpster Enclosure - The proposed dumpster enclosure will be constructed of a six (6) foot tall Trex composite fence in Woodland Brown instead of cedar to match the fencing used to screen the transformer on the east side of the building.

A Commissioner stated that the proposed building design felt too modern. There was a brief discussion on the direction given at the prior meeting to determine if the building would incorporate a more traditional design or a more modern design given that the proposed windows had a contemporary design and already been purchased.

Several Commissioners noted that the proposed landscaping would enhance the property and that they favored the more modern design, which would be consistent with the windows that the applicant already purchased.

A Commissioner asked about the acrylic canopy. Mr. Dastur confirmed that the acrylic canopy tops will be largely translucent with a slight tint. They have used this product on other buildings and it will not require a lot of maintenance.

A Commissioner asked if the building will be power washed or cleaned when the existing porticos are removed. Mr. Dastur stated they plan to work with the contractor to either power wash or acid wash the brick areas after the porticos are removed. Initially, there may be a slightly different color to the brick, but the brick should age fairly quickly to match the surrounding area.

Mr. Dastur also confirmed that the new windows are fixed and will not be operable.

Chairman Cashman stated that the more contemporary design will enhance the Office Park and will fit in with adjacent buildings, including the future McLaren dealership building and medical office building across the street. It was noted that the proposed changes will refresh the look of the building and the Commission appreciated the time the applicant took to revise the plans.

In recommending approval of the Exterior Appearance and Site Plan Review, the Plan Commission determined the standards set forth in Section 11-604(F) and Section 11-606(F) of the Village's Zoning Code have been met. The Commission expressed general support for the project. The proposed project will provide enhanced landscaping on site and incorporates screening for existing mechanical units and dumpsters (Section 11-604(F)(1)(h) and (i); Section 11-605(E)(1)(d)). The proposed changes to the building utilize a more modern design that will enhance the building's appearance and will be visually compatible with other adjacent buildings in Office Park (Section 11-605(E)(1)(c) and Section 11-605(E)(2)).

No members of the public provided comment at the meeting. Staff did not receive complaints or negative feedback from members of the public prior to the meeting.

A motion to approve the Exterior Appearance and Site Plan Review was made by Commissioner Curry and seconded by Commissioner Willobee, as submitted. The vote carried by a roll call vote as follows:

AYES: Commissioners Curry, Krillenberger, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Haarlow, Jablonski, and Fiascone

RECOMMENDATIONS: Based on the findings set forth above, the Village of Hinsdale Plan Commission, by a vote of six (6) ayes and zero (0) nays, with three (3) absent, recommended approval of Case A-9-2023 – 11 Salt Creek – MedProperties – An Exterior Appearance and Site Plan Review to allow for changes to the existing building elevations, landscape plan, and site plan at 11 Salt Creek Lane in the O-3 General Office District, as submitted.

Signed: _____

Steve Cashman, Chair
Plan Commission
Village of Hinsdale

Date: _____



**PLAN COMMISSION
MEMORANDUM**

DATE: July 7, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

SUBJECT: Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District

FOR: July 12, 2023 Plan Commission Meeting

GENERAL APPLICATION INFORMATION

Applicant: Salt Creek Club

Subject Property: 830 N. Madison Street (PIN: 09-02-207-001)

Site Area: 8.925 acres (388,792 square feet)

Existing Zoning & Land Use: OS Open Space District – Membership Sports and Recreation Club

Surrounding Zoning & Land Use:

North: R-2 Single-Family Residential District – Single-family detached homes

South: R-2 Single-Family Residential District – Single-family detached homes

East: R-2 Single-Family Residential District – (across Madison Street) Single-family detached homes

West: R-2 Single-Family Residential District – Membership Organization (IBLP) / Bronswood Tributary / Open Space / Floodway

APPLICATION SUMMARY

The applicant requests approval of an Exterior Appearance and Site Plan Review to allow for the construction of two (2) paddle tennis courts on top of existing sports and a patio for Salt Creek Club, an existing private membership sports and recreation club, located at 830 N. Madison Street in the OS Open Space District. Salt Creek Club currently has twelve (12) tennis courts, four (4) paddle tennis courts, five (5) sports courts, an outdoor pool, and two (2) clubhouses. No changes are proposed to the building elevations, parking, or signage as part of this project.

REQUEST AND ANALYSIS

The applicant is proposing to construct two (2) paddle tennis courts and a viewing patio, as detailed below:

Paddle Tennis Courts - The two (2) new paddle tennis courts will be located directly on top of existing sports courts, to the north of two (2) existing paddle tennis courts (Courts #3 and #4) and paddle court clubhouse. Each court will be constructed with eight (8) lights, 1" hex wire fencing, aluminum decking, and will measure 31'-2" wide and 61'-2" long.

MEMORANDUM

The courts will be supported by concrete piers and elevated four (4) feet above adjacent grade. Wood stairs and a walkway will be located to the south of each court to provide access to users.

The proposed paddle tennis courts will have a reduced occupancy capacity compared to the existing sports courts. Per the applicant, the existing sports courts have a capacity of sixteen (16) people. The two (2) new paddle tennis courts will allow for eight (8) people. No changes are required to the number of parking spaces currently provided on site.

The proposed courts will be substantially setback from adjacent single-family residential properties. The courts are located approximately 435 feet from the front (east) lot line off Madison Street, 195 feet from the north lot line, 397' 3-½" from the south lot line, and 131' ½" from the rear (west) lot line.

As shown on the submitted plans, the courts will have an overall height of 24 feet, measured from adjacent grade to the top of the light fixtures. The height from adjacent grade to the top of the fencing will be 16 feet. Per Section 7-210, in the OS Open Space District, accessory structures are allowed a maximum base height of 15 feet. An increase to height is allowed when structures are significantly setback from single-family residential zoning districts. The maximum height may be increased one (1) additional foot, up to a maximum of 20 additional feet, for every five (5) feet by which the structure is setback from the nearest single-family residential district after exceeding 20 feet. The nearest property in the R-2 Single Family Residential District is located to the west of the courts. The proposed courts will be setback 131' ½" from the rear (west) lot line, which would allow for a maximum height of 35 feet. The proposed overall height of 24 feet meets Zoning Code requirements.

The applicant has submitted a photometric plan and lighting details for review. Each paddle tennis court will include eight (8) lights with shields that extend eight (8) feet above the hex wire fencing. The lights will have a color temperature of 5000K, which according to the applicant is the industry standard for platform tennis lighting. Lighting will be placed on a timer system and will be set to shut off at 10:45 p.m., following the closure of the courts at 10:30 p.m. As proposed, the court lighting meets the requirements of Section 9-101(D)(9): "Any permitted accessory lighting fixtures shall be so designed, arranged, and operated as to prevent glare and direct rays of light from being cast onto any adjacent public or private property or street and so as not to produce excessive sky reflected glare. Except for streetlights, no exterior light in or adjacent to any residential district shall be so designed, arranged, or operated to produce an intensity of light exceeding one-half (1/2) foot-candle at any residential lot line." The photometric plan shows 0 or 0.1 footcandles at the lot line resulting from the new platform tennis courts.

Viewing Patio - A 1,485 square foot patio constructed of a gray Unilock Bristol Valley paver is proposed to the east of the existing paddle tennis courts (Courts #3 and #4). Existing arborvitaes will be removed to provide pedestrian access between the paddle tennis courts, clubhouse, and viewing patio. The existing evergreen trees planted along the east side of the paddle tennis courts will be relocated elsewhere on site to allow for people on the patio to view the courts. A section of existing chain link fence will be relocated several feet over to the east. A natural gas fire feature will be installed in the center of the patio.

Two (2) of the three (3) existing curved retaining walls will be removed. Two (2) new retaining walls constructed of a Granite gray colored Unilock Pisa 2 block walls will be installed on the east and west sides of the patio. The maximum height of the walls will be just under three (3) feet (35-1/2" at the tallest point). A three (3) foot tall fence black aluminum railing will be installed adjacent to the wall for safety purposes.

MEMORANDUM

Plan Revisions - The project was previously reviewed at the June 14, 2023 Plan Commission Meeting. Based on the resident feedback and comments provided by the Plan Commission at the June 14, 2023 meeting, the applicant has provided a revised cover letter that includes the following changes to the plans and additional information:

- Paddle Tennis Court Light Shields: In addition to installing shields on the lights for the two (2) new paddle tennis courts, Salt Creek Club will also install matching shields on all of the lights on the existing four (4) paddle tennis courts.
- Lighting Timer System: All of the paddle tennis courts lights will be connected to a timer system that allows for the lights to be powered and used between the 7:00 a.m. and 10:45 p.m. Additionally, a new 2-hour timer system will be installed on all existing and proposed light court switches to prevent the lights from remaining on when the courts are not in use.
- Hours of Operation: Salt Creek Club has provided the hours of operation for different areas of the Club, which vary depending on the season.
- Parking: To assist with parking concerns raised on Madison Street, Salt Creek Club will place temporary “No Parking on Sidewalk” signs during large events. Photos are included in the cover letter showing the signage used during a recent event. Salt Creek Club also investigated off-site parking on adjacent properties. IBLP does not allow access to their site. It was determined that Bronswood Cemetery was not a safe solution due to the distance people would need to walk to the Club along the street and the lack of a sidewalk along a portion of the route.
- Landscaping Maintenance: Salt Creek Club has confirmed that they will not use gas-powered landscaping maintenance equipment before 8:00 a.m. Per Section 9-12-2 of the Village Code, gasoline powered landscaping maintenance equipment, including, without limitation, leaf blowers, lawn mowers, chain saws, trimmers, edgers, and the like, may be used only between the hours of 8:00 a.m. and 8:00 p.m.

MEETING HISTORY

Plan Commission Meeting – June 14, 2023: Peter Coules, of Donatelli & Coules, the project attorney, provided over an overview of the application to the Plan Commission. Al Stradel and Robert Crane, representing Salt Creek Club, were also in attendance and answered questions from the Commission. Staff received an email from Jeffrey Allen, a resident at 915 N. Madison Street, several hours before the public meeting that stated opposition to Salt Creek Club and cited various property maintenance issues. Village staff stated they will investigate these complaints and address items after the meeting.

Two members of the public, Maria and Khaldoon Shakir that live at 543 Bonnie Brae Road to the south of Salt Creek Club, were present at the meeting and stated concerns over the Club operations and proposed project. Mr. and Ms. Shakir discussed issues with the existing and proposed paddle tennis court lights with regard to the height and visibility from their property, the current and proposed lighting timer system for the courts, noise complaints, lack of parking on site contributing to overflow parking on Madison Street and vehicles parking on the public sidewalk during events, the hours of operation, the Club leaving their gates open at night, and drainage and existing concerns. Mr. and Ms. Shakir showed past photos of the existing paddle tennis court lights from their property to the Commission and asked the height of the lights be lowered, a soundproof fence be installed, the Club close on Sunday, and that the Club only be open 9 a.m. to 9 p.m.

MEMORANDUM

The applicant confirmed that the photometric plan met Village code requirements, the height of the proposed paddle tennis light poles is the same as the height of the current light poles, the 200-watt LED lights on the existing paddle tennis courts are not currently shielded, only the new court lights will have shields installed, only Club staff can turn the lights on or off from a locked room in the clubhouse, and the existing lights are set to turn on at 6 a.m. and turn off at 10:45 p.m. The applicant also confirmed the Club currently has 350 members and that the addition of two (2) new paddle tennis courts would not result in more members. The Club also uses no parking signs on Madison Street during large events.

There was a discussion over the proposed patio. Mr. Coules stated that the patio is intended for people watching players in the paddle tennis courts or waiting to use the courts. The area was not intended for entertaining or parties, even though there will be a fire feature and will allow people to gather around.

There was further discussion over past efforts to meet with the neighbors, required notice provided for this project, hours of operation, noise from the club and landscaping equipment, police complaints, the lights and the timer system, and parking. Commissioners agreed that the Club should look into these neighbor concerns, meet with residents, and return to the Plan Commission. Commissioners noted they did not want to approve a plan that exacerbates current issues and that the Club should look into overall lighting on site as the submitted photometric plan only shows the proposed lights for the new courts.

Commissioners recommended that the applicant come back to the next meeting to provide additional time to provide light shields on the existing paddle tennis courts, look into a new lighting timer system with manual switches where the lights would turn off when the courts are not being used in addition to timed specified hours, investigate overflow parking options during large events, such as tennis events and swim meets, at the nearby IBLP property or the Bronswood Cemetery or other options to eliminate parking issues. By a vote of six (6) ayes and zero (0) nays, with three (3) absent, the Plan Commission voted to continue the project to the July 12, 2023 meeting.

REVIEW PROCESS

Pursuant to Section 11-604 and Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for an Exterior Appearance Review or Site Plan Review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in Subsection 11-103(H), recommending either approval or disapproval of the Exterior Appearance and Site Plan based on the standards set forth in Section 11-604 and Section 11-606.

Within 90 days following the receipt of the recommendation of the Plan Commission, or its failure to act as above provided, the Board of Trustees, by ordinance duly adopted, shall approve the site plan as submitted, or shall make modifications acceptable to the applicant and approve such modified site plan, or shall disapprove it either with or without a remand to the plan commission for further consideration. The failure of the board of trustees to act within ninety (90) days, or such further time to which the applicant may agree, shall be deemed to be a decision denying site plan approval.

The subject property is located within 250 feet from a single-family zoning district and therefore public meeting notices via the newspaper, certified mail, and signage are required for this project.

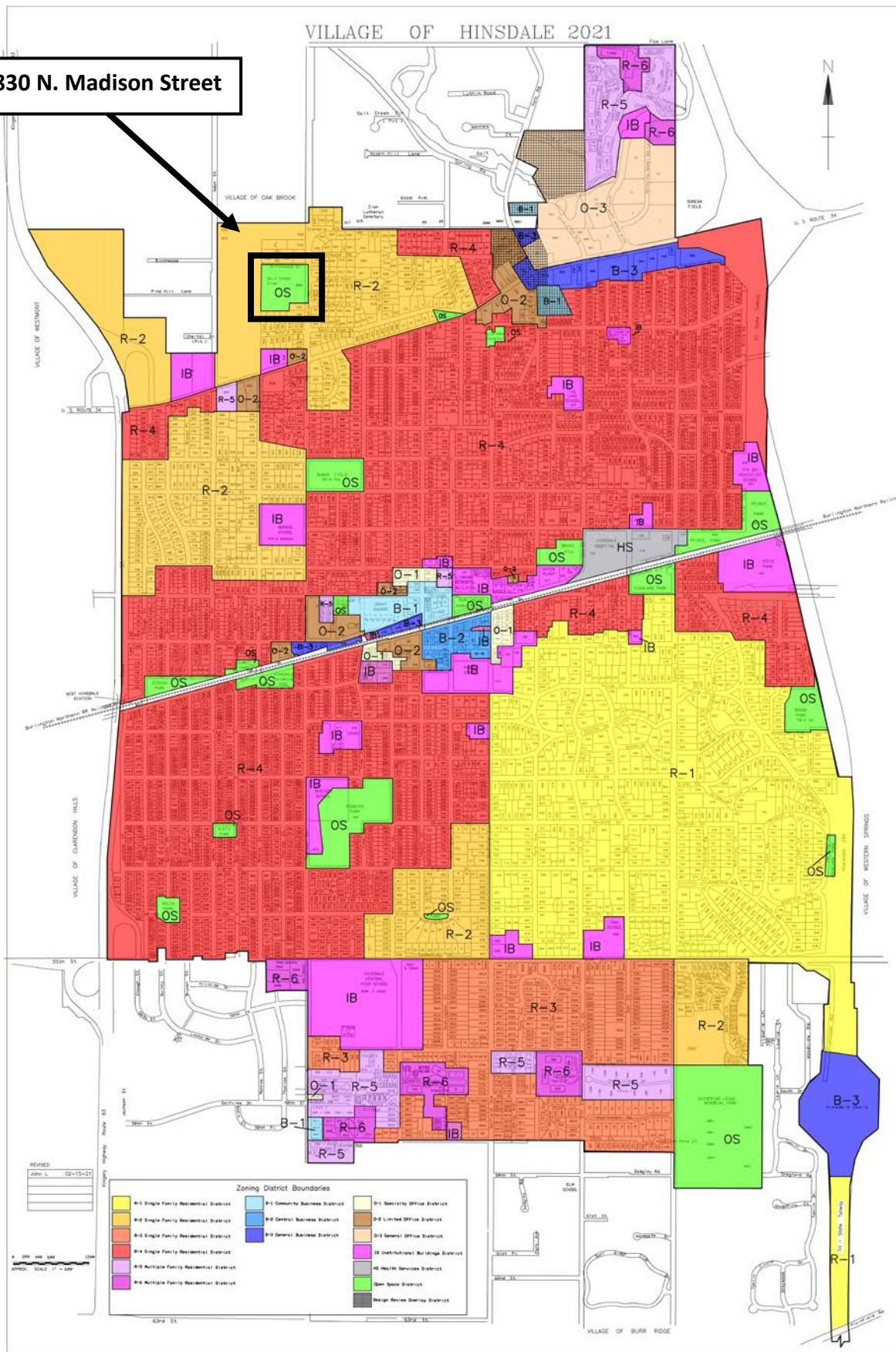


MEMORANDUM

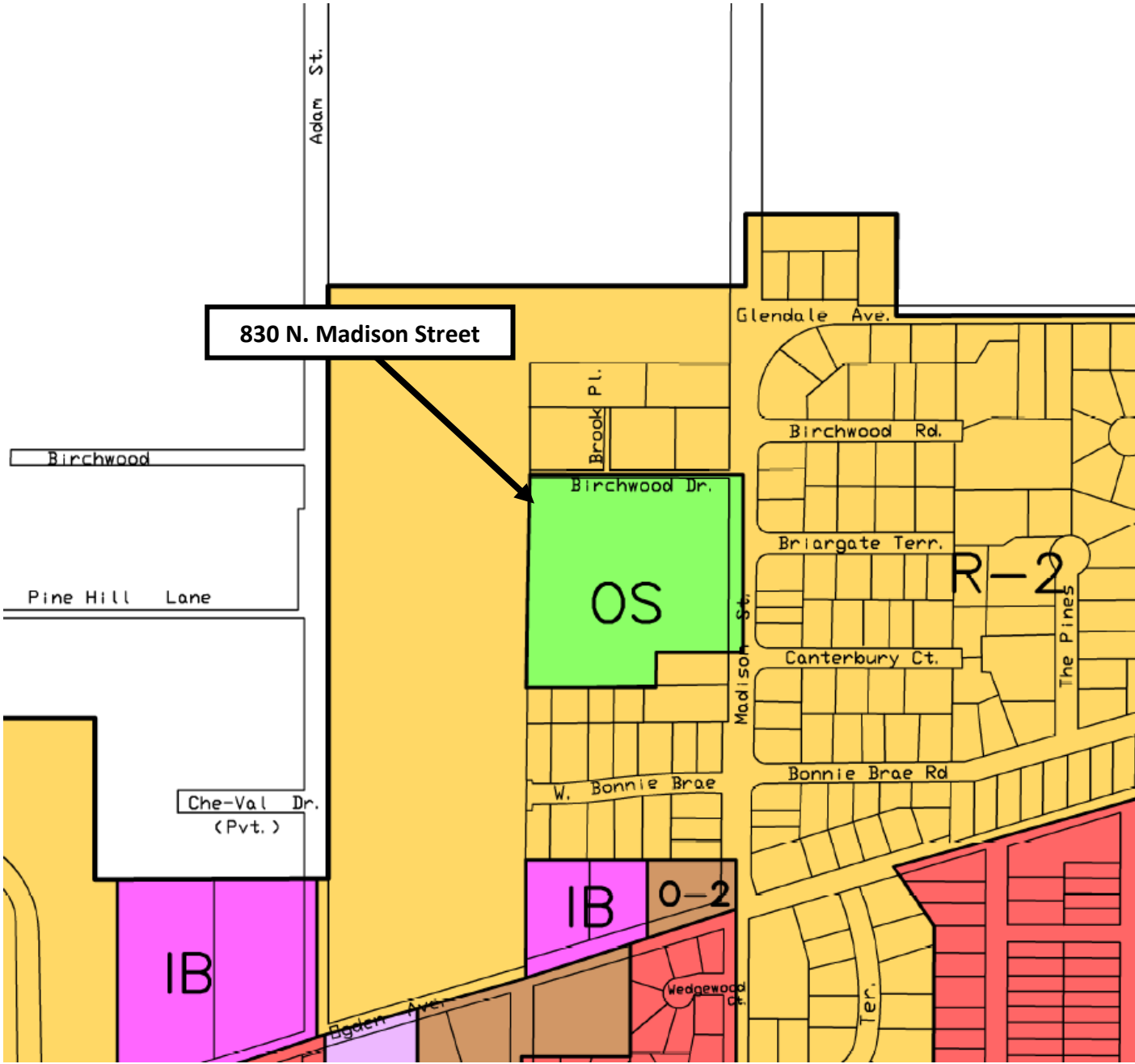
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birdseye View
4. Existing Site Conditions
5. Exterior Appearance & Site Plan Review Application and Exhibits / Revised Cover Letter Submitted for the July 12, 2023 Plan Commission Meeting

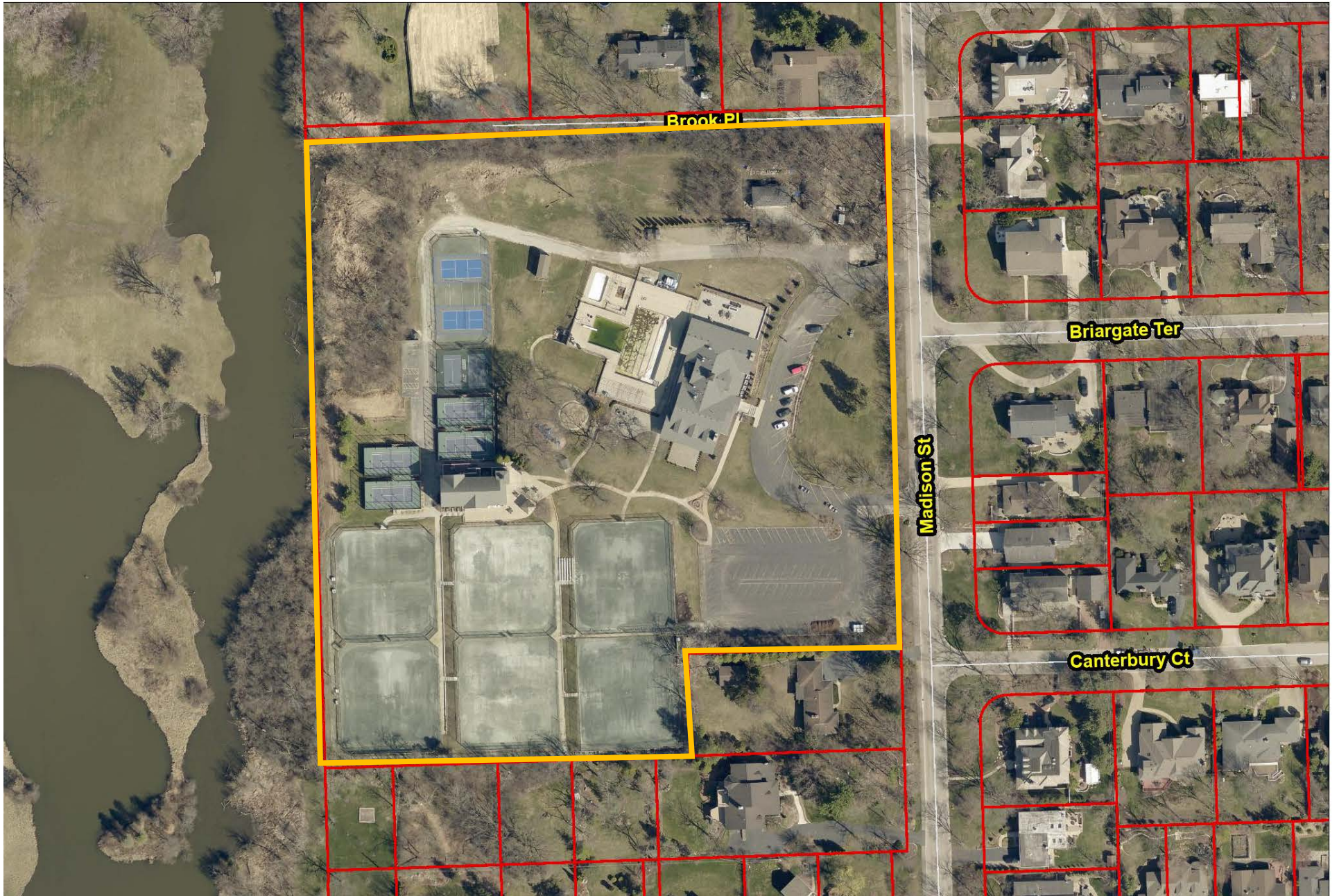
830 N. Madison Street



Village of Hinsdale Zoning Map and Project Location



Aerial View – 830 N. Madison Street



Birds Eye View – 830 N. Madison Street



Existing Site Conditions – 830. N Madison Street



View Looking North from the Paddle Court Clubhouse – Existing Paddle Tennis Courts #3 and #4 / Existing Sports Courts

Existing Site Conditions – 830. N Madison Street



View Looking West from the Paddle Court Clubhouse – Existing Paddle Tennis Courts #1 and #2

Existing Site Conditions – 830. N Madison Street



View Looking South from the Paddle Court Clubhouse – Existing Tennis Courts

Existing Site Conditions – 830. N Madison Street



Area South of the Existing Tennis Courts Adjacent to Single-Family Residential Homes

Existing Site Conditions – 830. N Madison Street



Existing Paddle Tennis Court Light Fixtures to be Shielded

March 6, 2023

Revised: June 21, 2023

Bethany Salmon
Village Planner
Village of Hinsdale
19 E Chicago Ave.
Hinsdale, IL 60521

Property: Salt Creek Club, 830 N Madison St., Hinsdale, IL 60521

Dear Mrs. Salmon,

Please find enclosed the applications and supporting materials for:

- A. Plan Commission General Application.
- B. Basic Exterior Appearance and Site Plan Review Application.

This is in connection with the installation of two (2) new paddle courts and a new paddle viewing paver patio. The following exhibits are also referred in the above applications:

- 1. EXHIBIT #1: LEGAL DESCRIPTION.
- 2. EXHIBIT #2: OWNER APPROVAL OF PROJECT VERIFICATION.
- 3. EXHIBIT #2: SURVEY SITE PLAN.
- 4. EXHIBIT #3: SITE PLAN W/ ZONING COMPLIANCE.
- 5. EXHIBIT #4: PADDLE COURT DRAWINGS, LIGHT SPECS, & PHOTOMETRIC PLAN.
- 6. EXHIBIT #5: NEW VIEWING PATIO PLAN, PAVER SPECS, HANDRAIL INFORMATION & RELATED LANDSCAPING PACKAGE
- 7. EXHIBIT #6: LETTERS TO NEIGHBORS & CORRESPONDENCE LOG.

Salt Creek Club is a private, family-oriented membership that includes tennis, paddle tennis, pickle ball, swimming and social activities that was established in 1958. Salt Creek Club is located on 9 acres that includes 12 clay tennis courts and 4 paddle courts that are often cited as the best outdoor courts in the Midwest. Salt Creek Club tennis and paddle pros are rated among the top in the Chicagoland area, offering high-level junior and adult lessons.

The paddle courts are used for both paddle leagues and for group and private lessons for both adults and juniors. Because of the demand for paddle within the membership of the club, the membership has approved the installation of 2 additional paddle courts. This will allow more club members to participate in playing paddle when paddle court space is limited to the existing four courts. The existing 4 permanent paddle courts allow for only 16 members to play at one time. With the additional 2 courts, an additional 8 players can participate in the sport.

- The two (2) new paddle courts will be placed adjacent too and north of the existing paddle courts #3 & #4 and paddle building. The courts #3 & #4 are located at an elevation below the existing paddle courts #1 & #2 (-1.5").
- The new paddle court lights will be downgraded from the existing paddle court light wattage of 200 watts to 150 watts. The new paddle court lights will also be fitted with light shrouds installed to limit any light spread.
- The paddle court lighting are on a club timer that automatically turns off all lights at 10:45pm. Club members are required to exit the courts no later than 10:30pm.
- The new paddle court viewing paver patio will allow any members to view the paddle activity at a location that will be shielded by the surrounding landscaping and existing paddle building to any neighbors.

Salt Creek Club requests the approval of the placement of 2 new paddle courts and paddle viewing paver patio. The addition of the new paddle courts and paver patio is in keeping with the current use of the club and will allow more current members to be able to participate. The membership or club traffic will not increase with the additional paddle courts.

We look forward to working with the Village of Hinsdale.

Revision to Cover Letter (06/21/2023):

The Salt Creek Club (SCC) agrees to provide and or perform the following items that were presented at the Plan Commission.

Paddle Lights:

- *The new paddle court LED lights will be connected to the existing paddle court cutoff power timer that will turn off the power at 10:45pm to the existing and new paddle court lights. No access will be allowed to this power discount in the paddle building, other than senior management. The earliest that the power will be turned back on is at 7am.*
- *Install new Intermatic 2-hour timer switches (see attached product information) at all the existing paddle court light switches and new paddle court light switches. These will automatically limit the "ON" time for the LED paddle court lights to 2-hour increments. These new switches will prevent the lights from automatically turning back on once the power is restored to the existing and new paddle court lights in the morning.*
- *SCC will place new light shrouds on the existing paddle court lights that will match the new paddle court light shrouds.*

Hours of Operation:

- *The hours of operation vary at the club. It depends on the time of the season.*
Pool: 6am to 8pm (Sunrise-Sunset)
Grill: 9am to 8pm
Office: 8am to 5pm
Tennis Courts: 7am to 8pm (Sunrise-Sunset)
Paddle Courts: 7am to 10:30pm
Club Outside Events: 9am to 10:30pm
Club Inside Events: 7pm to 12am (End time includes clean-up by staff)

Parking along Madison:

- *SCC will place “No Parking on Sidewalk” along Madison St to prevent cars from parking on the asphalt sidewalk during Club sponsored events. SCC hosts 2 home swimming meets each summer in which another swimming club attends SCC to swim against our club swimmers (8- to 18-year-olds). SCC also has 2-3 special tennis events during the season. All events are monitored for parking along Madison St by staff.*
- *See attached photos showing the placement of the “No Parking” signage during a SCC swim meet that occurred on June 19, 2023.*

Investigation of off-site parking for Club events:

- *IBLP locks their property gates and does not allow access.*
- *The parking lot at the Bronswood Cemetery Greenhouse would be able to accommodate approximately **9 cars**. This would then require them to walk over 500’ on the road before they would be able to access a sidewalk. This would cause an unsafe condition for the special events attendees held at SCC.*

Landscape maintenance:

- *SCC will notify staff that no gas-powered leaf blowers or lawnmowers will be allowed before 8am.*

Salt Creek Club will work with its neighbors and with the Village of Hinsdale to come to an agreement to the benefit of all.

Salt Creek Club Paddle Light Timer Switch at each Paddle Court: Intermatic FF2H 2-Hour Spring Loaded Wall Timer, Plastic with Brushed Metal.

Product Description:

Spring Wound Timer, Timing Range 2 Hours, Contact Form Spst, Power Rating @ 125 Vac 1 Hp, Power Rating @ 250 Vac 2 Hp, Load Capacity @ 125 Vac 20 (Inductive)/7 (Tungsten) Amps, Load Capacity @ 250 Vac 10 Amps, Load Capacity @ 277 Vac 10 Amps, Hold Feature No, 2 X 4 Inches Outlet Box, Mechanical

From the Manufacturer:

These energy saving timers use no electricity to operate. These timers are designed to replace any standard wall switch, single or multi-gang, and automatically limit the "ON" time of fans, lights, motors, heaters, and other energy consuming loads. Supplied with a molded white time dial plate designed to fit either toggle or decorator style switch plates; single or multi-gang with no field modifications required to fit either style switch plate. Time saving "up front" terminal connection with teeter type terminals and an easy "press-on" knob design ensure quick and easy installation. The FF Series Commercial Countdown Timers are designed to replace any standard wall switch and do not require electricity to operate. These energy-efficient switches automatically limit the ON times for fans, lighting, motors, heaters, and other energy consuming loads. A commercial "brushed metal" look plate (plastic construction) meets NEC requirements. *NOTE: Not for use with sunlamps, saunas, or loads that could cause personal injury if timed incorrectly.

Features:

- 2-Hour timer
- SPST (Single-Pole Single-Throw)
- Breaks circuit at end of timing cycle.
- No electricity is required to operate.
- Replaces any standard or decorator single-gang wall switch.
- Automatically limits ON time for energy consuming loads.
- Quick and easy installation
- Timesaving up front terminal connection with teeter-type terminals
- Brushed metal look switch plate meets NEC requirements (plate is included)
- Incandescent/fluorescent/CFL/LED compatible

Applications:

- Air Movement & Ventilation
- Indoor Lighting Control
- Motor Control
- ☐ Outdoor Lighting Control

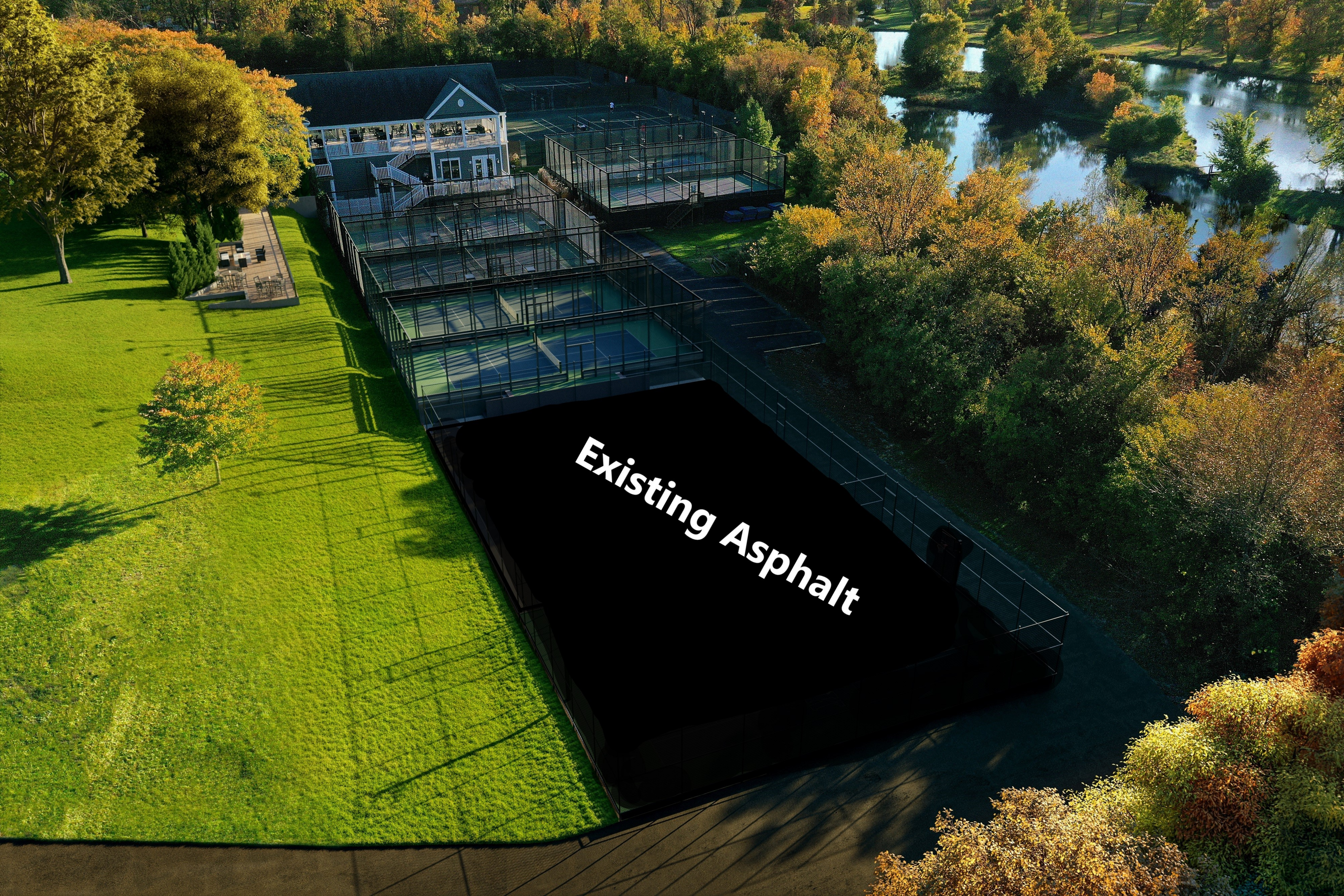


Salt Creek Swim Meet on 6/19/2023 @ 5pm to 9pm. With “No Parking on Sidewalk” along Madison St with temp signage looking south.



Salt Creek Swim Meet on 6/19/2023 @ 5pm to 9pm. With “No Parking on Sidewalk” along Madison St with temp signage looking north.





Existing Asphalt





VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Salt Creek Club
Address: 830 N Madison St
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323 / 7890
E-Mail: office@saltcreekclub.com

Owner

Name: Salt Creek Club
Address: 830 N Madison St
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323 / 7890
E-Mail: office@saltcreekclub.com

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Louis Shell
Title: PE, SE
Address: 106 W Calendar Ave #210
City/Zip: LaGrange, IL 60525
Phone/Fax: (708) 352-0359 /
E-Mail: lshell@louisshell.com

Name: RPTC LLC
Title: Platform Tennis Court Installer
Address: 300 Boston Post Rd
City/Zip: Orange, CT 06477
Phone/Fax: (203) 795-5696 /
E-Mail: kim@platformtennis.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) N/A
- 2)
- 3)

II. SITE INFORMATION

Address of subject property: 830 N Madison St

Property identification number (P.I.N. or tax number): 09 - 02 - 207 - 001

Brief description of proposed project: Addition of 2 new paddle courts with lights. One court to be placed on top of existing concrete sport court and the second court to be placed on top of existing asphalt tennis court. Also, the placement of new paver patio for viewing of existing paddle courts.

General description or characteristics of the site: Salt Creek Club is family swim, racquet and social club.

Existing zoning and land use: O-S

Surrounding zoning and existing land uses:

North: R-2

South: R-2

East: R-2

West: R-2

Proposed zoning and land use: To remain O-S

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E
Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 830 N Madison St

The following table is based on the OS Zoning District

	Minimum Code Requirements	Proposed/Existing Development
	Section 7-210	
Minimum Lot Area (s.f.)	40,000 sf	388,786.05 sf
Minimum Lot Depth	150'	626'
Minimum Lot Width	250'	551' (Front) & 659' (Rear)
Building Height	30'-0" (Max)	N/A
Number of Stories	N/A	N/A
Front Yard Setback	100'	400'
Corner Side Yard Setback	100'	N/A
Interior Side Yard Setback	50'	397' - 3 1/2" SOUTH / 196' - 4 1/8" NORTH
Rear Yard Setback	50'	131' - 01/2"
Maximum Floor Area Ratio (F.A.R.)*	77,757.21sf	15,142.50sf
Maximum Total Building Coverage*	N/A	N/A
Maximum Total Lot Coverage*	N/A	N/A
Parking Requirements	106	108
Parking front yard setback	N/A	N/A
Parking corner side yard setback	N/A	N/A
Parking interior side yard setback	N/A	N/A
Parking rear yard setback	N/A	N/A
Loading Requirements	N/A	N/A
Accessory Structure Information	15'-0" base / 35'-0" maximum	24' - 0" -- To top of light fixtures

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

NONE

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 20 day of January, 2023, I/We have read the above certification, understand it, and agree to abide by its conditions.

Steven J. Wolsfeld
Signature of applicant or authorized agent

STEVEN J WOLSFELD
Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 20 day of
January, 2023.

Drew B. Wenig
Notary Public
4



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: _____

Owner's name (if different): _____

Property address: _____

Property legal description: [attach to this form]

Present zoning classification: _____

Square footage of property: _____

Lot area per dwelling: _____

Lot dimensions: _____ x _____

Current use of property: _____

Proposed use: Single-family detached dwelling
Other: _____

Approval sought: Building Permit Variation
Special Use Permit Planned Development
Site Plan Exterior Appearance
Design Review
Other: _____

Brief description of request and proposal:

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front: _____
interior side(s) _____ / _____

397' 3 1/2" SOUTH / 196' 4 1/8" NORTH

Provided:**Required by Code:**

corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>131' - 01/2"</u>	<u>50'</u>
Setbacks (businesses and offices):		
front:	<u>400'</u>	<u>100'</u>
interior side(s)	<u>50' / 50'</u>	<u>50' / 50'</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>131' - 01/2"</u>	<u>50'</u>
others:	<u></u>	<u></u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>
Building heights:		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>24' - 0" -- To top of light fixtures</u>	<u>15'-0" base / 35'-0" maximum</u>
Maximum Elevations:		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>
Dwelling unit size(s):	<u>N/A</u>	<u>N/A</u>
Total building coverage:	<u>N/A</u>	<u>N/A</u>
Total lot coverage:	<u>N/A</u>	<u>N/A</u>
Floor area ratio:	<u>15,142.50</u>	<u>77,757.21</u>
Accessory building(s):	<u>N/A</u>	<u></u>
Spacing between buildings: [depict on attached plans]		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>
Number of off-street parking spaces required: <u>106 (REQUIRED), 108 (PROVIDED)</u>		
Number of loading spaces required: <u>N/A</u>		

**Statement of applicant:**

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Applicant's signature

STEVEN J WOLSFELD

Applicant's printed name

Dated: MARCH 6, 2023.



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 830 N. Madison, Hinsdale, IL 60521

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
Open space is designed to match and spotlight the uses of the club. Open space uses a modern aesthetic and integrates landscaping with strategic plantings in primary locations. Existing mature trees within the club site are intended to remain as they complement the overall club.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
The material selected for the paddle courts and new patio are in line with other paddle courts and patios at Salt Creek Club.
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.
The layout and design of the paddle court placement to the north of the existing 2+ story paddle building will have the least impact to the surrounding neighbors. We are using lower wattage paddle court lights and light shrouds to reduce the photometric light spread. The placement of the new paddle viewing patio will also be of high-quality patio pavers and be shielded from the neighbors by the paddle building.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
- The general design intent is to place the new paddle courts on top of existing concrete sport court and asphalt tennis court and not on any existing landscape areas. A few over grown existing arborvitaes (2) will be removed for pedestrian access to the new paver patio. The existing evergreens between the existing paddle courts and new paver patio will be relocated within the Salt Creek grounds. The site will continue to be serviced similarly to how it is now, and there will be and no negative impact on vehicular traffic patterns and conditions on-site and in its vicinity.**
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
- The new paddle court fence and light fixtures will be at 16' & 24'-0" respectively. These heights are in line with the existing paddle courts 3 & 4 which will be adjacent to the new paddle courts. The existing paddle courts 3 & 4 and the new paddle courts 5 & 6 will be 1'-6" lower than existing paddle courts 1 & 2.**
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
- The design of the new paddle courts is well balanced and will blend in with the existing paddle structures. The courts will not be visible to the surrounding streets or neighbors.**
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
- Not Applicable.**
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
- Not Applicable.**
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
- The paddle courts are scaled to fit with the permitted building area of the existing sport court and asphalt tennis court.**
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
- Answer: No change.**
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
- Will match the existing paddle court materials. New paver patio to match existing onsite paver patios.**

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Not Applicable.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Not Applicable.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Not Applicable.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

Not Applicable.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The new paddle courts will match the existing paddle courts in size. The new paddle court lights will be of a lower wattage than existing. New: 150 watts. Existing: 200 watts.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
The site plan will not fail to adequately meet the specified standards required by the zoning code.
2. The proposed site plan interferes with easements and rights-of-way.
The site plan will not interfere with any easements or rights-of-way.
3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
The proposed site plan does not create a negative destruction and minimal modification (paver patio). The new paddle courts will be placed on the existing concrete sport court and on piers placed in the existing asphalt tennis court. With respect to the topographical and physical features, the site will be in similar manner as the existing paddle courts.
4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
The proposed site plan with the 2 new paddle courts and viewing paver patio will have no negative effects on the surrounding properties and keeping the same use as a tennis, paddle and swim club since 1959. The placement of the 2 new paddle courts is well within the building setbacks and the buildable area of the 9-acre site.
5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
The proposed site plan with 2 new paddle courts and viewing paver patio will create not any traffic congestion or hazards in the public streets or create safety hazards.
6. The screening of the site does not provide adequate shielding from or for nearby uses.
The placement of the 2 new paddle courts will be screened by the existing paddle building to the south and the topography of the site with the new paddle courts at the lowest location on the property. Most of the screening to the east and north will be from existing landscaping and will remain.
7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
The proposed paddle courts, viewing paver patio and landscaping will be compatible to uses of the existing paddle courts, patios and landscaping.
8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
The site plan is not submitted in connection with and application for a special use permit. All plantings included in the landscape plan are of low maintenance.
9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.
The site plan does not create drainage or erosion problems for the site, since the new paddle courts will be placed on existing concrete slab and within existing asphalt tennis court.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The new paddle courts and new viewing paver patio will use existing utilities onsite and will have no additional burden on the Village of Hinsdale.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

Not Applicable.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The site plan does not adversely affect the public health, safety, or general welfare.

EXHIBIT #1

LEGAL DESCRIPTION

LEGAL DESCRIPTIONS

PARCEL 1:

THAT PART (EXCEPT THE EAST 2 RODS FOR ROAD) OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF HOLMES MADISON ST. ASSESSMENT PLAT, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954, AS DOCUMENT 707657, AND LYING NORTH OF THE NORTH LINE OF THE SOUTH 110 FEET OF THE NORTH 1210 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THE WEST 396 FEET (AS MEASURED ON THE NORTH LINE) OF THE NORTH 110 FEET OF THE SOUTH 220 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (AS ESTABLISHED BY FENCE LINE, BEING THE NORTH LINE OF LOGAN ACRES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 17, 1955, AS DOCUMENT 769566) OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY. ILLINOIS.

EXHIBIT #2

OWNER APPROVAL OF PROJECT
VERIFICATION

LETTER OF AUTHORIZATION

Date: 3/6/23

I, STEVEN WOLSFELD authorize the construction of 2 new paddle courts and
Print – Salt Creek Club Manager
the placement of a new paddle court viewing paver patio. This authorization also includes the
permit application to the Village of Hinsdale for the placement of the 2 new paddle courts and
new paddle court viewing paver patio on behalf of myself as Club Manager for the property
located at: 830 N Madison St, Hinsdale, IL 60521. Salt Creek Club will be responsible for the
work listed.

Steve Wolsfeld
Property Owner: Salt Creek Club Manager

3/6/23
Date

630 - 323 - 7890
Telephone Number

Sworn before me this 6th day of March, 2023

[Signature]
Notary of Illinois

01/24/2027
My commission Expires

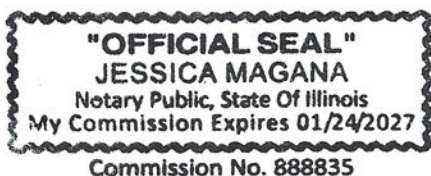


EXHIBIT #3

SITE PLAN W/ ZONING
COMPLIANCE

ZONING INFORMATION

ZONING DISTRICT: 05
LOT CLASSIFICATION: INTERIOR LOT
TOTAL LOT AREA: 388,786.05 SQUARE FEET = 8.42 ACRES
CONFORMANCE: CONFORMING
MAXIMUM BUILDING HEIGHT: (NOT APPLICABLE)
ACTUAL BUILDING HEIGHT: (NOT APPLICABLE)
MAXIMUM BUILDING ELEVATION: (NOT APPLICABLE)
ACTUAL BUILDING ELEVATION: (NOT APPLICABLE)

PROPERTY BUILDINGS SQUARE FOOTAGE

	SQ. FT.
1. EXISTING CLUBHOUSE	
FIRST FLOOR	7,150.66 S.F.
ATTIC	2,622.73 S.F.
2. EXISTING GARAGE	
GARAGE	812.77 S.F.
3. EXIST. PADDLE COURT BLDG.	
CELLAR - STORAGE	2,154.19 S.F.
FIRST FLOOR	2,154.19 S.F.
OPEN VIEWING DECK	2,154.19 S.F.
4. EXISTING STORAGE SHED	
FIRST FLOOR	240.0 S.F.

OCCUPANCY LOADS

1. EXISTING CLUBHOUSE	247 (PERSONS)
2. EXISTING GARAGE	0 (PERSONS)
3. EXIST. PADDLE COURT BLDG.	67 (PERSONS)
TOTAL OCCUPANCY LOAD	317 (PERSONS)

PARKING REQUIREMENTS

REQUIRED SPACES (5 REQ. TO BE ACCESSIBLE SPACES)	106 (SPACES)
EXISTING SPACES	108 (SPACES)
TOTAL EXISTING PARKING SPACES	108 (SPACES)
MAXIMUM ALLOWABLE F.A.R.: 20 X (388,786.05 S.F.) = 77,757.21 S.F.	
ACTUAL FLOOR AREA RATIO: = 15,425 S.F.	

PROPOSED (2) NEW PLATFORM TENNIS COURTS ON EXISTING CONCRETE SLAB. SEE SHEETS CT-001 AND CT-002 AS DESIGNED BY "LOUIS SHELL STRUCTURES"

ACCESSORY STRUCTURE ALLOWABLE HEIGHT = 15'-0"

HEIGHT INCREASE TABULATION PER SECTION 7-210 OF THE HINSDALE ZONING ORDINANCE CODE:

131.0' - 20.0' = 111.0' (DIFFERENCE)

111.0' / 5.0' (ADD. SETBACK) = 22.0'

22.0' X 1.0' (ALLOW. HEIGHT INCREASE UP TO A MAXIMUM OF 20.0') = USE 20.0' MAXIMUM ALLOWABLE INCREASE.

15.0' (ALLOWABLE HEIGHT) + 20.0' TOTAL ALLOWABLE HEIGHT INCREASE = 35.0' (MAXIMUM HEIGHT)

* COURT FLOOR HEIGHT ABOVE GRADE HEIGHT = 4'-0"

* HEIGHT TO TOP OF COURT LIGHTS. LIGHTS WILL BE ADJUSTED TO MEET.

* ABOVE GRADE HEIGHT = 24'-0"

* LIGHTING AND PHOTO METRICS TO BE PROVIDED BY PLATFORM TENNIS COMPANY.

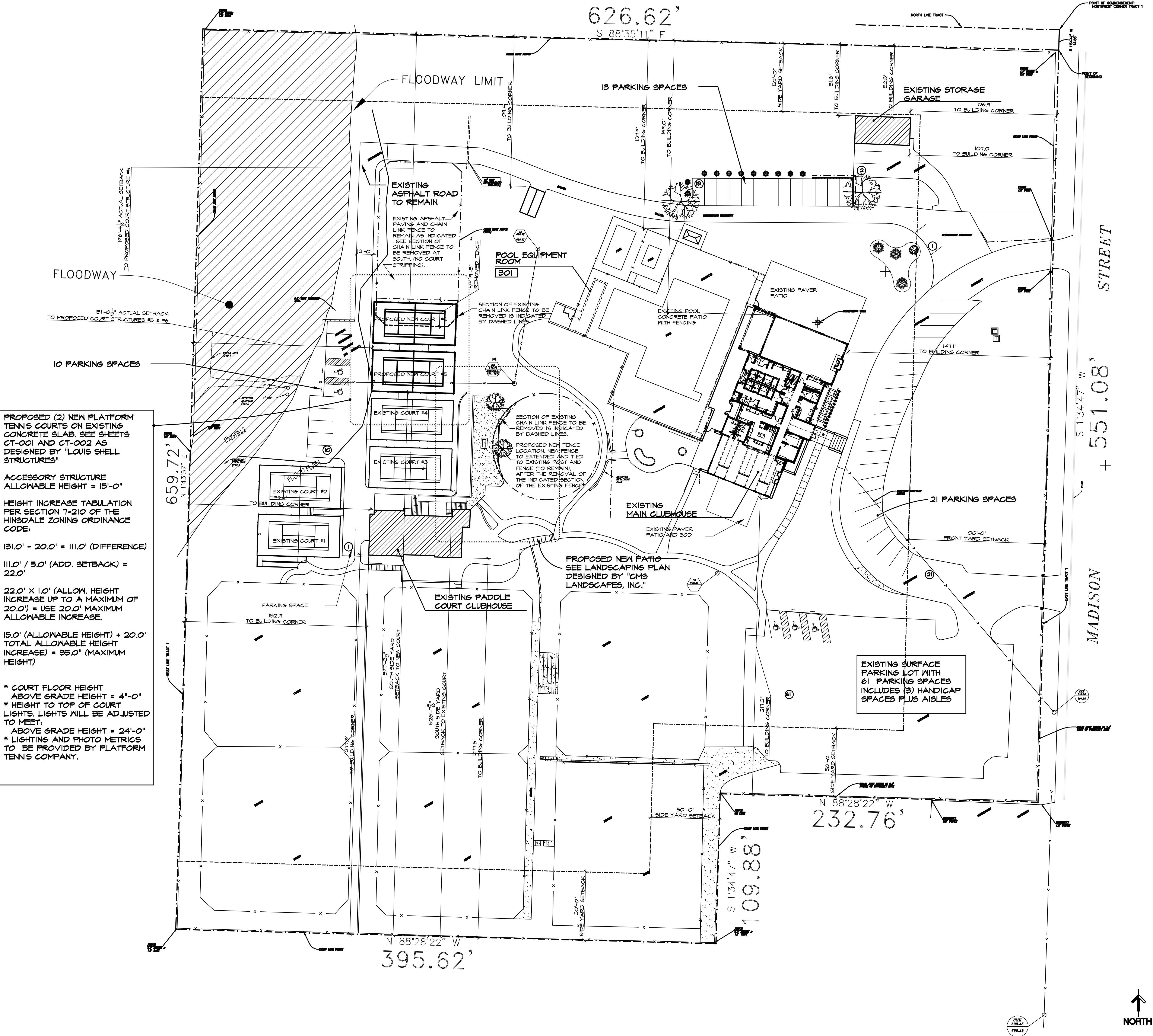
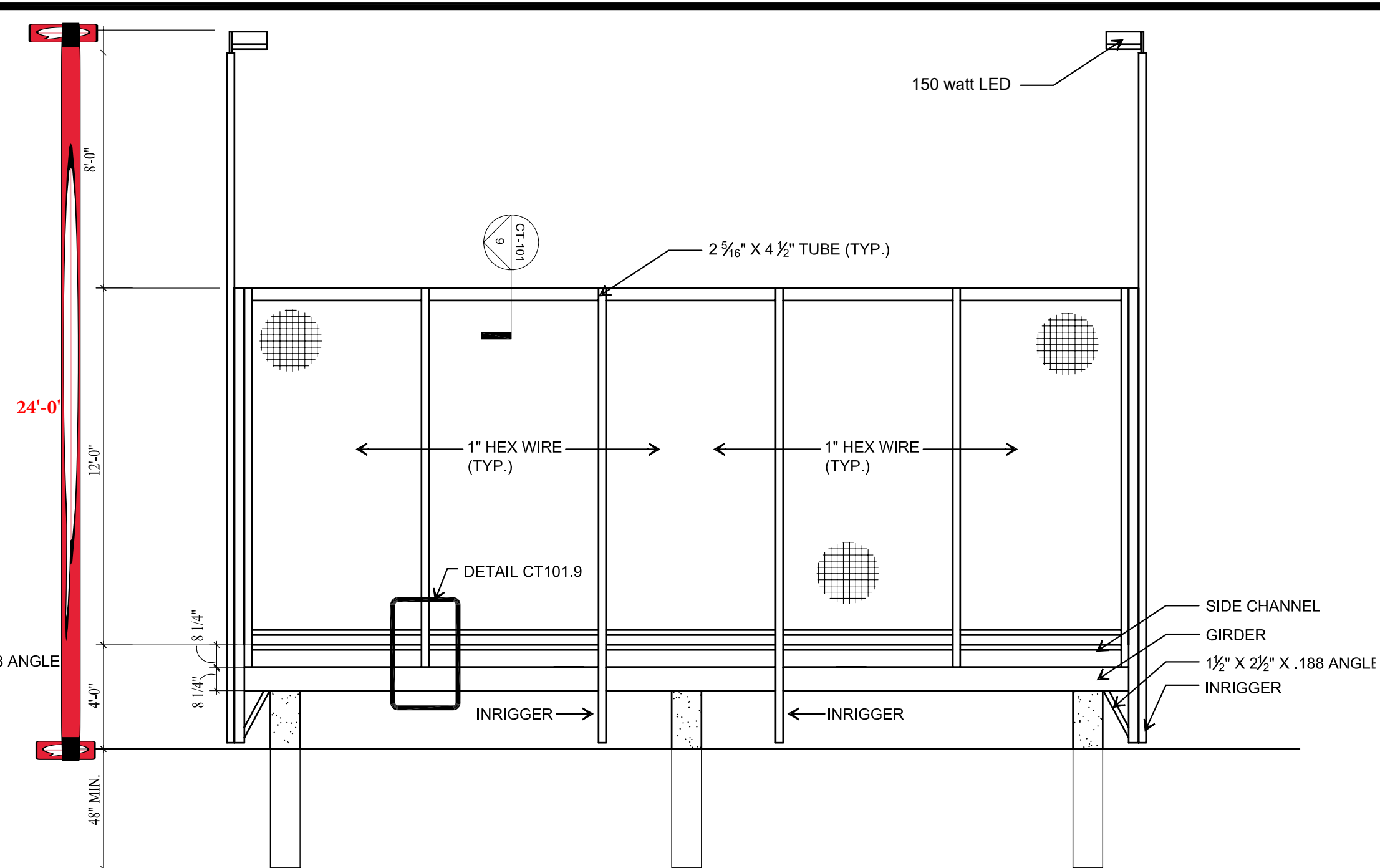
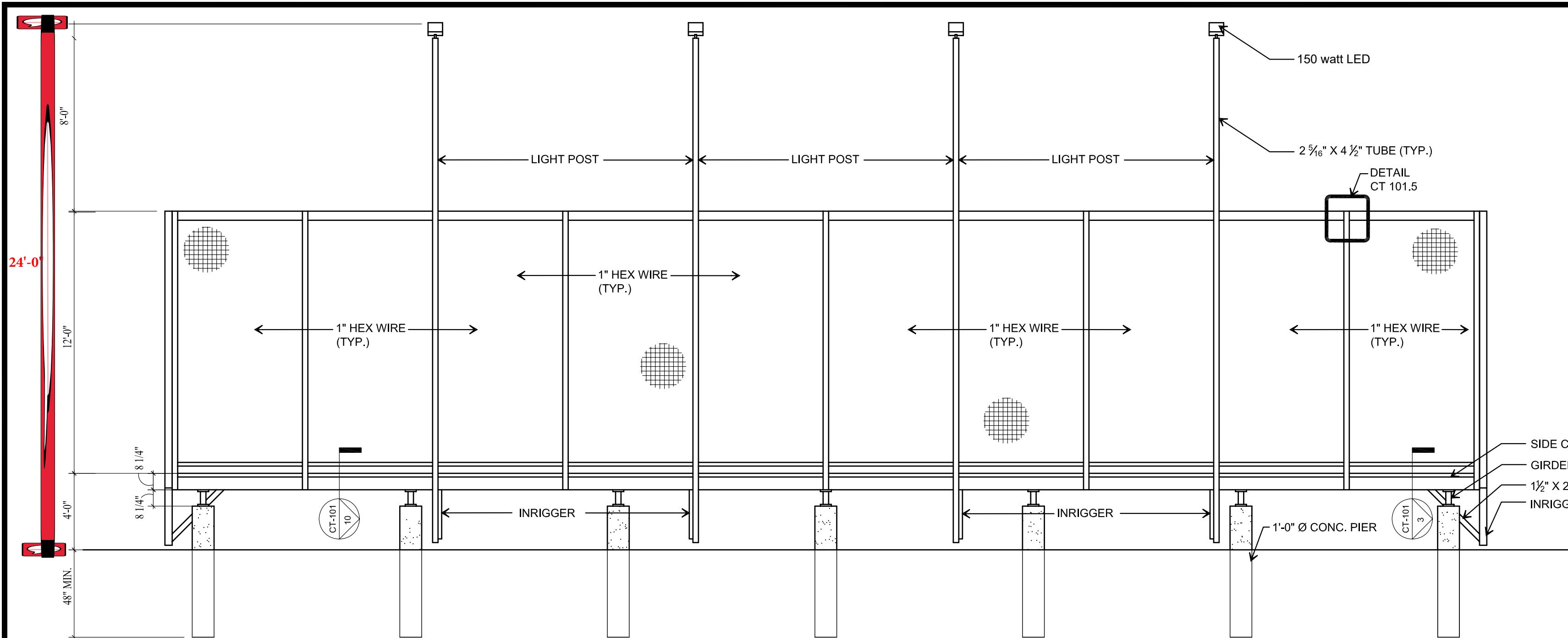


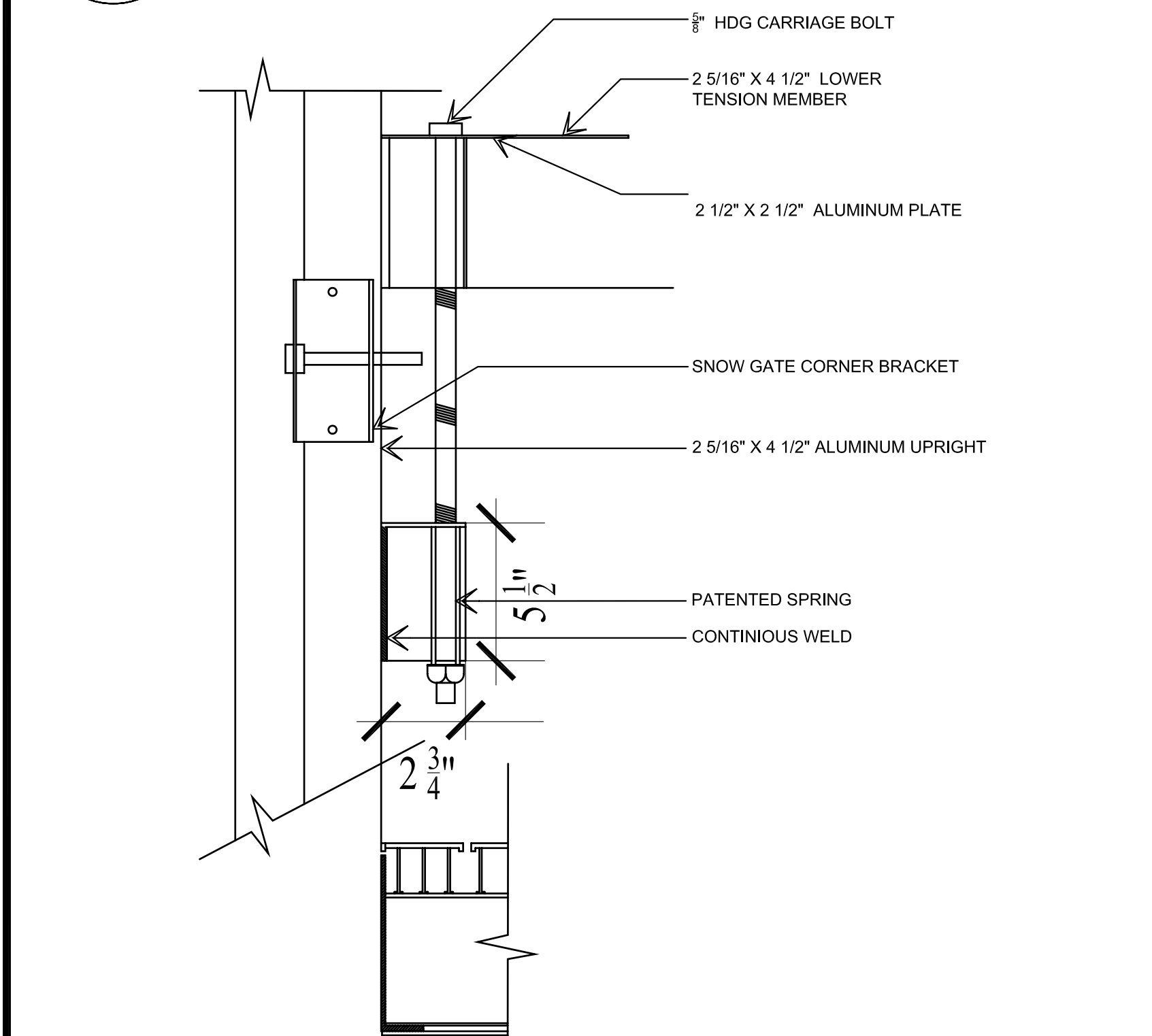
EXHIBIT #4

PADDLE COURT DRAWINGS, LIGHT
SPECS, & PHOTOMETRIC PLAN

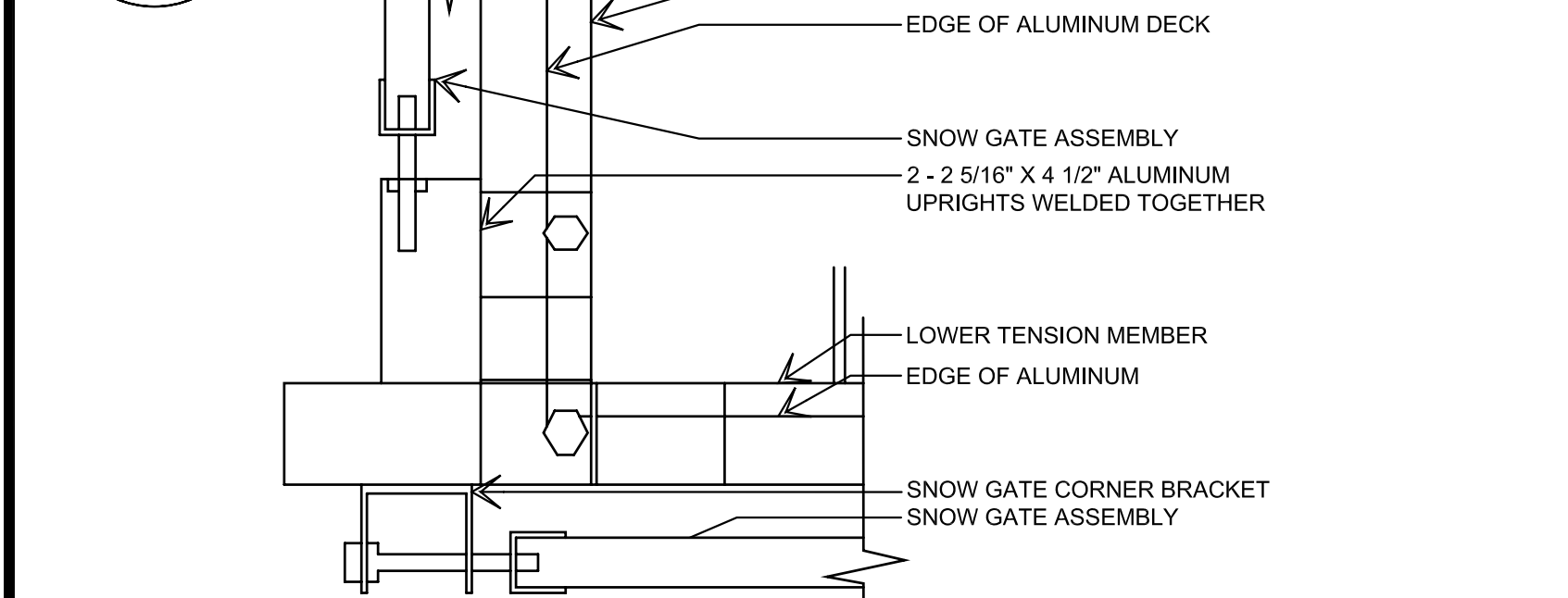


1 LONG ELEVATION
SCALE : 1/4" = 1'-0"

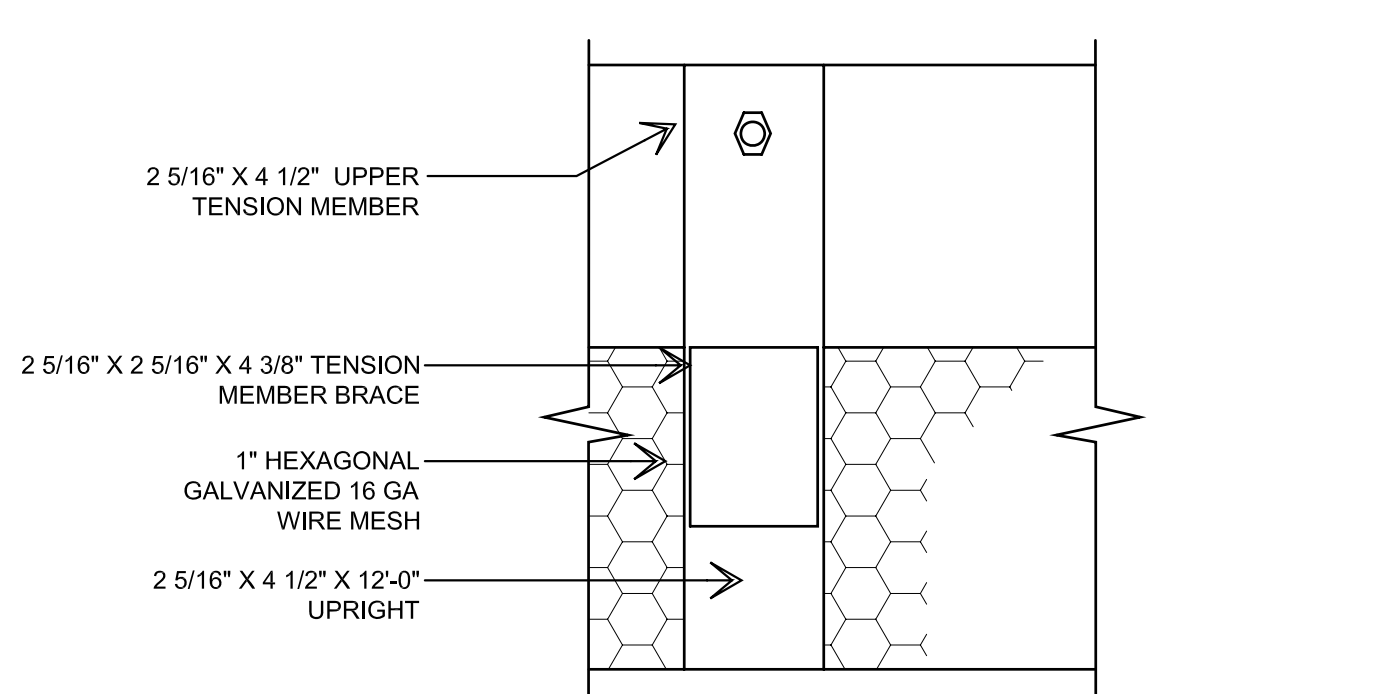
2 SHORT ELEVATION
SCALE : 1/4" = 1'-0"



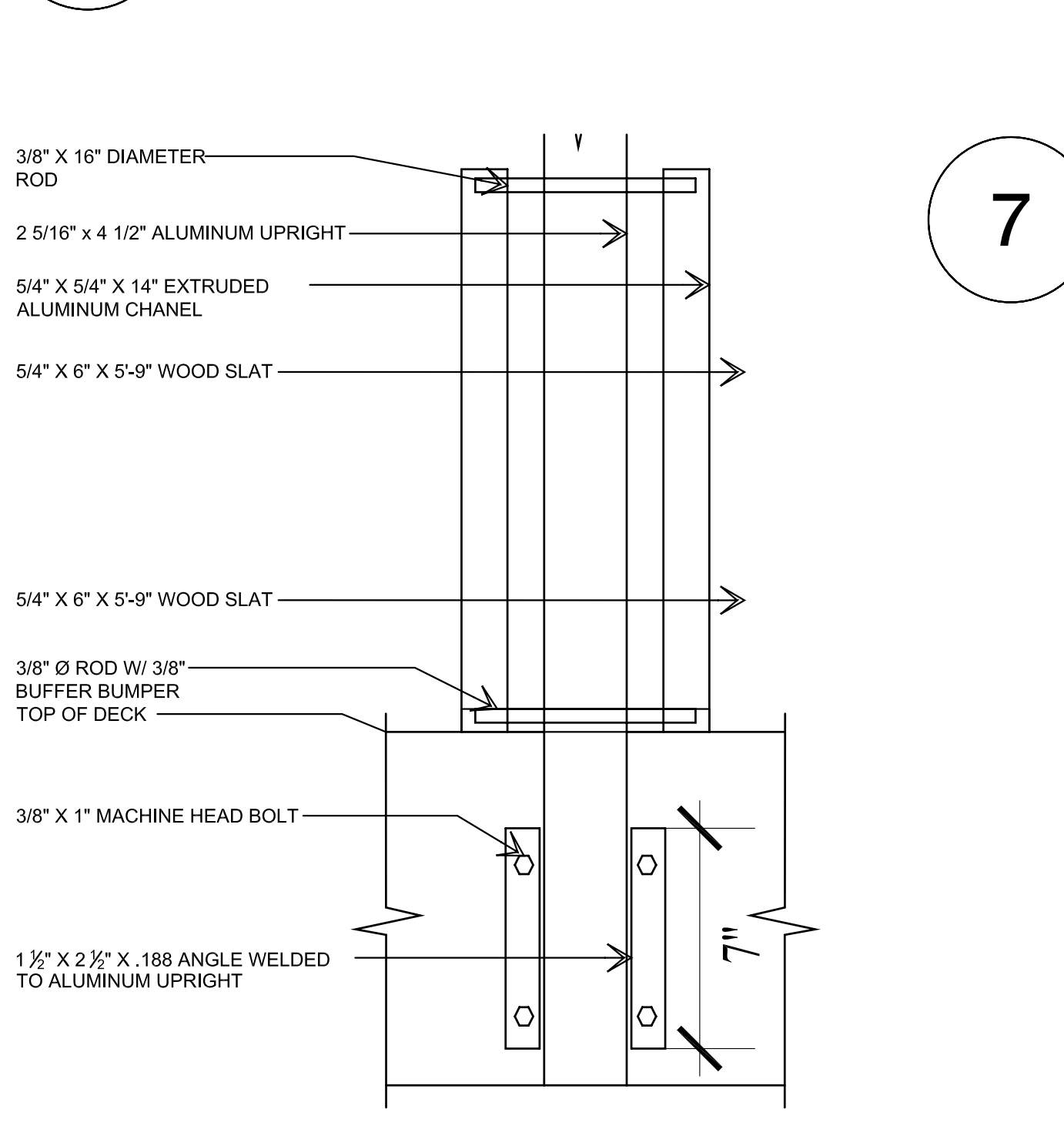
3 LOWER CORNER MEMBER SECTION
1 1/2" = 1'-0"



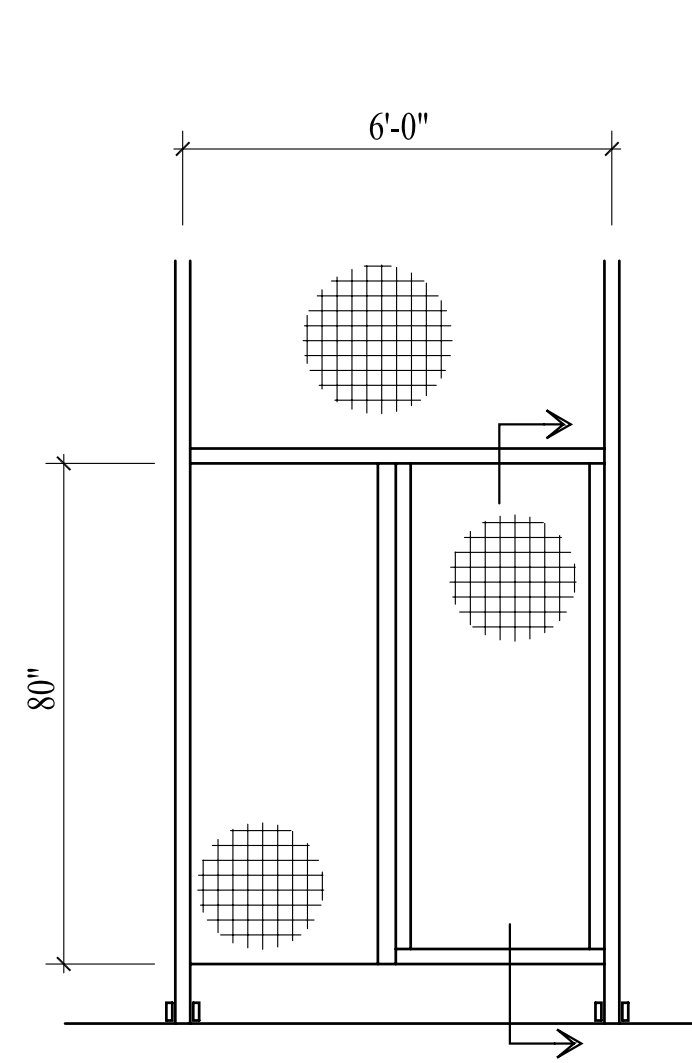
4 LOWER CORNER MEMBER PLAN
1 1/2" = 1'-0"



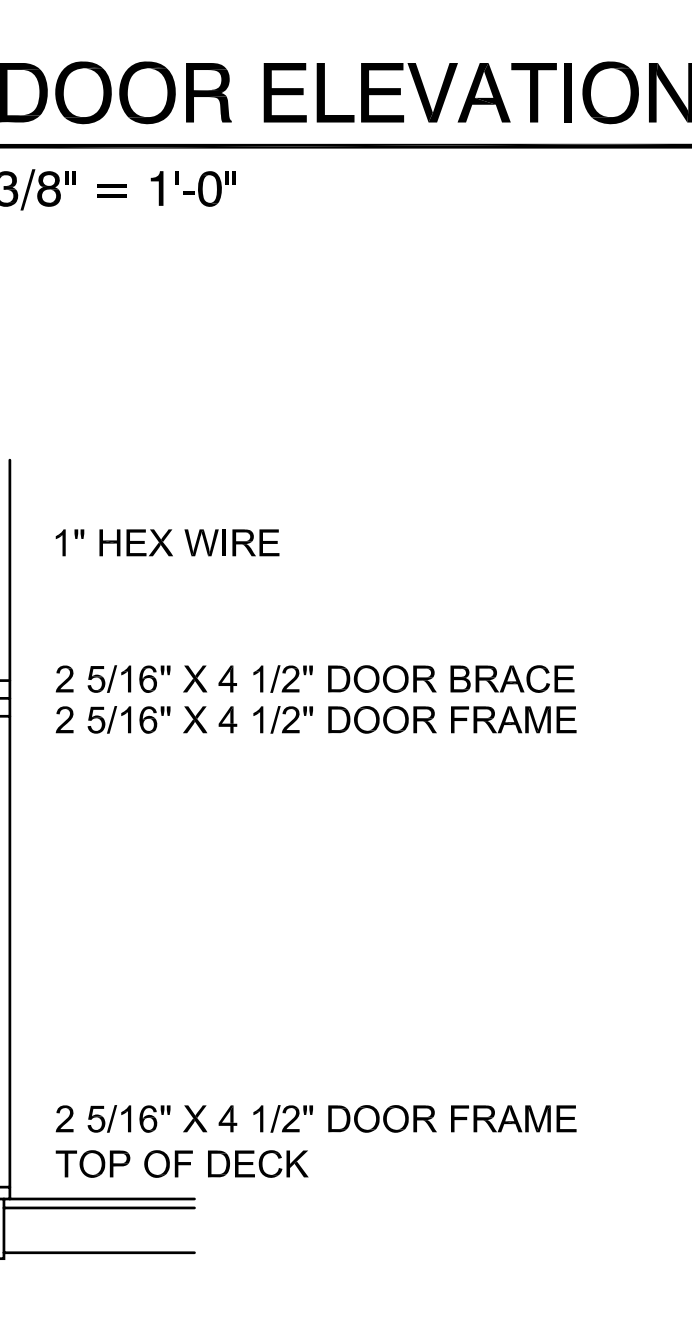
5 UPPER MEMBER ELEVATION
1 1/2" = 1'-0"



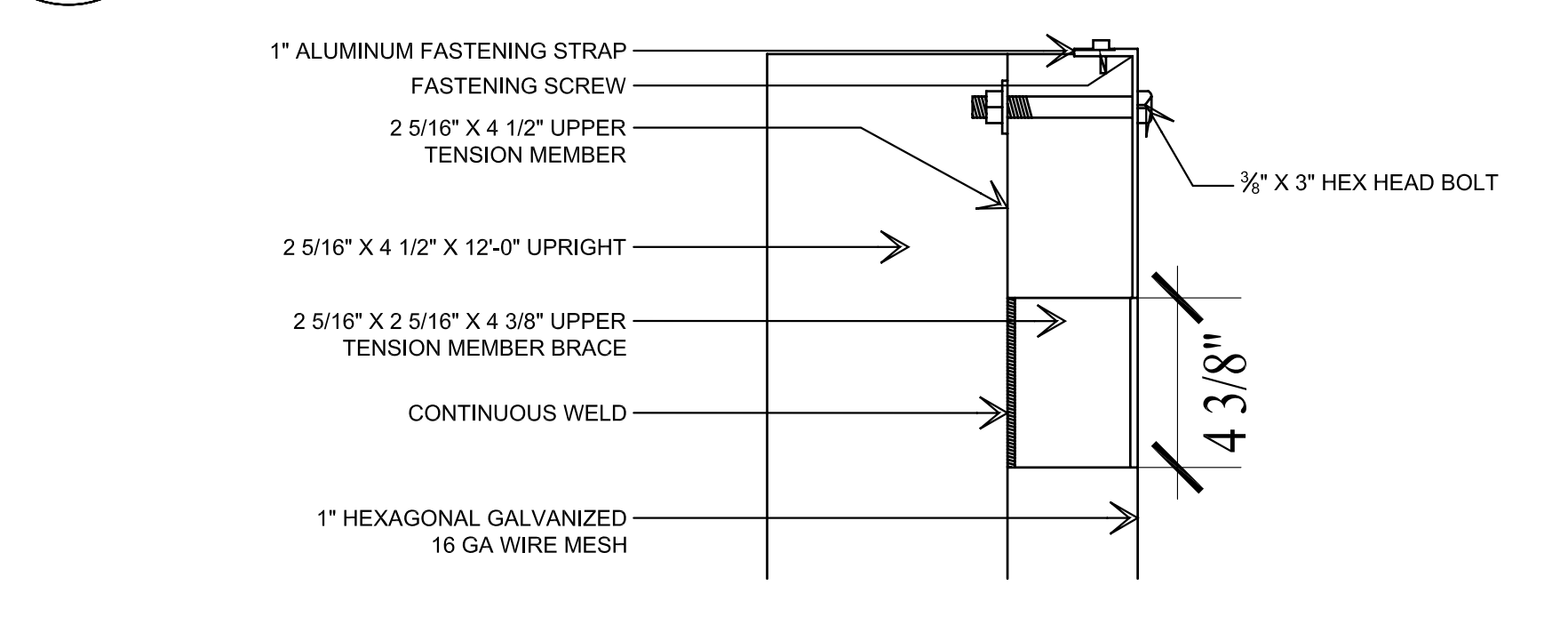
6 UPRIGHT ELEVATION
1 1/2" = 1'-0"



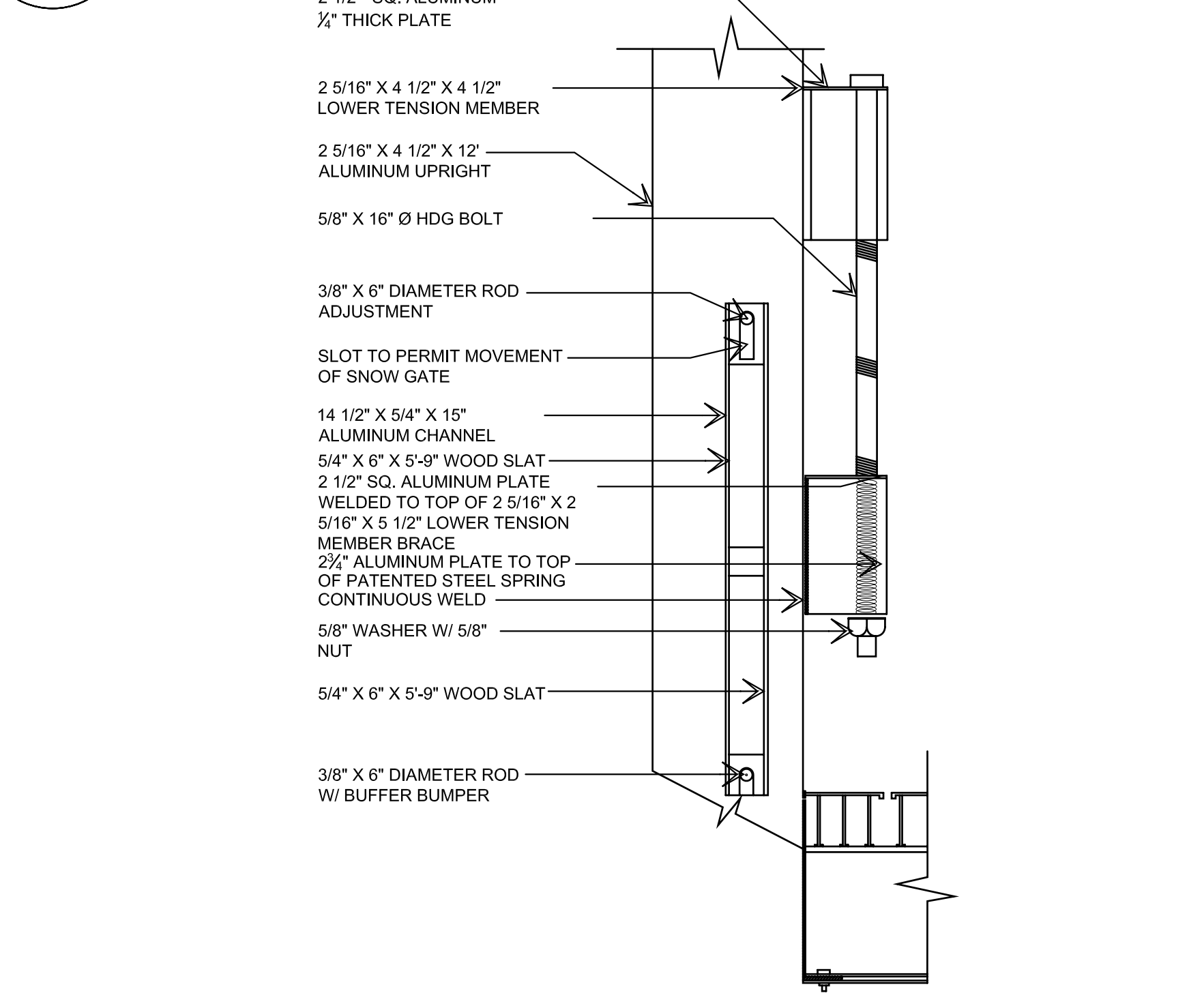
7 DOOR ELEVATION
3/8" = 1'-0"



8 DOOR SECTION
3/8" = 1'-0"



9 UPPER TENSION MEMBER SECTION
1 1/2" = 1'-0"



10 LOWER TENSION MEMBER SECTION
1 1/2" = 1'-0"

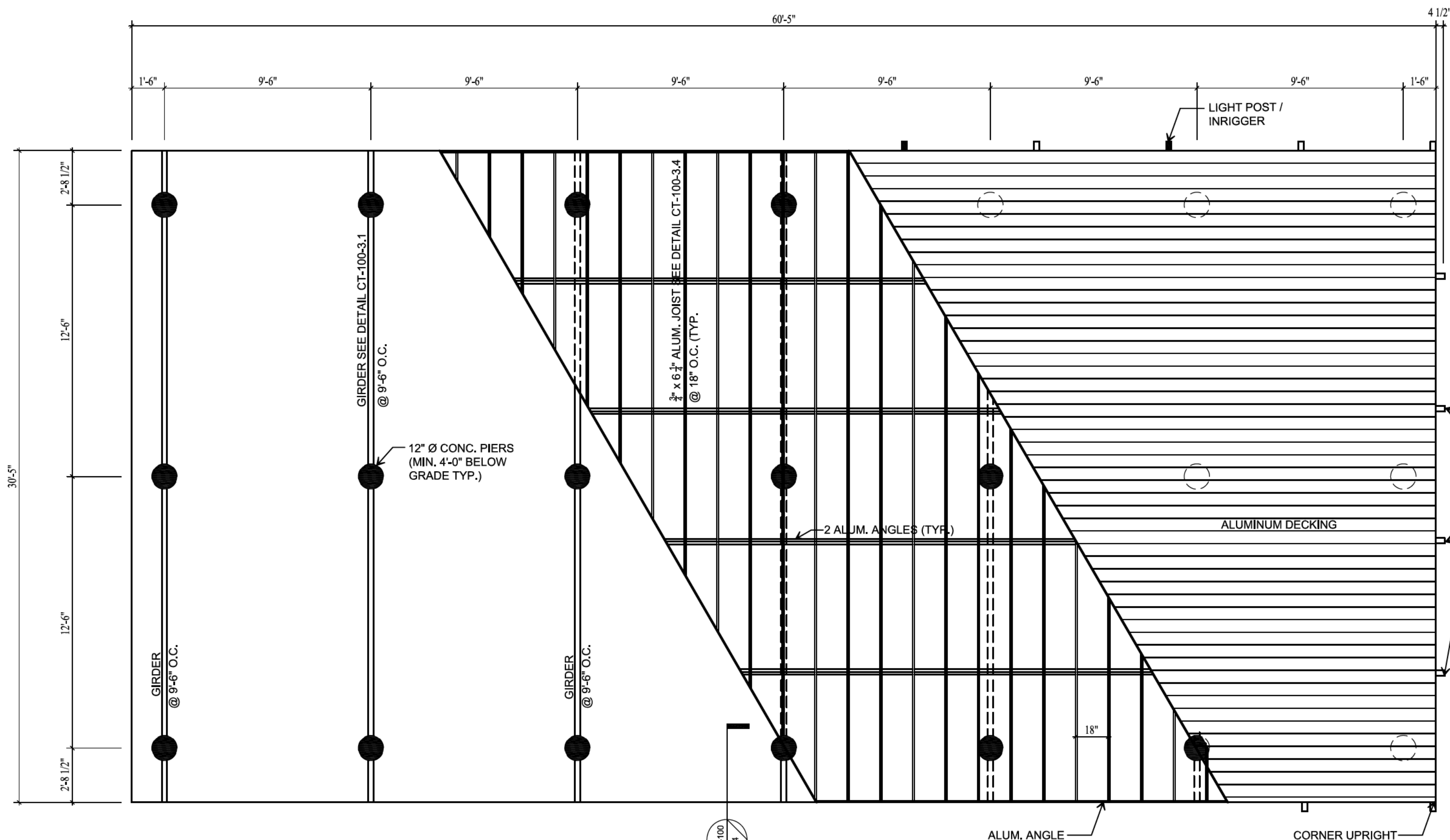
RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

DATE	REVISION #	REMARKS

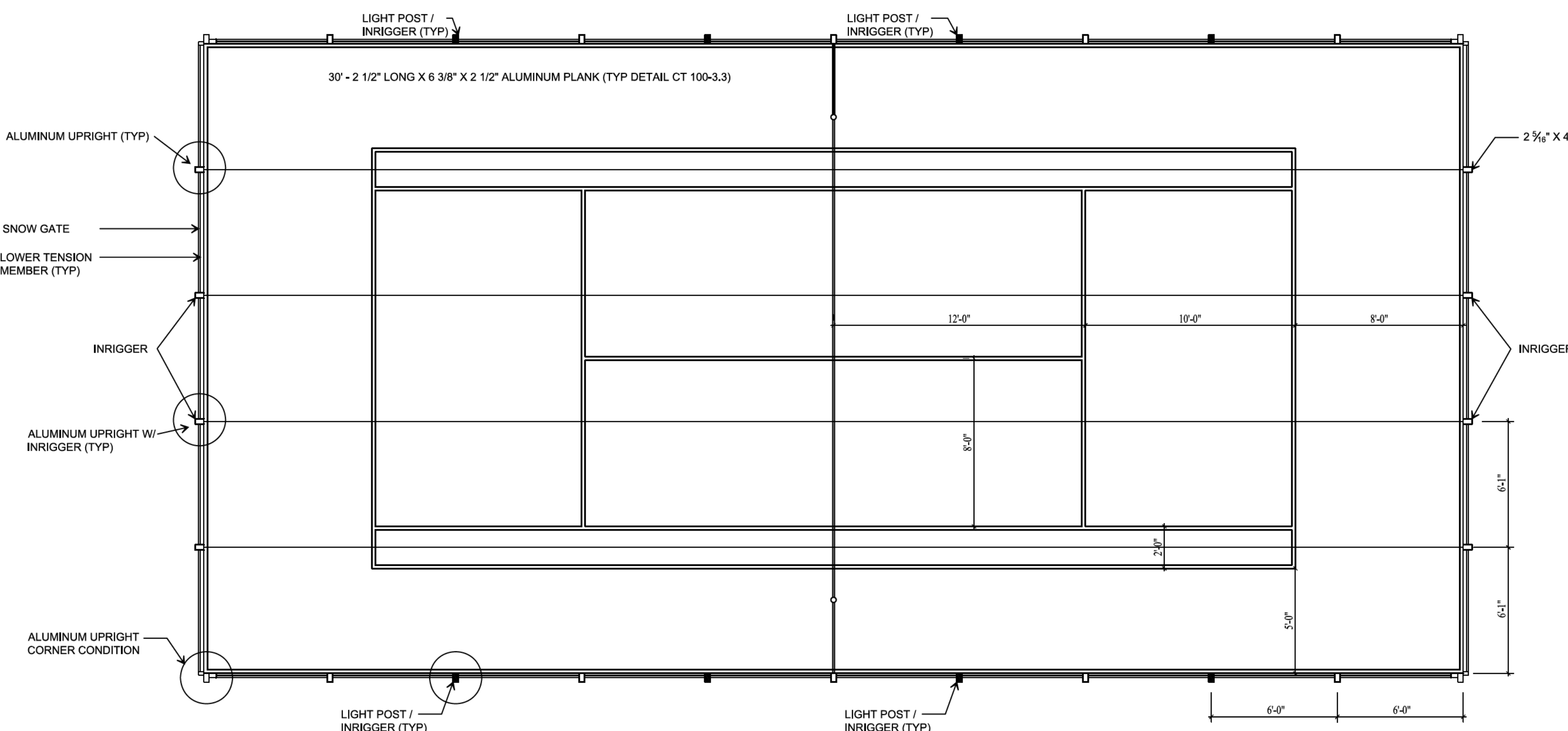
PROJECT
**REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS**

DRAWING TITLE
**ALUMIN. TENNIS COURT
ELEVATIONS &
TYPICAL DETAILS**

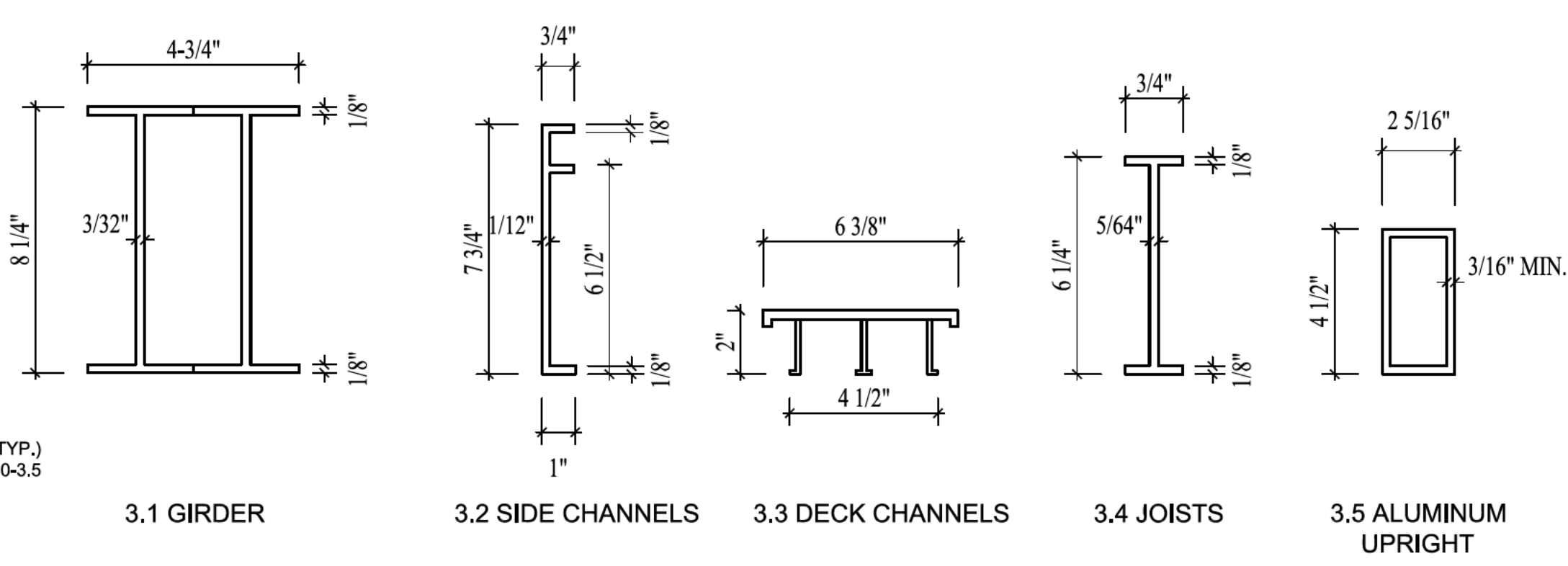
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X-REF:	SCALE: AS NOTED
	DATE: MAY 2008
	DRAWN: DD
	CHECKED: CCAS
	SHEET NUMBER
	CT-101



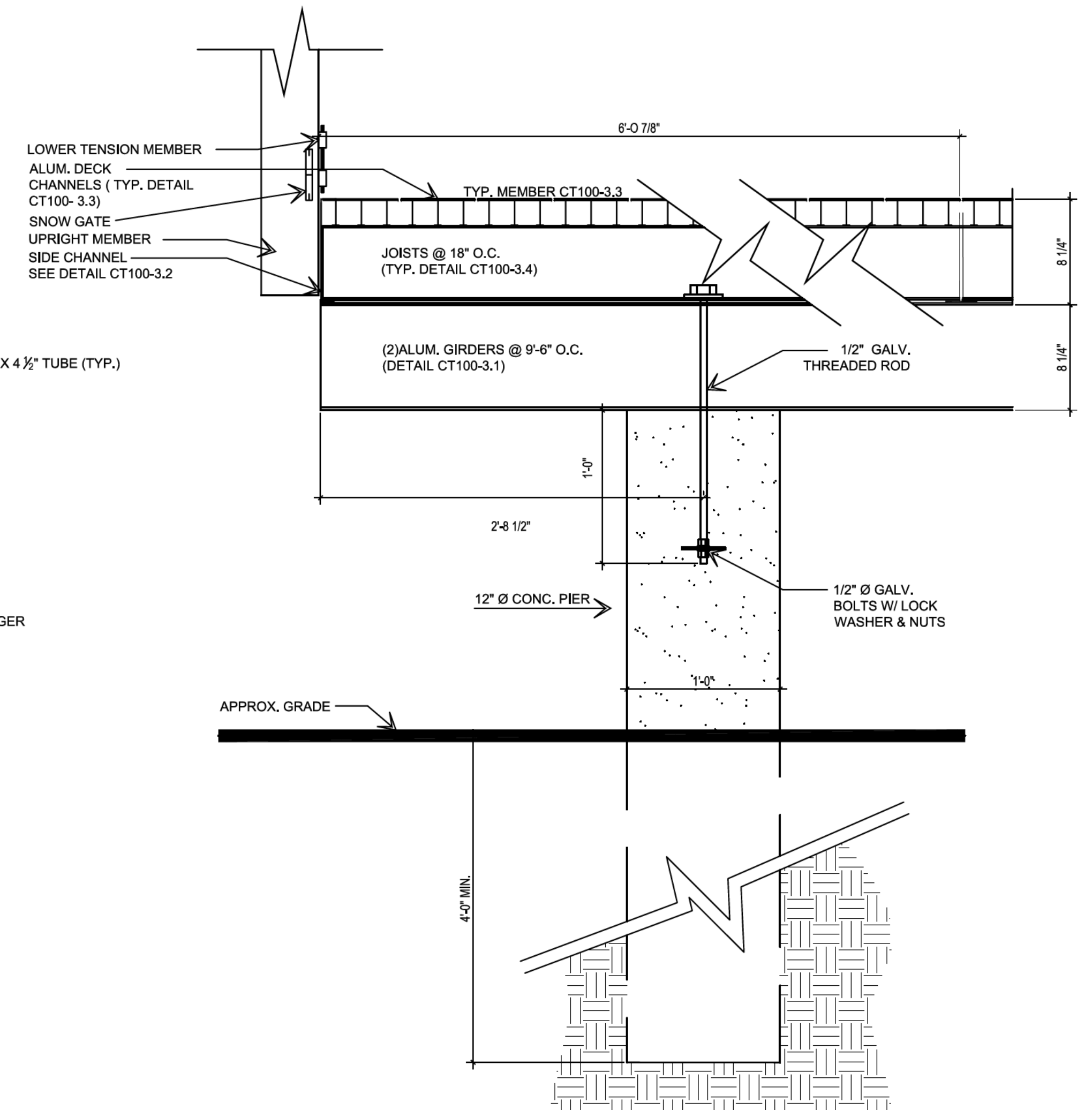
1 FOUNDATION PLAN
SCALE : 1/4" = 1'-0"



2 COURT MARKINGS
SCALE : 1/4" = 1'-0"



3 TYP. STRUCTURAL MEMBERS
SCALE : 1:1



4 PIER DETAIL
1 1/2" = 1'-0"

DATE	REVISION #	REMARKS

PROJECT

REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS

DRAWING TITLE
ALUMIN. TENNIS COURT
FOUNDATION
COURT MARKINGS

PROJECT #	SCALE: AS NOTED
DATE: MAY 2008	DRAWN: DD
CHECKED: CCAS	SHEET NUMBER
CAD FILE:	CT-100
X-REF:	

SALT CREEK CLUB

ARCHITECTURAL DRAWING INDEX

[illegible]

USE & OCCUPANCY (COURTS)	
USE	LIMITED OCCUPANCY
AREA SF (NET)	1845 SF
OCCUPANCY LOAD	200 GROSS : 1845SF = 8 PERSONS

CONSTRUCTION – allowables	
CONSTRUCTION TYPE	V-B
HEIGHT / AREA	1ST MAX. : 6000 SF MAX
FIRE SEPARATION	NOT REQUIRED
REQUIRED EXITS	2

SNOW LOAD	
P _g	50 PSF
P _f	42 PSF
P _s	30 PSF
C _e	1.0
I	1.0
C _t	1.2

WIND LOAD	
BASIC WIND SPEED	126MPH
I	1.00
EXPOSURE	B
GCpi	+/- 0.00
COMPONENTS/CLAD PRESSURE	15 PSF

SEISMIC LOAD	
I	1.0
OCCUPANCY CATEGORY	II
Ss	0.253
S1	.075
SITE CLASS	D
Sds	.270
Sdi	.120
SEISMIC DESIGN CAT.	B

ENERGY STATEMENT

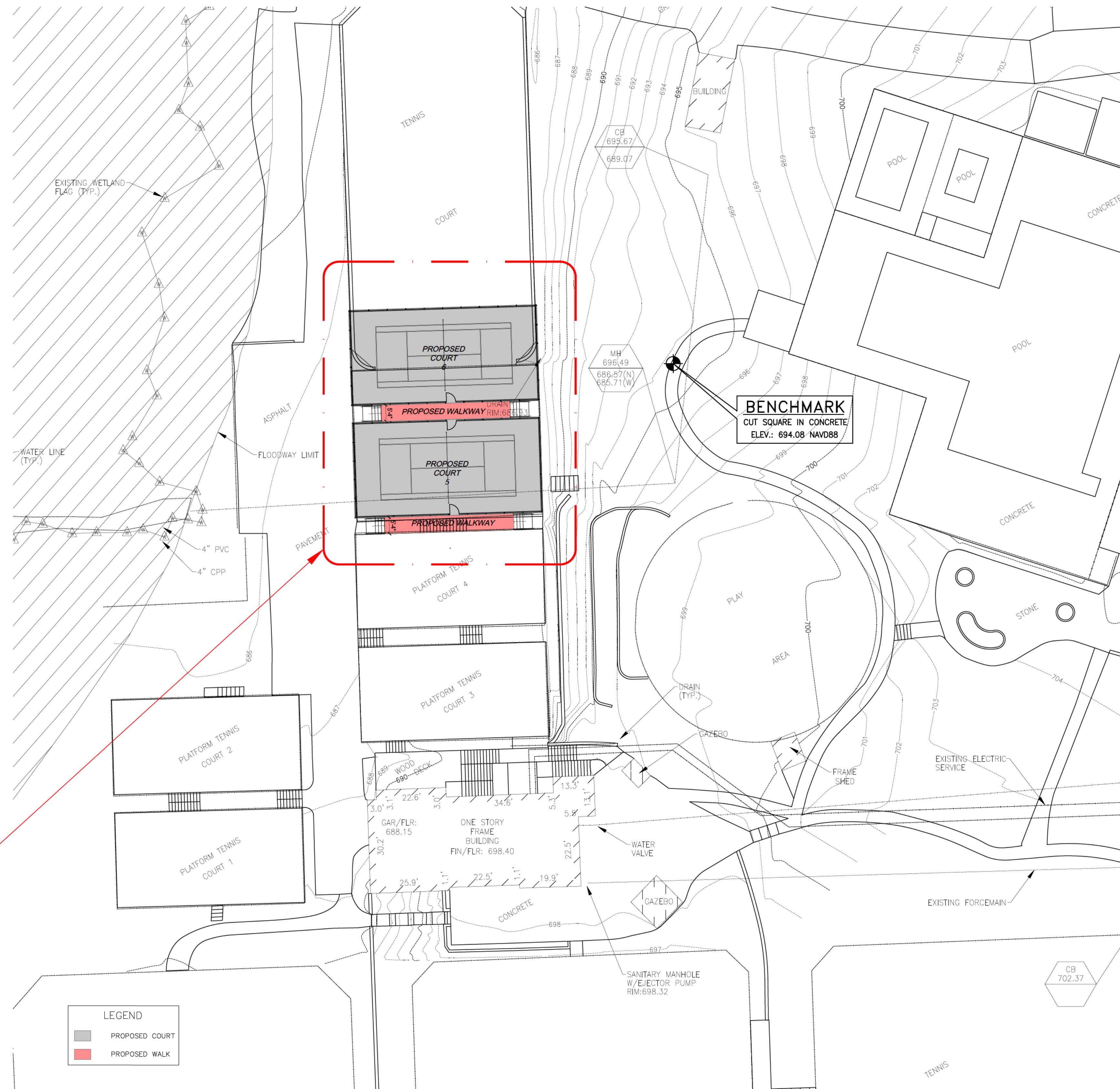
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT
I CERTIFY THAT THESE PLANS ARE IN COMPLIANCE WITH THE 2018
INTERNATIONAL ENERGY CONSERVATION CODE.

DESIGN LOADS			
GROUND FLOOR : SPORT VIEWING		FLOOR LOAD : COURTS	
LIVE LOAD	100 PSF	LIMITED OCC.	40 PSF
DEAD LOAD	20 PSF	DEAD LOAD	20 PSF
TOTAL LOAD	120 PSF	TOTAL LOAD	60 PSF
ROOF : PITCHED		STAIRS & DECKS	
LIVE + SNOW LD	30 PSF	LIVE	100 PSF
DEAD LOAD	15 PSF	DEAD LOAD	10 PSF
TOTAL LOAD	45 PSF	TOTAL LOAD	110 PSF
HANDRAIL / GUARDRAIL			
UNIFORM LOAD	50LB / FT		
CONC. LOAD	200 LBF		



AREA OF WORK

ALL WORK TO BE IN ACCORDANCE WITH 2020 INTERNATIONAL BUILDING CODE



1 PARTIAL SITE PLAN / PROPOSED COURT LAYOUT
SCALE : 1" = 20'

REFER TO SITE PLAN BY OTHERS

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

CONSULTANTS:

CG AG EST. 1952
CROZIER GEDNEY
ARCHITECTS, PC
41 ELM PLACE
RYE, NY 10580
PH. 914-967-6060
FAX 914-967-6071

FOR PERMIT

1.12.23

[illegible]

ALUMINUM PADDLE
TENNIS COURT
DRAWINGS FOR THE:

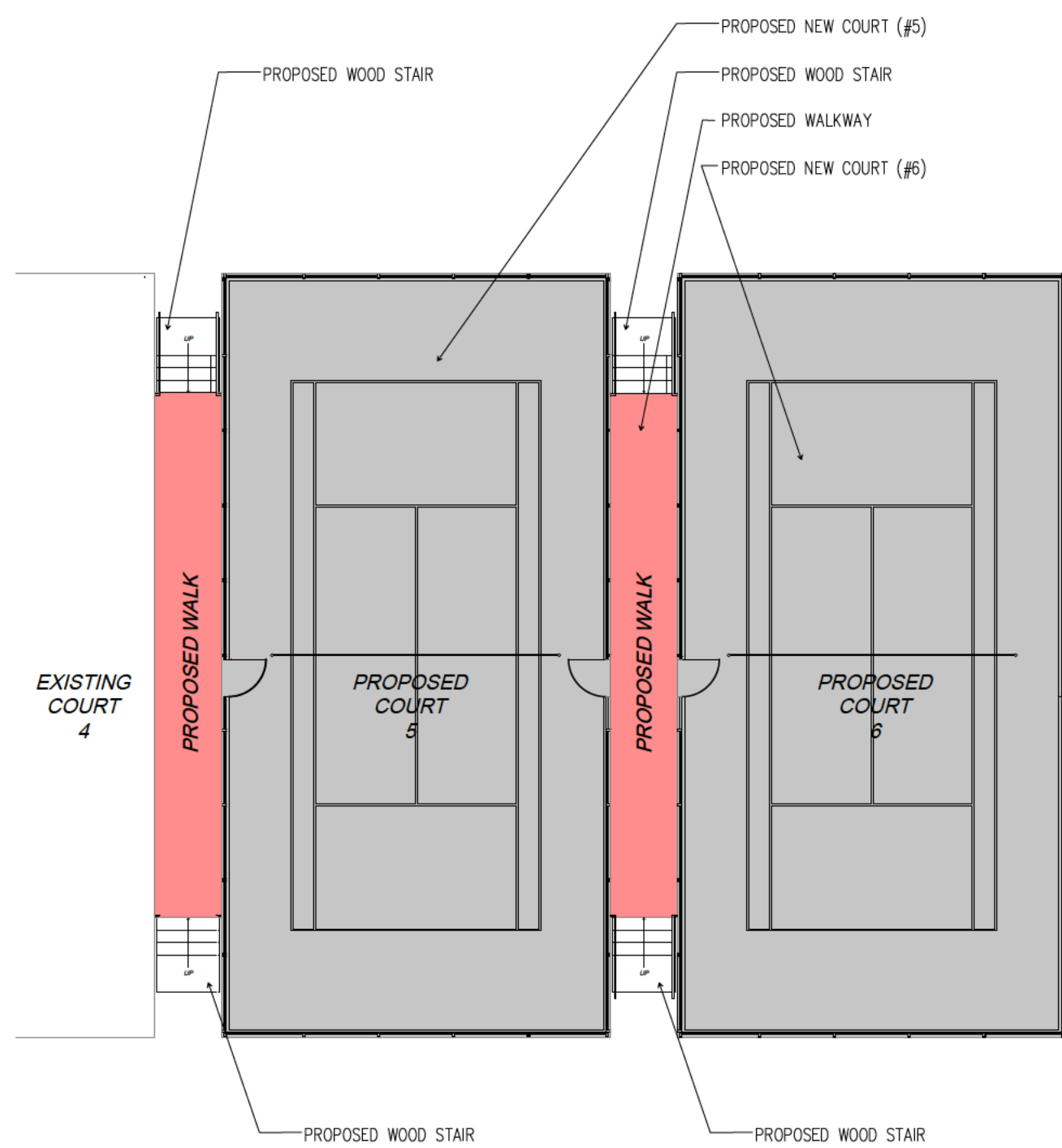
SALT CREEK CLUB
830 NORTH MADISON ST.
HINSDALE, IL 60521

DRAWING TITLE

TITLE SHEET
PROJECT INFO
SITE LAYOUT

PROFESSIONAL SEAL	PPAS PROJECT #	2023-03
	SCALE:	AS NOTED
	DATE:	JAN 12 23
	DRAWN:	DJD
	CHECKED:	CCAS
CAD FILE:	SHEET NUMBER	
X-REF:	T-100	

NO USE, REPRODUCTION OR DISSEMINATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREON WITHOUT THE PRIOR WRITTEN CONSENT OF REILLY GREEN MOUNTAIN PLATFORM TENNIS



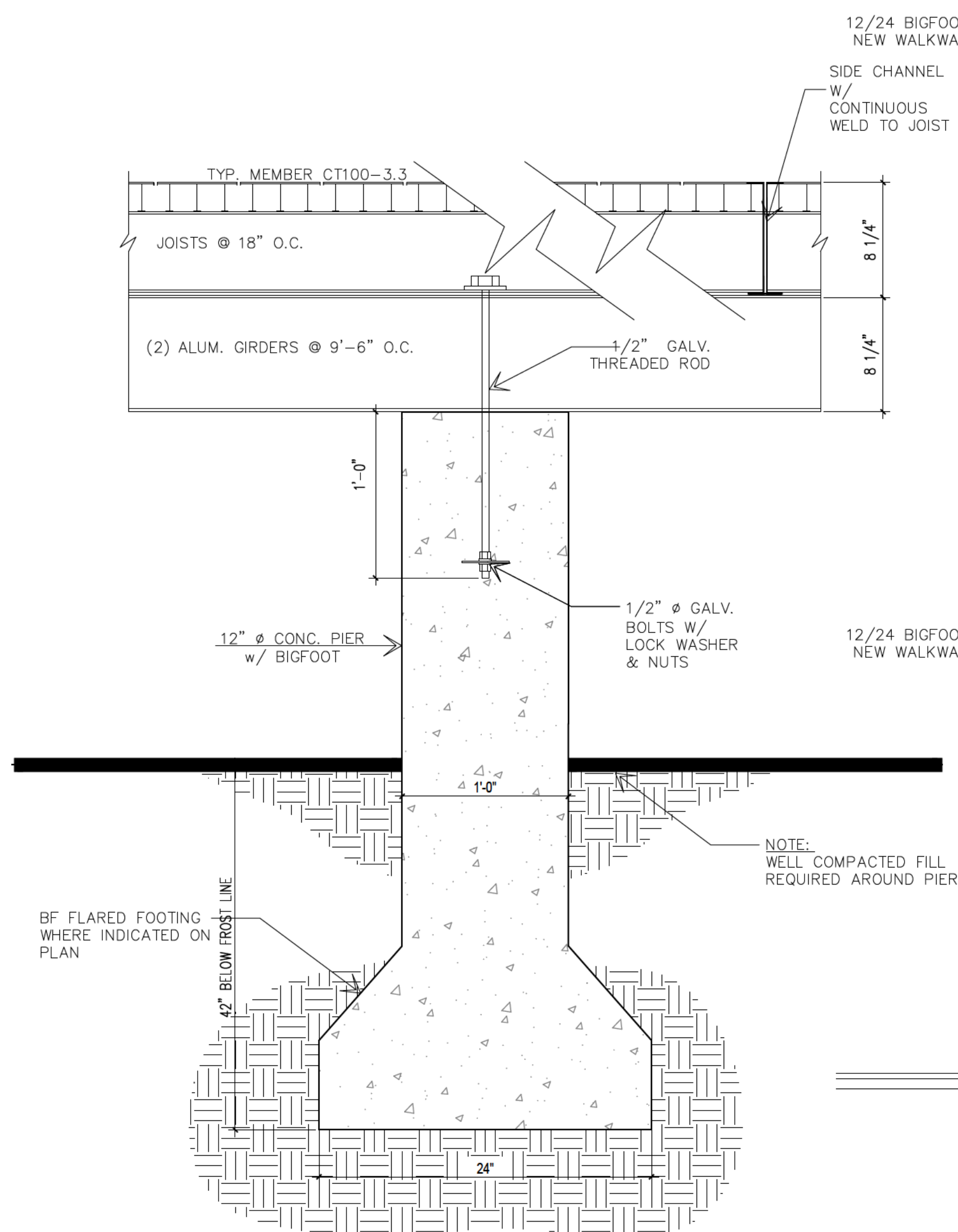
EX COURT #4

LEGEND

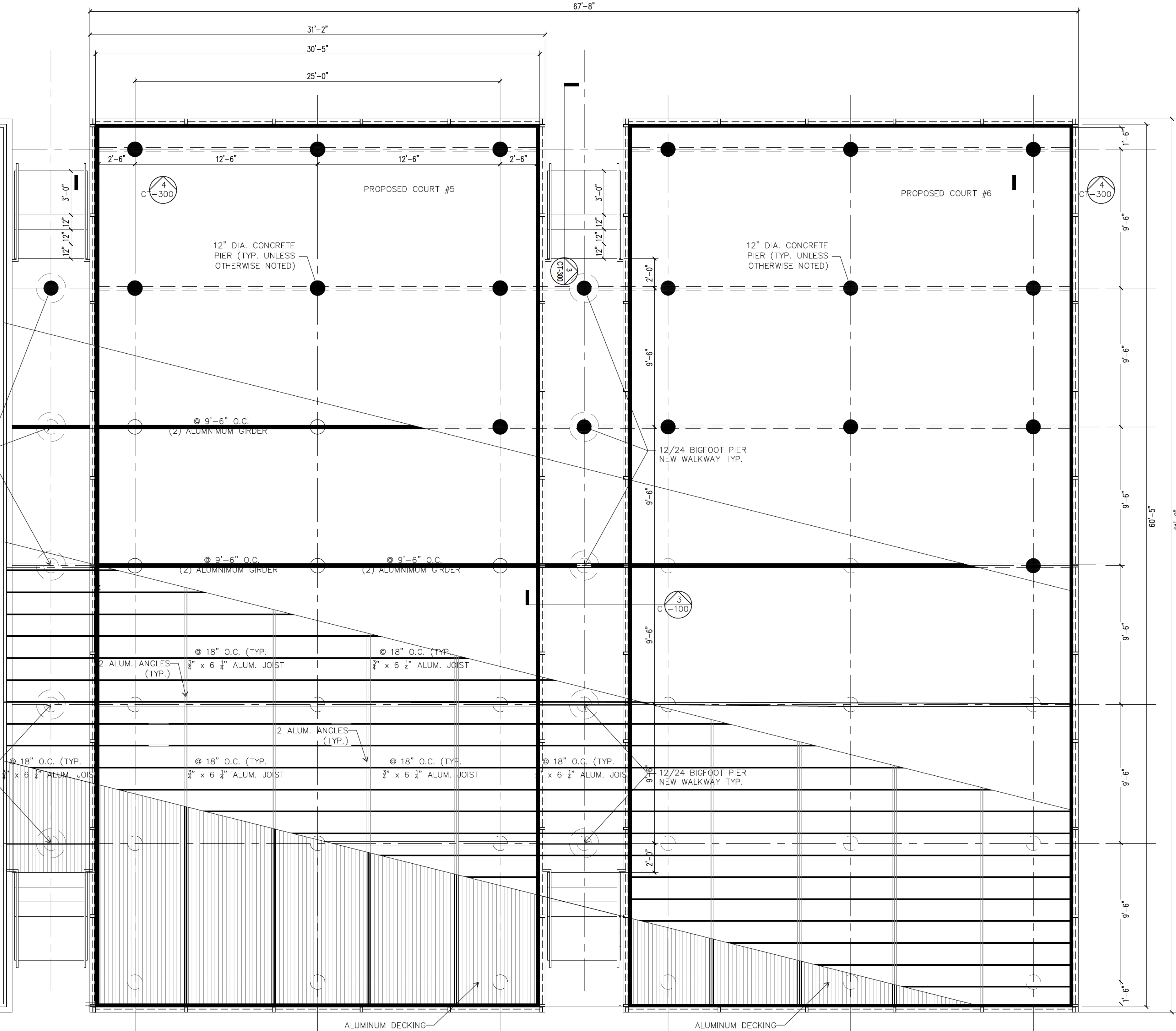
PROPOSED COURT

PROPOSED WALK

1 NEW FRAMING KEY PLAN
SCALE : 1/16" = 1'-0"



3 TYP. WALK WAY PIER
SCALE 1" = 1'



2 FRAMING DETAILS FOR COURTS / WALKWAY
SCALE : 1/4" = 1'-0"

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

CONSULTANTS:

CROZIER GEDNEY
ARCHITECTS, PC
41 ELM PLACE
RYE, NY 10580
PH. 914-967-6060
FAX 914-967-6071

FOR PERMIT

1.12.23

DATE	REVISION #	REMARKS
1.12.23	-	ISSUED FOR PERMIT

ALUMINUM PADDLE
TENNIS COURT
DRAWINGS FOR THE:

SALT CREEK CLUB
830 NORTH MADISON ST.
HINSDALE, IL 60521

DRAWING TITLE

COURT PLAN

PROFESSIONAL SEAL	PPAS PROJECT # 2023-03
CAD FILE:	SCALE: AS NOTED
X-REF:	DATE: JAN 12 23
	DRAWN: DJD
	CHECKED: CCAS
	SHEET NUMBER
	CT-100



SIGNS SHALL BE
CONSTRUCTED OF MINIMUM
.063-INCH ALUMINUM, WITH
MINIMUM OF 1-INCH BLOCK
LETTERS AND
NUMBERS, ON A CONTRASTING
BACKGROUND SO AS TO BE
READILY VISIBLE.

○



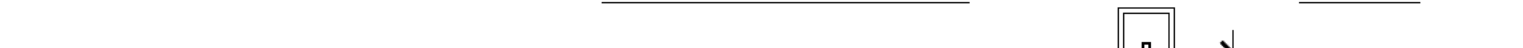


Figure 1

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

[illegible]

100

REILLY GREEN MOUNTAIN PLATFORM TENNIS

DESIGN CRITERIA

- BUILDING CODE: 2006 INTERNATIONAL BUILDING CODE
- DESIGN LIVE LOADS:
COURT LIVE LOAD 40 PSF
WALKWAY & DECK LIVE LOAD 100 PSF

- WIND LOADS:
MAIN WIND FORCE RESISTING SYSTEM 20 PSF
COMPONENTS & CLADDING 30 PSF
NET UPLIFT ON FLOOR JOISTS 20 PSF

GENERAL REQUIREMENTS

- DRAWINGS ARE NOT TO BE SCALED IN THE FIELD. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN DIMENSIONS. VERIFY ALL DISCREPANCIES, ERRORS OR OMISSIONS BEFORE PROCEEDING WITH WORK.
- VERIFY SITE SURVEY AND DIMENSIONS WITH ACTUAL CONDITIONS IN FIELD. VERIFY ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS.
- PADDELE COURT CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS FOR THE PROJECT.
- PADDELE COURT CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL PLANS, VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- PADDELE COURT CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR THE FOLLOWING:
A. COMPLIANCE WITH CONTRACT DOCUMENTS.
B. DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS.
C. FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.).
D. WORK OF THE CONTRACTOR AND THE VARIOUS TRADES.
E. SAFE CONDITIONS AT THE JOB SITE.
- ALL MATERIAL DESIGN AND CONSTRUCTION MUST CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- SECTIONS, DETAILS AND NOTES ARE INTENDED TO APPLY TO SIMILAR SITUATIONS/ CONDITIONS ELSEWHERE.
- PROVIDE TEMPORARY SHORING AND SUPPORT AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING EXECUTION OF THE WORK.
- THE PADDELE COURT CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- DESIGN, PROVIDE, INSTALL AND MAINTAIN ALL UNDERPINNING, SHORING, BRACING, ETC. AS MAY BE REQUIRED FOR THE SUPPORT AND PROTECTION OF SURROUNDING EXISTING PROPERTY, BUILDINGS, UTILITIES, UTILITY EQUIPMENT, ETC. THE COST OF THIS WORK IS INCIDENTAL TO THE CONTRACT.

EXCAVATION & FOUNDATION

- USE APPROVED METHODS TO EFFECTIVELY MAINTAIN THE CONSTRUCTION AREA IN A DEWATERED STATE.
- ALL EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL GOVERNING GUIDELINES.
- THE PADDELE COURT CONTRACTOR IS TO PROTECT NEW AND EXISTING UTILITIES FROM DAMAGE. METHODS OF PROTECTION ARE TO BE APPROVED BY THE UTILITY. THE PADDELE COURT CONTRACTOR IS TO BRACE AND SUPPORT THE UTILITIES TO PREVENT SETTLEMENT, DISPLACEMENT, OR DISTURBANCE TO THE UTILITIES. THE COST OF THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE PADDELE COURT CONTRACTOR IS TO USE CARE IN GRADING AND EXCAVATING NEAR EXISTING ITEMS TO REMAIN. DAMAGE TO EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS IS TO BE REPAIRED BY THE PADDELE COURT CONTRACTOR AT THE PADDELE COURT CONTRACTOR'S EXPENSE.
- FOUNDATION DESIGN WAS BASED ON AN ASSUMED MINIMUM ALLOWABLE BEARING CAPACITY OF 1,500 PSF ON EXISTING CONCRETE SLAB AND 3,000 PSF ON ADJACENT SOIL. SOIL BEARING CAPACITIES MUST BE VERIFIED BY A QUALIFIED TESTING AGENCY, RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION.
- WHERE SUITABLE BEARING SOILS ARE SOME DISTANCE BELOW THE PROPOSED BOTTOM OF FOOTING ELEVATION, THE UNSUITABLE SOIL MAY BE EXCAVATED AND REPLACED WITH A WELL-GRADED, ENGINEERED FILL. THE FILL IS TO BE PLACED AND COMPACTED AS RECOMMEND BY THE GEOTECHNICAL ENGINEER. ALTERNATIVELY, THE FOOTING MAY BE PLACED AT THE ELEVATION OF THE SUITABLE SOILS.
- ALL EXTERIOR FOOTINGS ARE TO EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST. (3'-6" BELOW ADJACENT FINISH GRADE, IF NOT SHOWN).
- GENERAL MACHINE EXCAVATION IS TO STOP NOT LESS THAN 4" ABOVE ELEVATION OF BOTTOM OF FOOTINGS. FINAL EXCAVATION TO UNDISTURBED SOIL, AT REQUIRED FOOTING ELEVATION, IS TO BE DONE BY HAND NOT MORE THAN 12 HOURS BEFORE FOOTING IS PLACED.
- ALL FOUNDATION EXCAVATIONS ARE TO BE CLEAN AND DRY PRIOR TO PLACING CONCRETE. BOTTOMS ARE TO BE INSPECTED AND DESIGN BEARING CAPACITY CONFIRMED BEFORE PLACING FOOTINGS.
- DO NOT PLACE FOOTINGS ONTO OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER, FROST OR ICE ENTER AN AREA AFTER SUB-GRADE APPROVAL, THE SUBGRADE IS TO BE REINSPECTED AFTER REMOVAL OF WATER, FROST OR ICE.

CONCRETE

- ALL CONCRETE WORK IS TO CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE PUBLICATIONS: ACI 301, ACI 304, ACI 311, ACI 315, ACI 318, ACI 347.
- ALL CAST-IN-PLACE CONCRETE IS TO BE OF THE TYPES AND HAVING MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW:

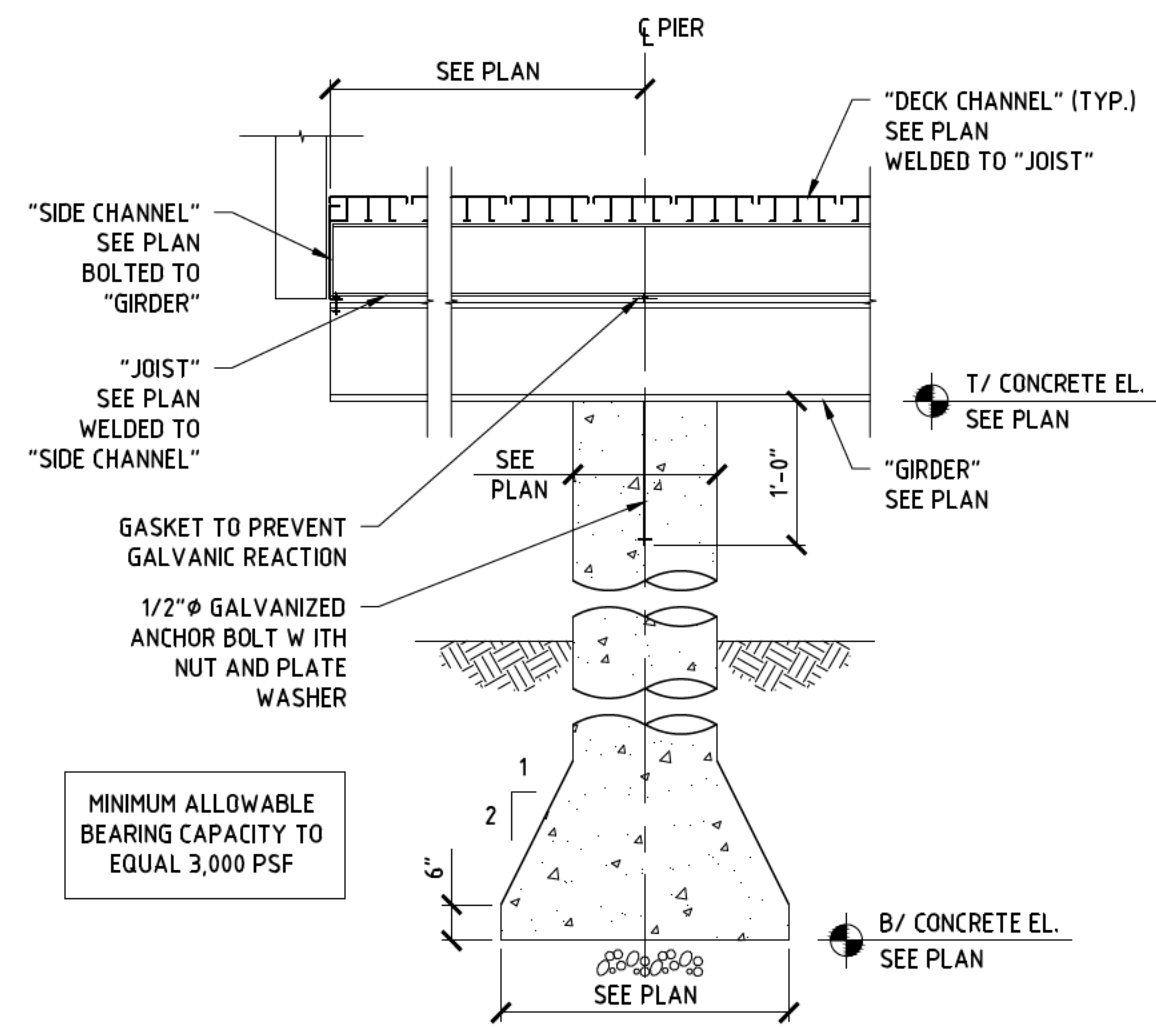
STRUCTURAL ELEMENT	28 DAY COMP. STR.	WEIGHT	REMARKS
FOOTINGS AND	4000 PSI	145 PCF	AIR-ENTRAINED
- CONCRETE PROTECTION FOR REINFORCING BARS IS TO BE AS FOLLOWS:
SURFACES NOT FORMED: 3"
FORMED SURFACES IN CONTACT WITH SOIL OR WATER, OR EXPOSED TO WEATHER: 2"
- DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE.
- THOROUGHLY CONSOLIDATE ALL STRUCTURAL CONCRETE WITH MECHANICAL VIBRATORS.

STRUCTURAL STEEL

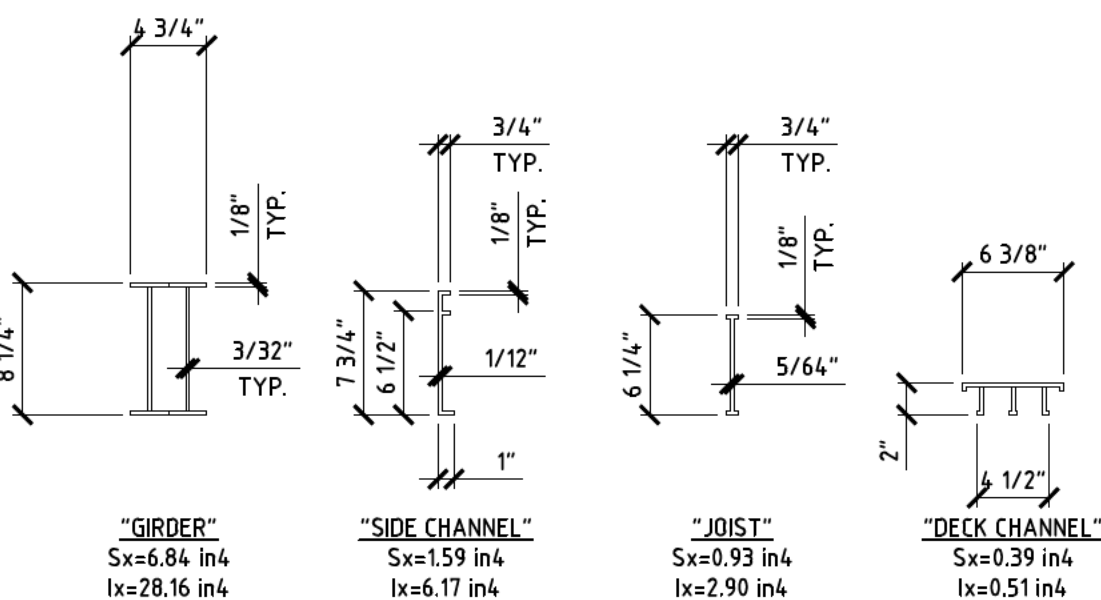
- ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL IS TO CONFORM TO AISC SPECIFICATIONS AND CODES.
- PROVIDE STRUCTURAL STEEL AS FOLLOWS:
ANCHOR BOLTS ASTM A307 (U.N.O.)
- ALL BOLTS, NUTS AND WASHERS ARE TO CONFORM WITH THE REQUIREMENTS OF ASTM A325 OR A490.

ALUMINUM

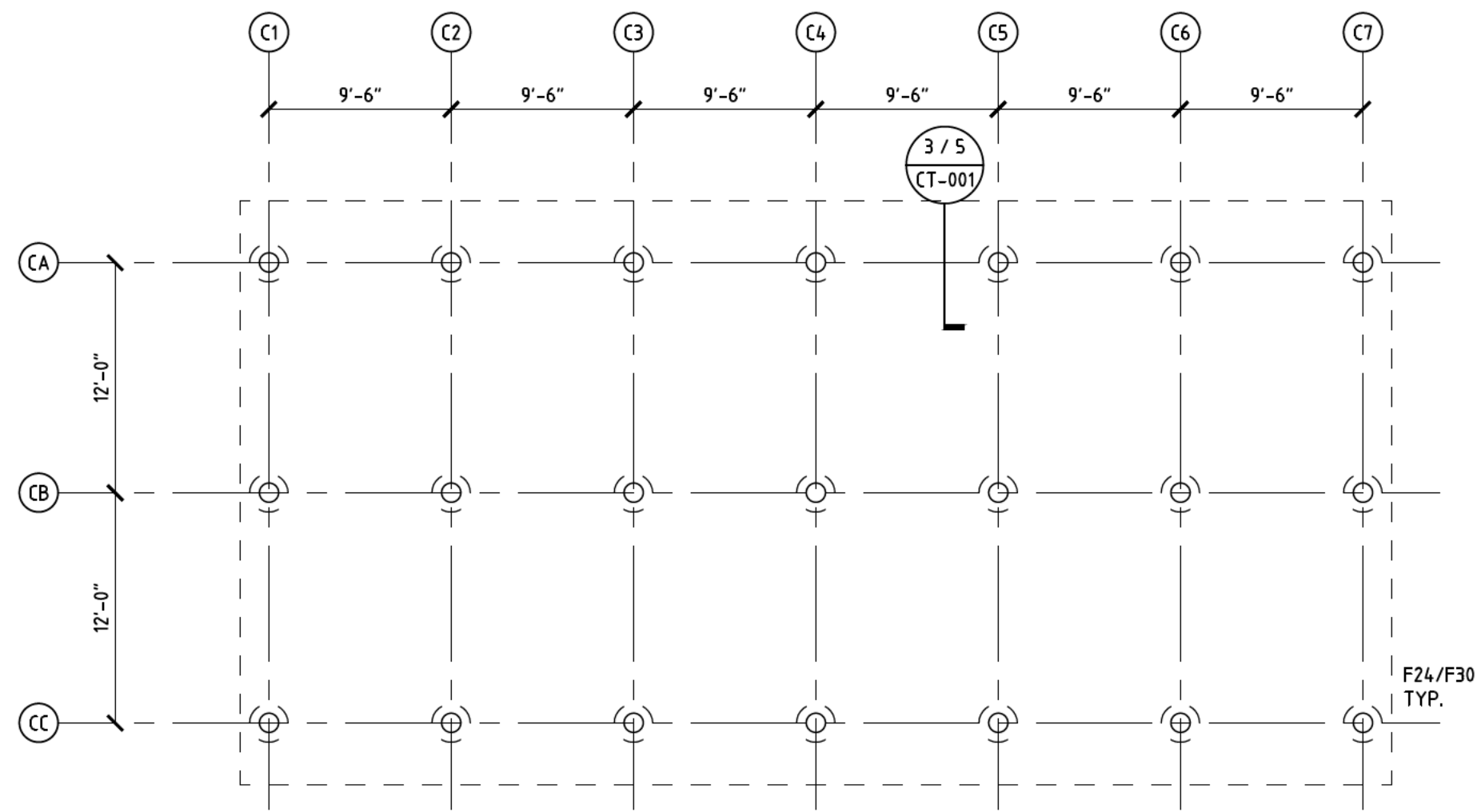
- ALL DETAILING, FABRICATION AND ERECTION OF ALUMINUM IS TO CONFORM TO THE LATEST EDITION OF THE ALUMINUM ASSOCIATION SPECIFICATION AND CODE.
- MATERIAL PROPERTIES:
ALL SECTIONS 6063-T6 ALLOY AND TEMPER
- ALL ALUMINUM MEMBERS ARE TO BE STRAIGHT AND FREE OF TWIST.
- ALL WELDING ELECTRODES ARE TO BE E4043.
- ALL WELDING WORK IS TO CONFORM TO THE AWS D11 STRUCTURAL WELDING CODE, LATEST EDITION, AND IS TO BE PERFORMED BY AWS CERTIFIED WELDERS.
- ALL BEAMS ARE TO BE FABRICATED WITH THE NATURAL CAMBER UP.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES, ESPECIALLY WITH RELATION TO TEMPERATURE DIFFERENTIAL AND ERECTION TOLERANCES.
- THERE IS TO BE NO FIELD CUTTING OF ALUMINUM MEMBERS, FOR THE WORK OF OTHER TRADES, WITHOUT THE PRIOR APPROVAL OF THE ENGINEER OF RECORD.



3 GIRDER BEARING AT CONCRETE PIER
SCALE: 3/4"=1'-0" RE: 1/CT-001, 2/CT-001, 1/CT-002, 2/CT-002

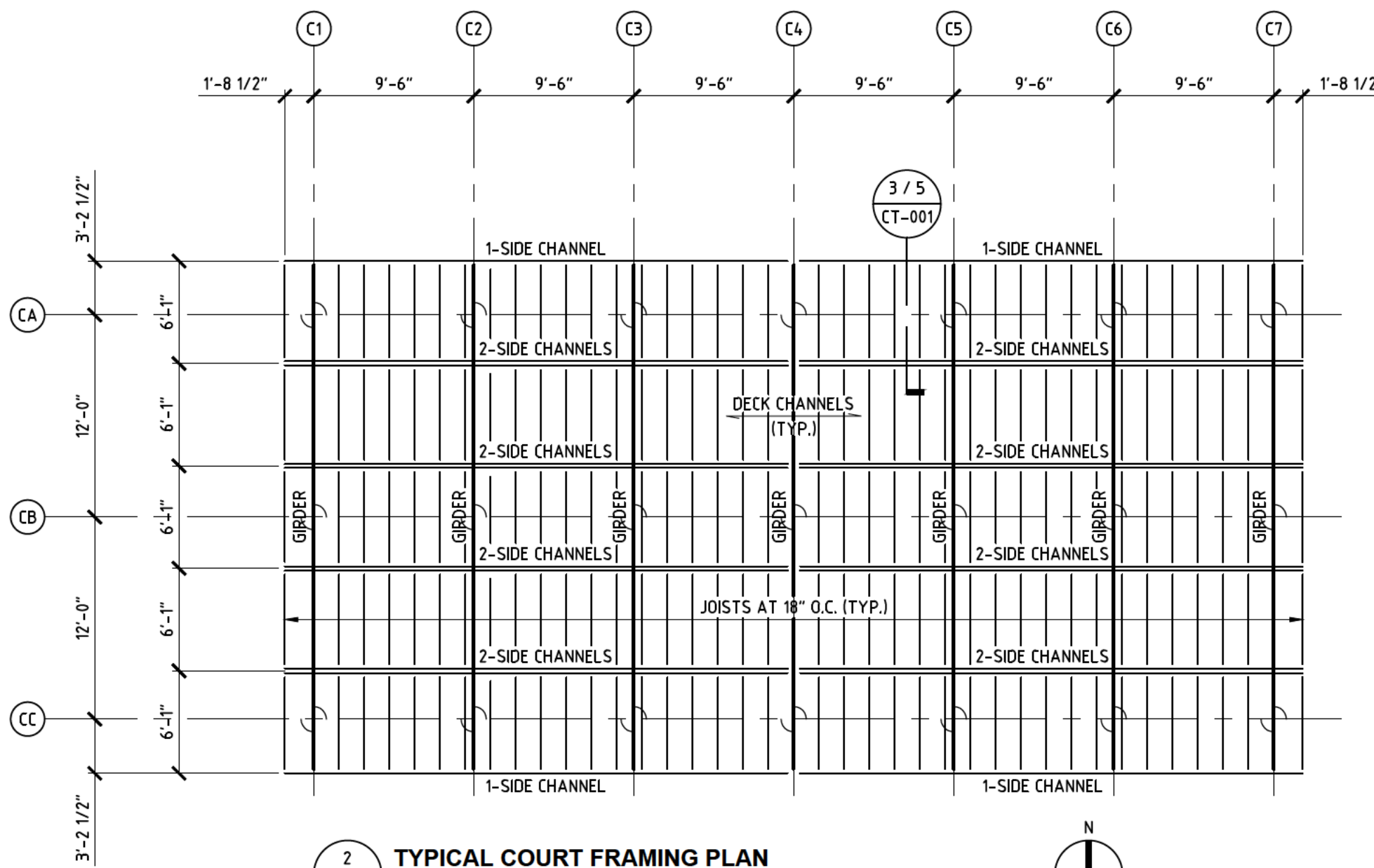


4 TYPICAL STRUCTURAL MEMBER SECTIONS
SCALE: 1\"/>



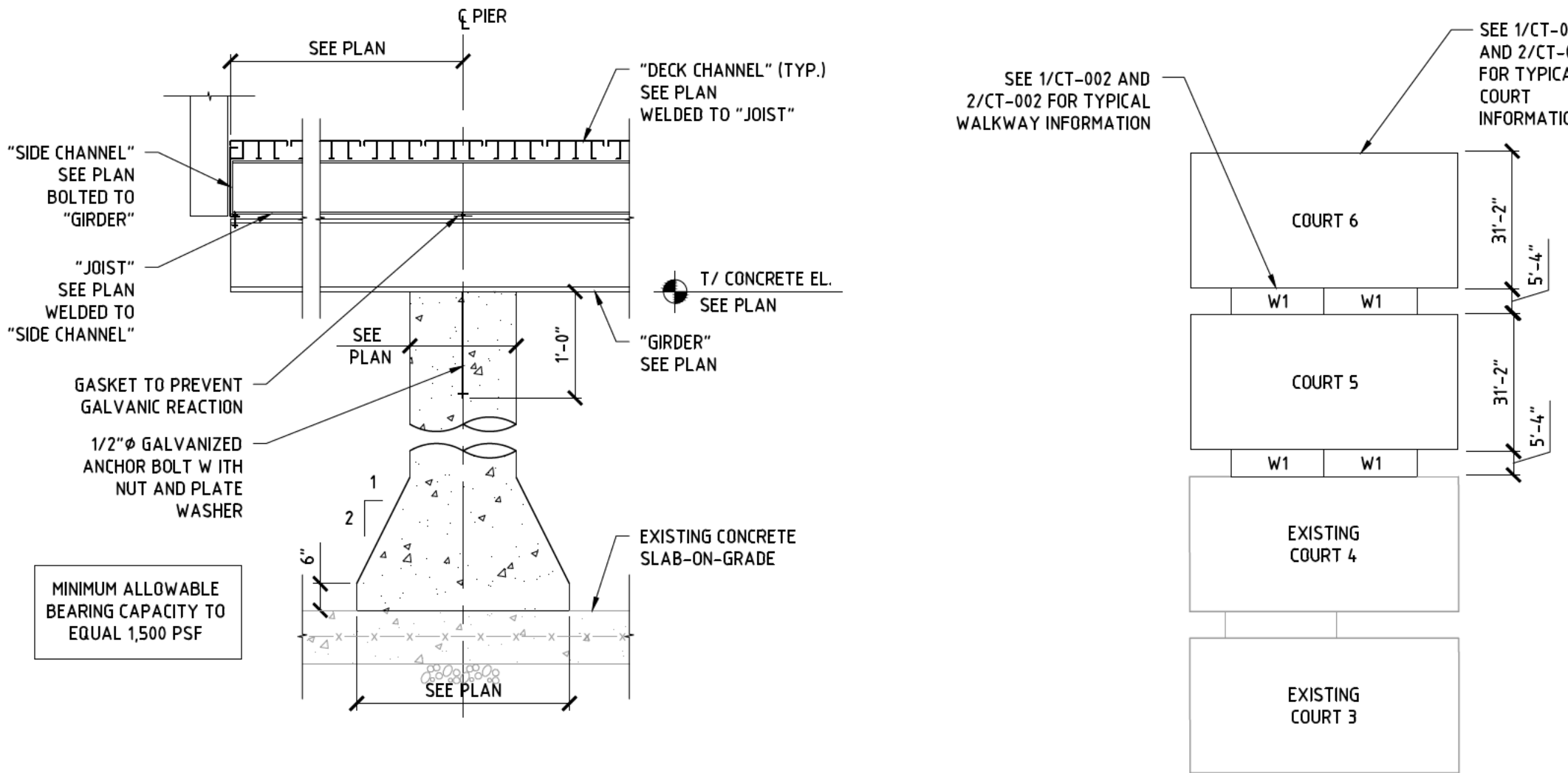
1 TYPICAL COURT FOUNDATION PLAN
SCALE: 1/8\"/>

- NOTES:
- F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE AT SOIL BEARING. F30 INDICATES 12"Ø CONCRETE PIER WITH 30"Ø BASE AT EXISTING CONCRETE SLAB-ON-GRADE BEARING. 1/FTG. EL. = -1'-4 1/2" U.N.O. B/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.



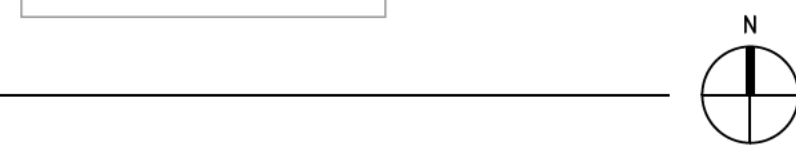
2 TYPICAL COURT FRAMING PLAN
SCALE: 1/8\"/>

- NOTES:
- SEE 4/CT-001 FOR TYPICAL STRUCTURAL MEMBER SECTIONS.



5 GIRDER BEARING AT CONCRETE PIER AT EXISTING CONC. SLAB
SCALE: 3/4\"/>

6 KEY PLAN
SCHEMATIC



RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696



Structural Engineers

106 W Calendar Ave #210
LaGrange, IL 60525
phone: 708.352.0359
www.louisshell.com

DESIGN FIRM: 184-004.600



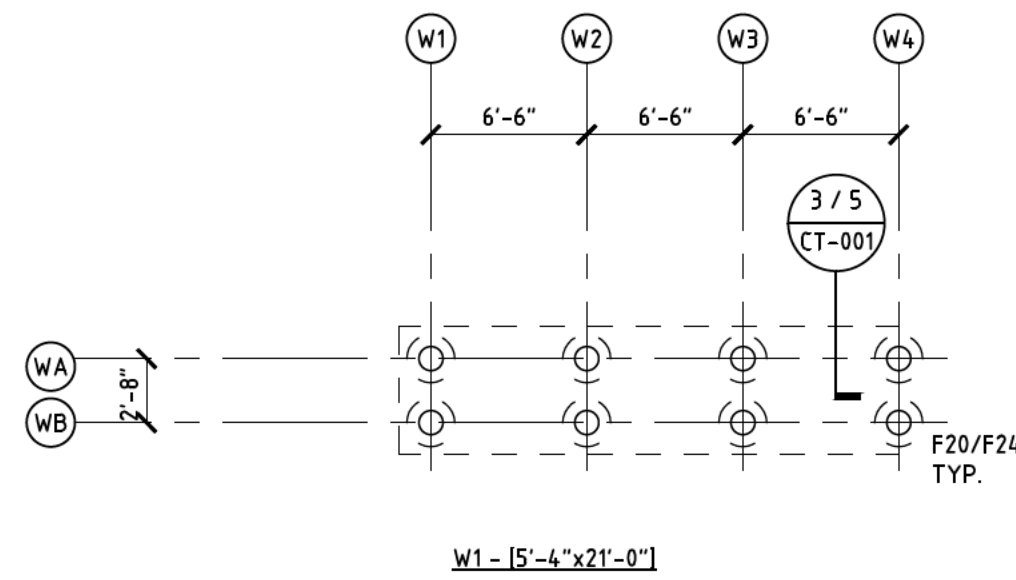
Exp. 11/31/24
01/20/2023

DATE	REVISION #	REMARKS
01/20/2023		ISSUED FOR PERMIT

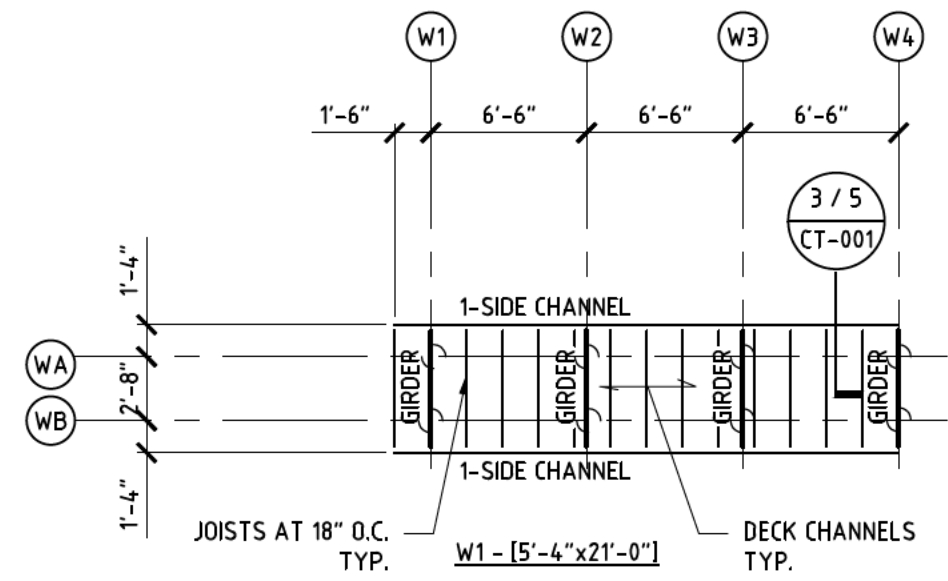
PROJECT
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS
SALT CREEK CLUB
830 N. MADISON ST.
HINSDALE, IL

DRAWING TITLE
GENERAL STRUCTURAL
NOTES, PLANS
AND DETAILS

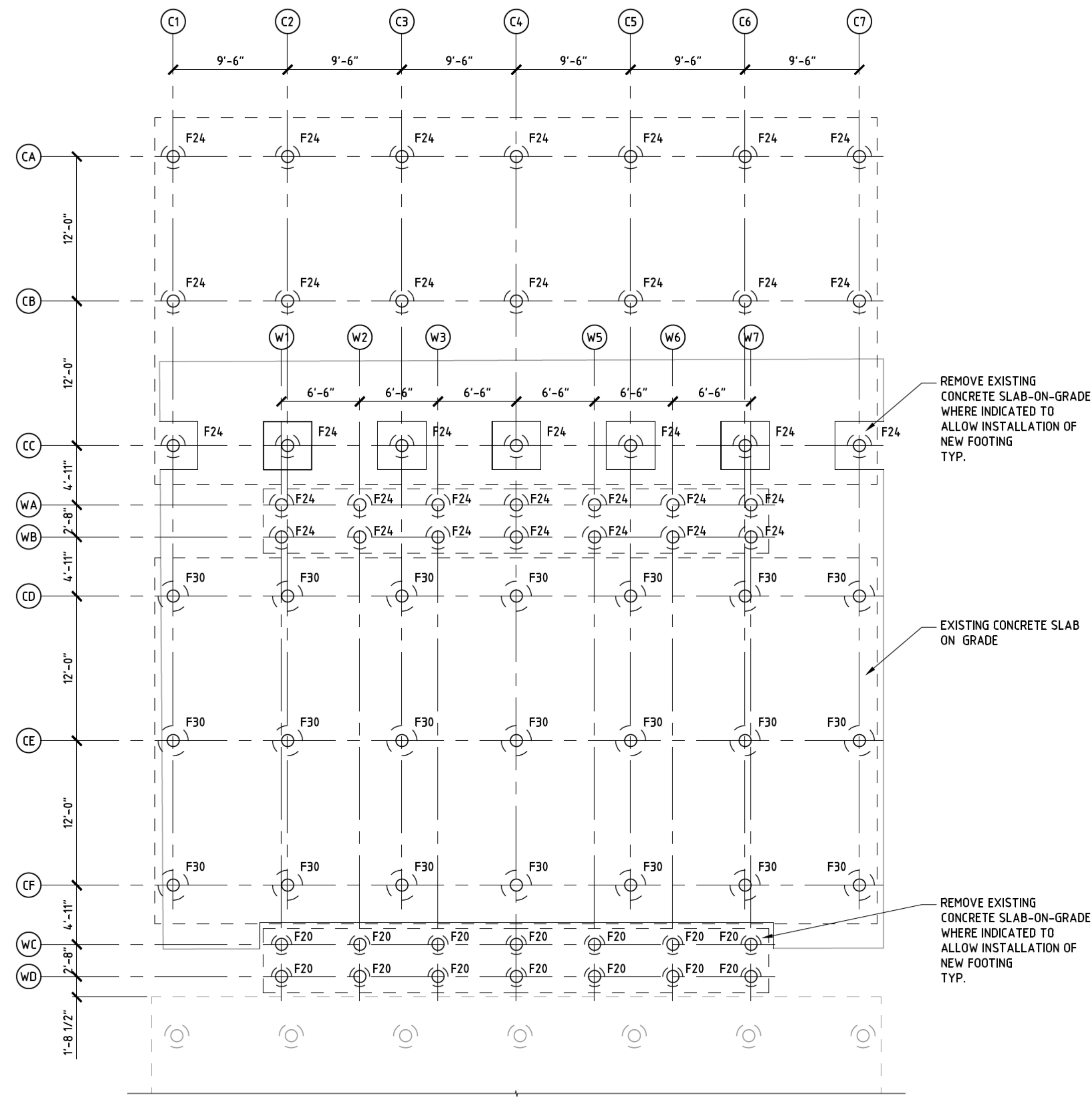
PROJECT #	RG2301
SCALE:	AS NOTED
DATE:	01.20.2023
DRAWN:	KO
CHECKED:	LS
SHEET NUMBER	CT-001
CAD FILE:	
X-REF:	



1 WALKWAY FOUNDATION PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. F20 INDICATES 12"Ø CONCRETE PIER WITH 20"Ø BASE AT SOIL BEARING. F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE AT EXISTING CONCRETE SLAB-ON-GRADE BEARING. T/FTG. EL. = -1'-4 1/2" U.N.O. B/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.



2 WALKWAY FRAMING PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. SEE 4/CT-001 FOR TYPICAL STRUCTURAL MEMBER SECTIONS.



3 CONCRETE PIER LAYOUT PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. F20 INDICATES 12"Ø CONCRETE PIER WITH 20"Ø BASE. F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE. F30 INDICATES 12"Ø CONCRETE PIER WITH 30"Ø BASE. T/FTG. EL. = -1'-4 1/2" U.N.O. B/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

LOUIS SHELL
STRUCTURES
Structural Engineers
106 W Calender Ave #210
LaGrange, IL 60525
phone: 708.352.0359
www.louisshell.com
DESIGN FIRM: 184-004.600



DATE	REVISION #	REMARKS
01/20/2023		ISSUED FOR PERMIT

PROJECT
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS
SALT CREEK CLUB
830 N. MADISON ST.
HINSDALE, IL

DRAWING TITLE
WALKWAY
FOUNDATION AND
FRAMING PLANS

PROJECT #	RG2301
SCALE:	AS NOTED
DATE:	01.20.2023
DRAWN:	KO
CHECKED:	LS
SHEET NUMBER	CT-002

TOPOGRAPHIC PLAT OF SURVEY

PARCEL 1:
THAT PART (EXCEPT THE EAST 2 RODS FOR ROAD) OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF HOLMES MADISON ST. ASSESSMENT PLAT, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954, AS DOCUMENT 707657, AND LYING NORTH OF THE NORTH LINE OF THE SOUTH 110 FEET OF THE NORTH 1210 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 2, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:
THE WEST 396 FEET (AS MEASURED ON THE NORTH LINE) OF THE NORTH 110 FEET OF THE SOUTH 220 FEET OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (AS ESTABLISHED BY FENCE LINE, BEING THE NORTH LINE OF LOGAN ACRES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 17, 1955, AS DOCUMENT 769566) OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS
830 N. MADISON STREET
HINSDALE, IL

DUPAGE COUNTY
PROPERTY INDEX NUMBER
(P.I.N.)
09-02-207-001



BOUNDARY DETAIL

AREAS	
PARCEL 1	345,207 SQ.FT. 7.925 AC
PARCEL 2	43,585 SQ.FT. 1.001 AC
TOTAL	388,792 SQ.FT. 8.925 AC (more or less)

NOTES

- DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND BEARINGS ARE BASED ON THE NAD83 ILLINOIS EAST STATE PLANE COORDINATE ZONE 1201, AS DETERMINED BY GPS MEASUREMENT.
- ELEVATIONS SHOWN ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS DETERMINED BY LOCAL C.O.R.S. OBSERVATIONS.
- NO TITLE COMMITMENT WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SURVEY. THE LEGAL DESCRIPTION SHOWN HEREON IS BASED ON Doc. R2016-007223 AND THE RECORDED HOLMES MADISON ST. ASSESSMENT PLAT. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO DEEDS, ABSTRACTS, TITLE POLICIES, SEARCHES OR COMMITMENTS, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.
- LOCATIONS OF IMPROVEMENTS SHOWN ARE BASED ON FIELD MEASUREMENTS COMPLETED ON JULY 26, 2022. NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE AND NO DIMENSIONS, LENGTHS OR WIDTHS SHOULD BE ASSUMED FROM SCALING. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

PREPARED FOR:
SALT CREEK TENNIS CLUB

PREPARED BY:

LANDMARK

ENGINEERING LLC

DESIGN FIRM REGISTRATION NO. 184-005577-0010

7808 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone (708) 599-3737

SURVEY No. 22-07-016-TOPOS-R

FIELD WORK COMPLETED: 12/01/2022

THIS PROFESSIONAL SERVICE CONFORMS TO THE
CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

DATE: 12/09/2022



MARK H. LANDSTROM I.P.L.S. No. 2625
LICENSE RENEWAL DATE: NOVEMBER 30, 2024

MEMORANDUM

TO: Village of Hinsdale Community Development Department

FROM: Louis Shell

DATE: January 18, 2023

RE: Platform Tennis Court Live Load
Salt Creek Club
830 N. Madison St.
Hinsdale, Illinois

The occupancy or use of a platform tennis court is not indicated in Table 1607.1 of the 2006 International Building Code. The following information is provided in accordance with section 1607.2: "Loads not specified" in order to demonstrate the suitability of using a uniform design load of 40 psf for this use / occupancy.

Platform tennis is a game played by four players: two teams of two. The maximum anticipated occupancy per court would be eight persons, potentially occurring while transitioning between games: four players entering the court as four others exit.

It is anticipated that the density of occupants within the court will be no greater than that which would be experienced within a "one- and two-family dwelling" Residential situation. 2006 IBC Table 1004.1.1 "Maximum Floor Area Allowances per Occupant" indicates a gross floor area of 200 sq. ft. per occupant for a Residential space. When the total court area of 1,845 sq. ft. is divided by 200 sq. ft. / occupants, the resulting maximum occupancy is nine people. This closely matches the actual anticipated occupancy described above.

2006 IBC Table 1607.1 "Minimum Uniformly Distributed Live Loads" indicates a maximum uniform design live load of 40 psf for a "one- and two-family dwelling". Based on this and the information above, it appears appropriate to use a uniform design live load of 40 psf for a platform tennis court.

With the Village of Hinsdale Community Development Department's approval, it is recommended that the occupancy of each court be limited to eight (8) people and that an occupancy load sign indicated such be prominently placed at the entry of each court. It is additionally recommended that the Club Owner / management submit a letter to the Village of Hinsdale Community Development Department indicating that the number of people at each court will be limited eight (8) people.



REILLY GREEN MOUNTAIN PLATFORM TENNIS COURTS

300 Boston Post Rd.
Orange, CT 06477

ph: 203-795-5696
fax: 203-795-9120

www.platformtennis.com

February 24, 2023

Mr. Steven J Wolsfeld – General Manager
Salt Creek Club
830 N. Madison Street
Hinsdale, IL 60521

Dear Steven,

Please be advised that the lights being furnished and installed at the platform tennis courts located at Salt Creek Club are 150 watt fixtures with shields/shrouds. These lights will conform to Hinsdale code # (Section 9-101(D)(9)) which states "Any permitted accessory lighting fixtures shall be so designed, arranged, and operated as to prevent glare and direct rays of light from being cast on to any adjacent public or private property or street and so as not to produce excessive sky reflected glare. Except for streetlights, no exterior light in or adjacent to any residential district shall be so designed, arranged, or operated to produce an intensity of light exceeding one-half (1/2) foot-candle at any residential lot line".

Please note the industry standard is 5000K for platform tennis lighting as this is the safest light to play platform tennis at night. As Salt Creek plays interclub matches with other clubs, it is important that the playing surfaces are as uniform as possible with the other clubs including the lighting.

Please feel free to contact us should you require any further information.


Sincerely,

RPTC, LLC
Reilly Green Mountain Platform Tennis



Chris J. Casiraghi

Project Details line 2 line 3 line 4	
---	--

Luminaire Schedule								
Symbol	Qty	Label	Description	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Total Watts
	16	1L-SB15W27-50K-D-T3-lens	150W SB	SINGLE	19834	1.000	150.1	2401.6

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	1L-SB15W27-50K-D-T3-lens hood	87.317	164.693	20	90	0
2	1L-SB15W27-50K-D-T3-lens hood	100.808	165.111	20	90	0
3	1L-SB15W27-50K-D-T3-lens hood	114.299	165.53	20	90	0
4	1L-SB15W27-50K-D-T3-lens hood	127.79	165.948	20	90	0
5	1L-SB15W27-50K-D-T3-lens hood	86.514	195.051	20	273.494	0
6	1L-SB15W27-50K-D-T3-lens hood	100.005	195.456	20	273.494	0
7	1L-SB15W27-50K-D-T3-lens hood	113.497	195.86	20	273.494	0
8	1L-SB15W27-50K-D-T3-lens hood	126.988	196.265	20	273.494	0
9	1L-SB15W27-50K-D-T3-lens hood	87.631	158.53	20	273.494	0
10	1L-SB15W27-50K-D-T3-lens hood	101.122	158.935	20	273.494	0
11	1L-SB15W27-50K-D-T3-lens hood	114.614	159.339	20	273.494	0
12	1L-SB15W27-50K-D-T3-lens hood	128.105	159.744	20	273.494	0
13	1L-SB15W27-50K-D-T3-lens hood	88.434	128.172	20	90	0
14	1L-SB15W27-50K-D-T3-lens hood	101.925	128.59	20	90	0
15	1L-SB15W27-50K-D-T3-lens hood	115.416	129.009	20	90	0
16	1L-SB15W27-50K-D-T3-lens hood	128.907	129.427	20	90	0

Project
Details
line 2
line 3
line 4

Date:2/24/2023

Numeric Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	5.24	59.3	0.0	N.A.	N.A.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min

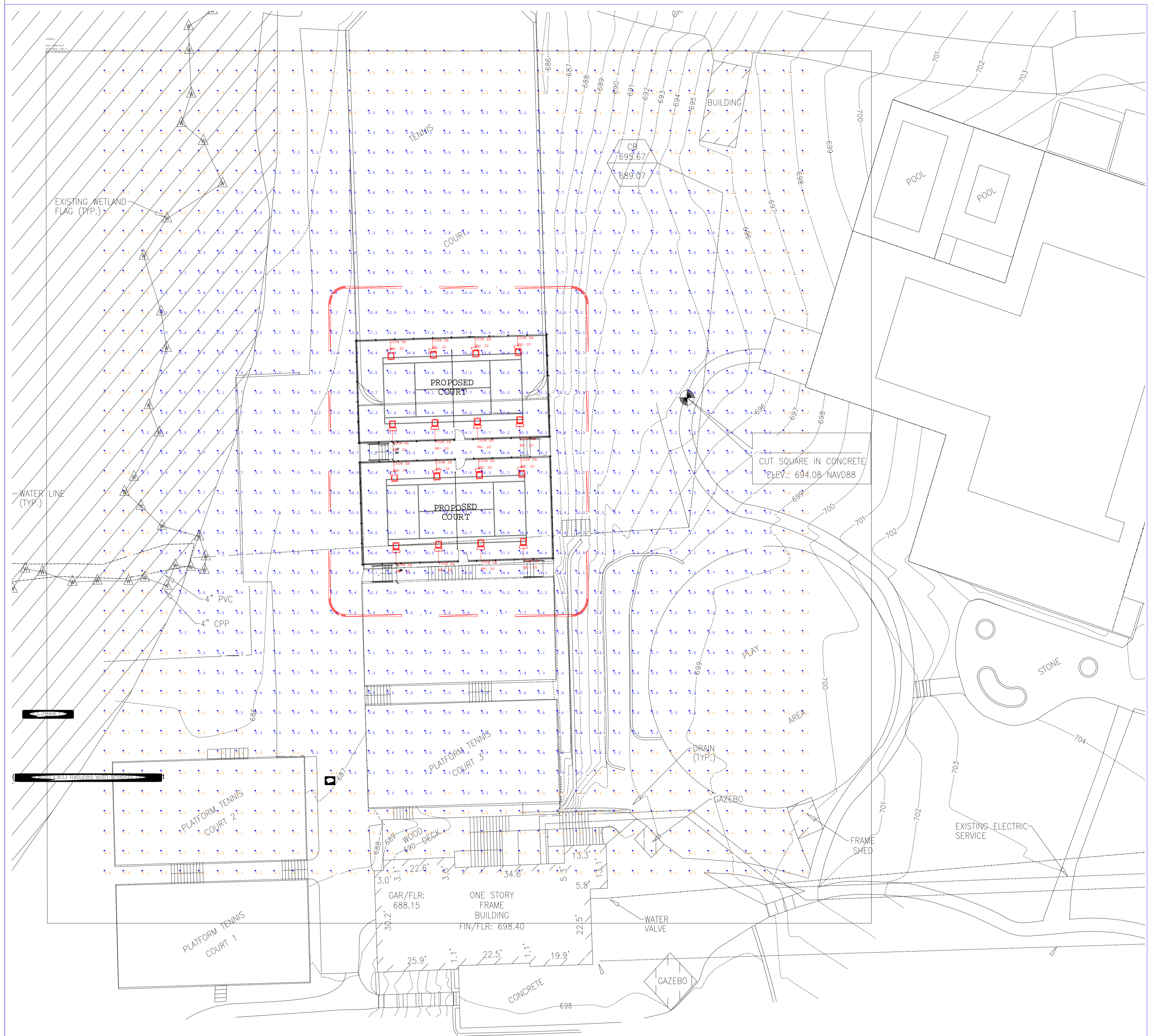
LPD Area Summary			
Label	Area	Total Watts	LPD
LPDArea_1	68626	2401.6	0.035

Luminaire Tag Summary	
Tag	Qty
150W SB	16

Project Details line 2 line 3 line 4	
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Date:2/24/2023

Date:2/24/2023

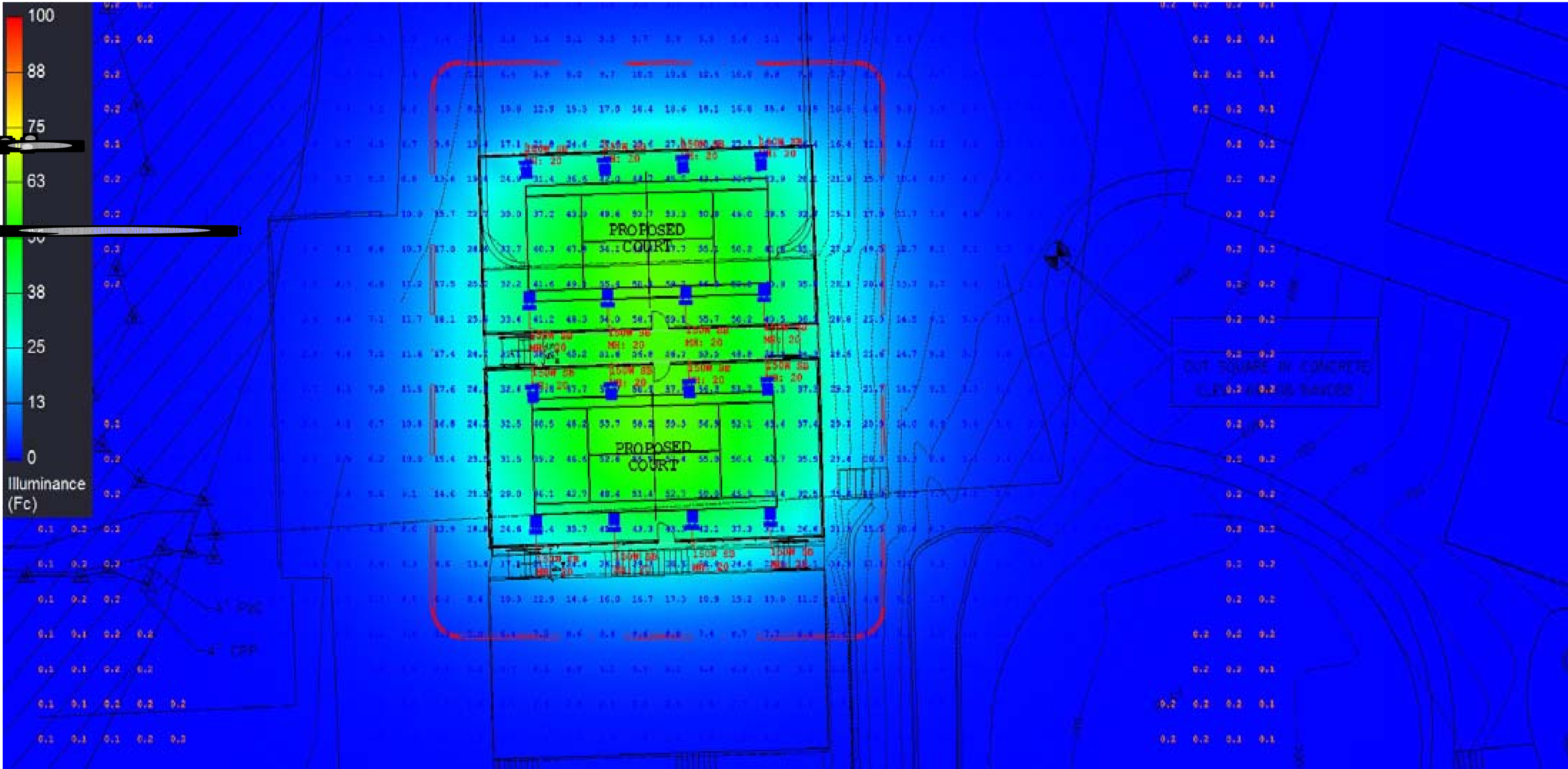
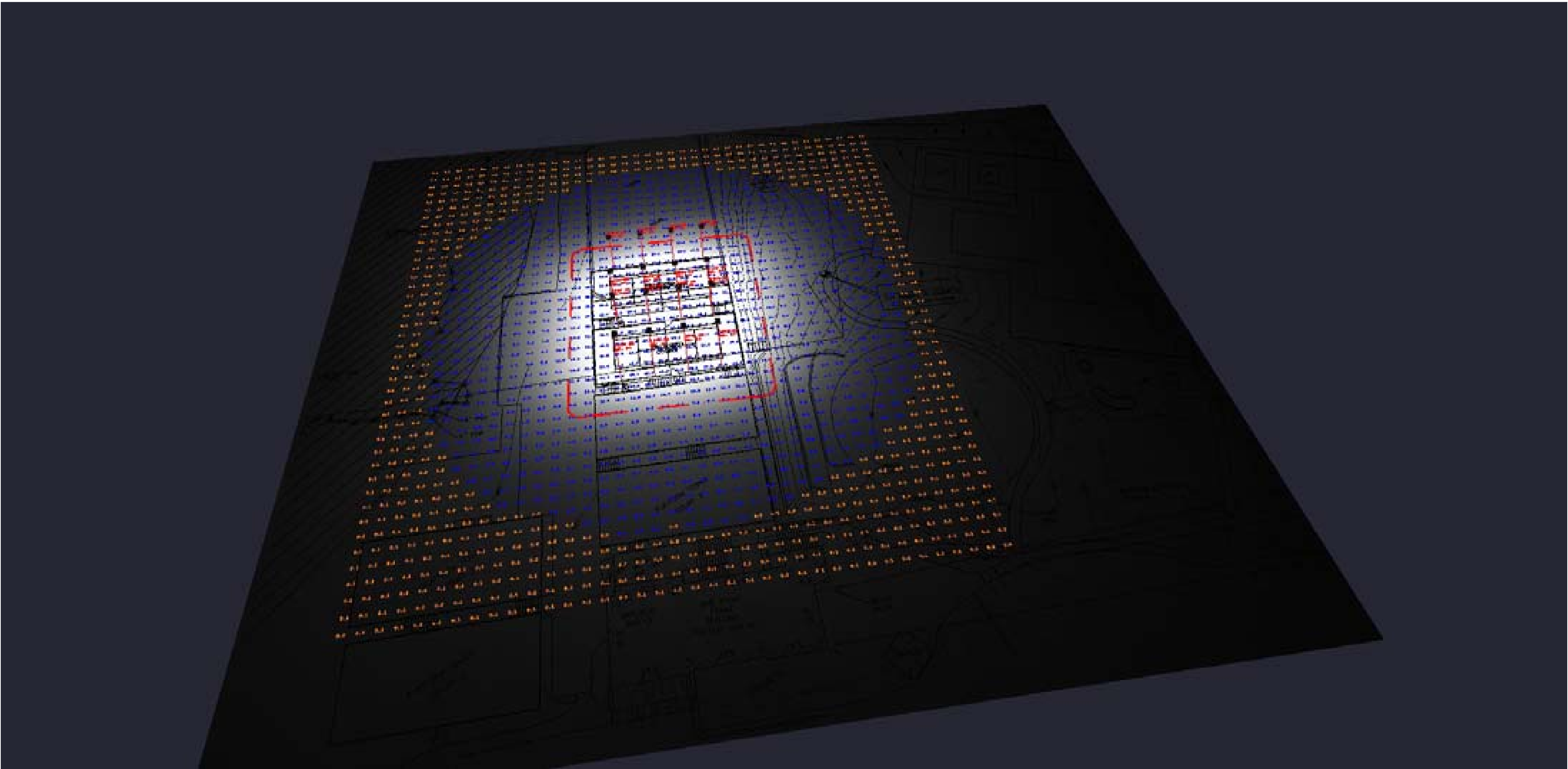


View of point by point

Project
Details
line 2
line 3
line 4

Date:2/24/2023

Page 4 of 4





150W LED SHOEBOX LIGHT



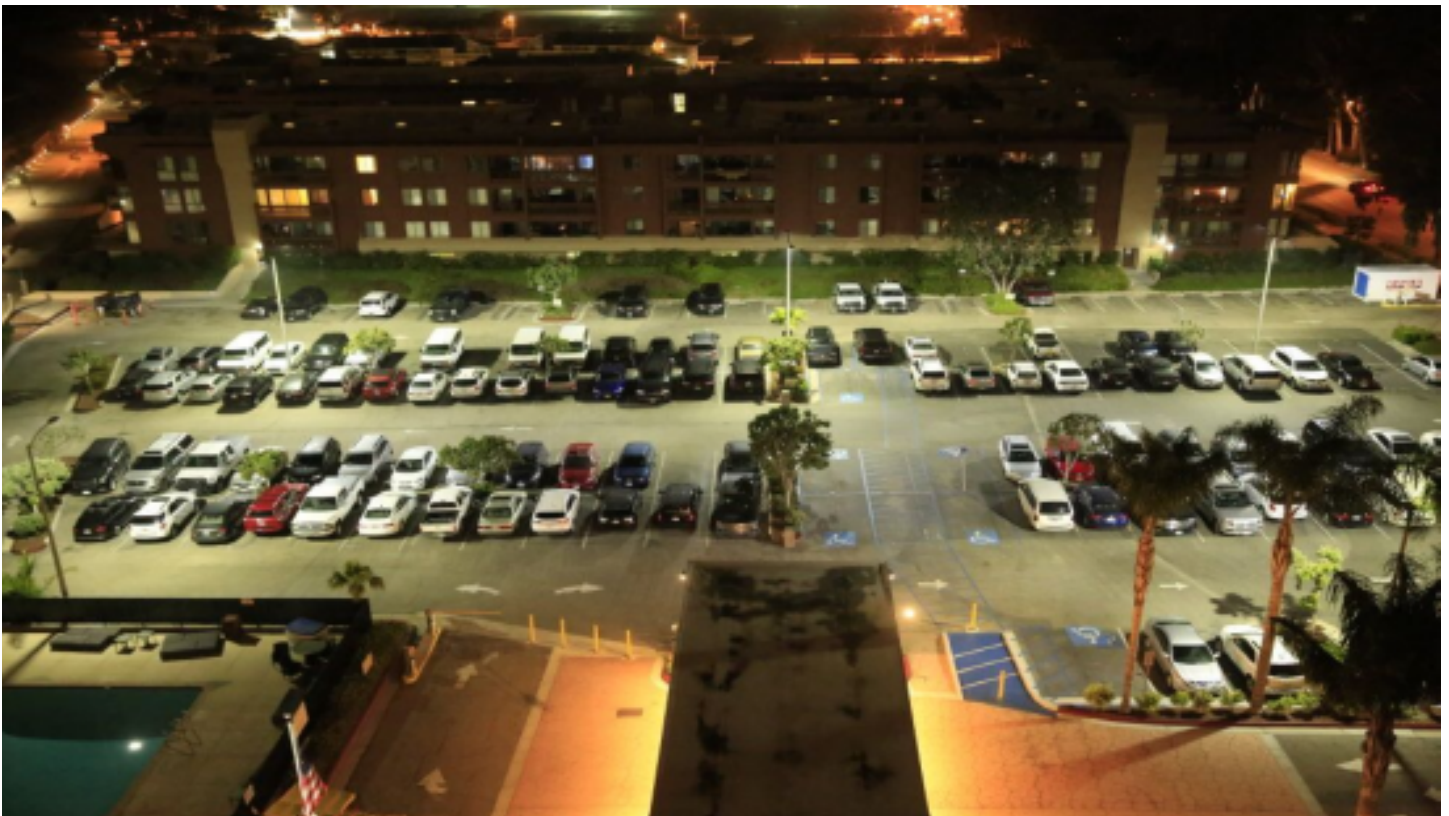
Features

- Lumileds LED, high luminous efficiency and long working life.
- High efficiency LED Driver, the wide range input voltage AC120-277V/AC200-480V.
- Die Cast aluminium cooling design, high quality and better cooling for LED $T_j < 85^{\circ}\text{C}$. Excellent
- Optics design, greatly improve the light utilization and evenness.

Motion sensor Control Available (Option)

Product Applications

WISDOM LED SHOEBOX LIGHT series can be widely used in outdoor lighting(Wet location),Excellent for Museums, Art Galleries, Underground parking lot, Buildings,The lawn, Industrial areas, Residential areas, Sidewalks, Parking lot, Schools and etc,and many more applications.



WISDOM OPTOELECTRONICS TECHNOLOGY CO.,LIMITED
Add: FLOOR 8,BUILDING B1 SUNSHINE INDUSTRIAL PARK HEZHOU
XIXIANG BAOAN DISTRICT SHENZHEN, GUANGDONG , CHINA, 518126.

Tel: +86 755 2744 8585
+86 755 2744 8884
Fax: +86 755 2744 8089
Email: leo.zhu@wisdom-ssl.com
Website: www.wisdom-ssl.com

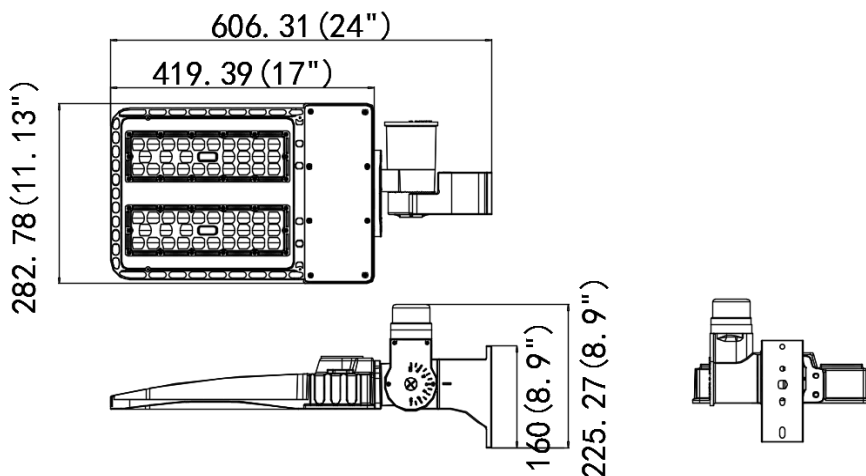


Wisdom
wisdom light, wisdom life.

Product family data sheet

Specifications

Unit : inch(mm)



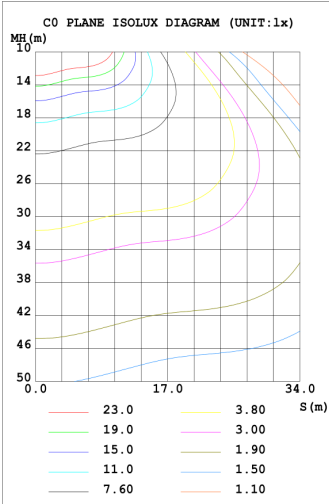
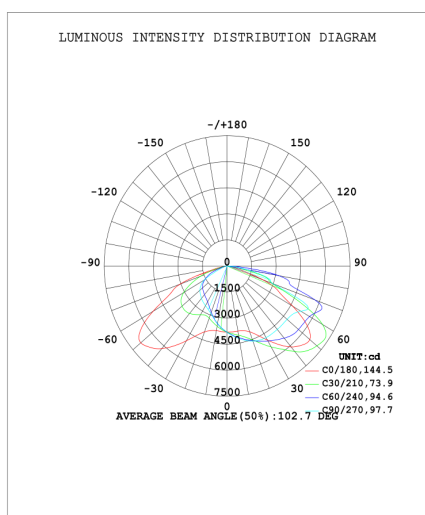
Structure Features

- Shell materials: Aluminum & PC.
- Finish: Dark Bronze/White
- Net weight : 6.0Kg (13.2 lbs)
- Product Size: 606mm*282mm*160mm
- Carton Size: 570mm*350mm*150mm

Technical Parameters

WSD-SB15W27-XXK-Z-TN-U-Y-#			
Power	150W	Lighting Angle	Type II, III, IV, V
Input Voltage	AC120-277V/AC200-480V	LED Brightness Decay	<5%/6000 hrs
PF	>0.95	Working Life	>50000 hrs
Driver Efficiency	>90%	Working Temperature	-30 - +45°C
Luminous Flux	21000 Lm	Storage Temperature	-40 - +80°C
Color Temperature	4000K/5000K	Protection Level	Wet Location/IP66
CRI	Ra>70	Cable	3 core, 18AWG
Optional dimming function	1-10Vdc	EPA	1.5FT ²

Photometry



1.219m	1368,2727lx	304.91cm
2m	508.3,1013lx	500.18cm
3m	225.9,450.4lx	750.26cm
4m	127.1,253.3lx	1000.35cm
5m	81.33,162.1lx	1250.44cm
6m	56.48,112.6lx	1500.53cm
7m	41.50,82.72lx	1750.61cm
8m	31.77,63.34lx	2000.70cm
9m	25.10,50.04lx	2250.79cm
10m	20.33,40.53lx	2500.88cm

Example: WSD-SB15W27-XXK-Z[D,W,B,S]-TN[T2,T3,T4,T5]-U[S,A,T]-Y[Blank,P]-#[Blank,M]

WSD	SB	15W	27	XXK	Z	TN	U	Y	#
Company	Product	Power	Voltage	Color Temp	Finish	Light Angle	Mounting Mean	Control	Control
	SB	15W(150W)	27	40K(4000K)	D(Dark Bronze)	T2(Type II)	S(slip fitter)	P	M
WISDOM	SHOEBOX		AC120-277V	50K(5000K)	W(White)	T3(Type III)	A(Arm)	Photocell	Motion sensor
			48	±500K	B(Black)	T4(Type IV)	T(Trunnion)		
			AC200-480V		S(Silvery)	T5(Type V)			

WISDOM OPTOELECTRONICS TECHNOLOGY CO.,LIMITED

Add: FLOOR 8,BUILDING B1 SUNSHINE INDUSTRIAL PARK HEZHOU
XIXIANG BAOAN DISTRICT SHENZHEN, GUANGDONG, CHINA, 518126.

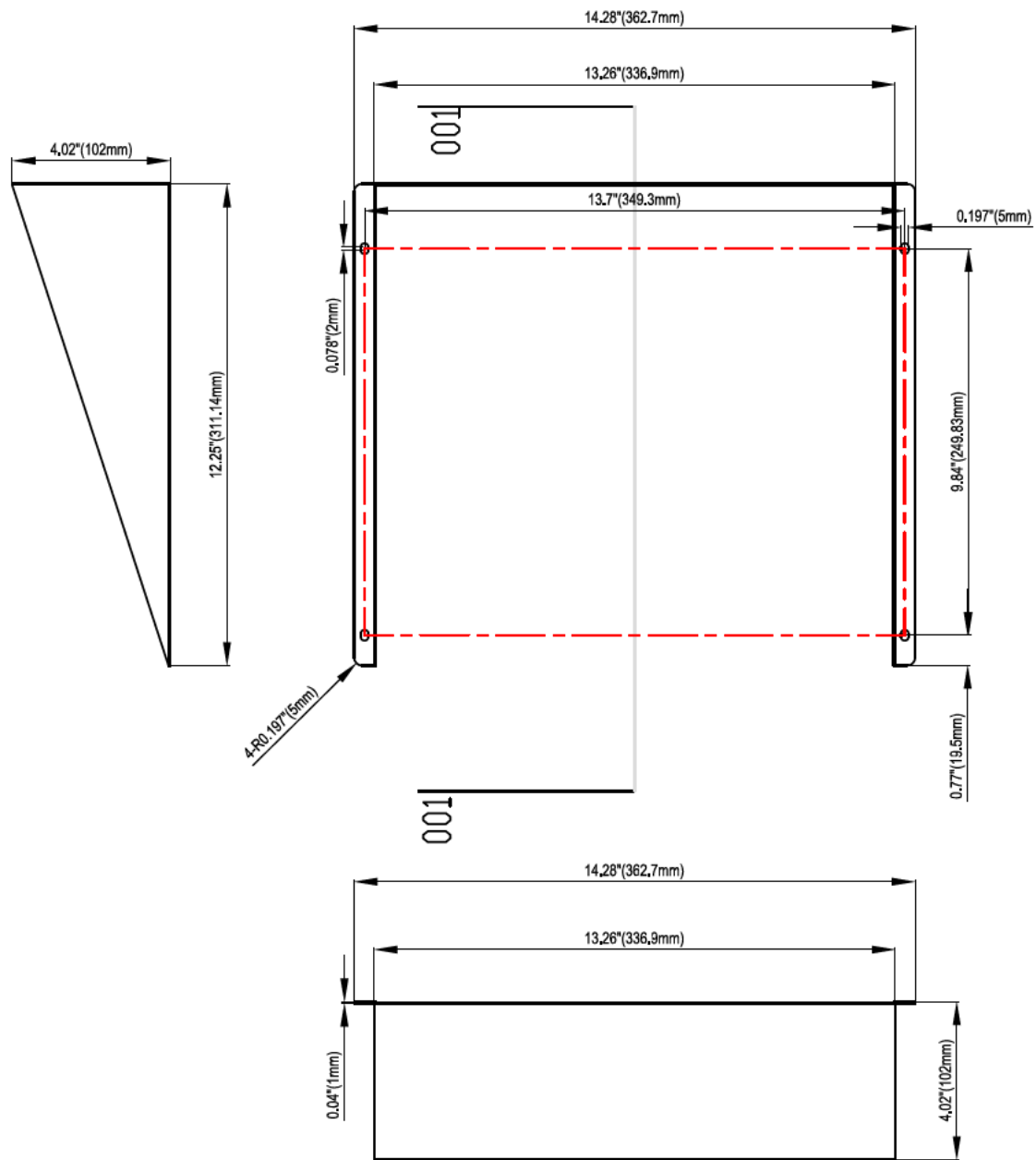
Tel: +86 755 2744 8585

+86 755 2744 8884

Fax: +86 755 2744 8089

Email: leo.zhu@wisdom-ssl.com

Website: www.wisdom-ssl.com



截面 001-001

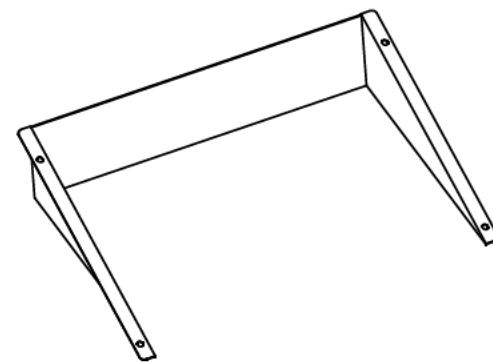
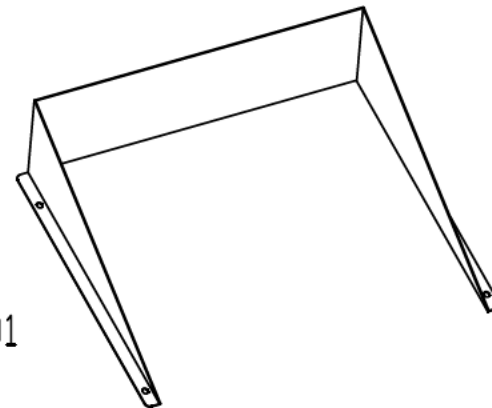
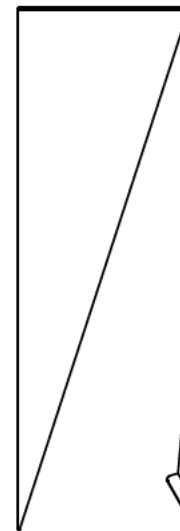


EXHIBIT #5

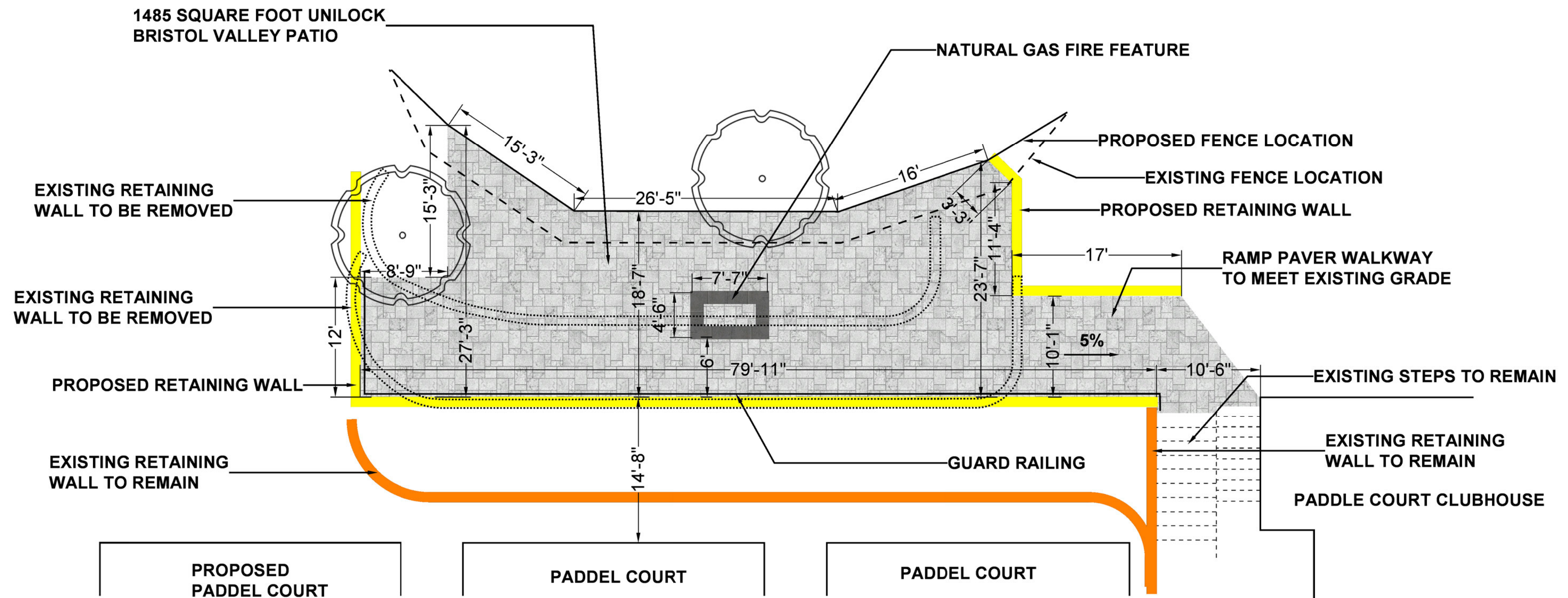
NEW VIEWING PATIO PLAN,
PAVER SPECS, HANDRAIL
INFORMATION & RELATED
LANDSCAPING PACKAGE

Project:
Salt Creek Club, Inc.
830 N. Madison St.
Hinsdale, IL 60521

Design by:
CMS Landscapes Inc

5719 Pershing Ave
Downers Grove, IL 60516
Phone: (630)319-1380
info@cmslandscapes.com

Scale: 1/8"=1'



Westbury Tuscany Aluminum Guard Rail With 2-1/2" Power Post

OPEN FENCE/PEDESTRIAN GUARDRAIL SYSTEMS SECURED TO 6" DIAMETER CONCRETE PIER WITH 4- 3/8" GALVANIZED LAG SCREWS @ 8 FEET O.C. MAX.

CAP BLOCK ATTACHED WITH
3 CONTINUOUS 3/8" THICK BEADS
OF EPOXY ADHESIVE, TYP

UNILOCK PISA 2 BLOCK, TYP
LOCATE PERFORATED OR SLOTTED PVC
OR CORRUGATED HDPE DRAIN ABOVE
GRADE; DAYLIGHTS AT 25 O.C. MAX, TYP

ALL TOPSOIL SHALL BE STRIPPED FROM THE AREA. WHERE ORGANIC MATERIAL EXISTS, EXCAVATE DOWN TO SUITABLE SOIL FROM THE FRONT OF THE BASE COARSE TO THE BACK OF THE REINFORCED ZONE AND COMPACT BACK UP WITH CRUSHED GRANULAR I.D.O.T. SPEC CA-6.

ASSUMED FOUNDATION SOIL STRENGTH:
LONG TERM PHI = 28°
LONG TERM COHESION = 100 PSF
Qallow = 3,000 PSF MINIMUM

**UNILOCK OLDE PISA 2 BLOCK
GENERAL RETAINING WALL SECTION**

(N.T.S.)

ALL TOPSOIL AND UNSUITABLE FILL MUST BE STRIPPED AND REMOVED FROM THE AREA PRIOR TO WALL CONSTRUCTION

— FILTER FABRIC AS SHOWN
AROUND REINFORCED ZONE, TYP

—COMPACT ALL DISTURBED SOIL
IN EXCAVATED AREAS.

— REINFORCED SOIL ZONE (AND AREA ABOVE) SHALL BE COMPACTED SUITABLE STIFF CLAY SOIL (EITHER IMPORTED OR FROM OTHER AREAS ON SITE) TESTED BY THE GEOTECHNICAL ENGINEER AND MEETING THE STRENGTHS SPECIFIED:
LONG TERM $\phi = 28^\circ$
LONG TERM COHESION = 50 PSF

STIFF CLAY, MINIMUM RETAINED SOIL STRENGTH:
LONG TERM PHI = 28°
LONG TERM COHESION = 50 PSF

— RETAINED SOIL ZONE —

—APPROXIMATE LIMITS OF
EXCAVATION; BENCH CUT
SLOPE PER OSHA

—4" DIA. DRAIN TILE WRAPPED IN
FILTER SOCK (EL. VARIES)

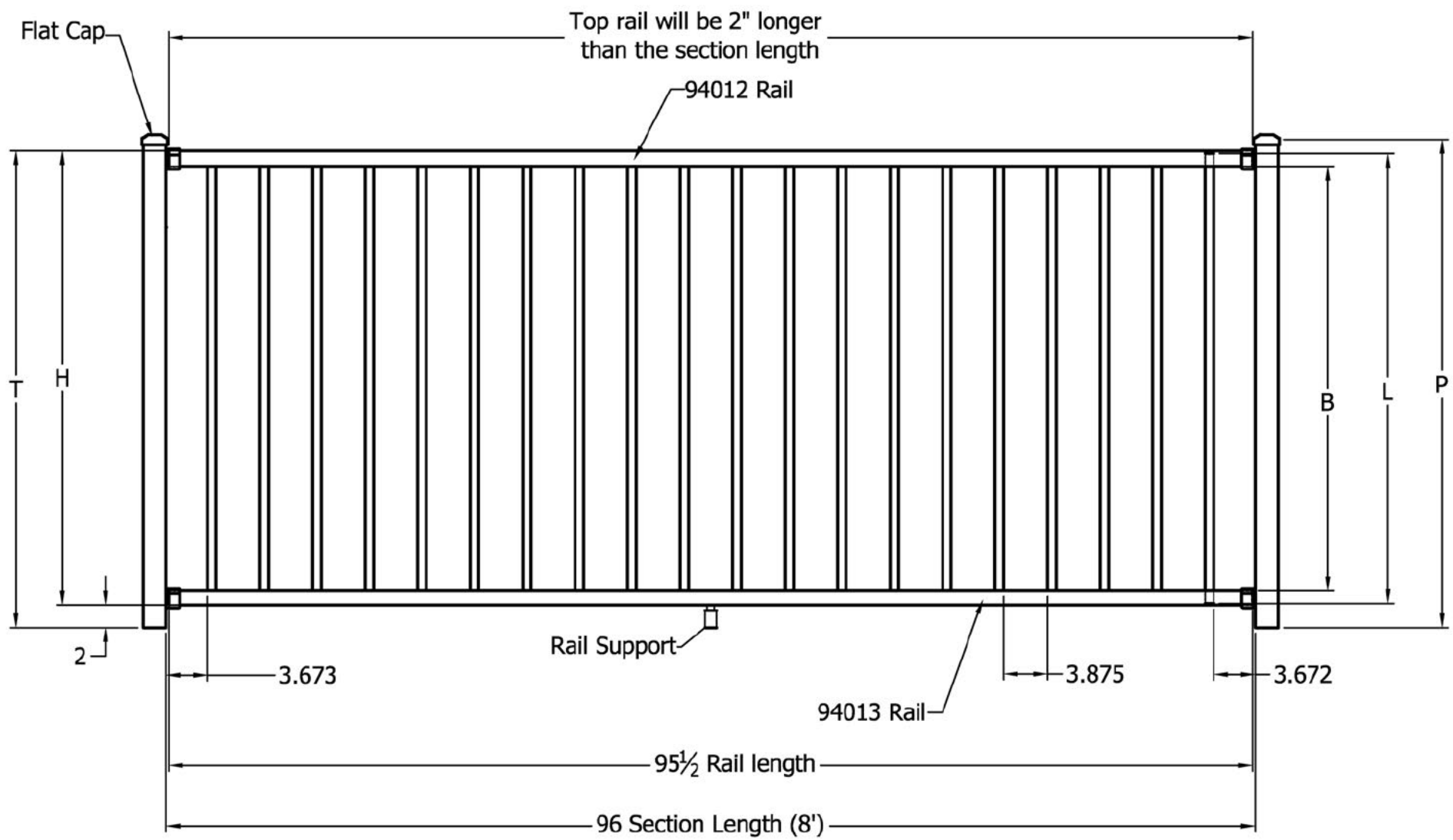
— PROVIDE COMPACTED VERY STIFF

COHESIVE CLAY UP TO DRAIN TILE
—6" MINIMUM COMPACTED CRUSHED CA-6
GRANULAR BASE COURSE LEVELING PAD

ALL REMOVED, NEW OR EXISTING UTILITIES SHALL BE BACKFILLED WITH COMPACTED CRUSHED GRANULAR CA-6 UP TO BASE COURSE ELEVATION. G.C. TO COORDINATE.

NOTE: DO NOT PLACE ANY REINFORCING BETWEEN THE BASE COURSE AND THE FIRST BLOCK.

PART NUMBER:			
REV.	LOC.	REVISION	DATE
A		RELEASE PENDING APPROVAL	



Railing Call Size	T	H	B	L	P
42" Railing	42	40	37 3/8	39 1/2	43

FINISH:

DSI Digger Specialties, Inc. 3446 US 6 EAST Bremen, IN 46506

SHEET SIZE= C	DRAWN BY: fsb	PART NUMBER:	
SCALE = none	DATE DRAWN: 09-30-2014		
STANDARD TOLERANCE: .00 ±.01 FRACTIONS: .000 ±.005 ANG. ±5°	LOC ACAD: 2:/Alum/Westbury/C10 Tuscany/Sections	STYLE: C10 Tuscany	
DRAFT: 20140930-6F	LOC PDF:	FILE NAME: C-10 8 foot	SHEET OF REV. A

Tuscany Series

ALUMINUM RAILINGS



MADE
IN THE
USA

Beauty, distinction and lasting value are a few ways to describe Westbury® Aluminum Railing Products. The Tuscany Series adds a touch of class with classic 2-rail designs. These designs are accented with a stylish top rail and 3/4" square balusters along with a variety of satin, textured and multi-colored finishes and a lifetime limited warranty.



- Railing Heights: 42", 48"
- Railing Lengths: 4', 5', 6', 7', 8'
- Adjustable Leveling Posts
- Pre-Routed Top & Bottom Rails
- Adjustable Gate & Hardware
- Limited Lifetime Warranty
- Warrantied Performance for Coastal Applications*

Powder Coating Colors

AAMA 2604



Gloss White ★



Yellow ★



Satin Black



Ninety Bronze



White Fine Texture



Gloss Beige



Brown Fine Texture



Bronze Fine Texture



Speckled Walnut



Chocolate

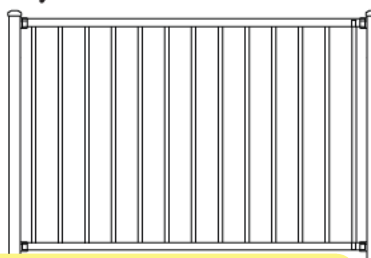


Sandy Shore

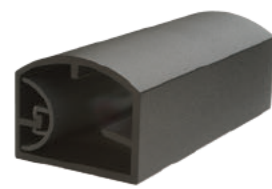


Silver

Style C10



Style C10 with 3/4" Square Balusters



3/4" Square Balusters

Rail Kit includes:

Pre-routed Top & Bottom Rails, Balusters & Mounts

Colors shown are for representation only. Please consult actual samples for accurate powder coating colors.

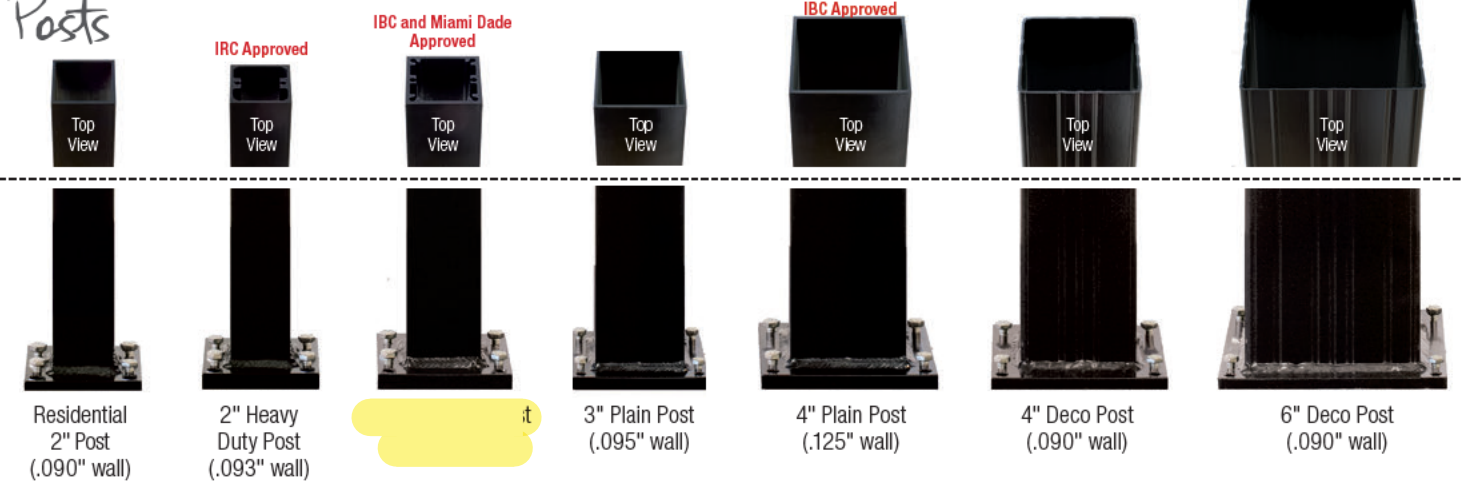


Options & Accessories



Westbury® Accessories add the finishing touch to your masterpiece. Available in 12 standard AAMA 2604 compliant powder coated colors.

Posts



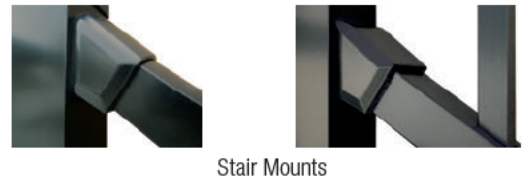
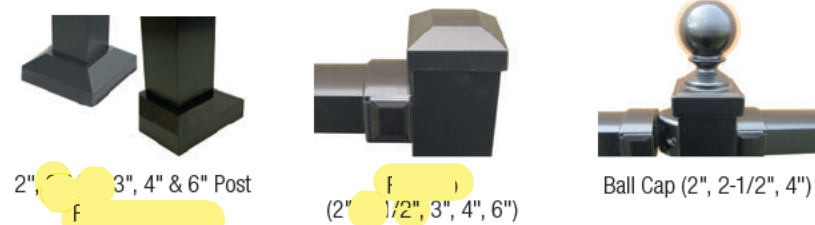
Crossovers



Mounts



Accessories

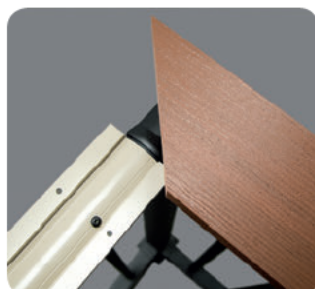


Magenta Star Lights



Drink Rail

Drink Rail adapts to all Westbury® C Series designs. Pre-drilled and ready to install, Drink Rail mounts sturdily and is ready for your wood or composite material to be attached (not included).



The Continuous Handrail (CHR) is compatible with all Westbury® Railing and is ADA Compliant. A variety of rail lengths and accessories complete this system. Available in 12 standard AAMA 2604 colors.





SIERRA FUSION

PRODUCT ATTRIBUTES

Visual Appearance	Gentle surface clefts and waved edges.
Finish	The subtle surface texture and understated edge detail of Bristol Valley* brings a new, refined elegance to projects where a more commonplace flagstone slab may have been used in the past.

PRODUCT SPECIFICATIONS



LARGE RECTANGLE
14 x 21 x 2 $\frac{3}{8}$ "
360 x 540 x 60 mm



SQUARE
14 x 14 x 2 $\frac{3}{8}$ "
360 x 360 x 60mm



SMALL RECTANGLE
7 x 14 x 2 $\frac{3}{8}$ "
180 x 360 x 60mm

3 UNIT RANDOM BUNDLE

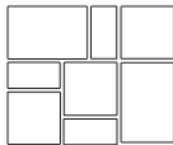
EDGE DETAILS



WAVED EDGE

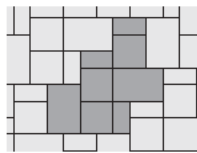
BUNDLE CONFIGURATION

BRISTOL VALLEY
RANDOM BUNDLE



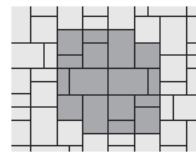
LAYING PATTERNS

BRISTOL VALLEY
RANDOM A



BRISTOL VALLEY RANDOM A
40% Large Rectangle, 40%
Square, 20% Small Rectangle

BRISTOL VALLEY
RANDOM B



BRISTOL VALLEY RANDOM B
40% Large Rectangle, 40%
Square, 20% Small Rectangle

NOTES: Bristol Valley* is not intended for vehicular applications.

*Colour selection should be chosen from actual samples.

OLDE QUARRY™

REGION CHICAGO

UNILOCK®

TECH SHEET



FINISH
UMBRIANO MOTTLED FINISH

UNILOCK® Exclusive Technologies

CLASSIC COAT



SANDSTONE



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"

SIERRA



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"

RIVER



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"

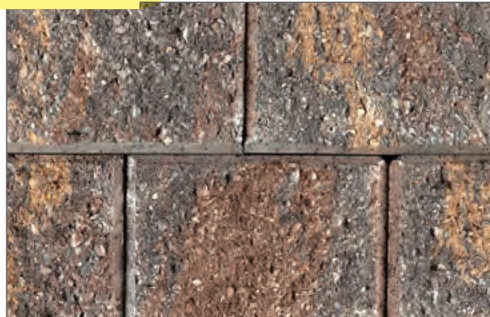


COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"



MAHOGANY

NATURAL



SIERRA

PRODUCT ATTRIBUTES

Visual Appearance	The built-in setback design of Pisa2™ automatically forms the correct slope, ensuring a highly stable retaining wall. Utilizing the product's tapered components, you can form curved walls and steps. Classic tongue and groove for easy install.
Finish	Split / Rock-faced.

PRODUCT SPECIFICATIONS



STANDARD
12 x 8 x 6"
300 x 200 x 150mm

TAPERED
12 x 8 x 6"
300 x 200 x 150mm

CORNER
12 x 8 x 6"
300 x 200 x 150mm

24" COPING
12 x 24 x 3"
300 x 600 x 75mm
*See Steps, Treads & Coping
section page 153 for more details*

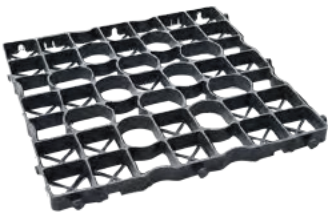
U-GRIP™ BASE PAD
14 x 19 x 2"
355 x 482 x 55mm



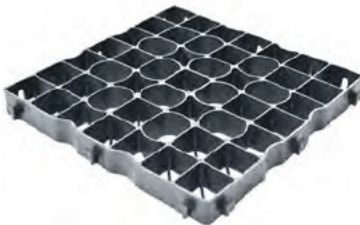
- Creates a revolutionary Reinforced Soil Structure (RSS) with high tensile and compressive strength to maximize the performance of pavement structures.
- Extremely permeable, long lasting, durable and environmentally friendly. Lightweight and easy to handle.
- Simple and quick installation.
- Allows for easy repairs / adjustments after installation.

See page 178-179 for more details.

*Colour selection should be chosen from actual samples.



DRIVECEL30 LIGHT DUTY
20 x 20 x 1.2"
500 x 500 x 30mm



DRIVECEL50 HEAVY DUTY
20 x 20 x 2"
500 x 500 x 50mm

TECHNICAL INFORMATION

ASTM C 1372 Standard Specifications for Dry-Cast Segmental Retaining Wall Units

Conforms to:

- C140 for Absorption and Compressive Strength > 3000 PSI
- C1262 for Freeze Thaw Durability <1% mass loss
- C1372 Overall dimensional variations permissible for width, height and length +/-3 mm

Unilock standards exceed 5,000 PSI for Pisa2® products with:

- 4% absorption avg.
- 5% absorption max.
- Dimensional Accuracy +/-3 mm

Test results available upon request

Meets the U.S. Architectural & Transportation Barrier Compliance Board Slip-Resistance Surfaces Advisory Guidelines

PRODUCT DATA

	Face Feet Per		Linear Feet Per		Units Per		Per Bundle		Lbs Per	
Stones & Bundling	Bundle	Unit	Bundle	Unit	Bundle	Face Feet	Layers	Sections	Unit	Bundle
Gormley Manufacturing: U-Grip - Gormley Manufacturing										
Standard - Pre Split - Single Piece	24.00	0.33	47.90	0.67	72	3.00	-	4	48	3,456
Tapered - Double Unit	20.00	0.67	40.00	1.33	30	1.50	-	2	93	2,775
Corner Unit - Double Unit	20.00	1.67	-	-	12	0.60	-	2	96	1,152
24" Coping Unit	16.00	1.00	64.00	4.00	16	1.00	9	-	145	2,320
U-Grip Base Pad	-	-	85.39	1.58	54	-	9	-	46	2,500

Notes: Sold in full bundles or sections only. Maximum height - 36" (under optimum conditions) but can be engineered for walls that are required to be higher. Higher walls can be achieved using geogrid reinforcement. Tapered units will allow for a minimum 5ft. outside radius. Automatic setback is ¾" per row. Engineering services are available. For more information, samples or custom options, please contact your Unilock Territory Manager or call 1-800-UNILOCK.

APPLICATIONS



Garden Walls & Seat Walls

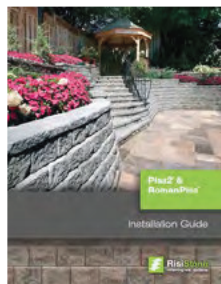


Retaining Walls



Steps

For coping options, we recommend using Natural Stone, Universal Coping or Pisa2® Coping.



Refer to the Pisa2 Installation Guide for more information.

<https://www.risistone.com/installation-guides/>

RECOMMENDED ADHESIVE



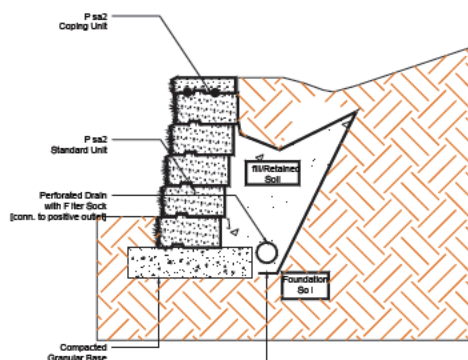
Gator Block Bond XP

- ✓ VOC Compliant
- ✓ Low odour- safe indoors or out
- ✓ Fast curing- provides permanent overnight bond
- ✓ Suitable for use in hot and cold environments
- ✓ Non-shrinking- does not crack
- ✓ Strong and versatile

Coverage: For 1/4" Bead (approx)

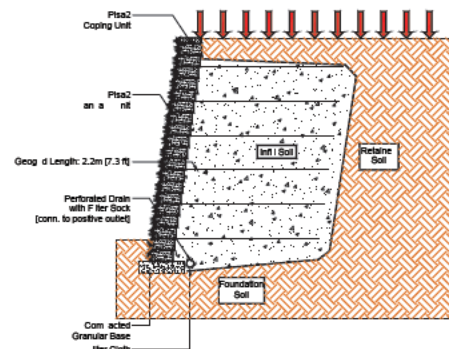
10 oz		28 oz	
m	ft.	m	ft.
~9	~31	~26	~86

GRAVITY WALL SECTION



Cross sections are examples, and must not be used for construction.

GEOGRID WALL SECTION



Cross sections are examples, and must not be used for construction.

EXHIBIT #6

EXISTING PHOTOS



Existing West elevation/future paddle courts 5 & 6



Existing South elevation/ future paddle viewing paver patio



Existing North elevation/future paddle viewing paver patio



Existing North elevation/future paddle courts 5 & 6



Existing East elevation/future paddle courts 5 & 6



Existing South elevation/future paddle courts 5 & 6

EXHIBIT #7

LETTERS TO NEIGHBORS &
CORRESPONDENCE LOG

May 4, 2022

Neighbors of Salt Creek Club,

This year, Salt Creek Club will be starting its 62nd summer season as a swim and racquet club, 30 of which I have been lucky enough to be a part of. In my time here, the Club has never been in better shape as it is now, both from financial and aesthetic perspectives. We currently have 350 regular family memberships and are trying to keep up with the changing desire for club activities.

Salt Creek Club has started to see a large increase in paddle tennis players with our newer members, and a new interest in pickleball with our older members. Current Club facilities are not allowing us to accommodate our membership as much as we would like with the limited paddle and pickle courts. In effort to rectify this situation, we removed one of our tennis courts in the far northwest corner of the property and hope to install two more paddle courts and two new pickleball courts without expanding the footprint.

Attached is the proposed rendering and site plan of this project. We would like to invite you over to see the site and answer any questions or concerns you might have.

Please feel free to contact me by email at office@saltcreekclub.com or by cell at 630-674-7849; or if you would like to contact our Board of Directors Buildings and Grounds Chairperson, Bob Crane, he can be reached at rkcrane243@sbcglobal.net or 630-417-7135.

All the best,

Steven J. Wolsfeld

General Manager

Salt Creek Club, Inc.

830 N. Madison St.

Hinsdale, IL 60521

630.323.7890

saltcreekclub.com



Proposed Project Rendering

Proposed Site Plan



Telephone Conversation Tracker - SCC NEW PADDLE COURTS

[illegible]

From: khaldoon shakir [REDACTED]
Date: June 2, 2022 at 9:29:29 PM CDT
To: "R. Crane" <rkcrane243@sbcglobal.net>
Subject: Re: SCC new paddle court site review

Mr. Crane,

I will be out of town June 13-15 and our neighbors will be out of town the following week. We would appreciate it if we can meet June 28 or June 30 at 7:00 pm.

Sincerely,
Kal Shakir

On Wednesday, June 1, 2022, 01:48:12 PM CDT, R. Crane <rkcrane243@sbcglobal.net> wrote:

Mr Shakir,

Something has come up and one of the members that needs to be in attendance is now unable to meet on June 16th. I was informed that they now have to go out of town on a urgent matter.

The dates & times that are available to meet at Salt Creek Club is June 13-15 & June 21-23 anytime from 5:30 to 7:00 pm.

Please let me know which dates & time works for you.

Regards ~~~
Bob Crane

On May 30, 2022, at 9:33 PM, khaldoon shakir [REDACTED] wrote:

Dear Mr. Crane,

June 16th at 7:30 pm is a good day and time to meet. We wish we can meet with you and Mr. Steven Wolsfeld.

Sincerely,
Kal Shaki

On Friday, May 27, 2022, 11:06:24 AM CDT, R. Crane <rkcrane243@sbcglobal.net> wrote:

Mr. Shakir,

Good morning.

As we discussed on the phone about your rescheduling of meeting to discuss the new paddle courts, we are unable to meet on the suggested June 18th.

We could meet during the early evening, during the week day either June 13th to 16th or June 20th to 22nd. It would take no more than 15-30 minutes to show you the location of the new courts that will be built on the existing sport court.

Below is the rendering that was previously sent to you & the neighbors.

Please let me know which day & time works for you.

Regards,
Bob Crane

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**PLAN COMMISSION
MEMORANDUM**

DATE: June 20, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner
Natalie Crown, Planning Intern

RE: Case A-25-2023 – Sign Permit Review – 14 Grant Square, Suite B – Jocelyn D Jewelry – Installation of One (1) Wall Sign

FOR: July 12, 2023 Plan Commission Meeting

Summary

The Village of Hinsdale received a sign permit application from Don Meyers-Vital Signs USA, Inc. requesting approval to install one (1) new wall sign on the building located at 14 Grant Square, Suite B in the Grant Square Shopping Mall. The existing one-story, multi-tenant building is located in the B-1 Community Business District. The tenant space for 14 Grant Square, Suite B faces Chicago Avenue.

Request and Analysis

The applicant is requesting to install one (1) halo-lit wall sign on the north elevation of the existing building at 14 Grant Square, Suite B. The wall sign will be installed in roughly the same location as the previous sign for the former jewelry shop. The sign consists of 12" aluminum, matte charcoal letters mounted on an aluminum, matte white wire way backer panel. The lettering and wire way backer panel will be similar to the previously existing sign. The wall sign will measure 15" by 8' and have an overall sign face area of 10 square feet. The sign will be mounted at 11' 3" above grade.

Per Section 9-106(I), in the B-1 District, awning valance, canopy valance, wall, and window signs shall not exceed one square foot per foot of building width, up to a maximum of one hundred (100) square feet, for a single-tenant building or five percent (5%) of the square footage of the wall to which the sign or signs are affixed for a multiple-tenant building, minus any square footage devoted to a ground sign unless such ground sign is limited to a joint identification sign.

As proposed, the wall signs meet the Zoning Code requirements. The sign face area does not exceed the 10 square feet maximum for the tenant space.

The wall sign lettering will be halo-lit. The proposed sign will be required to meet the Village's lighting standards. The illumination of any sign, resulting from any internal or external artificial

light source, may not exceed 50 foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of 10:00 P.M. and 7:00 A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.

Process

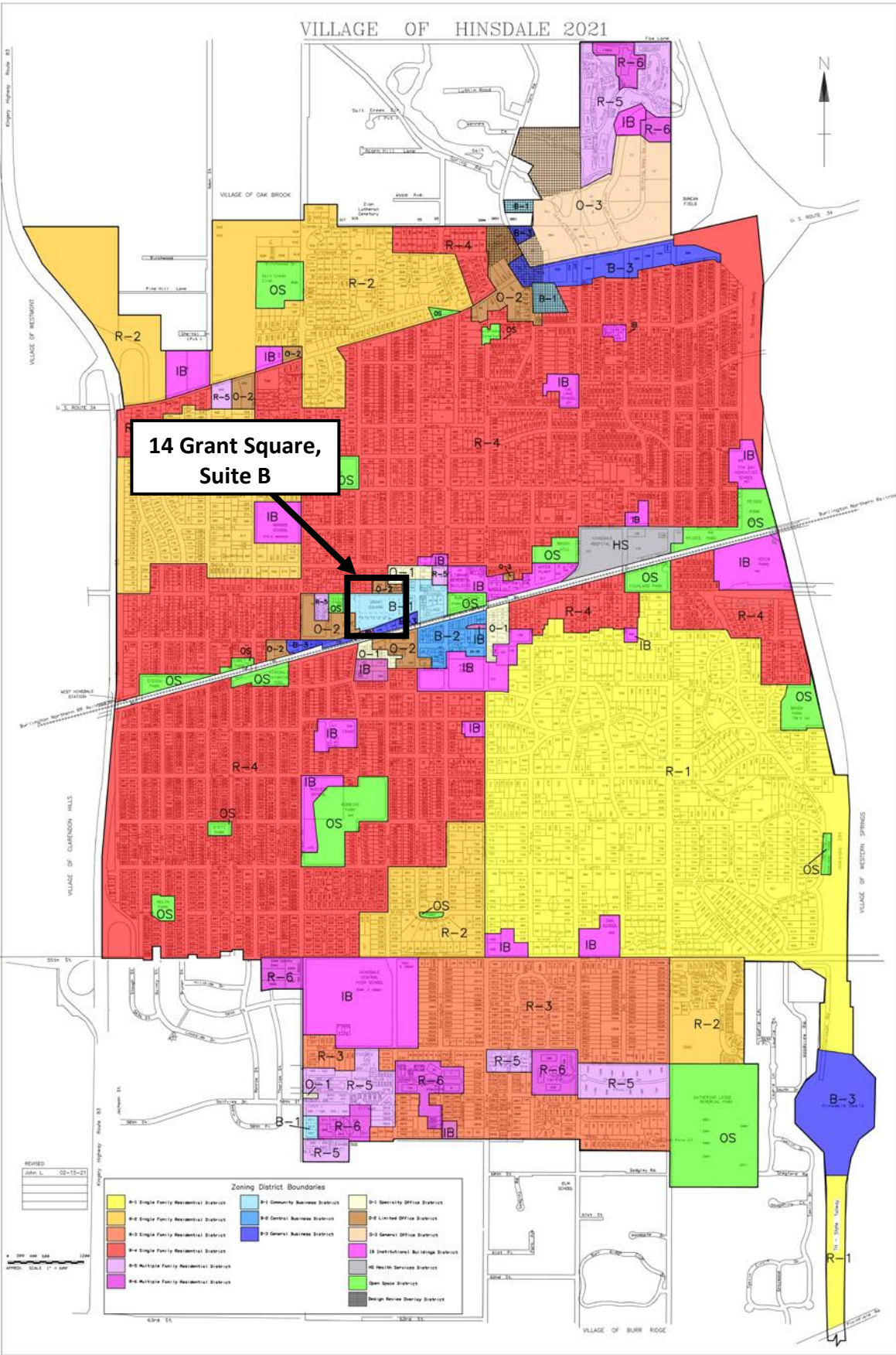
Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. **Visual Compatibility:** The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. **Quality of Design and Construction:** The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. **Appropriateness to Activity:** The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. **Appropriateness to Site:** The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

Attachments

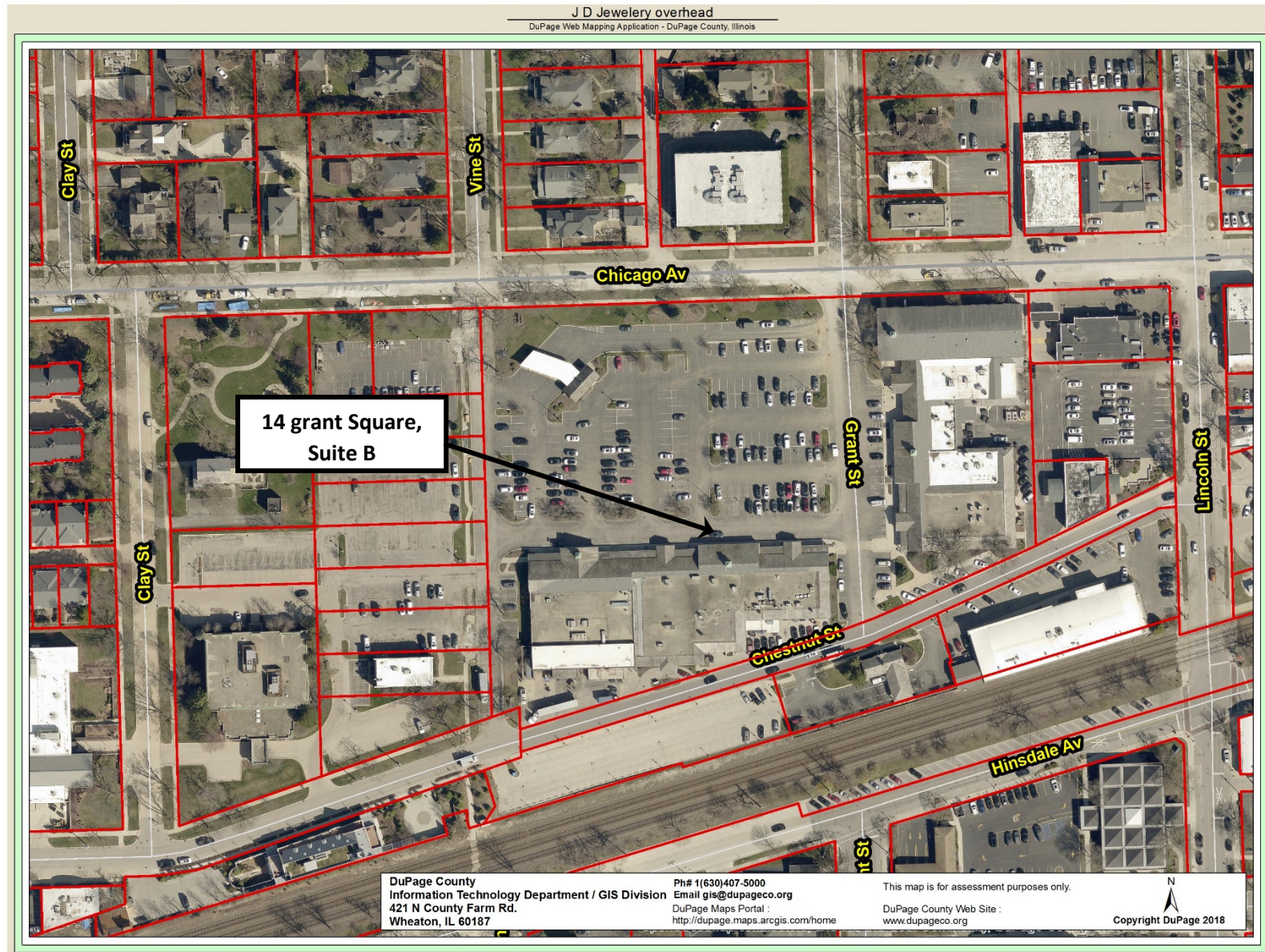
1. Zoning Map and Project Location
2. Aerial View
3. Street View
4. Sign Application and Exhibits

Village of Hinsdale Zoning Map and Project Location



[illegible]

Aerial View – 14 Grant Square, Suite B



Birds Eye View – 14 Grant Square, Suite B



Birds Eye View – 14 Grant Square, Suite B



Street View – 14 Grant Square, Suite B



Street View – 14 Grant Square, Suite B





**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Don Meyers-Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832 / 9600
E-Mail: don@vitalsignsusa.com
Contact Name: Don Meyers

Contractor

Name: Vital Signs USA, Inc.
Address: 791 Industrial Dr.
City/Zip: Elmhurst, IL 60126
Phone/Fax: (630) 832 / 9600
E-Mail: cris@vitalsignsusa.com
Contact Name: Don Meyers

ADDRESS OF SIGN LOCATION: 14 Grant Square Suite B

ZONING DISTRICT: B-1 Community Business District

SIGN TYPE: Wall Sign

ILLUMINATION Back Lit

Sign Information:

Overall Size (Square Feet): 10 (15" x 8')

Overall Height from Grade: 11' 3" Ft.

Proposed Colors (Maximum of Three Colors):

- ① Charcoal
- ② White
- ③

Site Information:

Lot/Street Frontage:

Building/Tenant Frontage: 20'

Existing Sign Information:

Business Name: Jocelyn D Jewelry

Size of Sign: 10 SF Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Donell
Signature of Applicant

6-14-23
Date

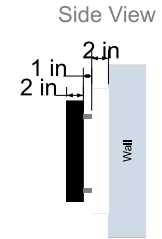
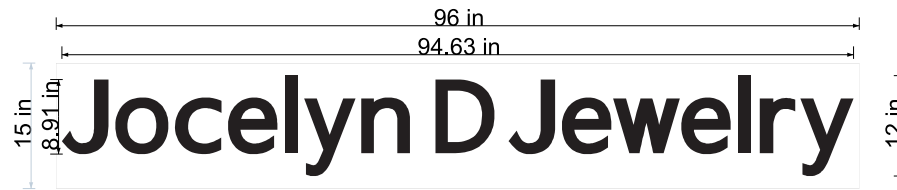
Signature of Building Owner

6/14/23
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: Administrative Approval Date:



Job Details:

- Halo-lit aluminum letters mounted on aluminum
- Wire way w/ 1" stand-offs
- Letters painted matte charcoal, 2" deep, halo-lit
- Wire way painted matte white, 2" deep, flush mounted to wall

- Overall sign size 10 S.F.
- Sign Allowance calculation:
Wall H x W x 5%
Actual 10' x 20' x 5% = 10.

- No additional window signage proposed

Qty: 1

Illuminated Channel Letters, wireway mounted

MATERIALS:

.063" Returns
.063" Aluminum Faces
.063" Aluminum Wireway

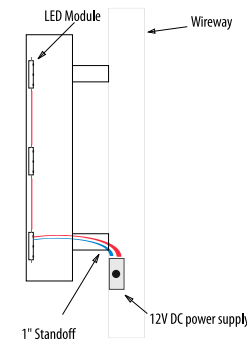
Matte Charcoal
Matte Charcoal
Matte White

ILLUMINATION:

LED Illumination:
60W power supply
Input: 100 - 240V, 1.0 amp maximum
Output: 60W

WHITE

Sign to be U.L. Listed. Sign requires dedicated 15 amp circuit, minimum. Cut-off switch installed at letter end.



ATTENTION: This proof is provided for checking design, copy accuracy and general color scheme. **ANY ERRORS NOT NOTED WILL BE ON THE FINISHED PRODUCT.**

Vitalsigns
USA

BUSINESS SIGNS & BRANDING

791 INDUSTRIAL DR. ELMHURST, IL 60126
PH: 630-832-9600 FAX: 630-832-9669
www.vitalsignsusa.com

CLIENT: Jocelyn D Jewelry
JOB #: 91864
LOCATION: Hinsdale: 14 Grant Sq Suite B

DATE: 6/12/2023 10:25:50 PM
DESIGNER: NS

Jocelyn D Jewelry Channel Letters.fs

☐ **Approved as is** ☐ **Approved with changes noted**

☐ **Not Approved - Revise & Resubmit**

Date: _____ **Signed:** _____

Colors on this proof are for representation only. This drawing has been made available to the client to illustrate design or manufacturing details and are not to be distributed for bid without the written consent of Vital Signs USA.

Cris Meyers

From: Rafael Murillo <jocelyndjewelry@gmail.com>
Sent: Wednesday, June 14, 2023 5:12 PM
To: Cris Meyers
Subject: Fwd: Sign

Hi Cris,

This is what I had sent them in the thread below and they approve it.

----- Forwarded message -----

From: Margaret Leach <mleach@hinsdalemanagement.com>
Date: Wed, May 17, 2023 at 12:05 PM
Subject: RE: Sign
To: Rafael Murillo <jocelyndjewelry@gmail.com>

I apologize for the delayed response, the owners were out of the office. They did approve the sign, please move forward.

Take Care,

Margaret Leach

Hinsdale Management Corporation

21 Spinning Wheel Road

Hinsdale, IL 60521

Phone 630-323-9075

