



MEETING AGENDA

PLAN COMMISSION
Wednesday, June 14, 2023
7:30 p.m.

MEMORIAL HALL – MEMORIAL BUILDING
19 East Chicago Avenue, Hinsdale, Illinois 60521
(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT (Non-Agenda Items)

4. APPROVAL OF MINUTES – May 10, 2023

5. FINDINGS AND RECOMMENDATIONS

- a) Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District

6. PUBLIC MEETINGS

- a) Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to Allow for Changes to the Existing Building Elevation, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O-3 General Office District
- b) Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District

7. SIGN PERMIT REVIEW

- a) Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles

8. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
PLAN COMMISSION
MINUTES OF THE MEETING
Wednesday, May 10, 2023**

The regularly scheduled meeting of the Village of Hinsdale Plan Commission was called to order by Chairman Cashman, in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, May 10, 2023 at 7:32 p.m., roll call was taken.

PRESENT: Commissioners Laurel Haarlow, Cynthia Curry, Jim Krillenberger, Gerald Jablonski, Julie Crnovich, Mark Willobee, Scott Moore, and Chairman Steven Cashman

ABSENT: Commissioner Anna Fiascone

ALSO PRESENT: Bethany Salmon, Village Planner

Public Comment on Non-Agenda Items

Chairman Cashman asked for public comments. There were no public comments pertaining to non-agenda items.

Approval of Minutes – April 12, 2023

Hearing no comments, a motion was made by Commissioner Moore, seconded by Commissioner Curry, to approve the April 12, 2023 draft minutes as submitted. The motion carried by the roll call vote of 5-0 as follows:

AYES: Commissioners Curry, Krillenberger, Crnovich, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: Commissioners Haarlow, Jablonski, Willobee
ABSENT: Commissioner Fiascone

Findings and Recommendations

a) Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District

Hearing no comments, a motion was made by Commissioner Moore, seconded by Commissioner Curry, to approve Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District. The motion carried by the roll call vote of 8-0 as follows:

AYES: Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Fiascone

Public Meetings

a) Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District

Dominic Mancini, attorney for the Foxgate Homeowners Association, Bonnie Sartore, President of the Foxgate Homeowners Association, and Mike Newman of Peerless Fence, were present to address the Plan Commission. Mr. Mancini stated the request to install a fence was not to have Foxgate become an exclusive, gated community. The request was driven by the desire to keep residents safe from the large amount of traffic from the high school. In an attempt to save time when traffic is backed up, students are using Foxgate Lane, a private road, to turn around. Mr. Mancini stated this very dangerous problem and has continued to get worse. The Homeowners Association (HOA) previously contacted the Police Department, but were told that there was very little to be done to address the problem since Foxgate Lane is a private road. Signs have been posted on the street, the Association has contacted the Village Board, and traffic cones have been used to block access. Mr. Mancini stated a resident was nearly struck by a high school related automobile resulting in an altercation with the driver. It was noted that a number of children play in the private road.

The proposed application specifies the pedestrian walkway to remain open. The gate across the road would provide much needed safety from the dangerous automobile traffic related to the high school. The HOA looked at this option twelve (12) years ago but determined the expense was too great at that time. The sixteen (16) current residents feel the level of danger has greatly increased and unanimously voted to pay the cost of the gate installation.

Mr. Mancini stated that the two (2) gates would be thirteen (13) feet long each, for a total of twenty-six (26) feet long. The gates are four (4) feet tall, open to the inside of the property, will be installed on private property, and would not impact the sidewalk or the parkway. The Police and Fire Department would be provided the electronic code to open the gate. The wrought iron gates would match the existing wrought iron fence, would add to the appearance of the area, possibly increase property values of the Foxgate residents, but most importantly, it would increase the safety of the residents.

Commissioner Haarlow asked if any Foxgate residents rent parking spaces to the high school students. Ms. Sartore responded that renting parking spaces is not permitted by the HOA. The application states that the gates would only be closed during the critical traffic times in the morning and afternoon. Commissioner Haarlow asked who determines the times the gate will be closed and who administers that. Ms. Sartore stated that board members would rotate this responsibility and possibly other members of this very actively engaged association. Commissioner Haarlow confirmed that Lot 17 on the plat was the common area.

Commissioner Curry stated she understood the frustration of the residents with the situation and asked if the Association looked at the option of sliding gates, to perhaps keep the cost down and increasing the operation speed or efficiency. Mr. Newman explained that because the plan was to only close the gate for short periods of time on school days that option was not beneficial.

Commissioner Krillenberger stated the plan looks great and confirmed the gate was to remain open most of the time to minimize any problems on 57th Street related to delivery trucks.

Commissioner Jablonski asked if the HOA had considered installing speed bumps as a solution. Ms. Sartore responded that the installation of speed bumps would open up liabilities for the HOA. Inaudible comments followed. Commissioner Jablonski asked if delivery vehicles would be expected to park on

57th Street during the times the gate was closed, causing further congestion. The response was not audible.

Commissioner Crnovich stated that her questions were already asked and answered and she hopes the solution will work for the residents because they have tried several other options to find a solution.

Commissioner Willobee stated he did not have any additional questions.

Commissioner Moore asked if gate timers were considered. Ms. Sartore's response was not audible. Commissioner Moore suggested the gate committee get a schedule of shortened days of attendance to alter the gate schedule. Commissioner Moore asked if a sidewalk would be installed between the posts, where the applicant confirmed that there are no current plans for a sidewalk now.

Chairman Cashman shared he personally witnessed drivers using the street as a turnaround area when his children were at the high school and felt this gate would be a great solution.

Commissioner Haarlow suggested communicating the times of gate closure to local drivers, such as UPS & the Post Office.

A motion was made by Commissioner Crnovich, seconded by Commissioner Jablonski, to approve Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District. The motion carried by a roll call vote of 8-0 as follows:

AYES:	Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Fiascone

Sign Permit Review

a) Case A-16-2023 – 40 S. Clay Street – Duly Health and Care – Installation of One (1) Wall Sign, Modification to One (1) Existing Wall Sign, and Installation of New Sign Faces on an Existing Non-Conforming Ground Sign

Ken Kelly, the sign contractor representing Sign Palace, was present to answer Commission questions.

Commissioner Moore clarified that the non-conforming ground sign was only getting a new sign face to communicate to the public that the facility offers immediate care services. Commissioner Willobee did not have any questions.

Commissioner Crnovich asked for clarification on the modifications to the wall sign on the north side. Mr. Kelly responded that the words "immediate care walk in" would be added to the existing sign. The words would consist of non-illuminated aluminum letters mounted to the brick wall and add an additional eight (8) square feet to the entire sign. Commissioner Crnovich expressed concern that the existing sign was too bright and too large to be adjacent to single family homes. Mr. Kelly stated that the sign illumination is turned off by a timer and the facility has not received any complaints from neighbors.

Commissioners Jablonski, Krillenberger, and Curry did not have any questions.

Commissioner Haarlow asked why a raceway is not going to be utilized in the new letters to match the existing sign. Mr. Kelly explained that the raceway is a device used to bring electric to illuminated letters. The new letters are not illuminated and therefore a raceway would not be needed. The letters could be mounted to a nonfunctional raceway to keep the aesthetics similar to the existing sign but would add to the sign cost.

Commissioner Haarlow confirmed that the building owner does not object to having each of the letters individually affixed to the wall.

It was asked how many foot candles the existing ground sign emits. Mr. Kelly stated it emits twenty (20) foot candles of light and reported that it meets Village code requirements. Ms. Salmon added that no changes to lighting are proposed and lighting for the existing signs were more recently approved, so lighting information was not included in this application packet. It was confirmed the existing wall sign is thirty-five (35) foot candles and the new signs are all non-illuminated.

Chairman Cashman said the new sign would be effective since although he lives nearby the facility and he was unaware it offered immediate care. Although the closing time of the Duly facility varies, it is typically open until about 8:00 pm.

A motion was made by Commissioner Willobee, seconded by Commissioner Curry, to approve Case A-16-2023 – 40 S. Clay Street – Duly Health and Care – Installation of One (1) Wall Sign, Modification to One (1) Existing Wall Sign, and Installation of New Sign Faces on an Existing Non-Conforming Ground Sign. The motion carried by a roll call vote of 8-0 as follows:

AYES:	Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Fiascone

b) Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles

Kerry Leonard, a representative for District 181, and Mike Duggan, Director of Facilities for District 181, were present to address the Commission. Mr. Leonard briefly presented some slides about the Middle School's Blue Ribbon Award, its goals as an educational institution, and the attributes of the physical site and building. Mr. Leonard displayed a Google Map screen shot showing how the building address is incorrectly identified and explained the need to direct visitors to correct locations. There are many entrances into the building and spaces inside that are used for public purposes.

Mr. Leonard described the Blue Ribbon emblem sign on Garfield Avenue and the additional flag pole to be installed nearby. The Blue Ribbon emblem, awarded by the Department of Education, was on the old Middle School building and was installed on the newly constructed building. The wall signs are individual letters that are pin-mounted onto the buff colored brick. Slides depicting the various doors of the building were shared.

The existing flag pole near the driveway / bus drop-off on Third Street was installed when the building was constructed and contains an internal lighting mechanism. The second flag pole near the monument sign will be identical to the first. The flag poles meet zoning code requirements but a variation request will be needed to allow for the size of the flag itself.

Photos of the flag pole illuminated at night were shared and it was noted that the light rotates with the flag. No ground lights will be installed to illuminate the flag pole, although this incorrectly was shown on the plan submittal.

Commissioner Haarlow confirmed that the size of the Blue Ribbon emblem has not been increased. The emblem on the new building was removed from the old building. Mr. Leonard explained that the emblem is being treated as a wall sign and it exceeds the square footage permitted. Commissioner Haarlow stated that the size of the emblem is not problematic to her given the scale of the façade. It was confirmed the lighting underneath the sign on the east side of the building is under the fifty (50) foot candles allowed by code. Mr. Leonard stated the initial sign was too bright and a dimmer was installed to meet the code requirements. Photometric calculations included in Exhibit Eight (8) were noted.

Commissioner Jablonski requested clarification of the process followed for this sign application. Ms. Salmon stated that as part of the application to install the code compliant ground sign and staff has been working with the School District to bring the existing signage forward for approval and into compliance. As a result of this process, previously installed signs were identified as not meeting all code requirements and variation requests will ultimately need to go before the Zoning Board of Appeals (ZBA). It was the intent to bring all the signs to the Plan Commission, the sign experts, for discussion so that input could be provided first to the applicant and requested revisions could be brought to the ZBA. Any approvals made tonight will be subject to the approval of the ZBA and Village Board.

Chairman Cashman added that schools have always be unique in the permitting process and confirmed that some of the signs in the tonight's request have already been installed. Discussion followed about the January 2017 appearance at the Plan Commission not including any information about signage.

Commissioner Crnovich stated she has a problem with the height of the signage on the east side of the building. Three (3) previous cases were sighted that were all denied by the Plan Commission to increase mounting height, one of which was a hospital. The Middle School is near a residential area and adjacent to two (2) historic districts. Commissioner Crnovich stated she appreciated that the lights were dimmed, but felt that the sign height should be looked at and noted she would be happier if the sign was lowered to the second floor.

Mr. Leonard stated that in order for the sign to be code compliant, it would need to be lowered to below the second band of the building on the first floor, making it difficult to see. He believes the higher sign helps with visibility of a government building. It was pointed out that Memorial Hall sign is as tall, however it was installed pre-code and is not illegal. Mr. Leonard stated that with the lowering of the lights, the taller sign helps to direct users to the correct location and is appropriate to the recognition of a civic building.

Chairman Cashman suggested leaving the emblem but lowering the height of the sign. Commissioner Crnovich said that would be an improvement. The emblem is a symbol that came from the old building and can remain but in order to be consistent with the code. Mr. Leonard responded that schools operate under state codes and no conflict with the Village code would result.

Chairman Krillenberger agreed with Commissioner Crnovich about lowering the height of the Garfield Street sign. He asked if the monument sign would match the color of the building. Mr. Leonard responded yes, the pre-cast masonry will get as close to the building color as possible.

Commissioner Curry asked if any other location was considered for the monument sign. Discussion followed about the sign originally being planned for the north side of the building, the actual front of the school, but it was not able to be installed there due to the foundation of the parking deck.

Even if the wall sign was removed, Commissioner Curry felt the area remained visually busy with the ground sign that does not provide direction. It was ultimately acknowledged that there was no other place to install the ground sign.

Commissioner Jablonski stated that he agreed with Commissioner Crnovich about lower the wall sign. Discussion took place about the need to check the timer of the exterior lights, they do not appear to be turning off at the required time.

Commissioner Willobee stated that lowering the sign will make the area even more visually busy and stated his preference would be to keep the emblem, keep the flag pole and ground sign but remove the text sign. This proposal satisfies the concerns shared by the Commissioners tonight and still maintains the ability for a visitor to identify the building as a school.

Commissioner Moore had no additional concerns to add.

Jim Oles, a resident of 306 S. Garfield, was present to address the Commission. Mr. Oles stated his comments represent some of the nearby residents, he was fine with the monument sign, and felt the size of the building helps users locate the school when using Google maps. Mr. Oles stated that there was no need to have the signs illuminated during all night hours and the timer needs to be set so the lights shut off after 10:00 p.m. Mr. Oles stated the energy used to illuminate the signs throughout the night is wasteful.

Mr. Oles shared that the light on the flag pole only illuminates the flag about five percent (5%) of the time and the flag pole is very noisy, banging constantly in the wind. Mr. Oles stated that he spoke to the Police Department and District 181 about the noise level. He also commented that there are issues with pick-up and drop-off on Third Street, stating the long line of cars are problematic even though this driveway is only supposed to be used for buses.

In response to Chairman Cashman's inquiry about Commissioner Willobee's proposal, Mr. Oles said that he was in favor of removing the lighted wall sign, but stressed the need to keep the lights at the dimmed level and turned off after 10:00 p.m.

Commissioner Curry asked if anything can be done to reduce the lighting on the interior of the building that are also on for long hours during the night. Mr. Duggan responded that the cleaning crew need to have the interior of the building illuminated until 11:30 p.m. and, although the interior stairway lights remain on for safety issues, many of the lights are motioned censored.

Commissioner Curry asked if a recommendation be added to the motion to quiet both the existing and proposed flag pole.

Chairman Cashman re-capped what the Commission was asked to vote on and further discussion took place about whether to remove the illumination of the emblem or lower the emblem. The Commissioners were in agreement that the emblem does not need to be illuminated and it was suggested it be lowered to be more visible. It was confirmed that the ground sign could not be approved tonight without the other signs.

A continuance to the next month's meeting would encompass a vote on all of the signs and the flagpoles. Mr. Leonard stated he would rather come back next month with a more thoughtful design based on the feedback received.

A motion was made by Commissioner Jablonski, seconded by Commissioner Krillenberger, to continue Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles until the June 14, 2023 meeting. The motion carried by a roll call vote of 8-0 as follows:

AYES: Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Fiascone

c) Case A-17-2023 – Sign Permit Review – 35 E. First Street – Fuller House – Installation of One (1) Wall Sign

Alex Perry, the sign contractor representing Right Way Signs, was present to address the Commission. Mr. Perry stated the proposed sign will be halo lit lettering attached to newly installed façade.

All of the Commissioners were in agreement that the sign looked good. Commissioner Haarlow asked how bright the sign would be. Mr. Perry responded the sign would be 7,000 lumens, a bright white, but noted it would be on a dimmer controlled by management.

A motion was made by Commissioner Krillenberger, seconded by Commissioner Willobee, to approve Case A-17-2023 – Sign Permit Review – 35 E. First Street – Fuller House – Installation of One (1) Wall Sign. The motion carried by a roll call vote of 8-0 as follows:

AYES: Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Fiascone

Adjournment

Chairman Cashman asked for a motion to adjourn. A motion was made by Commissioner Krillenberger to adjourn the regularly scheduled meeting of the Village of Hinsdale Plan Commission of the May 10, 2023.

The meeting was adjourned at 8:54 PM after a unanimous voice vote of 8-0.

ATTEST: _____
Jennifer Spires, Community Development Office

**FINDINGS OF FACT AND RECOMMENDATION
OF THE HINSDALE PLAN COMMISSION
TO THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES**

APPLICATION: Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District

PROPERTY: 5700-5717 Foxgate Lane (PINs: 09-13-103-092; 09-13-103-093; 09-13-103-094; 09-13-103-095; 09-13-103-096; 09-13-103-097; 09-13-103-098; 09-13-103-099; 09-13-103-100; 09-13-103-101; 09-13-103-102; 09-13-103-103; 09-13-103-104; 09-13-103-105; 09-13-103-106; 09-13-103-107; 09-13-103-108)

APPLICANT: Foxgate Homeowners Association

REQUEST: Exterior Appearance and Site Plan Review

PLAN COMMISSION (PC) REVIEW: May 10, 2023

BOARD OF TRUSTEES 1ST READING: June 13, 2023

SUMMARY OF REQUEST: The Village of Hinsdale received an application from the Foxgate Homeowners Association requesting approval of an Exterior Appearance and Site Plan to allow for the installation of an entrance gate across Foxgate Lane, a private street that terminates in a cul-de-sac and serves the Foxgate Subdivision located at 5700-5717 Foxgate Lane in the R-5 Multiple Family Residential District. The proposed gate is intended to limit traffic from Hinsdale Central High School located to the north, as vehicles reportedly use the private subdivision as a turn-around area. The Foxgate subdivision was constructed in the 1980s and consists of sixteen (16) townhomes located on a private street, Foxgate Lane.

The proposed electronic gate will be constructed across Foxgate Lane, a private street that intersects with 57th Street. The gate will be entirely located on private property within the common area for the subdivision and will swing inward so as to not encroach into the 57th Street right-of-way. The black wrought iron open gate will measure four (4) feet tall and twenty-eight (28) feet wide. The six (6) inch square gate posts will be placed adjacent to the existing stone piers and black metal perimeter fencing at the entrance of the subdivision. A space will be left between the existing stone piers and the entrance gate posts to provide a walkway for pedestrians.

Per Section 9-12-3 of the Village Code, driveway entry gates, and any parapet or column utilized in a fence design may be eight (8) feet in height. As proposed, the entrance gate meets all code requirements. No trees are to be removed and no signage is to be installed as part of this project.

Hinsdale Central High School is located to the north cross 57th Street in the IB Institutional Buildings District. Single-family detached homes are located to the east and west in the R-3 Single Family Residential District. Hinsdale Racquet Club and single-family attached homes are located to the south in the R-5 Multiple Family Residential District. The subject property is residential and therefore public notice via the newspaper, certified mail, or signage is not required for this project.

PUBLIC MEETING SUMMARY AND FINDINGS: On May 10, 2023, the request for approval of an Exterior Appearance and Site Plan Review was reviewed at a public meeting by the Plan Commission. Dominic Mancini, the attorney representing the Foxgate Homeowners Association, Bonnie Sartore, representing the Foxgate Homeowners Association, and Mike Newman from Peerless Fence, were present at the meeting and answered questions from the Commissioners.

Mr. Mancini provided an overview of the project and stated that the proposed gate is intended to limit traffic from Hinsdale Central High School located to the north, as vehicles are reportedly using the private subdivision as a turn-around area. The intent of the gate is not to make the subdivision a private gated community. Instead, the gate is intended to deter high school students from using the private street as a turnaround area or parking lot after school, which has created safety issues for residents. The Homeowners Association will leave the gate open the majority of the time and will only be closed after school or during events. Police and Fire Departments will have access to open the gate.

A Commissioner asked if any parking is rented out to students during the day. Ms. Sartore stated it is not permitted by the Association.

There was a discussion over if there would be advantages of using a sliding gate versus a swing gate. Mr. Newman stated that sliding gates are typically used where gates are closed the majority of the time. Because this gate will be open most of the time and closed for only a short period of time, a swing gate is more ideal.

A pedestrian walkway will be left open between the proposed entrance gate and the existing fence and piers. One Commissioner recommended that the Association look into installing a sidewalk in this area because there could be issues with pedestrians using the walkway during the winter.

There was a discussion over if the Association has used any other alternative methods to attempt to deter high school drivers from using Foxgate Lane after school. It was stated that the Homeowners Association has tried using traffic cones and signage, but these strategies have not been effective.

Some Commissioners noted possible concerns over Amazon or UPS delivery trucks having to load on 57th Street and blocking traffic if they are unable to use Foxgate Lane because the gate is closed. The applicant said residents can look at limiting delivery times. Commissioners recommended the Association consider installing an automatic timer system for the gate to open and close, as well as communicate delivery windows with companies like Amazon and UPS to ensure there are no issues with blocking traffic on 57th Street when the gate is closed.

In recommending approval of the Exterior Appearance and Site Plan Review, the Plan Commission determined the standards set forth in Section 11-604(F) and Section 11-606(F) of the Village's Zoning Code have been met. The Commission expressed general support for the project.

Commissioners noted that proposed plans met several standards for approval identified in the Zoning Code. The proposed gate will meet all code requirements and will help reduce traffic issues in the subdivision subject to not creating any traffic concerns from delivery trucks loading on 57th Street (Section 11-604(F)(1)(a) and (g)). The proposed gate will also match the existing fencing material and be visually compatible (Section 11-605(E)(1) and (2)).

No members of the public provided comment at the meeting. Staff did not receive complaints or negative feedback from members of the public prior to the meeting.

A motion to approve the Exterior Appearance and Site Plan Review was made by Commissioner Crnovich and seconded by Commissioner Jablonski, as submitted. The vote carried by a roll call vote as follows:

AYES:	Commissioners Haarlow, Curry, Krillenberger, Jablonski, Crnovich, Willobee, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Fiascone

RECOMMENDATIONS: Based on the findings set forth above, the Village of Hinsdale Plan Commission, by a vote of eight (8) ayes and zero (0) nays, with one (1) absent, recommended to the President and Board of Trustees approval of Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District, as submitted.

Signed: _____

Steve Cashman, Chair
Plan Commission
Village of Hinsdale

Date: _____



**PLAN COMMISSION
MEMORANDUM**

DATE: June 9, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

SUBJECT: Case A-9-2023 – 11 Salt Creek Lane – MedProperties – Exterior Appearance and Site Plan Review to Allow for Changes to the Existing Building Elevation, Landscape Plan, and Site Plan at 11 Salt Creek Lane in the O03 General Office District

FOR: June 14, 2023 Plan Commission Meeting

GENERAL APPLICATION INFORMATION

Applicant: David Dastur, Jensen & Halstead, LTD.

Subject Property: 11 Salt Creek Lane (PIN: 06-36-405-022)

Site Area: 3.89 acres (169,798 square feet)

Existing Zoning & Land Use: O-3 General Office District – Multi-Tenant Medical Office Building

Surrounding Zoning & Land Use:

North: O-3 General Office District – Office

South: O-3 General Office District – Office

East: O-3 General Office District – (across Spinning Wheel Drive) Vacant Land / Office

West: O-3 General Office District – (across Salt Creek Lane) Office / Salt Creek

APPLICATION SUMMARY

The applicant requests approval of an Exterior Appearance and Site Plan Review to allow for changes to exterior façade of the existing three-story building and site located at 11 Salt Creek Lane in the O-3 General Office District.

Proposed changes to the site include the construction of a new drop-off and loading area near the main entrance on the east side of the building, alterations to the existing parking lot and sidewalks, modifications to site landscaping and screening, and the replacement of the existing dumpster enclosure. The applicant is also proposing changes to the building elevations, including the replacement of windows and doors, installation of new light fixtures, and alterations to the existing porticos and entrance trim.

The property is located in the Hinsdale Office Park. The building is used as a multi-tenant medical office building and is accessible from Salt Creek Lane, a private street. The property is surrounded by a mix of office buildings in the O-3 District, most of which are used for medical offices. There are no properties in a Single-Family Residential District located within 250 feet of the site. The existing site is non-conforming with respect to several bulk requirements for the O-3 District, such as yards and setbacks.

MEMORANDUM

The project was reviewed at the Plan Commission meeting on March 8, 2023. Please refer to the “Meeting History” section of this staff report for a detailed meeting summary. Based on the feedback provided at the meeting, the applicant has submitted revised plans that include the following changes to the plans:

- West Elevation - The plans presented at the March 8, 2023 meeting proposed the removal of the existing railings / balustrades on top of the two-story portico. The applicant is now proposing to remove the existing portico and the concrete pad below. A modern one-story white steel canopy with an acrylic roof and supporting posts on each side of the entrance door will be constructed. A slightly smaller concrete pad will be installed below the canopy. The central pendant light underneath the portico is no longer proposed and instead wall mounted sconces will be installed on each side of the entrance door. The applicant is proposing the same trim, transom window, and doors shown on the March 8, 2023 plan submittal.
- East Elevation - The plans presented at the March 8, 2023 Plan Commission meeting proposed the removal of the existing railings / balustrades on top of the portico. Under the revised plan submittal, the existing portico over the entrance door will be removed. A new white steel canopy with an acrylic roof and tie-backs will be installed over the entrance door. A new concrete steel lintel and fiber cement trim will be installed around the entrance door and painted white. The applicant is still proposing to install the aluminum and glass sliding glass doors with a transom window above.
- North and South Elevations - New white steel canopies with an acrylic roof and tie-backs will be installed over the entrance doors. The plans presented at the March 8, 2023 Plan Commission meeting did not include canopies above the entrances. The applicant is proposing the same trim, transom window, and doors shown on the March 8, 2023 plan submittal.
- Dumpster Enclosure - The proposed dumpster enclosure will be constructed of a six (6) foot tall Trex composite fence in Woodland Brown instead of cedar to match the fencing used to screen the transformer on the east side of the building.

REQUEST AND ANALYSIS

The applicant is proposing various improvements to the existing site plan and building elevations, which are detailed below:

- Construction of a Drop-off / Loading Area and Changes to the Parking Lot - The applicant is proposing to install a new drop-off and loading area near the main entrance on the east elevation to provide better access to patients entering the medical office building. To accommodate the new drop-off and loading area, the adjacent parking spaces, drive aisle, and landscape islands will be reconfigured. Two (2) existing parking lot light poles will be relocated further toward the building to allow for the installation of a new sidewalk to connect the main building entrance to the adjacent parking and loading areas. The central parking area will continue to accommodate two-way traffic, but the southern drive aisle will be narrowed in width to only allow for one-way vehicle exiting to the south.

A total of 176 parking spaces are currently provided on site. Four (4) parking spaces will be removed as part of this project, which will result in a total of 172 spaces. Per Section 9-104(J), the proposed use is required to provide one (1) parking space for each 275 square feet of net floor area for business and professional office uses where the gross square footage of the building is 10,001 to 50,000 square feet. With 36,860 square feet of net floor area, 134 parking spaces are required on site. The prior approval for Hinsdale Office Park under Ordinance No. O2002-18 required 160 parking spaces on site. As proposed, the number of parking spaces proposed meets code requirements and prior approvals.

MEMORANDUM

- Landscape Plan - The applicant has provided a detailed landscape plan and tree preservation plan for review. New landscaping will be installed around the perimeter of the building and in several parking lot landscape islands. Existing bare grass areas will be restored with sod or seeded. The majority of the existing trees on site will be preserved. Sixteen (16) shade, ornamental, or evergreen trees will be planted. Twenty-one (21) trees will be removed. Per the cover letter, the majority of these trees are in a state of decline, are considered a public hazard by limiting visibility, or negatively impact the appearance of the property. The plans were reviewed by the Village Forester and determined the proposed tree removal plan was reasonable.
- Screening - The existing transformer near the main entrance on the east elevation will be screened with a new privacy fence. The Trex composite fence will measure six (6) feet tall and will be a dark brown color. The area is currently screened with a mix of hedges and trees, which will be removed. New landscaping will be installed around the perimeter of the fence.
- Dumpster Enclosure - The existing dumpster enclosure on the east side of the site has deteriorated and will be replaced. Based on the feedback provided at the March 8, 2023 meeting, the is now proposing to construct the dumpster enclosure using a six (6) foot tall dark brown Trex composite fence to match the fencing used to screen the transformer on the east side of the building.
- Building Elevations - Changes to the building elevations are summarized below. No signage is proposed as part of this project. Any changes to signage would require the submittal of a separate Sign Permit application for review by the Plan Commission at a later date.
 - Removal of the Portico Entrances and Installation of New Canopies - The existing porticos on the east and west elevations will be removed. On the west elevation, a modern white steel canopy with an acrylic roof and supporting posts on each side of the entrance door will be constructed above a new concrete pad. On the east, north, and south elevations, new white steel canopies with an acrylic roof and tie-backs will be installed over the entrance doors
 - Entrance Doors and Trim - On the north, south and west elevations, the existing exterior doors will be replaced with solid white metal doors and a new glass transom window. The existing trim and decorative headers around the doors will be removed and replaced with white cement siding painted white. For the main entrance on the east elevation, new automatic sliding glass doors, a glass transom window, a concrete steel lintel, and fiber cement trim will be installed.
 - Light Fixtures - New wall-mounted sconces will be installed on both sides of the entrance doors on all building elevations. The applicant has included the proposed light fixture for review.
 - Windows - All windows will be replaced with new fixed windows with a slightly different design than the existing windows. The applicant has included a rendering of the proposed windows in the application packet. There are no changes to the size of the window openings or headers.

MEETING HISTORY

Plan Commission Meeting – March 8, 2023: Members of the architectural, landscaping, and engineering design team were present at the meeting to address the Plan Commission. John McDonald, the project architect, provided an overview of the application.

Mr. McDonald stated that the need for a reconfigured and enlarged vehicle drop-off area and noted patients making dangerous turns near pedestrians due to the current configuration. Mr. McDonnell confirmed during the meeting that no new signage is proposed as part of this project.

MEMORANDUM

The landscape architect, Michael Trippiedi, provided an overview of the landscape plan improvements and stated he has been involved the Office Park campus landscape design since 2012 to make the area more welcoming for visitors, patients and staff. Mr. Trippiedi noted he met with the Village Forester to assess tree preservation where the primary goal was to preserve as many landmark trees as possible, but identify undesirable or declining trees for removal.

During the public meeting, several Commissioners stated they appreciated efforts to update the building and the extensive landscape improvements. There was a discussion that the applicant consider using the same brown composite fencing material for the dumpster that is proposed to screening the transformer near the main entrance on the east side of the building.

Chairman Cashman noted concerns over the changes to the building elevations, stating the proposed design used a mix of architectural styles that are not consistent and the changes would not be harmonious with Colonial style of the building or several adjacent buildings in Office Park.

Specific concerns noted during the meeting were that the replacement windows used a horizontal mullion versus a vertical mullion and the door trim and doors changes were not appropriate. The applicant stated that the windows have already been ordered as they were unaware of the approval process. The property owner stated that he believed the change to the mullions made the windows more attractive and did not feel this building needed to match those across the street or nearby. He also pointed out that the windows are not terribly different from those of the other buildings.

A Commissioner noted that that the relationship of the building to the neighborhood, materials, and adjacent structures is part of the approval criteria. It was added that this is a good opportunity to make a complete change toward a contemporary look with more extensive design elements, if that was the desire of the applicant. A more robust design could be a catalyst for the re-design of nearby buildings.

Commissioners recommended that the applicant come back at the next meeting in April with a different design. It was recommended that if the applicant wished to make the building more modern or contemporary, then they should provide a revised design and look to unify architectural features on the building.

By a vote of six (6) ayes and zero (0) nays, with three (3) absent, the Plan Commission voted to continue the project to the April 12 meeting.

REVIEW PROCESS

Pursuant to Section 11-604 and Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for an Exterior Appearance Review or Site Plan Review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in Subsection 11-103(H), recommending either approval or disapproval of the Exterior Appearance and Site Plan based on the standards set forth in Section 11-604 and Section 11-606.

MEMORANDUM

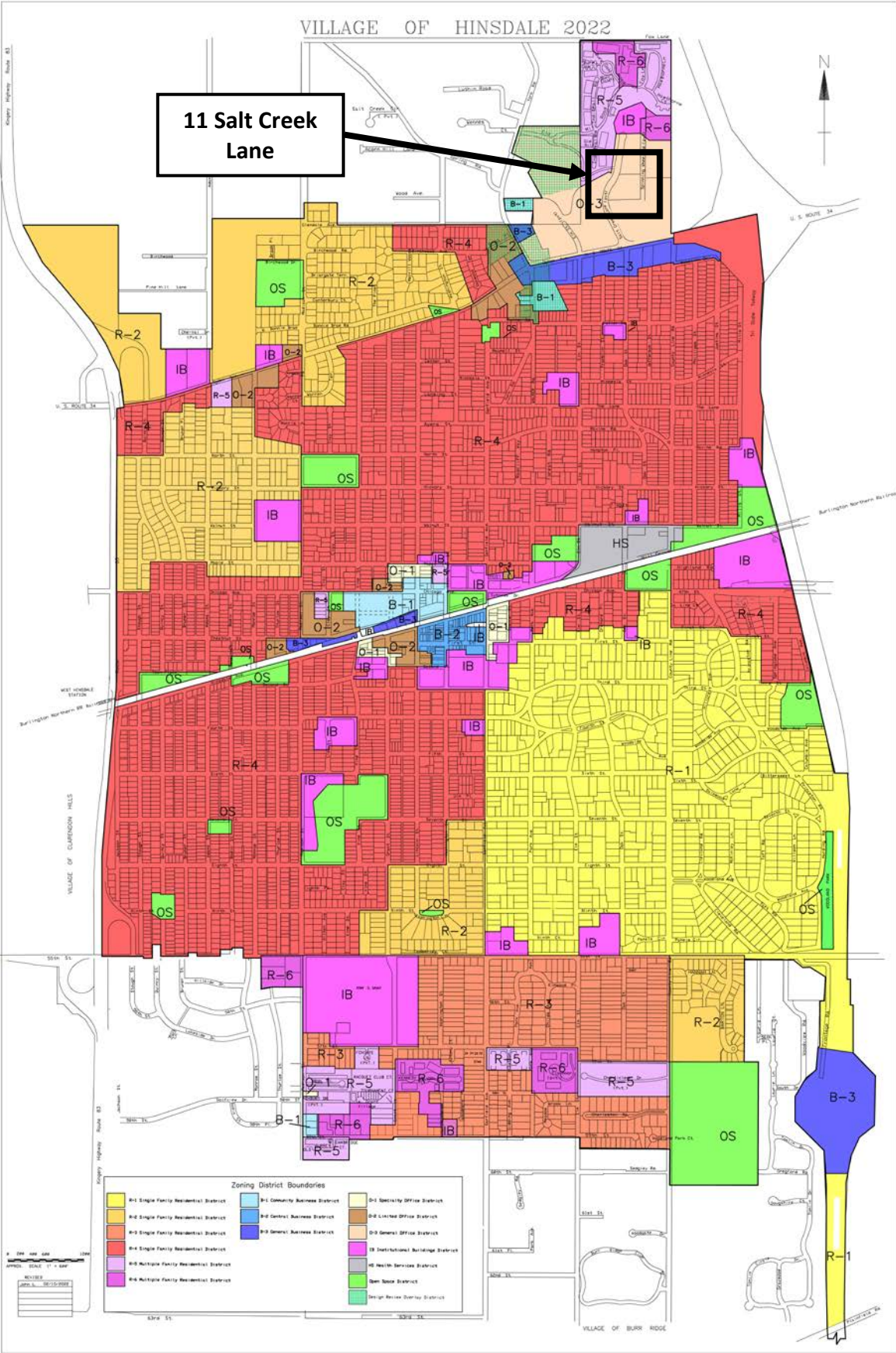
Within 90 days following the receipt of the recommendation of the Plan Commission, or its failure to act as above provided, the Board of Trustees, by ordinance duly adopted, shall approve the site plan as submitted, or shall make modifications acceptable to the applicant and approve such modified site plan, or shall disapprove it either with or without a remand to the plan commission for further consideration. The failure of the board of trustees to act within ninety (90) days, or such further time to which the applicant may agree, shall be deemed to be a decision denying site plan approval.

The subject property is not located within 250 feet from a single-family zoning district, therefore, public notice via the newspaper, certified mail, or signage is not required for this project.

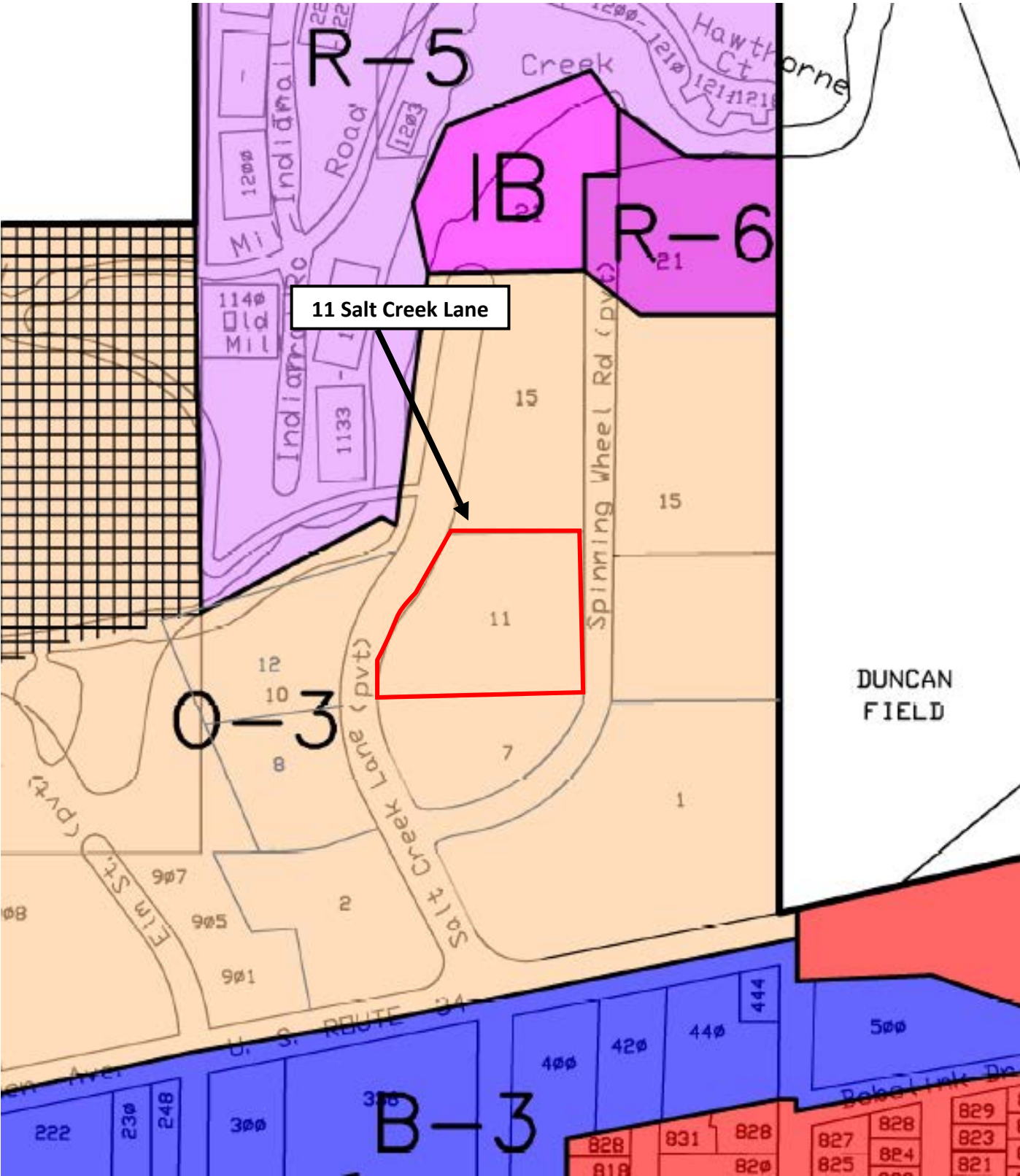
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birdseye View
4. Street View
5. Select Plan Sheets from the Original Plans Presented at the March 8, 2023 Plan Commission Meeting
6. Exterior Appearance & Site Plan Review Application and Exhibits – Revised for the June 14, 2023 Plan Commission Meeting

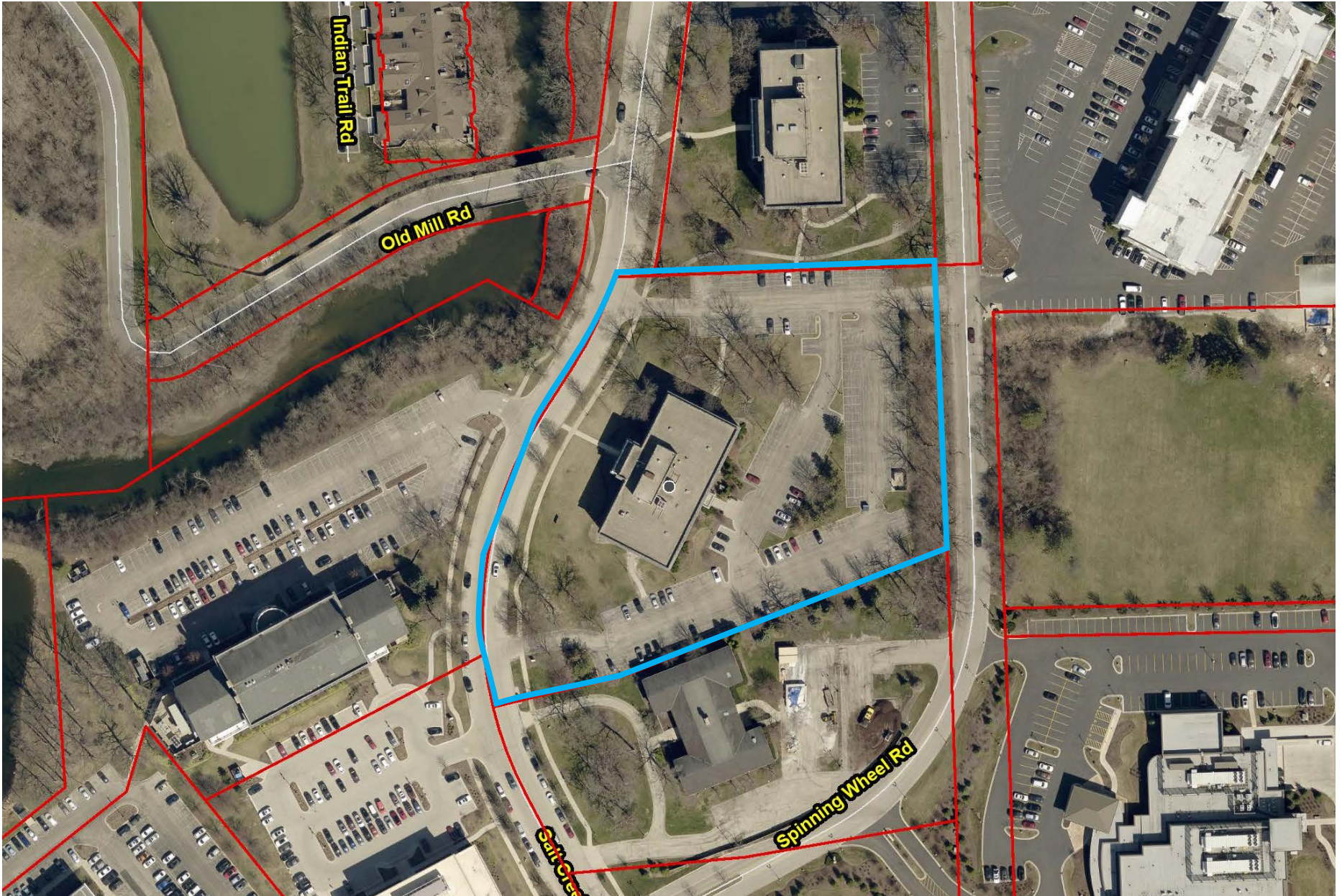
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



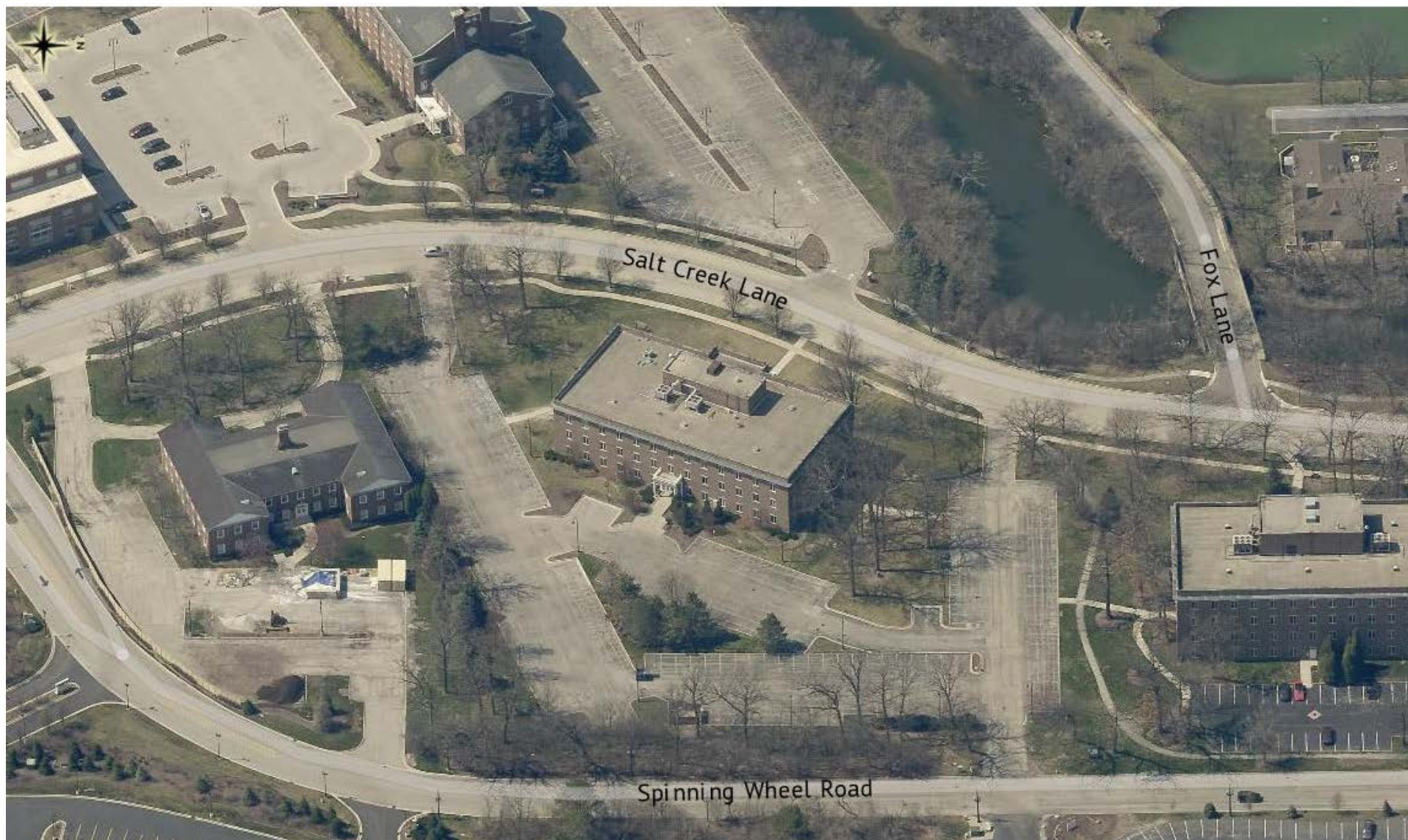
Aerial View – 11 Salt Creek Lane



Birds Eye View – 11 Salt Creek Lane

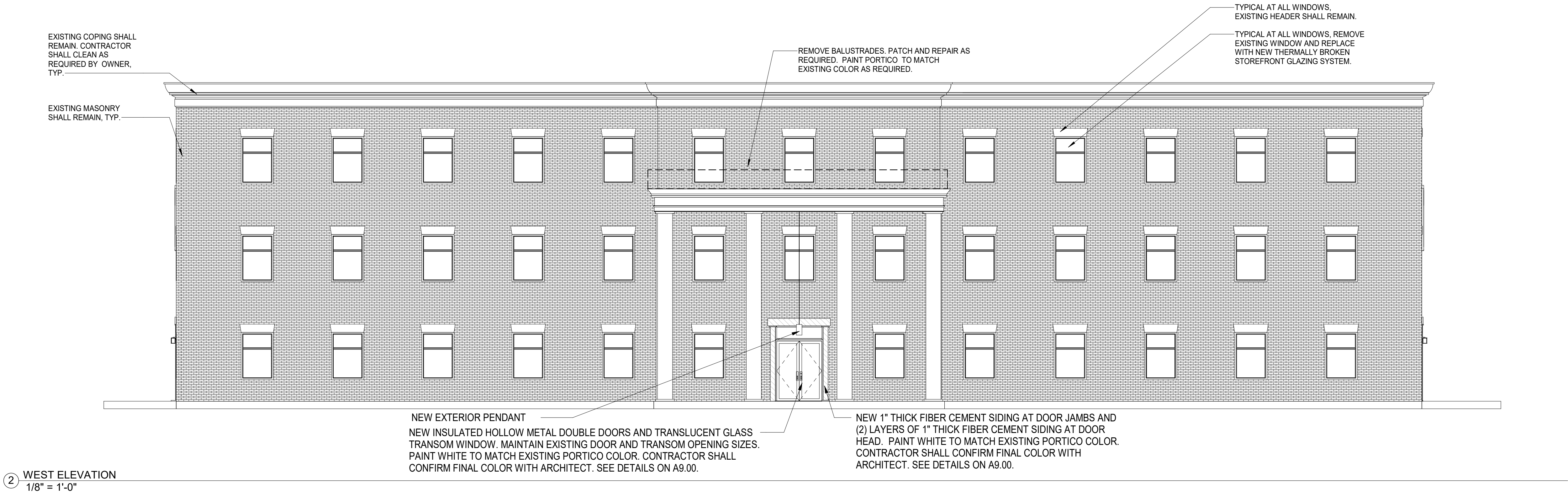
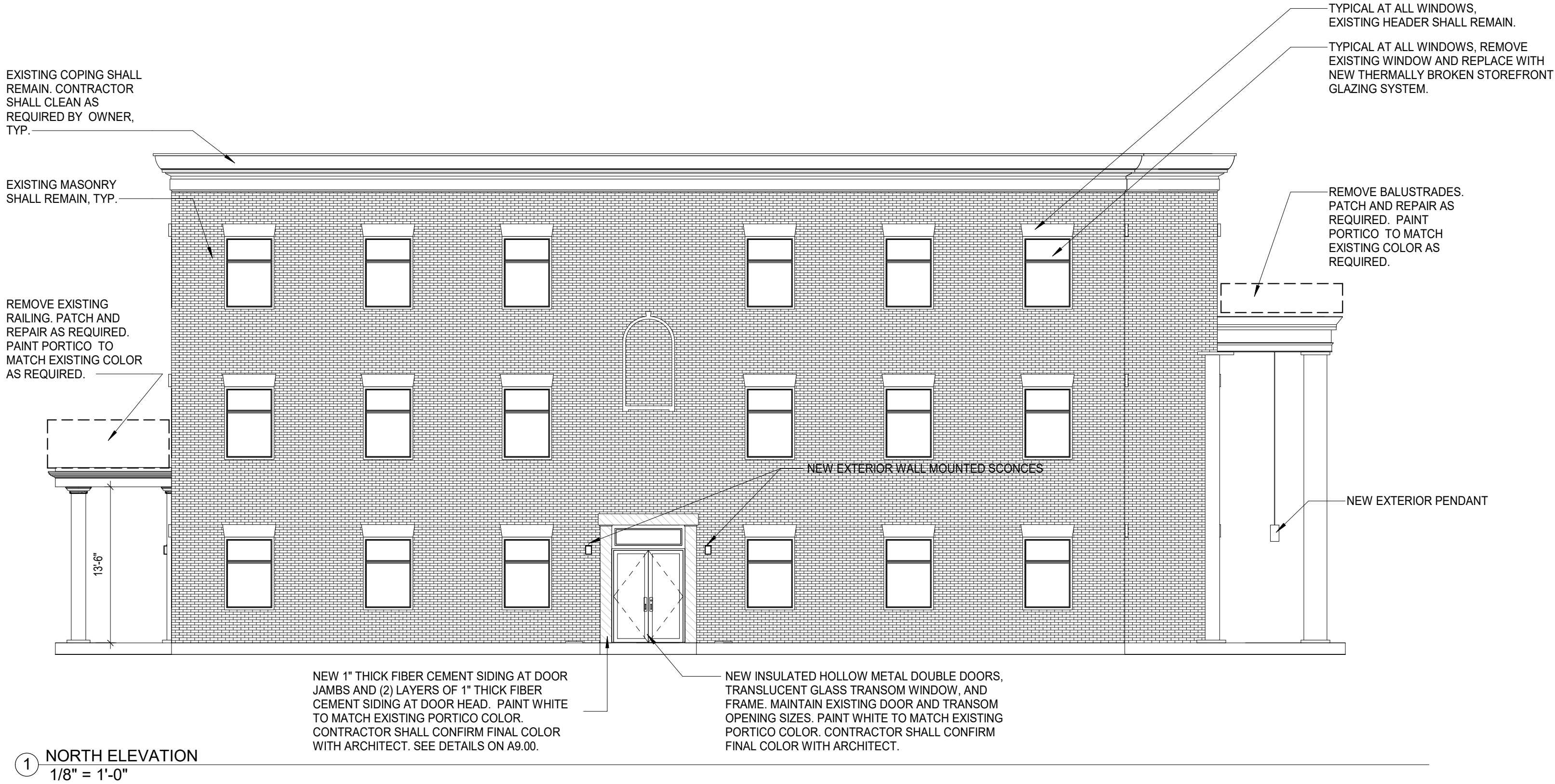


Birds Eye View – 11 Salt Creek Lane



Street View – 11 Salt Creek Lane





A HISTORY OF INNOVATION IN ARCHITECTURE



JENSEN & HALSTEAD, LTD.
ARCHITECTURE PLANNING INTERIORS

ARCHITECTURAL CORPORATION
LICENSE NO. 184-000279

820 WEST JACKSON BOULEVARD, SUITE 850
CHICAGO, ILLINOIS 60607

TEL. 312.664.7557 WWW.JANDHLTD.COM

Seal:

Project:
MEDPROPERTIES
SALT CREEK
ENTRY RENOVATION
11 SALT CREEK LN
HINSDALE, IL 60521

Consultants:

Key Plan:

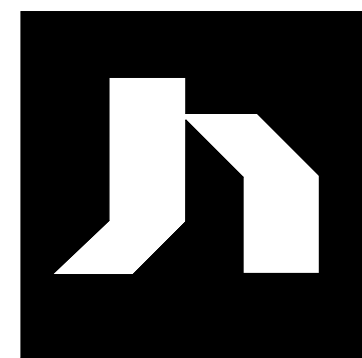
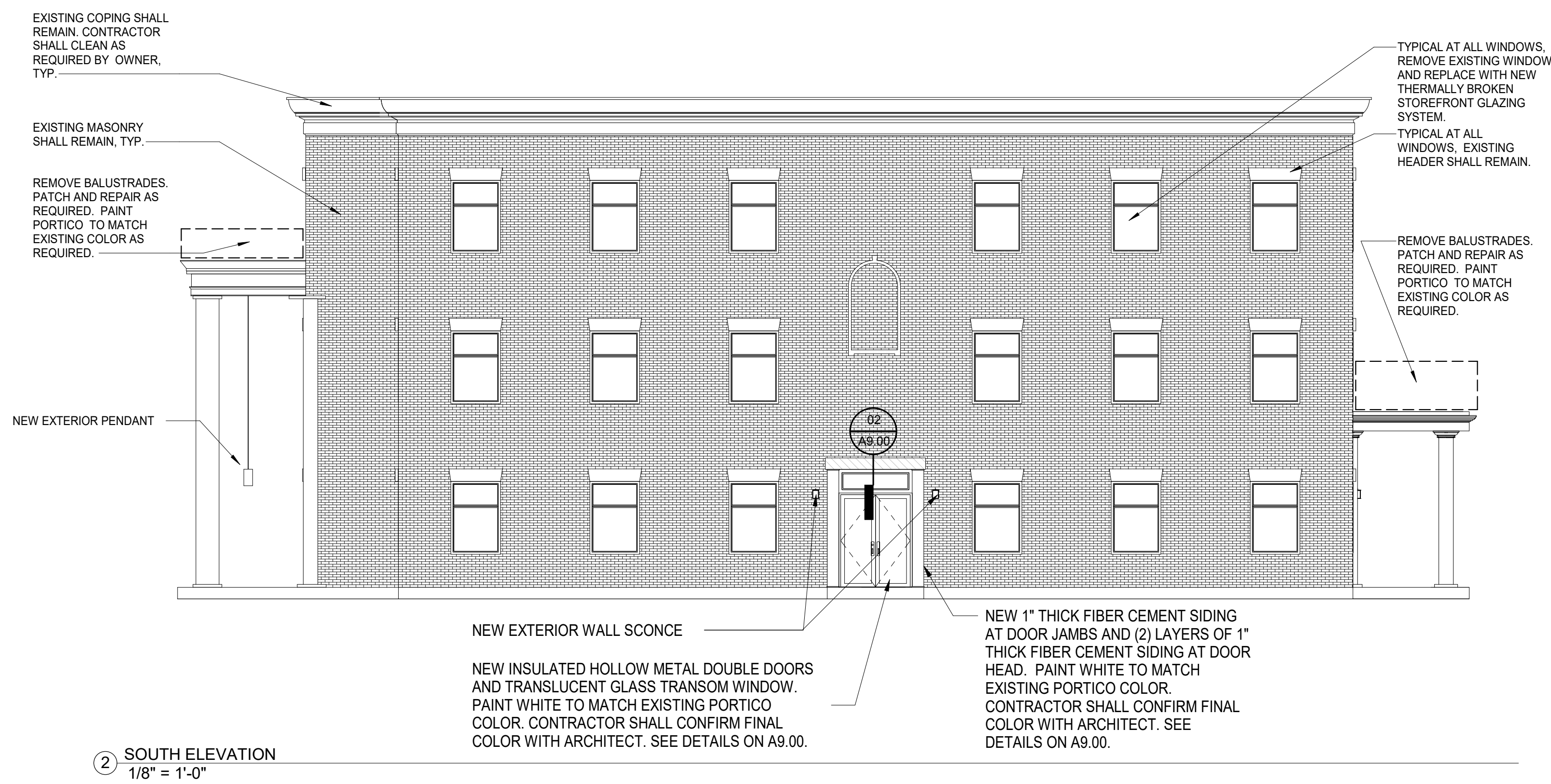
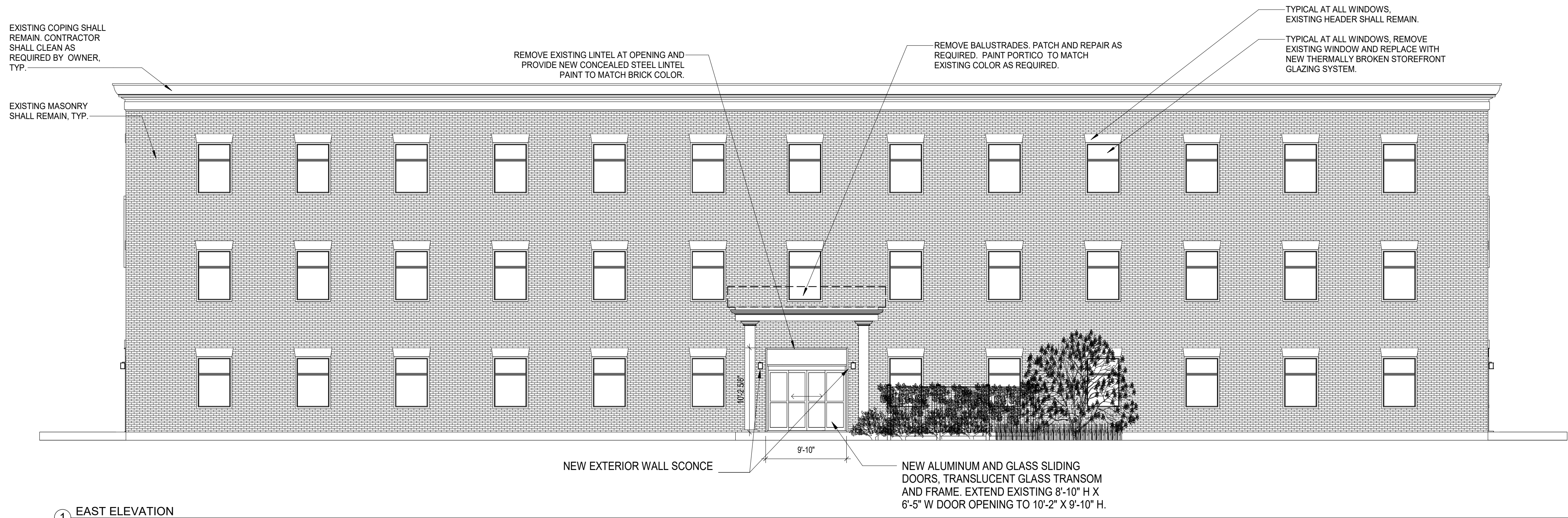
Issuances:

No.	Date	Description
1	12/14/2022	ISSUE FOR APPEARANCE REVIEW

Sheet Title
EXTERIOR ELEVATIONS

Project No. MPR22240
Date: 01/25/2023
Drawn by: LL/JM
Checked by: JM
Approved by: DD

Sheet Number
A8.00
Sheet 2 of 7 Sheets



JENSEN & HALSTEAD, LTD.
ARCHITECTURE PLANNING INTERIORS

ARCHITECTURAL CORPORATION
LICENSE NO. 184-000279

820 WEST JACKSON BOULEVARD, SUITE 850
CHICAGO, ILLINOIS 60607

TEL. 312.664.7557 WWW.JANDHLTD.COM

Seal:

Project:

MEDPROPERTIES

SALT CREEK

ENTRY RENOVATION

11 SALT CREEK LN
HINSDALE, IL 60521

Consultants:

Key Plan:

Issuances:

No.	Date	Description
12/14/2022	12/14/2022	ISSUE FOR APPEARANCE REVIEW

Sheet Title

EXTERIOR ELEVATIONS

Project No. MPR22240

Date: 01/25/2023

Drawn by: LL/JM

Checked by: JM

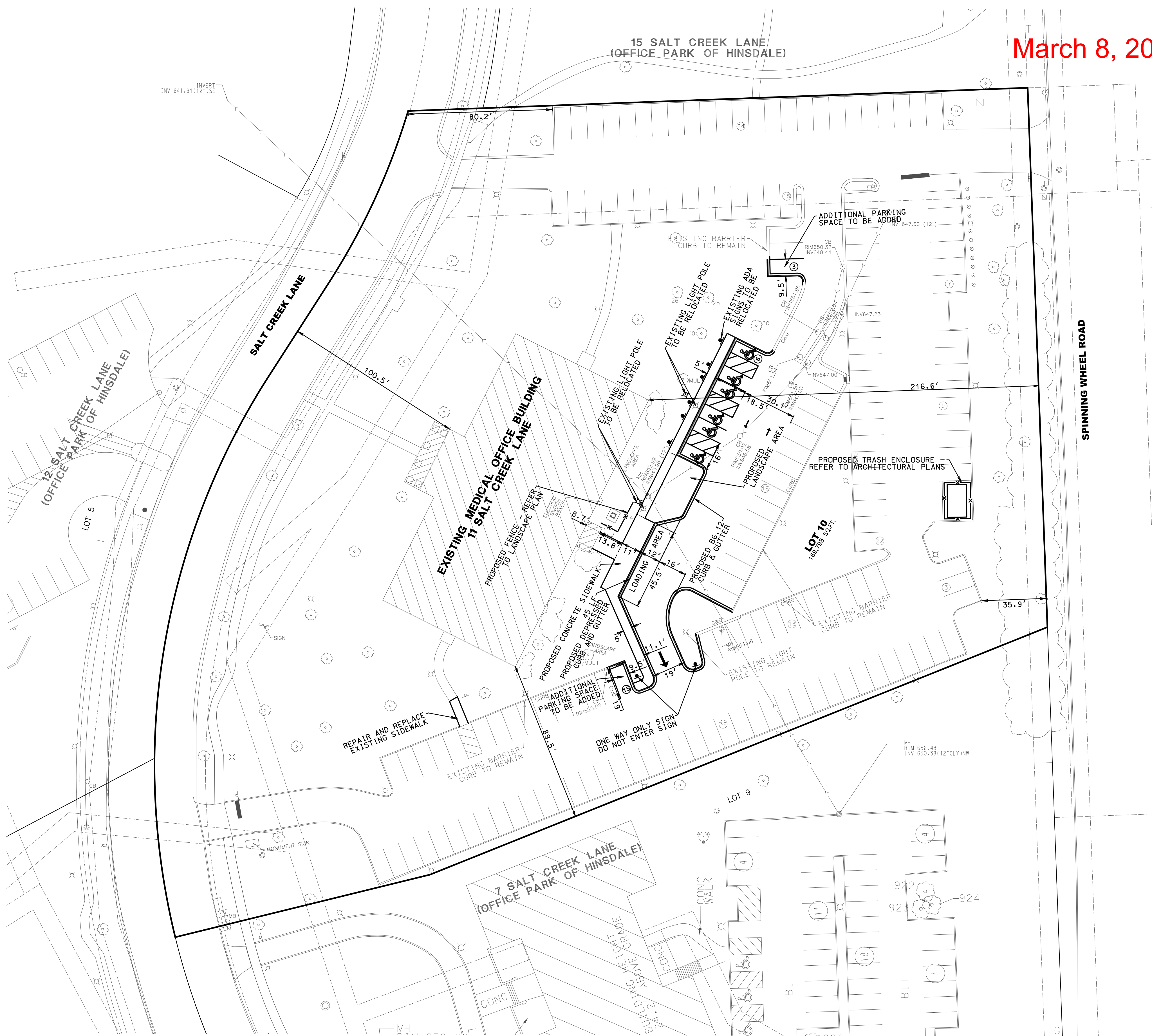
Approved by: DD

Sheet Number

A8.01

Sheet 3 of 7 Sheets

Select Plan Sheets from the
March 8, 2023 Plan Commission Meeting



ZONING INFORMATION

TOTAL PARKING SPACES REQUIRED PER ZONING CODE:
134 SPACES
BASED ON:
GROSS SQUARE FOOTAGE = 41,856 SF
THEREFORE PARKING REQUIREMENT =
1 SPACE FOR EVERY 275 S.F. OF NET FLOOR AREA
NET FLOOR AREA = 36,860 SF

TOTAL PARKING SPACES REQUIRED PER ORDINANCE NO.
02002-18 = 160 SPACES

TOTAL PARKING SPACES PROVIDED: 172 SPACES

TOTAL ADA SPACES REQUIRED: 6 SPACES
TOTAL ADA SPACES PROVIDED: 6 SPACES

MAXIMUM LOT COVERAGE PER ORDINANCE NO. 02002-18
= 0.55 (93,324 SF)
ACTUAL LOT COVERAGE = 0.55 (93,132 SF*)

EXISTING ZONING: O-3
PROPERTY ACREAGE: 3.90 ACRES
EXISTING USES: OFFICE (MEDICAL)

* INCORPORATES SECTION 6-111 FOR SPECIAL LOT
COVERAGE CALCULATION THAT EXCLUDES SIDEWALKS
THAT ARE DESIGNED FOR PASSIVE RECREATIONAL USE
AND INTENDED FOR USE BY THE GENERAL PUBLIC.

STORMWATER MANAGEMENT SUMMARY

EXISTING IMPERVIOUS AREA = 96,830 SF
PROPOSED IMPERVIOUS AREA = 96,765 SF
DECREASE IN IMPERVIOUS COVERAGE = 65 SF

1/21/2023 12:50:02 PM
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Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

MEDPROPERTIES

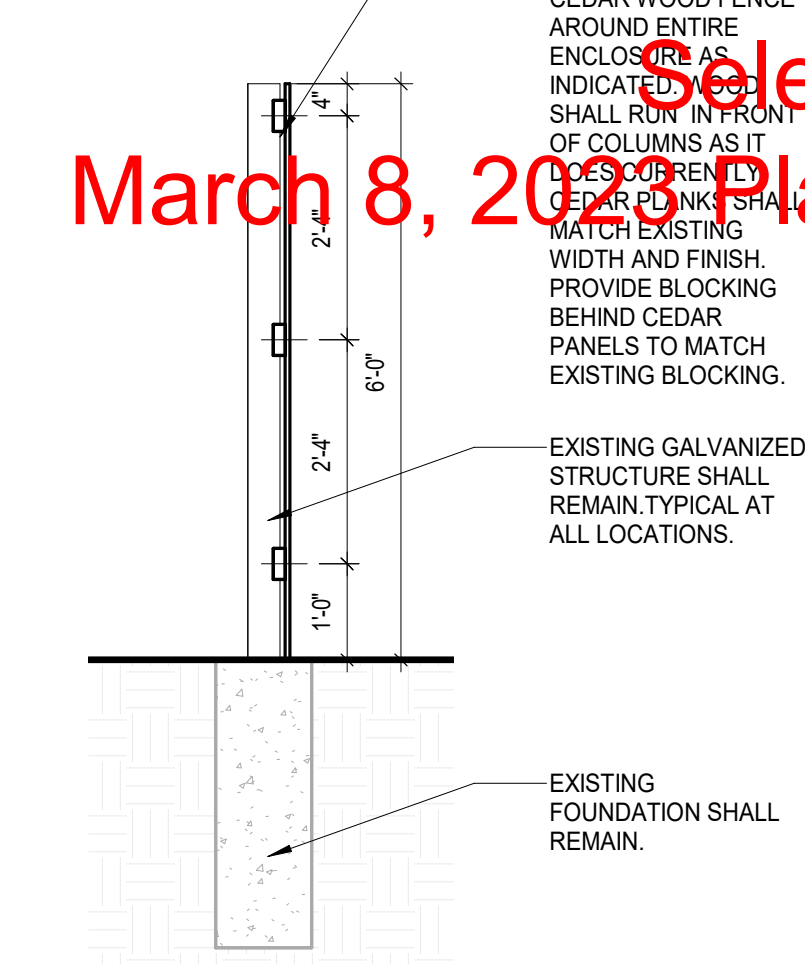
71 SOUTH WACKER DRIVE, SUITE 3725
CHICAGO, IL 60606
PHONE: 847-897-7315

		DESIGNED	MJM
		DRAWN	MJM
		APPROVED	TKB
		DATE	12-5-2022
1-21-2023	REVISED PER VILLAGE COMMENTS	TKB	SCALE
DATE	DESCRIPTION OF REVISION	BY	1" = 30'

**OVERALL SITE PLAN
11 SALT CREEK LANE
HINSDALE, ILLINOIS**

SHEET	
1	OF 1
PROJECT NUMBER:	4468
© MACKIE CONSULTANTS LLC, 2023	
ILLINOIS FIRM LICENSE 184-002694	

Select Plan Sheets from the



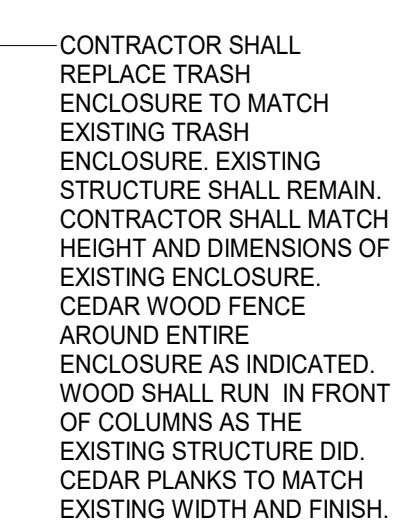
820 WEST JACKSON BOULEVARD, SUITE 850
CHICAGO, ILLINOIS 60607

Project: MEDPROPERTIES

[illegible]

ARCHITECTURAL SITE PLAN

Date: 01/25/2023 Sheet Number
Drawn by: JPM **A1.10**
Checked by: JPM



PROJECT NARRATIVE



05/15/2023

Bethany Salmon
Village Planner
Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, Illinois 60521

Re: **Salt Creek Entry**
MPR22240

Dear Bethany,

Please see the following narrative for the scope of work.

- Architectural:
 - Remove the porticos on the east and west elevations due to deterioration and replace them with new canopies.
 - Replacement of all existing windows with more thermally efficient storefront system windows.
 - Remove the trims around the north and south entrance doors. Replace the exterior metal doors with thermally insulated hollow metal doors & transom and replace the trim. Add small canopies over these entrances.
 - Replacement and revision to the existing east entrance to accommodate a new aluminum framed double sliding glass door.
 - Replacement of all exterior light fixtures and replacing the pendant fixture at the west entrance with two new sconces to match those at the other entrances.
 - Replacement of the deteriorated trash enclosure cedar planks with new composite planks.
- Landscape:
 - Most of the trees suggested for removal are in a state of decline, considered problematic as a potential public hazard, and negatively impact the overall appearance of the property.
 - One street tree at Salt Creek Lane is in decline and will be replaced along with those that are missing (Tree #16, Tree Preservation Plan, sheet L1). The ornamental pear at the south vehicular entrance will not be replaced as its proximity interferes with the driveway sight triangle (Tree #10).
 - Selective clearing of low quality and declining trees at the south vehicle entrance will allow for improved wayfinding of the medical office building – patients and visitors have

PROJECT NARRATIVE



difficulty identifying the location with obstructed views of the building and ground signage (Trees #1, #3, #5, and #9)

- The continuity of the European Hornbeam at the east building face will be lost with four having to be removed for the new drop-off configuration. All seven trees will be replaced with multi-branched Jane Magnolia that will offer red-purple spring flowering, interesting branching, vertical structure, and appropriate scale in relationship with the building while not obstructing windows (Trees #54-#60).
 - The oak, ash, and maple identified for removal are dead or in a state of decline, and in the case of the ash, are susceptible to ash-bore (Trees #25, #32, #39, #40, #41, #46, #51, and #52).
- Civil:
 - Removal of several parking spaces to enlarge existing drop off at east entrance for increased patient safety.
 - Added additional sidewalk adjacent to drop off to connect southern parking lot main entrance.

Sincerely,

JENSEN & HALSTEAD, LTD.



David K Dastur, AIA, NCARB
Senior Principal

cc: Matt Campbell, Kelleen Enright



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 11 Salt Creek Lane Hinsdale, IL 60521

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

The scope of work includes replacement of windows, trim, doors and porticos. The setback spaces shall remain as is with the addition of new landscape.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

The majority of materials on the building are to remain as is. Elements being removed are to be replaced with products that relate to the building and surrounding context.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

The existing, dated porticos are being replaced with canopies in a style that reflects others that have been constructed on this campus. The windows will be replaced with units that pick up on the horizontal orientation of the newer buildings on campus, and the doors and trims will be updated to reflect new look of the windows and canopies.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The scope of work includes reworking the existing parking lot to improve the main drop off for patient care and new landscaping around the entire building. Vehicular traffic patterns both on and off site will remain as is.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The existing building is to remain and as such the height will not change.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The proportion of the front facade will not change from what is currently there.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Proportion of openings will remain as they are for the existing building on the north, south and west sides. The east door opening will be widened to accommodate a glass sliding door.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Rhythm of solids to voids in front facades will remain as they are for the existing building.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Rhythm of spacing and buildings on streets will remain as they are for the existing building.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The new canopies will be visually compatible with the updated look of the building and reflect what has been done on the newer buildings and remodelings on campus

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The majority of materials on the existing building shall remain unchanged. Those elements that are being replaced shall be similar in color those that were removed.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

The roof shape of the existing building shall remain as is.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Building facades and appurtenances will remain unchanged except for the replacement of the windows and the updated canopies, doors and trims which form a new cohesive look for the building.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The size and mass of buildings shall remain the same for the existing building.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The existing building is visually compatible to the surrounding context and is being updated to reflect other new and updated buildings on the campus.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Elements replaced are with more thermally efficient materials.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
There are minor changes to parking and drop off area to the existing site plan and the parking ratio is met.
2. The proposed site plan interferes with easements and rights-of-way.
All easements and right-of-way are to remain unchanged.
3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
There are minor changes to the parking and drop off area in the back of the building. The main physical features of the site are to remain unchanged.
4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
There are minor changes to the parking and drop off area in the back of the building that will not create any injurious or detrimental conditions.
5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
Existing building and traffic patterns shall remain unchanged. We are adding an additional portion of sidewalk to aid with pedestrian access to the building entrance.
6. The screening of the site does not provide adequate shielding from or for nearby uses.
Perimeter landscape to remain essentially unchanged.
7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
There are minor changes to parking and drop off area to the existing site plan, and as such the existing structure and overall site shall remain unchanged.
8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
No special use permit is required.
9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.
There are minor changes to parking and drop off area to the existing site plan, and as such drainage shall remain unchanged.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

There are minor changes to parking and drop off area to the existing site plan and as such utilities into the site shall remain unchanged.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

There are minor changes to parking and drop off area to the existing site plan and as such shall remain unchanged.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

With the addition of the revised drop-off and new portion of the sidewalk the safety of the users of the building will be improved.

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: David Dastur

Owner's name (if different): 11 Salt Creek Campus LLC

Property address: 11 Salt Creek Lane Hinsdale, IL 60521

Property legal description: [attach to this form]

Present zoning classification: O-3, General Office District

Square footage of property: 41,856

Lot area per dwelling: N/A

Lot dimensions: 479" x 513'

Current use of property: Medical Office Building

Proposed use: ☐ Single-family detached dwelling
☒ Other: Medical Office Building

Approval sought: ☐ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☒ Site Plan ☒ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

Expansion of the existing drop-off. Exterior upgrades to the windows, exterior doors and porticos.

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>80.2'</u>	<u>25'</u>
interior side(s)	<u>0' / 0'</u>	<u>0' / 0'</u>

Provided:**Required by Code:**

corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>35.9'</u>	<u>25'</u>

Setbacks (businesses and offices):

front:	<u>100.5'</u>	<u>25'</u>
interior side(s)	<u>89.5' /</u>	<u>10' / 10'</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>216.6'</u>	<u>25'</u>
others:	<u>N/A</u>	<u>N/A</u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>

Building heights:

principal building(s):	<u>42'-4"</u>	<u>60'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Maximum Elevations:

principal building(s):	<u>42'-4"</u>	<u>60'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Dwelling unit size(s):	<u>N/A</u>	<u>N/A</u>
------------------------	------------	------------

Total building coverage:	<u>N/A</u>	<u>N/A</u>
--------------------------	------------	------------

Total lot coverage:	<u>55%</u>	<u>55 %</u>
---------------------	------------	-------------

Floor area ratio:	<u>.247</u>	<u>0.35</u>
-------------------	-------------	-------------

Accessory building(s):	<u>N/A</u>	
------------------------	------------	--

Spacing between buildings: [depict on attached plans]

principal building(s):	<u>N/A</u>	<u></u>	<u></u>
accessory building(s):	<u>N/A</u>	<u></u>	<u></u>

Number of off-street parking spaces required: 160

Number of loading spaces required: 1

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:  _____
DocuSigned by: BE54AF097F044EB
 Applicant's signature

David Dastur
 Applicant's printed name

Dated: 5/15, 2023.



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: David Dastur
Address: 820 W Jackson Suite 850
City/Zip: Chicago, IL 60607
Phone/Fax: (312) 664-7557 /
E-Mail: ddastur@jandhltd.com

Owner

Name: 11 Salt Creek Campus, LLC
Address: 2711 Centerville Rd Ste 400
City/Zip: Wilmington, DE 19808
Phone/Fax: (847) 897-7303 /
E-Mail: kenright@medpropertiesgroup.com

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Trudy Buehler
Title: Vice President
Address: 9575 W Higgins Rd # 500
City/Zip: Rosemont, IL 60018
Phone/Fax: (847) 878-1838 /
E-Mail: tbuehler@mackieconsult.com

Name: Michael Trippiedi
Title: President
Address: 902 Sundew Ct
City/Zip: Aurora, IL 60504
Phone/Fax: (630) 375-9400 /
E-Mail: michael@trippiedidesign.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) N/A
- 2)
- 3)

II. SITE INFORMATION

Address of subject property: 11 Salt Creek Lane Hinsdale, IL 60521

Property identification number (P.I.N. or tax number): 06 - 36 - 405 - 022

Brief description of proposed project: Renovations to the existing porticos on the east and west sides of the building. Replacement of the existing windows and exterior doors with thermally efficient products. Removal and replacement of the east entrance to a new automatic sliding door. Removal and replacement of the exterior light fixtures. Site scope of work includes enlargement of increased drop off, additional sidewalk and revised landscaping around the building.

General description or characteristics of the site: Existing site and building are to remain as they currently are, excluding the changes mentioned above.

Existing zoning and land use: O-3

Surrounding zoning and existing land uses:

North: O-3 - General Office District

South: O-3 - General Office District

East: O-3 - General Office District

West: O-3 - General Office District

Proposed zoning and land use: Maintain O-3 as it currently is

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E
Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 11 Salt Creek Lane Hinsdale, IL 60521

The following table is based on the 0-3 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	20,000 SF	169,798
Minimum Lot Depth	125'	513'
Minimum Lot Width	80'	479'
Building Height	60'	42'-4"
Number of Stories	5	3
Front Yard Setback	25'	100.5'(setback), 80.2' (yard)
Corner Side Yard Setback	N/A	N/A
Interior Side Yard Setback	10' (setback); 0' (yard)	89.5' (setback); 0' (yard)
Rear Yard Setback	25' (setback); 25' (yard);	216.6' (setback); 35.9' (yard)
Maximum Floor Area Ratio (F.A.R.)*	0.35	41,856/169,798 = 0.247 - Existing to Remain
Maximum Total Building Coverage*	N/A	N/A
Maximum Total Lot Coverage*	55 Percent	55 Percent (93,132 sf)
Parking Requirements	160 parking spaces per Ordinance No. 02002-18 and 134 spaces based on a net floor area of 36,860 sf	172 spaces (proposed) 176 spaces (existing)
Parking front yard setback	25'	86'
Parking corner side yard setback	25'	N/A
Parking interior side yard setback	0'	0' (existing)
Parking rear yard setback	20'	35.9'
Loading Requirements	1	1
Accessory Structure Information	N/A	N/A

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 31 day of January, 2023, I/We have read the above certification, understand it, and agree to abide by its conditions.


Signature of applicant or authorized agent

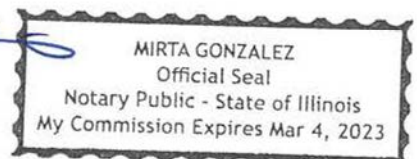
Signature of applicant or authorized agent

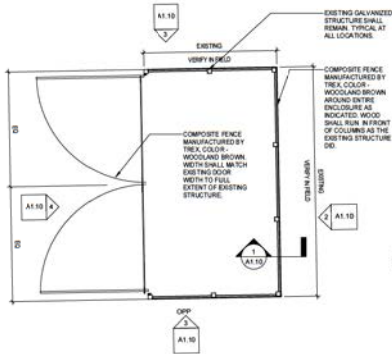
Name of applicant or authorized agent

Name of applicant or authorized agent

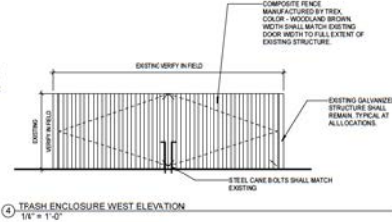
SUBSCRIBED AND SWORN
to before me this 31st day of
January, 2023.


Notary Public

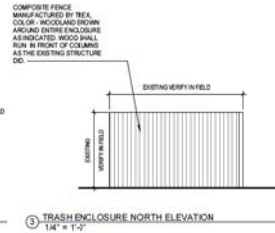




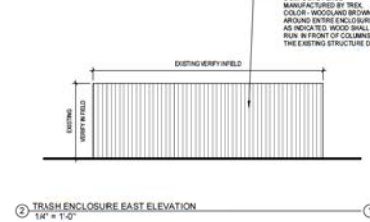
3 TRASH ENCLOSURE
1/4" = 1'-0"



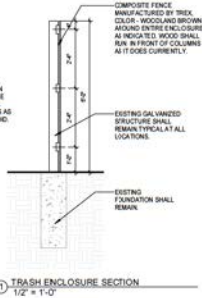
4 TRASH ENCLOSURE WEST ELEVATION
1/4" = 1'-0"



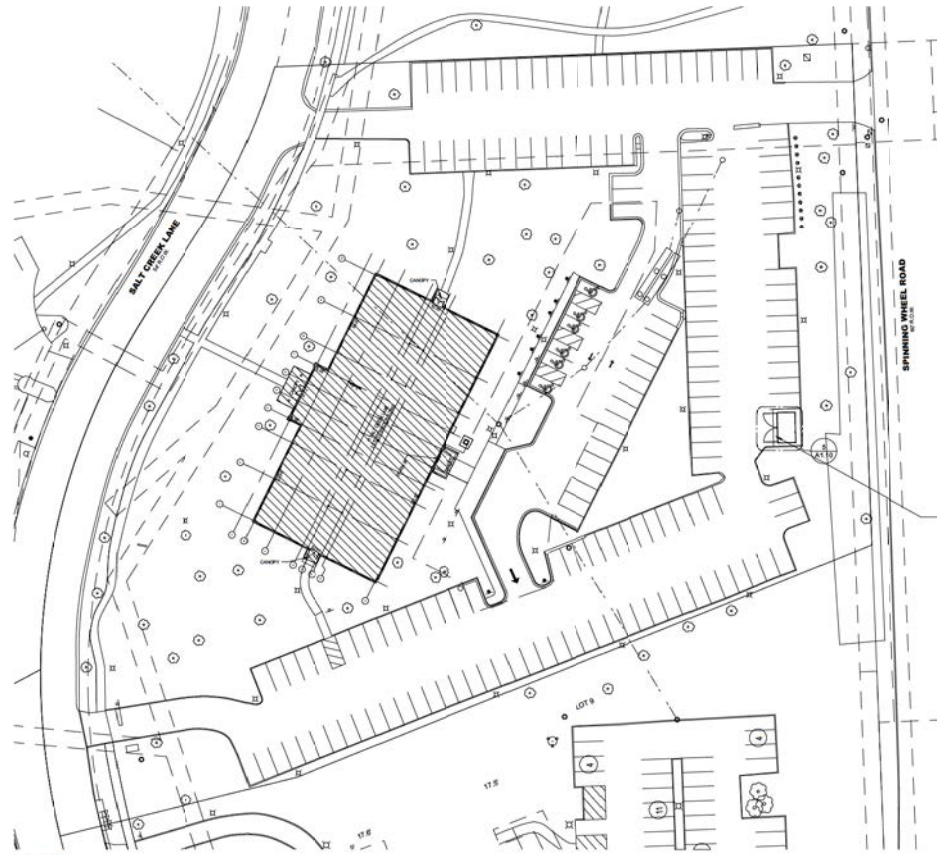
5 TRASH ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"



2 TRASH ENCLOSURE EAST ELEVATION
1/4" = 1'-0"



1 TRASH ENCLOSURE SECTION
1/2" = 1'-0"



6 SITE PLAN
1" = 30'-0"

CONTRACTOR SHALL REPLACE TRASH ENCLOSURE TO MATCH EXISTING TRASH ENCLOSURE. EXISTING STRUCTURE SHALL REMAIN. CONTRACTOR SHALL MATCH HEIGHT AND DIMENSIONS OF EXISTING ENCLOSURE. COMPOSITE FENCE MANUFACTURED BY TREX, COLOR: WOODLAND BROWN, AROUND ENTIRE ENCLOSURE AS INDICATED. WOOD SHALL RUN IN FRONT OF COLUMNS AS THE EXISTING STRUCTURE DOES.



JENSEN & HALSTEAD, LTD.
ARCHITECTURE PLANNING INTERIORS

ARCHITECTURAL CORPORATION
LICENSE NO. 194-000279
820 WEST JACKSON BOULEVARD, SUITE 800
CHICAGO, ILLINOIS 60607
TEL. 312.694.7557 WWW.JANDHLTD.COM

Seal
Project:
MEDPROPERTIES
SALT CREEK
ENTRY RENOVATION
11 SALT CREEK LN
HINSDALE, IL 60521
Consultants:

Revision		
No.	Date	Description
01	12/14/2022	ISSUE FOR APPEARANCE REVIEW
02	05/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title
ARCHITECTURAL SITE
PLAN

Prepared by: MPR22240
Date: 05/11/2023
Drawn by: JPM
Checked by: JPM
Approved by: DD

Sheet Number
A1.10
Sheet 1 of 7 Sheets



PRIVACY FENCE SHALL SCREEN TRANSFORMER LOCATED NORTH OF EAST BUILDING ENTRANCE. THE FENCE IS BEING PROPOSED DUE TO LIMITED SPACE THAT WILL NOT ACCOMMODATE A VERTICAL EVERGREEN HEDGE. FENCE SHOWN IS MANUFACTURED BY TREX- STYLE - SECLUSIONS AT 8' HEIGHT. MATERIAL - COMPOSITE. COLOR - WOODLAND BROWN.



COMPOSITE PRIVACY FENCE COMPONENTS, APPEARANCE, AND COLOR OPTIONS.



CLIMBING HYDRANGEA (MATURE SEE: 30' HIGH X 6' WIDE) SHALL COVER AND AESTHETICALLY SOFTEN ENTIRE PRIVACY FENCE FOR PROPOSED TRANSFORMER SCREEN.



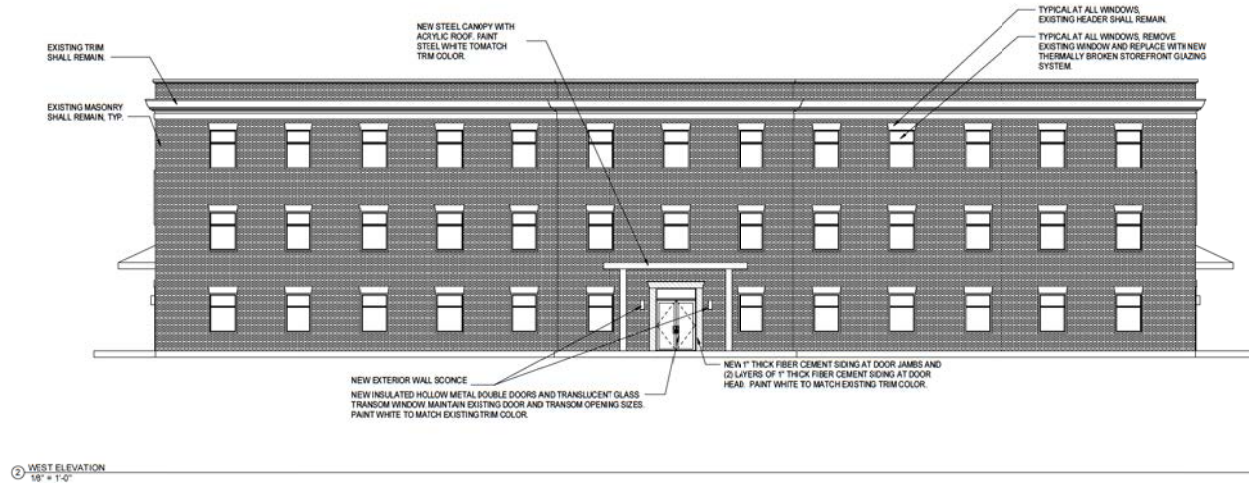
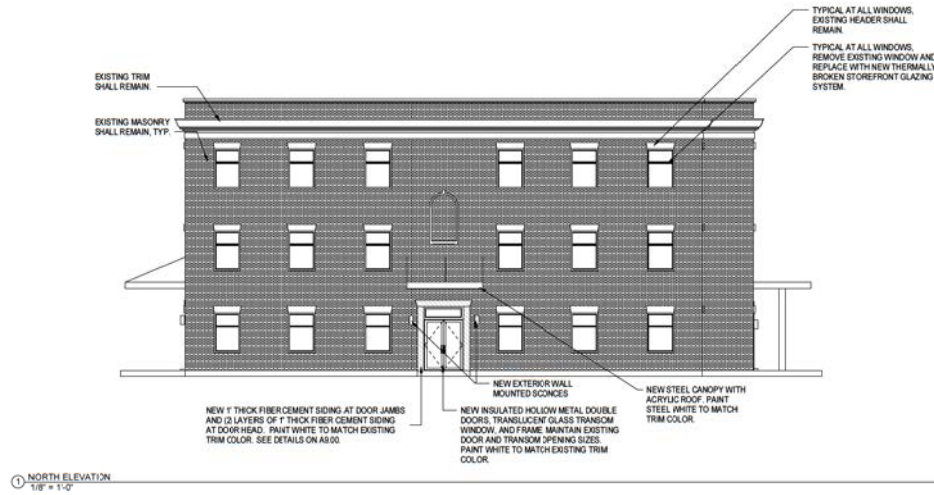
GREEN VELVET BOXWOOD (MATURE SIZE: 4' HIGH X 4' WIDE) SHALL ANCHOR AND COVER BASE OF PRIVACY FENCE.



DENSELY BRANCHED MARIESI DOUBLEFILE YEW (MATURE SIZE 8' HIGH X 8' WIDE) SHALL SCREEN INTERIOR VIEWS AND NORTH FACE OF TRANSFORMER WITHOUT OVERCROWDING SPACE AND EXCEEDING HEIGHT OF SECOND FLOOR.



JANE MAGNOLIA (MATURE SIZE: 12'-15' HIGH X 8'-10' WIDE) SHALL REPLACE EXISTING EUROPEAN HORNBEAM THAT HAVE BECOME OVERGROWN - OBSCURING THE EAST BUILDING ELEVATION AND BLOCKING WINDOWS. THE NEW TREES WILL SERVE AS A REPEATED STRUCTURAL ELEMENT - PROVIDING CONTINUITY WHILE ENHANCING THE BUILDING APPEARANCE.



A HISTORY OF INNOVATION IN ARCHITECTURE



JENSEN & HALSTEAD, LTD.
ARCHITECTURE PLANNING INTERIORS

ARCHITECTURAL CORPORATION
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Set:

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MEDPROPERTIES
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ENTRY RENOVATION
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Consultants:

Key Plan:

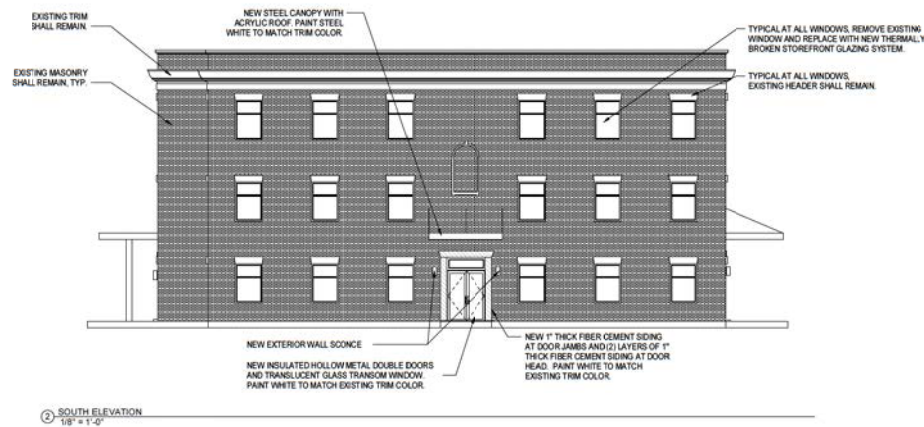
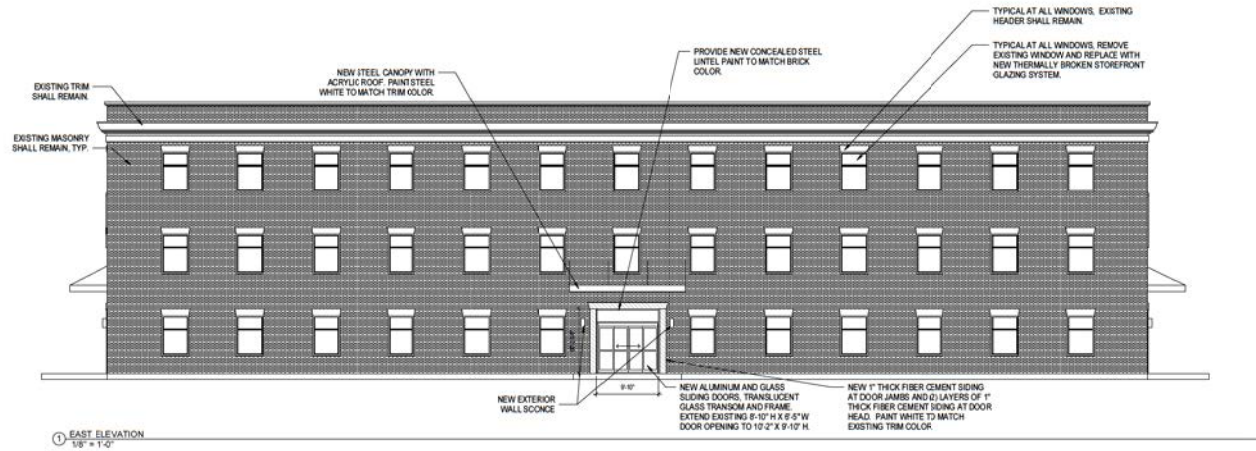
No.	Date	Description
02	12/14/2022	ISSUE FOR APPEARANCE REVIEW
03	05/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title:

EXTERIOR ELEVATIONS

Prepared by: MPR22240
Date: 05/11/2023
Drawn by: LLJM
Checked by: JM
Approved by: DD

Sheet Number
A8.00
Sheet 2 of 7 Sheets



A HISTORY OF INNOVATION IN ARCHITECTURE



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CHICAGO, ILLINOIS 60607

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ENTRY RENOVATION
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Consultants:

Key Plan:

No.	Date	Description
12/14/2022	12/14/2022	ISSUE FOR APPEARANCE REVIEW
06/11/2023	06/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title:

EXTERIOR ELEVATIONS

Project No. MPR22240
Date: 05/11/2023
Drawn by: LLJM
Checked by: JM
Approved by: DD

Sheet Number
A8.01
Sheet 3 of 7 Sheets



PORTICO TO BE REMOVED DUE TO WOOD DETERIORATION. EXISTING DOOR TO BE REPLACED WITH NEW THERMALLY BROKEN ALUMINUM DOOR. SEE ARCHITECTURAL PLANS AND ELEVATIONS.



TYPICAL FOR NORTH AND SOUTH ELEVATIONS. EXISTING DOOR TRIM TO BE REPLACED WITH NEW CANOPY. SEE ELEVATIONS FOR NEW SCOPE OF WORK. EXISTING DOOR TO BE REPLACED WITH NEW INSULATED METAL DOOR.



EXISTING WINDOW TO BE REPLACED. SEE EXTERIOR ELEVATIONS FOR NEW WINDOW DESIGN.



EXISTING WINDOWS TO BE REPLACED. SEE EXTERIOR ELEVATIONS FOR NEW WINDOW DESIGN.



PORTICO TO BE REMOVED DUE TO WOOD DETERIORATION. EXISTING DOOR TO BE REPLACED WITH NEW THERMALLY BROKEN ALUMINUM DOOR. SEE ARCHITECTURAL PLANS AND ELEVATIONS.



EXISTING DOOR TRIM TO BE REPLACED. SEE ELEVATIONS FOR NEW SCOPE OF WORK. EXISTING DOOR TO BE REPLACED WITH NEW INSULATED METAL DOOR.

A HISTORY OF INNOVATION IN ARCHITECTURE



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ARCHITECTURE PLANNING INTERIORS

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Set:

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ENTRY RENOVATION
11 SALT CREEK LN
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Consultants:

Key Plan:

No.	Date	Description
12/14/2022	12/14/2022	ISSUE FOR APPEARANCE REVIEW
05/11/2023	05/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title
**EXISTING BUILDING
PHOTOS**

Project No. MPR22240
Date: 05/11/2023
Drawn by: LLJM
Checked by: JM
Approved by: DD

Sheet Number
A8.03
Sheet 4 of 7 Sheets



EDWARD ELMHURST IMMEDIATE CARE - 8 SALT CREEK LANE STE 202, HINSDALE, IL 605212903



SALT CREEK MEDICAL CAMPUS - 901 N ELM ST, HINSDALE, IL 605212903

A HISTORY OF INNOVATION IN ARCHITECTURE



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LICENSE NO. 184-0002279
820 WEST JACKSON BOULEVARD, SUITE 800
CHICAGO, ILLINOIS 60607
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Text

Project:
MEDPROPERTIES
SALT CREEK
ENTRY RENOVATION
11 SALT CREEK LN
HINSDALE, IL 60521

Consultants:

Key Plan:

No.	Date	Description
12/14/2022	12/14/2022	ISSUE FOR APPEARANCE REVIEW
05/11/2023	05/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title

CONTEXTUAL PHOTOS

Project No. MPR22240
Date 05/11/2023
Drawn by JPM
Checked by JPM
Approved by DD

Sheet Number
A8.04
Sheet 6 of 7 Sheets



EXTERIOR SCONCES SHALL BE REPLACED WITH FIXTURE SHOWN. SHOWN: VADO WALL SCONCE



EXISTING WINDOWS SHALL BE REPLACED WITH FIXED THERMALLY EFFICIENT STOREFRONT SYSTEM SIMILAR TO ADJACENT BUILDINGS.



EAST DOOR SHALL BE REPLACED BY NEW ALUMINUM AND GLASS SLIDING DOORS, TRANSLUCENT TRANSOM GLASS AND FRAME, SIMILAR TO ABOVE IMAGE. PROVIDE WHITE POWDER COAT TO ALUMINUM DOOR AND FRAME. DOOR TRIM WILL BE SIMILAR TO TRIM SHOWN AROUND DOOR IN IMAGE.



EXTERIOR DOORS ON THE NORTH, WEST AND SOUTH SIDES SHALL BE REPLACED WITH AN INSULATED HOLLOW METAL DOOR WITH A SIMILAR DOOR ELEVATION AESTHETIC.

A HISTORY OF INNOVATION IN ARCHITECTURE

JENSEN & HALSTEAD, LTD.
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LICENSE NO. 194-0002279
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TEL. 312.694.7557 WWW.JANDHLTD.COM

SALT CREEK
ENTRY RENOVATION
11 SALT CREEK LN
HINSDALE, IL 60521

No.	Date	Description
02/14/2022	ISSUE FOR APPEARANCE REVIEW	
05/11/2023	ISSUE FOR APPEARANCE REVIEW	

NEW SCOPE OF WORK

Prepared No. MPR222240
Date 05/11/2023
Drawn by LLJM
Checked by JM
Approved by DD

Sheet Number
A8.05
Sheet 5 of 7 Sheets



EAST ENTRY



NORTH AND SOUTH ENTRY



WEST ENTRY



WEST ENTRY

A HISTORY OF INNOVATION IN ARCHITECTURE



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LICENSE NO. 184-000279
820 WEST JACKSON BOULEVARD, SUITE 800
CHICAGO, ILLINOIS 60607
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Set:

Project:
MEDPROPERTIES
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ENTRY RENOVATION
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Consultants:

Key Plan:

No.	Date	Description
01	12/14/2022	ISSUE FOR APPEARANCE REVIEW
02	05/11/2023	ISSUE FOR APPEARANCE REVIEW

Sheet Title
RENDERINGS

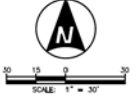
Project No. MPR22240
Date: 05/11/2023
Drawn by: LLJM
Checked by: JM
Approved by: DD

Sheet Number
A9.00
Sheet 7 of 7 Sheets

TOPOGRAPHIC SURVEY

PROPERTY DESCRIPTION:

LOT 10 IN OFFICE PARK OF HINSDALE BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF SECTION 35, TOWNSHIP 30 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT 82002-243817, IN OURAQUE COUNTY, ILLINOIS.



LEGEND:

- BOUNDARY LINE
- BUILDING SETBACK LINE (BSL)
- EXISTING LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- ENCLOSURE
- GUARDRAIL
- BURN LINE
- MANHOLE (MH)
- CATCH BASIN (CB)
- INLET (IN)
- PLUMBED END SECTION (PES)
- VALVE VAULT (VV)
- VALVE BOX (VB)
- BUFFALO BOX (BB)
- SUPPLIED BOX PIPE ONLY (SBPO)
- AUXILIARY VALVE (AV)
- CLEANOUT (CO)
- WELLHEAD (WH)
- GAS VALVE (GV)
- FIRE HYDRANT (FH)
- GOY WIRE (GW)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- MANHOLE (MH)
- TRAFFIC SIGNAL BOX (TSB)
- TRAFFIC SIGNAL (TS)
- LIGHT (LT)
- POWER POLE (PP)
- GOY WIRE (GW)
- CABLE PEDISTAL (PCD)
- ELECTRIC PEDISTAL (PEP)
- TELEPHONE PEDISTAL (PTP)
- TRANSFORMER
- IRON
- DEPRESSURE TRAP (DIT) (IN INCHES)
- CONCRETE TRAP (CT) (IN INCHES)
- BURN
- ENCLOSURE
- SPOT ELEVATION
- FOOTING
- TOP OF CURB ELEVATION
- TOP OF DEPRESSURE CURB ELEVATION
- WALK ELEVATION
- CURB AND GUTTER
- CHORD BENDING
- CHORD LENGTH
- FOUND CROSS CUT
- FOUND IRON ROD
- FOUND IRON PIPE
- ARC LENGTH
- RADIUS
- SITE BENCHMARK
- SET CROSS CUT
- SET IRON PIPE
- SET IRON ROD
- SET IRON NAIL
- STORM
- STRUCTURE
- TRANSFORMER
- CONCRETE (CONC)
- GRAVEL
- HOT MIX ASPHALT (HMA)
- BUILDING
- TRUNCATED DOME
- DEPRESSURE CURB



NOTES:

- MEASUREMENTS BASED ON NAD83 (2011) ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF EXISTING STRUCTURE.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EXISTENCES WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. REFER TO THE RECORDED PLAT FOR OTHER RESTRICTIONS.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CONTRACT DATE: 11-08-2022-0123 FOR EXACT LOCATION OF BURIED UTILITIES REFER TO DRAWING.
- CONSIDERABLE ABOVE GROUND UTILITIES AND ABOVE GROUND EVIDENCE OF UNDERGROUND UTILITIES LOCATED AND SHOWN HEREON.
- SURVEY IS BASED ON FIELD WORK COMPLETED ON 08-18-22.

BENCHMARKS:

- SOURCE BENCHMARK: OURAQUE COUNTY (M 1430002)
- BENCHMARK: 100 IN CONCRETE LIGHT POLE BASE LOCATED IN ENTRANCE TRAFFIC ISLAND AT INTERSECTION OF YORK ROAD AND GOREY LANE. ELEVATION = 632.96
- SITE BENCHMARK #1: SQUARE CUT ON SOUTH SIDE OF LIGHT POLE BASE AT THE WEST END OF PARKING LOT APPROXIMATELY 250 FEET NORTH OF THE NORTHWEST CORNER OF 12 SALT CREEK LANE MEDICAL OFFICE BUILDING. ELEVATION = 631.45
- SITE BENCHMARK #2: SQUARE CUT ON WEST SIDE OF SALT CREEK LANE APPROXIMATELY 100 FEET NORTH OF GOREY AVENUE. ELEVATION = 632.42
- SITE BENCHMARK #3: SQUARE CUT IN THE SOUTHWEST CORNER OF LIGHT POLE BASE IN PARKING LOT APPROXIMATELY 175 FEET SOUTH OF THE SOUTHWEST CORNER OF 12 SALT CREEK LANE MEDICAL OFFICE BUILDING. ELEVATION = 631.88

STATE OF ILLINOIS

COUNTY OF COOK

WE, MACKIE CONSULTANTS, LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 035-003057, HEREBY CERTIFY THAT WE HAVE PREPARED THE TOPOGRAPHIC SURVEY ON THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID TOPOGRAPHIC SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF

AUGUST, 2022 IN ROSEMONT, ILLINOIS.

DATE: 08-24-22

SCALE: 1" = 30'

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847) 696-1400
www.mackieconsultants.com

CLIENT:

MedProperties

71 SOUTH WACKER DRIVE
SUITE 3725
CHICAGO, ILLINOIS 60606
PH: (847) 697-7300
FAX: (847) 697-7333

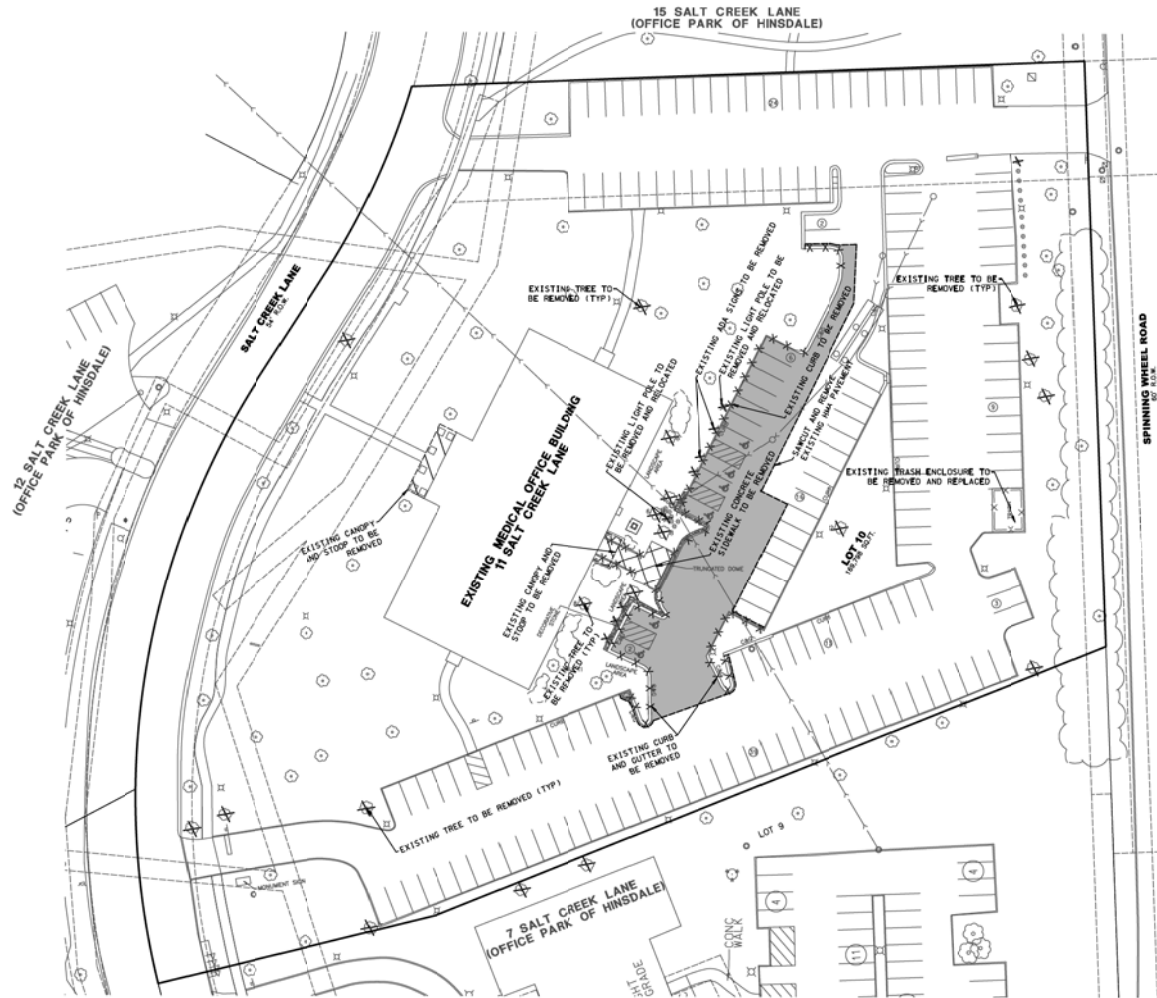
DESIGNED	SMC
DRAWN	DAG
APPROVED	DAG
DATE	08-24-22
SCALE	1" = 30'
DATE	
DESCRIPTION OF REVISION	
BY	

TOPOGRAPHIC SURVEY
11 SALT CREEK
HINSDALE, ILLINOIS

SHEET

1 OF 1

PROJECT NUMBER: 4468
80 MACKIE CONSULTANTS, LLC, 2022
ILLINOIS FIRM LICENSE: 04-000894



DEMOLITION LEGEND	
EXISTING CANOPY TO BE REMOVED	
EXISTING CONCRETE TO BE REMOVED	
EXISTING HMA PAVEMENT TO BE REMOVED	
EXISTING GRAVEL TO BE REMOVED	
EXISTING CURB TO BE REMOVED	
EXISTING STRUCTURE, TREE, MISCELLANEOUS OBJECT TO BE REMOVED	

EXISTING PARKING SPACES = 176 SPACES



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847) 995-1400
www.mackieconsultants.com

CLIENT:

MEDPROPERTIES
71 SOUTH WACKER DRIVE, SUITE 3725
CHICAGO, IL 60606
PHONE: 847-897-7315

DESIGNED	MJM
DRAWN	MJM
APPROVED	TKB
DATE	02/22/2023
SCALE	1" = 30'
DATE	5-3-2023
DESCRIPTION OF REVISION	REVISD PER ARCHITECT
DATE	1-21-2023
DESCRIPTION OF REVISION	REVISD PER VILLAGE COMMENTS

DEMOLITION PLAN
11 SALT CREEK LANE
HINSDALE, ILLINOIS

SHEET	1 OF 1
PROJECT NUMBER	4468
ISSUED FOR	DEMOLITION
DATE	02/22/2023
ILLINOIS FIRM LICENSE	04-000044



Tree Preservation Plan

Scale: 1"=20'

Tree Inventory

[illegible]

PrePost Construction Key

- | | |
|------------------------|--|
| 1 Fertilization | Does not reject nitrogen liquid fertilizer as Essential to design to introduce supplementary nutrients/organic matter to soil & reduce stress |
| 2 Root Growth | Set least dense root growth regulator around base of tree to design to increase root density and tolerance to stress caused by construction |
| 3 Root Pruning | Root pruning to be done at 12" to 18" from trunk to design to increase root density and tolerance to stress caused by construction |
| 4 Root Thinning | Root thinning of above-ground branches to increase airflow to canopy, strengthen structural strength, & compensate for root loss from construction |
| 5 Root Zone Excavation | Remove Root Zone Excavation to remove detrimental particles which may be inhibiting the uptake of nutrients & water throughout tree |
| 6 Root Watering | Regular watering of root system may be necessary to ensure adequate water uptake, root health, and moderate soil temperatures |
| 7 Mulching | Spread 2" layer of hardwood mulch around canopy of the tree to conserve soil, moderate soil temperatures, & prevent mechanical damage |
| 8 Root Protection | Root prune zone prior to proposed utility excavation |

General Notes

- [illegible]

TRIPPIED
design

LANDSCAPE ARCHITECTURE
902 Sundew Court, Aurora IL 60504
630-315-9400

© 2005 Taylor & Francis, P.O.

CAUTION: DRAWINGS MAY BE NOT BE PRINTED TO SCALE. AT FULL SIZE THE LINE SHOWN IS 3 INCHES LONG. CONSTRUCTION DIMENSIONS SHOULD NOT BE SCALED.

3	01/26/2023	Issued for Village Submission
2	11/16/2022	Issued for Village Submission
1	11/03/2022	Issued for Client Review
No.	Date	Issue Description



1-26-2023

MedProperties Group

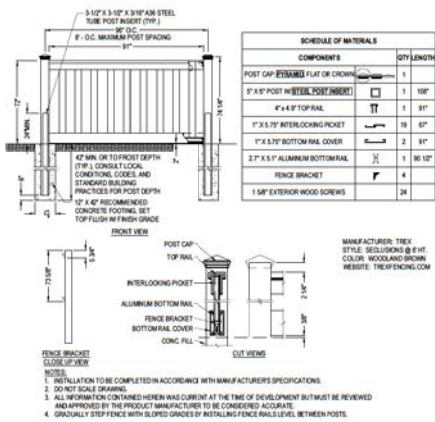
71 S. Wacker Drive, Suite 3725
Chicago, IL 60606

Medical Office Building
Salt Creek Medical Campus
11 Salt Creek
Hinsdale, IL

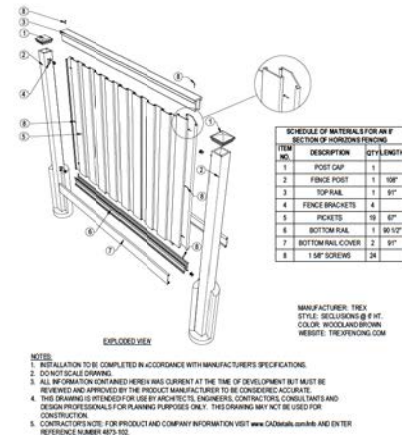
Tree Preservation Plan

MRT
1012A

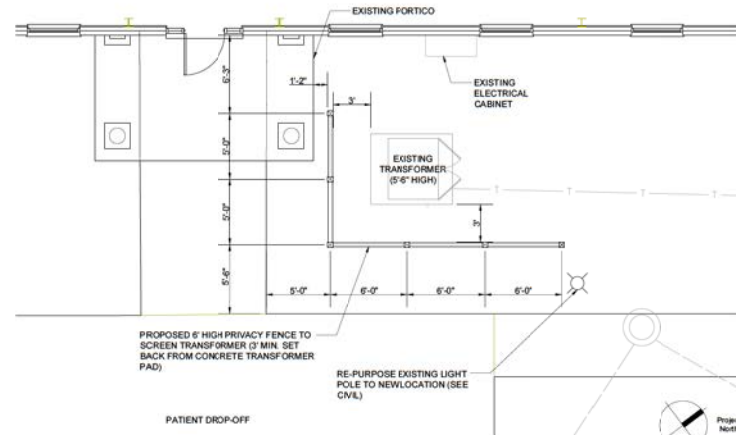
L1



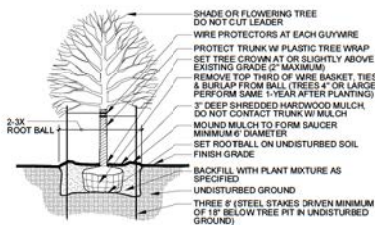
1 Transformer Screen - Composite Privacy Fence
Not to Scale



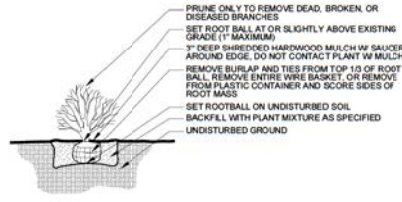
2 Transformer Screen - Composite Privacy Fence
Not to Scale



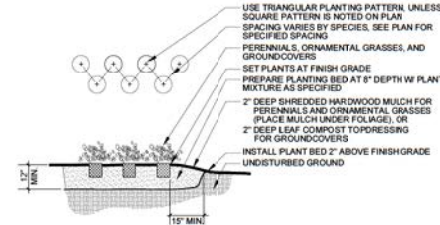
3 Transformer Screen Layout at East Building Entrance
Scale: 1/4"=1'-0"



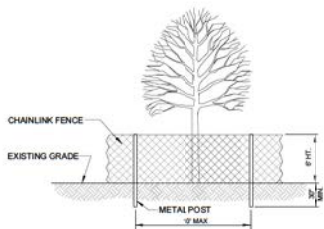
4 Deciduous Tree Planting
Not to Scale



5 Shrub Planting
Not to Scale



6 Perennial & Groundcover Planting
Not to Scale



7 Tree Protection Detail
Not to Scale



OVERGROWN LANDSCAPE AT EAST BUILDING ELEVATION CREATES A NARROW UNINVITING CORRIDOR AT ENTRYWAY. OBSCURES THE BUILDING, AND OBSTRUCTS WINDOWS. EXISTING TREES TO BE REPLACED WITH INTERMEDIATE TREES THAT ARE IN SCALE WITH THE BUILDING. SEE LANDSCAPE PLAN AND EAST ELEVATION TREES.



LEFT SIDE VIEW OF ENTRYWAY (SOUTH OF SIDEWALK).



RIGHT SIDE VIEW OF ENTRYWAY (NORTH OF SIDEWALK). JUNIPER HEDGE AND EUROPEAN HORNBAM OBSCURE BUILDING ELEVATION AND BLOCK SECOND FLOOR WINDOWS. SEE LANDSCAPE PLAN.



LANDSCAPE IN CONFLICT WITH NEW PATIENT DROP-OFF. SEE LANDSCAPE PLAN



TRANSFORMER IS IN CLOSE PROXIMITY TO MAIN BUILDING ENTRANCE. JUNIPER HEDGE IS OVERGROWN, CREATING NARROW CORRIDOR AT ENTRYWAY AND BLOCKING SECOND FLOOR WINDOWS.



SPACE BETWEEN PORTICO AND TRANSFORMER IS LIMITED WITH ~4' NARROW GREEN SPACE, OF WHICH 3' IS REQUIRED FOR PERIMETER CLEARANCE, LEAVING INSUFFICIENT ROOM FOR A VERTICAL EVERGREEN HEDGE. LANDSCAPE TO BE REPLACED WITH SOLID PRIVACY FENCE, CLIMBING VINES, AND APPROPRIATELY SIZED PLANTINGS. SEE LANDSCAPE PLAN AND NEW TRANSFORMER SCREEN.



**PLAN COMMISSION
MEMORANDUM**

DATE: June 9, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

SUBJECT: Case A-07-2023 – 830 N. Madison Street – Salt Creek Club – Exterior Appearance and Site Plan Review to allow for the installation of two (2) paddle tennis courts on top of existing sports courts and the construction of a patio at 830 N. Madison Street in the OS Open Space District

FOR: June 14, 2023 Plan Commission Meeting

GENERAL APPLICATION INFORMATION

Applicant: Salt Creek Club

Subject Property: 830 N. Madison Street (PIN: 09-02-207-001)

Site Area: 8.925 acres (388,792 square feet)

Existing Zoning & Land Use: OS Open Space District – Membership Sports and Recreation Club

Surrounding Zoning & Land Use:

North: R-2 Single-Family Residential District – Single-family detached homes

South: R-2 Single-Family Residential District – Single-family detached homes

East: R-2 Single-Family Residential District – (across Madison Street) Single-family detached homes

West: R-2 Single-Family Residential District – Membership Organization (IBLP) / Bronswood Tributary / Open Space / Floodway

APPLICATION SUMMARY

The applicant requests approval of an Exterior Appearance and Site Plan Review to allow for the construction of two (2) paddle tennis courts on top of existing sports and a patio for Salt Creek Club, an existing private membership sports and recreation club, located at 830 N. Madison Street in the OS Open Space District. Salt Creek Club currently has twelve (12) tennis courts, four (4) paddle tennis courts, five (5) sports courts, an outdoor pool, and two (2) clubhouses. No changes are proposed to the building elevations, parking, or signage as part of this project.

REQUEST AND ANALYSIS

The applicant is proposing to construct two (2) paddle tennis courts and a viewing patio, as detailed below:

Paddle Tennis Courts - The two (2) new paddle tennis courts will be located directly on top of existing sports courts, to the north of two (2) existing paddle tennis courts (Courts #3 and #4) and paddle court clubhouse. Each court will be constructed with eight (8) lights, 1" hex wire fencing, aluminum decking, and will measure 31'-2" wide and 61'-2" long.

MEMORANDUM

The courts will be supported by concrete piers and elevated four (4) feet above adjacent grade. Wood stairs and a walkway will be located to the south of each court to provide access to users.

The proposed paddle tennis courts will have a reduced occupancy capacity compared to the existing sports courts. Per the applicant, the existing sports courts have a capacity of sixteen (16) people. The two (2) new paddle tennis courts will allow for eight (8) people. No changes are required to the number of parking spaces currently provided on site.

The proposed courts will be substantially setback from adjacent single-family residential properties. The courts are located approximately 435 feet from the front (east) lot line off Madison Street, 195 feet from the north lot line, 397' 3-½" from the south lot line, and 131' ½" from the rear (west) lot line.

As shown on the submitted plans, the courts will have an overall height of 24 feet, measured from adjacent grade to the top of the light fixtures. The height from adjacent grade to the top of the fencing will be 16 feet. Per Section 7-210, in the OS Open Space District, accessory structures are allowed a maximum base height of 15 feet. An increase to height is allowed when structures are significantly setback from single-family residential zoning districts. The maximum height may be increased one (1) additional foot, up to a maximum of 20 additional feet, for every five (5) feet by which the structure is setback from the nearest single-family residential district after exceeding 20 feet. The nearest property in the R-2 Single Family Residential District is located to the west of the courts. The proposed courts will be setback 131' ½" from the rear (west) lot line, which would allow for a maximum height of 35 feet. The proposed overall height of 24 feet meets Zoning Code requirements.

The applicant has submitted a photometric plan and lighting details for review. Each paddle tennis court will include eight (8) lights with shields that extend eight (8) feet above the hex wire fencing. The lights will have a color temperature of 5000K, which according to the applicant is the industry standard for platform tennis lighting. Lighting will be placed on a timer system and will be set to shut off at 10:45 p.m., following the closure of the courts at 10:30 p.m. As proposed, the court lighting meets the requirements of Section 9-101(D)(9): "Any permitted accessory lighting fixtures shall be so designed, arranged, and operated as to prevent glare and direct rays of light from being cast onto any adjacent public or private property or street and so as not to produce excessive sky reflected glare. Except for streetlights, no exterior light in or adjacent to any residential district shall be so designed, arranged, or operated to produce an intensity of light exceeding one-half (1/2) foot-candle at any residential lot line." The photometric plan shows 0 or 0.1 footcandles at the lot line resulting from the new platform tennis courts.

Viewing Patio - A 1,485 square foot patio constructed of a gray Unilock Bristol Valley paver is proposed to the east of the existing paddle tennis courts (Courts #3 and #4). Existing arborvitaes will be removed to provide pedestrian access between the paddle tennis courts, clubhouse, and viewing patio. The existing evergreen trees planted along the east side of the paddle tennis courts will be relocated elsewhere on site to allow for people on the patio to view the courts. A section of existing chain link fence will be relocated several feet over to the east. A natural gas fire feature will be installed in the center of the patio.

Two (2) of the three (3) existing curved retaining walls will be removed. Two (2) new retaining walls constructed of a Granite gray colored Unilock Pisa 2 block walls will be installed on the east and west sides of the patio. The maximum height of the walls will be just under three (3) feet (35-1/2" at the tallest point). A three (3) foot tall fence black aluminum railing will be installed adjacent to the wall for safety purposes.

MEMORANDUM

REVIEW PROCESS

Pursuant to Section 11-604 and Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for an Exterior Appearance Review or Site Plan Review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in Subsection 11-103(H), recommending either approval or disapproval of the Exterior Appearance and Site Plan based on the standards set forth in Section 11-604 and Section 11-606.

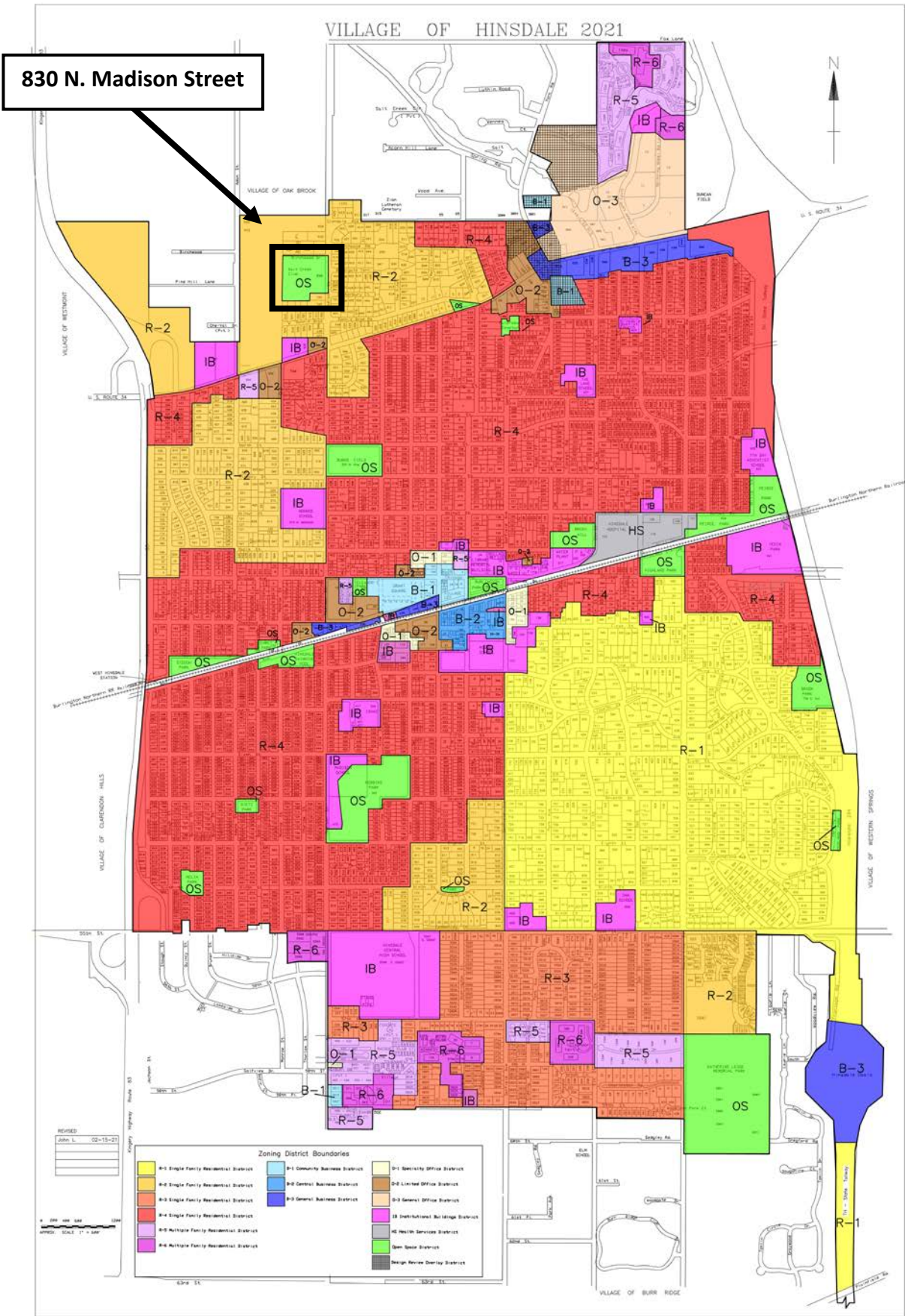
Within 90 days following the receipt of the recommendation of the Plan Commission, or its failure to act as above provided, the Board of Trustees, by ordinance duly adopted, shall approve the site plan as submitted, or shall make modifications acceptable to the applicant and approve such modified site plan, or shall disapprove it either with or without a remand to the plan commission for further consideration. The failure of the board of trustees to act within ninety (90) days, or such further time to which the applicant may agree, shall be deemed to be a decision denying site plan approval.

The subject property is located within 250 feet from a single-family zoning district and therefore public meeting notices via the newspaper, certified mail, and signage are required for this project.

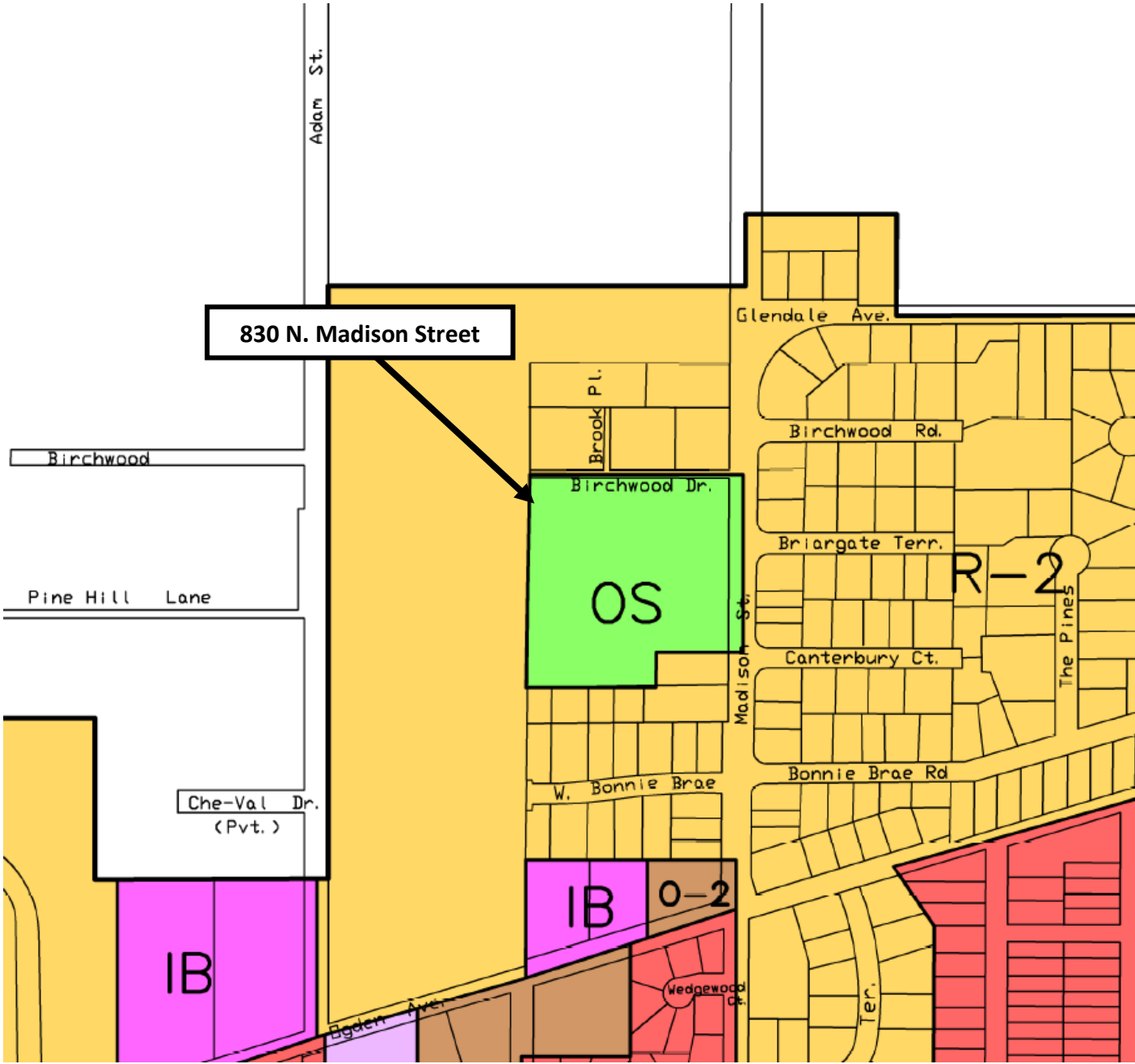
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birdseye View
4. Exterior Appearance & Site Plan Review Application and Exhibits

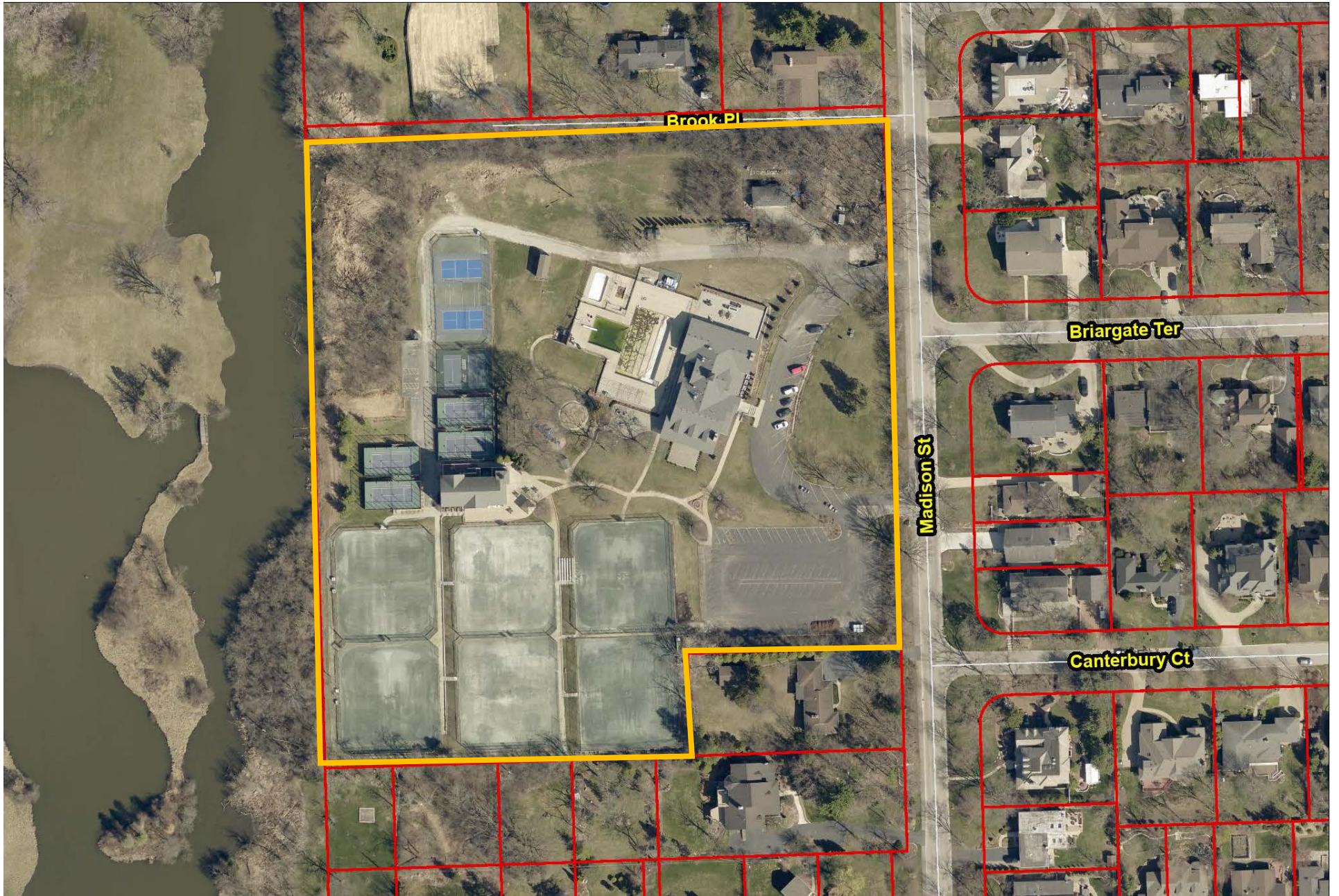
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Aerial View – 830 N. Madison Street



Birds Eye View – 830 N. Madison Street



March 6, 2023

Bethany Salmon
Village Planner
Village of Hinsdale
19 E Chicago Ave.
Hinsdale, IL 60521

Property: Salt Creek Club, 830 N Madison St., Hinsdale, IL 60521

Dear Mrs. Salmon,

Please find enclosed the applications and supporting materials for:

- A. Plan Commission General Application.
- B. Basic Exterior Appearance and Site Plan Review Application.

This is in connection with the installation of two (2) new paddle courts and a new paddle viewing paver patio. The following exhibits are also referred in the above applications:

- 1. EXHIBIT #1: LEGAL DESCRIPTION.
- 2. EXHIBIT #2: OWNER APPROVAL OF PROJECT VERIFICATION.
- 3. EXHIBIT #2: SURVEY SITE PLAN.
- 4. EXHIBIT #3: SITE PLAN W/ ZONING COMPLIANCE.
- 5. EXHIBIT #4: PADDLE COURT DRAWINGS, LIGHT SPECS, & PHOTOMETRIC PLAN.
- 6. EXHIBIT #5: NEW VIEWING PATIO PLAN, PAVER SPECS, HANDRAIL INFORMATION & RELATED LANDSCAPING PACKAGE
- 7. EXHIBIT #6: LETTERS TO NEIGHBORS & CORRESPONDENCE LOG.

Salt Creek Club is a private, family oriented membership that includes tennis, paddle tennis, pickle ball, swimming and social activities that was established in 1958. Salt Creek Club is located on 9 acres that includes 12 clay tennis courts and 4 paddle courts that are often cited as the best outdoor courts in the Midwest. Salt Creek Club tennis and paddle pros are rated among the top in the Chicagoland area, offering high-level junior and adult lessons.

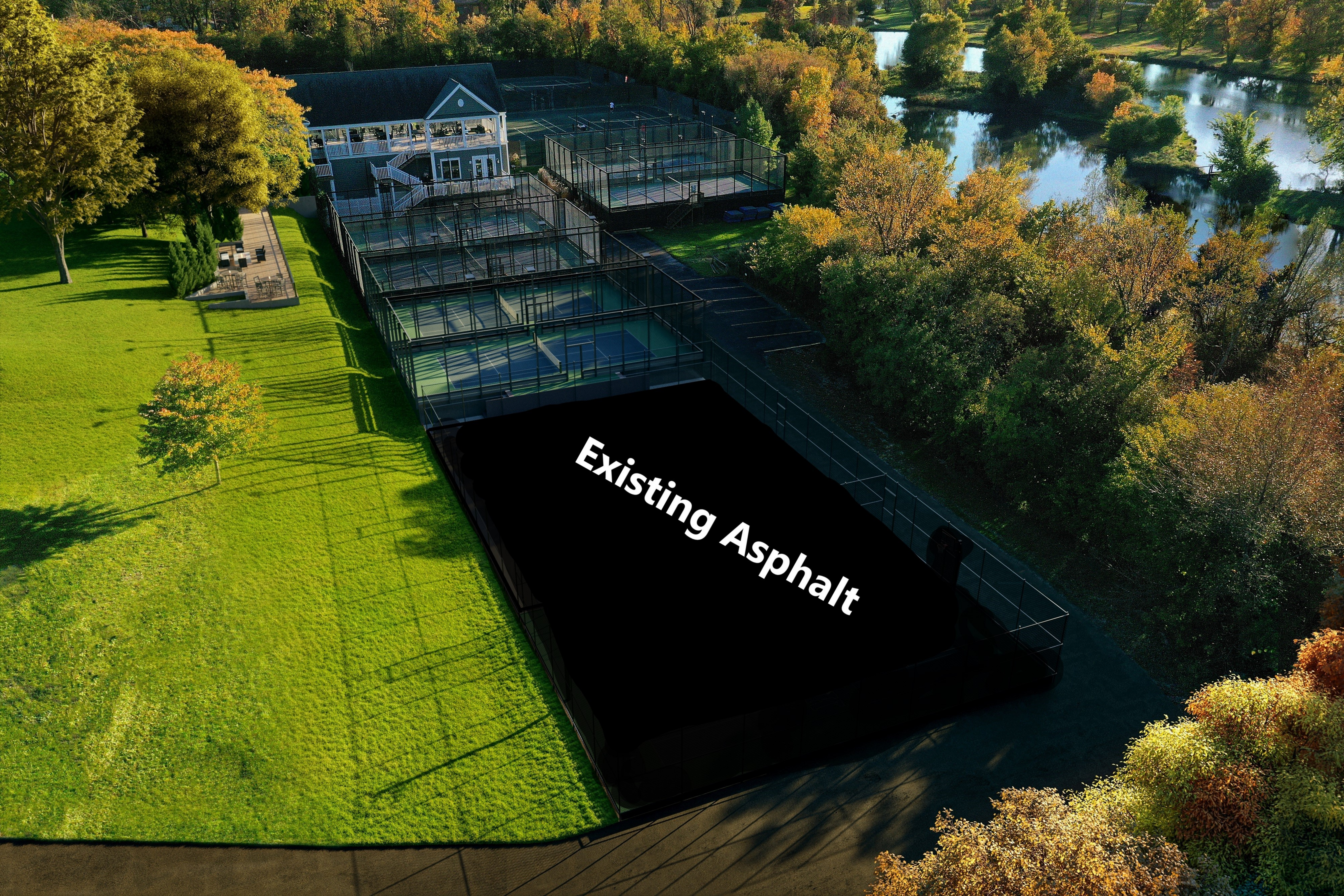
The paddle courts are used for both paddle leagues and for group and private lessons to both adults and juniors. Because of the demand for paddle, the membership has approved the installation of 2 additional paddle courts. This will allow more club members to participate in playing paddle when paddle court space is limited to the existing four courts. The existing 4 permanent paddle courts allow for only 16 members to play at one time. With the additional 2 courts, an additional 8 players can participate in the sport.

- The two (2) new paddle courts will be placed adjacent too and north of the existing paddle courts #3 & #4 and paddle building. The courts #3 & #4 are located at an elevation below the existing paddle courts #1 & #2 (-1.5").

- The new paddle court lights will be downgraded from the existing paddle court light wattage of 200 watts to 150 watts. The new paddle court lights will also be fitted with light shrouds installed to limit any light spread.
- The paddle court lighting are on a club timer that automatically turns off all lights at 10:45pm. Club members are required to exit the courts no later than 10:30pm.
- The new paddle court viewing paver patio will allow any members to view the paddle activity at a location that will be shielded by the surrounding landscaping and existing paddle building to any neighbors.
- The existing sport court area currently can have a maximum of 16 people. The 2 new paddle courts that are replacing the existing sport court area will only allow for a total capacity of 8 people.

Salt Creek Club request the approval of the placement of 2 new paddle courts and paddle viewing paver patio. The addition of the new paddle courts and paver patio is in keeping with the current use of the club and will allow more current members to be able to participate. The membership or club traffic will not increase with the additional paddle courts.

We look forward to working with the Village of Hinsdale.



Existing Asphalt





VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Salt Creek Club
Address: 830 N Madison St
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323 / 7890
E-Mail: office@saltcreekclub.com

Owner

Name: Salt Creek Club
Address: 830 N Madison St
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 323 / 7890
E-Mail: office@saltcreekclub.com

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: Louis Shell
Title: PE, SE
Address: 106 W Calendar Ave #210
City/Zip: LaGrange, IL 60525
Phone/Fax: (708) 352-0359 /
E-Mail: lshell@louisshell.com

Name: RPTC LLC
Title: Platform Tennis Court Installer
Address: 300 Boston Post Rd
City/Zip: Orange, CT 06477
Phone/Fax: (203) 795-5696 /
E-Mail: kim@platformtennis.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) N/A
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 830 N Madison St

Property identification number (P.I.N. or tax number): 09 - 02 - 207 - 001

Brief description of proposed project: Addition of 2 new paddle courts with lights. One court to be placed on top of existing concrete sport court and the second court to be placed on top of existing asphalt tennis court. Also, the placement of new paver patio for viewing of existing paddle courts.

General description or characteristics of the site: Salt Creek Club is family swim, racquet and social club.

Existing zoning and land use: O-S

Surrounding zoning and existing land uses:

North: R-2

South: R-2

East: R-2

West: R-2

Proposed zoning and land use: To remain O-S

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E
Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 830 N Madison St

The following table is based on the OS Zoning District

	Minimum Code Requirements	Proposed/Existing Development
	Section 7-210	
Minimum Lot Area (s.f.)	40,000 sf	388,786.05 sf
Minimum Lot Depth	150'	626'
Minimum Lot Width	250'	551' (Front) & 659' (Rear)
Building Height	30'-0" (Max)	N/A
Number of Stories	N/A	N/A
Front Yard Setback	100'	400'
Corner Side Yard Setback	100'	N/A
Interior Side Yard Setback	50'	397' - 3 1/2" SOUTH / 196' - 4 1/8" NORTH
Rear Yard Setback	50'	131' - 01/2"
Maximum Floor Area Ratio (F.A.R.)*	77,757.21sf	15,142.50sf
Maximum Total Building Coverage*	N/A	N/A
Maximum Total Lot Coverage*	N/A	N/A
Parking Requirements	106	108
Parking front yard setback	N/A	N/A
Parking corner side yard setback	N/A	N/A
Parking interior side yard setback	N/A	N/A
Parking rear yard setback	N/A	N/A
Loading Requirements	N/A	N/A
Accessory Structure Information	15'-0" base / 35'-0" maximum	24' - 0" -- To top of light fixtures

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

NONE

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 20 day of January, 2023, I/We have read the above certification, understand it, and agree to abide by its conditions.

Steven J. Wolsfeld
Signature of applicant or authorized agent

STEVEN J WOLSFELD
Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 20 day of
January, 2023.

Drew B. Wenig
Notary Public
4



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: _____

Owner's name (if different): _____

Property address: _____

Property legal description: [attach to this form]

Present zoning classification: _____

Square footage of property: _____

Lot area per dwelling: _____

Lot dimensions: _____ x _____

Current use of property: _____

Proposed use: Single-family detached dwelling
 Other: _____

Approval sought:	Building Permit	Variation
	Special Use Permit	Planned Development
	Site Plan	Exterior Appearance
	Design Review	
	Other:	_____

Brief description of request and proposal:

Plans & Specifications: [submit with this form]

Provided: Required by Code:

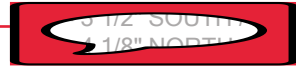
Yards:

front:	_____	_____
interior side(s)	_____ / _____	_____ / _____

397' 3 1/2" SOUTH / 196' 4 1/8" NORTH

Provided:**Required by Code:**

corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>131' - 01/2"</u>	<u>50'</u>
Setbacks (businesses and offices):		
front:	<u>400'</u>	<u>100'</u>
interior side(s)	<u>50' / 50'</u>	<u>50' / 50'</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>131' - 01/2"</u>	<u>50'</u>
others:	<u></u>	<u></u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>
Building heights:		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>24' - 0" -- To top of light fixtures</u>	<u>15' - 0" base / 35' - 0" maximum</u>
Maximum Elevations:		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>
Dwelling unit size(s):	<u>N/A</u>	<u>N/A</u>
Total building coverage:	<u>N/A</u>	<u>N/A</u>
Total lot coverage:	<u>N/A</u>	<u>N/A</u>
Floor area ratio:	<u>15,142.50</u>	<u>77,757.21</u>
Accessory building(s):	<u>N/A</u>	<u></u>
Spacing between buildings: [depict on attached plans]		
principal building(s):	<u>N/A</u>	<u>N/A</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>
Number of off-street parking spaces required: <u>106 (REQUIRED), 108 (PROVIDED)</u>		
Number of loading spaces required: <u>N/A</u>		

**Statement of applicant:**

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Applicant's signature

STEVEN J WOLSFELD

Applicant's printed name

Dated: MARCH 6, 2023.



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 830 N. Madison, Hinsdale, IL 60521

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.
Open space is designed to match and spotlight the uses of the club. Open space uses a modern aesthetic and integrates landscaping with strategic plantings in primary locations. Existing mature trees within the club site are intended to remain as they complement the overall club.
2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.
The material selected for the paddle courts and new patio are in line with other paddle courts and patios at Salt Creek Club.
3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.
The layout and design of the paddle court placement to the north of the existing 2+ story paddle building will have the least impact to the surrounding neighbors. We are using lower wattage paddle court lights and light shrouds to reduce the photometric light spread. The placement of the new paddle viewing patio will also be of high-quality patio pavers and be shielded from the neighbors by the paddle building.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.
- The general design intent is to place the new paddle courts on top of existing concrete sport court and asphalt tennis court and not on any existing landscape areas. A few over grown existing arborvitaes (2) will be removed for pedestrian access to the new paver patio. The existing evergreens between the existing paddle courts and new paver patio will be relocated within the Salt Creek grounds. The site will continue to be serviced similarly to how it is now, and there will be and no negative impact on vehicular traffic patterns and conditions on-site and in its vicinity.**
5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.
- The new paddle court fence and light fixtures will be at 16' & 24'-0" respectively. These heights are in line with the existing paddle courts 3 & 4 which will be adjacent to the new paddle courts. The existing paddle courts 3 & 4 and the new paddle courts 5 & 6 will be 1'-6" lower than existing paddle courts 1 & 2.**
6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.
- The design of the new paddle courts is well balanced and will blend in with the existing paddle structures. The courts will not be visible to the surrounding streets or neighbors.**
7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.
- Not Applicable.**
8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.
- Not Applicable.**
9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.
- The paddle courts are scaled to fit with the permitted building area of the existing sport court and asphalt tennis court.**
10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.
- Answer: No change.**
11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.
- Will match the existing paddle court materials. New paver patio to match existing onsite paver patios.**

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Not Applicable.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Not Applicable.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Not Applicable.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

Not Applicable.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The new paddle courts will match the existing paddle courts in size. The new paddle court lights will be of a lower wattage than existing. New: 150 watts. Existing: 200 watts.

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.
The site plan will not fail to adequately meet the specified standards required by the zoning code.
2. The proposed site plan interferes with easements and rights-of-way.
The site plan will not interfere with any easements or rights-of-way.
3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.
The proposed site plan does not create a negative destruction and minimal modification (paver patio). The new paddle courts will be placed on the existing concrete sport court and on piers placed in the existing asphalt tennis court. With respect to the topographical and physical features, the site will be in similar manner as the existing paddle courts.
4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.
The proposed site plan with the 2 new paddle courts and viewing paver patio will have no negative effects on the surrounding properties and keeping the same use as a tennis, paddle and swim club since 1959. The placement of the 2 new paddle courts is well within the building setbacks and the buildable area of the 9-acre site.
5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.
The proposed site plan with 2 new paddle courts and viewing paver patio will create not any traffic congestion or hazards in the public streets or create safety hazards.
6. The screening of the site does not provide adequate shielding from or for nearby uses.
The placement of the 2 new paddle courts will be screened by the existing paddle building to the south and the topography of the site with the new paddle courts at the lowest location on the property. Most of the screening to the east and north will be from existing landscaping and will remain.
7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.
The proposed paddle courts, viewing paver patio and landscaping will be compatible to uses of the existing paddle courts, patios and landscaping.
8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.
The site plan is not submitted in connection with and application for a special use permit. All plantings included in the landscape plan are of low maintenance.
9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.
The site plan does not create drainage or erosion problems for the site, since the new paddle courts will be placed on existing concrete slab and within existing asphalt tennis court.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The new paddle courts and new viewing paver patio will use existing utilities onsite and will have no additional burden on the Village of Hinsdale.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

Not Applicable.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The site plan does not adversely affect the public health, safety, or general welfare.

EXHIBIT #1

LEGAL DESCRIPTION

LEGAL DESCRIPTIONS

PARCEL 1:

THAT PART (EXCEPT THE EAST 2 RODS FOR ROAD) OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF HOLMES MADISON ST. ASSESSMENT PLAT, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954, AS DOCUMENT 707657, AND LYING NORTH OF THE NORTH LINE OF THE SOUTH 110 FEET OF THE NORTH 1210 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THE WEST 396 FEET (AS MEASURED ON THE NORTH LINE) OF THE NORTH 110 FEET OF THE SOUTH 220 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (AS ESTABLISHED BY FENCE LINE, BEING THE NORTH LINE OF LOGAN ACRES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 17, 1955, AS DOCUMENT 769566) OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY. ILLINOIS.

EXHIBIT #2

OWNER APPROVAL OF PROJECT
VERIFICATION

LETTER OF AUTHORIZATION

Date: 3/6/23

I, STEVEN WOLSFELD authorize the construction of 2 new paddle courts and
Print – Salt Creek Club Manager
the placement of a new paddle court viewing paver patio. This authorization also includes the
permit application to the Village of Hinsdale for the placement of the 2 new paddle courts and
new paddle court viewing paver patio on behalf of myself as Club Manager for the property
located at: 830 N Madison St, Hinsdale, IL 60521. Salt Creek Club will be responsible for the
work listed.

Steve Wolsfeld
Property Owner: Salt Creek Club Manager

3/6/23
Date

630-323-7890
Telephone Number

Sworn before me this 6th day of March, 2023

[Signature]
Notary of Illinois

01/24/2027
My commission Expires



EXHIBIT #3

SITE PLAN W/ ZONING
COMPLIANCE

ZONING INFORMATION

ZONING DISTRICT: 05
LOT CLASSIFICATION: INTERIOR LOT
TOTAL LOT AREA: 388,786.05 SQUARE FEET = 8.42 ACRES
CONFORMANCE: CONFORMING
MAXIMUM BUILDING HEIGHT: (NOT APPLICABLE)
ACTUAL BUILDING HEIGHT: (NOT APPLICABLE)
MAXIMUM BUILDING ELEVATION: (NOT APPLICABLE)
ACTUAL BUILDING ELEVATION: (NOT APPLICABLE)

PROPERTY BUILDINGS SQUARE FOOTAGE

	SQ. FT.
1. EXISTING CLUBHOUSE	
FIRST FLOOR	7,150.66 S.F.
ATTIC	2,622.73 S.F.
2. EXISTING GARAGE	
GARAGE	812.77 S.F.
3. EXIST. PADDLE COURT BLDG.	
CELLAR - STORAGE	2,154.19 S.F.
FIRST FLOOR	2,154.19 S.F.
OPEN VIEWING DECK	2,154.19 S.F.
4. EXISTING STORAGE SHED	
FIRST FLOOR	240.0 S.F.

OCCUPANCY LOADS

1. EXISTING CLUBHOUSE	247 (PERSONS)
2. EXISTING GARAGE	0 (PERSONS)
3. EXIST. PADDLE COURT BLDG.	67 (PERSONS)
TOTAL OCCUPANCY LOAD	317 (PERSONS)

PARKING REQUIREMENTS

REQUIRED SPACES (5 REQ. TO BE ACCESSIBLE SPACES)	106 (SPACES)
EXISTING SPACES	108 (SPACES)
TOTAL EXISTING PARKING SPACES	108 (SPACES)
MAXIMUM ALLOWABLE F.A.R.: 20 X (388,786.05 S.F.) = 77,757.21 S.F.	
ACTUAL FLOOR AREA RATIO: = 15,425 S.F.	

PROPOSED (2) NEW PLATFORM TENNIS COURTS ON EXISTING CONCRETE SLAB. SEE SHEETS CT-001 AND CT-002 AS DESIGNED BY "LOUIS SHELL STRUCTURES"

ACCESSORY STRUCTURE ALLOWABLE HEIGHT = 15'-0"

HEIGHT INCREASE TABULATION PER SECTION 7-210 OF THE HINSDALE ZONING ORDINANCE CODE:

131.0' - 20.0' = 111.0' (DIFFERENCE)

111.0' / 5.0' (ADD. SETBACK) = 22.0'

22.0' X 1.0' (ALLOW. HEIGHT INCREASE UP TO A MAXIMUM OF 20.0') = USE 20.0' MAXIMUM ALLOWABLE INCREASE.

15.0' (ALLOWABLE HEIGHT) + 20.0' TOTAL ALLOWABLE HEIGHT INCREASE = 35.0' (MAXIMUM HEIGHT)

* COURT FLOOR HEIGHT ABOVE GRADE HEIGHT = 4'-0"

* HEIGHT TO TOP OF COURT LIGHTS. LIGHTS WILL BE ADJUSTED TO MEET.

* ABOVE GRADE HEIGHT = 24'-0"

* LIGHTING AND PHOTO METRICS TO BE PROVIDED BY PLATFORM TENNIS COMPANY.

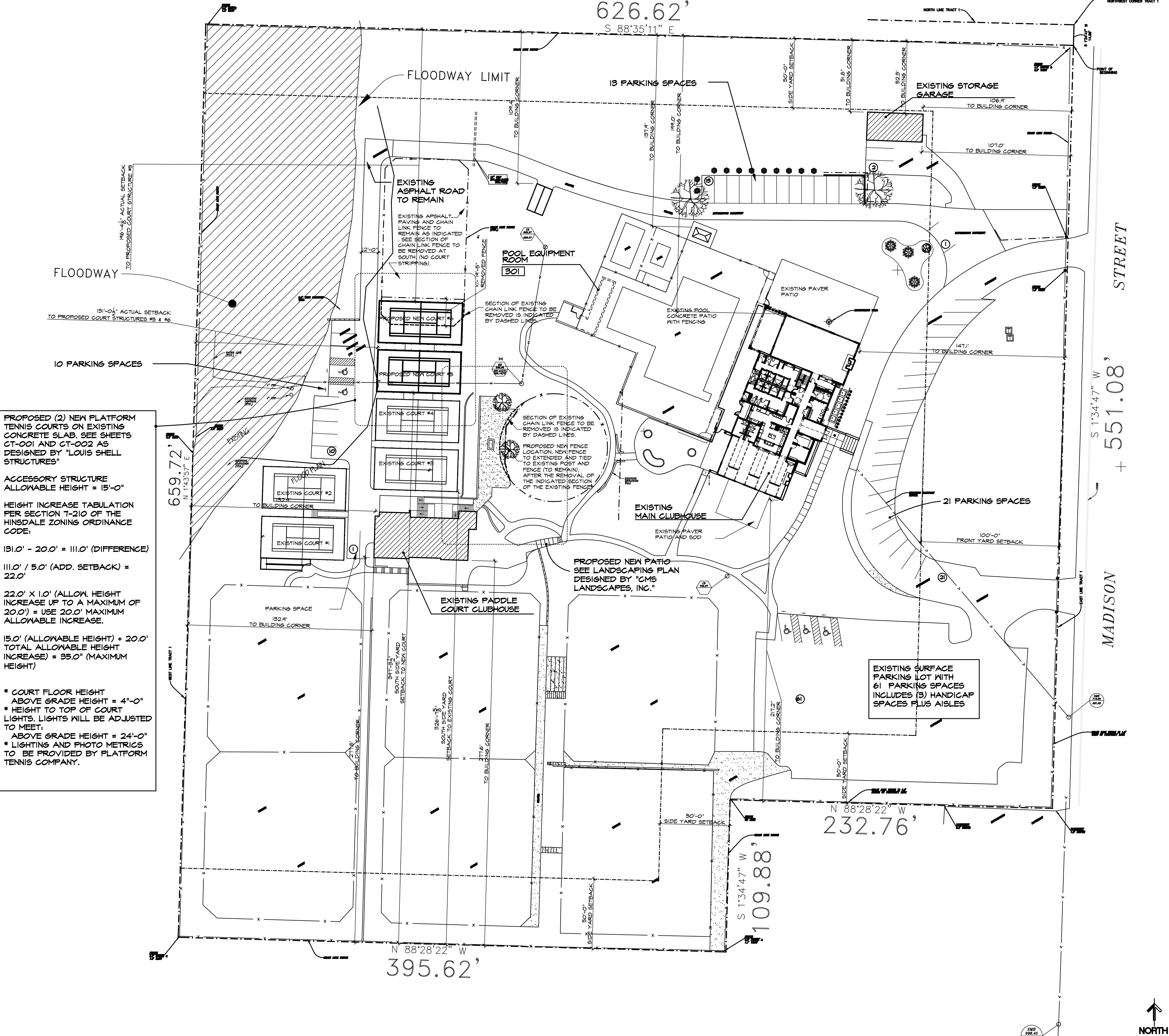
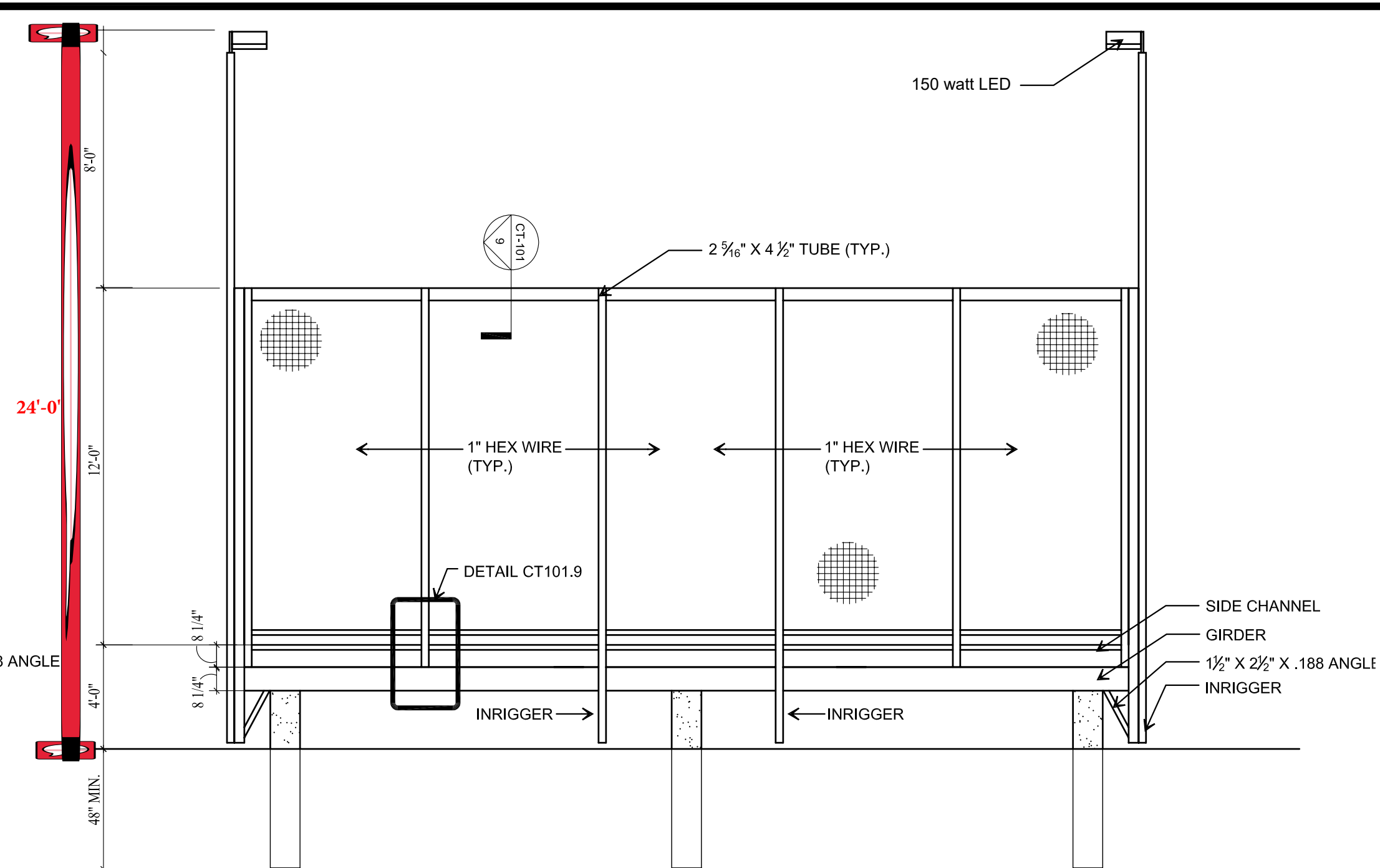
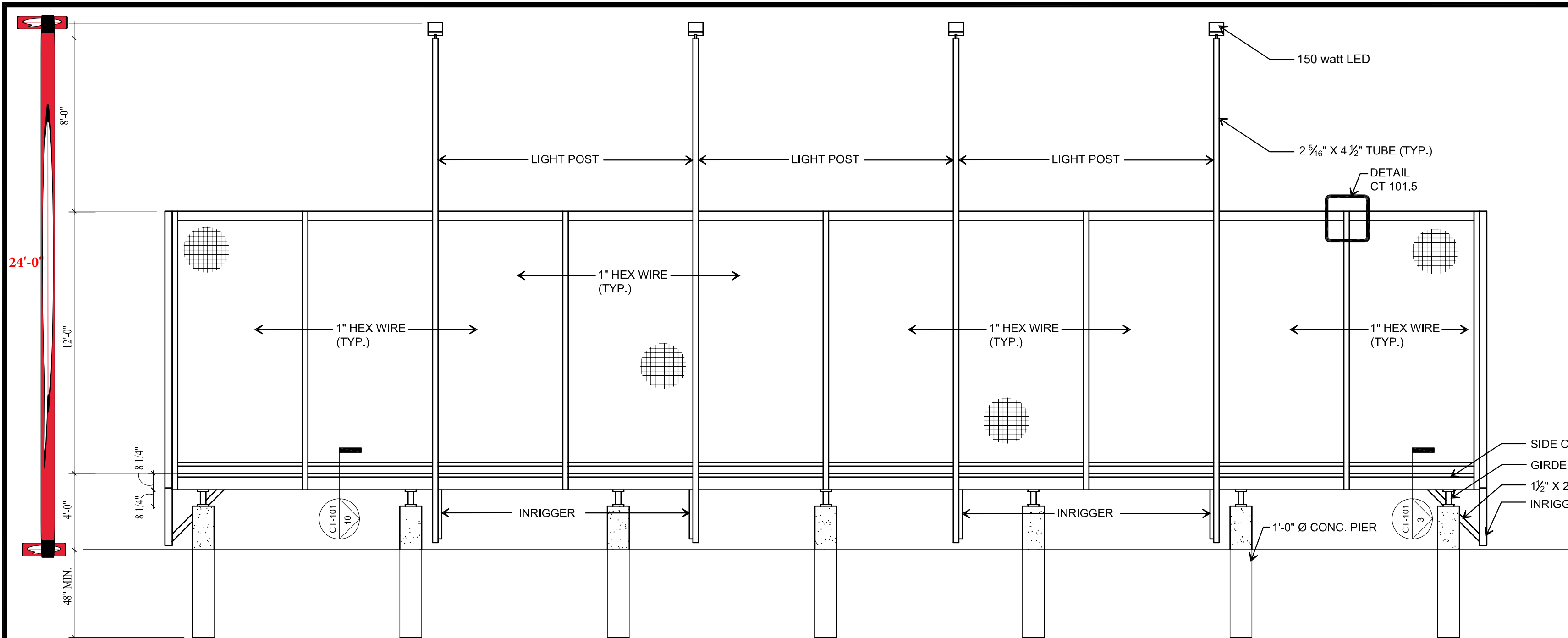


EXHIBIT #4

PADDLE COURT DRAWINGS, LIGHT
SPECS, & PHOTOMETRIC PLAN

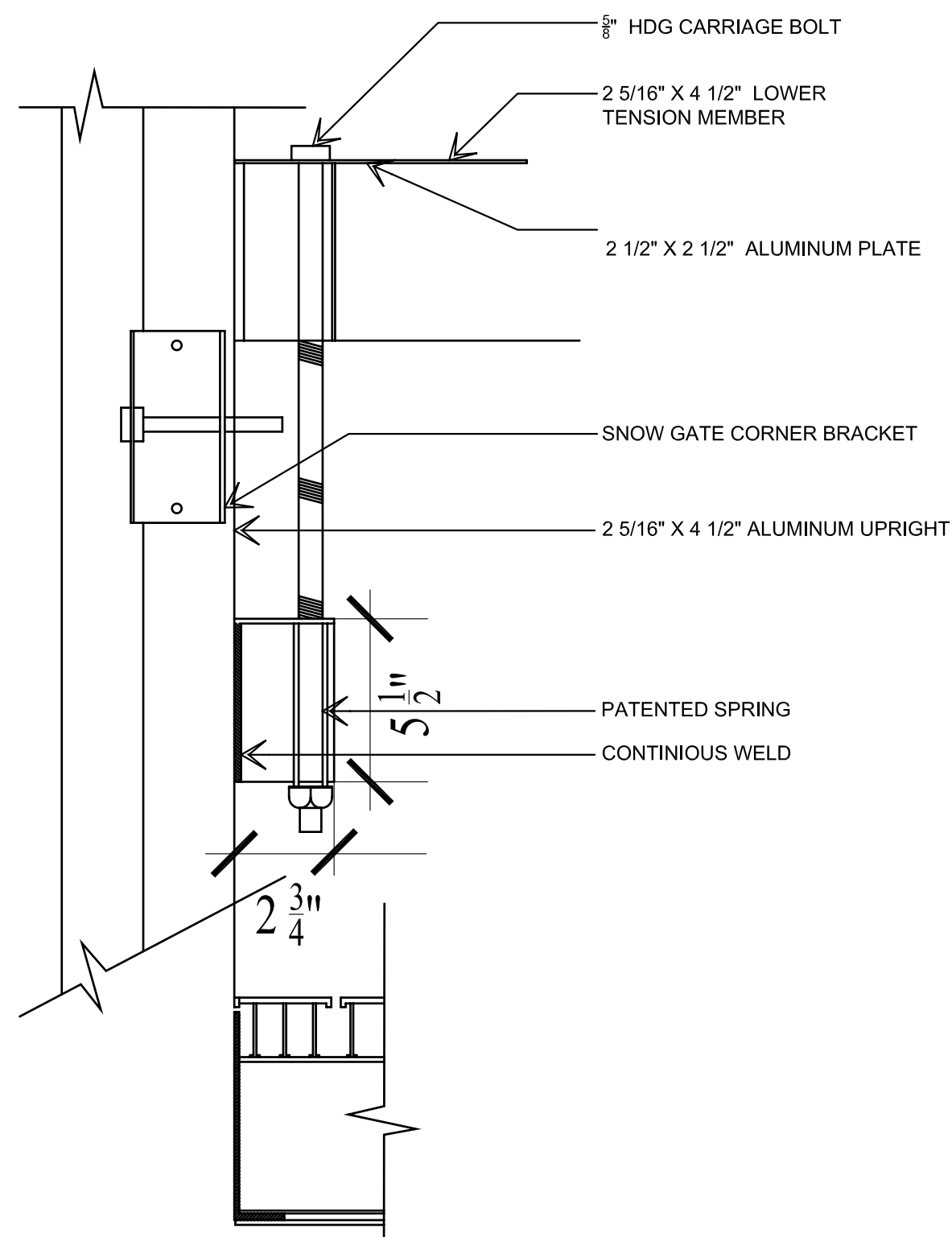


1 LONG ELEVATION

SCALE : 1/4" = 1'-0"

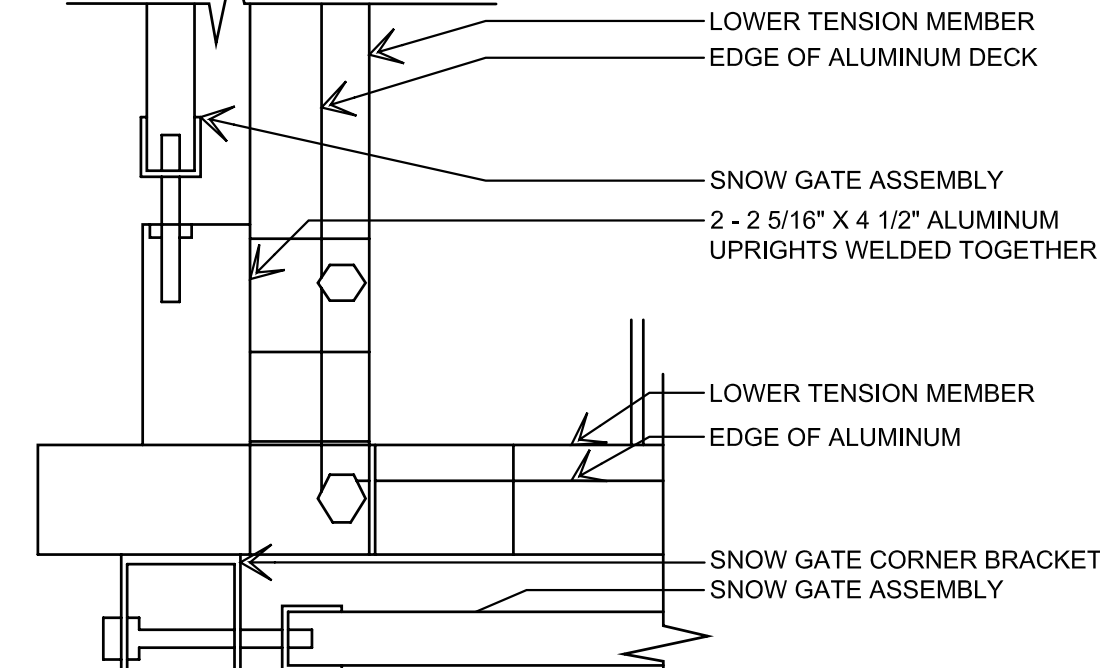
2 SHORT ELEVATION

SCALE : 1/4" = 1'-0"



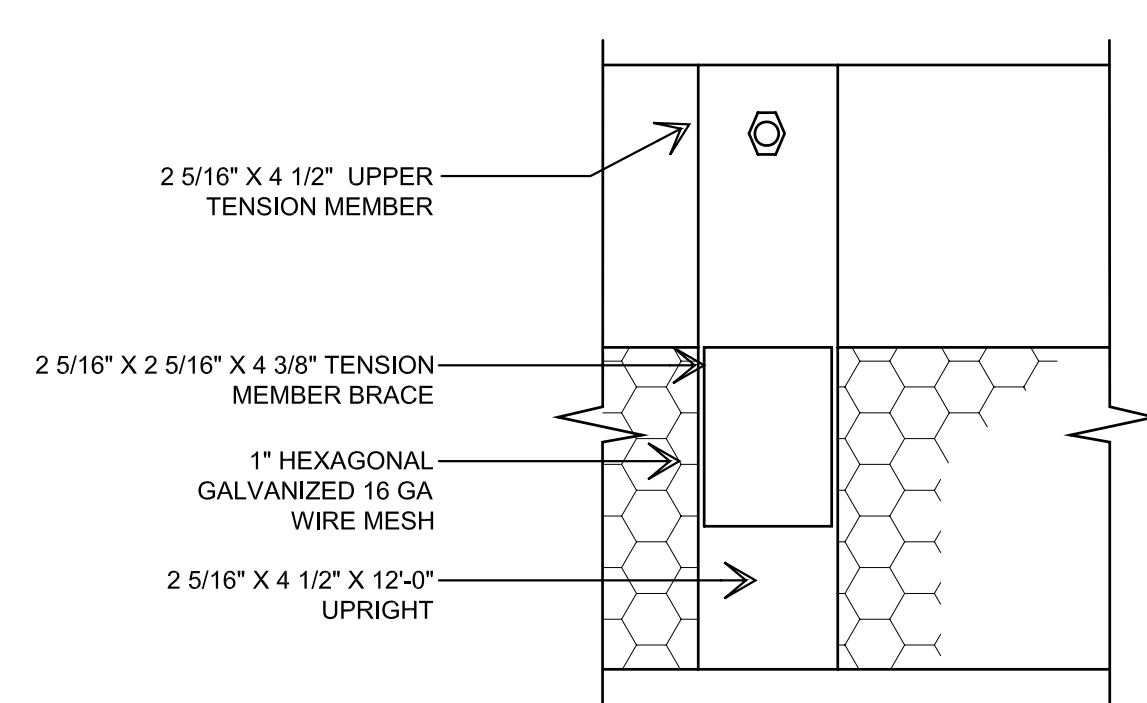
3 LOWER CORNER MEMBER SECTION

1 1/2" = 1'-0"



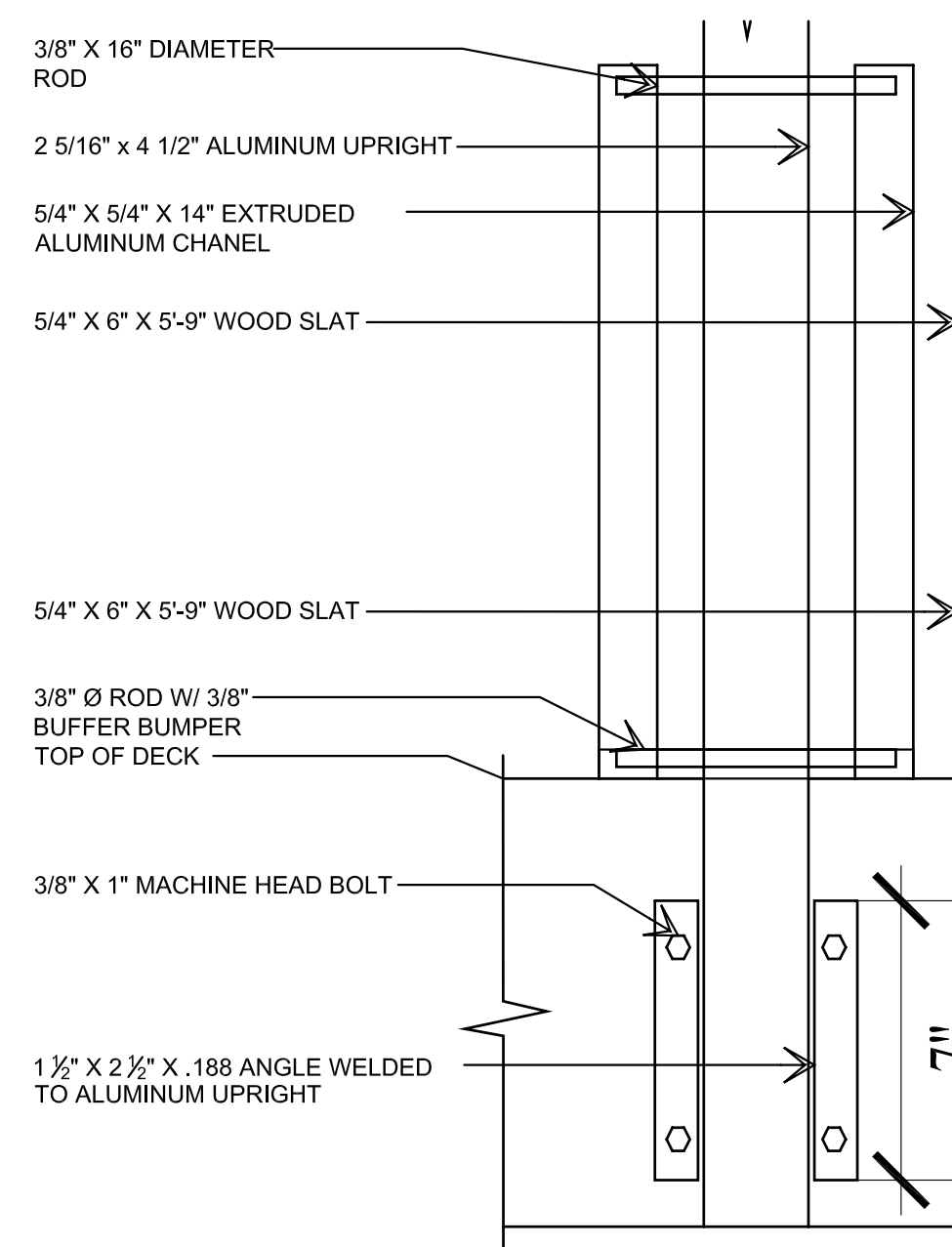
4 LOWER CORNER MEMBER PLAN

1 1/2" = 1'-0"



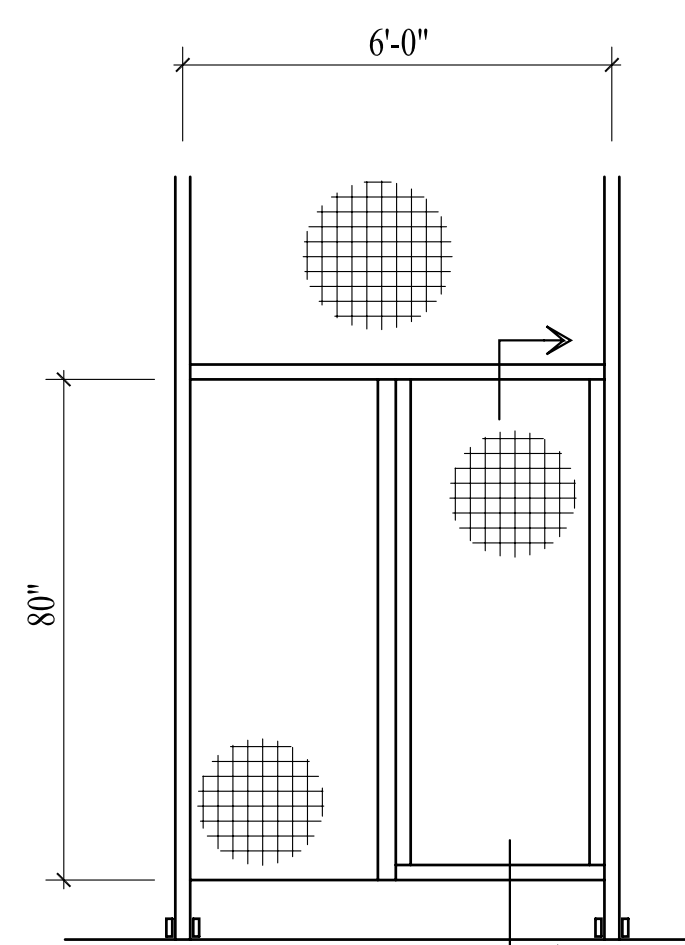
5 UPPER MEMBER ELEVATION

1 1/2" = 1'-0"



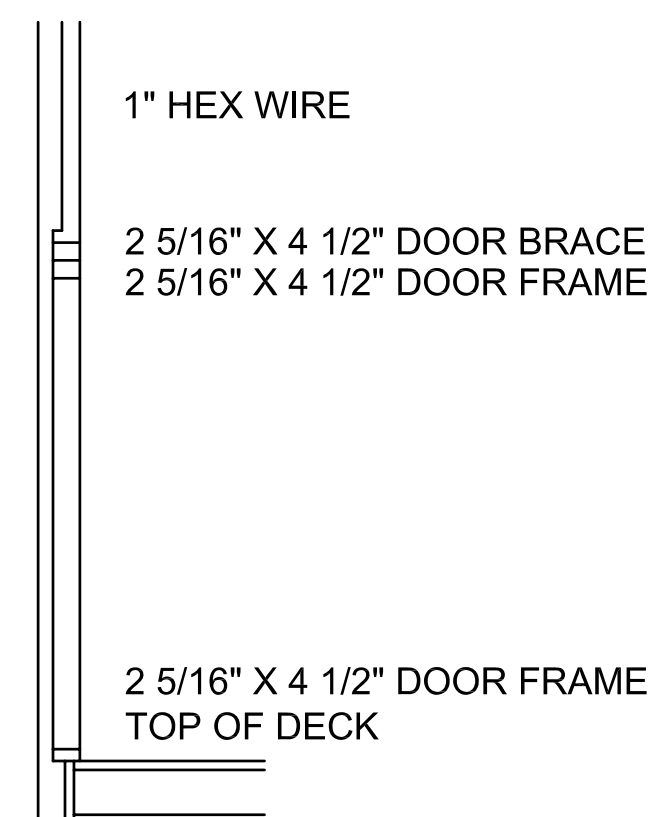
6 UPRIGHT ELEVATION

1 1/2" = 1'-0"



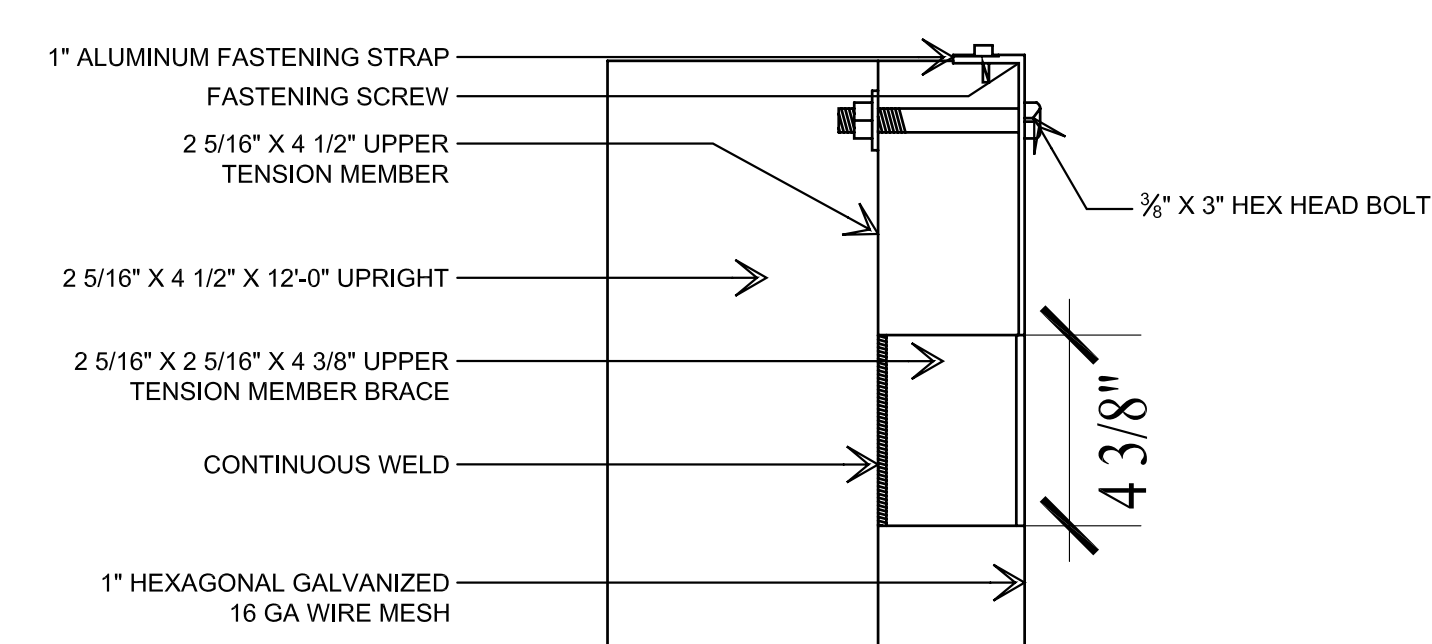
7 DOOR ELEVATION

3/8" = 1'-0"



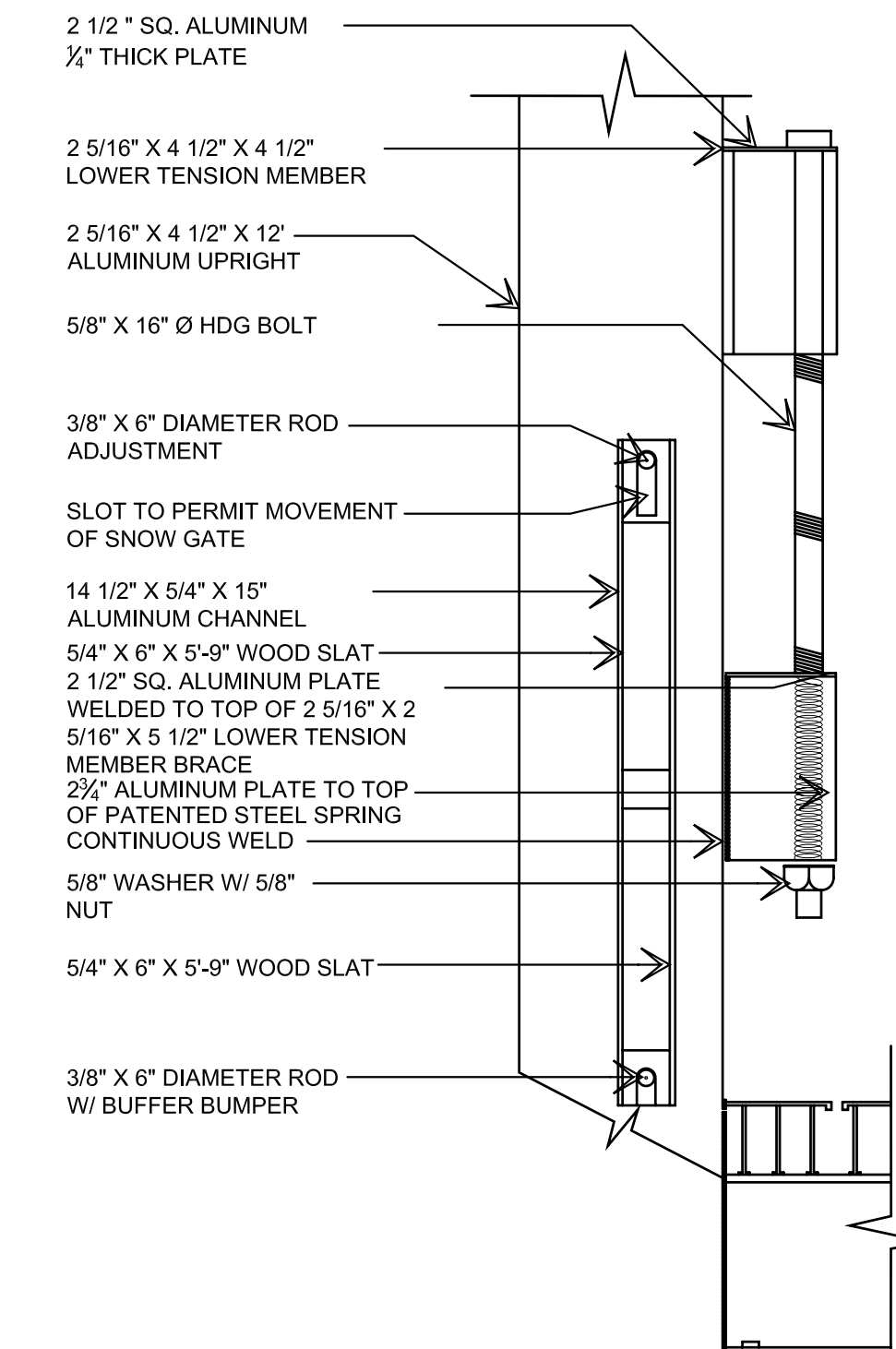
8 DOOR SECTION

3/8" = 1'-0"



9 UPPER TENSION MEMBER SECTION

1 1/2" = 1'-0"



10 LOWER TENSION MEMBER SECTION

1 1/2" = 1'-0"

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

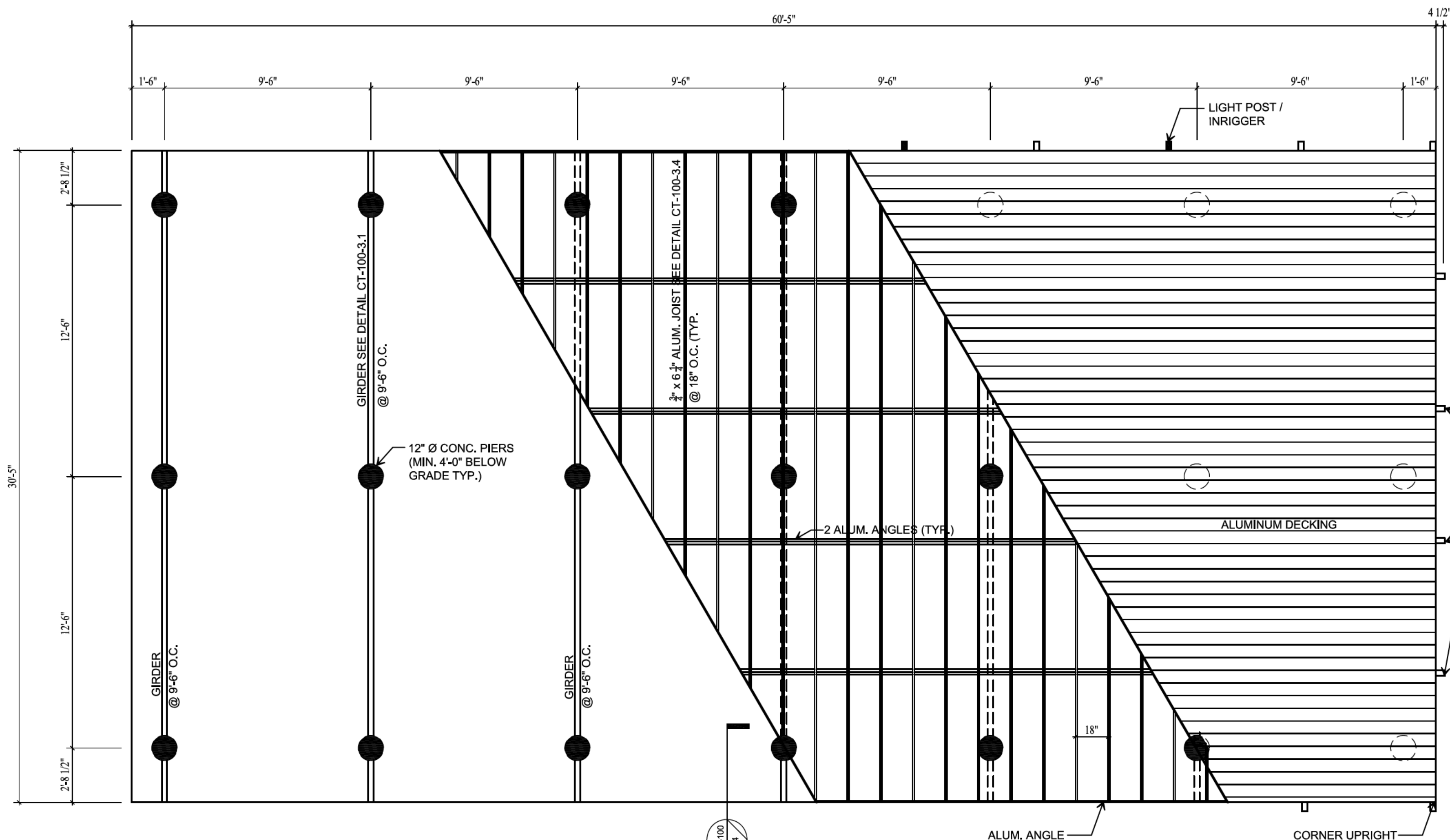
DATE	REVISION #	REMARKS

PROJECT

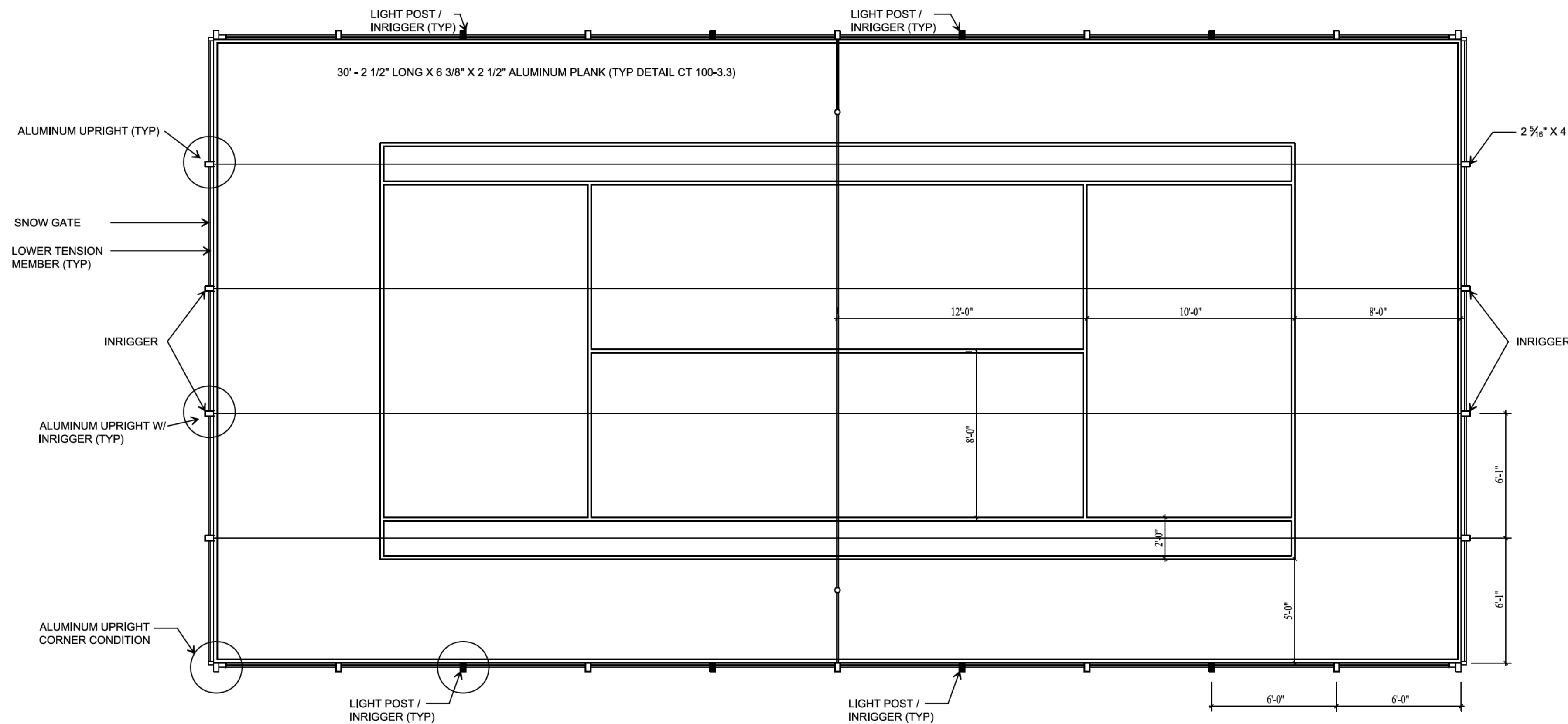
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS

DRAWING TITLE
ALUMIN. TENNIS COURT
ELEVATIONS &
TYPICAL DETAILS

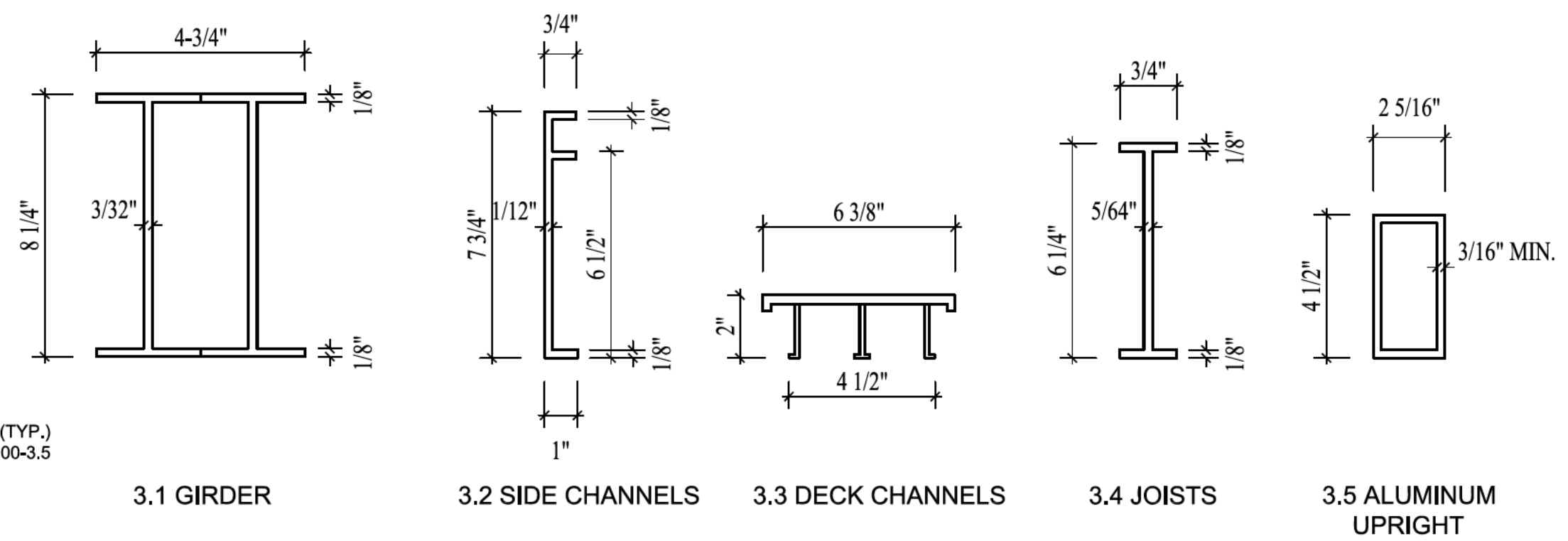
PROJECT #	
SCALE:	AS NOTED
DATE:	MAY 2008
DRAWN:	DD
CHECKED:	CCAS
SHEET NUMBER	CT-101
CAD FILE:	
X-REF:	



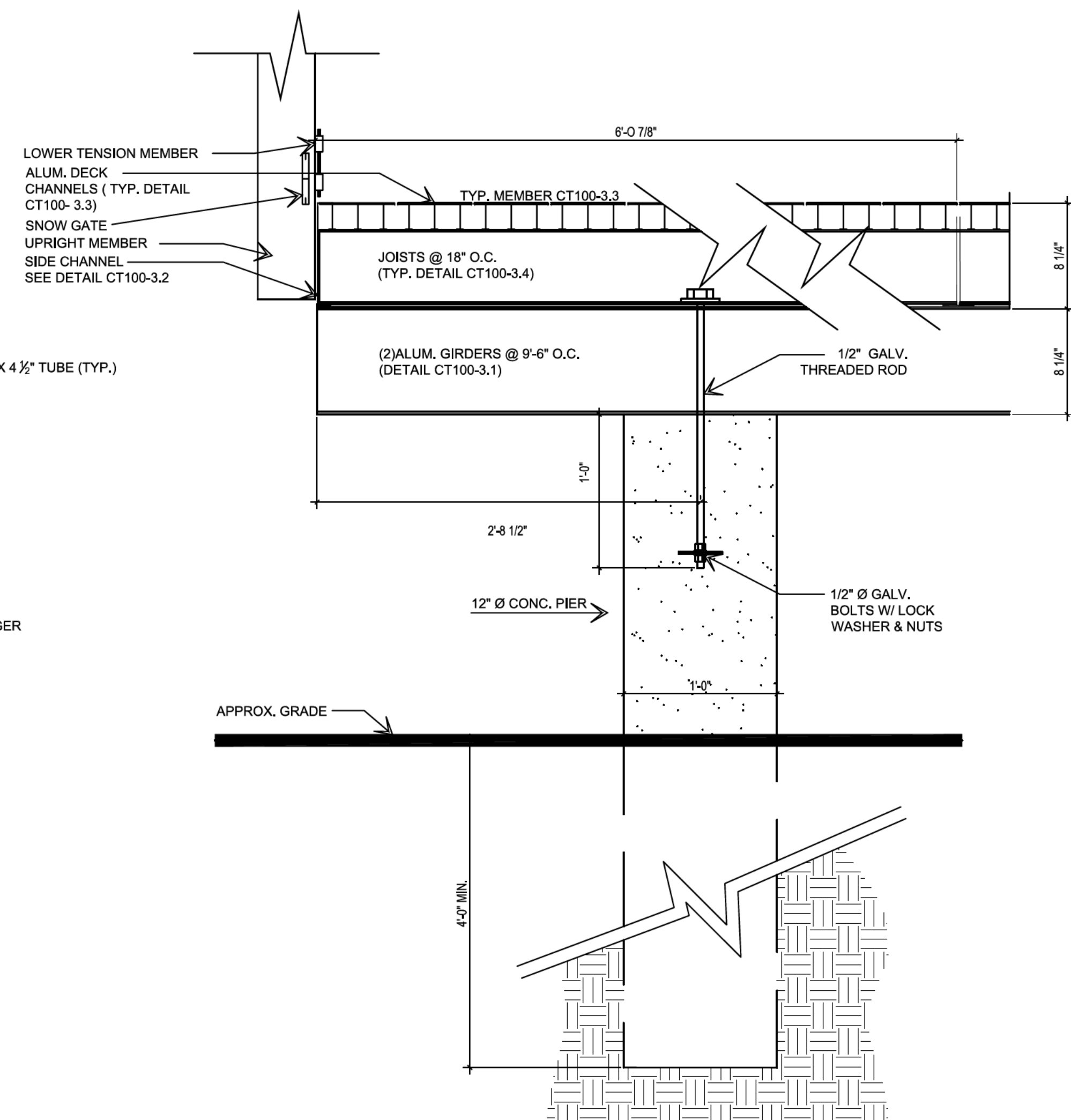
1 FOUNDATION PLAN
SCALE : 1/4" = 1'-0"



2 COURT MARKINGS
SCALE : 1/4" = 1'-0"



3 TYP. STRUCTURAL MEMBERS
SCALE : 1:1



4 PIER DETAIL
1 1/2" = 1'-0"

DATE	REVISION #	REMARKS

PROJECT
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS

DRAWING TITLE
ALUMIN. TENNIS COURT
FOUNDATION
COURT MARKINGS

PROJECT #	SCALE: AS NOTED
DATE: MAY 2008	DRAWN: DD
CHECKED: CCAS	SHEET NUMBER
CAD FILE:	CT-100
X-REF:	

SALT CREEK CLUB

ARCHITECTURAL DRAWING INDEX

[illegible]

USE & OCCUPANCY (COURTS)

USE & OCCUPANCY (COURTS)	
USE	LIMITED OCCUPANCY
AREA SF (NET)	1845 SF
OCCUPANCY LOAD	200 GROSS : 1845SF = 8 PERSONS

CONSTRUCTION - allowables	
CONSTRUCTION TYPE	V:B
HEIGHT / AREA	1ST MAX . 6000 SF MAX
FIRE SEPARATION	NOT REQUIRED
REQUIRED EXITS	2

ENERGY STATEMENT
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, I CERTIFY THAT THESE PLANS ARE IN COMPLIANCE WITH THE 201 INTERNATIONAL ENERGY CONSERVATION CODE.

DESIGN LOADS			
GROUND FLOOR : SPORT VIEWING		FLOOR LOAD : COURTS	
LIVE LOAD	100 PSF	LIMITED OCC.	40 PSF
DEAD LOAD	20 PSF	DEAD LOAD	20 PSF
TOTAL LOAD	120 PSF	TOTAL LOAD	60 PSF
ROOF : PITCHED		STAIRS & DECKS	
LIVE + SNOW LD	30 PSF	LIVE	100 PSF
DEAD LOAD	15 PSF	DEAD LOAD	10 PSF
TOTAL LOAD	45 PSF	TOTAL LOAD	110 PSF
HANDRAIL / GUARDRAIL			
UNIFORM LOAD	50LB / FT		
CONC. LOAD	200 LBF		

SNOW LOAD	
P _g	50 PSF
P _f	42 PSF
P _s	30 PSF
C _e	1.0
I	1.0
C _t	1.2

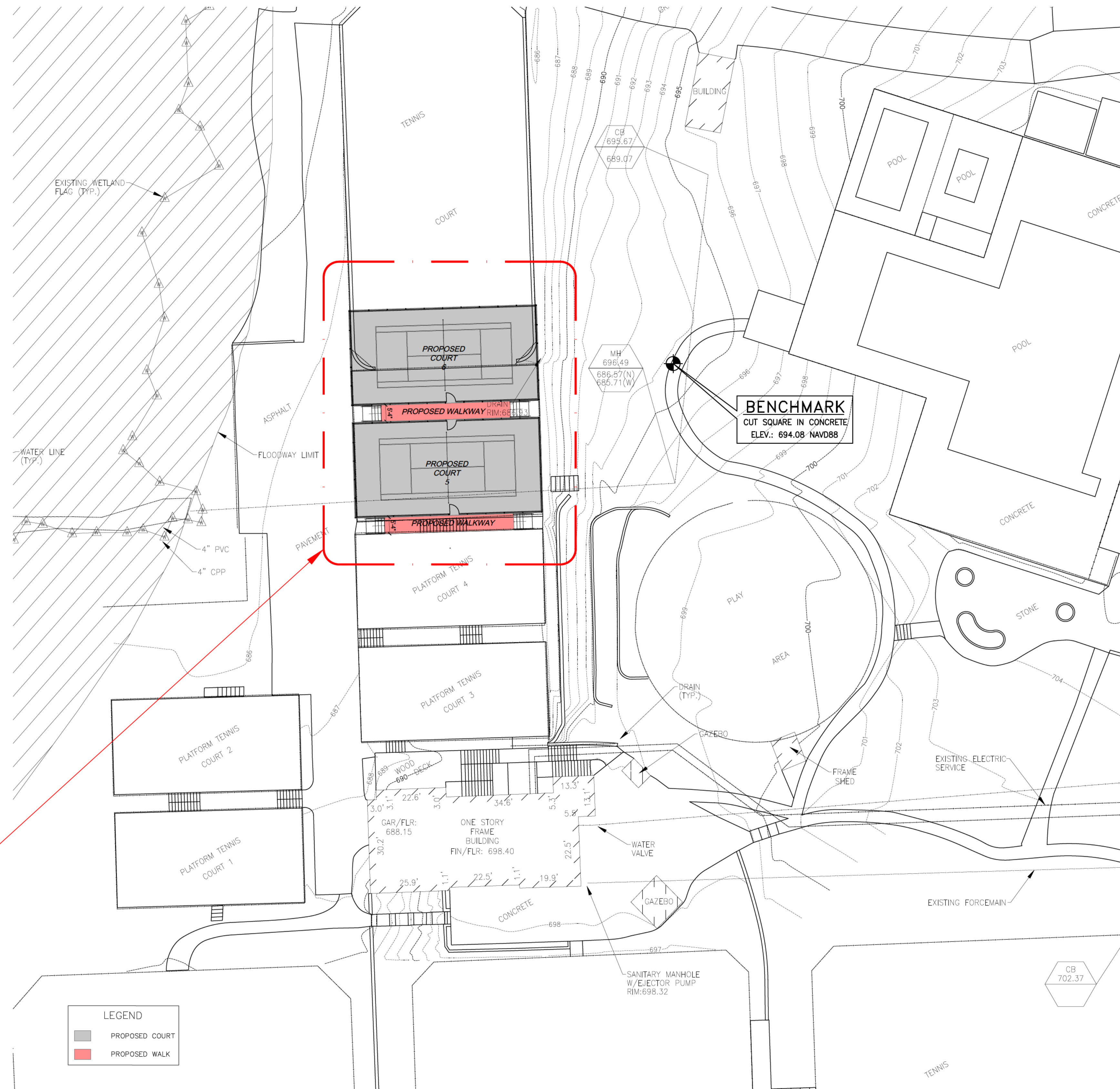
WIND LOAD	
BASIC WIND SPEED	126MPH
I	1.00
EXPOSURE	B
GCpi	+/- 0.00
COMPONENTS/CLAD PRESSURE	15 PSF

SEISMIC LOAD	
I	1.0
OCCUPANCY CATEGORY	II
Ss	0.253
S1	0.075
SITE CLASS	D
Sds	0.720
Sdi	0.120
SEISMIC DESIGN CAT.	B



AREA OF WORK

ALL WORK TO BE IN ACCORDANCE WITH 2020 INTERNATIONAL BUILDING CODE



1 PARTIAL SITE PLAN / PROPOSED COURT LAYOUT
SCALE : 1" = 20'

REFER TO SITE PLAN BY OTHERS

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

CONSULTANTS:

CG AG EST. 1952
CROZIER GEDNEY
ARCHITECTS, PC
41 ELM PLACE
RYE, NY 10580
PH. 914-967-6060
FAX 914-967-6071

FOR PERMIT

1.12.23

[illegible]

ALUMINUM PADDLE
TENNIS COURT
DRAWINGS FOR THE:

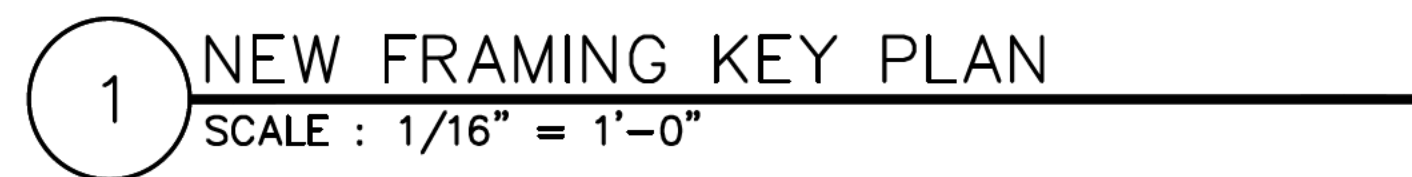
SALT CREEK CLUB
830 NORTH MADISON ST.
HINSDALE, IL 60521

DRAWING TITLE

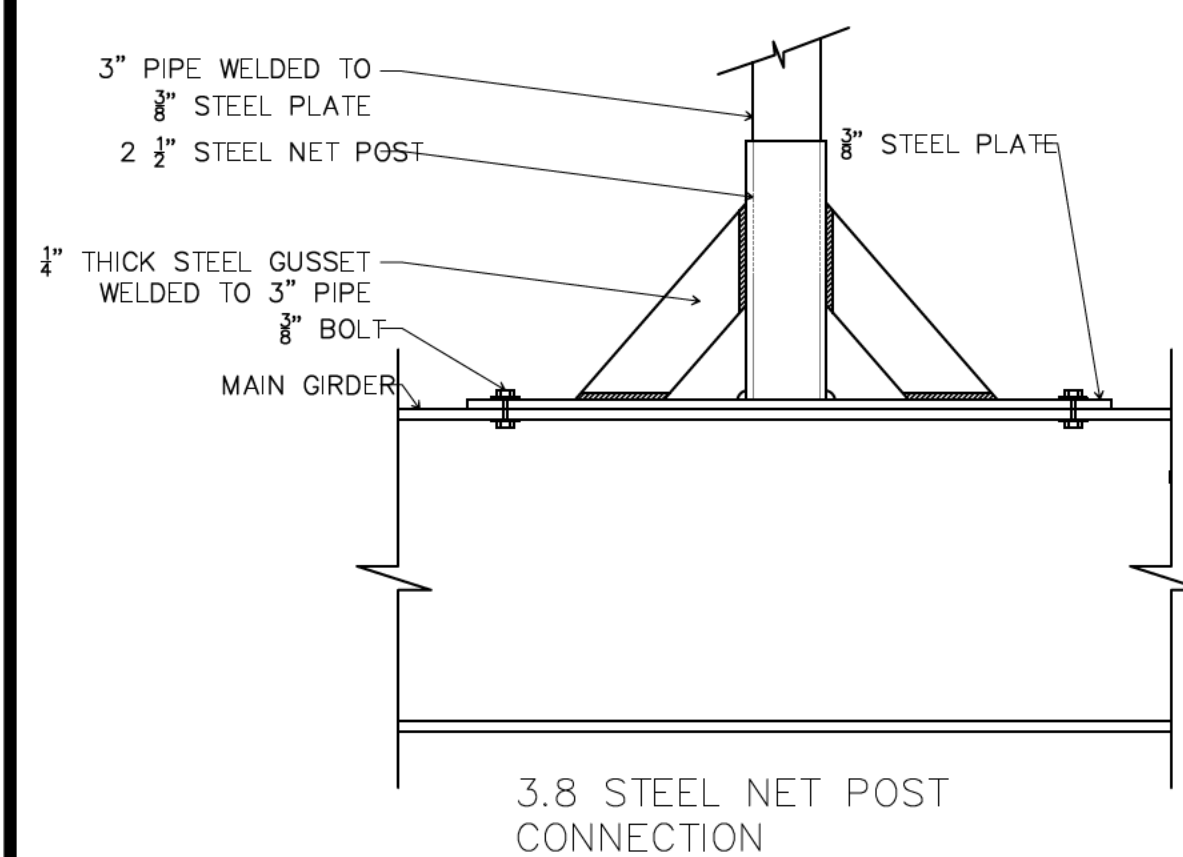
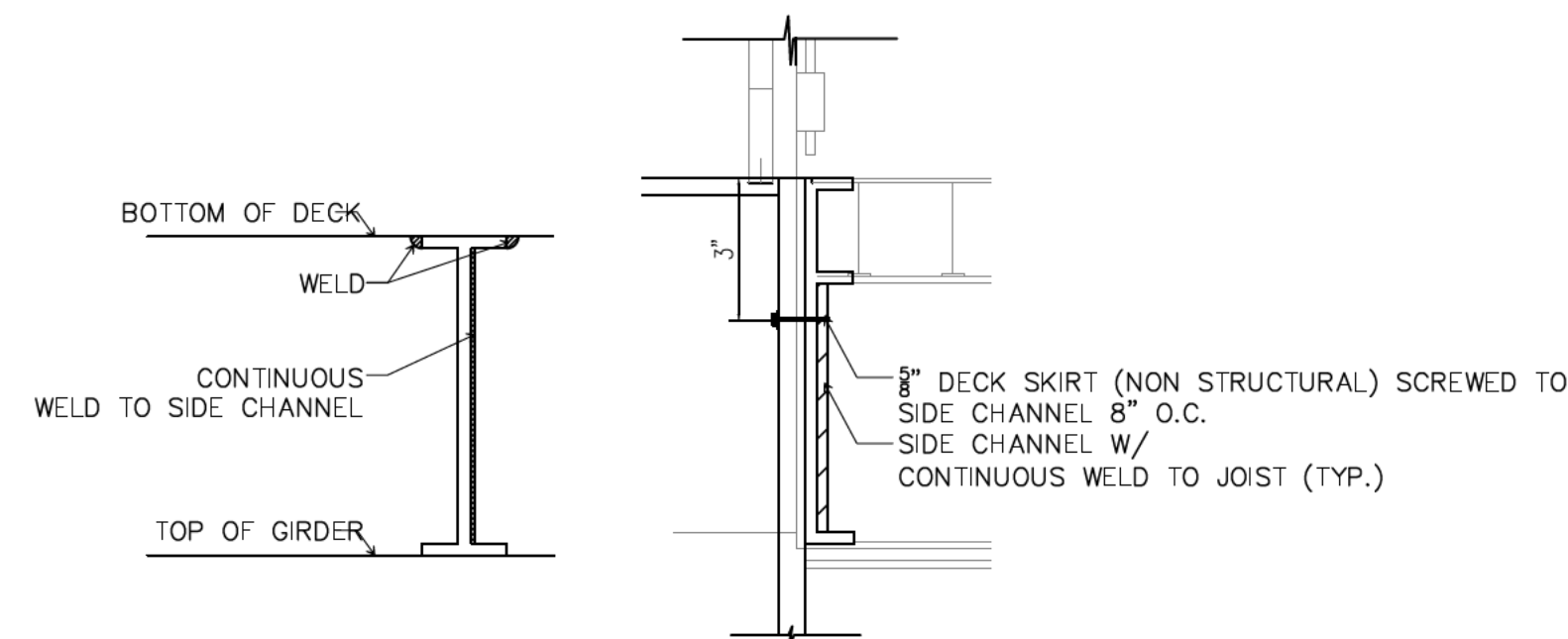
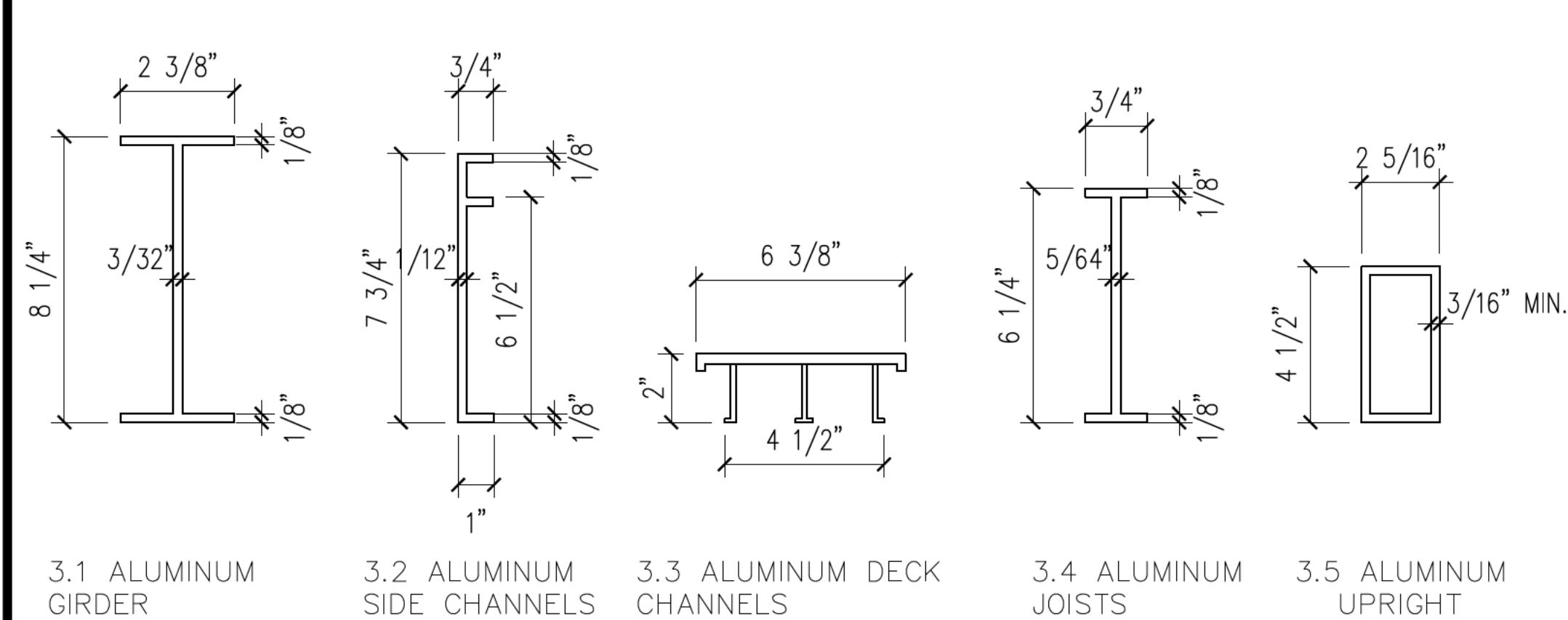
TITLE SHEET
PROJECT INFO
SITE LAYOUT

PROFESSIONAL SEAL	PPAS PROJECT #	2023-03
	SCALE:	AS NOTED
	DATE:	JAN 12 23
	DRAWN:	DJD
	CHECKED:	CCAS
CAD FILE:	SHEET NUMBER	
X-REF:	T-100	

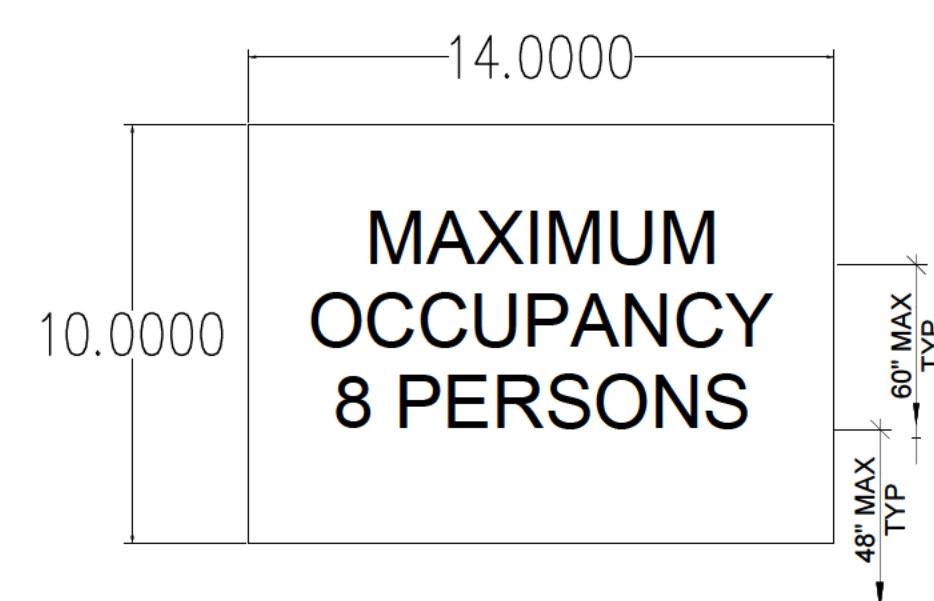
NO USE, REPRODUCTION OR DISSEMINATION MAY BE MADE OF THIS DRAWING AND THE CONCEPTS SET FORTH HEREON WITHOUT THE PRIOR WRITTEN CONSENT OF REILLY GREEN MOUNTAIN PLATFORM TENNIS



PROFESSIONAL SEAL	PPAS PROJECT #	2023-03
	SCALE:	AS NOTED
	DATE:	JAN 12 2023
	DRAWN:	DJD
	CHECKED:	CCAS
CAD FILE:	SHEET NUMBER	
X-REF:	CT-100	



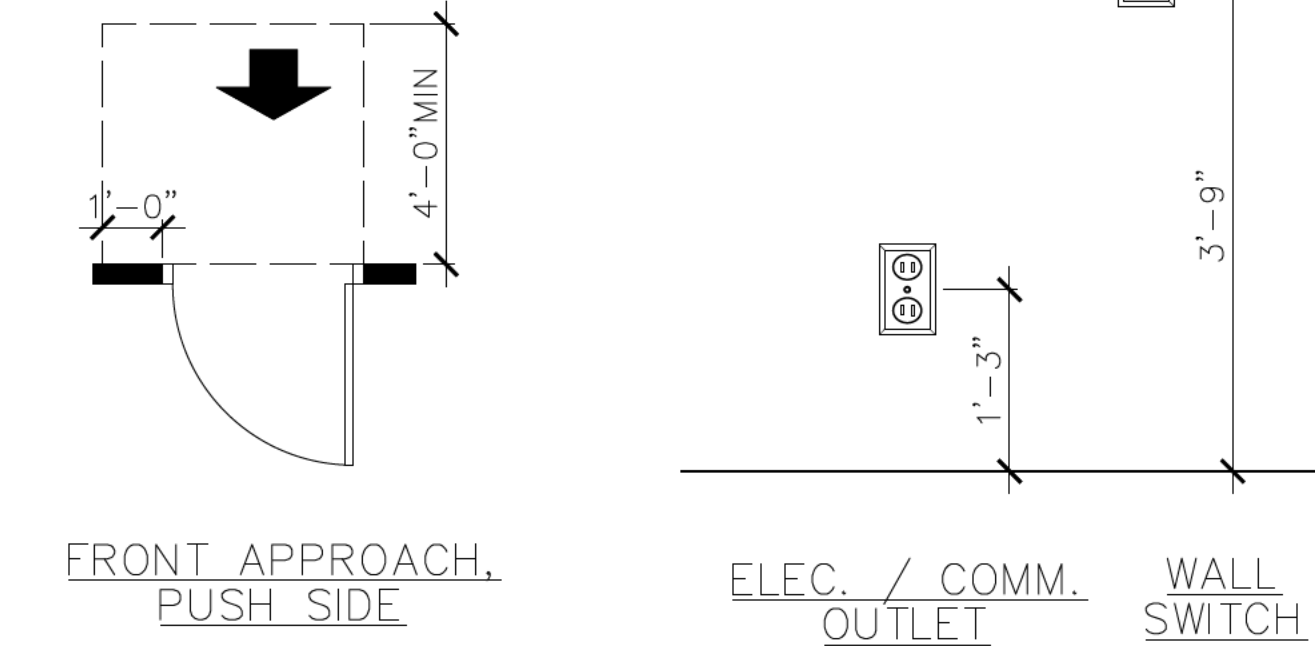
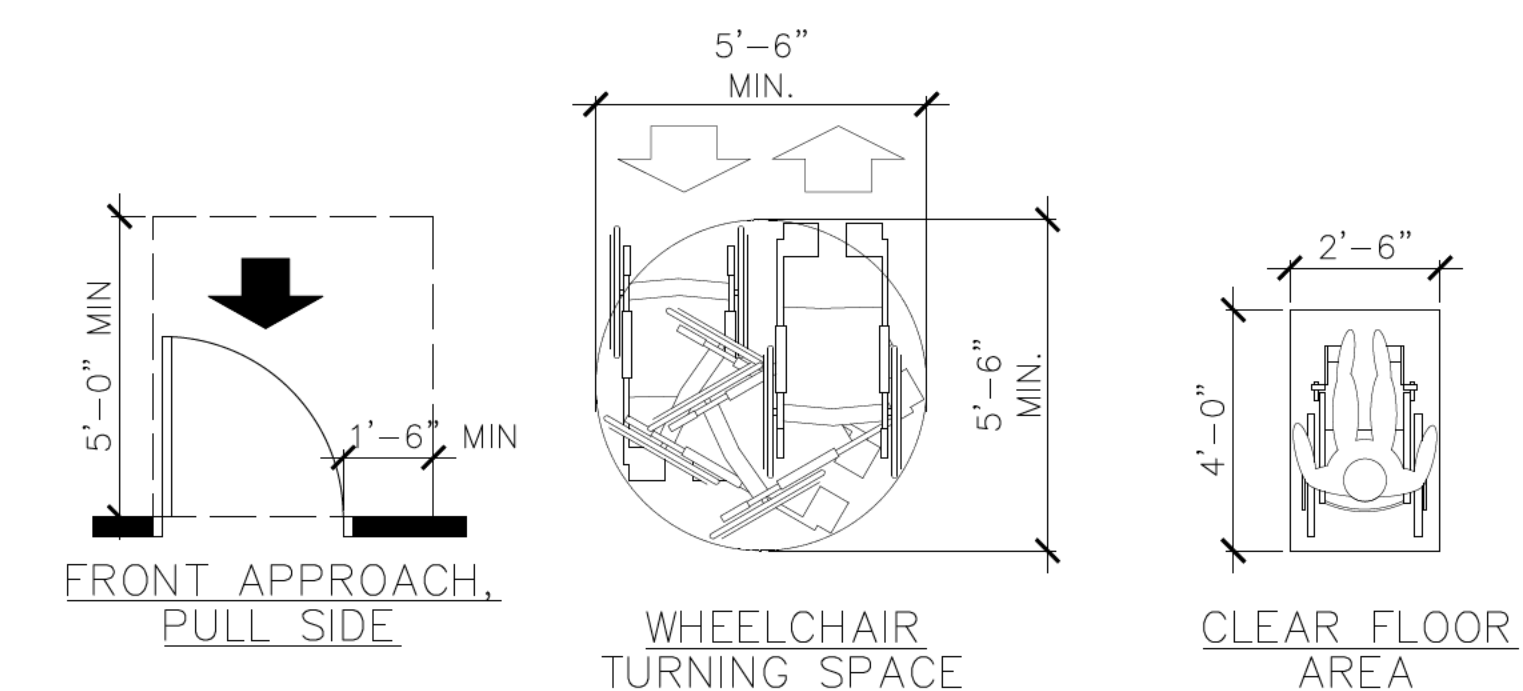
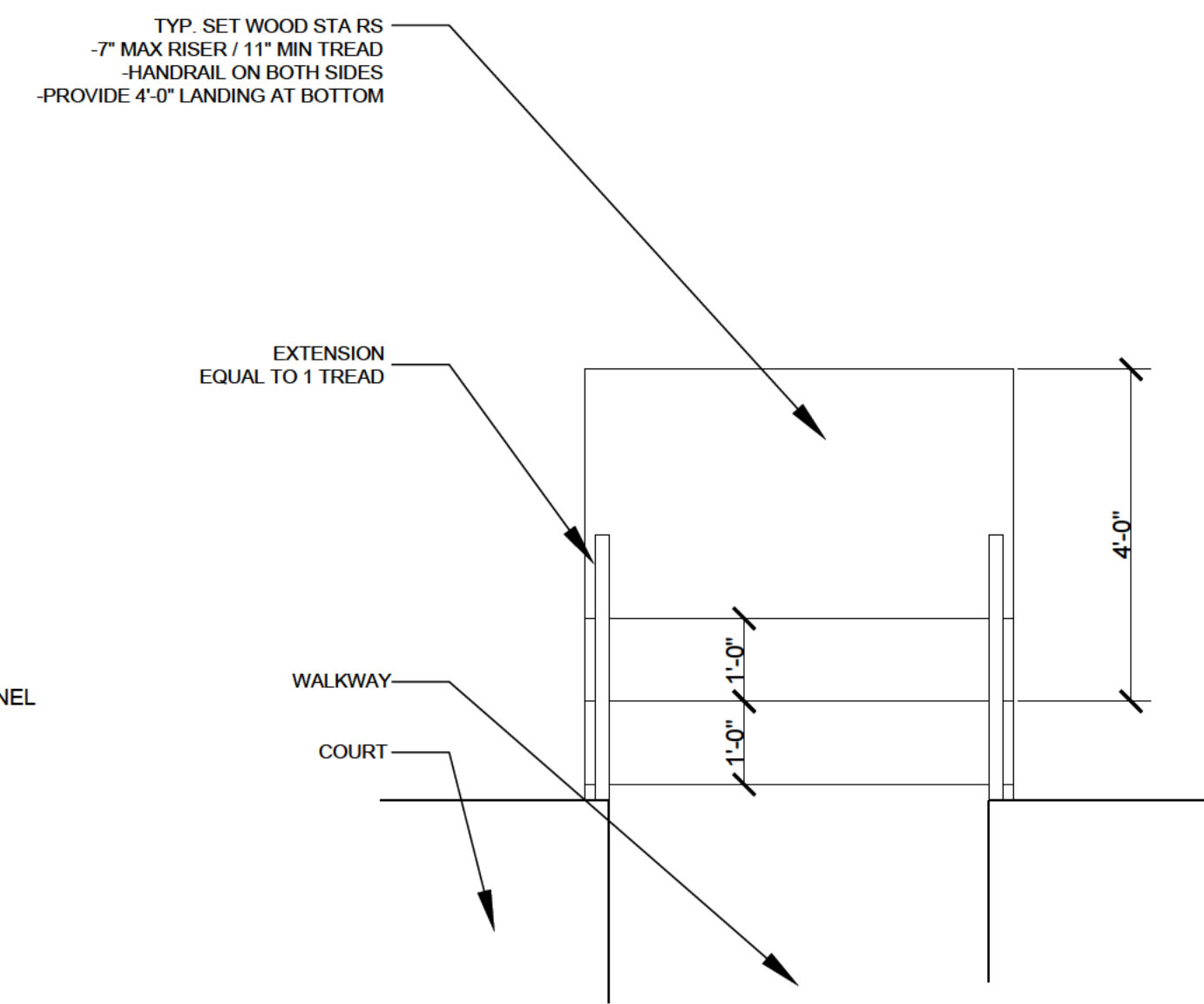
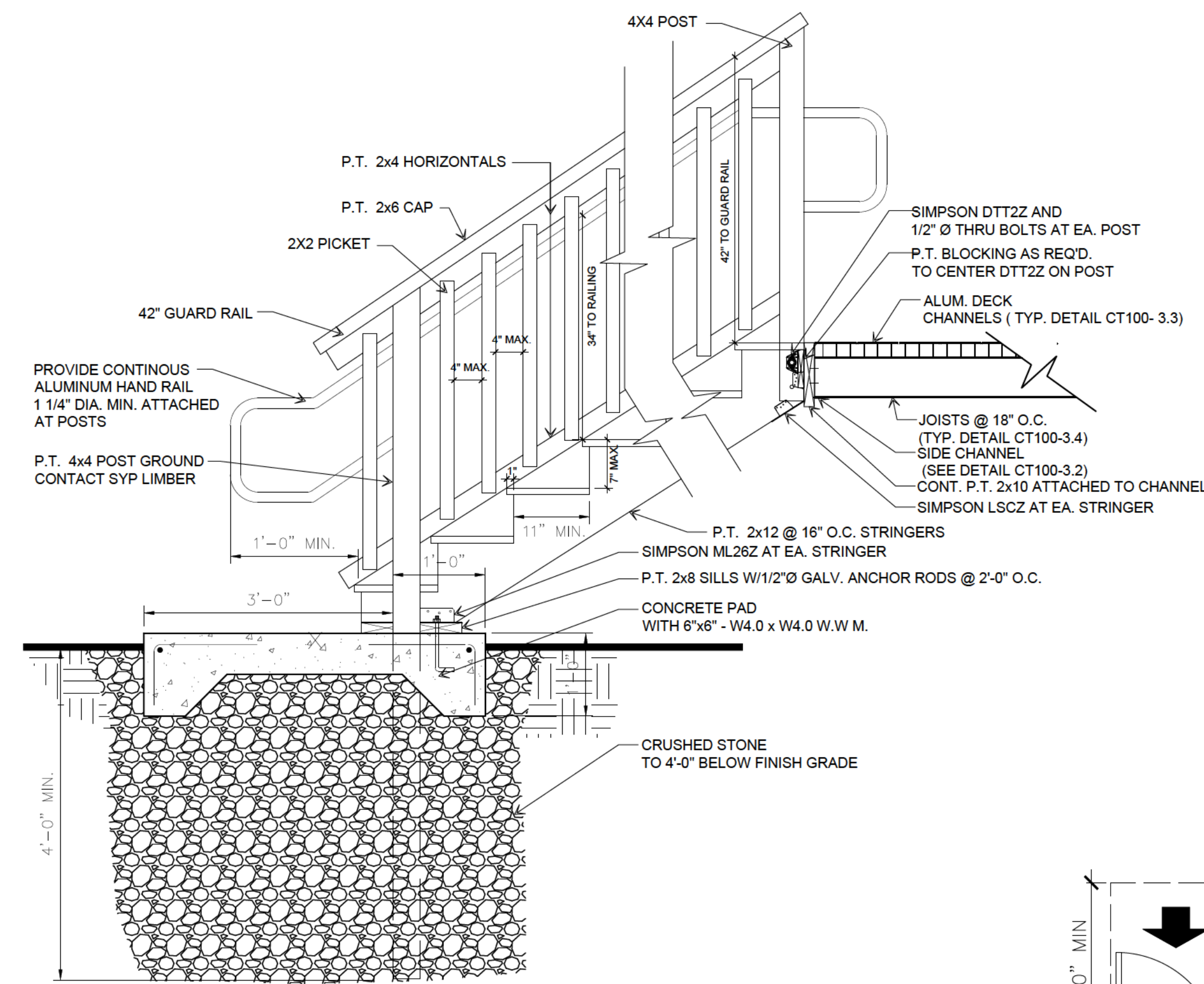
1 TYPICAL STRUCTURAL MEMBERS
SCALE 3/8" = 1'-0"



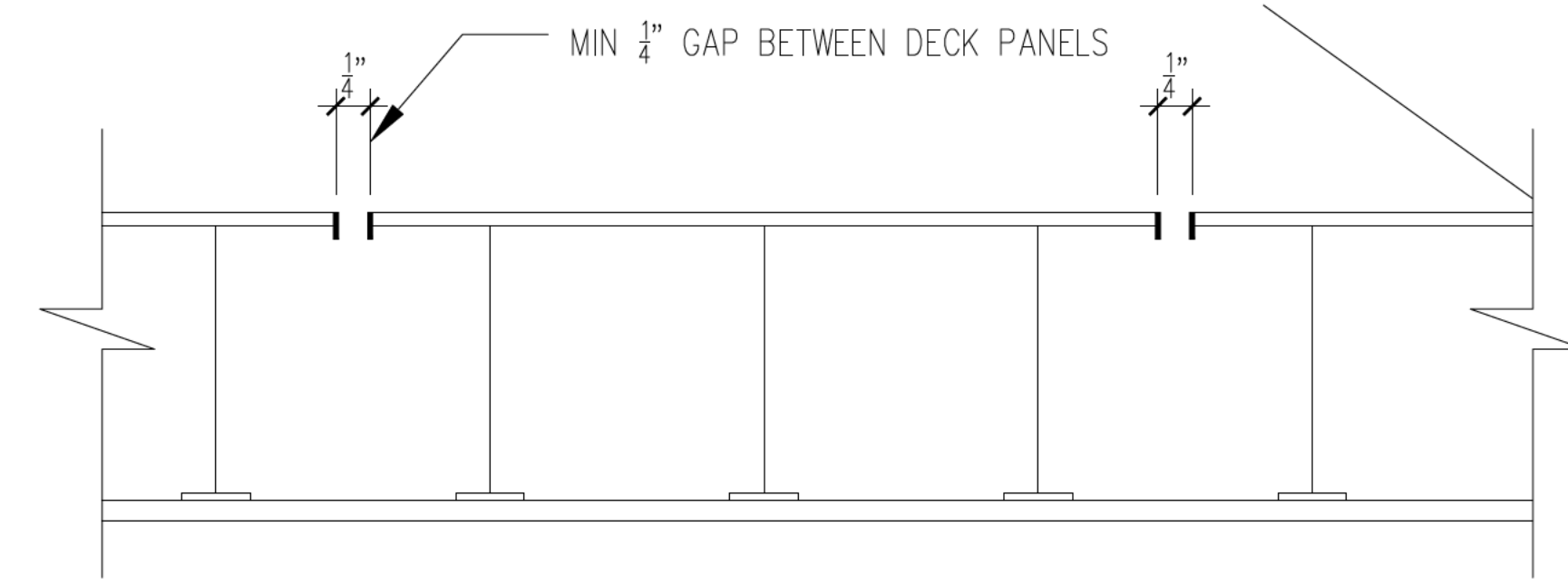
THE OCCUPANT LOAD OF THE COURTS SHALL BE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE COURT. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER.

SIGNS SHALL BE
CONSTRUCTED OF MINIMUM
.063-INCH ALUMINUM, WITH
MINIMUM OF 1-INCH BLOCK
LETTERS AND
NUMBERS, ON A CONTRASTING
BACKGROUND SO AS TO BE
READILY VISIBLE.

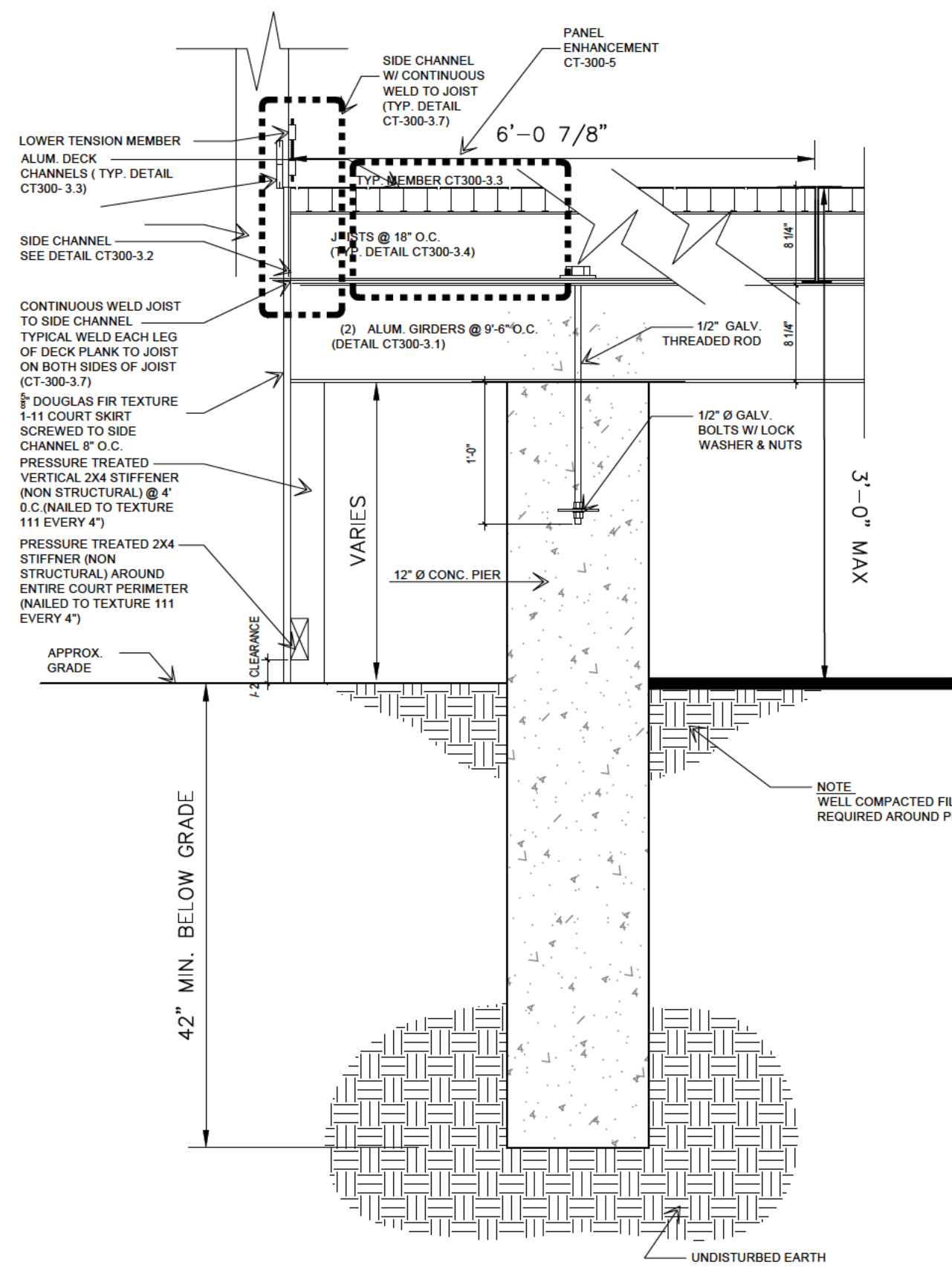
2 TYPICAL SIGNAGE DETAIL



5 UNIVERSAL DESIGN LEGEND
SCALE : 1/4" = 1'-0"



6 PANEL ENHANCEMENT DETAIL
SCALE : NOT TO SCALE



4 NEW COURT PIER DETAIL (TYPICAL)
SCALE : 1" = 1'

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

CONSULTANTS:

CG
AG
EST. 1952

CROZIER GEDNEY
ARCHITECTS, PC
41 ELM PLACE
RYE, NY 10580
PH. 914-967-6060
FAX 914-967-6071

FOR PERMIT

1.12.23

[illegible]

ALUMINUM PADDLE
TENNIS COURT
DRAWINGS FOR THE:

SALT CREEK CLUB
830 NORTH MADISON ST.
HINSDALE, IL 60521

DRAWING TITLE

COURT DETAILS

PROFESSIONAL SEAL	PPAS PROJECT #	2023-03
	SCALE:	AS NOTED
	DATE:	JAN 12 23
	DRAWN:	DJD
	CHECKED:	CCAS
	SHEET NUMBER	CT-300
CAD FILE:		
X-REF:		

DESIGN CRITERIA

- BUILDING CODE: 2006 INTERNATIONAL BUILDING CODE
- DESIGN LIVE LOADS:
COURT LIVE LOAD 40 PSF
WALKWAY & DECK LIVE LOAD 100 PSF

- WIND LOADS:
MAIN WIND FORCE RESISTING SYSTEM 20 PSF
COMPONENTS & CLADDING 30 PSF
NET UPLIFT ON FLOOR JOISTS 20 PSF

GENERAL REQUIREMENTS

- DRAWINGS ARE NOT TO BE SCALED IN THE FIELD. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN DIMENSIONS. VERIFY ALL DISCREPANCIES, ERRORS OR OMISSIONS BEFORE PROCEEDING WITH WORK.
- VERIFY SITE SURVEY AND DIMENSIONS WITH ACTUAL CONDITIONS IN FIELD. VERIFY ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS.
- PADDELE COURT CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS FOR THE PROJECT.
- PADDELE COURT CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL PLANS, VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- PADDELE COURT CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR THE FOLLOWING:
A. COMPLIANCE WITH CONTRACT DOCUMENTS.
B. DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS.
C. FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.).
D. WORK OF THE CONTRACTOR AND THE VARIOUS TRADES.
E. SAFE CONDITIONS AT THE JOB SITE.
- ALL MATERIAL DESIGN AND CONSTRUCTION MUST CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- SECTIONS, DETAILS AND NOTES ARE INTENDED TO APPLY TO SIMILAR SITUATIONS/ CONDITIONS ELSEWHERE.
- PROVIDE TEMPORARY SHORING AND SUPPORT AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING EXECUTION OF THE WORK.
- THE PADDELE COURT CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- DESIGN, PROVIDE, INSTALL AND MAINTAIN ALL UNDERPINNING, SHORING, BRACING, ETC. AS MAY BE REQUIRED FOR THE SUPPORT AND PROTECTION OF SURROUNDING EXISTING PROPERTY, BUILDINGS, UTILITIES, UTILITY EQUIPMENT, ETC. THE COST OF THIS WORK IS INCIDENTAL TO THE CONTRACT.

EXCAVATION & FOUNDATION

- USE APPROVED METHODS TO EFFECTIVELY MAINTAIN THE CONSTRUCTION AREA IN A DEWATERED STATE.
- ALL EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL GOVERNING GUIDELINES.
- THE PADDELE COURT CONTRACTOR IS TO PROTECT NEW AND EXISTING UTILITIES FROM DAMAGE. METHODS OF PROTECTION ARE TO BE APPROVED BY THE UTILITY. THE PADDELE COURT CONTRACTOR IS TO BRACE AND SUPPORT THE UTILITIES TO PREVENT SETTLEMENT, DISPLACEMENT, OR DISTURBANCE TO THE UTILITIES. THE COST OF THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE PADDELE COURT CONTRACTOR IS TO USE CARE IN GRADING AND EXCAVATING NEAR EXISTING ITEMS TO REMAIN. DAMAGE TO EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS IS TO BE REPAIRED BY THE PADDELE COURT CONTRACTOR AT THE PADDELE COURT CONTRACTOR'S EXPENSE.
- FOUNDATION DESIGN WAS BASED ON AN ASSUMED MINIMUM ALLOWABLE BEARING CAPACITY OF 1,500 PSF ON EXISTING CONCRETE SLAB AND 3,000 PSF ON ADJACENT SOIL. SOIL BEARING CAPACITIES MUST BE VERIFIED BY A QUALIFIED TESTING AGENCY, RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION.
- WHERE SUITABLE BEARING SOILS ARE SOME DISTANCE BELOW THE PROPOSED BOTTOM OF FOOTING ELEVATION, THE UNSUITABLE SOIL MAY BE EXCAVATED AND REPLACED WITH A WELL-GRADED, ENGINEERED FILL. THE FILL IS TO BE PLACED AND COMPACTED AS RECOMMEND BY THE GEOTECHNICAL ENGINEER. ALTERNATIVELY, THE FOOTING MAY BE PLACED AT THE ELEVATION OF THE SUITABLE SOILS.
- ALL EXTERIOR FOOTINGS ARE TO EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST. (3'-6" BELOW ADJACENT FINISH GRADE, IF NOT SHOWN).
- GENERAL MACHINE EXCAVATION IS TO STOP NOT LESS THAN 4" ABOVE ELEVATION OF BOTTOM OF FOOTINGS. FINAL EXCAVATION TO UNDISTURBED SOIL, AT REQUIRED FOOTING ELEVATION, IS TO BE DONE BY HAND NOT MORE THAN 12 HOURS BEFORE FOOTING IS PLACED.
- ALL FOUNDATION EXCAVATIONS ARE TO BE CLEAN AND DRY PRIOR TO PLACING CONCRETE. BOTTOMS ARE TO BE INSPECTED AND DESIGN BEARING CAPACITY CONFIRMED BEFORE PLACING FOOTINGS.
- DO NOT PLACE FOOTINGS ONTO OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER, FROST OR ICE ENTER AN AREA AFTER SUB-GRADE APPROVAL, THE SUBGRADE IS TO BE REINSPECTED AFTER REMOVAL OF WATER, FROST OR ICE.

CONCRETE

- ALL CONCRETE WORK IS TO CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE PUBLICATIONS: ACI 301, ACI 304, ACI 311, ACI 315, ACI 318, ACI 347.
- ALL CAST-IN-PLACE CONCRETE IS TO BE OF THE TYPES AND HAVING MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW:

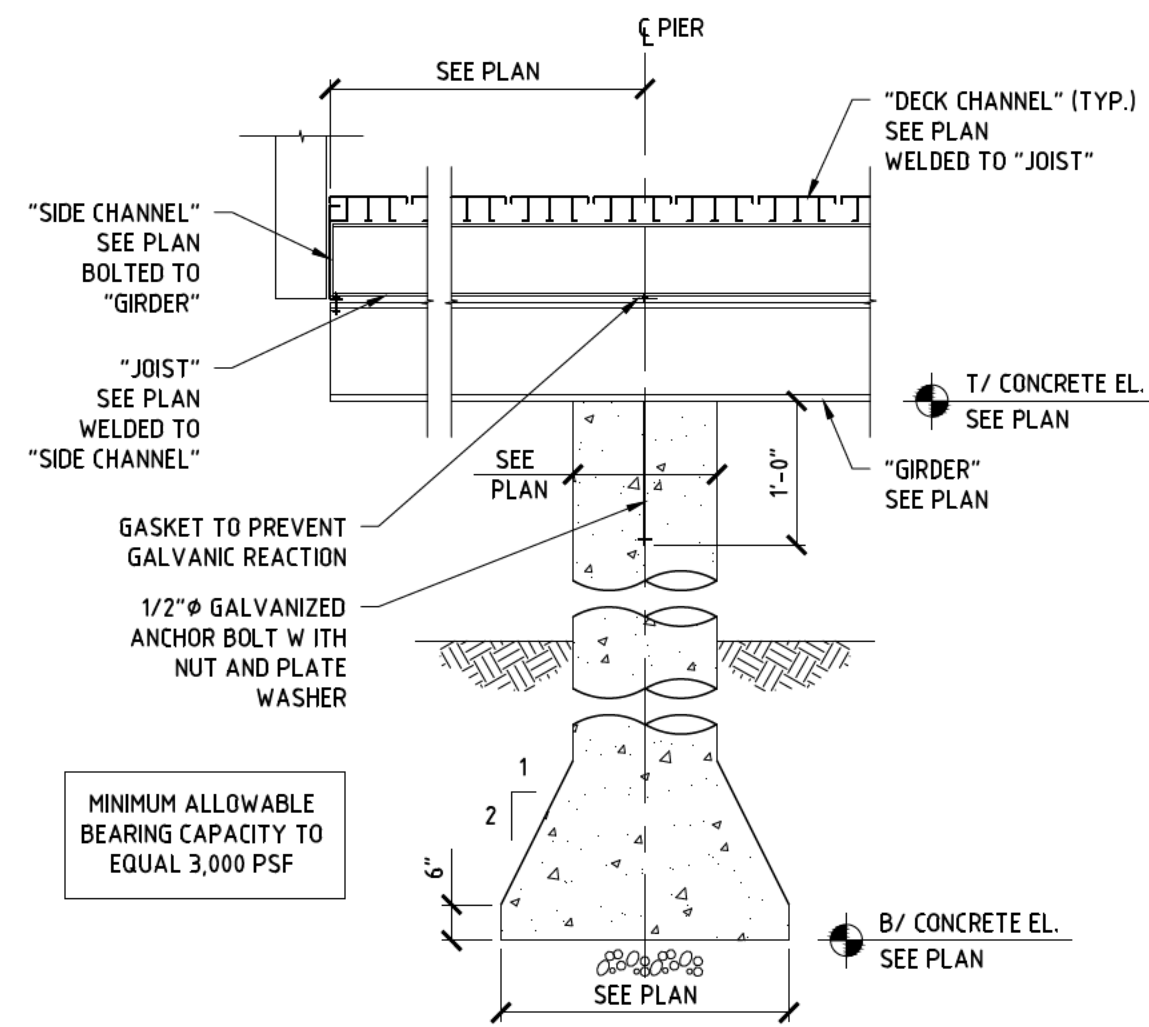
STRUCTURAL ELEMENT	28 DAY COMP. STR.	WEIGHT	REMARKS
FOOTINGS AND	4000 PSI	145 PCF	AIR-ENTRAINED
- CONCRETE PROTECTION FOR REINFORCING BARS IS TO BE AS FOLLOWS:
SURFACES NOT FORMED: 3"
FORMED SURFACES IN CONTACT WITH SOIL OR WATER, OR EXPOSED TO WEATHER: 2"
- DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE.
- THOROUGHLY CONSOLIDATE ALL STRUCTURAL CONCRETE WITH MECHANICAL VIBRATORS.

STRUCTURAL STEEL

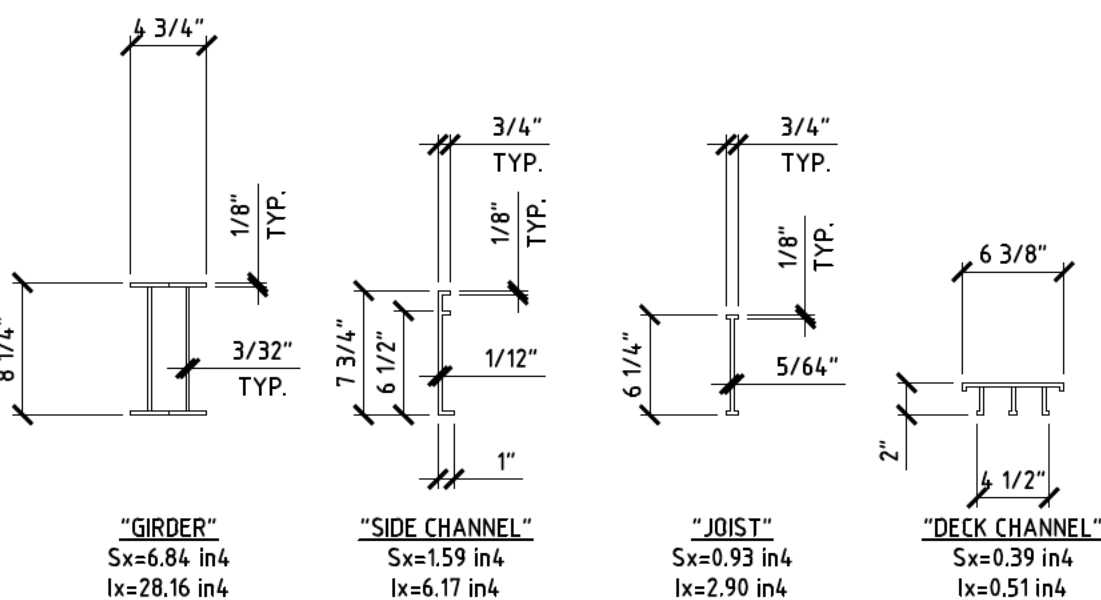
- ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL IS TO CONFORM TO AISC SPECIFICATIONS AND CODES.
- PROVIDE STRUCTURAL STEEL AS FOLLOWS:
ANCHOR BOLTS ASTM A307 (U.N.O.)
- ALL BOLTS, NUTS AND WASHERS ARE TO CONFORM WITH THE REQUIREMENTS OF ASTM A325 OR A490.

ALUMINUM

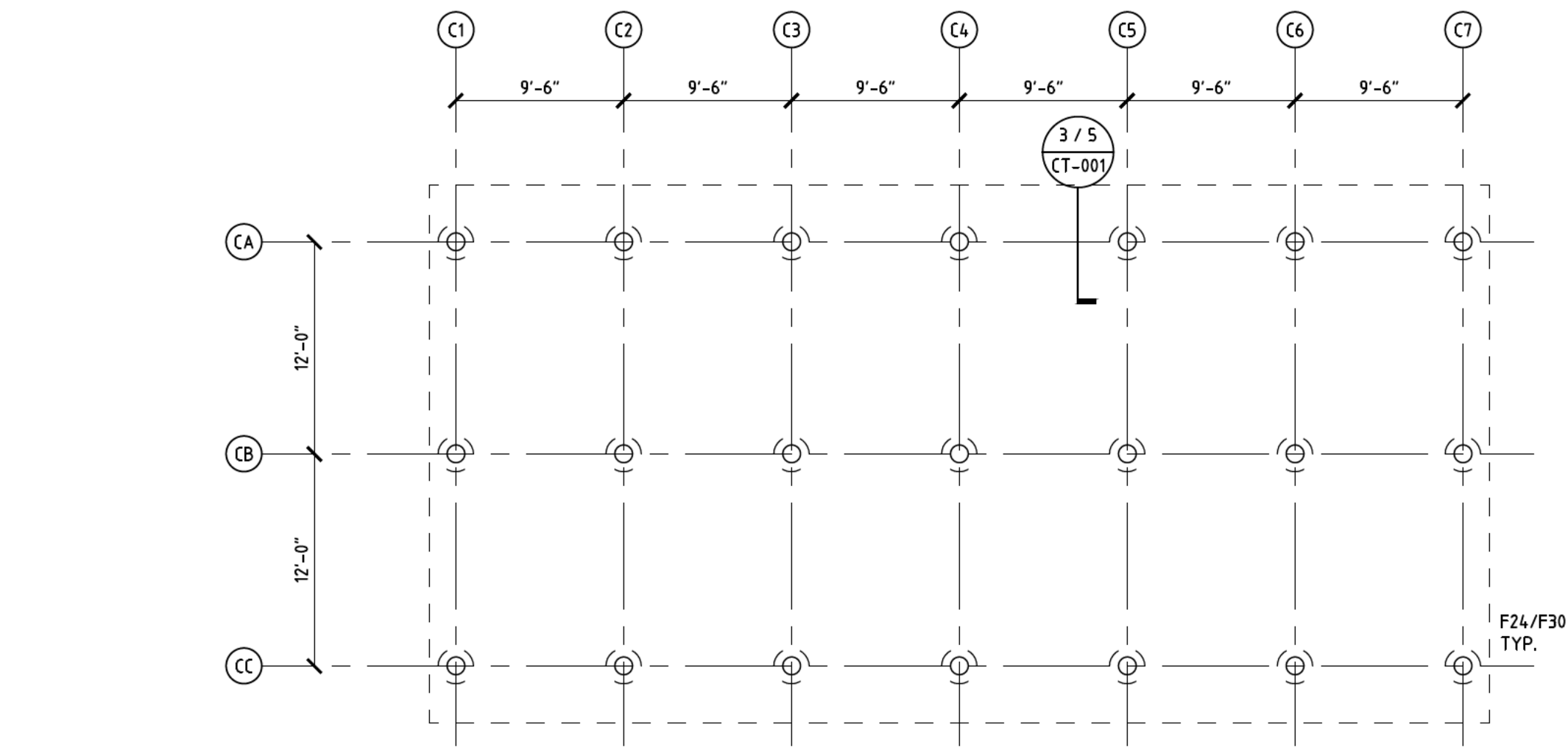
- ALL DETAILING, FABRICATION AND ERECTION OF ALUMINUM IS TO CONFORM TO THE LATEST EDITION OF THE ALUMINUM ASSOCIATION SPECIFICATION AND CODE.
- MATERIAL PROPERTIES:
ALL SECTIONS 6063-T6 ALLOY AND TEMPER
- ALL ALUMINUM MEMBERS ARE TO BE STRAIGHT AND FREE OT TWIST.
- ALL WELDING ELECTRODES ARE TO BE E4043.
- ALL WELDING WORK IS TO CONFORM TO THE AWS D11 STRUCTURAL WELDING CODE, LATEST EDITION, AND IS TO BE PERFORMED BY AWS CERTIFIED WELDERS.
- ALL BEAMS ARE TO BE FABRICATED WITH THE NATURAL CAMBER UP.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES, ESPECIALLY WITH RELATION TO TEMPERATURE DIFFERENTIAL AND ERECTION TOLERANCES.
- THERE IS TO BE NO FIELD CUTTING OF ALUMINUM MEMBERS, FOR THE WORK OF OTHER TRADES, WITHOUT THE PRIOR APPROVAL OF THE ENGINEER OF RECORD.



3 GIRDER BEARING AT CONCRETE PIER
SCALE: 3/4"=1'-0 RE: 1/CT-001, 2/CT-001, 1/CT-002, 2/CT-002

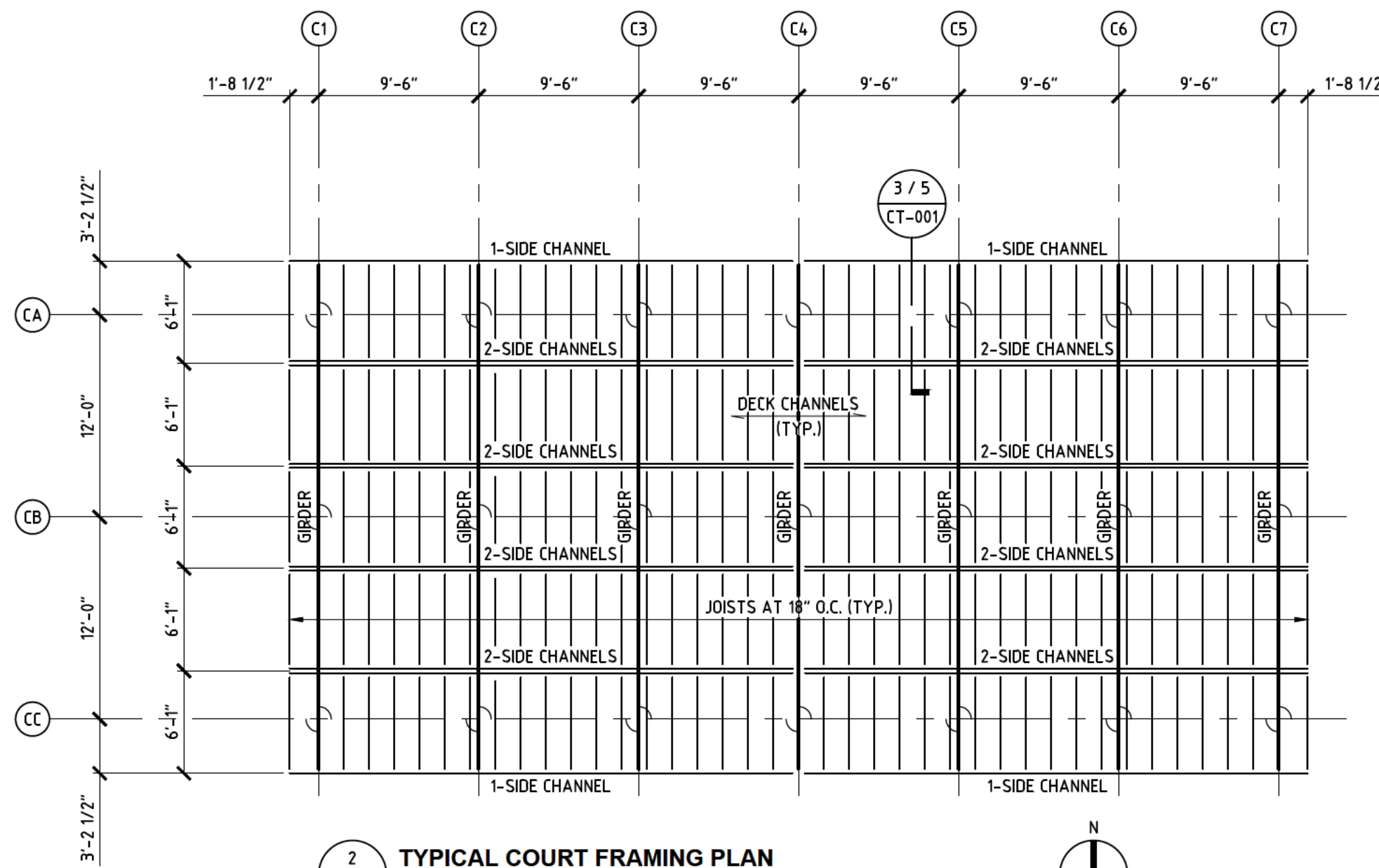


4 TYPICAL STRUCTURAL MEMBER SECTIONS
SCALE: 1"=1'-0



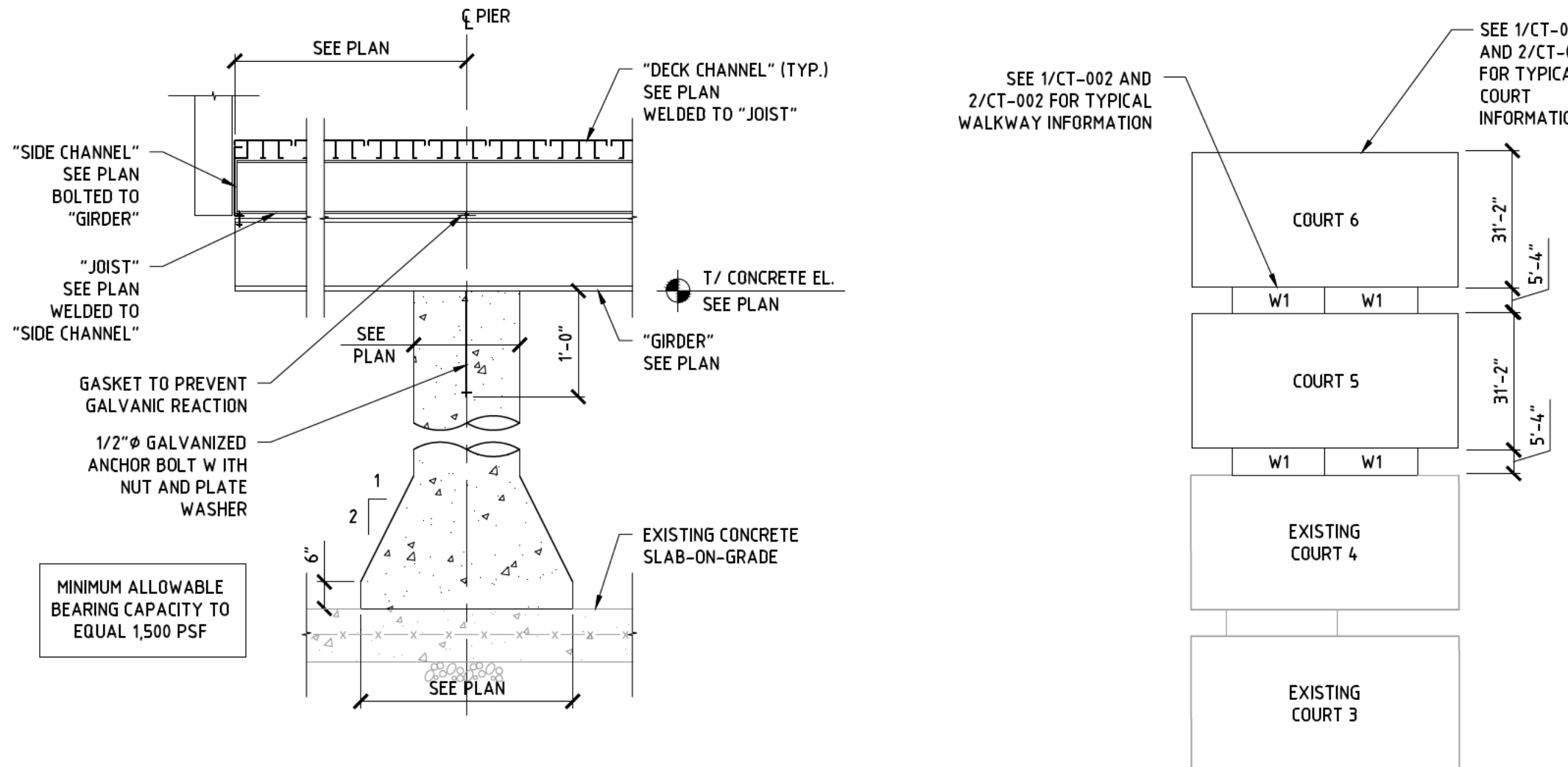
1 TYPICAL COURT FOUNDATION PLAN
SCALE: 1/8"=1'-0

- NOTES:
- F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE AT SOIL BEARING. F30 INDICATES 12"Ø CONCRETE PIER WITH 30"Ø BASE AT EXISTING CONCRETE SLAB-ON-GRADE BEARING. 1/FTG. EL. = -1'-4 1/2" U.N.O. 8/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.



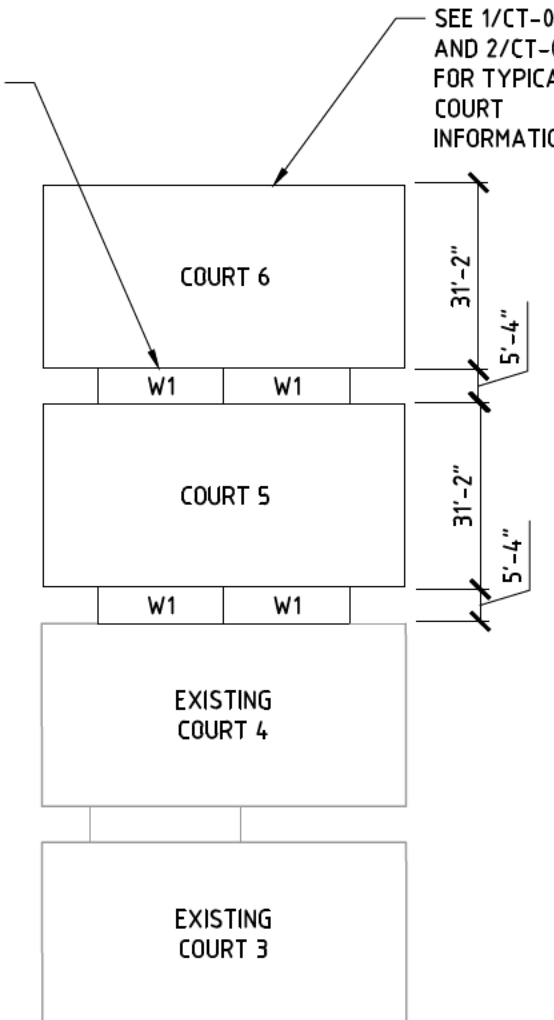
2 TYPICAL COURT FRAMING PLAN
SCALE: 1/8"=1'-0

- NOTES:
- SEE 4/CT-001 FOR TYPICAL STRUCTURAL MEMBER SECTIONS.



5 GIRDER BEARING AT CONCRETE PIER AT EXISTING CONC. SLAB
SCALE: 3/4"=1'-0 RE: 1/CT-001, 2/CT-001, 1/CT-002, 2/CT-002

6 KEY PLAN
SCALE: 1/8"=1'-0



RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696



Structural Engineers

106 W Calendar Ave #210
LaGrange, IL 60525
phone: 708.352.0359
www.louisshell.com

DESIGN FIRM: 184-004.600



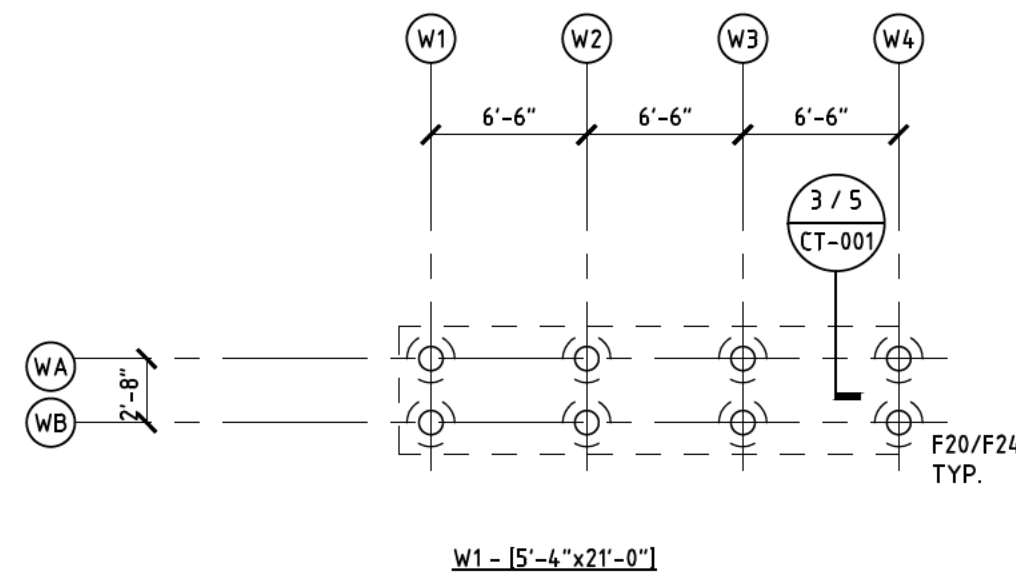
Exp. 11/31/24
01/20/2023

DATE	REVISION #	REMARKS
01/20/2023		ISSUED FOR PERMIT

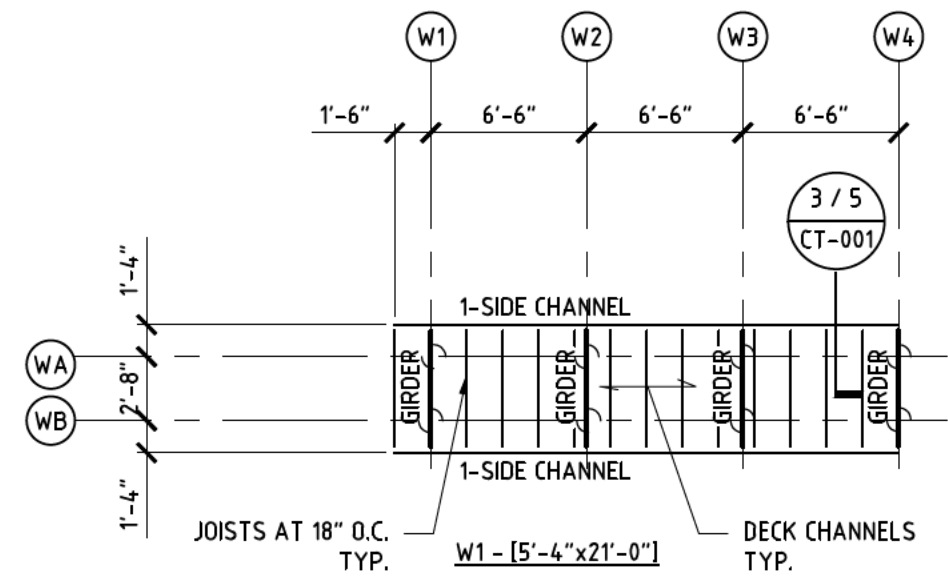
PROJECT
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS
SALT CREEK CLUB
830 N. MADISON ST.
HINSDALE, IL

DRAWING TITLE
GENERAL STRUCTURAL
NOTES, PLANS
AND DETAILS

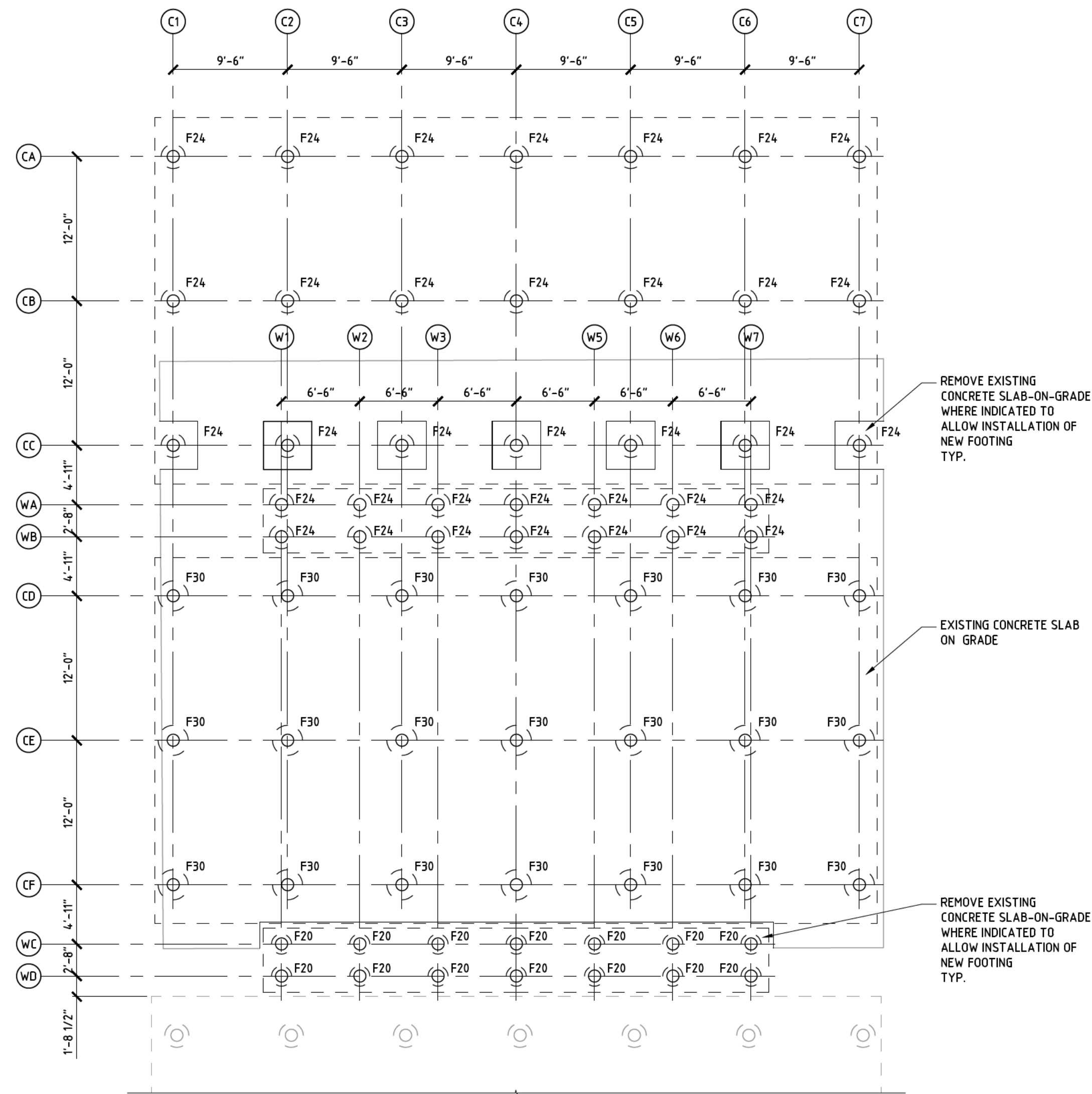
PROJECT #	RG2301
SCALE:	AS NOTED
DATE:	01.20.2023
DRAWN:	KO
CHECKED:	LS
SHEET NUMBER	CT-001
CAD FILE:	
X-REF:	



1 WALKWAY FOUNDATION PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. F20 INDICATES 12"Ø CONCRETE PIER WITH 20"Ø BASE AT SOIL BEARING. F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE AT EXISTING CONCRETE SLAB-ON-GRADE BEARING. T/FTG. EL. = -1'-4 1/2" U.N.O. B/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.



2 WALKWAY FRAMING PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. SEE 4/CT-001 FOR TYPICAL STRUCTURAL MEMBER SECTIONS.



3 CONCRETE PIER LAYOUT PLAN
SCALE: 1/8"=1'-0"
NOTES:
1. F20 INDICATES 12"Ø CONCRETE PIER WITH 20"Ø BASE. F24 INDICATES 12"Ø CONCRETE PIER WITH 24"Ø BASE. F30 INDICATES 12"Ø CONCRETE PIER WITH 30"Ø BASE. T/FTG. EL. = -1'-4 1/2" U.N.O. B/FTG. EL. = 4'-0" MIN. BELOW GRADE EXCEPT WHERE BEARING ON EXISTING CONCRETE SLAB-ON-GRADE.

RPTC LLC
Reilly Green Mountain Platform Tennis
300 Boston Post Road
Orange, Connecticut
203.795.5696

LOUIS SHELL
STRUCTURES
Structural Engineers
106 W Calender Ave #210
LaGrange, IL 60525
phone: 708.352.0359
www.louisshell.com
DESIGN FIRM: 184-004.600



DATE	REVISION #	REMARKS
01/20/2023		ISSUED FOR PERMIT

PROJECT
REILLY GREEN MOUNTAIN
PLATFORM TENNIS COURTS
SALT CREEK CLUB
830 N. MADISON ST.
HINSDALE, IL

DRAWING TITLE
WALKWAY
FOUNDATION AND
FRAMING PLANS

PROJECT #	RG2301
SCALE:	AS NOTED
DATE:	01.20.2023
DRAWN:	KO
CHECKED:	LS
SHEET NUMBER	CT-002

TOPOGRAPHIC PLAT OF SURVEY

PARCEL 1:
THAT PART (EXCEPT THE EAST 2 RODS FOR ROAD) OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF HOLMES MADISON ST. ASSESSMENT PLAT, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1954, AS DOCUMENT 707657, AND LYING NORTH OF THE NORTH LINE OF THE SOUTH 110 FEET OF THE NORTH 1210 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:
THE WEST 396 FEET (AS MEASURED ON THE NORTH LINE) OF THE NORTH 110 FEET OF THE SOUTH 220 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (AS ESTABLISHED BY FENCE LINE, BEING THE NORTH LINE OF LOGAN ACRES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 17, 1955, AS DOCUMENT 769566) OF SECTION 2, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS
830 N. MADISON STREET
HINSDALE, IL

DUPAGE COUNTY
PROPERTY INDEX NUMBER
(P.I.N.)
09-02-207-001



BOUNDARY DETAIL

AREAS	
PARCEL 1	345,207 SQ.FT. 7.925 AC
PARCEL 2	43,585 SQ.FT. 1.001 AC
TOTAL	388,792 SQ.FT. 8.925 AC (more or less)

NOTES

- DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND BEARINGS ARE BASED ON THE NAD83 ILLINOIS EAST STATE PLANE COORDINATE ZONE 1201, AS DETERMINED BY GPS MEASUREMENT.
- ELEVATIONS SHOWN ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), AS DETERMINED BY LOCAL C.O.R.S. OBSERVATIONS.
- NO TITLE COMMITMENT WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SURVEY. THE LEGAL DESCRIPTION SHOWN HEREON IS BASED ON Doc. R2016-007223 AND THE RECORDED HOLMES MADISON ST. ASSESSMENT PLAT. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO DEEDS, ABSTRACTS, TITLE POLICIES, SEARCHES OR COMMITMENTS, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.
- LOCATIONS OF IMPROVEMENTS SHOWN ARE BASED ON FIELD MEASUREMENTS COMPLETED ON JULY 26, 2022. NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE AND NO DIMENSIONS, LENGTHS OR WIDTHS SHOULD BE ASSUMED FROM SCALING. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

PREPARED FOR:
SALT CREEK TENNIS CLUB

PREPARED BY:

LANDMARK

ENGINEERING LLC

DESIGN FIRM REGISTRATION NO. 184-005577-0010

7808 WEST 103RD STREET
PALOS HILLS, ILLINOIS 60465-1529
Phone (708) 599-3737

SURVEY No. 22-07-016-TOPOS-R

FIELD WORK COMPLETED: 12/01/2022

THIS PROFESSIONAL SERVICE CONFORMS TO THE
CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

DATE: 12/09/2022



MARK H. LANDSTROM I.P.L.S. No. 2625
LICENSE RENEWAL DATE: NOVEMBER 30, 2024



MEMORANDUM

TO: Village of Hinsdale Community Development Department

FROM: Louis Shell

DATE: January 18, 2023

RE: Platform Tennis Court Live Load
Salt Creek Club
830 N. Madison St.
Hinsdale, Illinois

The occupancy or use of a platform tennis court is not indicated in Table 1607.1 of the 2006 International Building Code. The following information is provided in accordance with section 1607.2: "Loads not specified" in order to demonstrate the suitability of using a uniform design load of 40 psf for this use / occupancy.

Platform tennis is a game played by four players: two teams of two. The maximum anticipated occupancy per court would be eight persons, potentially occurring while transitioning between games: four players entering the court as four others exit.

It is anticipated that the density of occupants within the court will be no greater than that which would be experienced within a "one- and two-family dwelling" Residential situation. 2006 IBC Table 1004.1.1 "Maximum Floor Area Allowances per Occupant" indicates a gross floor area of 200 sq. ft. per occupant for a Residential space. When the total court area of 1,845 sq. ft. is divided by 200 sq. ft. / occupants, the resulting maximum occupancy is nine people. This closely matches the actual anticipated occupancy described above.

2006 IBC Table 1607.1 "Minimum Uniformly Distributed Live Loads" indicates a maximum uniform design live load of 40 psf for a "one- and two-family dwelling". Based on this and the information above, it appears appropriate to use a uniform design live load of 40 psf for a platform tennis court.

With the Village of Hinsdale Community Development Department's approval, it is recommended that the occupancy of each court be limited to eight (8) people and that an occupancy load sign indicated such be prominently placed at the entry of each court. It is additionally recommended that the Club Owner / management submit a letter to the Village of Hinsdale Community Development Department indicating that the number of people at each court will be limited eight (8) people.



REILLY GREEN MOUNTAIN PLATFORM TENNIS COURTS

300 Boston Post Rd.
Orange, CT 06477

ph: 203-795-5696
fax: 203-795-9120

www.platformtennis.com

February 24, 2023

Mr. Steven J Wolsfeld – General Manager
Salt Creek Club
830 N. Madison Street
Hinsdale, IL 60521

Dear Steven,

Please be advised that the lights being furnished and installed at the platform tennis courts located at Salt Creek Club are 150 watt fixtures with shields/shrouds. These lights will conform to Hinsdale code # (Section 9-101(D)(9)) which states "Any permitted accessory lighting fixtures shall be so designed, arranged, and operated as to prevent glare and direct rays of light from being cast on to any adjacent public or private property or street and so as not to produce excessive sky reflected glare. Except for streetlights, no exterior light in or adjacent to any residential district shall be so designed, arranged, or operated to produce an intensity of light exceeding one-half (1/2) foot-candle at any residential lot line".

Please note the industry standard is 5000K for platform tennis lighting as this is the safest light to play platform tennis at night. As Salt Creek plays interclub matches with other clubs, it is important that the playing surfaces are as uniform as possible with the other clubs including the lighting.

Please feel free to contact us should you require any further information.


Sincerely,

RPTC, LLC
Reilly Green Mountain Platform Tennis



Chris J. Casiraghi

Project Details line 2 line 3 line 4	
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Luminaire Schedule								
Symbol	Qty	Label	Description	Arrangement	Lumens/Lamp	LLF	Lum. Watts	Total Watts
	16	1L-SB15W27-50K-D-T3-lens	150W SB	SINGLE	19834	1.000	150.1	2401.6

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	1L-SB15W27-50K-D-T3-lens hood	87.317	164.693	20	90	0
2	1L-SB15W27-50K-D-T3-lens hood	100.808	165.111	20	90	0
3	1L-SB15W27-50K-D-T3-lens hood	114.299	165.53	20	90	0
4	1L-SB15W27-50K-D-T3-lens hood	127.79	165.948	20	90	0
5	1L-SB15W27-50K-D-T3-lens hood	86.514	195.051	20	273.494	0
6	1L-SB15W27-50K-D-T3-lens hood	100.005	195.456	20	273.494	0
7	1L-SB15W27-50K-D-T3-lens hood	113.497	195.86	20	273.494	0
8	1L-SB15W27-50K-D-T3-lens hood	126.988	196.265	20	273.494	0
9	1L-SB15W27-50K-D-T3-lens hood	87.631	158.53	20	273.494	0
10	1L-SB15W27-50K-D-T3-lens hood	101.122	158.935	20	273.494	0
11	1L-SB15W27-50K-D-T3-lens hood	114.614	159.339	20	273.494	0
12	1L-SB15W27-50K-D-T3-lens hood	128.105	159.744	20	273.494	0
13	1L-SB15W27-50K-D-T3-lens hood	88.434	128.172	20	90	0
14	1L-SB15W27-50K-D-T3-lens hood	101.925	128.59	20	90	0
15	1L-SB15W27-50K-D-T3-lens hood	115.416	129.009	20	90	0
16	1L-SB15W27-50K-D-T3-lens hood	128.907	129.427	20	90	0

Project
Details
line 2
line 3
line 4

Date:2/24/2023

Numeric Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	5.24	59.3	0.0	N.A.	N.A.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min

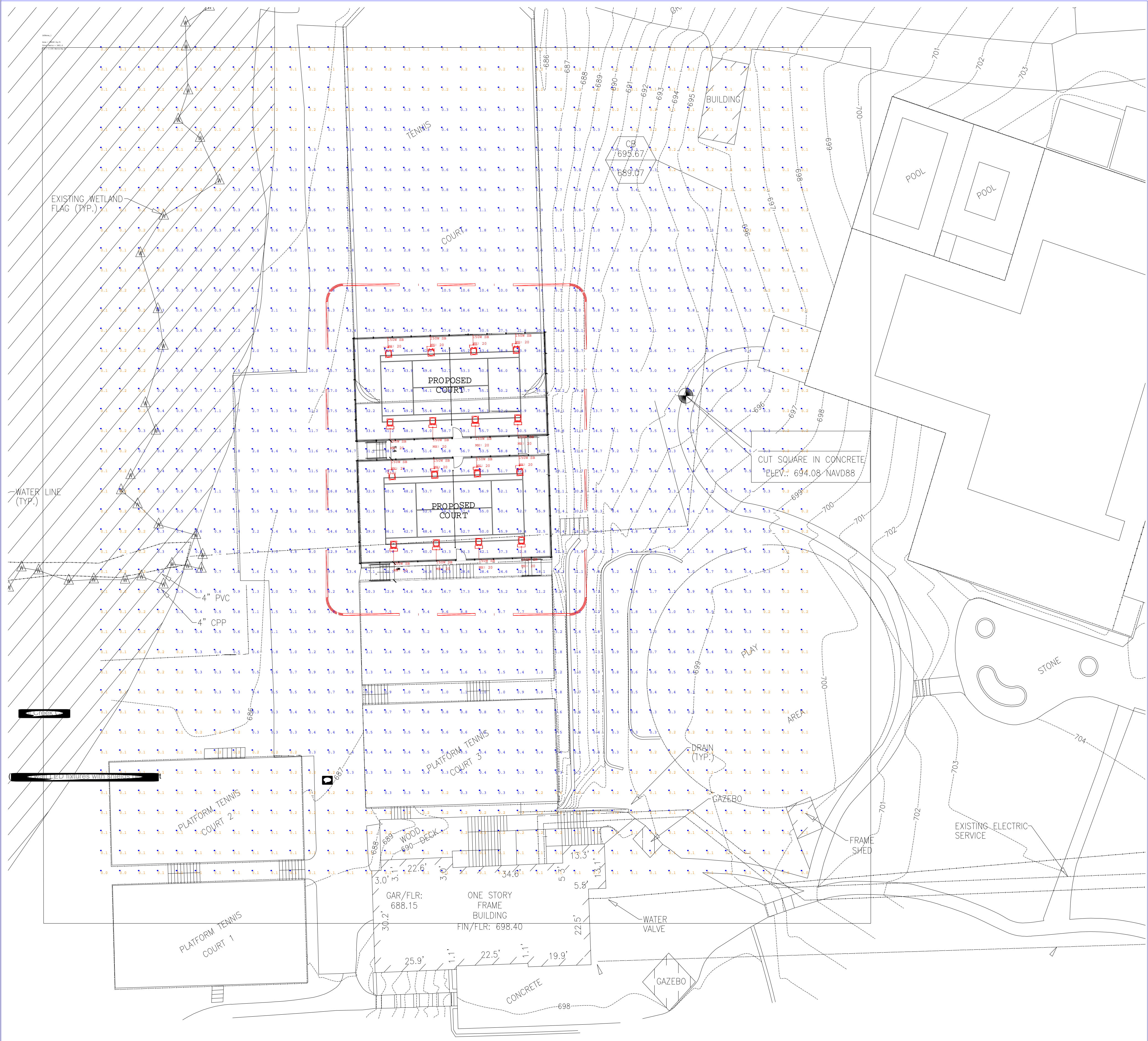
LPD Area Summary			
Label	Area	Total Watts	LPD
LPDArea_1	68626	2401.6	0.035

Luminaire Tag Summary	
Tag	Qty
150W SB	16

Project
Details
line 2
line 3
line 4

Date:2/24/2023

Page 3 of 4

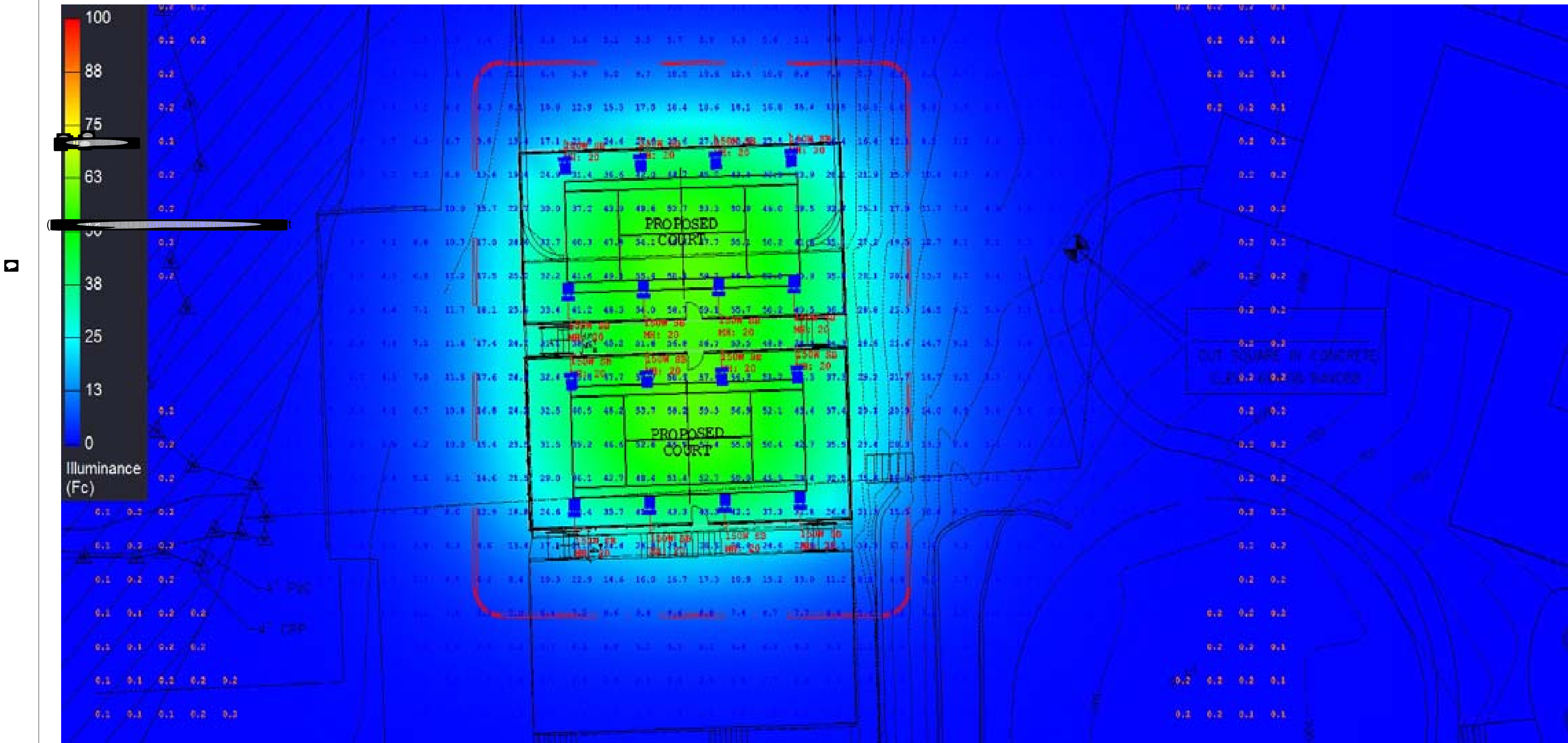
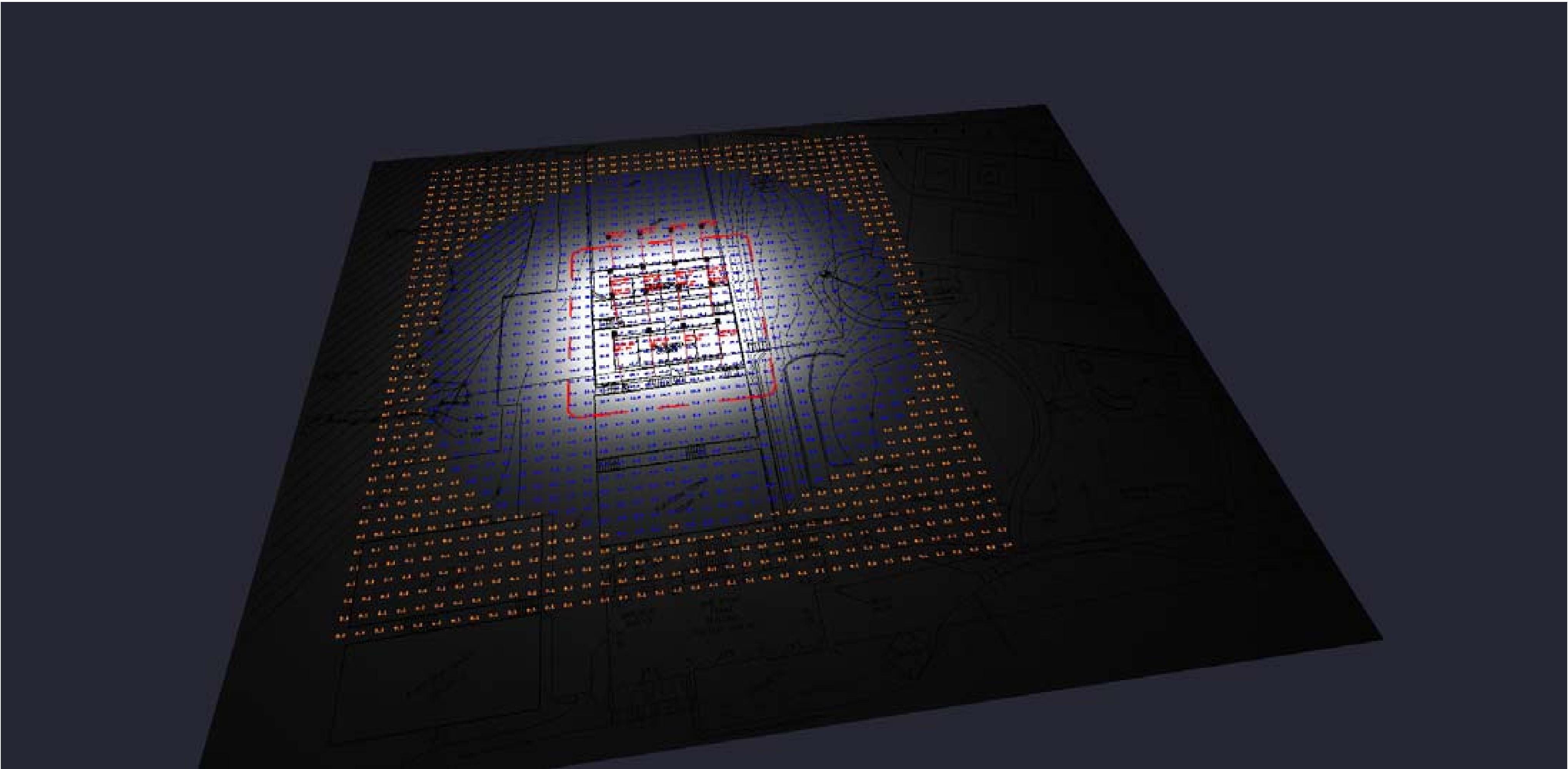


View of point by point

Project
Details
line 2
line 3
line 4

Date:2/24/2023

Page 4 of 4





150W LED SHOEBOX LIGHT

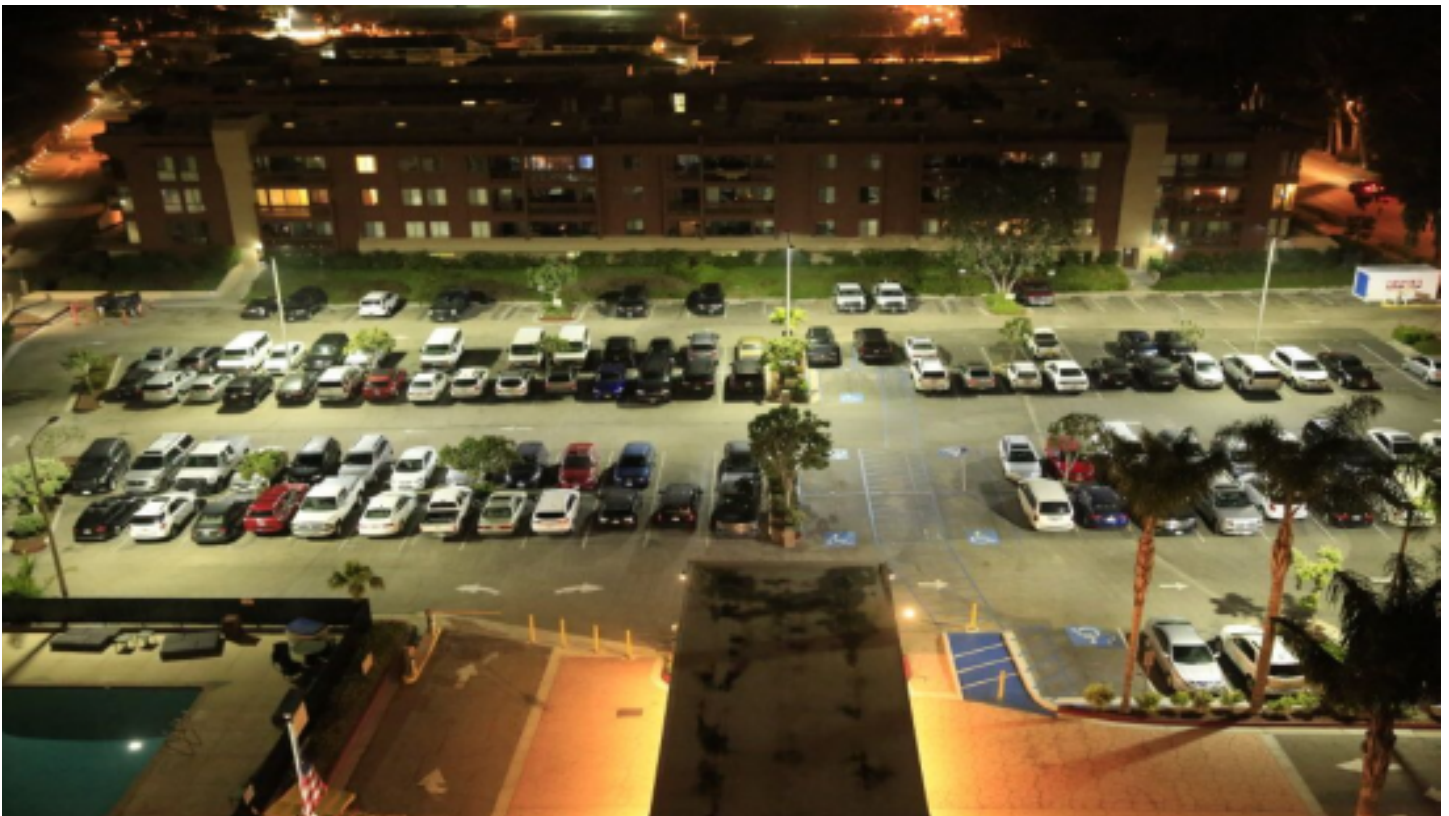


Features

- Lumileds LED, high luminous efficiency and long working life.
- High efficiency LED Driver, the wide range input voltage AC120-277V/AC200-480V.
- Die Cast aluminium cooling design, high quality and better cooling for LED $T_j < 85^{\circ}\text{C}$. Excellent
- Optics design, greatly improve the light utilization and evenness.
- Motion sensor Control Available (Option)

Product Applications

WISDOM LED SHOEBOX LIGHT series can be widely used in outdoor lighting(Wet location),Excellent for Museums, Art Galleries, Underground parking lot, Buildings,The lawn, Industrial areas, Residential areas, Sidewalks, Parking lot, Schools and etc,and many more applications.



WISDOM OPTOELECTRONICS TECHNOLOGY CO.,LIMITED
Add: FLOOR 8,BUILDING B1 SUNSHINE INDUSTRIAL PARK HEZHOU
XIXIANG BAOAN DISTRICT SHENZHEN, GUANGDONG , CHINA, 518126.

Tel: +86 755 2744 8585
+86 755 2744 8884
Fax: +86 755 2744 8089
Email: leo.zhu@wisdom-ssl.com
Website: www.wisdom-ssl.com

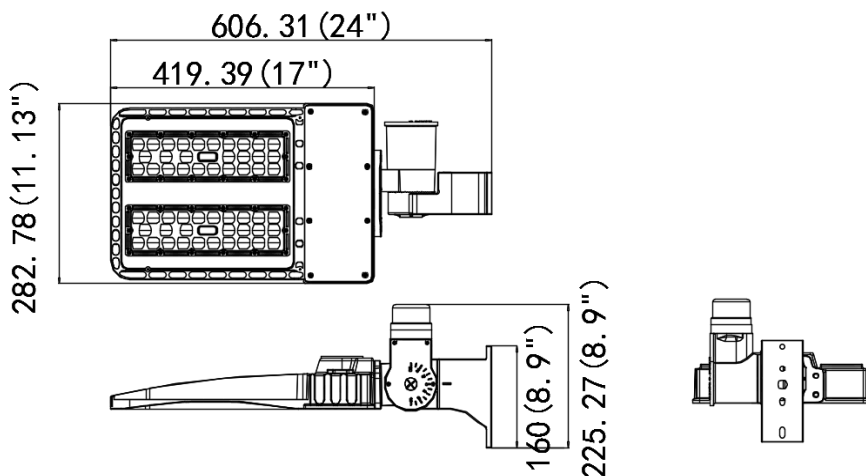


Wisdom
wisdom light, wisdom life.

Product family data sheet

Specifications

Unit : inch(mm)



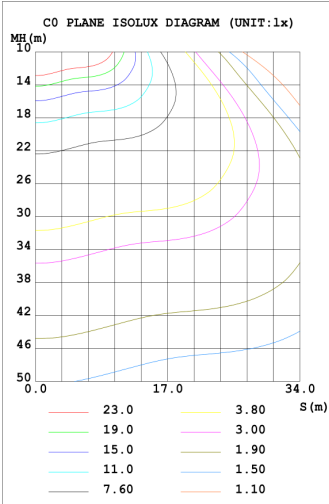
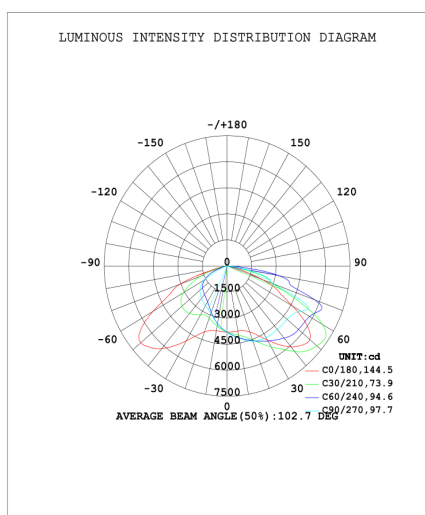
Structure Features

- Shell materials: Aluminum & PC.
- Finish: Dark Bronze/White
- Net weight : 6.0Kg (13.2 lbs)
- Product Size: 606mm*282mm*160mm
- Carton Size: 570mm*350mm*150mm

Technical Parameters

WSD-SB15W27-XXK-Z-TN-U-Y-#			
Power	150W	Lighting Angle	Type II, III, IV, V
Input Voltage	AC120-277V/AC200-480V	LED Brightness Decay	<5%/6000 hrs
PF	>0.95	Working Life	>50000 hrs
Driver Efficiency	>90%	Working Temperature	-30 - +45°C
Luminous Flux	21000 Lm	Storage Temperature	-40 - +80°C
Color Temperature	4000K/5000K	Protection Level	Wet Location/IP66
CRI	Ra>70	Cable	3 core, 18AWG
Optional dimming function	1-10Vdc	EPA	1.5FT ²

Photometry



1.219m	1368,2727lx	304.91cm
2m	508.3,1013lx	500.18cm
3m	225.9,450.4lx	750.26cm
4m	127.1,253.3lx	1000.35cm
5m	81.33,162.1lx	1250.44cm
6m	56.48,112.6lx	1500.53cm
7m	41.50,82.72lx	1750.61cm
8m	31.77,63.34lx	2000.70cm
9m	25.10,50.04lx	2250.79cm
10m	20.33,40.53lx	2500.88cm

Example: WSD-SB15W27-XXK-Z[D,W,B,S]-TN[T2,T3,T4,T5]-U[S,A,T]-Y[Blank,P]-#[Blank,M]

WSD	SB	15W	27	XXK	Z	TN	U	Y	#
Company	Product	Power	Voltage	Color Temp	Finish	Light Angle	Mounting Mean	Control	Control
	SB	15W(150W)	27	40K(4000K)	D(Dark Bronze)	T2(Type II)	S(slip fitter)	P	M
WISDOM	SHOEBOX		AC120-277V	50K(5000K)	W(White)	T3(Type III)	A(Arm)	Photocell	Motion sensor
			48	±500K	B(Black)	T4(Type IV)	T(Trunnion)		
			AC200-480V		S(Silvery)	T5(Type V)			

WISDOM OPTOELECTRONICS TECHNOLOGY CO.,LIMITED

Add: FLOOR 8,BUILDING B1 SUNSHINE INDUSTRIAL PARK HEZHOU

XIXIANG BAOAN DISTRICT SHENZHEN, GUANGDONG, CHINA, 518126.

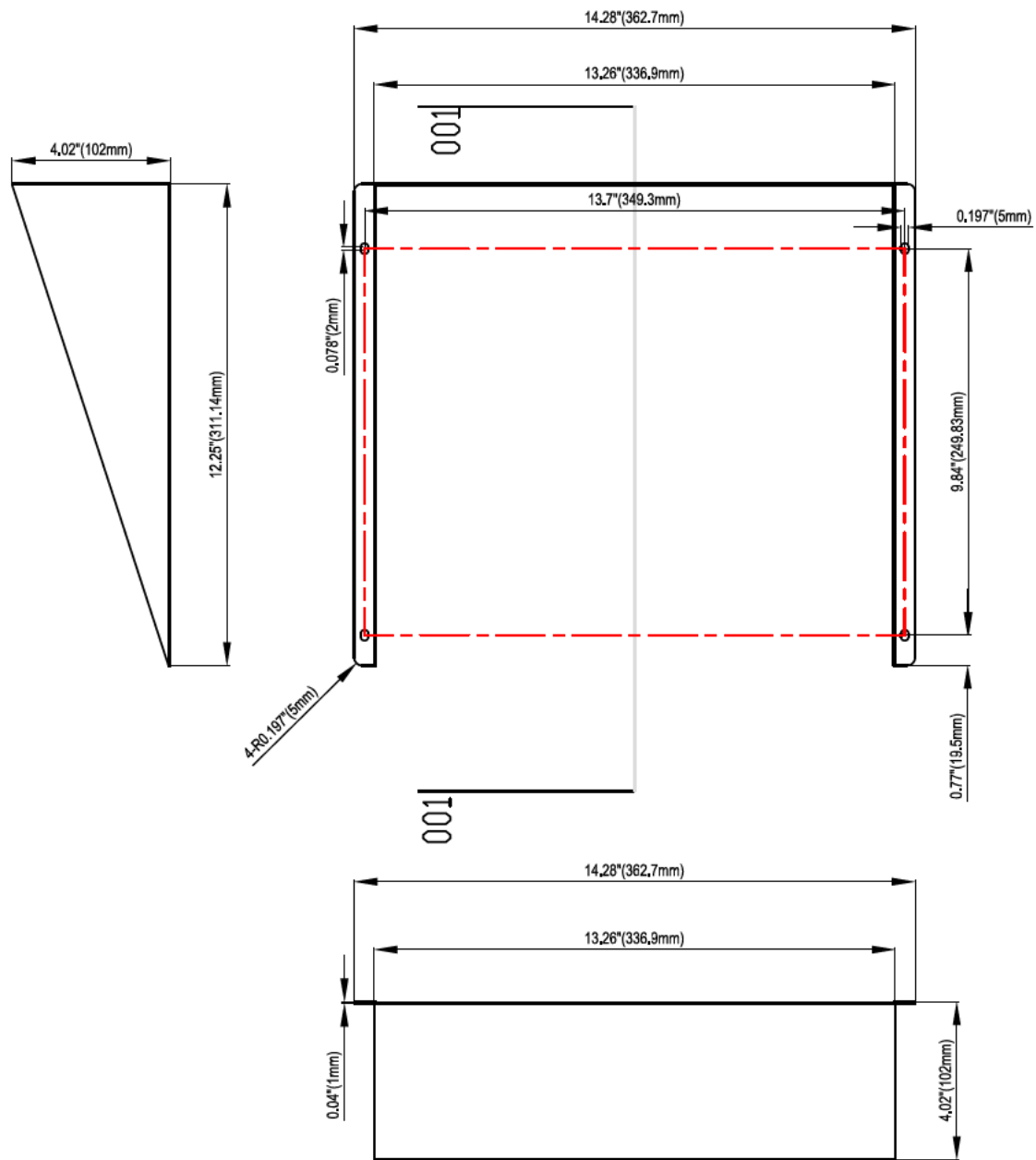
Tel: +86 755 2744 8585

+86 755 2744 8884

Fax: +86 755 2744 8089

Email: leo.zhu@wisdom-ssl.com

Website: www.wisdom-ssl.com



截面 001-001

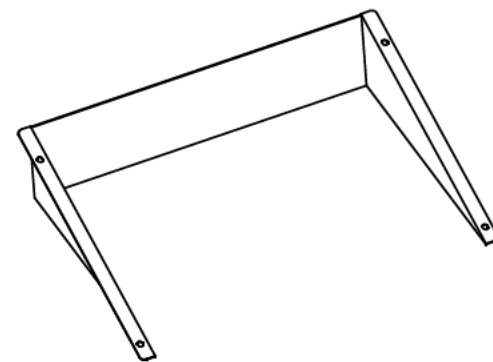
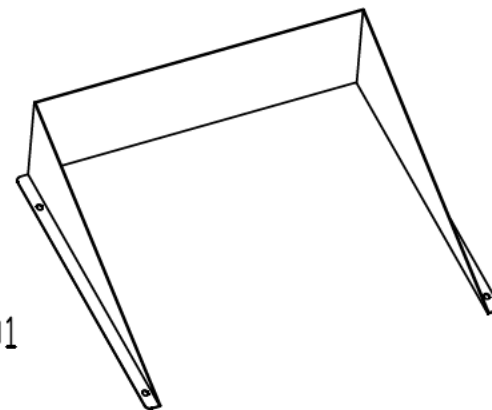
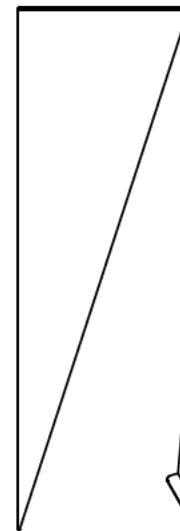


EXHIBIT #5

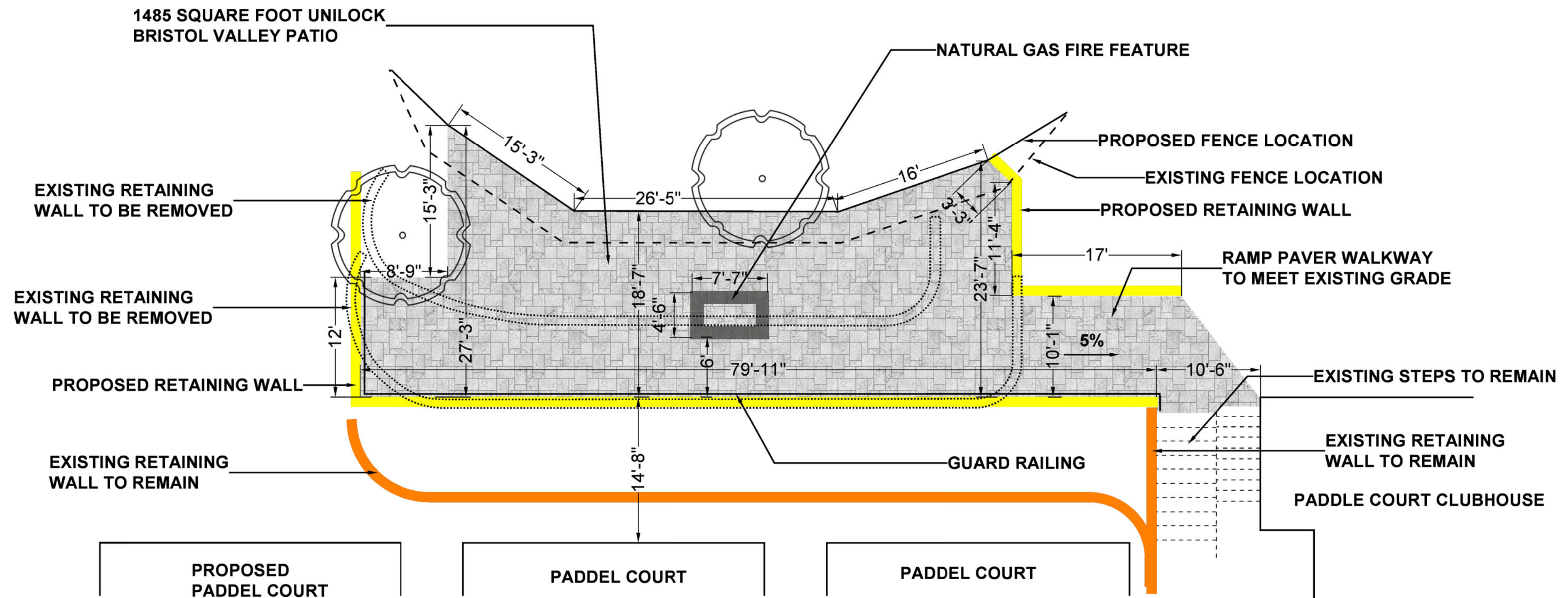
NEW VIEWING PATIO PLAN,
PAVER SPECS, HANDRAIL
INFORMATION & RELATED
LANDSCAPING PACKAGE

Project:
Salt Creek Club, Inc.
830 N. Madison St.
Hinsdale, IL 60521

Design by:
CMS Landscapes Inc

5719 Pershing Ave
Downers Grove, IL 60516
Phone: (630)319-1380
info@cmslandscapes.com

Scale: 1/8"=1'



RETAINING WALL PLAN

Westbury Tuscany Aluminum Guard Rail With 2-1/2" Power Post

(SCALE: 1 4" = 1'0")

OPEN FENCE/PEDESTRIAN GUARDRAIL SYSTEMS SECURED TO 6" DIAMETER CONCRETE PIER WITH 4- 3/8" GALVANIZED LAG SCREWS @ 8 FEET O.C. MAX.

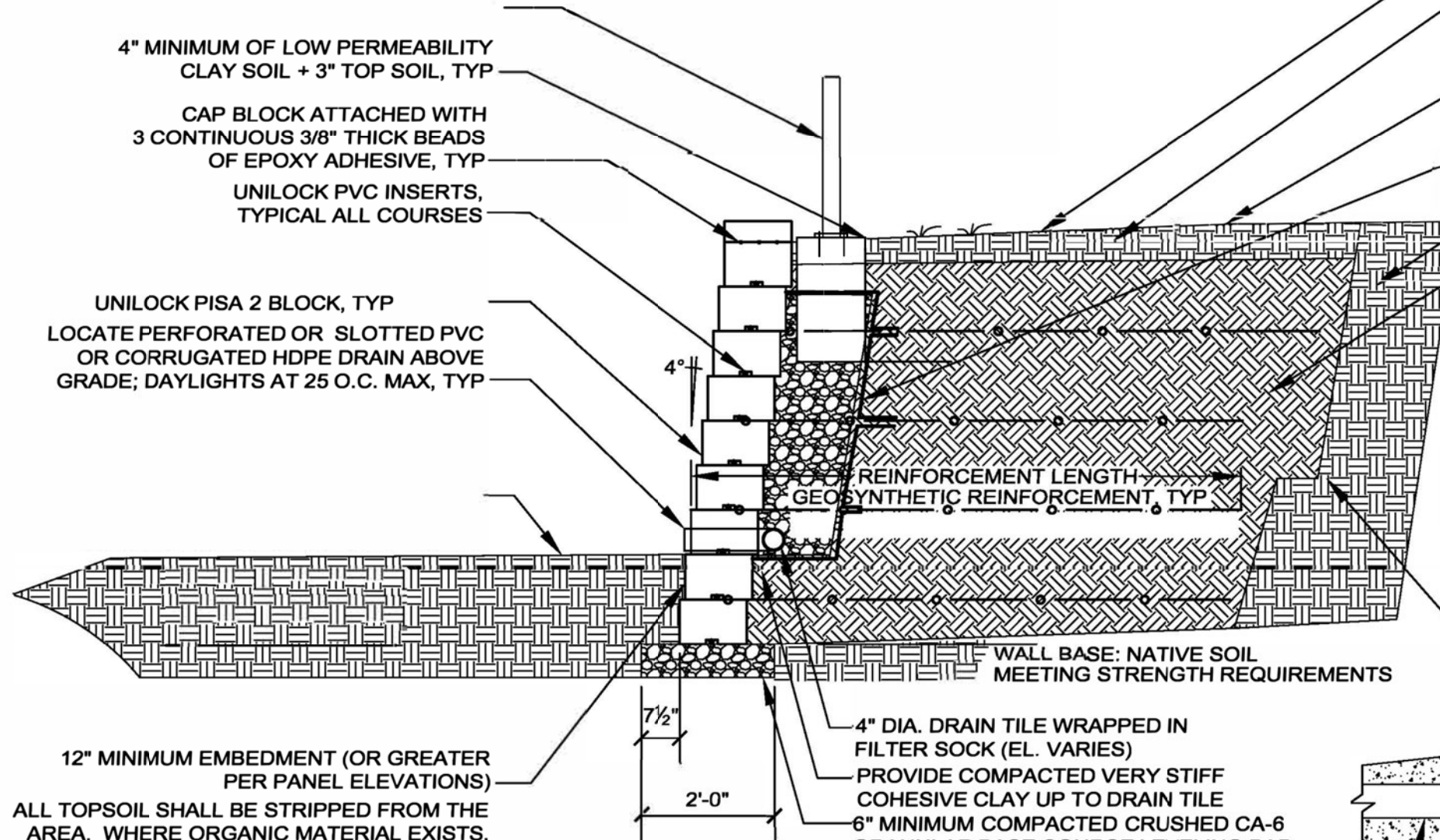
4" MINIMUM OF LOW PERMEABILITY CLAY SOIL + 3" TOP SOIL, TYP

CAP BLOCK ATTACHED WITH 3 CONTINUOUS 3/8" THICK BEADS OF EPOXY ADHESIVE, TYP

UNILOCK PVC INSERTS, TYPICAL ALL COURSES

UNILOCK PISA 2 BLOCK, TYP

LOCATE PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE DRAIN ABOVE GRADE; DAYLIGHTS AT 25 O.C. MAX, TYP



MAXIMUM UNIFORM LIVE LOAD = 50 PSF

ALL TOPSOIL AND UNSUITABLE FILL MUST BE STRIPPED AND REMOVED FROM THE AREA PRIOR TO WALL CONSTRUCTION

SLOPE SHALL BE NEARLY LEVEL

FILTER FABRIC AS SHOWN AROUND REINFORCED ZONE, TYP

COMPACT ALL DISTURBED SOIL IN EXCAVATED AREAS.

REINFORCED SOIL ZONE (AND AREA ABOVE) SHALL BE COMPACTED SUITABLE STIFF CLAY SOIL (EITHER IMPORTED OR FROM OTHER AREAS ON SITE) TESTED BY THE GEOTECHNICAL ENGINEER AND MEETING THE STRENGTHS SPECIFIED:
LONG TERM $\phi = 28^\circ$
LONG TERM COHESION = 50 PSF

STIFF CLAY, MINIMUM RETAINED SOIL STRENGTH:
LONG TERM $\phi = 28^\circ$
LONG TERM COHESION = 50 PSF

RETAINED SOIL ZONE

APPROXIMATE LIMITS OF EXCAVATION; BENCH CUT SLOPE PER OSHA

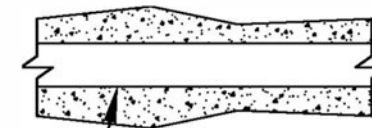
12" MINIMUM EMBEDMENT (OR GREATER PER PANEL ELEVATIONS)

ALL TOPSOIL SHALL BE STRIPPED FROM THE AREA. WHERE ORGANIC MATERIAL EXISTS, EXCAVATE DOWN TO SUITABLE SOIL FROM THE FRONT OF THE BASE COURSE TO THE BACK OF THE REINFORCED ZONE AND COMPACT BACK UP WITH CRUSHED GRANULAR I.D.O.T. SPEC CA-6.

THE PROJECT GEOTECHNICAL TESTING AGENCY MUST CONFIRM, EITHER BY SITE TESTING OR BORING AS NECESSARY, THAT THE FOUNDATION SOILS MEET THE DESIGN REQUIREMENTS. THE CONTRACTORS MUST COORDINATE.

ASSUMED FOUNDATION SOIL STRENGTH:
LONG TERM $\phi = 28^\circ$
LONG TERM COHESION = 100 PSF
 $Q_{allow} = 3,000$ PSF MINIMUM

FOUNDATION SOIL ZONE (SEE "EXCAVATION & FOUNDATION PREPARATION" NOTES)



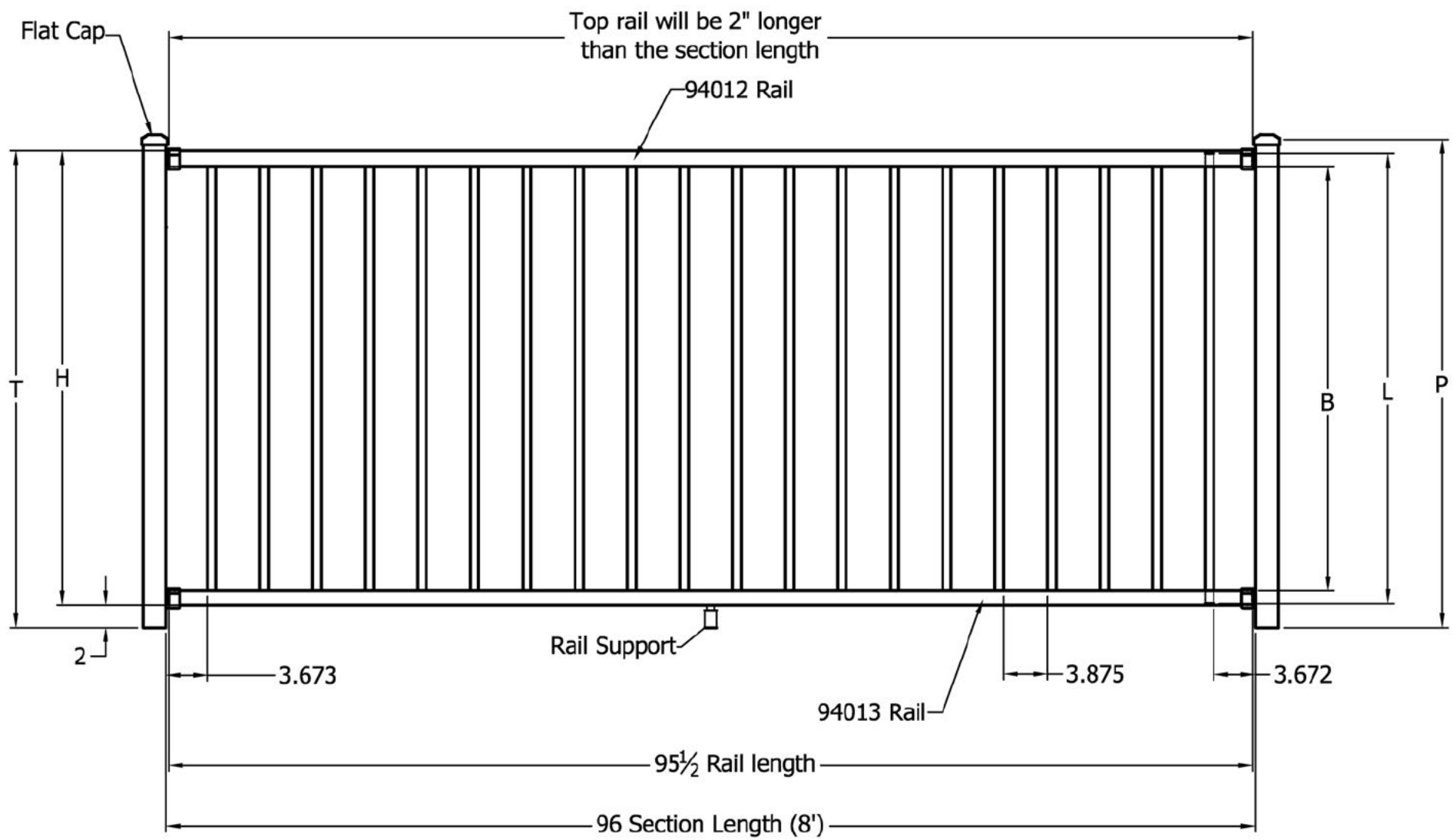
ALL REMOVED, NEW OR EXISTING UTILITIES SHALL BE BACKFILLED WITH COMPACTED CRUSHED GRANULAR CA-6 UP TO BASE COURSE ELEVATION. G.C. TO COORDINATE.

NOTE: DO NOT PLACE ANY REINFORCING BETWEEN THE BASE COURSE AND THE FIRST BLOCK.

UNILOCK OLDE PISA 2 BLOCK
GENERAL RETAINING WALL SECTION

(N.T.S.)

PART NUMBER:				
REV.	LOC.	REVISION		DATE
A		RELEASE PENDING APPROVAL		



Railing Call Size	T	H	B	L	P
42" Railing	42	40	37 3/8	39 1/2	43

FINISH:

DSI Digger Specialties, Inc. 3446 US 6 EAST Bremen, IN 46506

SHEET SIZE= C		DRAWN BY: fsb		PART NUMBER:	
SCALE = none		DATE DRAWN: 09-30-2014			
STANDARD TOLERANCE: .00 ±.01		LOC ACAD: 2:/Alum/Westbury/C10 Tuscan/Sections		STYLE: C10 Tuscan	
FRACTIONS: .000 ±.005 ±1"		LOC PDF:		FILE NAME: C-10 8 foot	
ANG. ±5° ±18°		DRAFT: 20140930-6F		SHEET OF A	

Tuscany Series

ALUMINUM RAILINGS



Beauty, distinction and lasting value are a few ways to describe Westbury® Aluminum Railing Products. The Tuscany Series adds a touch of class with classic 2-rail designs. These designs are accented with a stylish top rail and 3/4" square balusters along with a variety of satin, textured and multi-colored finishes and a lifetime limited warranty.



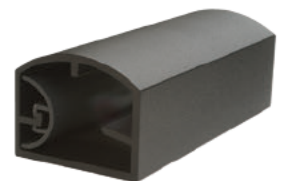
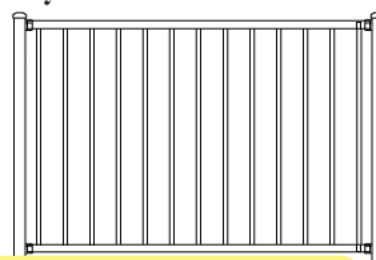
- Railing Heights: 42", 48"
- Railing Lengths: 4', 5', 6', 7', 8'
- Adjustable Leveling Posts
- Pre-Routed Top & Bottom Rails
- Adjustable Gate & Hardware
- Limited Lifetime Warranty
- Warrantied Performance for Coastal Applications*

Powder Coating Colors

AAMA 2604



Style C10



Rail Kit includes:
Pre-routed Top & Bottom Rails, Balusters & Mounts

Colors shown are for representation only. Please consult actual samples for accurate powder coating colors.

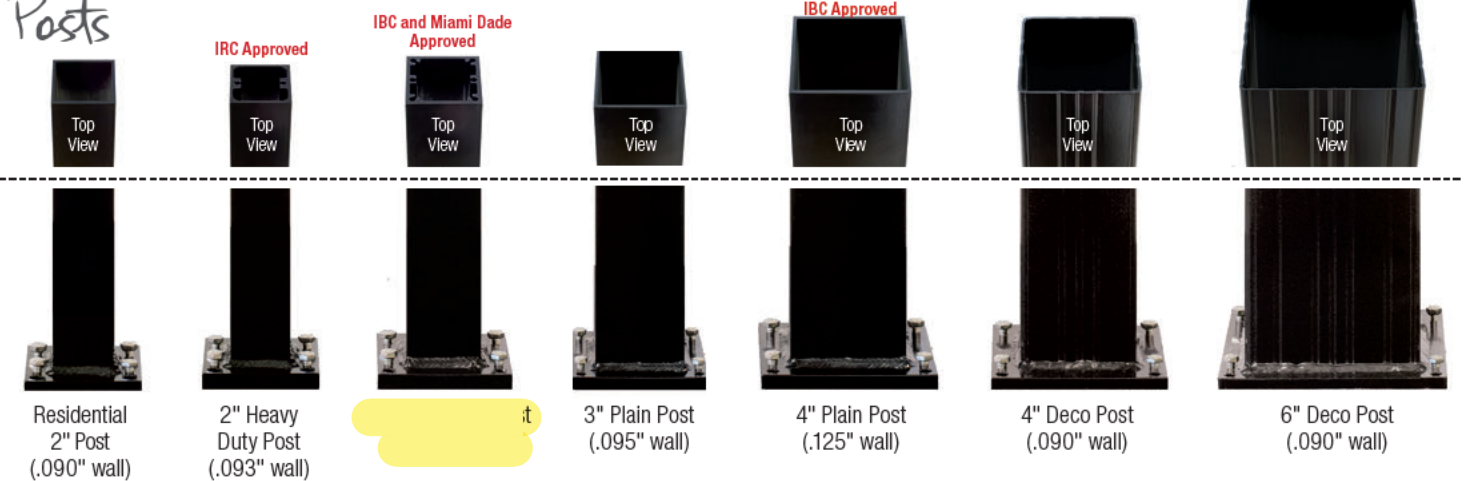


Options & Accessories



Westbury® Accessories add the finishing touch to your masterpiece. Available in 12 standard AAMA 2604 compliant powder coated colors.

Posts



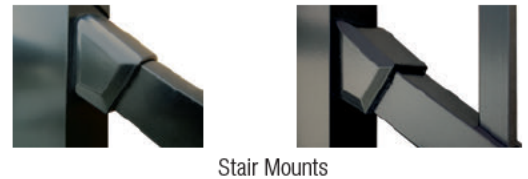
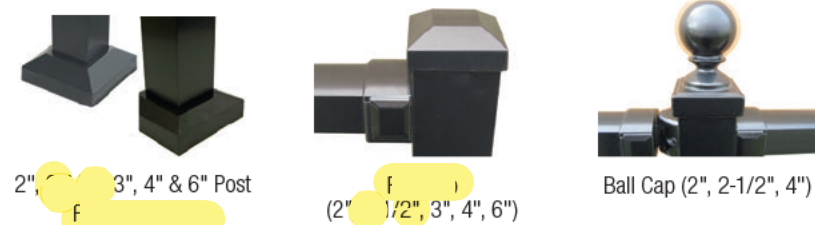
Crossovers



Mounts



Accessories

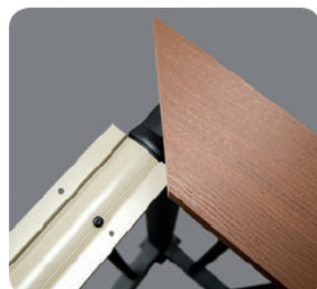


Magenta Star Lights



Drink Rail

Drink Rail adapts to all Westbury® C Series designs. Pre-drilled and ready to install, Drink Rail mounts sturdily and is ready for your wood or composite material to be attached (not included).



The Continuous Handrail (CHR) is compatible with all Westbury® Railing and is ADA Compliant. A variety of rail lengths and accessories complete this system. Available in 12 standard AAMA 2604 colors.





SIERRA FUSION

PRODUCT ATTRIBUTES

Visual Appearance	Gentle surface clefts and waved edges.
Finish	The subtle surface texture and understated edge detail of Bristol Valley* brings a new, refined elegance to projects where a more commonplace flagstone slab may have been used in the past.

PRODUCT SPECIFICATIONS



LARGE RECTANGLE

14 x 21 x 2 $\frac{3}{8}$ "
360 x 540 x 60 mm



SQUARE

14 x 14 x 2 $\frac{3}{8}$ "
360 x 360 x 60mm



SMALL RECTANGLE

7 x 14 x 2 $\frac{3}{8}$ "
180 x 360 x 60mm

3 UNIT RANDOM BUNDLE

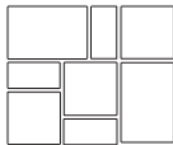
EDGE DETAILS



WAVED EDGE

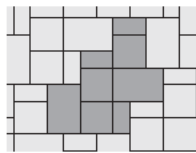
BUNDLE CONFIGURATION

BRISTOL VALLEY RANDOM BUNDLE



LAYING PATTERNS

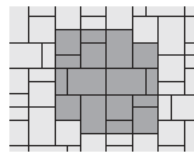
BRISTOL VALLEY RANDOM A



BRISTOL VALLEY RANDOM A

40% Large Rectangle, 40%
Square, 20% Small Rectangle

BRISTOL VALLEY RANDOM B



BRISTOL VALLEY RANDOM B

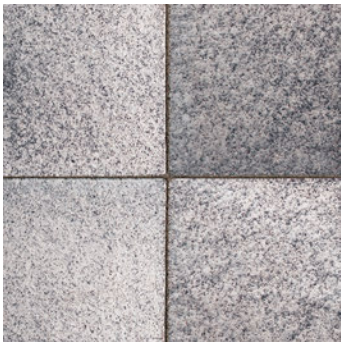
40% Large Rectangle, 40%
Square, 20% Small Rectangle

NOTES: Bristol Valley* is not intended for vehicular applications.

*Colour selection should be chosen from actual samples.

OLDE QUARRY™

REGION CHICAGO



FINISH
UMBRIANO MOTTLED FINISH

UNILOCK Exclusive Technologies

CLASSIC COAT



SANDSTONE



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"

SIERRA



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"

RIVER



COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"



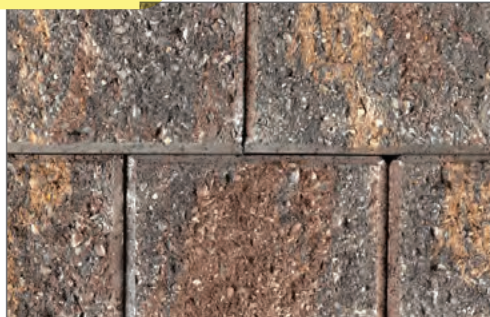
COPING TAPERED
305mm x 75mm x 305mm
12" x 3" x 12"



MAHOGANY



NATURAL



SIERRA

PRODUCT ATTRIBUTES

Visual Appearance	The built-in setback design of Pisa2™ automatically forms the correct slope, ensuring a highly stable retaining wall. Utilizing the product's tapered components, you can form curved walls and steps. Classic tongue and groove for easy install.
Finish	Split / Rock-faced.

PRODUCT SPECIFICATIONS



STANDARD
12 x 8 x 6"
300 x 200 x 150mm



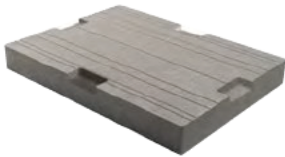
TAPERED
12 x 8 x 6"
300 x 200 x 150mm



CORNER
12 x 8 x 6"
300 x 200 x 150mm



24" COPING
12 x 24 x 3"
300 x 600 x 75mm
*See Steps, Treads & Coping
section page 153 for more details*



U-GRIP™ BASE PAD
14 x 19 x 2"
355 x 482 x 55mm



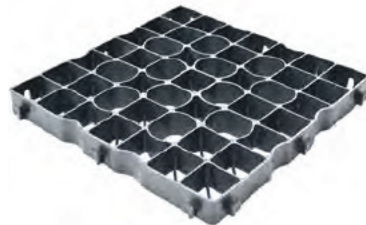
- Creates a revolutionary Reinforced Soil Structure (RSS) with high tensile and compressive strength to maximize the performance of pavement structures.
- Extremely permeable, long lasting, durable and environmentally friendly. Lightweight and easy to handle.
- Simple and quick installation.
- Allows for easy repairs / adjustments after installation.

See page 178-179 for more details.

*Colour selection should be chosen from actual samples.



DRIVECEL30 LIGHT DUTY
20 x 20 x 1.2"
500 x 500 x 30mm



DRIVECEL50 HEAVY DUTY
20 x 20 x 2"
500 x 500 x 50mm

TECHNICAL INFORMATION

ASTM C 1372 Standard Specifications for Dry-Cast Segmental Retaining Wall Units

Conforms to:

- C140 for Absorption and Compressive Strength > 3000 PSI
- C1262 for Freeze Thaw Durability <1% mass loss
- C1372 Overall dimensional variations permissible for width, height and length +/-3 mm

Unilock standards exceed 5,000 PSI for Pisa2® products with:

- 4% absorption avg.
- 5% absorption max.
- Dimensional Accuracy +/-3 mm

Test results available upon request

Meets the U.S. Architectural & Transportation Barrier Compliance Board Slip-Resistance Surfaces Advisory Guidelines

PRODUCT DATA

	Face Feet Per		Linear Feet Per		Units Per		Per Bundle		Lbs Per	
Stones & Bundling	Bundle	Unit	Bundle	Unit	Bundle	Face Feet	Layers	Sections	Unit	Bundle
Gormley Manufacturing: U-Grip - Gormley Manufacturing										
Standard - Pre Split - Single Piece	24.00	0.33	47.90	0.67	72	3.00	-	4	48	3,456
Tapered - Double Unit	20.00	0.67	40.00	1.33	30	1.50	-	2	93	2,775
Corner Unit - Double Unit	20.00	1.67	-	-	12	0.60	-	2	96	1,152
24" Coping Unit	16.00	1.00	64.00	4.00	16	1.00	9	-	145	2,320
U-Grip Base Pad	-	-	85.39	1.58	54	-	9	-	46	2,500

Notes: Sold in full bundles or sections only. Maximum height - 36" (under optimum conditions) but can be engineered for walls that are required to be higher. Higher walls can be achieved using geogrid reinforcement. Tapered units will allow for a minimum 5ft. outside radius. Automatic setback is ¾" per row. Engineering services are available. For more information, samples or custom options, please contact your Unilock Territory Manager or call 1-800-UNILOCK.

APPLICATIONS



Garden Walls & Seat Walls

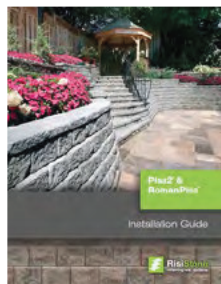


Retaining Walls



Steps

For coping options, we recommend using Natural Stone, Universal Coping or Pisa2™ Coping.



Refer to the Pisa2 Installation Guide for more information.

<https://www.risistone.com/installation-guides/>

RECOMMENDED ADHESIVE



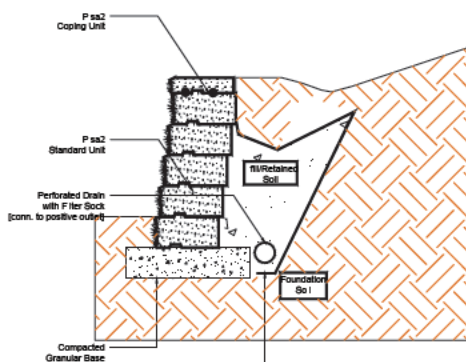
Gator Block Bond XP

- ✓ VOC Compliant
- ✓ Low odour- safe indoors or out
- ✓ Fast curing- provides permanent overnight bond
- ✓ Suitable for use in hot and cold environments
- ✓ Non-shrinking- does not crack
- ✓ Strong and versatile

Coverage: For 1/4" Bead (approx)

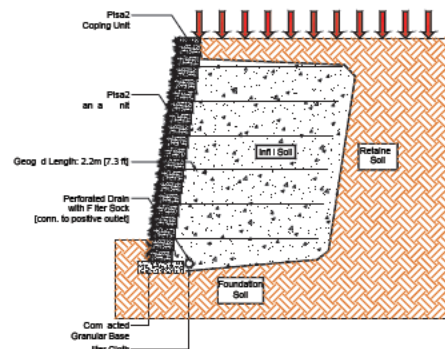
10 oz		28 oz	
m	ft.	m	ft.
~9	~31	~26	~86

GRAVITY WALL SECTION



Cross sections are examples, and must not be used for construction.

GEOGRID WALL SECTION



Cross sections are examples, and must not be used for construction.

EXHIBIT #6

EXISTING PHOTOS



Existing West elevation/future paddle courts 5 & 6



Existing South elevation/ future paddle viewing paver patio



Existing North elevation/future paddle viewing paver patio



Existing North elevation/future paddle courts 5 & 6



Existing East elevation/future paddle courts 5 & 6



Existing South elevation/future paddle courts 5 & 6

EXHIBIT #7

LETTERS TO NEIGHBORS &
CORRESPONDENCE LOG

May 4, 2022

Neighbors of Salt Creek Club,

This year, Salt Creek Club will be starting its 62nd summer season as a swim and racquet club, 30 of which I have been lucky enough to be a part of. In my time here, the Club has never been in better shape as it is now, both from financial and aesthetic perspectives. We currently have 350 regular family memberships and are trying to keep up with the changing desire for club activities.

Salt Creek Club has started to see a large increase in paddle tennis players with our newer members, and a new interest in pickleball with our older members. Current Club facilities are not allowing us to accommodate our membership as much as we would like with the limited paddle and pickle courts. In effort to rectify this situation, we removed one of our tennis courts in the far northwest corner of the property and hope to install two more paddle courts and two new pickleball courts without expanding the footprint.

Attached is the proposed rendering and site plan of this project. We would like to invite you over to see the site and answer any questions or concerns you might have.

Please feel free to contact me by email at office@saltcreekclub.com or by cell at 630-674-7849; or if you would like to contact our Board of Directors Buildings and Grounds Chairperson, Bob Crane, he can be reached at rkcrane243@sbcglobal.net or 630-417-7135.

All the best,

Steven J. Wolsfeld

General Manager

Salt Creek Club, Inc.

830 N. Madison St.

Hinsdale, IL 60521

630.323.7890

saltcreekclub.com



Proposed Project Rendering

Proposed Site Plan



Telephone Conversation Tracker - SCC NEW PADDLE COURTS

[illegible]

From: khaldoon shakir [REDACTED]
Date: June 2, 2022 at 9:29:29 PM CDT
To: "R. Crane" <rkcrane243@sbcglobal.net>
Subject: Re: SCC new paddle court site review

Mr. Crane,

I will be out of town June 13-15 and our neighbors will be out of town the following week. We would appreciate it if we can meet June 28 or June 30 at 7:00 pm.

Sincerely,
Kal Shakir

On Wednesday, June 1, 2022, 01:48:12 PM CDT, R. Crane <rkcrane243@sbcglobal.net> wrote:

Mr Shakir,

Something has come up and one of the members that needs to be in attendance is now unable to meet on June 16th. I was informed that they now have to go out of town on a urgent matter.

The dates & times that are available to meet at Salt Creek Club is June 13-15 & June 21-23 anytime from 5:30 to 7:00 pm.

Please let me know which dates & time works for you.

Regards ~~~
Bob Crane

On May 30, 2022, at 9:33 PM, khaldoon shakir [REDACTED] wrote:

Dear Mr. Crane,

June 16th at 7:30 pm is a good day and time to meet. We wish we can meet with you and Mr. Steven Wolsfeld.

Sincerely,
Kal Shaki

On Friday, May 27, 2022, 11:06:24 AM CDT, R. Crane <rkcrane243@sbcglobal.net> wrote:

Mr. Shakir,

Good morning.

As we discussed on the phone about your rescheduling of meeting to discuss the new paddle courts, we are unable to meet on the suggested June 18th.

We could meet during the early evening, during the week day either June 13th to 16th or June 20th to 22nd. It would take no more than 15-30 minutes to show you the location of the new courts that will be built on the existing sport court.

Below is the rendering that was previously sent to you & the neighbors.

Please let me know which day & time works for you.

Regards,
Bob Crane

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**PLAN COMMISSION
MEMORANDUM**

DATE: June 9, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-15-2023 – Sign Permit Review – 100 S. Garfield Avenue – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles

FOR: June 14, 2023 Plan Commission Meeting

SUMMARY

The Village of Hinsdale received a sign permit application from the Community Consolidated School District 181 requesting approval to install one (1) new ground sign south of the driveway for the upper parking deck off of Garfield Avenue, and to allow for six (6) previously installed wall signs on the Hinsdale Middle School building located at 100 S. Garfield Avenue. Two (2) flag poles will also be located on site. The existing school building is located in the IB Institutional Buildings District.

The application was originally reviewed at the May 10, 2023 Plan Commission meeting. Based on the feedback provided by the Plan Commission, the applicant submitted revised sign permit plans for review that include the following changes:

- Sign No. 5 - Relocating Sign No. 5, the “Hinsdale Middle School” wall sign, from the east elevation facing Garfield Avenue to the north elevation facing the Village parking lot
- Sign No. 6 - Centering and lowering the height of Sign No. 6, the Blue Ribbon Emblem wall sign on the east elevation on Garfield Avenue, due to the removal of Sign No. 5, the “Hinsdale Middle School” wall sign. The mounting height has been reduced from forty-two feet eight inches (42’ 8”) to thirty-nine (39) feet measured from adjacent grade. The applicant is also proposing to reduce the width of the light bar that provides external up-lighting from twenty-four (24) feet to eight (8) feet wide.
- Flag Pole Lighting - Ground mounted lights were incorrectly shown to illuminate the flag poles on the prior plans. The flag poles have built-in internal lighting at the top of the poles. Ground-mounted exterior lights will only be used to illuminate the proposed ground sign.
- Clarification on Lighting and Other Concerns - The applicant has provided clarification on other items discussed at the meeting in the attached cover letter, including compliance with lighting requirements in the Zoning Code and when lights are to be turned off, interior building lighting, and flag pole noise.

The proposed ground sign meets all Zoning Code requirements. The wall signs and flags will require approval of the following variations by the Zoning Board of Appeals and Village Board:

1. Increase the number of wall signs permitted per lot from two (2) to six (6) – Section 9-106(J)(3)(b)
2. Increase the maximum gross surface area of wall signs permitted from 100 square feet to 114.7 square feet – Section 9-106(J)(4)(b)

MEMORANDUM

3. Increase the maximum gross surface area of an official emblem when displayed as a wall sign from 3 square feet to 18.8 square feet – Section 9-106(J)(4)(e)
4. Increase the maximum height of the wall sign located on the east elevation facing Garfield Avenue from twenty (20) feet or no higher than the bottom of any second floor window, whichever is less, to thirty-nine (39) feet – Section 9-106(J)(5)(b) - **NOTE:** The original plans presented on May 10, 2023 proposed a mounting height of forty-two feet eight inches (42' 8")
5. Increase the size of two (2) flags from twenty-four (24) square feet to ninety-six (96) square feet – Section 9-106(F)(7)

The applicant will submit a separate variation packet to the Village for review by the Zoning Board of Appeals and Village Board following review and approval of the sign permit by the Plan Commission. If approved by the Plan Commission, it should be stated in the motion that any signage involving a variation is subject to approval by the Zoning Board of Appeals and Village Board.

REQUEST AND ANALYSIS

The applicant is requesting to install one (1) new ground sign on Garfield Avenue and allow for six (6) previously installed wall signs, as described below and included in the summary table. Two (2) flag poles will also be located on site.

SUMMARY OF SIGNAGE			
Sign No.	Sign Type	Location	Sign Face Area
1	Wall Sign	South Elevation - Third Street	27.9 sq.ft.
2	Wall Sign	West Elevation - Washington Street	9.5 sq.ft.
3	Wall Sign	East Elevation - Parking Deck	9.5 sq.ft.
4	Wall Sign	North Elevation - Parking Deck	27.9 sq.ft.
5	Wall Sign	North Elevation – Parking Lot *REVISED* Relocating Sign from the East Elevation - Garfield Avenue to the North Elevation - Parking Lot	21 sq.ft
6	Wall Sign / Emblem	East Elevation - Garfield Avenue	18.8 sq.ft
7	Ground Sign	East Side of Building - Garfield Avenue	25.7 sq.ft.
Flagpole 1	Flag	South Side of Building - Washington Street	Pole Height: 44'-6" Flag Size: 96 sq.ft.
Flagpole 2	Flag	East Side of Building - Garfield Avenue	Pole Height: 44'-6" Flag Size: 96 sq.ft.

Wall Signs - Six (6) wall signs were previously installed on the north, south, east, and west elevations of the building. Per Section 9-106(J), in the IB District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet. The applicant must obtain approval of variations to allow for an increase to the number of wall signs permitted per lot from two (2) to six (6) as well as to increase the maximum gross surface area of wall signs permitted from 100 square feet to 114.7 square feet. The existing wall signs are briefly described below.

MEMORANDUM

- Sign No. 1 – South Elevation (Third Street) – Individual aluminum pin-mounted letters for “Hinsdale Middle School” are located over the center entrance doors on the south side of the building off of Third Street. The sign measures 12.4’ long and 2.25’ tall, with an overall sign face area of 27.9 square feet.
- Sign No. 2 – West Elevation (Washington Street) – Individual aluminum pin-mounted letters for “Gymnasium” are located over one of the entrance doors off of Washington Street. The sign measures 9.5’ long and 1’ tall, with an overall sign face area of 9.5 square feet.
- Sign No. 3 – East Elevation (Parking Deck) – This wall sign is the same size and uses the same design as Sign No. 2. Individual aluminum pin-mounted letters for “Gymnasium” are located over one of the entrance doors on the east side of the building off of the upper parking deck. The sign measures 9.5’ long and 1’ tall, with an overall sign face area of 9.5 square feet.
- Sign No. 4 – North Elevation (Parking Deck) – This wall sign is the same size and uses the same design as Sign No. 1. Individual aluminum pin-mounted letters for “Hinsdale Middle School” are located over one of the entrance doors of the north elevation facing the upper parking deck. The sign measures 12.4’ long and 2.25’ tall, with an overall sign face area of 27.9 square feet.
- Sign No. 5 – North Elevation (Parking Lot) – Based on feedback at the May 10, 2023 Plan Commission meeting, the applicant has revised the plans and is proposing to relocate the existing “Hinsdale Middle School” wall sign currently located on the east elevation facing Garfield Avenue to the north elevation facing the parking lot near the driveway off of Washington Street. The sign consists of individual aluminum pin-mounted that measure 21’ long and 1’ tall, with an overall sign face area of 21 square feet. Per the revised plans, the sign will be mounted 18’-2” above adjacent grade, which will be code-complaint. The wall sign will not be illuminated.
- Sign No. 6 – East Elevation (Garfield Avenue) – Changes are proposed to Sign No. 6 as a result of the removal and relocation of Sign No. 5, the “Hinsdale Middle School” wall sign. The applicant is proposing to center and lower the height of the blue ribbon emblem wall sign on the on the third floor of the brick wall off of Garfield Street. The mounting height has been reduced from forty-two feet eight inches (42’ 8”) to thirty-nine (39) feet. The applicant is also proposing to reduce the width of the lighting bar from twenty-four (24) feet to eight (8) feet.

The official school emblem measures 4.3’ tall and wide, with an overall sign face area of 18.8 square feet. The applicant will be required to obtain approval of variation to allow for an increase to the size of the official emblem. Official flags and emblems, when displayed as a wall sign, shall not exceed three (3) square feet in area in the IB District. The proposed sign measures 18.8 square feet.

Approval of a variation is also required to increase to the maximum mounting height of the signs. Wall signs shall have a maximum height of 20 feet, measured from the top of sign to adjacent grade, or no higher than the bottom of any second floor window, whichever is less. The proposed signs are mounted on the third floor and the measurement from the top of the official emblem to the adjacent grade after the sign is lowered would be 39 feet.

The sign will be externally illuminated by an eight (8) foot wide LED light strip mounted on the brick wall below the sign. Per the applicant, the light strip is dimmable and will meet the Village’s lighting requirements.

MEMORANDUM

Per Section 9-106, in no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed fifty (50) foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. A rendering has been provided to show what the wall sign will look like illuminated at night.

Ground Sign - Sign No. 7 - The applicant is proposing to install a double-sided, code-compliant ground sign on the east side of the building, south of the driveway to the upper level of the parking deck on Garfield Avenue. As proposed, the ground sign meets all Zoning Code requirements.

The proposed ground sign will be constructed of brick to match the existing building, cast tone coping / top trim, and a cast stone panel sign face area with black aluminum stud-mounted letters. In the IB District, ground signs shall not exceed 8 feet in height and may have a maximum gross surface area of a 50 square feet per sign face with no more than 2 faces per sign. The ground sign will measure 5'-10" tall, 10'-17" wide, and 2'-3" deep. The proposed sign face, excluding the structural components of the ground sign, measures 9'-8" wide and 2'-8" tall, with a sign face area of 25.7 square feet.

The ground sign meets setback requirements and will be located 10' from the east property line along Garfield Avenue. The applicant has also provided a landscape plan showing a mulched area around the ground sign that will be planted with perennials (Variegated Lilyturf and Stonecrop Red Carpet).

The sign will be externally illuminated by four (4) ground lights located in the mulched landscape bed. Dimmers will be installed on these light fixtures to meet code requirements. The applicant will be required to meet the Village's lighting standards. The illumination of any sign, resulting from any internal or external artificial light source, may not exceed 50 foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of 10:00 P.M. and 7:00 A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.

Flag Poles & Flags - Two (2) flag poles with the American Flag will be located on site. One (1) flag pole is currently located near the south entrance door off of Third Street. One (1) flag pole will be installed directly to the west of the proposed ground sign off of Garfield Avenue.

Since the May 10, 2023 Plan Commission meeting, the applicant has corrected an error included on the original plans and has clarified information on the proposed flag pole lighting. The flags will not be illuminated by ground-mounted light fixtures. Instead, the flag have built in internal lighting for the flag. Ground mounted exterior lights will only be used to illuminate the proposed ground sign.

MEMORANDUM

In the IB District, per Section 7-310, flag poles may extend to a height of ten feet (10') above the highest point of the roof of the principal structure. The proposed flag poles measure 44'-6" in height, which meets code requirements. The applicant has indicated that the building is 50'-4" tall on the south elevation.

Official flags and emblems displayed on flagpoles are considered permit exempt provided they shall not exceed 24 square feet in area. Given the height of the flag poles, the appropriate size of the flags is 12' wide and 8' tall, with an overall area of 96 square feet. Separate approval of a variation for the flags is required.

MEETING HISTORY

Plan Commission Meeting - May 10, 2023: Kerry Leonard and Mike Duggan representing District 181 were present at the meeting, provided an overview, and answered questions from Commissioners. Primary topics discussed at the meeting are summarized below.

- Mr. Oles, a resident who lives across the street from the Middle School on Third Street, attended the meeting and noted concerns over how the interior building lights do not turn off at night and how bright they are, the noise generated by the existing flag pole on Third Street, and how the sign light timers on Garfield need to be checked because they may not be turning off at 10PM. The applicant noted that they have custodians in the building until about 11:30PM, so there is a safety issue with turning off lights.
- There was a discussion over the flag poles and associated lighting. It was noted at the meeting that the flag pole lighting was incorrectly shown on submitted plans. There will be no ground mounted lights installed to illuminate the flag pole on Garfield. Instead, both flag poles will have a built-in internal light at the top of the pole that illuminates downward onto the flag. Flags are permit exempt, but the applicant shared this information with the Commission as they are planning on pursuing a variation to increase the size of the flag to be proportional with the height of the pole.
- There was a brief discussion on the proposed ground sign and the brick material to be used to match the building. The applicant confirmed they are going to color match the brick as closely as possible.
- There was a discussion on the prior installation of the wall signs and how they have not officially been approved. Some Commissioners noted that the ground sign, flag pole, emblem, wall sign, and lighting on the east elevation off Garfield looks too busy. One Commissioner noted that it did not appear that a variation had been previously approved for any other project to increase the mounting height of wall signage. Commissioners asked the applicant to consider removing the light bar, removing the "Hinsdale Middle School" wall sign, and relocating and centering the emblem or moving it lower. Commissioners also recommended that the applicant look into alternative locations for the flag on Garfield Avenue, if they can further mitigate noises from the flag / flag pole, investigate the interior building lights and shut off times, and revise the signage plans on Garfield Avenue.
- The applicant requested that the project be continued to the next Plan Commission meeting on June 14, 2023 to provide them with additional time to consider the feedback provided at the meeting.
- The Plan Commission, by a vote of eight (8) ayes and zero (0) nays, with one (1) absent, recommended to continue this project to the June 14, 2023 Plan Commission meeting.



MEMORANDUM

PROCESS

Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

ATTACHMENTS

1. Zoning Map and Project Location
2. Birds Eye View
3. Street View
4. Original Sign Permit Application and Exhibits – May 10, 2023 Plan Commission Meeting
5. Revised Sign Permit Application and Exhibits – June 14, 2023 Plan Commission Meeting

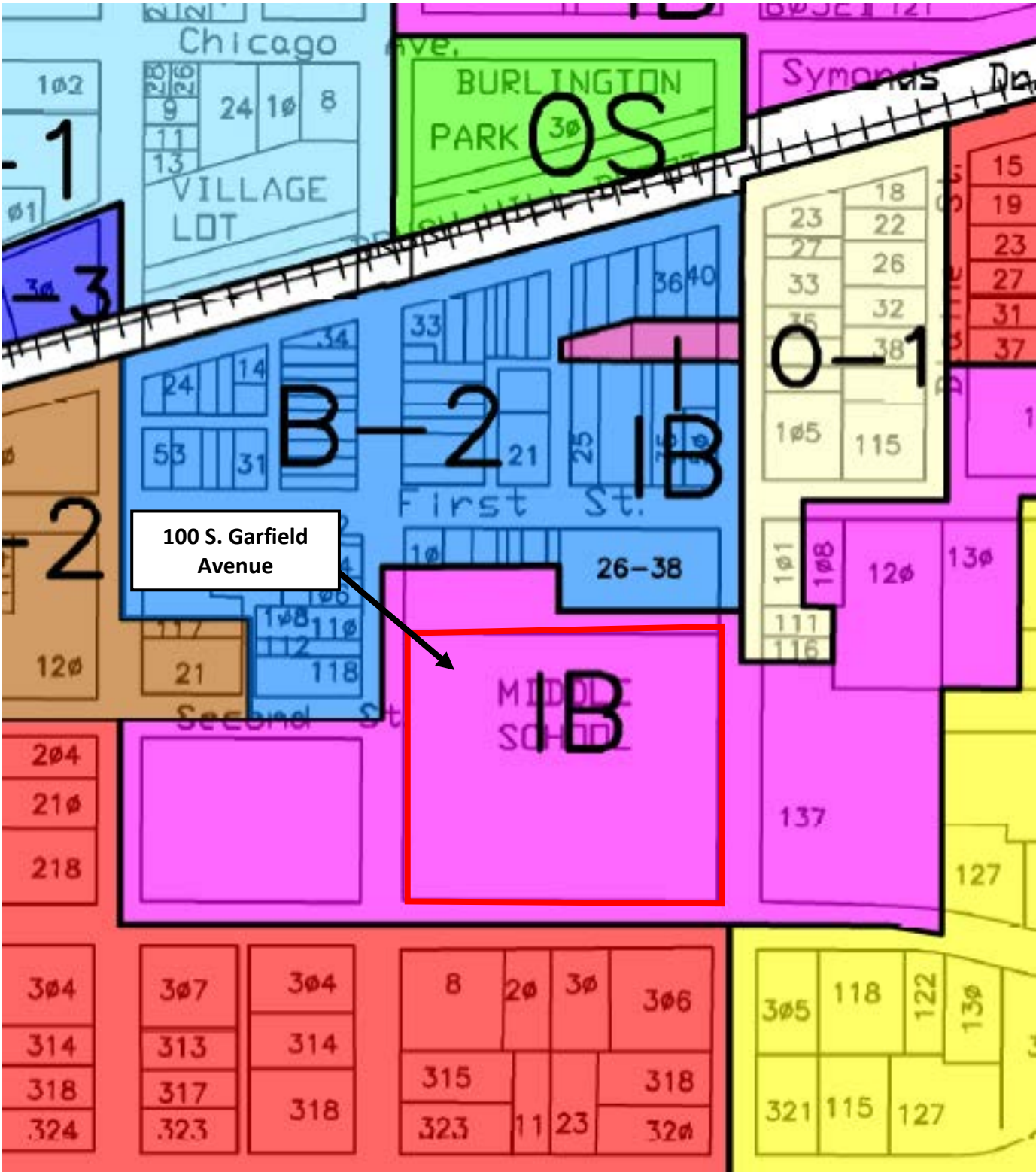
VILLAGE OF HINSDALE 2021

100 S. Garfield Avenue

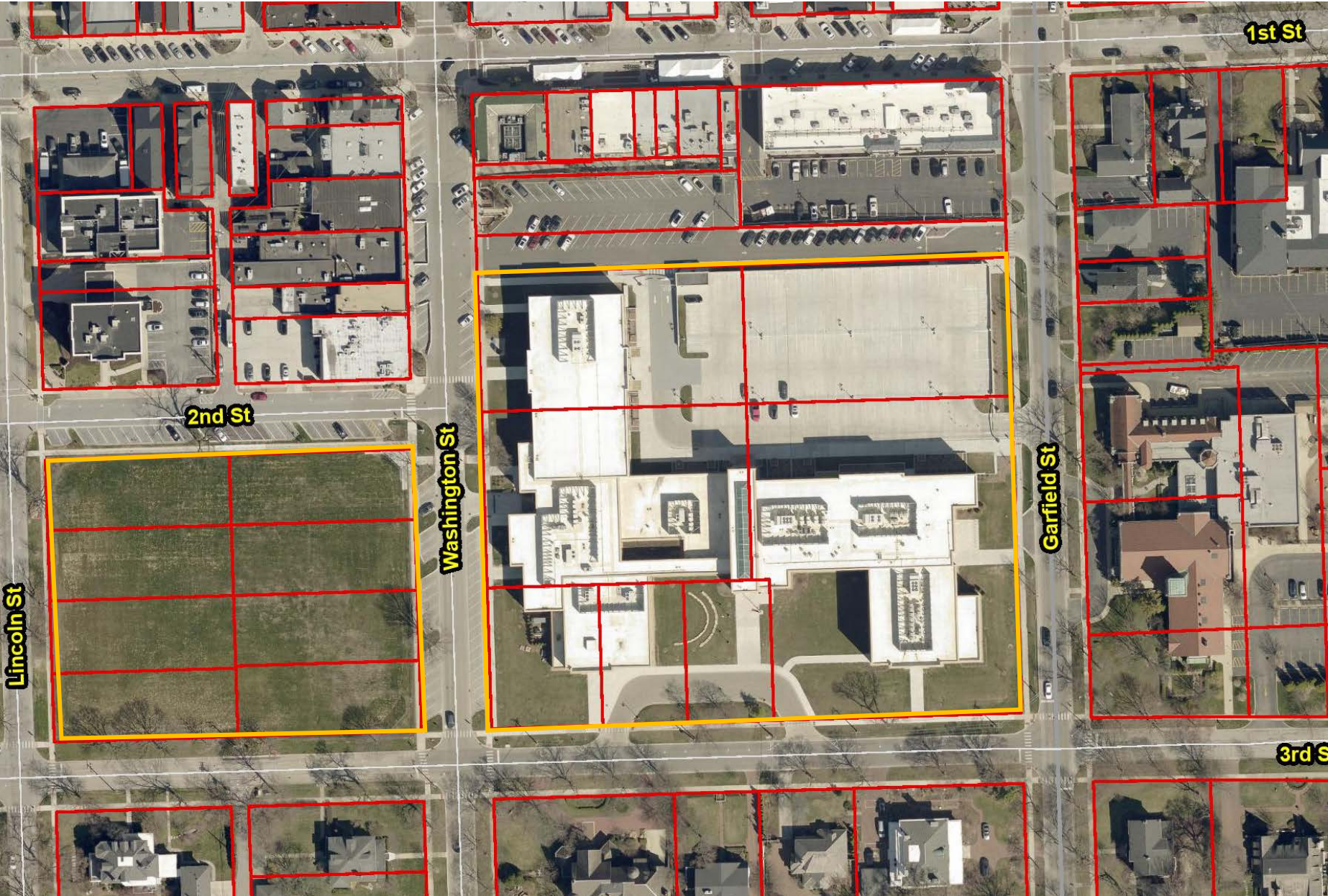
Zoning District Boundaries

- R-1 Single Family Residential District
- R-2 Single Family Residential District
- R-3 Single Family Residential District
- R-4 Single Family Residential District
- R-5 Single Family Residential District
- R-6 Single Family Residential District
- IB Institutional Business District
- OS Open Space District
- B-1 Community Business District
- B-2 General Business District
- B-3 General Business District
- O-1 Office District
- O-2 Office District
- O-3 Office District
- HS Health Services District
- B-1 Design Review Overlay District

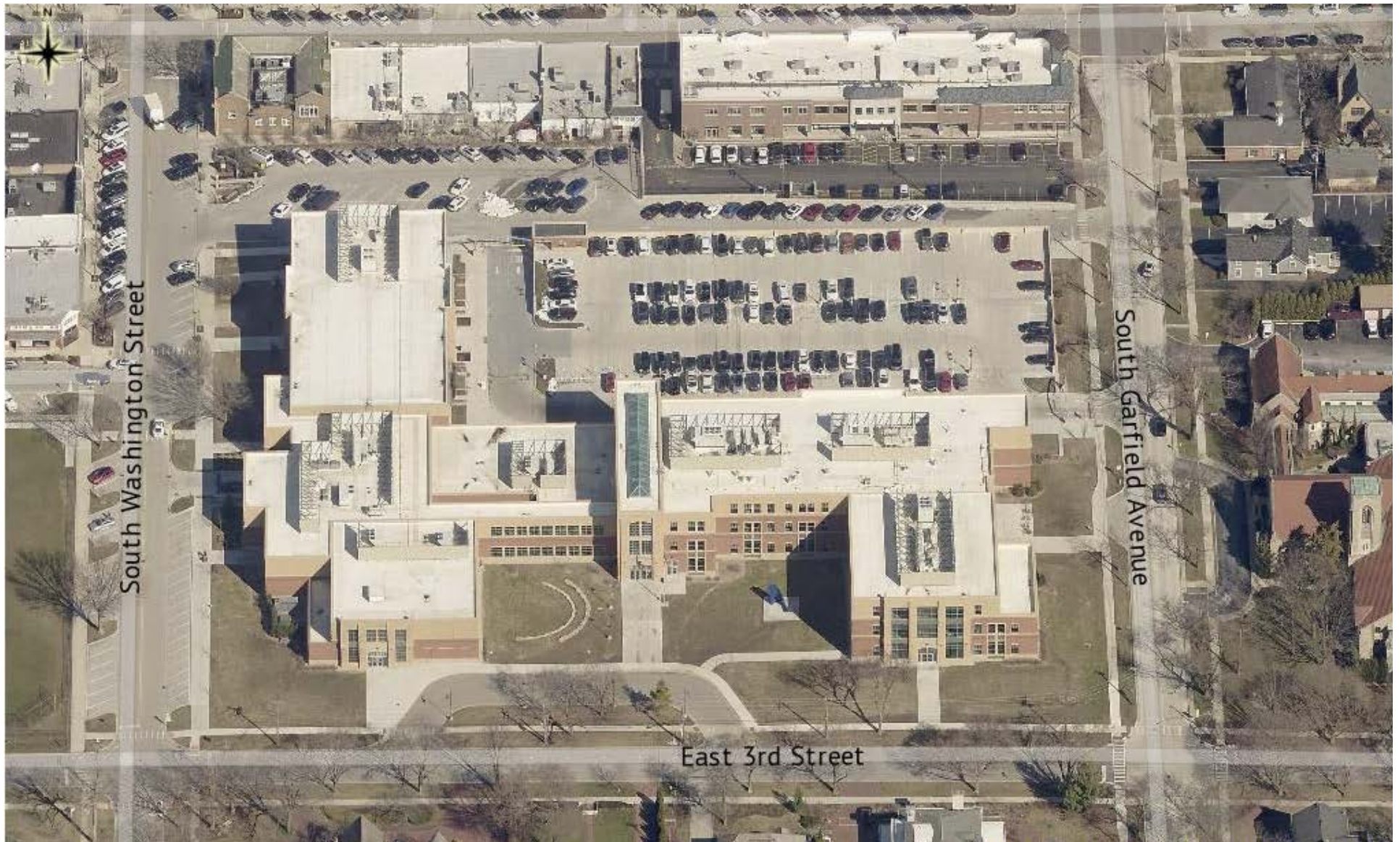
Village of Hinsdale Zoning Map and Project Location



Aerial View – 100 S. Garfield Avenue



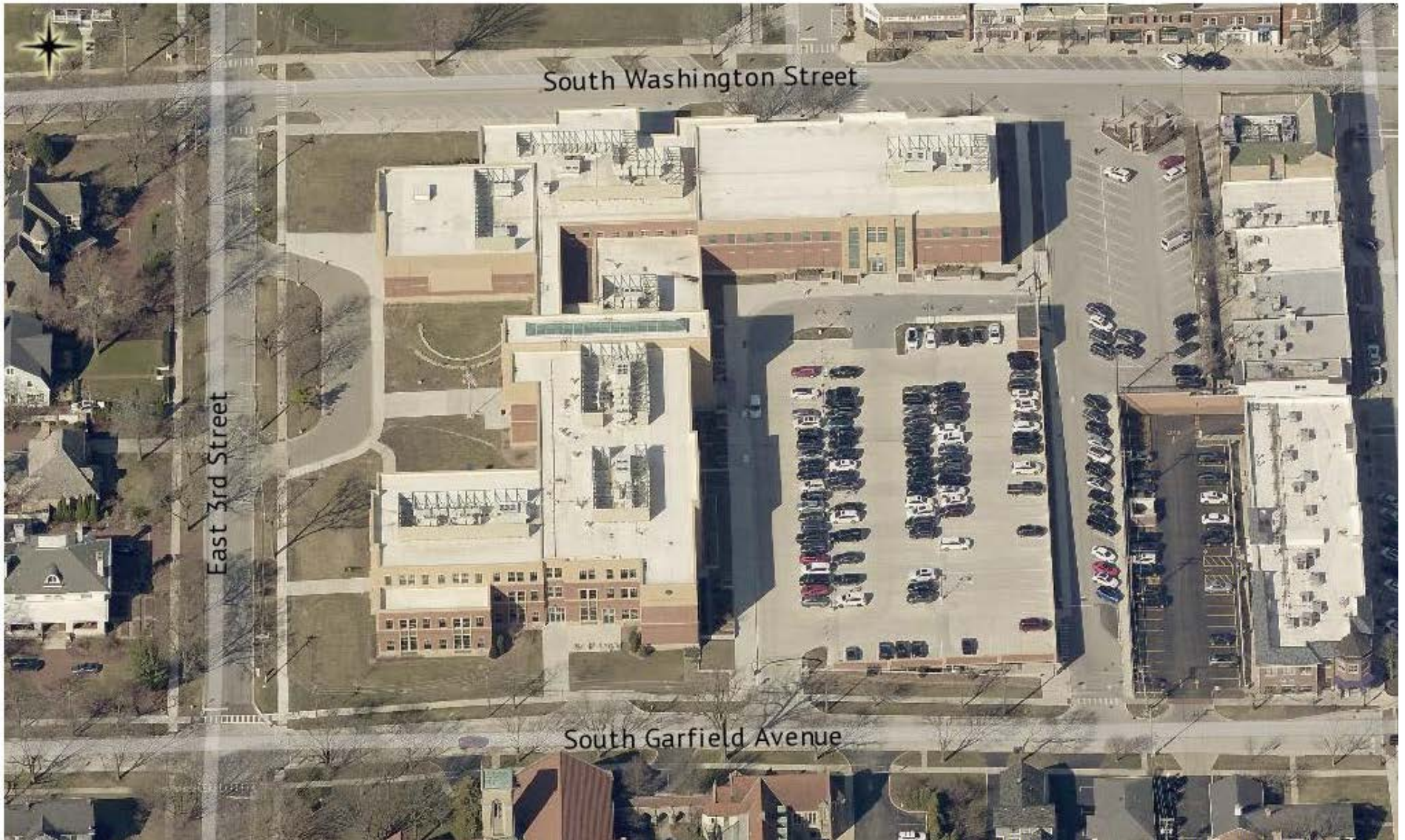
Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Street View – 100 S. Garfield



East Elevation on Garfield Street



March 20, 2023

Village of Hinsdale Community Development Department
19 E. Chicago Avenue
Hinsdale, Illinois 60521

Re: Hinsdale Middle School Sign Permit Application

Dear Mr. McGinnis,

This sign permit application includes all of the existing and proposed signage at the Hinsdale Middle School (HMS) property.

Community Consolidated School District 181 is applying separately to the Zoning Board of Appeals for five variations related to the number, size, and location of the wall signs. Variances being requested are indicated for informational purposes on the signage exhibits and are summarized here:

- Variance 1 - The number of wall signs permitted per lot
- Variance 2 - The maximum gross surface area of wall signs
- Variance 3 - The maximum gross surface area of an official emblem when displayed as a wall sign
- Variance 4 - The maximum height of a wall sign
- Variance 5 - The size of a flag

The monument sign is fully compliant and does not require any variances. The installed and proposed illumination is also fully compliant. Signage illumination details are included for informational purposes.

Also included for informational purposes are details on the flag poles and flags at HMS. The flag poles are compliant and no variation is required, as noted above an increase in the allowable size of a flag is Variance 5.

A Summary Information document is included that list each sign and flag pole, sign type, description, location, size, variances, exhibits and other details to assist in the review of this application.



A unique physical condition requiring multiple locations for building signage of sufficient size and design is created due to the building size, configuration, and use. Previous zoning approvals recognized these needs as necessary to support the programmatic and enrollment needs for District 181 to provide a 21st century learning environment. The need for the signage for parents and visitors to the school included in this application is created due to the:

- Site having three street frontages
- Size of the site and building
- Use of public spaces for after school hour uses
- Multiple traffic flows and school operations for parent drop off, bussed student, staff, visitors, after school activities, deliveries, etc.
- Number of code required doors for exiting
- Security requirements for student and staff safety
- School parking requirements
- Village of Hinsdale shared parking

Wall Signage

Building signage at any school is very important due to the large number of doors a school building has to meet code required exiting requirements. It is critical to clearly identify doors to be used for entry from a visitor's first approach to the school, to their locating parking, and subsequent checking in at the main office.

The location of signage and signals is important to safety and security management at the school. At HMS there could be confusion as to the location of the main building entry due to the shared parking deck on the north and the bus loop on the south side.

Public spaces like the gymnasium are located on the on the first floor to allow public access while securing the remainder of the building, the signage over these doors identifies this public space for visitors to the building.

Exterior illumination of signs is only on the Garfield St side of HMS facing another institutional use, no illumination is proposed on sides of the building facing residential properties.

Monument sign, wall sign, Blue Ribbon emblem and flag pole on Garfield Street

During the Parking Deck construction, it became clear that there was a need for identification of the main school entry and school parking entrance.



The Village of Hinsdale could not install the flag pole (required during the Village's zoning approval process for the HMS building) due to structural considerations with the deck. This flag pole had already been purchased by District 181 for the Village to install as part of the IGA for the Parking Deck construction.

During the Village's Parking Deck construction meetings, it was determined that all these issues could be resolved by combining the flag pole, lighted building signage, Blue Ribbon emblem, and a lighted ground level monument sign at the Garfield Street entry to the upper-level parking.

The combination of the existing building sign and Blue Ribbon emblem on the Garfield Street side of the building with the proposed flag pole and monument sign together as a single design element provide the signage and signals necessary for visitors to identify where to park and enter the HMS building.

For the Garfield Street Emblem and Wall Sign No. 5, lighting was installed when the building was constructed and has been in place for approximately 4 years. In December 2022 controls were installed on the lighting to reduce the light level to code compliant levels.

Public schools are a unique building type in the Village of Hinsdale based on location, function, and as recognized by special standing under local zoning requirements in Illinois law relative to school activities and the local zoning process. In the design of the building and signage District 181 has carefully considered its statutory duties, the educational activities in the building, and the administration and management of the building. District 181 respectfully requests that approval for the Hinsdale Middle School signage be as requested in this application.

Respectfully,

Richard Engstrom
Assistant Superintendent of Business and Operations
Community Consolidated School District 181



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Signs 1 & 4

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 /
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address:
City/Zip:
Phone/Fax: () /
E-Mail:
Contact Name:

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 27.9 (149" x 27")

Overall Height from Grade: 16'-7" Ft.

Proposed Colors (Maximum of Three Colors):

① Clear anodized aluminum

2 thus

②

③

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage:

Existing Sign Information:

Business Name:

Size of Sign: Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

4/3/23

Signature of Building Owner

Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: Administrative Approval Date:

Original Sign Permit Plans
Presented at the PC 5/10/2023



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Signs 2 & 3

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 /
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ /
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 9.5 (114.5" x 12")

Overall Height from Grade: 16'-4" Ft.

Proposed Colors (Maximum of Three Colors):

① Clear anodized aluminum

2 thus

② _____

③ _____

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Sign No. 5

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 / _____
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 21 (252" x 12")

Overall Height from Grade: 35'-8" Ft.

Proposed Colors (Maximum of Three Colors):

① Clear anodized aluminum

1 thus

② _____

③ _____

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage: _____

Existing Sign Information:


Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

Original Sign Permit Plans
Presented at the PC 5/10/2023



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Sign No. 6

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 /
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address:
City/Zip:
Phone/Fax: () /
E-Mail:
Contact Name:

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Other

ILLUMINATION Up Lit

Sign Information:

Overall Size (Square Feet): 18.8 (52" x 52")

Overall Height from Grade: 42'-8" Ft.

Proposed Colors (Maximum of Three Colors):

- ① Blue
② Black
③ White
- Emblem-painted panel**

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage:

Existing Sign Information:

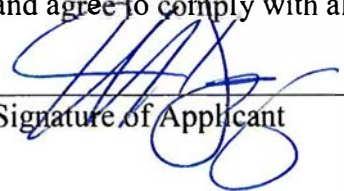
Business Name:

Size of Sign: Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: Administrative Approval Date:



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Monument Sign - Sign No. 7

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 / _____
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Monument Sign

ILLUMINATION Up Lit

Sign Information:

Overall Size (Square Feet): 62.21 (10'-4" x 5'-10")

Overall Height from Grade: 5'-10" Ft.

Proposed Colors (Maximum of Three Colors):

① Red Ironspot to match building

② Golden Buff to match building

③ _____

1 thus

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

Hinsdale Middle School Signage
Summary Information

Designation	Name	Sign Type	Description	Location	Lighting	Lighting Compliance	Wall Signs in Inches		Area Square Feet	Variance Number(s)	Sign Application Form	Exhibits	Mounting Height (top of wall sign)	Colors
							Length	Height						
Sign 1	Hinsdale Middle School - South	Wall Sign	Pin mounted letters over south entry doors	3rd Street	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 1 - Wall Sign 1 Details	16'-7"	Clear anodized aluminum
Sign 2	Gymnasium - West	Wall Sign	Pin mounted letters over west Gymnasium entry doors	Washington St	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 2 - Wall Sign 2 Details	16'-4"	Clear anodized aluminum
Sign 3	Gymnasium - East	Wall Sign	Pin mounted letters over east Gymnasium entry doors	Parking Deck	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 3 - Wall Sign 3 Details	16'-4"	Clear anodized aluminum
Sign 4	Hinsdale Middle School - North	Wall Sign	Pin mounted letters over north main entry doors	Parking Deck	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 4 - Wall Sign 4 Details	16'-7"	Clear anodized aluminum
Sign 5	Hinsdale Middle School - East	Wall Sign	Pin mounted letters	Garfield St Building Elevation	Yes	Yes	252	12	21.0	1, 2, & 4	5	Exhibit 5 - Wall Sign 5 Details Exhibit 8 - Garfield Street Wall Sign Illumination-INFORMATIONAL	35'-8"	Clear anodized aluminum
Sign 6	Blue Ribbon Emblem	Wall Sign	Wall mounted circular US Department of Education emblem	Garfield St Building Elevation	Yes	Yes	52	52	18.8	1, 2, 3, & 4	6	Exhibit 6 - Emblem Wall Sign 6 Details Exhibit 8 - Garfield Street Wall Sign Illumination-INFORMATIONAL	42'-8"	Painted panel
							Total All Wall Signs		114.7	Square Feet				
Sign 7	Monument Sign	Monument Sign	Ground mounted	Garfield St	Yes	Yes	10'-4"	5'-10"	62.21	None Required Compliant	7	Exhibit 7A - Monument Sign 7 Details Exhibit 7B - Rendering Existing & Proposed Garfield St Entry Signage Exhibit 7C - Monument Sign Construction Details Exhibit 7D - Monument Sign Overall Site Plan Exhibit 7E - Monument Sign Detail Site & Landscape Plans Exhibit 7F - Monument Sign Illumination (2 pages)	N/A	2 Types of Brick: Red Ironspot to match building Golden Buff to match building
Additional Informational Exhibits														
Flag Pole 1	Flag Pole - South	N/A	Aluminum Flag Pole	3rd Street	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A	Exhibit 9 - Flag Poles and Flag Details (5 pages)-INFORMATIONAL	N/A	Aluminum
Flag 1	Flag - South	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
Flag Pole 2	Flag Pole - East	N/A	Aluminum Flag Pole	Garfield St	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A		N/A	Aluminum
Flag 2	Flag - East	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Exhibit 10 - HMS Building Frontage-INFORMATIONAL	N/A	N/A

Sign No. 1 – “Hinsdale Middle School” – South

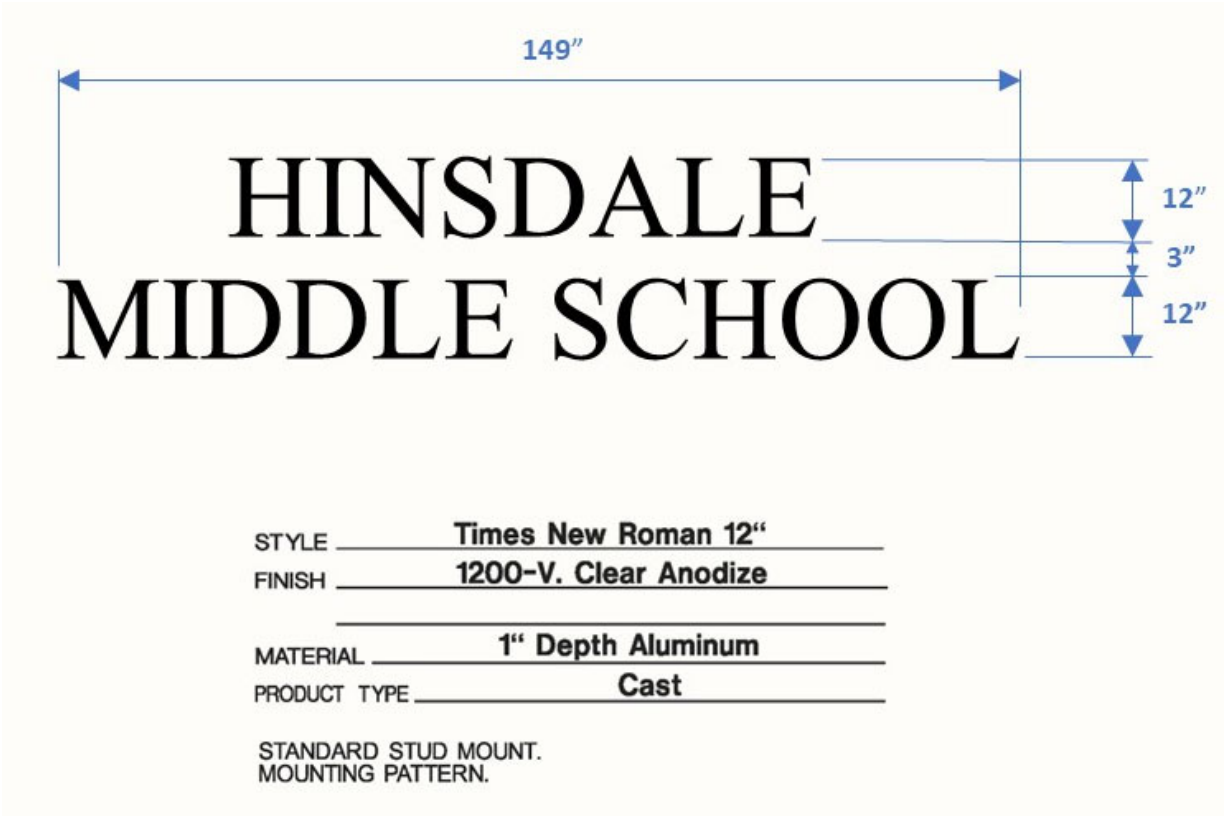
Wall Sign Area 1: 27.9 SF

- Sign No. 1 - Variances Being Requested:
1. The number of wall signs permitted per lot

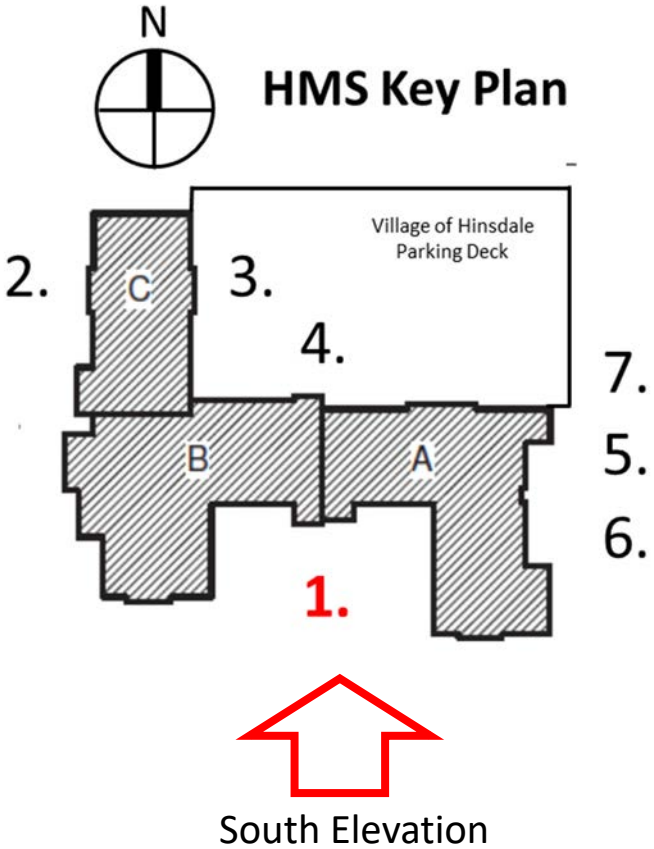
2. The maximum gross surface area of wall signs



South Entry – “Hinsdale Middle School” Signage



Lettering Shop Drawing



Sign No. 2 – “Gymnasium” – West

Wall Sign 2 Area: 9.5 SF

- Sign No. 2 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

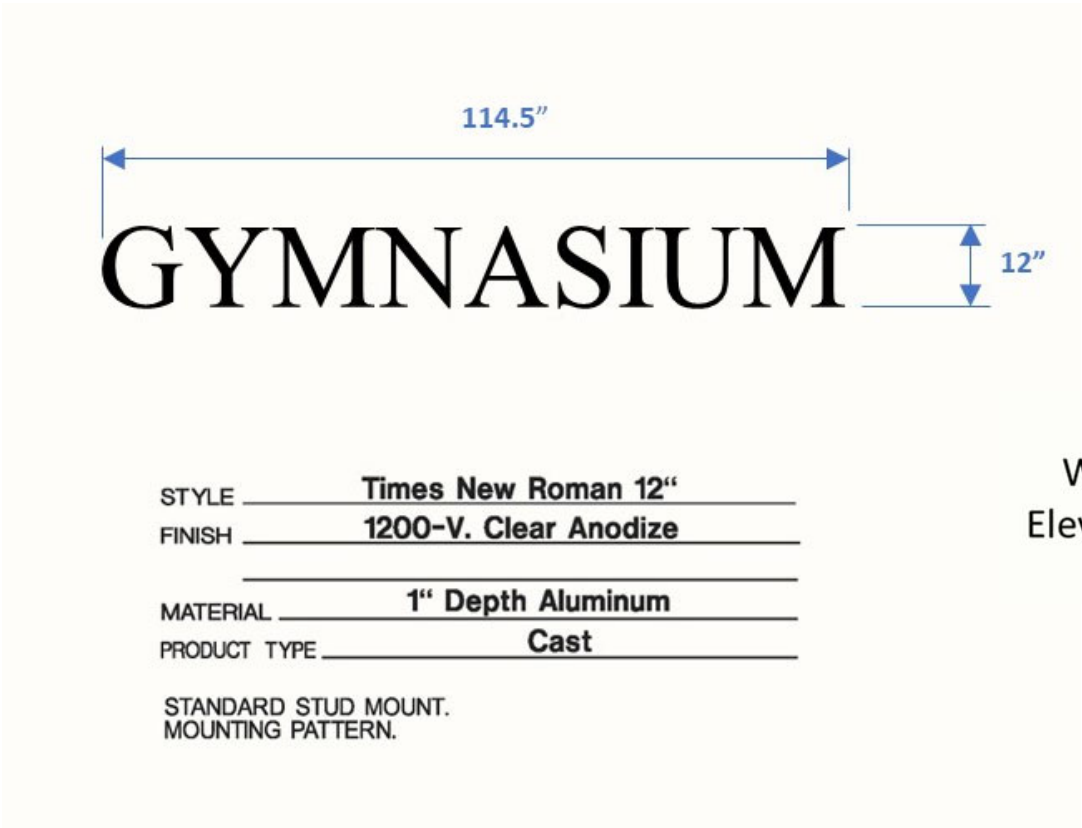


2.

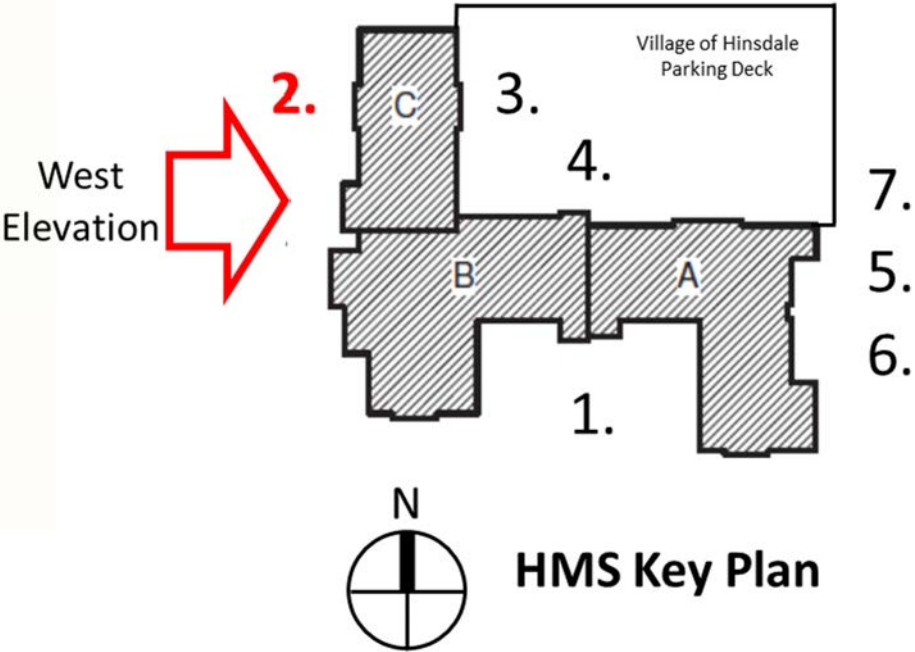
Hinsdale Middle School West Elevation



West Gym Entry – “Gymnasium” Signage



Lettering Shop Drawing



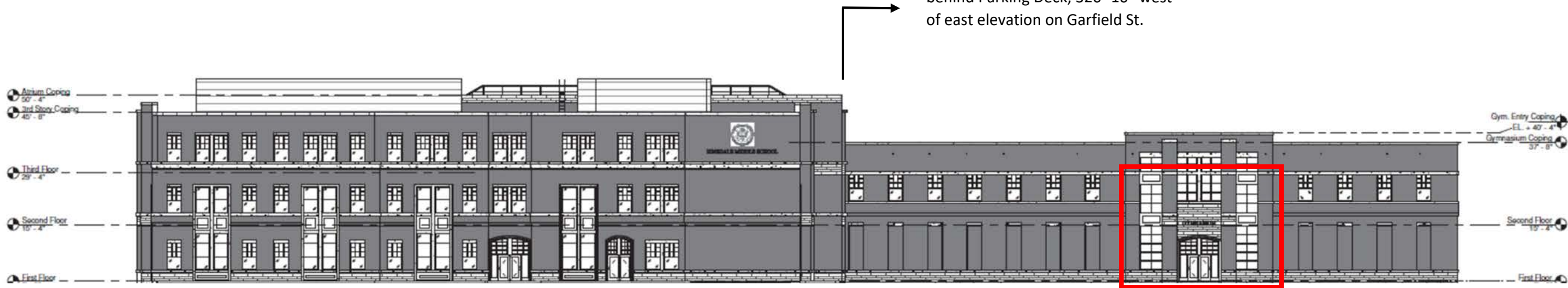
Sign No. 3 – “Gymnasium” – East

Wall Sign 3 Area: 9.5 SF

- Sign No. 3 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



Hinsdale Middle School East Elevation

3.



East Gym Entry – “Gymnasium” Signage

114.5"

GYMNASIUM

12"

STYLE

Times New Roman 12"

FINISH

1200-V. Clear Anodize

MATERIAL

1" Depth Aluminum

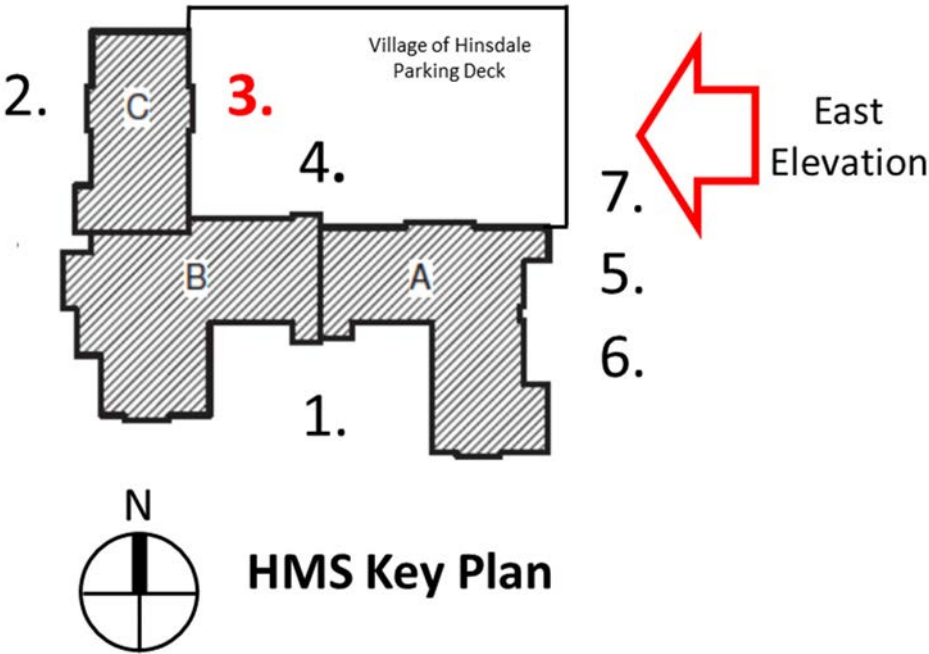
PRODUCT TYPE

Cast

STANDARD STUD MOUNT.

MOUNTING PATTERN.

Lettering Shop Drawing



Sign No. 4 – “Hinsdale Middle School” – North

Wall Sign 4 Area: 27.9 SF

- Sign No. 4 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

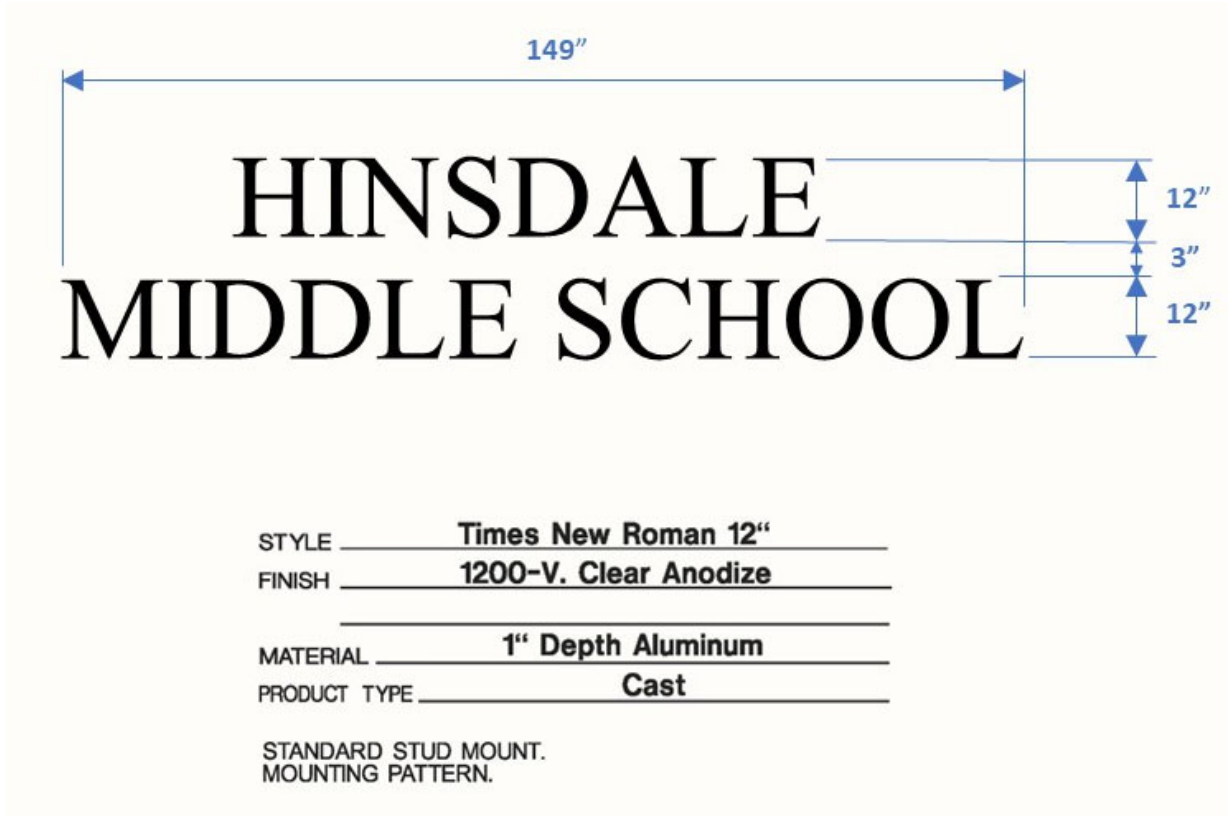


Hinsdale Middle School North Elevation

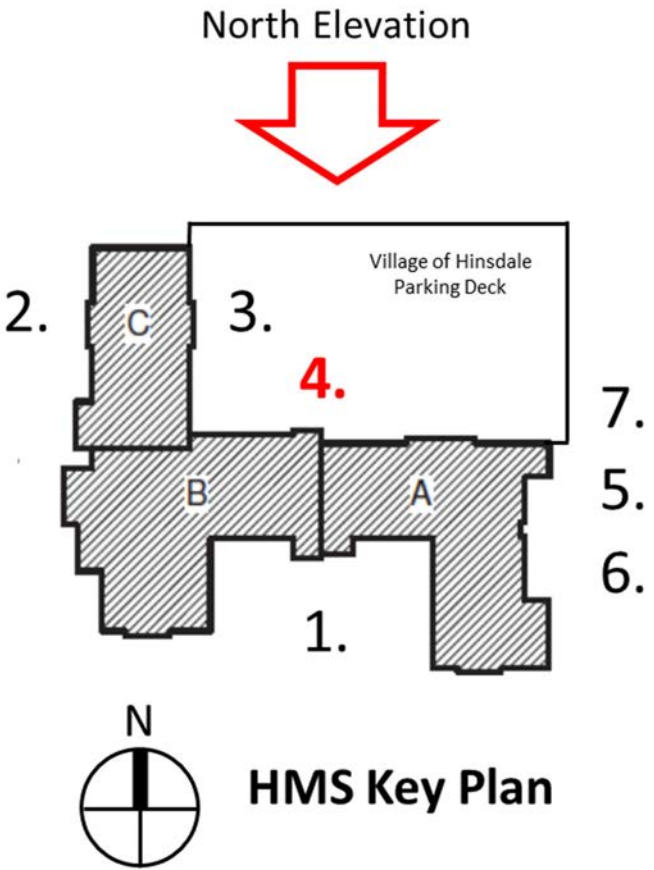
4.



North Entry – “Hinsdale Middle School” Signage



Lettering Shop Drawing



Sign No. 5 – “Hinsdale Middle School” – East

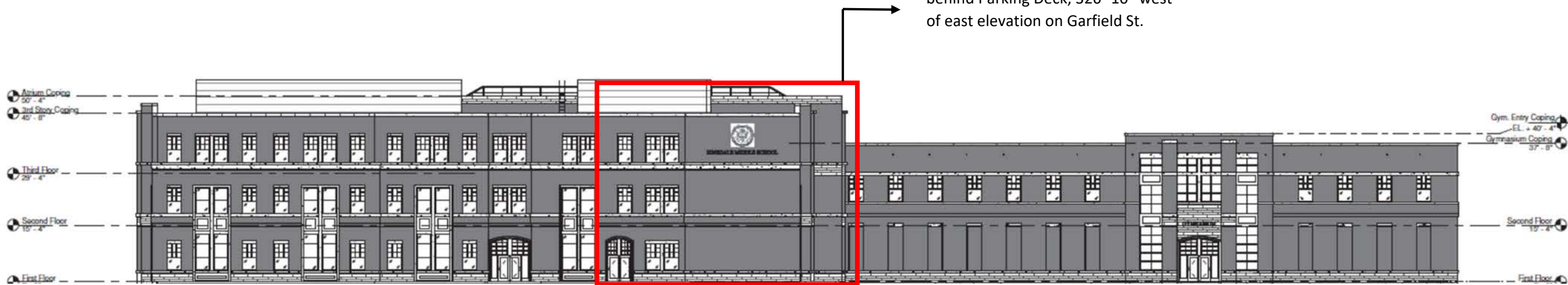
Wall Sign 5 Area: 21.0 SF

- Sign No. 5 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

4. The maximum height of a wall sign

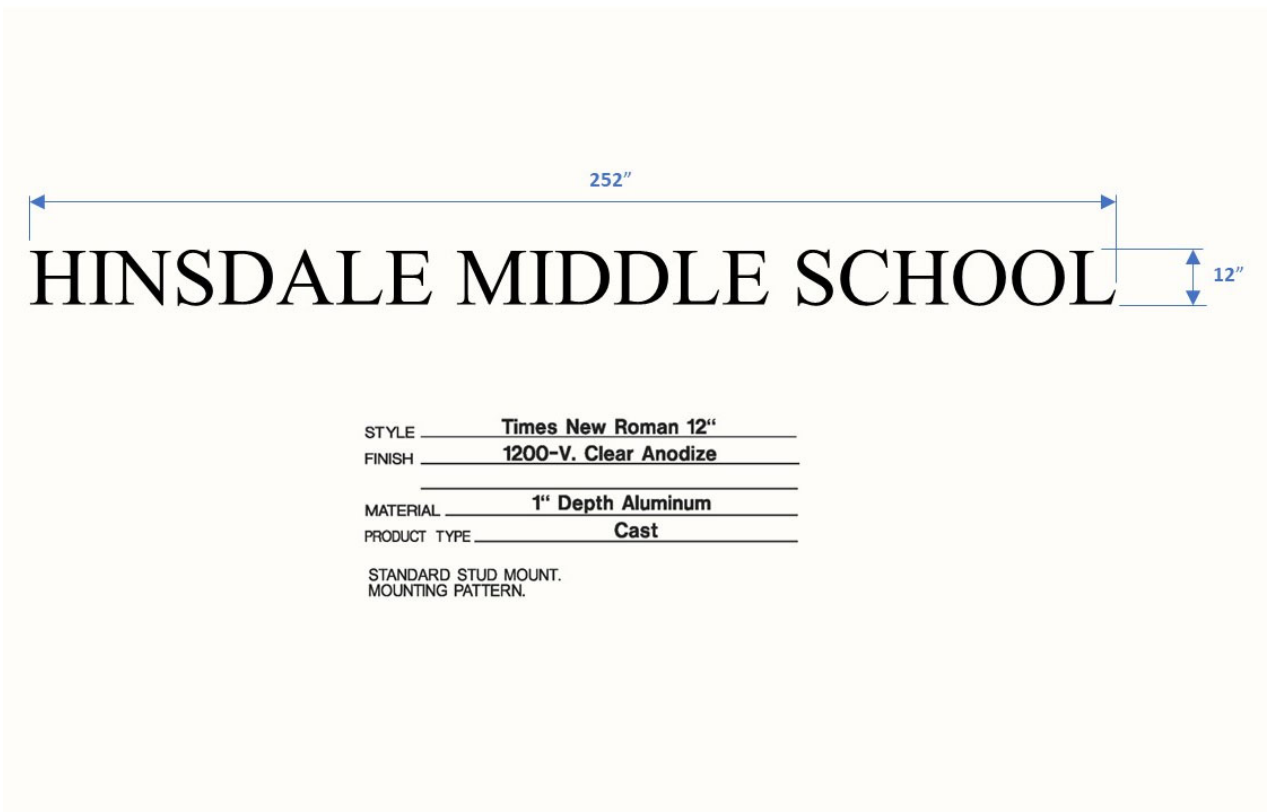
Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



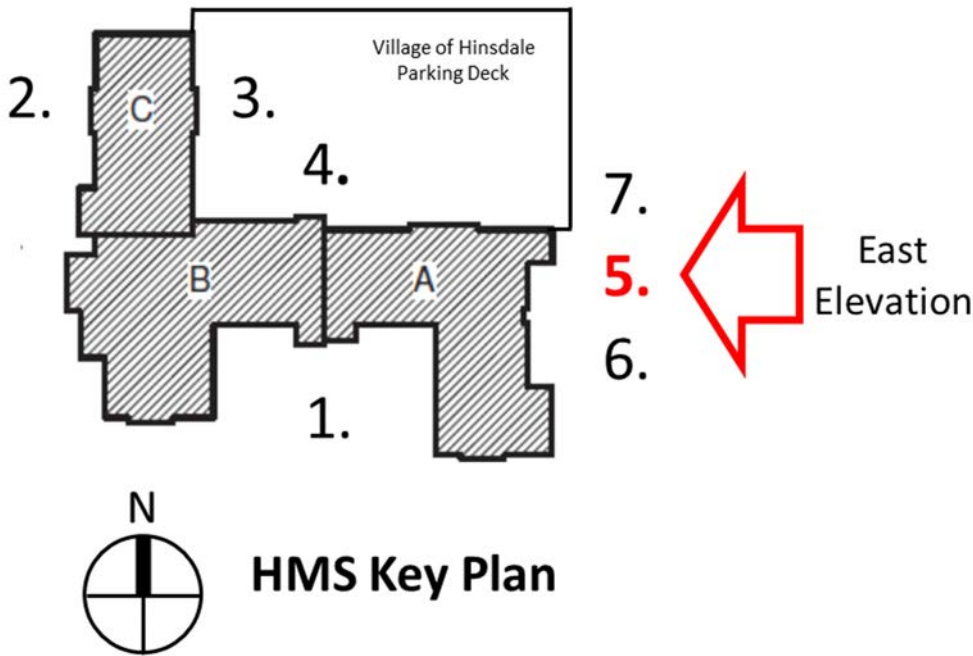
Hinsdale Middle School East Elevation 5.



Garfield Street
“Hinsdale Middle School” Signage



Lettering Shop Drawing



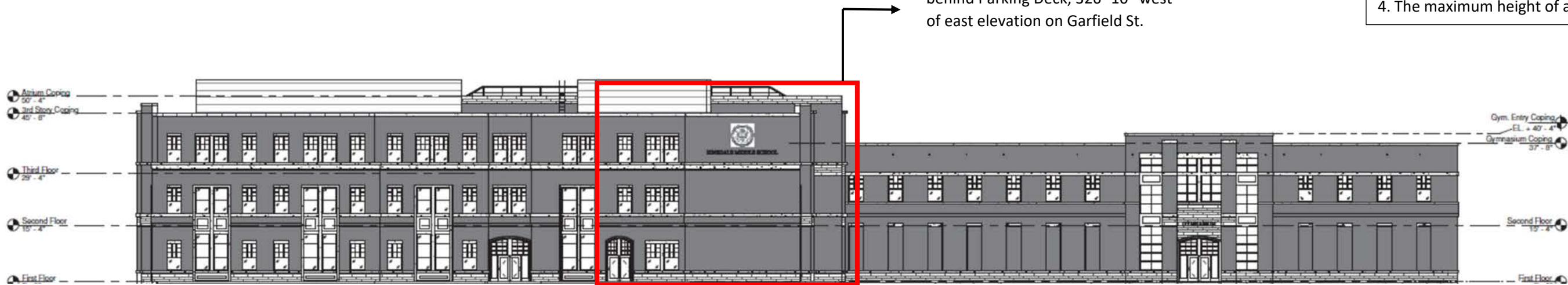
HMS Key Plan

Sign No. 6 – Blue Ribbon Emblem – East

Wall Sign 6 Area: 18.8 SF

- Sign No. 6 - Variances Being Requested:**
- 1. The number of wall signs permitted per lot
 - 2. The maximum gross surface area of wall signs
 - 3. The maximum gross surface area of an official emblem when displayed as a wall sign
 - 4. The maximum height of a wall sign

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



Hinsdale Middle School East Elevation 6.

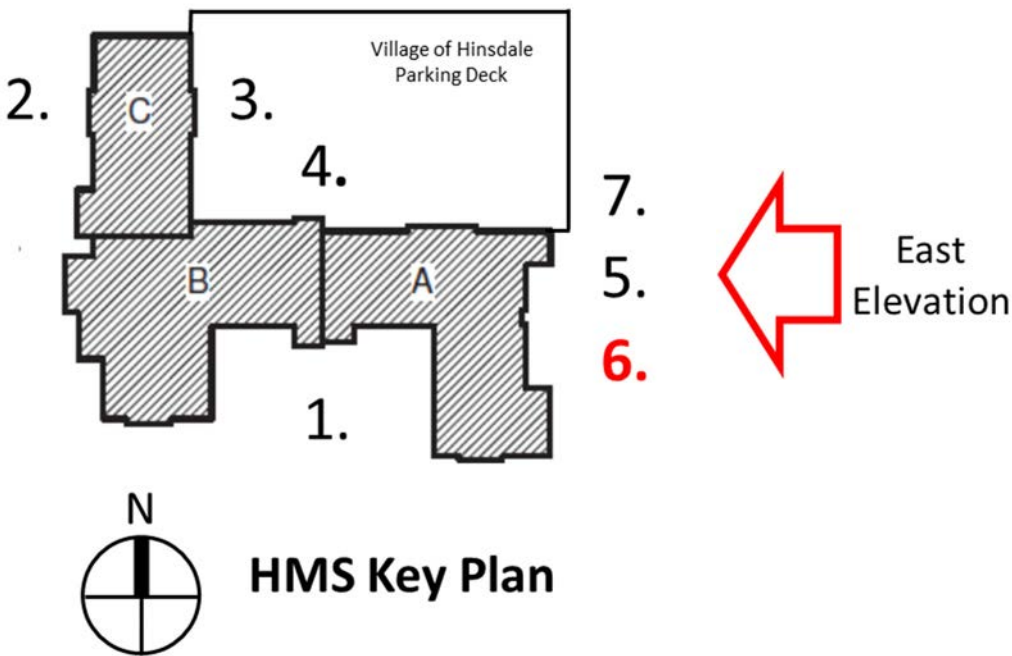


Garfield Street – Blue Ribbon Emblem



Note: Top of Blue Ribbon emblem is 42'-8" above first floor elevation

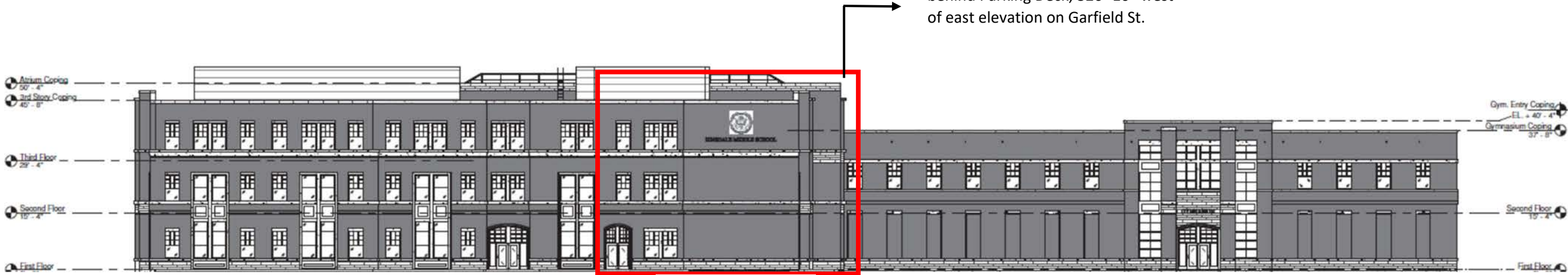
Emblem Dimensions – 26" radius



Sign No. 7 – Monument Sign – East

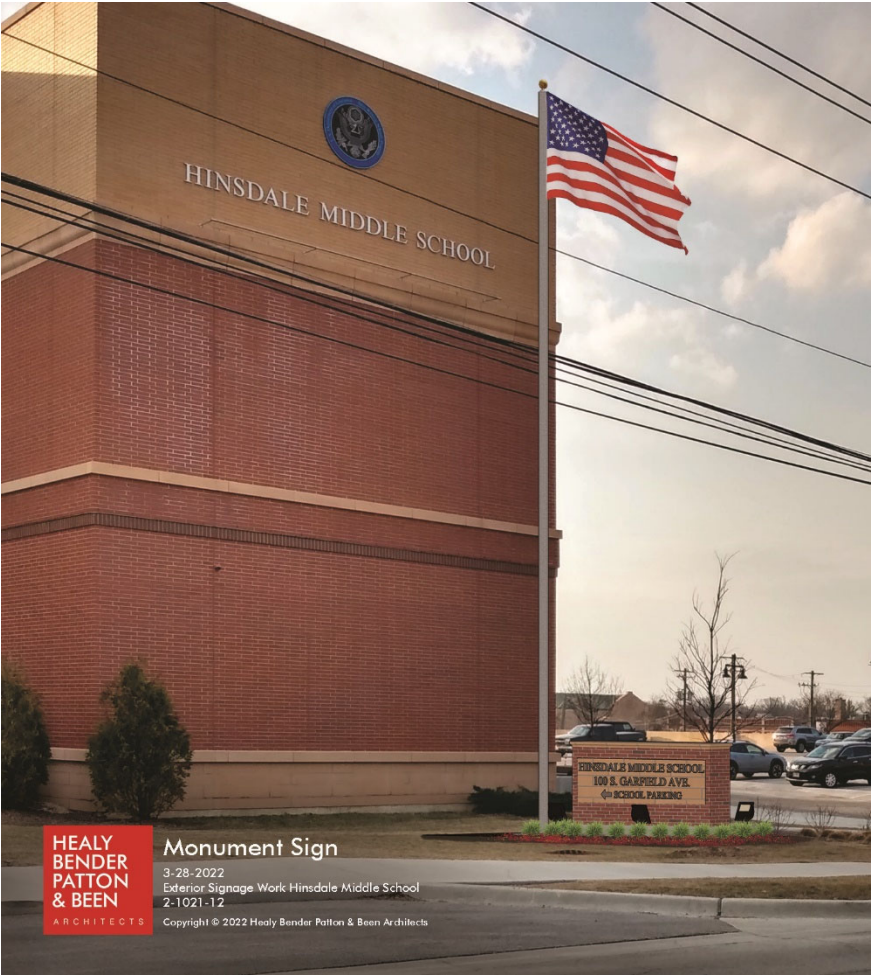
Sign No. 7 - Variances Being Requested:
None - Monument Sign is compliant

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



5, 6, & 7.

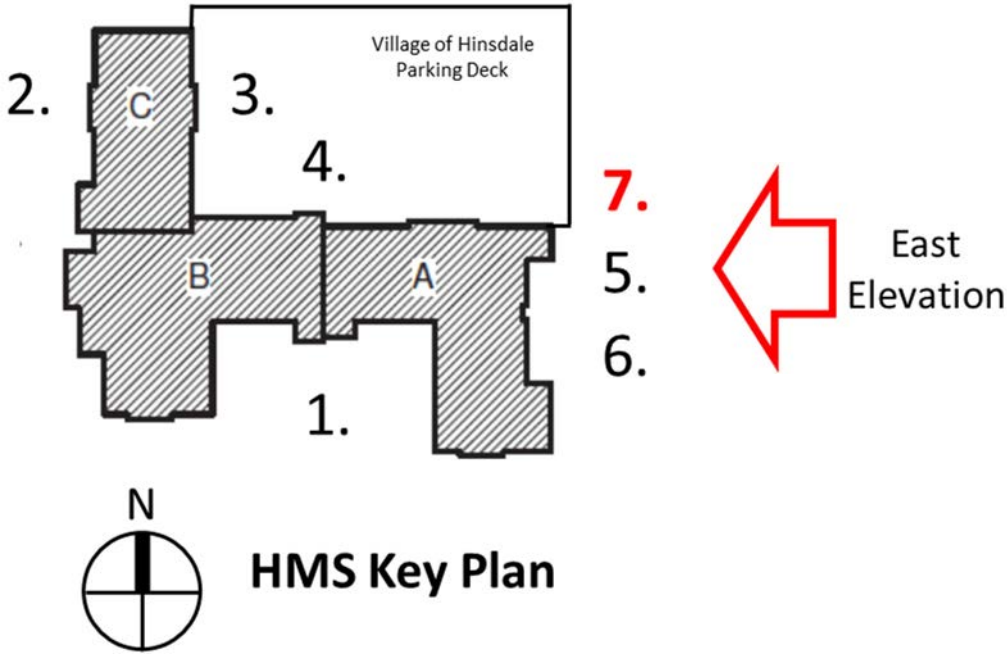
Hinsdale Middle School East Elevation



Garfield Street – Proposed Monument Sign

Note:
The combination of the proposed Monument Sign, Blue-Ribbon Emblem, Wall Sign 5, and proposed Flag Pole work together as a single design element to identify the building and Parking Deck entrance.

- See attached exhibits for monument sign details:**
- Exhibit 7B_ Rendering Proposed Garfield Street Entry Signage
 - Exhibit 7C_Monument Sign Construction Details
 - Exhibit 7D_Monument Sign Overall Site Plan
 - Exhibit 7E_Monument Sign Detail Site & Landscape Plans
 - Exhibit 7F_Monument Sign Illumination





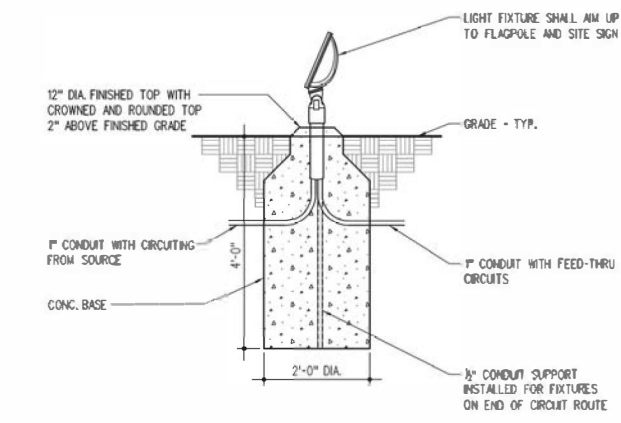
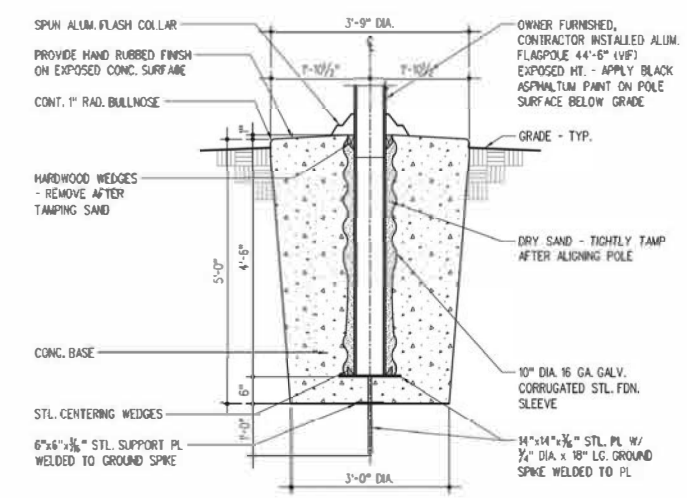
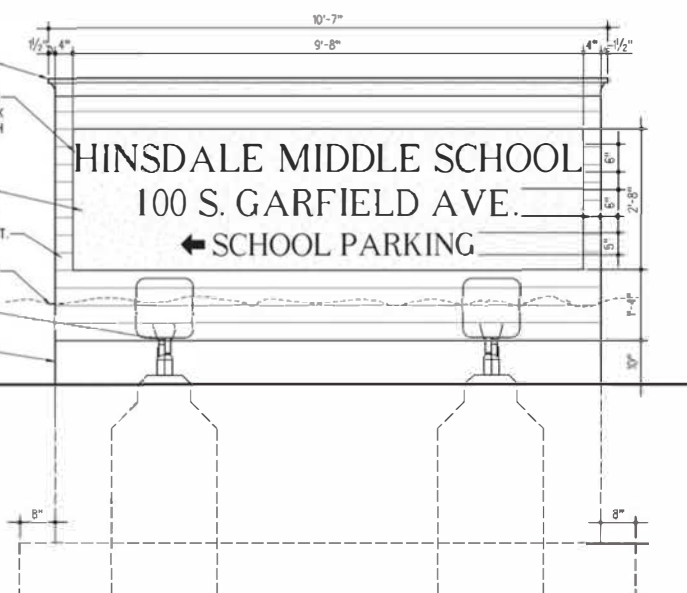
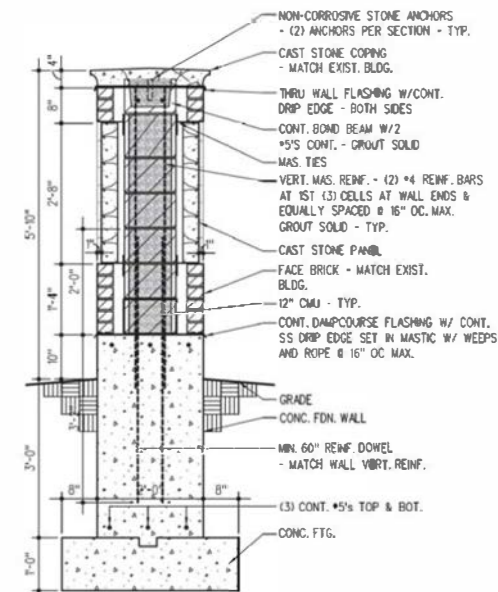
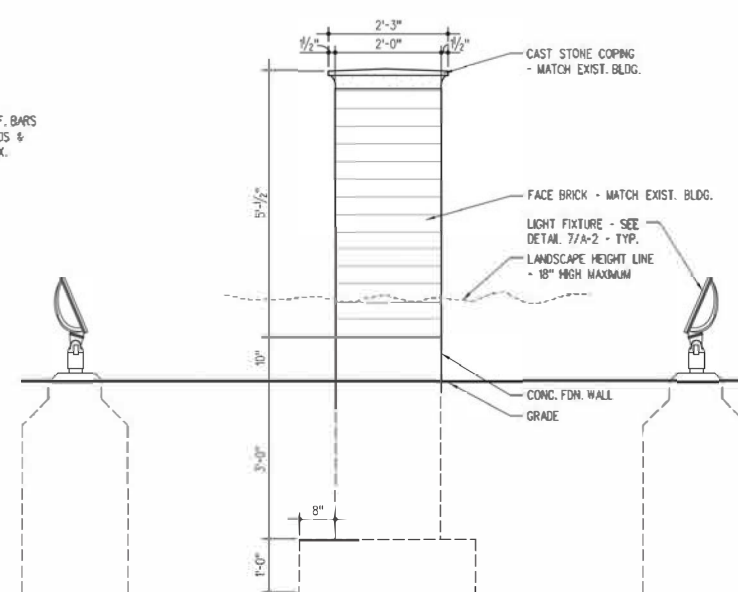
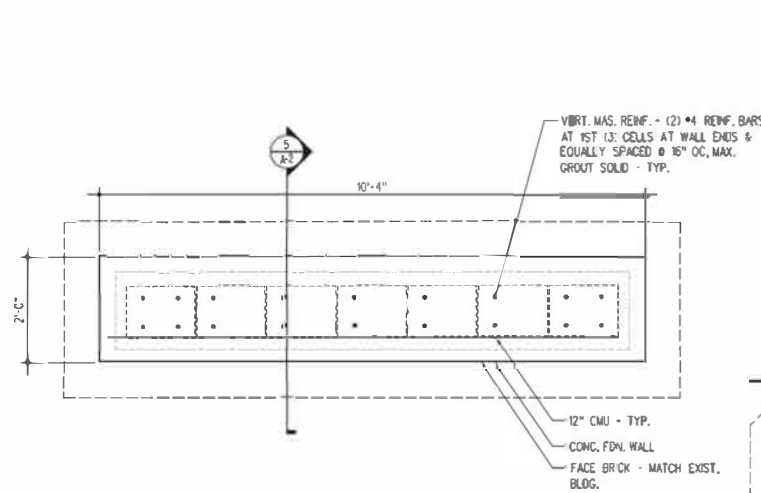
Monument Sign

3-28-2022
Exterior Signage Work Hinsdale Middle School
2-1021-12
Copyright © 2022 Healy Bender Patton & Been Architects

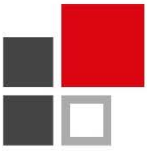
HMS Exhibit 7B - Rendering Existing and Proposed Garfield St Entry Signage

REVISIONS	DATE	BY	DESCRIPTION
1	02-24-2022	MS	VILLAGE COMMENTS
2	02-24-2022	MS	2-1021-12
3	05-21-2021	MS	MS
SHEET NO.			
A-2			

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HMS Exhibit 7C - Monument Sign Construction Details



**HEALY
BENDER
PATTON
& BEEN**

ARCHITECTS

4640 Helena Avenue
Naperville, IL 60564
T 630.904.4300

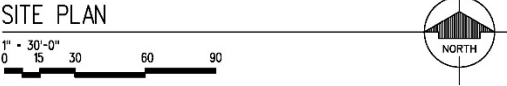
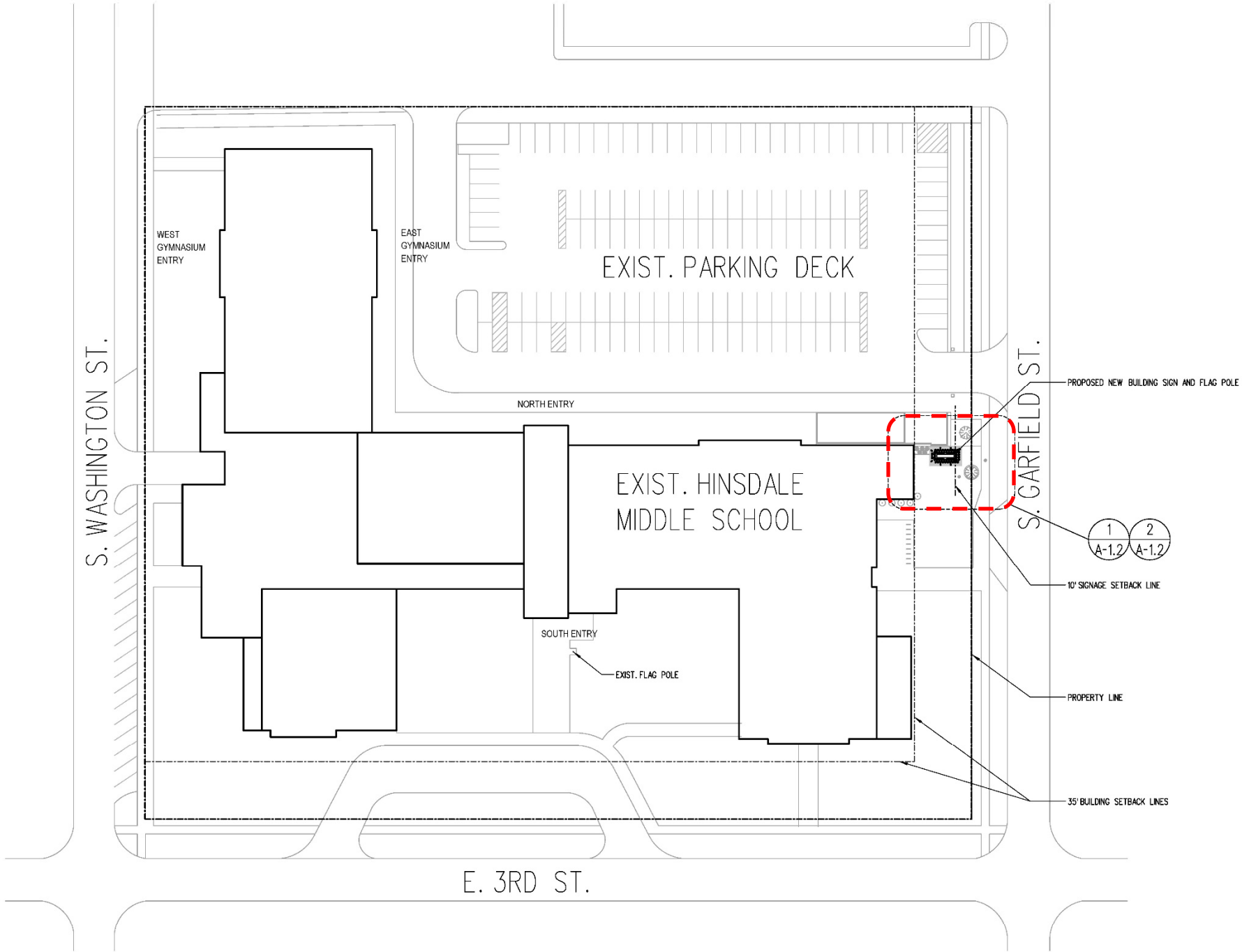
www.healybender.com

**EXTERIOR SIGNAGE WORK
HINSDALE MIDDLE SCHOOL
HINSDALE, ILLINOIS**
FOR
COMMUNITY CONSOLIDATED SCHOOL DISTRICT 181
CLARENDON HILLS, DUPAGE COUNTY, ILLINOIS

REVISIONS	DATE	DESCRIPTION
1	03-24-2022	VILLAGE COMMENTS
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A-1.1

Original Sign Permit Plans
Presented at the PC 5/10/2023

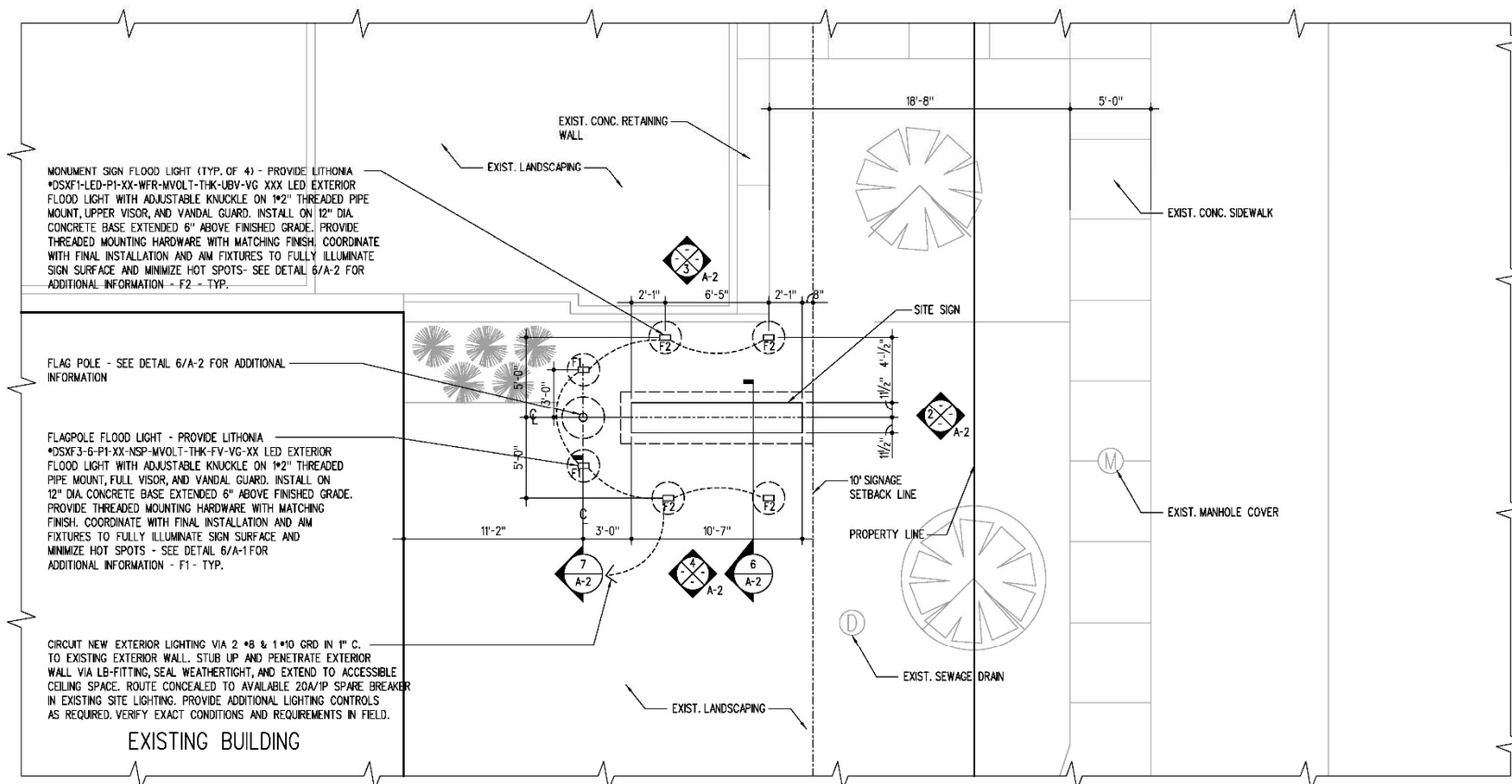


HMS Exhibit 7D - Monument Sign Overall Site Plan

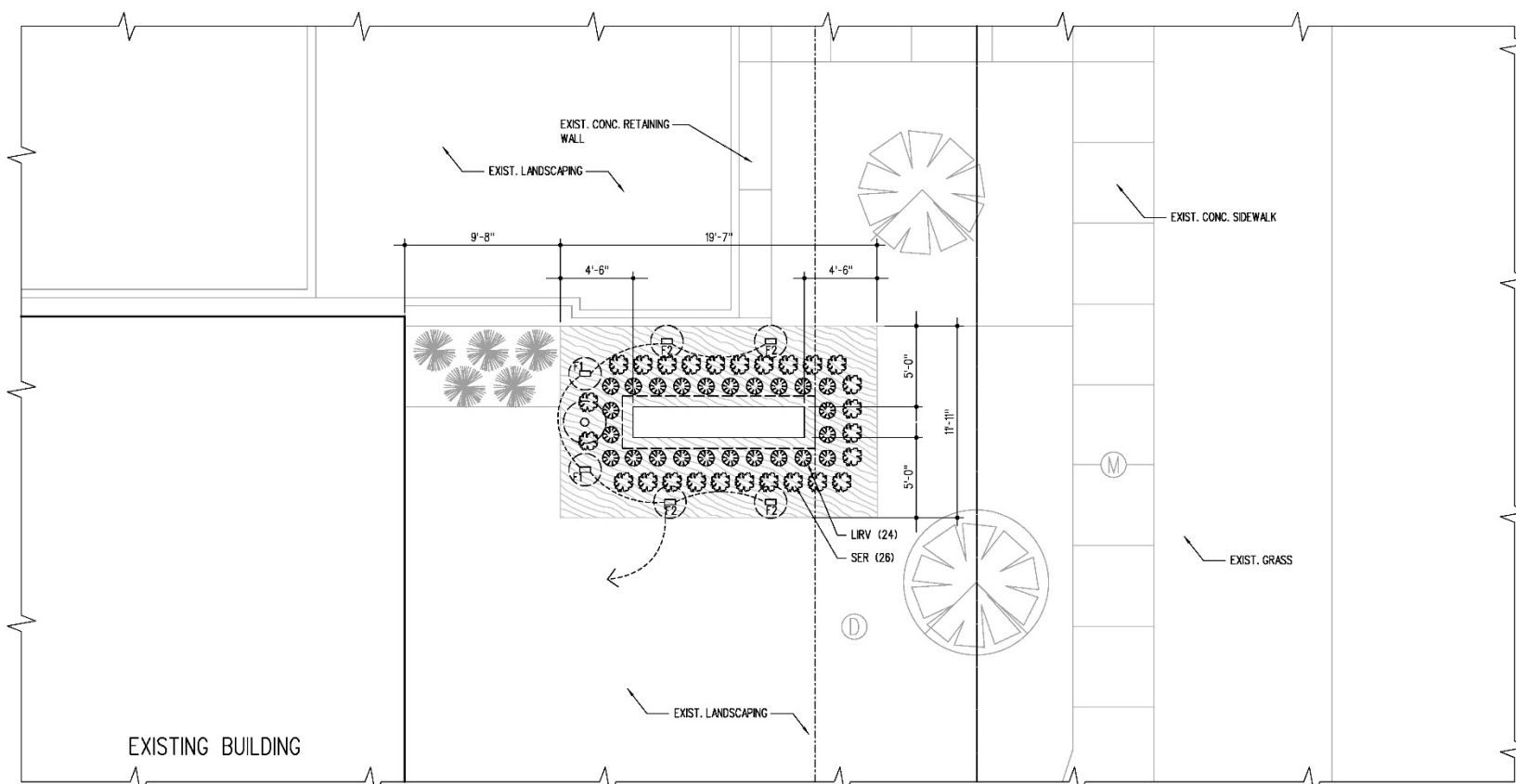
February 16, 2023

HEALY BENDER PATTON & BEEN ARCHITECTS

REV	DATE	DESCRIPTION
1	03-24-2022	VILLAGE COMMENTS
REVISIONS		
2	05-21-2021	MS
SHEET NO.		
A-1.2		



1 ENLARGED SITE PLAN
1/4" = 1'-0"
0 1 2 4 8 12
NORTH



2 ENLARGED LANDSCAPE PLAN
1/4" = 1'-0"
NORTH

- SITE PATCHING/REPAIR NOTES:**
1. PATCH EXISTING SURFACES AND FINISHES AFFECTED BY THE WORK WITH MATERIALS CONSISTENT WITH EXISTING CONSTRUCTION WHETHER OR NOT PATCH MATERIAL IS INDICATED ON DRAWINGS.
 2. REPLACE EXISTING CONCRETE WALKS, CURBS AND BITUMINOUS PAVING DAMAGED DURING CONSTRUCTION TO MATCH EXISTING. PROPERLY CUT OUT AND REMOVE DAMAGED CONCRETE AND/OR BITUMINOUS PAVING DOWN TO SUBBASE. REPAIR, REPLACE AND/OR COMPACT SUBBASE PRIOR TO PROVIDING NEW SURFACE. CONCRETE WALKS, CURBS AND PAVEMENT SHALL MATCH EXISTING PROFILE AND DEPTHS, TYP. UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK.
 3. RESTORE GRASS, LANDSCAPING, AND NATURAL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION TO ORIGINAL CONDITION TO PRE-CONSTRUCTION CONDITIONS AS REQUIRED.
 4. RESTORE ITEMS/DAMAGED AREAS AT STAGING AREAS, ETC. TO ORIGINAL FULLY FUNCTIONAL CONDITION.

PLANT LIST

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	QTY
GROUND COVER					
LIRV	LIRIOPE MUSCARI 'VARIEGATA'	VAREGATED LILY TURF	PLUG	SPACING 18" O.C.	24
SER	SEDUM SPURUM 'RED CARPET'	STONECROP 'RED CARPET'	3" POTS	SPACING 18" O.C.	26

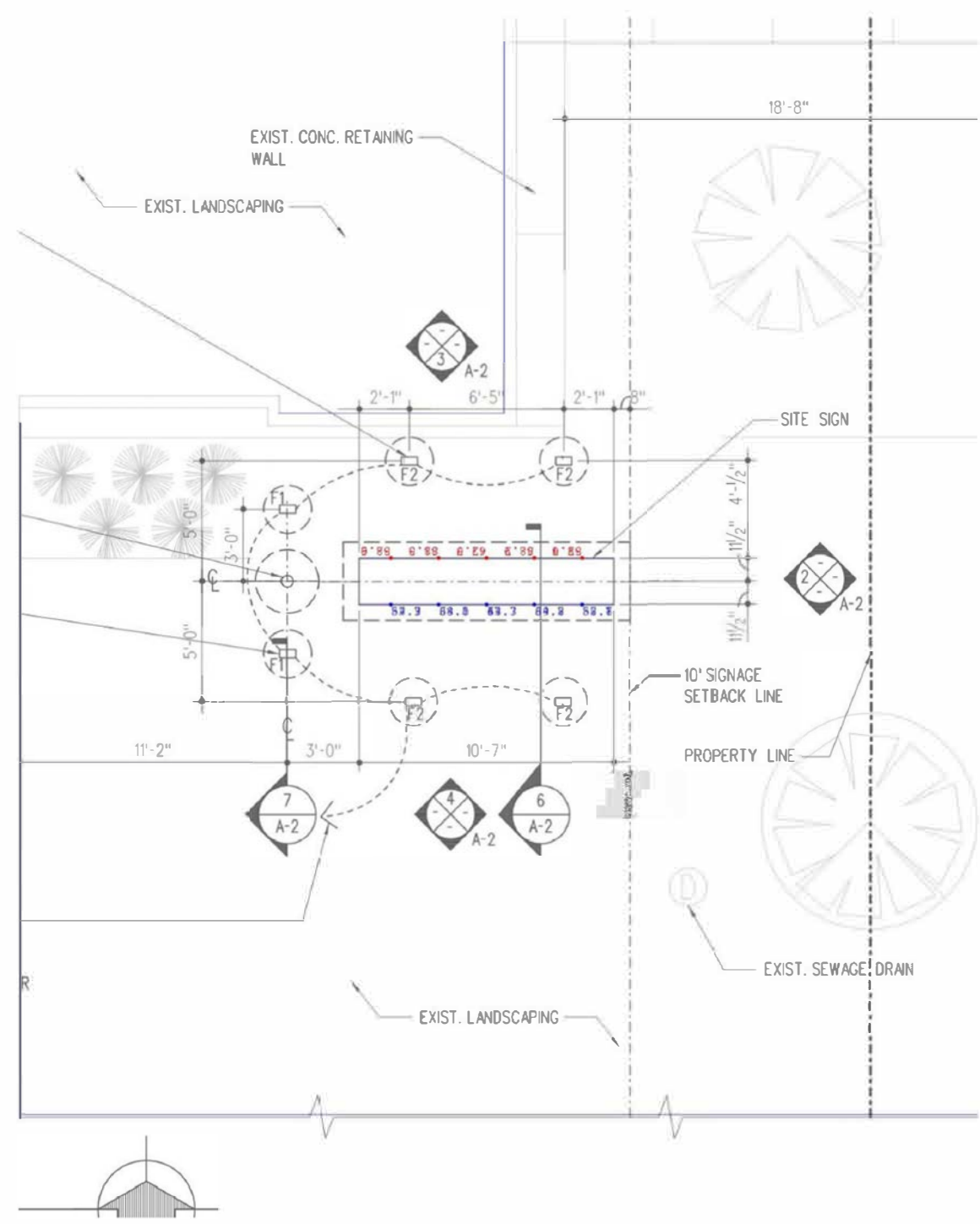
LEGEND

LANDSCAPE MULCHED PLANTER

HMS Exhibit 7E - Monument Sign Detail Site & Landscape Plans

February 16, 2023

Original Sign Permit
Presented at the PC 5/10/2023



Luminaire Schedule			
Symbol	Qty	LLF	Description
>	4	0.950	DSXF1 LED P1 40K WFR

Note:
Install DMG dimmer accessory on
Fixture F2 set to 55% diming to
achieve 50 fc illumination on sign face.

Page M of 1

Drawn By: Scott Shellberg

Date:4/26/2022

Notes :

Hinsdale Middle School



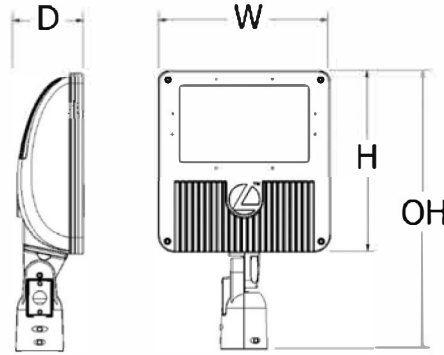


D-Series DSXF3 LED Floodlight



Specifications

EPA @ 90°:	1.4 ft ² (0.13 m ²)
Depth:	4.89" (124 mm)
Width:	12.90" (328 mm)
Height:	13.58" (345 mm)
Overall Height:	20.80" (528 mm)
Weight:	21 lbs (9.5 kg)



Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF3 delivers 12,000 to 27,000 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 400W HID floodlights. All configurations are made in North America allowing for quick delivery.

Ordering Information

EXAMPLE: DSXF3 LED 6 P2 40K 70CRI FL MVOLT THK DDBXD

DSXF3 LED	Light Engines	Performance Package	Color Temperature	CRI	Distribution	Voltage	Mounting
DSXF3 LED	6 Six COB engines	P1 P2 P3 P4	30K 3000K 40K 4000K 50K 5000K	70CRI	WFL Wide flood (6x6) FL Flood (5x5) MFL Medium flood (4x4) WFR Wide flood rectangular (6x5) HMF Horizontal medium flood (6x4) MSP Medium Spot (4x4) HSP Narrow Spot (3x3)	MVOLT ¹ 120 208 240	Shipped included IS Integral slip/fitter (fits 2-3/8" O.D. tenon) YKC62 Yoke with 2ft. 16-3 SO cord THK Knuckle with 1/2" NPT threaded pipe
Options							Finish (required)
Shipped installed PE Photocontrol, button style ² PEX Photocontrol external, swivel ⁴ PER7 Seven-wire receptacle only (controls ordered separately) ^{5a} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)							Shipped separately⁷ UBV Upper/bottom visor (universal) FV Full visor VG Vandal guard WG Wire guard
							DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White

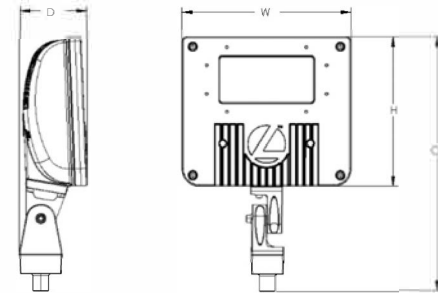


D-Series DSXF1 LED Floodlight



Specifications

EPA:	0.6 ft ² (0.05 m ²)
Depth:	3.52" (89 mm)
Width:	8.86" (225 mm)
Height:	7.84" (199 mm)
Overall Height:	13.37" (340 mm)
Weight:	7.2 lbs (3.3 kg)



Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF1 delivers 3,000 to 5,500 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 70W to 150W HID floodlights. All configurations are assembled in the USA allowing for quick delivery.

Ordering Information

EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DDBXD

DSXF1 LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting
DSXF1 LED	P1 P2	30K 3000K 40K 4000K 50K 5000K	WFL Wide flood (6x6) FL Flood (5x5) MFL Medium flood (4x4) WFR Wide flood rectangular (6x5) HMF Horizontal medium flood (6x4) MSP Medium spot (4x4) NSP Narrow spot (3x3)	MVOLT ¹ 347	Shipped included THK Knuckle with 1/2" NPT threaded pipe IS Integral slip/fitter (fits 2-3/8" O.D. tenon) YKC62 Yoke with 2ft. 16-3 SO cord
Options					Finish (required)
Shipped installed PE Photocontrol, button style ² DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) SPD10KV Separate surge protection					Shipped separately⁷ UBV Upper/bottom visor (universal) FV Full visor VG Vandal guard
					DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White

Accessories³

Ordered and shipped separately.

DSXF1/2TS DDBXD U	Slipfitter for 1-1/4" to 2-3/8" O.D. tenons 1/2" (fit required) (specify finish)
FIS C66 DDBXD U	Slipfitter for 2-3/8" to 2-7/8" O.D. tenons YKC62 required (specify finish)
FWRB DDBXD U	Radial wall bracket, 2-1/4" O.D. tenon (specify finish)
FSPB DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)
DSXF1UBV DDBXD U	Upper/bottom visor accessory (specify finish)
DSXF1FV DDBXD U	Full visor accessory (specify finish)
DSXF1VG U	Vandal guard accessory

For more mounting options, visit our www.lithonia.com pages

Stock configurations are offered for shorter lead times:

Standard Part Number	Stock Part Number	CI Code
DSXF1 LED P1 40K WFL MVOLT THK DDBXD	DSXF1 LED P1 40K	*2401JH
DSXF1 LED P1 50K WFL MVOLT THK DDBXD	DSXF1 LED P1 50K	*2401JG
DSXF1 LED P2 40K WFL MVOLT THK DDBXD	DSXF1 LED P2 40K	*2401JL
DSXF1 LED P2 50K WFL MVOLT THK DDBXD	DSXF1 LED P2 50K	*2401JJ
DSXF1/2 Slip-fitter Tenon Accessory DDBXD	DSXF1/2TS DDBXD U	*2166SK

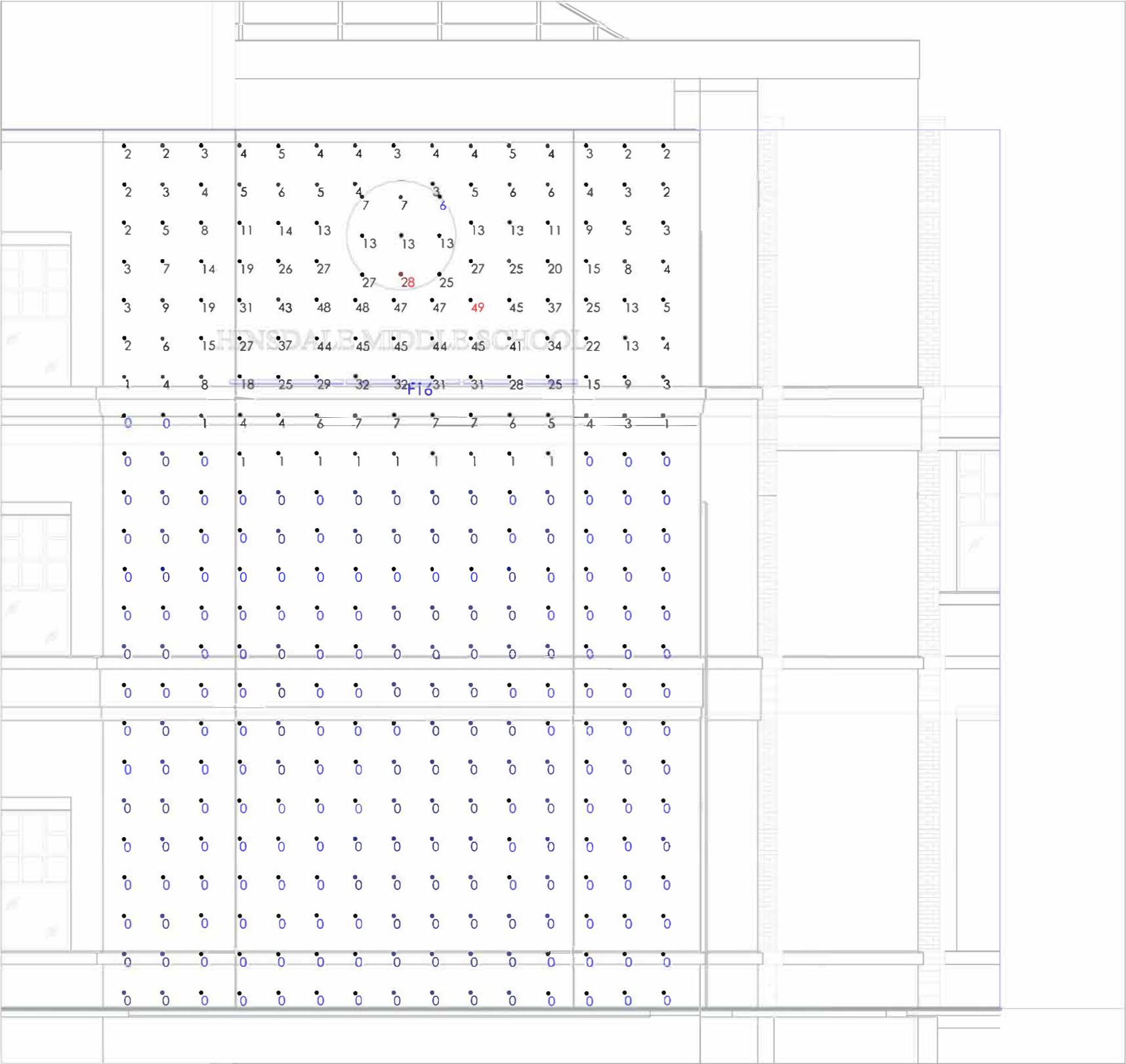
NOTES

1. MVOLT driver operates on line voltage from 120-277V.
2. Requires MVOLT or 347V (not available in 480V).
3. Also available as accessories; see Accessories information at left.

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.								
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	Manufacturer	Description
	3	F16	Single	8645	85	0.450	SPI Lighting Inc. 10400 N Enterprise Drive, Mequon, WI 53092	SEWS 077 L85.9W 4000K FT 24VDC 19FT MCS 018 AN04 PS (C/O 3 -6FT SECTIONS) -DIMMED APROX. 50%

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Max/Min	Calc Plane Ht	
BUILDING FACADE	Illuminance	Fc	4.93	49	0	N.A.	0 to 45.67	
MEDALLION_Face	Illuminance	Fc	15.44	28	6	4.67	37.3 to 43	
SIGN AREA	Illuminance	Fc	16.21	49.0	1.0	49.00		

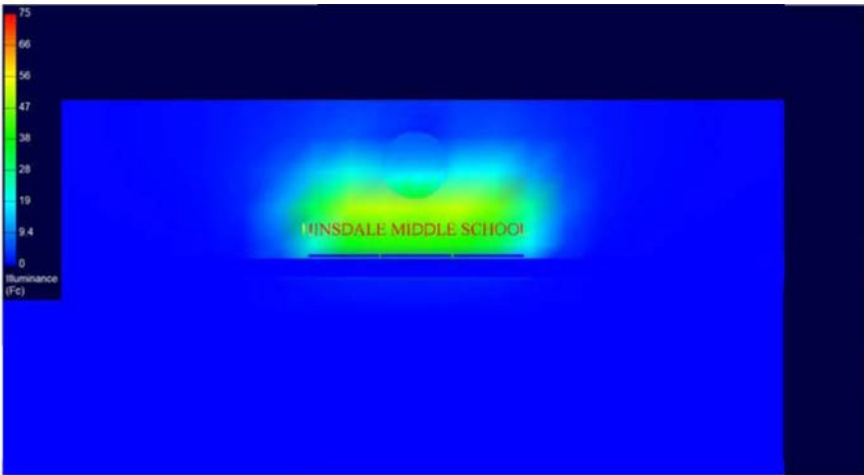
Garfield Street Wall Sign Illumination Photometrics



Scale: 1 inch= 3 Ft.



Render images are not to scale and are provided solely to illustrate contrast.



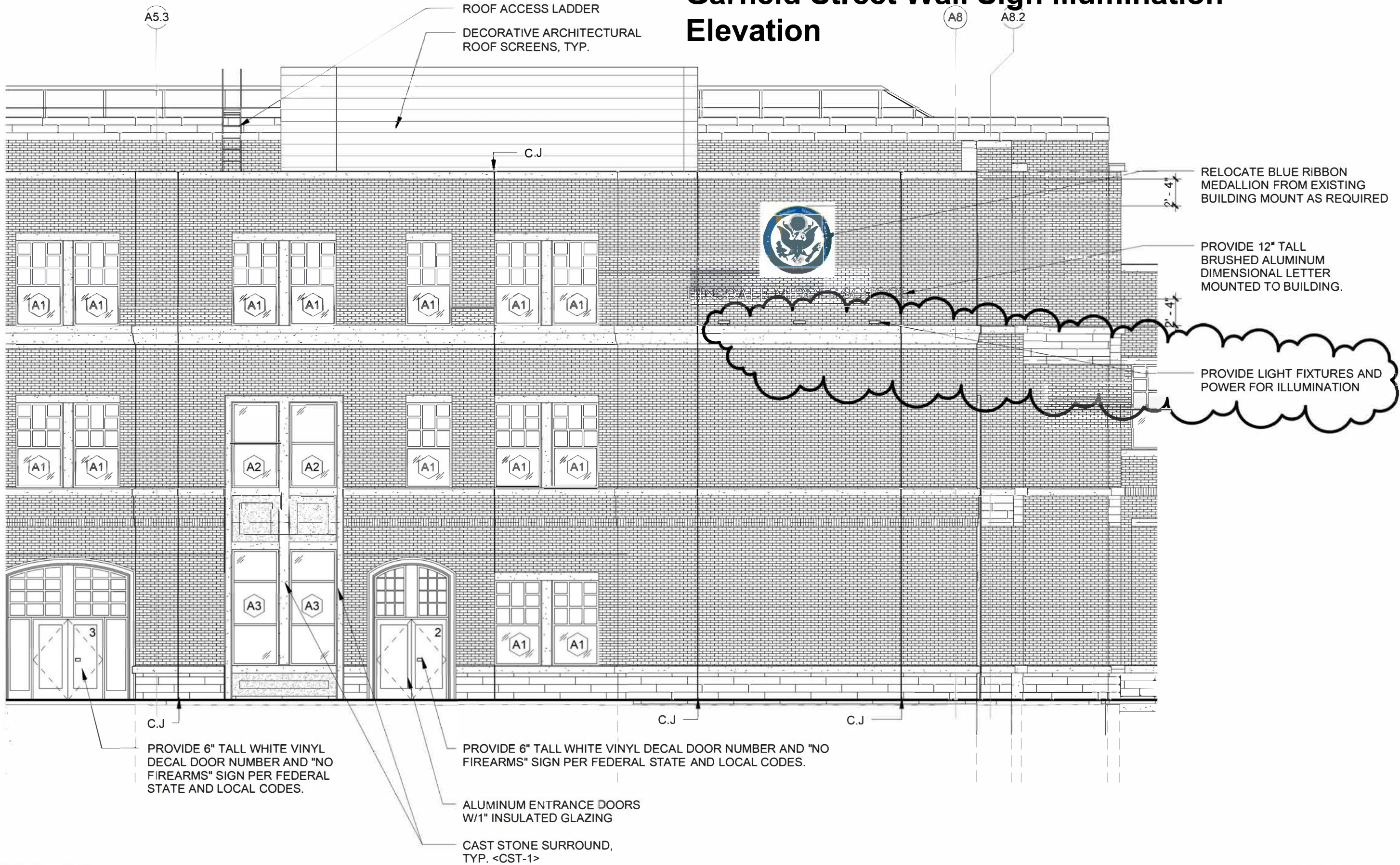
Render images are not to scale and are provided solely to illustrate contrast.

NOTES	
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.	
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.	
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.	
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.	
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.	
CALCULATION GRID VALUES 2'-0" O.C.	



PROJECT NAME:		CLIENT NAME:	
HINSDALE MIDDLE SCHOOL FACADE		HINSDALE MIDDLE SCHOOL	
DATE: 8/15/2022		PAGE: 1 of 1	
DRAWN BY: Joeli Collins joeli.collins@pg-enlighten.com 847.228.1199		PG CONTACT: Jim Sychta jim.sychta@pg-enlighten.com 847.228.1199	
1		2	
3		REVISIONS	

Garfield Street Wall Sign Illumination
Elevation



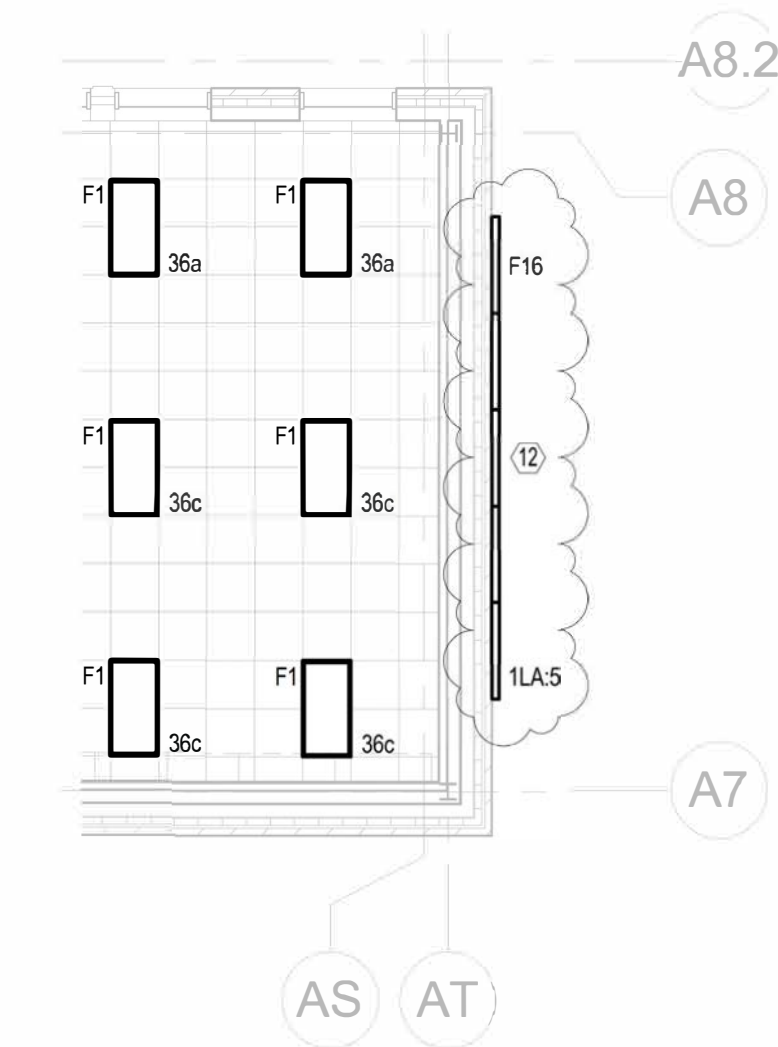
KEY NOTES

- 12 EXTERIOR WALL WASH LIGHT FIXTURE FOR PRESIDENT'S SIGN, SPI #SEWS-101-L115W-40K-SMB-24VDC-19'-BRK-018-AN04-PS. COORDINATE MOUNTING WITH EXTERIOR ELEVATIONS. CONTROL VIA HUBBELL NX POWER PACK WITH NETWORK SCHEDULING AND PRORAMMING.

**Garfield Street Wall Sign Illumination
Plan Detail**



engineering consultants
3 Executive Court | Unit 4 | South Barrington | IL 60010
T: 847.756.4180 F: 847.756.4186 | www.rtmassociates.com

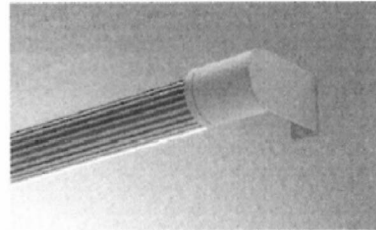


1 PARTIAL THIRD FLOOR PLAN - LIGHTING
1/8" = 1'-0"

HINSDALE MIDDLE SCHOOL CORDOGAN CLARK & ASSOCIATES, INC. 960 RIDGEWAY AVENUE AURORA, ILLINOIS 60506 www.cordogancark.com	PROJECT NUMBER	15-391
	DATE	04/05/18
	SHEET	ASI-024_ESK001
ARCHITECTS ENGINEERS		
716 NORTH WELLS STREET CHICAGO, ILLINOIS 60610		

SEWS Styk Exterior Linear LED
Wall

Remote Power Supply

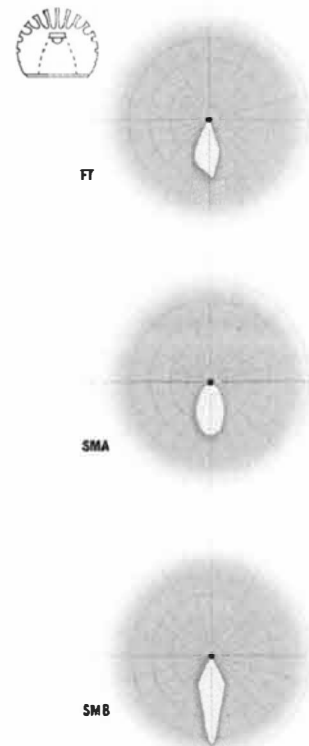


Styk Exterior Linear LED

Styl was built to provide the most lumens with the smallest luminaire package, while optimizing life. Not limited to decorative lighting, effective functional lighting is provided through the optimal light control in this minimal package.

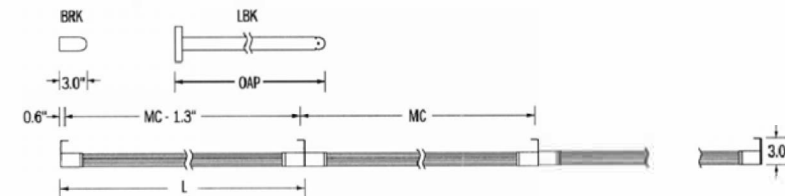
Stylt boasts three white LED color temperatures, RGB and four color offerings. Stylt is a durable interior linear LED fixture. Stylt's patent pending optical offerings enable tremendous flexibility offering wall washing, wall grazing, indirect pendants, and asymmetric lighting solutions.

Optical Distributions

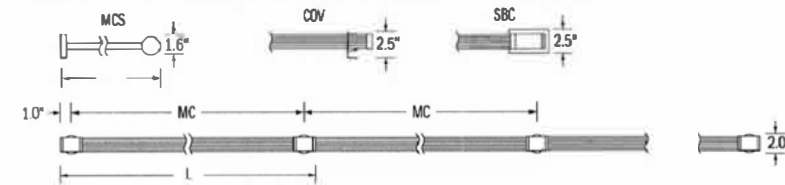


Run Sections and Suspensions

BRK and LBK Bracket Mount



Mini Canopy and Stem Also available with Cove Mount (COV) and Switch-Box and Stem (SBC).



Dimensions

MODULE	MOUNTING CENTER	BRK	LBK	MCS	COV	SBC
016	16.3"	16.3"	19.1"	20.0"	13.3"	20.2"
028	28.0"	28.0"	30.8"	31.7"	24.8"	32.0"
039	39.8"	39.8"	42.6"	43.5"	36.5"	44.8"
051	51.3"	51.3"	54.1"	55.0"	48.0"	55.3"
101	101.0"	101.0"	103.8"	104.7"	96.0"	105.0"

Specifications

- IP66 rated fixture per International Electrotechnical Commission (IEC) certifies fixture as dust tight and protected against powerful water jets.
 - Available in anodized finishes with some parts painted to match. Anodized finish provides optimal thermal effectiveness and durable corrosion protection.
 - Stem mount versions include (2) 5/8" aluminum stem(s) painted to match anodized finish.
 - Each module requires connection to a 24V constant voltage power supply. Modules over 60W may require multiple power supplies/feeds.
 - Lamp body can be rotated up to 330° for application specific aiming
 - SPI Lighting uses strict guidelines in LED selection to ensure the white LEDs we use meet or exceed ANSI Binning Standards (ANSI C78.377).
 - Black power cord standard unless otherwise specified.
 - RGB and color options available. Contact factory for details.
- RELATED LINKS:**
- [LED Power Supplies \(24V DC\)](#)
"Designed to be LED"

Technical Notes

- **INSTALLATION NOTES:** During installation the contractor is responsible to use actual fixtures to ensure accurate mounting centers from one fixture to the next along the length of the linear run.
- 0-10V dimming standard with P.S. option
- Remote Class II power supply required with LED lampings
- L70 = 50,000+ hours
- ETL listed to UL standards (US & Canada) for ground mounting and use in wet locations.



SEWS STYK LINEAR LED

SAMPLE MODEL NUMBER: SEWS 051 129W 3500K 24V DC 120° MCS AN04 PSN

SERIES
SENS

SELECT MODULE
101

LED WATTAGE
L115W
L14W W
L17W
L14W
L19W
L110W
L22W
L43W
L115W W
L29W
L57W
L30W
L57W
L115W

COLOR TEMP
40K
30K
35K
40K
30K
35K
40K
30K
35K
40K

SELECT OPTICS
SMB
FT
SMA
SMB

VOLTAGE
24VDC
24V DC

LENGTH OF RUN
19'
YY'

SELECT MOUNTING
BRK
BRK
COV¹
LBK
MCS
SBC

SELECT PROJECTION
018
003²
006
012
018

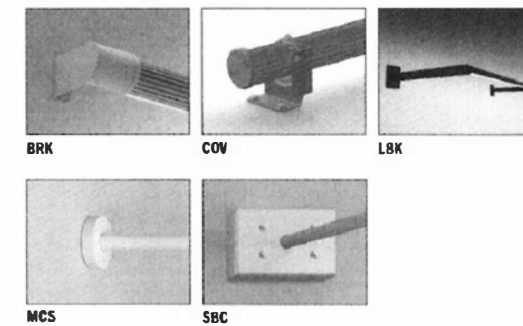
SELECT FINISH
AN04
AN04
AN08

SELECT OPTIONS
PS
F
PS
PSE
PSN

¹ COV mount only.
² BRK & COV mount only.

Mountings and Options

Painted to match



Delivered Lumens

FT SMA SMB	016			028			039			051			101		
	L14W	L7W	L14W	L8W	L14W	L29W	L11W	L22W	L43W	L15W	L29W	L57W	L30W	L57W	L115W
	292	512	1023	585	1023	2120	804	1608	3143	1097	2120	4167	2193	4167	8407
	239	418	836	478	836	1731	657	1313	2567	896	1731	3403	1791	3403	5866
	220	384	769	439	769	1592	604	1208	2361	824	1592	3129	1647	3129	6314

Code Definitions

OPTICS		MOUNTING		PROJECTION		OPTIONS	
SMA	Symmetric 60° Beam - 120° Spread	BRK	3" Bracket Mount	003	3.0"	F	Fusing
SMB	Symmetric 30° Beam - 60° Spread	COV	Cove Mount	006	6.0"	PS	Remote Power Supply
FT	Forward Throw	MCS	2" Mini Canopy and Stem	012	12.0"	PSE	Power Supply Enclosure
		LBK	Fixed Bracket	018	18.0"	PSN	No Power Supply
		SBC	Switch-Box Cover and Stem				
				FINISHES <i>(See Color Chart for Details)</i>			
				AN04 Anodized Aluminum (Clear)			
				AN08 Black Anodized			

Flag Pole & Flag 1 – South

Flag Pole and Flag 1 – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required

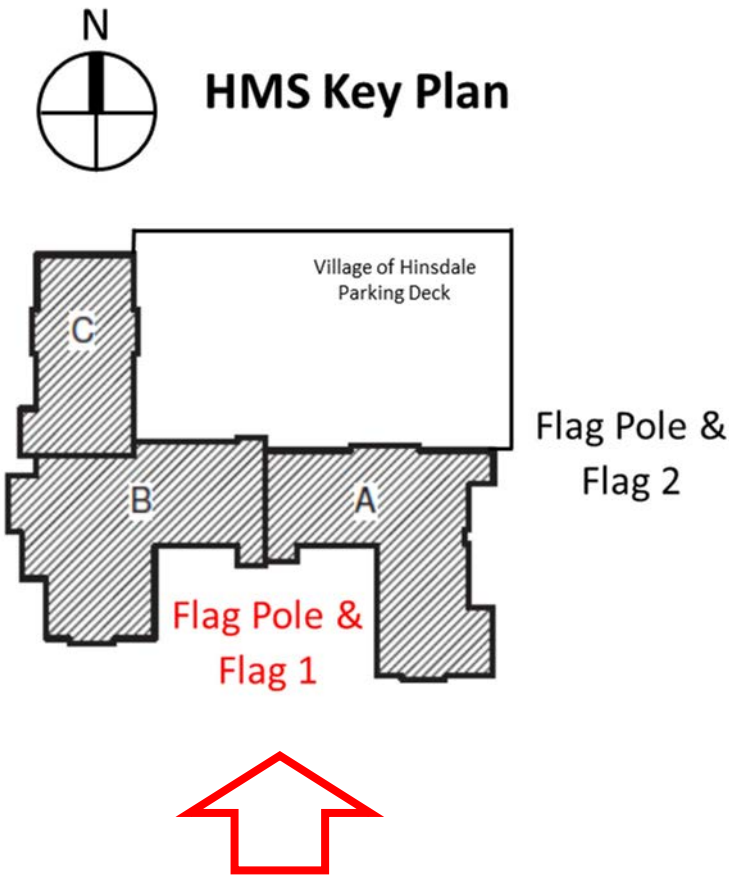


Hinsdale Middle School South Elevation

Flag Pole and Flag 1



South Entry – Flag Pole & Flag 1

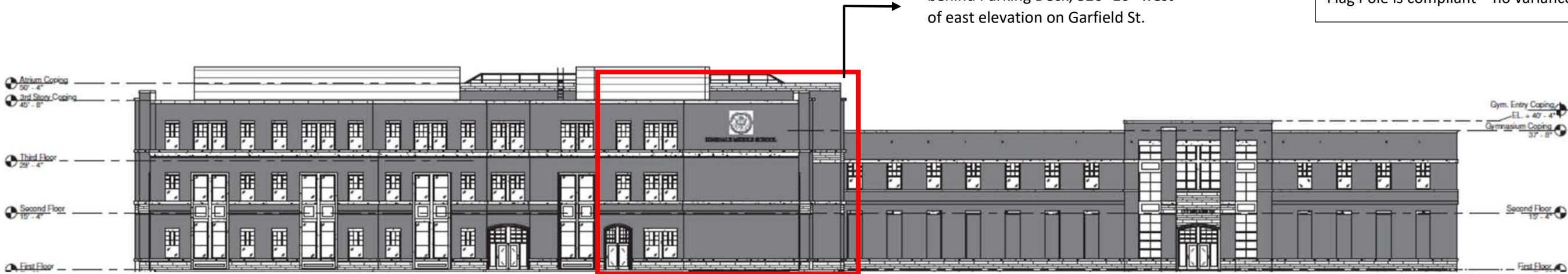


South Elevation

Flag Pole & Flag 2 – East

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.

Flag Pole and Flag 2 – Variance Being Requested:
5. The size of a flag
Flag Pole is compliant – no variance required

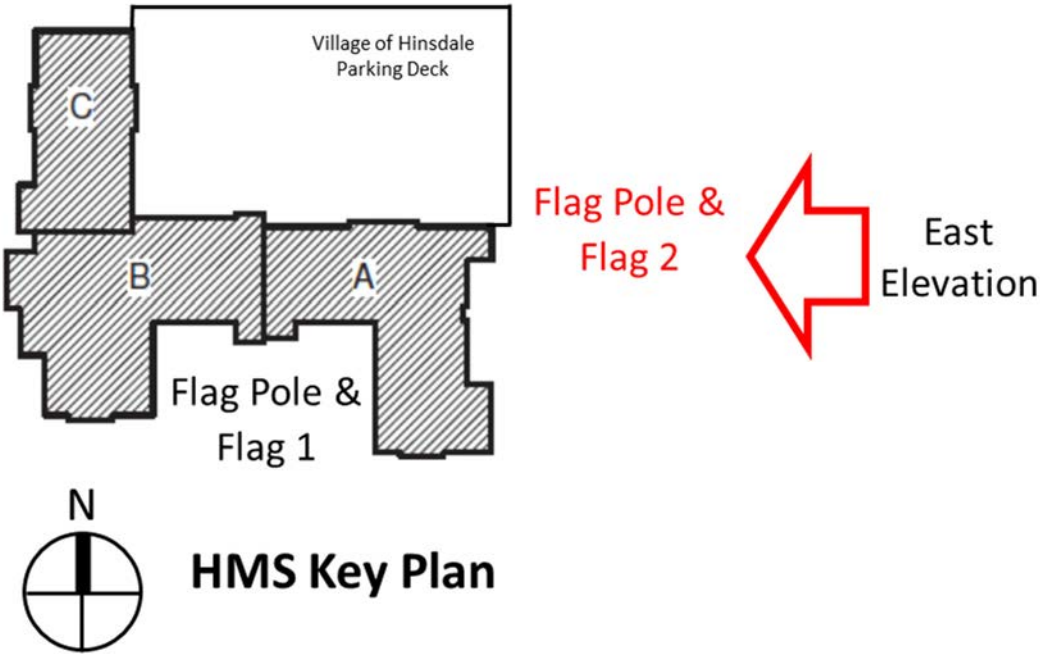


Flag Pole & Flag 2

Hinsdale Middle School East Elevation



Garfield Street – Flag Pole and Flag 2 with Monument Sign (7), Wall Sign (5), Emblem (6)



Flag Pole & Flag 1 & 2 – Flag Pole Height

BULLEY & ANDREWS
Building Matters®

Bulley & Andrews LLC
1755 W. Armitage Avenue
Chicago IL 60622
USA

TRANSMITTAL
No. TRN0556

PROJECT: School District 181 - New Hinsdale Middle School
TO: CORDOGAN CLARK & ASSOC
716 N WELLS ST
CHICAGO IL 60610
UNITED STATES

DATE: 07/20/2018
RE: 103500-Flagpole

ATTN: Alex Lopez JOB: 116190

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input type="checkbox"/> Attached <input type="checkbox"/> Separate Cover	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Other:		<input checked="" type="checkbox"/> Due Date: 07/27/2018
<input type="checkbox"/> Submittal:		<input type="checkbox"/> Other:

Line	Item	Package	Code	Rev.	Qty	Date	Description	Status
1	Submittal	103500	103500-001	1		07/20/2018	Flagpole Shop Drawings	New

SMITHGROUP JJR
SUBMITTAL REVIEW STAMP
www.smithgroupjjr.com

Review is only for the limited purpose of checking for general conformance with the information given and the design concept expressed in the Contract Documents. The Final Review Code on the Submittal Review Sheet shall prevail.

REVIEW CODE	
<input type="checkbox"/> Approved (AP)	21020.000
<input checked="" type="checkbox"/> Approved as Noted (AN)	Project No.
<input type="checkbox"/> Approved as Noted - Resubmit (AN-R)	103500-001
<input type="checkbox"/> Rejected (REJ)	Submittal No.
<input type="checkbox"/> Not Requested by Contract Documents (X)	J. Helfrich
<input type="checkbox"/> Information Only - Received (INF)	Reviewed By
	07/30/2018
	Review Date

REMARKS: Attached 40' tall flagpole has been submitted per owner/architect request in lieu of 25' tall flagpole shown per the contract drawings.

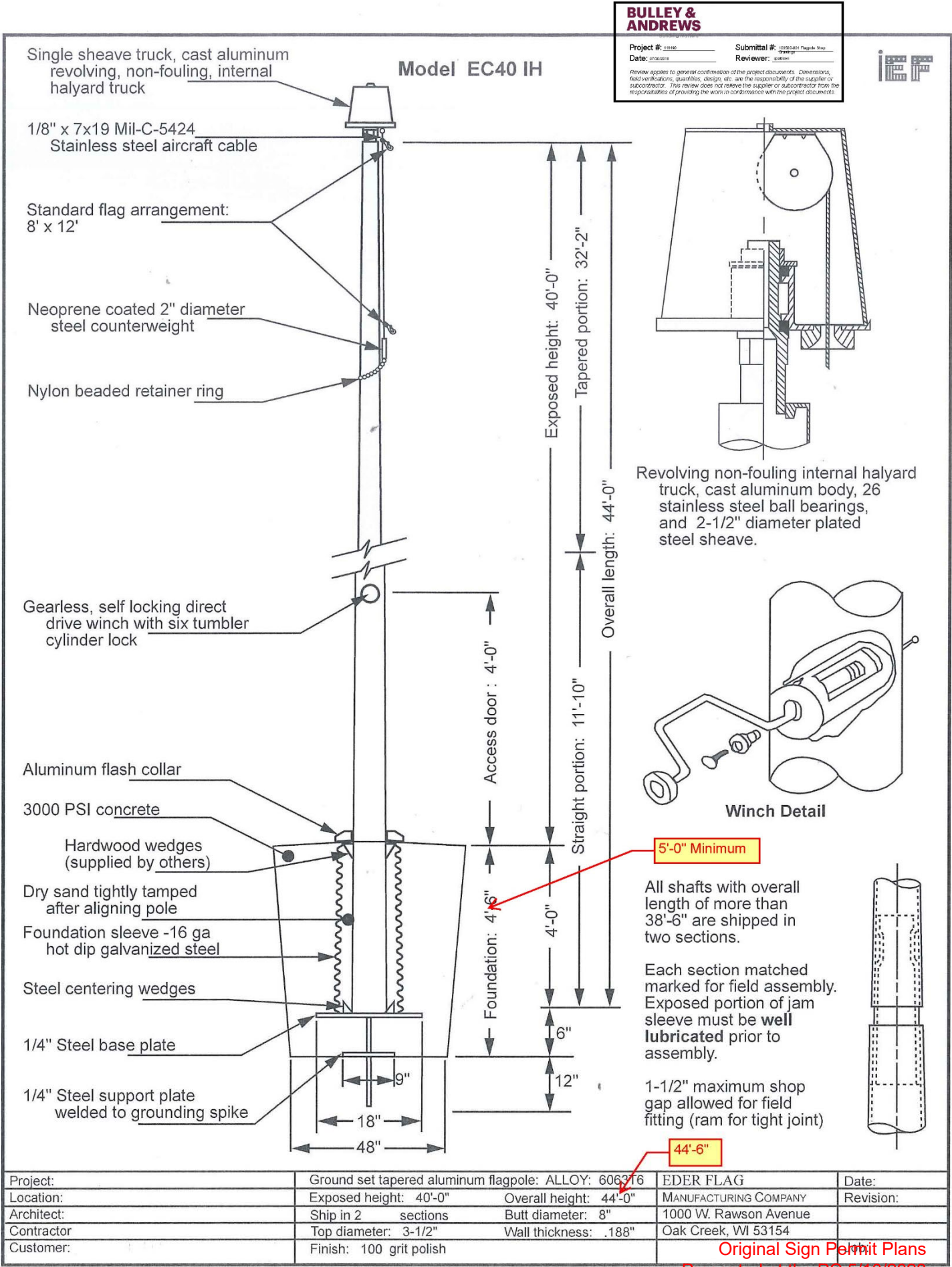
Flag Poles and Flags – Variance Being Requested:

5. The size of a flag

Flag Pole is compliant – no variance required

Note:

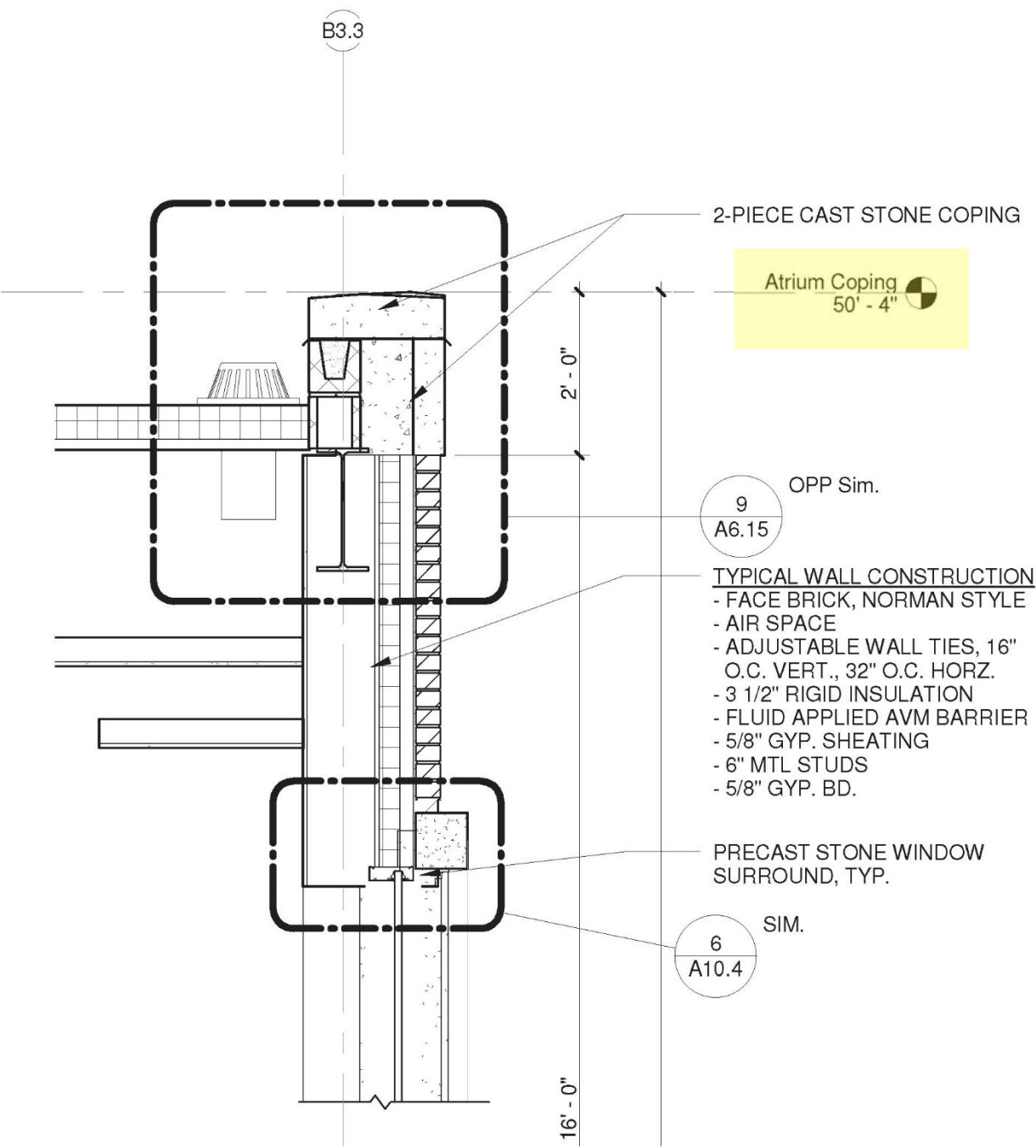
Flag pole shop drawing documenting flag pole height of 44'-6"



Flag Pole & Flag 1 & 2 – Flag Pole Height

Flag Poles and Flags – Variance Being Requested:

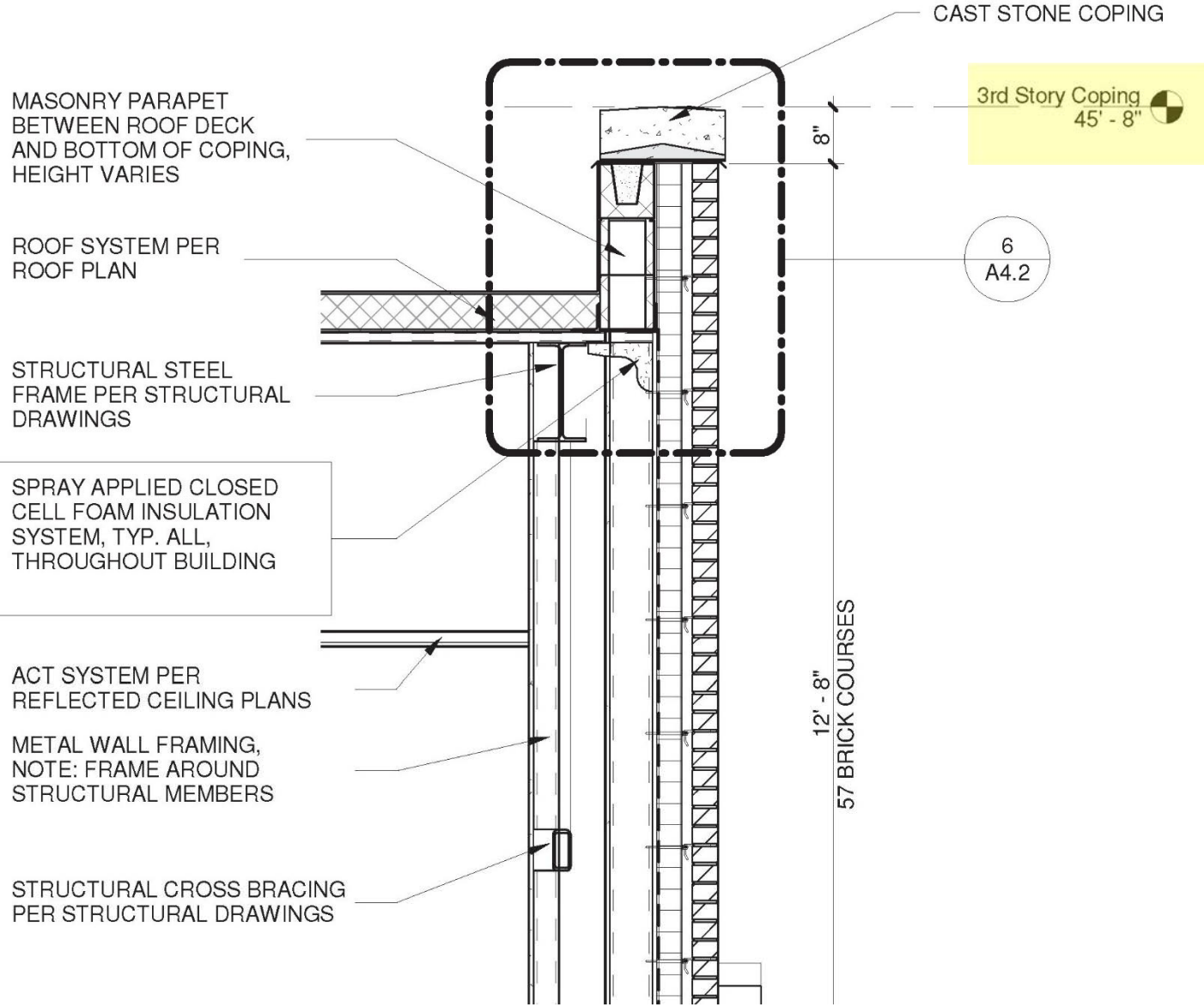
5. The size of a flag
Flag Pole is compliant – no variance required



HMS building section indicating 50'-4" building height at south

Notes:

Flag pole base is located just below elevation 0'-0"
Flag pole height is 44'-6"
Wall height is 50'-4" on south and 45'-8" on east
Top of Flag pole is below building height



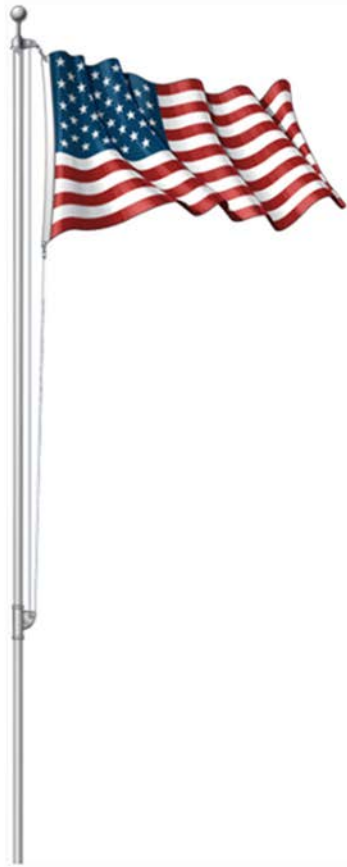
HMS building section indicating 45'-8" building height at east

Flag Pole & Flag 1 & 2 – Flag Details



Images of HMS south elevation showing 44’-6” flag pole & 96 SF flag

What Size Flag Do I Need to Purchase for My Flagpole?

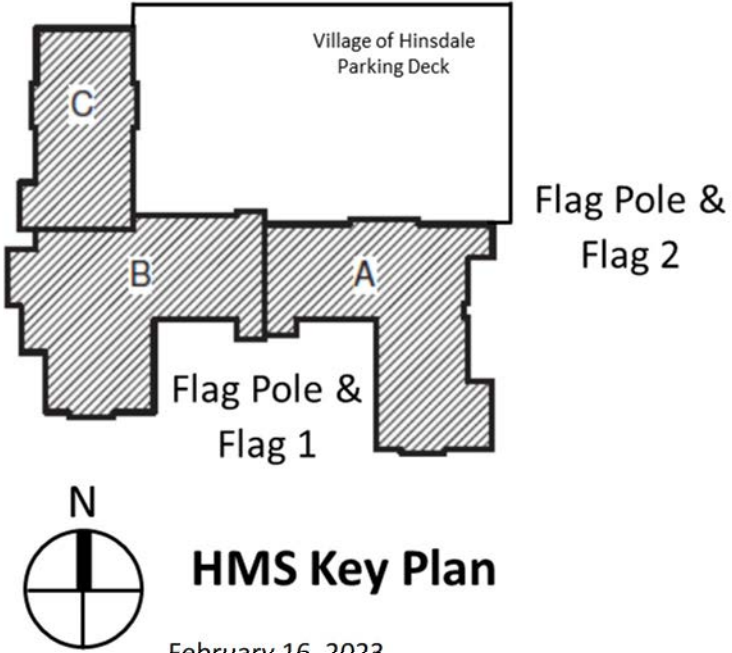


Flagpole Style	Height (length) of Pole	Flag Size
House Mounted	5 ft.	2-1/2 ft. x 4 ft.
House Mounted	6 ft. to 8 ft.	3 ft. x 5 ft.
In Ground	8 ft.	3 ft. x 5 ft.
In Ground	10 ft.	3 ft. x 5 ft.
In Ground	15 ft. to 19 ft.	3 ft. x 5 ft.
In Ground	20 ft. to 24 ft.	3 ft. x 5 ft. or 4 ft. x 6 ft.
In Ground	25 ft. to 29 ft.	5 ft. x 8 ft. or 6 ft. x 10 ft.
In Ground	30 ft. to 39 ft.	5 ft. x 8 ft. or 6 ft. x 10 ft.
In Ground	40 ft. to 49 ft.	6 ft. x 10 ft. or 8 ft. x 12 ft.
In Ground	50 ft. to 59 ft.	8 ft. x 12 ft. or 10 ft. x 15 ft.
In Ground	60 ft. to 69 ft.	10 ft. x 15 ft. or 12 ft. x 18 ft.
In Ground	70 ft. to 79 ft.	12 ft. x 18 ft. or 15 ft. x 25 ft.
In Ground	80 ft. to 89 ft.	12 ft. x 18 ft. or 20 ft. x 30 ft.
In Ground	90 ft. to 99 ft.	15 ft. x 25 ft. or 20 ft. x 30 ft.
In Ground	100 ft. to 119 ft.	15 ft. x 25 ft. or 20 ft. x 38 ft.
In Ground	120 ft. to 149 ft.	20 ft. x 38 ft.
In Ground	150 ft. to 200 ft.	30 ft. x 50 ft.
In Ground	200 ft. +	30 ft. x 60 ft.

Chart indicating recommended flag size based on flag pole height

Flag Poles and Flags – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required



PLAT OF SURVEY

OF

THE SOUTH 71 FEET OF LOT 3 AND 4 AND ALL OF LOT 5 AND 6 IN BLOCK 3, LOT 1 THROUGH 8, BOTH INCLUDING, IN BLOCK 3, AND LOT 1 THROUGH 8, BOTH INCLUDING, IN BLOCK 3, IN THE ORIGINAL TOWN OF WINDSLE, BEING A SUBDIVISION OF THE NORTHWEST QUARTER, COUNTY OF GARFIELD, STATE OF MONTANA, ACCORDING TO THE PLAT RECORDED IN BOOK 14, PAGE 10, OF THE RECORDS OF THE COUNTY OF GARFIELD, MONTANA, TOGETHER WITH TWO (2) VACATED ALLEYS (ONE BETWEEN BLOCKS 3 AND 4 AND TOGETHER WITH THE VACATED ALLEY BEING NORTH AND SOUTH THROUGH THE SOUTH 71 FEET OF LOT 3 AND 4 AND ALL OF LOT 5 AND 6 AND ADJOINING LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 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May 26, 2023

Village of Hinsdale Community Development Department
19 E. Chicago Avenue
Hinsdale, Illinois 60521

Re: Hinsdale Middle School Sign Permit Application

Dear Mr. McGinnis,

District 181 appreciates the feedback during the Plan Commission meeting of May 10, 2023. We also appreciate the continuance provided to allow District 181 to study options to respond to the comments. This letter and the attached material are provided to amend the March 20, 2023 District 181 submittal.

Five areas of the original application are being modified by this amended request:

1. "Hinsdale Middle School" (Sign 5) changes to signage height and relocation from original location on the Garfield Street elevation.
2. Blue Ribbon emblem height and illumination modifications on the Garfield Street elevation.
3. Lighting changes to the Garfield Street flag pole illumination.
4. Lighting operation clarifications for Blue Ribbon and Monument sign illumination.
5. District 181 plan for other HMS issues raised at the meeting unrelated to the sign application.

Additional detail on each of these five areas is provided below along with a listing of revised exhibits for each area.

1. "Hinsdale Middle School" (Sign 5) Changes

This amended proposal relocates the "Hinsdale Middle School" pin lettering from the Garfield Street elevation. The lettering is proposed to be reinstalled on the east side of the north gymnasium wall at the north Parking Deck entry.



The sign at this location will be fully compliant with code required mounting height for signage. The top of the sign at this location is 18'-2" above grade and below the sill of second floor windows. There is no lighting on this sign.

This location will provide signage for the second entrance to the Parking Deck immediately adjacent the ramp off the Washington Street Parking Lot.

Attached *20230526_Exhibit5-R_HMSNorthSign5-R_Details* illustrates this location

2. Blue Ribbon Emblem (Sign 6) Height and Illumination Modifications

On Garfield Street, with the elimination of the HMS lettering, the Blue Ribbon emblem will be lowered. The top of the emblem at this location will be 39'-0" above finished floor. This will lower the mounting height Variance 4 from 42'-8" to 39'-0".

Since the emblem is 52" in diameter this will allow the lighting to be reduced from 24' to 8' in length.

Attached *Exhibit 20230526_Exhibit6-R_HMSEastEmblemSign6-R_Details & 20230526_HMSExhibit7B-R_GarfieldStreetRendering* illustrate these changes.

3. Lighting Changes to Garfield Flag Pole

As was presented at the May 10 Plan Commission meeting, the ground lighting on the flag has been eliminated. The flag pole has an internal light at the top to illuminate the flag the same as the existing flag pole on the south side of the school.

Attached *20230526_HMSExhibit7E-R_MonumentSignSite&LandscapePlans* and *20230526_HMSExhibit7F-R_MonumentSignLighting* show the lighting at the Monument Sign with these two fixtures eliminated and the new Exhibit *20230526_HMSExhibit9A_FlagPoleLighting* provides details on the internal flag pole lighting that were presented at the May 10 Plan Commission meeting.

4. Lighting Operations Clarifications



The following clarifies lighting operations based on discussion at the meeting:

- Only the Monument Sign and the Blue Ribbon Emblem are illuminated, all other signage is not illuminated.
- The two illuminated signs will be in compliance with code required maximum of 50 FC.
- Both lights will be verified to be in compliance with hours of operation for signs adjacent Residential Area (not illuminated between 10:00 PM and 7:00 AM, except during activities). Please note that neither sign is adjacent a Residential Area but this modification will be made to address discussion during the Plan Commission meeting of May 10.

5. District 181 Plans for HMS

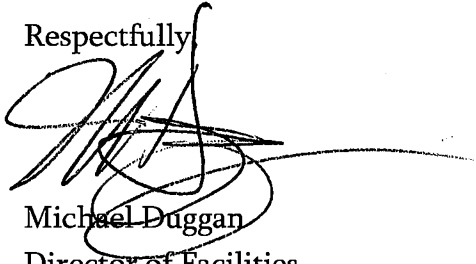
Two other issues regarding the middle school were raised at the meeting and District 181 is undertaking the following to address these items:

- District 181 is planning this summer to engage a lighting controls expert to review the lighting timers and occupancy sensors in an attempt to minimize the building corridor lighting being on when the building is not occupied by students and staff. Once an inspection report and recommendations are completed District 181 will implement feasible changes based on the cost and complexity of the recommendations.
- Flag pole noise, in late 2019 District 181 verified that the specified neoprene cover on the counter weight and the nylon beaded retainer ring were installed to reduce noise. At that time District 181 purchased and in early 2020 installed vinyl snap covers to further reduce noise. These features will be included on the Garfield Street pole and additional sound reduction features will be investigated with the flag pole manufacture.



Also attached is the Exhibit *20230526_HMSSignage_SummaryInformation-R* reflecting the changes outline above.

Respectfully,



Michael Duggan

Director of Facilities

Community Consolidated School District 181



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Sign No. 5

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 / _____
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 21 (252" x 12")

Overall Height from Grade: ~~35'-8"~~ 18'-2" Ft.

Proposed Colors (Maximum of Three Colors):

① Clear anodized aluminum

1 thus

② _____

③ _____

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

Hinsdale Middle School Signage

Summary Information Revised

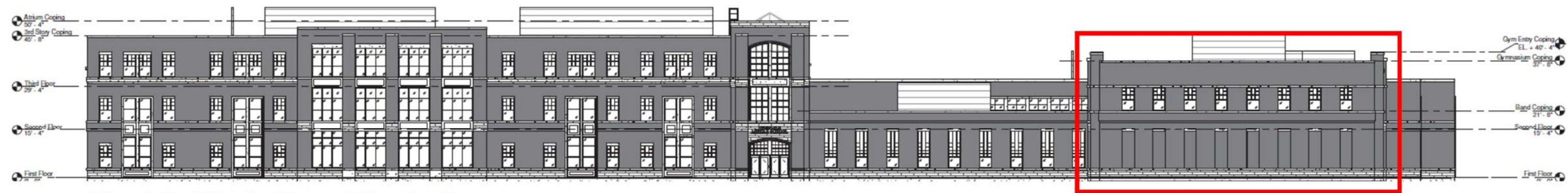
Designation	Name	Sign Type	Description	Location	Lighting	Lighting Compliance	Wall Signs in Inches		Area Square Feet	Variance Number(s)	Sign Application Form	Exhibits	Mounting Height (top of wall sign)	Colors
							Length	Height						
Sign 1	Hinsdale Middle School - South	Wall Sign	Pin mounted letters over south entry doors	3rd Street	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 1 - Wall Sign 1 Details	16'-7"	Clear anodized aluminum
Sign 2	Gymnasium - West	Wall Sign	Pin mounted letters over west Gymnasium entry doors	Washington St	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 2 - Wall Sign 2 Details	16'-4"	Clear anodized aluminum
Sign 3	Gymnasium - East	Wall Sign	Pin mounted letters over east Gymnasium entry doors	Parking Deck	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 3 - Wall Sign 3 Details	16'-4"	Clear anodized aluminum
Sign 4	Hinsdale Middle School - North	Wall Sign	Pin mounted letters over north main entry doors	Parking Deck	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 4 - Wall Sign 4 Details	16'-7"	Clear anodized aluminum
Sign 5	Hinsdale Middle School - East		Relocated											
Sign 5-R	Hinsdale Middle School - North Gymnasium	Wall Sign	Relocated pin mounted letters	Washington St Parking Lot	No	N/A	252	12	21.0	1 & 2	5	Exhibit 5-R - Wall Sign 5-R Details	18'-2"	Clear anodized aluminum
Sign 6	Blue Ribbon Emblem	Wall Sign	Wall mounted circular US Department of Education emblem	Garfield St Building Elevation	Yes	Yes	52	52	18.8	1, 2, 3, & 4	6	Exhibit 6 -R - Emblem Wall Sign 6-R Details Exhibit 7B-R - Rendering Proposed Garfield St Entry Exhibit 8 - Garfield Street Wall Sign Illumination-INFORMATIONAL	39'-0"	Painted panel
							Total All Wall Signs		114.7	Square Feet				
Sign 7	Monument Sign	Monument Sign	Ground mounted	Garfield St	Yes	Yes	10'-4"	5'-10"	62.21	None Required Compliant	7	Exhibit 7A - Monument Sign 7 Details Exhibit 7B-R - Rendering Proposed Garfield St Entry Exhibit 7C - Monument Sign Construction Details Exhibit 7D - Monument Sign Overall Site Plan Exhibit 7E-R - Monument Sign Detail Site & Landscape Plans Exhibit 7F-R - Monument Sign Illumination	N/A	2 Types of Brick: Red Ironspot to match building Golden Buff to match building
Additional Informational Exhibits														
Flag Pole 1	Flag Pole - South	N/A	Aluminum Flag Pole	3rd Street	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A	Exhibit 9 - Flag Poles and Flag Details (5 pages)-INFORMATIONAL Exhibit 9A - Flag Pole Illumination (NEW)-INFORMATIONAL	N/A	Aluminum
Flag 1	Flag - South	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
Flag Pole 2	Flag Pole - East	N/A	Aluminum Flag Pole	Garfield St	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A		N/A	Aluminum
Flag 2	Flag - East	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Exhibit 10 - HMS Building Frontage-INFORMATIONAL	N/A	N/A

Sign No. 5-R – “Hinsdale Middle School” – North Gymnasium Wall

Wall Sign 5-R Area: 21.0 SF

- Sign No. 5-R - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

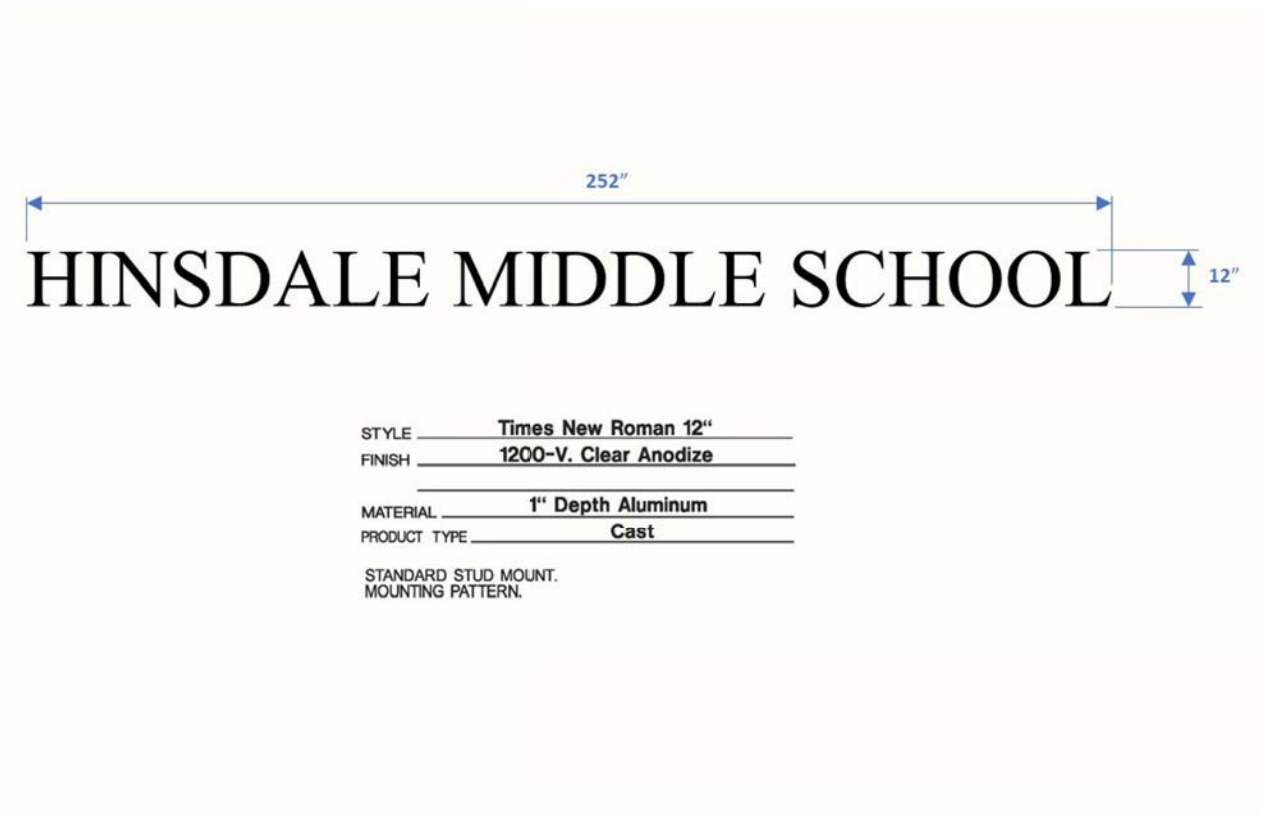


Hinsdale Middle School North Elevation

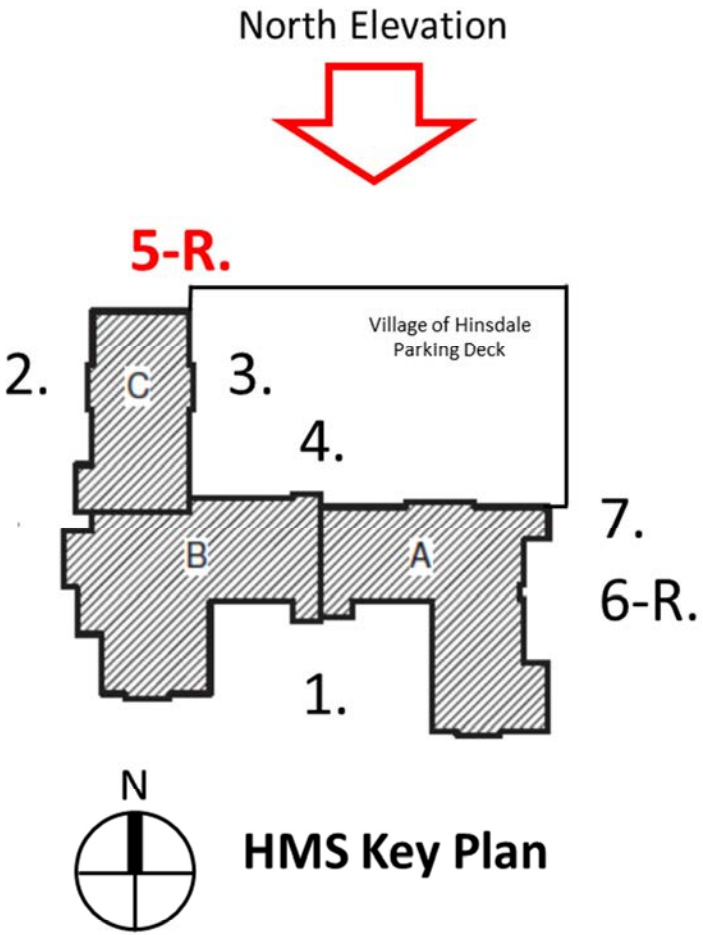
5-R.



North Gymnasium Wall – “Hinsdale Middle School”



Lettering Shop Drawing





HMS Exhibit 5-R
North Gymnasium Rendering

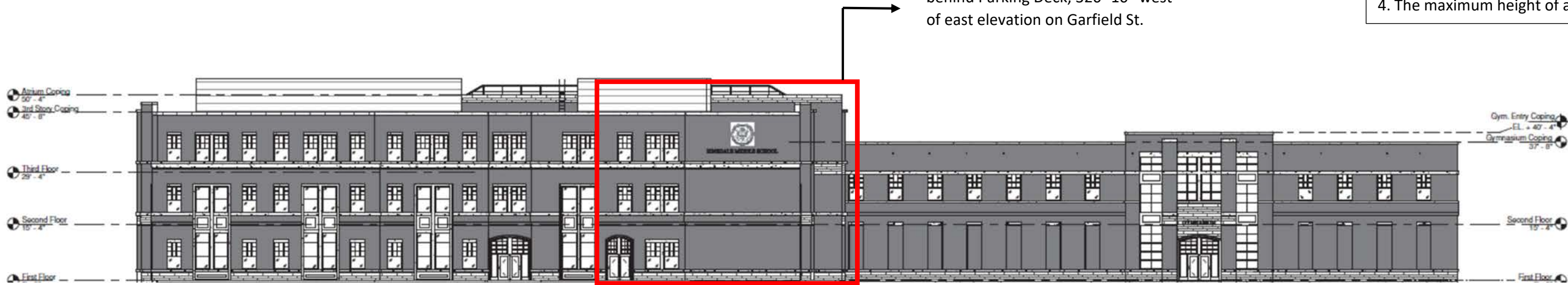
May 26, 2023

Sign No. 6-R – Blue Ribbon Emblem – East

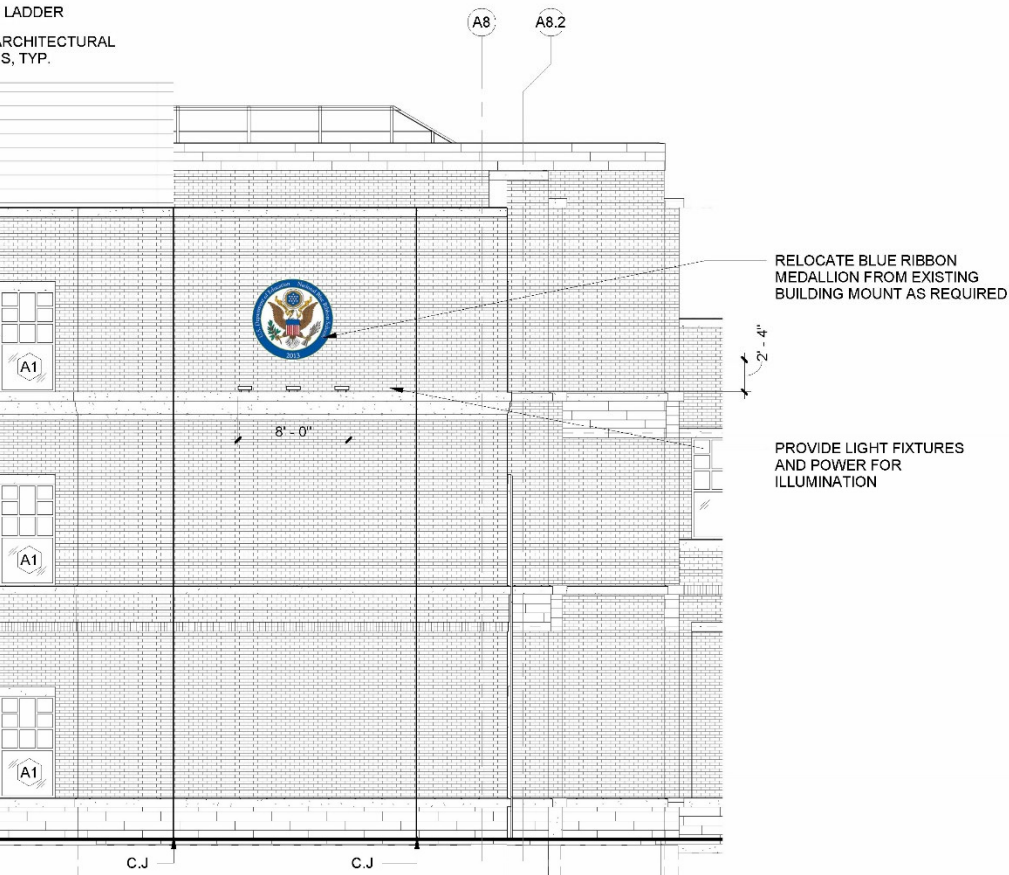
Wall Sign 6-R Area: 18.8 SF

- Sign No. 6-R - Variances Being Requested:
- 1. The number of wall signs permitted per lot
 - 2. The maximum gross surface area of wall signs
 - 3. The maximum gross surface area of an official emblem when displayed as a wall sign
 - 4. The maximum height of a wall sign

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



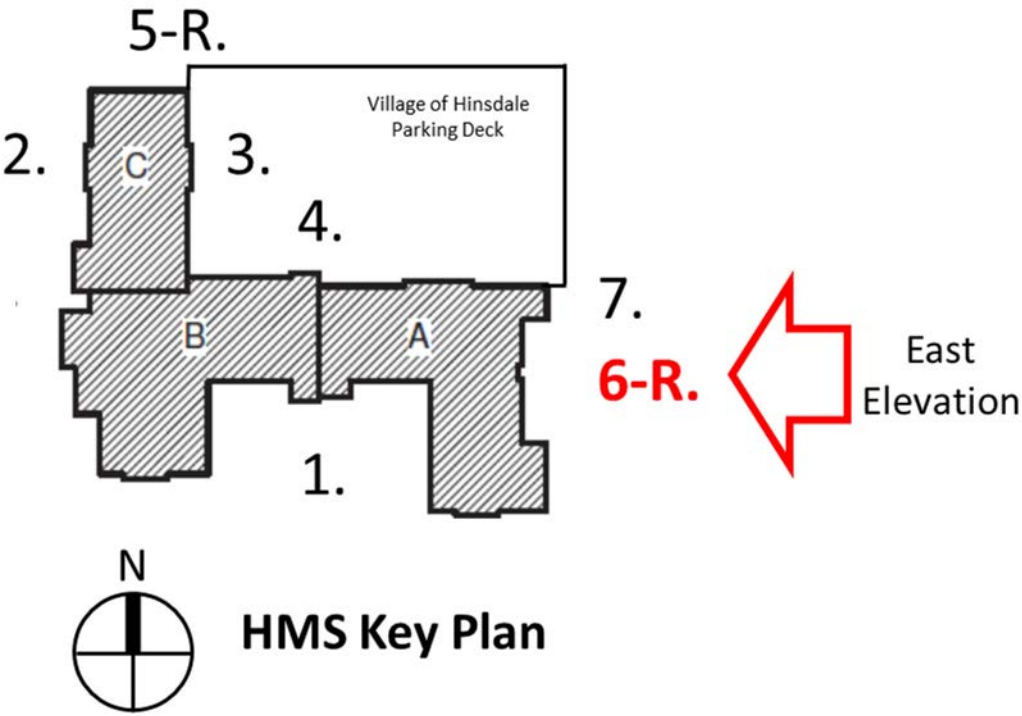
Hinsdale Middle School East Elevation 6-R.



Garfield Street – Blue Ribbon Emblem



Emblem Dimensions – 26" radius





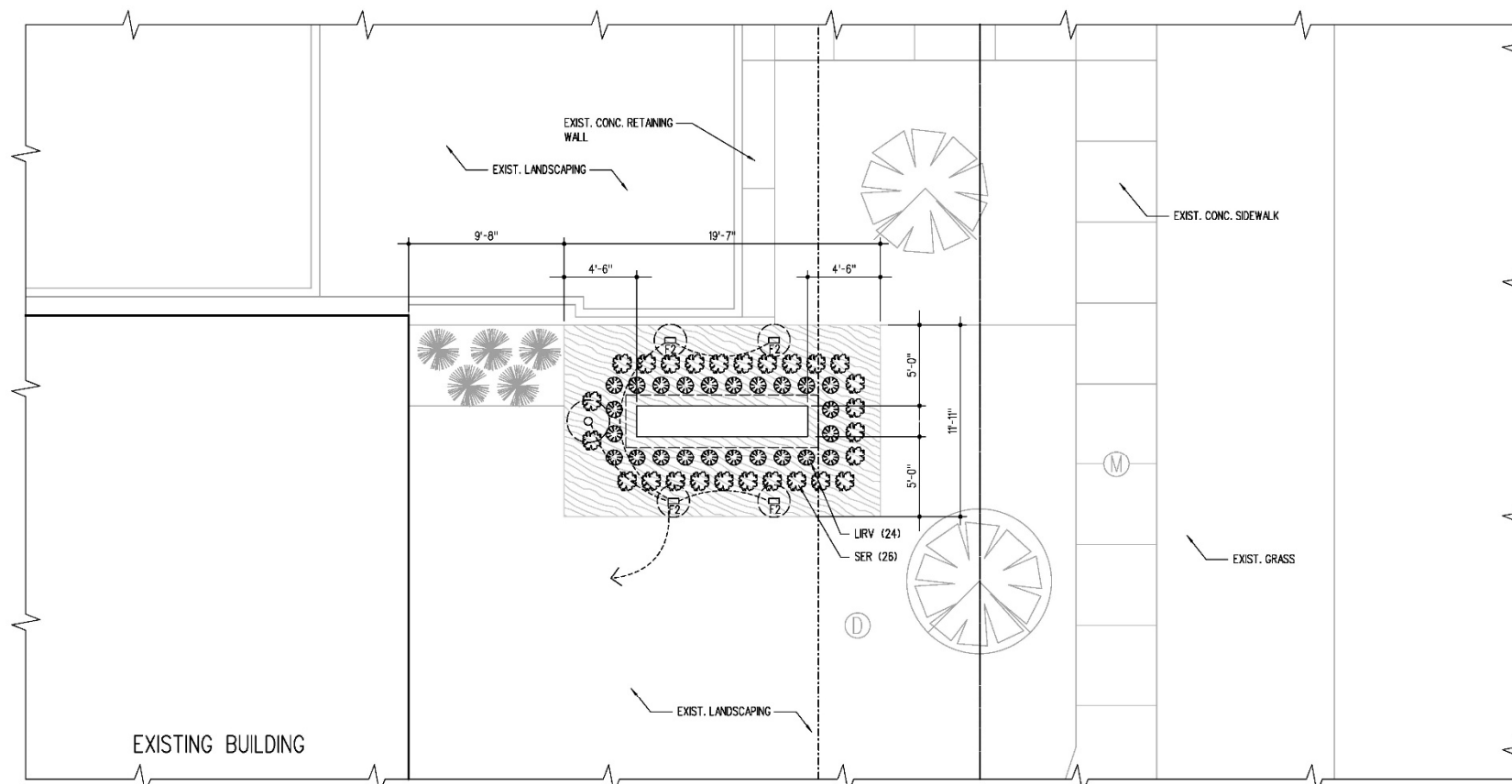
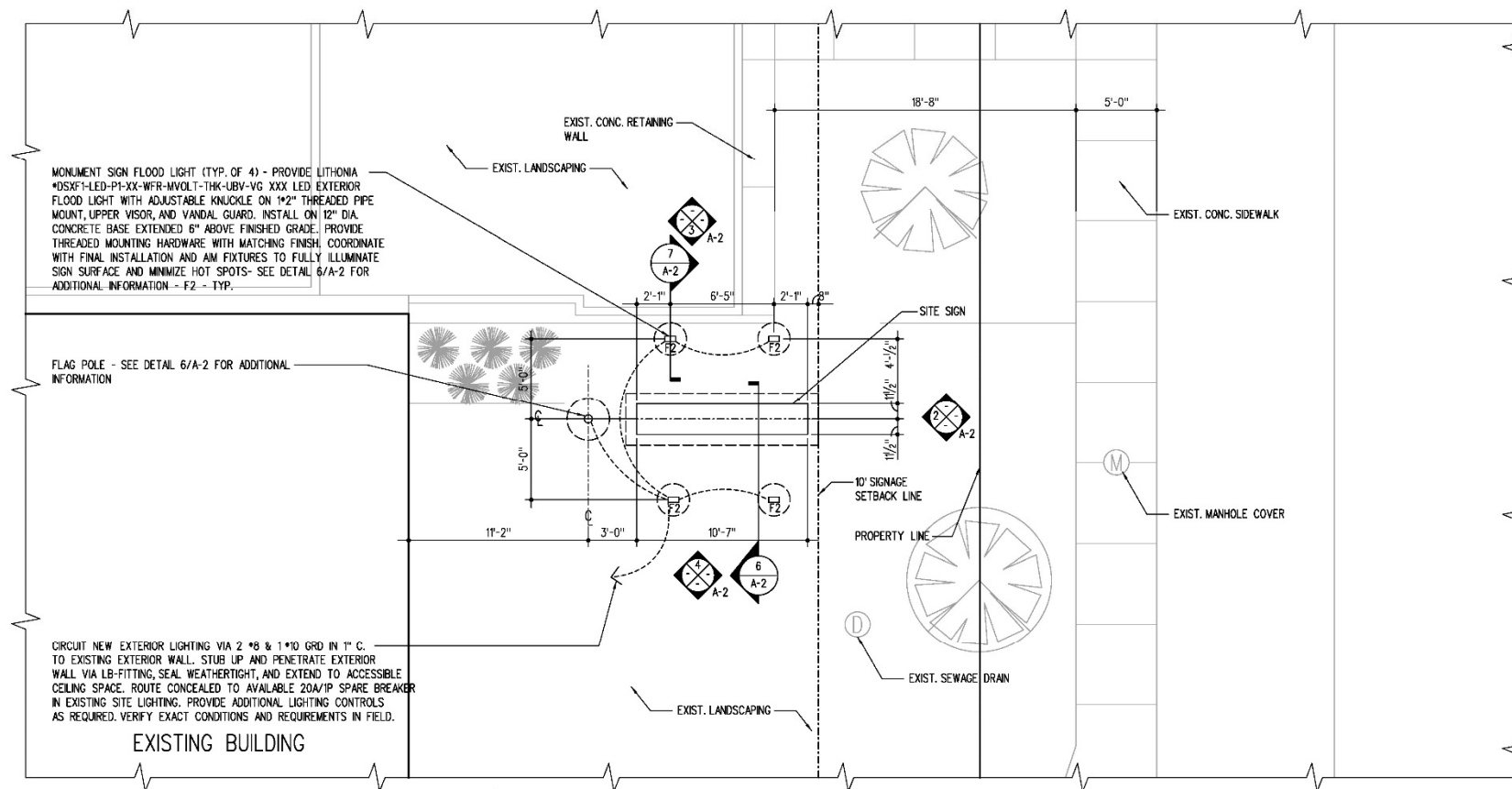
**HEALY
BENDER
PATTON
& BEEN**
ARCHITECTS

Monument Sign

5-22-2022
Exterior Signage Work Hinsdale Middle School
2-1021-12
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HMS Exhibit 7B-R Proposed Garfield Street Entry Rendering

May 26, 2023



- #### SITE PATCHING/REPAIR NOTES:

1. PATCH EXISTING SURFACES AND FINISHES AFFECTED BY THE WORK WITH MATERIALS CONSISTENT WITH EXISTING CONSTRUCTION WHETHER OR NOT PATCH MATERIAL IS INDICATED ON DRAWINGS.
2. REPLACE EXISTING CONCRETE WALKS, CURBS AND BITUMINOUS PAVING DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, PROPERLY CUT OUT AND REMOVE DAMAGED CONCRETE AND/OR BITUMINOUS PAVING DOWN TO SUBBASE, REPAIR, REPLACE AND/OR COMPACT SUBBASE PRIOR TO PROVIDING NEW SURFACE. CONCRETE WALKS, CURBS AND PAVEMENT SHALL MATCH EXISTING PROFILE AND DEPTHS, TYP. UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK.
3. RESTORE GRASS, LANDSCAPING, AND NATURAL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION TO ORIGINAL CONDITION TO PRE-CONSTRUCTION CONDITIONS AS REQUIRED.
4. RESTORE ITEMS/DAMAGED AREAS AT STAGING AREAS, ETC. TO ORIGINAL FULLY FUNCTIONAL CONDITION.

PLANT LIST

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	QTY
GROUND COVER					
LIRV	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILLYTURF	PLUG	SPACING 18" O.C.	24
SER	SEDUM SPURILUM 'RED CARPET'	STONECROP 'RED CARPET'	3" POTS	SPACING 18" O.C.	26

LEGEND

 LANDSCAPE MULCHED PLANTER

May 26, 2023

HMS Exhibit 7E-R - Monument Sign Detail Site & Landscape



**HEALY
BENDER
PATTON
& BEEN**

**EXTERIOR SIGNAGE WORK
HINSDALE MIDDLE SCHOOL
HINSDALE, ILLINOIS**
FOR
COMMUNITY CONSOLIDATED SCHOOL DISTRICT 181
CLARENDON HILLS, DUPAGE COUNTY, ILLINOIS

REVISIONS		DATE	DESCRIPTION
1		03-24-2022	VILLAGE COMMENTS
2		05-16-2023	VILLAGE COMMENTS (2)

PROJECT: 2-1021-12
 DRAWN BY: MS
 DATE: 05-21-2021

SHEET NO.

A-1.2

OF 4

ENLARGED SITE PLAN, ENLARGED LANDSCAPE PLAN

HMS Exhibit 7F-R Monument Sign Lighting



D-Series DSXF1 LED Floodlight



Catalog Number
Notes
Type

TYPE F2 - SIGN

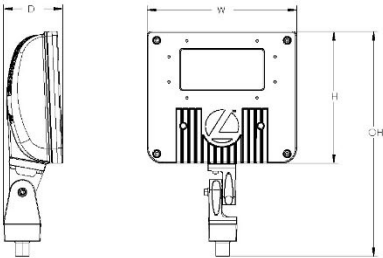
Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF1 delivers 3,000 to 5,500 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 70W to 150W HID floodlights. All configurations are assembled in the USA allowing for quick delivery.

Specifications

EPA:	0.6 ft² (0.06 m²)
Depth:	3.52" (8.9 cm)
Width:	8.86" (22.5 cm)
Height:	7.84" (19.9 cm)
Overall Height:	13.37" (34.0 cm)
Weight:	7.2 lbs (3.3 kg)



Ordering Information

EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DDBXD

DSXF1 LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting
Series					
DSXF1 LED	P1	30K 3000K	WFL Wide flood (6X6)	MVOLT¹	Shipped included
	P2	40K 4000K	FL Flood (5X5)	347	THK Knuckle with 1/2" NPT threaded pipe
		50K 5000K	MFL Medium flood (4X4)		IS Integra slipfitter (fits 2-3/8" O.D. tenon)
			WFR Wide flood rectangular (5X5)		YK62 Yoke with 2ft 16-3.50 cord
			HMF Horizontal medium flood (6X4)		
			MSP Medium spot (4X4)		
			NSP Narrow spot (3X3)		

Options

Shipped installed	Shipped separately²	Finish (required)
PE Photocell, button style²	UBV Upper/bottom visor (Universal)	DDBXD Dark bronze
DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	FV Full visor	DBLXD Black
SPD10KV Separate surge protection	VG Vandal guard	DNAXD Natural aluminum
		DWHXD White

Accessories³

Ordered and shipped separately.

DSXF1/2TS DDBXD U	Slipfitter for 1-1/4" to 2-3/8" O.D. tenon (1/2" TH required) (specify finish)
FTS G66 DDBXD U	Slipfitter for 2-3/8" to 2-7/8" O.D. tenon (1/2" TH required) (specify finish)
FRWB DDBXD U	Radius wall bracket, 2-3/8" O.D. tenon (specify finish)
FSPB DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)
DSXF1UBV DDBXD U	Upper/bottom visor accessory (specify finish)
DSXF1FV DDBXD U	Full visor accessory (specify finish)
DSXF1VG U	Vandal guard accessory

Stock configurations are offered for shorter lead times:

Standard Part Number	Stock Part Number	CI Code
DSXF1 LED P1 40KWFL MVOLT THK DDBXD	DSXF1 LED P1 40K	*240TJH
DSXF1 LED P1 50KWFL MVOLT THK DDBXD	DSXF1 LED P1 50K	*240TIG
DSXF1 LED P2 40KWFL MVOLT THK DDBXD	DSXF1 LED P2 40K	*240TJL
DSXF1 LED P2 50KWFL MVOLT THK DDBXD	DSXF1 LED P2 50K	*240TJH
DSXF1/2Slip-fitter Tenon Accessory DDBXD	DSXF1/2TS DDBXD U	*216GSK

NOTES

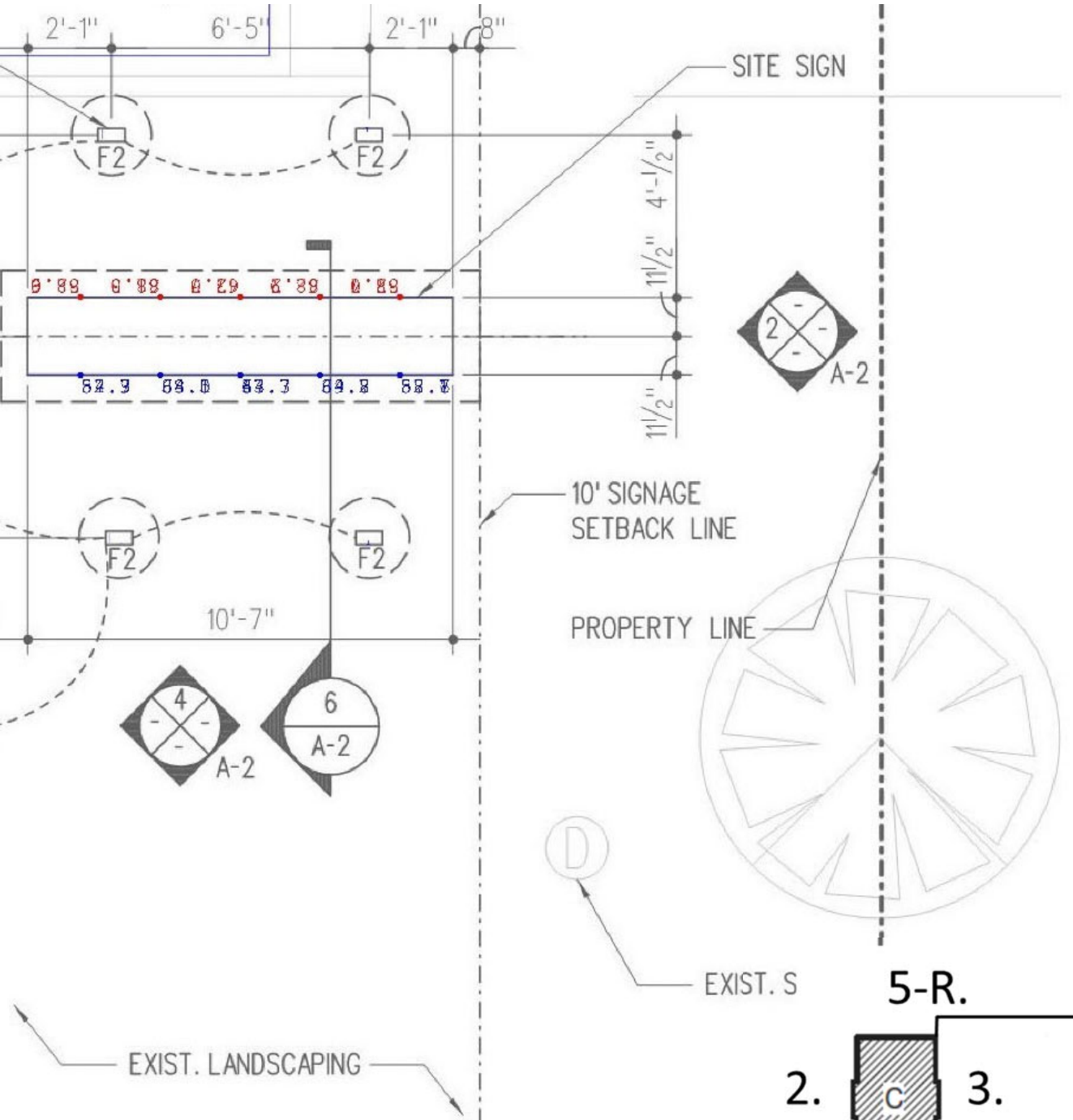
1. MVOLT driver operates on line voltage from 120-277V.
2. Requires MVOLT or 347V (not available in 480V).
3. Also available as accessories; see Accessories information at left.

For more mounting options, visit our Floodlighting Accessories pages.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SEER (7378) • www.lithonia.com
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DSXF1-LED
Rev. 03/07/22
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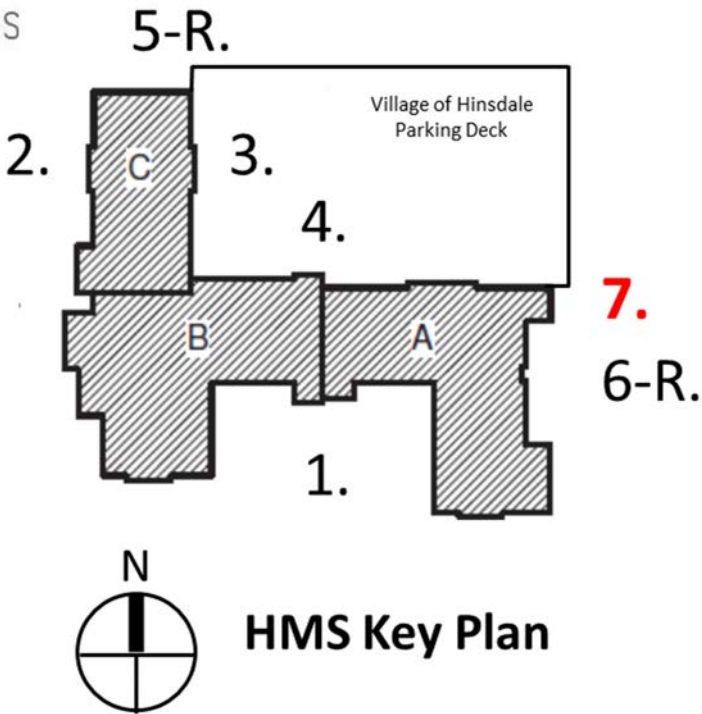


Luminaire Schedule

Symbol	Qty	LLF	Description
>	4	0.950	DSXF1 LED P1 40K WFR

Note:

Install DMG dimmer accessory on Fixture F2 set to 55% dimming to achieve 50 fc illumination on sign face.



Monument Sign Light Fixture

May 26, 2023

Flag Pole 1 & 2 Lighting

Flag Pole and Flag 2 – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required



Internal Flag Pole Light



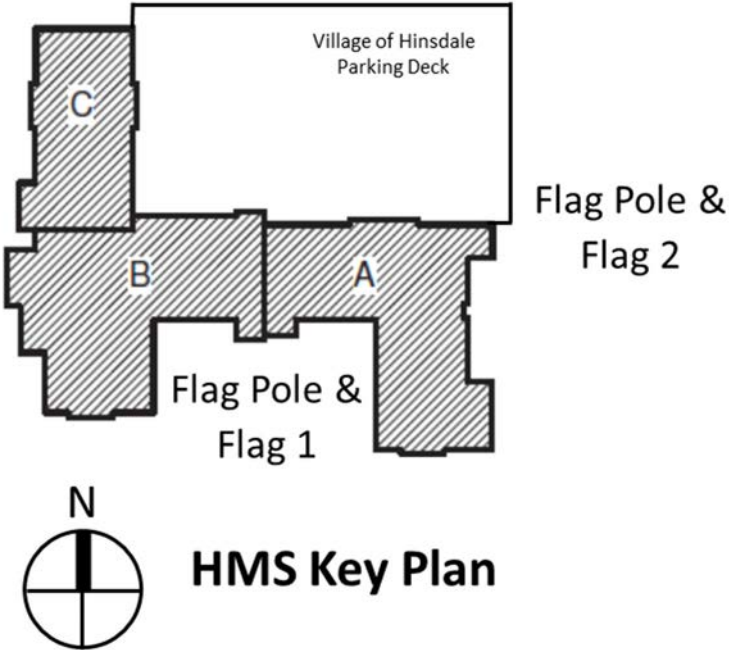
View Facing Flag & Light



View From Behind Flag &



- Light design reduces light pollution
- The Flagpole Beacon light is a certified, IDA-Approved Dark-Sky Friendly Fixture
- Shield covers the bulbs and reduces glare and light trespass in line with International Dark-Sky Association guidelines



May 26, 2023