



MEETING AGENDA

PLAN COMMISSION
Wednesday, May 10, 2023
7:30 p.m.
MEMORIAL HALL – MEMORIAL BUILDING
19 East Chicago Avenue, Hinsdale, Illinois 60521
(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT (Non-Agenda Items)

4. APPROVAL OF MINUTES – April 12, 2023

5. FINDINGS AND RECOMMENDATIONS

- a) Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District

6. PUBLIC MEETINGS

- a) Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District

7. SIGN PERMIT REVIEW

- a) Case A-16-2023 – 40 S. Clay Street – Duly Health and Care – Installation of One (1) Wall Sign, Modification to One (1) Existing Wall Sign, and Installation of New Sign Faces on an Existing Non-Conforming Ground Sign
- b) Case A-15-2023 – Sign Permit Review – 100 S. Garfield Street – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles
- c) Case A-17-2023 – Sign Permit Review – 35 E. First Street – Fuller House – Installation of One (1) Wall Sign

8. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe

and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
PLAN COMMISSION
MINUTES OF THE MEETING
Wednesday, April 12, 2023**

The regularly scheduled meeting of the Village of Hinsdale Plan Commission was called to order by Chairman Cashman, in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, April 12, 2023 at 7:30 p.m., roll call was taken.

PRESENT: Commissioners Jim Krillenberger, Julie Crnovich, Anna Fiascone, Scott Moore, and Chairman Steven Cashman

ABSENT: Commissioners Cynthia Curry, Patrick Hurley, Gerald Jablonski, Mark Willobee and

ALSO PRESENT: Bethany Salmon, Village Planner

Public Comment on Non-Agenda Items

Chairman Cashman asked for public comments. There were no public comments pertaining to non-agenda items.

Approval of Minutes – March 8, 2023

Hearing no comments, a motion was made by Commissioner Krillenberger, seconded by Commissioner Fiascone, to approve the March 8, 2023 draft minutes as submitted. The motion carried by the roll call vote of 4-0 as follows:

AYES: Commissioners Krillenberger, Crnovich, Fiascone, and Chairman Cashman

NAYS: None

ABSTAIN: Commissioner Moore

ABSENT: Commissioners Curry, Hurley, Jablonski, and Willobee

Public Meetings

- a) Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District**

Mike Zalud, the general contractor representing Courtland LLC, provided a brief summary of the project. The proposed plans include a request for a sign at the rear of the building to assist customers with locating the business entry door that leads to the interior elevator. The proposed sign would match the one above the front entrance of the building, with a matching door surround and goose neck lighting. The existing sign for Salon Lofts would be removed.

Commissioner Moore stated the proposed sign, door surround and lighting were a good solution and will look great.

Commissioner Fiascone stated the changes will improve the look of the back area.

Commissioner Crnovich stated it looked great, the sign was clean looking and will coordinate with the historic look of the building and improve the look of the back alley.

Commissioner Krillenberger stated it looked good and was glad the change will benefit the business.

Chairman Cashman stated it looked good and that he appreciated the applicant working with the HPC to make suggested adjustments.

A motion was made by Commissioner Moore, seconded by Commissioner Crnovich, to approve Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District. The motion carried by a vote of 5-0 as follows:

AYES:	Commissioners Krillenberger, Crnovich, Fiascone, Moore, and Chairman Cashman
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioners Curry, Hurley, Jablonski, and Willobee

Adjournment

Chairman Cashman asked for a motion to adjourn. A motion was made Commissioner Krillenberger, seconded by Commissioner Moore, to adjourn the regularly scheduled meeting of the Village of Hinsdale Plan Commission of the April 12, 2023.

The meeting was adjourned at 7:36 PM after a unanimous voice vote of 5-0.

ATTEST: _____
Jennifer Spires, Community Development Office

**FINDINGS OF FACT AND RECOMMENDATION
OF THE HINSDALE PLAN COMMISSION
TO THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES**

APPLICATION: Case A-17-2022 – 36 E. Hinsdale Avenue – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District

PROPERTY: 36 E. Hinsdale Avenue, Hinsdale, IL (PIN: 09-12-129-005)

APPLICANT: Courtland, LLC

REQUEST: Exterior Appearance and Site Plan Review

PLAN COMMISSION (PC) REVIEW: April 12, 2023

BOARD OF TRUSTEES 1ST READING: May 16, 2023

SUMMARY OF REQUEST: The Village of Hinsdale received an application from Courtland, LLC requesting approval of an Exterior Appearance and Site Plan Review to allow for changes to the rear façade and a concurrent Sign Permit Review to allow for the installation of one (1) wall sign on the existing two-story, multi-tenant building for Performance Wealth Management located at 36 E. Hinsdale Avenue in the B-2 Central Business District. The first floor tenant space in the building is occupied by Salon Lofts, a beauty salon, and the second floor is occupied by Performance Wealth, which operates an office specializing in financial planning and wealth management.

The subject property is located in the Downtown Historic District. According to the 2006 National Register of Historic Places Nomination and the 2003 Architectural Resources in the Downtown Survey Area, the building is classified as a Contributing Structure in the Historic District. The building was constructed in 1924 and features Two-Part Commercial Block architecture. According to the 2003 Downtown Survey, the building was formerly used as a garage for a Ford Motor Dealership once located in the adjacent building at 40 E. Hinsdale Avenue and was later converted into a toy store. The building has been altered over time. According to the 2003 Downtown Survey, the transom areas above the storefront windows have been bricked over.

On March 20, 2018, the Village Board approved an Exterior Appearance Plan to modify the front and rear façade by Ordinance No. O2018-12. On the front façade, a new alcove and entrance way were constructed for the second floor tenant space and modifications were made to the existing first floor storefront. At the rear of the building, an overhead door and awning were removed and replaced with new entrance doors and awnings. A new brick clad elevator tower was also constructed on the roof.

On January 4, 2022, by Ordinance No. O2022-02, the Village Board approved an Exterior Appearance and Site Plan Review to allow for changes to the front and rear façade for Performance Wealth Management. A Sign Permit Review was also approved to allow for the installation of one (1) wall sign on the front of the building. On the front façade, exterior changes included the installation of new trim around the entrance to the second floor tenant space and three (3) black gooseneck lights above the new door header to illuminate the sign area. On the rear façade, one of the two black awnings were to be recovered with a dark navy blue fabric to match Performance Wealth Management's branding colors. The awning fabric was not changed due to the current request to install new trim around the doorway.

HISTORIC PRESERVATION COMMISSION MEETING SUMMARY: The project was reviewed at a public meeting at the Historic Preservation Commission on August 3, 2022. Mike Zalud Jr., representing Courtland, LLC, provided an overview of the proposed changes and answered questions from the Commissioners. No public comments were made at the meeting.

The Commission expressed concern that the design of the rear entrance surround and trim was not proportional and recommended that the design be altered to match the scale of the front design. It was noted that the plinths / bases of the pilasters appeared too wide and did not match the scale of the surround, the top trim (cornice) appeared too narrow in comparison to the header / frieze, and the pilasters were too narrow leaving exposed brick areas between the pilaster and door frame.

The applicant proposed to install one (1) new internally-illuminated wall sign in the same location as the existing Salon Lofts sign on the rear of the building. The wall sign measured 2' tall and 7' wide, with a sign face area of 14 square feet. The wall sign consists of a white aluminum backer panel with blue push-thru acrylic letters and a gold logo. The Commission expressed concern over the design, noting that internally illuminated cabinet signs were not preferred or appropriate in the historic downtown, which has been discussed for other recent sign permit applications presented to the HPC review.

There was also a discussion on the location of the sign. Mr. Zalud confirmed that both the double doors for Performance Wealth Management and the door for Salon Lofts lead into the same interior entrance vestibule. Several Commissioners noted the location is confusing as the sign should be placed closer to the Salon Lofts entrance, which had branding via door signage.

Mr. Zalud confirmed that Salon Lofts has agreed that the existing wall sign will be removed. Mr. Zalud noted they chose this design to allow for a larger size and wished for something illuminated in the rear as the business has a lot of evening appointments. The appearance of the alley, truck traffic, and dumpsters was also discussed in relation to the proposed design.

Commissioners recommended that the sign should be relocated to the header / frieze of the door surround, which was a more logical for indicating the entrance of the business instead of the location where the existing Salon Lofts is located. The Commission recommended that the applicant install a sign that is similar to the sign on the front of the building facing Hinsdale Avenue, where the sign is mounted to the header of the surround and illuminated externally by gooseneck lights. There was a discussion if there would be issues with installing gooseneck lights on the rear of the building and interference with truck traffic in the alley, but it was noted that the adjacent door for Salon Lofts has an existing awning that will remain and projects into the alley.

The Historic Preservation Commission recommended approval of Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade, by a vote of 4-0 (3 absent), subject to the condition that the applicant take into account the comments at the meeting, including making the door surround proportional and eliminating the exposed brick area between the pilasters and door opening.

The Historic Preservation Commission recommended denial of Case A-17-2022 – 36 E. Hinsdale Avenue – Performance Wealth Management – Sign Permit Review to allow for the installation of one (1) new wall sign on the rear façade of the building, by a vote of 4-0 (3 absent). The Commission recommended that the wall sign be relocated to the trim area above the double doors and that the sign be illuminated with gooseneck lighting, similar to the design utilized on the front façade.

PLAN COMMISSION PUBLIC MEETING SUMMARY AND FINDINGS: The project was reviewed at a public meeting at the Plan Commission on April 12, 2023. Mike Zalud Jr., representing Courtland, LLC, provided an overview of the proposed changes and answered questions from the Commissioners. No public comments were made at the meeting.

The applicant submitted revised plans with a different design and configuration for the rear wall sign and entrance door surround for the Plan Commission to review to address the comments of the Historic Preservation Commission. On the rear façade, one of the two awnings will be removed and new decorative trim will be installed around one of the entrance doors. The design is intended to match the entrance trim installed in 2022 on the front facade for Performance Wealth Management. The existing Salon Lofts sign on the rear elevation will be removed. One (1) wall sign will be installed within the header area above the entrance doors that will be illuminated by three (3) gooseneck lights. The existing permanent window signage for Performance Wealth Management is to be removed to meet code requirements.

At the public meeting, the Plan Commissioners expressed support for the project and provided positive feedback for the changes made based on the recommendations by the Historic Preservation Commission. In recommending approval of the Exterior Appearance and Site Plan Review, the Plan Commission determined the standards set forth in Section 11-604(F) and Section 11-606(F) of the Village's Zoning Code have been met. The proposed rear entrance would be visually compatible with the historic building and will help enhance the appearance of the rear façade along the alley (Section 11-605(E)(2)).

No members of the public provided comment at the meeting. Staff did not receive complaints or negative feedback from members of the public prior to the meeting.

A motion to approve the Exterior Appearance and Site Plan Review was made by Commissioner Moore and seconded by Commissioner Crnovich. The vote carried by a roll call vote as follows:

AYES: Commissioners Crnovich, Fiascone, Krillenberger, Moore, and Chairman Cashman
NAYS: None
ABSTAIN: None
ABSENT: Commissioners Curry, Hurley, Jablonski, and Willobee

RECOMMENDATIONS: Based on the findings set forth above, the Village of Hinsdale Plan Commission, by a vote of five (5) ayes and zero (0) nays, with four (4) absent, recommended to the President and Board of Trustees approval of Case A-17-2022 – 36 E. Hinsdale Avenue – Exterior Appearance and Site Plan Review to allow for exterior changes to the rear façade and a Sign Permit Review to allow for the installation of one (1) new wall sign on the existing building located at 36 E. Hinsdale Avenue in the B-2 Central Business District, as submitted.

Signed: _____

Steve Cashman, Chair
Plan Commission
Village of Hinsdale

Date: _____



PLAN COMMISSION
MEMORANDUM

DATE: May 5, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-13-2023 – 5700-5717 Foxgate Lane – Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate cross Foxgate Lane for the Foxgate Subdivision in the R-5 Multiple Family Residential District

FOR: May 10, 2023 Plan Commission Meeting

GENERAL APPLICATION INFORMATION

Applicant: Foxgate Homeowners Association

Subject Property: 5700-5717 Foxgate Lane (PINs: 09-13-103-092; 09-13-103-093; 09-13-103-094; 09-13-103-095; 09-13-103-096; 09-13-103-097; 09-13-103-098; 09-13-103-099; 09-13-103-100; 09-13-103-101; 09-13-103-102; 09-13-103-103; 09-13-103-104; 09-13-103-105; 09-13-103-106; 09-13-103-107; 09-13-103-108)

Existing Zoning & Land Use: R-4 Single Family Residential District – Single-Family Attached (Townhomes)

Surrounding Zoning & Land Use:

North: IB Institutional Buildings District – (across 57th Street) Hinsdale Central High School

South: R-5 Multiple Family Residential District – Hinsdale Racquet Club / Single-Family Attached Homes

East: R-3 Single Family Residential District – Single-Family Detached Homes

West: R-3 Single Family Residential District – Single-Family Detached Homes

APPLICATION SUMMARY

The applicant requests approval of an Exterior Appearance and Site Plan Review to allow for the installation of an entrance gate across Foxgate Lane, a private street that terminates in a cul-de-sac and serves the Foxgate Subdivision located at 5700-5717 Foxgate Lane in the R-5 Multiple Family Residential District. The proposed gate is intended to limit traffic from Hinsdale Central High School located to the north, as vehicles reportedly use the private subdivision as a turn-around area.

The Foxgate subdivision was constructed in the 1980s and consists of sixteen (16) townhomes located on a private street, Foxgate Lane.

REQUEST AND ANALYSIS

The proposed electronic gate will be constructed across Foxgate Lane, a private street that intersects with 57th Street. The gate will be entirely located on private property within the common area for the subdivision and will swing inward so as to not encroach into the 57th Street right-of-way.



AGENDA ITEM # _____

**PLAN COMMISSION
MEMORANDUM**

The black wrought iron open gate will measure four (4) feet tall and twenty-eight (28) feet wide. The six (6) inch square gate posts will be placed adjacent to the existing stone piers and black metal perimeter fencing at the entrance of the subdivision. A space will be left between the existing stone piers and the entrance gate posts to provide a walkway for pedestrians.

Per Section 9-12-3 of the Village Code, driveway entry gates, and any parapet or column utilized in a fence design may be eight (8) feet in height. As proposed, the entrance gate meets all code requirements. No trees are to be removed and no signage is to be installed as part of this project.

PROCESS

Exterior Appearance / Site Plan Review - Pursuant to Section 11-604 and Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for an Exterior Appearance Review or Site Plan Review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in Subsection 11-103(H), recommending either approval or disapproval of the Exterior Appearance and Site Plan based on the standards set forth in Section 11-604 and Section 11-606.

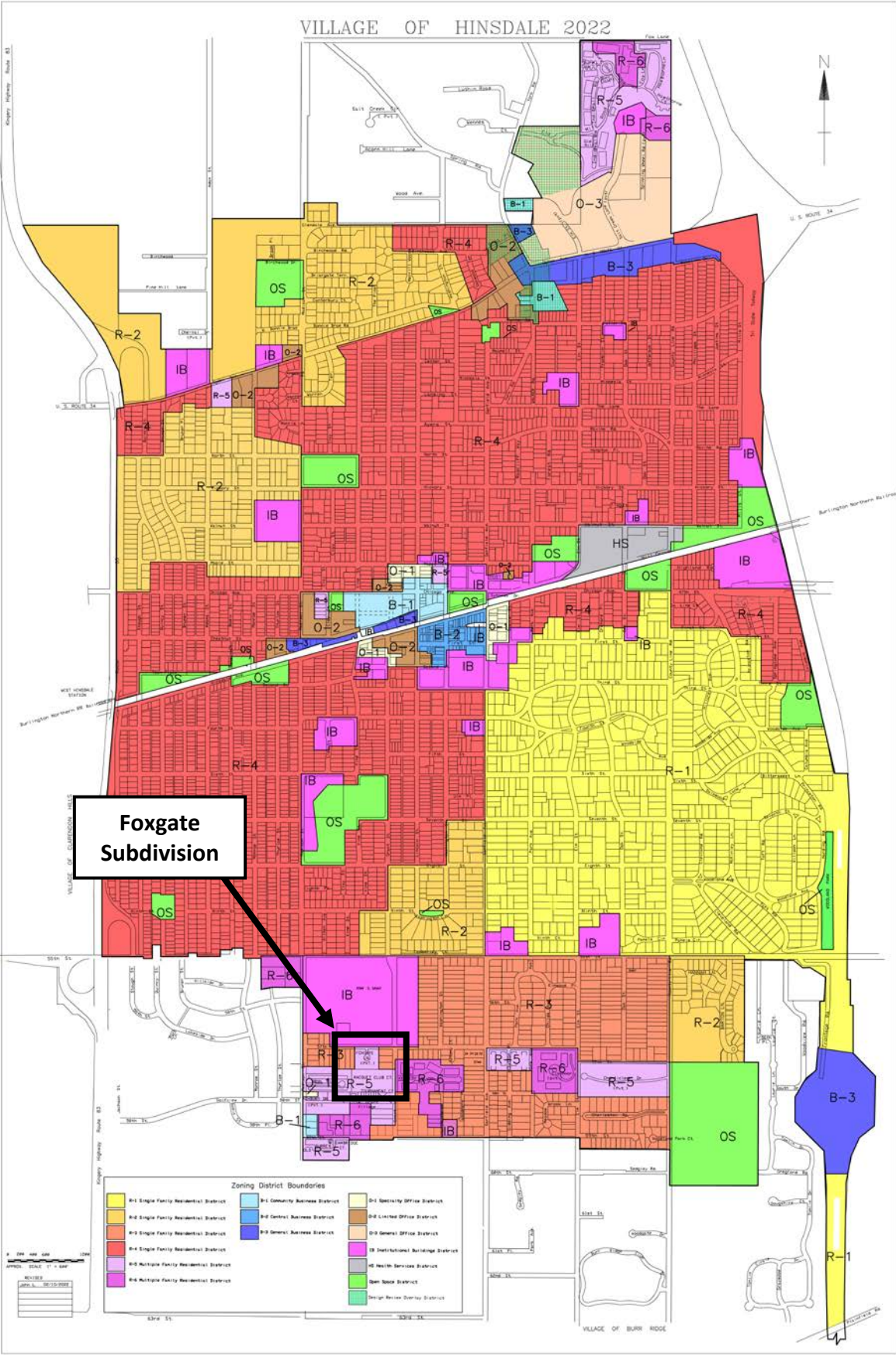
Within 90 days following the receipt of the recommendation of the Plan Commission, or its failure to act as above provided, the Board of Trustees, by ordinance duly adopted, shall approve the site plan as submitted, or shall make modifications acceptable to the applicant and approve such modified site plan, or shall disapprove it either with or without a remand to the plan commission for further consideration. The failure of the board of trustees to act within ninety (90) days, or such further time to which the applicant may agree, shall be deemed to be a decision denying site plan approval.

The subject property is residential and therefore public notice via the newspaper, certified mail, or signage is not required for this project.

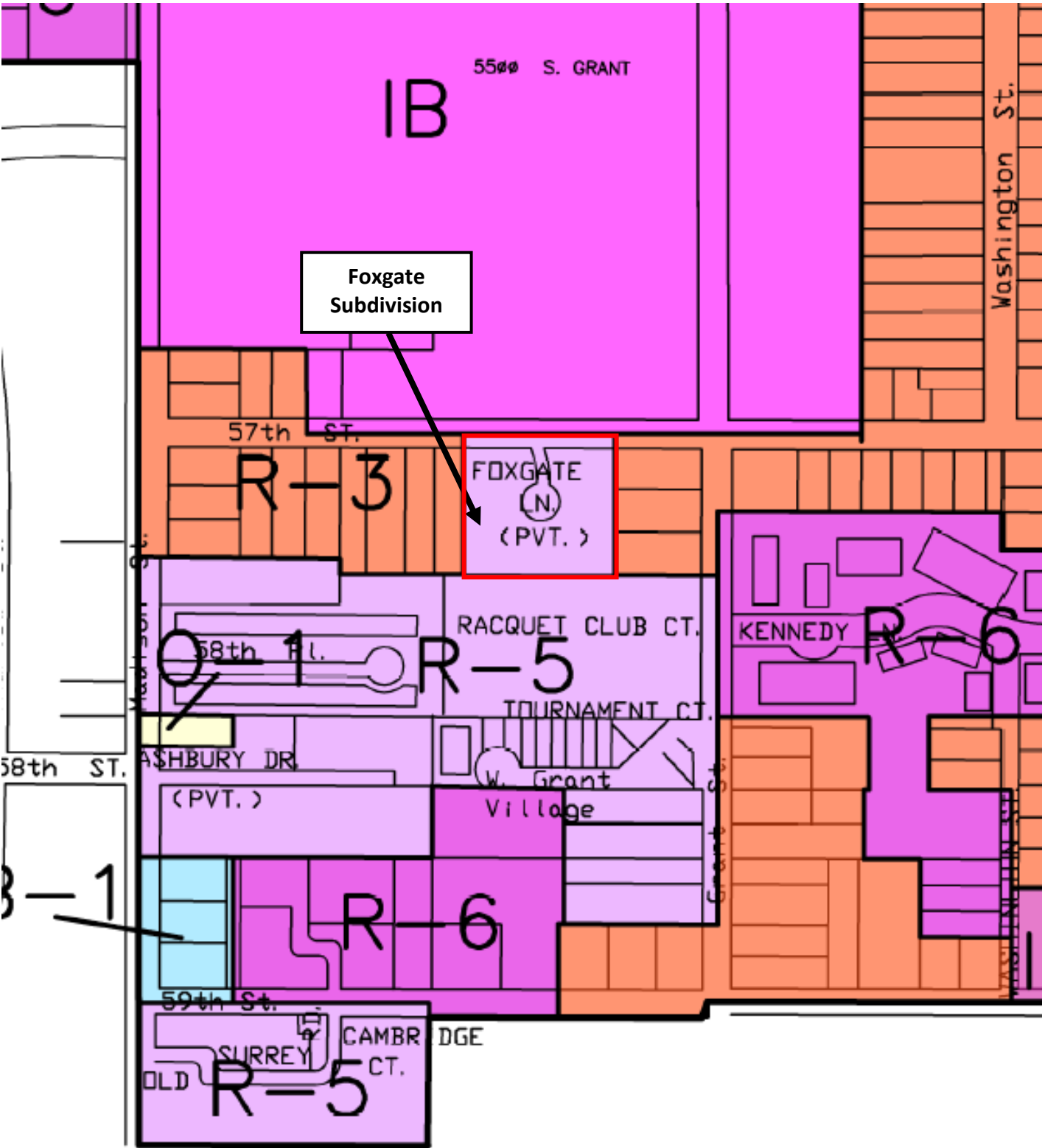
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Street View
4. Birds Eye View
5. Application and Exhibits

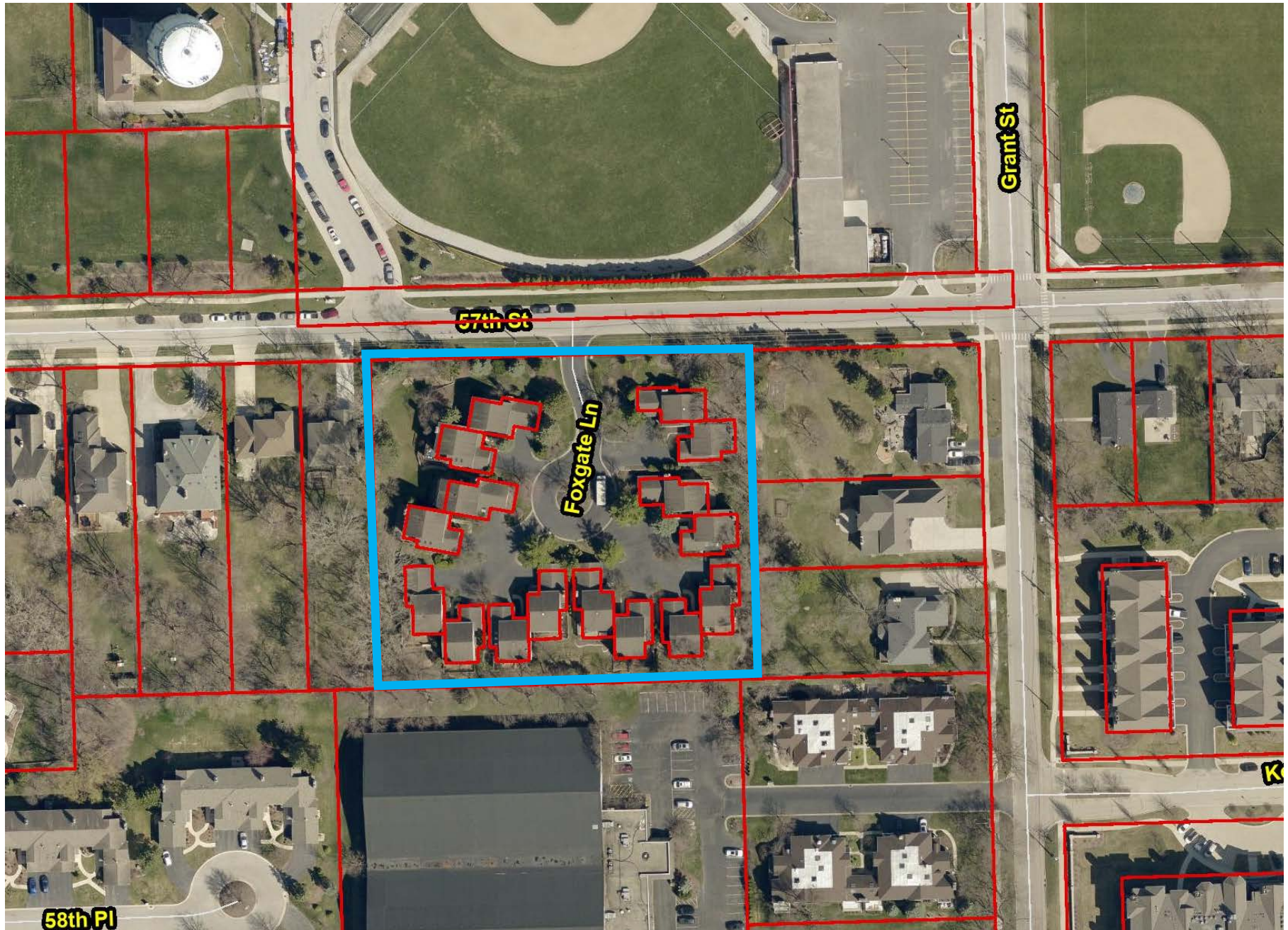
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



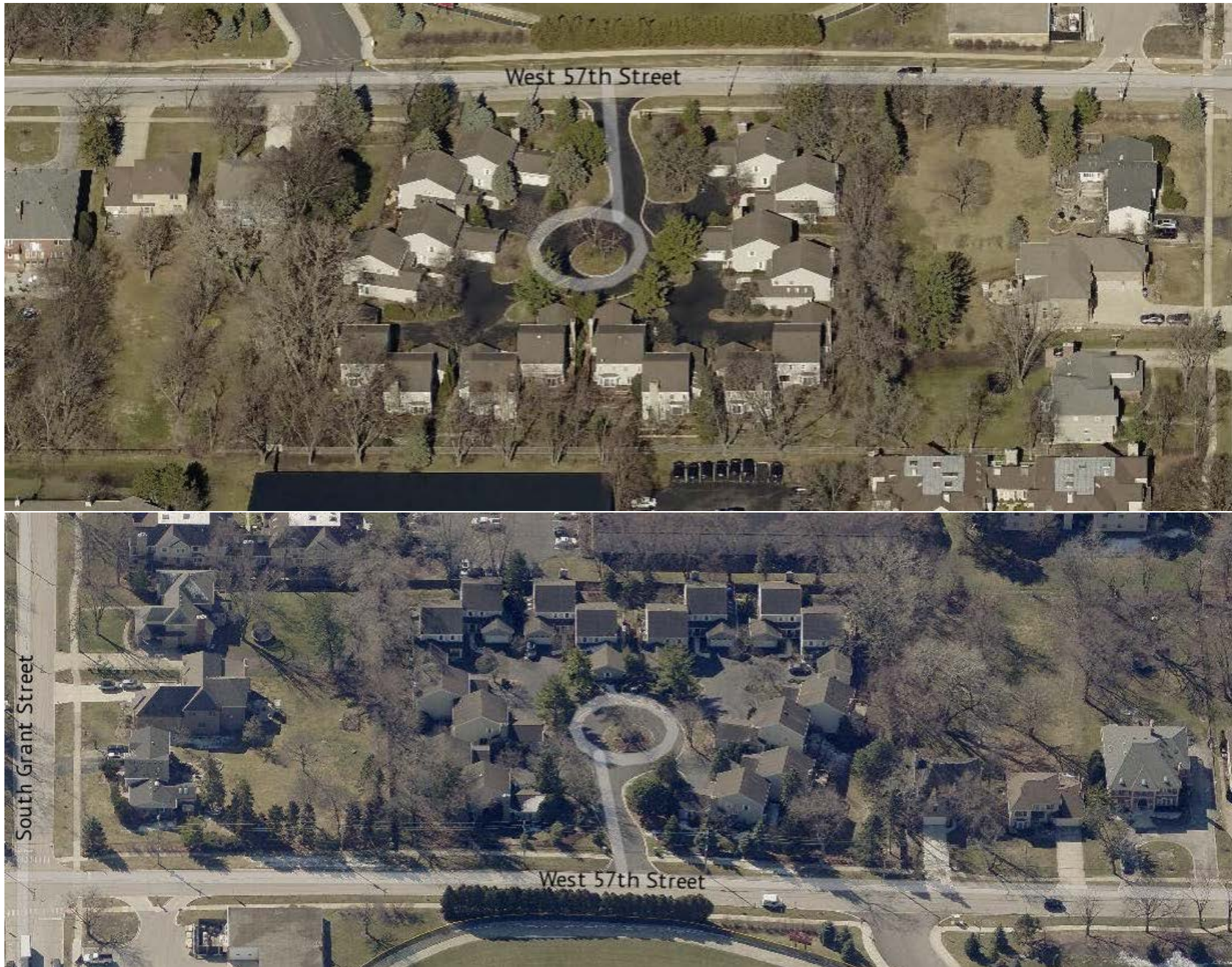
Aerial View – Foxgate Subdivision



Street View – Foxgate Subdivision



Birds Eye View – Foxgate Subdivision





VILLAGE OF HINSDALE

FOUNDED IN 1873

VILLAGE OF HINSDALE COMMUNITY DEVELOPMENT DEPARTMENT

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: FOXGATE Homeowners Association
Address: 5700 FOXGATE AVE
City/Zip: Hinsdale
Phone/Fax: (630) 207-6034
E-Mail: JACK SANTORRE 1 @ SBC GLOBAL.NET

Owner

Name: SAME AS APPLICANT
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: MIKE NEWMAN
Title: Peerless Fence
Address: 5009 W LAKE STREET
City/Zip: MELROSE PARK, IL 60160
Phone/Fax: (630) 877 12720
E-Mail: MIKE@PEERLESSFENCE.COM

Name: _____
Title: _____
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) NONE
- 2) _____
- 3) _____

II. SITE INFORMATION

Address of subject property: 5700 Foxgate Ave

Property identification number (P.I.N. or tax number): See attached list of pins

Brief description of proposed project: GATE AT ENTRANCE OF Foxgate Homeowner townhome complex.

General description or characteristics of the site: Front Drive to complex

Existing zoning and land use: Residential

Surrounding zoning and existing land uses:

North: Hensdale Central H.S.

South: Hensdale Racquet Club

East: Single Family Home

West: Single Family Home

Proposed zoning and land use: TOWN HOMES

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: 5700 Foxgate Lane, Hinsdale

The following table is based on the RS Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	7500 sq per unit	No change
Minimum Lot Depth	125 ft	
Minimum Lot Width	70 ft	Proposed for
Building Height	30 ft	
Number of Stories	2	existing developed
Front Yard Setback	35 ft	
Corner Side Yard Setback	35 ft	
Interior Side Yard Setback	8-18	
Rear Yard Setback	25 ft	
Maximum Floor Area Ratio (F.A.R.)*	.45	
Maximum Total Building Coverage*	25 %	
Maximum Total Lot Coverage*		
Parking Requirements		
Parking front yard setback		
Parking corner side yard setback		
Parking interior side yard setback		
Parking rear yard setback		
Loading Requirements		
Accessory Structure Information		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 10th day of March, 2023, I/We have read the above certification, understand it, and agree to abide by its conditions.

Bonnie Sartore, President
Signature of applicant or authorized agent

Signature of applicant or authorized agent

Bonnie Sartore
Name of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 10 day of
March, 2023.

Daniel H. Hane
Notary Public



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: Foxgate Homeowners Assoc.

Owner's name (if different): _____

Property address: 5700 Foxgate Lane Hinsdale

Property legal description: [attach to this form]

Present zoning classification: IB, Institutional Buildings

Square footage of property: _____

Lot area per dwelling: _____

Lot dimensions: _____ x _____

Current use of property: town homes

Proposed use: ☐ Single-family detached dwelling
☐ Other: _____

Approval sought:

<input type="checkbox"/> Building Permit	<input type="checkbox"/> Variation
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Planned Development
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Exterior Appearance
<input type="checkbox"/> Design Review	
<input type="checkbox"/> Other: _____	

Brief description of request and proposal:

to install a black wrought iron gate to prevent unwanted traffic

Plans & Specifications: [submit with this form]

Provided:

Required by Code:

Yards:

front:	_____	_____
interior side(s)	_____/_____	_____/_____

Provided:

Required by Code:

corner side

rear

Setbacks (businesses and offices):

front:

interior side(s)

corner side

rear

others:

Ogden Ave. Center:

York Rd. Center:

Forest Preserve:

Building heights:

principal building(s):

accessory building(s):

Maximum Elevations:

principal building(s):

accessory building(s):

Dwelling unit size(s):

Total building coverage:

Total lot coverage:

Floor area ratio:

Accessory building(s):

Spacing between buildings: [depict on attached plans]

principal building(s):

accessory building(s):

Number of off-street parking spaces required: _____

Number of loading spaces required: _____

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Bonnie Sartore, President
Applicant's signature

Bonnie Sartore
Applicant's printed name

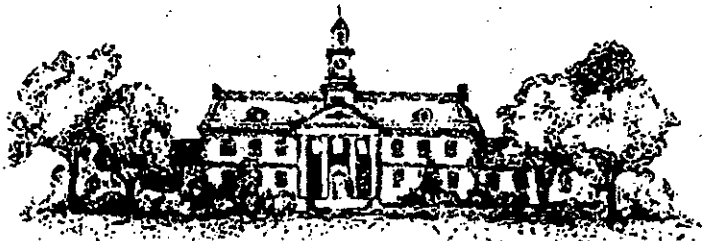
Dated: *3-10*, 20*23*

LEGAL DESCRIPTION

Lots 1 through 17 of Foxgate of Hinsdale, being a Resubdivision of Lot 1, in Block 6 (except the East 210.0 feet and except the West 65.19 feet thereof) in Branigar Brothers Hinsdale Farms, being a Subdivision of the Southwest Quarter and the Northwest Quarter (Except the East one half of the Northwest Quarter of the said Northwest Quarter) of Section 13, Township 38 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded April 5, 1920 as Document number 141390, in DuPage County, Illinois.

FOXGATE PINS

5700 Foxgate Lane, Hinsdale	09-13-103-092
5701 Foxgate Lane, Hinsdale	09-13-103-108
5702 Foxgate Lane, Hinsdale	09-13-103-093
5703 Foxgate Lane, Hinsdale	09-13-103-107
5704 Foxgate Lane, Hinsdale	09-13-103-094
5705 Foxgate Lane, Hinsdale	09-13-103-106
5706 Foxgate Lane, Hinsdale	09-13-103-095
5707 Foxgate Lane, Hinsdale	09-13-103-108
5708 Foxgate Lane, Hinsdale	09-13-103-096
5709 Foxgate Lane, Hinsdale	09-13-103-104
5710 Foxgate Lane, Hinsdale	09-13-103-097
5711 Foxgate Lane, Hinsdale	09-13-103-103
5712 Foxgate Lane, Hinsdale	09-13-103-098
5714 Foxgate Lane, Hinsdale	09-13-103-099
5715 Foxgate Lane, Hinsdale	09-13-103-102
5716 Foxgate Lane, Hinsdale	09-13-103-100
5717 Foxgate Lane, Hinsdale	09-13-103-101



VILLAGE OF HINSDALE

FOUNDED IN 1873

COMMUNITY DEVELOPMENT DEPARTMENT EXTERIOR APPEARANCE AND SITE PLAN REVIEW CRITERIA

Address of proposed request: ENTRANCE TO FOXGATE HOMEOWNERS COMPLEX
5700 FOXGATE LANE, HINSDALE, IL

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE***** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. **Open spaces.** The quality of the open space between buildings and in setback spaces between street and facades.

The see through wrought iron gate will not impair any open space between the buildings and set back lines.

2. **Materials.** The quality of materials and their relationship to those in existing adjacent structures.

The gate is a high quality black wrought iron gate

3. **General design.** The quality of the design in general and its relationship to the overall character of neighborhood.

The gate is a coated black wrought iron gate which will merge nicely with the surrounding area.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

The addition of the gate will beautify the existing complex and prevent unwanted vehicles from entry during the school day. The police and fire department will have access fobs or codes to enter.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

The gate is approximately 48 inches tall and will not interfere with any buildings or structures. The gate and the fence on 57th Street will blend in nicely because they will be the same height and look.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

The width of the gate is twenty-six (26) feet wide so that when the gates open they will open at 13 feet and open inward.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

The see through wrought iron gate will be compatible with all the windows and buildings and will not interfere with any views the residents may have.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

The see through wrought iron gate will be pleasing to look at and will not interfere with any of the residents or public view of the premises.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

There will be a smooth transition between the gate and the adjoining buildings so they will look compatible.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

The gates will open in and not over or across any sidewalks or other public ways.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

The wrought iron black gate will be visually compatible with the surrounding area.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

The gate will not have any effect on the roof tops of the buildings.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

The black wrought iron gate will form a cohesive wall of see through enclosure and will be visually compatible with the houses and public way.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

The gate will have no impact on the houses or open spaces because it is a see through picket gate throughout.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

The picketed black gate will be visually compatible in size and character with the surrounding area and public ways.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

The see through gate will protect the existing buildings from uninvited vehicles entering from the high school across the street from the premises.
the street

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

The black wrought iron gate will meet all standards required by the zoning code.

2. The proposed site plan interferes with easements and rights-of-way.

The proposed installation of the gate will not interfere with any easements or rights-of-way.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

The proposed gate will beautify the existing complex and will not destroy any use or enjoyment of the property.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

The proposed gate will improve the use and enjoyment of the surrounding property and will beautify the neighborhood.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

The proposed gate will not cause any undue traffic congestion or hazard and will, in fact, prevent hazards from incurring from within the premises sought to be protected from the intrusion of automobiles from students using the premises to turn around.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

Existing screening does not prevent vehicles from entering the premises and this causes hazardous conditions within the complex.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

The proposed gate blends in with the existing landscaping and nearby structures.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

The proposed gate does not interfere with any open spaces because it is a see through picketed gate.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

The proposed gate does not interfere with any drainage or erosion problems.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

The proposed gate does not increase any existing public system and it will not interfere with any utilities systems.

11. The proposed site plan does not provide for required public uses designated on the Official Map.

The proposed gate does not interfere with the Official Map.

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

The proposed gate will not adversely affect the public health, safety, or general welfare and will in fact improve the residents health, safety and general welfare because it will limit the time and number of vehicles entering the premises prior to school and after school.

SITE PLAN REVIEW: FOXGATE HOMEOWNER COMPLEX

- 1. The see through wrought iron gate will not impair any open spaces between the buildings and set back lines.**
- 2. The gate is a high quality black wrought iron gate**
- 3. The gate is a coated black wrought iron gate which will merge nicely with the surrounding area.**
- 4. The addition of the gate will beautify the existing complex and prevent unwanted vehicles from entry during the school day.**
- 5. The gate is approximately 48" tall and will not interfere with any buildings or structures.**
- 6. The width of the gate is twenty-six (26) feet wide so that when the gate ^S opens they will open at 13 feet and open inward.**
- 7. The see through wrought iron gate will be compatible with all the windows and buildings and will not interfere with any views the residents may have.**
- 8. The see through wrought iron black gate will be pleasing to look at and will not interfere with any of the residents or public view of the premises.**
- 9. There will be smooth transition between the gate and the adjoining buildings so they will look compatible.**
- 10. The gates will open in and not over or across any sidewalks or other public ways.**
- 11. The wrought iron black gate will be visually compatible with the surrounding area.**
- 12. The gate will not have any effect on the roof tops of the buildings.**
- 13. The black wrought iron gate will form a cohesive wall of see through enclosure and will be visually compatible with the houses and public way.**
- 14. The gate will have so impact on the houses or open spaces because it is a see through picket gate throughout.**
- 15. The picketed black gate will be visually compatible in size and character with the surrounding area and public ways.**
- 16. The see through gate will protect the existing buildings from uninvited (unwanted) vehicles from entering the high school across the streets from the premises.**

1. Page 4: The black wrought iron gate will meet all standards required by the zoning code.
2. The proposed installation of the gate will not interfere with any easements or rights of way.
3. The proposed gate will beautify the existing complex and not destroy any use or enjoyment of the property.
4. The proposed gate will improve the use and enjoyment of the surrounding property and will beautify the neighborhood.
5. The proposed gate will not cause any undue traffic congestion or hazard and will, in fact, prevent hazards from incurring from within the premises sought to be protected from the intrusion of automobiles from students using the premises to turnaround.
6. Existing screening does not prevent vehicles from entering the premises and this causes hazardous conditions within the complex.
7. The proposed gate blends in with the existing landscaping and nearby structures.
8. The proposed gate does not interfere with any open spaces because it is a see through picketed gate.
9. The proposed gate does not interfere with any drainage or erosion problems.
10. The proposed gate does not increase any existing public system and it will not interfere with any utilities systems.
11. The proposed gate does not interfere with the Official Map.
12. The proposed gate will not adversely affect the public health, safety, or general welfare and will in fact improve the residents health, safety and general welfare because it will limit the time and number of vehicles entering the premises prior to school and after school.



Foxgate Lane Townhome Assn.
5716 Foxgate Ln.
Hinsdale, Illinois 60521

This letter is included to help explain the intention of our proposal, material, and installation.

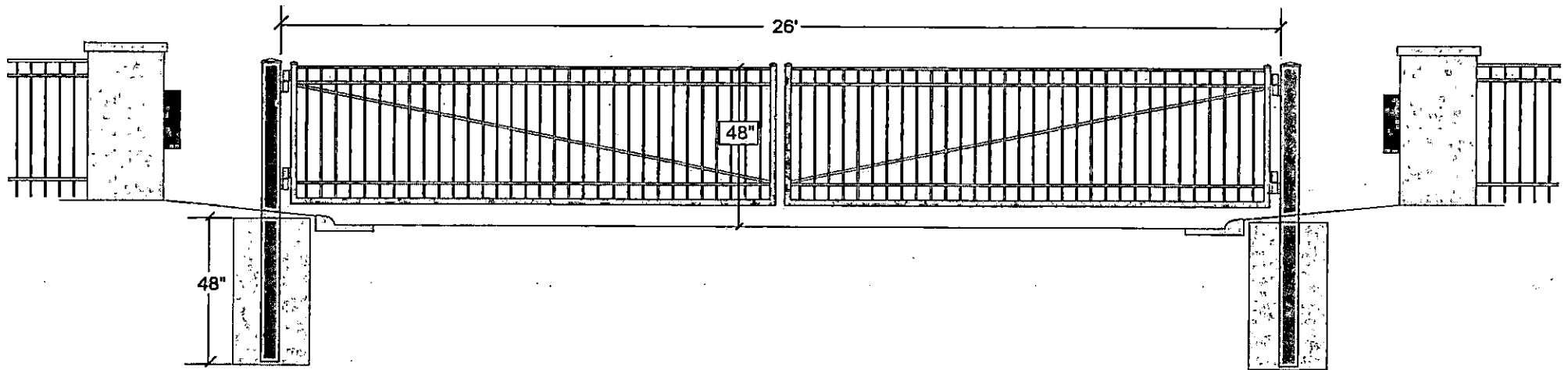
Included in the proposal is a 4' high by 28 ft. wide welded iron gate. The gate would have a simple aesthetical appearance. It would have only horizontal and vertical lines, and would be mostly see through. The gate would be hinged on 6" square steel posts. All of the gate parts would be powder coated black. The posts would be set in concrete footings in the lawn area on each side of the entryway drive. It would be installed in line with the existing masonry pillars and perimeter fencing. Therefore it would be within the property of the association, not in the parkway. The gate would swing inward when opened. Spaces would remain between the gate posts and masonry pillars. This would allow pedestrians to pass without going through the gate.

An electric operating system would be installed to open and close the gate. The gate and operators would be built to remain open most of the time. Only during the hours when the school is letting in for the day, and letting out for the day, would the gate be closed. Every residence would be given push button remotes to open or close when needed. The gate would not open or close on a timer.

Also, to allow for emergency access, a command keypad would be mounted on the adjacent fence. The keypad is capable of holding multiple codes. So, unique codes could be given to any emergency provider if necessary.

Thank you for your consideration,
Michael R. Newman
Design, Estimating, and Sales

3N381 Powis Rd, West Chicago, IL 60185 - Office (630)584-1814, Fax (630)443-4905



- Hinge upright: 2" x 2" x 1/4" wall square steel tube
- Latch upright: 2" x 2" x 14ga. square steel tube
- Bottom rail: 2" x 2" x 14ga. square steel tube
- Top rail: 2" x 1" channel (flat top)
- Mid rails: 2" x 1" punched channels (pickets welded on underside)
- Picket: 5/8" x 5/8" x 16ga. square steel tube spaced 4" apart
- Truss bars: 1/4" x 1" steel flatbar stitch welded to inside face of pickets
- Hinges: Safe glide, sealed bearing barrel hinges (rated 300 lbs per pair)
- Posts: 6" x 6" x 3/16" wall square steel tube with pyramid caps
- Posts to be set in 24" diameter x 48" deep concrete footings
- Finish: All material to be primed and powder coated black

5701-5702 Fox Gate Lane



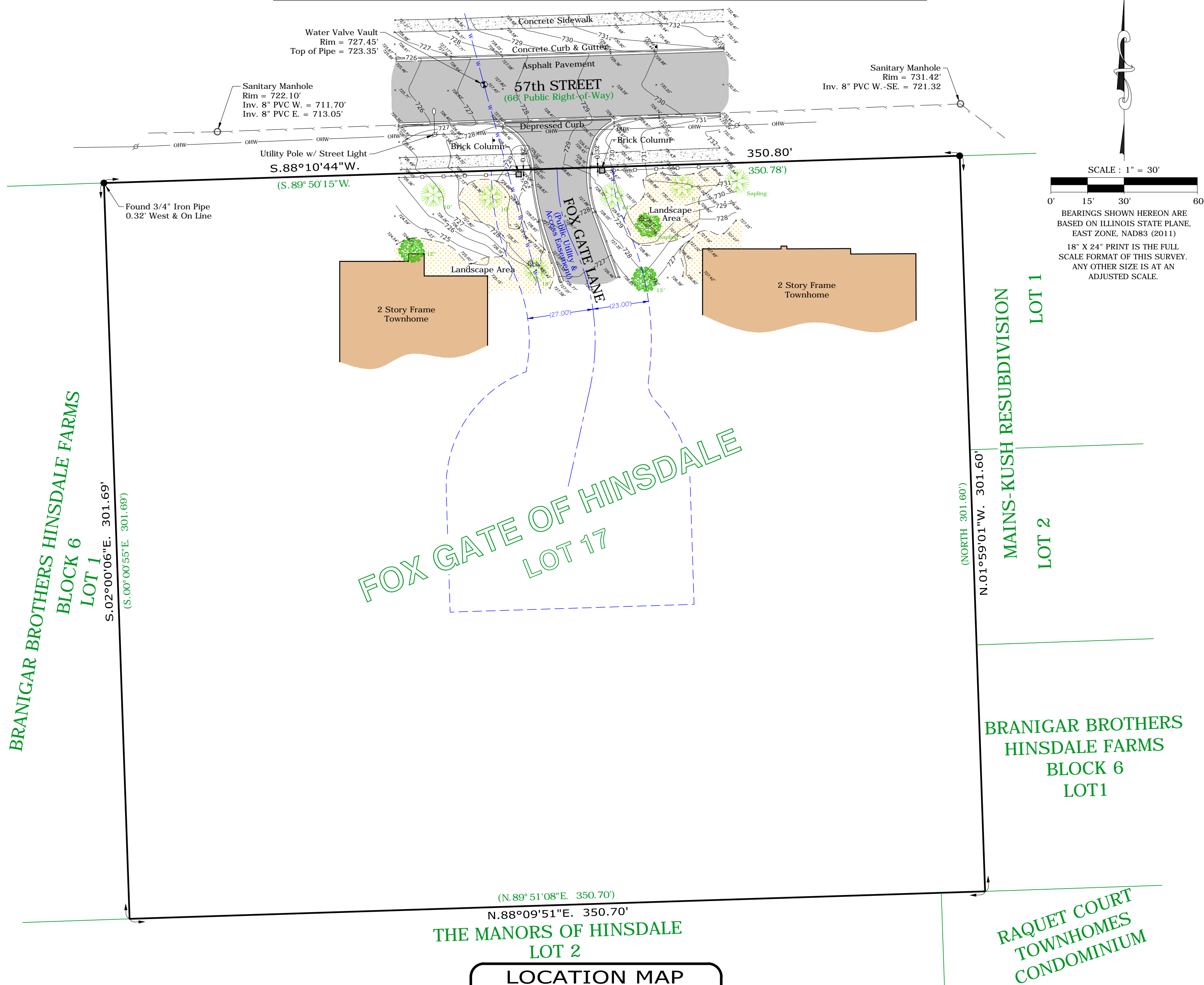








PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION

LOT 17 IN FOXGATE OF HINSDALE, BEING A RESUBDIVISION OF LOT 1 (EXCEPT THE EAST 210 FEET AND EXCEPT THE WEST 65.19 FEET THEREOF) IN BLOCK 6 IN BRANIGAR BROTHERS HINSDALE FARMS BEING A SUBDIVISION OF THE SOUTH WEST QUARTER AND THE NORTH WEST QUARTER (EXCEPT THE EAST HALF OF THE NORTH WEST QUARTER OF SAID NORTH WEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID FOXGATE OF HINSDALE RECORDED JANUARY 6, 1986 AS DOCUMENT R86-01499, IN DUPAGE COUNTY, ILLINOIS.

SURVEY NOTES

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY DESCRIBED HEREON IS 09-13-103-092.

LOCATING AND SHOWING ALL IMPROVEMENTS ON THIS LOT WERE NOT A CONDITION OF THIS SURVEY ORDER.

THE PROPERTY DESCRIBED HEREON CONTAINS 105,850 SQ. FT. OR 2.43 ACRES, MORE OR LESS.

PROPERTY COMMONLY KNOWN AS:
FOX GATE SUBDIVISION
5716 FOX GATE LANE
HINSDALE, IL 60521

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF KANE } SS

I, SHAWN R. VanKAMPEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 10/31/2022 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY AND TOPOGRAPHICAL SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL
THIS 16TH DAY OF NOVEMBER, A.D. 2022.

Shawn R. Van Kampen
SHAWN R. VanKAMPEN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2710
LICENSE EXPIRES 11/30/2024



PREPARED FOR:

Fox Gate Subdivision
Fox Gate Homeowners Association
5716 Fox Gate Lane
Hinsdale, IL 60521

NO.	DATE	REVISION
1.	10/31/2022	FIELD SURVEY COMPLETED
2.	11/16/2022	FINAL SURVEY COMPLETED

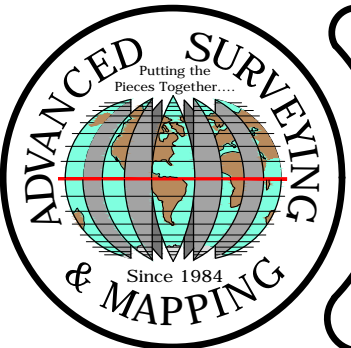
SITE DESIGNATION INFORMATION:

FOX GATE LANE
GATE PROJECT
HINSDALE, IL 60521

DRAWN BY: EM CHECKED BY: SVK

PROJECT NO.
541009

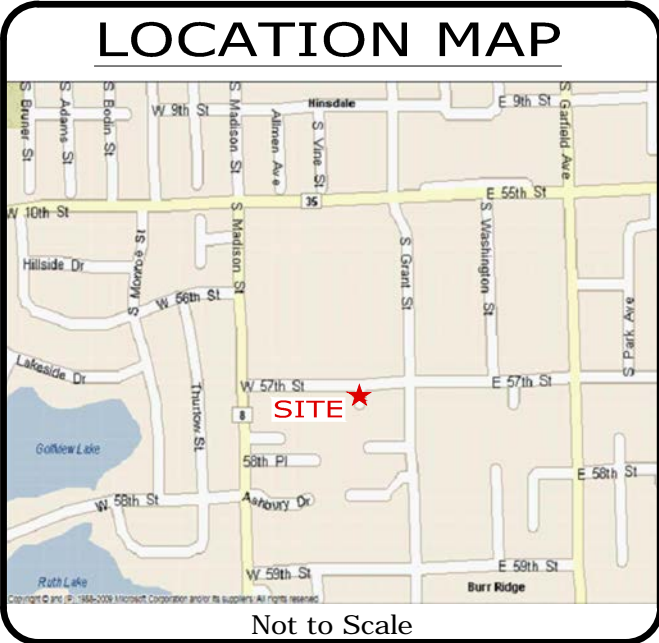
PLAT
SHEET 1 OF 1



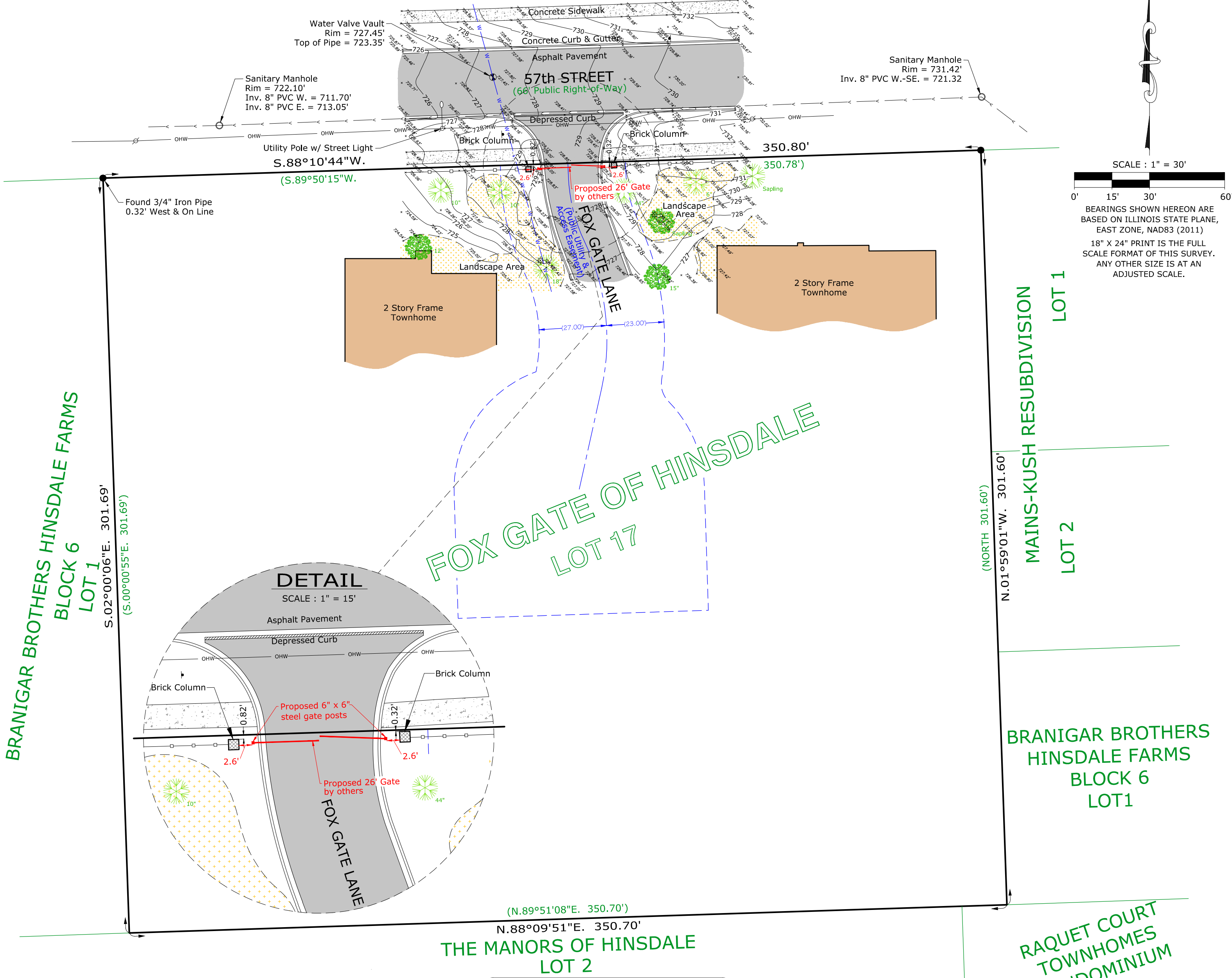
PREPARED BY:



ASM Consultants, Inc.
16 E Wilson St - Batavia IL 60510
(630) 879-0200 - advanced@advct.com
Professional Design Firm #184-006014 expires 4/30/2023
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PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION

LOT 17 IN FOXGATE OF HINSDALE, BEING A RESUBDIVISION OF LOT 1 (EXCEPT THE EAST 210 FEET AND EXCEPT THE WEST 65.19 FEET THEREOF) IN BLOCK 6 IN BRANIGAR BROTHERS HINSDALE FARMS BEING A SUBDIVISION OF THE SOUTH WEST QUARTER AND THE NORTH WEST QUARTER (EXCEPT THE EAST HALF OF THE NORTH WEST QUARTER OF SAID NORTH WEST QUARTER) OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID FOXGATE OF HINSDALE RECORDED JANUARY 6, 1986 AS DOCUMENT R86-01499, IN DUPAGE COUNTY, ILLINOIS.

SURVEY NOTES

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY DESCRIBED HEREON IS 09-13-103-092.

THE PROPOSED GATE LOCATION AND DIMENSIONS AS SHOWN WERE PROVIDED BY THE CLIENT.

LOCATING AND SHOWING ALL IMPROVEMENTS ON THIS LOT WERE NOT A CONDITION OF THIS SURVEY ORDER.

THE PROPERTY DESCRIBED HEREON CONTAINS 105,850 SQ. FT. OR 2.43 ACRES, MORE OR LESS.

PROPERTY COMMONLY KNOWN AS:
FOX GATE SUBDIVISION
5716 FOX GATE LANE
HINSDALE, IL 60521

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF KANE } SS

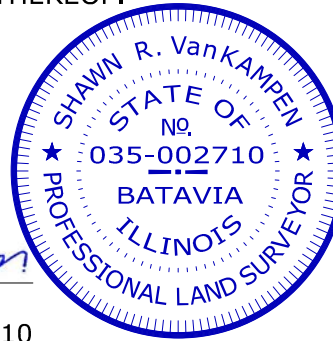
I, SHAWN R. VanKAMPEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 10/31/2022 IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY AND TOPOGRAPHICAL SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL
THIS 14TH DAY OF MARCH, A.D. 2023.

Shawn R. Van Kampen
SHAWN R. VanKAMPEN
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2710
LICENSE EXPIRES 11/30/2024



PREPARED FOR:
Fox Gate Subdivision
Fox Gate Homeowners Association
5716 Fox Gate Lane
Hinsdale, IL 60521

NO.	DATE	REVISION
1.	10/31/2022	FIELD SURVEY COMPLETED
2.	11/16/2022	FINAL SURVEY COMPLETED
3.	03/14/2023	REVISED TO ADD PROPOSED GATE BY OTHERS

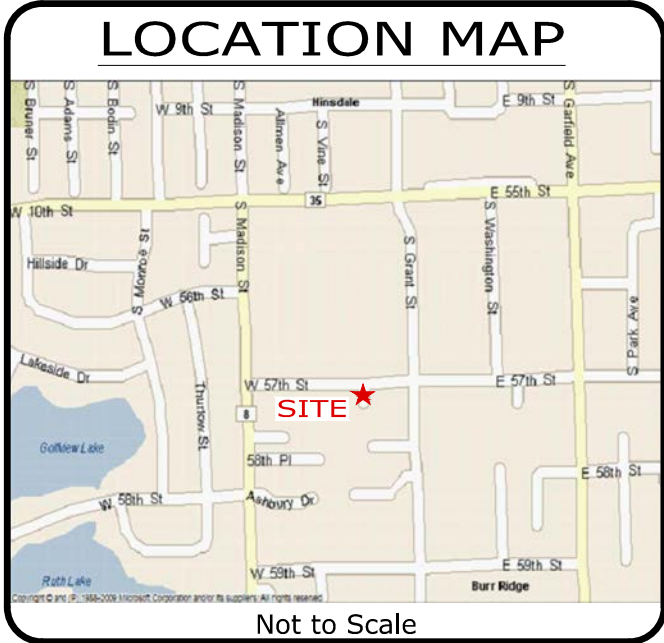
SITE DESIGNATION INFORMATION:
FOX GATE LANE
GATE PROJECT
HINSDALE, IL 60521

PROJECT NO.
541009

PLAT
SHEET 1 OF 1



PREPARED BY:
ASM
ASM Consultants, Inc.
16 E Wilson St - Batavia IL 60521
(630) 879-0200 - advanced@advct.com
Professional Design Firm #184-006014 expires 4/30/2023
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LEGEND

- Found 3/4" Iron Pipe
- Measured
- Record / Deed
- Boundary Line
- Lot Line
- Utility Pole
- Ground Light
- Manhole
- Centerline of Metal Fence
- Overhead Wire(s)
- Underground Sanitary
- Underground Water
- Contour with Elevation
- Spot Grade
- Building
- Asphalt
- Concrete
- Non-Deciduous Tree and size in inches
- Deciduous Tree and size in inches



**PLAN COMMISSION
MEMORANDUM**

DATE: May 5, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-16-2023 – 40 S. Clay Street – Duly Health and Care – Installation of One (1) Wall Sign, Modification to One (1) Existing Wall Sign, and the Installation of New Sign Faces on an Existing Non-Conforming Ground Sign

FOR: May 10, 2023 Plan Commission Meeting

Summary

The Village of Hinsdale received a sign permit application from Duly Health and Care, formerly DuPage Medical Group, seeking approval to install one (1) wall sign on the south elevation facing Chestnut Street, to modify one (1) existing wall sign on the north elevation facing the parking lot, and install new sign faces on the existing ground sign on Clay Street. The subject property is located at 40 S. Clay Street in the O-2 Limited Office District.

On December 8, 2021, the Plan Commission approved Case A-34-2021, a Sign Permit for Duly Health and Care at 40 S. Clay Street that allowed for the installation of one (1) wall sign and a new sign face on an existing non-conforming ground sign.

Request and Analysis

The applicant is requesting to install one (1) new wall sign, modify one (1) existing wall sign, and install new sign faces on an existing ground sign, as described below:

Wall Signs – One (1) new non-illuminated wall sign is proposed on the left side of the south elevation of the building facing Chestnut Street. The proposed wall sign consists of dark blue individual metal channel letters with a blue and white logo mounted directly onto the brick building. The sign will measure 1.5' tall and 19.6' wide, with an overall sign face area of 29.5 square feet.

The proposed sign will be mounted 15' 8" from the top of the sign to adjacent grade and will be located below the second floor windows. Wall signs may have a maximum height of 20 feet measured from the top of sign to adjacent grade or no higher than the bottom of any second floor window, whichever is less.

The applicant is also requesting to modify the existing wall sign on the north elevation of the building facing the parking lot and Chicago Avenue. The existing sign, approved in 2021, consists of internally illuminated, individually lit channel letters colored navy and cyan blue with an aluminum raceway painted to match the brick building. The sign currently measures 5' tall and 10' 9½" wide, with an overall sign face area of 53.9 square feet.



MEMORANDUM

The applicant would like to add additional non-illuminated white individual metal letters with a blue and white logo mounted directly onto the brick below the existing wall sign. With these changes, the sign would measure 6.1' tall and 10.7' wide, with an overall sign face area of 66.5 square feet. The overall mounting height would not change. Per the previous approval the existing sign has an overall height of 13' 4" and is located below the second floor windows, which meets code requirements.

Collectively, the two wall signs will have an overall sign face area of 96 square feet. Per Section 9-106(J), in the O-2 District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed one (1) square foot per foot of building frontage, up to a maximum of one hundred (100) square feet. Both building frontages facing the north parking lot / Chicago Avenue and south toward Chestnut Street are over 100 feet long. The proposed signs are under the maximum sign area allowed.

Ground Sign – The applicant is also requesting approval to install new sign faces on each side of the existing ground sign on Clay Street. New sign faces were approved and installed in 2021.

The existing ground sign is considered non-conforming with regard to setbacks and therefore is subject to Section 10-106 of the Zoning Code. The code requires ground signs to be setback ten (10) feet from any front or corner side lot line. The existing sign is located approximately three (3) feet from the corner side lot line along Clay Street. No non-conforming sign shall be changed or altered in any manner that would increase the degree of its non-conformity, be enlarged or expanded, be structurally altered to prolong its useful life, or be moved in whole or in part to any other location where it would remain non-conforming. A change in sign message which does not otherwise violate the provisions of the Zoning Code is allowed.

The proposed sign face will consist of an opaque white aluminum panel with routed push-thru acrylic letters in two colors, navy and cyan blue with a cyan and white logo. The proposed sign face will measure 8.05' wide and 2.9' tall, with a sign face area of 23.9 square feet. There are no proposed changes to the existing metal sign cabinet structure, which has an overall height of 5'1". As shown on the night rendering, the white aluminum panel will be opaque, with only the sign message lettering showing lighting through when illuminated at night to meet code requirements.

Illumination – All illuminated signs are required to meet the Village's lighting standards. The illumination of any sign, resulting from any internal or external artificial light source, may not exceed 50 foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets.

Single-family homes in the R-4 Single Family Residential District are located to the north and west of the property. Townhomes in the R-5 Multiple Family Residential District are located to the north. Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of 10:00 P.M. and 7:00 A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.



MEMORANDUM

Process

Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

Attachments

1. Zoning Map and Project Location
2. Aerial View
3. Street View
4. Sign Application and Exhibits

VILLAGE OF HINSDALE 2021

40 S. Clay Street

Zoning District Boundaries

- R-1 Single Family Residential District
- R-2 Single Family Residential District
- R-3 Single Family Residential District
- R-4 Single Family Residential District
- R-5 Single Family Residential District
- R-6 Single Family Residential District
- IB Institutional Business District
- OS Open Space District
- B-1 Community Business District
- B-2 Central Business District
- B-3 General Business District
- O-1 Office District
- O-2 Limited Office District
- O-3 General Office District
- HS Health Services District
- B-3 Design Review Overlay District

Scale: 1" = 1 mile

North Arrow

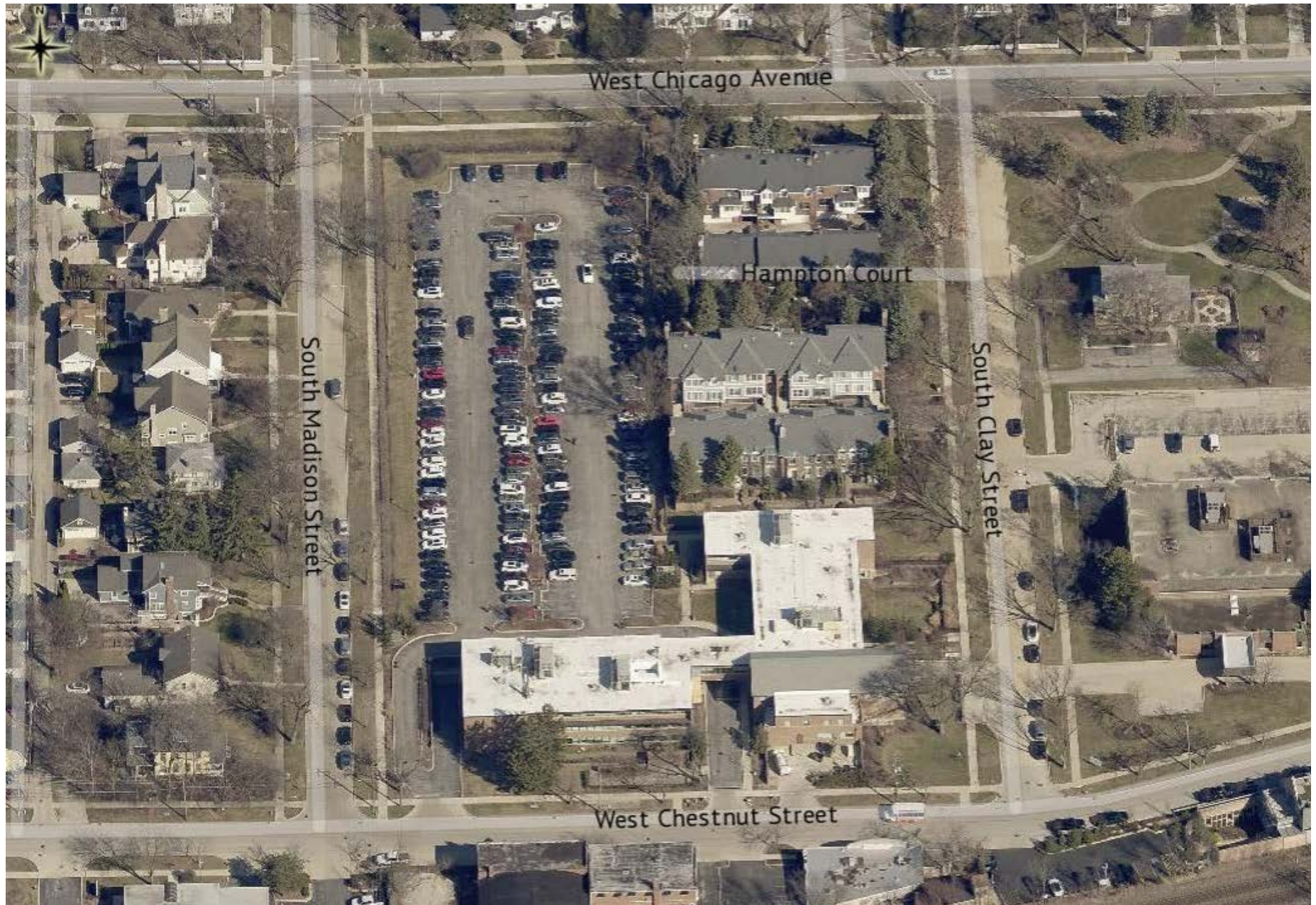
Surrounding Villages: Oak Brook, Oak Ridge, Burr Ridge, Western Springs

[illegible]

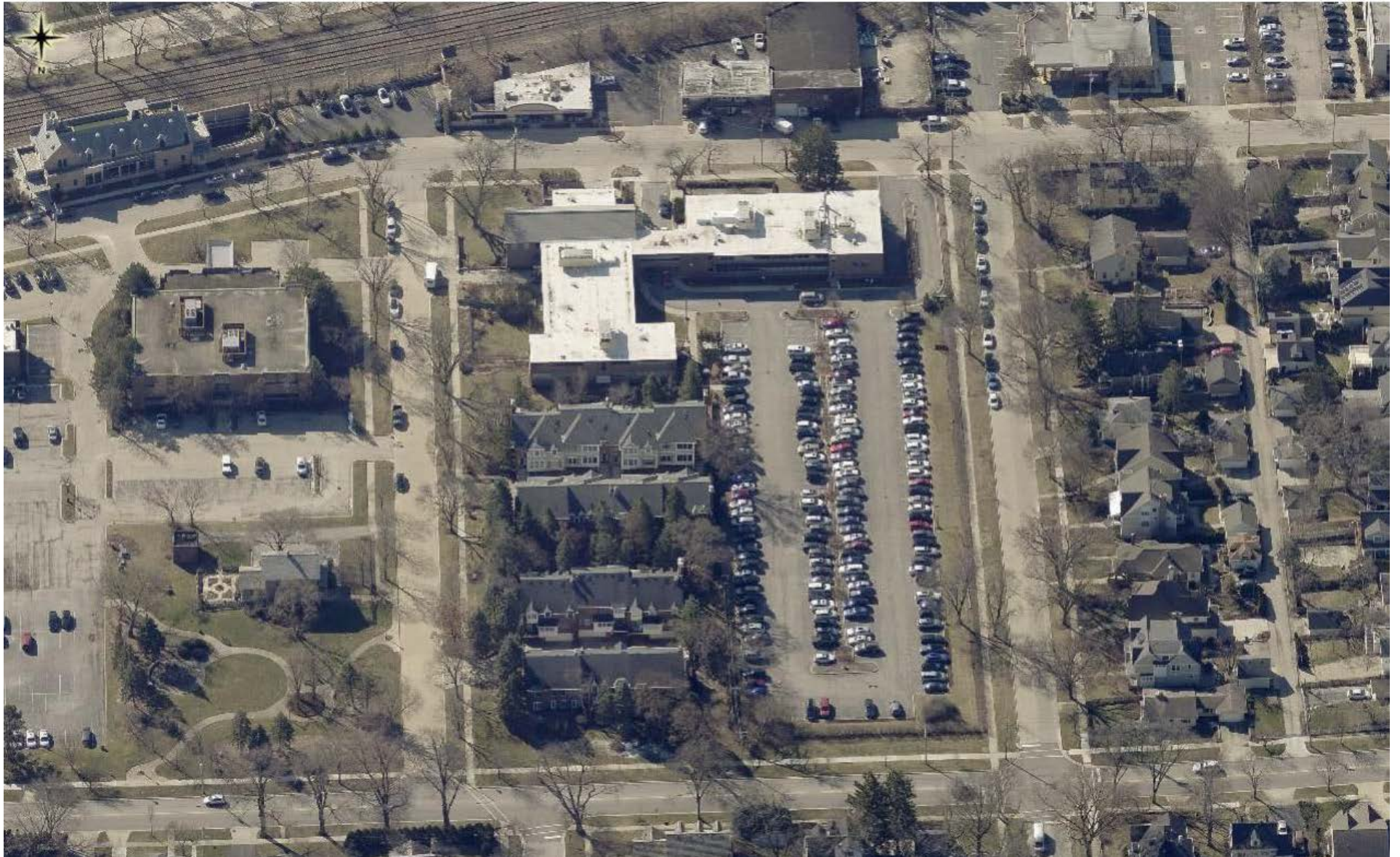
Aerial View – 40 S. Clay Street



Birds Eye View – 40 S. Clay Street



Birds Eye View – 40 S. Clay Street



Street View – 40 S. Clay Street



North Elevation Facing the Parking Lot

Street View – 40 S. Clay Street



South Elevation Facing Chestnut Street

Street View – 40 S. Clay Street



East Elevation Facing Clay Street

**Winn & 12 LL
9440 Enterprise Drive
Mokena, IL 60448**

April 3, 2023

Village of Hinsdale
19 E. Chicago Ave.
Hinsdale, IL 60521
Attn: Bethany Salmon, Village Planner

RE: 40 S Clay Street, Hinsdale IL – Building Signage

Dear Ms. Salmon:

Winn & 12 LLC, the Owner of the subject property, grants permission, subject to review and permit approval from the Village of Hinsdale, for Duly Health and Care to install building and monument signage as depicted on the plans prepared by Sign Palace and dated March 29, 2023.

Please contact me with any questions and thank you for your assistance with this matter.

Sincerely,



Steve Chmelik
As Agent for the Manager



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Duly Health and Care
Address: 1100 W 31st Street
City/Zip: Downers Grove, IL 60515
Phone/Fax: (630) 469-9200 /
E-Mail: joseph.paul@dulyhealthandcare.com
Contact Name: Joe Paul

Contractor

Name: Sign Palace Inc.
Address: 68 N. Lively Blvd.
City/Zip: Elk Grove Village, IL 60007
Phone/Fax: (847) 640-1335 /
E-Mail: ken@signpalace.com
Contact Name: Ken Kelly

ADDRESS OF SIGN LOCATION: 40 South Clay Street
ZONING DISTRICT: O-2 Limited Office District
SIGN TYPE: Wall Sign
ILLUMINATION None - Non-Illuminated

Sign Information:

Overall Size (Square Feet): 29.5 (236" x 18")
Overall Height from Grade: 20' - 3" Ft.
Proposed Colors (Maximum of Three Colors):
① Navy
② Cyan
③ White

Site Information:

Lot/Street Frontage: 340 linear feet
Building/Tenant Frontage: 231 linear feet
Existing Sign Information:
Business Name: Duly Health and Care - illuminated wall sign
Size of Sign: 54 Square Feet
Business Name: Duly Health and Care - ground sign
Size of Sign: 24 Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Trisha Novak
Signature of Applicant

3/29/2023
Date

Steve Amadio
Signature of Building Owner

4/3/2023
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: immediate care letterset
date: 03.29.2023
revision: 01

SIGN PROOF

description: non-illuminated, individually
formed, aluminum channel letterset
quantity: 1 set
size: 236" w x 18" h
overall area: 29.5 sq ft
color: cyan - to match pantone 2022c,
navy - BM 2065-10 (Admiral Blue) & white
materials: .090" & .063" aluminum
mounting: flush w/ concrete anchors

APPROVAL

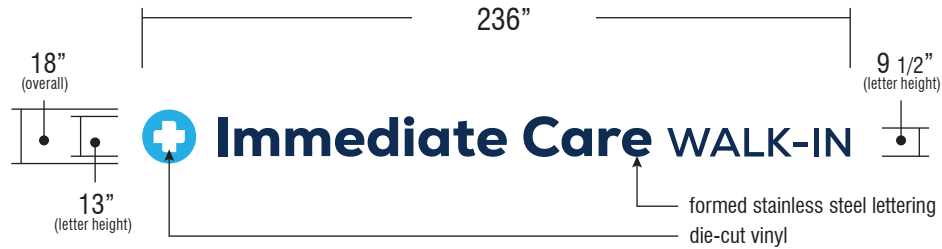
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



elevation view: 3/16" = 1' - 0"

 **Immediate Care WALK-IN**

isometric view



existing: 3/32" = 1' - 0"



proposed: 3/32" = 1' - 0"

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

date: 03.29.2023
revision: 01

SIGN PROOF

construction detail

APPROVAL

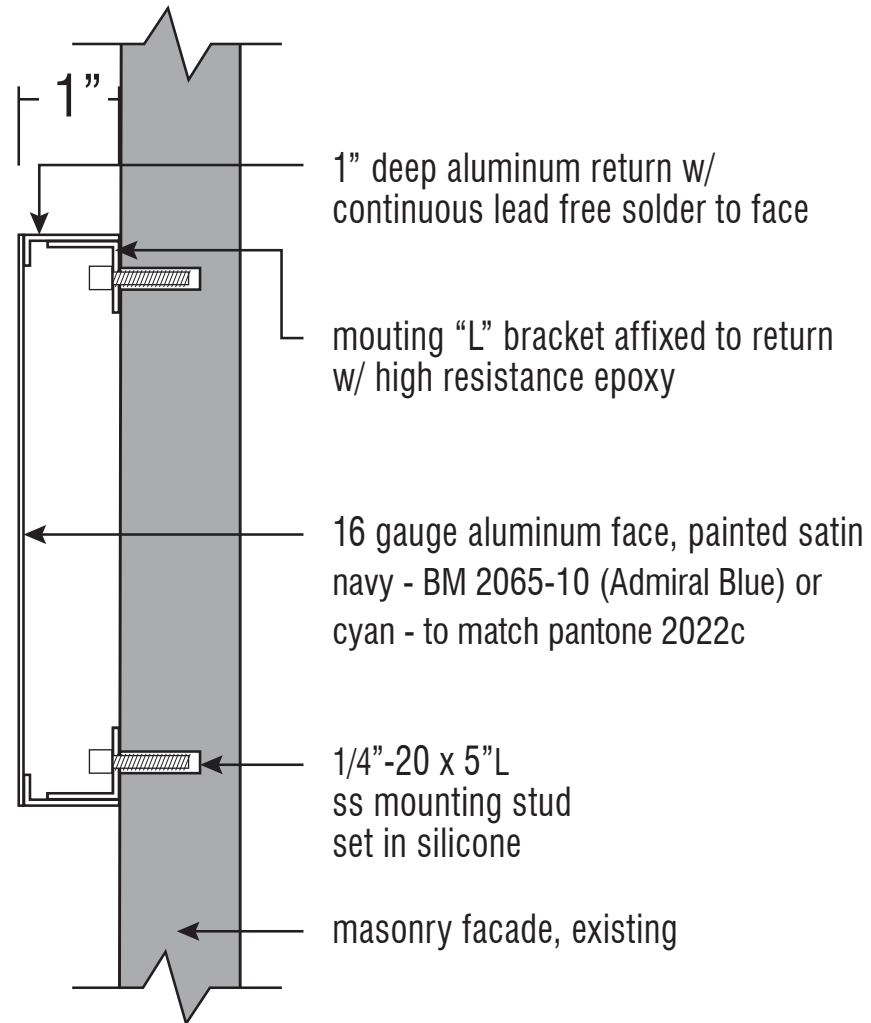
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd. elk grove village, IL 60007



section view: n.t.s.

D\ - Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care

location: 40 S. Clay St.

Hinsdale, IL 60521

work order: immediate care letterset

date: 03.29.2023

revision: 01

SIGN PROOF

placement detail

APPROVAL

X _____
Customer Approval Date

X _____
Landlord Approval Date

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd. elk grove village, IL 60007



proposed: 3/16" = 1'-0"

D\ - Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

date: 03.29.2023
revision: 01

SIGN PROOF

APPROVAL

X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



proposed non-illuminated letterset location



D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Duly Health and Care
Address: 1100 W 31st Street
City/Zip: Downers Grove, IL 60515
Phone/Fax: (630) 469-9200 /
E-Mail: joseph.paul@dulyhealthandcare.com
Contact Name: Joe Paul

Contractor

Name: Sign Palace Inc.
Address: 68 N. Lively Blvd.
City/Zip: Elk Grove Village, IL 60007
Phone/Fax: (847) 640-1335 /
E-Mail: ken@signpalace.com
Contact Name: Ken Kelly

ADDRESS OF SIGN LOCATION: 40 South Clay Street

ZONING DISTRICT: O-2 Limited Office District

SIGN TYPE: Wall Sign

ILLUMINATION None - Non-Illuminated

Sign Information:

Overall Size (Square Feet): 8.8 (127" x 9.75")

Overall Height from Grade: 7'- 10" Ft.

Proposed Colors (Maximum of Three Colors):

- ① White
- ② Cyan
- ③

Site Information:

Lot/Street Frontage: 340 linear feet

Building/Tenant Frontage: 231 linear feet

Existing Sign Information:

Business Name: Duly Health and Care - illuminated wall sign

Size of Sign: 54 Square Feet

Business Name: Duly Health and Care - ground sign

Size of Sign: 24 Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Trisha Novak
Signature of Applicant

3/29/2023
Date

Steve Chmielewski
Signature of Building Owner

4/3/2023
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



customer: Duly Health and Care

location: 40 S. Clay St.

Hinsdale, IL 60521

work order: imm care letterset add-on

date: 03.29.2023

revision: 00

SIGN PROOF

description: non-illuminated, individually formed, aluminum letterset

quantity: 1 set

size: 127" w x 9 3/4" h

overall area: 8.8 sq ft

color: cyan - pantone 2022c & white

materials: aluminum

mounting: flush w/ concrete anchors

APPROVAL

X _____ Date
Customer Approval

X _____ Date
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



elevation view: 1/2" = 1'- 0"



isometric view

total signage area
size: 129.5" x 74"
area: 66.55 sq ft



existing: 1" = 10'- 0"



proposed: 1" = 10'- 0"

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care

location: 40 S. Clay St.

Hinsdale, IL 60521

work order: imm care letterset add-on

date: 03.29.2023

revision: 00

SIGN PROOF

placement detail

APPROVAL

X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



proposed placement: 1/8" = 1'- 0"

D\ - Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care

location: 40 S. Clay St.
Hinsdale, IL 60521

work order: imm care letterset add-on

date: 03.29.2023

revision: 00

SIGN PROOF

construction detail

APPROVAL

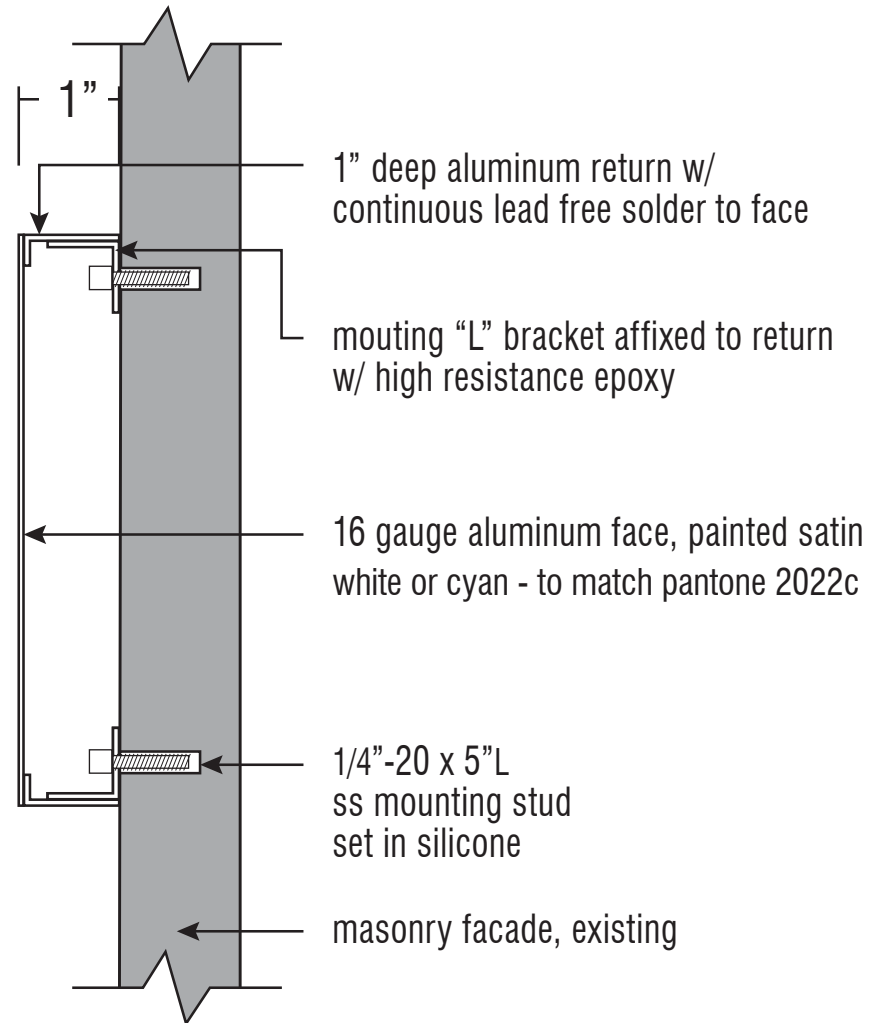
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



section view: n.t.s.

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care

location: 40 S. Clay St.
Hinsdale, IL 60521

work order: imm care letterset add-on

date: 03.29.2023

revision: 00

SIGN PROOF

construction detail

APPROVAL

X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



day: 3/32" = 1'- 0"

note

- illuminated signage on abutting lot or across the street from, & visible from, any residentially zoned area will not be lit between the hours of 10:00 pm and 7:00 am



night: 1/8" = 1'- 0"

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care

location: 40 S. Clay St.

Hinsdale, IL 60521

work order: imm care letterset add-on

date: 03.29.2023

revision: 00

SIGN PROOF

construction detail

APPROVAL

X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



proposed non-illuminated letterset location
immediate care walk-in addition

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Duly Health and Care
Address: 1100 W 31st Street
City/Zip: Downers Grove, IL 60515
Phone/Fax: (630) 469-9200 /
E-Mail: joseph.paul@dulyhealthandcare.com
Contact Name: Joe Paul

Contractor

Name: Sign Palace Inc.
Address: 68 N. Lively Blvd.
City/Zip: Elk Grove Village, IL 60007
Phone/Fax: (847) 640-1335 /
E-Mail: ken@signpalace.com
Contact Name: Ken Kelly

ADDRESS OF SIGN LOCATION: 40 South Clay Street

ZONING DISTRICT: O-2 Limited Office District

SIGN TYPE: Monument Sign

ILLUMINATION Internally Illuminated

Sign Information:

Overall Size (Square Feet): 24 (96" x 36")

Overall Height from Grade: 4'-0" Ft.

Proposed Colors (Maximum of Three Colors):

- ① Navy
- ② Cyan
- ③ White

Site Information:

Lot/Street Frontage: 500 linear feet

Building/Tenant Frontage: 180 linear feet

Existing Sign Information:

Business Name: Duly Health and Care - illuminated wall sign

Size of Sign: 54 Square Feet

Business Name: Duly Health and Care - ground sign

Size of Sign: 24 Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Trisha Novak

Signature of Applicant

3/29/2023

Date

Steve Chomicki

Signature of Building Owner

4/3/2023

Date

FOR OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: monument reface
date: 03.06.2023
revision: 01

SIGN PROOF

description: reface double sided monument
w/ new .080" aluminum routed faces,
painted satin white w/ routed faces,
white acrylic push-thru w/ 1/2" projection
& translucent vinyl applied 1st surface
quantity: 2 panels
insert size: 96.625" x 35.625"
visible opening: 93.625" x 32.625"
colors: cyan - 3M 3630-57 (olympic blue)
navy - 3M 3630-187 (infinity blue)
mounting: existing monument sign

APPROVAL

X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

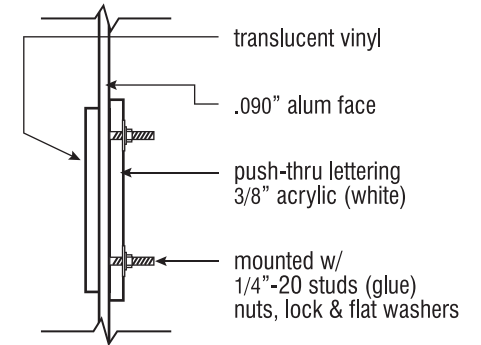
ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd. elk grove village, IL 60007



elevation view: 1/2" = 1'- 0"



section view: n.t.s.
acrylic push-thru

existing signage
size: 96.625" x 35.625"
area: 23.90 sq ft



existing: 1/4" = 1'- 0"



proposed: 1/4" = 1'- 0"

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: monument reface
date: 03.06.2023
revision: 01

SIGN PROOF

existing sign cabinet & foundation details

scope of work includes replacing of faces only

APPROVAL

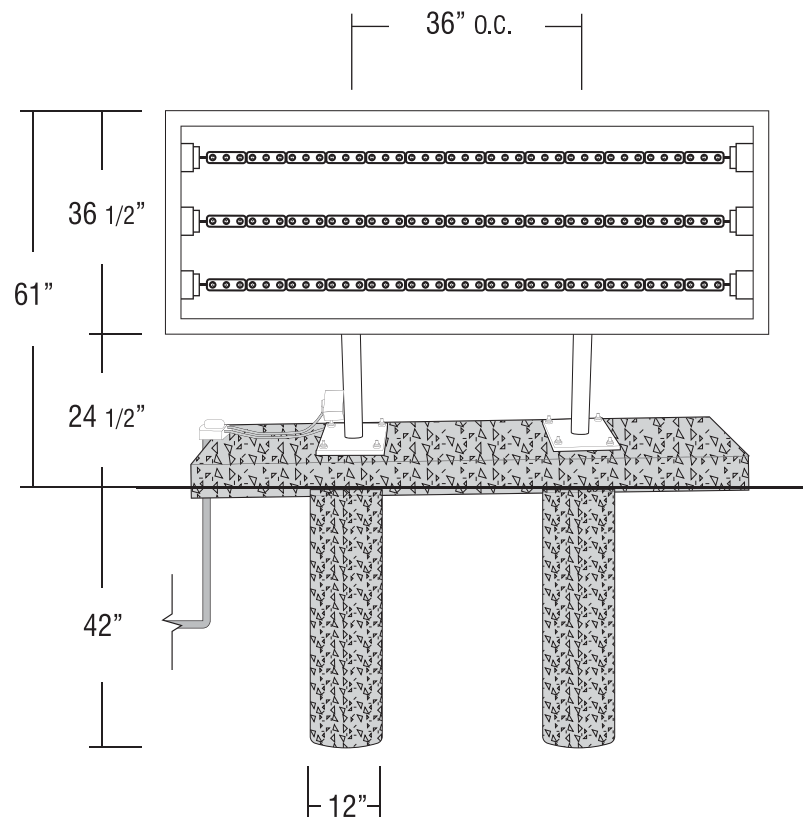
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

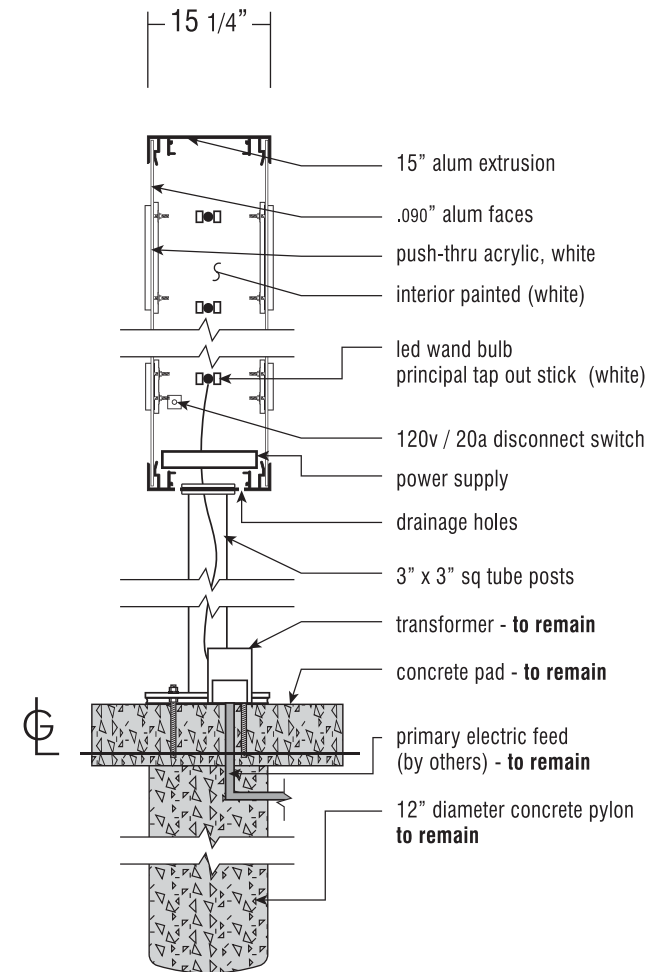
ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd. elk grove village, IL 60007



foundation detail: 1/2" = 1'-0"



sign section view - n. t. .s.

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: monument reface
date: 03.06.2023
revision: 01

SIGN PROOF

existing sign cabinet & foundation details

scope of work includes replacing of faces only

APPROVAL

X _____
Customer Approval Date

X _____
Landlord Approval Date

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd. elk grove village, IL 60007



day: 3/16" = 1'- 0"

note

- illuminated signage on abutting lot or across the street from, & visible from, any residentially zoned area will not be lit between the hours of 10:00 pm and 7:00 am
- sign background is opaque aluminum face, painted white.
- only sign message will transmit light.



night: 3/8" = 1'- 0"

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: monument reface
date: 03.06.2023
revision: 01

SIGN PROOF

site map & sign locations

APPROVAL

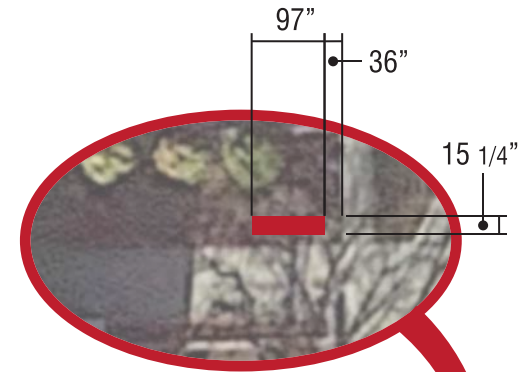
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



proposed monument reface location

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



customer: Duly Health and Care
location: 40 S. Clay St.
Hinsdale, IL 60521

work order: monument reface
date: 03.06.2023
revision: 01

SIGN PROOF

landscaping detail - to remain as is

scope of work includes replacing of faces only

APPROVAL

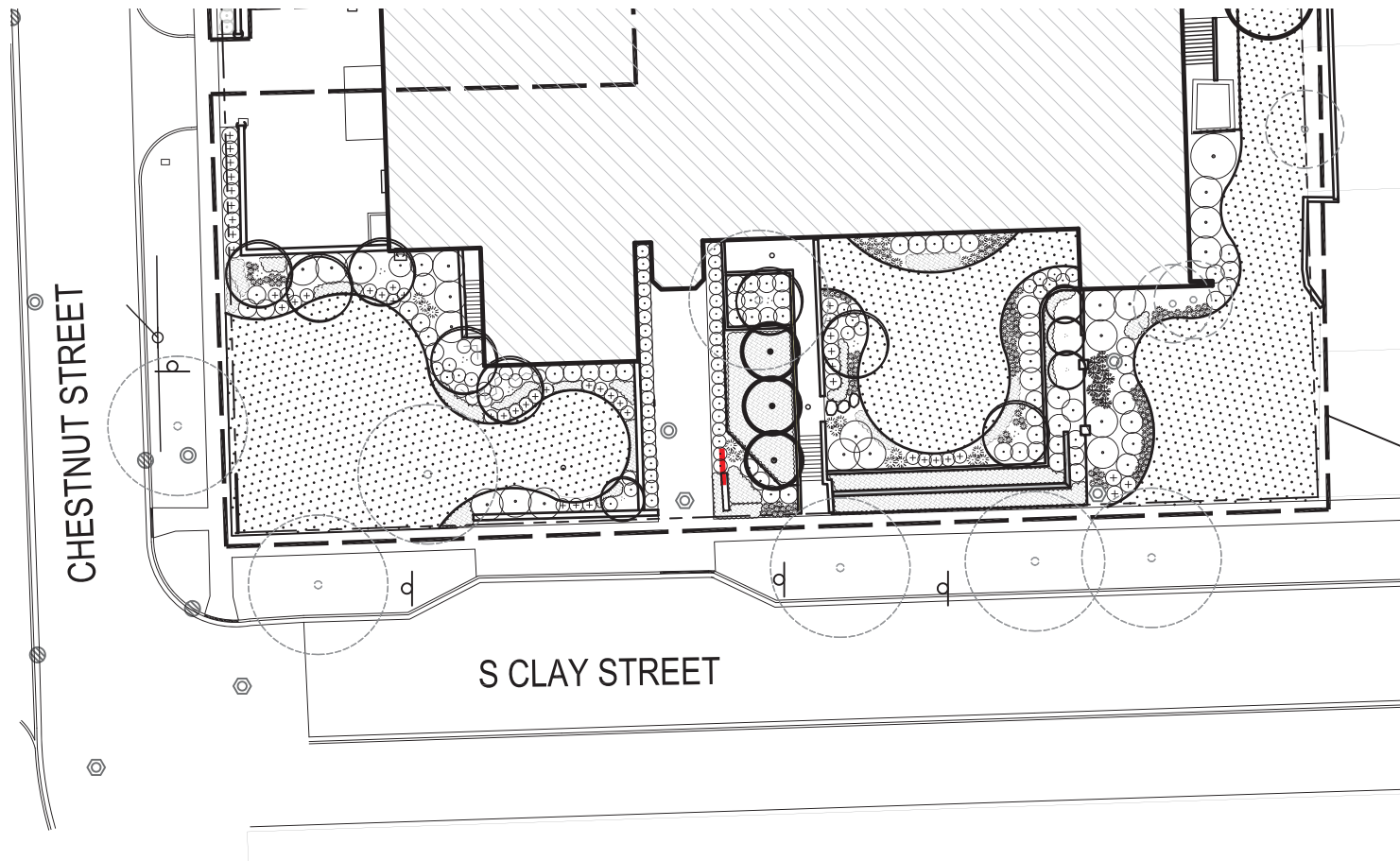
X _____ Date _____
Customer Approval

X _____ Date _____
Landlord Approval

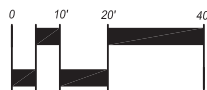
ARTWORK CHARGE INCLUDES 1 DRAWING AND 1 REVISION.
Any subsequent revisions will be billed at \$75/hour.

847.640.1335 | signpalace.com

68 north lively blvd, elk grove village, IL 60007



Legend



1" = 40'-0"

Plant List

Qty	Sym	Common Name	Botanical Name	Planting Size
EVERGREEN TREES & SHRUBS				
07	JUN	Sea Green Juniper	Juniperus chinensis 'Sea Green'	#3
03	PIC	Black Hills Spruce	Picea glauca var. densata	6'
DECIDUOUS SHRUBS				
40	CSF	Yellowtwig Redosier Dogwood	Cornus sericea 'Flaviramea'	#5
06	ROR	Knock Out Rose	Rosa 'Radcon'	#3
61	SPM	Miss Kim Lilac	Syringa patula 'Miss Kim'	#5
30	VCC	Cayuga Koreanspice Viburnum	Viburnum carlesii 'Cayuga'	#5
ORNAMENTAL GRASSES				
84	PVM	Switchgrass	Panicum virgatum	#3
11	SAU	Autumn Moor Grass	Sesleria autumnalis	#1
PERENNIALS & GROUNDCOVERS				
21	HEU	Prairie alumroot	Heuchera richardsonii	#1
10	SAL	Caradonia salvia	Salvia nemorosa 'Caradonia'	#1
37	SOL	Fireworks Goldenrod	Solidago rugosa 'Fireworks'	#1

D:\- Duly Health and Care\Hinsdale\40 S. Clay Ave\Exterior\Walk-In Immediate Care



**PLAN COMMISSION
MEMORANDUM**

DATE: May 5, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-15-2023 – Sign Permit Review – 100 S. Garfield Avenue – Hinsdale Middle School – Installation of One (1) Ground Signs, Six (6) Wall Signs, and Two (2) Flag Poles

FOR: May 10, 2023 Plan Commission Meeting

SUMMARY

The Village of Hinsdale received a sign permit application from the Community Consolidated School District 181 requesting approval to install one (1) new ground sign south of the driveway for the upper parking deck off of Garfield Avenue, allow for two (2) flag poles, and allow for six (6) previously installed wall signs on the Hinsdale Middle School building located at 100 S. Garfield Avenue. The existing school building is located in the IB Institutional Buildings District.

The proposed ground sign meets all Zoning Code requirements. However, the wall signs and flags will require approval of the following variations by the Zoning Board of Appeals and Village Board:

1. Increase the number of wall signs permitted per lot from two (2) to six (6) – Section 9-106(J)(3)(b)
2. Increase the maximum gross surface area of wall signs permitted from 100 square feet to 114.5 square feet – Section 9-106(J)(4)(b)
3. Increase the maximum gross surface area of an official emblem when displayed as a wall sign from 3 square feet to 18.7 square feet – Section 9-106(J)(4)(e)
4. Increase the maximum height of the wall signs located on the east elevation facing Garfield Avenue from twenty (20) feet or no higher than the bottom of any second floor window, whichever is less, to forty-two feet eight inches (42' 8") – Section 9-106(J)(5)(b)
5. Increase the size of two flags from twenty-four (24) square feet to ninety-six (96) square feet – Section 9-106(F)(7)

The applicant will submit a separate variation packet to the Village for review by the Zoning Board of Appeals and Village Board following review and approval of the sign permit by the Plan Commission. If approved by the Plan Commission, it should be stated in the motion that any signage involving a variation is subject to approval by the Zoning Board of Appeals and Village Board.

REQUEST AND ANALYSIS

The applicant is requesting to install one (1) new ground sign on Garfield Avenue, allow for two (2) flag poles on site, and allow for six (6) previously installed wall signs, as described below and included in the summary table.

MEMORANDUM

SUMMARY OF SIGNAGE			
Sign No.	Sign Type	Location	Sign Face Area
1	Wall Sign	South Elevation - Third Street	27.9 sq.ft.
2	Wall Sign	West Elevation - Washington Street	9.5 sq.ft.
3	Wall Sign	East Elevation - Parking Deck	9.5 sq.ft.
4	Wall Sign	North Elevation - Parking Deck	27.9 sq.ft.
5	Wall Sign	East Elevation - Garfield Avenue	21 sq.ft.
6	Wall Sign	East Elevation - Garfield Avenue	18.8 sq.ft.
7	Ground Sign	East Side of Building - Garfield Avenue	25.7 sq.ft.
Flagpole 1	Flag	South Side of Building - Washington Street	Pole Height: 44'-6" Flag Size: 96 sq.ft.
Flagpole 2	Flag	East Side of Building - Garfield Avenue	Pole Height: 44'-6" Flag Size: 96 sq.ft.

Wall Signs - Six (6) wall signs were previously installed on the north, south, east, and west elevations of the building. Per Section 9-106(J), in the IB District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet. The applicant must obtain approval of variations to allow for an increase to the number of wall signs permitted per lot from two (2) to six (6) as well as to increase the maximum gross surface area of wall signs permitted from 100 square feet to 114.7 square feet. The existing wall signs are briefly described below.

- **Sign No. 1 – South Elevation (Third Street)** – Individual aluminum pin-mounted letters for “Hinsdale Middle School” are located over the center entrance doors on the south side of the building off of Third Street. The sign measures 12.4’ long and 2.25’ tall, with an overall sign face area of 27.9 square feet.
- **Sign No. 2 – West Elevation (Washington Street)** – Individual aluminum pin-mounted letters for “Gymnasium” are located over one of the entrance doors off of Washington Street. The sign measures 9.5’ long and 1’ tall, with an overall sign face area of 9.5 square feet.
- **Sign No. 3 – East Elevation (Parking Deck)** – This wall sign is the same size and uses the same design as Sign No. 2. Individual aluminum pin-mounted letters for “Gymnasium” are located over one of the entrance doors on the east side of the building off of the parking deck. The sign measures 9.5’ long and 1’ tall, with an overall sign face area of 9.5 square feet.
- **Sign No. 4 – North Elevation (Parking Deck)** – This wall sign is the same size and uses the same design as Sign No. 1. Individual aluminum pin-mounted letters for “Hinsdale Middle School” are located over one of the entrance doors of the north elevation facing the parking deck. The sign measures 12.4’ long and 2.25’ tall, with an overall sign face area of 27.9 square feet.
- **Sign No. 5 & 6 – East Elevation (Garfield Avenue)** – Individual aluminum pin-mounted letters for “Hinsdale Middle School” and an official school emblem are located on the third floor of the brick wall off of Garfield Street. The pin-mounted letters for “Hinsdale Middle School” measure 21’ long and 1’ tall, with an overall sign face area of 21 square feet. The official school emblem measures 4.3’ tall and wide, with an overall sign face area of 18.8 square feet.



MEMORANDUM

The applicant will be required to obtain approval of variation to allow for an increase to the size of the official emblem. Official flags and emblems, when displayed as a wall sign, shall not exceed three (3) square feet in area in the IB District. The proposed sign measures 18.8 square feet.

Approval of a variation is also required to increase to the maximum mounting height of the signs. Wall signs shall have a maximum height of 20 feet, measured from the top of sign to adjacent grade, or no higher than the bottom of any second floor window, whichever is less. The proposed signs are mounted on the third floor and the measurement from the top of the official emblem to the adjacent grade is 42'-8".

The signs are externally illuminated by an LED light strip mounted on the brick wall below the signs. The light strip has been modified and made dimmable to meet the Village's lighting requirements. Per Section 9-106, in no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed fifty (50) foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. A rendering has been provided to show what the wall sign will look like illumined at night.

Ground Sign - Sign No. 7 - The applicant is proposing to install a double-sided, code-compliant ground sign on the east side of the building, south of the driveway to the upper level of the parking deck on Garfield Avenue. As proposed, the ground sign meets all Zoning Code requirements.

The proposed ground sign will be constructed of brick to match the existing building, cast tone coping / top trim, and a cast stone panel sign face area with black aluminum stud-mounted letters. In the IB District, ground signs shall not exceed 8 feet in height and may have a maximum gross surface area of a 50 square feet per sign face with no more than 2 faces per sign. The ground sign will measure 5'-10" tall, 10'-17" wide, and 2'-3" deep. The proposed sign face, excluding the structural components of the ground sign, measures 9'-8" wide and 2'-8" tall, with a sign face area of 25.7 square feet.

The ground sign meets setback requirements and will be located 10' from the east property line along Garfield Avenue. The applicant has also provided a landscape plan showing a mulched area around the ground sign that will be planted with perennials (Variegated Lilyturf and Stonecrop Red Carpet).

The sign will be externally illuminated by four (4) ground lights located in the mulched landscape bed. Dimmers will be installed on these light fixtures to meet code requirements. The applicant will be required to meet the Village's lighting standards. The illumination of any sign, resulting from any internal or external artificial light source, may not exceed 50 foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets. Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of 10:00 P.M. and 7:00 A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.



MEMORANDUM

Flag Poles & Flags - Two (2) flag poles with the American Flag will be located on site. One (1) flag pole is currently located near the south entrance door off of Third Street. One (1) flag pole will be installed directly to the west of the proposed ground sign off of Garfield Avenue. The flag will be illuminated by two (2) ground-mounted light fixtures installed in the mulched area near the ground sign.

In the IB District, per Section 7-310, flag poles may extend to a height of ten feet (10') above the highest point of the roof of the principal structure. The proposed flag poles measure 44'-6" in height, which meets code requirements. The applicant has indicated that the building is 50'-4" tall on the south elevation.

Official flags and emblems displayed on flagpoles are considered permit exempt provided they shall not exceed 24 square feet in area. Given the height of the flag poles, the appropriate size of the flags is 12' wide and 8' tall, with an overall area of 96 square feet. Separate approval of a variation for the flags is required.

PROCESS

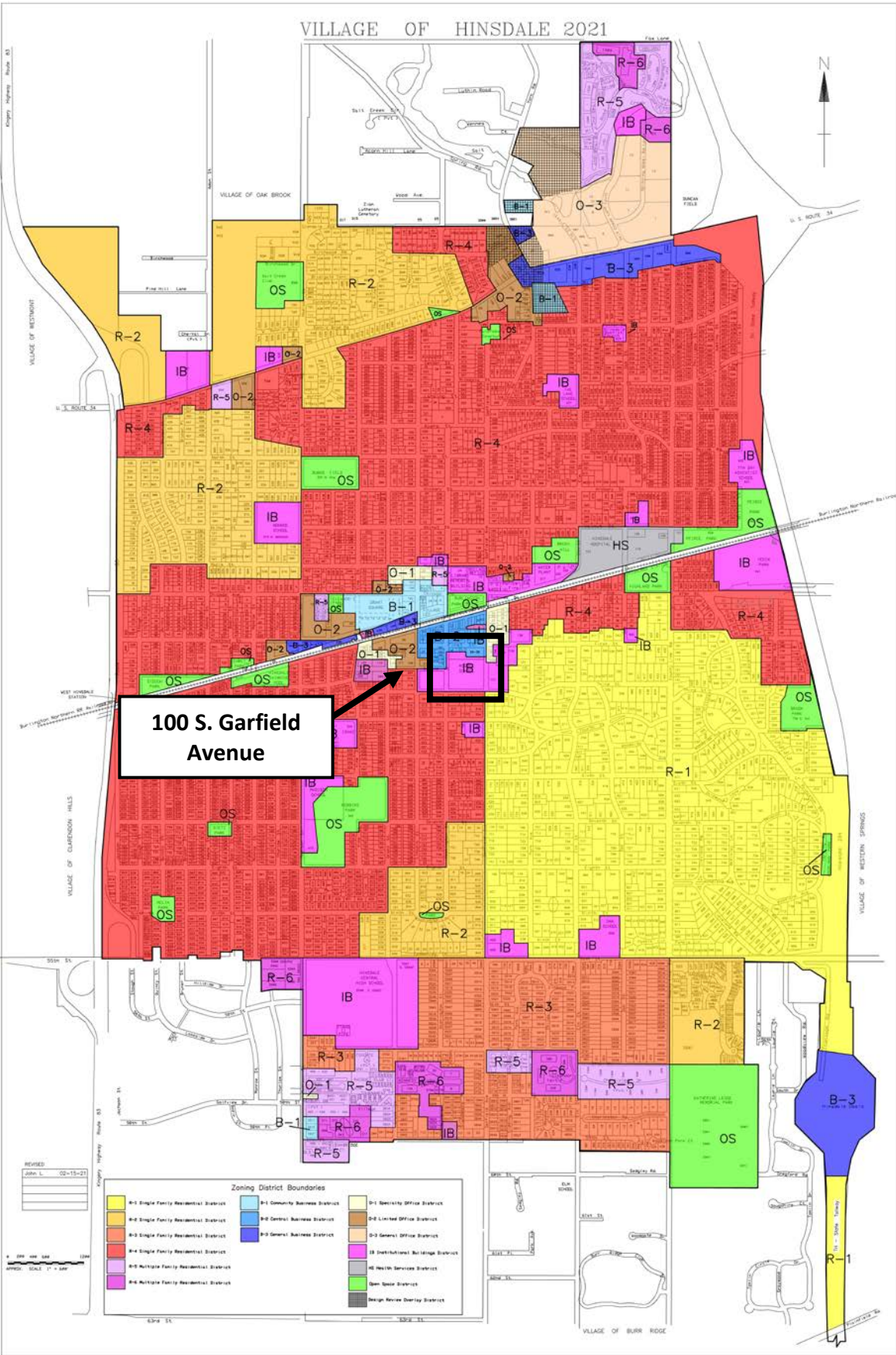
Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

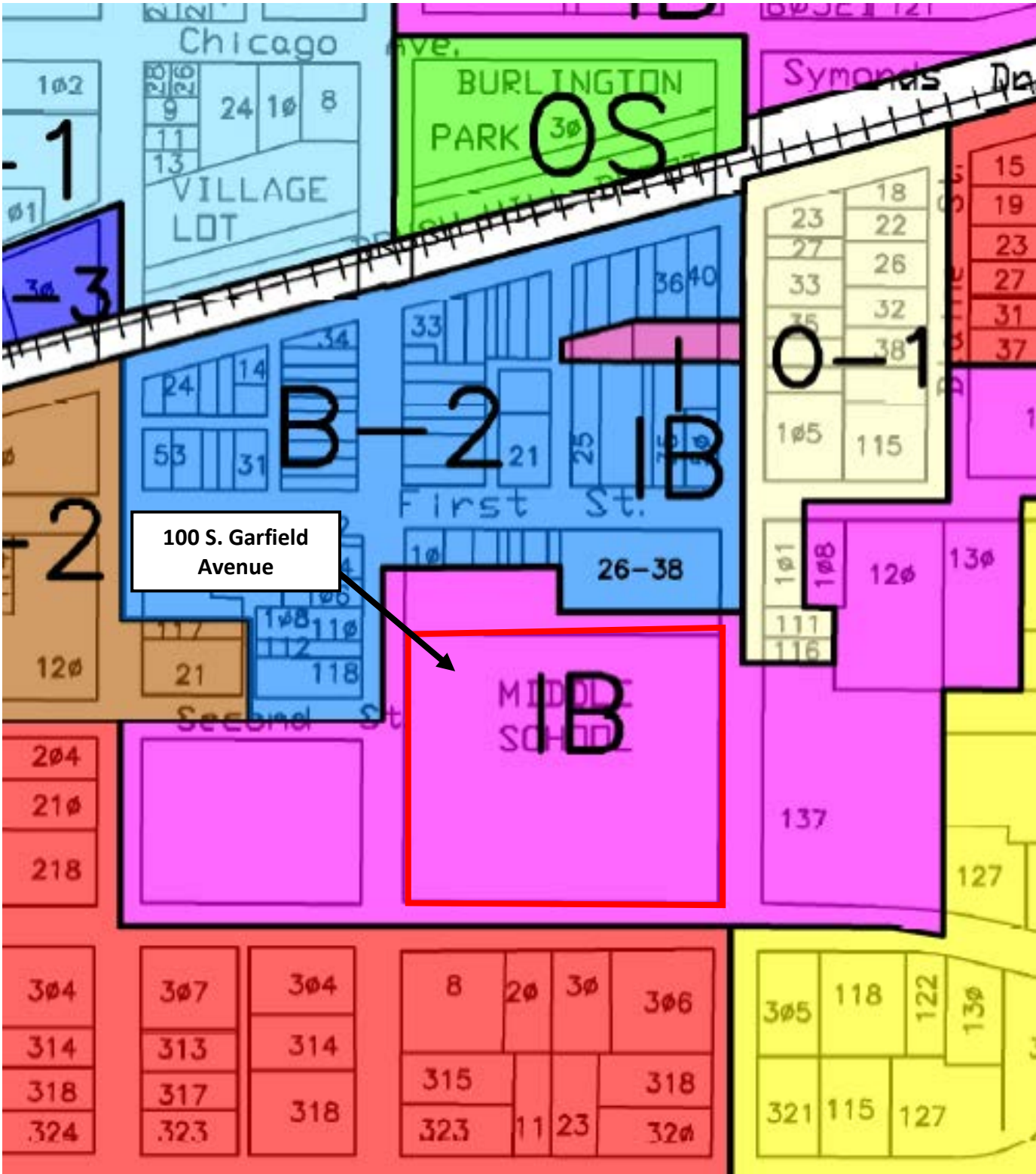
ATTACHMENTS

1. Zoning Map and Project Location
2. Birds Eye View
3. Street View
4. Sign Application and Exhibits

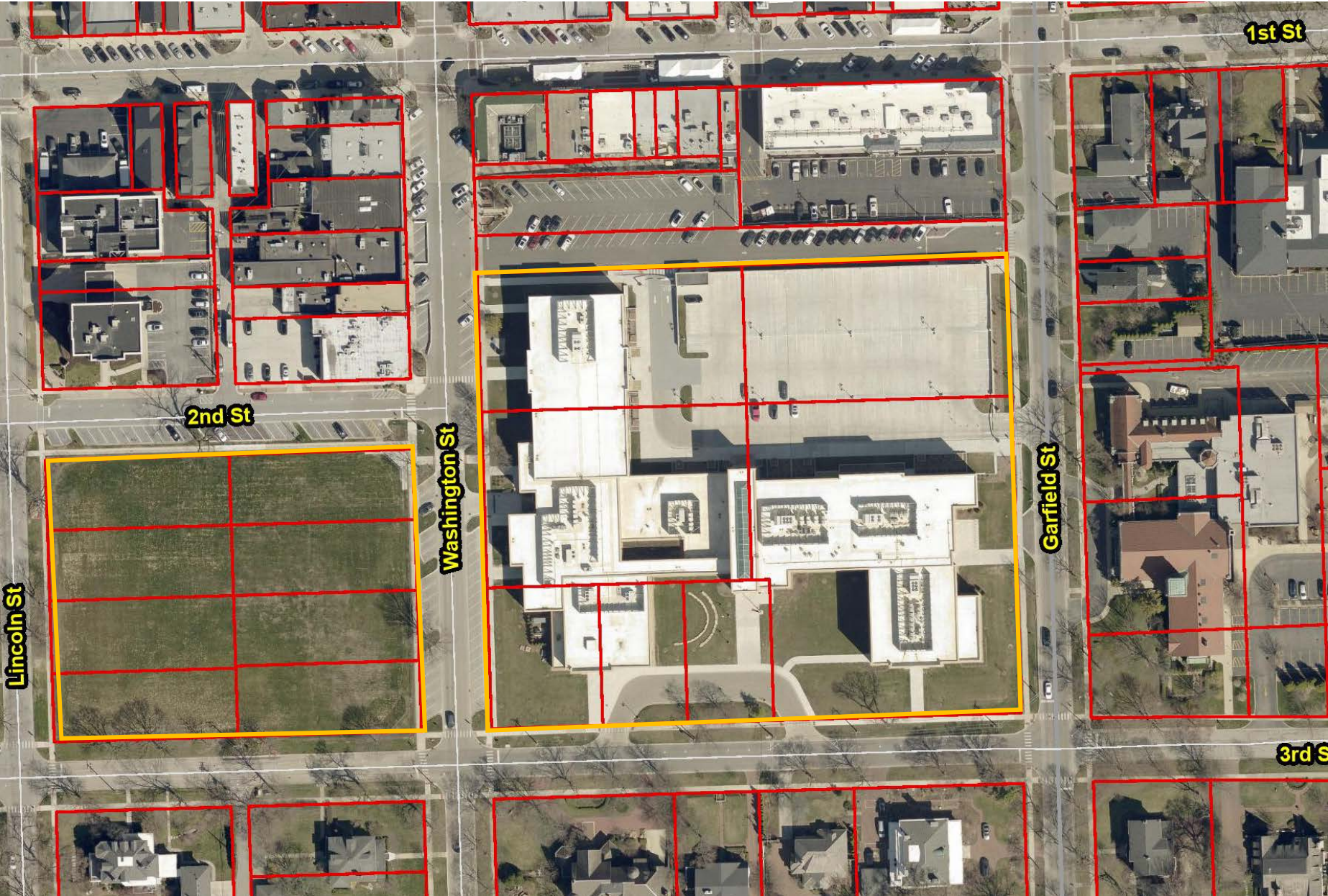
Village of Hinsdale Zoning Map and Project Location



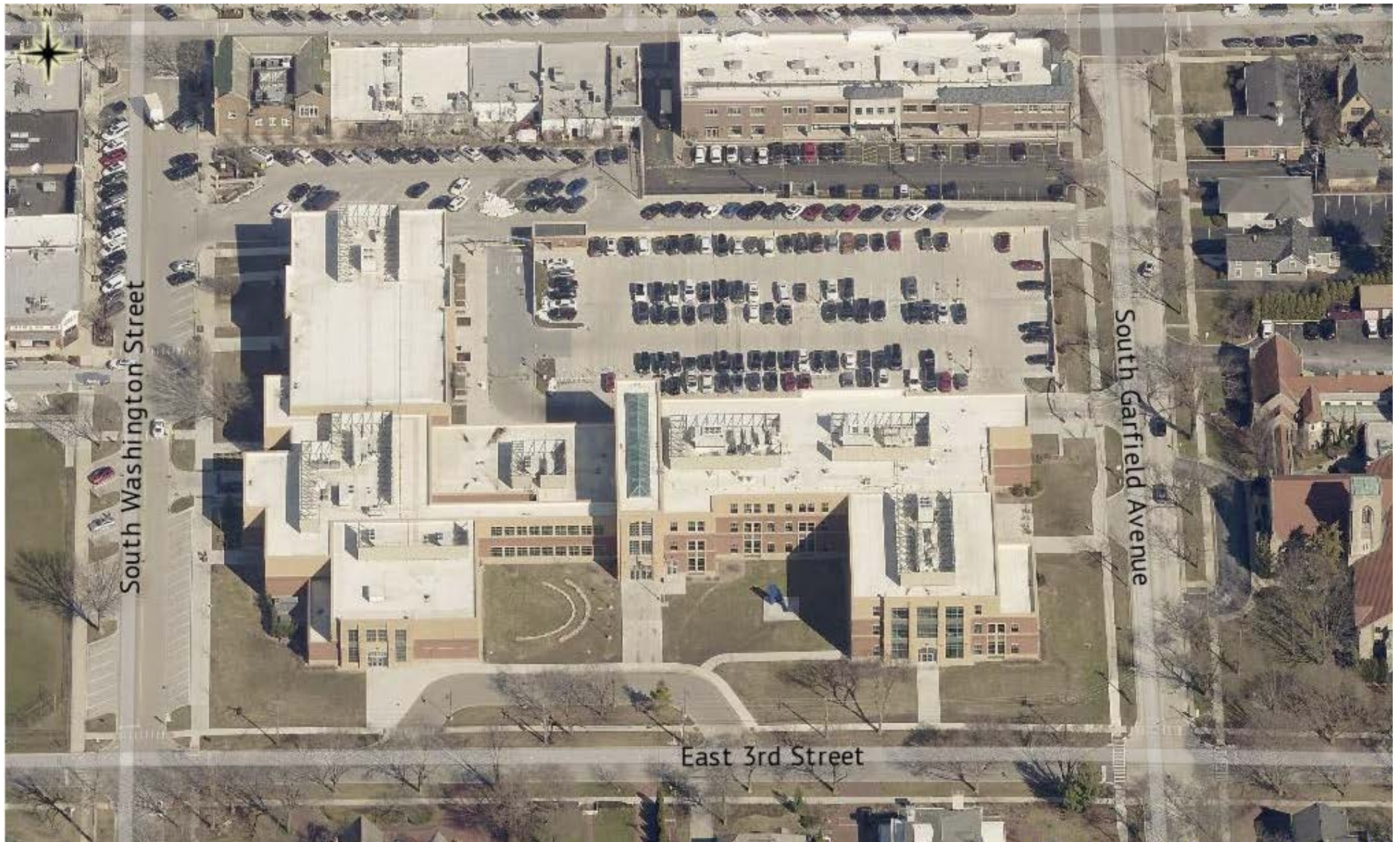
Village of Hinsdale Zoning Map and Project Location



Aerial View – 100 S. Garfield Avenue



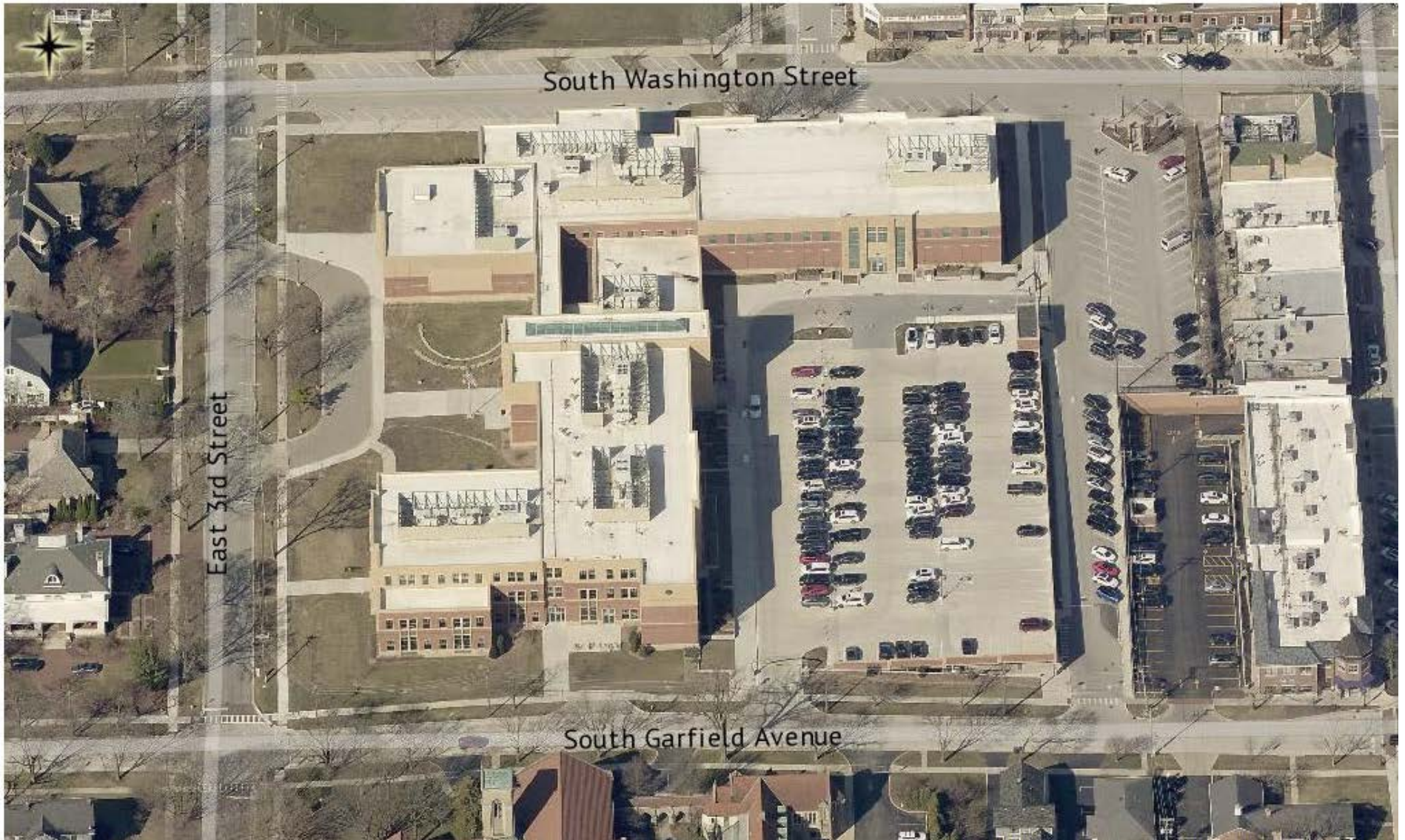
Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Birds Eye View – 100 S. Garfield Avenue



Street View – 100 S. Garfield



East Elevation on Garfield Street



March 20, 2023

Village of Hinsdale Community Development Department
19 E. Chicago Avenue
Hinsdale, Illinois 60521

Re: Hinsdale Middle School Sign Permit Application

Dear Mr. McGinnis,

This sign permit application includes all of the existing and proposed signage at the Hinsdale Middle School (HMS) property.

Community Consolidated School District 181 is applying separately to the Zoning Board of Appeals for five variations related to the number, size, and location of the wall signs. Variances being requested are indicated for informational purposes on the signage exhibits and are summarized here:

- Variance 1 - The number of wall signs permitted per lot
- Variance 2 - The maximum gross surface area of wall signs
- Variance 3 - The maximum gross surface area of an official emblem when displayed as a wall sign
- Variance 4 - The maximum height of a wall sign
- Variance 5 - The size of a flag

The monument sign is fully compliant and does not require any variances. The installed and proposed illumination is also fully compliant. Signage illumination details are included for informational purposes.

Also included for informational purposes are details on the flag poles and flags at HMS. The flag poles are compliant and no variation is required, as noted above an increase in the allowable size of a flag is Variance 5.

A Summary Information document is included that list each sign and flag pole, sign type, description, location, size, variances, exhibits and other details to assist in the review of this application.



A unique physical condition requiring multiple locations for building signage of sufficient size and design is created due to the building size, configuration, and use. Previous zoning approvals recognized these needs as necessary to support the programmatic and enrollment needs for District 181 to provide a 21st century learning environment. The need for the signage for parents and visitors to the school included in this application is created due to the:

- Site having three street frontages
- Size of the site and building
- Use of public spaces for after school hour uses
- Multiple traffic flows and school operations for parent drop off, bussed student, staff, visitors, after school activities, deliveries, etc.
- Number of code required doors for exiting
- Security requirements for student and staff safety
- School parking requirements
- Village of Hinsdale shared parking

Wall Signage

Building signage at any school is very important due to the large number of doors a school building has to meet code required exiting requirements. It is critical to clearly identify doors to be used for entry from a visitor's first approach to the school, to their locating parking, and subsequent checking in at the main office.

The location of signage and signals is important to safety and security management at the school. At HMS there could be confusion as to the location of the main building entry due to the shared parking deck on the north and the bus loop on the south side.

Public spaces like the gymnasium are located on the on the first floor to allow public access while securing the remainder of the building, the signage over these doors identifies this public space for visitors to the building.

Exterior illumination of signs is only on the Garfield St side of HMS facing another institutional use, no illumination is proposed on sides of the building facing residential properties.

Monument sign, wall sign, Blue Ribbon emblem and flag pole on Garfield Street

During the Parking Deck construction, it became clear that there was a need for identification of the main school entry and school parking entrance.



The Village of Hinsdale could not install the flag pole (required during the Village's zoning approval process for the HMS building) due to structural considerations with the deck. This flag pole had already been purchased by District 181 for the Village to install as part of the IGA for the Parking Deck construction.

During the Village's Parking Deck construction meetings, it was determined that all these issues could be resolved by combining the flag pole, lighted building signage, Blue Ribbon emblem, and a lighted ground level monument sign at the Garfield Street entry to the upper-level parking.

The combination of the existing building sign and Blue Ribbon emblem on the Garfield Street side of the building with the proposed flag pole and monument sign together as a single design element provide the signage and signals necessary for visitors to identify where to park and enter the HMS building.

For the Garfield Street Emblem and Wall Sign No. 5, lighting was installed when the building was constructed and has been in place for approximately 4 years. In December 2022 controls were installed on the lighting to reduce the light level to code compliant levels.

Public schools are a unique building type in the Village of Hinsdale based on location, function, and as recognized by special standing under local zoning requirements in Illinois law relative to school activities and the local zoning process. In the design of the building and signage District 181 has carefully considered its statutory duties, the educational activities in the building, and the administration and management of the building. District 181 respectfully requests that approval for the Hinsdale Middle School signage be as requested in this application.

Respectfully,

Richard Engstrom
Assistant Superintendent of Business and Operations
Community Consolidated School District 181



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Hinsdale Middle School-HMS Wall Sign - Signs 1 & 4

Applicant

Name: Community Consolidated School District 181

Address: 115 W. 55th St.

City/Zip: Clarendon Hills, IL 60514

Phone/Fax: (630) 861-4900 /

E-Mail: mduggan@d181.org

Contact Name: Michael Duggan

Contractor

Name: N/A

Address: _____

City/Zip: _____

Phone/Fax: () /

E-Mail: _____

Contact Name:

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 27.9 (149" x 27")

Overall Height from Grade: 16'-7" Ft.

Proposed Colors (Maximum of Three Colors):

- 1 Clear anodized aluminum

2 thus

- 2 _____

- 3** _____

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage:

Existing Sign Information:

Business Name:

Size of Sign: _____ Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date _____

Signature of Building Owner

Date _____

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Wall Sign - Signs 2 & 3

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (⁶³⁰) 861-4900 / _____
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address: _____
City/Zip: _____
Phone/Fax: (____) _____ / _____
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 9.5 (114.5" x 12")

Overall Height from Grade: 16'-4" Ft.

Proposed Colors (Maximum of Three Colors):

① Clear anodized aluminum

2 thus

② _____

③ _____

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage: _____

Existing Sign Information:

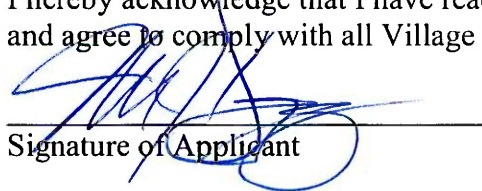
Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Hinsdale Middle School-HMS
Wall Sign - Sign No. 5

Applicant

Name: Community Consolidated School District 181

Address: 115 W. 55th St.

City/Zip: Clarendon Hills, IL 60514

Phone/Fax: (630) 861-4900 /

E-Mail: mduggan@d181.org

Contact Name: Michael Duggan

Contractor

Name: N/A

Address: _____

City/Zip: _____

Phone/Fax: () _____ / _____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): 21 (252" x 12")

Overall Height from Grade: 35'-8" Ft.

Proposed Colors (Maximum of Three Colors):

1 Clear anodized aluminum

2

③

1 thus

Site Information:

Lot/Street Frontage: **See Site Plan**

Building/Tenant Frontage:

Existing Sign Information:

Business Name:

Size of Sign: _____ Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date _____

Signature of Building Owner

Date _____

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Hinsdale Middle School-HMS
Monument Sign - Sign No. 7

Applicant

Name: Community Consolidated School District 181
Address: 115 W. 55th St.
City/Zip: Clarendon Hills, IL 60514
Phone/Fax: (630) 861-4900 /
E-Mail: mduggan@d181.org
Contact Name: Michael Duggan

Contractor

Name: N/A
Address:
City/Zip:
Phone/Fax: () /
E-Mail:
Contact Name:

ADDRESS OF SIGN LOCATION: HMS - 100 S. Garfield Ave., Hinsdale, IL 60521

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: Monument Sign

ILLUMINATION Up Lit

Sign Information:

Overall Size (Square Feet): 62.21 (10'-4" x 5'-10")

Overall Height from Grade: 5'-10" Ft.

Proposed Colors (Maximum of Three Colors):

① Red Ironspot to match building

② Golden Buff to match building

③

1 thus

Site Information:

Lot/Street Frontage: See Site Plan

Building/Tenant Frontage:

Existing Sign Information:

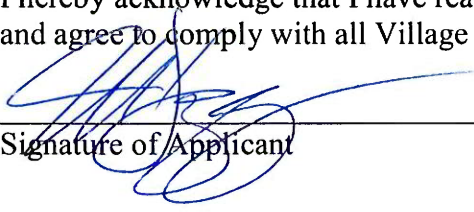
Business Name:

Size of Sign: Square Feet

Business Name:

Size of Sign: Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

4/3/23
Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: Administrative Approval Date:

Hinsdale Middle School Signage

Summary Information

Designation	Name	Sign Type	Description	Location	Lighting	Lighting Compliance	Wall Signs in Inches		Area Square Feet	Variance Number(s)	Sign Application Form	Exhibits	Mounting Height (top of wall sign)	Colors
							Length	Height						
Sign 1	Hinsdale Middle School - South	Wall Sign	Pin mounted letters over south entry doors	3rd Street	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 1 - Wall Sign 1 Details	16'-7"	Clear anodized aluminum
Sign 2	Gymnasium - West	Wall Sign	Pin mounted letters over west Gymnasium entry doors	Washington St	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 2 - Wall Sign 2 Details	16'-4"	Clear anodized aluminum
Sign 3	Gymnasium - East	Wall Sign	Pin mounted letters over east Gymnasium entry doors	Parking Deck	No	N/A	114.5	12	9.5	1 & 2	2 & 3	Exhibit 3 - Wall Sign 3 Details	16'-4"	Clear anodized aluminum
Sign 4	Hinsdale Middle School - North	Wall Sign	Pin mounted letters over north main entry doors	Parking Deck	No	N/A	149	27	27.9	1 & 2	1 & 4	Exhibit 4 - Wall Sign 4 Details	16'-7"	Clear anodized aluminum
Sign 5	Hinsdale Middle School - East	Wall Sign	Pin mounted letters	Garfield St Building Elevation	Yes	Yes	252	12	21.0	1, 2, & 4	5	Exhibit 5 - Wall Sign 5 Details Exhibit 8 - Garfield Street Wall Sign Illumination-INFORMATIONAL	35'-8"	Clear anodized aluminum
Sign 6	Blue Ribbon Emblem	Wall Sign	Wall mounted circular US Department of Education emblem	Garfield St Building Elevation	Yes	Yes	52	52	18.8	1, 2, 3, & 4	6	Exhibit 6 - Emblem Wall Sign 6 Details Exhibit 8 - Garfield Street Wall Sign Illumination-INFORMATIONAL	42'-8"	Painted panel
							Total All Wall Signs		114.7	Square Feet				
Sign 7	Monument Sign	Monument Sign	Ground mounted	Garfield St	Yes	Yes	10'-4"	5'-10"	62.21	None Required Compliant	7	Exhibit 7A - Monument Sign 7 Details Exhibit 7B - Rendering Existing & Proposed Garfield St Entry Signage Exhibit 7C - Monument Sign Construction Details Exhibit 7D - Monument Sign Overall Site Plan Exhibit 7E - Monument Sign Detail Site & Landscape Plans Exhibit 7F - Monument Sign Illumination (2 pages)	N/A	2 Types of Brick: Red Ironspot to match building Golden Buff to match building
Additional Informational Exhibits														
Flag Pole 1	Flag Pole - South	N/A	Aluminum Flag Pole	3rd Street	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A	Exhibit 9 - Flag Poles and Flag Details (5 pages)-INFORMATIONAL	N/A	Aluminum
Flag 1	Flag - South	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
Flag Pole 2	Flag Pole - East	N/A	Aluminum Flag Pole	Garfield St	Yes	Yes	N/A	44'-6"	N/A	None Required Compliant	N/A		N/A	Aluminum
Flag 2	Flag - East	N/A	U.S. Flag				12'	8'	96	5	N/A			Red, white, and blue
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Exhibit 10 - HMS Building Frontage-INFORMATIONAL	N/A	N/A

Sign No. 1 – “Hinsdale Middle School” – South

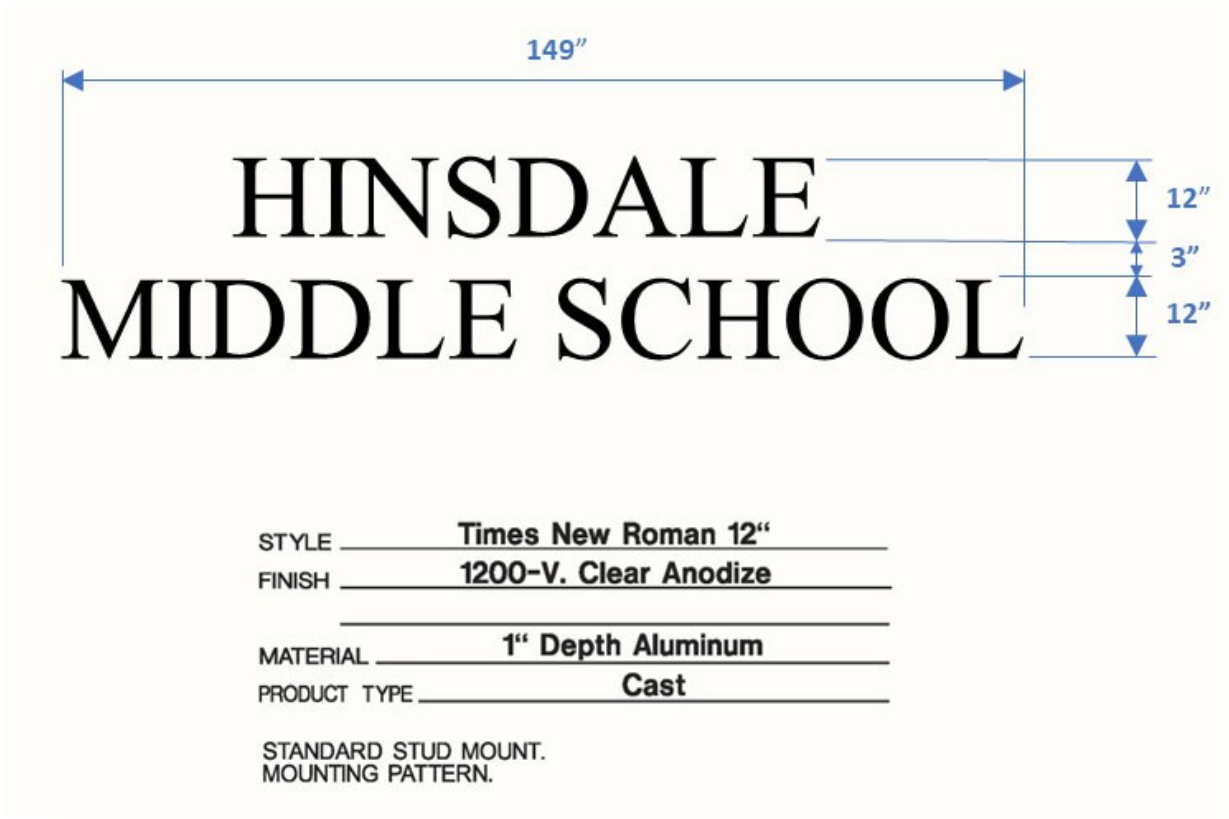
Wall Sign Area 1: 27.9 SF

- Sign No. 1 - Variances Being Requested:
1. The number of wall signs permitted per lot

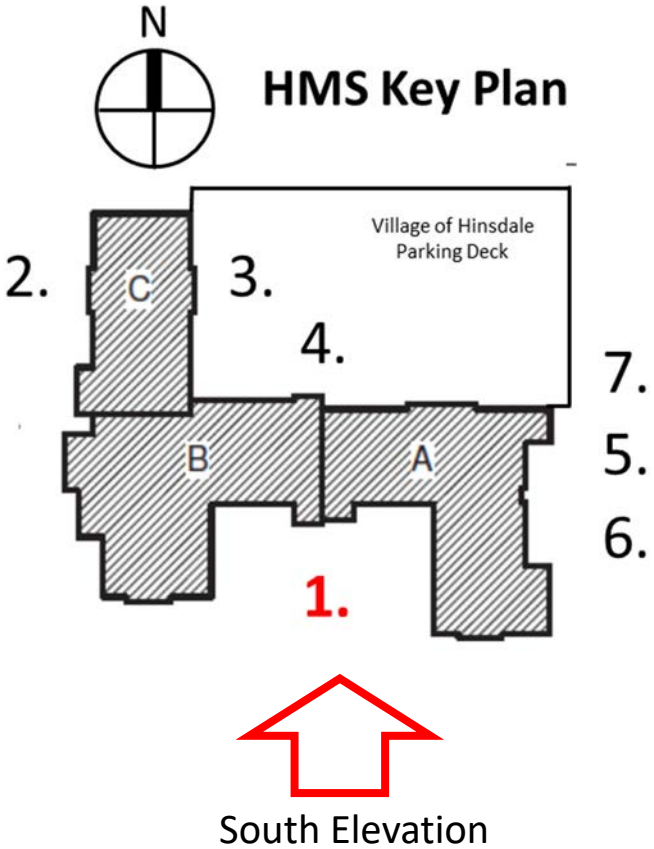
2. The maximum gross surface area of wall signs



South Entry – “Hinsdale Middle School” Signage



Lettering Shop Drawing



Sign No. 2 – “Gymnasium” – West

Wall Sign 2 Area: 9.5 SF

- Sign No. 2 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

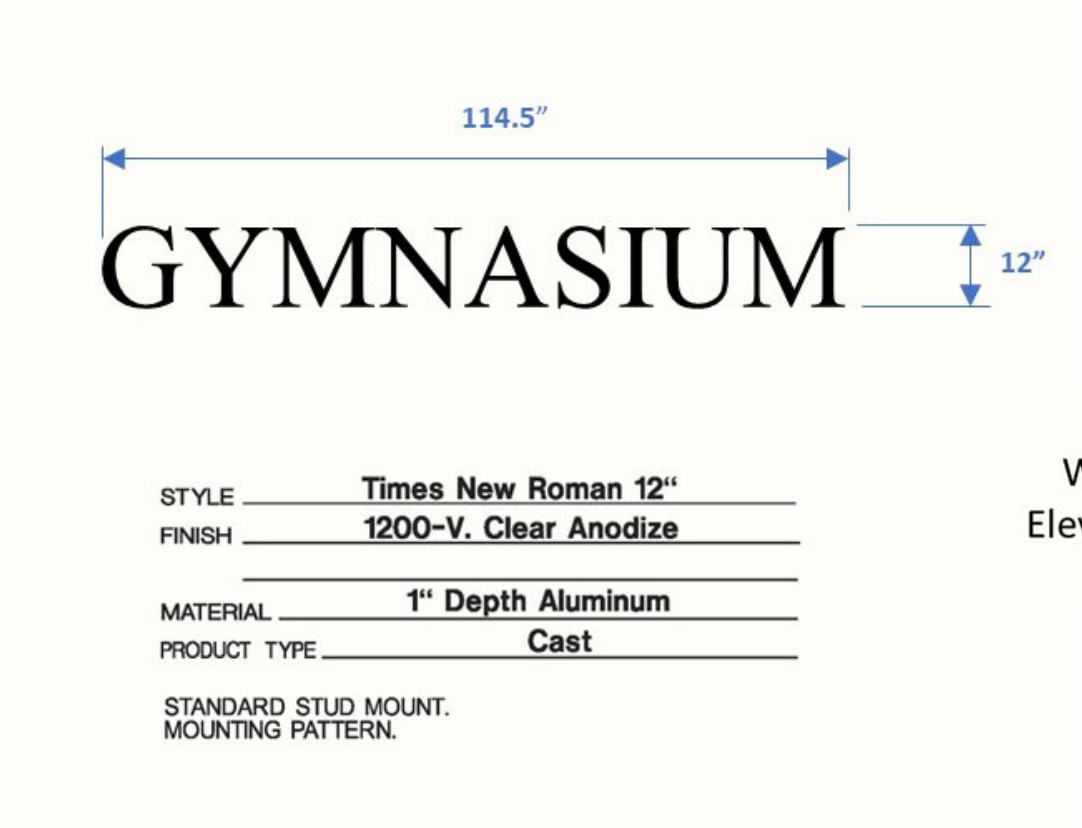


2.

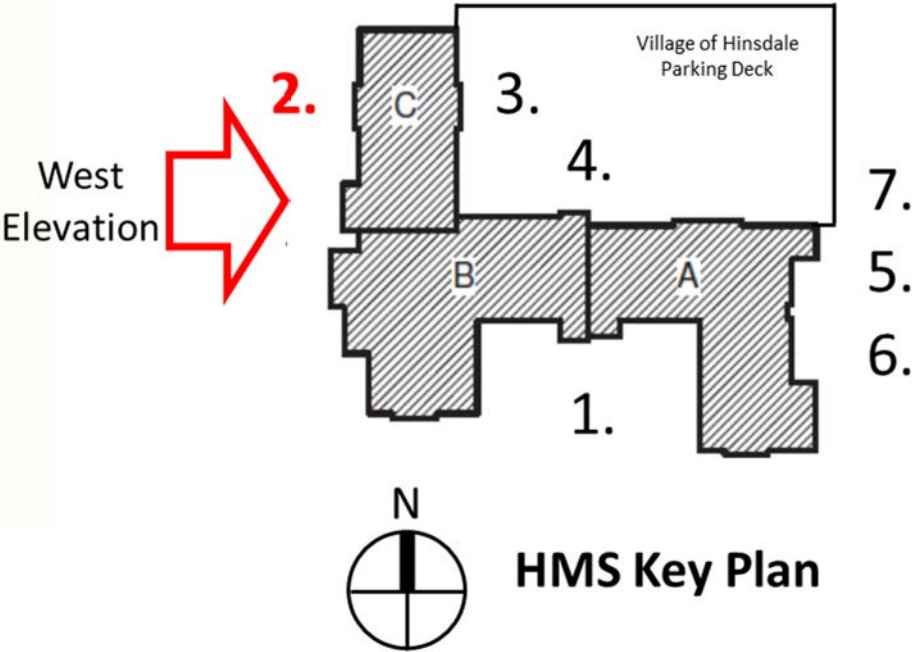
Hinsdale Middle School West Elevation



West Gym Entry – “Gymnasium” Signage



Lettering Shop Drawing



February 16, 2023

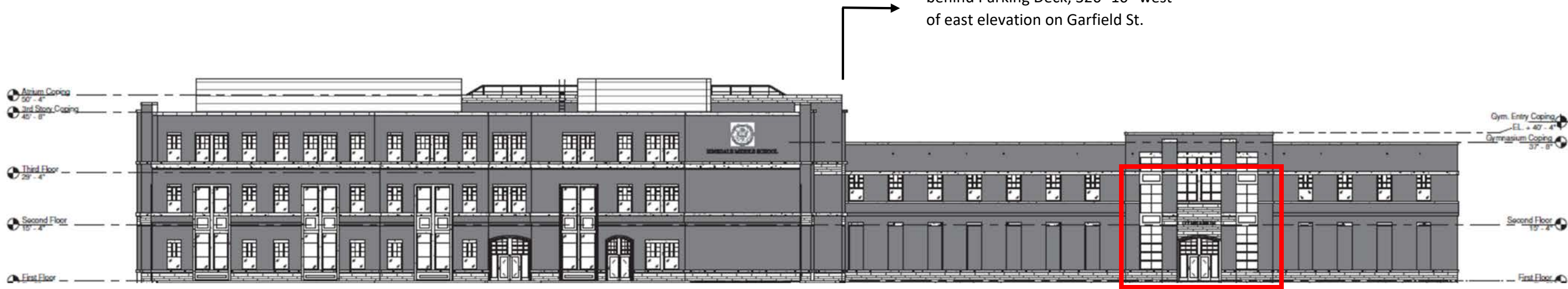
Sign No. 3 – “Gymnasium” – East

Wall Sign 3 Area: 9.5 SF

- Sign No. 3 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



Hinsdale Middle School East Elevation

3.



East Gym Entry – “Gymnasium” Signage

114.5"

GYMNASIUM

12"

STYLE

Times New Roman 12"

FINISH

1200-V. Clear Anodize

MATERIAL

1" Depth Aluminum

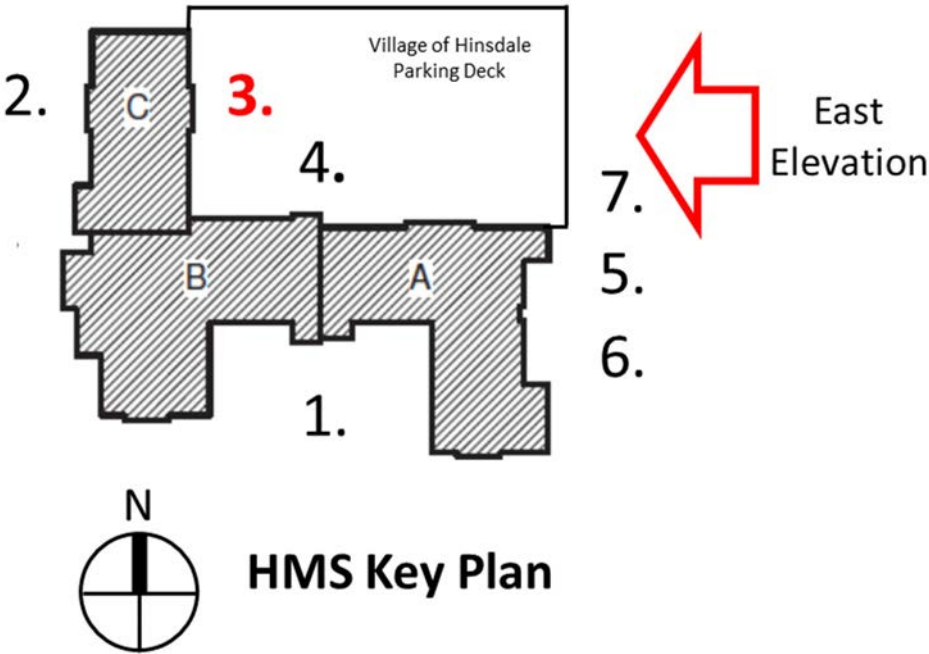
PRODUCT TYPE

Cast

STANDARD STUD MOUNT.

MOUNTING PATTERN.

Lettering Shop Drawing



HMS Key Plan

Sign No. 4 – “Hinsdale Middle School” – North

Wall Sign 4 Area: 27.9 SF

- Sign No. 4 - Variances Being Requested:
1. The number of wall signs permitted per lot

2. The maximum gross surface area of wall signs

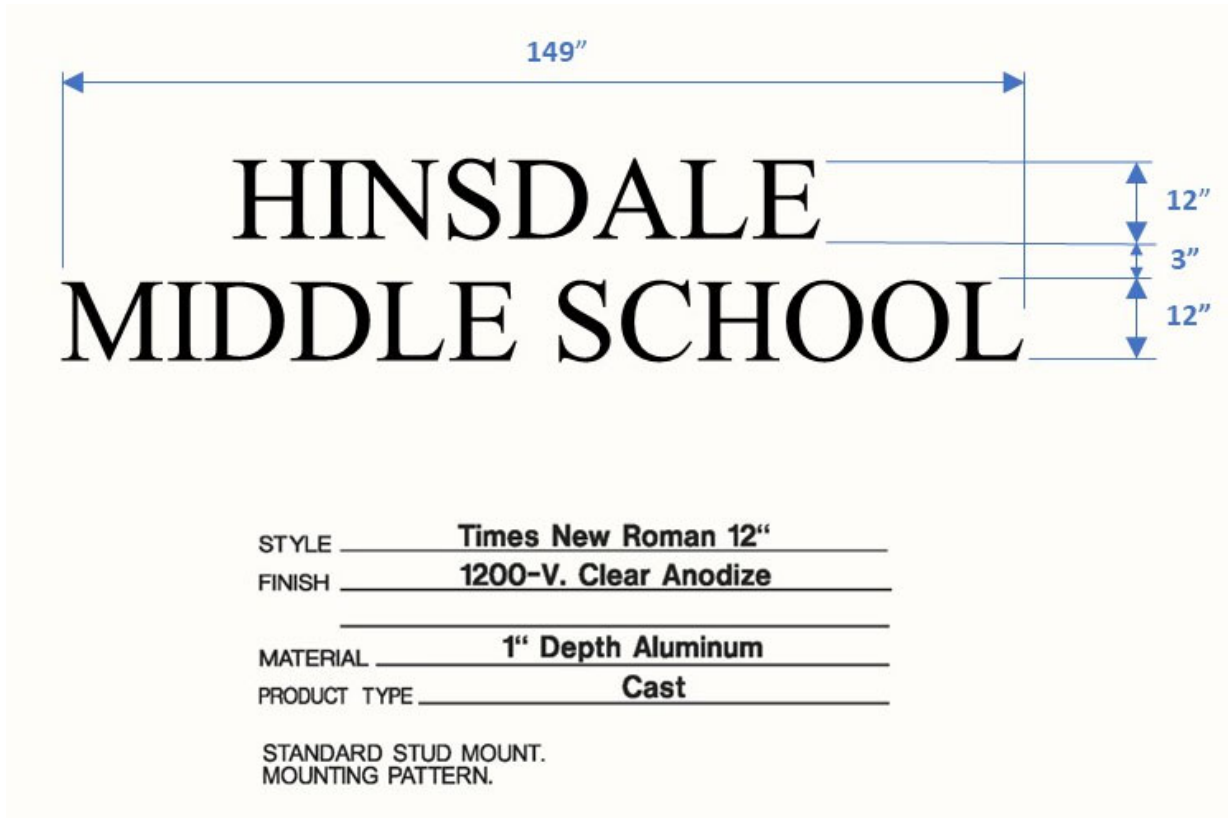


Hinsdale Middle School North Elevation

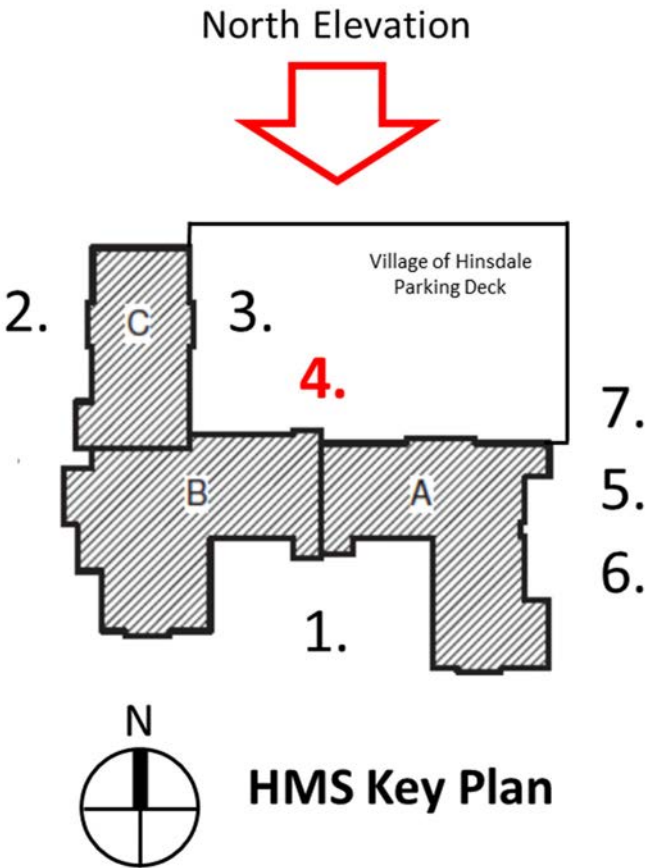
4.



North Entry – “Hinsdale Middle School” Signage



Lettering Shop Drawing



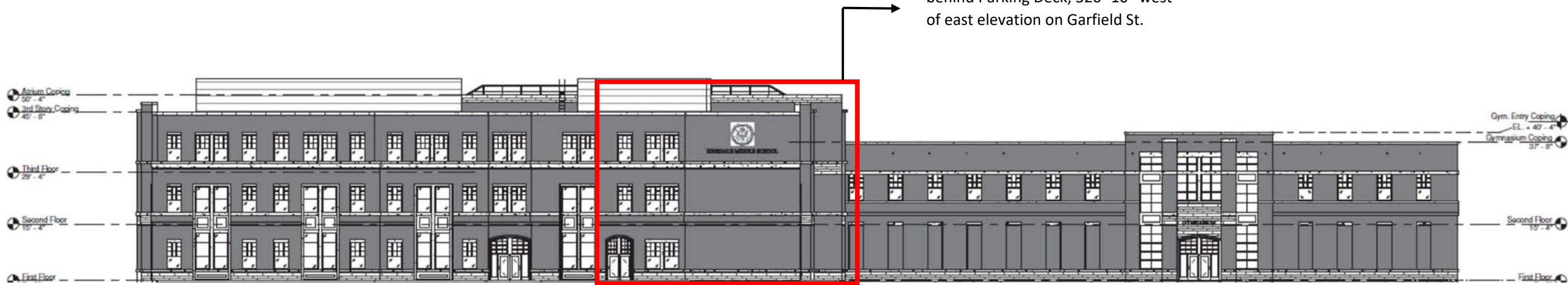
February 16, 2023

Sign No. 5 – “Hinsdale Middle School” – East

Wall Sign 5 Area: 21.0 SF

- Sign No. 5 - Variances Being Requested:
- 1. The number of wall signs permitted per lot
 - 2. The maximum gross surface area of wall signs
 - 4. The maximum height of a wall sign

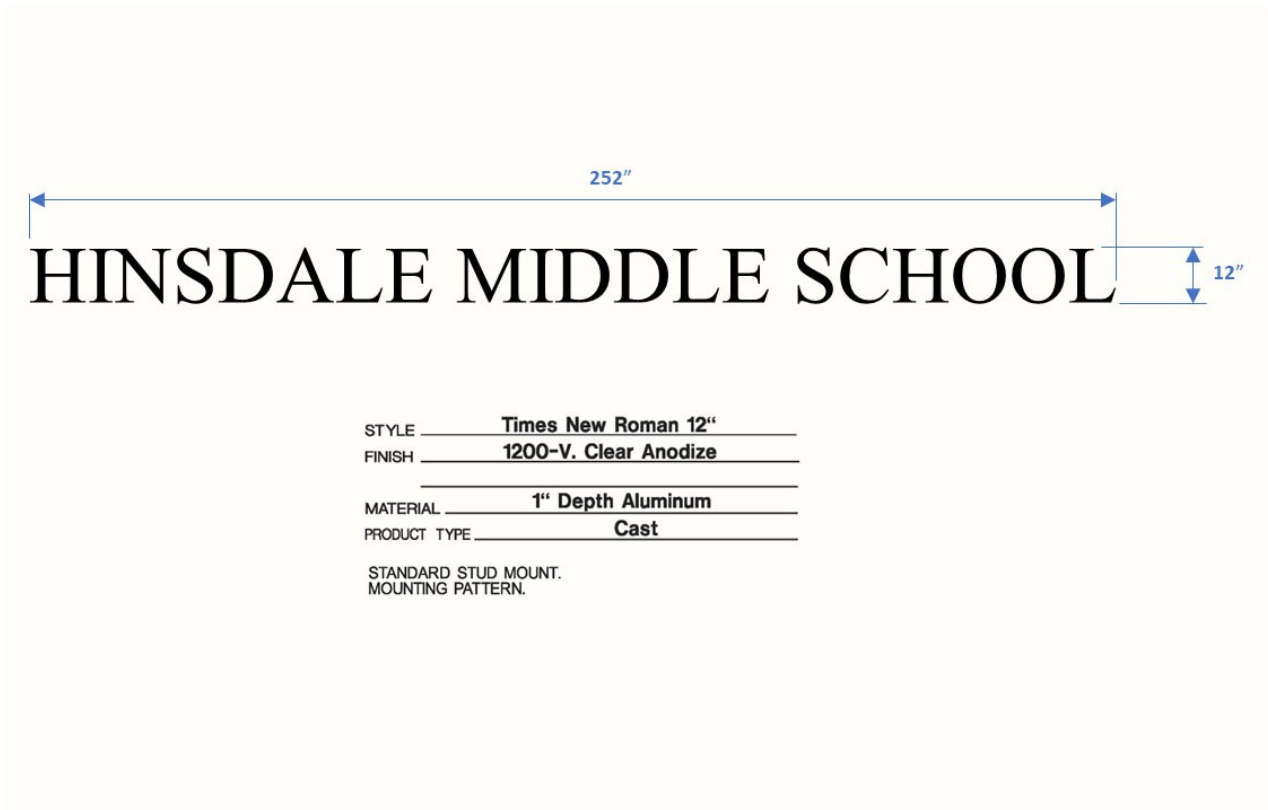
Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



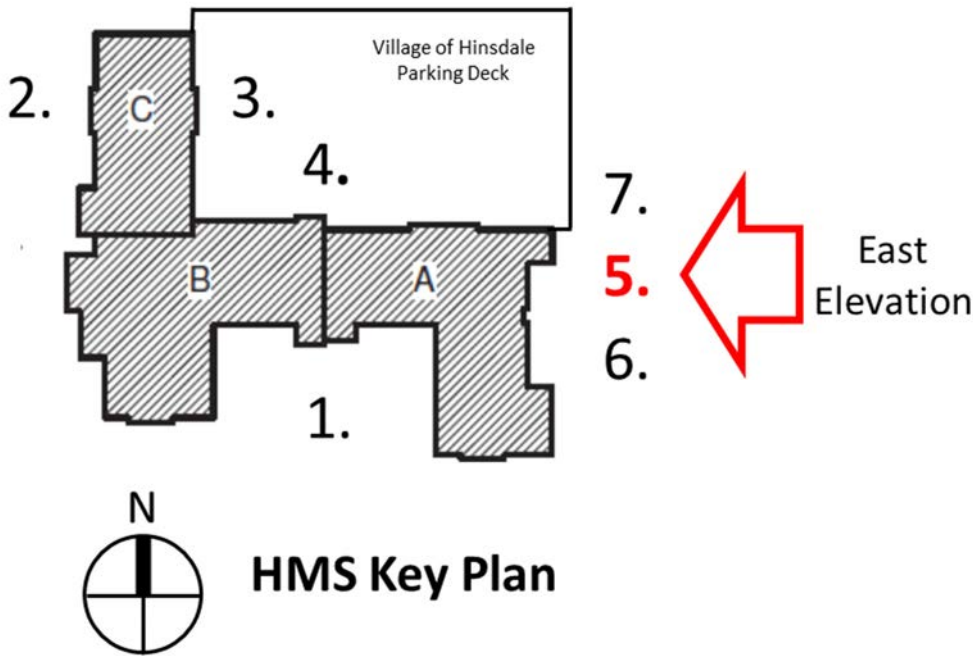
Hinsdale Middle School East Elevation 5.



Garfield Street
“Hinsdale Middle School” Signage



Lettering Shop Drawing

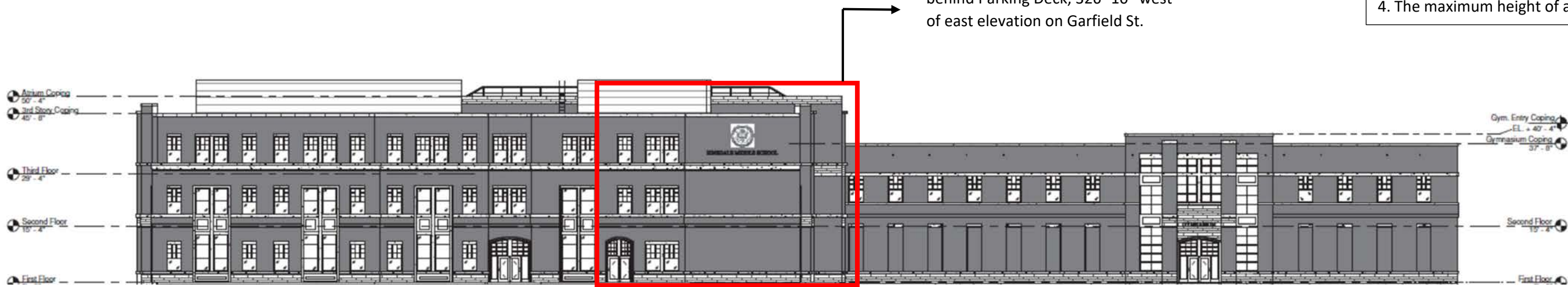


Sign No. 6 – Blue Ribbon Emblem – East

Wall Sign 6 Area: 18.8 SF

- Sign No. 6 - Variances Being Requested:
- 1. The number of wall signs permitted per lot
 - 2. The maximum gross surface area of wall signs
 - 3. The maximum gross surface area of an official emblem when displayed as a wall sign
 - 4. The maximum height of a wall sign

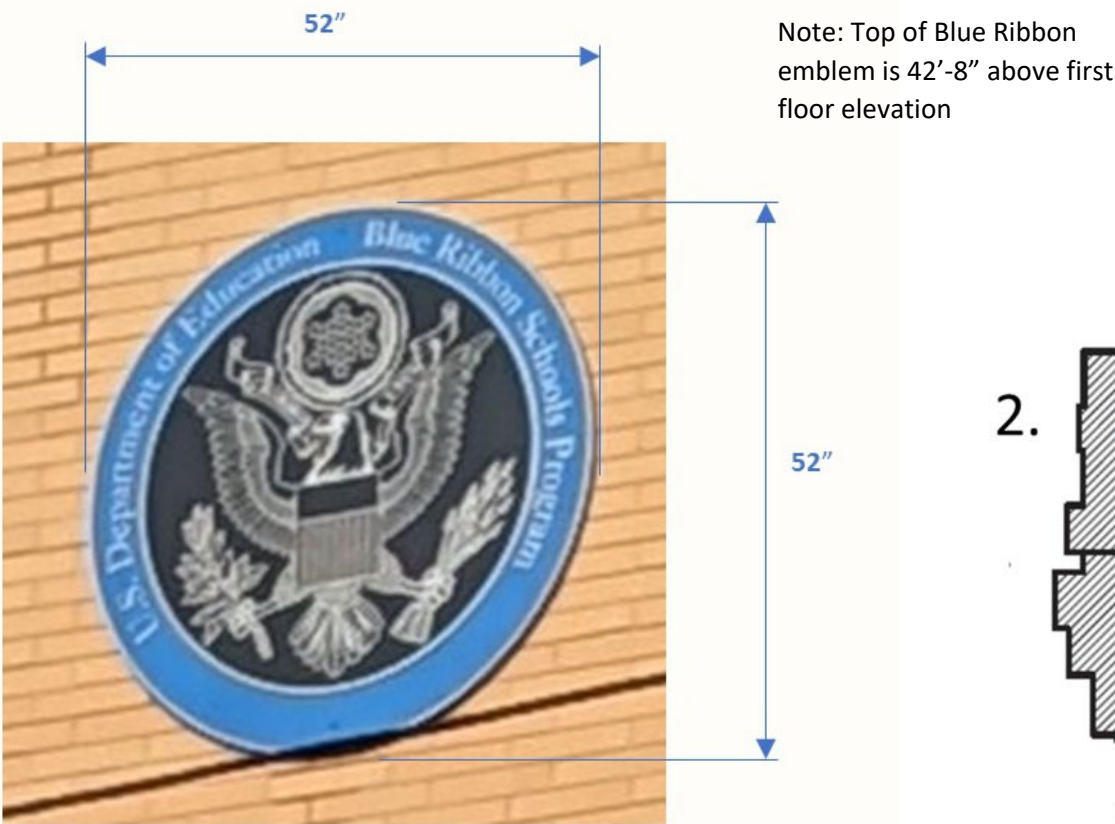
Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



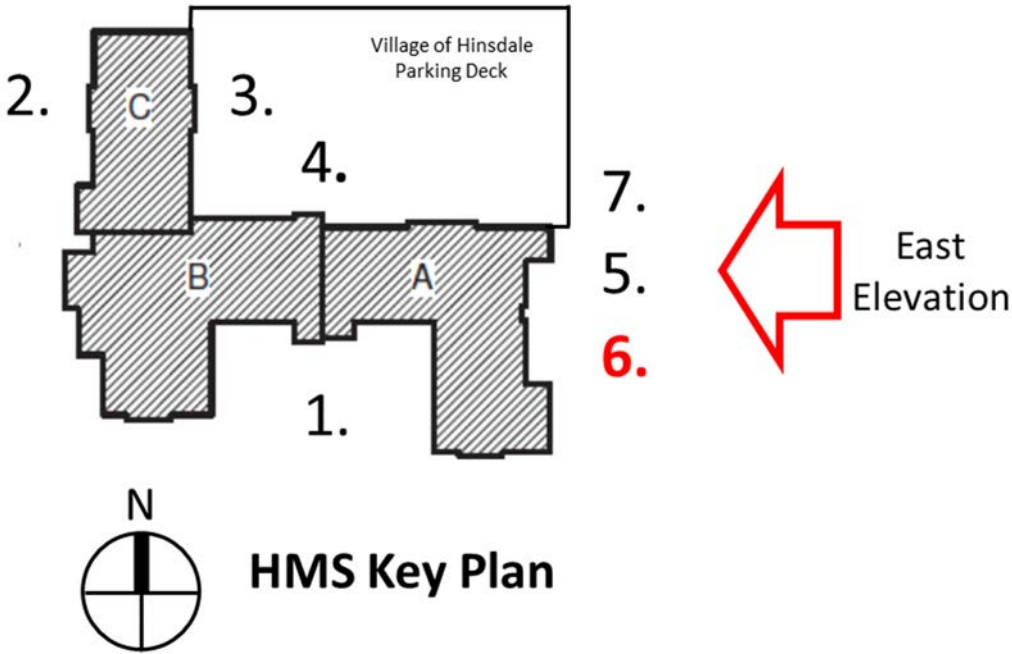
Hinsdale Middle School East Elevation 6.



Garfield Street – Blue Ribbon Emblem



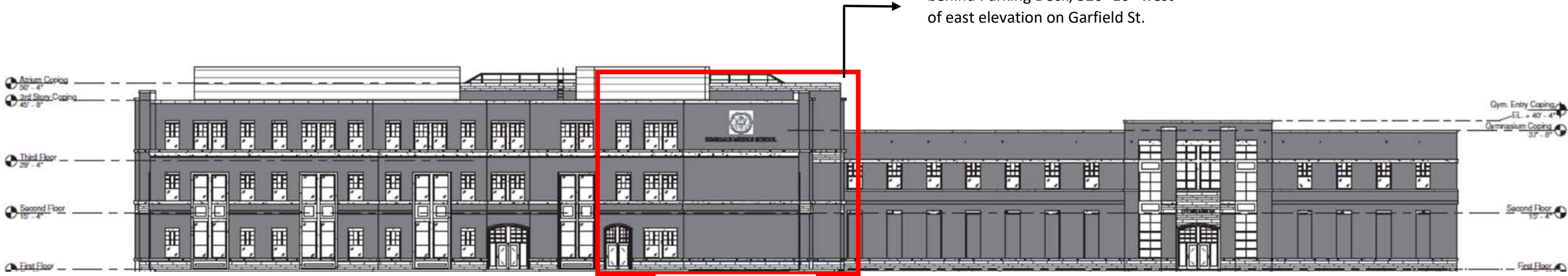
Emblem Dimensions – 26" radius



Sign No. 7 – Monument Sign – East

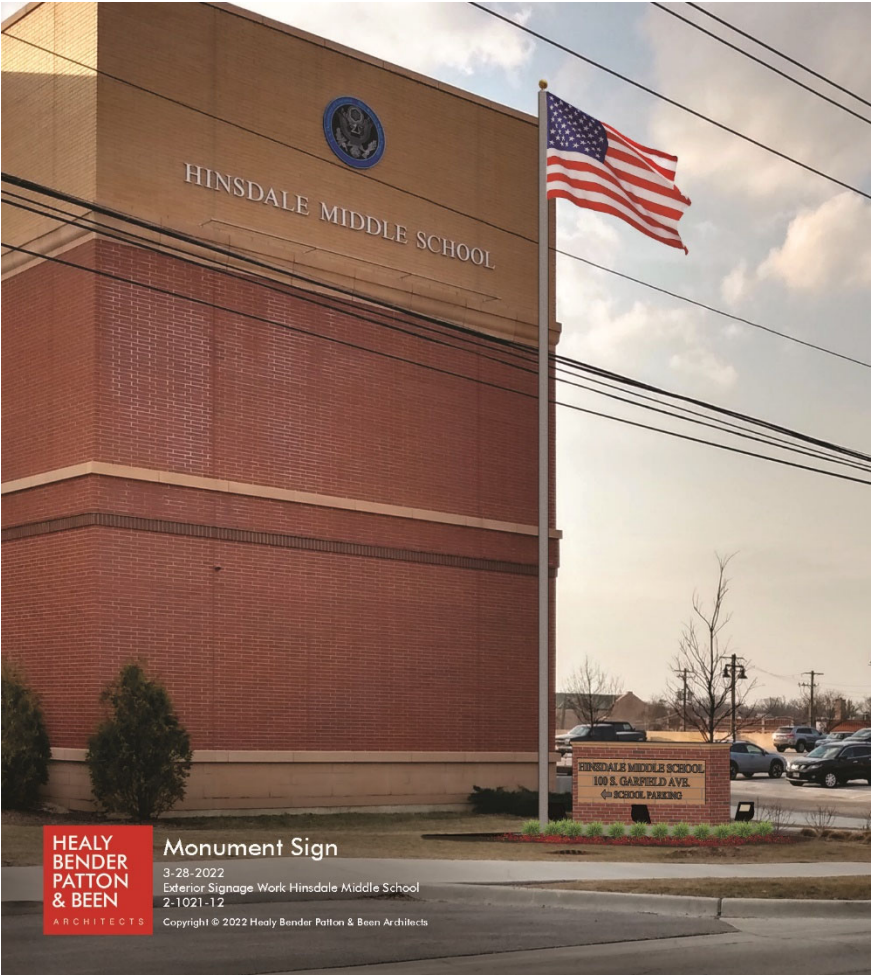
Sign No. 7 - Variances Being Requested:
None - Monument Sign is compliant

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.



5, 6, & 7.

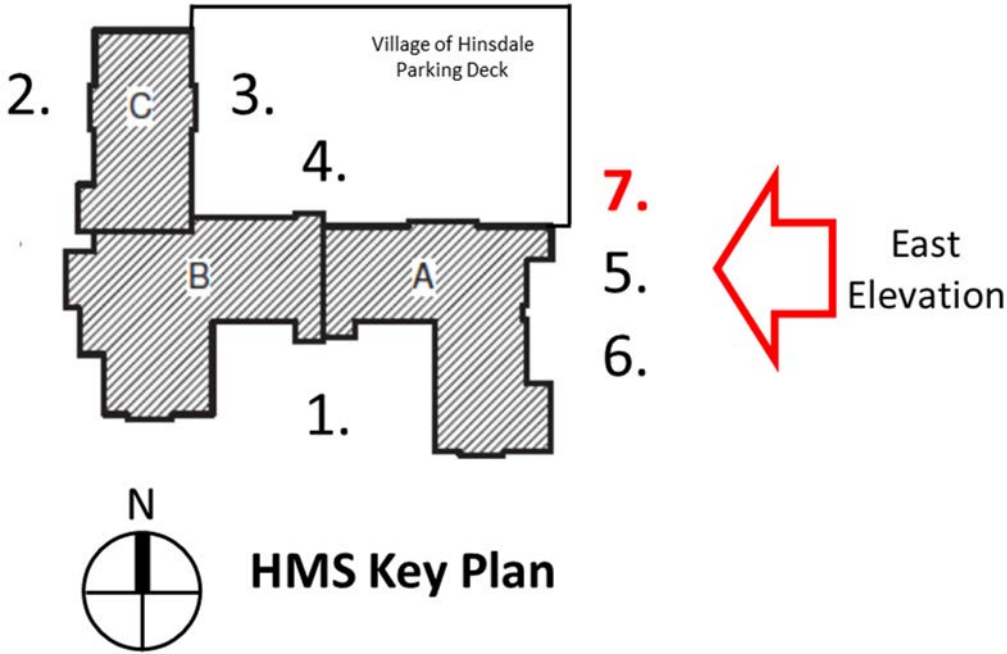
Hinsdale Middle School East Elevation



Garfield Street – Proposed Monument Sign

Note:
The combination of the proposed Monument Sign, Blue-Ribbon Emblem, Wall Sign 5, and proposed Flag Pole work together as a single design element to identify the building and Parking Deck entrance.

- See attached exhibits for monument sign details:**
- Exhibit 7B_ Rendering Proposed Garfield Street Entry Signage
 - Exhibit 7C_Monument Sign Construction Details
 - Exhibit 7D_Monument Sign Overall Site Plan
 - Exhibit 7E_Monument Sign Detail Site & Landscape Plans
 - Exhibit 7F_Monument Sign Illumination

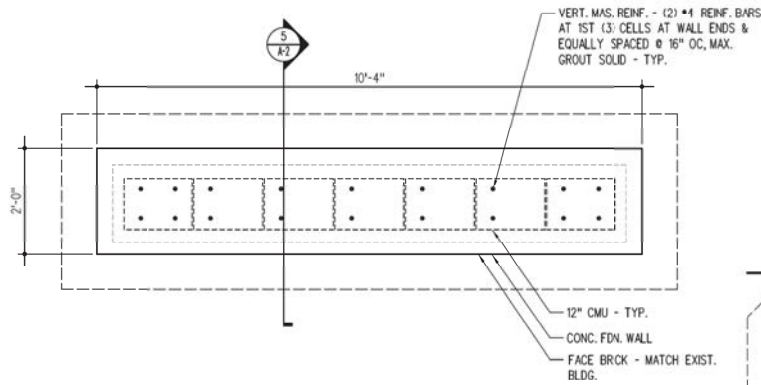




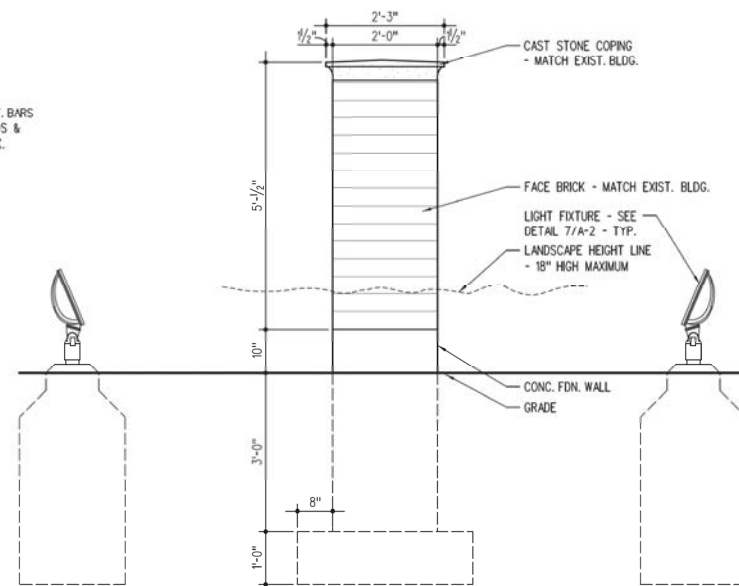
Monument Sign

3-28-2022
Exterior Signage Work Hinsdale Middle School
2-1021-12
Copyright © 2022 Healy Bender Patton & Been Architects

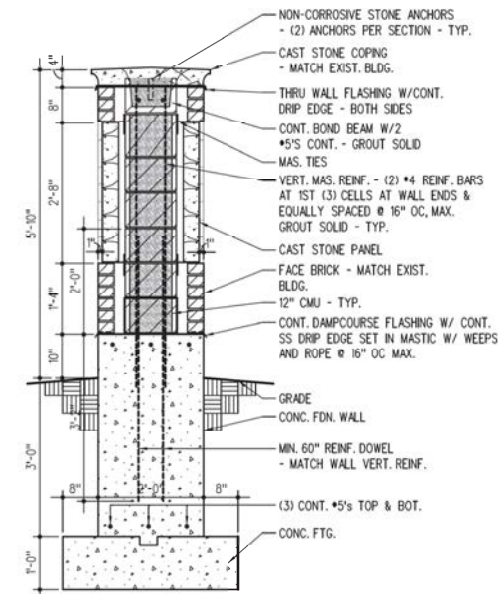
HMS Exhibit 7B - Rendering Existing and Proposed Garfield St Entry Signage



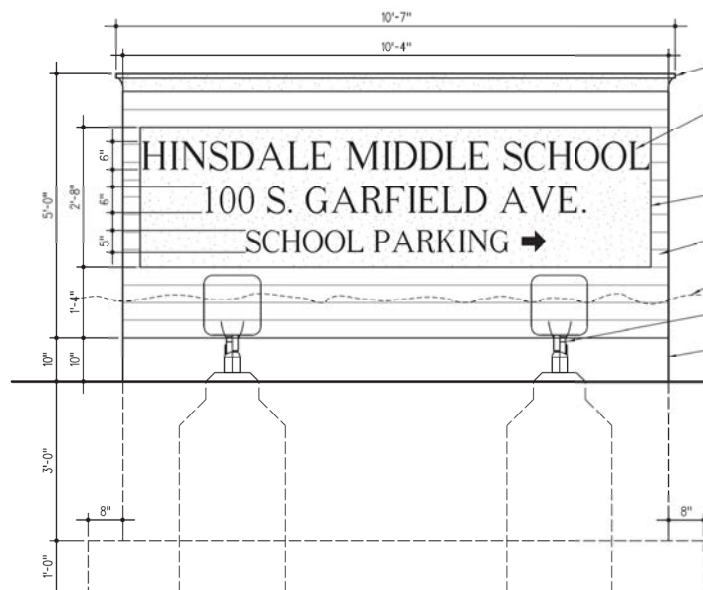
1 SITE SIGN FOUNDATION
A-2 3/4" = 1'-0"



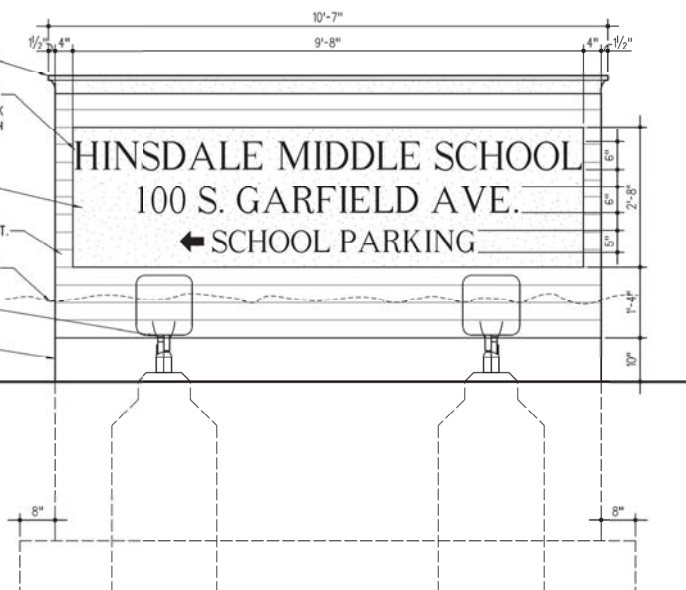
2 SITE SIGN ELEVATION
A-2 3/4" = 1'-0"



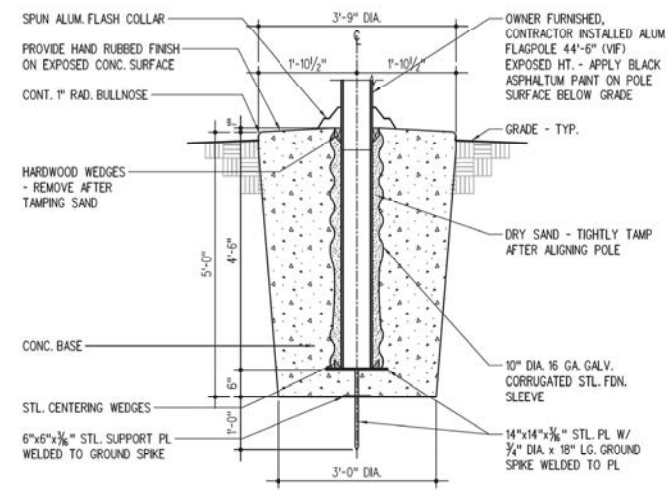
5 SITE SIGN SECTION
A-2 3/4" = 1'-0"



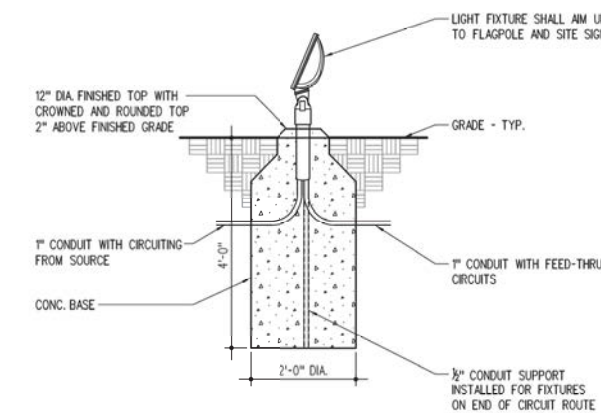
3 SITE SIGN ELEVATION
A-2 3/4" = 1'-0"



4 SITE SIGN ELEVATION
A-2 3/4" = 1'-0"



6 FLAG POLE BASE
A-2 3/4" = 1'-0"



7 LIGHT FIXTURE BASE
A-2 3/4" = 1'-0"

HMS Exhibit 7C - Monument Sign Construction Details

February 16, 2023



**HEALY
BENDER
PATTON
& BEEN**
ARCHITECTS

4040 Helene Avenue
Naperville, IL 60564
1.630.904.4300

www.healybender.com

EXTERIOR SIGNAGE WORK
HINSDALE MIDDLE SCHOOL
HINSDALE, ILLINOIS
FOR
COMMUNITY CONSOLIDATED SCHOOL DISTRICT 181
CLARENDON HILLS, DUPAGE COUNTY, ILLINOIS

REVISIONS	DATE	DESCRIPTION
1	05-21-2022	VILLAGE COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJ. NO.
2-1021-12

DRAWN BY
MS

DATE
05-21-2021

SHEET NO.
A-2

OF 4

SITE SIGN ELEVATIONS & SECTION, FLAG POLE SECTION
COPYRIGHT © 2022 HEALY BENDER PATTON & BEEN ARCHITECTS



**HEALY
BENDER
PATTON
& BEEN**

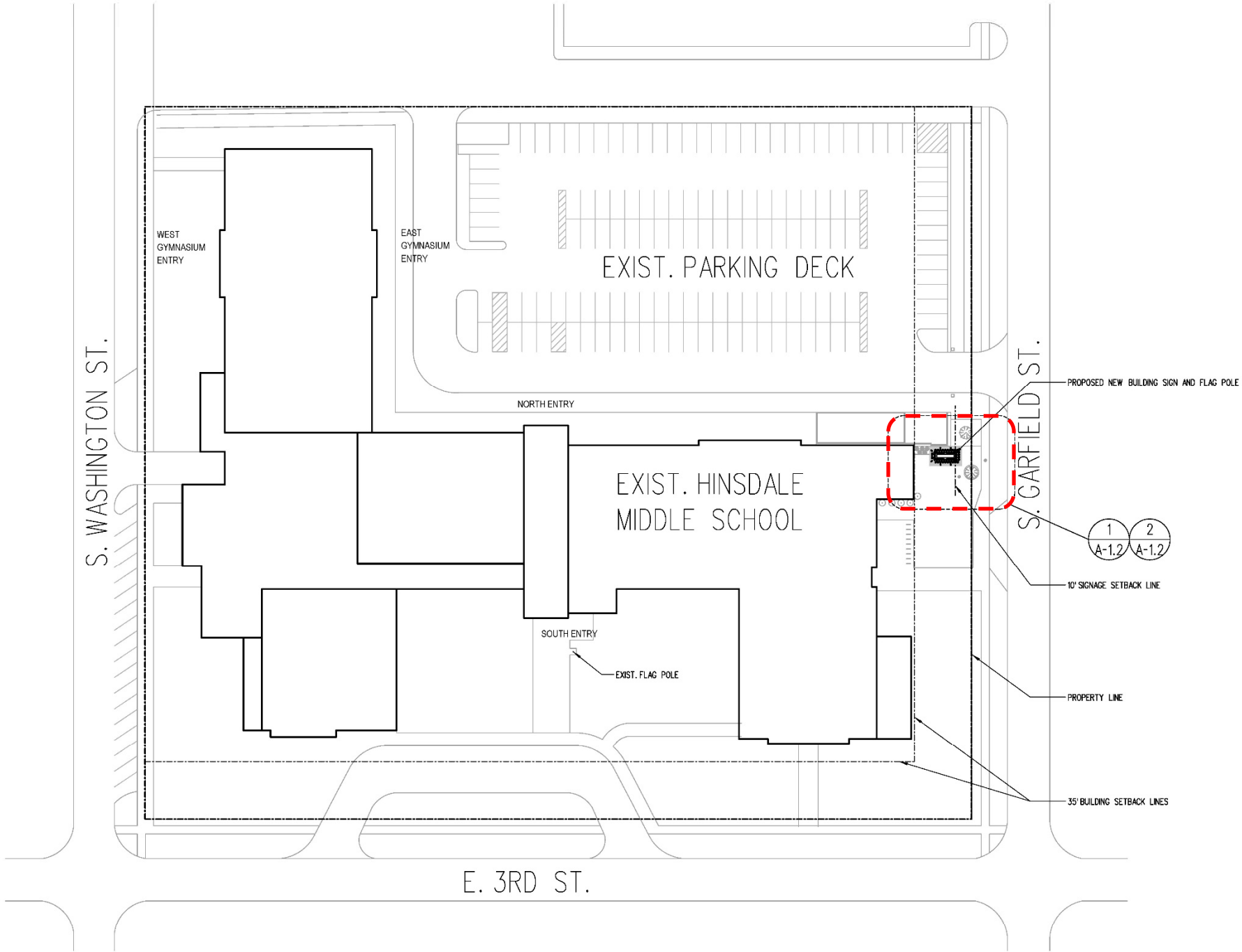
ARCHITECTS

4040 Helene Avenue
Naperville, IL 60564
T 630.904.4300

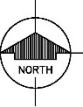
www.healybender.com

**EXTERIOR SIGNAGE WORK
HINSDALE MIDDLE SCHOOL
HINSDALE, ILLINOIS**
FOR
COMMUNITY CONSOLIDATED SCHOOL DISTRICT 181
CLARENDON HILLS, DUPAGE COUNTY, ILLINOIS

REVISIONS	DATE	DESCRIPTION
1	03-24-2022	VILLAGE COMMENTS
PROJECT NO. 2-1021-12		
DESIGNED BY MS		
DATE 05-21-2021		
SHEET NO. A-1.1		
OF 4		



SITE PLAN



HMS Exhibit 7D - Monument Sign Overall Site Plan

February 16, 2023

PROPRIETARY © 2023 HEALY BENDER PATTON & BEEN ARCHITECTS

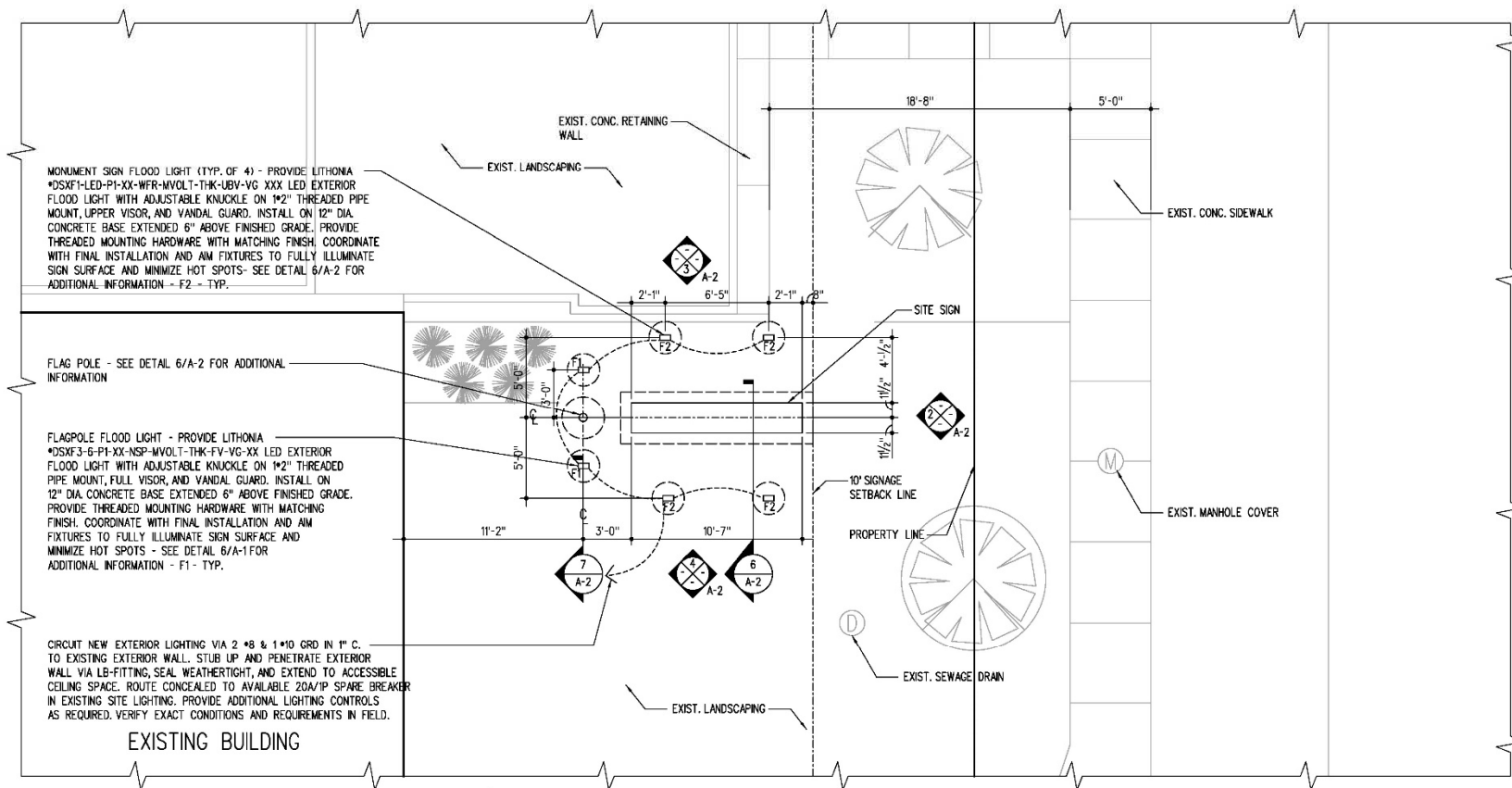
SITE PATCHING/REPAIR NOTES:

1. PATCH EXISTING SURFACES AND FINISHES AFFECTED BY THE WORK WITH MATERIALS CONSISTENT WITH EXISTING CONSTRUCTION WHETHER OR NOT PATCH MATERIAL IS INDICATED ON DRAWINGS.
2. REPLACE EXISTING CONCRETE WALKS, CURBS AND BITUMINOUS PAVING DAMAGED DURING CONSTRUCTION TO MATCH EXISTING. PROPERLY CUT OUT AND REMOVE DAMAGED CONCRETE AND/OR BITUMINOUS PAVING DOWN TO SUBBASE. REPAIR, REPLACE AND/OR COMPACT SUBBASE PRIOR TO PROVIDING NEW SURFACE. CONCRETE WALKS, CURBS AND PAVEMENT SHALL MATCH EXISTING PROFILE AND DEPTHS, TYP. UNLESS OTHERWISE REQUIRED TO ACCOMMODATE WORK.
3. RESTORE GRASS, LANDSCAPING, AND NATURAL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION TO ORIGINAL CONDITION TO PRE-CONSTRUCTION CONDITIONS AS REQUIRED.
4. RESTORE ITEMS/DAMAGED AREAS AT STAGING AREAS, ETC. TO ORIGINAL FULLY FUNCTIONAL CONDITION.

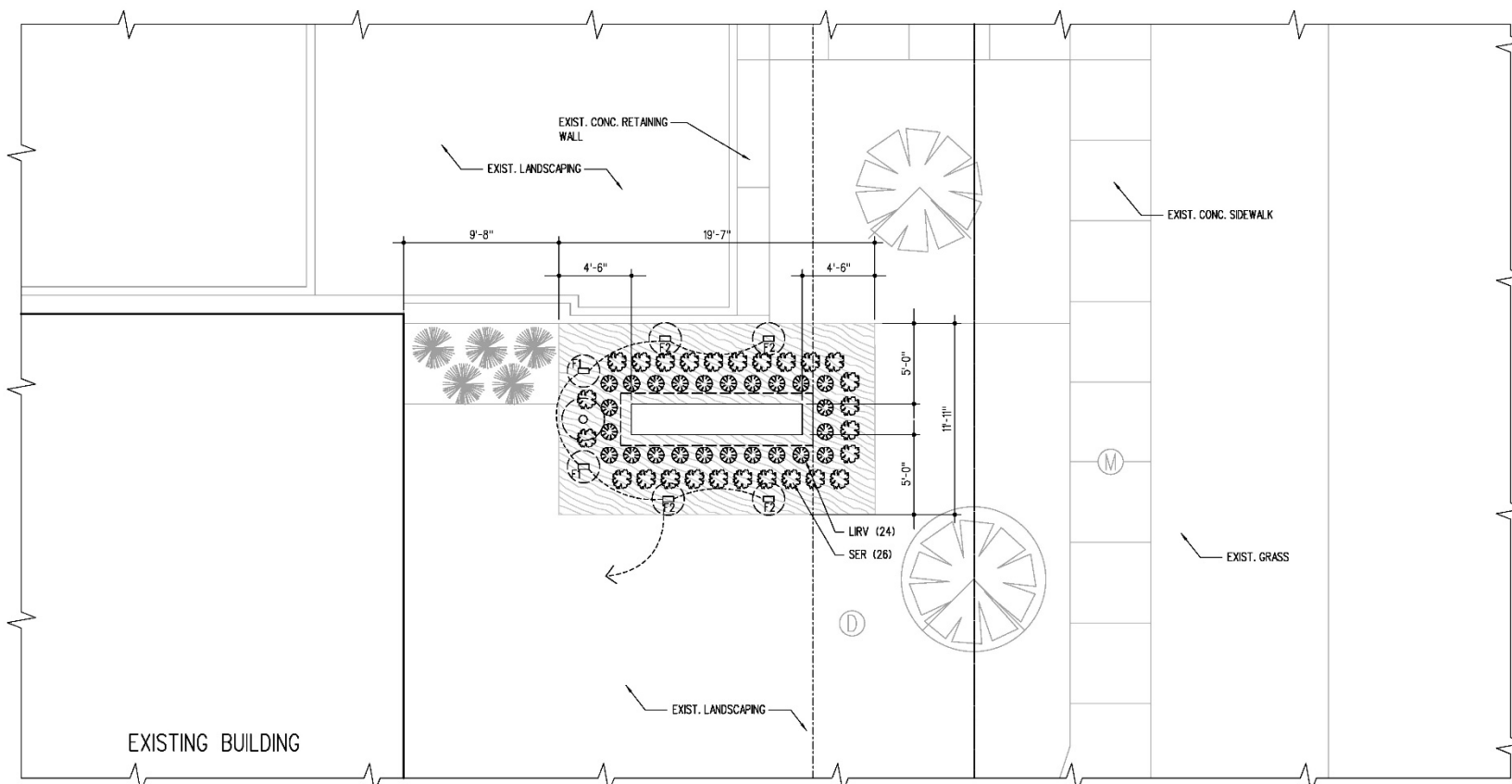
PLANT LIST					
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	QTY
GROUND COVER					
LIRV	LIRIOPE MUSCARI 'VARIEGATA'	VAREGATED LILY TURF	PLUG	SPACING 18" O.C.	24
SER	SEDUM SPURIMUM 'RED CARPET'	STONECROP 'RED CARPET'	3" POTS	SPACING 18" O.C.	26

LEGEND

LANDSCAPE MULCHED PLANTER



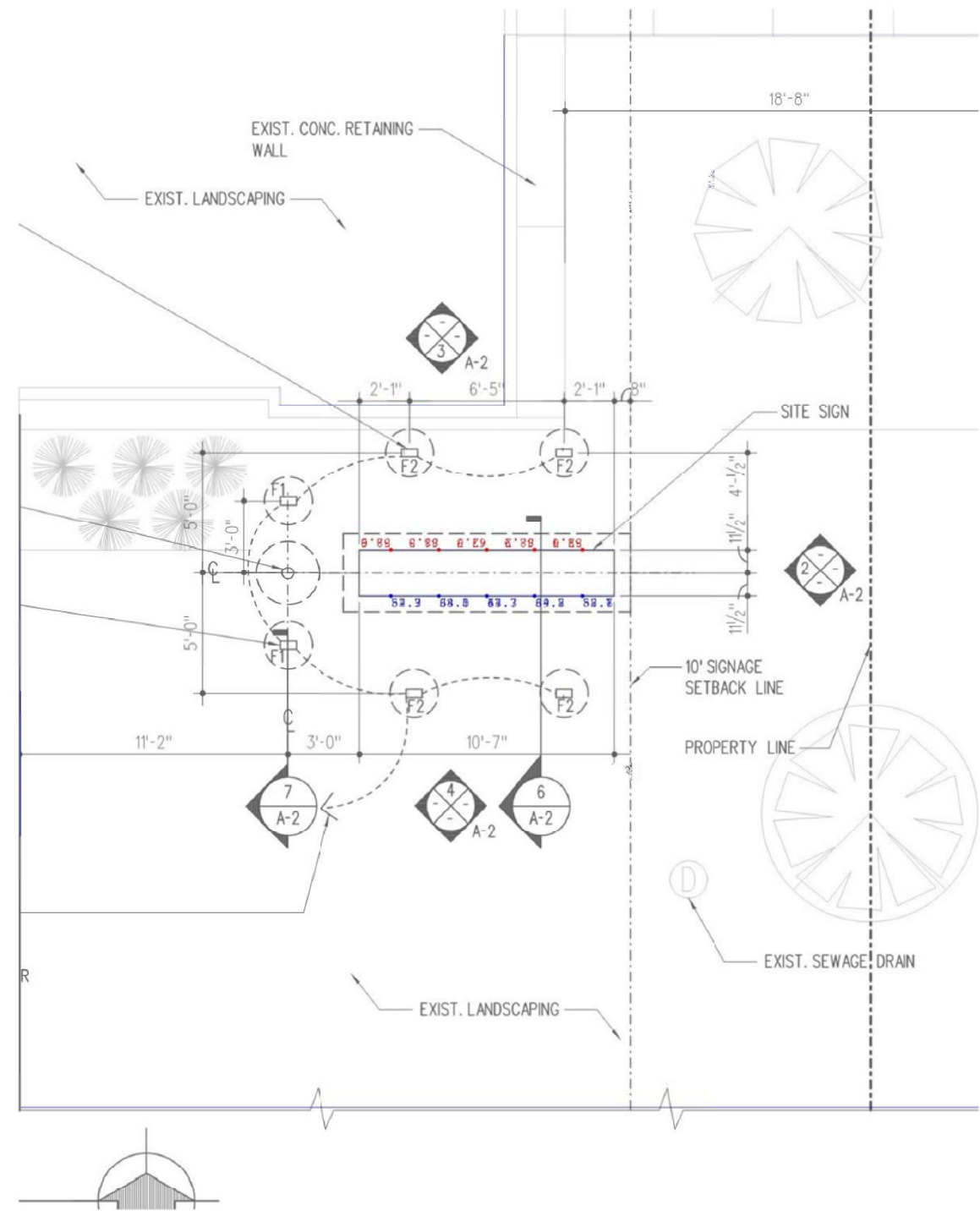
1
A-1.2
1/4" = 1'-0"
0 1 2 4 8 12
NORTH



2
A-1.2
1/4" = 1'-0"
NORTH

HMS Exhibit 7E - Monument Sign Detail Site & Landscape Plans

February 16, 2023



Luminaire Schedule			
Symbol	Qty	LLF	Description
>	4	0.950	DSXF1 LED P1 40K WFR

Note:
Install DMG dimmer accessory on
Fixture F2 set to 55% diming to
achieve 50 fc illumination on sign face.

Page M of 1
Drawn By: Scott Shellberg
Date: 4/26/2022
Notes :

Hinsdale Middle School





D-Series DSXF3 LED Floodlight



Catalog Number
Notes
Type

TYPE F1 - FLAG

Hit the Tab key or mouse over the page to see all interactive elements.

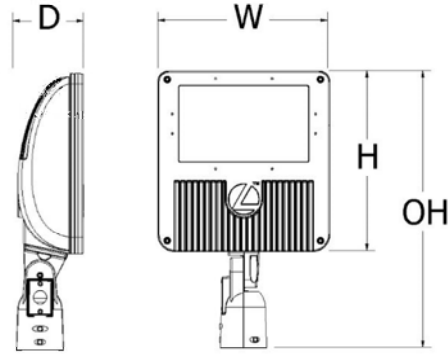
Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF3 delivers 12,000 to 27,000 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 400W HID floodlights. All configurations are made in North America allowing for quick delivery.

Specifications

EPA @ 90°:	1.4 ft ² (0.13 m ²)
Depth:	4.89" (12.4 cm)
Width:	12.90" (32.8 cm)
Height:	13.58" (34.5 cm)
Overall Height	20.80" (52.8 cm)
Weight:	21 lbs (9.5 kg)



Ordering Information

EXAMPLE: DSXF3 LED 6 P2 40K 70CRI FL MVOLT THK DDBXD

DSXF3 LED	Series	Light Engines	Performance Package	Color Temperature	CRI	Distribution	Voltage	Mounting
DSXF3 LED	6	Six COB engines	P1 P2 P3 ¹ P4 ¹	30K 3000K 40K 4000K 50K 5000K	70CRI	WFL Wide flood (6x6) FL Flood (5x5) MFL Medium flood (4x4) WFR Wide flood rectangular (6x5) HMF Horizontal medium flood (6x4) MSP Medium Spot (4x4) NSP Narrow Spot (3x3)	MVOLT ² 120 347 208 480 240	Shipped included IS Integral slipfitter (fits 2-3/8" O.D. tenon) YKC62 Yoke with 2ft, 16-3 SO cord THK Knuckle with 3/4" NPT threaded pipe

Options	Finish (required)
Shipped installed PE Photocontrol, button style ³ PEX Photocontrol external, swivel ⁴ PER7 Seven-wire receptacle only (controls ordered separately) ^{5a} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	Shipped separately⁷ UBV Upper/bottom visor (universal) FV Full visor VG Vandal guard WG Wire guard DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White



D-Series DSXF1 LED Floodlight



Catalog Number
Notes
Type

TYPE F2 - SIGN

Hit the Tab key or mouse over the page to see all interactive elements.

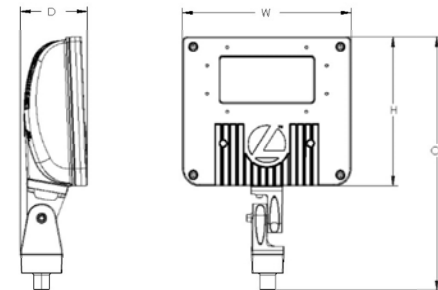
Introduction

The D-Series floodlights feature a site-wide offering to meet specifier's every floodlighting need in application. The D-Series flood offers three sizes delivering 3,000 to 27,000 lumens. Available with seven precision optics, three mountings and three color temperatures, D-Series floodlights offer vast design capabilities while delivering significant energy savings and long life.

The DSXF1 delivers 3,000 to 5,500 lumens, meeting a large breadth of illumination requirements for design and renovation when replacing 70W to 150W HID floodlights. All configurations are assembled in the USA allowing for quick delivery.

Specifications

EPA:	0.6 ft ² (0.05 m ²)
Depth:	3.52" (8.9 cm)
Width:	8.86" (22.5 cm)
Height:	7.84" (19.9 cm)
Overall Height	13.37" (34.0 cm)
Weight:	7.2 lbs (3.3 kg)



Ordering Information

EXAMPLE: DSXF1 LED P1 40K MSP MVOLT THK DDBXD

DSXF1 LED					DSXF1 LED	
Series	PerformancePackage	Color Temperature	Distribution	Voltage	Mounting	
DSXF1 LED	P1	30K 3000K	WFL Wide flood (6X6)	MVOLT ¹ 347	Shipped included	
	P2	40K 4000K	FL Flood (5X5)		THK Knuckle with 1/2" NPT threaded pipe	
		50K 5000K	MFL Medium flood (4X4)		IS Integral slipfitter (fits 2-3/8" O.D. tenon)	
			WFR Wide flood rectangular (6X5)		YKC62 Yoke with 2ft 16-3 SO cord	
			HMF Horizontal medium flood (6X4)			
			MSP Medium spot (4X4)			
			NSP Narrow spot (3X3)			

Options	Finish (required)
Shipped installed PE Photocontrol, button style ² DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) SPD10KV Separate surge protection	Shipped separately³ UBV Upper/bottom visor (universal) FV Full visor VG Vandal guard DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White

Accessories³

Ordered and shipped separately.

DSXF1/21S DDBXD U	Slipfitter for 1-1/4" to 2-3/8" O.D. tenons; 1/2" THK required (specify finish)
FTS CG6 DDBXD U	Slipfitter for 2-3/8" to 2-7/8" O.D. tenons; YKC62 required (specify finish)
FRWB DDBXD U	Radius wall bracket, 2-3/8" O.D. tenon (specify finish)
FSP6 DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)
DSXF1UBV DDBXD U	Upper/bottom visor accessory (specify finish)
DSXF1FV DDBXD U	Full visor accessory (specify finish)
DSXF1VG U	Vandal guard accessory

For more mounting options, visit our Floodlighting Accessories pages.

Stock configurations are offered for shorter lead times:

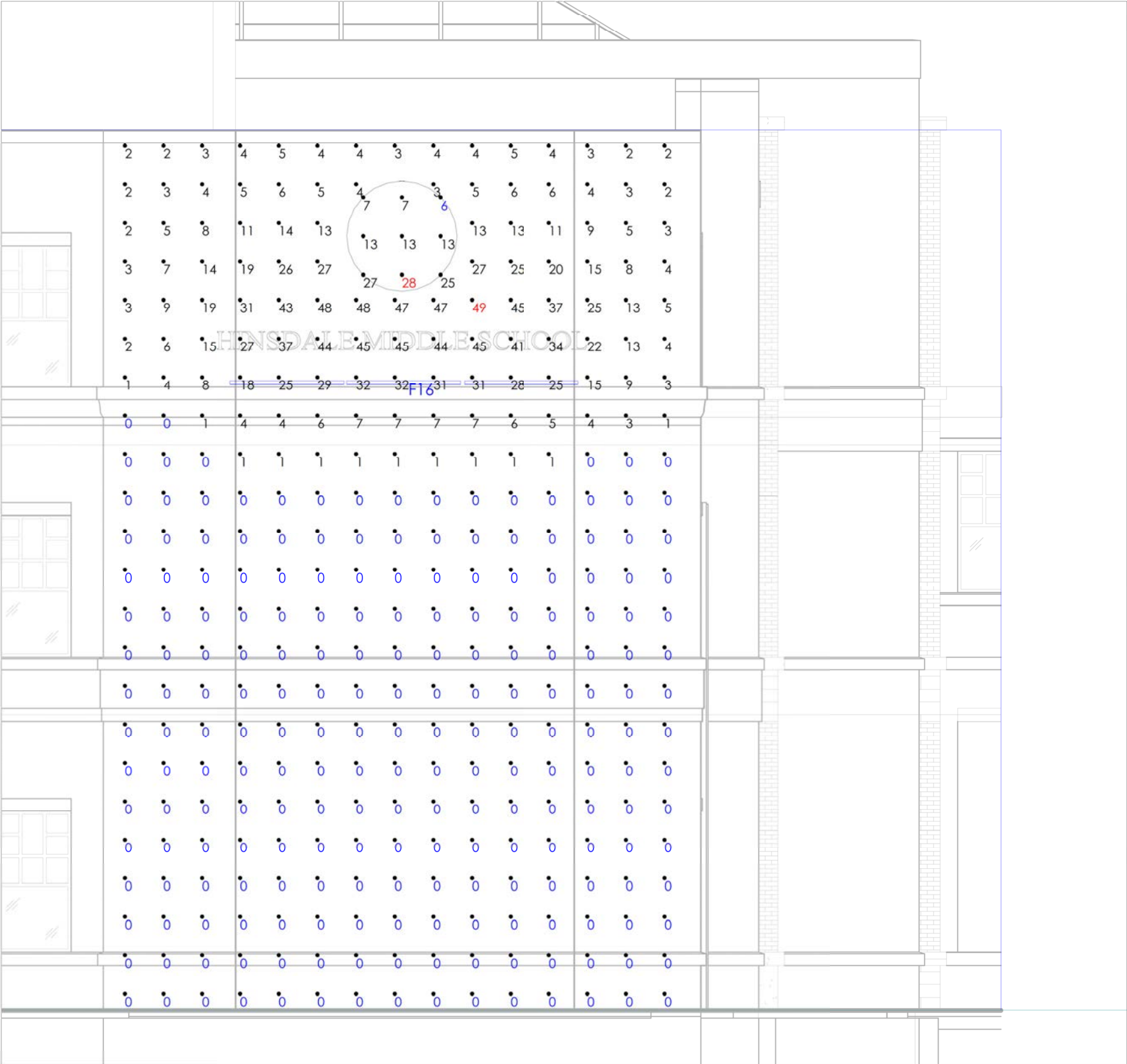
Standard Part Number	Stock Part Number	CI Code
DSXF1 LED P1 40K WFL MVOLT THK DDBXD	DSXF1 LED P1 40K	*240TJH
DSXF1 LED P1 50K WFL MVOLT THK DDBXD	DSXF1 LED P1 50K	*240TJG
DSXF1 LED P2 40K WFL MVOLT THK DDBXD	DSXF1 LED P2 40K	*240TJL
DSXF1 LED P2 50K WFL MVOLT THK DDBXD	DSXF1 LED P2 50K	*240TJJ
DSXF1/2 Slip-fitter Tenon Accessory DDBXD	DSXF1/21S DDBXD U	*21665K

NOTES

1. MVOLT driver operates on line voltage from 120-277V.
2. Requires MVOLT or 347V (not available in 480V).
3. Also available as accessories; see Accessories information at left.

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.								
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	Manufacturer	Description
I	3	F16	Single	8645	85	0.450	SPI Lighting Inc. 10400 N Enterprise Drive, Mequon, WI 53092	SEWS 077 L85.9W 4000K FT 24VDC 19FT MCS 018 AN04 PS (C/O 3 -6FT SECTIONS) -DIMMED APROX. 50%

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Max/Min	Calc Plane Ht	
BUILDING FACADE	Illuminance	Fc	4.93	49	0	N.A.	0 to 45.67	
MEDALLION_Face	Illuminance	Fc	15.44	28	6	4.67	37.3 to 43	
SIGN AREA	Illuminance	Fc	16.21	49.0	1.0	49.00		

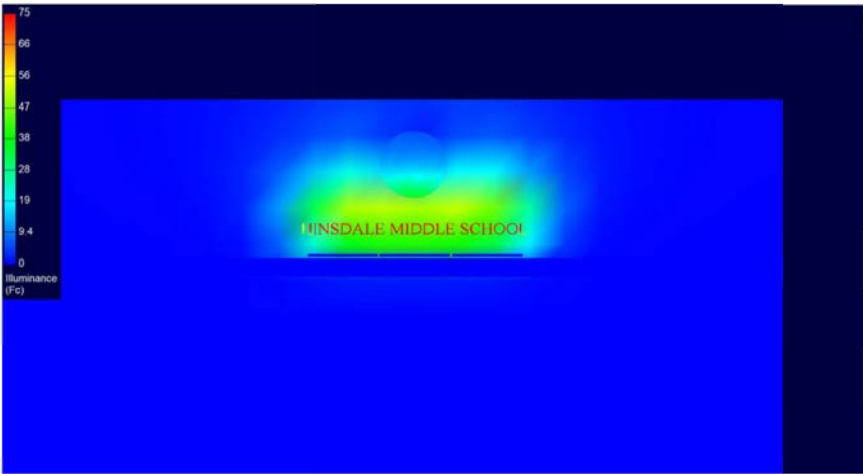


Scale: 1 inch= 3 Ft.

Garfield Street Wall Sign Illumination Photometrics



Render images are not to scale and are provided solely to illustrate contrast.



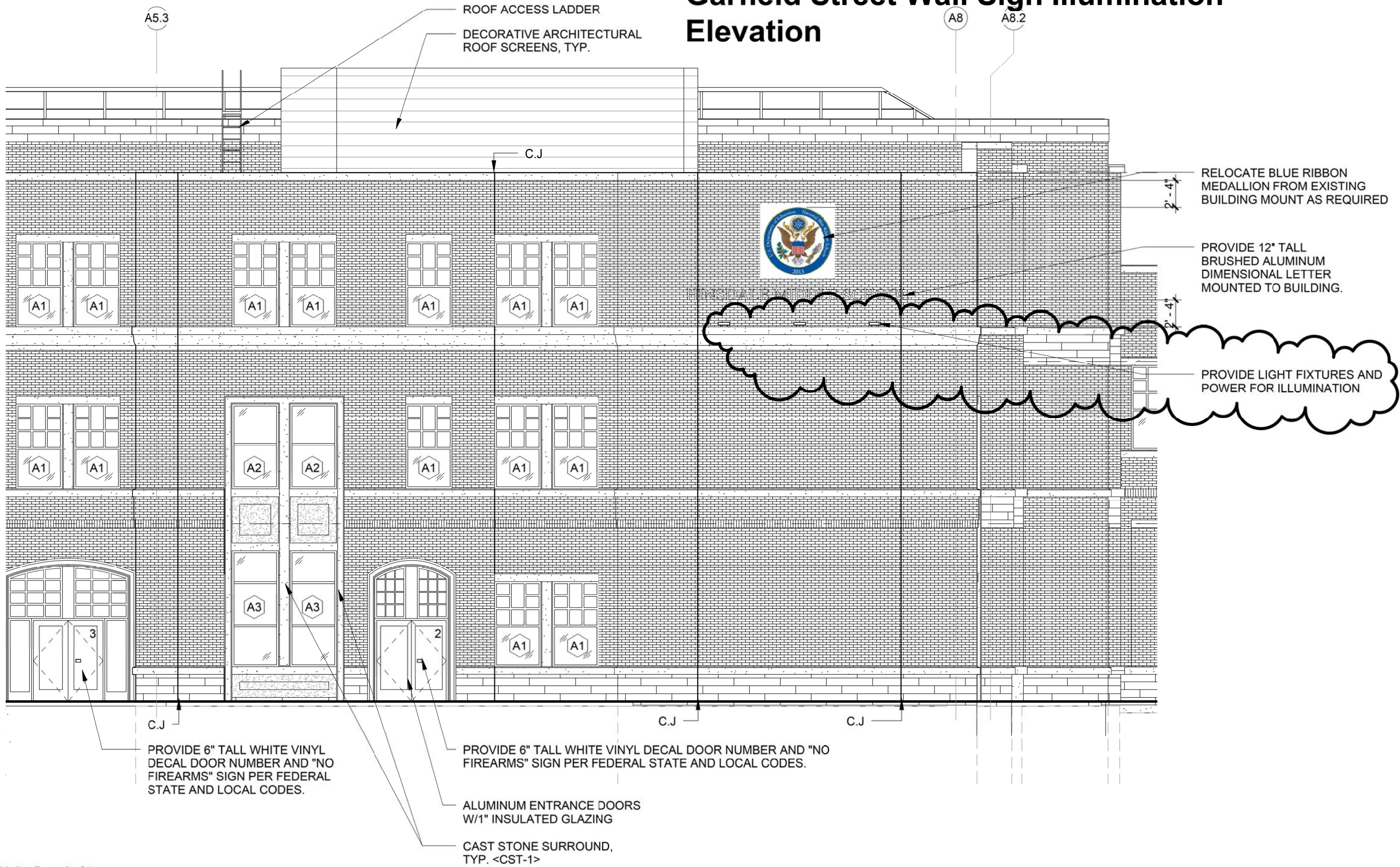
Render images are not to scale and are provided solely to illustrate contrast.

NOTES	
PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.	
ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.	
THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.	
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.	
FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.	
CALCULATION GRID VALUES 2'-0" O.C.	



DRAWN BY: Joeli Collins joeli.collins@pg-enlighten.com 847.228.1199	
PG CONTACT: Jim Sychta jimsychta@pg-enlighten.com 847.228.1199	
1	2
3	3
REVISIONS	
PROJECT NAME: HINSDALE MIDDLE SCHOOL FACADE	
CLIENT NAME: HINSDALE MIDDLE SCHOOL	

Garfield Street Wall Sign Illumination Elevation



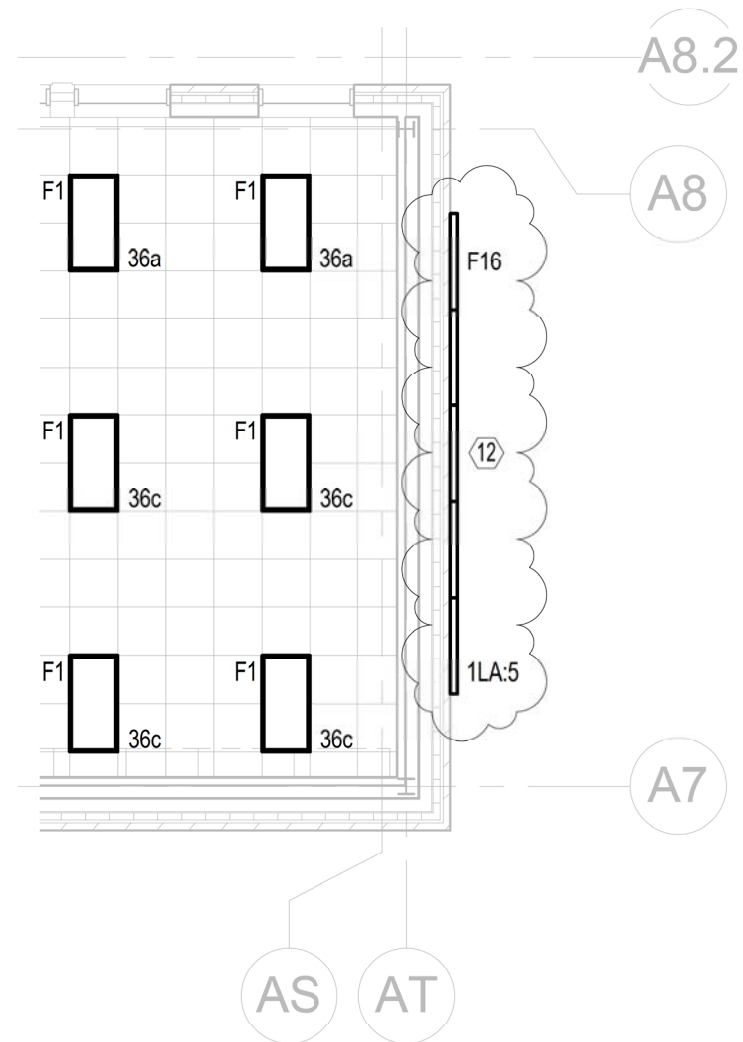
KEY NOTES

- 12 EXTERIOR WALL WASH LIGHT FIXTURE FOR PRESIDENT'S SIGN, SPI #SEWS-101-L115W-40K-SMB-24VDC-19'-BRK-018-AN04-PS. COORDINATE MOUNTING WITH EXTERIOR ELEVATIONS. CONTROL VIA HUBBELL NX POWER PACK WITH NETWORK SCHEDULING AND PRORAMMING.

Garfield Street Wall Sign Illumination Plan Detail



engineering consultants
3 Executive Court | Unit 4 | South Barrington | IL 60010
T: 847.756.4180 F: 847.756.4186 | www.rtmassociates.com



1 PARTIAL THIRD FLOOR PLAN - LIGHTING
1/8" = 1'-0"

Garfield Street Wall Sign Illumination
Fixture Cut Sheet

SEWS Styk Exterior Linear LED

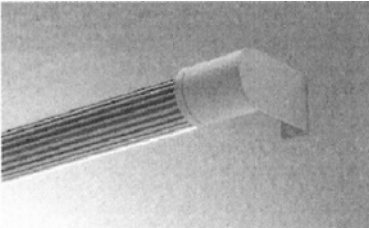
Wall

Remote Power Supply

JOB NAME

PRESIDENT'S BLUE RIBBON

TYPE

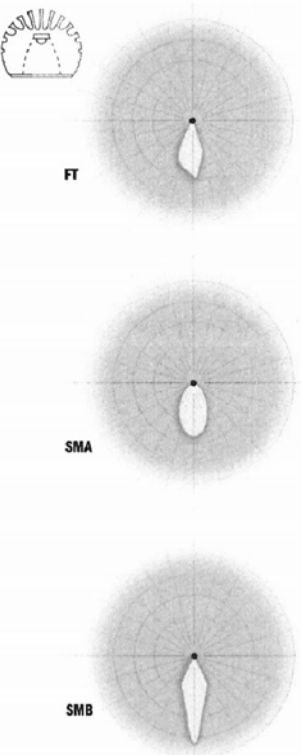


Styk Exterior Linear LED

Styk was built to provide the most lumens with the smallest luminaire package, while optimizing life. Not limited to decorative lighting, effective functional lighting is provided through the optimal light control in this minimal package.

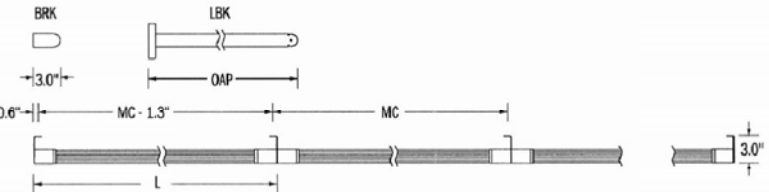
Styk boasts three white LED color temperatures, RGB and four color offerings. Styk is a durable interior linear LED fixture. Styk's patent pending optical offerings enable tremendous flexibility offering wall washing, wall grazing, indirect pendants, and asymmetric lighting solutions.

Optical Distributions



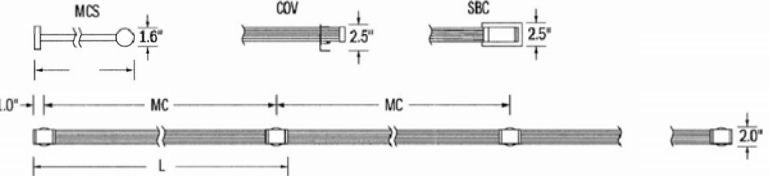
Run Sections and Suspensions

BRK and LBK Bracket Mount



Mini Canopy and Stem

Also Available with Cove Mount (COV) and Switch-Box and Stem (SBC)



Dimensions

MODULE	MOUNTING CENTER	Overall length single fixtures				
		BRK	LBK	MCS	COV	SBC
016	16.3"	16.3"	19.1"	20.0"	13.3"	20.2"
028	28.0"	28.0"	30.8"	31.7"	24.8"	32.0"
039	39.8"	39.8"	42.6"	43.5"	36.5"	44.8"
051	51.3"	51.3"	54.1"	55.0"	48.0"	55.3"
101	101.0"	101.0"	103.8"	104.7"	96.0"	105.0"

Specifications

- IP66 rated fixture per International Electrotechnical Commission (IEC) certifies fixture as dust tight and protected against powerful water jets.
- Available in anodized finishes with some parts painted to match. Anodized finish provides optimal thermal effectiveness and durable corrosion protection.
- Stem mount versions include (2) 5/8" aluminum stem(s) painted to match anodized finish.
- Each module requires connection to a 24V constant voltage power supply. Modules over 60W may require multiple power supplies/feeds.
- Lamp body can be rotated up to 330° for application specific aiming

- SPI Lighting uses strict guidelines in LED selection to ensure the white LEDs we use meet or exceed ANSI Binning Standards (ANSI C78.377).
- Black power cord standard unless otherwise specified.
- RGB and color options available. Contact factory for details.
- RELATED LINKS:**
[LED Power Supplies \(24V DC\)](#)
"Designed to be LED"

Technical Notes

- INSTALLATION NOTES:** During installation the contractor is responsible to use actual fixtures to ensure accurate mounting centers from one fixture to the next along the length of the linear run.
- 0-10V dimming standard with P.S. option
- Remote Class II power supply required with LED lampings
- L70 = 50,000+ hours
- ETL listed to UL standards (US & Canada) for ground mounting and use in wet locations.

SEWS STYK LINEAR LED

SAMPLE MODEL NUMBER: SEWS - 051 - L29W - 3500K - 24V DC - 120" - MCS - AN04 - PSN

SERIES
SEWS

SELECT MODULE
101

LED WATTAGE
L115W

COLOR TEMP
40K

SELECT OPTICS
SMB

VOLTAGE
24VDC

LENGTH OF RUN
19'

SELECT MOUNTING
BRK

SELECT PROJECTION
018

SELECT FINISH
AN04

SELECT OPTIONS
PS

016

L4W
L7W
L14W

30K
35K
40K

FT
SMA
SMB

24V DC

Y'

BRK
COV¹
LBK
MCS
SBC

003"
006
012
018

AN04
AN08

F
PS
PSE
PSN

028

L8W
L14W
L29W

30K
35K
40K

039

L11W
L22W
L43W

30K
35K
40K

051

L15W
L29W
L57W

30K
35K
40K

101

L30W
L57W
L115W

30K
35K
40K

Mountings and Options

Painted to match

BRK

COV

LBK

MCS

SBC

Delivered Lumens

	016		028			039			051			101			
	L4W	L7W	L14W	L8W	L14W	L29W	L11W	L22W	L43W	L15W	L29W	L57W	L30W	L57W	L115W
FT	292	512	1023	585	1023	2120	804	1608	3143	1097	2120	4167	2193	4167	8407
SMA	239	418	836	478	836	1731	657	1313	2567	896	1731	3403	1791	3403	6866
SMB	220	384	769	439	769	1592	604	1208	2361	824	1592	3129	1647	3129	6314

Code Definitions

OPTICS	MOUNTING	PROJECTION	OPTIONS
SMA Symmetric 60° Beam - 120° Spread	BRK 3" Bracket Mount	003 3.0"	F Fusing
SMB Symmetric 30° Beam - 60° Spread	COV Cove Mount	006 6.0"	PS Remote Power Supply
FT Forward Throw	MCS 2" Mini Canopy and Stem	012 12.0"	PSE Power Supply Enclosure
	LBK Fixed Bracket	018 18.0"	PSN No Power Supply
	SBC Switch-Box Cover and Stem		
		FINISHES (See Color Chart for Details)	
		AN04 Anodized Aluminum (Clear)	
		AN08 Black Anodized	

SPI LIGHTING

Tel 262.242.1420 contact@spilighting.com www.spilighting.com

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SPI LIGHTING

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Current as of 01/04/18. Design modification rights reserved.

Flag Pole & Flag 1 – South

Flag Pole and Flag 1 – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required

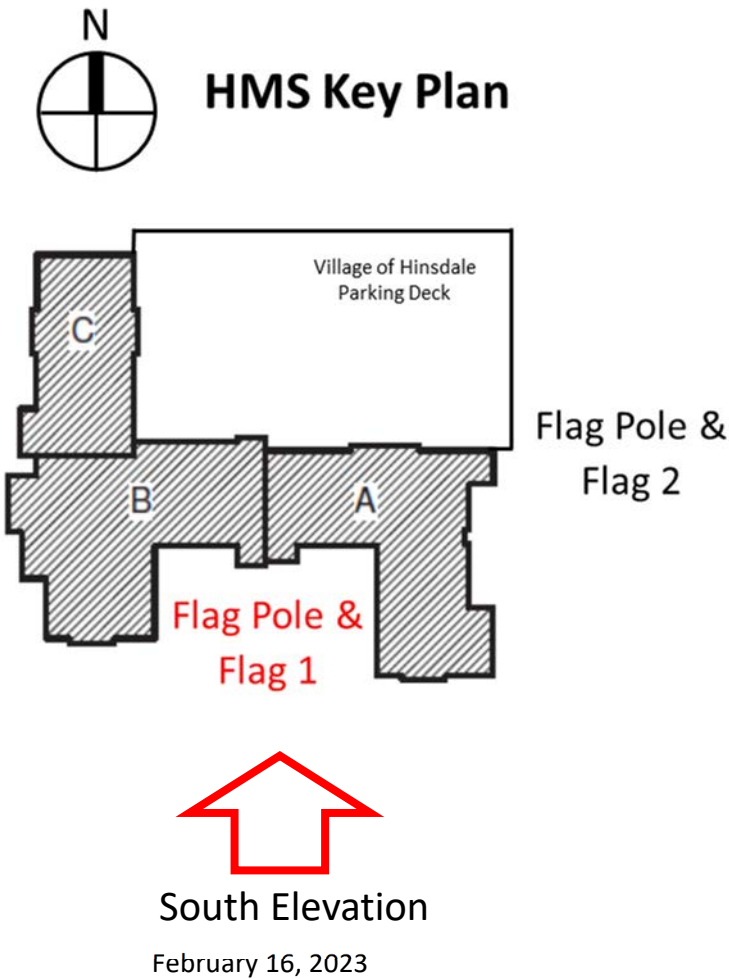


Hinsdale Middle School South Elevation

Flag Pole and Flag 1



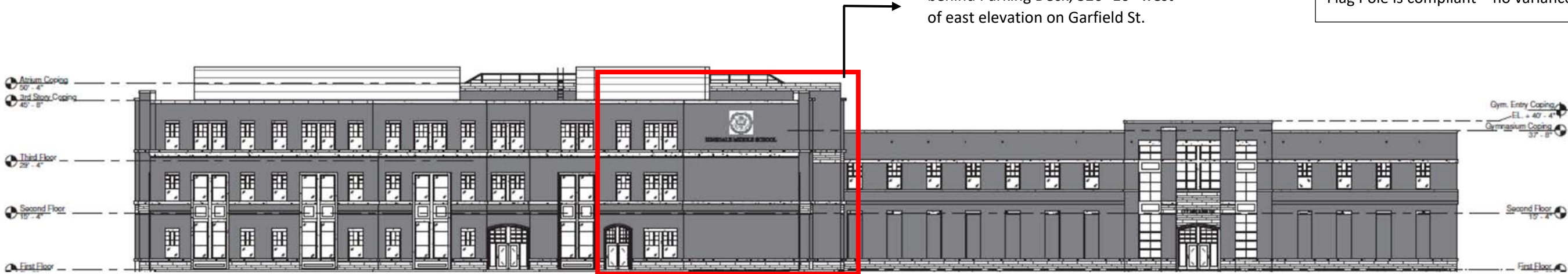
South Entry – Flag Pole & Flag 1



Flag Pole & Flag 2 – East

Note: Gymnasium elevation is behind Parking Deck, 326'-10" west of east elevation on Garfield St.

Flag Pole and Flag 2 – Variance Being Requested:
5. The size of a flag
Flag Pole is compliant – no variance required

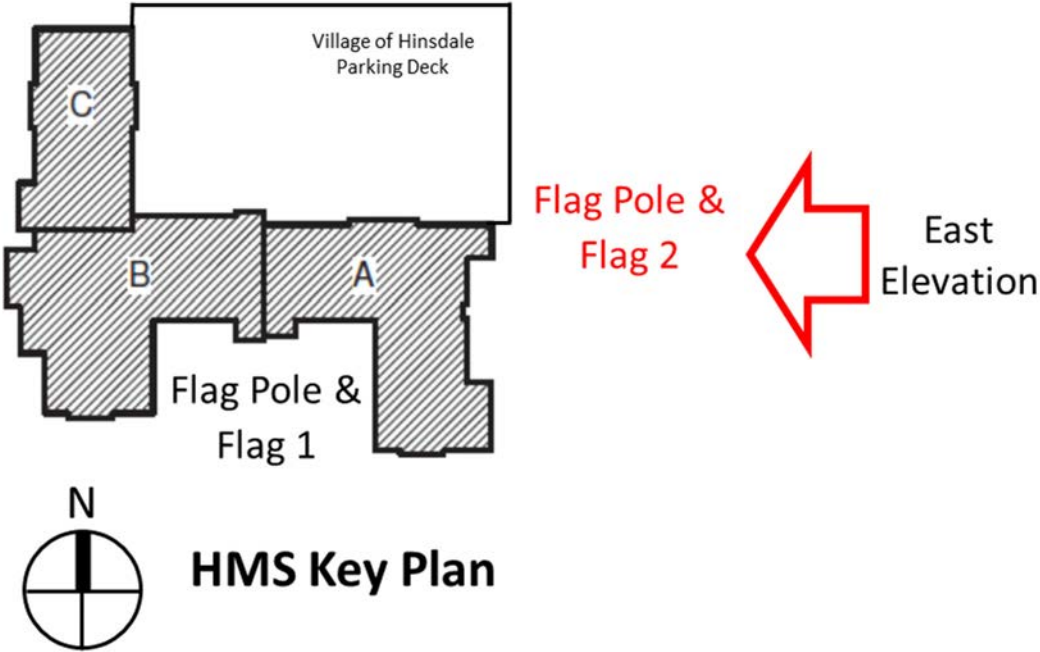


Flag Pole & Flag 2

Hinsdale Middle School East Elevation



Garfield Street – Flag Pole and Flag 2 with Monument Sign (7), Wall Sign (5), Emblem (6)



Flag Pole & Flag 1 & 2 – Flag Pole Height

BULLEY & ANDREWS
Building Matters®

Bulley & Andrews LLC
1755 W. Armitage Avenue
Chicago IL 60622
USA

TRANSMITTAL
No. TRN0556

PROJECT: School District 181 - New Hinsdale Middle School
TO: CORDOGAN CLARK & ASSOC
716 N WELLS ST
CHICAGO IL 60610
UNITED STATES

DATE: 07/20/2018
RE: 103500-Flagpole

ATTN: Alex Lopez JOB: 116190

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input type="checkbox"/> Specifications	<input type="checkbox"/> Attached <input type="checkbox"/> Separate Cover	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Other:		<input checked="" type="checkbox"/> Due Date: 07/27/2018
<input type="checkbox"/> Submittal:		<input type="checkbox"/> Other:

Line	Item	Package	Code	Rev.	Qty	Date	Description	Status
1	Submittal	103500	103500-001	1		07/20/2018	Flagpole Shop Drawings	New

SMITHGROUP JJR
SUBMITTAL REVIEW STAMP
www.smithgroupjjr.com

Review is only for the limited purpose of checking for general conformance with the information given and the design concept expressed in the Contract Documents. The Final Review Code on the Submittal Review Sheet shall prevail.

REVIEW CODE	21020.000
<input type="checkbox"/> Approved (AP)	Project No.
<input checked="" type="checkbox"/> Approved as Noted (AN)	103500-001
<input type="checkbox"/> Approved as Noted - Resubmit (AN-R)	Submittal No.
<input type="checkbox"/> Rejected (REJ)	J. Helfrich
<input type="checkbox"/> Not Requested by Contract Documents (X)	Reviewed By
<input type="checkbox"/> Information Only - Received (INF)	07/30/2018
	Review Date

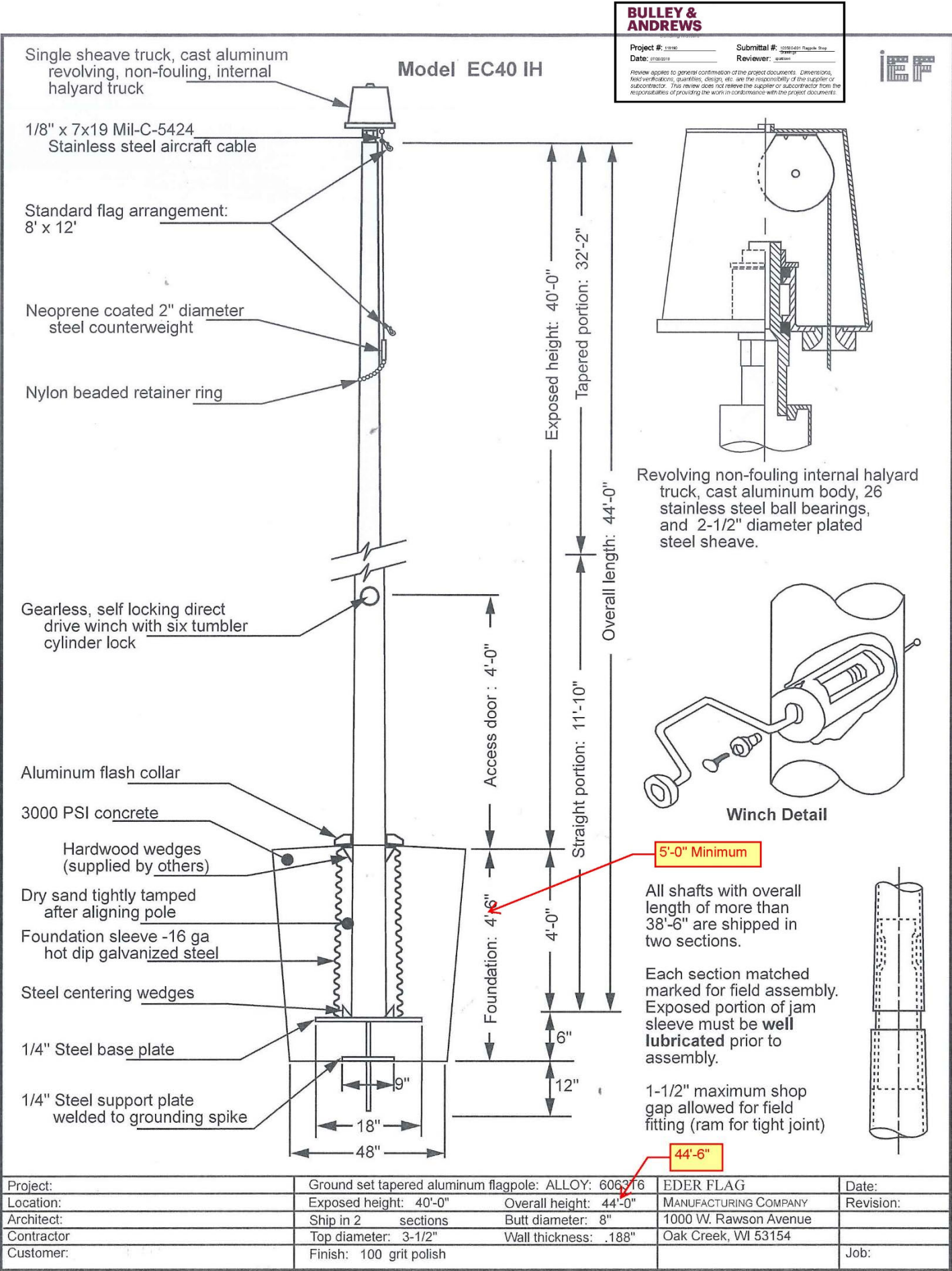
REMARKS: Attached 40' tall flagpole has been submitted per owner/architect request in lieu of 25' tall flagpole shown per the contract drawings.

Flag Poles and Flags – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required

Note:

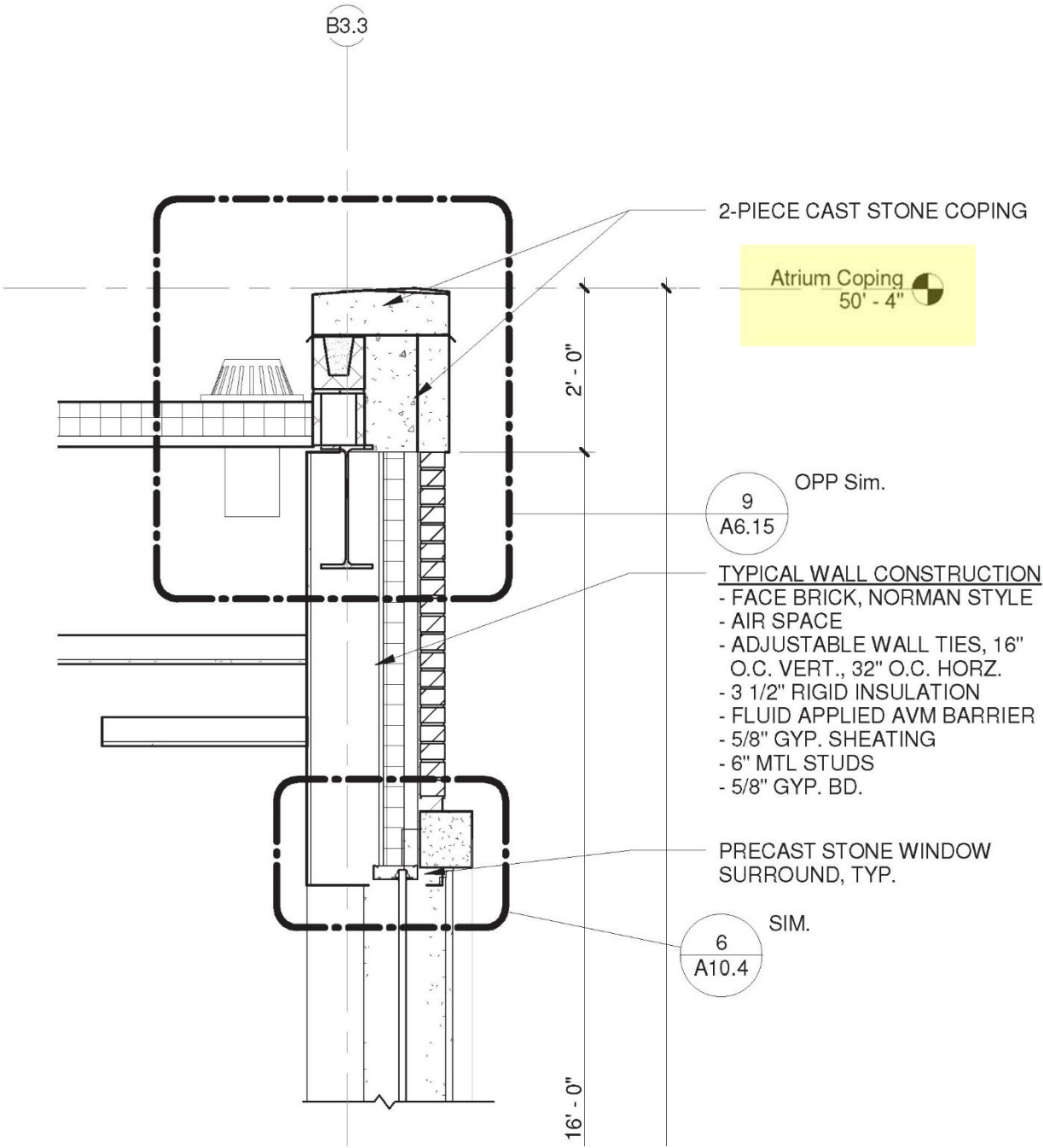
Flag pole shop drawing documenting flag pole height of 44'-6"



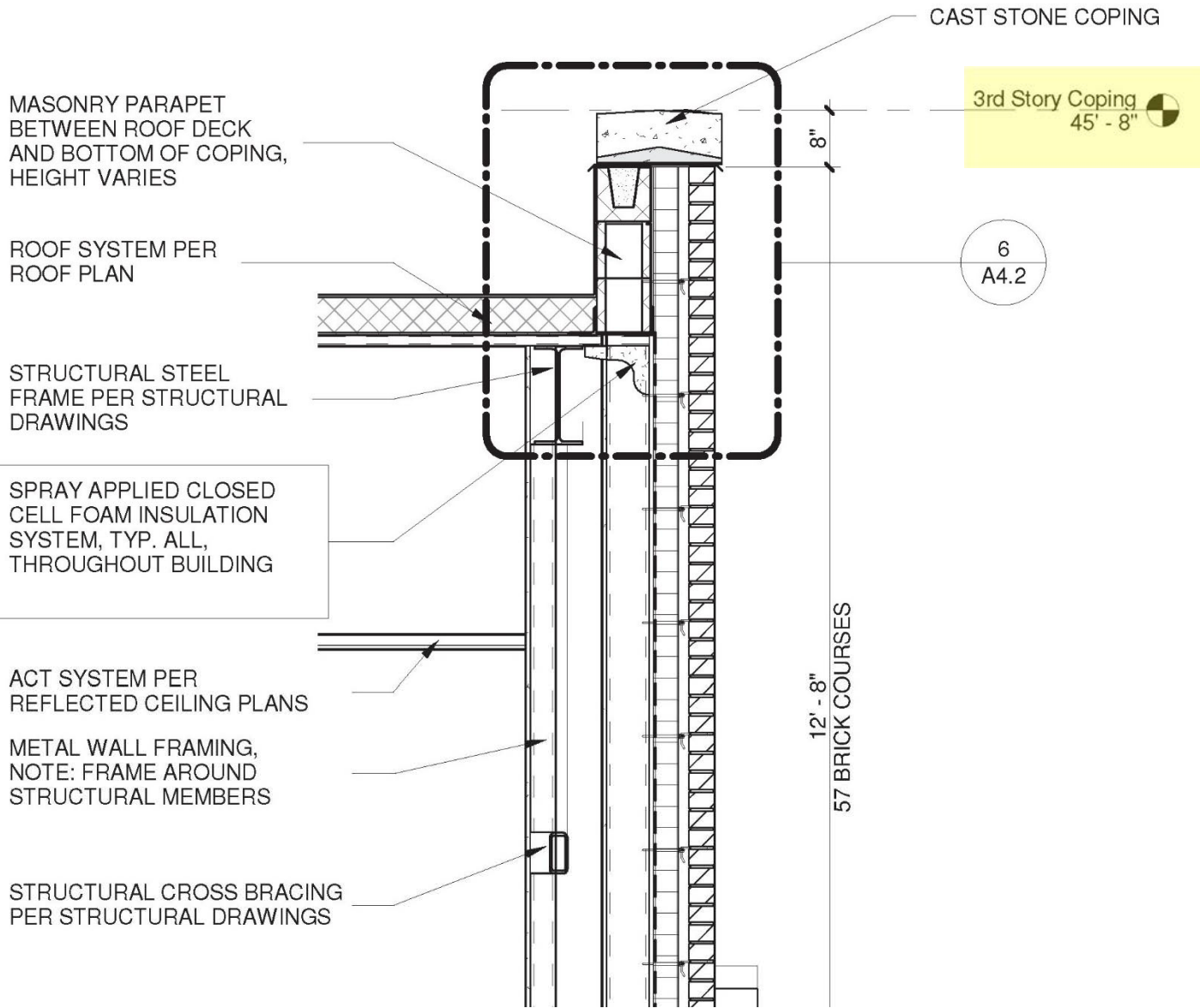
Flag Pole & Flag 1 & 2 – Flag Pole Height

Flag Poles and Flags – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required



HMS building section indicating 50'-4" building height at south



HMS building section indicating 45'-8" building height at east

Notes:

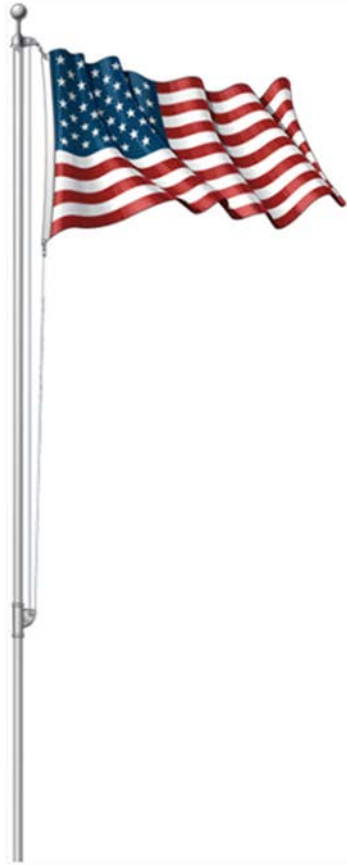
Flag pole base is located just below elevation 0'-0"
Flag pole height is 44'-6"
Wall height is 50'-4" on south and 45'-8" on east
Top of Flag pole is below building height

Flag Pole & Flag 1 & 2 – Flag Details



Images of HMS south elevation showing 44’-6” flag pole & 96 SF flag

What Size Flag Do I Need to Purchase for My Flagpole?

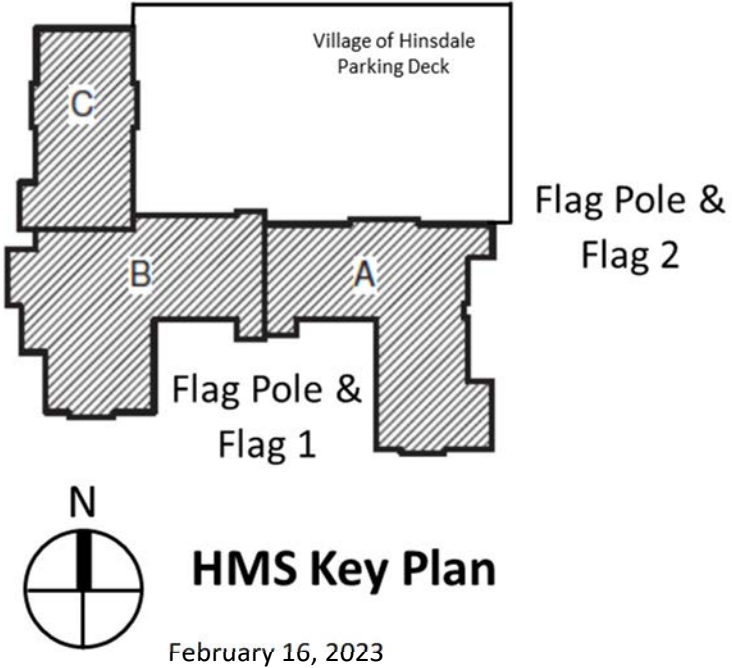


Flagpole Style	Height (length) of Pole	Flag Size
House Mounted	5 ft.	2-1/2 ft. x 4 ft.
House Mounted	6 ft. to 8 ft.	3 ft. x 5 ft.
In Ground	8 ft.	3 ft. x 5 ft.
In Ground	10 ft.	3 ft. x 5 ft.
In Ground	15 ft. to 19 ft.	3 ft. x 5 ft.
In Ground	20 ft. to 24 ft.	3 ft. x 5 ft. or 4 ft. x 6 ft.
In Ground	25 ft. to 29 ft.	5 ft. x 8 ft. or 6 ft. x 10 ft.
In Ground	30 ft. to 39 ft.	5 ft. x 8 ft. or 6 ft. x 10 ft.
In Ground	40 ft. to 49 ft.	6 ft. x 10 ft. or 8 ft. x 12 ft.
In Ground	50 ft. to 59 ft.	8 ft. x 12 ft. or 10 ft. x 15 ft.
In Ground	60 ft. to 69 ft.	10 ft. x 15 ft. or 12 ft. x 18 ft.
In Ground	70 ft. to 79 ft.	12 ft. x 18 ft. or 15 ft. x 25 ft.
In Ground	80 ft. to 89 ft.	12 ft. x 18 ft. or 20 ft. x 30 ft.
In Ground	90 ft. to 99 ft.	15 ft. x 25 ft. or 20 ft. x 30 ft.
In Ground	100 ft. to 119 ft.	15 ft. x 25 ft. or 20 ft. x 38 ft.
In Ground	120 ft. to 149 ft.	20 ft. x 38 ft.
In Ground	150 ft. to 200 ft.	30 ft. x 50 ft.
In Ground	200 ft. +	30 ft. x 60 ft.

Chart indicating recommended flag size based on flag pole height

Flag Poles and Flags – Variance Being Requested:

5. The size of a flag
Flag Pole is compliant – no variance required

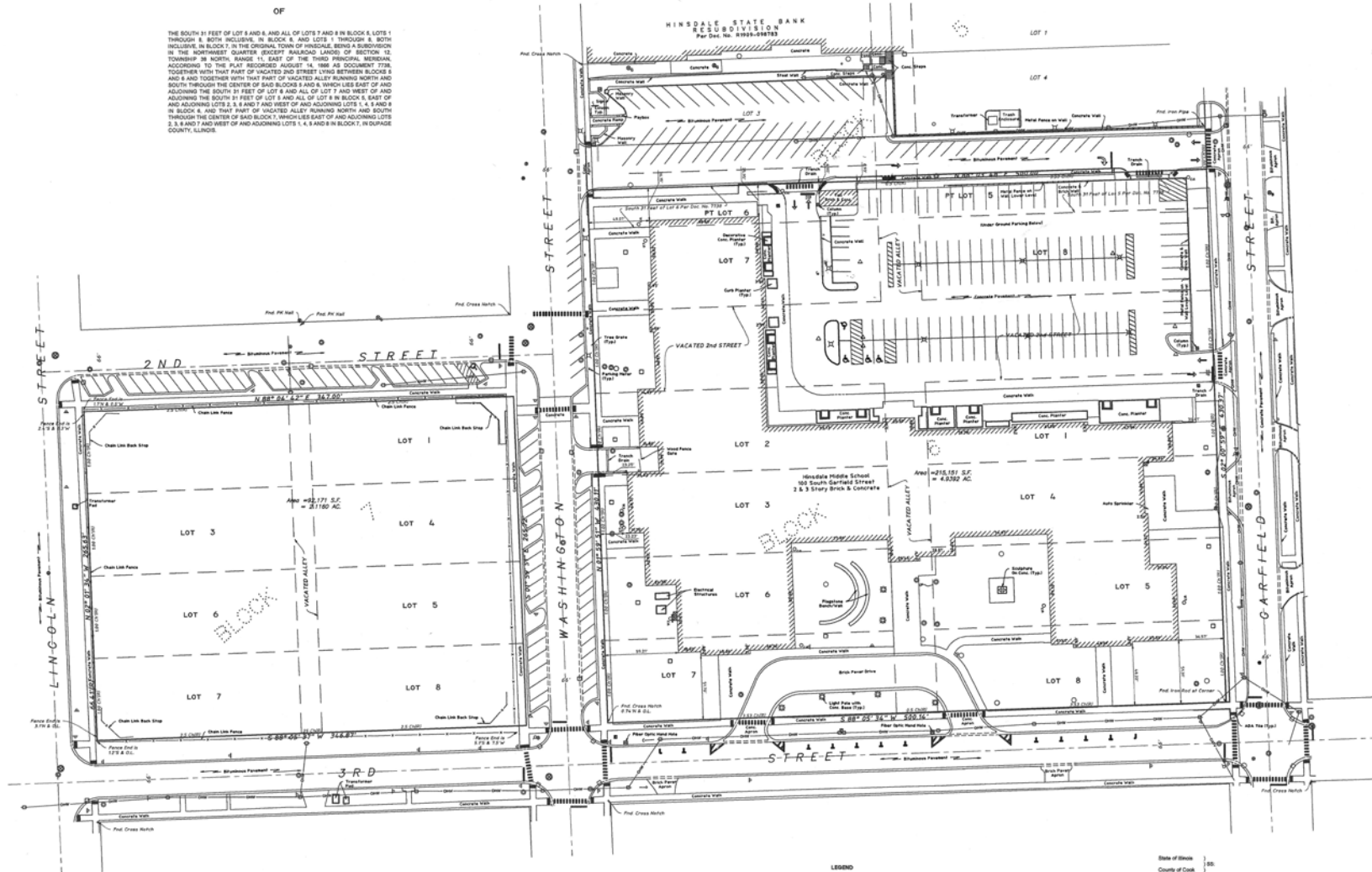
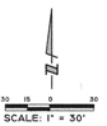


PLAT OF SURVEY

OF

THE SOUTH 31 FEET OF LOT 8 AND 6 AND ALL OF LOTS 7 AND 9 IN BLOCK 1 THROUGH 8, BOTH INCLUSIVE, IN BLOCK 8, AND LOTS 1 THROUGH 8, BOTH INCLUSIVE, IN BLOCK 7, IN THE ORIGINAL TOWN OF HINSDALE, BEING A SUBDIVISION IN THE NORTHWEST QUARTER (EXCEPT RAILROAD LANDS) OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AUGUST 14, 1886 AS DOCUMENT 7718, TOGETHER WITH THAT PART OF VACATED 2ND STREET LYING BETWEEN BLOCKS 8 AND 9 AND TOGETHER WITH THAT PART OF VACATED ALLEY RUNNING NORTH AND SOUTH THROUGH THE CENTER OF SAID BLOCKS 8 AND 9 WHICH LIES EAST OF AND ADJOINING THE SOUTH 31 FEET OF LOT 8 AND ALL OF LOT 7 AND WEST OF AND ADJOINING THE SOUTH 31 FEET OF LOT 9 AND ALL OF LOT 8 IN BLOCK 8, EAST OF AND ADJOINING LOTS 3, 5 AND 7 AND WEST OF AND ADJOINING LOTS 1, 4, 6 AND 8 IN BLOCK 8, AND THAT PART OF VACATED ALLEY RUNNING NORTH AND SOUTH THROUGH THE CENTER OF SAID BLOCK 7, WHICH LIES EAST OF AND ADJOINING LOTS 2, 3, 5 AND 7 AND WEST OF AND ADJOINING LOTS 1, 4 AND 6 IN BLOCK 7, IN SOUTHWEST COUNTY, ILLINOIS.

SHEET 1 OF 1



LEGEND

- | | | | |
|---|--------------|-----|-----------------------|
| ○ | Manhole | —○— | Overhead Utility Line |
| ○ | Catch Basin | —○— | Gas Valve |
| ○ | Drain | —○— | Utility Pole |
| ○ | Fire Hydrant | —○— | Telephone Pole |
| ○ | Valve Vault | —○— | Telephone Manhole |
| ○ | Valve Box | —○— | Cable TV Line |
| ○ | Light Pole | —○— | Flagpole |
| ○ | Flare | —○— | Curb & Gutter |
| ○ | Pipe Sublet | —○— | Overhead Cable |
| ○ | Sign | —○— | Retaining Wall |
| ○ | Gas Valve | —○— | Road |
| | | —○— | On Line |

State of Illinois
County of Cook
This professional service conforms to the current Illinois minimum standards for a boundary survey.
Surveying, Illinois
By: [Signature]
September 14, 2022
Project No. 187-66-1



HAEGE ENGINEERING
Surveyors
100 East Lake Parkway, Schaumburg, IL 60195
Tel: 815.354.4400 Fax: 815.354.4405
www.haenge.com

Surveyor's notes:
1. Fieldwork was completed on September 13, 2022.
2. The basis of bearing shown herein is assumed.
3. Underground utilities are not shown herein.

EXPIRES 11-30-22

ALTA COMMITMENT FOR TITLE INSURANCE



CHICAGO TITLE INSURANCE COMPANY

Commitment Number:

16021074CS

CHICAGO TITLE INSURANCE COMPANY, a Nebraska corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six (6) months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

IN WITNESS WHEREOF, CHICAGO TITLE INSURANCE COMPANY has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.

Chicago Title Insurance Company

By:

President

Attest:

Secretary



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ALTA Commitment (06/17/2006)

Page 1

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IL-CT-FWET-01080.225408-SPS-1-16-16021074CS



ORIGINATING OFFICE:	FOR SETTLEMENT INQUIRIES, CONTACT:
Chicago Title Company, LLC 6432 Joliet Road, Suite A Countryside, IL 60525 Main Phone: (708)482-2900 Email: ctcountryside@ctt.com	

Issued By: Chicago Title Company, LLC
6432 Joliet Road, Suite A
Countryside, IL 60525

SCHEDULE A

ORDER NO. 16021074CS

Property Ref.: 100 S Garfield Ave, Hinsdale, IL 60521

1. Effective Date: August 26, 2016
2. Policy or (Policies) to be issued:

a.

Proposed Insured: To Be Determined
Policy Amount: \$0.00

3. The estate or interest in the land described or referred to in this Commitment is:
Fee Simple

4. Title to the estate or interest in the land is at the Effective Date vested in:

Regional Board of School Trustees of Dupage County, Illinois, a municipal corporation of the State of Illinois, and their successors in office for the use and benefit of the Community Consolidated School District Number 181, DuPage and Cook Counties, Illinois

5. The land referred to in this Commitment is described as follows:

THE SOUTH 31 FEET OF LOT 5 AND 6, AND ALL OF LOTS 7 AND 8 IN BLOCK 5, LOTS 1 THROUGH 8, BOTH INCLUSIVE, IN BLOCK 6, AND LOTS 1 THROUGH 8, BOTH INCLUSIVE, IN BLOCK 7, IN THE ORIGINAL TOWN OF HINSDALE, BEING A SUBDIVISION IN THE NORTHWEST 1/4 (EXCEPT RAILROAD LANDS) OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AUGUST 14, 1866 AS DOCUMENT 7738, TOGETHER WITH THAT PART OF VACATED 2ND STREET LYING BETWEEN BLOCKS 5 AND 6 AND TOGETHER WITH THAT PART OF VACATED ALLEY RUNNING NORTH AND SOUTH THROUGH THE CENTER OF SAID BLOCKS 5 AND 6, WHICH LIES EAST OF AND ADJOINING THE SOUTH 31 FEET OF LOT 6 AND ALL OF LOT 7 AND WEST OF AND ADJOINING THE SOUTH 31 FEET OF LOT 5 AND ALL OF LOT 8 IN BLOCK 5, EAST OF AND ADJOINING LOTS 2, 3, 6 AND 7 AND WEST OF AND ADJOINING LOTS 1, 4, 5 AND 8 IN BLOCK 6, AND THAT PART OF VACATED ALLEY RUNNING NORTH AND SOUTH THROUGH THE CENTER OF SAID BLOCK 7, WHICH LIES EAST OF AND ADJOINING LOTS 2, 3, 6 AND 7 AND WEST OF AND ADJOINING LOTS 1, 4, 5 AND 8 IN BLOCK 7, IN DUPAGE COUNTY, ILLINOIS.

END OF SCHEDULE A

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ALTA Commitment (06/17/2006)



SCHEDULE B

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

General Exceptions

1. **Rights or claims of parties in possession not shown by Public Records.**
2. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the Land.**
3. **Easements, or claims of easements, not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **Taxes or special assessments which are not shown as existing liens by the Public Records.**
6. **We should be furnished a properly executed ALTA statement and, unless the land insured is a condominium unit, a survey if available. Matters disclosed by the above documentation will be shown specifically.**
7. **Note for Information: The coverage afforded by this commitment and any policy issued pursuant hereto shall not commence prior to the date on which all charges properly billed by the company have been fully paid.**

- A 8. The General Taxes as shown below are marked exempt on the Collector's Warrants. Unless satisfactory evidence is submitted to substantiate said exemption, our policy, if and when issued, will be subject to said taxes.

Taxes for the years 2015 and 2016.

Taxes for the years 2016 are not yet due or payable.

Tax Number: 09-12-130-011-0000, 09-12-130-012-0000, 09-12-130-013-0000, 09-12-130-014-0000, 09-12-130-015-0000, 09-12-130-017-0000, 09-12-123-009-0000, 09-12-123-010-0000, 09-12-123-011-0000, 09-12-123-012-0000, 09-12-123-013-0000, 09-12-123-014-0000, 09-12-123-015-0000, 09-12-123-016-0000 and 09-12-130-018-0000

- C 9. For any special service areas and/or sanitary districts referenced below as a Schedule B Exception, a full payment letter must be presented in conjunction with any deed to be recorded.



SCHEDULE B

(continued)

- B 10. Note: terms and conditions of the Flagg Creek Water Reclamation District amended ordinance 756, recorded March 13, 2009, as document R2009-037066, which relate to the payment of user charges prior to the sale or transfer of real estate within the districts service area, the computation of water consumption, and the evaluation of connection permits for the sale of commercial property within said service area. Ordinance provides in part that no person shall sell, transfer or otherwise convey title to or beneficial interest in any real property which is supplied with water service by the Flagg Creek Water Reclamation District without first obtaining a closing letter showing that all sewer assessments are paid in full.

Note: We should be furnished with a closing letter showing all sewer assessments are paid in full in connection with any recording to which the ordinance applies.

In the event of a transfer of the property, we should be furnished satisfactory evidence of compliance in the form of a connection letter as set forth in said ordinance.

- G 11. In order for the Company to insure the sale or transfer of school district property, the Company should be furnished a certified copy of the School Board Resolution which authorizes said transfer and evidence of any required publication of Notice of Public Sale.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

- K 12. Rights of the municipality, the State of Illinois, the public and adjoining owners in and to vacated alleys and vacated 2nd Street

- L 13. Rights of the public and quasi-public utilities, if any, in said vacated alleys and vacated 2nd Street for maintenance therein of poles, conduits, sewers and other facilities.

- N 14. Rights of Way for drainage tiles, ditches, feeders, laterals and underground pipes, if any.

- M 15. Rights of the public, the State of Illinois and the municipality in and to that part of the Land, if any, taken or used for road purposes.

- D 16. Easement for facilities - Hinsdale Community School District 181 to AT&T recorded June 21, 2007 as document R2007-115225 and the terms and provisions contained therein

(affects lot 8 in Block 5)

- E 17. Restrictive covenant for construction of an improvement in the public right-of-way made by and between the Community Consolidated School District No. 181 and the Village of Hinsdale relating to a decorative driveway apron, recorded August 28, 2009 as document R2009-133924

(affects Lot 8 block 5 and other property not now in question)

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ALTA Commitment (06/17/2006)



SCHEDULE B

(continued)

- H 18. Grants of easements made by the Regional Board of School Trustees of DuPage County, Illinois and the Village of Hinsdale for the maintenance, operation, repair, replacement or removal of an existing water main and the terms and provisions contained therein recorded as documents R77-59603 and R90-5494

(affects part of block 5)

- I 19. Terms and provisions of an ordinance authorizing an agreement and establishing parking restrictions recorded as document R82-25643

(affects block 5)

- J 20. Terms and provisions of agreements made by and between the Village of Hinsdale and the trustees of Scholl district 181 recorded as documents R77-96687 and R78-108796

(affects block 5)

- O 21. A. Note for additional information: the DuPage County Recorder requires that any documents presented for recording contain the following information:

The name and address of the party who prepared the document;

The name and address of the party to whom the document should be mailed after recording;

All permanent real estate tax index numbers of any property legally described in the document;

The address of any property legally described in the document;

All deeds should contain the address of the grantee and should also note the name and address of the party to whom the tax bills should be sent.

Any deeds conveying unsubdivided land, or, portions of subdivided and, may need to be accompanied by a properly executed "plat act affidavit."

In addition, please note that the municipalities of Addison, Aurora, Bartlett, Bolingbrook, Carol Stream, Elk Grove Village, Elmhurst, Glendale Heights, Glen Ellyn, Hanover Park, Naperville, Schaumburg, West Chicago, Wheaton, and Woodridge have enacted transfer tax ordinances. To record a conveyance of land located in these municipalities, the requirements of the transfer tax ordinances must be met. A conveyance of property in these cities may need to have the appropriate transfer tax stamps affixed before it can be recorded.

Furthermore, all deeds and mortgages should include the current marital status of all individual parties, where appropriate. A spouse of an individual grantor or mortgagor may have to sign the deed or mortgage in order to release any applicable homestead interest

This exception will not appear on the policy when issued.

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ALTA Commitment (06/17/2006)



SCHEDULE B

(continued)

- P 22. Effective June 1, 2009, pursuant to Public Act 95-988, satisfactory evidence of identification must be presented for the notarization of any and all documents notarized by an Illinois notary public. Satisfactory identification documents are documents that are valid at the time of the notarial act; are issued by a state or federal government agency; bear the photographic image of the individual's face; and bear the individual's signature.
- Q 23. The "Good Funds" section of the Title Insurance Act (215 ILCS 155/26) is effective January 1, 2010. This Act places limitations upon our ability to accept certain types of deposits into escrow. Please contact your local Chicago Title office regarding the application of this new law to your transaction.
- S 24. All endorsement requests should be made prior to closing to allow ample time for the company to examine required documentation.
(This note will be waived for policy).

END OF SCHEDULE B

CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <http://www.alta.org>.*

END OF CONDITIONS

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ALTA Commitment (06/17/2006)





**PLAN COMMISSION
MEMORANDUM**

DATE: May 5, 2023

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-17-2023 – Sign Permit Review – 35 E. First Street – Fuller House – Installation of One (1) Wall Sign

FOR: May 10, 2023 Plan Commission Meeting

Summary

The Village of Hinsdale received a sign permit application from Fuller House requesting approval to install one (1) new wall sign on the building located at 35 E. First Street. The existing two-story, multi-tenant building is located in the B-2 Central Business District and the Downtown Historic District.

The two-story building is situated on an L-shaped lot that fronts both First Street and Garfield Street. The building consists of several tenants, including a restaurant, hardware store, martial arts and fitness studio, and offices. The outdoor patio for Fuller House is located on the adjacent lot at 50 S. Garfield, formerly occupied by a restaurant (Dips & Dogs) that is now currently vacant.

On October 18, 2022, by Ordinance No. O2022-34, the Village Board approved an Exterior Appearance and Site Plan to allow for improvements to the building façade and site. Changes to the façade on First Street include the replacement of five (5) light fixtures on the second floor, installation of wood cladding on the existing stone band above the storefront / entrance, installation of wood planter boxes along the perimeter of the recessed storefront alcove to provide a barrier for the outdoor dining area, and painting on the concrete floor within the entry alcove. The Board approved plans showing the renderings of the front façade, attached for review, show a conceptual wall sign and projecting sign. The applicant has confirmed that a projecting sign is no longer proposed and will not be installed on the building.

Request and Analysis

The applicant is requesting to install one (1) halo-lit wall sign on the façade facing First Street. The sign will be mounted on top of the newly installed wood cladding above the storefront windows and entrance. The wall sign consists of illuminated black halo-lit channel letters and will measure 15.1" tall and 14' wide, with an overall sign face area of 17.6 square feet. The wall sign will be smaller in size than the former non-illuminated wall sign approved in 2015, which consisted of painted letters on a wood panel with an overall sign face areas of 33.5 square feet.

Per Section 9-106(J), in the B-2 District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five



MEMORANDUM

(25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot.

The building has a frontage of 50' facing First Street 50' and 196' facing Garfield Avenue, which would allow for a maximum of 100 square feet of signage on the building. A wall sign for Fuller's Home and Hardware, measuring 34.8 square feet, and a window sign for Hinsdale Fitness Club, measuring 6.5 square feet, are currently located on the building. Combined with the proposed 17.6 square foot sign for Fuller House, the overall signage on the building will measure 58.9 square feet, which is less than the 100 square foot maximum allowed for the entire building.

A rendering has been provided to show what the sign will look like illumined at night. Per Section 9-106, in no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed fifty (50) foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets.

Meeting History

Historic Preservation Commission Meeting – May 3, 2023 – At the HPC meeting, Alex Perry representing the sign contactor Right Way Signs, provided an overview of the proposed wall sign and answered questions from the Commissioners.

A Commissioner asked the applicant to clarify if the brick on the building was to be painted as the rendering for the signage plans showed white brick. Painting of the brick was not allowed under the prior Exterior Appearance and Site Plan to allow for improvements to the building façade and site, approved by the Village Board on October 18, 2022 by Ordinance No. O2022-34. The applicant confirmed the brick would not be painted. The applicant also confirmed that all weather wood cladding had been installed in the sign band area behind the sign. A Commissioner asked about the electrical conduit recently installed on the front of the building. The applicant agreed to paint the electrical conduit to match the brick. The Commissioners expressed general support of the proposed sign.

The Historic Preservation Commission, by a vote of six (6) ayes and zero (0) nays, with one (1) vacancy, recommended approval of Case A-17-2023, a Sign Permit to allow for the installation of one (1) wall sign at 35 E. First Street for Fuller House.

Process

Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the Historic Preservation Commission shall be advisory only. The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:



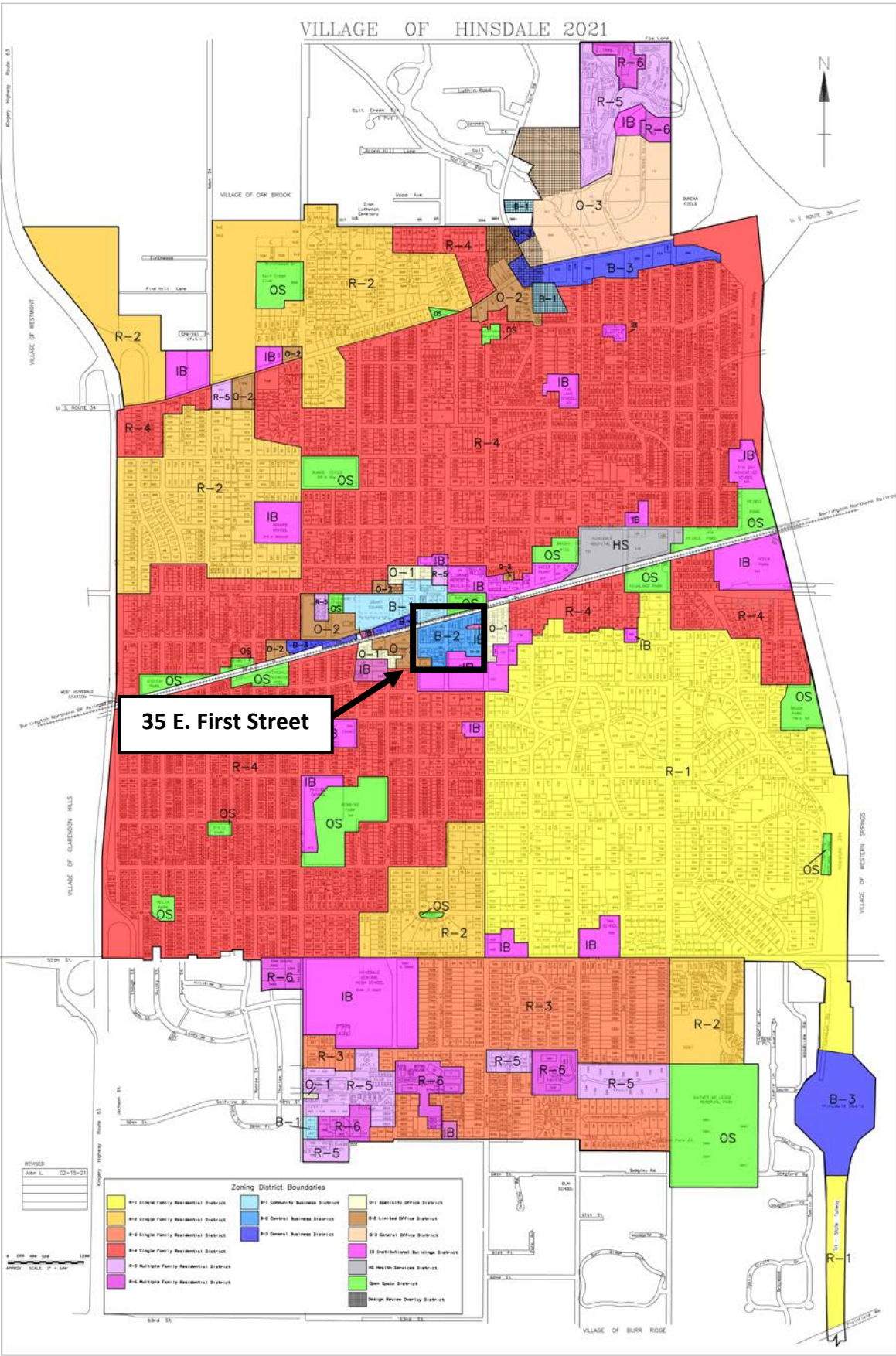
MEMORANDUM

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

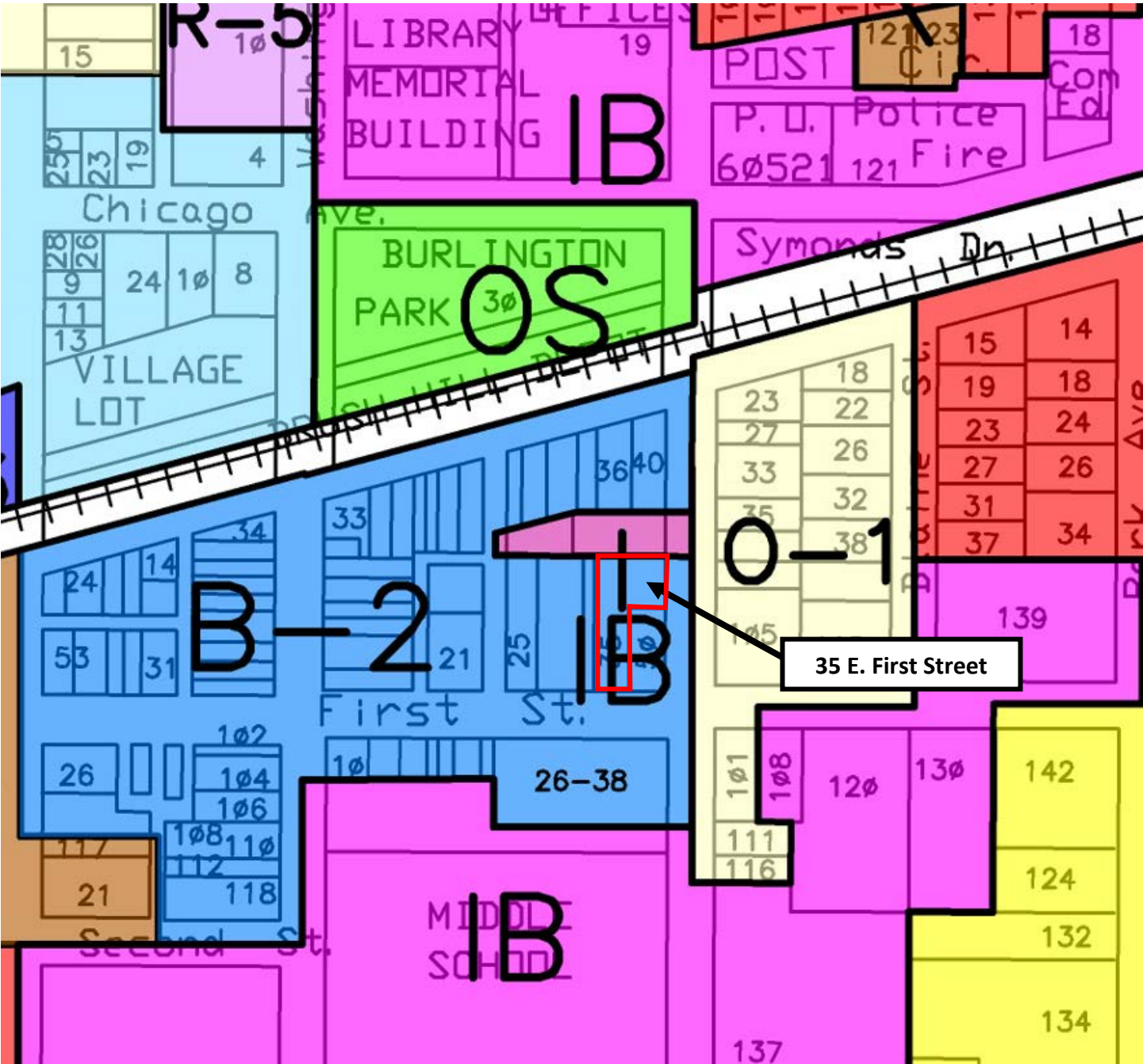
Attachments

1. Zoning Map and Project Location
2. Birds Eye View
3. Street View
4. Sign Application and Exhibits

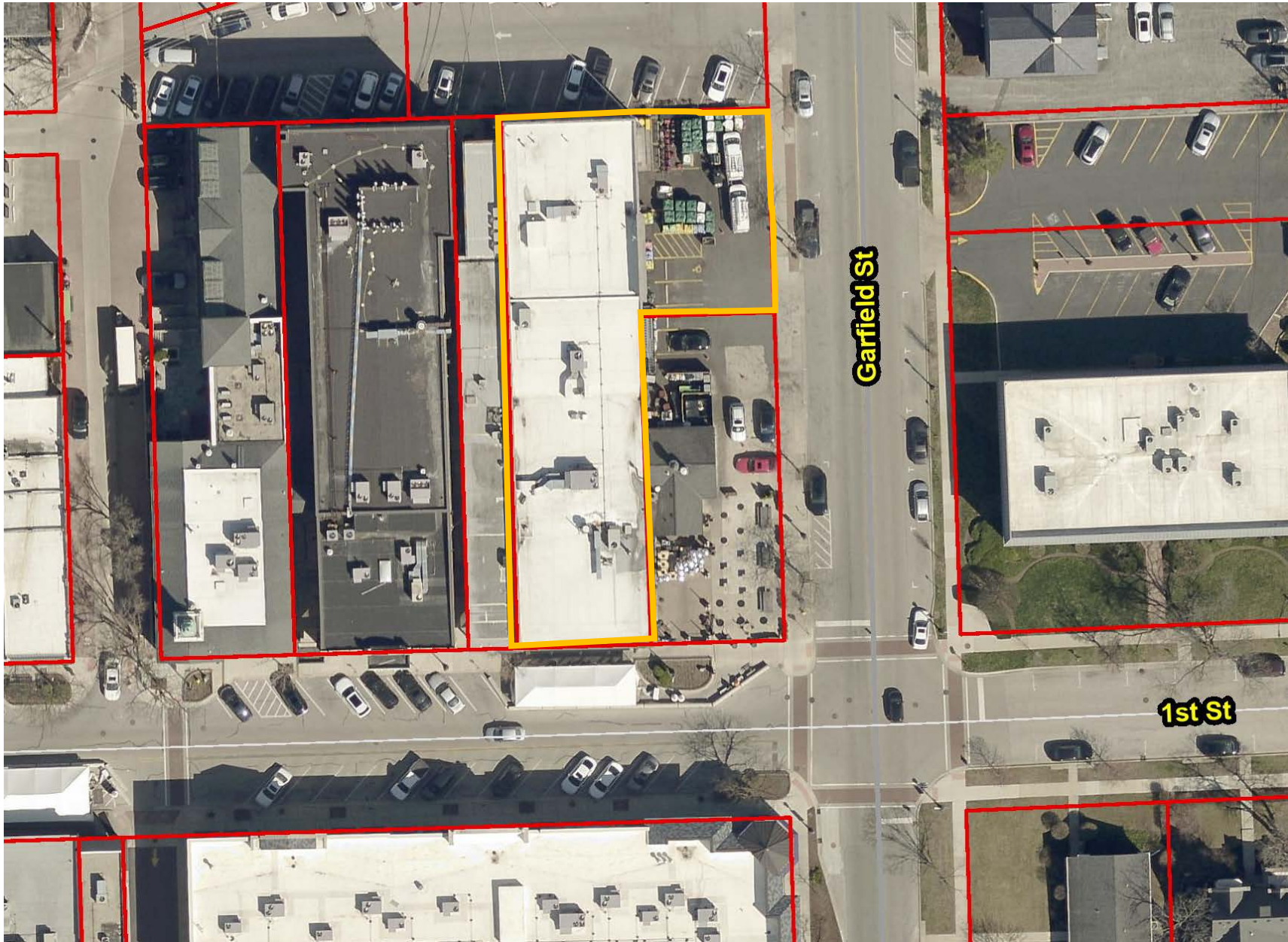
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Aerial View – 35 E. First Street



Birds Eye View – 35 E. First Street



Street View – 35 E. First Street



Existing Signage

Fullers Home & Hardware – 22' wide x 19" tall – 34.8 square feet

Hinsdale Fitness Club – 24" wide x 39" tall – 6.5 square feet





PROPOSED NON
LIT METAL BLADE
SIDE FOR PICK
UP ORDERS.
APPROX. 18"
DIAMETER X
4" DEPTH. SEE
NEXT PAGE FOR
MORE INFO.

VIEW AT PROPOSED EXTERIOR FACADE REFRESH

NEW OUTDOOR
PLANTER BOXES
(SEE PLANTER
BOX SPEC
PROVIDED)

NEW RECLAIMED
WOOD
CLADDING FOR
SIGNAGE
BACKDROP.
SEALED

NEW METAL CHANNEL CUT LOGO LETTER
SIGNAGE MOUNTED ON RECLAIMED WOOD
HORIZONTAL PLANKS. BACKLIT ON DIMMER
SWITCH. SIGNAGE COMPANY TO SUBMIT
FOR PERMIT SEPARATELY UPON DESIGN
INTENT APPROVAL & WILL PROVIDE DRAWING
DETAILS AS NECESSARY. APPROXIMATE SIZE:
14"W X 15" LETTER HEIGHT.

NEW OUTDOOR EXTERIOR
WALL SCONCES TO
REPLACE EXISTING (5)
GOOSENECK LIGHTS. (SEE
OUTDOOR WALL SCONCE
SPEC PROVIDED)

EXTERIOR EXISTING BRICK
TO REMAIN AS SHOWN.

NOTE: PROPOSED NON LIT METAL BLADE SIDE FOR PICK UP ORDERS. APPROX. 18" DIAMETER X 4" DEPTH. PERMIT DRAWINGS & SIGN DETAILS TO FOLLOW FROM SIGNAGE FABRICATOR UPON DESIGN INTENT APPROVAL. SIGNAGE COMPANY WILL SUBMIT FOR PERMIT SEPARATELY ↓



*** SIGN TO BE BLACK FRAME, WHITE LETTERS**

NON LIT SIGN SIZE: 18" DIAMETER X 4" THICKNESS. TOTAL EXTRUSION: 22" FROM BUILDING

8'-6" A.F.F

PUBLIC SIDEWALK WAY

VIEW AT EXTERIOR ENTRY



NEW WOOD PLANTER BOXES (SEE SPEC PROVIDED) TO BE ALIGNED WITH IN PROPERTY LINE & WILL NOT EXEND OVER PUBLIC SIDEWALK AS SHOWN)

ALL EXISTING LIGHTING ON UNDER-SIDE OF PROPERTY CEILING TO REMAIN.

SW 7019
Gauntlet Gray

Interior / Exterior
Location Number: 244-C6

APPLIED PAINTED & SEALED PATTERN STENCIL ONTO EXISTING CONCRETE AT ENTRYWAY TO DISGUISE TRAFFIC WEAR (SEE PROPOSED CONCRETE STENCIL REPEAT PROVIDED)

UNDERSIDE OF CEILING TO BE PAINTED & SEALED IN SHERWIN WILLIAMS TRICORN BLACK, FLAT FINISH.

SW 6258
Tricorn Black

Interior / Exterior
Location Number: 251-C1

Approved Exterior Appearance / Site Plan Review Plans - Ordinance No. O2022-34



VIEW AT PROPOSED EXTERIOR SIGNAGE
(FOR DESIGN INTENT APPROVAL ONLY)

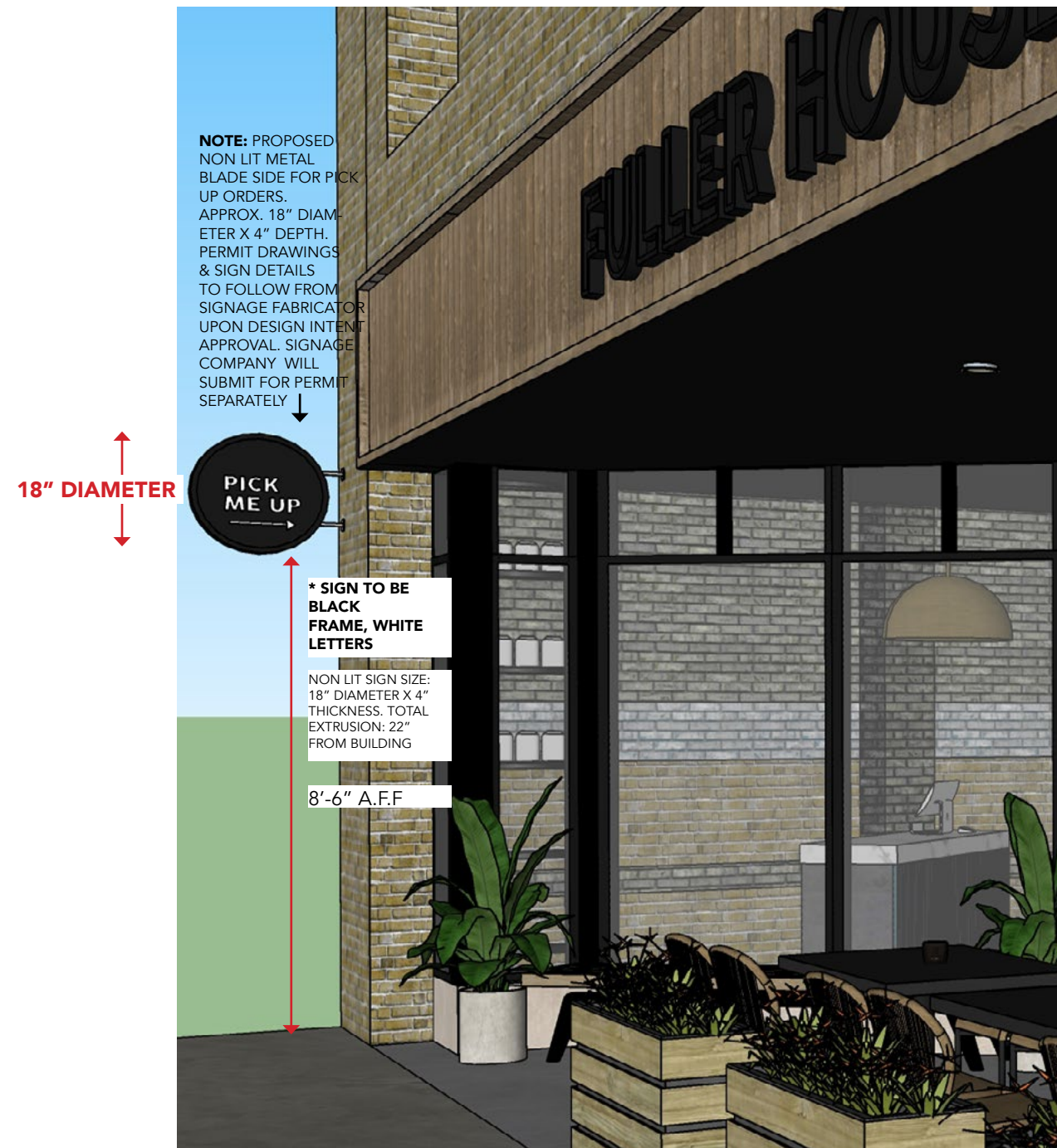
GENERA NOTE: PLEASE NOTE
SIGNAGE SUBMISSION
SUBMITTED FOR DESIGN INTENT
ONLY. IF APPROVED,
FABRICATOR WILL BE
PROVIDING PROPER TECHNICAL
SPECS / SHOP DRAWINGS OF
EACH SIGNAGE TO THE CITY
DIRECTLY.



NEW RECLAIMED
WOOD
CLADDING FOR
SIGNAGE
BACKDROP.
SEALED

NEW METAL CHANNEL CUT LOGO LETTER
SIGNAGE MOUNTED ON RECLAIMED WOOD
HORIZONTAL PLANKS. BACKLIT ON DIMMER
SWITCH. SIGNAGE COMPANY TO SUBMIT
FOR PERMIT SEPARATELY UPON DESIGN
INTENT APPROVAL & WILL PROVIDE DRAWING
DETAILS AS NECESSARY. APPROXIMATE SIZE:
14'W X 15" LETTER HEIGHT.

Approved Exterior Appearance /
Site Plan Review Plans -
Ordinance No. O2022-34



VIEW AT PROPOSED EXTERIOR SIGNAGE
(FOR DESIGN INTENT APPROVAL ONLY)

GENERA NOTE: PLEASE NOTE SIGNAGE SUBMISSION SUBMITTED FOR DESIGN INTENT ONLY. IF APPROVED, FABRICATOR WILL BE PROVIDING PROPER TECHNICAL SPECS / SHOP DRAWINGS OF EACH SIGNAGE TO THE CITY DIRECTLY.



Illuminate your home with this stylish modern outdoor wall light from Hinkley, which features a high performance finish is resistant to rust and corrosion

Additional Info:

The Republic collection from Hinkley offers a handsome transitional look for your home. An oil-rubbed bronze finish adds rich detail to this straight-lined outdoor wall light. Clear seedy glass panels add an interesting visual element to this fixture. Best of all, the light has a high performance finish that is resistant to rust and corrosion and comes with a 5-year guarantee. Use it for improved illumination near your home’s entrance, near your driveway, or flanking garage doors.

HINKLEY

[Shop all Hinkley](#)

- 20" high x 7" wide. Extends 6 3/4" from the wall. Side glass panels are 14 3/4" high x 3" wide. Front glass is 14 3/4" high x 4" wide. Weighs 5.5 lbs.
- Backplate is 5" wide x 6 1/2" high. 4 3/4" from mounting point to top of fixture.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- Republic outdoor wall light by Hinkley. High performance finish is resistant to rust and corrosion with a 5-year warranty.
- Oil-rubbed bronze finish over composite frame. Clear seeded glass. Wet location rated for outdoor use. Can also be used indoors.

SPECIFICATIONS

PRODUCT ATTRIBUTES

Finish	Bronze
Style	Contemporary
Brand	Hinkley

TECHNICAL SPECIFICATIONS

Height	20.00 inches
Width	7.00 inches
Weight	5.50 pounds
Max Wattage	100 watts

EXTERIOR WALL SCNCE
SPEC SHEET



Overall	28.35" H x 39.37" W x 15.75" D
Dimensions with Stand	28.35" x 15.75" x 39.37"
Overall Product Weight	43.14 lb.
Rack height from the ground	3.9" and 17.3"



EXTERIOR PLANTER BOX
SPEC SHEET

Approved Exterior Appearance /
Site Plan Review Plans -
Ordinance No. O2022-34



APPLIED PAINTED STENCIL
PATTERN REPEAT (SHOWN IN BLACK & WHITE
FOR PATTERN REPEAT REFERENCE ONLY. BLACK
INDICATES PATTERN GETTING PAINTED IN GREY AS
SPECIFIED)



**BUILDING ENTRY
VESTIBULE APPLIED PAINTED
STENCIL**

SW 7019
Gauntlet Gray
Interior / Exterior
Location Number: 244-C6

APPLIED PAINTED &
SEALED PATTERN
STENCIL ONTO EXISTING
CONCRETE AT
ENTRYWAY TO DISGUISE
TRAFFIC WEAR (SEE
PROPOSED CONCRETE
STENCIL REPEAT
PROVIDED)

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Patricia Vlahos
Address: 35 E 1st St
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 670 / 0948
E-Mail: patricia@fullerhousebar.com
Contact Name: Patricia Vlahos

Contractor

Name: Right Way Signs
Address: 1134 N Homan Ave
City/Zip: Chicago, IL 60651
Phone/Fax: (224) 388 / 8171
E-Mail: cameron@rightwaysigns.com
Contact Name: Cameron Anderson

ADDRESS OF SIGN LOCATION: 35 E 1st St, Hinsdale, IL 60521

ZONING DISTRICT: B-2 Central Business District

SIGN TYPE: Wall Sign

ILLUMINATION Internally Illuminated

Sign Information:

Overall Size (Square Feet): 17.62 (168" x 15.1")

Overall Height from Grade: 13'1" Ft.

Proposed Colors (Maximum of Three Colors):

- ① Satin black letters
- ② White halo lighting
- ③ _____

Site Information:

Lot/Street Frontage: 48'9"

Building/Tenant Frontage: 48'9"

Existing Sign Information:

Business Name: Fuller House

Size of Sign: 17.62 Square Feet

Business Name: _____

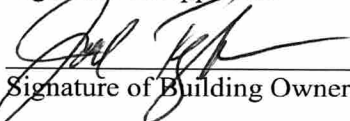
Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

04/21/23

Date


Signature of Building Owner

4/24/23
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

April 24, 2023

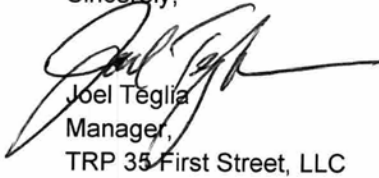
Village of Hinsdale
Community Development Department
19 E. Chicago Avenue
Hinsdale, Illinois 60521

RE: Fuller's House Sign - 35 E. 1st Street, Hinsdale


To Whom It May Concern,

As manager of the owner of the building located at 35 E. 1st Street, I would like to notify the Village and Plan Commission Committee that the owners of the Fuller's House Restaurant have presented us with proposal to erect a sign on the façade building facing 1st Street. Please be advised that building ownership approves these improvements. We will work closely with the Fuller's House owners to ensure that the work is done professionally and in accordance with the plan.

Sincerely,



Joel Teglía
Manager,
TRP 35 First Street, LLC




CLIENT
Fuller House

CONTACT INFO

DATE
10/20/22

VERSION
1

FOR ELECTRICAL SIGNS:
DESIGNED FOR 110 VOLTS
Connection to be visible within 5ft of time of installation, second trip will be charged at time & material. Right Way Signs DOES NOT provide primary electrical to sign, power to sign must be done by a licensed electrical contractor or licensed electrician.
EACH SIGN MUST HAVE:
1: A minimum of one dedicated 120V 20A circuit
2: Junction box installed within 6ft of sign
3: Three wires: Line, Ground, Neutral
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

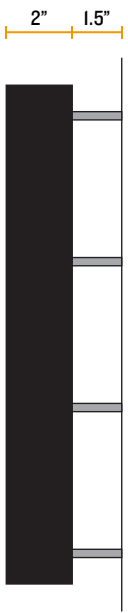
COLOR PALETTE
 Satin Black

168"

15.1"

FULLER HOUSE

2" Deep fabricated aluminum reverse channel letters
Faces and returns painted satin black
3/16" Clear polycarbonate backs with trans. white light diffracting film
Halo-lit with white 7000k LEDs
Stud mounted to wall with 1.5" spacers



SIDE VIEW



CLIENT
Fuller House

ADDRESS
35 E 1st St
Hinsdale, IL 60521

CONTACT INFO

NOTES

DATE
10/20/22

VERSION
1

FOR ELECTRICAL SIGNS:
DESIGNED FOR 110 VOLTS
Connection to be visible within 5ft of time of installation, second trip will be charged at time & material, Right Way Signs DOES NOT provide primary electrical to signs, power to sign must be done by a licensed electrical contractor or licensed electrician.
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COLOR
PALETTE

 Satin Black



Mockup on building

This drawing is property of Right Way Signs, reuse of proof or artwork within cannot be reproduced without prior written consent of Right Way Signs.
By signing this proof the client understands all aspects of this drawing are final and will be produced according to this drawing. This includes artwork, spelling, specifications, dimensions, and all other representations herein.



CLIENT

Fuller House

ADDRESS

35 E 1st St
Hinsdale, IL 60521

CONTACT INFO

NOTES

DATE

10/20/22

VERSION

1

FOR ELECTRICAL SIGNS:

DESIGNED FOR 110 VOLTS

Connection to be visible within 5ft at time of installation, second trip will be charged at time & material, Right Way Signs DOES NOT provide primary electrical to sign, power to sign must be done by a licensed electrical contractor or licensed electrician.

EACH SIGN MUST HAVE:

1: A minimum of one dedicated 120V 20A circuit
2: Junction box installed within 6ft of sign
3: Three wires: Line, Ground, Neutral

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

COLOR PALETTE



Satin Black

Mockup of sign illumianted at night

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CLIENT
Fuller House

CONTACT INFO

DATE
10/20/22

FOR ELECTRICAL SIGNS:

DESIGNED FOR 110 VOLTS

Connection to be visible within 5ft at time of installation, second trip will be charged at time & material, Right Way Signs DOES NOT provide primary electrical to signs, power to sign must be done by a licensed electrical contractor or licensed electrician.

EACH SIGN MUST HAVE:

1. A minimum of one dedicated 120V 20A circuit

2. Junction box installed within 6ft of sign

3. Three wires: Line, Ground, Neutral

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

VERSION

1

ADDRESS
35 E 1st St
Hinsdale, IL 60521

NOTES

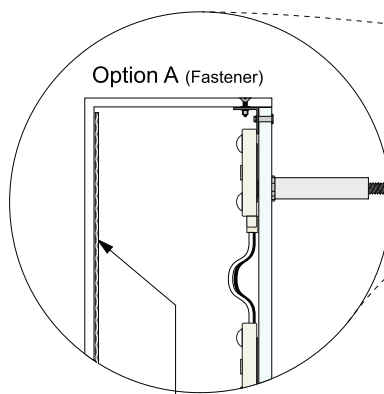
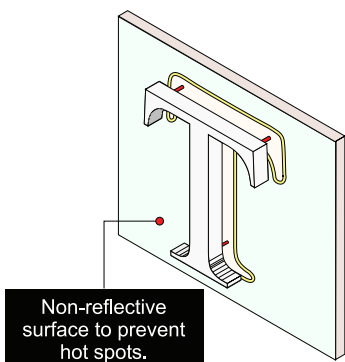
COLOR PALETTE

Satin Black

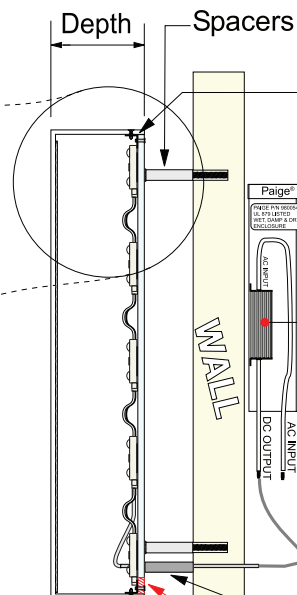
HALO LIT

Class 2 LED Installation Details

WHITE LEDs



Light Diffracting Film



3/16" Clear Polycarbonate back attached to letter via 6-32 FHMS thru return L-clip.

PAIGE P/N 980054B
UL 879 LISTED
WET, DAMP & DRY
ENCLOSURE

12"L x 8"W x 3"D

Step down Power Supply (12V)

Power Supply
110-277 V input
1 Amp

10' pwr. Lead from each Letter.

LED wiring will exit from **BOTTOM** unless specified otherwise.

UL wet rated sleeve for outdoor use only

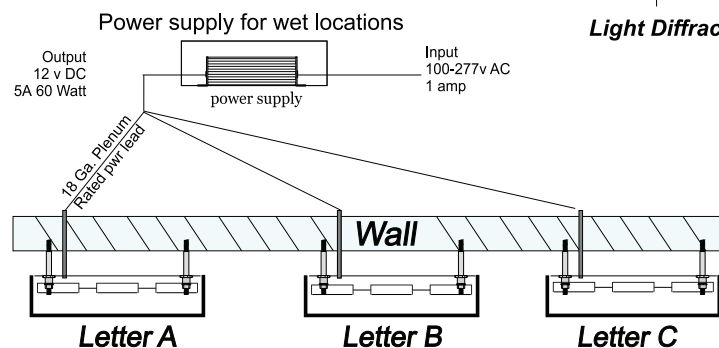
Typical: Drain Holes thru lower back of polycarbonate backs

Wire Lead Specifications

18 Ga. Plenum Rated - 2 conductor
POS / NEG



compliance stickers provided
LISTED on each section.



WIRING DETAIL

NOTES: LEDs have a 5 Year Warranty. Install in accordance w/ the NEC & Local Electrical codes. See Installation instructions included in shipment.

Job #: _____
Approval: _____