



MEETING AGENDA

**PLAN COMMISSION
SPECIAL MEETING
Wednesday, April 10, 2024
6:00 p.m.
MEMORIAL HALL – MEMORIAL BUILDING
19 East Chicago Avenue, Hinsdale, Illinois 60521
(Tentative & Subject to Change)**

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT (Non-Agenda Items)

4. APPROVAL OF MINUTES – None

5. SIGN PERMIT REVIEW

- a) Case A-11-2024 – 302 S. Grant Street – Hinsdale Historical Society – Sign Permit Review – Modifications to the Existing Ground Sign for Immanuel Hall
- b) Case A-10-2024 – Sign Permit Review – 5 E. First Street – The Salon by David and William / Brow Paradiso – Installation of Two (2) Wall Signs

6. PUBLIC MEETINGS

- a) Case A-7-2024 - Mouse Automotive / McLaren - 2 Salt Creek Lane - Major Adjustment to an Exterior Appearance and Site Plan Review to Allow for Changes to the Building Elevations and Site Plan
- b) Case A-8-2024 - UChicago Medicine Advent Health - 120 N. Oak Street - Sign Permit Review and Major Adjustment to the Planned Development to Allow for Changes to Hospital Campus Signage

7. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org



**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: March 29, 2024

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-11-2024 – 302 S. Grant Street – Hinsdale Historical Society – Sign Permit Review – Modifications to the Existing Ground Sign for Immanuel Hall

FOR: April 10, 2024 Historic Preservation Commission Special Meeting

SUMMARY

The Village of Hinsdale has received Sign Permit Review application from the Hinsdale Historical Society requesting approval to install a new sign face on the existing ground sign for Immanuel Hall located at 302 S. Grant Street. A Certificate of Appropriateness (COA) application for a Designated Local Landmark was also submitted for review by the Historic Preservation Commission (Case HPC-5-2024).

The subject property is used as a membership organization / historic club or society (SIC 8699) by the Hinsdale Historical Society and is located in the IB Institutional Buildings District.

Per Section 14-5-1(A) of the Village Code, no alterations shall be allowed and no permits shall be issued for any physical modification to signage of a designated landmark without the prior issuance of a Certificate of Appropriateness by the Historic Preservation Commission. Per Section 11-607(D) of the Zoning Code, the Plan Commission shall review sign permit applications.

BACKGROUND

On February 5, 2002 by Ordinance No. O2002-06, the Village Board approved Immanuel Hall as a designated historic landmark. The building is classified as Significant according to the 1999 Reconnaissance Survey and 2011 Town of Hinsdale Survey. The one-story building was constructed in 1900 in the Late Gothic Revival style. The building was originally used as a church by a small German immigrant congregation. In March 2001, the Hinsdale Historical Society took ownership of the property and has operated the historical society and archives out of the building since that time.

The building was listed on the National Register of Historic Places on February 9, 2001.

The building was approved for inclusion on the Historically Significant Structures List on June 13, 2023 by Ordinance No. O2023-13.

The property is located in the IB Institutional Building District and is surrounded by single-family homes to the north, south, east, and west in the R-4 Single Family Residential District. Please note that the attached zoning map is incorrect. The Village Board approved the rezoning of the property to the IB District on April 2, 2001, by Ordinance No. O2001-19.



MEMORANDUM

The following ordinances and approvals have been granted for this property:

- Ordinance No. O2001-19 – 04/03/01 – Ordinance Granting a Map Amendment from the R-4 Single-Family Residential District to the IB Institutional Buildings District for 302 S. Grant Street
- Ordinance No. O2001-20 – 04/03/01 – Ordinance Amending the Zoning Code Regarding the IB Institutional Buildings District Requirements for Certain Historic Structures (To allow for waivers to the code for parking, loading, and various bulk zoning requirements)
- Ordinance No. O2001-21 – 04/03/01 – Ordinance Granting a Special Use Permit for the Hinsdale Historical Society to operate a membership organization / historic club or society (SIC 8699) at 302 S. Grant Street
- Ordinance No. O2002-06 – 02/05/02 – Ordinance Designating 302 S. Grant Street (Immanuel Hall) as an Historic Landmark
- Ordinance No. O2004-41 – 08/17/04 – Ordinance Approving a Site Plan and an Exterior Appearance Plan to allow for a New Front Entrance at 302 S. Grant Street
- Variation V-10-05 – 3/15/2006 – Variation to allow for a reduction to the corner side setback under Section 7-310.C from 35' to 13'- $\frac{1}{4}$ " for a proposed addition onto the rear west side of the existing building and to eliminate a required parking space required under Section 9-104.E
- Ordinance No. O2006-13 – 03/07/06 – Ordinance Amending Hinsdale Ordinance No. O2001-21 and Amending the Special Use Permit, Site Plans, and Exterior Appearance Plans for Immanuel Hall at 302 S. Grant Street to allow for a two-story, 300 square foot building addition and other site improvements

REQUEST AND ANALYSIS

The applicant is requesting approval to install a new sign face on the existing ground sign located at the northeast corner of the site, near the intersection of Grant Street and Third Street. No structural changes are proposed to the existing black metal posts. The existing posts will be re-painted and only the sign cabinet will be replaced.

The proposed non-illuminated sign face will measure 33.5" tall and 60" wide, with a sign face area of 13.95 square feet. The sign face will consist of black metal vinyl text on a white lexan background with a black border. A portion of the ground sign includes a bulletin board sign, measuring 15.33" tall and 45.5" wide, with an overall area of 4.8 square feet. Three lines of insertable text with letters measuring 4" tall will fit within the bulletin board area. The overall height of the sign measures 4' tall.

Per Section 9-106(J), in the IB District, ground signs shall not exceed 8 feet in height and may have a maximum gross surface area of a 50 square feet per sign face with no more than 2 faces per sign. Bulletin board signs are considered a permit-exempt sign and are counted separately from the overall square footage of the ground sign. Bulletin board signs are allowed on no more than one wall or ground sign per zoning lot, are limited to a maximum sign face area of 15 square feet, and are permitted only in connection with public, religious, and civic institutions. Bulletin board sign shall be more than 4 feet in height and the supporting structure on which a bulletin board sign is located shall be no more than 8 feet in height.

As proposed, the ground sign meets the size requirements per the Zoning Code.

MEETING HISTORY

Historic Preservation Commission Meeting – April 8, 2024 – The April 3, 2024 regular meeting of the Historic Preservation Commission (HPC) was rescheduled to April 8, 2024. Due to the limited timeframe between meetings, a summary of the HPC meeting and the recommendation from the Commission was not able to be provided at the time of the writing of this staff report.



MEMORANDUM

Staff will provide a summary of the discussion and the vote of the HPC meeting at the Plan Commission meeting on April 10, 2024.

PROCESS

Certificate of Appropriateness - Pursuant to Title 14, Section 14-5-1(A), no alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of a designated landmark without the prior issuance of a Certificate of Appropriateness.

Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2, which are attached for review. The review process and decisions of the Historic Preservation Commission related to a Certificate of Appropriateness for a Landmark are listed in Title 14, Section 14-5-4 and Section 14-5-5.

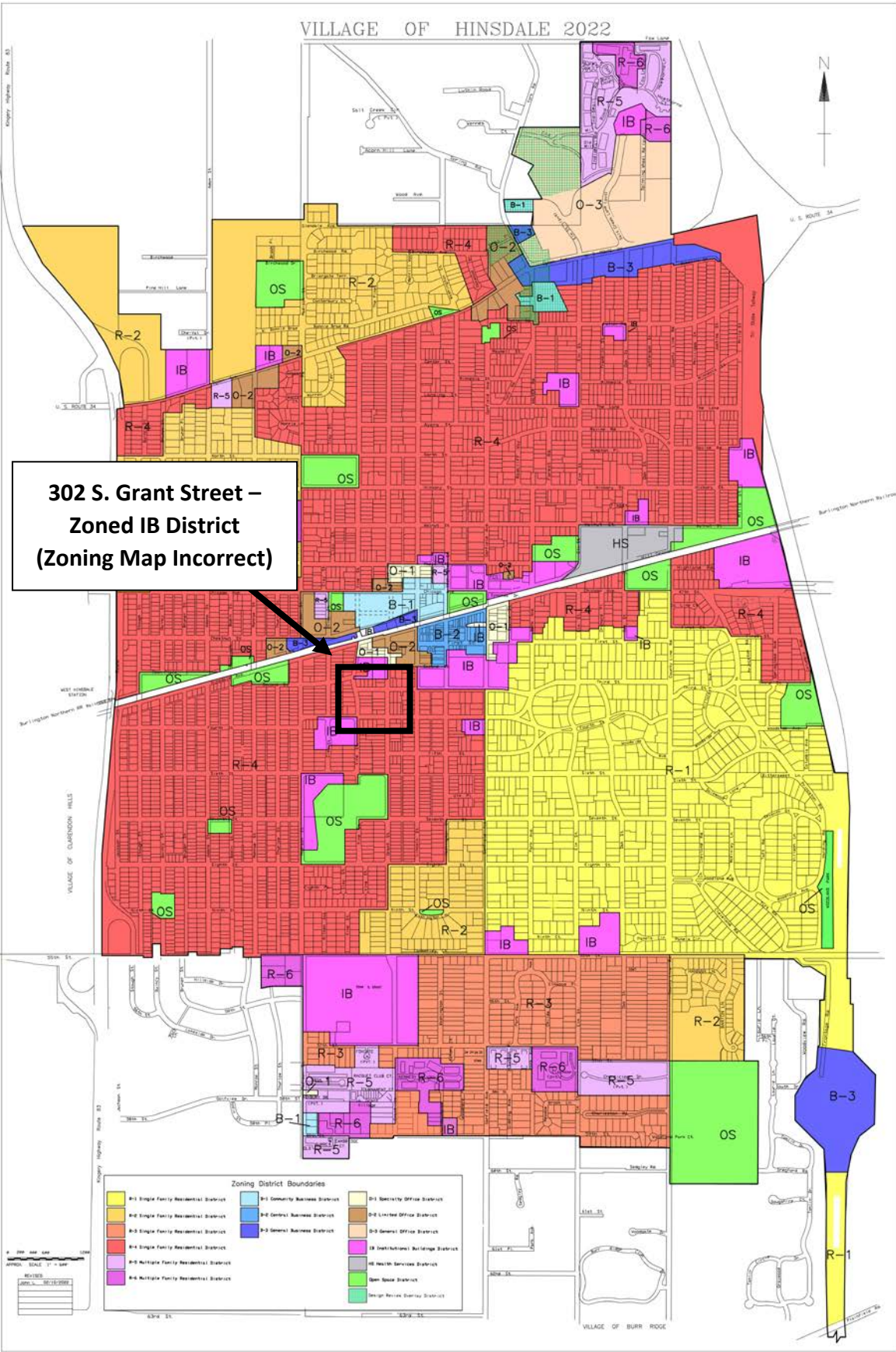
Sign Permit Review - Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

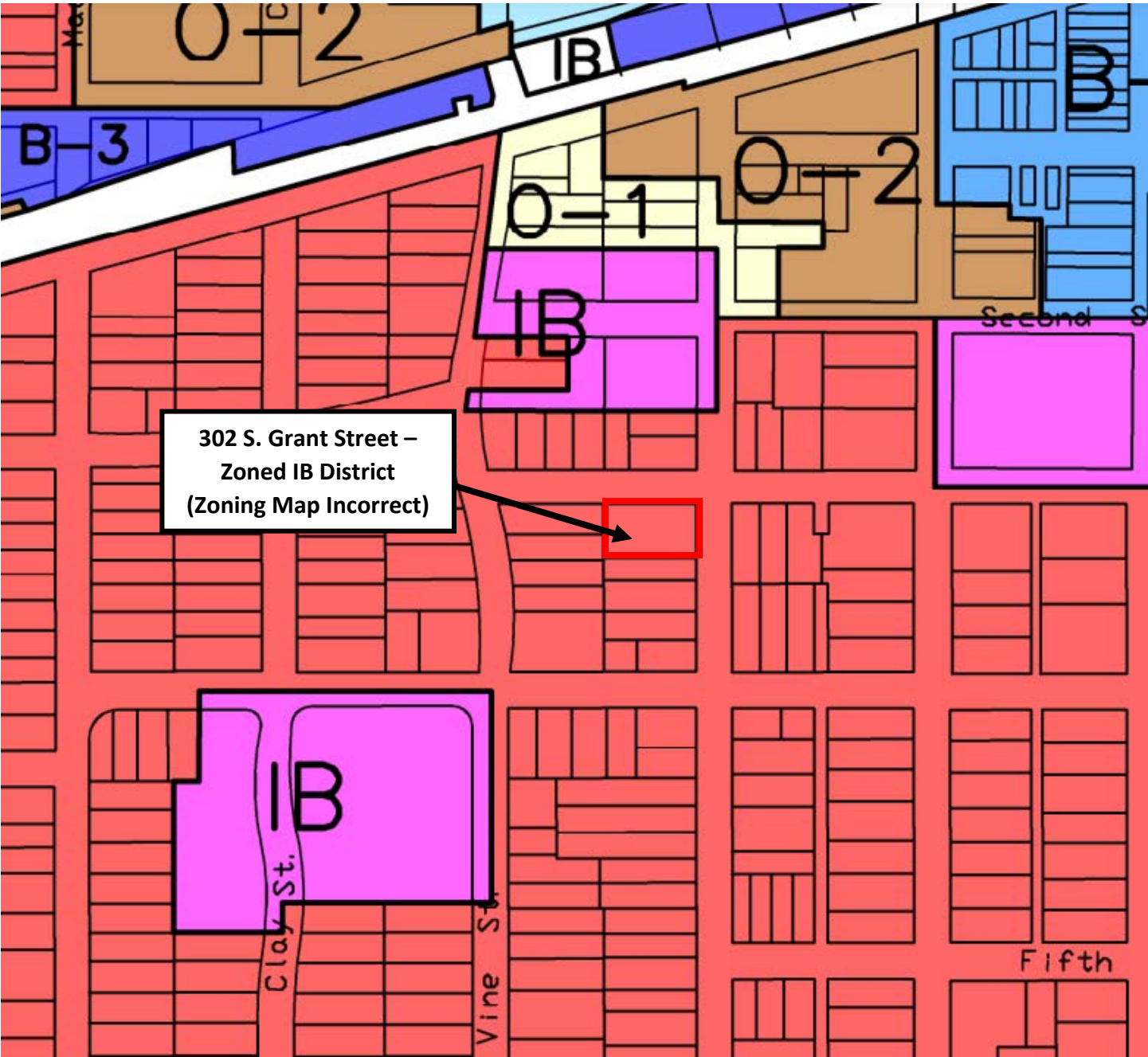
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
6. Historically Significant Structures Property Information / Ordinance No. O2001-6 – Landmark Designation Ordinance
7. Application for Certificate of Appropriateness, Sign Permit, and Exhibits

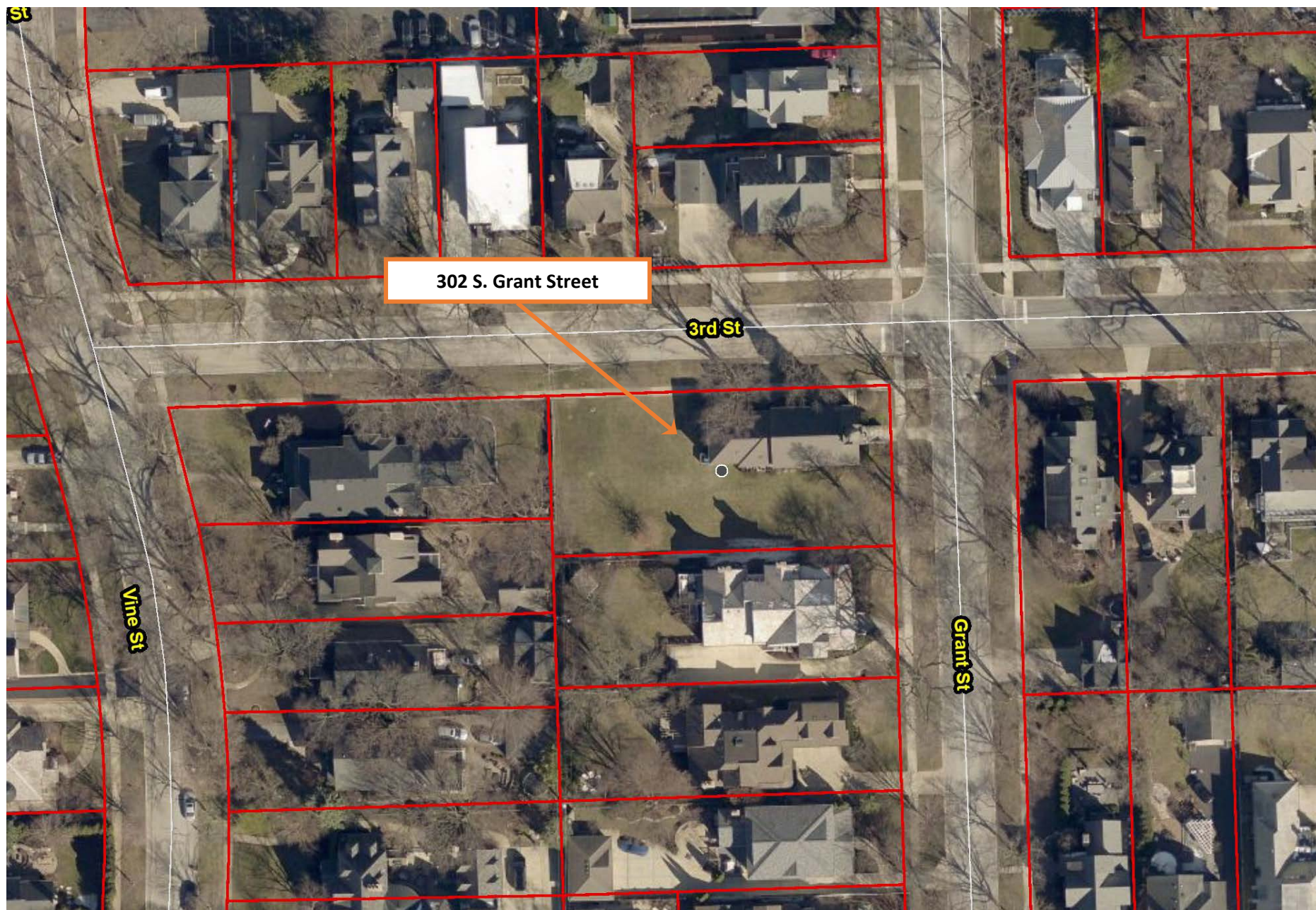
Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location

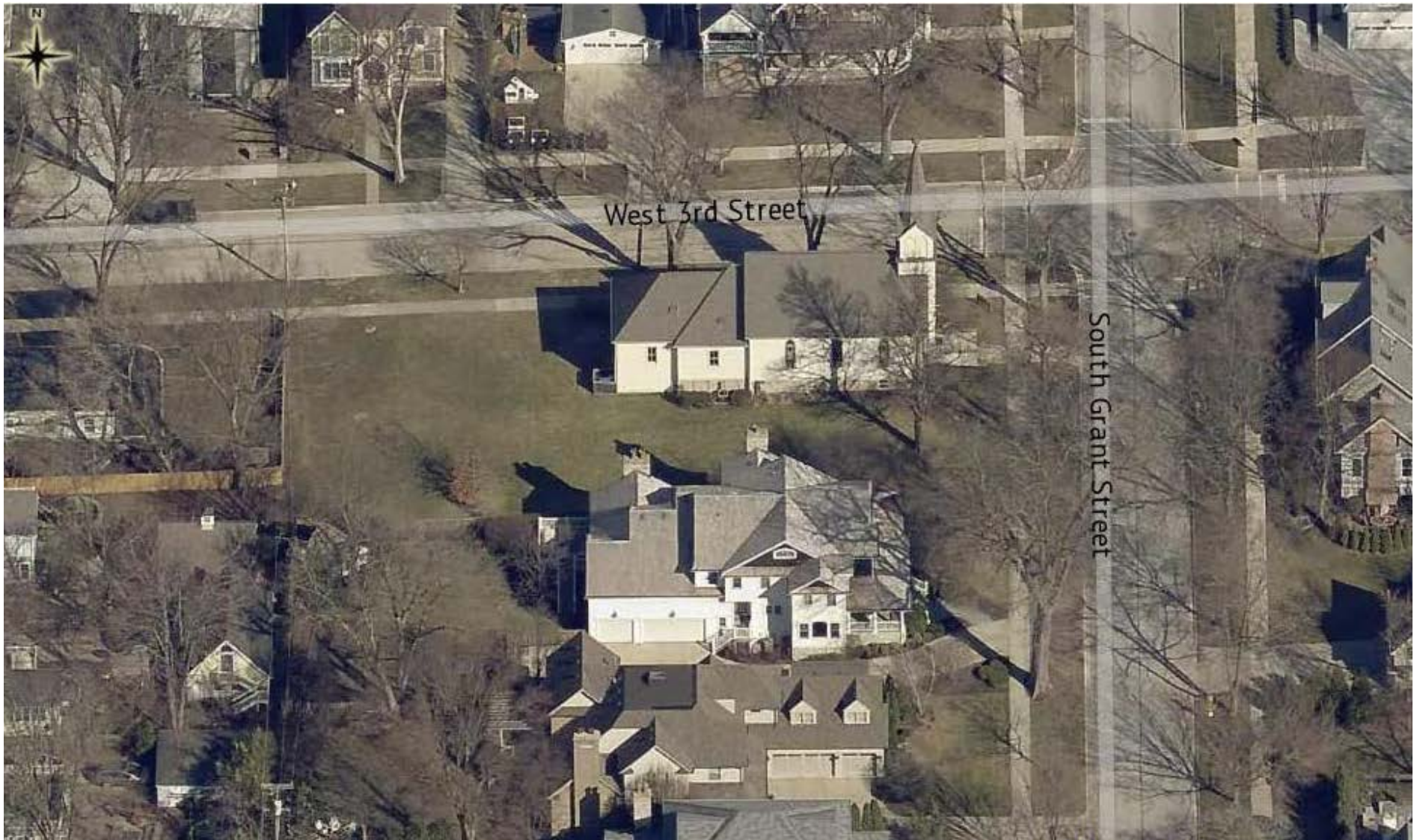


Aerial View – 302 S. Grant Street

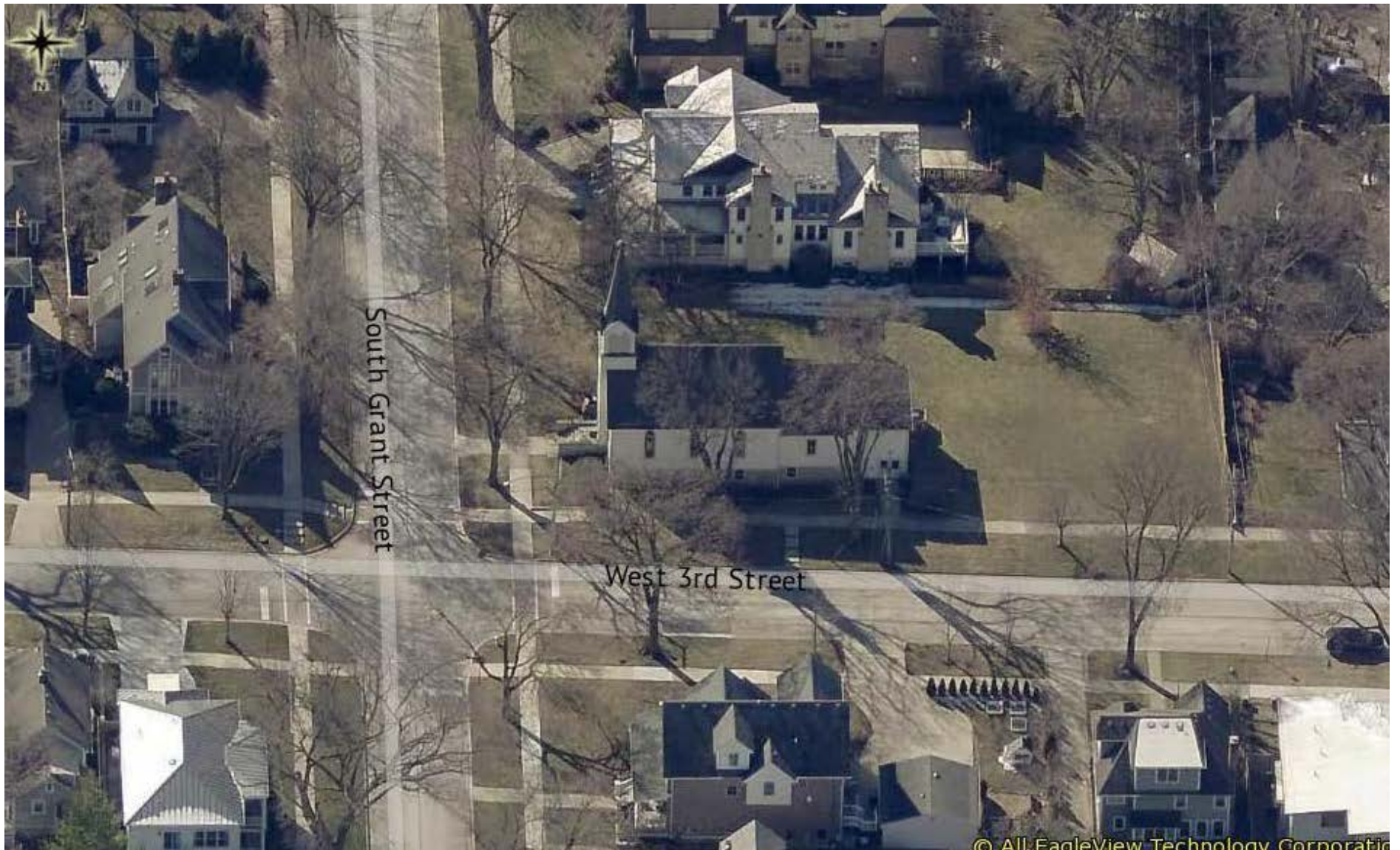




Birds Eye View – 302 S. Grant Street



Birds Eye View – 302 S. Grant Street



Birds Eye View – 302 S. Grant Street



Birds Eye View – 302 S. Grant Street



Street View – 302 S. Grant Street



CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:



1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.

HISTORICALLY SIGNIFICANT STRUCTURES PROPERTY LIST
PROPERTY INFORMATION SHEET

Address 302 S. Grant Street	
County DuPage	
PIN / Parcel Number 09-12-112-016	
Zoning District R-4 Single Family Zoning District	
Land Use Hinsdale Historical Society	
Historic Name Immanuel Evangelical Church / Immanuel Hall	
Architect N/A	
Date Constructed 1900	
Architectural Style Gothic Revival	Past Historic Surveys / Historic Significance <ul style="list-style-type: none"> • Designated Local Landmark (Ord. No. 02002-06) • Reconnaissance Survey (1999) – Significant • Town of Hinsdale Survey (2001) – Significant • Listed on the National Register of Historic Places (2001)
Additional Photos 	

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET # 302

DIRECTION S

STREET Grant

ABB ST

PIN

LOCAL SIGNIFICANCE RATING ☒ S

POTENTIAL IND NR? (Y OR N) ☒ Y

Criteria C

CONTRIBUTING to a NR district? ☒ C
(C or NC)

Contributing secondary structure? ☐
(C or NC)

LISTED ON EXISTING SURVEY?
(IHSS, NR, etc.) ☐



GENERAL INFORMATION

CATEGORY

CONDITION

INTEGRITY

SECONDARY STRUCTURE

SECONDARY STRUCTURE 2

CURRENT FUNCTION

HISTORIC FUNCTION

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION

ARCHITECTURAL CLASSIFICATION2

ORIGINAL CONSTRUCTION DATE

DATE SOURCE

EXTERIOR WALLS (current)

EXTERIOR WALLS (original)

OVERALL SHAPE OR PLAN

NO. OF STORIES

WINDOW MATERIAL, TYPE(S)

PORCH

ROOF (type and materials)

FOUNDATION

SIGNIFICANT FEATURES

ALTERATION(S)



RESEARCH INFORMATION

HIST NAME Immanuel Evangelical Church

ARCHITECT

COMMON NAME Immanuel Evangelical & Reformed Church

BUILDER

LANDMARK LIST

COST OLD SIGNIFICANCE RATING S

ADDITIONAL INFORMATION:

see continuation sheet

SURVEY AREA TOWN OF HINSDALE

LANDSCAPE FEATURES

Corner lot on residential street; large lawn on side and in rear; foundation plantings; mature trees in parkway

PHOTOGRAPHIC INFO

ROLL NO. 10 FRAME NO. 24

ROLL NO. 5 FRAME NO. 9-10

ROLL NO. FRAME NO.

PREPARER Victoria Granacki

ORGANIZATION Historic Certification Consultants

DATE 6/5/2001

302 S Grant ST

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY CONTINUATION SHEET

STREET # 302
STREET S Grant

ADDITIONAL PHOTOS OR INFORMATION

Architectural Information (cont.):

The stained glass windows were installed by the manufacturer, Flanagan & Biedenweg Company, in 1924 [National Register of Historic Places Nomination Form, p.5].

Historic Information:

This structure served the Hinsdale community as a church for a consecutive 64 years, beginning when it was constructed in 1900 until 1964. The "Deutch Evangelisch Lutherische Immanuels Germeinde," a Lutheran congregation constructed the Immanuel Evangelical Church. It primarily served German immigrants, and first and second generation German Americans throughout its use as a religious facility. The name of the church was changed to Immanuel Evangelical and Reformed Church in 1934 when the Evangelical Synods merged with the Reformed Church. The church merged again in 1947 with the Congregational Christian Churches to become the United Church of Christ. The result of second merger was a congregation too large for the historic building. Services ceased in 1964 [National Register of Historic Places Nomination Form, p12-13].

The three churches founded in the survey area in the late 1800s all originated as immigrant churches. Two were German and one Swedish. The first Lutheran congregation, Zion Lutheran, was founded in 1888 by German families who had been meeting loosely since 1886. They purchased a lot at Second and Vine streets that same year and constructed their first church. The congregation affiliated with the Missouri Lutheran Synod in 1891 and began offering services in English in 1908. In 1911, the lot at 204 S. Grant Street was purchased, and the existing church was completed in 1915. William Soltwisch is cited as the builder [Bakken, 105], as is elder and local carpenter, Fred Huenke. Huenke lived nearby at 135 S. Madison Street, a house he also built. The church was enlarged and remodeled in the west end in 1952. With the continued growth of the congregation, the present Zion Lutheran School was built at 125 S. Vine Street in 1931, while the old church building was moved to the rear of the lot. An addition was built to the school in the 1960s and it continues to operate today as one of only three private schools in the village.

Other German immigrants, particularly those from the province of Hanover, where Low German was spoken, chose to join another congregation, St. John's Evangelical Church in Fullersburg. After a dispute among members of this congregation, some of the Hinsdale members organized in 1898 as the "Deutsch Evangelisch Lutherische Immanuel's Gemeinde." In 1900 they began construction of the Immanuel Evangelical Church at 302 S. Grant Street. William Vornsand was the general contractor and other members of the congregation worked as carpenters. In 1908 a two-story frame house was built behind the church as a parsonage and meeting hall, and in the 1950s a one-story brick building was constructed on the lot immediately south. The church merged with the Congregational Church in 1947 and became the United Church of Christ. The result was a congregation too large for the historic building in a congested area. The congregation relocated and sold the property to the Illinois Conference of the United Church of Christ in 1964. It was later bought and occupied by the Montessori School of Hinsdale from 1982 through 1999. Threatened with demolition, the property was purchased by the Village of Hinsdale in 1999 with the intention of deeding it to the Hinsdale Historical Society for public use. The parsonage and religious education building were demolished and the church structure was listed on the National Register of Historic Places in 2000 [NR nomination, 12-14].

The third church existing today in the Town of Hinsdale survey area is the Evangelical Mission Covenant Church (now Hinsdale Evangelical Covenant Church). It was founded on February 6, 1892 as the Swedish Evangelical Bethel Church to serve a Swedish immigrant congregation. Shortly after, in November 1892, the congregation built a frame church at 18 E. Fourth Street that was commonly referred to as the "Swede's Church." Services were held in Swedish until 1935, and the church became a center for Scandinavian families within Hinsdale in the early 20th century. Many of its early members were in the construction trades or served as domestics in the homes of prosperous business and professional people. The Swedish Evangelical Bethel Church became the Evangelical Mission Covenant Church of Hinsdale in 1922, soon after affiliating itself with the Covenant Church in America. In the same year, the congregation purchased the corner lot at Fourth and Garfield Street, the site of their present church. The current church was built in 1930 at 412 S. Garfield Avenue at a cost of \$41,414, and was dedicated on March 15, 1931. In 1972 the preschool was built

302 South Grant Street – Membership Organization Building



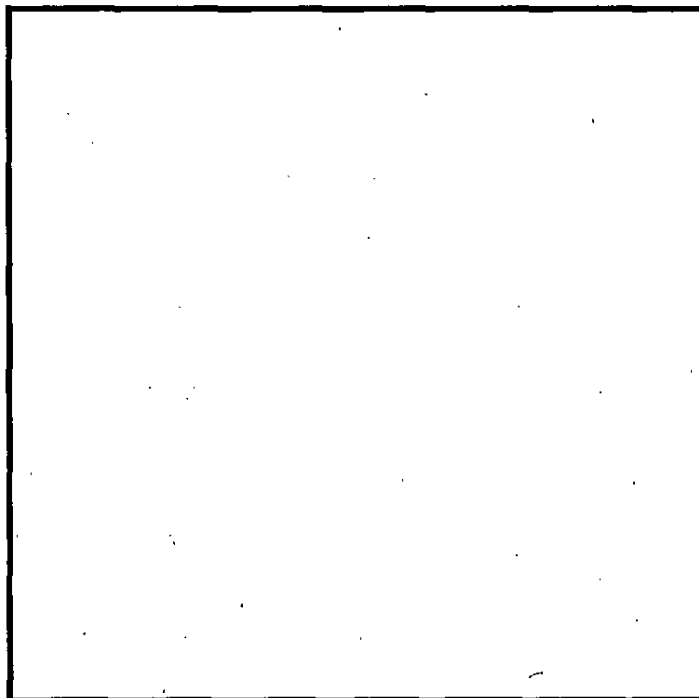
On February 5, 2002 the Village Board of Trustees adopted an ordinance that designated the property at 302 South Grant Street (known as Immanuel Hall or the former Immanuel Evangelical Church) as an Historic Landmark. Application to landmark the 1900 structure was made by the Hinsdale Historical Society.

This single-story wood frame and clad building was constructed in 1900 in the Late Gothic Revival style, of a vernacular type known as “carpenter Gothic.” Major changes to the exterior include the digging of a full basement in 1920, and the replacement of the original roof, front doors, front steps, windows and decoration atop the spire. It is the only surviving, almost originally intact, building of its type in Hinsdale, and one of the few in the region. It was constructed by skilled German immigrant tradesmen, who donated their labor, as members of the, founding German speaking congregation. They were among Hinsdale’s early residents at a time when the Village was experiencing significant development.

The building was first used for 64 years as a religious, instructional and society center by a small, close-knit German congregation, the second use for 18 years as the state headquarters for the Illinois Conference of United Church of Christ. Its third use for 17 years was as a Montessori School, until its sale by private parties to the Village of Hinsdale in June 1999 – made possible through the cooperation of the Village, Hinsdale Historical Society, Illinois Historic Preservation Agency and a grant from the State of Illinois – in order to save the building from likely demolition. In addition the building was designated by ordinance the Village’s first “historic and community landmark” on June 1, 1999, and it was listed on the National Register of Historic Places on February 9, 2001. In March 2001, the Hinsdale Historical Society took ownership of the property. The preservation of the building has come to symbolize the Village’s present commitment to historic preservation.



Date unknown. Photograph courtesy of Hinsdale Historical Society.

**VILLAGE OF HINSDALE****ORDINANCE NO. 02002- 6**

File

**AN ORDINANCE DESIGNATING
302 SOUTH GRANT STREET (IMMANUEL HALL)
AS AN HISTORIC LANDMARK
(HPC CASE No. 01-2002)**

WHEREAS, the Village is authorized pursuant to Section 11-48.2 of the Illinois Municipal Code, 65 ILCS 5/11-48.2-1 *et. seq.* to enact ordinances for the purposes of protecting, preserving, enhancing, and regulating buildings, structures, objects, sites, and areas of historical, cultural, or architectural importance; and

WHEREAS, Title 14 of the Village Code of Hinsdale, as amended, provides for a procedure by which such buildings, structures, objects, sites, and areas can be designated as historic landmarks and historic districts; and

WHEREAS, the Hinsdale Historical Society (the "Applicant"), is the legal owner of, and has filed an application seeking to designate, the building located 302 South Grant Street, commonly referred to as the Immanuel Hall and legally described in Exhibit A attached to and made part of this Ordinance by this reference, (the "Subject Building") in the Village as a historic landmark (the "Application"); and

WHEREAS, pursuant to notice duly published and mailed as required by the Village Code, the Hinsdale Historic Preservation Commission (the "Commission") conducted a public hearing on January 8, 2002 to consider the Application; and

WHEREAS, following review of all information presented to the Commission at its January 8, 2002 public hearing, the Commission recommended approval of the Application that the Subject Building be designated as an historic landmark, based on the Commission's Findings of Fact in HPC Case No. 01-2002; and

WHEREAS, the Zoning and Public Safety Committee of the Village Board of Trustees, at a public meeting on January 28, 2002, considered the Applicant's Application as recommended by the Commission; and

WHEREAS, the President and Board of Trustees of the Village of Hinsdale have considered the findings and recommendation of the Commission and determined that it is in the best interest of the Village and its residents to establish the Subject Building as a designated landmark;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Hinsdale, DuPage and Cook Counties and State of Illinois, as follows:

Section 1. Recitals. The foregoing recitals are incorporated in and made a part of this Ordinance by this reference.

Section 2. Designation as an Historic Landmark. The nomination of the Subject Building as an historic landmark is hereby approved and the Subject Building is hereby designated as an historic landmark. The Subject Building shall hereafter be subject to the requirements of Chapter 5 of the Title 14 of the Village Code, as it may be amended from time to time.

Section 3. Notice to Owner of Record and Building Commissioner. The Village Clerk is directed to send notice to the Applicant, as owner of record, and the Village Building Commissioner, which notice shall include a copy of this Ordinance.

Section 4. Recordation. The Village Clerk is directed to promptly cause a copy of this Ordinance be recorded in the office of the DuPage County Recorder of Deeds.

PASSED this 5th day of February, 2002.

AYES: TRUSTEES MILKINT, ELLIS, CICCARONE, LENNOX, BARROW AND BLOMQUIST.

NAYS: NONE

ABSENT: NONE

APPROVED this 5th day of February, 2002.

ATTEST:



George J. Seymour
Village President

Mary M. Lind
Village Clerk

EXHIBIT A

Legal Description

LOT 1 OF MCKENNA'S RESUBDIVISION OF LOT 1 AND LOT 4 AND THE NORTH 40 FEET OF LOT 5 IN BLOCK 4 IN J.I. CASE'S ADDITION TO HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 16, 1999 AS R1999-155950, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as: 302 South Grant Street
Hinsdale, Illinois 60521

Property Identification Numbers: 09-12-112-016



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Hinsdale Historical Society; Immanuel Hall
Address: 302 S Grant St
City/Zip: Hinsdale, 60522
Phone/Fax: (630) 984 / 0101
E-Mail: 2112@fastsigns.com
Contact Name: Rachel Wolnik

Contractor

Name: Fastsigns Downers Grove
Address: 408 75th St
City/Zip: Downers Grove, 60516
Phone/Fax: (630) 984 / 0101
E-Mail: 2112@fastsigns.com
Contact Name: Rachel Wolnik

ADDRESS OF SIGN LOCATION: 302 S Grant St, Hinsdale IL 60522

ZONING DISTRICT: IB Institutional Buildings

SIGN TYPE: ☒ Ground Sign

ILLUMINATION ☒ Not Illuminated

Sign Information:

Overall Size (Square Feet): 13.95 (60" x 33.5")

Overall Height from Grade: 3.95 ft Ft.

Proposed Colors (Maximum of Three Colors):

① Black

② White

③ _____

Site Information:

Lot/Street Frontage: 85.5'

Building/Tenant Frontage: 28.25

Existing Sign Information:

Business Name: Immanuel Hall

Size of Sign: 20 Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.


Signature of Applicant

3/4/24
Date

✓ Alexis Braden (HHS trustee on behalf of HHS).

2/28/24

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION APPLICATION
FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address _____ of _____ Property _____ under _____ review:
Property Identification Number: 302 S Grant St , Hinsdale , IL 60522

I. GENERAL INFORMATION

1. Applicants Name: Fastsigns Downers Grove ; Rachel Wolnik
Address: 408 75th St Downers Grove, IL 60516
Telephone Number: 630-984-0101
2. Owner of Record (if different from applicant): Hinsdale Historical Society
Address: 302 S Grant St , Hinsdale , IL 60522
Telephone Number: (415) 264-4143
3. Others involved in project (include, name, address and telephone number):
Architect: _____
Attorney: _____
Builder: _____
Engineer: _____

II. SITE INFORMATION

1. Describe the existing conditions of the property: Exisiting Sign is outdated, 60" x 48" Aluminum sign standing on 3" square aluminum posts
2. Property Designation:
Listed on the National Register of Historic Places? x YES NO
Listed as a Local Designated Landmark? x YES NO
Located in a Designated Historic District? YES x NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

Replacing the face of the sign; removal of current aluminum face and installing new cabinet face;
60" x 33.5" x 3"

Sign will be mounted onto existing frame

5. TABLE OF COMPLIANCE

Address of subject property: 302 Grant St , Hinsdale, IL 60522

* The following table is based on the IB Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)			
Lot Depth			
Lot Width			
Building Height			
Number of Stories			
Front Yard Setback			
Corner Side Yard Setback			
Interior Side Yard Setback			
Rear Yard Setback			
Maximum Floor Area Ratio (F.A.R.)*			
Maximum Total Building Coverage*			
Maximum Total Lot Coverage*			
Parking Requirements			
Parking front yard setback			
Parking corner side yard setback			
Parking interior side yard setback			
Parking rear yard setback			
Loading Requirements			
Accessory Structure Information			

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Contractor Applicant

Signature of Applicant

✓ Alexis Braden

Signature of Applicant

☐ CORPORATION

Signature of Applicant's President

Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

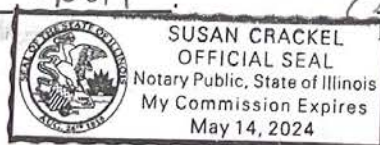
Signature

OTHER

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 4th day of

March 2024



Susan Crackel
Notary Public



408 75th Street
Downers Grove, IL 60516
(630) 984-0101

I hereby authorize Fastsigns Downers Grove to replace the existing face on the exterior sign for Immanuel Hall, located at 302 S Grant St, Hinsdale, IL, 60522. Design & Plans for this replacement are approved and authorized on Spec Sheet #12152 given by Fastsigns Downers Grove.

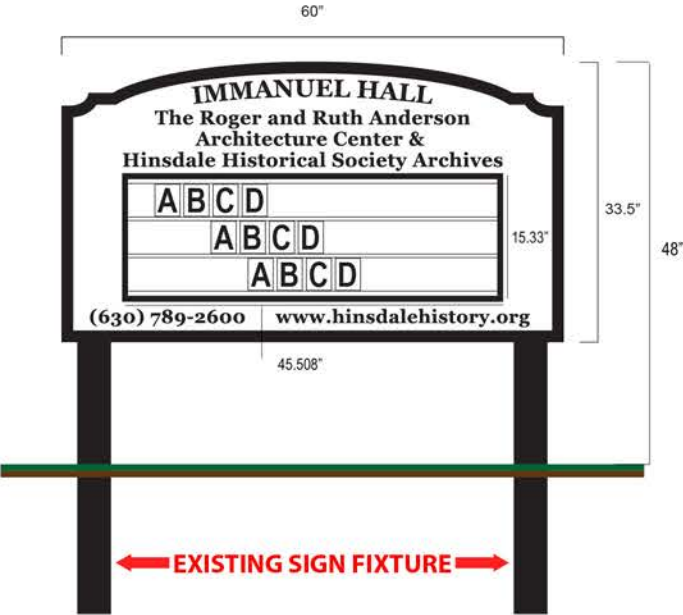
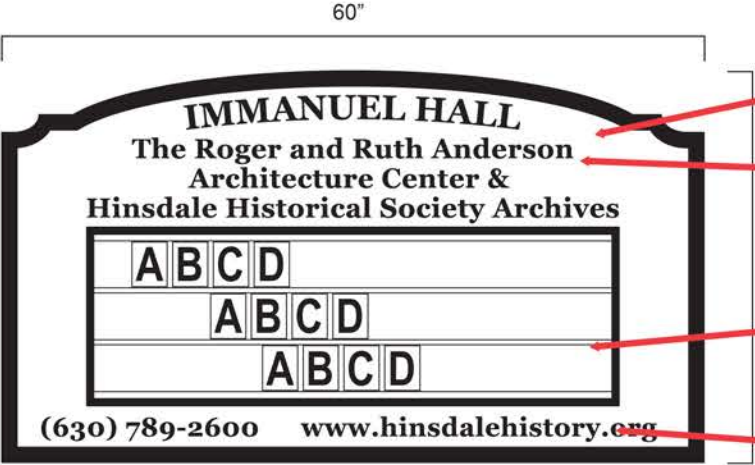
Landlord or Agent Signature Alexis Braden, HHS trustee on behalf of HHS

Date March 4, 2024

POST & CABINET MARQUEE SIGN



NO LANDSCAPING TO GO UNDERNEATH SIGN



A B C 4" HEIGHT INSERTS



POST & CABINET MARQUEE SIGN

- NON-ILLUMINATED
- BLACK AND WHITE COLOR SCHEME
- EXISTING FIXTURE TO BE PAINTED BLACK
- CABINET DIMS ARE 60"W x 33.5"H x 3"D
- MARQUEE BOX DIMENSIONS 45.508"W x 15.33H
- INSTALLED ON EXISTING POST STRUCTURE
- LEXAN FACE WITH VINYL ELEMENTS
- TRACKED ELEMENTS TO SUPPORT 3 ROWS OF 4" INSERTS
- OVERALL SIGN DIMENSIONS 60" W x 48" H

**LANDLORD
OR AGENT
SIGNATURE
HERE**

Please sign & return drawing to FASTSIGNS
Signature below indicates approval of BOTH design & placement of sign
****Approval via email is also permitted****

X

Alexis Braden 2/15/24 DATE

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE
ART ABOVE IS A LOWER QUALITY VERSION OF PRINT FILE; MAY APPEAR PIXELATED
FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK.
INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.
***ALL ORDERS INCLUDE (1) LAYOUT AND UP TO (2) REVISIONS. PLEASE LET US KNOW IF YOU WOULD LIKE TO ADD ADDITIONAL REVISIONS AND/OR DESIGN SERVICES. FASTSIGNS IS NOT RESPONSIBLE FOR ERRORS THAT ARE OVERLOOKED DURING THE PROOFING PROCESS.**

FASTSIGNS
Sign & Graphic Solutions Made Simple

Downers Grove

ACCOUNT:

Hinsdale Historical Society

FILE:

12152

REPRESENTATIVE:

ADDRESS:

302 S Grant St
Hinsdale, IL 60522

ORIGINAL DRAWING DATE: 01/16/2023

DRAWING NUMBER:

1 of 1

SCALE:

NTS

REV. #1 BY:

REV. DATE

REVISION NOTES:

REV. #2 BY:

REV. DATE

REVISION NOTES:

REV. #3 BY:

REV. DATE

REVISION NOTES:

NOTES:

DRAWN BY: Austin H

REVISED BY:

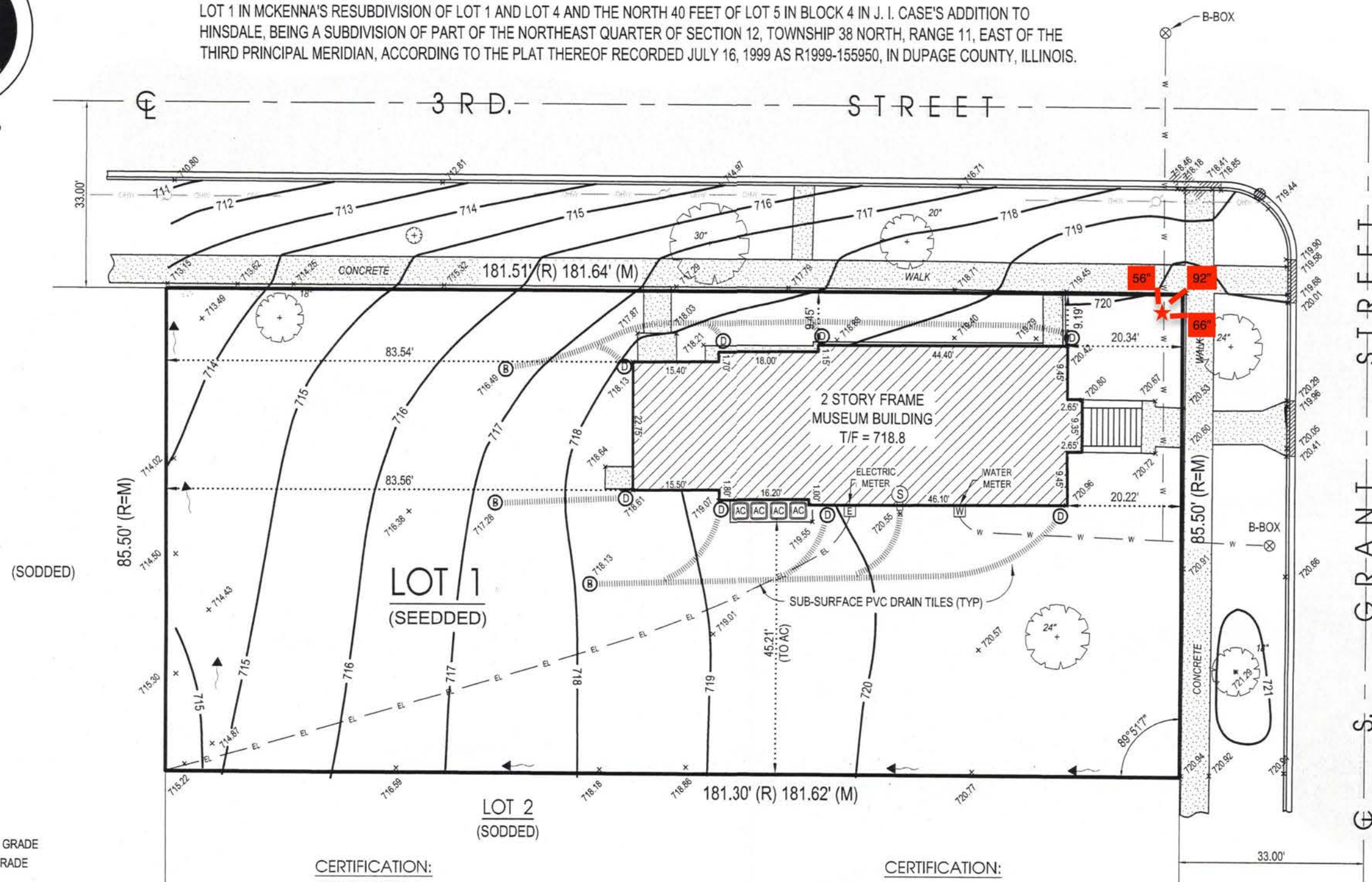
THIS DRAWING IS THE
PROPERTY OF FASTSIGNS
INTERNATIONAL, INC.
THE BORROWER AGREES, IT
SHALL NOT BE REPRODUCED,
COPIED OR DISPOSED OF,
DIRECTLY OR INDIRECTLY, NOR
USED FOR ANY PURPOSE
WITHOUT PERMISSION.



SCALE: 1" = 20'

FINAL GRADING SURVEY

LOT 1 IN MCKENNA'S RESUBDIVISION OF LOT 1 AND LOT 4 AND THE NORTH 40 FEET OF LOT 5 IN BLOCK 4 IN J. I. CASE'S ADDITION TO HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 16, 1999 AS R1999-155950, IN DUPAGE COUNTY, ILLINOIS.



LEGEND:

- 999.9 PROPOSED LOT GRADE
- EXISTING LOT GRADE
- STORM INLET
- DOWNSPOUT
- LANDSCAPE INLET
- MANHOLE
- ELECTRIC LINE
- WATER SERVICE
- CHAIN LINK FENCE
- WOOD FENCE
- CONCRETE SURFACE
- ASPHALT SURFACE
- GRAVEL SURFACE

ABBREVIATIONS:

B.S.L. = BUILDING SETBACK LINE
A = ARC LENGTH
R = RADIUS
CH = CHORD LENGTH
P.U.E. = PUBLIC UTILITY EASEMENT
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
E/W = EDGE OF WALK
T/C = TOP OF CURB
T/F = TOP OF FOUNDATION
F/L = FLOW LINE OF INLET

CERTIFICATION:

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

I, CHARLES S. MARSHALL, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE TOPOGRAPHICALLY SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF NOVEMBER 2008, NAPERVILLE, ILLINOIS.

Charles S. Marshall
ILLINOIS PROFESSIONAL LAND SURVEYOR NO.035-003377
LICENSE EXPIRES NOVEMBER 30, 2008.



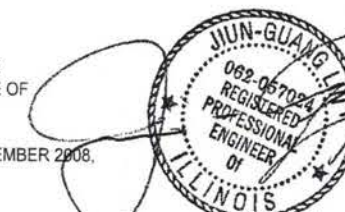
CERTIFICATION:

STATE OF ILLINOIS)
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT THE CONSTRUCTION MEETS THE STORMWATER MANAGEMENT ORDINANCE OF THE VILLAGE OF HINSDALE

GIVEN UNDER MY HAND AND SEAL THIS 4TH DAY OF NOVEMBER 2008, NAPERVILLE, ILLINOIS.

Jiun-Guang Lin, P.E., CFM
ILLINOIS PROFESSIONAL ENGINEER NO. 17668
LICENSE EXPIRES NOVEMBER 30, 2009.



Expires 11/30/09

HINSDALE HISTORICAL SOCIETY

302 S. GRANT STREET
HINSDALE, ILLINOIS

PREPARED FOR:

PROPERTY ADDRESS:

Landmark

ENGINEERS AND SURVEYORS

Landmark Consulting, P.C.
25030 Ramm Drive, Naperville, IL 60564
PH: 630.692.1140 FAX: 630.566.5815

DRAWN BY: ISS DATE: 11-03-2008 JOB NO. 6593
CHECKED BY: ERP DATE: 11-03-2008 SHEET 1 OF 1



**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: April 5, 2024

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case A-10-2024 – Sign Permit Review – 5 E. First Street – The Salon by David and William /
Brow Paradiso – Installation of Two (2) Wall Signs

FOR: April 10, 2024 Plan Commission Special Meeting

SUMMARY

The Village of Hinsdale received a sign permit application from Brow Paradiso / The Salon by David and William requesting approval to install two (2) new wall signs for the businesses located in a single tenant space at 5 E. First Street. The existing two-story multi-tenant building is located in the B-2 Central Business District and the Downtown Historic District.

Brow Paradiso is a sub-tenant inside The Salon by David and William, both of which are classified as beauty salons.

REQUEST AND ANALYSIS

The applicant is requesting to install two (2) non-illuminated wall signs above the two entrance doors for each business within the tenant space facing First Street. The wall signs are identical in size and have different sign copy for each business. The signs will measure 1'-6" tall and 4'-½" wide, with an overall sign face area of 6.06 square feet each. The combined signage face area for both signs is 12.12 square feet.

Both signs consist of a white aluminum background with a black border, black routed dimensional acrylic primary letters, and black vinyl secondary tagline letters. The sign for Brow Paradiso includes a digitally printed logo in black, white, and blue colors.

The two (2) existing wall signs and one (1) permanent window sign will be removed for allow for the two (2) new wall signs.

Per Section 9-106(J), in the B-2 District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. Brow Paradiso is a sub-tenant without its own occupancy, therefore, the overall tenant spaces is allowed two (2) signs. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot.

In this case, the tenant space is afforded 25 square feet. The proposed wall sign is under the maximum 25 square feet of total sign face area allowed for the tenant space.



MEMORANDUM

MEETING HISTORY

Historic Preservation Commission Meeting – April 8, 2024 – The April 3, 2024 regular meeting of the Historic Preservation Commission (HPC) was rescheduled to April 8, 2024. Due to the limited timeframe between meetings, a summary of the HPC meeting and the recommendation from the Commission was not able to be provided at the time of the writing of this staff report.

Staff will provide a summary of the discussion and the vote of the HPC meeting at the Plan Commission meeting on April 10, 2024.

PROCESS

Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the Historic Preservation Commission shall be advisory only.

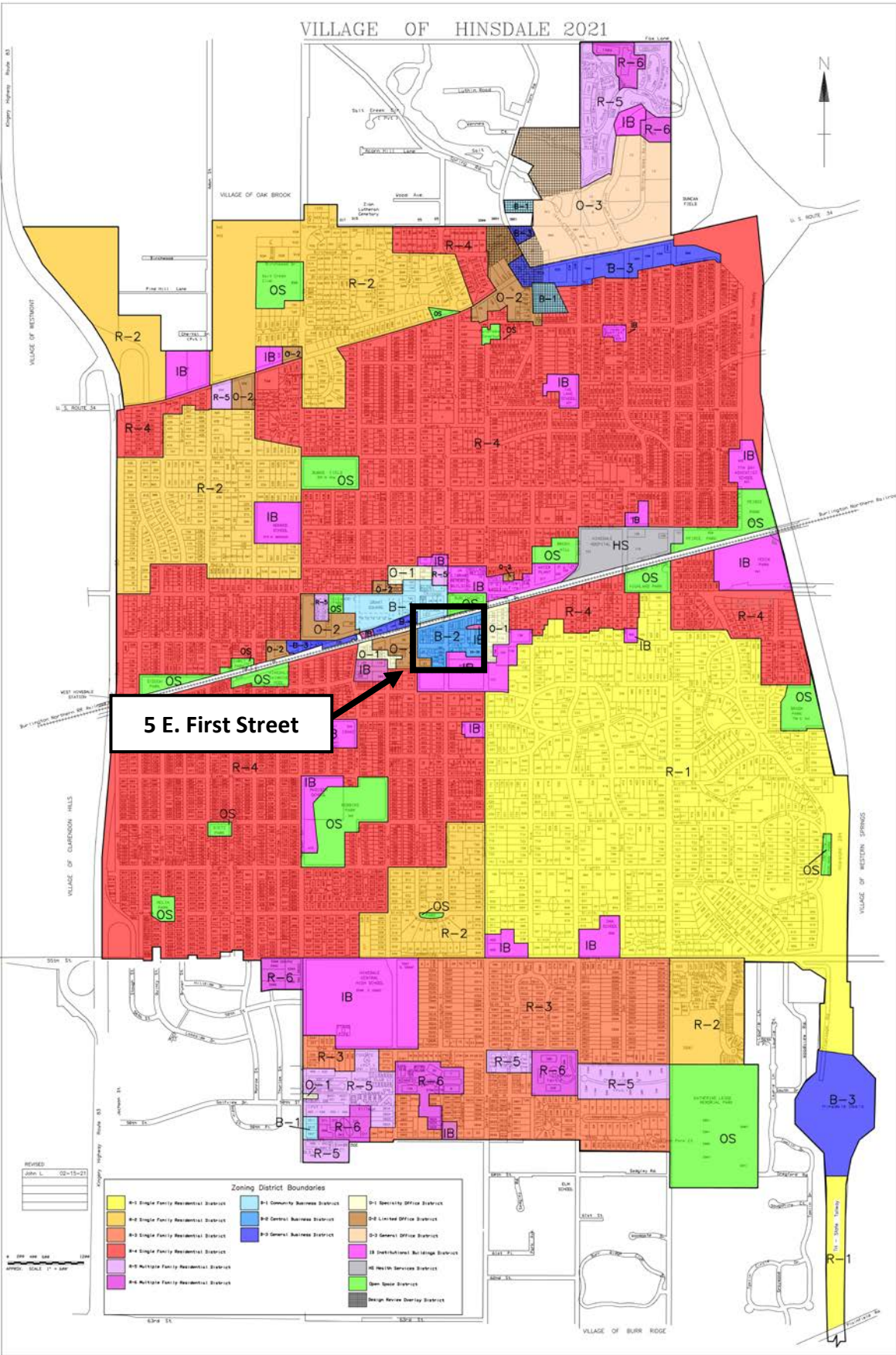
The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

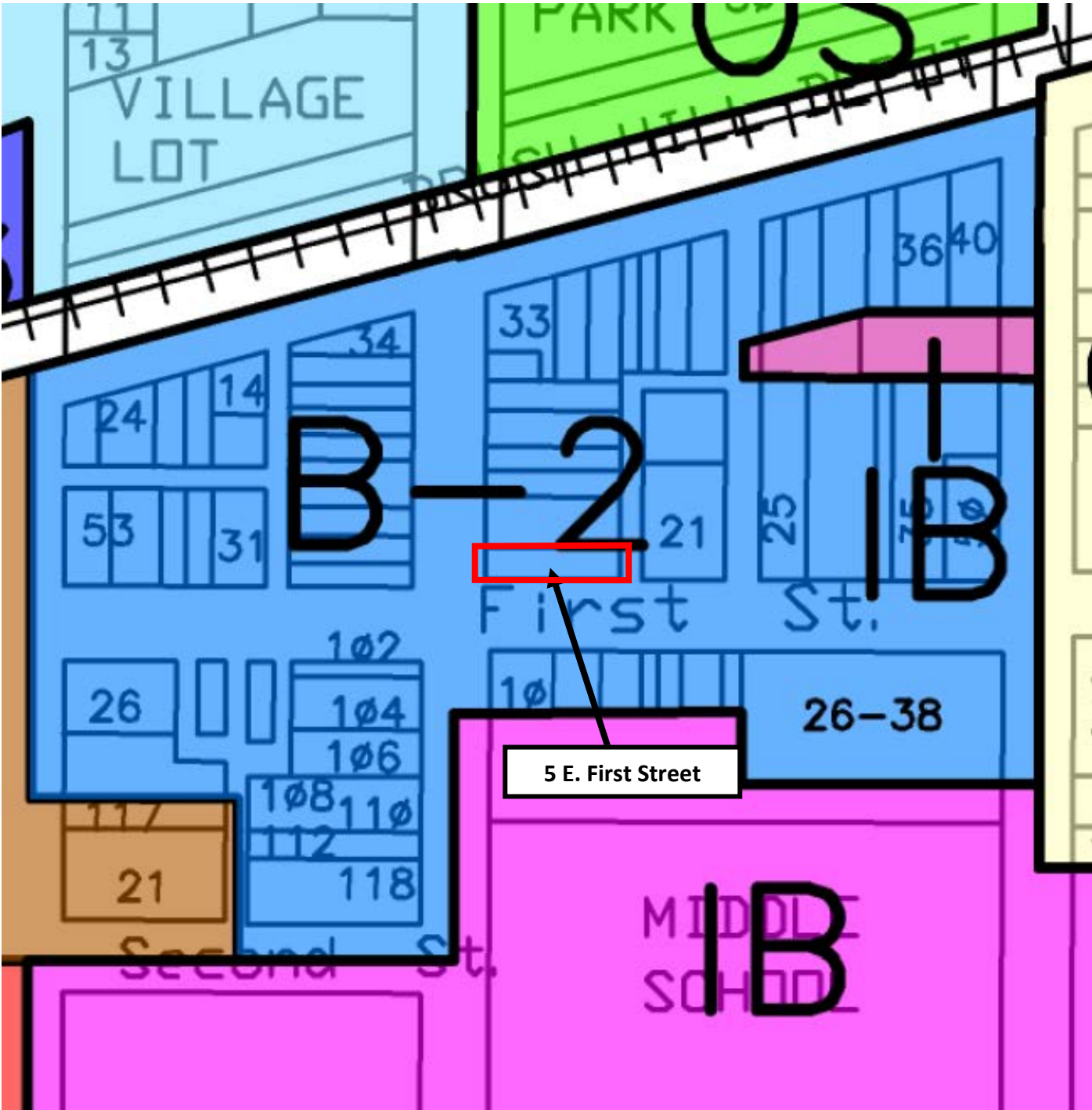
Attachments

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Sign Application and Exhibits

Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Aerial View – 5 E. First Street



Birds Eye View – 5 E. First Street



Street View – 5 E. First Street





**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: Brow Paradiso
Address: 5 E. 1st Street
City/Zip: Hinsdale, IL 60521
Phone/Fax: (630) 412-1111 / _____
E-Mail: lindsay@browparadiso.com
Contact Name: Lindsay Bounovalanto

Contractor

Name: Corporate ID Solutions
Address: 5563 N Elston
City/Zip: Chicago, IL 60630
Phone/Fax: (773) 891-8886 / _____
E-Mail: crios@corporateidsolutions.com
Contact Name: Chrissie Rios

ADDRESS OF SIGN LOCATION: 5 E. 1st Street, Hinsdale, IL 60521

ZONING DISTRICT: B-2 Central Business District

SIGN TYPE: Wall Sign

ILLUMINATION None

Sign Information:

Overall Size (Square Feet): _____ (_____ x _____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

- ① Black
- ② White
- ③ Blue

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

3.5.24
Date

[Signature]
Signature of Building Owner

3.7.24
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

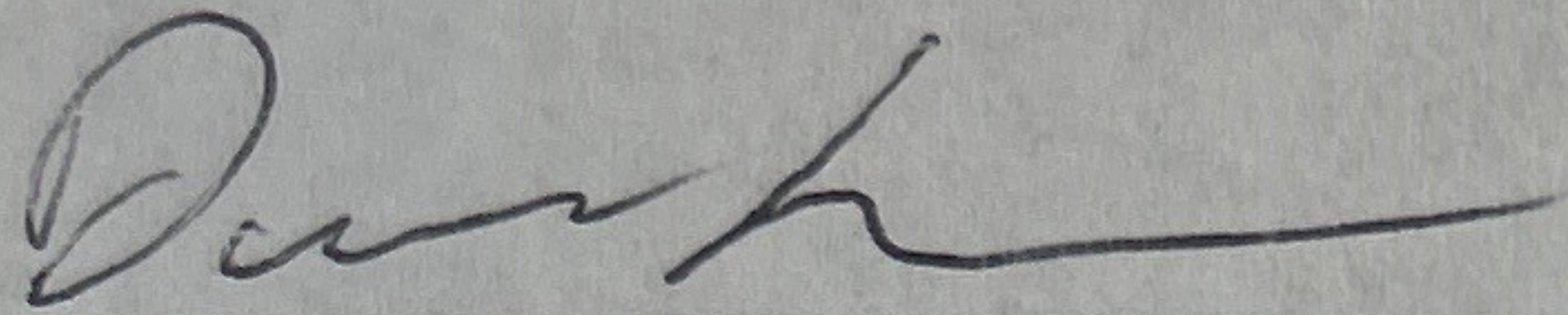
Plan Commission Approval Date: _____ Administrative Approval Date: _____

JDR Investment Properties LLC
J. David Ronning
155 Chicago Avenue
Clarendon Hills, IL

July 14, 2023

To: City of Hinsdale, IL

I J. David Ronning, as owner/agent of the property located
at (address) 5 E 1st Street, Hinsdale, IL, give my permission for
(name of tenant/lessee) Brow Paradiso / Lindsay Bounavolanto, to
install signage per the rendering "Brow Paradiso_Blade Sign_Permitting.pdf" (provided) to
the facade at the above address, in accordance with City of Hinsdale regulations.



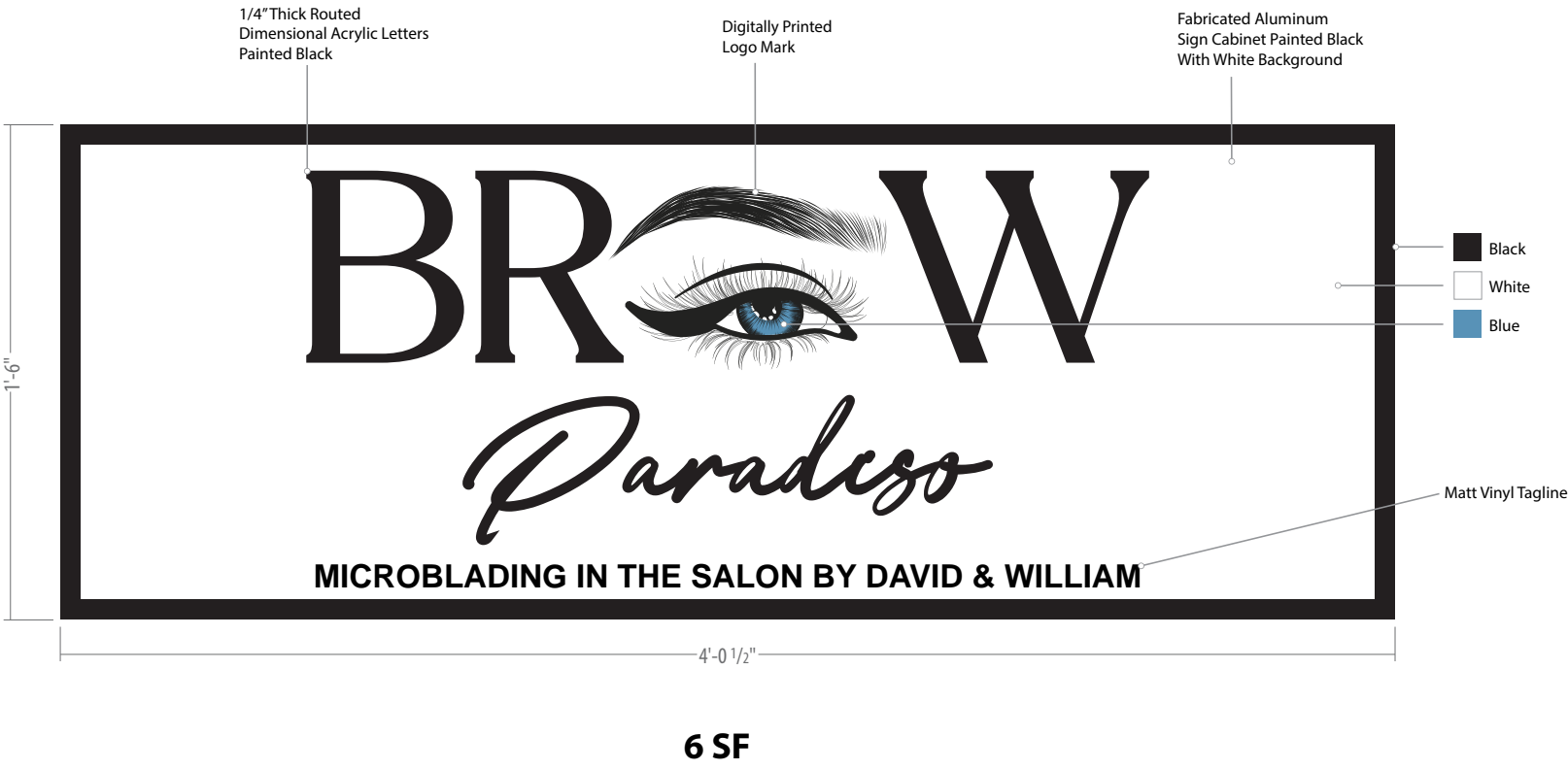
Signature of Owner/Agent

7E 1st St. Hinsdale IL 60521

Address of Owner/Agent

630.321.9033

Phone Number of Owner/Agent



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
BROW PARADISO
SITE NUMBER

LOCATION
ACCOUNT REP
BEN DEHAYES

DRAWN BY
GC
DATE
03/08/24

REVISION
02
SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE. CHICAGO, IL 60630 P: 773-763-9600 F: 773-763-9606 CORPORATEIDSOLUTIONS.COM

CUSTOMER ACCEPTANCE
THIS DRAWING IS THE PROPERTY OF CORPORATE IDENTIFICATION SOLUTIONS, INC., CHICAGO, IL, AND CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION. THIS DRAWING IS TRANSFERRED TO THE CUSTOMERS AND SUPPLIERS OF CORPORATE IDENTIFICATION SOLUTIONS, INC BY WAY OF LOAN. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, NOR MAY IT OR THE INFORMATION IT CONTAINS BE DISCLOSED OR TRANSFERRED TO ANY OTHER PARTY OR PERSONS WITHOUT THE PRIOR WRITTEN CONSENT OF CORPORATE IDENTIFICATION SOLUTIONS, INC.
SIGNATURE _____ DATE _____



Two existing wall signs and one permanent window sign will be removed; two wall signs are proposed.



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
BROW PARADISO
SITE NUMBER

LOCATION
ACCOUNT REP
BEN DEHAYES

DRAWN BY
GC
DATE
03/08/24

REVISION
02
SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

CUSTOMER ACCEPTANCE
THIS DRAWING IS THE PROPERTY OF CORPORATE IDENTIFICATION SOLUTIONS, INC., CHICAGO, IL, AND CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION. THIS DRAWING IS TRANSFERRED TO THE CUSTOMERS AND SUPPLIERS OF CORPORATE IDENTIFICATION SOLUTIONS, INC BY WAY OF LOAN. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, NOR MAY IT OR THE INFORMATION IT CONTAINS BE DISCLOSED OR TRANSFERRED TO ANY OTHER PARTY OR PERSONS WITHOUT THE PRIOR WRITTEN CONSENT OF CORPORATE IDENTIFICATION SOLUTIONS, INC.
SIGNATURE _____
DATE _____



PLAN COMMISSION
MEMORANDUM

DATE: April 5, 2024

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

SUBJECT: Case A-7-2024 - Mouse Automotive / McLaren - 2 Salt Creek Lane - Major Adjustment to an Exterior Appearance and Site Plan Review to Allow for Changes to the Building Elevations and Site Plan

FOR: April 10, 2024 Plan Commission Meeting

GENERAL APPLICATION INFORMATION

Applicant: Mouse Automotive

Address / PIN(s): 2 Salt Creek Lane (09-01-207-012)

Site Area: 2.2 acres

Existing Zoning & Land Use: B-3 General Business District – Vacant; Luxury car dealership

Surrounding Zoning & Land Uses:

North: O-3 General Office District – Office building

South: B-3 General Business District – Car dealerships, bank

East: O-3 General Office District – Detention pond, medical office building

West: O-3 General Office District – Office building

APPLICATION SUMMARY

The applicant, Mouse Automotive, requests approval of a Major Adjustment to an Exterior Appearance and Site Plan Review approved by Ordinance No. O2023-15 to allow for various changes to the site plan and building elevations at the property located at 2 Salt Creek Lane in the B-3 District. A summary of the proposed changes are included below:

- Masonry Brick Wall / Ground Sign - Instead of constructing a brick wall for a future ground sign at the southeast corner of the site, an existing masonry pier and small sections of the decorative metal fencing will be removed. An existing masonry pier will be reduced in height and open decorative fence matching the existing fencing will be installed.
- Vertical Pivot Gate - A pivot gate, controller box, and landscape screening are proposed at the west driveway entrance.
- Transformer/Generator - Modifications to the transformer and a new generator are proposed with additional landscape screening and a masonry dividing wall in a modified landscape island to the north of the building.

MEMORANDUM

- Other Minor Site Changes - Various adjustments are proposed, including minor changes to the building footprint, setbacks, lot coverage, floor area, fencing locations, parking lot curbs, a sidewalk and gate, and the interior floor plan.
- Landscape Plan - Adjustments are made to landscaping to accommodate the proposed modifications to the site, including screening for the vertical pivot gate and transformer/generator. Minor changes are proposed to landscape species.
- Building Elevations - Building materials and colors have been adjusted. Changes are proposed to windows, doors, and garage doors on the north elevation.
- Rooftop Screening - Two (2) screened areas for rooftop mechanical units measuring 6' tall were originally approved. At the Village Board meeting on March 19, 2024, the applicant proposed eight (8) screening areas with heights ranging from 2'-8" to 9'-2". Since the meeting, the applicant has further revised the plans for the Plan Commission to review. Under the revised plans, one (1) rooftop unit and the associated 4' tall screening panels were eliminated. As a result, seven (7) screening areas are now proposed with heights ranging from 2'-8" to 9'-2". The applicant has also provided a manufacturer specification brochure for the "Cityscapes – Enviro" screening panels for review.

No changes are proposed to the photometric plan. Conceptual wall signs are shown on the north and south building elevations. A separate Sign Permit application must be submitted for review by the Plan Commission in the future.

BACKGROUND

On June 13, 2023, the Village Board approved the following ordinances related to this property [Ordinances are available upon request from the Community Development Department]:

- Ordinance No. O2023-15 – Exterior Appearance / Site Plan Review to allow for the development of a two-story, 38,367 square foot building on 2.2-acre property to be used as a luxury car dealership for Mouse Automotive / McLaren Chicago. As a condition of the ordinance, a Recorded Private Easement and Encroachment Agreement was required with the adjacent property at 901 N. Elm Street prior to the issuance of any building permits for the shared access drive and the encroachment of the parking areas on 2 Salt Creek Lane, as required by Section 9-104(D)(4) of the Zoning Code. The Village attorney reviewed the agreement and the agreement has been recorded (Document No. R2023-060787).

Select sheets from the approved plans are included in Exhibit 5. A copy of the entire ordinance is available upon request from the Community Development Department.

- Ordinance No. O2023-16 – Map Amendment / Rezoning from the O-3 General Office District to the B-3 General Business District to allow for new and used motor vehicle dealers on lots abutting Ogden Avenue, which are classified as a permitted use in the B-3 District.
- Ordinance No. O2023-17 – Variation to allow for 46 parking spaces instead of 119 parking spaces required by the Zoning Code.

REQUEST AND ANALYSIS

The following changes are proposed to the site plan and building elevations approved by Ordinance No. O2023-15:

MEMORANDUM

- Masonry Brick Wall / Future Ground Sign - The applicant is no longer proposing to install a new brick wall for use as a ground sign where existing decorative fencing is located between two existing brick piers at the southeast corner of the site. Instead, one existing masonry pier and small sections of 6' tall metal fencing will be removed. One of the existing masonry pier will be reduced in height from about 6' to 4'-4". Three (3) foot tall black open decorative fencing that matches the existing fencing on site will be installed in this area to complete the perimeter fencing.
- Vertical Pivot Gate / West Driveway Entrance - A vertical pivot gate is proposed at the west driveway entrance on the north side of the site. Retractable bollards to be installed at the east driveway cannot be used in this location due to the underground stormwater vault. A black metal controller box will be located in the landscape island to the north of the driveway, which will measure 5'-8" wide, 2'-6" deep, and 4' tall. The pivot gate will measure about 23' long and will be constructed of black metal decorative fencing measuring about 4' tall. Per the applicant, this gate will not be open during regular business hours and will only be used for temporary exiting or as needed for emergency vehicle access. The landscape plan has been revised to fully screen the controller box from view. A rendered view of this area has been provided in the application submittal.
- Transformer / Generator - Modifications are proposed to the transformer and a new generator is proposed in the landscape island on the northeast side of the building. The landscape island has been enlarged and the adjacent angled parking spaces have been shifted slightly to the west to create additional space for both units. The applicant is proposing to separate the two units via a 16' long and 8' tall CMU masonry wall, which will be painted Charcoal Gray.

The applicant has acknowledged that the exact size of the mechanical units are not known at this time. The transformer is anticipated to be approximately 5' tall and the generator is anticipated to be approximately 6' tall. The applicant intends to fully screen the overall height of the units by grasses and evergreens. A condition has been added to the proposed ordinance for the Major Adjustment to require that all ground-mounted and roof-mounted mechanical units, including the vertical pivot gate controller box, the transformer, the generator, and rooftop mechanical units, be fully screened from view at time of installation by landscaping or screening panels. Screening, via rooftop panels or landscaping, must fully screen the height of all mechanical units. The Village may require adjustments to meet these requirements at the time of final inspection.

- Other Minor Site Changes - Other minor site changes include an additional entrance door and concrete pad on the north elevation of the building, changes to the parking lot curb to the northeast of the building, and the shifting of the fence on the east side of the site to accommodate a required fire hydrant.

Since the Village Board meeting on March 19, 2024, the applicant has amended the site plan to include a sidewalk and pedestrian gate at the southwest corner of the building to provide a code required egress path from an exit stair.

Floor area ratio (FAR), lot coverage, and setbacks have been slightly adjusted due to the changes to the site plan, but all remain code-complaint with the B-3 District regulations. The building footprint has been adjusted from 19,488 square feet to 19,776 square feet. Per the applicant, as the design developed, they have calculated more accurate numbers. The footprint now includes exterior finishes, which the proposed materials have a different thickness from what was originally approved and the exterior column enclosures have been added.

MEMORANDUM

Due to changes to the interior floor plan, the number of required parking spaces has been reduced from 119 spaces to 118 spaces. A total of 46 spaces is still proposed, which was originally approved by Ordinance No. O2023-17.

- Landscape Plan - The applicant has provided a revised landscape plan for review that reflects the proposed modifications to the site plan. Minor changes are also proposed to landscape species. Changes include:
 - Fencing Along the East Property Line - Landscaping was adjusted along the east property line / Salt Creek Lane and near the pedestrian gate as a result of shifting the fence slightly to the east to accommodate a required fire hydrant.
 - Masonry Wall / Fencing at the Southeast Corner of the S - Landscaping was adjusted at the southeast corner of the site near Salt Creek Lane and Ogden Avenue as a result of the removal of the masonry wall originally intended for use as a ground sign, the remove of one of the existing brick piers, and infill of matching decorative metal fencing.
 - Vertical Pivot Gate - Landscape screening has been included around the vertical pivot gate controller box to the north of the west driveway entrance off of Tower Drive
 - Transformer / Generator - Landscape screening has been included around the proposed transformer and generator at the northeast corner of the building. The applicant has acknowledged that the exact size of the mechanical units is not known as this time. The units will be screened by Karl Forester Reed Grass and Fairview Upright Juniper Evergreens.
 - Sidewalk at the Southwest Corner of the Building – Landscaping was adjusted where the new sidewalk is proposed at the southwest corner of the building.
- Building Elevations - The two-story building features a flat roof and will be primarily constructed of black / dark gray and light gray composite metal panels and wood resin siding. The building contains large windows for the indoor showroom display of vehicles and features overhead garage doors, most of which are to be constructed of glass, to move vehicles in to the showroom, service, or storage areas. On the front façade, a second floor balcony is proposed with cable wire railing. The building will measure 30' tall, which meets the 30' maximum height allowed in the B-3 District.

Overall, the revisions to the elevations are in keeping with the general architectural style of the building approved by Ordinance No. O2023-15 and are minor changes to building materials. Changes to the building elevations are summarized below:

- Building Materials - On all elevations, the gray precast panels with vertical architectural ribs has been replaced with a black / dark gray composite metal panels. The white fiber resin paneling has been replaced with a light gray composite metal paneling. Window design and sizing has been adjusted to reflect the selected window manufacturer specifications.
- Rooftop Mechanical Unit Screening - Two (2) separate screened areas for rooftop mechanical units measuring 6' tall were originally approved under the Exterior Appearance / Site Plan Review by Ordinance No. O2023-15.

At the Village Board meeting on March 19, 2024, eight (8) screened areas were proposed with varying heights of 2'-8", 3'-4", 3'-8", 4'-0", 5'-0", 7'-2", and 9'-2".

Since the meeting, the applicant has further revised the plans for the Plan Commission to review. Under the revised plans, one (1) rooftop unit with the screening panels were eliminated from the

MEMORANDUM

plans. As a result, seven (7) screening areas are now proposed with varying heights of 2'-8", 3'-4", 3'-8", 5'-0", 7'-2", and 9'-2".

The applicant has provided a manufacturer specification brochure for the "Cityscapes – Envisor" screening panels for review. The mechanical screening panels will be constructed of black metal ribbed panels, as shown on the materials exhibit in the application packet. The panels must be opaque and fully screen the height of the rooftop units. Rooftop mechanical screening panels are excluded from height calculations in accordance with Zoning Code regulations.

- North / Rear Elevation – Changes to the north elevation include the addition of second floor windows, the addition of another exterior door, and reduction to the size of the overhead garage doors.

MEETING HISTORY

Village Board – Referral to the Plan Commission – On March 19, 2024, the Village Board voted to refer the request for a Major Adjustment to the Plan Commission for review and consideration.

Trustee Stifflear provided an overview of the application. Trustee Stifflear stated they the scope of the changes should be referred to the Plan Commission for further review. The Community Development Department can help expedite the permits to make sure there are no delays and can issue a foundation permit. No members of the public spoke at the meeting.

REVIEW PROCESS

Major Adjustment to a an Exterior Appearance / Site Plan Review - In accordance with Section 11-604(I) of the Zoning Code, the Board of Trustees shall approve any changes via a Major Adjustment that increases the footprint of a building or impervious surface, alters the general architectural style of the site; or, alters the location of any one structure or group of structures, including fences or screening from the locations shown on the approved plans. A Major Adjustment shall be granted only upon application to and approval by the Board of Trustees. The Board, by ordinance duly adopted, may grant approval for a Major Adjustment without referral to the Plan Commission upon finding that any changes in the site plan as approved will be consistent with the concept and intent of the previously approved site plan. If the Board determines that a Major Adjustment is not consistent with the concept and intent of the site plan as approved, then the Board shall refer the request to the Plan Commission for further consideration and review in accordance with the procedures listed in Section 11-604(E).

Pursuant to Section 11-604 and Section 11-606, the Chairman of the Plan Commission shall at the public meeting on the application for an Exterior Appearance Review or Site Plan Review allow any member of the general public to offer relevant, material and nonrepetitive comment on the application. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation, in the form specified in Subsection 11-103(H), recommending either approval or disapproval of the Exterior Appearance and Site Plan based on the standards set forth in Section 11-604 and Section 11-606.

Within 90 days following the receipt of the recommendation of the Plan Commission, or its failure to act as above provided, the Board of Trustees, by ordinance duly adopted, shall approve the site plan as submitted, or shall make modifications acceptable to the applicant and approve such modified site plan, or shall disapprove it either with or without a remand to the plan commission for further consideration.



MEMORANDUM

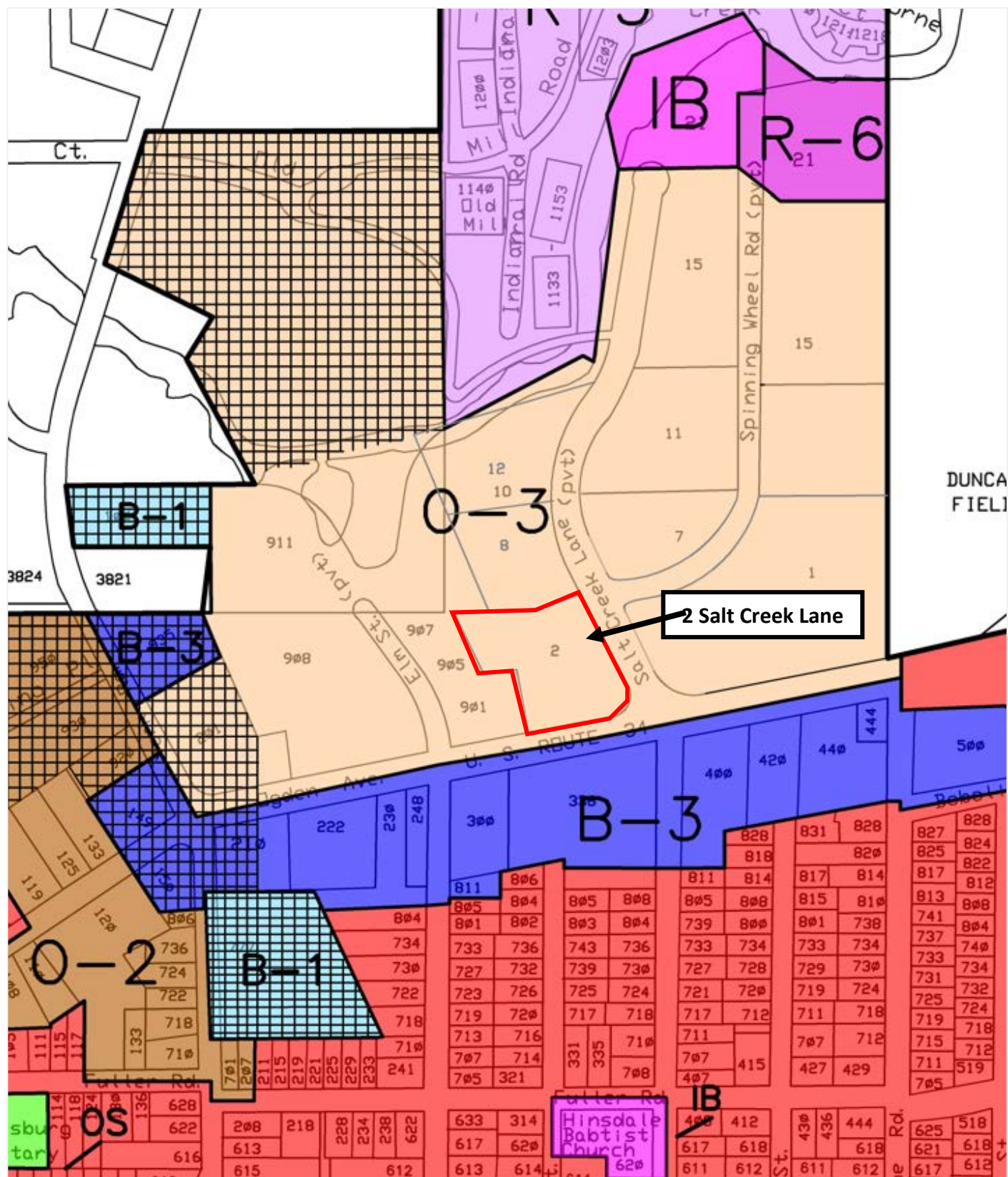
The failure of the board of trustees to act within ninety (90) days, or such further time to which the applicant may agree, shall be deemed to be a decision denying site plan approval.

The subject property is not located within 250 feet from a single-family zoning district and therefore public meeting notices via the newspaper, certified mail, and signage were not required for this project.

ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Select Plan Sheets from Ordinance No. O2023-15, Exterior Appearance and Site Plan Review, Approved June 13, 2023 [Entire Ordinance with all Exhibits Available Upon Request]
6. Applications and Exhibits

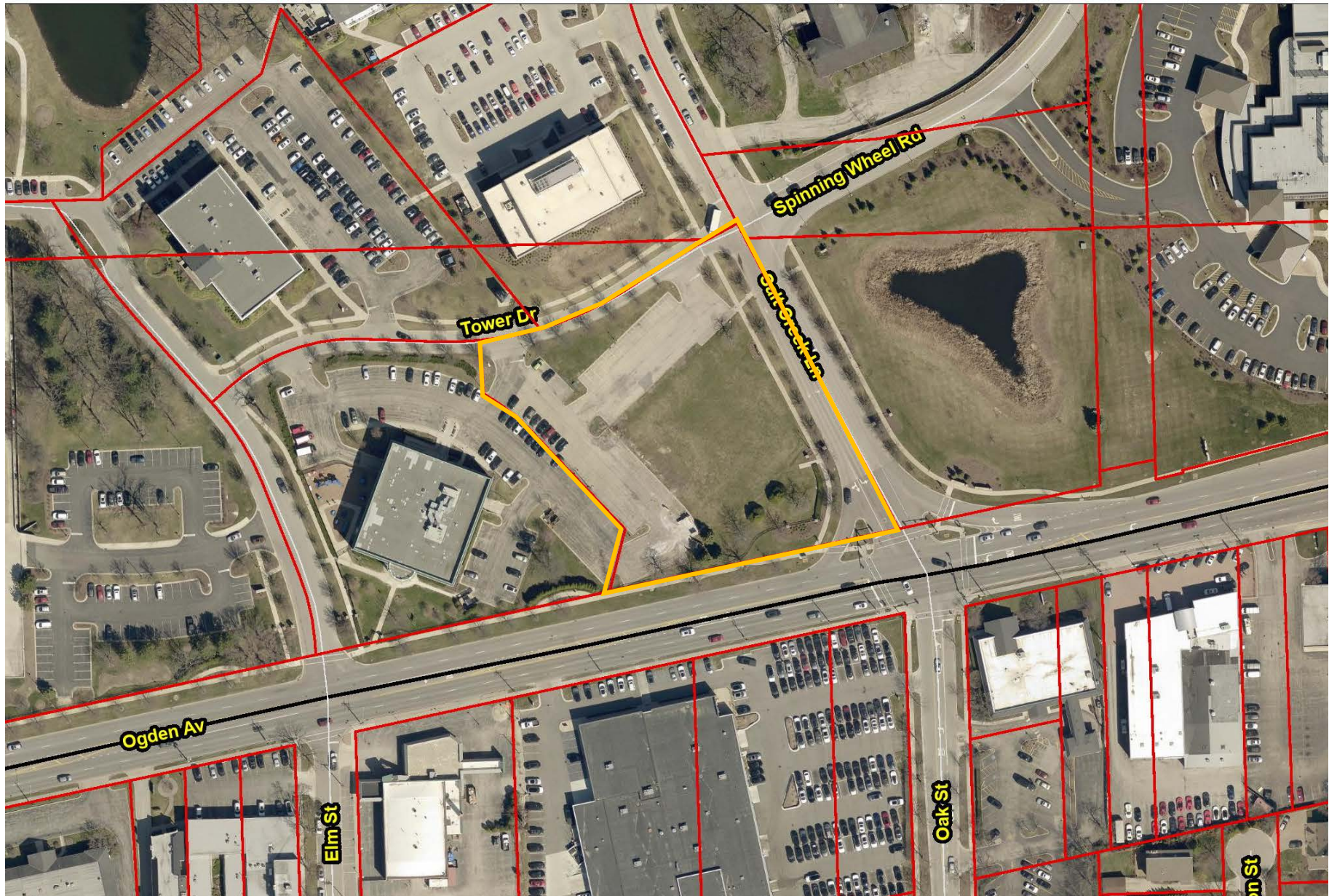
[illegible]



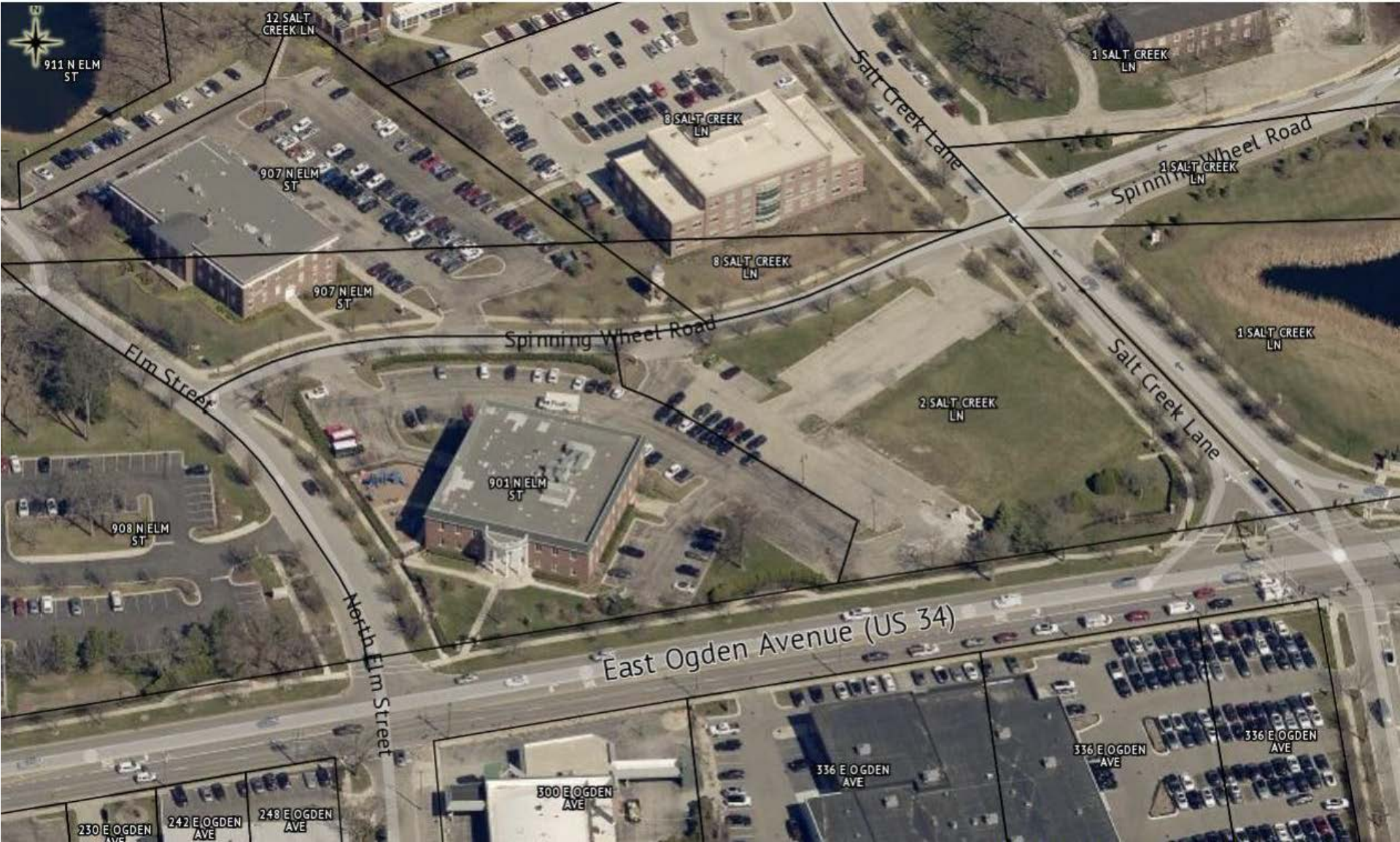
Aerial View – 2 Salt Creek Lane



Aerial View – 2 Salt Creek Lane



Birds Eye View – 2 Salt Creek Lane



Street View – 2 Salt Creek Lane



Street View – 2 Salt Creek Lane



Mouse Motors

22036

December 28th, 2022

© 2022 The Redmond Company





B1 FIRST FLOOR - FAR
 1/16" = 1'-0"



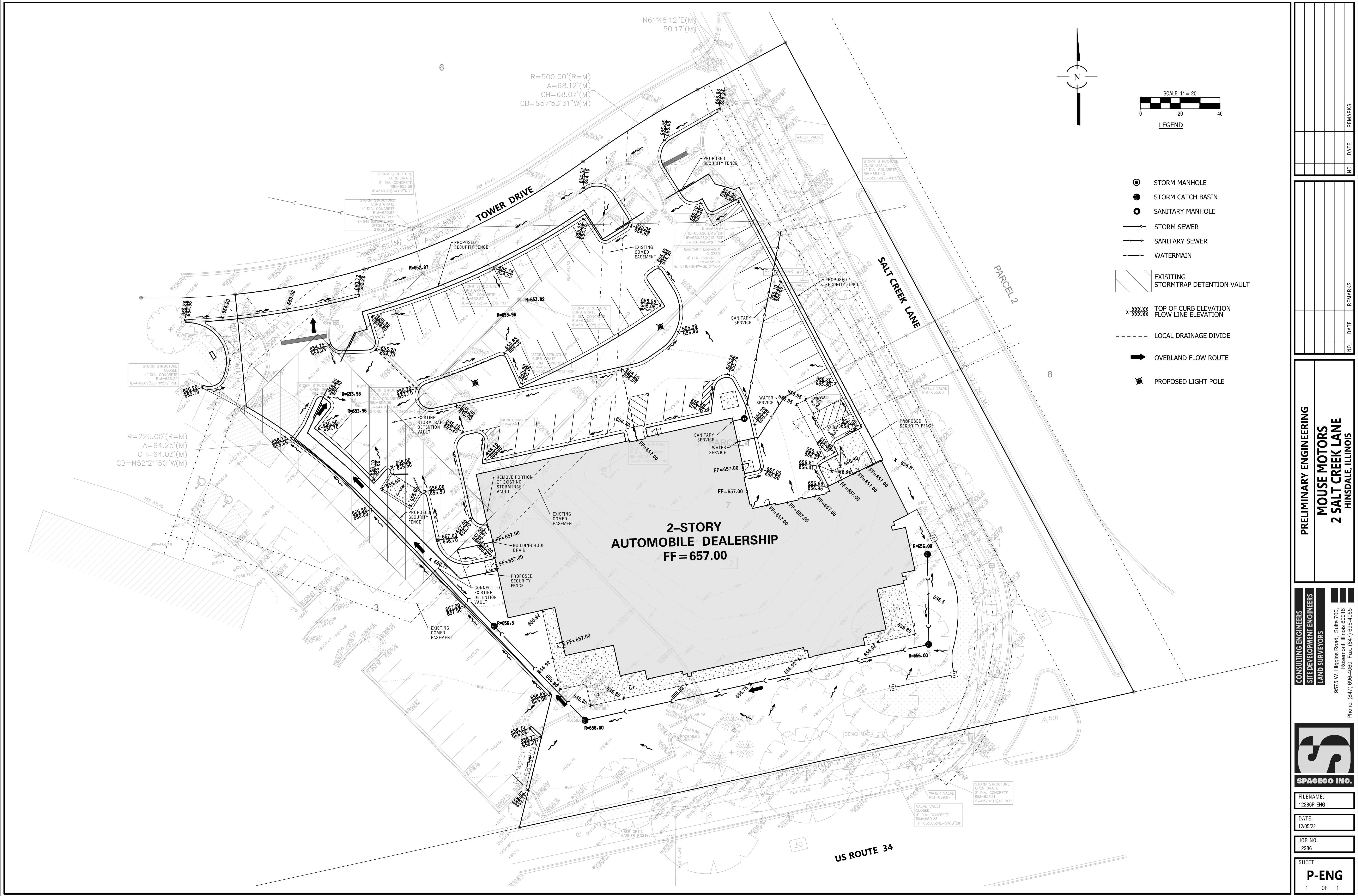
B3 FIRST FLOOR - Net Floor Area
 1/16" = 1'-0"



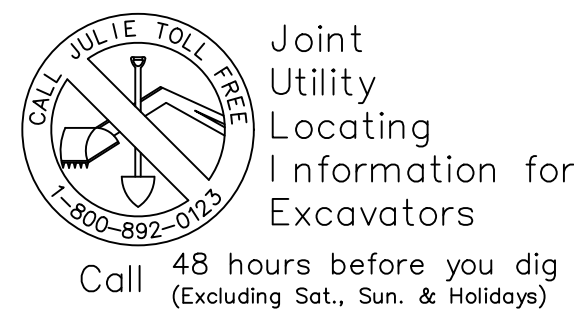
A1 SECOND FLOOR - FAR
 1/16" = 1'-0"



A3 SECOND FLOOR - Net Floor Area
 1/16" = 1'-0"



PRELIMINARY ENGINEERING	
MOUSE MOTORS	
2 SALT CREEK LANE	
HINSDALE, ILLINOIS	
CONSULTING ENGINEERS	NO.
SITE DEVELOPMENT ENGINEERS	DATE
LAND SURVEYORS	REMARKS
9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	
SPACECO INC.	
FILENAME: 12286P-ENG	
DATE: 12/05/22	
JOB NO. 12286	
SHEET P-ENG	
1 OF 1	



Joint
Utility
Locating
Information for
Excavators
Hours before you dig
(including Sat., Sun. & Holidays)



P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

PROJECT

McLAREN MOTORS

East Ogden Ave.
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

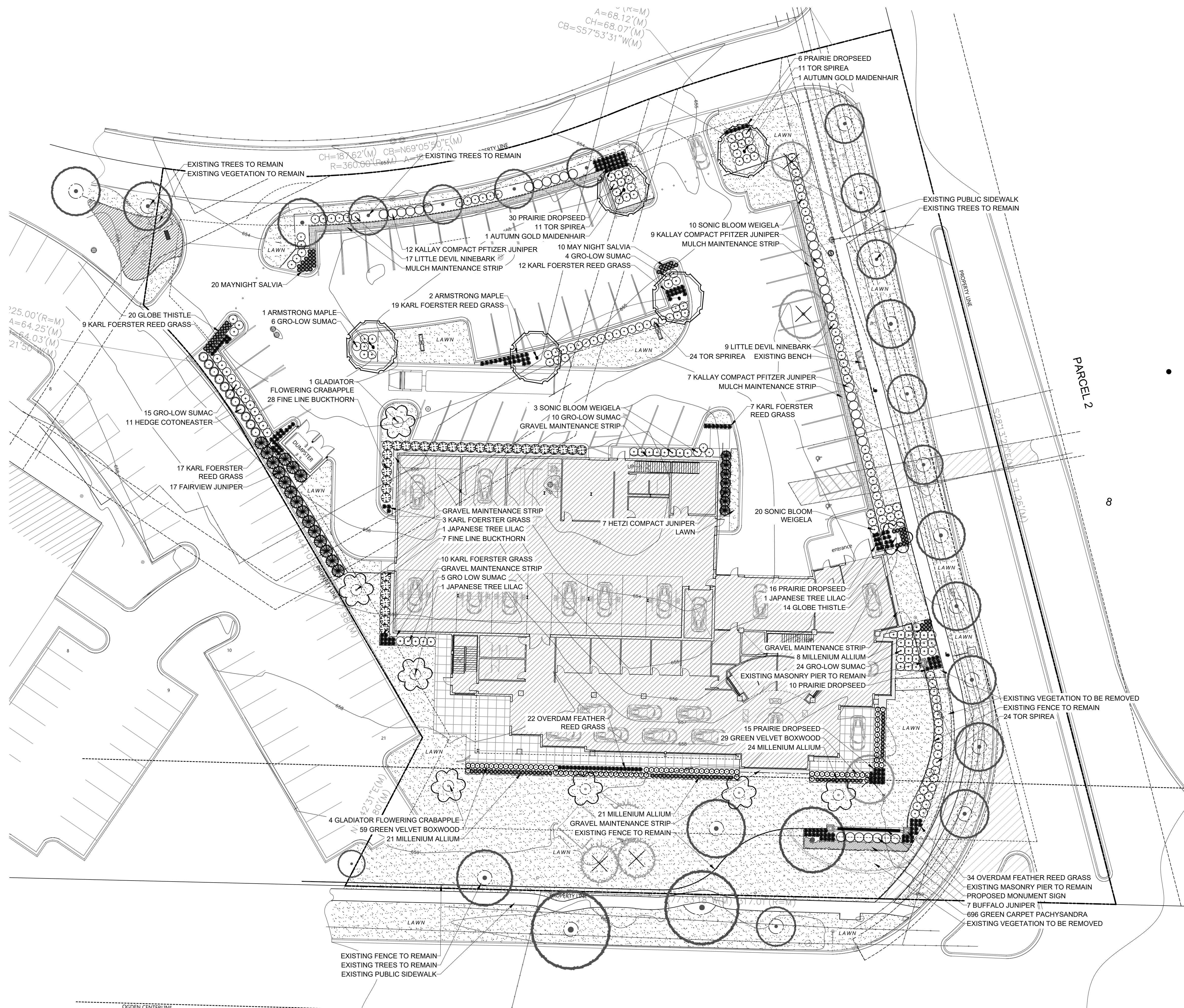
PROJECT MANAGER WDH

PROJECT NUMBER 22-059

DATE 12.5.22

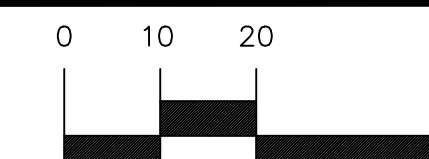
SHEET NUMBER

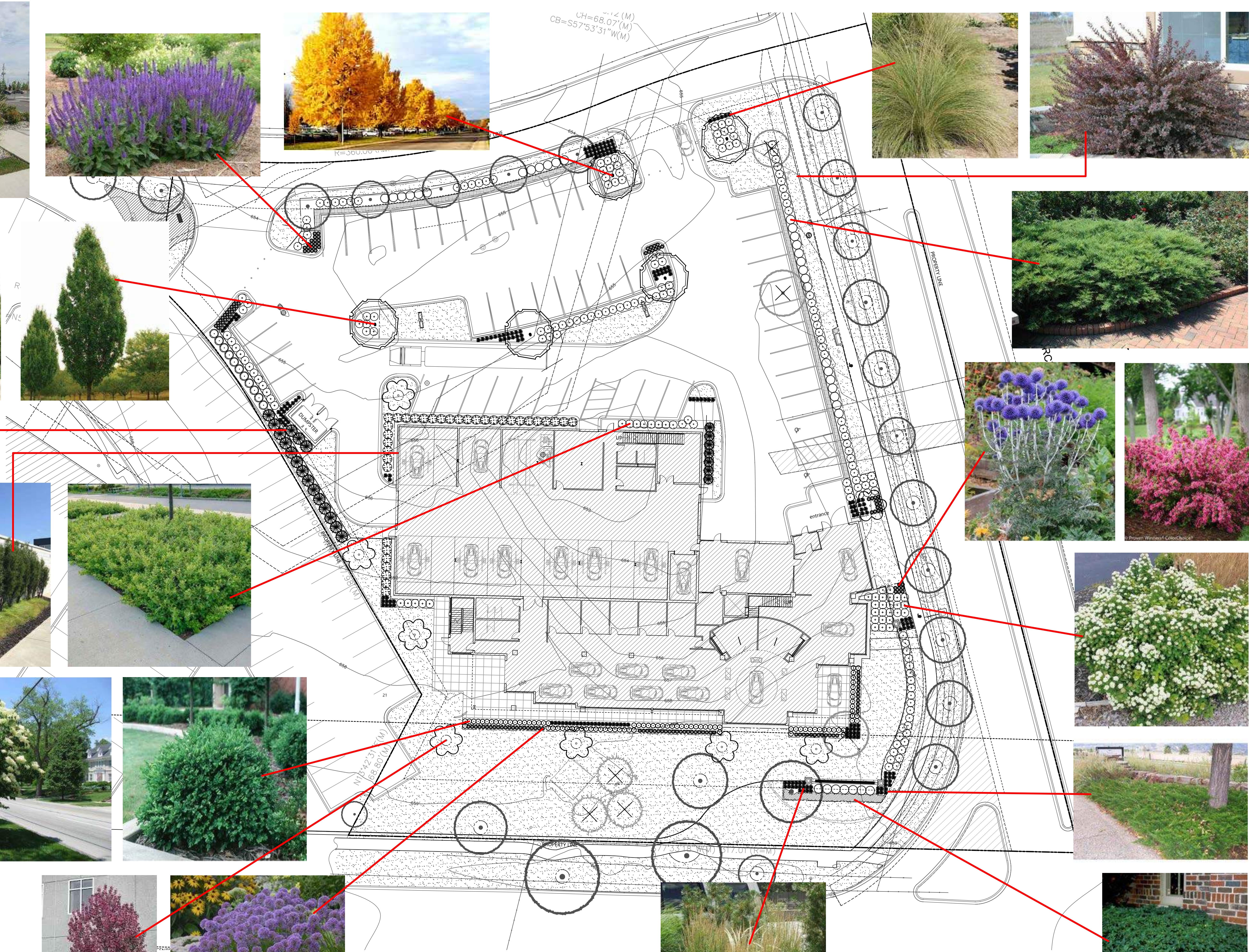
L 1.0



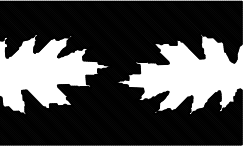
OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"





HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com



PROJECT

McLAREN MOTORS

East Ogden Ave.
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN: IMAGES

PROJECT MANAGER WDH

PROJECT NUMBER 22-059

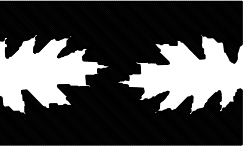
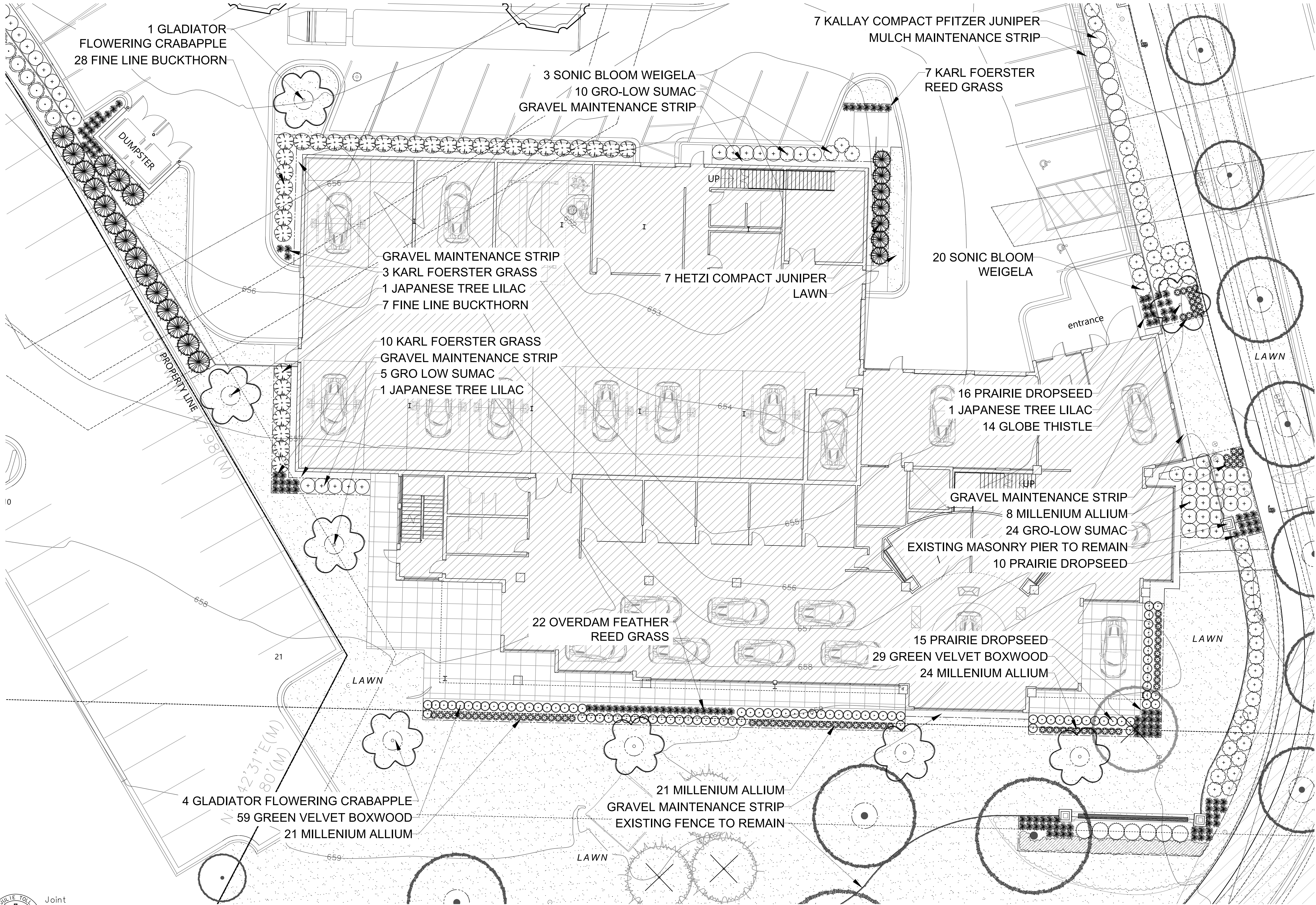
DATE 12.5.22

SHEET NUMBER

L 1.05



OVERALL LANDSCAPE PLAN
Scale: 1" = 20'0"
0 10 20 40



PROJECT

McLAREN MOTORS

East Ogden Ave.
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

ENLARGED LANDSCAPE PLAN

PROJECT MANAGER WDH

PROJECT NUMBER 22-059

DATE 12.5.22

SHEET NUMBER

L 1.1



PROJECT

McLAREN MOTORS

East Ogden Ave.
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

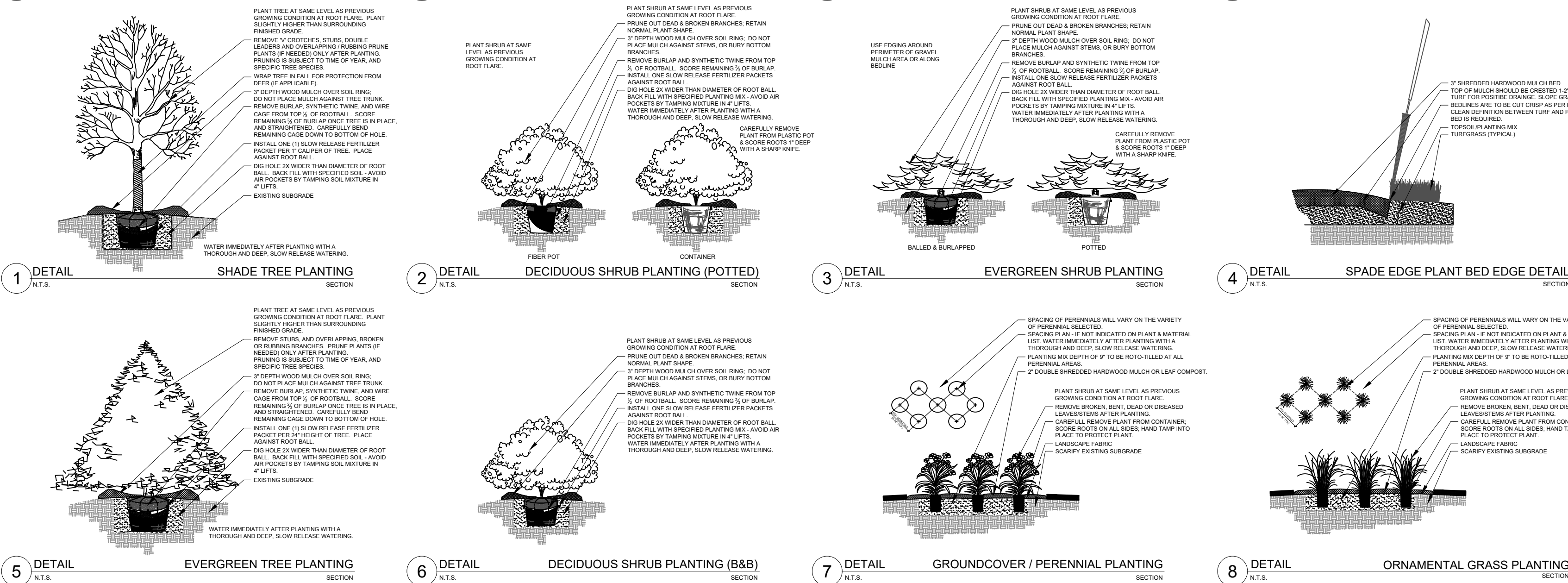
LANDSCAPE DETAILS, NOTES, & SCHEDULE

PROJECT MANAGER	WDH
PROJECT NUMBER	22-059
DATE	12.5.22
SHEET NUMBER	

L 1.2

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAULPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ARM	3	Acer xfreemanii 'Armstrong'	Armstrong Red Maple	3.0'	B&B	Straight central leader, full and even crown. Prune only after planting.	
AGG	2	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting.	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAULPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
ORNAMENTAL TREES (DECIDUOUS)							
GFC	5	Malus x astrigenes 'Durlei'	Gladstir Flowering Crabapple	7-8' H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.	
JTL	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	7-8'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance.	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
EVERGREEN TREES							
HCI	7	Juniperus chinensis 'Hetzi Columnaris'	Hetzi Columnar Juniper (upright)	5-6'	B&B	Evenly shaped tree with branching to the ground	42"
FVI	17	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5-6'	B&B	Evenly shaped tree with branching to the ground	60"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
EVERGREEN SHRUBS							
GVB	88	Buxus 'Green Velvet'	Green Velvet Boxwood	24"	Cont.	Full rounded well branched shrub	24-30"
KCPJ	28	Juniperus chinensis 'Kallay'	Kallay Compact Pfizer Juniper	#5	Cont.	Full rounded well branched shrub	48"
Bul	7	Juniperus sabina 'Buffalo'	Buffalo Juniper	#3	Cont.	Full rounded well branched shrub	42"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
DECIDUOUS SHRUBS							
HC	11	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30-42"
LDN	26	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	30"	Cont.	Full, well rooted plant, evenly shaped	60"
FIB	35	Rhamnus frangula	Fine Line Buckthorn	#5	Cont.	Full, well rooted plant, evenly shaped	48"
GLS	64	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped	42"
TBS	70	Spiraea betulifolia 'Tor'	Tor Spiraea	#3	Cont.	Full, well rooted plant, evenly shaped	36"
SBW	33	Weigela florida 'Sonic Bloom'	Sonic Bloom Weigela	24"	Cont.	Full, well rooted plant, evenly shaped	42"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
ORNAMENTAL GRASSES							
KFRG	77	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"
ORG	56	Calamagrostis acutiflora 'Overdam'	Overdam Feather Reed Grass	#1	Cont.	Full, well rooted plant	15"
PDS	77	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant	18"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
HERBACEOUS PERENNIALS							
MA	74	Allium 'Millenium'	Millenium Allium	#1	Cont.	Full, well rooted plant, evenly shaped	18"
BGGT	34	Echinops bannaticus	Blue Glow Globe Thistle	#1	Cont.	Full, well rooted plant, evenly shaped	18"
MVS	30	Salvia xuspeba 'May Night'	May Night Salvia	#1	Cont.	Full, well rooted plant, evenly shaped	18"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
GROUNDCOVERS & VINES							
GCP	696	Pachysandra terminalis 'Green Carpet'	Green Carpet Pachysandra	3"	Pot	Full, well rooted plant	6"
PLAN KEY	QUANTITY	SPECIFIED SEED MIX / SOD		CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
LAWN							
	2786	Lawn Establishment Area / Grading Area			5Y	Reinder's Deluxe 50 Seed Mix (800-785-3301)	
	25075	Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)	
SOD							
	2786	Sodded Areas (identified on plan)	see plan for area delineation		5Y	Fresh cut, weed free; Bluegrass Blend Sod; Water immediately after installation	
Hardscape Materials							
	8	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 740 SF		TN	2" depth	
	500	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF		
	740	Landscape Fabric	SF		LF		
	72	Shredded Hardwood Mulch (3" depth)	Area: 7,740 SF		CY	Install at Tree & Shrub installation; apply Preemergent	
	25	Double-Shredded Hardwood Mulch (2" depth)	Area: 4,020 SF		CY	Install at Perennial, Ornamental Grasses & Groundcover areas; apply Preemergent	
	73	Soil Amendments (2" depth)	Area: 11,760 SF		CY	See Landscape General Notes for composition of Soil Amendments	
	77	Pulverized Topsoil (1" at all seeded and sodded areas)	Area: 25,075 SF		CY		
	73	Pulverized Topsoil (2" over bed areas)	Area: 11,760 SF		CY		
*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.							
Seed Compositions: Reinder's Deluxe 50 Seed Mix (800-785-3301): 20% Kentucky Bluegrass (Sod Quality) 15% Newport Kentucky Bluegrass 15% Ken Blue Kentucky Bluegrass 25% Creeping Red Fescue							
				15% Quebec Perennial Ryegrass 10% Fiesta III Perennial Ryegrass	Seed at rate of 150-200# per acre		

LANDSCAPE GENERAL NOTES



PLANTING & HARDSCAPE DETAILS

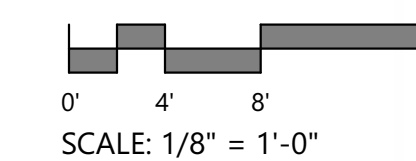


Joint
Utility
Locating
Information for
Excavators

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

Mouse Motors

First Floor - Salt Creek LN



SCALE: 1/8" = 1'-0"



22036

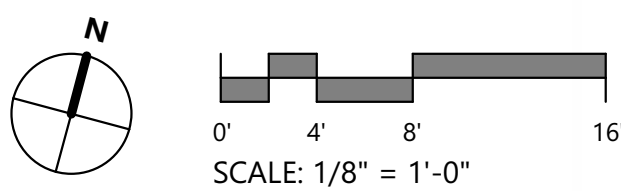
December 5th, 2022

© 2022 The Redmond Company



Mouse Motors

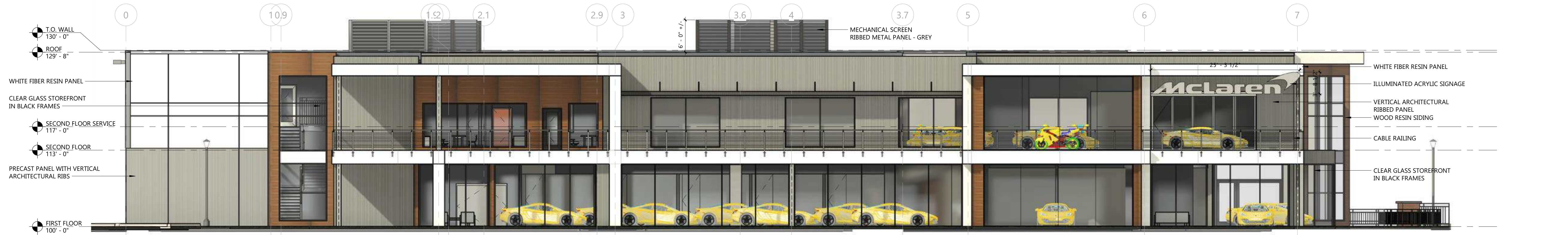
Second Floor - Salt Creek LN



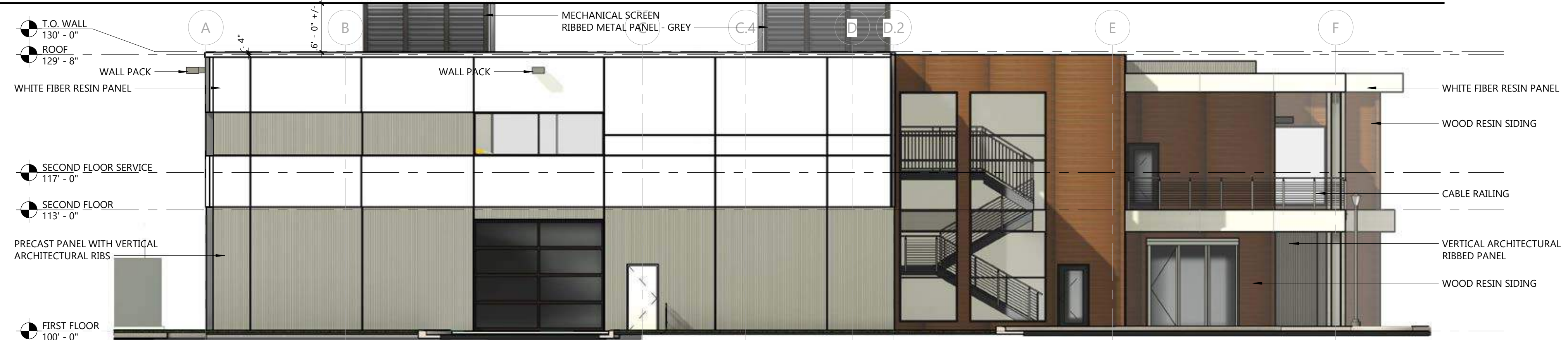
22036

December 5th, 2022

© 2022 The Redmond Company



D1 South Elevation
1/8" = 1'-0"



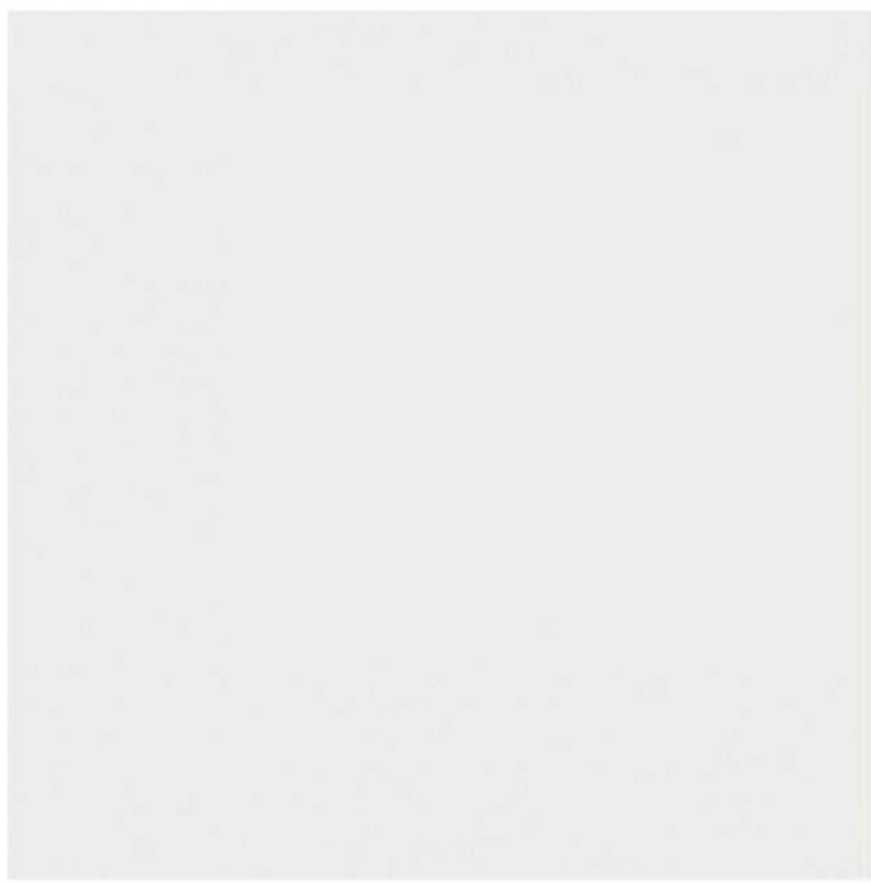
C3 West Elevation
1/8" = 1'-0"



B3 East Elevation
1/8" = 1'-0"



A1 North Elevation
1/8" = 1'-0"



C1 WHITE FIBER RESIN PANEL
1/8" = 1'-0"



C2 WOOD RESIN PANEL
1/8" = 1'-0"



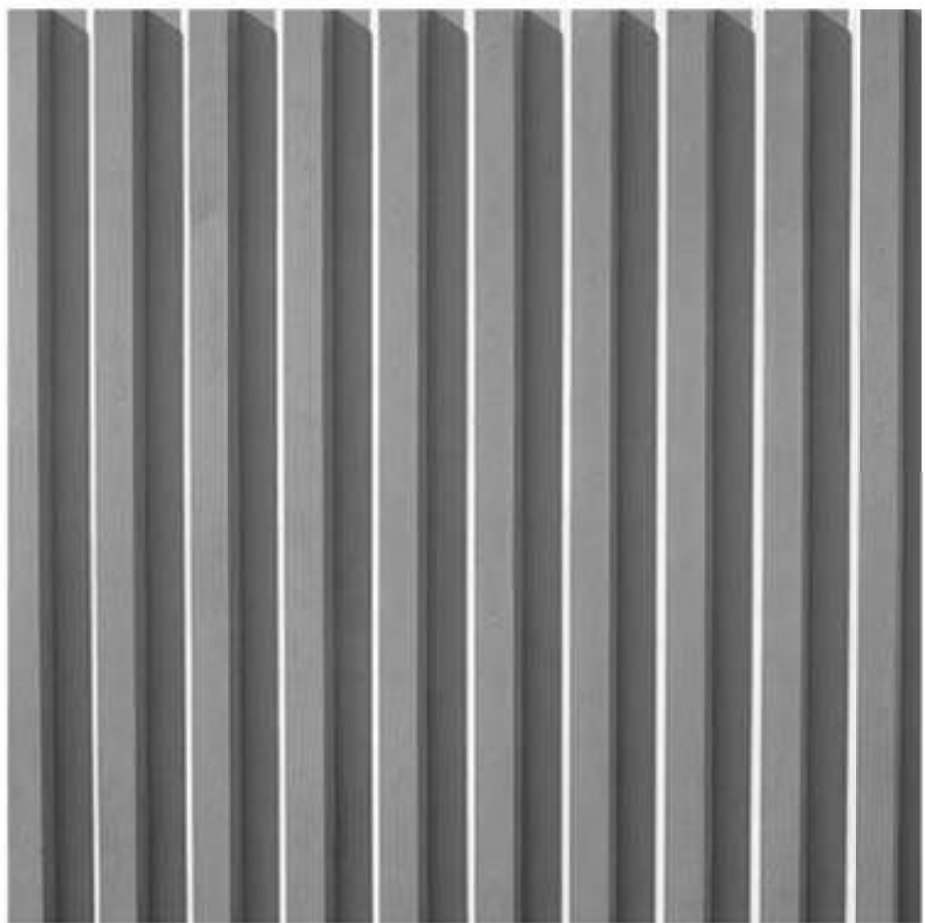
C3 VERTICAL ARCHITECTURAL RIBBED PANEL
1/8" = 1'-0"



B1 GLASS STOREFRONT IN BLACK FRAME
1/8" = 1'-0"



B2 CABLE RAILING
1/8" = 1'-0"

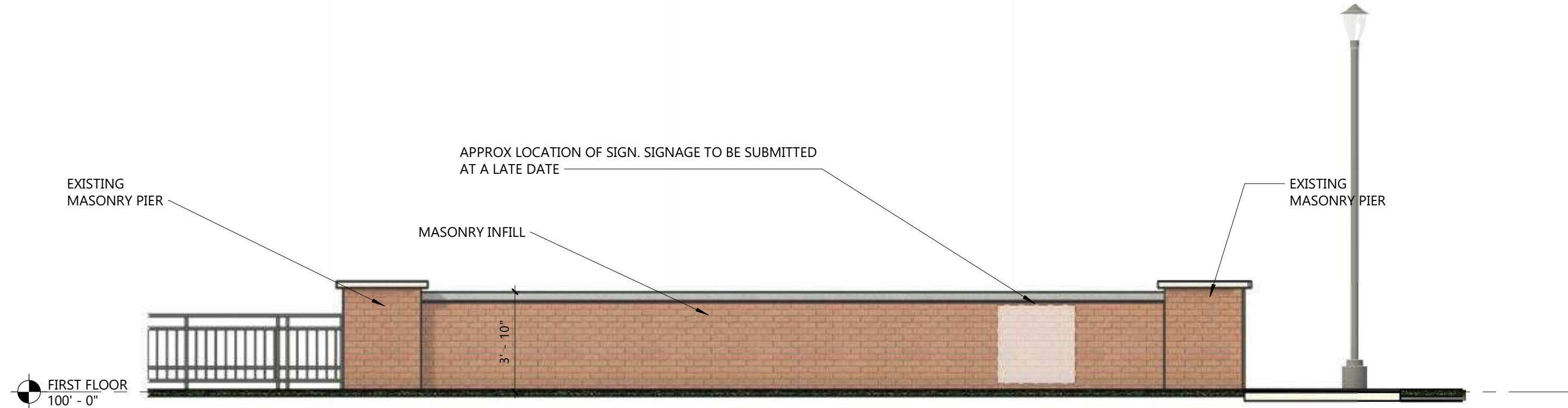


A1 PRECAST PANEL
1/8" = 1'-0"

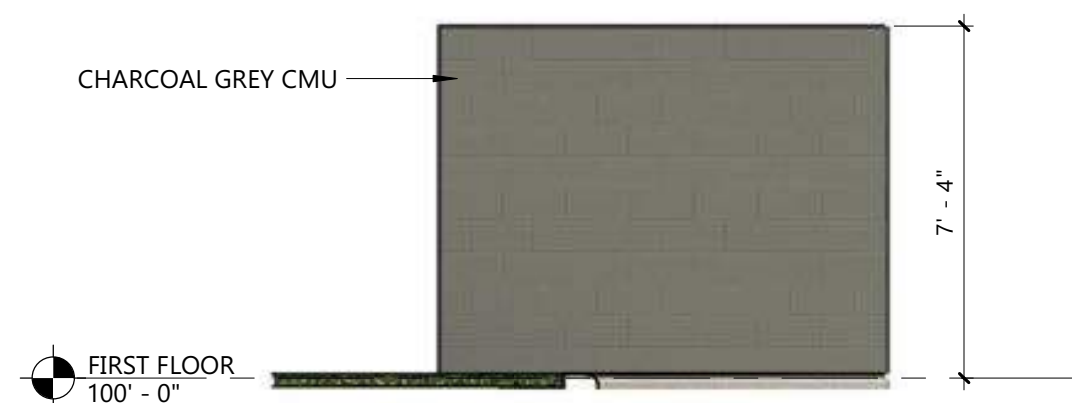


A2 MECHANICAL SCREEN RIBBED PANEL
1/8" = 1'-0"

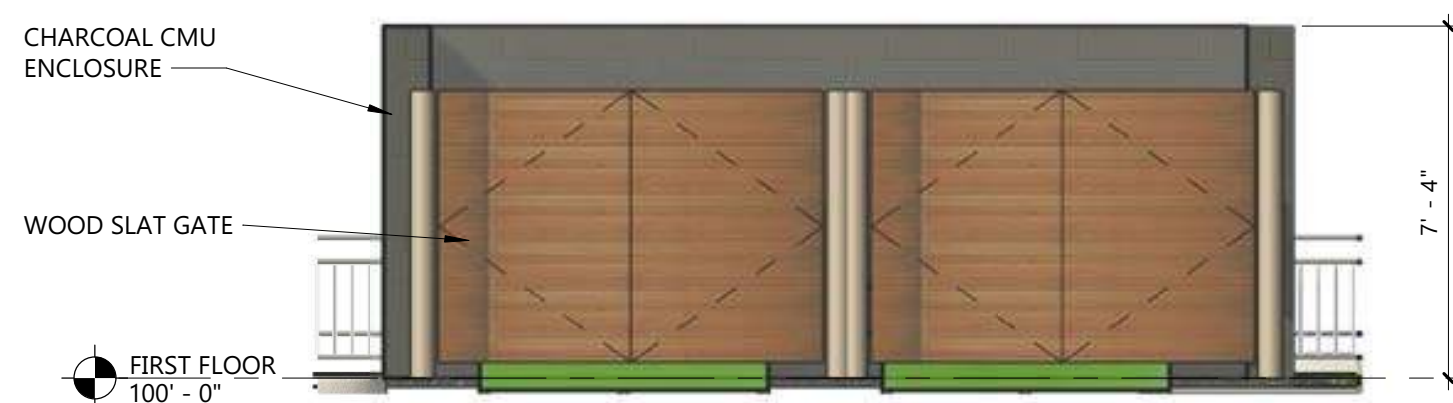
- **Material:** Smooth aluminum, 3003 H14 alloy
- **Thickness:** .063"
- **Finish:** 4000 Series powder finish on both sides



C4 MASONRY WALL INFILL
1/4" = 1'-0"



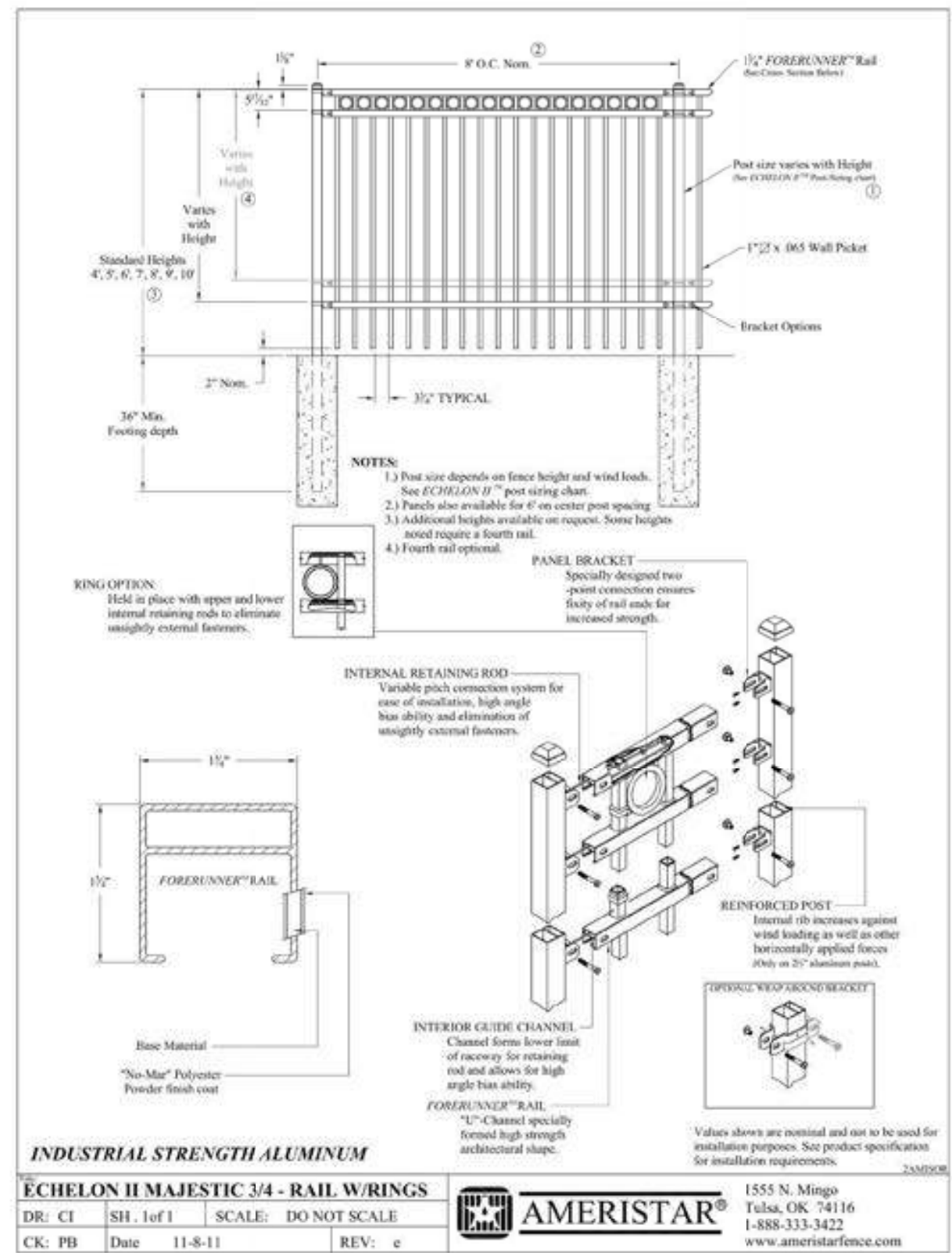
B4 ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"



B5 ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



A4 36" ORNAMENTAL FENCE
1/8" = 1'-0"





D2 OGDEN AVE



C2 SALT CREEK



B2 REAR



A2 CORNER

April 4, 2024

Village of Hinsdale Department of Community Development
Village Hall
19 East Chicago Avenue
Hinsdale, Illinois 60521-3431

Re: 2 Salt Creek Lane – Major Adjustment

To whom it may concern,

The attached Plan Commission Application, Exterior Appearance Application and associated drawings are being submitted for a major adjustment to the previously approved plans for the Moue Motors project located at 2 Salt Creek Lane. (Ordinance 02023-15)

The revisions being proposed are the result of field verification of existing conditions and coordination that was done with the structural, mechanical, plumbing and electrical engineers, as all parties have started to develop the systems required to make this building fully functional. All revisions were done with consideration given to the original design concept.

The roof top screening layout has been revised for this current submittal in response to the comments we received from village staff, board of trustees members and plan commission members for our February 21 2024 Major Adjustment Application.

Site Plan

1. The originally approved masonry wall, located near the intersection of Ogden Avenue and Salt Creek Lane, was designed as a monument sign. As the design was further developed, we were able to verify that the existing masonry piers are approximately 6'-4" tall, about 2'-0" taller than drawn on the original conceptual drawings. We were also able to verify that some existing sections of fence are approximately 6 feet tall. We considered raising the top of the proposed masonry wall to match these dimensions but did not feel that was in line with the original design concept. As a result, we are now proposing the following modifications, that are less obstructive to views around the intersection of Ogden and Salt Creek:
 - a. The existing masonry pier, located toward the west would be removed entirely, along with the adjacent 6'-0" high sections of existing fence. (See attached sheet AS101).
 - b. The existing masonry pier located nearest the intersection of Ogden Avenue and Salt Creek Lane would be modified to reduce the height to approximately 4'-4". The adjacent 6'-0" high sections of the existing fence would also be removed. (See attached sheet AS101).
 - c. The existing 36" high fence located between these two piers would be removed and infilled with a new section of fence to match the existing 36" high fence. This will result in a more open look and a more consistent aesthetic around the perimeter of the property. (See attached sheet AS101 and the attached rendering of the proposed solution).
 - d. No monument sign location is being proposed.
2. The parking lot entrance located at the northwest corner of the site has been further developed and additional information is being provided. The original plan did not specify a style of gate, however, due to the unique existing conditions present on this site, additional details are being provided for clarity. The proposed gate is a vertical pivot gate, designed to resemble the adjacent fence. This gate is hinged on the east side of the opening, with the west side swinging up to open the gate for

vehicular access. This gate is only open temporarily for exiting the site, or as needed for emergency vehicle access. The gate will not remain open during regular business hours.

- a. A vertical pivot gate is being proposed due to conflicts with the existing underground stormwater detention system. The existing underground stormwater detention system prevents any foundations for any other type of gate from being installed in this area.
 - b. Please note that the vertical pivot gate has a control box located on the east side of the entrance. This control box is approximately 5'-8" wide, 2'-6" deep x 4'-0" high and is finished to be black, matching the adjacent fence and gate.
 - c. The landscape plan has been revised to fully screen the controller box from Tower Drive. See comments under the landscape section for more information. Also, see the attached rendered view of the proposed gate.
3. The fence along Salt Creek Lane was shifted to the east to accommodate a required fire hydrant that was added to the site. The proposed fire hydrant is located inside the fence line for ease of fire department access.
4. The parking spaces on the north side of the building shifted to the west to accommodate the transformer, a masonry screen wall and building generator.
 - a. The curb and gutter lines were extended to the north to accommodate landscaping used to screen the transformer and generator.
 - b. The generator is needed for this building, to provide uninterrupted power to Life Safety required items, emergency lighting, elevators, overhead doors, Fire Alarm system, Burglar alarm system, exterior light poles, the parking lot entrance gate, parking lot retractable bollards, IT / Data closets and heat for the main water service room)
5. A door was added to the north side of the building, east of the parts delivery overhead door. This door is required for exiting the building.
6. The curb and gutter lines were adjusted near the main entrance (northeast corner of building).
7. The FAR and lot coverage calculations have been updated on the site plan sheet. Both are still code compliant.
8. The building is now noted to be 19,776 SF (building footprint). Previously, this was noted to be 19,488 SF. The building footprint has not changed, however as the design has developed, we are able to calculate more accurate numbers.
 - a. The 19,776 SF number includes all exterior finishes (measured to the outside face of the proposed exterior wall finish). The current materials have different thicknesses from what was originally approved.
 - b. Exterior column enclosures have been added to the building footprint calculation after coordinating structural elements with the structural engineer. Previously, these enclosures had not been accounted for.
9. *A sidewalk and pedestrian gate were added around the southwest corner of the building to provide a complete means of egress path from the exit stair. This is a code required path of egress.*

Landscape Plan

1. The landscape plan was updated to align with proposed changes.
 - a. Landscaping adjusted to work with the revised fence location along Salt Creek Lane.
 - b. Added proposed screening for the gate operator, consisting of both Karl Forester Reed Grass, and Hicks Yew Evergreens. Please see the attached landscape plans and proposed renderings of the rear gate. Intent is to fully screen the gate operator from Tower Drive.
 - c. Added proposed screening for the electrical transformer, consisting of Karl Forester Reed Grass and Fairview Upright Juniper Evergreens. The exact transformer size is unknown at this time but is anticipated to be approximately 5 feet tall. Final transformer dimensions will be determined by the local utility after service size is determined through completion of the building's electrical design. After completion of the electrical design, the proposed plantings will be revised as required to ensure the transformer is fully screened at the time of planting.

- i. Note: Clearances required for Access to transformer needed for maintenance will need to be coordinated with the local utility after transformer selection is completed.
- d. Added proposed screening for the generator, consisting of Karl Forester Reed Grass and Fairview Upright Juniper Evergreens. The exact generator size is unknown at this time but is anticipated to be approximately 6 feet tall. Final generator size will be determined by the electrical engineer based on the electrical load it serves within the building after the electrical design is completed. After completion of the electrical design, the proposed plantings will be revised as required to ensure the generator is fully screened at the time of planting.
 - i. Note: Clearances required for access to the generator needed for maintenance will need to be coordinated with generator manufacturer after final generator selection is made.
- e. Updated the landscaping at the southeast corner where the fence and masonry pier design were revised.
- f. Updated the landscaping at the northeast entrance to the building where the fire hydrant was added and to work with the previously approved pedestrian access gate in that area.
- g. *Updated the landscaping at the newly proposed sidewalk and pedestrian gate at the southwest corner of the building.*
- h. *The Fineleaf buckthorn scheduled for the west side of the building has been removed from the project (not allowed to be sold in Illinois) and replaced with a taller, skinnier evergreen plant (Hetzi Compact Juniper).*

Site Photometric Plan

1. No changes are being proposed for the previously approved site photometric plan. The originally proposed pole mounted fixtures and building mounted fixtures used for general site lighting have not changed.

Building Area Diagrams

1. The Floor Area Ratio calculation has been updated to reflect the most current floor plans, including additional space for a second-floor break room and additional mechanical spaces needed for building systems.
 - a. The originally approved FAR calculation was equal to 40.0%.
 - b. The current proposed FAR calculation is equal to 40.5%, still below the 50% max allowable FAR.
2. The Parking Calculation has been updated to show compliance with ordinance 02023-17.
 - a. The originally approved parking calc indicated a need for 119 parking stalls.
 - b. The current proposed parking calc indicates a need for 118 parking stalls.
 - c. The site plan still indicates 46 parking stalls, as previously approved in ordinance 02023-17.

Building Exterior

1. Overall building massing has not changed and the overall aesthetic is consistent with the originally approved design concept; however, several adjustments have been made to the exterior appearance, as noted below.
 - a. The white resin panels were upgraded to a light grey composite metal panel.
 - b. The ribbed precast panels were upgraded to a dark grey / black composite metal panel.
 - c. Windows were added on the north elevation, at the second floor, to provide daylight to a second-floor employee break room that was added to the floor plan.
 - d. The overhead doors on the north elevation were reduced from 12 feet to 10 feet high to accommodate the added employee break room space on the second floor.
 - e. An exterior door was added on the north elevation of service, as required for means of egress. This is a code required exit.

- f. All proposed window openings were coordinated with the window framing manufacturer and the glass fabricator.
 - i. Window opening heights have been minimally adjusted, as required by the window manufacturer. The updated openings no longer exceed the maximum allowable heights allowed by the window manufacturer for the proposed framing systems.
 - ii. Horizontal and vertical mullions have been added as required by the glass fabricator. The updated design no longer exceeds the maximum allowable size for fabrication of the insulated glass panels.
 - iii. Horizontal and vertical mullions have been added as required by the window manufacturer. The updated design addresses limitations of the window framing system to adequately support the weight of the glass panel sizes being proposed.
- 2. The roof screens were revised to reflect current mechanical design requirements for both size and number of units needed to service various areas within the building. The number and location of roof top units reflect the unique conditions that need to be addressed in this building type. *Please note that we were able to eliminate one roof top unit as part of our efforts to address the concerns expressed by the Village.*
 - a. Every effort was made to keep the roof top equipment as far back from the exterior building façade as possible, while still being located near the area of the building being served by each unit. This was done to keep the visibility of the screening from the adjacent streets to a minimum. We worked to minimize the impact of views from Ogden Ave and Salt Creel Lane.
 - b. Please see the attached renderings and roof plan for required roof top equipment locations and perspective views from street level. Perspective views were provided for reference, as elevation views can be misleading in representing the impact of roof top equipment screens, as seen by pedestrians at street level.
 - c. Roof screens will be constructed from solid, corrugated metal panels with a black finish to complement the main building finish. *Basis of design for roof top screening is "Cityscapes – Envisor". Screening is attached directly to the roof top equipment.*
 - d. Roof screens will fully conceal HVAC roof top units from view. The height of each screen is set to match the height of the roof top equipment it is used to screen.

If you have any other questions or concerns, please feel free to call me at 1-262-933-8288. I look forward to hearing from you in the near future.

Sincerely,



Jesse Treuden, AIA
Senior Project Architect
The Redmond Company

FR 7002575
THIS DOCUMENT WAS
PREPARED BY:

Vito M. Pacione, Esq.
Patzik, Frank & Samotny Ltd.
200 South Wacker Drive, Suite 2700
Chicago, Illinois 60606

AFTER RECORDING RETURN TO:

R. Kymn Harp, Esq.
Robbins DiMonte, Ltd.
180 N. LaSalle Street, Suite 3300
Chicago, Illinois 60601

MAIL TAX BILLS TO:

2 Salt Creek Lane LLC
5758 West Fillmore Street
Chicago, Illinois 60644

KATHLEEN V. CARRIER, RECORDER
DUPAGE COUNTY ILLINOIS
01/09/2023 10:43 AM
RHSP

COUNTY TAX STAMP FEE 1,812.50
STATE TAX STAMP FEE 3,625.00

DOCUMENT # R2023-001572

(This space reserved for recording date)

SPECIAL WARRANTY DEED

This SPECIAL WARRANTY DEED, made as of December 30, 2022 by **2 SALT CREEK LLC**, an Illinois limited liability company, having an address at c/o Vequity LLC, 226 North Morgan Street, Suite 300, Chicago, Illinois 60607 ("**Grantor**"), to and in favor of **2 SALT CREEK LANE LLC**, an Illinois limited liability company, having an address at 5758 West Fillmore Street, Chicago, Illinois 60644 ("**Grantee**").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other valuable consideration in hand paid by Grantee, the receipt and sufficiency whereof is hereby acknowledged, by these presents does REMISE, RELEASE, ALIEN, GRANT, BARGAIN, SELL, AND CONVEY unto Grantee, and to its successors and assigns, FOREVER, all interest in and to the real estate situated in the County of DuPage and State of Illinois known and described on Exhibit A attached hereto and by this reference made a part hereof (the "**Property**"), subject to those matters set forth on Exhibit B attached hereto and made a part hereof (the "**Permitted Exceptions**").

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of the Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances:

TO HAVE AND TO HOLD the Property as above described, with the appurtenances, unto the Grantee, its successors and assigns forever.

And the Grantor, for itself, and its successors and assigns, does covenant, promise and agree, to and with the Grantee, its successors and assigns, that during the period that Grantor has owned title to the Property, it has not done or suffered to be done anything whereby the Property hereby granted is, or may

be, in any manner encumbered or charged, except for the Permitted Exceptions set forth on Exhibit B attached hereto and made a part hereof; and that subject to such Permitted Exceptions, the Grantor will WARRANT AND FOREVER DEFEND the Property against all persons lawfully claiming by, through or under the Grantor, but not otherwise.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, Grantor has signed and sealed and delivered this instrument as of the day and year first above written.

GRANTOR:

2 SALT CREEK LLC,
an Illinois limited liability company,

By: 

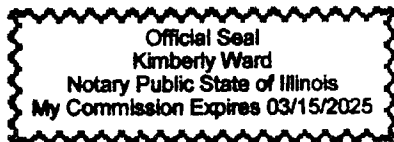
Name: Christopher Ileakis

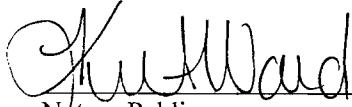
Title: Manager

STATE OF ILLINOIS)
)
COUNTY OF COOK) ss

I, the undersigned, a Notary Public in and for the State and County provided above, do hereby certify that Christopher Ileakis, the manager of 2 SALT CREEK LLC, an Illinois limited liability company, on behalf of such entity, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such manager, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act and as the free and voluntary act of said limited liability company for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 21 day of December, 2022.




Notary Public

My commission expires on 03/15/25

EXHIBIT A

Legal Description of the Property

PARCEL 1:

LOT 7 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AS AMENDED BY DOCUMENT R89-072896, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C5 ATTACHED THERETO, AND ALSO AS CREATED BY LICENSE AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AS SUPPLEMENTED BY SUPPLEMENTAL DECLARATION OF LICENSE RECORDED AS DOCUMENT R77-117083 AND SUPPLEMENTAL DECLARATION OF LICENSE RECORDED AS DOCUMENT R79-107322, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006 AS DOCUMENT R2006-005825 AND AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT R2012-024784 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS; REPAIR, REPLACEMENT AND RENEWAL OF UTILITY IMPROVEMENTS; RETENTION, DETENTION AND DRAINAGE OF WATER; AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1, 2, 3, 4, 6, 7, 8, 9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS.

Commonly Known As: 2 Salt Creek Lane, Hinsdale, IL 60521

Property Index Number: 09-01-207-012

EXHIBIT B

Permitted Exceptions

1. REAL ESTATE TAXES FOR THE YEAR 2022 AND SUBSEQUENT YEARS WHICH ARE NOT YET DUE AND PAYABLE.
2. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCELS 2 AND 3 CONTAINED IN THE INSTRUMENTS CREATING SAID EASEMENTS.

(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENTS.

3. TERMS AND PROVISIONS OF STORMWATER FACILITY MAINTENANCE AGREEMENT RECORDED JANUARY 10, 2013 AS DOCUMENT NO. R2013-005216.
4. THE LAND LIES WITHIN THE FLAGG CREEK WATER RECLAMATION DISTRICT, WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.
5. EASEMENT MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, AND OFFICE PARK OF HINSDALE, A PARTNERSHIP, DATED DECEMBER 30, 1971 AND RECORDED FEBRUARY 24, 1972 AS DOCUMENT R72-9137, RELATING TO INTERCEPTOR PIPES, LIFT STATION, WATER STORAGE AND PUMPING STATION, FORCE MAINS AND MAINTENANCE AND OPERATION OF WATER WELLS AND DISTRIBUTION SYSTEM, TOGETHER WITH THE PROVISIONS AND CONDITIONS CONTAINED THEREIN.

NOTE: BY QUITCLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

6. GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A PARTNERSHIP, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69217, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT "A" AND EXHIBIT "B" AND MADE A PART THEREOF.
7. GRANT OF EASEMENT MADE BY HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED NOVEMBER 9, 1972 AND RECORDED NOVEMBER 6, 1973 AS DOCUMENT R73-69216, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS AND FOR WATER MAINS FOR THE PURPOSE OF CONVEYING WATER, ALL AS DESCRIBED ON THE PLAT ATTACHED THERETO AS EXHIBIT "A" AND MADE A PART THEREOF.

8. EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT, FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.
9. AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 62019, AND AS TRUSTEE UNDER TRUST NUMBER 61116, AND CATHERINE SOUSTEK, DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02365 AND R2001-197280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITING THE PREMISES IN QUESTION.
10. EASEMENT CREATED BY A GRANT RECORDED ON OCTOBER 6, 1978 AS DOCUMENT R78-96678, FROM THE DROVERS NATIONAL BANK OF CHICAGO, A NATIONAL BANKING ASSOCIATION, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67927, TO THE ILLINOIS BELL TELEPHONE COMPANY, ITS SUCCESSORS AND ASSIGNS, FOR THE RIGHT TO CONSTRUCT, RECONSTRUCT, ADD TO, REMOVE, OPERATE AND MAINTAIN COMMUNICATION SYSTEMS CONSISTING OF WIRES, CABLES, ETC., OVER A STRIP OF LAND 10 FEET IN WIDTH AS SET FORTH ON EXHIBIT "A" OF SAID DOCUMENT.
11. GAS MAIN EASEMENT MADE BY PAUL SCHWENDENER AND OFFICE PARK OF HINSDALE, TO NORTHERN ILLINOIS GAS COMPANY, DATED OCTOBER 19, 1967 AND RECORDED NOVEMBER 14, 1967 AS DOCUMENT NUMBER R67-46566, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WESTERLY 1/2 OF THE PRIVATE ROAD KNOWN AS "SALT CREEK LANE": INCLUDING THE WESTERLY 1/2 OF THE WEST BOUND TURN LANE LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

(FOR FURTHER PARTICULARS, SEE RECORD.)
12. LICENSE AGREEMENT MADE BY AND BETWEEN OFFICE PARK OF HINSDALE AND DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 61116, DATED FEBRUARY 15, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AND SUPPLEMENTAL DECLARATION RECORDED AS DOCUMENT R79-107322, AND SUPPLEMENTARY DECLARATION OF LICENSE RECORDED AS DOCUMENT R77-117083 RELATING TO INGRESS AND EGRESS TO AND FROM OGDEN AVENUE OVER AND ACROSS THE PRIVATE ROADS KNOWN AS SALT CREEK LANE AND ELM STREET, FURTHER PROVIDING FOR THE TERMINATION OF THIS AGREEMENT TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN.

13. OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-200111, AND RE-RECORDED JANUARY 10, 2006, AS DOCUMENT R2006-005825, MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001 ,AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, L.L.C., AND AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT R2012-024784.
14. EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-006821 AND AMENDED BY DOCUMENT R89-072896, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.
15. GRANT MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67297, TO THE COMMONWEALTH EDISON COMPANY, A CORPORATION OF ILLINOIS, AND THE ILLINOIS BELL TELEPHONE COMPANY, A CORPORATION OF ILLINOIS, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, DATED JUNE 30, 1969 AND RECORDED JULY 8, 1969 AS DOCUMENT R69-30059, OF AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO THE SAME AND THEIR RIGHT, FROM TIME TO TIME TO TRIM OR REMOVE TREES, BUSHES AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT THEREIN GIVEN IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE LAND, DESCRIBED AS FOLLOWS:

STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON THE ATTACHED SKETCH MARKED EXHIBIT "A" AND MADE A PART THEREOF.
16. PURSUANT TO THE PLAT OF OFFICE PARK OF HINSDALE, AFORESAID, THERE SHALL BE NO DIRECT ACCESS TO OGDEN AVENUE (U.S. ROUTE 34) FROM LOTS 2, 3, 7 AND 8. ACCESS TO BE PROVIDED VIA ELM STREET AND SALT CREEK LANE. ACCESS TO EACH LOT VIA SALT CREEK LANE AND ELM STREET.
17. RESTRICTIVE COVENANT FOR CONSTRUCTION OF AN IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY RECORDED JANUARY 10, 2003, AS DOCUMENT R2003-012913, MADE BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC, RELATING TO A LAWN SPRINKLER SYSTEM.
18. EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.

19. ANY AND ALL MATTERS THAT WOULD BE DISCLOSED IN A CURRENT SURVEY OF THE PROPERTY.



VILLAGE OF HINSDALE FOUNDED IN 1873

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: Mouse Motors, Inc. d/b/a Mouse Automotive Inc.

Address: 5758 W. Fillmore Steet

City/Zip: Chicago IL 60644

Phone/Fax: (312) 635-6482 /

E-Mail: MM@mouse-motors.com

Owner

Name: 2 Salt Creek Lane LLC

Address: 5758 W. Fillmore Steet

City/Zip: Chicago IL 60644

Phone/Fax: (312) 635-6482 /

E-Mail: MM@mouse-motors.com

Others, if any, involved in the project (i.e. Archite ct, Attorney, Engineer)

Name: Jesse Treuden / The Redmond Company

Title: Architect

Address: W228 N745 Westmound Dr

City/Zip: Waukesha WI 53186

Phone/Fax: (262) 933-8288 /

E-Mail: jtreuden@theredmondco.com

Name: Anastas Shkurti / Robbins DiMonte, Ltd

Title: Attorney at Law

Address: 216 West Higgins Road

City/Zip: Park Ridge IL 60068

Phone/Fax: (847) 698-9600 x 2290

E-Mail: ashkurti@robbinsdimonte.com

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

- 1) N/A
- 2) _____
- 3) _____

4) **II. SITE INFORMATION**

Address of subject property: #2 Salt Creek Lane, Hinsdale, IL 60521

Property identification number (P.I.N. or tax number): 09-01-207-012

Brief description of proposed project:

New 40,000 SF +/-, 2 story auto dealership. Project was previously approved, per Ordinance 02023-15. Changes to previously approved plans are being proposed.

General description or characteristics of the site: Vacant site with existing paving from previous development.

Existing zoning and land use: B-3 (BUSINESS)

Surrounding zoning and existing land uses:

North: O3 office

South: B3 Business

East: O3 Office

West: O3 Office

Proposed zoning and land use:

Existing square footage of property: 95,893 square feet

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☒ Site Plan Approval 11-604

Map and Text Amendments 11-601E
Amendment Requested: _____

☐ Design Review Permit 11-605E

☒ Exterior Appearance 11-606E

Planned Development 11-603E

Special Use Permit 11 -602E

Special Use Requested: _____

Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: #2 Salt Creek Lane Hinsdale, IL 60521

The following table is based on the B3 Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)	6,250 sqft	95,893 sqft
Minimum Lot Depth	125'-0"	357'-3"
Minimum Lot Width	50'-0"	297'-5"
Building Height	30ft	30ft
Number of Stories	2 stories	2 stories
Front Yard Setback	25'-0"	52'-2"
Corner Side Yard Setback	25'-0"	57'
Interior Side Yard Setback	10'-0"	10'-8"
Rear Yard Setback	20'-0"	115'-9 ½"
Maximum Floor Area Ratio (F.A.R.)*	50%	38,898 / 95,893 = 40.5%
Maximum Total Building Coverage*	na	
Maximum Total Lot Coverage*	90%	64,138 / 95,893 = 66.8%
Parking Requirements	Per ordinance 02023-17 46 parking spaces allowed in lieu of the 119 spaces required. (Reduction of 73 spaces)	46 parking spaces are still being provided, as previously approved. Due to minor floor plan changes, 118 spaces are now required. (Reduction of 72 spaces)
Parking front yard setback	25'-0"	52'-2"
Parking corner side yard setback	20'-0"	57'-0"
Parking interior side yard setback	10'-0"	10'-8"
Parking rear yard setback	20'-0"	22'-4"
Loading Requirements	1 bay	1 bay
Accessory Structure Information	na	na

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: # This development does not meet the technical parking standards as defined in the current

zoning ordinance. The actual use does not demand the amount required per zoning. Zoning does not adequately address

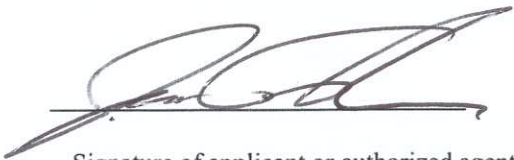
the specific use. A variance will need to be approved via the Village approval process.

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 14th day of February, 2024, I/We have read the above certification, understand it, and agree to abide by its conditions.



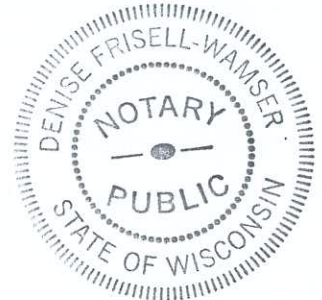
Signature of applicant or authorized agent

Jesse Treuden

Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent



SUBSCRIBED AND SWORN

to before me this 14th day of February 2024

Notary Public

4

Denise Frisell-Wamser
Denise Frisell-Wamser
expires 8/16/2027



**COMMUNITY DEVELOPMENT
DEPARTMENT
EXTERIOR APPEARANCE AND
SITE PLAN REVIEW CRITERIA**

Address of proposed request: 2 Salt Creek Lane, Hinsdale, IL 60521

REVIEW CRITERIA

Section 11-606 of the Hinsdale Zoning Code regulates Exterior appearance review. The exterior appearance review process is intended to protect, preserve, and enhance the character and architectural heritage and quality of the Village, to protect, preserve, and enhance property values, and to promote the health, safety, and welfare of the Village and its residents. Please note that Subsection Standards for building permits refers to Subsection 11-605E Standards and considerations for design permit review.

*****PLEASE NOTE*** If this is a non-residential property within 250 feet of a single-family residential district, additional notification requirements are necessary. Please contact the Village Planner for a description of the additional requirements.**

FEES for Exterior Appearance/Site Plan Review:

Standard Application: \$600.00

Within 250 feet of a Single-Family Residential District: \$800

Below are the criteria that will be used by the Plan Commission, Zoning and Public Safety Committee and Board of Trustees in reviewing Exterior Appearance Review requests. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

1. *Open spaces.* The quality of the open space between buildings and in setback spaces between street and facades.

Answer: Open space is designed to match and spotlight the architecture of the building. Open space uses a modern aesthetic and integrates landscaping with strategic plantings in primary locations. Existing mature trees along Ogden are intended to remain as they complement the overall design.

2. *Materials.* The quality of materials and their relationship to those in existing adjacent structures.

Answer: The materials selected are in line with other auto retail developments along Ogden Ave. The architecture is contemporary and compliments adjacent structures, particularly the Land Rover dealership across Ogden Ave.

3. *General design.* The quality of the design in general and its relationship to the overall character of neighborhood.

Answer: The design is high end. It adopts the essential nature of the cars sold and serviced therein: personal, lustrous, and vibrant. Rather than a monolithic boxy structure like a typical auto dealership, this project has many woven features which break the overall size down to a smaller perspective. Such innovative perspective adapts the building to fitting very well within the Office Park, Ogden Ave., and the neighborhood in general.

4. *General site development.* The quality of the site development in terms of landscaping, recreation, pedestrian access, auto access, parking, servicing of the property, and impact on vehicular traffic patterns and conditions on-site and in the vicinity of the site, and the retention of trees and shrubs to the maximum extent possible.

Answer: The general design intent is to avoid having a “sea of asphalt”. The landscaping on the Ogden Ave. side utilizes the 100’ wide setback from center of the street to create a pleasant view, comprising of grown and new trees, feather reed grass, shrubs, and flowers. The plans retain the several existing trees and shrubs. Most existing deciduous trees are intending to remain along Ogden and the perimeter of the site.

Behind the building, the landscaping divides the parking lot into smaller parking zones with healthy green space plantings in between. This feature helps vehicular circulation within the parking lot and enhances pedestrian and auto safety. Access to the parking lot will remain at the same location as it currently is from Ogden Ave, to Salt Creek Ln, to Tower Dr, and then on to the site. This way, the site plan guides the visitors inside the property. The site will continue to be serviced similarly to how it is now, and there will be and no negative impact on vehicular traffic patterns and conditions on-site and in its vicinity. There will be a secondary exit to Tower Dr at the current existing access drive. The main customer entrance to the building will be in the rear of the building and closest to the parking lot to enhance pedestrian access and safety. In addition, the Applicant will install safety gates and extend the iron rod fence to further enhance public health and safety.

There are no outdoor recreation or seating areas. The exterior walls create linear outdoor gathering spaces on a lower (patios) and upper level (balconies). Such outdoor spaces are a unique standard not found at neighboring properties but contribute substantially to the architecture of the space.

The existing underground storm trap structure will be expanded and modified as needed to meet storm requirements. The refuse dumpster is kept at an isolated portion in the rear of the building far from customer traffic and parking.

5. *Height.* The height of the proposed buildings and structures shall be visually compatible with adjacent buildings.

Answer: The B-3 zoning classification limits the height of the building to 30 feet. This will be similar to the Land Rover dealership across the street. The design is for a 2-story structure that will maximize the allowed height. This height is in line with nearly all nearby properties. The structures immediately to the West and to the North of the subject site are slightly taller than the proposed facility.

6. *Proportion of front façade.* The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.

Answer: The front façade proportions are intentionally recessed and designed smaller than the permitted building line between the applicable setbacks for the purpose of meeting the Hinsdale image. The design is well balanced and will blend in with neighboring structures.

7. *Proportion of openings.* The relationship of the width to the height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.

Answer: The window openings are set based on the overall proportion of the building and the wall they are set in. The general intent with the primary, forward facing façades on Ogden Ave., and Salt Creek Ln., is to make them transparent with an abundance of glass. More private functions such as inner offices and service areas have less glass, but still create the illusion of an opening with the material transitions.

8. *Rhythm of solids to voids in front facades.* The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.

Answer: The main structural frame sets the overall building shape and proportion of the primary facade. The exterior walls alternate between pushing, pulling, and receding within that framework to create the rhythm of the façade. Secondary walls using material transitions to replicate the feel of the primary façade.

9. *Rhythm of spacing and buildings on streets.* The relationship of a building or structure to the open space between it and adjoining buildings or structures shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Answer: The building is scaled to fit well within the permitted building area to allow for a cohesive balance of open space, streets, and structure with the adjoining buildings.

10. *Rhythm of entrance porch and other projections.* The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.

Answer: A main entry cube will be visible from Salt Creek Ln., and it will serve as the primary entry point for pedestrian access. It is positioned to be identifiable from the public way and will have connectors allowing for an easy connection from the parking lot and from the sidewalk along Salt Creek Ln.

11. *Relationship of materials and texture.* The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials to be used in the buildings and structures to which it is visually related.

Answer: The material palate is limited in quantity to create a cohesive design package. All materials have a texture that is appropriate for the scale of the architecture. The materials include: clear glass, light grey composite metal panel (ACM), black / dark grey composite metal panel (ACM), wood resin siding, illuminated acrylic for the wall sign and new masonry wall inset between existing brick piers. These materials are visually compatible with those of the buildings from Ogden Ave and they also complement the immediately adjacent buildings and structure in the office park.

12. *Roof shapes.* The roof shape of a building shall be visually compatible with the buildings to which it is visually related.

Answer: The overall all roof profile is flat. The edge undulates along the primary façades.

13. *Walls of continuity.* Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosure along a street to ensure visual compatibility with the buildings, public ways, and places to which such elements are visually related.

Answer: The façade of the building wraps around the intersection of Ogden Ave., and Salt Creek Ln., because it is designed to maximize the visibility of the vehicles within. The existing decorative fence will remain because it connects all neighboring properties and encloses the facility. This existing fence has been incorporated in the landscape architecture which is linked to the overall aesthetics. A new masonry wall inset between existing brick piers with logo will provide additional enclosure.

14. *Scale of building.* The size and mass of buildings and structures in relation to open spaces, windows, door openings, porches, and balconies shall be visually compatible with the buildings, public ways, and places to which they are visually related.

Answer: The primary exterior walls push, pull, and recede along the street edge which create linear outdoor gathering spaces on a lower (patios) and upper level (balconies). The outdoor spaces provided are an elevated standard not present at neighboring properties, but contribute substantially to the architecture of the space.

15. *Directional expression of front elevation.* The buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this be vertical character, horizontal character, or nondirectional character.

Answer: There is a horizontal overall character due to the voids between the adjoining structures in the Office Park. The horizontal character is broken down along the street edge by the structural frame. This structural frame has a rectilinear approach that is in keeping with neighboring structures.

16. *Special consideration for existing buildings.* For existing buildings, the Plan Commission and the Board of Trustees shall consider the availability of materials, technology, and craftsmanship to duplicate existing styles, patterns, textures, and overall detailing.

Answer: NA

REVIEW CRITERIA – Site Plan Review

Below are the criteria that will be used by the Plan Commission and Board of Trustees in determining if the application does not meet the requirements for Site Plan Approval. Briefly describe how this application will not do the below criteria. Please respond to each criterion as it relates to the application. Please use an additional sheet of paper to respond to questions if needed.

Section 11-604 of the Hinsdale Zoning Code regulates Site Plan Review. The site plan review process recognizes that even those uses and developments that have been determined to be generally suitable for location in a particular district are capable of adversely affecting the purposes for which this code was enacted unless careful consideration is given to critical design elements.

1. The site plan fails to adequately meet specified standards required by the Zoning Code with respect to the proposed use or development, including special use standards where applicable.

Answer: The proposed site plan meets specified standards required by the zoning code and ordinance 02023-17

2. The proposed site plan interferes with easements and rights-of-way.

Answer: The proposed site plan does not interfere with easements and rights-of-way. A few existing utility easements will be relocated or abandoned as part of this development which are in line with most other new developments.

3. The proposed site plan unreasonably destroys, damages, detrimentally modifies, or interferes with the enjoyment of significant natural, topographical, or physical features of the site.

Answer: The proposed site plan does not create such negative destruction or modification. The site is relatively flat and has been in that condition since the previous building was demolished in 2012. With respect to natural, topographical, and physical features, the site will be developed in a similar manner as it had been in the past.

4. The proposed site plan is unreasonably injurious or detrimental to the use and enjoyment of surrounding property.

Answer: The proposed site plan will not have any negative effects on the surrounding properties in the Office Park or across Ogden Ave. The site is located along the Southern-most boundary of Office Park. Customers and visitors who will drive to the site will have minimum contacts with the other Office Park lots. The proposed use is a unique and nontraditional dealership with exceptionally low traffic and on-site unit sales. The entire development is well within the building setbacks and the buildable area of the lot. The development also complements the property immediately to the south, which is itself a dealership selling Jaguar / Land Rover vehicles. The site plan and use will be quiet in nature. This is not a loud development. It is intended to be peaceful and work very well with nature.

5. The proposed site plan creates undue traffic congestion or hazards in the public streets, or the circulation elements of the proposed site plan unreasonably creates hazards to safety on or off site or disjointed, inefficient pedestrian or vehicular circulation paths on or off the site.

Answer: The proposed site plan will not create undue traffic congestion or hazards in the public streets, and it will not create inefficient pedestrian or vehicular circulation paths. Access to the parking lot of the development will remain at substantially the same location as it is currently from Ogden Ave, to Salt Creek Ln, to Tower Dr, and then on to the site. The parking lot behind the building is divided into smaller parking zones by well-designed landscaping. This feature facilitates vehicular circulation within the parking lot and enhances pedestrian and auto safety. The site plan guides the visitors in the property. The main customer entrance to the building will be in the rear of the building and closest to the parking

lot to enhance pedestrian access and safety. The proposed use is a unique and nontraditional dealership with exceptionally low traffic and on-site unit sales. The proposed use will generate approximately 44% less vehicular traffic than an office space building one-half the size of the proposed dealership.

6. The screening of the site does not provide adequate shielding from or for nearby uses.

Answer: The site development provides abundant screening and shielding from or for nearby uses. Most screening is existing and intended to remain. The site has been vacant for several years which has allowed the trees surrounding the Lot to grow and mature. Most of these trees along Ogden Ave, Salt Creek Ln, and Tower Dr will remain in place. Additional shrubs will be planted along the western perimeter of the building to further shield it from the lot to the west.

7. The proposed structures or landscaping are unreasonably lacking amenity in relation to, or are incompatible with, nearby structures and uses.

Answer: The proposed structures and the landscaping have abundant amenities and are wholly compatible with nearby structures and uses. The design objective is to exceed landscape ordinance requirements for proposed B-3 zoning, while balancing the overall budget of the project. With the increased open space in this development, the proportions should be in excess compared to other developments.

8. In the case of site plans submitted in connection with an application for a special use permit, the proposed site plan makes inadequate provision for the creation or preservation of open space or for its continued maintenance.

Answer: The site plans are not submitted in connection with an application for a special use permit.

9. The proposed site plan creates unreasonable drainage or erosion problems or fails to fully and satisfactorily integrate the site into the overall existing and planned ordinance system serving the community.

Answer: The plan does not create drainage or erosion problems for the site. The development plan is to utilize an existing Storm Trap structure and expand it accordingly to accommodate storm water requirements.

10. The proposed site plan places unwarranted or unreasonable burdens on specified utility systems serving the site or area or fails to fully and satisfactorily integrate the site's utilities into the overall existing and planned utility system serving the Village.

Answer: The plan will seamlessly incorporate the proposed development's utilities into the existing utility system and will not unreasonably burden it. This is a low intensity use that will be a lower burden on the Village than past developments on this same site or alternative commercial or office uses.

11. The proposed site plan does not provide for required public uses designated on the Official Map. **Answer: N/A.**

12. The proposed site plan otherwise adversely affects the public health, safety, or general welfare.

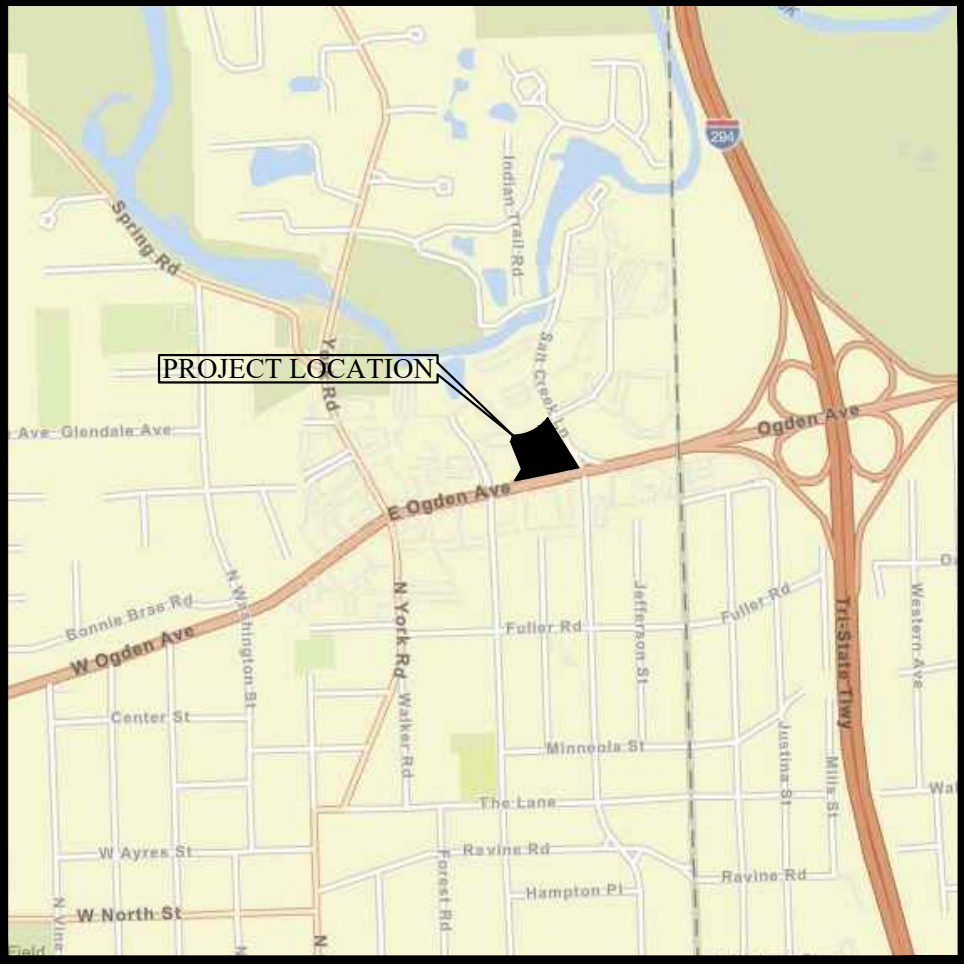
Answer: The site plan does not adversely affect the public health, safety, or general welfare. Instead, this project is a great fit for the location. It will be a quiet development that will still be a valuable contributor to the community's synergy with neighboring upscale retailers. The site plan layout is excessive for the actual use of the building. Its impact to general community is very minimal. This is a best-case scenario for the Village given the low-intensity use and potential tax-revenue related to Applicant's low-key foot traffic but high-dollar vehicles. The owners' association also supports the proposals. McLaren Chicago will become a Village attraction.

Mouse Motors

Major Adjustment



SHEET INDEX
SURVEY
SITE PLAN
SITE PLAN DETAILS
LANDSCAPE DRAWING
AREA DIAGRAMS
EXTERIOR ELEVATIONS - SOUTH
EXTERIOR RENDERINGS - SOUTH
EXTERIOR ELEVATIONS - EAST
EXTERIOR RENDERINGS - EAST
EXTERIOR ELEVATIONS - NORTH
EXTERIOR RENDERINGS - NORTH
EXTERIOR ELEVATIONS - WEST
EXTERIOR ELEMENTS
ROOF PLAN & PERSPECTIVE VEIWS
SITE LIGHTING PLAN



VICINITY MAP
NO SCALE

SCHEDULE B EXCEPTIONS

SHOWN OR NOTED HEREON

12 TERMS AND PROVISIONS OF STORMWATER FACILITY MAINTENANCE AGREEMENT RECORDED JANUARY 10, 2013 AS DOCUMENT NO. R2013-005216

13 (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENT DESCRIBED AS PARCELS 2 AND 3 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENT.

(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT.

17 EASEMENT MADE BY AND BETWEEN THE HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, AND OFFICE PARK OF HINSDALE, A PARTNERSHIP, DATED DECEMBER 19, 1971 AND RECORDED FEBRUARY 24, 1972 AS DOCUMENT R72-9137, RELATING TO INTERCEPTOR PIPES, LIFT STATION, WATER STORAGE AND PUMPING STATION, FORCE MAINS, MAINTENANCE AND OPERATION OF WATER WELLS AND DISTRIBUTION SYSTEMS TOGETHER WITH THE PROVISIONS AND CONDITIONS CONTAINED THEREIN.

NOTE: BY QUIT CLAIM DEED RECORDED MAY 27, 1981 AS DOCUMENT R81-27229, HINSDALE SANITARY DISTRICT CONVEYED ITS INTEREST IN SAID EASEMENT TO THE VILLAGE OF OAK BROOK.

18 GRANT OF EASEMENT MADE BY OFFICE PARK OF HINSDALE, A MUNICIPAL CORPORATION, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED AUGUST 13, 1973, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS DESCRIBED ON THE PLATS ATTACHED THERETO AS EXHIBIT 'A' AND EXHIBIT 'B' AND MADE A PART THEREOF.

19 GRANT OF EASEMENT MADE BY HINSDALE SANITARY DISTRICT, A MUNICIPAL CORPORATION, TO THE VILLAGE OF HINSDALE, A MUNICIPAL CORPORATION, AND ITS ASSIGNS, DATED NOVEMBER 6, 1972, OF EASEMENTS FOR THE EXISTING WATER WELLS AND PUMPING STATIONS AND FOR WATER MAINS FOR THE PURPOSE OF CONVEYING WATER ALL AS DESCRIBED ON THE PLAT ATTACHED THERETO AS EXHIBIT 'A' AND MADE A PART THEREOF.

20 EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DATED JULY 21, 1980 AND RECORDED SEPTEMBER 23, 1980 AS DOCUMENT R80-57056, FROM OFFICE PARK OF HINSDALE AND HINSDALE SANITARY DISTRICT, FOR STORM AND SURFACE WATER CONTROL AND SANITARY SEWER PURPOSES.

21 AGREEMENT MADE BY AND BETWEEN DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 62019, AND AS TRUSTEE UNDER TRUST NUMBER 61116, AND CATHOLIC SODIETY DATED JUNE 7, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823, WITH AMENDMENTS THERETO RECORDED AS DOCUMENTS R73-35331, R81-02369 AND R2001-197280, RELATING TO PERPETUAL AND NON-EXCLUSIVE EASEMENT AND COVENANTS APPURTENANT TO AND BENEFITTING THE PREMISES IN QUESTION.

22 EASEMENT CREATED BY A GRANT RECORDED ON OCTOBER 6, 1978 AS DOCUMENT R78-86678, FROM THE DROVERS NATIONAL BANK OF CHICAGO, A NATIONAL BANKING ASSOCIATION, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67297, TO THE ILLINOIS BELL TELEPHONE COMPANY, ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO CONSTRUCT, RECONSTRUCT, ADD TO, REMOVE, OPERATE AND MAINTAIN COMMUNICATION SYSTEMS CONSISTING OF WIRES, CABLES, ETC., OVER A STRIP OF LAND 10 FEET IN WIDTH AS SET FORTH ON EXHIBIT 'A' OF SAID DOCUMENT.

24 GAS MAIN EASEMENT MADE BY PAUL SCHWENDENER AND OFFICE PARK OF HINSDALE, TO NORTHERN ILLINOIS GAS COMPANY, DATED OCTOBER 19, 1967 AND RECORDED NOVEMBER 14, 1967 AS DOCUMENT NUMBER R67-40566, GRANTING A PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR THE PURPOSE OF LAYING, MAINTAINING, OPERATING, RENEWING, REPLACING AND REMOVING GAS MAINS AND ANY NECESSARY GAS FACILITIES APPURTENANT THERETO, TOGETHER WITH THE RIGHT OF ACCESS THERETO FOR SAID PURPOSES, IN, UPON, UNDER, ALONG AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

THE WESTERLY 1/2 IF THE PRIVATE ROAD KNOWN AS SALT CREEK LANE, INCLUDING THE WESTERLY 1/2 OF THE WESTBOUND TURN LANE LOCATED IN THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

26 LICENSE AGREEMENT MADE BY AND BETWEEN OFFICE PARK OF HINSDALE AND DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST NUMBER 61116, DATED FEBRUARY 15, 1973 AND RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AND SUPPLEMENTARY DECLARATION OF LICENSE RECORDED AS DOCUMENT R77-117083, RELATING TO INGRESS AND EGRESS TO AND FROM OGDEN AVENUE OVER AND ACROSS THE PRIVATE ROAD KNOWN AS SALT CREEK LANE AND ELM STREET, FURTHER PROVIDING FOR THE TERMINATION OF THIS AGREEMENT TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN.

27 OFFICE PARK OF HINSDALE DECLARATION OF EASEMENTS AND OPERATING COVENANTS DATED APRIL 2003 AND RECORDED MAY 29, 2003, AS DOCUMENT R2003-00011, AND RE-RECORDED JANUARY 10, 2008, AS DOCUMENT R2008-005825, MADE BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND FOXFORD, LLC, AND AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT R2012-024764.

28 EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-008621 AND AMENDED BY DOCUMENT R89-072897, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.

29 GRANT MADE BY DROVERS NATIONAL BANK OF CHICAGO, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 30, 1967 AND KNOWN AS TRUST NUMBER 67297, TO THE COMMONWEALTH Edison COMPANY, A CORPORATION OF ILLINOIS, AND THE ILLINOIS BELL TELEPHONE COMPANY, CORPORATION OF ILLINOIS, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, DATED JUNE 30, 1969 AND RECORDED JULY 6, 1969 AS DOCUMENT R69-008621, OF AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, RENEW, RELOCATE AND REMOVE FROM TIME TO TIME WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS AND OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, SOUNDS AND SIGNALS, TOGETHER WITH RIGHT OF ACCESS TO THE SAME AND THEIR RIGHT, FROM TIME TO TIME TO TRIM OR REMOVE TREES, BUSHES AND SAFELINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE GRANT THEREIN GIVEN IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE LAND DESCRIBED AS FOLLOWS:

STRIPS OF LAND 10 FEET IN WIDTH AS SHOWN SHADED ON THE ATTACHED SKETCH MARKED EXHIBIT 'A' AND MADE A PART THEREOF.

30 PURSUANT TO THE PLAT OF OFFICE PARK OF HINSDALE, AFORESAID, THERE SHALL BE NO DIRECT ACCESS TO OGDEN AVENUE (U.S. ROUTE 34) FROM LOTS 2, 3, 7 AND 8. ACCESS TO BE PROVIDED VIA ELM STREET AND SALT CREEK LANE. ACCESS TO EACH LOT VIA SALT CREEK LANE AND ELM STREET.

31 TERMS AND PROVISIONS CONTAINED IN ACCESS EASEMENT AGREEMENT DATED DECEMBER 19, 2001 RECORDED DECEMBER 26, 2001 AS DOCUMENT R2001-284945, BY AND BETWEEN MIDWEST BANK AND TRUST COMPANY, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 8, 2001, AND KNOWN AS TRUST NUMBER 01-7933 AND ELM CREEK PROPERTY MANAGEMENT, INC. D/B/A OFFICE PARK OF HINSDALE, AND ILLINOIS CORPORATION AND HINSDALE HOSPITAL, AND ILLINOIS NOT-FOR-PROFIT CORPORATION.

32 RESTRICTIVE COVENANT FOR CONSTRUCTION OF AN IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY RECORDED JANUARY 10, 2003 AS DOCUMENT R2003-012924, MADE BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC, RELATING TO A LAWN SPRINKLER SYSTEM.

33 TERMS, PROVISIONS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN AMENDED AND RESTATED DEVELOPMENT AGREEMENT BY AND BETWEEN THE VILLAGE OF HINSDALE AND FOXFORD, LLC FOR THE HINSDALE CLUB, A MIXED-USE DEVELOPMENT RECORDED AUGUST 1, 2008 AS DOCUMENT R2008-105565.

34 EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, GRANTING AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, INCLUDING VEHICULAR AND PEDESTRIAN ACCESS, TO BENEFIT THE LAND AND OTHER PROPERTY, TOGETHER WITH RESTRICTIONS ON THE USE OF THE LAND.

SCHEDULE B EXCEPTIONS 8, 9, 10, 11, 14, 15, 16, 23, 25, 35, 36, 37, 38 AND 39 ARE NOT SURVEY RELATED AND THEREFORE NOT SHOWN.

LEGAL DESCRIPTION

PARCEL 1:

LOT 7 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS.

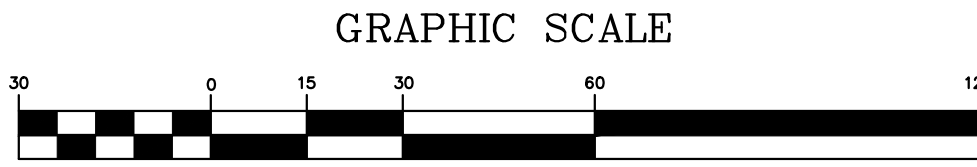
PARCEL 2:

NON-EXCLUSIVE, PERPETUAL EASEMENTS FOR THE BENEFIT OF PARCEL 1 AS CREATED BY AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33823 AS AMENDED BY DOCUMENTS R73-35331, R81-2365 AND R2001-197280, DESCRIBED IN RIDER DESCRIPTIONS 2, 4 AND 6 ATTACHED THERETO, AND BY EASEMENT GRANT RECORDED JANUARY 18, 1989 AS DOCUMENT R89-008621 AS AMENDED BY DOCUMENT R89-072897, AND AS CREATED BY EASEMENT GRANT RECORDED JUNE 20, 1989 AS DOCUMENT R89-072897, DESCRIBED IN EXHIBITS C1 THROUGH C3 ATTACHED THERETO, AND ALSO AS CREATED BY LICENSE AGREEMENT RECORDED JUNE 11, 1973 AS DOCUMENT R73-33822, AS SUPPLEMENTED BY SUPPLEMENTAL DECLARATION OF LICENSE RECORDED R77-117083 AND SUPPLEMENTAL DECLARATION OF LICENSE RECORDED AS DOCUMENT R79-107322, FOR THE PURPOSES OF INGRESS AND EGRESS OVER, UPON AND ACROSS EASEMENT PREMISES.

PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY DECLARATION OF EASEMENTS AND OPERATING COVENANTS RECORDED MAY 29, 2003, AS DOCUMENT R2003-00011, AND RE-RECORDED JANUARY 10, 2008 AS DOCUMENT R2008-005825 AND AMENDED BY AMENDMENT RECORDED FEBRUARY 27, 2012 AS DOCUMENT R2012-024764 FOR THE PURPOSE OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS UPON THE ROADWAYS, REPAIR, REPLACEMENT AND RENEWAL OF UTILITY IMPROVEMENTS, RETENTION, DETENTION AND DRAINAGE OF WATER, AND OVER COMMON IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO THE CLOCK TOWER, SIDEWALKS, LANDSCAPED AREAS AND POND FOR PEDESTRIAN INGRESS, EGRESS, ACCESS AND FOR PASSIVE RECREATIONAL PURPOSES OVER THE FOLLOWING DESCRIBED LAND: LOTS 1,2,3,4,5,7,8,9 AND 10 IN OFFICE PARK OF HINSDALE, BEING A SUBDIVISION OF PART OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 20, 2002, AS DOCUMENT R2002-243817, IN DUPAGE COUNTY, ILLINOIS.

ALTA/NSPS LAND TITLE
AND TOPOGRAPHIC SURVEY



STRIPED PARKING DATA
REGULAR SPACES = 14
ACCESSIBLE SPACES = 0
TOTAL SPACES = 14

AREA SUMMARY
(TO HEAVY LINES)
95,893 SQUARE FEET
OR
2.201 ACRES
(BASED ON MEASURED VALUES)

NOTES

- THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS OF RECORD AS IDENTIFIED IN TITLE COMMITMENT NUMBER R70202552 ISSUED BY FREEDOM TITLE CORPORATION HAVING AN EFFECTIVE DATE OF SEPTEMBER 27, 2021.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), ZONE 1201 (ILLINOIS EAST).
- THIS SITE FALLS WITHIN "OTHER AREAS" NO SCREEN AREA OF MINIMAL FLOOD HAZARD ZONE X, AS DEFINED BY THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 170108 0183, MAP NUMBER 1704SC0183J HAVING A REVISED DATE OF AUGUST 1, 2019.
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS, AND IS BASED ON FIELD WORK PERFORMED ON 11/04/2021.
- THE SURVEYOR CONTACTED J.U.L.I.E. FOR A DESIGN STAGE REQUEST FOR THIS SITE WHICH WAS ASSIGNED A DIG NUMBER OF A299 2639. INQUIRIES WERE SENT OUT TO THE VARIOUS UTILITY COMPANIES REQUESTING MAPS AND/OR ATLASES OF THEIR RESPECTIVE FACILITIES. THE INFORMATION RECEIVED TO DATE IS SHOWN HEREON.
- IN ACCORDANCE WITH TABLE A ITEM 16, NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- IN ACCORDANCE WITH TABLE A ITEM 17, NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES BASED ON INFORMATION RECEIVED FROM THE CONTROLLING JURISDICTION AT THE TIME OF THE SURVEY. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- STORMWATER FACILITY MAINTENANCE AGREEMENT RECORDED JANUARY 10, 2013 AS DOCUMENT NO. R2013-005216, GRANTS A BLANKET DRAINAGE EASEMENT OVER SUBJECT LOT. FACILITIES FOR STORMWATER ARE INDICATED BY PLANS THAT WERE NOT ATTACHED TO THE DOCUMENT, NOT PLOTTABLE.
- EASEMENTS DESCRIBED AS PARCELS 2 AND 3 CONTAINED IN THE INSTRUMENTS CREATING SAID EASEMENTS, INCLUDES THE SUBJECT PROPERTY, BLANKET IN NATURE, SEE DOCUMENTS FOR PARTICULARS. PLOTTABLE EASEMENTS ARE SHOWN HEREON.
- GRANT OF EASEMENTS DOCUMENT R72-9137 AND DOCUMENT R73-69217 (EXHIBIT B), IN PART INCLUDE THE SUBJECT SITE, PLOTTED HEREON.
- EASEMENT AND MODIFICATION OF EXISTING EASEMENTS CREATED BY A GRANT DOCUMENT R89-57056, ALLOWING RELOCATION, UPON APPROVAL, OF EXISTING VILLAGE WATER AND SEWER LINES, BLANKET IN NATURE, NOT PLOTTABLE.
- RE-STATEMENT DEVELOPMENT AGREEMENT DOCUMENT R2008-120585, INCLUDES THE SUBJECT SITE, CONTROLS DEVELOPMENT AND HAS NO PLOTTABLE SURVEY ITEMS.
- IN ACCORDANCE WITH TABLE A ITEMS 6(A) AND 6(B), A ZONING REPORT OR LETTER WAS NOT PROVIDED TO THE SURVEYOR FOR REVIEW.

UTILITY CONTACTS

DESIGN DIG A299 2639
19 E. CHICAGO AVENUE, HINSDALE, IL

CABLE
BROADCAST - MARTHA GIERAS
224-222-5862
MARTHA.GIERAS@BROADCAST.COM

ELECTRIC
COMED
630-576-7094

GAS
INTEC GAS
GASMAPS@INTEC.COM

COMMUNICATIONS
AT&T
G11629BATT.COM

CRONIN CASTLE
888-432-0031
FIBER.DIG@CRONINCASTLE.COM

MOI/VERIZON
INVESTIGATIONS@VERIZON.COM

WATER / SANITARY / STORM
VILLAGE OF HINSDALE
DAN DEETER P.E.
630-780-7030
DDEETER@VILLAGEOFHINSDALE.ORG

SURVEYOR'S CERTIFICATION

TO: SALT CREEK LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, LAKESIDE BANK, ITS SUCCESSORS AND/OR ASSIGNS, FREEDOM TITLE CORPORATION, CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 8, 9, 14, 16, 17 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 11/04/2021.

COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2023

DATE OF PLAT OR MAP: 12/10/2021

BY: DANIEL W. WALTER
IL PROFESSIONAL LAND SURVEYOR NO. 3585
LICENSE EXPIRES 11/30/22



UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM RECORDS SUPPLIED TO THE SURVEYOR. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES IN THE AREA. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES IN THE AREA. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES IN THE AREA.

BOOK 609 PG 53

DATE: 12-09-21

PC TK

DRAWN BY RHM

CHECKED BY MP

REVISIONS

NO.

PROJECT

2 Salt Creek Lane - Hinsdale

CLIENT

Vequity

27401 W. 130th Street, Suite 200

Chicago, IL 60607

ALTA SURVEYS & TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100

AURORA, IL 60502

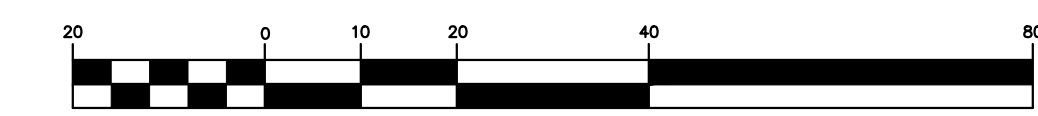
PHONE: (630) 820-9100 FAX: (630) 820-9030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: 1" = 30'

1 OF 2

ALTA/NSPS LAND TITLE
AND TOPOGRAPHIC SURVEY

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO REPRESENTATION AS TO THE ACCURACY OF THE RECORDS. ALL UTILITIES IN THE AREA OF THE SURVEY, INCLUDING BUT NOT LIMITED TO, ARE SHOWN AS LOCATED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE COMPLETELY ACCURATE. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR PERSONS OR PROPERTY CAUSED BY ANY ACTS OF NATURE OR ANY OTHER CAUSE. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR PERSONS OR PROPERTY CAUSED BY ANY ACTS OF NATURE OR ANY OTHER CAUSE. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR PERSONS OR PROPERTY CAUSED BY ANY ACTS OF NATURE OR ANY OTHER CAUSE.

DATE	BY
BOOK 609 PG 53	
CHECKED BY	MP
DRAWN BY	RHM
PC	TK
DATE	12-09-21
NO.	

PROJECT	2 Salt Creek Lane - Hinsdale
CLIENT	Vequity 2501 GINGER WOODS PARKWAY, STE. 100 AURORA, IL 60502 PHONE: (630) 820-9100 FAX: (630) 820-9100 EMAIL: ADMIN@CLISURVEYING.COM

COMPASS SURVEYING LTD
ALTA SURVEYS & TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-9100 EMAIL: ADMIN@CLISURVEYING.COM

LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

ABBREVIATIONS

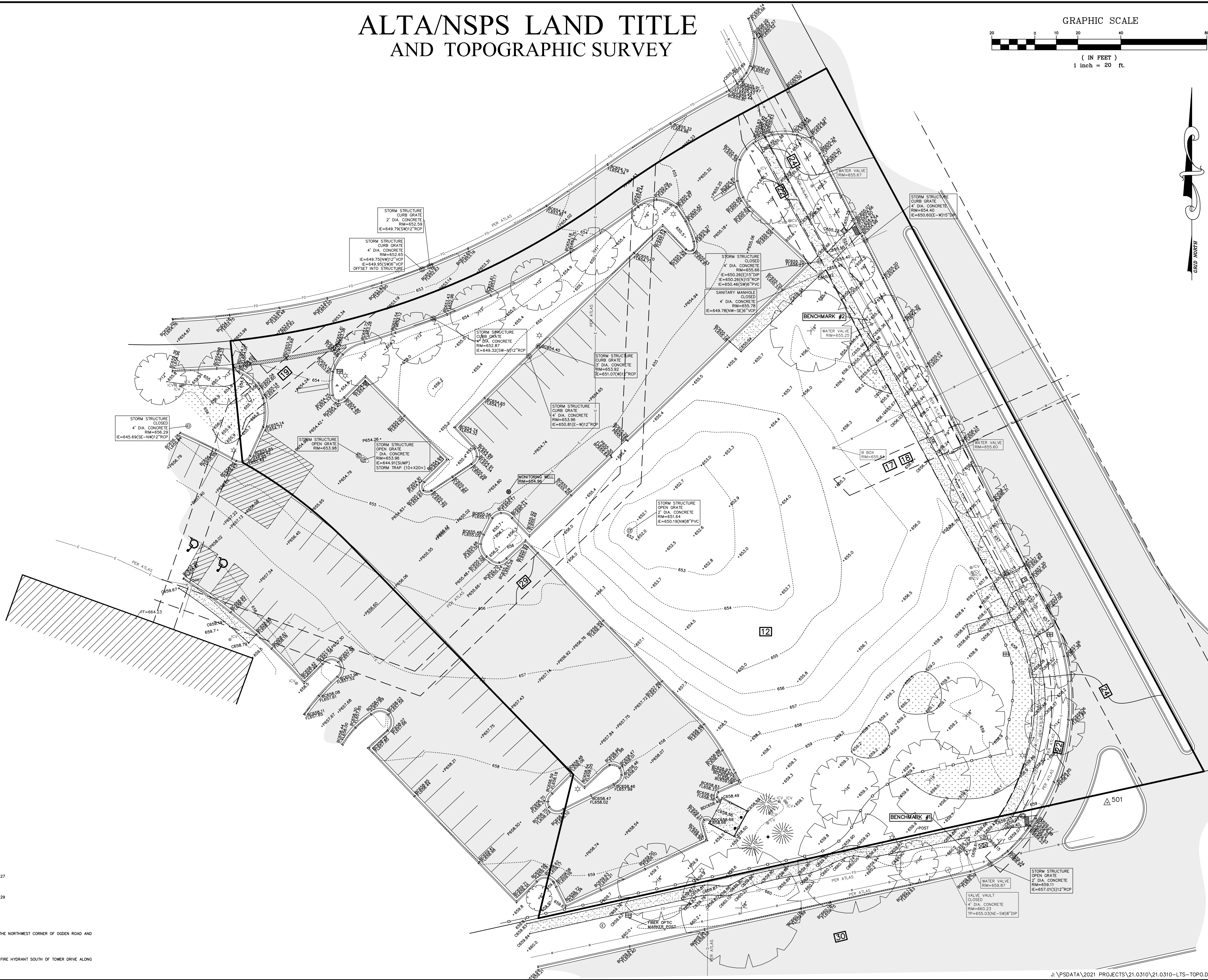
- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FES = FLARED END SECTION
- VCP = VITRIFIED CLAY PIPE
- DIP = DUCTILE IRON PIPE
- PVC = POLYVINYL CHLORIDE
- RCPI = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- S.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- BC = BACK OF CURB
- BDC = BACK OF DEPRESSED
- FL = FLOW LINE
- C = CONCRETE
- P = PAVEMENT
- EW = EDGE OF WALK
- TW = TOP OF WALL
- TP = TOP OF PIPE
- IE = INVERT ELEVATION
- PL = PROPERTY LINE
- DS = DOWN SPOUT
- S.F. = SQUARE FEET
- SL = SHORE LINE
- TSF = TRANSFORMER
- B = PAVERS

LEGEND

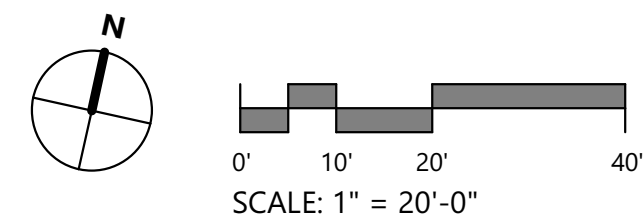
- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- CROSS IN CONCRETE
- MANHOLE
- STORM STRUCTURE
- SANITARY MANHOLE
- CLEANOUT
- FLARED END SECTION
- TRANSFORMER PAD
- ELECTRIC MANHOLE
- ELECTRIC BOX
- ELECTRIC PEDESTAL
- ELECTRIC MARKER
- ELECTRIC METER
- UTILITY POLE
- UTILITY POLE W/LIGHT
- UTILITY POLE W/TSF
- GUY POLE
- OVERHEAD TRAFFIC SIGNAL
- TRAFFIC SIGNAL MANHOLE
- LIGHT
- LIGHT POLE
- HAND HOLE
- VALVE VAULT
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- POST INDICATOR VALVE
- SIAMASE WATER CONNECTION
- WATER MARKER
- WATER METER
- VALVE BOX
- B/BOX
- SPRINKLER CONTROL VALVE
- TELEPHONE MANHOLE
- TELEPHONE NETWORK INTERFACE
- TELEPHONE MARKER
- TELEPHONE PEDESTAL
- CABLE TELEVISION PEDESTAL
- CONTROL BOX
- WETLAND FLAG
- GAS METER
- GAS VALVE
- GAS MARKER
- DOWN SPOUT
- BORING HOLE
- MONITORING WELL
- GATE POST
- BOLLARD POLE
- SIGN
- FLAG POLE
- MAILBOX
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC LINE
- OVERHEAD WIRES
- TELEPHONE LINE
- CONIFEROUS TREE W/APPROX. DIAMETER
- DECIDUOUS TREE W/APPROX. DIAMETER
- MULTI-STEM (DRIP LINE SHOWN IS APPROXIMATE)
- TREE LINE
- ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE SURFACE
- DEPRESSED CURB
- GRAVEL SURFACE
- LANDSCAPE AREA
- STONE SURFACE
- DETECTABLE TACTILE WARNING SURFACE
- BRICK PAVERS
- WOOD FENCE
- CHAIN LINK FENCE
- METAL FENCE
- METAL GUARDRAIL
- OVERHEAD TRAFFIC ARM

BENCHMARKS

- REFERENCE BENCHMARK:**
DUPAGE COUNTY BENCHMARK DK3127
DATUM: NAVD83
ELEVATION = 740.97
DUPAGE COUNTY BENCHMARK DK3129
DATUM: NAVD83
ELEVATION = 704.86
- SITE BENCHMARKS:**
SITE BENCHMARK #1
EAST BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF OGDEN ROAD AND SALT CREEK LANE.
ELEVATION = 661.55
SITE BENCHMARK #2
NORTHWEST BONNET BOLT ON 1ST FIRE HYDRANT SOUTH OF TOWER DRIVE ALONG WEST SIDE OF SALT CREEK LANE.
ELEVATION = 657.47



SITE INFORMATION			
ADDRESS: 2 SALT CREEK LANE		PARCEL SIZE: 2.201 ACRES (95,893 SF)	TAX KEY: 09-01-207-012
		ZONING: B-3 (BUSINESS)	
ZONING FOR B-3			
BUILDING HEIGHT		REAR YARDS	20'
MAX HEIGHT	30'	PROVIDED	22'-4"
PROPOSED HEIGHT	30'	SETBACKS	20'
		PROVIDED	115' 9 1/2"
LOT AREA AND DIMS		MAX FLOOR AREA RATIO	
MIN LOT AREA	6,250 SF	MAX FAR ALLOWED	50%
PROVIDED	95,893 SF	19,776 + 19,122 =	38,898 SQFT
MIN LOT WIDTH	50'	PROPOSED FAR	40.5%
PROVIDED	297'-5"		
MIN LOT DEPTH	125'		
PROVIDED	357'-3"		
MIN YARDS & SETBACKS		MAX LOT COVERAGE	
FRONT & CORNER SIDE		MAX COVERAGE	90%
YARDS	25'	64,138 / 95,893 = 67%	
PROVIDED	57'	PROPOSED COVERAGE	66.6%
FROM OGDEN CENTER	100'		
PROVIDED	103'-3"		
N/A	25'		
SIDE			
YARDS	10'		
PROVIDED	10'-8"		
SETBACK	10'		
PROVIDED	10'-8"		
AREAS			
BUILDING		MEASURED FAR	
		FIRST FLOOR	19,776 SQFT
		SECOND FLOOR	19,122 SQFT
		TOTAL	38,898 SQFT
NET AREA		FIRST FLOOR	17,011 SQFT
		SECOND FLOOR	15,407 SQFT
PARKING			
PARKING		1 STALL REQUIRED PER 275 SQFT OF NET AREA	
		NET AREA	32,418 SQFT
		32,418/275 = 118	
		STALLS REQUIRED	118
		STALLS PROVIDED	
		OUTDOOR	46



A1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

KEYNOTES PER SHEET	
0205-01	EXISTING LIGHT POLE TO REMAIN
0205-02	EXISTING FENCE TO REMAIN
0205-03	EXISTING MASONRY PIER
0241-01	REMOVE TOP OF EXISTING PIER, TO EXTENT INDICATED IN ELEVATION. SALVAGE PRECAST CAP FOR RE-USE.
0241-03	REMOVE EXISTING MASONRY PIER AND ASSOCIATED FOUNDATION
0420-07	8" GROUND FACE CMU SCREEN WALL
0550-02	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD (SHOP PRIME AND FIELD PAINT)
1044-05	KNOX BOX GATE KEY SWITCH FOR OVERRIDE OPERATION OF RETRACTABLE BOLLARDS AND PROPOSED VERTICAL PIVOT GATE
2110-03	FIRE DEPARTMENT CONNECTION
2605-02	GENERATOR (SEE ELECTRICAL DRAWINGS)
2805-01	CARD ACCESS AND INTERCOM FOR RETRACTABLE BOLLARDS
2805-02	CARD ACCESS AND INTERCOM FOR FUTURE VERTICAL PIVOT GATE
3213-02	CONCRETE PATIO (SEE CIVIL DRAWINGS)
3231-01	NEW ORNAMENTAL FENCE TO MATCH EXISTING
3231-02	PROPOSED AUTOMATIC VERTICAL PIVOT GATE TO MATCH FENCE. (NOT TO BE INCLUDED IN MASS GRADING PERMIT)
3231-03	INFILL OPENING WITH NEW ORNAMENTAL FENCE TO MATCH EXISTING. FIELD VERIFY OPENING SIZE.
3231-04	PROPOSED PIVOT GATE OPERATOR. (NOT TO BE INCLUDED IN MASS GRADING PERMIT)
3310-01	FIRE HYDRANT - SEE CIVIL DRAWINGS
3370-02	ELECTRICAL TRANSFORMER PAD (SEE CIVIL DRAWINGS)



W228 N74S WESTMOUND DRIVE | WAUKESHA, WISCONSIN 53186 | P: 262.549.9600

Mouse Motors

2 Salt Creek Ln, Hinsdale, IL 60521

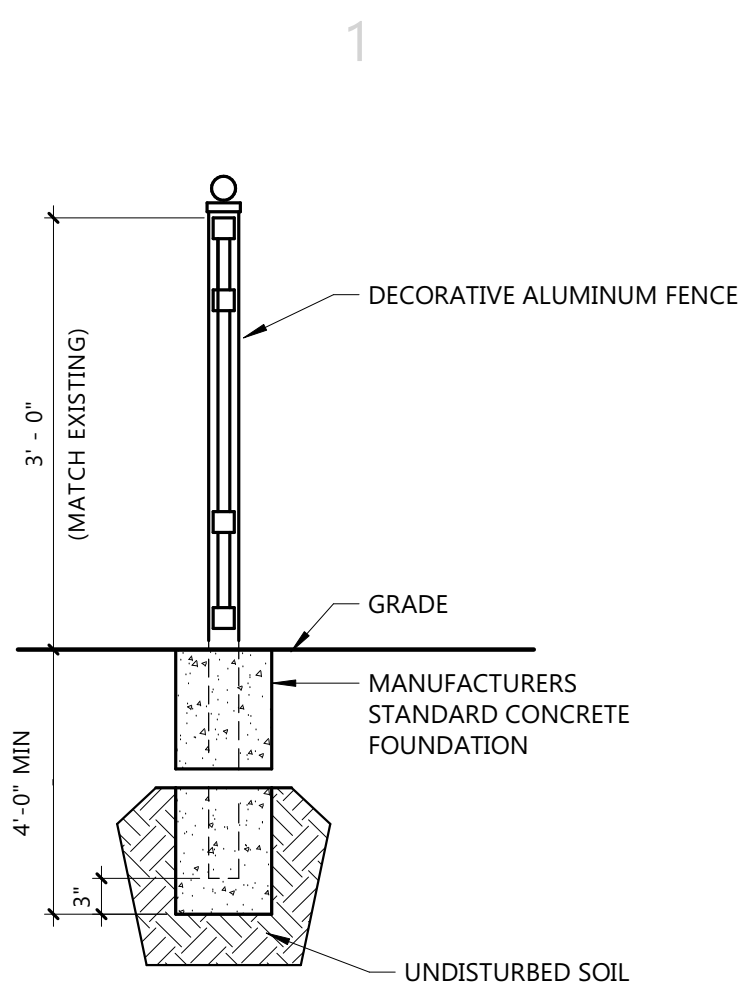
Bid Package 3

Project Number		22036
Date		4/5/2024
Revisions		
#	Description	Date
1	CB-01	11/20/2023
2	CB-02	4/5/2024

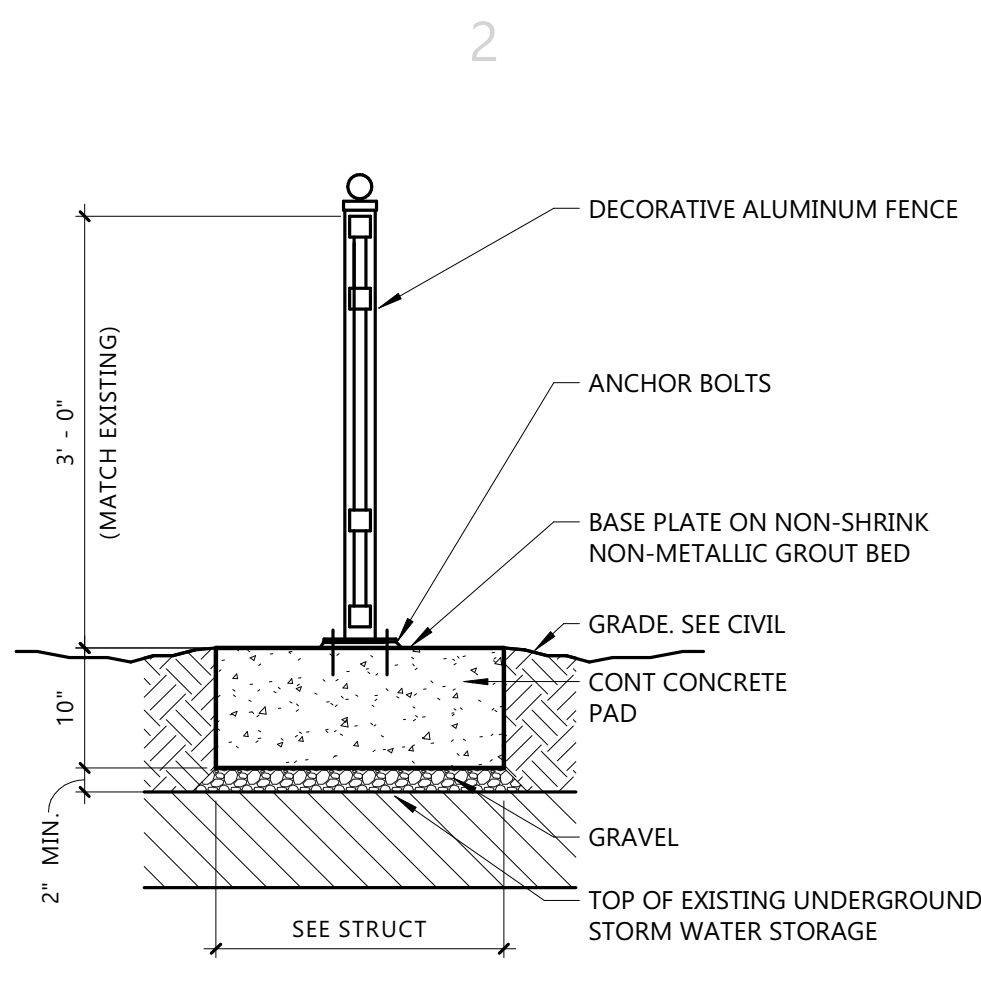
Architectural Site Plan

AS100

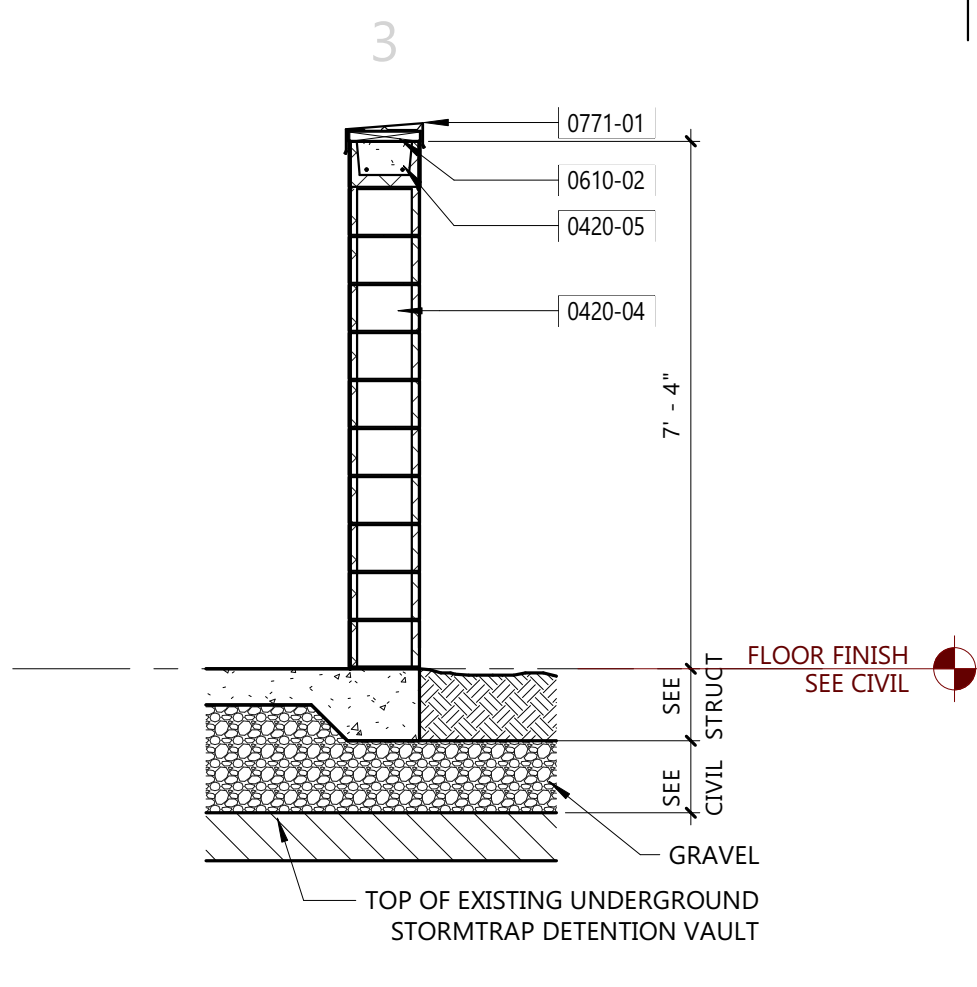
© 2024 The Redmond Company



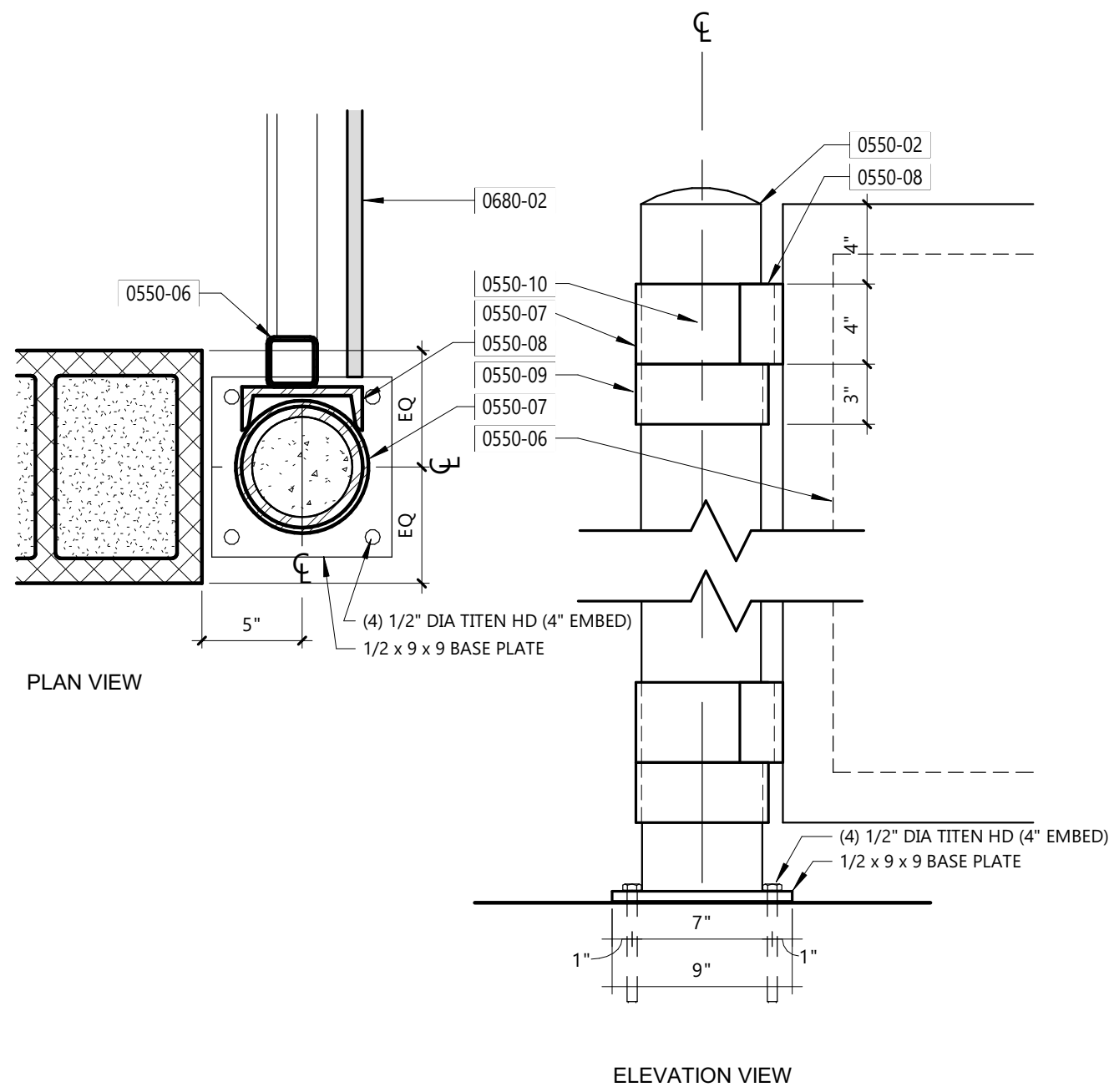
D1 FENCE POST FOUNDATION DETAIL
3/4" = 1'-0"



D2 FENCE POST FOUNDATION DETAIL - BOLT ON
3/4" = 1'-0"
(DIRECTLY ABOVE STORMTRAP DETENTION VAULT)



D3 DUMPSTER ENCLOSURE
3/8" = 1'-0"



C1 TRASH ENCLOSURE DETAILS
1 1/2" = 1'-0"

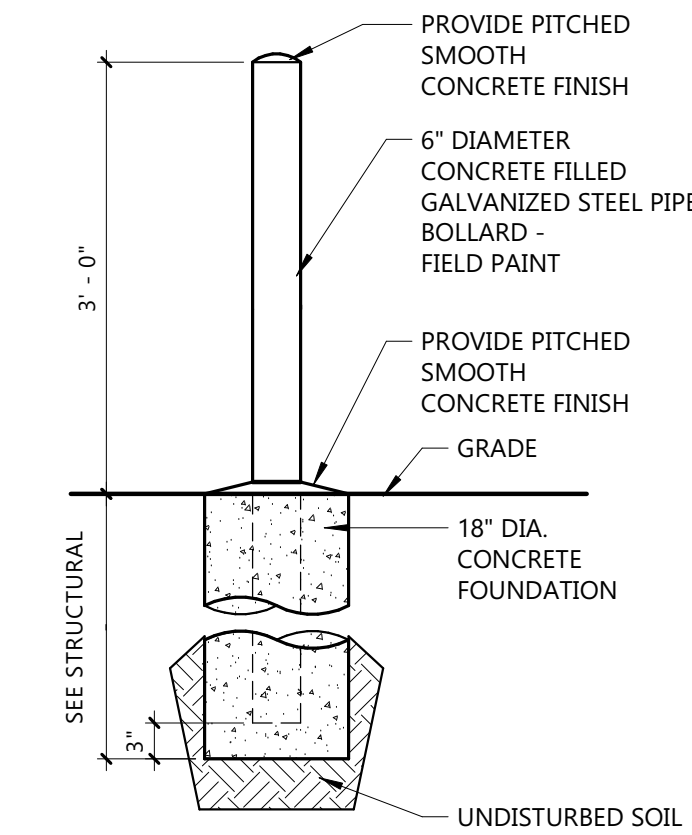


C3 36" EXISTING ORNAMENTAL FENCE REFERENCE IMAGE

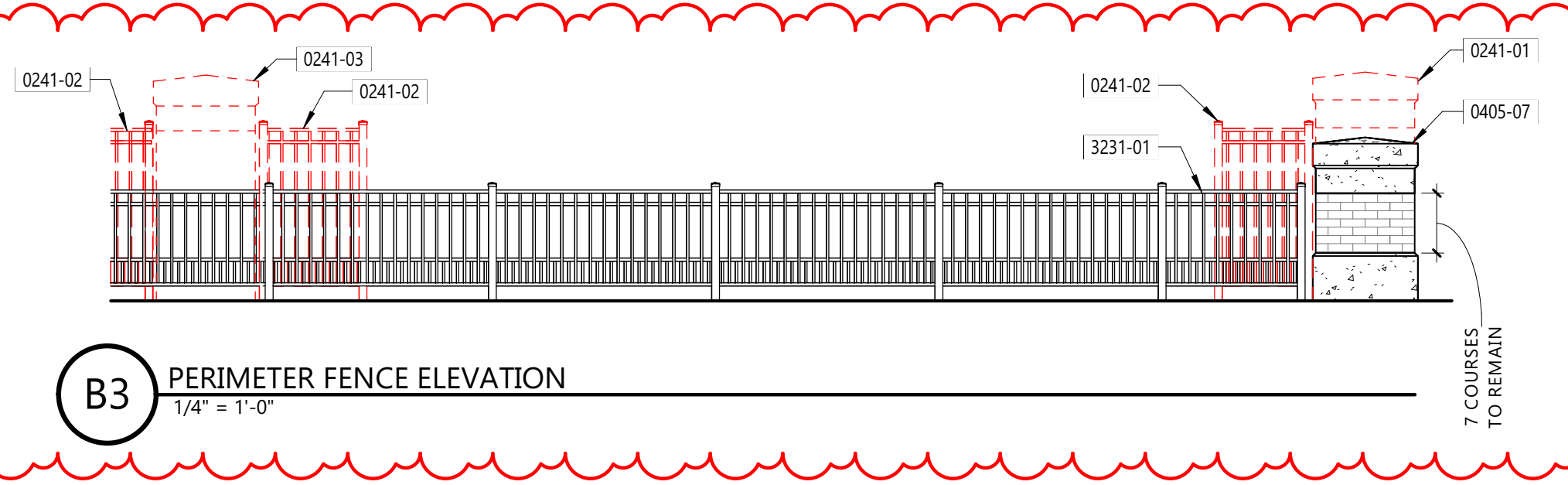


C4 EXISTING MASONRY PIERS
1/8" = 1'-0"

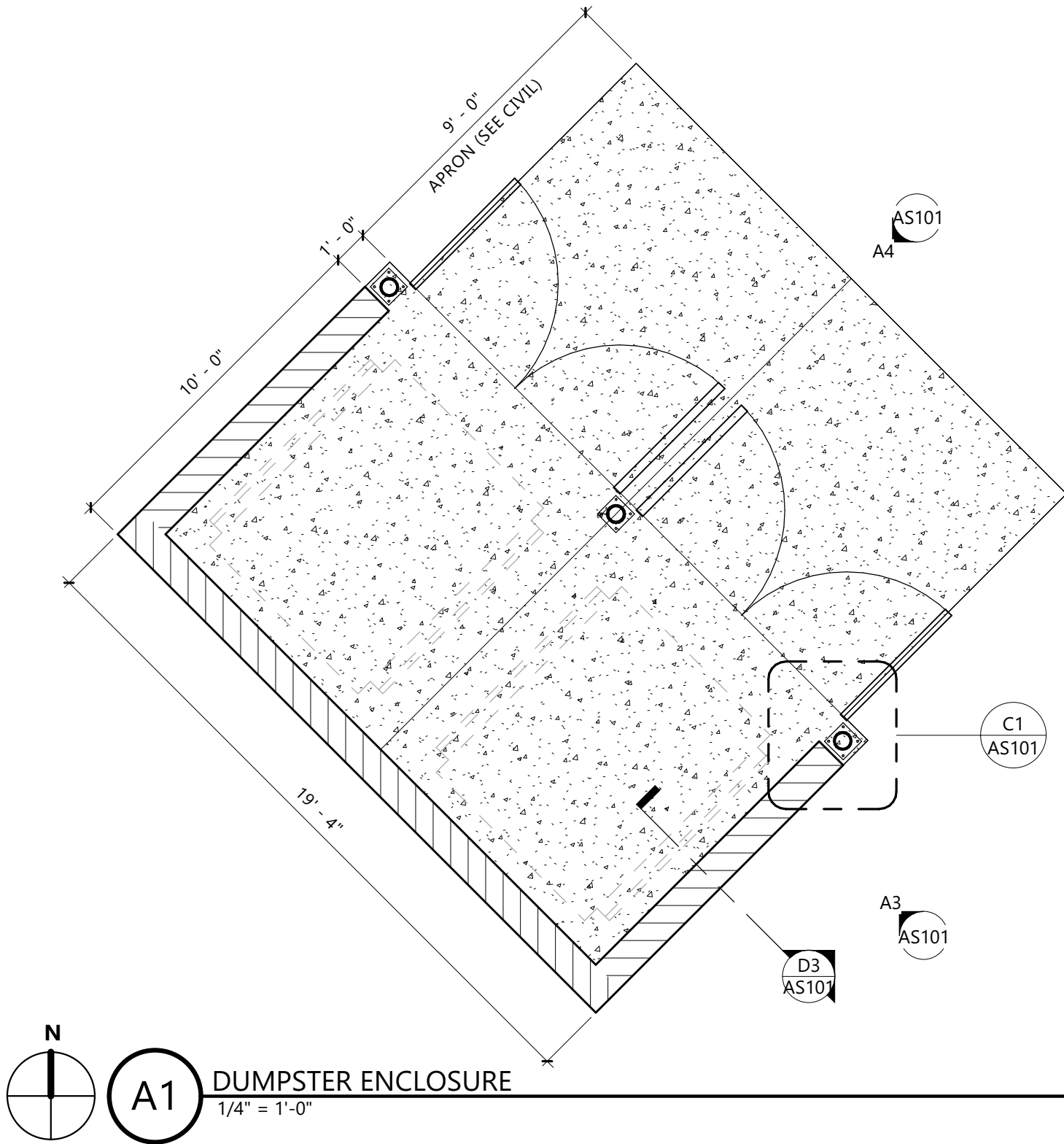
EXTERIOR MATERIAL LEGEND	
	HPL-1: EXTERIOR RESIN PANEL. MANUFACTURER: FUNDERMAX MODULO FACADE SYSTEM PRODUCT: PHENOLIC WOOD LOOK PANEL SIZES: (6", 8", 12" & 14" H x 96" L HORIZONTAL PANELS) COLOR: SMOKED JAZZ OAK
	(CMU-2) GROUND FACE BLOCK: MANUFACTURER: TBD PRODUCT: GROUND FACE CMU 16x8x12 COLOR: CHARCOAL GREY



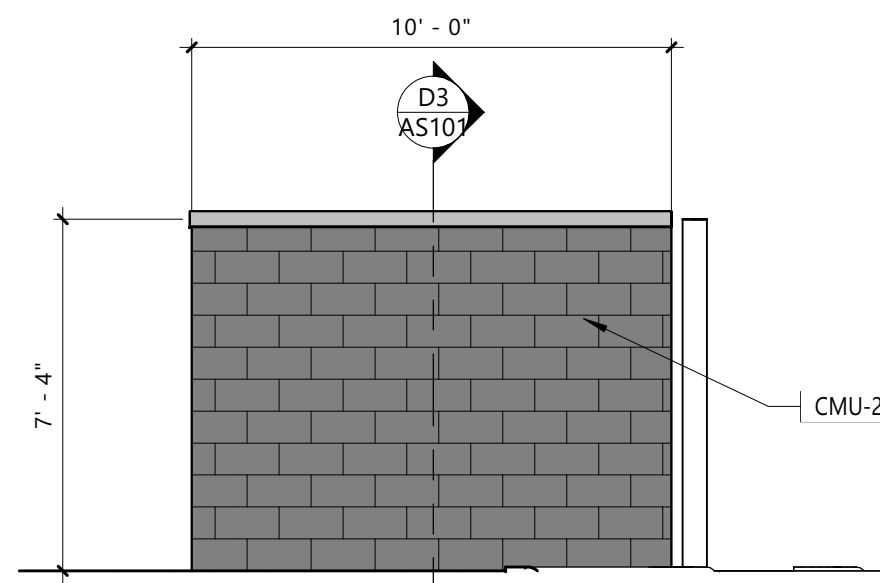
B5 BOLLARD DETAIL
3/4" = 1'-0"



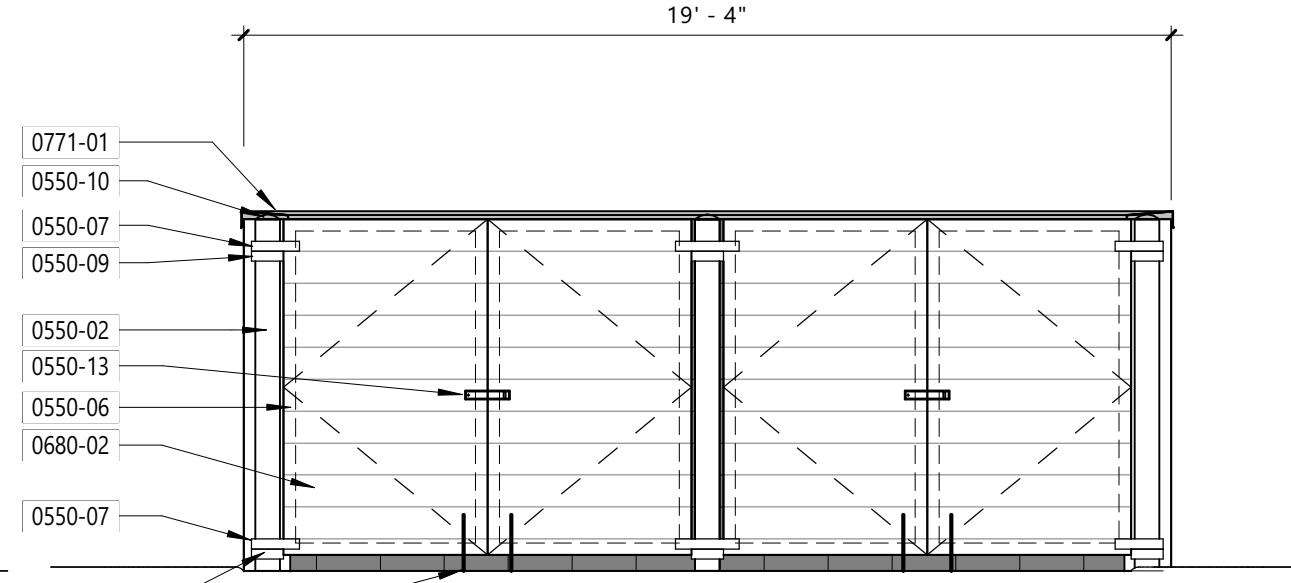
B3 PERIMETER FENCE ELEVATION
1/4" = 1'-0"



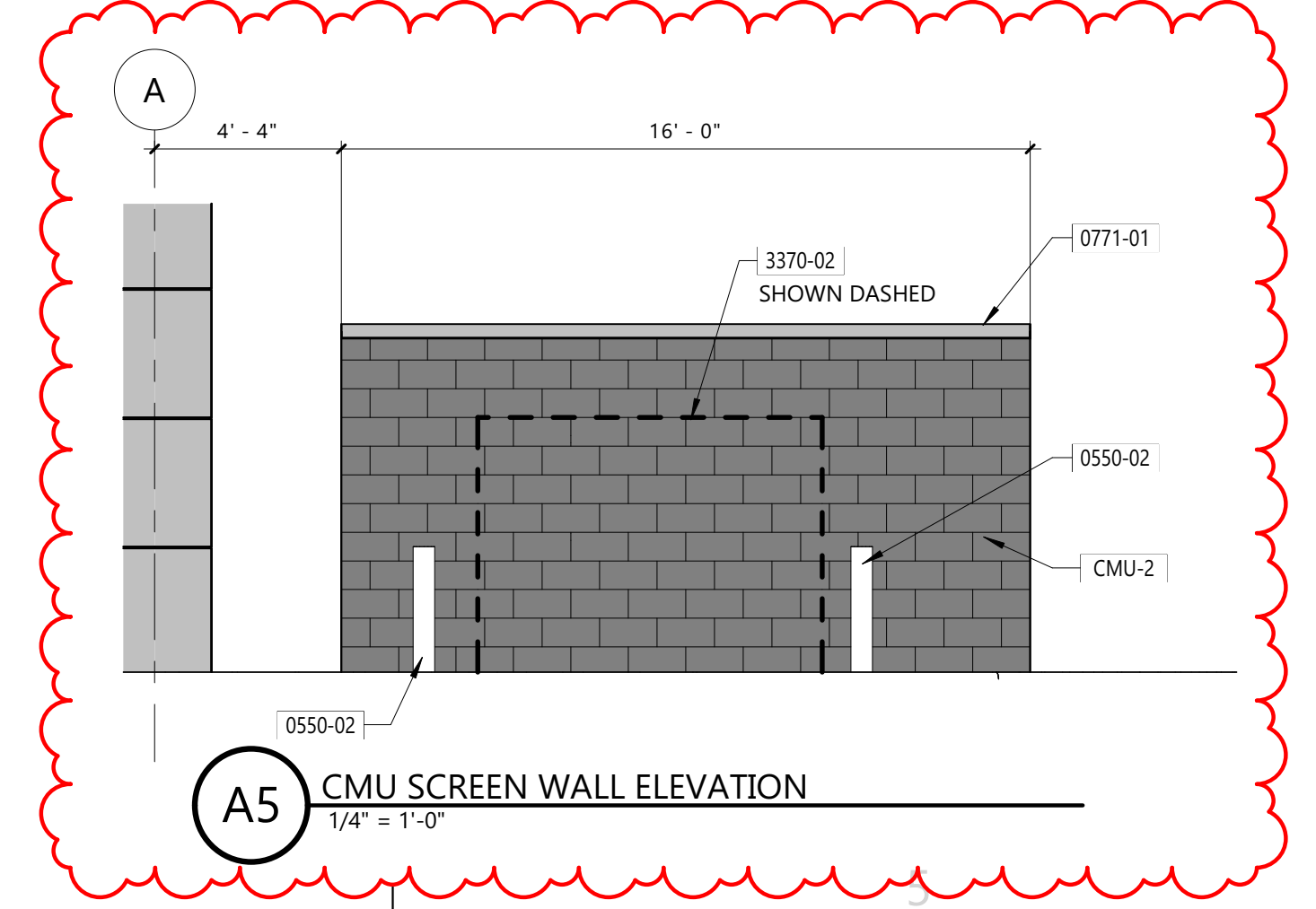
A1 DUMPSTER ENCLOSURE
1/4" = 1'-0"



A3 DUMPSTER ENCLOSURE - E. ELEV.
1/4" = 1'-0"



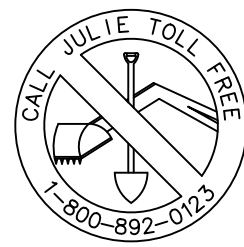
A4 DUMPSTER ENCLOSURE - N. ELEV.
1/4" = 1'-0"



A5 CMU SCREEN WALL ELEVATION
1/4" = 1'-0"

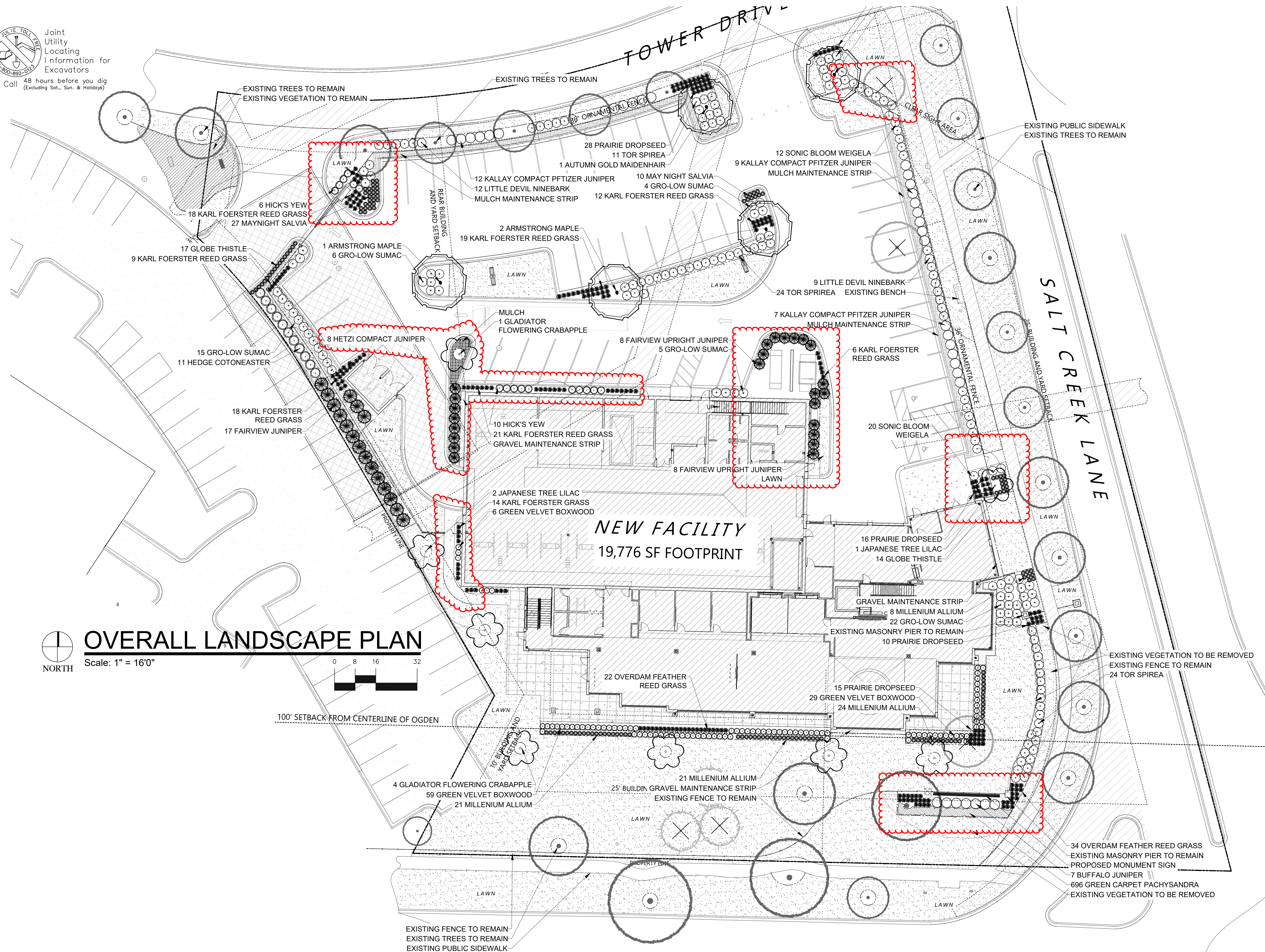
KEYNOTES PER SHEET	
0241-01	REMOVE TOP OF EXISTING PIER, TO EXTENT INDICATED IN ELEVATION. SALVAGE PRECAST CAP FOR RE-USE.
0241-02	REMOVE EXISTING FENCE
0241-03	REMOVE EXISTING MASONRY PIER AND ASSOCIATED FOUNDATION
0405-07	REINSTALL PRECAST STONE CAP ON EXISTING MASONRY PIER
0420-04	12" CMU
0420-05	BOND BEAM (SEE STRUCTURAL DRAWINGS)
0550-02	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD (SHOP PRIME AND FIELD PAINT)
0550-06	2 1/2" X 2 1/2" X 3/16" TUBE STEEL WELDED TO FORM GATE FRAME. PROVIDE DIAGONAL TUBE BRACE. GRIND ALL WELDS SMOOTH (SHOP PRIME AND FIELD PAINT). PROVIDE TREATED 2X4 HORIZONTAL AT TOP, MIDDLE AND BOTTOM.
0550-07	4" HIGH STEEL PIPE HINGE (PRIMED AND FIELD PAINTED)
0550-08	4" HIGH C6X13 WELDED TO STEEL PIPE HINGE (PRIMED AND FIELD PAINTED)
0550-09	3" HIGH SECTION OF STEEL PIPE WELDED TO 6" PIPE BOLLARD (PRIMED AND FIELD PAINTED)
0550-10	ZERC FITTING
0550-12	1" DIAMETER GALVANIZED STEEL CANE BOLT HOOKS (FIELD VERIFY LENGTH REQUIRED). PROVIDE CORRESPONDING HOLES IN CONCRETE SLAB.
0550-13	LOCKABLE GALVANIZED HASP
0610-02	2X PRESSURE TREATED WOOD BLOCKING
0680-02	HPL PANELS. SEE (HPL-1) ON EXTERIOR MATERIAL LEGEND.
0771-01	PREFINISHED 2 PIECE ALUMINUM COPING W/ CONTINUOUS HOLD-DOWN CLIPS.
3231-01	NEW ORNAMENTAL FENCE TO MATCH EXISTING
3370-02	ELECTRICAL TRANSFORMER PAD (SEE CIVIL DRAWINGS)
CMU-2	GROUND FACE CMU. SEE EXTERIOR MATERIAL LEGEND.

Bid Package 3		
Project Number		22036
Date		4/5/2024
Revisions		
#	Description	Date
1	CB-01	11/20/2023
2	CB-02	4/5/2024



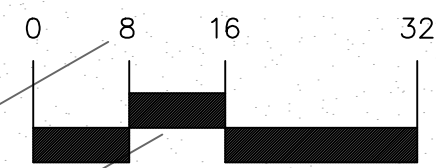
Joint
Utility
Locating
Information for
Excavators

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)

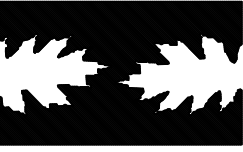


OVERALL LANDSCAPE PLAN

Scale: 1" = 16'0"



HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE



PROJECT

MOUSE MOTORS

2 Salt Creek Lane
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN
8.18.23	BID PACKAGE #1
1.29.24	REV. SITE PLAN
2.06.24	CITY COMMENTS
2.20.24	GENERATOR SCREENING
3.27.24	REV. SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

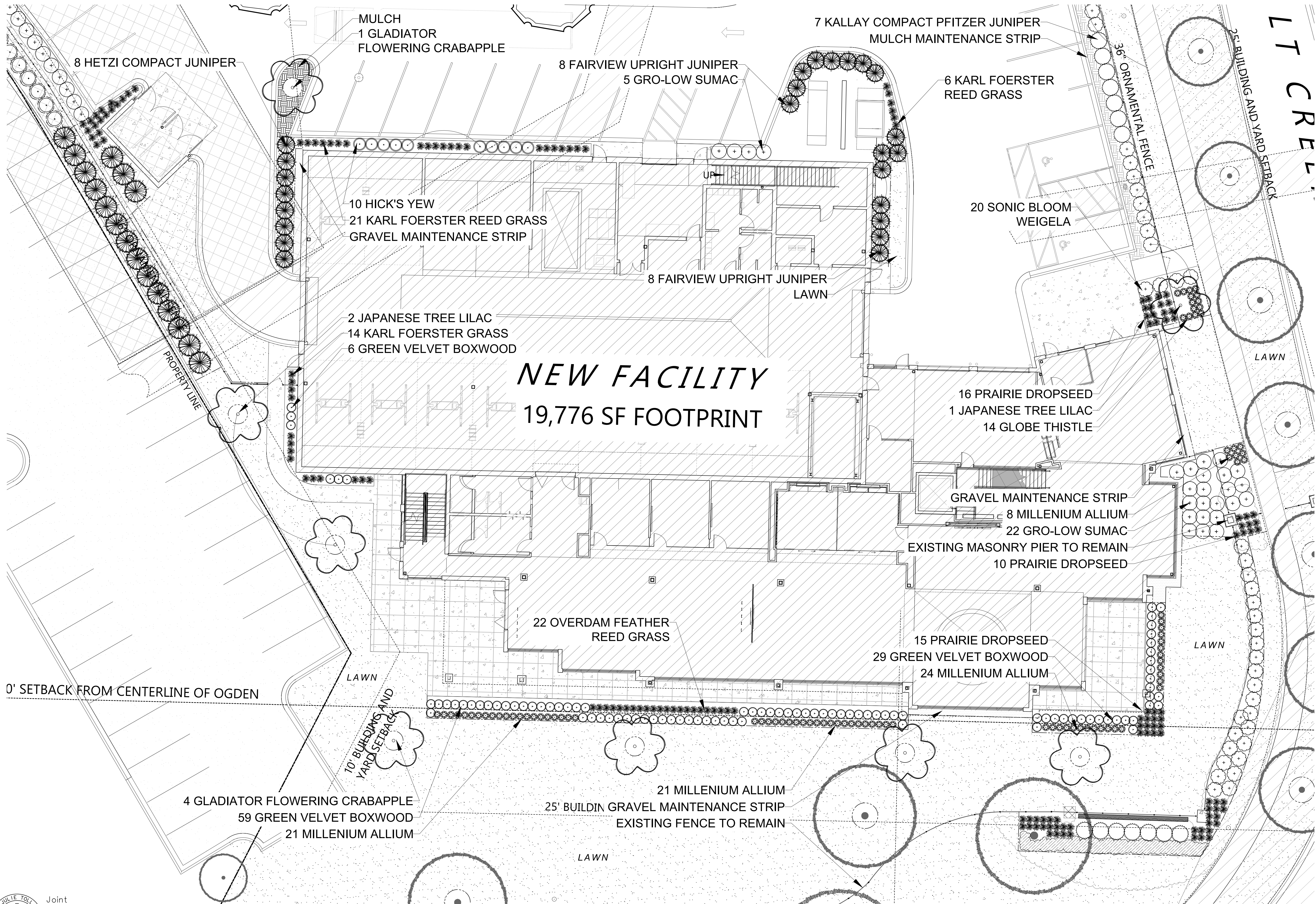
PROJECT MANAGER WDH

PROJECT NUMBER 22-059

DATE 3.27.24

SHEET NUMBER

L 1.0



NEW FACILITY
19,776 SF FOOTPRINT

HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

PROJECT
**MOUSE
MOTORS**

2 Salt Creek Lane
Hinsdale, IL

ISSUANCE AND REVISIONS	
DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN
8.18.23	BID PACKAGE #1
1.29.24	REV. SITE PLAN
2.06.24	CITY COMMENTS
2.20.24	GENERATOR SCREENING
3.27.24	REV. SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
**ENLARGED
LANDSCAPE
PLAN**

PROJECT MANAGER	WDH
PROJECT NUMBER	22-059
DATE	3.27.24
SHEET NUMBER	

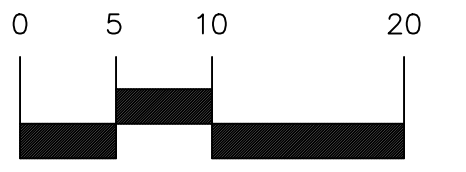
L 1.1

Joint
Utility
Locating
Information for
Excavators
Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)



ENLARGED LANDSCAPE PLAN

Scale: 1" = 10'0"



1. Contractor responsible for contacting JULIE - Utility Locators (811 or 800-892-0123) to have site marked prior to excavation or planting.
2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
5. Topsoil in Parking Lot Islands (if applicable). All parking lot islands to be backfilled with topsoil to a minimum depth of 12" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 4" to provide proper drainage, unless otherwise specified.
6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{3}{4}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4'-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{3}{4}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of double-shredded hardwood bark mulch, and groundcover areas a 2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
11. Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10"
- Per 100 SF of bed area:
- $\frac{3}{4}$ CY Peat Moss or Mushroom Compost
 - $\frac{1}{4}$ CY blended/pulverized Topsoil
 - 2 pounds starter fertilizer
 - $\frac{1}{4}$ CY composted manure
12. Lawn installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones $\frac{1}{2}$ " and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TP1 (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
- No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas
14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual ryse nurse crop (available at Reinder's Landscape Supply 800-785-3301; or Prairie Nursery 800-476-8453) or approved equivalent mix from a reputable seed mix provider. Apply at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
15. Native Prairie Seed Mix / Stormwater Seed Mix / Infiltration Swale Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Agrecol Native Seed and Plant Nursery 608-223-3571 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

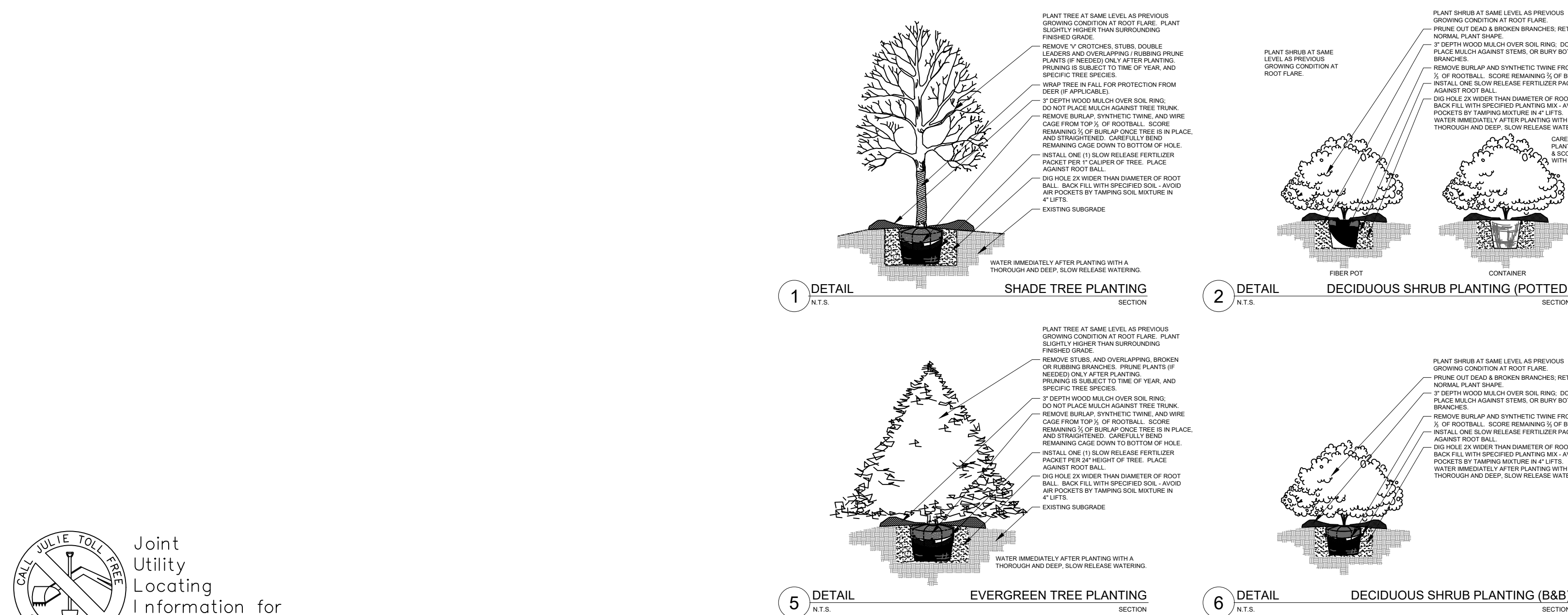
PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES		PLANT SPACING	MATURE SIZE (HxW)
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE				
IS (DECIDUOUS)							
3	Acer xfreemanii 'Armstrong'	Armstrong Red Maple	3.0"				40'
2	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting		50'
IAL TREES (DECIDUOUS)							
5	Malus x astringsis 'Durlie'	Gladiator Flowering Crabapple	7-8' H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance		20'
	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	7-8'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance		20'
I TREES							
33	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	6'	B&B	Evenly shaped tree with branching to the ground	60"	17'
I SHRUBS							
94	Buxus 'Green Velvet'	Green Velvet Boxwood	24"	Cont.	Full rounded well branched shrub	24-30"	36"
28	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub	48"	60" wide
6	Taxus xmedia 'Hicksii'	Hick's Intermediate Yew	54"	B&B	Full rounded well branched shrub	24-36"	72"+
IS SHRUBS							
11	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30-42"	60"
21	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	30"	Cont.	Full, well rooted plant, evenly shaped	60"	60"
51	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped	42"	48"
79	Spirea betulifolia 'Tor'	Tor Spirea	#3	Cont.	Full, well rooted plant, evenly shaped	36"	36"
24	Weigela florida 'Sonic Bloom'	Sonic Bloom Weigela	24"	Cont.	Full, well rooted plant, evenly shaped	42"	48"
IAL GRASSES							
117	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"	24"
56	Calamagrostis acutiflora 'Overdam'	Overdam Feather Reed Grass	#1	Cont.	Full, well rooted plant	15"	24"
75	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant	18"	24"
JS PERENNIALS							
74	Allium 'Millenium'	Millenium Allium	#1	Cont.	Full, well rooted plant, evenly shaped	18"	24"
31	Echinops bannaticus	Blue Glow Globe Thistle	#1	Cont.	Full, well rooted plant, evenly shaped	18"	36"
37	Salvia xuspeba 'May Night'	May Night Salvia	#1	Cont.	Full, well rooted plant, evenly shaped	18"	24"
XVERS & VINES							
696	Pachysandra terminalis 'Green Carpet'	Green Carpet Pachysandra	3"	Pot	Full, well rooted plant	6"	8"

PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT/CONT.	SPECIFICATION / NOTES		PLANT SPACING	MATURE SIZE (HxW)
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE				
2786	Lawn Establishment Area / Grading Area			SY			
2786	Sodded Areas (identified on plan)			SY	Fresh cut, weed free; Bluegrass Blend Sod; Water immediately after installation		

PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT/CONT.	SPECIFICATION / NOTES		PLANT SPACING	MATURE SIZE (HxW)
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE				
3.5	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 230 SF		TN	2" depth		
125	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish	LF				
230	Landscape Fabric	SF	SF				
60	Shredded Hardwood Mulch (3" depth)	Area: 6,500 SF	CY		Install at Tree & Shrub installations; apply Preemergent		
28	Double-Shredded Hardwood Mulch (2" depth)	Area: 4,600 SF	CY		Install at Perennial, Ornamental Grasses & Groundcover areas; apply Preemergent		
68	Soil Amendments (2" depth)	Area: 11,900 SF	CY		See Landscape General Notes for composition of Soil Amendments		
77	Pulverized Topsoil (1" at all sodded areas)	Area: 25,075 SF	CY				
68	Pulverized Topsoil (2" over bed areas)	Area: 11,900 SF	CY				

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein shall govern.

LANDSCAPE GENERAL NOTES

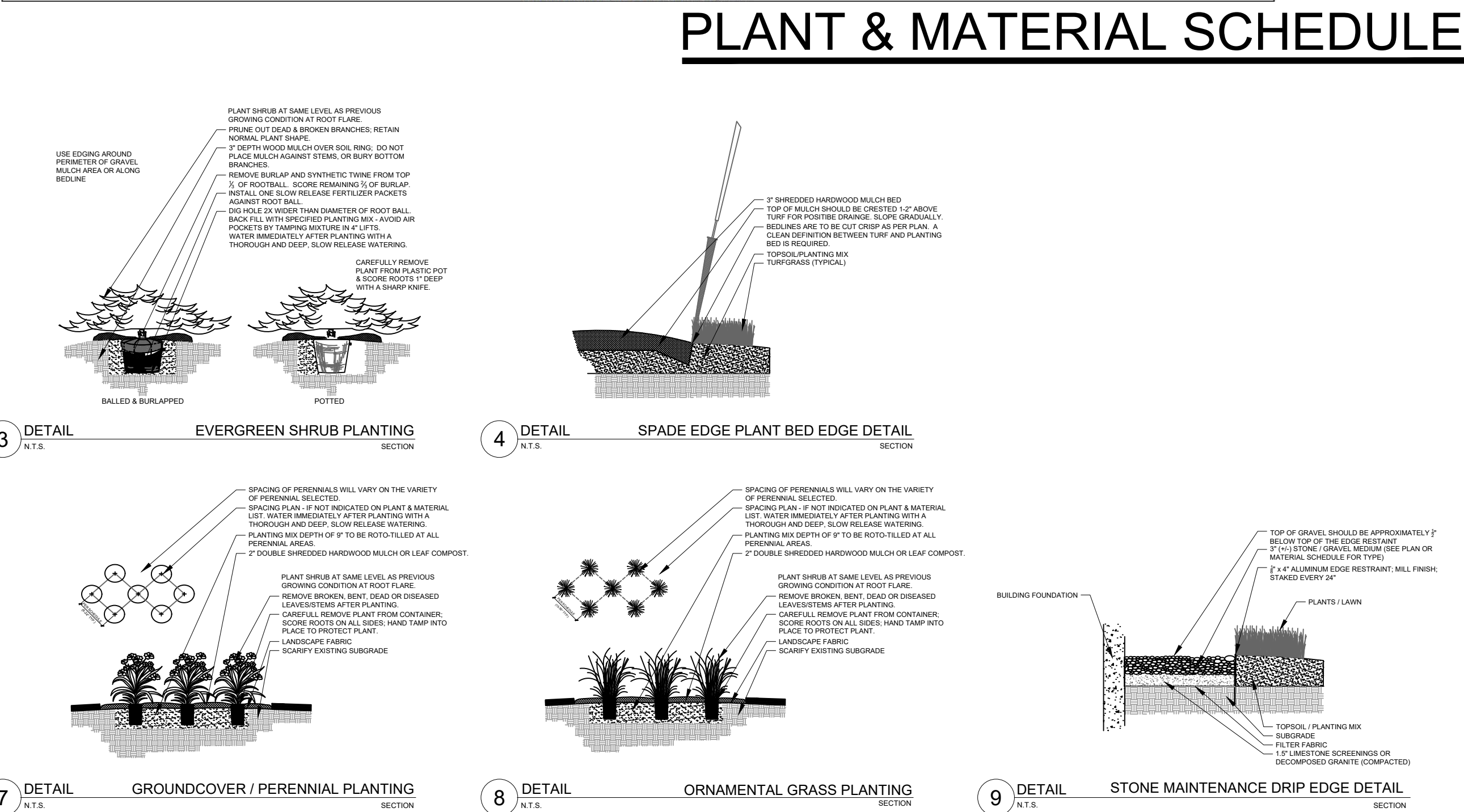


Joint Utility Locating Information for Excavators

Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

PLANT & MATERIAL SCHEDULE

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein shall govern.



PLANTING & HARDSCAPE DETAILS



PROJECT

MOUSE MOTORS

2 Salt Creek Lane
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN
8.18.23	BID PACKAGE #1
1.29.24	REV. SITE PLAN
2.06.24	CITY COMMENTS
2.20.24	GENERATOR SCREENING
3.27.24	REV. SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

LANDSCAPE DETAILS, NOTES, & SCHEDULE

PROJECT MANAGER WDH

PROJECT NUMBER 22-059

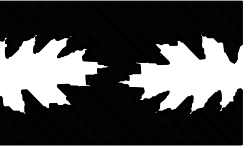
DATE 3.27.24

SHEET NUMBER

L 1.2



HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com



PROJECT

MOUSE MOTORS

2 Salt Creek Lane
Hinsdale, IL

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
10.14.22	CONCEPT ISSUE
10.21.22	PLANTING PLAN
11.3.22	REVISED SITE PLAN
11.22.22	REVISED SITE PLAN
8.18.23	BID PACKAGE #1
1.29.24	REV. SITE PLAN
2.06.24	CITY COMMENTS
2.20.24	GENERATOR SCREENING
3.27.24	REV. SITE PLAN



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN: IMAGES

PROJECT MANAGER WDH

PROJECT NUMBER 22-059

DATE 3.27.24

SHEET NUMBER

L 1.05

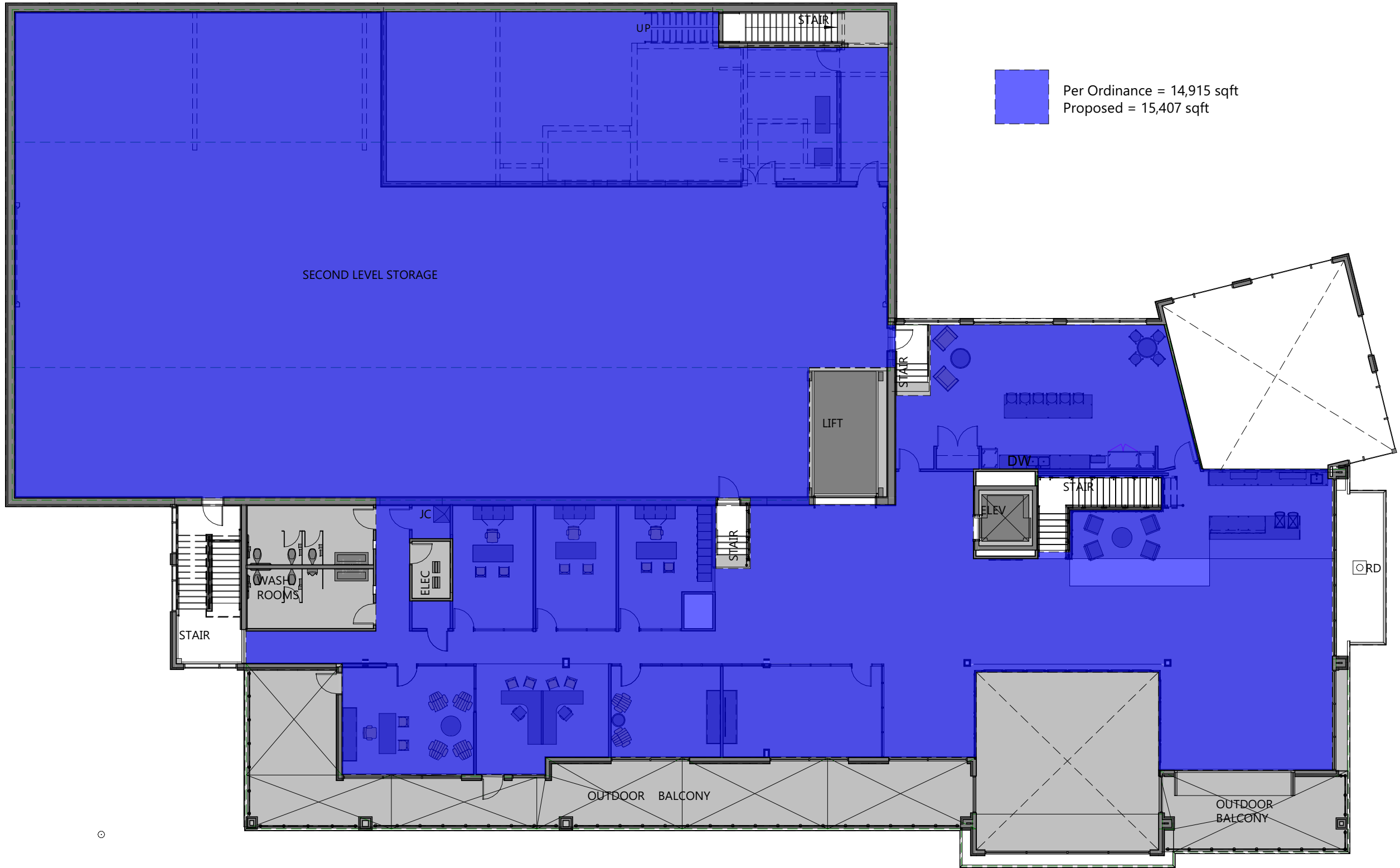


OVERALL LANDSCAPE PLAN
Scale: 1" = 20'0"
0 10 20 40



B1 SECOND FLOOR - FAR
1/16" = 1'-0"

FAR CALC - PER ORDINANCE	FAR CALC - PROPOSED
19,488 + 18,879 = 38,367 SQFT	19,776 + 19,122 = 38,898 SQFT
38,369 SQFT / 95,893 SQFT = 40%	38,898 SQFT / 95,893 SQFT = 40.5%

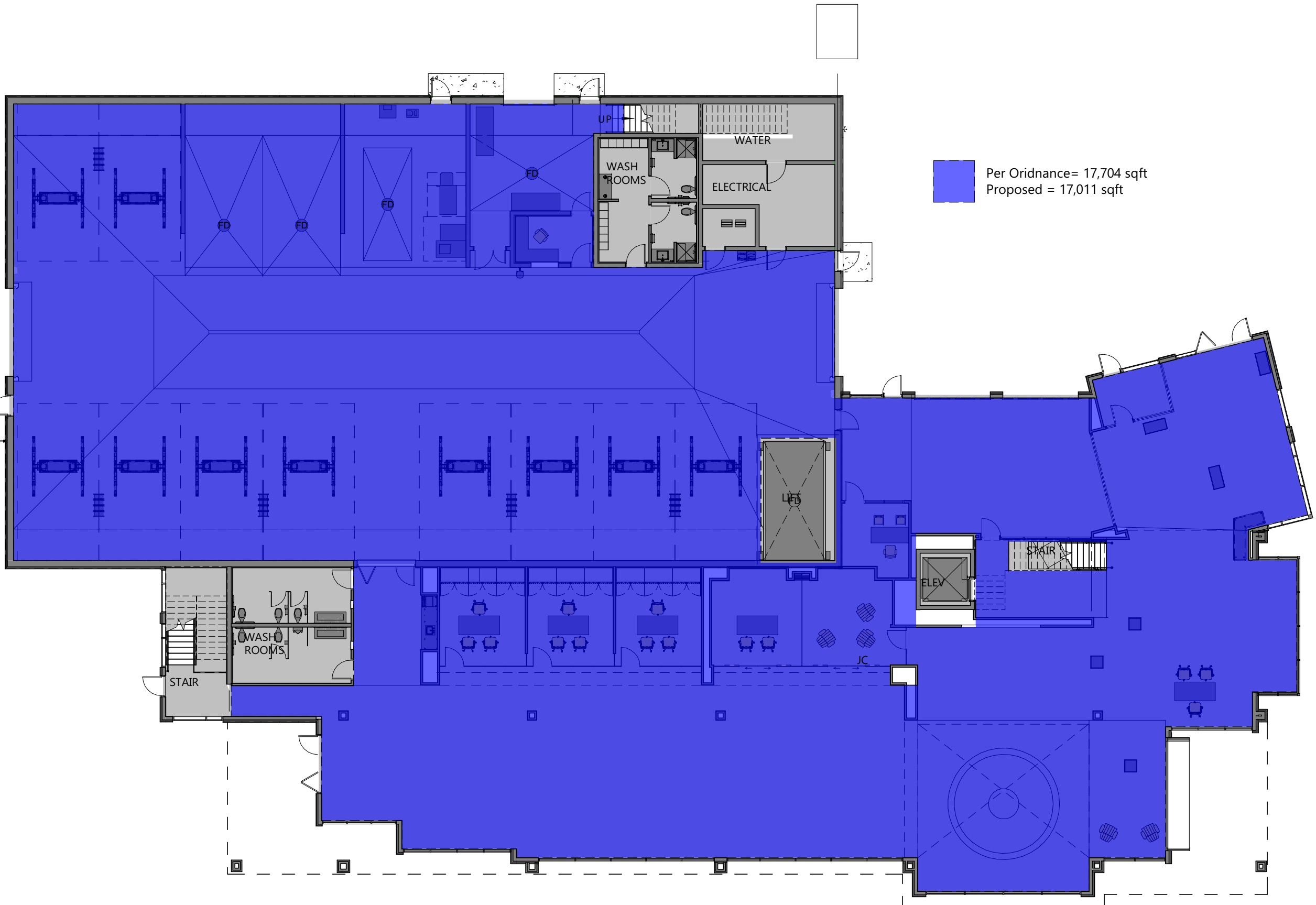


B3 SECOND FLOOR - Net Floor Area
1/16" = 1'-0"

PARKING CALC - PER ORDINANCE (1 stall req. per 275 net area)	PARKING CALC - PROPOSED (1 stall req. per 275 net area)
17,704 + 14,915 = 32,619 SQFT	17,011 + 15,407 = 32,418 SQFT
32,619 / 275 = 119 STALLS	32,418 / 275 = 118 STALLS



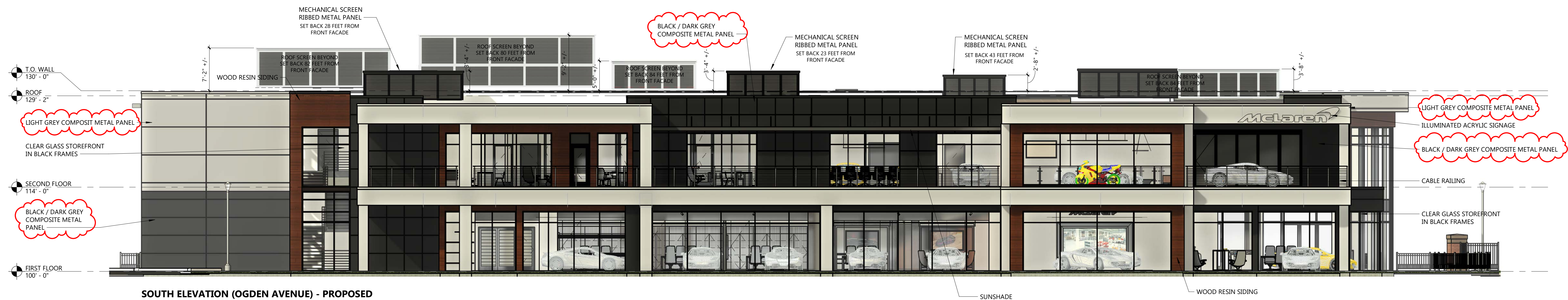
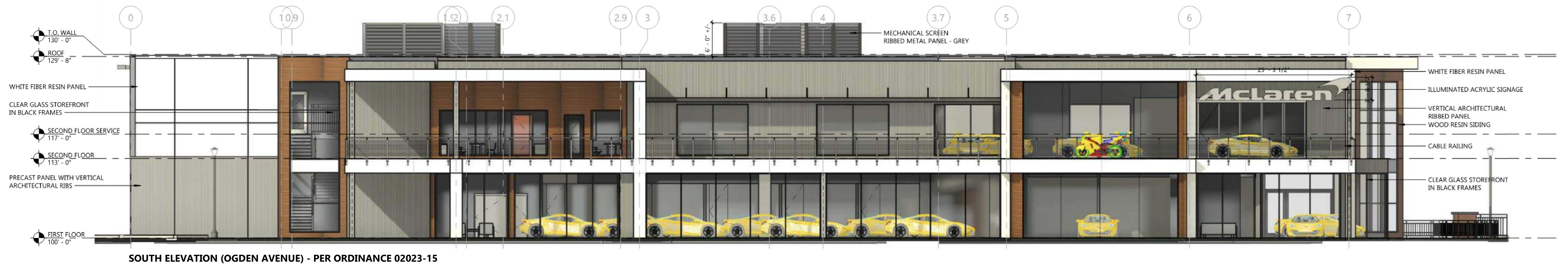
A1 FIRST FLOOR - FAR
1/16" = 1'-0"



A3 FIRST FLOOR - Net Floor Area
1/16" = 1'-0"

Mouse Motors

Building Area Diagrams





SOUTH ELEVATION (OGDEN AVENUE) - PER ORDINANCE 02023-15



SOUTH ELEVATION (OGDEN AVENUE) - PROPOSED NOTE: EXISTING TREES ALONG OGDEN AVENUE NOT SHOWN FOR CLARITY

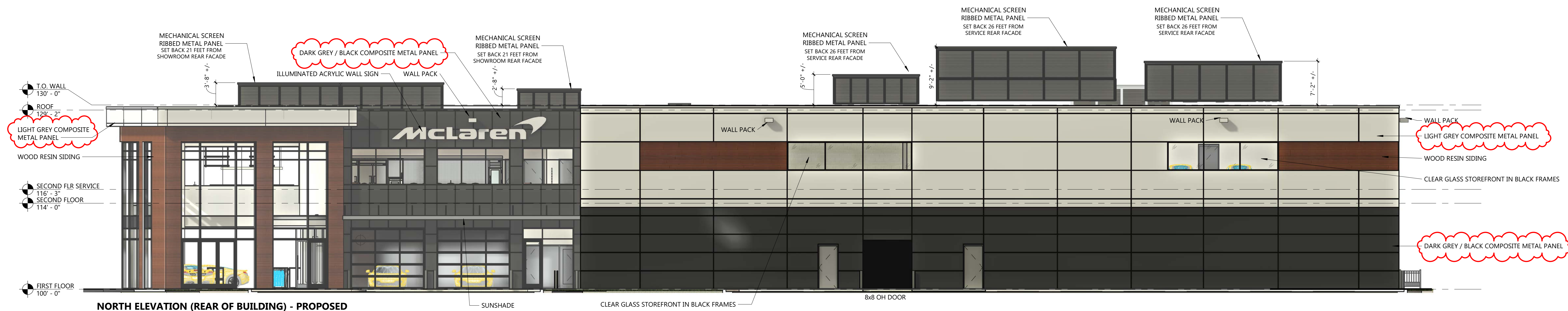




EAST ELEVATION (SALT CREEK) - PER ORDINANCE 02023-15



EAST ELEVATION (SALT CREEK) - PROPOSED NOTE: EXISTING TREES ALONG SALT CREEK LANE NOT SHOWN FOR CLARITY





NORTH ELEVATION (REAR OF BUILDING) - PER ORDINANCE 02023-15



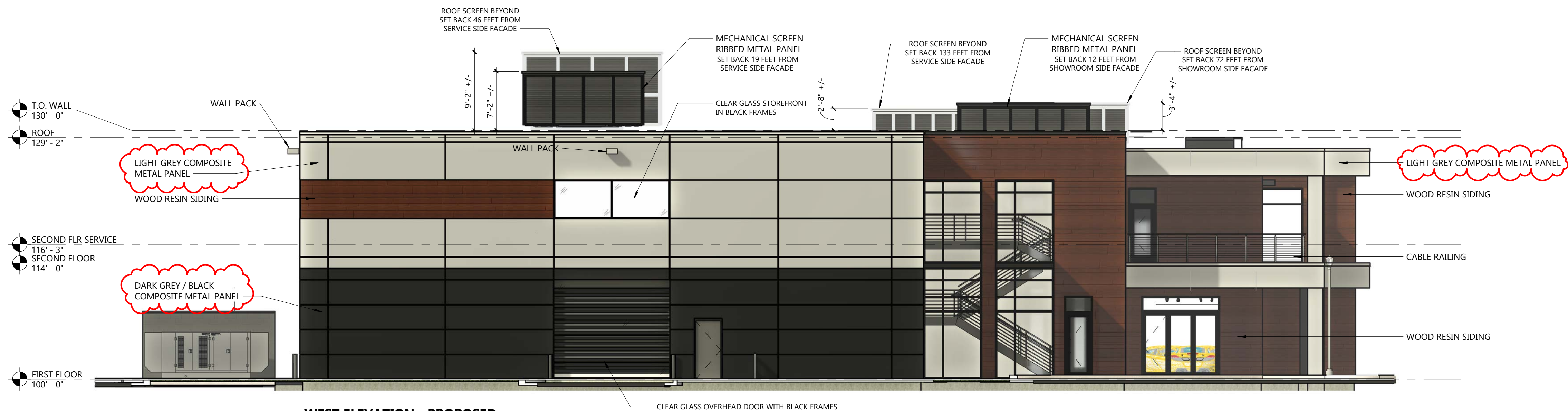
NORTH ELEVATION (REAR OF BUILDING) - PROPOSED



WEST ELEVATION - PROPOSED



WEST ELEVATION - PER ORDINANCE 02023-15



WEST ELEVATION - PROPOSED



C1 LIGHT GREY METAL COMPOSITE PANEL
1/8" = 1'-0"



C2 WOOD RESIN PANEL
1/8" = 1'-0"



C3 BLACK / DARK GREY COMPOSIT METAL PANEL
1/8" = 1'-0"



B1 GLASS STOREFRONT IN BLACK FRAME
1/8" = 1'-0"



B2 CABLE RAILING
1/8" = 1'-0"

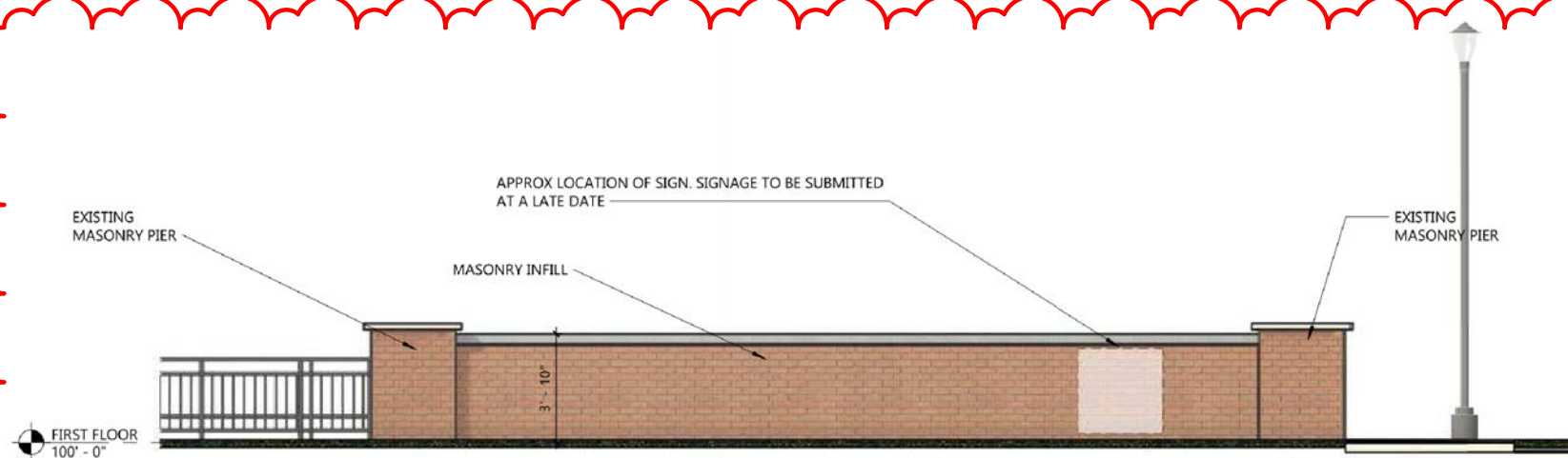


HORIZONTAL 7.2 RIB, SOLID PANEL
COLOR: ELECTRIC BLACK

A1 MECHANICAL SCREEN RIBBED PANEL
1/8" = 1'-0"



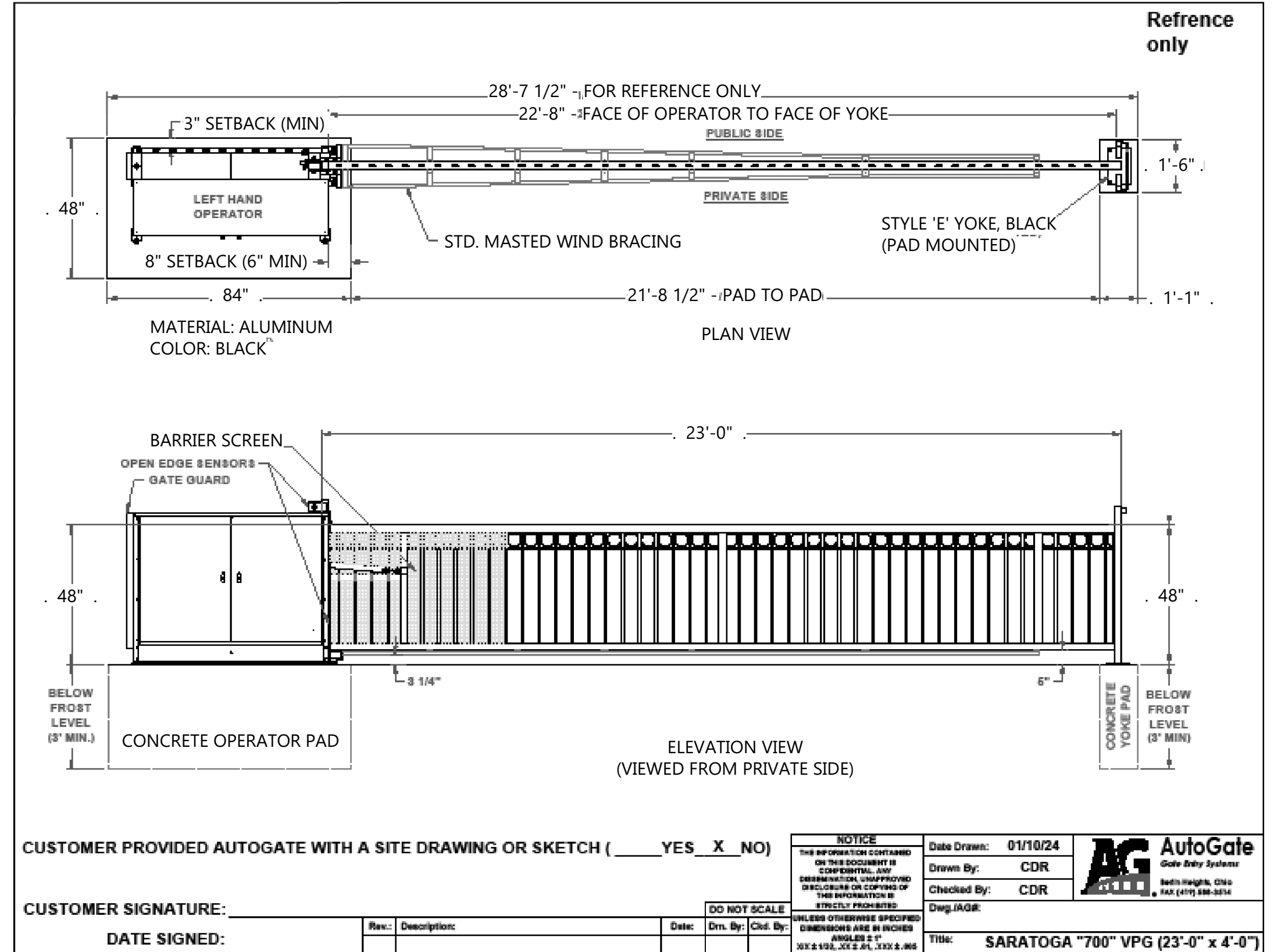
A2 36" ORNAMENTAL FENCE



FENCE / MASORY WALL - PER ORDINANCE 02023-15



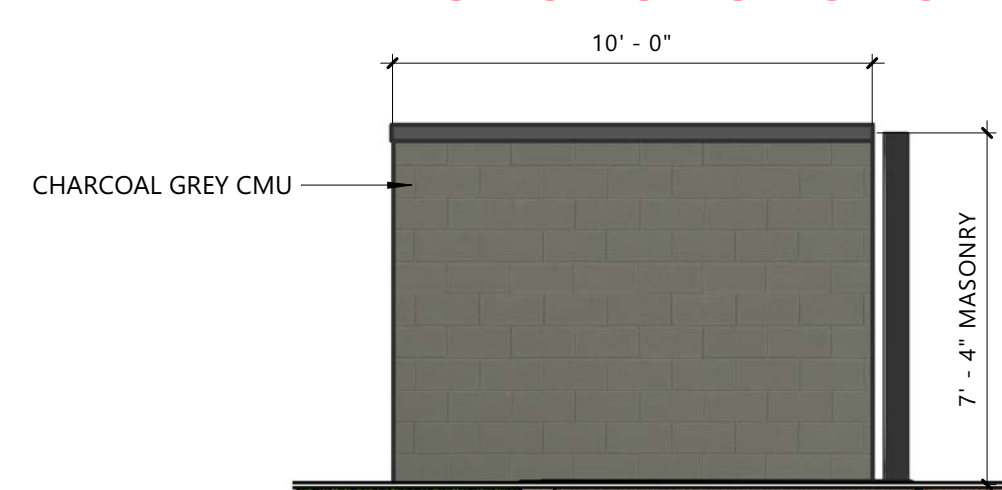
FENCE / MASONRY WALL - PROPOSED



VERTICAL PIVOT GATE (DESIGNED TO MATCH EXISTING ORNAMENTAL FENCE)



VERTICAL PIVOT GATE FROM TOWER DRIVE (PLANTINGS TO SCREEN CONTROL BOX)



A4 ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"



A5 ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



ROOF PLAN



VIEW FROM TOWER DRIVE



VIEW FROM SALT CREEK LANE AND TOWER DRIVE INTERSECTION

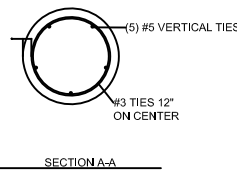
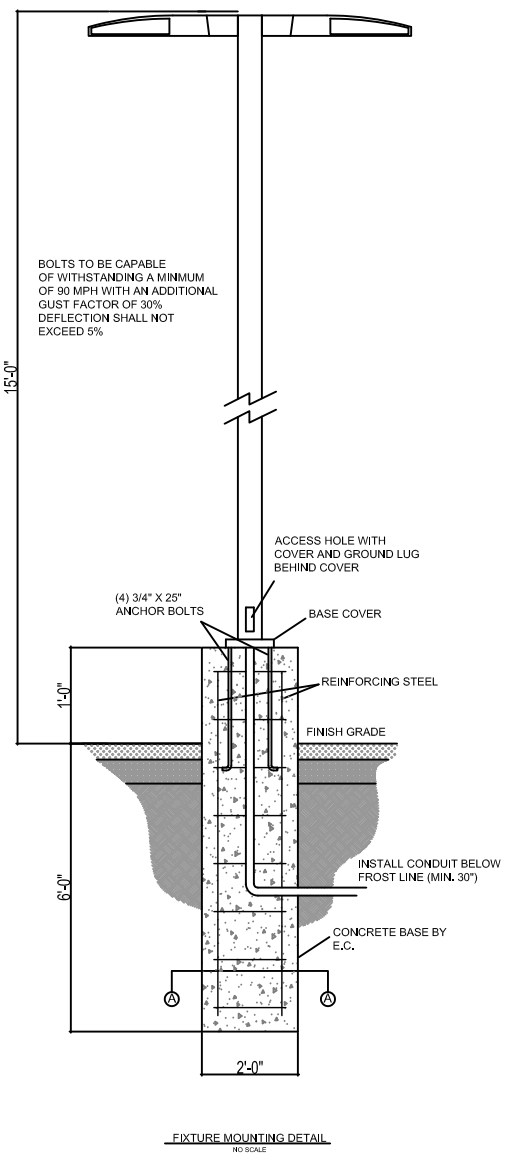






VIEW FROM OGDEN AND SALT CREEK INTERSECTION



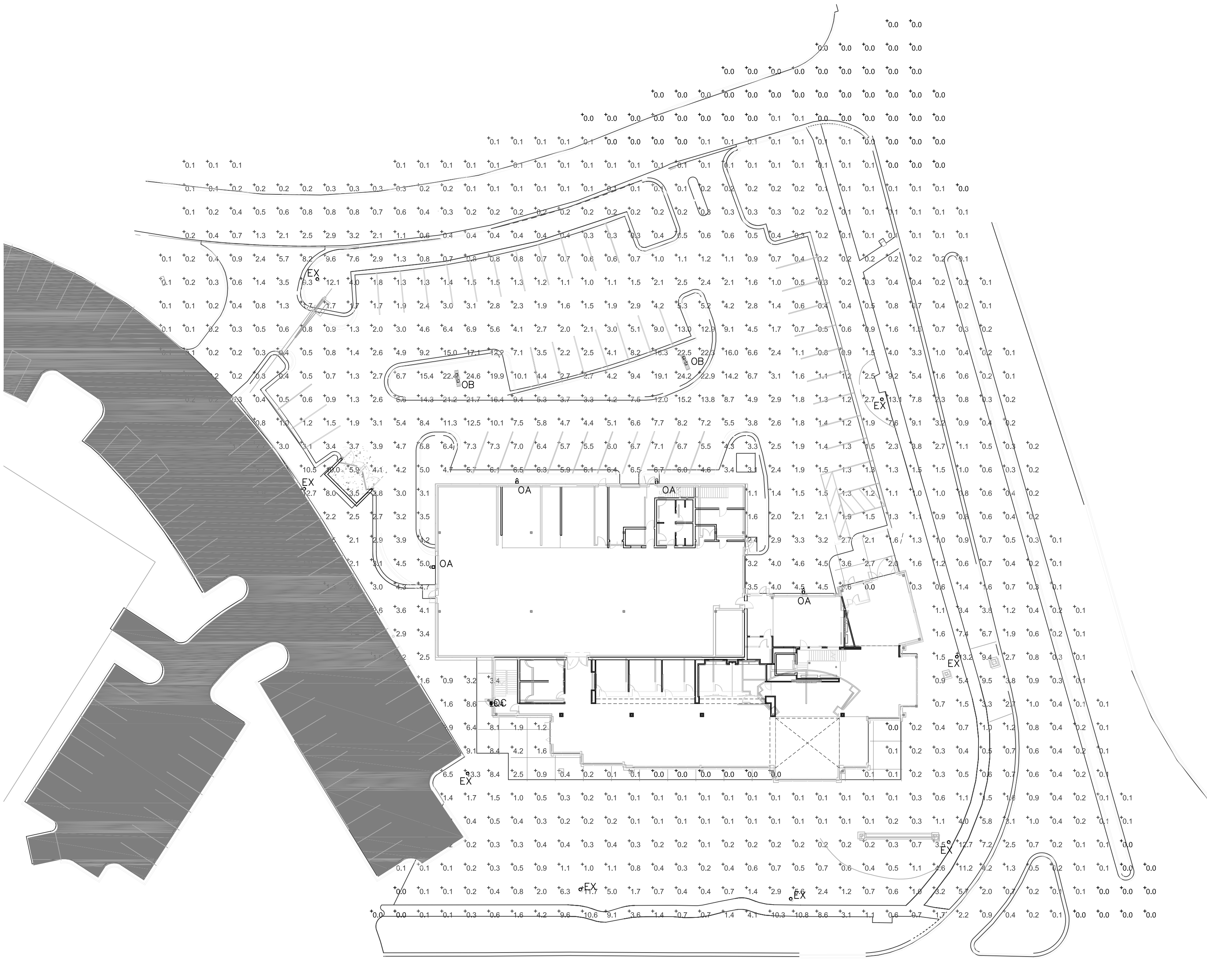
VIEW FROM OGDEN AVENUE

site plan
1" = 30'-0"



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	OA	4	UNITE	TALON 150W TYPE IV	BUILDING MOUNTED 28" AFG	4000K LED	1	Talon 150W Type 4 4000K.IES	21044	1	150
	OB	2	UNITE	TALON 150W TYPE IV	TWIN 180 TYPE IV MOUNTED ON A 14' POLE ON A 1' BASE	4000K LED	1	Talon 150W Type 4 4000K.IES	21044	1	300
	OC	1	UNITE	Galaxy 45W 4000K	BUILDING MOUNTED 10" AFG	4000K LED	1	Galaxy 45W 4K.IES	6140	1	45
	EX	8	EXISTING	EXISTING DECORATIVE POLE	EXITING DECORATIVE PENDANT LIGHT POLE	4000K LED	1	ESL3_LTDRL3_P20S_40 K_XXXXX_TG3.ies	11346	1	72.77

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE PHOTOMETRICS	+	2.2 fc	28.4 fc	0.0 fc	N/A	N/A



REMARKS:

11.10.23 REVISED SITE PLAN

PROJECT:

PROJECT LOCATION:

DATE:
11/28/2022

DRAWN BY:
J. PRUSINSKI

PROJECT NUMBER:
00688

SITE PHOTOMETRIC DRAWING

SCALE: NTS

envisor[®]

SCREENING SYSTEMS

cityScapes[®]
ARCHITECTURAL INNOVATIONS



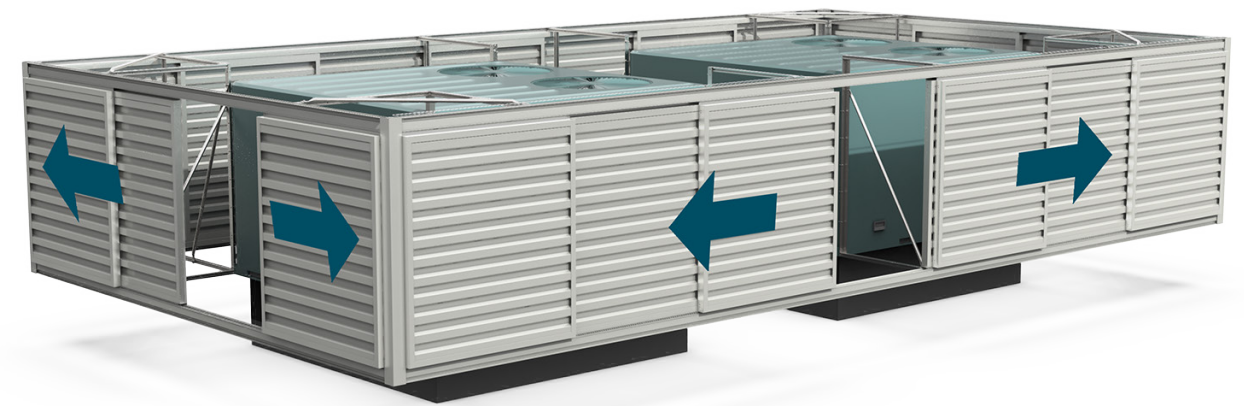
Office Building
Indianapolis, IN

ENVISOR[®]

ROOF SCREENS WITH SOARING GOOD LOOKS

Set the bar high with durable and attractive Envisor[®] roof screens. Affordable and elegant, Envisor makes meeting code simple and blends into any design. Better yet, no rooftop penetration is required for installation, which gives you a clean, modern look.

- Practical solution for municipal screening requirements of HVAC units, chillers, air handlers, and more.
- Create your own custom design for your specific application.
- Nationwide project management and installation available.
- Designed in-house and manufactured in a state-of-the-art facility.



ZERO ROOFTOP PENETRATION

UV and rust resistant finishes to protect from harsh environments

CODE COMPLIANT

Practical solution for municipal screening requirements of HVAC units, chillers, air handlers, and more

WIND LOAD AND RESISTANCE

Ultimate wind speed resistance

EASY MAINTENANCE

Panels slide for easy service access

PANEL STYLES BLEND BUILDING DESIGN & UTILITY

Envisor® offers over 15 panel designs and variety of colors to choose from, ensuring that your HVAC screening perfectly matches your building design.



MS Consultants
Columbus, OH

METAL INFILLS

- Frames are 6063 T6 extruded aluminum.
- Frame infill material thickness varies depending on infill choice.
- Panels can be stacked for additional coverage.
- Sherwin Williams 4000 Series Powder-Coated Components.
- PE Stamped drawings are available on all North America projects.



4.0 Corrugated Horizontal



4.0 Corrugated Vertical



7.2 Rib Solid Horizontal



7.2 Rib Solid Vertical



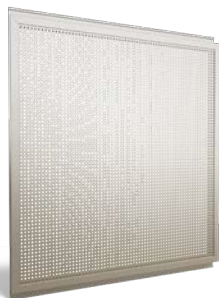
7.2 Rib Perforated Horizontal



7.2 Rib Perforated Vertical



Pan Solid



Pan Perforated



Vented Louver





Hospital
Richmond, VA

ACRYLICAP[®] ABS INFILLS

- Acrylicap[®] uses .187 acrylic-capped ABS for UV protection.
- Standard panel heights are 35", 52", 70".
- Panels can be stacked for additional coverage.
- PE Stamped drawings are available on all North America projects.



Louver



Horizontal Rib



7.2 Rib



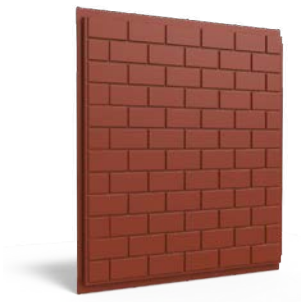
Flat Pan



Batten



Vertical Rib



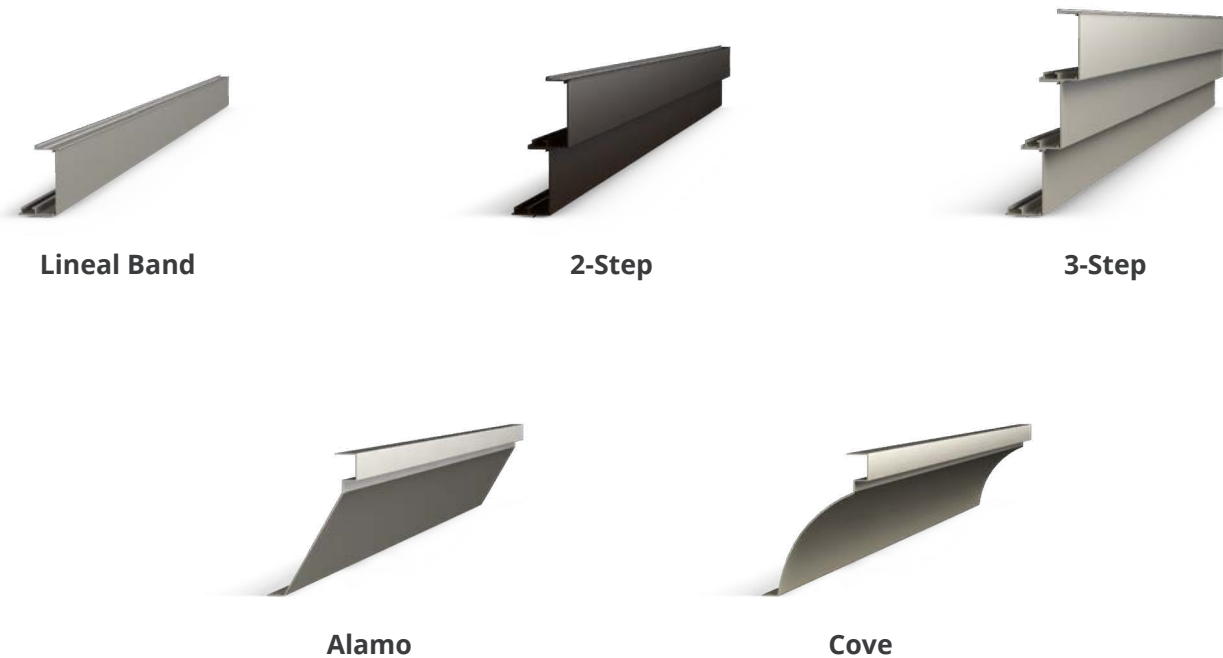
Brick



Custom

TRIM STYLE OPTIONS

Enhance your Roof Screen with our durable trim options. Meticulously crafted from .063" wall – 6063 T5 extruded aluminum shapes, these trims feature a 4000 series powder coat finish for long-lasting rust resistance. Elevate your space with trim that combines both style and endurance.



COLOR OPTIONS

Select from a range of standard powder-coat or Acrylicap® ABS finishes that can withstand the elements of nature and endure the test of time.

Want something unique? Provide a sample, RAL or PMS number and we will color match to your specifications.



envisor[®]
SCREENING SYSTEMS

covrit[®]
SCREENING SYSTEMS

ToughGate[™]
GATES & DOORS

Planx[®]
PLANTERS

nature
screen[®]

SANCTUM
cabanas

Marquee
CANOPIES

ARCHITECTURAL
signage

custom
SOLUTIONS

ECLIPSE[™]
PRIVACY SCREENS

CityScapes[®]

PROFESSIONAL-GRADE PRODUCTS
READY TO MAKE YOUR NEXT PROJECT PERFECT

FOLLOW US | [!\[\]\(4b7a79268f6ba26c1471d4232fffa85a_img.jpg\)](#) [!\[\]\(87d978583253c9bde1db2d6dfafe8de0_img.jpg\)](#) [!\[\]\(f35e6978c00a4669a23800ac9bf47246_img.jpg\)](#) [!\[\]\(b3eed70cb1a77db2123a4d6964c89ec3_img.jpg\)](#)

877.727.3367  **CITYSCAPESINC.COM**



**PLAN COMMISSION
MEMORANDUM**

DATE: April 5, 2024

TO: Chairman Cashman and Plan Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

SUBJECT: Case A-8-2024 - UChicago Medicine Advent Health - 120 N. Oak Street - Sign Permit Review and Major Adjustment to the Planned Development to Allow for Changes to Hospital Campus Signage

FOR: April 10, 2024 Plan Commission Special Meeting

GENERAL APPLICATION INFORMATION

Applicant: Professional Permits (Sign Contractor) / UChicago Medicine Advent Health (Adventist Midwest Health)

Address / PIN(s): 120 N. Oak Street (09-01-416-001; 09-01-417-001; 09-01-417-003; 09-01-417-004)

Site Area: 13.3 acres

Existing Zoning & Land Use: HS Health Services District – Hospital

Surrounding Zoning & Land Uses:

North: R-4 Single-Family Residential District – Single-family detached homes; IB Institutional Buildings District – Membership organization / Hinsdale Seventh-day Adventist Church (across Walnut Street)

South: R-4 Single-Family Residential District – Single-family detached homes; OS Open Space District – Highland Park, Highlands Metra Station (across the BNSF Railroad and Hillgrove Avenue)

East: HS Health Services District – Wellness House; OS Open Space District – Peirce Park (across County Line Road)

West: IB Institutional Buildings District – Village of Hinsdale Public Services Offices & Garage / Future Location of Hinsdale Community Services Food Pantry; OS Open Space District – Brush Hill Park; R-4 Single-Family Residential District – Single-family detached homes (across Elm Street)

APPLICATION SUMMARY

The applicant requests approval of a Sign Permit and Major Adjustment to a Planned Development to allow for changes to hospital campus signage for the rebranding of Hinsdale Hospital from AMITA Health to UChicago Medicine Advent Health located at 120 N. Oak Street in the HS District. Several waivers to the Section 9-106 of the Zoning Code are requested as part of this application request, including to the number and sizes of signage, sign colors, setbacks, ground sign height, and wall sign mounting height.

Although not required by the Zoning Code, the applicant mailed letters to adjacent residential property owners in DuPage County to notify them of the scheduled Board meeting on March 19, 2024 and invite feedback on the proposed signage plans.



MEMORANDUM

BACKGROUND

The property is located within a 13.3-acre Planned Development approved on September 4, 2001 by Ordinance No. O2001-46. The Planned Development consists of seven buildings for Hinsdale Hospital on land bounded between Elm Street, Walnut Street, County Line Road, and the BNSF Railroad / Hillgrove Avenue. [Attachment 5](#) includes a summary of the ordinances previously approved for the Planned Development. Copies of the ordinances are available from the Community Development Department upon request.

Hinsdale Hospital rebranded to AMITA Health in 2017. The Hospital is now rebranding to UChicago Medicine Advent Health.

The subject property is located in the HS Health Services District. Single-family detached homes in the R-4 District and Hinsdale Seventh-day Adventist Church, a membership organization, in the IB District, are located to the north across Walnut Street. Single-family detached homes in the R-4 District and Highland Park / Highlands Metra Station in the OS District are located to the south across the BNSF Railroad and Hillgrove Avenue. Wellness House in the HS District and Peirce Park in the OS District are located to the east across County Line Road. The Village of Hinsdale Public Services offices / garage and the future location for the Hinsdale Community Services Food Pantry in the IB District, Brush Hill Park in the OS District, and single-family detached homes in the R-4 District are located to the west across Elm Street.

REQUEST AND ANALYSIS

There are currently twenty-four (24) signs within the Planned Development with a combined sign face area of 568.2 square feet. This includes eleven (11) ground signs with a combined sign face area of 247.3 square feet, eleven (11) wall signs with a combined sign face area of 267.6 square feet, two (2) awning signs with a combined sign face area of 53.3 square feet, and one (1) awning without signage on the hospital campus.

The applicant is proposing twenty-two (22) signs within the Planned Development with a combined sign face area of 619.8 square feet. This includes ten (10) new ground signs with a combined sign face area of 309.8 square feet, eleven (11) ground signs with a combined sign face area of 286.7 square feet, one (1) awning sign with a combined sign face area of 23.3 square feet, and two (2) awnings without signage.

The applicant has included a detailed table of the changes to the hospital campus signage and the table below summarizes these changes:

SIGN TYPE	EXISTING		PROPOSED	
	Number	Size	Number	Size
Ground Signs	11 signs	247.3 square feet	10 signs	309.8 square feet
Wall Signs	11 signs	267.6 square feet	11 signs	286.7 square feet
Awning Signs	2 with signage 1 without signage	53.3 square feet	1 with signage 2 without signage	23.3 square feet
TOTAL	24 signs	568.2 square feet	22 signs	619.8 square feet

MEMORANDUM

Proposed Waivers to the Zoning Code - Several waivers to the Section 9-106 of the Zoning Code are requested as part of this application request:

- Number of Signs / Sign Face Area. In the HS District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user with the maximum gross surface area for the entire building to not exceed one (1) square foot per foot of building frontage, up to a maximum of one hundred (100) square feet. Three (3) ground signs with a maximum sign face area of fifty (50) square feet may be permitted per lot.
 - Overall Signs. Increase the combined overall sign face area of all signs from 568.2 square feet signage to 619.8 square feet.
 - Ground Signs. Allow for ten (10) ground signs with a total sign face area of 309.8 square feet.
 - Wall Signs. Allow for eleven (11) wall signs with a total sign face area of 286.7 square feet.
 - Awning Signs. Allow for one (1) awning sign with a total sign face area of 23.3 square feet and two (2) awnings with no signage.
- Sign Colors. No sign shall employ more than three (3) colors. Four (4) colors were previously allowed for certain signs in 2017.
 - Allow for ten (10) colors on six (6) signs (Signs 1, 2, 3, 6, 8, 10), nine (9) colors on five (5) signs, (Signs 4, 7, 9, 13, 14), and eight (8) colors on one (1) sign (Sign 12).
- Setbacks. Ground signs shall be ten feet (10') from any front or corner side lot line and six feet (6') from all other lot lines. Several existing ground signs are located outside the private property lines or are setback less than 10' from the property line. Off premise identification signs are allow in the HS District. The applicant is proposing new ground sign structures that will be located within private property and not within the right-of-way.
 - Setbacks. Allow for a reduction to the front or corner lot line setback for nine (9) ground signs from ten (10) feet to zero (0) feet (Signs 1, 2, 3, 4, 6, 7, 9, 10). All sign structures shall be located within private property.
- Landscaping. Existing landscaping around the bases of several signs are located in the Village right-of-way due to the existing reduced setbacks of the ground signs or because several signs are located in the Village right-of-way. The applicant has requested that landscaping continue to be located in the Village right-of-way outside of the private property lines. If approved by the Village Board, a condition will be added to the ordinance to ensure the areas are properly maintained according to the approved final plan set.
 - Allow for landscaping, grass, river rock, and/or mulch to be located in the Village right-of-way around the bases of ten (10) ground signs (Signs 1, 2, 3, 4, 6, 7, 8, 9, 10, 11). The applicant will be responsible for the future maintenance of the areas around the bases of the ground signs and all landscaping in accordance with the proposed plans.
- Ground Sign Height - Sign 1. The maximum allowable height for a ground sign is eight (8) feet.
 - Allow for an increase in ground sign height to eleven (11) feet for Sign 1.
- Mounting Height - Sign 22. Wall signs shall have a maximum height of twenty (20) feet (measured from the top of sign to adjacent grade) or no higher than the bottom of any second floor window, whichever is less.
 - Allow for an increase to the mounting height to 27' 9-1/2" for Sign 22.

MEMORANDUM

Illumination - Five (5) ground signs and four (4) wall signs are currently internally illuminated (Signs 1, 2, 3, 6, 7, 12, 22, 24, 25). A total of ten (10) signs will be illuminated. The replacement signs for the nine (9) existing illuminated signs will continued to be internally illuminated. An additional internally illuminated wall sign (Sign 23) is proposed and will be located on the west building elevation near the emergency / ambulance drop-off area of the main hospital building facing Elm Street.

The applicant has provided lighting details and night renderings for review. Per the applicant, all illuminated signs will be placed on dimmers to reduce the amount of light output from any sign that is deemed too bright after installation. These signs will also be placed on timers and will be illuminated from dusk to dawn, as the hospital is open 24/7 and would like the ensure their signage is visible during all hours of operation.

Per Section 9-106, the illumination of any sign, resulting from any internal or external artificial light source, may not exceed 50 foot-candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and directed as to illuminate only the sign face or faces and to prevent the casting of glare or direct light upon adjacent property or streets.

Single-family homes in the R-4 District are located directly to the north and west of the property. Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of 10:00 P.M. and 7:00 A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.

Community Outreach - Although not required by the Zoning Code, the applicant has mailed out letters to twenty-six (26) adjacent homeowners in DuPage County to inform them of the proposed signage plans, invite resident feedback, and notify them of the scheduled Board meeting on March 19, 2024. The letter is included as Attachment 7.

MEETING HISTORY

Village Board – Referral to the Plan Commission – On March 19, 2024, the Village Board voted to refer the request to the Plan Commission for review and consideration.

Trustee Stifflear provided an overview of the application. Trustee Stifflear noted that this item should be referred to Plan Commission for further consideration due to the needed expertise of the Plan Commission on signage applications, recommendation by Plan Commission Chair. It was noted that the referral to the Plan Commission is consistent with how signage modifications were handled in the past, such as in 2017 when the hospital rebranded to AMITA Health. Trustee Stifflear also noted that UChicago Medicine Advent Health recently installed new signage at the Cancer Treatment Center on Ogden Avenue. No members of the public spoke at the meeting.

REVIEW PROCESS

Major Adjustment to a Planned Development - Pursuant to Section 11-603(K) of the Zoning Code, a Major Adjustment to a Planned Development shall be granted only upon application to, and approval by, the Board of Trustees. The Board of Trustees may, by ordinance duly adopted, grant approval for a Major Adjustment without a hearing upon finding that any changes in the final plan as approved will be

MEMORANDUM

consistent with the concept and intent of the final plan of the Planned Development. If the Board of Trustees determines that a Major Adjustment is not consistent with the concept and intent of the final plan of the planned development as approved, then the Board of Trustees shall refer the request to the Plan Commission for further hearing and review in accordance with the Detailed Plan submittal process, as provided in Section 11-603(D)(3). It shall be determined if the application is in substantial conformity with the Planned Development as approved. The definition of substantial conformity is attached for review in Attachment 6.

The Plan Commission shall at the public meeting review the application for a Major Adjustment. Within 60 days following the conclusion of the public meeting, the Plan Commission shall transmit to the Board of Trustees its recommendation on whether the request is in substantial conformity with the previously approved plans and merits approval, without or without modifications or conditions. Attachment 8 includes the definition for substantial conformity. The applicant has stated that the removal of the Vine Street Station is within substantial conformity with the original approved plans. Staff notes that the project will result in a change to the land uses within the development as well as open space, therefore it appears that the proposed plans are not within substantial conformity with the approved plans.

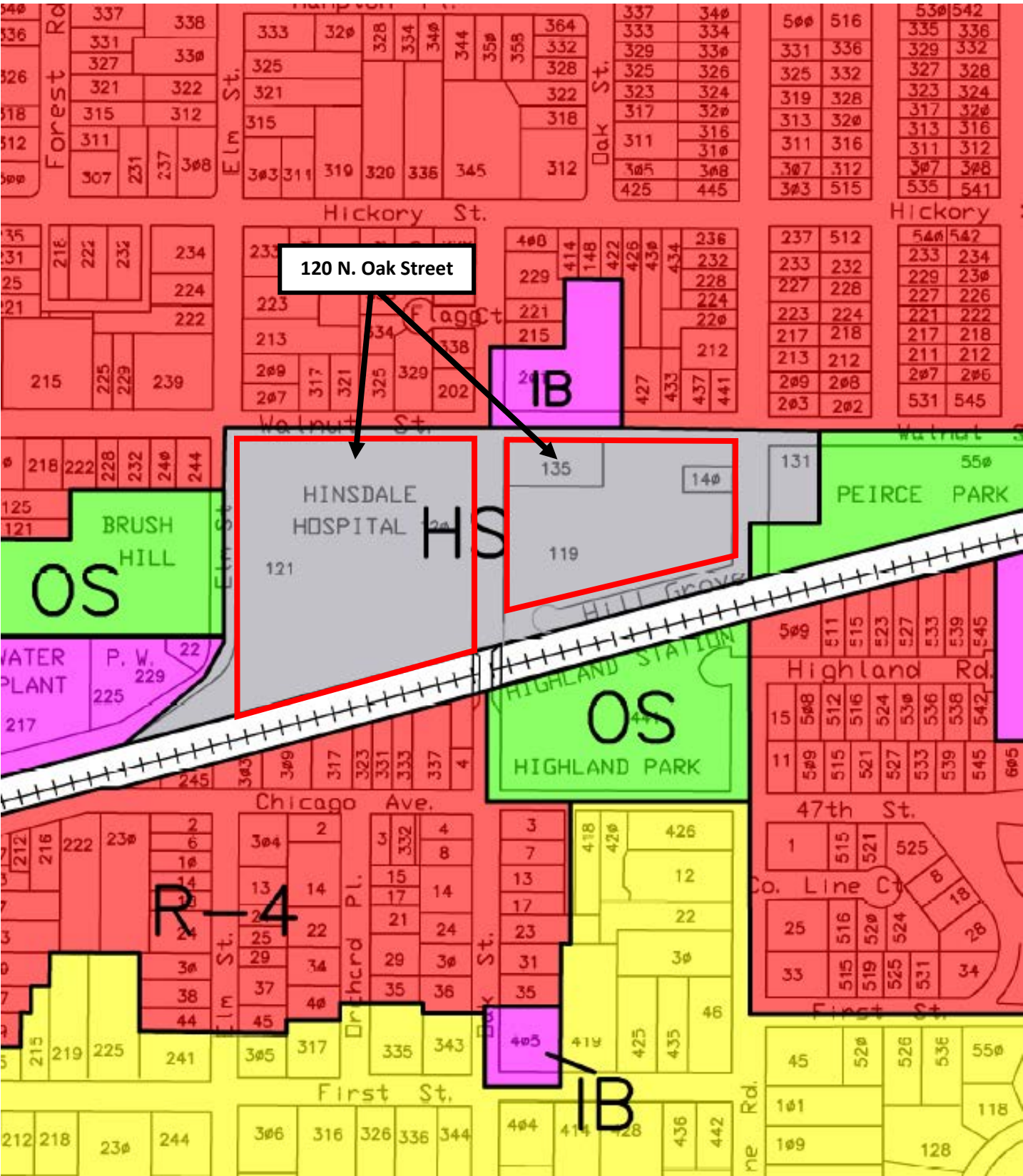
Sign Permit - Per Section 11-607(D) and the nature of the request, this application shall be reviewed and approved by the Plan Commission and does not require public notification. Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

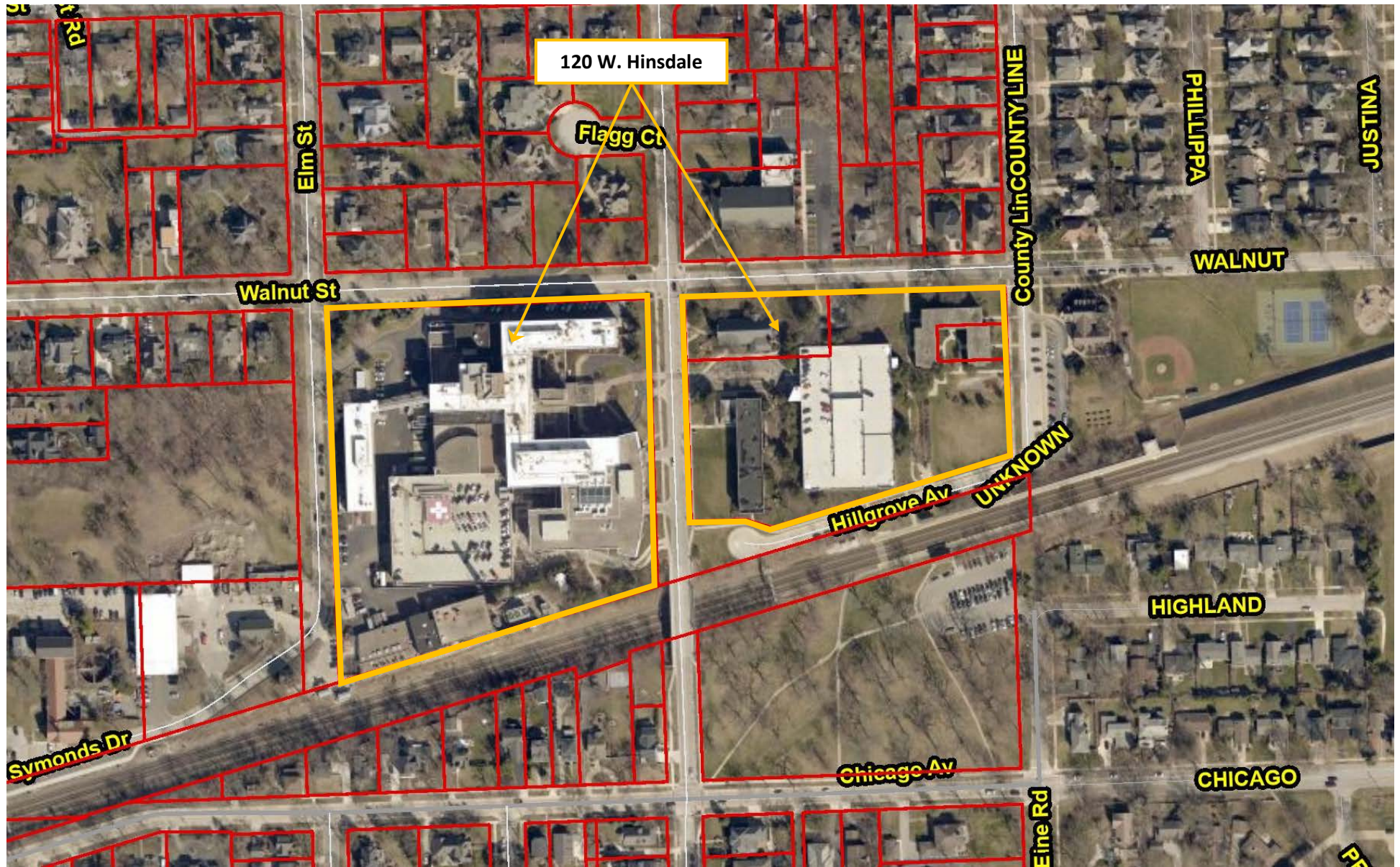
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Summary of Past Approvals / Ordinances
6. Zoning Code Section 12-206 - Definition of Substantial Conformity
7. Courtesy Letter to Neighboring Residents
8. Applications and Exhibits

Village of Hinsdale Zoning Map and Project Location



Aerial View – 120 N. Oak Street



Street View – 120 N. Oak



Walnut & Oak Street – Looking Southwest



Walnut & Oak Street – Looking Southeast

Street View – 120 N. Oak



Oak Street – Looking West

Street View – 120 N. Oak



Oak Street – Looking East

Street View – 120 N. Oak



Walnut Street – Looking South

Street View – 120 N. Oak



Walnut Street – Looking South



Walnut Street & Elm Street – Looking Southeast

Street View – 120 N. Oak



Elm Street – Looking East

Street View – 120 N. Oak



Walnut Street – Looking South

Street View – 120 N. Oak

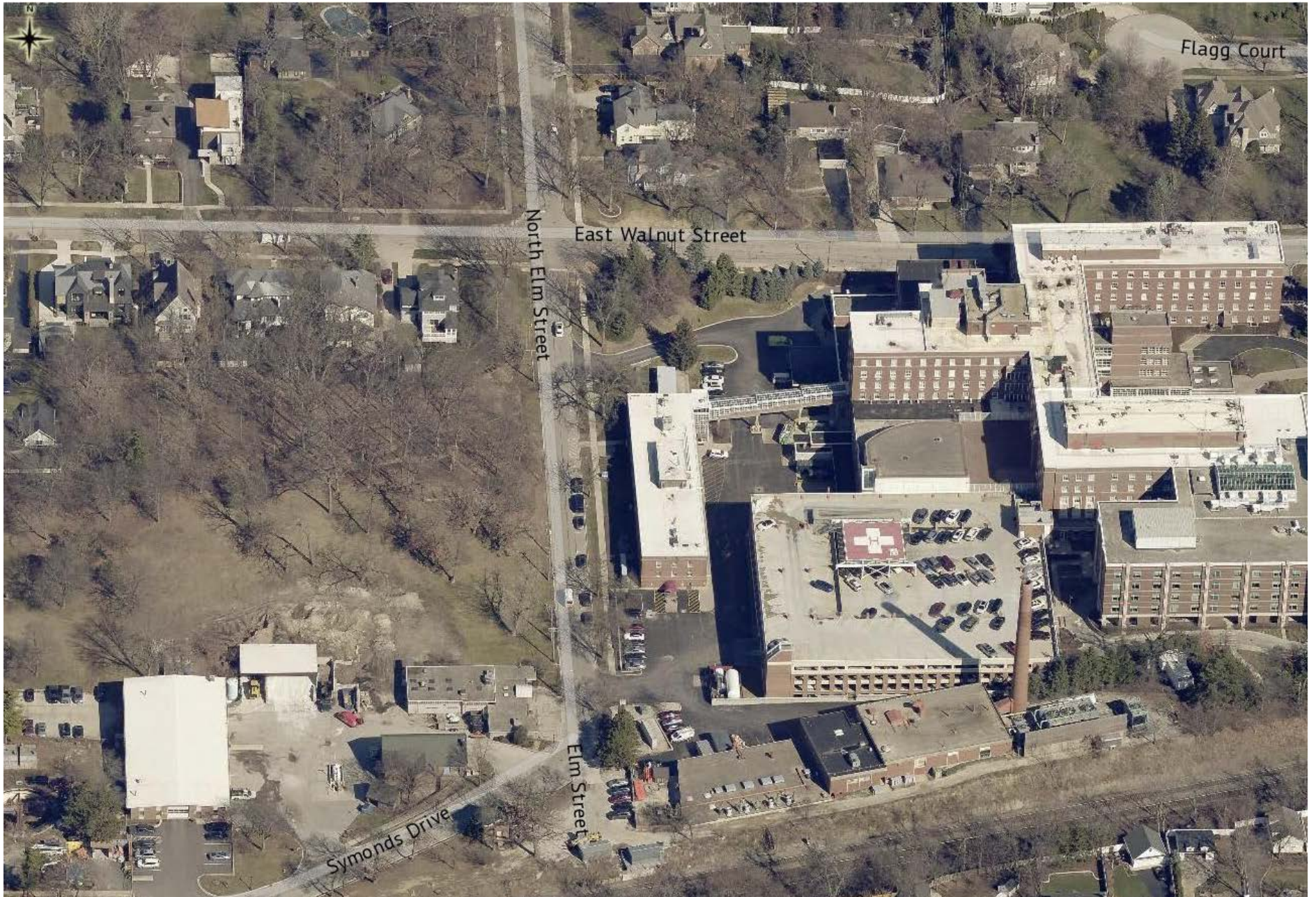


Walnut Street & County Line Road – Looking Southwest



County Line Road – Looking West

Birds Eye View – 120 N. Oak Street



Birds Eye View – 120 N. Oak Street



Birds Eye View – 120 N. Oak Street



Birds Eye View – 120 N. Oak Street



Summary of Past Approvals / Ordinances

The Village Board has previously approved the following ordinances related to the Planned Development located at 120 N. Oak Street [Ordinances are available upon request from the Community Development Department]:

- Ordinance No. O2001-46: An Ordinance Approving a Special Use Permit, a Final Planned Development Final Plan, Site Plan and Exterior Appearance Plans – 9/4/2001 – Creation of the Planned Development and to allow for a 7,520 square foot addition onto the northwest corner of the main hospital building and other site improvements
- Ordinance No. O2002-61: An Ordinance Amending Ordinance No. O2001-46 and Granting a Special Use Permit, Planned Development Approval, Site Plan Approval, and Exterior Appearance Approval for Hinsdale Hospital Fence – 10/1/2022 – To allow for amendments to the original plans and construction of a 24' tall fence / noise barrier south of the existing cooling towers
- Ordinance No. O2003-57: An Ordinance Approving Site Plans and Exterior Appearance Plans for Cellular Antennas – 12/3/2003 – To allow for three cellular antennas for Nextel on the smoke stack and an equipment shelter
- Ordinance No. O2006-11: An Ordinance Amending the Planned Development for Adventist Hinsdale Hospital Related to Decommissioning and Removal of Incinerators at 120 N. Oak Street – 02/07/06 – To allow for the decommissioning and removal of incinerators and a 600 square foot addition on the west side of the building
- Ordinance No. O2007-06: Amending the Planned Development for Adventist Hinsdale Hospital Related to Expansion of Existing Cellular Antenna of the Existing Smoke Stack at 120 N. Oak Street (Plan Commission Case No. A-24-2006 – 01/23/07 – To allow for six additional cellular antennas to be placed on the smokestack for Nextel and an equipment shelter
- Ordinance No. O2010-08: Approving a Special Use Permit for a Helistop at the Property Located at 120 N. Oak Street – 02/01/10 – To allow for a helistop on top of the existing parking garage
- Ordinance No. O2010-09: Approving a Major Adjustment to a Planned Development, and Site Plans and Exterior Appearance Plans for the Expansion of the Existing Hospital Located at 120 N. Oak Street – 02/01/10 – To allow for the construction of a new four-story addition and a helistop on top of the existing parking garage
- Ordinance No. O2012-33: Approving a Major Adjustment to a Planned Development Related to the Replacement and/or Relocation of Existing Cellular Antennas and Associated Equipment on the Existing Smokestack at 120 N. Oak Street – 07/17/12 – To allow for the replacement of two equipment cabinets, addition of two antennas on the smokestack for Sprint
- Ordinance No. O2012-49: Approving a Major Adjustment to a Planned Development for a New Entrance Gate – 11/06/12 – To allow for a new entrance gate on the east side of the main hospital building off of Oak Street
- Ordinance No. O2013-16: Approving a Major Adjustment to a Planned Development for a New Directional Sign – Adventist Hinsdale Hospital – 07/16/13 – Approval of a new sign on Oak Street and waivers to the allowable front yard setback, sign face area size, and height
- Ordinance No. O2015-02: Approving a Major Adjustment to a Planned Development – Hillgrove Avenue Setback And Floor Area Ratio Of Planned Development – 01/20/15 – To allow for the widening of Hillgrove Avenue and conveyance of hospital property to the Village, reduced setbacks, decrease in lot area, and maintaining the right to the former floor area ratio

- Ordinance No. O2015-42: Approving a Site Plan and Exterior Appearance Plan for New Telecommunications Antennas and Related Equipment – 11/17/15 – To allow for two new antennas, two remote radio units, and associated cables on the smoke stack and an equipment cabinet
- Ordinance No. O2017-12: Approving a Second Major Adjustment to a Planned Development for Signage Replacement – 03/22/17 – To allow for a comprehensive sign plan with fifteen signs for the medical campus for rebranding to Amita Health

Zoning Code Section 12-206: Definitions

Substantial Conformity: For the purposes of granting plan approvals relating to planned developments and site plans, a newly submitted plan shall be deemed to be in substantial conformity with a previously approved plan if, but only if, the newly submitted plan:

- A. Does not increase the number of dwelling units, the gross floor area of the development, or the gross floor area devoted to any particular use; and
- B. Does not increase building coverage by more than ten percent (10%) of the percentage of the previously approved plan; and
- C. Does not change the orientation of any building by more than two percent (2%) compared to the previously approved plan; and
- D. Does not decrease open space; and
- E. Does not change the general location of any open space in any manner to detract from its intended function in the previously approved plan; and
- F. Does not change the general location and arrangement of land uses within the development as shown on the previously approved plan; and
- G. Does not change or relocate rights of way shown on the previously approved plan in any manner or to any extent that would decrease their functionality, adversely affect their relation to surrounding land use and rights of way elements, or reduce their effectiveness as buffers or amenities; and
- H. Does not alter the percentage of any land use in any stage of the development by more than ten (10) percentage points as compared to its percentage in the previously approved plan; and
- I. Does not delay any stage of the previously approved development schedule by more than twelve (12) months; and
- J. Does not violate any applicable law or ordinance; and
- K. Does not depart from the previously approved plan in any other manner determined by the reviewing body or official, based on stated findings and conclusions, to be a material deviation from the previously approved plan.



March 4, 2024

RE: AdventHealth – 120 N Oak Hinsdale, IL

Dear valued neighbor,

In January 2023, AdventHealth launched a new joint venture with the University of Chicago Medicine, combining the expertise and resources of both organizations to bring academic-level medicine to the western suburbs. With this change, we are re-branding our four hospitals to reflect UChicago Medicine's national reputation for academic-level specialty and subspecialty care.

Our intention is to enhance our patient and visitor experience by providing convenient access and wayfinding throughout the campus while reflecting our new brand standards.

As part of the changes to our re-branding, we must submit our proposed sign changes to the Village Board for their review. Although not mandatory, we also want to make you aware of these changes and provide you with the opportunity to discuss these changes at the Village Board meeting on March 19, 2024, at 7:00 PM in the Village Hall.

You may contact Bethany Salmon, Village Planner 630-789-7035 or go to Village Hall 19 E. Chicago Avenue, Hinsdale, IL 60521 to review the proposed sign changes.

We look forward to discussing this exciting new brand update with you and the board on that evening.

If you have any questions regarding this letter, please contact Garry Potts with Professional Permits at 574-229-0635 or gpotts@professionalpermits.com

Sincerely,

A handwritten signature in black ink, appearing to read "Garry Potts".

Garry P Potts II, Agent for AdventHealth



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT
DEPARTMENT**

PLAN COMMISSION APPLICATION

I. GENERAL INFORMATION

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Owner

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Others, if any, involved in the project (i.e. Architect, Attorney, Engineer)

Name: _____

Title: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Name: _____

Title: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Disclosure of Village Personnel: (List the name, address and Village position of any officer or employee of the Village with an interest in the owner of record, the Applicant or the property that is the subject of this application, and the nature and extent of that interest)

1) _____

2) _____

3) _____

II. SITE INFORMATION

Address of subject property: _____

Property identification number (P.I.N. or tax number): ____ - ____ - ____ - ____

Brief description of proposed project: _____

General description or characteristics of the site: _____

Existing zoning and land use: _____

Surrounding zoning and existing land uses:

North: _____

South: _____

East: _____

West: _____

Proposed zoning and land use: _____

Please mark the approval(s) you are seeking and attach all applicable applications and standards for each approval requested:

☐ Site Plan Approval 11-604

☐ Design Review Permit 11-605E

☐ Exterior Appearance 11-606E

☐ Special Use Permit 11-602E

Special Use Requested: _____

☐ Map and Text Amendments 11-601E

Amendment Requested: _____

☐ Planned Development 11-603E

☐ Development in the B-2 Central Business District Questionnaire

TABLE OF COMPLIANCE

Address of subject property: _____

The following table is based on the _____ Zoning District.

	Minimum Code Requirements	Proposed/Existing Development
Minimum Lot Area (s.f.)		
Minimum Lot Depth		
Minimum Lot Width		
Building Height		
Number of Stories		
Front Yard Setback		
Corner Side Yard Setback		
Interior Side Yard Setback		
Rear Yard Setback		
Maximum Floor Area Ratio (F.A.R.)*		
Maximum Total Building Coverage*		
Maximum Total Lot Coverage*		
Parking Requirements		
Parking front yard setback		
Parking corner side yard setback		
Parking interior side yard setback		
Parking rear yard setback		
Loading Requirements		
Accessory Structure Information		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant certifies and acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The owner of the subject property, if different from the applicant, states that he or she consents to the filing of this application and that all information contained in this application is true and correct to the best of his or her knowledge.
- B. The applicant understands that an incomplete or nonconforming application will not be considered. In addition, the applicant understands that the Village may require additional information prior to the consideration of this application which may include, but is not limited to, the following items:
1. Minimum yard and setback dimensions and, where relevant, relation of yard and setback dimensions to the height, width, and depth of any structure.
 2. A vehicular and pedestrian circulation plan showing the location, dimensions, gradient, and number of all vehicular and pedestrian circulation elements including rights-of-way and streets; driveway entrances, curbs, and curb cuts; parking spaces, loading spaces, and circulation aisles; sidewalks, walkways, and pathways; and total lot coverage of all circulation elements divided as between vehicular and pedestrian ways.
 3. All existing and proposed surface and subsurface drainage and retention and detention facilities and all existing and proposed water, sewer, gas, electric, telephone, and cable communications lines and easements and all other utility facilities.
 4. Location, size, and arrangement of all outdoor signs and lighting.
 5. Location and height of fences or screen plantings and the type or kind of building materials or plantings used for fencing or screening.
 6. A detailed landscaping plan, showing location, size, and species of all trees, shrubs, and other plant material.
 7. A traffic study if required by the Village Manager or the Board or Commission hearing the application.
- C. The Applicants shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicants shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. The Applicant understands that he/she is responsible for all application fees and any other fees, which the Village assesses under the provisions of Subsection 11-301D of the Village of Hinsdale Zoning Code as amended April 25, 1989.
- F. THE OWNER OF THE SUBJECT PROPERTY AND, IF DIFFERENT, THE APPLICANT ARE JOINTLY AND SEVERALLY LIABLE FOR THE PAYMENT OF THE APPLICABLE APPLICATION FEE. BY SIGNING THE APPLICATION, THE OWNER HAS AGREED TO PAY SAID FEE, AND TO CONSENT TO THE FILING AND FORECLOSURE OF A LIEN AGAINST SUBJECT PROPERTY FOR THE FEE PLUS COSTS OF COLLECTION, IF THE ACCOUNT IS NOT SETTLED WITHIN THIRTY (30) DAYS AFTER THE MAILING OF A DEMAND FOR PAYMENT.

On the 15 day of February, 2024, I/We have read the above certification, understand it, and agree to abide by its conditions.



Signature of applicant or authorized agent

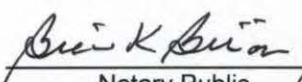
Garry P Potts II

Name of applicant or authorized agent

Signature of applicant or authorized agent

Name of applicant or authorized agent

SUBSCRIBED AND SWORN
to before me this 15 day of
February, 2024.

 / Brian K Birion

Notary Public





**MAJOR ADJUSTMENT TO PLANNED
DEVELOPMENT
COMMUNITY DEVELOPMENT
DEPARTMENT**

***Must be accompanied by completed Plan Commission Application**

Address of proposed request:

Proposed Planned Development request:

Amendment to Adopting Ordinance Number:

REVIEW CRITERIA:

Paragraph 11-603K2 of the Hinsdale Zoning Code regulates Major Adjustments to a Final Planned Development that are under construction and Subsection 11-603L regulates Amendments to Final Plan Developments Following Completion of Development and refers to Subsection 11-603K. Any adjustment to the Final Plan not authorized by Paragraph 11-603K1 shall be considered to be a Major Adjustment and shall be granted only upon application to, and approval by, the Board of Trustees. The Board of Trustees may, by ordinance duly adopted, grant approval for a Major Adjustment without a hearing upon finding that any changes in the Final Plans as approved will be in substantial conformity with said Final Plan. If the Board of Trustees determines that a Major Adjustment is not in substantial conformity with the Final Plan as approved, then the Board of Trustees shall refer the request to the Plan Commission for further hearing and review.

1. Explain how the proposed major adjustment will be in substantial conformity with said plan.
2. Explain the reason for the proposed major adjustment.

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 1

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 2

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 3

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: signs 4&7

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 6

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 8

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 9

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 10

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 11

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 12

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: signs 13&14

Overall Size (Square Feet): _____ (_____ x _____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: signs 15 - 18

Overall Size (Square Feet): _____ (_____ x _____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 19a

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 22

Overall Size (Square Feet): _____ (_____ x _____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 23

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information: sign 25

Overall Size (Square Feet): _____ (____ x ____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Signature of Applicant

Date

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____

January 23, 2024

Village of Hinsdale
Board of Village Trustees
19 E. Chicago Avenue,
Hinsdale, IL 60521

RE: UChicago Medicine Advent Health – 120 N Oak

UChicago Medicine Advent Health is the new partnership that results from the dissolution of the AMITA Health partnership between Ascension Health and Advent Health. We are excited about this new partnership and welcome the opportunity to serve the residents of this great community. As part of this partnership, the branding of the signs is changing. A summary of the sign changes is provided below along with a breakdown of any signs that vary from the Village's Zoning Code and the reasoning for the variance.

There are currently eleven (11) freestanding signs on the campus. We are proposing to replace ten (10) of those signs and remove one (1) sign from the campus. The total square footage for the ten (10) ground signs is 309.8 square feet.

There are eleven (11) wall signs and we are replacing nine (9) of those signs, removing one (1) sign completely, leaving one (1) sign unchanged, and installing a new wall sign as well. There will still be eleven (11) wall signs when all changes are made. The total square footage of the eleven (11) wall signs is 286.7 square feet.

Three (3) fabric awnings will be reskinned and changed from burgundy to black fabric. There are two (2) with graphics and one (1) without. After the rebrand, there will be one (1) awning with graphics and two (2) awnings without graphics. The total square footage of the awning with graphics is 23.3 square feet.

All illuminated signs will be on dimmers and timers and will be illuminated from dusk to dawn as the hospital is open 24/7 and the public needs the signs to be visible at all times. The municipal code allows signs to be illuminated during the business hours of operation. The dimmers will allow us to reduce the amount of light output from any sign that is deemed too bright. Currently, all illuminated signs on the campus are operated on timers and/or sensors from dusk to dawn.

Signs 1, 3, 6, and 7 will have 7 x 7 landscape areas around the base of the sign. There will be a portion of the landscape that will be in the right of way. The hospital agrees to be responsible for the landscaping in those areas and to keep them in accordance with the proposed plans. The landscaping around the current signs is already handled by the hospital so the plan is to continue to maintain any new landscaping in the right of way.

Below is a summary of any deviations from the code:

- Sign Colors. No sign shall employ more than three (3) colors. We are proposing more than 3 colors as this is our primary campus and it is appropriate to provide the full colors spectrum for each brand to provide the necessary brand recognition for the campus. The breakdown of signs and the number of colors is bulleted below.
 - Signs 1,2,3,6,8, and 10 have 10 colors.

- Signs 4, 7, 9, 13, and 14 have 9 colors.
 - Sign 12 has 8 colors
- Setbacks. Ground signs may be ten feet (10') from any front or corner side lot line and six feet (6') from all other lot lines. Below is the list of signs and their proposed setback.
 - Sign 1 is currently 3' outside of the property line. Proposed to be 0' from the property line. A variance of 10'.
 - Signs 2, 3, 4, 6, 7, 9, and 10 currently have a 0' setback and the same is true for the proposed signs. A variance of 10'.
 - Sign 8 is currently 4.5' outside of the property line. It is proposed to be 0' from the property line. A variance of 10'.
- Mounting Height for Sign 22. Wall signs shall have a maximum height of 20 feet (measured from the top of sign to adjacent grade) or no higher than the bottom of any second floor window, whichever is less. Sign is proposed at 27' 9-1/2". A variance of 7' 9-1/2".
- Number of Signs & Sign Face Area.
 - The total square footage for the ten (10) ground signs is 309.8 square feet.
 - The total square footage of the eleven (11) wall signs is 286.7 square feet.
 - The total square footage of the one (1) awning with graphics is 23.3 square feet.
- Ground Sign Height. A maximum 8' height is allowed per code. 11' height is proposed for Sign 1.



Customer Name: UChicago Medicine Advent Health



Major Adjustment Supplemental Overview

Location: Advent Medical Center – Hinsdale

Address: 120 North Oak Street Hinsdale, IL 60521















Intro: Advent Health is seeking a major amendment to the plan development for the Amita Medical Center campus to be added to Ordinance O2017-12. The campus includes three (3) separate addresses in the Hinsdale community and a major amendment will allow UChicago Medicine Advent Health to brand the entire campus with a clear and consistent brand presence. This is commonly referred to as a Comprehensive Sign Plan (CSP). The objective of the plan is to improve wayfinding and circulation with the Campus and the surface roads surrounding each respective address and to reflect the dissolving of the AMITA health partnership and announce the newly formed UChicago Medicine Advent Health partnership.

Synopsis: 10 signs are increasing in size.
6 signs are decreasing in size.
10 signs are not changing size.
2 signs are being removed.
There is no change in illumination except for existing sign #22. That sign is currently internally illuminated however the new sign and sign #23 will be halo-lit to reduce the amount of light produced by the signs.




Existing							Proposed						
Sign #	type	description	height	width	size (SF)	illumination	type	description	height	width	size (SF)	illumination	Corresponding page #
1	freestanding	D.F. Illuminated Pylon W/ Emergency	11'-0"	6'-0"	54.7	internal	freestanding	D.F. Illuminated Pylon W/ Emergency	12'-0"	5'-3 3/8"	63.3	internal	6
2	freestanding	D.F. Illuminated Pylon W/ Emergency	7'-0"	5'-0"	28.9	internal	freestanding	D.F. Illuminated Pylon W/ Emergency	8'-0"	4'-1 1/2"	33.0	internal	7
3	freestanding	D.F. Illuminated Pylon W/ Emergency	8'-0"	4'-3"	16.8	internal	freestanding	D.F. Illuminated Pylon W/ Emergency	8'-0"	4'-1 1/2"	33.0	internal	8
4	f/s directional	D.F. Non-Illuminated Monument	6'-0"	4'-6"	17.8	non	f/s directional	D.F. Non-Illuminated Monument	4'-0"	5'-5 5/8"	21.8	non	9
5	f/s directional	D.F. Non-Illuminated Directional	6'-0"	4'-6"	17.8	non	none	Removal Only			0		10
6	f/s directional	D.F. Illuminated Monument W/ Emergency	6'-0"	4'-6"	16.8	internal	f/s directional	D.F. Illuminated Monument W/ Emergency	6'-0"	8'-2 3/8"	49.2	internal	11
7	f/s directional	D.F. Non-Illuminated Monument	6'-0"	4'-3"	17.8	internal	f/s directional	D.F. Non-Illuminated Monument	4'-0"	5'-5 5/8"	21.8	internal	12
8	f/s directional	D.F. Non-Illuminated Directional W/ Emergency	6'-0"	4'-6"	16.8	non	f/s directional	D.F. Non-Illuminated Directional W/ Emergency	8'-0"	4'-1 1/2"	33.0	non	13
9	f/s directional	S.F. Non-Illuminated Directional	6'-0"	4'-6"	17.8	non	f/s directional	S.F. Non-Illuminated Directional	4'-0"	4'-1 1/2"	16.5	non	14
10	f/s directional	D.F. Non-Illuminated Directional W/ Emergency	6'-0"	4'-6"	17.8	non	f/s directional	D.F. Non-Illuminated Directional W/ Emergency	6'-0"	4'-1 1/2"	24.8	non	15
11	ground sign	Non-Illuminated Plate Letters	2'-8"	9'-1 1/8"	24.3	non	ground sign	ground sign – sign face change	3'-4"	9'-9"	13.4	non	16
12	wall sign	Pan Formed Aluminum Sign Band Faces	2'-0"	47'-1 1/2"	94.3	internal	wall sign	Pan Formed Aluminum Sign Band Faces	2'-0"	50'-3/8"	100.1	internal	17
13	wall sign	Parking Sign	4'-0"	4'-0"	16.0	non	wall sign	Parking Sign	4'-0"	4'-0"	16.0	non	20
14	wall sign	Parking Sign	4'-0"	4'-0"	16.0	non	wall sign	Parking Sign	4'-0"	4'-0"	16.0	non	21
15	wall sign	Parking Garage Entrance Sign W/Clearance	1'-0"	8'-0"	8.0	non	wall sign	Parking Garage Entrance Sign W/Clearance	1'-0"	8'-0"	8.0	non	22

16	wall sign	Parking Garage Entrance Sign W/Clearance	1'-0"	8'-0"	8.0	non	wall sign	Parking Garage Entrance Sign W/Clearance	1'-0"	8'-0"	8.0	non	23
17	wall sign	Parking Garage Exit Sign	1'-0"	8'-0"	8.0	non	wall sign	Parking Garage Exit Sign	1'-0"	8'-0"	8.0	non	24
18	wall sign	Parking Garage Exit Sign	1'-0"	8'-0"	8.0	non	wall sign	Parking Garage Exit Sign	1'-0"	8'-0"	8.0	non	25
19a	awning	Awning Graphics	3'-7"	6'-6"	23.3	non	awning	Awning Graphics	3'-7"	6'-6"	23.3	non	26
19b	awning	Awning Reskin W/O Graphics	0	0	0.0	non	awning	Awning Reskin W/O Graphics	0	0	0.0	non	27
20	wall sign	Employee Entrance	1'-8"	1'-8"	2.8	non	none	Removal Only					28
21	awning	Awning W/Graphics	3'-0"	10'-1/4"	30.0	non	awning	Awning Reskin W/O Graphics	0	0	0.0	non	29
22	wall sign	Internal Illum Channel Letters			65.0	internal	wall sign	Internal Illum Channel Letters	2'-2 1/2"	18'-0"	39.8	internal	30
23	wall sign	None	none		0.0		wall sign	Internal Illum Channel Letters	3'-1 5/8"	13'-2"	41.3	internal	31
24	wall sign	Emergency Channel Letters			14.1	internal	wall sign	Emergency Channel Letters - No Change			14.1	internal	33
25	wall sign	Walk In Entrance Sign	1'-5 3/4"	18'-6"	27.4	internal	wall sign	Emergency Channel Letters	1'-5 3/4"	18'-6"	27.4	internal	34
					568.2	TOTAL					619.8	TOTAL	

COLORS / MATERIALS

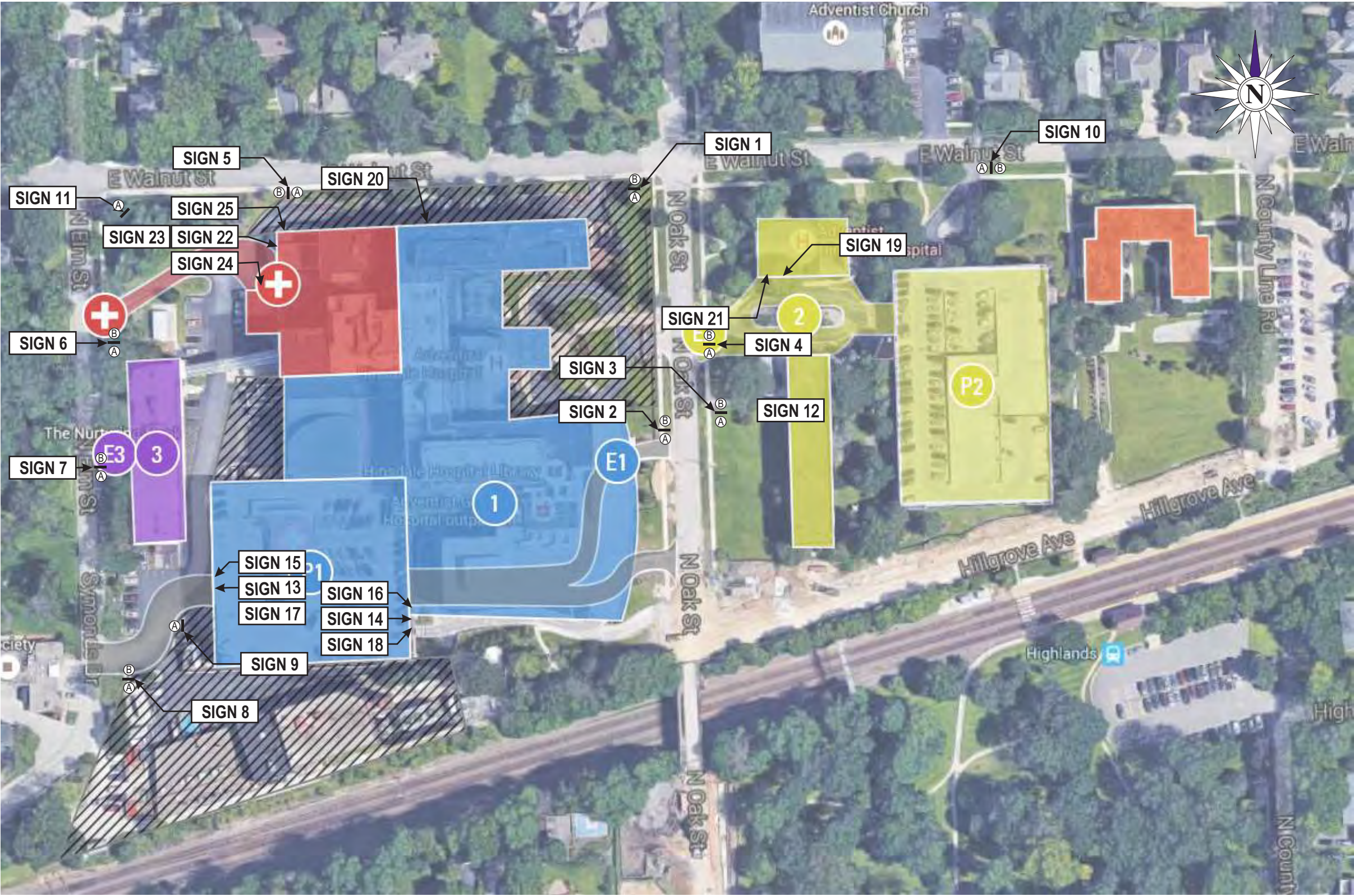
AH DARK BLUE - PMS 7691	AH LIGHT BLUE - PMS 299	AH DARK GREEN - PMS 7720	AH GREEN - PMS 376	AH EMERGENCY RED	AH WHITE	AH DARK GRAY
<div> <u>OPAQUE:</u></div>	<div> <u>OPAQUE:</u></div>	<div> <u>OPAQUE:</u></div>	<div> <u>OPAQUE:</u></div>	<div> <u>OPAQUE:</u></div>	<div> <u>OPAQUE:</u> 3M 180-10 Opaque White</div>	<div> <u>OPAQUE:</u></div>
<div> <u>PAINT:</u> Matthews MP74410 R174561 to match Pantone 7691 Dk. Blue</div>	<div> <u>PAINT:</u> Matthews MP77101 R174561 to match Pantone 299 Lt. Blue</div>	<div> <u>PAINT:</u> Matthews MP76487 R174561 to match Pantone 7720 Dk. Green</div>	<div> <u>PAINT:</u> Matthews MP77120 R174561 to match Pantone 376 Green</div>	<div> <u>PAINT:</u> Matthews MP73249 R174561</div>	<div> <u>PAINT:</u> Matthews Natural White</div>	<div> <u>PAINT:</u> Matthews MP95649 R176076 to match Pantone 430 Gray</div>

<u>UCHICAGO LOGO - RED</u>	<u>UCHICAGO LOGO - BLACK</u>	<u>UCHICAGO LOGO - RULE LINE</u>
<div> CMYK: 0, 100, 70, 50</div>	<div> 100% Black</div>	<div> Pantone 430C</div>
	<div> <u>DUAL COLOR:</u> 3M 3635-222 Dual Color Black</div>	

<div> <u>DIFFUSER FILM:</u> 3M 3635-70 White</div>
<div> <u>REFLECTIVE:</u> 3M 680-10 White</div>
<div> <u>OPAQUE FOR WINDOWS:</u> 3M 7725-10 Opaque White</div>

SITE PLAN

Scale: N.T.S.



Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



UChicago
Medicine



AdventHealth

ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

3

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R45.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	
Rev 44	458326	01/02/24 CR		Rev 38	451933	10/26/23 CR	
Rev 45	458777	01/05/24 CR		Rev 39	446960	11/08/23 CR	
Rev 33	437032	07/11/23 TC		Rev 40	456368	12/06/23 CR	
Rev 34	437603	07/14/23 TC		Rev 41	457989	12/21/23 CR	Adjusted Sign 8 Position
Rev 35	438456	07/19/23 TC		Rev 42	458044	12/26/23 CR	Adjusted Sign 8 Position
Rev 36	440860	08/04/23 CR		Rev 43	458239	12/28/23 CR	Updated Sign 8 placement

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

SITE PLAN

Scale: N.T.S.





Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

UChicago Medicine

Advent Health

ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

4

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R45.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	updated with new plat plan
Rev 44	458326	01/02/24 CR		Rev 38	451933	10/26/23 CR	
Rev 45	458777	01/05/24 CR	Moved Signs 1,2,3,4 & 7 within property line	Rev 39	446960	11/08/23 CR	
Rev 33	437032	07/11/23 TC		Rev 40	456368	12/06/23 CR	
Rev 34	437603	07/14/23 TC		Rev 41	457989	12/21/23 CR	Adjusted Sign 8 Position
Rev 35	438456	07/19/23 TC		Rev 42	458044	12/26/23 CR	Adjusted Sign 8 Position
Rev 36	440860	08/04/23 CR		Rev 43	458239	12/28/23 CR	Updated Sign 8 placement

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

LANDSCAPING NOTES

Scale: N.T.S.

Sign 1: *Outside of the property line* (3' outside of the property line)
-3' existing setback; 0' proposed from Oak and Walnut
Existing landscaping consist of Clubbed Begonia plants and Zinnia plants,
New 7'x7' planter bed will consist of new clubbed Begonia plants and Zinnia plants
All planters containing plant life will be mulched.
QTY: (3) Three flats of Begonias & (3) Three flats of Zinnias;
(18) Eighteen plants per flat; Total = 54 Begonias & 54 Zinnias

-Sign 2: 0' setback existing from property line; 0' proposed
-Existing landscape is grass
-New bed will consist of existing back-filled soil with grass seed

Sign 3: 0' setback existing from property line; 0' proposed
-Existing landscaping consists of Clubbed Begonia plants and Zinnia plants,
-New 7'x7' bed will consist with new Clubbed Begonia plants and Zinnia plants
All planters containing plant life will be mulched.
QTY: (3) Three flats of Begonias & (3) Three flats of Zinnias;
-(18) Eighteen plants per flat; Total = 54 Begonias & 54 Zinnias

Sign 4: 0' setback existing from property line; 0' proposed
-Existing landscaping consists of river rocks
-New bed will consist of existing river rocks

Sign 6: 0' setback existing from property line; 0' proposed
-Existing landscaping consist of Clubbed Begonia plants and Zinnia plants
-New 3' - 4" x 9' - 0" bed will consist with new Clubbed Begonia plants and Zinnia plants
-All planters containing plant life will be mulched.
QTY: (2) two flats of Begonias & (2) two flats of Zinnias;
(18) Eighteen plants per flat; Total = 36 Begonias & 36 Zinnias

Sign 7: 0' setback existing from property line; 0' proposed
-Existing landscaping consist of Clubbed Begonia plants and Zinnia plants
-New 2'-10"x7' bed will consist with new Clubbed Begonia plants and Zinnia plants
All planters containing plant life will be mulched.
QTY: (2) Two flats of Begonias & (2) Two flats of Zinnias;
(18) Eighteen plants per flat; Total = 36 Begonias & 36 Zinnias

Sign 8: (Sign is currently outside of property line)
-4.5'existing setback from property line; 0' proposed
Existing landscaping consist of mulch bed. Will be same for proposed

Sign 9: 0' setback existing from property line; 0' proposed
-Existing landscaping consists of river rocks
-New bed will consist of existing river rocks

Sign 10: 0' setback existing from property line; 0' proposed
-No Existing landscaping (Grass)
-New bed will consist of pea gravel

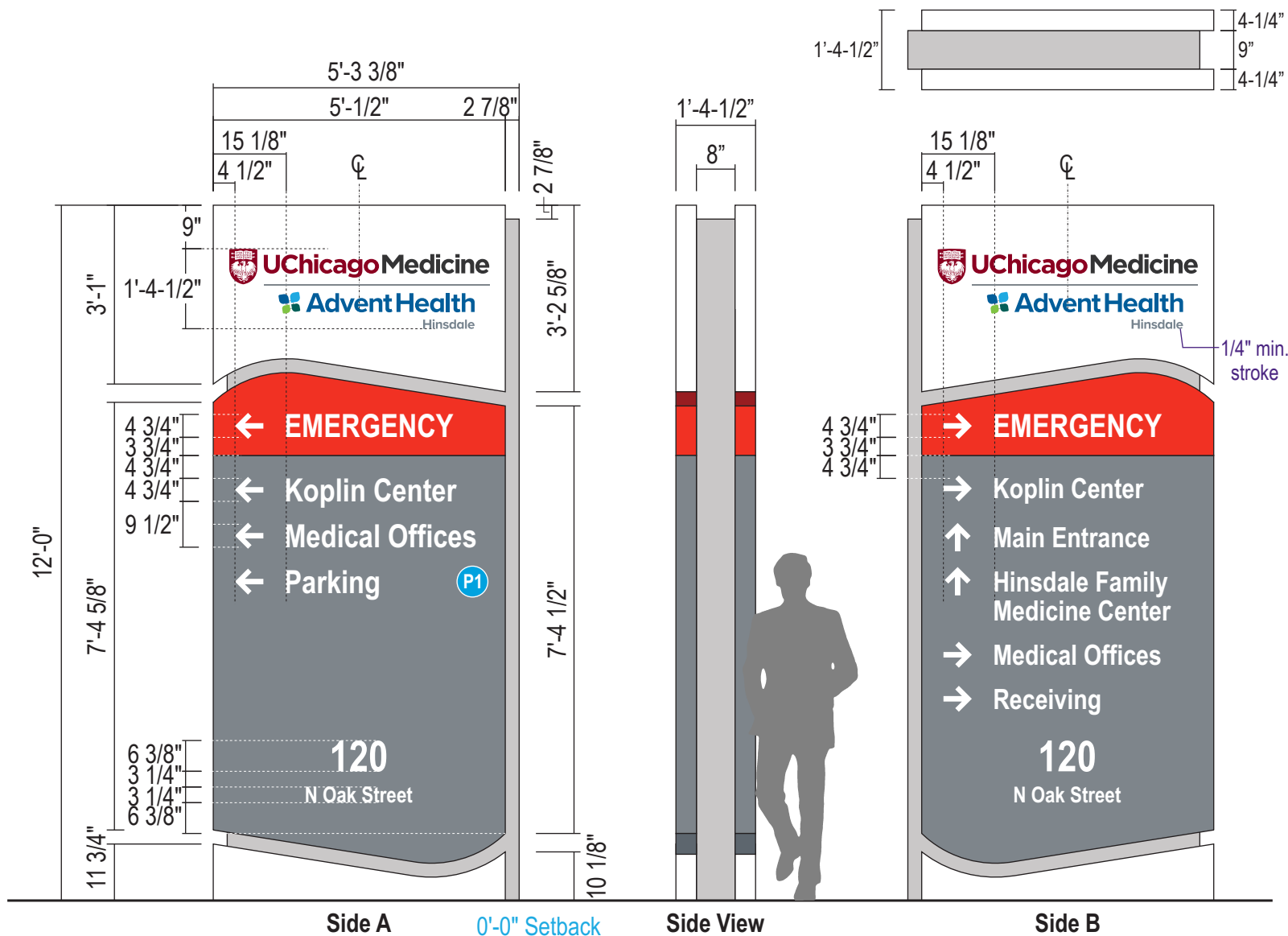
D.F. ILLUMINATED PYLON W/ EMERGENCY

Scale: 3/8"=1'-0"

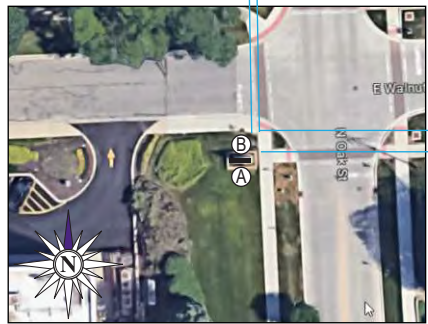
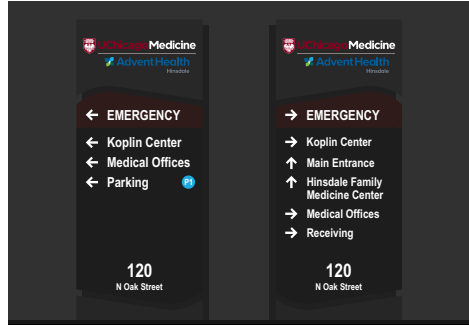
PE-12-IL - CUSTOM

EXISTING SIGN SF:	54.7
PROPOSED SIGN SF:	63.3

- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted light gray
- REVEALS:** .125 alum. reveal painted light gray
- FACES:** .125 routed alum. face; chemically welded to frame with vertical piano hinge ; Painted white, gray and Red
- COPY:** Routed graphics backed up w/ #7328 White flushed in acrylic bonded to 1/4" clear acrylic; Surface applied trans vinyls as shown; 'Medicine' to have 3M Dual color vinyls to illuminate white at night; second surface applied diffuser film on all copy -
- TYPEFACE:** Arial Narrow Bold
- ILLUM.** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Dimmer switch required - Stratus to provide;Power supplies housed within cabinet
Illum Note: Max of 50 Footcandles measured from the width of the sign
- BASE:** Fabricated .125 alum base painted White SG
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated pylon required



SIMULATED NIGHT VIEW:



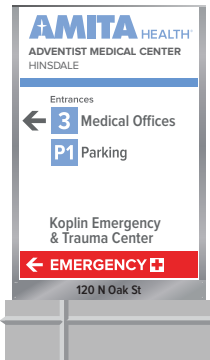
COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

See page 2 for additional color specifications

EXISTING CONDITIONS

FACE: 9'-1-1/2" X 6'-0"
OAH: 11'-0"

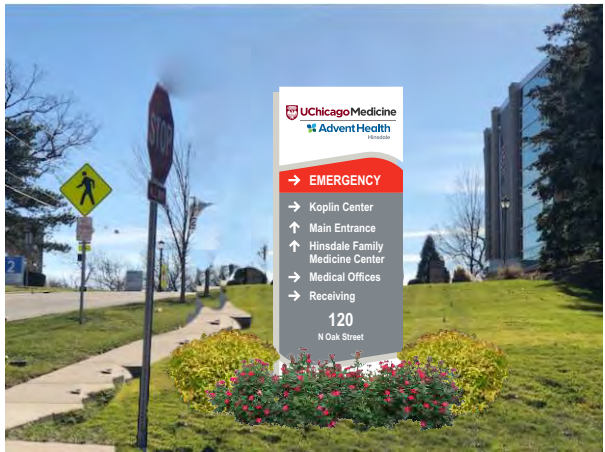


SIDE A

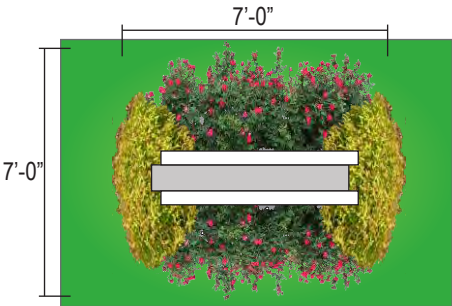


SIDE B

EXISTING MONUMENT TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.
TIE TO EXISTING ELECTRICAL



PROPOSED SIGNAGE Scaled Proportionately



Landscaping plan view

New 7'x7' bed to consist of Clubbed Begonia & Zinnia plants

(3) Zinnia flats
(3) Begonia Flats
18 plants per flat
QTY: 54 Zinnia
QTY: 54 Begonia

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

6

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

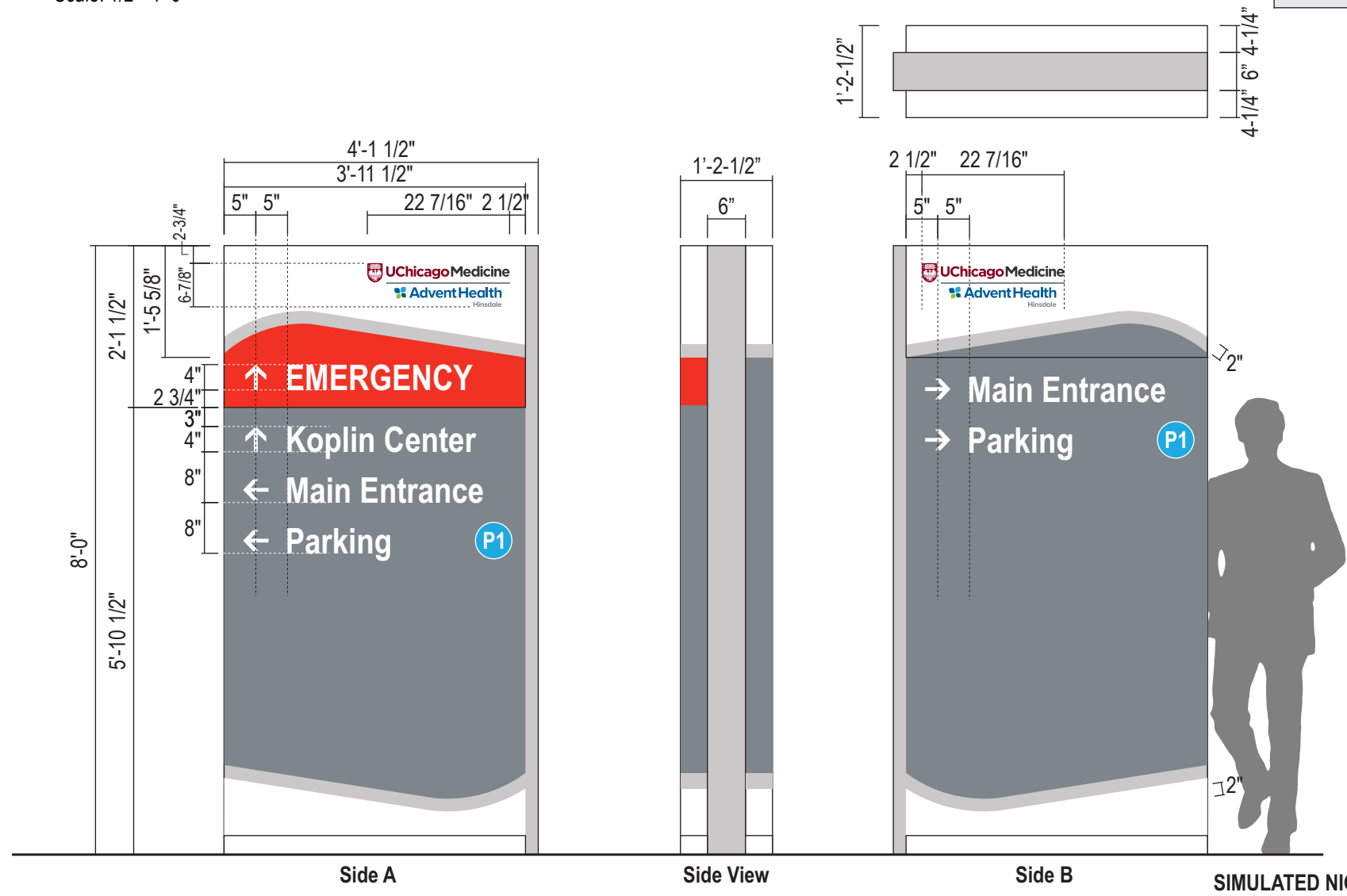
DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC	Revised to routed & Backed up	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 36	440860	08/04/23 CR	Changed landscaping from pebble to floral	Rev 30	431463	05/25/23 KWK	Added shop drawing stamp

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 1/2"=1'-0"

EXISTING SIGN SF:	28.9
PROPOSED SIGN SF:	33.0



- CABINET:** Sign comp extrusion - Depth as shown - painted to match faces
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted light gray
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; Gray copy body, lower light gray band, white at base & header graphics to be opaque; Directional copy emergency lettering to illuminate only
- ILLUM.** Agilight White LED's as required by manufacturer
Dimmer switch required - Stratus to provide;Power supplies housed within cabinet
Illum Note: Max of 50 Footcandles measured from the width of the sign
- BASE:** .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required

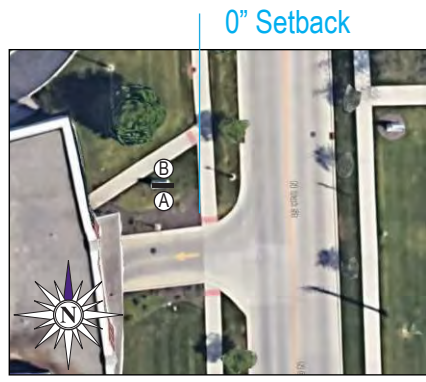
EXISTING MONUMENT TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.
TIE TO EXISTING ELECTRICAL

EXISTING CONDITIONS

FACE: 5'-9-3/8" X 5'-0"
OAH: 7'-0"



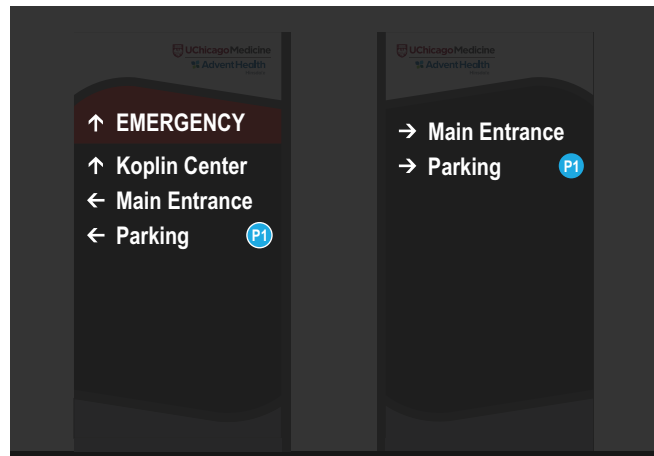
Scale: N.T.S.



COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

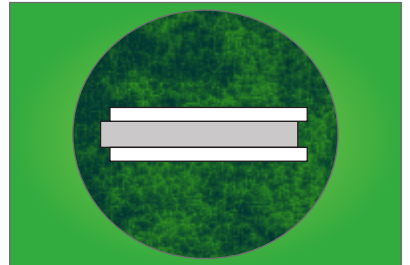
See page 2 for additional color specifications



SIDE A



SIDE B



Landscaping plan view

New bed to consist of existing back-filled soil with grass seed

Scale: 1/2"=1'-0"

EXISTING SIGN SF:	16.8
PROPOSED SIGN SF:	33.0

- CABINET:** Sign comp extrusion - Depth as shown - painted to match faces
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted light gray
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; Gray copy body, lower light gray band, white at base & header graphics to be opaque; Directional copy emergency lettering to illuminate only
- ILLUM.** Agilight White LED's as required by manufacturer
Dimmer switch required - Stratus to provide;Power supplies housed within cabinet
Illum Note: Max of 50 Footcandles measured from the width of the sign
- BASE:** .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required

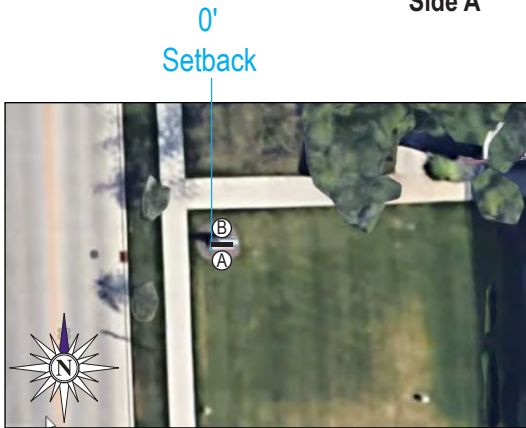
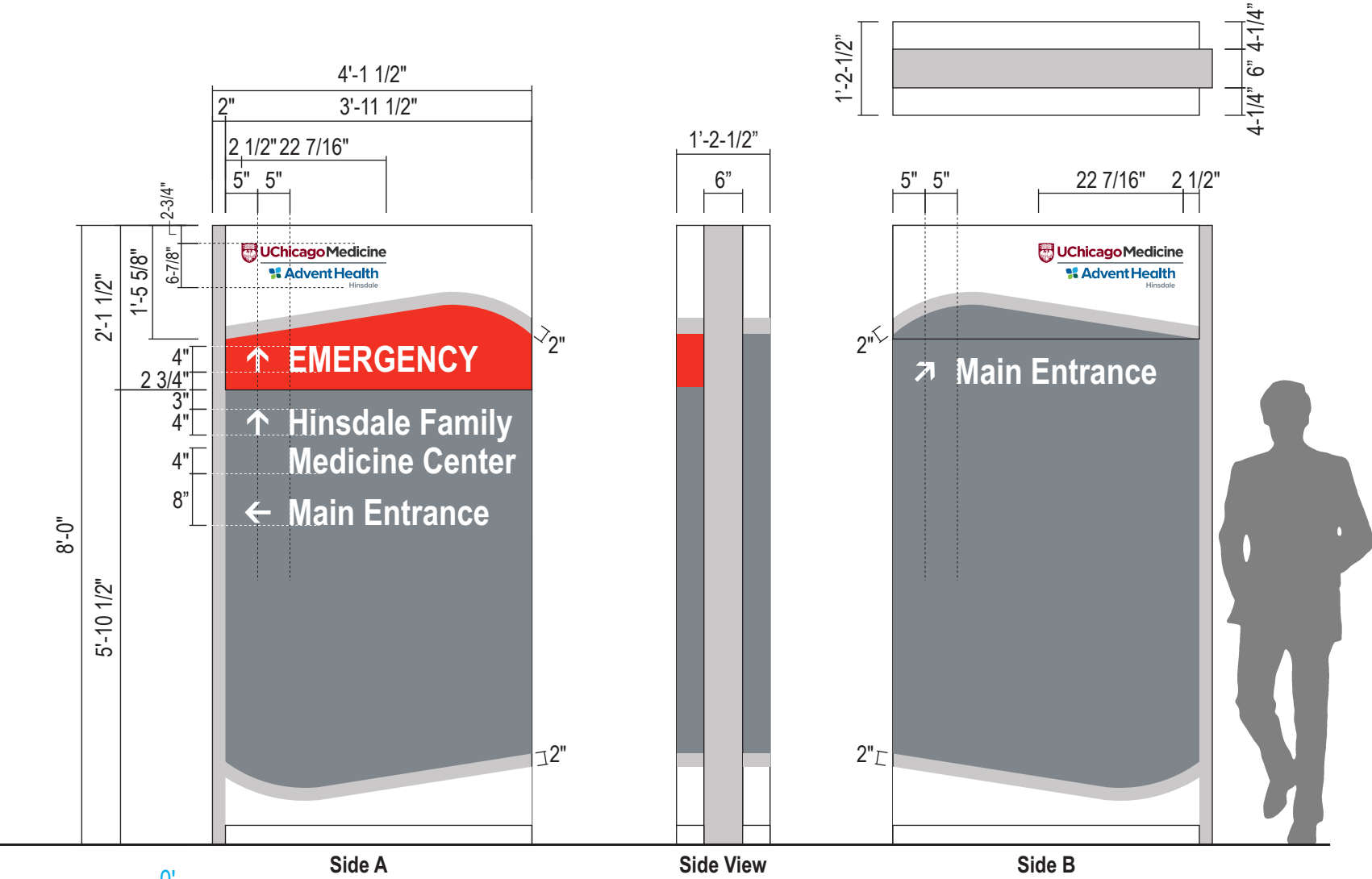
EXISTING MONUMENT TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.
TIE TO EXISTING ELECTRICAL

EXISTING CONDITIONS

FACE: 6'-3-3/8" X
5'-0" OAH: 8'-0"



Scale: N.T.S.

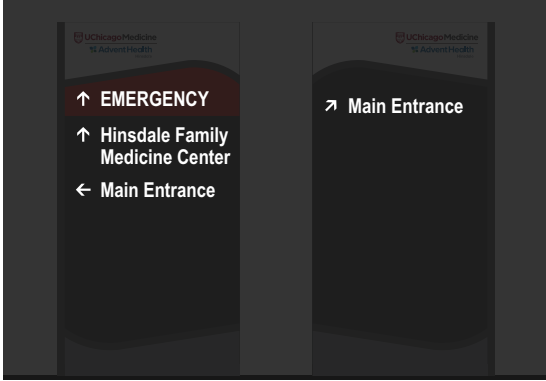


COLOR PALETTE

Light Grey to match Pantone Cool Grey 3

Paint to match PMS 430 C

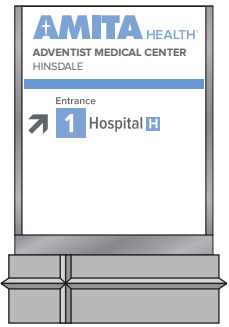
See page 2 for additional color specifications



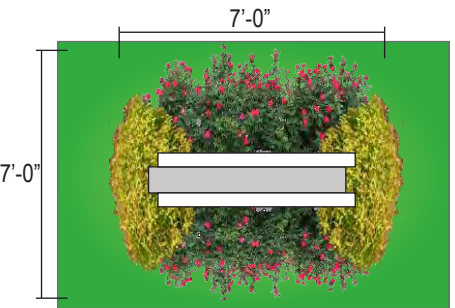
SIMULATED NIGHT VIEW:



SIDE A



SIDE B



Landscaping plan view

New 7'x7' bed to consist of Clubbed Begonia & Zinnia plants

(3) Zinnia flats
(3) Begonia Flats
18 plants per flat
QTY: 54 Zinnia
QTY: 54 Begonia

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

8

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:

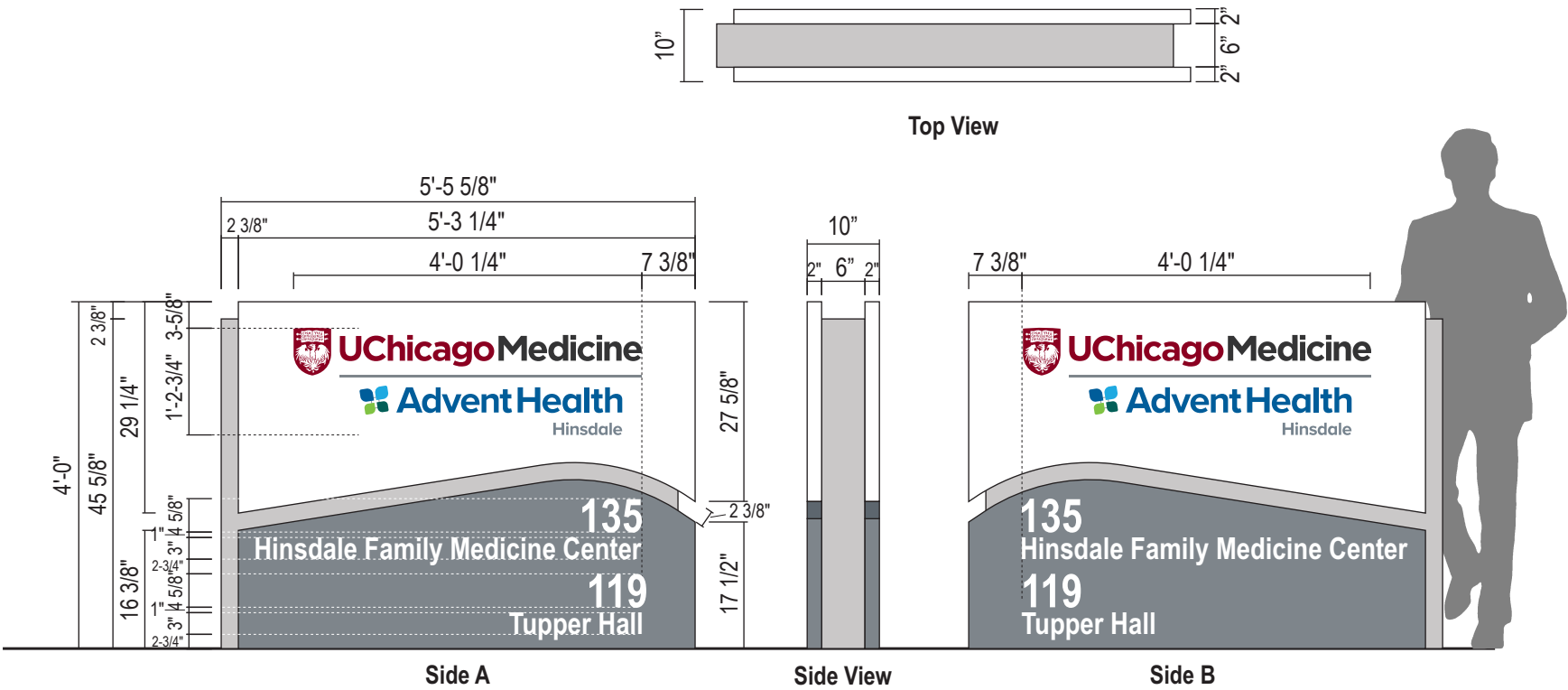
86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	Revised Copy
Rev 33	437032	07/11/23 TC	Revised illumination scope, per code	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 36	440860	08/04/23 CR		Rev 30	431463	05/25/23 KWK	Added address to proposed photo; fixed night view/specs

EXISTING SIGN SF:	17.8
PROPOSED SIGN SF:	21.8



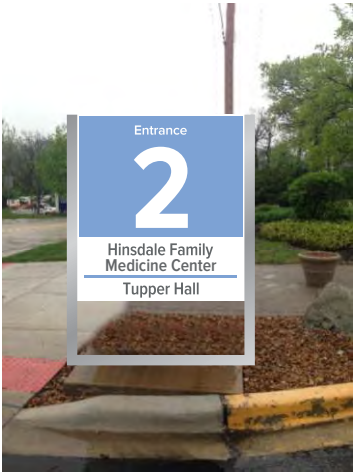
COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

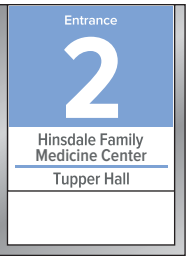
See page 2 for additional color specifications

EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-0"
OAH: 6'-0" OAW: 4'-6"



SIDE A



SIDE B

EXISTING DIRECTIONAL TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.

FACES: .125 alum. faces formed as shown with 125 alum. angle frame - 2" deep painted white SG finish

HEADER GRAPHICS: Digitally printed onto opaque white vinyl by Miratec - no substitutions

CENTER CLADDING: .125 alum. cladding painted light gray

REVEAL: Fabricated .125 alum painted light gray

BASE: .125 alum. chemically welded to alum. angle frame paint gray

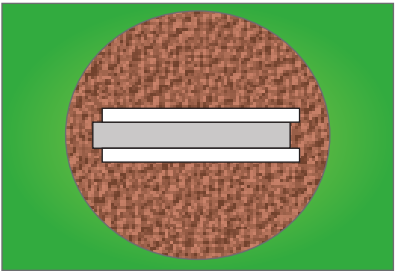
ADDRESS COPY: White reflective film

INSTALL: Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code

QUANTITY: (1) ONE D/F Non-Illuminated monument required



0" Setback



New bed to consist of existing river rocks

Landscaping plan view



PROPOSED SIGNAGE

Scale: N.T.S.

StratusTM

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

9

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	Removed Options
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	Revised tupper #
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 36	440860	08/04/23 CR		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	17.8
PROPOSED SIGN SF:	0

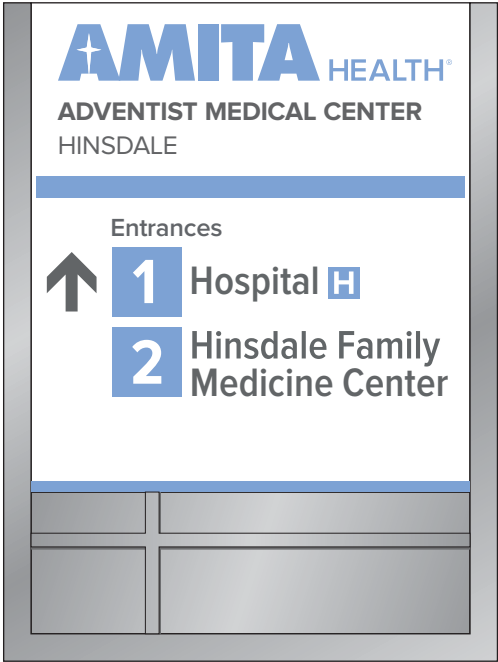
EXISTING DIRECTIONAL TO BE REMOVED

EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-6"
OAH: 6'-0"



SIDE A



SIDE B

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

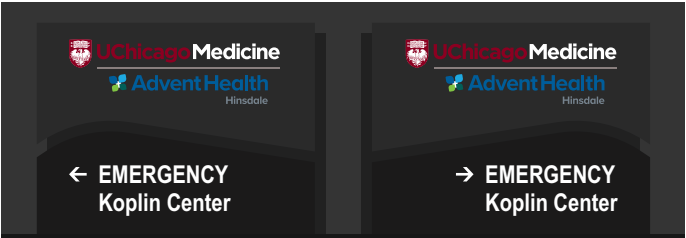
D.F. ILLUMINATED MONUMENT W/ EMERGENCY

CUSTOM ME-6-IL

Scale: 3/8"=1'-0"

EXISTING SIGN SF:	16.8
PROPOSED SIGN SF:	49.2

SIMULATED NIGHT VIEW:



COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Matthews MP73249 R174561

See page 2 for additional color specifications

EXISTING CONDITIONS

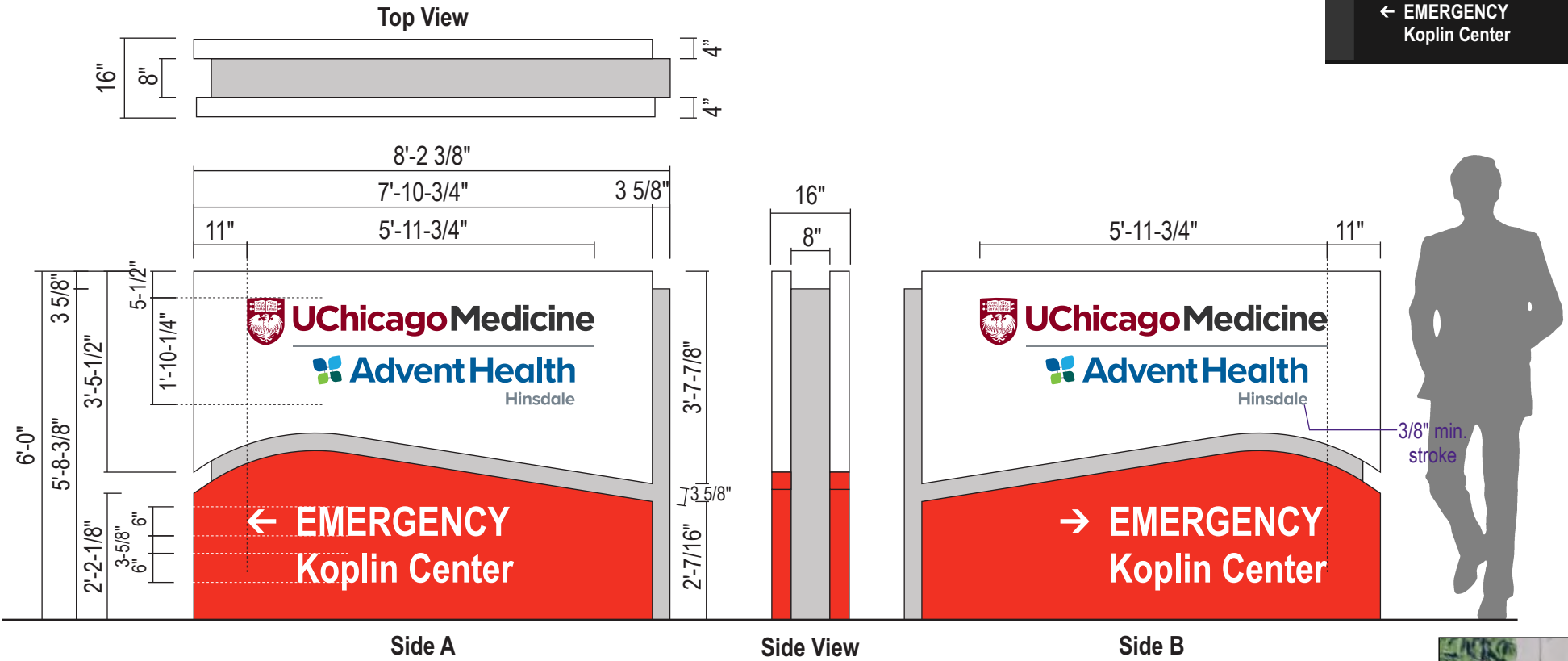
FACE: 4'-10" X 4'-3"
OAH: 6'-0"



SIDE A

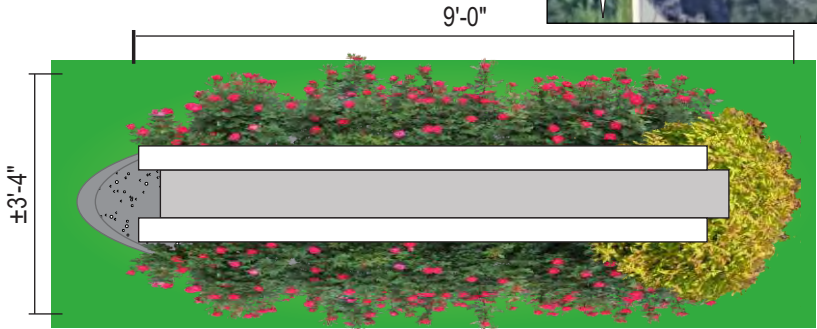
SIDE B

EXISTING MONUMENT TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.
TIE TO EXISTING ELECTRICAL



- CABINET:** Sign comp extrusion - Depth as shown - deep painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted light gray
- REVEAL:** .125 alum. reveal painted light gray
- FACES:** .125 routed alum. face; chemically welded to frame with vertical piano hinge ; Painted to match colors shown
- COPY:** Routed graphics backed up w/ #7328 White flushed in acrylic bonded to 1/4" clear acrylic; Surface applied trans vinyls as shown; 'Medicine' to have 3M Dual color vinyls to illuminate white at night; second surface applied diffuser film on all copy
- TYPEFACE:** Arial Narrow Bold
- ILLUM.** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Dimmer switch required - Stratus to provide;Power supplies housed within cabinet
Illum Note: Max of 50 Footcandles measured from the width of the sign
- BASE:** Fabricated .125 alum removable base cladding painted red SG finish
Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- INSTALL:**
- QUANTITY:** (1) ONE D/F Illuminated monument required

Area between sign and sidewalk to be filled w/ Mulch



Landscaping plan view

Scale: 3/8"=1'-0"

New 3'-4" x 10' bed to consist of Clubbed Begonia & Zinnia plants

- (2) Zinnia FI
- (2) Begonia FI
- 18 plants per flat
- QTY: 36 Zinnia
- QTY: 36 Begonia



PROPOSED SIGNAGE

Scale: N.T.S.

StratusTM
stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

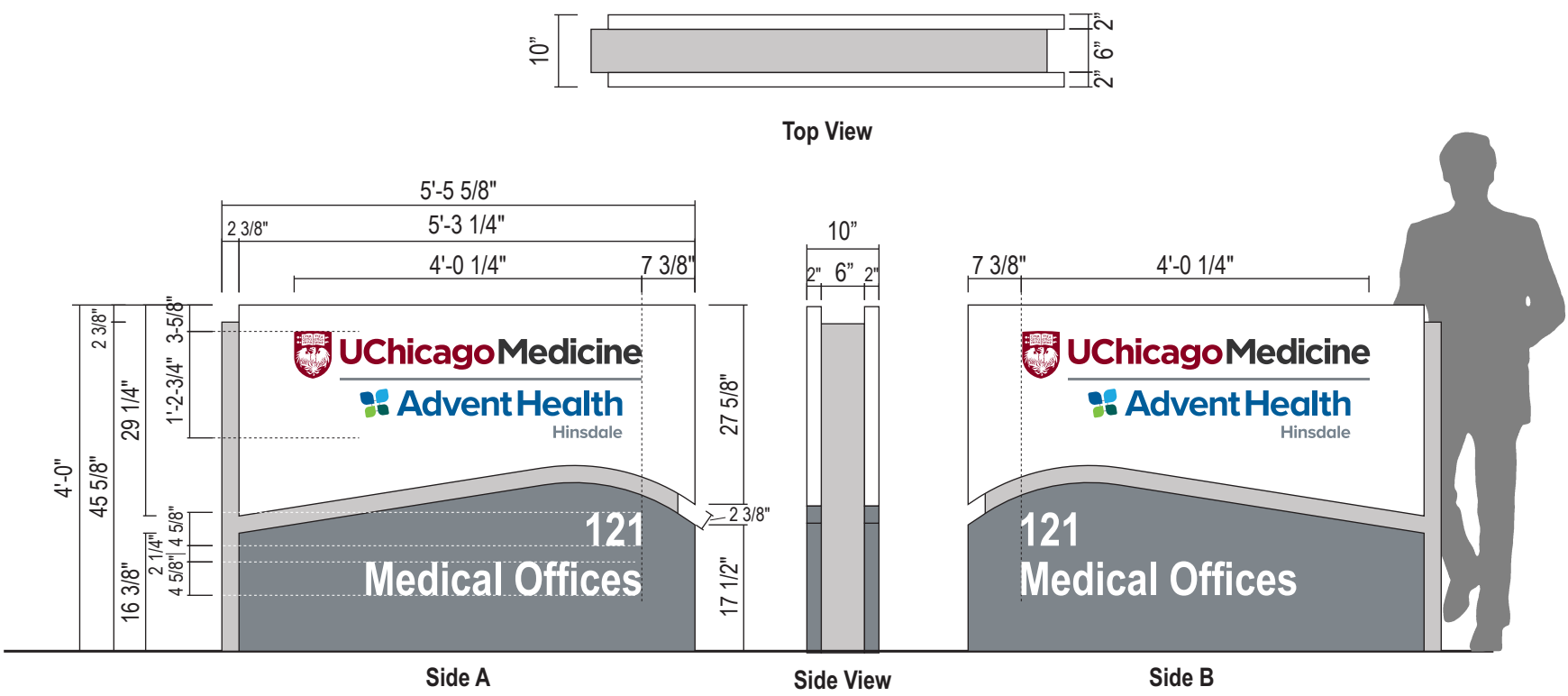
ADDRESS:
120 N OAK ST
HINSDALE, IL 60521-3829
PAGE NO.:
11

ORDER NUMBER:
1164710
SITE NUMBER:
6
ELECTRONIC FILE NAME:
K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:
86414
PROJECT MANAGER:
DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC	Revised specs and illumination scope	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	Added Engineering
Rev 36	440860	08/04/23 CR		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	17.8
PROPOSED SIGN SF:	21.8



COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

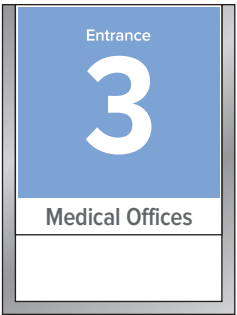
See page 2 for additional color specifications

EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-0"
OAH: 6'-0" OAW: 4'-6"



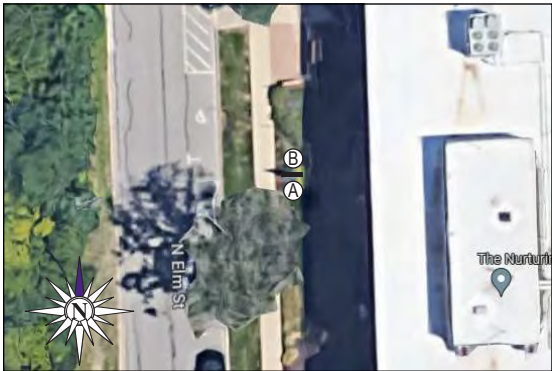
SIDE A



SIDE B

EXISTING DIRECTIONAL TO BE REMOVED & REPLACED.
NEW FOUNDATION, BACK FILL LANDSCAPING.

- FACES:** .125 alum. faces formed as shown with 125 alum. angle frame - 2" deep painted white SG finish
- HEADER GRAPHICS:** Digitally printed onto opaque white vinyl by Miratec - no substitutions
- CENTER CLADDING:** .125 alum. cladding painted light gray
- REVEAL:** Fabricated .125 alum painted light gray
- BASE:** .125 alum. chemically welded to alum. angle frame painted gray
- ADDRESS COPY:** White reflective film
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code
- QUANTITY:** (1) ONE D/F Non-Illuminated monument required



New 2'-10" x 7' bed to consist of
Clubbed Begonia & Zinnia plants
(2) Zinnia Flats
(2) Begonia Flats
18 plants per flat
QTY: 36 Zinnia
QTY: 36 Begonia

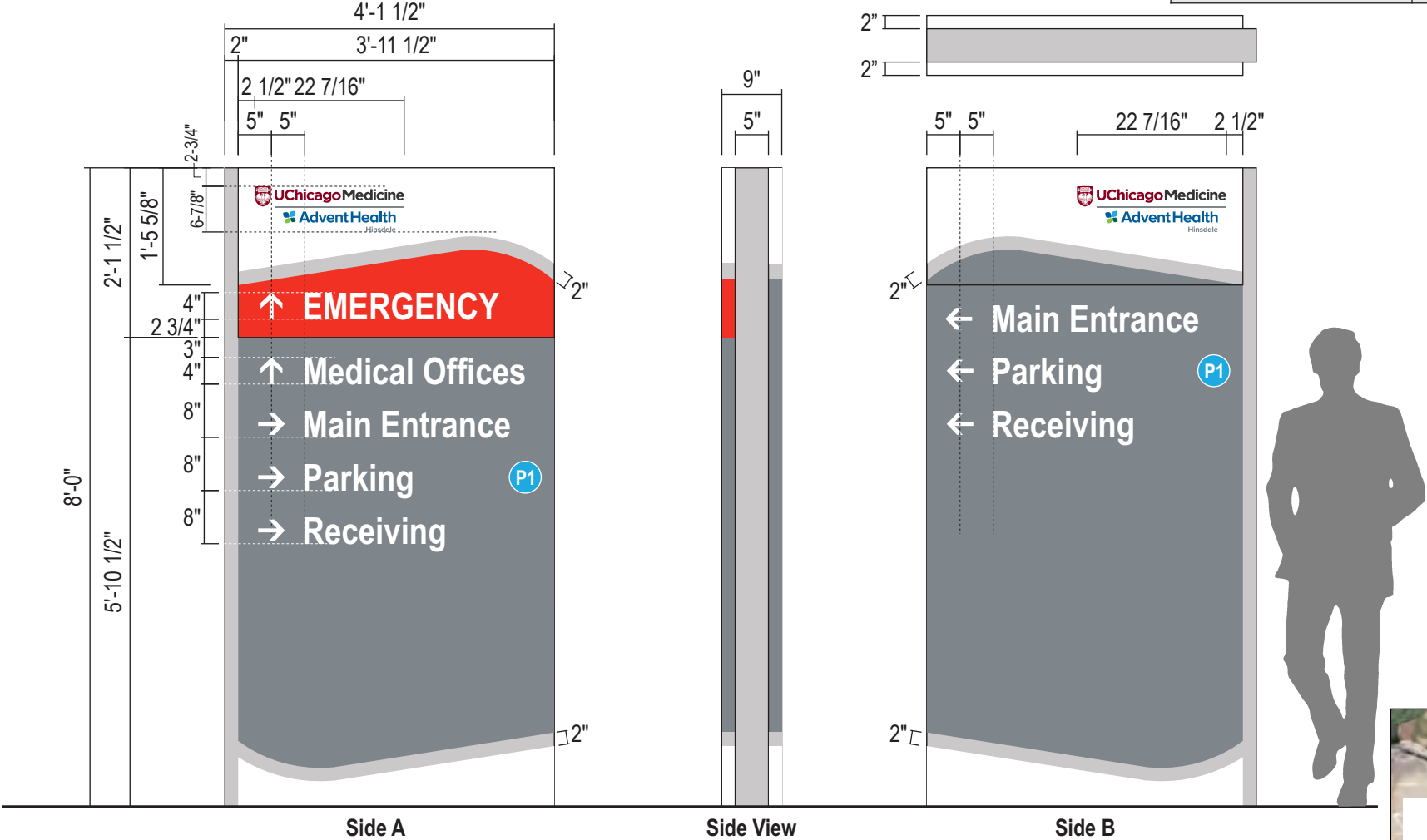


PROPOSED SIGNAGE

Scale: N.T.S.

EXISTING SIGN SF:	16.8
PROPOSED SIGN SF:	33.0

Scale: 1/2"=1'-0"



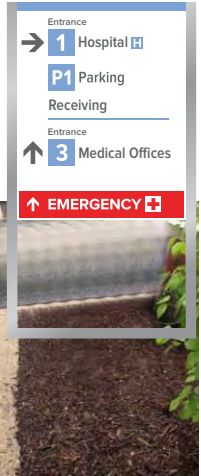
COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

See page 2 for additional color specifications

EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-6"
OAH: 6'-0" OAW: 4'-6"



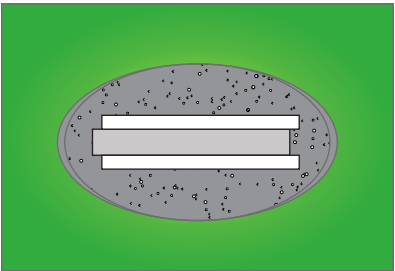
SIDE A



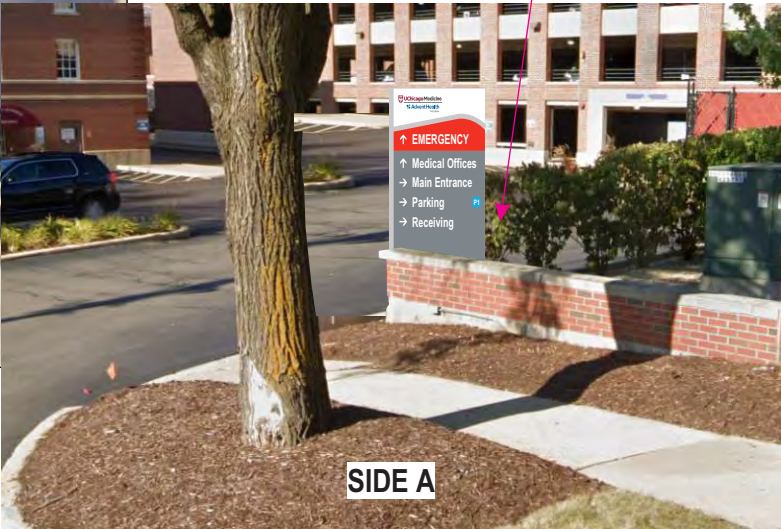
SIDE B

EXISTING DIRECTIONAL TO BE REMOVED & REPLACED.
DIRECT BURY, BACK FILL LANDSCAPING.

- FACES:** .125 alum. faces formed as shown with 125 alum. angle frame - 2" deep painted white, light gray, red and gray
- HEADER GRAPHICS:** Digitally printed onto opaque white vinyl by Miratec - no substitutions
- CENTER CLADDING:** .125 alum. cladding painted light gray
- BASE:** .125 alum. chemically welded to alum. angle frame paint White SG finish as shown
- DIRECTIONAL COPY:** White reflective film
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code
- QUANTITY:** (1) ONE D/F Non-Illuminated directional required



Landscaping plan view



SIDE A

New landscape will be same mulch as what is there now.

PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

13

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	Revised Copy
Rev 33	437032	07/11/23 TC	revised existing dimensions	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 36	440860	08/04/23 CR		Rev 30	431463	05/25/23 KWK	

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 1/2"=1'-0"

EXISTING SIGN SF:	17.8
PROPOSED SIGN SF:	16.5

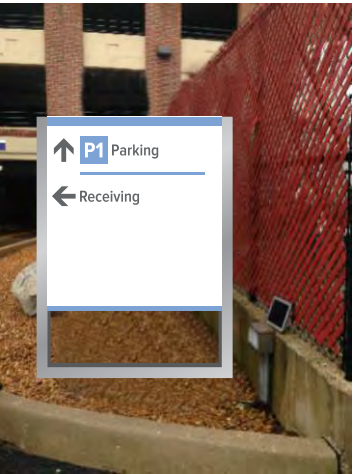
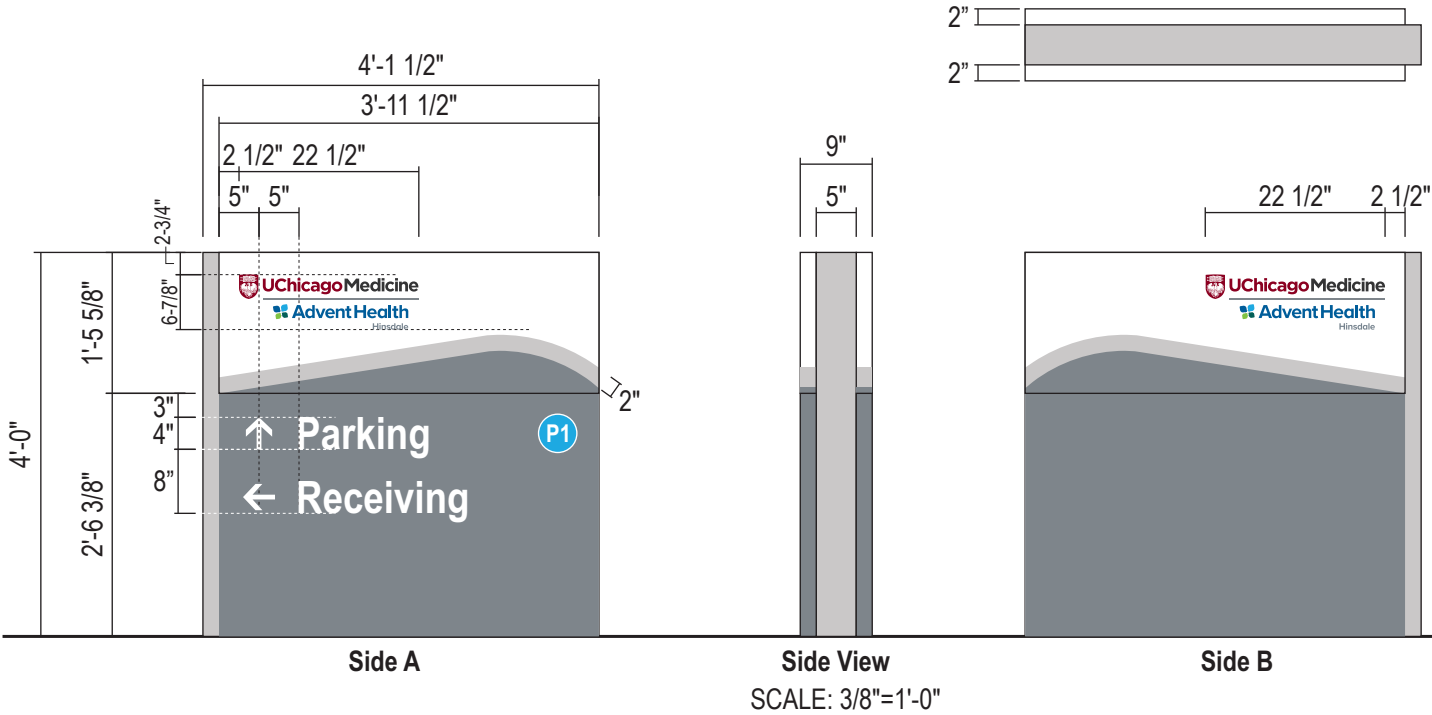
EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-0"
OAH: 6'-0" OAW: 4'-6"

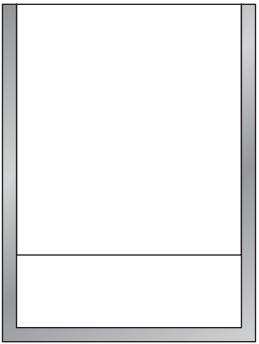
COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

See page 2 for additional color specifications



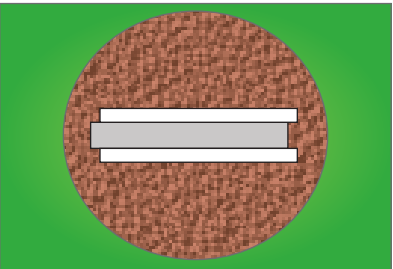
SIDE A



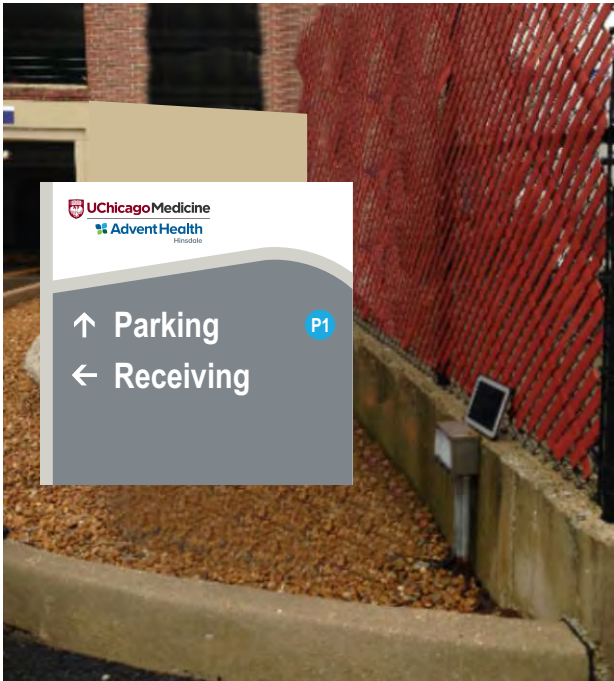
SIDE B

EXISTING DIRECTIONAL TO BE REMOVED & REPLACED.
DIRECT BURY, BACK FILL LANDSCAPING.

- FACES:** .125 alum. faces formed as shown with 125 alum. angle frame - 2" deep painted white SG finish
- HEADER GRAPHICS:** Digitally printed onto opaque white vinyl by Miratec - no substitutions
- CENTER CLADDING:** .125 alum. cladding painted light gray
- DIRECTIONAL FACES:** .125 alum. chemically welded to alum. angle frame painted gray
- DIRECTIONAL COPY:** White reflective film
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code
- QUANTITY:** (1) ONE D/F Non-Illuminated directional required



Landscaping plan view



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

14

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R37.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 37	446960	09/21/23 AG	revised setback/landscaping notes
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 36	440860	08/04/23 CR		Rev 30	431463	05/25/23 KWK	

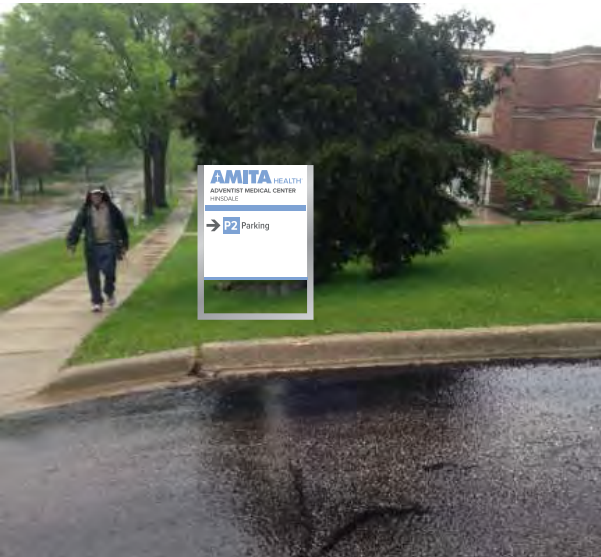
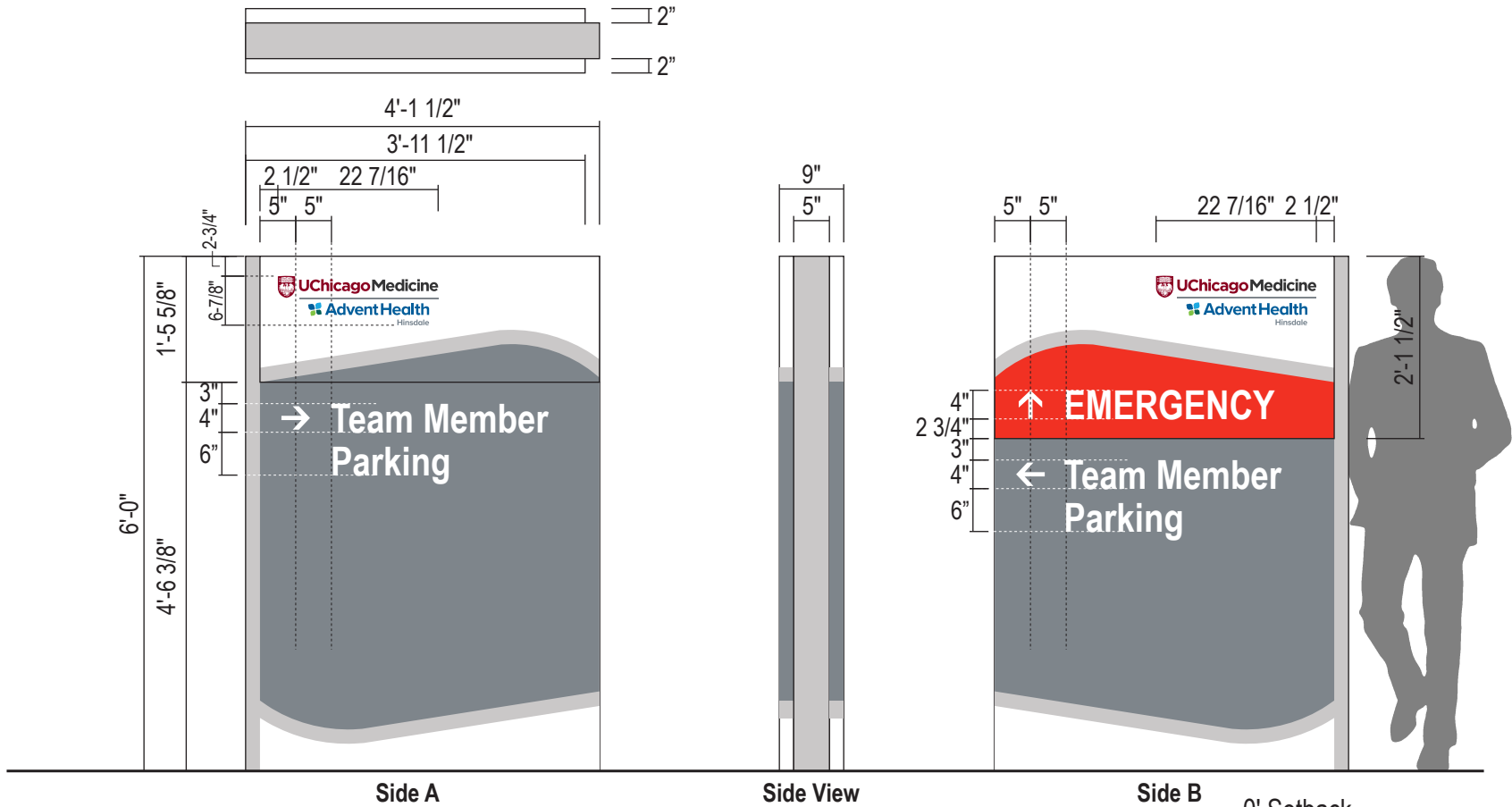
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXISTING SIGN SF:	17.8
PROPOSED SIGN SF:	24.8

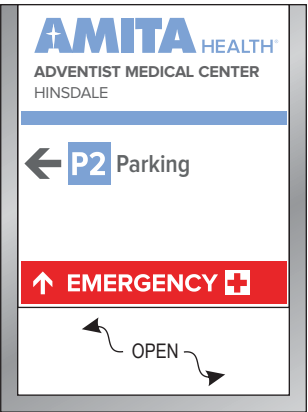
Scale: 1/2"=1'-0"

EXISTING CONDITIONS

FACE: 4'-5-1/2" X 4'-0"
OAH: 6'-0" OAW: 4'-6"



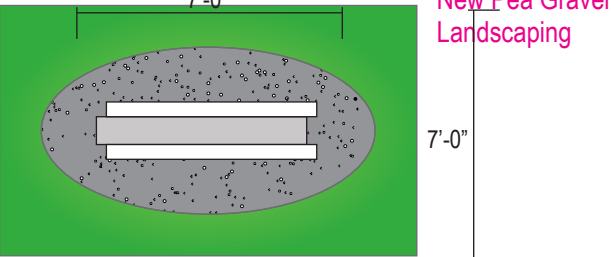
SIDE A



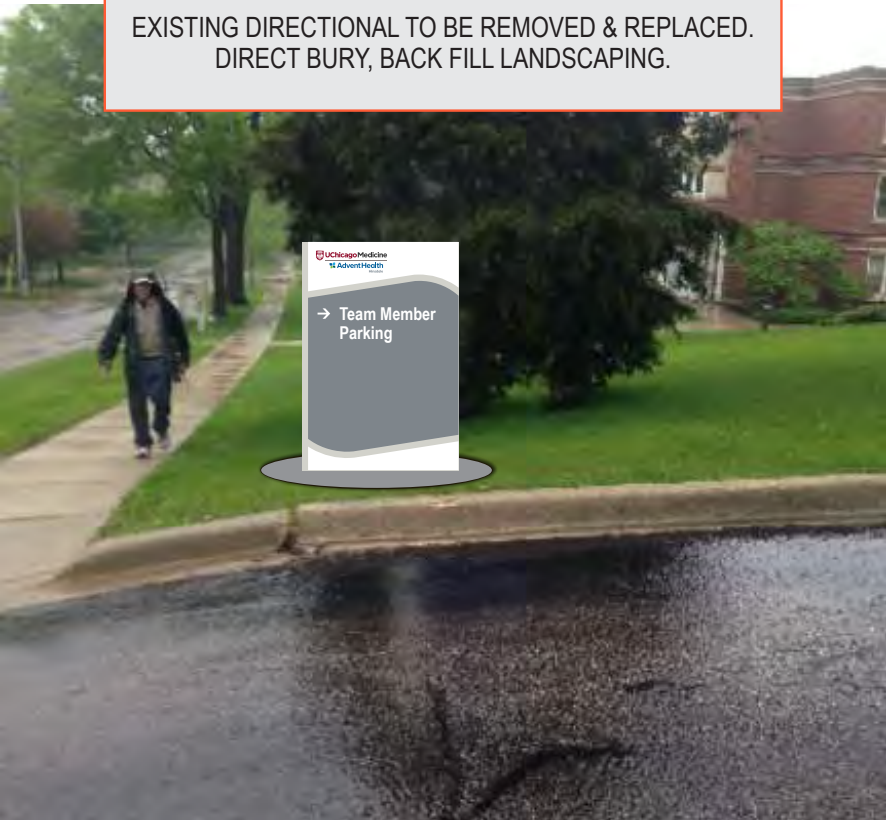
SIDE B

- FACES:** .125 alum. faces formed as shown with 125 alum. angle frame - 2" deep painted white SG finish
- HEADER GRAPHICS:** Digitally printed onto opaque white vinyl by Miratec - no substitutions
- CENTER CLADDING:** .125 alum. cladding painted light gray
- DIRECTIONAL FACES:** .125 alum. chemically welded to alum. angle frame paint SG finish as shown
- DIRECTIONAL COPY:** White reflective film
- BASE:** .125 alum. chemically welded to alum. angle frame paint White SG finish as shown
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code
- QUANTITY:** (1) ONE D/F Non-Illuminated directional required

See page 2 for additional color specifications



Landscaping plan view



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

15

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	added setback	Rev 26	428584	05/04/23 TC	Revised Copy
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added Landscaping	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC	added copy	Rev 30	431463	05/25/23 KWK	

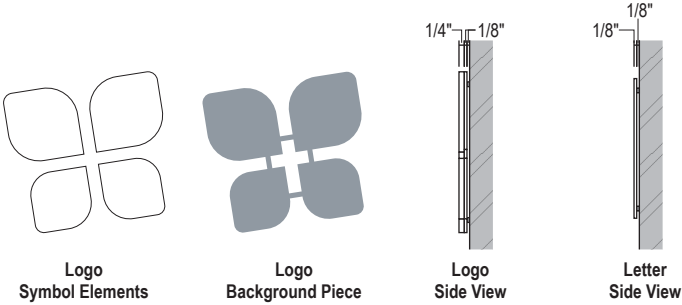
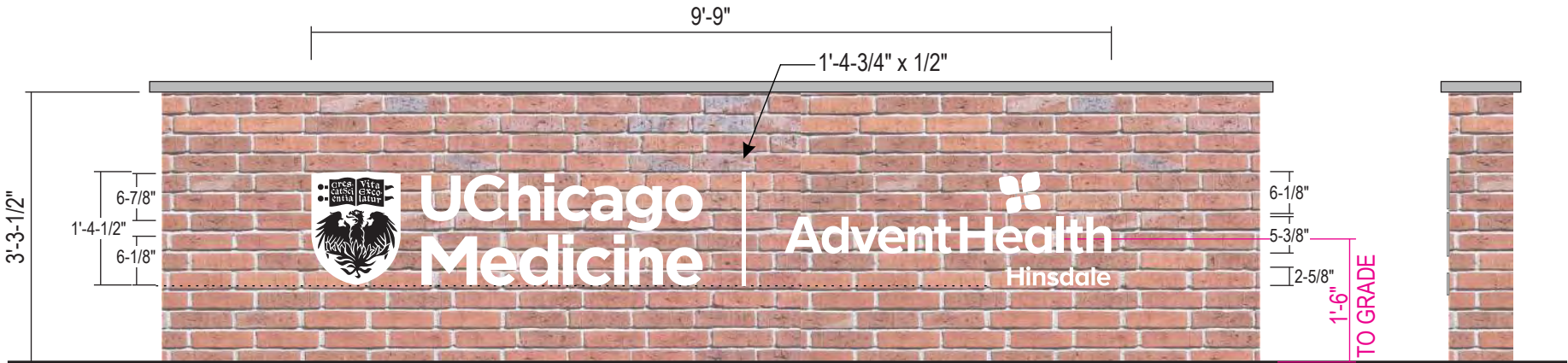
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 1/2"=1'-0"

EXISTING SIGN SF:	24.3
PROPOSED SIGN SF:	13.4

EXISTING CONDITIONS

OAH: 2'-8" OAW: 9'-1-1/8"



CONSTRUCTION:

Letters & Divider: .125" Hydro-Jet cut aluminum painted white SG finish
Welded studs on backside for wall attachment
Advent Logo - Symbol Elements: .25" Hydro-Jet cut individual aluminum pieces painted white SG finish
and Affixed to background piece
Advent Logo - Background Piece: .125" Hydro-Jet cut aluminum painted white SG finish
Welded studs on backside for wall attachment; Gray Bands Painted on Cross Ends
Uchi Logo: .125" Hydro-Jet cut aluminum painted white SG finish
Welded studs on backside for wall attachment;

INSTALL:

Stud mounted flush to wall surface w/ 1/8" Standoff;
All penetrations silicone filled

QUANTITY:

(1) ONE letter set required



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

16

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	Revised Layout
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	Added Option
Rev 32	434913	06/23/23 TC	Revised Recommendation to Add Uchi Logo	Rev 26	428584	05/04/23 TC	Added Option
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	Revised Option
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

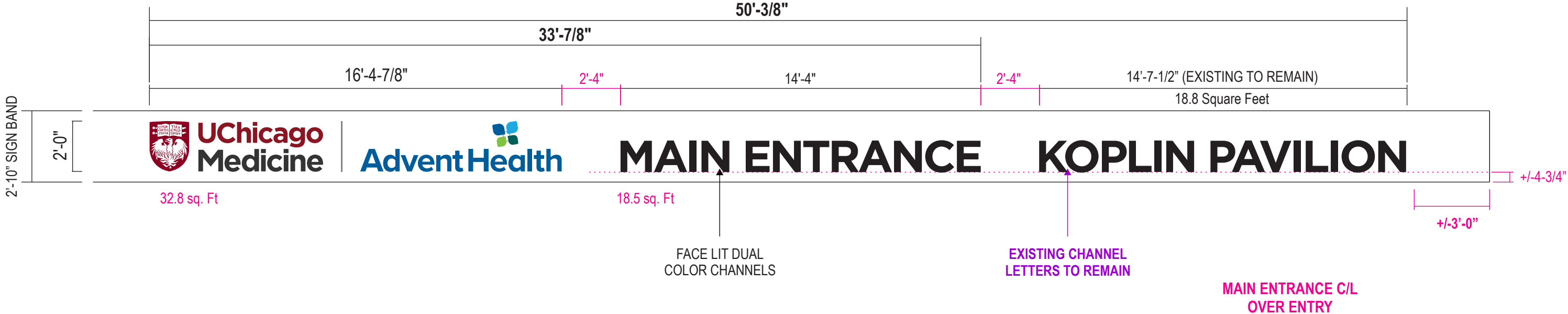
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

CUSTOM FACE LIT CHANNEL LETTERS

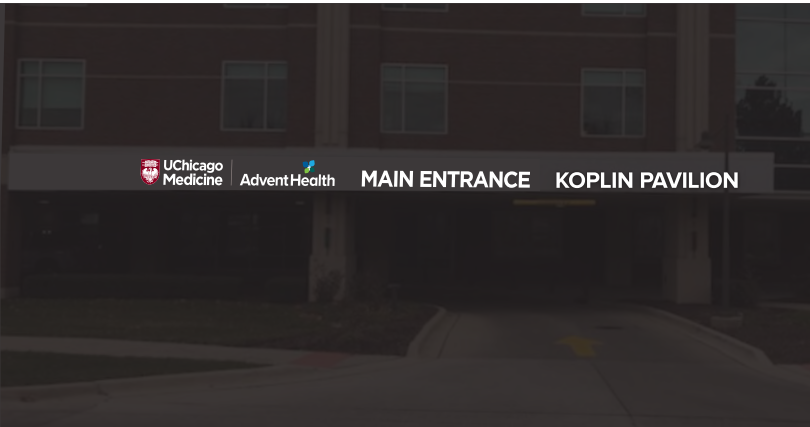
Scale: 1/4"=1'-0"

CUSTOM

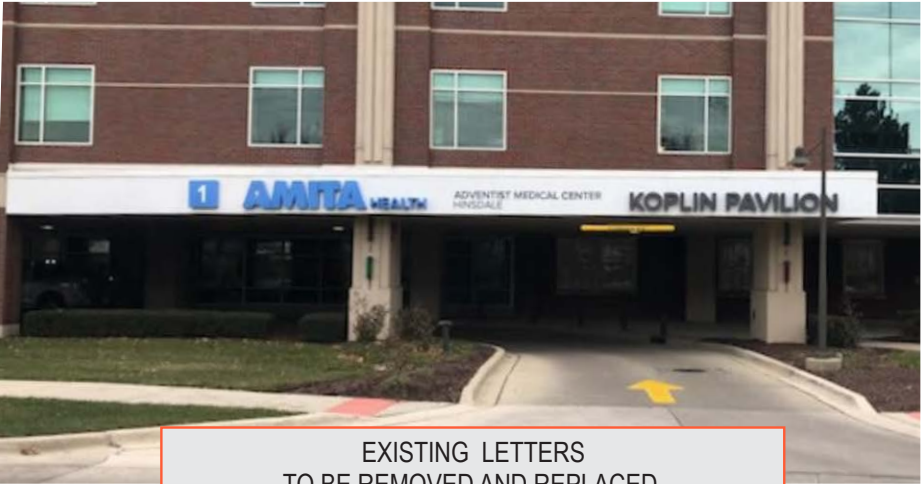
EXISTING SIGN SF:	94.3
PROPOSED SIGN SF:	100.1



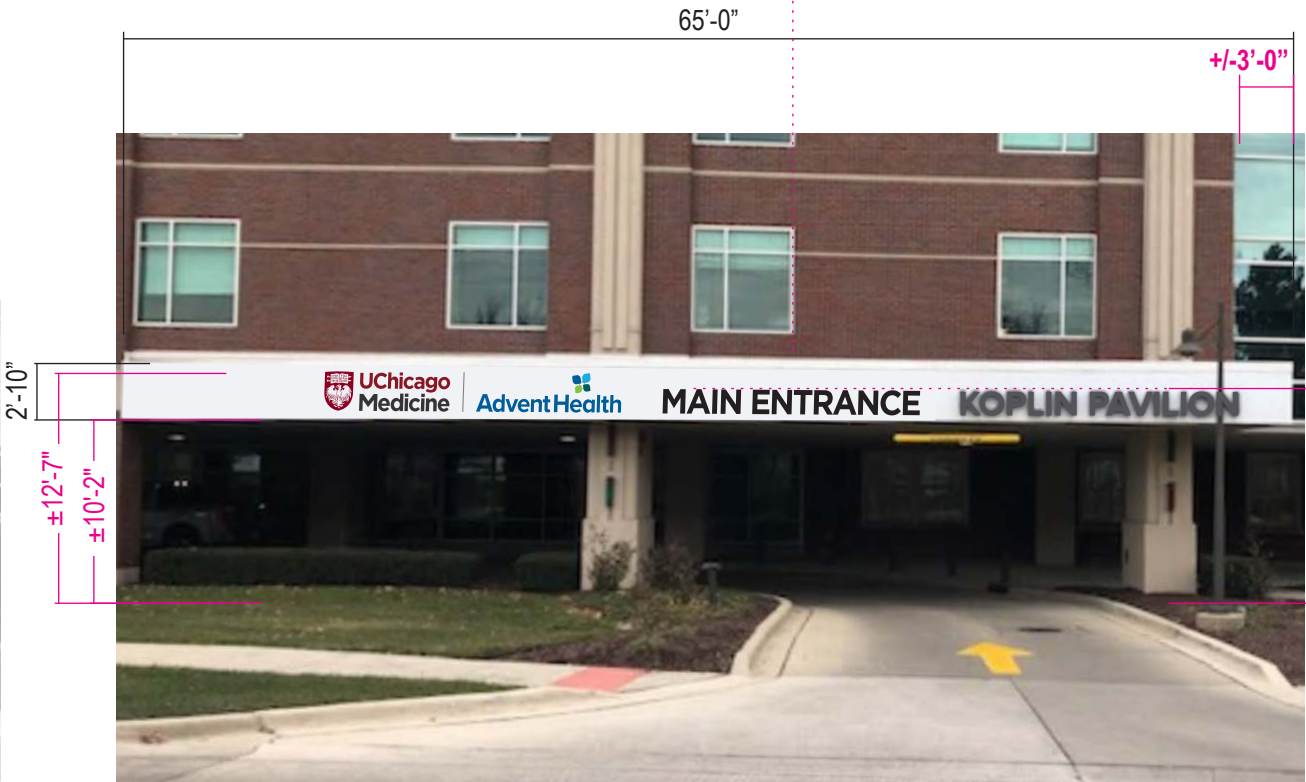
SIMULATED NIGHT VIEW



EXISTING CONDITIONS



EXISTING LETTERS
TO BE REMOVED AND REPLACED.
KOPLIN LETTERS TO REMAIN



PROPOSED SIGNAGE

Scale: 3/32"=1'-0"

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

17

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

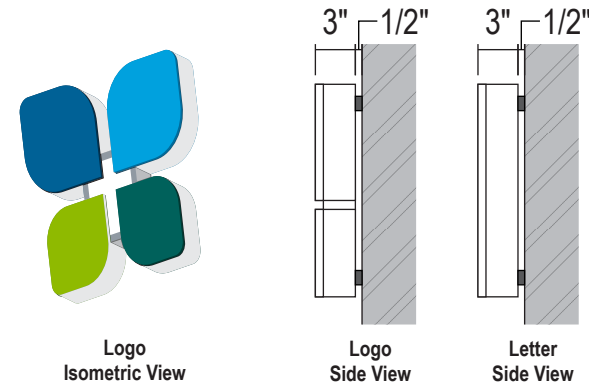
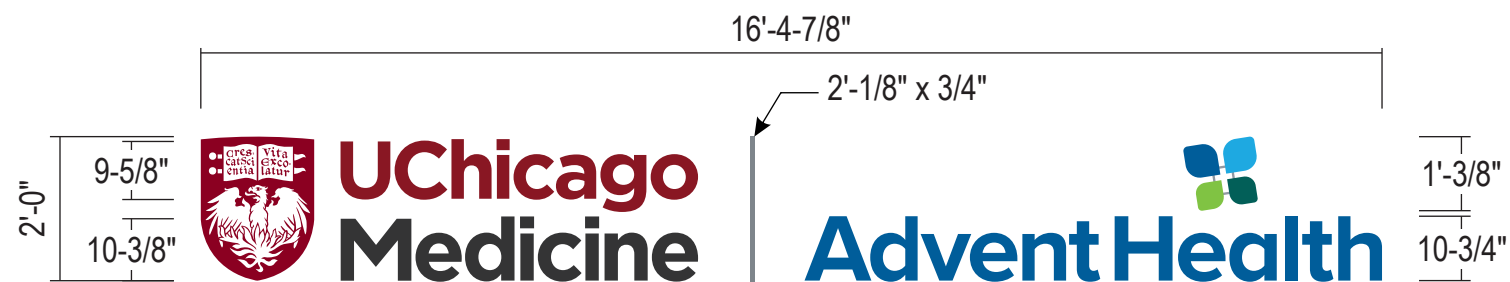
PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	Revised night view
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	Corrected sizes	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC	Added Measurements	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC	Added Height from grade	Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC	Revised sizes	Rev 30	431463	05/25/23 KWK	Added height to grade

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 3/8"=1'-0"

REFER TO MONIGLE CONTROL
DOCUMENTS FOR PRODUCTION DETAILS

COLOR PALETTE

- 3M 3635 Dual-Color Film printed to match Pantone 202 C
- 3M 3630-49 Burgundy Pantone 202 C
- Pantone 430C
- MEDICINE:** 3M 3635-222 Black Dual-Color Film

See page 2 for Advent
color specifications

All paint finishes to be Satin unless otherwise specified

LOGO FACES: **UChicago Logo:** #7328 w/ surface applied trans. burgundy vinyls
'UChicago': #2447 White acrylic faces surface applied dual-color films printed to match - *To illuminate white at night*
'Medicine': #2447 White acrylic faces w/ surface applied dual-color film - *To illuminate white at night*
Advent: .177 Clear acrylic w/ surface applied translucent vinyl to match and second surface applied diffuser film
'Advent Health' Copy: .177 #2447 white acrylic w/ surface applied dual color film to match PMS 7691
Rule Line: .090 Alum. Painted Gray - Non-Illum.

TRIMCAP: **UChicago Logo:** 1" Jewelite; painted Red
All other Trimcap: 1" White Jewelite

RETURNS: **UChicago Logo:** 3" Deep .040 aluminum coil painted Red
All other Returns: 3" Deep .040 aluminum coil painted white SG finish
Interior painted w/ light enhancement paint; Advent Logo sections to be created separately as single pieces and pop-riveted together using cross section as joining piece

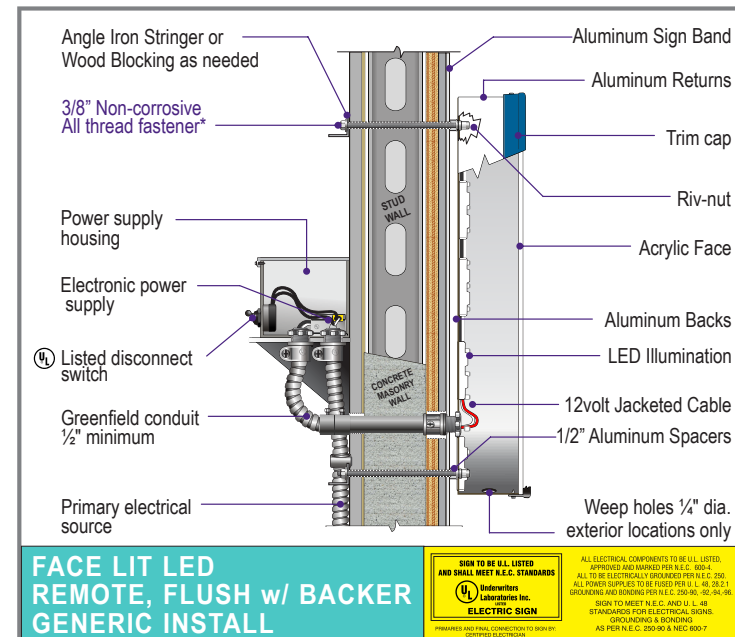
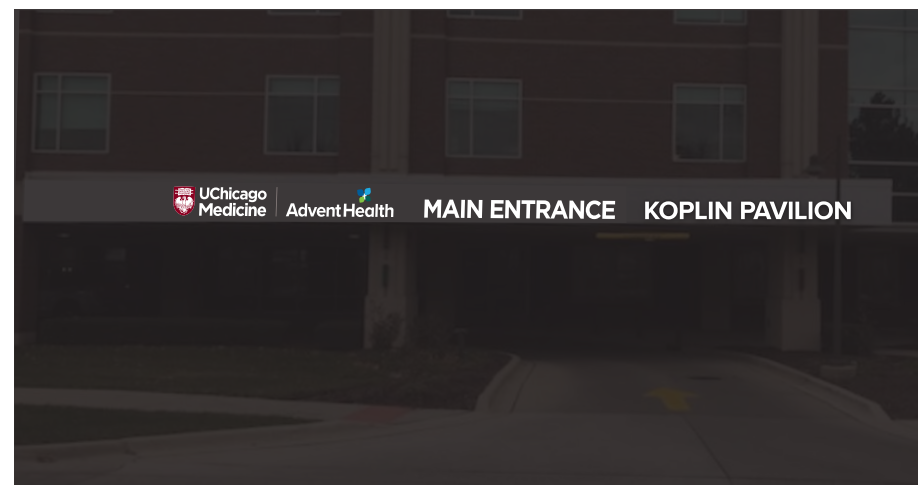
BACKS: .050 Alum inside painted with light enhancement paint

ILLUMINATION: Agilight 6500K White LED's as required by manufacturer
Dimmer switches required - Stratus to provide; **Remote Power Supplies**
Illum Note: Max of 50 Footcandles measured from the width of the sign

INSTALL: Thru bolted 1/2" off of sign band w/ 3/8" dia. threaded rod into blocking 12"
Standard rod will be supplied unless otherwise noted.
1/2" Alum. spacers to be provided; painted to match sign band

QUANTITY: (1) ONE Letterset required

SIMULATED NIGHT VIEW



StratusTM
stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:
UChicago Medicine | **Advent Health**

ADDRESS:
120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:
18

ORDER NUMBER:
1164710

SITE NUMBER:
6

ELECTRONIC FILE NAME:
K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:
86414

PROJECT MANAGER:
DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	Revised night view
Rev 31	431689	05/30/23 TC	Revised Trimcap/return color	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	Revised Recommendation to Add Uchi Logo	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC	Revised sizes	Rev 30	431463	05/25/23 KWK	

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 1/2"=1'-0"



- FACES:

.177 #2447 white acrylic w/ surface applied Black dual color film to match
- TRIMCAP:

1" Black Jewelite
- RETURNS:

3" Deep .040 aluminum coil painted white SG finish
Interior painted with light enhancement paint
- BACKS:

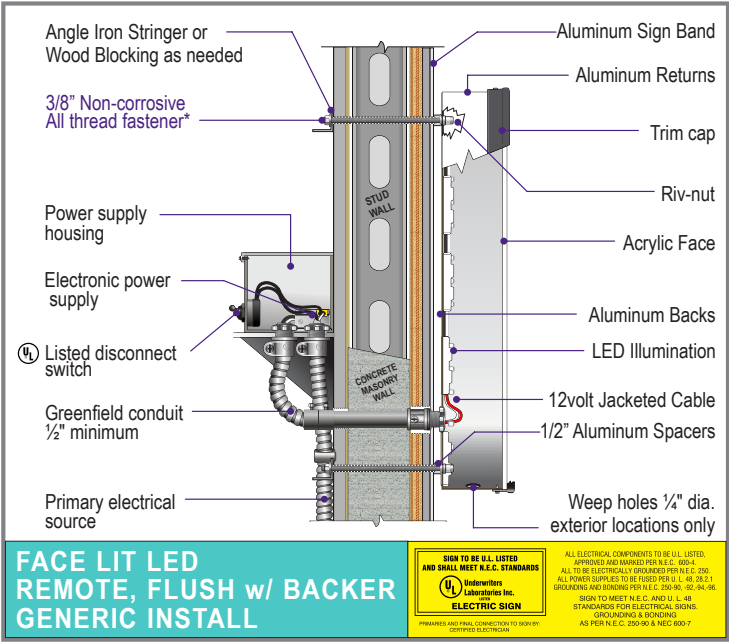
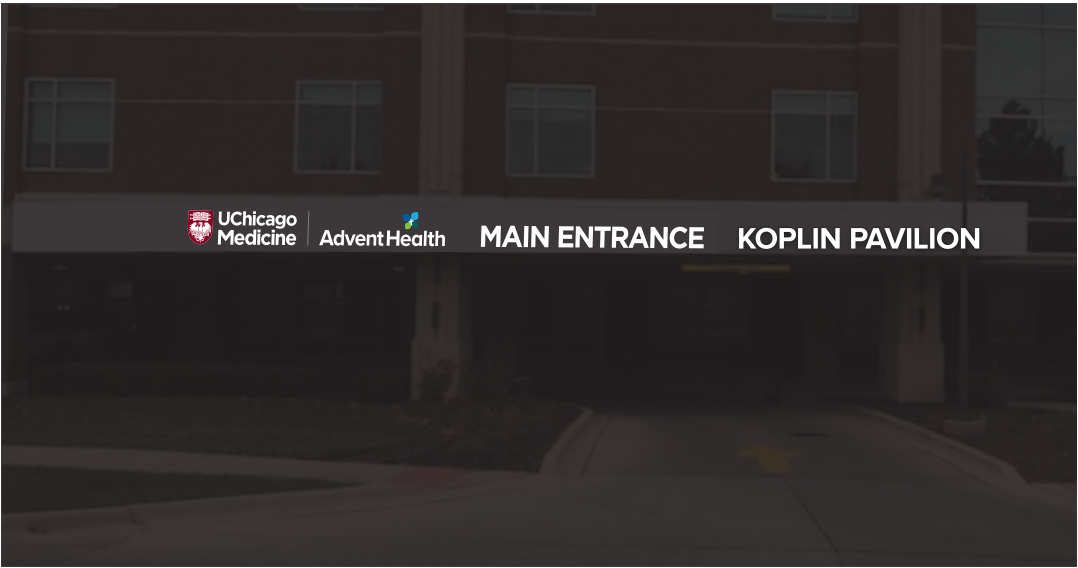
.050 Alum inside painted with light enhancement paint
- ILLUMINATION:

Agilight 6500K White LED's as required by manufacturer
Dimmer Switches Required -Stratus to provide; **Remote Power Supplies**
Illum Note: Max of 50 Footcandles measured from the width of the sign
- INSTALL:

Thru bolted 1/2" off of sign band w/ 3/8" dia. threaded rod into blocking 12"
Standard rod will be supplied unless otherwise noted.
1/2" Alum. spacers to be provided; painted white to match sign band
- QUANTITY:

(1) ONE Letterset required

SIMULATED NIGHT VIEW



FACE LIT LED
REMOTE, FLUSH w/ BACKER
GENERIC INSTALL



ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 408-4. ALL TO BE ELECTRICALLY GROUNDING PER N.E.C. 250. ALL POWER SUPPLIES TO BE FUSED PER U.L. 48. 24.2.1. GROUNDING AND BONDING PER N.E.C. 250.46, 250.48, 250.50. SIGN TO MEET N.E.C. AND U.L. 48 STANDARDS FOR ELECTRICAL, MECHANICAL, GROUNDING & BONDING. 48 PER N.E.C. 250.16 & NEC 190.7

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

19

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

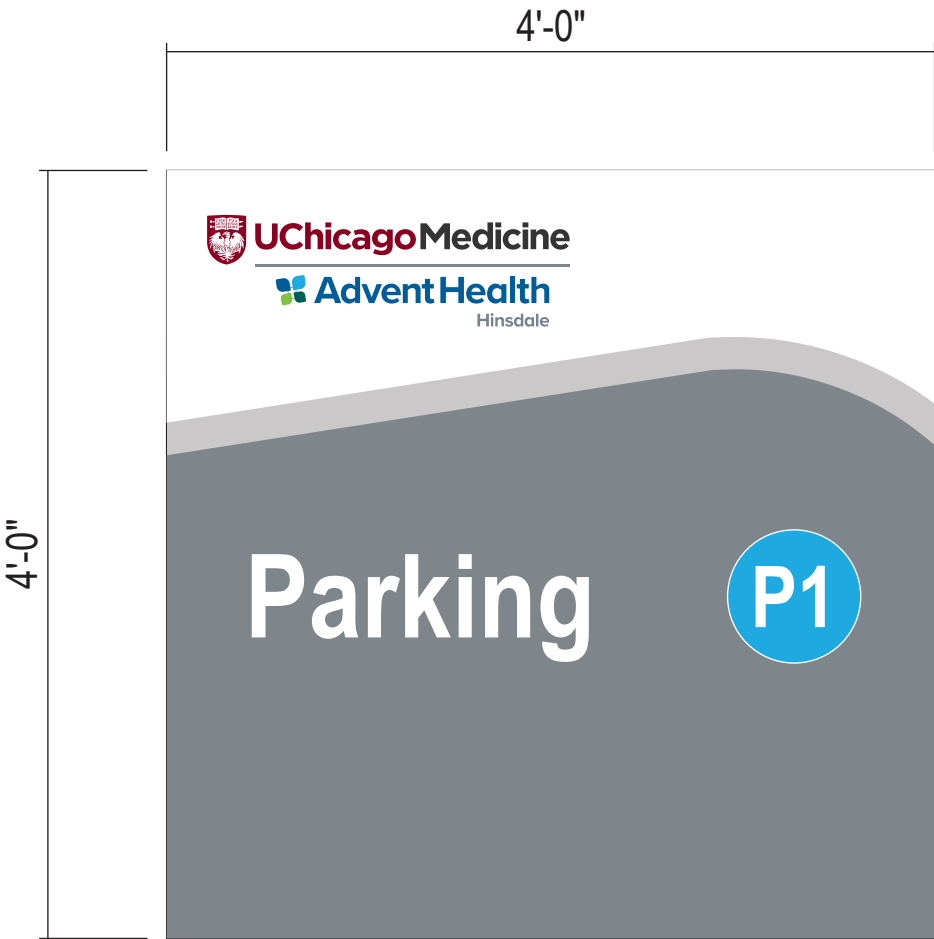
DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	Revised Proposed Photo to Add Uchi Logo	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC	Revised sizes	Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	16.0
PROPOSED SIGN SF:	16.0

EXISTING CONDITIONS

4'-0" x 4'-0"



EXISTING WALL PANEL TO BE REMOVED AND REPLACED.

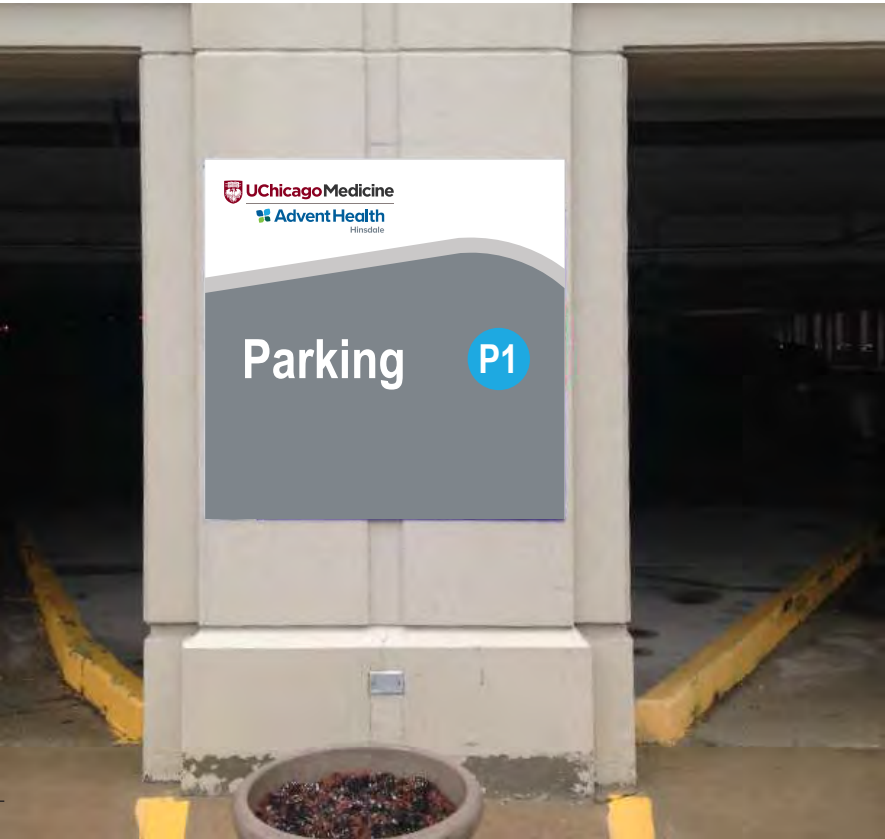
COLOR PALETTE

- Light Grey to match Pantone Cool Grey 3
- Paint to match PMS 430 C

See page 2 for Advent color specifications

- PANEL:** .125" Alum. painted white, & gray as shown
Welded studs on backside for wall attachment
- GRAPHICS:** LOGO: Digitally printed onto white opaque vinyl by Miratec - no substitutions
COPY: White reflective film
P1: Digitally printed reflective film
- INSTALL:** Stud mounted flush to wall surface
All penetrations silicone filled
- QUANTITY:** (1) ONE letter set required

+/- 7'-1"



PROPOSED SIGNAGE

Scale: N.T.S.

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Added height to grade

EXISTING SIGN SF:	16.0
PROPOSED SIGN SF:	16.0

EXISTING CONDITIONS

4'-0" x 4'-0"

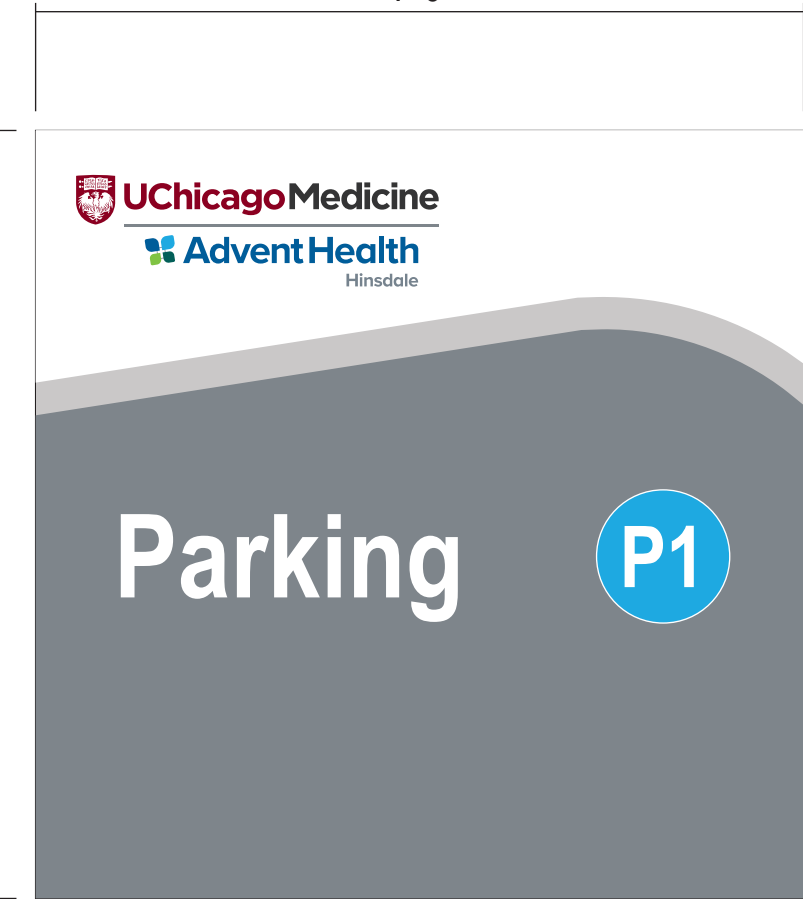


EXISTING WALL PANEL TO BE REMOVED
AND REPLACED.

COLOR PALETTE

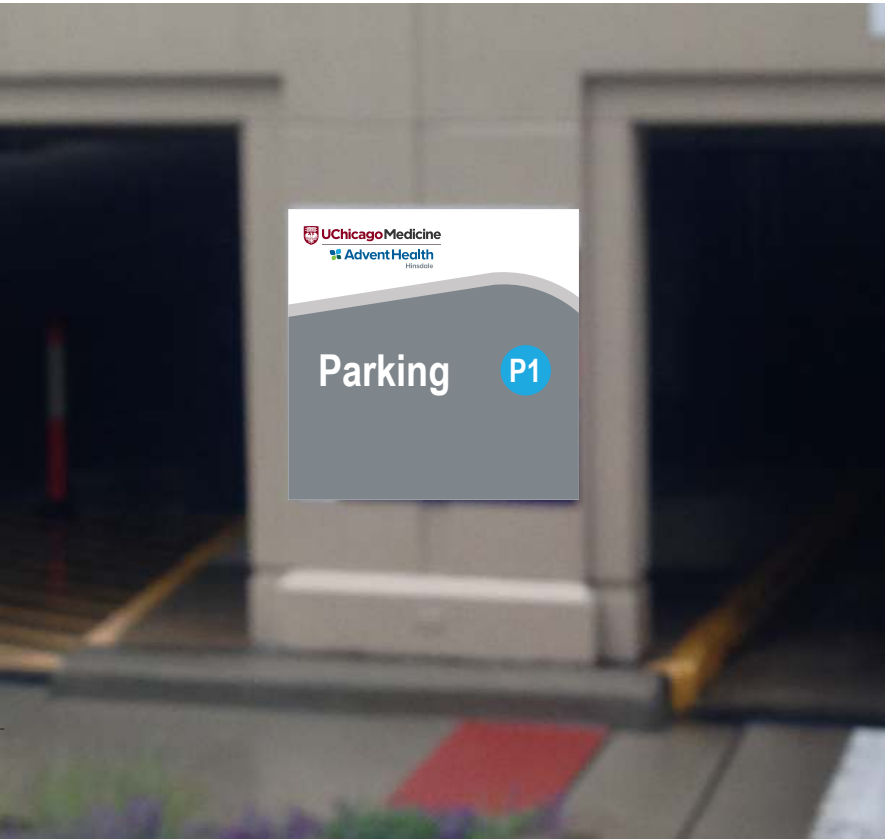
- Light Grey to match
Pantone Cool Grey 3
- Paint to match
PMS 430 C

See page 2 for
additional color
specifications



- PANEL:** .125" Alum. painted white, & gray as shown
Welded studs on backside for wall attachment
- GRAPHICS:** LOGO: Digitally printed onto white opaque vinyl by Miratec - no substitutions
COPY: White reflective film
P1: Digitally printed reflective film
- INSTALL:** Stud mounted flush to wall surface
All penetrations silicone filled
- QUANTITY:** (1) ONE letter set required

+/- 7'-1"



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

21

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

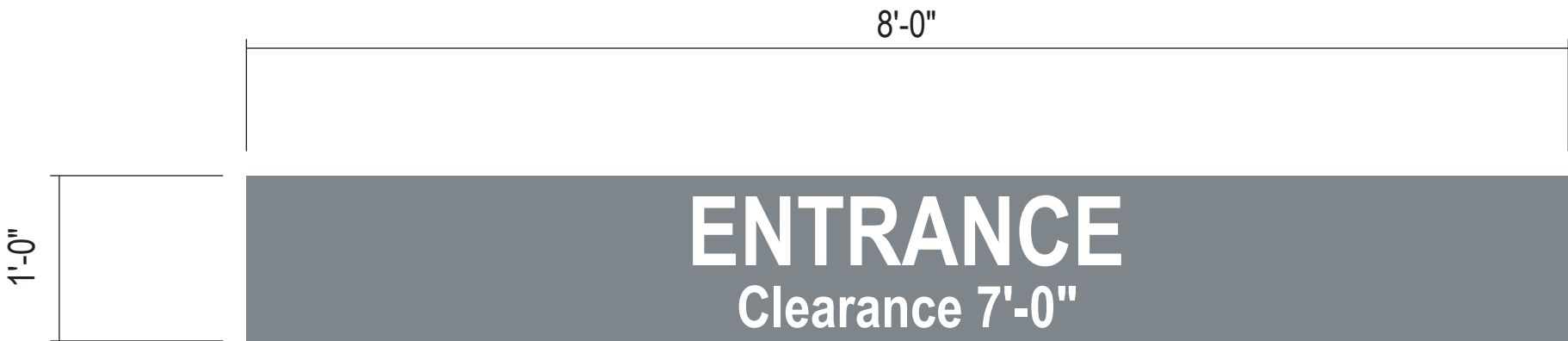
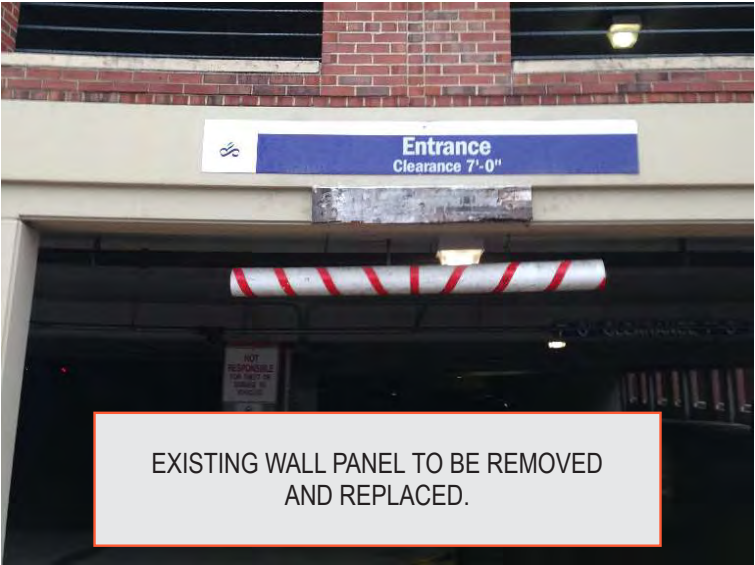
DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Added height to grade

EXISTING SIGN SF:	8.0
PROPOSED SIGN SF:	8.0

EXISTING CONDITIONS

1'-0" x 8'-0"



- FACE:** .090 Flat alum painted Grey
Threaded rod welded to backside of panel
- GRAPHICS:** Surface applied white opaque vinyl
- INSTALL:** Panel stud mounted flush to wall
All penetrations silicone filled
- QUANTITY:** (1) ONE wall panel required

HTG
±10'-2"



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

22

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\A\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

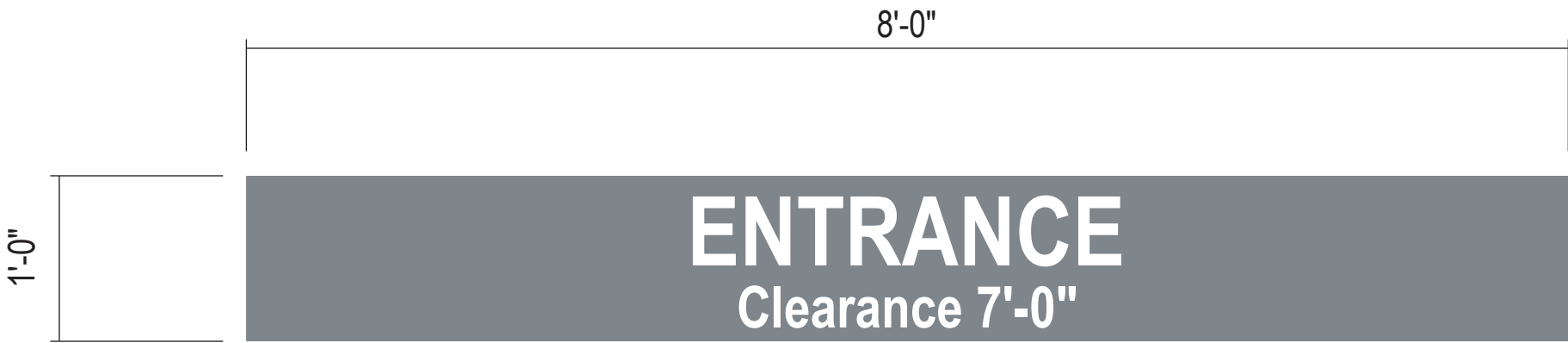
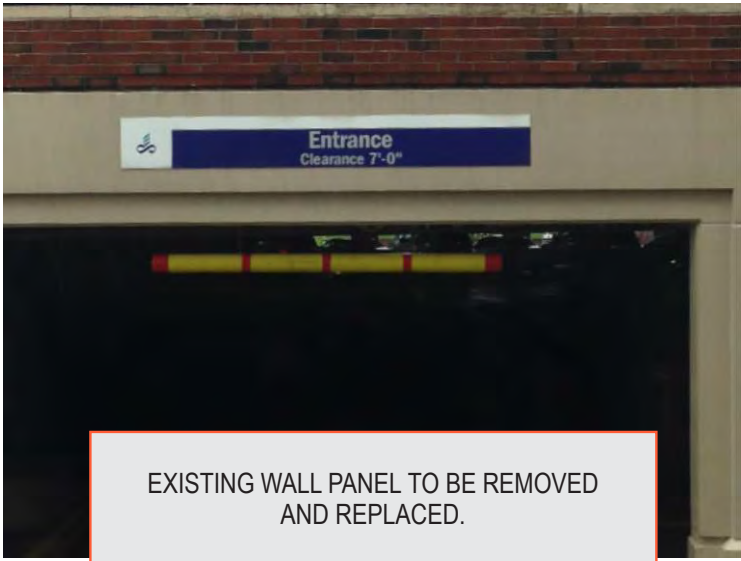
PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	Revised Color
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	8.0
PROPOSED SIGN SF:	8.0

1'-0" x 8'-0"



- FACE:** .090 Flat alum painted Grey
Threaded rod welded to backside of panel
- GRAPHICS:** Surface applied white opaque vinyl
- INSTALL:** Panel stud mounted flush to wall
All penetrations silicone filled
- QUANTITY:** (1) ONE wall panel required

±10'-2"
HTG

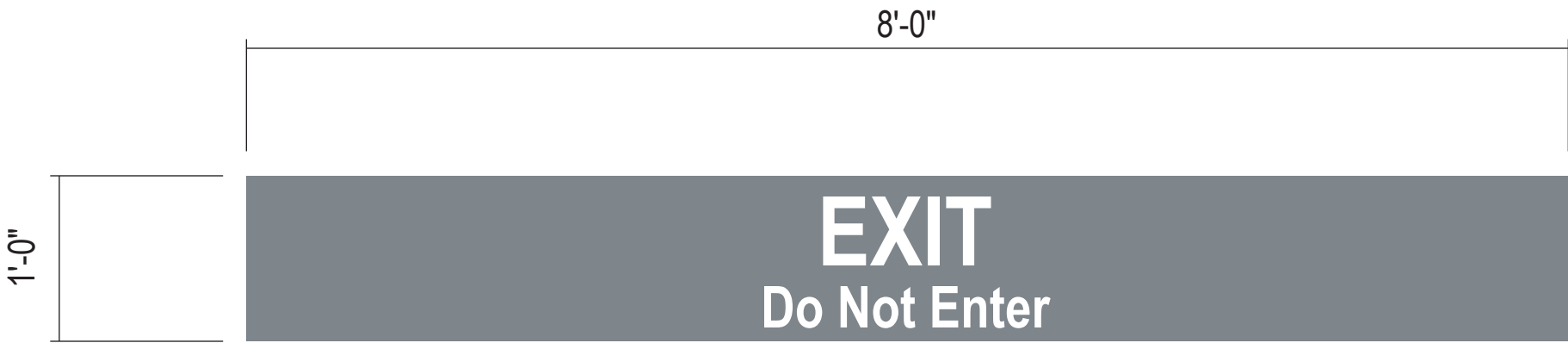
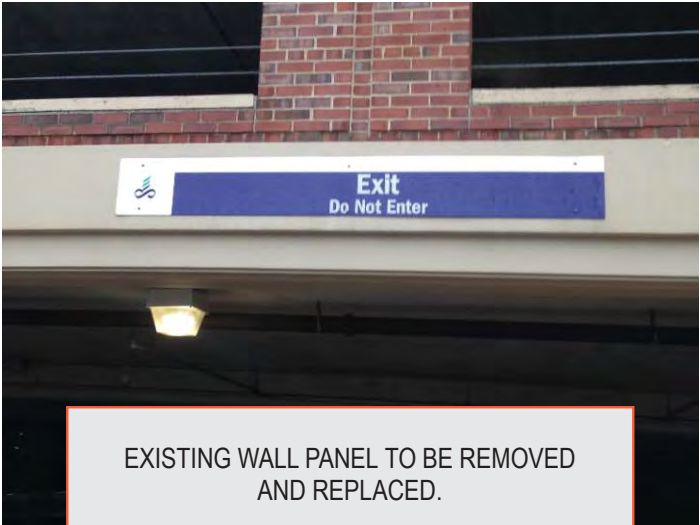


PROPOSED SIGNAGE

Scale: N.T.S.

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	Revised Color
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	8.0
PROPOSED SIGN SF:	8.0



- FACE:** .090 Flat alum painted Grey
Threaded rod welded to backside of panel
- GRAPHICS:** Surface applied white opaque vinyl
- INSTALL:** Panel stud mounted flush to wall
All penetrations silicone filled
- QUANTITY:** (1) ONE wall panel required

±10'-2"
HTG



PROPOSED SIGNAGE

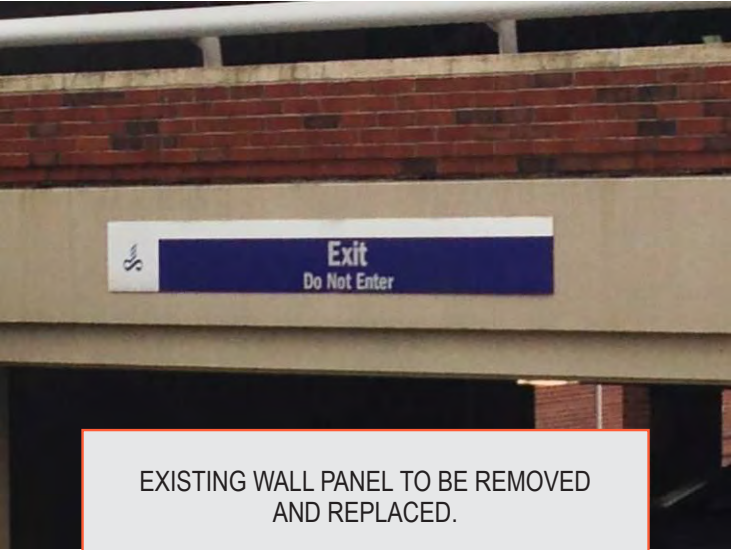
Scale: N.T.S.

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	Revised Color
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	8.0
PROPOSED SIGN SF:	8.0

EXISTING CONDITIONS

1'-0" x 8'-0"



- FACE:** .090 Flat alum painted Grey
Threaded rod welded to backside of panel
- GRAPHICS:** Surface applied white opaque vinyl
- INSTALL:** Panel stud mounted flush to wall
All penetrations silicone filled
- QUANTITY:** (1) ONE wall panel required

±10'-2"
HTG



PROPOSED SIGNAGE

Scale: N.T.S.

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	Revised Color
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

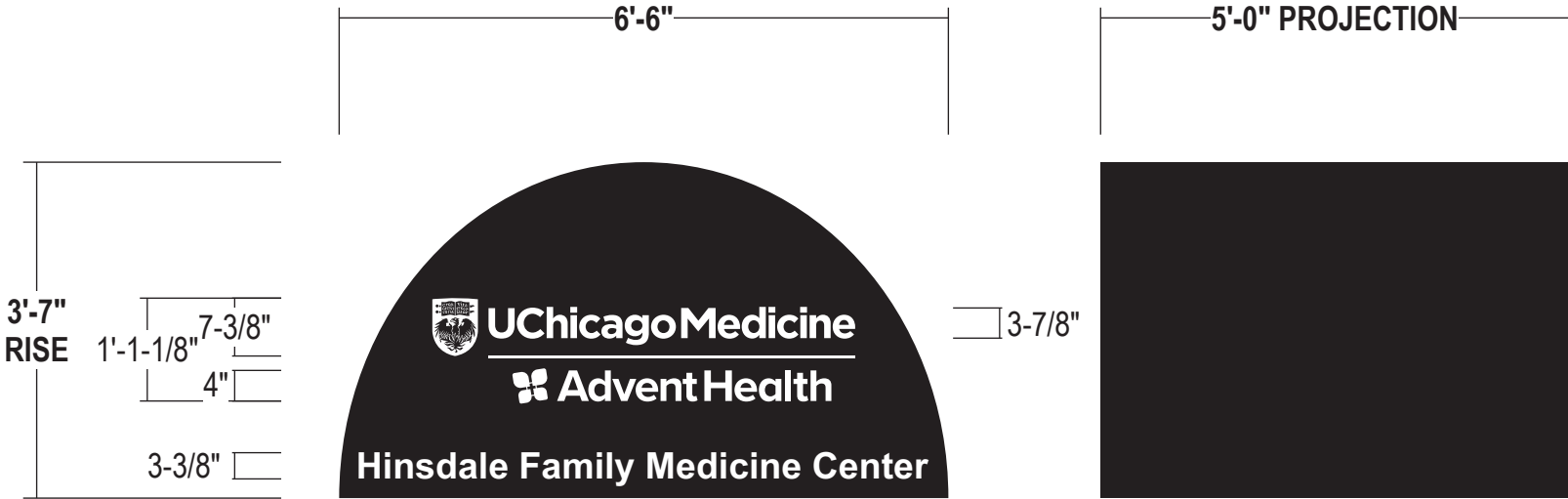
Scale: 1/2"=1'-0"

EXISTING SIGN SF:	23.3
PROPOSED SIGN SF:	23.3

EXISTING CONDITIONS



EXISTING AWNING FABRIC TO BE REMOVED AND REPLACED. EXISTING FRAME TO REMAIN AND BE RE-USED



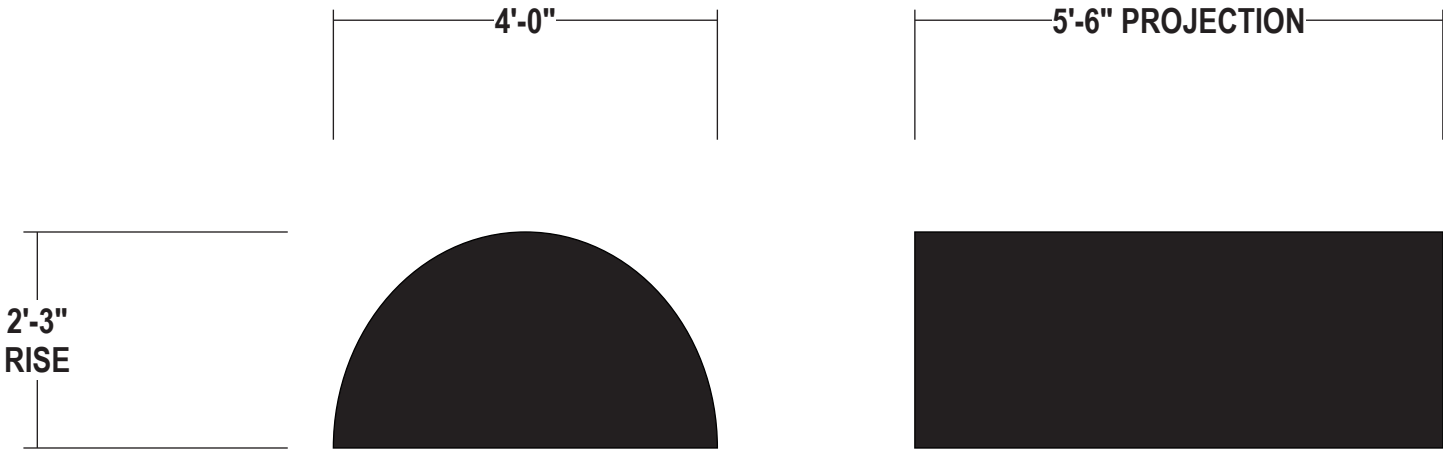
PROPOSED SIGNAGE

Scaled Proportionately

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Revised to new survey dimensions

Scale: 1/2"=1'-0"

EXISTING SIGN SF:	0.0
PROPOSED SIGN SF:	0.0



EXISTING CONDITIONS



EXISTING AWNING FABRIC TO BE REMOVED AND REPLACED. EXISTING FRAME TO REMAIN AND BE RE-USED



PROPOSED SIGNAGE

Scaled Proportionately

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	New sign added to scope

EXISTING SIGN SF:	2.8
PROPOSED SIGN SF:	0.0

EXISTING CONDITIONS



FACILITY TEAM TO REMOVE WALL PANEL

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

Scale: 3/8"=1'-0"

EXISTING SIGN SF:	30.0
PROPOSED SIGN SF:	0.0



EXISTING CONDITIONS



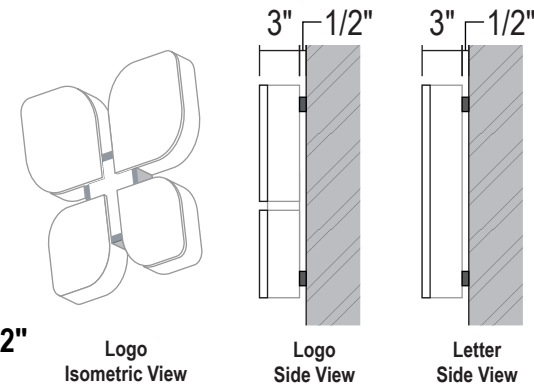
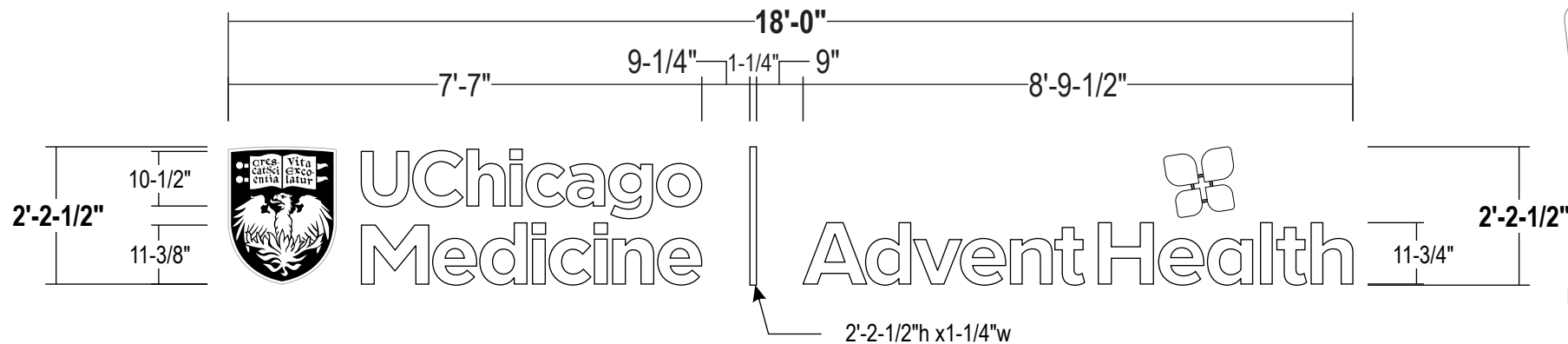
EXISTING AWNING FABRIC TO BE REMOVED AND REPLACED. EXISTING FRAME TO REMAIN AND BE RE-USED



PROPOSED SIGNAGE

Scaled Proportionately

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	Revised Scope
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Revised to new survey dimensions

REFER TO MONIGLE CONTROL
DOCUMENTS FOR PRODUCTION DETAILSNOTE: WHITE RETURNS USED TO CREATE
UNIFORM LOOK ACROSS UCHI LOGO,
ADVENT LOGO & SECONDARY COPY

EXISTING CONDITIONS



FACES: .090" aluminum faces painted White
UCM Shield: .to have Surface applied Black Vinyls to match colors shown
Advent Logo: Center cross section to have grayvinyl stroke

TRIMCAP: 1" White Jewelite

RETURNS: 3.5" Deep .063" aluminum coil painted white SG finish.
Additional baffle to be added for extended can depth
Advent Logo: 3" deep .063 aluminum returns Painted White; Advent
Logo sections to be created separately as single
pieces and pop-riveted together using cross section as joining piece
Letters: 3" Deep .063" aluminum returns painted white SG finish.
Interior painted with light enhancement paint

BACKS: 1/4" Clear polycarbonate

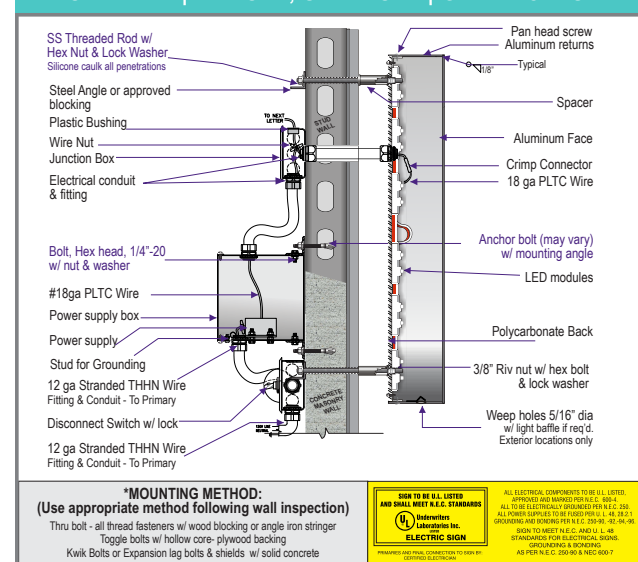
ILLUMINATION: Agilight 6500K White LED's as required by manufacturer
Dimmer switches required - Stratus to provide; **Remote Power Supplies**
Illum Note: Max of 50 Footcandles measured from the width of the sign

INSTALL: Thru bolted using all thread into blocking as required
12" standard length of threaded rod will be supplied unless otherwise
noted. 3/8" threaded rod into blocking or Stratus approved equivalent
(1) ONE Set of Letters required

QUANTITY:

PER CODE: Wall signs shall have a maximum height of 20 feet (measured from the
top of sign to adjacent grade) or no higher than the bottom of any second floor window,
whichever is less.

HALO LIT LED | REMOTE, STANDOFF | GENERIC INSTALL



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)
Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
Toggle bolts w/ hollow core- plywood backing
Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

**Stratus**TM

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

30

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

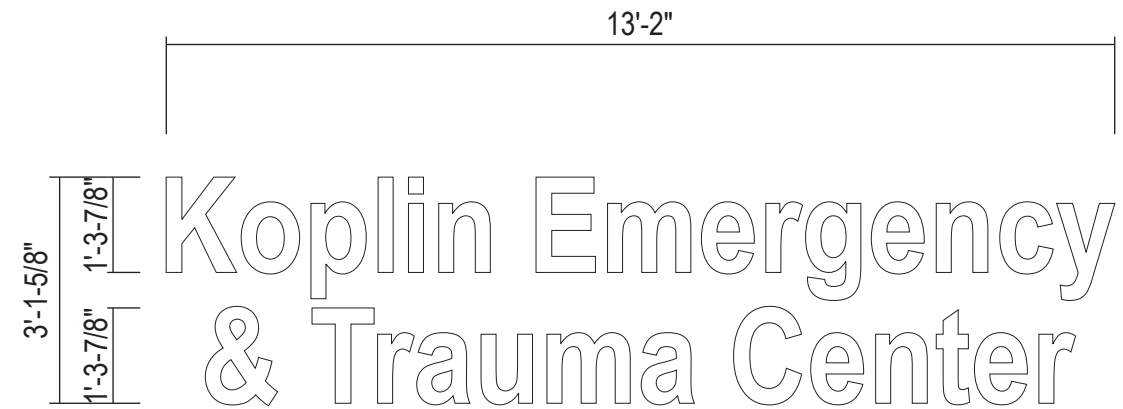
PROJECT MANAGER:

DAN NGUYEN

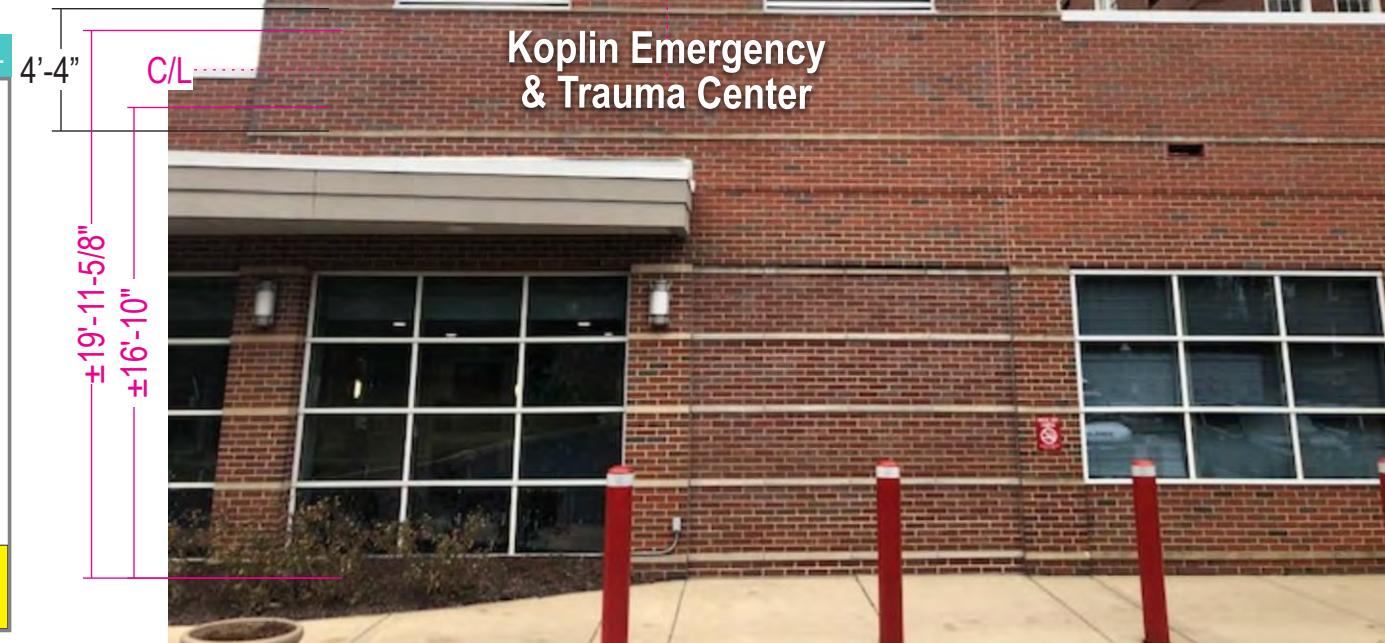
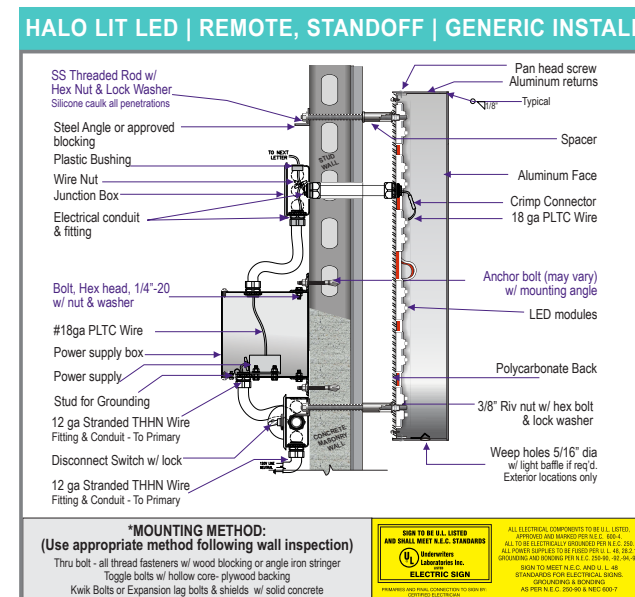
Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Re-added as Halot Lit Letters	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC	Added Height from grade	Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXISTING SIGN SF:	0.0
PROPOSED SIGN SF:	41.3



- FACES:** .090" aluminum faces painted White
- TRIMCAP:** 1" White Jewelite
- RETURNS:** 3" Deep .063" aluminum returns painted white SG finish.
Interior painted with light enhancement paint
- BACKS:** 1/4" Clear polycarbonate
- ILLUMINATION:** Agilight 6500K White LED's as required by manufacturer Dimmer switches required - Stratus to provide; **Remote Power Supplies**
Illum Note: Max of 50 Footcandles measured from the width of the sign
- INSTALL:** Thru bolted using all thread into blocking as required
12" standard length of threaded rod will be supplied unless otherwise noted. 3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:** (1) ONE Set of Letters required
- PER CODE:** Wall signs shall have a maximum height of 20 feet (measured from the top of sign to adjacent grade) or no higher than the bottom of any second floor window, whichever is less.



Stratus™

stratusunlimited.com8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

31

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

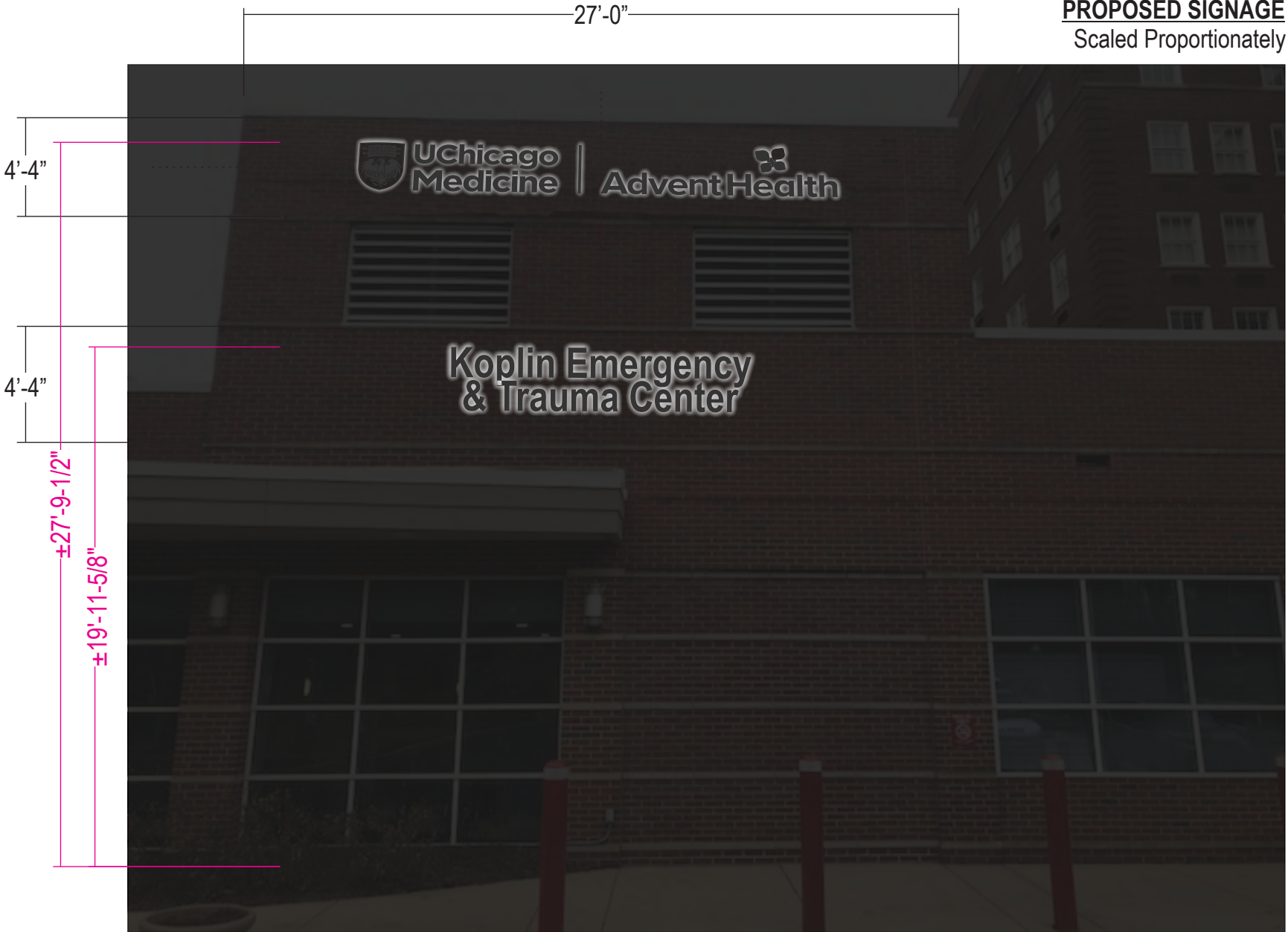
Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	Changed returns to white to match Sign 26a	Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC	Revised to Non Illuminated, removed upper sign	Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC	Added Height from grade	Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Added height to grade

HALO LIT CHANNEL LETTERS

SIMULATED NIGHT VIEW

APPROX. Scale: 3/16" = 1'-0" Due to photo angle

22 23





Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

 UChicago Medicine

 AdventHealth

ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

32

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\A\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC	Added lighting page	Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

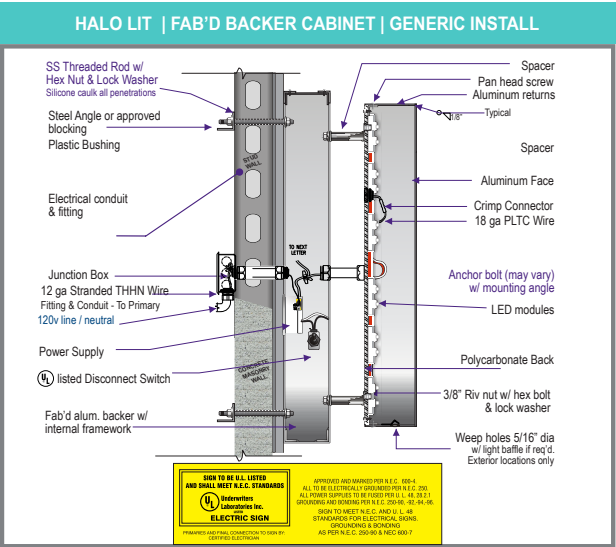
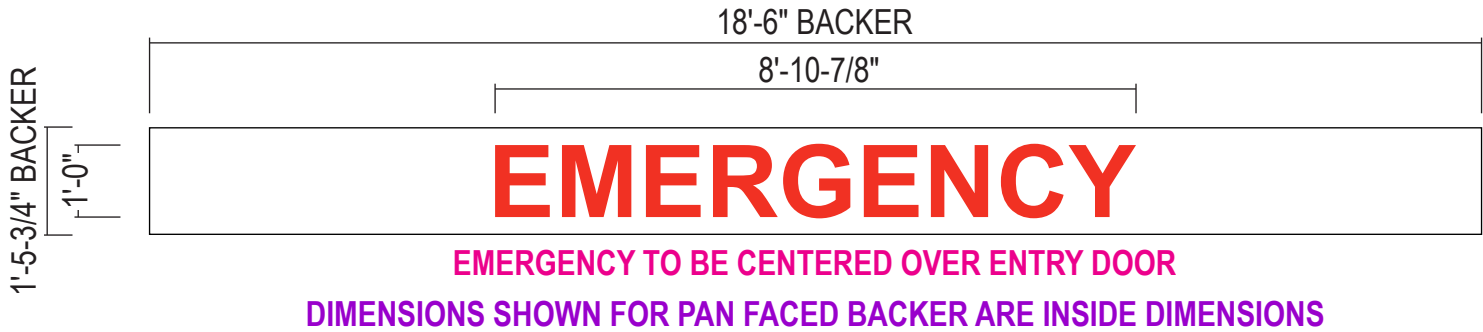
EXISTING SIGN SF:	14.1
PROPOSED SIGN SF:	14.1

EXISTING CONDITIONS



Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC		Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC		Rev 26	428584	05/04/23 TC	
Rev 33	437032	07/11/23 TC		Rev 27	429034	05/08/23 TC	
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	

EXISTING SIGN SF:	27.4
PROPOSED SIGN SF:	27.4



- BACKER:** Existing 2" deep fabricated cabinet and face to remain
NEW 2" Deep .090 Pan formed alum skin painted white SG finish
- FACES:** .090" aluminum faces painted Red
- RETURNS:** 3" deep .063 aluminum returns; Returns welded to faces;
All welds sanded smooth; Painted Red
- BACKS:** 1/4" Clear polycarbonate
- ILLUMINATION:** Agilight Red LED's as required by manufacturer
Dimmer switches required - Stratus to provide; **Remote Power Supplies**
Illum Note: Max of 50 Footcandles measured from the width of the sign
- INSTALL:** Letters and skin toggle bolted to existing cabinet face
- QUANTITY:** (1) ONE Letterset required

SIMULATED NIGHT VIEW



+/-
11'-3"



PROPOSED SIGNAGE

Scale: N.T.S.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ADDRESS:

120 N OAK ST
HINSDALE, IL 60521-3829

PAGE NO.:

34

ORDER NUMBER:

1164710

SITE NUMBER:

6

ELECTRONIC FILE NAME:

K:\ACCOUNTS\ADVENT HEALTH\LOCATIONS\2021\IL\006_Hinsdale\006_Hinsdale_R34.cdr

PROJECT NUMBER:

86414

PROJECT MANAGER:

DAN NGUYEN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	363229	12/21/21 CR		Rev 24	426707	04/20/23 TC	
Rev 31	431689	05/30/23 TC	Revised Night View	Rev 25	427555	04/27/23 TC	
Rev 32	434913	06/23/23 TC	Added night view	Rev 26	428584	05/04/23 TC	Revised Copy
Rev 33	437032	07/11/23 TC	Revised to halo lit	Rev 27	429034	05/08/23 TC	Relocated 'EMERGENCY'
Rev 34	437603	07/14/23 TC		Rev 28	429504	05/09/23 TI	
Rev 35	438456	07/19/23 TC		Rev 29	429549	05/11/23 TC	
Rev 23	425390	04/13/23 TC		Rev 30	431463	05/25/23 KWK	Added height to grade

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.



**UChicago
Medicine**

Advent Health

January 18, 2024

To Whom it May Concern:

I am the interim President & CEO of Adventist Midwest Health, an Illinois not-for-profit corporation. The Adventist Midwest Health entity's prior corporate names include Adventist Hinsdale Hospital and Hinsdale Sanitarium and Hospital. Adventist Midwest Health currently maintains several registered assumed names under which it does business, including "UChicago Medicine AdventHealth Hinsdale."

I verify that Adventist Midwest Health is the owner of the property commonly known as 120 N. Oak St. in Hinsdale, Illinois.

In my capacity as President & CEO of the property owner, I am authorized to grant and have so granted Stratus Unlimited and their permit expeditor, Professional Permit, permission to obtain the sign permits and area variance application as well as any related documents necessary for the construction (or installation) of signs at 120 N. Oak St., Hinsdale, Illinois. I understand that I am authorizing these companies to apply for permit-related documents of various types for sign approvals and any related variance documents. This is limited to what is necessary for sign permit projects to be completed.

Sincerely,

DocuSigned by:

Herb Buchanan

1CCF8FD3091F438...

Herb Buchanan

President & CEO

Adventist Midwest Health

EXHIBIT A**LEGAL DESCRIPTION**

LOTS 1 TO 7 INCLUSIVE IN BLOCK 8 IN ALFRED WALKERS ADDITION TO THE TOWN OF HINSDALE IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS. ALSO, LOTS 1 TO 19 INCLUSIVE, TOGETHER WITH ALL OF THE VACATED STREETS AND ALLEYS BETWEEN AND ADJOINING SAID LOTS IN KIMBALL HEIR'S SUBDIVISION OF LOTS 1, 2, 3, 4 AND 5 OF BLOCK 9 IN ALFRED WALKER'S ADDITION TO HINSDALE IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

GREMLEY & BIEDERMANN

A Division of
PLCS Corporation

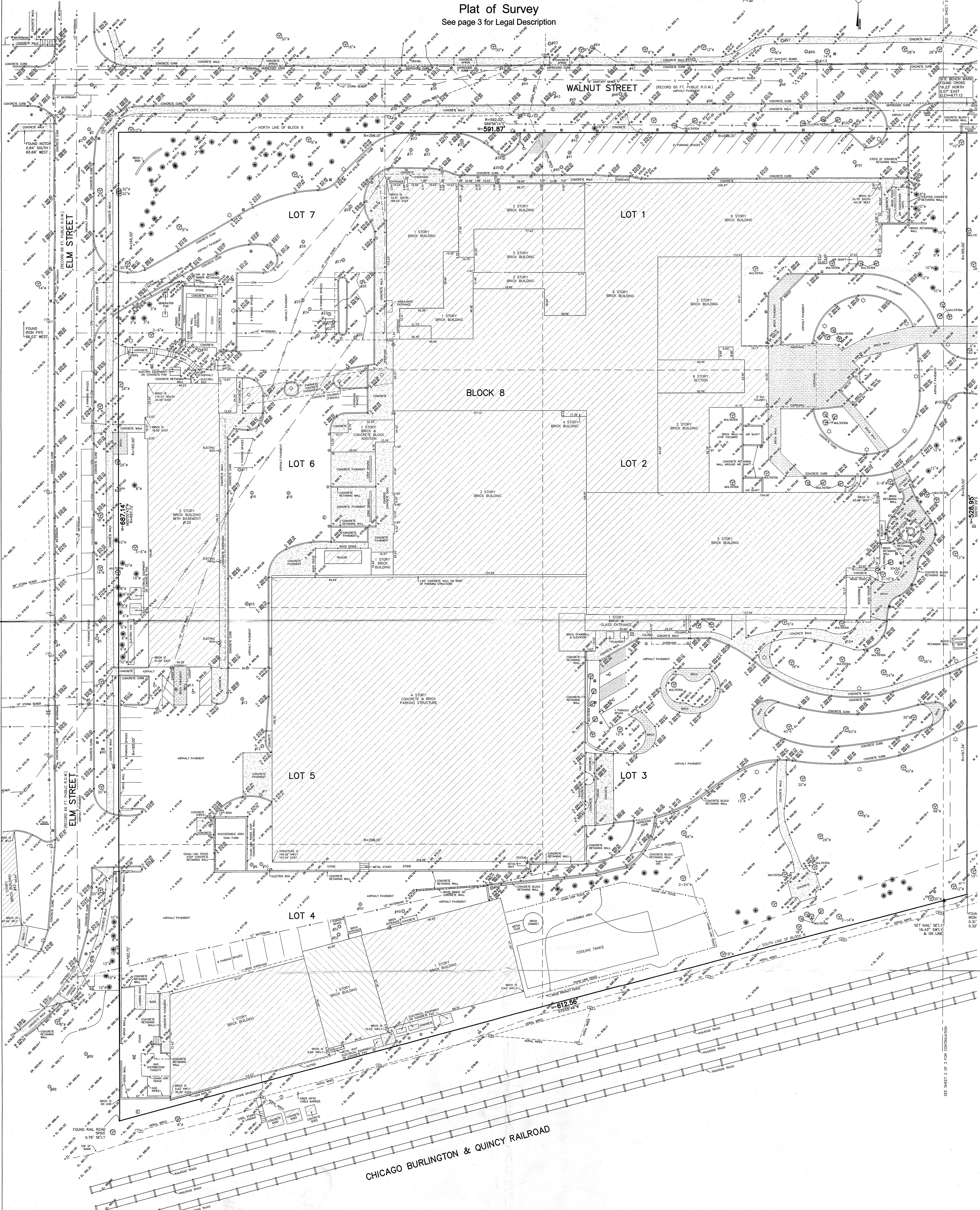
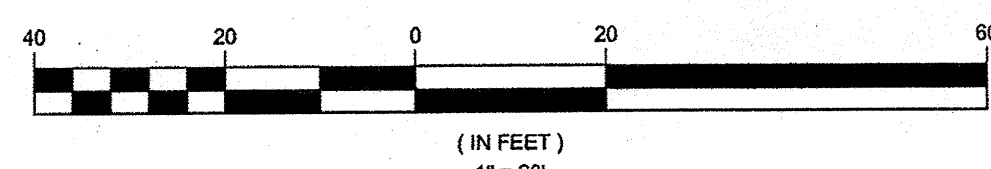
PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

Plat of Survey

See page 3 for Legal Description

GRAPHIC SCALE



Note R & M denotes Record and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.
NO dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

COPYRIGHT GREMLEY & BIEDERMANN, INC. 2009 "All Rights Reserved"

A=ASPHALT ELEVATION
GR=GRAVEL ELEVATION
FF=FINISHED FLOOR ELEVATION
W=WALK ELEVATION
X=CONCRETE ELEVATION
TOE=TOP OF SLOPE ELEVATION
TOS=TOP OF BANK ELEVATION
C=CURB ELEVATION
G=OUTER ELEVATION
EL=ELEVATION

ORDERED BY: EMISSION ENGINEERING ASSOC. LTD.	DRAWN BY: AF
ADDRESS: ADVENTIST HOSPITAL	
GREMLEY & BIEDERMANN	
PLCS CORPORATION	
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630	
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM	
ORDER NO: 2008-12089-001	PAGE NO: 1 OF 3
DATE: DECEMBER 12, 2008	
SCALE: 1"=20' FEET	

GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation

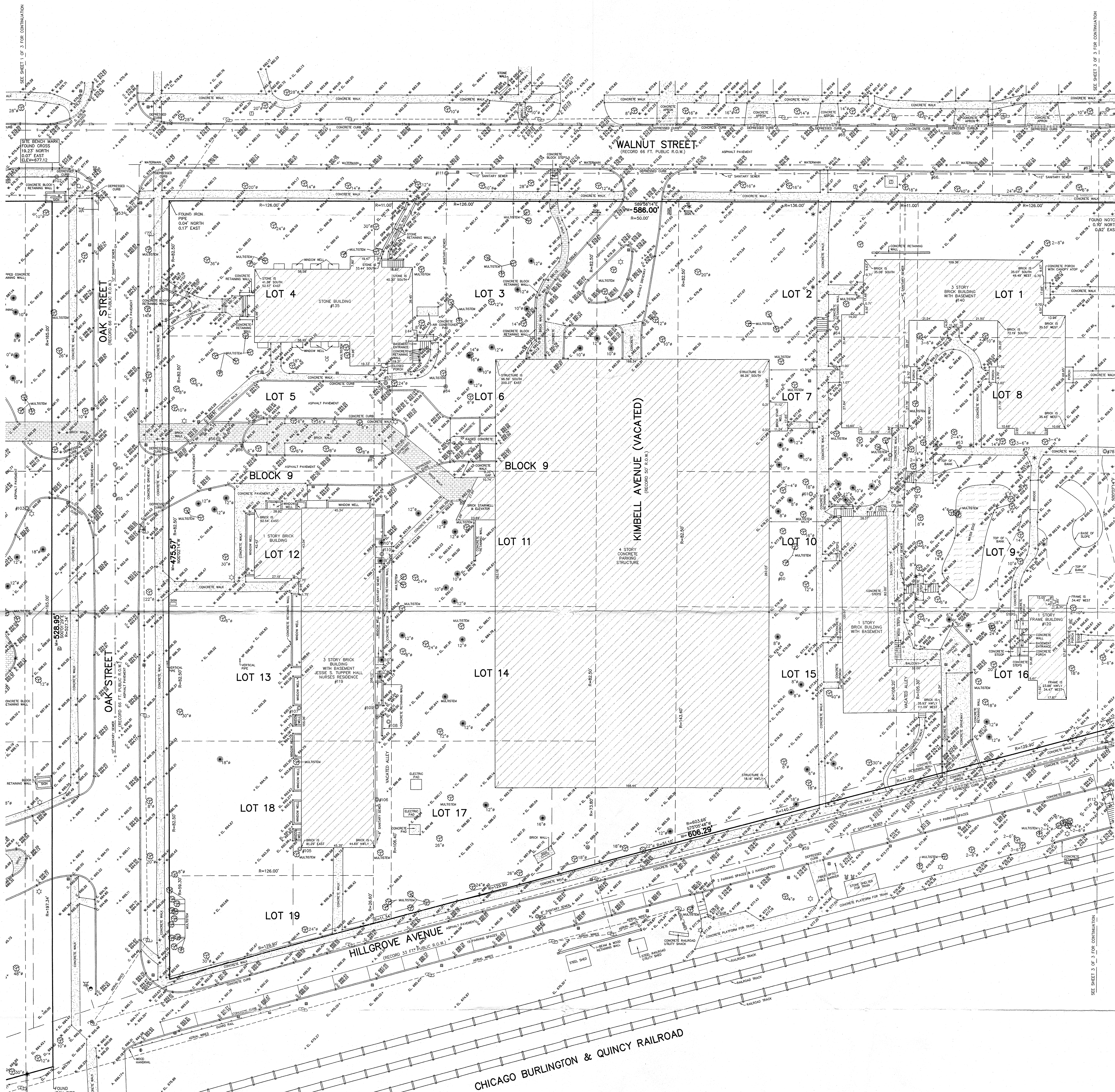
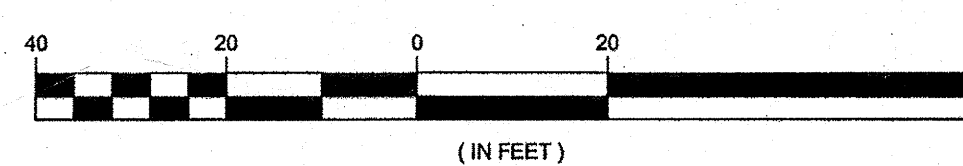
PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 686-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

Plat of Survey

See page 3 for Legal Description

GRAPHIC SCALE



Note R. & M. denotes Record and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

No dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

COPYRIGHT GREMLEY & BIEDERMANN, INC. 2009 "All Rights Reserved"

A=ASPHALT ELEVATION
GR=GRAVEL ELEVATION
F=FINISHED FLOOR ELEVATION
W=WALK ELEVATION
X=CONCRETE ELEVATION
T=TOP OF BANK ELEVATION
Q=OUTLET ELEVATION
EL=ELEVATION

ORDERED BY: EMISSIONS ENGINEERING ASSOC. LTD.	CHECKED: TRUMAN
ADDRESS: ADVENTIST HOSPITAL	DATE: 12/10/09
GREMLEY & BIEDERMANN	
PLCS CORPORATION	
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630	
TELEPHONE: (773) 686-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM	
ORDER NO: 2008-12089-001	PAGE NO: 2 of 3