



MEETING AGENDA

HISTORIC PRESERVATION COMMISSION
WEDNESDAY, AUGUST 6, 2025
6:30 p.m.
MEMORIAL HALL – MEMORIAL BUILDING
19 East Chicago Avenue, Hinsdale, Illinois 60521
(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES

- a) July 7, 2025 Meeting

4. SIGN PERMIT REVIEW

- a) Case A-37-2025 – Sign Permit Review – 50 S. Washington Ave, Suite 101 – Yves Delorme, Inc. – Installation of One (1) Permanent Window Sign

5. PUBLIC HEARINGS

- a) Case HPC-14-2025 – 304 E. Chicago Avenue – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District
- b) Case HPC-15-2025 – 142 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

6. PUBLIC COMMENT

7. NEW BUSINESS

8. OLD BUSINESS

- a) Memorial Building Historic Plaque
- b) Sixth Street Improvement Project
- c) Sign Code Update

9. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson,

be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
MINUTES OF THE MEETING
WEDNESDAY, JULY 7, 2025**

The regularly scheduled meeting of the Village of Hinsdale Historic Preservation Commission was called to order by Chairman Bohnen in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, July 7, 2025 at 6:36 p.m. Roll call was taken.

PRESENT: Commissioners Sarah Barclay, Bill Haarlow, Chris Elder, Richard Olsen, and Chairman John Bohnen

ABSENT: Commissioners Shannon Weinberger and Frank Gonzalez

ALSO PRESENT: Bethany Salmon, Village Planner

APPROVAL OF MINUTES – June 4, 2025

Chairman Bohnen asked for comments on the June 4, 2025 Historic Preservation Commission meeting minutes.

Commissioner Haarlow asked for corrections on the bottom of page two of the June 4, 2025 meeting minutes to state “In summary, Commissioner Haarlow stated...”.

Commissioner Elder made a motion, seconded by Commissioner Olsen, to approve the draft meeting minutes of the June 4, 2025 Historic Preservation Commission meeting with the discussed changes to page two.

The motion carried with roll call vote of 5-0 as follows:

AYES: Commissioners Barclay, Elder, Olsen, Haarlow and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Weinberger and Gonzalez

PUBLIC HEARINGS

a) Case HPC-13-2025 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 10)

Please refer to **Attachment 1** for the transcript for Public Hearing Case HPC -13-2025.

Commissioner Elder made a motion, seconded by Commissioner Barclay, to open the public hearing for Case HPC-13-2025 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 10). The motion carried with a roll call vote of 5-0 as follows:

AYES: Commissioners Barclay, Elder, Olsen, Haarlow and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Weinberger and Gonzalez

Ms. Salmon presented seven additional properties for inclusion on the Historically Significant Structures list. If all seven properties are approved and the Historic Preservation Commission’s recommendation is sent

forward to Village Board, there will officially be over 100 properties on the list. She stated that it is a really exciting milestone and a great achievement for our community. As done in the past, Ms. Salmon provided a brief overview of each property, and then the Historic Preservation Commission offered a recommendation on which of the seven eligibility criteria the property meets. A property only needs to meet one of the seven criteria to qualify for the list it doesn't need to meet all of them.

Ms. Salmon presented the following properties:

201 N. Clay Street is a single-family home located on a corner lot in the R-4 district. It is a representative example of the American Foursquare architectural style, commonly found in the early 20th century. The original 1926 building permit was located, helping to confirm the construction period. The structure appears largely intact, with the most notable changes being a side-rear addition constructed in the late 1980s and a possible enclosed front porch alteration. Despite these modifications, the home retains its overall historical integrity.

Chairman Bohnen asked for clarification on the purged foundation. Commissioner Olsen stated that when a foundation is purged, it likely indicates a rubble stone foundation with a coating or parging applied over it is a technique used for weatherproofing and aesthetics.

The Commission members agreed that the property meets criterion #3 – Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

311 Forest Road is a traditional Colonial Revival-style home from the 1940s in the R-4 district. It is notable for its octagonal window above the entrance and symmetrical bay windows flanking the front. The house is described as a unique home for Hinsdale, with strong architectural integrity. The front façade remains largely unaltered, preserving its historic character. A two-story rear addition, constructed in 1999, is present but not visible from the street, allowing the home's historic appearance to remain intact. Although deeper research into the original builder (A.E. Anderson) and architect (Robert C. Swanson) is ongoing, their association adds potential historical value. The home was included in the 1999 survey and was considered significant and in the Northeast Hinsdale survey it was considered contributing.

The Commission members agreed that the property meets criterion #3 - Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

134 N. Lincoln Street is one of the most iconic and historically significant homes in Hinsdale built in 1894. This property is often referred to as the Terracotta House due to its complete exterior cladding in glazed terracotta. It is also known as the Gates house, built by William Day Gates, a pioneering figure in American terracotta production. The home is an excellent and extremely rare local example of the Chateausque architectural style, not only in Hinsdale but throughout the state of Illinois. This highly ornate structure features elaborate detailing that is characteristic of the Chateausque movement. William Day Gates, its original builder, was a nationally significant figure in American industrial history, influencing terracotta production across the U.S. and Canada through his company, the American Terracotta and Ceramic Company. The house was designed by the notable architectural firm Jenney & Mundie. William Le Baron Jenney is often credited as the "father of the skyscraper" and played a major role in shaping Chicago's architectural history. He is also contributed to the design and planning of public boulevards and parks in nearby Riverside and the City of Chicago. His partner Mundie also had a significant architectural legacy in the region. This home is well-documented and has been subject of extensive historical research, much of which was provided by the Hinsdale Historical Society.

The Commission members agreed that the property meets multiple criteria:

Criterion #2 – Associated with the lives of persons significant in our past

Criterion #3 – Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

Criterion #4 – Yields, or may be likely to yield, information important to history or prehistory.

Criterion #5 – It has significant in local, regional, state, or national history, architecture, archeology, engineering, or culture.

Criterion #6 – It is a source of civic pride or identity for the community.

15 N. Monroe Street is a charming Tudor Revival home, built around 1930, is an excellent representation of its style and period. Its distinctive architecture is visible in both contemporary and historical photographs, including a 1937 image that showcases its storybook cottage-style detailing. In 1977, a one-story side and rear addition was constructed, designed in a way that maintains harmony with the original structure. The house's aesthetic and structural integrity remains strong, and it clearly exemplifies Tudor Revival architecture from the early 20th century.

The Commission members agreed that the property meets criterion #3 - Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

136 S. Oak Street is an architecturally and historically exceptional home. It was designed by William G. Barfield, one of Hinsdale's most influential architects. Original blueprints, recently uncovered by the current owner, confirmed Barfield's involvement. He is known for multiple landmark structures including the Hinsdale Theater and the Marcus building. There's also compelling evidence tying the home to John C. Wood, an important local figure in Hinsdale's civic and financial development. Wood served as Village President from 1909 to 1914 and was a leader in the banking and trade sectors. An original safe bearing Wood's name was found inside the home during renovations, strengthening the historical connection. Although the home has had an addition, its overall character and historical relevance remain intact, with deep ties to both local architecture and leadership.

The Commission members agreed that the property meets multiple criteria:

Criterion #2 – Associated with the lives of persons significant in our past

Criterion #3 – Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

Criterion #4 – Yields, or may be likely to yield, information important to history or prehistory.

Criterion #5 – It has significant in local, regional, state, or national history, architecture, archeology, engineering, or culture.

Criterion #6 – It is a source of civic pride or identity for the community.

32 W. Ogden Avenue is one of the oldest surviving structures in Hinsdale, and one of the most historically meaningful. Built around 1852, the house blends Greek Revival and Vernacular architecture, and although somewhat altered, it retains much of its original 19th-century form. The property was known as the Fresh Air Home built between the 1880s and the 1920s. As part of a philanthropic initiative, the home welcomed underprivileged women and children from Chicago, offering them a rural, therapeutic retreat during summer months- a progressive effort for its time, and a notable chapter in Hinsdale's early social history. The house is well hidden today, tucked behind newer homes with a shared driveway, and is not visible from Ogden Avenue. Its obscurity meant it was not included in previous historic surveys, but thanks to research from the Hinsdale Historical Society, its identity as the Fresh Air Home was rediscovered. Despite the infill

development around it, the home is in good condition and retains its historic character, making it a strong candidate for the historically significant structures list.

The Commission members agreed that the property meets multiple criteria:

Criterion #1 – Associated with events that have made a significant contribution to the broad patterns of our history

Criterion #5 – It has significant in local, regional, state, or national history, architecture, archeology, engineering, or culture.

Criterion #6 – It is a source of civic pride or identity for the community.

234 E. Third Street, built around 1895, this is one of Hinsdale's older and architecturally distinctive homes, showcasing the Queen Anne style, known for its asymmetry, textured surfaces, and ornate detailing. The home has been featured in historical publications and retains the majority of its original architectural integrity. Historic photos reveal that the house once had decorative rooftop railings and additional spindle work detailing, which have since been removed. However, the core structure and overall appearance remain largely unchanged, maintaining the home's historic character and making it a strong example of Queen Anne residential architecture in the Village. The property has been consistently recognized as significant in prior surveys and continues to embody the architectural qualities associated with its style and period.

The Commission members agreed that the property meets criterion #3 - Embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.

Hearing no concerns, Commissioner Barclay made a motion, seconded by Commissioner Elder, to approve Case HPC-13-2025 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 10). The motion carried with roll call vote of 5-0 as follows:

AYES:	Commissioners Barclay, Elder, Olsen, Haarlow and Chairman Bohnen
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Weinberger and Gonzalez

Commissioner Elder made a motion, seconded by Commissioner Barclay, to close the public hearing for Case HPC-13-2025 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 10). The motion carried with a roll call vote of 5-0 as follows:

AYES:	Commissioners Barclay, Elder, Olsen, Haarlow and Chairman Bohnen
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Weinberger and Gonzalez

PUBLIC COMMENT

None.

NEW BUSINESS

None.

OLD BUSINESS

a) Memorial Building Historic Plaque

The plaque was installed last month. A dedication ceremony will be held for the newly installed historic plaque at the Memorial Building on July 15, 2025 prior to the Village Board Meeting.

b) Sixth Street Improvement Project

No updates.

c) Sign Code Update

No updates.

ADJOURNMENT

Commissioner Elder made a motion, seconded by Commissioner Olsen, to adjourn the meeting of the Village of Hinsdale Historic Preservation Commission special meeting of June 4, 2025. The meeting was adjourned at 6:56 p.m. after a unanimous roll call vote.

ATTEST: _____
Agnes Maka, Community Development Office

BEFORE THE VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION

IN THE MATTER OF:)
)
)
HPC-19-2024, Consideration)
of Properties for Inclusion)
on the Historically)
Significant Structures)
Property List in the)
Historic Overlay District.)

REPORT OF PROCEEDINGS had and testimony
taken at the Public Hearing of the above-
entitled matter before the Hinsdale Historic
Preservation Commission, on the 4th day of
December, 2024, at 7:06 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;

MS. SARAH BARCLAY, Member;

MR. BILL HAARLOW, Member;

MS. SHANNON WEINBERGER, Member;

MR. FRANK GONZALEZ, Member;

MR. RICHARD OLSEN, Member.

<p style="text-align: right;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MS. BETHANY SALMON, Village Planner.</p> <p>3 _____</p> <p>4 CHAIRMAN BOHNEN: Do you want to start</p> <p>5 that up, Bethany.</p> <p>6 MS. SALMON: Okay.</p> <p>7 So we can move on to the next</p> <p>8 public hearing for -- under Agenda item 5(b),</p> <p>9 Case HPC-19-2024. This is for our next round of</p> <p>10 properties for inclusion on our Historically</p> <p>11 Significant Structures List.</p> <p>12 We -- This is our ninth round,</p> <p>13 which we have nine properties that are up for</p> <p>14 consideration for inclusion. I'll give you guys</p> <p>15 an overview of the process again.</p> <p>16 So we have five properties that we</p> <p>17 will look at. They're all -- Information on</p> <p>18 them is all included in your packet. What we've</p> <p>19 normally done here is we go through each one. I</p> <p>20 can give a little bit of a quick overview for</p> <p>21 each property, and the Historic Preservation</p> <p>22 Commission will determine if each home meets one</p>	<p style="text-align: right;">4</p> <p>1 public hearing for Case HPC-19-2024,</p> <p>2 Consideration of Properties for Inclusion on the</p> <p>3 Historically Significant Structures Property</p> <p>4 List in the Historical Overlay District.</p> <p>5 MS. BARCLAY: Second.</p> <p>6 MS. SALMON: Commissioner Barclay.</p> <p>7 MS. BARCLAY: Aye.</p> <p>8 MS. SALMON: Commissioner Weinberger.</p> <p>9 MS. WEINBERGER: Aye.</p> <p>10 MS. SALMON: Commissioner Gonzalez.</p> <p>11 MR. GONZALEZ: Aye.</p> <p>12 MS. SALMON: Commissioner Haarlow.</p> <p>13 MR. HAARLOW: Aye.</p> <p>14 MS. SALMON: Commissioner Olsen.</p> <p>15 MR. OLSEN: Aye.</p> <p>16 MS. SALMON: Chairman Bohnen.</p> <p>17 CHAIRMAN BOHNEN: Aye.</p> <p>18 MS. SALMON: Okay. Now, we'll go</p> <p>19 through each of the five properties that are on</p> <p>20 our list and we can determine which criteria is</p> <p>21 met.</p> <p>22 So the first property on our list</p>
<p style="text-align: right;">3</p> <p>1 of the required valuation criteria listed in the</p> <p>2 codes. Those are included on page 2 the staff</p> <p>3 report or page -- or Exhibit 4 in the packet.</p> <p>4 There are six criteria. Each</p> <p>5 property needs to meet at least one. It can</p> <p>6 meet several, but it does not have to.</p> <p>7 And then the recommendation we'll</p> <p>8 move on from the HPC to the Village Board, and</p> <p>9 then these will be included on our Historically</p> <p>10 Significant Structures List and be eligible for</p> <p>11 any of our preservation incentives.</p> <p>12 As a reminder, we have 89 houses</p> <p>13 approved on our list right now. So this is</p> <p>14 getting us closer to 100. So that's really good</p> <p>15 news.</p> <p>16 And with that, if it's okay, I can</p> <p>17 start going through -- Well, we do need to also</p> <p>18 open the public hearing. So if I can make a</p> <p>19 motion to open the public hearing -- or can one</p> <p>20 of you make a motion to open the public hearing</p> <p>21 and then we can go through each of these.</p> <p>22 MS. WEINBERGER: I move to open the</p>	<p style="text-align: right;">5</p> <p>1 is 213 South Clay Street. This property is</p> <p>2 located in the R-4 single-family zoning</p> <p>3 district. It's a single-family home. It was</p> <p>4 constructed circa 1870 and features Gothic</p> <p>5 revival and Italianate style architecture. Per</p> <p>6 the past two surveys that have been done on this</p> <p>7 property, from 1999 and 2001, this house was</p> <p>8 rated significant, which is the highest rating</p> <p>9 you can get. And we did have additional</p> <p>10 information provided by the Hinsdale Historical</p> <p>11 Society and the property owner.</p> <p>12 It is believed, based on some</p> <p>13 research from the Hinsdale Historical Society,</p> <p>14 that this may have been moved at one point from</p> <p>15 Garfield Avenue. And there is, in this photo,</p> <p>16 if you look at the right-hand side of the photo</p> <p>17 that was given to us, that may be the same house</p> <p>18 that used to be on Garfield.</p> <p>19 And there is quite an extensive</p> <p>20 list of -- I think they gave us some -- not this</p> <p>21 one, but it's -- very little has been done to</p> <p>22 it. There's been a minor addition maybe,</p>

<p style="text-align: center;">6</p> <p>1 possibly on the back but, in general, it's</p> <p>2 pretty intact.</p> <p>3 MR. HAARLOW: Well, it certainly meets</p> <p>4 criterion number 3.</p> <p>5 MR. OLSEN: Yeah, absolutely.</p> <p>6 MS. SALMON: Okay. Any other criteria?</p> <p>7 (Brief pause.)</p> <p>8 MS. SALMON: I would like to find one</p> <p>9 more.</p> <p>10 MR. GONZALEZ: Yeah, I know.</p> <p>11 MS. SALMON: It's not --</p> <p>12 MR. GONZALEZ: I'm looking at 5.</p> <p>13 MS. SALMON: It's not a winning game</p> <p>14 like that. One is good.</p> <p>15 MS. WEINBERGER: All right.</p> <p>16 MR. GONZALEZ: I was looking at 5.</p> <p>17 MS. SALMON: But I can add number 5 if</p> <p>18 everyone believes 5 also.</p> <p>19 MR. GONZALEZ: Because it does have</p> <p>20 local traditional --</p> <p>21 MR. OLSEN: Yeah, I agree.</p> <p>22 MS. SALMON: Okay. All right. So</p>	<p style="text-align: center;">8</p> <p>1 information here. Yeah. So I believe that</p> <p>2 south side addition was in the 1930s so it's</p> <p>3 quite an old addition.</p> <p>4 MR. GONZALEZ: When you're referring to</p> <p>5 the addition, you're -- I'm looking at it,</p> <p>6 you're saying the addition to the right small?</p> <p>7 MS. SALMON: Yes. I believe that was</p> <p>8 the addition to the right.</p> <p>9 MR. GONZALEZ: Oh. Oh, I see.</p> <p>10 MS. SALMON: And then they retrofitted</p> <p>11 that addition, I believe, in the '80s.</p> <p>12 MR. GONZALEZ: Oh, I see. Okay.</p> <p>13 MS. SALMON: This -- This is actually</p> <p>14 on the screen right now and ad from the '30s.</p> <p>15 So you can see that there is an addition put on,</p> <p>16 at least in the '30s or so, and then it was</p> <p>17 retrofitted.</p> <p>18 We did find an original sketch from</p> <p>19 Philip Duke West, which is kind of interesting.</p> <p>20 It shows the original footprint before that</p> <p>21 other addition was -- was added on.</p> <p>22 MR. GONZALEZ: Okay.</p>
<p style="text-align: center;">7</p> <p>1 we'll add number 3 and number 5.</p> <p>2 Okay. The next home up for</p> <p>3 consideration is 711 South Elm Street. This</p> <p>4 property is located in the R-1 single-family</p> <p>5 zoning district. It's also a single-family</p> <p>6 house. It does have a historic name of the R.</p> <p>7 Dang house.</p> <p>8 This house was designed by Philip</p> <p>9 Duke West, which was a pretty prominent local</p> <p>10 architect in town, who has done quite a few</p> <p>11 homes that -- some of which have been demolished</p> <p>12 and quite a few in the downtown and</p> <p>13 institutional buildings.</p> <p>14 It features colonial revival</p> <p>15 architecture. It has had an addition put on it,</p> <p>16 but it was quite -- done quite some time ago in,</p> <p>17 I think, first maybe in the '30s and then it was</p> <p>18 redone in the '80s, but -- and it was rated by</p> <p>19 the 1999 survey significant; and in 2007, it was</p> <p>20 rated as potentially significant due to that</p> <p>21 addition.</p> <p>22 Let's see if there's any other</p>	<p style="text-align: center;">9</p> <p>1 MS. WEINBERGER: Well, it's definitely</p> <p>2 2.</p> <p>3 MS. SALMON: Yeah.</p> <p>4 So criteria 2.</p> <p>5 MR. HAARLOW: I would say criterion</p> <p>6 5 as well because of the West association.</p> <p>7 MS. SALMON: Yeah.</p> <p>8 Okay. Any others?</p> <p>9 All right. The next on our list is</p> <p>10 211 North Lincoln Street. This property is</p> <p>11 located in our R-4 single-family zoning</p> <p>12 district. It's also a single-family home. It</p> <p>13 is referred to as the Ralph R. Mooney house.</p> <p>14 We did get some information</p> <p>15 according to the Historical Society of the</p> <p>16 reason that it is referred to that way, is</p> <p>17 apparently he was -- he built many homes in</p> <p>18 Hinsdale in the 1920s, and including 633 South</p> <p>19 Washington and 131 North Grant Street.</p> <p>20 They believe this house was</p> <p>21 constructed in 1927 and it features the colonial</p> <p>22 revival architectural style. It has had a</p>

<p style="text-align: center;">10</p> <p>1 little addition that was put on it. You could 2 see it on the right-hand side when you're 3 looking at the front facade. And I -- I believe 4 this may have, like, gotten, like, a 5 preservation award at some point. And it's had 6 a few other additions in the back over time, but 7 we've -- we were given quite a few number of -- 8 of articles from the Historical Society on this. 9 (Brief pause.) 10 MS. WEINBERGER: I'd give it a 3. 11 MS. SALMON: Okay. Any others? 12 Okay. All right. The fourth 13 property up for inclusion is 8 East Third 14 Street. I'm sure many of you are familiar with 15 this house. It is commonly referred to as the 16 Peabody house. It's located in the 17 R-4 single-family zoning district. The date of 18 construction was 1889. It features the Queen 19 Anne architectural style. 20 It recently sold to wonderful 21 owners that are looking to preserve it. It has 22 been rated as significant per our 1999 and</p>	<p style="text-align: center;">12</p> <p>1 MS. WEINBERGER: 3 through 6. 2 MR. OLSEN: Yeah, 1 through 6. 3 MS. WEINBERGER: I was going to say 4 1 through 6. 5 MR. GONZALEZ: Exactly. 6 MS. SALMON: Yeah. There's quite a bit 7 here for all -- 8 MR. GONZALEZ: All of the above. 9 MS. SALMON: Yeah. 10 Okay. I will do 1 through 6. 11 MR. HAARLOW: I think that's a first. 12 MS. SALMON: Yeah. 13 Yeah. There's quite -- This has 14 got some national history with it as well so 15 it's -- it's a very great home and we're happy 16 to see that it has new owners. So ... 17 Okay. And then the last house up 18 for inclusion, if I can get through these 19 attachments, is 130 -- 122 East Third Street. 20 This is another Queen Anne style home built in 21 1883. It's located in the R-1 single-family 22 zoning district, and it is rated as significant</p>
<p style="text-align: center;">11</p> <p>1 2001 surveys. It's also listed on the National 2 Register, and it is referenced in Mary 3 Sterling's Hinsdale Historic Homes and the 4 people who lived in them from 1997. The 5 National Register listing and Mary Sterling's 6 excerpt is in this packet. 7 It's also -- It's important for 8 people as well, it was built by George Robbins, 9 who was the president of the Armored Car lines. 10 And then Stuyvesant Peabody was the president of 11 the Peabody Coal Company, also lived in this 12 house, who was very important, obviously, for 13 the history of the Peabody Coal Company and 14 development throughout that era. 15 And then according to one of the 16 surveys as well, Alexander Legge also lived here 17 at some point. He was the president of the 18 International Harvester, and he's the reason why 19 we have KLM Park. So all very important things 20 are associated with this house, and it obviously 21 has some interesting Queen Anne architecture as 22 well.</p>	<p style="text-align: center;">13</p> <p>1 and historically significant per the 1999 and 2 2002 surveys that we have. And it is also 3 referenced in the Mary Sterling's Hinsdale's 4 Historic Homes and the people who lived in them 5 as well. 6 So -- And it does have a Hinsdale 7 Historical Society plaque. So we have -- the 8 homeowner did provide us with some of the 9 history that the Historical Society has 10 previously done. 11 MR. GONZALEZ: Is this the house that 12 was here a while ago that they needed more room 13 or something? 14 MS. SALMON: No, but it looks very 15 similar to that house. 16 MR. GONZALEZ: Oh, okay. 17 MS. SALMON: This house is right across 18 the street from Union Church. 19 MR. GONZALEZ: Oh, okay. Okay. 20 MS. SALMON: Yeah, but they're very 21 similar. And, you know, sometimes with a house 22 this old, we don't know who the architects or</p>

<p style="text-align: center;">14</p> <p>1 the history were, but they were built around the</p> <p>2 same time.</p> <p>3 MR. GONZALEZ: Okay.</p> <p>4 MS. SALMON: So it's always possible.</p> <p>5 MS. WEINBERGER: Definitely 3.</p> <p>6 MR. HAARLOW: Yeah.</p> <p>7 MS. SALMON: Okay.</p> <p>8 MS. WEINBERGER: It does look like</p> <p>9 originally an heiress (phonetic) lived in the</p> <p>10 home. So I don't know if that counts for</p> <p>11 number 2.</p> <p>12 MS. SALMON: We can add number 2.</p> <p>13 MR. OLSEN: That's fine.</p> <p>14 MS. SALMON: Okay. Great.</p> <p>15 Well, that was the last on our</p> <p>16 list. So if there's no other public comments or</p> <p>17 comments from anyone, if you look at the public</p> <p>18 hearing script, and everyone is okay with all of</p> <p>19 these moving forward, if someone can make a</p> <p>20 motion to recommend to the Village Board</p> <p>21 approval of the these five properties.</p> <p>22 (Brief pause.)</p>	<p style="text-align: center;">16</p> <p>1 MS. SALMON: So without these included,</p> <p>2 we are at 89. And I did it tally up and we've</p> <p>3 also approved 17 preservation incentives. And</p> <p>4 this program is less than two years old, and I</p> <p>5 don't know even the timeline of when our first</p> <p>6 preservation incentive was, but it was under the</p> <p>7 two years for sure. So I think our first list</p> <p>8 was approved in March of last year or two years</p> <p>9 ago.</p> <p>10 CHAIRMAN BOHNEN: So as a side, I just</p> <p>11 got another request today from my friends out in</p> <p>12 Massachusetts -- Wellesley -- they -- they want</p> <p>13 to have a better caucus with all of us as</p> <p>14 they're developing their incentive program.</p> <p>15 I've got friends out there.</p> <p>16 MS. SALMON: I would be happy to -- I</p> <p>17 would be happy to speak with them if you want --</p> <p>18 CHAIRMAN BOHNEN: Great. I'd love you</p> <p>19 to.</p> <p>20 MS. SALMON: -- me to contact them.</p> <p>21 CHAIRMAN BOHNEN: Yeah, that would be</p> <p>22 great, because --</p>
<p style="text-align: center;">15</p> <p>1 MR. OLSEN: I will move to recommend to</p> <p>2 the Village Board approval of the following</p> <p>3 properties for inclusion on the Historical</p> <p>4 Significant Structures Property under Case</p> <p>5 HPC-19-2024 -- 213 South Clay Street, 711 South</p> <p>6 Elm Street, 211 North Lincoln Street, 8 East</p> <p>7 Third Street, and 122 East Third.</p> <p>8 MS. WEINBERGER: Second.</p> <p>9 MS. SALMON: Commissioner Barclay.</p> <p>10 MS. BARCLAY: Aye.</p> <p>11 MS. SALMON: Commissioner Weinberger.</p> <p>12 MS. WEINBERGER: Aye.</p> <p>13 MS. SALMON: Commissioner Gonzalez.</p> <p>14 MR. GONZALEZ: Aye.</p> <p>15 MS. SALMON: Commissioner Haarlow.</p> <p>16 MR. HAARLOW: Aye.</p> <p>17 MS. SALMON: Commissioner Olsen.</p> <p>18 MR. OLSEN: Aye.</p> <p>19 MS. SALMON: Chairman Bohnen.</p> <p>20 CHAIRMAN BOHNEN: Aye.</p> <p>21 MR. HAARLOW: Bethany, what number did</p> <p>22 you say we're up to?</p>	<p style="text-align: center;">17</p> <p>1 MS. SALMON: I've spoken with people</p> <p>2 from Philadelphia, from New Jersey, from Texas.</p> <p>3 So a lot of people, I think, nationally have</p> <p>4 also recognized our program in addition to the</p> <p>5 Chicagoland area. It's been super successful.</p> <p>6 We even went over to Normandy Construction today</p> <p>7 and gave them an overview so that when they're</p> <p>8 working with clients early on in the process,</p> <p>9 they can tell people, Hey, this is a great</p> <p>10 program as well. It's -- It's been really</p> <p>11 successful and I don't think any of us realized</p> <p>12 how successful it can be.</p> <p>13 CHAIRMAN BOHNEN: That's great.</p> <p>14 MS. BARCLAY: That's awesome.</p> <p>15 CHAIRMAN BOHNEN: You're -- You're</p> <p>16 instrumental in -- in this program going</p> <p>17 forward. I want to applaud you.</p> <p>18 MS. SALMON: Yeah.</p> <p>19 And the more people out there that</p> <p>20 know about it and other communities, I'm always</p> <p>21 happy to speak with them because --</p> <p>22 CHAIRMAN BOHNEN: I'm going to direct</p>

<p style="text-align: center;">18</p> <p>1 this crowd --</p> <p>2 MS. SALMON: -- we could save places</p> <p>3 elsewhere.</p> <p>4 CHAIRMAN BOHNEN: I'll direct this</p> <p>5 Wellesley crowd to you.</p> <p>6 MS. SALMON: Please.</p> <p>7 CHAIRMAN BOHNEN: They've been --</p> <p>8 They've been after me and I said, you're the one</p> <p>9 really they should be talking to.</p> <p>10 MS. SALMON: I would be happy to speak</p> <p>11 with them.</p> <p>12 CHAIRMAN BOHNEN: That's great.</p> <p>13 MS. SALMON: Yeah.</p> <p>14 CHAIRMAN BOHNEN: Congratulations, very</p> <p>15 nice.</p> <p>16 Okay. I guess we can have a motion</p> <p>17 to close the public hearing.</p> <p>18 MS. WEINBERGER: I move to close the</p> <p>19 public hearing.</p> <p>20 MS. BARCLAY: Second.</p> <p>21 MS. SALMON: Commissioner Barclay.</p> <p>22 MS. BARCLAY: Aye.</p>	<p style="text-align: center;">20</p> <p>STATE OF ILLINOIS)</p> <p style="text-align: center;">) SS.</p> <p>COUNTY OF DU PAGE)</p> <p>Kim A. Kocimski, being first duly sworn, on oath says that she is a Certified Shorthand Reporter doing business in the City of Chicago, County of Cook and the State of Illinois;</p> <p>That she reported in shorthand the proceedings had at the foregoing hearing;</p> <p>And that the foregoing is a true and correct transcript of her shorthand notes so taken as aforesaid and contains all the proceedings had at the said hearing.</p> <p>IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my electronic signature this 10th day of January 2025</p> <p style="text-align: right;">/s/ Kim A. Kocimski KIM A. KOCIMSKI, CSR</p> <p>CSR No. 084-004610</p>
<p style="text-align: center;">19</p> <p>1 MS. SALMON: Commissioner Weinberger.</p> <p>2 MS. WEINBERGER: Aye.</p> <p>3 MS. SALMON: Commissioner Gonzalez.</p> <p>4 MR. GONZALEZ: Aye.</p> <p>5 MS. SALMON: Commissioner Haarlow.</p> <p>6 MR. HAARLOW: Aye.</p> <p>7 MS. SALMON: Commissioner Olsen.</p> <p>8 MR. OLSEN: Aye.</p> <p>9 MS. SALMON: Chairman Bohnen.</p> <p>10 CHAIRMAN BOHNEN: Aye.</p> <p>11 (Which were all the</p> <p>12 proceedings had in the</p> <p>13 above-entitled cause.)</p> <p>14</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p>	

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**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: July 3, 2025

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner
Yuchen Ding, AICP, LEED AP ND, Senior Associate from Teska Associates, Inc.

RE: Case A-37-2025 – Sign Permit Review – 50 S. Washington Ave, Suite 101 – Yves Delorme, Inc.
– Installation of One (1) Permanent Window Sign

FOR: August 6, 2025 Historic Preservation Commission Meeting

SUMMARY

The Village of Hinsdale has received a sign permit application from Yves Delorme, Inc., requesting approval to install one (1) new permanent window sign on the storefront window of its tenant space at 50 S. Washington Avenue. The multi-tenant building is located in the B-2 Central Business District and the Downtown Historic District.

REQUEST AND ANALYSIS

The applicant seeks approval to install one (1) new permanent window sign on the storefront window facing Washington Street. The proposed sign will be white adhesive vinyl, measuring 29 inches by 16 inches, with a total sign face area of 3.1 square feet. It should be noted that the graphics shown on the entry door glass in the application will not be installed.

Per Section 9-106(J), in the B-2 District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one (1) square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot.

The maximum permitted sign area for the applicant's tenant space is 25 square feet. The proposed sign area of 3.1 square feet complies with all applicable sign code regulations.

PROCESS

Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the Historic Preservation Commission shall be advisory only.



MEMORANDUM

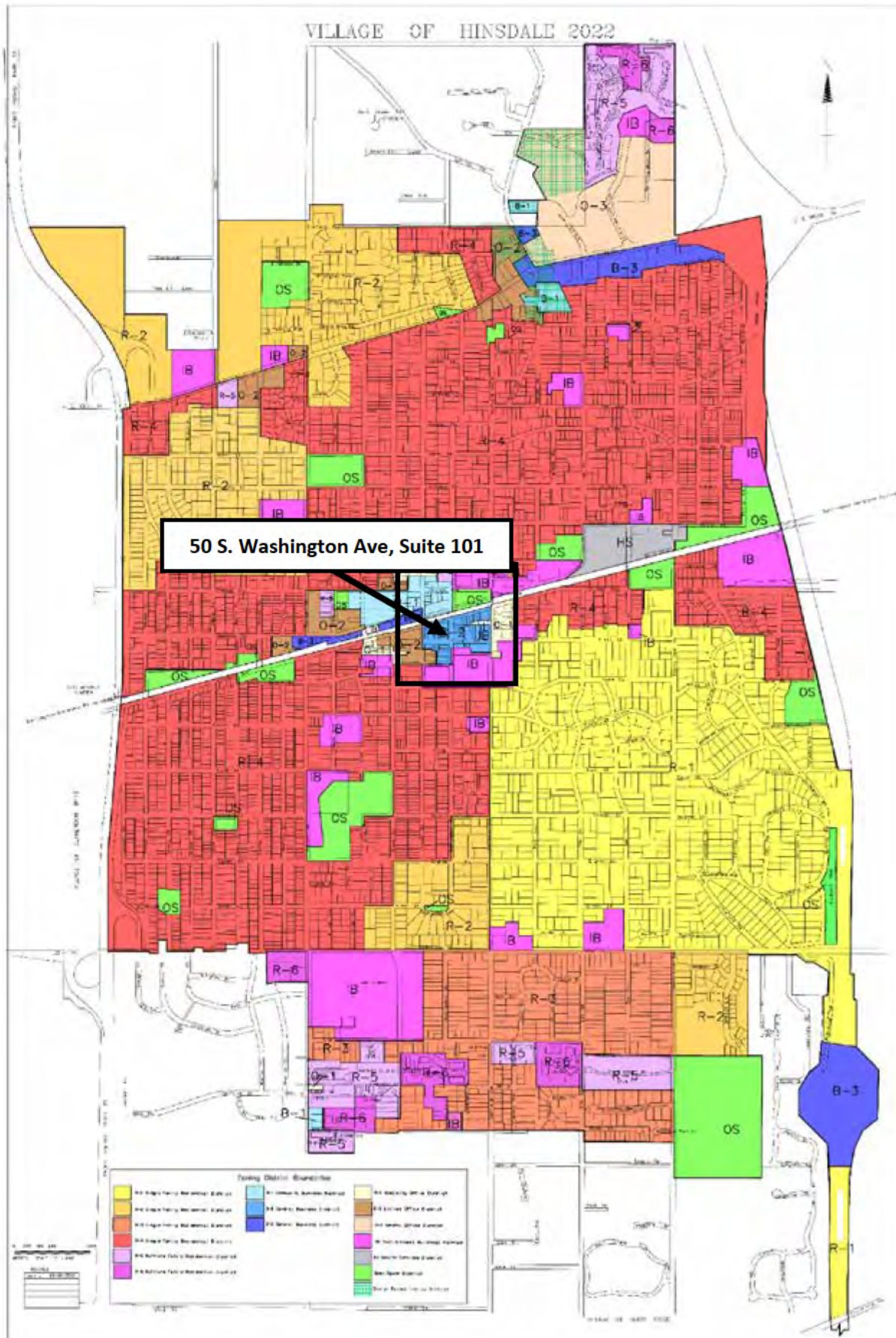
The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

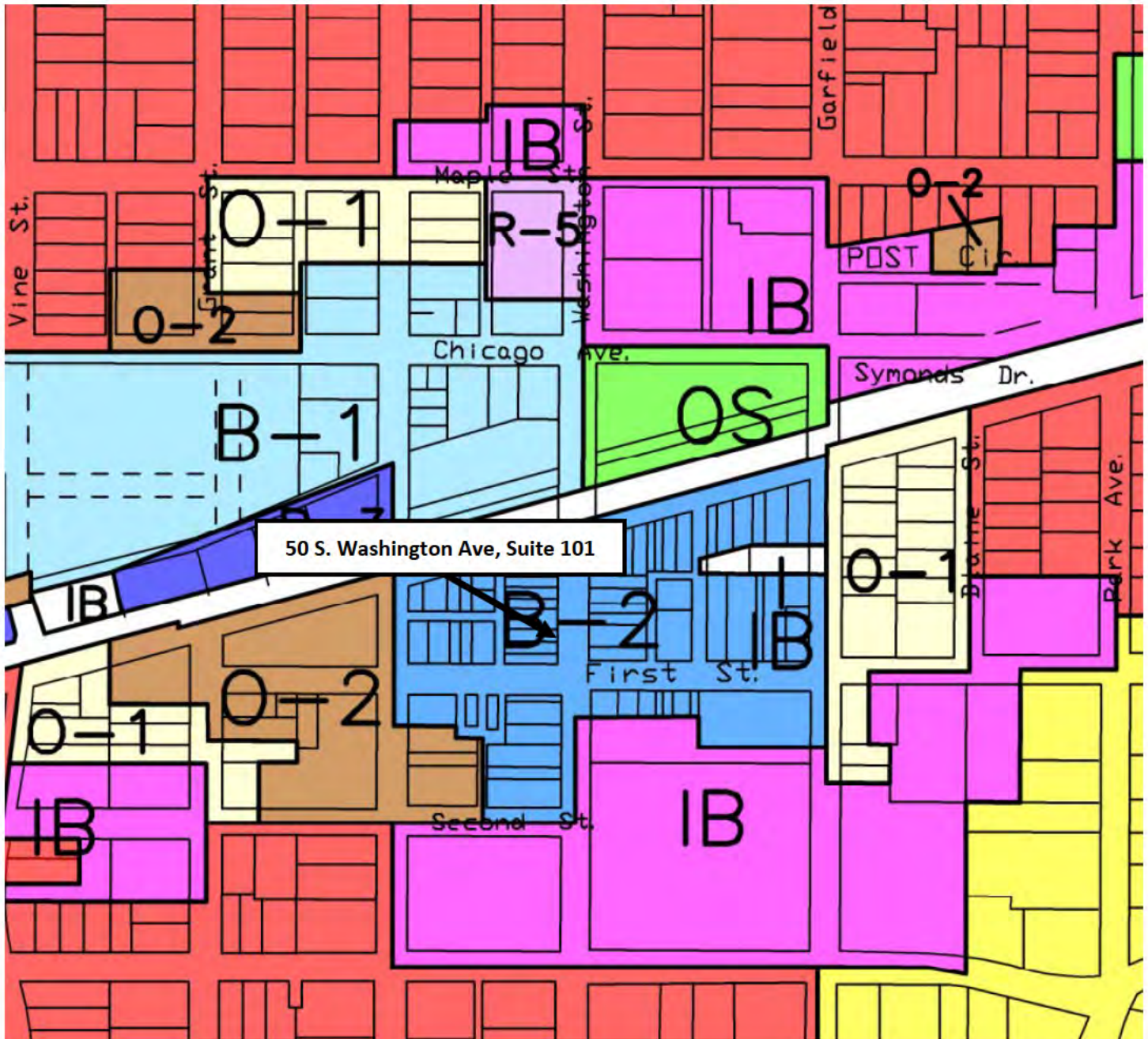
ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Sign Application and Exhibits

Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Aerial View – 50 S. Washington Ave, Suite 101



Birds Eye View – 50 S. Washington Ave, Suite 101



50 S. Washington Ave, Suite 101

Sat Apr 12 2025

Imagery © 2025 Nearmap, Inc.

Nearmap

Street View – 50 S. Washington Ave, Suite 101





VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT

Applicant

Name: Yves Delorme, Inc
Address: 50 S. Washington Ave, suite 101
City/Zip: Hinsdale
Phone/Fax: [REDACTED]
E-Mail: [REDACTED]
Contact Name: Oliver newman

Contractor

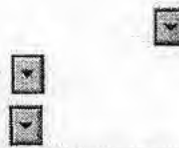
Name: Yves Delorme
Address: _____
City/Zip: _____
Phone/Fax: () _____ / _____
E-Mail: _____
Contact Name: _____

ADDRESS OF SIGN LOCATION: as above

ZONING DISTRICT: B-2 Central Business District

SIGN TYPE: Window Sign

ILLUMINATION None



Sign Information:

Overall Size (Square Feet): 3.1 (29" x 16")

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

- ① White
- ② _____
- ③ _____

Site Information:

Lot/Street Frontage: 140"

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: none

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

[Signature]
Signature of Applicant

06/30/2025

Date

[Signature]
Signature of Building Owner

6/30/25
Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: 0 x \$4.00 = 0 (Minimum \$75.00)

Plan Commission Approval Date: _____ Administrative Approval Date: _____



Yves
Delorme
PARIS

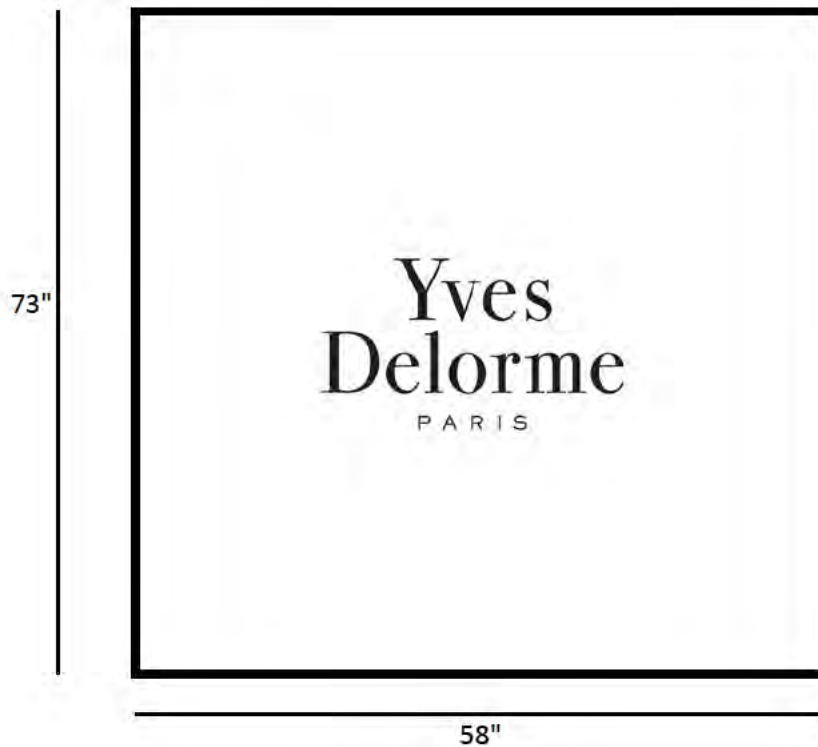


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Yves Delorme - 50 S. Washington Avenue, Suite 101, Hinsdale

Front Window



Logo size





**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: August 1, 2025

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-14-2025 – 304 E. Chicago Avenue – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

FOR: August 6, 2025 Historic Preservation Commission Meeting

SUMMARY

The Village of Hinsdale has received a Certificate of Appropriateness (COA) application from James and Laura Roush requesting approval to demolish an existing single-family home and to construct a new single-family home located at 304 E. Chicago Avenue in the Robbins Park Historic District. The owner of record listed on the application is James and Laura Roush and the project architect is listed as Moment Design.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission or the Village Board, where applicable, per the procedures and criteria specified in the Code, on an application for a Certificate of Appropriateness. The final decision of the Commission or Village Board shall be advisory only.

BACKGROUND

The existing 2.5-story single-family home was constructed circa 1895. The building features Queen Anne – Free Classic architecture and includes horizontal wood siding, a full height west facing bay window with cut away corners, and window moldings. Alterations to the house include replacement clapboard siding, replacement of the classical front door surround, enlargement of the window opening in the front dormer, replacement of the front entry porch, construction of a one-story east side porch addition in 1951, and construction of a two-story rear addition and enclosed rear porches in 1987.

The building is classified as a Contributing Structure in the Robbins Park Historic District according to the 2008 National Register of Historic Places Nomination, a Contributing Structure according to the 2002 Architectural Resources in the Robbins I Survey Area, and a Contributing Structure according to the 1999 Reconnaissance Survey.

The subject property is located in the R-4 Single Family Residential District and is surrounded by single-family homes to the north, south, east and west in the R-4 Single Family Residential District.

PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW

On September 9, 2024, a Preliminary Certificate of Appropriateness application was reviewed by the Ad Hoc Design Review Team. A summary of the discussion at the meeting is attached to this report.



MEMORANDUM

Based on the feedback received at the Design Review meeting, the following changes have been made to the exterior of the home to create a more traditional appearance:

- Altered with style of windows to double-hung windows and eliminated transom windows within the porch on the first floor
- Added traditional gas lanterns on the front porch on the west elevation facing Elm Street
- Removed the north and south parapet walls
- Increased the number of gabled dormers on the west elevation facing Elm Street from two to four
- Revised bluestone elements to limestone elements

PROJECT DESCRIPTION

The applicant requests approval to demolish the existing single-family home and construct a new code-compliant single-family house on an 18,157 square foot corner lot on Elm Street and Chicago Avenue. A cover letter, photos of the subject property and neighboring properties, site plan, interior floor plans, rendering of the front elevation, building elevations, streetscape exhibit, and photos of the subject property and neighboring properties have been submitted for review.

As shown on the plans, the 2.5-story home will be primarily constructed of limewashed brick, vertical cedar siding painted in an off-white color, a dark gray asphalt shingle roof, limestone surrounds, a front entrance porch facing Elm Street, and dark gray aluminum clad windows.

The site plan includes a circular driveway off of Chicago Avenue with a two-car attached garage facing the east interior lot line and a one-car attached garage facing Chicago Avenue. A retaining wall will be constructed at the northwest corner of the house. The interior of the site includes a covered porch and terrace. The proposed plan meets all bulk zoning requirements.

REVIEW PROCESS

Pursuant to Title 14, Section 14-5-1(B), no permits shall be issued for the demolition, relocation, or removal of an existing residence, or the construction of a new residence, located within the Robbins Park Historic District without a final decision by the Commission or Village Board, as applicable, on a Certificate of Appropriateness in accordance with the procedures and criteria specified in the Village Code. The final decision of the Commission or Village Board shall be advisory only. Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2.

A Preliminary Certificate of Appropriateness Review is required for applications related to the demolition, removal, relocation, or new construction in the Robbins Park Historic District in accordance with Section 14-5-3.

After the filing of a properly completed formal application for demolition, removal, relocation, or new construction in the Robbins Park Historic District, public notice shall be completed in accordance with Section 14-1-4 and the Commission shall review the application at a public hearing. The applicant, property owner and design professional must be in attendance at the public meeting to ensure both receive and understand any comments provided by the Commission. The hearing shall be commenced, conducted and concluded and a decision shall be made by the Commission as soon as practicable, but in no event later than sixty (60) days after the public hearing



MEMORANDUM

on the application has commenced, unless such time is extended by agreement of the applicant or the applicant, property owner and/or design professional failed to appear. Unless such time is extended, the failure by the Commission to conclude the hearing and render a decision within sixty (60) days shall be deemed approval by the Commission.

The following applies to decisions of the Commission on applications for demolition, removal, relocation, or new construction in the Robbins Park Historic District:

- **Approval:** If the application is approved without conditions, the Commission shall issue the COA permitting the Building Commissioner to proceed with other required reviews and approvals.
- **Approval With Conditions:** If the application is approved with conditions, the Commission shall notify the applicant in writing and shall specify the conditions to be imposed and the reasons for doing so with regard to the Standards in Section 14-5-2. If the applicant notifies the Commission in writing that the conditions are acceptable, the Commission shall issue the COA, subject to the conditions. If the applicant does not notify the Commission within ten (10) days of the decision having been made, the approval with conditions will be considered to be a denial, subject to further consideration by the Village Board.
- **Denial:** If the Commission issues a denial of a COA, such denial shall be forwarded to the Village Board for further consideration.
- **Review by the Village Board:** No later than sixty (60) days following a vote by the Commission approving a COA with conditions the applicant does not accept, or denying a COA, the Village Board shall review the decision of the Commission and either deny the COA or approve the COA, with or without conditions. The applicant, property owner, and design professional must be in attendance at the meeting. Unless such time is extended by agreement of the applicant, or the applicant, property owner, and/or design professional failed to appear at a meeting, the failure by the Village Board to act within sixty (60) days, shall be deemed approval by the Board. Following the decision of the Village Board, the Village shall issue the COA, allowing the Community Development Department to proceed with other required reviews and permit approvals. The final decision of the Village Board is advisory and shall not prohibit an applicant from proceeding with the proposed course of action upon receiving all other required approvals and permits.

A COA shall be invalid if the plans are substantially changed after a final decision is made, if any conditions are not satisfied, if any building permit issued for the approved work becomes invalid, or actions authorized are not completed within three (3) years following the decision.

MOTIONS

1. I move to approve Case HPC-14-2025 – 304 E. Chicago Avenue – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District
2. I move to approve HPC-14-2025 – 304 E. Chicago Avenue – Application for a Certificate of Appropriateness to Construct a New Single-Family Home in the Robbins Park Historic District

ATTACHMENTS

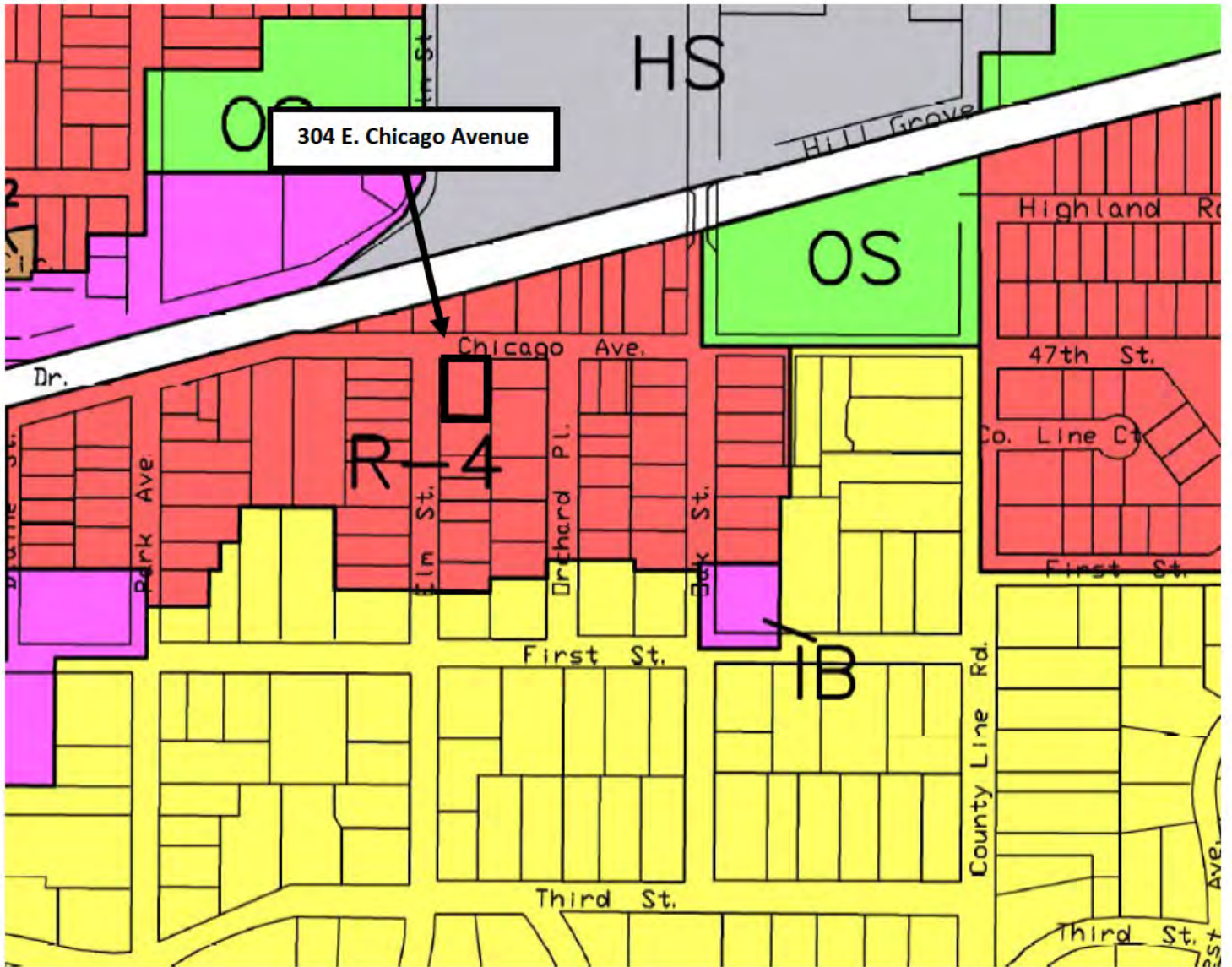
1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Robbins Park Historic District Map



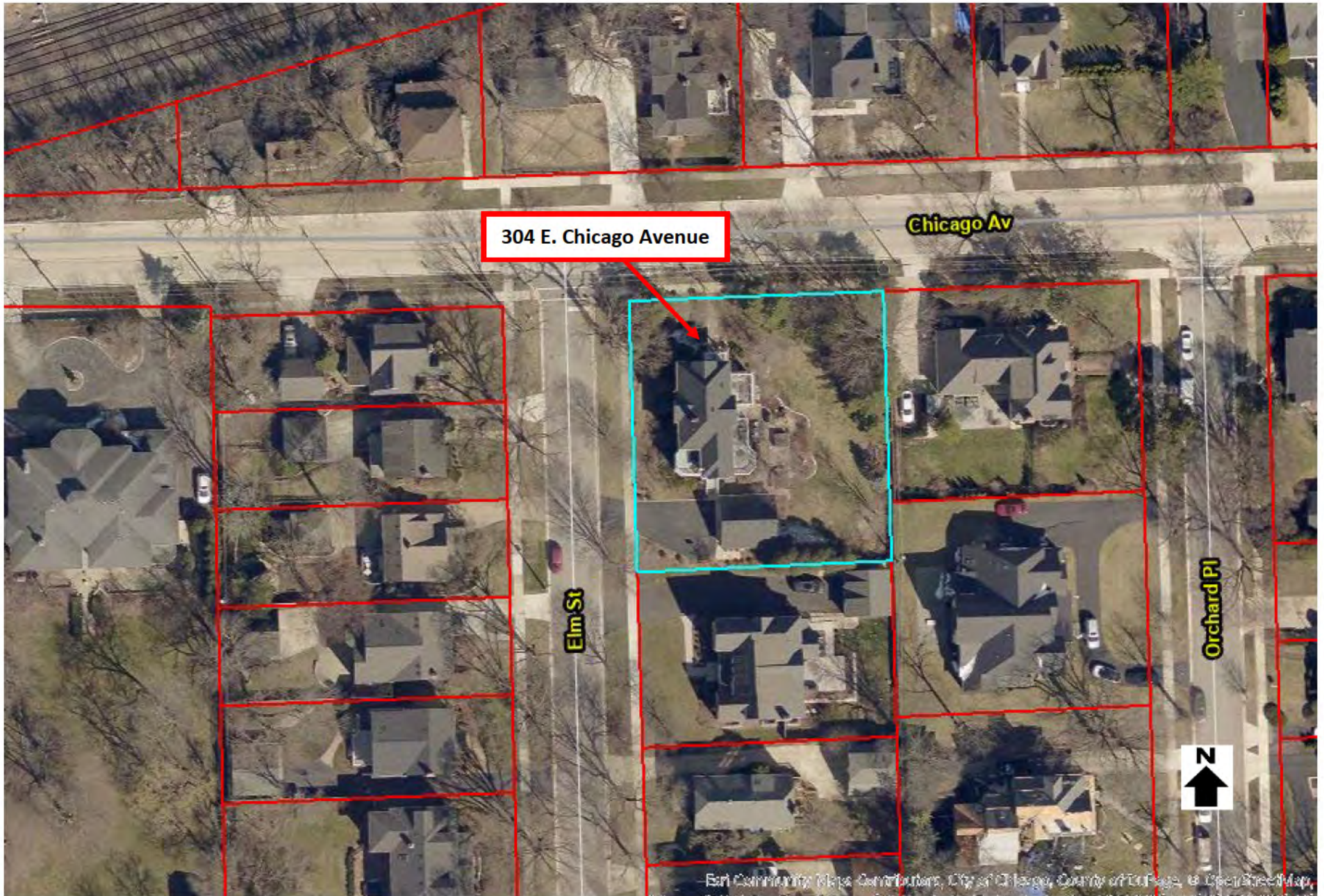
MEMORANDUM

6. National Register of Historic Places Sheet
7. Robbins Park II Architectural Resources Survey Sheet (2002)
8. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
9. Design Review Meeting Summary – September 9, 2024
10. Comparison of Renderings – Design Review Team Meeting vs. Historic Preservation Commission Meeting
11. Application for a Certificate of Appropriateness and Exhibits

Village of Hinsdale Zoning Map and Project Location



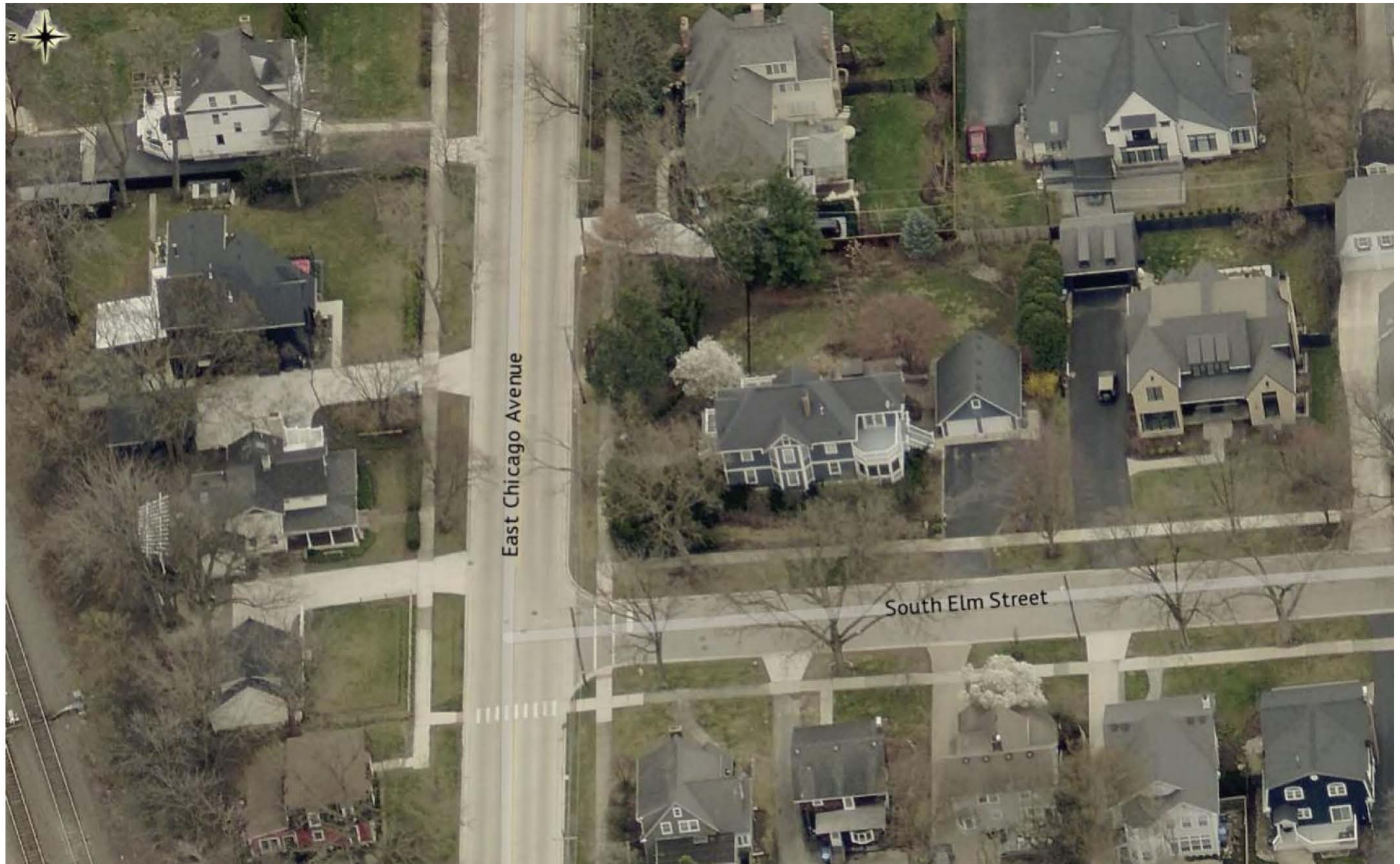
Aerial View – 304 E. Chicago Avenue



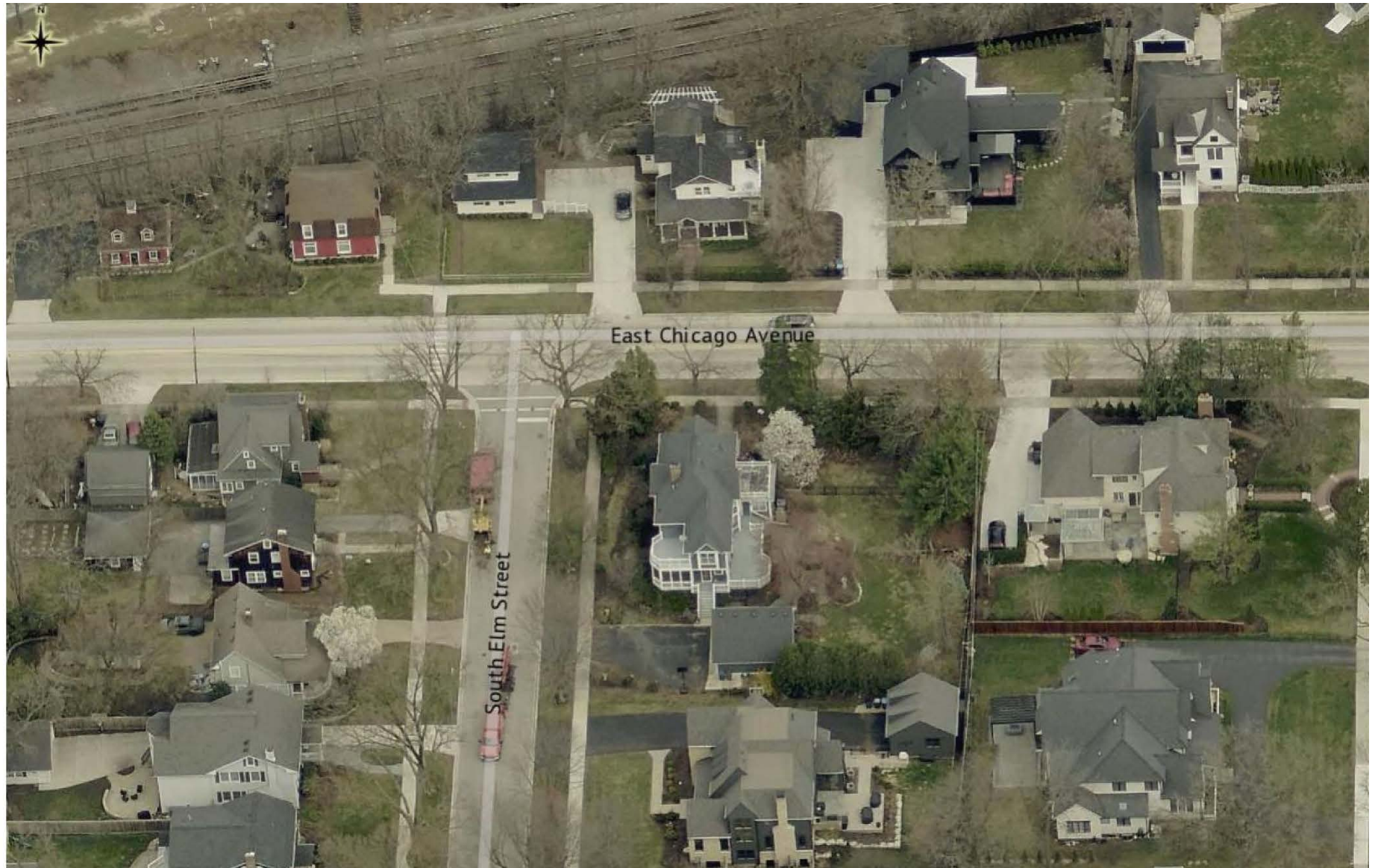
Birds Eye View – 304 E. Chicago Avenue



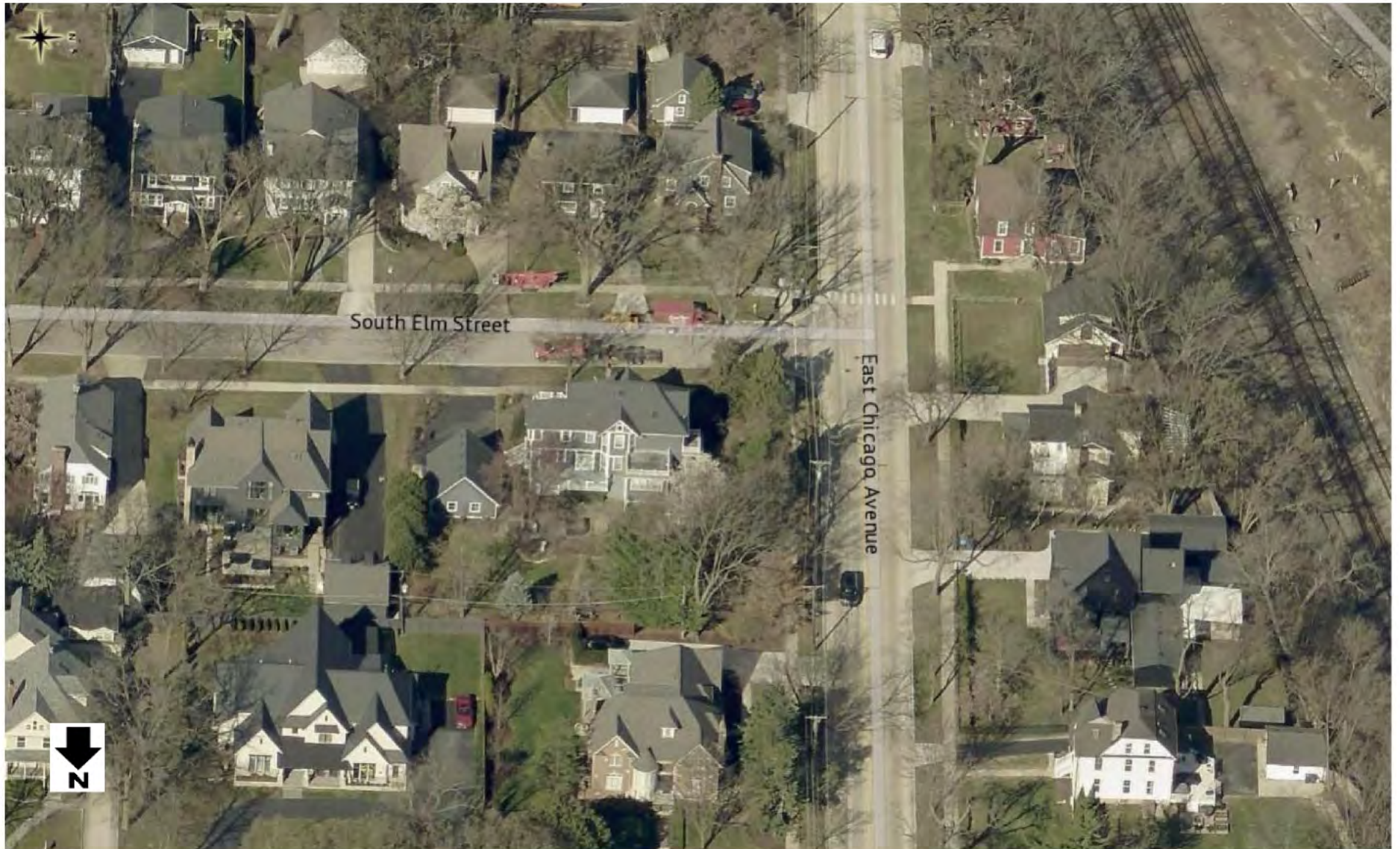
Birds Eye View – 304 E. Chicago Avenue



Birds Eye View – 304 E. Chicago Avenue



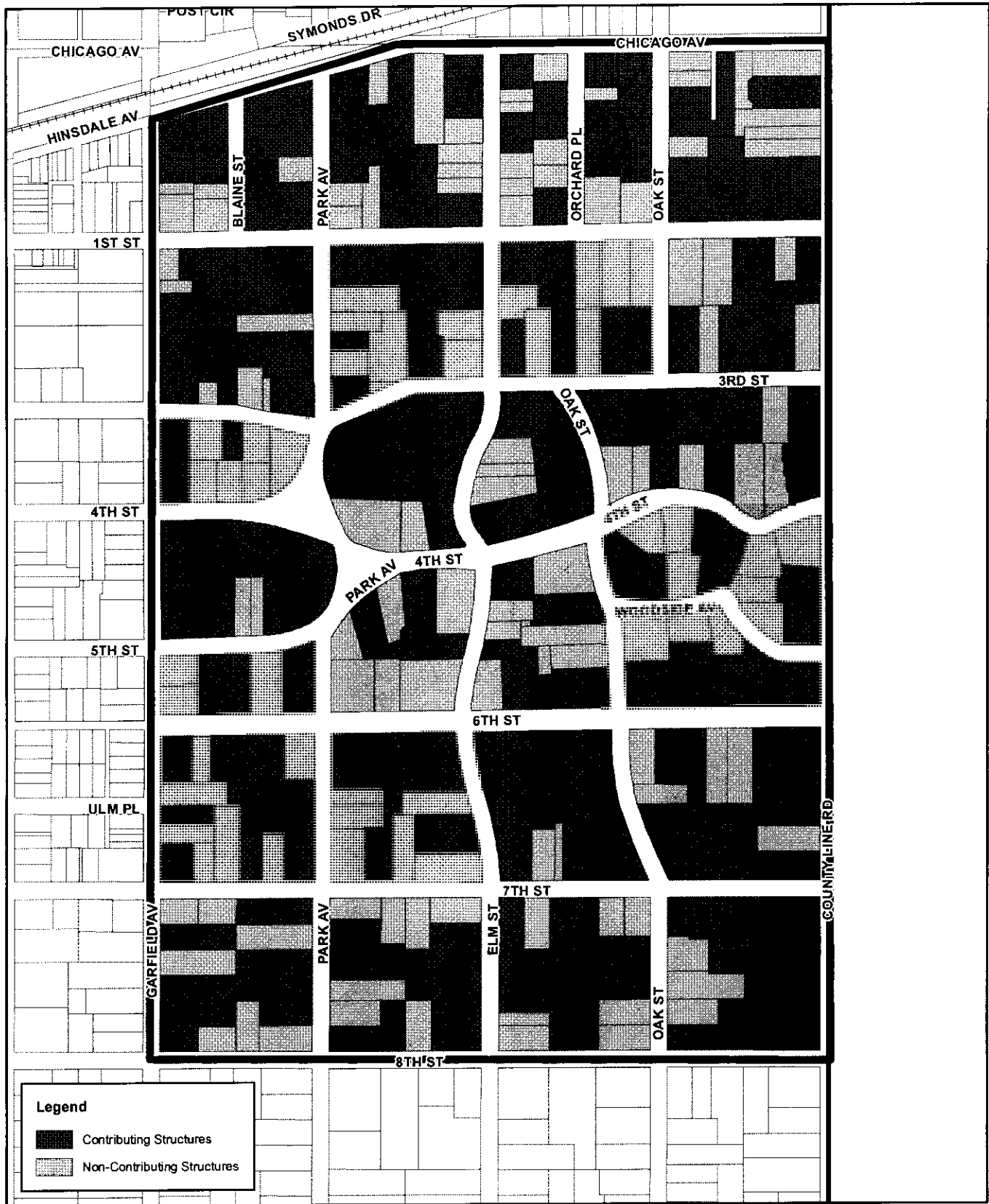
Birds Eye View – 304 E. Chicago Avenue



Street View – 304 E. Chicago Avenue



ROBBINS PARK HISTORIC DISTRICT



0 250 500 1,000 Feet



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 7

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCH. CLASS.	DATE	HISTORIC NAME	OR NC	SECONDARY STRUCTURES COR. NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
230	E CHICAGO	Neo-Traditional	2000		NC	-			
304	E CHICAGO	Queen Anne - Free Classic	c. 1895		C	NC			detached garage
332	E CHICAGO	Gable Front	c. 1885		C	-			
418	E CHICAGO	Prairie	c. 1910		C	C			detached garage
420	E CHICAGO	Tudor Revival	1977		NC	-	Jankowsky, George	Mac Diarmad-Polumbo, Inc.	
426	E CHICAGO	Neo-Traditional	1971	Wright, Fred House	NC	-	Kramer, Peter S.	Mangan, John Jr., Inc.	
12	S COUNTY LINE	Prairie	1905	Blackman, Jr., Willis House	C	-	Spencer & Powers		
22	S COUNTY LINE	American Foursquare	c. 1910		NC	NC			detached garage
30	S COUNTY LINE	Neo-Traditional	2001-02		NC	-			
46	S COUNTY LINE	Tudor Revival	1928	Smith, Stewart B. House	C	C	Zook, R. Harold	Mellbom Bros.	detached garage
118	S COUNTY LINE	Split-Level	1958	Roudebush, Mr. & Mrs. Marshall House	C	-	Soucek, Lambert L.	Roudebush, Marshall	
306	S COUNTY LINE	Late Prairie	1923	Klock, Harold F. Residence	C	-	Van Bergen, John	Gerschefske, Gustave	
330	S COUNTY LINE	Dutch Colonial Revival	1925	Capes, Lawrence Reginald House	C	C	Pashley, Alfred F.	Soltwisch, William & Sons	detached garage
420	S COUNTY LINE	Colonial Revival	c. 1930		C	C			detached garage
436	S COUNTY LINE	Colonial Revival	1940	Dean, Howard M. House	C	NC	West, Philip Duke		detached garage
600	S COUNTY LINE	French Eclectic	1956	Anderson, O. A. House	C	C	Edlund, Lawrence L., engineer	Bellevue Builders	detached garage
620	S COUNTY LINE	Split-Level	1958	Greer, Mr. & Mrs. R. G. House	C	-	Wendell, A. W. & Son	Wendell, A. W. & Son	
628	S COUNTY LINE	Colonial Revival	1947	Else, George House	C	-	Yeretsky, Norman		
636	S COUNTY LINE	Neo-Traditional	1996		NC	NC	Estenssoro, Sergio G.	Barrett Builders, Inc.	detached garage
644	S COUNTY LINE	Colonial Revival	1928	Burnell, George House	C	C	Harlow, M. Jr.		detached garage

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #	304
DIRECTION	E
STREET	CHICAGO
ABB	AV
PIN	
LOCAL SIGNIFICANCE RATING	C
POTENTIAL IND NR? (Y or N)	N
CRITERIA	
Contributing to a NR DISTRICT?	C
Contributing secondary structure?	NC
Listed on existing SURVEY?	



GENERAL INFORMATION

CATEGORY	building	CURRENT FUNCTION	Domestic - single dwelling
CONDITION	excellent	HISTORIC FUNCTION	Domestic - single dwelling
INTEGRITY	minor alterations and addition(s)	REASON for SIGNIFICANCE	
SECONDARY STRUCTURE	detached garage		
SECONDARY STRUCTURE			

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	Queen Anne - Free Classic	PLAN	irregular
DETAILS		NO OF STORIES	2.5
DATE of construction	c. 1895	ROOF TYPE	Hipped
OTHER YEAR		ROOF MATERIAL	Asphalt - shingle
DATESOURCE	surveyor	FOUNDATION	Limestone
WALL MATERIAL (current)	Wood	PORCH	Front entry
WALL MATERIAL 2 (current)		WINDOW MATERIAL	wood
WALL MATERIAL (original)	Wood	WINDOW MATERIAL	
WALL MATERIAL 2 (original)		WINDOW TYPE	double hung
		WINDOW CONFIG	1/1
SIGNIFICANT FEATURES	Full height west side bay with cutaway corners; window moldings		
ALTERATIONS	Replacement clapboard siding; replacement classical front door surround; enlarged window opening in front dormer; replacement front entry porch; 2 story rear addition and enclosed rear porches (1987); one story east side porch addition (1951)		

HISTORIC INFORMATION

HISTORIC
NAME

COMMON
NAME

PERMIT NO 3616; 2905; 3227

COST

ARCHITECT

ARCHITECT2

BUILDER

ARCHITECT
SOURCE



HISTORIC
INFO

LANDSCAPE

Corner lot on busy residential
avenue; mature trees; front
sidewalks; rear driveway; large side
yard

PHOTO INFORMATION

ROLL1 5

FRAMES1 3-4

ROLL2 10

FRAMES2 28

ROLL3

FRAMES3

DIGITAL
PHOTO ID

SURVEY INFORMATION

PREPARER Jennifer Kenny

PREPARER
ORGANIZATION Historic Certification
Consultants

SURVEYDATE 7/10/02

SURVEYAREA Robbins

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.



Community Development Department

19 E. Chicago Avenue
Hinsdale, Illinois 60521
630-789-7030
villageofhinsdale.org

**PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW
AD HOC DESIGN REVIEW TEAM MEETING SUMMARY**

APPLICATION: HPC-17-2024 – Preliminary Certificate of Appropriateness Review – Demolition and New Construction in the Robbins Park Historic District

ADDRESS: 304 E. Chicago Avenue

MEETING DATE: September 9, 2024

MEMBERS: Alexis Braden, Trustee
Jim Prisby, Historic Preservation Commissioner
Shannon Weinberger, Historic Preservation Commissioner (via Zoom)
Richard Olsen, Architect

ATTENDEES: Laura Roush, Property Owner (via Zoom)
Jim Roush, Property Owner (via Zoom)
Patrick Fortelka, Architect, Moment Design
Raynette Bradford, Architect, Moment Design

MEETING SUMMARY

Alexis Braden provided an overview of the purpose of the Design Review Team meeting and the process. This group meets prior to a Historic Preservation Commission hearing in an informal setting with the homeowner and architect.

Alexis Braden, Jim Prisby, and Shannon Weinberger discussed the property. Ms. Weinberger stated that the property is considered contributing to the district, but is not classified as historically significant. Mr. Prisby and Ms. Braden agreed it is not historically significant. They agreed that the property does not require the completion of a Historic and Architectural Impact Study.

Patrick Fortelka, project architect, provided details on the site plan and design. Mr. Fortelka stated the home was designed in an L-shape to address sound control from the nearby train and to also optimize the yard space on the corner lot. The design incorporates a swimming pool in the backyard, hidden from street corner view. The property has significant grade changes, which will be managed by lowering the grading and moving the home into the terraced planter section. The house will feature limewashed brick, painted cedar siding, American bluestone, and dark-clad windows. The roof will be architectural asphalt shingles. The front of the home will primarily be constructed of brick with vertical wood siding accent areas.

Mr. Prisby stated he liked the floor plan and layout of the site, but suggested a pitched roof for the front entry to better blend with the existing streetscape. Mr. Prisby asked if they explored other window color options instead of black. There was a discussion over other window color options and Mr. Prisby noted he liked white windows.

There was a discussion over changing the address of the house from Chicago to Elm Street.



Community Development Department

19 E. Chicago Avenue
Hinsdale, Illinois 60521
630-789-7030
villageofhinsdale.org

Richard Olsen stated he liked the layout, asked if the house met floor area ratio (FAR), and if the second floor and roofline design was due to FAR calculations. Mr. Fortelka noted that they are very close to the allowable FAR.

Ms. Weinberger expressed concern over the modern design of the home, the large windows, and the large non-traditional entry on Elm Street, which does not fit with the historic district's character or the streetscape.

Design Review Team members suggested that the homeowners and architect look at changes to the design, size, and color of the windows, look at installing double-hung windows, re-design the front entrance canopy on Elm Street to possibly include a pitched roof, add gas lanterns, address the parapet walls at the gables and possibly switch to an eave, and evaluate the fireplace location so that the house has a more traditional appearance and fits better with other houses on the street.

Overall, there was agreement that the current home lacked historical significance, but members expressed concern over the proposed new home's modern design, stating it would not fit into the established streetscape. The preference is for a design that respects the neighborhood's historical context and architectural norms while offering a unique and marketable presence.

There was a discussion over the COA process. The applicant will proceed through the permit review process and formal COA application process, and can explore design changes to the house that may fit better into the character of the historic district. Any changes to the design would be presented to the HPC to review with the formal COA application.

REVIEW PROCESS

In accordance with Section 14-5-3 of the Village Code, the review of a Preliminary Certificate of Appropriateness Application by the Ad Hoc Historic District Design Review Team is required for the demolition, removal or relocation of an existing residence within the Robbins Park Historic District, or the construction of a new residence within the Robbins Park Historic District.

The Design Review Meeting is intended to be informal, in order to facilitate productive discussion between an applicant and the Ad Hoc Historic District Design Review Team members. The applicant, property owner and design professional must be in attendance at the Design Review Meeting to ensure both receive and understand any comments provided by the Team. Any views expressed in the course of the Team's review of any preliminary application shall be deemed to be advisory and only the individual preliminary views of the Team member expressing them. At the meeting, the Design Review Team may determine that the affected residence has sufficient architectural or historic merit to warrant conducting a full Historic and Architectural Impact Study. Such Study shall be prepared by the applicant, at the applicant's sole cost and expense, and be provided to the Village as part of a formal application with the information set forth in Section 14-5-4.B of the Village Code. Nothing said or done in the course of such review shall be deemed to create, or to prejudice, any rights of the applicant or to obligate the Historic Preservation Commission or Village Board, or any member of it, to approve or deny any formal application following full consideration thereof as required by this Title.

At the conclusion of the Design Review Meeting, the Ad Hoc Historic District Design Review Team shall summarize its recommendations and comments on the proposed design and any other matters before it. Such



Community Development Department

19 E. Chicago Avenue
Hinsdale, Illinois 60521
630-789-7030
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recommendations and comments shall be reduced to writing and may include any proposed changes it would like an applicant to make to the conceptual design prior to submission of a formal certificate of appropriateness application. The recommendations and comments shall be provided to the applicant, along with a copy to village staff and a copy to the Historic Preservation Commission, within fifteen (15) days following the conclusion of the Design Review Meeting.

Preliminary COA – Design Review Team Meeting – September 9, 2024



COA – Historic Preservation Commission Meeting – August 6, 2025



**CERTIFICATE OF APPROPRIATENESS
APPLICATION FORM**



PROJECT INFORMATION	
Property Address 304 E Chicago Ave, Hinsdale, Illinois 60521	
PIN(s) 09-12-204-001	
Zoning District R-4	Land Use single family residential
APPLICATION TYPE (CHECK ALL THAT APPLY):	PROPERTY INFORMATION (CHECK ALL THAT APPLY):
<input type="checkbox"/> Preliminary Certificate of Appropriateness – Design Review <input checked="" type="checkbox"/> Certificate of Appropriateness – Demolition and New Construction in the Robbins Park Historic District <input type="checkbox"/> Certificate of Appropriateness – Designated Landmark	<input type="checkbox"/> Listed as a Local Designated Landmark <input checked="" type="checkbox"/> Located in a Designated Historic District <input type="checkbox"/> Listed on the National Register of Historic Places
APPLICANT	
Name James + Laura Roush	Company
Address [REDACTED]	City / State / Zip [REDACTED]
Phone [REDACTED]	Email [REDACTED]
PROPERTY OWNER (IF DIFFERENT FROM APPLICANT)	
Name	Company
Address	City / State / Zip
Phone	Email
ARCHITECT	
Name Moment Design	Company Moment Design
Address [REDACTED]	City / State / Zip [REDACTED]
Phone [REDACTED]	Email [REDACTED]
ATTORNEY	
Name	Company
Address	City / State / Zip
Phone	Email
ENGINEER	
Name Engineering Resource Associates, Inc.	Company Engineering Resource Associates, Inc.
Address [REDACTED]	City / State / Zip [REDACTED]
Phone [REDACTED]	Email [REDACTED]

BRIEF DESCRIPTION OF PROJECT

New 2 ½ story residence with attached garage.

PROJECT TYPE (CHECK ALL THAT APPLY):

- ☐ Exterior Alterations
☐ Building Addition
☒ New Construction
☒ Demolition
☐ Relocation / Removal

PROJECT DETAILS

Property Size (Square Feet) 18,078

Existing Building Size (Square Feet) 2,819.48

Proposed Building Size (Square Feet) 5,549.7

PROPERTY OWNER & APPLICANT SIGNATURES

The Applicant (and Owner, if different) certifies, acknowledges and agrees that:

1. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The Owner of the property, if different from the Applicant, states that they consent to the filing of this application and that all information contained in this application is true and correct to the best of their knowledge.
2. The Applicant understands that an incomplete application will not be considered. In addition, the Applicant understands that the Village may require additional information prior to the consideration of this application.
3. The Applicant shall make the subject property available for inspection by the Village at reasonable times. The Village and its representatives have the right, and are hereby granted permission, to enter upon the property for purposes of conducting any inspections that may be necessary in connection with this application.
4. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant(s) shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten (10) days following the change, and that failure to do so may be grounds for denial of the application.
5. The Applicant understands that they are responsible for all application fees and any other fees required by the Village Code Zoning Code, unless otherwise waived as part of this application process. The Owner of the property and, if different, the Applicant are jointly and severally liable for the payment of application fees. The Owner has agreed to pay said fees, unless otherwise waived, and to consent to the filing and foreclosure of a lien against the property for the fee plus costs of collection, if the account is not settled within thirty (30) days after the mailing of a request for payment.
6. The Applicant acknowledges that the information submitted in connect with this application becomes public record and that it may be subject to disclosure under the Freedom of Information Act.
7. The Applicant agrees that all work shall be completed in accordance with the plans, specifications and conditions which accompany this application, and acknowledges compliance with all Zoning Code and Village Code requirements.

James Thomas Roush Laura Ann Roush

Printed Name of Applicant

James Thomas Roush
Laura Ann Roush

Signature of Applicant

06/25/2025

Date

James Thomas Roush Laura Ann Roush

Printed Name of the Property Owner

James Thomas Roush
Laura Ann Roush

Signature of the Property Owner

06/25/2025

Date

TABLE OF COMPLIANCE

Address of property: 304 E. CHICAGO AVE.

The following table is based on the R-4 Zoning District.

Write "N/A" if the application does not affect the building/ property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (Square Feet)	10,000 S.F.	18,078 S.F.	18,078 S.F.
Lot Depth	125'	138.87'	138.87'
Lot Width	80'	130.50'	130.55'
Building Height	30.65'	N/A	28.83'
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	27.35'	34.22'	28.25'
Corner Side Yard Setback	27.88'	19.2'	28'
Interior Side Yard Setback	14.05'	71.66'	17.33'
Rear Yard Setback	25'	50.3'	30.08'
Maximum Floor Area Ratio (F.A.R.)*	5,557.7 S.F.	2,819.48 S.F.	5,549.7 S.F.
Maximum Total Building Coverage*	4,519.5 S.F.	2,035.7 S.F.	3,625.4 S.F.
Maximum Total Lot Coverage*	9,039.0 S.F.	N/A	7,365 S.F.
Parking Requirements	N/A	N/A	N/A
Parking Front Yard Setback	N/A	N/A	N/A
Parking Corner Side Yard Setback	N/A	N/A	N/A
Parking Interior Side Yard Setback	N/A	N/A	N/A
Parking Rear Yard Setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	1,807.8 S.F.	634.8 S.F.	N/A

* Both the calculated number in square feet and the percentage must be provided.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

DESCRIPTION OF ATTACHED DOCUMENT

Title or Type of Document: Jurat

Document Date: 06/25/2025

Number of Pages (including notarial certificate): 4

Commonwealth of Virginia

County of Loudoun

The foregoing instrument was subscribed and sworn

before me on 06/25/2025 by James Thomas Roush and Laura Ann Roush.

Kaheem A Smith

7788254

My commission expires: 01/31/2026

Notarized remotely online using communication technology via Proof.



Kaheem A Smith

REGISTRATION NUMBER

7788254

COMMISSION EXPIRES

January 31, 2026

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: James + Laura Roush

Owner's name (if different): _____

Property address: 304 E. Chicago Ave.

Property legal description: [attach to this form]

Present zoning classification: R-4, Single Family Residential

Square footage of property: 18,078 s.f.

Lot area per dwelling: 18,078 s.f.

Lot dimensions: 130' x 138'

Current use of property: Single Family Residential

Proposed use: ☒ Single-family detached dwelling
☐ Other: _____

Approval sought: ☒ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☐ Site Plan ☐ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:

SINGLE FAMILY RESIDENCE

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>28.25'</u>	<u>27.35'</u>
interior side(s)	<u>N/A / 17'</u>	<u>N/A / 14.0'</u>

Provided:

Required by Code:

corner side	<u>27.95'</u>	<u>27.88'</u>
rear	<u>30.58'</u>	<u>25'</u>

Setbacks (businesses and offices):

front:	<u>N/A</u>	<u>N/A</u>
interior side(s)	<u>N/A / N/A</u>	<u>N/A / N/A</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>N/A</u>	<u>N/A</u>
others:	<u>N/A</u>	<u>N/A</u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>

Building heights:

principal building(s):	<u>28.83'</u>	<u>30.65'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Maximum Elevations:

principal building(s):	<u>37.04'</u>	<u>40.65'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Dwelling unit size(s):	<u>5,549.7</u>	<u>5,557.7</u>
------------------------	----------------	----------------

Total building coverage:	<u>3,625.4</u>	<u>4,519.5</u>
--------------------------	----------------	----------------

Total lot coverage:	<u>7,365</u>	<u>9,039</u>
---------------------	--------------	--------------

Floor area ratio:	<u>5,549.7</u>	<u>5,557.7</u>
-------------------	----------------	----------------

Accessory building(s): _____

Spacing between buildings: [depict on attached plans]

principal building(s):	_____	_____	_____
accessory building(s):	_____	_____	_____

Number of off-street parking spaces required: 0

Number of loading spaces required: 0

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By: James Thomas Roush Laura Ann Roush
Applicant's signature

James Thomas Roush Laura Ann Roush
Applicant's printed name

Dated: June 25, 20 25.

DESCRIPTION OF ATTACHED DOCUMENT

Title or Type of Document: Jurat

Document Date: 06/25/2025

Number of Pages (including notarial certificate): 3

Commonwealth of Virginia

County of Loudoun

The foregoing instrument was subscribed and sworn

before me on 06/25/2025 by James Thomas Roush and Laura Ann Roush.

Kaheem A Smith
7788254

My commission expires: 01/31/2026

Notarized remotely online using communication technology via Proof.



Kaheem A Smith

REGISTRATION NUMBER

7788254

COMMISSION EXPIRES

January 31, 2026

June 18, 2025

Historic Preservation Commission
Hinsdale, IL 60521

Re: 304 E Chicago Ave, Hinsdale, Illinois

Dear Historic Preservation Commission:

We are writing to share the proposed changes to the above-referenced property. The existing three-story Queen Anne-style house constructed in 1895, while charming, suffers from poor site orientation with its front door directly facing the busy Chicago Avenue. The house rests on stone foundations, which have shown signs of wear and tear due to their age.

With respect for its architectural significance and our appreciation for its historical context within the Robbins Park Historical District we propose a new two and a half story European-style home. The façade of this new family home represents a melding of time periods, materials, and ideas about defining space while remaining contextually responsive to the neighborhood. Traditional architectural forms are reinterpreted to instill a contemporary spirit, the end goal being a house that is clearly of its age, but firmly rooted in the past.

Following feedback received during the Ad Hoc Design Review meeting, the design team, in collaboration with the homeowners, have incorporated several adjustments to the original proposal. Specifically, we have added traditionally styled gas lanterns, double hung windows, and removed the north and south parapet walls. Additionally, the west elevation was revised to have four gabled dormers as well as removing the bay and replacing it with spaced windows breaking up the ganged window unit. These revisions aim to further align the home's appearance with the traditional architectural elements of the neighborhood.

The proposed new construction will utilize high-quality materials. Brick and cedar siding have been selected for their durability, natural beauty, and historical relevance. The choice of brick will introduce an element of timelessness, while the cedar siding will continue the legacy of using natural wood, thereby preserving the home's warmth and charm. The proposed color scheme is curated to complement the new structure and its surroundings.

In conclusion, the proposed new home has been carefully considered to respect the historical significance and architectural integrity of the community. It is our hope that this proposal will be received as a conscientious effort to preserve the essence of the property while making thoughtful improvements for its enjoyment by future generations.

Thank you for your time and consideration.

Sincerely,
Moment Design

A handwritten signature in black ink, appearing to read 'R. Bradford', with a large, flowing loop at the end.

Raynette Bradford, AIA, NCARB
Owner + Managing Director

Prepared by:
Melinda Higgins Brom

Mail to:

Thomas Alore
Attorney at Law

Send tax bills to:

James and Laura Roush

WARRANTY DEED

THE GRANTOR, Efrain Ayala-Johnson, widowed and not since remarried, of the Village of Hinsdale, State of Illinois, for and in consideration of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable consideration in hand paid, CONVEY and WARRANT to James Roush and Laura Roush, husband and wife, not as tenants in common, but as Joint Tenants, Grantees, the following described real estate situated in Cook County, Illinois, to wit:

LOTS 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

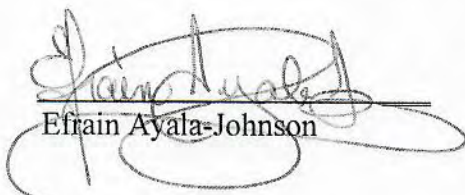
Permanent Index Number: 09-12-204-001

Property Address: 304 E. Chicago Avenue, Hinsdale, IL 60521

Hereby releasing and waiving all rights under and by virtue of the Homestead Exemption Laws of the State of Illinois.

TO HAVE AND TO HOLD SAID PREMISES FOREVER, subject to: covenants, conditions and restrictions of record; public and utility easements; acts done or suffered through buyer; and 2023 Second Installment and subsequent years general real estate taxes.

DATED this 2-16, 2024.

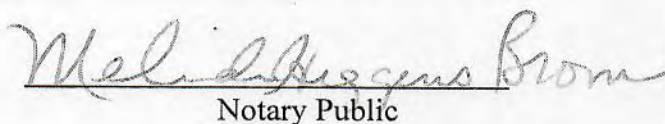

Efrain Ayala-Johnson

State of Illinois)
) SS
County of Cook)

I the undersigned, a Notary Public in and for said County, in the State of Illinois, DO HEREBY CERTIFY Efrain Ayala-Johnson, is personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered the said instrument as their free and voluntary act, for the uses and purposes therein set forth.

Given under my hand and official seal, 2-16, 2024

Commission expires


Notary Public





304 E Chicago Ave | North Elevation



304 E Chicago Ave | East Elevation



304 E Chicago Ave | South Elevation



304 E Chicago Ave | West Elevation



303 E Chicago Ave | Home across Chicago Ave



2 S Elm Street | Home across Elm street



2 Orchard Place | Home to the East



13 S Elm Street | Home to the South

PLAT OF SURVEY

LOT 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

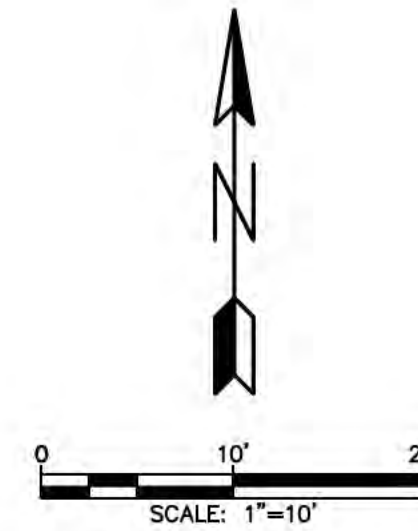
P.I.N.: 09-12-204-001

COMMONLY KNOWN AS: 304 EAST CHICAGO AVENUE, HINSDALE, ILLINOIS

SURVEY AREA: 18,078 SQUARE FEET (0.415 ACRES±)

CHICAGO AVENUE
CONC

ELM STREET
ASPHALT
(FORMERLY KNOWN AS
ELM AVENUE)



LEGEND

- = PROPERTY LINE
- - -= LOT LINE
- - -= EASEMENT LINE
- - -= BUILDING SETBACK LINE
- x - x -= EX. FENCE
- OH -= EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
- == EX. CONCRETE CURB & GUTTER

ABBREVIATIONS

- | | |
|-----------|--------------------|
| ASPH | ASPHALT |
| CONC | CONCRETE |
| E | EAST |
| EM | ELECTRIC METER |
| FH | FIRE HYDRANT |
| FNCH | FENCE CORNER |
| GM | GAS METER |
| N | NORTH |
| S | SOUTH |
| UP | UTILITY POLE |
| W | WEST |
| XXX.XX' | MEASURED DIMENSION |
| (XXX.XX') | RECORD DIMENSION |

GENERAL NOTES

- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (NAD 83).
- CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY IMMEDIATELY. BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
- ALL AREAS LISTED ARE MORE OR LESS.
- ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY: SDS
CHECKED BY: TBM
APPROVED BY: TBM



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60065
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

PREPARED FOR:

TIBURON HOMES

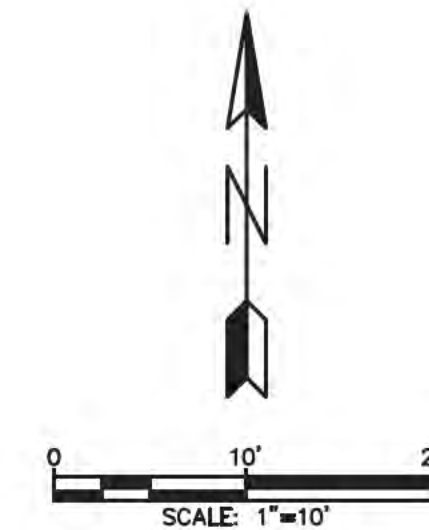
TITLE:

PLAT OF SURVEY
304 E CHICAGO AVENUE
HINSDALE, ILLINOIS

SCALE: 1"=10'
DATE: 02-16-2024
JOB NO: W24036.00
SHEET 1 OF 1

LOT 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 304 EAST CHICAGO AVENUE, HINSDALE, ILLINOIS



- ## LEGEND
- == PROPERTY LINE
 - == LOT LINE
 - == EASEMENT LINE
 - == BUILDING SETBACK LINE
 - = EX. SANITARY LINE
 - = EX. STORM LINE
 - = EX. WATER LINE
 - = EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
 - = EX. FENCE
 - = EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
 - = EX. CONCRETE CURB & GUTTER
 - = EX. CONTOURS
 - = EX. SPOT ELEVATION
 - = EX. CONIFEROUS TREE
W/TRUNK SIZE IN INCHES
 - = EX. DECIDUOUS TREE
W/TRUNK SIZE IN INCHES

AC	AIR CONDITIONER UNIT
BC	BACK OF CURB
BM	BENCHMARK
B	BOTTOM
C/C	CORRUGATED METAL PIPE
C/C	CONCRETE
CONC	CORRUGATED PLASTIC PIPE
CS	DOWNGROUT
D	EAST
E	ELECTRIC
ELEC	ELECTRIC METER
EM	EDGE OF PAVEMENT
EP	FINISHED FLOOR
FF	GARAGE FLOOR
GA	GAS METER
INV	INVERT
MB	MAILBOX
N	NORTH
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
S	SOUTH
TF	TOP OF FOUNDATION
T/	TOP OF WALL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
W	WEST
XXX.XX'	MEASURED DIMENSION
(XXX.XX')	RECORD DIMENSION

DRAWN BY: SDS
CHECKED BY: TBM
APPROVED BY: BAS

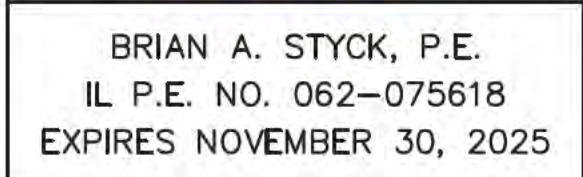
3S701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SHEET 1 OF 5

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

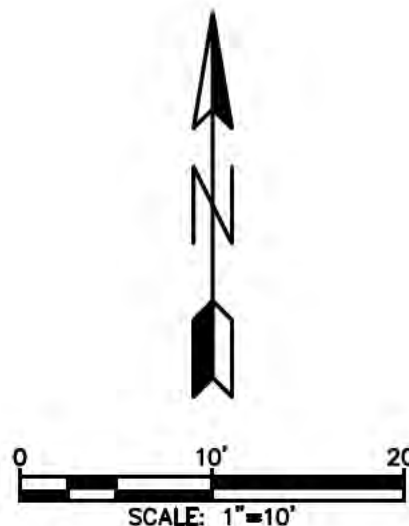


GEOMETRY PLAN

LOT 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-204-001

COMMONLY KNOWN AS: 304 EAST CHICAGO AVENUE, HINSDALE, ILLINOIS



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EX. SANITARY LINE
- EX. STORM LINE
- EX. WATER LINE
- EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
- FENCE
- EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
- EX. CONCRETE CURB & GUTTER
- EX. CONTOURS
- EX. SPOT ELEVATION
- EX. CONIFEROUS TREE
W/TRUNK SIZE IN INCHES
- EX. DECIDUOUS TREE
W/TRUNK SIZE IN INCHES

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
BC	BACK OF CURB
BM	BENCHMARK
B/	BOTTOM OF
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DS	DOWNSPOUT
E	EAST
ELEC	ELECTRIC
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
GF	GARAGE FLOOR
GM	GAS METER
INV	INVERT
MB	MAILBOX
N	NORTH
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
S	SOUTH
TF	TOP OF FOUNDATION
T/	TOP OF
TW	TOP OF WALL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
W	WEST
XXX.XX'	MEASURED DIMENSION
(XXX.XX')	RECORD DIMENSION

ADDRESS	SETBACK
304 CHICAGO AVE.	19.19'
13 S. ELM ST.	35.69'
21 S. ELM ST.	23.72'
25 S. ELM ST.	23.84'
29 S. ELM ST.	23.98'
37 S. ELM ST.	28.53'
45 S. ELM ST.	31.51'
305 E. 1ST ST.	37.00'
AVERAGE SETBACK:	27.88'

ADDRESS	SETBACK
304 CHICAGO AVE.	34.2'
2 ORCHARD PL.	20.5'
AVERAGE SETBACK:	27.35'

SITE BM #1

VALVE VAULT
RIM: 698.03
T/PIPE: 693.43 8" PVC (N,S)

STORM MANHOLE
RIM: 698.19
INV: 681.89 15" RCP (SW)
INV: 680.89 15" RCP (NE)

STORM MANHOLE
RIM: 697.66
INV: 682.11 30" RCP (S)
INV: 682.01 15" RCP (NE)
(HAS 2 ACCESS LIDS)

STORM MANHOLE
RIM: 697.58
INV: 682.08 30" RCP (S)
INV: 681.58 (NE)
T/RESTRICTOR WALL: 687.03
(HAS 2 ACCESS LIDS)

SANITARY MANHOLE
RIM: 695.02
INV: 688.97 12" VCP (S)

SITE BENCHMARK #1:
NORTH BOLT ON FIRE HYDRANT AT THE SOUTHWEST
CORNER OF CHICAGO AVENUE AND ELM STREET.
ELEV: 701.79 (NAVD 88)

SITE BENCHMARK #2:
WEST BOLT ON FIRE HYDRANT ON THE WEST SIDE
OF ELM STREET AT THE SOUTHEAST CORNER OF
RESIDENCE #24 ELM STREET.
ELEV: 693.53 (NAVD 88)

It's smart It's free It's the law



Call before
you dig
800.892.0123

PREPARED FOR: ROUSH

DRAWN BY: KDK
CHECKED BY: BAS
APPROVED BY: BAS



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60055
PHONE (630) 393-3060
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FAX (312) 474-6099

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CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN REVISED: APRIL 10, 2024
SITE PLAN REVISED: NOVEMBER 21, 2024
SITE PLAN DATED: NOVEMBER 4, 2024

SHEET 2 OF 5

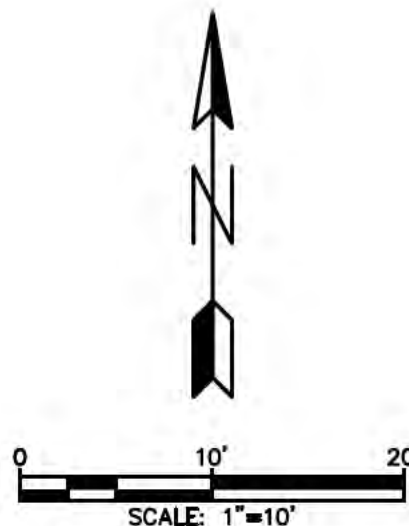
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-204-001

COMMONLY KNOWN AS: 304 EAST CHICAGO AVENUE, HINSDALE, ILLINOIS



LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EX. SANITARY LINE
- EX. STORM LINE
- EX. WATER LINE
- EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
- EX. FENCE
- EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
- EX. CONCRETE CURB & GUTTER
- EX. CONTOURS
- EX. SPOT ELEVATION
- EX. CONIFEROUS TREE
W/TRUNK SIZE IN INCHES
- EX. DECIDUOUS TREE
W/TRUNK SIZE IN INCHES

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
BC	BACK OF CURB
BM	BENCHMARK
B/	BOTTOM OF
CMP	CORRUGATED METAL PIPE
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S	SOUTH
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T/	TOP OF
TW	TOP OF WALL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
W	WEST
XXX.XX'	MEASURED DIMENSION
(XXX.XX')	RECORD DIMENSION

IMPERVIOUS DATA TABLE

EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE:	1,410 S.F.	HOUSE:
GARAGE:	635 S.F.	DRIVE:
DRIVE:	1,052 S.F.	COVERED PORCHES & STEPS:
DECK, PORCH & STEPS:	676 S.F.	WALKS:
PATIO:	632 S.F.	PATIO & STEPS:
SPA:	99 S.F.	POOL & SPA:
FRONT STOOP & STEPS:	83 S.F.	EQUIPMENT PAD:
WALK:	120 S.F.	WALLS:
WALLS:	146 S.F.	AC & GEN PADS:
CONCRETE:	173 S.F.	TOTAL:
TOTAL:	5,026 S.F.	

NET NEW IMPERVIOUS AREA= 7,365 S.F. - 5,026 S.F. = 2,339 S.F.
SINCE 2,339 S.F. < 2,500 S.F. NO BMP IS REQUIRED FOR THIS SITE

AVG. GRADE DATA (HOUSE)

POINT:	HOUSE:
Ⓐ	698.10
Ⓑ	694.00
Ⓒ	692.30
Ⓓ	693.80
AVG.:	694.55

SITE BENCHMARK #1:
NORTH BOLT ON FIRE HYDRANT AT THE SOUTHWEST CORNER OF CHICAGO AVENUE AND ELM STREET.
ELEV: 701.79 (NAVD 88)

SITE BENCHMARK #2:
WEST BOLT ON FIRE HYDRANT ON THE WEST SIDE OF ELM STREET AT THE SOUTHEAST CORNER OF RESIDENCE #24 ELM STREET.
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It's smart

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PREPARED FOR: ROUSH

DRAWN BY: KDK
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CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN REVISED: APRIL 10, 2025
SITE PLAN REVISED: NOVEMBER 21, 2024
SITE PLAN DATED: NOVEMBER 4, 2024

SHEET 3 OF 5

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

TREE PRESERVATION & SITE MANAGEMENT PLAN

LOT 47 AND 48 IN PAYNE'S SUBDIVISION OF BLOCK 2 OF WILLIAM ROBBIN'S FIRST ADDITION TO THE TOWN OF HINSDALE, IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 5, 1887 AS DOCUMENT 37836, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-204-001

COMMONLY KNOWN AS: 304 EAST CHICAGO AVENUE, HINSDALE, ILLINOIS



SCALE: 1"=10'

LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EX. SANITARY LINE
- EX. STORM LINE
- EX. WATER LINE
- EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
- EX. FENCE
- EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
- EX. CONCRETE CURB & GUTTER
- EX. CONTOURS
- EX. SPOT ELEVATION
- EX. CONIFEROUS TREE
W/TRUNK SIZE IN INCHES
- EX. DECIDUOUS TREE
W/TRUNK SIZE IN INCHES

ABBREVIATIONS

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GM	INVERT
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N	POLYETHYLENE GLASS PIPE
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RCP	REINFORCED CONCRETE PIPE
S	SOUTH
TF	TOP OF FOUNDATION
TW	TOP OF WALL
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
W	WEST
XXX.XX'	MEASURED DIMENSION
(XXX.XX')	RECORD DIMENSION

304 E Chicago Tree Inventory					
Tree #	Size (in.)	Scientific Name	Common Name	Condition	Recommended Action
1	9	<i>Pinus resinosa</i>	Red Pine	Good	Remove
2	9	<i>Pinus resinosa</i>	Red Pine	Good	Remove
3	27	<i>Ulmus americana</i>	American Elm	Fair	Remove
4	8	<i>Pinus sylvestris</i>	Scots Pine	Fair	Remove
5	8	<i>Pinus strobus</i>	White Pine	Dead	Remove
6	8	<i>Picea abies</i>	Norway Spruce	Good	Tree Protection Fencing
7	8	<i>Picea abies</i>	Norway Spruce	Good	Tree Protection Fencing
8	21	<i>Acer platanoides</i>	Norway Maple	Fair	Tree Protection Fencing
9	12	<i>Picea abies</i>	Norway Spruce	Fair	Remove
10	17	<i>Pinus sylvestris</i>	Scots Pine	Fair	Remove
11	9	<i>Magnolia soulangeana</i>	Magnolia	Good	Remove
12	19	<i>Celtis occidentalis</i>	Hackberry	Fair	Tree Protection Fencing
13	13	<i>Juniperus virginiana</i>	Eastern Red Cedar	Good	Tree Protection Fencing
14	8	<i>Juniperus virginiana</i>	Eastern Red Cedar	Good	Tree Protection Fencing
15	8	<i>Juniperus virginiana</i>	Eastern Red Cedar	Good	Tree Protection Fencing
16	33	<i>Ulmus americana</i>	American Elm	Poor	Tree Protection Fencing
17	12	<i>Ulmus x 'Morton'</i>	Accolade Elm	Fair	Tree Protection Fencing
18	17	<i>Acer x freemanii</i>	Freeman Maple	Poor	Tree Protection Fencing
19	17	<i>Acer rubrum</i>	Red Maple	Fair	Remove
20	25	<i>Acer saccharinum</i>	Silver Maple	Good	Tree Protection Fencing
21	9	<i>Picea pungens</i>	Blue Spruce	Good	Remove
22	10	<i>Pinus strobus</i>	White Pine	Good	Remove
23	11	<i>Pinus strobus</i>	White Pine	Good	Remove

- Rating is based on tree health and structural integrity.
 - Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
 - Install Tree Protection Fence per Tree Protection Plan prior to any construction activity.
 - Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
 - At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
 - The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
 - Tree Protection Zone is the designated area that encompasses and entire tree canopy.
- This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.
- The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

Bradley Earnest Certified Arborist # IL-9808-A 10/17/2024

SITE BM #1

ELM STREET
(FORMERLY KNOWN AS
ELM AVENUE)

SITE BENCHMARK #1:
NORTH BOLT ON FIRE HYDRANT AT THE SOUTHWEST
CORNER OF CHICAGO AVENUE AND ELM STREET.
ELEV: 701.79 (NAVD 88)

SITE BENCHMARK #2:
WEST BOLT ON FIRE HYDRANT ON THE WEST SIDE
OF ELM STREET AT THE SOUTHWEST CORNER OF
RESIDENCE #24 ELM STREET.
ELEV: 693.53 (NAVD 88)

It's smart It's free It's the law



Call before
you dig
800.892.0123

PREPARED FOR: ROUSH

DRAWN BY: KDK
CHECKED BY: BAS
APPROVED BY: BAS



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

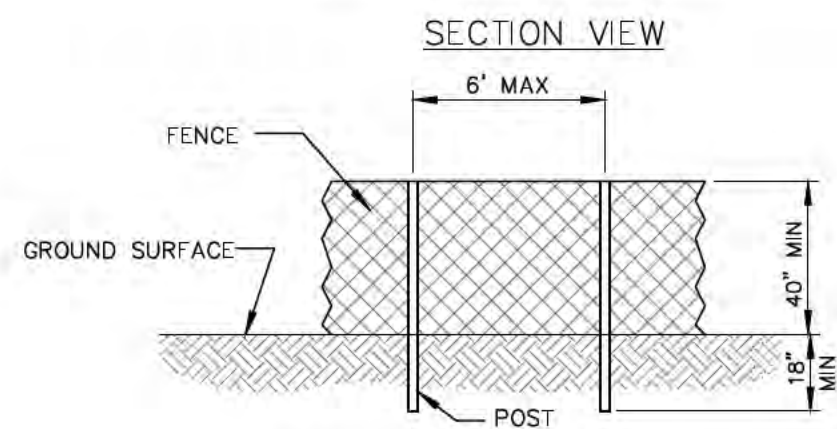
2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN REVISED: APRIL 10, 2025
SITE PLAN REVISED: NOVEMBER 21, 2024
SITE PLAN DATED: NOVEMBER 4, 2024

SHEET 4 OF 5

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

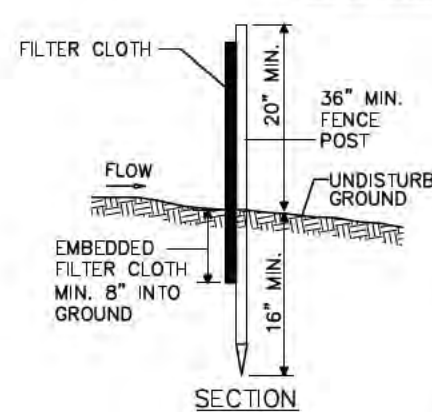
- ANY DEMOLITION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
2. THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
3. THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
4. DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
5. GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
6. CONTRACTOR SHALL KEEP STREETS CLEAN.
7. ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
8. NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
9. AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
10. THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
11. PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
12. SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
13. MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
14. EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
15. WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. Dewatering discharge shall be PUMPED TO THE FRONT TO EXISTING CHICAGO AVENUE CURB AND GUTTER.
16. CONSTRUCTION SCHEDULE:
 - A. SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - FALL 2024
 - B. EXISTING STRUCTURES SHALL BE DEMOLISHED. - SPRING 2025
 - C. RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. & EXISTING SWALES. - SUMMER 2025
 - D. CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. - FALL 2025
 - E. PREPARE AND SUBMIT RECORD DRAWINGS. - SPRING 2026
 - F. LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - SPRING 2026
17. CONTACT PERSON FOR SITE:
MATT MCNAUGHTON
(630) 986-8485
18. WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
19. REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
20. SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
21. OVERFLOW PIPE IS TO BE CONNECTED TO THE EXISTING STORM SEWER. CONTRACTOR SHALL COORDINATE WITH VILLAGE ROADWAY CONTRACTOR DURING CONSTRUCTION OF THE OVERFLOW PIPE CONNECTION.
22. THE PROPOSED DRIVEWAY AREA AND UTILITY INSTALLATION SHOULD BE INSTALLED USING



NOTES:

1. THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
3. THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER

NOT TO SCALE



1. FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN

POSTS: STEEL
EITHER T OR U TYPE
OR 2" HARDWOOD.

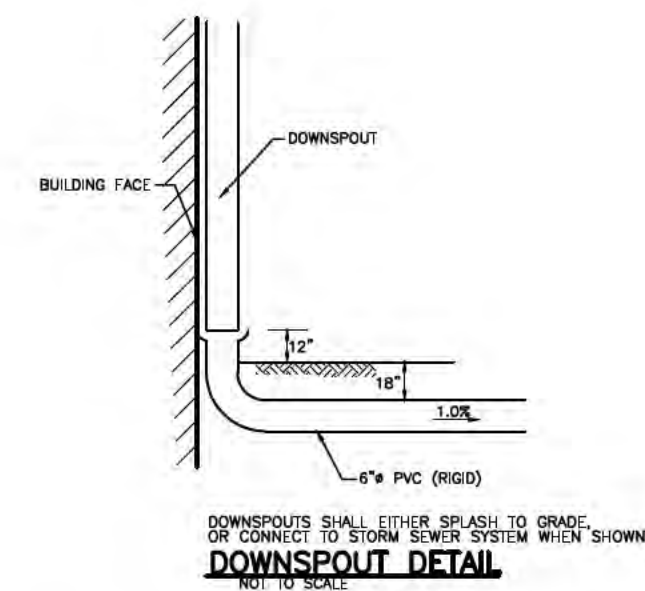
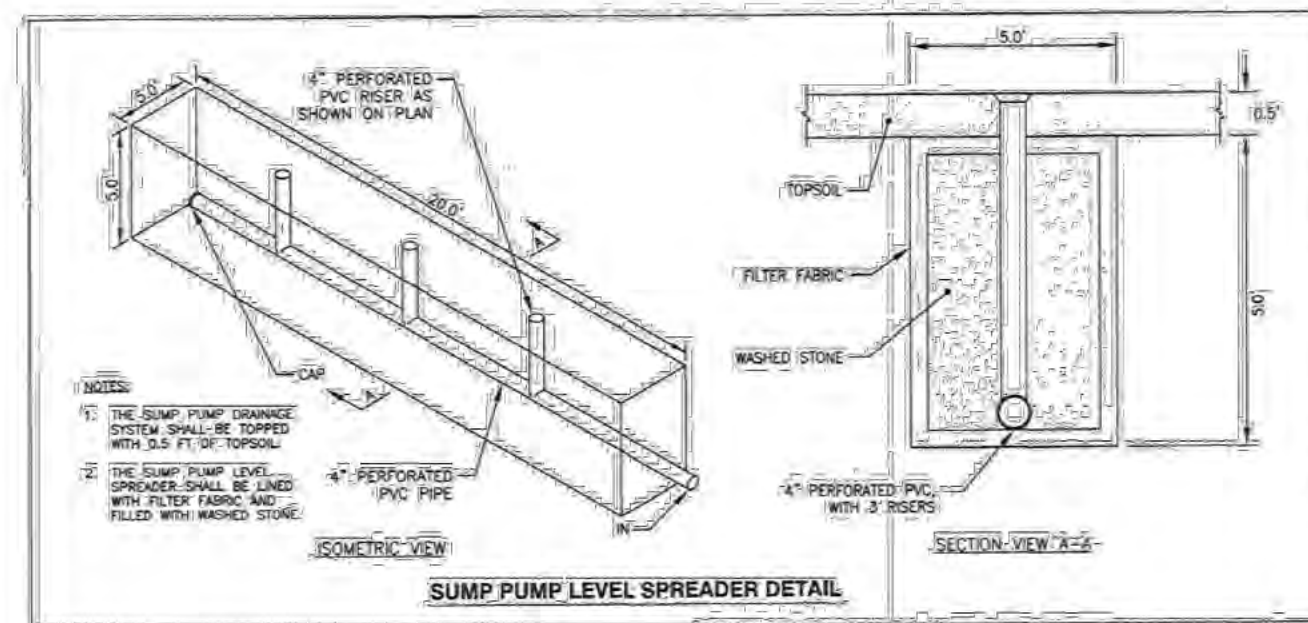
FILTER CLOTH: FILTER X
MIRAFI 100X,
STABILINKA T140N.

PREFABRICATED UNIT:
GEOFAB, ENVIROFENCE.

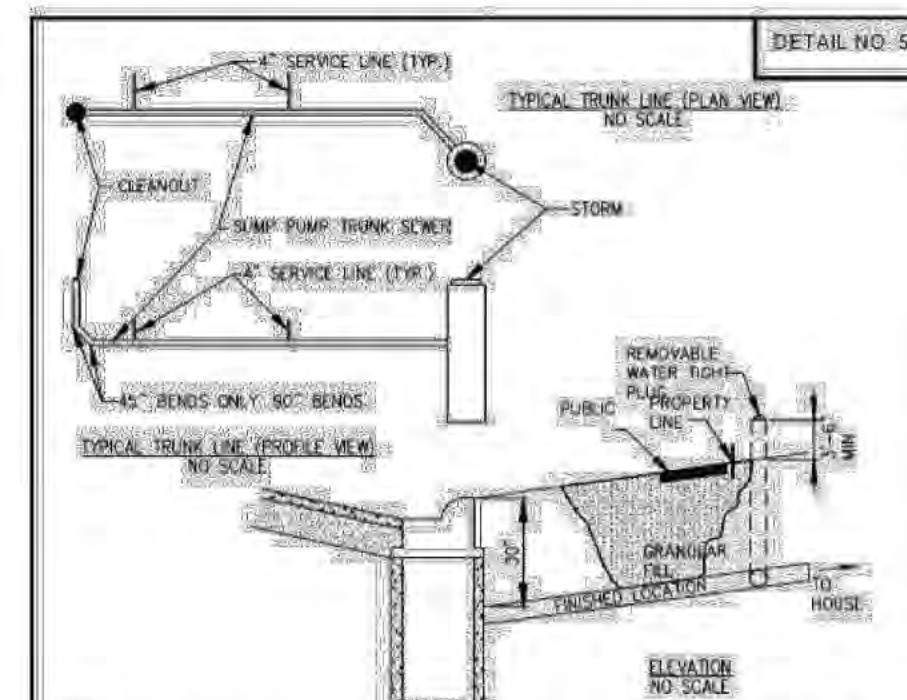
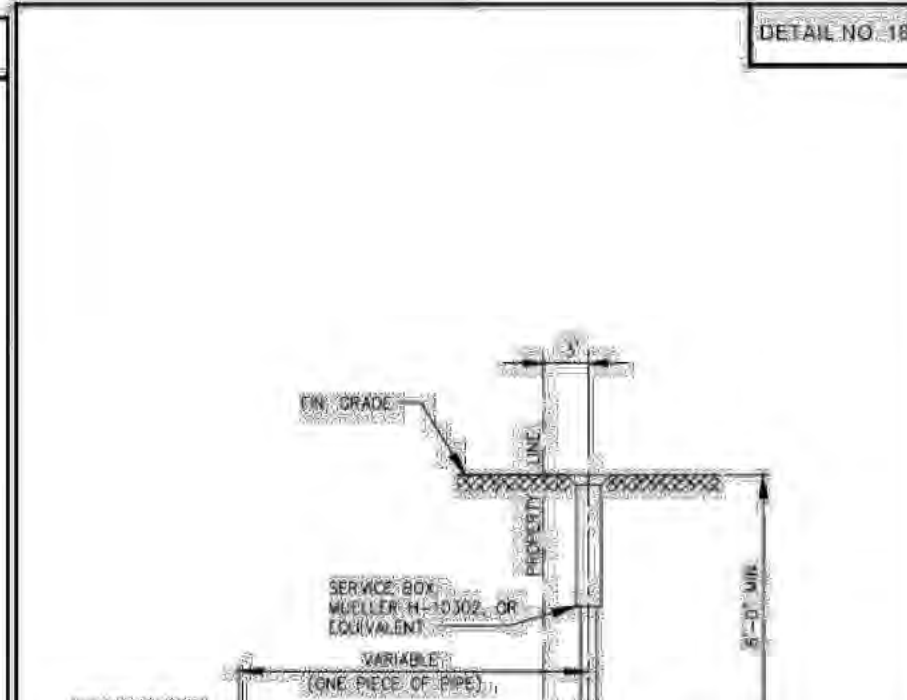


*NOTE: COST OF WASHED RIVER ROCK SHALL BE INCLUDED IN THE COST OF BUBBLER.

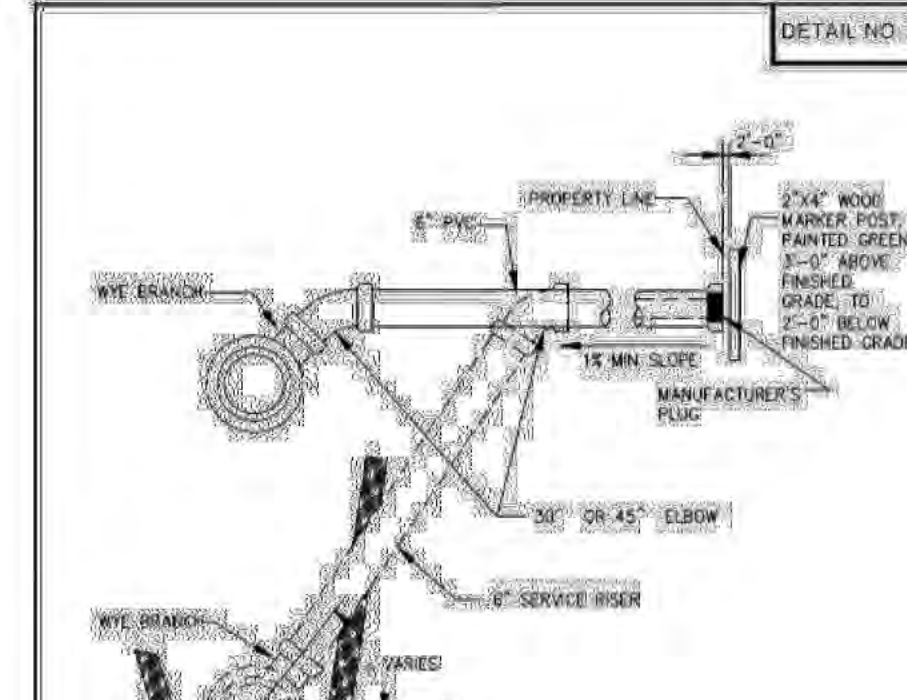
- BMP'S INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- LEVEL SPREADER INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE STORM SEWER - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE CURB OR TO THE PARKWAY - ASPHALT OR CONCRETE, WHEN DRIVEWAY IS LAID-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.
- STREET PATCHES FOR SANITARY CONNECTION - 3 INSPECTIONS
CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK
PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE
PRE-POUR FOR FINAL CONCRETE, 12 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- STREET PATCHES FOR WATER CONNECTION - 3 INSPECTIONS
CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT
PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE
PRE-POUR FOR FINAL CONCRETE, 12 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- FINAL GRADE INSPECTION
WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE.
- STORMWATER BOND INSPECTION
CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.



DOWNSPOUT DETAIL

[illegible]

NOTE:
1. TRENCH BACKFILL SHALL BE INSTALLED PER WATER MAIN INSTALLATION DETAIL.
2. WATER SERVICES SHALL NOT EXCEED 100' IN LENGTH. SPLICES IN THE WATER SERVICE SHALL NOT BE PERMITTED.
3. ALL SERVICES SHALL REQUIRE SADDLES. THE SADDLE SHALL BE STAINLESS STEEL. SMITH BLAIR #254 OR JCM #163.



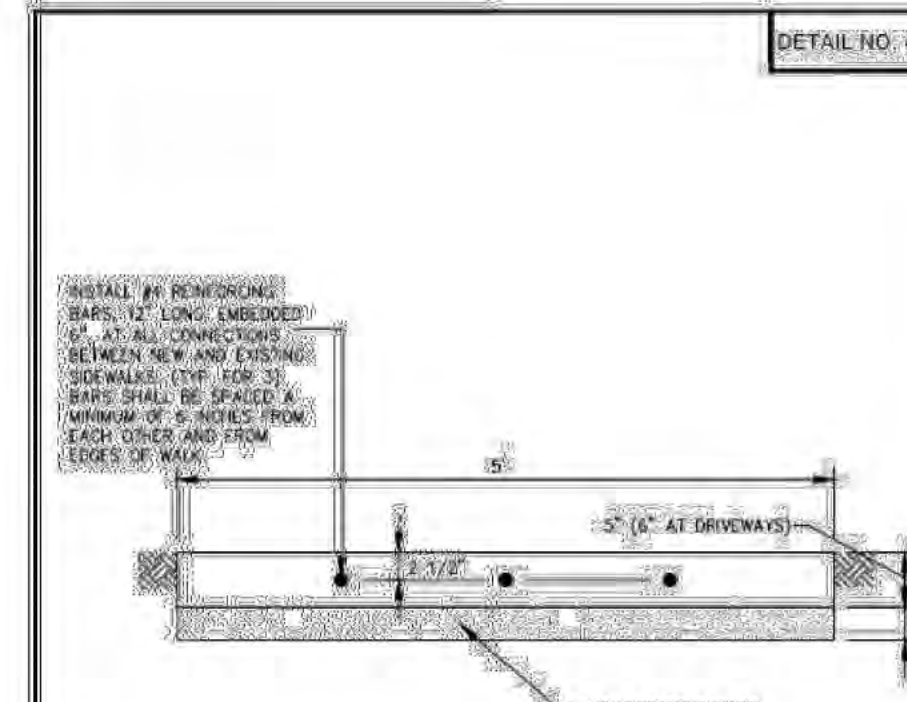
NOTE:
1. 1/2" x 4" x 4" (22) SCH 40S PIPE ON CONT. M. P.V.C.
ELBOW. P.V.C. UNDER THE 4" P.V.C. TOP FLANGE.
2. 1/2" x 4" x 4" (22) SCH 40S ON M.A. TEE WITH
1/2" P.V.C. ELBOW. TRANSITION TO 1/2" P.V.C. WITH 1/2" P.V.C.
PIPE AND 1/2" SCH 40S TOP FLANGE. ALL TUBING BRON
COMPONENTS SHALL BE COATED WITH PROTECTO-BRON
APPROVED EQUAL.

3. 4" P.V.C. PIPE AND FITTINGS SHALL BE ASTM D2008
SCR. 25. WITH ELASTOMER, CASKETE JOINTS
CONFORMING WITH ASTM F441 AND ASTM D2002

4. A MINIMUM DISTANCE OF 10' IS REQUIRED BETWEEN
1/2" x 4" x 4" (22) SCH 40S. SHALL BE INSTALLED PER SANITARY

Village of Hinsdale
July 2017

VILLAGE OF HINSDALE
STANDARD DETAIL
FOR
SEWER SERVICE FOR
SANITARY SEWER



NOTES:

1. SIDEWALKS ADJACENT TO THE BACK OF CURB SHALL BE A MINIMUM OF 5' IN WIDTH.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH NOT LESS THAN 4" COMPACTED WITH A MINIMUM COMPRESSION STRENGTH OF 1,500 PSI AT 14 DAYS.
3. PREFORMED EXPANSION JOINTS 15' (4" DECK) SHALL BE CONSTRUCTED IN SIDEWALKS EVERY FEET AND AT ALL ADJOINING DRIVEWAYS AND CURBS AND GUTTERS.
4. TYPICAL CONTRACTION JOINTS SHALL BE CONSTRUCTED IN SIDEWALKS EVERY FIVE FEET.
5. SIDEWALK SHALL HAVE 2.4% PRECAST CROSS-SLOPE.
6. SIDEWALKS SHALL BE TESTED FOR SLIPAGE CODE 11-8.6(B).



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

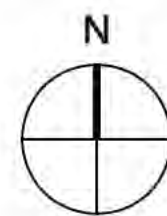
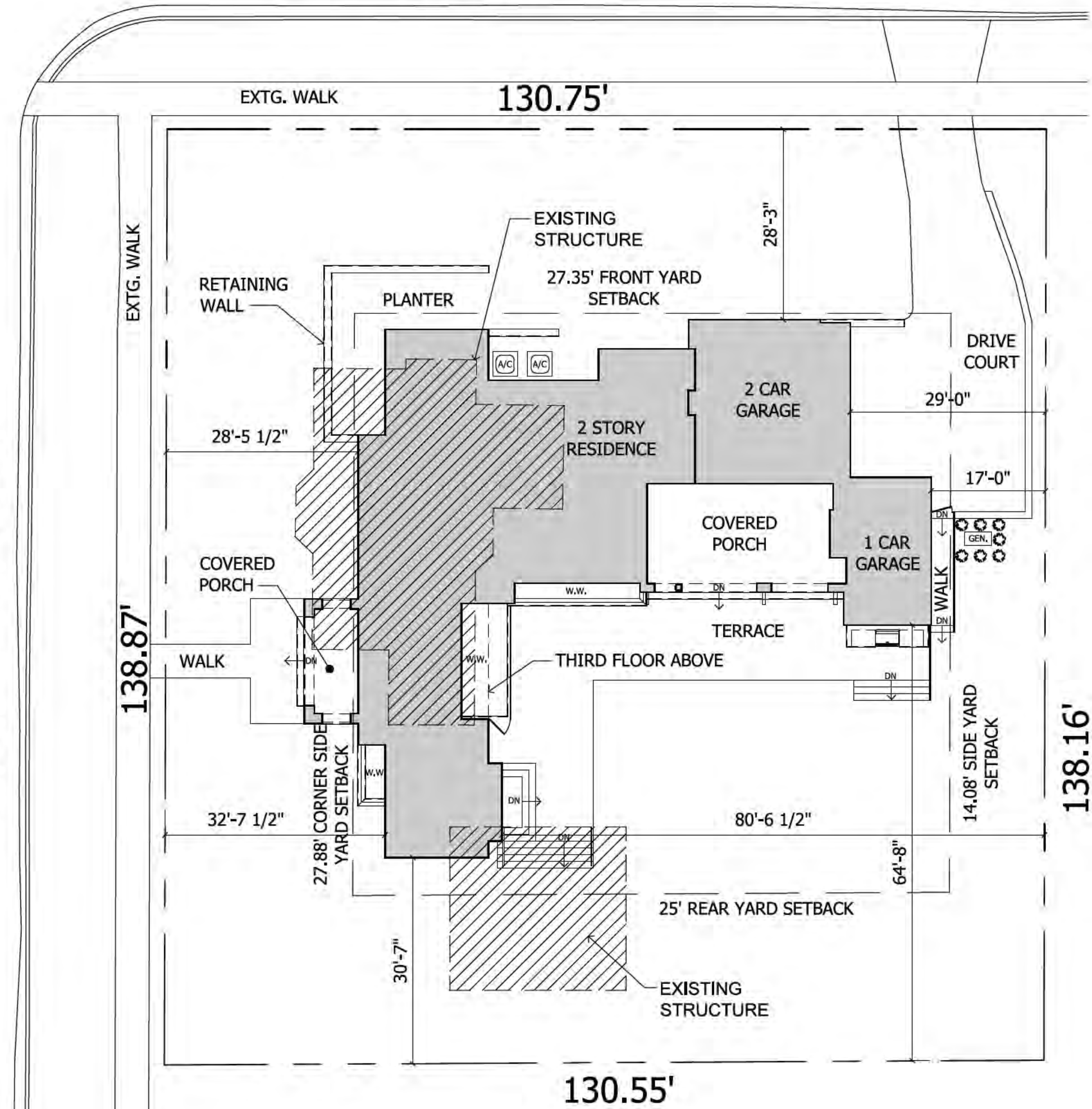
10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN REVISED: APRIL 10, 2025
SITE PLAN REVISED: NOVEMBER 21, 2024
SITE PLAN DATED: NOVEMBER 4, 2024

chicago avenue

elm street



site plan - architectural







PROPOSED WEST ELEVATION



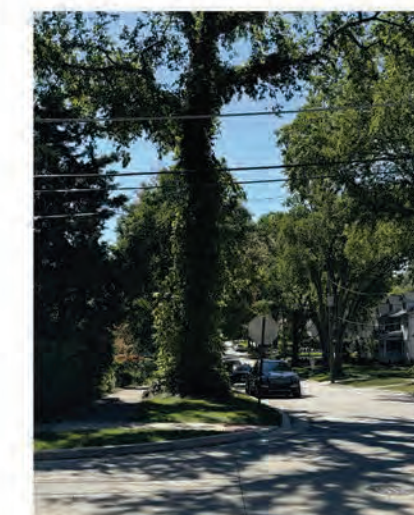
PROPOSED S. ELM ST.



EXISTING S. ELM ST.



PROPOSED NORTH ELEVATION



PROPOSED E. CHICAGO AVE.



EXISTING E. CHICAGO AVE.



west elevation

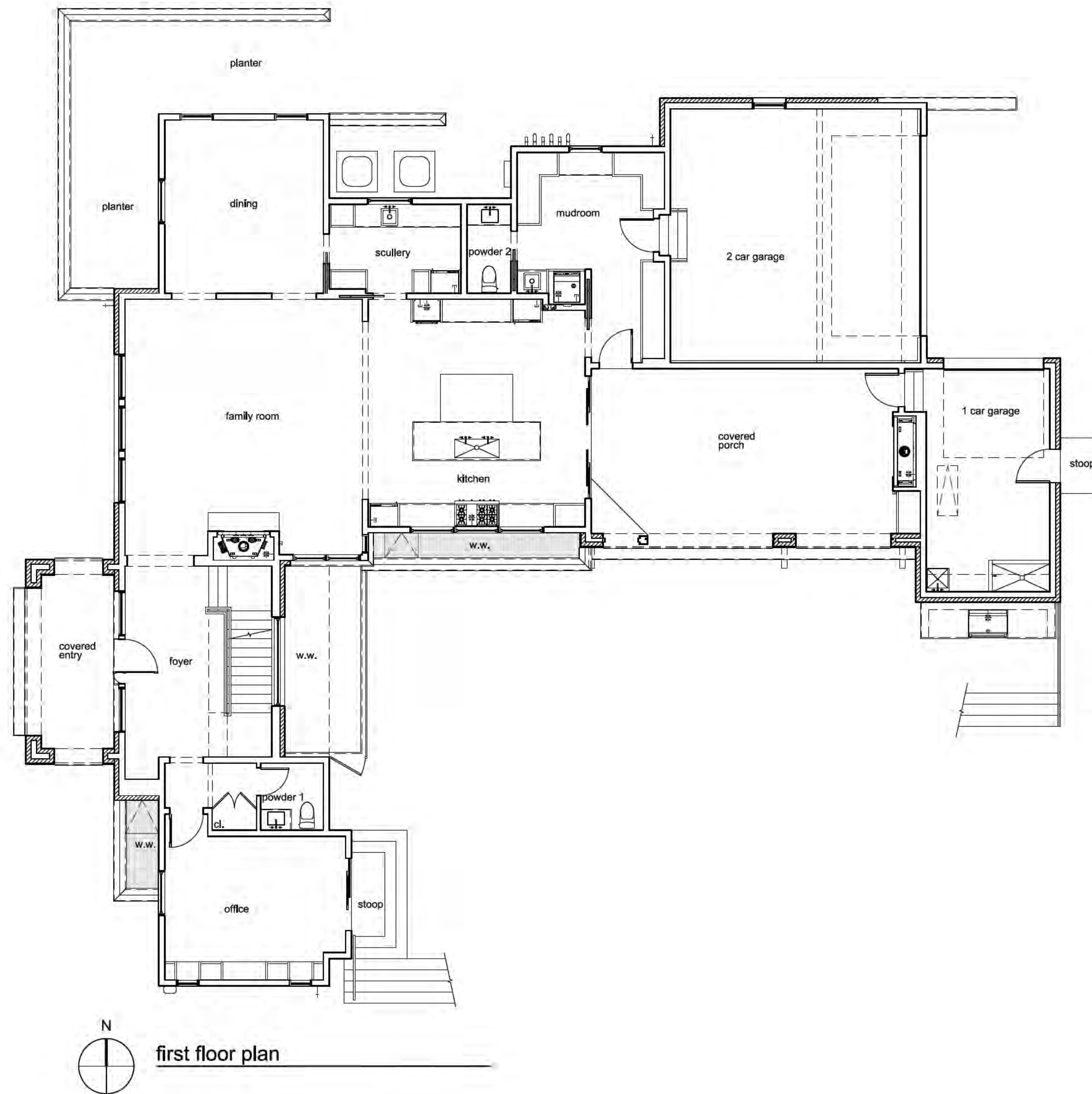


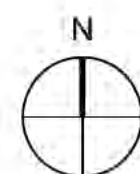
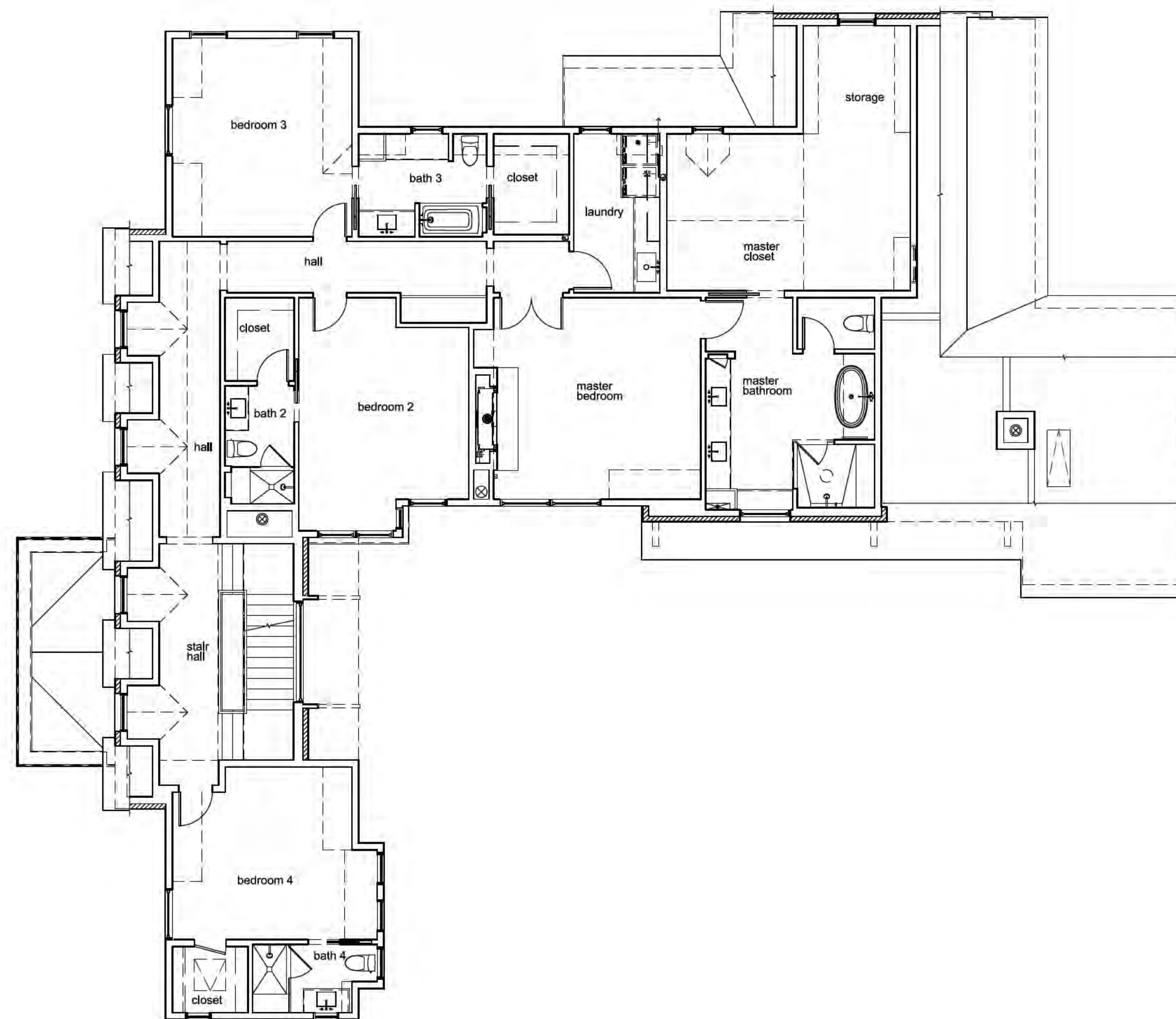
MATERIAL	COLOR	MANUFACTURER
BRICK:	LIMEWASHED SHEEP'S WOOL	BENJAMIN MOORE
LIMESTONE:	INDIANA BLUFF	
ASPHALT ROOFING:	PEWTER	CERAINTED LANDMARK
GUTTERS + DOWNSPOUTS:	30 DEGREE WHITE LOW GLOSS	RAINTRADE CORPORATION
CEDAR SIDING:	SHEEP'S WOOL	BENJAMIN MOORE
WINDOWS:	GUNMETAL	MARVIN











second floor plan



**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: August 1, 2025

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-15-2025 – 142 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

FOR: August 6, 2025 Historic Preservation Commission Meeting

SUMMARY

The Village of Hinsdale has received a Certificate of Appropriateness (COA) application from Robert L. Cimala, Legacy Homes Cimala, Inc., requesting approval to demolish an existing single-family home and to construct a new single-family home located at 142 E. First Street in the Robbins Park Historic District. The owner of record listed on the application is Grace Episcopal Church and the project architect is listed as Bruce George, Charles Vincent George Architects, Inc.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission or the Village Board, where applicable, per the procedures and criteria specified in the Code, on an application for a Certificate of Appropriateness. The final decision of the Commission or Village Board shall be advisory only.

BACKGROUND

The existing 2.5-story single-family home at 142 E. First Street was constructed in 1869. The building features Italianate architecture and includes a three bay front facade, horizontal wood siding, windows with segmental arched hoods, paired wood scroll brackets and dentil trim, wrap around front porch with slender columns and a wood balustrade, paired front entry doors with panels and a segmental arched hood, and paired attic windows. The one-story rear end of the house was expanded and remodeled in the 1950s. A rear one-story addition, breezeway, and attached garage were added in 1988.

The building is classified as a Contributing Structure in the Robbins Park Historic District according to the 2008 National Register of Historic Places Nomination, a Significant Structure according to the 2002 Architectural Resources in the Robbins I Survey Area, and a Significant / Historically Significant Structure according to the 1999 Reconnaissance Survey.

The property was listed on the National Register of Historic Places in 1989. The property was approved for inclusion on the Village's Historically Significant Structures List on August 15, 2023 by Ordinance No. O2023-22.



MEMORANDUM

The house is one of the oldest homes in Hinsdale and is commonly referred to as the “William Whitney House” or the “Hallmark House.” In addition to its architectural significance, the house is associated with the life of an important person, William Whitney, who resided in the house from 1870 to 1879. William Whitney was DuPage County’s sole representative to the State Legislature from 1871-1873. He was also critical in assisting with the incorporation of Hinsdale in 1873. The Hallmark Card Company used this house as the setting for a television commercial in 1970.

The subject property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the south and east and west in the R-1 Single Family Residential District. Grace Episcopal Church and Redeemer Lutheran Church are located to the north and the west in the IB Institutional Buildings District.

PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW

On April 28, 2025, a Preliminary Certificate of Appropriateness application was reviewed by the Ad Hoc Design Review Team. A summary of the discussion at the meeting is attached to this report.

Based on the feedback received at the Design Review meeting, the following changes have been made to the exterior of the home to create a more traditional appearance:

- Altered reduced the size of the second-floor windows and added a covered front entrance porch on the east elevation facing Park Avenue
- Added traditional gas lanterns on the front entrance porch on the east elevation facing Park Avenue
- Replaced select areas of white painted brick with a gray / beige natural stone
- Altered the design of the garage doors to include a chevron pattern on the west elevation facing the rear yard

PROJECT DESCRIPTION

The applicant requests approval to demolish the existing single-family home and construct a new code-compliant single-family house on an 30,090 square foot corner lot at the southwest corner of First Street and Park Avenue. A cover letter, photos of the subject property and neighboring properties, site plan, interior floor plans, rendering of the front elevation, building elevations, streetscape exhibit, and photos of the subject property and neighboring properties have been submitted for review.

As shown on the plans, the two-story home will be primarily constructed of a white painted brick, beige and gray stone accent areas (Fondulac or Eden Stone), gray vertical and chevron composite siding and trim, black aluminum clad windows, gray and beige smooth face cut stone surrounds, a DaVinci faux slate dark gray roof, and a dark bronze standing seam metal roof above the front covered entrance porch.

The site plan includes a circular drive off of Park Avenue and a driveway off of First Street leading an attached four-car garage facing the west rear lot line. The interior of the site will include a pool and spa as well as a courtyard patio. The proposed plan meets all bulk zoning requirements.

REVIEW PROCESS

Pursuant to Title 14, Section 14-5-1(B), no permits shall be issued for the demolition, relocation, or removal of an existing residence, or the construction of a new residence, located within the Robbins Park Historic District without a final decision by the Commission or Village Board, as applicable, on a Certificate of Appropriateness in



MEMORANDUM

accordance with the procedures and criteria specified in the Village Code. The final decision of the Commission or Village Board shall be advisory only. Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2.

A Preliminary Certificate of Appropriateness Review is required for applications related to the demolition, removal, relocation, or new construction in the Robbins Park Historic District in accordance with Section 14-5-3.

After the filing of a properly completed formal application for demolition, removal, relocation, or new construction in the Robbins Park Historic District, public notice shall be completed in accordance with Section 14-1-4 and the Commission shall review the application at a public hearing. The applicant, property owner and design professional must be in attendance at the public meeting to ensure both receive and understand any comments provided by the Commission. The hearing shall be commenced, conducted and concluded and a decision shall be made by the Commission as soon as practicable, but in no event later than sixty (60) days after the public hearing on the application has commenced, unless such time is extended by agreement of the applicant or the applicant, property owner and/or design professional failed to appear. Unless such time is extended, the failure by the Commission to conclude the hearing and render a decision within sixty (60) days shall be deemed approval by the Commission.

The following applies to decisions of the Commission on applications for demolition, removal, relocation, or new construction in the Robbins Park Historic District:

- **Approval:** If the application is approved without conditions, the Commission shall issue the COA permitting the Building Commissioner to proceed with other required reviews and approvals.
- **Approval With Conditions:** If the application is approved with conditions, the Commission shall notify the applicant in writing and shall specify the conditions to be imposed and the reasons for doing so with regard to the Standards in Section 14-5-2. If the applicant notifies the Commission in writing that the conditions are acceptable, the Commission shall issue the COA, subject to the conditions. If the applicant does not notify the Commission within ten (10) days of the decision having been made, the approval with conditions will be considered to be a denial, subject to further consideration by the Village Board.
- **Denial:** If the Commission issues a denial of a COA, such denial shall be forwarded to the Village Board for further consideration.
- **Review by the Village Board:** No later than sixty (60) days following a vote by the Commission approving a COA with conditions the applicant does not accept, or denying a COA, the Village Board shall review the decision of the Commission and either deny the COA or approve the COA, with or without conditions. The applicant, property owner, and design professional must be in attendance at the meeting. Unless such time is extended by agreement of the applicant, or the applicant, property owner, and/or design professional failed to appear at a meeting, the failure by the Village Board to act within sixty (60) days, shall be deemed approval by the Board. Following the decision of the Village Board, the Village shall issue the COA, allowing the Community Development Department to proceed with other required reviews and permit approvals. The final decision of the Village Board is advisory and shall not prohibit an applicant from proceeding with the proposed course of action upon receiving all other required approvals and permits.

A COA shall be invalid if the plans are substantially changed after a final decision is made, if any conditions are not satisfied, if any building permit issued for the approved work becomes invalid, or actions authorized are not completed within three (3) years following the decision.



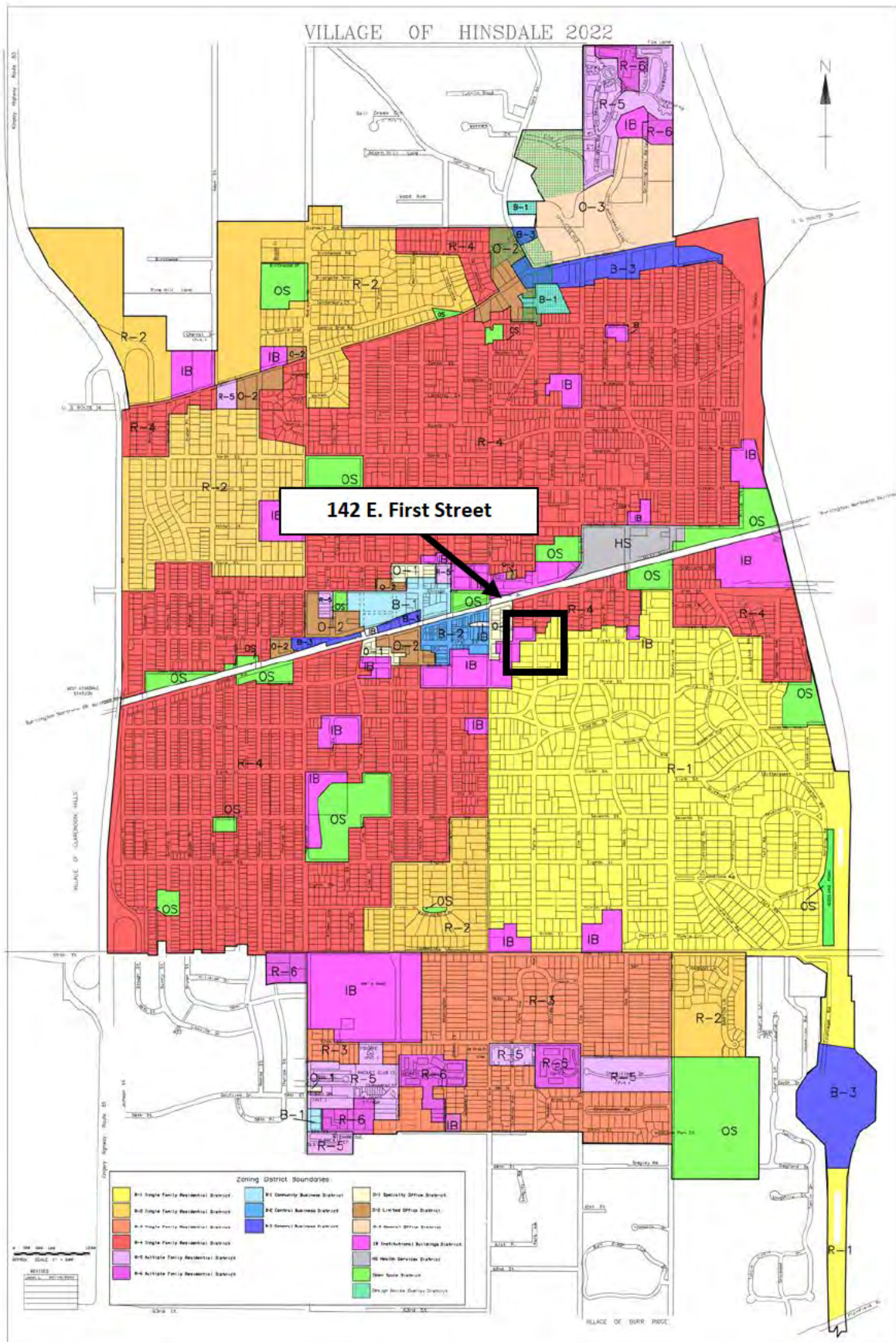
MEMORANDUM

MOTIONS

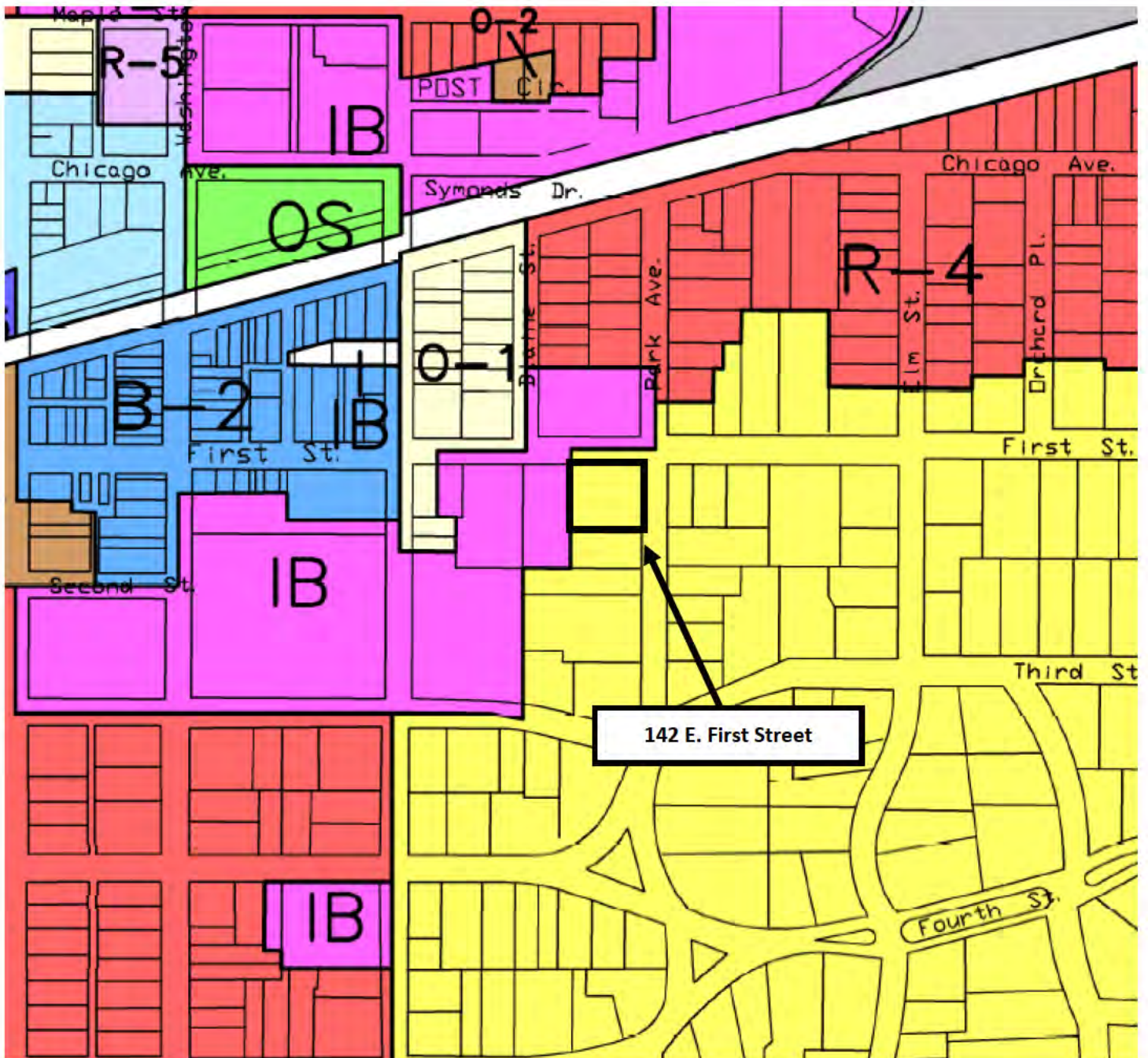
1. I move to approve Case HPC-15-2025 – 142 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District
2. I move to approve HPC-15-2025 – 142 E. First Street – Application for a Certificate of Appropriateness to Construct a New Single-Family Home in the Robbins Park Historic District

ATTACHMENTS

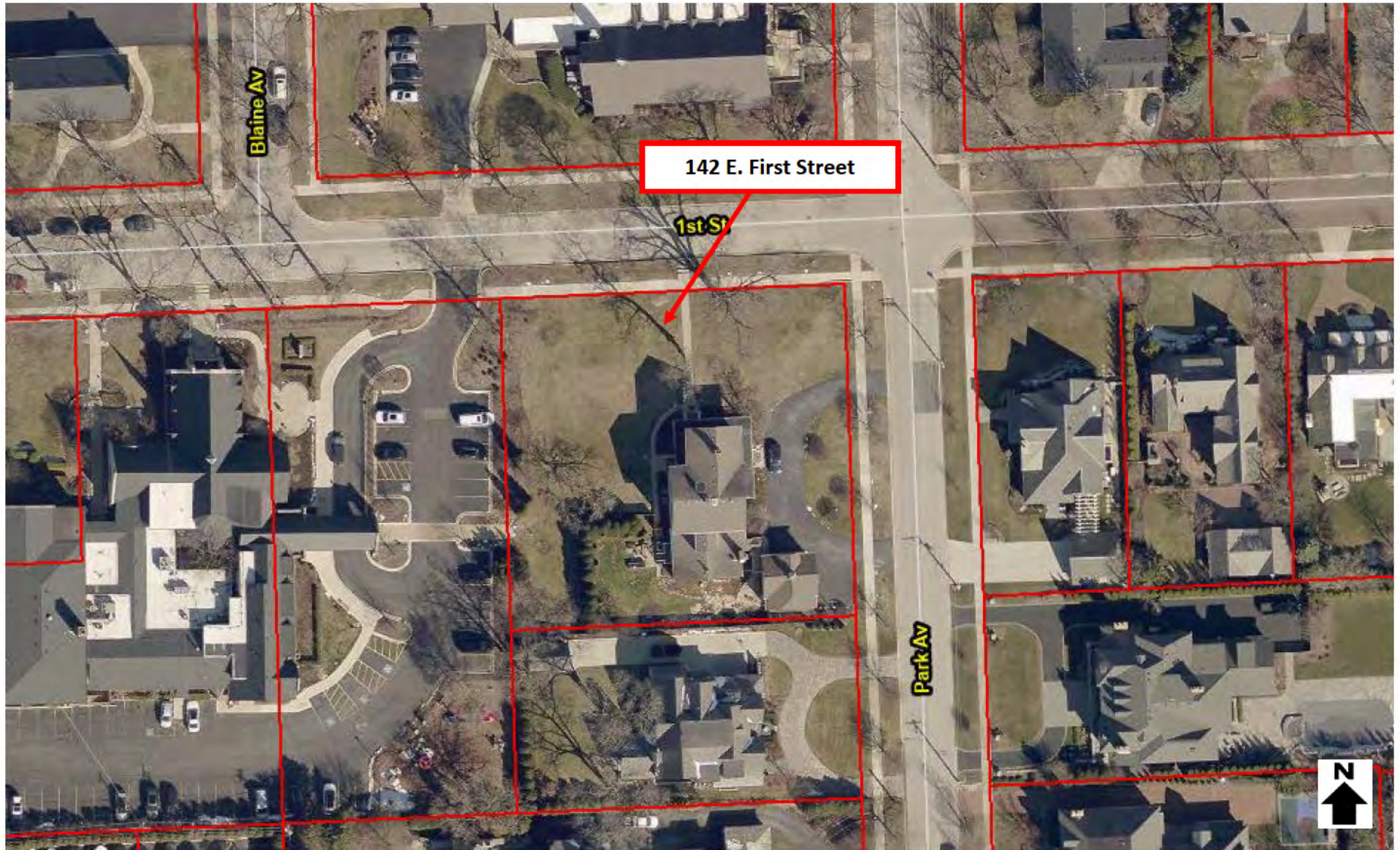
1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Robbins Park Historic District Map
6. National Register of Historic Places Sheet
7. Robbins Park II Architectural Resources Survey Sheet (2002) & Historic Information
8. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
9. Design Review Meeting Summary – April 28, 2025
10. Comparison of Renderings – Design Review Team Meeting vs. Historic Preservation Commission Meeting
11. Application for a Certificate of Appropriateness and Exhibits



Village of Hinsdale Zoning Map and Project Location



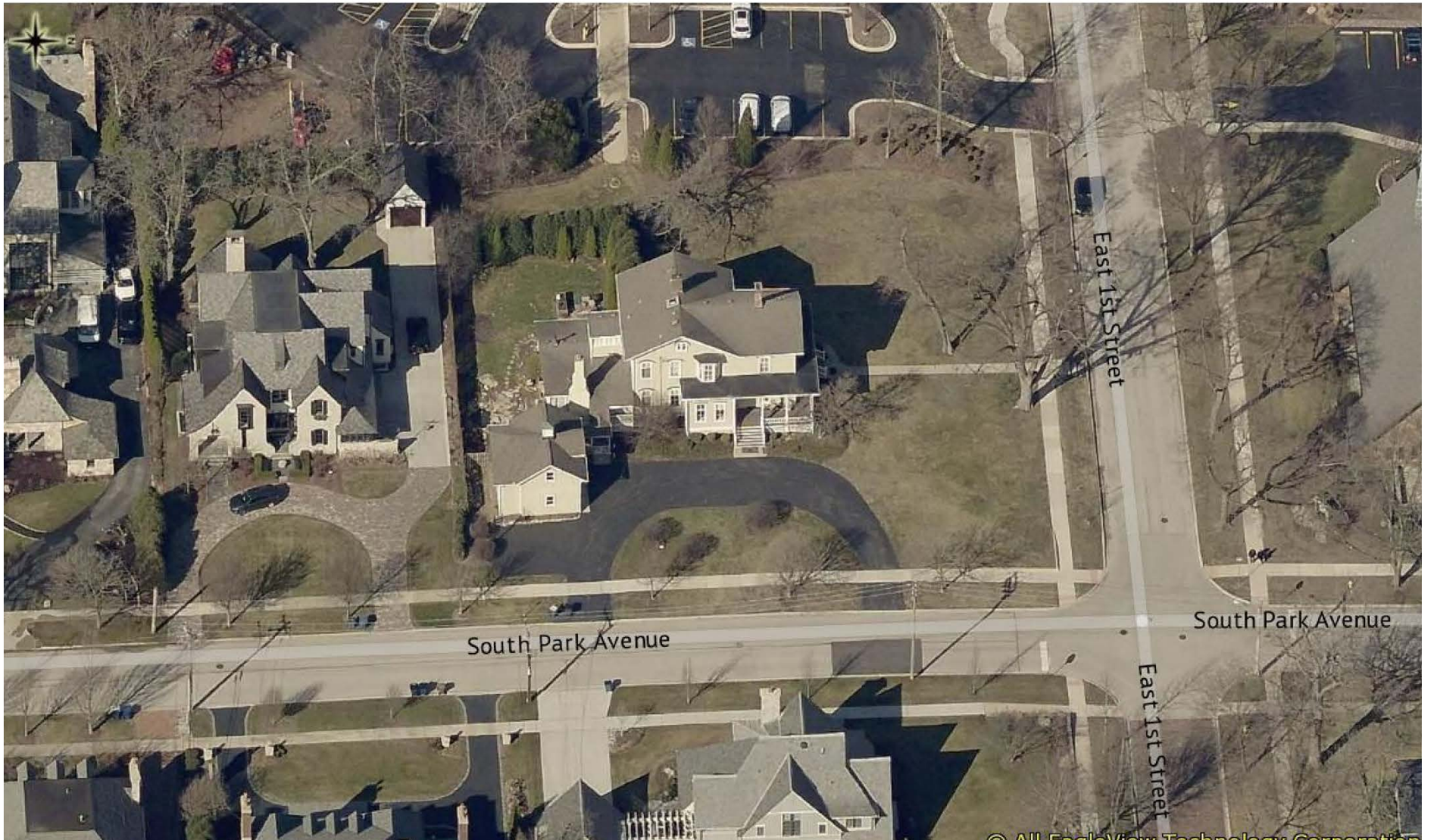
Aerial View – 142 E. First Street



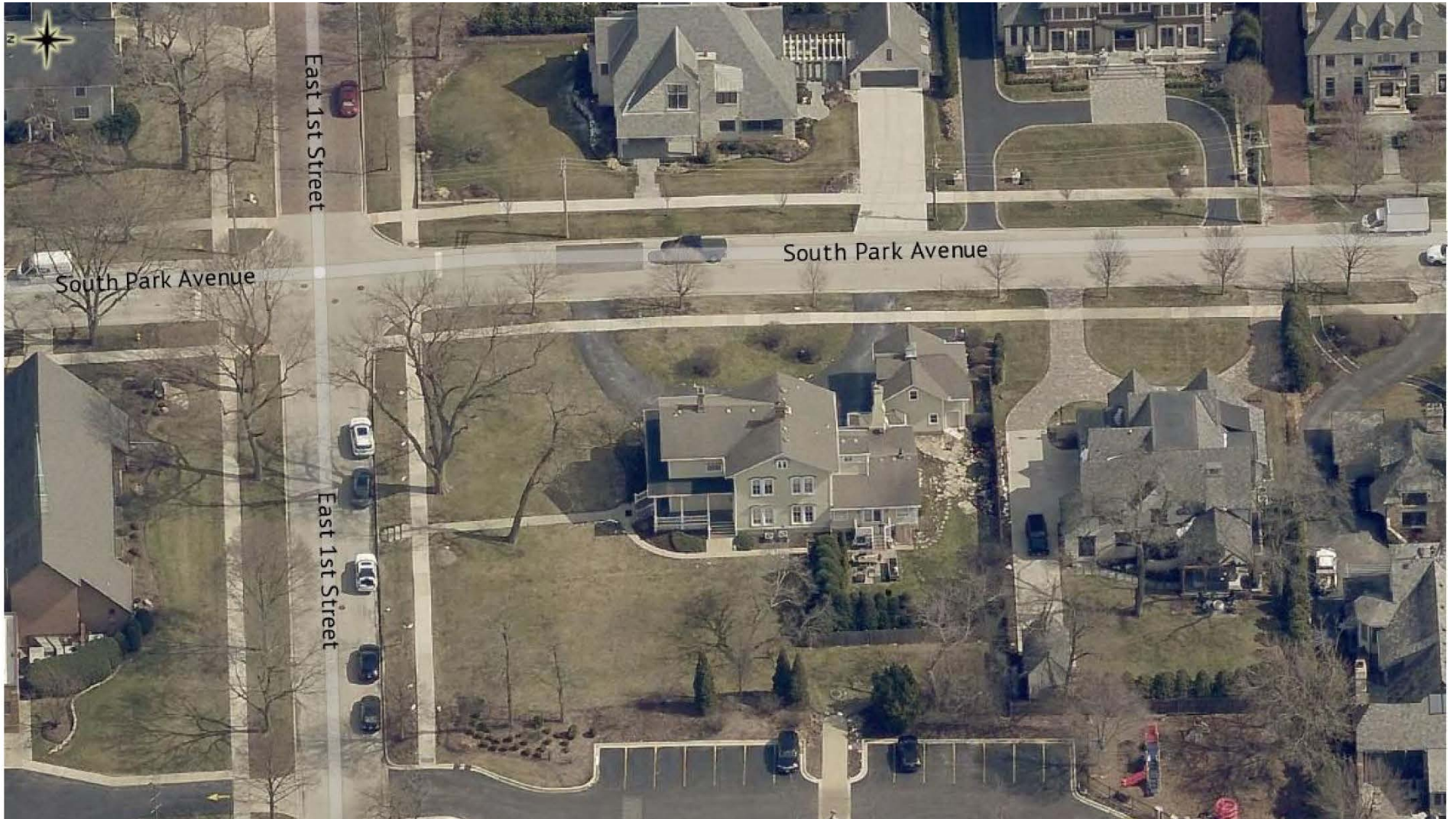
Birds Eye View – 142 E. First Street



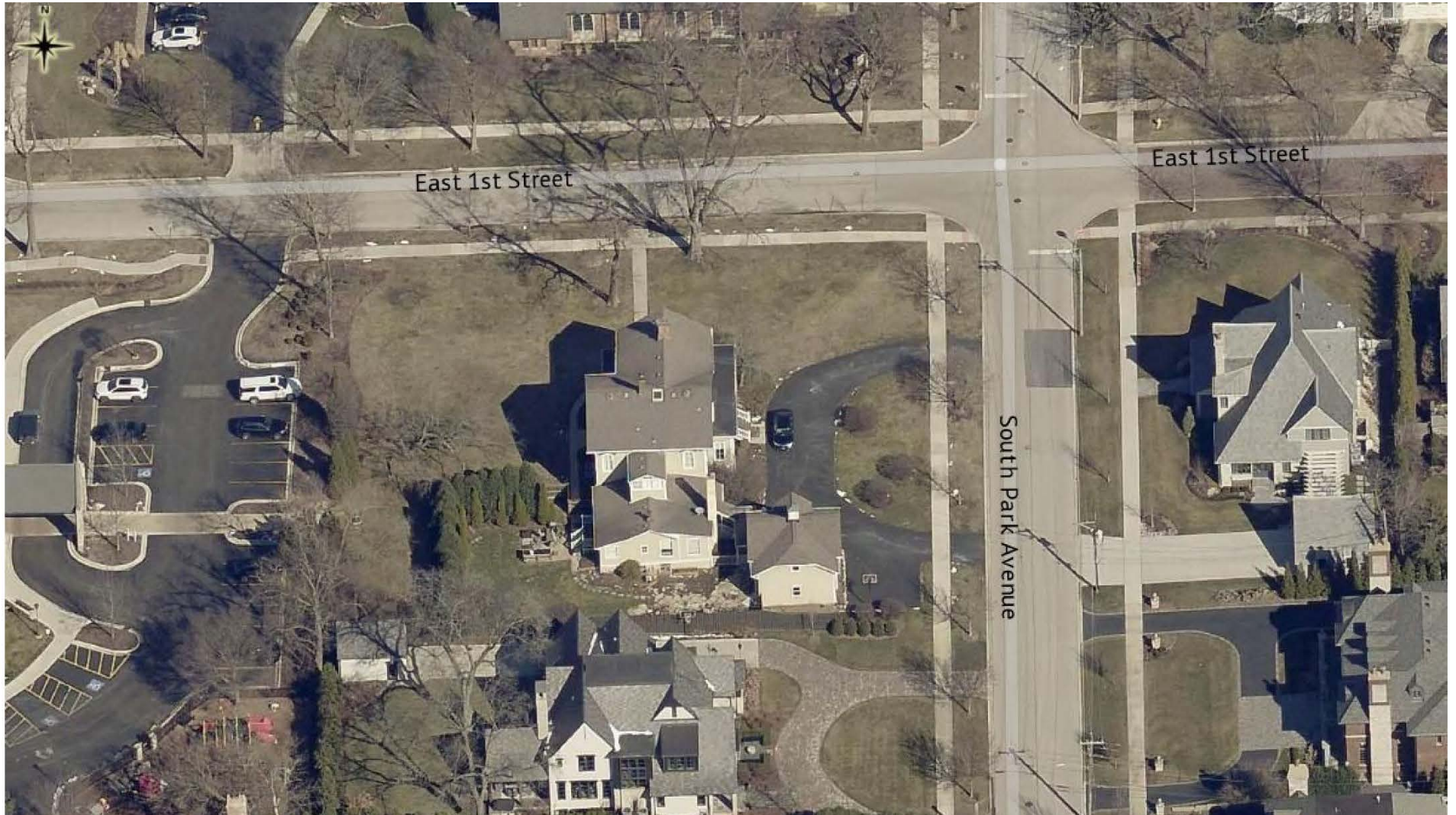
Birds Eye View – 142 E. First Street



Birds Eye View – 142 E. First Street



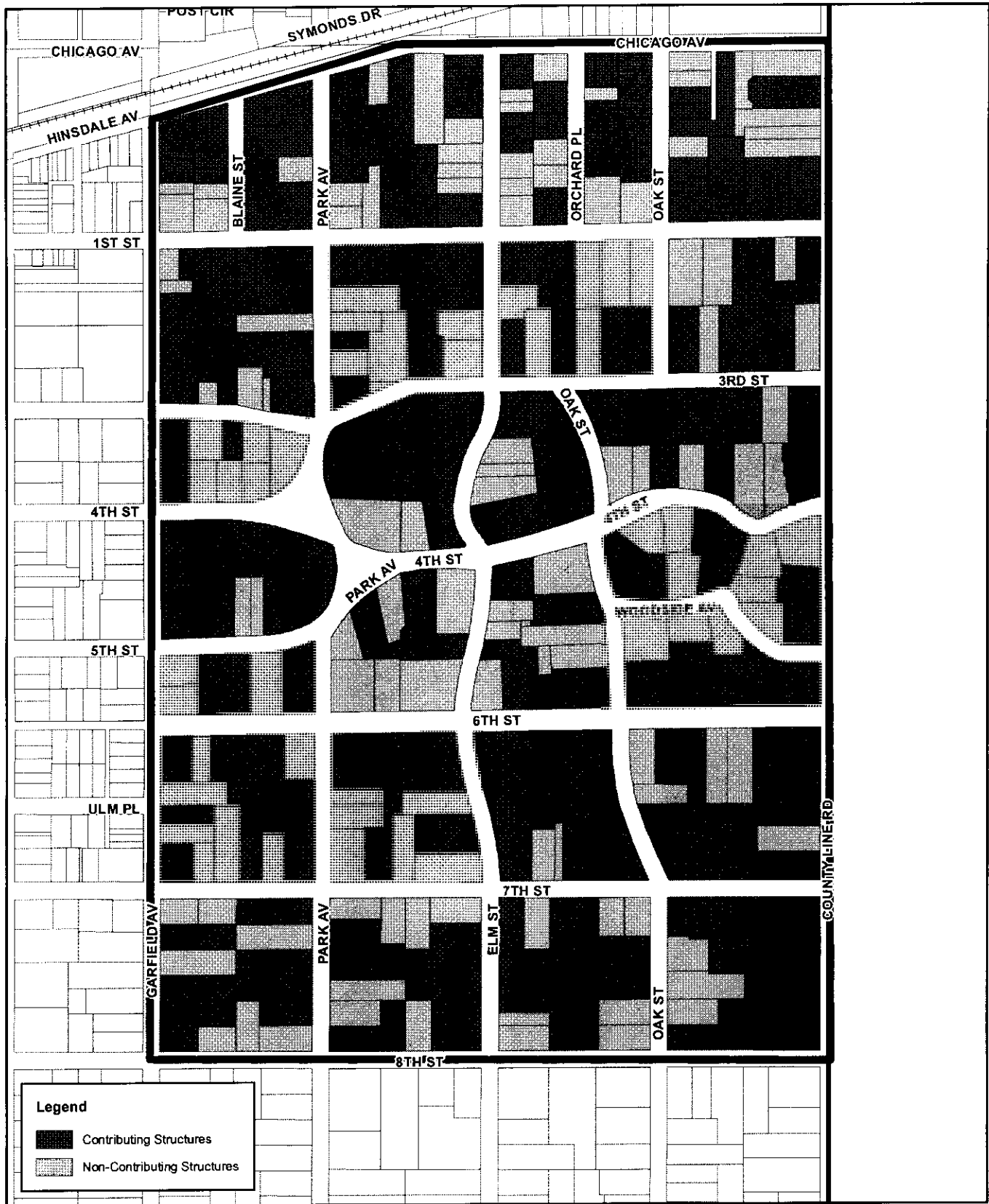
Birds Eye View – 142 E. First Street



Street View – 142 E. First Street



ROBBINS PARK HISTORIC DISTRICT



0 250 500 1,000 Feet



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 11

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO.	STREET	ARCH CLASS	DATE	HISTORIC NAME	OR NC	SECONDARY STRUCTURES COR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
105	E FIRST	Freestanding	1984	The Professional Center of Hinsdale	NC		Mizani & Associates		
108	E FIRST	Vacant			NC	NC			detached garage
114	E FIRST	School/Tudor Revival	1956	Grace Episcopal School	C	-			
115	E FIRST	Neo-Colonial	c. 1975		NC	-			
120	E FIRST	Church/Gothic Revival	1885	Grace Episcopal Church	C				
130	E FIRST	Vacant			NC	-			
139	E FIRST	Church/Contemporary	1958	Redeemer Lutheran Church	C	-			
142	E FIRST	Italianate	1869	Whitney, William House	C	C			detached garage
212	E FIRST	Tudor Revival	1924	Johnson, Frank C. House	C	NC		Soltwisch, William and Sons	detached garage
215	E FIRST	Neo-Tudor Revival	1974		NC	-	Pieple	Mac Diarmid & Palumbo	
218	E FIRST	Colonial Revival	1949	Watt House	C	NC	Field, Harford	Wendell, A. W. & Sons	detached garage
219	E FIRST	Dutch Colonial Revival	1924	Nold, John H. House	C	C	Barfield, William Gibson	Soltwisch, William	detached garage
225	E FIRST	Colonial Revival	c. 1900		C	-			
230	E FIRST	Colonial Revival	1898	Butler, Frank Osgood House	C	C	Ashby, George William		coach house
241	E FIRST	Queen Anne	1887	Clarke, Robert and Mary House	C	-	Isaacson, G.		
244	E FIRST	Colonial Revival	1893	Mitchell, George H. and Carrie R. House	C	C	Shepley, Rutan & Coolidge		detached garage
305	E FIRST	Queen Anne	c. 1895	Shaw House	NC	NC			detached garage
306	E FIRST	Romanesque Revival	1890	Grant, Elizabeth House	C	NC			detached garage
316	E FIRST	Dutch Colonial Revival	c. 1894	Hinckley, William B. House	C	C			detached garage
317	E FIRST	Queen Anne	1888	Mihm, Charles and Mary House	C	NC			detached garage
326	E FIRST	Neo-Traditional	1957	Sherman, Mr. & Mrs. J. House	NC	-	Smithson, A. T. Jr.	Wendell & Sons, A. W.	
335	E FIRST	Neo-Traditional	2002		NC				

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**Robbins Park Historic District
Hinsdale, DuPage County, IL**

The Congregational congregation was organized in 1866. They began construction of their original building in 1873, and completed it in 1881. That structure was razed in 1916 for the current building constructed by William Soltwisch and Henry Bucholz. It was consolidated and became the Union Church in 1918.

Redeemer Lutheran Church was derived from Zion Lutheran Church and organized in 1922. The congregation joined the English District of the Missouri Synod in 1925. The group's first church building was replaced by the current structure in 1958.

The First Church of Christ, Scientist was first organized and recognized as a branch of the Mother Church in 1931. Prior to the construction of their present church building in 1950-1951, they held regular services in the auditorium of the Monroe School. The congregation also maintains a reading room at 14 E. 14th Street in Hinsdale.

PROMINENT RESIDENTS OF THE ROBBINS PARK HISTORIC DISTRICT

Prominent late 19th- and early 20th-century residents of Hinsdale lived in the Robbins Park Historic District. Many were Chicago businessmen who traveled to and from the City of Chicago on the Burlington line daily. Based on *Chicago Blue Books*, available *Hinsdale City Directories*, and other published sources, the known homes built by notable Hinsdale residents in the Robbins Park Historic District include:

- Lawrence Reginald Capes, 330 S. County Line Road, Treasurer and Directory of Charles H. Besly & Company, a machinist's supply company.
- William Whitney, 142 E. First Street, State Legislator and Village incorporator.
- Frank Osgood Butler, 230 E. First Street, Vice President of J.W. Butler Paper Company.
- George H. Mitchell, 244 E. First Street, President of Mitchell Granite Company of Chicago.
- William G. Barfield, 136 S. Oak Street, Architect.
- Alfred Payne, 14 Orchard Place, Portrait Artist.
- Howard George Hetzler, 26 S. Park Avenue, Superintendent of the Chicago

**United States Department of the Interior
National Park Service**

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**Robbins Park Historic District
Hinsdale, DuPage County, IL**

overhanging eaves supported by ornamental brackets frequently found in pairs. Tall narrow windows topped by decorative lintels are common. One principal urban subtype found in large cities is a frame or brick style with a gable roof and Italianate details.

There are six Italianate-style houses in the Robbins Park Historic District. Of these, four are locally significant. They include the David Roth House at 222 E. Chicago Avenue built in 1866; the William Whitney House at 142 E. First Street built in 1869; the Landis House at 332 S. Elm Street built in 1873; and the F. A. McIntyre House at 639 S. Garfield, built 1873. The Whitney House at 142 E. First Street was listed on the National Register of Historic Places in 1989 for its historic associations with William Whitney, a state legislator responsible for incorporating the village of Hinsdale. It is known locally as the Hallmark House, having been featured on a national television commercial for Hallmark Cards in 1970. William Whitney's daughter, Augusta Sawyer, built an Italianate style home of her own next door to the west in 1875. After serving the Grace Episcopal Church Rectory since 1953,²⁷ the church will be demolishing the home at 130 E. First Street in May 2008 for a parking lot.

The David Roth House at 222 E. Chicago Avenue is an outstanding example of Italianate-style architecture in Hinsdale. Of the hipped roof asymmetrical type, characteristic Italianate features include the scroll brackets and dentil trim under the wide eaves, the segmental arched and dog-eared window hoods and surrounds, and the arched front entry with paired wood doors. The front porch wraps around the front and both sides of the house and has restored porch columns typical of the style. The porch balustrade has been removed. Existing six-over-six and six-over-nine wood windows appear to be a historic alteration. At one time, the Roth property was five acres and covered with fruit trees.²⁸

Another notable frame Italianate-style residence is the Landis House, built in 1873 at 332 S. Elm Street. Arched front windows with label and dog eared moldings distinguish the house. Also of interest is its front entry door with sidelights and transom and south side bay window with hipped roof. The wrap around front porch is a later addition, but historic.

²⁷ Sterling, Mary. *Hinsdale's Historic Houses. Volume 1*, p. 41.



²⁸ Chamberlain, Everett. *Chicago and Its Suburbs*, 1874, p. 419.



Village of Hinsdale
Community Development Department
 19 E. Chicago Avenue
 Hinsdale, Illinois 60521
 (630) 789-7030

HISTORICALLY SIGNIFICANT STRUCTURES PROPERTY LIST

PROPERTY INFORMATION SHEET

Address 142 E. First Street	
County DuPage	
PIN / Parcel Number 09-12-207-026	
Zoning District R-1 Single Family Zoning District	
Land Use Single-Family / Former Rectory	
Historic Name William Whitney House / Hallmark House	
Architect N/A	
Date Constructed 1869	
Architectural Style Italianate	
Past Historic Surveys / Historic Significance <ul style="list-style-type: none"> Reconnaissance Survey (1999) - Significant / National Register / Historically Significant Robbins Park I Survey (2002) – Significant Listed on the National Register of Historic Places (1989) Referenced in "Hinsdale's Historic Homes and the People Who Lived in Them", Volume 1, Mary Sterling, 1997 	
Additional Photos <div style="text-align: center;">  </div>	

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #	142
DIRECTION	E
STREET	FIRST
ABB	ST
PIN	
LOCAL SIGNIFICANCE RATING	S
POTENTIAL IND NR? (Y or N)	Y
CRITERIA	
Contributing to a NR DISTRICT?	C
Contributing secondary structure?	C
Listed on existing SURVEY?	NR; IHSS, HHS/plaque; Arch



GENERAL INFORMATION

CATEGORY	building	CURRENT FUNCTION	Domestic - single dwelling
CONDITION	excellent	HISTORIC FUNCTION	Domestic - single dwelling
INTEGRITY	minor alterations and addition(s)	REASON for SIGNIFICANCE	Listed individually on the National Register of Historic Places in 1989 for its historic associations with early Hinsdale resident, William Whitney.
SECONDARY STRUCTURE	detached garage		
SECONDARY STRUCTURE			

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	Italianate	PLAN	L
DETAILS		NO OF STORIES	2
DATE of construction	1869	ROOF TYPE	Cross gable
OTHER YEAR		ROOF MATERIAL	Asphalt - shingle
DATESOURCE	NR nomination	FOUNDATION	Stone
WALL MATERIAL (current)	Wood	PORCH	Wrap around
WALL MATERIAL 2 (current)		WINDOW MATERIAL	wood
WALL MATERIAL (original)	Wood	WINDOW MATERIAL	
WALL MATERIAL 2 (original)		WINDOW TYPE	double hung/fixed
		WINDOW CONFIG	2/4; 6 light
SIGNIFICANT FEATURES	Three bay front façade; windows with segmental arch hoods; paired wood scroll brackets and dentil trim; wrap around front porch with slender columns and wood balustrade; paired front entry doors with panels and segmental arch hood; paired attic windows		
ALTERATIONS	Rear one story addition, breezeway, and attached garage (1988)		

HISTORIC INFORMATION

HISTORIC NAME	Whitney, William House
COMMON NAME	
PERMIT NO	8753; 13601
COST	
ARCHITECT	
ARCHITECT2	
BUILDER	
ARCHITECT SOURCE	



HISTORIC INFO William Whitney was a state legislator who was responsible for incorporating the Village of Hinsdale. In 1970, the house was featured in a national television commercial by Hallmark Cards, thus leading to it being locally known as the "Hallmark House."

LANDSCAPE Large corner lot on a primarily residential street (SW corner First and Park Ave); mature trees; rear driveway; house faces north

PHOTO INFORMATION

ROLL1	3
FRAMES1	24-25
ROLL2	
FRAMES2	
ROLL3	
FRAMES3	
DIGITAL PHOTO ID	

SURVEY INFORMATION

PREPARER	Jennifer Kenny
PREPARER ORGANIZATION	Historic Certification Consultants
SURVEYDATE	8/15/02
SURVEYAREA	Robbins

The Italianate style was popular in the Midwest from 1860 to 1885, when designers were interpreting architectural precedents in a romantic rather than a literal way. The style was loosely based on the Italian country villa and grew as a reaction to the formal classical ideals that had dominated art and architecture for 150 years. Italianate houses are generally a full two stories and are topped by low-pitched, hipped roofs. They have deep overhanging eaves supported by ornamental brackets frequently found in pairs. Tall narrow windows topped by decorative lintels are common. One principal urban subtype found in large cities is a frame or brick style with a gable roof and Italianate details.

There are five Italianate-style houses in the survey area. Of these, four are ranked locally significant and were included in the Illinois Historic Sites Survey. They include the Roth House at 222 E. Chicago Avenue built in 1866, the William Whitney House at 142 E. First Street built in 1869, the Landis House at 332 S. Elm Street built in 1873, and the Edgar and Augusta Sawyer House at 130 E. First Street built in 1875. The Whitney House was listed on the National Register of Historic Places in 1989 for its historic associations with William Whitney, a state legislator responsible for incorporating the village of Hinsdale. It is known locally as the Hallmark House, having been featured on a national television commercial for Hallmark Cards in 1970.



Figure 9: Roth House, 222 E. Chicago Avenue

The Roth House is an outstanding example of Italianate-style architecture in Hinsdale. Of the hipped roof type, characteristic Italianate features include the scroll brackets and dentil trim under the wide eaves, the segmental arched and dog-eared window hoods and surrounds, and the arched front entry with paired wood doors. The front porch wraps around the front and both sides of the house and has restored porch columns typical of the style. The porch balustrade has been removed. Existing six-over-six and six-over-nine wood windows appear to be a historic alteration.

GOTHIC REVIVAL

There are two variations of Gothic Revival style in the survey area, early Victorian Gothic Revival, popular in the Chicago area from about 1860 to 1880, and Late Gothic Revival, used from the late 19th century through the 1920s. The Victorian Gothic Revival style takes its inspiration from Europe's great medieval cathedrals, which were characterized by verticality, structural expression, and richly carved stonework. The relationship, however, is more sentimental than literal. In Gothic Revival houses, steeply pitched gable roofs are often decorated with crisply cut ornamental barge board (commonly called gingerbread) or stickwork

142 E. First



One of Hinsdale's oldest and best-known homes, the Hallmark House at 142 E. First Street, is owned by the Grace Episcopal church and used as the rectory for Rev. John Lawrence. This charming Italianate-style house, with rounded windows and square nails, has had many alterations and many owners over the years. It has managed, however, through diligent preservation, to keep its outside appearance virtually untouched since it was built in 1869.

In 1989 its owners Frederick C. and Elaine Cue researched its history so thoroughly that it was placed on the National Register of Historic Places, the only building in Hinsdale to be graced with that designation. Its official title is now the William Whitney House.

The Hallmark Card Company used the house as the lovely setting for a television commercial in 1970, hence the well used nickname, Hallmark House.

The house has had 20 owners. It was built originally for Levi and Maria Stodder of Naperville. They lived there only a few months before selling to a prominent man of the time, William M. Whitney, a real estate developer and DuPage County's sole

representative to the state legislature from 1871-1873. Whitney helped with the incorporation of Hinsdale as a village in 1873.

The property originally had a larger adjacent yard. In 1875, Whitney sold the west 120 feet of the property to his daughter and son-in-law, who built the house currently used as the rectory for Grace Episcopal Church.

After a few other owners, the George Hinckley family bought the house in 1882 and retained ownership until 1915. A fascinating facet about their time is that the Hinckley family rented the house for the summer to the Robert W. Clarke family of Chicago. The following year the Clarke family returned to Hinsdale and built their home on the northwest corner of First and Elm streets. The Clarkes still continue to add to the fullness of Hinsdale's history.

Some of the other owners include Dr. and Mrs. William Wilson. He practiced medicine out of an office on the ground floor from 1912-1927 and used the door to the east on the front porch for an entrance for his patients into his office on the first floor. A carriage house at one time stood behind the house. A neighbor recalls "learning to smoke" behind it while growing up in the 1930s.

James Proctor Brown wrote to explain that his family, the J. McAfees lived in this house during World War II and that the family still has fond memories of it. He remembers the Victory Garden his grandfather kept in the yard and even the weddings he attended as a child. His aunt took some of the old shutters from this house and used hinges to make them into an indoor screen for her home. Mr. Brown is now a professor at a university in Virginia.

Elaine and Fred Cue who owned the house from 1983 until 1995 did a marvelous job of caring for the old beauty. Fred was a credit to the history of Hinsdale having served as president of the Hinsdale Historical Society and having helped in the Fullersburg Foundation. It is Fred who developed the packet homeowners receive from the Historical Society when they wish to research their homes. He did much to help preserve the history of this fine village. Sadly, Fred died unexpectedly a few years ago. Elaine Cue sold the house to the Grace Episcopal Church in 1995 to be used as their rectory.

This is truly one of Hinsdale's magnificent homes and a credit to the village. In 1990 this house won the Hinsdale Historical Society's Historic Preservation Award in the residence category.



Residence of G.W. Hinckley - 1886

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 18). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1. Name of Property

historic name William Whitney House
other names/site number "Hallmark House"

2. Location

street & number 142 East First Street ☐ not for publication
city, town Hinsdale ☐ vicinity
state Illinois code IL county DuPage code 043 zip code 60521-4202

3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	Contributing	Noncontributing
<input type="checkbox"/> public-local	<input type="checkbox"/> district	1	1
<input type="checkbox"/> public-State	<input type="checkbox"/> site		buildings
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure		sites
	<input type="checkbox"/> object		structures
		1	1
			objects
			Total

Name of related multiple property listing: N/A
Number of contributing resources previously listed in the National Register -0-

4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this ☒ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property ☒ meets ☐ does not meet the National Register criteria. ☐ See continuation sheet.

Signature of certifying official

Date

Illinois Historic Preservation Agency

State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. ☐ See continuation sheet.

Signature of commenting or other official

Date

State or Federal agency and bureau

5. National Park Service Certification

I, hereby, certify that this property is:

☐ entered in the National Register.☐ See continuation sheet.☐ determined eligible for the National Register. ☐ See continuation sheet.☐ determined not eligible for the National Register.☐ removed from the National Register.☐ other, (explain:)

Signature of the Keeper

Date of Action

6. Function or Use

Historic Functions (enter categories from instructions)

Domestic/single dwelling

Health care/medical business/office

Current Functions (enter categories from instructions)

Domestic/single dwelling

7. Description

Architectural Classification

(enter categories from instructions)

Late Victorian/Italianate

Materials (enter categories from instructions)

foundation Limestone

walls Wood/weather board

roof Asphalt

other

Describe present and historic physical appearance.

Overview

The William Whitney House is located in the center of Hinsdale on the southwest corner of First Street and Park Avenue, one block east of the commercial area and one block south of the Burlington Railroad tracks. The Whitney House stands in its original location on a slight rise overlooking a quiet street of stately churches and traditional homes, surrounded by full grown American elms and other mature shade trees.

Built in 1869 as one of the first residences in Hinsdale, the Whitney House faces north from the highest part of a 177 x 170 corner lot. See Exhibit A for a plat of the site drawn in 1983. The Whitney House is shaded on three sides by six full grown American elms plus mature maple, ash, catalpa and other varieties.

The House is a wood, balloon frame structure about 80 feet deep and 35 feet wide built as an asymmetric, front gabled L-shaped structure with Italianate trim. It has two full stories for two thirds of its length with one story in the rear. A one story porch covers the entire front of the house with partial porches wrapping around the west and east sides which lead to side entrances. The Italianate style is evident by segmental arch windows, paired eave brackets, cornice rope molding, chamfered porch posts and other details. All siding is wood, most of it original.

A two car garage is located in the southwest corner of the lot. It was built in 1988 in the style of a 19th century carriage house, replacing a nondescript one story garage erected in the 1950's. The new garage is connected to the house by an open covered walkway. Except for the rear of the structure, the exterior appearance of the Whitney House is almost unchanged from 100 years ago according to a photograph taken in 1886 (See Exhibit B).

Detailed Description

Starting with the front gable side that faces north, one first sees three double hung sash windows with segmental arches on the second story. The windows are evenly spaced across the front. Directly

☒ See continuation sheet

United States Department of the Interior
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**National Register of Historic Places
Continuation Sheet**

Section number 7 Page 2 William Whitney House

below and under the front porch roof are two floor length windows on the left and a double door entrance on the right, all three having segmental arches with an additional decorative crown over the recessed doorway. The doors are nine feet tall with rounded windows in the top panels. All five windows and the entrance are flanked by arched shutters. A porch runs the full front of the House with a low railing and classically shaped balusters. On either side of the front elevation, one can see a side entrance under the roof of each of the side porches. On the right side a louvered door shows the location of a former entrance (once used as the waiting room entrance to a doctor's office) which is now sealed off. On the left, or east side, a door opens to a side entrance enclosure which provides access to a curved driveway. At the attic level in the gable, a paired window is capped by a double arched hood. A brick chimney rises through the ridge of the roof.

The east facade shows the partial porch as it continues from the front porch. It ends at the side carriage entrance. By comparing Exhibit B with an earlier sketch of the house from an 1882 bird's eye view of Hinsdale (Exhibit C), we have concluded that the entrance and the side porch were added between 1882 and 1886. Above the side entrance roof on the second story is a bay window believed to have been directly below on the first floor until the side entrance was added. All four windows on the main wall have segmental arches. The three windows in the side entrance and the bay window have flat tops. Like the front gable, the east gable contains the same paired window capped with a double arched hood. The one story south end of the House was extended in the 1950's to enlarge the summer kitchen into a family room. It has two rectangular windows and a rear entrance door. A two story brick chimney was added at the same time to vent a new family room fireplace.

The south side of the house still shows the original roof line of the summer kitchen even though the side walls have been extended to the full width of the main structure. The original kitchen chimney remains near the rear wall although it is now sealed off from use. Sitting on top of the kitchen roof is a many windowed "cure porch" built in the World War I era for a child with tuberculosis. It is accessible from the rear of the second floor hallway.

The west side of the one story extension shows the extended summer kitchen wall with two windows and a sliding glass door, the latter with an entrance landing. The two story main structure has four paired windows, all capped by double arch tops and flanked by arched shutters. The west gable, as in the other two gables, contains a

United States Department of the Interior
National Park Service

**National Register of Historic Places
Continuation Sheet**

Section number 7 Page 3 William Whitney House

paired window capped with a double arched hood. A third chimney rising from the rear main roof is also visible. When built it vented a central hot air furnace. Today it is used for a modern gas-fired hot water furnace.

The entire area under the house contains a basement except for the space under the east entrance. Basement walls consist of limestone blocks and irregular stone shapes laid 16 inches thick with lime mortar except for a 25 foot poured concrete section under the southeast extension of the summer kitchen. The roof of the main structure was originally wood shingles but is now covered with asphalt shingles, as are the roofs of the summer kitchen/family room and "cure porch". All window sashes in the entire house are original and over 90% of the panes appear to be original glass.

In addition to a major exterior remodeling in the 1880's and the widening of the summer kitchen into a family room in the 1950's, the interior spaces have been changed several times. Based on extensive study of the structure by the author, the floor plan has undergone at least four major changes in the 120 year history of the House. See Exhibit D.

Description of the interior

Despite many interior changes, most details remain original. As one enters the front hall through the double door entrance, the eleven foot ceiling conveys a spaciousness not suspected from the outside. A curved stair with a walnut bannister reaches to the second floor hall. To the left of the front entrance the front parlor continues to be graced with the original marble fireplace. Original moldings frame most doorways and windows. Upstairs the spacious feeling continues with nine foot ceilings in all four bedrooms. The master bedroom was created in 1982 from two smaller bedrooms.

The basement remains unfinished. In fact, two areas remain with a dirt surface. The Attic contains two interesting features -- a water tank, now disconnected, and the parlor fireplace chimney which twists and shifts, by offset placement of several courses of brick, so that the chimney exits in the center of the roof even though it ascends through the floor off center and at a 90 degree angle. A rear stair connects the south end of the second floor with the family room in the summer kitchen area.

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William Whitney House

Summary

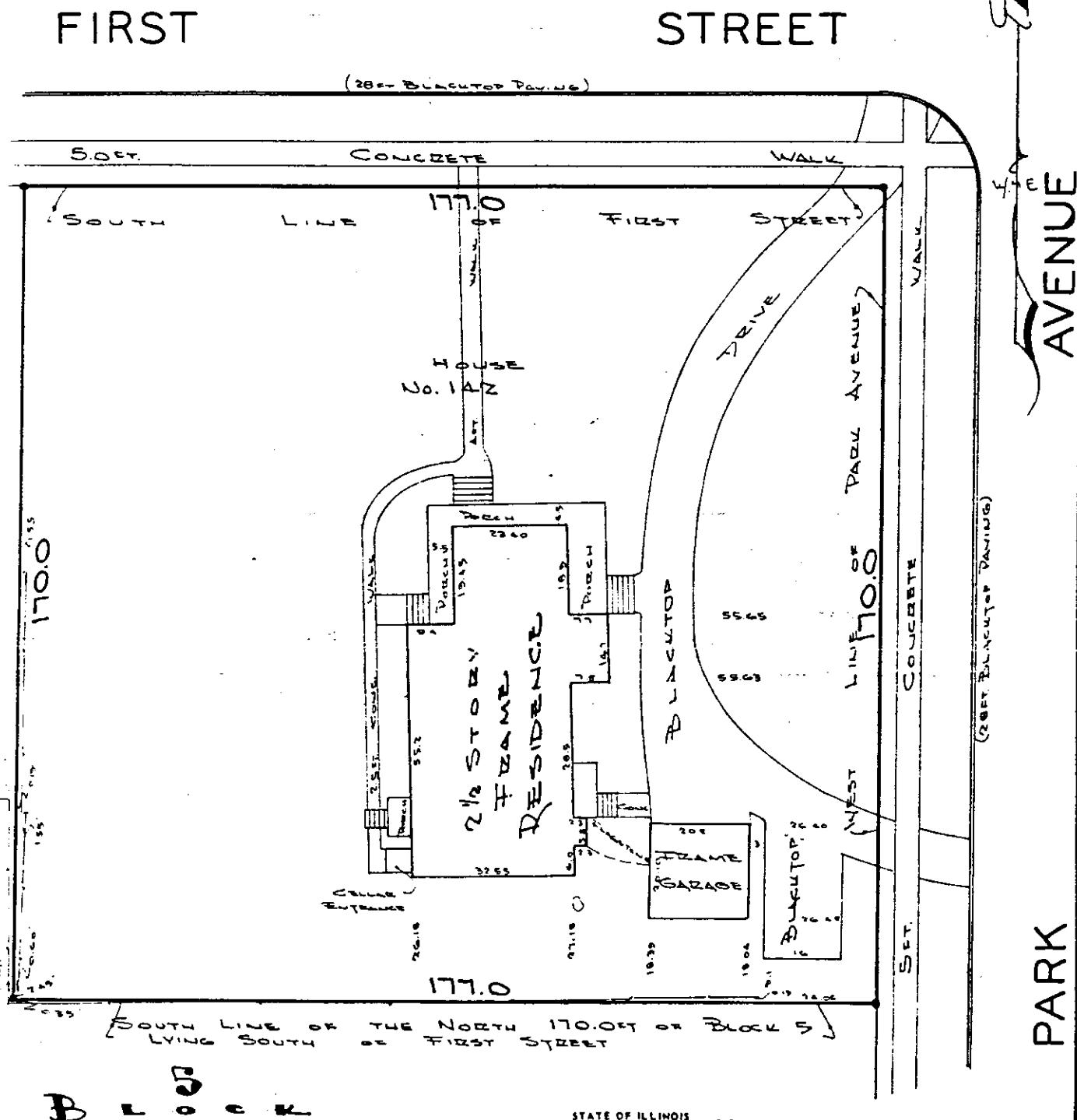
Despite remodeling of the summer kitchen area in the 1950's, the Whitney House has excellent exterior architectural integrity. It is by far the best preserved of five or six remaining Italianate structures in Hinsdale. Because of its architectural integrity and central location, it is one of the best known structures in Hinsdale and the surrounding area.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 5 William Whitney House

EXHIBIT A
William Whitney House
Plat of Property



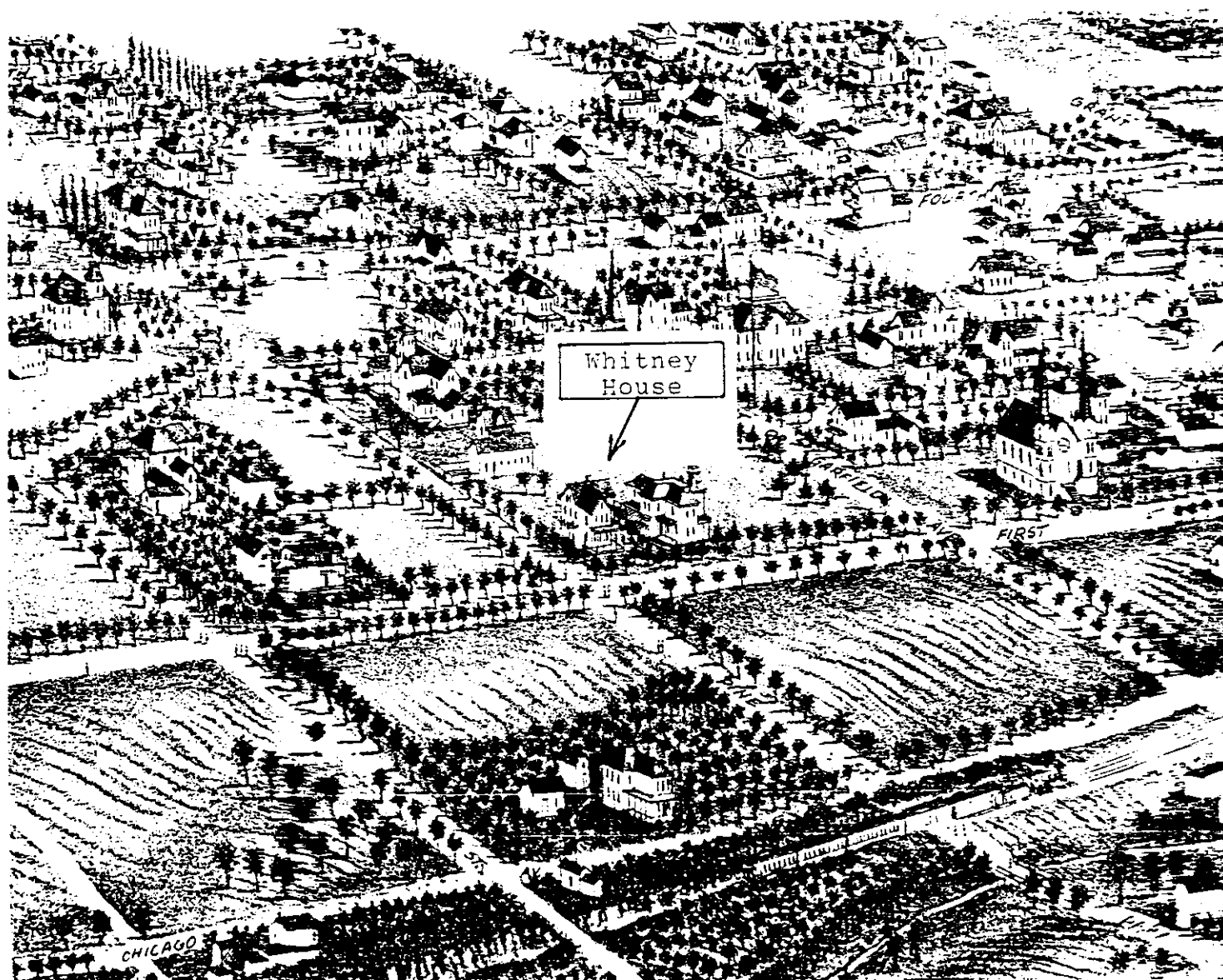
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National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 6

William Whitney House

EXHIBIT C
William Whitney House
Bird's Eye View of Hinsdale-1882



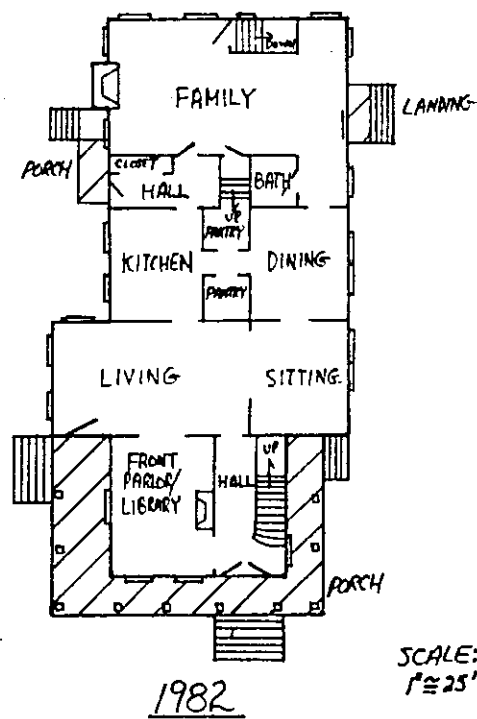
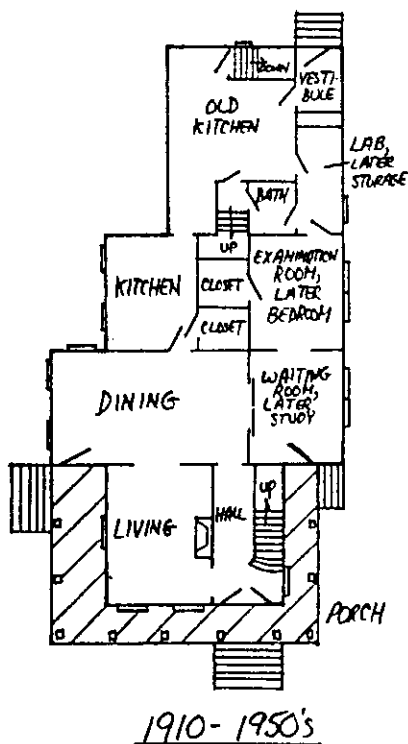
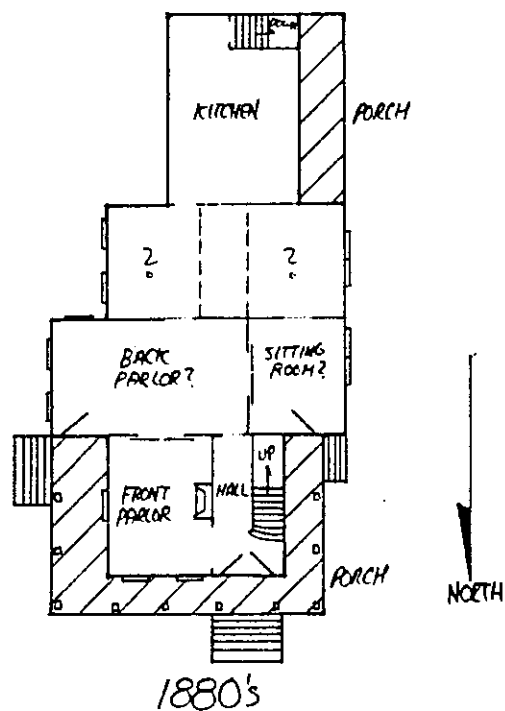
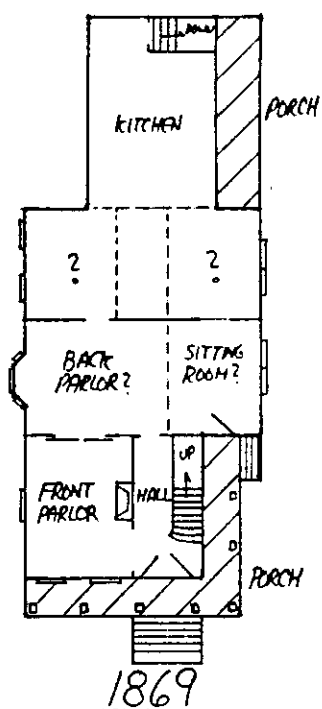
United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 7

William Whitney House

EXHIBIT D
William Whitney House
First Floor Plan



SCALE:
1" = 25'

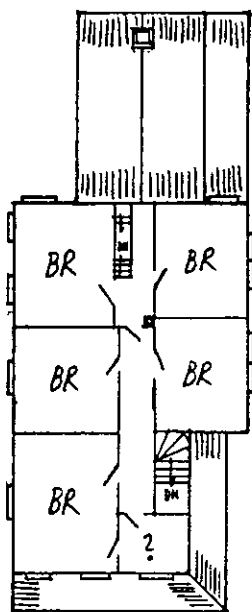
United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

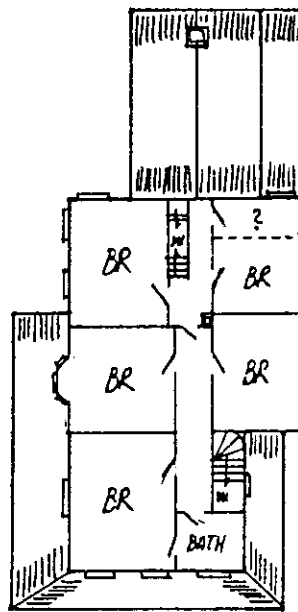
Section number 7 Page 8

William Whitney House

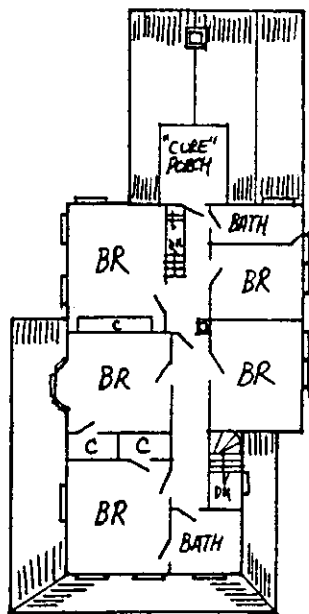
EXHIBIT D(continued)
William Whitney House
Second Floor Plan



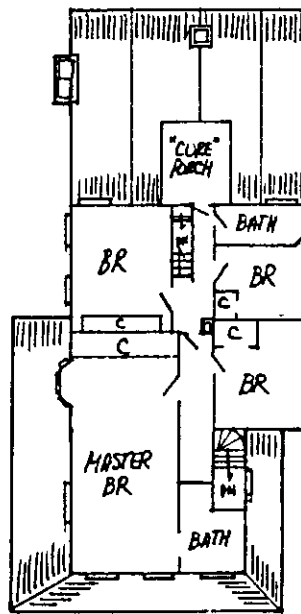
1869



1880's



1910-1981



1982

SCALE:
1" = 25'

8. Statement of Significance

Certifying official has considered the significance of this property in relation to other properties:

☐ nationally ☐ statewide ☒ locally

Applicable National Register Criteria ☐ A ☒ B ☐ C ☐ D

Criteria Considerations (Exceptions) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G

Areas of Significance (enter categories from instructions)
Politics and government

Period of Significance
1872-1873

Significant Dates
1872, 1873

Cultural Affiliation
N/A

Significant Person
Whitney, William M.

Architect/Builder
Unknown

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

Summary

The William Whitney House meets Criterion B for listing on the National Register of Historic Places because it is associated with William Whitney, the man who got Hinsdale incorporated as a village in 1873. Whitney, who resided in the house from 1870 to 1879, rose to prominence in DuPage County political and business affairs in the 1860's until misfortune caused him to drop from view in the mid 1870's. His subsequent obscurity led a historian 100 years later to aptly characterize Whitney's role in founding the village as "Forgotten man, memorable deed" (1).

Who was William Whitney?

In 1858 at the age of 28 William Whitney, his wife Sarah and five year old daughter Augusta came to Illinois from upstate New York and settled in Winfield, a small town in west central DuPage County (2). In 1860 the ambitious Whitney was elected county Circuit Clerk and Recorder and served until 1868 (3). In 1862 the Whitneys, the family now larger by two more daughters, moved to Naperville, probably to be closer to County offices which at that time were located there. In 1868 the county seat was transferred to Wheaton, a controversial event (4) which may have caused Whitney to serve his final term as Clerk. Another reason to leave this position may have been his growing real estate business activity. Beginning in 1865 Whitney became involved in numerous transactions in DuPage County real estate as an agent, developer and investor. In 1868 with partner Charles W. Richmond they platted one of the first subdivisions in Downer's Grove, the Whitney and Richmond addition (5). In the prior year Whitney bought his first property in Hinsdale, a half block for \$1,000 which he sold three years later for \$3,000 (6). In 1870 Whitney, his wife Sarah, now six daughters, a son and two servants moved to the just completed house in Hinsdale on First Street, the

☒ See continuation sheet

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subject of this nomination. The 1870 census shows that the Whitneys declared real and personal property worth \$17,000, an amount which marked them as one of the most well-to-do families in the village.

In the fall of 1870 Whitney was elected as DuPage County's sole Representative to the State Legislature where he served in the 27th General Assembly for two years. At the 1872 session the Assembly passed a new general incorporation law effective July 1, 1872 which empowered the Secretary of State under the newly adopted 1870 State Constitution to issue certificates of incorporation instead of the Legislature. It is possible that voting for this law spurred Whitney to seek incorporation for his newly adopted village later that year (7).

The Incorporation of Hinsdale

Whitney's role in the incorporation of Hinsdale was described by Timothy Bakken in his recent history of Hinsdale as follows:

"After the adjournment of the 27th General Assembly in April 1872, Whitney headed home for Hinsdale with the intention of getting his Village chartered, and that summer he drafted a petition to the County Judge asking for a referendum on the matter. He wrote out a faircopy of the petition, dating it August 1, 1872; affixed his signature as the first to the document; and during the next month persuaded various friends and neighbors to sign it also. It was then proudly presented to County Judge Myron C. Dudley . . . the petition was signed by 37 of the most prominent residents."(8)

Judge Dudley approved the petition and set the voting day for March 29, 1873. The referendum was overwhelmingly approved 60 to 2. Judge Dudley certified the results and declared that ". . . said proposed Village . . . shall from henceforth be deemed an organized village"(9). To again quote Bakken,

". . . it is probable that William Whitney, who had so far capably carried through the incorporation of the Village, was now the one who arranged Hinsdale's first election and buttonholed a few men to run for office."(10)

In the first election held on April 15, 1873, six trustees were selected who in turn elected two village clerks, a police magistrate and one of their own as village President. The village of Hinsdale now had a working government to guide its growth and improvement.

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Significance of Incorporation

How does the incorporation fit into the context of early Hinsdale? Hinsdale is one of Chicago's oldest suburbs with its first streets being platted in 1865, the year the Chicago, Burlington, and Quincy Railroad was completed to Aurora and trains began to run. A St. Louis banker, William Robbins, was the first to foresee the area's potential for development as a residential community because of the rolling terrain and its proximity to Chicago. In 1862 Robbins bought 800 acres where Hinsdale exists today for a cost of \$14 to \$20 per acre, and within a few years sold his holdings for 30 to 50 times that amount (11)!

The Whitney house, one of the first on land platted by Robbins, was initially built for Levi and Maria Stodder of Naperville for a cost of about \$3800. They moved to the new house in Hinsdale in the fall of 1869. A few months later, in February 1870, the Whitneys purchased the house for \$7500 thus giving the Stodders a substantial gain. By that time the population of Hinsdale had grown to about 500 (12). Other new residents included real estate developers, Chicago businessmen, lawyers and railroad officials. The latter may help explain the excellent rail service between Hinsdale and Chicago, with 24 trains a day for trips of 30 to 60 minutes duration according to an 1874 account (13).

While growth slowed for a time in the 1870's, as Chicago emerged as a center of transportation and manufacturing Hinsdale grew rapidly in population and reputation as a desirable suburban community. The newly incorporated village began a series of street improvements and gradually assumed additional municipal functions. By 1890 its population had grown to 1600 and the village was being touted as the "Gold Coast of DuPage". Hinsdale was the first community in DuPage County to establish a municipal water works and power plant. Palatial homes along County Line Road became known throughout the country as "Millionaires' Row". By the early 1900's "... Hinsdale was about as comfortable and prosperous a suburban town as any in America." (15). Today, 90 years later, Hinsdale's population is now 17,000 and the village continues to remain one of Chicago's most attractive and desirable suburbs. Village government remains at the center of community actions to maintain and improve Hinsdale.

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What Happened to Whitney?

In 1873 Whitney's business and political career seemed to be at a peak. In Chicago and its Suburbs, published in 1874, some three dozen leading citizens of Hinsdale were mentioned including the ". . . Honorable Wm. M. Whitney . . . and others (which) have pleasant and commodious homes"(16). But misfortune soon befell the Whitney family.

The Panic of 1873 greatly depressed real estate in the area which must have hurt Whitney's business. The death of his wife Sarah a few years later may have caused additional problems. In 1879 the Whitney House was sold for overdue property taxes going back to 1875. The selling price was 75% of the amount paid by Whitney in 1870 (17). Other real estate transactions of Whitney's showed similar results. Whitney dropped from view after serving as Hinsdale's police magistrate from 1878 to 1880, with no further record found about him in local histories, County property records or the U.S. census (18). It was not until the village's centennial in 1973 that the role of Whitney was rediscovered by Timothy Bakken, a local historian, as explained in his book Hinsdale in a chapter entitled "Forgotten Man, Memorable Deed".

While Whitney was ultimately unsuccessful in his real estate ventures, his influence in leading the local residents to incorporate certainly was, by definition, a seminal event in the history of the village. In a broader sense, he appeared to be typical of the new species of American businessman on the frontier so well described by Daniel Boorstin as

"Businessman Americanus . . . a peculiarly American type of community maker and community leader. His starting belief was in the interfusing of public and private prosperity . . . when he first appeared, his primary commodity was land and his secondary commodity transportation. This transformation of land rights and transport rights from political symbols and heirlooms into mere commodities was also an American phenomenon." (19)

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EPILOGUE

Subsequent to William Whitney 18 different families have owned his house and hundreds of people have called it home. Over the years the more noteworthy owners and residents included Adam and Emilie Glos who bought the house in 1879 for back taxes, probably as an investment. The Glos' were part of an Elmhurst family considered the richest in DuPage County at the time. Later the four offspring of the Hinckley family (1880 - 1912) became involved in law, street railways, mining and education activities across the U.S. Later residents made their mark in medicine, real estate, manufacturing and banking and three were listed in Who's Who of Chicago. In 1970 the Whitney House was featured in a national television commercial by the Hallmark Greeting Card Company (20). Because of this and its central location and excellent architectural integrity, it is now widely known locally as the "Hallmark House".

ENDNOTES

1. Bakken, Timothy, Hinsdale, the Hinsdale Doings, pp.24-26.
2. U.S. Census records on file at the Wheaton Public Library, Wheaton, Illinois.
3. Bateman, Newton and Selby, Paul(eds.), Historical Encyclopedia of Illinois and History of DuPage County, Volume II, Munsell Publishing Co., Chicago, 1913, p.642.
4. Thompson, Richard A., DuPage Roots, DuPage County Historical Society, 1985, p.42.
5. DuPage County property and tax records, Recorder and Tax Collector offices, Wheaton, Illinois.
6. Ibid.
7. Bakken, op. cit. p.24.
8. Bakken, op. cit. pp.24-25.
9. Bakken, op. cit. p. 26.
10. Bakken, op. cit. p. 27.

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11. DuPage County records, op. cit.
12. U. S. Census, op. cit.
13. Chamberlin, Everett, Chicago and its Suburbs, T. A. Hungerford and Co., Chicago, 1874, p.419.
14. Thompson, op. cit. p. 52.
15. Grow, Lawrence, On the 8:02 - An Informal History of Commuting by Rail in America, Mayflower Books, New York, 1979, p.158.
16. Chamberlin, op. cit. p. 420.
17. DuPage County records, op. cit.
18. Bakken, op. cit. p. 26 as well as author's own extensive search.
19. Boorstin, Daniel J., The Americans: The National Experience, Vintage Books Random House, New York, 1965, pp.115-116.
20. Chicago Daily News, "A Glimmer of Stardom for a Quiet Suburb", November 13, 1970. Also Chicago Tribune, "Snowy Hinsdale Home Glistens", November 26, 1970.

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Chamberlin, Everett, Chicago and Its Suburbs, T. A. Hungerford and Co., Chicago, 1874.

DuPage County property and tax records, Recorder and Tax Collector offices, Wheaton, Illinois.

Grow, Lawrence, On the 8:02 - An Informal History of Commuting by Rail in America, Mayflower Books, New York, 1979.

McAlester, Virginia and Lee, A Field Guide to American Houses, New York, Alfred A. Knopf, 1984, pp. 210-229.

Thompson, Richard A., DuPage Roots, DuPage County Historical Society, 1985.

U.S. Census records on file at the Wheaton Public Library, Wheaton, Illinois.

9. Major Bibliographical References

BIBLIOGRAPHY

Bakken, Timothy, Hinsdale, the Hinsdale Doings, 1976.

Bateman, Newton and Selby, Paul (eds.), Historical Encyclopedia of Illinois and History of DuPage County, Volume II, Munsell Publishing Co., Chicago, 1913.

Boorstin, Daniel J., The Americans: The National Experience, Vintage Books Random House, New York, 1965.

☐ See continuation sheet

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record # _____

Primary location of additional data:

- ☐ State historic preservation office
- ☐ Other State agency
- ☐ Federal agency
- ☐ Local government
- ☐ University
- ☐ Other

Specify repository: _____

10. Geographical Data

Acreage of property Less than one acre

UTM References

A 16 423195 4627910
Zone Easting Northing

C _____

B _____
Zone Easting Northing

D _____

☐ See continuation sheet

Verbal Boundary Description

The north 170.0 feet of the east 177.0 feet of the northeast quarter of block 5 lying south of the south line of First Street and west of the west line of Park Avenue, in William Robbins First Addition to Hinsdale, being a subdivision of part of the north half of the northeast quarter of Section 12, Township 38 north, Range 11, east of the Third Principal Meridian, according to ~~XXXXXXXXXXXX~~ the plat thereof recorded on October 13, 1866 as document no. 7893 in DuPage County, Ill.

Boundary Justification

The William Whitney House has historically been associated with this property.

☐ See continuation sheet

11. Form Prepared By

name/title Frederick C. Cue

organization _____

street & number 142 East First Street

city or town Hinsdale

date July 8, 1989

telephone (312) 440-6401(w), 655-0549

state Illinois zip code 60521-4202

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.



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**PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW
AD HOC DESIGN REVIEW TEAM MEETING SUMMARY**

APPLICATION: HPC-9-2025 – Preliminary Certificate of Appropriateness Review – Demolition and New Construction in the Robbins Park Historic District

ADDRESS: 142 E. First Street

MEETING DATE: April 28, 2025

MEMBERS: Alexis Braden, Trustee
Shannon Weinberger, Historic Preservation Commissioner
Richard Olsen, Historic Preservation Commissioner

ATTENDEES: Robert Cimala, Applicant and Contract Purchaser, Legacy Homes Cimala, Inc.
Colin Cimala, Legacy Homes Cimala, Inc.
Sarah Tims, Grace Church, Property Owner
Bruce George, Architect, Charles Vincent George Architects
Mimi Collins, Resident
Catie Knoebel, HomeCrafters
Bethany Salmon, Village Planner
Robb McGinnis, Community Development Director / Building Official

MEETING SUMMARY

Alexis Braden provided an overview of the purpose of the Design Review Team meeting and the process.

Shannon Weinberger spoke about the significance of historic and landmark structures, noting the house was on the National Register and highlighting the importance of preserving the streetscape. The house is not a local landmark, but is listed on the National Register of Historic Places and has been approved for inclusion on the Village's Historically Significant Structures List.

Ms. Braden referenced homes that were on that street, including the Italianate house that was previously torn down to make way for the church parking lot. The Hallmark house that is left is considered significant due to its historical allure and the notable residents who lived there. This home is one of the few remaining original structures from the late 1800s in town.

There was a discussion over the historical importance of the home, features, condition, and age. Catie Knoebel noted that there are very few original Italianate homes left in town. Ms. Weinberger stated the Hallmark house stands as the gateway to the Historic District and it is very important to the District and Village. Richard Olsen agreed that it is a significant structure.

Based on the significance of the home, the Design Review Team requested a Historical and Architectural Impact Study (HAIS) be completed by the applicant. There was a discussion over staff providing a list of consultants to the applicant to complete this work. Robert Cimala stated that this will cause a delay in his project.



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Mr. Cimala stated that the home originally was marketed for sale and potential remodel, but interest for the property was primarily for tear downs due to the house's poor condition. He stated there are structural issues such as non-plumb walls and doors, sloped windows, and a crumbling foundation. A quote he received for lifting and replacing the foundation was \$390,000, and there would be no guarantee of success. Mr. Cimala stated he contacted an architect that assessed the home and deemed it not economically feasible to remodel due to the extensive structural issues. Remodeling would require significant investment, potentially taking three to four years with unlimited funds, which is not economically viable. The thought of moving the home to KLM was looked into, however, he believed the Village would not have the funds to maintain it as well as no company would want to agree to moving the structure. Mr. Cimala stated he looked at remodeling as an option, but the house does not have an appealing floor plan and it would require a lot of time. He noted the garage and addition were not historic.

Ms. Braden understood the challenges that come with this home. Mimi Collins stated the main floor of the home is in good shape, but noted the basement does have issues and understands that it is not cheap to fix foundation issues.

There was a brief discussion over moving the house and the condition. Mr. Cimala said one company said they would not move it.

Ms. Braden recommended for the new home fit in with the historic district's streetscape and should include historic elements. She stated there is a concern about losing a historic house that is forward-facing and that serves as a gateway to the historic district, but some members may be willing to compromise if more historic elements are incorporated into the new design. She stressed the importance of designing a home with a known architectural style. Ms. Braden noted that the design would take elements from the former Italianate homes on the block or other historic styles in the district. She stated she was okay with the front of the house facing Park Avenue to maintain site lines to the Church.

Mr. Olsen stated the proposed home is beautiful, however, the home did not seem appropriate for the lot since it is the gateway to the historic district. Mr. Olsen understood that the spec home is a current trend, but recommended reducing fenestration to make the design more aligned with a historic style.

The Design Review Team suggested exploring styles with less fenestration to align with the historic district's character. Members commented that there appeared to be too many windows on the street facing facades.

Code compliance was discussed. The plan will be reviewed for compliance prior to the formal COA submittal for review by the HPC. Some initial issues identified included the proposed parking pad off Park Avenue and the proximity of site elements to the rear lot line, as well as adjustments to be made for the driveway and parking arrangements to meet setback requirements.

Mr. Cimala stated that as a builder and investor he aims to appeal to 85% of the market to minimize financial risk, acknowledging diverse architectural preferences. The design is intended to balance market demands with personal architectural tastes. Selling historic homes can take years, requiring a passion project approach.

Sarah Tims stated Grace Church's decision to sell the historic home was driven by financial needs and the lack of necessity for clergy housing. She provided an overview of the decision to sell the property and internal process for the Church. The Church's property committee evaluated the need for the historic home and considered borrowing money for renovations. The decision was made not to invest in the home as it does not align with the



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Church's mission. Realtors advised that the home would likely be torn down. The Church met with the Village and attempted to market the Preservation Incentive program for someone to renovate the property. The Church received only one offer since the home went on the market and they had limited interest after holding an open house. The Church went under contract in January.

Mr. Cimale expressed his knowledge of others who showed interest but decided not to pursue the home due to the new regulations and Title 14 being implemented.

Ms. Weinberger spoke about the property being next to a parking lot with limited neighbors, which impacts its desirability. Proximity to amenities such as a train station, downtown, and a middle school is highlighted as a positive aspect. The presence of two churches nearby was noted for contributing to a quiet neighborhood. The unique location presents both challenges and opportunities for potential buyers.

Ms. Knoebel asked if an addition has been considered instead of a new construction due to new construction costs being so high. Mr. Cimale stated there is no passion to remodel this home.

Mr. Cimale proposed incorporating light-colored stone into the elevations to match nearby buildings and churches. He stated he is looking at using slate or faux slate by DaVinci for the roofing material.

There was a discussion on the interior floor plan and design. The design of the new home includes a two-story foyer with an art wall, high windows, and a staircase visible from Park Street. The house design includes a future elevator system, a back staircase, and a prep kitchen, catering to market expectations. The house features four bedrooms on the second floor, a master bedroom on the first floor, a family room, an office, and a dining room. Mr. Cimale stated that the market research indicates a preference for a primary bedroom on the second floor for families with young children, while the first-floor suite caters to older family members or guests. The design aims to minimize risk by offering flexibility in bedroom placement.

The Design Review Team and attendees voiced concerns about the extensive number of windows, which may not align with classic architectural styles. The group suggested to make the entryway more traditional to fit better with the neighborhood's aesthetic. There was a discussion over the use of stone and white brick in the design in relation to historic styles.

Discussion took place on incorporating traditional southern iron work beneath the windows, inspired by a house on Elm, or chevron details. Members suggested to reduce window sizes by the front door or create an enclosure to cover them. Ms. Braden suggested including large gas lanterns as a significant feature of the design. Consideration of adding a front porch to pay homage to the former house, possibly incorporating Italianate elements, was also suggested.

Mr. Olsen and other members noted concerns over the size and massing of the house. Mr. Olsen asked if they removed the first-floor bedroom or redesigned the interior if it would help reduce massing.

Mr. Cimale emphasized on the current trend of glass-heavy designs, with 90% of clients requesting this transition to a modern French country style.

Members also suggested incorporating elements from historic homes, like those from the 1920s, into the design. Reference to a recent HPC meeting where a modern addition to a historic home was accepted due to its low



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visibility from the street and no impact to the front of the house. Members suggested the applicant look at new homes being built in Lake Forest or the North Shore as examples. They also suggested modern designs by notable local architect Philip Duke West may help guide the design.

Discussion took place on the feasibility of adding a front porch. Mr. Cimale expressed the importance of maintaining a balance between aesthetic appeal and market demands.

Team members voiced their concerns about large glass entryway revealing too much of the interior, such as dining areas, which is a common objection among those interested in historic preservation. A suggestion was made to reduce glass on the Park Street elevation to address concerns.

The design includes a four-car garage, which is a significant feature visible from the street. There were some concerns about the visual impact of the garage and the street facade, with some members expressing appreciation for the design. Suggestions were made to enhance the design by incorporating a porch and adjusting the roofline to reflect Italian architectural influences.

There was a discussion over the Certificate of Appropriateness (COA) review process. The HPC review of the formal COA involves two votes: one for demolition and the other for new construction. It was noted that the advisory nature of the HPC means initial votes may not be in favor, but adjustments could improve chances of approval. The importance of incorporating traditional elements, such as revisions to the windows, was highlighted to align with HPC expectations. The meeting is intended to help prepare for HPC meetings and reduce potential conflicts for the design of the house. The significance of maintaining goodwill with the community and the church was discussed, with a focus on creating designs that respect historical context. Concerns were expressed about the longevity and desirability of current architectural trends, such as large windows and "McMansions." The discussion emphasized the need for designs that blend with the neighborhood's character and appeal to future buyers.

The importance of community feedback was acknowledged, with suggestions to consult local designers familiar with historic homes. The potential impact on property values and neighborhood aesthetics was considered, with an emphasis on creating a design that benefits the community.

The applicant agreed to explore adjustments to Park Street elevation and other design elements to enhance historical alignment. Collaboration with local designers and community members was encouraged to ensure the design meets both aesthetic and historical standards. There were no further questions. Mr. Cimale confirmed he will present options to the owners to review based on the discussion at the meeting.

REVIEW PROCESS

In accordance with Section 14-5-3 of the Village Code, the review of a Preliminary Certificate of Appropriateness Application by the Ad Hoc Historic District Design Review Team is required for the demolition, removal or relocation of an existing residence within the Robbins Park Historic District, or the construction of a new residence within the Robbins Park Historic District.

The Design Review Meeting is intended to be informal, in order to facilitate productive discussion between an applicant and the Ad Hoc Historic District Design Review Team members. The applicant, property owner and design professional must be in attendance at the Design Review Meeting to ensure both receive and understand any comments provided by the Team. Any views expressed in the course of the Team's review of any preliminary



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application shall be deemed to be advisory and only the individual preliminary views of the Team member expressing them.

At the meeting, the Design Review Team may determine that the affected residence has sufficient architectural or historic merit to warrant conducting a full Historic and Architectural Impact Study. Such Study shall be prepared by the applicant, at the applicant's sole cost and expense, and be provided to the Village as part of a formal application with the information set forth in Section 14-5-4.B of the Village Code. Nothing said or done in the course of such review shall be deemed to create, or to prejudice, any rights of the applicant or to obligate the Historic Preservation Commission or Village Board, or any member of it, to approve or deny any formal application following full consideration thereof as required by this Title.

At the conclusion of the Design Review Meeting, the Ad Hoc Historic District Design Review Team shall summarize its recommendations and comments on the proposed design and any other matters before it. Such recommendations and comments shall be reduced to writing and may include any proposed changes it would like an applicant to make to the conceptual design prior to submission of a formal certificate of appropriateness application. The recommendations and comments shall be provided to the applicant, along with a copy to village staff and a copy to the Historic Preservation Commission, within fifteen (15) days following the conclusion of the Design Review Meeting.

Preliminary COA – Design Review Team Meeting – April 28, 2025



COA – Historic Preservation Commission Meeting – August 6, 2025



Park Avenue Elevation



First Street Elevation

Preliminary COA – Design Review Team Meeting – April 28, 2025



COA – Historic Preservation Commission Meeting – August 6, 2025



Interior Side Yard Elevation



Rear Yard Elevation

**VILLAGE OF HINSDALE APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS FOR
142 E. 1ST STREET, HINSDALE**

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E. Statement 2 (Description of Work Proposed)	Section 5
F. Existing Exterior and Interior Photos of the Subject Property.....	Section 6
G. Photos of Properties Surrounding the Subject Property).	Section 7
H. Current Survey for the Existing Subject Property.....	Section 8
I. Site Plan for Proposed New Residence	Section 9
J. Proposed Architectural Exterior Elevations	Section 10
K. Proposed Architectural Floor Plans	Section 11
L. Streetscape Exhibit/Landscaping.....	Section 12
M. Quote From Donegal Services	Section 13
N. Historical and Architectural Impact Study	Section 14
O. Proof of Ownership/Letter of Authorization	Section 15

**CERTIFICATE OF APPROPRIATENESS
APPLICATION FORM**



PROJECT INFORMATION

Property Address 142 E. 1st Street, Hinsdale, IL 60521

PIN(s) 09-12-207-026

Zoning District R-1 and Robbins Park Historic District

Land Use Residential Single Family

APPLICATION TYPE (CHECK ALL THAT APPLY):

- ☐ Preliminary Certificate of Appropriateness – Design Review
☒ Certificate of Appropriateness – Demolition and New Construction in the Robbins Park Historic District
☐ Certificate of Appropriateness – Designated Landmark

PROPERTY INFORMATION (CHECK ALL THAT APPLY):

- ☐ Listed as a Local Designated Landmark
☒ Located in a Designated Historic District
☒ Listed on the National Register of Historic Places

APPLICANT

Name Robert L. Cimala

Company Legacy Homes Cimala, Inc.

Address [REDACTED]

City / State / Zip [REDACTED]

Phone [REDACTED]

Email [REDACTED]

PROPERTY OWNER (IF DIFFERENT FROM APPLICANT)

Name Attention: Mrs. Sarah Tims

Company Grace Church

Address [REDACTED]

City / State / Zip [REDACTED]

Phone [REDACTED]

Email [REDACTED]

ARCHITECT

Name Bruce F. George

Company Charles Vincent George Architects, Inc.

Address [REDACTED]

City / State / Zip [REDACTED]

Phone [REDACTED]

Email [REDACTED]

ATTORNEY

Name Dominic J. Mancini

Company Law Offices of Dominic J. Mancini

Address [REDACTED]

City / State / Zip [REDACTED]

Phone [REDACTED]

Email [REDACTED]

ENGINEER

Name Jon Green

Company Engineering Resource Associates, Inc.

Address [REDACTED]

City / State / Zip [REDACTED]

Phone [REDACTED]

Email [REDACTED]

BRIEF DESCRIPTION OF PROJECT

See Statement 1 (Describe the Existing Conditions of the Subject Property and the Existing Exterior and Interior Photos of the Subject Property), both contained in this binder and which together describe the current condition of the subject property, the reason the home can't be reasonably remodeled, and the reason why it will be demolished and a new home constructed on the property; and see also Statement 2 (Description of the Work Proposed), Proposed Architectural Exterior Elevations, Proposed Architectural Floor Plans, Current Survey for the Existing Property, and Site Plan for Proposed New Residence, all of which are contained in this binder and describe the new home to be constructed, the building materials to be used for its exterior, and the new home's location on the property.

PROJECT TYPE (CHECK ALL THAT APPLY):

- ☐ Exterior Alterations
☐ Building Addition
☒ New Construction
☒ Demolition
☐ Relocation / Removal

PROJECT DETAILS

Property Size (Square Feet) 30,090 SF

Existing Building Size (Square Feet) 3,962 SF & 574 SF Garage

Proposed Building Size (Square Feet) 6,841.1 SF + 4 Car Garage


PROPERTY OWNER & APPLICANT SIGNATURES

The Applicant (and Owner, if different) certifies, acknowledges and agrees that:

1. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The Owner of the property, if different from the Applicant, states that they consent to the filing of this application and that all information contained in this application is true and correct to the best of their knowledge.
2. The Applicant understands that an incomplete application will not be considered. In addition, the Applicant understands that the Village may require additional information prior to the consideration of this application.
3. The Applicant shall make the subject property available for inspection by the Village at reasonable times. The Village and its representatives have the right, and are hereby granted permission, to enter upon the property for purposes of conducting any inspections that may be necessary in connection with this application.
4. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant(s) shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten (10) days following the change, and that failure to do so may be grounds for denial of the application.
5. The Applicant understands that they are responsible for all application fees and any other fees required by the Village Code Zoning Code, unless otherwise waived as part of this application process. The Owner of the property and, if different, the Applicant are jointly and severally liable for the payment of application fees. The Owner has agreed to pay said fees, unless otherwise waived, and to consent to the filing and foreclosure of a lien against the property for the fee plus costs of collection, if the account is not settled within thirty (30) days after the mailing of a request for payment.
6. The Applicant acknowledges that the information submitted in connect with this application becomes public record and that it may be subject to disclosure under the Freedom of Information Act.
7. The Applicant agrees that all work shall be completed in accordance with the plans, specifications and conditions which accompany this application, and acknowledges compliance with all Zoning Code and Village Code requirements.

Legacy Homes Cinema, Inc.

Printed Name of Applicant



Signature of Applicant

6/18/25

Date

Printed Name of the Property Owner

Signature of the Property Owner

Date

The Subject Property, and is contained in this binder and which together describe the current condition of the subject property. It contains the information for the (possible) addition, and the information for the (possible) removal of a portion of the property. It also contains Statement of Work, Proposed Architectural Drawings, Proposed Architectural Floor Plans, Current Survey for the existing property, and Site Plan for the new property. It also contains the information contained in this binder and describe the new home to be constructed. It also contains the information to be used for the (possible) addition and the (possible) removal of a portion of the property.

PROJECT TYPE (CHECK ALL THAT APPLY)

- ☐ Extensive Alterations
☐ Building Addition
☒ New Construction
☒ Demolition
☐ Relocation / Removal

PROJECT DETAILS

Property Type (Square Feet) 30,000 SF

Existing Building Size (Square Feet) 3,902 GF & 574 SF (Garage)

Proposed Building Size (Square Feet) 3,941 SF + 4 Car Garage

PROPERTY OWNER & APPLICANT SIGNATURES

The Applicant (and Owner, if different) certifies, acknowledges and agrees that:

1. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The Owner of the property, if different from the Applicant, states that they consent to the filing of this application and that all information contained in this application is true and correct to the best of their knowledge.
2. The Applicant understands that an incomplete application will not be considered. In addition, the Applicant understands that the Village may require additional information prior to the consideration of this application.
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6. The Applicant acknowledges that the information submitted in connection with this application becomes public record and that it may be subject to disclosure under the Freedom of Information Act.
7. The Applicant agrees that all work shall be completed in accordance with the plans, specifications and conditions which accompany this application, and acknowledges compliance with all Zoning Code and Village Code requirements.

Printed Name of Applicant

Signature of Applicant

Date

Sarah Sims, Sr. Warden

Printed Name of the Property Owner

Sarah C. Sims

Signature of the Property Owner

6/18/25

Date

TABLE OF COMPLIANCE

Address of property: 142 E. 1st Street, Hinsdale, IL 60521

The following table is based on the H-1 Zoning District.

Write "N/A" if the application does not affect the building/ property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (Square Feet)	30,000sf (.689 Acres)	30,090sf (.691 Acres)	30,090 (.691 Acres)
Lot Depth	125'	177'	177'
Lot Width	125'	170'	170'
Building Height	30.96' Max	26'	30.5'
Number of Stories	3 Stories Max	2 stories	1 1/2 stories
Front Yard Setback	53.55'	55.17'	53.72'
Corner Side Yard Setback	49.23'	69.32'	49.46'
Interior Side Yard Setback	18'	26.04'	18.77'
Rear Yard Setback	28.55'	81.31'	29.61'
Maximum Floor Area Ratio (F.A.R.)*	8,018sf	4,536sf	7,990.25 sf
Maximum Total Building Coverage*	7,522.5 sf (25%)	3,571.74sf (11.9%)	5,853 sf
Maximum Total Lot Coverage*	15,045 sf (50%)	7,836 sf (26.1%)	13,926 sf
Parking Requirements	2-car	2-car	4-car
Parking Front Yard Setback	N/A	N/A	N/A
Parking Corner Side Yard Setback	N/A	N/A	N/A
Parking Interior Side Yard Setback	N/A	N/A	N/A
Parking Rear Yard Setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	Allowed	Detached Garage	None

* Both the calculated number in square feet and the percentage must be provided.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

All in compliance

VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
19 East Chicago Avenue
Hinsdale, Illinois 60521-3489
630.789.7030

Application for Certificate of Zoning Compliance

You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.

Applicant's name: Legacy Homes Cimala, Inc.

Owner's name (if different): Grace Church

Property address: 142 E. 1st Street, Hinsdale, Illinois

Property legal description: [attach to this form]

Present zoning classification: R-1, Single Family Residential

Square footage of property: 30,090 SF

Lot area per dwelling: 30,090 SF

Lot dimensions: 177' x 170'

Current use of property: Single family

Proposed use: ☒ Single-family detached dwelling
☐ Other: _____

Approval sought: ☒ Building Permit ☐ Variation
☐ Special Use Permit ☐ Planned Development
☐ Site Plan ☐ Exterior Appearance
☐ Design Review
☐ Other: _____

Brief description of request and proposal:
New single family residence

Plans & Specifications: [submit with this form]

Provided: Required by Code:

Yards:

front:	<u>53.72'</u>	<u>53.55'</u>
interior side(s)	<u>18.77' /</u>	<u>18' /</u>

Provided:**Required by Code:**

corner side	49.46'	49.23'
rear	29.61'	26.55'

Setbacks (businesses and offices):

front:	N/A	N/A
interior side(s)	N/A / N/A	N/A / N/A
corner side	N/A	N/A
rear	N/A	N/A
others:	N/A	N/A
Ogden Ave. Center:	N/A	N/A
York Rd. Center:	N/A	N/A
Forest Preserve:	N/A	N/A

Building heights:

principal building(s):	30.5'	30.96'
accessory building(s):	N/A	N/A

Maximum Elevations:

principal building(s):	36.0'	40.96'
accessory building(s):	N/A	N/A

Dwelling unit size(s):	N/A	N/A
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Total building coverage:	5,853 SF	7,522.5 SF
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Total lot coverage:	13,926 SF	15,045 SF
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Floor area ratio:	7,990.2 SF	8,018 SF
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Accessory building(s):	N/A	
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Spacing between buildings:[depict on attached plans]

principal building(s):	N/A	N/A	N/A
accessory building(s):	N/A	N/A	N/A

Number of off-street parking spaces required: 0

Number of loading spaces required: 0

Statement of applicant:

I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.

By:

Applicant's signature

Legacy Homes Omaha, Inc.
Robert L. Simak

Applicant's printed name

Dated: June 17, 2025

LEGAL DESCRIPTION

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST $\frac{1}{4}$ OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING A SUBDIVISION OF PART OF THE NORTH $\frac{1}{4}$ OF THE NORTHEAST $\frac{1}{4}$ OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY ILLINOIS.

P.L.N.: 09-12-207-026

COMMONLY KNOWN AS: 142 W. 1st STREET, HINSDALE, ILLINOIS

LEGACY HOMES CIMALA, INC.



June 9, 2025

Hinsdale Historic Preservation Commission
Hinsdale Village Board
19 E. Chicago Avenue
Hinsdale, IL 60521

Re: 142 E. 1st Street

Dear Sirs:

The undersigned is the President of Legacy Homes Cimala, Inc. ("Legacy"), and I have inspected the subject property twice. The first time occurred January 13, 2025 and the second time occurred January 29, 2025.

During my initial inspection, I noticed the following: many of the floors are not level; many of the walls are not plumb; many of the windows slope; the fireplace in the living room slopes; one entry into the living room is a different height than the other entry into such room; the foundation has many gaps and is crumbling; the home's floor plan is choppy and in my opinion, not appealing to a buyer; the home is outdated; and I didn't notice anything on the exterior or interior of the home that was as originally built. (See Existing Exterior and Interior Photos of the Subject Property contained in this binder)

After my initial inspection of the home, I researched the economic feasibility of remodeling it. I determined that it would cost a minimum of \$390,000 to install a new foundation. To do so, the home would have to be lifted up on steel beams while the existing foundation is removed and a new foundation installed; however, there is no certainty that the home is structurally sound enough to lift it up on steel beams. (See Quote from Donegal Services contained in this binder) I finally determined that the home would basically have to be completely demolished in order to remodel it because of the poor status of its floors, walls, windows, etc. Accordingly, after taking everything into consideration, I determined that it is not economically feasible to remodel the home.

I also had a lengthy conversation with Kris Berger, the listing agent for the home. She informed me that the home has been marketed for sale as a remodeling project since July 1, 2024 and that all of the real estate brokers and potential buyers who have inspected the home through an open-house or otherwise said the home should be demolished. Nobody had any interest in remodeling it. Also, at the recommendation of Bethany Salmon, I contacted a well-known and respected local architect who's had experience remodeling historical homes. This architect had previously inspected the home and agreed with my above-referenced observations and succinctly summed up his opinion of the home by telling me that "remodeling is hopeless." He also told me that nothing on the exterior or interior of the home has any architectural significance and that remodeling the home is not economically feasible.

Taking everything into consideration, Legacy decided to acquire the subject property, demolish the home on it, and build a new home in its place.

When determining the style of a "spec" home that Legacy builds, I base my decision on what I believe at least 85% - 90% of potential buyers want and then design the home accordingly. After talking with three well-known and respected Hinsdale real estate brokers, three well-known and respected Hinsdale architects, and one well-known and respected Hinsdale interior designer, and based on their opinions and my own, I determined that the style of the "spec" home I want to build on the subject property is a transitional style home with traditional style accents. Many new homes nearby the subject property in the Robbins Park Historic District have been built in this style and I believe the new home will be a beautiful addition to the neighborhood.

Legacy has hired Bruce George of Charles Vincent George Architects to design the new home. (See the Proposed Architectural Exterior Elevations and Floor Plans contained in this binder) Legacy has also hired Jon Green of Engineering Resource Associates, Inc. for the civil engineering work for the project. (See the Survey for the Proposed New Residence contained in this binder)

After the design review meeting for the preliminary COA, I listened to the changes the members of that committee wanted and made a couple of other changes. The committee members wanted us to change the Park Avenue elevation and a couple of the members also suggested we add gas lanterns to the front entry. Based on their recommendations the following changes were made: we changed the Park Avenue elevation by reducing glass and providing a large covered porch entry; we added stone to certain elevation areas; we added gas lanterns for the front entry; and we changed the garage doors to chevron style panels.

The exterior of the home will have Glen-Gery Aspen White brick with white mortar, Fondulac or Eden Stone (light beige with some light gray tones), a DaVinci gray engineered slate roof or a natural gray slate roof, LP SmartSide engineered siding in a gray color to match the roof, black Pella or Marvin or other manufacturer's windows, bluestone porches, and concrete and/or gray paver brick or stone driveways.

Sincerely,

A handwritten signature in dark ink, appearing to read "Robert L. Cimale", written in a cursive style.

Robert L. Cimale
Legacy Homes Cimale, Inc.



STATEMENT 1

DESCRIBE THE EXISTING CONDITIONS OF THE SUBJECT PROPERTY

Robert L. Cimala, the President of Legacy Homes Cimala, Inc., inspected the subject property twice. The first time occurred January 13, 2025 and the second time occurred January 29, 2025.

During his initial inspection, he noticed the following: many of the floors are not level; many of the walls are not plumb; many of the windows slope; the fireplace in the living room slopes; one entry into the living room is a different height than the other entry into such room; the foundation has many gaps and is crumbling; the home's floor plan is choppy and in his opinion, not appealing to a buyer; the home is outdated; and he didn't notice anything on the exterior or interior of the home that was as originally built. (See Existing Exterior and Interior Photos of the Subject Property contained in this binder)

After Mr. Cimala's initial inspection of the home, he researched the economic feasibility of remodeling it. He determined that it would cost a minimum of \$390,000 to install a new foundation. To do so, the home would have to be lifted up on steel beams while the existing foundation is removed and a new foundation installed; however, there is no certainty that the home is structurally sound enough to lift it up on steel beams. (See Quote from Donegal Services contained in this binder). He finally determined that the home would basically have to be completely demolished in order to remodel it because of the poor status of its floors, walls, windows, etc. Accordingly, after taking everything into consideration, he determined that it is not economically feasible to remodel the home.

Mr. Cimala also had a lengthy conversation with Kris Berger, the listing agent for the home. She informed him that the home has been marketed for sale as a remodeling project since July 1, 2024 and that all of the real estate brokers and potential buyers who have inspected the home through an open-house or otherwise said the home should be demolished. Nobody had any interest in remodeling it. Also, at the recommendation of Bethany Salmon, Mr. Cimala contacted a well-known and respected local architect who's had experience remodeling historical homes. This architect had previously inspected the home and agreed with Mr. Cimala's above-referenced observations and succinctly summed up his opinion of the home by telling Mr. Cimala that "remodeling is hopeless." He also told Mr. Cimala that nothing on the exterior or interior of the home has any architectural significance and that remodeling the home is not economically feasible.

Taking everything into consideration, Legacy Homes Cimala, Inc. decided to acquire the subject property, demolish the home on it, and build a new home in its place.

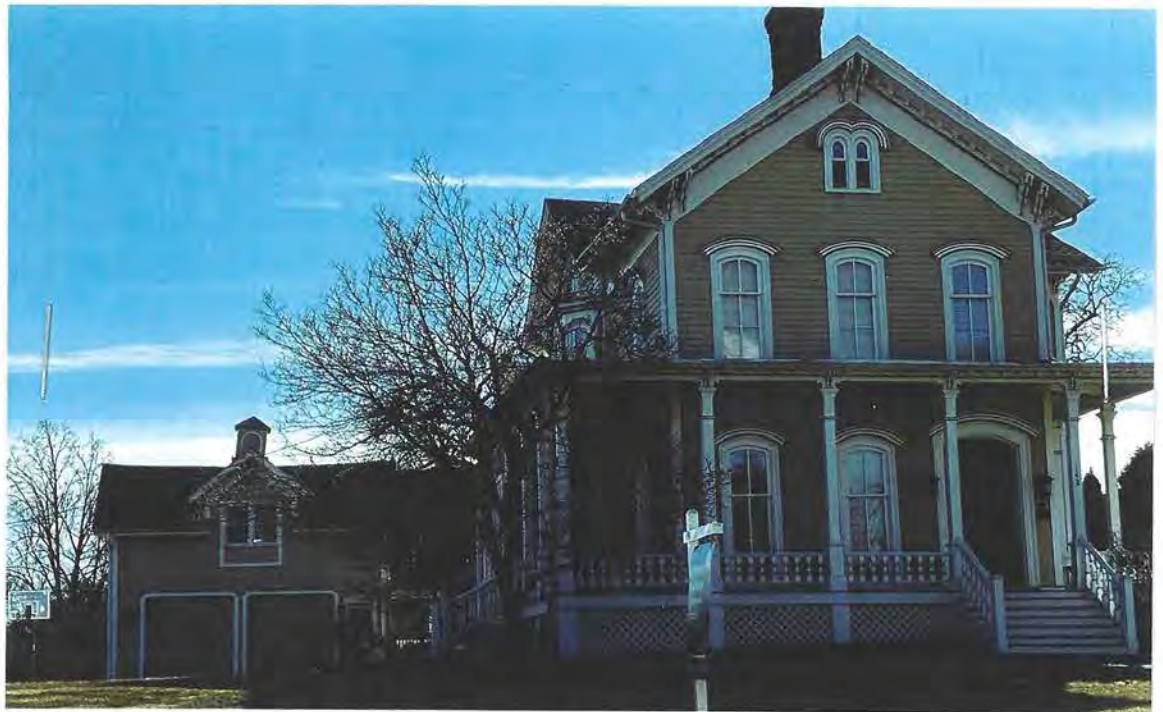
STATEMENT 2

DESCRIPTION OF WORK PROPOSED

Legacy Homes Cimala, Inc. has decided to acquire the subject property, demolish the home on it, and build a new "spec" home in its place. When determining the style of a "spec" home that he builds, Mr. Cimala bases his decision on what he believes at least 85% - 90% of potential buyers want and then designs the home accordingly. After talking with three well-known and respected Hinsdale real estate brokers, three well-known and respected Hinsdale architects, and one well-known and respected Hinsdale interior designer, and based on their opinions and his own, Mr. Cimala determined that the style of the "spec" home he wants to build on the subject property is a transitional style home with traditional style accents. Many new homes nearby the subject property in the Robbins Park Historic District have been built in this style and Mr. Cimala believes the new home will be a beautiful addition to the neighborhood.

Legacy Homes Cimala, Inc. has hired Bruce George of Charles Vincent George Architects to design the new home. (See the Proposed Architectural Exterior Elevations and Floor Plans contained in this binder)

Legacy Homes Cimala, Inc. has hired Jon Green of Engineering Resource Associates, Inc. for the civil engineering work for the project. (See the Survey for the Proposed New Residence contained in this binder)



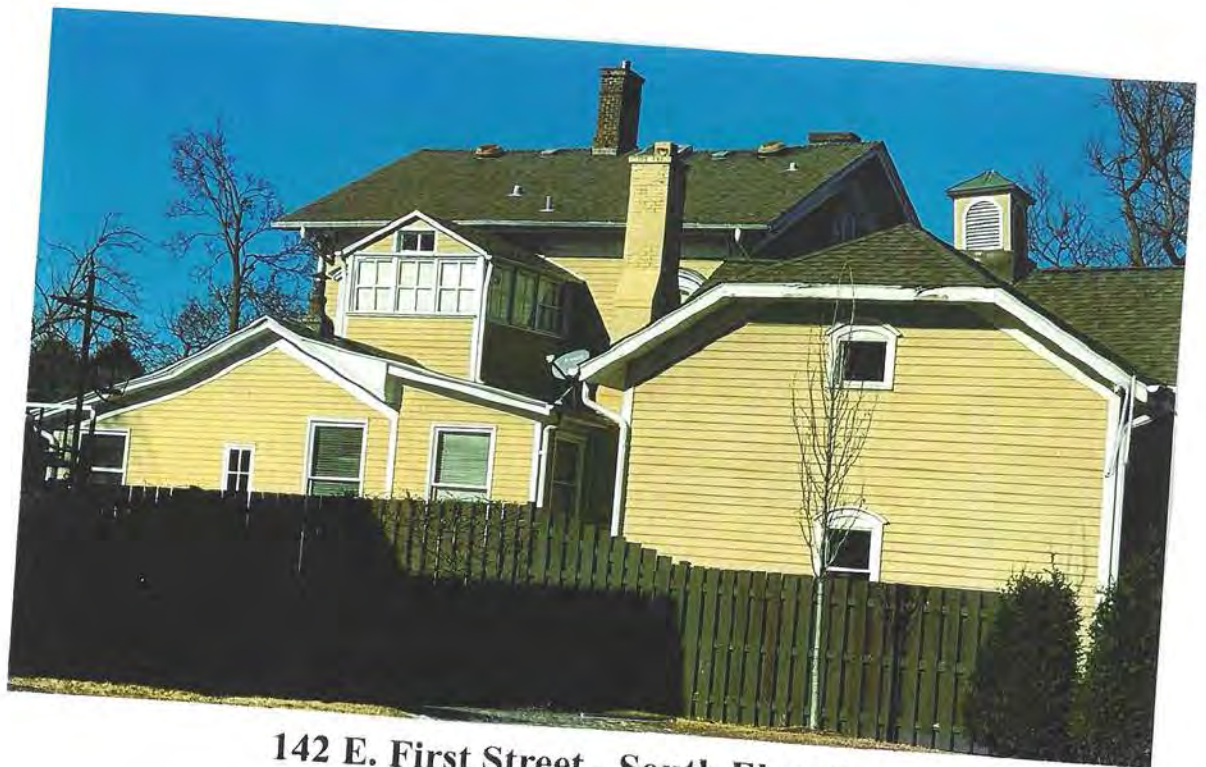
142 E. First Street - North Elevation



142 E. First Street - East Elevation



142 E. First Street - West Elevation



142 E. First Street - South Elevation



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



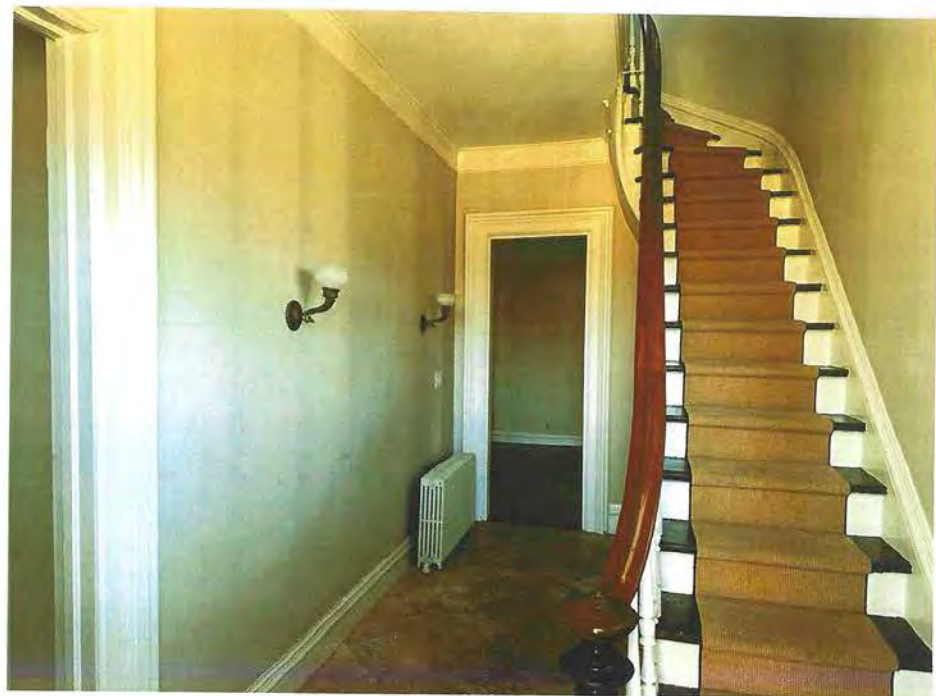
142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



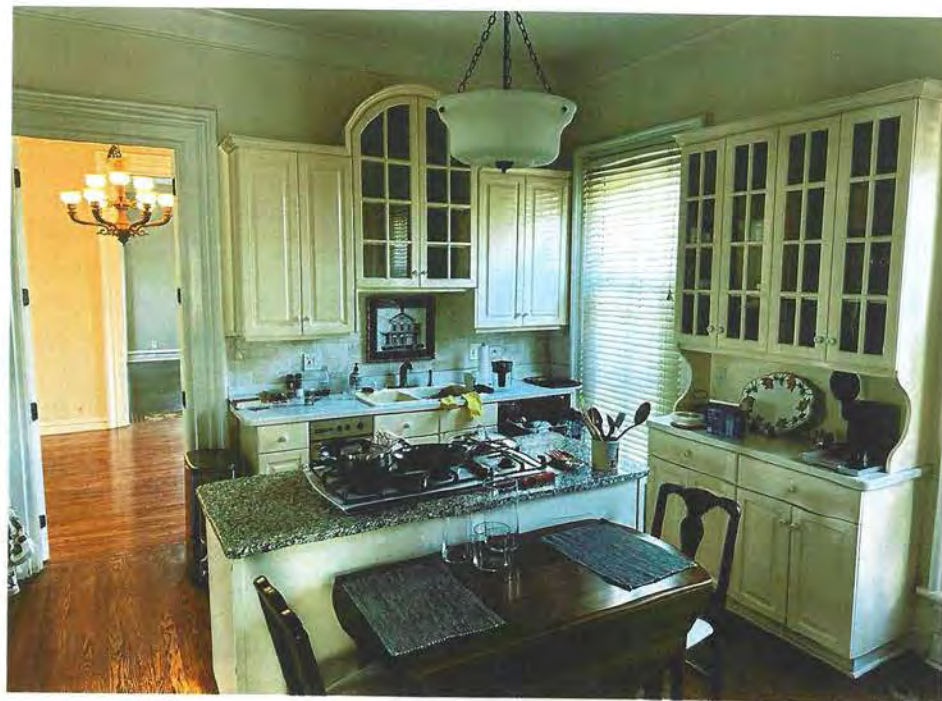
142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



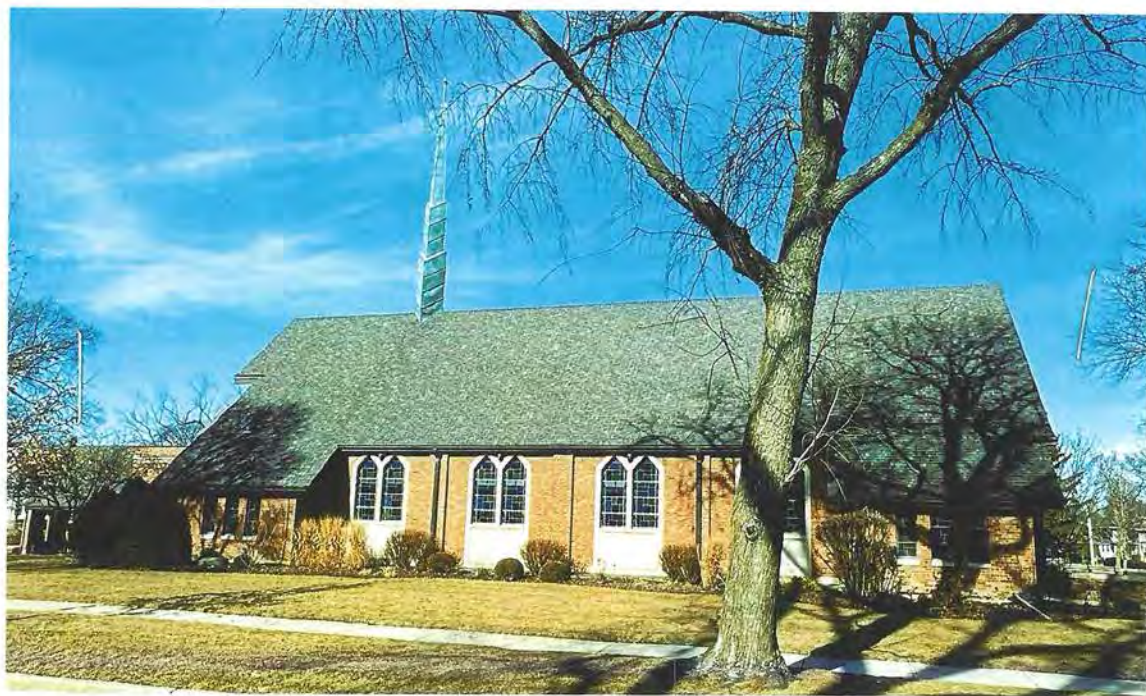
142 E. First Street - Interior Photo



142 E. First Street - Interior Photo



120 E. First Street - Adjacent to and West of Subject Property



139 E. First Street - Across Street and North of Subject Property



45 S. Park Avenue - Across Street and Northeast of Subject Property



107 S. Park Avenue - Across Street and East of Subject Property



124 S. Park Avenue - Adjacent to and South of Subject Property



117 S. Park Avenue - Across Street and Southeast of Subject Property



132 S. Park Avenue - South of Subject Property



108 E. First Street - West of Subject Property



115 E. First Street - Across Street and Northwest of Subject Property



39 S. Park Avenue - Across Street and Northeast of Subject Property



215 E. First Street - Across Street and Northeast of Subject Property



212 E. First Street - Across Street and East of Subject Property

PLAT OF SURVEY

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST 1/4 OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-207-026

COMMONLY KNOWN AS: 142 E. FIRST STREET, HINSDALE, ILLINOIS

SURVEY AREA: 30,088 (0.691 ACRES±)



GENERAL NOTES

- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (NAD 83).
- CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY IMMEDIATELY. BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
- ALL AREAS LISTED IN THE AREA SUMMARY TABLE ARE MORE OR LESS.
- ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

REVISIONS:

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY: SDS
CHECKED BY: TBM
APPROVED BY: TBM



3 0 W U U 0 0 R R D P U 8 2 G N R 0 82
P N 0 3 3 0 0
3 3 3 2 2
2 99
2 3 2

PREPARED FOR:

LEGACY HOMES CIMALA, INC.

TITLE:

PLAT OF SURVEY
142 E. FIRST STREET
HINSDALE, ILLINOIS

SCALE: 1"=10'
DATE: 02-04-2025
JOB NO: W25024.00
SHEET 1 OF 1

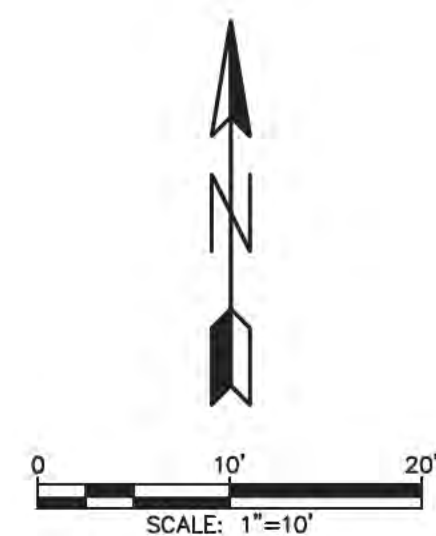
EXISTING CONDITIONS & DEMOLITION

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST 1/4 OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBBS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-207-026

COMMONLY KNOWN AS: 142 E. FIRST STREET, HINSDALE, ILLINOIS

SURVEY AREA: 30.088 (0.691 ACRES±)



- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - EX. SANITARY LINE
 - EX. STORM LINE
 - EX. WATER LINE
 - EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
 - EX. UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
 - EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
 - EX. UNDERGROUND TELEPHONE (APPROXIMATE LOCATION)
 - EX. FENCE
 - EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
 - EX. CONCRETE CURB & GUTTER
 - EX. DEPRESSED CURB
 - EX. CONTOURS
 - EX. SANITARY MANHOLE
 - EX. STORM CATCH BASIN
 - EX. STORM FLARED END SECTION
 - EX. STORM INLET
 - EX. STORM MANHOLE
 - EX. VALVE VAULT
 - EX. FIRE HYDRANT
 - EX. SPOT ELEVATION
 - EX. CONIFEROUS TREE W/TRUNK SIZE IN INCHES
 - EX. DECIDUOUS TREE W/TRUNK SIZE IN INCHES
 - EX. BUSH

ABBREVIATIONS

- | | |
|-----------|----------------------------|
| A | ARC LENGTH |
| ASPH | ASPHALT |
| AC | AIR CONDITIONER UNIT |
| BC | BACK OF CURB |
| BM | BENCHMARK |
| BW | BOTTOM OF WALL |
| B | BOTTOM OF CHORD |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| CONC | CONCRETE |
| CP | CORRUGATED PLASTIC PIPE |
| DS | DOWNSPOUT |
| E | EAST |
| ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EP | EDGE OF PAVEMENT |
| FF | FINISHED FLOOR |
| GM | GARAGE FLOOR |
| INV | GAS METER |
| ICB | IRRIGATION CONTROL BOX |
| LSP | LANDSCAPED AREA |
| MB | MAILBOX |
| MT | MEASURED TOP OF FOUNDATION |
| N | NORTH |
| PEDE | ELECTRIC PEDESTAL |
| PEDT | TELEPHONE PEDESTAL |
| PIT | PROPOSED TOP OF FOUNDATION |
| PVC | POLYVINYL CHLORIDE PIPE |
| PWR | PAVERS |
| R | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| S | SOUTH |
| TRANS | TRANSFORMER |
| T | TOP OF FOUNDATION |
| TW | TOP OF WALL |
| UP | UTILITY POLE |
| UTIL | UTILITY |
| VCP | VITRIFIED CLAY PIPE |
| W | WEST |
| WW | WINDOW WELL |
| XXX.XX' | MEASURED DIMENSION |
| (XXX.XX') | RECORD DIMENSION |

SITE BENCHMARK #1:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHEAST CORNER OF FIRST STREET AND PARK
AVENUE.
ELEV: 706.56 (NAVD 88)

SITE BENCHMARK #2:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHWEST CORNER OF FIRST STREET AND BLAINE
STREET.
ELEV: 706.35 (NAVD 88)

Call Before You Dig

**Cal be o e
you dig**

800 892 0123

PREPARED FOR: LEGACY HOMES CIMALA, INC.

DRAWN BY: SDS

CHECKED BY: TBM

APPROVED BY: JPC



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SITE PLAN REVISED: JUNE 12, 2025
SITE PLAN DATED: MAY 28, 2025

SHEET 1 OF 5

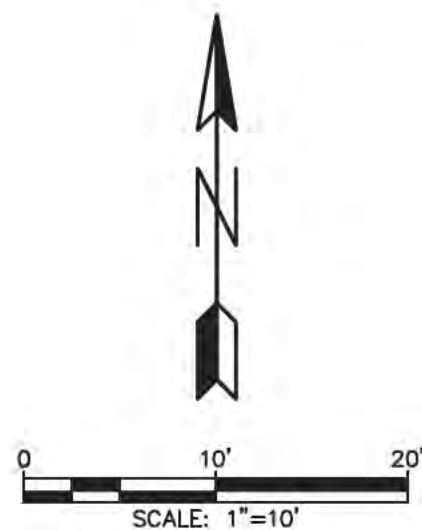
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2025

GEOMETRY PLAN

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST 1/4 OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY, ILLINOIS.

P.J.N.: 09-12-207-026
COMMONLY KNOWN AS: 142 E. FIRST STREET, HINSDALE, ILLINOIS
SURVEY AREA: 30.088 (0.691 ACRES±)



- LEGEND
- PROPERTY LINE
 - LOT LINE
 - EX. SANITARY LINE
 - EX. STORM LINE
 - EX. WATER LINE
 - EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
 - EX. UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
 - EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
 - EX. UNDERGROUND TELEPHONE (APPROXIMATE LOCATION)
 - EX. FENCE
 - EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
 - EX. CONCRETE CURB & GUTTER
 - EX. DEPRESSION CURB
 - EX. CONTOURS
 - EX. SANITARY MANHOLE
 - EX. STORM CATCH BASIN
 - EX. STORM FLARED END SECTION
 - EX. STORM INLET
 - EX. STORM MANHOLE
 - EX. VALVE VAULT
 - EX. FIRE HYDRANT
 - EX. SPOT ELEVATION
 - EX. CONIFEROUS TREE W/TRUNK SIZE IN INCHES
 - EX. DECIDUOUS TREE W/TRUNK SIZE IN INCHES
 - EX. BUSH

- ABBREVIATIONS
- A ARC LENGTH
 - ASPH ASPHALT
 - AC AIR CONDITIONER UNIT
 - BC BACK OF CURB
 - BM BENCHMARK
 - BW BOTTOM OF WALL
 - B/H BOTTOM OF HOLE
 - CMF CORRUGATED METAL PIPE
 - CO CLEANOUT
 - CONC CONCRETE
 - CPP CORRUGATED PLASTIC PIPE
 - DS DOWNSPOUT
 - E EAST
 - ELEC ELECTRIC
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FF FINISHED FLOOR
 - GF GARAGE FLOOR
 - GM GAS METER
 - INV INVERT
 - ICB IRRIGATION CONTROL BOX
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 - T/T TOP OF WALL
 - UP UTILITY POLE
 - UTIL UTILITY
 - VCP VITRIFIED CLAY PIPE
 - W WEST
 - WW WINDOW WELL
 - XXX.XX' MEASURED DIMENSION
 - (XXX.XX') RECORD DIMENSION

ADDRESS	SETBACK TO E FIRST ST
108 E FIRST ST	29.14'
142 E FIRST ST	69.32'
AVERAGE SETBACK:	49.23'

	SETBACK TO S PARK AVE
142 E FIRST ST	55.17'
124 S PARK AVE	52.80'
132 S PARK AVE	51.24'
134 S PARK AVE	66.73'
154 S PARK AVE	52.67'

AVERAGE SETBACK: 53.55'

SITE BENCHMARK #1:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF FIRST STREET AND PARK AVENUE.
ELEV: 706.56 (NAVD 88)

SITE BENCHMARK #2:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF FIRST STREET AND BLAINE STREET.
ELEV: 706.35 (NAVD 88)

Call Before You Dig
JULIE
Cal be o e
you dig
800 892 0123

PREPARED FOR: LEGACY HOMES CIMALA, INC.

DRAWN BY: SDS
CHECKED BY: TBM
APPROVED BY: JPC

ENGINEERING
RESOURCE ASSOCIATES

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SITE PLAN REVISED: JUNE 12, 2025
SITE PLAN DATED: MAY 28, 2025

SHEET 2 OF 5
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

G:\PROJECTS\Legacy Homes Cimala Inc\W25024.00 142 E 1st St, Hinsdale\CA00\Sheet\Site Development\W25024.00 Geometry Plan.dwg Updated By: kncseppi 6/12/2025

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST 1/4 OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-207-026

COMMONLY KNOWN AS: 142 E. FIRST STREET, HINSDALE, ILLINOIS

SURVEY AREA: 30,088 (0.691 ACRES±)

CONTRACTOR SHALL CONFIRM DEPTH OF EXISTING GAS MAIN AND COORDINATE RELOCATION FOR SIDEWALK LOWERING WITH NICOR.

42'± OF PROP. 6" PVC SDR35 LEVEL SPREADER OVERFLOW PIPE @ 12.0%.

PROP. 24" TYPE C CATCH BASIN W/BEEHIVE GRATE RIM: 707.5 INV: 706.5(S) INV: 705.0(N,E)

PROP. 20' X 5' X 5' LEVEL SPREADER PER VILLAGE STANDARDS RIMS: 708.5 T/AGG: 707.5 B/AGG: 702.5

26'± OF PROP. 4" PVC SDR35 SUMP PUMP DISCHARGE @ 1.0% MIN.

AVG. GRADE DATA (HOUSE)

POINT:	HOUSE:
A	709.70
B	709.80
C	709.60
D	709.90
AVG.:	709.75

ARCHITECT 100'-0" = 711.2 CIVIL SITE DATUM

SITE BENCHMARK #1:
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Call Before You Dig

Cal be o e you dig

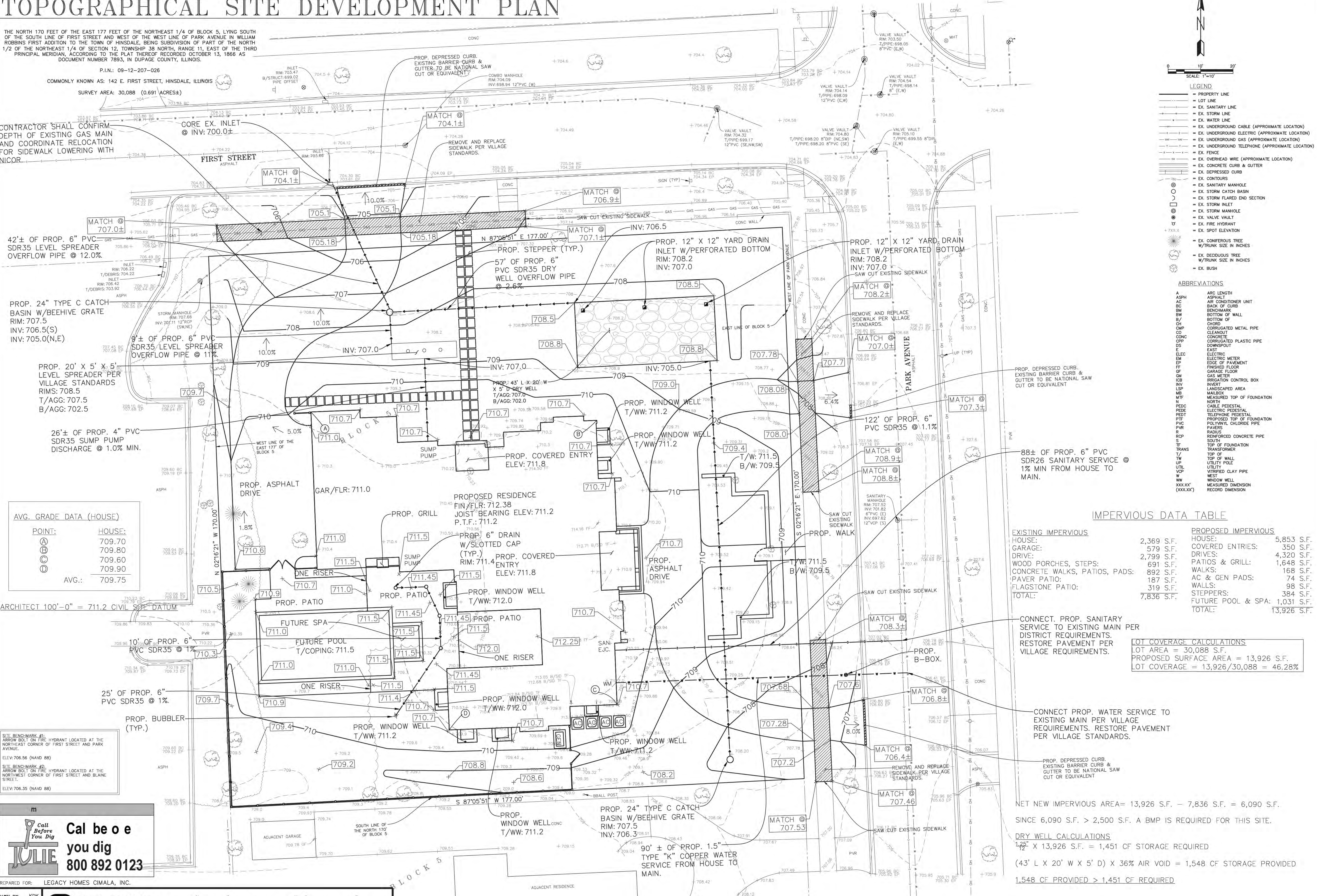
800 892 0123

PREPARED FOR: LEGACY HOMES CIMALA, INC.

DRAWN BY: KDK
CHECKED BY: JFG
APPROVED BY: JFG

ENGINEERING RESOURCE ASSOCIATES

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 - T/W TOP OF WALL
 - UP UTILITY POLE
 - UTIL UTILITY
 - VCP VITRIFIED CLAY PIPE
 - W WEST
 - WM WINDOW WELL
 - XXX'XXX' MEASURED DIMENSION
 - XXX'XXX' RECORD DIMENSION

IMPERVIOUS DATA TABLE

EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS
HOUSE: 2,369 S.F.	HOUSE: 5,853 S.F.
GARAGE: 579 S.F.	COVERED ENTRIES: 350 S.F.
DRIVE: 2,799 S.F.	DRIVES: 4,320 S.F.
WOOD PORCHES, STEPS: 691 S.F.	PATIOS & GRILL: 1,648 S.F.
CONCRETE WALKS, PATIOS, PADS: 892 S.F.	WALKS: 168 S.F.
PAVER PATIO: 187 S.F.	AC & GEN PADS: 74 S.F.
FLAGSTONE PATIO: 319 S.F.	WALLS: 98 S.F.
TOTAL: 7,836 S.F.	STEPPERS: 384 S.F.
	FUTURE POOL & SPA: 1,031 S.F.
	TOTAL: 13,926 S.F.

LOT COVERAGE CALCULATIONS

LOT AREA = 30,088 S.F.
PROPOSED SURFACE AREA = 13,926 S.F.
LOT COVERAGE = 13,926/30,088 = 46.28%

CONNECT. PROP. SANITARY SERVICE TO EXISTING MAIN PER DISTRICT REQUIREMENTS. RESTORE PAVEMENT PER VILLAGE REQUIREMENTS.

CONNECT PROP. WATER SERVICE TO EXISTING MAIN PER VILLAGE REQUIREMENTS. RESTORE PAVEMENT PER VILLAGE STANDARDS.

NET NEW IMPERVIOUS AREA= 13,926 S.F. - 7,836 S.F. = 6,090 S.F.

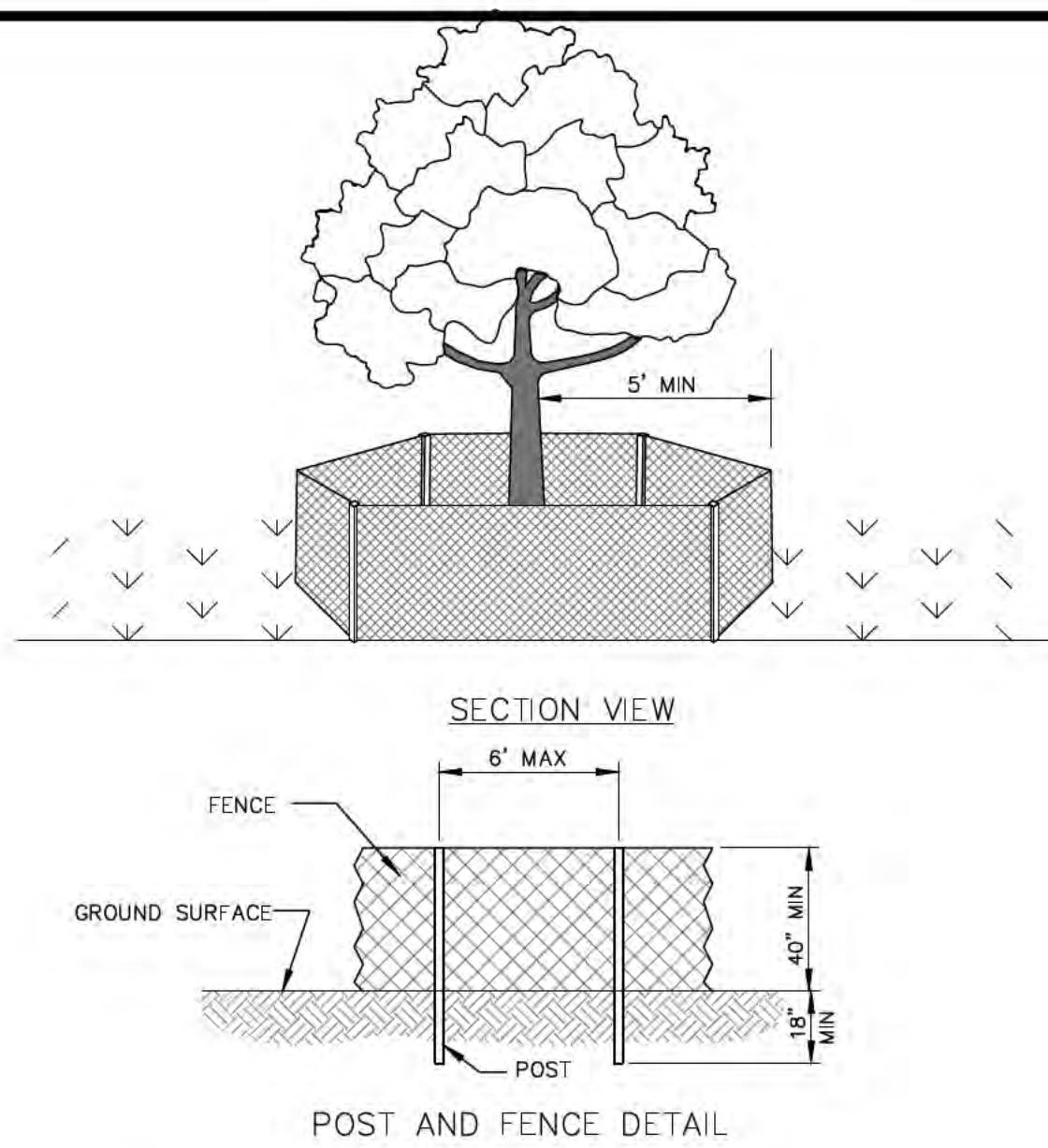
SINCE 6,090 S.F. > 2,500 S.F. A BMP IS REQUIRED FOR THIS SITE.

DRY WELL CALCULATIONS
1.25" X 13,926 S.F. = 1,451 CF STORAGE REQUIRED
(43' L X 20' W X 5' D) X 36% AIR VOID = 1,548 CF STORAGE PROVIDED
1,548 CF PROVIDED > 1,451 CF REQUIRED

NOTES:

- ANY DEMOLITION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING PARK AVENUE CURB AND GUTTER.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SUMMER 2025
 - EXISTING STRUCTURES SHALL BE DEMOLISHED. - FALL 2025
 - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES, & EXISTING SWALES. - WINTER 2025
 - CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. - SPRING 2026
 - PREPARE AND SUBMIT RECORD DRAWINGS. - SUMMER 2026
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - FALL 2026

- CONTACT PERSON FOR SITE: BOB CIMALA (630) 686-7715
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
- OVERFLOW PIPE IS TO BE CONNECTED TO THE EXISTING STORM SEWER. CONTRACTOR SHALL COORDINATE WITH VILLAGE ROADWAY DEPARTMENT DURING CONSTRUCTION OF THE OVERFLOW PIPE CONNECTION.
- THE PROPOSED DRIVEWAY AREA AND UTILITY INSTALLATION SHOULD BE INSTALLED USING TECHNIQUES TO MINIMIZE DAMAGE TO THE PARKWAY TREE. THE VILLAGE WILL REQUIRE THAT THE TREE PROTECTION FENCE BE INSTALLED A MINIMUM DISTANCE FROM THE TREE HAND DIGGING ONLY WITHIN TREE PROTECTION ZONES. ROOT PRUNING WILL BE USED AS NECESSARY PRIOR TO THE DRIVEWAY DEMOLITION TO PROTECT TREE ROOTS. ALL TREE PROTECTION FENCING WILL BE MAINTAINED IN ALL AREAS OUTSIDE OF THE APRON EXCAVATION AREA. MINIMAL EXCAVATION NOT TO EXCEED 8" DEEP WITHIN TREE PROTECTION ZONES. NO MATERIAL OR EQUIPMENT STORAGE WITHIN THE Drip LINE OF PUBLIC TREES. THE USE OF BRICK PAVERS FOR THE DRIVES IS RECOMMENDED. NOTIFY THE VILLAGE 24 HOURS PRIOR TO THE START OF WORK WITHIN THE Drip LINE OF THE PUBLIC TREES. ALL PARTIES ACKNOWLEDGE THAT PENALTIES OUTLINED UNDER TITLE 7 CHAPTER 2 WILL BE ENFORCED. TITLE 7 SECTION 1-CHAPTER 2-B(3). ANY PERSON WHO REMOVES OR CUTS DOWN ANY TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE WITHOUT A PERMIT FROM THE VILLAGE OR CAUSES THE DEATH OF A TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE BE NEGLIGENT OR FAILURE TO ADEQUATELY PROTECT SAID TREE DURING CONSTRUCTION ON THAT PERSON'S PROPERTY SHALL PAY THE VILLAGE A PERMIT FEE OF TWENTY-FIVE THOUSAND DOLLARS (\$25,000).

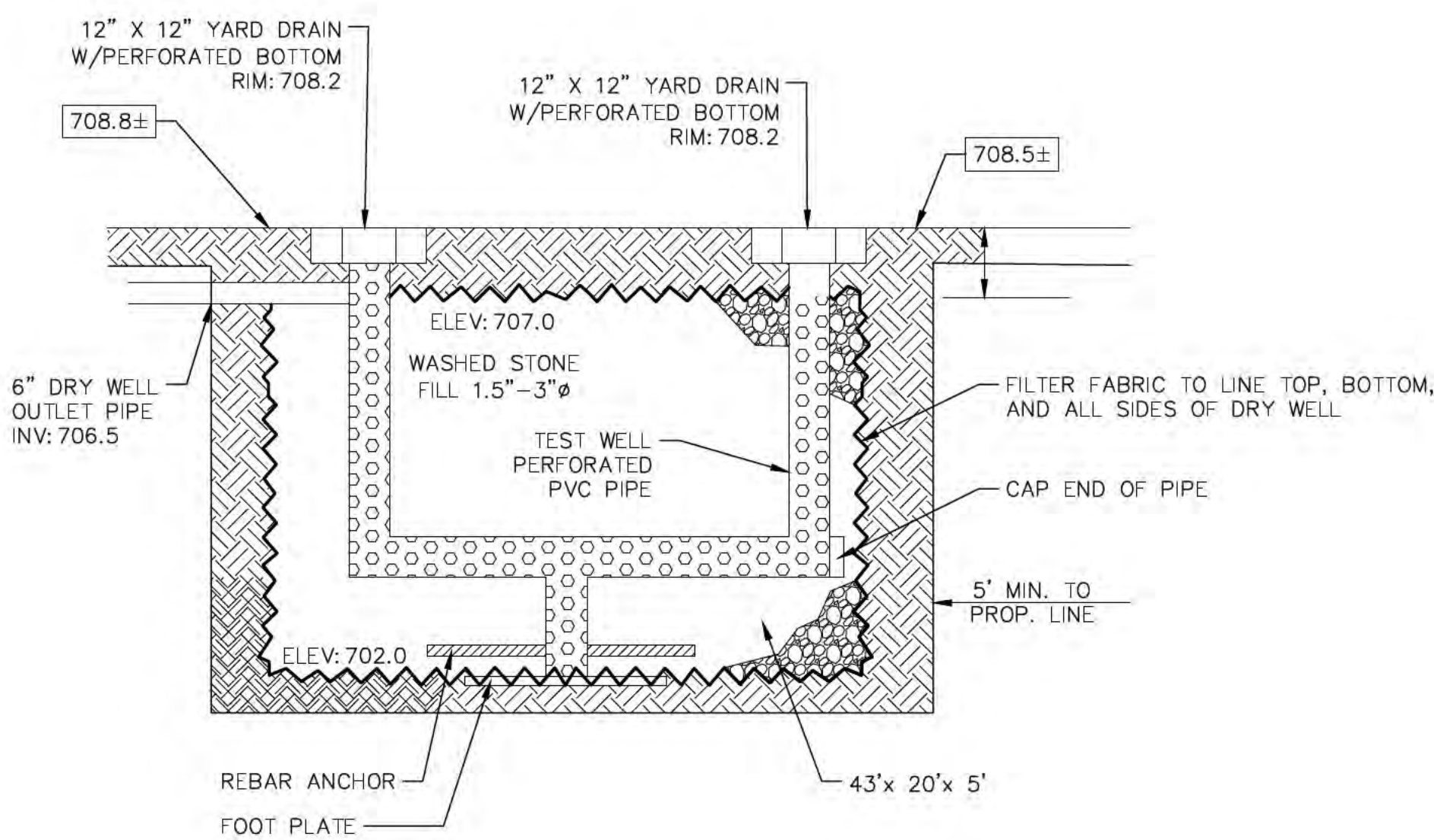


NOTES:

- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
- THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

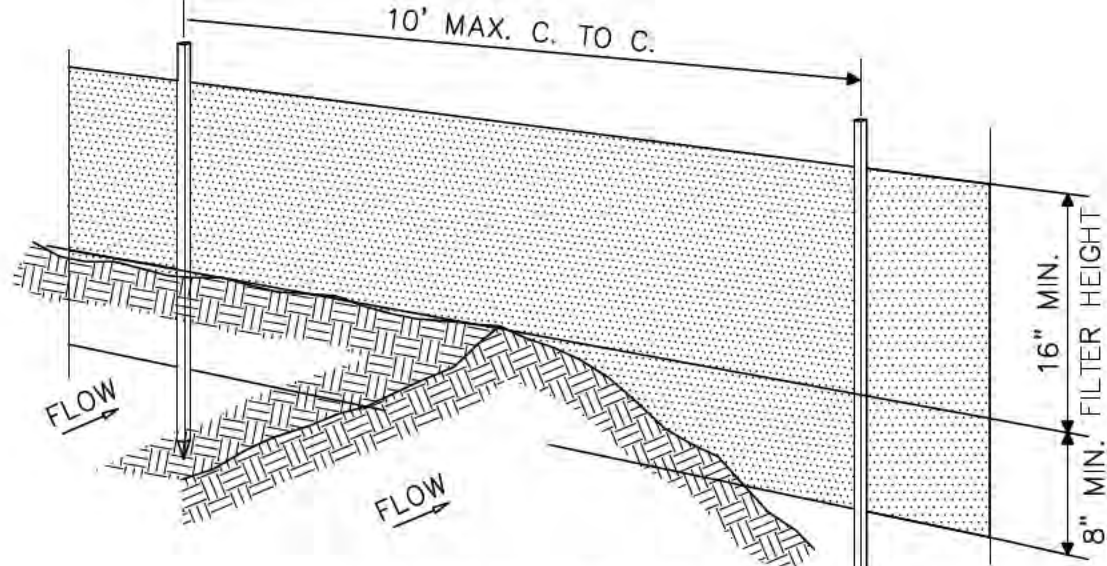
TREE PROTECTION

NOT TO SCALE

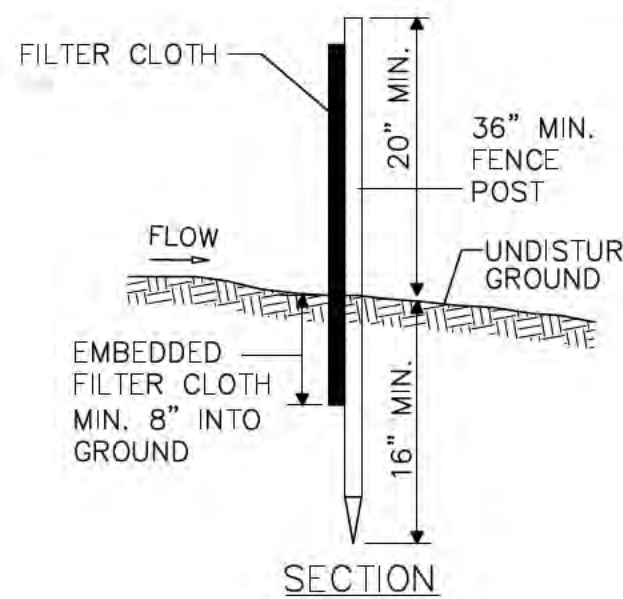


DRY WELL SECTION DETAIL

NOT TO SCALE



PERSPECTIVE VIEW



SECTION

- FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER OR U TYPE OR 2" HARDWOOD.

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N.

PREFABRICATED UNIT: GEOTAB, ENVIROFENCE.

SILT FENCE

BMP'S INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.

LEVEL SPREADER INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.

ANY CONNECTIONS TO THE STORM SEWER INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.

DRIVEWAYS, SIDEWALKS & CURBS IN THE PARKWAY - ASPHALT OR CONCRETE, WHEN DRIVEWAY IS LAG-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.

STREET PATCHES FOR SANITARY CONNECTION - 3 INSPECTIONS

CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK

PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE

PRE-POUR FOR FINAL CONCRETE, TO INCHES FROM FINAL GRADE, CONCRETE ON SITE

STREET PATCHES FOR WATER CONNECTION - 3 INSPECTIONS

CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT

PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE

PRE-POUR FOR FINAL CONCRETE, TO INCHES FROM FINAL GRADE, CONCRETE ON SITE

FINAL GRADE INSPECTION

WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE, STORMWATER BOND INSPECTION CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.

PREPARED FOR: LEGACY HOMES CIMALA, INC.

DRAWN BY: KDK
CHECKED BY: JPG
APPROVED BY: JPG



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July 2017 - Engineering Standards

Village of Hinsdale

July 2017 - Engineering Standards

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Park Avenue Elevation



First Street Elevation



Park Avenue Elevation



Park Avenue Elevation



First Street Elevation

Legacy Homes Cimala, Inc.
 142 E. First Street. - Hinsdale, IL, 60521
 May 15, 2025 | project 2025-042



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 P: 630.357.2023 • F: 630.357.2662



Interior Side Yard Elevation



Rear Elevation (West)

Legacy Homes Cimala, Inc.
142 E. First Street. - Hinsdale, IL, 60521
May 15, 2025 | project 2025-042

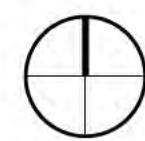


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2025/DRAINING/ SITE PLAN	



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SCALE: 1" = 10'-0"

LEGAL PROPERTY DESCRIPTION

THE NORTH 170 FEET OF THE EAST 171 FEET OF THE NORTHEAST $\frac{1}{4}$ OF BLOCK 5,
LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE
OF PARK AVENUE IN WILLIAMS' ROBBIN'S FIRST ADDITION TO THE TOWN OF
HINDSLE, A SUBDIVISION OF PART OF THE NORTH $\frac{1}{2}$ OF THE NORTHEAST $\frac{1}{4}$ OF
SECTION 12, TOWNSHIP 38 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL
MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866
AS DOCUMENT NUMBER 7893, IN DUPAGE COUNTY, ILLINOIS

POST OFFICE ADDRESS:
142 E. 1ST. STREET, HINSDALE, ILLINOIS 60521

P.L.N. 09-12-207-026



V P H

PA AV^A U^A VA


SCALE: 1/4" = 1'-0"

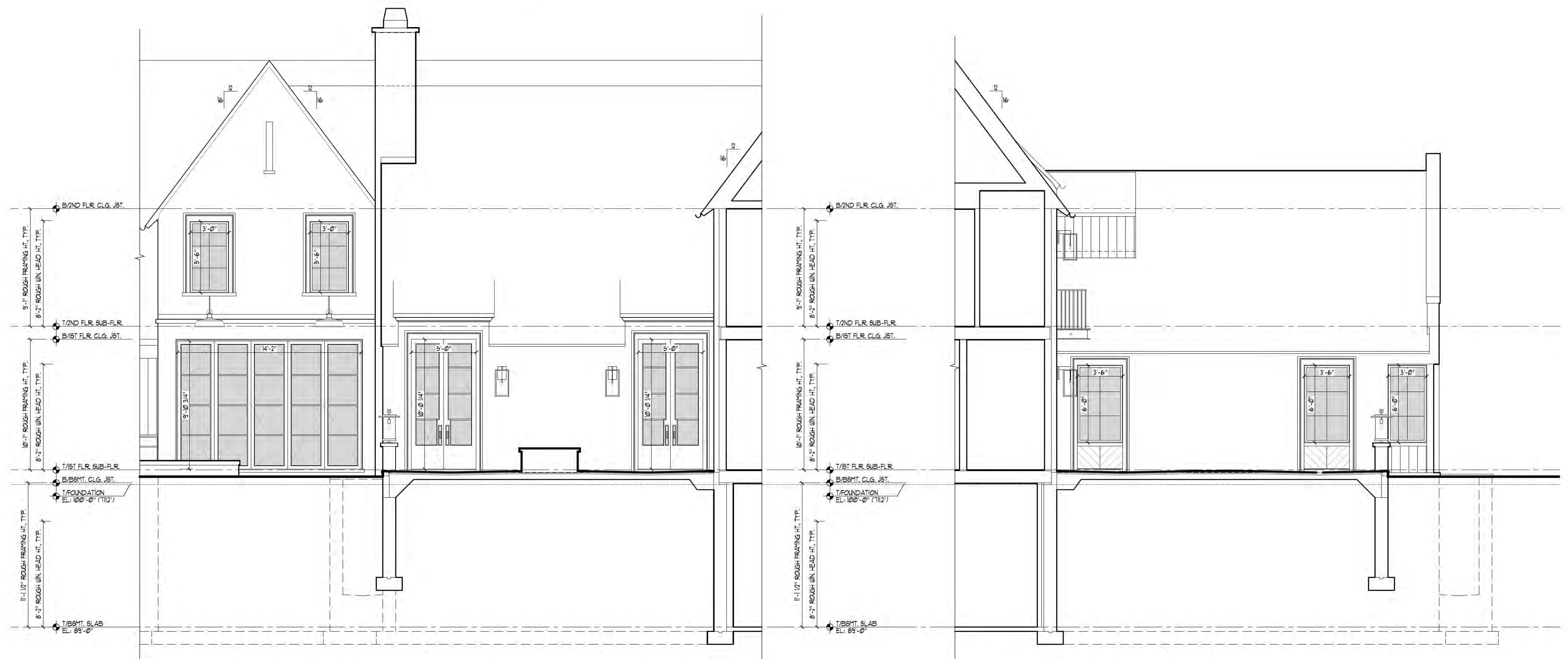


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SCALE: 1/4" = 1'-0"




A W VA
 SCALE: 1/4" = 1'-0"



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SCALE: $1/4'' = 1'-0''$

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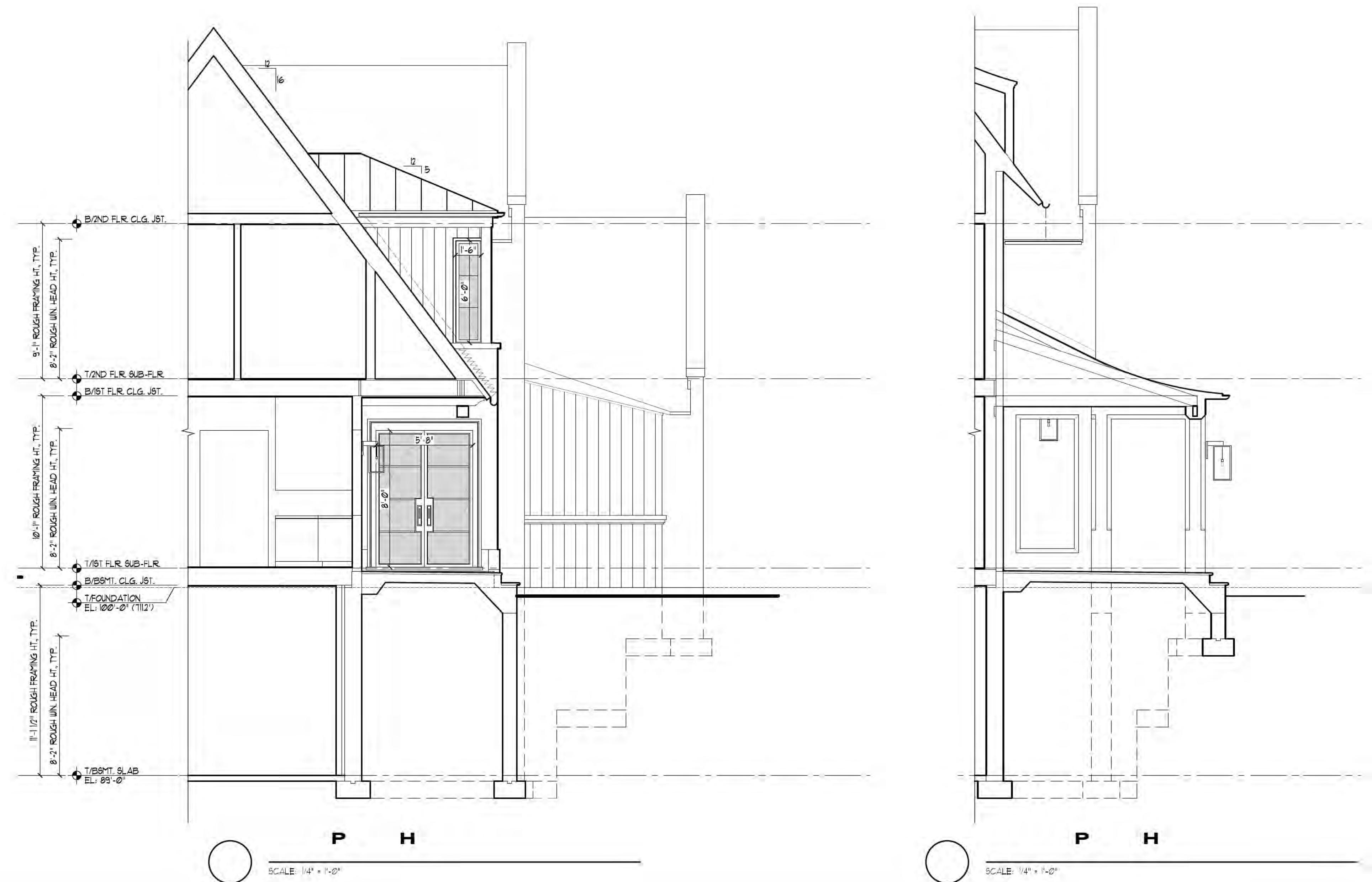
SCALE: $1/4" = 1'-0"$



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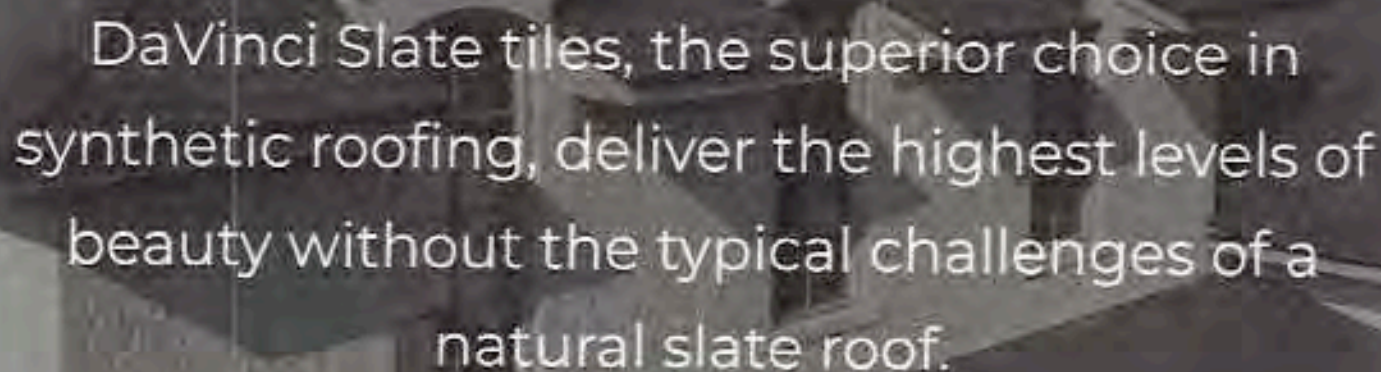
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3. EXTENSION QUESTIONS

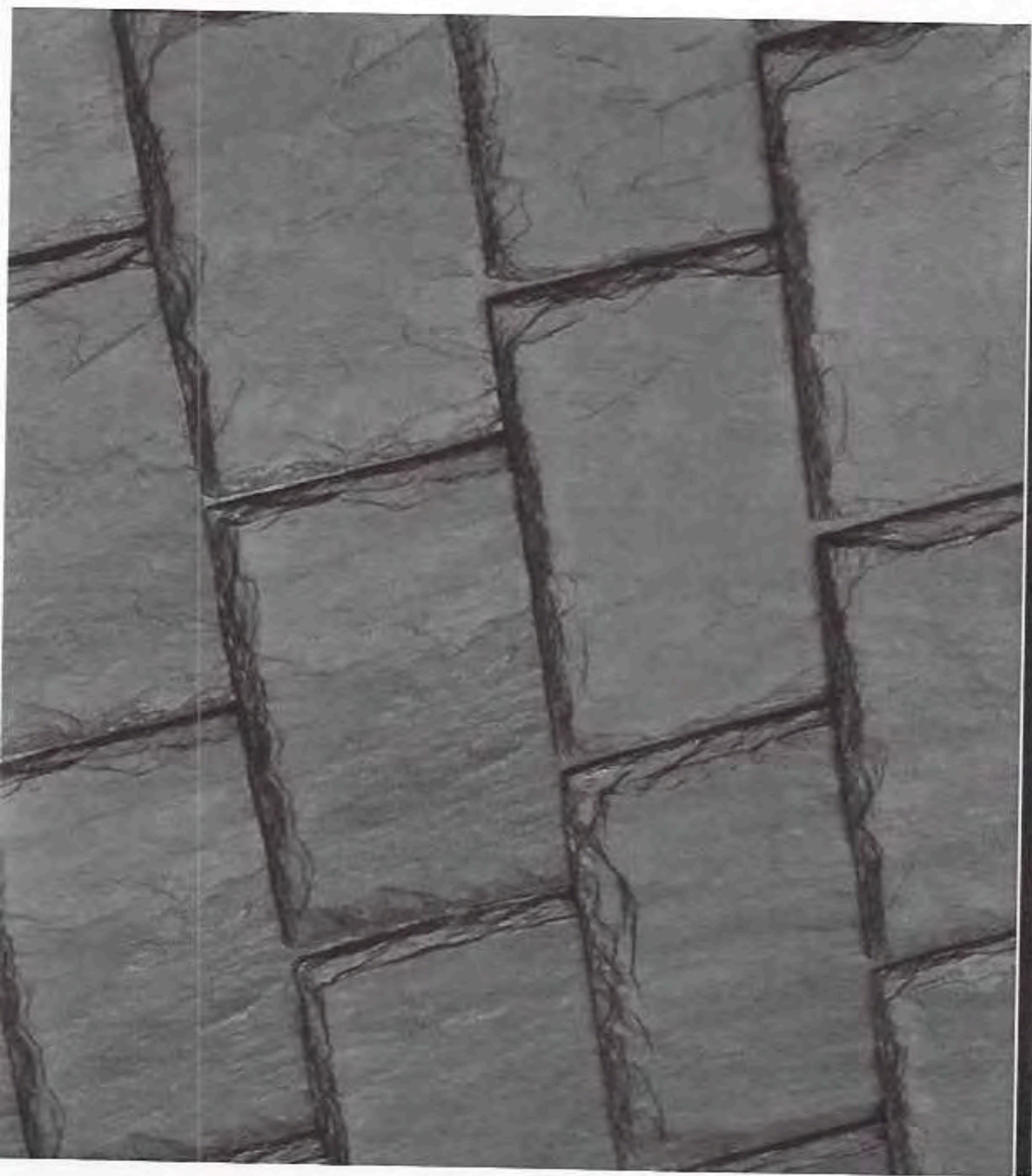
Fundulus or Eden Stone



The background of the top section is a grayscale photograph of a large, multi-story house with a prominent roofline. The roof appears to be covered in slate tiles. The house has several windows and a chimney. The text is overlaid on this image.

DaVinci Slate tiles, the superior choice in synthetic roofing, deliver the highest levels of beauty without the typical challenges of a natural slate roof.

Some homes were created with the promise of a slate roof in mind. DaVinci Slate shingles deliver on that promise with astonishing versatility. Our slate tiles are engineered to be lighter, to resist impact and to maintain their color longer. Designed to withstand harsh weather conditions, our composite shingles are a cost-effective solution to traditional roofing materials. It's hard to beat Mother Nature, but DaVinci has done it.



Courtyard Dark Gray-Pewter-Charcoal





NEW LP® SMARTSIDE® NICKEL GAP SIDING

LP® SmartSide® Nickel Gap Siding offers a modern profile using SmartGuard technology. Nickel Gap features locking flanges with a fastener groove that hides nails. This also allows for the siding to be stacked and tapped into place creating a gap between the boards about the size of a nickel.

- Features include a nominal 1/2" thickness and 7" reveal.
- Can be installed vertically or horizontally
 - Local/regional building codes should be followed
- Install with LP SmartFlash™ Metal Pan Flashing accessory (100 pieces/box; only available in primed) or comparable alternative to support a complete system
- Backed by an industry-leading 5/50-year limited warranty



DESCRIPTION	LENGTH	NOMINAL WIDTH	NOMINAL THICKNESS	WEIGHT PER PIECE	SQ. FT. PER UNIT	PIECES PER UNIT	FID
LP® SmartSide® Nickel Gap Siding	16'	8"	1/2"	Approx. 16 lbs	1920 ft (surface area)	180	45545
LP SmartFlash™ Metal Pan Flashing	10'	4"	0.024"	-	-	-	46180



For more information, visit LPCorp.com/SmartSide

WARNING: Drilling, sawing, sanding or machining wood products can expose you to wood dust, a substance known to the State of California to cause cancer. Avoid inhaling wood dust or use a dust mask or other safeguards for personal protection. For more information go to www.P65Warnings.ca.gov/wood.

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Explore Home Decor

Use your Google Account to sign in to Pinterest

No more passwords to remember. Signing in is fast, simple and secure.

499

From Bell 2 Lew

2 Comments

Jiri Just lovely, looks modern thanks to the black large doors and yet classic with the gable roof. Also thanks to the choice of black and white, non colors.

highness i love houses like this, what's this type of style/architecture called??

Add a comment



More to explore



Outdoor Oasis
For more home decor & inspiration, follow me at @StellaDadasInteriors

Sophisticated Interior Design
Sophisticated Interior Design
a Classy Look

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Wishlist



Thermal Pennsylvania Bluestone

[Add To Wishlist](#)

SKU: BPT

Categories: [Bluestone](#), [Natural Flagstone](#)

Tag: [Blue](#)



Description

Additional Information

Thickness

1 1/4", 1"

Dimensions (Width X
Length)

12"x12" 12"x18" 12"x24"
12"x30" 12"x36" 18"x18"
18"x24" 18"x30" 18"x36"
24"x24" 24"x30" 24"x36"

Natural Flagstone Color

Blue

Courtyard Dark Gray-Pewter-Charcoal



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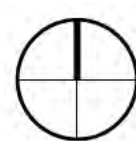
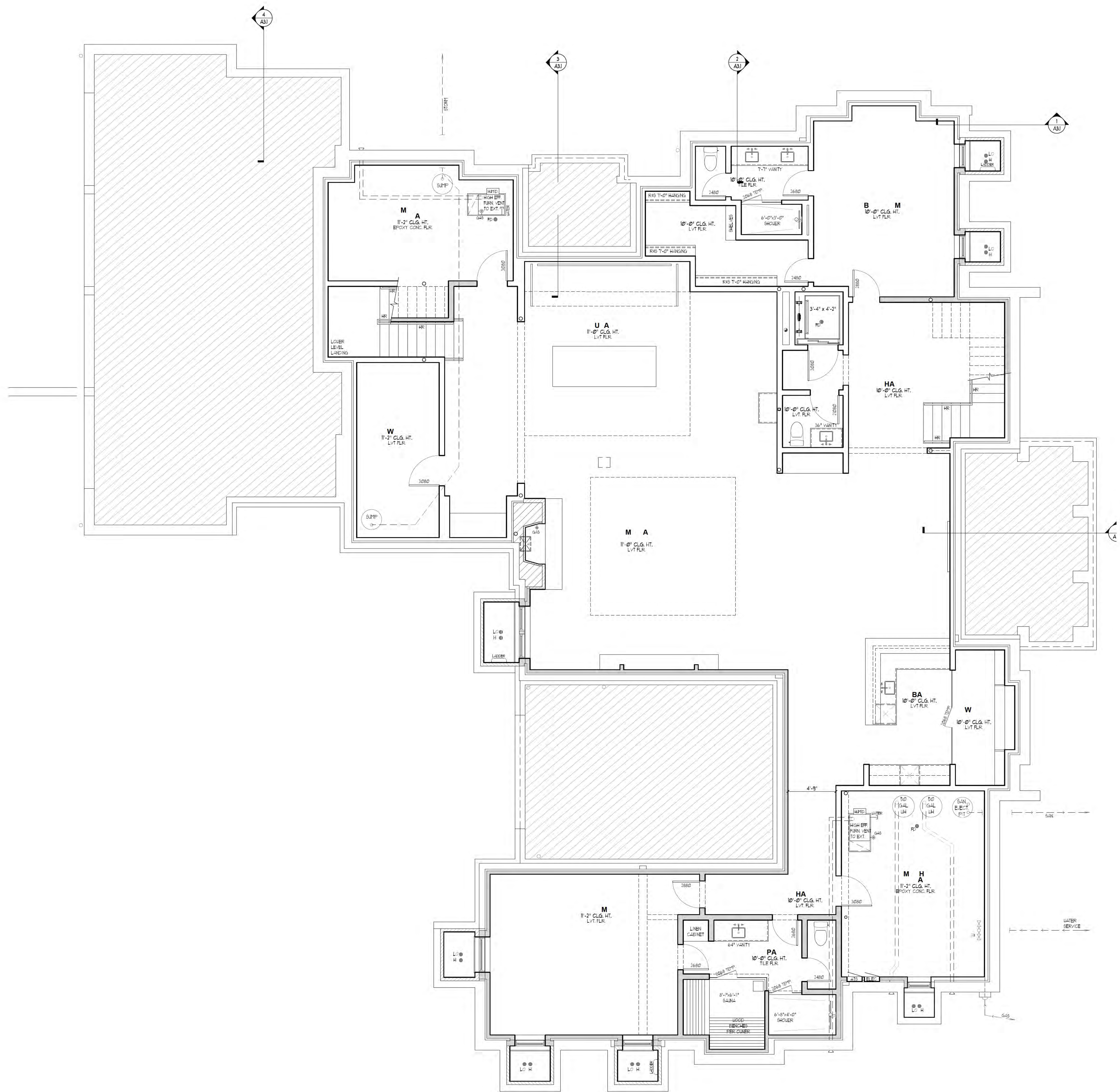
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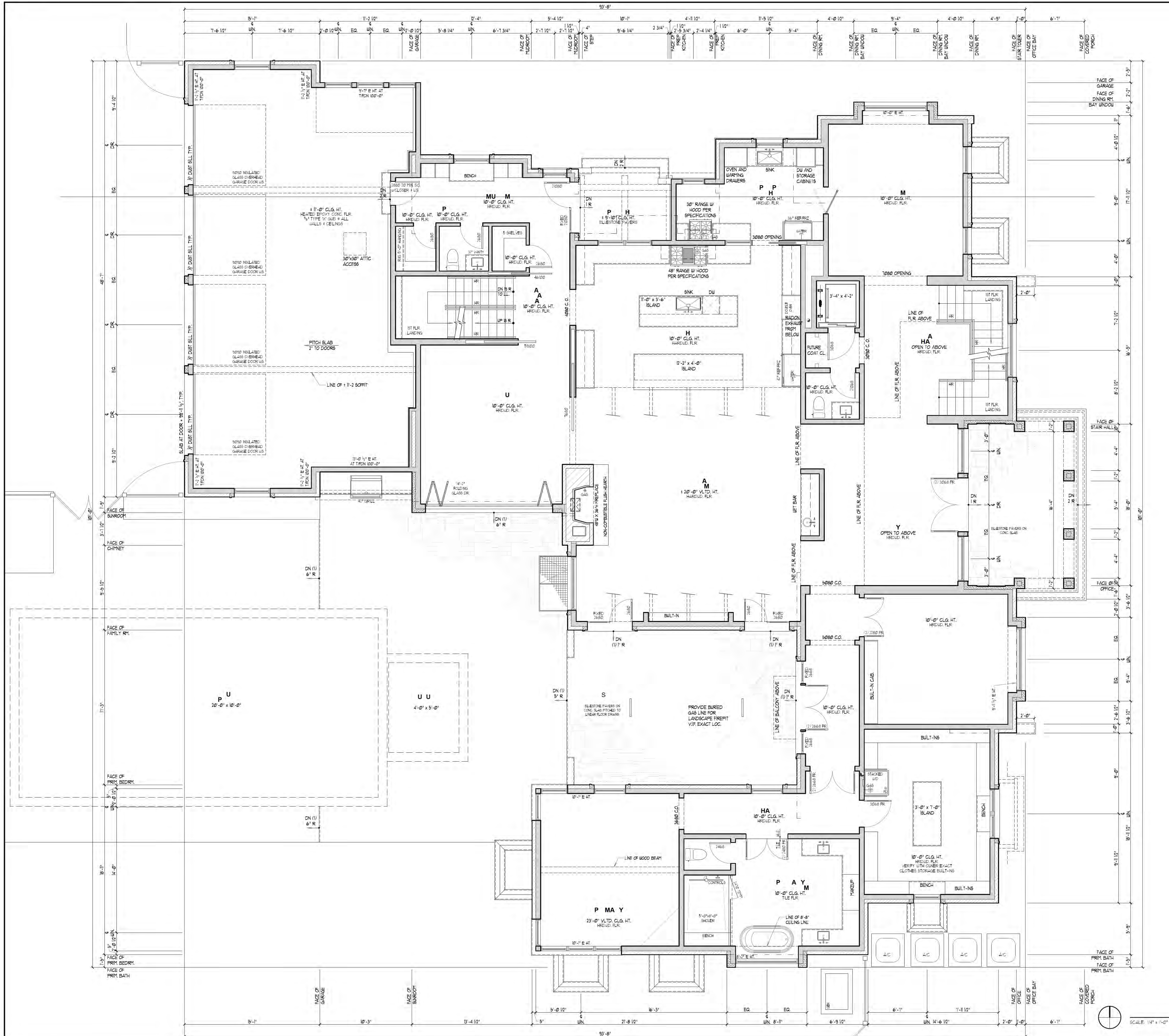
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WATER LEVEL FLOOR PLAN



SCALE: 1/4" = 1'-0"





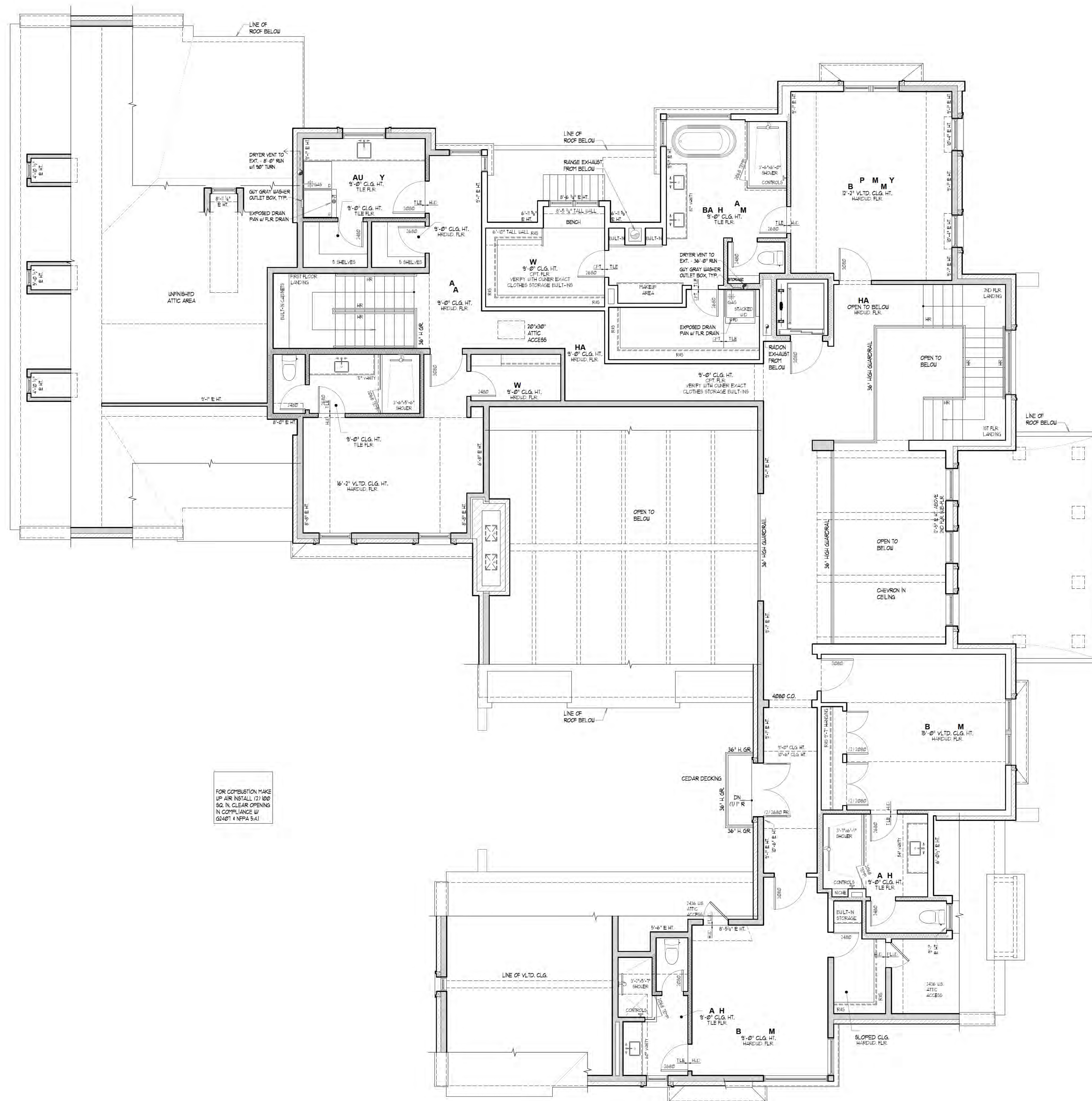
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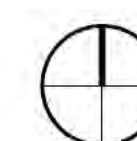
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7/2023/DRAWINGS/ 3 SECOND FLOOR PLAN	



FOR COMBUSTION MAKE
UP AIR INSTALL (2) 100
SQ. IN. CLEAR OPENING
IN COMPLIANCE W/
G240T & NFPA 54]



SCALE: 1/4" = 1'-0"



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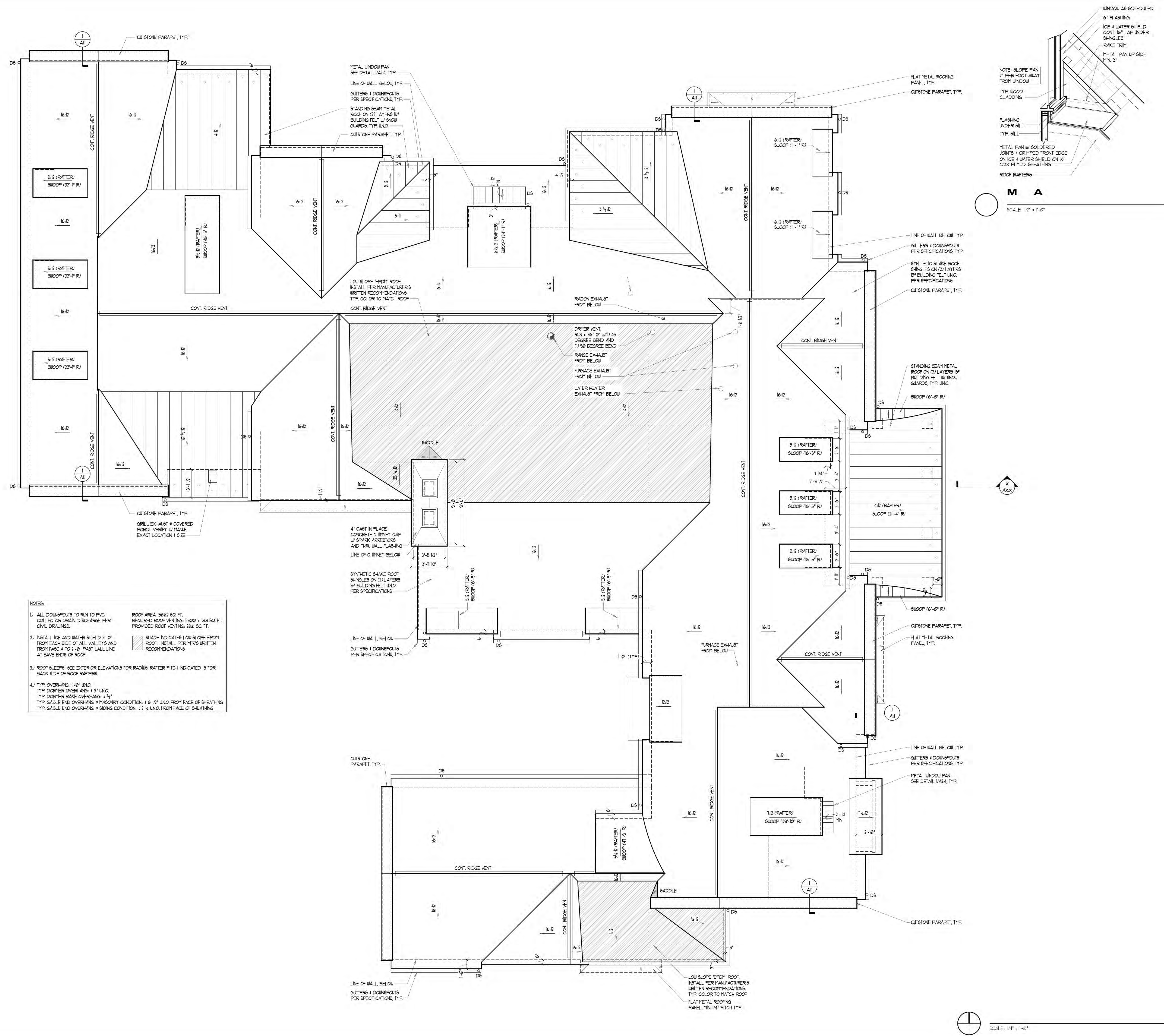
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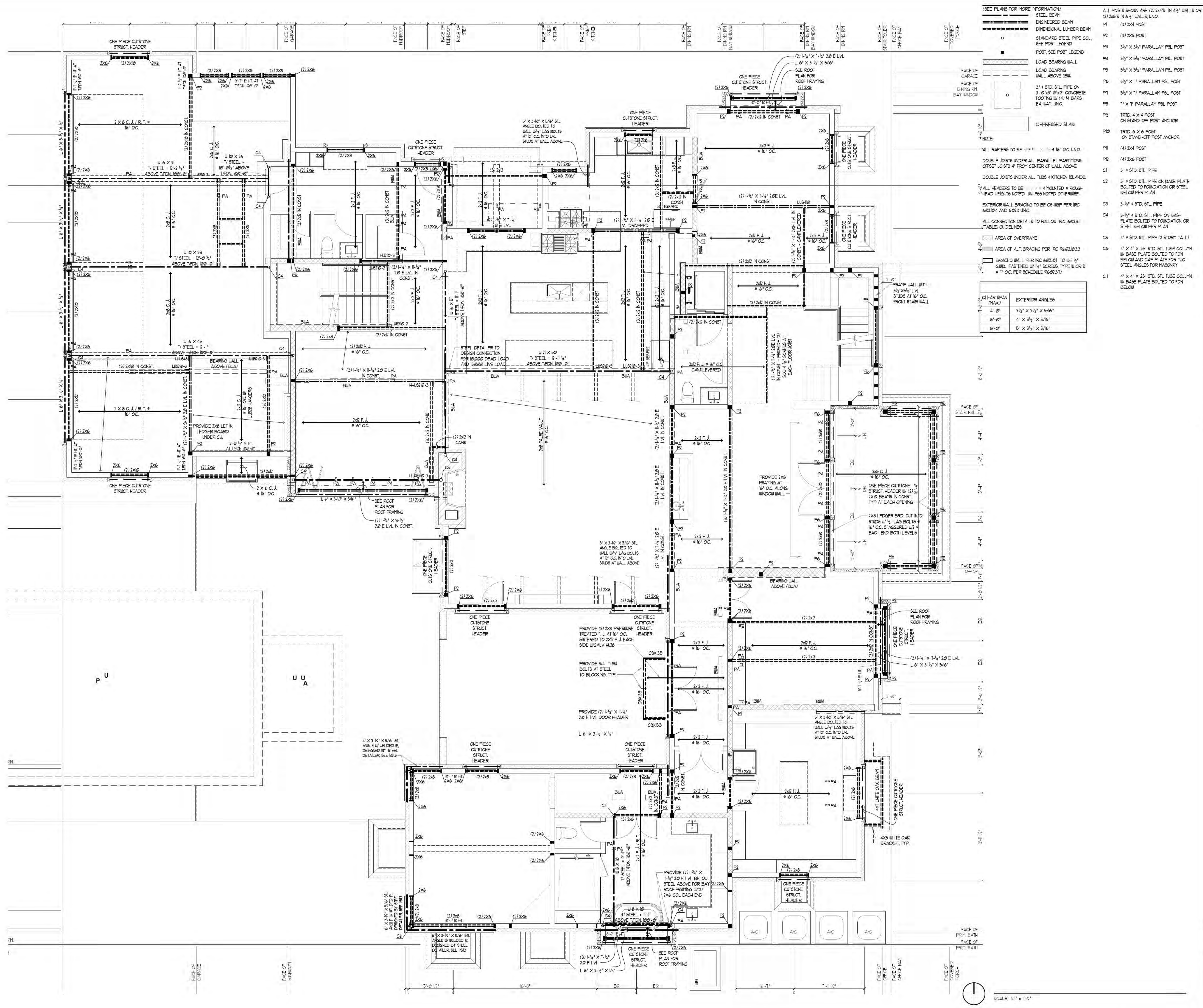
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/2023/DRAWINGS/
A ROOF PLAN AND DETAILS



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ALL POSTS SHOWN ARE (2) 2x4'S IN 4 1/2" WALLS OR (2) 2x6'S IN 6 1/2" WALLS UNDO.
P1 (3) 2x4 POST
P2 (3) 2x6 POST
P3 3 1/2" X 3 1/2" PARALLEL PSL POST
P4 3 1/2" X 5 1/4" PARALLEL PSL POST
P5 5 1/4" X 5 1/4" PARALLEL PSL POST
P6 3 1/2" X 1" PARALLEL PSL POST
P7 5 1/4" X 1" PARALLEL PSL POST
P8 1" X 1" PARALLEL PSL POST
P9 TRTD. 4 X 4 POST ON STAND-OFF POST ANCHOR
P10 TRTD. 6 X 6 POST ON STAND-OFF POST ANCHOR
P11 (4) 2x4 POST
P12 (4) 2x6 POST
C1 3" STD. STL. PIPE
C2 3" STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION OR STEEL BELOW PER PLAN
C3 3-1/2" STD. STL. PIPE
C4 3-1/2" STD. STL. PIPE ON BASE PLATE BOLTED TO FOUNDATION OR STEEL BELOW PER PLAN
C5 4" STD. STL. PIPE (2 STORY TALL)
C6 4" X 4" X 25" STD. STL. TUBE COLUMN W/ BASE PLATE BOLTED TO FDN. BELOW AND CAP PLATE FOR TWO STEEL ANGLES FOR MASONRY

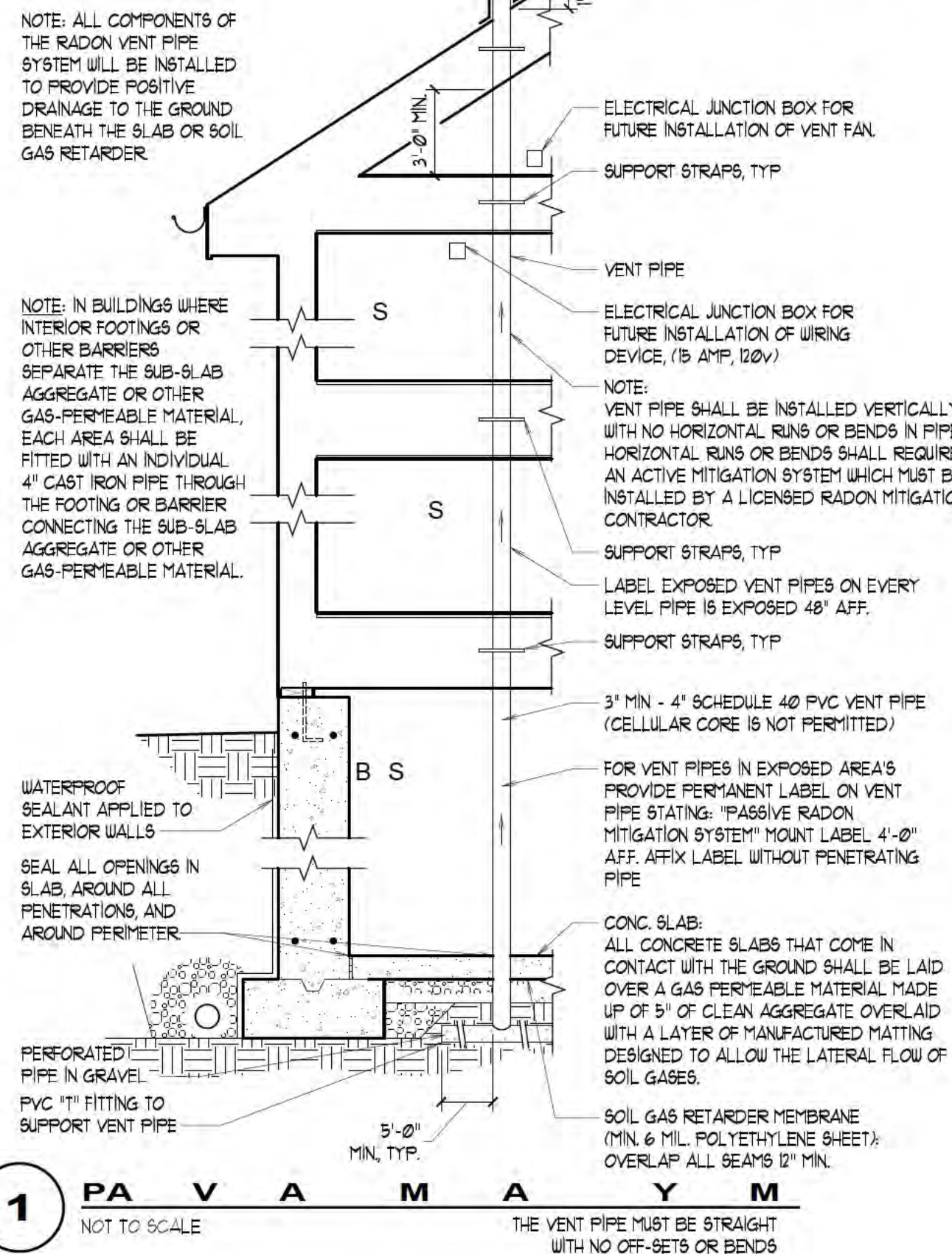
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






























CLASH	EXT. ANGLE
4'-0"	3 1/2" X 3 1/2" X 5/16"
6'-0"	4" X 3 1/2" X 5/16"
8'-0"	5" X 3 1/2" X 5/16"

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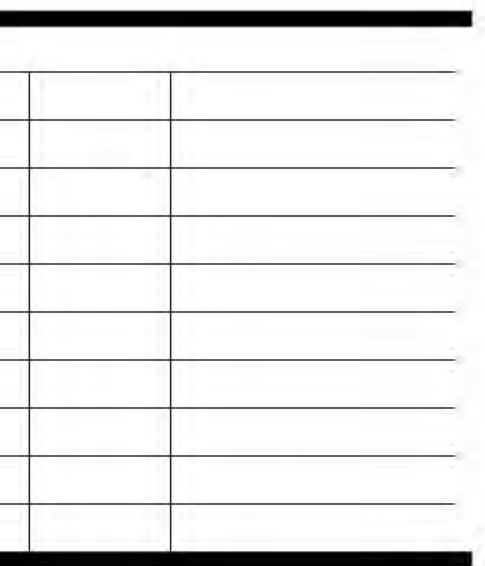
1/4" = 1'-0"



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|---|---|---|--|
|  | CEILING ELECTRICAL BOX FOR LIGHT FIXTURE |  | SWITCH |
|  | RECESSED DOWNLIGHT IN CEILING/GROFF DROPPED BEZEL |  | 3-WAY SWITCH |
|  | RECESSED DIRECTIONAL |  | 4-WAY SWITCH |
|  | WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR |  | DIMMER SWITCH |
|  | GROUND FAULT INTERRUPT DUXEL |  | EXHAUST FAN |
|  | GROUND FAULT INTERRUPT WATER PROOF DUXEL w/IN USE COVER |  | VENT TO EXTERIOR |
|  | DEDICATED SINGLE PLUG RECEPTACLE |  | 100V-50 SMOKE DETECTOR DIRECT WIRE |
|  | SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED |  | 100V-60 CARBON MONOXIDE DETECTOR DIRECT WIRE |
|  | SWITCHED CEILING MOUNTED DUPLEX RECEPTACLE |  | 200F° HEAT DETECTOR DIRECT WIRE |
|  | QUAD RECEPTACLE |  | TELEPHONE |
|  | 220 V. OUTLET |  | DATA |
|  | TELEVISION JACK |  | DOOR BELL |
|  | FLOOR OUTLET |  | DOOR CHIME |
|  | RECESSED RISER LIGHT |  | POST LIGHT |
| | |  | CEILING FAN |
|  | TELEVISION JACK |  | ROPE LAMP |
|  | FLOOR OUTLET |  | INFRARED RADIANT HEATER |
|  | RECESSED RISER LIGHT |  | ROPE LIGHT |

PROJECT NOTES:

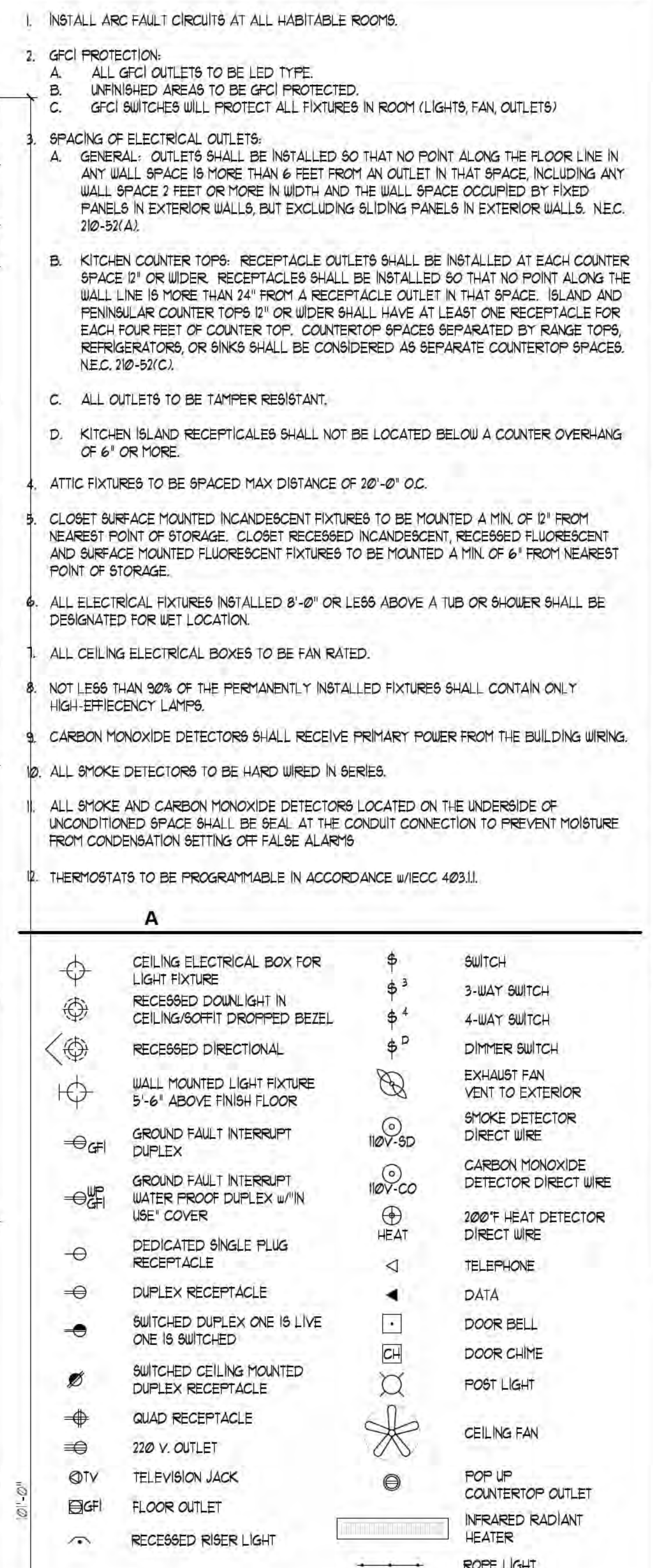
1. VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/OWNER.
2. G.C. TO COORDINATE POWER REQUIREMENTS w/AV. CONSULTANT PER OWNER.
3. LIGHTING IN ALL CABINETS TO BE COORDINATED w/CABINET SUPPLIER PER OWNER.
4. LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/MILLWORK SUPPLIER PER OWNER.
5. ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
6. ALL AREAS w/WALL PANELING TO HAVE BASEBOARD OUTLETS.



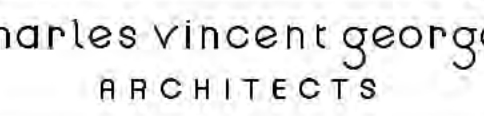
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1.	PROJECT NOTES:
2.	VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS W/OWNER.
3.	G.C. TO COORDINATE POWER REQUIREMENTS W/AV. CONSULTANT PER OWNER.
4.	LIGHTING IN ALL CABINETS TO BE COORDINATED W/CABINET SUPPLIER PER OWNER.
5.	LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED W/MILLWORK SUPPLIER PER OWNER.
6.	ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
7.	ALL AREAS W/USUAL PANELING TO HAVE BASEBOARD OUTLETS.



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2025/DRAWINGS/
FIRST FLOOR SCHEMATIC
ELECTRICAL PLAN AND LEGEND

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SCALE: 1/4" = 1'-0"

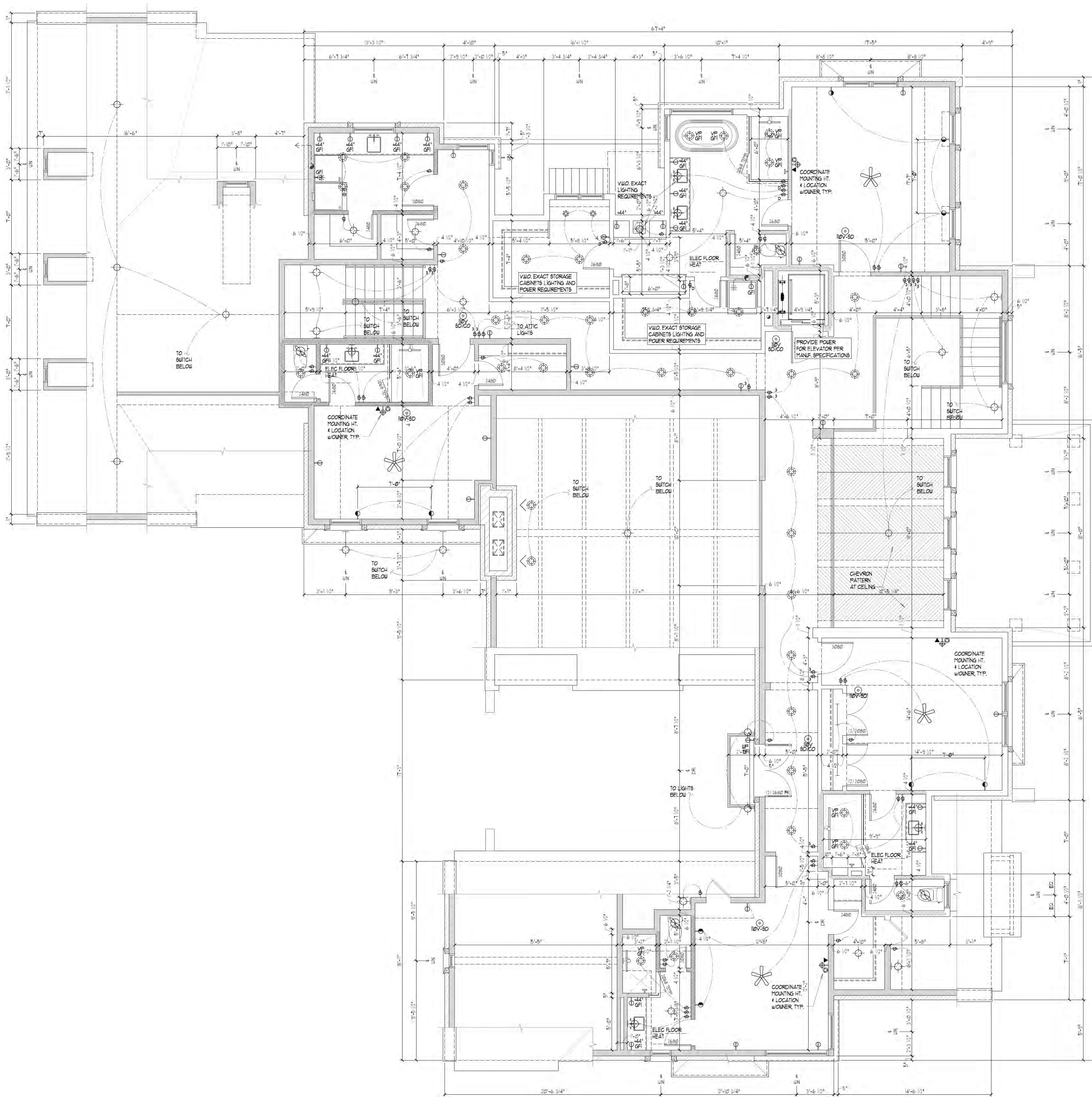


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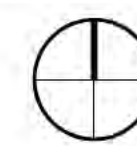
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- INSTALL ARC FAULT CIRCUITS AT ALL HABITABLE ROOMS.
- GFCI PROTECTION:
 - ALL GFCI OUTLETS TO BE LED TYPE.
 - UNFINISHED AREAS TO BE GFCI PROTECTED.
 - GFCI SWITCHES WILL PROTECT ALL FIXTURES IN ROOM (LIGHTS, FAN, OUTLETS)
- SPACING OF ELECTRICAL OUTLETS:
 - GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS. (NEC 210-52(A)).
 - KITCHEN COUNTER TOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 1' OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULAR COUNTER TOPS 2' OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES. (NEC 210-52(C)).
 - ALL OUTLETS TO BE TAMPER RESISTANT.
 - KITCHEN ISLAND RECEPTACLES SHALL NOT BE LOCATED BELOW A COUNTER OVERHANG OF 6" OR MORE.
- ATTIC FIXTURES TO BE SPACED MAX DISTANCE OF 20'-0" O.C.
- CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES TO BE MOUNTED A MIN. OF 1' FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A MIN. OF 6" FROM NEAREST POINT OF STORAGE.
- ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION.
- ALL CEILING ELECTRICAL BOXES TO BE FAN RATED.
- NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.
- CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING.
- ALL SMOKE DETECTORS TO BE HARD WIRED IN SERIES.
- ALL SMOKE AND CARBON MONOXIDE DETECTORS LOCATED ON THE UNDERSIDE OF UNCONDITIONED SPACE SHALL BE SEAL AT THE CONDUIT CONNECTION TO PREVENT MOISTURE FROM CONDENSATION SETTING OFF FALSE ALARMS.
- THERMOSTATS TO BE PROGRAMMABLE IN ACCORDANCE W/IECC 403.3.1.

A			
	CEILING ELECTRICAL BOX FOR LIGHT FIXTURE		3-WAY SWITCH
	RECESSED DOWNLIGHT IN CEILING w/ADJUSTABLE BEZEL		4-WAY SWITCH
	RECESSED DIRECTIONAL LIGHT		DIMMER SWITCH
	WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR		EXHAUST FAN VENT TO EXTERIOR
	GROUND FAULT INTERRUPT DUPLEX		SMOKE DETECTOR DIRECT WIRE
	GROUND FAULT INTERRUPT WATER PROOF DUPLEX w/IN USE COVER		CARBON MONOXIDE DETECTOR DIRECT WIRE
	DEDICATED SINGLE PLUG RECEPTACLE		200°F HEAT DETECTOR DIRECT WIRE
	DUPLEX RECEPTACLE		TELEPHONE
	SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED		DATA
	SWITCHED CEILING MOUNTED DUPLEX RECEPTACLE		DOOR BELL
	QUAD RECEPTACLE		DOOR CHIME
	220 V. OUTLET		POST LIGHT
	TELEVISION JACK		CEILING FAN
	FLOOR OUTLET		POP UP COUNTERTOP OUTLET
	RECESSED RISER LIGHT		INFRARED RADIANT HEATER
			ROPE LIGHT

- PROJECT NOTES:
- VERIFY LOCATION, NUMBER & SWITCHING OF ALL FLOOR OUTLETS w/OWNER.
 - G.C. TO COORDINATE POWER REQUIREMENTS w/AV. CONSULTANT PER OWNER.
 - LIGHTING IN ALL CABINETS TO BE COORDINATED w/CABINET SUPPLIER PER OWNER.
 - LIGHTING IN ALL BUILT-IN MILLWORK TO BE COORDINATED w/MILLWORK SUPPLIER PER OWNER.
 - ALL DECORATIVE FIXTURES TO BE FURNISHED BY OWNER & INSTALLED BY ELECTRICAL CONTRACTOR.
 - ALL AREAS w/WALL PANELING TO HAVE BASEBOARD OUTLETS.



SCALE: 1/4" = 1'-0"

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DATE: _____

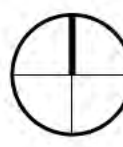
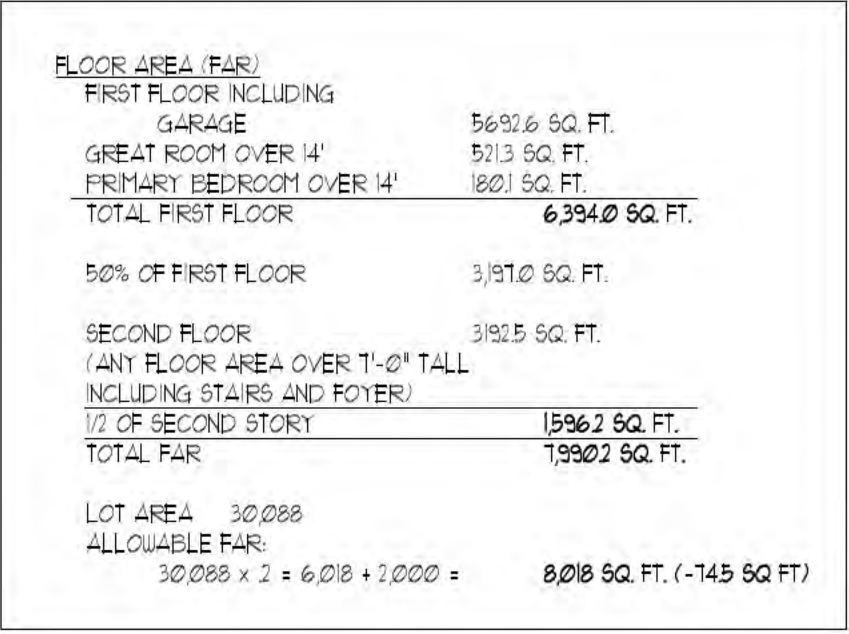
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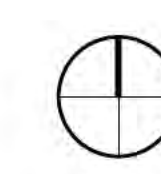
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FAR 1ST



SCALE: 1/4" = 1'-0"



FLOOR AREA (FAR)	
FIRST FLOOR INCLUDING	
GARAGE	560.25 SQ. FT.
GREAT ROOM OVER 14'	573.75 SQ. FT.
PRIMARY BEDROOM OVER 14'	180.1 SQ. FT.
TOTAL FIRST FLOOR	6,914.05 SQ. FT.
50% OF SECOND FLOOR	
SECOND FLOOR	3,925.5 SQ. FT.
(ANY FLOOR AREA OVER 7'-0" TALL	
INCLUDING STAIRS AND ROYER)	
1/2 OF SECOND STORY	1,962.75 SQ. FT.
TOTAL FAR	1,962.75 SQ. FT.
LOT AREA: 30,088	
ALLOWABLE FAR:	
30,088 x .25 = 6,018 + 2,000 =	8,018 SQ. FT. (+145 SQ. FT.)



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FAR 303

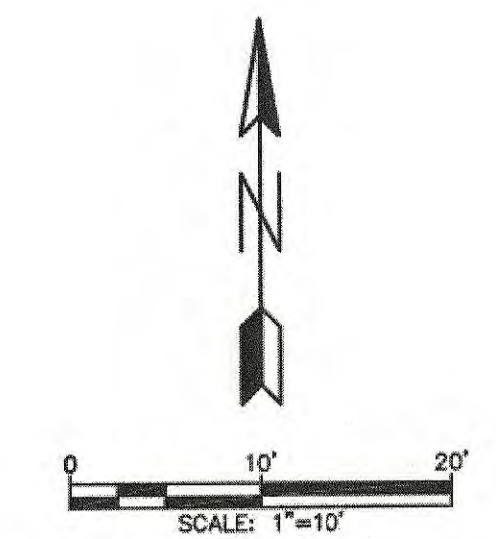
GEOMETRY PLAN

THE NORTH 170 FEET OF THE EAST 177 FEET OF THE NORTHEAST 1/4 OF BLOCK 5, LYING SOUTH OF THE SOUTH LINE OF FIRST STREET AND WEST OF THE WEST LINE OF PARK AVENUE IN WILLIAM ROBBINS FIRST ADDITION TO THE TOWN OF HINSDALE, BEING SUBDIVISION OF PART OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 13, 1866 AS DOCUMENT NUMBER 7893, IN DUPage COUNTY, ILLINOIS.

P.I.N.: 09-12-207-026

COMMONLY KNOWN AS: 142 E. FIRST STREET, HINSDALE, ILLINOIS

SURVEY AREA: 30,088 (0.691 ACRES±)



- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - EX. SANITARY LINE
 - EX. STORM LINE
 - EX. WATER LINE
 - EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
 - EX. UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
 - EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
 - EX. UNDERGROUND TELEPHONE (APPROXIMATE LOCATION)
 - EX. FENCE
 - EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
 - EX. CONCRETE CURB & GUTTER
 - EX. DEPRESSED CURB
 - EX. CONTOURS
 - EX. SANITARY MANHOLE
 - EX. STORM CATCH BASIN
 - EX. STORM FLARED END SECTION
 - EX. STORM INLET
 - EX. STORM MANHOLE
 - EX. VALVE VAULT
 - EX. FIRE HYDRANT
 - EX. SPOT ELEVATION
 - EX. CONIFEROUS TREE
 - EX. DECIDUOUS TREE
 - EX. BUSH

ABBREVIATIONS

- ARC LENGTH
- ASPH ASPHALT
- AC AIR CONDITIONER UNIT
- BC BACK OF CURB
- BW BOTTOM OF WALL
- B/B BOTTOM OF
- CH CHORD
- CD CORRUGATED METAL PIPE
- CONC CONCRETE
- CP CORRUGATED PLASTIC PIPE
- DS DOWNSPOUT
- E EAST
- ELEC ELECTRIC
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- GF GAS METER
- GM GAS METER
- ICB IRRIGATION CONTROL BOX
- INERT INERT
- LSP LANDSCAPED AREA
- MS MALIBOX
- MTF MEASURED TOP OF FOUNDATION
- N NORTH
- PEDC CABLE PEDESTAL
- PEDE ELECTRIC PEDESTAL
- PEDT TELEPHONE PEDESTAL
- PTF PROPOSED TOP OF FOUNDATION
- PVC POLYVINYL CHLORIDE PIPE
- PVR PAVERS
- R RADIUS
- ROP REINFORCED CONCRETE PIPE
- S SOUTH
- TF TOP OF FOUNDATION
- TRANS TRANSFORMER
- T/T TOP OF WALL
- UP UTILITY POLE
- UTL UTILITY
- VCP VITREOUS CLAY PIPE
- WM WEST
- WW WINDOW WELL
- XXX'XXX' MEASURED DIMENSION
- XXX'XXX' RECORD DIMENSION

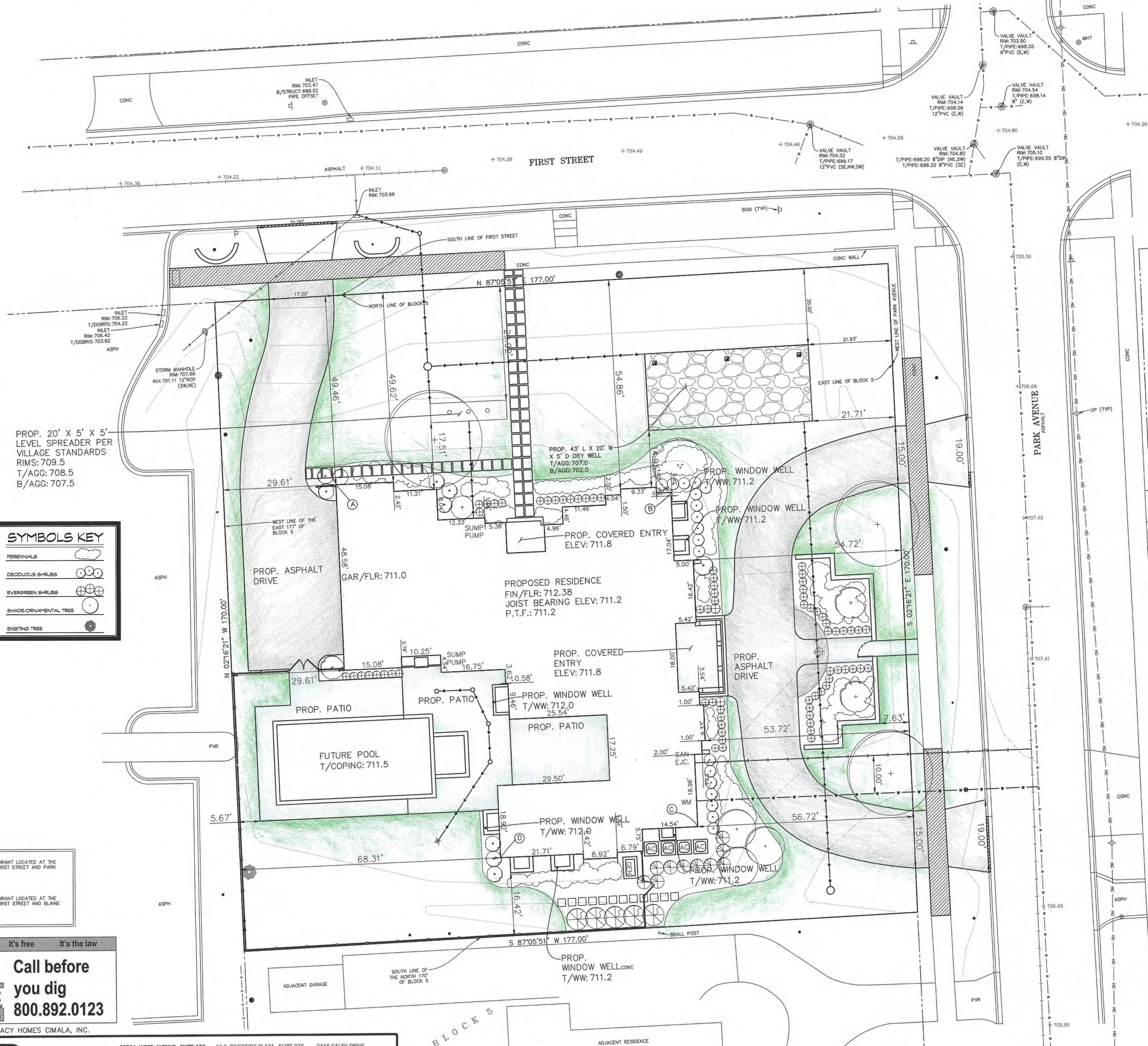
ADDRESS	SETBACK TO E FIRST ST
108 E FIRST ST	29.14'
142 E FIRST ST	69.32'
AVERAGE SETBACK:	49.23'

	SETBACK TO S PARK AVE
142 E FIRST ST	55.17'
124 S PARK AVE	52.80'
132 S PARK AVE	51.24'
134 S PARK AVE	66.73'
154 S PARK AVE	52.67'

AVERAGE SETBACK: 53.55'

SITE PLAN DATED: MAY 28, 2025

SHEET 2 OF 5 PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



SYMBOLS KEY

PERENNIALS	(Symbol)
DECIDUOUS SHRUBS	(Symbol)
EVERGREEN SHRUBS	(Symbol)
SHADE/ORNAMENTAL TREE	(Symbol)
EXISTING TREE	(Symbol)

SITE BENCHMARK #1:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHEAST CORNER OF FIRST STREET AND PARK
AVENUE.
ELEV: 706.56 (NAVD 88)

SITE BENCHMARK #2:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHWEST CORNER OF FIRST STREET AND BLAINE
STREET.
ELEV: 706.35 (NAVD 88)

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ENGINEERING
RESOURCE ASSOCIATES

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PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 355-6268
FAX (217) 355-1902

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CHECKED BY: TBM
APPROVED BY: JPG

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From: **Arthur Kafara** >

To: **Legacy** >

Cc: **Simon Bradley** > **Brian McNally** >

April 11, 2025 at 11:44 AM

142 E 1st St Hinsdale - Budgetary Proposal

Bob,

Reaching out regarding the project at **142 E 1st St. Hinsdale.**

Please note that our budgetary proposal encompasses lifting the existing structure, removing the current foundation, and completing the pouring of the new foundation.

We have estimated the budgetary cost for this project to be \$390,000.00.

Thank you for your consideration.

Sincerely,
Donegal Estimating



HISTORICAL AND ARCHITECTURAL IMPACT STUDY (HAIS):

THE WILLIAM WHITNEY HOUSE AT 142 E. FIRST STREET HINSDALE, ILLINOIS



Built 1868-69

HAIS PREPARED BY:

Jean L. Guarino, Ph.D.

Guarino Historic Resources Documentation

844 Home Avenue | Oak Park, IL, 60304

708.386.1142

guarinojl@gmail.com | jeanguarino.com

May 2025

Synopsis of Findings of Significance

The Whitney House at 142 E. First Street has local architectural significance as a rare, and well-preserved, example of an Italianate style house in Winnetka, featuring many hallmarks of this style. Built in 1868-69, it also has local historical significance as one of the few extant houses in the Village that pre-date 1871 and for its association with William Whitney (1828-1917), who in 1873 led the successful effort to incorporate Hinsdale. Whitney—a local real estate developer who served as a member of the Illinois House of Representatives from 1870-72—lived in this house from 1870-79 with his wife and seven children. Demolition of the Whitney House would have a negative impact on Hinsdale, as it would remove a residence that dates from its early development, is associated with an individual that spurred its incorporation, and exemplifies a style that is now rare in the Village.

Ownership History for the house at 142 E. First Street

Name	Period of Ownership
Levi L. and Maria L. Stodder	April 9, 1868
William M. and Sarah Whitney	February 21, 1870
Adam S. and Emilie Glos	November 3, 1879
George W. and Mary S. Hinckley	March 1, 1882
Gracia M.F. Barnhardt	February 27, 1915
Dr. William and Julia Wilson	March 24, 1925
Thomas H. and Josephine Willis	April 30, 1927
James and Henrietta McAfee	1941 to 1950
George Edmonds and Cornelia Mackey	September 23, 1950
Nelson C. and Glad C. Works, Jr.	September 27, 1952
Julius and Paula Mayer	November 20, 1962
Margaret S. White and William T. White	April 1, 1963
Albert V. and Nancy F. Issleib	January 31, 1966
William L. and Loriot D. Reineman	August 15, 1971
Louis J. and Suzanne W. Zimmer	December 23, 1975
Martin P. and Elizabeth S. Miller	May 18, 1979
John H. and Kim L. Lotka	March 27, 1981
Frederick C. and Elaine Cue	March 4, 1983
Grace Episcopal Church	August 1, 1994 to present

Property owners were identified through a review of Grantor-Grantee and Grantee-Grantor books at the DuPage County Recorder of Deeds Office in Wheaton and property records on the DuPage County Recorder of Deeds website, which were cross-checked with the ownership list compiled by former Whitney House owner, Richard Cue, in his unpublished manuscript titled: “The William Whitney House: A Chronicle of its History and People” (1991).

Biographies of historic (pre-1976) owners are below.

Levi and Maria Stodder

Levi and Maria Stodder were the first owners of the house at 142 E. First Street. Levi L. Stodder (1830-1901) was born in Maine. He married Pennsylvania native Marie L. Hoffman (1836-1898) in LaSalle, Illinois, on December 16, 1857. The couple had five children during their marriage: Mirabell (b. 1859), Ida (b. 1860), Levi (b. 1862), Eva (b. 1866), and Arthur (b. 1881). The Stodders and their two oldest children lived in Peoria, Illinois, in 1860, where Stodder was employed as a merchant, according to the U.S. Census for that year.

On April 9, 1968, Levis and Maria Stodder purchased a large parcel at the southwest corner of present-day First Avenue and Park Street from William Robbins, at a cost of \$1,000. The parcel comprised the northeast quarter of Block 5 in William Robbins First Addition to Hinsdale, which was platted on October 5, 1866.

Levi Stodder commissioned an unknown builder in 1868 to construct a wood-frame, Italianate style house on his new Hinsdale property, the cost of which was financed by Robbins. “By November [1868] the structure was far enough along so that Robbins held a \$2,500 mortgage on the property.”¹ Frederick Cue, a former owner and historian of the Whitney House, believes that the house was completed in the Fall of 1869.

It is unknown whether Levi Stodder moved his family into the house, as he sold it to William Whitney in February 1870, just a few months after its completion. The Levi Stodder family later moved to Chicago’s Hyde Park neighborhood, where in 1883 Levi was employed as a “purchasing agent.” Marie Stodder died in 1898, and Levi Stodder died in 1901 in his home at 626 Englewood Avenue in Chicago’s Englewood community area.

William M. and Sarah Whitney

William and Sarah Whitney purchased the house on February 21, 1870, and lived there for nine years. William Whitney (1828-1917) was born in Ontario, New York, on September 23, 1828. He became a teacher in 1848 and married Sarah Clark (1828-1880) in 1851. The couple had seven children: Augusta (b. 1853); Mary (b. 1857); Anna (b. 1859); Nellie (b. 1861); Frank (b. 1863); William (b. 1866); and Grace (b. 1869).

The Whitneys relocated from upstate New York to the small village of Winfield, in DuPage County, Illinois, with their daughter Augusta in 1858. Whitney was elected DuPage County Circuit Clerk and Recorder in 1860 and served in that role until 1868. In 1862, the Whitney family moved to Naperville, which was then the DuPage County seat.

William Whitney also began a real estate business in the mid-1860s, serving as an agent, developer, and investor. In 1868, he platted one of the first subdivisions in Downers Grove with Charles W. Richmond, named the Whitney and Richmond Addition. The two men sold lots in this subdivision for total proceeds of nearly \$10,000 over the next four years. He was also

¹ Frederick C. Cue, “The William Whitney House: A Chronicle of its History and People,” 1991: 4. (unpublished manuscript).

involved in real estate transactions in Naperville. In Hinsdale, Whitney bought the west half of Block 6 in William Robbins First Addition in 1867 at a cost of \$1,000. He then sold property—which was across First Street from the site of his future house—as two lots in 1869 and 1870 for a total of \$3,000.

William Whitney purchased Levi Stodder's recently completed Italianate style house in February 1870. The U.S. Census for 1870 identified Whitney's occupation as "real estate agent" with a net worth of \$17,000 (\$15,000 in real estate and \$2,000 in his personal estate). The Whitney family of nine—which included William and Sarah's seven children, ages one through seventeen—shared their Hinsdale house with a servant and gardener.

In 1870, Whitney was elected to the Illinois House of Representatives as the only representative from DuPage County and served one two-year term. Whitney's subsequent role in the incorporation of Hinsdale was described by Timothy Bakken in his book *Hinsdale* (1976):

After the adjournment of the 27th General Assembly in April 1872, Whitney headed home to Hinsdale with the intention of getting his Village chartered, and that summer he drafted a petition to the County Judge asking for a referendum on the matter. He wrote out a faircopy of the petition, dating it August 1, 1872; affixed his signature as the first to the document; and during the next month persuaded various friends and neighbors to sign it also. It was then proudly presented to County Judge Myron C. Dudley...the petition was signed by 37 of the most prominent residents...

Judge Dudley approved the petition and set the voting day for March 29, 1873. The referendum was overwhelmingly approved 60 to 2. Judge Dudley certified the results and declared that "...said proposed Village...shall from henceforth be deemed an organized village."²

William Whitney continued working as a real estate agent during the 1870s with an office at 149 Madison Street in Chicago. His listings in 1874 included several houses in Hinsdale, ranging in price from \$1,500 to \$9,000, and a house in Chicago on Wabash Avenue, near 29th Street, according to classified advertisements placed on March 22, 1874, in the *Chicago Tribune*. In 1875, Whitney sold the west 120 feet of his property on First Street to his daughter, Augusta, and her husband, Edward Sawyer, who married in 1871. The couple built an Italianate house on the property in that year, a photograph of which is included at the end of this report.³

Whitney's real estate business was impacted by the Panic of 1873 and the depression that followed. In 1879 he sold his Hinsdale house to pay taxes going back to 1875. Whitney took a position as business manager of the Illinois Eastern Hospital for the Insane in Kankakee. He relocated with his youngest five children to that city by 1880, according to the U.S. Census for that year. Sarah Whitney died at an unknown date early in 1880. Whitney married Lois (Colton) Morgan (1824-1893) on August 12, 1880, in Kankakee. His second wife died in 1893.

² Timothy H. Bakken, *Hinsdale*. Hinsdale: The Hinsdale Doings, 1976.

³ Augusta and Edward Sawyer's house had an address of 130 E. First Street. It served as a rectory for Grace Episcopal Church before its demolition in recent years.

The U.S. Census for 1900 lists William Whitney as a widower and his occupation as “retiree.” He then lived in a house at 129 S. Schuyler Avenue in Kankakee. Whitney devoted his retirement years to bee culture, in which he became an authority. Post-1900, Whitney moved into the house of one of his daughters, Mrs. William G. Stearns, who lived at 320 Lake Street in Evanston. Here he died on November 21, 1917, at the age of 89.

Adam S. and Emilie Glos

Adam S. and Emilie Gloss purchased the house on November 3, 1879, and sold it less than three years later. Adam S. Gloss (1848-1927) was born in Elmhurst, Illinois, the son of Adam Glos and Catherine (Soffel) Glos, both of whom were born in Germany. Adam worked on his father’s Elmhurst farm in 1870, according to the U.S. Census for that year. He started a hardware business in Elmhurst in the 1870s.

Adam Glos married Emilie Fischer (1852-1940) on July 1, 1877. No evidence was found that the couple had children. It is unknown if Adam and Emilie Glos ever resided in the Hinsdale residence that they purchased in 1879. The U.S. Census for 1880 census showed that the couple then lived in Elmhurst and identified Adam’s occupation as “merchant.” They sold their Hinsdale house in 1882.

Adam and Emilie Gloss lived in a house at 113 York Street in Elmhurst in 1900, according to the U.S. Census for that year, which identified Adams’s occupation as “hardware dealer,” as did the U.S. Census for 1910 and 1920. An obituary for Adam Glos, published in the October 27, 1927 issue of the *Chicago Tribune*, noted that he was “believed one of the wealthiest men of DuPage County.” It also stated that, “Glos was a stockholder in two Elmhurst banks and is said to have been a large stockholder in the Chicago Title and Trust Company. He was chairman of the board of directors and former president of the Elmhurst State Bank and a stockholder of the First National Bank of Elmhurst.” Emilie Glos died in 1940 in her home in Beverly Hills, California.

George W. and Mary S. Hinckley

The house was owned by George W. and Mary S. Hinckley from 1882 to 1912, and from 1915 to 1915 by their Estate. The couple’s 30 years of residence in the house was the longest period of same family ownership. George Hinckley (1828-1912) was born on a farm in Delhi (Delaware County), New York on June 23, 1828, the son of Alfred and Eliza Hinckley. He moved to Galesburg, Illinois, as a young adult. There he met his future wife, Mary Mauck (1830-1906), who attended Knox College in Galesburg. The couple married in Monmouth, Illinois, in 1853 and had five children together: Alfred (b. 1854), Martha (b. 1856), Stella (1858), Walter (b. 1864), and daughter Francis (b. 1870).

George Hinckley moved his young family to Atchinson, Kansas by 1864, where he and his brother, William, operated a freighting business, hauling supplies from the Missouri River to Denver with ox-drawn trains until the expansion of the railroads supplanted this form of transportation. The family moved to Kansas City, Missouri, by 1870, and then relocated to Chicago in 1875, where George and his brother, William, were engaged in the lumber planning mill business, which later expanded to include two other mills in the city. One of their mills was

located on Damen (then called Robey) Avenue, about 300 feet south of Blue Island Avenue, in the city's lumber district along the South Branch of the Chicago River.

George and Mary Hinckley were 54 and 52 years of age, respectively, when they purchased the Whitney House in 1882. The first known photograph of the house was taken in 1886, during the early years of Hinckley ownership. (See Supplemental Materials section of this report.) Changes undertaken during their ownership included the expansion of the present-day living room eastward, which entailed the relocation of an original bay window to a second-floor bedroom on the east side of the house. The enlarged space was provided with a side entrance that opened onto the newly built porch on the east side of the house.

George and Mary Hinckley's two youngest children, Walter and Francis, attended school in Hinsdale. Their son, Walter, died in 1888 at the age of 24. The cause of death is unknown. In 1900, George and Mary Hinckley resided in the Whitney House with their daughter Stella and her husband, Warren Wilson, as well as their daughter Francis (Frankie) Coleman and her two children: Walter, age 8, and Mary, age 2. The couple's daughter, Martha, relocated from Kansas City to Hinsdale with her husband Eugene Crosby and son Francis by 1900.

Mary Hinckley died on July 3, 1906, at the age of 76. After Martha (Hinckley) Crosby died in 1908, Eugene Crosby moved into the Hinckley household where he lived in 1910, according to the U.S. Census. George Hinckley also shared his house with Stella and Warren Wilson, his daughter and son-in-law, and granddaughter Mary Coleman. George died on August 24, 1912, at the age of 84. His Estate rented the Whitney House to the Dr. William Wilson family until selling it in 1915.

Gracia M.F. Barnhardt

Gracia M.F. Barnhardt (1870-1953) purchased the house from Hinckley's Estate in 1915, presumably as an investment, and owned it until 1925. Barnhardt lived in a house at 202 E. Fourth Street in Hinsdale during the decade she owned the Whitney House, which she rented to the Dr. William Wilson family. Her father, Alson Barnhardt, was one of the owners of Barnhardt Brothers and Spindler, a big Chicago printing company.

Dr. William and Julia Wilson

The Wilson family lived in the Whitney House from 1912 to 1927. They were initially renters (1912 to 1925) and were later owners (1925 to 1927). Dr. William Wilson was born in Centerville, New York, on July 19, 1869, the son of Andrew and Anna Wilson. He graduated from Northwestern University medical school in 1893 and was assistant professor of medicine at Rush Medical College from 1900 to 1910. He married Julia Mulligan in Oak Park on June 29, 1900. The couple had two children: Paul (b. 1902) and Dorothy (b. 1904).

Dr. Wilson moved his young family to Hinsdale by 1910, where they lived in a house at 45 S. Washington Street, which they shared with Julia's mother, Ada Mulligan; Julia's brother Frank Mulligan and his wife, Helen; and a 19-year-old servant named Helen Hallenert. The Wilson family relocated in about 1912 to the Whitney House, where Dr. Wilson maintained a medical

practice out of a first-floor office (current dining room), that patients entered through a door once located on the west side of the wraparound porch. In a 1975 Letter to the Editor published in the *Hinsdale Doings*, Dr. Wilson's daughter, Dorothy, described her father's offices in the Whitney House and construction of the second-floor sun porch during her family's residence:

Father's offices were on the west side of the house. There was a waiting room entered from the west wing of the porch, his office behind it and a very small bathroom to its left and laboratory right behind the office. The bathroom led into a small passageway to back stairs or the kitchen.

Father did not do surgery there except possibly some minor things as setting a simple fracture or incising a boil. He took his patients to the Hinsdale San (Hinsdale Hospital) or to a Chicago hospital, or referred them to those he felt were more expert. I suppose the area he used is now a bedroom (now the dining room) with bath expanded to include the laboratory area.

I am the sick child for whom a "solarium" was built. When we moved to Hinsdale in 1909 I had verified tuberculosis of the cervical glands, which were removed. Treatment for any tuberculosis at that time involved "fresh air" day and night. The "solarium" when I was first near it was a wood based tent, fixed onto the kitchen roof, entered by steps from the second-floor rear hall. Eventually instead of canvas it had screens and some glass. I slept "our doors" in this throughout my life at 142.⁴

Dr. Wilson died unexpectedly on March 17, 1927 at the age of 58 following a brief illness. Julia Wilson sold their house in the Fall of that year. She moved to Downers Grove and later, to Oak Brook, where she died in 1946.

Thomas H. and Josephine Willis

The Willis family lived in the house for 23 years, from 1927 to 1941, during which time they rented it to various boarders. Thomas Hite Willis (1872-1967) was born on November 14, 1872, in Jefferson County, West Virginia, the son of Nathaniel and Jane Charlotte (Washington) Willis. Willis was a direct descendant of George Washington's half-brother, Lawrence. His grandfather, John Augustine Washington III, was the last family member to own Mount Vernon before it was obtained by the U.S. Government. His mother, Jane Charlotte Washington Willis, was the last child to be born at Mt. Vernon, the George Washington family home in Virginia.

Thomas H. Willis married Josephine Bangs (1877-1971) on October 10, 1903, in Louisville, Kentucky. The couple had four children: Adelia (b. 1905), Jane (b. 1908), Nathaniel (b. 1914), and Josephine (b. 1917). In 1920, the Willis family lived in Downers Grove, in a house that they shared with two maids. They purchased the Whitney House in 1927 when William was 54 and Josephine was 49. The U.S. Census for 1930 shows that Thomas and Josephine Willis continued to reside in Downers Grove. They subsequently lived in a large house at 419 E. First Street in Hinsdale, according to the U.S. Census for 1940 and 1950.

⁴

"Doctor's daughter responds," Letter to the Editor, *Hinsdale Doings* (6 November 1975).

Thomas H. Willis died in June 1967 at the age of 94 in his home at 419 E. First Street in Hinsdale. His obituary identified him as a “pioneer west suburban land developer.” He was a real estate and mortgage broker with offices at 10 S. LaSalle Street.

James H. and Henrietta McAfee

James and Henrietta McAfee owned the house from 1941 to 1950, where they lived with their extended family as well as boarders. James H. McAfee (1881-1962) was born on July 28, 1881, in McAfee, Kentucky, the son of Thomas and Sarah (Armstrong) McAfee. He was educated in Park College, Parkville, Missouri, and worked for various religious and charitable organizations over the years. McAfee married Henrietta Kingman (1877-1977) in 1910. The couple had four children: Lue (b. 1911), Henrietta (b. 1914), William (b. 1915) and Martha (b. 1918).

In 1930, James and Henrietta McAfee lived in Winneconne, Wisconsin, with their four children and two boarders. Their oldest daughter, Lue, graduated from Ripon College in Ripon, Wisconsin in 1933. In 1939, Lue McAfee married James Proctor Brown, Jr., in Madison, Wisconsin, where the McAfee family then lived.

James and Henrietta McAfee purchased the Whitney House in 1941 for \$11,000, according to a letter written by their grandson, James Proctor Brown III, to the Hinsdale Historical Society, dated July 28, 1995. The couple may have relocated to Hinsdale from Madison due to James McAfee’s employment at the Chicago Presbytery during the 1940s. James Proctor Brown’s letter states that he and his mother, Lue (McAfee) Brown, resided with his grandparents during World War II, while his father served in the Army. They shared the house with various lodgers and extended family members during the war years. Brown identified the various residents of the house during his grandparent’s ownership:

By 1945 all my mother’s siblings were married, and after the war everyone came home and lived in that house. My great grandmother, my grandparents and three of their children and spouses had their own bedrooms on the second floor, where there were two baths, but my parents, who lived there originally with my grandparents, had a three-room apartment on the first floor, in what had been the doctor’s office. There were five couples and four babies or small children (in addition to my great grandmother), and they all lived there for about two years, until they got on their feet again.⁵

The 1950 census shows that James and Henrietta McAfee then shared the Whitney house with four boarders. They sold the house that year and retired to a farm in Markesan, Wisconsin, next to their son William’s family.

George Edmonds and Cornelia Mackey

The Mackeys only owned the house for 22 months, from 1950 to 1952. G. Edmonds Mackey (1905-1980) was born in 1905 in Webster Groves, Missouri, the son of Rexford and Catherine Mackey. He attended the University of Missouri-Columbia. He lived with his parents in Kansas

⁵ James Proctor Brown, Letter to the Hinsdale Historical Society dated 28 July 1995.

City, Missouri in 1930, according to the U.S. Census for that year, which identified his occupation as “bonds” in the “security investments” industry. Mackey started his career with Armour & Company in 1931, eventually rising to the position of Vice President. He married Cornelia Materne of St. Louis in February 1937. In 1950, the year that George and Cornelia Mackey purchased the Whitney House, the couple lived in Mission (Johnson County) Kansas with their three children: Edmonds (b. 1939); Barbara (b. 1941), and John R. (b. 1946). Mackey retired from Armour & Co. in 1961 and relocated with his family to Kansas City.

Nelson C. and Glad C. Works, Jr.

The Works purchased the Whitney House in 1952 and lived there for ten years with their four sons. Nelson Clark Works was born on December 1, 1918, in Massachusetts, the son of Nelson C. and Harriette Works. He resided in Hinsdale with his parents and five siblings in a house at 344 E. Seventh Street in 1940, after graduating from Yale University.

Nelson Works served in the U.S. Army from 1940-45 during World War II and was discharged as a major. A recipient of the bronze star, he served in five campaigns in the European theater. During the war, Works married Glad Campbell (1922-2006), the daughter of Mr. and Mrs. Wallace R. Campbell of Windsor, Ontario, at All Saints Episcopal Church in Chicago. The bride’s father was the president of the Ford Motor Company of Canada. The couple had four children: Jonathan (b. 1943), Emily (b. 1944), Benjamin (b. 1949), and Andrew (b. 1950).

In 1950, Nelson and Glad Works lived with their four children and a maid in Essex Falls, New Jersey, where he worked as an “executive” with the “life insurance” industry, according to the U.S. Census. The family relocated to Hinsdale and purchased the Whitney House in 1952, the year that Nelson joined the staff of the Northern Trust Company as second vice president of the banking department. He was promoted to vice president of the Northern Trust’s banking department in 1955. The Works converted the rear wing of the Whitney House to a family room during their ownership and built a two-car garage.

In 1958, Nelson Works was elected to the Board of Trustees of Western College for Women in Oxford, Ohio. He was active in Yale alumni work and in Boy Scout, Community Chest, and the Red Cross. He was also active in the Union Church of Hinsdale. Nelson and Glad Works relocated to Greenwich, Connecticut, after they sold the Whitney House in 1962.

Julius and Paula Mayer

The Mayers owned the Whitney House for a little over four months, from November 1962 to April 1963. They never lived in the house.

William T. and Margaret S. White

William T. and Margaret S. White bought the Whitney House in April 1963 and lived there with their five children until January 1966, when they relocated to North Muskegon, Michigan, where White took a new job. No additional information was found on this couple.

Albert V. and Nancy F. Issleib

The Issleibs owned the Whitney House from 1966 to 1971. Albert V. Issleib (1926-2003) was born on March 5, 1926, in Columbus, Ohio, and he graduated from Ohio State University. In 1950 he lived with his parents, Albert and Lennie Issleib, in Oakwood, Ohio, where he worked as a “salesman” in the “children’s clothing” industry. Albert married Nancy Felman of Joliet in 1958. She was a graduate of Smith College.

The Issleibs owned the Whitney House in 1970, the year it was used by the Hallmark Card Company as the setting for a television commercial, hence its nickname, the Hallmark House. The commercial pictured the arrival of a family arriving to spend Christmas at Grandma’s in the 1930s, as a part of a series of cards entitled, Childhood Christmas.” The Issleib’s eventually moved to Dayton, Ohio, after they sold the Whitney House.

William L. and Loretta D. Reineman

The Reinemans lived in the Whitney House for less than two of their four-year ownership from 1971 to 1975. They rented the house to two families for the remaining time. William L. Reineman (1931-2011) was born in 1931 in Rochester, New York, the son of Mr. and Mrs. Howard Hartje Reineman. He attended Allendale School and Babson Institute of Business Administration and received his master’s degree from the University of Michigan. He married Loretta De La Cour (b. 1939), the daughter of Mr. and Mrs. J. Carl De La Cour Jr., on July 7, 1972. Loretta attended the Columbia School and graduated from the Masters School, Dobbs Ferry, and Briarcliff College. She also studied at the School of the Museum of Fine Arts in Boston. The couple had two children: Holly and Derek. William Reineman served as a Vice President of the Rochester Envelope Company and moved to the Pacific Palisades neighborhood of Los Angeles by the early 1990s, where he established a hydro seeding business.

Louis J. and Suzanne W. Zimmer

The Zimmers owned the Whitney House for four years, from 1975 to 1979. Louis J. Zimmer was born in 1927 in Detroit, the son of Joseph and Eleanor (Benda) Zimmer. He graduated from Mackenzie High School in Detroit in 1944, after which time he was enlisted in the U.S. Navy, from which he was discharged in the summer of 1946. He then resumed his studies in industrial engineering at the University of Michigan. Louis Zimmer married Suzanne Binns, also a Detroit native, on June 21, 1947. In 1950 the couple lived in Gratiot, Michigan, where Louis worked in the “milk carton” industry. They had a daughter, Lisa Jane, in 1955.

The Zimmer family lived in Lima, Ohio, in 1967, the year that Zimmer accepted an executive position with General Electric in Chicago. The following year, the Zimmers moved to a house they constructed at 6 Foxiana Court in west suburban Oakbrook, near Chicago. By 1972, Louis was vice president of the Sunbeam Corporation of Chicago. No additional information was found on this couple.

Post-1975 House History

The Whitney house had four additional owners post-1975. Among them were Frederick (Fred) C. and Elaine Cue, who lived in the house from 1983 to 1995 with their daughter Melissa and son Bradley. Fred, who served as a president of the Hinsdale Historical Society at one time, took a great interest in the history of the house and undertook intensive research, which included interviews with individuals who knew some of its previous owners. In 1989, Mr. Cue authored a successful National Register of Historic Places nomination for the William Whitney House, which was officially approved and listed in 1990. Mr. Cue also used his research to develop an unpublished history of the Whitney House, which is on file at the Hinsdale Historical Society. Both documents were helpful in the development of this report, as was extensive research in the Ancestry.com and Newspapers.com databases and a review of records at the DuPage County Recorder of Deeds Office in Wheaton and on their website.

Grace Episcopal Church purchased the Whitney House from the Cue family in 1994 for use as a rectory and remains the owner as of May 2025. The William Whitney House is a contributing building in the Robbins Park Historic District, which was listed on the National Register in 2008. The Whitney House was added to the Hinsdale Historically Significant Structures Property List in 2023.

Description of the Whitney House

P.I.N.: 09-12-403-207-026

Legal Description for 142 E. First Street, Hinsdale: The North 170 feet of that part of the East 177 feet of the Northeast quarter of Block 5 lying south of the south line of first Street and west of the west line of Park Avenue, in William Robbins First Addition to the Town of Hinsdale, in the North half of the Northeast quarter of Section 12, Township 38 North, Range 11, East of the Third Principal Meridian, in DuPage County (Downers Grove Township), Illinois.

Construction Date: 1868-69

House Description: The Whitney House is located on a square parcel at the southwest corner of First Street and Park Avenue that measures 177 feet east-west and 170 feet north-south. The north-facing residence is set far back from the public right-of-way on its expansive lot featuring a grassy lawn. A two-car garage with loft area is in the southeast corner of the lot, approached by a semicircular, black-topped driveway. The garage is sheathed in wood siding and was built in 1988 in the style of a nineteenth century carriage house, replacing a nondescript two-car garage built in the 1950s. It is connected to the house by an open covered walkway.

The two-story Italianate style house with attic, built 1868-69, has a rectangular footprint that measures approximately 80 feet in length (east-west) and 35 feet in width (north-south) and includes a one-story rear wing with a sleeping porch above. It is situated on a raised stone foundation and features original wood clapboard siding painted yellow. The two-story main house block has a cross-gable roof covered with asphalt shingles and its overhanging eaves are detailed with scrolled wood brackets. The roof has two orange brick chimneys, one on the ridge of each gable, as well as an exterior brick chimney painted yellow on the east façade of the one-story rear wing. A plain wood frieze band is situated beneath the eaves. A flat-roof wood porch with bracketed eaves, squared wood posts, and turned balustrades wraps around the front and both sides of the house, and has a flight of wood stairs on each.

The front (north) façade has an off-center entrance with a pair of original segmental-arched, wood paneled doors with wood casing with a segmental hood. This façade has an additional wood paneled door with transom that opens onto the east side of the wraparound porch. The south end of the east façade has a wood paneled door accessed via a wood entry porch. The west façade of the one-story rear wing has a pair of sliding glass doors, also accessed via a wood entry porch, as well as an adjacent pair of wood cellar doors on the ground that open upward.

Fenestration on the first and second floors of the main house block is primarily comprised of original two-over-four wood windows with segmental arched upper sashes, arranged alone or in pairs, each of which features wood casings and segmental hoods. The two first floor windows on the front façade are nine feet in height. Each of the gable ends on the main house block has a pair of original one-over-one round-arch wood windows with wood casings and round-arch hoods. The west façade of the main house block also has two multi-paned fixed wood windows: one each on the first and second floors. The one-story rear wing has one-over-one wood windows

arranged alone. The second-story rear sleeping porch has a series of one-over-one wood windows on each side. Basement fenestration is comprised of awning windows, each of which is divided into three panes by wood muntins.

The first-floor plan includes a front entrance hall with staircase that extends to the second floor; an adjacent front library; a living room and adjacent sitting room; a kitchen; a dining room; a short hallway that opens onto a pantry on one side and a rear staircase on the other; a mud room; and a rear family room with a full bathroom.

The second floor has a double-loaded, north-south hallway with four bedrooms, including a master bedroom with an ensuite bathroom; a hall bathroom; a rear sleeping porch; and a rear stairway that extends to the unfinished attic. The unfinished basement is comprised of two primary spaces.

Walls and ceilings are finished in plaster, and flooring is finished in wood except for the entrance hall (marble tiles) and bathrooms (ceramic tiles). The basement is unfinished and has concrete flooring, perimeter walls with exposed stone, and exposed ceiling joists. The interior retains many of its wood paneled doors, painted white, with original hardware. Most rooms throughout the house have simple, unadorned wood baseboard molding, as well as equally simple wood door and window casings, all painted white.

The front hall has an original oak staircase with spindle balustrade painted white, a tapered newel post, and walnut handrail. The front library has a marble fireplace on its west wall and built-in, floor-to-ceiling bookshelves on the east wall. The house has four decorative light sconces that appear to be original: two in the entrance hall and two in the second-floor hallway. The living room chandelier also appears to be original, as does the ceiling light fixture in bedroom 4. The east wall of the family room has a brick fireplace painted white.

Integrity

The house has very good architectural integrity. Alterations have been minimal and include expansion of the living room eastward, which entailed the relocation of an original bay window to a second-floor bedroom on the east side of the house. The enlarged living room was provided with a side entrance that opened onto the newly built porch on the east façade of the house. A second-story rear sleeping porch was built c. 1915 and an original entrance on the west side of the wraparound porch was later removed. The rear summer kitchen wing was converted to a family room with full bathroom in the 1950s by expanding the east wall flush with the main house block and creating a new entrance at the south end of the east façade. All these changes were historic, as they occurred prior to 1975.

During the 1980s, two front bedrooms were combined to create a single master bedroom with an ensuite full bathroom. The kitchen was remodeled in 1990, and the rear staircase was altered at that time to enter through a former butler pantry area between the kitchen and dining room.

Landmark Status of the Property

The Whitney House is individually listed on the National Register of Historic Places and is a contributing building in the Robbins Park National Register Historic District. It is listed in the Illinois Historic Structures Survey conducted in the early 1970s. It is not a locally designated landmark but is included in the Village of Hinsdale's Historically Significant Structures list.

Evaluation of Historic Significance

The Whitney House is locally significant for its association with William Whitney (1828-1917), who in 1873 led the successful effort to incorporate Hinsdale. Whitney—a local real estate agent and developer who served as a member of the Illinois House of Representatives from 1870-72—lived in this house from 1870-79 with his wife and seven children.

Completed in 1869, the Whitney House also has local historical significance as one of the few extant pre-1871 houses built in Hinsdale. The Hinsdale Reconnaissance Survey, which was undertaken in 1999 by Historic Certification Consultants, identified only 25 houses out of 5,654 principal structures with either a pre-1870 or a circa 1870 construction date. Seven of those houses were razed post-1999. They were located at 314 N. Garfield (1868); 119 N. Lincoln (c. 1870); 115 E. Maple (c. 1870); 205 E. Sixth (c. 1870); 323 S. Washington (c. 1870); 517 S. Washington (1865); and 119 S. Garfield (c. 1870). As a result, there are only 18 extant houses in Hinsdale that likely pre-date 1871. (See Attachment E for a list of these houses.)

Evaluation of Architectural Significance

The Whitney House possesses local architectural significance as a rare, and well-preserved, example of the Italianate style in Hinsdale. The 1999 Hinsdale Reconnaissance Survey identified only 17 houses out of 5,654 principal structures in the Village as examples of the Italianate style, which was popular in the U.S. from 1850 through 1880. The 17 houses included the Whitney House. Four of those Italianate style houses were razed post-1999. They were located at 119 N. Lincoln (c. 1870); 115 E. Maple (c. 1870); 130 E. First Street (1875); and 205 E. Sixth Street (c. 1870). As a result, there are only 13 extant Italianate style houses in the Village, all of which were built in the 1860s and 1870s. (See Attachment D for photos of these houses.)

The Whitney House at 142 E. First Street is easily recognizable as an Italianate style house, featuring hallmarks of the style that include its two-story height; gable roof with overhanging eaves and decorative wood brackets; plain wood frieze band beneath the eaves; tall, double-hung windows with segmental or round-arch upper sashes and decorative window hoods, arranged alone or in pairs; a porch wraparound porch; a pair of original round-arch wood paneled doors; and a bay window.

Minor exterior changes—including the extension of the porch to the east side of the house and the construction of a second-story rear sleeping porch—occurred in the early twentieth century and are thus historic. Such changes do not detract from the overall integrity of the house, which retains its distinctive Italianate features.

Evaluation of Neighborhood Impact

The Whitney House at 142 E. First Street is located on an east-west street, one block east of downtown Hinsdale and one block south of the Metra train tracks. Its expansive lot at the southwest corner of First Street and Park Avenue is part of William Robbins First Addition to Hinsdale, which was platted in 1866.

The Whitney House has prominently stood on its large lot at First Street and Park Avenue for over 150 years and is easily visible from the public right-of-way. Grace Episcopal Church at 120 E. First Street is located on a large parcel with a parking lot directly west of the Whitney House parcel, while First Redeemer Lutheran Church at 139 E. First Street is directly across the street. The adjacent 200 block of First Street and the 100 block of S. Park Avenue are residential, tree-lined streets with wide parkways, sidewalks on both sides, and houses that are easily visible from the public right-of-way. The houses have uniform setbacks, side driveways, and oriented to their respective streets.

The Whitney House, built 1868-69, is the oldest house in its vicinity, which has experienced extensive teardown activity. Of the 17 nearby houses, ten were built post-2000. The remaining houses were built in different eras, including the 1890s (1), 1900s (1), 1920s (1), 1930s (1), 1950s (1) and 1970s (2). The houses are generally medium or large in size and two or 2 ½ stories in height.

The Whitney House is the only Italianate style house in its vicinity. Houses on the 200 block of First Street and the 100 block of S. Park Avenue feature styles that include the Colonial Revival (4), Neo-Colonial Revival (3), Tudor Revival (2), Neo-French Renaissance Revival (4), or Eclectic (4). The ten post-2000 houses constitute the “Neo” styles or are considered Eclectic as they feature elements of various styles. Most of the post-2000 houses (8) are clad in stone veneer. Other cladding materials include wood siding (3), brick (4), or a combination of brick and stucco (2). Rooflines are hipped, gabled, or pyramidal, and many are steeply pitched. Many of the roofs are covered with slate tiles.

The construction of a large new house or houses on the Whitney House property would not appear unusual in its immediate neighborhood, as nineteenth-century houses in its vicinity are the exception, rather than the rule. However, demolition of the Whitney House would have an adverse effect on Hinsdale as a whole, by removing one of the oldest houses in the Village as well as a rare extant example of an Italianate style house with good integrity and one that is associated with a prominent individual who spearheaded the drive for its incorporation.



Photo of the Whitney House showing its oversized lot, view southwest.

Person Responsible for Performing the Study

Jean L. Guarino, Ph.D., has worked as an independent architectural historian since 1998, documenting hundreds of buildings through local and national landmark nominations, architectural survey work, and Historic American Buildings Survey (HABS) projects. Clients include architectural firms, non-profit organizations, development firms, and municipalities, including the City of Chicago. She has also developed over 30 HAIS reports for houses in Winnetka, Lake Forest, and Kenilworth. She is the co-author of a book titled, *Benjamin H. Marshall, Chicago Architect* (Acanthus Press, 2016), and a contributor to the book titled, *Art Deco Chicago* (Yale University Press, 2011).

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List of Attachments

- Attachment A: Exterior photographs, May 2025
- Attachment B: Interior photographs, May 2025
- Attachment C: Buildings in the Vicinity of the Whitney House
- Attachment D: Italianate style houses in Hinsdale
- Attachment E: Table listing extant pre-1871 houses in Hinsdale

Supplemental Materials

Attachment A: Exterior Photographs



Front façade, view south.



Original wood paneled front door.



Original windows, front porch.

Attachment A: Exterior Photographs



Detail of wraparound porch.



Detail of porch columns and scrolled brackets.



Front façade, detail of windows and bracketed eaves, view south.

Attachment A: Exterior Photographs



Front (north) and west facades, view southeast.



West side of porch.



Detail of engaged column capital and scroll on porch.

Attachment A: Exterior Photographs



Gable roof wing of west façade, view east.



Front (north) and east facades, view southwest.

Attachment A: Exterior Photographs



East façade, view west.



East façade detail.

Attachment A: Exterior Photographs



East side of wraparound porch showing balustrade detail.



East side of wraparound porch, view south toward door to living room.

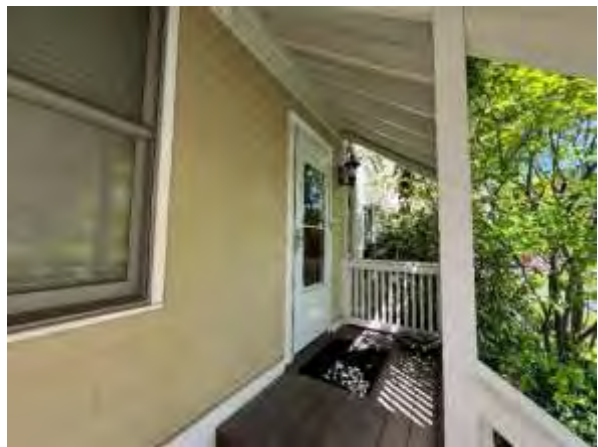
Attachment A: Exterior Photographs



East façade of the house with the garage on the left, view west.



Southeast corner of the house.



East façade entrance.

Attachment A: Exterior Photographs



West (left) and south (right) facades of the house, view northeast.



Cellar doors alongside the west façade.

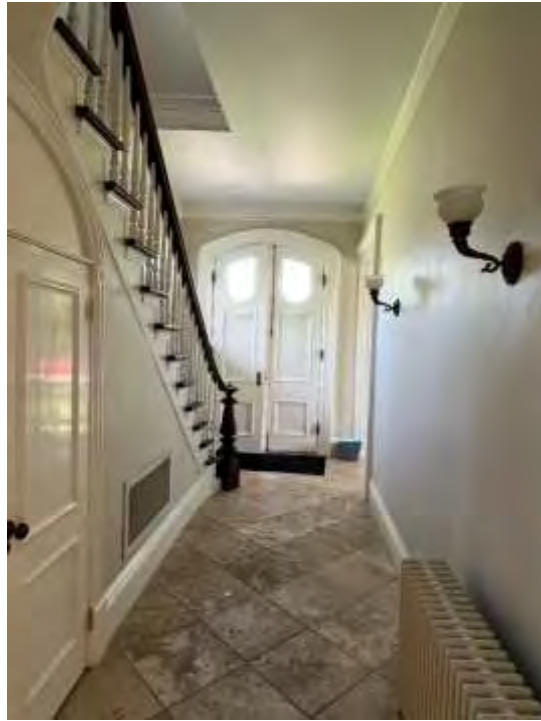


Sliding glass doors on the west façade.

Attachment B: Interior Photographs



Original front entrance doors.



Front hall with original sconces.



Front hall staircase.

Attachment B: Interior Photographs



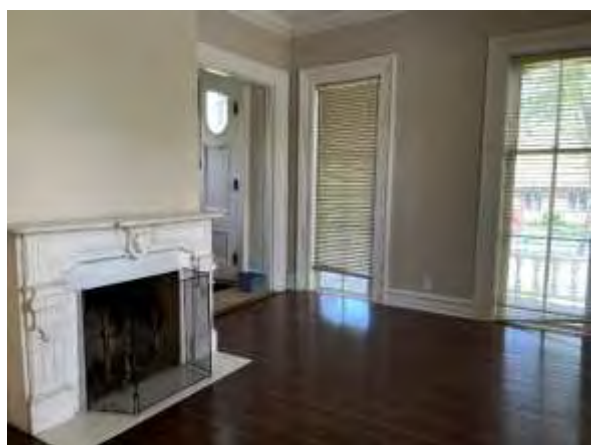
Front hall staircase newell post.



Front hall staircase.



One of two original sconces in front hall.



Library, view northwest to front hall.

Attachment B: Interior Photographs



Library with built-in bookshelves, view north.



Original marble fireplace in library.

Attachment B: Interior Photographs



Library, showing doorways to front hall (right) and living room (left), view southwest.



Living room, showing door to east side of wraparound porch, view northwest.

Attachment B: Interior Photographs



Living room, showing original chandelier, view southwest.



Sitting room, showing doorway to dining room.

Attachment B: Interior Photographs



Living room, view east from sitting room.



Living room, view east.

Attachment B: Interior Photographs



Living room, view into kitchen.

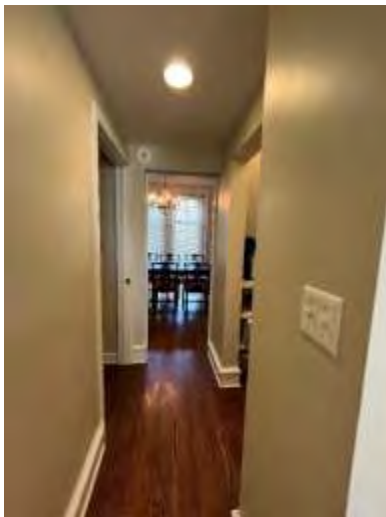


Kitchen.

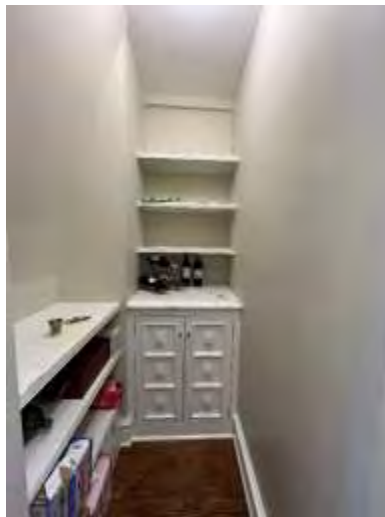
Attachment B: Interior Photographs



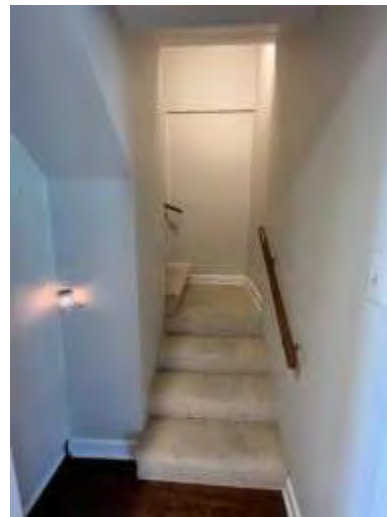
Kitchen, view north.



Hallway, view west.



Pantry.

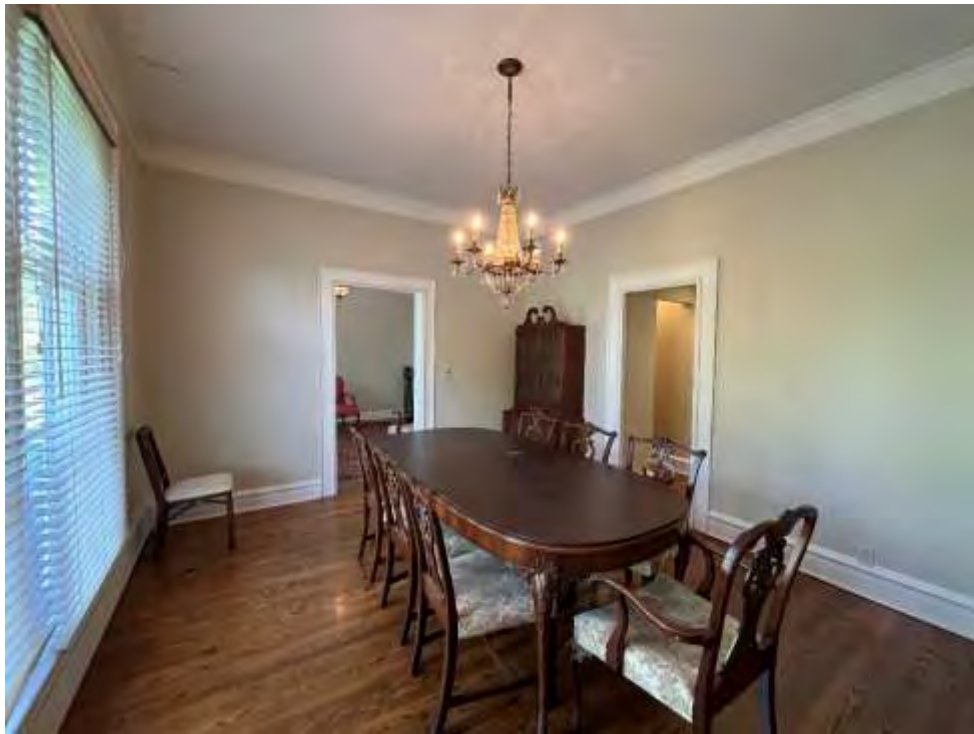


Rear stairway.

Attachment B: Interior Photographs



Dining room, view south.



Dining room, view northeast.

Attachment B: Interior Photographs



First floor bathroom and family room.



First floor bathroom.



Family room, view southeast.

Attachment B: Interior Photographs



Family room fireplace.

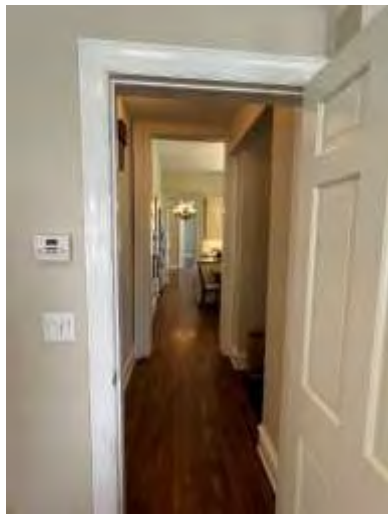


Family room, view northwest.

Attachment B: Interior Photographs



Family room, view north.



Hallway, view north.

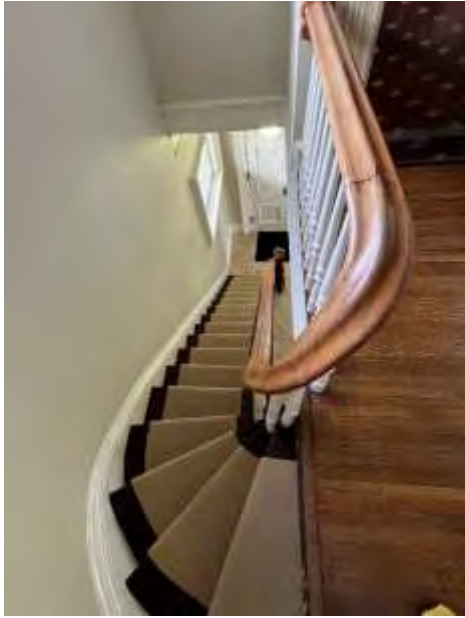


First floor closet.



First floor mudroom.

Attachment B: Interior Photographs



Front hall staircase.



Second floor hallway, view north.



Second floor hallway, view south.



Original sconce in second floor hallway.

Attachment B: Interior Photographs



Bedroom 1, view north.



Bedroom 1 bay window.

Attachment B: Interior Photographs



Bedroom 1, view south.



Ensuite bathroom from bedroom 1.



Typical original doorknob.

Attachment B: Interior Photographs



Bedroom 2, view west.



Bedroom 2, view southeast.

Attachment B: Interior Photographs



Bedroom 3, view southeast.



Bedroom 3, view northwest.

Attachment B: Interior Photographs



Bedroom 4, view east.



Bedroom 4, view west.



Bedroom 4 chandelier that may be original.

Attachment B: Interior Photographs



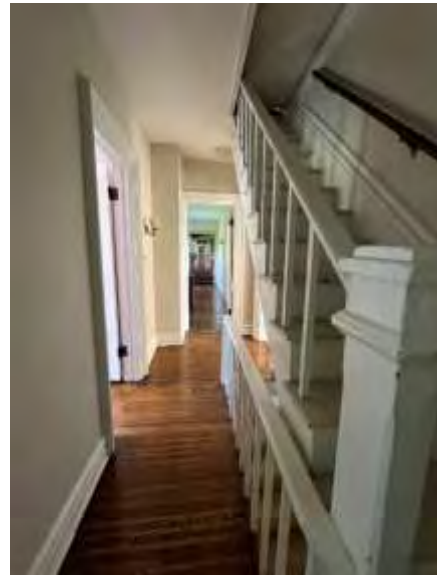
Hall bathroom, second floor.



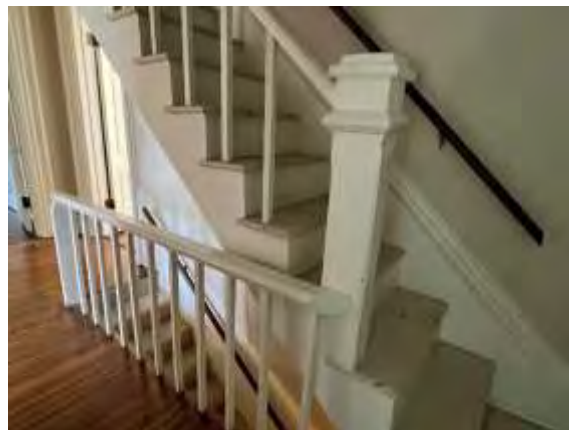
Second floor wall sconce.



Door to sleeping porch, view south.



Hallway, view north.



Rear stairway to attic.

Attachment B: Interior Photographs



Basement stairway.



Views of unfinished basement.



Views of unfinished basement.

Attachment B: Interior Photographs



Views of unfinished basement.



Attachment C: Buildings in the Vicinity of the Whitney House



Grace Episcopal Church, 120 E. First St.



Redeemer Lutheran Church, 139 E. First St.



212 E. First Street, 1927



215 E. First Street, 1975



218 E. First Street, 1951



219 E. First Street, 2018



225 E. First Street, c. 2024



230 E. First Street, 1898

Attachment C: Buildings in the Vicinity of the Whitney House



241 E. First Street, c. 2024



244 E. First Street, c. 2024



45 S. Park Avenue, 1971



107 S. Park Avenue, 1939 with later renovation



117 S. Park Avenue, 2005



124 S. Park Avenue, 2010



125 S. Park Avenue, 2003



132 S. Park Avenue, 2008

Attachment C: Buildings in the Vicinity of the Whitney House



133 S. Park Avenue, 2025



134 S. Park Avenue, 1902



135 S. Park Avenue, 2005

Attachment D: Italianate style houses in Hinsdale



Landis House, 332 S. Elm Street, c. 1875



Roth House, 222 E. Chicago Avenue, 1866



11 N. Grant Street, c. 1870



306 N. Grant Street, 1867



319 N. Lincoln Street, 1877



123 E. Maple Street, 1869

Attachment D: Italianate style houses in Hinsdale



120 E. Walnut Street, 1874



23 W. Walnut Street, c. 1870



133 N. Washington Street, 1870



402 S. Washington Street, 1868



121 E. Fifth Street, c. 1875



639 S. Garfield Street, 1873

Attachment E: Table listing extant pre-1871 houses in Hinsdale

No.	Address	Year
1	22 N. Lincoln	c. 1870
2	137 N. Lincoln	1868
3	100 N. Park	1869
4	11 N. Grant	c. 1870
5	306 N. Grant	1867
6	123 E. Maple	1869
7	23 W. Walnut	c. 1870
8	133 N. Washington	1870
9	402 S. Washinton	1868
10	222 E. Chicago	1866
11	142 E. First	1869
12	321 S. Garfield	1865
13	319 N. Washington	1870
14	213 S. Clay	c. 1870
15	20 E. Fifth St.	c. 1870
16	120 E. Fifth St.	1863
17	113-115 S. Garfield	c. 1865
18	29 S. Park Ave.	1868

SUPPLEMENTAL MATERIALS

Historic and Architectural Impact Study for the William Whitney House, 142 E. First Street, Hinsdale
Prepared by Jean L. Guarino, Ph.D., Architectural Historian
May 2025 55



Marie Stodder
Source: Ancestry.com



Levi Stodder
Source: Ancestry.com



William Whitney
Source: *Chicago Tribune*, 22 November 1916.

FOR SALE--AT HINSDALE, SEVERAL RESIDEN-
ces, from \$1,500 to \$9,000. **WILLIAM M. WHITNEY**
& CO., 149 Madison-st.

Chicago Tribune, March 22, 1874.

Historic and Architectural Impact Study for the William Whitney House, 142 E. First Street, Hinsdale
Prepared by Jean L. Guarino, Ph.D., Architectural Historian
May 2025 57



Bird's eye view map of Hinsdale, 1882, showing the Whitney House and the adjacent house built for Whitney's daughter Augusta and her husband, Edgar Sawyer, in 1875.



Italianate house at 130 E. First Street built in 1875 for Whitney's daughter Augusta and her husband, Edgar Sawyer. Source: Hinsdale Historical Society.



Wedding portrait of Adam Glos and Emilia Fischer Glos, 1877.
Source: Ancestry.com.

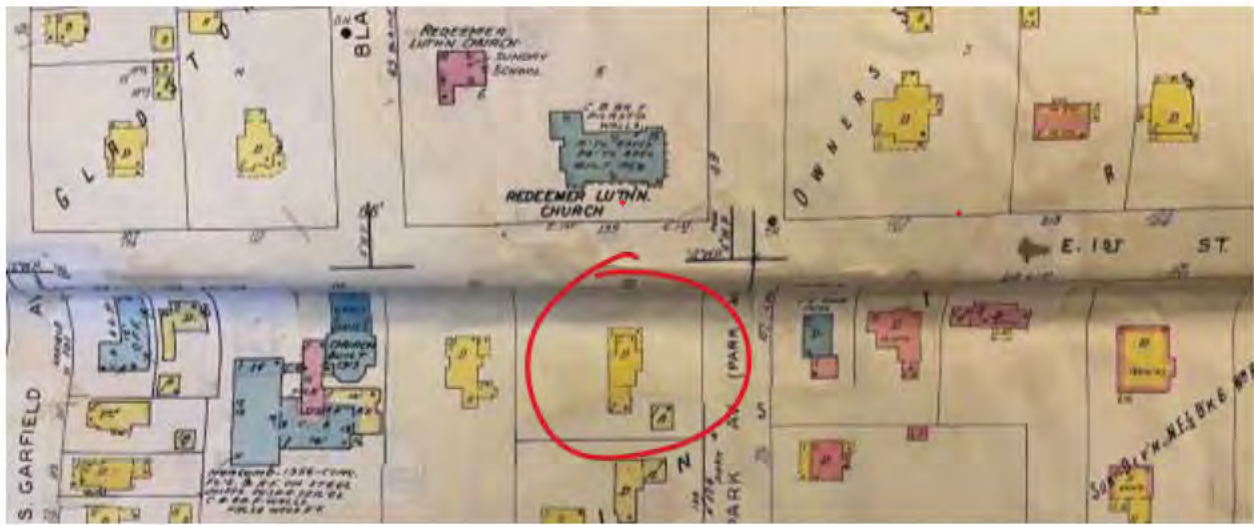


Photograph of the Whitney House with members of the George Hinckley family, 1886.
Source: Hinsdale Historical Society.



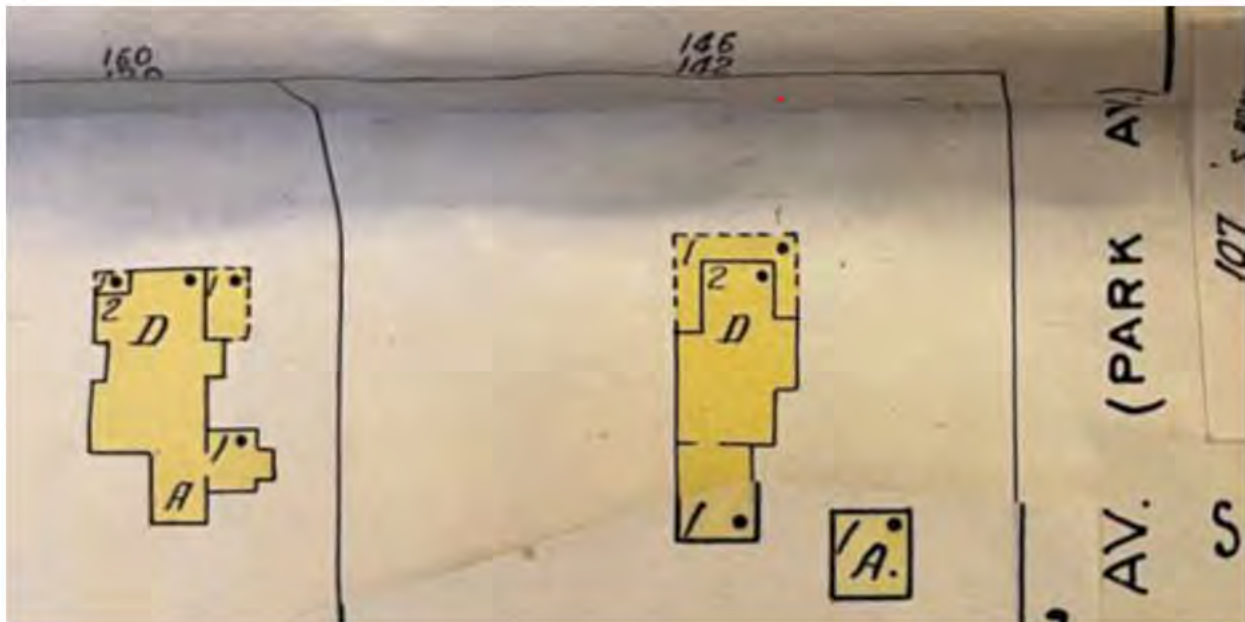
Circa 1960s photos of the Whitney House showing the garage built in 1953.

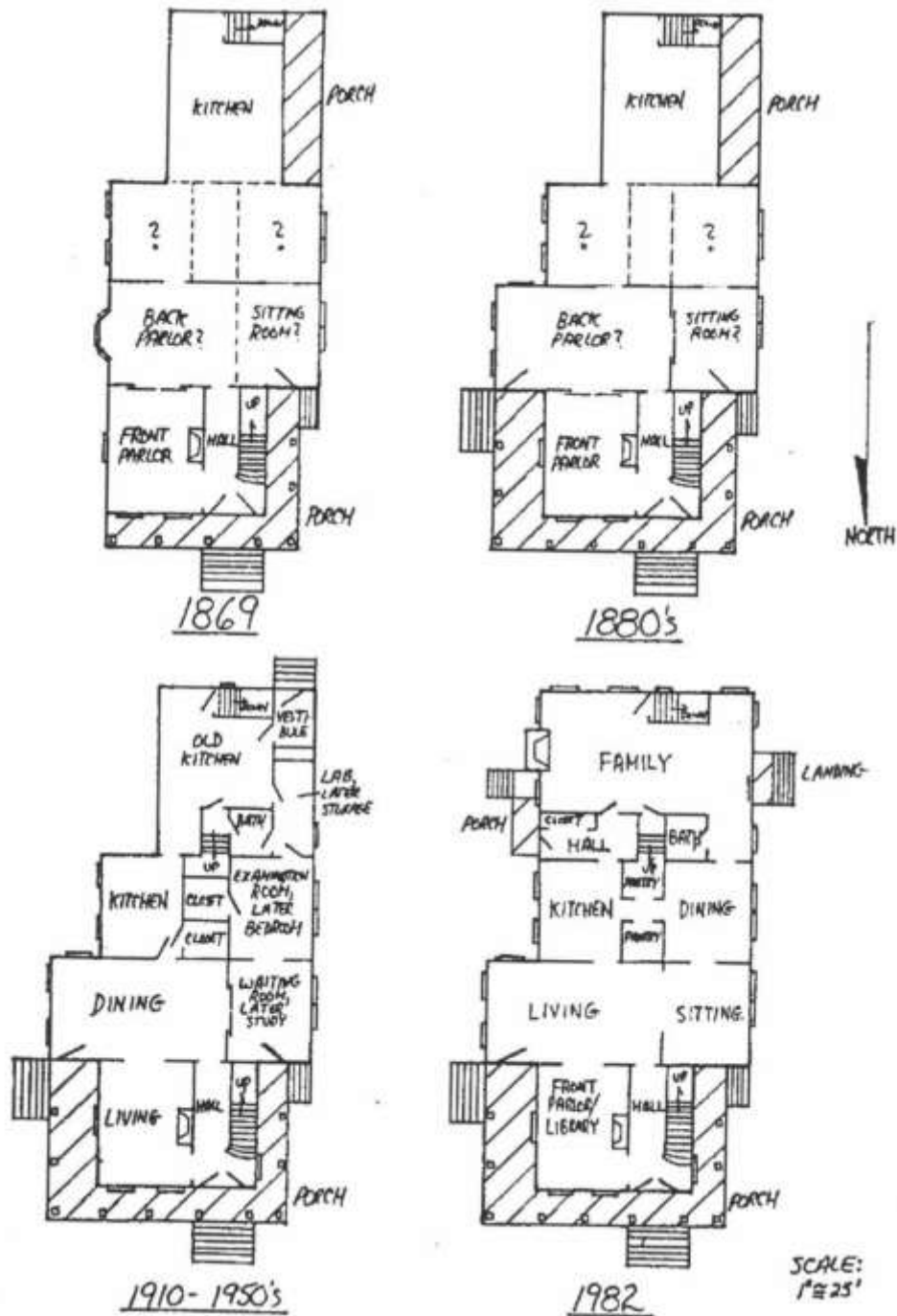




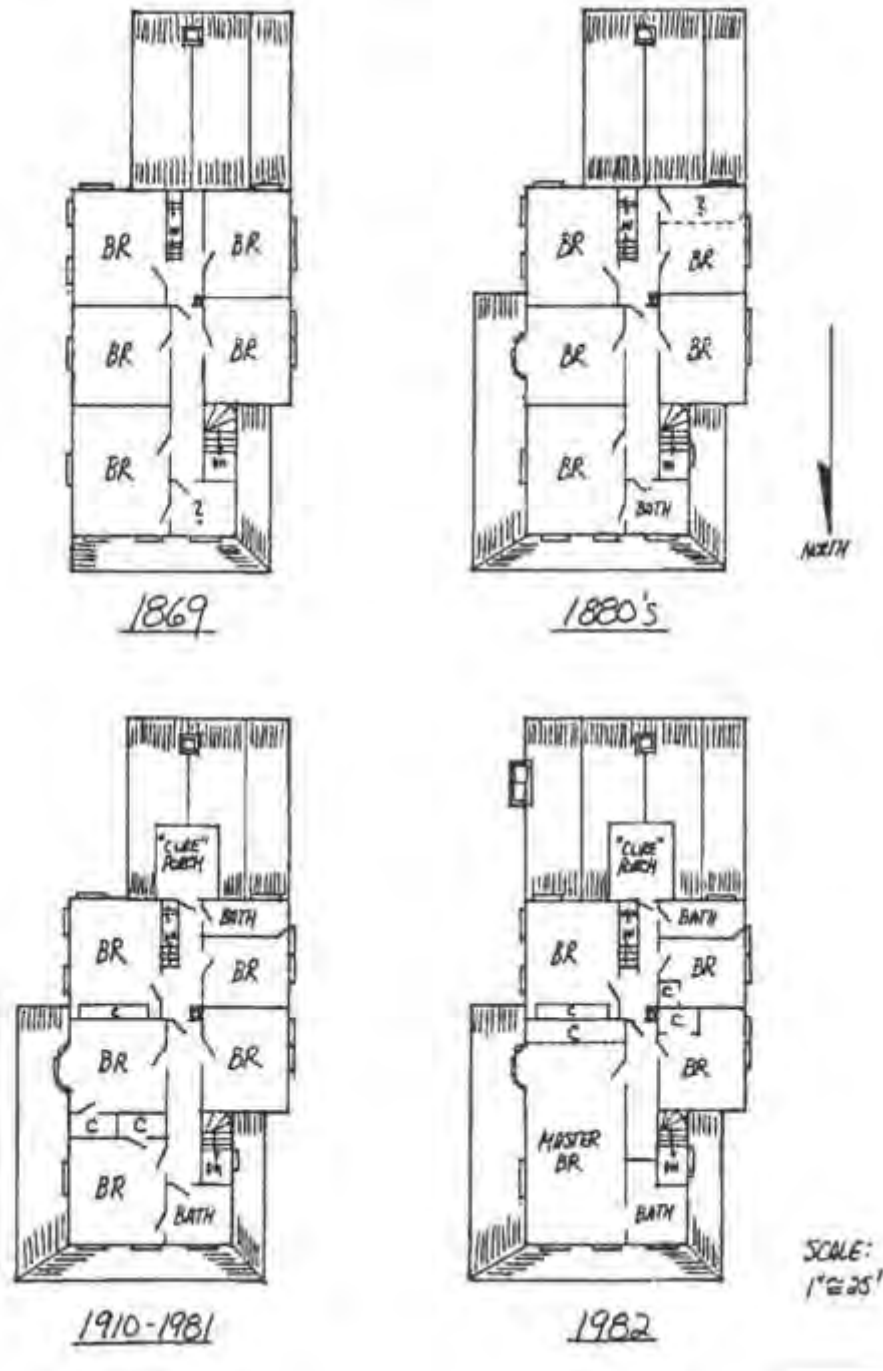
Map showing the footprint of the Whitney House (above and below) and other buildings on the 100 and 200 blocks of First Street, 1957.

Source: *Sanborn Fire Insurance Company Map for Hinsdale*. New York: Sanborn Fire Insurance Company, March 1933, rev. October 1957.



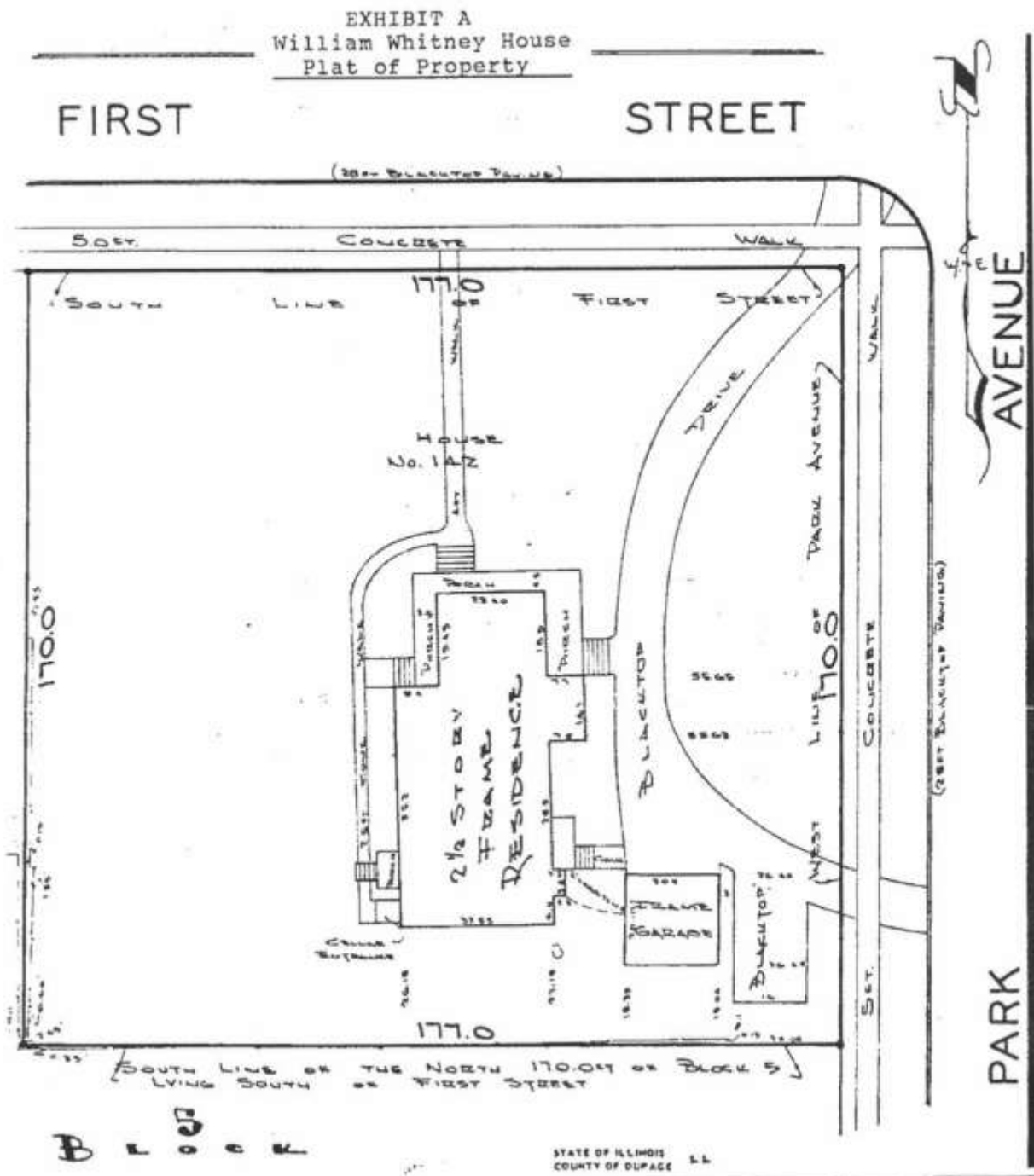


First floor plans of the Whitney House over the years.
 Source: Frederick Cue, "William Whitney House," National Register of Historic Places nomination dated July 8, 1989.



Second floor plans of the Whitney House over the years.


Source: Frederick Cue, "William Whitney House," National Register of Historic Places nomination dated July 8, 1989.



Plat map from 1983 showing the Whitney House.
Source: Frederick Cue, "William Whitney House," National Register of Historic Places nomination dated July 8, 1989.

DUPAGE BOARD OF REALTORS	UNITED MULTIPLE LISTING OFFICE	HINSDALE CLARENDON HILLS OAK BROOK	
NO RESPONSIBILITY ASSUMED FOR ACCURACY OF THE INFORMATION CONTAINED HEREIN			
LISTING OFFICE <u>Porterfield & Co.</u>		Office Ph. <u>325-3800</u>	
Owner <u>Reineman, Wm. L. & Loriot</u> Address <u>California</u>		Home Ph.	
Tenant <u>Dr. & Mrs. Hunt</u>		Ph. <u>654-4826</u>	
Taxes <u>2893.84</u>	Yr. <u>'74</u>	Spec. Assn't <u>4812.00</u>	
Recep. <u>18.4 x 8.3</u>	Mtz.	By	
Living Rm. <u>18.5 x 14</u>	<u>Sold by Adams & Myers</u>		Fpl. (2) - Marble in LR -
Dining Rm. <u>12.8 x 26.5 w/alcove</u>	<u>11-24-75</u>		/Raised hearth in FR
Kitchen <u>15.6 x 12.8 - Dishwasher & Disposal</u>	<u>\$102,000</u>	Fam. Rm. <u>28.4 x 16.2 - wet bar</u>	
Brfst. Rm.		Sun Rm. or Porch	
Den <u>12.9 x 12.10</u>		Rec. Room	
Baths (3) <u>One down - All new flooring & tiling</u>		Powder Rm. Yes	
Bedrooms <u>12.9 x 15.8 (down); 13.3 x 19.6 - 13.3 x 10 - 12.9 x 13.10 - 12.8 x 15.9</u>			
<u>13 x 9.6</u>			
Sq. Ft. Liv. Area <u>3775</u>	Builder	Utility Rm. <u>6.5 x 15.3 off kitchen</u>	
Basement <u>Full</u>	Heat <u>GFW</u>	Heat Cost	Water Heater <u>75 Gal. Gas</u>
Storms <u>Frame & Comb.</u>	Screens <u>Some</u>	Insulation	Landscape <u>Excellent</u>
Inter. Finish <u>Plaster - Hardwood</u>		Garage <u>2-Car Detached</u>	
Remarks & Inclusions:	<u>Attic Fan - Hallmark House - Excl.: DR Chandelier</u>	LIST <u>55-16</u>	
		EXP. <u>59-20</u>	
		REN.	
<u>ALL APPOINTMENTS, ALL CONTRACTS THRU PORTERFIELD</u>		Code <u>7PR5-13</u>	
Key Yes (Side door)		Price <u>115,000.</u>	
Age	Lot <u>170 x 177</u>	Motive	Poss.
Rms.	Bed's	Baths	Style & Construction
<u>11</u>	<u>6</u>	<u>3 1/2</u>	<u>Victorian Frame</u>
		Name & Address	
		<u>REINEMAN - 142 East First St., Hinsdale</u>	

Real estate listing, 1975.

	LAGRANGE BOARD OF REALTORS®		
* Although considered accurate, no responsibility is assumed for the information contained herein.			
LISTING OFFICE	By <u>BR THORSEN, HINSDALE</u>	887-8900	DATE <u>92-15/95-1</u>
Owner's Name	<u>ZIMMEL, SUZANNE & LOUIS</u>	Town	<u>HINSDALE</u>
Owner's Address	<u>142 EAST FIRST STREET</u>	Phone	<u>655-0529</u>
Occupied	<u>OWNED</u>	Tenant's Name	
Title	<u>Taxes \$3500.00 Year 1977</u>	Local	<u>by Post for \$225,000</u>
Special Assessments		Incorporated	
Living Rm.	<u>32 X 13</u>	PORCH: <u>18.2 X 13.9</u>	Fireplaces <u>2</u>
Dining Rm.	<u>15.6 X 12.6</u>	Den	Porch
Kitchen	<u>16 X 12.6</u>		
Breakfast Rm.		Family Rm.	<u>12 X 18</u>
Bedrooms (4)	<u>12.6 X 13.6; 10 X 12.6; 12.6 X 15.6 WITH SITTING RM 9 X 12; 19 X 12.6 MBR WITH BATH</u>	Powder Rm.	
Baths (3)			
Basement YES	Crawl	Slab	Recreation Rm.
Utility Rm.			
Heat HW FA	Cost	Inclusions, Remarks, Interior Finish: <u>THE HALLMARK HOME! A CLASSIC</u>	
Wtr. Htr.		<u>VICTORIAN ON OVER 3/4 ACRE IN-TOWN LOCATION FEATURES: TOTALLY</u>	
Burns - Screens		<u>REMODELED INTERIOR, TWIN STAIRWAYS TO 2ND & 3RD LEVELS, 2 WET</u>	
Sq. Ft. Area		<u>BARS, HARDWOOD THROUGHOUT. PLUS MANY EXTRAS AND UNIQUE</u>	
Builder		<u>APPOINTMENTS TOO NUMEROUS TO LIST.</u>	
Motive			
Possession	<u>TBA</u>	Key:	Mtg. Info.
Age	<u>OLDER</u>	Lot	<u>185 X 188</u>
Rooms	<u>11</u>	Beds	<u>6</u>
Baths	<u>3</u>	Construction	<u>FRAME</u>
		Style	<u>VICTORIAN</u>
		Garage	<u>2 DETACHED</u>
		Owner's Name & Property Address:	<u>142 E. FIRST ST., HINSDALE - ZIMMEL-</u>
		Price	<u>\$238,000.</u>

Real estate listing, 1979.

Garage with loft, built 1988, which replaced an earlier two-car garage, built 1953





GRACE EPISCOPAL CHURCH

www.gracehinsdale.org

Village of Hinsdale
19 E. Chicago Avenue
Hinsdale, IL 60521

RE: Property located at 142 E. First Street, Hinsdale, IL 60521

To Whom It May Concern at the Village of Hinsdale:

Sarah Tims, on behalf of Grace Episcopal Church, grants Legacy Homes Cimala, Inc. and/or Robert L. Cimala permission to file any and all applications with the Village of Hinsdale that are necessary to demolish the home on the subject property and to build a new home thereon including, but not limited to, the following: the Preliminary Certificate of Appropriateness Application; the Certificate of Appropriateness Application; the Demolition Permit Application; and the Building Permit Application.

Best Regards,

Sarah C. Tims, Senior Warden

Cc: Bob Cimala

Cc: Lynn Graham