



MEETING AGENDA

HISTORIC PRESERVATION COMMISSION

WEDNESDAY, JUNE 4, 2025

6:30 p.m.

MEMORIAL HALL – MEMORIAL BUILDING

19 East Chicago Avenue, Hinsdale, Illinois 60521

(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES

- a) May 19, 2025 Special Meeting

4. DISCUSSION ITEM

- a) Case HPC-11-2025 – 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

5. SIGN PERMIT REVIEW

- a) Case A-32-2025 – Sign Permit Review – 114 S. Washington Street – Pour Destino – Installation of One (1) Projecting Sign

6. PUBLIC COMMENT

7. NEW BUSINESS

8. OLD BUSINESS

- a) Memorial Building Historic Plaque
- b) Sixth Street Improvement Project
- c) Sign Code Update

9. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
SPECIAL MEETING
MINUTES OF THE MEETING
MONDAY, MAY 19, 2025**

The special meeting scheduled of the Village of Hinsdale Historic Preservation Commission was called to order by Commissioner Bill Haarlow, in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Monday, May 19, 2025 at 6:32 p.m. Roll call was taken.

PRESENT: Commissioners Shannon Weinberger, Bill Haarlow, Chris Elder, Richard Olsen

ABSENT: Chairman John Bohnen, Commissioners Sarah Barclay, Frank Gonzalez

ALSO PRESENT: Bethany Salmon, Village Planner

It was stated that Chairman Bohnen was unable to attend the Historic Preservation Commission meeting. A motion was made by Commissioner Olsen, second by Commissioner Elder to appoint Commissioner Haarlow as Chair Pro Tem for the May 19, 2025 Historic Preservation Commission meeting. The motion carried by the roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

APPROVAL OF MINUTES – April 14, 2025

Chairman Haarlow asked for comments on the April 14, 2025 Historic Preservation Commission meeting minutes. No comments were shared. Commissioner Elder made a motion, seconded by Commissioner Olson, to approve the draft meeting minutes of the April 14, 2025 Historic Preservation Commission meeting as submitted. The motion carried with roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

SIGNAGE

a) Case A-21-2025 – Sign Permit Review – 22 W. First Street – Elase Med Spa – Installation of Two (2) Wall Signs

Keith Hlad, representing the sign contractor Integrity Sign Company, provided an overview of the proposed signage. The project involves a branding update for the existing business. The company ownership remains unchanged.

Mr. Hlad confirmed there are no changes to existing illumination. The sign over the entrance door will be non-illuminated and the wall sign will be externally illuminated using the existing gooseneck lighting.

Commissioners expressed no issues with the proposed signage.

Hearing no concerns, Commissioner Weinberger made a motion, seconded by Commissioner Elder, to approve Case A-21-2025 – Sign Permit Review – 22 W. First Street – Elase Med Spa – Installation of Two (2) Wall Signs. The motion carried with roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

b) Case A-26-2025 – Sign Permit Review – 114 S. Washington Street – Pronto Italian Sandwiches – Installation of One (1) Wall Sign

Peter Burdi, the owner of Pronto Italian Sandwiches, provided an overview of the proposed signage. The project includes a replacement of the existing Calle Cantina sign, with a new wall sign for Pronto Italian Sandwiches. The proposed sign follows code requirements, uses branding colors, and has halo-lit lettering used for the top line of the text. Only have the word “Pronto” illuminated and the bottom text will be non-illuminated.

Commissioners acknowledged that sign lighting is generally discouraged in the historic district. However, since Calle Cantina’s sign was previously approved with halo-lit illumination, the Commission expressed openness to approving the same type for Pronto. It was also noted that this location does not directly face the railroad tracks.

Commissioners discussed that Pronto’s colors are more vibrant, whereas the previous sign for Calle Cantina used subdued, neutral tones.

The sign on the back of the building is not part of this application and will be handled separately.

The sign does not face the railroad tracks as lit signage is typically not approved along that corridor unless using external or gooseneck lighting.

There was a brief discussion over the lighting. The sign lighting will be turned off by 10:00 PM or when the business closes aligning with standards for signage lighting.

Hearing no concerns, Commissioner Olsen made a motion, seconded by Commissioner Elder, to approve Case - A-26-2025 – Sign Permit Review – 114 S. Washington Street – Pronto Italian Sandwiches – Installation of One (1) Wall Sign. The motion carried with roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

c) Case A-32-2025 – Sign Permit Review – 114 S. Washington Street – Pour Destino – Installation of One (1) Projecting Sign

The applicant was not present at the meeting. Therefore, the sign permit application will be moved to the next June 4, 2025 Historic Preservation Commission Meeting.

PUBLIC HEARING

a) Case HPC-10-2025 – 428 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

Please refer to **Attachment 1** for the transcript for Public Hearing Case HPC-10-2025.

Commissioner Elder made a motion, seconded by Commissioner Olson, to open the public hearing for Case HPC-10-2025 – 428 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES:	Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS:	None
ABSTAIN:	None
ABSENT:	Chairman John Bohnen, Commissioners Barclay, Gonzalez

Members of the public speaking at the meeting were sworn in.

Peter Coules, the attorney representing the property owners, presented an overview of the proposal. Prior to submitting the application, extensive neighborhood engagement and historic society consultations were conducted. Multiple previous additions to the existing home in 1971, 1980s, 2003, and 2022 have left the home architecturally fragmented and it is no longer historically insignificant. The original architectural elements are no longer intact. The architecture of the proposed home is Spanish inspired, featuring whitewashed exteriors.

Michael Abraham, the project architect, stated the owners wanted a home that fit into the neighborhood. The proposed home aims for a timeless appearance, as though the home had existed for 100 years and evolved naturally. Traditional materials will be incorporated such as clay roofing, stone, and brick.

Commissioner Elder stated that the proposed design is respectful of the district. He noted it is never good to lose a home, but the new design is attractive.

Commissioner Weinberger stated that the current home is very piecemeal. A Historical and Architectural Impact Study was not requested by the Design Review Team meeting because there is not much of the original home left intact. She noted the proposed home will fit with the neighborhood.

Mr. Abraham added that the design was orientated around preserving a large tree on the property and special care will be taken to preserve it.

Commissioner Olsen stated the design is a perfect example of designing a house with an architectural style in the historic district. It was confirmed that the roof will be a real clay tile roof.

Commissioner Haarlow agree with Commissioner comments and stated that the proposed home appears timeless, is contextually appropriate, and will be asset to the neighborhood. Gratitude was expressed towards the owners, Mr. Coules, and Mr. Abraham for providing a design that was sensitive to the historic district.

Commissioner Weinberger made a motion, seconded by Commissioner Elder, to approve Case HPC-10-2025 – 428 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES:	Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS:	None
ABSTAIN:	None
ABSENT:	Chairman John Bohnen, Commissioners Barclay, Gonzalez

Commissioner Weinberger made a motion, seconded by Commissioner Elder, to approve Case HPC-10-2025 – 428 E. First Street – Application for a Certificate of Appropriateness to Construct a New Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

Commissioner Elder made a motion, seconded by Commissioner Olson, to close the public hearing for Case HPC-10-2025 – 428 E. First Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

b) Case HPC-11-2025- 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

Please refer to **Attachment 2** for the transcript for Public Hearing Case HPC-11-2025.

Members of the public speaking at the meeting were sworn in.

Commissioner Elder made a motion, seconded by Commissioner Olson, to open the public hearing for Case HPC-11-2025- 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

Jon Springer, the property owner, Julie Laux of J. Jordan Homes representing the builder, and Patrick Fortelka and Raynette Bradford, the project architects representing Moment Design, were in attendance.

Mr. Fortelka presented an overview of the design and layout of the house. He stated the existing home is widely viewed as non-contributing and aesthetically lacking, noting the reason for demolition. The design reflects both client needs and architectural considerations. The proposed home includes a front covered porch and an interior courtyard to maximize southern light exposure to the home's core. The side-load garage is recessed approximately 20 feet from the front façade to reduce visibility and preserve streetscape harmony. The large family room doors and windows were recessed to mitigate any overly contemporary or fishbowl appearance, addressing prior concerns from the Design Review Team. The design is heavily influenced by gable roof forms, per the owner's preference. Arched window openings are located on the front façade and selected materials reflect a balance of traditional and modern elements. The primary façade materials are mineral-painted brick in a soft, off-white tone selected to avoid starkness of pure white. The base course will be darker, brownish brick used along the bottom of

the façade and courtyard wall. This design was chosen for both aesthetic grounding and practical protection of lighter brick from landscaping splash. Additional exterior features include dark-clad windows, cedar shake siding painted to match the brick for added texture, slate roofing, and copper accents via a standing seam metal roof over the front porch, gutters, and downspouts.

Chairman Haarlow asked for clarification on the courtyard wall material. Mr. Fortelka confirmed it uses the same darker brick as the base course on the façade.

Commissioner Weinberger asked for a review of what was changed on the plans based on recommendations provided at the Design Review Team Meeting.

Mr. Fortelka stated that the parapet walls on covered porch and the curved garage parapet walls were changed. Many changes that were proposed during the Design Review Team Meeting, such as shutters, did not work with the owners.

Commissioner Weinberger asked to see both preliminary and final renderings side-by-side in the packet for future meetings.

Ms. Salmon stated the cover letter stated over changes discussed such as to the dormer, addition of gas lanterns, and brick detailing.

Mr. Olsen expressed that the primary concern previously discussed was the fenestration, particularly the large vertical window on the façade. The current configuration with a tall, narrow window with a cedar spandrel panel still makes it look as a single continuous window from the street view. While the house design is attractive, it does not reflect any recognized historic architectural style and thus appears to be inappropriate within the context of the historic district. The mass and proportion of the fenestration lacks precedent in traditional or historically compatible home designs within the neighborhood. It was noted that while the window is not continuous pane of glass the visual effect from the street would still make it appear as one long vertical element.

Commissioners discussed options for revising the design, such as the cedar spandrel panel might be painted or otherwise treated to reduce the perception of a single window, helping to soften the contemporary look. The idea aimed to visually break up the vertical massing and align better with traditional fenestration patterns common in the historic district.

Mr. Springer stated he was not open to design changes.

Commissioner Elder made a motion, seconded by Commissioner Olsen, to approve Case HPC-11-2025-223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home. The motion carried with a roll call vote of 4-0 as follows:

AYES:	Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS:	None
ABSTAIN:	None
ABSENT:	Chairman John Bohnen, Commissioners Barclay, Gonzalez

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to approve Case HPC-11-2025-223 E. Eighth Street – Application for a Certificate of Appropriateness to Construct a New Single-Family Home in the Robbins Park Historic District. The motion did not carry with a roll call vote of 1-3 as follows:

AYES: Chairman Haarlow
NAYS: Commissioners Weinberger, Elder, and Olsen
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

Commissioner Elder made a motion, seconded by Commissioner Olson, to close the public hearing for Case HPC-11-2025- 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District. The motion carried with a roll call vote of 4-0 as follows:

AYES: Commissioners Weinberger, Elder, Olsen, Chairman Haarlow
NAYS: None
ABSTAIN: None
ABSENT: Chairman John Bohnen, Commissioners Barclay, Gonzalez

Ms. Salmon outlined the formal appeal process and next procedural steps following the Historic Preservation Commissions' denial of a Certificate of Appropriateness (COA) for new construction for a proposed project. Any denial must be forwarded to the Village Board for further review. The applicant must submit an application for the Village Board within 60 days of the Commission's vote to deny or conditionally approve the COA. The Village Board will then review the Commission's decision. The Village Board may deny the COA or approve with or without conditions. The applicant, property owner, and design professionals are required to attend the Village Board meeting. The Board's decision is advisory in nature and does not prohibit the applicant from pursuing the proposed project if they receive all other required approvals and secure necessary permits. The next scheduled Village Board meeting is June 10, 2025. Village staff will coordinate with the applicant to prepare and submit the application for that meeting.

PUBLIC COMMENT

None.

NEW BUSINESS

None.

OLD BUSINESS

a) Memorial Building Historic Plaque

Ms. Salmon provided an update. A temporary historic plaque has been installed in front of the Memorial Building. The plaque was placed in advance of Memorial Day processions. The sign is not mounted at a final height, once the permanent pole arrives, adjustments will be made to finalize placement and height.

The permanent plaque is ready to be shipped. No definitive installation date is available until payment is process and shipment confirmed. There were minor language changes to the text for the final plaque based on the input from the Commissioners. These updates are not reflected on the temporary plaque but will appear on the permanent version. A photo of the final plaque has been received by the Commission.

Commissioners were asked to review the current location of the temporary plaque. Any requested changes to location must be submitted before the final hole is dug for permanent installation.

The next historic plaque project for the bell and carillon is scheduled for the 2026 budget cycle. The design and location for the second plaque are already generally established. The primary item left to finalize will be the plaque language.

Commissioners expressed excitement about the plaque installation and gratitude for the update. Village staff will keep the Commission informed on shipment and final installation timing of the permanent plaque.

b) Sixth Street Improvement Project

Chairman Haarlow discussed the current status of the Sixth Street Improvement project and external funding being sought via federal grant applications. Chairman Haarlow stated no substantive changes have occurred, the project remains in pending grant status awaiting allocation of federal funding. The initial application was not included in the 2024 Congressional budget, it was clarified that this was not a denial, but rather exclusion from the budget package that was passed. Grant applications are being resubmitted for the next federal funding cycle. Congressman Jesus “Chuy” Garcia’s office has indicated that the Sixth Street project will be given first priority in the next round, since it had already been vetted in the previous cycle. The original supporting documentation, including resident signatures, will be resubmitted with the new application. It was emphasized that signing a petition in support of the grant application does not equate to support for a Special Service Area (SSA). Resident signatures are being used solely to demonstrate community support for the grant-funded improvements—not as a binding agreement to future funding mechanisms like an SSA.

c) Sign Code Update

No updates.

ADJOURNMENT

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to adjourn the meeting of the Village of Hinsdale Historic Preservation Commission special meeting of May 19, 2025. The meeting was adjourned at 7:13 p.m. after a unanimous roll call vote.

ATTEST: _____
Agnes Maka, Community Development Office



**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: May 29, 2025

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Discussion Item – Case HPC-11-2025 – 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

FOR: June 4, 2025 Historic Preservation Commission Meeting

SUMMARY

The Village of Hinsdale previously received a Certificate of Appropriateness (COA) application from the project builder, J. Jordan Homes, requesting approval to demolish an existing single-family home and to construct a new single-family home located at 223 E. Eighth Street in the Robbins Park Historic District. The owner of record listed on the application is Jon and Jessica Springer and the project architect is listed as Moment Design.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission (HPC) or the Village Board, where applicable, per the procedures and criteria specified in the Code, on an application for a Certificate of Appropriateness. The final decision of the Commission or Village Board shall be advisory only.

BACKGROUND

This case was reviewed by the HPC at a public hearing on May 19, 2025. The HPC approved the COA for the demolition of the existing home, but denied the COA for new construction, citing concerns with the compatibility of the design with the historic district and the fenestration on the front facade.

Following the public hearing and subsequent denial of the COA for new construction by the HPC, the applicant has revised their plans in response to feedback provided by the HPC. As shown on the revised plans, on the front façade, the center panels in the large arched windows have been replaced with brick to reduce the fenestration.

In 2024, the Village Board approved significant updates to the review procedures for COA applications for demolition and new construction within the Robbins Park Historic District. One key change established that if the HPC denies a COA at a public hearing, the application is then forwarded to the Village Board for a final determination. This review must occur within 60 days of the HPC's vote.

Revisions to plans following a COA denial by the HPC and prior to consideration of the COA by the Village Board was not one of the scenarios specifically anticipated when the amendment to the Village Code language was originally drafted.



MEMORANDUM

Although the Village Code does not explicitly provide for post-hearing plan revisions, staff believes that allowing the HPC to review and provide input on the revised plans prior to consideration of the COA denial by the Village Board is in line with the intent of the Code —namely, to ensure that homes approved for demolition in the Robbins District are replaced with historically sensitive designs.

As the application remains within the 60-day Village Board review window required by Code, staff recommends that the revised plans be reviewed by the HPC at its regularly scheduled meeting on June 4. The review of the revised plans allows the HPC to consider whether the applicant has made substantial improvements to the design and to provide input on the revised plans to the Village Board. If the HPC finds that the new plans represent a meaningful improvement over the initial submission, the HPC may submit a recommendation to the Village Board indicating that—despite the initial denial—the revised design is acceptable and supports issuance of the COA.

Staff supports continued collaboration between applicants and the HPC within the 60-day review period to encourage historically appropriate design outcomes. The HPC, as subject matter experts, are best suited to provide input to the Village Board on the revised plans. The HPC review of said plans on June 4 is consistent with the Code's objectives and ensures that both procedural integrity and design quality are maintained.

Should the HPC determine on June 4 that the revisions are insufficient, the Village Board will proceed with consideration of the original denial at its June 10 meeting.

Given that this situation has now occurred, staff will work with the Village Attorney to draft a code amendment that explicitly allows for a process by which applicants may submit modifications following a public hearing and prior to Village Board review. This change will help clarify procedural expectations and ensure alignment with the Code's intent.

PROJECT DESCRIPTION

The existing 2-story single-family home at 223 E. Eighth Street was constructed in 1978 and features contemporary Shed Style architecture. The architect is John Vostal and the builder A.W. Wendell & Sons. According to the 2007 survey sheet, the house was built for the child of the owners of 740 E. Eighth Street and is a rare example of this style of architecture in the Village.

The building is classified as a Non-Contributing Structure in the Robbins Park Historic District according to the 2008 National Register of Historic Places Nomination, as a Non-Contributing according to the 2007 Architectural Resources in the Robbins II Survey Area, and a Non-Contributing Structure according to the 1999 Reconnaissance Survey.

The subject property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the north, south, east and west in the R-1 Single Family Residential District.

The applicant requests approval to demolish the existing single-family home and construct a new code-compliant single-family house on a 19,973 square foot lot. A cover letter, photos of the subject property and neighboring properties, site plan, interior floor plans, rendering of the front elevation, building elevations, streetscape exhibit, and photos of the subject property and neighboring properties have been submitted for review.



MEMORANDUM

As shown on the plans, the two-story home will be primarily constructed of limewashed brick with a textured, over-grouted brick belt course, cedar shake siding, and slate and standing seam copper roofing. Per the architect, elements from the contemporary low-country / southern architectural style were used in the design. The front facade includes a covered entryway with a copper standing seam metal roof over a vertical cedar siding accent wall, a central courtyard, arched second floor windows, a central shed dormer, beige limewashed brick and painted cedar shake siding, and a darker colored brick for the foundation / water table.

The site plan includes a circular driveway off of Eighth Street with an extended driveway on the east side of the property leading to a two-car attached garage and a one-car detached garage. A rear patio and rear covered porch will also be constructed on site. The proposed plan meets bulk zoning requirements.

MEETING HISTORY

Design Review Team Meeting – February 10, 2025: On February 10, 2025, a Preliminary Certificate of Appropriateness application was reviewed by the Ad Hoc Design Review Team. The owner, Jon Springer, and project architects, Patrick Fortelka and Raynette Bradford of Moment Design were in attendance. The summary of the discussion at the meeting is attached to this report.

The team agreed a Historic and Architectural Impact Study this study was not necessary.

Team members questioned whether the design truly reflected the low country style, noting the absence of hallmark elements such as wrap-around porches, double-hung windows, hipped roofs, and shutters. There was a discussion over the proposed building materials and colors in the submitted rendering exhibit versus a more updated rendering viewed on a tablet at the meeting. Examples of low country style houses used for inspiration were reviewed.

Team members noted it is an attractive home, but expressed concerns over the design and noted the house did not seem to be appropriate for the historic district and lacked elements that relate to a specific historic style. It was suggested to look at elements to enhance the low country style and provide a design that would be more traditional to fit into the streetscape of the historic district. Team members suggested including traditional shutters, double-hung windows, metal ornamentation, traditional lighting like gas lanterns. Members noted concerns over the large windows and fenestration, suggesting the applicant look to adjust or remove large or arched windows.

The applicant agreed to consider if more traditional and low country style elements could be incorporated.

Historic Preservation Commission – Public Hearing – May 19, 2025: The project was reviewed by the Historic Preservation Commission at a public hearing held on May 19, 2025. Jon Springer, the property owner, Julie Laux of J. Jordan Homes representing the builder, and Patrick Fortelka and Raynette Bradford, the project architects representing Moment Design, were in attendance.

Mr. Fortelka presented an overview of the design and layout of the house. He stated the existing home is widely viewed as non-contributing and aesthetically lacking, noting the reason for demolition. The design reflects both client needs and architectural considerations. The proposed home includes a front covered porch and an interior courtyard to maximize southern light exposure to the home's core. The side-load garage is recessed approximately 20 feet from the front façade to reduce visibility and preserve streetscape harmony. The large family room doors



MEMORANDUM

and windows were recessed to mitigate any overly contemporary or fishbowl appearance, addressing prior concerns from the Design Review Team. The design is heavily influenced by gable roof forms, per the owner's preference. Arched window openings are located on the front façade and selected materials reflect a balance of traditional and modern elements. The primary façade materials are mineral-painted brick in a soft, off-white tone selected to avoid starkness of pure white. The base course will be darker, brownish brick used along the bottom of the façade and courtyard wall. This design was chosen for both aesthetic grounding and practical protection of lighter brick from landscaping splash. Additional exterior features include dark-clad windows, cedar shake siding painted to match the brick for added texture, slate roofing, and copper accents via a standing seam metal roof over the front porch, gutters, and downspouts.

Chairman Haarlow asked for clarification on the courtyard wall material. Mr. Fortelka confirmed it uses the same darker brick as the base course on the façade.

Commissioner Weinberger asked for a review of what was changed on the plans based on recommendations provided at the Design Review Team Meeting.

Mr. Fortelka stated that the parapet walls on covered porch and the curved garage parapet walls were changed. Many changes that were proposed during the Design Review Team Meeting, such as shutters, did not work with the owners.

Commissioner Weinberger asked to see both preliminary and final renderings side-by-side in the packet for future meetings.

Ms. Salmon stated the cover letter stated over changes discussed such as to the dormer, addition of gas lanterns, and brick detailing.

Mr. Olsen expressed that the primary concern previously discussed was the fenestration, particularly the large vertical window on the façade. The current configuration with a tall, narrow window with a cedar spandrel panel still makes it look as a single continuous window from the street view. While the house design is attractive, it does not reflect any recognized historic architectural style and thus appears to be inappropriate within the context of the historic district. The mass and proportion of the fenestration lacks precedent in traditional or historically compatible home designs within the neighborhood. It was noted that while the window is not continuous pane of glass the visual effect from the street would still make it appear as one long vertical element.

Commissioners discussed options for revising the design, such as the cedar spandrel panel might be painted or otherwise treated to reduce the perception of a single window, helping to soften the contemporary look. The idea aimed to visually break up the vertical massing and align better with traditional fenestration patterns common in the historic district.

Mr. Springer stated he was not open to design changes.

By four (4) ayes and zero (0) nays, with three (3) absent, the HPC voted to approve Case HPC-11-2025 – 223 E. Eighth Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home in the Robbins Park Historic District.



MEMORANDUM

By a vote of three (3) nays and one (1) aye, with three (3) absent, the HPC voted to deny approval of Case HPC-11-2025 – 223 E. Eighth Street – Application for a Certificate of Appropriateness to Construct a New Single-Family Home in the Robbins Park Historic District.

REVIEW PROCESS

Pursuant to Title 14, Section 14-5-1(B), no permits shall be issued for the demolition, relocation, or removal of an existing residence, or the construction of a new residence, located within the Robbins Park Historic District without a final decision by the Commission or Village Board, as applicable, on a Certificate of Appropriateness in accordance with the procedures and criteria specified in the Village Code. The final decision of the Commission or Village Board shall be advisory only. Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2.

A Preliminary Certificate of Appropriateness Review is required for applications related to the demolition, removal, relocation, or new construction in the Robbins Park Historic District in accordance with Section 14-5-3.

After the filing of a properly completed formal application for demolition, removal, relocation, or new construction in the Robbins Park Historic District, public notice shall be completed in accordance with Section 14-1-4 and the Commission shall review the application at a public hearing. The applicant, property owner and design professional must be in attendance at the public meeting to ensure both receive and understand any comments provided by the Commission. The hearing shall be commenced, conducted and concluded and a decision shall be made by the Commission as soon as practicable, but in no event later than sixty (60) days after the public hearing on the application has commenced, unless such time is extended by agreement of the applicant or the applicant, property owner and/or design professional failed to appear. Unless such time is extended, the failure by the Commission to conclude the hearing and render a decision within sixty (60) days shall be deemed approval by the Commission.

The following applies to decisions of the Commission on applications for demolition, removal, relocation, or new construction in the Robbins Park Historic District:

- **Approval:** If the application is approved without conditions, the Commission shall issue the COA permitting the Building Commissioner to proceed with other required reviews and approvals.
- **Approval With Conditions:** If the application is approved with conditions, the Commission shall notify the applicant in writing and shall specify the conditions to be imposed and the reasons for doing so with regard to the Standards in Section 14-5-2. If the applicant notifies the Commission in writing that the conditions are acceptable, the Commission shall issue the COA, subject to the conditions. If the applicant does not notify the Commission within ten (10) days of the decision having been made, the approval with conditions will be considered to be a denial, subject to further consideration by the Village Board.
- **Denial:** If the Commission issues a denial of a COA, such denial shall be forwarded to the Village Board for further consideration.
- **Review by the Village Board:** No later than sixty (60) days following a vote by the Commission approving a COA with conditions the applicant does not accept, or denying a COA, the Village Board shall review the decision of the Commission and either deny the COA or approve the COA, with or without conditions. The applicant, property owner, and design professional must be in attendance at the meeting. Unless such time is extended by agreement of the applicant, or the applicant, property owner, and/or design professional failed to appear at a meeting, the failure by the Village Board to act within sixty (60) days, shall be deemed approval by the



MEMORANDUM



Board. Following the decision of the Village Board, the Village shall issue the COA, allowing the Community Development Department to proceed with other required reviews and permit approvals. The final decision of the Village Board is advisory and shall not prohibit an applicant from proceeding with the proposed course of action upon receiving all other required approvals and permits.

A COA shall be invalid if the plans are substantially changed after a final decision is made, if any conditions are not satisfied, if any building permit issued for the approved work becomes invalid, or actions authorized are not completed within three (3) years following the decision.

ATTACHMENTS

1. Comparison of Plan Submittals – Rendering of the Front Façade
2. Certificate of Appropriateness Plans – Prior Plans Submitted for the May 19, 2025 HPC Meeting
3. Certificate of Appropriateness Plans – Revised Plans Submitted for the June 4, 2025 HPC Meeting and June 10, 2025 Board Meeting
4. Design Review Meeting Summary – February 10, 2025

Comparison of Submittals of the Rendering for the Front Elevation

Design Review Team Meeting – February 10, 2025	HPC Meeting – May 19, 2025	HPC Meeting – June 4, 2025
		
		

Design Review Team Meeting – February 10, 2025



Historic Preservation Commission Meeting – May 19, 2025



Historic Preservation Commission Meeting – June 4, 2025





proposed south elevation



proposed e. 8th street



existing e. 8th street





MATERIAL	COLOR	MANUFACTURER
BRICK WATER TABLE:	MOSSTOWN	CHEROKEE BRICK
LIMEWASHED BRICK:	BALBOA MIST	BENJAMIN MOORE
LIMESTONE:	INDIANA BUFF	
METAL ROOF:	COPPER	
SLATE ROOFING:	BLACK + UNFADING GRAY	VERMONT SLATE
CEDAR SIDING:	BALBOA MIST	WESTERN RED CEDAR SHINGLE
WINDOWS:	STEEL GRAY	KOLBE



south elevation



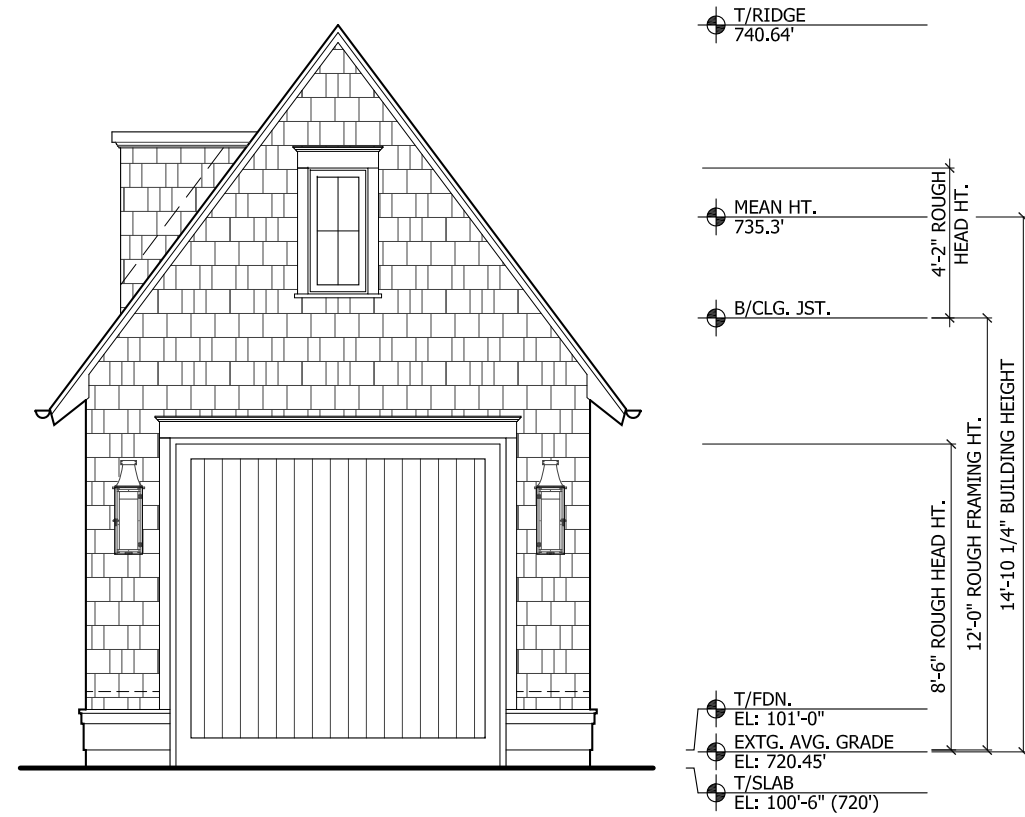
east elevation



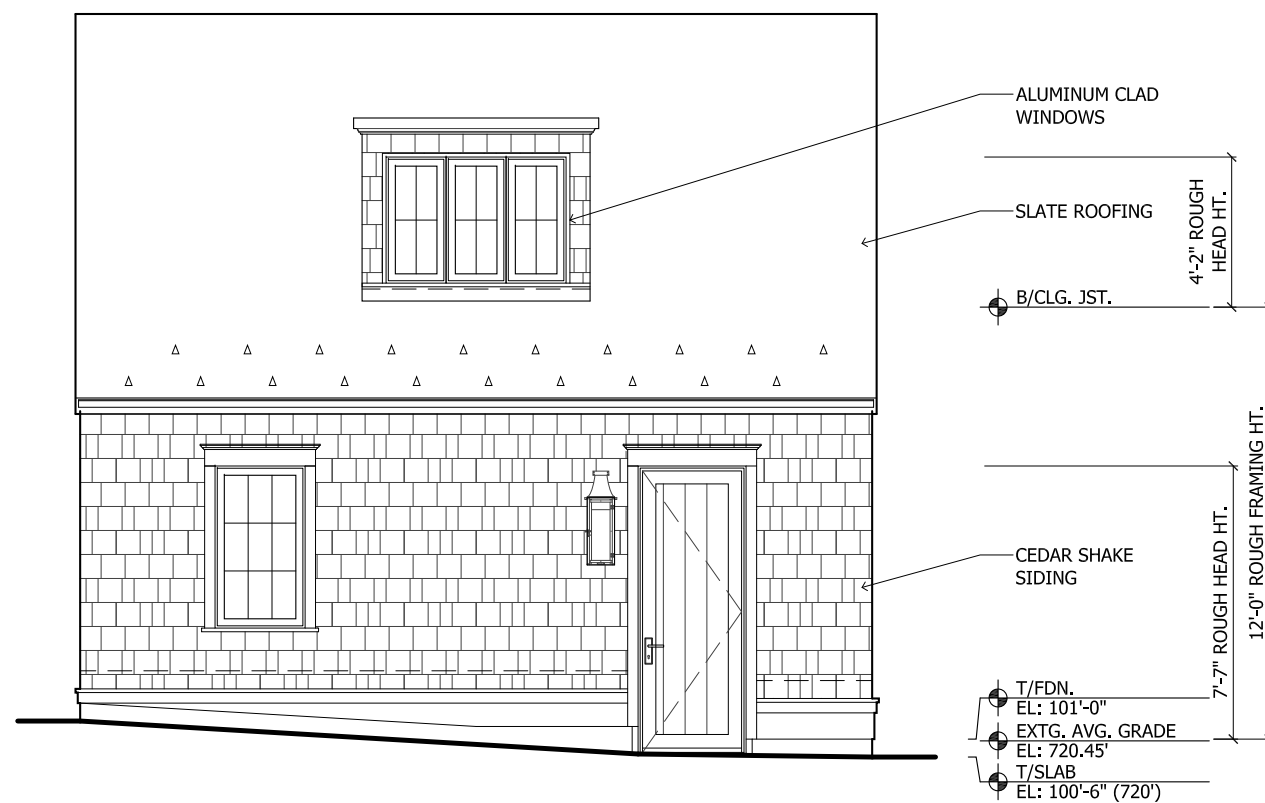
west elevation



north elevation

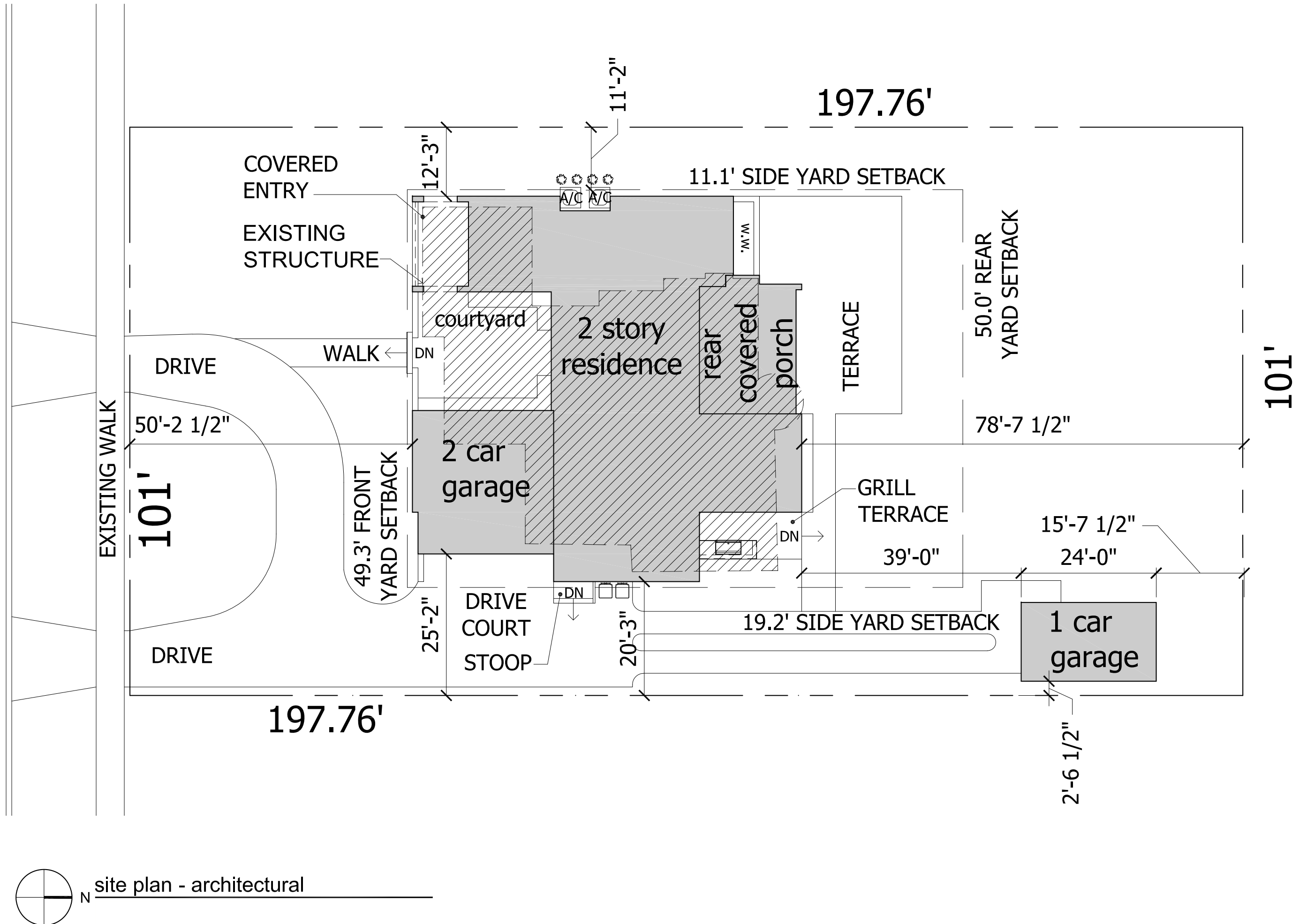


garage south elevation



garage west elevation

east eighth st.



site plan - architectural

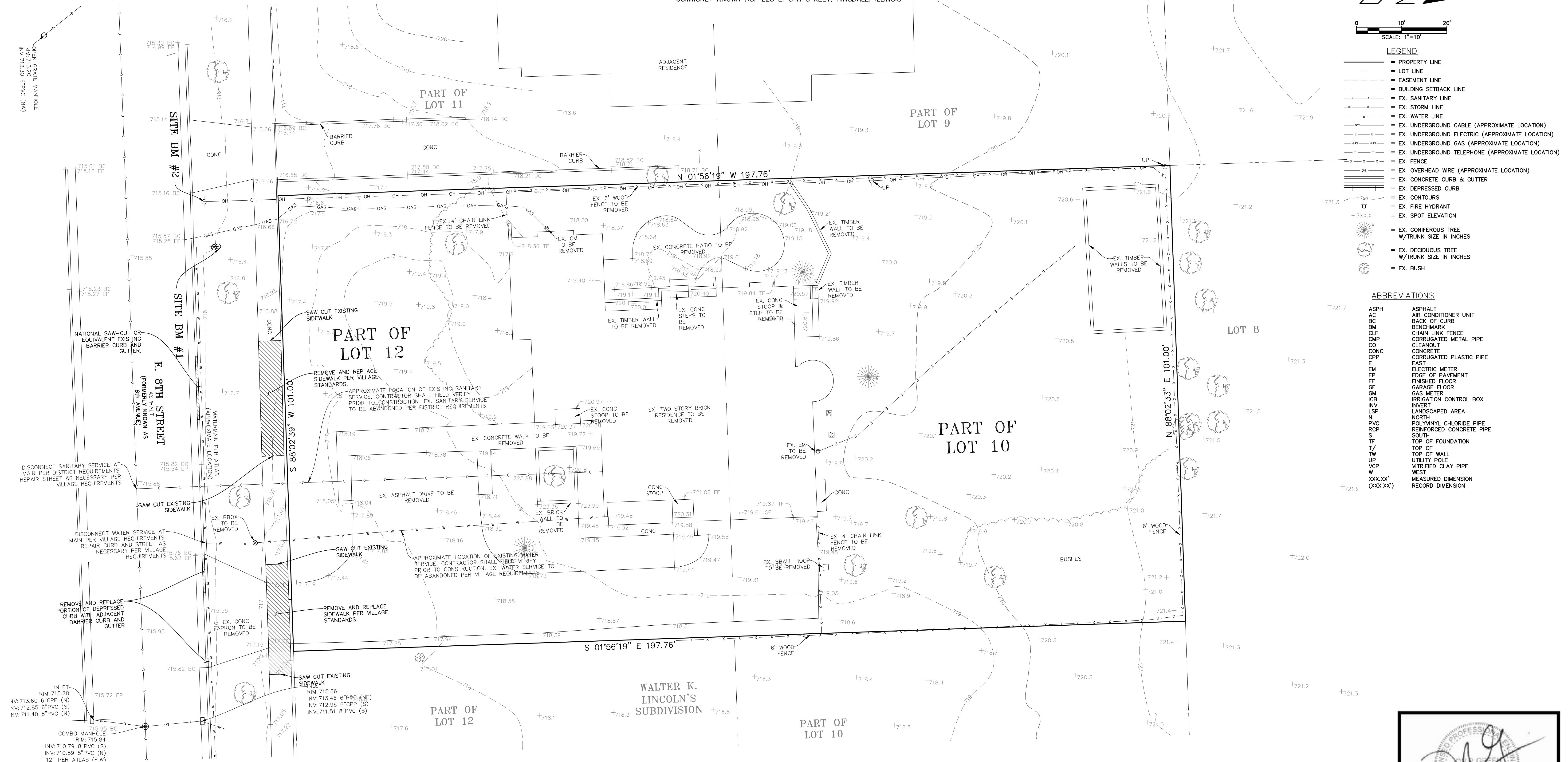
EXISTING CONDITIONS & DEMOLITION PLAN

Prior Plans Submitted for the HPC Meeting on May 19, 2025

THE WEST 101.0 FEET OF LOTS 10 AND 12 IN WALTER K. LINCOLN'S SUBDIVISION OF THE SOUTH EAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTH EAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1916 AS DOCUMENT 125622, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-405-015

COMMONLY KNOWN AS: 223 E. 8TH STREET, HINSDALE, ILLINOIS



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ILLINOIS ONE-CALL SYSTEM

SITE BENCHMARK #1:
OPEN BOLT ON FIRE HYDRANT NEAR THE SOUTHWEST CORNER OF SUBJECT SITE.
ELEV: 718.09 (NAVD 88)

SITE BENCHMARK #2:
SET MAG NAIL IN UTILITY POLE NEAR THE SOUTHWEST CORNER OF SUBJECT SITE.
ELEV: 717.70 (NAVD 88)

Professional Engineer Seal for Jon P. Green, P.E.

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2025

PREPARED FOR: J JORDAN HOMES, LLC

DRAWN BY: SDS
CHECKED BY: TBM
APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150
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2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
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FAX (217) 355-1902

SITE PLAN DATED: FEBRUARY 27, 2025

SHEET 1 OF 5

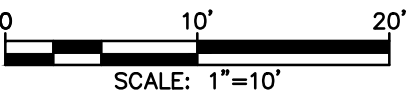
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

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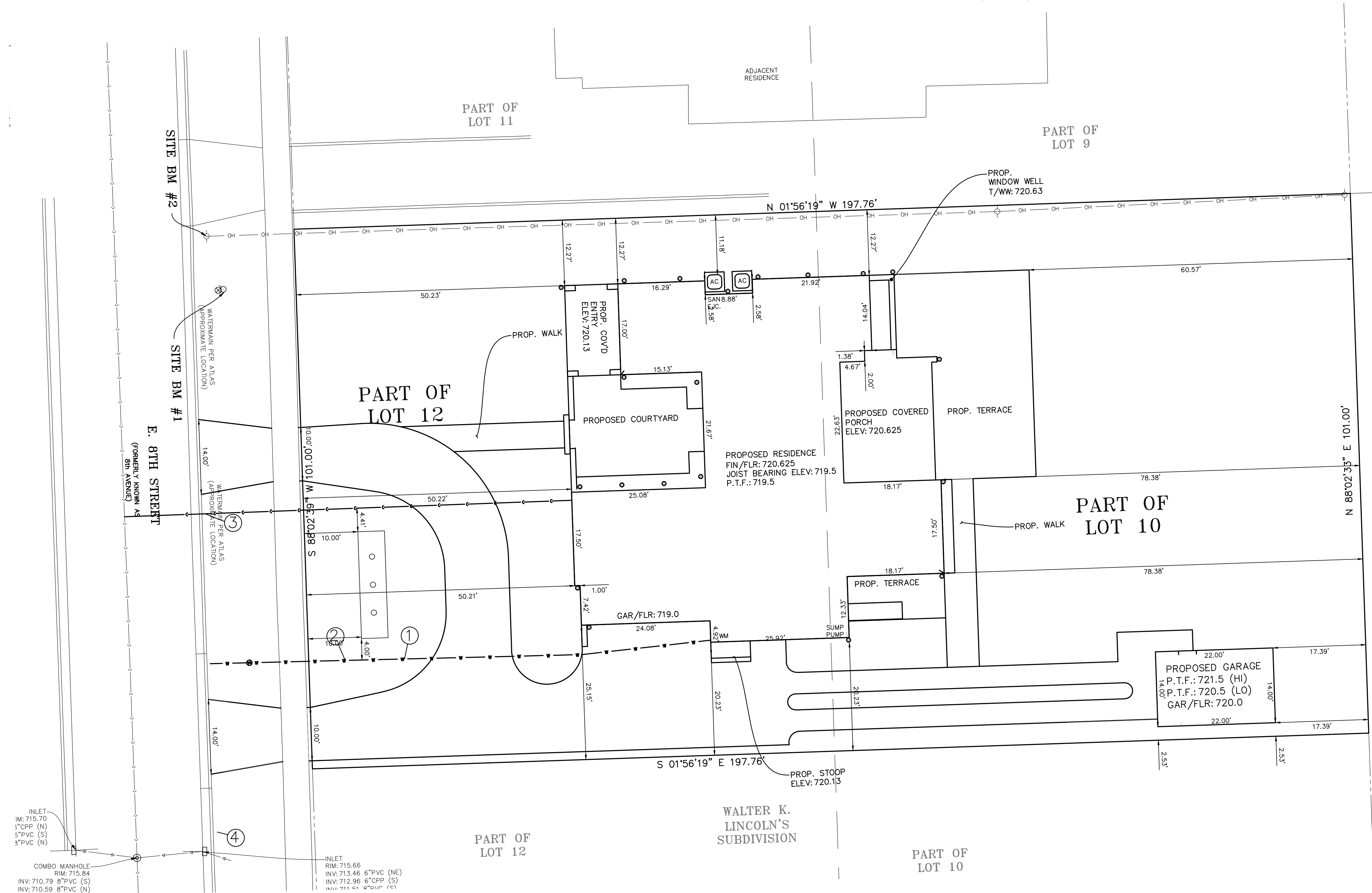


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VCP	VITRIFIED CLAY PIPE
W	WEST
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PREPARED FOR: J JORDAN HOMES, LLC

ENGINEERING RESOURCE ASSOCIATES

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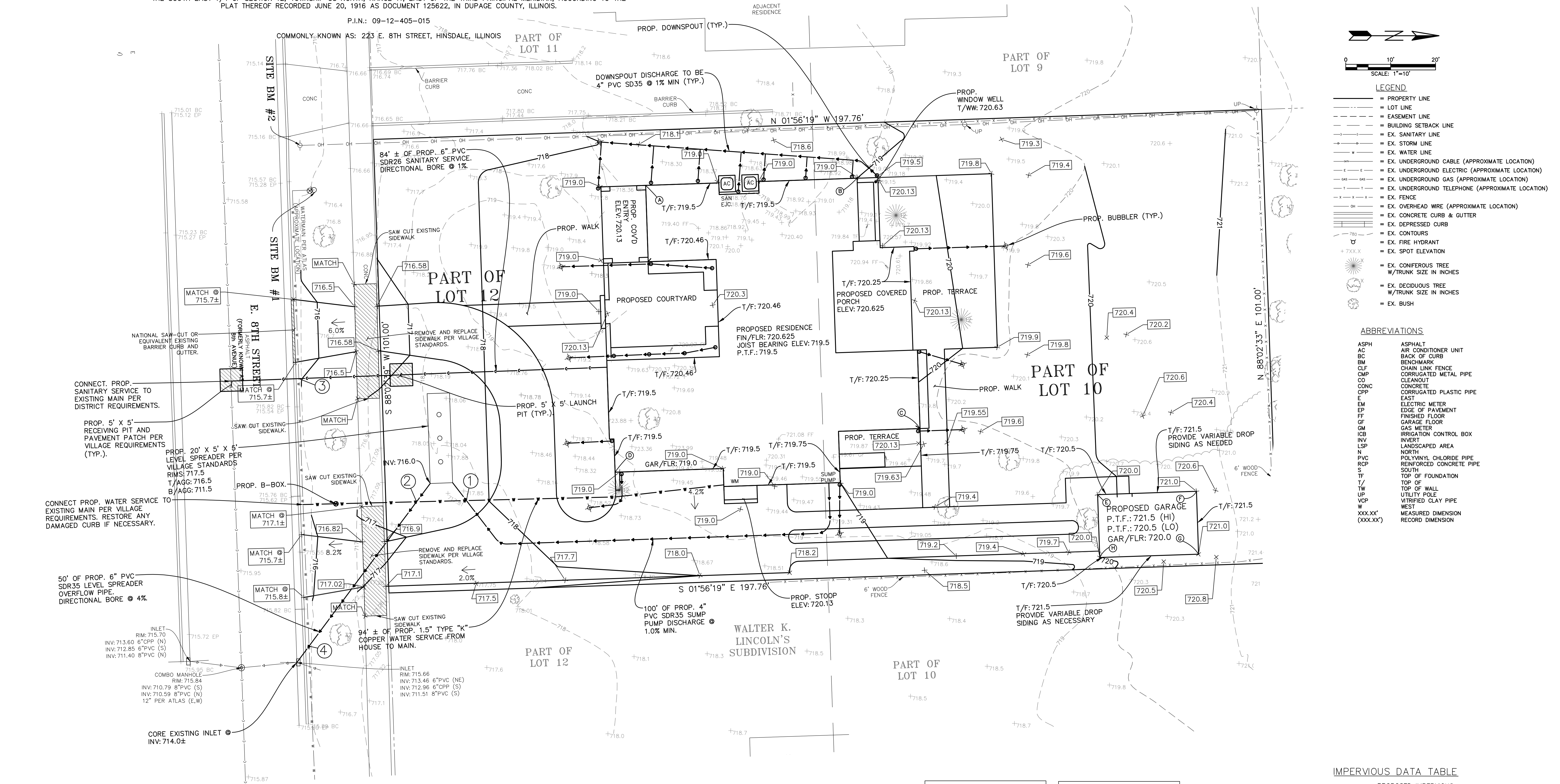
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TOPOGRAPHICAL SITE DEVELOPMENT PLAN

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SITE PLAN DATED: FEBRUARY 27, 2025

SHEET 3 OF 5

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

TREE PRESERVATION & SITE MANAGEMENT PLAN

THE WEST 101.0 FEET OF LOTS 10 AND 12 IN WALTER K. LINCOLN'S SUBDIVISION OF THE SOUTH EAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTH EAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1916 AS DOCUMENT 125622, IN DUPAGE COUNTY, ILLINOIS.

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Prior Plans Submitted for the HPC Meeting on May 19, 2025

0 10' 20'
SCALE: 1"=10'

NOTES:

- All work must be performed according to the approved Tree Preservation Plan.
- An approved Tree Preservation Plan must be available on the building site.
- Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
- Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6' chain-link fence to prevent wounds to the parkway trees(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
- All required tree protection fencing shall remain in place until the time of the finish grading and landscaping.
- No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.
- No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
- Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two inches (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
- Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods. **Auger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone**
- The proposed water service line valves (B-Boxes), is to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.
- At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway trees.
- Removal of any landscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (2") shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
- Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy).
- The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway.

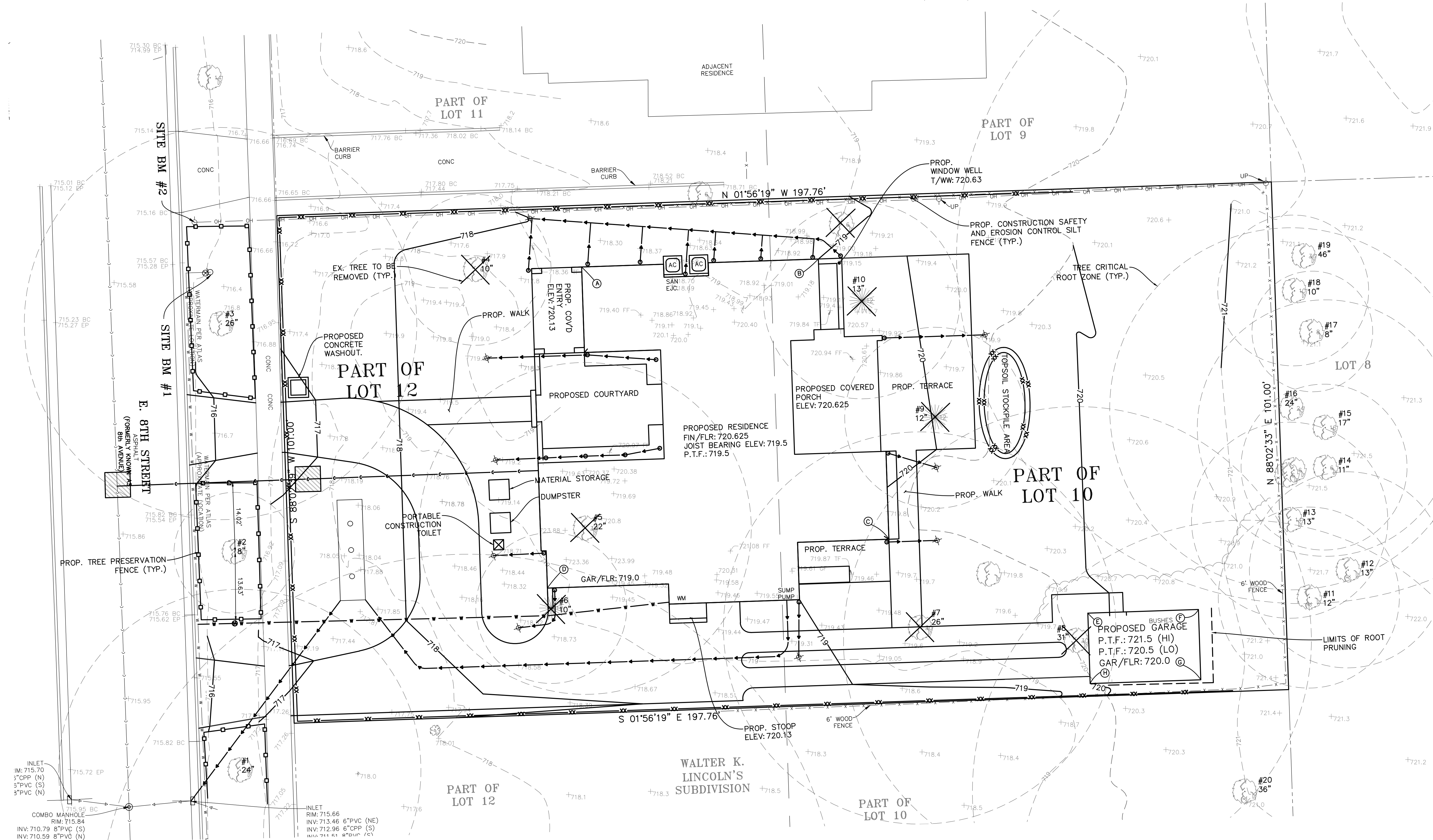
All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).

****NOTIFY THE VILLAGE 24 HOURS PRIOR TO THE START OF WORK WITHIN THE DRIPLINE OF THE PUBLIC TREES**

223 E 8th St Tree Inventory					
Tree #	Size (in.)	Scientific Name	Common Name	Condition	Recommended Action
1	24	<i>Tilia cordata</i>	Little Leaf Linden	Good	Tree protection fence
2	8	<i>Celtis occidentalis</i>	Hackberry	Good	Tree protection fence
3	26	<i>Gleditsia triacanthos</i>	Honey Locust	Good	Tree protection fence
4	21.4	10 <i>Alnus glutinosa</i>	Black Alder	Fair	Remove
5	22	<i>Gleditsia triacanthos</i>	Honey Locust	Fair	Remove
6	10	<i>Picea pungens</i>	Blue Spruce	Good	Remove
7	26	<i>Quercus palustris</i>	Pin Oak	Poor	Remove
8	31	<i>Quercus palustris</i>	Pin Oak	Fair	Remove
9	12	<i>Picea pungens</i>	Blue Spruce	Good	Remove
10	13	<i>Pinus strobus</i>	White Pine	Good	Remove
11	12	<i>Celtis occidentalis</i>	Hackberry	Good	No action needed
12	13	<i>Picea pungens</i>	Blue Spruce	Poor	No action needed
13	13	<i>Celtis occidentalis</i>	Hackberry	Good	No action needed
14	11	<i>Ulmus americana</i>	American Elm	Fair	No action needed
15	17	<i>Ulmus americana</i>	American Elm	Fair	No action needed
16	24	<i>Quercus rubra</i>	Red Oak	Fair	No action needed
17	8	<i>Quercus rubra</i>	Red Oak	Poor	No action needed
18	10	<i>Acer platanoides</i>	Norway Maple	Fair	No action needed
19	46	<i>Ulmus americana</i>	American Elm	Fair	No action needed
20	36	<i>Ulmus americana</i>	American Elm	Good	Root pruning
21	49	<i>Ulmus americana</i>	American Elm	Good	No action needed

- Rating is based on tree health and structural integrity.
 - Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
 - Install Tree Protection Fence per Tree Protection Plan prior to any construction activity.
 - Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway trees(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
 - At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
 - The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots and minimize the maintenance of the parkway lawn.
 - Tree Protection Zone is the designated area that encompasses and entire tree canopy.
- This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.
- The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

Bradley Earnest Certified Arborist # IL-9808-A 2/17/2025



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PREPARED FOR: J JORDAN HOMES, LLC

DRAWN BY: KDK
CHECKED BY: JPC
APPROVED BY: JPC



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proposed south elevation



proposed e. 8th street



existing e. 8th street



ting on June 4, 2025 & Board Meeting on June 10, 2025

window

limestone

metal roof

slate

brick

limewashed brick

siding color

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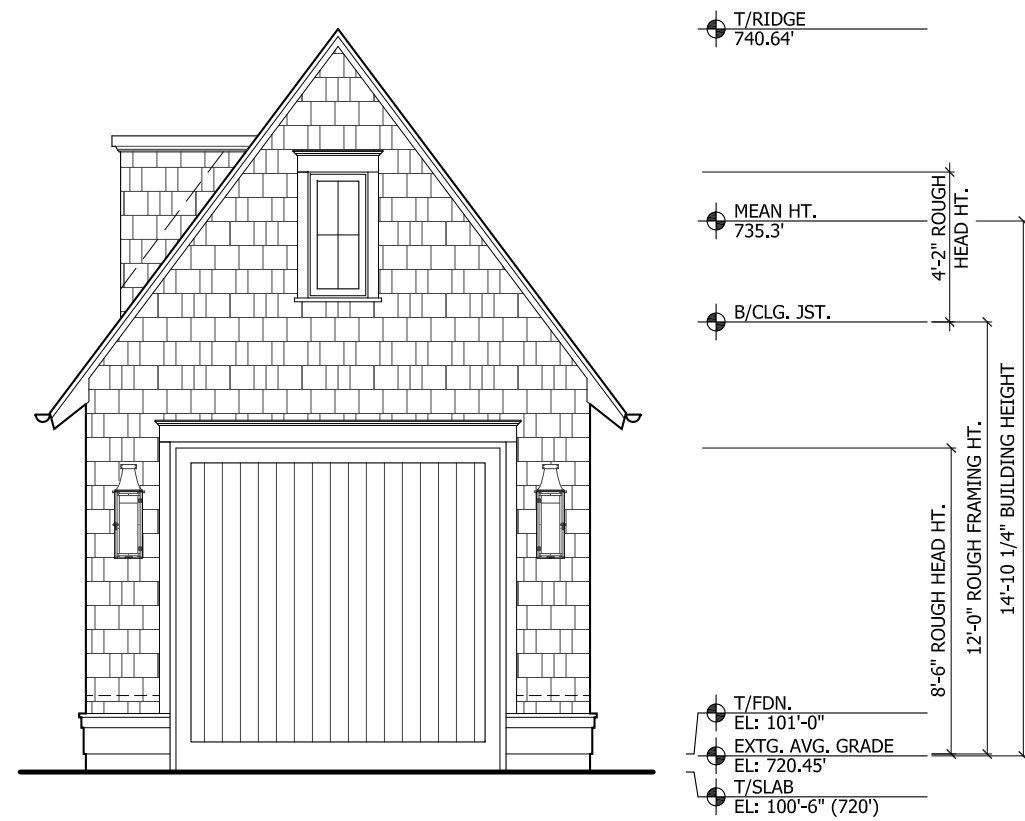
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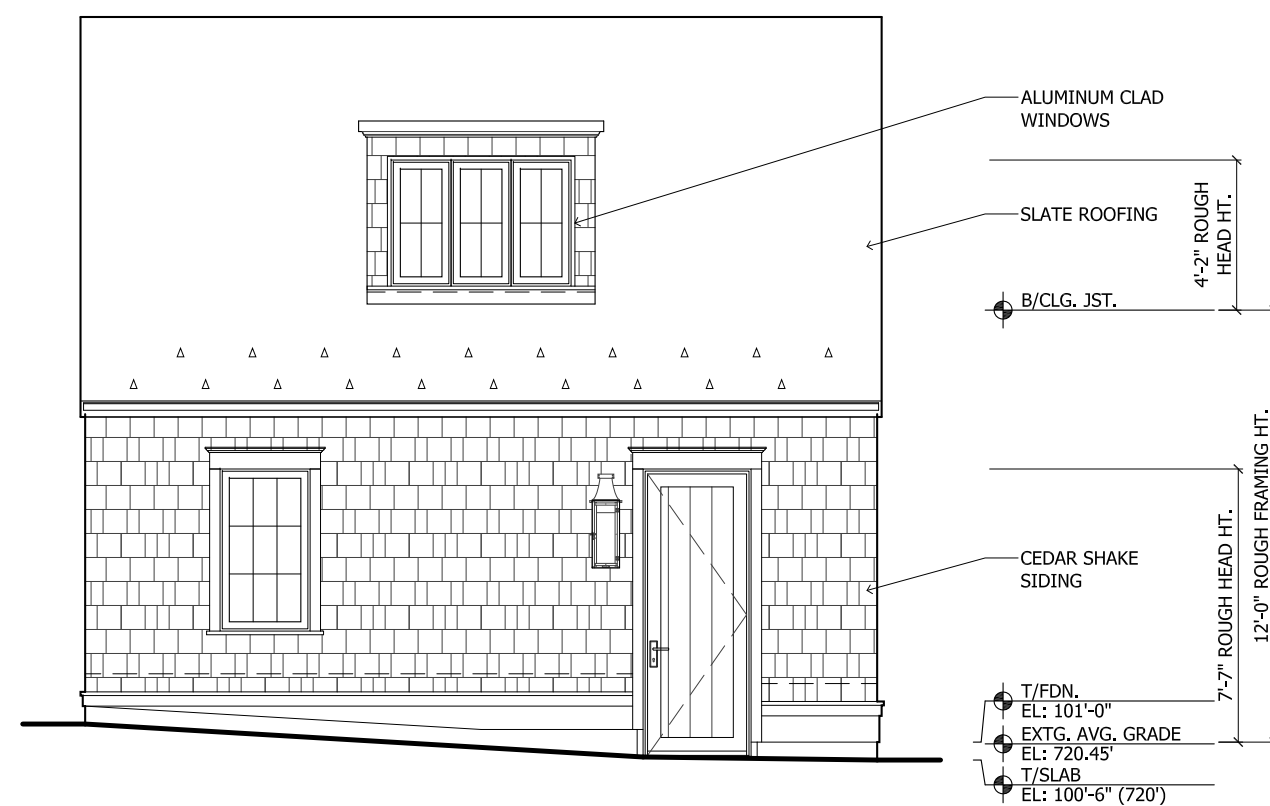
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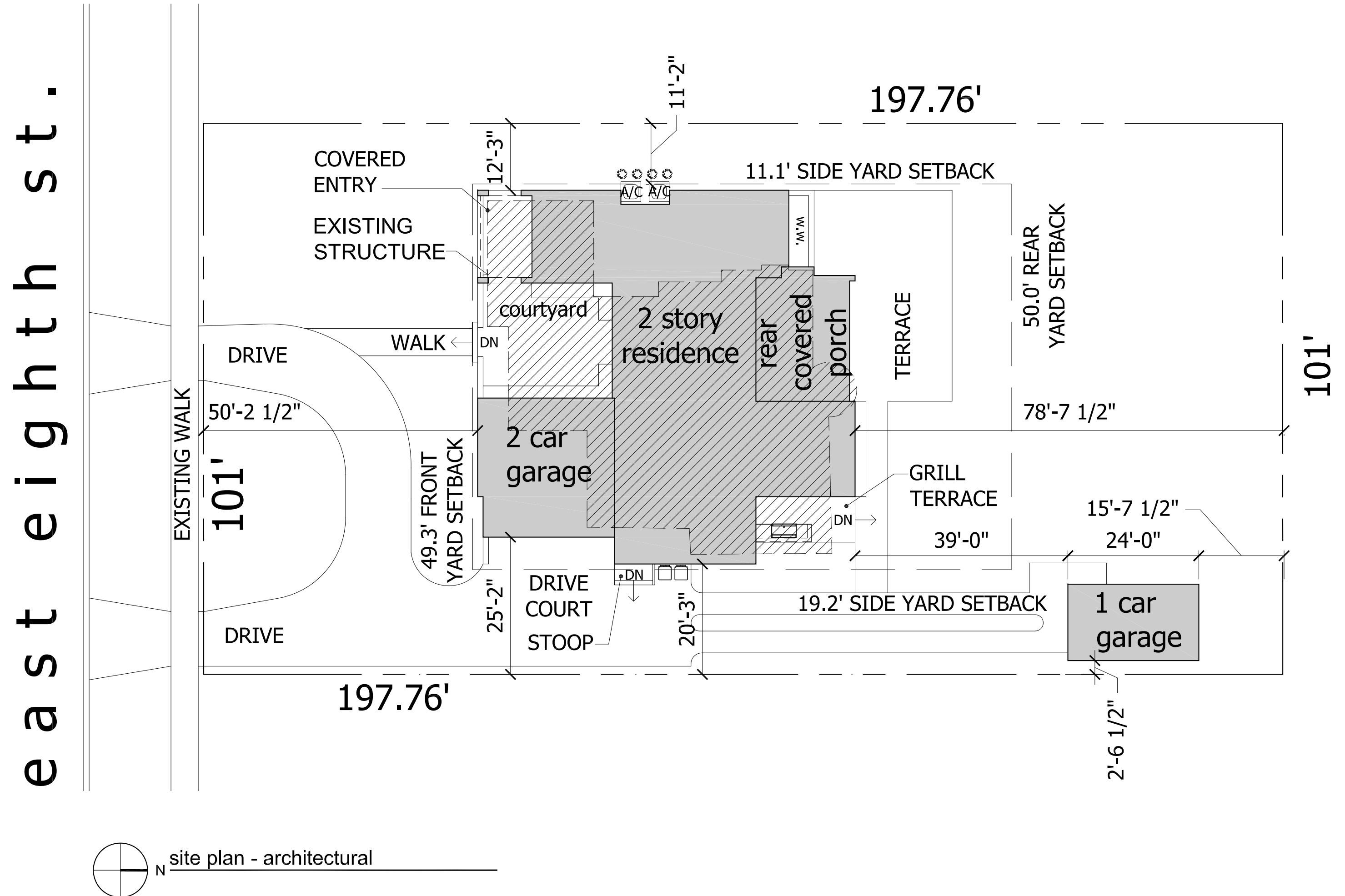
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garage south elevation



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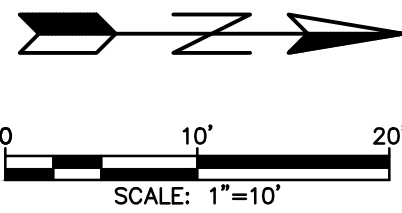


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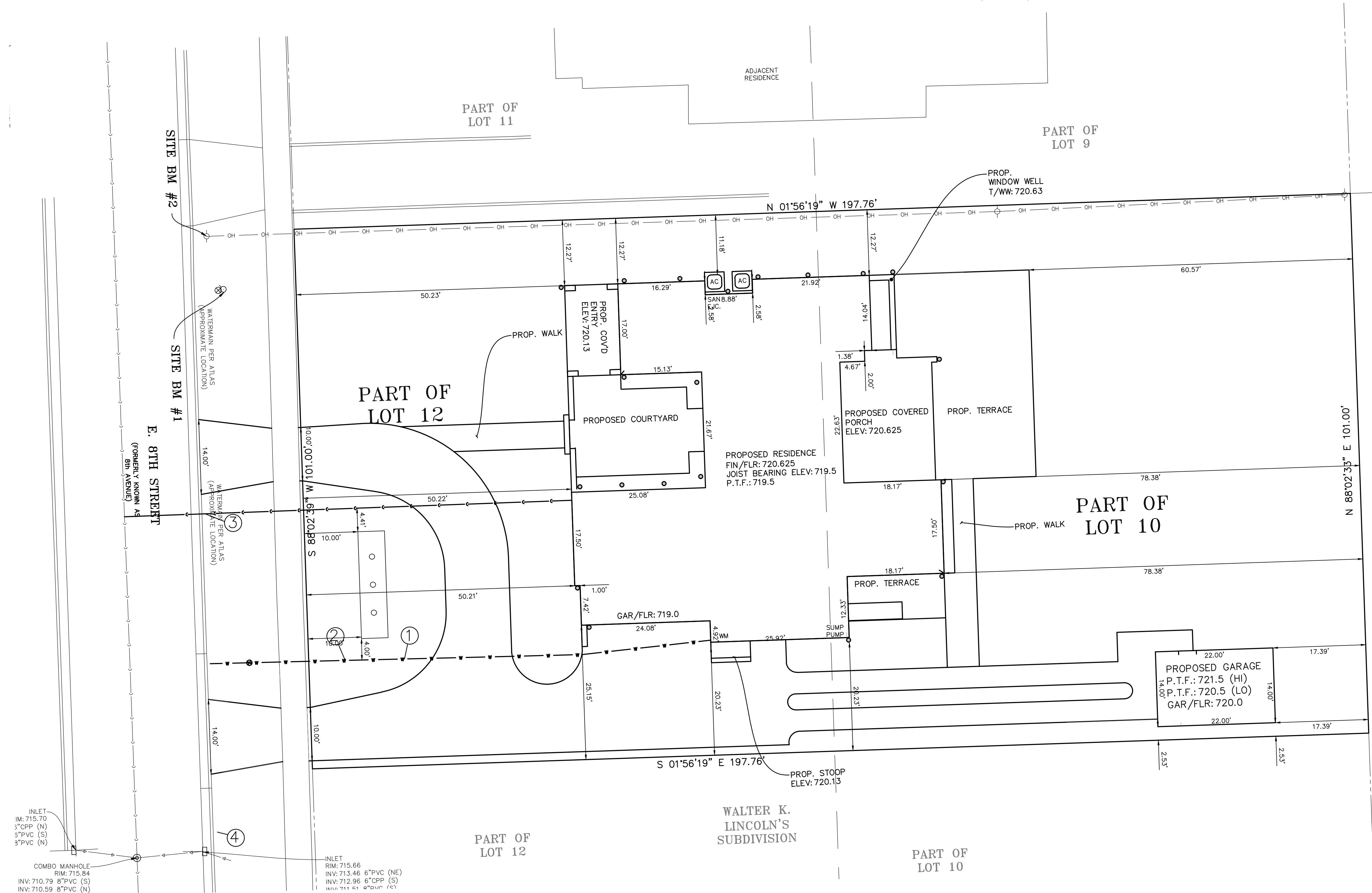


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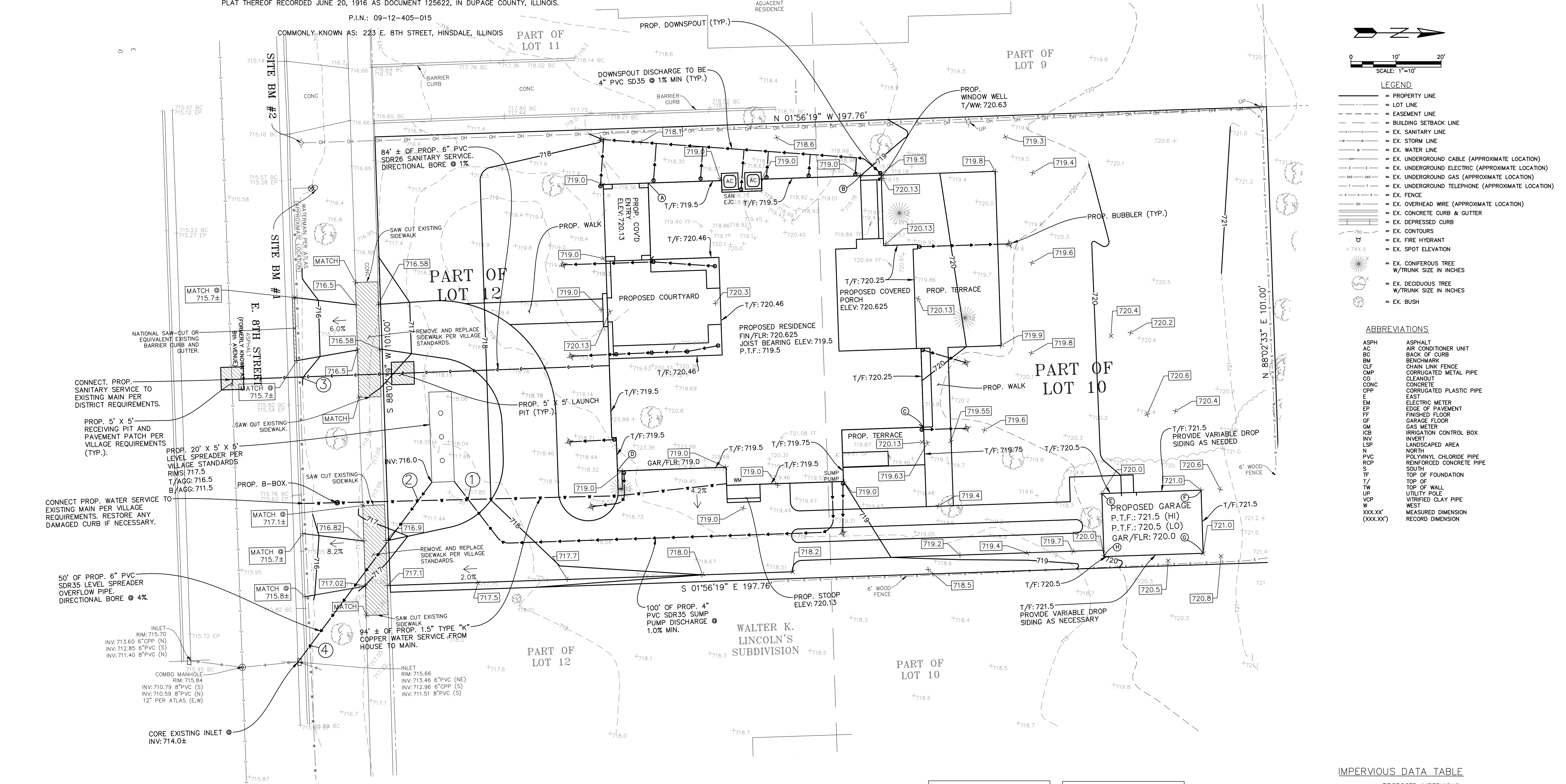
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ELEV: 718.09 (NAVD 88)

SITE BENCHMARK #2:
SET MAG NAIL IN UTILITY POLE NEAR THE SOUTHWEST CORNER OF SUBJECT SITE.
ELEV: 717.70 (NAVD 88)

PREPARED FOR: J JORDAN HOMES, LLC

DRAWN BY: KDK
CHECKED BY: JPC
APPROVED BY: JPC



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
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FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

SITE PLAN DATED: FEBRUARY 27, 2025

SHEET 3 OF 5

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

Updated by: Micropl 2/27/2025

TREE PRESERVATION & SITE MANAGEMENT PLAN

THE WEST 101.0 FEET OF LOTS 10 AND 12 IN WALTER K. LINCOLN'S SUBDIVISION OF THE SOUTH EAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTH EAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1916 AS DOCUMENT 125622, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 09-12-405-015

COMMONLY KNOWN AS: 223 E. 8TH STREET, HINSDALE, ILLINOIS

Revised Plans Submitted for the HPC Meeting on June 4, 2025 & Board Meeting on June 10, 2025

0 10' 20'
SCALE: 1"=10'

NOTES:

- All work must be performed according to the approved Tree Preservation Plan.
- An approved Tree Preservation Plan must be available on the building site.
- Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
- Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6' chain-link fence to prevent wounds to the parkway trees(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
- All required tree protection fencing shall remain in place until the time of the finish grading and landscaping.
- No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.
- No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
- Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two inches (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
- Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods.
- Auger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone.
- The proposed water service line valves (B-Boxes), is to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.
- At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway trees.
- Removal of any landscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (2") shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
- Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy).
- The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway.

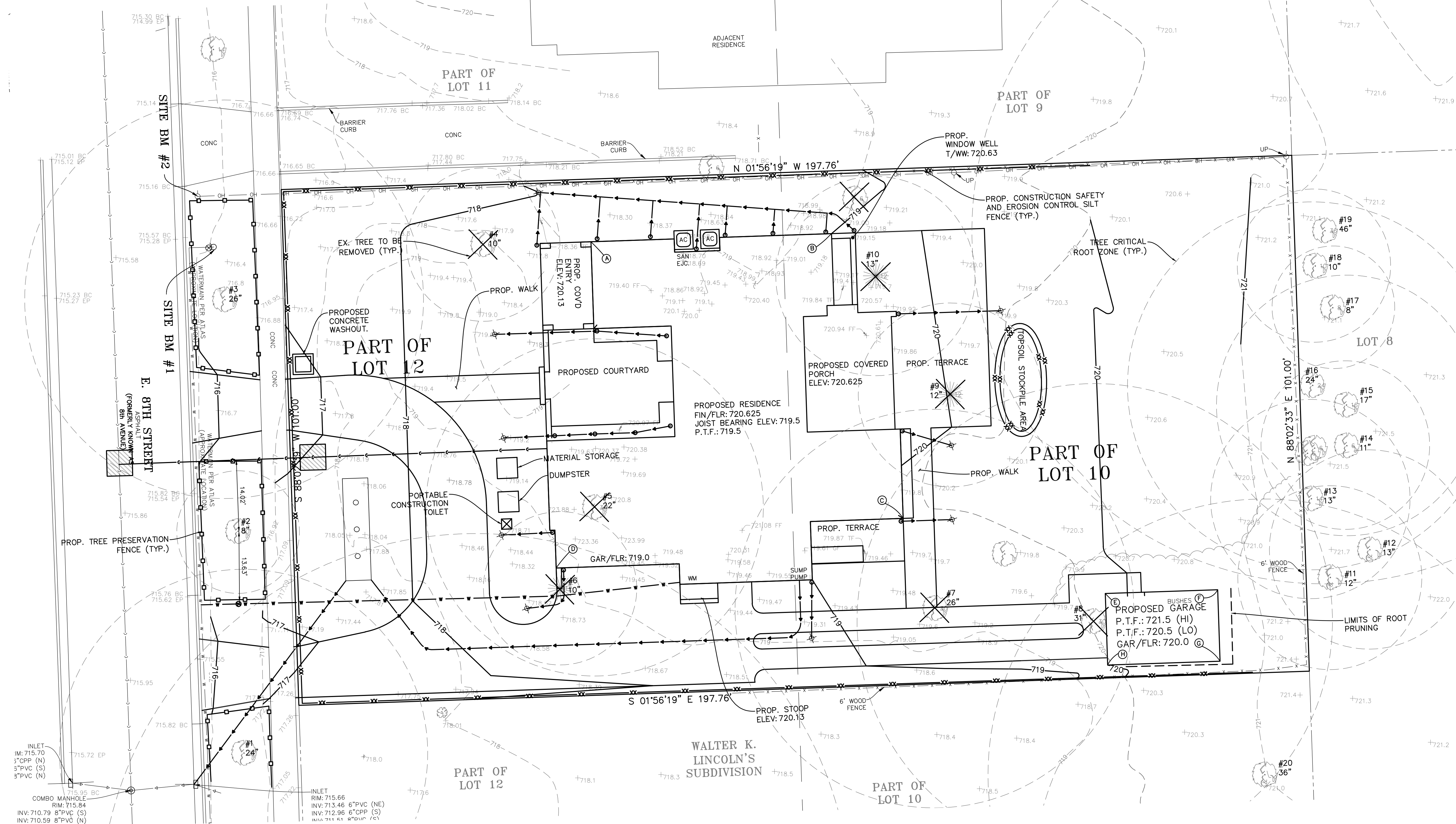
All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).

****NOTIFY THE VILLAGE 24 HOURS PRIOR TO THE START OF WORK WITHIN THE DRIPLINE OF THE PUBLIC TREES**

223 E 8th St Tree Inventory					
Tree #	Size (in.)	Scientific Name	Common Name	Condition	Recommended Action
1	24	<i>Tilia cordata</i>	Little Leaf Linden	Good	Tree protection fence
2	8	<i>Celtis occidentalis</i>	Hackberry	Good	Tree protection fence
3	26	<i>Gleditsia triacanthos</i>	Honey Locust	Good	Tree protection fence
4	21.4	<i>Alnus glutinosa</i>	Black Alder	Fair	Remove
5	22	<i>Gleditsia triacanthos</i>	Honey Locust	Fair	Remove
6	10	<i>Picea pungens</i>	Blue Spruce	Good	Remove
7	26	<i>Quercus palustris</i>	Pin Oak	Poor	Remove
8	31	<i>Quercus palustris</i>	Pin Oak	Fair	Remove
9	12	<i>Picea pungens</i>	Blue Spruce	Good	Remove
10	13	<i>Pinus strobus</i>	White Pine	Good	Remove
11	12	<i>Celtis occidentalis</i>	Hackberry	Good	No action needed
12	13	<i>Picea pungens</i>	Blue Spruce	Poor	No action needed
13	13	<i>Celtis occidentalis</i>	Hackberry	Good	No action needed
14	11	<i>Ulmus americana</i>	American Elm	Fair	No action needed
15	17	<i>Ulmus americana</i>	American Elm	Fair	No action needed
16	24	<i>Quercus rubra</i>	Red Oak	Fair	No action needed
17	8	<i>Quercus rubra</i>	Red Oak	Poor	No action needed
18	10	<i>Acer platanoides</i>	Norway Maple	Fair	No action needed
19	46	<i>Ulmus americana</i>	American Elm	Fair	No action needed
20	36	<i>Ulmus americana</i>	American Elm	Good	Root pruning
21	49	<i>Ulmus americana</i>	American Elm	Good	No action needed

- Rating is based on tree health and structural integrity.
 - Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
 - Install Tree Protection Fence per Tree Protection Plan prior to any construction activity.
 - Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway trees(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out".
 - At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
 - The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots and minimize the maintenance of the parkway lawn.
 - Tree Protection Zone is the designated area that encompasses and entire tree canopy.
- This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.
- The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

Bradley Earnest Certified Arborist # IL-9808-A 2/17/2025



It's smart It's free It's the law

Call before you dig

800.892.0123

PREPARED FOR: J JORDAN HOMES, LLC

DRAWN BY: KDK
CHECKED BY: JPC
APPROVED BY: JPC



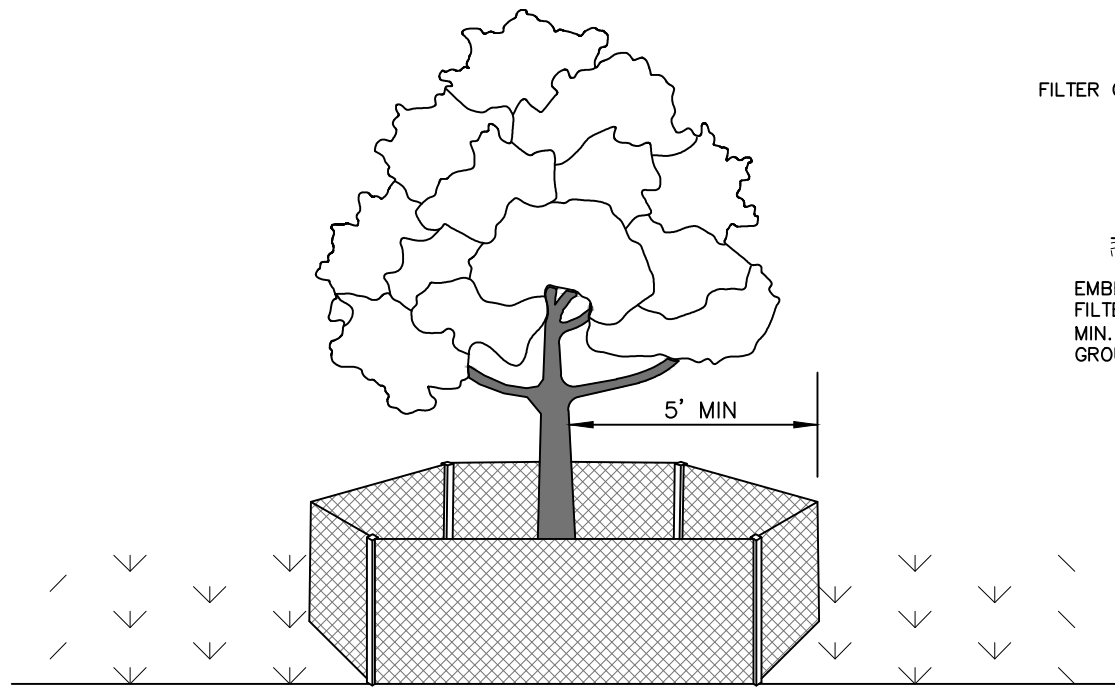
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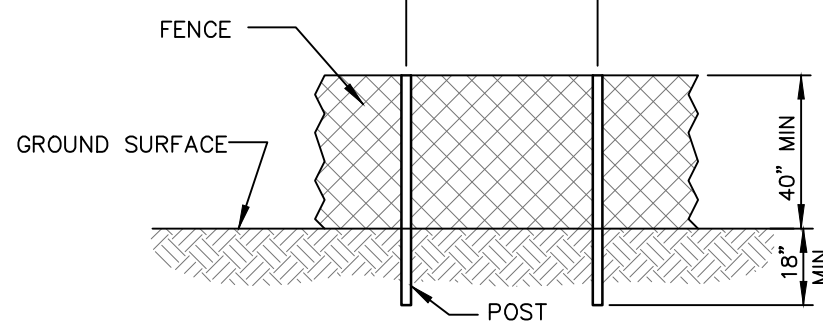
2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

NOTES:

- ANY DEMOLITION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING EAST 8TH STREET CURB AND GUTTER.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. — SPRING 2023
 - EXISTING STRUCTURES SHALL BE DEMOLISHED. — SUMMER 2025
 - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. & EXISTING SWALES. — FALL 2025
 - CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. — SPRING 2026
 - PREPARE AND SUBMIT RECORD DRAWINGS. — SPRING 2026
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. — SUMMER 2026
- CONTACT PERSON FOR SITE:
DAVE HELLER
(630) 327-9271
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- REMOVE AND REPLACE SIDEWALK WHERE NECESSARY.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
- OVERFLOW PIPE IS TO BE CONNECTED TO THE EXISTING STORM SEWER. CONTRACTOR SHALL COORDINATE WITH VILLAGE ROADWAY CONTRACTOR DURING CONSTRUCTION OF THE OVERFLOW PIPE CONNECTION.
- THE PROPOSED DRIVEWAY AREA AND UTILITY INSTALLATION SHOULD BE INSTALLED USING TECHNIQUES TO MINIMIZE DAMAGE TO THE PARKWAY TREE.
 - THE VILLAGE WILL REQUIRE THAT THE TREE PROTECTION FENCE BE INSTALLED A MINIMUM DISTANCE FROM THE TREE.
 - HAND DIGGING ONLY WITHIN TREE PROTECTION ZONES.
 - ROOT PRUNING WILL BE USED AS NECESSARY PRIOR TO THE DRIVEWAY DEMOLITION TO PRUNE TREE ROOTS.
 - ALL TREE PROTECTION FENCING WILL BE MAINTAINED IN ALL AREAS OUTSIDE OF THE APRON EXCAVATION AREA.
 - MINIMAL EXCAVATION NOT TO EXCEED 6" DEEP WITHIN TREE PROTECTION ZONES.
 - NO MATERIAL OR EQUIPMENT STORAGE WITHIN THE DRIP LINE OF PUBLIC TREES.
 - THE USE OF BRICK PAVERS FOR THE DRIVES IS RECOMMENDED.
 - NOTIFY THE VILLAGE 24 HOURS PRIOR TO THE START OF WORK WITHIN THE DRIP LINE OF THE PUBLIC TREES.
 - ALL PARTIES ACKNOWLEDGE THAT PENALTIES OUTLINED UNDER TITLE 7 CHAPTER 2 WILL BE ENFORCED. TITLE 7 SECTION 1-CHAPTER 2-8(3). ANY PERSON WHO REMOVES OR CUTS DOWN ANY TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE WITHOUT A PERMIT FROM THE VILLAGE OR CAUSES THE DEATH OF THE TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE BE NEGLIGENCE OR FAILURE TO ADEQUATELY PROTECT SAID TREE DURING CONSTRUCTION ON THAT PERSON'S PROPERTY SHALL PAY THE VILLAGE A PERMIT FEE OF TWENTY-FIVE THOUSAND DOLLARS (\$25,000).



SECTION VIEW



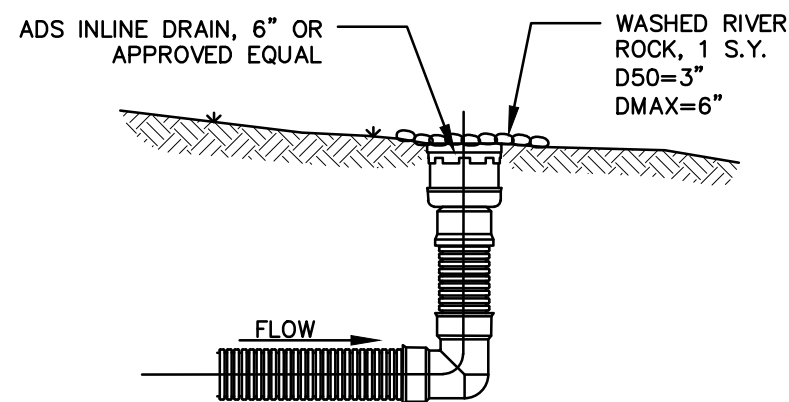
POST AND FENCE DETAIL

NOTES:

- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
- THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

TREE PROTECTION

NOT TO SCALE

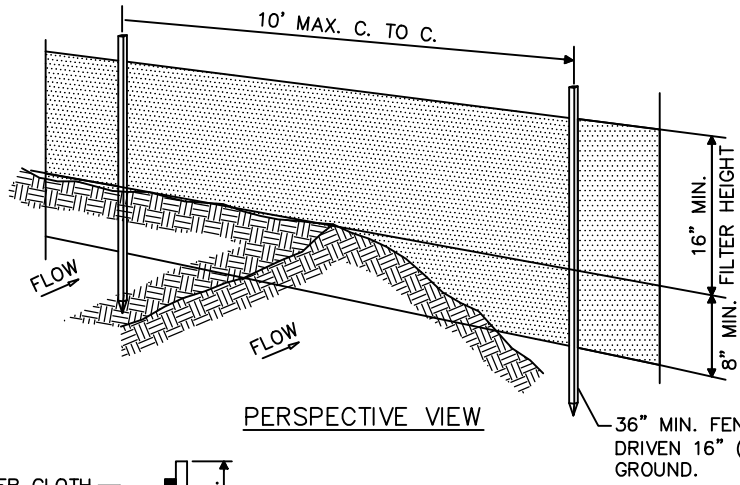


BUBBLER DETAIL

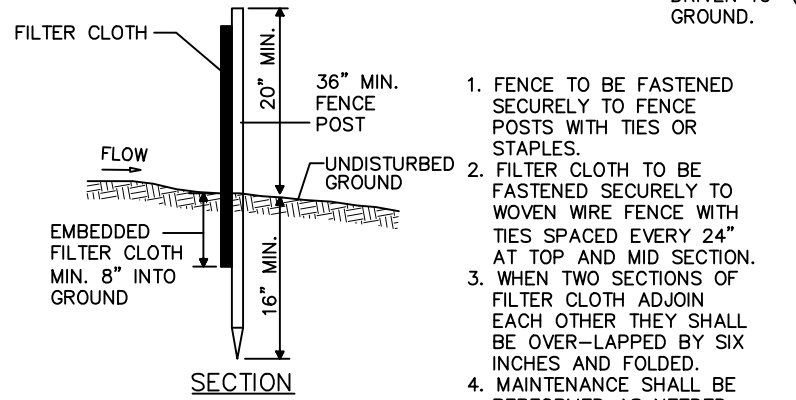
NOT TO SCALE

*NOTE: COST OF WASHED RIVER ROCK SHALL BE INCLUDED IN THE COST OF BUBBLER.

- BMP'S INSPECTION — INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- LEVEL SPREADER INSPECTION — INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE STORM SEWER — INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- DRIVEWAYS, SIDEWALKS & CURBS IN THE PARKWAY — ASPHALT OR CONCRETE, WHEN DRIVEWAY IS LAID-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.
- STREET PATCHES FOR SANITARY CONNECTION — 3 INSPECTIONS
- CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- STREET PATCHES FOR WATER CONNECTION — 3 INSPECTIONS
- CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- FINAL GRADE INSPECTION
- WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE.
- STORMWATER BOND INSPECTION
- CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.



PERSPECTIVE VIEW



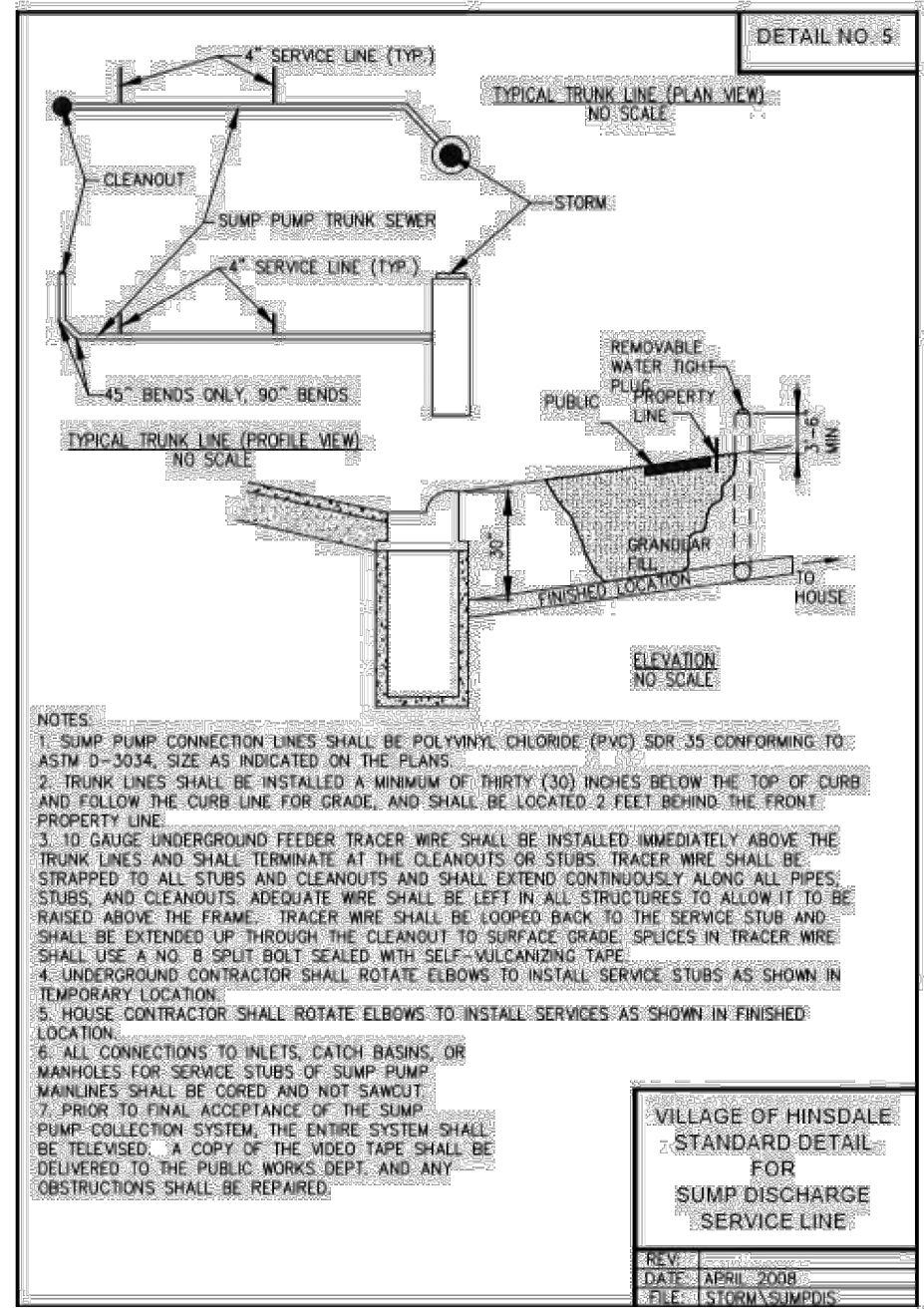
SILT FENCE

- FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.

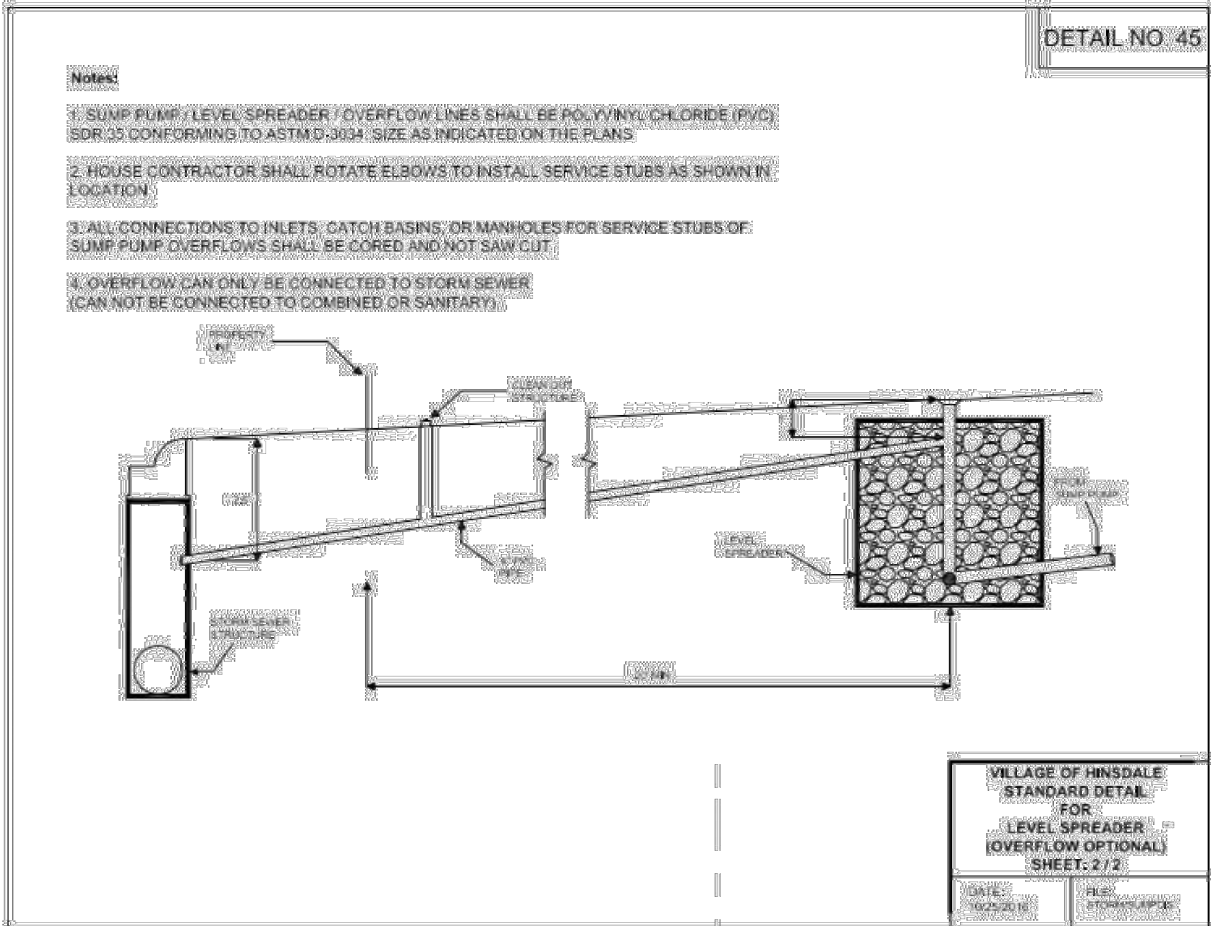
POSTS: STEEL EITHER OR U TYPE OR 2" HARDWOOD.

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N.

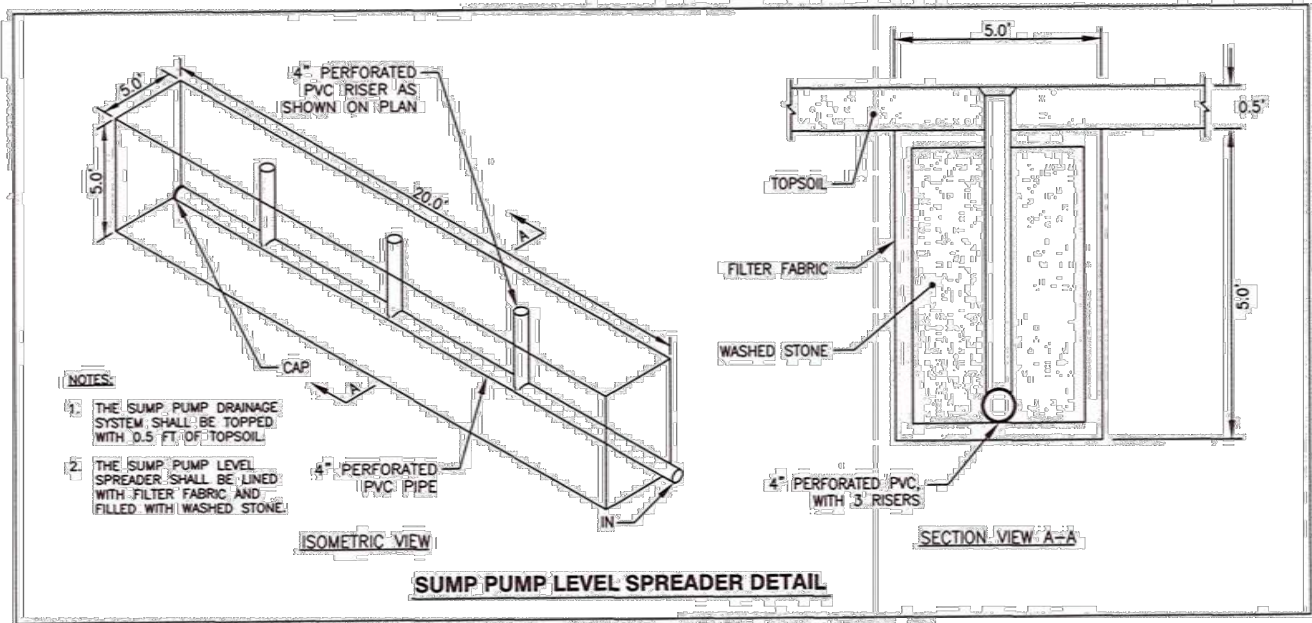
PREFABRICATED UNIT: GEOFAB, ENVROFENCE.



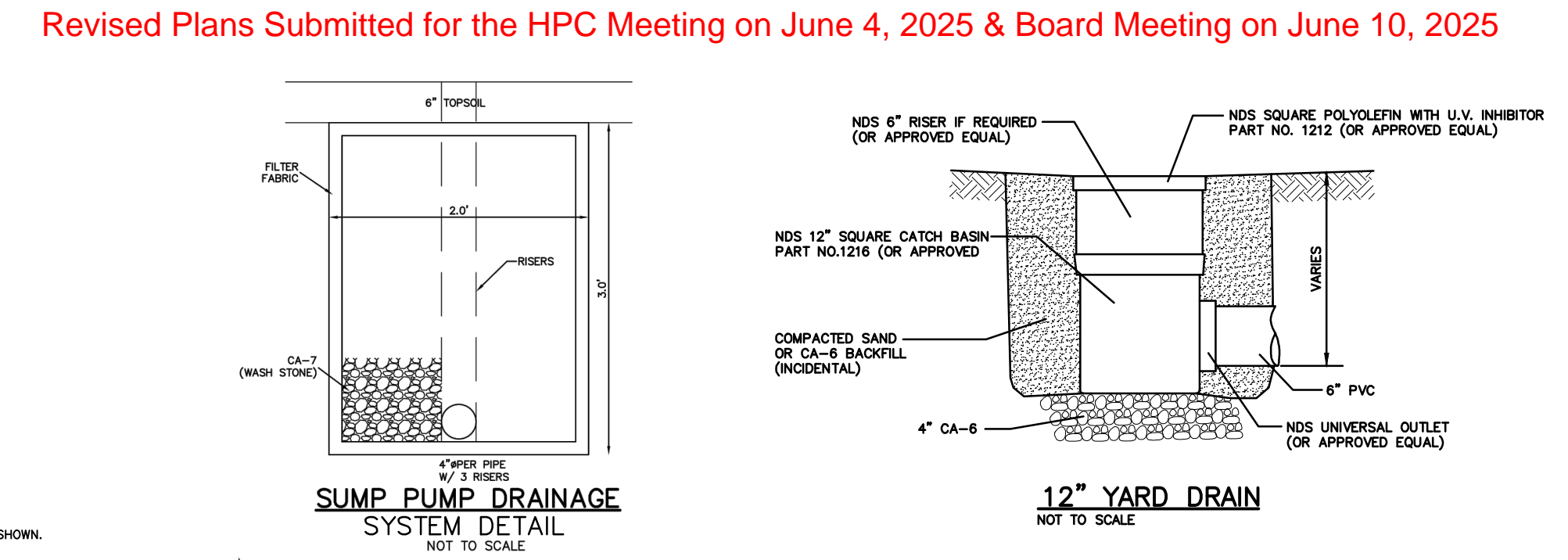
VILLAGE OF HINSDALE
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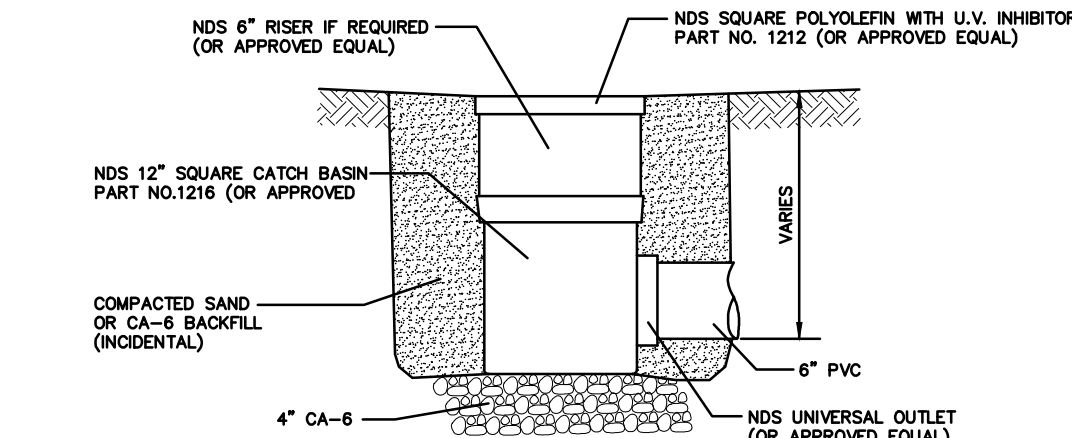
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SECTION VIEW A-A

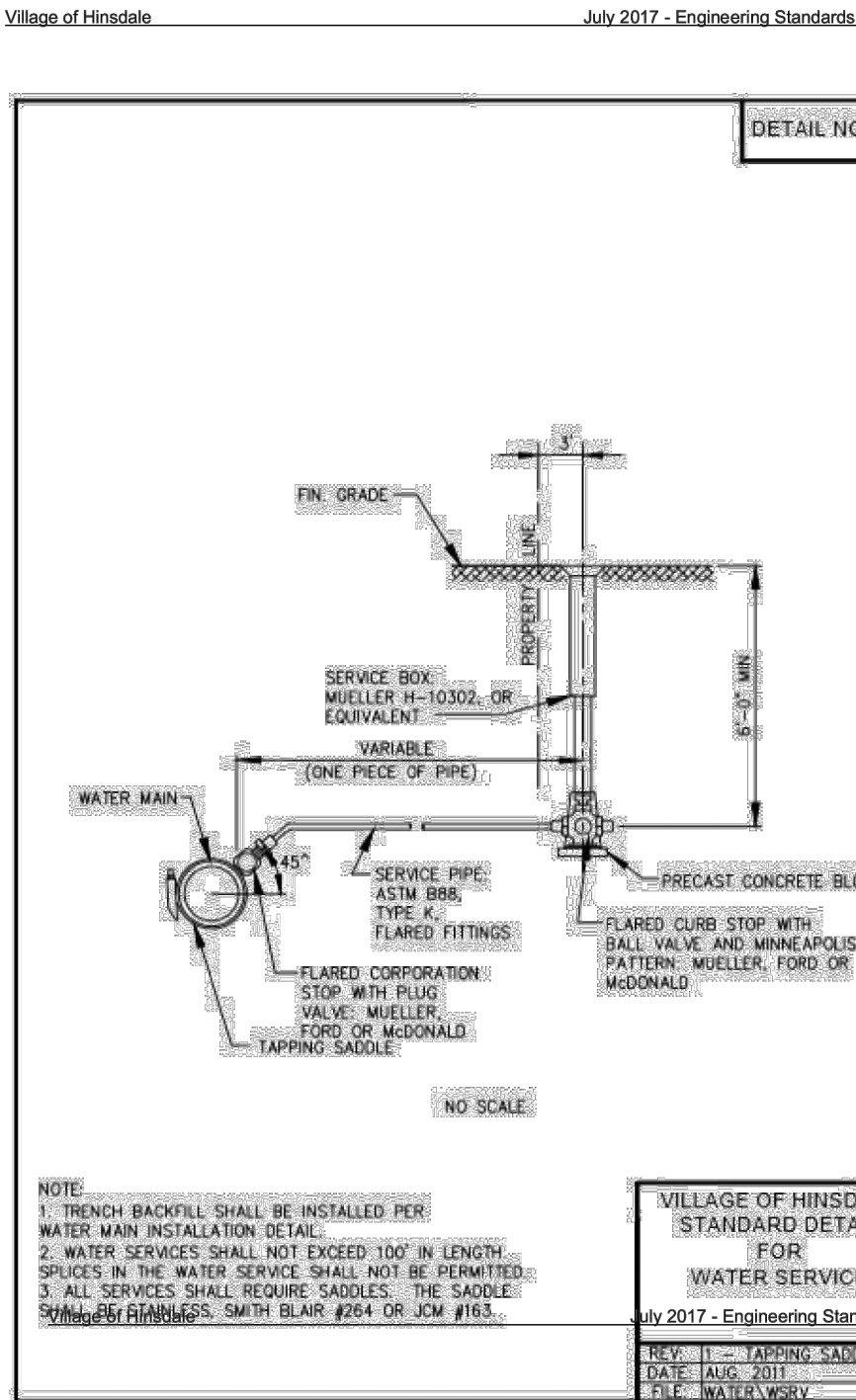


SUMP PUMP DRAINAGE
SYSTEM DETAIL
NOT TO SCALE

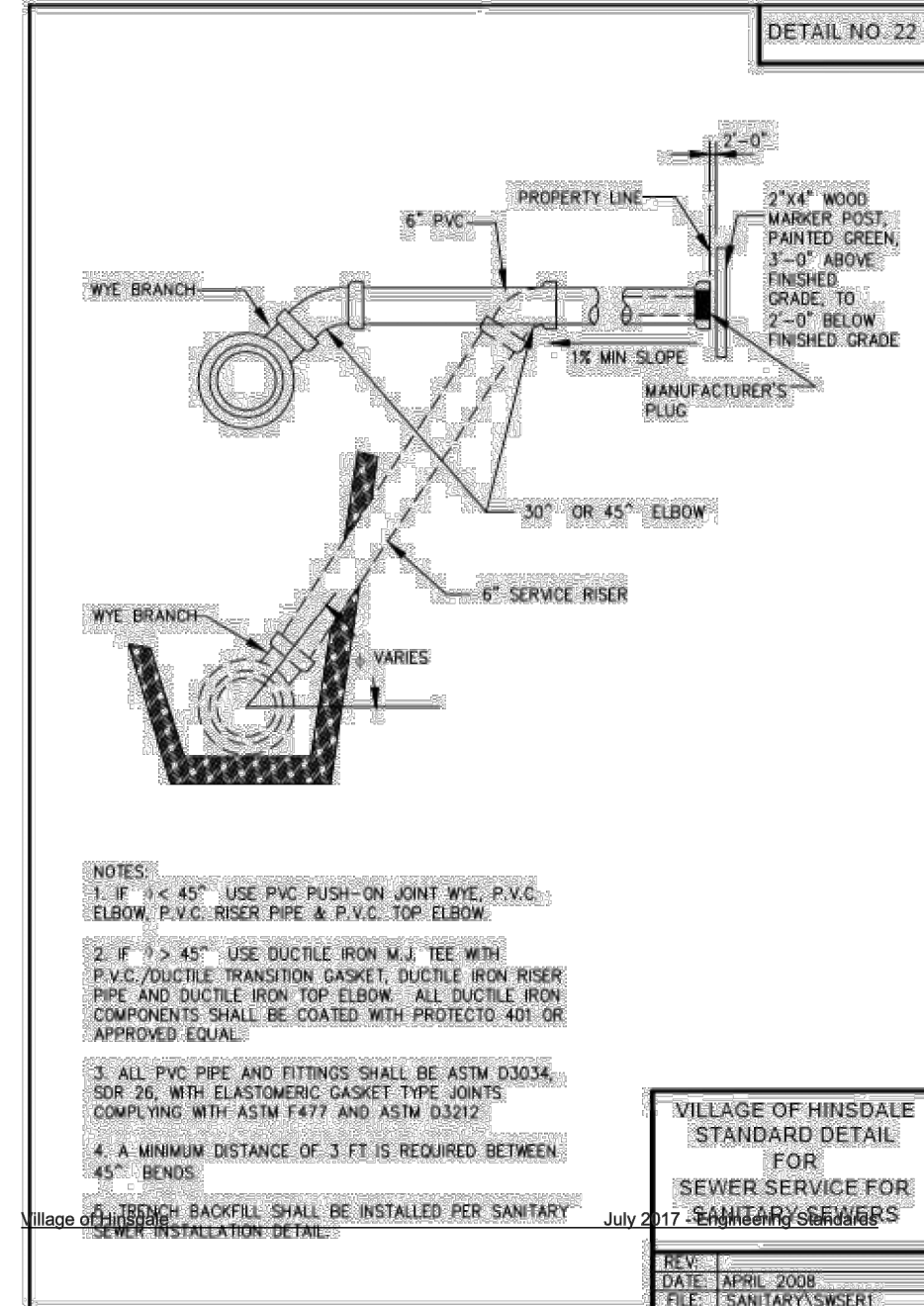


12" YARD DRAIN

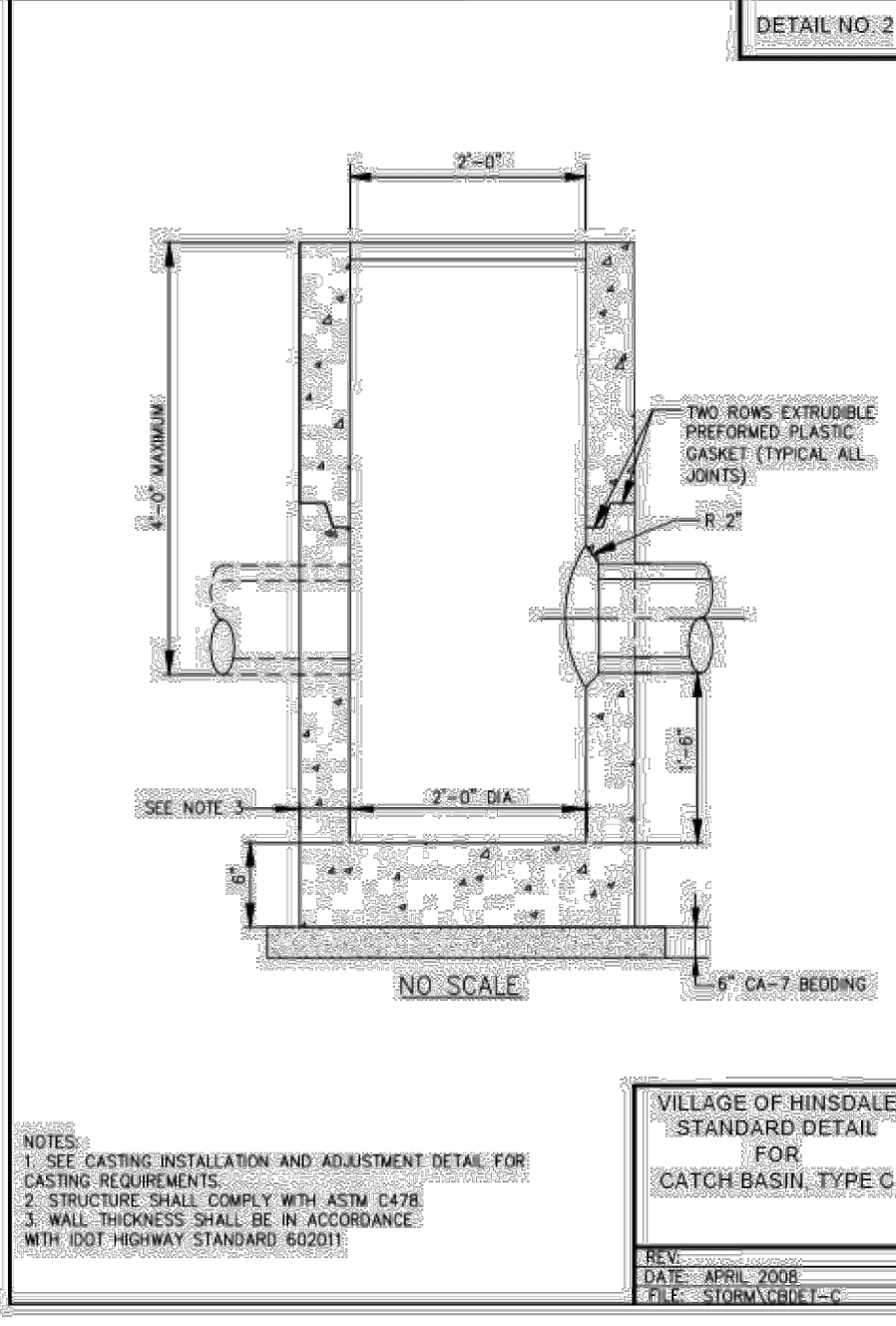
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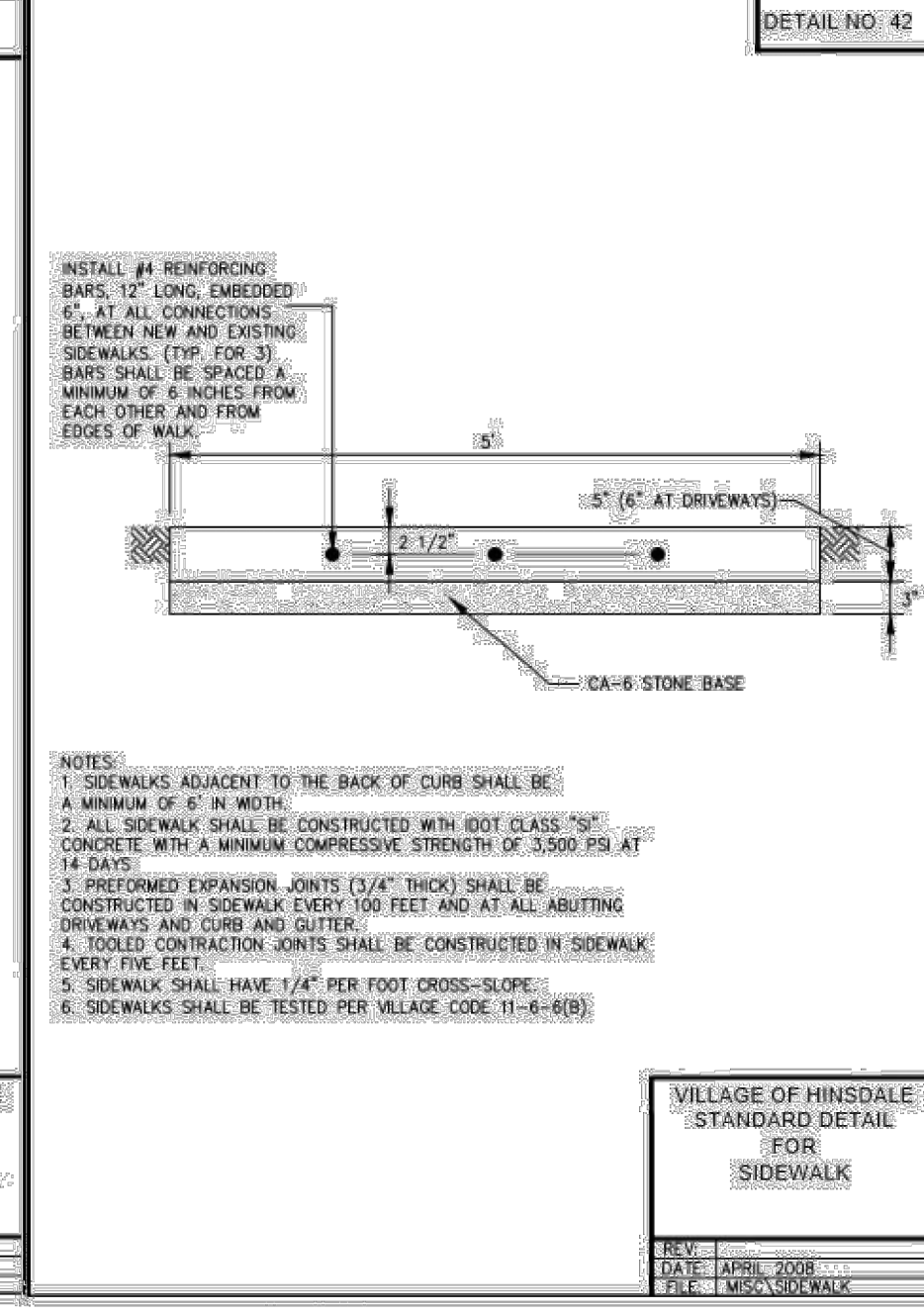
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DRAWN BY: KDK

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**PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW
AD HOC DESIGN REVIEW TEAM MEETING SUMMARY**

APPLICATION: HPC-3-2025 – Preliminary Certificate of Appropriateness Review – Demolition and New Construction in the Robbins Park Historic District

ADDRESS: 223 E. Eighth Street

MEETING DATE: February 10, 2025

MEMBERS: Alexis Braden, Trustee
Shannon Weinberger, Historic Preservation Commissioner
Richard Olsen, Historic Preservation Commissioner

ATTENDEES: Jon Springer, Property Owner
Patrick Fortelka, Architect, Moment Design
Raynette Bradford, Architect, Moment Design

MEETING SUMMARY

Alexis Braden provided an overview of the purpose of the Design Review Team meeting and the process. This group meets prior to a Historic Preservation Commission hearing in an informal setting with the homeowner and architect.

Patrick Fortelka, the project architect, provided an overview of the design of the proposed house and stated it was based on a low country architectural style.

Ms. Braden, Richard Olsen, and Shannon Weinberger discussed the need for a Historic and Architectural Impact Study. All agreed that a Historic and Architectural Impact Study was not necessary for this project.

Mr. Fortelka discussed the low country design, which he stated tied back to the strong gable architectural forms on the front of the house. He stated the house was not completely symmetrical, but there is a balance on the front of the two main gables. The center portion of the house is the family room, which was set back into the interior courtyard. A covered porch above the main entrance is located to the left of the courtyard. As currently proposed, the Springers were leaning toward of an off-white mineral painted brick finish. They also chose a dark brown brick for the base, which would not show as much dirt. The windows will be a dark clad color in steel gray. The house will have a slate roof and a metal roof over the front porch entrance.

Ms. Weinberger asked where the front door was located. Mr. Fortelka said it was under the front porch to the left and there was discussion over the exhibit.

Mr. Olsen asked what specific elements in the design define it as low country. He noted the low country style typically includes a southern wrap about porch, lower hipped roofs, and double-hung windows with shutters, which do not seem present in the proposed design. Mr. Fortelka stated that the style has morphed through the design process. There is some wood shake siding proposed in the center area, which is difficult to see in the exhibit. The wood shake would be off-white in color to match the limewashed brick.

There was a discussion over the printed exhibit provided for the meeting and what materials or colors were actually proposed. Ms. Bradford and Mr. Fortelka shows the Design Review Team an image of the latest rendering on their tablet, which slightly differed in material colors from the submitted plan set. Ms. Bradford stated the revised rendering would be provided with the formal COA submittal.

Ms. Braden stated the wood shake made the house look more traditional. Ms. Braden suggested adding a gas lantern over the family room window to soften the appearance and make it look more traditional to blend in with the historic district. Jon Springer, property owner, said they plan on doing that, but it is not shown on the rendering yet.

Ms. Braden also asked about the metal steel roof. Mr. Fortelka said it is going to be a painted steel roof. They originally looked into copper, but overtime copper can become a maintenance issue.

Ms. Weinberger said she agrees with the other team members and was also struggling with the low country description of the design, which she pictures having a full wrap-around porch. Ms. Weinberger said it helps that the house is not fully constructed of brick. She also appreciated the shed roof breaking up the fenestration on the front, but stated there still are a lot of windows proposed. Mr. Fortelka stated that it is going to be heavily landscaped and the owners were looking at having ivy grow on the flanking walls. He noted the front of the house is the south façade, so this is their only opportunity to get light into that corner of the house.

Mr. Olsen said it is an attractive home, but expressed concern about it being appropriate for the historic district. He noted there do not seem to be elements that relate to a specific historic style. He agrees that it is elegant and contemporary, but did not believe it goes with the historic district. Ms. Weinberger noted it was located next to a notable house designed by Phillip Duke West. Ms. Braden suggested going with more traditional lighting to soften the design.

Mr. Olsen stated the proposed fenestration was also a large part of the discussion. He did not see that this house has a traditional style.

Jon Springer discussed the new low country style homes that are more modern and where the inspiration for the design came from. Mr. Fortelka showed examples of the new low country style homes in the south, which was white, included shutters, and had decorative iron work. Mr. Fortelka stated they looked at a round window at one point, but it was not included in the design and they could take a second look at shutters.

Mr. Olsen asked if the arched windows were important. Mr. Springer said yes. Mr. Fortelka confirmed the windows were casement windows, but stated double-hung windows could actually work in a lot of these instances too. They can look at this option for the second-floor window above the family room, which is a hallway. Mr. Olsen also suggested they could look to break up the windows into a couple of units and add shutters.

Mr. Olsen asked the reasoning behind the parapet walls on the porch. Mr. Fortelka stated you cannot see the side view in the rendering, which has arched openings on each side. With the roof overhang, he stated said it looks tidier and it is similar to what was done on the garage as opposed to just doing a shed roof with an overhang.

Ms. Weinberger asked if the east window is one window or if there was something in between. Mr. Fortelka stated there is a wood panel that would match the dark gray cladding of the windows. It was also confirmed that the front door will be a solid plank style door and will match the panel to the left of the picture window.

Mr. Fortelka confirmed they are good on floor area ratio (FAR) and will meet code.

Mr. Olsen stated he struggled with the design and appropriateness within the streetscape of the historic district. He stated that is was critical, when you have an opportunity on a lot like this, to make it feel as appropriate to the historic district and have traditional elements. Ms. Weinberger said they had a clean slate to design something to fit in with the streetscape.

It was suggested to look at elements to create a more appropriate low country style, such as more traditional shutters, double-hung windows, or metal ornamentation. Ms. Weinberger stated they liked the example of the low country style house showed to them in the meeting and elements in the example could be used in the house design. Looking at removing the arched windows would also help. Mr. Fortelka also stated the future submittal would clarify the proposed materials and colors.

Ms. Bradford said they are looking to submit the permit at the end of the month and potentially bring the formal COA forward in May.

Ms. Braden suggested making some tweaks to the design make it feel more southern.

Ms. Weinberger asked how the rear garage will look. Mr. Fortelka said it will have a simple gable form and will not be very visible from the street.

There were no further questions. The architects confirmed they will present options to the owners to review based on the discussion at the meeting.

REVIEW PROCESS

In accordance with Section 14-5-3 of the Village Code, the review of a Preliminary Certificate of Appropriateness Application by the Ad Hoc Historic District Design Review Team is required for the demolition, removal or relocation of an existing residence within the Robbins Park Historic District, or the construction of a new residence within the Robbins Park Historic District.

The Design Review Meeting is intended to be informal, in order to facilitate productive discussion between an applicant and the Ad Hoc Historic District Design Review Team members. The applicant, property owner and design professional must be in attendance at the Design Review Meeting to ensure both receive and understand any comments provided by the Team. Any views expressed in the course of the Team's review of any preliminary application shall be deemed to be advisory and only the individual preliminary views of the Team member expressing them.

At the meeting, the Design Review Team may determine that the affected residence has sufficient architectural or historic merit to warrant conducting a full Historic and Architectural Impact Study. Such Study shall be prepared by the applicant, at the applicant's sole cost and expense, and be provided to the Village as part of a formal application with the information set forth in Section 14-5-4.B of the Village Code. Nothing said or done in the course of such review shall be deemed to create, or to prejudice, any rights of the applicant or to obligate the Historic Preservation Commission or Village Board, or any member of it, to approve or deny any formal application following full consideration thereof as required by this Title.



Community Development Department

19 E. Chicago Avenue
Hinsdale, Illinois 60521
630-789-7030
villageofhinsdale.org

At the conclusion of the Design Review Meeting, the Ad Hoc Historic District Design Review Team shall summarize its recommendations and comments on the proposed design and any other matters before it. Such recommendations and comments shall be reduced to writing and may include any proposed changes it would like an applicant to make to the conceptual design prior to submission of a formal certificate of appropriateness application. The recommendations and comments shall be provided to the applicant, along with a copy to village staff and a copy to the Historic Preservation Commission, within fifteen (15) days following the conclusion of the Design Review Meeting.



**Preliminary COA
Submittal -
Rendering**

PROPOSED SOUTH ELEVATION



32.97' SETBACK

E. 8TH ST.



47.85' SETBACK



50.2' SETBACK



66.23' SETBACK



**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: May 29, 2025

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner
Yuchen Ding, AICP, LEED AP ND, Senior Associate from Teska Associates, Inc.

RE: Case A-32-2025 – Sign Permit Review – 114 S. Washington Street – Pour Destino – Installation of One (1) Projecting Sign

FOR: June 4, 2025 Historic Preservation Commission Meeting

SUMMARY

The Village of Hinsdale received a Sign Permit application from Pour Destino requesting approval to install one (1) projecting sign on the rear of the building located at 114 S. Washington Street.

The existing one-story building consists of two businesses in a shared tenant space and is situated on the west side of Washington Street, between First Street and Second Street. Pronto Italian Sandwiches, a restaurant, occupies the front portion of the building. Pour Destino, also a restaurant, occupies the rear of the building facing the alley. The tenant space was previously leased to Calle Cantina. The property is located within the B-2 Central Business District and the Downtown Historic District.

REQUEST AND ANALYSIS

The applicant proposes to install one (1) non-illuminated projecting sign. The sign will be mounted to the brick wall on the rear elevation between the entry door and window using a 3-inch wide black metal bracket. The sign will be installed eight feet (8') above the adjacent grade and will project 18 inches from the wall. The sign structure and faces will be fabricated from powder-coated steel painted black, with the business logo printed in brown. Each side will measure 15 inches by 15 inches, with a total sign face area of 1.6 square feet per sign face.

Per Section 9-106(J), in the B-2 District, two (2) awning valance, canopy valance, wall, or permanent window signs are allowed per user, plus a projecting sign. A maximum gross surface area of all awning valance, canopy valance, wall, and permanent window signs for the entire building shall not exceed the greater of: 1) one (1) square foot per foot of building frontage, up to a maximum of one hundred (100) square feet, or 2) twenty five (25) square feet for each business that has a separate ground level principal entrance directly to the outside of the building onto a street, alley, courtyard, or parking lot.

One (1) non-illuminated projecting sign is allowed and is counted toward the maximum number of signs allowed. Projecting signs are not to exceed three (3) square feet per sign face, with each face having a horizontal dimension of twenty-four inches (24") and a vertical dimension of eighteen inches (18"), nor



MEMORANDUM

more than two (2) faces per sign. The bottom edge of the sign shall not be less than eight feet (8') in height and the top edge of the sign shall not be higher than twenty feet (20') or the bottom of any second-floor window, whichever is less. Projecting signs shall not extend a distance of more than three feet (3') from the face of the building on which they are located. Projecting signs shall be mounted on a supporting structure of a style, type and material approved by the Village and shall not be mounted on awnings, canopies, or marquees.

For the shared tenant space for both businesses, two (2) signs are allowed and the maximum sign face area is 25 square feet. The proposed wall sign for Pronto Italian Sandwiches at 16.1 square feet, plus the projecting sign for Pour Destino submitted under separate permit at 1.6 square feet, complies with the applicable sign code regulations.

PROCESS

Per Section 11-607(D), sign permit applications shall be reviewed and approved by the Plan Commission and do not require public notification. Per Village Code Section 14-5-1(B), the Historic Preservation Commission shall review signage in the Historic District. The final decision of the Historic Preservation Commission shall be advisory only.

The Plan Commission maintains final authority on signage with no further action required by the Board of Trustees. Per Section 11-607(E), no sign permit shall be granted pursuant to this section unless the applicant shall establish that:

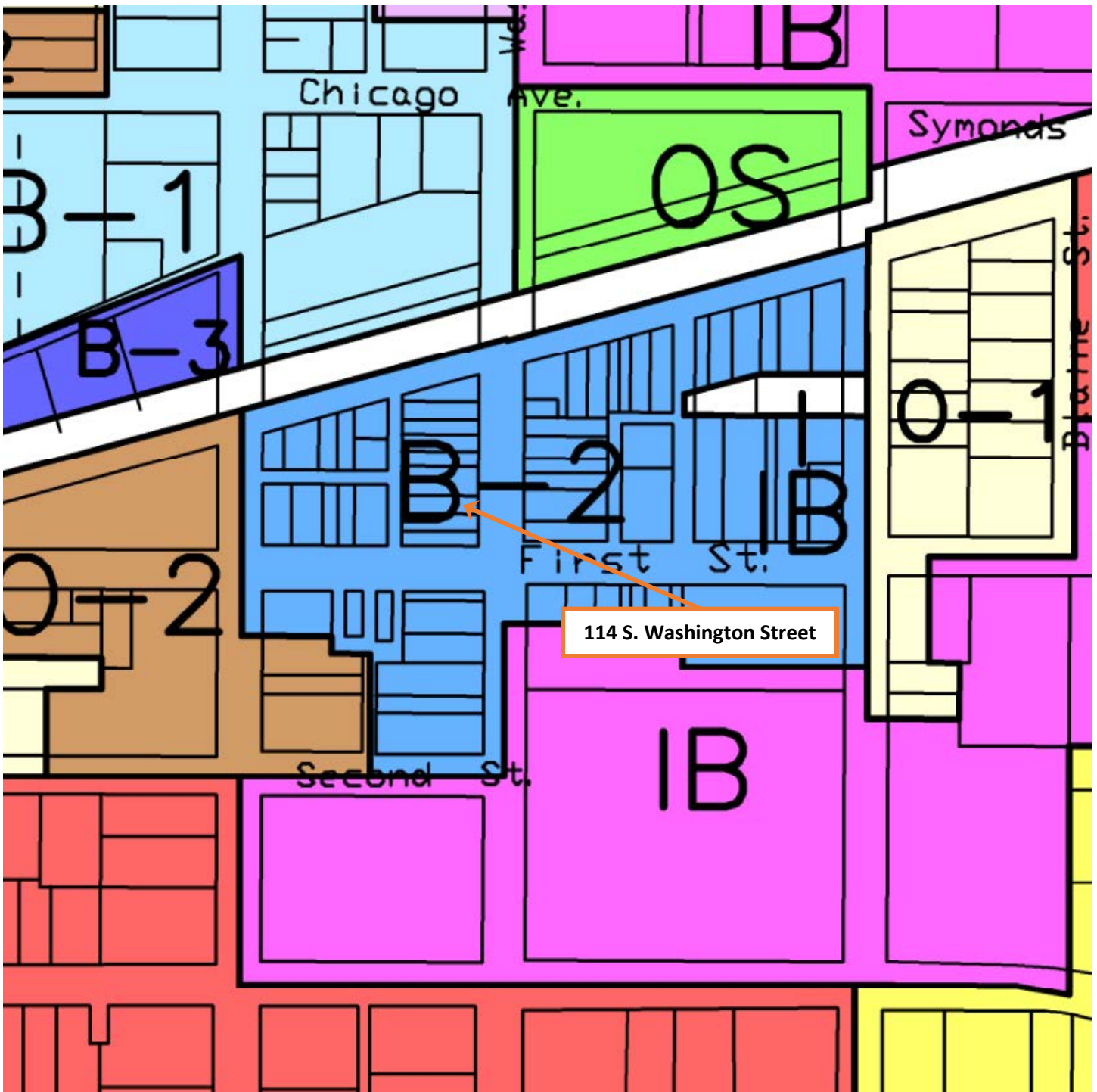
1. Visual Compatibility: The proposed sign will be visually compatible with the building on which the sign is proposed to be located and surrounding buildings and structures in terms of height, size, proportion, scale, materials, texture, colors, and shapes.
2. Quality of Design and Construction: The proposed sign will be constructed and maintained with a design and materials of high quality and good relationship with the design and character of the neighborhood.
3. Appropriateness to Activity: The proposed sign is appropriate to and necessary for the activity to which it pertains.
4. Appropriateness to Site: The proposed sign will be appropriate to its location in terms of design, landscaping, and orientation on the site, and will not create a hazard to pedestrian or vehicular traffic, detract from the value or enjoyment of neighboring properties, or unduly increase the number of signs in the area.

ATTACHMENTS

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Sign Application and Exhibits

[illegible]

Village of Hinsdale Zoning Map and Project Location



Aerial View – 114 S. Washington Street



Birds Eye View – 114 S. Washington Street



Street View – 114 S. Washington Street



Street View – 114 S. Washington Street



**VILLAGE OF HINSDALE
COMMUNITY DEVELOPMENT DEPARTMENT
APPLICATION FOR SIGN PERMIT**

Applicant

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

Contractor

Name: _____

Address: _____

City/Zip: _____

Phone/Fax: (____) _____/_____

E-Mail: _____

Contact Name: _____

ADDRESS OF SIGN LOCATION:

ZONING DISTRICT:

SIGN TYPE:

ILLUMINATION

Sign Information:

Overall Size (Square Feet): _____ (_____ x _____)

Overall Height from Grade: _____ Ft.

Proposed Colors (Maximum of Three Colors):

❶ _____

❷ _____

❸ _____

Site Information:

Lot/Street Frontage: _____

Building/Tenant Frontage: _____

Existing Sign Information:

Business Name: _____

Size of Sign: _____ Square Feet

Business Name: _____

Size of Sign: _____ Square Feet

I hereby acknowledge that I have read this application and the attached instruction sheet and state that it is correct and agree to comply with all Village of Hinsdale Ordinances.

Collin Ringelstetter-Ennis

Signature of Applicant

Date

Simernett Singh

Signature of Building Owner

Date

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

Total square footage: _____ x \$4.00 = _____ (Minimum \$75.00)

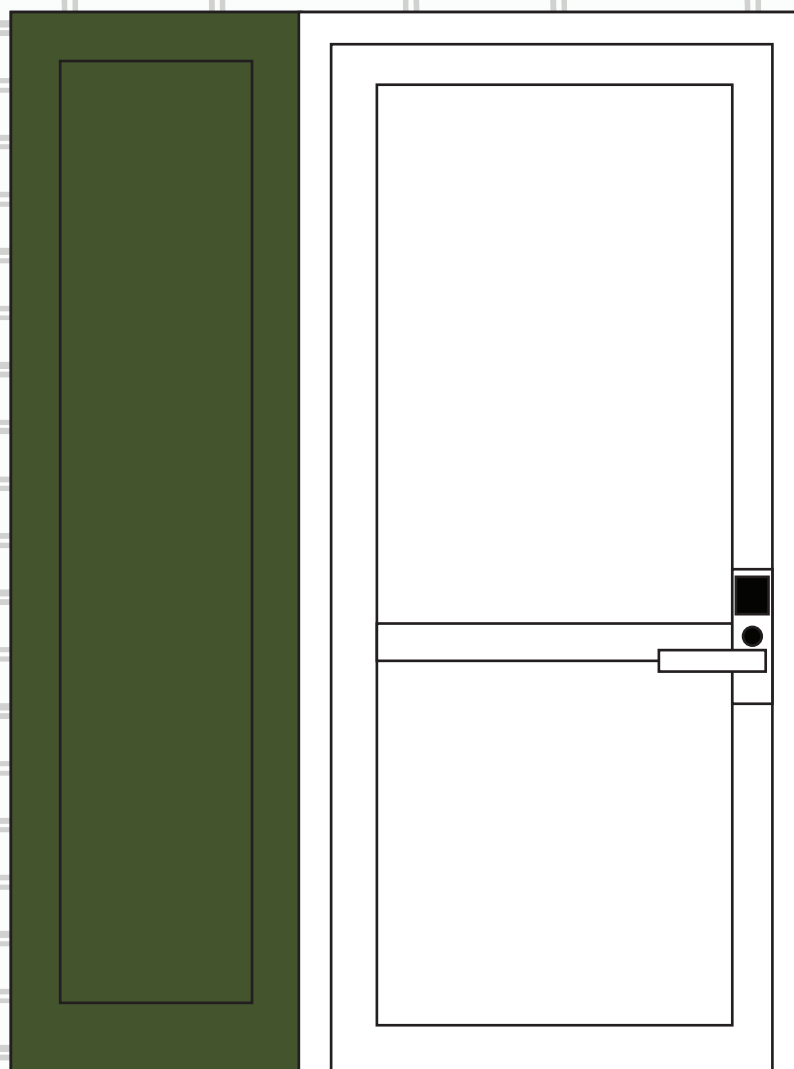
Plan Commission Approval Date: _____ Administrative Approval Date: _____



Total sign square footage:
1.97 ft²

3 1/8"
15" 7 7/8"

96"



Total sign square footage:
1.97 ft²

Materials:
Powder coated Steel

Illumination:
None

Mounting:
4x #10 2-1/2' steel
screws

Total Weight:
11.68 LBS

