



## MEETING AGENDA

**HISTORIC PRESERVATION COMMISSION  
WEDNESDAY, MARCH 5, 2025  
6:30 p.m.  
MEMORIAL HALL – MEMORIAL BUILDING  
19 East Chicago Avenue, Hinsdale, Illinois 60521  
(Tentative & Subject to Change)**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. APPROVAL OF MINUTES**

- a) February 5, 2025 Meeting

**4. PUBLIC HEARINGS**

- a) Case HPC-4-2025 – 337 E. Third Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

**5. PUBLIC COMMENT**

**6. NEW BUSINESS**

**7. OLD BUSINESS**

- a) Memorial Building Historic Plaque
- b) Sixth Street Improvement Project
- c) Sign Code Update

**8. ADJOURNMENT**

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have

questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at [www.villageofhinsdale.org](http://www.villageofhinsdale.org)

**VILLAGE OF HINSDALE  
HISTORIC PRESERVATION COMMISSION  
MINUTES OF THE MEETING  
Wednesday, February 5, 2025**

The regularly scheduled meeting of the Village of Hinsdale Historic Preservation Commission was called to order by Chairman Bohnen in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, February 5, 2025 at 6:39 p.m. Roll call was taken.

**PRESENT:** Commissioners Sarah Barclay, Shannon Weinberger, Chris Elder, Richard Olsen, Chairman John Bohnen

**ABSENT:** Commissioners Frank Gonzalez and William Haarlow

**ALSO PRESENT:** Bethany Salmon, Village Planner

**APPROVAL OF MINUTES – January 14, 2025**

Chairman Bohnen asked for comments on the January 14, 2025 Historic Preservation Commission meeting minutes. No comments were shared. Commissioner Elder made a motion, seconded by Commissioner Prisby, to approve the draft meeting minutes of the June 5, 2024 Historic Preservation Commission meeting minutes as submitted. The motion carried with roll call vote of 5-0 as follows:

**AYES:** Commissioners Barclay, Weinberger, Elder, Olsen and Chairman Bohnen

**NAYS:** None

**ABSTAIN:** None

**ABSENT:** Commissioners Gonzalez and Haarlow

**SIGN PERMIT REVIEW**

**a) Case A-4-2025 – Sign Permit Review – 8 E. Hinsdale Avenue - Coldwell Banker Realty / Dawn McKenna Group – Installation of Permanent Window Signs**

Ethan Scott, representing the applicant, was present at the meeting and provided an overview of the application. Mr. Scott stated the lease for the Dawn McKenna Group at their existing location on Washington Street is expiring, so the business is looking at possibly co-locating inside Coldwell Banker. There will be no impacts to the building as the only proposed signage is permanent window signage. The awning sign and some of the existing door signage will be removed.

Commissioners had no further comments or questions.

Commissioner Barclay made a motion, seconded by Commissioner Olsen, to approve Case A-4-2025 – Sign Permit Review – 8 E. Hinsdale Avenue - Coldwell Banker Realty / Dawn McKenna Group – Installation of Permanent Window Signs, as submitted. The motion carried with a roll call vote of 5-0 as follows:

**AYES:** Commissioners Barclay, Weinberger, Elder, Olsen and Chairman Bohnen

**NAYS:** None

**ABSTAIN:** None

**ABSENT:** Commissioners Gonzalez and Haarlow

**b) Case A-5-2025 – Sign Permit Review – 14 W. Hinsdale Avenue, Unit A1 - Sign Permit Review – Rate – Installation of One (1) Wall Sign and One (1) Projecting Sign**

A representative from the sign company was present at the meeting and provided an overview of the application. The purpose of the new signage is for rebranding. Other than for new copy, the proposed signage matches the existing signage.

Commissioners had no further comments or questions.

Commissioner Olsen made a motion, seconded by Commissioner Weinberger, to approve Case A-5-2025 – Sign Permit Review – 14 W. Hinsdale Avenue, Unit A1 - Sign Permit Review – Rate – Installation of One (1) Wall Sign and One (1) Projecting Sign, as submitted. The motion carried with a roll call vote of 5-0 as follows:

**AYES:** Commissioners Barclay, Weinberger, Elder, Olsen and Chairman Bohnen  
**NAYS:** None  
**ABSTAIN:** None  
**ABSENT:** Commissioners Gonzalez and Haarlow

**PUBLIC COMMENT**

None.

**NEW BUSINESS**

None.

**OLD BUSINESS**

**a) Memorial Building Historic Plaque**

Ms. Salmon stated she is working on revisions to the plans based on the feedback from the HPC at the last meeting and should have an update at the next meeting.

**b) Sixth Street Improvement Project**

Ms. Salmon stated there are no updates since the last meeting. The Village Manager is in consistent contact with Representative Garcia’s office regarding the status of the grant

**c) Sign Code**

Ms. Salmon reported no updates.

**ADJOURNMENT**

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to adjourn the meeting of the Village of Hinsdale Historic Preservation Commission meeting of February 5, 2025. The meeting was adjourned at 6:44 p.m. after a unanimous roll call vote.

ATTEST: \_\_\_\_\_  
Bethany Salmon, Community Development Department



**HISTORIC PRESERVATION COMMISSION  
MEMORANDUM**

**DATE:** February 28, 2025

**TO:** Chairman Bohnen and Historic Preservation Commissioners

**CC:** Kathleen A. Gargano, Village Manager  
Robb McGinnis, Director of Community Development/Building Commissioner

**FROM:** Bethany Salmon, Village Planner

**RE:** Case HPC-4-2025 – 337 E. Third Street – Application for a Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

**FOR:** March 5, 2025 Historic Preservation Commission Meeting

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**SUMMARY**

The Village of Hinsdale has received a Certificate of Appropriateness (COA) application from Karthik and Megan Chandran requesting approval to demolish an existing single-family home and to construct a new single-family home located at 337 E. Third Street in the Robbins Park Historic District. The project architect is listed as Moment Design.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission or the Village Board, where applicable, per the procedures and criteria specified in the Code, on an application for a Certificate of Appropriateness. The final decision of the Commission or Village Board shall be advisory only.

**BACKGROUND**

The existing 2.5-story single-family home at 337 E. Third Street was constructed in 1895. The building features Colonial Revival architecture and includes wood shingle siding, a projecting front central bay with a pedimented roof, a full width front porch with a projecting center, an oval attic window, grouped second floor windows with pilaster surrounds, frieze board and dentil trim, wood columns, and dormers.

The building is classified as a Contributing Structure in the Robbins Park Historic District according to the 2008 National Register of Historic Places Nomination and a Significant Structure according to the 2002 Architectural Resources in the Robbins I Survey Area.

The subject property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the north, south, east and west in the R-1 Single Family Residential District.

**PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW**

On December 2, 2024, a Preliminary Certificate of Appropriateness application was reviewed by the Ad Hoc Design Review Team. A summary of the discussion at the meeting is attached to this report. Since the Design Review Meeting, the applicant added a gas lantern above the front entrance and has consultant with architectural salvage companies.



## MEMORANDUM

### **PROJECT DESCRIPTION**

The applicant requests approval to demolish the existing single-family home and construct a new code-compliant single-family house on a 25,635 square foot lot. The existing single-family home, detached garage, pool, and pavement will be demolished. A cover letter, photos of the subject property and neighboring properties, site plan, interior floor plans, rendering of the front elevation, material specifications, building elevations, streetscape exhibit, and photos of the subject property and neighboring properties have been submitted for review.

As shown on the plans, the 2.5-story home will be primarily constructed of white limewashed brick, natural stone foundation and brick low walls, white and dark gray vertical cedar siding, dormers, dark gray windows, a covered front entry with an arched opening and natural gas light fixture, limestone coping and sills, and a slate roof. The site plan includes a driveway on the north side of the lot leading to a three-car attached garage as well as a patio and pool at the rear of the lot. The proposed plan meets all bulk zoning requirements.

### **REVIEW PROCESS**

Pursuant to Title 14, Section 14-5-1(B), no permits shall be issued for the demolition, relocation, or removal of an existing residence, or the construction of a new residence, located within the Robbins Park Historic District without a final decision by the Commission or Village Board, as applicable, on a Certificate of Appropriateness in accordance with the procedures and criteria specified in the Village Code. The final decision of the Commission or Village Board shall be advisory only. Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2.

A Preliminary Certificate of Appropriateness Review is required for applications related to the demolition, removal, relocation, or new construction in the Robbins Park Historic District in accordance with Section 14-5-3.

After the filing of a properly completed formal application for demolition, removal, relocation, or new construction in the Robbins Park Historic District, public notice shall be completed in accordance with Section 14-1-4 and the Commission shall review the application at a public hearing. The applicant, property owner and design professional must be in attendance at the public meeting to ensure both receive and understand any comments provided by the Commission. The hearing shall be commenced, conducted and concluded and a decision shall be made by the Commission as soon as practicable, but in no event later than sixty (60) days after the public hearing on the application has commenced, unless such time is extended by agreement of the applicant or the applicant, property owner and/or design professional failed to appear. Unless such time is extended, the failure by the Commission to conclude the hearing and render a decision within sixty (60) days shall be deemed approval by the Commission.

The following applies to decisions of the Commission on applications for demolition, removal, relocation, or new construction in the Robbins Park Historic District:

- **Approval:** If the application is approved without conditions, the Commission shall issue the COA permitting the Building Commissioner to proceed with other required reviews and approvals.
- **Approval With Conditions:** If the application is approved with conditions, the Commission shall notify the applicant in writing and shall specify the conditions to be imposed and the reasons for doing so with regard to the Standards in Section 14-5-2. If the applicant notifies the Commission in writing that the conditions are acceptable, the Commission shall issue the COA, subject to the conditions. If the applicant does not notify the



## MEMORANDUM

Commission within ten (10) days of the decision having been made, the approval with conditions will be considered to be a denial, subject to further consideration by the Village Board.

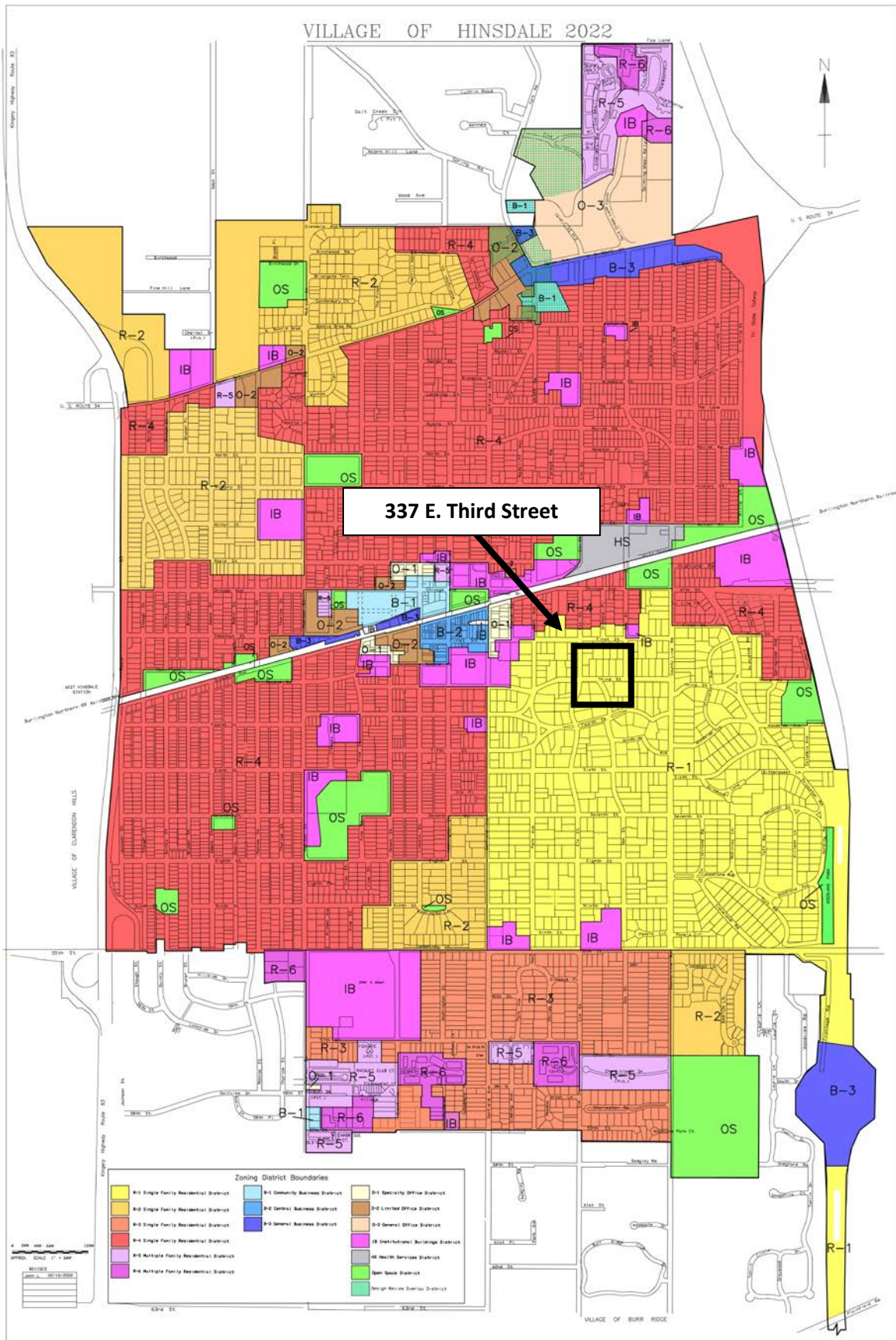
- Denial: If the Commission issues a denial of a COA, such denial shall be forwarded to the Village Board for further consideration.
- Review by the Village Board: No later than sixty (60) days following a vote by the Commission approving a COA with conditions the applicant does not accept, or denying a COA, the Village Board shall review the decision of the Commission and either deny the COA or approve the COA, with or without conditions. The applicant, property owner, and design professional must be in attendance at the meeting. Unless such time is extended by agreement of the applicant, or the applicant, property owner, and/or design professional failed to appear at a meeting, the failure by the Village Board to act within sixty (60) days, shall be deemed approval by the Board. Following the decision of the Village Board, the Village shall issue the COA, allowing the Community Development Department to proceed with other required reviews and permit approvals. The final decision of the Village Board is advisory and shall not prohibit an applicant from proceeding with the proposed course of action upon receiving all other required approvals and permits.

A COA shall be invalid if the plans are substantially changed after a final decision is made, if any conditions are not satisfied, if any building permit issued for the approved work becomes invalid, or actions authorized are not completed within three (3) years following the decision.

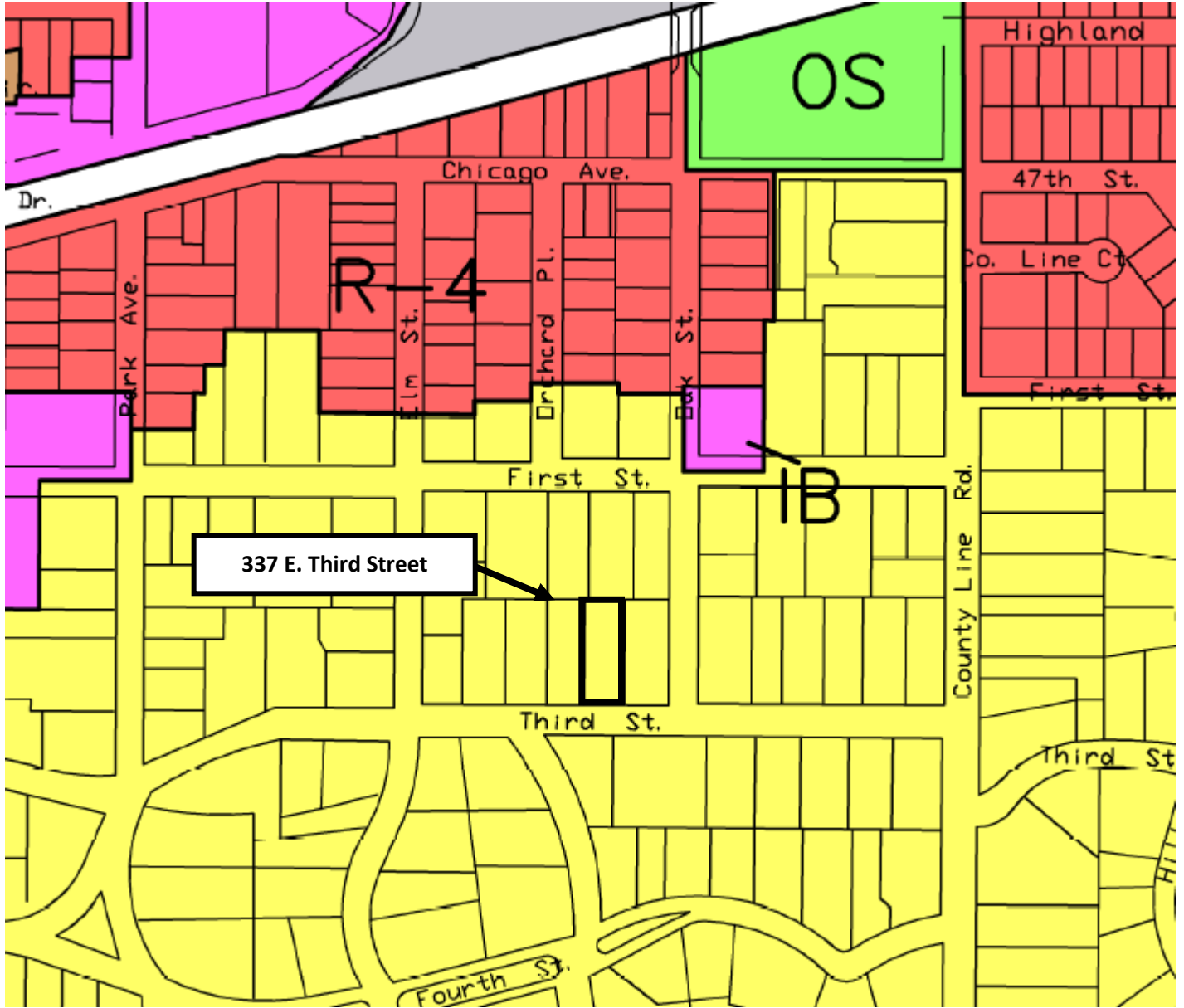
### **ATTACHMENTS**

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Street View
5. Robbins Park Historic District Map
6. National Register of Historic Places Sheet
7. Robbins Park I Architectural Resources Survey Sheet (2002)
8. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
9. Design Review Meeting Summary & Original Rendering – December 2, 2024
10. Application for a Certificate of Appropriateness and Exhibits

# Village of Hinsdale Zoning Map and Project Location



Village of Hinsdale Zoning Map and Project Location



Aerial View – 337 E. Third Street



Birds Eye View – 337 E. Third Street



East 3rd Street

South Oak Street

337 E. Third Street

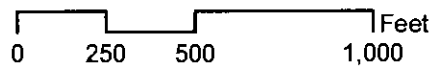
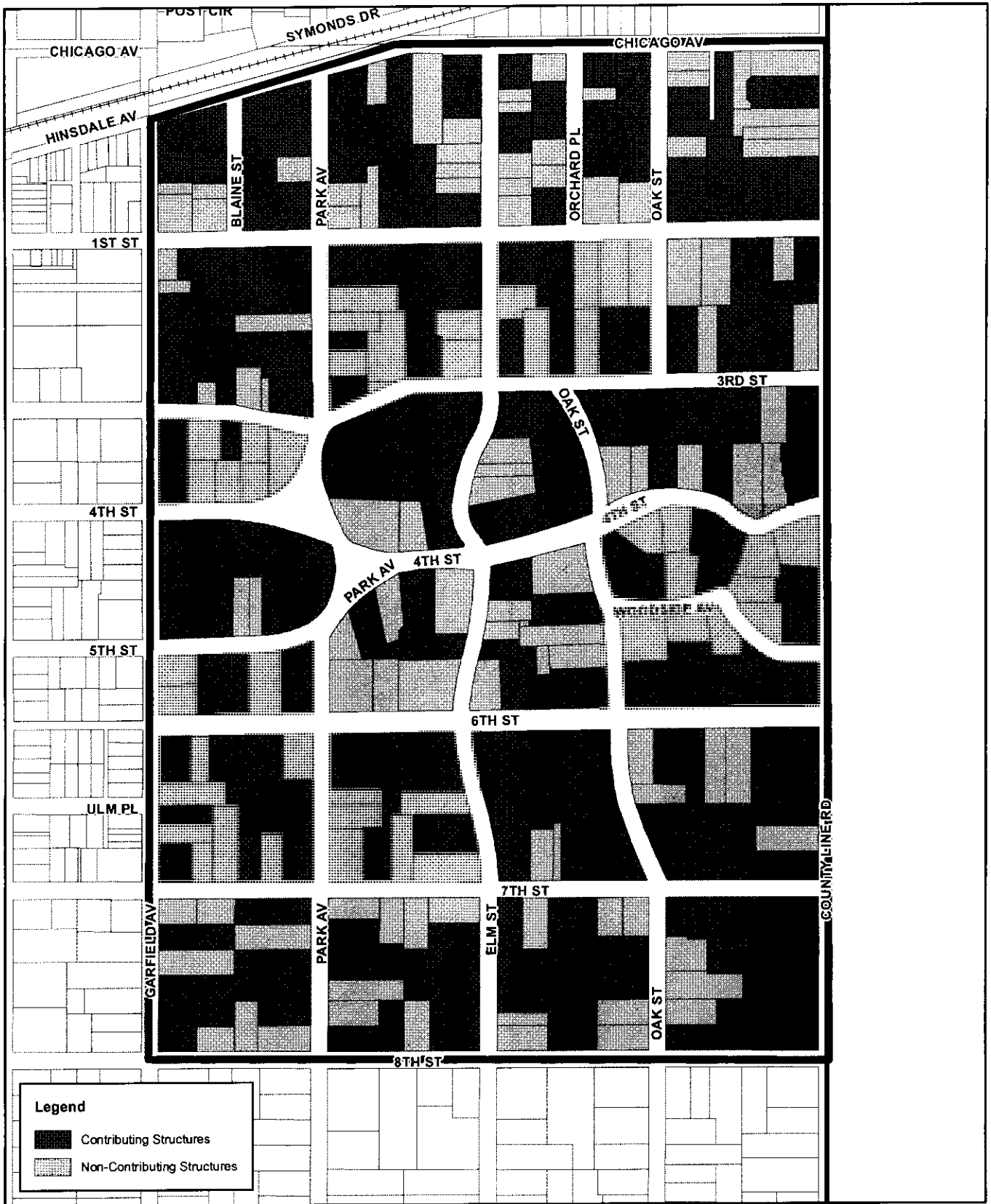


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Street View – 337 E. Third Street



# ROBBINS PARK HISTORIC DISTRICT



United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

Section number 7 Page 22

Robbins Park Historic District  
Hinsdale, DuPage County, IL

NO	STREET	ARCHCLASS	DATE	HISTORIC NAME	OR NC	SECONDARY STRUCTURES COR-NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
130	E THIRD	Neo-Traditional	2001-02		NC	-			
205	E THIRD	Ranch	1955		C	-	Smithson, Albert F. Jr.	Dressler, Paul	
219	E THIRD	Queen Anne	1890		NC	-			
222	E THIRD	Queen Anne	1892	Phillips, Thomas and Sallie House	C	C			detached garage
231	E THIRD	Prairie	1910	True, Albert Wilson House	C	NC	Roberts, Eben Ezra		detached garage
234	E THIRD	Queen Anne - Free Classic	c. 1895	Knisely, Harry C. House	C	C			detached garage
241	E THIRD	Colonial Revival	1991		NC	-	Bruce George (CVG Designs)	Dressler & Assoc., Paul	
242	E THIRD	Queen Anne - Free Classic	1892	(Fayerweather, E. E. House)	C	C	(Rae, Robert)		detached garage
306	E THIRD	Craftsman	c. 1912	Bushnell, Oliver J. House	C	C			detached garage
311	E THIRD	Neo-Traditional	1999		NC	-	Deluca & Assoc., Nicholas R.	DiCosola & Sons	
316	E THIRD	Colonial Revival	1927	Armstrong, M. W. House	C	-	Walcott, Russell S.	Braun & Loehmann	
319	E THIRD	Colonial Revival	1890	Holverschaid, Henry and Emma House	C	-			
327	E THIRD	Neo-Traditional	2005-06		NC	-			
334	E THIRD	Prairie	c. 1915		C	C			detached garage
337	E THIRD	Colonial Revival	1894-95	Dean, Robert M. and Mary House	C	C	Pond & Pond (J. K. and A. B.)		detached garage
348	E THIRD	Colonial Revival	c. 1935		C	-			
406	E THIRD	Colonial Revival	c. 1925		C	C			detached garage
407	E THIRD	Craftsman	c. 1910	Boles, Frederick T. House	C	C			detached garage
411	E THIRD	Neo-Traditional	1990		NC	-	Mifflin & Assoc., Robert	Gail, Casey	
417	E THIRD	Classical Revival	1895	Barker, Esther W. J. House	C	-	Zook, R. Harold (1938 remodel)		
420	E THIRD	Ranch	1954	Carpenter, Brian House	C	-	West, Philip Duke	Braum & Loebman	

# Village of HINSDALE

## ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #

DIRECTION

STREET

ABB

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

CRITERIA

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



### GENERAL INFORMATION

CATEGORY	<input type="text" value="building"/>	CURRENT FUNCTION	<input type="text" value="Domestic - single dwelling"/>
CONDITION	<input type="text" value="excellent"/>	HISTORIC FUNCTION	<input type="text" value="Domestic - single dwelling"/>
INTEGRITY	<input type="text" value="minor alterations"/>	REASON for SIGNIFICANCE	<input type="text" value="Fine example of early Colonial Revival style architecture in Hinsdale."/>
SECONDARY STRUCTURE	<input type="text" value="detached garage"/>		
SECONDARY STRUCTURE	<input type="text"/>		

### ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	<input type="text" value="Colonial Revival"/>	PLAN	<input type="text" value="rectangular"/>
DETAILS	<input type="text"/>	NO OF STORIES	<input type="text" value="2.5"/>
DATE of construction	<input type="text" value="1895"/>	ROOF TYPE	<input type="text" value="Side gable"/>
OTHER YEAR	<input type="text"/>	ROOF MATERIAL	<input type="text" value="Asphalt - shingle"/>
DATESOURCE	<input type="text" value="Sterling, Vol. 1"/>	FOUNDATION	<input type="text" value="Stone"/>
WALL MATERIAL (current)	<input type="text" value="Wood"/>	PORCH	<input type="text" value="Full front"/>
WALL MATERIAL 2 (current)	<input type="text"/>	WINDOW MATERIAL	<input type="text" value="wood"/>
WALL MATERIAL (original)	<input type="text" value="Wood"/>	WINDOW MATERIAL	<input type="text"/>
WALL MATERIAL 2 (original)	<input type="text"/>	WINDOW TYPE	<input type="text" value="double hung/casement"/>
		WINDOW CONFIG	<input type="text" value="1/1"/>
SIGNIFICANT FEATURES	<input type="text" value="Symmetrical façade; projecting front central bay with pedimented roof, oval attic window, grouped 2nd floor windows with pilaster surrounds; frieze board and dentil trim; full width front porch with projecting center, wood columns and dentils; dormers"/>		
ALTERATIONS	<input type="text" value="1975 permit for screened porch (at rear?)"/>		

**HISTORIC INFORMATION**

HISTORIC NAME	Dean, Robert M. and Mary House
COMMON NAME	
PERMIT NO	9328
COST	
ARCHITECT	
ARCHITECT2	
BUILDER	
ARCHITECT SOURCE	



HISTORIC INFO	The Robert Dean family lived in this house until 1909 when it was sold to Elsie and Charles R. Howe, a stock and bond trader.
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LANDSCAPE	Midblock on residential street; house on raised lot; front sidewalks; side driveway; mature trees; house faces south; concrete steps at curb; similar setbacks
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**PHOTO INFORMATION**

ROLL1	1
FRAMES1	4-5
ROLL2	
FRAMES2	
ROLL3	
FRAMES3	
DIGITAL PHOTO ID	

**SURVEY INFORMATION**

PREPARER	Jennifer Kenny
PREPARER ORGANIZATION	Historic Certification Consultants
SURVEYDATE	8/27/02
SURVEYAREA	Robbins

## ROBBINS PARK HISTORIC DISTRICT

Address	Date of Construction	Architectural style/type	Rating	Historic rating	Historic name	Common name	Landmark list	Architect
337 E Third ST	1895	Colonial Revival	S	HS	Dean House		IHSS; HHS/plaque; Arch Walks	
348 E Third ST	c. 1925	Classical Revival	S					
406 E Third ST	c. 1925	Colonial Revival	S					
407 E Third ST	c. 1915	Craftsman	S					
411 E Third ST	1990s		NC					
417 E Third ST	1882 or 1895	Classical Revival	S	HS	Williams, H. House		IHSS; IHLS; HHS	Zook, R. Harold (1937 remodeling)
420 E Third ST	1950s		NC					
425 E Third ST	1893	Colonial Revival	S	HS	Raymond House		IHSS; HHS; Arch Walks; HTB	
430 E Third ST	1936	Tudor Revival	S	HS	Lapham, Robert P.		IHSS; Zook list; Arch Gems	Zook, R. Harold
433 E Third ST	c. 1910	Craftsman	S	HS			IHSS	
434 E Third ST	1928/1998	Tudor Revival	NC					Zook, R. Harold
441 E Third ST	c. 1910	Prairie	S	HS			IHSS	
511 E Third ST	1970s		NC					
522 E Third ST	1960s		NC					
525 E Third ST	c. 1925	Colonial Revival	C					
929 E Third ST	c. 1935	Mediterranean Revival	S					
539 E Third ST	1970s		NC					
605 E Third ST	c. 1935	Tudor Revival	S					
711 S Washington ST	c. 1915	Dutch Colonial Revival	C					
727 S Washington ST	1990s		NC					

STREETNO	DIRECTION	STREET	ABB	ARCH. STYLE	DATE	LOCAL RATING	HISTORIC NAME	ARCHITECT	BUILDER
							and Emma House		
327	E	THIRD	ST	Colonial Revival	c. 1895	C			
334	E	THIRD	ST	Prairie School	c. 1915	S			
337	E	THIRD	ST	Colonial Revival	1895	S	Dean, Robert M. and Mary House		
348	E	THIRD	ST	Classical Revival	c. 1925	S			
406	E	THIRD	ST	Colonial Revival	c. 1925	C			
407	E	THIRD	ST	Craftsman	c. 1910	S	Boles, Frederic T. House		
411	E	THIRD	ST	Neo-Traditional	1990	NC		Mifflin & Assoc., Robert	Gail, Casey
417	E	THIRD	ST	Classical Revival	1895	S	Barker, Esther W. J. House	Zook, R. Harold (1938 remodel)	
420	E	THIRD	ST	Ranch	1954	NC	Carpenter, Brian House	West, Philip	Braum & Loebman
425	E	THIRD	ST	Colonial Revival	1893	S	Raymond, Charles E. and Carrie House		Froscher, Adolph
430	E	THIRD	ST	Tudor Revival	1936	S	Lapham, Robert P. House	Zook, R. Harold	
433	E	THIRD	ST	Craftsman	c. 1910	S			
434	E	THIRD	ST	Tudor Revival	1927	NC	Whiteside, N. H. House	Zook, R. Harold & McCoughey	Soltwich, William
441	E	THIRD	ST	Prairie School	c. 1910	S		Barfield, William Gibson	

## PRESERVATION ACTIVITIES IN HINSDALE

The Village Board of Hinsdale adopted a preservation ordinance in April of 2000. Prior to the adoption of this ordinance, Hinsdale had no direct municipal involvement in historic preservation. There have been, however, two private organizations that actively and independently promoted the appreciation of Hinsdale's architectural and historic resources in the absence of municipal preservation activity. They have continued to do so since the adoption of the local ordinance. The Hinsdale Historical Society, founded in 1975, is a local membership organization that maintains a museum, archives, and research library at 15 S. Clay Street. The Hinsdale Heritage and Architectural Society is also a membership organization dedicated to researching the architectural and cultural resources of Hinsdale and educating the community about these resources. Each organization sponsors walking tours and other historical and architectural programs.

The community as a whole has been well represented in previous surveys by others, including the Illinois Historic Sites Survey and Illinois Historic Landmarks Survey which, noted 148 buildings of architectural merit, and the DuPage County Cultural and Historical Inventory, which noted 11 buildings. There are four structures in Hinsdale that have been listed on the National Register of Historic Places, of which one is located in the Robbins survey area.

The Illinois Historic Sites Survey and Illinois Historic Landmarks Survey are inventories of architecturally and historically significant structures across the State of Illinois that were

undertaken in the early 1970s. There are 36 structures in the Robbins survey area that are listed in the Illinois Historic Sites Survey. These structures were considered "of special interest because of their aesthetic and/or technological characteristics." They are:

27 Blaine	137 S. Garfield
222 E. Chicago	305 S. Garfield
12 S. County Line	321 S. Garfield
46 S. County Line	441 E. Highland
306 S. County Line	35 S. Oak
330 S. County Line	136 S. Oak
120 S. Elm	134 S. Park
324 S. Elm	317 S. Park
332 S. Elm	231 E. Third
120 E. First	234 E. Third
130 E. First	242 E. Third
142 E. First	306 E. Third
212 E. First	337 E. Third
230 E. First	417 E. Third
306 E. First	425 E. Third
316 E. First	430 E. Third
425 E. First	433 E. Third
323 E. Fourth	441 E. Third

The DuPage County Cultural and Historical Inventory was a countywide survey that was undertaken in 1993 (with a 1996 addendum) by the DuPage County Regional Planning Commission. One property in the Robbins survey area is listed in this survey. This is also the only structure in the survey area listed on the National Register of Historic Places. It is:

- William Whitney House/Hallmark Home, 142 E. First Street

is frequently called Richardsonian Romanesque. The first of his buildings in this style was the 1880 rectory for Trinity Church in Boston. The style was expensive for houses, but became popular for large public buildings during the 1880s and continued to be used through about 1900.



**Figure 15: Grant House, 306 E. First Street**

Although there is only one building in the survey area in this style, it is one of Hinsdale's most architecturally significant structures. The Elizabeth Grant house at 306 E. First Street, built in 1890, combines Romanesque arches and rusticated stone elements with Queen Anne-style detailing. Limestone arches sit atop squat columns at both the recessed corner front entry and the impressive porte cochere. Each has a stone balustrade. There is also a stepped stone parapet on the west side gable and stone stringcourses accent the predominately red brick facades. Queen Anne detailing is apparent in the multi-light front window with a leaded transom and the paired front doors with transom. This house may be eligible for individual listing on the National Register of Historic Places under Criterion C, architecture.

## COLONIAL REVIVAL



**Figure 16: Root House, 134 S. Park Avenue**

The Colonial Revival style dates from the 1876 Centennial Exhibition in Philadelphia until the mid-1950s and became the most popular historical revival style throughout the country between World Wars I and II. Many people chose Colonial Revival architecture because of its basic simplicity and its patriotic associations with early American 18<sup>th</sup> century homes. Whether derived from stately red brick Georgian examples or more modest clapboard structures, most of these buildings are symmetrical and rectangular in plan; some have wings attached to the side. Detailing is derived from classical sources, partly due to the influence of classicism that dominated the 1893 World's Columbian Exposition. Many front facades have classical – temple-like – entrances with projecting porticos topped by a pediment. Paneled doors flanked by sidelights and topped by rectangular transoms or fanlights are common, as are multi-pane double-hung windows with shutters.

There are 32 Colonial Revival structures in the survey area, of which 31 are residential. Because of its enduring popularity, the Colonial Revival style has the greatest span in construction dates of any other style. The earliest Colonial Revival house in the survey area dates from 1894, while the most recent is from 1991. Twenty-eight of the structures are

historic (built in 1950 or before). The following nine houses and one church are ranked locally significant: the Charles E. and Carrie Raymond House at 425 E. Third Street built in 1893, the George H. and Carrie R. Mitchell House at 244 E. First Street designed by Shepley Rutan & Coolidge and built in 1893, the Robert M. and Mary Dean House at 337 E. Third Street built in 1895, the Frank Osgood Butler House at 230 E. First Street designed by George William Ashby and built in 1898, the Charles G. Root House at 134 S. Park Avenue built c. 1904, the Howard George Hetzler House at 26 S. Park Avenue built c. 1905, 14 S. Oak Street built c. 1910, 341 S. Elm Street built c. 1915, and 419 E. First Street built in c. 1920. Of these, the Raymond House, the Dean House, the Butler House, and the Root House are also included in the Illinois Historic Sites Survey. The only non-residential building in the survey area in the Colonial Revival style is the First Church of Christ, Scientist at 405 E. First Street designed by Spencer Solon Beman and built in 1950.

The Charles G. Root House at 134 S. Park Avenue is a fine example of the Colonial Revival style in Hinsdale with notable detailing. It has wide tongue-and-groove siding on the first floor and narrow raked siding at the second. Unlike many examples of the Colonial Revival style, this house is asymmetrical in its form, with a corner tower and conical roof on one side, balanced by a curved sun porch on the opposite side with flat roof, fluted Tuscan columns, and wood balustrade above. Characteristic Colonial features include the front entry porch with segmental arched pediment, and the nine-over-one and six-over-one multi-light windows throughout. The hipped roof with hipped roof dormers is also a Colonial feature.



**Figure 17: Hetzler House, 26 S. Park Avenue**

The Howard George Hetzler House at 26 S. Park Avenue is an impressive example of an early subtype of the Colonial Revival style. This subtype has a mixture of elements characteristic of other styles being built at the turn of the 20<sup>th</sup> century. It is rectangular and symmetrical in its massing, with a low-pitched hipped roof punctuated by a hipped roof dormer. Both the principal roof and the roof of the full-width front porch have broad eaves as was common in the Prairie School and its popular derivation, the American Foursquare. Colonial features are evident, however, in the Palladian window on the second floor over the front entry, and the front entry itself with transom and sidelights. The porch has paired, fluted columns and a brick porch rail. Mr. Hetzler was a railway executive with the Chicago, Burlington, and Quincy Railroad.

The Church of Christ, Scientist, at 405 E. First Street, was designed by Spencer Solon Beman, son of famous Chicago architect Solon Spencer Beman. The younger Beman was known largely for his Christian Scientist designs, and this church is typical of his work.

Although low and long like many of the residential ranch types of the 1950s, the front façade is dominated by a classical-style portico topped with a stacked steeple with pedimented vents and spire. The front door

## 337 E. Third



The beautiful polychromatic blue Victorian at 337 E. Third Street, now owned by Tom and Kathy Nelson, was built in 1895 for Robert M. Dean. This was the year H.G. Wells wrote "The Time Machine" and Stephen Crane published "The Red Badge of Courage."

The researcher for the Historic Sites Committee of the Hinsdale Historical Society, Oliver Hallett, noted that the Dean brothers, Harvey (or Harry) and Robert, together owned two lots. The government, in its great wisdom preferred to allocate one person per lot and divided them accordingly between the brothers. The brothers didn't like the division and mutually exchanged their lots in 1895.

We know from the 1900 census that the Dean brothers lived on Third Street, next to each other. Robert, 55, a seed salesman from Ohio lived with his wife, Mary, 53, and they had four children: Robert S., 25, an attorney; Grace, 22; Earl, 20; and Edwin, 18. Robert's brother, Harry, 48, was an insurance agent with a wife and three children.

The Robert Dean family lived in this grand house until 1909, selling to Elsie and Charles R. Howe. It's curious to note that the Robert Dean family has no listing in the 1912 Hinsdale Directory. Could it be that they all moved out of town together?

Howe is listed in the 1912 directory as dealing in stocks and bonds for the Lobell & Company in the Rookery Building in Chicago. He and his wife, Emma, were living in this house with their children, Margaret, Catherine and Charles, plus three servants.

Daniel and his wife, J. Roe "Jimmie," Orange bought this house in 1920. They lived there with their children, Gladys, Helen and Charles. When Jimmie died in 1920, Daniel continued to live here with the children. After his death in 1940 following a short illness, his daughter, Helen, took over. Daniel had been born in 1861 in Grayville and moved to La Grange before coming to Hinsdale. He had been active for 50 years as president of the Consolidated Portrait and Frame Company of Chicago. We see by the 1934 directory that both daughters followed him into the company — Gladys was by then treasurer and Helen was secretary.

Helen Orange sold the house in 1945 to Donald McDougal. We see in the 1938 directory that he was an employee of The Northern Trust Company in Chicago and was living at 13 E. Sixth Street with his wife Marjorie before moving to this Third Street address.

In 1955 Thomas H. Menaugh bought the house, followed in 1966 by Scott K. Shelton and in 1974 by Robert and Ruth Brown. In 1984 the current proud owners, Tom and Kathy Nelson, bought the house.

The Nelsons have been hard at work stripping and refinishing the original woodwork and molding on the first floor. They've also had all the original hardwood floors refinished.

The house boasts plenty of architectural features younger homes just dream about—three working fireplaces, including a coal burning one with iron front on the second floor, pretty plaster molding with picture molding in the living room, dining room and library, original built-in bookcases in the library and, to top it all off, three sets of pocket doors in the library, dining and living rooms and entry hall. Sadly, the local bee population discovered the door the iceman used to deliver ice into their pantry, and it had to be removed.

Seeking more space, the ballroom on the third floor has been converted to bedrooms.

Mrs. Nelson was happy to hear from a senior resident of the village whose father, Adolph Froscher, was thought to have built this house. Unfortunately, the plans have long since been disposed of, but she did delight Mrs. Nelson with stories of what the children did for entertainment in her days.

It was very kind of that lady to share her experiences with the Nelsons. They would really appreciate learning how their house looked before the remodeling in the '50s and '60s. If you've been a guest or knew the former owners, please take the time to contact them with your information. Apparently the house plans have yet to be discovered, and the Nelsons would love to get a peek at them if they ever surface.

This house won the Hinsdale Historical Society's 1997 Historic Preservation Award in the residence category.

HARVEY S. DEAN, 327 E. Third. The Harvey Deans arrived in Hinsdale in the middle 80's. Mr. Dean was in the insurance business in Chicago, on the School Board in Hinsdale, and an active member of the Congregational Church. The children: Olive, Louella (Mrs. E. D. Holmes) and Hazen S. Dean.

ROBERT H. DEAN, 337 E. Third, brother of Mr. Harvey S. Dean, moved to the village in the same year. He was on the Board of Trade in Chicago. The Robert Dean children are Earl, Robert, Grace (Mrs. F. C. Bebb) and Edward.

GEORGE P. DERRICKSON took an active interest in the schools of Hinsdale. He lived in, and probably built, the house on the N. E. corner of Hickory and Washington, where the C. A. Allens lived later.

E. H. DITZLER. Came to Hinsdale in 1889. He had served in the Civil War. Mr. Ditzler joined Mr. T. H. Linsley in purchasing the Fox Brothers' store. The firm of Ditzler and Linsley remained active until the business was bought by R. M. Clubb, in 1909.

MICHAEL A. DONOHUE, owner of a printing and publishing concern in Chicago, lived in the first house north of Chicago Ave. on the west side of Lincoln. Mr. Donohue was Village President for three years, starting in 1875. His publishing company is still in business.

WILLIAM DUNCAN, 424 S. Washington. He served as a Village Trustee for seven years, and was a pioneer amateur photographer.

JOHN EARLE. N. E. corner of Walnut and Elm. The original Earle home has since been divided into two houses. The Earles came from England. They had several children.

W. P. EDWARDS. 315 S. Washington. A court reporter. Father of Bert Edwards, Mable and Will. Will married Helen McCurdy.

ANDREAS ELMERS was a contractor. He built his house at 115 E. Fourth street, and a number of others in town.

WILLIAM EVERNDEN. 212 S. Washington street. According to one source, "the last of the deer hunts was still in the future when Bill Evernden decided to settle here" after working for a while for the County's Road Surveyor. He operated one of the first drug stores and became a friend and counselor of many a village youth.

FARREL, JAMES, is remembered as the occupant of the little frame house at 914 York, and possibly he built it. It is antedated by few buildings of the Brush Hill era.

CHARLES FOX, S. W. corner of Ogden and Lincoln. With his brother Heman he operated a widely patronized grocery in Fullersburg, and later in Hinsdale.

HEMAN FOX, N. W. corner of Washington and Walnut. Formerly he occupied his father's house at the southeast corner of Ogden and Lincoln, which was later used by the Fresh Air Association.

**CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA**  
**VILLAGE CODE TITLE 14, SECTION 14-5-2**

**14-5-2: CRITERIA:**

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

- C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.



Community Development Department  
19 E. Chicago Avenue  
Hinsdale, Illinois 60521  
630-789-7030  
villageofhinsdale.org

**PRELIMINARY CERTIFICATE OF APPROPRIATENESS REVIEW  
AD HOC DESIGN REVIEW TEAM MEETING SUMMARY**

- APPLICATION:** HPC-21-2024 – Preliminary Certificate of Appropriateness Review – Demolition and New Construction in the Robbins Park Historic District
- ADDRESS:** 337 E. Third Street
- MEETING DATE:** December 2, 2024
- MEMBERS:** Alexis Braden, Trustee  
Shannon Weinberger, Historic Preservation Commissioner  
Richard Olsen, Historic Preservation Commissioner
- ATTENDEES:** Karthik Chandran, Property Owner  
Megan Chandran, Property Owner  
Patrick Fortelka, Architect, Moment Design  
Raynette Bradford, Architect, Moment Design  
Bruce Ritter, Builder, Tiburon  
Linda Ritter, Builder, Tiburon  
Bethany Salmon, Village Planner

**MEETING SUMMARY**

Alexis Braden provided an overview of the purpose of the Design Review Team meeting and the process. This group meets prior to a Historic Preservation Commission hearing in an informal setting with the homeowner and architect.

Ms. Salmon stated this is one of the first homes that we have seen go through the new COA process for demolition that was rated Significant per past surveys and provided a brief overview of the house. She noted that several people toured the house prior to the meeting and that they can discuss the condition of the house as well.

Alexis Braden, Richard Olsen, and Shannon Weinberger discussed the need for a Historic and Architectural Impact Study. Ms. Weinberger stated that the property has good bones but it is in poor condition. Mr. Olsen agreed and noted it is a shame that it has not been maintained because there is some nice architectural features on the house, such as the oak flooring and dentil molding on the exterior. Team Members noted that the current market conditions was a challenge to saving the house due to the poor condition. They agreed that the property does not require the completion of a Historic and Architectural Impact Study.

Team members recommended that the owners look into hiring a company that will help salvage architectural features in the house. Linda Ritter stated they have worked on other projects where they have salvaged building materials. The owners agreed they were committed to looking into architectural salvage companies.

Patrick Fortelka provided details on the site plan and design. Mr. Fortelka stated there were challenges with blending the design with other homes on the block. They designed with house with elements of the European inspired homes and Tudor style home on the street. The proposed house has a lime-washed brick exterior, which



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they thought played off nicely with the existing house being a bright white right now and other homes on the block. The plans include a three-car attached garage. The house will be constructed with a slate roof and dark clad windows.

Mr. Olsen stated a lot of homes have been demolished on this street and it is a challenge to what to react to in order to help design the house. He stated the house is good looking, but he was not sure it fit into the character of the historic district.

Ms. Braden agreed that this block is challenging. She stated it did not feel like the house had a specific, clear-cut architectural style to fit in with the streetscape. Ms. Braden asked if there are ways to tweak the front façade to create a clearer style.

Ms. Weinberger stated she appreciated the design included gable peaks, which are on the existing home and on the two homes on each side. She stated the house looks a little more old-world because of the arched entrance doorway and likes that it actually hides the window fenestration behind it. She also appreciated the wing wall detail near the attached garage.

Ms. Weinberger pointed out the grading of the site and asked how the house is going to be setback or fit up on the hill. Mr. Fortelka stated he believed he would sit similarly. Ms. Ritter noted that the driveway will be placed in the same location as the existing driveway and the existing curb cut would be used. Team members noted they appreciated the garage be setback.

Ms. Weinberger stated based on the elevation, she did not know how the proposed house would fit. There was a discussion that the front setback will be about the same as the existing house and the grade change on site.

Ms. Weinberger stated there is a very large tree on the south side of the lot and asked if it was being preserved. Raynette Bradford noted that the dashed trees on the site plan would be removed. Five (5) trees will be removed, including the tree on the south lot line.

Mr. Olsen spoke about the attached three-car garage design. He asked if they had calculated floor area ratio and how close they were to code requirements. Mr. Fortelka stated they are close to the limit or under. They are not using any of the deductions for the third floors.

Ms. Braden asked if they were putting a gas lantern on the front of the house. Ms. Ritter stated they are looking into a gas fixture. Ms. Braden expressed support for using a gas lantern on this house.

Mr. Olsen asked about the parapet walls on the gable ends and what was the thought behind that design. He stated while it is good looking, he did not necessarily know if the design is historic. Mr. Fortelka stated that was a good point, that design feature is not seen on a lot on old Hinsdale houses, but he thought it was appropriate for the architectural style. Mr. Fortelka stated it is a nice touch to the appearance. Ms. Bradford stated it gives it a more stately feel.

Mr. Olsen asked about the thought behind the different types of dormer rooflines and sizes. Mr. Fortelka stated this was to give some balance and symmetry on the front of the house. He believed the flat roof dormer aligned nicely with the arched opening below.



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For the gable dormers, he believed they reinforced that idea of the center point of the house. He stated if they were all flat, it would have lost that strong centerline of the house. He pointed to the three dormers that are not centered either, but they are centered on their roof area.

Mr. Fortelka confirmed the windows would be casement windows. They will not be black, but will be a steel gray color. He also confirmed the sills would be Cambridge limestone.

Ms. Weinberger stated ideally this house would not be demolished.

There was a discussion over the COA process. The applicant will proceed through the permit review process and formal COA application process. The owners were asked to look into hiring an architectural salvage company. They may also explore design changes to the house so that it may fit better into the character of the historic district. Any changes to the design would be presented to the HPC to review with the formal COA application.

**REVIEW PROCESS**

In accordance with Section 14-5-3 of the Village Code, the review of a Preliminary Certificate of Appropriateness Application by the Ad Hoc Historic District Design Review Team is required for the demolition, removal or relocation of an existing residence within the Robbins Park Historic District, or the construction of a new residence within the Robbins Park Historic District.

The Design Review Meeting is intended to be informal, in order to facilitate productive discussion between an applicant and the Ad Hoc Historic District Design Review Team members. The applicant, property owner and design professional must be in attendance at the Design Review Meeting to ensure both receive and understand any comments provided by the Team. Any views expressed in the course of the Team's review of any preliminary application shall be deemed to be advisory and only the individual preliminary views of the Team member expressing them. At the meeting, the Design Review Team may determine that the affected residence has sufficient architectural or historic merit to warrant conducting a full Historic and Architectural Impact Study. Such Study shall be prepared by the applicant, at the applicant's sole cost and expense, and be provided to the Village as part of a formal application with the information set forth in Section 14-5-4.B of the Village Code. Nothing said or done in the course of such review shall be deemed to create, or to prejudice, any rights of the applicant or to obligate the Historic Preservation Commission or Village Board, or any member of it, to approve or deny any formal application following full consideration thereof as required by this Title.

At the conclusion of the Design Review Meeting, the Ad Hoc Historic District Design Review Team shall summarize its recommendations and comments on the proposed design and any other matters before it. Such recommendations and comments shall be reduced to writing and may include any proposed changes it would like an applicant to make to the conceptual design prior to submission of a formal certificate of appropriateness application. The recommendations and comments shall be provided to the applicant, along with a copy to village staff and a copy to the Historic Preservation Commission, within fifteen (15) days following the conclusion of the Design Review Meeting.



PROPOSED SOUTH ELEVATION

**Building Rendering Submittal  
for the Design Review Team Meeting on 12.5.2024**



E. THIRD ST.

**CERTIFICATE OF APPROPRIATENESS  
APPLICATION FORM**



PROJECT INFORMATION	
Property Address 337 E Third Street, Hinsdale, Illinois	
PIN(s) 09-12-207-011	
Zoning District R-1	Land Use single family residential
APPLICATION TYPE (CHECK ALL THAT APPLY):	PROPERTY INFORMATION (CHECK ALL THAT APPLY):
<input type="checkbox"/> Preliminary Certificate of Appropriateness – Design Review <input checked="" type="checkbox"/> Certificate of Appropriateness – Demolition and New Construction in the Robbins Park Historic District <input type="checkbox"/> Certificate of Appropriateness – Designated Landmark	<input type="checkbox"/> Listed as a Local Designated Landmark <input checked="" type="checkbox"/> Located in a Designated Historic District <input type="checkbox"/> Listed on the National Register of Historic Places
APPLICANT	
Name Karthik + Megan Chandran	Company
Address 133 E. Walnut St.	City / State / Zip Hinsdale, IL 60521
Phone	Email
PROPERTY OWNER (IF DIFFERENT FROM APPLICANT)	
Name	Company
Address	City / State / Zip
Phone	Email
ARCHITECT	
Name Moment Design	Company Moment Design
Address 201 E Ogden Ave, Suite 20	City / State / Zip Hinsdale, IL 60521
Phone 630-828-8161	Email raynette@momentdesign.net
ATTORNEY	
Name	Company
Address	City / State / Zip
Phone	Email
ENGINEER	
Name Engineering Resource Associates, Inc.	Company Engineering Resource Associates, Inc.
Address 3s701 West Avenue, Suite 150	City / State / Zip Warrenville, IL 60555
Phone (630) 393-3060	Email jgreen@eraconsultants.com

**BRIEF DESCRIPTION OF PROJECT**

New 2 1/2 story residence with attached 3 car garage and future swimming pool.

**PROJECT TYPE (CHECK ALL THAT APPLY):**

- Exterior Alterations
- Building Addition
- New Construction
- Demolition
- Relocation / Removal

**PROJECT DETAILS**

Property Size (Square Feet) 25,635

Existing Building Size (Square Feet) 3,826

Proposed Building Size (Square Feet) 3,747

**PROPERTY OWNER & APPLICANT SIGNATURES**

The Applicant (and Owner, if different) certifies, acknowledges and agrees that:

1. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief. The Owner of the property, if different from the Applicant, states that they consent to the filing of this application and that all information contained in this application is true and correct to the best of their knowledge.
2. The Applicant understands that an incomplete application will not be considered. In addition, the Applicant understands that the Village may require additional information prior to the consideration of this application.
3. The Applicant shall make the subject property available for inspection by the Village at reasonable times. The Village and its representatives have the right, and are hereby granted permission, to enter upon the property for purposes of conducting any inspections that may be necessary in connection with this application.
4. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant(s) shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten (10) days following the change, and that failure to do so may be grounds for denial of the application.
5. The Applicant understands that they are responsible for all application fees and any other fees required by the Village Code Zoning Code, unless otherwise waived as part of this application process. The Owner of the property and, if different, the Applicant are jointly and severally liable for the payment of application fees. The Owner has agreed to pay said fees, unless otherwise waived, and to consent to the filing and foreclosure of a lien against the property for the fee plus costs of collection, if the account is not settled within thirty (30) days after the mailing of a request for payment.
6. The Applicant acknowledges that the information submitted in connect with this application becomes public record and that it may be subject to disclosure under the Freedom of Information Act.
7. The Applicant agrees that all work shall be completed in accordance with the plans, specifications and conditions which accompany this application, and acknowledges compliance with all Zoning Code and Village Code requirements.

Megan Chandran  
Karthik Chandran

Printed Name of Applicant

*Megan Chandran*  
Signature of Applicant

1/29/25  
Date

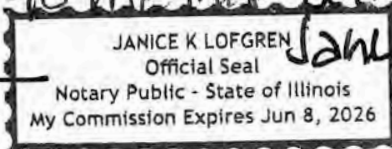
Megan Chandran  
Karthik Chandran

Printed Name of the Property Owner

*Megan Chandran*  
Signature of the Property Owner

1/29/25  
Date

Subscribed and sworn to me this 29th day of January, 2025  
*Janice K. Lofgren*  
NOTARY PUBLIC



**TABLE OF COMPLIANCE**

Address of property: 337 E THIRD STREET

The following table is based on the R-1 Zoning District.

Write "N/A" if the application does not affect the building/ property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (Square Feet)	30,000 S.F.	25,635 S.F.	25,635 S.F.
Lot Depth	125'	262.26'	262.26'
Lot Width	125'	97.75'	97.75'
Building Height	30'	N/A	26'-8 1/4"
Number of Stories	2 1/2	2	2 1/2
Front Yard Setback	56.57'	56.4'	57.95'
Corner Side Yard Setback	N/A	N/A	N/A
Interior Side Yard Setback	10.78'/18.5'	20.52'/26.88'	11.08'/24.4'
Rear Yard Setback	50'	158.4'	124.29'
Maximum Floor Area Ratio (F.A.R.)*	7,127 S.F.	3,826 S.F.	7,126.7 S.F.
Maximum Total Building Coverage*	6,408.75 S.F.	2,658 S.F.	3,747.6 S.F.
Maximum Total Lot Coverage*	12,817.5 S.F.	N/A	9,020 S.F.
Parking Requirements	N/A	N/A	N/A
Parking Front Yard Setback	N/A	N/A	N/A
Parking Corner Side Yard Setback	N/A	N/A	N/A
Parking Interior Side Yard Setback	N/A	N/A	N/A
Parking Rear Yard Setback	N/A	N/A	N/A
Loading Requirements	N/A	N/A	N/A
Accessory Structure Information	2,563.5 S.F.	658 S.F.	N/A

\* Both the calculated number in square feet and the percentage must be provided.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance:

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**VILLAGE OF HINSDALE**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
19 East Chicago Avenue  
Hinsdale, Illinois 60521-3489  
630.789.7030

**Application for Certificate of Zoning Compliance**

*You must complete all portions of this application. If you think certain information is not applicable, then write "N/A." If you need additional space, then attach separate sheets to this form.*

**Applicant's name:** Jan Lofgren

**Owner's name (if different):** Karthik Chandran

**Property address:** 337 E. Third Street

**Property legal description:** [attach to this form]

**Present zoning classification:** R-1, Single Family Residential

**Square footage of property:** 25,635 s.f.

**Lot area per dwelling:** 25,635 s.f.

**Lot dimensions:** 97' x 262'

**Current use of property:** Single Family Residential

**Proposed use:**  Single-family detached dwelling  
 Other: \_\_\_\_\_

**Approval sought:**  Building Permit                       Variation  
 Special Use Permit                       Planned Development  
 Site Plan                                       Exterior Appearance  
 Design Review  
 Other: \_\_\_\_\_

**Brief description of request and proposal:**

SINGLE FAMILY RESIDENCE

**Plans & Specifications:** [submit with this form]

	<b>Provided:</b>	<b>Required by Code:</b>
<b>Yards:</b>		
<b>front:</b>	<u>57.95'</u>	<u>56.57'</u>
<b>interior side(s)</b>	<u>11.0' / 24.4</u>	<u>10.7' / 18.5'</u>

Provided:

Required by Code:

corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>124.29</u>	<u>50'</u>

**Setbacks (businesses and offices):**

front:	<u>N/A</u>	<u>N/A</u>
interior side(s)	<u>N/A / N/A</u>	<u>N/A / N/A</u>
corner side	<u>N/A</u>	<u>N/A</u>
rear	<u>N/A</u>	<u>N/A</u>
others:	<u>N/A</u>	<u>N/A</u>
Ogden Ave. Center:	<u>N/A</u>	<u>N/A</u>
York Rd. Center:	<u>N/A</u>	<u>N/A</u>
Forest Preserve:	<u>N/A</u>	<u>N/A</u>

**Building heights:**

principal building(s):	<u>26'-8 1/4"</u>	<u>30'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

**Maximum Elevations:**

principal building(s):	<u>32'-4 3/4"</u>	<u>37'</u>
accessory building(s):	<u>N/A</u>	<u>N/A</u>

Dwelling unit size(s): 7,126.7 7,127

Total building coverage: 3,747.6 6,408.75

Total lot coverage: 9,020 12,817.5

Floor area ratio: 7,126.7 7,127

Accessory building(s): \_\_\_\_\_

Spacing between buildings: [depict on attached plans]

principal building(s):	_____	_____	_____
accessory building(s):	_____	_____	_____

Number of off-street parking spaces required: 0

Number of loading spaces required: 0

**Statement of applicant:**

*I swear/affirm that the information provided in this form is true and complete. I understand that any omission of applicable or relevant information from this form could be a basis for denial or revocation of the Certificate of Zoning Compliance.*

By: Jan Lofgren  
Applicant's signature

Jan Lofgren, Tiburon Homes LLC  
Applicant's printed name

Dated: 12/12, 2024

January 29, 2025

Historic Preservation Commission  
Hinsdale, IL 60521

Re: 337 E. Third Street, Hinsdale, Illinois

Dear Historic Preservation Commission:

We are writing to share the proposed changes to the above-referenced property. The existing three-story Colonial Revival home is predominantly clad in wood siding. Built in 1895, it significantly contributes to the historical and architectural narrative of the neighborhood. While stately, the home has fallen into disrepair and is not a candidate for rehabilitation. Members of the Ad Hoc Design Committee toured the home prior to meeting to see the current state of the home. We have also attached a contractor assessment and photographs for the Committee's use.

With respect to the existing home's architectural significance and our appreciation for its historical context within the Robbins Park Historical District we propose a new two and a half story home that embraces a European style. The design of this family home pays homage to the Tudor revival period, featuring a refined aesthetic that harmonizes with the existing character of the neighborhood.

Following our Ad Hoc Design Review meeting, the homeowners have consulted with an architectural recycling company multiple times to evaluate the home's materials for salvage. We have also made some adjustments to the home design per the homeowner's requests and have added a gas lantern at the entryway to enhance the home's historic appeal.

Additionally, the proposed new construction will utilize high-quality materials. Limewashed brick with a stone belt course, stained cedar siding, and slate roofing have been selected for their durability, natural beauty, and historical relevance. The choice of brick will introduce an element of timelessness, while the cedar siding will continue the legacy of using natural wood, thereby preserving the home's warmth and charm. The proposed color scheme is curated to complement the new structure and its surroundings.

In conclusion, the proposed new home has been carefully considered to respect the historical significance and architectural integrity of the community. It is our hope that this proposal will be received as a conscientious effort to preserve the essence of the property while making thoughtful improvements for its enjoyment by future generations.

---

Thank you for your time and consideration.

Sincerely,  
Moment Design

A handwritten signature in black ink, appearing to read 'R. Bradford', with a large, stylized flourish at the end.

Raynette Bradford, AIA, NCARB  
Owner + Managing Director

Encl: Contractor assessment



## **CHANDRAN SITE WALK**

337 E. Third Street  
Hinsdale, Illinois

### **Exterior:**

All windows in need of replacement.  
All exterior doors in need of replacement  
Front porch columns, ceiling, deck are rotted or sagging and in need of replacement  
Replace both sets of porch stairs - rotted and in need of replacement  
Driveway side porch is rotted and in need of replacement  
Exterior basement stairs are rotted and in need of replacement.  
Gutters are built into the soffits – all are rotted and in need of replacement  
Roof in need of replacement  
Center chimney – upper portion needs to be re-built  
Rear screened porch is rotted and in need of replacement  
Detached Garage sagging beam and in need of structural assessment and correction  
Garage doors in need of replacement.  
Garage siding in need of replacement.  
Garage roof in need of replacement  
Front walkway to house in need of replacement  
Pool – not functional, demolish pool and fence, infill or replace  
Extensive lead and asbestos abatement throughout

### **Interior:**

Complete demo and update all 7+ bathrooms  
Complete demo and update kitchen  
Basement foundation - shows signs of water damage throughout  
Foundation repair - at front porch and other locations  
Low basement ceiling height – too low, needs to be excavated to create useable space  
Basement staircase – too narrow, does not meet code. Tear out and replace  
Extensive mold, lead and asbestos abatement throughout

### **Mechanicals:**

Update/replace the existing panel to be code compliant due to amount of BX cable and age of house  
Bring power to house underground, wires currently cross neighbor's yard  
Electrical service needs to be increased to 400amp  
Add a 2nd 200-amp electric panel  
Correct various other electrical code violations throughout  
Complete HVAC and plumbing systems update – replace boiler, update/replace radiators, new water heater(s), no AC condenser, retrofit all floors for central air conditioning

Exterior





















Interior











**Mechanical**





KATHLEEN V. CARRIER  
RECORDER  
DUPAGE COUNTY, IL  
04/23/2024 11:16 AM  
RHSP  
COUNTY TAX 1,125.00  
STATE TAX 2,250.00  
DOC NO. R2024-021693

112  
2465T140033NB

Above Space For Use by Recorder of Deeds

**TRUSTEE'S DEED**

**THIS AGREEMENT**, made this 18 day of April, 2024 between Mary K. Nelson, as Trustee under the provisions of a Trust Agreement dated July 22, 1998, and known as Trust Number One ("Grantor") of the county of DuPage, State of Illinois and Karthik Sriram Chandran and Megan Chandran ("Grantees"), whose address is 133 East Walnut Street, Hinsdale, IL 60521.

**WITNESSETH:** The Grantor, in consideration of the sum of Ten and No/100 Dollars (\$10.00), receipt whereof is hereby acknowledged, and in pursuance of the power and authority vested in the Grantor as said Trustee, and of every other power and authority the Grantor hereunto enabling, does hereby CONVEY and WARRANT unto the Grantees, Karthik Sriram Chandran and Megan Chandran, husband and wife, not as tenants in common, but as joint tenants with right of survivorship, the following described real estate situated in the County of DuPage, State of Illinois, to-wit:

THE EAST 49.25 FEET OF LOT 7 AND THE WEST 48.50 FEET OF LOT 8 IN BLOCK 2 IN HINCKLEY'S SUBDIVISION OF BLOCK 7 OF ROBBIN'S FIRST ADDITION TO HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID HINCKLEY'S SUBDIVISION RECORDED JANUARY 17, 1888 AS DOCUMENT 38701, IN DUPAGE COUNTY, ILLINOIS.


together with the tenements, hereditaments and appurtenances thereunto belonging or in any wise appertaining.

**SUBJECT TO:** general real estate taxes not due and payable at the time of Closing, covenants, conditions, and restrictions of record, building lines and easements, if any.

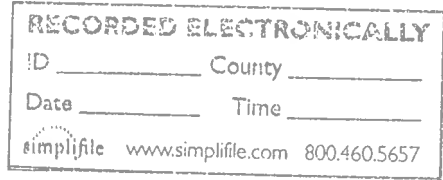
Permanent Real Estate Index Number: 09-12-209-011

Address of Real Estate: 337 East 3<sup>rd</sup> Street, Hinsdale, Illinois 60521

**IN WITNESS WHEREOF**, the Grantor, as Trustee as aforesaid, has hereunto set her hand and seal the day and year first above written.

  
\_\_\_\_\_  
(SEAL)  
Mary K. Nelson, as trustee under the provisions  
of a Trust Agreement dated July 22, 1998  
and known as Trust Number One  
by Gavin De Castro, Attorney in Fact

CHARGE CTC DUPAGE



1/2  
24G5T 140033NB

Above Space For Use by Recorder of Deeds

**TRUSTEE'S DEED**

**THIS AGREEMENT**, made this 1<sup>st</sup> day of April, 2024 between Mary K. Nelson, as Trustee under the provisions of a Trust Agreement dated July 22, 1998, and known as Trust Number One ("Grantor") of the county of DuPage, State of Illinois and Karthik Sriram Chandran and Megan Chandran ("Grantees"), whose address is 133 East Walnut Street, Hinsdale, IL 60521.

**WITNESSETH:** The Grantor, in consideration of the sum of Ten and No/100 Dollars (\$10.00), receipt whereof is hereby acknowledged, and in pursuance of the power and authority vested in the Grantor as said Trustee, and of every other power and authority the Grantor hereunto enabling, does hereby CONVEY and WARRANT unto the Grantees, Karthik Sriram Chandran and Megan Chandran, husband and wife, not as tenants in common, but as joint tenants with right of survivorship, the following described real estate situated in the County of DuPage, State of Illinois, to-wit:

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Permanent Real Estate Index Number: 09-12-209-011

Address of Real Estate: 337 East 3<sup>rd</sup> Street, Hinsdale, Illinois 60521

**IN WITNESS WHEREOF**, the Grantor, as Trustee as aforesaid, has hereunto set her hand and seal the day and year first above written.

 (SEAL)

Mary K. Nelson, as trustee under the provisions of a Trust Agreement dated July 22, 1998 and known as Trust Number One by Gavin De Castro, Attorney in Fact

CHARGE CTC DUPAGE

STATE OF ILLINOIS            )  
  )  
COUNTY OF COOK            )        SS

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Mary K. Nelson, as Trustee under the provisions of a Trust Agreement dated July 22, 1998, and known as Trust Number One by Gavin De Castro, Attorney in Fact, personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person, and acknowledged that he signed, sealed and delivered the said instrument as the free and voluntary act as such trustee, for the uses and purposes therein set forth.

Given under my hand and official seal this 18<sup>th</sup> day of April, 2024.

IMPRESS SEAL HERE  
*Andrea L. Winters*

**OFFICIAL SEAL**  
**ANDREA L WINTERS**  
NOTARY PUBLIC, STATE OF ILLINOIS  
MY COMMISSION EXPIRES: 02/22/2027

Notary Public

Commission expires 02/22/2027

---

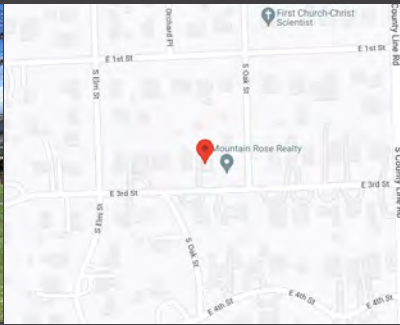
This instrument was prepared by: Myron Kantor, Trostin, Kantor & Esposito, LLC, 666 Dundee Road, Suite 307, Northbrook, Illinois 60062

After recording, mail to:  
Jonathan S. Pope  
3601 W. Algonquin Road, Suite 860  
Rolling Meadows, Illinois 60008

Send subsequent tax bills to:  
Karthik Sriram Chandran and Megan Chandran  
337 East 3<sup>rd</sup> Street  
Hinsdale, Illinois 60521



2403.3111  
BOUNDARY SURVEY  
DUPAGE COUNTY



**PROPERTY ADDRESS:**  
337 E 3RD STREET, HINSDALE, ILLINOIS 60521

**SURVEY NUMBER:** 2403.3111

**DATE SIGNED:** 03/20/24      **FIELD WORK DATE:** 3/16/2024

**REVISION DATE(S):**  
(REV.1 3/20/2024)

**POINTS OF INTEREST**  
**NONE VISIBLE**

STATE OF ILLINOIS } SS  
COUNTY OF GRUNDY }

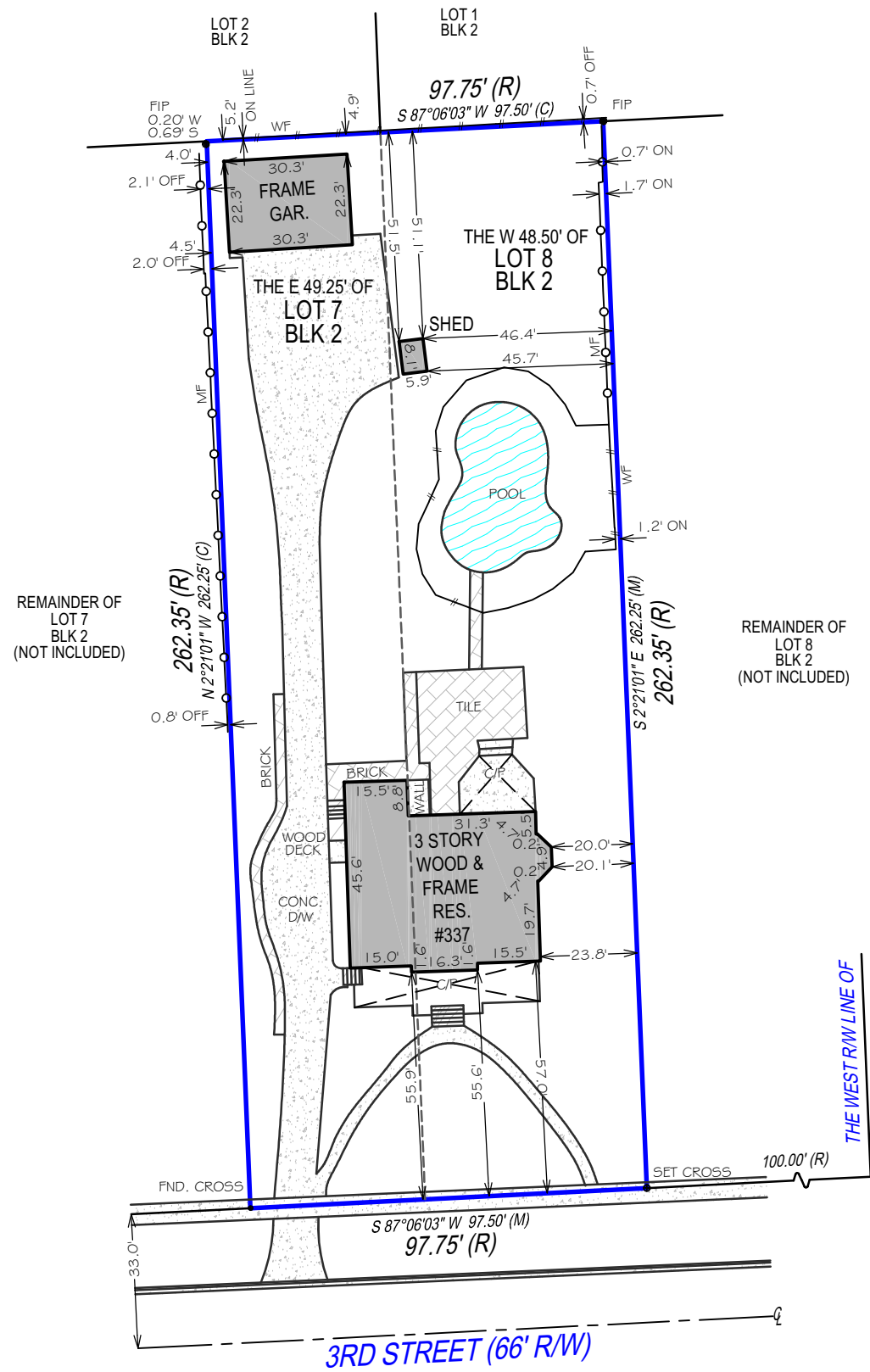
THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

*Kenneth Kennedy*  
**KENNETH A. KENNEDY**  
035-003403  
PROFESSIONAL  
LAND SURVEYOR  
MORRIS, IL  
STATE OF ILLINOIS

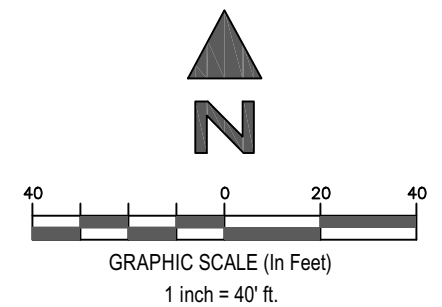
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403  
LICENSE EXPIRES 11/30/2024  
EXACTA LAND SURVEYORS, LLC  
PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC  
PLS# 184008059  
o: 773.305.4011  
316 East Jackson Street | Morris, IL 60450



TOTAL AREA OF PROPERTY SURVEYED 25597 SQ.FT.±



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION  
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

**PROPERTY ADDRESS:**  
337 E 3RD STREET, HINSDALE, ILLINOIS 60521

**SURVEY NUMBER:** 2403.3111

**CERTIFIED TO:**

**DATE OF SURVEY:** 03/20/24

**BUYER:**

**LENDER:**

**TITLE COMPANY:**

**COMMITMENT DATE:**      **CLIENT FILE NO:**

**LEGAL DESCRIPTION:**  
THE EAST 49.25 FEET OF LOT 7 AND THE WEST 48.50 FEET OF LOT 8 IN BLOCK 2 IN HINCKLEY'S SUBDIVISION OF BLOCK 7 OF ROBBINS'S FIRST ADDITION TO HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID HINCKLEY'S SUBDIVISION RECORDED JANUARY 17, 1888 AS DOCUMENT 38701, IN DUPAGE COUNTY, ILLINOIS.

**FLOOD ZONE INFORMATION:**

**GENERAL SURVEYORS NOTES:**

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at [www.fema.gov](http://www.fema.gov) and may not reflect the most recent information.
- Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
- Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
- THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

**SURVEYORS LEGEND:**

LINETYPES		ABBREVIATIONS	
	Boundary Line	(C) - Calculated	<b>FIP</b> - Found Iron Pipe
	Center Line	(D) - Deed	<b>FIPC</b> - Found Iron Pipe & Cap
	Chain Link or Wire Fence	(F) - Field	<b>FIR</b> - Found Iron Rod
	Easement	(M) - Measured	<b>FIRC</b> - Found Iron Rod & Cap
	Edge of Water	(P) - Plat	<b>FN</b> - Found Nail
	Iron Fence	(R) - Record	<b>FN&amp;D</b> - Found Nail & Disc
	Overhead Lines	(S) - Survey	<b>FRRSPK</b> - Found Rail Road Spike
	Structure	A/C - Air Conditioning	<b>GAR</b> - Garage
	Survey Tie Line	AE - Access Easement	<b>GM</b> - Gas Meter
	Vinyl Fence	ANE - Anchor Easement	<b>ID</b> - Identification
	Wall or Party Wall	ASBL - Accessory Setback Line	<b>IE/EE</b> - Ingress/Egress Easement
	Wood Fence	B/W - Bay/Box Window	<b>ILL</b> - Illegible
SURFACE TYPES		BC - Block Corner	<b>INST</b> - Instrument
	Asphalt	BFP - Backflow Preventer	<b>INT</b> - Intersection
	Brick or Tile	BLDG - Building	<b>IRRE</b> - Irrigation Easement
	Concrete	BLK - Block	<b>L</b> - Length
	Covered Area	BM - Benchmark	<b>LAE</b> - Limited Access Easement
	Water	BR - Bearing Reference	<b>LB#</b> - License No. (Business)
	Wood	BRL - Building Restriction Line	<b>LBE</b> - Limited Buffer Easement
SYMBOLS		BSMT - Basement	<b>LE</b> - Landscape Easement
	Benchmark	C - Curve	<b>LME</b> - Lake/Landscape Maintenance Easement
	Center Line	C/L - Center Line	<b>LS#</b> - License No. (Surveyor)
	Central Angle or Delta	C/P - Covered Porch	<b>MB</b> - Map Book
	Common Ownership	C/S - Concrete Slab	<b>ME</b> - Maintenance Easement
	Control Point	CATV - Cable TV Riser	<b>MES</b> - Mitered End Section
	Catch Basin	CB - Concrete Block	<b>MF</b> - Metal Fence
	Elevation	CH - Chord Bearing	<b>MH</b> - Manhole
	Fire Hydrant	CHIM - Chimney	<b>MHWL</b> - Mean High Water Line
	Find or Set Monument	CLF - Chain Link Fence	<b>NR</b> - Non-Radial
	Guywire or Anchor	CME - Canal Maintenance Easement	<b>NTS</b> - Not to Scale
	Manhole	CO - Clean Out	<b>NAVD88</b> - North American Vertical Datum 1988
	Tree	CONC - Concrete	<b>NGVD29</b> - National Geodetic Vertical Datum 1929
	Utility or Light Pole	COR - Corner	<b>OG</b> - On Ground
	Well	CS/W - Concrete Sidewalk	<b>ORB</b> - Official Records Book
		CUE - Control Utility Easement	<b>ORV</b> - Official Record Volume
		D/W - Driveway	<b>O/A</b> - Overall
		DE - Drainage Easement	<b>O/S</b> - Offset
		DF - Drain Field	<b>OFF</b> - Outside Subject Property
		DH - Drill Hole	<b>OH</b> - Overhang
		DUE - Drainage & Utility Easement	<b>OHL</b> - Overhead Utility Lines
		ELEV - Elevation	<b>OHWL</b> - Ordinary High Water Line
		EM - Electric Meter	<b>ON</b> - Inside Subject Property
		ENCL - Enclosure	<b>P/E</b> - Pool Equipment
		ENT - Entrance	<b>PB</b> - Plat Book
		EOP - Edge of Pavement	<b>PC</b> - Point of Curvature
		EOW - Edge of Water	<b>PCC</b> - Point of Compound Curvature
		ESMT - Easement	<b>PCP</b> - Permanent Control Point
		EUB - Electric Utility Box	<b>PI</b> - Point of Intersection
		F/DH - Found Drill Hole	<b>PLS</b> - Professional Land
		FCM - Found Concrete Monument	
		FF - Finished Floor	

**JOB SPECIFIC SURVEYOR NOTES:**



Exacta Land Surveyors, LLC  
 PLS# 184008059  
 o: 773.305.4011  
 316 East Jackson Street | Morris, IL 60450

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY  
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES



332 E 3rd Street | Home across 3rd street



136 E 3rd Street | Home to the East



327 E 3rd Street | Home to the West



319 E 3rd Street | Two homes to the West



337 E 3rd Street | North Elevation



337 E 3rd Street | East Elevation



337 E 3rd Street | South Elevation



337 E 3rd Street | West Elevation



proposed south elevation



proposed e. third street



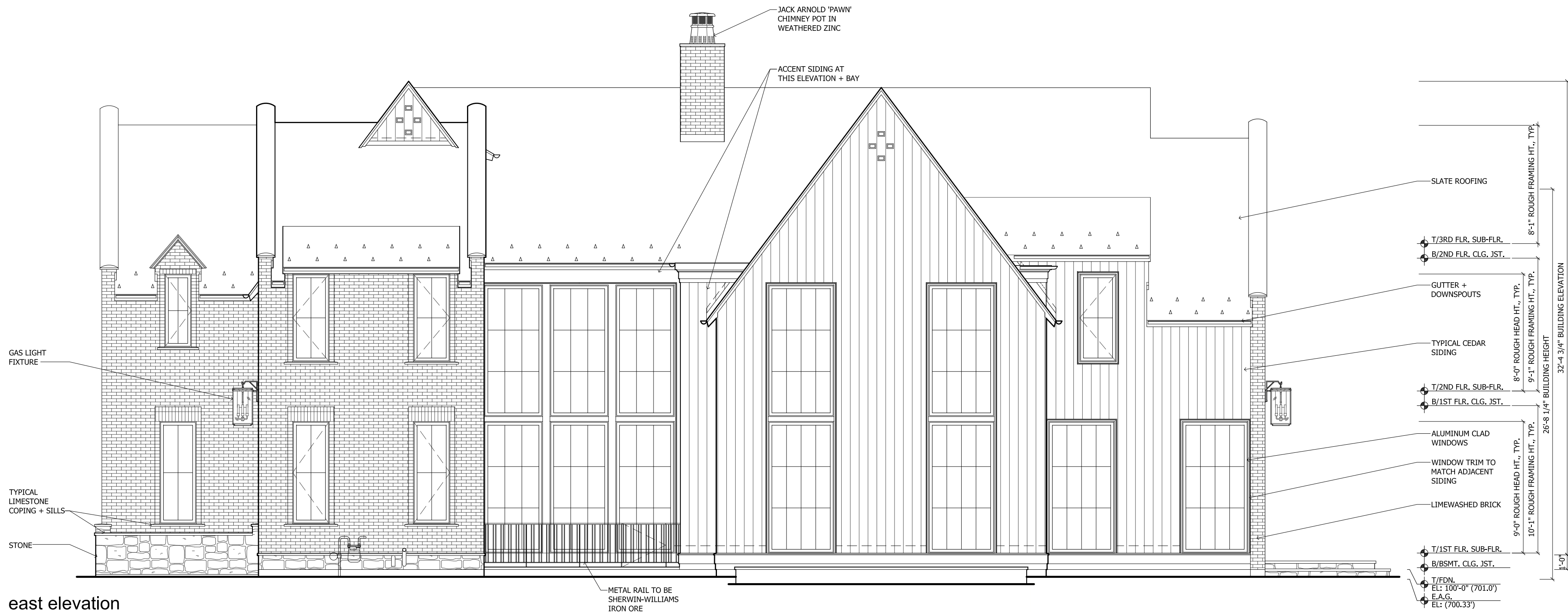
existing e. third street



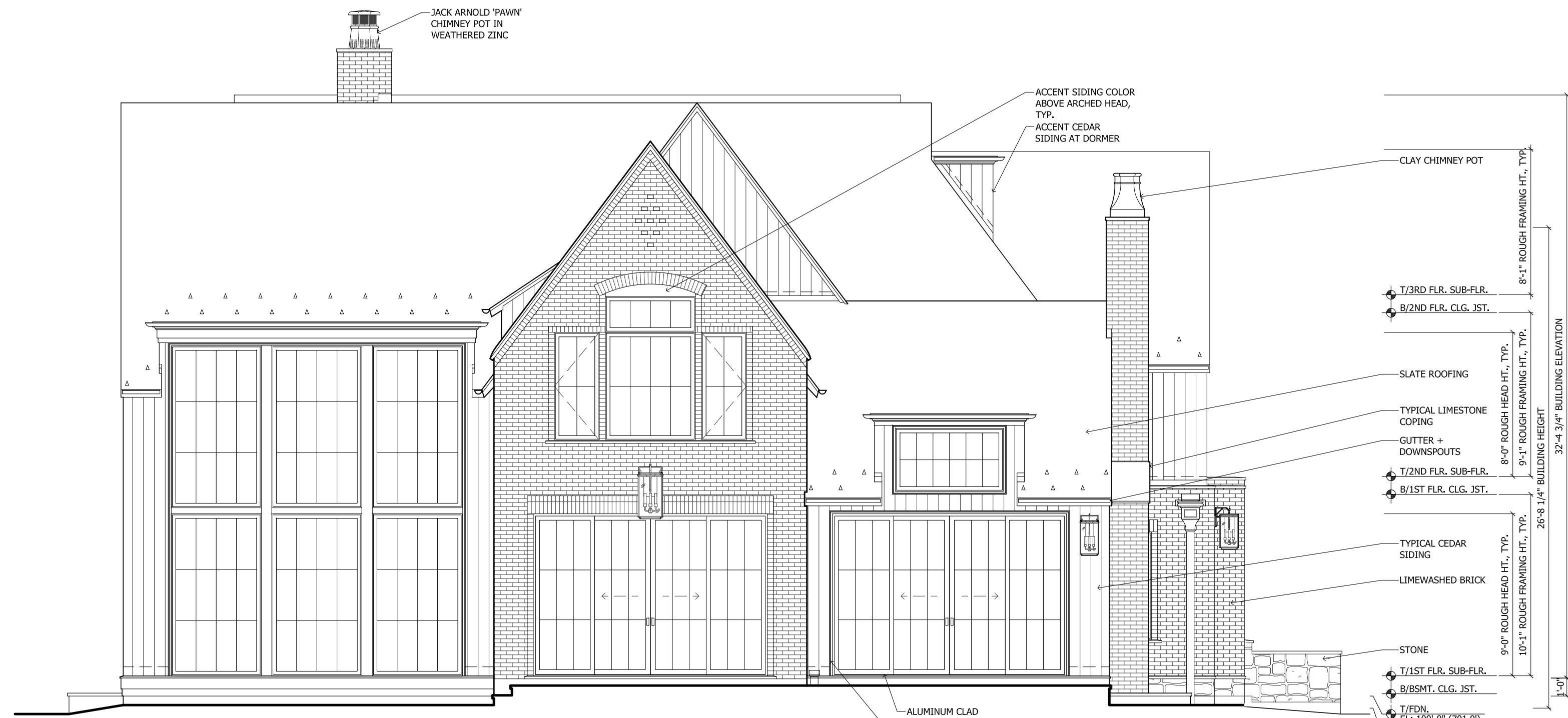
south elevation



MATERIAL	COLOR	MANUFACTURER
BRICK:	LIMEWASHED INTENSE WHITE	BENJAMIN MOORE
STONE:	BASSWOOD GREY MIXED COLOR	HALQUIST
LIMESTONE:	INDIANA BLUFF	
SLATE ROOFING:	BLACK + UNFADING GRAY	VERMONT SLATE
GUTTERS + DOWNSPOUTS:	WEATHERED ZINC	
TYPICAL CEDAR SIDING:	INTENSE WHITE	BENJAMIN MOORE
ACCENT CEDAR SIDING:	IRON ORE	BENJAMIN MOORE
WINDOWS:	GUNMETAL	MARVIN



east elevation



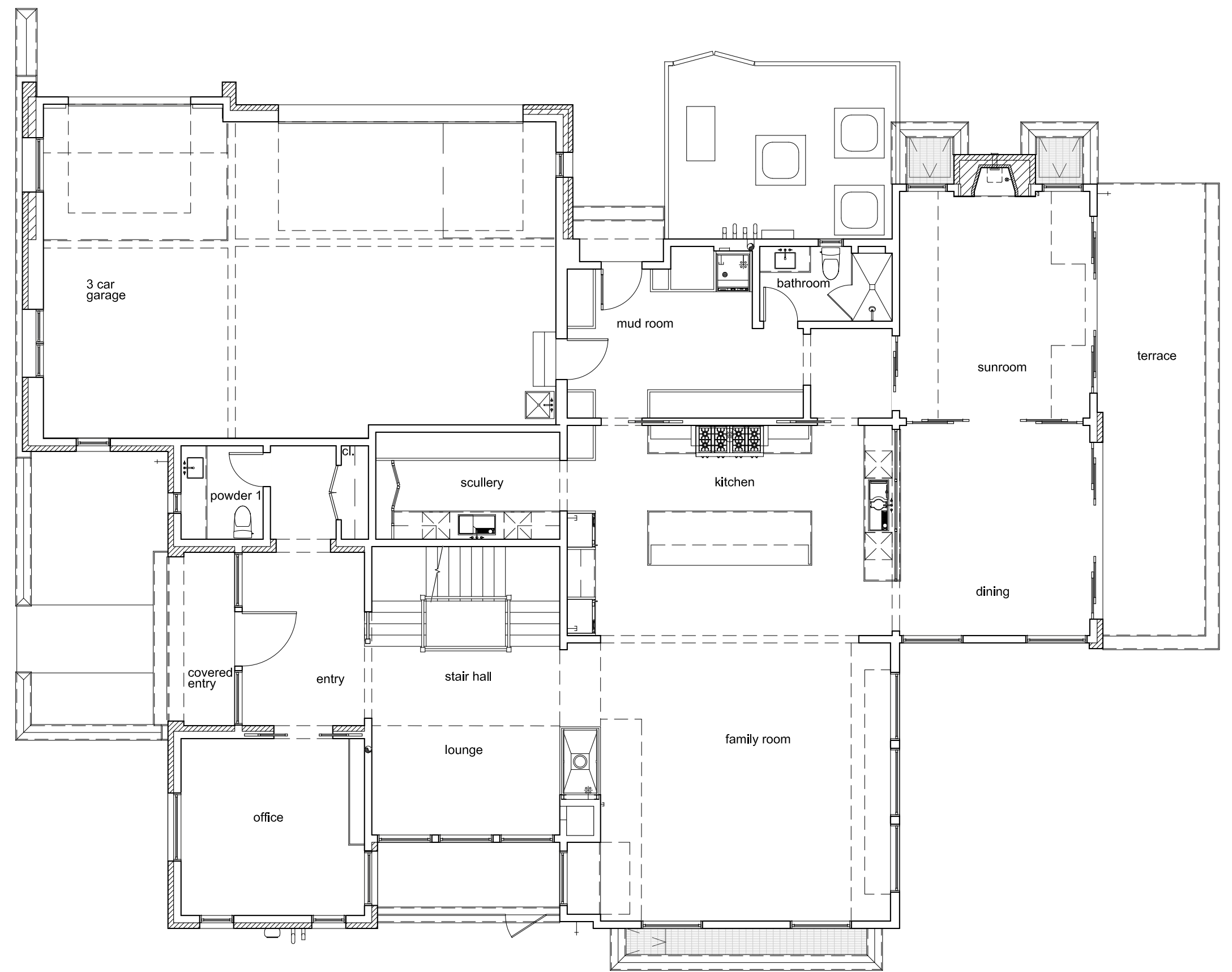
north elevation



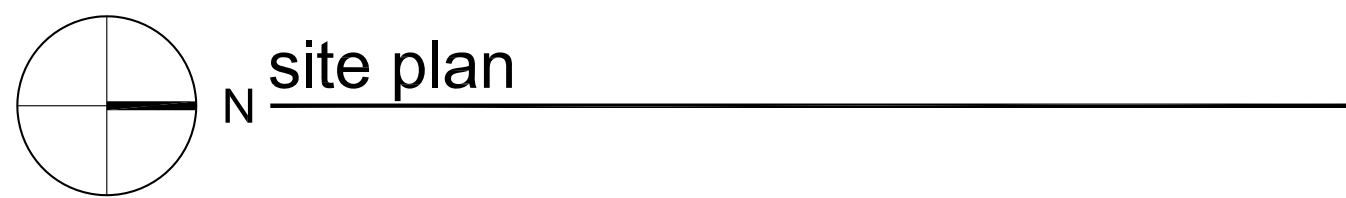
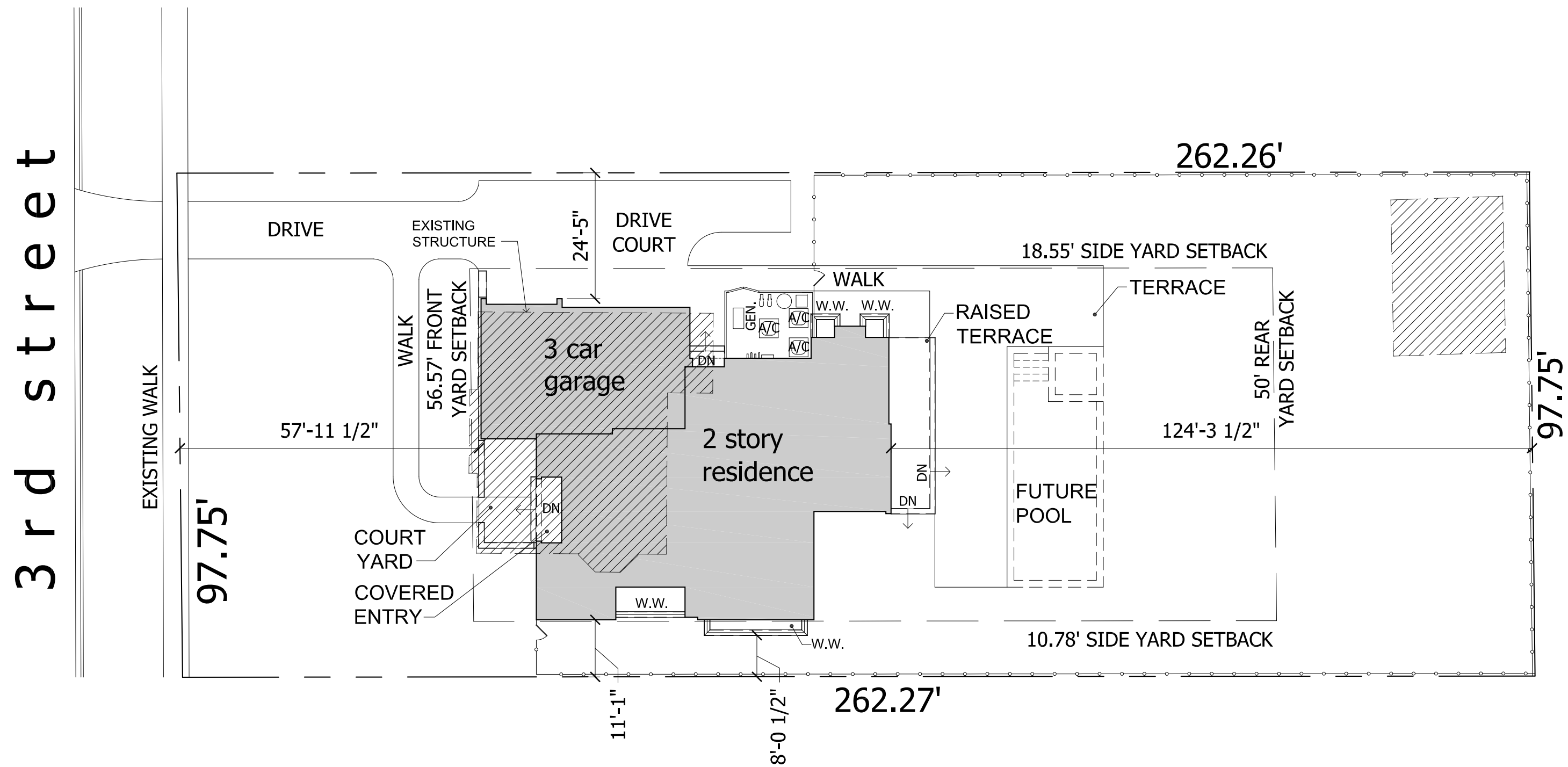
west elevation



⊕ N second floor plan



⊕ N first floor plan

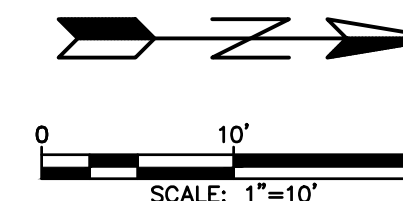


# EXISTING CONDITIONS & DEMOLITION PLAN

THE EAST 49.25 FEET OF LOT 7 AND THE WEST 48.50 FEET OF LOT 8 IN BLOCK 2 IN HINKLEY'S SUBDIVISION OF BLOCK 7 OF ROBBIN'S FIRST ADDITION TO HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIA, ACCORDING TO THE PLAT OF SAID HINKLEY'S SUBDIVISION RECORDED JANUARY 17, 1869 AS DOCUMENT 38701, IN DUPAGE COUNTY, ILLINOIS.

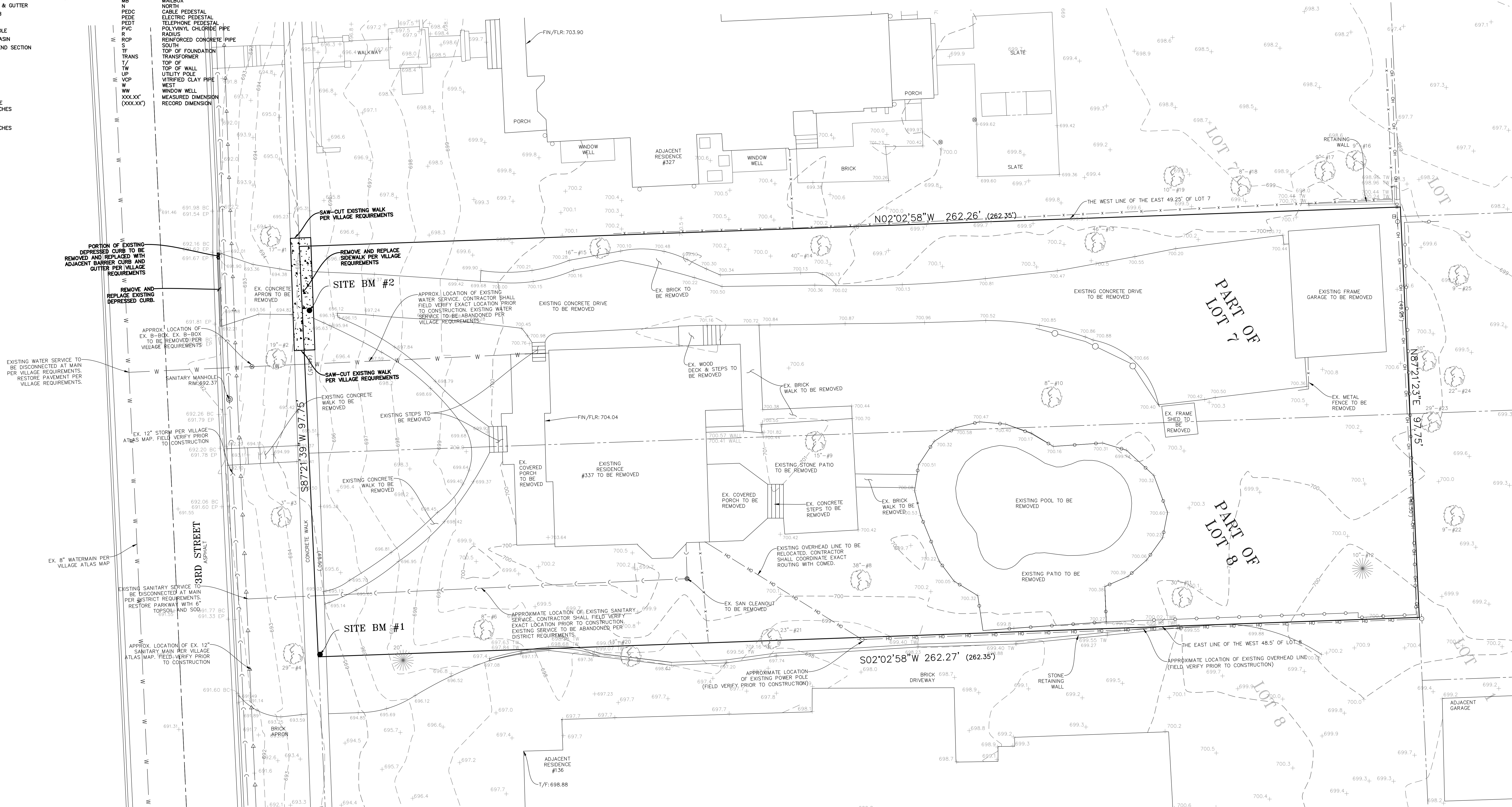
PIN NO: 09-12-209-011

COMMON ADDRESS: 337 EAST THIRD STREET, HINSDALE, ILLINOIS



- LEGEND**
- PROPERTY LINE
  - LOT LINE
  - - - EASEMENT LINE
  - - - BUILDING SETBACK LINE
  - - - EX. SANITARY LINE
  - - - EX. STORM LINE
  - - - EX. WATER LINE
  - - - EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
  - - - EX. UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
  - - - EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
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  - - - EX. DEPRESSED CURB
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  - - - EX. SPOT ELEVATION
  - - - EX. CONIFEROUS TREE  
W/TRUNK SIZE IN INCHES
  - - - EX. DECIDUOUS TREE  
W/TRUNK SIZE IN INCHES
  - - - EX. BUSH

- ABBREVIATIONS**
- AC ARC LENGTH
  - BC AIR CONDITIONER UNIT
  - BM BENCHMARK
  - BM BOTTOM OF CURB
  - CH CHORD
  - CMP CORRUGATED METAL PIPE
  - CONC CONCRETE
  - CPP CORRUGATED PLASTIC PIPE
  - DS DOWNSPOUT
  - E EAST
  - ELEC ELECTRIC
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  - FF FINISHED FLOOR
  - GF GARAGE FLOOR
  - GM GAS METER
  - INV INVERT
  - MB MAILBOX
  - N NORTH
  - PCB CABLE PEDESTAL
  - PEDE ELECTRIC PEDESTAL
  - PEDE TELEPHONE PEDESTAL
  - PVC POLYVINYL CHLORIDE PIPE
  - R RADIUS
  - RCP REINFORCED CONCRETE PIPE
  - S SOUTH
  - TF TOP OF FOUNDATION
  - TR TRANSFORMER
  - TW TOP OF WALL
  - UP UTILITY POLE
  - VCP VITRIFIED CLAY PIPE
  - W WEST
  - WW WINDOW WELL
  - XXX.XX MEASURED DIMENSION
  - XXX.XX RECORD DIMENSION



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ILLINOIS ONE-CALL SYSTEM

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**800.892.0123**

**SITE BENCHMARK #1:**  
FOUND CUT CROSS NEAR THE SOUTHEAST CORNER OF THE PROPERTY  
ELEV: 694.79 (NAVD 88)

**SITE BENCHMARK #2:**  
FOUND CUT CROSS NEAR THE SOUTHWEST CORNER OF THE PROPERTY.  
ELEV: 695.11 (NAVD 88)

**BRIAN A. STYCK, P.E.**  
IL P.E. NO. 062-075618  
EXPIRES NOVEMBER 30, 2025

PREPARED FOR: CHANDRAN, K

ENGINEERING RESOURCE ASSOCIATES

35701 WEST AVENUE, SUITE 150  
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PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

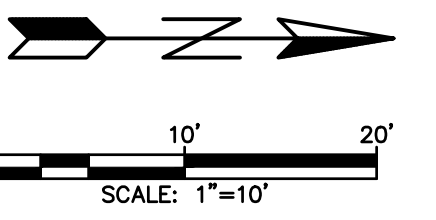
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# GEOMETRY PLAN

THE EAST 49.25 FEET OF LOT 7 AND THE WEST 48.50 FEET OF LOT 8 IN BLOCK 2 IN HICKLEY'S SUBDIVISION OF BLOCK 7 OF ROBBIN'S FIRST ADDITION TO HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIA, ACCORDING TO THE PLAT OF SAID HICKLEY'S SUBDIVISION RECORDED JANUARY 17, 1868 AS DOCUMENT 38701, IN DUPAGE COUNTY, ILLINOIS.

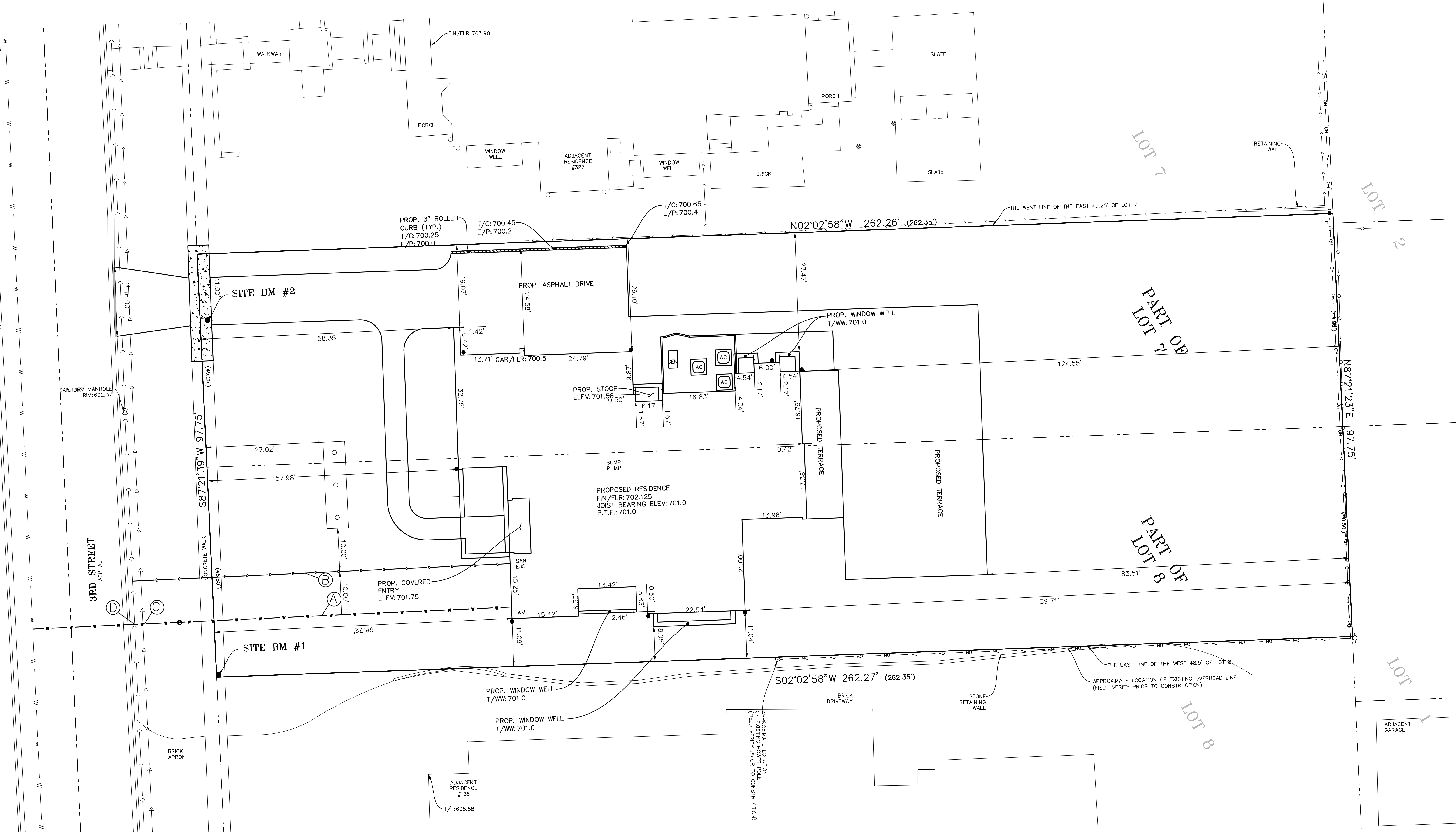
PIN NO: 09-12-209-011

COMMON ADDRESS: 337 EAST THIRD STREET, HINSDALE, ILLINOIS



- LEGEND**
- PROPERTY LINE
  - - - LOT LINE
  - - - EASEMENT LINE
  - - - BUILDING SETBACK LINE
  - - - EX. SANITARY LINE
  - - - EX. STORM LINE
  - - - EX. WATER LINE
  - - - EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
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- ABBREVIATIONS**
- A ARC LENGTH
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  - BC BACK OF CURB
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**SITE BENCHMARK #1:**  
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ELEV.: 694.79 (NAVD 88)

**SITE BENCHMARK #2:**  
FOUND CUT CROSS NEAR THE SOUTHWEST CORNER OF THE PROPERTY.  
ELEV.: 695.11 (NAVD 88)

ADDRESS	SETBACK
135 S. ELM ST.	59.41'
311 E. 3RD ST.	54.90'
319 E. 3RD ST.	59.57'
327 E. 3RD ST.	55.84'
337 E. 3RD ST.	56.13'
136 E. 3RD ST.	47.30'
AVERAGE SETBACK: 56.57'	

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ILLINOIS ONE-CALL SYSTEM

PREPARED FOR: CORBIN

**ENGINEERING RESOURCE ASSOCIATES**

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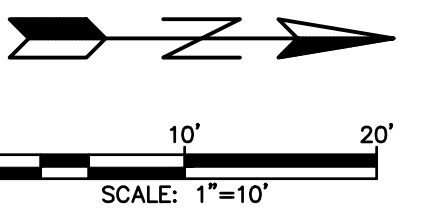
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# TOPOGRAPHICAL SITE DEVELOPMENT PLAN

THE EAST 49.25 FEET OF LOT 7 AND THE WEST 48.50 FEET OF LOT 8 IN BLOCK 2 IN HINCKLEY'S SUBDIVISION OF BLOCK 7 OF ROBBIN'S FIRST ADDITION TO HINSDALE, IN THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID HINCKLEY'S SUBDIVISION RECORDED JANUARY 17, 1869 AS DOCUMENT 38701, IN DUPAGE COUNTY, ILLINOIS.

PIN NO: 09-12-209-011

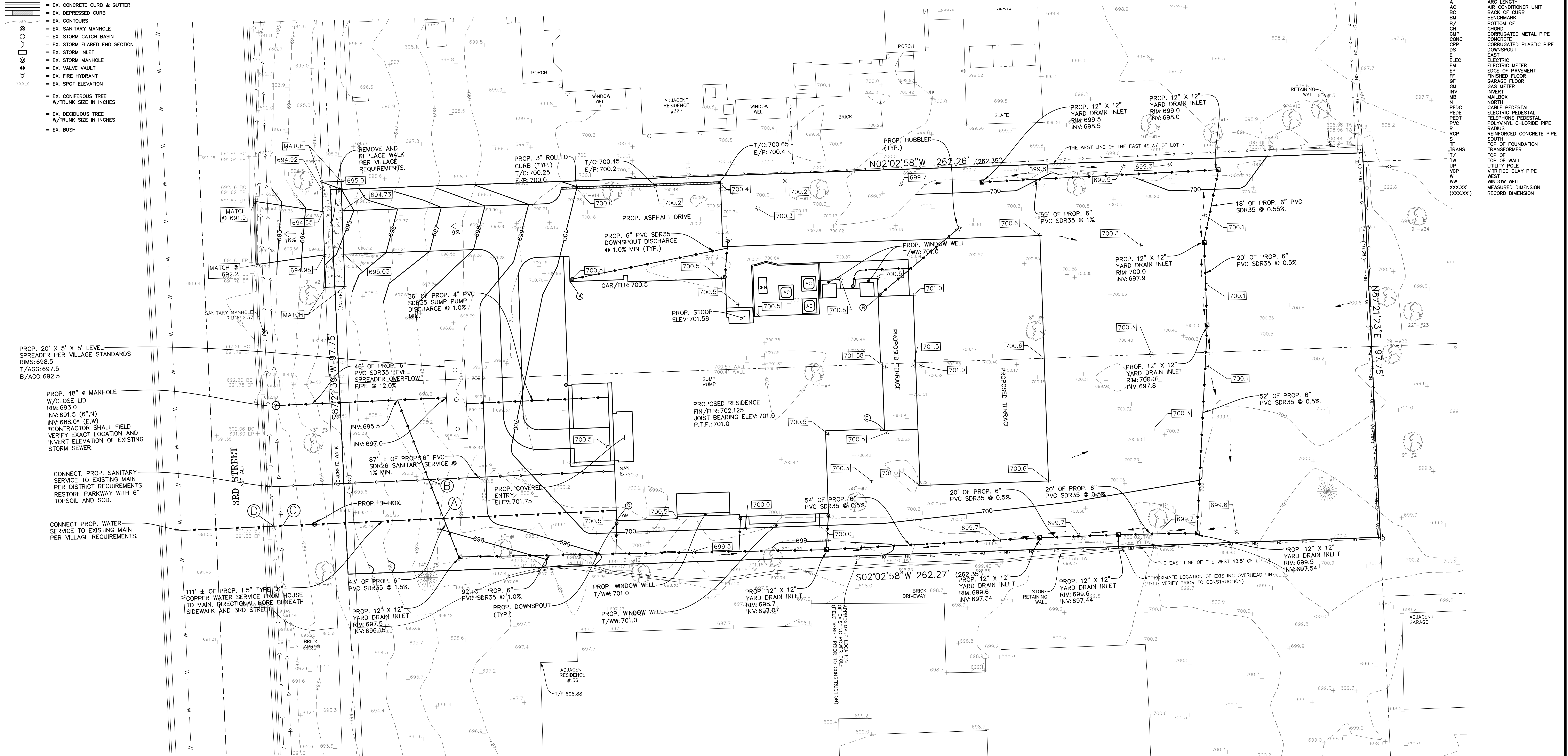
COMMON ADDRESS: 337 EAST THIRD STREET, HINSDALE, ILLINOIS



- LEGEND**
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  - - - EX. BUSH

**ABBREVIATIONS**

- A ARC LENGTH
- AC AIR CONDITIONER UNIT
- BC BACK OF CURB
- BM BENCHMARK
- B/B BOTTOM OF
- CH CORRUGATED METAL PIPE
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- UP UTILITY POLE
- VCP VITRIFIED CLAY PIPE
- WM WEST
- WW WINDOW WELL
- XXX'X' MEASURED DIMENSION
- XXX'X'X' RECORD DIMENSION



PROP. 20' X 5' X 5' LEVEL SPREADER PER VILLAGE STANDARDS  
RIMS: 698.5  
T/AGG: 697.5  
B/AGG: 692.5

PROP. 48" Ø MANHOLE W/CLOSE LID  
RIM: 693.0  
INV: 691.5 (6"N)  
INV: 688.0\* (E,W)  
\*CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION OF EXISTING STORM SEWER.

CONNECT. PROP. SANITARY SERVICE TO EXISTING MAIN PER DISTRICT REQUIREMENTS. RESTORE PARKWAY WITH 6" TOPSOIL AND SOD.

CONNECT PROP. WATER SERVICE TO EXISTING MAIN PER VILLAGE REQUIREMENTS.

111' ± OF PROP. 1.5" TYPE "X" COPPER WATER SERVICE FROM HOUSE TO MAIN DIRECTIONAL BORE BENEATH SIDEWALK AND 3RD STREET

**IMPERVIOUS DATA TABLE**

EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE: 1,913 S.F.	HOUSE: 3,866 S.F.	
PORCHES & STEPS: 706 S.F.	DRIVE: 1,741 S.F.	
DRIVE: 3,876 S.F.	FRONT ENTRY & STEPS: 191 S.F.	
GARAGE: 638 S.F.	WALKS: 591 S.F.	
WALK & STEPS: 561 S.F.	TERRACES: 2,348 S.F.	
DECK: 28 S.F.	AC & GEN PADS: 48 S.F.	
POOL: 891 S.F.	STOOP: 26 S.F.	
PATIO: 2,166 S.F.	FUTURE POOL EQUIPMENT: 32 S.F.	
TOTAL: 10,799 S.F.	TOTAL: 8,843 S.F.	

**AVG. GRADE DATA (HOUSE)**

POINT:	HOUSE:
A	700.50
B	700.50
C	700.50
D	699.80
AVG.:	700.33

**PIPE CROSSING DATA**

Ⓐ BOTTOM PROP. STORM:	696.0±
TOP OF PROP. WATER:	692.5±
Ⓑ BOTTOM PROP. STORM:	695.9±
TOP OF PROP. SANITARY:	691.5±
Ⓒ BOTTOM EX. STORM:	688.5±
TOP OF PROP. WATER:	687.0±
Ⓓ BOTTOM PROP. WATER:	686.8±
TOP OF EX. SANITARY:	686.5±

**NOTE:**  
CONTRACTOR SHALL VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION FOR ANY CONFLICTS.

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ILLINOIS ONE-CALL SYSTEM

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136 E. 3RD ST.	47.39'
AVERAGE SETBACK:	56.57'

NET NEW IMPERVIOUS AREA = 8,843 S.F. - 10,799 S.F. = -1,956 S.F.  
SINCE -1,956 S.F. < 2,500 S.F. NO BMP IS REQUIRED FOR THIS SITE.

**LOT COVERAGE CALCULATIONS**  
LOT AREA = 25,635 S.F.  
PROPOSED SURFACE AREA = 9,052 S.F.  
LOT COVERAGE = 8,843/25,635 = 34.50%

PREPARED FOR: CHANDRAN, K

**ENGINEERING RESOURCE ASSOCIATES**

35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555  
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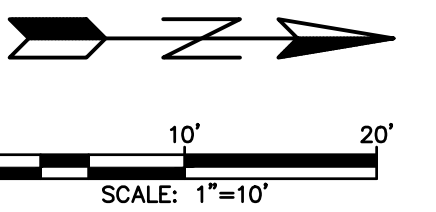
2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268 FAX (217) 355-1902

# TREE PRESERVATION & SITE MANAGEMENT PLAN

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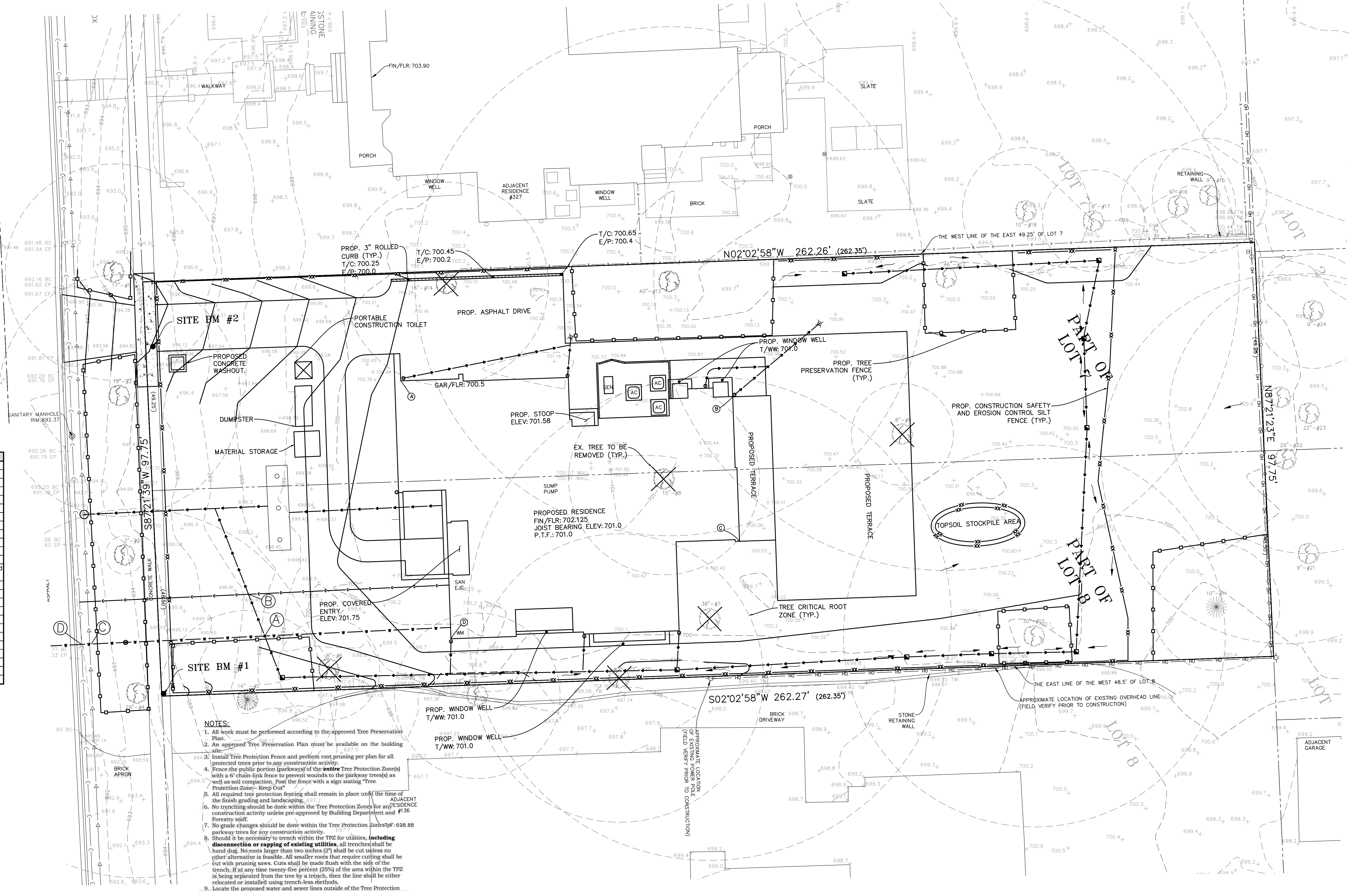
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  - W WEST
  - WW WINDOW WELL
  - XXX'XXX' MEASURED DIMENSION
  - (XXX'XXX') RECORD DIMENSION

**337 E 3rd Street Tree Inventory**

Tree #	Size (in.)	Scientific Name	Common Name	Condition	Recommended Action
1	17	<i>Acer saccharum</i>	Sugar Maple	Fair	Tree protection fence
2	19	<i>Tilia americana</i>	Linden	Good	Tree protection fence
3	3	<i>Tilia americana</i>	Linden	Good	Tree protection fence
4	29	<i>Celtis occidentalis</i>	Hackberry	Good	Tree protection fence
5	14	<i>Picea canadensis</i>	Norway Spruce	Good	Tree protection fence
6	8	<i>Quercus macrocarpa</i>	Bur Oak	Good	Remove
7	38	<i>Ulmus americana</i>	American Elm	Good	Remove
8	15	<i>Acer rubrum</i>	Red Maple	Good	Remove
9	8	<i>Cercis canadensis</i>	Eastern Redbud	Fair	Remove
10	30	<i>Gleditsia triacanthos</i>	Honey Locust	Good	Tree protection fence
11	10	<i>Pinus strobus</i>	White Pine	Good	Tree protection fence
12	46	<i>Acer saccharinum</i>	Silver Maple	Fair	Tree protection fence and hand dig drain line
13	40	<i>Gleditsia triacanthos</i>	Honey Locust	Good	Tree protection fence
14	16	<i>Gleditsia triacanthos</i>	Honey Locust	Good	Remove
15	9	<i>Picea pungens</i>	Blue Spruce	Fair	No action needed
16	9	<i>Picea pungens</i>	Blue Spruce	Good	No action needed
17	8	<i>Picea pungens</i>	Blue Spruce	Good	No action needed
18	10	<i>Aesculus glabra</i>	Horse Chestnut	Good	No action needed
19	13	<i>Juglans nigra</i>	Black Walnut	Good	Root pruning at contour lines
20	23	<i>Ulmus americana</i>	American Elm	Fair	Remove
21	9	<i>Fraxinus pennsylvanica</i>	Green Ash	Poor	No action needed
22	29	<i>Ulmus americana</i>	American Elm	Good	No action needed
23	22	<i>Juglans nigra</i>	Black Walnut	Fair	No action needed
24	9	<i>Pinus strobus</i>	White Pine	Good	No action needed

- Rating is based on tree health and structural integrity.
  - Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
  - Install Tree Protection Fence per Tree Protection Plan prior to any construction activity.
  - Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out"
  - At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
  - The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
  - Tree Protection Zone is the designated area that encompasses and entire tree canopy.
- This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.
- The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

11/25/2024



- NOTES:**
1. All work must be performed according to the approved Tree Preservation Plan.
  2. An approved Tree Preservation Plan must be available on the building site.
  3. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
  4. Fence the public portion (parkways) of the entire Tree Protection Zone(s) with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction. Post the fence with a sign stating "Tree Protection Zone - Keep Out"
  5. All required tree protection fencing shall remain in place until the time of the finish grading and landscaping.
  6. No trenching should be done within the Tree Protection Zone(s) for any construction activity unless pre-approved by Building Department and #136 Forestry staff.
  7. No grade changes should be done within the Tree Protection Zones. If necessary, parkway trees for any construction activity.
  8. Should it be necessary to trench within the TPZ for utilities, including disconnection or capping of existing utilities, all trenches shall be hand dug. No roots larger than two inches (2") shall be cut unless no other alternative is feasible. All smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
  9. Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods. **Anger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone**
  10. The proposed water service line valves (B-Boxes), is to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.
  11. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip-line (TPZ) of the parkway trees.
  12. Removal of any hardscape within the Tree Protection Zones will be done by hand. No roots larger than two inches (2") shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
  13. Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy)
  14. The Tree Protection Zone may be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.

All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down any tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).

PREPARED FOR: CHANDRAN

ENGINEERING RESOURCE ASSOCIATES

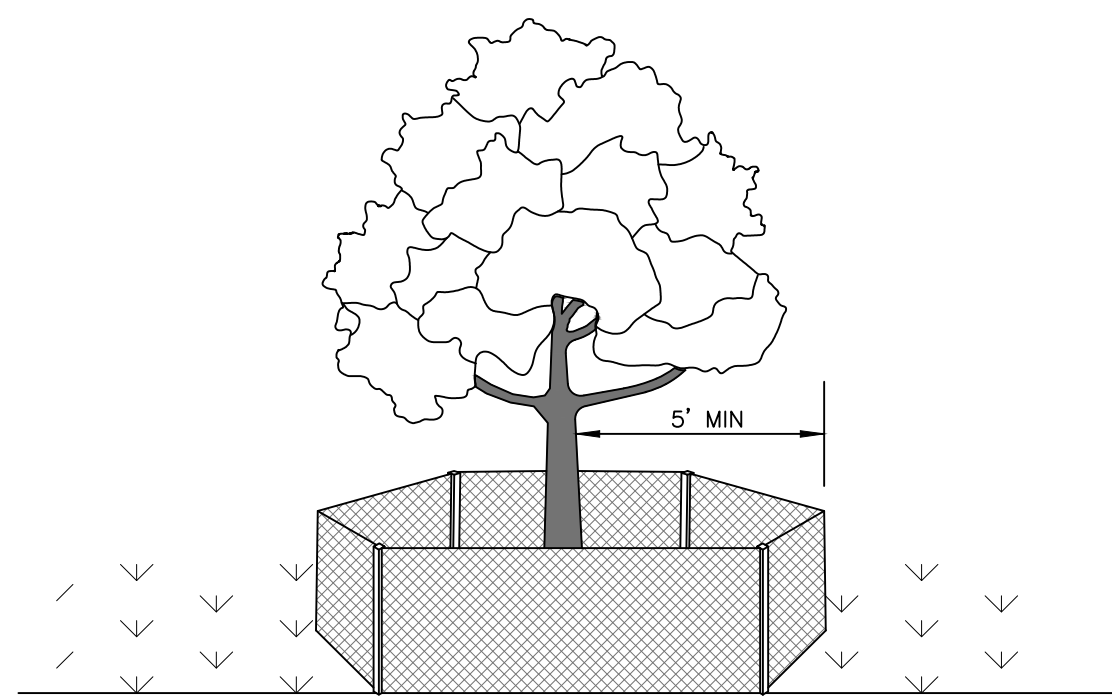
35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

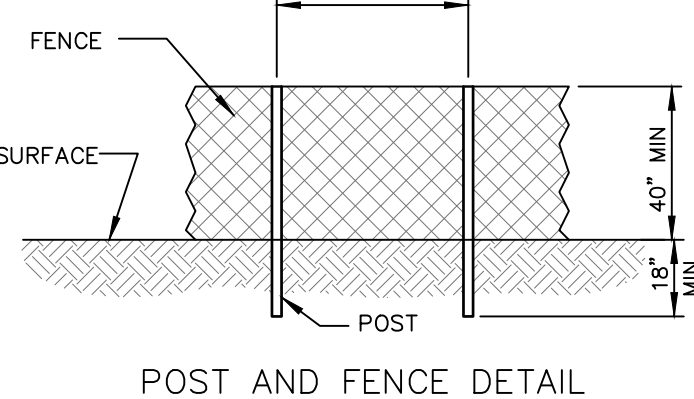
2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

**NOTES:**

- ANY DEMOLITION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF HINSDALE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE PLACED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE LOCATED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.5" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. SEWERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING E THIRD STREET CURB AND GUTTER.
- CONSTRUCTION SCHEDULE:
  - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SPRING 2025
  - EXISTING STRUCTURES SHALL BE DEMOLISHED. - SPRING 2025
  - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. - SUMMER 2025
  - CONSTRUCT PROPOSED RESIDENCE AND INSTALL DRIVEWAY. - FALL 2025
  - PREPARE AND SUBMIT RECORD DRAWINGS. - SPRING 2026
  - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - SUMMER 2026
- CONTACT PERSON FOR SITE: KARTHIK CHANDRAN (630) 605-6023
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- CONTRACTOR SHALL REMOVE AND REPLACE SIDEWALK WHERE NECESSARY PER VILLAGE AND ADA STANDARDS.
- SIDEWALK MUST REMAIN PASSABLE FOR STUDENT PEDESTRIAN TRAFFIC AT ALL TIMES.
- OVERFLOW PIPE IS TO BE CONNECTED TO THE EXISTING STORM SEWER. CONTRACTOR SHALL COORDINATE WITH VILLAGE ROADWAY CONTRACTOR DURING CONSTRUCTION OF THE OVERFLOW PIPE CONNECTION.
- THE PROPOSED DRIVEWAY AREA AND UTILITY INSTALLATION SHOULD BE INSTALLED USING TECHNIQUES TO MINIMIZE DAMAGE TO THE PARKWAY TREE.
  - THE VILLAGE WILL REQUIRE THAT THE TREE PROTECTION FENCE BE INSTALLED A MINIMUM DISTANCE FROM THE TREE.
    - HAND DIGGING ONLY WITHIN TREE PROTECTION ZONES.
    - ROOT PRUNING WILL BE USED AS NECESSARY PRIOR TO THE DRIVEWAY DEMOLITION TO PRUNE TREE ROOTS.
    - ALL TREE PROTECTION FENCING WILL BE MAINTAINED IN ALL AREAS OUTSIDE OF THE APPROX EXCAVATION AREA.
    - MINIMAL EXCAVATION NOT TO EXCEED 6" DEEP WITHIN TREE PROTECTION ZONES.
    - NO MATERIAL OR EQUIPMENT STORAGE WITHIN THE DRIP LINE OF PUBLIC TREES.
    - THE USE OF BRICK PAVERS FOR THE DRIVES IS RECOMMENDED.
    - NOTIFY THE VILLAGE 24 HOURS PRIOR TO THE START OF WORK WITHIN THE DRIP LINE OF THE PUBLIC TREES.
    - ALL PARTIES ACKNOWLEDGE THAT PENALTIES OUTLINED UNDER TITLE 7 CHAPTER 2 WILL BE ENFORCED. TITLE 7 SECTION 1-CHAPTER 2-B(2): ANY PERSON WHO REMOVES OR CUTS DOWN ANY TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE WITHOUT A PERMIT FROM THE VILLAGE OR CAUSES THE DEATH OF THE TREE IN ANY PUBLIC STREET OR PARKWAY OR ANY OTHER PUBLIC PLACE BE NEGLIGENCE OR FAILURE TO ADEQUATELY PROTECT SAID TREE DURING CONSTRUCTION ON THAT PERSON'S PROPERTY SHALL PAY THE VILLAGE A PERMIT FEE OF TWENTY-FIVE THOUSAND DOLLARS (\$25,000).



SECTION VIEW



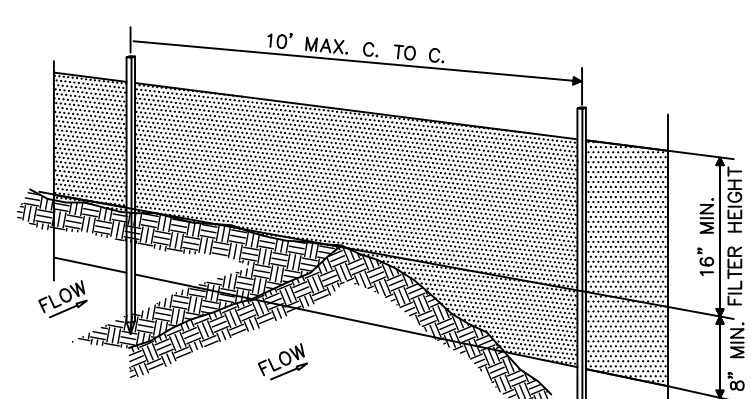
POST AND FENCE DETAIL

**NOTES:**

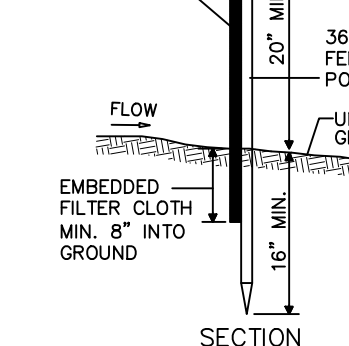
- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM GROSS SECTIONAL AREA OF 3.0 SQ. IN.
- THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

**TREE PROTECTION**

NOT TO SCALE

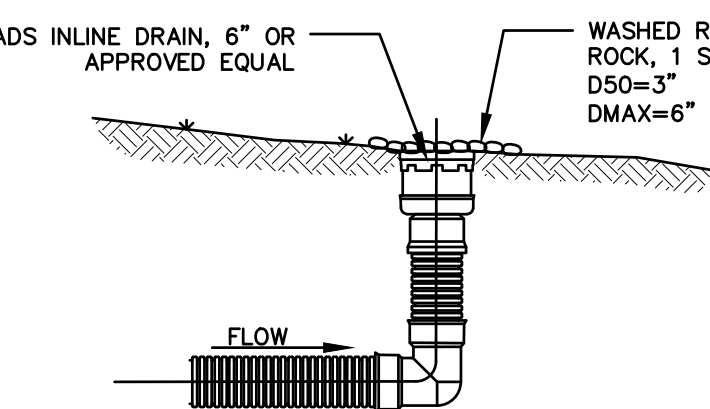


PERSPECTIVE VIEW



SILT FENCE

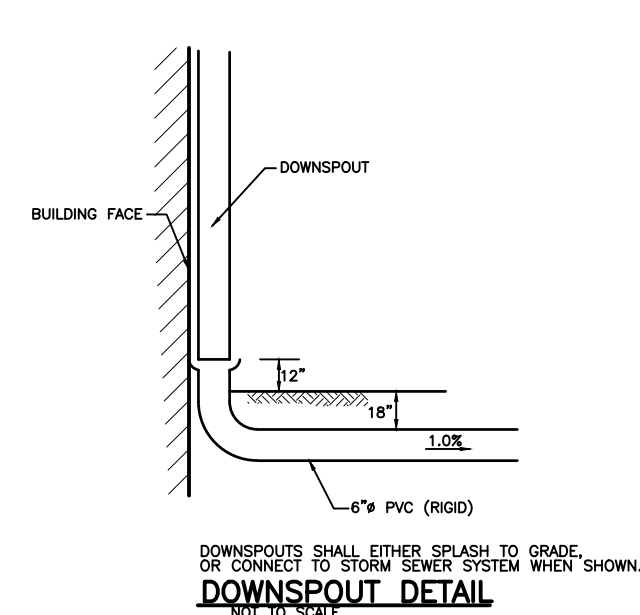
- FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN RIDGES DEVELOP IN THE SILT FENCE.
- POSTS: STEEL FENCE POST, EITHER OR U TYPE OR 2" HARDWOOD.
- FILTER CLOTH: FILTER X, MBRA1 100%, STABILKRA 134ON.
- PREFABRICATED UNIT: GEOPAL ENVIRONMENT.



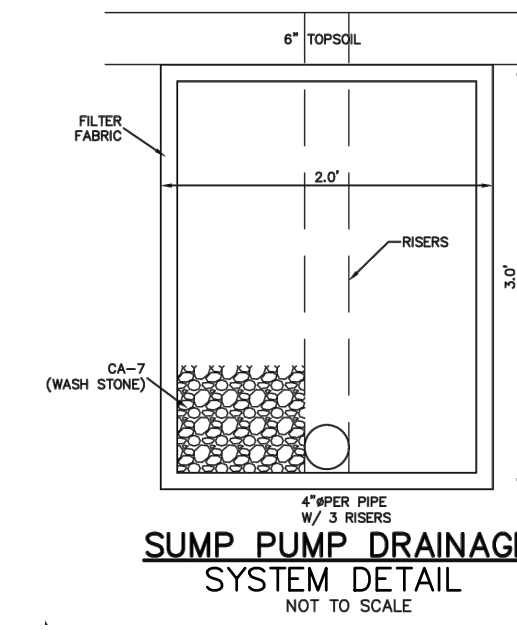
BUBBLER DETAIL

\*NOTE: COST OF WASHED RIVER ROCK SHALL BE INCLUDED IN THE COST OF BUBBLER.

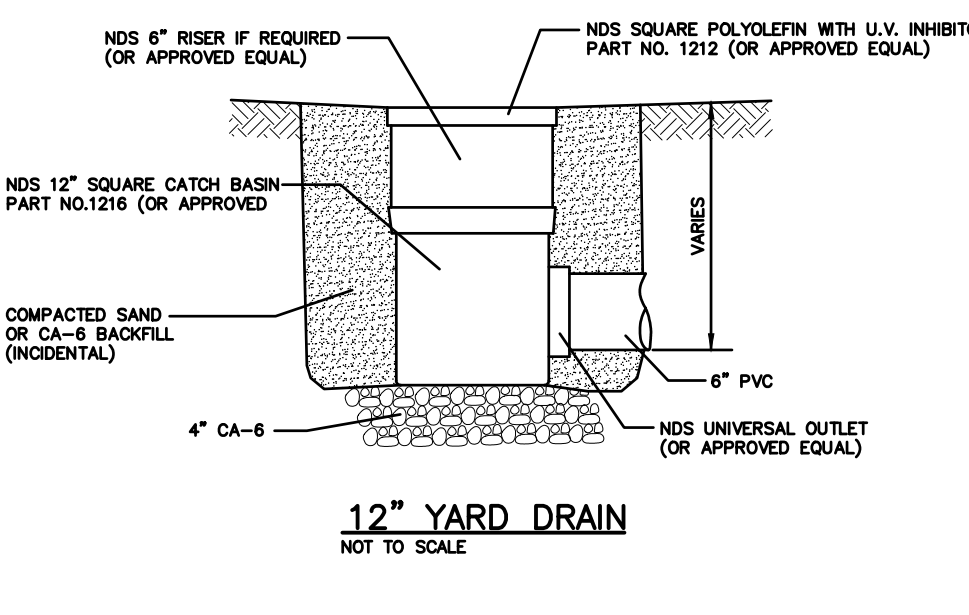
- BMP'S INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- LEVEL SPREADER INSPECTION - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- ANY CONNECTIONS TO THE STORM SEWER - INSPECTION IS REQUIRED WHEN EXCAVATION IS COMPLETE, PIPES ARE CONNECTED AND EXPOSED AND STONE FOR BACKFILLING IS ON SITE.
- DRIVEWAYS, SIDEWALKS & CURBS IN THE PARKWAY - ASPHALT OR CONCRETE, WHEN DRIVEWAY IS Laid-OUT, EXCAVATED, FORMWORK IS IN PLACE, AND SUBGRADE HAS BEEN PLACED.
- STREET PATCHES FOR SANITARY CONNECTION - 3 INSPECTIONS
- CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY FLAGG CREEK PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE.
- PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- STREET PATCHES FOR WATER CONNECTION - 3 INSPECTIONS
- CONNECTION INSPECTION TO BE CARRIED OUT AND APPROVED BY HINSDALE WATER DEPARTMENT PRE-POUR INSPECTION FOR FLOW-ABLE FILL, STONE BACKFILLED 1 FT ABOVE PIPEWORK, FLOW-ABLE FILL ON SITE.
- PRE-POUR FOR FINAL CONCRETE, 10 INCHES FROM FINAL GRADE, CONCRETE ON SITE.
- FINAL GRADE INSPECTION
- WHEN THE SITE IS COMPLETE IN ACCORDANCE WITH THE PERMITTED SITE GRADING PLAN, 70% VEGETATED AND ALL OTHER ENGINEERING AND PUBLIC WORKS INSPECTIONS ARE COMPLETE.
- STORMWATER BOND INSPECTION CARRIED OUT 12 MONTHS AFTER THE CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.



DOWNSPOUT DETAIL



SUMP PUMP DRAINAGE SYSTEM DETAIL

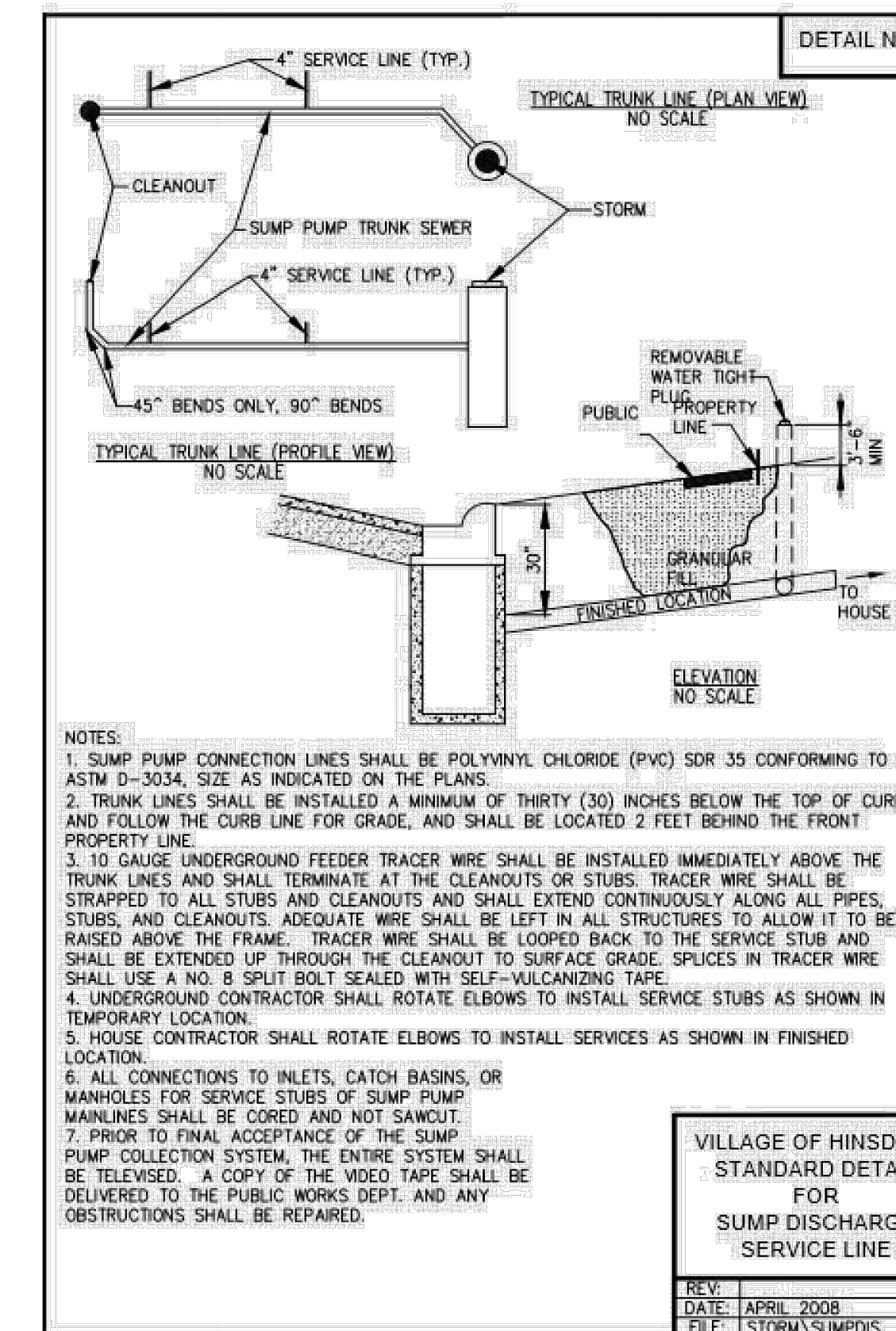


12" YARD DRAIN

Village of Hinsdale July 2017 - Engineering Standards

Village of Hinsdale July 2017 - Engineering Standards

Village of Hinsdale July 2017 - Engineering Standards

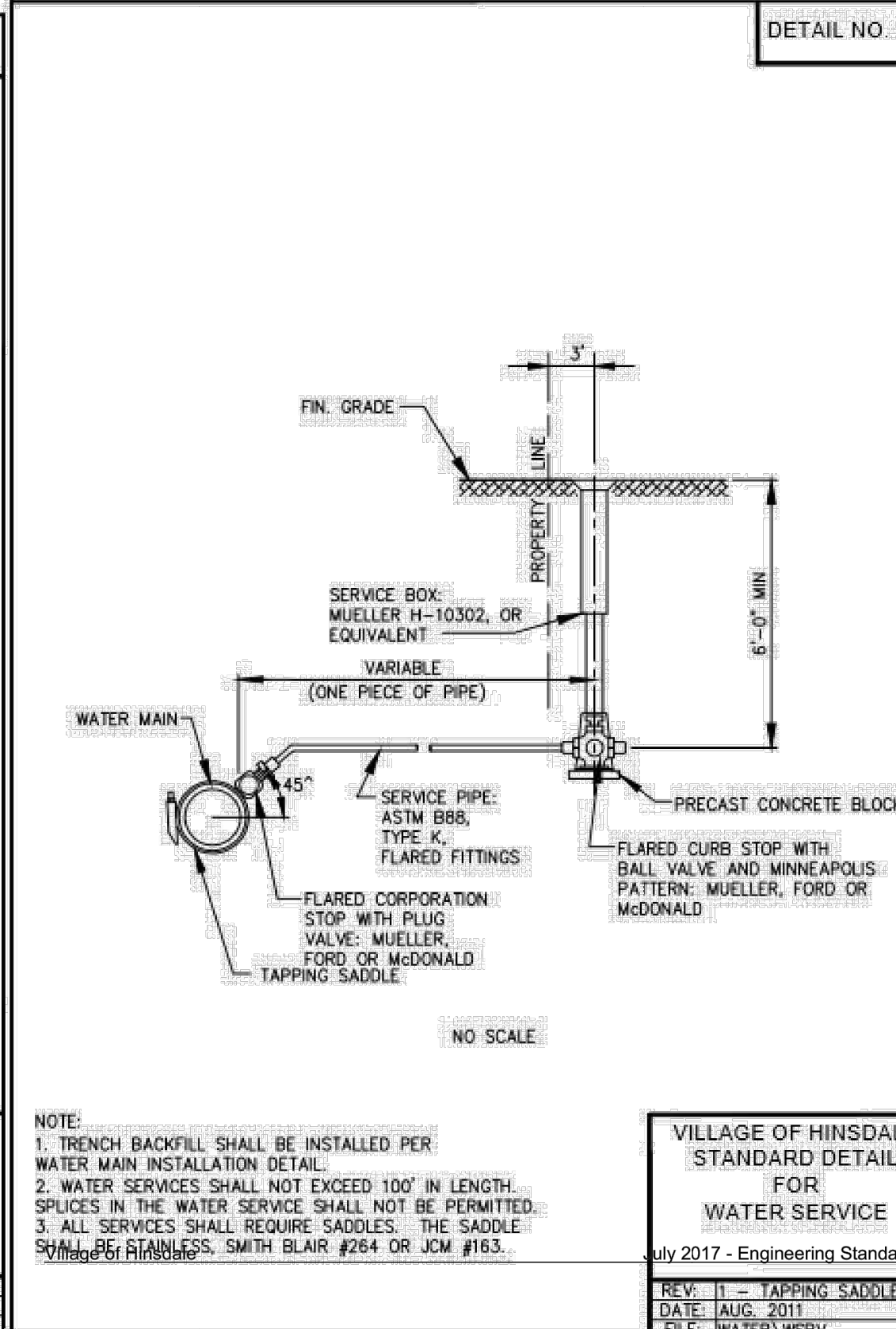


DETAIL NO. 5

- NOTES:**
- SUMP PUMP CONNECTION LINES SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 CONFORMING TO ASTM D-3034. SIZE AS INDICATED ON THE PLANS.
  - TRUNK LINES SHALL BE INSTALLED A MINIMUM OF THIRTY (30) INCHES BELOW THE TOP OF CURB AND FOLLOW THE CURB LINE FOR GRADE, AND SHALL BE LOCATED 2 FEET BEHIND THE FRONT PROPERTY LINE.
  - 10 GAUGE UNDERGROUND FEEDER TRACER WIRE SHALL BE INSTALLED IMMEDIATELY ABOVE THE TRUNK LINES AND SHALL TERMINATE AT THE CLEANOUTS OR STUBS. TRACER WIRE SHALL BE STRAPPED TO ALL STUBS AND CLEANOUTS AND SHALL EXTEND CONTINUOUSLY ALONG ALL PIPES, STUBS, AND CLEANOUTS. ADEQUATE WIRE SHALL BE LEFT IN ALL STRUCTURES TO ALLOW IT TO BE RAISED ABOVE THE FRAME. TRACER WIRE SHALL BE LOOPED BACK TO THE SERVICE STUB AND SHALL BE EXTENDED UP THROUGH THE CLEANOUT TO SURFACE GRADE. SPICES IN TRACER WIRE SHALL USE A NO. 8 SPLIT BOLT SEALED WITH SELF-HEALING TAPE.
  - UNDERGROUND CONTRACTOR SHALL ROTATE ELBOWS TO INSTALL SERVICE STUBS AS SHOWN IN TEMPORARY LOCATION.
  - HOUSE CONTRACTOR SHALL ROTATE ELBOWS TO INSTALL SERVICES AS SHOWN IN FINISHED LOCATION.
  - ALL CONNECTIONS TO INLETS, CATCH BASINS, OR MANHOLES FOR SERVICE STUBS OF SUMP PUMP MANHOLES SHALL BE CODED AND NOT SAW CUT.
  - PRIOR TO FINAL ACCEPTANCE OF THE SUMP PUMP COLLECTION SYSTEM, THE ENTIRE SYSTEM SHALL BE TELEVIEWED. A COPY OF THE VIDEO TAPE SHALL BE DELIVERED TO THE PUBLIC WORKS DEPT. AND ANY OBSTRUCTIONS SHALL BE REPAIRED.

VILLAGE OF HINSDALE STANDARD DETAIL FOR SUMP DISCHARGE SERVICE LINE

REV. 1 - TAPPING SADDLE  
DATE: APRIL 2008  
FILE: STORM/SUMPDIS

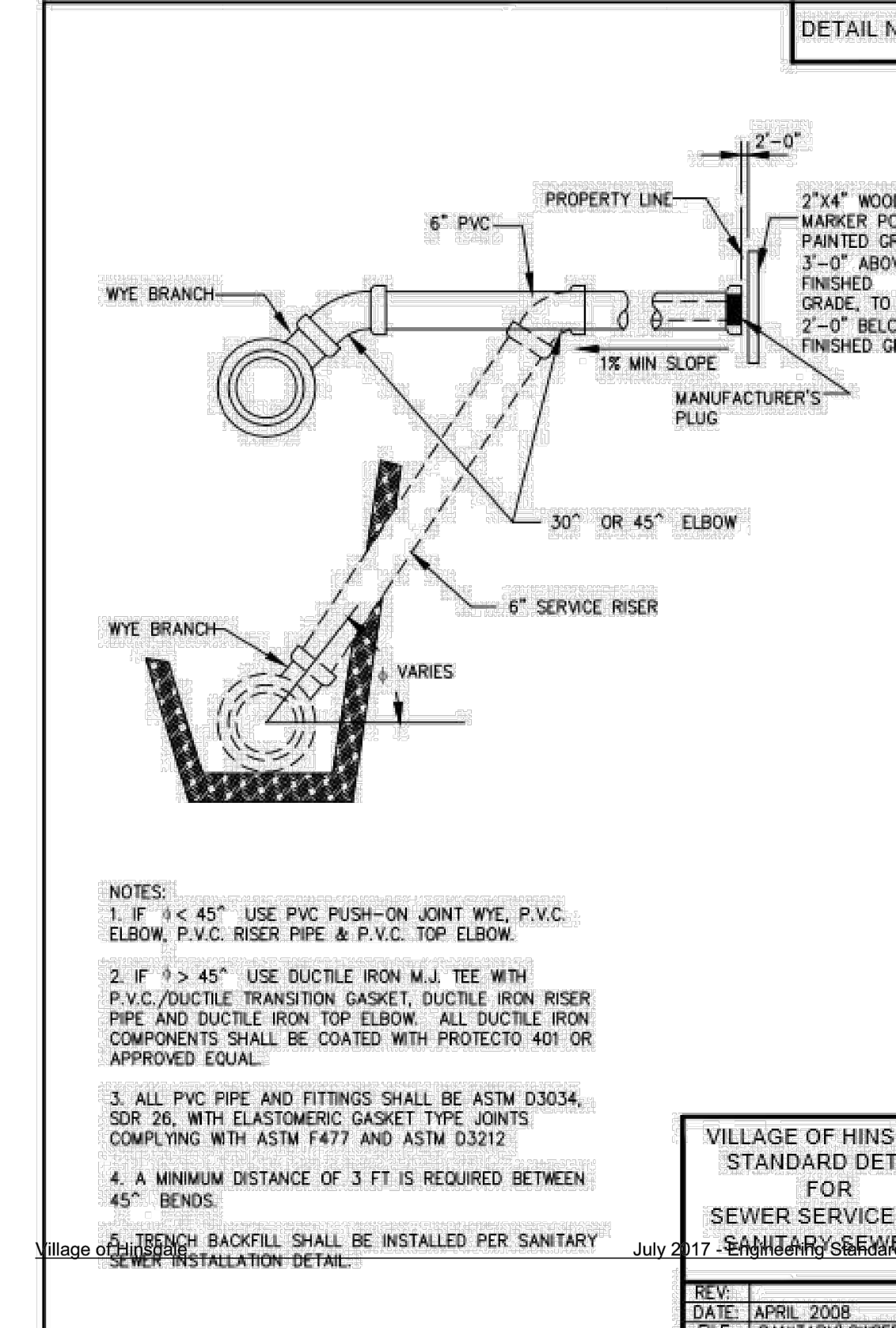


DETAIL NO. 18

- NOTE:**
- TRENCH BACKFILL SHALL BE INSTALLED PER WATER MAIN INSTALLATION DETAIL.
  - WATER SERVICES SHALL NOT EXCEED 100' IN LENGTH.
  - ALL SERVICES SHALL REQUIRE SADDLES. THE SADDLE SHALL BE STABLES, SMITH BLAIR #284 OR JCM #163.

VILLAGE OF HINSDALE STANDARD DETAIL FOR WATER SERVICE

REV. 1 - TAPPING SADDLE  
DATE: AUG. 2011  
FILE: WATER/SVSRV

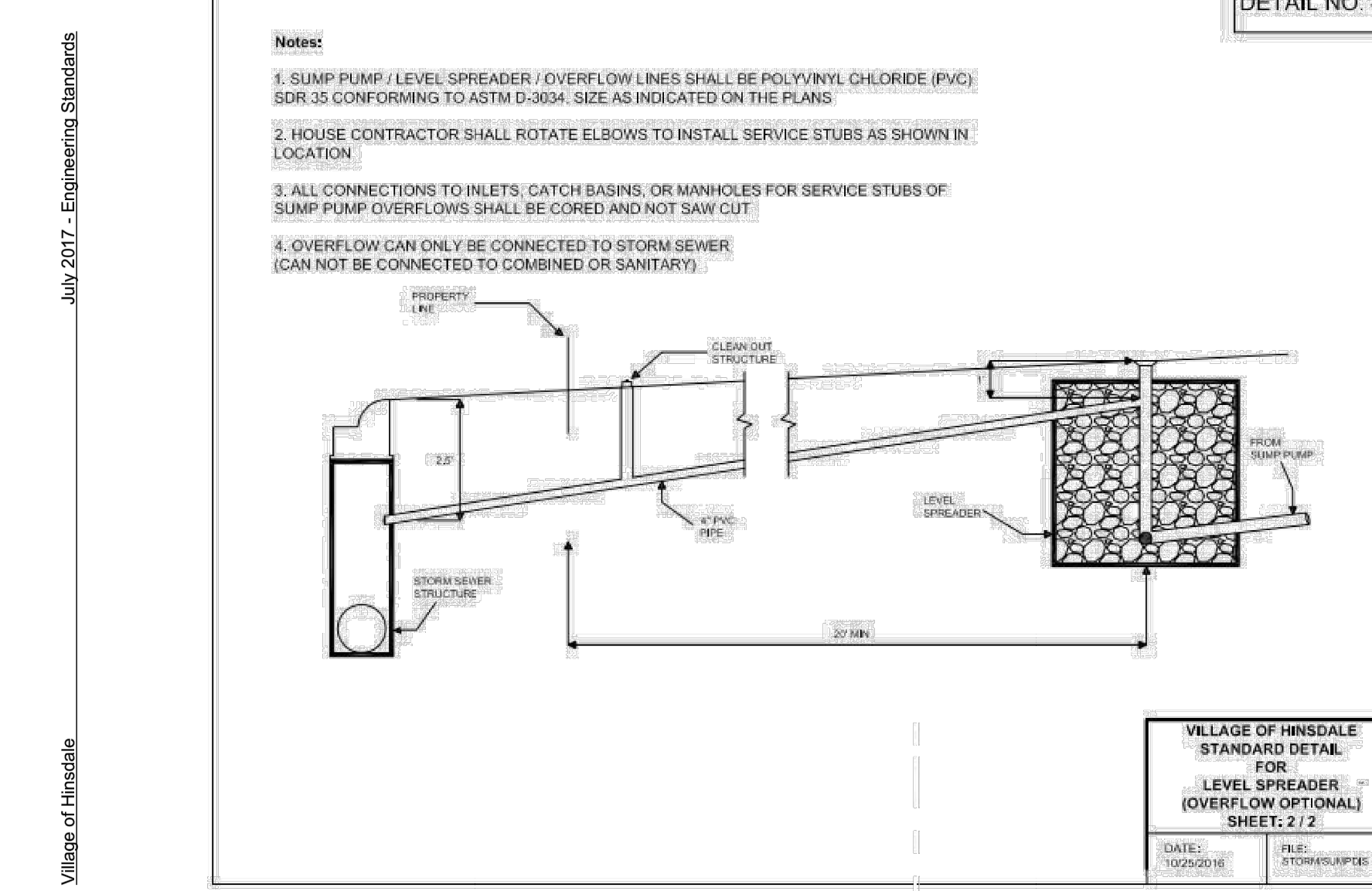


DETAIL NO. 22

- NOTES:**
- IF 1/4" 45" USE PVC PUSH-ON JOINT WYE, P.V.C. ELBOW, P.V.C. RISER PIPE & P.V.C. TOP ELBOW.
  - IF 1/2" 45" USE DUCTILE IRON M.J. TEE WITH P.V.C./DUCTILE TRANSITION GASKET, DUCTILE IRON RISER PIPE AND DUCTILE IRON TOP ELBOW. ALL DUCTILE IRON COMPONENTS SHALL BE COATED WITH PROTECTO 401 OR APPROVED EQUAL.
  - ALL PVC PIPE AND FITTINGS SHALL BE ASTM D3034, SDR 26, WITH ELASTOMERIC GASKET TYPE JOINTS COMPLYING WITH ASTM F477 AND ASTM D3212.
  - A MINIMUM DISTANCE OF 3 FT IS REQUIRED BETWEEN 45" BENDS.
- TRENCH BACKFILL SHALL BE INSTALLED PER SANITARY SEWER INSTALLATION DETAIL.

VILLAGE OF HINSDALE STANDARD DETAIL FOR SEWER SERVICE FOR SANITARY SEWERS

REV. 1 - TAPPING SADDLE  
DATE: APRIL 2008  
FILE: SANITARY/SWSEW1

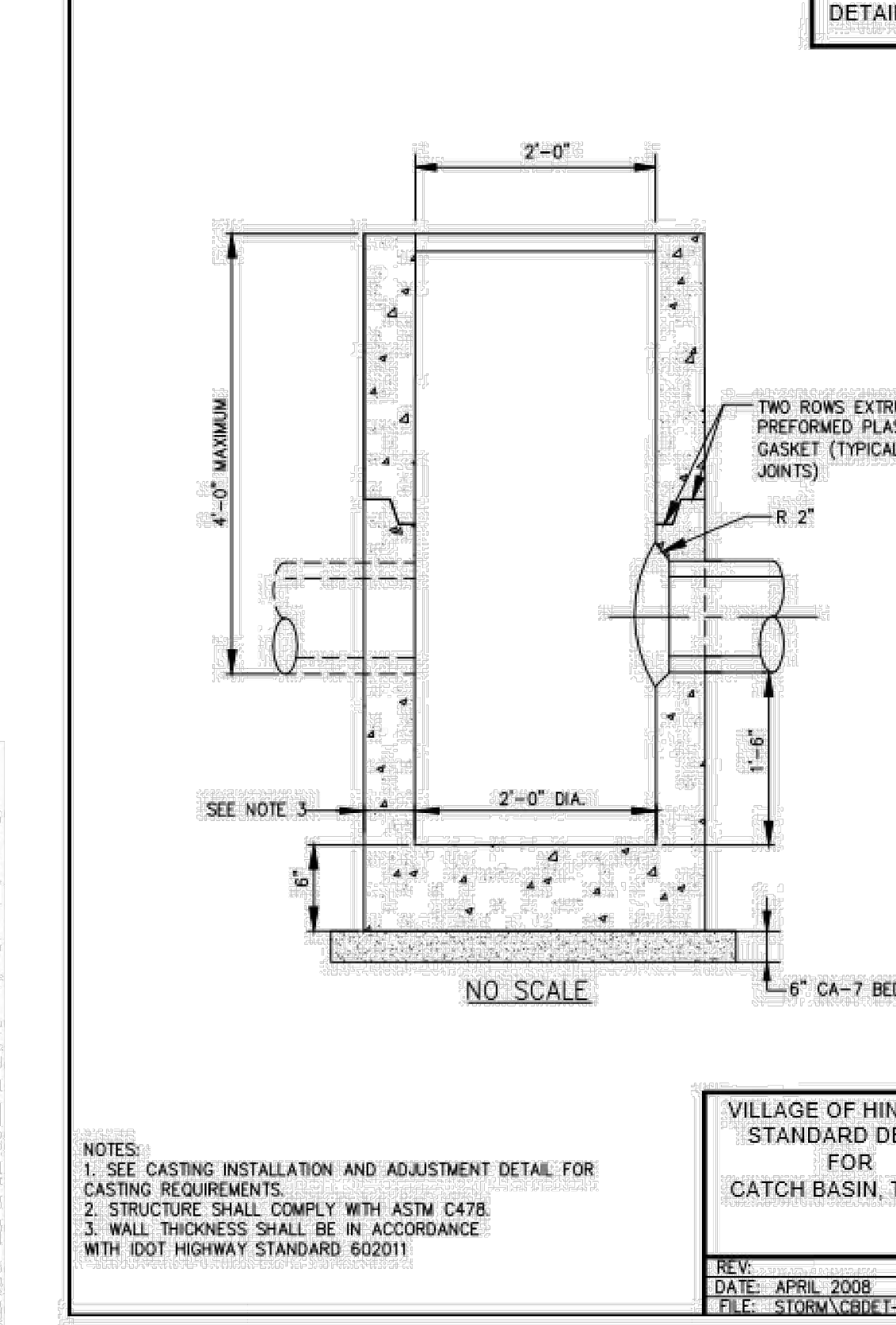


DETAIL NO. 45

- Notes:**
- SUMP PUMP LEVEL SPREADER/OVERFLOW LINES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 CONFORMING TO ASTM D-3034. SIZE AS INDICATED ON THE PLANS.
  - HOUSE CONTRACTOR SHALL ROTATE ELBOWS TO INSTALL SERVICE STUBS AS SHOWN IN LOCATION.
  - ALL CONNECTIONS TO INLETS, CATCH BASINS, OR MANHOLES FOR SERVICE STUBS OF SUMP PUMP/OVERFLOWS SHALL BE CODED AND NOT SAW CUT.
  - OVERFLOW CAN ONLY BE CONNECTED TO STORM SEWER (CAN NOT BE CONNECTED TO COMBINED OR SANITARY).

VILLAGE OF HINSDALE STANDARD DETAIL FOR LEVEL SPREADER (OVERFLOW OPTIONAL) SHEET: 2/2

REV. 1 - TAPPING SADDLE  
DATE: APRIL 2008  
FILE: STORM/SUMPDIS

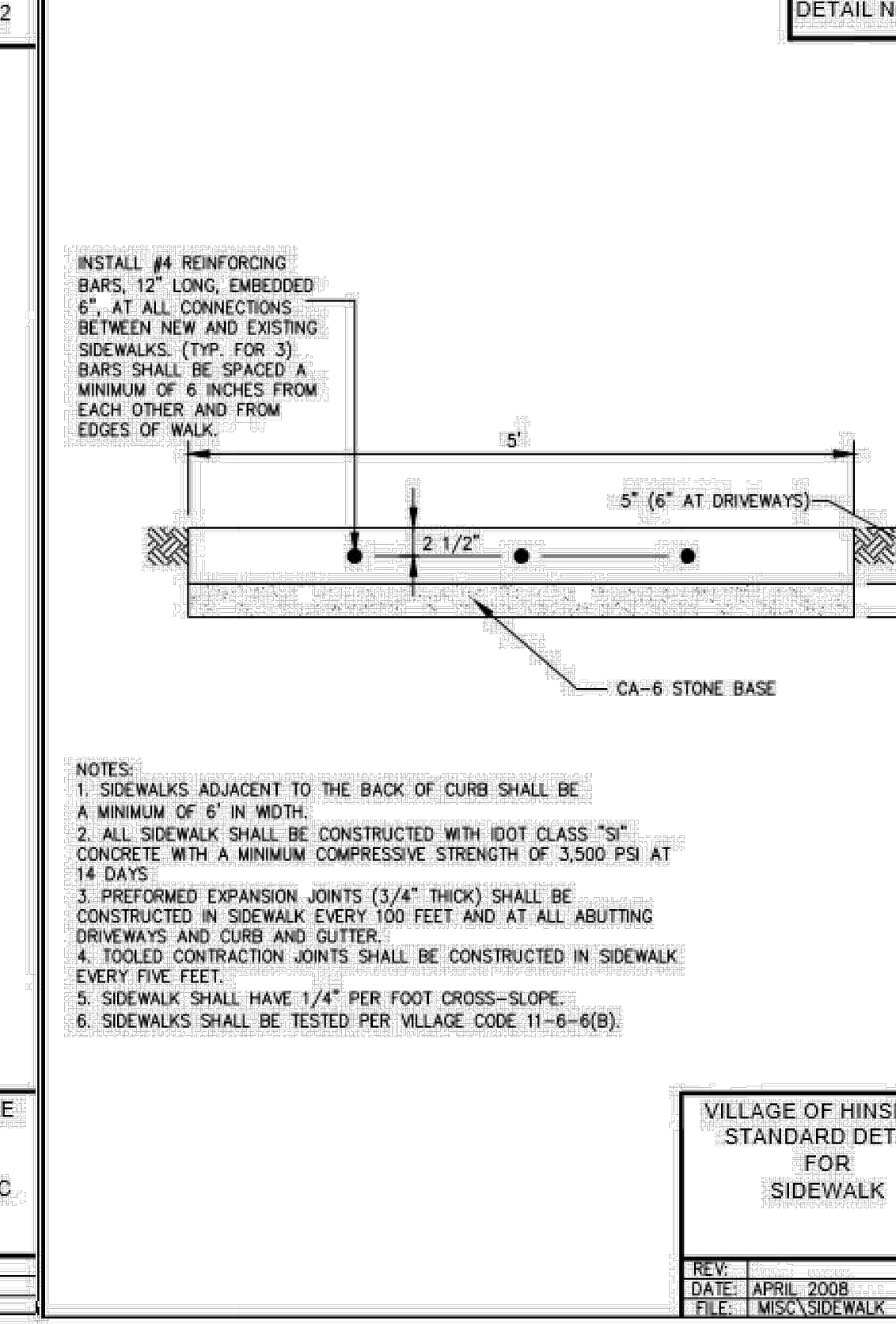


DETAIL NO. 2

- NOTES:**
- SEE CASTING INSTALLATION AND ADJUSTMENT DETAIL FOR CASTING REQUIREMENTS.
  - STRUCTURE SHALL COMPLY WITH ASTM C478.
  - WALL THICKNESS SHALL BE IN ACCORDANCE WITH DOT HIGHWAY STANDARD 602011.

VILLAGE OF HINSDALE STANDARD DETAIL FOR CATCH BASIN, TYPE C

REV. 1 - TAPPING SADDLE  
DATE: APRIL 2008  
FILE: STORM/INLET-C

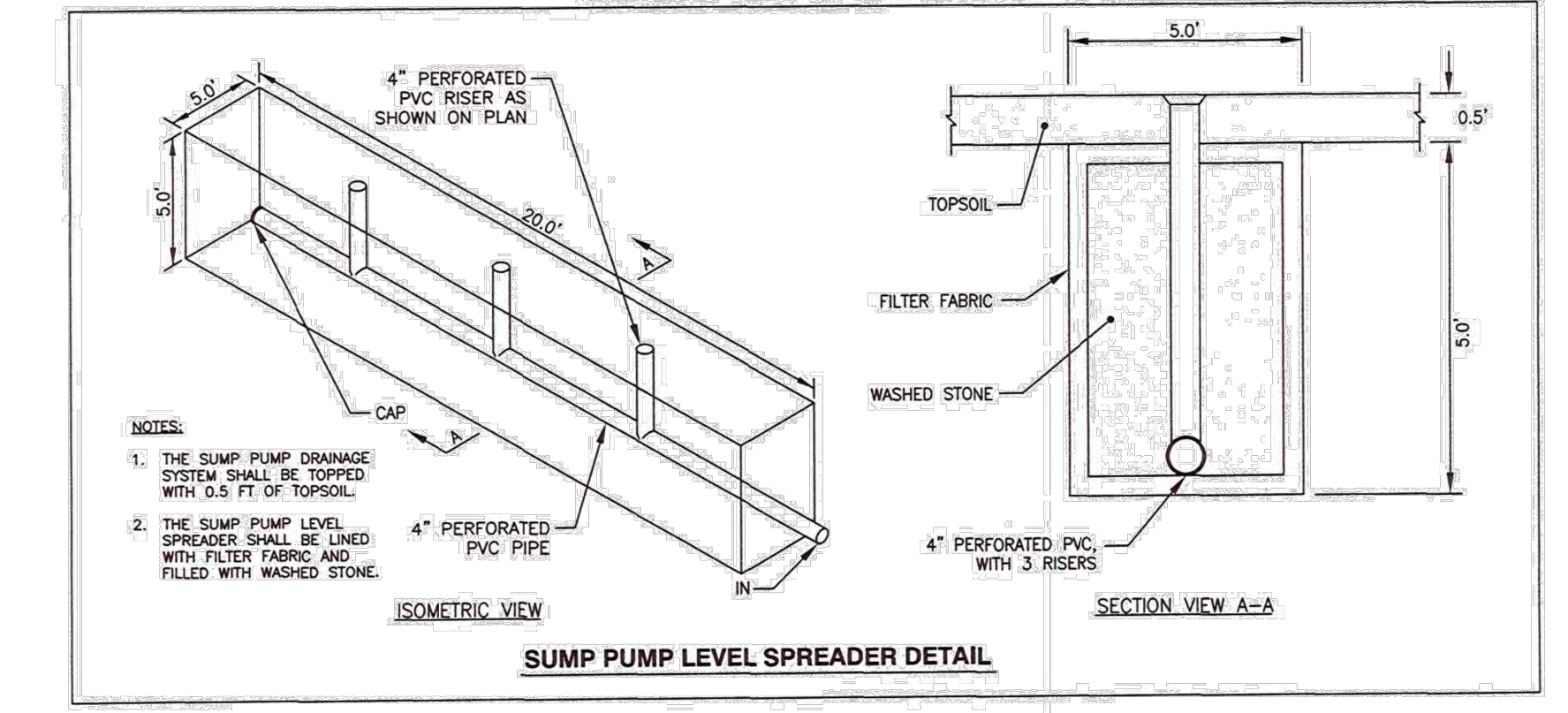


DETAIL NO. 42

- INSTALL #4 REINFORCING BARS, 12" LONG, EMBEDDED 6" AT ALL CONNECTIONS BETWEEN NEW AND EXISTING SIDEWALKS (TYP. FOR 3) BARS SHALL BE SPACED A MINIMUM OF 6 INCHES FROM EACH OTHER AND FROM EDGES OF WALK.**
- NOTES:**
- SIDEWALKS ADJACENT TO THE BACK OF CURB SHALL BE A MINIMUM OF 6" IN WIDTH.
  - ALL SIDEWALK SHALL BE CONSTRUCTED WITH DOT CLASS "B" CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 14 DAYS.
  - PREFORMED EXPANSION JOINTS (1/4" THICK) SHALL BE CONSTRUCTED IN SIDEWALK EVERY 100 FEET AND AT ALL ABUTTING DRIVEWAYS AND CURB AND GUTTER.
  - TOOLED CONTRACTION JOINTS SHALL BE CONSTRUCTED IN SIDEWALK EVERY FIVE FEET.
  - SIDEWALK SHALL HAVE 1/4" PER FOOT CROSS-SLOPE.
  - SIDEWALKS SHALL BE TESTED PER VILLAGE CODE 11-6-6(B).

VILLAGE OF HINSDALE STANDARD DETAIL FOR SIDEWALK

REV. 1 - TAPPING SADDLE  
DATE: APRIL 2008  
FILE: MISC/SIDEWALK



SUMP PUMP LEVEL SPREADER DETAIL

- NOTES:**
- THE SUMP PUMP MANHOLE SHALL BE TOPPED WITH 18" OF TOPSOIL.
  - THE SUMP PUMP LEVEL SPREADER SHALL BE LINED WITH FILTER FABRIC AND FILLED WITH WASHED STONE.