



MEETING AGENDA

HISTORIC PRESERVATION COMMISSION

Wednesday, December 6, 2023

6:30 p.m.

MEMORIAL HALL – MEMORIAL BUILDING

19 East Chicago Avenue, Hinsdale, Illinois 60521

(Tentative & Subject to Change)

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES – November 6, 2023 Special Meeting

4. PUBLIC HEARINGS

- a) Case HPC-19-2023 – 425 E. Eighth Street – Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

5. PUBLIC COMMENT

6. NEW BUSINESS

- a) Sign Code Update

7. OLD BUSINESS

- a) Amendments to Title 14 – Status Update
- b) Robbins Park Historic District Gateway Signs
- c) Sixth Street Improvement Project

8. ADJOURNMENT

Public comments are welcome on any topic related to the business of the Commission at Regular and Special Meetings during the portion of the meeting devoted to a particular agenda item, or during the period designated for public comment for non-agenda items. Individuals who wish to comment must be recognized by the Chairperson and then speak at the podium, beginning by identifying themselves by name and address. All members of the public are requested to keep their written comments or testimony to three pages or less, and speakers are requested to keep their live comments or testimony to five minutes or less. Submissions or comments exceeding those limits may, if time allows and at the discretion of the Chairperson, be presented after all others have had an opportunity to testify, comment or have their comments read. Matters on this Agenda may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

The Village of Hinsdale is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact Andrianna Peterson, ADA Coordinator at 630-789-7005 to allow the Village of Hinsdale to make reasonable accommodations for those persons. Additional information may be found on the Village's website at www.villageofhinsdale.org

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION
MINUTES OF THE SPECIAL MEETING
Wednesday, November 6, 2023**

The specially scheduled meeting of the Village of Hinsdale Historic Preservation Commission was called to order by Chairman Bohnen in Memorial Hall of the Memorial Building, 19 E. Chicago Avenue, Hinsdale, IL on Wednesday, November 6, 2023 at 6:34 p.m., roll call was taken.

PRESENT: Commissioners Sarah Barclay, Shannon Weinberger, William Haarlow, and Jim Prisby, Chris Elder, and Chairman Bohnen

ABSENT: Commissioner Frank Gonzalez

ALSO PRESENT: Bethany Salmon, Village Planner and Robert McGinnis, Director of Community Development

Approval of Minutes – September 6, 2023

Chairman Bohnen asked for comments on the draft of the September 6, 2023 Historic Preservation Commission meeting minutes. No comments were shared. Commissioner Weinberger made a motion, seconded by Commissioner Prisby, to approve the draft meeting minutes of the September 6, 2023 Historic Preservation Commission meeting minutes as submitted. The motion carried with roll call vote of 4-0 as follows.

AYES: Commissioners Barclay, Weinberger, Haarlow, and Prisby
NAYS: None
ABSTAIN: Commissioner Bohnen and Chairman Bohnen
ABSENT: Commissioner Gonzalez

Public Hearing

a) Case HPC-14-2023 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 6)

Please refer to **Attachment 1** for the transcript for Public Hearing Case HPC-14-2023.

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to open the Public Hearing for Case HPC-14-2023 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 6). The motion carried with a roll call vote of 6-0 as follows:

AYES: Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Gonzalez

Chairman Bohnen asked for any members of the public wishing to speak to stand and be sworn in.

Ms. Salmon provided a brief summary of the process for consideration of the sixth round of properties, containing five properties, to be discussed. Ms. Salmon introduced each proposed property for the list and the Commission briefly discussed the appropriate criteria item to qualify the property for inclusion. Discussion followed relating to information on the individual properties. The public hearing transcript

detailing items of discussion for each property is included in Attachment 1. Commissioners identified appropriate criteria items for each property.

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to close the public hearing for Case HPC-14-2023 – Consideration of Properties for Inclusion on the Historically Significant Structures Property List in the Historic Overlay District (Round 6). The motion carried with a roll call vote of 6-0 as follows:

AYES: Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Gonzalez

Commissioner Weinberger made a motion, seconded by Commissioner Barclay, to recommend to the Village Board approval of the following properties for inclusion of the Historically Significant Structures Property List in the Historic Overlay District under Case HPC-14-2023: 232 S. Clay Street, 202 E. Fourth Street, 306 N. Garfield Avenue, 134 S. Park Avenue, and 408 S. Washington Street. The motion carried with a roll call vote of 6-0 as follows:

AYES: Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Gonzalez

Signage

a) Case A-30-2023 – Sign Permit Review – 33 E. First Street – Frederick Lynn – Installation of One (1) Wall Sign

Cameron Anderson of Right Way Signs gave a brief overview of the proposed sign and the two (2) sandblasted HDU panels to be installed on the front and side of the sign band area. The non-illuminated sign will be made of ¾ inch thick aluminum letters and the gooseneck lighting will be replaced.

Commissioner Prisby confirmed the replacement lights will be black in color.

Commissioner Haarlow confirmed the side panel of the sign was an architectural feature.

It was clarified that the sign was for the second floor tenant who has a separate first floor entrance. It was noted that the sign could cause some confusion for a potential first floor tenant and it was unclear what signage plans the building owner has when the first floor is rented. It was also stated that it would be difficult to rent the first floor space with the signage for this application.

Commissioner Barclay made a motion, seconded by Commissioner Weinberger, to approve Case A-30-2023 – Sign Permit Review – 33 E. First Street – Frederick Lynn – Installation of One (1) Wall Sign. The motion carried with a roll call vote of 6-0 as follows:

AYES: Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS: None
ABSTAIN: None
ABSENT: Commissioner Gonzalez

b) Case A-33-2023 – Sign Permit Review – 114 S. Washington Street – Que Miso – Installation of One (1) Wall Sign

Collin Ringelstetter-Ennis, owner of Que Miso, gave a brief overview of the 11.5 square foot halo-lit sign to be installed on the front of the building.

Commissioner Prisby confirmed that the sign will fit inside the sign band and will be centered side to side.

Commissioner Haarlow made a motion, seconded by Commissioner Elder, to approve Case A-33-2023 – Sign Permit Review – 114 S. Washington Street – Que Miso – Installation of One (1) Wall Sign. The motion carried with a roll call vote of 6-0 as follows:

AYES:	Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Gonzalez

c) Case A-38-2023 – Sign Permit Review – 32 E. First Street – Rush University Medical Center – Installation of One (1) Wall Sign

Jim Griffin, the attorney representing Rush University Medical Center – Hinsdale, stated a wall sign is proposed for second floor medical offices that have no direct, exclusive entrance from the first floor. Rush will occupy over eighty percent of the second floor tenant space. Mr. Griffin stated that the building permit for the office space has been issued and the application meets the allowable square footage and illumination standards.

Commissioner Prisby asked staff for the approval history of internally-lit letters for other signs. Ms. Salmon responded that the majority of these types of signs have only been approved for this building in the downtown area. Mr. Griffin stated that this sign was designed to be consistent with the other signs on the building. Commissioner Prisby stated that he is not a fan of internally-lit letter signs but does not have a problem with this one since others has been allowed for this building in the past.

Commissioner Weinberger confirmed the sign will be centered on the sign band and only installed on the façade facing First Street. The applicant stated that there is no intention to place a sign facing the parking lot on the rear of the building. It was stated that this application will go to the Plan Commission for approval because of the shared entrance.

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to approve Case A-38-2023 – Sign Permit Review – 32 E. First Street – Rush University Medical Center – Installation of One (1) Wall Sign. The motion carried with a roll call vote of 6-0 as follows:

AYES:	Commissioners Barclay, Weinberger, Haarlow, Prisby, and Elder and Chairman Bohnen
NAYS:	None
ABSTAIN:	None
ABSENT:	Commissioner Gonzalez

Public Comment

No public comments were shared

New Business

a) Preservation Incentive Applications for a Historically Significant Structures Property - Alternative Zoning Regulations and Accessory Structures

Robert McGinnis, Director of Community Development, was present to listen to the conversation and offer comments. Mr. McGinnis stated that it may not have been anticipated that this program be utilized for relief on accessory structures however if a homeowner makes a large investment into an improvement of an accessory structure, they are not likely inclined to demolish the residence, which is the intended ultimate goal of the program.

Chairman Bohnen stated the counter argument is that although a large investment to an accessory structure might be made to a property for the owner's specific use, the question to be considered is if this improvement is considered a "necessity" and does it result in ultimately saving the home.

Ms. Salmon stated that of the seven (7) approved incentive projects so far, four (4) included at least some accessory structure improvement in the scope of work. Design professionals have stated that projects involving accessory structure improvements tend to be the quickest and easiest projects and therefore perhaps these types of projects ended up being some of the first to be considered with larger, more complex house projects in the works.

The concern is that accessory structure improvements could potentially lead to the problem of them becoming ancillary living quarters, which is prohibited in the Village. The question was posed if the Commission was content with continuing to evaluate each application on a case by case basis or is there a need to tighten up the language at this time.

The Commission did not feel a change in the language to tighten the program was needed at this time.

OLD BUSINESS

a) Amendments to Title 14 – Status Update

Chairman Bohnen requested to hold a conversation at the December HPC meeting about taking a stronger position on tear downs and changes to the existing process. One recommendation would be made to the Village Board, a body of elected officials rather than appointees, a decision maker for final approval of demolitions. Based on previous conversations with some Trustees, it was suggested that they felt comfortable with taking this position.

Ms. Salmon was asked to include the prior proposed code amendments and documents from the former planning consultant on this topic in the next packet so Commissioners can have the opportunity to review previously discussed information and perhaps to discuss at the January meeting.

Commissioner Weinberger asked for the sign code to be added as an item of New Business at a future meeting to move forward the previous work completed by Commissioner Prisby.

b) Robbins Park Historic District Gateway Signs

Ms. Salmon asked Parvin-Clauss, the sign contractor, for additional design revisions to Option C based on the past recommendations from the Historic Preservation Commission. The options presented tonight are various iterations of the design selected at the last meeting. This year's budget includes the budget

needed to complete the design of the signs. Next year's budget includes the sign fabrication and installation costs.

Commissioner Haarlow asked for the posts to be fluted, similar the existing downtown posts, as the HPC discussed in the past for these signs. Ms. Salmon will have Parvin-Clauss look into that possibility. The Commission as a whole otherwise were in agreement of Option C.

c) Sixth Street Improvement Project

Commissioner Haarlow stated that he believed the topic was tabled until next year which could result in additional funding or loss of potential funds from missed deadlines of grant/loan money. The Village also needs to take into consideration deadlines related to the Flagg Creek storm sewer project.

Chairman Bohnen asked for an update on the patio and carillon projects. Ms. Salmon reported the carillon and bells were successfully installed and tested. They should be functional for the Christmas Walk. She added that there have been a substantial amount of donations for the plaza and roof rails and the campaign is expected to wrap up toward the end of the year. Once closed, specific planning for the projects can move forward and the proposal would need to go to the Village Board for approval.

Commissioner Haarlow added that based on discussions with Andrianna Peterson, Assistant Village Manager, about \$52,000 has been raised to date. \$25,000 will be earmarked for the plaza and the remaining funds will go to the roof railing and additional plaza funds. The donations to date are less than what was hoped for by November but other significant donation pledges are expected to be added as the tax year comes to an end. The estimated cost of the roof railing project was between \$80,000- 100,000 and the patio options ranged from \$200-250,000 to as large as \$400,000 based on the design and the former estimates.

Chairman Bohnen suggested it might be helpful to obtain contractor estimates for each of the projects to determine a more accurate cost for each resulting in a better level of understanding and comfort of the donors as to what their money is actually going toward. It was added that the cost for the railing is more of a fixed amount than that of the plaza because of the various design options that can be chosen. It was noted that the plaza cost estimate on the buck slip included in the water bill was for the mid-level design.

Adjournment

Commissioner Elder made a motion, seconded by Commissioner Weinberger, to adjourn the special meeting of the Village of Hinsdale Historic Preservation Commission meeting of November 6, 2023.

The meeting was adjourned at 7:32 p.m. after a unanimous voice vote of 6-0.

ATTEST: _____
Jennifer Spires, Community Development Office

STATE OF ILLINOIS)
) ss:
 COUNTY OF DU PAGE)

BEFORE THE VILLAGE OF HINSDALE
 HISTORIC PRESERVATION COMMISSION

In the Matter of:)
)
 HPC-14-2023,)
 Consideration of Properties)
 for Inclusion on the)
 Historically Significant)
 Structures Property List)
 In the Historic Overlay)
 District.)

REPORT OF PROCEEDINGS had and testimony
 taken at the hearing of the above-entitled
 matter before the Hinsdale Historic Preservation
 Commission, on the 6th day of November, A.D.
 2023, at 6:30 p.m.

BOARD MEMBERS PRESENT:

MR. JOHN BOHNEN, Chairman;
 MR. JIM PRISBY, Member;
 MS. SHANNON WEINBERGER, Member;
 MR. BILL HAARLOW, Member;
 MR. FRANK GONZALEZ, Member;
 MS. SARAH BARCLAY, Member.

<p style="text-align: center;">2</p> <p>1 ALSO PRESENT:</p> <p>2 MS. BETHANY SALMON, Village Planner;</p> <p>3 MR. ROBERT MCGINNIS, Community Development</p> <p>4 Director.</p> <hr/> <p>5 CHAIRMAN BOHNEN: First item on our</p> <p>6 agenda is public hearing for Case HPC-14-2023,</p> <p>7 consideration of properties for inclusion on the</p> <p>8 historically significant structures property</p> <p>9 list in the Historic Overlay District.</p> <p>06:37:06PM 10 This is the sixth group of</p> <p>11 properties brought forward for review by the</p> <p>12 Historic Preservation Commission.</p> <p>13 Do we have a motion to open the</p> <p>14 public hearing, please.</p> <p>15 MR. ELDER: I'll move to open the</p> <p>16 public hearing.</p> <p>17 MS. WEINBERGER: Second.</p> <p>18 CHAIRMAN BOHNEN: Roll call vote,</p> <p>19 please.</p> <p>20 MS. SALMON: Commissioner Barclay?</p> <p>21 MS. BARCLAY: Aye.</p> <p>22 MS. SALMON: Commissioner Weinberger?</p>	<p style="text-align: center;">4</p> <p>1 brief review of the item review process required</p> <p>2 by the village code. The staff will go through</p> <p>3 each property. If staff receives any comments</p> <p>4 from the public or the commissioners, who can't</p> <p>5 attend the meeting, these can be read aloud for</p> <p>6 the record.</p> <p>7 MS. SALMON: So we are here again on</p> <p>8 our sixth round of properties. Today we have</p> <p>9 five properties that are in front of us for</p> <p>06:38:29PM 10 review. If you remember, this will be a very</p> <p>11 similar process we have all done before.</p> <p>12 I will go through each of these</p> <p>13 properties. There has been information on the</p> <p>14 history included in the packets. And as we go</p> <p>15 through one by one, we can determine the</p> <p>16 evaluation criteria that each property meets.</p> <p>17 The evaluation criteria is listed</p> <p>18 on Page 2 of the staff report and it's also</p> <p>19 included in Exhibit 4 as well. With that, I'll</p> <p>06:39:00PM 20 go through each of these properties.</p> <p>21 The first property we have on our</p> <p>22 list today is 232 South Clay Street. This is in</p>
<p style="text-align: center;">3</p> <p>1 MS. WEINBERGER: Aye.</p> <p>2 MS. SALMON: Commissioner Haarlow?</p> <p>3 MR. HAARLOW: Aye.</p> <p>4 MS. SALMON: Commissioner Prisby?</p> <p>5 MR. PRISBY: Aye.</p> <p>6 MS. SALMON: Commissioner Elder?</p> <p>7 MR. ELDER: Aye.</p> <p>8 MS. SALMON: Chairman Bohnen?</p> <p>9 CHAIRMAN BOHNEN: Aye.</p> <p>06:37:36PM 10 During the public hearing, we're</p> <p>11 going to be considering various properties</p> <p>12 proposed for inclusion on the historically</p> <p>13 significant structures property list in the</p> <p>14 Historic Overlay District.</p> <p>15 If anyone in the audience wishes to</p> <p>16 speak on the matter, in general, regarding any</p> <p>17 particular property, would you, please, stand</p> <p>18 and raise your right hand and be sworn in by our</p> <p>19 recorder.</p> <p>06:37:58PM 20 (No response.)</p> <p>21 Seeing none.</p> <p>22 The village planner will provide a</p>	<p style="text-align: center;">5</p> <p>1 the R-4 Single-Family District, and we received</p> <p>2 some information on this from the Hinsdale</p> <p>3 Historical Society and the homeowner, which,</p> <p>4 depending on which source you look at, it is</p> <p>5 believed this house was constructed in 1898 --</p> <p>6 somewhere between 1898 and 1915. We have past</p> <p>7 surveys that call it historically significant.</p> <p>8 The Reconnaissance Survey from 1999 called it</p> <p>9 significant and it was included in the Town of</p> <p>06:39:35PM 10 Hinsdale Survey from 2001 that it was</p> <p>11 potentially significant and contributing. So</p> <p>12 there's information included in here and this</p> <p>13 was the information from the Hinsdale Historical</p> <p>14 Society.</p> <p>15 Then we have information from the</p> <p>16 Downers Grove Assessor's Office, as well as a</p> <p>17 Sanborn map that shows the original footprint of</p> <p>18 the house. The biggest changes that happened</p> <p>19 that we found out was that the porch was</p> <p>06:40:04PM 20 enclosed, which you can see from this.</p> <p>21 With that, we can review the</p> <p>22 criteria.</p>

<div>6</div> <div>1 MR. HAARLOW: I would say Criteria 1</div> <div>2 and 3 qualifies. I just want to state, for the</div> <div>3 record, that I love that in 1903 the property</div> <div>4 tax was \$1.02.</div> <div>5 MS. SALMON: Any other comments?</div> <div>6 MS. WEINBERGER: I agree with both</div> <div>7 comments.</div> <div>8 MR. PRISBY: 3.</div> <div>9 MS. SALMON: Criteria No. 3.</div> <div>06:40:59PM 10 The next house on our list up for</div> <div>11 discussion is 202 East Fourth Street. I'm sure</div> <div>12 many of you are aware of this house. It is</div> <div>13 already a designated local landmark that was</div> <div>14 designated by the village in 2003. It is</div> <div>15 significant based on 1999 Reconnaissance Survey,</div> <div>16 significant from the 2007 Robbins Park Survey,</div> <div>17 and we have quite a bit of additional</div> <div>18 information in here because this house has been</div> <div>19 quite documented over time.</div> <div>06:41:22PM 20 It's a Queen Anne home built in</div> <div>21 1886. It is for sale if anyone is looking to</div> <div>22 purchase this home. So we had included quite a</div>	<div>8</div> <div>1 including an addition on the north elevation and</div> <div>2 Porte Cochere on the south elevation.</div> <div>3 So the house is in pretty good</div> <div>4 condition but there have been a couple</div> <div>5 additional changes since that survey. This is</div> <div>6 another example of a Queen Anne house.</div> <div>7 It's definitely No. 3.</div> <div>8 Any other comments?</div> <div>9 (No response.)</div> <div>06:44:03PM 10 The next property on the list is</div> <div>11 134 South Park. This is also a designated</div> <div>12 historic landmark in the village. It was</div> <div>13 designated in 2002. It's considered significant</div> <div>14 and historically significant per our 1999</div> <div>15 Reconnaissance Survey, significant per the</div> <div>16 Robbins Park I Survey. And it's another Queen</div> <div>17 Anne style house, circa 1890.</div> <div>18 And we did -- I think the Historic</div> <div>19 Preservation did review a certificate of</div> <div>06:44:32PM 20 appropriateness for this house in 2016, where</div> <div>21 they did do a first and second floor rear</div> <div>22 addition. There is quite a bit of information</div>
<div>7</div> <div>1 bit of information on this house because it is</div> <div>2 quite well documented.</div> <div>3 MR. PRISBY: They should restore that</div> <div>4 tower. 3 and 5.</div> <div>5 MR. HAARLOW: 3 and 5. Maybe 6 as</div> <div>6 well.</div> <div>7 MR. PRISBY: Yes.</div> <div>8 MS. SALMON: So I have 3, 5, and 6.</div> <div>9 Any other comments?</div> <div>06:42:28PM 10 (No response.)</div> <div>11 Okay. We'll move onto the next</div> <div>12 one.</div> <div>13 The next property is 306 North</div> <div>14 Garfield Avenue. This house is in the R-4</div> <div>15 Single-Family District. It was constructed</div> <div>16 circa 1890. It is considered contributing per</div> <div>17 the 1999 Reconnaissance Survey. It was then</div> <div>18 considered significant, based on the North</div> <div>19 Hinsdale Survey in 2005. Then we did look into</div> <div>06:42:53PM 20 some building permits that have been done. They</div> <div>21 have done some renovations to the house since</div> <div>22 2005 when the original survey was done,</div>	<div>9</div> <div>1 in here because, once again, it is a landmark</div> <div>2 property already.</div> <div>3 MS. WEINBERGER: Definitely 3.</div> <div>4 MR. HAARLOW: Maybe 3 and 6.</div> <div>5 MS. SALMON: Then, I believe, this is</div> <div>6 the last house up for consideration. It's</div> <div>7 408 South Washington. This is also in the R-4</div> <div>8 District, constructed circa 1910. It features a</div> <div>9 Craftsman Style. It's kind of a unique home in</div> <div>06:45:37PM 10 town. It was rated significant and historically</div> <div>11 significant per the 1999 Reconnaissance Survey</div> <div>12 and significant per the 2001 Town of Hinsdale</div> <div>13 Survey. And the front facade has been</div> <div>14 relatively unaltered.</div> <div>15 MR. HAARLOW: Number 3.</div> <div>16 MR. PRISBY: 3.</div> <div>17 MS. SALMON: That's all of the</div> <div>18 properties up for consideration. So these will</div> <div>19 go to the village board now for final review and</div> <div>06:46:24PM 20 approval.</div> <div>21 If there's no other comments from</div> <div>22 the public, you can close the public hearing and</div>

<p style="text-align: right;">10</p> <p>1 have the recommended motion.</p> <p>2 CHAIRMAN BOHNEN: At this time, unless</p> <p>3 anybody has something more to say, we'll have a</p> <p>4 motion to close the public hearing.</p> <p>5 MR. ELDER: I'll move to close the</p> <p>6 public hearing.</p> <p>7 CHAIRMAN BOHNEN: Second, please.</p> <p>8 MS. WEINBERGER: Second.</p> <p>9 CHAIRMAN BOHNEN: Roll call vote.</p> <p>06:46:57PM 10 MS. SALMON: Commissioner Barclay?</p> <p>11 MS. BARCLAY: Aye.</p> <p>12 MS. SALMON: Commissioner Weinberger?</p> <p>13 MS. WEINBERGER: Aye.</p> <p>14 MS. SALMON: Commissioner Haarlow?</p> <p>15 MR. HAARLOW: Aye.</p> <p>16 MS. SALMON: Commissioner Prisby?</p> <p>17 MR. PRISBY: Aye.</p> <p>18 MS. SALMON: Commissioner Elder?</p> <p>19 MR. ELDER: Aye.</p> <p>20 MS. SALMON: Chairman Bohnen?</p> <p>21 CHAIRMAN BOHNEN: Aye.</p> <p>22 Okay. Move along now to sign</p>	<p style="text-align: right;">12</p> <p>1 MS. WEINBERGER: Aye.</p> <p>2 MS. SALMON: Commissioner Haarlow?</p> <p>3 MR. HAARLOW: Aye.</p> <p>4 MS. SALMON: Commissioner Prisby?</p> <p>5 MR. PRISBY: Aye.</p> <p>6 MS. SALMON: Commissioner Elder?</p> <p>7 MR. ELDER: Aye.</p> <p>8 MS. SALMON: Chairman Bohnen?</p> <p>9 CHAIRMAN BOHNEN: Aye.</p> <p>06:48:11PM 10 Now we move on to sign permit</p> <p>11 reviews.</p> <p>12 (Which were all of the</p> <p>13 proceedings had in the</p> <p>14 above-entitled cause.)</p> <p>15</p> <p>16</p> <p>17</p> <p>18</p> <p>19</p> <p>20</p> <p>21</p> <p>22</p>
<p style="text-align: right;">11</p> <p>1 permits.</p> <p>2 MS. SALMON: The recommended motion,</p> <p>3 before we move on for the recommendation -- So</p> <p>4 Page 2 to recommend this officially to the</p> <p>5 board.</p> <p>6 CHAIRMAN BOHNEN: To the board?</p> <p>7 MS. SALMON: Yes. I don't think there</p> <p>8 were any conflicts of interest in this case, so</p> <p>9 it's Page 2, recommended motion.</p> <p>06:47:31PM 10 MS. WEINBERGER: I move to recommend to</p> <p>11 the village board the following properties for</p> <p>12 inclusion on the historically significant</p> <p>13 structures property list in the Historic Overlay</p> <p>14 District under Case HPC-14-2023. And the</p> <p>15 properties are: 232 South Clay Street,</p> <p>16 202 East Fourth Street, 306 North Garfield,</p> <p>17 134 South Park, and 408 South Washington Street.</p> <p>18 MS. BARCLAY: Second.</p> <p>19 CHAIRMAN BOHNEN: Roll call vote.</p> <p>06:48:02PM 20 MS. SALMON: Commissioner Barclay?</p> <p>21 MS. BARCLAY: Aye.</p> <p>22 MS. SALMON: Commissioner Weinberger?</p>	<p style="text-align: right;">13</p> <p>STATE OF ILLINOIS)</p> <p>) ss:</p> <p>COUNTY OF DU PAGE)</p> <p>I, KRISTI LANDOLINA, Certified Shorthand Reporter, Registered Professional Reporter, and Notary Public in and for the County DuPage, State of Illinois, do hereby certify that previous to the commencement of the examination and testimony of the various witnesses herein, they were duly sworn by me to testify the truth in relation to the matters pertaining hereto; that the testimony given by said witnesses was reduced to writing by means of shorthand and thereafter transcribed into typewritten form; and that the foregoing is a true, correct and complete transcript of my shorthand notes so taken aforesaid.</p> <p>IN TESTIMONY WHEREOF I have hereunto set my electronic signature this 20th day of November, A.D. 2023.</p> <p>/s/ Kristi Landolina KRISTI LANDOLINA, CSR, RPR C.S.R. No. 084-004611, Notary Public, DuPage County</p>

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**HISTORIC PRESERVATION COMMISSION
MEMORANDUM**

DATE: December 1, 2023

TO: Chairman Bohnen and Historic Preservation Commissioners

CC: Kathleen A. Gargano, Village Manager
Robb McGinnis, Director of Community Development/Building Commissioner

FROM: Bethany Salmon, Village Planner

RE: Case HPC-19-2023 – 425 E. Eighth Street – Certificate of Appropriateness to Demolish a Single-Family Home and to Construct a New Single-Family Home in the Robbins Park Historic District

FOR: December 6, 2023 Historic Preservation Commission Meeting

Summary

The Village of Hinsdale has received a Certificate of Appropriateness (COA) application from Michael Abraham Architecture, the project architect, requesting approval to demolish an existing single-family home and to construct a new single-family home located at 425 E. Eighth Street in the Robbins Park Historic District. The owners of record listed are Jeff and Nicole Cantalupo. The project builder is J. Jordan Homes and the project engineer is Engineering Resource Associates.

Per the Village Code, no permits shall be issued for demolition or new construction of any structure located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a Certificate of Appropriateness.

Background

The existing 2.5-story single-family home at 425 E. Eighth Street was constructed in 1937. The building features Colonial Revival architecture and includes a side gable roof with overhanging eaves, the main section of the house flanked with east and west wings, three front dormers with round arched double hung windows, a classical front entry surround with round columns and a triangular pediment, a fanlight over the front door, double hung wood windows with flat arched brick lintels and shutters, and two large double chimneys. The historic name of the house is listed as the N.J. Allbright House. The house was designed by the well-known Chicago architecture firm Schmidt, Garden & Erikson.

The building is classified as a Contributing Structure in the Robbins Park Historic District according to the 2008 National Register of Historic Places Nomination. The building is classified Significant and eligible for the National Register of Historic Places according to the 2007 Architectural Resources in the Robbins II Survey Area.

The subject property is located in the R-1 Single Family Residential District and is surrounded by single-family homes to the north, south, east and west in the R-1 Single Family Residential District.

Request and Analysis

The applicant requests approval to demolish the existing single-family home and construct a new code-compliant single-family home on a 49,680 square foot lot. A site plan, interior floor plans, building elevations, renderings, and photos of the neighboring properties have been submitted for review.



MEMORANDUM

As shown on the submitted plans, the two-story home will be constructed of stucco in an off-white color, a block slate roof, and accent areas composed of vertical siding, horizontal siding, and Indiana limestone. A Weathered cedar timber headers are proposed above various windows and entrances. The site plan includes a horseshoe driveway off of Eighth Street, a driveway on the west side of the property leading to a 4-car attached garage, a pool, several covered porches, and stucco wing walls. The proposed plan meets all bulk zoning requirements.

Process

Pursuant to Title 14, Section 14-5-1(B), no alteration shall be allowed to, and no permits shall be issued for, the alteration, demolition, signage, or any other physical modifications of the exterior architectural appearance of any structure, building, site, or area located in a designated historic district without the rendering of a final decision by the Historic Preservation Commission on an application for a certificate of appropriateness. The final decision of the Historic Preservation Commission shall be advisory only.

Applications for a Certificate of Appropriateness shall conform to the applicable standards set forth in Village Code Title 14, Section 14-5-2, which are attached for review.

Attachments

1. Zoning Map and Project Location
2. Aerial View
3. Birds Eye View
4. Robbins Park Historic District Map
5. National Register of Historic Places Sheet / Property Information
6. Robbins Park II Architectural Resources Survey Sheet / Property Information
7. Certificate of Appropriateness Review Criteria - Village Code Title 14, Section 14-5-2
8. Application for Certificate of Appropriateness and Exhibits

VILLAGE OF HINSDALE 2022

425 E. Eighth

Zoning District Boundaries

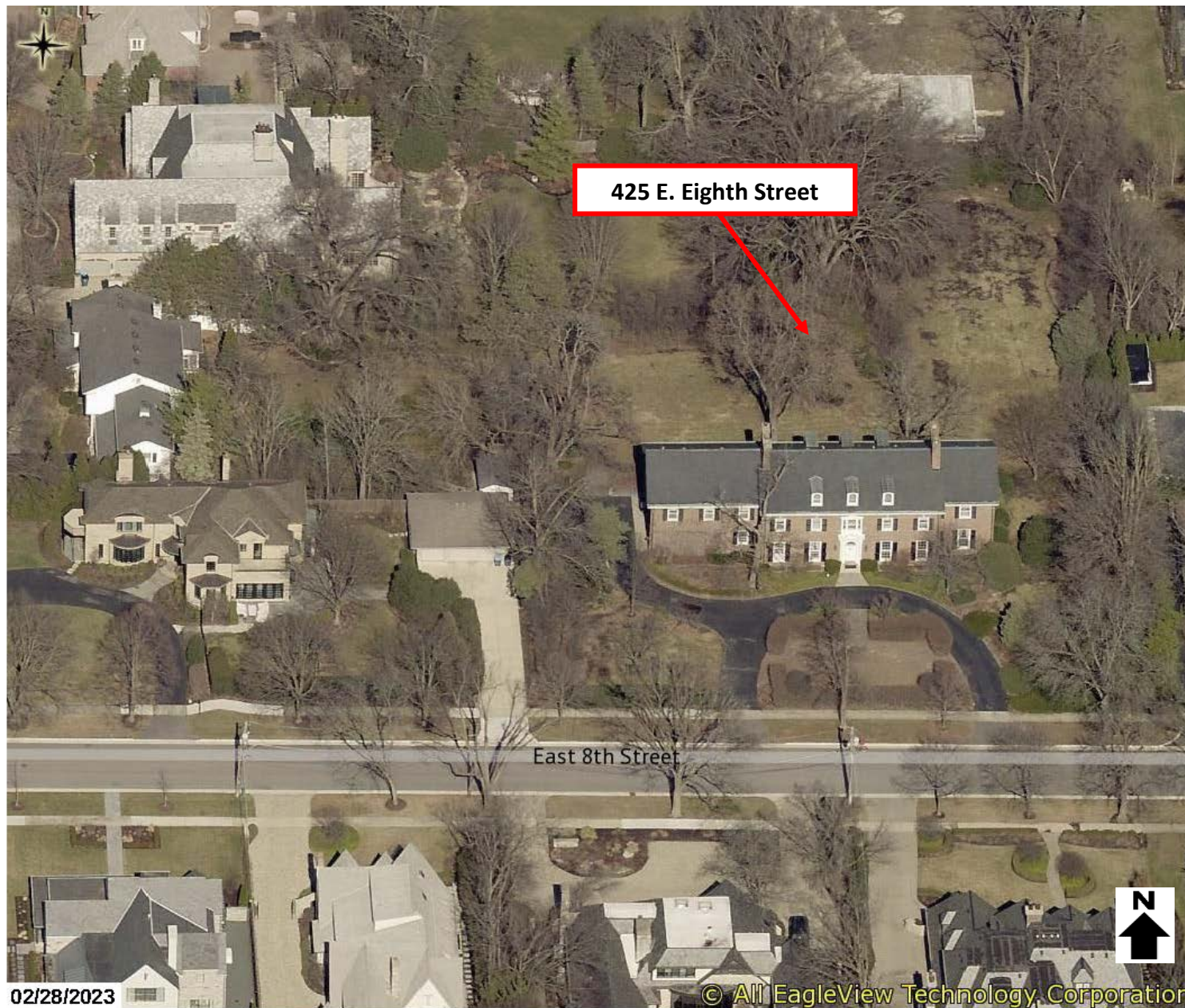
- R-1 Single Family Residential District
- R-2 Single Family Residential District
- R-3 Single Family Residential District
- R-4 Single Family Residential District
- R-5 Single Family Residential District
- R-6 Single Family Residential District
- IB Institutional Business District
- OS Open Space District
- B-1 Community Business District
- B-2 General Business District
- B-3 General Business District
- HS Health Services District
- O-1 Office District
- O-2 Office District
- O-3 Office District
- O-4 Office District
- O-5 Office District
- O-6 Office District
- O-7 Office District
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- O-100 Office District

The map displays a grid of streets. The horizontal streets from top to bottom are Seventh St., Eighth St., and Ninth St. The vertical streets from left to right are Elm St., Oak St., and a street labeled Newwood. A red box highlights the address 425 E. Eighth Street, with a red arrow pointing to it. The map also shows various lot numbers and street names like Newwood and Woodland.

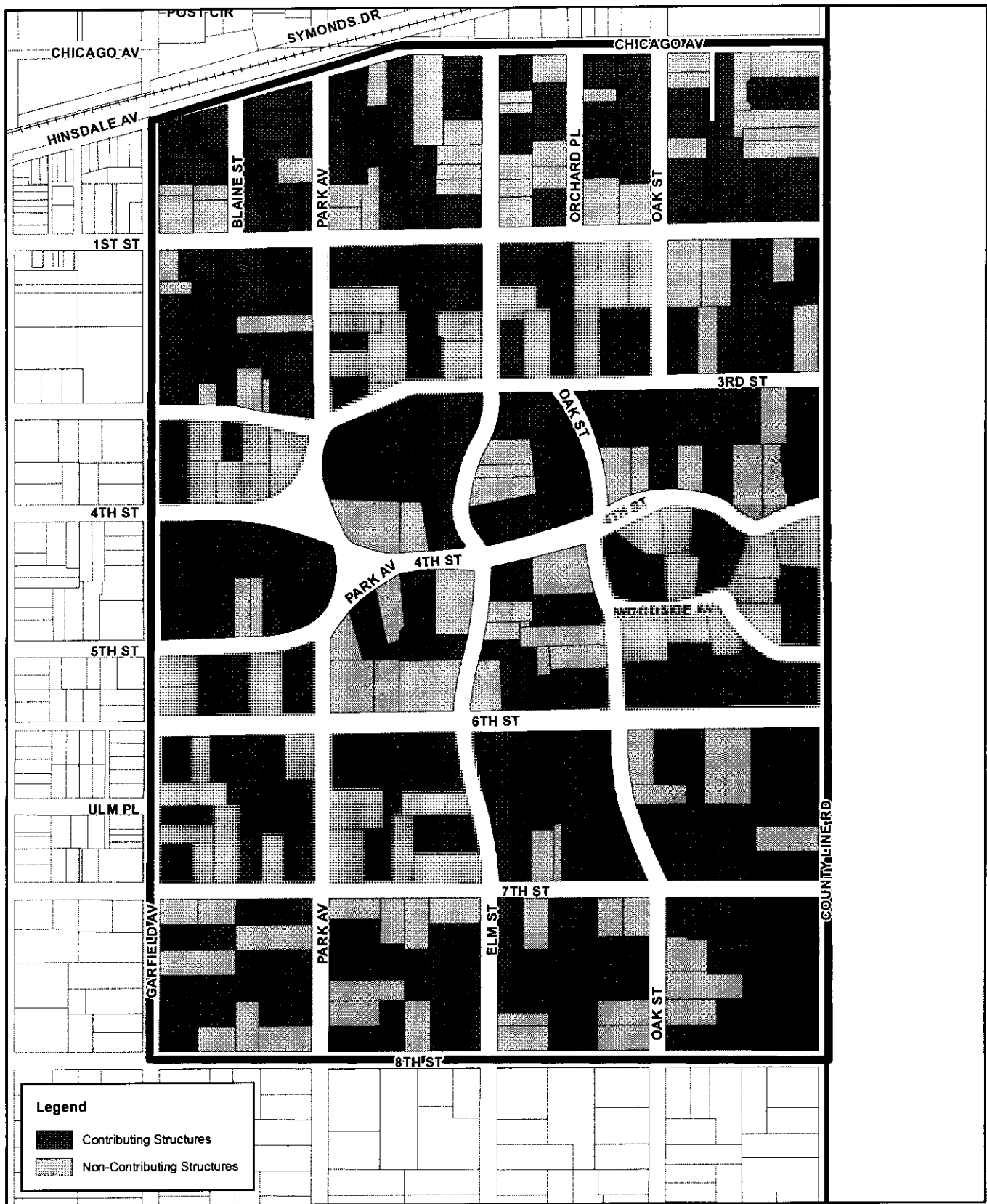
Aerial View – 425 E. Eighth Street



Birds Eye View – 425 E. Eighth Street



ROBBINS PARK HISTORIC DISTRICT



GRANACKI
HISTORIC CONSULTANTS

0 250 500 1,000 Feet



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 11

Robbins Park Historic District
Hinsdale, DuPage County, IL

NO	STREET	ARCHCLASS	DATE	HISTORIC NAME	C OR NC	SECONDARY STRUCTURES COR NC	ARCHITECT	BUILDER	SECONDARY STRUCTURE
105	E FIRST	Freestanding	1984	The Professional Center of Hinsdale	NC	-	Mizani & Associates		
108	E FIRST	Vacant			NC	NC			detached garage
114	E FIRST	School/Tudor Revival	1956	Grace Episcopal School	C	-			
115	E FIRST	Neo-Colonial	c. 1975		NC	-			
120	E FIRST	Church/Gothic Revival	1885	Grace Episcopal Church	C	-			
130	E FIRST	Vacant			NC	-			
139	E FIRST	Church/Contemporary	1958	Redeemer Lutheran Church	C	-			
142	E FIRST	Italianate	1869	Whitney, William House	C	C			detached garage
212	E FIRST	Tudor Revival	1924	Johnson, Frank C. House	C	NC		Soltwisch, William and Sons	detached garage
215	E FIRST	Neo-Tudor Revival	1974		NC	-	Pieple	Mac Diarmid & Palumbo	
218	E FIRST	Colonial Revival	1949	Watt House	C	NC	Field, Harford	Wendell, A. W. & Sons	detached garage
219	E FIRST	Dutch Colonial Revival	1924	Nold, John H. House	C	C	Barfield, William Gibson	Soltwisch, William	detached garage
225	E FIRST	Colonial Revival	c. 1900		C	-			
230	E FIRST	Colonial Revival	1898	Butler, Frank Osgood House	C	C	Ashby, George William		coach house
241	E FIRST	Queen Anne	1887	Clarke, Robert and Mary House	C	-	Isaacson, G.		
244	E FIRST	Colonial Revival	1893	Mitchell, George H. and Carrie R. House	C	C	Shepley, Rutan & Coolidge		detached garage
305	E FIRST	Queen Anne	c. 1895	Shaw House	NC	NC			detached garage
306	E FIRST	Romanesque Revival	1890	Grant, Elizabeth House	C	NC			detached garage
316	E FIRST	Dutch Colonial Revival	c. 1894	Hinckley, William B. House	C	C			detached garage
317	E FIRST	Queen Anne	1888	Mihm, Charles and Mary House	C	NC			detached garage
326	E FIRST	Neo-Traditional	1957	Sherman, Mr. & Mrs. J. House	NC	-	Smithson, A. T. Jr.	Wendell & Sons, A. W.	
335	E FIRST	Neo-Traditional	2002		NC	-			

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National Park Service

National Register of Historic Places
Continuation Sheet

Section number 8 Page 47

**Robbins Park Historic District
Hinsdale, DuPage County, IL**

sidelights and topped by rectangular transoms or fanlights are common, as are multi-pane double-hung windows with shutters.

Because of its enduring popularity, the Colonial Revival style has the greatest span in construction dates of any other style, stretching from the late 19th century into the 1950s. The earliest Colonial Revival designs in Hinsdale, from 1890 until 1910, are mostly frame and often feature bay windows and asymmetrical massing, leftover from Victorian era fashion. In the 1910s and 1920s, formal, finely detailed symmetrical examples are common, while Post-Great Depression era Colonial Revival homes are lighter in detailing yet convey hallmark features of the style.

The following are some of the locally significant examples of the Colonial Revival style in the Robbins Park Historic District: the Charles E. and Carrie Raymond House at 425 E. Third Street (1893); the George H. and Carrie R. Mitchell House at 244 E. First Street designed by Shepley Rutan & Coolidge (1893); the Robert M. and Mary Dean House, designed by Pond & Pond at 337 E. Third Street (1894-95); the Frank Osgood Butler House at 230 E. First Street designed by George William Ashby (1898); Orland P. Bassett House, 329 E. Sixth Street (1899); the Charles G. Root House at 134 S. Park Avenue, designed by Lorin A. Rawson (1908); the Howard George Hetzler House at 26 S. Park Avenue (c. 1905), 14 S. Oak Street (c. 1910), 341 S. Elm Street (c. 1915), and 419 E. First Street (c. 1920); the Chester A. Tousey House, 711 S. Garfield Street, designed by George Knapp (1922); the N. J. Allbright House at 425 E. Eighth Street, designed Schmidt, Garden & Erickson (1937); and 219 E. Seventh Street designed by A. T. Smithson (1956).

The Charles G. Root House at 134 S. Park Street (1908, Lorin A. Rawson, architect) is a fine early 20th-century example of the Colonial Revival style in Hinsdale with notable detailing. It has wide tongue-and-groove siding on the first floor and narrow raked siding at the second. Unlike many examples of the Colonial Revival style, this house is asymmetrical in its form, with a corner tower and conical roof on one side, balanced by a curved sun porch on the opposite side with flat roof, fluted Tuscan columns, and wood balustrade above. Characteristic Colonial features include the front entry porch with segmental arched pediment, and the nine-over-one and six-over-one multi-light windows throughout. The hipped roof with hipped roof dormers is also a Colonial feature.

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National Park Service**

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Continuation Sheet**

Section number 8 Page 49

**Robbins Park Historic District
Hinsdale, DuPage County, IL**

The Norman J. Allbright House at 425 E. Eighth Street, built in 1937 and designed by the eminent Chicago architectural firm of Schmidt, Garden & Erickson, is a classic, stately example of Colonial Revival residential architecture. The symmetrical façade of the main section features a classical entry surround with triangular pediment, a three-part window above, and three segmental arched dormers. East and west wings flank this center section.

Along the 700 Block of South County Line Road is an exceptional grouping of late 1930s Colonial Revival style residences. This grouping, which exhibits the refined simplification of the Colonial Revival style that commonly occurred after the Great Depression, includes the Miller House, 720 S. County Line Road, White and Weber, architects (1938); the R. M. Dilworth House, 730 S. County Line Road, Philip Duke West, architect (1938); and the A. Cornell House, 740 S. County Line Road, Hartford Field, architect (1939).

Colonial Revival Cottages, like 219 E. Seventh Street designed by architect A. T. Smithson in 1956, were one and 1½-story interpretations of the Colonial Revival style. The multiple gabled dormers, dentil trim, and three-sided front window bay on this exceptional mid 20th-century example are all characteristic of this cottage sub-type.

A finely detailed variant of the Colonial Revival style in the early 20th century in Hinsdale is the Georgian Revival style. With roots in the English Colonies in the late 1700s, Georgian Revival is not as common as the other classically-inspired residential styles in Hinsdale's Robbins Park Historic District. The Georgian Revival style residence is rectangular in plan and balanced and symmetrical. Its red brick front façade is typically graced with a prominent central entry surrounded by pediments or entablatures, with elaborate fanlights and sidelights. A hipped or gambrel roof is most common, accented below with an intricate dentilled cornice and wide frieze.

CLASSICAL REVIVAL

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY

STREET #	425
DIRECTION	E
STREET:	Eighth
ABB	ST
PIN	
LOCAL SIGNIFICANCE RATING	S
POTENTIAL IND NR? (Y or N)	Y
CRITERIA	C
Contributing to a NR DISTRICT?	C
Contributing secondary structure?	-
Listed on existing SURVEY?	IHSS



GENERAL INFORMATION

CATEGORY	Building	CURRENT FUNCTION	Domestic - single dwelling
CONDITION	Good	HISTORIC FUNCTION	Domestic - single dwelling
INTEGRITY	Not altered	REASON for SIGNIFICANCE	Handsome and well-balanced Colonial Revival residence designed by masterful Chicago architects Schmidt, Garden & Erickson.
SECONDARY STRUCTURE			
SECONDARY STRUCTURE			

ARCHITECTURAL DESCRIPTION

ARCHITECTURAL CLASSIFICATION	Colonial Revival	PLAN	Rectangular
DETAILS		NO OF STORIES	2.5
DATE of construction	1937	ROOF TYPE	Side gable
OTHER YEAR		ROOF MATERIAL	Slate
DATESOURCE	Permit	FOUNDATION	Not visible
WALL MATERIAL (current)	Brick	PORCH	-
WALL MATERIAL 2 (current)		WINDOW MATERIAL	Wood
WALL MATERIAL (original)	Brick	WINDOW MATERIAL	Double hung
WALL MATERIAL 2 (original)		WINDOW TYPE	
		WINDOW CONFIG	6/6; 2/2; multi/6
SIGNIFICANT FEATURES	See continuation sheet.		
ALTERATIONS			

HISTORIC INFORMATION

HISTORIC NAME	Allbright, N. J. House
COMMON NAME	
PERMIT NO	2087
COST	70000
ARCHITECT	Schmidt, Garden & Erickson
ARCHITECT2	
BUILDER	Barnard, A. B. Co.
ARCHITECT SOURCE	Permit

PERMITINFO: #2087 (4/30/1937)--2 story brick residence

HISTORIC INFO

LANDSCAPE

Midblock on north side of residential street; circular front driveway; privacy hedges at front sidewalk; similar setbacks; mature trees

PHOTO INFORMATION

ROLL1	6
FRAMES1	21
ROLL2	
FRAMES2	
ROLL3	
FRAMES3	
DIGITAL PHOTO ID	\\images\Eighth ast425.JPG

SURVEY INFORMATION

PREPARER	Lara Ramsey
PREPARER ORGANIZATION	GRANACKI HISTORIC CONSULTANTS
SURVEYDATE	10/16/2006
SURVEYAREA	ROBBINS II

Village of HINSDALE

ILLINOIS URBAN ARCHITECTURAL AND HISTORICAL SURVEY CONTINUATION SHEET

STREET # 425

STREET E. Eighth Street

ADDITIONAL PHOTOS OR INFORMATION

Significant Features

Side gable roof with overhanging eaves; main section of house is flanked by east and west wings; three front dormers with round arch double hung windows; classical front entry surround with round columns & triangular pediment; fanlight over front door; original double hung wood windows with flat arch brick lintels; two large double chimneys

STREETNO	DIR	STREET	ABB	RATING	STYLE	DATE	HISTORIC NAME	ARCHITECT
325	E	Eighth	ST	S	Tudor Revival	1928	Thompson, W. W. House	Zook, R. Harold
425	E	Eighth	ST	S	Colonial Revival	1937	Allbright, N. J. House	Schmidt, Garden & Erickson
441	E	Eighth	ST	S	French Eclectic	1939	Rollins, Willis J. House	Field, Harford
26	W	Eighth	ST	C	Ranch	c. 1955		
411	S	Elm	ST	NC	Neo-Colonial	1960		Smithson, A. T. Jr.
417	S	Elm	ST	C	Colonial Revival	1910		
424	S	Elm	ST	C	French Eclectic	1956	Standen, C. R. House	Yeretsky, Norman
425	S	Elm	ST	S	French Eclectic	1925	Burt, Paul G. House	Burt, Paul G.
620	S	Elm	ST	NC	Neo-Colonial	1961		Smith & Associates
627	S	Elm	ST	C	Craftsman	1925		Fugard & Knapp
632	S	Elm	ST	PS	Colonial Revival	1934	Allbright, John House	Schmidt, Garden, & Erickson
641	S	Elm	ST	S	French Eclectic	c. 1925		
642	S	Elm	ST	NC	Vacant			
704	S	Elm	ST	NC	Neo-Traditional	2006		
711	S	Elm	ST	PS	Colonial Revival	1937	Deng, R. House	West, Philip Duke
712	S	Elm	ST	C	Colonial Revival	1951	Nissen, Mr. & Mrs. Robert House	
717	S	Elm	ST	PS	Tudor Revival	1930	Eustice, P. C. House	Marx, E. W.
720	S	Elm	ST	S	Italian Renaissance	1927		White & Weber
726	S	Elm	ST	CA	Colonial Revival	1927		
731	S	Elm	ST	S	Tudor Revival	1940	Mayer, Frank House	West, Philip Duke
737	S	Elm	ST	NC	Ranch (altered)	1949	Fatser, Wade House	West, Philip Duke
740	S	Elm	ST	S	French Eclectic	1940	Bunker, George House	West, Philip Duke
108	E	Fifth	ST	NC	No style	1887		
114	E	Fifth	ST	PS	Queen Anne	c. 1890		
115	E	Fifth	ST	C	L-Form	c. 1880		
120	E	Fifth	ST	S	Gothic Revival	1863	Pearsall House	

Eastman Street and a single family residence in 1908 at 5521 S. Woodlawn Avenue in Chicago's Hyde Park neighborhood. Barfield designed his own home in 1912 at 136 S. Oak (located within the 2002 Robbins Survey) in the Craftsman style. He was a long time resident of Hinsdale, and spent the latter part of his life at his home at 112 N. Lincoln Street [*Who's Who in Chicago*, 1936, 59]. The two houses in the Robbins II survey area designed by Barfield are the Walter Smith House, a 1923 Tudor Revival style residence at 735 S. Garfield Street, and a 1916 Craftsman style house at 739 S. Washington Street.

Alfred Foster Pashley (1856-1932) was born in Lodi, Wisconsin on September 22, 1856 and was educated in the Chicago Public Schools. He began practicing architecture in Chicago in 1885 and was a fellow of the American Institute of Architects and member of the Illinois Chapter of the American Institute of Architects. For many years he resided at his home, "Hillcrest," located in Palos Park, IL, a southwest suburb of Chicago [*Who's Who in Chicago*, 1926, p. 675]. Pashley designed two French Eclectic style houses for members of the Besley family in the Robbins II area—the first was built in 1924 at 420 S. Park Avenue; the second in 1925 at 145 E. Fifth Street.

Schmidt, Garden, & Erickson

The firm of Schmidt, Garden & Erickson had its roots in an earlier partnership between Richard Ernest Schmidt and Hugh Macki Gordon Garden. Richard Schmidt (b. 1865 - d. 1958) emigrated from Bavaria to Chicago with his family while still an infant. After studying at the Massachusetts Institute of Technology for two years, he returned to Chicago and worked under several architecture firms before forming a practice

with Adolph A. Cudell.

Hugh Garden (b. 1873 - d. 1961) was born in Toronto, Ontario. In 1887, he moved to Minneapolis, Minnesota and found work as a draftsman. Garden left Minnesota for Chicago a few years later, and gained experience under several prestigious architectural firms, including Shepley, Rutan and Coolidge, Howard Van Doren Shaw, and Frank Lloyd Wright. Garden became a member of the Chicago Architectural Club, which was closely associated with the development of the Prairie School of architecture, in 1892.

In 1895, after the dissolution of his partnership with Cudell, Richard Schmidt invited Hugh Garden to be chief designer and partner in a new firm. The partnership between Schmidt, who worked primarily as an engineer, and Garden, a skilled designer, was ideal. The firm of Schmidt & Garden specialized in commercial, public and institutional buildings. The firm was best known for its hospital designs—during their time together, Schmidt and Garden produced over 300 plans for hospital buildings.

In 1906, Schmidt and Garden added a third partner, Edgar Martin. When Martin left the firm to become a partner in Pond, Pond, Martin and Lloyd, Carl A. Erickson replaced him, and the final incarnation of the firm, Schmidt, Garden & Erickson. Erickson, a graduate of the University of Pennsylvania, had been an employee of Schmidt, Garden, and Martin since 1913. The firm continued with all three principals through the mid-1950s.

The two Colonial Revival residences in the Robbins II survey area designed by Schmidt, Garden & Erickson are the **N. J. Allbright**

House at 425 E. Eighth Street (1937) and the John Allbright House at 632 S. Elm Street (1934). The house on Elm Street has been rated potentially significant, and the house on Eighth Street has been rated significant and may potentially be eligible for listing on the National Register. Both houses are listed on the Illinois Historic Structures Survey. There is also one residence—the Russell T. Elwell House at 425 E. Seventh Street—with only Richard Schmidt listed as the architect.

Philip Duke West (b. May 2, 1905, Calumet, MI – d. November 16, 1974, Palm Desert, CA) was a local Hinsdale architect who was educated at the University of Michigan (B.S. Arch, 1929) and was employed as a designer, draftsman, and superintendent at a number of prestigious Chicago architecture firms including Holabird & Root (1926-1930), Philip Maher (1930-1931), and Schmidt, Garden & Erickson (1944-1945). Additionally, he was the chief architect for Butler Brothers (1945-1947). In 1947 in Hinsdale, he started his own firm, Philip Duke West, and designed and built his office at 33 E. First Street

In 1950, Philip Duke West designed a number of prominent buildings in the 1930s, 1940s, and 1950s, including the Hinsdale Police and Fire Station Building at 33 E. First Street (1935), the Sinnissippi Farm, Oregon, Illinois (1950), the Kankakee (Illinois) Daily Journal Building (1951), and the Oak Park (Illinois) YMCA (1953-1954). In addition to his own office and the Police and Fire Station, other buildings designed by Philip West in Hinsdale include the International Style professional office building at 111 S. Lincoln Street (1955—since demolished). He later formed a partnership with Donald Hill Bergstrom, called Philip West, Donald Bergstrom &

Associates. This is the firm that designed the Hinsdale Police Station at 121 Symonds Drive (1969) and the Hinsdale Fire Station at 123 Symonds Drive (1969). In 1967, he retired to Palm Desert, CA, where he died seven years later. Philip West was a prominent member of the Hinsdale community and also served on the Hinsdale Plan Commission beginning in 1950.

There are ten residences designed by Philip Duke West in the survey area. Four of these designs are rated significant: the R. M. Dilworth House at 730 S. County Line Road (1939); the Frank Mayer House at 731 S. Elm Street (1940); the George Bunker House at 740 S. Elm Street (1940); and the John N. Nelson House at 430 E. Seventh Street (1938).

R. Harold Zook (1889-1949) was a Hinsdale resident, and is known to have designed 31 homes and six commercial buildings in Hinsdale. His buildings were charmingly unique and superbly crafted. They often displayed signature features including thatched roofs, spiderweb-leaded-glass v-shaped windows that protrude like the prow of a ship, chevron-patterned doors, and layered moldings. He also designed some Tudor Revival style homes with slate roofs.

Born in Indiana in 1889, he received his degree in architecture from the Armour Institute of Technology (now IIT). He began his career with Howard Van Doren Shaw and later opened his own offices in Chicago. In 1924, Zook and his family moved to Hinsdale to a home he designed at 327 S. Oak Street. From 1932 until his death in 1949, he was chairman of the architectural committee of the Hinsdale Plan Commission. In that position he implemented a master plan for the village. Although few of his architectural records have

The Shingle Style house at 138 E. Fourth Street incorporates detailing commonly seen on Colonial Revival style houses, including



138 E. Fourth Street

round columns on the full width front porch and dentil trim along the porch frieze and on the east side window bay. The characteristic wood shingling is present on the upper story of the house, and inside the flared, overhanging front gable.

COLONIAL REVIVAL

The Colonial Revival style dates from the 1876 Centennial Exhibition in Philadelphia until the mid-1950s and became the most popular historical revival style throughout the country between World Wars I and II. Many people chose Colonial Revival architecture because of its basic simplicity and its patriotic associations with early American 18th century homes. Whether derived from stately red brick Georgian examples or more modest clapboard structures, most of these buildings are symmetrical and rectangular in plan. Some have wings attached to the sides. Detailing is derived from classical sources, partly due to the influence of classicism that dominated the 1893 World's Columbian Exposition. Many front facades have classical – temple-like – entrances with projecting porticos topped by a pediment. Paneled doors flanked by sidelights

and topped by rectangular transoms or fanlights are common, as are multi-pane double-hung windows with shutters.

Colonial Revival is the most represented style in the survey area with 63 examples (including five Colonial Revival Cottages). Because of its enduring popularity, the Colonial Revival style has the greatest span in construction dates of any other style, stretching from the late 19th century into the 1950s. Twenty Colonial Revival residences and two Colonial Revival Cottages in the survey area are rated significant, and an additional five Colonial Revival houses are potentially significant.



339 E. Sixth Street

One of the most impressive and earliest of the Colonial Revival houses in the Robbins II area is the Bassett House, located at 329 E. Sixth Street. The house was built for Orland P. Bassett, whose floral company, Bassett & Washburn, was the first to produce the American Beauty rose for the U. S. market. The elegant design is typical of early interpretations of the style, which combined the picturesque qualities of the Queen Anne style with an overall symmetry and Classical elements. Among the many notable features of the house are its center gable, rounded second story projecting window bay, and expansive

front porch with paired Ionic columns. The house was listed on the National Register of Historic Places in 2004.

The **N. J. Allbright House at 425 E. Eighth Street**, built in 1937 and designed by the eminent Chicago architectural firm of Schmidt, Garden & Erickson, is a classic, stately example of Colonial Revival



425 E. Eighth Street

residential architecture. The symmetrical façade of the main section features a classical entry surround with triangular pediment, a three-part window above, and three segmental arched dormers. East and west wings flank this center section. The house is listed on the Illinois Historic Structures Survey, and is potentially eligible for listing on the National Register of Historic Places.

The C. A. Tousey house at 711 S. Garfield is an outstanding illustration of the typical 1920s Colonial Revival. The symmetrical front façade, which is parallel to the street, is marked by a center entry with Classical porch and surround. Flat arch brick lintels top the historic double hung windows on the façade.



711 S. Garfield Street

Colonial Revival Cottages, like the one at 219 E. Seventh Street, were more modest one and 1½-story interpretations of the Colonial Revival style. The gabled dormers, dentil trim, and three-sided front window bay on this 1950s example are all characteristic of this cottage sub-type.



219 E. Seventh Street

CLASSICAL REVIVAL

The Classical Revival-style building is typically characterized by a full-height porch with its roof supported by classical columns and topped by a pediment. Its façade is symmetrical, with a center entrance. A revival of interest in classical models began after the Chicago World's Columbian Exposition of 1893, which was attended by hundreds of thousands of visitors. The Fair's planners mandated a classical theme, and when built,

landmark buildings or contributing buildings in a historic district may be eligible for a freeze on the assessed value of their property for up to 12 years. The freeze is available to any homeowner who spends 25% of the assessor's fair market value on a rehabilitation that meets the Secretary of the Interior Standards for Rehabilitation. Additional information is available from the Tax Incentives Manager at the Illinois Historic Preservation Agency.

NATIONAL REGISTER LANDMARKS

There are 13 structures that could be eligible for listing on the National Register of Historic Places. The current owners should be strongly encouraged to initiate the designation process. These structures are as follows:

- W. W. Thompson House, 325 E. Eighth Street, Tudor Revival (1928)
- **N. J. Allbright House, 425 E. Eighth Street, Colonial Revival (1937)**
- Willis Rollins House, 441 E. Eighth Street, French Eclectic (1939)
- George Bunker House, 740 S. Elm Street, French Eclectic (1940)
- Hinckley House, 202 E. Fourth Street, Queen Anne – Free Classic (1886)
- Marshall King House, 444 E. Fourth Street, Tudor Revival (1929)
- 419 S. Oak Street, Classical Revival (c. 1915)
- Mrs. Charles Besley House, 420 S. Park Avenue, French Eclectic (1924)
- M. B. and J. R. Bauer House, 706 S. Park Avenue, French Eclectic (1925)
- Bassett and Washburn Boiler House, 324 E. Seventh Street, Tudor Revival (1925)
- Houston Hiatt House, 405 E. Seventh Street, Tudor Revival (1927)
- W. M. Hogenson House, 420 E. Seventh

Street, Mediterranean Revival (1929)

- Everett House, 208 E. Sixth Street, Tudor Revival (1925)

LOCAL INDIVIDUAL LANDMARKS

The Robbins II survey area contains 72 significant-rated residences, of which only three are currently local landmarks. These buildings are illustrated in Appendix C. To counteract development pressures to tear down historic houses and replace them with new houses, this report recommends an increased program of individual local landmark designations. Any of the buildings ranked significant and not yet designated would be a potential candidate for individual landmark designation.

In addition to significant-rated buildings, the Northeast Hinsdale Survey Area has ten structures that have been rated potentially significant. These buildings, while at one time architecturally or historically significant, have been altered, and therefore do not retain enough integrity to be ranked significant.

Alterations that warrant a PS rating can range from relatively minor modifications that are easily reversible, to more substantial changes. Minor or reversible alterations include:

- Replacement siding and other materials that are historically appropriate
- Aluminum or vinyl siding on façades, under eaves, or on dormers
- Enclosure of historic front or side porches
- Replacement windows with historically appropriate material and configuration

Alterations that cannot be easily reversed include:

CERTIFICATE OF APPROPRIATENESS REVIEW CRITERIA
VILLAGE CODE TITLE 14, SECTION 14-5-2

14-5-2: CRITERIA:

All applications for a certificate of appropriateness shall conform to the applicable standards in this section.

A. General Standards:

1. Alterations that do not affect any essential architectural or historic features of a structure or building as viewed from a public or private street ordinarily should be permitted.
2. The distinguishing original qualities or character of a structure, building, or site and its environment should not be destroyed. No alteration or demolition of any historic material or distinctive architectural feature should be permitted except when necessary to assure an economically viable use of a site.
3. All structures, buildings, sites, and areas should be recognized as products of their own time. Alterations that have no historical basis and that seek to create an earlier appearance than the true age of the property are discouraged.
4. Changes that may have taken place in the course of time are evidence of the history and development of a structure, building, or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected when dealing with a specific architectural period.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a structure, building, site, or area should ordinarily be maintained and preserved.
6. Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures and buildings should be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the structures and buildings should be avoided.
8. New structures or buildings, or alterations to sites should not be discouraged when such structures or alterations do not destroy significant historical or architectural features and are compatible with the size, scale, color, material, and character of the site, neighborhood, or environment.
9. Whenever possible, new structures or buildings, or alterations to the existing conditions of sites should be done in such a manner that, if such new structures or alterations were to be removed in the future, the essential form and integrity of the original structure, building, site, or area would be unimpaired.
10. Any permitted alteration or demolition should promote the purposes of this Title and general welfare of the Village and its residents.
11. Demolition should not be permitted if a structure, building, or site is economically viable in its present condition or could be economically viable after completion of appropriate alterations, even if demolition would permit a more profitable use of such site.

B. Design Standards:

1. Height: The height of a landmark after alteration should be compatible with the height of the original landmark. The height of a structure or building and adjacent open spaces after any proposed alteration or construction within an historic district should be compatible with the style and character of the structure or building and with surrounding structures and buildings in an historic district.
2. Relationship Between Mass And Open Space: The relationship between a landmark and adjacent open spaces after its alteration should be compatible with such relationship prior to such alteration. The relationship between a structure or building and adjacent open spaces after alteration within an historic district should be compatible with the relationship between surrounding structures, buildings and adjacent open spaces within such historic district.
3. Relationship Among Height, Width And Scale: The relationship among the height, width, and scale of a landmark after alteration should be compatible with such relationship prior to such alteration. The relationship among height, width, and scale of a structure or building after an alteration within an historic district should be compatible with the relationship among height, width, and scale of surrounding structures and buildings within such historic district.
4. Directional Expression: The directional expressions of a landmark after alteration, whether its vertical or horizontal positioning, should be compatible with the directional expression of the original landmark. The directional expression of a structure or building after alteration within an historic district should be compatible with the directional expression of surrounding structures and buildings within such historic district.
5. Roof Shape: The roof shape of a landmark after alteration should be compatible with the roof shape of the original landmark. The roof shape of a structure, building, or object after alteration within an historic district should be compatible with the roof shape of surrounding structures and buildings within such historic district.
6. Architectural Details, General Designs, Materials, Textures, And Colors: The architectural details, general design, materials, textures, and colors of a landmark after alteration should be compatible with the architectural details, general design, materials, textures, and colors of the original landmark. The architectural details, general design, materials, textures, and colors of a structure or building after alteration within an historic district should be compatible with the architectural details, general design, materials, textures, and colors of surrounding structures and buildings within such historic district.
7. Landscape And Appurtenances: The landscape and appurtenances, including without limitation signs, fences, accessory structures, and pavings, of a landmark after alteration should be compatible with the landscape and appurtenances of the original landmark. The landscape and appurtenances of a structure or building after alteration within an historic district should be compatible with the landscape and appurtenances of surrounding structures and buildings within such historic district.
8. Construction: New construction in an historic district should be compatible with the architectural styles, design standards and streetscapes within such historic districts.

C. Additional Standards: In addition to the foregoing standards, the commission may consider the secretary of the interior's standards for rehabilitation guidelines for rehabilitating historic buildings (revised 1983), and any amendments thereto, in reviewing any application under this section.

**VILLAGE OF HINSDALE
HISTORIC PRESERVATION COMMISSION APPLICATION
FOR CERTIFICATE OF APPROPRIATENESS**

The undersigned (the "Applicant") hereby makes application pursuant to Title XIV of the Village Code of Hinsdale, as amended, for a Certificate of Appropriateness for the building, structure or site described below. The Applicant certifies to the Village of Hinsdale that the following facts are true and correct:

Address **of** **Property** **under** **review:**
Property Identification Number: 425 E. 8th STREET, HINSDALE, IL 60521-4203 PIN # 091220801

I. GENERAL INFORMATION

1. Applicants Name: KEVIN GEIST - MICHAEL ABRAHAM ARCHITECTURE
Address: 148 BURLINGTON AVENUE, CLARENDON HILLS, IL 60514

Telephone Number: 630-655-9417 EXT. 313
2. Owner of Record (if different from applicant): JEFF & NICOLE CANTALUPO
Address: _____

Telephone Number: _____
3. Others involved in project (include, name, address and telephone number):
Architect: MICHAEL ABRAHAM ARCHITECTURE 630-655-9417
148 BURLINGTON AVENUE, CLARENDON HILLS, IL 60514
Attorney: _____

Builder: J. JORDAN HOMES 630-455-0855
112 S. GRANT ST., HINSDALE, IL, 60521
Engineer: ENGINEERING RESOURCE ASSOCIATES 630-393-3060
3S701 WEST AVENUE, SUIT 150, WARRENVILLE, IL 60555

II. SITE INFORMATION

1. Describe the existing conditions of the property: VACANT HOME

2. Property Designation:

Listed on the National Register of Historic Places? YES x NO

Listed as a Local Designated Landmark? YES x NO

Located in a Designated Historic District? x YES NO

3. Description of work proposed. *(Please submit a description of the proposed alterations and/or additions. Attach additional sheets, and photographs, as necessary).*

Demolition of existing structure. Construction of new single-family home.

4. Successive Applications. Has all or any part of the property been the subject of another application for a Certificate of Appropriateness under Title XIV of the Village Code of Hinsdale within the last two years?

X No Yes

If yes, state the date of the formal hearing and a statement explaining any relevant evidence supporting, the reasons why the Applicant believes the Village should consider this application at this time, pursuant to Section 14-3-10 of the Village Code. _____

5. TABLE OF COMPLIANCE

Address of subject property: 425 E. 8TH STREET

The following table is based on the R-1 Zoning District.

You may write "N/A" if the application does NOT affect the building/subject property.	Minimum Code Requirements	Existing Development	Proposed Development
Lot Area (SF)	30,000	49,680	
Lot Depth	125'	298.51' (MEASURED)	
Lot Width	125'	199.88' (MEASURED)	
Building Height	32.37'	~31'	31.75'
Number of Stories	3	3	2
Front Yard Setback	53.05'	~70.9'	53.40'
Corner Side Yard Setback	N/A	N/A	N/A
Interior Side Yard Setback	21.0' / 63.7' COMBINED		28.03' / 64.3 COMBINED
Rear Yard Setback	50'	~189'	139.1'
Maximum Floor Area Ratio (F.A.R.)*	11,936 (24%)	~9,229	9,062 (18%)
Maximum Total Building Coverage*	12,420 (25%)	~3,896	6,478 (13%)
Maximum Total Lot Coverage*	24,840 (50%)	~9,828	16,239 (33%)
Parking Requirements	3 SPACES	3	4 GARAGE SPACES
Parking front yard setback	N/A		
Parking corner side yard setback	N/A		
Parking interior side yard setback	N/A		
Parking rear yard setback	N/A		
Loading Requirements	N/A		
Accessory Structure Information	N/A		

* Must provide actual square footage number and percentage.

Where any lack of compliance is shown, state the reason and explain the Village's authority, if any, to approve the application despite such lack of compliance: _____

CERTIFICATION

The Applicant hereby acknowledges and agrees that:

- A. The statements contained in this application are true and correct to the best of the Applicant's knowledge and belief;
- B. The Applicant will provide the Village with all additional information, as required, prior to the consideration of, or action on, this application;
- C. The Applicant shall make the property that is the subject of this application available for inspection by the Village at reasonable times;
- D. If any information provided in this application changes or becomes incomplete or inapplicable for any reason following submission of this application, the Applicant shall submit a supplemental application or other acceptable written statement containing the new or corrected information as soon as practicable but not less than ten days following the change, and that failure to do so shall be grounds for denial of the application; and
- E. If the Applicant fails to provide any of the requested information, or any other requested information by the Boards, Commissions, and/or Staff, then the applicant will not be considered.

☐ INDIVIDUAL OWNERS

Signature of Applicant

Signature of Applicant

☒ CORPORATION

Signature of Applicant's President

Kenneth A. Galt
Signature of Applicant's Secretary

☐ PARTNERSHIP

Signature of Applicant

Signature of Applicant

Signature of Applicant

Signature of Applicant

LAND TRUST

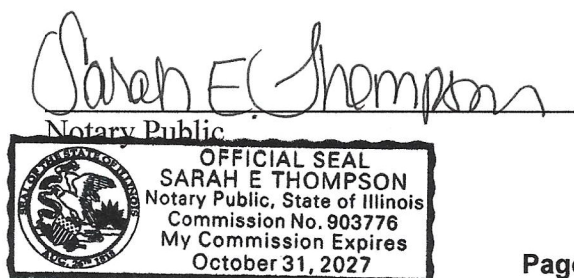
Signature

OTHER

Signature of Authorized Officer

SUBSCRIBED AND SWORN
to before me this 27 day of

OCTOBER, 2023.





425 E. 8th Street



441 E. 8th Street



745 S. Oak Street



400 E. 8th Street



412 E. 8th Street

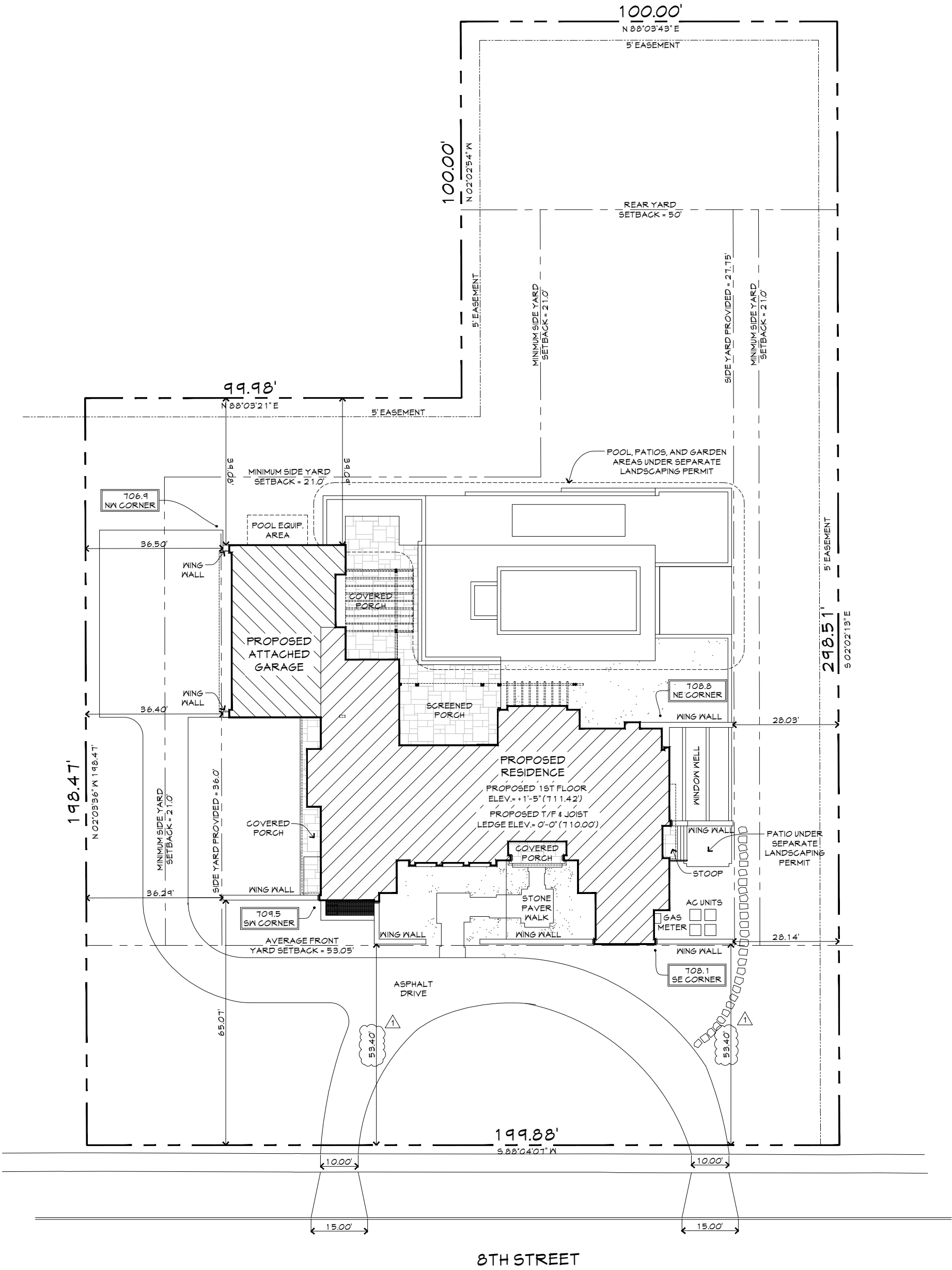


420 E. 8th Street









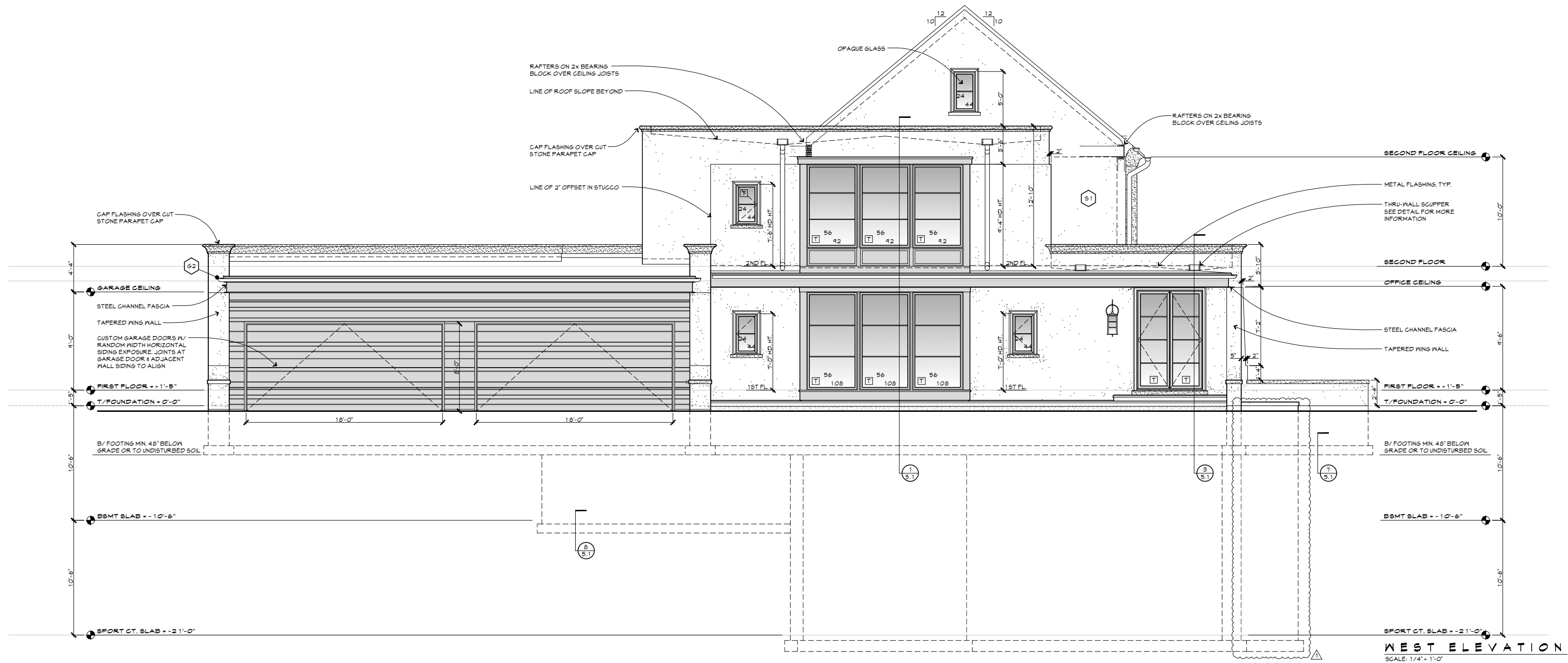
EXTERIOR MATERIALS SCHEDULE				
TAG	BASE BID	BASE BID NOTES	ALTERNATE BID	ALTERNATE NOTES
ROOFING				
R1	SLATE	VERMONT SPANISH BLACK SLATE 3" - 5" THICKNESS		
R2	SINGLE PLY TPO MEMBRANE	WHITE - FULLY ADHERED		
R3	16" SOLDER SEAM	REVERE FREEDOM GRAY	BERRIDGE 90° ZEE LOCK PANELS FOR LOW SLOPES	ZINC GOTE
GUTTERS, DOWNSPOUTS, COPINGS & FLASHING (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
G1	FLASHING, COPINGS, ECT.	REVERE FREEDOM GRAY	BERRIDGE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
G2	6" HALF ROUND GUTTERS & 6" DOWNSPOUTS	REVERE FREEDOM GRAY	BERRIDGE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
SIDING AND VENEERS				
S1	STUCCO	FINE SAND FLOAT		-
S2	CUT STONE	SMOOTH FINISHED INDIANA LIMESTONE		
S3	VERTICAL SIDING			
WINDOWS AND DOORS (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
W1	MARVIN	GLAD ULTIMATE	KOLBE	VISTALUXE
W2	MARVIN	MODERN MULTISLIDE	FLEETWOOD	SERIES 3070-T
MISCELLANEOUS				
M1	-	-	-	-
REFER TO GENERAL PERFORMANCE SPECIFICATIONS FOR PRODUCT AND ASSEMBLY REQUIREMENTS. ANY SUBSTITUTIONS TO BE BROUGHT TO ATTENTION OF ARCHITECT				



EAST ELEVATION
SCALE: 1/4" = 1'-0"



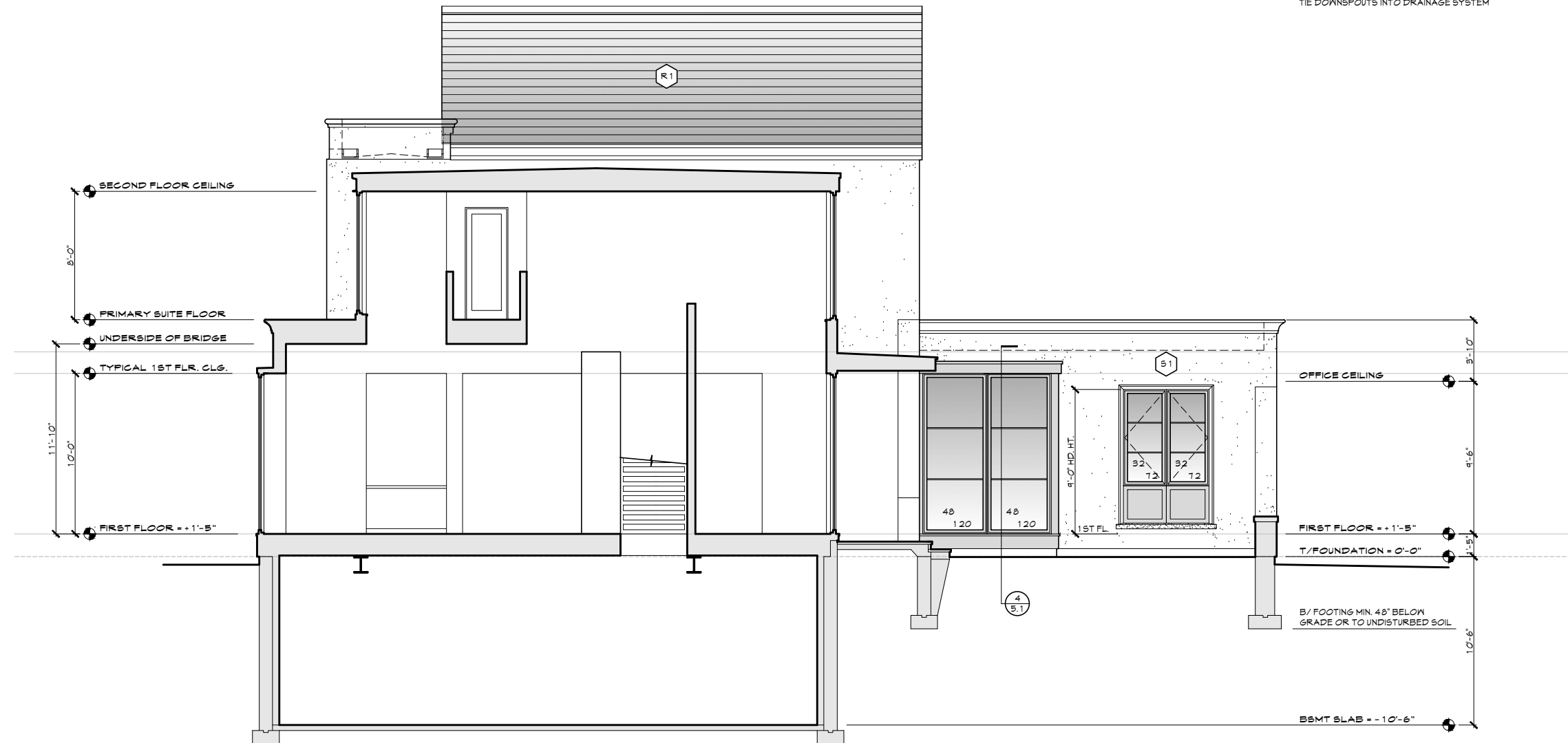
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



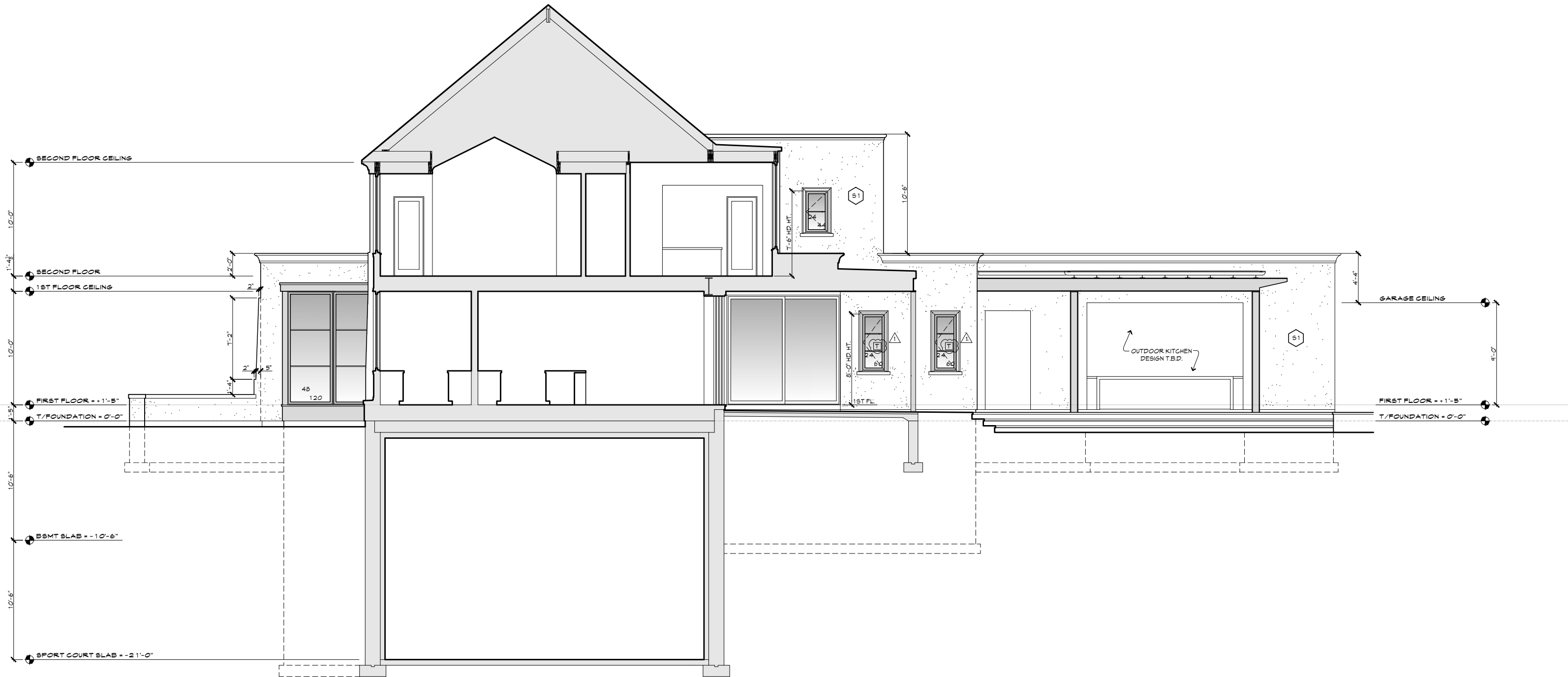
EXTERIOR MATERIALS SCHEDULE

TAG	BASE BID	BASE BID NOTES	ALTERNATE BID	ALTERNATE NOTES
ROOFING				
R1	SLATE	VERMONT SPANISH BLACK SLATE - $\frac{3}{8}$ - $\frac{5}{8}$ THICKNESS		
R2	SINGLE PLY TPO MEMBRANE	WHITE - FULLY ADHERED		
R3	16" SOLDER SEAM	REVERE FREEDOM GRAY	BERRIDGE 90° ZEE LOCK PANELS FOR LOW SLOPES	ZINC COATE
GUTTERS, DOWNSPOUTS, COPINGS & FLASHING (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
G1	FLASHING, COPINGS, ECT.	REVERE FREEDOM GRAY	BERRIDGE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
G2	6" HALF ROUND GUTTERS & 6" DOWNSPOUTS	REVERE FREEDOM GRAY	BERRIDGE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
SIDING AND VENEERS				
S1	STUCCO	FINE SAND FLOAT		-
S2	CUT STONE	SMOOTH FINISHED INDIANA LIMESTONE		
S3	VERTICAL SIDING			
WINDOWS AND DOORS (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
W1	MARVIN	GLAD ULTIMATE	KOLBE	VISTALUXE
W2	MARVIN	MODERN MULTISLIDE	FLEETWOOD	SERIES 3070-T
MISCELLANEOUS				
M1	-	-	-	-
REFER TO GENERAL PERFORMANCE SPECIFICATIONS FOR PRODUCT AND ASSEMBLY REQUIREMENTS. ANY SUBSTITUTIONS TO BE BROUGHT TO ATTENTION OF ARCHITECT				

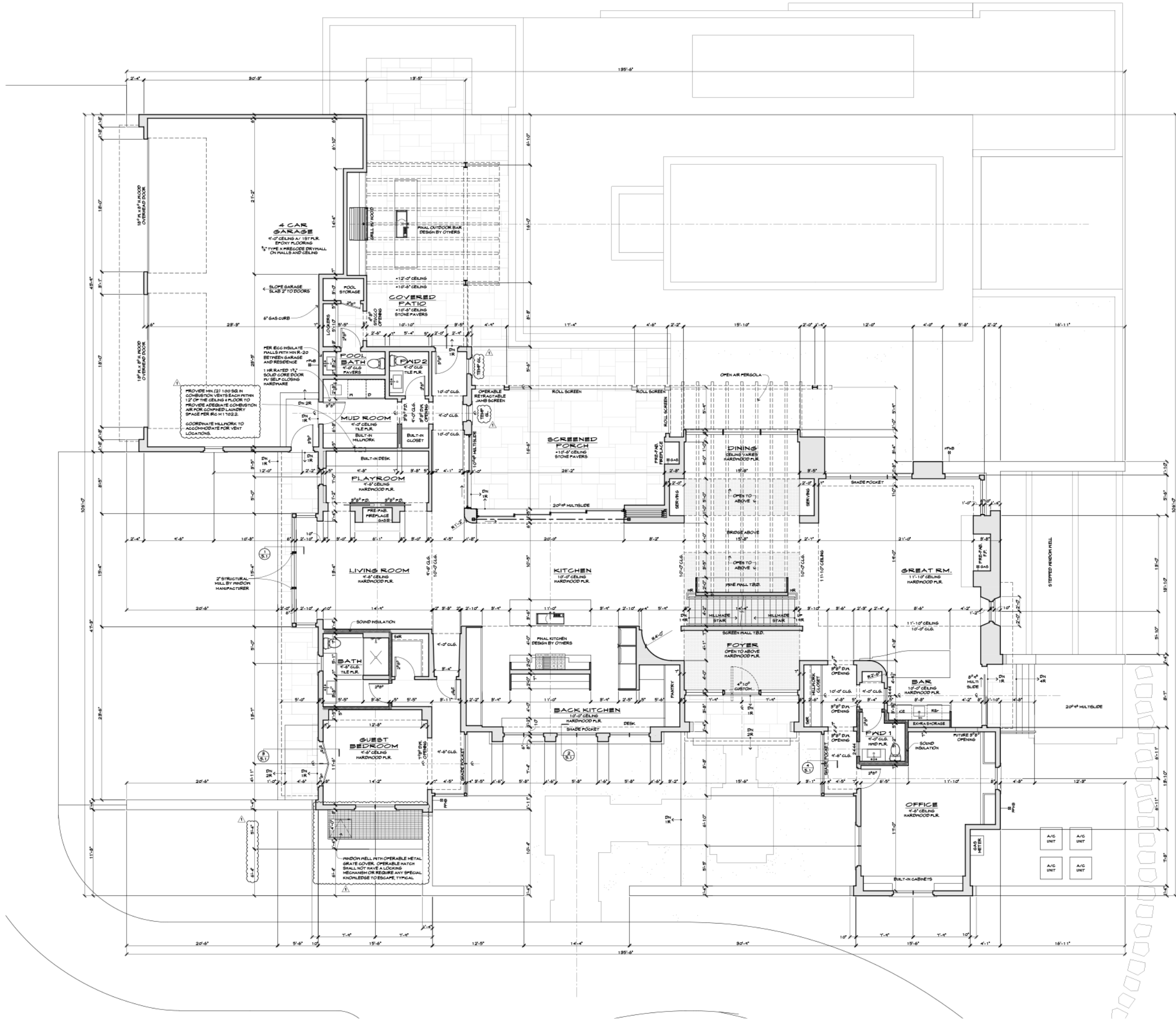
TIE DOWNSPOUTS INTO DRAINAGE SYSTEM



BUILDING SECTION A-A
SCALE: 1/4" = 1'-0"



BUILDING SECTION B-B
SCALE: 1/4" = 1'-0"



PLAN NOTES:

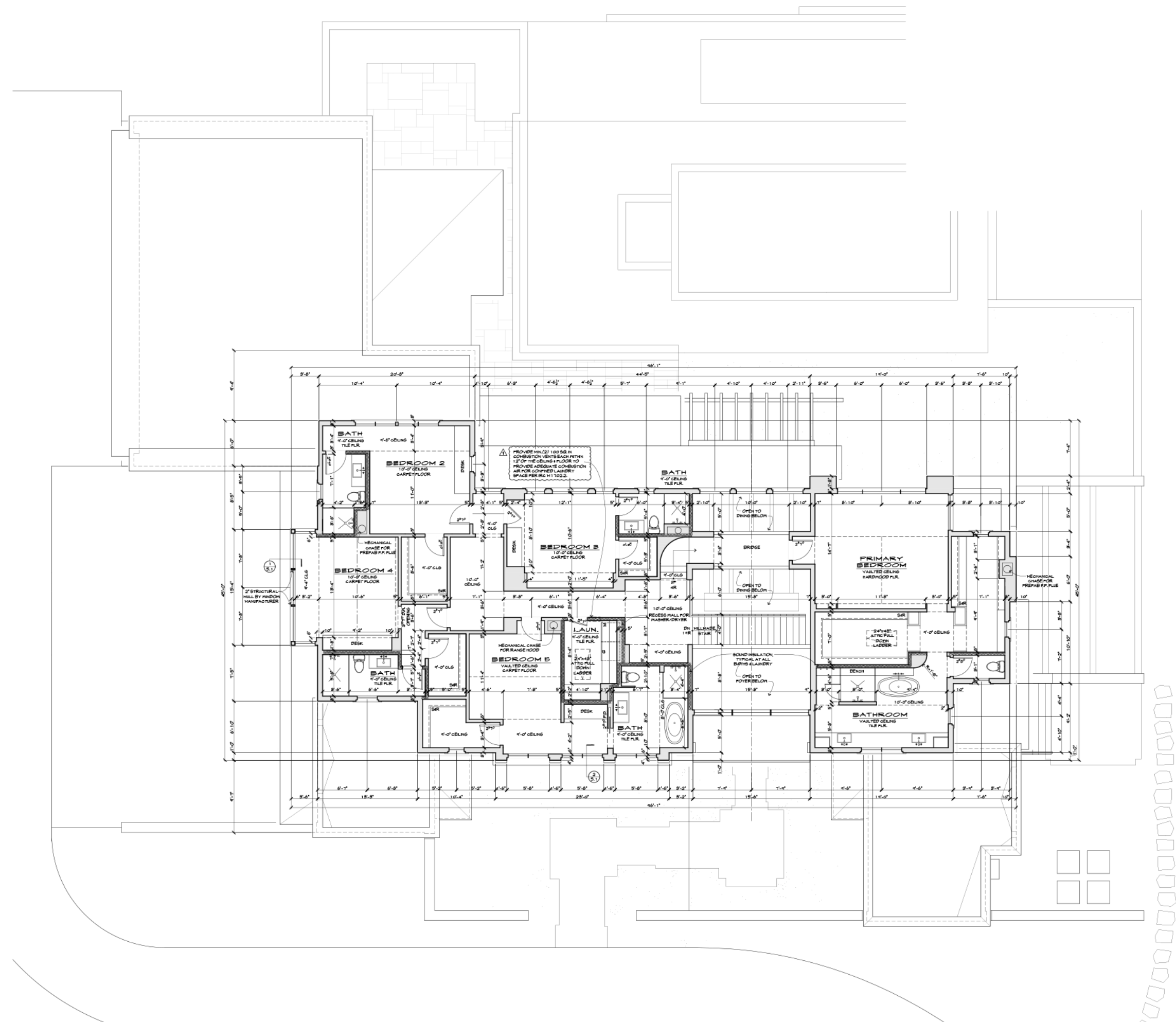
ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND NATIONAL CODES.
PROJECT TO FOLLOW EGC PRESCRIPTIVE REQUIREMENTS.
USE FIGURED DIMENSIONS ONLY. DRAWINGS ARE NOT TO BE SCALED. ANY DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION AFTER THE CONTRACTOR HAS MEASURED ALL DIMENSIONS.
COORDINATE ALL CEILING AND FLOOR FINISHES WITH INTERIOR ELEVATIONS AND BUILDING SECTIONS. CEILING HEIGHTS AND OPENING HEIGHTS. ANY PROPOSED DROPPED CEILING FOR M.E.P. RUNS TO BE COORDINATED WITH ARCHITECT.
STAIR RISE AND RUN AS PER INTERNATIONAL RESIDENTIAL CODE. HANDRAIL RISE OF 3' 3/4". 12" MINIMUM TREAD CLEAR OF TREAD ABOVE AND A CONTINUOUS HANDRAIL 3'-6" HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO LINE PARALLEL WITH STAIR RUN. SEE DETAIL ON PAGE T1.0.
HANDRAIL AS PER IRC AT ALL STAIRS AND OTHER REQUIRED LOCATIONS. HANDRAIL SPACING OF 4" RIGHTS AT HANDRAILS NOT TO ALLOW PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER. SEE DETAIL ON PAGE T1.0.
INSULATE WALLS AND FLOOR OF BATHROOMS FOR SOUND CONTROL.
TEMPERED GLASS NEXT TO BUSINESS DOORS, TUBS, ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, SHOWERS ENCLOSURES, PARTITIONS ADJACENT TO TUBS AND OTHER REQUIRED AREAS. ALL SAFETY GLASS SHALL BE PERMANENTLY LABELED AS OUTLINED PER IRC.
PRELACE AS PER IRC AND I.I.O. DETAIL. MASON TO VERIFY PLUS SIZES WITH PREBOX OPENINGS.
MINIMUM GYPSUM WALL BOARD THICKNESS SHALL BE 1/2".
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
AT COMBINED SPACE OF LAUNDRY ROOM, PROVIDE COMBUSTION AND MAKE UP AIR PER IRC OR I.I.O. OPENINGS FOR COMBUSTION AIR ARE REQUIRED IN A COMBINED SPACE ONE WITH 1/2" FROM THE CEILING AND ONE WITH 1/2" FROM THE FLOOR. MINIMUM OPENING SIZE TO BE 100 SQ INCHES AND 8" MIN DIMENSION. LOCATE 8" DIA. LOWER VENT IN PAIR, OF DOOR AND 12" DIA. UPPER VENT ABOVE DOOR HEADER. SIZED BASED ON 24000 BTU/HK DRYER.

The Cantalupo Residence
425 E. 8th Street
Hinsdale, IL

DOCUMENT: Plans 0.00-20
Δ Permit Reviews 11.12.23
NOT FOR CONSTRUCTION

DRAWN BY:
KG
CHECKED:
BA

First Floor Plan
PROJECT NO:
2023



PLAN NOTES:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND NATIONAL CODES.

PROJECT TO FOLLOW EGC PRESCRIPTIVE REQUIREMENTS.

USE FIGURED DIMENSIONS ONLY. DRAWINGS ARE NOT TO BE SCALED. ANY DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION. AFTER THE CONTRACTOR HAS FIELD VERIFIED ALL DIMENSIONS.

COORDINATE ALL CEILING AND FLOOR FINISHES WITH INTERIOR ELEVATIONS AND BUILDING SECTIONS. CEILING HEIGHTS AND OPENING HEIGHTS. ANY PROPOSED DROPPED CEILING FOR M.E.P. RUNS TO BE COORDINATED WITH ARCHITECT.

STAIR RISE AND RUN AS PER INTERNATIONAL RESIDENTIAL CODE. MAXIMUM RISE OF 7 7/8". MAXIMUM TREAD CLEAR OF TREAD ABOVE AND A CONTINUOUS MAXIMUM 8'-0" HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO LINE PARALLEL WITH STAIR RUN. SEE DETAIL ON PAGE T1.0.

HANDRAIL AS PER IRC AT ALL STAIRS AND OTHER REQUIRED LOCATIONS. MAXIMUM SPACING OF UP RIGHTS AT HANDRAILS NOT TO ALLOW PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER. SEE DETAIL ON PAGE T1.0.

INSULATE WALLS AND FLOOR OF BATHROOMS FOR SOUND CONTROL.

TEMPERED GLASS NEXT TO ENTRY DOORS, TUBS, ALL GLASS WITHIN 18" OF THE FINISHED FLOOR, SHOWERS ENCLOSURES, WINDOWS ADJACENT TO TUBS AND OTHER REQUIRED AREAS. ALL SAFETY GLASS SHALL BE PERMANENTLY LABELED AS OUTLINED PER IRC.

REPLACE AS PER IRC AND I.I.O. DETAIL. MASON TO VERIFY PLIE SIZES WITH PREBOX OPENINGS.

MINIMUM GYPSUM WALL BOARD THICKNESS SHALL BE 5/8".

ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 2'-0". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 2'-0".

AT COMBINED SPACE OF LAUNDRY ROOM, PROVIDE COMBUSTION AND MAKE UP AIR PER IRC OR I.I.O. TWO OPENINGS FOR COMBUSTION AIR ARE REQUIRED IN A COMBINED SPACE ONE WITH 1" FROM THE CEILING AND ONE WITH 12" FROM THE FLOOR. MINIMUM OPENING SIZE TO BE 100 SQ INCHES AND 3" MIN DIMENSION. LOCATE 8" DIA. LOWER VENT IN PAIR OF DOOR AND 12" DIA. UPPER VENT ABOVE DOOR HEADER. SIZED BASED ON 24000 BTU/HK DRYER.

The Cantalupo Residence
425 E. 8th Street
Hinsdale, IL

**MICHAEL ABRAHAM
ARCHITECTURE**

DOCUMENT: Permit 19-02-20
Permit Review 11.17.23
NOT FOR CONSTRUCTION

DRAWN BY:
KG

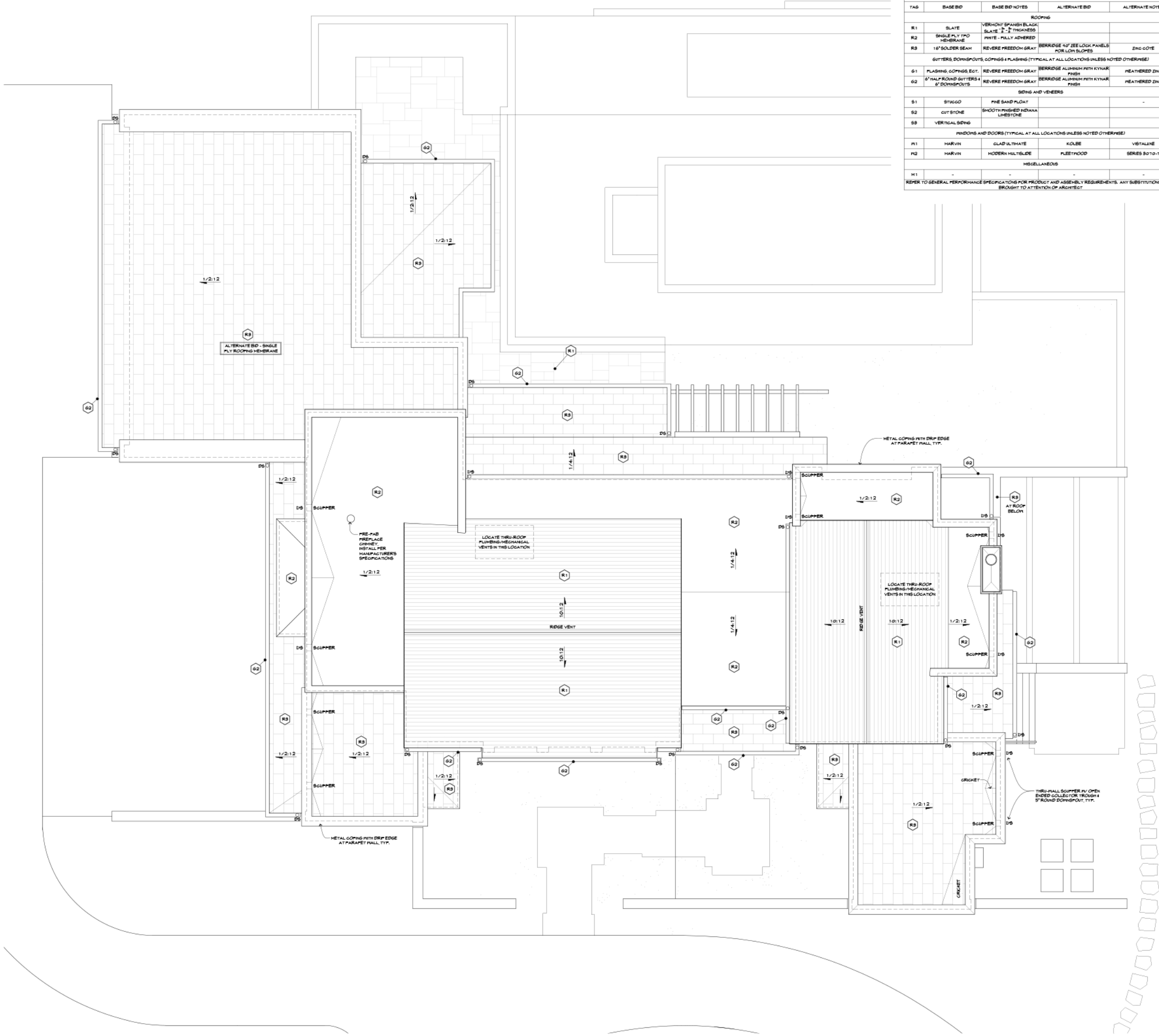
CHECKED:
BA

PROJECT NO:
2025

Second Floor Plan

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
FLOOR AREA: 2506 SF

a2.2



EXTERIOR MATERIALS SCHEDULE				
TAG	BASE BID	BASE BID NOTES	ALTERNATE BID	ALTERNATE NOTES
ROOFING				
R1	SLATE	VERMONT SPAYERS BLACK SLATE 3" x 17" THICKNESS		
R2	SINGLE PLY TPO MEMBRANE	WHITE, FULLY ADHERED		
R3	16" SOLDER SEAM REVERSE FREEDOM GRAY	BERKSHIRE 10" ZEE LOCK PANELS FOR LOW SLOPES		ZINC COATE
GUTTERS, DOWNSPOUTS, COPINGS & FLASHINGS (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
G1	FLASHING, COPINGS, ECT.	REVERSE FREEDOM GRAY	BERKSHIRE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
G2	6" HALF ROUND GUTTERS & 6" DOWNSPOUTS	REVERSE FREEDOM GRAY	BERKSHIRE ALUMINUM WITH KYNAR FINISH	WEATHERED ZINC
SIDING AND VENEERS				
S1	STUCCO	PINE SAND FLOAT		-
S2	GUT STONE	SMOOTH FINISHED INDIANA LIMESTONE		
S3	VERTICAL SIDING			
WINDOWS AND DOORS (TYPICAL AT ALL LOCATIONS UNLESS NOTED OTHERWISE)				
W1	MARVIN	GLAD ULTIMATE	KOLBE	VISTALINE
D1	MARVIN	MODERN MULTISIDE	FLEETHOOD	SERIES 3010-T
MISCELLANEOUS				
M1	-	-	-	-
REFER TO GENERAL PERFORMANCE SPECIFICATIONS FOR PRODUCT AND ASSEMBLY REQUIREMENTS. ANY SUBSTITUTIONS TO BE BROUGHT TO ATTENTION OF ARCHITECT				

GENERAL ROOF NOTES:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND NATIONAL CODES.

REFER TO MATERIALS SCHEDULE ON EXTERIOR ELEVATION SHEETS FOR FINISH MATERIALS AND NOTES.

REFER TO MANUFACTURER FOR FINAL MATERIAL HANDLING, INSTALLATION METHODS AND PROCEDURES.

VERIFY LOW PITCH ROOF UNDERLAYMENTS AND METAL ROOF SEAM TYPE AS SPECIFIED BY MANUFACTURER.

AVOID DIRECT CONTACT AND DOWN STREAM FLOW OF INCOMPATIBLE MATERIALS AND METALS.

ICE AND WATER SHIELD OVER ENTIRE ROOF OF 5:12 PITCH OR LESS. UP FALLS OF DOWNSPOUTS AND MINIMUM 24" HORIZONTALLY. FASTEN INTERIOR WALLS. REFER TO ROOF MANUFACTURE FOR FINAL RECOMMENDATIONS.

AS APPLICABLE THROUGH ROOF UTILITY AND VENT PENETRATIONS AND FLASH WITH METAL TO MATCH ROOFING.

ALL FLASHING GUTTERS AND DOWN SPOUTS TO MATCH METAL ROOFING MATERIAL.

EAVE VENTS SHALL BE INSTALLED TO COMPLY WITH IRC R806.

The Cantalupo Residence
425 E. 8th Street
Hinsdale, IL

DOCUMENT
Issued For Permit 9.29.23
NOT FOR CONSTRUCTION

DRAWN BY:
KG

CHECKED:
BA

Roof Plan

PROJECT NO:
2023

ROOF PLAN
SCALE: 1/4" = 1'-0"

a2.3

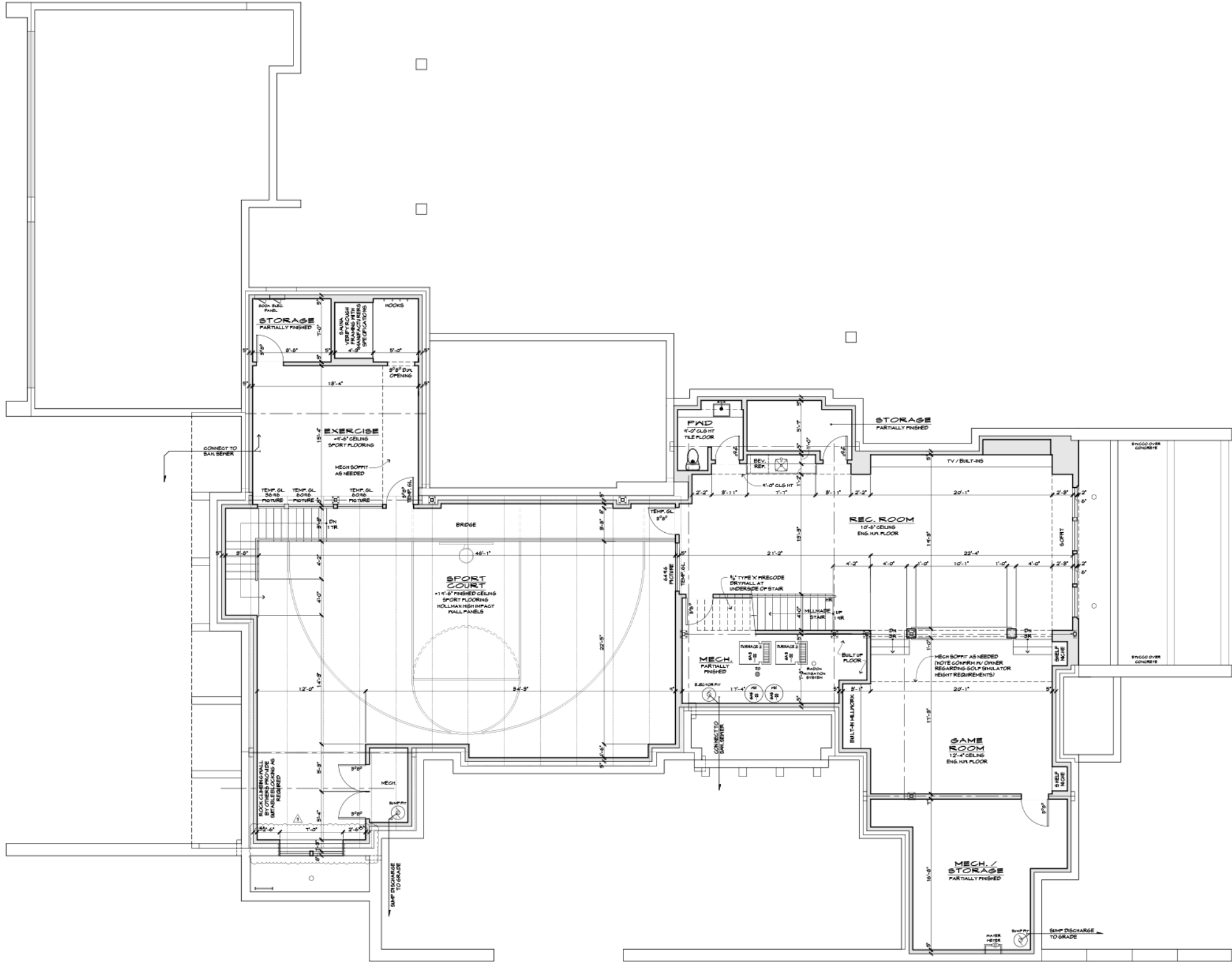
CLARENCE HILLS ILLINOIS 60014

145 BURLINGTON AVENUE

PHONE: 630.647.7

EMAIL: MABRAHAM.COM

MICHAEL ABRAHAM
ARCHITECTURE



BASEMENT PLAN NOTES:
ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND NATIONAL CODES.
USE MEASURED DIMENSIONS ONLY. DRAWINGS ARE NOT TO BE SCALED. ANY DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION AFTER THE CONTRACTOR HAS VERIFIED ALL DIMENSIONS.
BASEMENT OUTLETS TO BE 6" IN UNFINISHED AREAS.
COORDINATE ALL WORK ON THIS SHEET WITH SHEET A2.0.
MECHANICAL VENTILATION IN BASEMENT TO PROVIDE .35 AIR CHANGE PER HOUR.
CONCEALED SPACE BEING CONNECTED BECAUSE OF EXISTING CEILING OR SLOPES IN THE BASEMENT THAT ARE OVER 1,000 SQUARE FEET SHALL BE DRAFT STOPPED INTO APPROXIMATELY EQUAL AREAS.
FOR EGG PRESERVATION METHOD: EXTERIOR WALLS OF HEATED BASEMENT SHALL HAVE INSULATION NOT LESS THAN R-11 CAVITY FROM TOP OF BASEMENT FLOOR TO -48" BELOW GRADE OR R-13 CAVITY FILL HEIGHT: SLAB TO CEILING.

The Cantalupo Residence
425 E. 8th Street
Hinsdale, IL

DOCUMENT: Permit 02-23
Permit Review 11.17.23

DRAWN BY:
KG

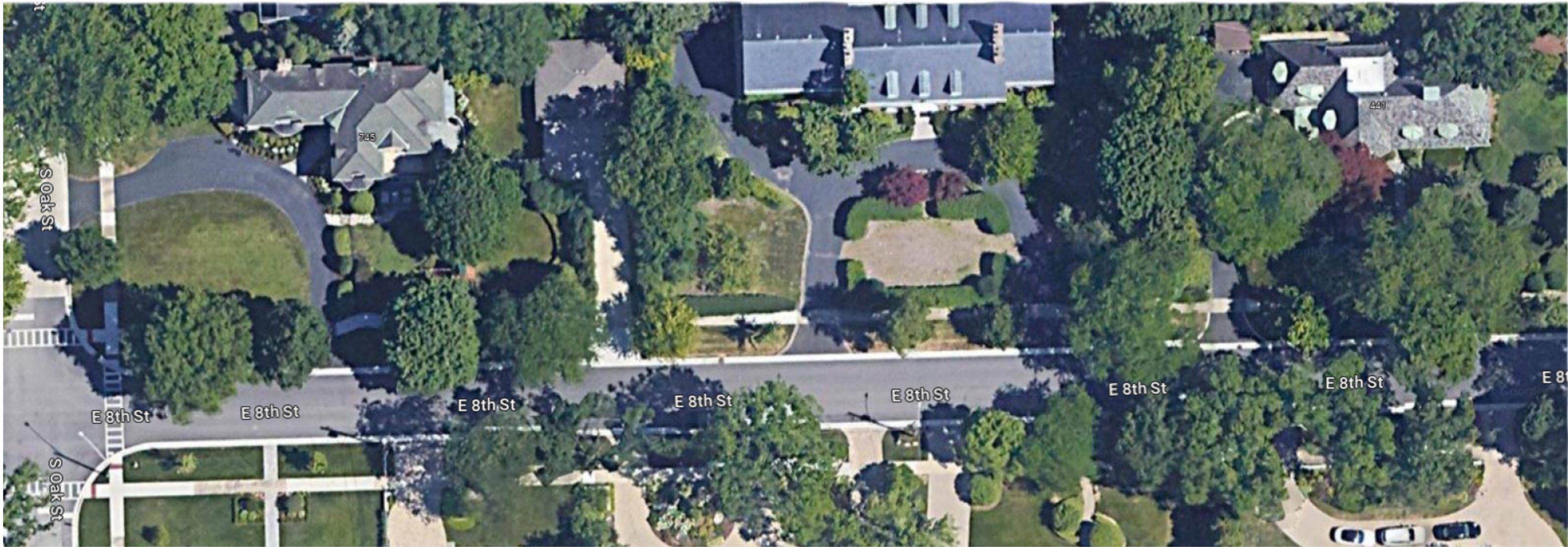
Finished Basement Plan
PROJECT NO:
2025

CHECKED:
BA

NOT FOR CONSTRUCTION

FINISHED BASEMENT PLAN
SCALE: 1/4" = 1'-0"
FINISHED AREA: 3,261 SF

a2.4





PROPERTY ADDRESS:
425 E 8TH STREET, HINSDALE, ILLINOIS 60521

SURVEY NUMBER: IL2105.6634

DATE OF SURVEY: 06/07/21 **FIELD WORK DATE:** 6/4/2021

REVISION DATE(S):
(REV.1 6/7/2021)

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS } SS
COUNTY OF GRUNDY }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

David S Reifke



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3712
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

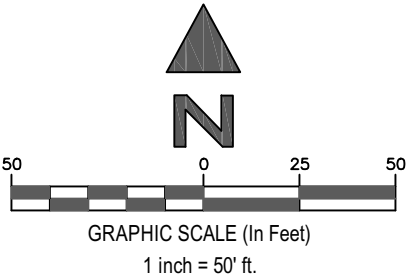
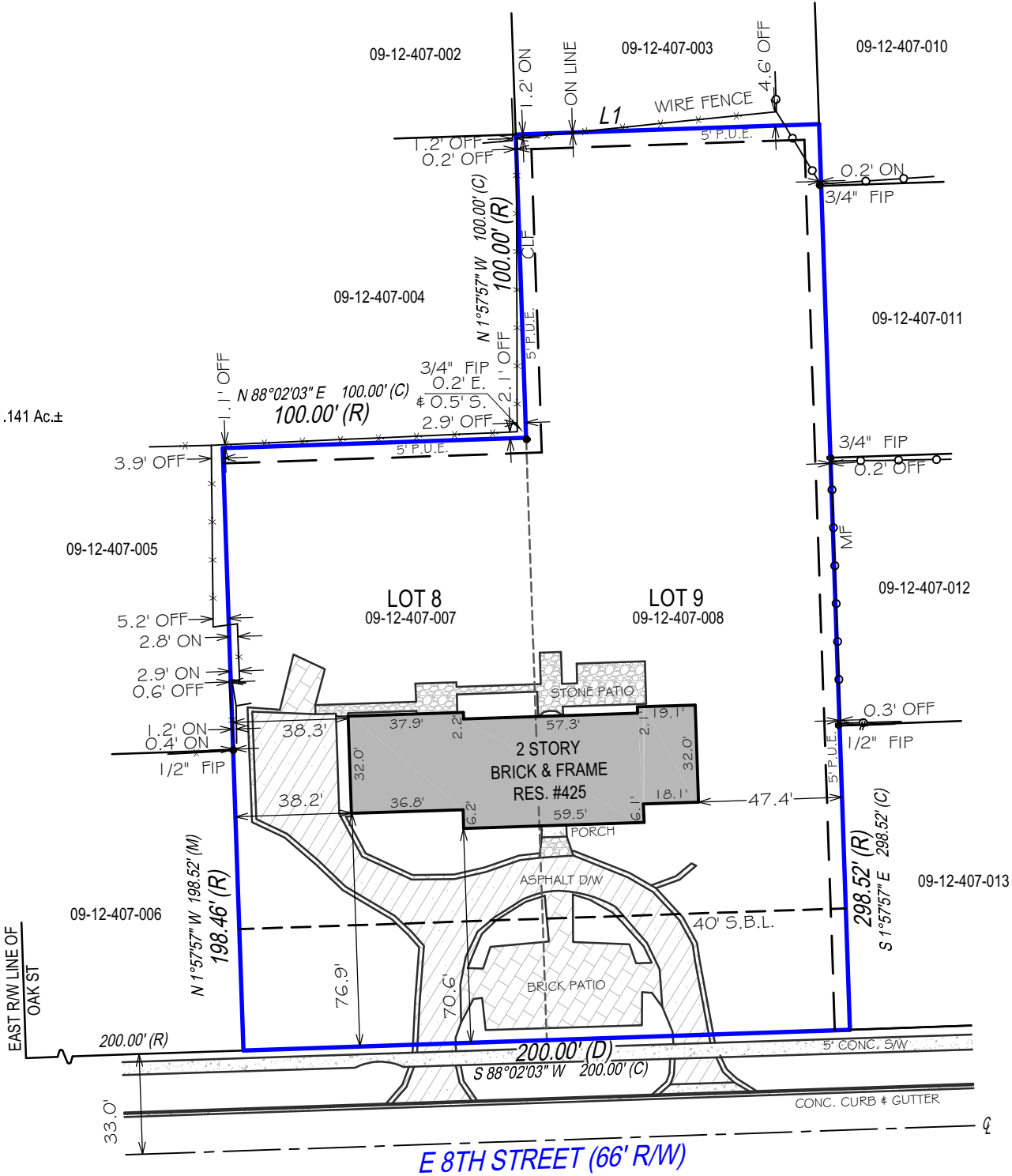


Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450

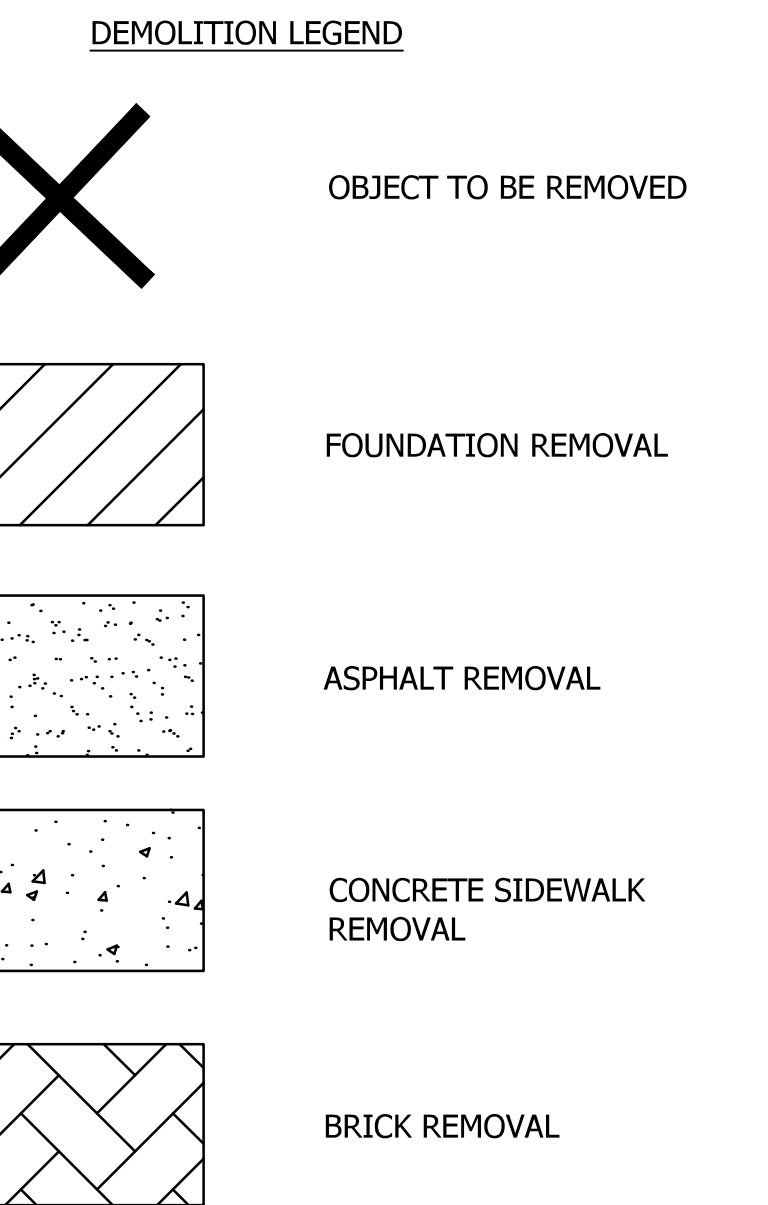
IL2105.6634
BOUNDARY SURVEY
DUPAGE COUNTY

LINE TABLE:
L1 100.00' (R)
S 88°02'03" W 100.00' (C)

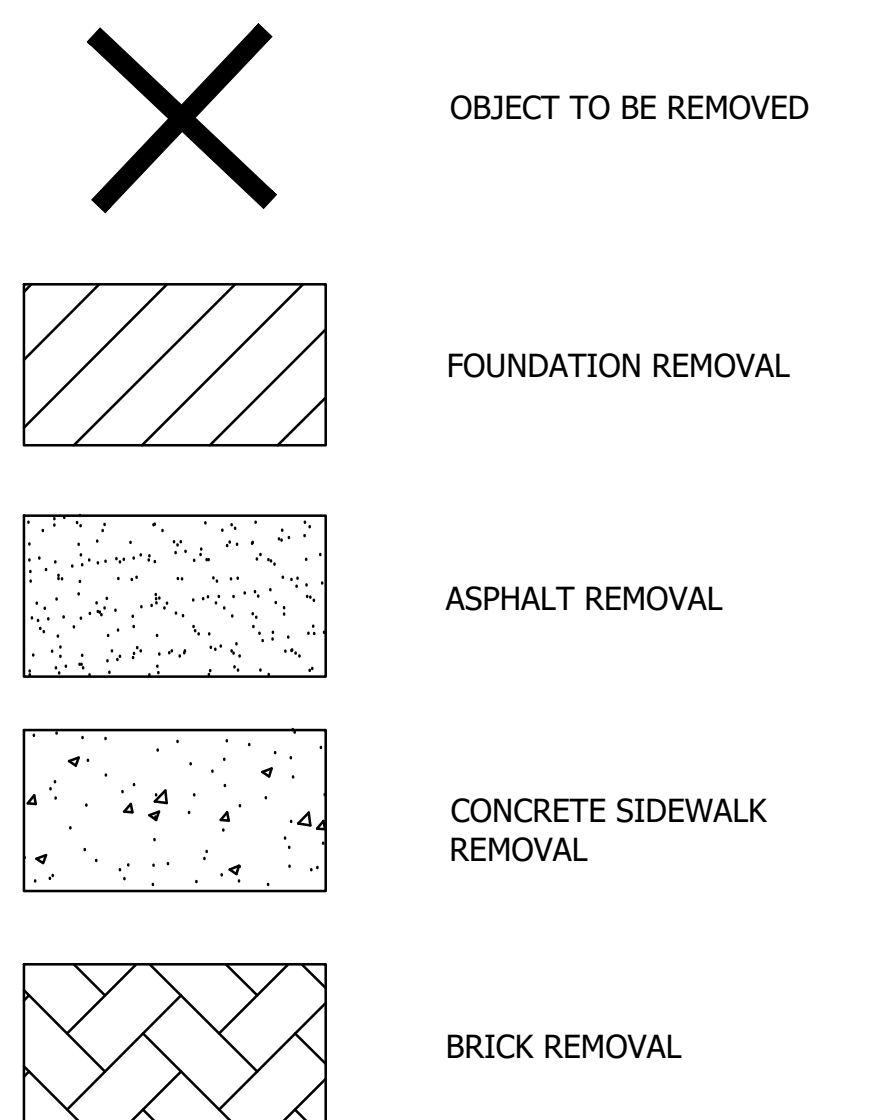
TOTAL AREA OF PROPERTY SURVEYED 1.141 Ac.±



COMMONLY KNOWN AS: 425 E. 8TH STREET, HINSDALE, ILLINOIS



COMMONLY KNOWN AS: 425 E. 8TH STREET, HINSDALE, ILLINOIS



LEGEND

- ### ABBREVIATIONS

- | ADDRESS | SETBACK TO E
8TH STREET |
|------------------|----------------------------|
| 745 S OAK STREET | 46.63' |
| 425 E 8TH STREET | 70.76' |
| 441 E 8TH STREET | 41.76' |
| AVERAGE SETBACK: | 53.05' |

- 11

- T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

FIRM NUMBER: 1840

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

[illegible]

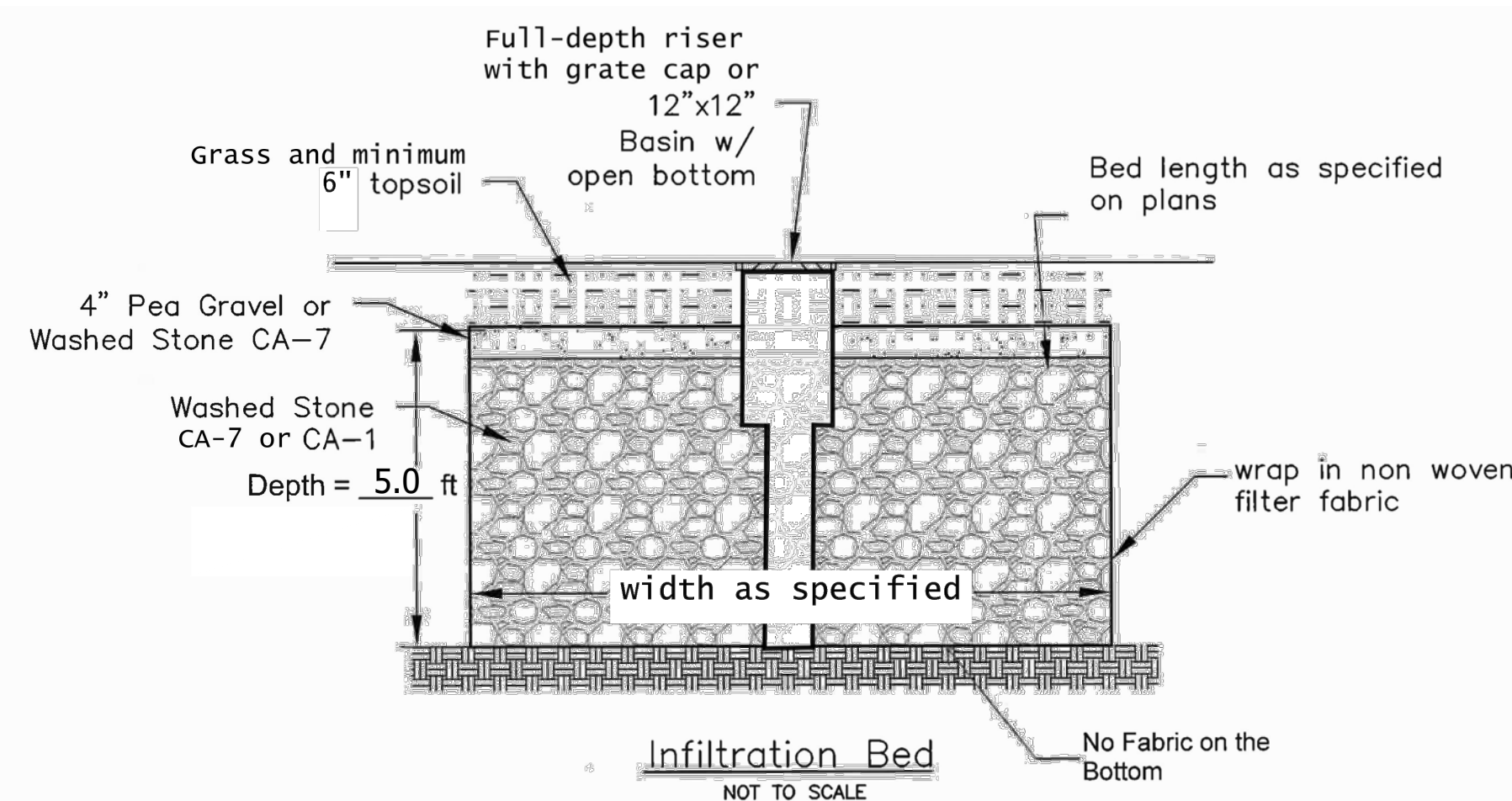
SITE PLAN DATED: OCTOBER 2, 2023 SHEET 4 OF 6 PROFESSIONAL DESIGN FIRM NUMBER: 184.001184

- Rating is based on tree health and structural integrity.
- Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
- Install Tree Protection Fence per Tree Protection Plan prior to any construction activity
- Fence the public portion (parkways) of the entire Tree Protection Zone with a 6' chain-link fence to prevent access to the parkway tree(s) and Tree Protection prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone – Keep Out"
- At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
- The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots and minimize the maintenance of the parkway lawn.
- Tree Protection Zone is the designated area that encompasses and entire tree canopy.

This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.

The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

- At all work must be performed according to the approved Tree Preservation Plan.
2. An approved Tree Preservation Plan must be available on the building site.
3. Install Tree Protection Fence and perform root pruning per plan for all protected trees prior to any construction activity.
4. Remove the public portion (parkways) of the **entire** Tree Protection Zones with a 6' main-link fence to prevent wounds to the parkway trees(s) as well as soil compaction. Post the fence with a sign stating, "Tree Protection Zone – Keep Out."
5. All required tree protection fencing shall remain in place until the time of the final grading and landscaping.
6. **No trenching should be done within the Tree Protection Zones for any construction activity unless pre-approved by Building Department and Forestry staff.**
7. No grade changes should be done within the Tree Protection Zones of parkway trees for any construction activity.
8. Should it be necessary to trench within the TPZ for utilities, including **disconnection or rapping of existing utilities**, all trenches shall be hand dug. No larger trench than 18 inches (2') shall be cut unless no other alternative is feasible. At smaller roots that require cutting shall be cut with pruning saws. Cuts shall be made flush with the side of the trench. If, at any time twenty-five percent (25%) of the area within the TPZ is being separated from the tree by a trench, then the line shall be either relocated or installed using trench-less methods.
9. Locate the proposed water and sewer lines outside of the Tree Protection Zone or install the sewer and water utilities using trench-less methods. **Auger through the entire Tree Protection Zone, locate pits outside of the Tree Protection Zone**
10. **The proposed water service line valves (B-Boxes) are to be ten feet (10') from parkway trees. If future utility excavations need to occur, this reduces the chances of extensive stem or root damage, which could lead to tree decline.**
11. At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zone(s). Do not store excavated soil or the dumpster within the drip line (TPZ) of the parkway tree(s).
12. The proposed driveway area should be installed using techniques to minimize damage to the parkway trees.
 - **The Village will require that the Tree Protection Fence be installed a minimum distance from the tree,**
 - Hand digging only, within Tree Protection Zones,
 - Root pruning will be used as necessary prior to driveway demolition to prune tree roots.
 - All tree protection fencing will be maintained in all areas outside of the apron excavation.
 - Minimal excavation not to exceed 8' deep within Tree Protection Zones.
 - No material or equipment storage within the drip line of the public trees.
 - The use of brick pavers for the drives is recommended.
13. Notify the Village 24 hours prior to the start of work within the drip line of the public trees;
14. **All parties acknowledge that penalties outlined under Title 7 Chapter 2 will be enforced. Title 7 Section 1-Chapter 2-B(3): Any person who removes or cuts down a tree in any public street or parkway or other public place without a permit from the Village or causes the death of the tree in any public street or parkway or other public place by negligence or failure to adequately protect said tree during construction on that person's property shall pay the Village a permit fee of twenty-five thousand dollars (\$25,000).**
15. Removal of any landscape within the Tree Protection Zones will be done by hand. No larger than two (2') shall be cut unless there is no alternative is feasible. Cuts will be made with a sharp pruning saw to avoid tearing and will be flush with the tree side of the trench.
16. Demolition and construction of any proposed sidewalk should follow the Village detail for sidewalk construction within Tree Protection Zones, including no to minimal excavation (see Mandatory Tree Protection During Construction Policy)
17. The Tree Protection Zone shall be outlined to improve the growing conditions for tree roots and minimize the maintenance of the parkway lawn.



Notes:

1. THE DRY WELL SHALL BE TOPPED WITH 0.5 FT. OF TOPSOIL
2. THE DRY WELL SHALL BE LINED WITH FILTER FABRIC AND FILLED WITH WASHED STONE
3. TOPS OF RISERS ARE FLUSH WITH FINAL GRADE WITH GRATED CAPS

DETAIL NO. 45

5.0'

20.0'

5.0'

0.5'

4" PERFORATED PVC PIPE

4" PERFORATED RISERS (PVC PIPE)

CAP

WASHED STONE

FILTER FABRIC

TOPSOIL

SOD

4" PERFORATED PVC PIPE

CAP

VILLAGE OF HINSDALE
STANDARD DETAIL
FOR
LEVEL SPREADER
SHEET: 1 / 2

DATE: 10/29/2018

FILE: STORMWATER.DWG

