

- The Contractor Company Name
- State Contractors License Number
- State Contractor Classification (1234567890 etc)
- State License Limit
- Printed Name of Person who Prepared Drawings
- Original Signature of Person who Prepared Drawings

In order to utilize this exemption, the Contractor will be required to title the plans without references to being prepared by a party other than the Contractor who is completing the work.

- Two sets of structural plans and documents are required with the following but are not limited to
 - Foundation plans showing the following
 - Depth and width dimensions
 - Size and layout of reinforcement
 - Material specifications
 - Details of anchoring attachments or hold downs of sign to foundation
- Exterior elevations showing the following
 - Sign height and dimensions.
- Electrical plans showing the following
 - Service size and location.
 - Location of disconnects.
 - Fluorescent details.
 - Wiring and conduit material type and size.
 - Trench location depth and bedding details.

2. Wall Signs:

- Two Building Plans required with the following
 - Plans shall be complete and consist of architectural and structural drawings with supportive data.
 - Colorado State Licensed Architect or Engineer must draw plans. The architect and/or engineer are responsible for the design and shall date stamp and sign each sheet submitted per (1)(b)
 - Colorado State Licensed Contractor when used for his own work may also draw plans. The Contractor must sign these plans. If a licensed Contractor draws the plans the plans shall be so identified with the following information on the front sheet of each principle drawings on each set of plans
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- All attachment details
- Exterior elevations showing the following

- in location, height and dimensions.
- Electrical plans showing the following:
 - Service size and location.
 - Location of disconnects.
 - Fluorescent details.
 - Wiring and conduit material type and size if running new wiring.
 - Trench location, depth and bedding details if running new wiring.

**CITY OF ELKO
RESIDENTIAL SITE PLAN REQUIREMENTS**

The City of Elko Engineering Department requires two (2) site plans with a minimum scale of 1/10. The following information is required for review:

GENERAL

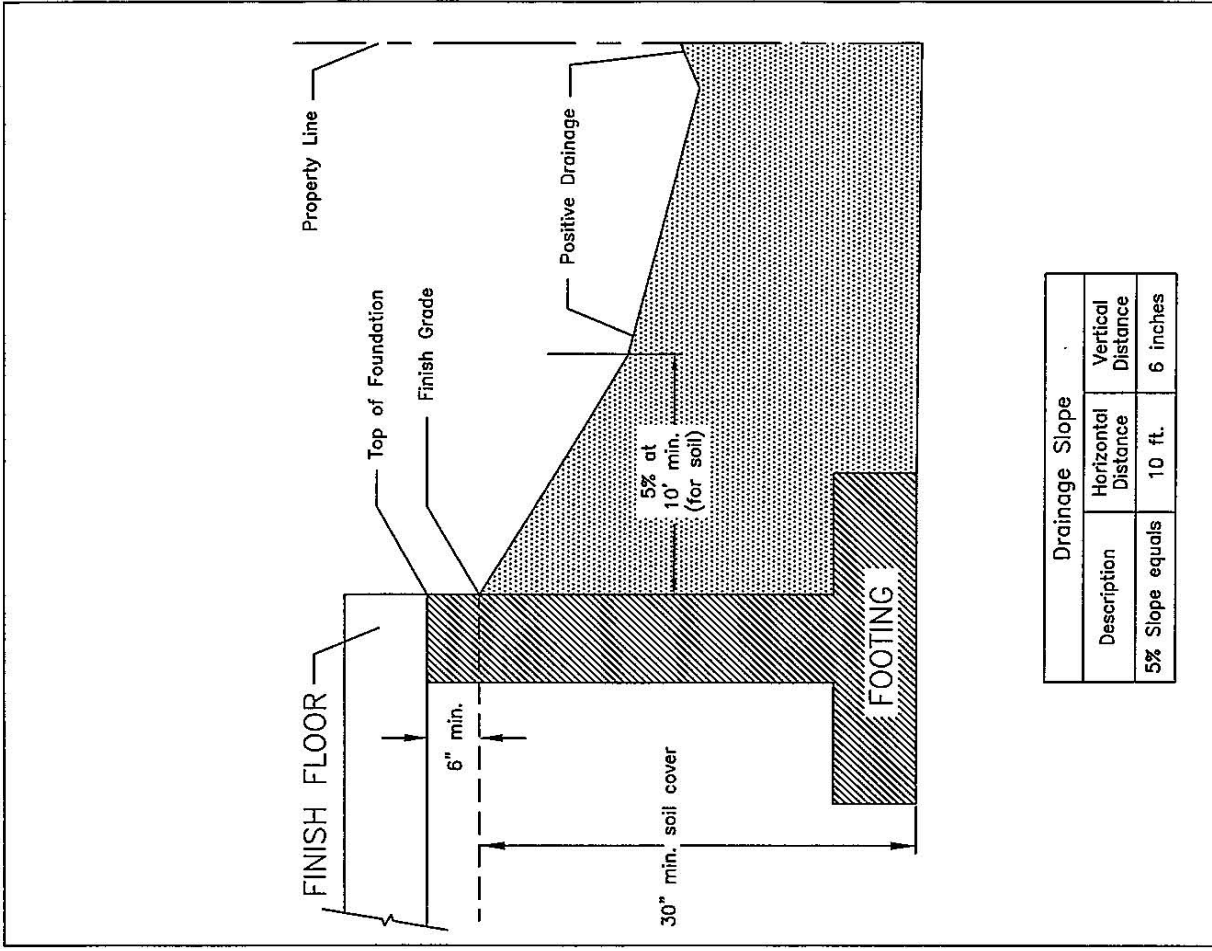
- Recorded lot number and subdivision name.
- Street address and parcel number
- North arrow and scale of drawing
- FEMA rate zone with base flood elevation or a note indicating the project is not within a special flood hazard area (SFHA). The Engineering Department will verify. **If construction is within a SFHA** then the following documentation shall be provided prior to an building permit being granted:
 1. Floodplain development permit application shall be filled out and submitted to the Engineering Dept. for review and approval and
 2. Submit to the Engineering Dept. an additional information the floodplain development permit application requires and
 3. Floodplain certificate shall be completed and must be certified by a state licensed architect, engineer or land surveyor and submitted to the Engineering Dept. for review.
- Project boundary dimensions.
- Street right-of-way line. Note that sidewalk is not the right-of-way line.
- Utility and drainage easements.
- Curbs, gutter, sidewalk and driveway location.
- Off-street parking spaces within setbacks per residence.
- Setback lines. Check with Planning Department for current zoning and setback information.
- Dimensions to building from project lines.
- Overall dimensions of building.

GRADING AND DRAINAGE-PER APPROVED SUBDIVISION PLANS

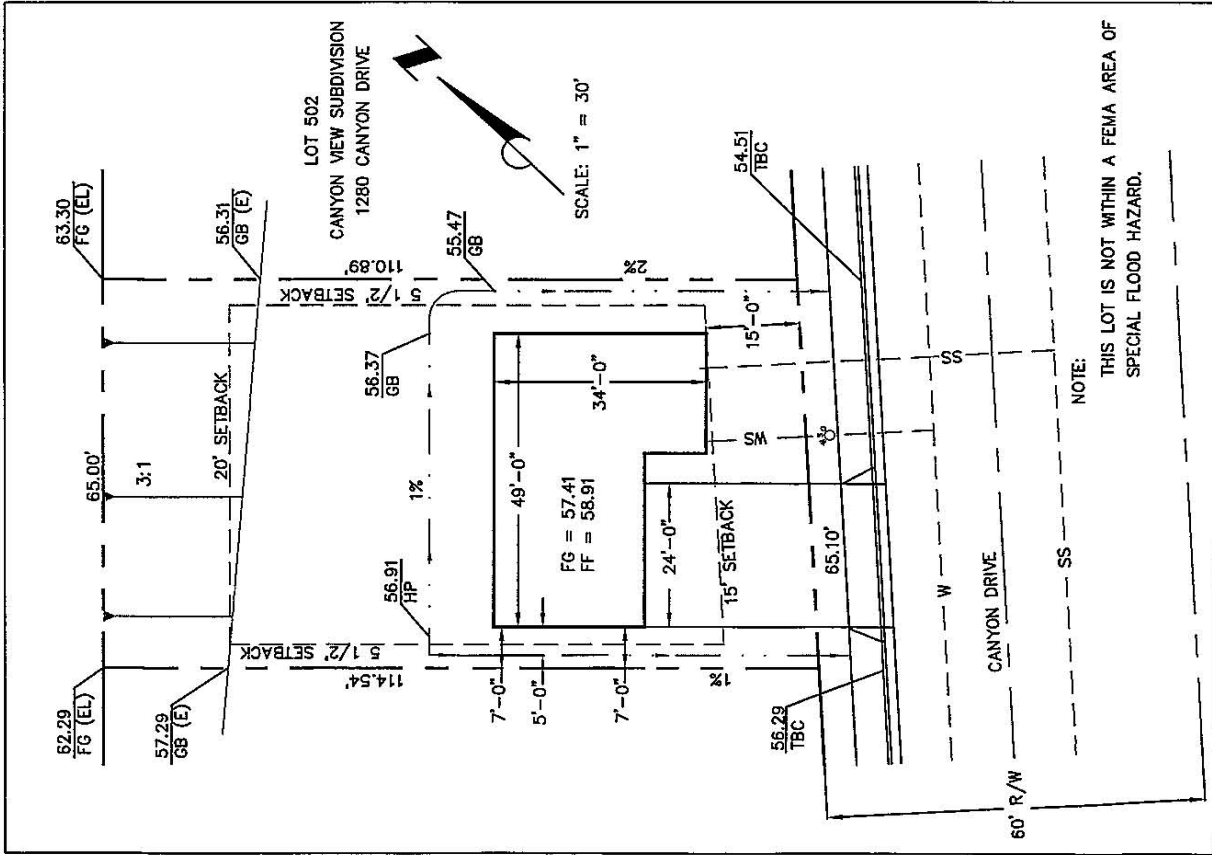
- Finish floor or top of footing elevation for all ground floor levels.
- Finish grade elevation. Must be at least 1" below top of footing base a single elevation if level or spot elevations if grade varies around the building.
- Elevation of existing project corners, curb or sidewalk and grade breaks along lot lines. In new subdivisions use grade elevations as shown on an approved subdivision plan.
- Slope and top of slope locations with setbacks per final approved subdivision plan.
- Low line elevations with distance from structures a minimum of 10' for 10' away from building is required for soil surfaces for concrete or asphalt.
- Low line grades a minimum of 1% is required for soil for concrete.
- Other elevations and grade breaks sufficient to establish finish grade conditions.
- Storm water pollution prevention plan requirements dependent on project lot size see Multi-Family, Commercial and Industrial Submittal Requirements checklist.

UTILITIES

- Water and sewer main line locations.
- Water service and meter location 1 foot in back of sidewalk.
- Sewer service location.
- Electric panel location 1' from public utility.
- State health department certificate for electric panel from public utility.



Drainage Slope		
Description	Horizontal Distance	Vertical Distance
5% Slope equals	10 ft.	6 inches



CITY OF ELKO
ENGINEERING DEPARTMENT
Typical Site Plan

SCALE: 1" = 20'
(Typical)

NOTE: These Drawings
are for Reference Only.

