



Swimming Pool/Spa Submittal Checklist

City of Elko
Building Department
1753 College Avenue
Elko, Nevada 89801
(775) 777-7220

TWO COMPLETE SETS OF PROPERLY STAMPED & SIGNED PLANS ARE REQUIRED. PLANS THAT ARE STAMPED “PRELIMINARY”, “FOR REVIEW ONLY” AND/OR “NOT FOR CONSTRUCTION” ARE UNACCEPTABLE. PLANS DRAWN IN PENCIL, INK OR COLORED HIGHLIGHTING ARE NOT ACCEPTABLE. COMPLETE PLANS SHALL INCLUDE THE FOLLOWING:

1. Two plat, site and grading plans required. (See Attached Residential Site Plan Requirements Sheet).
 - Location of Property/Address/APN
 - North Arrow
 - Streets Clearly Shown
 - Property lines, easements, right-of-way of record, and overhead utilities.
 - Existing structures, fences, retaining walls, irregular grades (2-1 slope or greater), and other relevant characteristics adjacent to the pool/spa or waterscape area.
 - The proposed pool/spa or waterscape, shape and type, dimensioned and located to show setbacks, side yards and clearances from existing structures adjacent to the pool/spa or waterscape area.
 - The proposed mechanical equipment pad dimensioned location in the relation to setbacks and side yards.
 - All diving and deck equipment items if included.
 - The proposed deck work configuration showing its anticipated drainage.

2. Two building plans required with the following:
 - Plans shall be complete and consist of architectural, structural, electrical, plumbing, and mechanical drawings with supportive data.
 - A Nevada State Licensed Architect or Engineer must draw plans. The architect and/or engineer are responsible for the design and shall date, stamp and sign each sheet submitted per NRS.
 - A Nevada State Licensed Contractor or Owner/Builder when used for his own work may also draw plans. Contractor or Owner/Builder must sign these plans. If a licensed Contractor draws the plans, the plans shall be so identified with the following information on the front sheet of each principle’s drawings on each set of plans:
 - o The Contractor Company Name
 - o State Contractors License Number
 - o State Contractor Classification (C-1, C-2b, B, B-2, etc)
 - o State License Limit

- o Printed Name of Person who prepared drawings
- o Original Signature of Person who prepared drawings

In order to utilize this exemption, the Contractor will be required to title the plans without references to being prepared by a party other than the Contractor who is completing the work.

If an Owner/Builder draws the plans, the plans shall be so identified with the following information on the front sheet of each set of plans:

- o Printed Name of Owner who prepared drawings
- o Original Signature of Owner who prepared drawing
- o Statement, "Owner/Builder"

In order to utilize this exemption, the Owner must own the property and it must be his/her full time residence. The Owner also will be required to title the plans without references to being prepared by a party other than the Owner who is completing the work.

3. A structural working plan showing at least the following:
 - ❑ The type of construction.
 - ❑ The pool/spa or waterscape dimensions, including the depth, surface area, and adequate cross-sections drawn to scale.
 - ❑ Computations, stress diagrams, and other data sufficient to show the correctness of the plans, including the reinforcing steel schedule and detail, if applicable.
 - ❑ Contractor's structural calculations (stamped and signed by a registered engineer) for pool, spas, spa dam walls, raised bond beams, surcharges (within five feet of structures or property lines), waterscape and all other unusual conditions.
 - ❑ Detailed working drawings of the items listed above, which shall be stamped and signed by the engineer of record and show:
 - o Plan view
 - o Cross sections
 - o Reinforcing steel size
 - o Reinforcing steel spacing
 - o Thickness of walls

4. A mechanical/plumbing plan showing at least the following:
 - ❑ The volume, system flow rate in gallons per minute (GPM's) and turn over in hours.
 - ❑ The type and size of filtration system and the means of waste disposal. The type and size of the pool heater, including the method of venting and provisions for combustion air, if applicable.
 - ❑ A pool piping schedule listing the types of materials and size of materials being used, and showing the location of the main outlets, surface skimmers, and inlets.
 - ❑ The means of adding make-up water.
 - ❑ The size, length, material and routing of the gas line from source to heater, if applicable.
 - ❑ The size and location of existing electrical service.

5. Electrical plans showing at least the following:
 - ❑ Plans showing outlets, lights, and other electrical equipment served.
 - ❑ Location and size of existing/new service panel
 - ❑ An electrical load calculation will be required if the size of the main electrical service is **less** than 200 AMP or two (2) or more pumps are installed

Revised 10/08
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CITY OF ELKO
RESIDENTIAL SITE PLAN REQUIREMENTS

The City of Elko Engineering Department requires two (2) site plans on 8 ½x11 paper or larger for any single-family residence. The following information is required for review:

GENERAL

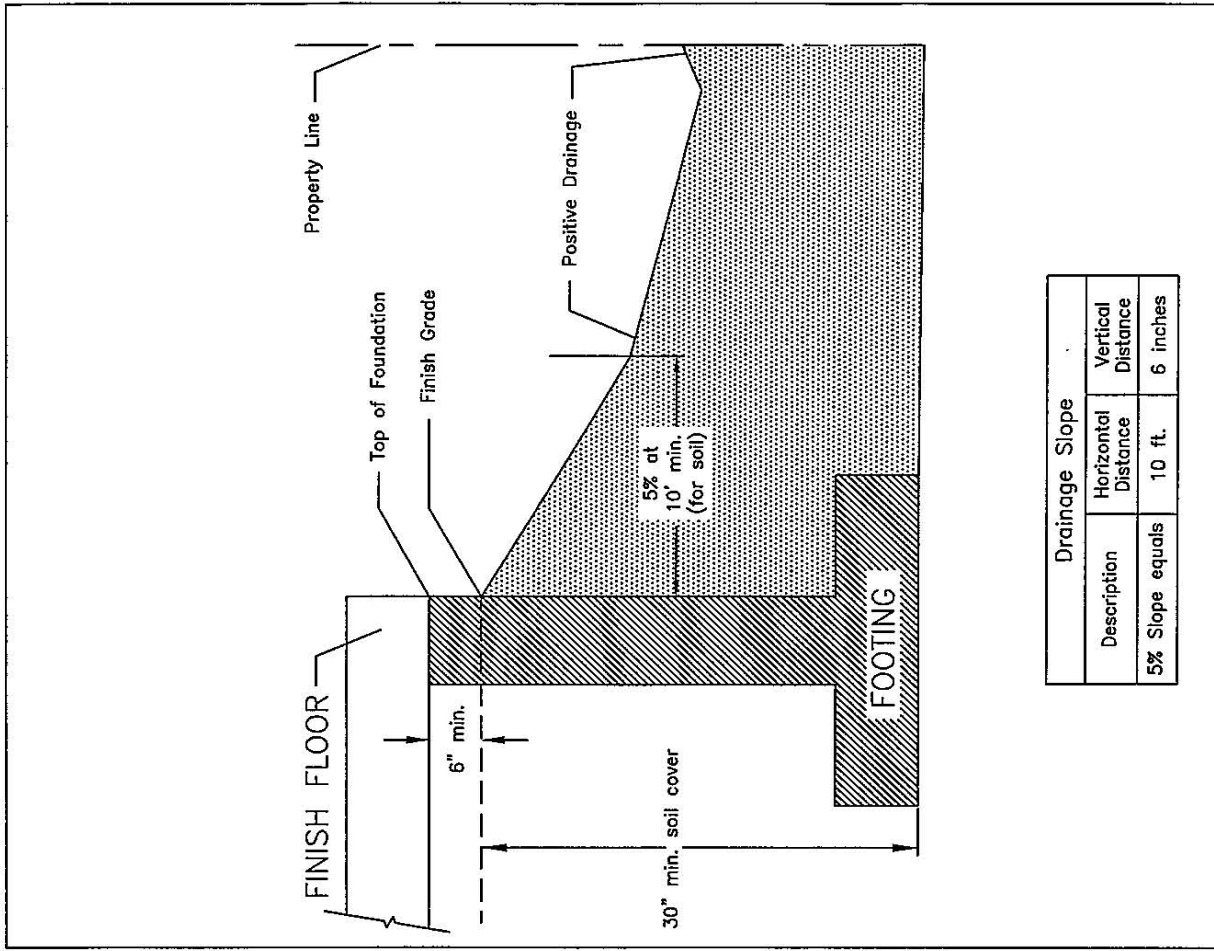
- Recorded lot number and subdivision name.
- Street address and APN (Parcel Number)
- North arrow and scale of drawing.
- FEMA rate zone with base flood elevation or a note indicating the project is not within a special flood hazard area (SFHA). (Engineering Department will verify.) **If construction is within a SFHA**, then the following documentation shall be provided prior to any building permit being granted:
 1. A “Floodplain Development Permit” application shall be filled out and submitted to the Engineering Dept. for review and approval, and
 2. Submit to the Engineering Dept. any additional information the “Floodplain Development Permit” application requires, and
 3. An Elevation Certificate shall be completed & must be certified by a state licensed Architect, Engineer, or Land Surveyor and submitted to the Engineering Dept. for review.
- Property boundary dimensions.
- Street right-of-way line. (Note: back of sidewalk is not the right-of-way line.)
- Utility and drainage easements.
- Curb, gutter, sidewalk and driveway location.
- Off-street parking (2 spaces within setbacks per residence).
- Setback lines. (Check with Planning Department for current zoning and setback information).
- Dimensions to building from property lines.
- Overall dimensions of building.

GRADING AND DRAINAGE-PER APPROVED SUBDIVISION PLANS

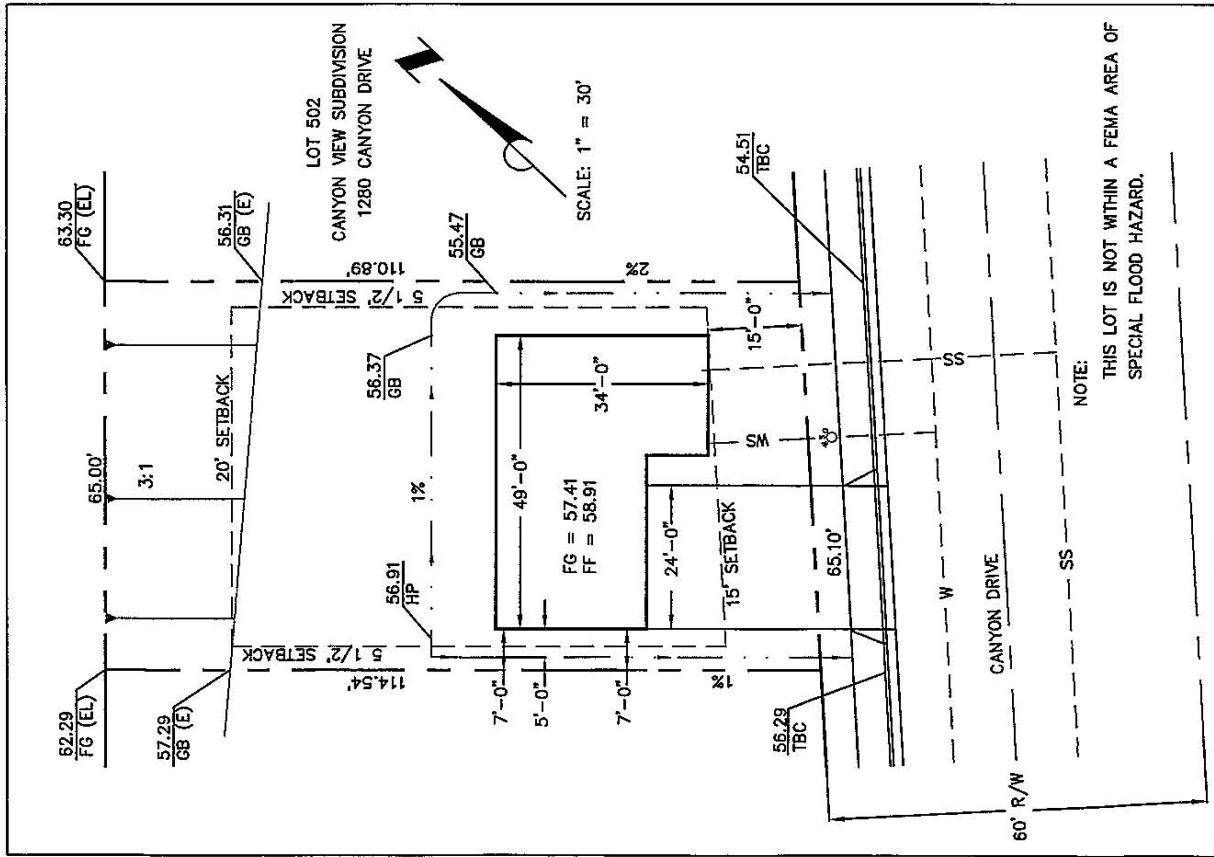
- Finish floor or top of footing elevation for all ground floor levels.
- Finish grade elevation. Must be at least 6" below top of footing. Use a single elevation if level or spot elevations if grade varies around the building.
- Elevation of existing property corners, curb or sidewalk, and grade breaks along lot lines. In new subdivisions use grade elevations as shown on an approved subdivision grading plan.
- Toe and top of slope locations with setbacks per final approved grading plan.
- Flow line elevations with distance from structures (a minimum of 5% for 10' away from building is required for soil surfaces, 2% for concrete & asphalt).
- Flow line grades (a minimum of 1 % is required for soil, ½% for concrete).
- Other elevations and grade breaks sufficient to establish finish grade conditions.
- Storm Water Pollution Prevention Plan-Requirements dependent on project (lot) size (See Multi-Family, Commercial and Industrial Submittal Requirements Checklist).

UTILITIES

- Water and sewer main line locations.
- Water service and meter box location (1-foot in back of sidewalk).
- Sewer service location.
- Septic Tank Location & Size (If Applicable)
- State Health Approval Certificate for Septic Tank (If Applicable)



| Drainage Slope | | |
|-----------------|---------------------|-------------------|
| Description | Horizontal Distance | Vertical Distance |
| 5% Slope equals | 10 ft. | 6 inches |



CITY OF ELKO
ENGINEERING DEPARTMENT
Typical Site Plan

SCALE: 1" = 20'
(Typical)

NOTE: These Drawings
are for Reference Only.

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