



CITY OF ELKO  
CITY MANAGER  
1751 COLLEGE AVENUE  
ELKO, NEVADA 89801  
(775) 777-7110/FAX (775) 777-7119

The Elko City Council will meet in regular session on Tuesday, July 23, 2019

Elko City Hall, 1751 College Avenue, Elko, NV 89801, at 4:00 P.M., P.D.S.T.

Attached with this notice is the agenda for said meeting of the Council.

In accordance with NRS 241.020, the public notice and agenda was posted on the City of Elko

Website, <http://www.elkocitynv.gov/>, the State of Nevada's Public Notice Website,

<https://notice.nv.gov/>, and in the following locations:

**ELKO CITY HALL**

1751 College Avenue, Elko, NV 89801

Date: Time Posted: Wednesday, July 18, 2019 at 8:30 a.m.

**ELKO COUNTY COURTHOUSE**

571 Idaho Street, Elko, NV 89801

Date/Time Posted: Wednesday, July 18, 2019 at 8:40 a.m.

**ELKO POLICE DEPARTMENT**

1448 Silver, Elko NV 89801

Date/Time Posted: Wednesday, July 18, 2019 at 8:50 a.m.

**ELKO CITY HALL**

**ELKO COUNTY LIBRARY**

720 Court Street, Elko, NV 89801

Date/Time Posted: Wednesday, July 18, 2019 at 9:00 a.m.

Posted by: <u>Kim Wilkinson</u>	<u>Administrative Assistant</u>	<u><i>Kim Wilkinson</i></u>
Name	Title	Signature

The public may contact Kim Wilkinson by phone at (775)777-7110 or email at [kwilkinson@elkocitynv.gov](mailto:kwilkinson@elkocitynv.gov) to request supporting material for the meeting described herein. The agenda and supporting material is available at Elko City Hall, 1751 College Avenue, Elko, NV or on the City website at <http://www.elkocity.com>

*Dated this 18<sup>th</sup> day of July, 2019*

**NOTICE TO PERSONS WITH DISABILITIES**

Members of the public who are disabled and require special accommodations or assistance at the meeting are requested to notify the Elko City Council, 1751 College Avenue, Elko, Nevada 89801, or by calling (775) 777-7110.

*Curtis Calder*  
Curtis Calder, City Manager  
Elko, Nevada

**CITY OF ELKO**  
**CITY COUNCIL AGENDA**  
**REGULAR MEETING**  
**4:00 P.M., P.D.S.T., TUESDAY, JULY 23, 2019**  
**ELKO CITY HALL, 1751 COLLEGE AVENUE, ELKO, NEVADA**

**CALL TO ORDER**

The Agenda for this meeting of the City of Elko City Council has been properly posted for this date and time in accordance with NRS requirements.

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**COMMENTS BY THE GENERAL PUBLIC**

Pursuant to N.R.S. 241, this time is devoted to comments by the public, if any, and discussion of those comments. No action may be taken upon a matter raised under this item on the agenda until the matter itself has been specifically included on a successive agenda and identified as an item for possible action. **ACTION WILL NOT BE TAKEN**

**APPROVAL OF MINUTES:      July 9, 2019              Regular Session**

**I.      PRESENTATIONS**

- A.      Reading of a proclamation by the Mayor recognizing Sunday, July 28<sup>th</sup> as “National Parents Day”, and matters related thereto. **INFORMATION ONLY – NON ACTION ITEM**
- B.      Presentation of a retirement plaque to Officer Fred McKown, for his twenty two years of service to the City of Elko Police Department, and matters related thereto. **INFORMATION ONLY – NON ACTION ITEM**

**II.     CONSENT AGENDA**

- A.      Review, consideration, and possible action to reappoint Planning Commission members Jeff Dalling and Evi Buell to an additional Four-Year Term to expire July 2023, and matters related thereto. **FOR POSSIBLE ACTION**

Jeff Dalling and Evi Buell’s terms expire July 2019. Pursuant to City Code Section 3-4-1, Planning Commission members shall be eligible for reappointment, and the terms shall be four years or until his/her successor takes office. Mr. Dalling and Ms. Buell have indicated an interest to continue serving on the Planning Commission. CL

- B. Review, consideration, and possible approval of the City of Elko Fiscal Year 2018/2019 Indebtedness Report, Debt Management Policy, and Five-Year Capital Improvement Plan as required by NRS 350.013, and matters related thereto. **FOR POSSIBLE ACTION**

Pursuant to NRS 350.013, all entities must file the Indebtedness Report, an updated Debt Management Policy, and the Five-Year Capital Improvement Plan. The updated reports are included in the agenda packet for your review. CQ

- C. Review, consideration, and possible approval for the Elko Police Department to acquire a surplus vehicle from the military 1033 Program, and matters related thereto. **FOR POSSIBLE ACTION**

The Elko Police Department coordinates with the Office of Criminal Justice Assistance to acquire surplus equipment and vehicles through the 1033 Program. Acquiring equipment from this program requires no financial commitment from the City of Elko. This is an opportunity to acquire a used Humvee style all-terrain vehicle. BR

### **III. PERSONNEL**

- A. Employee Introductions:

- 1). Payden Shafer, Landfill Equipment Operator, Public Works Department

- B. Review and possible approval of the Financial Services Director position description, and matters related thereto. **FOR POSSIBLE ACTION**

As the result of ongoing reorganization efforts, Staff is proposing the creation of a Financial Services Director position. If approved, the proposed position will oversee the Accounting/Finance and Information Systems Departments. The Human Resources Department will report directly to the City Manager.

The Administrative Services Director position will remain unfilled. Due to the reduction in responsibility, Staff is proposing the Financial Services Director position be placed in Management Pay Grade 38. SS

### **IV. APPROPRIATIONS**

- A. Review and possible approval of Warrants, and matters related thereto. **FOR POSSIBLE ACTION**
- B. Review and possible approval of Print n' Copy Warrants, and matters related thereto. **FOR POSSIBLE ACTION**
- C. Review and possible approval of Great Basin Engineering Contractors Warrants, and matters related thereto. **FOR POSSIBLE ACTION**

- D. Review and possible approval for the Fire Department to purchase one (1) Fire Marshal vehicle and accessories through Nevada State Purchasing for \$57,547.06, and matters related thereto. **FOR POSSIBLE ACTION**

City Council approved the vehicle purchase in the FY 2019/2020 Budget (Capital Equipment Fund). Fire Marshal Holmes is moving forward with ordering the vehicle and accessories. JH

- E. Review, discussion, and possible approval for the Fire Department to purchase a new Type III Fire Apparatus from Boise Mobile Equipment for the amount of \$331,069.00, and matters related thereto. **FOR POSSIBLE ACTION**

The City of Elko Fire Department would like the approval to purchase a new Type III Fire Engine. The new Fire Engine will replace the current Engine 54 which is 22 years old. The new Fire Engine will be built by Boise Mobile Equipment, at the price of \$331,069.00. The apparatus will feature seating for four firefighters, 500 gallons of water, 500 gallon per minute pump, pump and roll capabilities and increased compartment space. The Fire Department would like to order the apparatus and not require payment until delivery. This purchase will be done utilizing the HGAC purchasing program. JS

- F. Review, consideration, and possible issuance of final acceptance for the Municipal Swimming Pool Repair Project, and matters related thereto. **FOR POSSIBLE ACTION**

This project was awarded to MGM Construction Inc. at the February 26, 2019 Council Meeting in the amount of \$463,353.00. There were two approved change orders for the project. One resulting in a reduction of cost for the amount of \$1,221.00 and a second resulting in an increase of cost for the amount of \$2,535.00. The net total for change orders amounting to \$1,314.51 bringing the total for the project to \$464,666.51. The project has been completed on time and in conformance with the plans and specifications. JW

## **V. SUBDIVISIONS**

- A. Review, consideration, and possible action to conditionally approve Final Map No. 8-19, filed by Copper Trails LLC, for the development of a subdivision entitled Copper Trails Phase 2, Unit 1 involving the proposed division of approximately 19.194 acres of property into 9 lots for residential development and 1 remainder lot within the R (Single Family and Multiple Family Residential) Zoning District, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is located at the intersection of Copper Street and Mittry Avenue (APN 001-610-114). The Planning Commission considered this item on July 2, 2019 and took action to forward a recommendation to conditionally approve Final Map 8-19. MR

- B. Review, consideration, and possible conditional acceptance of Public Improvements for the Autumn Colors Phase 5 Subdivision, and matters related thereto. **FOR POSSIBLE ACTION**

Council approved Final Map 2-18 on June 12, 2018. An Agreement to Install Public Improvements and a Performance Guarantee was entered into June 12, 2018.

The Developer has substantially completed the Public Improvements in accordance with the approved plans with the exception of a few outstanding items. The developer is asking for a conditional acceptance with the understanding that the remaining items will be completed by September of this year. The City is in receipt of the required Certification of the project by the Engineer of Record. Upon acceptance of the Public Improvements by the Council, the Developer is required to provide maintenance security in the amount of \$64,735.00 for a 12 month maintenance period. The maintenance security is on deposit with the City. MR

## **VI. NEW BUSINESS**

- A. Review, consideration, and possible approval of a Performance/Maintenance Agreement for subdivision improvements associated with the Copper Trails Phase 2, Unit 1 subdivision, and matters related thereto. **FOR POSSIBLE ACTION**

Elko City Code 3-3-21 requires the subdivider to have executed and filed an agreement between the subdivider and the City for the required subdivision improvements, included stipulations on the timeframe for when those improvements are to be completed, and to post a performance guarantee in accordance with Elko City Code 3-3-22. As part of the conditions of approval for Final Map 8-19, the Planning Commission recommended that the agreement be approved by the City Council. The Planning Commission also recommended that the Developer shall enter into the agreement within 30 days of the City Council's approval of the Final Map. MR

## **VII. RESOLUTIONS AND ORDINANCES**

- A. First reading of proposed Ordinance No. 842 amending Section 3-2-3 of the Elko City Code entitled "General Provisions" adding a reference to curb, gutter, and sidewalk requirements set forth in Title 8 (Public Ways and Property) and matters related thereto. **FOR POSSIBLE ACTION**

The Planning Commission initiated this amendment to the City Zoning Ordinance at their meeting of May 7, 2019. At their meeting on July 2, 2019 the Planning Commission recommended that the City Council adopt Ordinance No. 842, which approves Zoning Ordinance Amendment No. 1-19 of the Elko City Code, specifically Section 3-2-3. CL

- B. First reading of proposed Ordinance 844 An Ordinance deleting Title 7 Chapter 6 entitled "Recreational Vehicles" and creating Title 7, Chapter 6 entitled "Off-Highway Vehicles" and establishing rules for operation of off-highway vehicles

within the municipal boundaries of the City of Elko, established routes for ingress and egress from the City of Elko to public and private lands where off-highway vehicle use is authorized, and establishing the penalties for violations **FOR POSSIBLE ACTION**

City Council initiated this ordinance on August 28, 2018, and directed Staff to form a workgroup consisting of City Staff and interested members of the public. The work group met several times. A public hearing was held on January 24, 2019 to garner further public input. KW

## **VIII. PETITIONS, APPEALS, AND COMMUNICATIONS**

- A. Ratification of the Police Chief issuing a 30-day Temporary Retail Liquor License and issue a Regular Retail Liquor License, to Richard Estey, Paula Graziano, and Allyson Estey, DBA Bourbon Street Bar #178 (Nevada Restaurant Services, Inc.), located at 2751 Mountain City Hwy, Elko, NV 89801, and matters related thereto. **FOR POSSIBLE ACTION**

## **IX. 5:30 P.M. PUBLIC HEARINGS**

- A. Review, consideration, and possible action to adopt Resolution No. 14-19, a resolution of the Elko City Council adopting a change in zoning district boundaries from PQP (Public, Quasi-Public) to R1 (Single Family Residential) zoning district, approximately 8.02 acres of property located generally north of the intersection of Celtic Way and El Armuth Drive, filed by Bailey & Associates, and processed as Rezone No. 2-19, and matters related thereto. **FOR POSSIBLE ACTION**

The Planning Commission considered the subject zone change request on July 2, 2019 and took action to forward a recommendation to City Council to adopt a resolution which approves Rezone No. 2-19. CL

- B. Review, consideration, and possible action to adopt Resolution No. 15-19, a resolution and order vacating a portion of the 3<sup>rd</sup> Street Right-of-Way adjacent to APN 001-224-009, consisting of an area approximately 900 square feet, filed and processed as Vacation No. 3-19 filed by David and Juliane Ernst, and matters related thereto. **FOR POSSIBLE ACTION**

Council accepted a petition for the subject vacation at its regular meeting of June 11, 2019, and directed Staff to continue with the vacation process by referring the matter to the Planning Commission. The Planning Commission considered the vacation at its regular meeting July 2, 2019, and took action to forward a recommendation to Council to adopt a resolution, which conditionally approves Vacation No. 3-19 with findings in support of its recommendation. CL

- C. Review, consideration, and possible action to conditionally approve Tentative Map No. 7-19, filed by Bailey and Associates LLC, for the development of a subdivision entitled Cambridge Estates involving the proposed division of approximately 8.02 acres of property into 35 residential lots for residential development within the R1

(Single Family Residential) Zoning District, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is located on the northeast corner of the intersection of Celtic Way and El Armuth Drive (APN 001-660-041). The Planning Commission considered this item on July 2, 2019 and took action to forward a recommendation to conditionally approve Tentative Map 7-19. MR

**X. REPORTS**

- A. Mayor and City Council
- B. City Manager – Nevada League of Cities Conference
- C. Assistant City Manager
- D. Utilities Director
- E. Public Works
- F. Airport Manager
- G. City Attorney
- H. Fire Chief
- I. Police Chief
- J. City Clerk
- K. City Planner
- L. Development Manager
- M. Parks and Recreation Director
- N. Civil Engineer
- O. Building Official

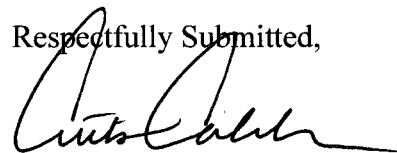
**COMMENTS BY THE GENERAL PUBLIC**

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**NOTE:** The Mayor, Mayor Pro Tempore, or other Presiding Officer of the City Council reserves the right to change the order of the agenda, and if the agenda has not been completed, to recess the meeting and continue on another specified date and time. Additionally, the City Council reserves the right to combine two or more agenda items, and/or remove an item from the agenda, or delay discussion relating to an item on the agenda at any time.

**ADJOURNMENT**

Respectfully Submitted,



Curtis Calder  
City Manager

City of Elko           )  
County of Elko       )  
State of Nevada       )

SS     July 9, 2019

The City Council of the City of Elko, State of Nevada met for a regular meeting beginning at 4:00 p.m., Tuesday, July 9, 2019.

This meeting was called to order by Mayor Reece Keener.

## **CALL TO ORDER**

## **ROLL CALL**

**Mayor Present:**       Reece Keener

**Council Present:**     Councilman Robert Schmidlein  
                          Councilman Chip Stone  
                          Councilman Bill Hance

**Council Absent:**      Councilwoman Mandy Simons

**City Staff Present:**   Curtis Calder, City Manager  
                          Scott Wilkinson, Assistant City Manager  
                          Ryan Limberg, Utilities Director  
                          Kelly Wooldridge, City Clerk  
                          Michele Rambo, Development Manager  
                          Jeff Ford, Building Official  
                          Bob Thibault, Civil Engineer  
                          Candi Quilici, Accounting Manager  
                          Dennis Strickland, Public Works Director  
                          Mike Haddenham, WRF Superintendent  
                          James Wiley, Parks and Recreation Director  
                          Jim Foster, Airport Manager  
                          Matt Griego, Fire Chief  
                          Jack Snyder, Fire Department  
                          John Holmes, Fire Marshal  
                          Ben Reed, Police Chief  
                          Ty Trouten, Police Captain  
                          Diann Byington, Recording Secretary

## **PLEDGE OF ALLEGIANCE**

## **COMMENTS BY THE GENERAL PUBLIC**

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*There were no public comments.*

Mayor Keener said, at the 4<sup>th</sup> of July celebration, the City of Elko was presented with a nice certificate of appreciation from Elko County for our ongoing support of the fireworks show.

**APPROVAL OF MINUTES:**      June 25, 2019      **Regular Session**

*The minutes were approved by general consent.*

**I.      PRESENTATIONS**

- B.      Reading of a proclamation by the Mayor recognizing Tuesday, August 6, 2019 as “National Night Out” and matters related thereto. **INFORMATION ONLY – NON ACTION ITEM**

Mayor Keener read the proclamation.

Chief Reed spoke about the upcoming event.

**II.     PERSONNEL**

- A.      Employee Introductions:

- 1) Nathaniel Bradford, Patrol Officer, Police Department

*Present and introduced.*

Mayor Keener stated that the Police Department will have an officer retiring soon and invited Chief Reed to speak about it.

Chief Reed said a few words about working with Fred McKown and presented him with an appreciation plaque. There were a lot of officers present to see him off.

Fred McKown, Police Patrol IV Advanced, thanked his brothers and sisters he works with. He stated he couldn’t ask for a better group of people to have worked with for so many years.

**I.      PRESENTATIONS (Cont.)**

- C.      Semi-Annual Update on the Fire Department by Fire Chief Matt Griego, and matters related thereto. **INFORMATION ONLY - NON ACTION ITEM**

Jack Snyder, Deputy Fire Chief gave a presentation (Exhibit “A”).

- A.      Update by the Nevada League of Cities and Municipalities, Executive Director Wes Henderson, on the Legislative Session and League Activities, and matters related thereto. **INFORMATION ONLY – NON ACTION ITEM**

Wes Henderson was not present.

### III. APPROPRIATIONS

- A. Review and possible approval of Warrants, and matters related thereto. **FOR POSSIBLE ACTION**

**\*\* A motion was made by Councilman Stone, seconded by Councilman Schmidtlein, to approve the general warrants.**

*The motion passed unanimously. (4-0)*

- B. Review and possible approval of Ruby Mountain Lock & Safe Warrants, and matters related thereto. **FOR POSSIBLE ACTION**

**\*\* A motion was made by Councilman Schmidtlein, seconded by Councilman Stone, to approve the Ruby Mountain Lock & Safe warrants.**

*The motion passed. (3-0 Councilman Hance abstained.)*

- C. Review, consideration, and possible issuance of final acceptance for the WRF Secondary Clarifier #3 Project, and matters related thereto. **FOR POSSIBLE ACTION**

The project has been completed. Change orders totaled \$105,238.22. 62 Days of liquidated damages were assessed at the contract rate of \$1,000.00 per calendar day. This amounted to a reduction in cost of \$62,000.00. RL

Ryan Limberg, Utilities Director, asked Bob Thibault to play a video showing the construction of the project. The project is complete. He went over the change orders and liquidated damages. There is a letter included in the packet from the general contractor, Gerber Construction, requesting the liquidated damages be reduced.

Mark Nielson, Gerber Construction, Lehi, UT, thanked council for the opportunity to take a minute or two to speak. He wrote a letter that is included in the packet. He takes pride in the completed project and he hopes it serves the city for many decades. They had a great working relationship on site with Mike Haddenham and Eric Lattin. The project had challenges. They were late and took more than the contract allotted time to complete the project. The biggest reason he asks for a reduction in the liquated damages is because he didn't think the damages were worth that much. The plant didn't lack capacity and there weren't issues by not having that clarifier online.

Councilman Schmidtlein asked, with the change order items, were you awarded any additional days.

Mr. Nielson answered yes, they were, about 15 days.

Councilman Schmidtlein asked if the 15 days were fair for the extra work awarded.

Mr. Nielson answered yes.

Councilman Schmidtlein asked if there were any weather days.

Mr. Limberg answered there were some work stoppage days.

Mr. Nielson said the timeframe talked about included the Christmas and the holiday seasons. They wanted their guys to spend the holidays with their families.

Councilman Schmidtlein said he is a contractor and has paid liquidated damages. He thought Fridays should have been worked. There are days that should have been utilized for work. We go through this on various projects and they have a responsibility as a contractor. It's not fair. There may not have been a huge demand for the clarifier but they also had the responsibility to meet commitments.

Mayor Keener said this did fall over the holiday season and perhaps they can exclude some holiday days. He also felt they should be given some days for the excessive ground water.

Curtis Calder, City Manager, said there has been more ground water and some allowances have been given for that. We have struggled with that on all of our projects lately. He didn't think it would be out of line to waive some days, perhaps 10 days for an allowance for something like that.

Mr. Nielson said the water was a significant issue. The geotechnical report gave a dewatering pumping range but that range is difficult to bid from.

Mayor Keener called for public comment without a response.

Councilman Stone thought Mr. Nielson was asking for mercy. They have done other projects for us and we have a good relationship. He thought some holiday days and dewatering days would be fair to keep the relationship in good working order.

Councilman Hance said he has had the liquidated damages come down like a hammer. What was in the 62 days that took so much to get finished?

Mr. Limberg thought it was due to a delayed start to the project.

Mayor Keener said he was amenable to the waiving of 10 days for the liquidated damages.

Councilman Schmidtlein said 10 days is the maximum he will go.

**\*\* A motion was made by Councilman Stone, seconded by Councilman Hance, regarding the WRF Secondary Clarifier No. 3 project, to reduce the fees down to \$52,000 from \$62,000.**

*The motion passed unanimously. (4-0)*

**\*\*Please also see a motion for Final Acceptance at the end of the meeting.\*\***

- D. Review, consideration, and possible approval of an award of bid for AIP-50 Pavement Maintenance, conditioned on FAA AIP Grant award, and matters related thereto. **FOR POSSIBLE ACTION**

Sealed bids were opened on May 10, 2019. The City received two bids. Maxwell Asphalt Inc. was the low bidder with a bid of \$1,243,036.85. Minor irregularities were found with both bids. Bid documents allow for minor irregularities. Jviation Inc. reviewed the bids and recommended awarding the bid to Maxwell Asphalt Inc. pending City Council and FAA approval and Funding. This project has two (2) schedules. Schedule One (1) is the Federal amount of \$1,211,576.85. Schedule Two (2) is the Non-Federal amount of \$31,460.00. JF

Jim Foster, Airport Manager, explained the bid documents were included in the agenda packet. There were two bids for the project and the lowest bidder was Maxwell. He asked that the motion be that it be awarded depending upon FAA funding.

Mayor Keener asked if Attorney Stanton looked at this.

Mr. Foster answered no but Council can waive the minor irregularities.

**\*\* A motion was made by Councilman Schmidlein, seconded by Councilman Stone, to award a bid to Maxwell Asphalt Inc. for AIP50 Project 3-32-0005-050-2019 pending FAA grant award and approval with minor irregularities that are immaterial to the pricing that was submitted, and contingent upon FAA grant funding.**

*The motion passed unanimously. (4-0)*

- E. Review, consideration, and possible approval to enter into a Professional Services Agreement with Carter Engineering for the Design of the Cedar Street Reconstruction Project Phase 3, in the amount of \$125,000.00, and matters related thereto. **FOR POSSIBLE ACTION**

As Carter Engineering performed the design for Phase 1 and Phase 2, there would be a substantial savings to the City to award this agreement to Carter Engineering, as much of the work performed in Phase 1 and 2 can be utilized for the design of Phase 3. Carter Engineering's team did an excellent job performing Phase 1 and Phase 2 of the Project. DS

Dennis Strickland, Public Works Director, said this is the final stage of the Cedar Street redesign and it will wrap up the project. There will be a substantial savings to the taxpayer by using Carter Engineering. She has done a great job with her team.

**\*\* A motion was made by Councilman Stone, seconded by Councilman Hance, to approve the request from staff to enter into a Professional Services Agreement with Carter Engineering for the Design of the Cedar Street Reconstruction Project Phase 3.**

*The motion passed unanimously. (4-0)*

#### IV. NEW BUSINESS

- A. Review, consideration, and possible approval of a request from Mr. Daren Unruh of Amtgard, to allow overnight camping in the Main City Park for their Dragon Blade Wars event to be held August 30<sup>th</sup> to September 1, 2019, and matters related thereto. **FOR POSSIBLE ACTION**

Amtgard is a free to play non-profit L.A.R.P (live action role play). Members of this group have previously been used for security at the annual Art in the Park. Members of City Staff recently met with this group. Amtgard indicated at the meeting that there may be up to 100 people who would be camping in the park. Amtgard has two Proposals included with the agenda. KW

Kelly Wooldridge, City Clerk, explained staff met with this group to talk about the event. We have never had that many tents in the park at once. There are some concerns about the grass. Mr. Unruh was present to talk about the event.

Daren Unruh, 380 W. Fir, Elko, talked about the event. They have been holding their event at the Welcome RV Park. Instead of hiding at the different campgrounds, they would like to hold their event at the Main City Park to include the public in their events. Many of their members travel far and want to spend the night. There were two proposals included in the packet: The first one was for a three-day, two-night event; the second one was a two-day, one-night event.

Councilman Stone asked which option worked best for them.

Mr. Unruh answered that the three-day, two-night event would work best because of the members that travel. A one-day event would be difficult with the travel time.

Councilman Schmidlein asked when we allowed the races at the SnoBowl, did we allow camping without alcohol? He asked Mr. Unruh if they were going to allow alcohol.

Mr. Unruh answered people do tend to bring their own alcohol but he wasn't above banning alcohol at the event.

Chief Reed said there were a lot of questions regarding weapons. Camping in the park does present a problem. Liquor needs to be controlled and perhaps they would need a special event liquor permit.

Curtis Calder, City Manager, said at the SnoBowl event, there was a restriction of no open fires and no restriction on alcohol.

Chief Reed said, in the past, there has been no issue with this group. We do check on them to make sure there aren't any underage drinkers.

Mr. Unruh said there have been some issues over the years and they have learned from their own mistakes. They have their own set of rules for keeping minors away from the drinking areas. There are people assigned to security that are not drinking during the event and policing the different camp to keep people from getting out of hand.

James Wiley, Parks and Recreation Director, explained his concern is the overnight camping. Per our special event permit, overnight camping needs to be approved by Council, for up to 2 nights of camping. They have held off reserving a section of the park. If approved, he will work with the organizer and designate an area in the park for tent set up.

**\*\* A motion was made by Councilman Stone, seconded by Councilman Schmidlein, to approve Mr. Unruh with Amtgard for overnight camping in the Main City Park for their Dragon Blade Wars, August 30 to September 1, 2019 for a maximum of two nights camping up to 100 people, with the precursor that if alcohol is involved that they obtain a special permit, and to include security.**

*The motion passed unanimously. (4-0)*

- B. Review, consideration, and possible acceptance of a Deed of Dedication from Bailey & Associates, LLC. to the City of Elko for a permanent, non-exclusive Right of Way, and matters related thereto. **FOR POSSIBLE ACTION**

The City of Elko recently sold the subject property to Bailey & Associates, LLC. It was discovered during the sale process that the northeasterly 10' of Lot 1 was never dedicated as right-of-way or at least Elko County could not find record of the dedication. This action will clear up any right-of-way concerns that came forth during the sale process. BT

Bob Thibault, Civil Engineer, explained this has caused some confusion. This property has always been assessed as 4000 sq. ft. which is 40 feet along Elm Street and 100 feet deep. It was appraised as 4000 sq. ft. Mr. Bailey won that auction and hired a land surveyor to merge lots one and two. The land surveyor asked if lots one and two were 50 feet wide, why is this assessed as only 40 feet wide. There was some research to find something that would have dedicated that 10 foot strip but it was never located. This will make record of a dedication that everyone thought happened years ago.

**\*\* A motion was made by Councilman Schmidlein, seconded by Councilman Hance, to accept the Deed of Dedication per Exhibit A and B.**

*The motion passed unanimously. (4-0)*

## **V. 5:30 P.M. PUBLIC HEARINGS**

- A. Second reading and possible adoption of Ordinance No. 841, amending Title 2, Chapter 13, of the Elko City Code entitled "Sidewalks, Curbs, Gutters" and recodifying the Section as Title 8, Chapter 21, and matters related thereto. **FOR POSSIBLE ACTION**

The section of the City Municipal Code regulating the installation of curb, gutter, and sidewalk is currently located within the City's Building Code (Title 2). Council's adoption of the 2018 IBC on June 11, 2019 essentially repealed the existing Title 2 and made it necessary to move the curb, gutter, and sidewalk

regulations. Council initiated Ordinance No. 841 at their June 11, 2019 meeting and approved the first reading of Ordinance 841 on June 25, 2019. MR

Michele Rambo, Development Manager, explained this is a housekeeping item.

Mayor Keener called for public comment without a response.

**\*\* A motion was made by Councilman Hance, seconded by Councilman Stone, to approve the second reading and adoption of Ordinance No. 841.**

*The motion passed unanimously. (4-0)*

- B. Second reading and possible adoption of Ordinance No. 843, deleting Title 2, Chapter 1, Section 15 of the Elko City Code entitled "Exemptions For Existing Buildings, Structures And Building Service Equipment Systems," and matters related thereto. **FOR POSSIBLE ACTION**

On June 11, 2019, the 2018 International Building Code was approved by the City Council through the adoption of Ordinance No. 839. Council also approved the initiation of Ordinance No. 843, intended to delete Title 2, Chapter 1, Section 15 which contains similar exemptions found in the recently approved code. Ordinance No. 843 passed first reading on June 25, 2019. KW

Kelly Wooldridge, City Clerk, explained there have been no changes to this ordinance since first reading. This is another housekeeping item.

Mayor Keener called for public comment without a response.

**\*\* A motion was made by Councilman Stone, seconded by Councilman Hance, to approve the second reading and adoption of Ordinance No. 843.**

*The motion passed unanimously. (4-0)*

#### **IV. NEW BUSINESS (Cont.)**

- C. Review, Consideration and Possible Approval of a request from Rides & Rods Elko Classic Car Show for the closures of the Rides and Rods event to be held on September 6, 7 and 8, 2019, and matters related thereto. **FOR POSSIBLE ACTION**

The Rides and Rods event has been sponsored by the ECVA in the past. However, over the last few years they have partnered with Elko Rides & Rods Classic Car Show. This year it will be sponsored entirely by the Elko Rides and Rods Classic Car Shows. Therefore, the event is presented to Council as a new sponsor. The show has a few minor changes in the closures that will be presented at the Council meeting. KW

Councilman Stone abstained because he is involved with the event.

Ms. Wooldridge explained they had a meeting with Rides and Rods regarding their road closures. They were able to get us a map. This is a change from last year with a closure at Chris Sheerin Road.

Councilman Schmidtlein asked if City Staff had any issues with the road closures.

Dennis Strickland, Public Works Director, said he met with them and they are in the process of obtaining their own road closure devices. The closure makes a lot of sense and is very similar to what the Mino Expo does.

Stormy Remington, 3226 Scenic View Drive, Elko, said they got hold of a company in Salt Lake to rent the road closure equipment. They have talked to Mr. Strickland about what they need for the event.

James Wiley, Parks and Recreation Director, said there may be an issue with closing Chris Sheerin Way and restricting access to some park areas. He will have to make sure no one has reserved those areas. It will cause a problem if someone has a reservation for that area but cannot get to it.

**\*\* A motion was made by Councilman Schmidtlein, seconded by Councilman Hance, to approve the request from Rides and Rods Elko Classic Car Show for the closures of the Rides and Rods event to be held on September 6, 7, & 8, 2019, giving James Wiley time to check on areas 2, 4 & 5 of the City Park to see if they are not already reserved, and if they are not he will be able to block those out so that will allow Chris Sheerin Way to be closed with the other closures, but moving it back to accommodate for the museum parking.**

*The motion passed. (3-0 Councilman Stone abstained.)*

## **VI. REPORTS**

### **A. Mayor and City Council**

*Mayor Keener had opportunity to meet with the interim GOED director, Chris Sanchez. He also attended the Carlin FLEAT Academy graduation on Saturday.*

*Councilman Stone reminded everyone of Cops N Burgers tomorrow at the Sheriff's Office, from 11:00 a.m. to 2:00 p.m.*

### **B. City Manager**

*Curtis Calder reported on the motorcycle event held at the SnoBowl. Mayor Keener asked about the water rights at the SnoBowl and Ryan Limberg said he had inquired with the Elko County Staff regarding the water rights but there is nothing new to report.*

*Mayor Keener asked about the OHV Ordinance and Mr. Calder answered it should be at the next meeting for first reading.*

*Mayor Keener asked if we have May sales tax yet. Mr. Calder answered we have April, which was up and above what was budgeted.*

### **C. Assistant City Manager**

D. Utilities Director

*Mayor Keener asked if we needed a dedication for that WRF project. Ryan Limberg joked that is where we have the dolphins now but they could do an event. There is no word back from the VA regarding the cemetery yet.*

E. Public Works

*Dennis Strickland reported on using Hunewill Construction asphalt. It seems like we did save some money on the Sage Street/Elm/Highland project. So far, the pavement is working quite well. They are getting ready for the Micro Slurry project and hope to start in a couple of weeks.*

F. Airport Manager

*Mayor Keener commented on the fencing surrounding the airport. It looks good. Jim Foster said they are satisfied and close to closing the project out. They are still working out some bugs on gates.*

G. City Attorney

H. Fire Chief

I. Police Chief

*Chief Reed thanked the Mayor and his wife for attending the FLEAT Academy graduation. They had a 10-minute ceremony for dedicating Walters Court at the Police Station. He thanked Councilman Hance for his support for the street sign and a donation to the Honor Guard for equipment. They found out at a meeting a little while ago that Elko County will be receiving a used multi-purpose emergency command post vehicle from the State.*

J. City Clerk

K. City Planner

L. Development Manager

N. Parks and Recreation Director

*James Wiley reported the Sports Complex has been busy but wanted Bob Thibault to give the report on that. They have done two applications of mosquito spraying. He hears the mosquitos are a little bit down so he might do one more application. This is the heavy events season for the Parks and Recreation. This weekend is Art in the Park and the Silver State Stampede.*

O. Civil Engineer

*Bob Thibault reported on the progress at the Sports Complex. Councilman Hance asked about the floor in the Comfort Station and Mr. Thibault answered that is still being investigated. There should be a report at the end of the week.*

*Mayor Keener asked about Planning Commission meeting and the item regarding the Cambridge Estates. Was there any public comment? Scott Wilkinson said there was some public comment. One neighbor that had a driveway that backs up to Celtic Drive commented and felt the subdivision would cause some traffic concerns. We don't believe that to be the case. A school in that location would create more traffic than the proposed development.*

*Dennis Strickland said he looked at the concrete in the Comfort Station and thought the contractor didn't do his due diligence. It was left unprotected and open for this type of issue.*

P. Building Official

Mayor Keener asked about the artwork donated by Mr. Rutner for the Animal Shelter.

Curtis Calder answered they put that set of artwork out to bid twice but received no bidders. They are considering breaking up the set and selling them individually.

## **VII. LABOR NEGOTIATIONS**

- A. Closed session to discuss ongoing labor negotiations with the Elko Police Officers Protective Association, IUPA and matters related thereto. **INFORMATION ONLY-NO ACTION REQUIRED**

**Note: This portion of the meeting may be closed pursuant to NRS 288; therefore the Council may move to adjourn the meeting prior to consideration of this item.**

*The meeting was closed during Labor Negotiation discussion.*

## **COMMENTS BY THE GENERAL PUBLIC**

Pursuant to N.R.S. 241, this time is devoted to comments by the public, if any, and discussion of those comments. No action may be taken upon a matter raised under this item on the agenda until the matter itself has been specifically included on a successive agenda and identified as an item for possible action. **ACTION WILL NOT BE TAKEN**

*There were no public comments.*

After the meeting closed, it was discovered that Item C. - WRF Secondary Clarifier No. 3 Project Final Acceptance was not completed. Mayor Keener read the item into the record again and a new motion followed:

**\*\* A motion was made by Councilman Stone, seconded by Councilman Hance, for final acceptance of the WRF Secondary Clarifier No. 3 Project, and reducing Gerber's liquidated damages penalties of \$1000 per calendar day from \$62,000 to \$52,000 as final acceptance.**

*The motion passed unanimously. (4-0)*

There being no further business, Mayor Reece Keener adjourned the meeting.

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Mayor Reece Keener

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Kelly Wooldridge, City Clerk

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible action to reappoint Planning Commission members Jeff Dalling and Evi Buell to an additional Four-Year Term to expire July 2023, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **CONSENT**
4. Time Required: **15 Minutes**
5. Background Information: **Jeff Dalling and Evi Buell's terms expire July 2019. Pursuant to City Code Section 3-4-1, Planning Commission members shall be eligible for reappointment, and the terms shall be four years or until his/her successor takes office. Mr. Dalling and Ms. Buell have indicated an interest to continue serving on the Planning Commission. CL**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Email from Mr. Dalling, email from Ms. Buell**
9. Recommended Motion: **Reappoint Jeff Dalling and Evi Buell to the Planning Commission for an additional Four-Year Term to expire July 2023.**
10. Prepared By: **Cathy Laughlin, City Planner**
11. Committee/Other Agency Review:
12. Council Action:
13. Agenda Distribution: **Mr. Jeff Dalling  
3022 Callie Court  
Elko, NV 89801  
  
Evi Buell  
3523 Enfield Ave.  
Elko, NV 89801**

## Shelby Archuleta

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**From:** jeff dalling <jcdalling@hotmail.com>  
**Sent:** Sunday, July 14, 2019 6:23 PM  
**To:** Shelby Archuleta  
**Subject:** Re: Reappointment

Hi Shelby. I would like to be reappointed to the planning commission. Thanks

Jeff Dalling

On Jul 12, 2019, at 2:36 PM, Shelby Archuleta <[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)> wrote:

Jeff and Evi,

I will need your letters, or emails, stating that you wish to be reappointed to the Planning Commission by Tuesday, July 16<sup>th</sup> so I can get the item on the July 23<sup>rd</sup> City Council meeting.

Let me know if you have any questions.

Thank you!

Have a great weekend!

Shelby Archuleta  
Planning Technician  
City of Elko  
Planning Department  
Ph (775) 777-7160  
FX (775) 777-7219

## **Shelby Archuleta**

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**From:** Evi Buell <evi.buell@gmail.com>  
**Sent:** Monday, July 15, 2019 4:42 PM  
**To:** Shelby Archuleta  
**Subject:** Planning Commission Reappointment

To the members of the Elko City Council:

Please consider this email an expression of my interest and desire to be reappointed to the Planning Commissions for a 4-year term. It has been a pleasure and an honour to serve the partial term to which I was appointed. Now as Vice Chair, I feel I am in a more knowledgeable position to help the work of the Commission move forward. If you have any questions or concerns of me, please do not hesitate to get in touch with me. Thank you very kindly for your consideration.

Best,  
Evi Buell, PhD

**Elko City Council**  
**Agenda Action Sheet**

1. Title: **Review, consideration, and possible approval of the City of Elko Fiscal Year 2018/2019 Indebtedness Report, Debt Management Policy, and Five-Year Capital Improvement Plan as required by NRS 350.013, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **CONSENT**
4. Time Required: **5 Minutes**
5. Background Information: **Pursuant to NRS 350.013, all entities must file the Indebtedness Report, an updated Debt Management Policy, and the Five-Year Capital Improvement Plan. The updated reports are included in the agenda packet for your review. CQ**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available:  
    Fund name:
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information:
9. Recommended Motion: **Approve the City of Elko Fiscal Year 2018/2019 Indebtedness Report, Debt Management Policy, and Five-Year Capital Improvement Plan as submitted.**
10. Prepared By: **Candi Quilici, Acting Accounting Manager**
11. Committee/Other Agency Review:
12. Council Action:
13. Agenda Distribution:

**City of Elko**  
**5 Year Capital Improvement Plan**  
**FY 2019-2020**

Minimum level of expenditure for items classified as capital assets                   \$     5,000  
Minimum level of expenditure for items classified as capital projects                 \$    25,000

	FY 2019/2020	FY 2020/2021	FY 2021/2022	FY 2022/2023	FY 2023/2024	Source of Funding	Completion Date
<b>Recreation Fund</b>							
Sports Complex	\$4,158,500					Transient Lodging Tax/Donations/Bonding	6/30/2020
Parking Lot Maintenance		\$50,000	\$50,000	\$50,000	\$50,000	Transient Lodging Tax	On Going
Main Shop Exterior Metal		\$100,000				Transient Lodging Tax	6/30/2021
Angel Park Pavilion					\$300,000	Transient Lodging Tax	6/30/2024
Stitzel Park Development					\$100,000	Transient Lodging Tax	6/30/2024
City Park Restroom Renovations		\$100,000	\$50,000	\$50,000		Transient Lodging Tax	6/30/2023
Kump Field Parking Lot					\$600,000	Transient Lodging Tax	6/30/2024
Flagview Drive, Warnick Field		\$150,000	\$500,000	\$100,000		Transient Lodging Tax	6/30/2023
Harp Trail - East of 12th St					\$20,000	Transient Lodging Tax	6/30/2024
Harp Trail Development-5th-9th Lighting					\$20,000	Transient Lodging Tax	6/30/2024
Harp Trail - West to Sports Complex					\$20,000	Transient Lodging Tax	6/30/2024
Cemetery-Niche Walls		\$50,000				Transient Lodging Tax	6/30/2021
Swimming Pool On Going Rehabilitation Projects		\$100,000	\$100,000	\$100,000	\$100,000	Transient Lodging Tax	On Going
Facility H Park (5th St Park) Parking Lot		\$100,000			\$100,000	Transient Lodging Tax	6/30/2024
Newton Field Parking Lot					\$600,000	Transient Lodging Tax	6/30/2024
Chris Sherrin Way Parking Lot					\$500,000	Transient Lodging Tax	6/30/2024
Weed Abatement - Grazing		\$40,000	\$40,000	\$40,000	\$40,000	Transient Lodging Tax	On Going
Main City Park Pavilion					\$300,000	Transient Lodging Tax	6/30/2024
<b>Total Recreation Fund</b>	<b>\$ 4,158,500</b>	<b>\$ 690,000</b>	<b>\$ 740,000</b>	<b>\$ 340,000</b>	<b>\$ 2,750,000</b>		
<b>Youth Recreation Fund</b>							
Field Maintenance	\$ 56,200	\$ -	\$ -	\$ -	\$ -	Player Fees	6/30/2020
<b>Total Youth Recreation Fund</b>	<b>\$ 56,200</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>		
<b>Airport Enterprise Fund</b>							
Runway/Taxiway/Apron Rehabilitation	\$ 1,446,075					Federal Grants	6/30/2020
Snow Removal Equipment, Land Acquisition		\$ 906,000				Federal Grants	6/30/2021
Construct EFD/ARFF Fire Training Academy Facility			\$ 2,560,000			Federal Grants	6/30/2022
Expand Commercial Apron/GA Apron				\$ 7,000,000		Federal Grants	6/30/2023
Rehabilitate Commercial Service Apron					\$ 4,266,667	Federal Grants	6/30/2024
<b>Total Airport Enterprise</b>	<b>\$ 1,446,075</b>	<b>\$ 906,000</b>	<b>\$ 2,560,000</b>	<b>\$ 7,000,000</b>	<b>\$ 4,266,667</b>		
<b>Municipal Court Adm Assessment Fund</b>							
Miscellaneous Court Equipment	\$ 72,722	\$ 6,000	\$ 6,000	\$ 6,000		Court Fines	On Going
<b>Total Municipal Court Fund</b>	<b>\$ 72,722</b>	<b>\$ 6,000</b>	<b>\$ 6,000</b>	<b>\$ 6,000</b>			
<b>Capital Construction Fund</b>							
Cedar Street Phase III	\$120,000	\$1,200,000	\$0			Ad Valorem Tax, Franchise Fees & Land Sales	6/30/2021
E. Idaho Irrigation and Tress		\$10,000	\$10,000	\$10,000	\$10,000	Ad Valorem Tax, Franchise Fees & Land Sales	On Going
Alley Maintenance		\$10,000	\$10,000	\$10,000	\$10,000	Ad Valorem Tax, Franchise Fees & Land Sales	On Going
Surface Reconstruct		\$200,000	\$200,000	\$200,000	\$200,000	Ad Valorem Tax, Franchise Fees & Land Sales	On Going
Capital Construction	\$1,271,324					Ad Valorem Tax, Franchise Fees & Land Sales	6/30/2020
<b>Total Capital Construction Fund</b>	<b>\$ 1,391,324</b>	<b>\$ 1,420,000</b>	<b>\$ 220,000</b>	<b>\$ 220,000</b>	<b>\$ 220,000</b>		
<b>Ad Valorem Capital Projects Fund</b>							
Pinion and Lamoille Highway Signal			\$250,000			Capital Projects Tax	6/30/2022
Historic Rock Wall Maintenance		\$20,000	\$20,000	\$20,000	\$2,000	Capital Projects Tax	On Going
Backflow Prevention	\$25,000					Capital Projects Tax	6/30/2020
Fire Dept Filtration Project	\$55,000					Capital Projects Tax	6/30/2020
Construction Projects	\$1,559,391					Capital Projects Tax	6/30/2019
Silver Street Extension, 15th to Manzanita		\$250,000	\$250,000			Capital Projects Tax	6/30/2022
W Jennings and Mountain City Highway Signal				\$250,000		Capital Projects Tax	6/30/2023
River Street			\$750,000	\$750,000		Capital Projects Tax	6/30/2023
5th & Spruce Roundabout					\$500,000	Capital Projects Tax	6/30/2024
<b>Total Ad Valorem Capital Projects Fund</b>	<b>\$ 1,639,391</b>	<b>\$ 270,000</b>	<b>\$ 1,270,000</b>	<b>\$ 1,020,000</b>	<b>\$ 502,000</b>		

**City of Elko**  
**5 Year Capital Improvement Plan**  
**FY 2019-2020**

Minimum level of expenditure for items classified as capital assets                   \$     5,000  
Minimum level of expenditure for items classified as capital projects                 \$    25,000

	FY 2019/2020	FY 2020/2021	FY 2021/2022	FY 2022/2023	FY 2023/2024	Source of Funding	Completion Date
<b>Facility Reserve Fund</b>							
Engineering Bldg - Window Replacement	\$5,000					Transfer from General Fund	6/30/2020
Fire Station 2 - Roof	\$75,000					Transfer from General Fund	6/30/2020
Fire Station 1 - Alerting System	\$65,000					Transfer from General Fund	6/30/2020
City Hall Boiler			\$100,000			Transfer from General Fund	6/30/2022
Acquire Water Shop		\$300,000				Transfer from General Fund	6/30/2021
Backflow Prevention for City Buildings		\$25,000	\$25,000	\$25,000	\$25,000	Transfer from General Fund	On Going
<b>Total Facility Reserve Fund</b>	<b>\$ 145,000</b>	<b>\$ 325,000</b>	<b>\$ 125,000</b>	<b>\$ 25,000</b>	<b>\$ 25,000</b>		
<b>Public Improvement Development Fund</b>							
Public Improvements	\$ 15,931	\$ 5,000	\$ 5,000	\$ 5,000		Court Capital Assessments	On Going
<b>Total Public Improvement Fund</b>	<b>\$ 15,931</b>	<b>\$ 5,000</b>	<b>\$ 5,000</b>	<b>\$ 5,000</b>			
<b>Golf Course Enterprise Fund</b>							
Tree Replacement		\$5,000	\$5,000	\$5,000	\$5,000	User Fees	On Going
4WD Utility Tractor	\$28,000					User Fees	6/30/2020
Cart Path Paving and Rehabilitation	\$30,000	\$150,000				User Fees	6/30/2021
Clubhouse Parking Lot Lighting			\$60,000			User Fees	6/30/2022
West Clubhouse Parking Lot 6,000 SF			\$30,000			User Fees	6/30/2022
Covered Storage for Equipment				\$50,000		User Fees	6/30/2023
Sand Bunker Renovations 7					\$11,000	User Fees	6/30/2024
Tee Box Renovations					\$30,000	User Fees	6/30/2024
<b>Total Golf Enterprise Fund</b>	<b>\$ 58,000</b>	<b>\$ 155,000</b>	<b>\$ 95,000</b>	<b>\$ 55,000</b>	<b>\$ 46,000</b>	User Fees	
<b>Capital Equipment Reserve Fund</b>							
IS - Nexus Switch	\$ 17,500					CTax Revenue & Property Tax	6/30/2020
IS - C9300 Switch (5)	\$ 49,500					CTax Revenue & Property Tax	6/30/2020
IS - Air Fiber	\$ 16,500					CTax Revenue & Property Tax	6/30/2020
IS - Annual Computer Refresh		\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	CTax Revenue & Property Tax	On Going
PD- SUV & Sedan Patrol; SUV Canine	\$ 200,000	\$ 110,000	\$ 110,000	\$ 110,000	\$ 110,000	CTax Revenue & Property Tax	On Going
PD - Switch Replacement	\$ 58,000					CTax Revenue & Property Tax	6/30/2020
PD - Fingerprint Scanner	\$ 11,000					CTax Revenue & Property Tax	6/30/2020
PD - Teleconference Equipment	\$ 25,000					CTax Revenue & Property Tax	6/30/2020
PD - Nevada IBR	\$ 7,000					CTax Revenue & Property Tax	6/30/2020
FD - Fire Command SUV	\$ 60,000					CTax Revenue & Property Tax	6/30/2020
FD - Radio Repeaters	\$ 150,000					CTax Revenue & Property Tax	6/30/2020
FD - Ladder Truck & Radios	\$ 134,000					CTax Revenue & Property Tax	6/30/2020
FD - Type III Truck	\$ 300,000					CTax Revenue & Property Tax	6/30/2020
ENG - 1/2 Ton Pickup	\$ 30,000					CTax Revenue & Property Tax	6/30/2020
Streets - V-Box Plow	\$ 40,000					CTax Revenue & Property Tax	6/30/2020
Streets - Sweeper	\$ 220,000					CTax Revenue & Property Tax	6/30/2020
Streets - Equipment Trailer / Storage Tank	\$ 55,000					CTax Revenue & Property Tax	6/30/2020
Streets - Reader Board Trailer	\$ 20,000					CTax Revenue & Property Tax	6/30/2020
Parks - Field Mower & Z-Turn Mower	\$ 65,000					CTax Revenue & Property Tax	6/30/2020
Parks - Sandpro Groomer	\$ 22,000					CTax Revenue & Property Tax	6/30/2020
Facilities - Gridsmart	\$ 30,000					CTax Revenue & Property Tax	6/30/2020
Facilities - Rapid Flash Beacons	\$ 16,000					CTax Revenue & Property Tax	6/30/2020
Facilities - 1/2 Ton Pickup	\$ 30,000					CTax Revenue & Property Tax	6/30/2020
Recreation - Generator / Structure for SnoBowl	\$ 10,000					CTax Revenue & Property Tax	6/30/2020
<b>Total Capital Equipment Reserve Fund</b>	<b>\$ 1,566,500</b>	<b>\$ 135,000</b>	<b>\$ 135,000</b>	<b>\$ 135,000</b>			
<b>Elko Redevelopment Agency</b>							
Centennial Park Expansion							
Public Private Partnership							
Storefront Grant Program							
Infrastructure Improvements	\$1,368,716	\$50,000	\$600,000	\$0	\$0 Tax Increment		On Going

**City of Elko**  
**5 Year Capital Improvement Plan**  
**FY 2019-2020**

Minimum level of expenditure for items classified as capital assets \$ 5,000  
 Minimum level of expenditure for items classified as capital projects \$ 25,000

	FY 2019/2020	FY 2020/2021	FY 2021/2022	FY 2022/2023	FY 2023/2024	Source of Funding	Completion Date
<b>Total Redevelopment Agency</b>	<b>\$ 1,368,716</b>	<b>\$ 50,000</b>	<b>\$ 600,000</b>	<b>\$ -</b>	<b>\$ -</b>		
<b>Landfill Enterprise Fund</b>							
6" Mobile Trash Pump	\$ 48,000					User Fees	6/30/2020
8 - 10 Panels Mobile Litter Fencing	\$ 49,500	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	User Fees	On Going
4 Compactor Wheels	\$ 60,000					User Fees	6/30/2020
Compactor Replacement			\$ 500,000			User Fees	6/30/2022
New Equipment - Loader				\$ 300,000		User Fees	6/30/2023
New Equipment - Dozer					\$ 1,000,000	User Fees	6/30/2024
<b>Total Landfill Fund</b>	<b>\$ 157,500</b>	<b>\$ 50,000</b>	<b>\$ 550,000</b>	<b>\$ 350,000</b>	<b>\$ 1,050,000</b>		
<b>Water Enterprise Fund</b>							
Abandon Wells	\$ 35,000					User Fees	6/30/2020
Water Line Oversize	\$ 40,000	\$ 40,000	\$ 40,000	\$ 40,000	\$ 40,000	User Fees	On Going
Water Tank Interior Coatings	\$ 562,000	\$ 500,000				User Fees	6/30/2020
Cedar St Water Line Replacement	\$ 150,000					User Fees	6/30/2020
Water Line Relocations	\$ 30,000					User Fees	6/30/2020
Combined Water/Sewer Shop and Lab	\$ 2,125,000	\$ 2,800,000				User Fees	6/30/2021
Well 29 Rehab						User Fees	6/30/2019
River Street Water Main			\$ 230,000	\$ 230,000		User Fees	6/30/2023
Drill Well Exit 298					\$ 1,800,000	User Fees	6/30/2024
Exit 298 Waterline Phase 2 - Section 18 to Mtn. City Hwy			\$ 1,300,000			User Fees	6/30/2022
5600 Tank				\$ 2,000,000		User Fees	6/30/2023
Undefined Capital Projects					\$ 1,500,000	User Fees	6/30/2024
<b>Total Water Fund</b>	<b>\$ 2,942,000</b>	<b>\$ 3,340,000</b>	<b>\$ 1,570,000</b>	<b>\$ 2,270,000</b>	<b>\$ 3,340,000</b>		
<b>Sewer Enterprise Fund</b>							
Slip Line Sewer		\$150,000				User Fees	6/30/2021
Combined Water/Sewer Shop and Lab	\$ 2,125,000.00	\$2,800,000				User Fees	6/30/2021
RBC Removal	\$250,000					User Fees	6/30/2020
Replace Rotary Press PLC	\$34,045					User Fees	6/30/2020
Sewer Bore & Case	\$250,000					User Fees	6/30/2020
Mittry Sewer Oversize	\$40,000					User Fees	6/30/2020
Emergency Pond Divider Berm						User Fees	6/30/2021
RIB Scarification		\$75,000	\$75,000	\$75,000	\$75,000	User Fees	On Going
Exit 298 Sewer Force Main & Lift Station			\$3,300,000			User Fees	6/30/2022
Clarifier Mechanism Recoating	\$144,000					User Fees	6/30/2020
New Card Reader System at Dump Station			\$50,000			User Fees	6/30/2022
Emergency Pond Divider Berm					\$225,000	User Fees	6/30/2024
North Reservoir Liner Repairs		\$100,000		\$100,000		User Fees	6/30/2023
South Reservoir Liner Repairs			\$100,000		\$100,000	User Fees	6/30/2024
BioTower Removal			\$275,000			User Fees	6/30/2022
Influent Pumps Change out to New Pumps/Plumbing					\$1,000,000	User Fees	6/30/2022
Primary Digester Dome Replacement				\$750,000		User Fees	6/30/2021
New Truck				\$50,000		User Fees	6/30/2019
<b>Total Sewer Fund</b>	<b>\$ 2,843,045</b>	<b>\$ 3,125,000</b>	<b>\$ 3,800,000</b>	<b>\$ 975,000</b>	<b>\$ 1,400,000</b>		
<b>Total All Funds</b>	<b>\$ 17,860,904</b>	<b>\$ 10,477,000</b>	<b>\$ 11,676,000</b>	<b>\$ 12,401,000</b>	<b>\$ 13,599,667</b>		

# City of Elko

## **DEBT MANAGEMENT POLICY**

Dated as of June 30, 2019

In Accordance with

NRS 350.013



## **Introduction**

The City of Elko (the "City") has a Capital Improvement Plan ("CIP") which is a multi-year planning document that identifies and prioritizes the need for a variety of public improvements and coordinates their financing and construction time frames. More specifically, the CIP is a process that provides order and continuity to the repair, replacement, construction or expansion of the City's capital assets. With revenue limitations in mind, the City's CIP focuses primarily on the City's more immediate needs.

Legislation (described herein) requires local governments to prepare a debt management policy prior to authorizing additional general obligation debt. This document is not intended to review the City's total financial position. Analysis of the City's debt position is important, as growth in the City has resulted in an increased need for capital financing. Resources, as well as needs, should drive the City's debt issuance program. Decisions regarding the use of debt will be based in part on the long-term needs of the City and the amount of equity (cash) dedicated in a given fiscal year to capital outlay.

Listed below are excerpts from Nevada law that requires local governments to submit a debt management policy:

*NRS 350.013 1. Except as otherwise provided in this section, on or before August 1 of each year, the governing body of a municipality which proposes to issue or has outstanding any general obligation debt, other general obligations or special obligations, or which levies or proposes to levy any special elective tax, shall submit to the Department of Taxation and the commission:*

*(a) A complete statement of current general obligation debt and special elective taxes, and a report of current debt and special assessments and retirement schedules, in the detail and form established by the Committee on Local Government Finance.*

*(b) A complete statement, in the detail and form established by the Committee on Local Government Finance, of general obligation debt and special elective taxes contemplated to be submitted to the commission during the fiscal year.*

*(c) A written statement of the debt management policy of the municipality, which must include, without limitation:*

*(1) A discussion of its ability to afford existing general obligation debt, authorized future general obligation debt and proposed future general obligation debt;*

*(2) A discussion of its capacity to incur authorized and proposed future general obligation debt without exceeding the applicable debt limit;*

*(3) A discussion of its general obligation debt that is payable from property taxes per capita as compared with such debt of other municipalities in this State;*

*(4) A discussion of its general obligation debt that is payable from property taxes as a percentage of assessed valuation of all taxable property within the boundaries of the municipality;*

*(5) Policy regarding the manner in which the municipality expects to sell its debt;*

*(6) A discussion of its sources of money projected to be available to pay existing general obligation debt, authorized future general obligation debt and proposed future general obligation debt; and*

*(7) A discussion of its operational costs and revenue sources, for the ensuing 5 fiscal years, associated with each project included in its plan for capital improvement submitted pursuant to paragraph (d), if those costs and revenues are expected to affect the property tax rate.*

## **General Obligation Bonds supported by Ad Valorem Taxes**

### **Security for the Bonds**

The ad valorem bonds constitute direct and general obligations of the City, and the full faith and credit of the City is pledged for the payment of principal and interest, subject to Nevada constitutional and statutory limitations on the aggregate amount of ad valorem taxes.

In any year in which the total property taxes levied within the County by all overlapping units (e.g. the State, any city, the County, the school district, or any special district) exceed such tax limitations, the

reduction to be made by those units must be in taxes levied for purposes other than the payment of their bonded indebtedness, including interest on such indebtedness.

The City of Elko currently has no outstanding bond issues being supported with ad valorem taxes. The City's current operating tax rate is \$0.92 per \$100 of assessed valuation.

### **General Obligation Bonds Supported by Consolidated Tax Revenues**

#### **Security for the Bonds**

The Bonds are additionally secured by a pledge of certain tax revenues of the City. Per NRS 360.698, the City is authorized to pledge up to 15% of the Consolidated Tax Distribution Fund allocable to the City (the "Consolidated Tax Revenues"). The Consolidated Tax Distribution Fund consists of local government revenues from six sources (collectively, the "Consolidated Tax Revenues"): Supplemental City/County Relief Tax ("SCCRT"), Basic City/County Relief Tax ("BCCRT"), Cigarette Tax, Liquor Tax, Governmental Services Tax ("GST"), and Real Property Transfer Tax ("RPTT").

The following table provides the debt service requirements of the 2010 Street Bonds. There are no other bonds secured by the Consolidated Tax Revenues.

### **2010 STREET BONDS DEBT SERVICE REQUIREMENTS Supported by Consolidated Tax Revenues City of Elko, Nevada**

<b>Fiscal Year Ending</b>	<b>Consolidated Tax Revenues <sup>1/</sup></b>	<b>% Growth</b>	<b>15% of Consolidated Tax Revenues</b>		<b>Debt Service <sup>2</sup></b>		<b>Coverage (times)</b>
			<b>Tax Revenues</b>	<b>Principal</b>	<b>Interest</b>	<b>Total</b>	
2011	11,015,989	--	1,652,398	0	176,199	176,199	9.38
2012	13,106,740	18.98%	1,966,011	385,000	356,556	741,556	2.65
2013	13,521,334	3.16%	2,028,200	395,000	348,756	743,756	2.73
2014	12,152,603	(10.12)%	1,822,890	405,000	340,756	745,756	2.44
2015	12,576,015	3.48%	1,886,402	410,000	332,606	742,606	2.54
2016	13,193,107	4.91%	1,978,966	420,000	324,044	744,044	2.66
2017	13,057,838	-1.03%	1,958,675	430,000	313,131	743,131	2.64
2018	13,743,950	5.25%	2,061,592	445,000	297,781	742,781	2.78
2019	14,063,303	2.32%	2,109,495	465,000	279,581	744,581	2.83
2020	14,675,696	4.35%	2,201,354	485,000	260,581	745,581	2.95
2021	14,675,696	0.00	2,201,354	505,000	240,781	745,781	2.95
2022	14,675,696	0.00	2,201,354	520,000	222,556	742,556	2.96
2023	14,675,696	0.00	2,201,354	540,000	205,656	745,656	2.95
2024	14,675,696	0.00	2,201,354	555,000	187,516	742,516	2.96
2025	14,675,696	0.00	2,201,354	575,000	168,375	743,375	2.96
2026	14,675,696	0.00	2,201,354	595,000	146,700	741,700	2.97
2027	14,675,696	0.00	2,201,354	620,000	122,400	742,400	2.97
2028	14,675,696	0.00	2,201,354	645,000	97,100	742,100	2.97
2029	14,675,696	0.00	2,201,354	675,000	70,700	745,700	2.95
2030	14,675,696	0.00	2,201,354	700,000	43,200	743,200	2.96
2031	14,675,696	0.00	2,201,354	730,000	14,600	744,600	2.96
<b>Total</b>				<b>\$10,500,000</b>	<b>\$4,549,577</b>	<b>\$15,049,577</b>	

1/ Fiscal years 2011 through 2018 are actual, FY 2019 is estimated, FY 2020 is budgeted and fiscal years 2021 through 2031 show zero percent growth.

2/ True interest cost is 3.699%.

SOURCE: City of Elko; Compiled by NSB Public Finance

**CITY OF ELKO GENERAL FUND**  
**SUMMARY OF REVENUES, EXPENDITURES AND CHANGES IN FUND BALANCE**  
**Fiscal Year Ending June 30, 2019**

	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>2019</b>	<b>2020</b>
	<b>(Actual)</b>	<b>(Actual)</b>	<b>(Actual)</b>	<b>(Estimated)</b>	<b>(Budget)</b>
<b>Resources</b>					
Taxes	\$ 2,926,547	\$ 2,990,916	\$ 3,022,103	\$ 3,231,039	\$ 3,351,538
Licenses & Permits	1,805,306	1,626,787	1,926,521	1,820,145	1,969,294
Fines & Forfeits	155,581	114,464	78,312	63,322	205,000
Intergovernmental Revenue	13,461,108	13,352,210	14,429,020	15,270,142	15,895,881
Charges for Service	818,959	865,232	936,326	858,655	907,640
Interest Earnings	7,423	14,165	32,757	35,000	35,000
Miscellaneous	238,508	203,489	298,720	244,503	269,500
Total Revenues	\$19,413,432	\$19,167,263	\$20,723,759	\$ 21,522,806	\$22,633,853
Fund Balance July 1	3,582,747	4,305,759	4,500,225	5,144,108	5,087,125
Subtotal	\$22,996,179	\$23,473,022	\$25,223,984	\$26,666,914	\$27,720,978
Residual Equity Transfer	--	--	--	--	--
Net Resources Transferred	(367,281)	8,182	(1,053,808)	(509,262)	(869,813)
Proceeds from Sale of F/A	--	--	--	--	--
Proceeds for M/T Financing	--	--	--	--	--
Total Resources	\$22,628,898	\$23,481,204	\$24,170,176	\$ 26,157,652	\$ 26,851,165
<b>Expenditures and Encumbrances</b>					
General Government	\$ 2,087,961	\$ 2,255,979	\$ 2,223,150	\$ 2,568,163	\$ 2,802,634
Public Safety	10,005,524	10,150,217	10,249,453	11,275,600	11,759,800
Judicial	321,366	321,273	275,370	468,000	450,000
Public Works	3,983,393	4,235,632	4,246,619	4,579,393	4,763,081
Culture & Recreation	1,157,473	1,225,183	1,256,089	1,350,235	1,490,438
Community Support	98,964	99,362	105,011	75,011	110,011
Health	668,458	693,333	670,376	754,125	779,022
Contingency	--	--	--	--	330,945
Total Resources Applied	\$18,323,139	\$18,980,979	\$19,026,068	\$21,070,527	\$ 22,485,931
<b>Fund Balance, June 30</b>	<b>\$ 4,305,759</b>	<b>\$ 4,500,225</b>	<b>\$ 5,144,108</b>	<b>\$ 5,087,125</b>	<b>\$ 4,365,234</b>

**General Obligation Bonds Supported by Airport Revenues**

**Security for the Bonds**

The general obligation bonds supported with revenues from the City's Airport Enterprise Fund, constitute direct and general obligations of the City, and the full faith and credit of the City is pledged to the payment of principal and interest due thereon, subject to Nevada constitutional and statutory limitations on the aggregate amount of ad valorem taxes.

**Pledged Revenues** - The Airport Bonds are additionally secured by the revenue received from a 2% transient lodging tax or fees otherwise derived from the works or property of the City after payment of reasonable and necessary costs for the operation and maintenance expenses of the City's Airport Enterprise Fund (the "Net Pledged Revenues").

The following table reflects the principal and interest payable on the 2009 G/O (Limited Tax) Airport Refunded Bonds through their maturity on October 1, 2026.

**SCHEDULED DEBT SERVICE PAYMENTS  
2009 G/O (Limited Tax) AIRPORT REFUNDED BONDS  
City of Elko, Nevada**

<b>Fiscal Year Ending June</b>	<b>Principal</b>	<b>Interest</b>	<b>Total</b>
2019	\$ 215,000.00	\$ 112,475.00	\$ 327,475.00
2020	\$ 225,000.00	\$ 102,166.25	\$ 327,166.25
2021	\$ 225,000.00	\$ 91,290.00	\$ 316,290.00
2022	\$ 245,000.00	\$ 79,571.25	\$ 324,571.25
2023	\$ 250,000.00	\$ 66,980.00	\$ 316,980.00
2024	\$ 270,000.00	\$ 53,577.50	\$ 323,577.50
2025	\$ 270,000.00	\$ 39,400.00	\$ 309,400.00
2026	\$ 290,000.00	\$ 24,380.00	\$ 314,380.00
2027	\$ 305,000.00	\$ 8,265.00	\$ 313,265.00

The following table demonstrates the debt service coverage for the bonds.

**2009 G/O AIRPORT REFUNDED BONDS  
DEBT SERVICE COVERAGE**

	<b>FY 2016</b>	<b>FY2017</b>	<b>FY 2018</b>	<b>FY 2019</b>	<b>FY 2020</b>
	(Audited)	(Audited)	(Audited)	(Estimated)	(Budget)
<b>Airport Fund</b>					
Intergovernmental Revenue	\$ 16,907	\$ 19,108	\$ 21,653	\$ 21,220	\$ 21,650
Charges for Services	190,036	242,000	273,230	258,000	292,000
Miscellaneous Revenue	<u>624,801</u>	<u>1,198,935</u>	<u>696,425</u>	<u>671,153</u>	<u>717,000</u>
<b>Total Airport Revenue</b>	<b>\$ 831,744</b>	<b>\$1,460,043</b>	<b>\$ 991,308</b>	<b>\$ 950,373</b>	<b>\$1,030,650</b>
Room Tax Revenues	\$ 328,912	\$ 320,837	\$ 327,055	\$ 327,475	\$332,520
Less: Operating Expenses <sup>1</sup>	<u>875,805</u>	<u>714,151</u>	<u>519,542</u>	<u>742,200</u>	<u>635,725</u>
<b>Pledged Revenues</b>	<b>\$ 284,851</b>	<b>\$1,066,729</b>	<b>\$ 798,821</b>	<b>\$ 535,648</b>	<b>\$ 727,445</b>
<b>Annual Debt Service</b>	<b>\$ 328,912</b>	<b>\$ 320,837</b>	<b>\$ 327,055</b>	<b>\$ 327,475</b>	<b>\$ 327,166</b>
<b>Debt Coverage</b>	<b>0.87</b>	<b>3.32</b>	<b>2.44</b>	<b>1.64</b>	<b>2.22</b>

<sup>1</sup> Operating expenses exclude depreciation, administration and ARFF services to the airport.

## **GENERAL OBLIGATION REVENUE BONDS SUPPORTED BY ROOM TAX REVENUES**

### **General Obligation Bonds Supported by Room Tax Revenues**

The City refunded the Series 2005 Recreational Facilities Bonds (the "2005 Bonds") in the amount of \$1,500,000 and authorized an additional \$6,500,000 in general obligation recreational facilities bonds for a total of \$8,000,000 in general obligation recreational facilities bonds in fiscal year 2016. The City is using the new money portion (\$6,500,000) of the authorized bonds to finance a portion of a new multi-use sports complex and to replace the irrigation system at the City's municipal golf course.

### **Security for the Bonds**

The 2015 Recreational Facilities Bonds (the "2015 Bonds") constitute a direct and general obligation of the City, and the full faith and credit of the city is pledged to the payment of principal and interest due thereon, subject to State constitutional and statutory limitations on the aggregate amount of ad valorem taxes.

The City imposes, pursuant to NRS 268.095 through 268.096, a charter and a City ordinance, a license for revenue upon all businesses operating a hotel, motel, apartment, time-share project, apartment hotel, vacation trailer park, campground, park for recreational vehicles and other accommodations for rent within the City. All of the room license taxes imposed by the City are referred to generically as the "Room Tax". The Room Tax is calculated based on the amount of gross income actually received from room rentals by each licensee from the renting of rooms except for rental of 28 days or longer and complimentary rooms which are provided at no cost to the occupant. Pursuant to City Ordinance No. 794, effective July 1, 2015, the Room Tax was increased from 12% to 14%, and the amount allocated to the City Recreation Fund was increased from 4% to 6%. Pursuant to the City ordinance imposing the Room Tax, the Room Tax at a rate of 6% (the "6% Tax") is deposited in the City Recreation Fund to be used to acquire, construct, improve and equip recreational facilities and to pledge to the repayment of bonded indebtedness issued for recreational facilities.

## **Debt Service Requirements**

The following table illustrates the debt service requirements on the City's general obligation bonds paid with the Pledged Revenues.

### **GENERAL OBLIGATION BONDS DEBT SERVICE PAID FROM PLEDGED REVENUES City of Elko, Nevada**

<b>Fiscal Year June 30</b>	<b>Pledged Revenues <sup>1/</sup></b>		<b>Principal</b>	<b>Interest<sup>2/</sup></b>	<b>Total</b>	<b>Coverage (times)</b>
	<b>Revenue</b>	<b>Growth</b>				
2015	1,035,688	--				
2016	1,441,089	39.1%	285,000	122,273	407,273	3.54
2017	1,551,927	7.60%	355,000	254,763	609,763	2.55
2018	1,642,171	5.81%	365,000	244,113	609,113	2.60
2019	1,671,918	1.81%	375,000	233,163	608,163	2.75
2020	1,684,375	.74%	385,000	221,913	606,913	2.78
2021	1,684,375	0.00	405,000	206,513	611,513	2.75
2022	1,684,375	0.00	420,000	190,313	610,313	2.76
2023	1,684,375	0.00	440,000	173,513	613,513	2.75
2024	1,684,375	0.00	455,000	155,913	610,913	2.76
2025	1,684,375	0.00	470,000	137,713	607,713	2.77
2026	1,684,375	0.00	355,000	123,613	478,613	3.52
2027	1,684,375	0.00	365,000	112,963	477,963	3.52
2028	1,684,375	0.00	375,000	102,013	477,013	3.53
2029	1,684,375	0.00	385,000	90,763	475,763	3.54
2030	1,684,375	0.00	395,000	79,213	474,213	3.55
2031	1,684,375	0.00	410,000	67,363	477,363	3.53
2032	1,684,375	0.00	420,000	55,063	475,063	3.55
2033	1,684,375	0.00	435,000	42,463	477,463	3.53
2034	1,684,375	0.00	445,000	29,413	474,413	3.55
2035	1,684,375	0.00	460,000	14,950	474,950	3.55
<b>TOTAL</b>			<b>\$8,000,000</b>	<b>\$2,657,998</b>	<b>\$10,657,998</b>	

1/ Fiscal year 2015-2018 is actual, fiscal year 2019 is estimated and fiscal year 2020 is budgeted. Fiscal year 2016 reflects an increase in the Room Tax from 4% to 6% effective July 1, 2015. Future growth is projected at 0% thereafter.

2/ True interest cost is 2.536%

SOURCE: City of Elko; Compiled by Zions Public Finance

### **Special Debt Requirements**

In January 2002, pursuant to NRS 277.045 which states *that any two or more political subdivisions of the State of Nevada may enter into a cooperative agreement for the performance of any governmental function including the payment of money*; the City of Elko, Elko County and the City of Carlin entered into a Cooperative Agreement for the construction of a water line to supply potable water to the University of Nevada Fire Science Academy located just outside Carlin. The total project cost was \$1,350,000 of which \$1,000,000 was a federal grant. The remaining \$350,000 was the total grant match for the project for which Carlin obtained a loan from the U.S. Department of Agriculture, Rural Development Agency bearing an interest rate of 5% and a term of 40 years.

The cooperative agreement specifies that the City of Elko and Elko County will each pay to the City of Carlin one-third the annual debt payment on the loan in the amount of \$6,800.00. The total annual debt requirement is \$20,398.00. Should connection fees for those connecting to the system cover the annual debt cost, no payment would be required from either the City of Elko or the County of Elko. Any proceeds from connections to the line would first be used to pay the City of Elko and Elko County for any amounts they have contributed to the City of Carlin. Any additional amounts can then be used to pay down the interest and principal on the remaining loan.

### **Statutory Debt Capacity**

State statutes limit the aggregate principal amount of the City's general obligation debt to 30% of the City's total assessed valuation (NRS 266.600). Based upon the assessed valuation for Fiscal Year 2019 of \$519,385,463 (including the assessed valuation of the Elko Redevelopment Agency), the City is limited to general obligation indebtedness in the aggregate amount of \$155,815,639, with \$19,070,000 of such debt to which the limit applies outstanding and proposed as of June 30, 2018.

The following table illustrates the City's general obligation statutory debt limitation.

#### **STATUTORY DEBT CAPACTIY CITY OF ELKO, NEVADA June 30, 2018**

Statutory Debt Limit <sup>1/</sup>	\$155,815,639
Outstanding General Obligation Indebtedness	\$ 17,725,000
<b>Additional Statutory Debt Limitation</b>	<b>\$138,090,639</b>

1/ Based upon the assessed valuation for fiscal year 2019 of \$155,815,639 (including the City of Elko Redevelopment Agency).

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SOURCE: City of Elko

## **Policy Statement - Debt Sales**

There are two ways bonds can be sold: competitive (public) or negotiated sale. NRS 350.155 to 350.195 sets forth the circumstances under which a local government will sell its bonds at competitive or negotiated sale. The City will follow the statutory requirements in determining the method of sale for its bonds. The Government Finance Officers Association also urges "competitive sales should be used to market debt whenever feasible".

Competitive and negotiated sales provide for one or more pricings, depending upon market conditions or other factors. Either method can provide for changing sale dates, issue size, maturity amounts, term, bond features, etc.

**Competitive Sale** - With a competitive sale, any interested underwriter(s) is invited to submit a proposal to purchase an issue of bonds. The bonds are awarded to the underwriter(s) presenting the best bid according to stipulated criteria set forth in the notice of sale. The best bid is usually determined based on the lowest overall interest rate. Competitive sales should be used for all issues unless circumstances dictate otherwise.

**Negotiated Sale** - A securities sale through an exclusive arrangement between the issuer and an underwriter or underwriting syndicate. At the end of successful negotiations, the issue is awarded to the underwriters.

Negotiated underwriting may be considered based upon one or more of the following criteria:

- Extremely large issue size
- Complex financing structure (i.e., variable rate financings, new derivatives and certain revenue issues, etc.) which provides a desirable benefit to the City.
- Comparatively lesser credit rating.
- Other factors which lead the City to conclude that a competitive sale would not be effective.

## **Operational Costs and Revenue Sources**

The funding and financing necessary to support the existing and proposed City of Elko general obligation debt come from ad valorem taxes, consolidated tax revenues, room tax revenues, and airport enterprise revenues. The operational costs and revenue sources associated with each project are determined based upon estimates of additional personnel, maintenance, supplies and utilities costs. The operational funding sources include the funding sources noted above that are available for capital improvements. In many cases, there is no additional operational cost for a capital improvement project since the new improvement is merely replacing an older one.

**Debt Service Fund Balance** - A debt service fund balance provides a ready reserve to meet current debt service payments should moneys not be available from current revenues. It is the City's policy to strive for a debt service fund balance equal to one year of principal and interest on its various debt issues.

**Refunding** - A refunding is generally the underwriting of a new bond issue whose proceeds are used to redeem an outstanding issue. Key definitions are described as follows:

**Advance Refunding** - A method of providing for payment of debt service on a bond until the first call date or designated call date from available funds. Advance refundings are done by issuing a new bond or using available funds and investing the proceeds in an escrow account in a portfolio of U.S. government securities structure to provide enough cash flow to pay debt service on the refunded bonds.

**Current Refunding** - The duration of the escrow is 90 days or less.

**Gross Savings** - Difference between debt service on refunding bonds and refunded bonds less any contribution from a reserve or debt service fund.

**Present Value Savings** - Present value of gross savings discounted at the refunding bond yield to the closing date plus accrued interest less any contribution from a reserve or debt service fund.

Prior to beginning a refunding bond issue, the city will review an estimate of the savings achievable from the refunding. The City may also review a pro forma schedule estimating the savings assuming that the refunding is done at various points in the future.

The City will generally consider refunding outstanding bonds if one or more of the following conditions exists:

1. Present value savings are at least 3% of the par amount of the refunding bonds.
2. The bonds to be refunded have restrictive or outdated covenants.
3. Restructuring debt is deemed to be desirable.

The City may pursue a refunding not meeting the above criteria if:

1. Present value savings exceed the costs of issuing the bonds.
2. Current savings are acceptable when compared to savings that could be achieved by waiting for more favorable interest rates and/or call premiums.

## **Debt Structuring**

**Maturity Structures** - The term of City debt issues should not extend beyond the useful life of the project or equipment financed. The repayment of principal on tax supported debt should generally not extend beyond 20 years unless there are compelling factors which make it necessary to extend the term beyond this point. Debt issues by the City should be structured to provide for generally level debt service. Deferring the repayment of principal should be avoided except in select instances where it will take a period of time before project revenues are sufficient to pay debt service.

**Bond Insurance** - Bond insurance is an insurance policy purchased by an issuer or an underwriter for either an entire issue or specific maturities, which guarantees the payment of principal and interest. This security provides a higher credit rating and thus a lower borrowing cost for an issuer.

Bond insurance can be purchased directly by the City prior to the bonds sale (direct purchase) or at the underwriter's option and expense (bidder's option). The City will attempt to qualify its bond issues for insurance with bond insurance companies rated AAA by Moody's Investors Service and Standard & Poor's Corporation.

The decision to purchase insurance directly versus bidder's option is based on:

- A volatile market.
- Current investor demand for insured bond.
- Level of insurance premiums.
- Ability of the City to purchase bond insurance from bond proceeds.

**Financial Representative**

The name and address of the City's financial Representative is as follows:

Candi Quilici  
Acting Accounting Manager  
1751 College Avenue  
Elko, NV 89801  
Ph (775) 777-7120  
Fax (775) 777-7106



Form **4410LGF** **SCHEDULE OF FIVE YEAR DEBT SERVICE REQUIREMENTS**  
as of June 30, 2019  
Postmark Deadline 8/1/2019

Entity: City Of Elko

For the next five years, list the total dollar requirement for principal and interest broken down for each type of indebtedness the entity currently has outstanding.

	<u>2019-2020</u>	<u>2020-2021</u>	<u>2021-2022</u>	<u>2022-2023</u>	<u>2023-2024</u>
<b><u>General Obligation Bonds</u></b>					
G/O Bonds					
G/O Revenue	\$ 1,679,661	\$ 1,673,583	\$ 1,677,440	\$ 1,676,148	\$ 1,677,006
G/O Special Assessment					
<b><u>Medium-Term Obligation</u></b>					
G/O Bonds	\$ 333,981	\$ 337,231	\$ 335,313	\$ 333,281	\$ 336,081
Notes/Bonds					
Leases/ Purchases					
<b><u>Revenue Bonds</u></b>					
<b><u>Other Debt</u></b>					
Other Lease Purchases					
Mortgages					
Warrants					
Special Assessments					
Other Debt					
<b>TOTAL</b>	<b>\$ 2,013,642</b>	<b>\$ 2,010,814</b>	<b>\$ 2,012,753</b>	<b>\$ 2,009,429</b>	<b>\$ 2,013,087</b>

**Elko City Council**  
**Agenda Action Sheet**

1. Title: **Review, consideration, and possible approval for the Elko Police Department to acquire a surplus vehicle from the military 1033 Program, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **CONSENT**
4. Time Required: **5 Minutes**
5. Background Information: **The Elko Police Department coordinates with the Office of Criminal Justice Assistance to acquire surplus equipment and vehicles through the 1033 Program. Acquiring equipment from this program requires no financial commitment from the City of Elko. This is an opportunity to acquire a used Humvee style all-terrain vehicle. BR**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **N/A**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information:
9. Recommended Motion: **Recommend approval for the Elko Police Department to acquire a surplus vehicle (Humvee), from the military 1033 Program, at no cost to the City.**
10. Prepared By: **Police Chief Ben Reed, Jr.**
11. Committee/Other Agency Review: **N/A**
12. Council Action:
13. Agenda Distribution: **N/A**

**Elko City Council**  
**Agenda Action Sheet**

1. Title: **Review and possible approval of the Financial Services Director position description, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **PERSONNEL**
4. Time Required: **10 Minutes**
5. Background Information: **As the result of reorganization efforts, Staff is proposing the creation of a Financial Services Director position. If approved, the proposed position will oversee the Accounting/Finance and Information Systems Departments. The Human Resources Department will report directly to the City Manager.**  
  
**The Administrative Services Director position will remain unfilled. Due to the reduction in responsibility, Staff is proposing the Financial Services Director position be placed in Management Pay Grade 38. SS**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **N/A**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Draft Financial Services Director Position job description**
9. Recommended Motion: **Approve the Financial Services Director Position job description**
10. Prepared By: **Susie Shurtz, Human Resources Manager**
11. Committee/Other Agency Review:
12. Council Action:
13. Council Agenda Distribution:

## **CITY OF ELKO**

### **FINANCIAL SERVICES DIRECTOR**

#### **DEFINITION**

Under general administrative direction, to plan, direct, manage, and oversee the activities and operations of the Financial Services Department including financial reporting, general accounting, budget preparation, audit coordination, debt administration, revenue management, investment oversight, grant administration, and information systems technology services; to coordinate assigned activities with other City departments and outside agencies; and to provide highly responsible and complex administrative support to the City Manager.

#### **SUPERVISION EXERCISED**

Exercises direct supervision over supervisory, professional, technical and administrative support staff.

#### **EXAMPLES OF IMPORTANT AND ESSENTIAL DUTIES**

Assume full management responsibility for all Financial Services Department services and activities including financial reporting, general accounting, budget preparation, audit coordination, debt administration, revenue management, investment oversight, grant administration, and information systems technology services.

Manage and participate in the development and administration of the annual City Budget process; forecast revenues and expenses based upon ongoing analysis; recommend appropriate departmental staffing, equipment, materials, and supply levels; prepare and implement budgetary adjustments as necessary.

Oversee the administration of City-wide information systems technology efforts, including computer hardware, software, networks, and associated equipment, to achieve assigned goals within available resources.

Prepare financial statements in accordance with generally accepted accounting standards; coordinate departmental budget and audit participation; submit a variety of financial reports to State and Federal agencies.

Support the development and implementation of City-wide financial goals, objectives, policies, and priorities; assist other City departments and employees with budget analysis and preparation.

Participate in the issuance of debt; ensure timely and accurate debt services payments.

## **EXAMPLES OF IMPORTANT AND ESSENTIAL DUTIES**

Represent the Financial Services Department to other City departments, elected officials and outside agencies; explain and interpret Financial Services Department programs, policies, and activities; negotiate and resolve sensitive, significant, and controversial issues.

Select, train, motivate, and evaluate Financial Services Department personnel; provide or coordinate staff training; work with employees to correct deficiencies.

Plan, direct, and coordinate the Financial Services Department's work plan; meet with management staff to identify and resolve problems; assign projects and programmatic areas of responsibility; review and evaluate work methods and procedures.

Coordinate Financial Services Department activities with those of other departments and outside agencies and organizations.

Provide staff assistance to the City Manager and City Council; prepare and present staff reports and other necessary correspondence.

Conduct a variety of organizational studies, investigations, and operational studies; recommend modifications to Financial Services programs, policies, and procedures as appropriate.

Participate on a variety of boards and commissions; attend and participate in professional group meetings; stay abreast of new trends and innovations in the field of municipal finance, accounting, and information services technology.

Respond to and resolve difficult and sensitive inquiries and complaints.

## **OTHER JOB RELATED DUTIES**

Perform related duties and responsibilities as assigned.

## **JOB RELATED AND ESSENTIAL QUALIFICATIONS**

### **Knowledge of:**

Operational characteristics, services, and activities of a comprehensive finance program.

Pertinent Federal, State, and local laws, codes, and regulations.

Organization and management practices as applied to the analysis and evaluation of finance programs, policies, and operational needs.

**Knowledge of:**

Modern and complex principles and practices of finance program development and administration.

Principles and practices of accounting, financial reporting, auditing and bond financing.

Information sources and research techniques in the fields of public administration, financial planning, accounting, annual budget, capital budget, and annual audit preparation and procedures.

Advanced principles and practices of municipal budget preparation and administration.

Organization and management practices as applied to the analysis and evaluation of information systems programs, policies and operational needs.

Modern and complex principles and practices of computer systems management, analysis, design, programming, and maintenance.

Principles of supervision, training, and performance evaluation.

Safe driving principles and practices.

**Skill to:**

Operate modern office equipment including computer equipment and software.

Operate a motor vehicle safely.

**Ability to:**

Provide administrative and professional leadership and direction for the Financial Services Department.

Develop, implement, and administer goals, objectives, and procedures for providing effective and efficient finance and information systems services.

Plan, organize, direct, and coordinate the work of supervisory, professional, technical, and administrative support personnel; delegate authority and responsibility.

Select, supervise, train, and evaluate staff.

Identify and respond to community and City Council issues, concerns, and needs.

**Ability to:**

Analyze problems, identify alternative solutions, project consequences of proposed actions, and implement recommendations in support of goals.

Research, analyze, and evaluate new service delivery methods, procedures, and techniques.

Prepare and administer large and complex budgets; allocate limited resources in a cost effective manner.

Prepare clear and concise administrative and financial reports.

Interpret and apply the policies, procedures, laws, codes, standards, and regulations pertaining to finance programs and functions.

Communicate clearly and concisely, both orally and in writing.

Establish, maintain, and foster positive and harmonious working relationships with those contacted in the course of work.

**Minimum Qualifications:**

**Experience:**

Six years of responsible governmental accounting and/or financial management experience, including four years of management and/or supervisory experience.

**Training:**

Bachelor's degree from an accredited college or university with major course work in business administration, accounting, finance, or a related field of study. A Master's degree is desirable.

**License or Certificate:**

Possession of, or ability to obtain, an appropriate, valid driver's license.

**Special Requirements:**

*Essential duties require the following physical skills and work environment:*

Ability to work in a standard office environment; ability to travel to different sites and locations.

**Effective Date:** July 2019

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review and possible approval for the Fire Department to purchase one (1) Fire Marshal vehicle and accessories through Nevada State Purchasing for \$57,547.06, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **APPROPRIATION**
4. Time Required: **5 Minutes**
5. Background Information: **City Council approved the vehicle purchase in the FY 2019/2020 Budget (Capital Equipment Fund). Fire Marshal Holmes is moving forward with ordering the vehicle and accessories. JH**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **\$60,000.00**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information:
9. Recommended Motion: **Approve the request from the Fire Department to purchase of one (1) vehicle and accessories for the Fire Marshal.**
10. Prepared By: **John Holmes, Fire Marshal**
11. Committee/Other Agency Review:
12. Council Action:
13. Council Agenda Distribution: **John Holmes, Fire Marshal**  
**[jholmes@elkocitynv.gov](mailto:jholmes@elkocitynv.gov)**

MATT GRIEGO  
FIRE CHIEF  
Email: mgriego@elkocitynv.gov

AMANDA FLORENCE  
ADMINISTRATIVE ASSISTANT  
Email: aflorence@elkocitynv.gov



JACK SNYDER  
DEPUTY CHIEF  
Email: jssnyder@elkocitynv.gov

JOHN HOLMES  
FIRE MARSHAL  
Email: jholmes@elkocitynv.gov

## CITY OF ELKO - FIRE DEPARTMENT

911 W. Idaho Street  
Elko, NV 89801  
(775)777-7345 FAX (775)777-7359

February 06, 2019

Vehicle:	\$39,513.25
Lights/Siren/Console	\$5,892.79
Door Signs/Striping	\$414.00
Rockland Custom Cabinet	\$6,494.00
Motorola Radio	\$4,255.27
Airport Radio	\$802.75
	\$57,547.06



2019-000603

Item # 1.2 - Sport Utility 4 Wheel Drive "Special Service"

- Base Price - \$35,637.00
- Anti-Theft System: KATS \$445.00
- Additional Window Tint \$100.00
- Bluetooth for Phone STD
- Siren Red Tintcoat \$495.00
- Content Theft Disable \$50.00
- Off Road Package \$429.00
- Carpeted Floor w/Mats \$190.00
- Flasher System Head/Tail Lamps \$495.00
- Daytime Running Lamp Delete \$50.00
- ~~Rear Window/Door Lock/Handles Inop~~ \$175.00 *more po.*
- 6 Additional Keys \$95.00 *LASER CUT KEYS*
- Remote Start \$300.00
- Aux Dome Lamp \$170.00
- Grille/Lamp/Speaker Wiring/Horn/Siren \$133.00
- Aluminum Wheels & Tires \$895.00
- Nevada DRS/Title Fee \$29.25

Total \$39,688.25 ~~\$175.00~~ 39,513.25

Fleet Manager

Kyle M Outland

# Quote

**BLACK POINT**  
**POLICE AND VEHICLE UP-FITTING**  
**1407 ARLEN**  
**GARDNERVILLE NV,89410**  
**OFFICE (775)392-0228**  
**CELL (760)258-5389**

Date: February 1, 2019  
 Invoice # CHEVY TAHOE UPFIT AND  
 EQUIPMENT

To CITY OF ELKO FIRE DIST

Salesperson	Job	Payment Terms	Due Date
NATE	CHEVY TAHOE AND EQUIPMENT		

Qty	Description	Unit Price	Line Total
1	TOMAR 53" DUAL COLOR LIGHTBAR W/ALLEYS/TAKEDOWNS/EARA LIGHTS/ARROW STICK/CONTROL HEAD AND SIREN	\$2210.00	\$2210.00
4	TOMAR RECT 14 RED/WHT WITH RUBBER MOUNTS	\$65.00	\$260.00
2	TOMAR SPK 100 SIREN SPEAKER 100 WATT	\$160.00	\$320.00
1	GOJOTTO CONSOLE FOR CHEVY TAHOE (2018+) CONT W/CUP HOLDER/12V OUTPUTS /ARMREST/FACDEPLATES	\$708.79	\$708.79
1	EQUIPMENT SHIPPING	\$174.00	\$174.00
1	911 CIRCUIT CH27/W HARNESS/FUSE PANNEL/TIMER/	\$650.0	\$650.00
2	LAIRD ANTENNA MOUNTS	\$20.00	\$40.00
1	CARSON SIREN MECHANICAL	\$330.00	\$330.00
4	GOJOTTO IPAD SIDE MOUNT 425 5210/4131	\$390.00	\$390.00
16 HRS	INSTALL LABOR	\$75.00 HIR	\$1200.00
Subtotal			\$5892.79
Sales Tax			EX
Total			\$5892.79

Quotation prepared by: .....

This is a quotation on the goods named, subject to the conditions noted below:

To accept this quotation, sign here and return: .....

***Thank you for your business!***

Nate Dondero 760-258-5389 nate.dondero@yahoo.com



Number: 4892

Date: 8/14/2017

Bill To:

City Of Elko  
Fire Dept

Ship To:

Matt Griego  
777-7347  
777-7359 fax

PO Number

Terms

Project

Date	Description	Hours	Rate	Amount
	Door Signs			
	Reflective striping on sides	1	\$414.00	\$414.00
	Rear chevron stripe kit for New Fire			
	Marshall Truck. Misc. lettering			

SubTotal \$414.00

State Tax 6.85% on \$0.00 \$0.00

0.00% on \$0.00 \$0.00

Total \$414.00

0 - 30 days	31 - 60 days	61 - 90 days	> 90 days	Total
\$414.00	\$0.00	\$0.00	\$0.00	\$414.00



## Sales Quote

Page: 1

4707 Northgate Blvd Sacramento, CA 95834  
Phone: 916-646-6626 Fax: 916-646-6656

Quote Number: 15589  
Document Date: 1/21/2019  
Terms:  
Payment Method:

Sell City of Elko Fire Department  
To: JOHN HOMLES

Ship City of Elko Fire Department  
To:

Phone:

Phone:

Ship Via  
Location: Lehr - Sacramento  
Blanket PO:

Customer ID NEW0385  
SalesPerson Steve Adair

### Vehicle Information:

Item No.	Description	Category	Quantity	Unit Price	Total Price
GC-5-CUSTOM	ROCKLAND CUSTOM CABINET		1	6,149.00	6,149.00
F	Shipping Charges	OTHER	1	345.00	345.00

Amount Subject to Sales Tax 0  
Amount Exempt from Sales Tax 6,494.00

Subtotal: \$6,494.00  
Tax: \$0.00  

---

Total: \$6,494.00

PHONE#  
(631)391-6007



CUSTOM CABINETS

FAX#  
(631)206-2923

CUSTOMER:

CITY OF ELKO FD

VEHICLE:

2019 TAHOE

DATE:

12/17/2018

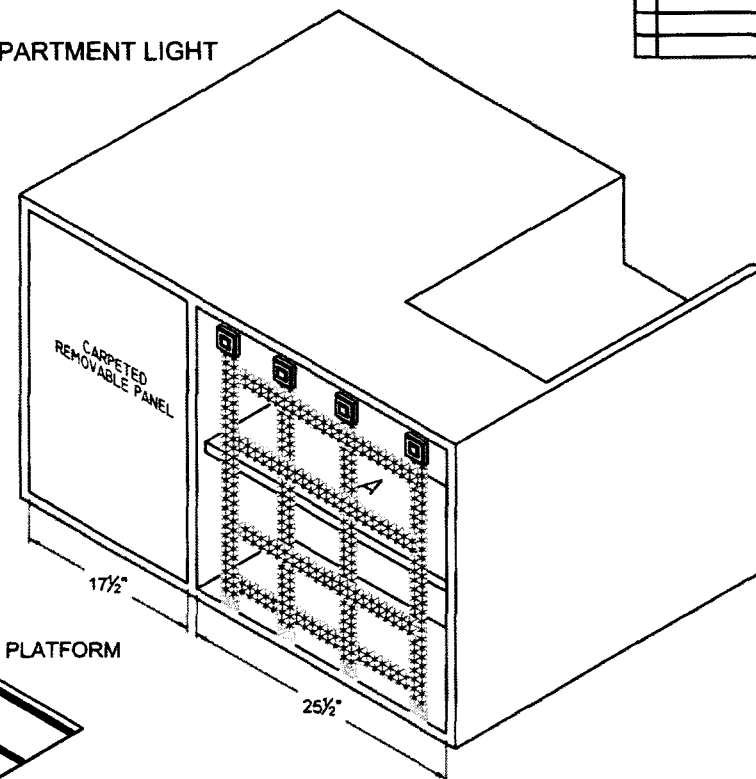
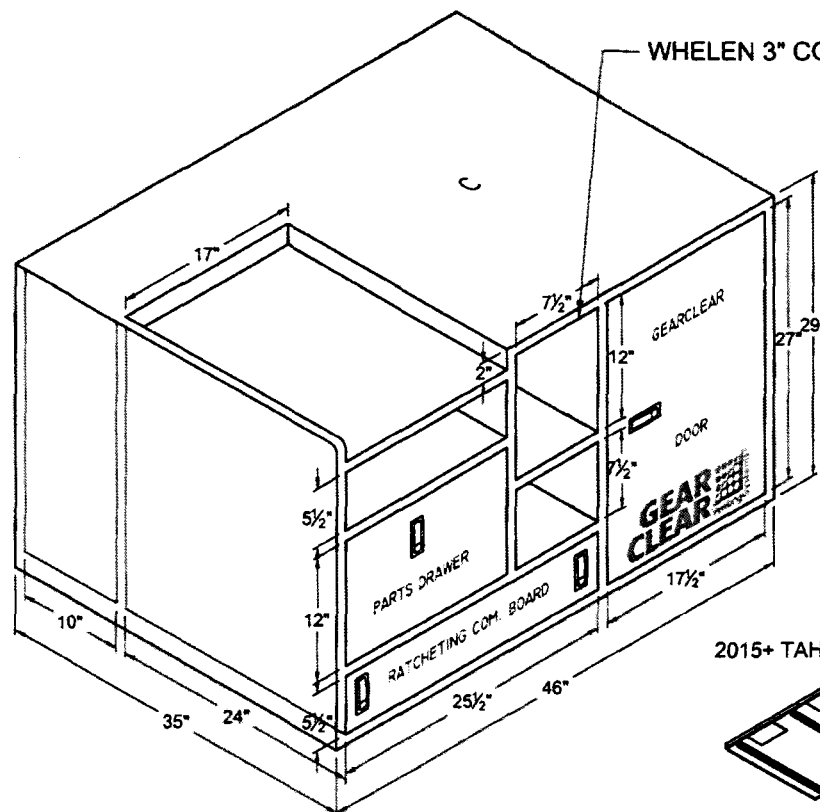
A = ADJUSTABLE SHELF  
W/ 1" ALUMINUM ANGLE  
C = GRAY CARPET  
BC = BLACK CARPET  
BL = BLACK LAMINATE  
DPLS = DIAMOND PLATE LS

DRAWN BY: M.N.

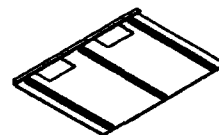
• STANDARD FILE  
DRAWER = 22" DEEP  
• STANDARD COMMAND  
BOARD = 22" DEEP

\*usable drawer space is smaller than drawer opening dimensions\*

REVISIONS



2015+ TAHOE PLATFORM



PLATFORM INCLUDED WITH PURCHASE?  
CUSTOMER SIGNATURE REQUIRED

YES \_\_\_\_\_

NO \_\_\_\_\_

OVERALL CABINET DIMENSIONS MAY VARY (+/-) 1/4" BASED ON FINISHING MATERIALS AND COATINGS

IF APPLICABLE:

WHAT SIZE SCBA BRACKET IS NEEDED? 30 MIN \_\_\_ 45 MIN \_\_\_ 60 MIN \_\_\_

BY APPROVING THESE CUSTOM PRODUCT SPECIFICATIONS YOU ACKNOWLEDGE THEM TO BE CORRECT, AUTHORIZE THE PRODUCTION OF THE UNIT(S), AND ASSUME ALL FINANCIAL RESPONSIBILITY FOR THIS ORDER

THIS DRAWING IS THE PROPERTY OF ROCKLAND CUSTOM PRODUCTS. IT IS NOT TO BE REPRODUCED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ROCKLAND CUSTOM PRODUCTS.

SIGN: \_\_\_\_\_

APPROVED

DATE: \_\_\_\_\_

CABINET APPROVAL

I APPROVE THIS CABINET AS DRAWN. CUSTOM CABINETS ARE NONRETURNABLE AND CANNOT BE CHANGED OR CANCELLED.

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, discussion, and possible approval for the Fire Department to purchase a new Type III Fire Apparatus from Boise Mobile Equipment for the amount of \$331,069.00, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **APPROPRIATION**
4. Time Required: **5 Minutes**
5. Background Information: **The City of Elko Fire Department would like the approval to purchase a new Type III Fire Engine. The new Fire Engine will replace the current Engine 54 which is 22 years old. The new Fire Engine will be built by Boise Mobile Equipment, at the price of \$331,069.00. The apparatus will feature seating for four firefighters, 500 gallons of water, 500 gallon per minute pump, pump and roll capabilities and increased compartment space. The Fire Department would like to order the apparatus and not require payment until delivery. This purchase will be done utilizing the HGAC purchasing program. JS**
6. Budget Information:

**Appropriation Required: \$331,069.00**  
**Budget amount available: \$ 300,000.00**  
**Fund name: Capitol Equipment**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **N/A**
9. Recommended Motion: **Recommend approval for the Fire Department to purchase a new Type III Fire Apparatus from Boise Mobile Equipment for the amount of \$331,069.00.**
10. Prepared By: **Jack Snyder, Deputy Fire Chief**
11. Committee/Other Agency Review: **N/A**
12. Council Action:
13. Agenda Distribution: **Jack Snyder, III**  
**Deputy Fire Chief**  
**[jssnyder@elkocitynv.gov](mailto:jssnyder@elkocitynv.gov)**

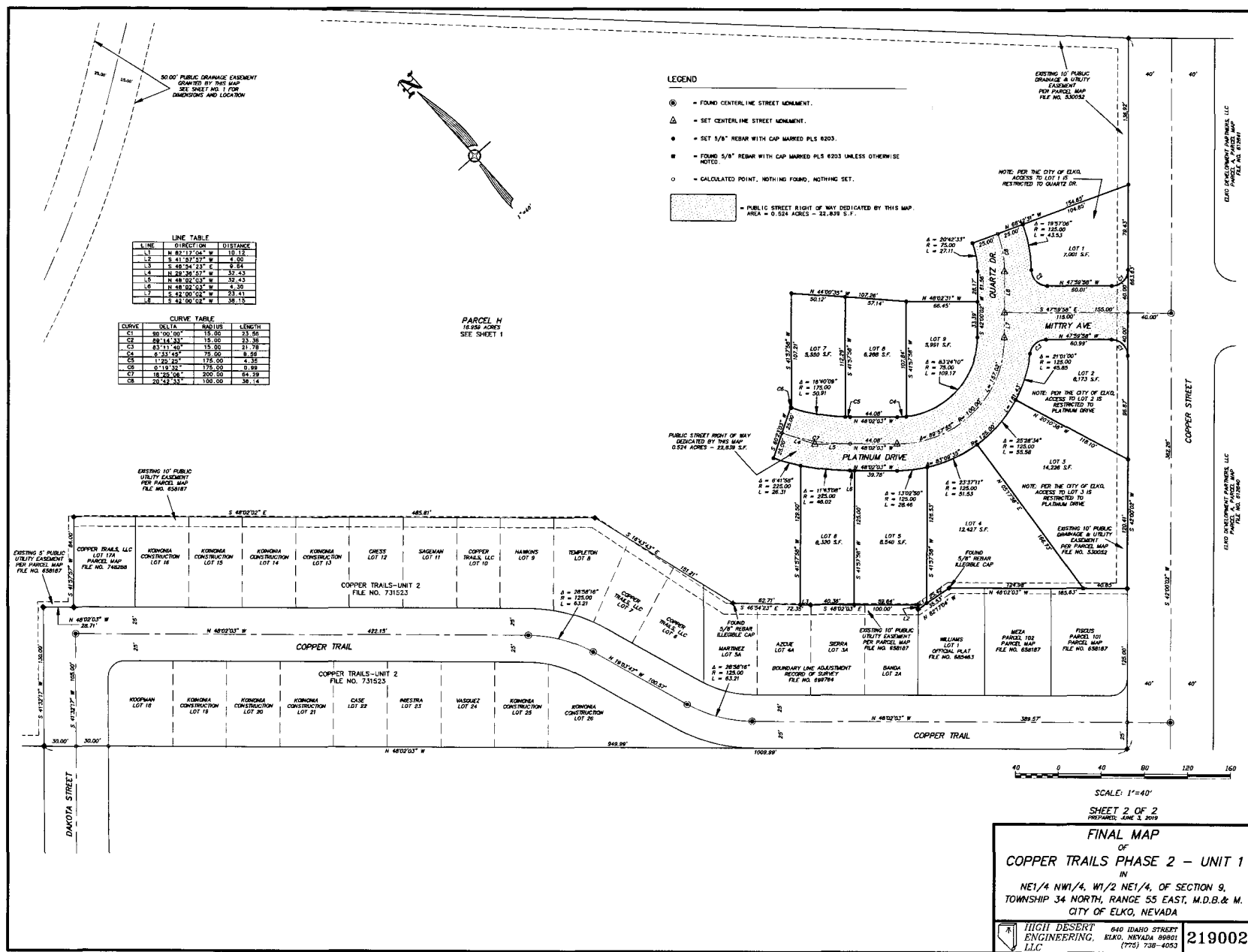
**Elko City Council  
Agenda Action Sheet**

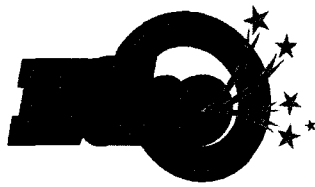
1. Title: **Review, consideration, and possible issuance of final acceptance for the Municipal Swimming Pool Repair Project, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **APPROPRIATION**
4. Time Required: **5 Minutes**
5. Background Information: **This project was awarded to MGM Construction Inc. at the February 26, 2019 Council Meeting in the amount of \$463,353.00. There were two approved change orders for the project. One resulting in a reduction of cost for the amount of \$1,221.00 and a second resulting in an increase of cost for the amount of \$2,535.00. The net total for change orders amounting to \$1,314.51 bringing the total for the project to \$464,666.51. The project has been completed on time and in conformance with the plans and specifications. JW**
6. Budget Information:  
    Appropriation Required: **\$464,666.51**  
    Budget amount available: **\$464,666.51**  
    Fund name: **Recreation Fund**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information:
9. Recommended Motion: **Approve final acceptance of the Municipal Swimming Pool Repair Project in the amount of \$464,666.51.**
10. Prepared By: **James Wiley, Parks and Recreation Director**
11. Committee/Other Agency Review:
12. Council Action:
13. Agenda Distribution:

**Elko City Council  
Agenda Action Sheet**

1. **Title: Review, consideration, and possible action to conditionally approve Final Map No. 8-19, filed by Copper Trails LLC, for the development of a subdivision entitled Copper Trails Phase 2, Unit 1 involving the proposed division of approximately 19.194 acres of property into 9 lots for residential development and 1 remainder lot within the R (Single Family and Multiple Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **SUBDIVISION**
4. Time Required: **15 Minutes**
5. Background Information: **The subject property is located at the intersection of Copper Street and Mittry Avenue (APN 001-610-114). The Planning Commission considered this item on July 2, 2019 and took action to forward a recommendation to conditionally approve Final Map 8-19. MR**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Maps, P.C. action report, Staff reports, related correspondence, and PowerPoint Presentation.**
9. Recommended Motion: **Conditionally approve Final Map No. 8-19 for the Copper Trails Phase 2, Unit 1 subdivision subject to the conditions as recommended by the Planning Commission.**
10. Prepared By: **Michele Rambo, AICP, Development Manager**
11. Committee/Other Agency Review: **Planning Commission**
12. Council Action:
13. Agenda Distribution: **Copper Trails LLC  
207 Brookwood Drive  
Elko, NV 89801  
[elkoluke@gmail.com](mailto:elkoluke@gmail.com)  
  
Carter Engineering  
[lanalcarter@live.com](mailto:lanalcarter@live.com)**

**HIGH DESERT**  
ENGINEERING,  
LLC





# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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### CITY OF ELKO PLANNING COMMISSION ACTION REPORT Regular Meeting of July 2, 2019

WHEREAS, the following item was reviewed and considered by the Elko City Planning Commission on July 2, 2019 pursuant to City Code Sections 3-3-7 (G)3:

Final Map No. 8-19, filed by Copper Trails, LLC, for the development of a subdivision entitled Copper Trails Phase 2 – Unit 1 involving the proposed division of approximately 19.194 acres of property into 9 lots and 1 remainder parcel for residential development within the R (Single Family and Multiple Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION

The subject property is located at the intersection of Copper Street and Mittry Avenue. (APN 001-610-114)

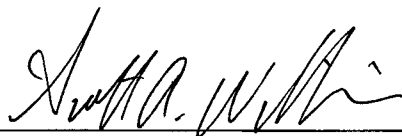
NOW THEREFORE, upon review and consideration of the application, supporting data, public input and testimony, the Planning Commission recommended that the City Council accept, on behalf of the public, the parcels of land offered for dedication for public use in conformity with the terms of the offer of dedication; that the final map substantially complies with the tentative map; that the City Council approve the agreement to install improvements in accordance with the approved construction plans that satisfies the requirements of this Chapter, and conditionally approve Final Map 8-19 with conditions listed in the Staff Report dated June 12, 2019, listed as follows:

1. The Developer shall execute a Performance Agreement in accordance with Section 3-3-21 of City code. The Performance Agreement shall be secured in accordance with Section 3-3-22 of City code. In conformance with Section 3-3-21 of City code, the public improvements shall be completed within a time of no later than two (2) years of the date of Final Map approval by the City Council unless extended as stipulated in City code.
2. The Performance Agreement shall be approved by the City Council.
3. The Developer shall enter into the Performance Agreement within 30 days of approval of the Final Map by the City Council.
4. The Final Map for Copper Trails Phase 2, Unit 1 is approved for nine (9) single family residential lots.
5. The Utility Department will issue a Will Serve Letter for the subdivision.
6. Construction, with the exception of grading, shall not commence prior to Final Map approval by the City Council, issuance of a will-serve letter by the City of Elko, and

approval of construction plans by the Nevada Department of Environmental Protection.

7. Conformance with the conditions of approval of the Tentative Map is required.
8. The Owner/Developer is to provide the appropriate contact information for the qualified engineer and engineering firm contracted to oversee the project along with the required inspection and testing necessary to produce an As-Built for submittal to the City of Elko. The Engineer of Record is to ensure all materials meet the latest edition of the Standard Specifications for Public Works. All right-of-way and utility improvements are to be certified by the Engineer of Record for the project.

The Planning Commission's findings to support its recommendation are the Final Map for Copper Trails Phase 2, Unit 1 has been presented before expirations of the subdivision proceedings in accordance with NRS 278.360(1)(a)(2) and City Code. The Final Map is in conformance with the Tentative Map. The proposed subdivision is in conformance with the Land Use Component of the Master Plan. The proposed subdivision is in conformance with the Transportation Component of the Master Plan. Based on Modification of Standards for lot dimensions granted under the Tentative Map application, the proposed development conforms with Sections 3-3-9 through 3-3-16 (inclusive). The subdivider shall be responsible for all required improvements in conformance with Section 3-3-17 of City Code. The subdivider has submitted plans to the City and State agencies for review to receive all required permits in accordance with the requirements of Section 3-3-19 of City Code. The subdivider has submitted construction plans, which having been found to be in conformance with Section 3-3-20 of City Code, have been approved by City Staff. The Subdivider will be required to enter into a Performance Agreement to conform to Section 3-3-21 of City Code. The Subdivider will be required to provide a Performance Guarantee as stipulated in the Performance Agreement in conformance with Section 3-3-22 of City Code. Based on the Modification of Standards for lot dimensions granted under the Tentative Map application, the proposed development conforms to Sections 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), and 3-2-17 of City Code. The proposed development is in conformance with Section 3-8 of City Code.



Scott Wilkinson, Assistant City Manager

Attest:



Shelby Archuleta, Planning Technician

CC: Applicant  
Michele Rambo, Development Manager (email)  
Kelly Wooldridge, City Clerk

**STAFF COMMENT FLOW SHEET**  
**PLANNING COMMISSION AGENDA DATE: 7/2**

\*\*Do not use pencil or red pen, they do not reproduce\*\*

Title: Final Map No. 8-19 Copper Trails Phase 2 - Unit 1  
Applicant(s): Copper Trails, LLC  
Site Location: intersection of Copper St. + Mitty Ave. Apn 001-6610-114  
Current Zoning: R Date Received: 5/21 Date Public Notice: N/A  
COMMENT: This is for the division of  $\approx$  19.194 acres into  
9 lots and a remainder parcel for residential development

\*\*If additional space is needed please provide a separate memorandum\*\*

Assistant City Manager: Date: 6/24/19  
Recommend approval as presented by  
Staff

SAW

Initial

City Manager: Date: 6/24/19  
No comments/concerns.

CC

Initial



City of Elko  
1751 College Avenue  
Elko, NV 89801  
(775) 777-7160  
FAX (775) 777-7119

## **CITY OF ELKO STAFF REPORT**

<b>REPORT DATE:</b>	<b>June 12, 2019</b>
<b>PLANNING COMMISSION DATE:</b>	<b>July 2, 2019</b>
<b>AGENDA ITEM NUMBER:</b>	<b>I.B.1</b>
<b>APPLICATION NUMBER:</b>	<b>Final Map 8-19</b>
<b>APPLICANT:</b>	<b>Copper Trails, LLC</b>
<b>PROJECT DESCRIPTION:</b>	<b>Copper Trails Phase 2, Unit 1</b>

A Final Map for the division of approximately 2.235 acres into 9 lots for single family residential development within an R (Single Family and Multiple Family Residential) zoning district and 1 remainder lot.



### **STAFF RECOMMENDATION:**

RECOMMEND CONDITIONAL APPROVAL, subject to findings of fact, and conditions as stated in this report.

## **PROJECT INFORMATION**

**PARCEL NUMBER:** 001-610-114

**PARCEL SIZE:** 2.235 Acres

**EXISTING ZONING:** (R) Single Family and Multiple Family Residential.

**MASTER PLAN DESIGNATION:** (RES-MD) Residential Medium Density

**EXISTING LAND USE:** Vacant

### **BACKGROUND:**

1. The Final Plat for Copper Trails Phase 2, Unit 1 has been presented before expiration of the subdivision proceedings in accordance with NRS 278.360(1)(a)(2) and City code.
2. The Planning Commission reviewed and recommended a conditional approval to the City Council on the overall Copper Trails Tentative Map.
3. The City Council conditionally approved the overall Copper Trails Tentative Map.
4. Phasing was shown on the overall Tentative Map, and Phase 2 was originally planned to be built out as a whole. However, the applicant is now submitting and recording Phase 2 in smaller portions due to market concerns.
5. Under the conditional approval of the Tentative Map, a modification of standards was granted for all lot dimensions.
6. The subdivision is located on APN 001-610-114.
7. The proposed subdivision consists of 9 lots.
8. The total subdivided area is approximately 2.235 acres.
9. The proposed density is 4.03 units per acre.
10. Approximately 0.524 acres are offered for dedication for street development.
11. Approximately 0.972 acres are offered for dedication for drainage purposes.
12. The property is located on the north side of the intersection of Mittry Avenue and Copper Street.

### **NEIGHBORHOOD CHARACTERISTICS:**

The property is surrounded by:

- Northwest: Single and Multiple Family (R) / Vacant (Future portion of Phase 2)
- Northeast: Single and Multiple Family (R) / Vacant
- Southwest: Single and Multiple Family (R) / Developed (Copper Trails Phase 1)
- Southeast: Single and Multiple Family (R) / Vacant

### **PROPERTY CHARACTERISTICS:**

- The property is an undeveloped Single and Multiple Family (R) parcel.
- The area abuts the first phase of Copper Trails.
- The parcel has some slope to it, which is incorporated into the design of the lots where possible.

## **APPLICABLE MASTER PLAN AND CITY CODE SECTIONS:**

- City of Elko Master Plan – Land Use Component
- City of Elko Master Plan – Transportation Component
- City of Elko Redevelopment Plan
- City of Elko Wellhead Protection Plan
- City of Elko Zoning – Section 3-2-3 General Provisions
- City of Elko Zoning – Section 3-2-4 Establishment of Zoning Districts
- City of Elko Zoning – Section 3-2-5(E) Single-Family and Multiple Family Residential District
- City of Elko Zoning – Section 3-2-5(G) Residential Zoning Districts Area, Setback, and Height
- City of Elko Zoning – Section 3-2-17 Traffic, Access, Parking and Loading Regulations
- City of Elko Zoning – Chapter 3 Subdivisions
- City of Elko Zoning – Section 3-8 Flood Plain Management

### **MASTER PLAN - Land use:**

Conformance with the Land Use component of the Master Plan was evaluated with review and approval of the Tentative Map. The Final Map is in conformance with the Tentative Map.

Therefore, the proposed subdivision is in conformance with the Land Use Component of the Master Plan.

### **MASTER PLAN - Transportation:**

Conformance with the Transportation component of the Master Plan was evaluated with review and approval of the Tentative Map. The Final Map is in conformance with the Tentative Map.

Therefore, the proposed subdivision is in conformance with the Transportation Component of the Master Plan.

### **ELKO REDEVELOPMENT PLAN:**

The property is not located within the redevelopment area.

### **ELKO WELLHEAD PROTECTION PLAN:**

A portion of the property is located within the 30-year capture zone for Well #15. The sanitary sewer will be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system.

As the project is designed, it does not present a hazard to City wells.

### **SECTION 3-3-7 FINAL MAP STAGE (STAGE III):**

**Pre-submission Requirements (C)(1)** – The Final Map is in conformance with the zone requirements. A modification of standards for the lot dimensions was granted with the conditional approval of the Tentative Map.

**Pre-submission Requirements (C)(2)** – The proposed Final Map conforms to the Tentative Map.

**SECTION 3-3-8 CONTENT AND FORMAT OF FINAL MAP SUBMITTAL:**

- A. Form and Content – The Final Map conforms to the required size specifications and provides the appropriate affidavits and certifications.
- B. Identification Data
  - 1. The Final Map identifies the subdivision and provides its location by section, township, range, and county.
  - 2. The Final Map was prepared by a properly licensed surveyor.
  - 3. The Final Map provides a scale, north arrow, and date of preparation.
- C. Survey Data
  - 1. The boundaries of the subdivision are fully balanced and closed.
  - 2. Any exceptions are noted on the Final Map.
  - 3. The Final Map is tied to a section corner.
  - 4. The location and description of any physical encroachments upon the boundary of the subdivision are noted on the Final Map.
- D. Descriptive Data
  - 1. The name, right-of-way lines, courses, lengths, and widths of all streets and easements are noted on the Final Map.
  - 2. All drainage ways are noted on the Final Map.
  - 3. All utility and public service easements are noted on the Final Map.
  - 4. The location and dimensions of all lots, parcels, and exceptions are shown on the Final Map.
  - 5. All residential lots are numbered consecutively on the Final Map.
  - 6. There are no sites dedicated to the public shown on the Final Map.
  - 7. The location of adjoining subdivisions are noted on the Final Map with required information.
  - 8. There are no deed restrictions proposed.
- E. Dedication and Acknowledgment
  - 1. The owner's certificate has the required dedication information for all easements and right-of-ways.
  - 2. The execution of dedication is acknowledged with space to be certified by a notary public.
- F. Additional Information
  - 1. All centerline monuments for streets are noted as being set on the Final Map.
  - 2. The centerline and width of each right-of-way is noted on the Final Map.
  - 3. The Final Map indicates the location of monuments that will be set to determine the boundaries of the subdivision.
  - 4. The length and bearing of each lot line is identified on the Final Map.
  - 5. The Final Map is not located adjacent to a city boundary, so no boundaries are shown.
  - 6. The Final Map identifies the location of the section lines nearest the property.
- G. City to Check
  - 1. Closure calculations have been provided. Civil improvement plans have been approved. Drainage plans have been approved. An engineer's estimate has been provided.
  - 2. The lot closures are within the required tolerances.
- H. Required Certifications

1. The Owner's Certificate is shown on the Final Map.
2. The Owner's Certificate offers for dedication all right of ways shown on the Final Map.
3. A Clerk Certificate is shown on the Final Map, certifying the signature of the City Council.
4. The Owner's Certificate offers for dedication all easements shown on the Final Map.
5. A Surveyor's Certificate is shown on the Final Map and provides the required language.
6. The City Engineer's Certificate is shown on the Final Map.
7. A certificate from the Nevada Division of Environmental Protection is provided with the required language.
8. A copy of the review by the Nevada Division of Environmental Protection for Phase 2 as a whole has been received. The engineer of record has resubmitted the Phase 2, Unit 1 plans to the state, but no written approval has been received.
9. A certificate from the Division of Water Resources is provided on the Final Map with the required language.
10. The construction plans identify the required water meters for the subdivision.

#### **SECTION 3-3-9 THROUGH 3-3-16 (INCLUSIVE)**

The proposed subdivision was evaluated for conformance to the referenced sections of code during the Tentative Map process. A Modification of Standards for lot dimensions was approved during that process.

Based on the Modification of Standards for lot dimension granted under the Tentative Map application, the proposed development conforms with these sections of City code.

#### **SECTION 3-3-17 RESPONSIBILITY FOR PUBLIC IMPROVEMENTS**

The subdivider shall be responsible for all required improvements in conformance with this section of City code.

#### **SECTION 3-3-18 CONSTRUCTION PLANS**

The subdivider has submitted plans to the city and state agencies for review to receive all required permits in accordance with this section of City code. The plans have been approved by City staff.

#### **SECTION 3-3-19 CONSTRUCTION AND INSPECTION**

The Subdivider has submitted plans to the city and state agencies for review to receive all permits in accordance with this section of City code.

### **SECTION 3-3-20 REQUIRED IMPROVEMENTS**

The Subdivider has submitted civil improvement plans which are in conformance with this section of City code.

Civil improvements include curb, gutter, and sidewalk as well as paving and utilities within the Mittry Avenue, Platinum Drive, and Quartz Drive right-of-ways.

### **SECTION 3-3-21 AGREEMENT TO INSTALL IMPROVEMENTS**

The Subdivider will be required to enter into a Performance Agreement to conform to this section of City code.

### **SECTION 3-3-22 PERFORMANCE AND MAINTENANCE GUARANTEES**

The Subdivider will be required to provide a Performance and Maintenance Guarantee as stipulated in the Performance Agreement in conformance with this section of City code.

### **SECTIONS 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), AND 3-2-17**

The proposed subdivision was evaluated for conformance to the referenced sections of code during the Tentative Map process. A Modification of Standards for lot dimensions was approved during that process.

Based on the Modification of Standards for lot dimensions granted under the Tentative Map application, the proposed development conforms with these sections of City code.

### **SECTION 3-8 FLOODPLAIN MANAGEMENT:**

This parcel is not designated in a Special Flood Hazard Area (SFHA).

### **FINDINGS**

1. The Final Map for Copper Trails Phase 2, Unit 1 has been presented before expiration of the subdivision proceedings in accordance with NRS 278.360(1)(a)(2) and City code.
2. The Final Map is in conformance with the Tentative Map.
3. The proposed subdivision is in conformance with the Land Use Component of the Master Plan.
4. The proposed subdivision is in conformance with the Transportation Component of the Master Plan.
5. Based on the Modification of Standards for lot dimensions granted under the Tentative Map application, the proposed development conforms with Sections 3-3-9 through 3-3-16 (inclusive)

6. The Subdivider shall be responsible for all required improvements in conformance with Section 3-3-17 of City code.
7. The Subdivider has submitted construction plans in conformance with Section 3-3-18 of City code.
8. The Subdivider has submitted plans to the city and state agencies for review to receive all required permits in accordance with the requirements of Section 3-3-19 of City code.
9. The Subdivider has submitted construction plans which, having been found to be in conformance with Section 3-3-20 of City code, have been approved by City staff.
10. The Subdivider will be required to enter into a Performance Agreement to conform to Section 3-3-21 of City code.
11. The Subdivider will be required to provide a Performance Guarantee as stipulated in the Performance Agreement in conformance with Section 3-3-22 of City code.
12. Based on the Modification of Standards for lot dimensions granted under the Tentative Map application, the proposed development conforms to Sections 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), and 3-2-17 of City code.
13. The proposed development is in conformance with Section 3-8 of City code.

**STAFF RECOMMENDATION:**

Staff recommends this item be **conditionally approved** with the following conditions:

1. The Developer shall execute a Performance Agreement in accordance with Section 3-3-21 of City code. The Performance Agreement shall be secured in accordance with Section 3-3-22 of City code. In conformance with Section 3-3-21 of City code, the public improvements shall be completed within a time of no later than two (2) years of the date of Final Map approval by the City Council unless extended as stipulated in City code.
2. The Performance Agreement shall be approved by the City Council.
3. The Developer shall enter into the Performance Agreement within 30 days of approval of the Final Map by the City Council.
4. The Final Map for Copper Trails Phase 2, Unit 1 is approved for nine (9) single family residential lots.
5. The Utility Department will issue a Will Serve Letter for the subdivision.
6. Construction, with the exception of grading, shall not commence prior to Final Map approval by the City Council, issuance of a will-serve letter by the City of Elko, and approval of construction plans by the Nevada Department of Environmental Protection.

7. Conformance with the conditions of approval of the Tentative Map is required.
8. The Owner/Developer is to provide the appropriate contact information for the qualified engineer and engineering firm contracted to oversee the project along with the required inspection and testing necessary to produce an As-Built for submittal to the City of Elko. The Engineer of Record is to ensure all materials meet the latest edition of the Standard Specifications for Public Works. All right-of-way and utility improvements are to be certified by the Engineer of Record for the project.



## CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue \* Elko \* Nevada \* 89801

(775) 777-7160 \* (775) 777-7219 fax

### APPLICATION FOR FINAL PLAT APPROVAL

APPLICANT(s):	Copper Trails, LLC		
MAILING ADDRESS:	207 Brookwood Drive, Elko Nevada 89801		
PHONE NO (Home):		(Business):	775-303-8492
NAME OF PROPERTY OWNER (If different):			
(Property owner consent in writing must be provided)			
MAILING ADDRESS:			
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):			
ASSESSOR'S PARCEL NO.:	001-610-114	Address:	Not Addressed
Lot(s), Block(s), & Subdivision			
Or Parcel(s) & File No.	Parcel G File No. 748288 in the office of Elko County Records Office		
PROJECT DESCRIPTION OR PURPOSE:	Copper Trails Subdivision Phase 2 Unit 1		
APPLICANT'S REPRESENTATIVE OR ENGINEER:	Luke Fitzgerald Owner & Lana L Carter, Engineer		

#### **FILING REQUIREMENTS:**

**Complete Application Form:** In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1<sup>st</sup> Tuesday of every month), and must include the following:

1. One .pdf of the entire application, and ten (10) 24" x 36" copies of the final plat folded to a size not to exceed 9"x12" provided by a properly licensed surveyor, as well as one (1) set of reproducible plans 8 1/2" x 11" in size and any required supporting data, prepared in accordance with Section 3-3-8 of Elko City Code (see attached checklist).
2. Pre-Submission Requirements:
  - a. The final plat shall meet all requirements of the zoning district in which located, and any necessary zoning amendment shall have been adopted by the Elko City Council prior to filing of the final plat.
  - b. The final plat shall conform closely to the approved preliminary plat and be prepared in accordance with the provisions of the City Subdivision Ordinance.
  - c. The final plat submittal shall include a letter signifying approval of utility easements by all public utilities involved, and shall be so indicated by an affidavit on the map.
  - d. A complete set of construction plans for all public improvements associated with the final plat shall have been approved or substantially approved by the City Engineer.

**Fee:** \$750.00 + \$25.00 per lot including remainder parcels; non-refundable.

**Other Information:** The applicant is encouraged to submit other information and documentation to support the request.

**RECEIVED**

MAY 21 2019

## Final Plat Checklist as per Elko City Code 3-3-8

		5/21/19
<b>Identification Data</b>		
✓	Subdivision Name	✓
✓	Location and Section, Township and Range	✓
✓	Name, address and phone number of subdivider	Email
✓	Name, address and phone number of engineer/surveyor	Email
✓	Scale, North Point and Date of Preparation	✓
✓	Location maps	✓
<b>Survey Data (Required)</b>		
✓	Boundaries of the Tract fully balanced and closed	✓
✓	Any exception within the plat boundaries	✓
✓	The subdivision is to be tied to a section corner	✓
✓	Location and description of all physical encroachments	✓ None
<b>Descriptive Data</b>		
✓	Street Layout, location, widths, easements	✓
✓	All drainageways, designated as such	✓
✓	All utility and public service easements	✓
✓	Location and dimensions of all lots, parcels	✓
✓	Residential Lots shall be numbered consecutively	✓
✓	All sites to be dedicated to the public and proposed use	✓ None
✓	Location of all adjoining subdivisions with name date, book and page	✓
✓	Any private deed restrictions to be imposed upon the plat	✓ None
<b>Dedication and Acknowledgment</b>		
✓	Statement of dedication for items to be dedicated	✓
✓	Execution of dedication acknowledged by a notary public	✓
<b>Additional Information</b>		
✓	Street CL, and Monuments identified	✓
✓	Street CL and width shown on map	✓
✓	Location of mounuments used to determine boudaries	✓
✓	Each city boundary line crossing or adjoining the subdivision	✓ None
✓	Section lines crossing the subdivision boundaries	✓
<b>City Engineer to Check</b>		
✓	Closure report for each of the lots	✓
✓	Civil Improvement plans	✓
✓	Estimate of quantities required to complete the improvements	✓
<b>Required Certifications</b>		
✓	All parties having record title in the land to be subdivided	✓
✓	Offering for dedication	✓
✓	Clerk of each approving governing body	✓
✓	Easements	✓
✓	Surveyor's Certificate	✓
✓	City Engineer	✓
✓	State Health division	✓
✓	State Engineer NOT Required	
✓	Division of Water Resources	✓
✓	City Council	✓

**By My Signature below:**

☒ I consent to having the City of Elko Staff enter on my property for the sole purpose of inspection of said property as part of this application process.

☐ I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not affect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)

☒ I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.

☒ I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.

☒ I acknowledge that, if approved, I must provide an AutoCAD file containing the final subdivision layout on NAD 83 NV East Zone Coordinate System to the City Engineering Department when requesting final map signatures for recording.

☒ I have carefully read and completed all questions contained within this application to the best of my ability.

Applicant / Agent **Luke Fitzgerald**  
(Please print or type)

Mailing Address **207 Brookwood Drive**  
Street Address or P.O. Box

**Elko, Nevada 89801**  
City, State, Zip Code

Phone Number: **775-777-2949**

Email address: **elkoluke@gmail.com**

SIGNATURE: \_\_\_\_\_

**FOR OFFICE USE ONLY**

File No.: 8-19 Date Filed: 5/2/19 Fee Paid: \$1000 OK #1535

10 lots x \$25 = \$250  
+ 750  
\$1000

# Copper Trails

Final Map - Phase 2, Unit 1

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City Council

July 23, 2019



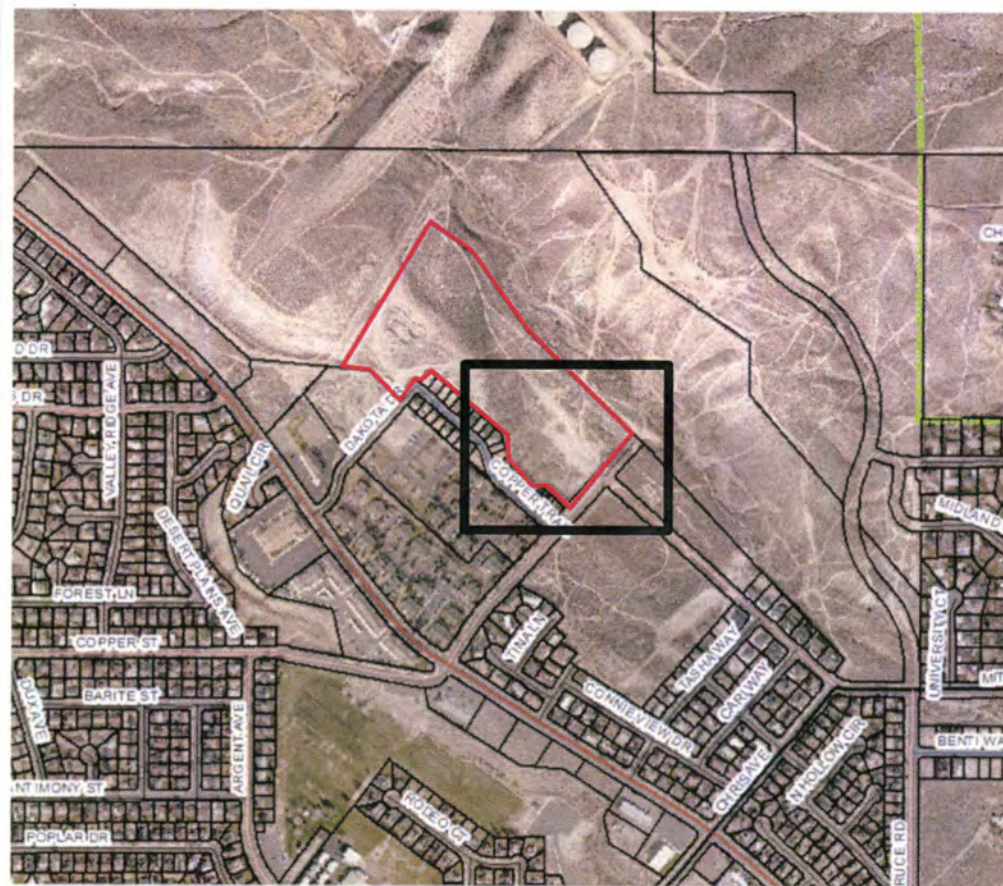
## Project Location

Northwest of the intersection of Mittry  
Avenue and Copper Street



## Project Location

Northwest of the intersection of Mittry  
Avenue and Copper Street



## Project Location

Northwest of the intersection of Mittry  
Avenue and Copper Street

2.235 Acres

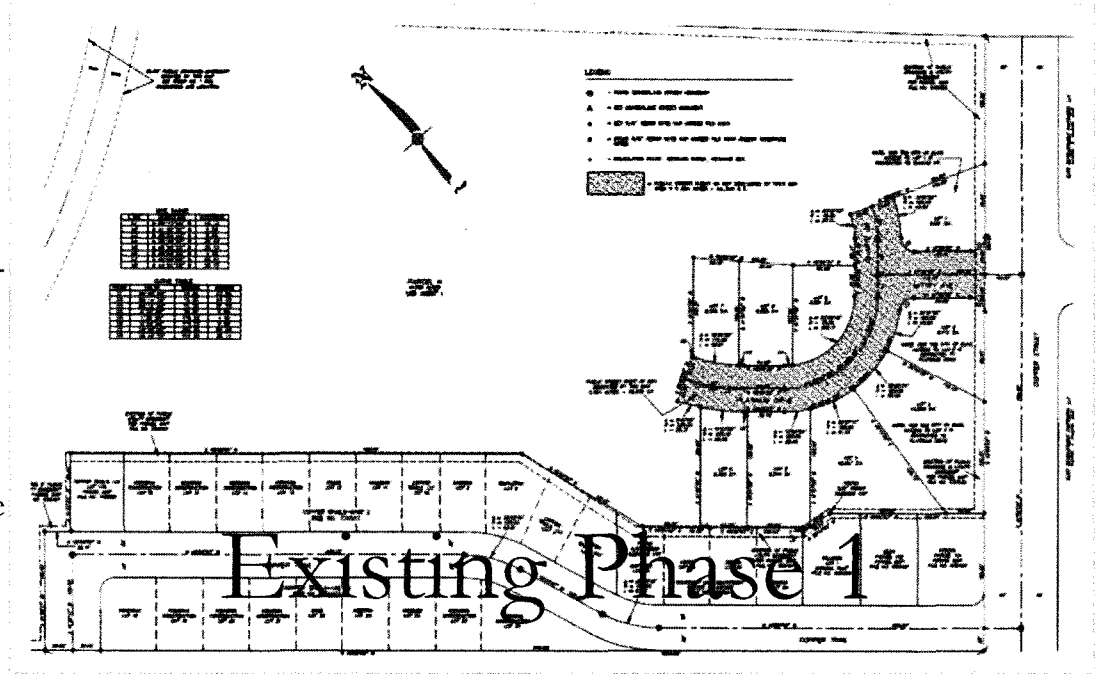


## Final Map

9 Lots

Dedicated drainage easement

Complies with all requirements of City Code

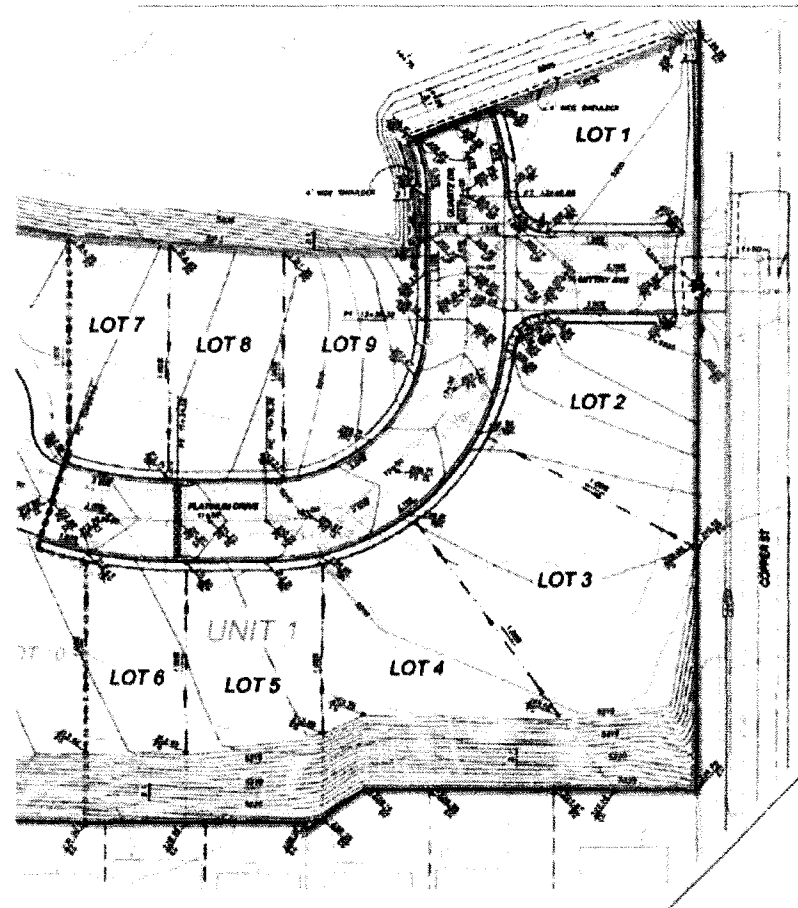


## Construction Plans

Approved by staff

Improvements include: grading, street improvements, utility infrastructure, storm drain system, etc.

Complies with all requirements of City Code



# Compliance/Findings

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- Complies with:
  - Previously approved Tentative Map
  - Master Plan
    - Land Use and Transportation
  - Subdivision Ordinance
  - Applicable Sections of the Zoning Ordinance
    - Approved Modification of Standards

# Conditions of Approval

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- Performance Agreement to be part of City Council approval
  - Must be completed within 30 days
- Will-serve letter to be issued
- No construction prior to NDEP approval
- Designate an Engineer of Record

## Staff Recommendation

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- Conditionally approve Final Map No. 8-19 for the Copper Trails Phase 2, Unit 1 subdivision subject to the conditions as recommended by the Planning Commission.

# Questions?

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**Michele Rambo, AICP**

Development Manager

775-777-7217

[mrambo@elkocitynv.gov](mailto:mrambo@elkocitynv.gov)

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible conditional acceptance of Public Improvements for the Autumn Colors Phase 5 Subdivision, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **SUBDIVISION**
4. Time Required: **10 Minutes**
5. Background Information: **Council approved Final Map 2-18 on June 12, 2018. An Agreement to Install Public Improvements and a Performance Guarantee was entered into June 12, 2018.**

**The Developer has substantially completed the Public Improvements in accordance with the approved plans with the exception of a few outstanding items. The developer is asking for a conditional acceptance with the understanding that the remaining items will be completed by September of this year. The City is in receipt of the required Certification of the project by the Engineer of Record. Upon acceptance of the Public Improvements by the Council, the Developer is required to provide maintenance security in the amount of \$64,735.00 for a 12 month maintenance period. The maintenance security is on deposit with the City. MR**

6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Request letter from Jon Bailey, dated July 10, 2019; Project Certification by Thomas Hannum, P.E., – Summit Engineering**
9. Recommended Motion: **Conditional Acceptance of Public Improvements for the Autumn Colors Phase 5 Subdivision with the noted exceptions. The maintenance period is to run one year from the date of completion of the outstanding items.**
10. Prepared By: **Michele Rambo, AICP, Development Manager**
11. Committee/Other Agency Review: **None**
12. Council Action:
13. Council Agenda Distribution: **Bailey and Associates, LLC  
Attn: Jon Bailey  
780 W. Silver Street  
Elko, NV 89801  
[jbaileype@gmail.com](mailto:jbaileype@gmail.com)**



July 10, 2019

City of Elko  
1751 College Avenue  
Elko, NV 89801

RE: Phase 5 Autumn Colors Subdivision Map

Attn: Michelle Rambo, AICP Development Manager

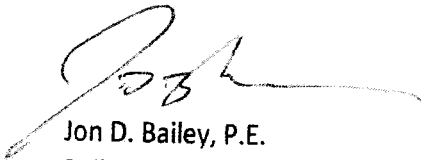
Dear Michelle,

Thank you for your and the City staff's time and efforts in meeting with me to complete the walk-thru for Autumn Colors Phase 5 subdivision. Bailey Homes is requesting the conditional acceptance of the improvements completed based on the certification of these improvements provided by Summit Engineering with the following exceptions:

- 1) NDOT light at Mountain City and Cattle Drive which is on order but has not arrived. NDOT slopes and disturbed areas will be stabilized as per plan (to be completed in the fall as directed by Slater Seeding with active BMP maintenance by Bailey Homes until then). A headwall will be constructed at the extended culvert crossing SR-225, and NDOT backfill will be completed along completed improvements.
- 2) Pavement patch/repair along Snowy River and Cattle Drive at the lip of the curb. Staker Parsons has provided a commitment letter for these repairs to be completed at the time SNC is contracted with the City to complete other slurry seal improvements in August.
- 3) End of road access gates will be installed and certified upon completion of fabrication.

I understand the City requires the improvement bond be kept in place until these exceptions are completed and certified by the Engineer of Record.

Best regards,

  
Jon D. Bailey, P.E.  
Bailey Homes

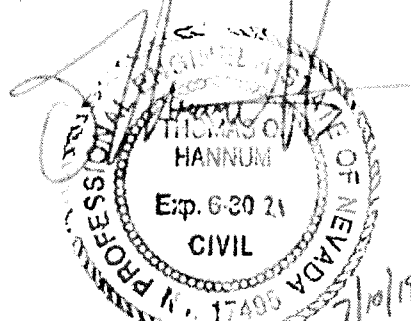
**ENGINEER OF RECORD  
FOR  
AUTUMN COLORS – PHASE 5  
ELKO, NV**

**PREPARED FOR:  
Bailey & Associates LLC  
780 West Silver Street, #104  
Elko, NV 89801**

**PREPARED BY:**



**1150 Lamoille Hwy  
Elko, Nevada 89801  
(775) 738-8058**



**Thomas O. Hannum P.E.  
Elko Geotechnical Dept Manager**



July 10, 2019

Job # 81818

Bailey and Associates  
Silver Street  
Elko, NV. 89801

RE: Quality Assurance and Quality Control Testing for Autumn Colors Phase 5.

Dear Jon:

Bailey and Associates has completed construction of Autumn Colors Phase 5 located in Elko, Nevada. Bailey and Associates acted as general contractor, with Humboldt Vega Ready Mix, and Staker Parsons as subs contractors. Bailey and Associates provided the mass grading, subgrade & road base preparation, all concrete placement, as well as the construction of all utilities. Humboldt Vega Ready Mix supplied the Portland cement concrete placed in the sidewalk, curb and gutter, as well as the aggregate base material for both, while Staker-Parsons supplied the AC Pavement.

Summit Engineering Corporation was retained to perform quality assurance testing at the request of Bailey and Associates during the construction of the project. Summit Engineering's services were provided from Nov 2017 through July, 2019. Technical specifications and construction drawings for the project were prepared by Bailey and Associates. The project was constructed in general accordance with the ADA, design drawings and specifications for the project with the exception of the items noted in this report.

Summit Engineering Corp. certifies that Autumn Colors Phase 5 subdivision is in substantial compliance with the approved plans, 2016 Standard Specification for Public Works Construction "Orange Book", ADA 2010 standards, and city code. With the exception of few items listed within Asphalt (section 4.0) and Signage( section 5.0) of the final report.

#### **QUALITY ASSURANCE PROGRAM**

Summit Engineering appreciated the opportunity to provide you our services on this project. Summit Engineering completed the following field and laboratory testing as required in the *Standard Specification for Public Works Construction* "Orange Book" 2016 Edition:

##### **Field Testing:**

- Density of Soil and Soil Aggregate In Place by Nuclear Methods (ASTM D2922).
- Moisture Content of Soil and Soil-Aggregate In Place by Nuclear Methods (ASTM D3017).
- Slump of PCC (ASTM C143)
- Air content of PCC (ASTM C173)
- Temperature of PCC (ASTM C1064)
- Making and curing concrete test specimens in the field (ASTM C31)

**Laboratory Testing:**

Moisture-Density Relationships of Soil and Aggregate Mixtures (ASTM D1557).  
Sieve Analysis of Fine and Coarse Aggregates (ASTM C1360).  
Liquid Limit, Plastic Limit and Plasticity Index of soils (ASTM D4318).  
Compressive strength of cylindrical concrete specimens (ASTM C39)  
Extraction of bitumen from bituminous paving mixtures (ASTM D2172)  
Sieve analysis on aggregate in bituminous paving mixtures (ASTM C136)  
Theoretical maximum specific gravity of bituminous paving mixtures (ASTM D2041)  
Moisture of bitumen in bituminous paving mixtures (ASTM D1461)  
Resistance to plastic flow of bituminous mixtures (ASTM D1559)  
Bulk specific gravity of compacted bituminous mixtures (ASTM D2726)  
Percent air voids in compacted bituminous paving mixtures (ASTM D3203)

The purpose of the quality assurance program was to document and to assist the City of Elko to assure the materials placed and the workmanship used during construction of the project complied with the technical specifications.

The quality assurance program consisted of the following three-part program:

- On-site observation and testing of soils, aggregates, concrete and asphalt.
- Laboratory testing of soils, aggregates, concrete and asphalt.
- Engineering consultation during construction.

On-site observations and inspections were performed by a representative from Summit Engineering on an on call basis. The Summit representative observed construction techniques and practices used by the contractors and provided field testing of soils, aggregates, concrete and laboratory testing on asphalt. Summit Engineering's field representative maintained inspection field reports that described construction operations performed, field testing performed, relevant conversations with the contractors, and other documentation deemed important to the project.

## **1.0 EARTHWORK & AGGREGATES**

### **1.1 GENERAL**

Soil and aggregate materials were sampled and tested on an on-call basis during construction to verify that materials placed complied with the Orange book 2016 specifications.

### **1.2 FIELD AND LABORATORY TESTING**

When notified, a representative of Summit Engineering was on site to perform nuclear density testing of backfill, subgrade, Base and aggregate base materials and Bedding Materials.

Laboratory and field testing were performed per the *Standard Specification for Public Works Construction* "Orange Book" 2016 Edition: and in accordance with ASTM standards:

The construction, materials used on site meet the requirements set forth in the project specifications and soils investigation. A summary of the inspection reports for field testing and inspection as well as summary of the nuclear density test for soils and aggregates are included in the Appendix.

## **2.0 UTILITIES (SEWER, WATER, HYDRANTS, STORM DRAIN)**

### **2.1 GENERAL**

The utilities were constructed in accordance with Standard Specification for Public Works Construction, American Water Works Assoc, Nevada Department of Environmental Protection. These include pipe installation, bedding, backfill, and testing of the facilities once constructed to verify they are acceptable to be placed into service.

### **2.2 INSPECTION, FIELD AND LABORATORY TESTING**

When notified, a representative of Summit Engineering was on site to perform nuclear density testing on bedding & backfill, verification of materials, trenching, components, taps, valves, thrust blocks, and marking components.

Laboratory and field testing were performed per the *Standard Specification for Public Works Construction* "Orange Book" 2016 Edition: and AWWA standards and in accordance with any ASTM standards: Pressure testing was done in three locations for sections based on pipe construction and tests were completed at 125% operating pressure for the area. Bacteria testing was done on the system after the pressure tests were completed and system was flushed out and allowed to sit for several days. Two tests separated by 24 hours, but no more than 48 hours was completed.

The construction, materials and components for the water, hydrants, sewer and storm drain system used on site meet the requirements set forth in the project specifications. A summary of the inspection reports for field testing and inspection as well as summary of the nuclear density test for soils and aggregates are included in the Appendix.

## **3.0 CONCRETE (CURB & GUTTER, SIDEWALK)**

### **3.1 GENERAL**

Portland cement concrete was sampled and tested during placement of the curb & gutter, and sidewalk on an on-call basis to verify that the concrete placed complied with the project specifications. The concrete was provided by Humboldt Vega for the entire project and provided a mix design to meet *Standard Specification for Public Works Construction* "Orange Book" 2016 Edition.

### **3.2 FIELD TESTING**

When notified, a representative of Summit Engineering was on site during concrete placement. Summit's representative sampled and tested the concrete for temperature, slump, air content, and molded compressive strength specimens.

### **3.3 LABORATORY & FIELD TESTING**

Laboratory and field testing were performed per the *Standard Specification for Public Works Construction* "Orange Book" 2016 Edition: and in accordance with ASTM standards:

The construction, materials and components for the concrete used on site meet the requirements set forth in the project specifications. A summary of the inspection reports for field testing and inspection as well as summary of the field and lab testing included in the Appendix.

### **4.0 ASPHALTIC PAVING**

#### **4.1 GENERAL**

Asphaltic concrete was tested by Summit Engineering's field representative during placement to verify that the asphaltic concrete complied with project specifications. One sample of asphalt was collected of asphalt delivered to the site.

#### **4.2 FIELD AND LABORATORY TESTING**

A representative of Summit Engineering was on site during placement of the asphaltic concrete. Summit Engineering's representative sampled asphalt for laboratory testing to determine: Marshall max density, stability and flow, Rice Theoretical max density and air voids, asphalt content, Gradation of aggregate materials, and field testing for temperature of asphalt during placement, density during compaction, and thickness of asphalt.

Summit's Representative took two samples to provide the above mentioned lab testing and NewFields provided density testing with nuke gauge to determine a rolling pattern for compaction of asphalt at the sub-contractors contractors request.

Laboratory and field testing was performed per the *Standard Specification for Public Works Construction* "Orange Book" Latest Edition and in accordance with ASTM standards:

The asphalt material was done over a two-year period and all three samples for the mix are within the project specifications for compaction and material testing. The asphalt done in 2019 on Cattle Drive has some rock particles on the surface that need some sand slurry patching. The reveal in the curb sections along Snowy River and portions of Autumn Colors Dr. are low and slurry will be required along the road edges to raise elevation. A summary of the field and laboratory test results on asphalt is included in the Appendix.

### **5.0 SIGNAGE, LIGHTING, GATING AND MONUMENTATION**

#### **5.1 GENERAL**

Signage, lighting, and monumentation was inspected by Summit Engineering's field representative after placement to verify that the required. This included Steet lighting, road signage, Lot corners, Street Monumentation and NDOT sign relocation.

## 5.2 FIELD INSPECTION

A representative of Summit Engineering walked the site and inspected the placement of the Signs, and Lighting on the city portion of the project. The surveyor has placed lot corners on lots as they are staking and building the lots to avoid losing corners as they finish the homes.

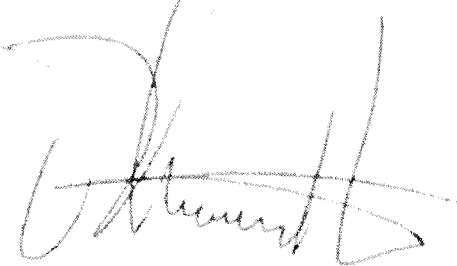
Street signage was in place for the stop signs at the three intersections on Cattle Dr. and lighting was in place on the intersection of Autumn Colors, and Snowy River and were all done per the *Standard Specification for Public Works Construction* "Orange Book" Latest Edition and in accordance with ASTM standards:

At this time the GATES AT Autumn Colors and Snowy River are not yet complete as well as the Street light and sign relocation on the NDOT intersection of My City Hwy. These are waiting for special order bolts to be placed in the foundation concrete.

Summit Engineering appreciated the opportunity to provide services on this project. If you have any questions, or if we can be of further assistance, please do not hesitate to call our office at (775) 738-8058.

Sincerely,

**SUMMIT ENGINEERING CORPORATION**

A handwritten signature in dark ink, appearing to read 'T. Hannum', is written over a horizontal line.

Thomas O Hannum, P.E.  
Elko Geotechnical Manager

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible approval of a Performance/Maintenance Agreement for subdivision improvements associated with the Copper Trails Phase 2, Unit 1 subdivision, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **NEW BUSINESS**
4. Time Required: **10 Minutes**
5. Background Information: **Elko City Code 3-3-21 requires the subdivider to have executed and filed an agreement between the subdivider and the City for the required subdivision improvements, included stipulations on the timeframe for when those improvements are to be completed, and to post a performance guarantee in accordance with Elko City Code 3-3-22. As part of the conditions of approval for Final Map 8-19, the Planning Commission recommended that the agreement be approved by the City Council. The Planning Commission also recommended that the Developer shall enter into the agreement within 30 days of the City Council's approval of the Final Map. MR**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Performance/Maintenance Agreement**
9. Recommended Motion: **Approve the Performance/Maintenance Agreement for subdivision improvements associated with the Copper Trails Phase 2, Unit 1 subdivision. The subdivider shall enter into the agreement within 30 days.**
10. Prepared By: **Michele Rambo, AICP, Development Manager**
11. Committee/Other Agency Review: **Dave Stanton, City Attorney**
12. Council Action:
13. Council Agenda Distribution: **Copper Trails LLC  
207 Brookwood Drive  
Elko, NV 89801  
[elkoluke@gmail.com](mailto:elkoluke@gmail.com)  
  
**Carter Engineering  
[lanalcarter@live.com](mailto:lanalcarter@live.com)****

**AGREEMENT TO INSTALL IMPROVEMENTS**  
**AND PROVIDE MAINTENANCE GUARANTY**

THIS AGREEMENT made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2019, by and between the CITY OF ELKO, a municipal corporation organized and existing under the laws of the State of Nevada, hereinafter referred to as the "City," and Copper Trails, LLC, a Nevada Limited Liability Corporation, hereinafter referred to as "Developer."

**RECITALS**

- A. WHEREAS, Developer is subdividing certain property within the City, the subdivision being generally known as **Copper Trails Phase 2, Unit 1**, into nine (9) separate parcels by means of a subdivision map, identified by the City as Final Map No. 8 -19;
- B. WHEREAS, Elko City Code, Title 3, Chapter 3, requires that a developer of a subdivision (as that term is used in NRS 278.320(1)) enter into an Agreement to Install Improvements;
- C. WHEREAS, the City has approved the Engineer's Cost Estimate for the required subdivision improvements (set forth in **Exhibit A** and made a part hereof) and has determined that the cost of the required subdivision improvements is expected to be in the amount of **Eight Hundred Eighty-Seven Thousand, Six Hundred Forty-Eight Dollars and Twenty-Five Cents (\$887,648.25)**, which amount provides the basis for calculating the amount of the Maintenance Guaranty;
- D. WHEREAS, the Developer intends to complete the required subdivision improvements with its own resources pursuant to Elko City Code Section 3-3-21(A)(3)(a) and 3-3-22(A)(1), and in conformity with the construction plans approved by the City (attached at **Exhibit B** and made a part hereof) prior to certification of the final map;
- E. WHEREAS, Elko City Code 3-3-21(A)(4) requires that all subdivision improvements identified in the agreement to install improvements shall be completed within a specified period, not to exceed two (2) years, to the satisfaction of the City;
- F. WHEREAS, the City approved the Final Map on \_\_\_\_\_;
- G. WHEREAS, pursuant to Elko City Code Section 3-3-22(B)(3), the Developer shall file with the Clerk of the City a maintenance guaranty to ensure the maintenance, adequacy and condition of all improvements required by this Agreement for a period of one (1) year after the subdivision improvements are accepted by the City. The maintenance guaranty may be in any form permitted in Section 3-3-22(B)(1) for a performance guaranty and shall be in the amount of **Eighty-Eight Thousand, Seven Hundred Sixty-Four Dollars and Eighty-Three Cents (\$88,764.83)** (hereinafter referred to as the "Maintenance Guaranty");
- H. WHEREAS, in the event the Developer fails to complete all the required subdivision improvements in accordance with the terms of this Agreement, the Developer shall be in default of this Agreement and the City shall be entitled to pursue all available legal remedies.
- I. NOW, THEREFORE, for and in consideration of the mutual covenants and conditions on the part of the respective parties to be performed, the parties hereby agree as follows:

1) **REQUIRED IMPROVEMENTS, CERTIFICATION, MAINTENANCE GUARANTY, AND ACCEPTANCE AND CERTIFICATION OF THE FINAL MAP**

A. **COMPLETION OF WORK AND MAINTENANCE GUARANTY.** Developer agrees to complete the improvements shown on the construction plans attached as **Exhibit B** hereto in the manner set forth in this Agreement and in conformity with Elko City Code 3-3-21(A)(4) (hereinafter the "**Work**") within twenty-four (24) months of the Effective Date, unless otherwise extended in accordance herewith, and **Developer** shall pay or cause to be paid all claims for labor and materials used to perform the **Work**.

B. **ENGINEER'S ESTIMATE, CERTIFICATION AND SUBMISSION OF WORK.**

1) **Developer** agrees to, at its own expense, contract with a licensed engineer in the State of Nevada to oversee the construction of the subdivision improvements, oversee all required testing and verification of materials to ensure construction of the subdivision improvements in accordance with all federal, state and local requirements and provide an engineer's estimate, which must be approved by the City. The total engineer's estimate must be an amount no less than the full cost of the following improvements: (a) improvements required under Section 3-3-20 of the Elko City Code; (b) improvements shown on the construction plans prepared and approved in accordance with Section 3-3-18 of the Elko City Code; (c) the cost of required inspection and testing by a properly licensed engineer to oversee the quality assurance and quality control necessary to ensure certification for the construction of the approved construction plans; (d) the cost to replace any existing streets, utilities or other improvements that are included in the required improvements as shown on the construction plans; (e) the cost to prepare the as-built drawings and any associated documents; and (f) incidental expenses associated with the foregoing **Work**.

2) The **Work** shall be certified by the **Developer's** Engineer (who shall be a registered engineer, licensed in the State of Nevada) and submitted to the **City** for possible acceptance of the **Work** before the **City** conducts the subdivision final inspection and no later than twenty-four (24) months after the Effective Date. Upon certification of the **Work**, the **Developer's** Engineer shall provide the **City** with a certificate attesting to the adequacy of the **Work** and compliance with all requirements set forth in this Agreement, to include, without limitation, the construction specifications, codes and standards set forth in the Orange Book.

3) The certification by the **Developer's** engineer shall include: (a) the results of all required testing, presented in an organized manner by material type and category of work; (b) references to the sections of the Orange Book that correspond to the required testing for the material type and category of work; (c) the frequency of the required testing; (d) photo documentation for any components of the **Work** which cannot be certified by testing (i.e. special construction of utility crossings); and (e) an "as-built" drawing of the **Work**.

4) The City Council shall not accept the **Work** without a complete and comprehensive certification of the **Work** by the **Developer's** engineer.

**C. MAINTENANCE PERIOD.** Notwithstanding the Term of this Agreement, the maintenance period shall commence on the date the City Council accepts the **Work** and shall continue thereafter for a period of twelve (12) months. In satisfaction of its requirement to provide a Maintenance Guaranty, **Developer** shall, prior to acceptance of the **Work**, in conformance with Elko City Code 3-3-22(B)(3), provide the **City** with a Maintenance Guaranty in a form that complies with Elko City Code Section 3-3-22(B) in the amount of **Eighty-Eight Thousand, Seven Hundred Sixty-Four Dollars and Eighty-Three Cents (\$88,764.83)**, which amount is not less than ten percent (10%) of the total cost of the required subdivision improvements. If maintenance is required during the maintenance period, the **City** will provide fifteen (15) calendar days' written notice of the required maintenance work to the **Developer** and the **Developer** must thereafter complete the required maintenance work. If the **Developer** fails to complete the maintenance work within the fifteen (15) calendar day period, without limiting any other rights or remedies available, the **City** may complete or have the maintenance work completed and use the Maintenance Guaranty to satisfy the costs thereof. The certification of the Final Map is, without limitation, conditioned upon **Developer** providing the Maintenance Guaranty.

**D. CERTIFICATION OF FINAL MAP.** The **City** will not certify the Final Map until:

- 1) The Agreement has been approved by the City Council in conjunction with Final Map approval;
- 2) The Agreement has been fully executed and filed with the City Clerk's office;
- 3) The **Developer** has completed the **Work** as required under the Agreement;
- 4) The **Developer** has filed with the Elko City Clerk the Maintenance Guaranty, calculated in the manner set forth herein and otherwise meeting the requirements of this Agreement and the Elko City Code;
- 5) The City Council has accepted the subdivision improvements;
- 6) The **Developer** has acquired all other jurat certifications required by the Nevada Revised Statutes, the Elko City Code and this Agreement; and
- 7) All other Final Map requirements set forth in the Nevada Revised Statutes and the Elko City Code have been met.

**E. EFFECTIVE DATE.** The Effective Date of this Agreement shall be \_\_\_\_\_, which is the date the **City** approved the Final Map, and this Agreement shall operate retroactively to that date, except where otherwise specifically stated herein.

**F. TERM.** The Term of this Agreement shall be twenty-four (24) months from the Effective Date, unless the **Work** is completed and accepted by the **City** prior to the expiration of the foregoing twenty-four (24) month period, in which event the Term shall expire on the date the **Work** is accepted by the **City**. Notwithstanding the foregoing, the **City** may, upon a written request and showing by the **Developer** of good cause, grant an extension of time to complete the **Work** for an additional twelve (12) months thereafter (with a corresponding extension of the Term); **provided**, no such extension shall be given unless: (a) the **Developer**

has satisfactorily performed its duties under this Agreement to date; (b) the **Developer** has diligently and in good faith attempted to complete the **Work** within the aforementioned twenty-four (24) month period, but has been unable to do so due to events beyond the **Developer's** control; and (c) the Maintenance Guaranty has been provided to the Elko City Clerk.

**G. DESCRIPTION OF WORK AND CONDITIONS.** In addition to any other requirements contained herein, the **Work** shall not be accepted by the **City** unless the **Developer** fully satisfies the following requirements:

**(1) COMPLIANCE WITH CITY CODE.** **Developer** shall perform the **Work** in a manner that fully complies with the Elko City Code.

**(2) STANDARDS.** The **Work** shall be completed in accordance with the plans, specifications and conditions approved by the **City** and in accordance with requirements otherwise set forth in this Agreement, to include requirements incorporated by reference.

**(3) PRECONSTRUCTION CONFERENCE.** Prior to the initiation of the construction of any roadway, drainage, water or sewer improvements included in the **Work**, the **Developer** shall schedule and participate in a preconstruction conference with **Developer's** contractor(s) and the City Development Manager or the **City's** designee(s).

**(4) AS-BUILT PLANS.** **Developer** shall provide complete as-built drawings of all street, water, sewer and drainage improvements to the **City** prior to the subdivision final inspection.

**(5) SUBDIVISION CONDITIONS.** **Developer** shall satisfy all subdivision approval conditions established by or at the direction of the City Council and/or the City Planning Commission.

**(6) ENGINEER'S CERTIFICATE.** Before the subdivision final inspection, **Developer's** engineer (who shall be a registered engineer, licensed in the State of Nevada) shall provide the **City** with a certificate certifying the adequacy of the **Work** and compliance with all requirements set forth in this Agreement, to include, without limitation, **City** standard construction specifications, codes and standards.

**H. FINAL COMPLETION AND ACCEPTANCE OF WORK.** Approval of the final completion and acceptance of the **Work** shall be at the discretion of the **City**. The **Work** shall not be accepted unless and until it satisfies the requirements of this Agreement, to include the conditions set forth in Section 1 (**REQUIRED IMPROVEMENTS, CERTIFICATION, MAINTENANCE GUARANTY, ACCEPTANCE AND CERTIFICATION OF THE FINAL MAP**). **Developer** shall request that the **City** inspect the **Work** no later than thirty (30) days prior to the end of the Term. The **City** shall have the authority to suspend the **Work**, in whole or in part, for such period as it may deem necessary due to unsuitable weather or other unfavorable conditions or the failure of **Developer** to comply with the requirements

contained in this Agreement, to include compliance with the standard construction specifications of the **City**.

- I. **DEFAULT, NOTICE AND OPPORTUNITY TO CURE.** In the event **Developer** fails to complete the **Work** during the Term of this Agreement or any extension hereof, the **Developer** shall be considered in **Default**. Upon discovery of the **Default**, the **City** shall serve upon the **Developer** written notice of such **Default**. **Developer** shall then have fifteen (15) days from the date of mailing of said notice in which to cure the **Default**. In the event of a **Default**, should the **Developer** fail to cure the **Default** within fifteen (15) days from the date of notice, the **City** shall then have the right to complete the **Work**, to include, without limitation, payment of all third-party claims for labor and material, after which the **Developer** shall be liable to the **City** for all costs incurred in completing the **Work**, such amount to be due and payable within thirty (30) days of receipt of an itemized invoice from the **City** detailing the costs incurred by the **City**. In the event **Developer** fails to reimburse the **City** for the costs shown on the foregoing invoice, the **City** may thereafter exercise all rights and remedies available at law and equity.

## **2. GENERAL TERMS AND CONDITIONS.**

- A. **WARRANTY.** **Developer** warrants to the **City** that the **Work**, upon completion, will be free of defects and in conformity with all applicable standards, to include requirements of the Elko City Code and any plans approved by the **City** pertaining to the **Work**.
- B. **TERMINATION, BINDING EFFECT, DELEGATION AND OTHER MATTERS.** This Agreement may not be amended, modified or terminated except by an agreement in writing and approved by the **Developer** and the Elko City Council. This Agreement and all of the covenants, terms, conditions and/or provisions herein contained shall be binding upon and inure to the benefit of the parties hereto and their respective successors and assigns. Notwithstanding any other provision contained in this Agreement, neither this Agreement nor any of the rights, interests or obligations under this Agreement may be assigned or delegated by any party without the prior written consent of the other party. This Agreement is not intended to confer any rights or benefits to any entity other than to the **City** and to **Developer**; accordingly, there are no third-party beneficiaries to this Agreement.
- C. **CONSTRUCTION OF AGREEMENT.** This Agreement constitutes a contract under and shall be construed in accordance with the laws of the State of Nevada. Both parties have had the opportunity to review this Agreement with the assistance of legal counsel. Accordingly, the parties agree that the normal rule of construction that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement.
- D. **COUNTERPARTS.** This Agreement may be executed in one or more counterparts, each of which shall have the force and effect of an original, and all of which shall constitute but one document.
- E. **NOTICES.** All notices required to be given under this Agreement shall be deemed given upon the earlier of the actual receipt or two (2) days after being mailed by registered or certified mail, return receipt requested, addressed as follows: if to **City**, to c/o Michele Rambo, (or the then-current) Development Manager, 1751 College Avenue, Elko, Nevada 89801; if to **Developer**, to: Luke Fitzgerald, Copper Trails, LLC, 207 Brookwood Drive, Elko, NV, 89801.

- F. **CITY'S AUTHORITY.** This Agreement is not intended to supersede the authority granted by law to the **City**. Therefore, nothing in this Agreement shall be construed or implied to require the **City's** planning or other regulatory boards or departments (however designated) to approve any plans, permits, maps or other documents pertaining to any aspect of the **Work** or other action described in this Agreement.
- G. **TIME OF THE ESSENCE.** Time is of the essence and a material provision of this Agreement.
- H. **INDEMNIFICATION.** **Developer** hereby agrees to hold harmless, indemnify and defend the **City** (including, without limitation, the **City's** officers, agents and employees) against and to all claims, demands, actions, suits, liability, cost and expense, including defense expenses, (to include, without limitation, suits for damages and injuries to persons or property) that are claimed to have resulted from the acts or omissions of **Developer** (including without limitation its agents, employees and/or contractors) in any manner pertaining to the **Work**.
- I. **JURISDICTION AND VENUE.** The District Court for the Fourth Judicial District, in and for the County of Elko, State of Nevada, shall have jurisdiction and venue over all disputes arising from or in relation to this Agreement.
- J. **INTEGRATION.** This Agreement represents and contains the entire Agreement and understanding among the parties with respect to the subject matter of this Agreement and supersedes and replaces all prior oral and written agreements and understandings with respect to the subject matter of this Agreement, and no representation, warranty, condition, understanding or agreement of any kind with respect to the subject matter hereof shall be relied upon by the parties unless incorporated herein. This Agreement shall be construed as a complete novation of any prior agreements relating to the subject matter of this Agreement.
- K. **DOCUMENTS PROVIDED TO CITY ARE PUBLIC.** This Agreement, together with any documents associated with the **Work**, may be recorded in any public system of records, to include the records of the Elko County Recorder. Under no circumstances shall **Developer** assert a right to confidentiality or an intellectual property interest in documents or other information provided to the **City** in relation to the **Work**.
- L. **ATTORNEY FEES.** In the event the **City** is required to pursue any action to enforce any term or condition in this Agreement, it shall be entitled to reasonable attorney's fees and court costs.
- M. **SEVERABILITY.** In the event one or more of the provisions, or portions thereof, of this Agreement is determined to be illegal or unenforceable, the remainder of the Agreement shall not be affected thereby and each remaining provision or portion thereof shall continue to be valid and effective and shall be enforceable to the fullest extent permitted by law.
- N. **HEADINGS.** The headings of sections and subsections of this Agreement are inserted for convenience only and shall not be deemed to constitute part of this Agreement or to affect the construction hereof.
- O. **NO AGENCY, PARTNERSHIP OR JOINT VENTURE.** Nothing herein contained shall be construed to create an agency, partnership or joint venture between the parties.
- P. **REMEDIES NOT EXCLUSIVE.** No remedy provided by this Agreement, to include the right to make a claim against a bond or other guaranty, shall be exclusive. The **City** shall have the

right to pursue any remedies provided under this Agreement, or by law or equity, simultaneously or in sequence at its sole discretion.

**IN WITNESS WHEREOF**, the parties have executed this Agreement in duplicate the day and year first above written.

**CITY - THE CITY OF ELKO,**  
a municipal corporation

**DEVELOPER – COPPER TRAILS, LLC**

By: \_\_\_\_\_  
REECE KEENER, Mayor

By: \_\_\_\_\_

**ATTEST:**

\_\_\_\_\_  
**KELLY WOOLDRIDGE**, City Clerk

EXHIBIT A

EXHIBIT B

Estimate for Copper Trails Phase 2  
May 19, 2019  
9 Lots

**Carter Engineering, LLC**  
**Civil Engineering**  
P. O. Box 794  
Elko, Nevada 89803  
775-397-2531



ITEM NO.	ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	Unclassified Excavation	CY	37,380	\$ 6.00	\$ 224,280.00
2	Unclassified Embankment	CY	21,565	\$ 10.00	\$ 215,650.00
3	Saw Cut	LF	90	\$ 5.00	\$ 450.00
4	Type 1 Curb & Gutter	LF	840	\$ 26.00	\$ 21,840.00
5	Sidewalk	SF	3,360	\$ 10.00	\$ 33,600.00
6	ADA Curb Ramp Domes	EA	2	\$ 750.00	\$ 1,500.00
7	Barrier Curb behind Curb Ramp	LF	47	\$ 15.00	\$ 705.00
8	6' Wide Valley Gutter	SF	444	\$ 13.00	\$ 5,772.00
9	Valley Gutter Apron	SF	288	\$ 13.00	\$ 3,744.00
10	3-inch A.C.	SF	16,667	\$ 2.50	\$ 41,667.50
11	9-Inch Type 2, Class B Agg. Base	SF	16,667	\$ 1.00	\$ 16,667.00
12	Seal Coat	SY	375	\$ 0.50	\$ 187.50
13	9-Inch Gravel Turn Around	SF	6,797	\$ 1.00	\$ 6,797.00
14	1" Water Service	EA	9	\$ 500.00	\$ 4,500.00
15	1" Water Service Connection	EA	9	\$ 500.00	\$ 4,500.00
16	1" Water Service Meter	EA	9	\$ 1,000.00	\$ 9,000.00
17	10" Water Line	LF	465	\$ 65.00	\$ 30,225.00
18	10" Valve	EA	3	\$ 4,000.00	\$ 12,000.00
19	10" Tee	EA	1	\$ 2,000.00	\$ 2,000.00
20	10" 45° Bend	EA	3	\$ 800.00	\$ 2,400.00
21	10" 22.5° Bend	EA	2	\$ 800.00	\$ 1,600.00
22	Sample Tap	EA	1	\$ 650.00	\$ 650.00
23	Fire Hydrant Assembly	EA	1	\$ 5,000.00	\$ 5,000.00
24	12" SDR-35 Sanitary Sewer	LF	389	\$ 45.00	\$ 17,505.00
25	8" SDR-35 Sanitary Sewer	LF	74	\$ 45.00	\$ 3,330.00
26	Sanitary Sewer Manholes	EA	7	\$ 4,500.00	\$ 31,500.00
27	Sanitary Sewer Services	EA	9	\$ 1,000.00	\$ 9,000.00
28	36" ADS N-12 Storm Drain	LF	60	\$ 200.00	\$ 12,000.00
29	18" ADS N-12 Storm Drain	LF	315	\$ 125.00	\$ 39,375.00
30	12" ADS N-12 Storm Drain	LF	36	\$ 100.00	\$ 3,600.00
31	10" ADS N-12 Storm Drain	LF	39	\$ 80.00	\$ 3,120.00
32	Storm Drain Manholes	EA	6	\$ 5,500.00	\$ 33,000.00
33	Type R-4 Drop Inlet	EA	3	\$ 4,000.00	\$ 12,000.00
34	Striping	LS	1	\$ 4,000.00	\$ 4,000.00
35	Street and Stop Signs	EA	2	\$ 750.00	\$ 1,500.00
36	Street Monuments	EA	5	\$ 1,000.00	\$ 5,000.00

**Subtotal \$ 819,665.00**

**5% Contingency \$ 40,983.25**

**Testing \$ 9,000.00**

**Surveying \$ 9,000.00**

**Asbuilt & Certification \$ 9,000.00**

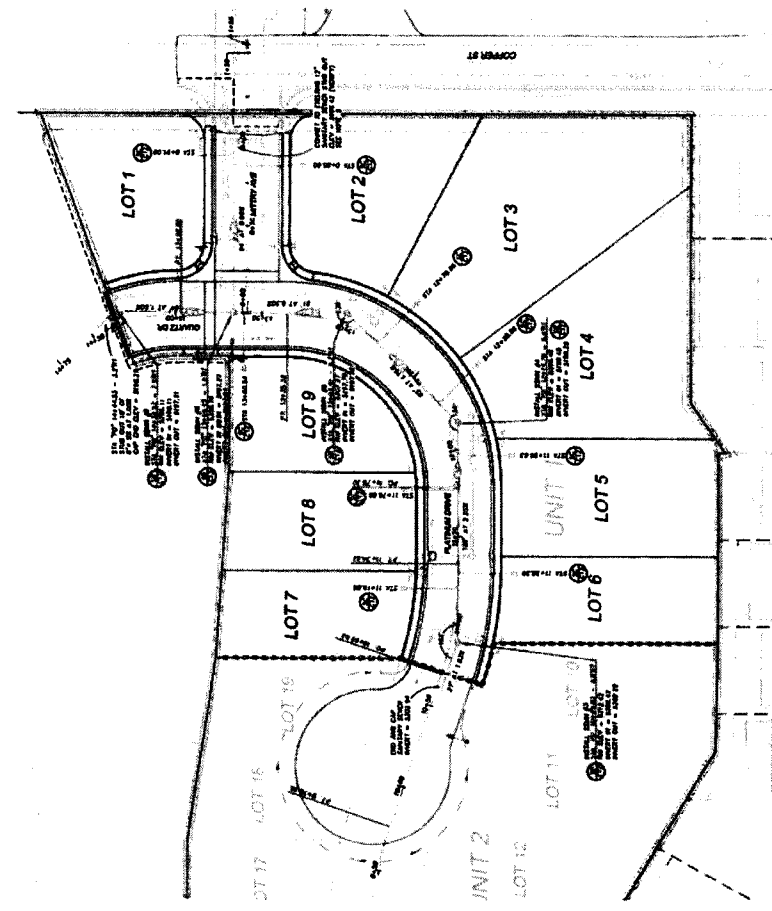
**Grand Total \$ 887,648.25**





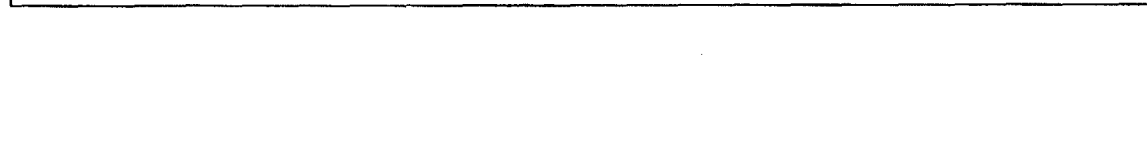




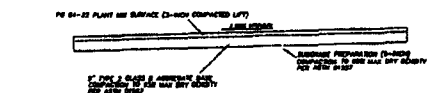




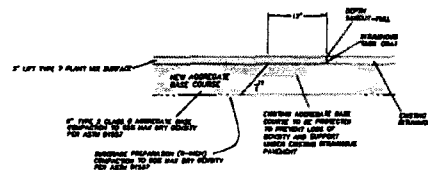




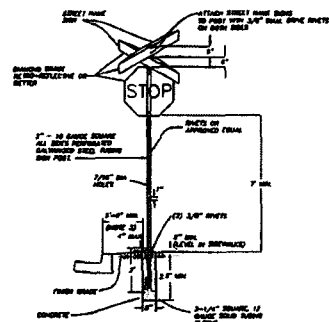




ASPHALT PAVEMENT SECTION  
MITTRY AVENUE, PLATINUM DRIVE &  
QUARTZ DRIVE



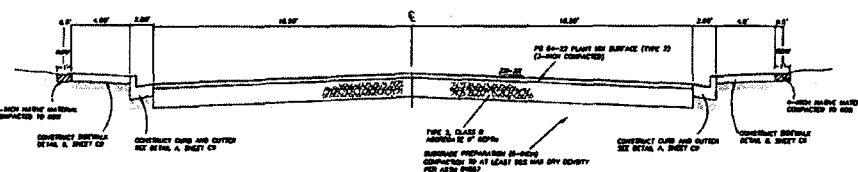
PAVEMENT SAW CUT AND JOINT  
JENNINGS WAY



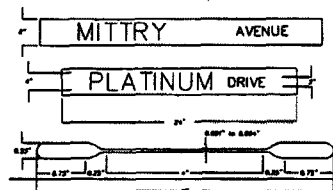
- NOTES:
1. STOP SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF THE M.I.T.S.
  2. STOP SIGN SHALL BE INSTALLED ON EXISTING ALLEYS FOR 600-10. WITH A MINIMUM SIGNAGE OF 18" X 24".
  3. STOP SIGN SHALL BE INSTALLED ON EXISTING ALLEYS FOR 600-10. WITH A MINIMUM SIGNAGE OF 18" X 24".
  4. STOP SIGN SHALL BE INSTALLED ON EXISTING ALLEYS FOR 600-10. WITH A MINIMUM SIGNAGE OF 18" X 24".

TYPE 2 STREET SIGN

STREET AND STOP SIGN

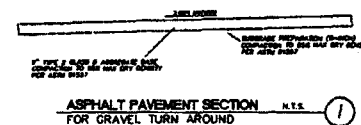


TYPICAL ROADWAY SECTION  
MITTRY AVE, PLATINUM DR. AND QUARTZ DRIVE



- NOTES:
1. STOP SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF THE M.I.T.S.
  2. STOP SIGN SHALL BE INSTALLED ON EXISTING ALLEYS FOR 600-10. WITH A MINIMUM SIGNAGE OF 18" X 24".
  3. STOP SIGN SHALL BE INSTALLED ON EXISTING ALLEYS FOR 600-10. WITH A MINIMUM SIGNAGE OF 18" X 24".

STREET NAME SIGN



ASPHALT PAVEMENT SECTION  
FOR GRAVEL TURN AROUND

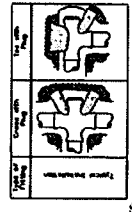
DESIGN BY	DATE	DESCRIPTION
LLC		
DESIGNED BY		
LLC		
CHECKED BY		
LLC		
DATE		
SCALE		
VERT.		
SHEET		
C10		
OF 14		

Carter Engineering, LLC  
Civil Engineering  
P.O. Box 724  
Elko, Nevada 89803  
775-387-3831

COPPER TRAILS, LLC  
COPPER TRAILS PHASE 2 - UNIT 1  
IMPROVEMENT DETAILS  
ELKO, NEVADA

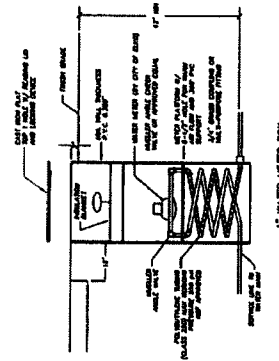
Thrust	1st Thrust	2nd Thrust	3rd Thrust	4th Thrust	5th Thrust
1	2	3	4	5	6

Thrust	1st Thrust	2nd Thrust	3rd Thrust	4th Thrust	5th Thrust
1	2	3	4	5	6



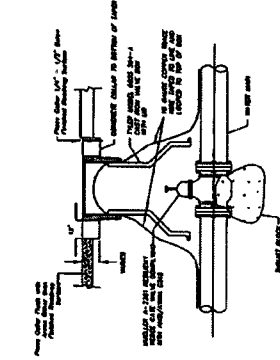
- NOTES:**
- Thrust blocks to be constructed of Class "C" concrete.
  - Reinforcement to be placed in the center of the block.
  - Reinforcement to be placed in the center of the block.
  - Reinforcement to be placed in the center of the block.

**STANDARD THRUST BLOCKS (1/4)**  
N.T.S.



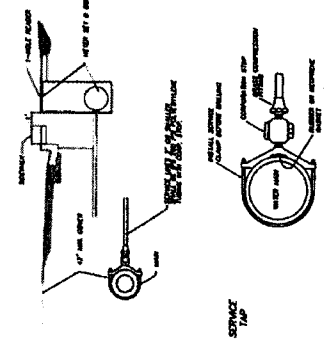
- NOTES:**
- 1" WATER METER BOX.
  - 1" WATER METER BOX.
  - 1" WATER METER BOX.

**WATER METER (1/4)**  
N.T.S.



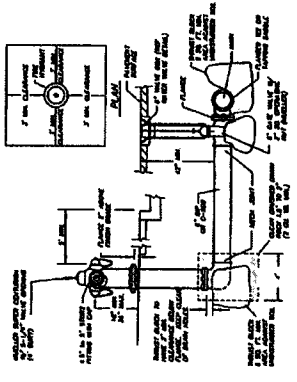
- NOTES:**
- Valve and box assembly.
  - Valve and box assembly.
  - Valve and box assembly.

**VALVE AND BOX (1/4)**  
N.T.S.



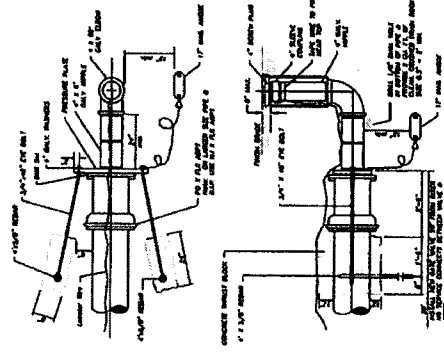
- NOTES:**
- Water service connection.
  - Water service connection.
  - Water service connection.

**WATER SERVICE CONNECTION (1/4)**  
N.T.S.

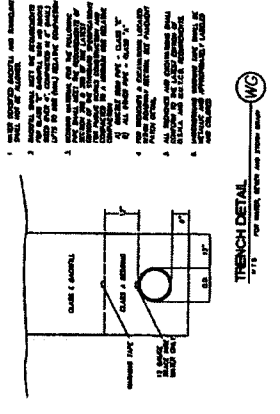


- NOTES:**
- Fire hydrant assembly.
  - Fire hydrant assembly.
  - Fire hydrant assembly.

**FIRE HYDRANT ASSEMBLY (1/4)**  
N.T.S.

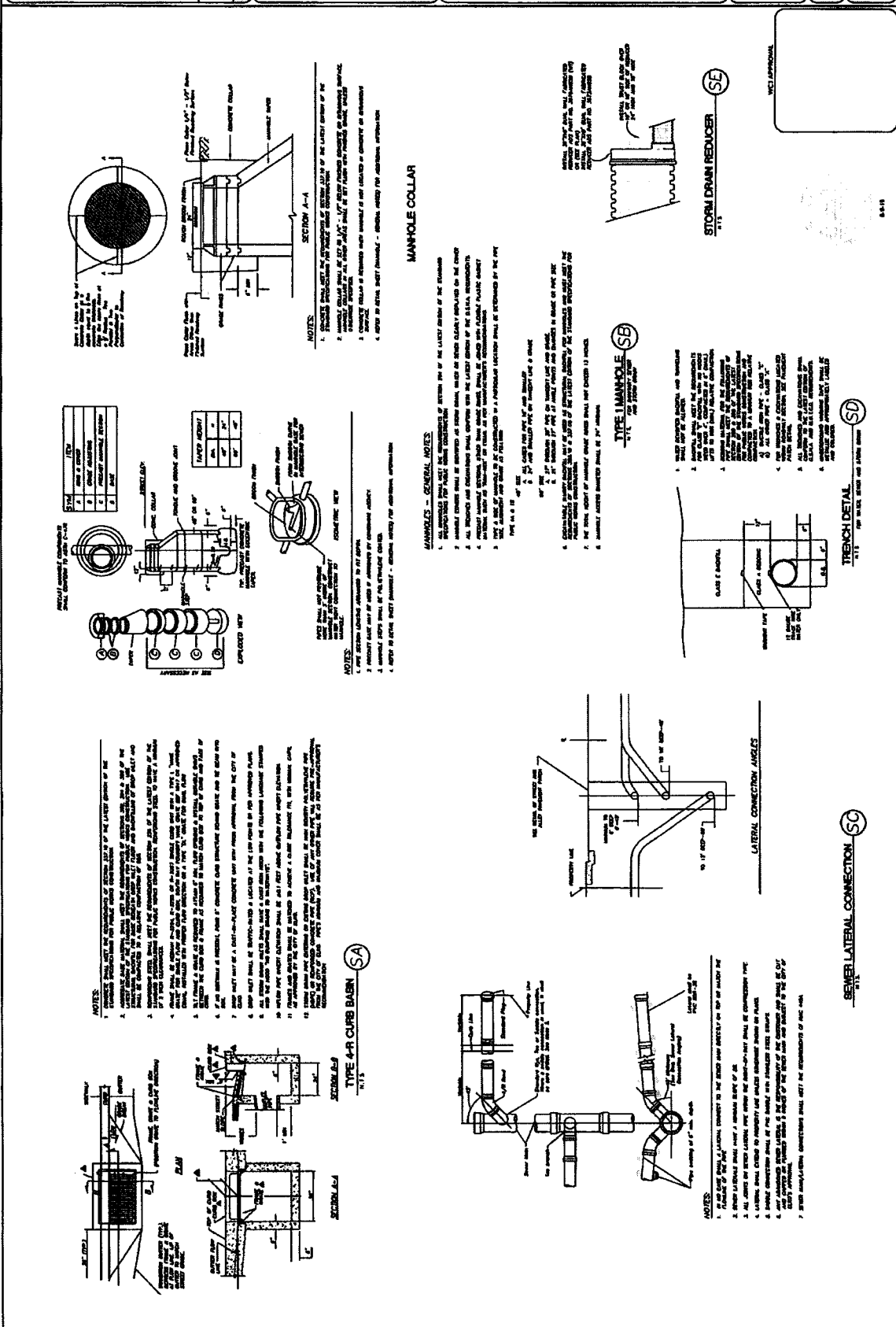


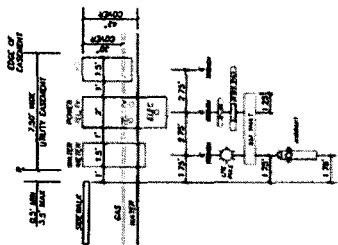
**TEMPORARY FLUSH ASSEMBLY (1/4)**  
N.T.S.



**TRENCH DETAIL (1/4)**  
N.T.S.

- NOTES:**
- Trench detail.
  - Trench detail.
  - Trench detail.





TYPICAL UTILITY TRENCH LOCATIONS

1.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2A.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2B.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL

CROSSING LINE SEPARATION  
SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL

1.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2A.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2B.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL

1.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2A.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL
2B.	SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL

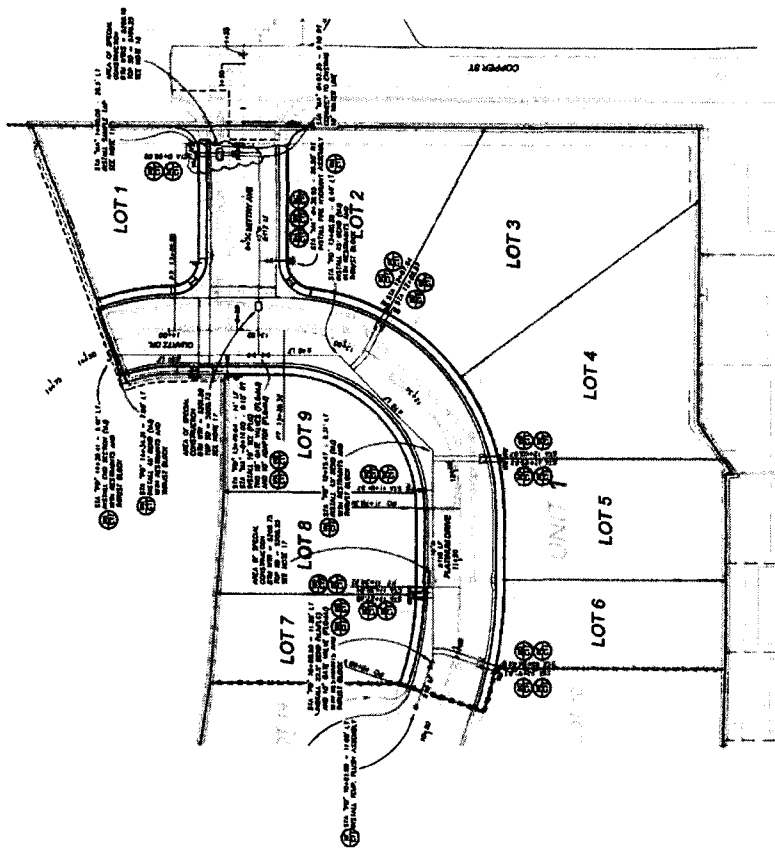
PARALLEL LINE SEPARATION  
SEWER LATERAL CROSSING WATER MAIN DE WATER SERVICE LATERAL











## LEGEND

1. **RESEARCH AND ANALYSIS**  
 2. **PLANNING AND DESIGN**  
 3. **CONSTRUCTION AND INSTALLATION**  
 4. **OPERATION AND MAINTENANCE**  
 5. **DECOMMISSIONING AND DISPOSAL**  
 6. **ENVIRONMENTAL MONITORING**  
 7. **SAFETY AND HEALTH**  
 8. **QUALITY ASSURANCE**  
 9. **REGULATORY COMPLIANCE**  
 10. **COMMUNITY RELATIONS**  
 11. **FINANCIAL MANAGEMENT**  
 12. **LEGAL AND ETHICAL CONSIDERATIONS**  
 13. **INFORMATION MANAGEMENT**  
 14. **PERSONNEL MANAGEMENT**  
 15. **LOGISTICS AND SUPPLY**  
 16. **TECHNICAL SUPPORT**  
 17. **TRAINING AND EDUCATION**  
 18. **RESEARCH AND ANALYSIS**  
 19. **PLANNING AND DESIGN**  
 20. **CONSTRUCTION AND INSTALLATION**  
 21. **OPERATION AND MAINTENANCE**  
 22. **DECOMMISSIONING AND DISPOSAL**  
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 24. **SAFETY AND HEALTH**  
 25. **QUALITY ASSURANCE**  
 26. **REGULATORY COMPLIANCE**  
 27. **COMMUNITY RELATIONS**  
 28. **FINANCIAL MANAGEMENT**  
 29. **LEGAL AND ETHICAL CONSIDERATIONS**  
 30. **INFORMATION MANAGEMENT**  
 31. **PERSONNEL MANAGEMENT**  
 32. **LOGISTICS AND SUPPLY**  
 33. **TECHNICAL SUPPORT**  
 34. **TRAINING AND EDUCATION**

**WATER NOTES:**

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06.06.2015

SCALE  
HORIZ. 1"=30'  
VERT. 1"=5'  
SHEET  
C4  
OF 14

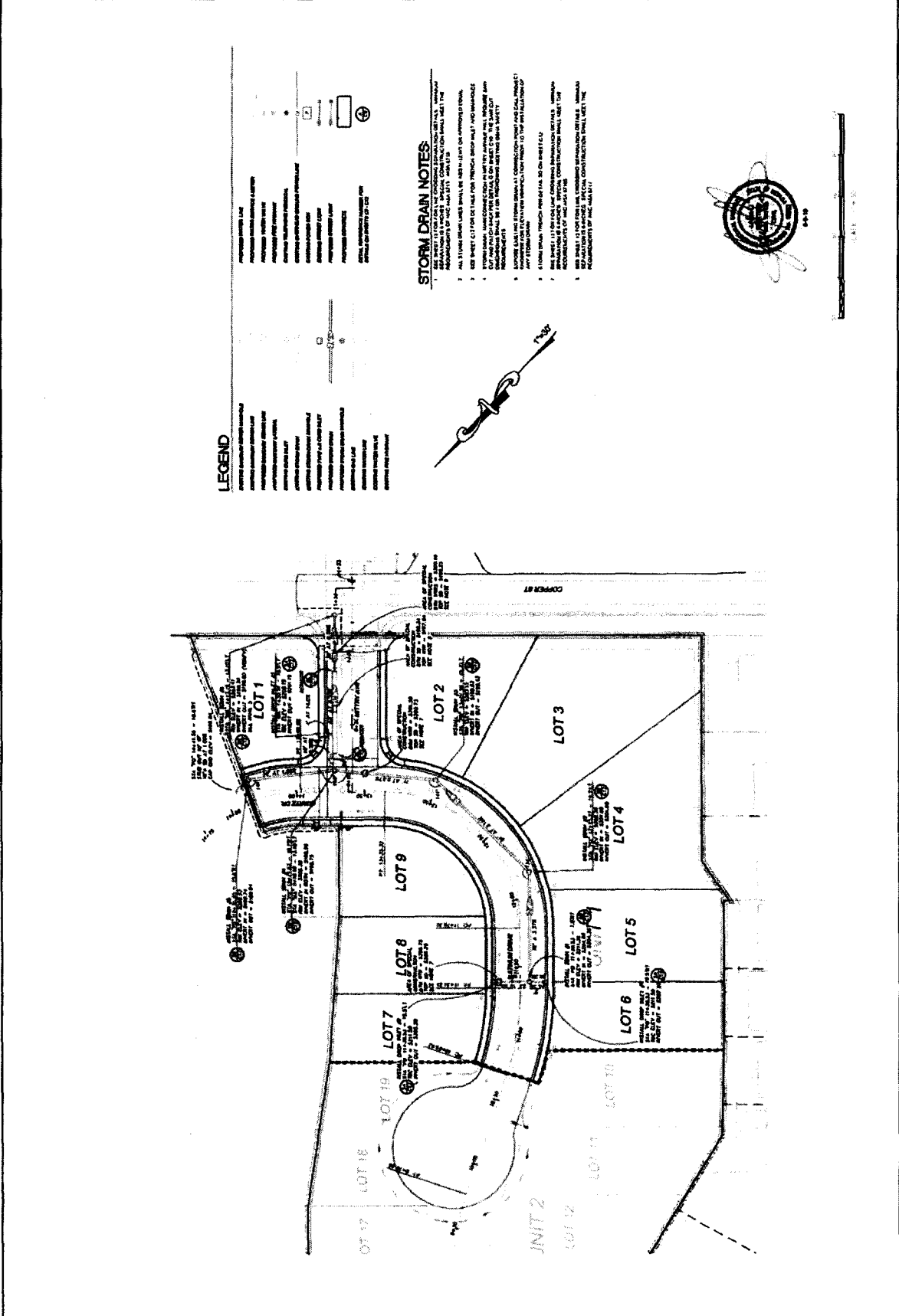
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TIME	10:10
BY	UIC
REASON	UIC
REMARKS	UIC

COPPER TRAILS, LLC  
COPPER TRAILS PHASE 2 - UNIT 1  
WATER PLAN  
ELKO, NEVADA

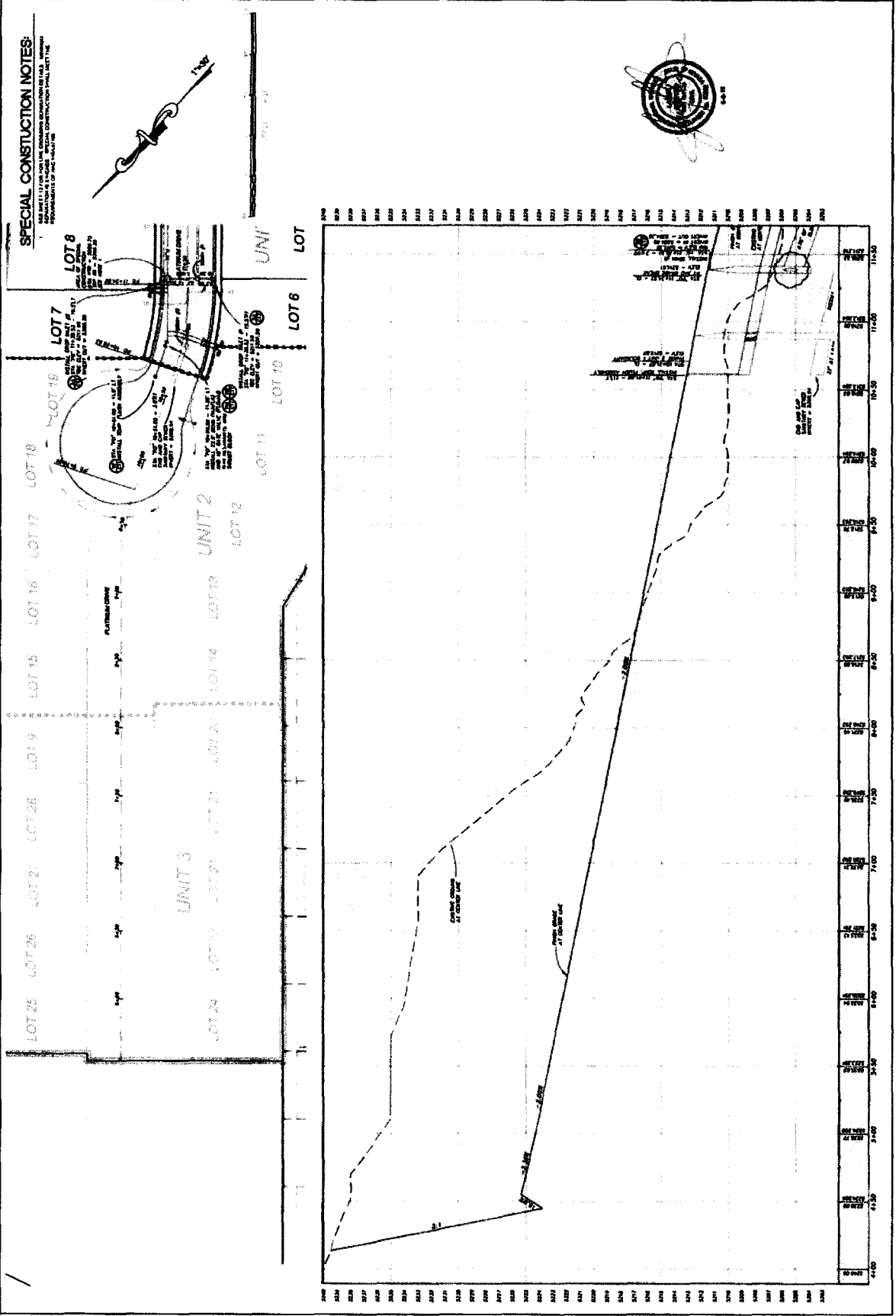
**Carter Engineering, LLC**  
Civil Engineering  
P. O. Box 704  
Essex, Nevada 89003  
775-387-2531

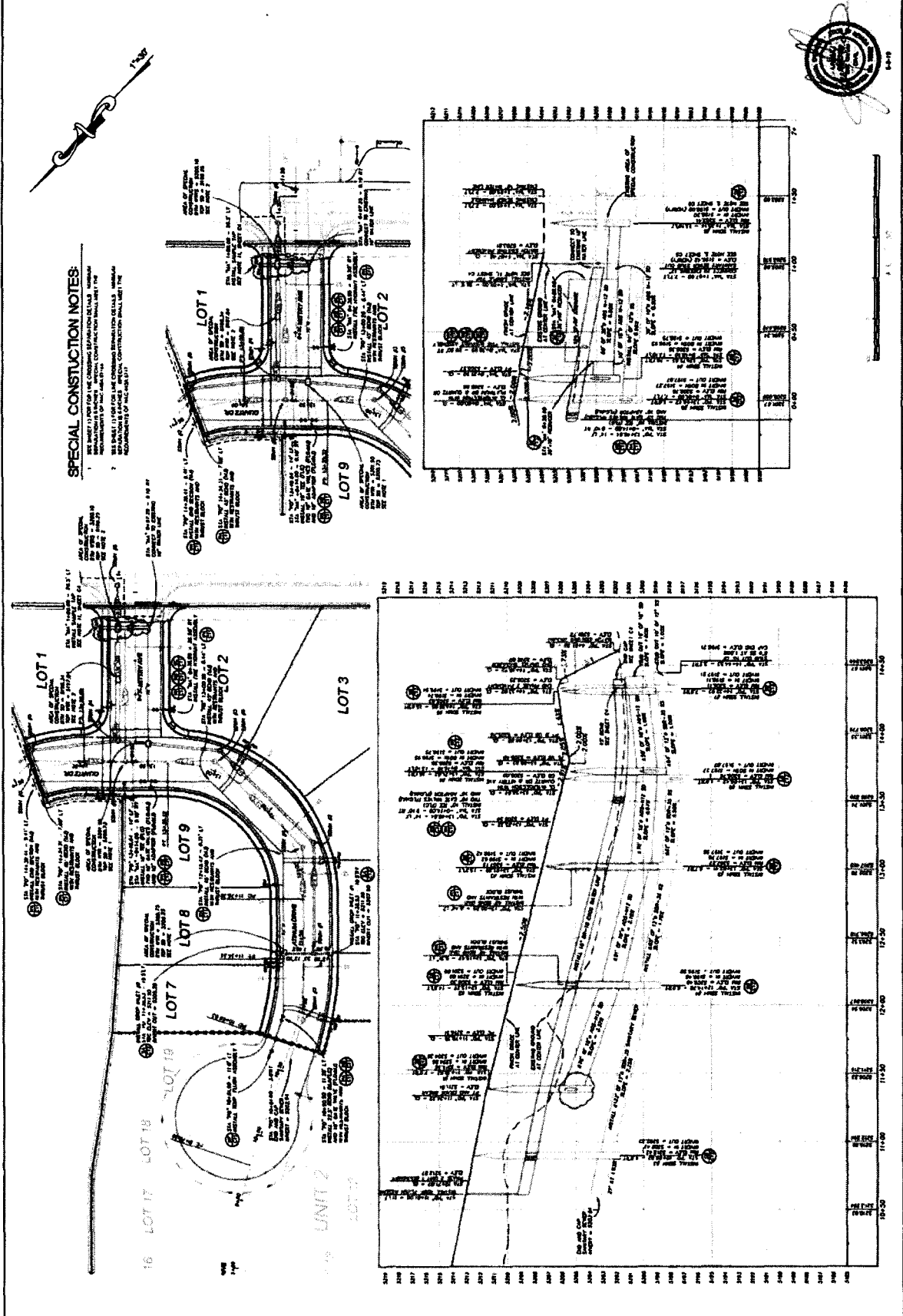
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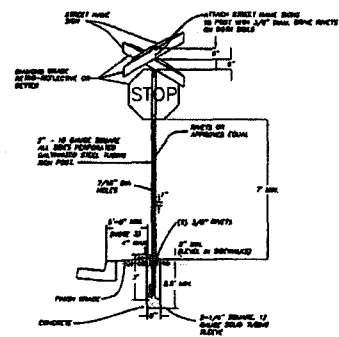
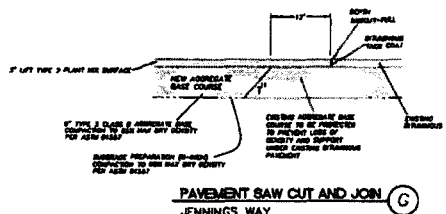
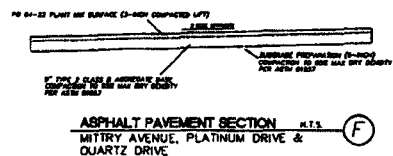


<b>COPPER TRAILS PHASE 2 - UNIT 1</b> <b>PLAN AND PROFILE - PLATINUM DR.</b> <b>STATION 4+00 TO 11+50</b> ELKO, NEVADA		DESIGNED BY: L.L.C. CHECKED BY: L.L.C. DATE: 01-20-18 JOB NO: 01-20-18 DRAWING NO: 2018-027
<b>Carter Engineering, LLC</b> P.O. Box 794 Elko, Nevada 89803 775-397-2531		SCALE: 1" = 40' SHEET: C7 OF 14





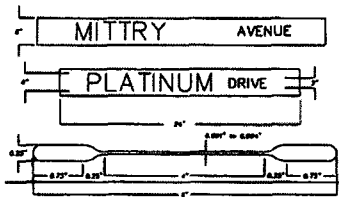




- NOTES:
1. SIGN MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF THE MUTCD.
  2. SIGN PANELS SHALL BE MOUNTED ON EXTENDED ALUMINUM HIL 6061-T6, WITH A MINIMUM THICKNESS OF 0.063.
  3. MATERIALS TO BE USED FOR SIGNS SHALL BE SHOWN ON THE RETRO-REFLECTIVE SHEET.
  4. EACH SIGN SHALL CONSIST OF TWO PLATES MOUNTED TOGETHER.

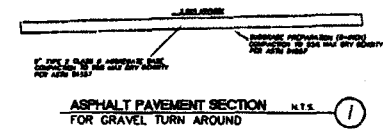
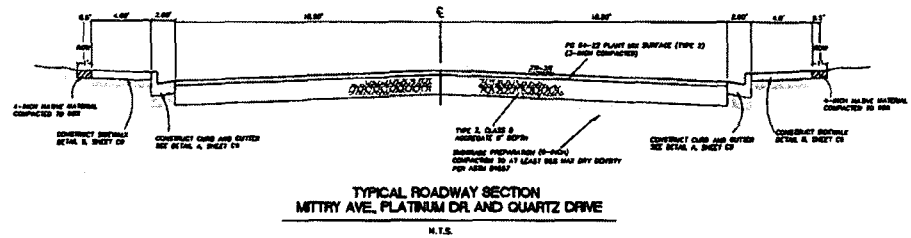
TYPE 2 STREET SIGN

STREET AND STOP SIGN H



- NOTES:
1. SIGN SHALL MEET THE REQUIREMENTS OF SECTION 212 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF THE MUTCD.
  2. SIGN PANELS SHALL BE MOUNTED ON EXTENDED ALUMINUM HIL 6061-T6, WITH A MINIMUM THICKNESS OF 0.063.
  3. MATERIALS TO BE USED FOR SIGNS SHALL BE SHOWN ON THE RETRO-REFLECTIVE SHEET.

STREET NAME SIGN



DESCRIPTION	Carter Engineering, LLC Civil Engineering P.O. Box 794 Elko, Nevada 89603 775-397-3831
DATE	
REV	
DESIGNER	LLC
DRAWN BY	LLC
CHECKED BY	LLC
IN CHARGE	LLC
SCALE	AS SHOWN
SHEET	C10
OF 14	

Flow Direction	Flow Direction	Flow Direction	Flow Direction	Flow Direction

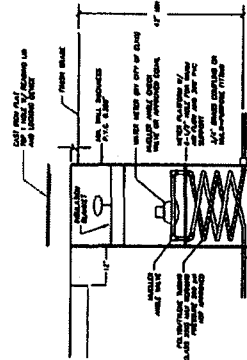
THRUST BLOCK BEARING AREA (SQ. FT.)

Flow Direction	Flow Direction	Flow Direction	Flow Direction	Flow Direction
1	2	3	4	5
1	1	1	1	1
1	1	1	1	1
1	1	1	1	1
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1	1	1	1	1

Flow Direction	Flow Direction	Flow Direction	Flow Direction	Flow Direction

- NOTES:
- Thrust blocks to be constructed of Class "C" concrete.
  - Minimum width of thrust block shall be 12" and minimum height shall be 12".
  - Thrust blocks shall be placed against the exterior wall of the pipe.
  - Thrust blocks shall be placed against the exterior wall of the pipe.
  - Thrust blocks shall be placed against the exterior wall of the pipe.

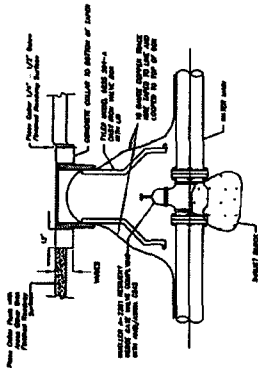
STANDARD THRUST BLOCKS (W)



1" WATER METER BOX

- NOTES:
- Water meter shall be installed in accordance with the manufacturer's instructions.
  - Water meter shall be installed in accordance with the manufacturer's instructions.
  - Water meter shall be installed in accordance with the manufacturer's instructions.

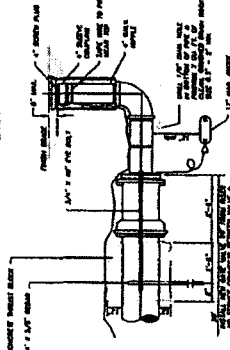
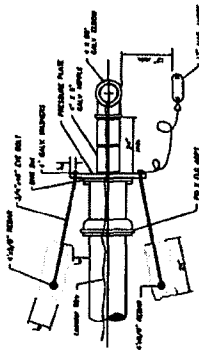
WATER METER (WD)



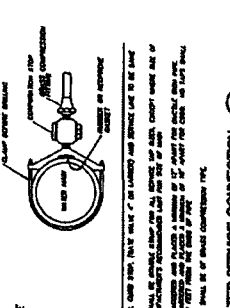
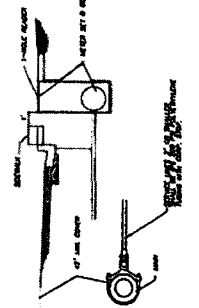
- NOTES:
- Valve and box shall be installed in accordance with the manufacturer's instructions.
  - Valve and box shall be installed in accordance with the manufacturer's instructions.
  - Valve and box shall be installed in accordance with the manufacturer's instructions.

VALVE AND BOX (VB)

FIRE HYDRANT ASSEMBLY (WC)

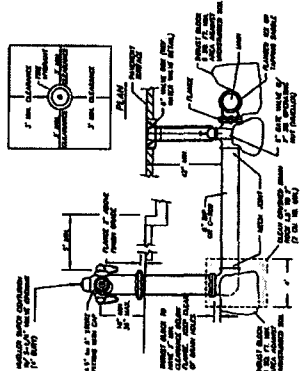


TEMPORARY FLUSH ASSEMBLY (WF)



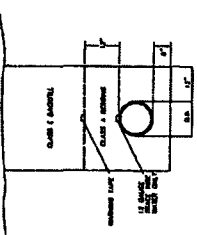
WATER SERVICE CONNECTION (WC)

- NOTES:
- Water service connection shall be installed in accordance with the manufacturer's instructions.
  - Water service connection shall be installed in accordance with the manufacturer's instructions.
  - Water service connection shall be installed in accordance with the manufacturer's instructions.



TRENCH DETAIL

- NOTES:
- Trench detail shall be installed in accordance with the manufacturer's instructions.
  - Trench detail shall be installed in accordance with the manufacturer's instructions.
  - Trench detail shall be installed in accordance with the manufacturer's instructions.



TRENCH DETAIL (WC)

- NOTES:
- Trench detail shall be installed in accordance with the manufacturer's instructions.
  - Trench detail shall be installed in accordance with the manufacturer's instructions.
  - Trench detail shall be installed in accordance with the manufacturer's instructions.







KNOWING OF ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, COPPER TRAILS, LLC, A NEVADA LIMITED LIABILITY COMPANY, ROBERT FITZGERALD, MANAGING MEMBER, BEING THE OWNER OF THOSE PARCELS AS SHOWN ON THIS MAP, DOES HEREBY CONSENT TO THE CREATION AND RECORDATION OF THIS EASEMENT, FOR THE PURPOSE OF CREATING A PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN ON THE MAP, FOR THE BENEFIT OF THE PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN ON THE MAP, AND FOR THE BENEFIT OF THE PUBLIC UTILITY AND DRAINAGE PURPOSES AS SHOWN ON THE MAP. IN WITNESS I, ROBERT FITZGERALD, SET MY HAND ON THE DATE SHOWN.

COPPER TRAILS, LLC

STATE OF NEVADA  
COUNTY OF ELKO

**NOTARY PUBLIC**

[illegible]

CITY ENGINEER'S REPRESENTATIVE CERTIFICATE

CITY ENGINEER OR ENGINEERING REPRESENTATIVE DATE

**CHAIRMAN, CITY OF ELKO PLANNING COMMISSION**

MAYOR, CITY OF ELKO, NEVADA

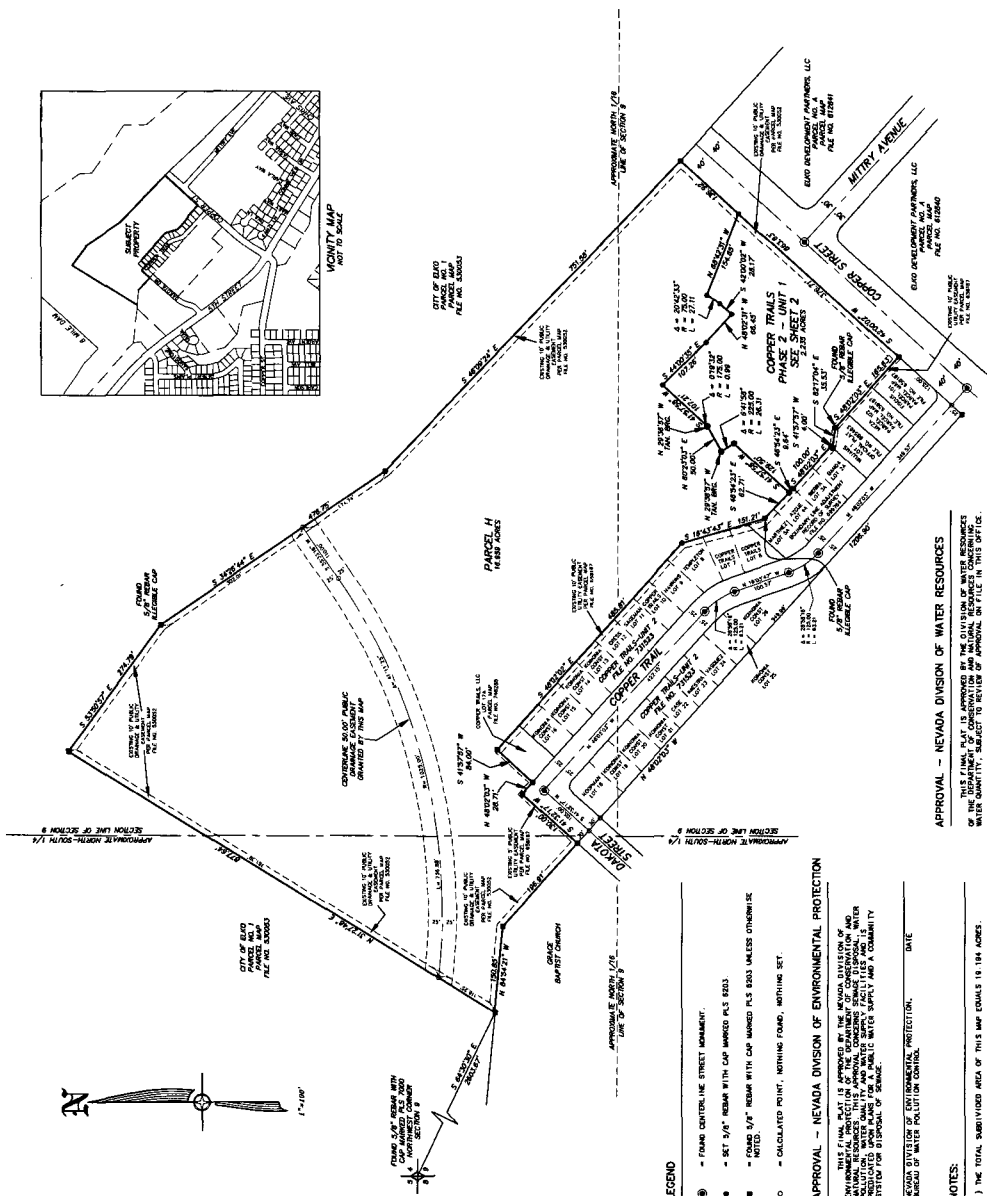
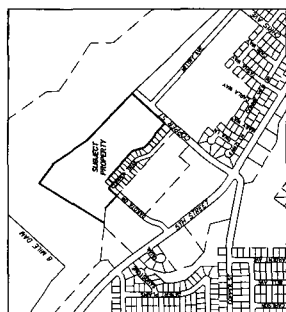
SHEET 1 OF 2

6102 T. MONT. STENOGRAPH

NE1/4 NW1/4, W1/2 NE1/4, OF SECTION 9,  
IN

CITY OF ELKO, NEVADA

**HIGH DESERT  
ENGINEERING,**  
640 IDAHO STREET  
ELKO, NEVADA 89601  
(705) 708-4069



- FOUND CENTERLINE STREET MOUNT.

- SET 5/8" REBAR WITH CAP MARKED PLS 5203.
- FOUND 5/8" REBAR WITH CAP MARKED PLS 5203 UNLESS OTHERWISE NOTED.
- CALCULATED POINT, NOTHING FOUND, NOTHING SET.

THIS FINAL PLAN IS APPROVED BY THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER QUALITY AND WATER SUPPLY FACILITIES AND IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION OR THE RECOMMENDATIONS SPECIFICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SEWAGE TREATMENT PLANT FOR DISPOSAL OF SEWAGE.

1990-1991

[illegible]

- [illegible]

THE PUBLIC UTILITY EASEMENTS, AS DESIGNATED HEREON, ARE APPROVED BY THE RESPECTIVE UTILITIES EXECUTING BELOW.

FRONTIER COMMUNICATIONS

SIERRA PACIFIC POWER COMPANY, D/B/A NV ENERGY DATE

DATE \_\_\_\_\_ DIVISIONAL MANAGER \_\_\_\_\_

SOUTHERN GAS CORPORATION DATE

## FILE NO. \_\_\_\_\_

FILED AT THE REQUEST OF  
JIMMY DEBBY SWIMMING

THE UNIVERSITY OF CHICAGO

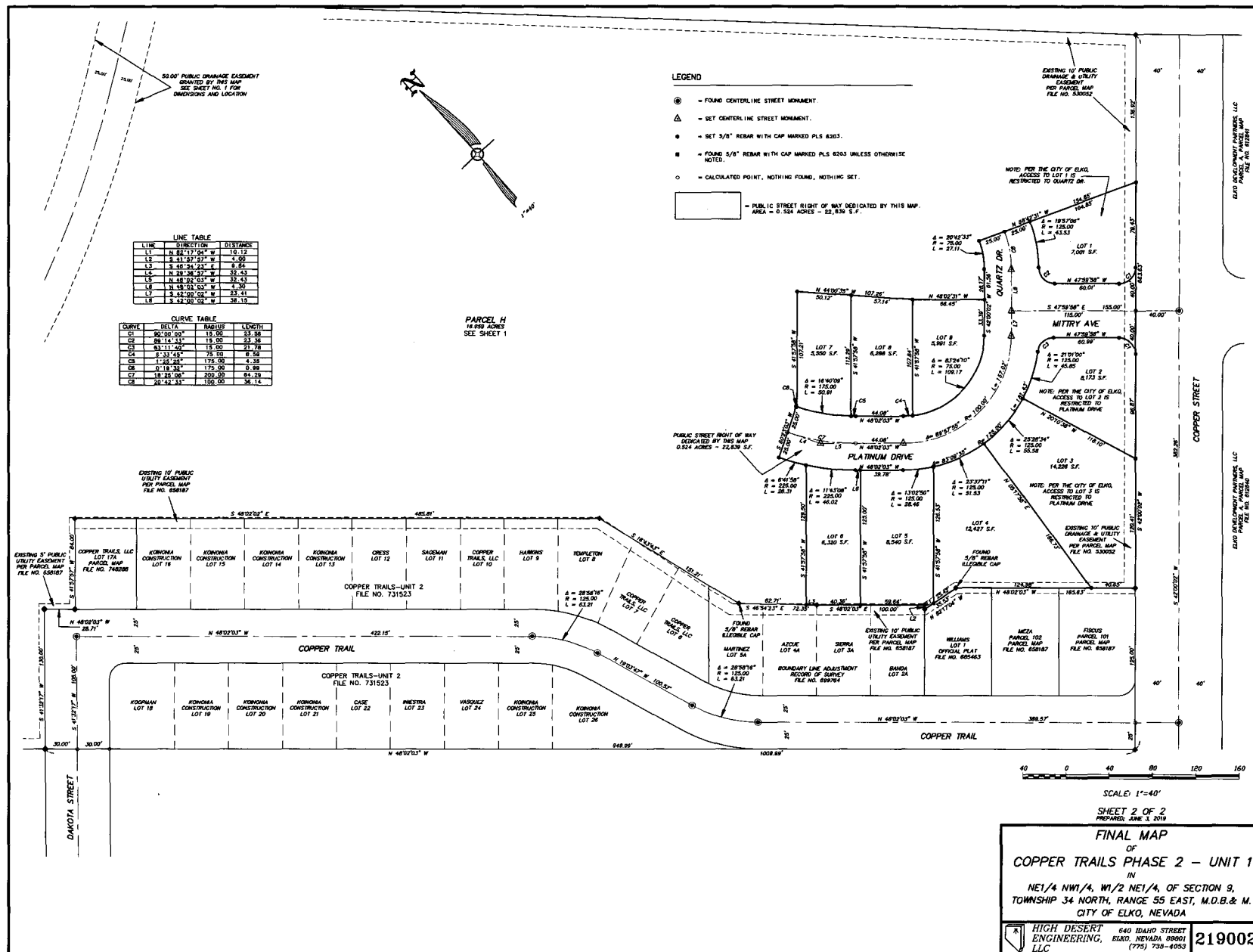
DATE \_\_\_\_\_, 2010

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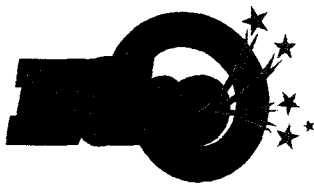
D. MIRE SALES  
ELKO COUNTY RECORDER



**Elko City Council**  
**Agenda Action Sheet**

1. Title: **First reading of proposed Ordinance No. 842 amending Section 3-2-3 of the Elko City Code entitled "General Provisions" adding a reference to curb, gutter, and sidewalk requirements set forth in Title 8 (Public Ways and Property), and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **ORDINANCE**
4. Time Required: **10 Minutes**
5. Background Information: **The Planning Commission initiated this amendment to the City Zoning Ordinance at their meeting of May 7, 2019. At their meeting on July 2, 2019 the Planning Commission recommended that the City Council adopt Ordinance No. 842, which approves Zoning Ordinance Amendment No. 1-19 of the Elko City Code, specifically Section 3-2-3. CL**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **N/A**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Copy of Ordinance No. 842**
9. Recommended Motion: **Conduct first reading of Ordinance No. 842 and direct City Staff to set the matter for second reading, public hearing, and possible adoption.**
10. Prepared By: **Cathy Laughlin, City Planner**
11. Committee/Other Agency Review: **City Attorney and Planning Commission**
12. Council Action:
13. Agenda Distribution: **None**



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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CITY OF ELKO  
PLANNING COMMISSION ACTION REPORT  
Regular Meeting of July 2, 2019

WHEREAS, the following item was reviewed and considered by the Elko City Planning Commission on July 2, 2019 under Public Hearing format, in accordance with notification requirements contained in Section 3-2-21(B)(1) of the City Code:

Zoning Ordinance Amendment 1-19, Ordinance No. 842, an amendment to the City Zoning Ordinance, specifically Section 3-2-3 General Provisions, and matters related thereto. FOR POSSIBLE ACTION

NOW THEREFORE, upon review and consideration of the application, supporting data, public input and testimony, the Planning Commission forwarded a recommendation to City Council to adopt an ordinance, which approves Zoning Ordinance Amendment No. 1-19, specifically Section 3-2-3.

Scott Wilkinson, Assistant City Manager

Attest:

Shelby Archuleta, Planning Technician

CC: Applicant  
Kelly Wooldridge, City Clerk

**CITY OF ELKO  
ORDINANCE NO. 842**

**AN ORDINANCE AMENDING TITLE 3, CHAPTER 2, SECTION 3 OF THE ELKO  
CITY CODE ENTITLED "GENERAL PROVISIONS" HEREBY ADDING A  
REFERENCE TO CURB GUTTER AND SIDEWALK REQUIREMENTS SET FORTH  
IN TITLE 8 PUBLIC WAYS AND PROPERTY**

**WHEREAS**, the City of Elko desires to amend portions of the City Code pertaining to curb, gutter and sidewalks in order to further promote orderly growth and development, and to protect the interest, health, safety and general welfare of the public; and

**WHEREAS**, the City of Elko has determined that the proposed amendments further those goals; and

**WHEREAS**, the City of Elko desires to amend Title 3, Chapter 2, Section 3 of the Elko Code, and has followed all procedural requirements and legal noticing required per City Code and N.R.S.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ELKO, NEVADA**

**For amendment purposes, words which are bold and underlined are additions to the Code and words which are bold and lined through are deletions from the Code.**

**SECTION 1.** Title 3, Chapter 2, Section 3 of the Elko City Code is hereby amended to read as follows:

**3-2-3: GENERAL PROVISIONS:**

- A. Interpretation: In their interpretation and application, the provisions of this chapter shall be held to be minimum requirements, shall be liberally construed in favor of the ~~city~~City, and shall not be deemed a limitation or repeal of any other power granted by the Nevada Revised Statutes.
- B. Street, ~~And~~ Utility and Other Public Improvement Requirements: The following restrictions shall apply:
  - 1. Generally, all lots shall abut and access a public street connecting with the public street system in order to provide for orderly growth, vehicular circulation and to ensure accessibility to utilities and emergency services. A condominium or townhome project shall be considered one lot for purposes of this specific requirement.
  - 2. Lots may abut and access a private street connecting with the public street system in the following circumstances:

- a. Within a PC (planned commercial) district in conformance with an approved concept development plan.
  - b. Within an IBP (industrial business park) district in conformance with an approved concept development plan.
  - c. Within a PUD (planned unit development) district in conformance with an approved site development plan.
  - d. Within an RMH (residential mobile home) district in conformance with an approved site development plan.
  - e. For residential, commercial or industrial developments involving four (4) or fewer lots and where the length of the private street, from the nearest public street to the lot being accessed, does not exceed six hundred eighty feet (680').
3. Building permits may be issued for lots which abut undedicated portions of a partly dedicated public street.
4. A building permit shall not be issued for any lot for which city public sewerage and water supply is not available, unless the city council grants a waiver of the mandatory connection to public sewer requirement pursuant to subsection 9-5-61B of this code.
5. All utilities shall be placed underground, except for lots of record.
6. Public street and utility construction and installation is required across the full frontage of property at time of development.
- 7. Requirements for sidewalk, curb and gutter construction may be applicable as set forth in Elko City Code Section 8-21-3.**

C. Use Restrictions: The following use restrictions shall apply:

- 1. Principal Uses: Only those uses and groups of uses specifically designated as "principal uses permitted" in zoning district regulations shall be permitted as principal uses; all other uses shall be prohibited as principal uses.
- 2. Conditional Uses: Certain specified uses designated as "conditional uses permitted" may be permitted as principal uses subject to special conditions of location, design, construction, operation and maintenance hereinafter specified in this chapter or imposed by the planning commission or city council.
- 3. Accessory Uses: Uses normally accessory and incidental to permitted principal or conditional uses may be permitted as hereinafter specified.
- 4. Unspecified Uses: The listing of groups of permitted uses is intended to establish the character of uses to be permitted, but not to include each and every use which may be

permitted. Unspecified uses may be imposed by the planning commission upon evidence and determination that such uses are closely similar in character to and not typically more objectionable than other uses actually listed as permitted.

5. Temporary Uses: Certain temporary uses such as interim administrative and sales offices, sales offices for mobile and manufactured homes, model home sales complex for residential subdivisions, materials storage, mixing, assembly, manufacturing of a portable nature and similar uses determined to be functionally comparable, and, as specified in this paragraph, temporary emergency shelters, temporary camping and temporary campgrounds may be permitted by temporary use permit.
  - a. "Temporary emergency shelters" are defined as enclosed and unenclosed locations, to include structures and portions of structures, used for temporary occupancy by individuals and families who are homeless or who cannot occupy their homes due to lack of utilities or other causes. Temporary emergency shelters may be permitted, but only within C (General Commercial), LI (Light Industrial) and GI (General Industrial) Zoning Districts.
  - b. "Temporary Camping" means to use real property owned or occupied by another person for living accommodation purposes for a limited period of time outside of a structure that is affixed to the ground, to include uses such as, without limitation, the following when done in connection with outdoor living: (1) overnight sleeping activities or making preparations to sleep overnight outside of a motor vehicle, recreational vehicle or trailer, such as the laying down of bedding on the ground for the purpose of sleeping overnight; (2) storing personal belongings outside of a structure in connection with overnight sleeping activities; (3) cooking outdoors or making a fire for the purpose of cooking food outdoors as approved by the city in the temporary use permit; or (4) using any tent, shelter or other mobile structure for sleeping overnight. "Camping" does not include using a motor vehicle, recreational vehicle or trailer as long-term shelter, for living accommodation purposes, or for the purpose of storage of belongings.
  - c. "Temporary Campground" means a designated area where people may, with permission from the owner or occupier of the land, engage in camping for a limited period of time and that may or may not have toilets, showers and/or other amenities for campers to use.
  - d. Temporary Camping and Temporary Campgrounds may be permitted as temporary uses, but only within LI (Light Industrial) and GI (General Industrial) Zoning Districts.
  - e. For purposes of this section, "overnight" is defined as the period from one-half hour after sunset to sunrise.
  - f. For purposes of this section, "living accommodation purposes" is defined as

uses and activities needed for or directly connected with the use of land for engaging in life-sustaining activities.

- g. The temporary use permit process for camping and campgrounds shall be subject to the following public hearing process: the city shall set a time and place for the public hearing before the planning commission on the application and the city shall send, by mail, notice of the time and place and purpose of the planning commission hearing, at least ten (10) days before the hearing, to the owners of property within three hundred feet (300') of the exterior limits of the property involved, as shown by the latest assessment rolls of the city. Notice by mail to the last known address of the real property owners, as shown by the Assessor's records, shall be sufficient. Legal notice shall be placed in a newspaper of general circulation within the city at least ten (10) days prior to the date of the public hearing. Applications for temporary use permits must be filed at least twenty-one (21) days before the planning commission hearing.
  - h. Temporary use permits may be subject to such special conditions as may be imposed by the planning commission related to time frame, location, nature and character of the use and extent of on-site improvements. Application for a temporary use permit shall be filed with the planning department on a form provided for such purpose and shall include payment of a filing fee in an amount established by resolution of the city council.
- 6. Site Plan Review: Certain uses, structures, activities or uses requiring planning commission review or determination, inclusive of public buildings, public structures or other public developments such as parks, except those submitted as part of an application for a conditional use permit or temporary use permit, may be permitted upon formal review by the planning commission. The scope of the planning commission's review shall be limited to location, character and extent of improvements thereof, and shall be subject to such special conditions, relative to the defined scope of review, as may be imposed by the planning commission. Application for site plan review shall be filed with the planning department on a form provided for such purpose and shall include payment of a filing fee in an amount established by resolution of the city council.
- D. Site Unsuitability: No land may be used or structure erected where the land is held by the planning commission to be unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, extreme topography, low bearing strength, erosion susceptibility, or any other features likely to be harmful to the health, safety and general welfare of the community. The planning commission, in applying the provisions of this section, shall state in writing the particular facts upon which its conclusions are based. The applicant shall have the right to present evidence contesting such determination to the city council if he or she so desires, whereupon the city council may affirm, modify or withdraw the determination of unsuitability.

- E. Reduction ~~Or~~ or Joint Use: No lot, yard, parking or loading area, building area, or other space, nor any part thereof, hereinafter required about or in connection with any building, shall be included as part of a yard area or space required for any other building, nor shall any yard or lot existing on the effective date hereof be reduced in dimension or area below the minimum requirements set forth in this title.
- F. Building Height Regulations: No building shall exceed the heights allowed in the current city of Elko airport master plan.
- G. Projections ~~Into~~ into Required Yards; Residential Districts:
1. Awnings, open fire balconies, fire escape stairs, window type refrigeration units not exceeding one and one-half (1 1/2) tons or one and one-half (1 1/2) horsepower rating, suspended or roof evaporative coolers, and forced air furnaces, may project not more than five feet (5') over any required yard; provided, that they shall be no closer than two feet (2') to any lot line.
  2. Cornices and eaves may project over any required yard, provided, that they shall be no closer than two feet (2') to any lot line.
  3. Sills, belt courses and similar ornamental features may project not more than six inches (6") over or into any required yard.
  4. Unroofed terraces, patios, steps or similar features may project into any required yard; provided, that projections into required front yards shall not exceed ten feet (10'). Roofed or covered terraces, patios, steps or similar features may project into the required rear yard no closer than ten feet (10') to the rear lot line, provided two (2) sides of the covered feature remain open.
  5. Fireplaces may be allowed to encroach into required yards no closer than two feet (2') to any lot line.
  6. Carports may be allowed to encroach into required side yards; provided, that two (2) sides of the carport remain open, that no portion of the carport structure be closer than three feet (3') to any side lot line, and all drainage from the roof of the structure shall be onto the property itself.
- H. Exterior Lighting: All lighting for advertising off street parking or loading areas, or for the external illumination of buildings, shall be directed away from and shielded from any adjacent residential district and shall not detract from driver visibility on adjacent streets or highways, interfere with or cause driver confusion regarding traffic control devices, interfere with driver vision or create other traffic hazards.
- I. Essential Services Permitted: Nothing in this chapter shall prevent the location, erection, construction, alteration or maintenance by a public utility of any "essential services", as herein defined.

- J. Required Screen Walls: Under certain conditions, the planning commission may recommend that the city council require screen walls to separate incompatible uses; e.g., separation of abutting or industrial uses and residential uses. Such wall shall be constructed by the developer and approved by the city engineer or planning commission.
- K. Nonrequired Fences, Walls ~~And~~ and Hedges:
1. No fence, wall, tree, shrub or hedge may be allowed which would obstruct vision at street intersections in any residential district.
  2. No fence or wall shall contain barbed wire, concertina razor wire, electrical current or charge of electricity, broken glass, or similar hazardous materials or devices; provided, however, that fences enclosing storage areas in industrial or commercial districts may use barbed wire extension arms on chainlink fences six feet (6') or higher, or may use concertina razor wire extension arms on chainlink fences seven feet (7') or higher. In addition, fences enclosing storage areas in industrial or commercial districts may use concertina razor wire extension arms on chainlink fences between six feet (6') and seven feet (7') in height so long as the concertina razor wire extension arm does not protrude more than six inches (6") out from the exterior vertical extension of the chainlink fence.
  3. No nonbuilding wall or fence in any residential district shall exceed six feet (6') in height without a building permit.
- L. Trash Enclosures: A permanent enclosure for temporary storage of garbage, refuse and other waste materials shall be provided for every use other than single-family dwellings in every zoning district, except where an approved mechanically loaded steel bin is used for the purpose, or where a property is entirely surrounded by screen walls or buildings. Trash enclosures shall be so constructed that contents are not visible from a height of five feet (5') above grade on any abutting street or property.
- M. Swimming Pools: Swimming pools, whether private, public or commercial, shall comply with the laws, rules and regulations of the city and state.
- N. Signs: The provisions of the sign code as set forth in chapter 9 of this title shall apply.
- O. Building ~~And~~ and Electrical Codes: In all construction hereafter made within the city, the same shall be in accordance with title 2, chapters 2 and 6 of this code, and all other applicable provisions of this code.
- P. Mobile Homes: Mobile homes are hereby expressly prohibited for living purposes outside the RMH district, except as stated in other chapters of this title. All requirements of chapter 5 of this title and all other applicable provisions of this code shall be adhered to with respect to standards for the RMH district.
- Q. Manufactured Homes: Notwithstanding any other provisions in this code, manufactured homes are hereby recognized as a "principal permitted use" in all zoning districts which

recognize single-family dwellings as a "principal permitted use", provided all of the following standards are complied with:

1. The manufactured home shall be placed on a foundation permanently affixed to the residential lot and qualify and constitute real property, as established by Nevada Revised Statutes chapter 361.
  2. The manufactured home shall be manufactured within the five (5) years immediately preceding the date on which it is affixed to the residential lot.
  3. The manufactured home shall utilize exterior siding consisting of or giving the appearance of stucco, masonry, wood, metal or vinyl and affixed to the dwelling unit in a continuous horizontal or vertical pattern similar in color, material and appearance to the exterior siding used on other single-family dwellings in the immediate vicinity.
  4. The manufactured home shall utilize roofing materials consisting of asphalt shingles or equivalent roofing materials of comparable quality, similar in color, material and appearance to the roofing used on other single-family dwellings in the immediate vicinity. The manufactured home shall utilize a full height roof element with a minimum pitch of three to twelve (3:12). The roof element shall include a minimum overhang or projecting eave of twelve inches (12").
  5. The manufactured home shall be multisectioned (doublewide or larger) with a minimum width or minimum depth of ~~twenty-four~~twenty-four feet (24').
  6. The manufactured home shall consist of at least one thousand two hundred (1,200) square feet of living area. A waiver can be filed and may be granted for a reduction of the living area based on the size or configuration of the lot or the square footage of single-family residential dwellings in the immediate vicinity, in accordance with site plan review procedures pursuant to subsection C6 of this section.
  7. Any elevated foundations shall be masked architecturally in a manner to blend and harmonize with exterior siding materials utilized on the manufactured home.
  8. As provided in Nevada Revised Statutes, the provisions of this section do not abrogate recorded restrictive covenants prohibiting manufactured homes, nor do the provisions apply within the boundaries of a historic district established pursuant to Nevada Revised Statutes section 384.005 or 384.100. An application to place a manufactured home on a residential lot pursuant to this section constitutes an attestation by the owner of the lot that the placement complies with all covenants, conditions and restrictions placed on the lot and that the lot is not located within a historic district.
- R. Minimum Distance Between Residential Establishments: A minimum distance of at least one thousand three hundred twenty feet (1,320') shall be required between residential establishments. A residential establishment is defined in Nevada Revised Statutes section 278.02384 as:

"Residential establishment means (1) a home for individual residential care in a community whose population is 100,000 or more, (2) a halfway house for recovering alcohol and drug abusers or (3) a residential facility for groups".

1. The definition of "individual residential care" is not applicable as the population of Elko County is less than one hundred thousand (100,000).
2. "Halfway house for recovering alcohol and drug abusers" is defined in Nevada Revised Statutes section 449.008 as:

"Halfway house for recovering alcohol and drug abusers means a residence that provides housing and a living environment for alcohol and drug abusers and is operated to facilitate their reintegration into the community, but does not provide treatment for alcohol or drug abuse. The term does not include a facility for the treatment of abuse of alcohol or drugs as defined in Nevada Revised Statutes section 449.00455".

3. "Residential facility for groups" is defined in Nevada Revised Statutes section 449.017 as:

"Except as otherwise provided in subsection 2, residential facility for groups means an establishment that furnishes food, shelter assistance and limited supervision to an aged, infirm, mentally retarded or handicapped person. The term does include:

- a. An establishment which provides care only during the day;
- b. A natural person who provides care for no more than two (2) persons in his own home;
- c. A natural person who provides care for one or more persons related to him within the third degree of consanguinity or affinity;
- d. A halfway house for alcohol and drug abusers; or
- e. A facility funded by a division or program of the department of human resources."

- S. ~~As-As~~-Built Drawing: Except for the new construction of a single-family dwelling, prior to the issuance of a certificate of occupancy for any new construction, the applicant must submit to the city a complete and accurate as built drawing with survey data on the Elko grid (NAD 83 Nevada east zone ground elevation). The as built drawing must be submitted electronically in AutoCAD format and must be accompanied by a wet stamped and signed paper copy by the professional of record for the project. As used herein, the term "as built drawing" means a drawing that accurately depicts the locations of all improvements on the parcel or lot containing the new construction and any associated utilities or other public improvements constructed on other properties, which drawing shall, without limitation, include the structure(s) and all associated utilities and other public improvements.

**SECTION 2.** All ordinances or parts of ordinances in conflict herewith are hereby repealed, but only to the extent of such conflict.

**SECTION 3.** If any section, paragraph, clause or provision of this Ordinance shall for any reason be held to be invalid, unenforceable or unconstitutional by any court of competent jurisdiction, the invalidity, unenforceability of such section, paragraph, clause or provision shall not affect any remaining provision of this Ordinance.

**SECTION 4.** Upon adoption, the City Clerk of the City of Elko is hereby directed to have this ordinance published by title only, together with the Councilpersons voting for or against its passage in a newspaper of general circulation within the time established by law, for at least one publication.

**SECTION 5.** This ordinance shall be effective upon the publication mentioned, unless otherwise stated.

PASSED AND ADOPTED this --<sup>th</sup> day of ---, 2019 by the following vote of the Elko City Council.

VOTE:

AYES:

NAYES:

ABSENT:

ABSTAIN:

CITY OF ELKO

By: \_\_\_\_\_  
REECE KEENER, Mayor

ATTEST:

\_\_\_\_\_  
KELLY WOOLDRIDGE, City Clerk

**Elko City Council  
Agenda Action Sheet**

1. Title: **First reading of proposed Ordinance 844, an Ordinance deleting Title 7 Chapter 6 entitled “Recreational Vehicles” and creating Title 7, Chapter 6 entitled “Off-Highway Vehicles” and establishing rules for operation of off-highway vehicles within the municipal boundaries of the City of Elko, established routes for ingress and egress from the City of Elko to public and private lands where off-highway vehicle use is authorized, and establishing the penalties for violations, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **ORDINANCE**
4. Time Required: **10 Minutes**
5. Background Information: **City Council initiated this ordinance on August 28, 2018, and directed Staff to form a workgroup consisting of City Staff and interested members of the public. The work group met several times. A public hearing was held on January 24, 2019 to garner further public input. KW**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **N/A**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required – No changes to the existing requirements are being made.**
8. Supplemental Agenda Information: **Copy of Ordinance No. 844**
9. Recommended Motion: **Conduct first reading of Ordinance No. 844 and direct City Staff to set the matter for second reading, public hearing, and possible adoption.**
10. Prepared By: **Kelly Wooldridge, City Clerk**
11. Committee/Other Agency Review: **OHV Work Group, City Attorney**
12. Council Action:
13. Agenda Distribution: **[perfjohn@msn.com](mailto:perfjohn@msn.com)  
[chrisjjohnson@frontiernet.net](mailto:chrisjjohnson@frontiernet.net)  
[jsimpson@dps.state.nv.gov](mailto:jsimpson@dps.state.nv.gov)  
[bratliff@dot.nv.gov](mailto:bratliff@dot.nv.gov)  
[morrisc@frontiernet.net](mailto:morrisc@frontiernet.net)  
[myerscharlie@ymail.com](mailto:myerscharlie@ymail.com)**

## ORDINANCE NO. 844

An Ordinance creating Title 7, Chapter 6 entitled "Off-Highway Vehicles" and establishing rules for operation of off-highway vehicles within the municipal boundaries of the City of Elko, established routes for ingress and egress from the City of Elko to public and private lands where off-highway vehicle use is authorized, and establishing the penalties for violations.

**WHEREAS**, NRS 490.100 provides that the City may designate any portion of a highway within its municipal boundaries as permissible for the operation of off-highway vehicles for the purpose of allowing off-highway vehicles to reach a private or public area that is open for use by off-highway vehicles.; and

**WHEREAS**, the City wishes to encourage tourism and use of the outdoor spaces within and in the vicinity of the City and recognizes that visitors to the Elko area routinely lodge in its hotels; and

**WHEREAS**, encouraging tourism by outdoor enthusiasts, including those accessing public lands with off-highway vehicles, will increase room stays and restaurant usage, and generally enhance the local economy.

### **Section 1: Title 7, Chapter 6 is hereby added to read as follows:**

#### **Chapter 6**

#### **USE OF RECREATIONAL OFF-HIGHWAY VEHICLES**

##### **7-6-1: PURPOSE AND INTENT:**

##### **7-6-2: DEFINITION:**

##### **7-6-3: OPERATION:**

##### **7-6-4: EXCEPTIONS:**

##### **7-6-5: PENALTY:**

##### **7-6-1: PURPOSE AND INTENT:**

The purpose of this chapter is to provide reasonable regulations for the use of recreational motor vehicles on publicly owned land. "Public land" is all land owned in fee by a political subdivision of the state within the city limits and under the jurisdiction of the city, excluding therefrom public streets and alleys. This chapter is not intended to allow what state law prohibits nor to prohibit what state law expressly allows. It is intended to prevent a public nuisance. (Ord. 486, 6-10-1997)

##### **7-6-2: DEFINITION:**

"Recreational motor vehicle" means any self-propelled vehicle and any vehicle propelled or drawn by a self-propelled vehicle used for recreational purposes, including a trail bike or other all terrain vehicle, or motor vehicle licensed for highway operation which is being used for off road recreational purposes. (Ord. 486, 6-10-1997)

##### **7-6-3: OPERATION:**

No person shall:

- A. Operate a recreational motor vehicle on public streets or alleys carelessly or recklessly in disregard of the rights or the safety of others or in any manner which endangers or is likely to endanger a person or property.
- B. Operate a recreational motor vehicle on public land within three hundred feet (300') of any inhabited residential, commercial or industrial structure, except in those areas designated in section 7-6-4 of this chapter.
- C. Alter, mutilate or remove any notice or sign relating to recreational motor vehicles on property in which he has no legal interest. (Ord. 486, 6-10-1997)

#### **7-6-4: EXCEPTIONS:**

Notwithstanding the foregoing restrictions, a recreational motor vehicle may be operated on public lands under the jurisdiction of the city if any of the following exceptions apply:

- A. Recreational motor vehicles may be operated by governmental entities for official use.
- B. Recreational motor vehicles may be operated on public land owned by the city in any area officially designated by the city council for use of recreational motor vehicles. If any area is so designated, it shall be depicted on a city map to be kept on file in the office of the city clerk. A copy of the map, together with any applicable rules and regulations governing the use of recreational motor vehicles, shall be provided to any person requesting the information. (Ord. 486, 6-10-1997)

#### **7-6-5: PENALTY:**

Any person convicted of violating any provisions of this chapter shall be penalized in accordance with the provisions of title 1, chapter 3 of this code. (Ord. 486, 6-10-1997)

#### 7-6-1 DEFINITIONS

#### 7-6-2 OPERATOR REQUIREMENTS

#### 7-6-3 ADDITIONAL RESTRICTIONS REGARDING DRIVING OR OPERATING OFF-HIGHWAY VEHICLES

#### 7-6-4 GENERAL RULES AND REGULATIONS

#### 7-6-5 DESIGNATED OFF-HIGHWAY VEHICLE ROUTES

#### 7-6-6 ENFORCEMENT

#### 7-6-7 TOWING AND STORAGE OF OFF-HIGHWAY VEHICLES

#### 7-6-1: DEFINITIONS:

The following words, terms, and phrases, and their derivations, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates different meaning:

HIGHWAY: The entire width between the boundary lines of every way maintained by a public authority when any part of such way is open to the use of the public for purposes of vehicular traffic.

LARGE ALL-TERRAIN VEHICLE: Any all-terrain vehicle that includes seating capacity for at least two people abreast and:

1. Total seating capacity for at least four people; or
2. A truck bed.

OFF HIGHWAY VEHICLE: A motor vehicle that is designed primarily for off-highway and all-terrain use. The term includes, but is not limited to:

(a) An all-terrain vehicle, including, without limitation, a large all-terrain vehicle without regard to whether that large all-terrain vehicle is registered by the Department of Motor Vehicles in accordance with NRS 490.0825 as a motor vehicle intended to be operated upon the highways of this State;

(b) An all-terrain motorcycle;

(c) A dune buggy;

(d) A snowmobile; and

(e) Any motor vehicle used on public lands for the purpose of recreation.

2. The term does not include:

(a) A motor vehicle designed primarily for use in water;

(b) A motor vehicle that is registered by the Department of Motor Vehicles in accordance with Chapter 482 of NRS;

(c) A low-speed vehicle as defined in NRS 484B.637; or

(d) Special mobile equipment, as defined in NRS 482.123.

TOW: To transport an off-highway vehicle to a storage facility using a truck or other vehicle suitable for such purpose.

#### 7-6-2 OPERATOR REQUIREMENTS:

A. Except as otherwise provided in this Chapter or under State law, a person may operate an off-highway vehicle on a highway that is designated as an off-highway vehicle route by resolution of the City Council for the purpose of reaching a private or public area that is open for use by off-highway vehicles.

B. No person under the age of sixteen (16) shall operate an off-highway vehicle on any highway.

C. No person shall operate an off-highway vehicle on any highway unless:

1. The person possesses a valid motor vehicle operator's license in compliance with State law; and

2. A certificate of registration is attached to the off-highway vehicle; provided, a certificate of registration is not required for an off-highway vehicle which:

a. Is owned and operated by:

(1) A federal agency;

(2) An agency of this state; or

(3) A county, incorporated city or unincorporated town in this state;

b. Is part of the inventory of a dealer of off highway vehicles;

c. Is registered or certified in another state and is located in this state for not more than ninety (90) days;

d. Is used solely for husbandry on private land or on public land that is leased to the owner or operator of the off-highway vehicle; or

e. Is used for work conducted by or at the direction of a public or private utility.

D. No person shall operate an off-highway vehicle on a highway for a distance of more than two (2) miles.

E. Required equipment for operation on highway; exception.

Except as otherwise provided in subsection 2 and in addition to the requirements set forth in NRS 490.070, a person shall not operate an off-highway vehicle on a highway unless the off-highway vehicle has:

1. At least one headlamp that illuminates objects at least 500 feet ahead of the vehicle;

2. At least one tail lamp that is visible from at least 500 feet behind the vehicle;

3. At least one red reflector on the rear of the vehicle, unless the tail lamp is red and reflective;

4. A stop lamp on the rear of the vehicle; and

5. A muffler which is in working order and which is in constant operation when the vehicle is running.

F. Except as provided below, no person may operate an off-highway vehicle on a highway for any purpose other than to travel to or from a private or public area that is open for use by off-highway vehicles. Notwithstanding the foregoing, a person may operate an off-highway vehicle on a highway that is not designated for use by off-highway vehicles:

1. If the off-highway vehicle is operated on the highway for the purpose of crossing the highway, comes to a complete stop before crossing and crosses as close as practicable to perpendicular to the direction of travel on the highway;

2. If the off-highway vehicle is operated on the highway for the purpose of loading or unloading the off-highway vehicle onto or off of another vehicle or trailer, if the loading or unloading is as close as practicable to the place of operation of the off-highway vehicle; or

3. During an emergency if it is impossible or impracticable to use another vehicle or if a peace officer directs the operation of the off-highway vehicle.

7-6-3 ADDITIONAL RESTRICTIONS REGARDING DRIVING OR OPERATING OFF-HIGHWAY VEHICLES:

- A. No person who is sixteen (16) years of age or older who owns or possesses an off-highway vehicle may give another person who is under sixteen (16) years of age permission to operate the off-highway vehicle on any highway without regard to whether the highway is designated as an off-highway vehicle route.
- B. The operator of an off-highway vehicle shall wear a helmet.
- C. The operator of an off-highway vehicle shall comply with the Elko Traffic Code (Title 7, Chapter 2).

7-6-4 GENERAL RULES AND REGULATIONS:

- A. No person shall leave or allow any off-highway vehicle to remain unattended on any public highway or public property while the motor is running or with the starting key left in the ignition.
- B. Operation of off-highway vehicles on highways shall only be permitted thirty minutes prior to sunrise and until thirty minutes after sunset.
- C. It shall be unlawful for any person operating an off-highway vehicle to make, permit, continue or cause to be made or to create any unreasonably loud, disturbing and unnecessary noise that is audible to a person with ordinary hearing within one hundred fifty feet (150') of any district zoned residential.

7-6-5 DESIGNATED OFF-HIGHWAY VEHICLE ROUTES:

- A. Off-highway vehicles shall only be used and operated on highways and trails that are designated as off-highway vehicle routes by resolution of the City Council.
- B. The City may post signs establishing designated crossing routes over streets, roads and highways whether or not designated as off-highway vehicle routes.
- C. No person shall operate an off-highway vehicle on a sidewalk

7-6-6 ENFORCEMENT:

- A. A violation of this Chapter shall constitute a criminal offense. Any person violating any provision of this Chapter shall, upon conviction therefor, be punished as provided in Title 1, Chapter 3 of this Code.
- B. Conviction of three (3) violations of this Chapter by an owner or operator of an off-highway vehicle within a three (3) year period shall constitute prima facie evidence of a nuisance and the Court may

make such orders as it deems necessary to abate such nuisance, including, without limitation, an order prohibiting the owner or operator from operating or permitting others to operate an off-highway vehicle on highways within the City.

C. The responsibility for compliance with the provisions of this Chapter shall rest with:

(1) the operator of the off-highway vehicle, and

(2) the owner of the off-highway vehicle who contributes to a violation, or who enables or induces an operator to commit a violation, in which event the operator and owner may be jointly or severally prosecuted for the violation.

D. It shall not be a defense to an alleged violation of this Chapter that the owner or operator of the off-highway vehicle is a minor.

E. A parent or guardian who fails to properly supervise a minor and thereby permits the minor to violate this Chapter may be held liable for the violation committed by the minor.

#### 7-6-7 TOWING AND STORAGE OF OFF-HIGHWAY VEHICLES:

A. Off-highway vehicles may be towed and stored by the City subject to this Section.

B. The City may tow an off-highway vehicle under the following circumstances:

(1) The off-highway vehicle is subject to towing pursuant to Section 7-2-19 of this Code.

(2) The off-highway vehicle constitutes a nuisance pursuant to Title 5, Chapter 1 of this Code, subject to the provisions of that Chapter.

(3) The City is authorized to tow the off-highway vehicle pursuant to state law, subject to all applicable statutory requirements.

C. Off-highway vehicles towed pursuant to this Section shall be stored in a safe place and shall be restored to the owner or operator of such vehicle upon payment of a fee as set by resolution of the City Council, within twenty four (24) hours after the time such off-highway vehicle was removed, plus a fee as set by resolution of the City Council for each additional twenty-four (24) hours or fraction thereof, plus all costs incurred for towing and storing such off-highway vehicle.

**Section 2:** All ordinances or parts of ordinances in conflict herewith are hereby repealed, but only to the extent of such conflict

**Section 3:** If any section, paragraph, clause or provision of this ordinance shall for any reason be held to be invalid, unenforceable, or unconstitutional by a court of competent jurisdiction, the invalidity, unenforceability or provision shall not affect any remaining provisions of this ordinance.

**Section 4:** Upon adoption, the City Clerk of the City of Elko is hereby directed to have this ordinance published by title only, together with the Councilmember voting for or against its passage in a newspaper of general circulation within the time established by law, for at least one publication.

**Section 5:** This Ordinance shall be effective upon the publication mentioned in Section 4  
**PASSED AND ADOPTED** this \_\_\_\_ day of \_\_\_\_\_, 2019 by the following vote of the Elko City Council.

VOTES

AYES:

NAYS:

ABSENT: ABSTAIN:

**APPROVED** this \_\_\_\_ day of \_\_\_\_\_, 2019.

CITY OF ELKO

BY:

\_\_\_\_\_  
REECE KEENER, Mayor

ATTEST:

\_\_\_\_\_  
KELLY WOOLDRIDGE, City Clerk

# Ordinance 844 – OFF HIGHWAY VEHICLES



# PURPOSE

- NRS 490.100 provides that the City may designate any portion of a highway within its municipal boundaries.
- The City wishes to encourage tourism and use of the outdoor spaces within and in the vicinity of the City.





# History

- City Council Initiated an OHV ordinance on 8/28/2019 and directed staff to form a work group to discuss the ordinance details.
- This work group consisted of interested public and City staff. The work group met several times over several months reviewing ordinances in other cities throughout Nevada.
- The City has consulted with the State of Nevada OHV Commission.
- The City held a public hearing workshop to garner further public input on January 24, 2019.

# ORDINANCE 844 - OHV

In Section One:

This ordinance deletes all of

Title 7, Chapter 6 Titled "Recreational Vehicles" and replaces it with Title 7  
Chapter 6 Titled "Off Highway Vehicles"



# ORDINANCE 844 - OHV

## **7-6-1: DEFINITIONS -** All definitions taken from NRS 490.010 in order to remain consistent with State Law.

- OFF HIGHWAY VEHICLE: A motor vehicle that is designed primarily for off-highway and all-terrain use. The term includes, but is not limited to:
  - (a) An all-terrain vehicle, including, without limitation, a large all-terrain vehicle without regard to whether that large all-terrain vehicle is registered by the Department of Motor Vehicles in accordance with NRS 490.0825 as a motor vehicle intended to be operated upon the highways of this State;
  - (b) An all-terrain motorcycle;
  - (c) A dune buggy;
  - (d) A snowmobile; and
  - (e) Any motor vehicle used on public lands for the purpose of recreation.
- 2. The term does not include:
  - (a) A motor vehicle designed primarily for use in water;
  - (b) A motor vehicle that is registered by the Department of Motor Vehicles in accordance with [Chapter 482](#) of NRS;
  - (c) A low-speed vehicle as defined in [NRS 484B.637](#); or
  - (d) Special mobile equipment, as defined in [NRS 482.123](#)

# ORDINANCE 844 - OHV

## 7-6-2 OPERATOR REQUIREMENTS:

For the purpose of reaching a private or public area that is open for use by off-highway vehicles.

- No person under the age of sixteen (16)
- a valid motor vehicle operator's license
- A certificate of registration is attached
- No person shall operate an off-highway vehicle on a highway for a distance of more than two (2) miles.

# ORDINANCE 844 - OHV

## Required Equipment

- One head lamp
- One tail lamp
- A stop lamp on the rear of the vehicle
- A working muffler in constant operation



## ORDINANCE 844 - OHV

Except as provided below, no person may operate an off-highway vehicle on a highway for any purpose other than to travel to or from a private or public area that is open for use by off-highway vehicles. Notwithstanding the foregoing, a person may operate an off-highway vehicle on a highway that is not designated for use by off-highway vehicles:

- Purpose of crossing the highway
- Purpose of loading or unloading the OHV
- During an emergency

# ORDINANCE 844 - OHV

## 7-6-3 ADDITIONAL RESTRICTIONS REGARDING DRIVING OR OPERATING OFF-HIGHWAY VEHICLES:

- Sixteen years old with valid drivers license
- Must wear a helmet (State law)



# ORDINANCE 844- OHV

## 7-6-4 GENERAL RULES AND REGULATIONS:

- Cannot be left unattended with the motor running or key in the ignition
- Only permitted thirty minutes prior to sunrise and thirty minutes after sunset
- Cannot create any unreasonably loud, disturbing and unnecessary noise within 150 feet
- Only used on highways that are designated routes per resolution
- No person shall operate an OHV on a sidewalk.

# ORDINANCE 844 - OHV

## **Designated Routes per Resolution 7-19**

- North 5<sup>th</sup> Street- arterial routes include Idaho Street, Court Street, Elm Street, & Dotta Drive
- West Bullion Road/Hamilton Stage - arterial routes include 12<sup>th</sup> Street to Clarkson Drive (westbound) to South 9<sup>th</sup> to Wilson Avenue or Silver Street to Errecart Drive.
- Kittredge Canyon- arterial routes include East Jennings Way to Ruby Vista to Delaware Drive
- Last Chance Road (to Burner Basin) – arterial routes Include 12th Street to Clarkson Drive (eastbound) to Last Chance Road

# ORDINANCE 844 - OHV

## Signage

The city may post signs establishing designating crossing routes over streets, roads and highways.

# ORDINANCE 844 - OHV

## **7-6-6 ENFORCEMENT:**

- A violation is a criminal offense as provided in Title 1 Chapter 3 of City Code
- Conviction of three (3) violations of this Chapter by an owner or operator of an off-highway vehicle within a three (3) year period shall constitute prima facie evidence of a nuisance and the Court may make such orders as it deems necessary to abate such nuisance, including, without limitation, an order prohibiting the owner or operator from operating an off-highway vehicle on highways within the City.

# ORDINANCE 844 - OHV

## **7-6-6 ENFORCEMENT:**

- The responsibility for compliance with the provisions of this Chapter shall rest with:
  - (1) the operator of the off-highway vehicle, and/or
  - (2) the owner of the off-highway vehicle who contributes to a violation, or who enables or induces an operator to commit a violation, in which event the operator and/or owner may be jointly or severally prosecuted for the violation.
- It shall not be a defense to an alleged violation of this Chapter that the owner or operator of the off-highway vehicle is a minor.
- A parent or guardian who fails to properly supervise a minor and thereby permits the minor to violate this Chapter may be held liable for the violation committed by the minor.

# ORDINANCE 844 - OHV

## **7-6-7 TOWING AND STORAGE OF OFF-HIGHWAY VEHICLES:**

- The City may tow an off-highway vehicle under the following circumstances:
  - (1) The off-highway vehicle is subject to towing pursuant to Section 7-2-19 of this Code.
- (2) The off-highway vehicle constitutes a nuisance pursuant to Title 5, Chapter 1 of this Code, subject to the provisions of that Chapter.
- (3) The City is authorized to tow the off-highway vehicle pursuant to state law, subject to all applicable statutory requirements.

# ORDINANCE 844 - OHV

## Storage

Off-highway vehicles towed pursuant to this Section shall be stored in a safe place and shall be restored to the owner or operator of such vehicle upon payment of a fee as set by resolution of the City Council, within twenty four (24) hours after the time such off-highway vehicle was removed, plus a fee as set by resolution of the City Council for each additional twenty-four (24) hours or fraction thereof, plus all costs incurred for towing and storing such off-highway vehicle.

ORDINANCE 844 - OHV

QUESTIONS???

**Elko City Council  
Agenda Action Sheet**

1. Title: **Ratification of the Police Chief issuing a 30-day Temporary Retail Liquor License and issue a Regular Retail Liquor License, to Richard Estey, Paula Graziano, and Allyson Estey, DBA Bourbon Street Bar #178 (Nevada Restaurant Services, Inc.), located at 2751 Mountain City Hwy, Elko, NV 89801, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **PETITION**
4. Time Required: **5 Minutes**
5. Background Information: **N/A**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **N/A**
9. Recommended Motion: **Ratification of the Police Chief issuing a 30-day Temporary Retail Liquor License and issue a Regular Retail Liquor License, to Richard Estey, Paula Graziano, and Allyson Estey, DBA Bourbon Street Bar #178 (Nevada Restaurant Services, Inc.), located at 2751 Mountain City Hwy, Elko, NV 89801. BR**
10. Prepared By: **Police Chief Ben Reed, Jr.**
11. Committee/Other Agency Review:
12. Council Action:
13. Council Agenda Distribution: 

<b>Richard Estey 3051 Arabian Way Las Vegas, NV 89107</b>	<b>Paula Graziano 1514 Mancha Drive Boulder City, NV 89107</b>
<b>Allyson Estey 2400 Windjammer Way Las Vegas, NV 89107</b>	



## ELKO POLICE DEPARTMENT

---

Ben Reed, Jr.  
Police Chief

1448 Silver Street  
Elko, Nevada 89801  
775.777.7310  
775.738.1415 Fax  
www.elkocity.com

DATE: July 11, 2019

TO: Curtis Calder, City Manager

FROM: Ben Reed, Jr., Police Chief *BR/01*

SUBJECT: Retail Liquor License Application in the name of Nevada Restaurant Services Inc., DBA Bourbon Street Bar #178, located at 2751 Mountain City Hwy, Elko, NV 89801

On June 19, 2019, Richard Estey, Paula Graziano, and Allyson Estey made application for a Retail Liquor License in the name of Bourbon Street Bar #178, located at the above address.

All three applicants have successfully completed the required background investigation.

I am requesting the Elko City Council approve the request for a Packaged Liquor License Application in the name of Nevada Restaurant Services Inc., DBA Bourbon Street Bar #178, located at 2751 Mountain City Hwy, Elko, NV 89801.

BR/tle

CC: Mayor Keener

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible action to adopt Resolution No. 14-19, a resolution of the Elko City Council adopting a change in zoning district boundaries from PQP (Public, Quasi-Public) to R1 (Single Family Residential) zoning district, approximately 8.02 acres of property located generally north of the intersection of Celtic Way and El Armuth Drive, filed by Bailey & Associates, and processed as Rezone No. 2-19, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **PUBLIC HEARING**
4. Time Required: **10 Minutes**
5. Background Information: **The Planning Commission considered the subject zone change request on July 2, 2019 and took action to forward a recommendation to City Council to adopt a resolution which approves Rezone No. 2-19. CL**
6. Budget Information:  
    Appropriation Required: **N/A**  
    Budget amount available: **N/A**  
    Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Resolution, P.C. action report, Staff report and related correspondence**
9. Recommended Motion: **Adopt Resolution No. 14-19 as recommended by the Planning Commission**
10. Prepared By: **Cathy Laughlin, City Planner**
11. Committee/Other Agency Review: **Planning Commission**
12. Council Action:
13. Agenda Distribution: **Bailey & Associates. LLC  
780 West Silver Street #104  
Elko, NV 89801  
[jbaileype@gmail.com](mailto:jbaileype@gmail.com)**

Upon introduction and motion by Councilman \_\_\_\_\_ and seconded by Councilman \_\_\_\_\_ the following Resolution and Order was passed and adopted:

**CITY OF ELKO  
RESOLUTION NO. 14-19**

**A RESOLUTION OF THE ELKO CITY COUNCIL  
ADOPTING A CHANGE IN ZONING DISTRICT BOUNDARIES**

WHEREAS, the Elko City Council has conducted a public hearing in accordance with Nevada Revised Statutes, Section 278.260 and the Elko City Code, Section 3-2-21(C), and

WHEREAS, the Elko City Council has received and reviewed the application submitted by Bailey & Associates, LLC (petitioner), together with any public input, supporting data and evidence, and the previous action taken by the Planning Commission pertaining to Rezone Application No. 2-19.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED BY THE ELKO CITY COUNCIL that Rezone Application No. 2-19, involving a change in zoning from PQP (Public, Quasi-Public) to R1 (Single Family Residential) involving approximately 8.02 acres of property located generally on the northeast corner of the intersection of Celtic Way and El Armuth Drive, more particularly described in Exhibit A and shown on the maps at Exhibit B and C attached hereto is hereby adopted.

IT IS FURTHER RESOLVED AND ORDERED that this Resolution shall be signed by the Mayor and attested to by the City Clerk.

PASSED AND ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2019.

CITY OF ELKO

By: \_\_\_\_\_  
REECE KEENER, MAYOR

ATTEST:

\_\_\_\_\_  
KELLY C. WOOLDRIDGE, CITY CLERK

VOTE:

AYES:

NAYS:

ABSENT:

ABSTAIN:

MAY 29 2019

APN 001-660-041  
LEGAL DESCRIPTION

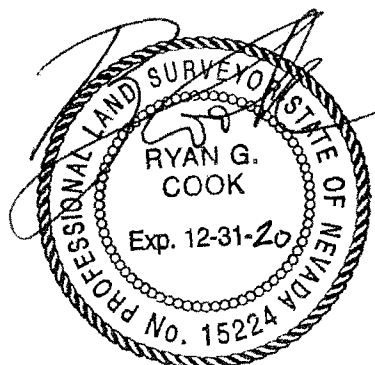
Two parcels of land being all of Parcel A as shown on that certain Parcel Map for CG Properties, Inc. filed in the office of the County Recorder of Elko County, State of Nevada, on July 19, 1989, as File No. 279073, and all of Parcel 2 of Grant, Bargain and Sale Deed Document 750907, recorded January 23, 2019, Official Records of Elko County, Nevada, situate within the Northeast Quarter of Section 17, T34N, R55E, MDM, being more particularly described as follows:

Beginning at the Northwest corner of said Parcel A;  
thence along the North boundary of said Parcel A North 89°41'39" East a distance of 577.18 feet to the Northwest corner of said Parcel 2;  
thence departing said North boundary and along the North boundary of said Parcel 2 North 89°41'39" East a distance of 2.04 feet to the Northeast corner of said Parcel 2, also being the Northwest corner of the exterior boundary of Clover Hills Subdivision Phase 4, File No. 293681, recorded July 3, 1990, in said Official Records;  
thence departing said North boundary and along the East boundary of said Parcel 2, also being the West exterior boundary of said Clover Hills Subdivision Phase 4, South 00°35'03" East a distance of 603.22 feet to the Southeast corner of said Parcel 2, also being the Southwest corner of the exterior boundary of said Clover Hills Subdivision Phase 4;  
thence departing the East boundary of said Parcel 2 and said West exterior boundary, and along the South boundary of said Parcel 2, also being along the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 1.17 feet to the Southwest corner of said Parcel 2, and Southeast corner of said Parcel A;  
thence departing the South boundary of said Parcel 2, and along the South boundary of said Parcel A and the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 578.86 feet to the Southwest corner of said Parcel A;  
thence departing said South boundary and said North right-of-way, and along the West boundary of said Parcel A North 00°30'23" West a distance of 602.93 feet to the Point of Beginning.

Said parcel contains an area of approximately 8.02± acres.

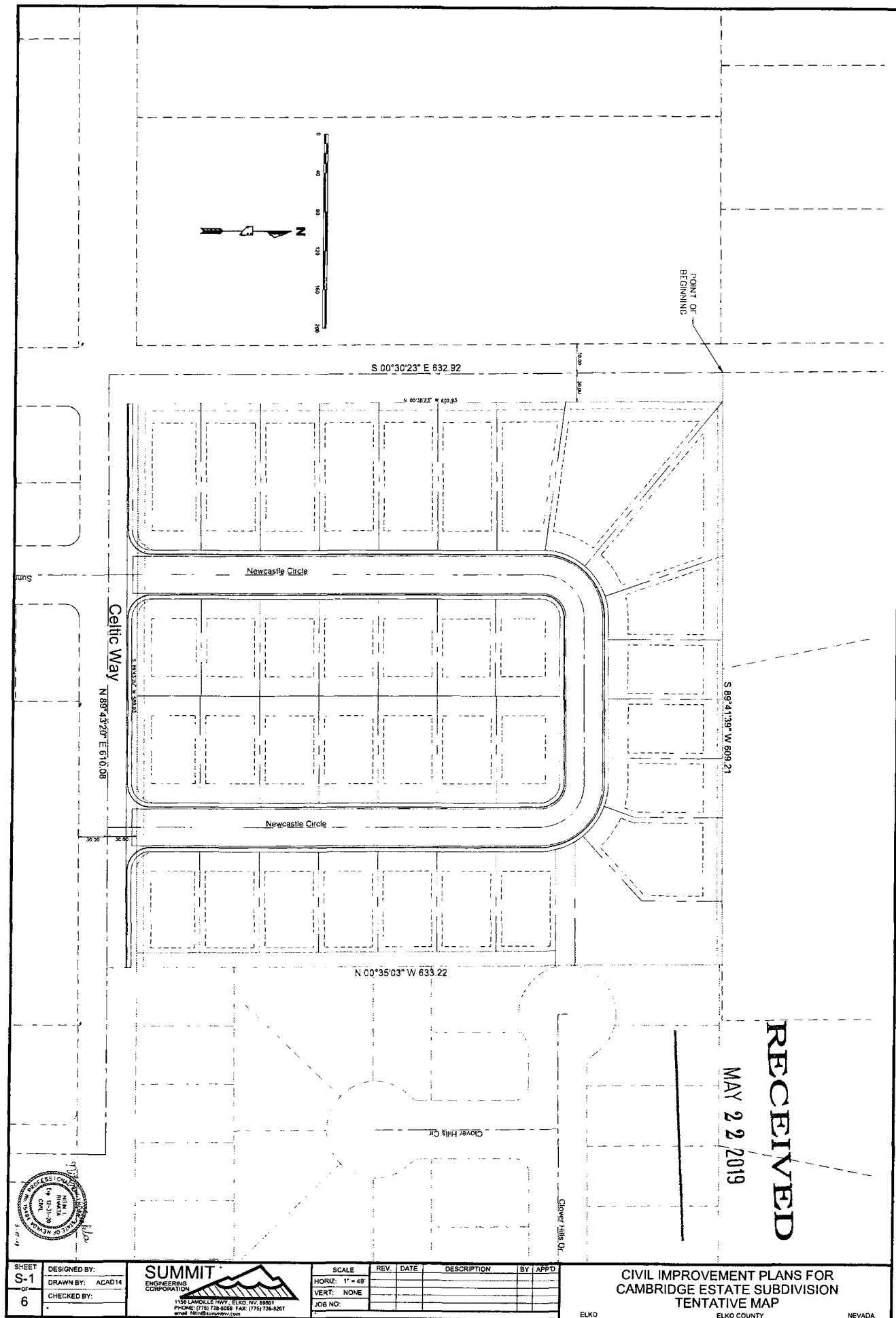
Basis of Bearings: National Spatial Reference System NAD 83(2007) epoch 2007.00 per the City of Elko broadcasted latitude, longitude and ellipsoid height for the City of Elko CORS of North 40°50'38.57413", West 115°45'09.58441", and 5047.334 feet. The projection used for this site is the Nevada State Plane Coordinate Zone, East Zone using U.S. Survey feet and scaling the State Plane grid coordinates by a combined grid to ground factor of 1.000357.

Description Prepared By:  
Ryan G. Cook, PLS 15224  
Summit Engineering Corporation  
5405 Mae Anne Ave., Reno, NV 89523  
775-747-8550



5-20-2019

Exhibit B



SHEET  
S-1  
OF  
6

DESIGNED BY:  
DRAWN BY: ACAD14  
CHECKED BY:

**SUMMIT**  
ENGINEERING  
CORPORATION  
1100 LANDVILLE HWY., ELKO, NV. 89801  
PHONE: (775) 738-6258 FAX: (775) 738-6267  
www.summit-engineering.com

SCALE	REV.	DATE	DESCRIPTION	BY	APPD.
HORIZ: 1" = 40'					
VERT: NONE					
JOB NO:					

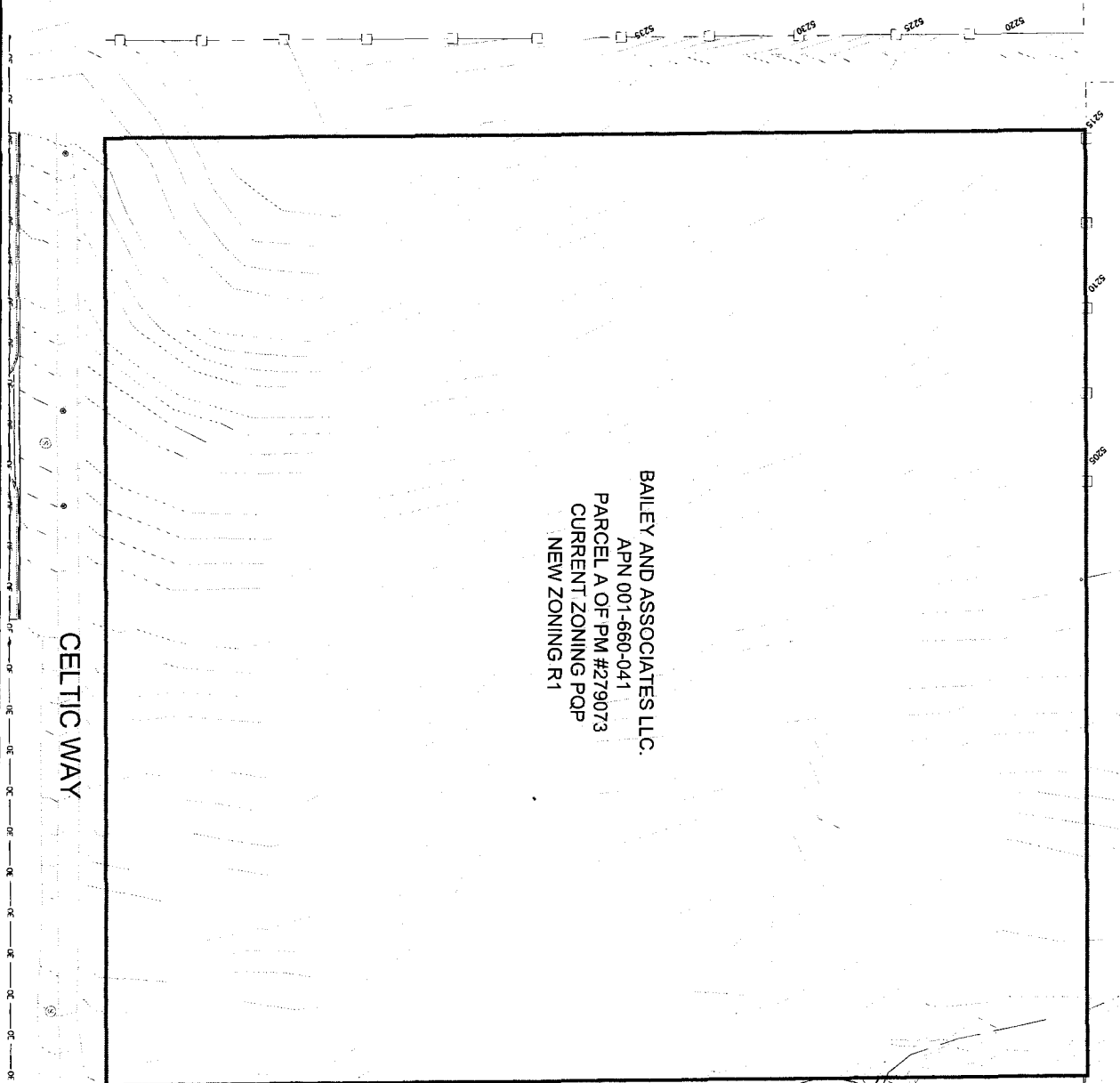
CIVIL IMPROVEMENT PLANS FOR  
CAMBRIDGE ESTATE SUBDIVISION  
TENTATIVE MAP

ELKO

ELKO COUNTY

NEVADA

WENNER, G&S  
 APN 006-09F-043  
 PARCEL 1 PM 226644  
 1720 CELTIC WAY



BAILEY AND ASSOCIATES LLC.  
 APN 001-660-041  
 PARCEL A OF PM #279073  
 CURRENT ZONING PCP  
 NEW ZONING R1

CELVIC WAY

RECEIVED  
 MAY 22 2019

CLOVER HILLS CIRCLE



SHEET  
 S-1  
 OF  
 1

DESIGNED BY:  
 DRAWN BY: ACAD14  
 CHECKED BY:

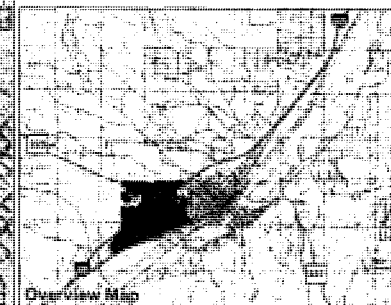
**SUMMIT**  
 ENGINEERING  
 CORPORATION  
 1150 LAMOLLE HWY. ELKO, NV 89801  
 PHONE (775) 738-4556 FAX (775) 738-4597  
 email: info@summiteng.com

SCALE	REV.	DATE	DESCRIPTION	BY	APPD.
HORIZ: 1" = 40'					
VERT: NONE					
JOB NO:					

CIVIL IMPROVEMENT PLANS FOR  
 CAMBRIDGE ESTATE SUBDIVISION  
 TENTATIVE MAP

ELKO ELKO COUNTY NEVADA

Exhibit C



Legend

- Public Land
- Township/Range
- Section
- County Line

Plat 660

- Page 1
- Page 2
- Page 3
- Page 4
- Page 5

0 250 500 750 1,000  
Feet



This map does NOT represent a survey.  
It is compiled from official records, including  
surveys and deeds. Recorded documents  
should be used for detailed legal information.  
Unless approved by Elko County Assessor,  
other uses are forbidden.

**FOR ASSESSMENT USE ONLY**

Background - 2015 Pictometry Flyover

Last Update 07/14/2018 J.S.

**TO USE THIS MAP:**

To access additional  
pages and supplemental  
maps:

In the Legend, **CLICK** on  
the color associated with  
the map you want to view.

RECEIVED

MAY 22 2019

**STAFF COMMENT FLOW SHEET**  
**PLANNING COMMISSION AGENDA DATE: 7/2**

\*\*Do not use pencil or red pen, they do not reproduce\*\*

Title: Rezone No. 2-19

Applicant(s): Bailey + Associates, LLC

Site Location: NE corner of Celtic Way + El Arroyo Dr. Apn 001-1660-041

Current Zoning: PQP Date Received: 5/17 Date Public Notice: 6/18

COMMENT: This is to rezone Apn 001-1660-041 from PQP to  
R1 to allow for the development of a Single family  
residential subdivision

\*\*If additional space is needed please provide a separate memorandum\*\*

Assistant City Manager: Date: 6/21/19

Recommend approval as presented by staff

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SAW

Initial

City Manager: Date: 6/21/19

No comments / concerns.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CC

Initial



City of Elko  
1751 College Avenue  
Elko, NV 89801  
(775) 777-7160  
FAX (775) 777-7119

## CITY OF ELKO STAFF REPORT

<b>MEMO DATE:</b>	June 11, 2019
<b>PLANNING COMMISSION DATE:</b>	July 2, 2019
<b>APPLICATION NUMBER:</b>	Rezone 2-19
<b>APPLICANT:</b>	Bailey & Associates LLC
<b>PROJECT DESCRIPTION:</b>	Zone amendment from PQP to R1 associated with the subdivision of property, Cambridge Estates Subdivision
<b>ADDITIONAL APPLICATIONS:</b>	Tentative Map 7-19



### **STAFF RECOMMENDATION:**

RECOMMEND APPROVAL, subject to findings of fact, and conditions as stated in this report.

## **PROJECT INFORMATION**

**PARCEL NUMBER:** 001-660-041

**PARCEL SIZE:** 8.02 acres

**EXISTING ZONING:** PQP- Public, Quasi-public

**MASTER PLAN DESIGNATION:** (RES-MD) Residential Medium Density

**EXISTING LAND USE:** Undeveloped

### **NEIGHBORHOOD CHARACTERISTICS:**

- The property is surrounded by:
  - North: Residential in Elko County / Developed
  - West: Residential in Elko County / Developed
  - South: Single Family Residential (R) / Developed
  - East: Single Family Residential (R) / Developed

### **PROPERTY CHARACTERISTICS:**

- The area is currently undeveloped.
- The area has moderately sloping.
- The area is accessed from Celtic Way.

### **MASTER PLAN AND CITY CODE SECTIONS:**

Applicable Master Plans and City Code Sections are:

- City of Elko Master Plan – Land Use Component
- City of Elko Master Plan – Transportation Component
- City of Elko Redevelopment Plan
- City of Wellhead Protection Plan
- City of Elko Zoning – Section 3-2-4 Establishment of Zoning Districts
- City of Elko Zoning – Section 3-2-5 Residential Zoning Districts
- City of Elko Zoning – Section 3-2-21 Amendments
- City of Elko Zoning – Chapter 3 Subdivisions
- City of Elko Zoning – Section 3-8 Flood Plain Management

### **BACKGROUND:**

1. The property is owned by Bailey & Associates LLC.
2. The rezone includes all of APN 001-660-041
3. The area fronts Celtic Way.
4. City utilities are located in the immediate vicinity.
5. Other non-city utilities are located in the immediate area.

6. The application for rezone is based on an application for subdivision of property. As such, the rezone application must comply with section 3-3-5(A) Zoning Amendments.
7. Planning Commission and City Council took action to eliminate the continuation of El Armuth Drive from Celtic Way north to Sagecrest Drive. El Armuth is not a dedicated right-of-way and therefore will not be developed with this project.

#### **MASTER PLAN:**

##### **Land use:**

1. Land Use is shown as Medium Density Residential.
2. Supporting zone districts for Medium Density Residential are Single Family/Multi Family (R), Single Family (R1), Two Family (R2), Planned Unit Development (PUD), Residential Office (RO), Residential Business (RB), Mobile Home Subdivision (RMH-2), and Manufactured Home Subdivision (RMH-3).
3. Zone classification of the properties are required to conform to the Master Plan.
4. Objective 1: Promote a diverse mix of housing options to meet the needs of a variety of lifestyles, incomes, and age groups.
5. Objective 8: Encourage new development that does not negatively impact County-wide natural systems, or public/federal lands such as waterways, wetlands, drainages, floodplains etc., or pose a danger to human health and safety.

The proposed zone district is in conformance with the Land Use Component of the Master Plan.

##### **Transportation:**

1. The area will be accessed from Celtic Way.
2. Celtic Way is not classified in the Transportation Component, but would be similar in classification to a Residential Collector.

The proposed zone district is compatible with the Transportation Component of the Master Plan and is consistent with the existing transportation infrastructure.

#### **ELKO REDEVELOPMENT PLAN:**

The property is not located within the Redevelopment Area.

#### **ELKO WELLHEAD PROTECTION PLAN:**

1. The property sits outside any capture zone for the City of Elko wells.

The proposed zone district and resultant land use is in conformance with wellhead protection plan.

#### **SECTION 3-2-4 Establishment of Zoning Districts:**

1. No building, structure or land shall hereafter be used or occupied and no building or structure or part thereof shall hereafter be erected, constructed, moved, or structurally altered, unless in conformity with all regulations specified in this subsection for the district in which it is located.
2. No building or other structure shall hereafter be erected or altered:

- a. To exceed the heights required by the current City Airport Master Plan;
  - b. To accommodate or house a greater number of families than as permitted in this chapter;
  - c. To occupy a greater percentage of lot area; or
  - d. To have narrower or smaller rear yards, front yards, side yards or other open spaces, than required in this title; or in any other manner contrary to the provisions of this chapter.
3. No part of a required yard, or other open space, or off street parking or loading space, provided in connection with any building or use, shall be included as part of a yard, open space, or off street parking or loading space similarly required for any other building.
  4. No yard or lot existing on the effective date hereof shall be reduced in dimension or area below the minimum requirements set forth in this title. The property meets the area requirements for the proposed zone district.

The proposed zone district is in conformance with Elko City Code Section 3-2-4(B).

**SECTION 3-2-5 (B) – Single Family Residential**

1. The existing development meets the requirements under 3-2-5(G) for minimum area, minimum lot depth, front and rear yard setbacks, side yard setback and maximum building height. Several of the lots do not appear to meet the minimum lot width requirement and will be evaluated with the Tentative Map application and will be required to have a modification of standards approved.
2. As the property develops, it will be required to be consistent with the listed principal uses permitted.

The proposed zone district is in conformance with Elko City Code Section 3-2-5 (B) and (G) with the approval of a modification of standards for minimum lot width if required.

**SECTION 3-2-21:**

The application is in conformance with Elko City Code 3-2-21.

**SECTION 3-3-5**

1. The application for change of zoning district boundaries shall be heard by the Planning Commission at the same meeting as the tentative map is considered, but shall be acted upon as a separate item. The application for change of zoning district boundaries shall be heard prior to the action item for possible approval of the tentative map. When a tentative map constitutes only one unit of a larger development intended for progressive maps, the change of zoning district boundaries may be limited to the area contained in the tentative map application. Any required change of zoning district boundaries shall have been approved by the City Council prior to tentative map approval. A change of zoning district boundaries required under this Section must, without limitation, conform to all applicable master plan(s) adopted by the City.

The proposed zone district is in conformance with Elko City Code Section 3-3-5(A).

**SECTION 3-8:**

The proposed zone district is not located in a designated in a Special Flood Hazard Area (SFHA).

**FINDINGS:**

1. The proposed zone district is in conformance with the Land Use Component of the Master Plan.
2. The proposed zone district is compatible with the Transportation Component of the Master Plan and is consistent with the existing transportation infrastructure.
3. The property is not located within the Redevelopment Area.
4. The proposed zone district and resultant land use is in conformance with City Wellhead Protection Plan.
5. The proposed zone district is in conformance with Elko City Code Section 3-2-4(B).
6. The proposed zone district is in conformance with Elko City Code Section 3-2-5 (B) and (G).
7. The application is in conformance with Elko City Code 3-2-21.
8. The proposed zone district is in conformance with Elko City Code Section 3-3-5(A).
9. The proposed zone district is not located in a designated Special Flood Hazard Area (SFHA).
10. The proposed zone district is consistent with surrounding land uses.
11. Development under the proposed zone district will not adversely impact natural systems, or public/federal lands such as waterways, wetlands, drainages, floodplains etc., or pose a danger to human health and safety.

**STAFF RECOMMENDATION:**

Staff recommends this item be approved as presented.

# Rez 2-19 Bailey + Associates, LLC - CC

YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
001994025	BELL, JEFFREY ET AL		1526 CLOVER HILLS DR	ELKO NV	89801-7917
001994002	CHAPPELL, JENNY L ET AL		1542 CELTIC WAY	ELKO NV	89801-4775
001994019*	CHAVEZ, GREGORY NATHAN		3117 CLOVER HILLS CIR	ELKO NV	89801-7929
001991031	COMPSTON, TODD B & KINZIE D		2761 SHADOW RIDGE DR	ELKO NV	89801-7921
001994005	CORNELIUS, JIM & DIANN		1518 CELTIC WAY	ELKO NV	89801-4775
00609F071	CREEK, MICHEL W & ROSE M		1393 ROYAL CREST DR	ELKO NV	89801-7954
001991030	FARMER, KATHRYN & VERNON		2757 SHADOW RIDGE DR	ELKO NV	89801-7921
001994014	GARCIA-GONZALEZ, CESAR U ET AL		3122 CLOVER HILLS CIR	ELKO NV	89801-7928
00166A019	GARDEN, BENJAMIN ET AL		2739 SUNNYSIDE AVE	ELKO NV	89801-7939
001994020*	GOWANS, TODD HUGH & TAMERA A		3121 CLOVER HILLS CIR	ELKO NV	89801-7929
001994027	GROSS, CLINTON DOMINIC ET AL		1518 CLOVER HILLS DR	ELKO NV	89801-7917
00166A012	GUZMAN, MARIVEL		2736 SUNNYSIDE AVE	ELKO NV	89801-7938
001994015	HALL, LARRY E & CAROLJ		3118 CLOVER HILLS CIR	ELKO NV	89801-7928
001994026	HAWKINS, DARROLD D & KAYLA I		475 CEDAR ST	ELKO NV	89801-3223
00609F044	HERNANDEZ, KAREN A ET AL		1730 CELTIC WAY	ELKO NV	89801-4710
001994023*	KLEEB, GEORGE L & DEENA R TR		1534 CLOVER HILLS DR	ELKO NV	89801-7917
001994018	KOMP, GARRY LEE SR & SUSAN CARO		3113 CLOVER HILLS CIR	ELKO NV	89801-7929
00609F067*	KUMP, JEFFREY J & TANIA MICHELL		1723 CELTIC WAY	ELKO NV	89801-4720
001994003	LEMMON, ALEX & KATIE		1534 CELTIC WAY	ELKO NV	89801-4775
001994021	LINO, ANGEL		1523 CLOVER HILLS DR	ELKO NV	89801-7916
00166A014	LUCERO, CREGG C ET AL		2744 SUNNYSIDE AVE	ELKO NV	89801-7938
00609F058	LYNCH, SCOTT E		3301 BEVERLY CIR	ELKO NV	89801-4785
00166A016*	MCANANY, CHRISTOPHER D ET AL		1703 CELTIC WAY	ELKO NV	89801-4720
001994016	MILDREN, NATHANAEL & REBECCA		3114 CLOVER HILLS CIR	ELKO NV	89801-7928
001994024	MONROY, GUADALUPE		1530 CLOVER HILLS DR	ELKO NV	89801-7917
00166A015*	MORQUECHO, GUSTAVO		2748 SUNNYSIDE AVE	ELKO NV	89801-7938
00609F037	MUELLER, WILLIAM F & DIANE B TR		1500 ROYAL CREST DR	ELKO NV	89801-4719
00166A020	NICHOLAS RENTALS LLC		2731 SUNNYSIDE AVE	ELKO NV	89801-7939
001994006	OVERHOLSER, SHECKY JAMES		1085 IDAHO ST	ELKO NV	89801-3920
001991032	PETERSON, HALYNA VIKTOROVNA		2765 SHADOW RIDGE DR	ELKO NV	89801-7921
001994004	ROMERO, ERIK TR ET AL		1526 CELTIC WAY	ELKO NV	89801-4775
00166A013	SANDOVAL, JUAN J		2740 SUNNYSIDE AVE	ELKO NV	89801-7938
001660011*	SCOTT REUTNER PROPERTIES LLC		1770 SHARP ACCESS RD	ELKO NV	89801-4023

001991002 SHAFFMASTER, ELIZABETH J TR  
00609F038\*SHIPPY, DOUGLAS G & CRYSTAL C  
001994017 SIMMONS, LANCE K & MOLLY L  
001991033 SIMON, NIKKAYLA J ET AL  
001991001 SMITH, THOMAS E  
00166A017\*STEPHENS, LEE R & VANT  
001994022\*STITZEL, LANCE C & GINA N  
001991003 SWENSON, BRUCE C & TERRI L  
001994001\*TANNER, JOHN R & NAOMI  
00166A018 TORRES, CHRIS V ET AL  
00609F072 TROWBRIDGE, DONALD R TR ET AL  
00609F039\*VASQUEZ, JOSE A ET AL  
00609F043\*WENNER, GREGORY D & SHERRY L  
001994013 YOUNG, TIMOTHY G & JACITA R  
00609F057 ZEISZLER, BRIAN K & STACEY L

2766 SHADOW RIDGE DR	ELKO NV	89801-7920
567 POPLAR DR	SPRING CREEK NV	89815-6134
3110 CLOVER HILLS CIR	ELKO NV	89801-7928
2769 SHADOW RIDGE DR	ELKO NV	89801-7921
1515 CELTIC WAY	ELKO NV	89801-4777
1707 CELTIC WAY	ELKO NV	89801-4720
1527 CLOVER HILLS DR	ELKO NV	89801-7916
2762 SHADOW RIDGE DR	ELKO NV	89801-7920
1550 CELTIC WAY	ELKO NV	89801-4775
2743 SUNNYSIDE AVE	ELKO NV	89801-7939
1363 ROYAL CREST DR	ELKO NV	89801-7954
1327 ROYAL CREST DR	ELKO NV	89801-7954
1720 CELTIC WAY	ELKO NV	89801-4710
1511 CLOVER HILLS DR	ELKO NV	89801-7933
3302 BEVERLY CIR	ELKO NV	89801-4785

48

\*= Properties to also receive  
Tm 7-19 public hearing notice

Postmarked  
7/12/19

## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Elko City Council will conduct a public hearing on Tuesday, July 23, 2019 beginning at 5:30 P.M. P.S.T. at Elko City Hall, 1751 College Avenue, Elko, Nevada, and that the public is invited to provide input and testimony on this matter under consideration in person, by writing, or by representative.

The specific items to be considered under public hearing format are:

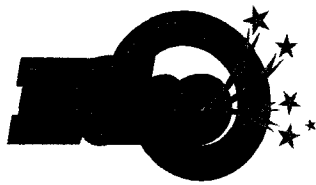
- Rezone 2-19, filed by Bailey & Associates, LLC for a change in zoning from PQP (Public, Quasi-Public) to R1 (Single Family Residential), approximately 8.02 acres of property, specifically APN 001-660-041, located generally on the northeast corner of the intersection of Celtic Way and El Armuth Drive, more particularly described as:  
Two parcels of land being all of Parcel A as shown on that certain Parcel Map for CG Properties, Inc. filed in the office of the County Recorder of Elko County, State of Nevada, on July 19, 1989, as File No. 279073, and all of Parcel 2 of Grant, Bargain and Sale Deed Document 750907, recorded January 23, 2019, Official Records of Elko County, Nevada, situate within the Northeast Quarter of Section 17, T34N, R55E, MDM, being more particularly described as follows:  
Beginning at the Northwest corner of said Parcel A;  
Thence along the North boundary of said Parcel A North 89°41'39" East a distance of 577.18 feet to the Northwest corner of said Parcel 2;  
Thence departing said North boundary and along the north boundary of said Parcel 2 North 89°41'39" East a distance of 2.04 feet to the Northeast corner of said Parcel 2, also being the Northwest corner of the exterior boundary of Clover Hills Subdivision Phase 4, File No. 293681, recorded July 3, 1990, in said Official Records;  
Thence departing said North boundary and along the East boundary of said Parcel 2, also being the West exterior boundary of said Clover Hills Subdivision Phase 4, South 00°35'03" East a distance of 603.22 feet to the Southeast corner of said Parcel 2, also being the Southwest corner of the exterior boundary of said Clover Hills Subdivision Phase 4;  
Thence departing East boundary of said Parcel 2 and said West exterior boundary, and along the South boundary of said Parcel 2, also being along the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 1.17 feet to the Southwest corner of said Parcel 2, and Southeast corner of said Parcel A;  
Thence departing the South boundary of said Parcel 2, and along the South boundary of said Parcel A and the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 578.86 feet to the Southwest corner of said Parcel A;  
Thence departing said South boundary and said North right-of-way, and along the West boundary of said Parcel A North 00°30'23" West a distance of 602.93 feet to the Point of Beginning.  
Said parcel contains an area of approximately 8.02 acres.  
Basis of Bearings: National Spatial Reference System NAD 83(2007) epoch 2007.00 per the City of Elko broadcasted latitude, longitude, and ellipsoid height for the City of Elko CORS of North 40°50'38.57413", West 115°45'09.58441", and 5047.334 feet. The projection used for this site is the Nevada State Plane Coordinate Zone, East Zone using

U.S. Survey feet and scaling the State Plane grid coordinates by a combined grid to ground factor of 1.000357.

The intent of the zone change is to allow for a single family residential subdivision.

Additional information concerning this item may be obtained by contacting the Elko City Planning Department at (775) 777-7160.

**ELKO CITY COUNCIL**



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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### CITY OF ELKO PLANNING COMMISSION ACTION REPORT Regular Meeting of July 2, 2019

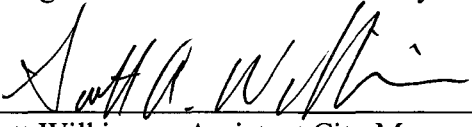
WHEREAS, the following item was reviewed and considered by the Elko City Planning Commission on July 2, 2019 under Public Hearing format in accordance with notification requirements contained in N.R.S. 278.260 and Elko City Code Section 3-2-21:

Rezone No. 2-19, filed by Bailey & Associates LLC, for a change in zoning from PQP (Public, Quasi-Public) to R1 (Single Family Residential) zoning district, approximately 8.02 acres of property, and matters related thereto.

The subject property is generally located on the northeast corner of the intersection of Celtic Way and El Armuth Drive. (APN 001-660-041)

NOW THEREFORE, upon review and consideration of the application, supporting data, public input and testimony, the Planning Commission forwarded a recommendation to City Council to adopt a resolution which approves Rezone No. 2-19.

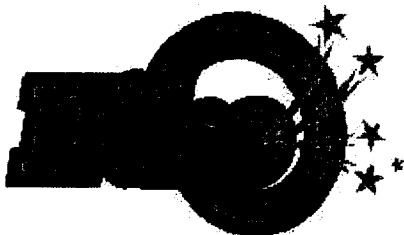
The Planning Commission's findings to support its recommendation are the proposed zone district is in conformance with the Land Use Component of the Master Plan. The proposed zone district is compatible with the Transportation Component of the Master Plan and is consistent with the existing transportation infrastructure. The property is not located within the Redevelopment Area. The proposed zone district and resultant land use is in conformance with the City Wellhead Protection Plan. The proposed zone district is in conformance with Elko City Code Section 3-2-4(B). The proposed zone district is in conformance with Elko City Code Section 3-2-5(B) and (G). The application is in conformance with Elko City Code 3-2-21. The proposed zone district is in conformance with Elko City Code Section 3-3-5(A). The proposed zone district is not located in a designated Special Flood Hazard Area (SFHA). The proposed zone district is consistent with surrounding land uses. Development under the proposed zone district will not adversely impact natural systems, or public/federal lands such as waterways, wetlands, drainages, floodplains etc., or pose a danger to human health and safety.

  
\_\_\_\_\_  
Scott Wilkinson, Assistant City Manager

Attest:

  
\_\_\_\_\_  
Shelby Archuleta, Planning Technician

CC: Applicant  
Kelly Wooldridge, City Clerk



## CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue \* Elko \* Nevada \* 89801

(775) 777-7160 phone \* (775) 777-7219 fax

### APPLICATION FOR ZONE CHANGE

APPLICANT(s):	Bailey & Associates LLC		
MAILING ADDRESS:	780 West Silver Street #104		
PHONE NO (Home)	775-385-3659	(Business)	775-777-7776
NAME OF PROPERTY OWNER (If different):	Same as Above <i>(Property owner's consent in writing must be provided.)</i>		
MAILING ADDRESS:	780 West Silver Street #104		
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):			
ASSESSOR'S PARCEL NO.:	001-660-041	Address	
Lot(s), Block(s), & Subdivision			
Or Parcel(s) & File No.	PARCEL A OF FILE #279073		

#### **FILING REQUIREMENTS:**

**Complete Application Form:** In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1<sup>st</sup> Tuesday of every month).

**Fee:** A \$500.00 non-refundable filing fee.

**Area Map:** A map of the area proposed for this zone change must be provided.

**Plot Plan:** A plot plan provided by a properly licensed surveyor depicting the existing condition drawn to scale showing property lines, existing and proposed buildings, building setbacks, distances between buildings, parking and loading areas, driveways and other pertinent information must be provided.

**Legal Description:** A complete legal description of the boundary of the proposed zone change must be provided as well as a map depicting the area to be changed stating the wording: area to be changed from "x" to "x"; (LI to R, for example).

**Note:** One .pdf of the entire application must be submitted as well as one set of legible, reproducible plans 8 1/2" x 11" in size. If the applicant feels the Commission needs to see 24" x 36" plans, 10 sets of pre-folded plans must be submitted.

**Other Information:** The applicant is encouraged to submit other information and documentation to support this Rezone Application.

RECEIVED

1. Identify the existing zoning classification of the property: Zoned PQP

2. Identify the zoning Classification being proposed/requested: R1 - Residential

3. Explain in detail the type and nature of the use anticipated on the property:  
subject parcel is to be divided into a 35 lot subdivision.

4. Explain how the proposed zoning classification relates with other zoning classifications in the area: The subject property is surrounded by existing residential home and lots.

5. Identify any unique physical features or characteristics associated with the property:  
No unique physical features or characteristics have been observed or present.

**(Use additional pages if necessary to address questions 3 through 5)**

**By My Signature below:**

☒ I consent to having the City of Elko Staff enter on my property for the sole purpose of inspection of said property as part of this application process.

☐ I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not affect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)

☒ I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.

☒ I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.

☒ I have carefully read and completed all questions contained within this application to the best of my ability.

**Applicant / Agent**

**Jon Bailey**

(Please print or type)

**Mailing Address**

**780 West Silver Street #104**

Street Address or P.O. Box

**Elko, Nevada - 89801**

City, State, Zip Code

Phone Number:

**775-385-3659**

Email address:

**jbaileype@gmail.com**

**SIGNATURE:**

*Jon Bailey* (managing member)

---

**FOR OFFICE USE ONLY**

**File No.:** 2-19 **Date Filed:** 5-17-19 **Fee Paid:** \$500 CK#31450

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**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible action to adopt Resolution No. 15-19, a resolution and order vacating a portion of the 3<sup>rd</sup> Street Right-of-Way adjacent to APN 001-224-009, consisting of an area approximately 900 square feet, filed and processed as Vacation No. 3-19 filed by David and Juliane Ernst, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **PUBLIC HEARING**
4. Time Required: **10 Minutes**
5. Background Information: **Council accepted a petition for the subject vacation at its regular meeting of June 11, 2019, and directed Staff to continue with the vacation process by referring the matter to the Planning Commission. The Planning Commission considered the vacation at its regular meeting July 2, 2019, and took action to forward a recommendation to Council to adopt a resolution, which conditionally approves Vacation No. 3-19 with findings in support of its recommendation. CL**
6. Budget Information:  

Appropriation Required: **N/A**  
Budget amount available: **N/A**  
Fund name: **N/A**
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Resolution, P.C. action report, Staff report, application and related materials**
9. Recommended Motion: **Adopt Resolution No. 15-19, which contains conditions as recommended by the Planning Commission.**
10. Prepared By: **Cathy Laughlin, City Planner**
11. Committee/Other Agency Review: **Planning Commission and required local utility companies**
12. Council Action:
13. Agenda Distribution: **Jacques Errecart  
518 Commercial Street  
Elko, NV 89801  
[jacquesg518@gmail.com](mailto:jacquesg518@gmail.com)  
  
Juliane & David Ernst  
15530 Donnybrook Ct  
Reno, NV 89511**

**CITY OF ELKO  
RESOLUTION NO. 15-19**

**A RESOLUTION AND ORDER VACATING A PORTION OF THE 3<sup>RD</sup> STREET  
RIGHT-OF-WAY APPROXIMATELY 900 SQUARE FEET AND ADJACENT TO APN  
001-224-009 WHICH IS LOCATED WITHIN THE CITY OF ELKO, NEVADA, TO THE  
ABUTTING PROPERTY OWNER, DAVID R. ERNST AND JULIANE ERNST.**

Upon introduction and motion by Councilman \_\_\_\_\_ and seconded by Councilman \_\_\_\_\_, the following Resolution and Order was passed and adopted:

WHEREAS, the Elko City Council, at a regular meeting held on June 11, 2019, unanimously voted to accept the submitted petition for vacation and further directed City Staff to continue with the vacation process by referring the matter to the Planning Commission for a report of findings and recommendation to be prepared and submitted to the City Council; and,

WHEREAS, the Elko City Planning Commission, at their regular meeting of July 2, 2019, voted to forward a recommendation of approval for the subject vacation; and,

WHEREAS, the Elko City Council finds that a Notice of Intent to vacate a portion of the 3<sup>rd</sup> Street right-of-way was published and mailed by priority mail with confirmation of delivery to all affected property owners, as required by law, as more fully appears from the Affidavit of Publication and Mailing Confirmation(s) on file in the Clerk's Office of the City of Elko; and,

WHEREAS, at the time and place set in the Notice, to-wit: the hour of 5:30 p.m. on July 23, 2019, in the City Hall Council Chambers, Elko, Nevada, a hearing before the Elko City Council was duly held and no persons having appeared to object to the proposed vacation and the City Council having deemed it for the best interests of the City and the public that the area be vacated and that no person or persons would be materially injured thereby; and,

WHEREAS, it appearing to the satisfaction of the Elko City Council that the portion of the 3<sup>rd</sup> Street right-of-way approximately 900 square feet situate in the City of Elko, Nevada, located generally along the southwest property line of APN 001-224-009 is no longer required for public use and convenience and that vacation thereof will inure to the benefit of the City of Elko and be for the best interest of the City and the public, and that neither the public nor any person will be materially injured thereby; the legal description is set forth in Exhibit A with the map as Exhibit B attached hereto and made a part hereof.

NOW, THEREFORE, BE IT RESOLVED AND ORDERED BY THE ELKO CITY COUNCIL as follows:

I.

That the portion of the 3<sup>rd</sup> Street right-of-way situate in the City of Elko, Nevada, described and shown on Exhibits A and B attached hereto, be, and the same is hereby vacated upon fulfillment of the following conditions:

1. **The applicant is responsible for all costs associated with the recordation of the vacation.**
2. **Written response from all non-City utilities is on file with the City of Elko with regard to the vacation in accordance with NRS 278.480(6) before the order is recorded.**

That, subject to the conditions set forth in this Resolution, all right, title interest and estate of the City of Elko in that portion of the 3<sup>rd</sup> Street right-of-way located in the City of Elko as described and shown on Exhibits A and B shall be vacated and title vested in **David R. Ernst and Juliane Ernst, husband and wife, as joint tenants**, as owners of the parcel abutting the property being vacated, provided further that this vacation and the title of the abutting owner received pursuant thereto, shall be subject to all poles, lines, cables, pipes, drains, utility installations and easements now existing.

## II.

That the City of Elko and the Elko City Council, officers and employees thereof, make no warranties, covenants, representations, or guarantees as to the validity of this vacation procedure, or as to the right, title, interest or estate, if any, any person or entity may acquire as the result thereof.

## III.

That the City Clerk of the City of Elko shall certify the copy of this Resolution and Order, and this Resolution and Order shall be recorded upon fulfillment of the above noted conditions, in the Office of the County Recorder of Elko County, Nevada, and be endorsed upon the proper map or plat on file in the Office of said County Recorder, so as to clearly indicate thereon the vacation of the portion of the 3<sup>rd</sup> Street right-of-way as described and shown on Exhibits A and B attached hereto, situate in the City of Elko, Elko County, Nevada.

IT IS FURTHER RESOLVED AND ORDERED that this Resolution shall not be signed and recorded until the conditions are satisfied.

IT IS FURTHER RESOLVED AND ORDERED that upon the above conditions being complied with that this Resolution shall be signed by the Mayor and attested to by the City Clerk.

PASSED AND ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

CITY OF ELKO

By: \_\_\_\_\_  
REECE KEENER, MAYOR

ATTEST:

\_\_\_\_\_  
KELLY C. WOOLDRIDGE, CITY CLERK

VOTE:

AYES:

NAYS:

ABSENT:

ABSTAIN:

**EXHIBIT "A"**

**David R. Ernst and Juliane Ernst,  
Husband and Wife, as Joint Tenants**

**Application for Vacation**

June 21, 2019

A parcel of land located in Section 15, Township 34 North, Range 55 East, M.D.B. & M., City of Elko, Nevada, more particularly described as follows:

Commencing at the most southerly corner of Lot 12 of Block 19 as shown on the Map of the Town of Elko filed in the office of the Elko County Recorder, Elko, Nevada, as document number 1, being Corner No. 1, the True Point of Beginning;

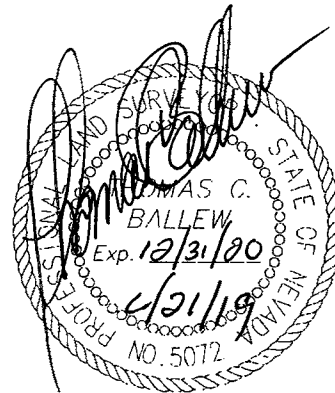
thence North 48°01'53" West, along the southwesterly boundary of said Lot 12, a distance of 100.00 feet to Corner No. 2, being the most westerly corner of said Lot 12;

thence South 41°58'07" West, a distance of 9.00 feet to Corner No. 3;

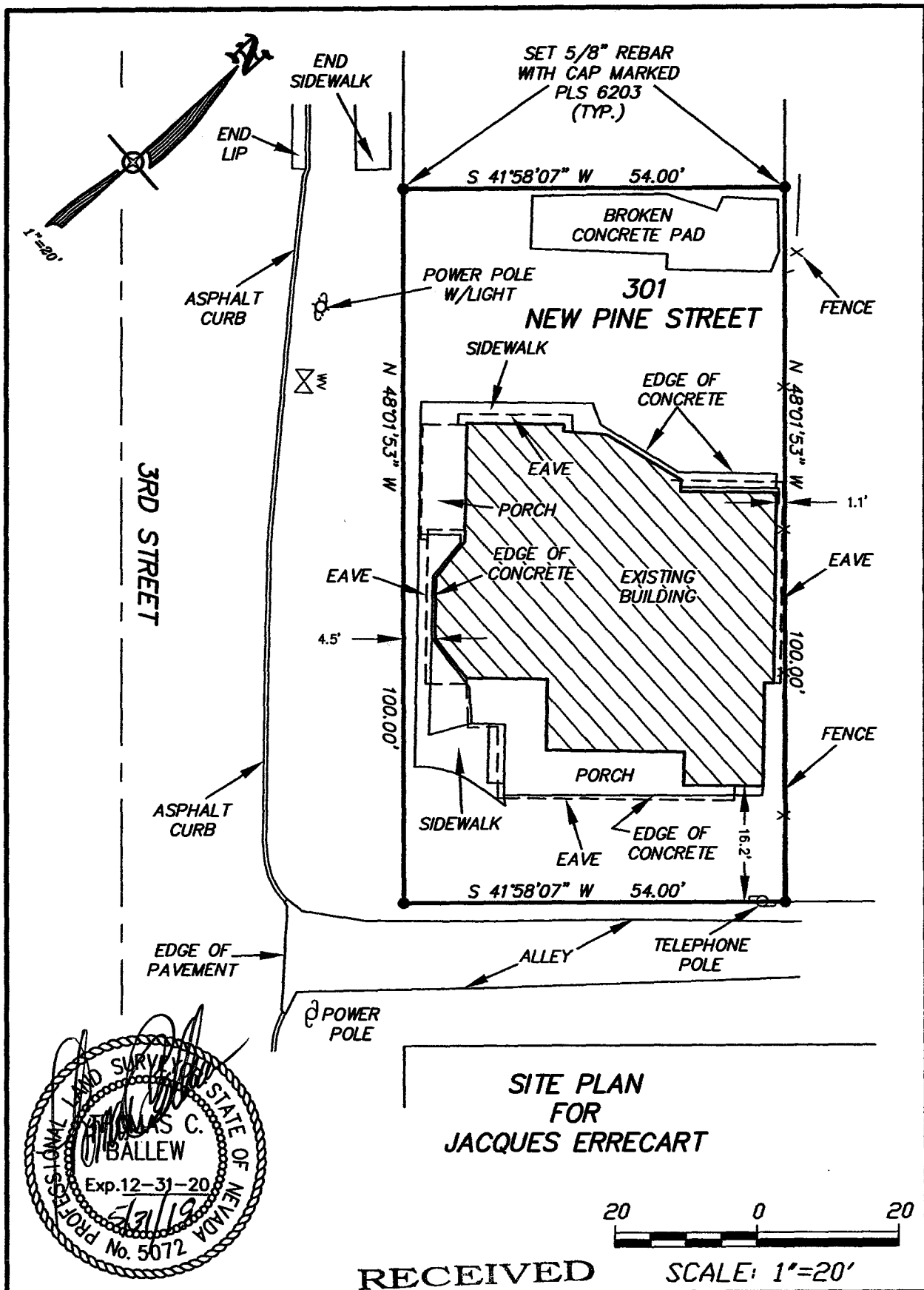
thence South 48°01'53" East, a distance of 100.00 feet to Corner No. 4;

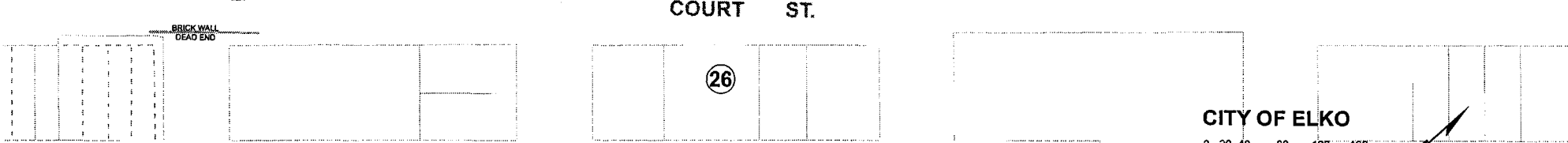
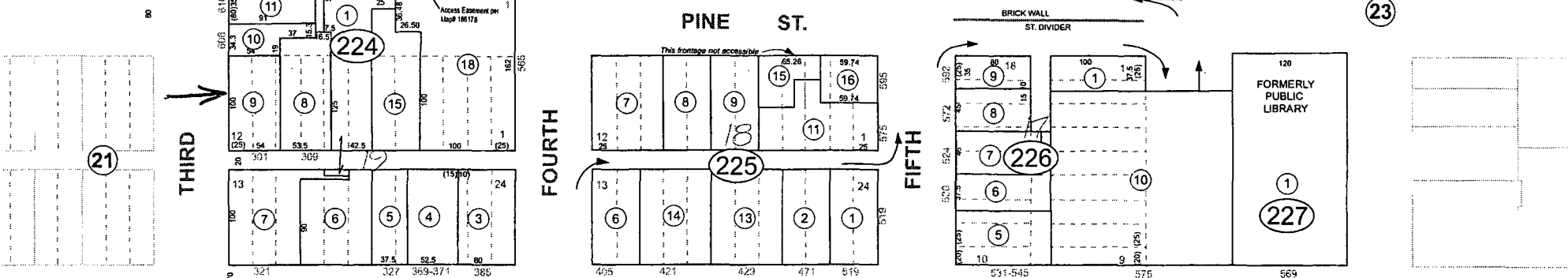
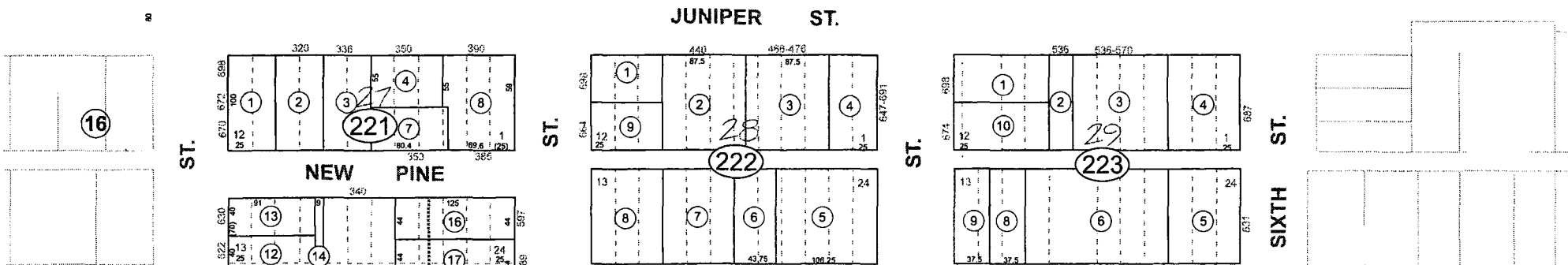
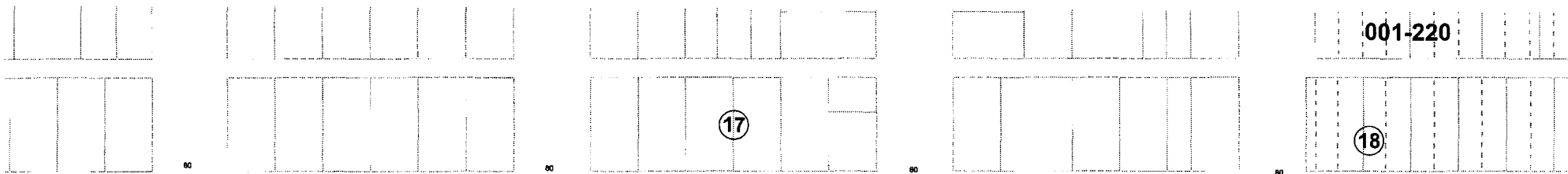
thence North 41°58'07" East, a distance of 9.00 feet to Corner No. 1, the Point of Beginning.

Said parcel contains an area of 900 square feet, more or less.









For assessment use only, does not represent a survey, no liability for accuracy is assured. Other uses forbidden unless approved by Elko County Assessor.

**RECEIVED**

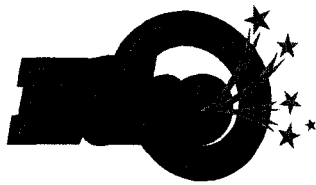
JUN 03 2019

**CITY OF ELKO**

0 20 40 80 120 160 Feet

Revision Docs.  
Parcel Map #186176, 553176, 707716  
Doc #594155

Last Revised: 06/04/2018 JES



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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### CITY OF ELKO PLANNING COMMISSION ACTION REPORT Regular Meeting of July 2, 2019

WHEREAS, the following item was reviewed and considered by the Elko City Planning Commission on July 2, 2019 pursuant to Section 8-7-3 B. of City Code:

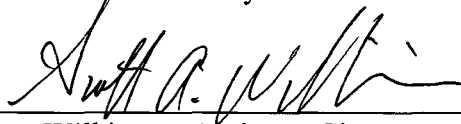
Vacation No. 3-19, filed by David and Juliane Ernst, for the vacation of the northeasterly portion of 3rd Street, consisting of an area approximately 900 sq. ft., and matters related thereto.

The subject property is located generally on the northeast side of 3rd Street, approximately 36' southeast of Pine Street. (604 3rd Street- APN 001-224-009)

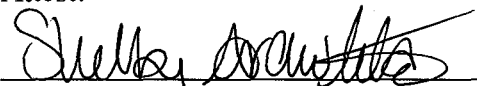
NOW THEREFORE, upon review and consideration of the application, supporting data, public input and testimony, the Planning Commission forwards a recommendation to City Council to adopt a resolution which conditionally approves Vacation No. 3-19 subject to the conditions listed in the City of Elko Staff Report dated June 11, 2019, listed as follows:

1. The applicant is responsible for all costs associated with the recordation of the vacation.
2. Written response from all non-City utilities is on file with the City of Elko with regard to the vacation in accordance with NRS 278.480(6) before the order is recorded.

The Planning Commission's findings to support its recommendation are the proposed vacation is in conformance with the City of Elko Master plan Land Use Component. The proposed vacation is in conformance with the City of Elko Master Plan Transportation Component. The property proposed for vacation is not located within the Redevelopment Area. The proposed vacation is in conformance with NRS 278.479 to 278.480, inclusive. The proposed vacation with the recommended conditions is in conformance with Elko City Code 8-7. The proposed vacation will not materially injure the public and is in the best interest of the City.

  
\_\_\_\_\_  
Scott Wilkinson, Assistant City Manager

Attest:

  
\_\_\_\_\_  
Shelby Archuleta, Planning Technician

CC: Applicant  
Kelly Wooldridge, City Clerk

**NOTICE OF INTENT OF THE CITY OF ELKO  
TO VACATE A PORTION OF THE 3<sup>rd</sup> STREET RIGHT-OF-WAY LOCATED  
GENERALLY ALONG THE SOUTHWEST PROPERTY LINE OF APN 001-224-009,  
ALL WITHIN THE CITY OF ELKO, STATE OF NEVADA**

**NOTICE IS HEREBY GIVEN** that the City Council of the City of Elko intends to vacate a portion of the 3<sup>rd</sup> Street right-of-way located along the southwest property line of APN 001-224-009, situated in the City of Elko, Nevada, and cause title to revert to the owner of the abutting property; i.e. David and Juliane Ernst. The portion of the 3<sup>rd</sup> Street right-of-way to be vacated is more particularly described as follows:

A parcel of land located in Section 15, Township 34 North, Range 55 East, M.D.B.&M., City of Elko, Nevada, more particularly described as follows:

Commencing at the most southerly corner of Lot 12 of Block 19 as shown on the Map of the Town of Elko filed in the office of the Elko County Recorder, Elko, Nevada, as document number 1, being Corner No. 1, the True Point of Beginning ;

Thence North 48°01'53" West, along the southwesterly boundary of said Lot 12, a distance of 100.00 feet to Corner No. 2, being the most westerly corner of said Lot 12

Thence South 41°58'07" West, a distance of 9.00 feet to Corner No. 3;

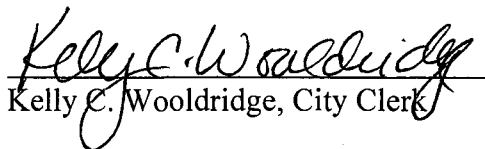
Thence South 48°01'53" East, a distance of 100.00 feet to Corner No. 4;

Thence North 41°58'07" East, a distance of 9.00 feet to Corner No. 1, the Point of Beginning.

Said parcel contains an area of 900 square feet, more or less.

**AND** that the Elko City Council shall further consider the advisability of the vacation of the 3<sup>rd</sup> Street right-of-way, and the adoption of a Resolution and Order vacating the same with the reversion of title as above stated at a meeting of said Council to be held in the Council Chambers at Elko City Hall, 1751 College Avenue, Elko, Nevada, on July 23, 2019 at 5:30 p.m. All interested persons may appear at the meeting of the Council and be heard.

**DATED** this 26<sup>th</sup> day of June 2019.

  
Kelly C. Wooldridge, City Clerk

**PUBLISH:** July 6, 2019

**STAFF COMMENT FLOW SHEET**  
**PLANNING COMMISSION AGENDA DATE: 7/2**

\*\*Do not use pencil or red pen, they do not reproduce\*\*

Title: Vacation No. 3-19

Applicant(s): David + Julianne Ernst

Site Location: 604 3<sup>rd</sup> St. APN 001-224-009

Current Zoning: R Date Received: \_\_\_\_\_ Date Public Notice: N/A

COMMENT: this is to vacate a portion of the 3<sup>rd</sup> Street  
Right-of-way along the southeasterly boundary of APN 001-  
224-009 consisting of 900 sq. ft.

\*\*If additional space is needed please provide a separate memorandum\*\*

Assistant City Manager: Date: 6/21/19

I recommend approval as presented by staff

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SAW

Initial

City Manager: Date: 6/21/19

No comments/concerns.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CC

Initial



City of Elko  
1751 College Avenue  
Elko, NV 89801  
(775) 777-7160  
FAX (775) 777-7119

## **CITY OF ELKO STAFF REPORT**

<b>REPORT DATE:</b>	<b>June 18, 2019</b>
<b>PLANNING COMMISSION DATE:</b>	<b>July 2, 2019</b>
<b>AGENDA ITEM NUMBER:</b>	<b>I.A.2</b>
<b>APPLICATION NUMBER:</b>	<b>Tentative Map 7-19</b>
<b>APPLICANT:</b>	<b>Bailey and Associates, LLC</b>
<b>PROJECT DESCRIPTION:</b>	<b>Cambridge Estates</b>

**A Tentative Map for the proposed division of approximately 8.02 acres of property into 35 lots for residential development within an R1 (Single Family Residential) Zoning District.**



### **STAFF RECOMMENDATION:**

**RECOMMEND CONDITIONAL APPROVAL**, subject to findings of fact, and conditions as stated in this report.



City of Elko  
1751 College Avenue  
Elko, NV 89801  
(775) 777-7160  
FAX (775) 777-7119

## **CITY OF ELKO STAFF REPORT**

<b>MEMO DATE:</b>	<b>June 11, 2019</b>
<b>PLANNING COMMISSION DATE:</b>	<b>July 2, 2019</b>
<b>APPLICATION NUMBER:</b>	<b>Vacation 3-19</b>
<b>APPLICANT:</b>	<b>David and Juliane Ernst</b>
<b>PROJECT DESCRIPTION:</b>	<b>APN 001-224-009</b>

**Vacation of the northeasterly 9'x 100' of 3<sup>rd</sup> Street.**



### **STAFF RECOMMENDATION:**

RECOMMEND to APPROVE subject to findings of fact and conditions stated in this report.

## **PROJECT INFORMATION**

**PARCEL NUMBER:** 001-224-009

**EXISTING ZONING:** R- Single Family and Multiple Family Residential

**MASTER PLAN DESIGNATION:** Medium Density Residential

**EXISTING LAND USE:** Developed, Residential

### **BACKGROUND:**

1. The property has been developed as residential land use.
2. The property owner is proposing to renovate the home with some demolition and new additions.
3. City Council accepted the petition for vacation at their meeting June 11, 2019 and referred the matter to Planning Commission for their review.
4. The area proposed to be vacated is approximately 900 sq. ft.

### **NEIGHBORHOOD CHARACTERISTICS:**

The property is surrounded by:

North: R-Residential / Developed

East: R-Residential / Developed

South: Commercial / Undeveloped

West: R-Residential / Developed

### **PROPERTY CHARACTERISTICS:**

The property is currently developed and has been vacant for many years.

The property has moderate slope to 3<sup>rd</sup> Street as well as to the southeast.

There is no sidewalk along 3<sup>rd</sup> Street and the dedicated alley to the southeast is not developed.

### **MASTER PLAN AND CITY CODES:**

Applicable Master Plans and City Code Sections are:

NRS 278.479 to 278.480, inclusive

City of Elko Master Plan – Land Use Component

City of Elko Master Plan – Transportation Component

City of Elko Redevelopment Plan

City of Elko Code – Section 8-7 Street Vacation Procedures

### **MASTER PLAN – Land Use:**

1. The Master Plan Land Use Atlas shows the area as Medium Density Residential.
2. R- Single Family and Multiple Family Residential is a corresponding zoning district for Medium Density Residential.

The proposed vacation is in conformance with the Master Plan Land Use component.

**MASTER PLAN - Transportation:**

1. The area is accessed from Third Street.
2. Third Street is classified as a Residential Collectors

The proposed vacation is in conformance with the Master Plan Transportation Component.

**REDEVELOPMENT PLAN**

- The area is located outside the Redevelopment Area.

**ELKO CITY CODE SECTION 8-7 STREET VACATION PROCEDURES**

1. If it is determined by a majority vote of the city council that it is in the best interest of the city and that no person will be materially injured thereby, the city council, by motion, may propose the realignment, change, vacation, adjustment or abandonment of any street or any portion thereof. In addition, any abutting owner desiring the vacation of any street or easement or portion thereof shall file a petition in writing with the city council and the city council shall consider said petition as set forth above.
  - The City Council accepted the petition at their meeting on June 11, 2019 and referred the matter to the Planning Commission for further consideration.
2. Except for a petition for the vacation or abandonment of an easement for a public utility owned or controlled by the city, the petition or motion shall be referred to the planning commission, which shall report its findings and recommendations thereon to the city council. The petitioner shall, prior to the consideration of the petition by the planning commission, pay a filing fee to the city in an amount established by resolution of the city council and included in the appendix to this code.
  - The filing fee was paid by the applicant.
3. Whenever any street, easement or portion thereof is proposed to be vacated or abandoned, the city council shall notify by certified mail each owner of property abutting the proposed vacation or abandonment and cause a notice to be published at least once in a newspaper of general circulation in the city setting forth the extent of the proposed vacation or abandonment and setting a date for public hearing, which date may be not less than ten (10) days and not more than forty (40) days subsequent to the date the notice is first published.
4. Order of City Council: Except as provided in subsection E of this section, if, upon public hearing, the City Council is satisfied that the public will not be materially injured by the proposed vacation or abandonment, and that it is in the best interest of the city, it shall order the street vacated or abandoned. The city council may make the order conditional, and the order shall become effective only upon the fulfillment of the conditions prescribed.

The proposed vacation with the recommended conditions is in conformance with Section 8-7 of City code.

**FINDINGS**

- The proposed vacation is in conformance with the City of Elko Master Plan Land Use Component
- The proposed vacation is in conformance with the City of Elko Master Plan Transportation component.
- The property proposed for vacation is not located within the Redevelopment Area.
- The proposed vacation is in conformance with NRS 278.479 to 278.480, inclusive.
- The proposed vacation with the recommended conditions is in conformance with Elko City Code 8-7.
- The proposed vacation will not materially injure the public and is in the best interest of the City.

**STAFF RECOMMENDATION:**

Staff recommends forward a recommendation to City Council to adopt a resolution which conditionally APPROVES the proposed vacation with the following conditions:

1. The applicant is responsible for all costs associated with the recordation of the vacation.
2. Written response from all non-City utilities is on file with the City of Elko with regard to the vacation in accordance with NRS 278.480(6) before the order is recorded.

Vac 3-19 Ernst

YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
001213005	BOGUE, CHARLES ET AL		555 3RD ST	ELKO NV	89801-3189
001224010	HIGGINS, LISA MARIE		PO BOX 263	ELKO NV	89803-0263
001224007	IMMENSCHUH, LOREN A JR ET AL	C/O REESE IMMENSCHUH	PO BOX 271	ZEPHYR COVE NV	89448-0271
001213006	MOODY, SHIRLEY P		503 3RD ST	ELKO NV	89801-3149
001224008	OWENS, LYNNE R		309 NEW PINE ST	ELKO NV	89801-3162

⑤

Post Marked # 7/9/18



012 3RD ST 010 3RD ST

565 4TH ST

421 COURT ST  
CONVERSE CONSULTANT

NEW PINE ST

630 3RD ST

340 NEW PINE ST

360 NEW PINE ST

622 3RD ST

555 4TH ST  
DRAKE APPRAISAL SERVICE

616 3RD ST

559 4TH ST  
CRITTER CUTS

397 COURT ST  
CUSTOM STAINED GLASS

605 3RD ST

309 NEW PINE ST

371 COURT ST

385 COURT ST

247 PINE ST

369 COURT ST

327 COURT ST

229 1/2 PINE ST

3RD ST

604 3RD ST

329 1/2 COURT ST

491 4TH ST  
GERBER LAW OFFICES LL

465 4th S

PINE ST

321 COURT ST

329 COURT ST  
PEARL PRINTING

380 COURT ST  
BOY SCOUTS OF AMERICA

380 COURT ST  
NEVADA LEGAL SERVICE

555 3RD ST

380 COURT ST  
GET DOWN ENTERTAINMEN

264 PINE ST

248 PINE ST

503 3RD ST C  
503 3RD ST B  
503 3RD ST A

220 PINE ST

273 COURT ST

576 2ND ST

249 COURT ST

475 3RD ST  
CENTRE MOTEL

303 IDAHO ST

233 COURT ST

8RD ST

IDAHO ST



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@ci.elko.nv.us](mailto:planning@ci.elko.nv.us)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7119

---

July 9, 2019

001213005  
BOGUE, CHARLES ET AL  
555 3RD ST  
ELKO NV 89801-3189

Re: Vacation No. 3-19/ David & Juliane Ernst

Enclosed please find a copy of the Notice of Intent of David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way along the southwest property line of APN 001-224-009, consisting of an area of approximately 900 square feet, located on the southwest side of APN 001-224-009, and a map depicting the property.

Please read this notice carefully. The date that has been set for this hearing is Tuesday, July 23, 2019 at 5:30 P.M., in Elko City Hall at 1751 College Avenue, Elko, Nevada.

If you have any questions regarding this matter, please do not hesitate to contact the City of Elko Planning Department at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures

USPS TRACKING # **9114 9023 0722 4027 0141 12**  
& CUSTOMER For Tracking or inquiries go to [USPS.com](http://USPS.com)  
RECEIPT or call 1-800-222-1811.

ALERT: PAYMENT TRANSACTIONS ON SOME APPLICATIONS WILL BE TEMPORARILY...

**USPS Tracking®** [FAQs > \(https://www.usps.com/faqs/uspstracking-faqs.htm\)](https://www.usps.com/faqs/uspstracking-faqs.htm)**Track Another Package +****Tracking Number:** 9114902307224027014112

Remove X

**Expected Delivery on****WEDNESDAY****10**JULY  
2019 ⓘ

by

**8:00pm ⓘ**

Feedback

 **Delivered**July 10, 2019 at 9:23 am  
Delivered, In/At Mailbox  
ELKO, NV 89801**Get Updates** ▼

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**Text & Email Updates** ▼

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**Tracking History** ^**July 10, 2019, 9:23 am**Delivered, In/At Mailbox  
ELKO, NV 89801

Your item was delivered in or at the mailbox at 9:23 am on July 10, 2019 in ELKO, NV 89801.

**July 9, 2019, 3:38 pm**

Arrived at Post Office

ELKO, NV 89801

**July 9, 2019, 2:59 pm**

Arrived at USPS Facility

ELKO, NV 89801

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**Product Information**

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**See Less**

## Can't find what you're looking for?

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**FAQs** (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Feedback



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@ci.elko.nv.us](mailto:planning@ci.elko.nv.us)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7119

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July 9, 2019

001213006  
MOODY, SHIRLEY P  
503 3RD ST  
ELKO NV 89801-3149

Re: Vacation No. 3-19/ David & Juliane Ernst

Enclosed please find a copy of the Notice of Intent of David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way along the southwest property line of APN 001-224-009, consisting of an area of approximately 900 square feet, located on the southwest side of APN 001-224-009, and a map depicting the property.

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Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures

USPS TRACKING # **9114 9023 0722 4027 0140 82**  
& CUSTOMER  
RECEIPT For Tracking or inquiries go to [USPS.com](http://USPS.com)  
or call 1-800-222-1811.

ALERT: PAYMENT TRANSACTIONS ON SOME APPLICATIONS WILL BE TEMPORARILY...

# USPS Tracking® FAQs > (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

**Track Another Package +****Tracking Number:** 9114902307224027014082

Remove X

**Expected Delivery on****WEDNESDAY****10**JULY  
2019 ⓘ

by

**8:00pm ⓘ**

Feedback

 **Delivered**July 10, 2019 at 9:08 am  
Delivered, In/At Mailbox  
ELKO, NV 89801**Get Updates** ▾

---

**Text & Email Updates**

---

**Tracking History****July 10, 2019, 9:08 am**Delivered, In/At Mailbox  
ELKO, NV 89801

Your item was delivered in or at the mailbox at 9:08 am on July 10, 2019 in ELKO, NV 89801.

**July 9, 2019, 3:38 pm**

Arrived at Post Office

ELKO, NV 89801

**July 9, 2019, 2:59 pm**

Arrived at USPS Facility

ELKO, NV 89801

---

**Product Information**

---

**See Less**

## Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

**FAQs (<https://www.usps.com/faqs/uspstracking-faqs.htm>)**

Feedback



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@ci.elko.nv.us](mailto:planning@ci.elko.nv.us)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7119

---

July 9, 2019

001224008  
OWENS, LYNNE R  
309 NEW PINE ST  
ELKO NV 89801-3162

Re: Vacation No. 3-19/ David & Juliane Ernst

Enclosed please find a copy of the Notice of Intent of David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way along the southwest property line of APN 001-224-009, consisting of an area of approximately 900 square feet, located on the southwest side of APN 001-224-009, and a map depicting the property.

Please read this notice carefully. The date that has been set for this hearing is Tuesday, July 23, 2019 at 5:30 P.M., in Elko City Hall at 1751 College Avenue, Elko, Nevada.

If you have any questions regarding this matter, please do not hesitate to contact the City of Elko Planning Department at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures

USPS TRACKING #  
& CUSTOMER  
RECEIPT

**9114 9023 0722 4027 0140 75**  
For Tracking or inquiries go to [USPS.com](http://USPS.com)  
or call 1-800-222-1811.

ALERT: PAYMENT TRANSACTIONS ON SOME APPLICATIONS WILL BE TEMPORARIL...

**USPS Tracking®** FAQs > (<https://www.usps.com/faqs/uspstracking-faqs.htm>)**Track Another Package +****Tracking Number:** 9114902307224027014075

Remove X

**Expected Delivery on****WEDNESDAY****10** JULY 2019 ⓘ **by**  
**8:00pm** ⓘ

Feedback

 **Delivered**July 10, 2019 at 9:23 am  
Delivered, In/At Mailbox  
ELKO, NV 89801**Get Updates** ▼

---

**Text & Email Updates**

---

**Tracking History****July 10, 2019, 9:23 am**  
Delivered, In/At Mailbox  
ELKO, NV 89801

Your item was delivered in or at the mailbox at 9:23 am on July 10, 2019 in ELKO, NV 89801.

**July 9, 2019, 3:38 pm**

Arrived at Post Office

ELKO, NV 89801

**July 9, 2019, 2:59 pm**

Arrived at USPS Facility

ELKO, NV 89801

---

**Product Information****See Less**

## Can't find what you're looking for?

Go to our FAQs section to find answers to your tracking questions.

**FAQs** (<https://www.usps.com/faqs/uspstracking-faqs.htm>)

Feedback

**Shelby Archuleta**

Vac 3-19 Ernst

**From:** Seana Chapman <SChapman@elkodaily.com>  
**Sent:** Thursday, June 27, 2019 9:47 AM  
**To:** Shelby Archuleta  
**Subject:** RE: Notice of Intent

**Shelby**

**Your legal ad has been received and processed and is set to run: July 6, 2019**  
**The cost billed was: \$108.06**

Thank you for your business  
Seana K. Chapman  
Legal Clerk/Online  
Employment and Classifieds Specialist  
775-748-2738

***Elko Daily Free Press***

- \*Affidavit of publication will be mailed out within 5 to 7 BUSINESS days
- \* Legals deadline is 72 hours
- \* Credits will only be issued to canceled legal notices if they are cancelled 48 hours before first publication
- \* Please include your account number on all legal requests The *Elko Daily Free Press* reaches over **21,000 readers** **PER DAY** with both our print & digital products!

**ELKO DAILY FREE PRESS**

[www.elkodaily.com](http://www.elkodaily.com)



[www.miningquarterly.com](http://www.miningquarterly.com)

**From:** Shelby Archuleta [mailto:sarchuleta@elkocitynv.gov]  
**Sent:** Thursday, June 27, 2019 7:41 AM  
**To:** ELK Legals  
**Subject:** Notice of Intent

Good Morning,  
Attached is a Notice of Intent for publishing on July 6<sup>th</sup>.  
Please let me know if you have any questions.

**Thank you!**

Shelby Richuleta  
Planning Technician  
City of Elko  
Planning Department  
Ph (775) 777-7160  
FX (775) 777-7219

**NOTICE OF INTENT OF THE CITY OF ELKO  
TO VACATE A PORTION OF THE 3<sup>rd</sup> STREET RIGHT-OF-WAY LOCATED  
GENERALLY ALONG THE SOUTHWEST PROPERTY LINE OF APN 001-224-009,  
ALL WITHIN THE CITY OF ELKO, STATE OF NEVADA**

**NOTICE IS HEREBY GIVEN** that the City Council of the City of Elko intends to vacate a portion of the 3<sup>rd</sup> Street right-of-way located along the southwest property line of APN 001-224-009, situated in the City of Elko, Nevada, and cause title to revert to the owner of the abutting property; i.e. David and Julianne Ernst. The portion of the 3<sup>rd</sup> Street right-of-way to be vacated is more particularly described as follows:

A parcel of land located in Section 15, Township 34 North, Range 55 East, M.D.B.&M., City of Elko, Nevada, more particularly described as follows:

Commencing at the most southerly corner of Lot 12 of Block 19 as shown on the Map of the Town of Elko filed in the office of the Elko County Recorder, Elko, Nevada, as document number 1, being Corner No. 1, the True Point of Beginning ;

Thence North 48°01'53" West, along the southwesterly boundary of said Lot 12, a distance of 100.00 feet to Corner No. 2, being the most westerly corner of said Lot 12

Thence South 41°58'07" West, a distance of 9.00 feet to Corner No. 3;

Thence South 48°01'53" East, a distance of 100.00 feet to Corner No. 4;

Thence North 41°58'07" East, a distance of 9.00 feet to Corner No. 1, the Point of Beginning.

Said parcel contains an area of 900 square feet, more or less.

**AND** that the Elko City Council shall further consider the advisability of the vacation of the 3<sup>rd</sup> Street right-of-way, and the adoption of a Resolution and Order vacating the same with the reversion of title as above stated at a meeting of said Council to be held in the Council Chambers at Elko City Hall, 1751 College Avenue, Elko, Nevada, on July 23, 2019 at 5:30 p.m. All interested persons may appear at the meeting of the Council and be heard.

**DATED** this 3<sup>rd</sup> day of July 2019.

---

Kelly C. Wooldridge, City Clerk

PUBLISH: July 6, 2019

# ELKO DAILY FREE PRESS

3720 Idaho St.

Elko, Nev. 89801

(775) 738-3118

## Affidavit of Publication

I, Seana K. Chapman, Legal Clerk of the *Elko Daily Free Press*, published daily at Elko, Nevada, do solemnly swear that a copy of **NOTICE OF INTENT/APN 001-224-009**, as per clipping attached, was published on **July 6, 2019**, in the regular and entire issue of the above said newspaper, with general circulation of Elko and Lander counties, and not in any supplement thereof, for **ONE (1)** week commencing with the issue dated **July 6, 2019**, and ending with the issue dated as **July 6, 2019**, with no subsequent publications being made.

NOTICE OF INTENT OF THE CITY OF ELKO  
TO VACATE A PORTION OF THE 3rd STREET RIGHT-OF-WAY  
LOCATED GENERALLY ALONG THE SOUTHWEST PROPERTY  
LINE OF APN 001-224-009, ALL WITHIN THE CITY OF ELKO, STATE  
OF NEVADA

NOTICE IS HEREBY GIVEN that the City Council of the City of Elko intends to vacate a portion of the 3rd Street right-of-way located along the southwest property line of APN 001-224-009, situated in the City of Elko, Nevada, and cause title to revert to the owner of the abutting property; i.e. David and Juliane Ernst. The portion of the 3rd Street right-of-way to be vacated is more particularly described as follows:

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Thence South 48°01'53" East, a distance of 100.00 feet to Corner No. 4;

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Said parcel contains an area of 900 square feet, more or less.

AND that the Elko City Council shall further consider the advisability of the vacation of the 3rd Street right-of-way, and the adoption of a Resolution and Order vacating the same with the reversion of title as above stated at a meeting of said Council to be held in the Council Chambers at Elko City Hall, 1751 College Avenue, Elko, Nevada, on July 23, 2019 at 5:30 p.m. All interested persons may appear at the meeting of the Council and be heard.

DATED this 3rd day of July 2019.

Kelly C. Wooldridge, City Clerk

July 6

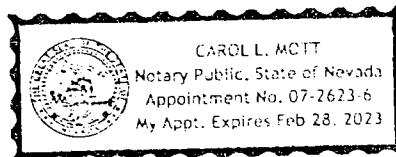
Seana K. Chapman

Subscribed and sworn to before me, on July 6,  
2019.

Notary Public

State of Nevada

County of Elko





July 1, 2019

Shelby Archuleta  
City of Elko Planning Department  
1751 College Avenue  
Elko, Nevada 89801

**RECEIVED**

JUL 02 2019

---

RE: Proposed Vacation No. 3-19

Dear Ms. Archuleta:

Per your request in the letter dated June 12, 2019 regarding the proposed vacation of a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APN 001-224-009. NV Energy does not have facilities within the area to be vacated.

If you have any questions/concerns please feel free to contact me at 775-834-3097 or at [jakejohnson@nvenergy.com](mailto:jakejohnson@nvenergy.com)

Sincerely,

A handwritten signature in black ink, appearing to read "Jake Johnson", written over a horizontal line.

Jake Johnson  
NV Energy



# CITY OF ELKO

Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)

Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

NV Energy  
**Mr. Jake Johnson**  
6100 Neil Road  
Reno, NV 89511

SUBJECT: Proposed Vacation No. 3-19

Dear Mr. Johnson:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APN 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures



# CITY OF ELKO

Planning Department

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Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

Southwest Gas Corporation  
**Engineering Department**  
PO Box 1190  
Carson City, NV 89702-1190

SUBJECT: Proposed Vacation No. 3-19

To Whom It May Concern:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Julianne Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APN 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures



# CITY OF ELKO

Planning Department

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Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

Satview Broadband

**Mr. Tariq Ahmad**

PO Box 18148

Reno, NV 89511

And VIA EMAIL: [taroil@yahoo.com](mailto:taroil@yahoo.com)

SUBJECT: Proposed Vacation No. 3-19

Dear Mr. Ahmad:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Julianne Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APNs 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta

Planning Technician

[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures



# CITY OF ELKO

Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)

Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

Beehive Broadband  
2000 N. Sunset Road  
Lake Point, UT 84074

SUBJECT: Proposed Vacation No. 3-19

To Whom It May Concern:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APNs 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures

## Shelby Archuleta

---

**From:** Poole, John <john.g.poole@ftr.com>  
**Sent:** Wednesday, June 19, 2019 10:50 AM  
**To:** Shelby Archuleta  
**Subject:** FW: 3rd St Right of Way on south west Property Line Vacate Request;  
**Attachments:** Alley Vacancy 3rd st Elko, APN 001-224-009.pdf

Hi Shelby;

Frontier is on the pole lead and has no issue with this vacation of Right of Way.

JOHN POOLE  
NETWORK ENGINEER  
FRONTIER COMMUNICATIONS  
1520 CHURCH ST  
GARDNERVILLE, NV. 89410  
TEL# 775-782-0966  
FAX# 775-782 6846  
JOHN.G.POOLE@FTR.COM

" I CAN HELP"

-----Original Message-----

From: crand@citlink.net <crand@citlink.net>  
Sent: Wednesday, June 19, 2019 10:44 AM  
To: Poole, John <john.g.poole@ftr.com>  
Subject: Re: 3rd St Right of Way on south west Property Line Vacate Request;

---

WARNING: External email. Please verify sender before opening attachments or clicking on links.

---

John  
This area is fed on aerial drops-no buried plant in area.  
Carolyn

-----  
On Wed, 6/19/19, Poole, John <john.g.poole@ftr.com> wrote:

Subject: 3rd St Right of Way on south west Property Line Vacate Request;  
To: "Whitaker, William" <william.whitaker@ftr.com>, "crand@citlink.net" <crand@citlink.net>  
Date: Wednesday, June 19, 2019, 9:47 AM

Carolyn;

Please look into this as

cant seem to look this lot up as do not know the APN book to reference to FROGS.

Let me know if we have to  
move plant or not.

Thanks, JOHN

JOHN POOLE

NETWORK  
ENGINEER  
FRONTIER  
COMMUNICATIONS  
1520 CHURCH ST

GARDNERVILLE, NV.  
89410

TEL#  
775-782-0966  
FAX# 775-782  
6846

JOHN.G.POOLE@FTR.COM

" I CAN  
HELP"

This communication is confidential. Frontier only sends and receives email on the basis of the terms set out at  
[http://www.frontier.com/email\\_disclaimer](http://www.frontier.com/email_disclaimer).



# CITY OF ELKO

Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

Frontier Communication  
**Mr. John Poole**  
1520 Church Street  
Gardnerville, NV 89410

SUBJECT: Proposed Vacation No. 3-19

Dear Mr. Poole:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the southwest property line of APNs 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures

# ELKO HEAT CO.

RECEIVED

JUN 20 2019

---

June 19, 2019

City of Elko  
Planning Department  
Attn: Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Re: Proposed Vacation No. 3-19 / David & Juliane Ernst

Please be advised that Michael W. Lattin, Vice President / Field Operations for Elko Heat Company has reviewed the above vacation and Elko Heat Company has no issues with this vacation.

Please contact us if you have any additional questions or concerns.

Sincerely,



Pamela Lattin  
Secretary/Treasurer



# CITY OF ELKO

Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)

Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

---

June 12, 2019

Elko Heat  
P.O. Box 2347  
Elko, NV 89803

SUBJECT: Proposed Vacation No. 3-19

To Whom It May Concern:

Please be advised that the City of Elko Planning Department is processing a request filed by David & Juliane Ernst to vacate a portion of the 3<sup>rd</sup> Street right-of-way located generally along the east property line of APN 001-224-009. Please see enclosed map.

The City respectfully requests your assistance in determining whether there are any utility improvements or any other such interests within the area proposed to be vacated.

Please advise the Elko City Planning Department in writing concerning your agency's needs or interests as affected by this requested vacation, or submit a letter or email stating none of your interests are in the area, as **we are required to receive and maintain records of all responses from all local utilities per NRS 278.480(6)**. The Planning Commission will consider this item on July 2, 2019. Thank you for your time and effort in this matter!

If you have any questions, please contact our office at 777-7160.

Sincerely,

Shelby Archuleta  
Planning Technician  
[sarchuleta@elkocitynv.gov](mailto:sarchuleta@elkocitynv.gov)

Enclosures



## CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue \* Elko \* Nevada \* 89801 \*

(775) 777-7160 \* (775) 777-7119 fax

### APPLICATION FOR VACATION OF CITY STREET, EASEMENT OR OTHER PUBLIC RIGHT-OF-WAY

**APPLICANT(s):** David & Juliane Ernst

**MAILING ADDRESS:** 15530 Donnybrook Ct, Reno, NV 89511

**PHONE NO (Home):** 775-376-3347

**(Business):**

**NAME OF PROPERTY OWNER (If different):** Same

*(Property owner's consent in writing must be provided.)*

**MAILING ADDRESS:** Same

**LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):**

**ASSESSOR'S PARCEL NO.:** 001-224-009 **Address:** 604 Third Street, Elko, NV

**Lot(s), Block(s), & Subdivision:** Lots 12, 11, & 4'-0" of Lot 10, Elko City

**Or Parcel(s) & File No.:**

#### FILING REQUIREMENTS:

**Complete Application Form:** In order to begin processing the application, an application form must be complete and signed. Applications go before the City Council, Planning Commission, and back to City Council twice.

**Fee:** A \$600.00 non-refundable fee.

**Plot Plan:** A plot plan provided by a properly licensed surveyor depicting the existing condition drawn to scale showing property lines, existing and proposed buildings, building setbacks, parking and loading areas, driveways and other pertinent information must be provided.

**Legal Description:** A complete legal description of the area proposed for vacation along with an exhibit depicting the area for vacation.

**Note:** One .pdf of the entire application must be submitted as well as one set of legible, reproducible plans 8 1/2" x 11" in size. If the applicant feels the Commission needs to see 24" x 36" plans, 10 sets of pre-folded plans must be submitted.

**Other Information:** The applicant is encouraged to submit other information and documentation to support the request.

RECEIVED

OWNER(S) OF THE PROPERTY ABUTTING THE AREA BEING REQUESTED FOR VACATION:

Lynne Owens, 309 New Pine Street, Elko, Nevada

(Name)

(Address)

OWNER(S) OF THE PROPERTY ABUTTING THE AREA BEING REQUESTED FOR VACATION:

Lisa Marie Higgins, 606 Third Street, Elko, Nevada

(Name)

(Address)

1. Describe the nature of the request: Vacation of 9.00' x 100' of Third Street .

---

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---

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2. Describe any utilities currently located in the area proposed for vacation, and if any are present how they will be addressed: N/A

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Use additional pages if necessary

**This area intentionally left blank**

**By My Signature below:**

☒ I consent to having the City of Elko Staff enter on my property only for the sole purpose of inspection said property as part of this application process.

☐ I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not effect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)

☐ I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.

☒ I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.

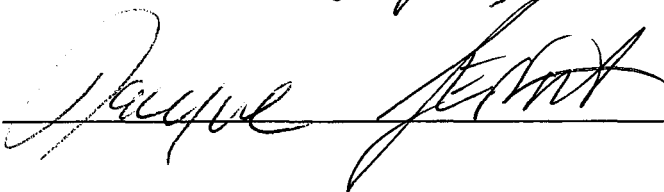
☒ I have carefully read and completed all questions contained within this application to the best of my ability.

Applicant / Agent JACQUES ERRECAET, HCARB  
(Please print or type)

Mailing Address 518 COMMERCIAL ST  
Street Address or P.O. Box  
ELKO, NV 89801  
City, State, Zip Code

Phone Number: 775-738-9456

Email address: jacquesg518@gmail.com

SIGNATURE: 

---

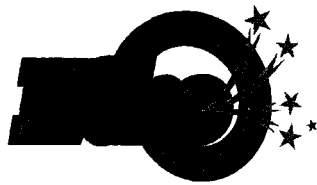
**FOR OFFICE USE ONLY**

File No.: 3-19 Date Filed: 6/3/19 Fee Paid: \$600 CK# 2009

---

**Elko City Council  
Agenda Action Sheet**

1. Title: **Review, consideration, and possible action to conditionally approve Tentative Map No. 7-19, filed by Bailey and Associates LLC, for the development of a subdivision entitled Cambridge Estates involving the proposed division of approximately 8.02 acres of property into 35 residential lots for residential development within the R1 (Single Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION**
2. Meeting Date: **July 23, 2019**
3. Agenda Category: **PUBLIC HEARING**
4. Time Required: **15 Minutes**
5. Background Information: **The subject property is located on the northeast corner of the intersection of Celtic Way and El Armuth Drive (APN 001-660-041). The Planning Commission considered this item on July 2, 2019 and took action to forward a recommendation to conditionally approve Tentative Map 7-19. MR**
6. **Budget Information:**  
Appropriation Required: N/A  
Budget amount available: N/A  
Fund name: N/A
7. Business Impact Statement: **Not Required**
8. Supplemental Agenda Information: **Maps, P.C. action report, Staff reports, related correspondence, and PowerPoint presentation.**
9. Recommended Motion: **Conditionally approve Tentative Map No. 7-19 for the Cambridge Estates subdivision subject to the findings and conditions as recommended by the Planning Commission, including the modification of standards for Lots 7-10, 13, 14, 29, and 35. The City Council determines that the property can be divided based on the findings required in Section 3-3-5(E)(2) of the Municipal Code.**
10. Prepared By: **Michele Rambo, AICP, Development Manager**
11. Committee/Other Agency Review: **Planning Commission**
12. Council Action:
13. Agenda Distribution: **Bailey and Associates LLC**  
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# CITY OF ELKO

## Planning Department

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### CITY OF ELKO PLANNING COMMISSION ACTION REPORT Regular Meeting of July 2, 2019

WHEREAS, the following item was reviewed and considered by the Elko City Planning Commission on July 2, 2019 per City Code Section 3-3-5(D)4.:

Tentative Map No. 7-19, filed by Bailey & Associates, LLC, for the development of a subdivision entitled Cambridge Estates involving the proposed division of approximately 8.02 acres of property into 35 lots for residential development within the R1 (Single-Family Residential) Zoning District, in conjunction with a zone change application, and matters related thereto.

The subject property is located generally on the northeast corner of the intersection of Celtic Way and El Armuth Drive. (APN 001-660-041)

WHEREAS, the Planning Commission, upon review and consideration of the application, supporting data, public input and testimony, forward a recommendation to City Council to conditionally approve Tentative Map No. 7-19 subject to the conditions found in the City of Elko Staff Report dated June 18, 2019, listed as follows:

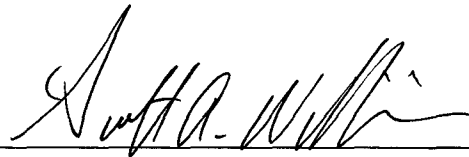
- 1. Rezone 2-19 must be approved by the City Council and all conditions be met.**
- 2. The subdivider is to comply with all provisions of the NAC and NRS pertaining to the proposed subdivision.**
- 3. Tentative Map approval constitutes authorization for the subdivider to proceed with preparation of the Final Map and associated construction plans.**
- 4. Tentative Map approval does not constitute authorization to proceed with site improvements, with the exception of authorized grading, prior to approval of the construction plans by the City and the State.**
- 5. The applicant submit an application for Final Map within a period of four (4) years in accordance with NRS.360(1)(a). Approval of the Tentative Map will automatically lapse at that time.**
- 6. A soils report is required with Final Map submittal.**
- 7. A hydrology report is required with Final Map submittal.**
- 8. Final Map construction plans are to comply with Chapter 3-3 of City Code.**
- 9. The subdivision design and construction shall comply with Title 9, Chapter 8 of City Code.**
- 10. The Utility Department will issue and Intent to Serve Letter upon approval of the Tentative Map by the City Council.**
- 11. A Modification of Standards approved by City Council for Lots 7-10, 13 and 14 to have reduced frontage widths.**
- 12. A Modification of Standards approved by City Council for Lots 29 and 35 to have reduced square-footages.**

**13. Prior to being scheduled for a City Council hearing, the Tentative Map shall be modified as follows:**

- a. Remove the word "easement" from the description of the dedicated land along the eastern side of the subdivision and instead show this area as a separate parcel to be dedicated to the City of Elko similar to the street, detention pond, and sewer dedications.**
- b. Remove the residential lot property lines within the dedicated are described above.**
- c. Adjust the building setback line to reflect the correct rear property line.**
- d. Recalculate the lot areas to eliminate the dedicated area.**
- e. Revise the buildable area of the lots to reflect the correct rear property line.**

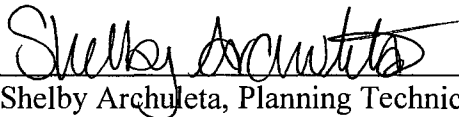
The Planning Commission's findings to support its recommendation are the proposed subdivision and development is in conformance with the Land Use Component of the Master Plan. The proposed subdivision and development is in conformance with the Transportation Component of the Master Plan. The proposed subdivision and development does not conflict with the Airport Master Plan. The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012. The property is not located within the Redevelopment Area. The proposed subdivision and development are in conformance with the Wellhead Protection Program. The sanitary sewer will be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system. A zoning amendment is required and has been submitted to the Planning Department to change the property zoning from Public, Quasi-Public (PQP) to Single Family Residential (R1). In accordance with Section 3-3-5(E)(2), the proposed subdivision and development will not result in undue water or air pollution based on the following: a) There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all applicable environmental and health laws and regulations. b) There is adequate capacity within the City's water supply to accommodate the proposed subdivision. c) The proposed subdivision and development will not create an unreasonable burden on the existing water system. d) There is adequate capacity at the Water Reclamation Facility to support the proposed subdivision and development. e) The proposed subdivision and development will be connected to the City's programmed sanitary sewer system. Therefore, the ability of soils to support waste disposal does not require evaluation prior to Tentative Map approval. f) Utilities are available in the immediate area and can be extended for the proposed development. g) Schools, fire and police, and recreational services are available throughout the community. h) With the approval of the associated Modification of Standards regarding lots 7-10, 13, and 14, the proposed subdivision and development is in conformance with applicable zoning ordinances and is in conformance with the Master Plan. i) The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets. j) The area is not located within a designated flood zone. Concentrated storm water runoff has been addressed as shown on the grading plan. k) The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water-holding capacity of the land thereby creating a dangerous or unhealthy condition. The proposed subdivision submittal is in conformance with Section 3-3-6 of City Code. The proposed subdivision is in conformance with Section 3-3-9 of City Code. The proposed subdivision is in conformance with Section 3-3-10 of City Code. The proposed subdivision is in conformance with Section 3-3-11 of City Code. The

proposed subdivision is in conformance with Section 3-3-12 of City Code. The proposed subdivision is in conformance with Section 3-3-13 of City Code with the approval of a Modification of Standards to front width requirements for 7-10, 13, 14, 29, and 35. The proposed subdivision is in conformance with Section 3-3-14 of City Code. The proposed subdivision is in conformance with Section 3-3-15 of City Code. The proposed subdivision and development is in conformance with Section 3-2-3 of City Code. The proposed subdivision and development is in conformance with Section 3-2-4 of City Code. The proposed subdivision and development is in conformance with Section 3-2-5(B)(2). Conformance with Section 3-2-5(B) is required as the subdivision develops. The proposed subdivision and development is in conformance with Section 3-2-5(G) of City Code with the approval of the Modification of Standards to the front width requirements for 7-10, 13, 14, 29, and 35. The proposed subdivision and development is in conformance with Section 3-2-17. Conformance with Section 3-2-17 is required as the subdivision develops. The proposed subdivision and development is not located in a designated flood hazard area and is in conformance with Section 3-8 of City Code. The proposed subdivision design shall conform to Title 9, Chapter 8 of City Code.



Scott Wilkinson, Assistant City Manager

Attest:



Shelby Archuleta, Planning Technician

CC: Applicant  
Michele Rambo, Development Manager (email)  
Kelly Wooldridge, City Clerk

**STAFF COMMENT FLOW SHEET**  
**PLANNING COMMISSION AGENDA DATE: 7/2**

\*\*Do not use pencil or red pen; they do not reproduce\*\*

Title: Tentative Map No. 7-19 Cambridge Estates  
Applicant(s): Bailey + Associates, LLC  
Site Location: NE corner of Celtic Way + El Armuth Dr. Apn 001-1660-041  
Current Zoning: PQP Date Received: \_\_\_\_\_ Date Public Notice: 6/18  
COMMENT: This is to divide  $\approx$  8.02 acres into 35 lots  
for residential development

\*\*If additional space is needed please provide a separate memorandum\*\*

Assistant City Manager: Date: 6/24/19  
Recommend conditional approval as  
presented by staff

Initial

City Manager: Date: 6/24/19  
No comments/concerns.

Initial

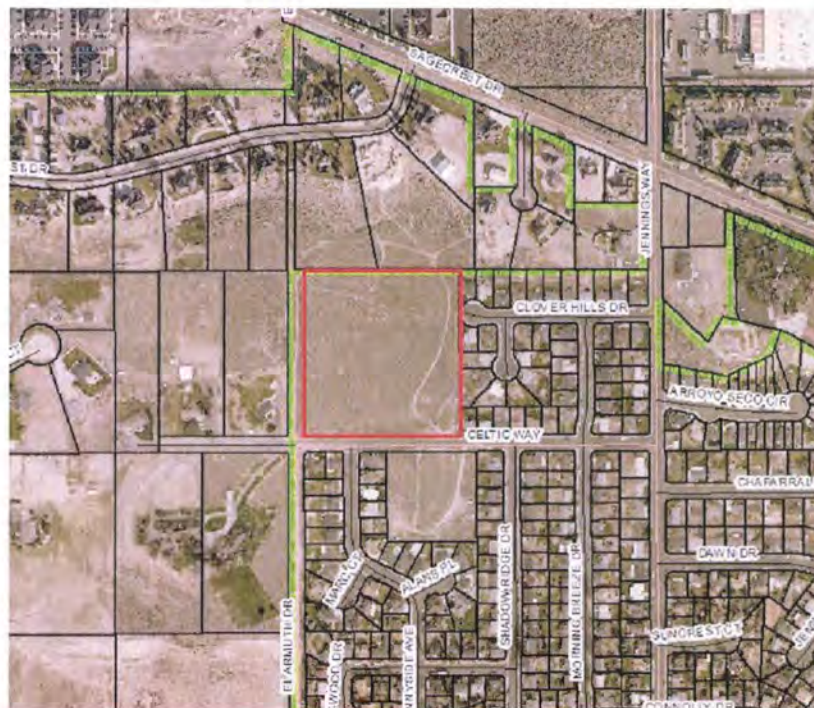


City of Elko  
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## **CITY OF ELKO STAFF REPORT**

<b>REPORT DATE:</b>	<b>June 18, 2019</b>
<b>PLANNING COMMISSION DATE:</b>	<b>July 2, 2019</b>
<b>AGENDA ITEM NUMBER:</b>	<b>I.A.2</b>
<b>APPLICATION NUMBER:</b>	<b>Tentative Map 7-19</b>
<b>APPLICANT:</b>	<b>Bailey and Associates, LLC</b>
<b>PROJECT DESCRIPTION:</b>	<b>Cambridge Estates</b>

A Tentative Map for the proposed division of approximately 8.02 acres of property into 35 lots for residential development within an R1 (Single Family Residential) Zoning District.



### **STAFF RECOMMENDATION:**

RECOMMEND CONDITIONAL APPROVAL, subject to findings of fact, and conditions as stated in this report.

## **PROJECT INFORMATION**

**PARCEL NUMBER:** 001-660-041

**PARCEL SIZE:** 8.02 Acres

**EXISTING ZONING:** (R1) Single Family Residential  
**Upon approval of Zone Change application**

**MASTER PLAN DESIGNATION:** (RES-MD) Residential Medium Density

**EXISTING LAND USE:** Vacant

### **NEIGHBORHOOD CHARACTERISTICS:**

The property is surrounded by:

- North (County): Agricultural-Residential (AR) / Developed
- South: Single and Multiple Residential (R) / Partially Developed
- East: Single and Multiple Residential (R) / Developed
- West (County): Agricultural-Residential (AR) / Developed

### **PROPERTY CHARACTERISTICS:**

- The property is an undeveloped residential parcel.
- The area abuts previous residential development on all sides.
- The parcel has some slope to it, which is incorporated into the design of the lots where possible.
- The property will be accessed off of Celtic Way.

### **APPLICABLE MASTER PLAN AND CITY CODE SECTIONS:**

- City of Elko Master Plan – Land Use Component
- City of Elko Master Plan – Transportation Component
- City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012
- City of Elko Redevelopment Plan
- City of Elko Wellhead Protection Plan
- City of Elko Zoning – Section 3-2-3 General Provisions
- City of Elko Zoning – Section 3-2-4 Establishment of Zoning Districts
- City of Elko Zoning – Section 3-2-5(B) Single Family Residential District
- City of Elko Zoning – Section 3-2-5(G) Residential Zoning Districts Area, Setback, and Height
- City of Elko Zoning – Section 3-2-17 Traffic, Access, Parking and Loading Regulations
- City of Elko Zoning – Chapter 3 Subdivisions
- City of Elko Zoning – Section 3-8 Flood Plain Management
- City of Elko Public Ways and Property – Title 9, Chapter 8 Post Construction Runoff Control and Water Quality Management

## **BACKGROUND:**

1. The property owner and applicant is Bailey & Associates, LLC.
2. The subdivision is located on APN 001-660-041.
3. The property is undeveloped.
4. The proposed subdivision consists of 35 lots.
5. The total subdivided area is approximately 8.02 acres.
6. The proposed density is 4.36 units per acre.
7. No phasing is proposed as part of this subdivision.
8. Approximately 1.32 acres are offered for dedication of Newcastle Circle.
9. Approximately 2,415 square feet are offered for dedication as a sanitary sewer easement.
10. Approximately 18,973 square feet are offered for dedication as drainage and maintenance easements.
11. The property is located at the northeast corner of Celtic Way and El Armuth Drive.
12. A Stage 1 meeting for the proposed subdivision was held.
13. The proposed subdivision is will be located within the Single Family Residential (R1) zone district upon approval of Rezone 2-19 being processed by the Planning Department.

## **MASTER PLAN**

### **Land Use:**

1. The land use is shown as Medium Density Residential. Medium Density is identified as having a density of 5-8 units per acre.
2. Single Family Residential (R1) zoning is listed as a corresponding district for the Medium Density Designation in the Master Plan.
3. The listed Goal of the Land Use Component states: "Promote orderly, sustainable growth and efficient land use to improve quality of life and ensure new development meets the needs of all residents and visitors."
4. Objective 1 under the Land Use component of the Master Plan states: "Promote a diverse mix of housing options to meet the needs of a variety of lifestyles, incomes, and age groups."
  - a. Best Practice 1.1 – The proposed subdivision meets several of the methods described to achieve a diverse mix of single family homes in the community.
  - b. Best Practice 1.3 – The location of the proposed subdivision appears to support the City striving for a blended community by providing a mix of housing types in the neighborhood and is supported by existing infrastructure.
5. Objective 8 of the Land Use component of the Master Plan states: "Ensure that new development does not negatively impact County-wide natural systems or public/federal lands such as waterways, wetlands, drainages, floodplains, etc. or pose a danger to human health and safety." Staff believes there will be no negative impacts to natural systems and no issue with regard to human health and safety.

The proposed subdivision and development is in conformance with the Land Use component of the Master Plan.

### **Transportation:**

1. The area will be accessed from Celtic Way.
2. Celtic Way is classified as a Minor Collector road.
3. The interior street, Newcastle Circle, will serve as a Residential Local road.

4. The Master Plan recommends a right-of-way width of 50 feet for a Residential Local road.
5. Upon full buildout, the proposed subdivision is expected to generate approximately 330.4 additional Average Daily Trips based on 9.44 trips/single family residence (ITE Trip Generation, 10<sup>th</sup> Edition).

The proposed subdivision and development is in conformance with the Transportation component of the Master Plan.

**ELKO AIRPORT MASTER PLAN:**

The proposed subdivision and development does not conflict with the Airport Master Plan.

**CITY OF ELKO DEVELOPMENT FEASIBILITY, LAND USE, WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE, TRANSPORTATION INFRASTRUCTURE, AND ANNEXATION POTENTIAL REPORT – NOVEMBER 2012:**

The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012.

**ELKO REDEVELOPMENT PLAN:**

The property is not located within the Redevelopment Area.

**ELKO WELLHEAD PROTECTION PLAN:**

The property is located outside of any capture zone for City of Elko wells. Development of the site is required to be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system.

**SECTION 3-3-5 TENTATIVE MAP STAGE (STAGE II):**

**Tentative Map 3-3-5(A)** – A zoning amendment is required to change the existing Public, Quasi-Public (PQP) zone to Single Family Residential (R1). This application has been submitted and is being processed by the Planning Department.

**Tentative Map Approval 3-3-5(E)(2)(a)-(k)** – Requires the following findings:

- a. Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or public sewage disposal, and, where applicable, individual systems for sewage disposal.
  - The proposed subdivision will be connected to the city's water supply system, programmed sewer system and is required to be in compliance with all applicable federal, state, and local requirements.
- b. The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision.
  - The City of Elko Engineering Department is required to model the anticipated water consumption of the subdivision. The City of Elko Utility Department will

be required to submit a "Tentative Will-Serve Letter" to the State of Nevada. The water modeling requires an update to reflect the increased number of lots. Current City-wide annual water usage is approximately 50% of the total allocated water rights.

- City of Elko currently has excess pumping capacity of 3,081 gallons per minute. Sufficient infrastructure and pumping capacity exists to provide the required water volume to serve the proposed subdivision and development.
  - The Developer will extend properly sized infrastructure as required for development of the property.
  - The proposed subdivision and development will not create an unreasonable burden on the existing water supply.
- c. The availability and accessibility of utilities.
- Utilities are available in the immediate area and can be extended for the proposed development.
- d. The availability and accessibility of public services such as schools, police protection, transportation, recreation, and parks.
- Schools, fire and police, and recreational services are available throughout the community.
- e. Conformity with the zoning ordinance and the City's Master Plan, except that if any existing zoning ordinance is inconsistent with the City's Master Plan, the zoning ordinance takes precedence.
- The Master Plan Land Use Map shows the area as Medium Density Residential. With the approval of the associated zone change application, the proposed subdivision and development have been designed in accordance with the Single Family Residential (R1) zone.
  - The result is a density of 4.36 units per acre, which meets the minimum density of 4 units per acre specified in the Master Plan.
  - The proposed subdivision is in conformance with the City's Master Plan as well as the Zoning Ordinance.
- f. General conformity with the City's Master Plan of streets and highways.
- The proposed subdivision is in conformance with the Transportation Component of the Master Plan.
- g. The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision.
- The proposed subdivision and development will add approximately 330.4 Average Daily Trips to Celtic Way. Based on the threshold of 1,000 ADT referenced in the Master Plan, a traffic study is not required with this subdivision.
  - The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets.
- h. Physical characteristics of the land, such as floodplain, slope, and soil.

- The proposed subdivision and subsequent development of the property is expected to reduce the potential for erosion in the immediate area. Development of the property will not cause unreasonable soil erosion.
  - A hydrology report is required with the Final Map and Construction Plan submittal.
  - The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water holding capacity of the land thereby creating a dangerous or unhealthy condition.
- i. The recommendations and comments and those entities and persons reviewing the Tentative Map pursuant to this Chapter and NRS 278.330 to 278.3485, inclusive.
- j. The availability and accessibility of fire protection, including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires, including fires in wild lands.
- k. The submission by the subdivider of an affidavit stating that the subdivider will make provision for payment of the tax imposed by Chapter 375 of NRS and for compliance with the disclosure and recording requirements of Subsection 5 of NRS 598.0923, if applicable, by the subdivider or any successor in interest.

There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all applicable provisions.

#### **SECTION 3-3-6 CONTENT AND FORMAT OF TENTATIVE MAP SUBMITTAL:**

- A. Form and Scale – The Tentative Map conforms to the required size and form specifications.
- B. Identification Data
1. The subdivision name, location, and section/township/range, with bearing to a section corner or quarter-section corner, is shown.
  2. The name, address, email, and telephone number of the subdivider is shown.
  3. The engineer's name, address, and telephone number are shown.
  4. The scale is shown on all sheets.
  5. The north arrow is shown on all sheets.
  6. The date of initial preparation and dates of any subsequent revisions are shown.
  7. A location map is provided.
  8. A legal description is provided.
- C. Physical Conditions
1. The existing topography of the site is shown.
  2. Existing drainage conditions are shown on the Tentative Map.
  3. There are no Special Flood Hazards within the proposed subdivision.
  4. All roadways, easements, and corporate limits are shown within and adjacent to the subdivision.
  5. Dimensions of all subdivision boundaries are shown on the Tentative Map.
  6. Gross and net acreage of the subdivision is shown.

D. Recorded Map Information:

1. Any previously recorded maps for adjacent properties is labeled on the Tentative Map.

E. Existing Zoning:

1. The zoning (once approved by the City Council) is shown for the subject property. Zoning classifications for adjacent properties is also shown on the Tentative Map.

F. Proposed Improvements and Other Features Data:

1. The proposed street layout is shown. All of the streets are named and proposed for dedication. The grades of the proposed streets are shown on the grading plan. The continuation of roadways is not required of the proposed subdivision.
2. The lot layout with consecutively numbered lots is shown. The area and dimensions for each lot are shown, as well as the total number of lots.
3. Typical easements will be required along all lot lines.
4. The required information for street dedication is shown.
5. A zone change is required to change the zoning designation from Public, Quasi-Public (PQP) to Single Family Residential (R1). This application has been submitted and is being processed by the Planning Department.

G. Proposed Deed Restrictions:

1. There are no CC&R's proposed for the subdivision.

H. Preliminary Grading Plan:

1. A grading plan has been provided. Estimated quantities of cut and fill have been provided in a separate document.

I. NPDES Permit Compliance:

1. The subdivider will be required to comply with the City of Elko's storm water regulations.

J. Proposed Utility Methods and Requirements:

1. The proposed sewage disposal infrastructure connecting to the City's infrastructure is shown on the utility plan.
2. The proposed water supply infrastructure connecting to the City's infrastructure is shown on the utility plan.
3. The Tentative Map shows storm water infrastructure. A hydrology report will be required with the Final Map and Construction Plan submittal.
4. Utilities in addition to City utilities must be provided with construction plans required for Final Map submittal.
5. The City will not require a traffic impact study for the proposed subdivision.

**SECTION 3-3-9 GENERAL REQUIREMENTS FOR SUBDIVISION DESIGN:**

- A. Conformance with Master Plan: The proposed subdivision is in conformance with the Master Plan objectives for density and applicable zoning (upon approval of the associated zone change application).
- B. Public Facility Sites: No public facility sites are proposed for dedication.
- C. Land Suitability: The area proposed for subdivision is suitable for the proposed development based on the findings in this report.

The proposed subdivision is in conformance with Section 3-3-9 of City code.

**SECTION 3-3-10 STREET LOCATION AND ARRANGEMENT:**

- A. Conformance with Plan: The proposed subdivision utilizes an existing section of Celtic Way for access.
- B. Layout: Street continuation through the proposed subdivision is not required.
- C. Extensions: No extensions are required as part of the proposed subdivision.
- D. Arrangement of Residential Streets: The arrangement of streets within the subdivision prevents outside traffic from utilizing the neighborhood for cut-through traffic.
- E. Protection of Residential Properties: There are no lots that have frontage or access from arterial streets. A note has been required on the Tentative Map that no lots shall front on Celtic Way, a Minor Collector.
- F. Parallel Streets: Consideration of street location is not required.
- G. Topography: The residential streets have been designated to address the topography of the area.
- H. Alleys: No alleys are proposed.
- I. Half-Streets: There are no half-streets proposed.
- J. Dead-End Streets: There are no dead-end streets proposed.
- K. Intersection Design: The proposed intersections with Celtic Way are code compliant.

The proposed subdivision is in conformance with Section 3-3-10 of City code.

**SECTION 3-3-11 STREET DESIGN:**

- A. Required Right-of-Way Widths:
  - a. Newcastle Circle – 50 feet. The proposed right-of-way width for Celtic Way is 50 feet.
- B. Street Grades: The proposed street grades are code compliant.
- C. Vertical Curves: The vertical curves are code compliant.
- D. Horizontal Alignment: The horizontal alignment of the streets and intersection are code compliant.

The proposed subdivision is in conformance with Section 3-3-11 of City code.

**SECTION 3-3-12 BLOCK DESIGN:**

- A. Maximum Length of Blocks: The block design does not exceed the maximum length of a block and maximizes block length.
- B. Sidewalks or Pedestrian ways: The proposed sidewalks are code compliant. No other pedestrian ways are proposed.

The proposed subdivision is in conformance with Section 3-3-12 of City code.

**SECTION 3-3-13 LOT PLANNING:**

- A. Lot Width, Depth, and Area: The lots are in conformance with the specifications stipulated for the zoning in Elko City Code 3-2-5 with the exception of:
  - a. Lots 7-10, 13, and 14 do not comply with the minimum 60-foot lot frontage requirement.
  - b. Lots 29 and 35 do not comply with the minimum of 6,500 square feet for corner lots.

A modification of standards will be required to be approved for these deficiencies. All lots will have improved frontage.

- B. Lot Depth: The lots are in conformance with the stipulated lot depth in Elko City Code 3-2-5. All lots have depths of at least 100 feet.
- C. Building Setback: The proposed subdivision, when developed, can meet setback requirements as stipulated in Elko City Code 3-2-5(G).
- D. Side Lot Lines: The side lot lines are generally at right angles to the street. Deviations occur on inside curves and are appropriate.
- E. Accessibility: Every lot abuts a proposed public street.
- F. Prohibitions: Lots 1, 21, 22, and 35 are double frontage lots. A note has been required on the Tentative Map that no lots shall front on Celtic Way, a Minor Collector.

The proposed subdivision is in conformance with Section 3-3-13 of City code with the approval of a modification of standards for the lots listed in section A (above) and the note added as part of section F (above).

**SECTION 3-3-14 EASEMENT PLANNING:**

- A. Utility Easements: Typical side and rear yard easements are provided. A sewer easement is proposed in the northeast corner of the site. Overhead utilities are not allowed within the subdivision.
- B. Underground Utilities: Overhead utilities are not allowed within the subdivision. The utility companies, at their discretion, may request a wider easement on the rear lot line.
- C. Lots Facing Curvilinear Streets: Overhead utilities are not allowed within the subdivision.
- D. Public Drainage Easement: There are two public drainage easements offered for dedication.
- E. Easement Land Not Considered and Considered in Minimum Lot Area Calculation: All calculations appear to be correct.
- F. Lots Backing Onto Arterial Streets: There are no lots proposed which back onto an arterial street.
- G. Water and Sewer Lines: The utilities are shown in the streets. A sewer easement is shown in the northeast portion of the subdivision to provide the connection with the existing City sewer infrastructure.

The proposed subdivision is in conformance with Section 3-3-14 of City code.

**SECTION 3-3-15 STREET NAMING:**

The subdivider has proposed the street name of Newcastle Circle.

The proposed subdivision is in conformance with Section 3-3-15 of City code.

**SECTIONS 3-3-16 STREET LIGHT DESIGN STANDARDS:**

Conformance is required with the submittal of construction plans.

**SECTION 3-3-17 through 3-3-22 (inclusive):**

All referenced sections are applicable to Final Map submission, approval, and construction plans.

**SECTION 3-3-23 PARK LAND DEDICATIONS:**

There is no offer of dedication for park lands.

**SECTION 3-3-25 MODIFICATION OF STANDARDS:**

1. Lots 7-10, 13, and 14 are located on interior corners and do not comply with the minimum 60-foot lot frontage requirement. These lots range in width from 37.87 to 54.62 feet and become wider further back. The need for a detention basin in the northeast corner of the site has limited the available frontage area for these lots.
2. Lots 29 and 35 do not comply with the minimum area for corner lots of 6,500 square feet. Lot 29 is approximately 6,414 square feet and Lot 35 is approximately 6,424 square feet. While both lots comply with the overall length and width requirement, they are located on a corner and lose some of their square footage to the required turn radius.

A Modification of Standards for both of these issues is included with the approval of the Tentative Map.

**SECTION 3-2-3 GENERAL PROVISIONS:**

Section 3-2-3(C)(1) of City code specifies use restrictions. The following use restrictions shall apply:

**Principal Uses:** Only those uses and groups of uses specifically designated as “principal uses permitted” in zoning district regulations shall be permitted as principal uses; all other uses shall be prohibited as principal uses.

**Accessory Uses:** Uses normally accessory and incidental to permitted principal or conditional uses may be permitted as hereinafter specified.

Other uses may apply under certain conditions with application to the City.

Section 3-2-3(D) states that: “No land may be used or structure erected where the land is held by the planning commission to be unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, extreme topography, low bearing strength, erosion susceptibility, or any other features likely to be harmful to the health, safety, and general welfare of the community. The planning commission, in applying the

provisions of this section, shall state in writing the particular facts upon which its conclusions are based. The applicant shall have the right to present evidence contesting such determination to the city council if he or she so desires, whereupon the city council may affirm, modify, or withdraw the determination of unsuitability.”

The proposed subdivision and development is in conformance with Section 3-2-3 of City code.

**SECTION 3-2-4 ESTABLISHMENT OF ZONING DISTRICTS:**

1. Section 3-2-4(B) Required Conformity to District Regulations: The regulations set forth in this chapter for each zoning district shall be minimum regulations and shall apply uniformly to each class or kind of structure or land, except as provided in this subsection.
2. Section 3-2-4(B)(4) stipulates that no yard or lot existing on the effective date hereof shall be reduced in dimension or area below the minimum requirements set forth in this title.

The proposed subdivision with the approved Modification of Standards is in conformance with Section 3-2-4 of City code.

**SECTION 3-2-5(B) R1 – SINGLE FAMILY RESIDENTIAL:**

Section 3-2-5(B)(2) Principal Uses Permitted:

1. Electric power substations, sewer lift stations, and water pump stations wherein service to district residents requires location within the district.
2. One single-family dwelling of a permanent character in a permanent location with each dwelling unit on its own parcel of land and provided all area and setback requirements are met.
3. Publicly owned and operated parks and recreation areas and centers.

The proposed subdivision and development is in conformance with Section 3-2-5(B)(2). Conformance with Section 3-2-5(B) is required as the subdivision develops.

**SECTION 3-2-5(G) RESIDENTIAL ZONING DISTRICTS AREA, SETBACKS, AND HEIGHT:**

1. Lot areas are shown.
2. Lot dimensions are shown. With the approval of the associated Modification of Standards, the lot dimensions are in conformance with Section 3-2-5(G) of City code.

The proposed subdivision and development is in conformance with Section 3-2-5(G) of City code with the approved modifications of standards for Lots 7-10, 13, 14, 29, and 35.

**SECTION 3-2-17 TRAFFIC, ACCESS, PARKING, AND LOADING:**

1. The proposed roadways are classified as residential streets in accordance with the Master Plan.

2. The proposed lots are large enough to develop the required off-street parking to be located outside the front and interior side yards.

The proposed subdivision and development is in conformance with Section 3-2-17 of City code. Conformance with Section 3-2-17 is required as the subdivision develops.

#### **SECTION 3-8 FLOOD PLAIN MANAGEMENT:**

The proposed subdivision and development is not located in a designated special flood hazard area and is in conformance with Section 3-8 of City Code.

#### **TITLE 9, CHAPTER 8 POST CONSTRUCTION RUNOFF CONTROL AND WATER QUALITY MANAGEMENT:**

Final design of the subdivision is required to conform to the requirements of this title. The Tentative Map storm drain infrastructure is shown through the area.

#### **OTHER:**

The following permits will be required for the project:

1. Storm water general permit: Required submittals to the City of Elko are a plan view showing the storm water controls, a copy of the Storm Water Pollution Prevention Plan (SWPPP) and a copy of the certified confirmation letter.
2. A Surface Area Disturbance (SAD) is required if the disturbed area is equal to or greater than five (5) acres. A copy of the SAD permit is required to be submitted to the City of Elko.
3. A street cut permit from the City of Elko.
4. A grading permit from the City of Elko.
5. All other applicable permits and fees required by the City of Elko.
6. The City of Elko also requires submittal of the plans to the individual utility companies before permits will be issued for the project.

#### **FINDINGS**

1. The proposed subdivision and development is in conformance with the Land Use component of the Master Plan.
2. The proposed subdivision and development is in conformance with the Transportation component of the Master Plan.
3. The proposed subdivision and development does not conflict with the Airport Master Plan.
4. The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012.

5. The property is not located within the Redevelopment Area.
6. The proposed subdivision and development are in conformance with the Wellhead Protection Program. The sanitary sewer will be connected to a programed sewer system and all street drainage will be directed to a storm sewer system.
7. A zoning amendment is required and has been submitted to the Planning Department to change the property zoning from Public, Quasi-Public (PQP) to Single Family Residential (R1).
8. In accordance with Section 3-3-5(E)(2), the proposed subdivision and development will not result in undue water or air pollution based on the following:
  - a. There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all applicable environmental and health laws and regulations.
  - b. There is adequate capacity within the City's water supply to accommodate the proposed subdivision.
  - c. The proposed subdivision and development will not create an unreasonable burden on the existing water system.
  - d. There is adequate capacity at the Water Reclamation Facility to support the proposed subdivision and development.
  - e. The proposed subdivision and development will be connected to the City's programed sanitary sewer system. Therefore, the ability of soils to support waste disposal does not require evaluation prior to Tentative Map approval.
  - f. Utilities are available in the immediate area and can be extended for the proposed development.
  - g. Schools, fire and police, and recreational services are available throughout the community.
  - h. With the approval of the associated Modification of Standards regarding Lots 7-10, 13, and 14, the proposed subdivision and development is in conformance with applicable zoning ordinances and is in conformance with the Master Plan.
  - i. The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets.
  - j. The area is not located within a designated flood zone. Concentrated storm water runoff has been addressed as shown on the grading plan.
  - k. The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water-holding capacity of the land thereby creating a dangerous or unhealthy condition.
9. The proposed subdivision submittal is in conformance with Section 3-3-6 of City code.
10. The proposed subdivision is in conformance with Section 3-3-9 of City code.
11. The proposed subdivision is in conformance with Section 3-3-10 of City code.
12. The proposed subdivision is in conformance with Section 3-3-11 of City code.

13. The proposed subdivision is in conformance with Section 3-3-12 of City code.
14. The proposed subdivision is in conformance with Section 3-3-13 of City code with the approval of a Modification of Standards to front width requirements for 7-10, 13,14, 29, and 35.
15. The proposed subdivision is in conformance with Section 3-3-14 of City code.
16. The proposed subdivision is in conformance with Section 3-3-15 of City code.
17. The proposed subdivision and development is in conformance with Section 3-2-3 of City code.
18. The proposed subdivision and development is in conformance with Section 3-2-4 of City code.
19. The proposed subdivision and development is in conformance with Section 3-2-5(B)(2). Conformance with Section 3-2-5(B) is required as the subdivision develops.
20. The proposed subdivision and development is in conformance with Section 3-2-5(G) of City code with the approval of the Modification of Standards to front width requirements for 7-10, 13,14, 29, and 35.
21. The proposed subdivision and development is in conformance with Section 3-2-17. Conformance with Section 3-2-17 is required as the subdivision develops.
22. The proposed subdivision and development is not located in a designated flood hazard area and is in conformance with Section 3-8 of City code.
23. The proposed subdivision design shall conform to Title 9, Chapter 8 of City code.

**STAFF RECOMMENDATION:**

Staff recommends this item be **conditionally approved** with the following conditions:

1. Rezone 2-19 must be approved by the City Council and all conditions be met.
2. The subdivider is to comply with all provisions of the NAC and NRS pertaining to the proposed subdivision.
3. Tentative Map approval constitutes authorization for the subdivider to proceed with preparation of the Final Map and associated construction plans.
4. Tentative Map approval does not constitute authorization to proceed with site improvements, with the exception of authorized grading, prior to approval of the construction plans by the City and the State.

5. The applicant submit an application for Final Map within a period of four (4) years in accordance with NRS.360(1)(a). Approval of the Tentative Map will automatically lapse at that time.
6. A soils report is required with Final Map submittal.
7. A hydrology report is required with Final Map submittal.
8. Final Map construction plans are to comply with Chapter 3-3 of City code.
9. The subdivision design and construction shall comply with Title 9, Chapter 8 of City code.
10. The Utility Department will issue an Intent to Serve letter upon approval of the Tentative Map by the City Council.
11. A Modification of Standards approved by City Council for Lots 7-10, 13, and 14 to have reduced frontage widths.
12. A Modification of Standards approved by City Council for Lots 29 and 35 to have reduced square-footages.
13. Prior to being scheduled for a City Council hearing, the Tentative Map shall be modified as follows:
  - a. Remove the word "easement" from the description of the dedicated land along the eastern side of the subdivision and instead show this area as a separate parcel to be dedicated to the City of Elko similar to the street, detention pond, and sewer dedications.
  - b. Remove the residential lot property lines within the dedicated area described above.
  - c. Adjust the building setback line to reflect the correct rear property line.
  - d. Recalculate the lot areas to eliminate the dedicated area.
  - e. Revise the buildable area of the lots to reflect the correct rear property line.

## OWNER / DEVELOPER

BAILEY AND ASSOCIATES LLC.  
JON BAILEY  
780 WEST SILVER STREET  
ELKO, NEVADA 89801

ATTN: JON BAILEY  
775-385-3659  
JBAILEY@GMAIL.COM

# TENTATIVE MAP FOR CAMBRIDGE ESTATES SUBDIVISION ELKO, NEVADA

ELKO

ELKO COUNTY

NEVADA

## ENGINEER



1150 LAMOILLE HIGHWAY  
ELKO, NEVADA 89801  
(775) 738 - 8058

WWW.SUMMITNV.COM  
NITIN@SUMMITNV.COM

## BASIS OF BEARINGS

IS THE NORTH PROPERTY LINE OF SAID PARCEL IN SECTION 17  
T. 34 N., R. 55 E., M.D.B. & M. TAKEN AS N 89° 41' 39" E

## BASIS OF ELEVATION

U.S.C. & G.S. BENCHMARK #S141, DATED 1929  
ELEVATION REPORTED AS  
5183.54' ABOVE SEA LEVEL

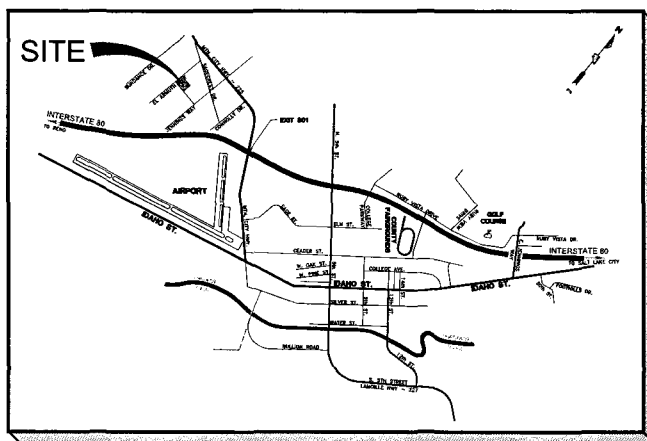
## PROJECT DATA

TOTAL SUBDIVIDED AREA = 8.02 ACRES  
TOTAL RIGHT-OF-WAY AREA = 1.32 ACRES (57,426.97 SF)  
OFFERED FOR DEDICATION  
NET AREA ~ (TOTAL AREA - RIGHT-OF-WAY AREA) = 6.70 ACRES  
TOTAL UNITS = 35 LOTS  
ESTIMATED WATER USAGE = 39.20 ACRE FEET PER YEAR  
ESTIMATED SEWER CONTRIBUTIONS = 12,250 GALLONS PER DAY  
THIS PROPOSED SUBDIVISION IS LOCATED IN SECTION 17, T 34 N. R 55 E. MDB&M.

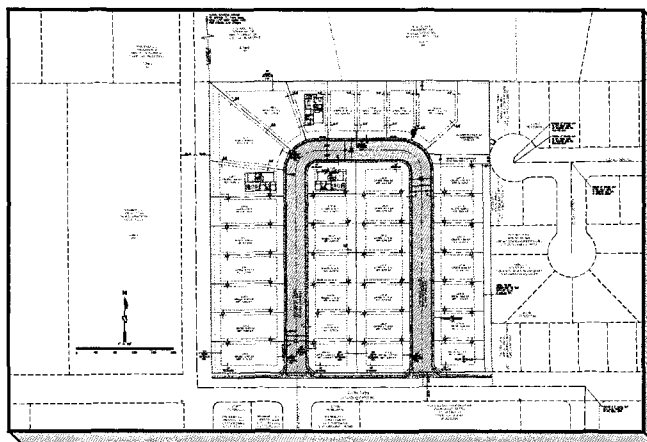
THE REQUIRED FIRE FLOW FOR THIS DEVELOPMENT WILL BE  
A MINIMUM OF 1,500 GPM FOR 2 HOURS, FOR RESIDENTIAL  
TYPE V-B CONSTRUCTION.

## ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	M.D.D.	MAXIMUM DRY DENSITY																																								
AGG.	AGGREGATE	L.T.	LEFT																																								
B.C.	BEGIN CURVE	L.P.	LOW POINT																																								
B.F.	BOTTOM OF FOOTING	M.H.	MANHOLE																																								
B.V.C.	BEGIN VERTICAL CURVE	P.	PAD ELEVATION																																								
B.W.	BACK OF SIDEWALK	P.C.	POINT OF COMPOUND CURV.																																								
C.B.	CATCH BASIN	P.I.	POINT OF INTERSECTION																																								
C.	CENTERLINE	P.P.C.	POINT OF REVERSE CURVATURE																																								
CONC.	CONCRETE	P.V.C.	POLYETHYLENE GLASS FIBER REINFORCED CONCRETE																																								
CONST.	CONSTRUCT	P.O.	PUSH ON																																								
CLR.	CLEARANCE	P.U.E.	PUBLIC UTILITY EASEMENT																																								
C.P.	CONCRETE PIPE	R.	RIGHT																																								
C.R.	CURB RETURN	R.W.	RIGHT OF WAY																																								
D.I.	DROP INLET	S.	SLOPE																																								
DET.	DETAIL	S.G.	SUBGRADE																																								
E.	ELEVATION	S.S.	SANITARY SEWER																																								
E.C.	END OF CURVE	S.W.	STANDARD																																								
E.V.C.	END OF VERTICAL CURVE	STD.	STANDARD																																								
EXIST.	EXISTING	SHT.	SHEET																																								
(E)	EXISTING	STA.	STATION																																								
E.G.	EXISTING GRADE	STA.	STATION																																								
F.F.	FINISHED FLOOR	STA.	STATION																																								
F.F.C.	FRONT FACE OF CURB	T.	TANGENT																																								
F.G.	FINISHED GRADE	TELE.	TELEPHONE																																								
F.H.	FIRE HYDRANT	T.C.	TOP OF CURB																																								
F.L.	FLOW LINE	T.B.	THRUST BLOCK																																								
FLG.	FLANGE	TOE	TOE OF SLOPE																																								
G.	GAS	TOP	TOP OF SLOPE </tr <tr><td>G.B.</td><td>GRADE BREAK</td><td>TYP.</td><td>TYPICAL</td></tr> <tr><td>GTV.</td><td>GATE VALVE</td><td>V.C.</td><td>VERTICAL CURVE</td></tr> <tr><td>H.C.</td><td>HANDICAPPED</td><td>V.P.I.</td><td>VERT. POINT OF INTERSECTION</td></tr> <tr><td>HORIZ.</td><td>HORIZONTAL</td><td>W.</td><td>WATER</td></tr> <tr><td>H.P.</td><td>HIGH POINT</td><td>Δ</td><td>CURVE DELTA</td></tr> <tr><td>INT.</td><td>INTERSECTION</td><td></td><td></td></tr> <tr><td>I.N.</td><td>INVERT ELEVATION</td><td></td><td></td></tr> <tr><td>L.</td><td>LENGTH</td><td></td><td></td></tr> <tr><td>L.F.</td><td>LINEAL FEET</td><td></td><td></td></tr> <tr><td>L.P.</td><td>LOW POINT</td><td></td><td></td></tr>	G.B.	GRADE BREAK	TYP.	TYPICAL	GTV.	GATE VALVE	V.C.	VERTICAL CURVE	H.C.	HANDICAPPED	V.P.I.	VERT. POINT OF INTERSECTION	HORIZ.	HORIZONTAL	W.	WATER	H.P.	HIGH POINT	Δ	CURVE DELTA	INT.	INTERSECTION			I.N.	INVERT ELEVATION			L.	LENGTH			L.F.	LINEAL FEET			L.P.	LOW POINT		
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VICINITY MAP



SITE PLAN

## SHEET INDEX

T-1	.....	TITLE SHEET
N-1	.....	GENERAL NOTES SHEET
S-1	.....	TENTATIVE MAP
G-1	.....	GRADING PLAN
U-1	.....	UTILITY PLAN
D-1	.....	DETAIL SHEET

## LAND USE CLASSIFICATION

R1 (RESIDENTIAL SINGLE FAMILY)

EASEMENTS: ALL LOTS TO CONTAIN A 5' UTILITY AND DRAINAGE EASEMENT ALONG THE SIDES AND NEAR LOT LINES AND A 7' 10' DRAINAGE AND UTILITY EASEMENT ALONG CITY RIGHT-OF-WAY.

FLOOD PLAIN: BASED ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ELKO, 2007/2008, DATED SEPTEMBER 4, 2013. THE ENTIRE SITE LIES OUTSIDE THE 100-YEAR FLOOD PLAIN. BASED UPON THE CITY OF ELKO AND BLM BEST AVAILABLE DATA THE SUBJECT PROPERTY HAS BEEN EXCLUSIVELY USED AS OPEN RANGE.

LOCATION: THIS SITE IS LOCATED WITHIN SECTION 17, TOWNSHIP 34 NORTH RANGE 55 EAST IN ELKO, NEVADA.

## REFERENCES

1. THE PARCEL MAP FOR ALAN & JULIE DUEWEL - RECORDED IN THE OFFICE OF THE ELKO COUNTY RECORDER ON MARCH 14, 1994 AS FILE NO. 350763.
2. THE PARCEL MAP FOR EDWARD JAFFE - RECORDED IN THE OFFICE OF THE ELKO COUNTY RECORDER ON FEBRUARY 27, 1985 AS FILE NO. 202405.
3. THE PARCEL MAP FOR GREGORY & SHERRY WENNER - RECORDED IN THE OFFICE OF THE ELKO COUNTY RECORDER ON MARCH 27, 1987 AS FILE NO. 228644.
4. THE FINAL MAP OF CLOVER HILLS SUBDIVISION - RECORDED IN THE OFFICE OF THE ELKO COUNTY RECORDER ON JULY 3, 1990 AS FILE NO. 293581.
5. THE PARCEL MAP FOR C.G. PROPERTIES INC. - RECORDED IN THE OFFICE OF THE ELKO COUNTY RECORDER ON JULY 19, 1989 AS FILE NO. 273073.

## UTILITIES

ELECTRIC ~ NV ENERGY  
TELEVISION ~ SATVIEW BROADBAND LLC  
TELEPHONE ~ FRONTIER COMMUNICATION  
GAS ~ SOUTHWEST GAS CORPORATION  
WATER ~ CITY OF ELKO  
SANITARY SEWER ~ CITY OF ELKO  
GARBAGE UTILITIES ~ ELKO SANITATION (CITY LANDFILL)

## SPECIFICATIONS

ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, WASHOE COUNTY, AND THE RECOMMENDATIONS ESTABLISHED BY THE SOILS INVESTIGATION FOR THIS SITE.

## ENGINEER'S STATEMENT

THESE PLANS (SHEETS T-1 OF 6 THROUGH D-1 OF 6) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY CODES, THE CITY CODES SHALL PREVAIL.

NITIN I. BHAKTA

P.E. #15494



CIVIL IMPROVEMENT PLANS FOR  
CAMBRIDGE ESTATE SUBDIVISION  
TITLE SHEET

REV.	DATE	DESCRIPTION	BY	APP'D
1	12-12-19	CITY REDLINES	NIE	N.I.B.



SHEET	DESIGNED BY: JSNB	DRAWN BY: CAD 2019
T-1	CHECKED BY: NIB	June 4, 2019
6		

[illegible][illegible][illegible][illegible]

ALL SIGNAGE AND PAYMENT MARKINGS SHALL COMPLY WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, PROJECT SPECIFICATIONS, THESE PLANS, AND THE MOST CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

CONTRACTOR SHALL PROVIDE ALL OTHER APPLICATIONS AND PERMITS REQUIRED FOR THE INSTALLATION OF ANY MARKING. SIGNAGE, SYMBOLS, AND OTHER PAYMENT MARKINGS.

CONTRACTOR SHALL VERIFY LOCATION OF EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO INSTALLATION OF SIGNAL.

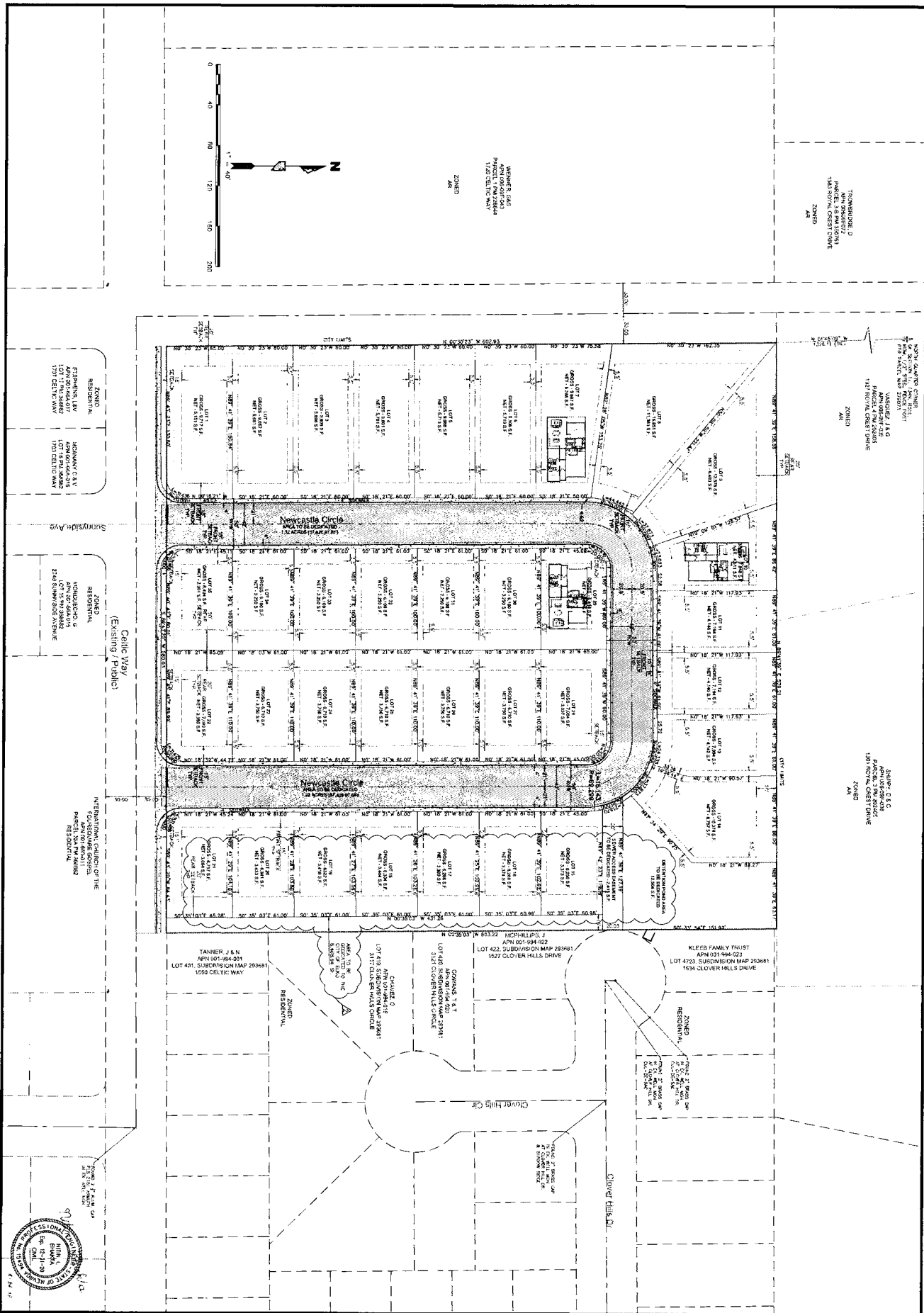
SIGNALS SHOWN ON THIS PLAN DOES NOT INCLUDE TRAFFIC CONTROL THAT MAY BE REQUIRED PRIOR TO CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL THAT MAY BE REQUIRED DURING CONSTRUCTION.

ANY ADDITIONAL SIGNAGE AND STRIPING NEEDED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

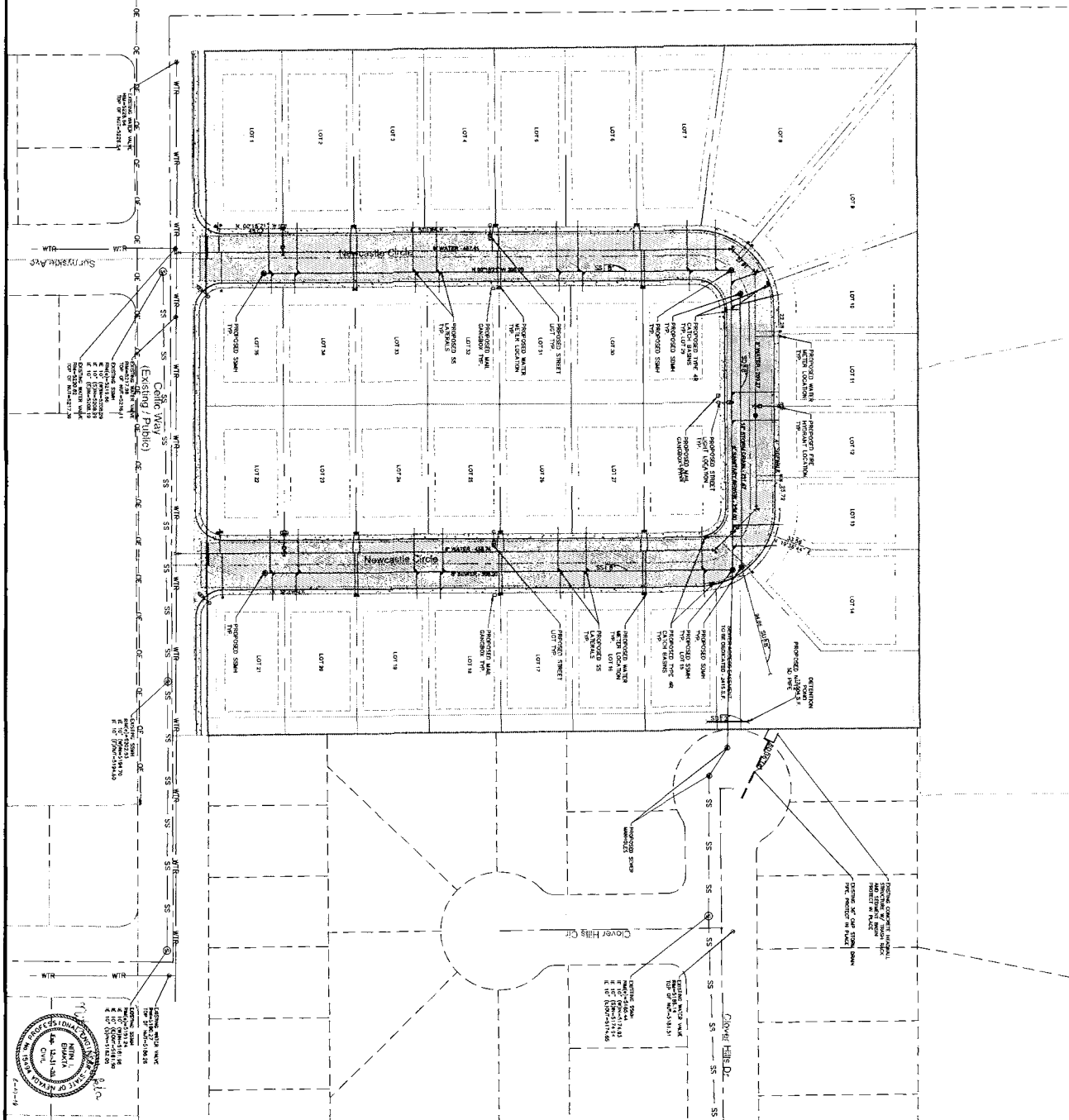
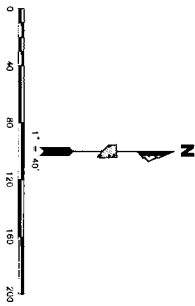
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SS & SD MANHOLE (HOLLOW IF EXISTING)  
CATCH BASIN (HOLLOW IF EXISTING)  
FIRE SERVICE  
GUY WIRE

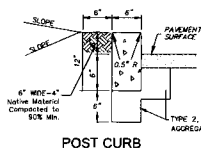
## 61-5







SHEET <b>U-1</b> OF <b>6</b>	DESIGNED BY: ACAD14	<p><b>SUMMIT</b> ENGINEERING CORPORATION</p> <p>1150 LAMOLLE HWY., ELKO, NV 89801          PHONE: (775) 738-0058 FAX: (775) 738-6267          email: info@summiteng.com</p>	SCALE HORIZ: 1" = 40' VERT: NONE JOB NO:	REV. DATE DESCRIPTION 1 8-10-19 CITY REDLINES	BY APP'D NIB NIB	<b>CIVIL IMPROVEMENT PLANS FOR          CAMBRIDGE ESTATE SUBDIVISION          UTILITY PLAN</b>  ELKO ELKO COUNTY NEVADA
	CHECKED BY:		CHECKED BY:	CHECKED BY:	CHECKED BY:	
	DRAWN BY:		DRAWN BY:	DRAWN BY:	DRAWN BY:	
	DATE: 8/10/19		DATE: 8/10/19	DATE: 8/10/19	DATE: 8/10/19	

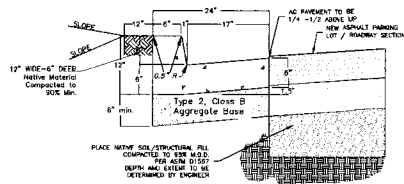


POST CURB

NOTES:

1. CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 332.10 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. AGGREGATE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF SECTIONS 302 & 308 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL CONCRETE CURB SHALL HAVE 1\"/>

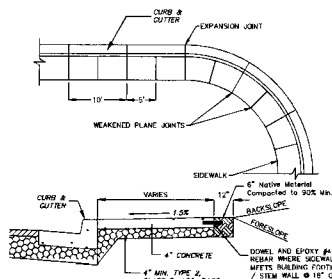
1 POST CURB  
NOT TO SCALE



NOTES:

1. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, 6 1/2 BAGS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.55, AN AIR CONTENT OF 5% AT 1\"/>

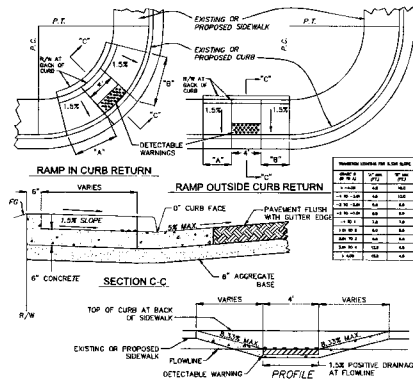
5 TYPE 1 CURB & GUTTER DETAIL  
NOT TO SCALE



NOTES:

1. CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 332.10 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ALL CONCRETE SIDEWALK SHALL HAVE 1\"/>

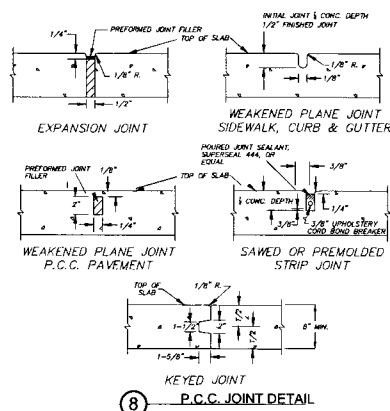
7 SIDEWALK DETAIL



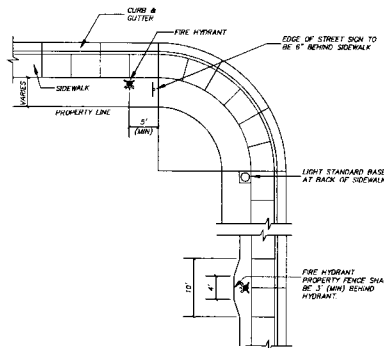
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2. AGGREGATE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF SECTION 302 & 308 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. CURB RAMP WHEN CURB RETURN SHALL BE LOCATED AS THE REAR END OF CURB RETURN.
4. RAMP SHALL BE CONSTRUCTED WITH A RAMP BREAK FROM PARALLEL TO THE SLOPE OF THE RAMP.
5. WHEN CONSTRUCTING A RAMP WITH CURB & GUTTER, THE RAMP SHALL BE LOCATED PRIOR TO INSTALLATION.
6. DETECTABLE WARNING SHALL BE YELLOW AND ORANGE OF RAMPED TRUCKS AND PLACED AT THE BOTTOM PORTION OF THE RAMP.
7. CROSS SLOPE OF SIDEWALK AND RAMP SURFACES SHALL NOT EXCEED 2%.
8. CURB RAMP & DETECTABLE WARNING SHALL MEET THE REQUIREMENTS OF 28 CFR PART 36.400 STANDARDS FOR ACCESSIBLE DESIGN.

2 TYPE 1 CURB RAMP  
NOT TO SCALE



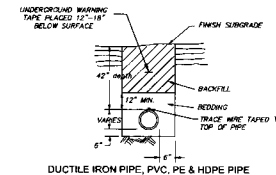
8 KEYED JOINT  
P.C.C. JOINT DETAIL



NOTES:

1. WHERE CONDITIONS DIFFER FROM THOSE SHOWN, UTILITIES MAY BE LOCATED WITHIN THE SIDEWALK SECTION WITH THE APPROVAL OF THE GOVERNING AGENCY.
2. WHEN FIRE HYDRANTS AND LIGHT STANDARDS ARE IN THE SAME VICINITY, THEY SHALL BE SEPARATED BY AT LEAST 5 FEET.
3. WHEN STOP SIGN IS LOCATED AT P.C., STREET SIGN SHALL BE MOUNTED ON SAME POLE.
4. STREET SIGN AT MID-RETURN SHALL BE LOCATED ADJACENT TO A PRESTRESS CURB RAMP, IF APPLICABLE.
5. WHERE CURB AND GUTTER DO NOT EXIST, EDGE OF STOP SIGN SHALL BE PLACED AT THE BEGINNING OF THE CURB, 6 FEET FROM THE EDGE OF PAVEMENT.

3 STREET LIGHT, HYDRANT, & SIGN LOCATION  
NOT TO SCALE



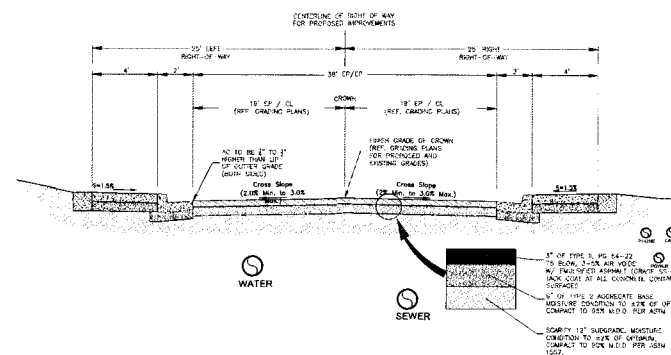
DUCTILE IRON PIPE, PVC, PE & HDPE PIPE

\*FOR FIRE MAIN INSTALLATION CONTRACTOR TO REFER TO NFPA 24-2010 SECTION 10.4\*

NOTES:

1. WATER DENSIFIED BACKFILL AND TUNDLING SHALL NOT BE ALLOWED.
2. BACKFILL SHALL MEET THE REQUIREMENTS FOR CLASS 1\"/>

4 TRENCH EXCAVATION & BACKFILL DETAIL  
NOT TO SCALE



9 NEWCASTLE CIRCLE  
TYPICAL STRUCTURAL SECTION

CIVIL IMPROVEMENT PLANS FOR  
CAMBRIDGE ESTATE SUBDIVISION  
DETAIL SHEET

NEVADA

ELKO COUNTY

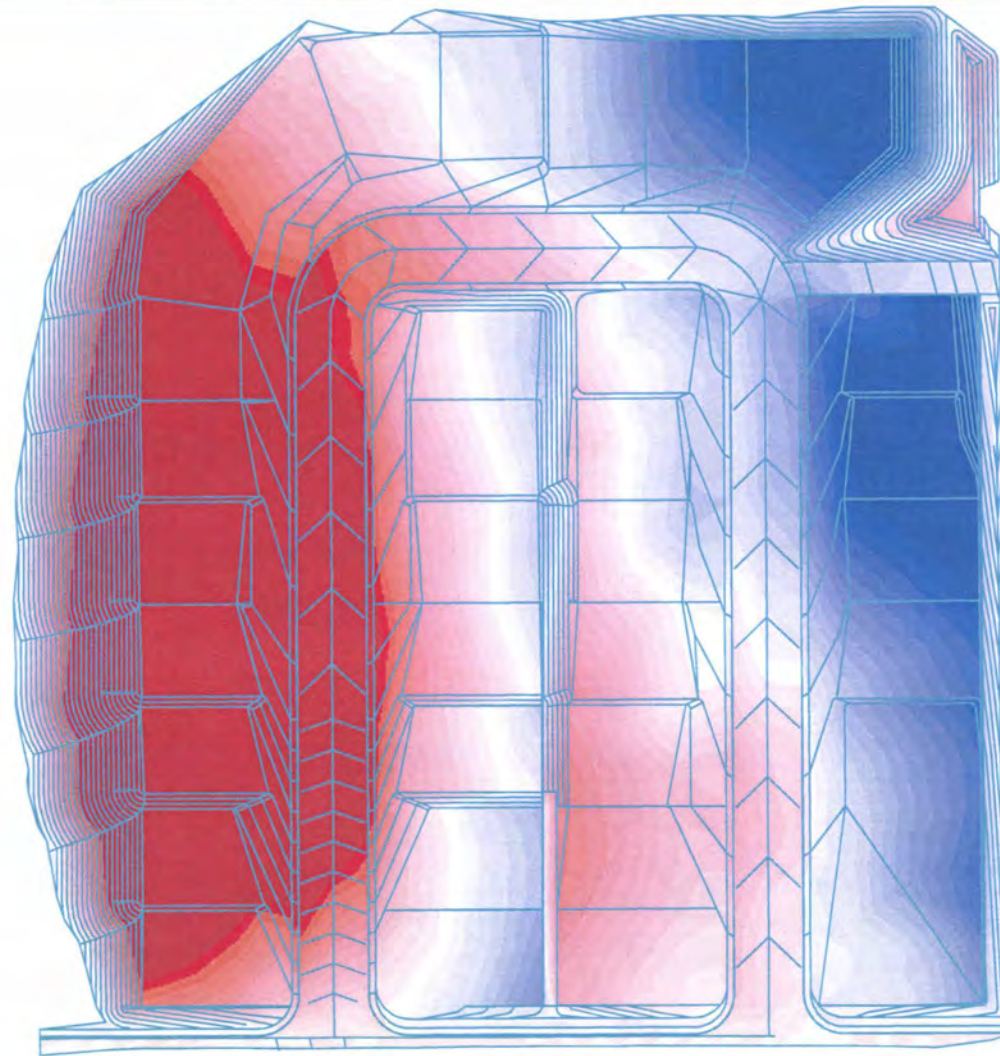
ELKO

REV	DATE	DESCRIPTION	BY	APPD

SUMMIT  
CORPORATION  
1100 LAMARLE DRIVE, ELKO, NV 89801  
TEL: (775) 738-6677 FAX: (775) 738-6677  
WWW.SUMMITCORP.COM

DESIGNED BY: ACAD-1  
DRAWN BY: ACAD-1  
CHECKED BY: 6  
SHEET D-1 OF 6





## CELTIC SONG SUBDIVISION

### BAILEY ENGINEERING, PLLC

JON BAILEY

(775) 385-3659

JBAILEYPE@GMAIL.COM

REFERENCE # :

2/15/2019

RAW CUT:	47.198 (CY)
RAW FILL:	20.187 (CY)
NET BALANCE:	27.011 EXPORT (CY)
GRADED AREA:	7.8909 (AC)
	343.727 (SF)

# SUMMARY

Name	Area (SF)				Raw Volumes (CY)		Comp/Ratio		Compact (CY)		Net		Balance(CY) Change / .1'
	Total(SF)	Cut(SF)	Fill(SF)	OnGrade(SF)	Cut(CY)	Fill(CY)	Cut	Fill	Cut(CY)	Fill(CY)	Balance(CY)		
Offsite	9,732	5,983	3,154	595	99	63	1.00	1.00	99	63	36	Export	36
Onsite	333,995	194,056	134,764	5,175	47,099	20,124	1.00	1.00	47,099	20,124	26,975	Export	1,238
<b>Site Total</b>	<b>343,727</b>	<b>200,039</b>	<b>137,918</b>	<b>5,770</b>	<b>47,198</b>	<b>20,187</b>	<b>1.00</b>	<b>1.00</b>	<b>47,198</b>	<b>20,187</b>	<b>27,011</b>	<b>Export</b>	<b>1,274</b>

Subgrade Sections	Plane Area(SF)	Slope Area(SF)	Depth (FT)	Volume (CY)
OFF Sidewalk	1,900	1,906	0.667	48
OFF Street	5,551	5,567	1.000	206
ONS Sewer Access	2,467	2,480	1.000	92
ONS Sidewalk	9,067	9,073	0.667	224
ONS Street	48,038	48,075	1.000	1,781
<b>Total</b>	<b>67,023</b>	<b>67,101</b>		<b>2,351</b>

Removal Items	Plane Area(SF)	Slope Area(SF)	Depth (FT)	Volume (CY)
Stripping	343,727	344,773	0.667	8,517

## Notes

### Existing Layer:

Data imported from "SUMMIT TOPO.dwg".

### Design Layer:

Data imported from "Stage One Bailey Map.dwg".

### Subgrade Sections:

01. Sewer Access Road 3"/9" (assumed)
02. Sidewalk 4"/4" (assumed)
03. Street 3"/9" (per request)

### Removal Items:

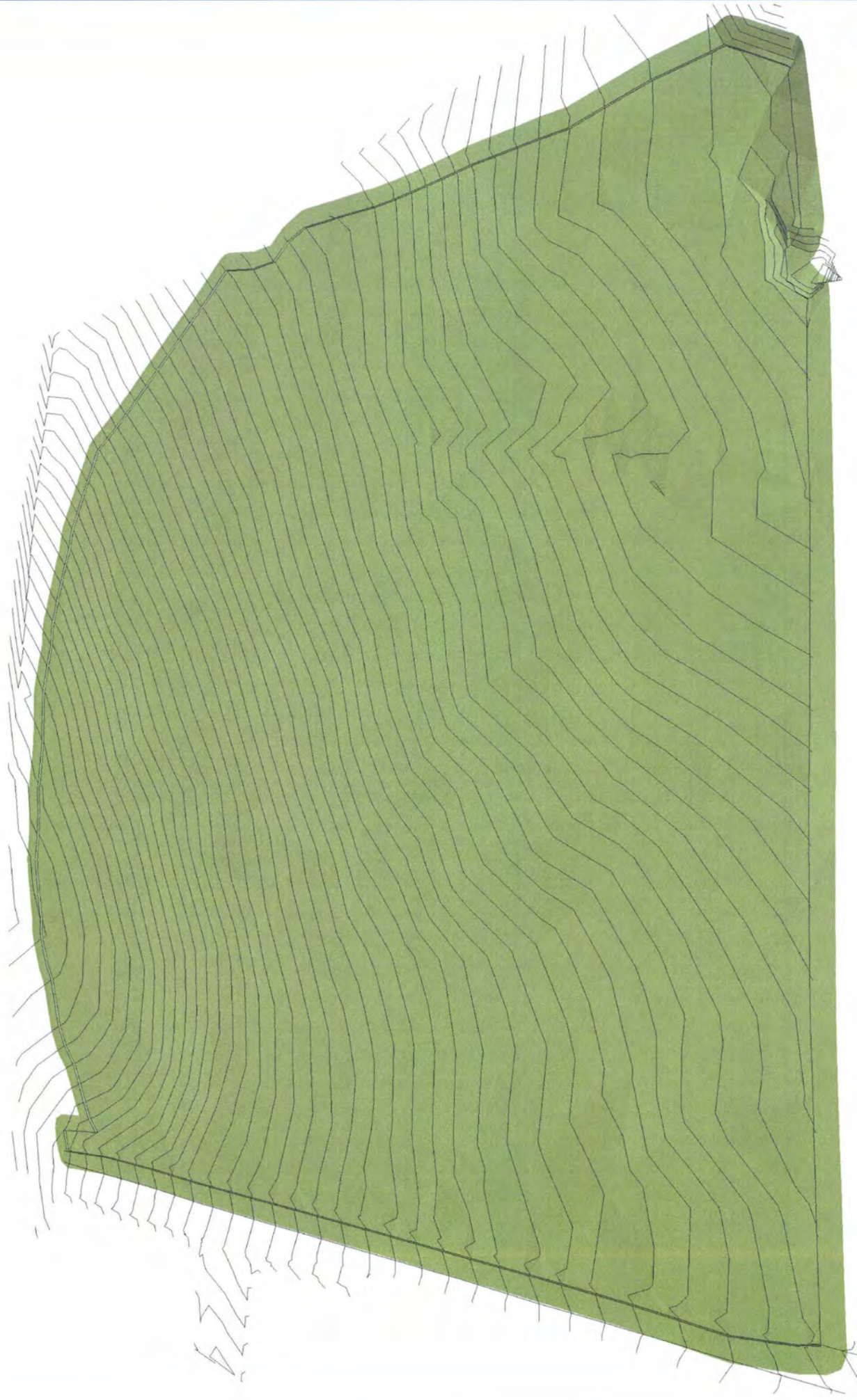
Demolition was removed before volumes were calculated, and needs to be stockpiled or off-hauled.

01. Stripping 8" (per request)

### Area of Concern:

01. All FG elevations at the Pad areas were disregarded due to conflict with the proposed slopes and contours.
02. No PDF sheets were provided, and the lack of details may affect the accuracy of this report.

Name	Area (SF)				Raw Volumes (CY)		Comp/Ratio		Compact (CY)		Net		Balance(CY)
	Total(SF)	Cut(SF)	Fill(SF)	OnGrade(SF)	Cut(CY)	Fill(CY)	Cut	Fill	Cut(CY)	Fill(CY)	Balance(CY)	Change / .1'	
OFF Celtic Way	9,732	5,983	3,154	595	99	63	1.00	1.00	99	63	36	Export	36
ONS Lots	276,805	152,762	119,681	4,362	37,206	18,836	1.00	1.00	37,206	18,836	18,370	Export	1,026
ONS Ukelele Circle	57,190	41,294	15,083	813	9,893	1,288	1.00	1.00	9,893	1,288	8,605	Export	212
<b>Subtotal:</b>	<b>333,995</b>	<b>194,056</b>	<b>134,764</b>	<b>5,175</b>	<b>47,099</b>	<b>20,124</b>	<b>1.00</b>	<b>1.00</b>	<b>47,099</b>	<b>20,124</b>	<b>26,975</b>	<b>Export</b>	<b>1,238</b>
<b>Site Total</b>	<b>343,727</b>	<b>200,039</b>	<b>137,918</b>	<b>5,770</b>	<b>47,198</b>	<b>20,187</b>	<b>1.00</b>	<b>1.00</b>	<b>47,198</b>	<b>20,187</b>	<b>27,011</b>	<b>Export</b>	<b>1,274</b>



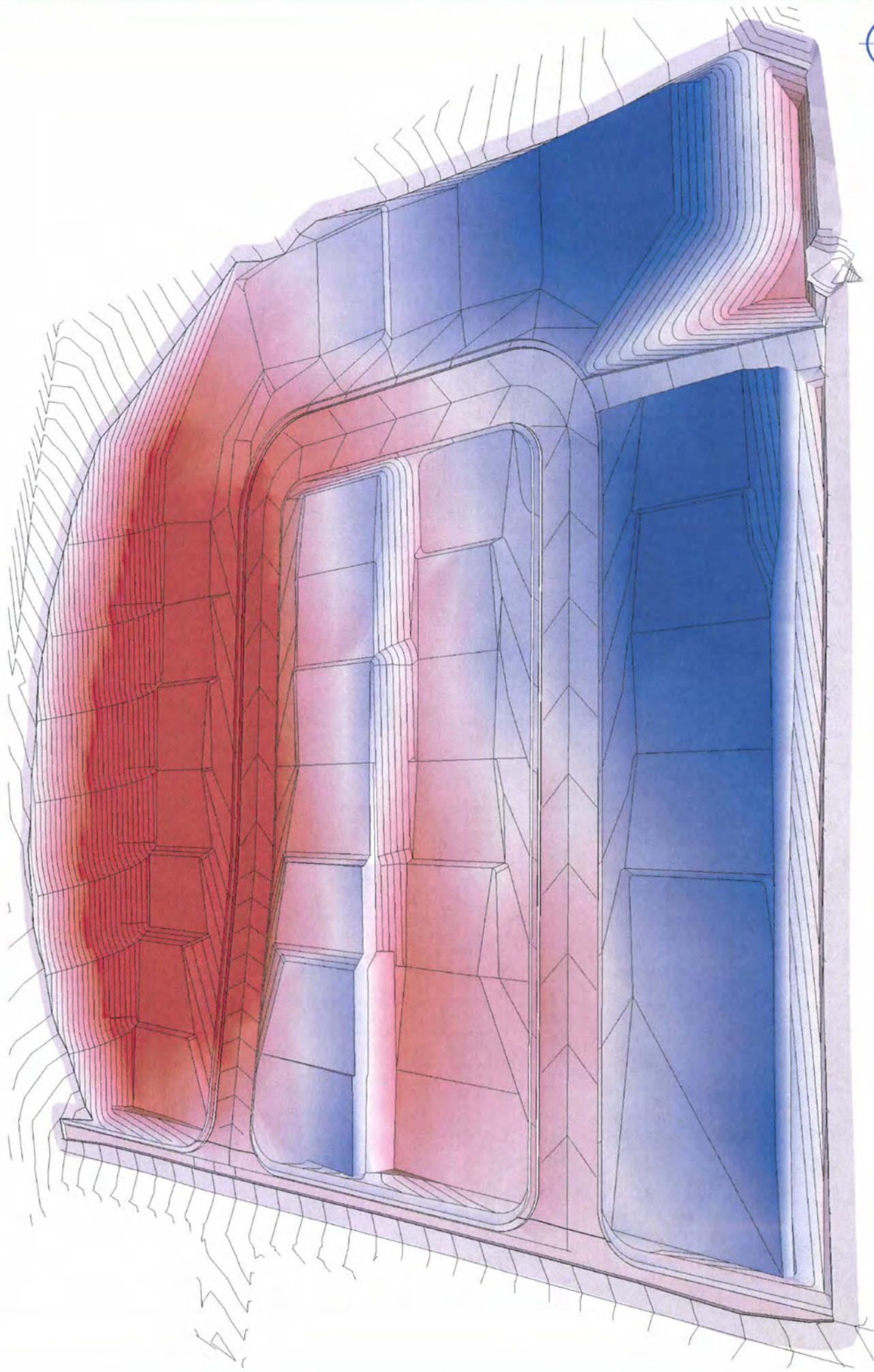
CELTIC SONG SUBDIVISION

EXISTING



PROPOSED

CELTIC SONG SUBDIVISION



210.10	209.34	208.50	207.55	207.15	206.42	205.55	204.92	204.17	203.42	202.70	201.99	201.25	200.73	200.12	199.59	19
205.04	206.79	206.87	206.87	206.87	206.87	206.87	206.87	206.87	206.36	203.41	200.16	200.00	200.00	200.00	200.00	19
C4+36	C2+86	C2+06	C1+33	C0+61	F0+12	F0+86	F1+62	F2+37	F2+58	F0+28	C2+27	C1+69	C0+96	C0+29	F0+23	F1
210.40	209.65	208.93	208.20	207.48	206.75	206.01	205.25	204.50	203.78	203.13	202.43	201.69	200.96	200.29	199.77	19
206.36	207.03	207.05	207.05	207.05	207.05	207.05	207.06	207.06	206.76	203.43	201.06	201.06	201.06	201.06	201.06	20
C4+54	C3+09	C2+28	C1+49	C0+75	C0+02	F0+72	F1+46	F2+19	F2+59	C0+11	C1+80	C1+07	C0+29	F0+50	F1+11	F
210.90	210.12	209.33	208.54	207.80	207.07	206.33	205.60	204.87	204.17	203.54	202.86	202.13	201.35	200.56	199.95	19
206.58	207.17	207.22	207.22	207.23	207.23	207.23	207.23	207.23	206.78	203.45	201.23	201.22	201.22	201.22	201.22	20
C4+84	C3+46	C2+62	C1+82	C1+03	C0+24	F0+50	F1+27	F1+99	F2+23	C0+48	C2+07	C1+34	C0+56	F0+22	F0+98	F
211.42	210.63	209.84	209.04	208.26	207.47	206.73	205.96	205.24	204.55	203.93	203.30	202.56	201.78	201.00	200.24	19
206.58	207.16	207.40	207.40	207.40	207.40	207.40	207.40	207.40	206.80	203.47	201.40	201.39	201.39	201.39	201.39	20
C5+35	C3+97	C2+95	C2+16	C1+37	C0+56	F0+25	F1+07	F1+79	F1+88	C0+84	C2+29	C1+61	C0+83	C0+05	F0+73	F
211.93	211.13	210.35	209.56	208.77	207.96	207.15	206.33	205.61	204.92	204.31	203.69	203.00	202.22	201.44	200.66	19
206.74	207.27	207.57	207.57	207.57	207.57	207.57	207.57	207.57	206.82	203.48	201.57	201.55	201.55	201.55	201.55	20
C5+70	C4+38	C3+29	C2+48	C1+67	C0+86	C0+05	F0+77	F1+55	F1+52	C1+18	C2+39	C1+64	C0+83	C0+04	F0+75	F
212.44	211.65	210.86	210.05	209.24	208.43	207.62	206.80	206.02	205.30	204.66	203.96	203.19	202.38	201.59	200.80	20
206.95	207.58	207.74	207.74	207.74	207.74	207.74	207.75	207.75	206.84	203.50	201.75	201.71	201.71	201.71	201.72	20
C6+04	C4+57	C3+60	C2+79	C1+98	C1+17	C0+36	F0+46	F1+28	F1+27	C1+31	C2+35	C1+62	C0+75	F0+06	F0+85	F
212.99	212.15	211.34	210.53	209.72	208.91	208.10	207.29	206.47	205.57	204.81	204.10	203.33	202.46	201.65	200.87	20
207.28	207.90	207.91	207.91	207.91	207.92	207.92	207.92	207.92	206.85	204.42	201.94	201.88	201.88	201.88	201.88	20
C6+10	C4+69	C3+90	C3+10	C2+29	C1+48	C0+67	F0+15	F1+19	F1+10	C0+53	C2+30	C1+59	C0+73	F0+14	F0+95	F
213.38	212.59	211.81	211.01	210.20	209.40	208.59	207.77	206.73	205.75	204.95	204.24	203.47	202.61	201.74	200.93	20
207.63	208.71	209.03	209.03	209.04	209.04	209.04	209.05	209.05	209.00	205.70	202.35	202.04	202.04	202.04	202.04	20
C6+11	C4+23	C3+14	C2+37	C1+60	C0+83	C0+02	F1+01	F2+09	F3+03	F0+54	C2+04	C1+57	C0+71	F0+16	F1+03	F
213.74	212.94	212.17	211.40	210.64	209.87	209.06	208.04	206.96	205.97	205.16	204.39	203.61	202.75	201.88	201.01	20
207.85	208.88	209.20	209.20	209.22	209.22	209.23	209.25	209.26	209.02	205.71	202.52	202.20	202.21	202.21	202.21	20
C6+26	C4+42	C3+34	C2+57	C1+78	C0+98	C0+11	F0+98	F2+07	F2+82	F0+32	C2+06	C1+54	C0+69	F0+18	F1+05	F
214.11	213.30	212.54	211.77	211.00	210.20	209.34	208.27	207.19	206.20	205.39	204.58	203.74	202.90	202.03	201.16	20
208.09	208.89	209.36	209.37	209.40	209.40	209.42	209.45	209.46	209.03	205.72	202.59	202.37	202.37	202.37	202.37	20
C6+38	C4+77	C3+53	C2+75	C1+86	C1+00	C0+09	F0+97	F2+04	F2+58	F0+10	C2+29	C1+73	C0+86	F0+00	F0+87	F
214.47	213.66	212.89	212.12	211.26	210.40	209.51	208.48	207.42	206.45	205.62	204.88	204.10	203.23	202.37	201.50	20
208.32	208.92	209.52	209.55	209.58	209.58	209.62	209.64	209.66	209.06	205.72	202.75	202.53	202.53	202.53	202.54	20
C6+53	C5+10	C3+65	C2+77	C1+88	C1+02	C0+07	F0+96	F2+03	F2+33	C0+27	C2+51	C1+96	C1+09	C0+23	F0+57	F
214.85	214.02	213.17	212.32	211.46	210.60	209.69	208.68	207.63	206.73	205.99	205.26	204.49	203.62	202.76	201.97	20
208.43	208.94	209.70	209.73	209.76	209.77	209.81	209.84	209.87	209.07	205.73	202.78	202.70	202.70	202.70	202.70	20
C6+81	C5+36	C3+68	C2+79	C1+90	C1+03	C0+06	F0+96	F1+93	F1+94	C0+66	C2+87	C2+18	C1+32	C0+52	F0+02	F
215.24	214.30	213.38	212.52	211.66	210.80	209.87	208.88	207.94	207.13	206.39	205.65	204.88	204.02	203.22	202.68	20
208.50	208.94	209.86	209.91	209.94	209.96	210.01	210.04	210.08	209.12	205.74	202.88	202.86	202.86	202.86	202.86	20
C7+17	C5+79	C3+92	C2+94	C1+97	C1+03	C0+09	F0+85	F1+75	F1+59	C1+05	C3+16	C2+41	C1+60	C1+06	C0+53	F
215.67	214.73	213.78	212.85	211.91	210.99	210.10	209.19	208.33	207.53	206.79	206.04	205.27	204.46	203.92	203.39	20
208.67	208.97	210.03	210.07	210.11	210.16	210.20	210.24	210.28	209.13	205.74	203.17	203.03	203.03	203.03	203.03	20
C7+43	C6+18	C4+19	C3+20	C2+22	C1+23	C0+28	F0+65	F1+55	F1+20	C1+45	C3+28	C2+66	C2+14	C1+61	C1+07	C
216.10	215.15	214.22	213.27	212.33	211.39	210.48	209.59	208.73	207.93	207.19	206.45	205.69	205.17	204.64	204.10	20
208.87	209.47	210.22	210.25	210.28	210.31	210.36	210.38	210.41	209.17	205.75	203.24	203.20	203.20	203.20	203.20	20
C7+65	C6+11	C4+42	C3+45	C2+50	C1+56	C0+61	F0+35	F1+28	F0+84	C1+84	C3+68	C3+11	C2+58	C2+05	C1+51	C
216.52	215.58	214.64	213.70	212.78	211.87	210.97	210.03	209.13	208.33	207.59	206.92	206.31	205.78	205.25	204.71	20
209.20	210.06	210.39	210.41	210.44	210.47	210.51	210.52	210.55	209.21	205.75	203.37	203.37	203.37	203.37	203.37	20
C7+75	C5+95	C4+68	C3+75	C2+83	C1+89	C0+96	C0+00	F0+98	F0+46	C2+38	C4+13	C3+53	C2+99	C2+46	C1+89	C
216.95	216.01	215.07	214.16	213.27	212.36	211.47	210.52	209.57	208.75	208.13	207.50	206.90	206.36	205.83	205.26	20
209.66	210.46	210.56	210.57	210.60	210.63	210.65	210.66	210.70	209.25	205.76	203.54	203.54	203.54	203.54	203.55	20
C7+58	C5+98	C4+99	C4+08	C3+16	C2+23	C1+31	C0+36	F0+64	C0+04	C2+93	C4+54	C3+94	C3+40	C2+84	C2+04	C
217.24	216.44	215.55	214.65	213.76	212.86	211.96	211.02	210.06	209.29	208.69	208.08	207.48	206.94	206.38	205.59	20
209.94	210.74	210.74	210.75	210.76	210.79	210.80	210.81	210.83	209.32	205.77	203.71	203.72	203.72	203.72	203.72	20
C7+46	C5+89	C5+11	C4+32	C3+49	C2+56	C1+65	C0+70	F0+32	C0+43	C3+47	C4+93	C4+35	C3+79	C2+99	C2+19	C
217.40	216.63	215.85	215.07	214.25	213.35	212.45	211.51	210.51	209.75	209.24	208.64	208.07	207.51	206.71	205.91	20
210.38	210.92	210.93	210.93	210.93	210.94	210.94	210.95	210.95	209.38	205.77	203.89	203.89	203.89	203.89	203.89	20
C7+19	C5+88	C5+09	C4+30	C3+50	C2+69	C1+87	C1+01	F0+01	C0+84	C3+93	C5+29	C4+71	C3+94	C3+14	C2+34	C
217.57	216.80	216.02	215.23	214.43	213.63	212.81	211.96	210.94	210.22	209.70	209.18	208.60	207.83	207.03	206.23	20
210.86	212.56	212.98	213.00	213.06	213.15	213.25	213.39	213.53	209.75	206.56	205.01	205.01	205.01	205.01	205.01	20
C6+87	C4+42	C3+20	C2+39	C1+53	C0+70	F0+12	F1+05	F2+14	C0+93	C3+60	C4+64	C4+04	C3+24	C2+44	C1+64	C
217.73	216.98	216.18	215.39	214.59	213.85	213.13	212.34	211.39	210.68	210.16	209.65	209.05	208.25	207.45	206.65	20
211.50	213.11	213.28	213.33	213.41	213.51	213.57	213.68	213.75	209.79	206.58	205.17	205.17	205.17	205.17	205.17	20
C6+40	C4+04	C3+07	C2+25	C1+45	C0+62	F0+16	F1+05	F1+99	C1+33	C4+03	C4+92	C4+33	C3+53	C2+73	C1+94	C
217.90	217.15	216.35	215.58	214.86	214.13	213.41	212.63	211.76	211.12	210.61	210.09	209.50	208.70	207.90	207.11	20

# TM 7-19 Cambridge Estates - CC

YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
001994019	CHAVEZ, GREGORY NATHAN		3117 CLOVER HILLS CIR	ELKO NV	89801-7929
001994020	GOWANS, TODD HUGH & TAMERA A		3121 CLOVER HILLS CIR	ELKO NV	89801-7929
001994023	KLEEB, GEORGE L & DEENA R TR		1534 CLOVER HILLS DR	ELKO NV	89801-7917
00609F067	KUMP, JEFFREY J & TANIA MICHELL		1723 CELTIC WAY	ELKO NV	89801-4720
00166A016	MCANANY, CHRISTOPHER D ET AL		1703 CELTIC WAY	ELKO NV	89801-4720
00166A015	MORQUECHO, GUSTAVO		2748 SUNNYSIDE AVE	ELKO NV	89801-7938
001660011	SCOTT REUTNER PROPERTIES LLC		1770 SHARP ACCESS RD	ELKO NV	89801-4023
00609F038	SHIPPY, DOUGLAS G & CRYSTAL C		567 POPLAR DR	SPRING CREEK NV	89815-6134
00166A017	STEPHENS, LEE R & VANT		1707 CELTIC WAY	ELKO NV	89801-4720
001994022	STITZEL, LANCE C & GINA N		1527 CLOVER HILLS DR	ELKO NV	89801-7916
001994001	TANNER, JOHN R & NAOMI		1550 CELTIC WAY	ELKO NV	89801-4775
00609F039	VASQUEZ, JOSE A ET AL		1327 ROYAL CREST DR	ELKO NV	89801-7954
00609F043	WENNER, GREGORY D & SHERRY L		1720 CELTIC WAY	ELKO NV	89801-4710

13

Postmarked  
7/12/19



## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Elko City Council will conduct a public hearing on Tuesday, July 23, 2019 beginning at 5:30 P.M. P.S.T. at Elko City Hall, 1751 College Avenue, Elko, Nevada, and that the public is invited to provide input and testimony on this matter under consideration in person, by writing, or by representative.

The specific items to be considered under public hearing format are:

- Rezone 2-19, having a hearing as Resolution 14-19, filed by Bailey & Associates, LLC for a change in zoning from PQP (Public, Quasi-Public) to R1 (Single Family Residential), approximately 8.02 acres of property, specifically APN 001-660-041, located generally on the northeast corner of the intersection of Celtic Way and El Armuth Drive, more particularly described as:  
Two parcels of land being all of Parcel A as shown on that certain Parcel Map for CG Properties, Inc. filed in the office of the County Recorder of Elko County, State of Nevada, on July 19, 1989, as File No. 279073, and all of Parcel 2 of Grant, Bargain and Sale Deed Document 750907, recorded January 23, 2019, Official Records of Elko County, Nevada, situate within the Northeast Quarter of Section 17, T34N, R55E, MDM, being more particularly described as follows:  
Beginning at the Northwest corner of said Parcel A;  
Thence along the North boundary of said Parcel A North 89°41'39" East a distance of 577.18 feet to the Northwest corner of said Parcel 2;  
Thence departing said North boundary and along the north boundary of said Parcel 2 North 89°41'39" East a distance of 2.04 feet to the Northeast corner of said Parcel 2, also being the Northwest corner of the exterior boundary of Clover Hills Subdivision Phase 4, File No. 293681, recorded July 3, 1990, in said Official Records;  
Thence departing said North boundary and along the East boundary of said Parcel 2, also being the West exterior boundary of said Clover Hills Subdivision Phase 4, South 00°35'03" East a distance of 603.22 feet to the Southeast corner of said Parcel 2, also being the Southwest corner of the exterior boundary of said Clover Hills Subdivision Phase 4;  
Thence departing East boundary of said Parcel 2 and said West exterior boundary, and along the South boundary of said Parcel 2, also being along the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 1.17 feet to the Southwest corner of said Parcel 2, and Southeast corner of said Parcel A;  
Thence departing the South boundary of said Parcel 2, and along the South boundary of said Parcel A and the North right-of-way of Celtic Drive, South 89°43'20" West a distance of 578.86 feet to the Southwest corner of said Parcel A;  
Thence departing said South boundary and said North right-of-way, and along the West boundary of said Parcel A North 00°30'23" West a distance of 602.93 feet to the Point of Beginning.  
Said parcel contains an area of approximately 8.02 acres.  
Basis of Bearings: National Spatial Reference System NAD 83(2007) epoch 2007.00 per the City of Elko broadcasted latitude, longitude, and ellipsoid height for the City of Elko CORS of North 40°50'38.57413", West 115°45'09.58441", and 5047.334 feet. The

projection used for this site is the Nevada State Plane Coordinate Zone, East Zone using U.S. Survey feet and scaling the State Plane grid coordinates by a combined grid to ground factor of 1.000357.

The intent of the zone change is to allow for a single family residential subdivision.

- Tentative Map No. 7-19, filed by Bailey & Associates, LLC, for the development of a subdivision entitled Cambridge Estates involving the proposed division of approximately 8.02 acres of property into 35 lots for residential development within the R1 (Single-Family Residential) Zoning District, in conjunction with a zone change application, and matters related thereto. The subject property is located generally on the northeast corner of the intersection of Celtic Way and El Armuth Drive. (APN 001-660-041)

Additional information concerning this item may be obtained by contacting the Elko City Planning Department at (775) 777-7160.

#### **ELKO CITY COUNCIL**

COREY L. RICE, PLS, WRS  
SENIOR PLANNER  
CODE ENFORCEMENT  
[crice@elkocountynv.net](mailto:crice@elkocountynv.net)

PEGGY PIERCE-FITZGERALD  
PLANNING TECHNICIAN/  
GIS OPERATOR  
[pfitzgerald@elkocountynv.net](mailto:pfitzgerald@elkocountynv.net)



## Elko County Planning & Zoning Division

540 Court Street, Suite 104  
Elko, Nevada 89801  
775-738-6816 Ext. #3 (fax) 775-738-4581  
[www.elkocountynv.net](http://www.elkocountynv.net)

May 29, 2018

**RECEIVED**

JUN 11 2019

Shelby Archuleta  
City of Elko Planning Department  
1751 College Avenue  
Elko, NV 89801

RE: Tentative Map No. 7-19 / Cambridge Estates

Ms. Archuleta,

After reviewing the above referenced Tentative Subdivision Map, Elko County Planning and Zoning requests the following note (or approved similar note) be added to the Tentative and Final Subdivision Maps:

"Ingress and egress to Lots 1 through 9 is exclusively from Newcastle Circle. Access to these lots will not be allowed from El Armuth Drive until El Armuth Drive has been improved to the current road construction standards in place at the time of construction."

Please contact me if you have any questions or need more information.

Sincerely,

Corey L. Rice, PLS, WRS  
Senior Planner  
Elko County Planning and Zoning



# CITY OF ELKO

## Planning Department

Website: [www.elkocity.com](http://www.elkocity.com)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

Elko County Planning and Zoning  
540 Court Street, Suite 104  
Elko, NV 89801

Re: Tentative Map No. 7-19 / Cambridge Estates

In accordance with the Communication Policy between the City of Elko and Elko County, the City of Elko hereby notices and advises the Board of County Commissioners of the County of Elko of the City's intention to consider a subdivision Tentative Map for division of approximately 8.02 acres of land into 35 lots. Please find enclosed a copy of the Tentative Map for your review and comment.

The subject property is located generally on the northeast corner of Celtic Way and El Armuth Dr.

Review by the Elko City Planning Commission is scheduled for their July 2, 2019, regular meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



# CITY OF ELKO

## Planning Department

Website: [www.elkocitynv.gov](http://www.elkocitynv.gov)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

NV Energy  
**Mr. Robert Lino**  
4216 Ruby Vista Dr.  
Elko, NV 89801-1632

SUBJECT: Tentative Map No. 7-19/Cambridge Estates

Dear Mr. Lino:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Cambridge Estates subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their July 2, 2019 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



# CITY OF ELKO

## Planning Department

Website: [www.elkocitynv.gov](http://www.elkocitynv.gov)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

Southwest Gas Corporation  
**Engineering Department**  
PO Box 1190  
Carson City, NV 89702

SUBJECT: Tentative Map No. 7-19/Cambridge Estates

To Whom It May Concern:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Cambridge Estates subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their July 2, 2019 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



# CITY OF ELKO

## Planning Department

Website: [www.elkocitynv.gov](http://www.elkocitynv.gov)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

Satview Broadband  
**Mr. Steve Halliwell**  
3550 Barron Way, Suite 13A  
Reno, NV 89511

SUBJECT: Tentative Map No. 7-19/Cambridge Estates

Dear Mr. Halliwell:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Cambridge Estates subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their July 2, 2019 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



# CITY OF ELKO

## Planning Department

Website: [www.elkocitynv.gov](http://www.elkocitynv.gov)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

Frontier Communications

**John Poole**

1520 Church Street

Gardnerville, NV 89410

SUBJECT: Tentative Map No. 7-19/ Cambridge Estates

Dear Mr. Poole:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Cambridge Estates subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their July 2, 2019 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



# CITY OF ELKO

## Planning Department

Website: [www.elkocitynv.gov](http://www.elkocitynv.gov)  
Email: [planning@elkocitynv.gov](mailto:planning@elkocitynv.gov)

1751 College Avenue • Elko, Nevada 89801 • (775) 777-7160 • Fax (775) 777-7219

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May 22, 2019

Elko County School District  
**Mr. Todd Pehrson**  
PO Box 1012  
Elko, NV 89803

SUBJECT: Tentative Map No. 7-19/Cambridge Estates

Dear Mr. Pehrson:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Cambridge Estates subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their July 2, 2019 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta  
Planning Technician

Enclosures



**City of Elko – Development Department**  
**1755 College Avenue**  
**Elko, NV 89801**  
**Telephone: 775.777.7210**  
**Facsimile: 775.777.7219**

May 21, 2019

Summit Engineering  
Attn: Nitin Bhakta  
1150 Lamoille Highway  
Elko, NV 89801

Re: Cambridge Estates – Complete Submittal

Dear Mr. Bhakta:

The City of Elko has reviewed your revised Tentative Map application materials for Cambridge Estates (submitted May 20, 2019) and has found them to be complete. We will now begin processing your application by transmitting the materials to other City departments for their review. You may receive further comments or corrections as these reviews progress.

I will keep you updated on the status of your application, but please feel free to contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP  
Development Manager  
mrambo@elkocitynv.gov

CC: Bailey & Associates LLC  
Attn: Jon Bailey  
780 W. Silver St. #104  
Elko, NV 89801

City of Elko – File



## CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue \* Elko \* Nevada \* 89801

(775) 777-7160 \* (775) 777-7219 fax

### APPLICATION FOR PRELIMINARY PLAT (STAGE II) APPROVAL

**\*\*PRIOR TO SUBMITTING THIS APPLICATION, PRE-APPLICATION (STAGE I) MUST BE COMPLETE\*\***

APPLICANT(s):	Bailey & Associates LLC		
MAILING ADDRESS:	780 West Silver Street #104		
PHONE NO (Home):	775-385-3659	(Business):	775-777-7776
NAME OF PROPERTY OWNER (If different):	Same as Above		
(Property owner consent in writing must be provided)			
MAILING ADDRESS:	780 West Silver Street #104		
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):			
ASSESSOR'S PARCEL NO.:	001-660-041	Address:	
Lot(s), Block(s), & Subdivision			
Or Parcel(s) & File No.	PARCEL A OF FILE #279073		
APPLICANT'S REPRESENTATIVE OR ENGINEER:	Nitin Bhakta - Summit Engineering Corp.		

#### **FILING REQUIREMENTS:**

**Complete Application Form:** In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1<sup>st</sup> Tuesday of every month), and must include the following:

1. One .pdf of the entire application, and ten (10) 24" x 36" copies of the preliminary plat folded to a size not to exceed 9"x12" provided by a properly licensed surveyor, as well as one (1) set of reproducible plans 8 1/2" x 11" in size and any required supporting data, prepared in accordance with Section 3-3-7 of the Elko City Code (see attached checklist).
2. A Development Master Plan when, in the opinion of the Planning Commission, the proposed subdivision is sufficiently large enough to comprise a major part of a future neighborhood or the tract initially proposed for platting is only a part of a larger land area.
3. A preliminary grading plan for subdivisions involving property characterized by an average slope greater than ten percent (10%).

**Fee:** \$750.00 + \$25.00 per lot including remainder parcels; non-refundable.

**Other Information:** The applicant is encouraged to submit other information and documentation to support the request.

RECEIVED

MAY 17 2019

**PROJECT DESCRIPTION OR PURPOSE:**

The proposed development is a 35 lot single family residential subdivision located on a 8.02 acre parcel of land located in Section 17, T, 34 N., R. 55 E. generally north of Celtic Way

This property can be served by the City of Elko water and sewer system.

**(Use additional pages if necessary)**

### Preliminary Plat Checklist 3-3-7

Date	Name
<b>Identification Data</b>	
✓	Subdivision Name ✓
✓	Location and Section, Township and Range ✓
✓	Reference to a Section Corner or Quarter-Section Corner ✓
✓	Name, address and phone number of subdivider ✓
✓	Name, address and phone number of engineer/surveyor <i>Enail</i> ✓
✓	Scale, North Point and Date of Preparation ✓
✓	Dates of Revisions ✓
✓	Location maps ✓
✓	Legal description of boundaries <i>Ø</i>
<b>Existing Conditions Data</b>	
✓	2' contours on city coordinate system <i>Ø</i>
✓	Location of Water Wells ✓
✓	Location of Streams, private ditches, washes and other features ✓
✓	Location of Designated flood zones ✓
✓	The Location, widths and Names of all platted Streets, ROW ✓
✓	Municipal Corporation Lines ✓
✓	Name, book and page numbers of all recorded plats <i>Ø on front pg.</i>
✓	Existing Zoning Classifications ✓
✓	Zoning of Adjacent Properties <i>Ø</i>
✓	Dimensions of all tract boundaries, <u>gross and net acreage</u> <i>Ø</i>
<b>Proposed Conditions Data</b>	
✓	Street Layout, location, widths, easements ✓
✓	Traffic Impact Analysis <i>N/A</i>
✓	Lot Layout, including dimensions of typical lots ✓
✓	Corner Lot Layout ✓
✓	Lot layout on Street Curves ✓
✓	Each lot numbered consecutively ✓
✓	Total number of lots ✓
✓	Location, Width and proposed use of easements ✓
✓	Location, extent and proposed use of all land to be dedicated ✓
✓	Location and boundary of all proposed zoning districts <i>N/A</i>
✓	Draft of proposed deed restrictions ✓
✓	Preliminary Grading Plan ✓
✓	Conceptual cut and fill <i>Ø</i>
✓	Estimated quality of material to be graded <i>Ø</i>
	SWPPP
<b>Proposed Utilities</b>	
✓	Sewage Disposal, design for sewage disposal ✓
✓	Water Supply, Evidence of adequate volume and quality ✓
✓	Storm Drain, Preliminary Calculations and Layout ✓
	Telephone, Power, Gas, Television
	Will Serve Letter by Engineering Department

**By My Signature below:**

- ☒ I consent to having the City of Elko Staff enter on my property for the sole purpose of inspection of said property as part of this application process.
- ☐ I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not affect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)
- ☒ I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.
- ☒ I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.
- ☒ I have carefully read and completed all questions contained within this application to the best of my ability.

**Applicant / Agent** Jon Bailey  
(Please print or type)

**Mailing Address** 780 West Silver Street #104  
Street Address or P.O. Box

Elko, Nevada - 89801  
City, State, Zip Code

Phone Number: 775-385-3659

Email address: jbaileype@gmail.com

**SIGNATURE:** Douglas W. Bailey (managing member)

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<b>FOR OFFICE USE ONLY</b>			$35 \text{ lots} \times \$25 = \$875$
<b>File No.:</b> <u>7-19</u>	<b>Date Filed:</b> <u>5/17/19</u>	<b>Fee Paid:</b> <u>\$1,625</u>	$+750$
			<u>\$1,625</u>

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