

CITY OF ELKO

Planning Department

Website: www.elkocitynv.gov Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

PUBLIC MEETING NOTICE

The City of Elko Planning Commission will meet in a regular session on Tuesday, February 4, 2020 in the Council Chambers at Elko City Hall, 1751 College Avenue, Elko, Nevada, and beginning at 5:30 P.M., P.S.T.

Attached with this notice is the agenda for said meeting of the Commission. In accordance with NRS 241.020, the public notice and agenda were posted on the City of Elko Website at http://www.elkocitynv.gov/, the State of Nevada's Public Notice Website at https://notice.nv.gov, and in the following locations:

ELKO COUNTY CO	OURTHOUSE – 571 Idaho Sti	reet, Street, Elko, NV 89801
Date/Time Po	sted:January 29, 2020	2:10 p.m.
ELKO COUNTY LIE	BRARY – 720 Court Street, E	Elko, NV 89801
Date/Time Po	sted:January 29, 2020	2:05 p.m.
		•
ELKO POLICE DEP	ARTMENT - 1448 Silver Str	reet, Elko NV 89801
Date/Time Po	sted:January 29, 2020	2:15 p.m.
ELKO CITY HALL -	- 1751 College Avenue, Elko,	, NV 89801
Date/Time Po	sted: <u>January 29, 2020</u>	2:00 p.m.
	C	NUM An At
Posted by: Shelby Archuleta,	Planning Technician	MUNO OVCINITATO
Name	Title	Signature

The public may contact Shelby Archuleta by phone at (775) 777-7160 or by email at sarchuleta@elkocitynv.gov to request supporting material for the meeting described herein. The agenda and supporting material is also available at Elko City Hall, 1751 College Avenue, Elko, NV.

Dated this 29th day of January, 2020.

NOTICE TO PERSONS WITH DISABILITIES

Members of the public who are disabled and require special accommodations or assistance at the meeting are requested to notify the City of Elko Planning Department, 1751 College Avenue, Elko, Nevada, 89801 or by calling (775) 777-7160.

Cathy Laughlin, City Planner

CITY OF ELKO PLANNING COMMISSION REGULAR MEETING AGENDA 5:30 P.M., P.S.T., TUESDAY, FEBRUARY 4, 2020 ELKO CITY HALL, COUNCIL CHAMBERS, 1751 COLLEGE AVENUE, ELKO, NEVADA

CALL TO ORDER

The Agenda for this meeting of the Elko City Planning Commission has been properly posted for this date and time in accordance with NRS requirements.

ROLL CALL

PLEDGE OF ALLEGIANCE

COMMENTS BY THE GENERAL PUBLIC

Pursuant to N.R.S. 241, this time is devoted to comments by the public, if any, and discussion of those comments. No action may be taken upon a matter raised under this item on the agenda until the matter itself has been specifically included on a successive agenda and identified as an item for possible action. **ACTION WILL NOT BE TAKEN**

APPROVAL OF MINUTES

January 7, 2020 – Regular Meeting FOR POSSIBLE ACTION

I. NEW BUSINESS

A. PUBLIC HEARING

- Review, consideration, and possible action of Conditional Use Permit No. 12-19, filed by Koinonia Development, LP which would allow for a townhome development within a CT (Commercial Transitional) Zoning District, and matters related thereto. FOR POSSIBLE ACTION
 - The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)
- 2. Review and consideration of Tentative Map No. 14-19, filed by Koinonia Development, LP, for the development of a subdivision entitled Mountain View Town Homes involving the proposed division of approximately 3.24 acres of property into 44 lots for residential development and 1 common lot within the CT (Commercial Transitional) Zoning District, in conjunction with a conditional use permit application, and matters related thereto. FOR POSSIBLE ACTION

The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)

3. Review and consideration of Tentative Map No. 16-19, filed by Bailey & Associates, LLC for the development of a subdivision entitled Ruby Mountain Peaks involving the proposed division of approximately 10.00 acres of property into 45 lots for residential development in an R (Single-family & Multi-Family Residential) Zoning District, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is located generally on the southeast corner of the intersection of Jennings Way and Bluffs Avenue. (APNs 001-01A-014)

4. Review, consideration, and possible adoption of Resolution 1-20, containing amendments to the Proposed Future Land Use Plan Atlas Map 8, Land Use Component Corresponding Zoning Districts, Transportation Component Best Practice 2.3 and Roadway Classifications, Existing Functional Classification Atlas Map 11 and Atlas Map 12, and matters related thereto. **FOR POSSIBLE ACTION**

Planning Commission reviewed and initiated the amendment to the City of Elko Master Plan at its January 7, 2020 meeting.

B. MISCELLANEOUS ITEMS, PETITIONS, AND COMMUNICATIONS

 Review, consideration and possible approval of Final Map No. 15-19, filed by Jordanelle Third Mortgage, LLC, for the development of a subdivision entitled Tower Hill Unit 3 involving the proposed division of approximately 10.72 acres of property into 27 lots for residential development within the R1 (Single-Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION

The subject property is located southwest of Pheasant Drive between Chukar Drive and Deerfield Way. (APN 001-929-124)

2. Review, consideration, and possible action on the 2019 Annual Report of Planning Commission activities. **FOR POSSIBLE ACTION**

Pursuant to City Code Section 3-4-23, the Planning Commission is required to prepare and present an annual report of its activities to the City Council.

II. REPORTS

- A. Summary of City Council Actions.
- B. Summary of Redevelopment Agency Actions.
- C. Professional articles, publications, etc.

- 1. Zoning Bulletin
- D. Miscellaneous Elko County
- E. Training

COMMENTS BY THE GENERAL PUBLIC

Pursuant to N.R.S. 241, this time is devoted to comments by the public, if any, and discussion of those comments. No action may be taken upon a matter raised under this item on the agenda until the matter itself has been specifically included on a successive agenda and identified as an item for possible action. **ACTION WILL NOT BE TAKEN**

NOTE: The Chairman or Vice Chairman reserves the right to change the order of the agenda and if the agenda is not completed, to recess the meeting and continue on another specified date and time. Additionally, the Planning Commission reserves the right to combine two or more agenda items, and/or remove an item from the agenda, or delay discussion relating to an item on the agenda at any time.

ADJOURNMENT

Respectfully submitted,

Cathy Laughlin City Planner

CITY OF ELKO PLANNING COMMISSION

REGULAR MEETING MINUTES

5:30 P.M., P.S.T., TUESDAY, JANUARY 7, 2020

ELKO CITY HALL, COUNCIL CHAMBERS, 1751 COLLEGE AVENUE, ELKO, NEVADA

CALL TO ORDER

Jeff Dalling, Chairman of the City of Elko Planning Commission, called the meeting to order at 5:30 p.m.

ROLL CALL

Present: Evi Buell

Gratton Miller Jeff Dalling John Anderson Stefan Beck Tera Hooiman

Absent: Vacancy

City Staff Present: Scott Wilkinson, Assistant City Manager

Cathy Laughlin, City Planner Bob Thibault, Civil Engineer

Michele Rambo, Development Manager Shelby Archuleta, Planning Technician

PLEDGE OF ALLEGIANCE

COMMENTS BY THE GENERAL PUBLIC

There were no public comments made at this time.

APPROVAL OF MINUTES

December 3, 2019 – Regular Meeting **FOR POSSIBLE ACTION**

***Motion: Approve December 3, 2019 Meeting Minutes as presented.

Moved by Evi Buell, Seconded by Tera Hooiman.

*Motion passed unanimously. (6-0)

I. NEW BUSINESS

A. PUBLIC HEARING

1. Review, consideration, and possible action of Conditional Use Permit No. 11-19, filed by Kelly Builders, LLC which would allow for a townhome development within an R (Single-Family and Multi-Family Residential) Zoning District, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is located generally on the south side of Indian View Heights at the southern terminus of Griswold Drive. (1553 Indian View Heights Drive - APN 001-530-026)

Jon Wahrenbrock, 1800 Griswold Drive, stated that he had some concerns with the traffic. He mentioned that both Griswold and Indian View Heights were bad intersections. The line of site for west bound cars on Indian View Heights is really bad. He didn't know where the proposed entrance would be, but he assumed it would be next to the driveway for the Jehovah's Witness Church. He had concerns about increasing the traffic, the intersections, and Fire, because there was only one access to the subdivision.

Bob Thibault, Civil Engineer, pointed out the entrance on the plan that was provided. He mentioned that the entrance was offset and that it would be centered between Griswold and the adjacent driveway for the church.

Mr. Wahrenbrock said the traffic there was already bad enough, particularly if you are trying to get onto Indian View Heights from Griswold. In the summer there is a heavier traffic load. He wanted to make sure that they weren't creating a bigger problem.

Lana Carter, Carter Engineering, wanted to add that when they were placing that intersection they made sure they were meeting the City Code requirements for where their approach could be in relation to the intersection, and also meeting the Visibility Triangle within that intersection. What they have proposed meets the Code requirements and site visibility.

Cathy Laughlin, City Planner, went over the City of Elko Staff Report dated December 4, 2019. Staff recommended conditional approval subject to the findings and conditions listed in the Staff Report.

Michele Rambo, Development Manager, wanted to expand on the traffic discussion. The calculated average daily trips for this project is 58, which is well below the requirement for a traffic study. The location of the driveway is compliant with the Code. If you look at the traffic movements that will happen at this location, most people coming out of the development will be turning right to head to Ruby Vista, and people coming into the development will be coming west along Indian View Heights and turning left into the development before they get to Griswold. There should not be an impact on the intersection of Griswold and Indian View Heights.

Mr. Thibault recommended approval as presented by staff.

Scott Wilkinson, Assistant City Manager, recommended approval as presented by staff.

Commissioner Stefan Beck acknowledged Mr. Wahrenbrock's concern for the traffic, and he appreciated staff acknowledging it. Traffic has always been an issue, and Commissioner Beck hoped that as Elko grows that the City will always take that into consideration. It is an important thing to keep in mind as the City grows.

***Motion: Conditionally approve Conditional Use Permit No. 11-19, subject to the conditions in the City of Elko Staff Report dated December 4, 2019, listed as follows:

- 1. The CUP 11-19 shall be personal to the permittee and applicable only to the submitted application conforming to the exhibits as presented.
- 2. Landscaping shall be installed and not obstruct the view of oncoming traffic at the intersections. Home Owner's Association is to provide such maintenance and care as is required to obtain the effect intended by the original landscape plan for the development.
- 3. CUP 11-19 to be recorded with the Elko County Recorder within 90 days after commencement of work.
- 4. The permit shall be personal to the permittee, Kelly Builders, LLC. and applicable only to the specific use of multiple family residential and to the specific property for which it is issued. However, the Planning Commission may approve the transfer of the conditional use permit to another owner. Upon issuance of an occupancy permit for the conditional use, signifying that all zoning and site development requirements imposed in connection with the permit have been satisfied, the conditional use permit shall thereafter be transferable and shall run with the land, whereupon the maintenance or special conditions imposed by the permit, as well as compliance with other provisions of the zoning district, shall be the responsibility of the property owner.
- 5. Guest parking to be for guest vehicles only, no RV parking allowed on site.
- 6. All parking lot lighting is to be shielded or cut-off design.
- 7. An illumination schedule is required to ensure lighting is adequate for safety with minimal impact to adjacent properties.
- 8. There shall not be any placement of any mail gang boxes or kiosks in association with this complex placed in the city's right of way and shall remain internal to the complex
- 9. The exterior of the building shall be compatible with surrounding areas and shall be similar to what is presented in the application.
- 10. The common areas are to be maintained in an acceptable manner at all times.

Development Department Conditions:

- 1. Tentative Map 13-19 and a Final Map must also be approved by the City of Elko and NDEP and those conditions met
- 2. NDEP approval of construction plans required prior to issuance of a grading permit
- 3. BMPs are required during grading/construction as set forth in the City's Construction Site BMP Handbook found online at: http://cms4.revize.com/revize/elkonv/WPCP-
 Management%20PlansConstruction%20BMP%20Manual-DEC2015.pdf

Commissioner Buell's findings to support the motion were that the proposed development is in conformance with the Land Use Component of the Master Plan. The proposed development is in conformance with the existing transportation infrastructure and the Transportation Component of the Master Plan. The site is suitable for the proposed use. The proposed development is in conformance with the City Wellhead Protection Program. The proposed use is consistent with surrounding land uses. The proposed use is in conformance with City Code 3-2-5 (E) R- Single-Family Multiple Family Residential Zoning District and meets the required setbacks for multiple family development. The proposed development is in conformance with 3-2-3, 3-2-4, 3-2-17, 3-2-18, and 3-8 of the Elko City Code.

Moved by Evi Buell, Seconded by Tera Hooiman.

*Motion passed unanimously. (6-0)

2. Review and consideration of Tentative Map No. 13-19, filed by Kelly Builders, LLC, for the development of a subdivision entitled The Town Homes at Ruby View involving the proposed division of approximately 1.297 acres of property into 10 lots for residential development and 1 common lot within the R (Single-Family and Multi-Family Residential) Zoning District, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is located generally on the south side of Indian View Heights at the intersection of Griswold Drive. (1553 Indian View Heights Drive - APN 001-530-026)

Ms. Rambo went through the City of Elko Staff Report dated December 17, 2019. Staff recommended conditional approval. Ms. Rambo mentioned that the Commission would need to modify a condition and add a new one. Condition No. 4 should read that just the Tentative Map must be approved, so strike "and Construction Plans". They would need to add Condition No. 12, which is to read that the Construction Plans must be approved by the Nevada Department of Environmental Protection prior to issuance of a grading permit by the City of Elko. That is a new requirement by the State.

***Motion: Forward a recommendation to City Council to conditionally approve Tentative Map No. 13-19 subject to the conditions found in the City of Elko Staff Report dated December 17, 2019, with a few modifications made by the Planning Commission listed as follows:

Development Department:

- 1. Conditional Use Permit 11-19 must be approved and all conditions be met.
- 2. The subdivider is to comply with all provisions of the NAC and NRS pertaining to the proposed subdivision.
- 3. Tentative Map approval constitutes authorization for the subdivider to proceed with preparation of the Final Map and associated construction plans.
- 4. The Tentative Map must be approved by the Nevada Department of Environmental Protection prior to submitting for Final Map approval by the City of Elko.
- 5. Tentative Map approval does not constitute authorization to proceed with site

- improvements.
- 6. The applicant must submit an application for Final Map within a period of four (4) years in accordance with NRS.360(1)(a). Approval of the Tentative Map will automatically lapse at that time.
- 7. A soils report is required with Final Map submittal.
- 8. A hydrology report is required with Final Map submittal.
- 9. Final Map construction plans are to comply with Chapter 3-3 of City code.
- 10. The subdivision design and construction shall comply with Title 9, Chapter 8 of City code.
- 11. The Utility Department will issue an Intent to Serve letter upon approval of the Tentative Map by the City Council.
- 12. Construction Plans must be approved by the Nevada Department of Environmental Protection prior to the issuance of a grading permit by the City of Elko.

Fire Department:

- 1. Work with the church and good relations for the gate(s) to be placed to the back of the new subdivision for emergency access.
- 2. Gates to all backyards for emergency access to be constructed.
 - a. Keeping an isle for emergency responders to access if needed to the rear of all properties

Commissioner Buell's findings to support the motion were that the proposed subdivision and development is in conformance with the Land Use Component of the Master Plan. The proposed subdivision and development is in conformance with the Transportation Component of the Master Plan. The proposed subdivision and development does not conflict with the Airport Master Plan. The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012. The property is not located within the Redevelopment Area. The proposed subdivision and development are in conformance with the Wellhead Protection Program. The sanitary sewer will be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system. No zoning amendment is required for the proposed subdivision. In accordance with Section 3-3-5(E(2), the proposed subdivision and development will not result in undue water or air pollution based on the following: a. There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all the applicable environmental and health laws and regulations. b. There is adequate capacity within the City's water supply to accommodate the proposed subdivision. c. The proposed subdivision and development will no create an unreasonable burden on the existing water system. d. There is adequate capacity at the Water Reclamation Facility to support the proposed subdivision and development. e. The proposed subdivision and development will be connected to the City's programed sanitary sewer system. Therefore, the ability of soils to support waste disposal does not require evaluation prior to Tentative Map approval. f. Utilities are available in the immediate area and can be extended for the proposed development, g. Schools, fire and police, and recreational services are available throughout the community. h. The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets. i. The area is not located within a designated flood zone. Concentrated storm water runoff has been addressed as shown on the grading plan. j. The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water-holding capacity of the land thereby creating a dangerous or unhealthy condition. The proposed subdivision submittal is in conformance with Sections 3-3-6, 3-3-9, 3-3-10, 3-3-11, 3-3-12, 3-3-13, 3-3-14, and 3-3-15 of City Code. The proposed subdivision and development is in conformance with Section 3-2-3 of City Code. The proposed subdivision and development is in conformance with Section 3-2-4 of City Code. The proposed subdivision and development is in conformance with Section 3-2-5(E)(2). Conformance with Section 3-2-5(E) is required as the subdivision develops. The proposed subdivision and development is in conformance with Section 3-2-5(G) of City Code. The proposed subdivision and development is not located in a designated flood hazard area and is in conformance with Section 3-8 of City Code. The proposed subdivision design shall conform to Title 9, Chapter 8 of City Code.

Moved by Evi Buell, Seconded by Tera Hooiman.

*Motion passed unanimously. (6-0)

3. Review, consideration and possible recommendation to City Council for Rezone No. 5-19, filed by Koinonia Development, LP, for a change in zoning from C (General Commercial), PQP (Public-Quasi, Public), and RMH (Mobile Home Park and Mobile Home Subdivision) to CT (Commercial Transitional) Zoning District, approximately 4.008 acres of property, to allow for a townhome development, and matters related thereto. **FOR POSSIBLE ACTION**

The subject property is generally located on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099, and a portion of 001-610-075)

Ms. Laughlin went through the City of Elko Staff Report dated December 6, 2019. Staff recommended conditional approval with the conditions and findings listed in the Staff Report.

Chairman Jeff Dalling asked when the property sale would go through.

Ms. Laughlin explained that Mr. Fitzgerald has paid for the property and the deed has been signed by Mayor. They are still working on getting some signatures on the BLA Map. Once those signatures are acquired, then everything will go over to High Desert Engineering and they will be recording deed and the BLA. This rezone will be going to City Council at the end of January, and once it approved by City Council, then resolution will not be signed by the Mayor until the deed and BLA are recorded.

Ms. Rambo had no comments or concerns.

Mr. Thibault and Mr. Wilkinson recommended approval.

Ms. Laughlin clarified that the rezone is to bring the property into conformance with Master Plan. Next month this property will have a Tentative Map and a Conditional Use Permit on the agenda.

Commissioner Evi Buell said it would be good to see this gap filled in.

***Motion: Forward a recommendation to City Council to adopt an Ordinance, which conditionally approves Rezone No. 5-19 subject to the condition founding in the City of Elko Staff Report dated December 6, 2019, listed as follows:

1. Resolution for the zone amendment not to be signed by the mayor until after the Deed and BLA for the Land Sale 1-19, selling a portion of APN 001-610-075 from the City of Elko to Koinonia Development LP., be recorded.

Commissioner Buell's findings to support the motion were that the proposed zone district is in conformance with the Land Use Component of the Master Plan. The proposed zone district is compatible with the Transportation Component of the Master Plan and is consistent with the existing transportation infrastructure. The property is not located within the Redevelopment Area. The proposed zone district and resultant land use is in conformance with the Wellhead Protection Plan. The proposed zone district is in conformance with Elko City Code Section 3-2-4(B). The proposed zone district is in conformance with Elko City Code Section 3-2-9(B). The application is in conformance with Elko City Code 3-2-21. The proposed zone district is not located in a designated Special Flood Hazard Area (SFHA). Development under the proposed zone district will not adversely impact natural systems, or public/federal lands such as waterways, drainages, floodplains etc., or pose a danger to human health and safety.

Moved by Evi Buell, Seconded by Gratton Miller.

*Motion passed unanimously. (6-0)

B. MISCELLANEOUS ITEMS, PETITIONS, AND COMMUNICATIONS

 Review, consideration, and possible action to initiate an amendment to the City of Elko Master Plan, specifically amending the Proposed Future Land Use Plan Atlas Map 8, Land Use Component Corresponding Zoning Districts, Transportation Component Best Practice 2.3 and Roadway Classifications, Existing Functional Classification Atlas Map 11 and Atlas Map 12, and matters related thereto. FOR POSSIBLE ACTION

Ms. Laughlin wanted to go through each of the areas of the Master Plan that staff is proposing changes to. There are quite a few areas that we will be looking at. She then went over the proposed change to Atlas Map 8. The area that is hatched in red is listed as low density residential, but is surrounded by medium density residential. Staff is proposing to change this area to medium density residential to be consistent all the way across. The next change is adding the Residential Business District to the Neighborhood Mixed Use. Neighborhood Mixed Use only allows Commercial Transitional and Convenience Commercial. Staff is proposing to add Residential Business and bring that district into conformance with the Master Plan. The next section is Section 8, which are the Access Management Standards. There are several changes proposed to that. It will be bringing the existing table in the Transportation Component into

conformance with the City Code. The City Code specifically gives distance separations between intersections. The proposed changes will bring the Master Plan into conformance with the City Code. She added that there are only a few classifications in the current table, and staff is proposing to add all the roadway classifications to the table. This will bring the table into conformance with other Sections of the Master Plan, as well as the City Code. There is another proposed change to the Transportation Component. College Avenue was listed as a Minor Arterial from 9th Street to Idaho Street. Staff would like to designate 9th to 12th as a Residential Collector, and from 12th to Idaho would remain as a Minor Arterial.

Commissioner Buell asked if the construction at the High School would affect the traffic count expected in that direction, or if it would be expected more in the North/South direction.

Ms. Laughlin explained that all the parking access would be off of 13th Street. Ms. Laughlin explained that with those two changes, it would also change Atlas Map 11 and 12.

Ms. Rambo clarified that the spots on the table that say To Be Determined, staff is in the process of finding out standard distances for those. Those will be filled in before the next step in the Amendment process.

***Motion: Initiate an amendment to the City of Elko Master Plan and direct staff to bring the item back as a resolution and public hearing.

Moved by Evi Buell, Seconded by Gratton Miller.

*Motion passed unanimously. (6-0)

2. Election of officers, and matters related thereto. FOR POSSIBLE ACTION

Pursuant to Section 3-4-3 A. of the City Code, the Planning Commission shall elect a Chairperson, Vice-Chairperson and Secretary in January every year.

*Commissioner Tera Hooiman nominated Jeff Dalling for Chairman; a vote was taken and passed.

*Chairman Jeff Dalling nominated Evi Buell for Vice-Chairman; a vote was taken and passed.

*Chairman Jeff Dalling nominated Tera Hooiman for Secretary; a vote was taken and passed.

3. Review, consideration, and possible action to develop the Calendar Year 2020 Planning Commission Annual Work Program, and matters related thereto. **FOR POSSIBLE ACTION**

Each year the Planning Commission reviews the Annual Work Program. The work program gives the Planning Commission direction on various issues to address throughout the year.

Ms. Laughlin went over the proposed 2020 work program.

***Motion: Forward a recommendation to City Council to approve the Calendar Year 2020 Planning Commission Annual Work Program.

Moved by Evi Buell, Seconded by Tera Hooiman.

*Motion passed unanimously. (6-0)

II. REPORTS

A. Summary of City Council Actions.

Ms. Laughlin reported that the City Council on the 10th accepted Ian Montgomery's resignation. The vacancy has been advertised for three week, and there were two applicants. City Council will be appointing a new member on the 14th. City Council also amended the Performance Agreement with Humboldt Hills.

B. Summary of Redevelopment Agency Actions.

Ms. Laughlin reported that there would be a RAC Meeting on the 23^{rd} , and probably an RDA meeting after that.

- C. Professional articles, publications, etc.
 - 1. Zoning Bulletin
- D. Miscellaneous Elko County
- E. Training

Ms. Laughlin reminded the Commissioners to get in their Financial Disclosure Statements.

COMMENTS BY THE GENERAL PUBLIC

There were no public comments made at this time.

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ADJOURNMENT

There being no further business, the meeting was adjourned.

Tera Hooiman, Secretary Jeff Dalling, Chairman

Elko City Planning Commission Agenda Action Sheet

- 1. Title: Review, consideration, and possible action on Conditional Use Permit No. 12-19, filed by Koinonia Development LP, which would allow for a townhome development within a CT (Commercial Transitional) Zoning District, and matters related thereto. FOR POSSIBLE ACTION
- 2. Meeting Date: **February 4, 2020**
- 3. Agenda Category: *NEW BUSINESS, PUBLIC HEARINGS*
- 4. Time Required: 15 Minutes
- 5. Background Information: Within the CT Commercial Transitional Zoning District, townhouses are allowed with the approval of a Conditional Use Permit.
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information: Application, Staff report
- 8. Recommended Motion: Conditionally approve Conditional Use Permit 12-19 based on the facts, findings and conditions as presented in Staff Report dated January 22, 2020
- 9. Findings: See Staff Report dated January 22, 2020.
- 10. Prepared By: Cathy Laughlin, City Planner
- 11. Agenda Distribution: Koinonia Development LP

207 Brookwood Drive

Elko, NV 89801

elkoluke@gmail.com

johns.koinonia@gmail.com

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2 **Do not use pencil or red pen, they do not reproduce**

Title: Conditional Use Permit No. 12-19	
Applicant(s): Hoinonia Development, LP	
Site Location: S side of N 5th St. across from Mary Way	
Current Zoning: CT Date Received: 12/3/19 Date Public Notice: 1/2	24/20
COMMENT: This is to allow for a townhome developm	ent
Within a Commercial Transitional Zoning District.	
If additional space is needed please provide a separate memorandum	
Assistant City Manager: Date: 1/27/20 No Comment of Concerns	
	SAW
City Manager: Date: 1/29/26 No Comments/Concerns.	Initial
	w
	Initial



City of Elko 1751 College Avenue Elko, NV 89801 (775) 777-7160 FAX (775) 777-7119

CITY OF ELKO STAFF REPORT

DATE: January 7, 2019
PLANNING COMMISSION DATE: February 4, 2020

AGENDA ITEM NUMBER:

APPLICATION NUMBER: Conditional Use Permit 12-19
APPLICANT: Koinonia Development, LP
PROJECT DESCRIPTION: Development of 44 Townhomes

RELATED APPLICATIONS: TM 14-19

A Conditional Use Permit for the development of 44 townhomes within the CT –

Commercial Transitional Zoning District.



STAFF RECOMMENDATION:

RECOMMEND APPROVAL, subject to findings of fact and conditions as stated in this report.

PROJECT INFORMATION

PARCEL NUMBER: 001-610-096, 001-610-097, 001-610-098, 001-610-

099 & a portion of 001-610-075

PROPERTY SIZE: --- acres

EXISTING ZONING: CT- Commercial Transitional with approval of

Rezone 5-19

MASTER PLAN DESIGNATION: (MU- NGHBHD) Mixed Use Neighborhood

EXISTING LAND USE: Undeveloped

NEIGHBORHOOD CHARACTERISTICS:

• The property is surrounded by:

• North: Residential Mobile Home (RMH) / Developed

• Northwest: Commercial (C) / Developed

• South: Public Quasi-Public (PQP) / Developed

• Northeast: Residential Mobile Home (RMH) / Developed

• Southeast: Commercial (C) / Developed

PROPERTY CHARACTERISTICS:

- The area is currently undeveloped.
- The area has slight sloping to the South.
- The area is accessed from North 5th Street

MASTER PLAN AND CITY CODE SECTIONS:

- City of Elko Master Plan-Land Use Component
- City of Elko Master Plan-Transportation Component
- City of Elko Redevelopment Plan
- City of Elko Wellhead Protection Plan
- City of Elko Code 3-2-3 General Provisions
- City of Elko Code 3-2-4 Establishment of Zoning Districts
- City of Elko Code 3-2-9 CC, CT Commercial Zoning Districts
- City of Elko Code 3-2-17 Traffic, Access, Parking and Loading Regulations
- City of Elko Code 3-2-18 Conditional Use Permits
- City of Elko Code 3-8 Flood Plain Management

BACKGROUND INFORMATION

- 1. The property is owned by Koinonia Development LP.
- 2. The Conditional Use Permit includes all of APN 001-610-096,097,098,& 099 plus a small portion of 001-610-075 which they are purchasing from the City of Elko
- 3. The area fronts North 5th Street.

- 4. City utilities are located in the immediate vicinity.
- 5. Other non-city utilities are located in the immediate area.
- 6. The application for Conditional Use Permit is running concurrent with an application for a zone amendment of the property and the Tentative Map 14-19 that was submitted for the Mountain View Townhomes Subdivision.

MASTER PLAN

Land Use

- 1. Land Use is shown as Neighborhood Mixed Use.
- 2. Supporting zone districts for Neighborhood Mixed Use are Convenience Commercial (CC) and Commercial Transitional (CT).
- 3. Objective 1: Promote a diverse mix of housing options to meet the needs of a variety of lifestyles, incomes, and age groups.
- 4. Objective 6: Encourage multiple scales of commercial development to serve the needs of the region, the community, and individual neighborhoods.
- 5. Objective 8: Encourage new development that does not negatively impact County-wide natural systems, or public/federal lands such as waterways, wetlands, drainages, floodplains etc., or pose a danger to human health and safety.

The proposed conditional use permit is in conformance with the Land Use Component of the Master Plan

Transportation

- 1. The area will be accessed from North 5th Street.
- 2. North 5th Street is classified in the Transportation Component as a Minor Arterial.
- 3. The property has pedestrian access along North 5th Street.

The proposed conditional use permit is compatible with the Master Plan Transportation Component and is consistent with the existing transportation infrastructure.

ELKO WELLHEAD PROTECTION PLAN

1. The property sits within the 20 year capture zone for the City of Elko wells.

The proposed zone district is in conformance with wellhead protection plan.

ELKO REDEVELOPMENT PLAN:

1. The property is not located within the redevelopment area.

SECTION 3-2-3 GENERAL PROVISIONS

- Section 3-2-3 (C) 1 of City code specifies use restrictions. The following use restrictions shall apply.
 - 1. Principal Uses: Only those uses and groups of uses specifically designated as "principal uses permitted" in zoning district regulations shall be permitted as principal uses; all other uses shall be prohibited as principal uses

- 2. Conditional Uses: Certain specified uses designated as "conditional uses permitted" may be permitted as principal uses subject to special conditions of location, design, construction, operation and maintenance hereinafter specified in this chapter or imposed by the planning commission or city council.
- 3. Accessory Uses: Uses normally accessory and incidental to permitted principal or conditional uses may be permitted as hereinafter specified.

Other uses may apply under certain conditions with application to the City.

- 1. Section 3-2-3(C) states that certain specified uses designated as "conditional uses permitted" may be permitted as principal uses subject to special conditions of location, design, construction, operation and maintenance specified in Chapter 3 or imposed by the Planning Commission or City Council.
- 2. Section 3-2-3(D) states that "No land may be used or structure erected where the land is held by the planning commission to be unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, extreme topography, low bearing strength, erosion susceptibility, or any other features likely to be harmful to the health, safety and general welfare of the community. The planning commission, in applying the provisions of this section, shall state in writing the particular facts upon which its conclusions are based. The applicant shall have the right to present evidence contesting such determination to the city council if he or she so desires, whereupon the city council may affirm, modify or withdraw the determination of unsuitability."

The proposed development is required to have an approval as a conditional use to be in conformance with this section of code.

SECTION 3-2-4 ESTABLISHMENT OF ZONING DISTRICTS

- 1. Section 3-2-4(B) Required Conformity To District Regulations: The regulations set forth in this chapter for each zoning district shall be minimum regulations and shall apply uniformly to each class or kind of structure or land, except as provided in this subsection.
- 2. Section 3-2-4(B)(4) stipulates that no yard or lot existing on the effective date hereof shall be reduced in dimension or area below the minimum requirements set forth in this title.

The proposed development conforms to Section 3-2-4 of the City Code.

SECTION 3-2-9-CC, CT COMMERCIAL ZONING DISTRICTS

- 1. Section 3-2-9(B)(3)-Conditional Uses Permitted- Multiple-family residential developments which contain five (5) or more units located on a single lot or parcel; townhouse, condominium or attached housing developments.
- 2. Section 3-2-9(B)(4) The minimum setback standards shall be the following.

- Front Yard: A minimum of 30 feet
- Interior Side Yard: A minimum setback of zero feet (0') to five and one-half feet (5¹/₂') shall be required. Interior side yards which abut any residential district shall observe the five and one-half foot (5¹/₂') setback required as part of the R zoning district.
- Exterior Side Yard: A minimum setback of thirty feet (30') shall be required
- Rear Yard: A minimum setback of ten feet (10') shall be required

Setbacks have been provided on the plan and it does appear that the setbacks have been met. The proposed development is required to conform to this section of city code. 3-2-9(B).

SECTION 3-2-17 TRAFFIC, ACCESS, PARKING AND LOADING REGULATIONS

- It would appear that each townhome has two off street parking stalls provided on their lot and additional parking on a parking pad outside their townhome. There are also 9 guest parking stalls provided.
- Conformance with this section is required

SECTION 3-2-18 CONDITIONAL USE PERMITS

General Regulations:

- 1. Certain uses of land within designated zoning districts shall be permitted as principal uses only upon issuance of a conditional use permit. Subject to the requirements of this chapter, other applicable chapters, and where applicable to additional standards established by the Planning Commission, or the City Council, a conditional use permit for such uses may be issued.
- 2. Every conditional use permit issued, including a permit for a mobile home park, shall automatically lapse and be of no effect one (1) year from the date of its issue unless the permit holder is actively engaged in developing the specific property to the use for which the permit was issued.
- 3. Every conditional use permit issued shall be personal to the permittee and applicable only to the specific use and to the specific property for which it is issued. However, the Planning Commission may approve the transfer of the conditional use permit to another owner. Upon issuance of an occupancy permit for the conditional use, signifying that all zoning and site development requirements imposed in connection with the permit have been satisfied, the conditional use permit shall thereafter be transferable and shall run with the land, whereupon the maintenance or special conditions imposed by the permit, as well as compliance with other provisions of the zoning district, shall be the responsibility of the property owner.
- 4. Conditional use permits shall be reviewed from time to time by City personnel. Conditional use permits may be formally reviewed by the Planning Commission. In the event that any or all of the conditions of the permit or this chapter are not adhered to, the conditional use permit will be subject to revocation.

3-8 FLOOD PLAIN MANAGEMENT

The property is not located within a Special Flood Hazard Area.

FINDINGS

- 1. The proposed development is in conformance with the Land Use component of the Master Plan
- 2. The proposed development is in conformance with the existing transportation infrastructure and the Transportation component of the Master Plan
- 3. The site is suitable for the proposed use.
- 4. The proposed development is in conformance with the City Wellhead Protection Program.
- 5. The proposed use is consistent with surrounding land uses.
- 6. The proposed use is in conformance with City Code 3-2-9 (B) CT Commercial Transitional Zoning District and meets the required setbacks.
- 7. The proposed development is in conformance with 3-2-3, 3-2-4, 3-2-17, 3-2-18, and 3-8 of the Elko City Code.

STAFF RECOMMENDATION:

Staff recommends **APPROVAL** of CUP 12-19 with the following conditions:

- 1. The CUP 12-19 shall be personal to the permittee and applicable only to the submitted application conforming to the exhibits as presented.
- 2. Landscaping shall be installed and not obstruct the view of oncoming traffic at the intersections. Home Owner's Association is to provide such maintenance and care as is required to obtain the effect intended by the original landscape plan for the development.
- 3. CUP 12-19 to be recorded with the Elko County Recorder within 90 days after commencement of work.
- 4. The permit shall be personal to the permittee, Koinonia Development, LP and applicable only to the specific use of multiple family residential and to the specific property for which it is issued. However, the Planning Commission may approve the transfer of the conditional use permit to another owner. Upon issuance of an occupancy permit for the conditional use, signifying that all zoning and site development requirements imposed in connection with the permit have been satisfied, the conditional use permit shall thereafter be transferable and shall run with the land, whereupon the maintenance or special conditions imposed by the permit, as well as compliance with other provisions of the zoning district, shall be the responsibility of the property owner.
- 5. Guest parking to be for guest vehicles only, no RV parking allowed on site.
- 6. All parking lot lighting is to be shielded or cut-off design.
- 7. An illumination schedule is required to ensure lighting is adequate for safety with minimal impact to adjacent properties.
- 8. There shall not be any placement of any mail gang boxes or kiosks in association with this complex placed in the city's right of way and shall remain internal to the complex
- 9. The exterior of the building shall be compatible with surrounding areas and shall be similar to what is presented in the application.

CUP 12-19 Koinonia Development, LP. APN: 001-610-075, 096,097,098,099

10. The common areas are to be maintained in an acceptable manner at all times.

Conditional Use Permit 12-19 + Tentative Map 14-19 Koinonia

YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
001614001	ANCHONDO, CARISA & MICHAEL		2508 FRANZI LN	ELKO NV	89801-4445
001610039	ATLAS LAND HOLDINGS LLC		1522 PROSPECT LN	ALPINE UT	84004-1874
001610018	COPPERWOOD APARTMENTS LLC		4655 S 2300 E APT 205	SALT LAKE CITY UT	84117-4679
001612003	DAVIS, LYNETTE		2430 5TH ST	ELKO NV	89801-4469
001612008	DENNIS, PERRY KENT ET AL		2451 CONNIE VIEW DR	ELKO NV	89801-4479
001612009	DITTES, JANET F		2441 CONNIE VIEW DR	ELKO NV	89801-4479
001610075	ELKO CITY OF NOP.C.		1755 COLLEGE AVE	ELKO NV	89801
001611007	ELKO CO TREAS TR		571 IDAHO ST	ELKO NV	89801-3715
001611005	ELLIS, GREGOR ET AL		2350 N 5TH ST	ELKO NV	89801-4453
001612010	FINK, KYLE		2431 CONNIE VIEW DR	ELKO NV	89801-4479
001612011	FRANCE, DALE L & YVONNE B		230 TEAL WAY	ELKO NV	89801-8483
001612007	GILBERT, DON L & LINDA		2461 CONNIE VIEW DR	ELKO NV	89801-4478
001613005	HEIT, GARY D ET AL		2536 FRANZI LN	ELKO NV	89801-4474
001614002	HEREDIA, MARIA DEL CARMEN		531 MARY WAY	ELKO NV	89801-4450
001612012	KRANZ, CHRISTOPHER ALLEN		511 TASHA WAY	ELKO NV	89801-4461
001611003	MCCARSON, CHRISTINE M		2330 N 5TH ST	ELKO NV	89801-4453
001610047	NORTH FIFTH COMMERCIAL CENT LLC		PO BOX 669	ELKO NV	89803-0669
001612006	PETTY, MICHAEL & JULIE		512 MARY WAY	ELKO NV	89801-4447
	POMROY, ROBERT & CAITLIN TERESA		2515 FRANZI LN	ELKO NV	89801-4446
001612004	REIMOLD, ZACKERY E ET AL		2440 N 5TH ST	ELKO NV	89801-4469
001613003	RODRIGUEZ, ALEJANDRO		2523 FRANZI LN	ELKO NV	89801-4446
	SANDOVAL, LUZ & CELSA G		2507 FRANZI LN	ELKO NV	89801-4446
001611014	SANTINA, CHANCE		2321 CONNIE VIEW DR	ELKO NV	89801-4451
	SHIPP, DUSTY		959 MONTROSE LN	ELKO NV	89801-2472
001612002	SIDES, RICHARD		2420 5TH ST	ELKO NV	89801-4469
001610049	SONORA LLC 7 1pc		PO BOX 1597	ELKO NV	89803-1597
001610048	SONORA LLC J		PO BOX 1597	ELKO NV	89803-1597
001611006	SORENSEN, TYLER M & KIRSTI		512 TASHA WAY	ELKO NV	89801-4459
	TAYLOR, TODD		503 TINA LN	ELKO NV	89801-4443
	THORNBURG, GILBERT G TR ET AL		PO BOX 1772	ELKO NV	89803-1772
	TYNER, ERIC		2450 N 5TH ST	ELKO NV	89801-4469
	VELAZQUEZ, JOSE T TR		500 TINA LN	ELKO NV	89801-4400
001612001	wornek, kim ray & donna k		2410 N 5TH ST	ELKO NV	89801-4469

001611013 WORTHINGTON, NEIL E 001613006 WRIGHT, JOHNNY S & LESLIE L

2341 CONNIE VIEW DR ELKO NV 2528 FRANZI LN

ELKO NV

89801-4451 89801-4474

Post marked 1/24/20

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Elko City Planning Commission will conduct a public hearing on Tuesday, February 4, 2020 beginning at 5:30 P.M. P.S.T. at Elko City Hall, 1751 College Avenue, Elko, Nevada, and that the public is invited to provide input and testimony on this matter under consideration in person, by writing, or by representative.

The specific item to be considered under public hearing format is:

- Conditional Use Permit No. 12-19, filed by Koinonia Development, LP which would allow for a townhome development within a CT (Commercial Transitional) Zoning District, and matters related thereto. The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)
- Tentative Map No. 14-19, filed by Koinonia Development, LP, for the development of a subdivision entitled Mountain View Town Homes involving the proposed division of approximately 3.240 acres of property into 44 lots for residential development and a common area within the CT (Commercial Transitional) Zoning District, and matters related thereto. The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)

Additional information concerning this item may be obtained by contacting the Elko City Planning Department at (775) 777-7160.

ELKO CITY PLANNING COMMISSION



CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue * Elko * Nevada * 89801 (775) 777-7160 phone * (775) 777-7119 fax

APPLICATION FOR CONDITIONAL USE PERMIT APPROVAL

APPLICANT(s):	Koinonia Development, LP		
(Applicant must be the owner or lessee of the <i>proposed</i> structure or use.)			
MAILING ADDRESS:	207 Brookwood Drive, Elko, NV 89801		
PHONE NO. (Home)	(Business) (775) 778-1539		
NAME OF PROPERTY	OWNER (If different): same		
(Property owner's	(Property owner's consent in writing must be provided.)		
MAILING ADDRESS:	same		
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):			
ASSESSOR'S PARCEL NO.: 001-610-096, 097, 098 & 099 and a portion of 001-610-075			
	Not addressed		
Lot(s), Block(s), &Subo	division		
Or Parcel(s) & File No.			

FILING REQUIREMENTS

<u>Complete Application Form</u>: In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1st Tuesday of every month).

Fee: A \$750.00 non-refundable fee.

<u>Plot Plan</u>: A plot plan provided by a properly licensed surveyor depicting the proposed conditional use permit site drawn to scale showing property lines, existing and proposed buildings, building setbacks, distances between buildings, parking and loading areas, driveways and other pertinent information that shows the use will be compliant with Elko City Code.

<u>Elevation Plan</u>: Elevation profiles including architectural finishes of all proposed structures or alterations in sufficient detail to explain the nature of the request.

Note: One .pdf of the entire application must be submitted as well as one set of legible, reproducible plans 8 ½" x 11" in size. If the applicant feels the Commission needs to see 24" x 36" plans, 10 sets of pre-folded plans must be submitted.

<u>Other Information</u>: The applicant is encouraged to submit other information and documentation to support this conditional use permit application.

RECEIVED

DEC 0 3 2019 Page 1

1.	Current zoning of the property:			
	Current zoning is C – Commercial			
	Currently being rezoned to CT – Commercial Transitional			
2.	Cite the provision of the Zoning Ordinance for which the Conditional Use Permit is required:			
	3-2-9 (B) 3: Conditional uses permitted.			
3.	Explain in detail the type and nature of the use proposed on the property:			
	Development of 44 single family residential townhouse lots.			
4.	Explain how the use relates with other properties and uses in the immediate area:			
	Single family residential properties are currently located across North Fifth Street from this property.			
	Street from this property.			
5.	Describe any unique features or characteristics, e.g. lot configuration, storm drainage, soil conditions, erosion susceptibility, or general topography, which may affect the use of the property:			
	Excessive slopes currently exist on the rear of the property. These slopes			
	currently exhibit erosion issues. Earthwork will be done as a part of the			
	development of this property which will mitigate these issues.			
	Describe the general suitability and adequacy of the property to accommodate the proposed use:			
	The property will accommodate the proposed development.			

Revised 12/04/15 Page 2

Describe in detail the proposed development in terms of grading, excavation, terracing, drainage, etc.:		
The property will be graded to accommodate the proposed development. In addition, drainage off of the property will be controlled in accordance with City of Elko requirements.		
Describe the amounts and type of traffic likely to be generated by the proposed use:		
Residential traffic as generated by 44 single family residential homes.		
Describe the means and adequacy of off-street parking, loading and unloading provided on the property:		
Four (4) parking spaces will be provided for each single family residence, two (2) spaces in an attached garage and (2) driveway spaces. In addition, (14) visitor spaces will be provided on site.		
Describe the type, dimensions and characteristics of any sign(s) being proposed:		
Possible decorative sign displaying the name of the development.		
Identify any outside storage of goods, materials or equipment on the property: None		
NOTE		
Identify any accessory buildings or structures associated with the proposed use on the property:		
Trash enclosures and gang mail boxes will be provided.		

(Use additional pages if necessary to address questions 3 through 12)

Revised 12/04/15 Page 3

I consent to having the City of Elko Staff enter on my property for the sole purpos inspection of said property as part of this application process.	se of		
I object to having the City of Elko Staff enter onto my property as a part of their rethis application. (Your objection will not affect the recommendation made by the state of the final determination made by the City Planning Commission or the City Council.)	taff or		
I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.			
☑ I acknowledge that this application may be tabled until a later meeting if either I of designated representative or agent is not present at the meeting for which this applicant scheduled.			
$oxed{\boxtimes}$ I have carefully read and completed all questions contained within this application best of my ability.	to the		
Applicant / Agent Koinonia Development, LP / John M. Smales (Please print or type)			
Mailing Address 207 Brookwood Drive			
Street Address or P.O. Box			
Elko, NV 89801 City, State, Zip Code			
Phone Number: (775) 778-1539			
Email address: johns.koinonia@gmail.com			
SIGNATURE: Mules			
FOR OFFICE USE ONLY			
File No.: 12-19 Date Filed: 12/3/19 Fee Paid: \$\frac{10}{750} CV# 2990			

By My Signature below:

Thomas C. Ballew, P.E., P.L.S. Robert E. Morley, P.L.S. Duane V. Merrill, P.L.S.



Consulting Civil Engineering Land Surveying Water Rights

Cathy Laughlin, City Planner City of Elko 1751 College Avenue Elko, NV 89801

Re:

Koinonia Development, LP Conditional Use Permit

Dear Cathy,

Enclosed please find the following items regarding the above referenced project:

- Application for Conditional Use Permit.
- One (1) 8-1/2"x11" copy of the site Plot Plan.
- One (1) 8-1/2"x11" copy of the proposed building elevations.
- One (1) legal description (Exhibits A & B) for the site.
- Check in the amount of \$750,00 for the review fee.

Pdf copies of the documents listed above will be transmitted to you.

Please feel free to contact me if you have any questions regarding this matter.

Sincerely,

HIGH DESERT Engineering, LLC

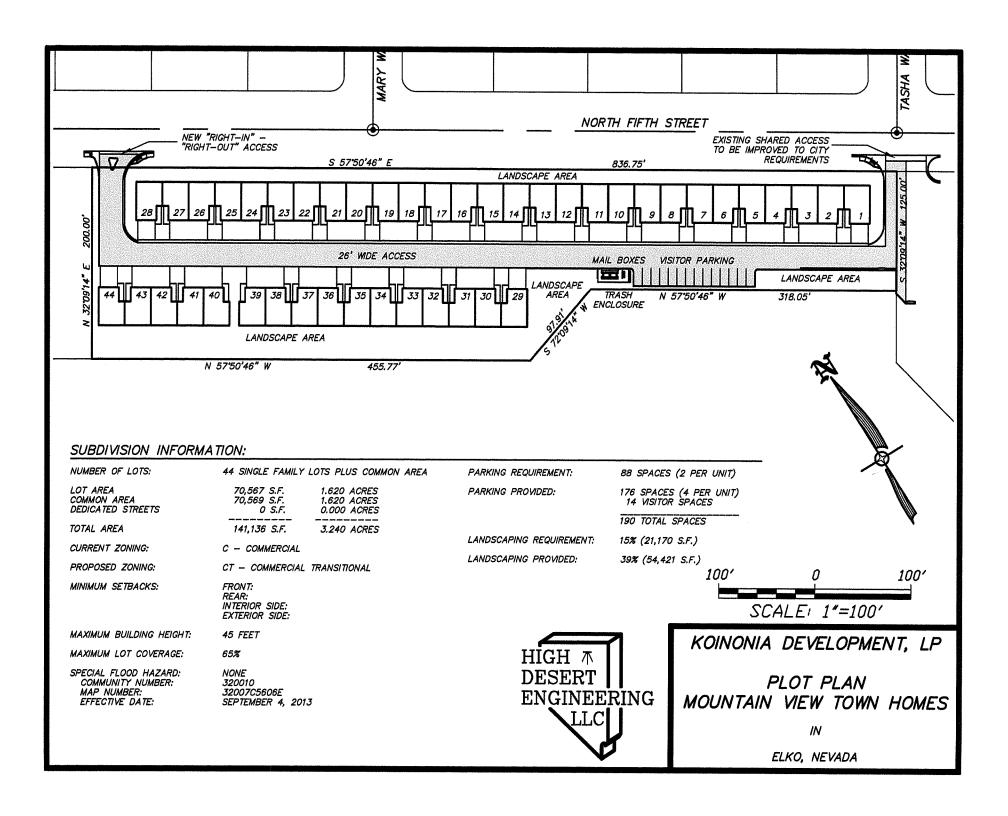
Thomas C. Ballew, P.E., P.L.S.

enclosures

cc Luke Fitzgerald, Koinonia Development, LP

RECEIVED

DEC 03 2019





FRONT ELEVATION

SCALE: 1/4" = 1'-0"

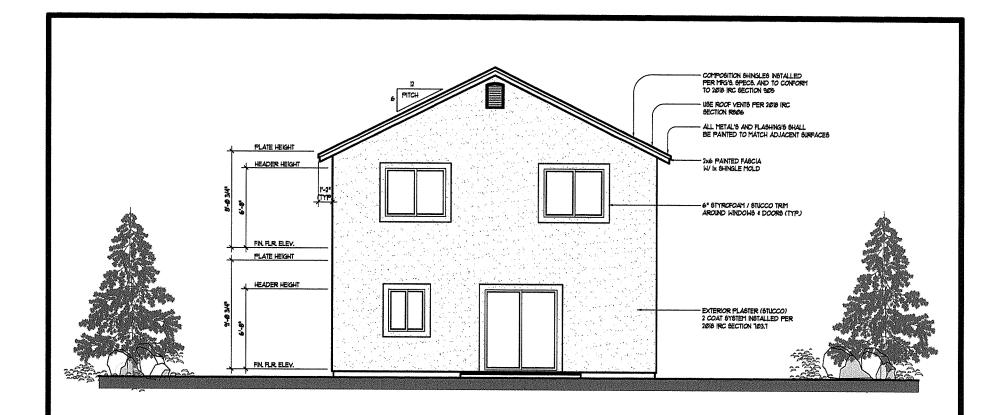


KOINONIA DEVELOPMENT, LP

PROPOSED FRONT ELEVATION MOUNTAIN VIEW TOWN HOMES

/N

ELKO, NEVADA



REAR ELEVATION SCALE: 1/4" = 1'-0"



KOINONIA DEVELOPMENT, LP

PROPOSED REAR ELEVATION MOUNTAIN VIEW TOWN HOMES

ELKO, NEVADA

EXHIBIT "A" KOINONIA DEVELOPMENT, LP

Conditional Use Permit

November 21, 2019

A parcel of land located within Section 9, Township 34 North, Range 55 East, M.D.B.& M., City of Elko, Elko County, Nevada, more particularly described as follows:

Commencing at the monument located at the intersection of North Fifth Street and Tasha Way as shown on the Parcel Map for North VII, a General Partnership, filed in the office of the Elko County Recorder, Elko, Nevada, as document number 416535; thence South 32°09'14" West, a distance of 40.00 feet to the most easterly corner of Parcel No. 1 as shown on said Parcel Map, being Corner No. 1, the True Point of Beginning;

thence South 32°09'14" West, along the southcast boundary of said Parcel No. 1 and the northwest boundary of Parcel 1-A as shown on the Parcel Map for Elko Athletic Club Associates filed in the office of the Elko County Recorder, Elko, Nevada, as document number 300324, a distance of 125.00 feet to Corner No. 2;

thence North 57°50'46" West, a distance of 318.05 feet to Corner No. 3;

thence South 72°09'14" West, a distance of 97.91 feet to Corner No. 4;

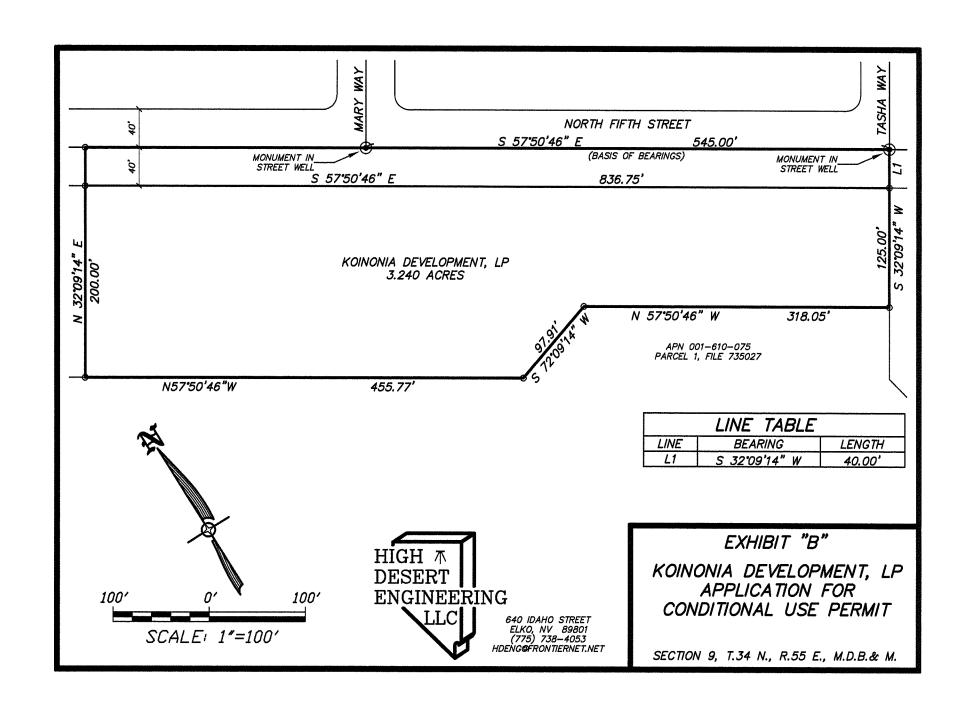
thence North 57°50'46" West, a distance of 455.77 feet to Corner No. 5, being the most westerly corner of Parcel No. 4 as shown on said Parcel Map for North VII;

thence North 32°09'14" East, along the northwesterly boundary of said Parcel No. 4, a distance of 200.00 feet to Corner No. 6, being the most northerly corner of said Parcel No. 4;

thence South 57°50'46" East, along the northeasterly boundaries of Parcels No. 4, Parcel No. 3, Parcel No. 2 and Parcel No. 1 as shown on said Parcel Map for North VII, a distance of 836.75 feet to Corner No. 1, the Point of Beginning.

Said parcel contains an area of 3.240 acres, more or less.

Reference is hereby made to Exhibit "B", Koinonia Development, LP, Application for Conditional Use Permit, Section 9, T.34 N., R.55 E., M.D.B.& M., attached hereto and made a part hereof.



Elko City Planning Commission Agenda Action Sheet

- 1. Title: Review and consideration of Tentative Map 14-19, filed by Koinonia Development, LP, for the development of a subdivision entitled Mountain View Townhomes involving the proposed division of approximately 3.24 acres of property into 44 lots for residential development and 1 common lot within the CT (Commercial Transitional) Zoning District, in conjunction with a conditional use permit application, and matters related thereto. FOR POSSIBLE ACTION
- 2. Meeting Date: February 4, 2020
- 3. Agenda Category: NEW BUSINESS, PUBLIC HEARINGS
- 4. Time Required: **20 Minutes**
- 5. Background Information: Subject property is located on the south side of N 5th Street at the intersection of Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099, and a portion of 001-610-075)
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information: Application and Staff Report
- 8. Recommended Motion: Recommend that the City Council conditionally approve Tentative Map 14-19 based on facts, findings, and conditions as presented in Staff Report dated January 16, 2020.
- 9. Findings: See Staff Report dated January 16, 2020
- 10. Prepared By: Michele Rambo, AICP, Development Manager
- 11. Agenda Distribution: Koinonia Development, LP

Attn: John Smales 207 Brookwood Drive

Elko, NV 89801

johnskoinonia@gmail.com

High Desert Engineering, LLC

Attn: Tom Ballew

tcballew@frontiernet.net

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2/4 **Do not use pencil or red pen, they do not reproduce**

Title: Tentative Map 14-19 - Mountain View Town Hom	res
Applicant(s): Koinonia Development, LP	
Site Location: S Side of N. 5th St. across from Mary Way	and the second second
Current Zoning: CT Date Received: 12/3/19 Date Public Notice: 1/24	Ilax
COMMENT: This is to divide 3.24 acres into 44 lots of	ind
a Common area.	
If additional space is needed please provide a separate memorandum	
Assistant City Manager: Date: 1/28/20 Recommend approved as presented Staff	
Recommend approved as presented	ley
Staff	
	5AW
	Initial
City Manager: Date: 1/29/20	
No comments/concerns.	
	-
	cy
	Initial



City of Elko 1751 College Avenue Elko, NV 89801 (775) 777-7160 FAX (775) 777-7119

CITY OF ELKO STAFF REPORT

REPORT DATE: January 16, 2020 PLANNING COMMISSION DATE: February 4, 2020

AGENDA ITEM NUMBER: I.A.2.

APPLICATION NUMBER: Tentative Map 14-19

APPLICANT: Koinonia Development, LP PROJECT DESCRIPTION: Mountain View Townhomes

A Tentative Map for the proposed division of approximately 3.24 acres of property into 44 townhouse lots for residential development and 1 common lot within a CT (Commercial Transitional) Zoning District.



STAFF RECOMMENDATION:

RECOMMEND CONDITIONAL APPROVAL, subject to findings of fact, and conditions as stated in this report.

PROJECT INFORMATION

PARCEL NUMBER: 001-610-096, 001-610-097, 001-610-098, 001-610-

099, and a portion of 001-610-075 (being purchased

from the City of Elko)

PARCEL SIZE: 3.24 Acres

EXISTING ZONING: (CT) Commercial Transitional

Upon approval of a Zoning Amendment

MASTER PLAN DESIGNATION: (MU-NGHBHD) Mixed-Use Neighborhood

Upon approval of a Master Plan Amendment

EXISTING LAND USE: Vacant

NEIGHBORHOOD CHARACTERISTICS:

The property is surrounded by:

Northwest: Commercial (C) / Developed

Northeast: Residential Mobile Home (RMH) / Developed

Southwest: Public/Quasi-Public (PQP) / Developed

Southeast: Commercial (C) / Developed

PROPERTY CHARACTERISTICS:

The property is an undeveloped commercial parcel.

The site abuts previous residential development to the northeast, commercial buildings on the northwest and southeast, and Mountain View Park on the southwest.

The parcel is generally flat, but has some significant slope in the southwest corner, which has been incorporated into the tentative map design.

The property will be accessed by two driveways off of N 5th Street.

APPLICABLE MASTER PLAN AND CITY CODE SECTIONS:

City of Elko Master Plan – Land Use Component

City of Elko Master Plan – Transportation Component

City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012

City of Elko Redevelopment Plan

City of Elko Wellhead Protection Plan

City of Elko Zoning – Section 3-2-3 General Provisions

City of Elko Zoning – Section 3-2-4 Establishment of Zoning Districts

City of Elko Zoning — Section 3-2-9(B) Commercial Transitional District

City of Elko Zoning – Section 3-2-5(G) Residential Zoning Districts Area, Setback, and Height

City of Elko Zoning – Section 3-2-17 Traffic, Access, Parking and Loading Regulations

City of Elko Zoning – Chapter 3 Subdivisions City of Elko Zoning – Section 3-8 Flood Plain Management

City of Elko Public Ways and Property – Title 9, Chapter 8 Post Construction Runoff Control and Water Quality Management

BACKGROUND:

- 1. The property owner and applicant is Koinonia Development, LP.
- 2. The subdivision is located on APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099, and a portion of 001-610-075 (being purchased from the City of Elko).
- 3. The property is undeveloped.
- 4. The proposed subdivision consists of 44 townhouse lots and 1 common lot.
- 5. The total subdivided area is approximately 3.24 acres.
- 6. The proposed density is 13.58 units per acre.
- 7. Phasing may be used as part of this subdivision. If the developer chooses to do phasing, multiple Final Maps can be submitted.
- 8. There are no new roads or dedications offered as part of the project.
- 9. The property is located on the south side of N 5th Street at the intersection of Mary Way.
- 10. A Stage 1 meeting for the proposed subdivision was held on August 22, 2019.

MASTER PLAN

Land Use:

- 1. The land use for the four lots adjacent to N 5th Street are shown as Mixed-Use Neighborhood. The portion of property currently being purchased from the City is currently Open Space. A Master Plan Amendment is required to change the Open Space designation to Mixed-Use Neighborhood so all property is consistent. Neighborhood does not have a specific density requirement and is intended, among other things, for the development of medium to high density residential projects.
- 2. The zoning for the four lots adjacent to N 5th Street are currently zoned General Commercial, while the portion of property being purchased from the City of Elko is currently zoned Public/Quasi-Public. Neither of these zoning categories is listed in the Master Plan as a corresponding district within the Mixed-Use Neighborhood land use designation, or allows for townhomes. A Zoning Amendment is required to change the General Commercial and Public/Quasi-Public zoning to Commercial Transitional. Commercial Transitional (CT) zoning is listed as a corresponding district for the Mixed-Use Neighborhood designation in the Master Plan, which also allows for townhomes.
- 3. The listed Goal of the Land Use Component states: "Promote orderly, sustainable growth and efficient land use to improve quality of life and ensure new development meets the needs of all residents and visitors."
- 4. Objective 1 under the Land Use component of the Master Plan states: "Promote a diverse mix of housing options to meet the needs of a variety of lifestyles, incomes, and age groups."
 - a. Best Practice 1.1 The proposed subdivision meets several of the methods described to achieve a diverse mix of housing types in the community.
 - Best Practice 1.3 The location of the proposed subdivision appears to support the City striving for a blended community by providing a mix of housing types in the neighborhood and is supported by existing infrastructure.
- 5. Objective 8 of the Land Use component of the Master Plan states: "Ensure that new development does not negatively impact County-wide natural systems or public/federal lands such as waterways, wetlands, drainages, floodplains, etc. or pose a danger to human health and safety." Staff believes there will be no negative impacts to natural systems

and no issue with regard to human health and safety.

The proposed subdivision and development is in conformance with the Land Use component of the Master Plan upon approval of a Master Plan Amendment and Zoning Amendment as described above. A condition of approval has been added requiring both of these amendments to be in effect prior to any construction activity or the recordation of the Final Map, whichever comes first.

Transportation:

- 1. The project will be accessed from N 5th Street via two private driveways.
- 2. N 5th Street is classified as a Minor Arterial road.
- 3. The interior circulation of the project will be provided by a private driveway.
- 4. The Master Plan requires Minor Arterial roads to have 80 feet of right-of-way.
- 5. N 5th Street has 80 feet of right-of-way. No further dedications are required.
- 6. Upon full buildout, the proposed subdivision is expected to generate approximately 256 additional Average Daily Trips based on 5.81 trips/townhome (ITE Trip Generation, 10th Edition). This is well below the threshold for a traffic study established in the Master Plan.

The proposed subdivision and development is in conformance with the Transportation component of the Master Plan.

ELKO AIRPORT MASTER PLAN:

The proposed subdivision and development does not conflict with the Airport Master Plan.

CITY OF ELKO DEVELOPMENT FEASIBILITY, LAND USE, WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE, TRANSPORTATION INFRASTRUCTURE, AND ANNEXATION POTENTIAL REPORT – NOVEMBER 2012:

The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012.

ELKO REDEVELOPMENT PLAN:

The property is not located within the Redevelopment Area.

ELKO WELLHEAD PROTECTION PLAN:

The property is located within the 20-year capture zone for two City of Elko wells. Development of the site is required to be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system.

SECTION 3-3-5 TENTATIVE MAP STAGE (STAGE II):

Tentative Map Approval 3-3-5(E)(2)(a)-(k) – Requires the following findings:

- a. Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or pubic sewage disposal, and, where applicable, individual systems for sewage disposal.
 - The proposed subdivision will be connected to the city's water supply system, programmed sewer system, and is required to be in compliance with all applicable federal, state, and local requirements.
- b. The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision.
 - The City of Elko Engineering Department is required to model the anticipated water consumption of the subdivision. The City of Elko Utility Department will be required to submit a "Tentative Will-Serve Letter" to the State of Nevada. The water modeling requires an update to reflect the increased number of lots. Current City-wide annual water usage is approximately 50% of the total allocated water rights.
 - City of Elko currently has excess pumping capacity of 3,081 gallons per minute. Sufficient infrastructure and pumping capacity exists to provide the required water volume to serve the proposed subdivision and development.
 - The Developer will extend properly sized infrastructure as required for development of the property.
 - The proposed subdivision and development will not create an unreasonable burden on the existing water supply.
- c. The availability and accessibility of utilities.
 - Utilities are available in the immediate area and can be extended for the proposed development.
- d. The availability and accessibility of public services such as schools, police protection, transportation, recreation, and parks.
 - Schools, fire and police, and recreational services are available throughout the community.
- e. Conformity with the zoning ordinance and the City's Master Plan, except that if any existing zoning ordinance is inconsistent with the City's Master Plan, the zoning ordinance takes precedence.
 - The land use for the four lots adjacent to N 5th Street are shown as Mixed-Use Neighborhood. The portion of property currently being purchased from the City is currently Open Space. A Master Plan Amendment is required to change the Open Space designation to Mixed-Use Neighborhood so all property is consistent.
 - The zoning for the four lots adjacent to N 5th Street are currently zoned General Commercial, while the portion of property being purchased from the City of Elko is currently zoned Public/Quasi-Public. Neither of these zoning categories is

listed in the Master Plan as a corresponding district within the Mixed-Use Neighborhood land use designation, or allows for townhomes. A Zoning Amendment is required to change the General Commercial and Public/Quasi-Public zoning to Commercial Transitional. Commercial Transitional (CT) zoning is listed as a corresponding district for the Mixed-Use Neighborhood designation in the Master Plan, which also allows for townhomes.

- Mixed-Use Neighborhood does not have a specific density requirement and is intended, among other things, for the development of medium to high density residential projects.
- The proposed subdivision is in conformance with the City's Master Plan as well as the Zoning Ordinance.
- f. General conformity with the City's Master Plan of streets and highways.
 - The proposed subdivision is in conformance with the Transportation Component of the Master Plan.
- g. The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision.
 - The proposed subdivision and development will add approximately 256 Average Daily Trips to N 5th Street. Based on the threshold of 1,000 ADT referenced in the Master Plan, a traffic study is not required with this subdivision.
 - The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets.
- h. Physical characteristics of the land, such as floodplain, slope, and soil.
 - The proposed subdivision and subsequent development of the property is expected to reduce the potential for erosion in the immediate area. Development of the property will not cause unreasonable soil erosion.
 - A hydrology report is required with the Final Map and Construction Plan submittal.
 - The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water holding capacity of the land thereby creating a dangerous or unhealthy condition.
- i. The recommendations and comments and those entities and persons reviewing the Tentative Map pursuant to this Chapter and NRS 278.330 to 278.3485, inclusive.
 - Any comments received from other entities and persons reviewing the Tentative Map have been incorporated either as revisions to the Map or as conditions of approval.
- j. The availability and accessibility of fire protection, including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires, including fires in wild lands.
 - Fire protection services are available throughout the community.
 - A sufficient amount of water exists in this area for use in fire containment.
 - The City of Elko Fire Department has reviewed the application materials for compliance with all fire code requirements.

- k. The submission by the subdivider of an affidavit stating that the subdivider will make provision for payment of the tax imposed by Chapter 375 of NRS and for compliance with the disclosure and recording requirements of Subsection 5 of NRS 598.0923, if applicable, by the subdivider or any successor in interest.
 - The subdivider/developer is required to comply with all applicable sections of Chapters 375 and 598 of the NRS.

There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all applicable provisions.

SECTION 3-3-6 CONTENT AND FORMAT OF TENTATIVE MAP SUBMITTAL:

- A. Form and Scale The Tentative Map conforms to the required size and form specifications.
- B. Identification Data
 - 1. The subdivision name, location, and section/township/range, with bearing to a section corner or quarter-section corner, is shown.
 - 2. The name, address, email, and telephone number of the subdivider is shown.
 - 3. The engineer's name, address, and telephone number are shown.
 - 4. The scale is shown on all sheets.
 - 5. The north arrow is shown on all sheets.
 - 6. The date of initial preparation and dates of any subsequent revisions are shown.
 - 7. A location map is provided.
 - 8. A legal description is provided.

C. Physical Conditions

- 1. The existing topography of the site is shown.
- 2. Existing drainage conditions are shown on the Tentative Map.
- 3. There are no Special Flood Hazards within the proposed subdivision.
- 4. All roadways, easements, and corporate limits are shown within and adjacent to the subdivision.
- 5. Dimensions of all subdivision boundaries are shown on the Tentative Map.
- 6. Gross and net acreage of the subdivision is shown.
- D. Recorded Map Information:
 - 1. Any previously recorded maps for adjacent properties is labeled on the Tentative Map.
- E. Existing Zoning:
 - 1. The zoning is shown for the subject property. Zoning classifications for adjacent properties are also shown on the Tentative Map.
- F. Proposed Improvements and Other Features Data:
 - 1. The proposed interior driveway layout is shown. None of the streets are named or proposed for dedication. The grades of the proposed streets are shown on the grading plan. The continuation of roadways is not required of the proposed subdivision.
 - 2. The lot layout with consecutively numbered lots is shown. The area and dimensions for each lot are shown, as well as the total number of lots.
 - 3. Typical easements will be required along all lot lines.

- 4. No street dedications are proposed.
- 5. A Conditional Use Permit is required to allow for the use of townhouses in the Tourist Commercial zoning. This application has been submitted and is being processed by the Planning Department.

G. Proposed Deed Restrictions:

1. No proposed CC&R's for the subdivision have been submitted. A condition of approval has been added requiring submittal to the City prior to recordation of the Final Map.

H. Preliminary Grading Plan:

1. A grading plan has been provided. The areas of cut and fill are shown on the plan.

I. NPDES Permit Compliance:

- 1. The subdivider will be required to comply with the City of Elko's storm water regulations.
- J. Proposed Utility Methods and Requirements:
 - 1. The proposed sewage disposal infrastructure connecting to the City's infrastructure is shown on the utility plan.
 - 2. The proposed water supply infrastructure connecting to the City's infrastructure is shown on the utility plan.
 - 3. The Tentative Map shows storm water infrastructure. A hydrology report will be required with the Final Map and Construction Plan submittal.
 - 4. Utilities in addition to City utilities must be provided with construction plans required for Final Map submittal.
 - 5. The City will not require a traffic impact study for the proposed subdivision.

SECTION 3-3-9 GENERAL REQUIREMENTS FOR SUBDIVISION DESIGN:

- A. Conformance with Master Plan: The proposed subdivision is in conformance with the Master Plan objectives for density and applicable zoning as discussed in detail above.
- B. Public Facility Sites: No public facility sites are proposed for dedication.
- C. Land Suitability: The area proposed for subdivision is suitable for the proposed development based on the findings in this report.

The proposed subdivision is in conformance with Section 3-3-9 of City code.

SECTION 3-3-10 STREET LOCATION AND ARRANGEMENT:

- A. Conformance with Plan: The proposed subdivision utilizes an existing section of N 5th Street for access.
- B. Layout: Street continuation through the proposed subdivision is not required.
- C. Extensions: No extensions are required as part of the proposed subdivision.
- D. Arrangement of Residential Streets: The arrangement of streets within the subdivision prevents outside traffic from utilizing the neighborhood for cut-through traffic.
- E. Protection of Residential Properties: There are no lots that have frontage or access from arterial streets. All lots will front onto the private driveway running through the site.
- F. Parallel Streets: Consideration of street location is not required.

- G. Topography: The residential driveway has been designated to address the topography of the area.
- H. Alleys: No alleys are proposed.
- I. Half-Streets: There are no half-streets proposed.
- J. Dead-End Streets: There are no dead-end streets proposed. The driveway is designed to allow for appropriate turnaround areas for traffic, as well as fire trucks.
- K. Intersection Design: The proposed intersections with N 5th Street are code compliant.

The proposed subdivision is in conformance with Section 3-3-10 of City code.

SECTION 3-3-11 STREET DESIGN:

- A. Required Right-of-Way Widths: N 5th Street currently consists of the required 80 feet of right-of-way. No new streets are proposed.
- B. Street Grades: The proposed street grades are code compliant.
- C. Vertical Curves: Any vertical curves are code compliant.
- D. Horizontal Alignment: The horizontal alignment of the driveway and intersection are code compliant.

The proposed subdivision is in conformance with Section 3-3-11 of City code.

SECTION 3-3-12 BLOCK DESIGN:

- A. Maximum Length of Blocks: The block design does not exceed the maximum length of a block and maximizes block length.
- B. Sidewalks or Pedestrian ways: The proposed sidewalks are code compliant. No other pedestrian ways are proposed.

The proposed subdivision is in conformance with Section 3-3-12 of City code.

SECTION 3-3-13 LOT PLANNING:

- A. Lot Width, Depth, and Area: The lots are in conformance with the specifications stipulated for the zoning in Elko City Code 3-2-5.
- B. Building Setback: The proposed subdivision, when developed, can meet setback requirements as stipulated in Elko City Code 3-2-5(G).
- C. Side Lot Lines: The side lot lines are generally at right angles to the interior driveway.
- D. Accessibility: The development abuts a public street. All residents will have access to N 5th Street.
- E. Prohibitions: No units shall have direct access to N 5^{th} Street. All access is to be through the proposed driveway.

The proposed subdivision is in conformance with Section 3-3-13 of City code.

SECTION 3-3-14 EASEMENT PLANNING:

- A. Utility Easements: The applicant is proposing a new public access, utility, and drainage easement to run under the driveway parallel with N 5th Street. Overhead utilities are not allowed within the subdivision.
- B. Underground Utilities: Overhead utilities are not allowed within the subdivision. The utility companies, at their discretion, may request a wider easement where needed.
- C. Lots Facing Curvilinear Streets: Overhead utilities are not allowed within the subdivision.
- D. Public Drainage Easement: The applicant is proposing a new public access, utility, and drainage easement to run under the driveway parallel with N 5th Street.
- E. Easement Land Not Considered and Considered in Minimum Lot Area Calculation: All calculations appear to be correct.
- F. Lots Backing Onto Arterial Streets: There are no lots proposed which require residents to back onto an arterial street.
- G. Water and Sewer Lines: The utilities are shown in the streets, within existing side or rear easements, and in the proposed driveway access. Sanitary sewer will tie into the existing city infrastructure near the southeast corner of the property.

The proposed subdivision is in conformance with Section 3-3-14 of City code.

SECTION 3-3-15 STREET NAMING:

No new streets are proposed as part of this project.

The proposed subdivision is in conformance with Section 3-3-15 of City code.

SECTIONS 3-3-16 STREET LIGHT DESIGN STANDARDS:

Conformance is required with the submittal of construction plans.

SECTION 3-3-17 through 3-3-22 (inclusive):

All referenced sections are applicable to Final Map submission, approval, and construction plans.

SECTION 3-3-23 PARK LAND DEDICATIONS:

There is no offer of dedication for park lands.

SECTION 3-2-3 GENERAL PROVISIONS:

Section 3-2-3(C)(1) of City code specifies use restrictions. The following use restrictions shall apply:

Principal Uses: Only those uses and groups of uses specifically designated as "principal uses permitted" in zoning district regulations shall be permitted as principal uses; all other uses shall be prohibited as principal uses.

Accessory Uses: Uses normally accessory and incidental to permitted principal or conditional uses may be permitted as hereinafter specified.

Other uses may apply under certain conditions with application to the City.

Section 3-2-3(D) states that: "No land may be used or structure erected where the land is held by the planning commission to be unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, extreme topography, low bearing strength, erosion susceptibility, or any other features likely to be harmful to the health, safety, and general welfare of the community. The planning commission, in applying the provisions of this section, shall state in writing the particular facts upon which its conclusions are based. The applicant shall have the right to present evidence contesting such determination to the city council if he or she so desires, whereupon the city council may affirm, modify, or withdraw the determination of unsuitability."

The proposed subdivision and development is in conformance with Section 3-2-3 of City code.

SECTION 3-2-4 ESTABLISHMENT OF ZONING DISTRICTS:

- 1. Section 3-2-4(B) Required Conformity to District Regulations: The regulations set forth in this chapter for each zoning district shall be minimum regulations and shall apply uniformly to each class or kind of structure or land, except as provided in this subsection.
- 2. Section 3-2-4(B)(4) stipulates that no yard or lot existing on the effective date hereof shall be reduced in dimension or area below the minimum requirements set forth in this title.

The proposed subdivision is in conformance with Section 3-2-4 of City code.

SECTION 3-2-9(B) CT – COMMERCIAL TRANSITIONAL:

Section 3-2-9(B)(3) Conditional Uses Permitted:

- 1. Churches, church facility complexes and places of religious worship.
- 2. Convalescent hospitals, sanatoriums, nursing homes, homes for the aged.
- 3. Funeral homes and mortuaries.
- 4. Multiple-family residential developments which contain five (5) or more units located on a single lot or parcel; townhouse, condominium, or attached housing developments.
- 5. Restaurants, sandwich and beverage shops, delicatessens.
- 6. Theater, indoor.
- 7. Similar uses determined to be functionally comparable to conditional permitted uses in this zone.

The proposed subdivision and development is in conformance with Section 3-2-9(B)(3). Conformance with Section 3-2-9(B) is required as the subdivision develops.

SECTION 3-2-5(G) RESIDENTIAL ZONING DISTRICTS AREA, SETBACKS, AND HEIGHT:

- 1. Lot areas are shown.
- 2. Lot dimensions are shown. The lot dimensions are in conformance with Section 3-2-5(G) of City code.

The proposed subdivision and development is in conformance with Section 3-2-5(G) of City code.

SECTION 3-2-17 TRAFFIC, ACCESS, PARKING, AND LOADING:

- 1. N 5th Street is designated as a Minor Arterial in the Master Plan. No new streets are being proposed as part of the proposal.
- 2. The proposed lots are large enough to develop the required off-street parking. Each townhouse unit will include a two-car garage within the individual lots. Additional guest parking will be provided in the common lot owned and maintained by the Homeowner's Association.
- 3. The southern access driveway is lined up with the existing intersection of N 5th Street and Tasha Way. The northern access driveway is located approximately half way between the intersections of Mary Way and Copper Street. The Master Plan requires that driveways and intersections on Minor Arterial roads have a minimum separation of 250 feet. The proposed driveway is more than 250 feet from the closest intersection and conforms with both Master Plan and zoning requirements.

The proposed subdivision and development is in conformance with Section 3-2-17 of City code. Conformance with Section 3-2-17 is required as the subdivision develops.

SECTION 3-8 FLOOD PLAIN MANAGEMENT:

The proposed subdivision and development is not located in a designated special flood hazard area and is in conformance with Section 3-8 of City Code.

TITLE 9, CHAPTER 8 POST CONSTRUCTION RUNOFF CONTROL AND WATER QUALTIY MANAGEMENT:

Final design of the subdivision is required to conform to the requirements of this title. The Tentative Map storm drain infrastructure is shown through the area.

OTHER:

The following permits will be required for the project:

1. State storm water general permit: Required submittals to the City of Elko are a plan view showing the storm water controls, a copy of the Storm Water Pollution Prevention Plan (SWPPP) and a copy of the certified confirmation letter from the Nevada Department of Environmental Protection.

- 2. A Surface Area Disturbance (SAD) is required if the disturbed area is equal to or greater than five (5) acres. A copy of the SAD permit is required to be submitted to the City of Elko.
- 3. A street cut permit from the City of Elko.
- 4. A grading permit from the City of Elko.
- 5. All other applicable permits and fees required by the City of Elko.
- 6. The City of Elko also requires submittal of the plans to the individual utility companies before permits will be issued for the project.

FINDINGS

- 1. The proposed subdivision and development is in conformance with both the Land Use and Transportation components of the Master Plan as previously discussed in this report.
- 2. The proposed subdivision and development does not conflict with the Airport Master Plan; the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report November 2012; the Wellhead Protection Program; or applicable sections of the Elko City Code.
- 3. The proposed subdivision complies with Section 3-3-5(E)(2)(a)-(k) as discussed in this report and as required by Section 278.349(3) of the Nevada Revised Statutes.
- 4. The property is not located within the Redevelopment Area. Therefore, there is no conflict with the Redevelopment Plan.
- 5. A Zoning Amendment is required for the proposed subdivision as previously discussed in this report.

STAFF RECOMMENDATION:

Staff recommends this item be **conditionally approved** with the following conditions:

Development Department:

- 1. The associated Master Plan Amendment and Zoning Amendment must be approved and in effect prior to application submittal of the Final Map.
- 2. Conditional Use Permit 12-19 must be approved and all conditions met.
- 3. A copy of the CC&Rs must be submitted to the City of Elko Development Department prior to recordation of the Final Map.
- 4. The subdivider is to comply with all provisions of the NAC and NRS pertaining to the proposed subdivision.
- 5. Tentative Map approval constitutes authorization for the subdivider to proceed with preparation of the Final Map and associated construction plans.

- 6. The Tentative Map must be approved by the Nevada Department of Environmental Protection prior to submitting for Final Map approval by the City of Elko.
- 7. Construction plans must be approved by the Nevada Department of Environmental Protection prior to issuance of a grading permit.
- 8. Tentative Map approval does not constitute authorization to proceed with site improvements.
- 9. The applicant must submit an application for Final Map within a period of four (4) years in accordance with NRS.360(1)(a). Approval of the Tentative Map will automatically lapse at that time.
- 10. A soils report is required with Final Map submittal.
- 11. A hydrology report is required with Final Map submittal.
- 12. Final Map construction plans are to comply with Chapter 3-3 of City code.
- 13. The subdivision design and construction shall comply with Title 9, Chapter 8 of City code.
- 14. The Utility Department will issue an Intent to Serve letter upon approval of the Tentative Map by the City Council.
- 15. Obtain an easement for any off-site grading prior to issuance of a grading permit.

Conditional Use Permit 12-19 + Tentative Map 14-19 Koinonia

YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
	ANCHONDO, CARISA & MICHAEL		2508 FRANZI LN	ELKO NV	89801-4445
	ATLAS LAND HOLDINGS LLC		1522 PROSPECT LN	ALPINE UT	84004-1874
001610018	COPPERWOOD APARTMENTS LLC		4655 S 2300 E APT 205	SALT LAKE CITY UT	84117-4679
	DAVIS, LYNETTE		2430 5TH ST	ELKO NV	89801-4469
	DENNIS, PERRY KENT ET AL		2451 CONNIE VIEW DR	ELKO NV	89801-4479
	DITTES, JANET F		2441 CONNIE VIEW DR	ELKO NV	89801-4479
001610075	ELKO CITY OF NOP.C.		1755 COLLEGE AVE	ELKO NV	89801
001611007	ELKO CO TREAS TR		571 IDAHO ST	ELKO NV	89801-3715
001611005	ELLIS, GREGOR ET AL		2350 N 5TH ST	ELKO NV	89801-4453
001612010	FINK, KYLE		2431 CONNIE VIEW DR	ELKO NV	89801-4479
001612011	FRANCE, DALE L & YVONNE B		230 TEAL WAY	ELKO NV	89801-8483
001612007	GILBERT, DON L & LINDA		2461 CONNIE VIEW DR	ELKO NV	89801-4478
001613005	HEIT, GARY D ET AL		2536 FRANZI LN	ELKO NV	89801-4474
001614002	HEREDIA, MARIA DEL CARMEN		531 MARY WAY	ELKO NV	89801-4450
	KRANZ, CHRISTOPHER ALLEN		511 TASHA WAY	ELKO NV	89801-4461
	MCCARSON, CHRISTINE M		2330 N 5TH ST	ELKO NV	89801-4453
001610047	NORTH FIFTH COMMERCIAL CENT LLC		PO BOX 669	ELKO NV	89803-0669
	PETTY, MICHAEL & JULIE		512 MARY WAY	ELKO NV	89801-4447
	POMROY, ROBERT & CAITLIN TERESA		2515 FRANZI LN	ELKO NV	89801-4446
	REIMOLD, ZACKERY E ET AL		2440 N 5TH ST	ELKO NV	89801-4469
	RODRIGUEZ, ALEJANDRO		2523 FRANZI LN	ELKO NV	89801-4446
	SANDOVAL, LUZ & CELSA G		2507 FRANZI LN	ELKO NV	89801-4446
	SANTINA, CHANCE		2321 CONNIE VIEW DR	ELKO NV	89801-4451
	SHIPP, DUSTY		959 MONTROSE LN	ELKO NV	89801-2472
	SIDES, RICHARD		2420 5TH ST	ELKO NV	89801-4469
	SONORA LLC 1pc		PO BOX 1597	ELKO NV	89803-1597
	SONORA LLC		PO BOX 1597	ELKO NV	89803-1597
	SORENSEN, TYLER M & KIRSTI		512 TASHA WAY	ELKO NV	89801-4459
	TAYLOR, TODD		503 TINA LN	ELKO NV	89801-4443
001613004	THORNBURG, GILBERT G TR ET AL		PO BOX 1772	ELKO NV	89803-1772
001612005			2450 N 5TH ST	ELKO NV	89801-4469
	VELAZQUEZ, JOSE T TR			ELKO NV	89801-4400
001612001	WORNEK, KIM RAY & DONNA K			ELKO NV	89801-4469

001611013 WORTHINGTON, NEIL E 001613006 WRIGHT, JOHNNY S & LESLIE L

2341 CONNIE VIEW DR 2528 FRANZI LN

ELKO NV

89801-4451 89801-4474

33)

Post marked 1/24/20

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Elko City Planning Commission will conduct a public hearing on Tuesday, February 4, 2020 beginning at 5:30 P.M. P.S.T. at Elko City Hall, 1751 College Avenue, Elko, Nevada, and that the public is invited to provide input and testimony on this matter under consideration in person, by writing, or by representative.

The specific item to be considered under public hearing format is:

- Conditional Use Permit No. 12-19, filed by Koinonia Development, LP which would allow for a townhome development within a CT (Commercial Transitional) Zoning District, and matters related thereto. The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)
- Tentative Map No. 14-19, filed by Koinonia Development, LP, for the development of a subdivision entitled Mountain View Town Homes involving the proposed division of approximately 3.240 acres of property into 44 lots for residential development and a common area within the CT (Commercial Transitional) Zoning District, and matters related thereto. The subject property is located generally on the south side of N. 5th Street, across from Mary Way. (APNs 001-610-096, 001-610-097, 001-610-098, 001-610-099)

Additional information concerning this item may be obtained by contacting the Elko City Planning Department at (775) 777-7160.

ELKO CITY PLANNING COMMISSION



Planning Department

Website: www.elkocitynv.gov
Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

December 5, 2019

NV Energy Mr. Robert Lino 4216 Ruby Vista Dr. Elko, NV 89801-1632

SUBJECT: Tentative Map No. 14-19/Mountain View Town Homes

Dear Mr. Lino:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Mountain View Town Homes subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their February 4, 2020 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta
Planning Technician



Planning Department

Website: www.elkocitynv.gov Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

December 5, 2019

Southwest Gas Corporation **Engineering Department** PO Box 1190 Carson City, NV 89702

SUBJECT: Tentative Map No. 14-19/Mountain View Town Homes

To Whom It May Concern:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Mountain View Town Homes subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their February 4, 2020 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta
Planning Technician

BW Tentative team with and Suphifice Way Mr. 3

Amanda Marcucci < Amanda. Marcucci@swgas.com>

Mon 12/16/2019 7:01 AM

To: Shelby Archuleta <sarchuleta@elkocitynv.gov>

0 2 attachments (5 MB)

15/ 1/20 Plans with 13/ 14/ 19 Plans not

I don't have any conserns with Tentance Map 1-20 or Tentative Map 14-19.

Amanda





Delivering

Amanda Marcucci, PE | Supervisor/Engineering

PO Box 1190 | 24A-580 | Carson City, NV 89702-1190 direct 775.887.2871 | mobile 775.430.0723 | fax 775.882.6072 amanda.marcucci@swgas.com | www.swgas.com

From: Shelby Archuleta asarchure, appelkocity rougovo-Sent: livesday, December 10, 2019 9:24 AM To: Amanda Marcucci «Amanda Atarcucci@swgas conc Subject: CXTERIXAL: Ro: Tentarice Man 1, 20 and Tentative Man 14-19

Amanda, Sorry about that. Here are the PDFs. Let me know if you need anything else.

Shelly archuleta

Planning Technician

City of Elko

Planning Department

91. (775) 777-7160



Planning Department

Website: www.elkocitynv.gov Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

December 5, 2019

Satview Broadband Mr. Steve Halliwell 3550 Barron Way, Suite 13A Reno, NV 89511

SUBJECT: Tentative Map No. 14-19/Mountain View Town Homes

Dear Mr. Halliwell:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Mountain View Town Homes subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their February 4, 2020 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

Sincerely,

Shelby Archuleta
Planning Technician



Planning Department

Website: www.elkocitynv.gov Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

December 5, 2019

Frontier Communications **John Poole** 1520 Church Street Gardnerville, NV 89410

SUBJECT: Tentative Map No. 14-19/Mountain View Town Homes

Dear Mr. Poole:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Mountain View Town Homes subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their February 4, 2020 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

My Docutate

Sincerely,

Shelby Archuleta Planning Technician



Planning Department

Website: www.elkocitynv.gov Email: planning@elkocitynv.gov

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7219

December 5, 2019

Elko County School District Mr. Todd Pehrson PO Box 1012 Elko, NV 89803

SUBJECT: Tentative Map No. 14-19/Mountain View Town Homes

Dear Mr. Pehrson:

Enclosed for your review and information is a copy of the submitted tentative map for the proposed Mountain View Town Homes subdivision, which is tentatively scheduled for consideration by the Elko City Planning Commission at their February 4, 2020 meeting.

Please submit written comments to the Elko City Planning Department. If we do not receive written comments prior to the scheduled meeting, we will assume you have no concerns regarding this application.

Thank you for your attention to this matter.

ello Avantetos

Sincerely,

Shelby Archuleta Planning Technician



City of Elko – Development Department 1755 College Avenue Elko, NV 89801

Telephone: 775.777.7210 Facsimile: 775.777.7219

December 4, 2019

High Desert Engineering, LLC Attn: Tom Ballew 640 Idaho Street Elko, NV 89801

Re: Mountain View Townhomes - Complete Submittal

Dear Mr. Ballew:

The City of Elko has reviewed your Tentative Map application materials for the Mountain View Townhomes (submitted December 2, 2019) and has found them to be complete. We will now begin processing your application by transmitting the materials to other City departments for their review. You may receive further comments or corrections as these reviews progress.

I will keep you updated on the status of your application, but please feel free to contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP Development Manager mrambo@elkocitynv.gov

CC: Koinonia Development, LP

Attn: John Smales 207 Brookwood Drive Elko, NV 89801

City of Elko - File



CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue * Elko * Nevada * 89801 (775) 777-7160 * (775) 777-7119 fax

APPLICATION FOR TENTATIVE MAP (STAGE II) APPROVAL **PRIOR TO SUBMITTING THIS APPLICATION, PRE-APPLICATION (STAGE I) MUST BE COMPLETE**

APPLICANT(s): Koinonia Development, LP			
MAILING ADDRESS: 207 Brookwood Drive, Elko, NV 89801			
PHONE NO (Home):(Business)_(775) 778-1539			
EMAIL:johns.koinonia@gmail.com			
NAME OF PROPERTY OWNER (If different): same			
(Property owner consent in writing must be provided)			
MAILING ADDRESS: same			
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):			
ASSESSOR'S PARCEL NO.: 001-610-096, 097, 098 & 099, and a portion of 001-610-075 Not addressed			
Lot(s), Block(s), &Subdivision			
Or Parcel(s) & File No.			
Of Farceits) & Fire ito.			
APPLICANT'S REPRESENTATIVE: High Desert Engineering, LLC			
MAILING ADDRESS: 640 Idaho Street, Elko, NV 89801			
PHONE NO: (775) 738-4053			
FILING REQUIREMENTS:			
 Complete Application Form: In order to begin processing the application, an application form must be complete and signed. Complete applications are due at least 42 days (6 weeks) prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1st Tuesday of every month), and must include the following: One .pdf of the entire application, and three (3) 24" x 36" copies of the tentative map, grading plan, and utility plan folded to a size not to exceed 9"x12" provided by a properly licensed surveyor or civil engineer, and any required supporting data, prepared in accordance with Section 3-3-5 9C) and 3-3-6 of the Elko City Code (see attached checklist). A Development Master Plan when, in the opinion of the Planning Commission, the proposed subdivision possesses certain characteristics, such as size, impact on neighborhoods, density, topography, utilities, and/or existing and potential land uses, that necessitate the preparation of a Development Master Plan. Application/fees for State of Nevada review. (See Page 5) 			
Fee: \$750.00 + \$25.00 per lot including remainder parcels; non-refundable.			
Other Information: The applicant is encouraged to submit other information and documentation			

DEC 03 2019

Revised 5/15/19

JE	ECT DESCRIPTION OR PURPOSE:
	Development of 44 single family residential townhouse lots on North Fifth Street in Elko, Nevada.
	Subdivision to be phased as dictated by marketing conditions.
- 200	
_	
_	

(Use additional pages if necessary)

Revised 5/15/19 Page 2

Preliminary Plat Checklist 3-3-6

Date	Name	
Identifica	tion Data	
	Subdivision Name 🗸	
	Location and Section, Township and Range 🗸	
	Reference to a Section Corner or Quarter-Section Corner ✓	
	Name, address and phone number of subdivider ✓	
	Name, address and phone number of engineer/surveyor ✓	
	Scale, North Point and Date of Preparation 🗸	
	Dates of Revisions 🗸	
	Location maps ✓	
	Legal description of boundaries V (Separate Sheet)	
Existing C	onditions Data	
	2' contours on city coordinate system ✓	
	Location of Water Wells ✓	
	Location of Streams, private ditches, washes and other features ✓	
	Location of Designated flood zones ✓	
	The Location, widths and Names of all platted Streets, ROW √	
	Municipal Corporation Lines	
	Name, book and page numbers of all recorded plats 🗸	
	Existing Zoning Classifications 🗸	
	Zoning of Adjacent Properties ✓	
	Dimensions of all tract boundaries, gross and net acreage 🗸	
Proposed	Conditions Data	
V	Street Layout, location, widths, easements 🗸	
NA	Traffic Impact Analysis 🗸	
	Lot Layout, including dimensions of typical lots 🗸	
	Corner Lot Layout 🗸	
	Lot layout on Street Curves 시 A	
	Each lot numbered consecutively 🗸	
	Total number of lots ✓	
	Location, Width and proposed use of easements 🗸	
	Location, extent and proposed use of all land to be dedicated 🗸	
	Location and boundary of all proposed zoning districts 🗸	
	Draft of proposed deed restrictions Nove,	
	Preliminary Grading Plan	
	Conceptual cut and fill	
	Estimated quality of material to be graded	
Proposed	Utilities	
-	Sewage Disposal, design for sewage disposal 🗸	
	Water Supply, Evidence of adequate volume and quality ✓	
	Storm Drain, Preliminary Calculations and Layout 🗸	
U	Telephone, Power, Gas, Television 🗸	

Revised 5/15/19 Page 3

I consent to having the City of Elko Staff enter on my property for the sole purpose of inspection of said property as part of this application process.			
☐ I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not affect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)			
I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.			
I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.			
\boxtimes I have carefully read and completed all questions contained within this application to the best of my ability.			
Applicant / Agent: Koinonia Development, LP / John M. Smales (Please print or type)			
Mailing Address: 207 Brookwood Drive (Street Address or P.O. Box)			
Elko, NV 89801 (City, State, Zip Code)			
Phone Number: (775) 778-1539			
Email address: johns.koinonia@gmail.com			
SIGNATURE:			
FOR OFFICE USE ONLY 44 lots + Common Area 45 \$25=			
110 No. 14-19 Data Filadi 1012/10 For Daid \$ 1075 as CV# 2001 \ 15210 \ 735			

By My Signature below:

MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

DRAINAGE CALCULATIONS

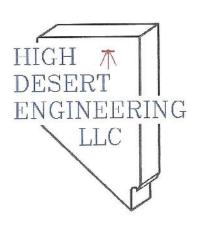
Section 9, T.34 N., R. 55 E., M.D.B.& M.

Prepared for

Koinonia Development, LP 230 Elko vista Drive Elko, Nevada 89801

Tel: (775) 303-8492

Prepared by



High Desert Engineering, LLC 640 Idaho Street Elko, Nevada 89801

> Tel: (775) 738-4053 Fax: (775) 753-7693

> hdeng@frontiernet.net

November, 2019



MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

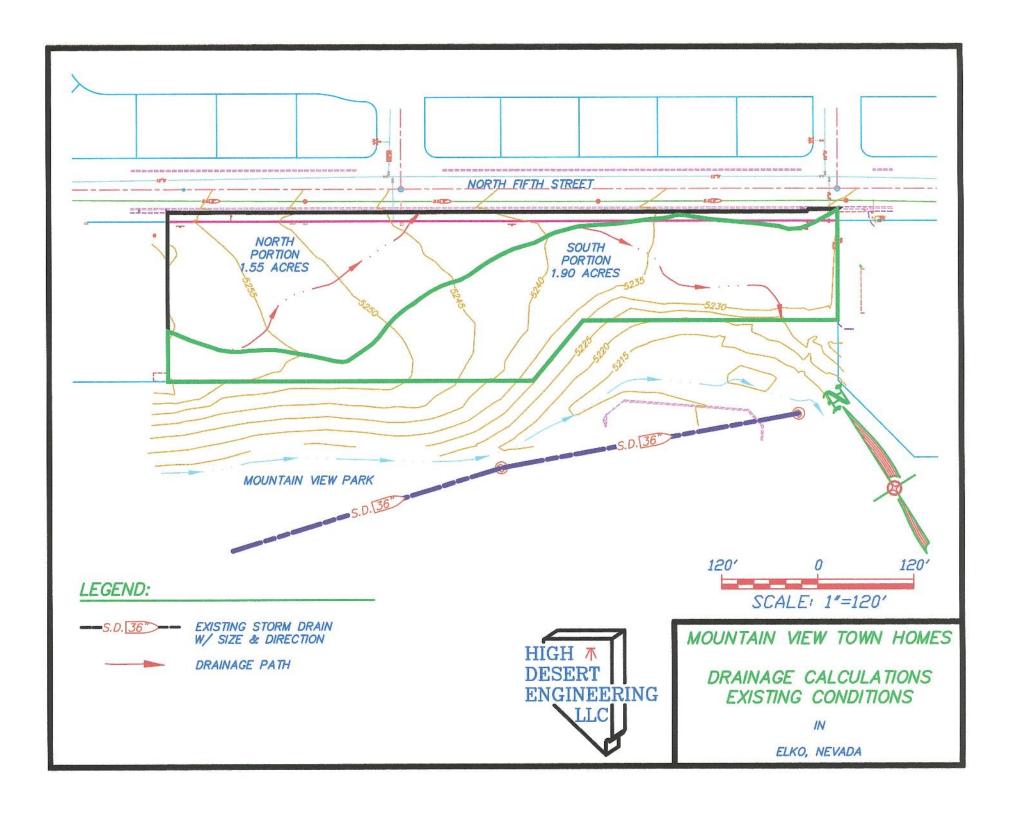
SUMMARY OF DRAINAGE CALCULATIONS

Α.	Existing Conditions (See Appendix A)	0/05)
	North Portion South Portion	Q(25) 1.30 cfs 1.74 cfs
	Total Existing Conditions	3.04 cfs
В.	Proposed Conditions (See Appendix B)	
	North Portion	0.80 cfs
	Central Left Portion Central Middle Portion Central Right Portion South Portion	2.22 cfs 0.74 cfs 0.74 cfs 0.29 cfs
	Sub Total Central & South Portions Less Detention & Routing	3.99 cfs -1.90 cfs
	Total Central & South Portions	2.09 cfs
	Total Proposed Conditions	2.89 cfs

MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

APPENDIX A

HYDRO-CAD ANALYSIS EXISTING CONDITIONS





North Portion



South Portion









Koinonia - Existing

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Printed 11/11/2019 Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
3.450 3.450	80 80	Sagebrush range, Poor, HSG C (1S, 2S) TOTAL AREA

Koinonia - Existing

Prepared by HIGH DESERT ENGINEERING, LLC

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Printed 11/11/2019 Page 3

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
3.450	HSG C	1S, 2S
0.000	HSG D	
0.000	Other	
3.450		TOTAL AREA

Koinonia - Existing
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Printed 11/11/2019

Page 4

Ground Covers (all nodes)

HSG-A	HSG-B	HSG-C	HSG-D	Other	Total	Ground	Subcatchment
(acres)	(acres)	(acres)	(acres)	(acres)	(acres)	Cover	Numbers
 0.000	0.000	3.450	0.000	0.000	3.450	Sagebrush range, Poor	1S, 2S
0.000	0.000	3.450	0.000	0.000	3.450	TOTAL AREA	

Koinonia - Existing

HIGH DESERT ENGINEERING, LLC Type II 24-hr 25 Year - Elko Rainfall=2.08" Printed 11/11/2019

Prepared by HIGH DESERT ENGINEERING, LLC
HydroCAD® 10.00-24 s/n 07726 © 2018 HydroCAD Software Solutions LLC

Page 5

Time span=5.00-24.00 hrs, dt=0.05 hrs, 381 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: North Portion

Runoff Area=1.550 ac 0.00% Impervious Runoff Depth>0.61" Flow Length=386' Tc=11.8 min CN=80 Runoff=1.30 cfs 0.079 af

Subcatchment 2S: South Portion

Runoff Area=1.900 ac 0.00% Impervious Runoff Depth>0.61" Flow Length=313' Tc=9.4 min CN=80 Runoff=1.74 cfs 0.097 af

Total Runoff Area = 3.450 ac Runoff Volume = 0.175 af Average Runoff Depth = 0.61" 100.00% Pervious = 3.450 ac 0.00% Impervious = 0.000 ac

Page 6

Summary for Subcatchment 1S: North Portion

Runoff

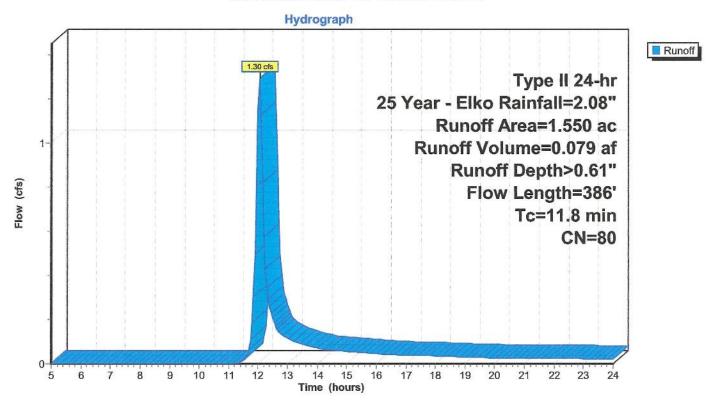
1.30 cfs @ 12.05 hrs, Volume=

0.079 af, Depth> 0.61"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-24.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

Area	(ac) C	N Des	cription			
1	.550 8	30 Sage	ebrush ran	ge, Poor, F	ISG C	
1	.550	100.	00% Pervi	ious Area		
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description	
10.4	91	0.0385	0.15		Sheet Flow,	
1.4	295	0.0475	3.51		Range n= 0.130 P2= 1.15" Shallow Concentrated Flow, Unpaved Kv= 16.1 fps	
11.8	386	Total				

Subcatchment 1S: North Portion



Page 7

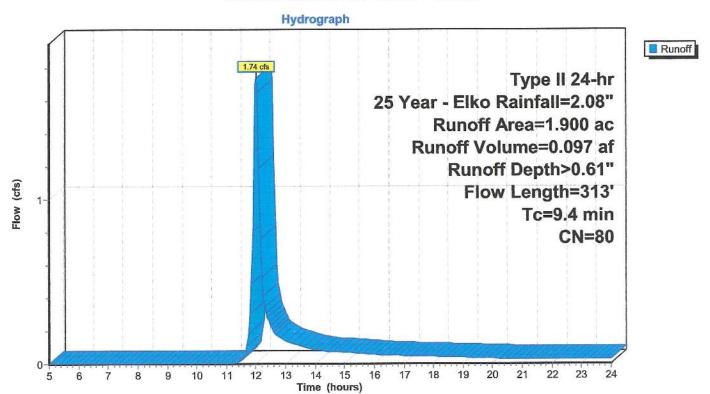
Summary for Subcatchment 2S: South Portion

Runoff = 1.74 cfs @ 12.02 hrs, Volume= 0.097 af, Depth> 0.61"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-24.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

Area	(ac) C	N Des	cription			
1.	900 8	30 Sage	ebrush ran	ge, Poor, H	HSG C	
1.	900	100.	00% Pervi	ous Area		
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description	
8.3	69	0.0391	0.14		Sheet Flow,	
1.1	244	0.0504	3.61		Range n= 0.130 P2= 1.15" Shallow Concentrated Flow, Unpaved Kv= 16.1 fps	
94	313	Total				

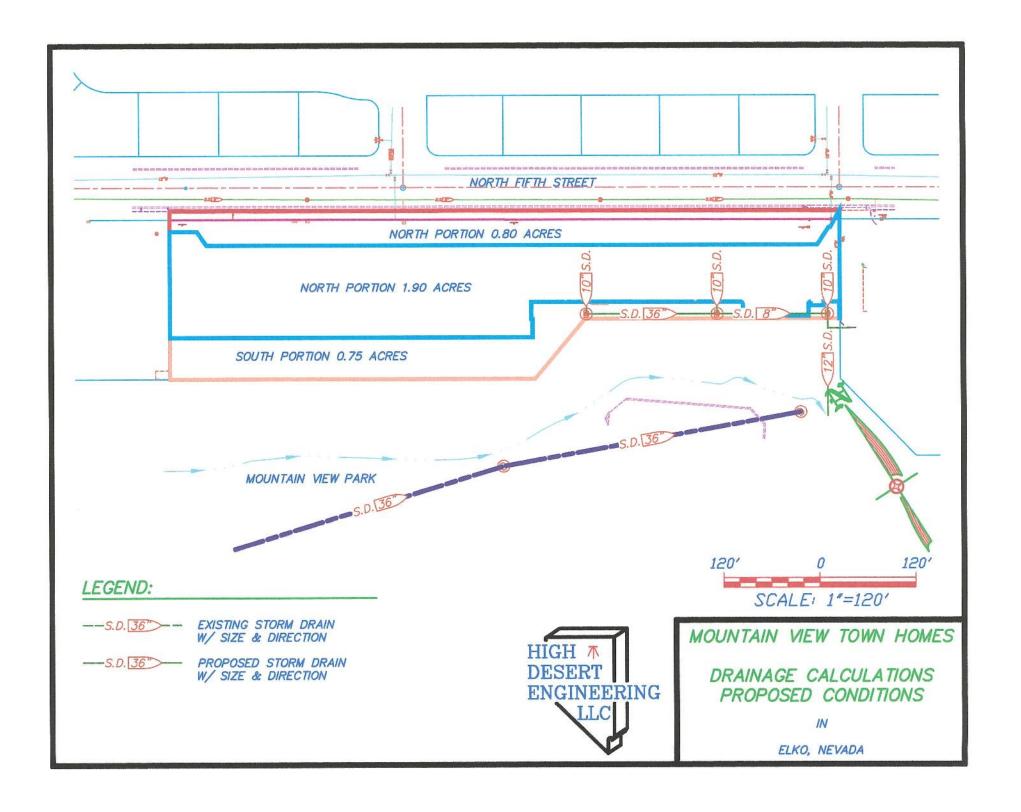
Subcatchment 2S: South Portion



MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

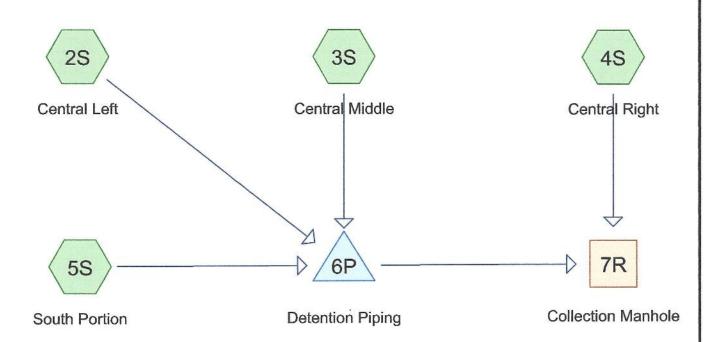
APPENDIX B

HYDRO-CAD ANALYSIS PROPOSED CONDITIONS





North Portion











Koinonia - Proposed
Prepared by HIGH DESERT ENGINEERING, LLC
HydroCAD® 10.00-24 s/n 07726 © 2018 HydroCAD Software Solutions LLC

Printed 11/11/2019 Page 2

Area Listing (all nodes)

Area	CN	Description
(acres)		(subcatchment-numbers)
1.240	70	Grass cover, Good, HSG C (1S, 2S, 3S, 4S, 5S)
2.170	98	Paved parking, HSG C (1S, 2S, 3S, 4S, 5S)
3.410	88	TOTAL AREA

Koinonia - Proposed

Prepared by HIGH DESERT ENGINEERING, LLC

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Printed 11/11/2019

Page 3

Soil Listing (all nodes)

Area	Soil	Subcatchment
(acres)	Group	Numbers
0.000	HSG A	
0.000	HSG B	
3.410	HSG C	1S, 2S, 3S, 4S, 5S
0.000	HSG D	
0.000	Other	
3.410		TOTAL AREA

Koinonia - Proposed
Prepared by HIGH DESERT ENGINEERING, LLC
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Printed 11/11/2019

Page 4

Ground Covers (all nodes)

	HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
-	0.000	0.000	1.240	0.000	0.000	1.240	Grass cover, Good	1S, 2S, 3S, 4S, 5S
	0.000	0.000	2.170	0.000	0.000	2.170	Paved parking	1S, 2S, 3S, 4S, 5S
	0.000	0.000	3.410	0.000	0.000	3.410	TOTAL AREA	

Koinonia - Proposed
Prepared by HIGH DESERT ENGINEERING, LLC
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Printed 11/11/2019

Page 5

Pipe Listing (all nodes)

Lin	e#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
	1	2S	0.00	0.00	39.0	0.0100	0.012	12.0	0.0	0.0
	2	3S	0.00	0.00	39.0	0.0100	0.012	12.0	0.0	0.0
	3	4S	0.00	0.00	39.0	0.0100	0.012	12.0	0.0	0.0
	4	6P	100.00	99.00	100.0	0.0100	0.012	8.0	0.0	0.0

Koinonia - Proposed

HIGH DESERT ENGINEERING, LLC Type II 24-hr 25 Year - Elko Rainfall=2.08" Printed 11/11/2019

Prepared by HIGH DESERT ENGINEERING, LLC

HydroCAD® 10.00-24 s/n 07726 © 2018 HydroCAD Software Solutions LLC

Page 6

Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: North Portion Runoff Area=0.800 ac 41.25% Impervious Runoff Depth>0.63"

Flow Length=44' Tc=11.2 min CN=82 Runoff=0.80 cfs 0.042 af

Subcatchment 2S: Central Left Runoff Area=1.320 ac 88.64% Impervious Runoff Depth>1.46"

Flow Length=605' Tc=20.0 min CN=95 Runoff=2.22 cfs 0.160 af

Subcatchment 3S: Central Middle Runoff Area=0.270 ac 92.59% Impervious Runoff Depth>1.55"

Flow Length=198' Tc=5.0 min CN=96 Runoff=0.74 cfs 0.035 af

Subcatchment 4S: Central Right Runoff Area=0.270 ac 92.59% Impervious Runoff Depth>1.55"

Flow Length=212' Tc=5.0 min CN=96 Runoff=0.74 cfs 0.035 af

Subcatchment 5S: South Portion Runoff Area=0.750 ac 22.67% Impervious Runoff Depth>0.40"

Flow Length=586' Tc=23.2 min CN=76 Runoff=0.29 cfs 0.025 af

Reach 7R: Collection Manhole Inflow=2.09 cfs 0.255 af

Outflow=2.09 cfs 0.255 af

Pond 6P: Detention Piping Peak Elev=102.71' Storage=0.024 af Inflow=2.60 cfs 0.220 af

8.0" Round Culvert n=0.012 L=100.0' S=0.0100 '/' Outflow=1.98 cfs 0.220 af

Total Runoff Area = 3.410 ac Runoff Volume = 0.297 af Average Runoff Depth = 1.05" 36.36% Pervious = 1.240 ac 63.64% Impervious = 2.170 ac

Koinonia - Proposed

Prepared by HIGH DESERT ENGINEERING, LLC

HydroCAD® 10.00-24 s/n 07726 © 2018 HydroCAD Software Solutions LLC

Page 7

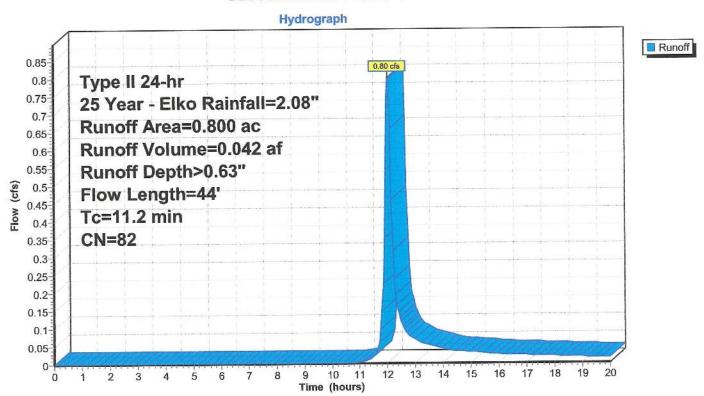
Summary for Subcatchment 1S: North Portion

Runoff = 0.80 cfs @ 12.04 hrs, Volume= 0.042 af, Depth> 0.63"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

	Area	(ac) C	N Des	cription		
	0.	330		ed parking,		
*	0.	470	70 Gras	ss cover, G	Good, HSG	C
199	0.800 82 Weighted Average					
	0.470 58.75% Pervious Area				us Area	
	0.330 41.25% Impervious Area					
	Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
-	0.2	17	0.3330	1.78		Sheet Flow,
	11.0	27	0.0100	0.04		Smooth surfaces n= 0.011 P2= 1.15" Sheet Flow, Grass: Dense n= 0.240 P2= 1.15"
	11.2	44	Total			

Subcatchment 1S: North Portion



HIGH DESERT ENGINEERING, LLC Type II 24-hr 25 Year - Elko Rainfall=2.08"

Prepared by HIGH DESERT ENGINEERING, LLC

Printed 11/11/2019

Page 8

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Summary for Subcatchment 2S: Central Left

Runoff = 2.22 cfs @ 12.12 hrs, Volume=

0.160 af, Depth> 1.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

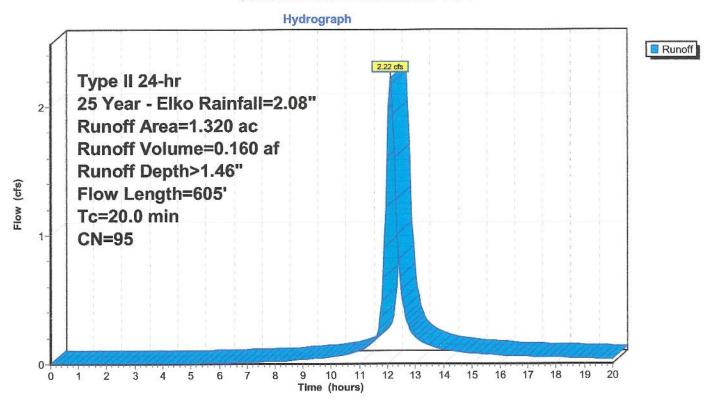
	Area	(ac) C	N Desc	cription		
	1.	170 9	8 Pave	ed parking	, HSG C	
*	0.	150 7	70 Gras	s cover, C	Good, HSG	C
	1.	320 9	95 Wei	ghted Aver	rage	
	0.	150	11.3	6% Pervio	us Area	
	1.	170	88.6	4% Imper	vious Area	
	Тс	Length	Slope	Velocity	Capacity	Description
	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)	
	16.9	46	0.0100	0.05		Sheet Flow,
						Grass: Dense n= 0.240 P2= 1.15"
	0.9	54	0.0427	0.99		Sheet Flow,
						Smooth surfaces n= 0.011 P2= 1.15"
	2.1	466	0.0384	3.68	0.74	
						Area= 0.2 sf Perim= 3.0' r= 0.07'
						n= 0.013 Concrete, trowel finish
	0.1	39	0.0100	4.91	3.86	
						12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25'
						n= 0.012 Corrugated PP, smooth interior
	20.0	605	Total			

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Subcatchment 2S: Central Left



HIGH DESERT ENGINEERING, LLC Type II 24-hr 25 Year - Elko Rainfall=2.08" Printed 11/11/2019

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Summary for Subcatchment 3S: Central Middle

[49] Hint: Tc<2dt may require smaller dt

Runoff =

0.74 cfs @ 11.95 hrs, Volume=

0.035 af, Depth> 1.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

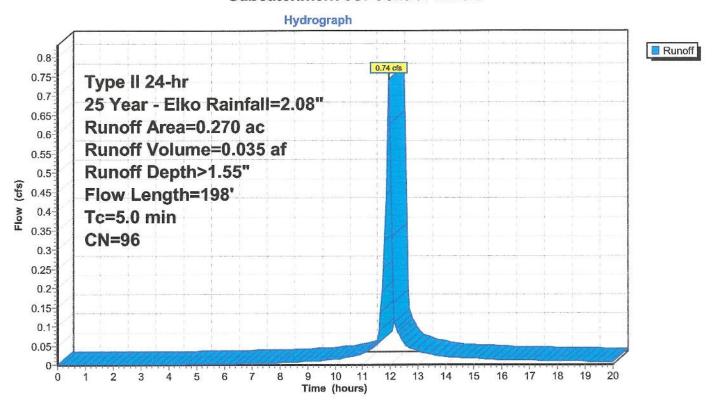
	Area	(ac) C	N Desc	cription		
*	0.	020	70 Gras	s cover, G	Good, HSG	C
	0.	250 9	8 Pave	ed parking	, HSG C	
-	0.	270 9	6 Weig	ghted Aver	age	
	0.	020		% Perviou		
	0.	250	92.5	9% Imper	vious Area	
						— 1.0
	Tc	Length	Slope	Velocity	Capacity	Description
	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)	
	0.2	17	0.3330	1.78		Sheet Flow,
						Smooth surfaces n= 0.011 P2= 1.15"
	0.5	19	0.0200	0.59		Sheet Flow,
		400	0.0000	0.04	0.57	Smooth surfaces n= 0.011 P2= 1.15"
	0.7	123	0.0229	2.84	0.57	Channel Flow, Area= 0.2 sf Perim= 3.0' r= 0.07'
						n= 0.013 Concrete, trowel finish
	0.4	20	0.0400	4.91	3.86	Pipe Channel,
	0.1	39	0.0100	4.91	3.00	12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25'
						n= 0.012 Corrugated PP, smooth interior
	3.5					Direct Entry,
_		100	Total			Dilotterity
	5.0	198	Total			

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Subcatchment 3S: Central Middle



HIGH DESERT ENGINEERING, LLC Type II 24-hr 25 Year - Elko Rainfall=2.08"

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Summary for Subcatchment 4S: Central Right

[49] Hint: Tc<2dt may require smaller dt

Runoff =

0.74 cfs @ 11.95 hrs, Volume=

0.035 af, Depth> 1.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

-	Area	(ac) C	N Des	cription		
	0.	250 9	98 Pave	ed parking	, HSG C	
*	0.	020 7	70 Gras	ss cover, C	Good, HSG	C
	0.	270	96 Wei	ghted Aver	age	
		020	7.41	% Perviou	s Area	
	0.	250	92.5	9% Imperv	vious Area	
*	Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
	0.2	17	0.3330	1.78	(0,0)	Sheet Flow,
	0.2	• • •	0.0000	1.70		Smooth surfaces n= 0.011 P2= 1.15"
	0.5	19	0.0200	0.59		Sheet Flow,
						Smooth surfaces n= 0.011 P2= 1.15"
	0.7	137	0.0287	3.18	0.64	Channel Flow,
						Area= 0.2 sf Perim= 3.0' r= 0.07'
						n= 0.013 Concrete, trowel finish
	0.1	39	0.0100	4.91	3.86	Pipe Channel,
						12.0" Round Area= 0.8 sf Perim= 3.1' r= 0.25'
						n= 0.012 Corrugated PP, smooth interior
	3.5		·····			Direct Entry,
	5.0	212	Total			

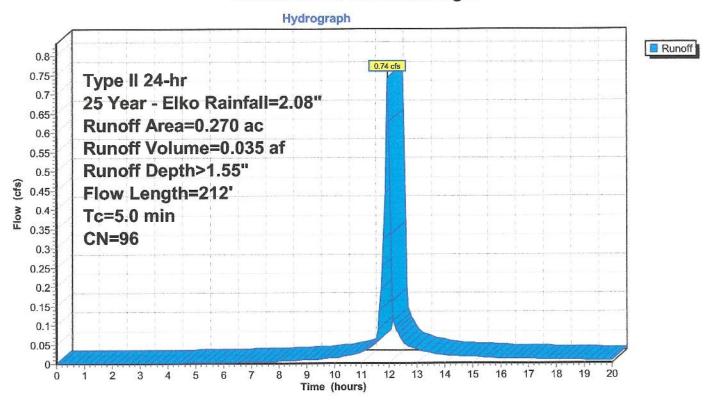
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Subcatchment 4S: Central Right



Koinonia - Proposed

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Summary for Subcatchment 5S: South Portion

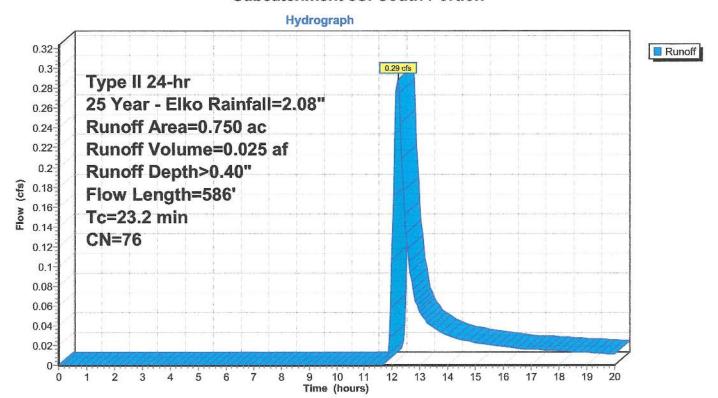
Runoff = 0.29 cfs @ 12.20 hrs, Volume=

0.025 af, Depth> 0.40"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Type II 24-hr 25 Year - Elko Rainfall=2.08"

	Area	(ac)	CN Des	cription		
*		170 580		ed parking	, HSG C Good, HSG	C
	0. 0.	.750 .580 .170	76 Wei 77.3	ghted Aver 33% Pervio 37% Impen	rage us Area	
	Tc (min)	Length (feet)		Velocity (ft/sec)	Capacity (cfs)	Description
8	19.8	56	0.0100	0.05		Sheet Flow, Grass: Dense n= 0.240 P2= 1.15"
	3.4	530	0.0343	2.62	2.62	
	23.2	586	Total			

Subcatchment 5S: South Portion



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Summary for Reach 7R: Collection Manhole

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area =

2.610 ac, 70.50% Impervious, Inflow Depth > 1.17" for 25 Year - Elko event

Inflow

Outflow

2.09 cfs @ 11.98 hrs, Volume=

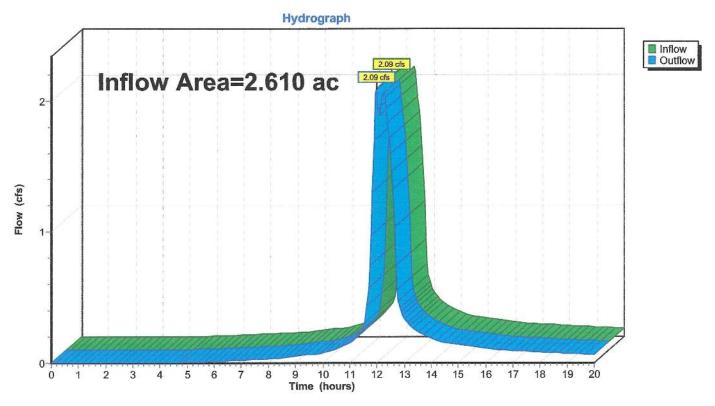
0.255 af

0.255 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs

2.09 cfs @ 11.98 hrs, Volume=

Reach 7R: Collection Manhole



Koinonia - Proposed

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Summary for Pond 6P: Detention Piping

Inflow Area = 2.340 ac, 67.95% Impervious, Inflow Depth > 1.13" for 25 Year - Elko event

Inflow = 2.60 cfs @ 12.11 hrs, Volume= 0.220 af

Outflow = 1.98 cfs @ 12.25 hrs, Volume= 0.220 af, Atten= 24%, Lag= 8.2 min

Primary = 1.98 cfs @ 12.25 hrs, Volume= 0.220 af

Routing by Stor-Ind method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs Peak Elev= 102.71' @ 12.25 hrs Surf.Area= 0.006 ac Storage= 0.024 af

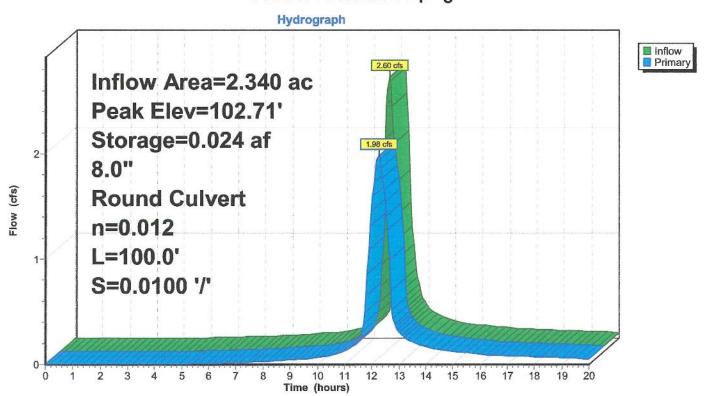
Plug-Flow detention time= 5.4 min calculated for 0.220 af (100% of inflow)

Center-of-Mass det. time= 4.7 min (777.8 - 773.1)

Volume	Invert	Avail.Storag	ge Storage Description
#1	100.00'	0.026	af 36.0" Round Pipe Storage L= 158.5'
Device	Routing	Invert	Outlet Devices
#1	Primary		8.0" Round Culvert L= 100.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 100.00' / 99.00' S= 0.0100 '/' Cc= 0.900 n= 0.012 Corrugated PP, smooth interior, Flow Area= 0.35 sf

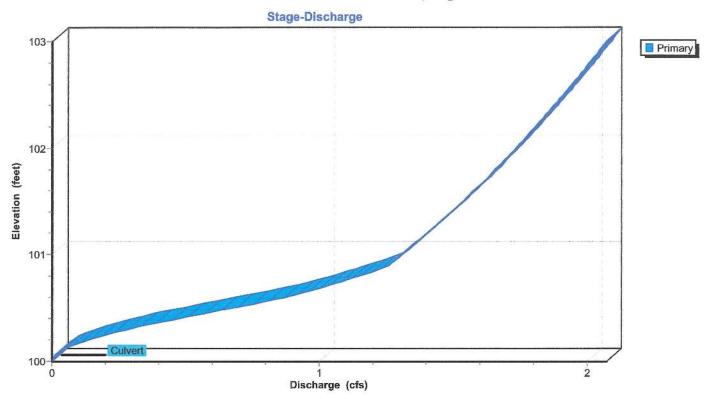
Primary OutFlow Max=1.98 cfs @ 12.25 hrs HW=102.71' (Free Discharge)
1=Culvert (Barrel Controls 1.98 cfs @ 5.67 fps)

Pond 6P: Detention Piping

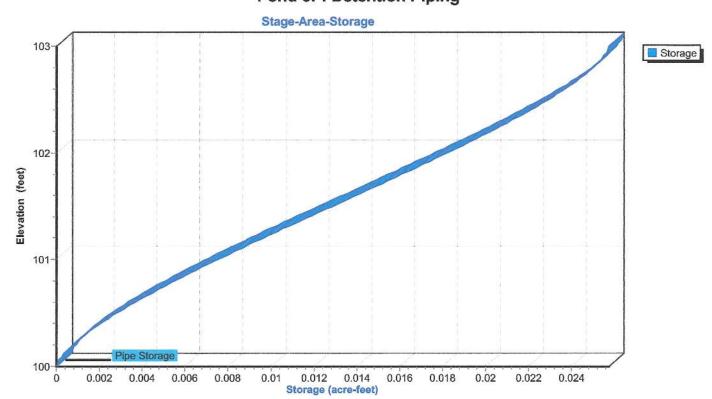


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Pond 6P: Detention Piping



Pond 6P: Detention Piping



MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

APPENDIX C

ELKO IDF CURVES

	Time (min)	Intensity (in/hr)		Time (min)	Intensity (in/hr)		
[Freque		A. Control Con	[Frequency]				
	7.1			•			
[1]			[10]	100.00	0.41		
	5.00,	1.16		120.00,	0.41		
	10.00,	0.89		180.00,	0.30		
	15.00,	0.73		360.00,	0.18		
	30.00,	0.49		720.00,	0.12		
	60.00,	0.31	F# #7	1440.00, 0.07			
	120.00,	0.20	[25]				
	180.00,	0.15		5.00,	3.42		
	360.00,	0.10		10.00,	2.60		
	720.00,	0.06		15.00,	2.15		
	1440.00, 0.04			30.00,	1.45		
[2]				60.00,	0.90		
	5.00,	1.49		120.00,	0.53		
	10.00,	1.13		180.00,	0.38		
	15.00 ,	0.94		360.00,	0.23		
	30.00,	0.63		720.00,	0.14		
	60.00 ,	0.39		1440.00, 0.09			
	120.00,	0.26	[50]				
	180.00,	0.19		5.00,	4.20		
	360.00,	0.12		10.00,	3.20		
	720.00,	0.08		15.00,	2.64		
	1440.00, 0.05			30.00,	1.78		
[5]				60.00,	1.10		
	5.00,	2.06		120.00,	0.63		
	10.00,	1.57		180.00,	0.44		
	15.00,	1.30		360.00,	0.26		
	30.00,	0.87		720.00,	0.16		
	60.00,	0.54		1440.00, 0.10			
	120.00,	0.34	[100]				
	180.00,	0.25		5.00,	5.08		
	360.00,	0.16		10.00,	3.86		
	720.00,	0.10		15.00,	3.19		
	1440.00, 0.06			30.00,	2.14		
[10]	,			60.00,	1.33		
[1	5.00,	2.58		120.00,	0.75		
	10.00,	1.96		180.00,	0.51		
	15.00,	1.62		360.00,	0.30		
	30.00,	1.09		720.00,	0.18		
	60.00,	0.67		1440.00, 0.11			
	30.00,			~ · · · · · · · · · · · · · · ·			

EXHIBIT "A"

KOINONIA DEVELOPMENT, LP MOUNTAIN VIEW TOWN HOMES

November 22, 2019

A parcel of land located within Section 9, Township 34 North, Range 55 East, M.D.B.& M., City of Elko, Elko County, Nevada, more particularly described as follows:

Commencing at the monument located at the intersection of North Fifth Street and Tasha Way as shown on the Parcel Map for North VII, a General Partnership, filed in the office of the Elko County Recorder, Elko, Nevada, as document number 416535; thence South 32°09'14" West, a distance of 40.00 feet to the most easterly corner of Parcel No. 1 as shown on said Parcel Map, being Corner No. 1, the True Point of Beginning;

thence South 32°09'14" West, along the southeast boundary and the extended southeast boundary of said Parcel No. 1, a distance of 125.00 feet to Corner No. 2;

thence North 57°50'46" West, a distance of 318.05 feet to Corner No. 3;

thence South 72°09'14" West, a distance of 97.91 feet to Corner No. 4;

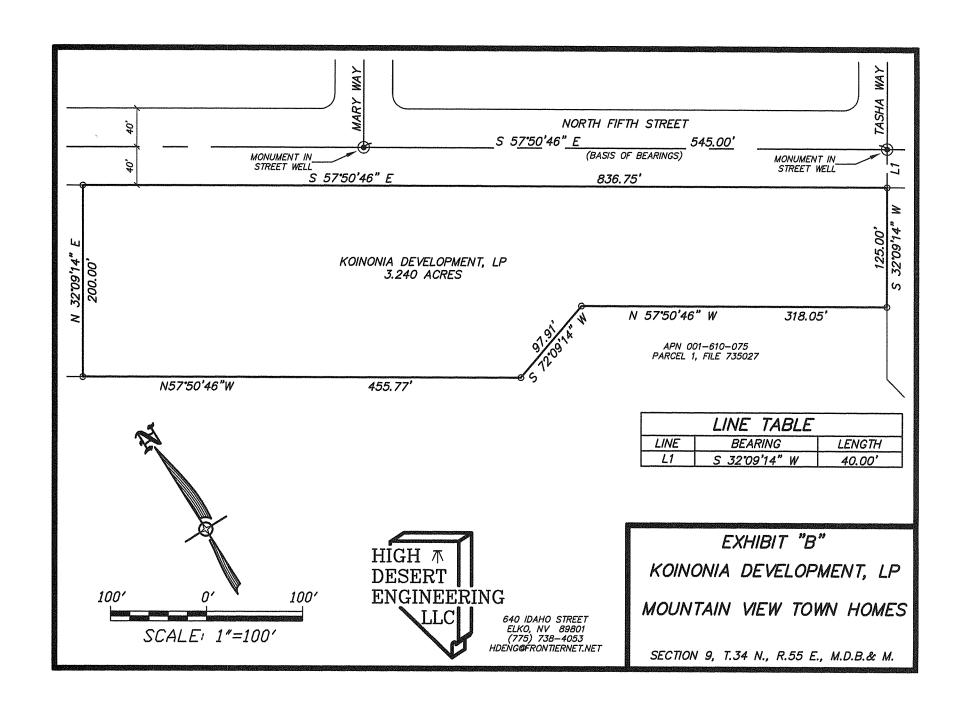
thence North 57°50'46" West, a distance of 455.77 feet to Corner No. 5, being the most westerly corner of Parcel No. 4 as shown on said Parcel Map;

thence North 32°09'14" East, along the northwest boundary of said Parcel No. 4, a distance of 200.00 feet to Corner No. 2, being the most northerly corner of said Parcel No. 4;

thence South 57°50'46" East, along the northeasterly boundaries of Parcels No. 4, No. 3, No. 2 and No. 1 as shown on said Parcel Map, a distance of 836.75 feet to Corner No. 1, the Point of Beginning.

Said parcel contains an area of 3,240 acres, more or less.

Reference is hereby made to Exhibit "B", Koinonia Development, LP Mountain View Town Homes, Section 9, T. 34 N., R.55 E., M.D.B.& M., attached hereto and made a part hereof. BALLEW BALLEW 12/31/2007 NO.5072



MOUNTAIN VIEW TOWN HOMES Lot Calculations

Parcel name: SUBDIVISION TOTAL

North: 28476288.570 East: 601555.800

Line Course: S 32-09-14 W Length: 125.00

North: 28476182.742 East: 601489.276

Line Course: N 57-50-46 W Length: 318.05

Line Course: S 72-09-14 W Length: 97.91

Line Course: N 57-50-46 W Length: 455.77

North: 28476564.560 East: 600740.944

Line Course: N 32-09-14 E Length: 200.00

North: 28476733.884 East: 600847.383

Line Course: S 57-50-46 E Length: 836.75

North: 28476288.570 East: 601555.794

Perimeter: 2033.47 Area: 141,136 S.F. 3.240 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.006 Course: S 89-33-24 W

Error North: -0.0000 East: -0.0063

Precision 1: 338,913.33

Parcel name: COMMON AREA

North: 28476288.570 East: 601555.800

Line Course: S 32-09-14 W Length: 125.00

North: 28476182.742 East: 601489.276

Line Course: N 57-50-46 W Length: 318.05

North: 28476352.007 East: 601220.008

Line Course: S 72-09-14 W Length: 97.91

North: 28476322.001 East: 601126.809

Line Course: N 57-50-46 W Length: 3.27

North: 28476323.742 East: 601124.040

Line Course: N 32-09-14 E Length: 75.00

North: 28476387.238 East: 601163.955

Line Course: N 57-50-46 W Length: 21.00

North: 28476398.414 East: 601146.176

Line Course: S 32-09-14 W Length: 15.00

North: 28476385.715 East: 601138.193

Line Course: N 57-50-46 W Length: 12.25

North: 28476392.235 East: 601127.822

Line Course: N 32-09-14 E Length: 15.00

North: 28476404.934 East: 601135.805

Line Course: N 57-50-46 W Length: 42.25

North: 28476427.419 East: 601100.035

Line Course: S 32-09-14 W Length: 15.00

North: 28476414.720 East: 601092.052

Line Course: N 57-50-46 W Length: 12.25

	North: 28476421.239		Fact		601081.681
Line	Course: N 32-09-14 E	Length:	East 15.00	•	001001.001
птие	North: 28476433.938	renden:	East	:	601089.664
Line	Course: N 57-50-46 W	Length:		•	001009.004
TITILO	North: 28476456.424	hengen.	East	:	601053.894
Line	Course: S 32-09-14 W	Length:		•	001033.034
111110	North: 28476443.724	Herry Cir.	East	:	601045.911
Line	Course: N 57-50-46 W	Length:		•	001040.011
1110	North: 28476450.244	nengen.	East	:	601035.540
Line	Course: N 32-09-14 E	Length:		•	001000.040
	North: 28476462.943	nong cm.	East	:	601043.523
Line	Course: N 57-50-46 W	Length:		•	0010101010
	North: 28476485.428		East	:	601007.753
Line	Course: S 32-09-14 W	Length:			
	North: 28476472.729	,	East	:	600999.770
Line	Course: N 57-50-46 W	Length:	12.25		•
	North: 28476479.248	3	East	:	600989.399
Line	Course: N 32-09-14 E	Length:	15.00		
	North: 28476491.948	-	East	:	600997.382
Line	Course: N 57-50-46 W	Length:	42.25		
	North: 28476514.433	_	East	:	600961.612
Line	Course: S 32-09-14 W	Length:	15.00		
	North: 28476501.734		East	:	600953.630
Line	Course: N 57-50-46 W	Length:	12.25		
	North: 28476508.253		East	:	600943.258
Line	Course: N 32-09-14 E	Length:	15.00		
	North: 28476520.952		East	:	600951.241
Line	Course: N 57-50-46 W	Length:	42.12		
	North: 28476543.368		East	:	600915.582
Line	Course: S 32-09-14 W	Length:	15.00		
	North: 28476530.669		East	:	600907.599
Line	Course: N 57-50-46 W	Length:	6.12		
	North: 28476533.926		East	:	600902.417
Line	Course: S 32-09-14 W	Length:			
	North: 28476483.129			:	600870.486
Line	Course: N 57-50-46 W	Length:	10.00		
	North: 28476488.451			:	600862.019
Line	Course: N 32-09-14 E	Length:	60.00		
'	North: 28476539.248			:	600893.951
Line	Course: N 57-50-46 W	Length:	6.13		
T 2	North: 28476542.510	T 13	East	:	600888.761
Line	Course: N 32-09-14 E	Length:	15.00		600006 744
Time	North: 28476555.210	T 1		:	600896.744
Line	Course: N 57-50-46 W	Length:	42.12		600061 005
Line	North: 28476577.626 Course: S 32-09-14 W	Tanath		:	600861.085
rrue		Length:	15.00		(00052 100
Line	North: 28476564.927 Course: N 57-50-46 W	Tonath	East	:	600853.102
птие	North: 28476571.446	Length:			600040 721
Line	Course: N 32-09-14 E	Length:	East 15.00	:	600842.731
nriie	North: 28476584.145	rendcu:	East		600850.713
Line	Course: N 57-50-46 W	Length:		:	600630.713
7111 <u>C</u>	North: 28476606.630	nenden:	East	:	600814.944
Line	Course: S 32-09-14 W	Length:		•	000014.544
	North: 28476593.931	menden:	East	:	600806.961
Line	Course: N 57-50-46 W	Length:		•	500000.90I
	North: 28476600.451		East	:	600796.590
				•	

Line	Course: N 32-09-14 E North: 28476613.150	Length:		:	600804.573
Line	Course: N 57-50-46 W North: 28476624.326	Length:	21.00		600786.794
Line	Course: S 32-09-14 W	Length:	75.00		
Line	North: 28476560.829 Course: N 57-50-46 W	Length:	7.00		600746.879
Line	North: 28476564.555 Course: N 32-09-14 E	Length:			600740.953
Line	North: 28476733.879 Course: S 57-50-46 E	Length:		:	600847.392
Line	North: 28476709.398 Course: S 32-09-14 W	Length:		:	600886.336
Line	North: 28476662.834 Course: S 57-50-46 E	Length:	East	:	600857.065
Line	North: 28476651.658 Course: N 32-09-14 E	-	East	:	600874.844
	North: 28476664.357	Length:	East	:	600882.827
Line	Course: S 57-50-46 E North: 28476657.838	Length:	East	:	600893.199
Line	Course: S 32-09-14 W North: 28476645.138	Length:		:	600885.216
Line	Course: S 57-50-46 E North: 28476622.653	Length:		:	600920.985
Line	Course: N 32-09-14 E North: 28476635.352	Length:	15.00 East	:	600928.968
Line	Course: S 57-50-46 E North: 28476628.833	Length:	12.25	:	
Line	Course: S 32-09-14 W	Length:	15.00		
Line	North: 28476616.134 Course: S 57-50-46 E	Length:	42.25	:	
Line	North: 28476593.649 Course: N 32-09-14 E	Length:	15.00		600967.126
Line	North: 28476606.348 Course: S 57-50-46 E	Length:	12.25		600975.109
Line	North: 28476599.828 Course: S 32-09-14 W	Length:		:	600985.480
Line	North: 28476587.129 Course: S 57-50-46 E	Length:		:	600977.497
Line	North: 28476564.644 Course: N 32-09-14 E	Length:		:	601013.267
Line	North: 28476577.343 Course: S 57-50-46 E	Length:	East 12.25	:	601021.250
	North: 28476570.824	_	East	:	601031.621
Line	Course: S 32-09-14 W North: 28476558.124	Length:	East	:	601023.638
Line	Course: S 57-50-46 E North: 28476535.639	Length:	42.25 East	:	601059.408
Line	Course: N 32-09-14 E North: 28476548.339	Length:	15.00 East	:	601067.391
Line	Course: S 57-50-46 E North: 28476541.819	Length:	12.25 East	:	601077.762
Line	Course: S 32-09-14 W North: 28476529.120	Length:		:	601069.779
Line	Course: S 57-50-46 E North: 28476506.635	Length:			
Line	Course: N 32-09-14 E	Length:		:	001100.043

	North: 28476519.334		East	:	601113.532
Line	Course: S 57-50-46 E	Length:	12.25		
	North: 28476512.815		East	:	601123.903
Line	Course: S 32-09-14 W	Length:			
	North: 28476500.115	,	East	:	601115.920
Line	Course: S 57-50-46 E	Length:			
	North: 28476477.630		East	:	601151.690
Line	Course: N 32-09-14 E	Length:		-	
2227	North: 28476490.329	20119 0111	East	•	601159.673
Line	Course: S 57-50-46 E	Length:		٠	001103.0.0
штис	North: 28476483.810	nengen.	East		601170.044
Line	Course: S 32-09-14 W	Length:		•	001170.044
HILL	North: 28476471.111	nengen.			601162.061
Line	Course: S 57-50-46 E	Length:		•	001102.001
птие	North: 28476448.625	hengen.			601197.831
Line	Course: N 32-09-14 E	Length:		•	001197.031
птие	North: 28476461.325	nengun.			601205.814
Line	Course: S 57-50-46 E	Length:		٠	001203.014
ттие		Length:			CO101C 10E
- 3	North: 28476454.805	T		:	601216.185
Line	Course: S 32-09-14 W	Length:			601000 000
- 1	North: 28476442.106			:	601208.202
Line	Course: S 57-50-46 E	Length:			
	North: 28476419.621	_		:	601243.972
Line	Course: N 32-09-14 E	Length:			
	North: 28476432.320			:	601251.954
Line	Course: S 57-50-46 E	Length:			
	North: 28476425.801			:	601262.326
Line	Course: S 32-09-14 W	Length:			
	North: 28476413.101			:	601254.343
Line	Course: S 57-50-46 E	Length:	42.25		
	North: 28476390.616		East	:	601290.112
Line	Course: N 32-09-14 E	Length:	15.00		
	North: 28476403.315		East	:	601298.095
Line	Course: S 57-50-46 E	Length:	12.25		
	North: 28476396.796		East	:	601308.466
Line	Course: S 32-09-14 W	Length:	15.00		
	North: 28476384.097	_	East	:	601300.484
Line	Course: S 57-50-46 E	Length:	42.25		
	North: 28476361.611	2		:	601336.253
Line	Course: N 32-09-14 E	Length:			
	North: 28476374.311	J		:	601344.236
Line	Course: S 57-50-46 E	Length:			
	North: 28476367.791	2		:	601354.607
Line	Course: S 32-09-14 W	Length:		-	
220	North: 28476355.092	Tong on.	East		601346.624
Line	Course: S 57-50-46 E	Length:		•	001010.021
	North: 28476332.607	moning ciri.			601382.394
Line	Course: N 32-09-14 E	Length:		•	001002.001
штис	North: 28476345.306	Heligeli.	East		601390.377
Line	Course: S 57-50-46 E	Length:		•	001030.077
TT11C	North: 28476338.787	nenden:	East		601400.748
Line	Course: S 32-09-14 W	Length:		٠	007400.140
TTITE	North: 28476326.087	nenden:			601392.765
Line		Length:		•	001392.703
TITILE	Course: S 57-50-46 E	Tenden:			601420 525
Timo	North: 28476303.602	Tongth:		•	601428.535
Line	Course: N 32-09-14 E	Length:			CO143C E10
	North: 28476316.302		East	:	601436.518

Line Course: S 57-50-46 E Length: 12.25 North: 28476309.782 East: 601446.889 Line Course: S 32-09-14 W Length: 15.00 North: 28476297.083 East: 601438.906 Line Course: S 57-50-46 E Length: 42.25 North: 28476274.598 East: 601474.676 Line Course: N 32-09-14 E Length: 15.00 North: 28476287.297 East: 601482.659 Line Course: S 57-50-46 E Length: 12.25 North: 28476280.777 East: 601493.030 Line Course: S 32-09-14 W Length: 15.00 North: 28476268.078 East: 601485.047 Line Course: S 57-50-46 E Length: 21.00 Line Course: N 32-09-14 E Length: 55.00 North: 28476303.466 East: 601532.097 Line Course: S 57-50-46 E Length: 28.00 North: 28476288.565 East: 601555.802 Perimeter: 3073.47 Area: 70,565 S.F. 1.620 ACRES Mapcheck Closure - (Uses listed courses, radii, and deltas) Error Closure: 0.006 Course: S 21-40-10 E Error North: -0.0054 East: 0.0021 Precision 1: 512,245.00 Parcel name: LOT 1 Line Course: S 32-09-14 W Length: 55.00 Line Course: N 57-50-46 W Length: 21.00 North: 28476268.084 East: 601485.045 Line Course: N 32-09-14 E Length: 15.00 North: 28476280.783 East : 601493.028 Line Course: N 57-50-46 W Length: 6.13 Line Course: N 32-09-14 E Length: 40.00 North: 28476317.910 East: 601509.126 Line Course: S 57-50-46 E Length: 27.12 Perimeter: 164.25 Area: 1,400 S.F. 0.032 ACRES Mapcheck Closure - (Uses listed courses, radii, and deltas) Error Closure: 0.010 Course: N 57-50-46 W Error North: 0.0053 East: -0.0085 East : -0.0085 Precision 1: 16,425.00

Line Course: S 32-09-14 W Length: 40.00

North: 28476284.043 East: 601487.842

Line Course: N 57-50-46 W Length: 6.12

North: 28476287.300 East: 601482.661

Line Course: S 32-09-14 W Length: 15.00

North: 28476274.600 East: 601474.678

Line Course: N 57-50-46 W Length: 21.13

North: 28476285.846 East: 601456.789

Line Course: N 32-09-14 E Length: 55.00

North: 28476332.410 East: 601486.060

Line Course: S 57-50-46 E Length: 27.25

North: 28476317.907 East: 601509.130

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000 Error North: -0.0000

East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 3

Line Course: S 32-09-14 W Length: 55.00

North: 28476285.846 East: 601456.789

Line Course: N 57-50-46 W Length: 21.13

North: 28476297.091 East: 601438.900

Line Course: N 32-09-14 E Length: 15.00

North: 28476309.790 East: 601446.883

Line Course: N 57-50-46 W Length: 6.13

North: 28476313.053 East: 601441.693

Line Course: N 32-09-14 E Length: 40.00

North: 28476346.917 East : 601462.981

Line Course: S 57-50-46 E Length: 27.25

North: 28476332.415 East: 601486.051

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: N 57-50-46 W Error Closure: 0.010

Error North: 0.0053 East: -0.0085

Precision 1: 16,451.00

Line Course: S 32-09-14 W Length: 40.00

North: 28476313.047 East: 601441.702

Line Course: N 57-50-46 W Length: 6.12

North: 28476316.304 East: 601436.520

Line Course: S 32-09-14 W Length: 15.00

North: 28476303.605 East: 601428.537

Line Course: N 57-50-46 W Length: 21.13

North: 28476314.850 East: 601410.648

Line Course: N 32-09-14 E Length: 55.00

North: 28476361.414 East: 601439.919

Line Course: S 57-50-46 E Length: 27.25

North: 28476346.912 East: 601462.989

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000 Error North: -0.0000

East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 5

North: 28476361.415 East: 601439.919

Line Course: S 32-09-14 W Length: 55.00

North: 28476314.850 East: 601410.648

Line Course: N 57-50-46 W Length: 21.13

North: 28476326.096 East: 601392.759

Line Course: N 32-09-14 E Length: 15.00

North: 28476338.795 East: 601400.742

Line Course: N 57-50-46 W Length: 6.13

North: 28476342.057 East: 601395.552

Line Course: N 32-09-14 E Length: 40.00

North: 28476375.922 East: 601416.840

Line Course: S 57-50-46 E Length: 27.25

North: 28476361.420 East: 601439.910

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East : -0.0085

Precision 1: 16,451.00

Line Course: S 32-09-14 W Length: 40.00

North: 28476342.052 East: 601395.561

Line Course: N 57-50-46 W Length: 6.12

North: 28476345.309 East: 601390.379

Line Course: S 32-09-14 W Length: 15.00

North: 28476332.610 East: 601382.396

Line Course: N 57-50-46 W Length: 21.13

North: 28476343.855 East: 601364.507

Line Course: N 32-09-14 E Length: 55.00

North: 28476390.419 East: 601393.778

Line Course: S 57-50-46 E Length: 27.25

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 01-47-24 E

Error North: -0.0000 East: 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 7

North: 28476390.419 East: 601393.778

Line Course: S 32-09-14 W Length: 55.00

North: 28476343.855 East: 601364.507

Line Course: N 57-50-46 W Length: 21.13

North: 28476355.100 East: 601346.618

Line Course: N 32-09-14 E Length: 15.00

North: 28476367.800 East: 601354.601

Line Course: N 57-50-46 W Length: 6.13

North: 28476371.062 East: 601349.411

Line Course: N 32-09-14 E Length: 40.00

North: 28476404.927 East: 601370.699

Line Course: S 57-50-46 E Length: 27.25

North: 28476390.425 East: 601393.770

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 16,451.00

North: 28476404.922 East: 601370.708

Line Course: S 32-09-14 W Length: 40.00

North: 28476371.057 East: 601349.420

Line Course: N 57-50-46 W Length: 6.12

North: 28476374.314 East: 601344.238

Line Course: S 32-09-14 W Length: 15.00

North: 28476361.614 East: 601336.256

Line Course: N 57-50-46 W Length: 21.13

North: 28476372.860 East : 601318.366

Line Course: N 32-09-14 E Length: 55.00

North: 28476419.424 East: 601347.637

Line Course: S 57-50-46 E Length: 27.25

North: 28476404.922 East: 601370.708

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000

Error North: -0.0000 East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 9

North: 28476419.424 East: 601347.637

Line Course: S 32-09-14 W Length: 55.00

North: 28476372.860 East: 601318.366

Line Course: N 57-50-46 W Length: 21.13

North: 28476384.105 East: 601300.477

Line Course: N 32-09-14 E Length: 15.00

North: 28476396.804 East: 601308.460

Line Course: N 57-50-46 W Length: 6.13

East: 601303.270 North: 28476400.067

Line Course: N 32-09-14 E Length: 40.00

North: 28476433.932 East: 601324.558

Line Course: S 57-50-46 E Length: 27.25

North: 28476419.429 East: 601347.629

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East : -0.0085

Precision 1: 16,451.00

North: 28476433.926 East: 601324.567

Line Course: S 32-09-14 W Length: 40.00

North: 28476400.061 East: 601303.279

Line Course: N 57-50-46 W Length: 6.12

North: 28476403.318 East: 601298.098

Line Course: S 32-09-14 W Length: 15.00

Line Course: N 57-50-46 W Length: 21.13

North: 28476401.864 East: 601272.226

Line Course: N 32-09-14 E Length: 55.00

North: 28476448.429 East: 601301.496

Line Course: S 57-50-46 E Length: 27.25

North: 28476433.926 East: 601324.567

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas) Course: S 01-47-24 E

Error Closure: 0.000

Error North: -0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 11

North: 28476448.429 East: 601301.496

Line Course: S 32-09-14 W Length: 55.00

North: 28476401.864 East: 601272.226

Line Course: N 57-50-46 W Length: 21.13

North: 28476413.110 East: 601254.337

Line Course: N 32-09-14 E Length: 15.00

North: 28476425.809 East : 601262.319

Line Course: N 57-50-46 W Length: 6.13

East: 601257.130 North: 28476429.071

Line Course: N 32-09-14 E Length: 40.00

North: 28476462.936 East: 601278.417

Line Course: S 57-50-46 E Length: 27.25

North: 28476448.434 East: 601301.488

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W Error North: 0.0053 East: -0.0085

Line Course: S 32-09-14 W Length: 40.00

North: 28476429.066 East: 601257.138

Line Course: N 57-50-46 W Length: 6.12

North: 28476432.323 East : 601251.957

Line Course: S 32-09-14 W Length: 15.00

North: 28476419.624 East: 601243.974

Line Course: N 57-50-46 W Length: 21.13

North: 28476430.869 East : 601226.085

Line Course: N 32-09-14 E Length: 55.00

North: 28476477.433 East: 601255.355

Line Course: S 57-50-46 E Length: 27.25

North: 28476462.931 East: 601278.426

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas) Course: S 01-47-24 E

Error Closure: 0.000

Error North: -0.0000 East: 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 13

North: 28476477.433 East: 601255.356

Line Course: S 32-09-14 W Length: 55.00

North: 28476430.869 East : 601226.085

Line Course: N 57-50-46 W Length: 21.13

North: 28476442.114 East: 601208.196

Line Course: N 32-09-14 E Length: 15.00

North: 28476454.814 East : 601216.179

Line Course: N 57-50-46 W Length: 6.13

North: 28476458.076 East : 601210.989

Line Course: N 32-09-14 E Length: 40.00

North: 28476491.941 East: 601232.277

Line Course: S 57-50-46 E Length: 27.25

North: 28476477.439 East: 601255.347

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East : -0.0085

Line Course: S 32-09-14 W Length: 40.00

North: 28476458.071 East: 601210.997

Line Course: N 57-50-46 W Length: 6.12

North: 28476461.328 East: 601205.816

Line Course: S 32-09-14 W Length: 15.00

North: 28476448.628 East: 601197.833

Line Course: N 57-50-46 W Length: 21.13

North: 28476459.874 East: 601179.944

Line Course: N 32-09-14 E Length: 55.00

North: 28476506.438 East: 601209.215

Line Course: S 57-50-46 E Length: 27.25

North: 28476491.936 East: 601232.285

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000 Error North: -0.0000

East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 15

Line Course: S 32-09-14 W Length: 55.00

North: 28476459.874 East: 601179.944

Line Course: N 57-50-46 W Length: 21.13

North: 28476471.119 East: 601162.055

Line Course: N 32-09-14 E Length: 15.00

North: 28476483.818 East: 601170.038

Line Course: N 57-50-46 W Length: 6.13

North: 28476487.081 East : 601164.848

Line Course: N 32-09-14 E Length: 40.00

North: 28476520.946 East: 601186.136

Line Course: S 57-50-46 E Length: 27.25

North: 28476506.443 East: 601209.206

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W Error North: 0.0053 East: -0.0085

Error North: 0.0053 East : -0.0085

North: 28476520.940 East: 601186.144

Line Course: S 32-09-14 W Length: 40.00

North: 28476487.075 East: 601164.856

Line Course: N 57-50-46 W Length: 6.12

North: 28476490.333 East: 601159.675

Line Course: S 32-09-14 W Length: 15.00

North: 28476477.633 East: 601151.692

Line Course: N 57-50-46 W Length: 21.13

Line Course: N 32-09-14 E Length: 55.00

Line Course: S 57-50-46 E Length: 27.25

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 01-47-24 E

Error North: -0.0000 East: 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 17

North: 28476535.443 East: 601163.074

Line Course: S 32-09-14 W Length: 55.00

Line Course: N 57-50-46 W Length: 21.13

North: 28476500.124 East: 601115.914

Line Course: N 32-09-14 E Length: 15.00

North: 28476512.823 East: 601123.897

Line Course: N 57-50-46 W Length: 6.12

North: 28476516.080 East: 601118.716

Line Course: N 32-09-14 E Length: 40.00

North: 28476549.945 East: 601140.003

Line Course: S 57-50-46 E Length: 27.25

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 01-47-24 E

Precision 1: 164,500,000.00

North: 28476549.945 East: 601140.003

Line Course: S 32-09-14 W Length: 40.00

North: 28476516.080 East: 601118.716

Line Course: N 57-50-46 W Length: 6.13

North: 28476519.343 East: 601113.526

Line Course: S 32-09-14 W Length: 15.00

North: 28476506.643 East: 601105.543

Line Course: N 57-50-46 W Length: 21.13

North: 28476517.888 East: 601087.654

Line Course: N 32-09-14 E Length: 55.00

North: 28476564.453 East: 601116.924

Line Course: S 57-50-46 E Length: 27.25

North: 28476549.950 East: 601139.995

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 16,451.00

Parcel name: LOT 19

North: 28476564.447 East: 601116.933

Line Course: S 32-09-14 W Length: 55.00

Line Course: N 57-50-46 W Length: 21.13

North: 28476529.128 East: 601069.773

Line Course: N 32-09-14 E Length: 15.00

North: 28476541.828 East: 601077.756

Line Course: N 57-50-46 W Length: 6.13

North: 28476545.090 East: 601072.566

Line Course: N 32-09-14 E Length: 40.00

North: 28476578.955 East: 601093.854

Line Course: S 57-50-46 E Length: 27.25

North: 28476564.453 East: 601116.925

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 16,451.00

North: 28476578.950 East: 601093.863

Line Course: S 32-09-14 W Length: 40.00

North: 28476545.085 East: 601072.575

Line Course: N 57-50-46 W Length: 6.12

North: 28476548.342 East: 601067.393

Line Course: S 32-09-14 W Length: 15.00

North: 28476535.643 East: 601059.410

Line Course: N 57-50-46 W Length: 21.13

North: 28476546.888 East: 601041.521

Line Course: N 32-09-14 E Length: 55.00

North: 28476593.452 East: 601070.792

Line Course: S 57-50-46 E Length: 27.25

North: 28476578.950 East: 601093.863

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000

East : 0.0000 Error North: -0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 21

North: 28476593.452 East: 601070.792

Line Course: S 32-09-14 W Length: 55.00

East: 601041.521 North: 28476546.888

Line Course: N 57-50-46 W Length: 21.13

North: 28476558.133 East: 601023.632

Line Course: N 32-09-14 E Length: 15.00

East: 601031.615 North: 28476570.832

Line Course: N 57-50-46 W Length: 6.13

East: 601026.425 North: 28476574.095

Line Course: N 32-09-14 E Length: 40.00

North: 28476607.960 East: 601047.713

Line Course: S 57-50-46 E Length: 27.25

North: 28476593.457 East: 601070.784

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W Error North: 0.0053 East: -0.0085

East : -0.0085

North: 28476607.954 East: 601047.722

Line Course: S 32-09-14 W Length: 40.00

North: 28476574.090 East: 601026.434

Line Course: N 57-50-46 W Length: 6.12

North: 28476577.347 East: 601021.253

Line Course: S 32-09-14 W Length: 15.00

North: 28476564.647 East: 601013.270

Line Course: N 57-50-46 W Length: 21.13

North: 28476575.893 East: 600995.381

Line Course: N 32-09-14 E Length: 55.00

North: 28476622.457 East: 601024.651

Line Course: S 57-50-46 E Length: 27.25

North: 28476607.954 East: 601047.722

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas) Error North: -0.0000 Course: S 01-47-24 E

Error Closure: 0.000

Precision 1: 164,500,000.00

Parcel name: LOT 23

Line Course: S 32-09-14 W Length: 55.00

North: 28476575.893 East : 600995.381

Line Course: N 57-50-46 W Length: 21.13

East : 600977.491 North: 28476587.138

Line Course: N 32-09-14 E Length: 15.00

North: 28476599.837 East: 600985.474

Line Course: N 57-50-46 W Length: 6.13

East: 600980.285 North: 28476603.100

Line Course: N 32-09-14 E Length: 40.00

North: 28476636.964 East: 601001.572

Line Course: S 57-50-46 E Length: 27.25

North: 28476622.462 East: 601024.643

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East : -0.0085

Precision 1: 16,451.00

North: 28476636.959 East: 601001.581

Line Course: S 32-09-14 W Length: 40.00

North: 28476603.094 East: 600980.293

Line Course: N 57-50-46 W Length: 6.12

North: 28476606.351 East: 600975.112

Line Course: S 32-09-14 W Length: 15.00

North: 28476593.652 East: 600967.129

Line Course: N 57-50-46 W Length: 21.13

North: 28476604.897 East: 600949.240

Line Course: N 32-09-14 E Length: 55.00

North: 28476651.461 East: 600978.510

Line Course: S 57-50-46 E Length: 27.25

North: 28476636.959 East: 601001.581

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000

Error North: -0.0000 East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 25

Line Course: S 32-09-14 W Length: 55.00

North: 28476604.897 East: 600949.240

Line Course: N 57-50-46 W Length: 21.13

North: 28476616.143 East: 600931.351

Line Course: N 32-09-14 E Length: 15.00

North: 28476628.842 East: 600939.334

Line Course: N 57-50-46 W Length: 6.13

North: 28476632.104 East: 600934.144

Line Course: N 32-09-14 E Length: 40.00

North: 28476665.969 East: 600955.432

Line Course: S 57-50-46 E Length: 27.25

North: 28476651.467 East : 600978.502

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East : -0.0085

Line Course: S 32-09-14 W Length: 40.00

North: 28476632.099 East: 600934.152

Line Course: N 57-50-46 W Length: 6.12

East: 600928.971 North: 28476635.356

Line Course: S 32-09-14 W Length: 15.00

East: 600920.988 North: 28476622.657

Line Course: N 57-50-46 W Length: 21.13

North: 28476633.902 East: 600903.099

Line Course: N 32-09-14 E Length: 55.00

North: 28476680.466 East: 600932.370

Line Course: S 57-50-46 E Length: 27.25

North: 28476665.964 East: 600955.440

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 01-47-24 E Error Closure: 0.000

Error North: -0.0000 East : 0.0000

Precision 1: 164,500,000.00

Parcel name: LOT 27

North: 28476680.466 East: 600932.370

Line Course: S 32-09-14 W Length: 55.00

North: 28476633.902 East: 600903.099

Line Course: N 57-50-46 W Length: 21.13

North: 28476645.147 East: 600885.210

Line Course: N 32-09-14 E Length: 15.00

North: 28476657.847 East: 600893.193

Line Course: N 57-50-46 W Length: 6.12

North: 28476661.104 East : 600888.011

Line Course: N 32-09-14 E Length: 40.00

North: 28476694.968 East: 600909.299

Line Course: S 57-50-46 E Length: 27.25

North: 28476680.466 East: 600932.370

Perimeter: 164.50 Area: 1,407 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

error Closure: 0.000 Course: S 01-47-24 E
Error North: -0.0000 East: 0.0000 Error Closure: 0.000

Precision 1: 164,500,000.00

North: 28476694.969 East: 600909.299

Line Course: S 32-09-14 W Length: 40.00

North: 28476661.104 East: 600888.011

Line Course: N 57-50-46 W Length: 6.12

East: 600882.830 North: 28476664.361

Line Course: S 32-09-14 W Length: 15.00

North: 28476651.661 East: 600874.847

Line Course: N 57-50-46 W Length: 21.00

Line Course: N 32-09-14 E Length: 55.00

East: 600886.339 North: 28476709.402

Line Course: S 57-50-46 E Length: 27.12

North: 28476694.969 East: 600909.299

Perimeter: 164.25 Area: 1,400 S.F. 0.032 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 90-00-00 E Error Closure: 0.000

East : 0.0000 Error North: 0.0000

Precision 1: 164,240,000.00

Parcel name: LOT 29

East : 601124.047 North: 28476323.742

Line Course: N 57-50-46 W Length: 27.13

North: 28476338.181 East : 601101.078

Line Course: N 32-09-14 E Length: 60.00

North: 28476388.978 East: 601133.010

Line Course: S 57-50-46 E Length: 6.12

North: 28476385.721 East: 601138.191

Line Course: N 32-09-14 E Length: 15.00

North: 28476398.420 East: 601146.174

Line Course: S 57-50-46 E Length: 21.00

North: 28476387.244 East: 601163.953

Line Course: S 32-09-14 W Length: 75.00

North: 28476323.748 East : 601124.038

Perimeter: 204.25 Area: 1,943 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: N 57-50-46 W Error Closure: 0.010

Error North: 0.0053 East: -0.0085

Precision 1: 20,425.00

North: 28476338.178 East: 601101.082

Line Course: N 57-50-46 W Length: 27.25

North: 28476352.680 East: 601078.012

Line Course: N 32-09-14 E Length: 75.00

North: 28476416.177 East: 601117.926

Line Course: S 57-50-46 E Length: 21.12

North: 28476404.937 East: 601135.807

Line Course: S 32-09-14 W Length: 15.00

Line Course: S 57-50-46 E Length: 6.13

North: 28476388.975 East: 601133.014

Line Course: S 32-09-14 W Length: 60.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 204,500,000.00

Parcel name: LOT 31

North: 28476352.681 East: 601078.012

Line Course: N 57-50-46 W Length: 27.25

North: 28476367.183 East: 601054.941

Line Course: N 32-09-14 E Length: 60.00

North: 28476417.980 East: 601086.873

Line Course: S 57-50-46 E Length: 6.12

North: 28476414.723 East: 601092.054

Line Course: N 32-09-14 E Length: 15.00

North: 28476427.422 East: 601100.037

Line Course: S 57-50-46 E Length: 21.13

North: 28476416.177 East: 601117.926

Line Course: S 32-09-14 W Length: 75.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 01-47-24 W

Error North: 0.0000 East: -0.0000

Precision 1: 204,500,000.00

North: 28476367.183 East: 601054.941

Line Course: N 57-50-46 W Length: 27.25

North: 28476381.685 East: 601031.871

Line Course: N 32-09-14 E Length: 75.00

North: 28476445.182 East: 601071.786

Line Course: S 57-50-46 E Length: 21.12

East : 601089.666 North: 28476433.942

Line Course: S 32-09-14 W Length: 15.00

North: 28476421.243 East : 601081.683

Line Course: S 57-50-46 E Length: 6.13

East: 601086.873 North: 28476417.980

Line Course: S 32-09-14 W Length: 60.00

North: 28476367.183 East: 601054.941

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 90-00-00 E Error Closure: 0.000

East : 0.0000 Error North: 0.0000

Precision 1: 204,500,000.00

Parcel name: LOT 33

East : 601031.871 North: 28476381.685

Line Course: N 57-50-46 W Length: 27.25

North: 28476396.188 East: 601008.800

Line Course: N 32-09-14 E Length: 60.00

East : 601040.732 North: 28476446.985

Line Course: S 57-50-46 E Length: 6.12

East: 601045.913 North: 28476443.728

Line Course: N 32-09-14 E Length: 15.00

North: 28476456.427 East : 601053.896

Line Course: S 57-50-46 E Length: 21.13

East: 601071.786 North: 28476445.182

Line Course: S 32-09-14 W Length: 75.00

North: 28476381.685 East: 601031.871

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas) Course: N 01-47-24 W

Error Closure: 0.000

Error North: 0.0000

Precision 1: 204,500,000.00

North: 28476396.188 East: 601008.800

Line Course: N 57-50-46 W Length: 27.25

North: 28476410.690 East: 600985.730

Line Course: N 32-09-14 E Length: 75.00

North: 28476474.187 East: 601025.645

Line Course: S 57-50-46 E Length: 21.12

North: 28476462.947 East: 601043.525

Line Course: S 32-09-14 W Length: 15.00

North: 28476450.247 East: 601035.542

Line Course: S 57-50-46 E Length: 6.13

Line Course: S 32-09-14 W Length: 60.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East : 0.0000

Precision 1: 204,500,000.00

Parcel name: LOT 35

East: 600985.730 North: 28476410.690

Line Course: N 57-50-46 W Length: 27.25

North: 28476425.192 East: 600962.660

Line Course: N 32-09-14 E Length: 60.00

North: 28476475.990 East : 600994.591

Line Course: S 57-50-46 E Length: 6.12

North: 28476472.733 East: 600999.773

Line Course: N 32-09-14 E Length: 15.00

North: 28476485.432 East : 601007.756

Line Course: S 57-50-46 E Length: 21.13

North: 28476474.187 East: 601025.645

Line Course: S 32-09-14 W Length: 75.00

North: 28476410.690 East: 600985.730

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 01-47-24 W Error North: 0.0000 East: -0.0000

Precision 1: 204,500,000.00

North: 28476425.192 East: 600962.660

Line Course: N 57-50-46 W Length: 27.25

North: 28476439.695 East: 600939.589

Line Course: N 32-09-14 E Length: 75.00

Line Course: S 57-50-46 E Length: 21.12

North: 28476491.951 East: 600997.384

Line Course: S 32-09-14 W Length: 15.00

North: 28476479.252 East: 600989.402

Line Course: S 57-50-46 E Length: 6.13

North: 28476475.990 East: 600994.591

Line Course: S 32-09-14 W Length: 60.00

North: 28476425.192 East: 600962.660

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Precision 1: 204,500,000.00

Parcel name: LOT 37

North: 28476439.695 East: 600939.589

Line Course: N 57-50-46 W Length: 27.25

North: 28476454.197 East: 600916.519

Line Course: N 32-09-14 E Length: 60.00

Line Course: S 57-50-46 E Length: 6.12

North: 28476501.737 East: 600953.632

Line Course: N 32-09-14 E Length: 15.00

North: 28476514.437 East: 600961.615

Line Course: S 57-50-46 E Length: 21.13

North: 28476503.191 East: 600979.504

Line Course: S 32-09-14 W Length: 75.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 01-47-24 W

Error North: 0.0000 East: -0.0000

Precision 1: 204,500,000.00

Line Course: N 57-50-46 W Length: 27.25

East: 600893.448 North: 28476468.699

Line Course: N 32-09-14 E Length: 75.00

North: 28476532.196 East: 600933.363

Line Course: S 57-50-46 E Length: 21.12

North: 28476520.956 East : 600951.244

Line Course: S 32-09-14 W Length: 15.00

East : 600943.261 North: 28476508.257

Line Course: S 57-50-46 E Length: 6.13

East : 600948.450 North: 28476504.994

Line Course: S 32-09-14 W Length: 60.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 90-00-00 E Error Closure: 0.000

Error North: 0.0000 East: 0.0000

Precision 1: 204,500,000.00

Parcel name: LOT 39

East : 600893.448 North: 28476468.699

Line Course: N 57-50-46 W Length: 27.13

North: 28476483.138 East: 600870.480

Line Course: N 32-09-14 E Length: 60.00

North: 28476533.935 East : 600902.411

Line Course: S 57-50-46 E Length: 6.12

North: 28476530.678 East: 600907.593

Line Course: N 32-09-14 E Length: 15.00

North: 28476543.377 East : 600915.575

Line Course: S 57-50-46 E Length: 21.00

East : 600933.355 North: 28476532.201

Line Course: S 32-09-14 W Length: 75.00

North: 28476468.705 East : 600893.440

Perimeter: 204.25 Area: 1,943 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas) Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 20,425.00

North: 28476488.457 East: 600862.018

Line Course: N 57-50-46 W Length: 27.12

North: 28476502.890 East: 600839.057

Line Course: N 32-09-14 E Length: 75.00

North: 28476566.387 East: 600878.972

Line Course: S 57-50-46 E Length: 21.00

North: 28476555.211 East: 600896.751

Line Course: S 32-09-14 W Length: 15.00

Line Course: S 57-50-46 E Length: 6.13

Line Course: S 32-09-14 W Length: 60.00

North: 28476488.452 East: 600862.026

Perimeter: 204.25 Area: 1,942 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: S 57-50-46 E

Error North: -0.0053 East: 0.0085

Precision 1: 20,425.00

Parcel name: LOT 41

North: 28476502.893 East: 600839.053

Line Course: N 57-50-46 W Length: 27.25

North: 28476517.395 East: 600815.983

Line Course: N 32-09-14 E Length: 60.00

North: 28476568.193 East: 600847.914

Line Course: S 57-50-46 E Length: 6.12

North: 28476564.935 East: 600853.096

Line Course: N 32-09-14 E Length: 15.00

North: 28476577.635 East: 600861.078

Line Course: S 57-50-46 E Length: 21.12

North: 28476566.395 East: 600878.959

Line Course: S 32-09-14 W Length: 75.00

North: 28476502.898 East: 600839.045

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 20,449.00

North: 28476517.395 East: 600815.983

Line Course: N 57-50-46 W Length: 27.25

North: 28476531.898 East: 600792.912

Line Course: N 32-09-14 E Length: 75.00

North: 28476595.394 East: 600832.827

Line Course: S 57-50-46 E Length: 21.12

North: 28476584.154 East: 600850.707

Line Course: S 32-09-14 W Length: 15.00

North: 28476571.455 East: 600842.724

Line Course: S 57-50-46 E Length: 6.12

North: 28476568.198 East: 600847.906

Line Course: S 32-09-14 W Length: 60.00

North: 28476517.401 East: 600815.974

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 20,449.00

Parcel name: LOT 43

North: 28476531.898 East: 600792.912

Line Course: N 57-50-46 W Length: 27.25

North: 28476546.400 East: 600769.842

Line Course: N 32-09-14 E Length: 60.00

North: 28476597.197 East: 600801.773

Line Course: S 57-50-46 E Length: 6.12

North: 28476593.940 East: 600806.955

Line Course: N 32-09-14 E Length: 15.00

North: 28476606.640 East: 600814.938

Line Course: S 57-50-46 E Length: 21.12

North: 28476595.400 East: 600832.818

Line Course: S 32-09-14 W Length: 75.00

Perimeter: 204.50 Area: 1,952 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.010 Course: N 57-50-46 W

Error North: 0.0053 East: -0.0085

Precision 1: 20,449.00

North: 28476546.400 East: 600769.842

Line Course: N 57-50-46 W Length: 27.13

North: 28476560.838 East: 600746.873

Line Course: N 32-09-14 E Length: 75.00

North: 28476624.335 East: 600786.787

Line Course: S 57-50-46 E Length: 21.00

North: 28476613.159 East: 600804.567

Line Course: S 32-09-14 W Length: 15.00

North: 28476600.460 East: 600796.584

Line Course: S 57-50-46 E Length: 6.13

Line Course: S 32-09-14 W Length: 60.00

North: 28476546.400 East: 600769.842

Perimeter: 204.25 Area: 1,942 S.F. 0.045 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Precision 1: 204,260,000.00

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FOR

MOUNTAIN VIEW TOWN HOMES A TOWNHOUSE SUBDIVISION

ELKO, NEVADA

PREPARED FOR:

Koinonia Development, LP 230 Elko Vista Drive Elko, Nevada 89801

> Contact: Luke Fitzgerald (775) 303-8492



PREPARED BY

HIGH DESERT Engineering 640 Idaho Street Elko, Nevada

November, 2019



MOUNTAIN VIEW TOWN HOMES A TOWNHOUSE SUBDIVISION

ELKO, NEVADA

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Project Layout	1
Water System Design Criteria	1
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Sanitary Sewer System Design Criteria	2
Determination of Project Sanitary Sewer System Demands	3

FIGURES

Figure 1: Vicinity Map

Figure 2: Mountain View Town Homes, Tentative Map – Lot Layout

MOUNTAIN VIEW TOWN HOMES ELKO, NEVADA

INTRODUCTION:

This report describes the water and sanitary sewer projects associated with the development of a 44 unit townhouse subdivision in Elko, Nevada. It provides the basis for the water and sanitary sewer designs and provides the data and other pertinent information for the project. This development will be served by the City of Elko Water and Sanitary Sewer Systems.

PROJECT LOCATION:

The proposed subdivision is to be located in the SE1/4 of Section 9, Township 34 North, Range 55 East, M.D.B.& M. The subdivision contains a total of 3.240 acres which will be developed into 44 single family residential townhouse lots.

Figure 1 is a vicinity map showing the location of the proposed subdivision within the City of Elko.

PROJECT LAYOUT::

Layout of the proposed subdivision is shown in the attached drawing entitled "Mountain View Town Homes, a Townhouse Subdivision, Tentative Map – Lot Layout".

WATER SYSTEM DESIGN CRITERIA:

Water system design criteria for this project is as follows:

Existing Water Tanks: The existing water tanks serving this project consist of three (3) 3MG water tanks with base elevations of 5400 feet above mean sea level. These tanks are 32 feet high with a high water level of 30.5 feet above the base. The Public Utilities Director for the City of Elko requires that system design for this project be based on the water level in the tank being at the base elevation of the tanks, leaving the full capacity in the tank for system operations.

<u>Proposed Water Mains:</u> New water mains shall be pressure class 235 PVC or pressure class 350 ductile iron.

<u>Proposed Water Services</u>: New water service lines shall be 200 psi polyethylene, iron pipe size.

<u>Fire Hydrants:</u> New fire hydrants shall be Mueller Super Centurion w/ 5-1/4" valve opening and Storz pumper nozzle fitting.

Valves and Fittings: Valves and fittings to be Mueller, as approved by the City of Elko.

<u>Polyethylene Wrap:</u> All ductile and cast iron valves and fittings to be double wrapped with 8 mil polyethylene wrap.

Minimum Cover: Minimum cover for all water lines shall be 42".

System Demands: System demands for this project, in accordance with City of Elko criteria, are as follows:

Average Day Demand:

Max Day Demand:

Peak Hour Demand:

2.5 x Average Day Demand

1.2 x Max Day Demand

1.50 gpm per residence

1.50 gpm per residence

Residential Fire Flow: 1,500 gpm for 2 hour duration

<u>System Velocities</u>: Pipe velocities, under non fire flow conditions, should be limited to a maximum of 5.0 fps.

DETERMINATION OF PROJECT WATER SYSTEM DEMANDS:

Project demands on the system are estimated as follows:

Average Day Demand: 0.50 gpm 44 residential units 22.00 gpm Max Day Demand: 1.25 gpm 44 residential units 55.00 gpm Peak Hour Demand: 1.50 gpm 44 residential units 66.00 gpm

SANITARY SEWER SYSTEM DESIGN CRITERIA:

<u>Existing Treatment Plant:</u> The existing wastewater treatment plant, +operated by the City of Elko, will receive and treat the sewage from this development.

<u>Proposed Sanitary Sewer Mains and Services:</u> New sanitary sewer mains and service lines shall be SDR-35 PVC.

<u>Proposed Sanitary Sewer Manholes:</u> New sanitary sewer manholes shall be 48" diameter, meeting City of Elko requirements.

DETERMINATION OF PROJECT SANITARY SEWER SYSTEM DEMANDS:

Project demands on the system are estimated as follows:

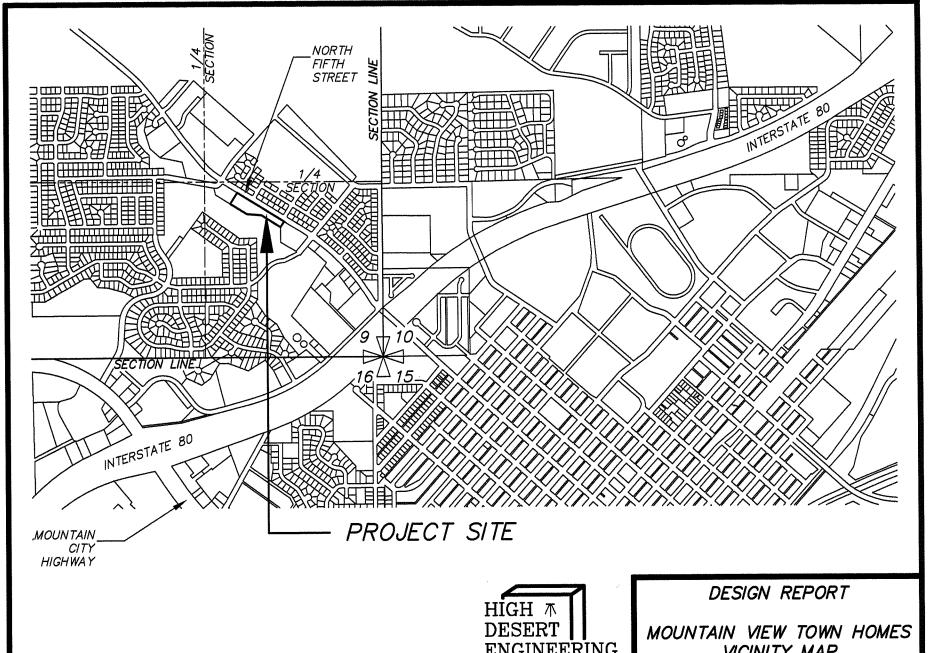
Average Day Demand: 250 gpd 44 residential units 11,000 gpd Peak Demand 375 gpd 44 residential units 14,300 gpd

MOUNTAIN VIEW TOWN HOMES A TOWN HOUSE SUBDIVISION

ELKO, NEVADA

FIGURE 1

VICINITY MAP





VICINITY MAP

IN

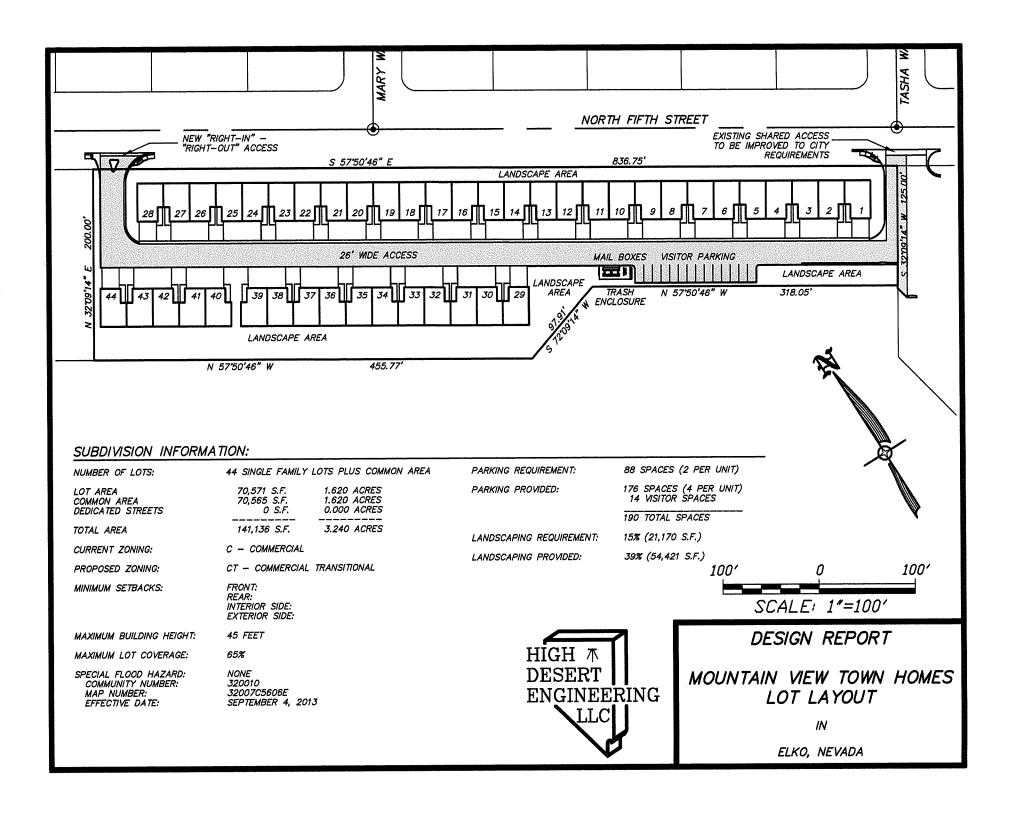
ELKO, NEVADA

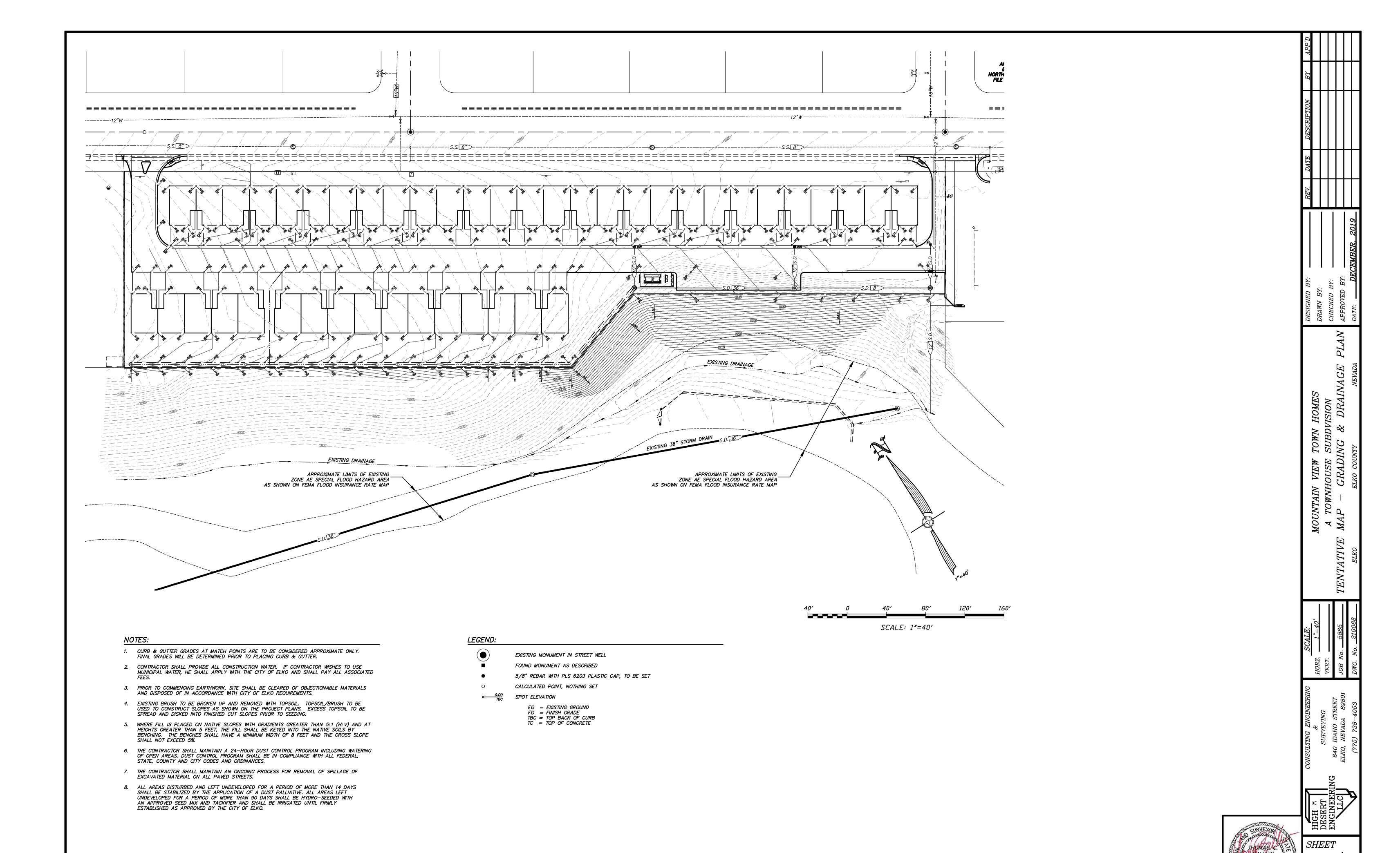
MOUNTAIN VIEW TOWN HOMES A TOWN HOUSE SUBDIVISION

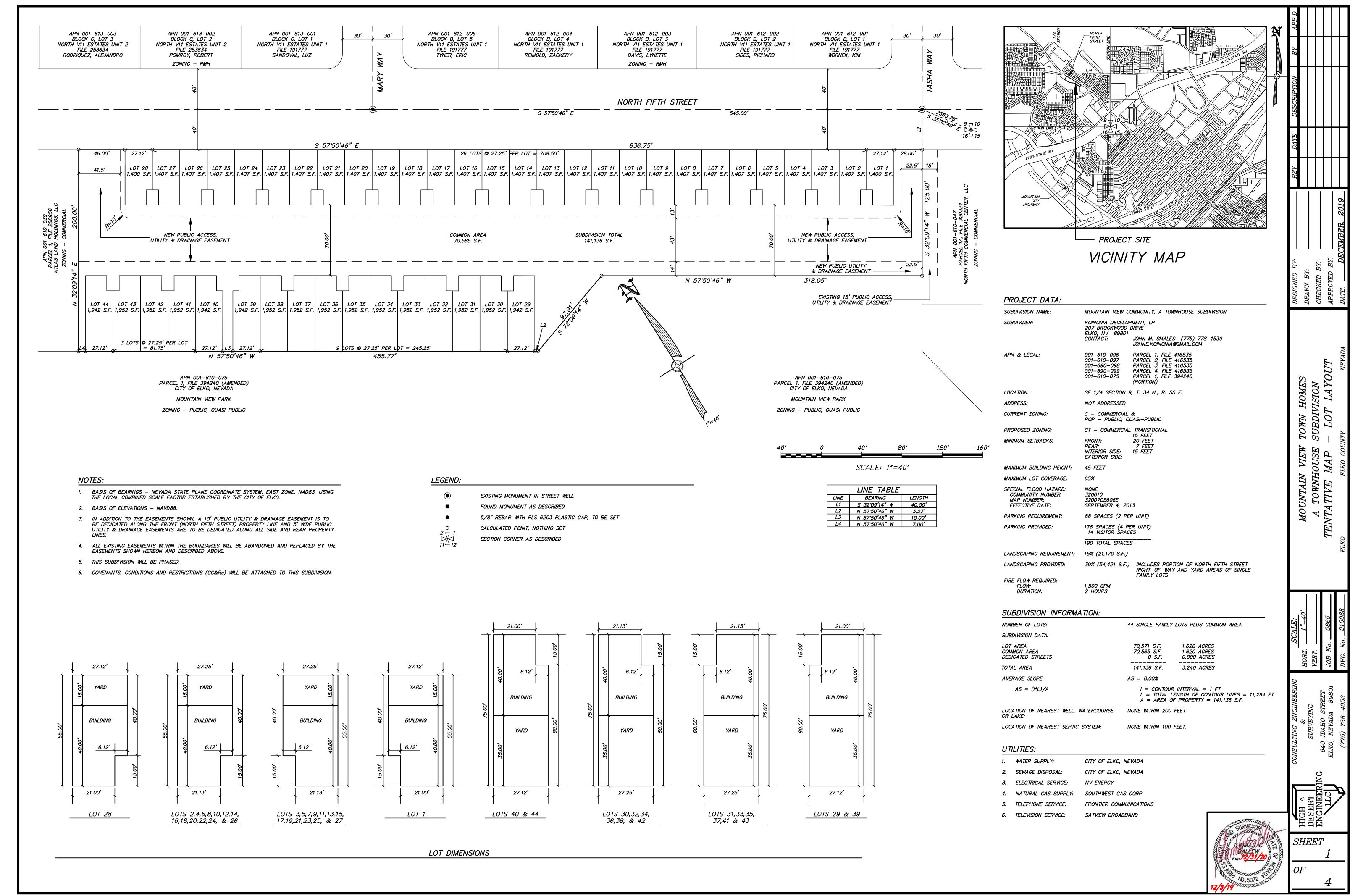
ELKO, NEVADA

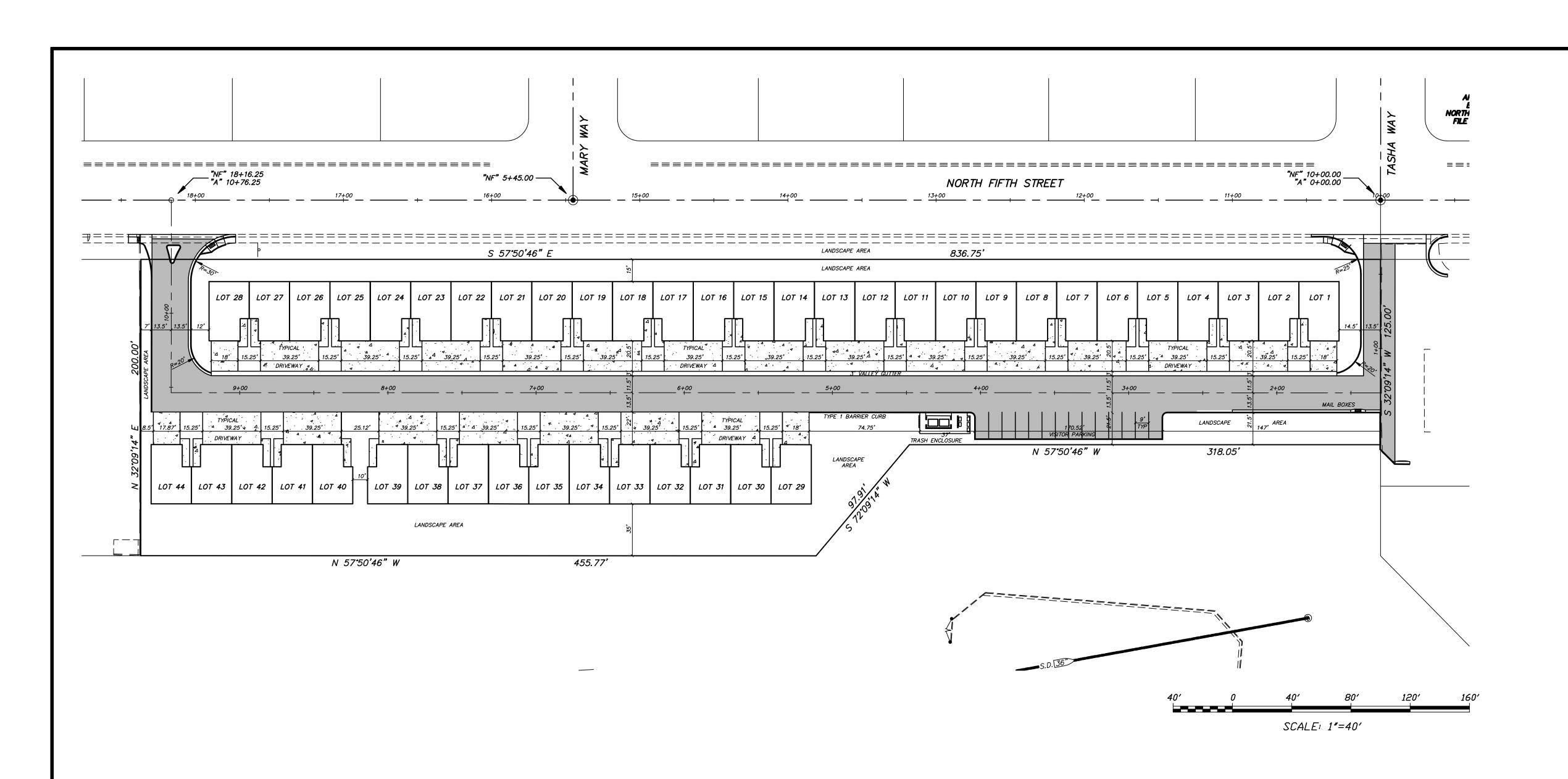
FIGURE 2

MOUNTAIN VIEW TOWN HOMES TENTATIVE MAP – LOT LAYOUT





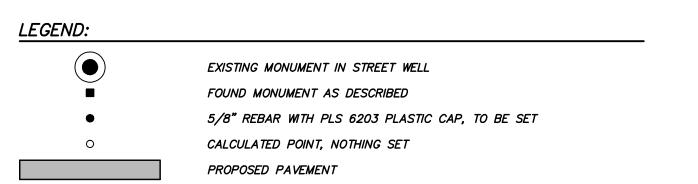




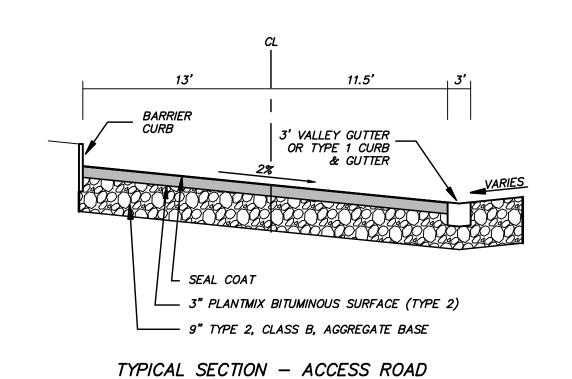
CONSTRUCTION NOTES:

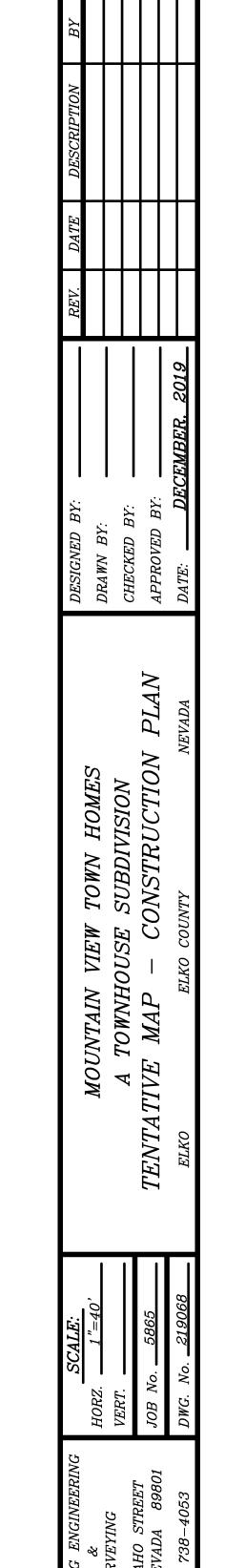
- 1. LOCATIONS OF EXISTING UTILITIES ARE TO BE CONSIDERED APPROXIMATE, BASED ON UTILITY COMPANY RECORDS.
- 2. ON—SITE PAVEMENT SHALL CONSIST OF THE FOLLOWING:

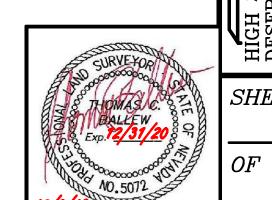
 ACCESS ROAD: 3" PLANTMIX BITUMINOUS SURFACE (TYPE 2)
 9" TYPE 2, CLASS B, AGGREGATE BASE
- 3. ASPHALT CEMENT TO BE PERFORMANCE GRADE 64-22, OR APPROVED EQUAL.
- 4. PAVEMENT SURFACES TO BE SEALED. USE SS-1 EMULSIFIED ASPHALT (MIXED WITH AN EQUAL AMOUNT OF WATER) FOR SEAL COATS. APPLY AT A RATE OF 0.10 GPSY AND APPLY SAND BLOTTER AS NECESSARY.
- 5. PORTLAND CEMENT CONCRETE FOR CURBS, GUTTERS, SIDEWALKS SHALL BE AIR—ENTRAINED, A MINIMUM OF 6 SACK, AND SHALL PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- 6. PROVIDE STRIPING AND HANDICAP SPACE MARKINGS AS SHOWN.
- 7. ALL DIMENSIONS TO TOP BACK OF CURB, UNLESS OTHERWISE NOTED.
- 8. ESTIMATED QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL DETERMINE ALL WORK QUANTITIES PRIOR TO BIDDING.

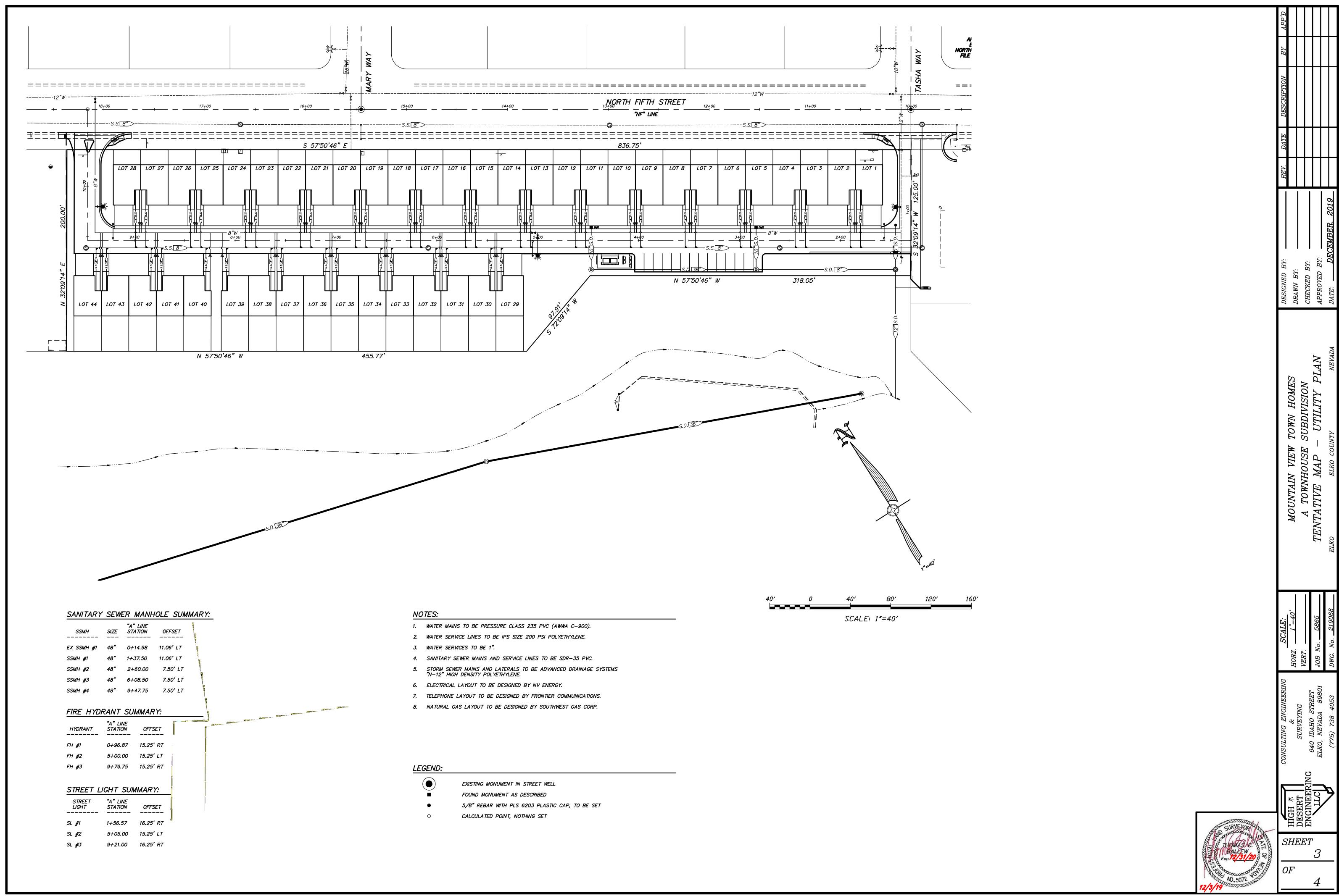


PROPOSED CONCRETE









Elko City Planning Commission Agenda Action Sheet

- 1. Title: Review and consideration of Tentative Map 16-19, filed by Bailey & Associates, LLC, for the development of a subdivision entitled Ruby Mountain Peaks involving the proposed division of approximately 10 acres of property into 45 lots for residential development and 1 remainder lot within the R1 (Single-Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION
- 2. Meeting Date: February 4, 2020
- 3. Agenda Category: **NEW BUSINESS, PUBLIC HEARINGS**
- 4. Time Required: 20 Minutes
- 5. Background Information: Subject property is located on the east side of Jennings Way between Mountain City Highway and Bluffs Avenue. (APN 001-01A-014)
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information: Application and Staff Report
- 8. Recommended Motion: Recommend that the City Council conditionally approve Tentative Map 16-19 based on facts, findings, and conditions as presented in Staff Report dated January 17, 2020.
- 9. Findings: See Staff Report dated January 17, 2020
- 10. Prepared By: Michele Rambo, AICP, Development Manager
- 11. Agenda Distribution: Bailey & Associates, LLC

Attn: Jon Bailey 780 W. Silver Street Elko, NV 89801

jbaileype@gmail.com

Summit Engineering Attn: Nitin Bhakta 1150 Lamoille Highway Elko, NV 89801

nitin@summitnv.com

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2/4 **Do not use pencil or red pen, they do not reproduce**

itle: Tentative Map No. 16-19- Ruby Mountain Peaks
pplicant(s): Bailey + Associates, LC
te Location: NE Corner of Jennings Way + Bluffs Ave.
urrent Zoning: Received: 12/24/19 Date Public Notice: 1/24/20
OMMENT: This is to divide 10.00 acres into 45 lots.
If additional space is needed please provide a separate memorandum
ssistant City Manager: Date: 1/28/20 Recommend approval as pursented by 5taff
5Au
Initial No comments/concerns.
No comments/concerns.
Initial



City of Elko 1751 College Avenue Elko, NV 89801 (775) 777-7160 FAX (775) 777-7119

CITY OF ELKO STAFF REPORT

REPORT DATE: January 17, 2020 PLANNING COMMISSION DATE: February 4, 2020

AGENDA ITEM NUMBER: I.A.3.

APPLICATION NUMBER: Tentative Map 16-19
APPLICANT: Bailey & Associates, LLC
PROJECT DESCRIPTION: Ruby Mountain Peaks

A Tentative Map for the proposed division of approximately 10 acres of property into 45 lots for residential development and 1 remainder lot within a R1 (Single-Family Residential) Zoning District.



STAFF RECOMMENDATION:

RECOMMEND CONDITIONAL APPROVAL, subject to findings of fact and conditions as stated in this report.

PROJECT INFORMATION

PARCEL NUMBER: 001-01A-014 **PARCEL SIZE:** 10 Acres **EXISTING ZONING:** (R) Single-Family and Multiple-Family Residential **MASTER PLAN DESIGNATION:** (RES-MD) Residential Medium Density **Upon approval of a Master Plan Amendment EXISTING LAND USE:** Vacant **NEIGHBORHOOD CHARACTERISTICS:** The property is surrounded by: North: Single-Family Residential (R1) / Developed South: General Commercial (C) / Developed East: General Commercial (C) / Vacant West: Single-Family Residential (R1) / Developed Industrial Commercial (IC) / Developed PROPERTY CHARACTERISTICS: The property is an undeveloped residential parcel. The site abuts previous residential development to the north and northeast, developed commercial property to the south, vacant commercial property to the west, and developed industrial/commercial property to the southeast. The parcel slopes down to Mountain City Highway. The slope has been incorporated into the tentative map design where possible, but a large amount of grading will be required. The property will be accessed by two driveways off of Bluffs Avenue. APPLICABLE MASTER PLAN AND CITY CODE SECTIONS: City of Elko Master Plan – Land Use Component City of Elko Master Plan – Transportation Component City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report -November 2012 City of Elko Redevelopment Plan City of Elko Wellhead Protection Plan City of Elko Zoning – Section 3-2-3 General Provisions City of Elko Zoning – Section 3-2-4 Establishment of Zoning Districts City of Elko Zoning – Section 3-2-5(E) Single-Family and Multiple-Family Residential City of Elko Zoning – Section 3-2-5(G) Residential Zoning Districts Area, Setback, and Height

City of Elko Zoning – Section 3-2-17 Traffic, Access, Parking and Loading Regulations City of Elko Zoning – Chapter 3 Subdivisions

City of Elko Zoning – Section 3-8 Flood Plain Management

City of Elko Public Ways and Property – Title 9, Chapter 8 Post Construction Runoff Control and Water Quality Management

BACKGROUND:

- 1. The property owner and applicant is Bailey & Associates, LLC.
- 2. The subdivision is located on APN 001-01A-014.
- 3. The property is undeveloped.
- 4. The proposed subdivision consists of 45 residential lots and 1 remainder lot to be dedicated to the City of Elko as a utility easement.
- 5. The total subdivided area is approximately 10 acres.
- 6. The proposed density is 4.5 units per acre.
- 7. No phasing is proposed as part of this subdivision.
- 8. There are 2 new dedicated roadways offered as part of the project.
- 9. The property is located on the east side of Jennings Way between Mountain City Highway and Bluffs Avenue.
- 10. A Stage 1 meeting for the proposed subdivision was held on September 12, 2019.

MASTER PLAN

Land Use:

- 1. The land use for the parcel is shown as Highway Commercial. A Master Plan Amendment is required to change this designation to Residential Medium Density to create consistency between the Master Plan and the zoning designation. Residential Medium Density is intended for residential development at a density between four and eight units per acre. The proposed subdivision consists of a density of 4.5 units per acre and does conform with this aspect of the Master Plan.
- 2. The zoning for the parcel is shown as Single-Family and Multiple-Family Residential, which is not listed in the Master Plan as a corresponding district within the Highway Commercial land use designation. While this residential designation allows for the proposed development, it is in conflict with the Master Plan. In an effort to clean up this inconsistency, a Master Plan Amendment has been initiated by staff as described above.
- 3. The listed Goal of the Land Use Component states: "Promote orderly, sustainable growth and efficient land use to improve quality of life and ensure new development meets the needs of all residents and visitors."
- 4. Objective 1 under the Land Use component of the Master Plan states: "Promote a diverse mix of housing options to meet the needs of a variety of lifestyles, incomes, and age groups."
 - a. Best Practice 1.1 The proposed subdivision meets several of the methods described to achieve a diverse mix of housing types in the community.
 - b. Best Practice 1.3 The location of the proposed subdivision appears to support the City striving for a blended community by providing a mix of housing types in the neighborhood and is supported by existing infrastructure.
- 5. Objective 8 of the Land Use component of the Master Plan states: "Ensure that new development does not negatively impact County-wide natural systems or public/federal lands such as waterways, wetlands, drainages, floodplains, etc. or pose a danger to human health and safety." Staff believes there will be no negative impacts to natural systems and no issue with regard to human health and safety.

The proposed subdivision and development is in conformance with the Land Use component of the Master Plan upon approval of a Master Plan Amendment as described above. A condition of approval has been added requiring this amendment to be in effect prior to any construction activity or the recordation of the Final Map, whichever comes first.

Transportation:

- 1. The project will be accessed from Bluffs Avenue.
- 2. Bluffs Avenue is classified as a Residential Collector street.
- 3. The interior circulation of the project will be provided by two new roads to be dedicated to the City of Elko.
- 4. The Master Plan requires Residential Collector streets to have 60 feet of right-of-way.
- 5. Bluffs Avenue has 60 feet of right-of-way. No further dedications are required.
- 6. Upon full buildout, the proposed subdivision is expected to generate approximately 428 additional Average Daily Trips based on 9.52 trips/single-family unit (ITE Trip Generation, 10th Edition). This is well below the threshold for a traffic study established in the Master Plan.

The proposed subdivision and development is in conformance with the Transportation component of the Master Plan.

ELKO AIRPORT MASTER PLAN:

The proposed subdivision and development does not conflict with the Airport Master Plan.

CITY OF ELKO DEVELOPMENT FEASIBILITY, LAND USE, WATER INFRASTRUCTURE, SANITARY SEWER INFRASTRUCTURE, TRANSPORTATION INFRASTRUCTURE, AND ANNEXATION POTENTIAL REPORT – NOVEMBER 2012:

The proposed subdivision does not conflict with the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report – November 2012.

ELKO REDEVELOPMENT PLAN:

The property is not located within the Redevelopment Area.

ELKO WELLHEAD PROTECTION PLAN:

The property is not located within any capture zone for City of Elko wells. Development of the site is required to be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system.

SECTION 3-3-5 TENTATIVE MAP STAGE (STAGE II):

Tentative Map Approval 3-3-5(E)(2)(a)-(k) – Requires the following findings:

a. Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or pubic sewage disposal, and, where applicable, individual systems for sewage disposal.

- The proposed subdivision will be connected to the city's water supply system, programmed sewer system, and is required to be in compliance with all applicable federal, state, and local requirements.
- b. The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision.
 - The City of Elko Engineering Department is required to model the anticipated water consumption of the subdivision. The City of Elko Utility Department will be required to submit a "Tentative Will-Serve Letter" to the State of Nevada. The water modeling requires an update to reflect the increased number of lots. Current City-wide annual water usage is approximately 50% of the total allocated water rights.
 - City of Elko currently has excess pumping capacity of 3,081 gallons per minute. Sufficient infrastructure and pumping capacity exists to provide the required water volume to serve the proposed subdivision and development.
 - The Developer will extend properly sized infrastructure as required for development of the property.
 - The proposed subdivision and development will not create an unreasonable burden on the existing water supply.
- c. The availability and accessibility of utilities.
 - Utilities are available in the immediate area and can be extended for the proposed development.
- d. The availability and accessibility of public services such as schools, police protection, transportation, recreation, and parks.
 - Schools, fire and police, and recreational services are available throughout the community.
- e. Conformity with the zoning ordinance and the City's Master Plan, except that if any existing zoning ordinance is inconsistent with the City's Master Plan, the zoning ordinance takes precedence.
 - The land use for the parcel is shown as Highway Commercial. A Master Plan Amendment is required to change this designation to Residential Medium Density to create consistency between the Master Plan and the zoning designation.
 - The zoning for the parcel is shown as Single-Family and Multiple-Family Residential, which is not listed in the Master Plan as a corresponding district within the Highway Commercial land use designation. While this residential designation allows for the proposed development, it is in conflict with the Master Plan. In an effort to clean up this inconsistency, a Master Plan Amendment has been initiated by staff as described above.
 - Residential Medium Density is intended for residential development at a density between four and eight units per acre. The proposed subdivision consists of a density of 4.5 units per acre and does conform with this aspect of the Master Plan.
 - The proposed subdivision is otherwise in conformance with the City's Master Plan as well as the Zoning Ordinance.

- f. General conformity with the City's Master Plan of streets and highways.
 J The proposed subdivision is in conformance with the Transportation Component of the Master Plan.
 g. The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision.
 J The proposed subdivision and development will add approximately 428 Average Daily Trips to Bluffs Avenue. Based on the threshold of 1,000 ADT referenced in the Master Plan, a traffic study is not required with this subdivision.
 J The proposed subdivision and development will not cause unreasonable traffic congestion or unsafe conditions with respect to existing or proposed streets.
- h. Physical characteristics of the land, such as floodplain, slope, and soil.
 - The proposed subdivision and subsequent development of the property is expected to reduce the potential for erosion in the immediate area. Development of the property will not cause unreasonable soil erosion.
 - A hydrology report is required with the Final Map and Construction Plan submittal.
 - The proposed subdivision and development is not expected to result in unreasonable erosion or reduction in the water holding capacity of the land thereby creating a dangerous or unhealthy condition.
- i. The recommendations and comments and those entities and persons reviewing the Tentative Map pursuant to this Chapter and NRS 278.330 to 278.3485, inclusive.
 - Any comments received from other entities and persons reviewing the Tentative Map have been incorporated either as revisions to the Map or as conditions of approval.
- j. The availability and accessibility of fire protection, including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires, including fires in wild lands.
 - Fire protection services are available throughout the community.
 - A sufficient amount of water exists in this area for use in fire containment.
 - The City of Elko Fire Department has reviewed the application materials for compliance with all fire code requirements.
- k. The submission by the subdivider of an affidavit stating that the subdivider will make provision for payment of the tax imposed by Chapter 375 of NRS and for compliance with the disclosure and recording requirements of Subsection 5 of NRS 598.0923, if applicable, by the subdivider or any successor in interest.
 - The subdivider/developer is required to comply with all applicable sections of Chapters 375 and 598 of the NRS.

There are no obvious considerations or concerns which indicate the proposed subdivision would not be in conformance with all applicable provisions.

SECTION 3-3-6 CONTENT AND FORMAT OF TENTATIVE MAP SUBMITTAL:

A. Form and Scale – The Tentative Map conforms to the required size and form specifications.

B. Identification Data

- 1. The subdivision name, location, and section/township/range, with bearing to a section corner or quarter-section corner, is shown.
- 2. The name, address, email, and telephone number of the subdivider is shown.
- 3. The engineer's name, address, and telephone number are shown.
- 4. The scale is shown on all sheets.
- 5. The north arrow is shown on all sheets.
- 6. The date of initial preparation and dates of any subsequent revisions are shown.
- 7. A location map is provided.
- 8. A legal description is provided.

C. Physical Conditions

- 1. The existing topography of the site is shown.
- 2. Existing drainage conditions are shown on the Tentative Map.
- 3. There are no Special Flood Hazards within the proposed subdivision.
- 4. All roadways, easements, and corporate limits are shown within and adjacent to the subdivision.
- 5. Dimensions of all subdivision boundaries are shown on the Tentative Map.
- 6. Gross and net acreage of the subdivision is shown.

D. Recorded Map Information:

1. Any previously recorded maps for adjacent properties are labeled on the Tentative Map.

E. Existing Zoning:

1. The zoning is shown for the subject property. Zoning classifications for adjacent properties are also shown on the Tentative Map.

F. Proposed Improvements and Other Features Data:

- 1. The proposed interior street layout is shown. All of the streets are named and proposed for dedication. The grades of the proposed streets are shown on the grading plan. The continuation of roadways is not required of the proposed subdivision.
- 2. The lot layout with consecutively numbered lots is shown. The area and dimensions for each lot are shown, as well as the total number of lots.
- 3. Typical easements will be required along all lot lines.
- 4. Street dedications are proposed for the two new streets (Liberty Peak Street and Snow Lake Circle).
- 5. Single-family residential units are allowed in the Single-Family and Multiple-Family Residential zoning.

G. Proposed Deed Restrictions:

1. No proposed CC&R's for the subdivision have been submitted.

H. Preliminary Grading Plan:

1. A grading plan has been provided. The cut and fill amounts are shown on a separate document.

- I. NPDES Permit Compliance:
 - 1. The subdivider will be required to comply with the City of Elko's storm water regulations.
- J. Proposed Utility Methods and Requirements:
 - 1. The proposed sewage disposal infrastructure connecting to the City's infrastructure is shown on the utility plan.
 - 2. The proposed water supply infrastructure connecting to the City's infrastructure is shown on the utility plan.
 - 3. The Tentative Map shows storm water infrastructure. A hydrology report will be required with the Final Map and Construction Plan submittal.
 - 4. Utilities in addition to City utilities must be provided with construction plans required for Final Map submittal.
 - 5. The City will not require a traffic impact study for the proposed subdivision.

SECTION 3-3-9 GENERAL REQUIREMENTS FOR SUBDIVISION DESIGN:

- A. Conformance with Master Plan: The proposed subdivision is in conformance with the Master Plan objectives for density and applicable zoning as discussed in detail above.
- B. Public Facility Sites: No public facility sites are proposed for dedication.
- C. Land Suitability: The area proposed for subdivision is suitable for the proposed development based on the findings in this report.

The proposed subdivision is in conformance with Section 3-3-9 of City code.

SECTION 3-3-10 STREET LOCATION AND ARRANGEMENT:

- A. Conformance with Plan: The proposed subdivision utilizes an existing section of Bluffs Avenue for access.
- B. Layout: Street continuation through the proposed subdivision is not required.
- C. Extensions: No extensions are required as part of the proposed subdivision. However, improvements will be required to Bluffs Avenue in the form of curb, gutter, and sidewalk.
- D. Arrangement of Residential Streets: The arrangement of streets within the subdivision prevents outside traffic from utilizing the neighborhood for cut-through traffic.
- E. Protection of Residential Properties: There are no lots that have frontage or access from arterial streets. Bluffs Avenue is a Residential Collector street. The subdivision has been designed so that all lots will front onto interior streets running through the site. A note is included on the map, and a condition of approval has been added, prohibiting lots to face on either Bluffs Avenue, Jennings Way, or Mountain City Highway.
- F. Parallel Streets: Consideration of street location is not required.
- G. Topography: The proposed streets have been designated to address the topography of the area.
- H. Alleys: No alleys are proposed.
- I. Half-Streets: There are no half-streets proposed.

- J. Dead-End Streets: There are no dead-end streets proposed. The streets are designed to allow for appropriate turning movements for traffic, as well as fire trucks.
- K. Intersection Design: The proposed intersections with Bluffs Avenue are code compliant.

The proposed subdivision is in conformance with Section 3-3-10 of City code.

SECTION 3-3-11 STREET DESIGN:

- A. Required Right-of-Way Widths: Bluffs Avenue currently consists of the required 60 feet of right-of-way. All proposed streets are shown with the required 50 feet of right-of-way.
- B. Street Grades: The proposed street grades are code compliant.
- C. Vertical Curves: Any vertical curves are code compliant.
- D. Horizontal Alignment: The horizontal alignment of the streets and intersections are code compliant.

The proposed subdivision is in conformance with Section 3-3-11 of City code.

SECTION 3-3-12 BLOCK DESIGN:

- A. Maximum Length of Blocks: The block design does not exceed the maximum length of a block and maximizes block length.
- B. Sidewalks or Pedestrian ways: The proposed sidewalks are code compliant. No other pedestrian ways are proposed.

The proposed subdivision is in conformance with Section 3-3-12 of City code.

SECTION 3-3-13 LOT PLANNING:

- A. Lot Width, Depth, and Area: The lots are in conformance with the specifications stipulated for the zoning in Elko City Code 3-2-5 with the exception of Lots 18, 19, 25, and 26. These lots are located on the outside curve of 90 degree turns and have short front lot widths. A modification of standards is required to make these lots conform.
- B. Building Setback: The proposed subdivision, when developed, can meet setback requirements as stipulated in Elko City Code 3-2-5(G).
- C. Side Lot Lines: The side lot lines are generally at right angles to the proposed streets.
- D. Accessibility: The development abuts a public street. All residents will have access to Bluffs Avenue.
- E. Prohibitions: No units shall have direct access to Bluffs Avenue, Jennings Way, or Mountain City Highway. All access is to be through the two proposed intersections on Bluffs Avenue.

The proposed subdivision is in conformance with Section 3-3-13 of City code with the needed modification of standards.

SECTION 3-3-14 EASEMENT PLANNING:

- A. Utility Easements: The applicant is proposing the typical utility and drainage easements along property lines on individual parcels. Parcel A, located on the south side of the project adjacent to Mountain City Highway, is a proposed utility easement to be dedicated to the City of Elko. Overhead utilities are not allowed within the subdivision.
- B. Underground Utilities: Overhead utilities are not allowed within the subdivision. The utility companies, at their discretion, may request a wider easement where needed.
- C. Lots Facing Curvilinear Streets: Overhead utilities are not allowed within the subdivision.
- D. Public Drainage Easement: The applicant is proposing the typical utility and drainage easements along property lines on individual parcels.
- E. Easement Land Not Considered and Considered in Minimum Lot Area Calculation: All calculations appear to be correct.
- F. Lots Backing Onto Arterial Streets: There are no lots proposed which require residents to back onto an arterial street. A note on the map and a condition of approval found below require that all lots face the interior streets.
- G. Water and Sewer Lines: The utilities are shown in the existing exterior streets, within proposed side or rear easements, and in the proposed interior streets. Sanitary sewer will tie into the existing city infrastructure near the southeast corner of the property.

The proposed subdivision is in conformance with Section 3-3-14 of City code.

SECTION 3-3-15 STREET NAMING:

The subdivider has proposed two new street names (Liberty Peak Street and Snow Lake Circle).

The proposed subdivision is in conformance with Section 3-3-15 of City code.

SECTIONS 3-3-16 STREET LIGHT DESIGN STANDARDS:

Conformance is required with the submittal of construction plans.

SECTION 3-3-17 through 3-3-22 (inclusive):

All referenced sections are applicable to Final Map submission, approval, and construction plans.

SECTION 3-3-23 PARK LAND DEDICATIONS:

There is no offer of dedication for park lands.

SECTION 3-2-3 GENERAL PROVISIONS:

Section 3-2-3(C)(1) of City code specifies use restrictions. The following use restrictions shall apply:

Principal Uses: Only those uses and groups of uses specifically designated as "principal uses permitted" in zoning district regulations shall be permitted as principal uses; all other uses shall be prohibited as principal uses.

Accessory Uses: Uses normally accessory and incidental to permitted principal or conditional uses may be permitted as hereinafter specified.

Other uses may apply under certain conditions with application to the City.

Section 3-2-3(D) states that: "No land may be used or structure erected where the land is held by the planning commission to be unsuitable for such use or structure by reason of flooding, concentrated runoff, inadequate drainage, adverse soil or rock formation, extreme topography, low bearing strength, erosion susceptibility, or any other features likely to be harmful to the health, safety, and general welfare of the community. The planning commission, in applying the provisions of this section, shall state in writing the particular facts upon which its conclusions are based. The applicant shall have the right to present evidence contesting such determination to the city council if he or she so desires, whereupon the city council may affirm, modify, or withdraw the determination of unsuitability."

The proposed subdivision and development is in conformance with Section 3-2-3 of City code.

SECTION 3-2-4 ESTABLISHMENT OF ZONING DISTRICTS:

- 1. Section 3-2-4(B) Required Conformity to District Regulations: The regulations set forth in this chapter for each zoning district shall be minimum regulations and shall apply uniformly to each class or kind of structure or land, except as provided in this subsection.
- 2. Section 3-2-4(B)(4) stipulates that no yard or lot existing on the effective date hereof shall be reduced in dimension or area below the minimum requirements set forth in this title.

The proposed subdivision is in conformance with Section 3-2-4 of City code.

SECTION 3-2-5(E) R SINGLE-FAMILY AND MULTIPLE-FAMILY RESIDENTIAL DISTRICT:

Section 3-2-5(E)(2) Principal Uses Permitted:

- 1. Adult care facility which serves ten (10) or fewer.
- 2. Electric power substations, sewer lift stations, and water pump stations wherein service to district residents requires location within the district.
- 3. Multiple-family residential units, including a duplex, triplex, or a fourplex located on a single lot or parcel, provided area and setback requirements are met.
- 4. One single-family dwelling of a permanent character in a permanent location with each dwelling unit on its own parcel of land and provided all area and setback requirements are met.
- 5. Publicly owned and operated parks and recreation areas and centers.
- 6. Residential facility for groups of ten (10) or fewer.

The proposed subdivision and development is in conformance with Section 3-2-5(E). Conformance with Section 3-2-5(E) is required as the subdivision develops.

SECTION 3-2-5(G) RESIDENTIAL ZONING DISTRICTS AREA, SETBACKS, AND HEIGHT:

- 1. Lot areas are shown.
- 2. Lot dimensions are shown. The lots are in conformance with the specifications stipulated for the zoning in Elko City Code 3-2-5 with the exception of Lots 18, 19, 25, and 26. These lots are located on the outside curve of 90 degree turns and have short front lot widths. A modification of standards is required to make these lots conform.

The proposed subdivision and development is in conformance with Section 3-2-5(G) of City code with the required modification of standards.

SECTION 3-2-17 TRAFFIC, ACCESS, PARKING, AND LOADING:

- 1. Bluffs Avenue is classified as a Residential Collector street. The interior circulation of the project will be provided by two new roads to be dedicated to the City of Elko.
- 2. The proposed lots are large enough to develop the required off-street parking. Each unit will include a two-car garage within the individual lots.

The proposed subdivision and development is in conformance with Section 3-2-17 of City code. Conformance with Section 3-2-17 is required as the subdivision develops.

SECTION 3-8 FLOOD PLAIN MANAGEMENT:

The proposed subdivision and development is not located in a designated special flood hazard area and is in conformance with Section 3-8 of City Code.

TITLE 9, CHAPTER 8 POST CONSTRUCTION RUNOFF CONTROL AND WATER QUALTIY MANAGEMENT:

Final design of the subdivision is required to conform to the requirements of this title. The Tentative Map storm drain infrastructure is shown through the area.

OTHER:

The following permits will be required for the project:

- 1. State storm water general permit: Required submittals to the City of Elko are a plan view showing the storm water controls, a copy of the Storm Water Pollution Prevention Plan (SWPPP) and a copy of the certified confirmation letter from the Nevada Department of Environmental Protection.
- 2. A Surface Area Disturbance (SAD) is required if the disturbed area is equal to or greater than five (5) acres. A copy of the SAD permit is required to be submitted to the City of Elko.

- 3. A street cut permit from the City of Elko.
- 4. A grading permit from the City of Elko.
- 5. All other applicable permits and fees required by the City of Elko.
- 6. The City of Elko also requires submittal of the plans to the individual utility companies before permits will be issued for the project.

FINDINGS

- 1. The proposed subdivision and development is in conformance with both the Land Use and Transportation components of the Master Plan as previously discussed in this report.
- 2. The proposed subdivision and development does not conflict with the Airport Master Plan; the City of Elko Development Feasibility, Land Use, Water Infrastructure, Sanitary Sewer Infrastructure, Transportation Infrastructure, and Annexation Potential Report November 2012; the Wellhead Protection Program; or applicable sections of the Elko City Code.
- 3. The proposed subdivision complies with Section 3-3-5(E)(2)(a)-(k) as discussed in this report and as required by Section 278.349(3) of the Nevada Revised Statutes.
- 4. The property is not located within the Redevelopment Area. Therefore, there is no conflict with the Redevelopment Plan.

STAFF RECOMMENDATION:

Staff recommends this item be **conditionally approved** with the following conditions:

Development Department:

- 1. The associated Master Plan Amendment must be approved and in effect prior to application submittal of the Final Map.
- 2. The subdivider is to comply with all provisions of the NAC and NRS pertaining to the proposed subdivision.
- 3. Tentative Map approval constitutes authorization for the subdivider to proceed with preparation of the Final Map and associated construction plans.
- 4. The Tentative Map must be approved by the Nevada Department of Environmental Protection prior to submitting for Final Map approval by the City of Elko.
- 5. Construction plans must be approved by the Nevada Department of Environmental Protection prior to issuance of a grading permit.
- 6. Tentative Map approval does not constitute authorization to proceed with site improvements.
- 7. The applicant must submit an application for Final Map within a period of four (4) years in accordance with NRS.360(1)(a). Approval of the Tentative Map will automatically

lapse at that time.

- 8. A soils report is required with Final Map submittal.
- 9. A hydrology report is required with Final Map submittal. This report will need to be reviewed and approved by both the City of Elko and NDOT.
- 10. Final Map construction plans are to comply with Chapter 3-3 of City code.
- 11. The subdivision design and construction shall comply with Title 9, Chapter 8 of City code.
- 12. The Utility Department will issue an Intent to Serve letter upon approval of the Tentative Map by the City Council.
- 13. A modification from standards be approved by City Council for Lot 18, 19, 25, and 26 to allow for shorter-than-required front lots widths.
- 14. No lots are allowed to face Bluffs Avenue, Jennings Way, or Mountain City Highway.

Planning Department:

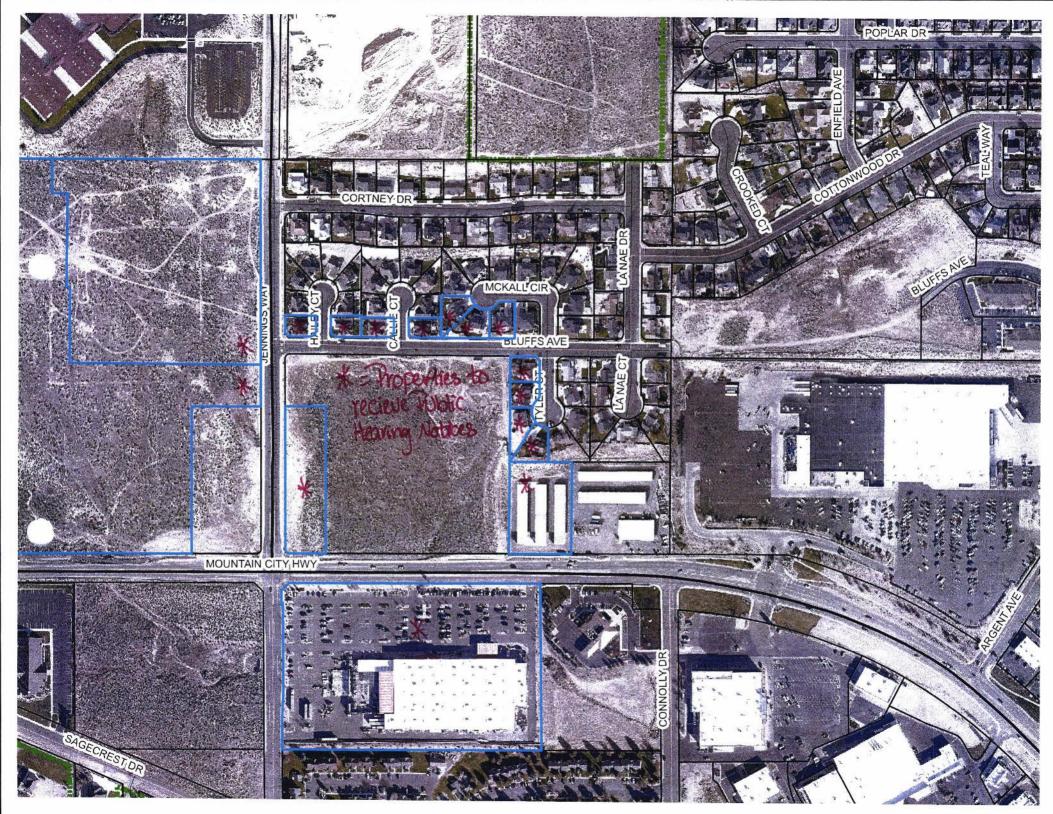
1. A modification from standards be approved by City Council for Lot 3,4,5,6,7,8, and 9 to allow single family residences on double frontage lots not abutting an arterial street.

Tentative Map 16-19 Ruby mountain Peaks

		· ·	J		
YPNO	PANAME	PMADD1	PMADD2	PMCTST	PZIP
00101A013	BAXTER, LINDA JEWELL TR		13172 GAFFNEY LN	OREGON CITY OR	97045-6776
00101C082	CERVANTES, JINIO & NORA		3024 HAILEY CT	ELKO NV	89801-2477
00101A005	CHA CHET II LLC		PO BOX 278	ELKO NV	89803-0278
00101A010	CHRISTIANSEN, RICHARD F ET AL		263 E 1000 S	OREM UT	84058-7050
00101C074	DELAMORA, JAIME JR & TARA		3016 CALLIE CT	ELKO NV	89801-2478
00101C002	GLAXNER, DANIEL J		2973 TYLER CT	ELKO NV	89801-2441
00101C062	GREENHAW, GREG & LESLIE		775 1ST ST	ELKO NV	89801-3001
001660020	HD DEVELOPMENT OF MARYLAND INC	C.O HOME DEPOT USA INC	2455 PACES FERRY RD SE	ATLANTA GA	30339-1834
00101C004	HENDRIX, BRANDON & JENNIFER L		2965 TYLER CT	ELKO NV	89801-2441
00101C061	JOGGERST, PAUL J & ELENA A TR		3055 MCKALL CIR	ELKO NV	89801-2476
00101A002	MCH PROPERTIES, LLC		950 IDAHO ST	ELKO NV	89801
00101C003	SANCHEZ, DAVID SR & DAWN C		2969 TYLER CT	ELKO NV	89801-2441
00101C001	SEDIVEC, NICHOLAS & BEVERLY		2977 TYLER CT	ELKO NV	89801-2441
00101C089	SHELDON, CALEB		3025 HAILEY CT	ELKO NV	89801
00101C081	SNIDER, REBEL WAYNE JR & TINA		3017 CALLIE CT	ELKO NV	89801-2478
00101C060	WOOD, MARCUS A & ALISSA M		3057 MCKALL CIR	ELKO NV	89801-2476



Postmarked 1/24/20



NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that the Elko City Planning Commission will conduct a series of public hearings on Tuesday, February 4, 2020 beginning at 5:30 P.M. P.S.T. at Elko City Hall, 1751 College Avenue, Elko, Nevada, and that the public is invited to provide input and testimony on these matters under consideration in person, by writing, or by representative.

The specific item to be considered under public hearing format is:

• Tentative Map No. 16-19, filed by Bailey & Associates, LLC for the development of a subdivision entitled Ruby Mountain Peaks involving the proposed division of approximately 10.00 acres of property into 45 lots for residential development in an R (Single-family & Multi-Family Residential) Zoning District, and matters related thereto. The subject property is located generally on the southeast corner of the intersection of Jennings Way and Bluffs Avenue. (APNs 001-01A-014)

Additional information concerning this item may be obtained by contacting the Elko City Planning Department at (775) 777-7160.

ELKO CITY PLANNING COMMISSION



January 13, 2020

RECEIVED

JAN 14 2020

City of Elko Michele Rambo Development Manager 1751 College Avenue Elko, NV 89801

Re: Ruby Mountain Peaks revisions for Tentative Map Submittal

Dear Michele:

The City of Elko completed a full review of the Tentative Map for Ruby Mountain peaks and found several items that need correction. Please find attached a revised copy of the submitted plans that address the list of comments below.

- Design of the storm water detention system is required to include the approximate sizing
 of the outlet pipe from the 36" pipes to reduce the post construction runoff numbers to a
 number no greater than the preconstruction runoff numbers. Please revise the exhibits
 and hydrology report as needed to include this sizing and reduction of flows.
 Appropriate pipe sizing and a controlled outlet pipe size with slope will be used to show
 that no net increase entering the existing storm drain system. The hydrology report has
 been revised and attached.
- 2. Show existing and proposed curb and sidewalks on Bluffs and Jennings. Proposed curb, gutter and sidewalk have been added to the plan set.
- "Peak" is not an acceptable street suffix per the USPS list of approved suffixes and their abbreviations. Please revised the street names.
 Street names have been revised and shown.
- 4. State the intent of Parcel A. Will it be offered for dedication or maintained by an HOA? If an HOA is proposed, please provide a draft copy of the CC&Rs.
 Parcel A is to be a Utility Easement and dedicated to the city of Elko, No HOA is proposed
- 5. Provide a street light at the mailbox location(s). Street light has been added.
- 6. The Utility Plan needs to be revised:

for this subdivision.

- a. No water service shown to lot 31. Issue revised on Utility plan
- b. Two water services shown to lot 43. Issue revised on Utility plan
- c. No sewer lateral shown to lot 22. Issue revised on Utility plan

Please contact me at our office (775) 787-4391 with any additional question you may have about this project.

Sincerely,

SUMMIT ENGINEERING CORPORATION

Nitin I. Bhakta, PE

VP of Engineering / Elko Area Manager



City of Elko – Development Department 1755 College Avenue Elko, NV 89801

Telephone: 775.777.7210 Facsimile: 775.777.7219

January 9, 2020

Summit Engineering Attn: Nitin Bhakta 1150 Lamoille Highway Elko, NV 89801

Re: Ruby Mountain Peaks - Corrections

Dear Mr. Bhakta:

The City of Elko has completed a full review of your Tentative Map for Ruby Mountain Peaks (submitted December 24, 2019) and has the following revisions.

- 1. Design of the storm water detention system is required to include the approximate sizing of the outlet pipe from the 36" pipes to reduce the post construction runoff numbers to a number no greater than the preconstruction runoff numbers. Please revise the exhibits and hydrology report as needed to include this sizing and reduction of flows.
- 2. Show existing and proposed curb and sidewalks on Bluffs and Jennings.
- 3. "Peak" is not an acceptable street suffix per the USPS list of approved suffixes and their abbreviations. Please revised the street names.
- 4. State the intent of Parcel A. Will it be offered for dedication or maintained by an HOA? If an HOA is proposed, please provide a draft copy of the CC&Rs.
- 5. Provide a street light at the mailbox location(s).
- 6. The Utility Plan needs to be revised:
 - a. No water service shown to lot 31.
 - b. Two water services shown to lot 43.
 - c. No sewer lateral shown to lot 22.

A modification of standards will be required for Lots 18, 19, 25, and 26 due to the curvature of the street and less-than-required lot widths at the front property line. Staff will incorporate this need into the staff report and code analysis provided to Planning Commission.

This item is currently scheduled for the February 4, 2020 Planning Commission. In order to avoid delays, please return a new set of plans as soon as possible, but no later than January 17, 2020. Please submit three (3) full-size copies of the revised materials, one (1) reduced copy, and a PDF file.

Please contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP Development Manager mrambo@elkocitynv.gov

CC: Bailey & Associates LLC

Attn: Jon Bailey 780 W. Silver St. #104

Elko, NV 89801

City of Elko - File



City of Elko – Development Department 1755 College Avenue Elko, NV 89801

Telephone: 775.777.7210 Facsimile: 775.777.7219

January 3, 2020

Summit Engineering Attn: Nitin Bhakta 1150 Lamoille Highway Elko, NV 89801

Re: Ruby Mountain Peaks - Complete Submittal

Dear Mr. Bhakta:

The City of Elko has reviewed your revised Tentative Map application materials for Ruby Mountain Peaks (submitted January 2, 2020) and has found them to be complete. We will now begin processing your application by transmitting the materials to other City departments for their review. You may receive further comments or corrections as these reviews progress.

I will keep you updated on the status of your application, but please feel free to contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP Development Manager mrambo@elkocitynv.gov

CC:

Bailey & Associates LLC

Attn: Jon Bailey 780 W. Silver St. #104

Elko, NV 89801

City of Elko - File



RECUIVED

JAN 02 2020

City of Elko Michele Rambo

January 2, 2020

Development Manager 1751 College Avenue Elko, NV 89801

Re: Ruby Mountain Peaks revisions for Tentative Map Submittal

Dear Michele:

The City of Elko completed a full review of the Tentative Map for Ruby Mountain peaks and found several items that need correction. Please find attached a revised copy of the submitted plans that address the list of comments below.

Sheet T-1

- Provide a separate sheet showing the Proposed Tentative Map.
 The Tentative Map sheet was included with the hardcopy submittal, but was not emailed to you, will email this to you ASAP.
- Show section corner or quarter corner tie to Tentative Map.A tie to the Section corner is shown on the Tentative Map sheet.
- Show zoning of the existing parcels adjacent to the proposed subdivision.
 This has been revised on the Title Sheet and email to you as well as revising the hard copy submittal.
- Calculate and show the net acreage on the property
 The net acreage is calculated and shown on the title sheet.

Please contact me at our office (775) 787-4391 with any additional question you may have about this project.

Sincerely,

SUMMIT ENGINEERING CORPORATION

Nitin I. Bhakta, PE

VP of Engineering / Elko Area Manager



January 2, 2020

City of Elko – Development Department 1755 College Avenue Elko, NV 89801

Telephone: 775.777.7210 Facsimile: 775.777.7219

Summit Engineering Attn: Nitin Bhakta 1150 Lamoille Highway Elko, NV 89801

Re: Ruby Mountain Peaks - Incomplete Submittal

Dear Mr. Bhakta:

The City of Elko has reviewed your Tentative Map application materials for Ruby Mountain Peaks (submitted December 24, 2019) and has found it to be incomplete. Please revise the Tentative Map to include the information listed below.

- 1. Provide a separate sheet showing the proposed Tentative Map without grading information.
- 2. Show a Section corner or Quarter-Section corner tied to the Tentative Map.
- 3. Show zoning of the parcels adjacent to the subdivision.
- 4. Calculate and show the net acreage of the property.

Please resubmit the revised Tentative Map plans by January 10, 2020 to ensure sufficient time for other departments to review and comment prior to the February 4, 2020 Planning Commission meeting. Please include in your resubmittal a new PDF copy of the revised Tentative Map. As outlined in Section 3-3-5(C)(4), these revisions must be received within 90-days of the original filing date (December 24, 2019), or the submittal will automatically expire.

Please contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP Development Manager mrambo@elkocitynv.gov

CC:

Bailey & Associates LLC

Attn: Jon Bailey 780 W. Silver St. #104

Elko, NV 89801

City of Elko - File



CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue * Elko * Nevada * 89801 (775) 777-7160 * (775) 777-7219 fax

APPLICATION FOR PRELIMINARY PLAT (STAGE II) APPROVAL

PRIOR TO SUBMITTING THIS APPLICATION, PRE-APPLICATION (STAGE I) MUST BE COMPLETE

APPLICANT(s): Bailey & Associates LLC								
MAILING ADDRESS: 780 West Silver Street								
PHONE NO (Home) 775-385-3659 (Business) 775-777-7776								
NAME OF PROPERTY OWNER (If different): Same								
(Property owner consent in writing must be p								
MAILING ADDRESS: 780 West Silver Street								
LEGAL DESCRIPTION AND LOCATION OF PROPERTY INVOLVED (Attach if necessary):								
ASSESSOR'S PARCEL NO.: 001-01A-014	Address							
Lot(s), Block(s), &Subdivision								
Or Parcel(s) & File No. PARCEL 2 OF PARCEL MAP 554869								
APPLICANT'S REPRESENTATIVE OR ENGINEER	Nitin Bhakta - Summit Engineering Corp.							

FILING REQUIREMENTS:

<u>Complete Application Form</u>: In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1st Tuesday of every month), and must include the following:

- 1. One .pdf of the entire application, and ten (10) 24" x 36" copies of the preliminary plat folded to a size not to exceed 9"x12" provided by a properly licensed surveyor, as well as one (1) set of reproducible plans 8 ½" x 11" in size and any required supporting data, prepared in accordance with Section 3-3-7 of the Elko City Code (see attached checklist).
- 2. A Development Master Plan when, in the opinion of the Planning Commission, the proposed subdivision is sufficiently large enough to comprise a major part of a future neighborhood or the tract initially proposed for platting is only a part of a larger land area.
- 3. A preliminary grading plan for subdivisions involving property characterized by an average slope greater than ten percent (10%).

Fee: \$750.00 + \$25.00 per lot including remainder parcels; non-refundable.

<u>Other Information</u>: The applicant is encouraged to submit other information and documentation to support the request.

RECEIVED

Revised 1/24/18 DEC 2 4 2019 Page 1

PROJECT DESCRIPTION OR PURPOSE:					
The proposed development is a 45 lot single family residential subdivision located on a 10.00 acre parcel of land					
located in Section 8, T, 34 N., R. 55 E. generally South of Bluffs Avenue and North of Mountain City Hwy.					
This property can be served by the City of Elko water and sewer system.					

(Use additional pages if necessary)

Revised 1/24/18 Page 2

Preliminary Plat Checklist 3-3-7

Date	Name			
Identific	ation Data			
V	Subdivision Name 🗸			
-	Location and Section, Township and Range 🗸			
V	Reference to a Section Corner or Quarter-Section Corner			
V	Name, address and phone number of subdivider 🗸			
V	Name, address and phone number of engineer/surveyor 🗸			
r	Scale, North Point and Date of Preparation ✓			
V	Dates of Revisions 🗸			
	Location maps 🗸			
	Legal description of boundaries V Sepanate Sheet			
Existing	Conditions Data			
V	2' contours on city coordinate system 🗸			
V	Location of Water Wells None			
~	Location of Streams, private ditches, washes and other features 🗸			
	Location of Designated flood zones None			
V	The Location, widths and Names of all platted Streets, ROW 🗸			
	Municipal Corporation Lines None			
	Name, book and page numbers of all recorded plats 🗸			
	Existing Zoning Classifications 🗸			
Zoning of Adjacent Properties				
	Dimensions of all tract boundaries, gross and net acreage			
Propose	d Conditions Data			
V	Street Layout, location, widths, easements 🗸			
	Traffic Impact Analysis NA			
	Lot Layout, including dimensions of typical lots 🗸			
V	Corner Lot Layout 🗸			
~	Lot layout on Street Curves 🗸			
	Each lot numbered consecutively 🗸			
	Total number of lots 🗸			
~	Location, Width and proposed use of easements			
~	Location, extent and proposed use of all land to be dedicated			
-	Location and boundary of all proposed zoning districts NIA			
-	Draft of proposed deed restrictions NIA			
~	Preliminary Grading Plan 🗸			
	Conceptual cut and fill ✓ Found			
	Estimated quality of material to be graded / found			
	SWPPP			
	d Utilties			
	Sewage Disposal, design for sewage disposal 🗸			
-	Water Supply, Evidence of adequate volume and quality 🗸			
-	Storm Drain, Preliminary Calculations and Layout			
	Telephone, Power, Gas, Television			
	Will Serve Letter by Engineering Department			

Provide Site provider of advised

	By My Signature below:
	I consent to having the City of Elko Staff enter on my property for the sole purpose of inspection of said property as part of this application process.
	I object to having the City of Elko Staff enter onto my property as a part of their review of this application. (Your objection will not affect the recommendation made by the staff or the final determination made by the City Planning Commission or the City Council.)
	I acknowledge that submission of this application does not imply approval of this request by the City Planning Department, the City Planning Commission and the City Council, nor does it in and of itself guarantee issuance of any other required permits and/or licenses.
	I acknowledge that this application may be tabled until a later meeting if either I or my designated representative or agent is not present at the meeting for which this application is scheduled.
	I have carefully read and completed all questions contained within this application to the best of my ability.
	Applicant / Agent Jon Bailey
	(Please print or type)
	Mailing Address 780 West Silver Street
	Street Address or P.O. Box
	Elko, Nevada - 89801
	City, State, Zip Code
	Phone Number: 775-385-3659
	Email address: jbaileype@gmail.com
	SIGNATURE: Doughold Bearley
	FOR OFFICE USE ONLY 45 lots x 25 = 1,125.00
F	FOR OFFICE USE ONLY 45 lots x 25 = 1,125.00 + 750.60 File No.: 16-19 Date Filed: 12/24/19 Fee Paid: 1,875.00 CV# 33308 \$1,875.00



DEC 2 4 2019

LEGAL DESCRIPTION APN 001-01A-014

A piece of land being the same as Parcel 2 of Parcel Map 554869, Recorded on June 15, 2006, in the Official Records of Elko County, Nevada, situate within the Southeast Quarter of Section 8, Township 34 North, Range 55 East, MDM, more particularly described as follows:

Beginning at the Northeast Corner of said Parcel 2, from which the Section Corner bears South 39°11'59" East a distance of 853.69 feet:

thence along the Easterly boundary line, South 00°03'16" West a distance of 666.16 feet to the Southeast Corner of said Parcel 2;

thence departing said Easterly boundary line and along the Southerly boundary line, South 89°36'28" West a distance of 614.02 feet to the Southwest Corner of said Parcel 2;

thence departing the Southerly boundary line and along the Westerly boundary line, North 00°23'32" West a distance of 497.26 feet to an angle point;

thence continuing along said Westerly boundary line, South 89°36'28" West a distance of 135.20 feet to an angle point;

thence continuing along said Westerly boundary line, North 00°23'32" West a distance of 159.64 feet;

thence along a tangent circular curve to the right with a radius of 15.00 feet and a central angle of 90°26'48" an arc length of 23.68 feet to a point on the Northerly boundary line of said Parcel 2;

thence departing said Westerly boundary line and along said Northerly boundary line, South 89°56'44" East a distance of 739.32 feet to the **Point of Beginning**.

Said parcel contains an area of approximately 10.00 acres.

Basis of Bearings: National Spatial Reference System 2007 (NSRS2007) epoch 2007.00 holding the NGS April, 2008 published Latitude, Longitude and Ellipsoid Height of N40° 51' 36.95230", W115° 45' 34.70450" for the City of Elko CORS. Coordinates are projected using the Nevada State Plane Coordinate System, East Zone and scaled to ground using a combined grid-to-ground factor of 1.000357.

Description Prepared By: Ryan G. Cook, PLS 15224 Summit Engineering Corporation 5405 Mae Anne Avenue Reno, NV 89523 775-747-8550

N:\DWGS\J82500_BaileyJenningsBluffs\Legal.docx

SUMMARY												FISVAICH AND
		Area	(SF)		Raw Volum	nes (CY)	Comp/	Ratio	Compac	ct (CY)	Net	Balance(CY)
Name	Total(SF)	Cut(SF)	Fill(SF)	OnGrade(SF)	Cut(CY)	Fill(CY)	Cut	Fill	Cut(CY)	Fill(CY)	Balance(CY)	Change /.1'
Offsite	9,732	5,983	3,154	595	99	63	1.00	1.00	99	63	36 Export	36
Onsite	333,995	194,056	134,764	5,175	47,099	20,124	1.00	1.00	47,099	20,124	26,975 Export	1,238
Site Total	343 727	200.039	137 918	5.770	47 198	20 187	1.00	1.00	47 198	20 187	27 011 Export	1 274

Subgrade Sections	Plane Area(SF)	Slope Area(SF)	Depth (FT)	Volume (CY)
OFF Sidewalk	1,900	1,906	0.667	48
OFF Street	5,551	5,567	1.000	206
ONS Sewer Access	2,467	2,480	1.000	92
ONS Sidewalk	9,067	9,073	0.667	224
ONS Street	48,038	48,075	1.000	1,781
Total	67,023	67,101		2,351
Removal Items	Plane Area(SF)	Slope Area(SF)	Depth (FT)	Volume (CY)

343,727

Stripping

344,773

0.667

Existing	

Motor

Data imported from "SUMMIT TOPO.dwg".

Design Layer:

Data imported from "Stage One Bailey Map.dwg".

Subgrade Sections:

- 01. Sewer Access Road 3"/9" (assumed)
- 02. Sidewalk 4"/4" (assumed)
- 03. Street 3"/9" (per request)

Removal Items:

Demolition was removed before volumes were calculated, and needs to be stockpiled or off-hauled.

01. Stripping 8" (per request)

Area of Concern:

- 01. All FG elevations at the Pad areas were disregarded due to conflict with the proposed slopes and contours.02. No PDF sheets were provided, and the tack of details may affect the accuracy of this report.



JAN 2 8 2020

1/27/2020

Attn: City Planner City of Elko 1751 College Avenue

Elko, Nv 89801

Re: Development Application Ruby Mountain Peaks

Dear Cathy,

I authorize Bailey & Associates LLC to submit applications for tentative and final maps for the above referenced project for my property located at Mountain City Highway APN 001-01A-014.

Thank you,

Linda Baxter dottoop verified
01/28/20 7:27 AM PST
E4YG-GEXD-JWAI-PSJ9

Linda Baxter

HYDROLOGY REPORT FOR RUBY MOUNTAIN PEAKS SUBDIVISION ELKO, NEVADA

Prepared for:

BAILEY AND ASOCIATES LLC. 780 WEST SILVER STREET ELKO, NV 89801



SUMMIT ENGINEERING CORPORATION 1150 LAMOILLE HIGHWAY ELKO, NEVADA 89801 (775) 738-8058

JOB # 3-82500

DECEMBER 2019

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Existing Hydrology	5
Proposed Hydrology	6
Conclusion	7
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Table 2 – Existing 100-Year Runoff	
Table 3 – Proposed 5-Year Runoff	6
Table 4 – Proposed 100-Year Runoff	6

Appendix

- Vicinity Map
- Site Plan
- Existing Hydrology Basins Display Map
- Proposed Hydrology Basins Display Map
- FEMA Map
- NOAA Precipitation Estimate

INTRODUCTION

The following report contains the hydrologic analysis for the 45 Unit Ruby Mountain Peaks Subdivision located in Elko, Nevada. The proposed project occupies 10.00-acre site, the site is currently bear with predominant sagebrush and native grass cover over the entire existing site. (Refer to Appendix A - Site Map). The proposed site is surrounded by existing subdivision development to the north and east and native ground to the south and west of the site. The project will consist of a 2.10 acres of Right-of-Way space offered for dedication and the remainder 7.90 acres to be utilized for residential homes. (refer to Appendix for proposed Site Plan).

The site is bound by the following:

North: Existing subdivide land / residential homes (Existing)

South: Existing native land / sagebrush and other native grasses

East: Existing subdivide land / residential homes (Existing)

West: Existing native land / sagebrush and other native grasses

The site topography is slightly steep with slopes ranging from 2.0% to 5.0% with ground cover consisting mostly of bare soil with grasses and shrubbery. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel Number 32007C5608E effective as of 9/4/2013, the subject property is outside the 100 year flood zone limits.

The purpose of this report is to analyze the existing and proposed conditions of the subject property based on the 5-year and 100-year peak flow events. The report contains the following sections: (1) Methodology, (2) Existing Hydrology, (3) Proposed Hydrology, and (4) Conclusion.

HYDROLOGY METHODOLOGY

The hydrology was determined by using the Rational Method. The parameters for this method of analysis are:

- 1. The Drainage Area
- 2. Time of Concentration
- 3. Runoff Coefficient
- 4. Rainfall Intensity

The time of concentration is calculated based on two equations:

$$t_c = t_I + t_t$$

Where:

 t_t = the travel time in ditch, channel, gutter, storm drain, etc. (ft)

$$t_{t} = \frac{L}{60V}$$

Where:

L = length of ditch, channel, gutter, etc.

V = velocity of flow

and:

 t_I = initial overland flow time (ft)

$$t_i = \frac{1.8(1.1 - R)L^{1/2}}{S^{1/3}}$$

Where:

L = length of overland flow

R = rational coefficient, C5

S = average overland slope

and:

$$t_c = \frac{L}{180} + 10$$

Where:

L = length of basin

Peak runoff is calculated using the following equation:

$$Q = C I A$$

Where:

Q = Peak Runoff

C = Coefficient of Runoff

I = Rainfall Intensity (in/hr)

A = Total Area (acres)

Due to short travel times for runoff, on the project site, Rainfall intensity (I) is determined from the time of concentration = (10 minutes minimum), and the NOAA Atlas 14, Volume 1 for Elko, Nevada.

For Tc = 10 minutes the rainfall intensities are as follows:

$$I(5) = 1.57 \text{ in/hr}$$

 $I(100) = 3.86 \text{ in/hr}$

Runoff coefficients, C, were obtained from the Land Development Handbook resulting in a 5-year coefficient of 0.35 and a 100-year coefficient of 0.50, for existing conditions (Undeveloped Range) and a 5-year coefficient of 0.80 and a 100-year coefficient of 0.95 for Asphalt surfaces and a 5-year coefficient of 0.30 and a 100-year coefficient of 0.50 for post development conditions (Residential / Single Family).

EXISTING HYDROLOGY

For subdivision site in the existing state, the site was analyzed as six (1) on-site existing sub-basins. The rational method analysis was performed on each sub-basin to determine peak runoff. Basin #1 is a localized and the runoff will sheet flow and discharge into an existing 36" SD Pipe located at the northeast corner of the property. This storm drain pipe ties into the City of Elko storm drain system.

Table 1 – Existing 5-Year Runoff and Table 2 - Existing 100-Year Runoff show each sub-basin's peak runoff and collection point. Appendix – Existing Hydrology Basins Display Map shows the existing hydrologic sub-basins and rational method information for the site.

TABLE 1 - EXISTING 5-YEAR RUNOFF									
Sub-Basin	Coefficient	Intensity (in/hr)	Area (Ac)	Runoff (cfs)	Collection Point				
EX #1	0.40	1.57	10.00	6.30	Ex. 24" SD Pipe				
TOTAL			10.00	6.30					

TABLE 2 - EXISTING 100-YEAR RUNOFF									
Sub-Basin	Coefficient	Intensity (in/hr)	Area (Ac)	Runoff (cfs)	Collection Point				
EX #1	0.50	3.86	10.00	19.30	Ex. 24" SD Pipe				
TOTAL			10.00	19.30					

PROPOSED HYDROLOGY

The developed site was analyzed with two (2) on-site sub-basins. The rational method analysis was performed on each sub-basin to determine peak runoff. Sub-Basin #1 discharges into an existing Catch basin on-site, this area consists of all hard surfaces on site which includes asphalt, curb, gutter and sidewalk. Sub-Basin #2 also discharges into an existing catch basin on-site this area consists of all residential housing on the site.

Appendix – Proposed Hydrology Basins Display Map shows the proposed hydrologic sub-basins and rational method information for the site.

TABLE 3 - PROPOSED 5-YEAR RUNOFF									
Sub-Basin	Coefficient	Intensity (in/hr)	Area (Ac)	Runoff (cfs)	Collection Point				
P #1	0.95	1.57	2.10	3.13	New Dual Type 4R CATCH BASIN				
P #2	0.45	1.57	7.90	5.58	New Dual Type 4R CATCH BASIN				
TOTAL			10.00	8.71					

TABLE 4 - PROPOSED 100-YEAR RUNOFF											
Sub-Basin	Coefficient	Intensity (in/hr)	Area (Ac)	Runoff (cfs)	Collection Point						
					New Dual Type 4R						
P #1	0.95	3.86	2.10	7.70	CATCH BASIN						
					New Dual Type 4R						
P #2	0.47	3.86	7.90	14.35	CATCH BASIN						
TOTAL			10.00	22.05							

CONCLUSIONS

All the existing and proposed runoff drain into the existing 24" Storm Drain pipe located to the south of the property. The existing 24" SD pipe has sufficient capacity to handle the increase in runoff from the 5 year and the 100-year storm events.

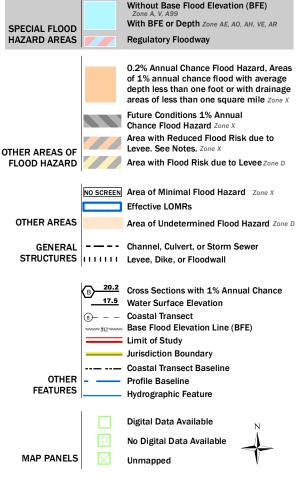
The difference in flows for the 5-year storm event between the existing and proposed conditions is an increase of 2.40 cfs and the difference in flows for the 100-year storm event between the existing and proposed conditions is an increase of 2.75 cfs. For a 10-minute time of concentration and 10 minutes to drain the site, it is estimated that 2,880 cubic feet of storage is required for a 5 year storm event. For a 100-year event it is estimated that 3,300 cubic feet of storage is required. The on-site detention storage provided has a capacity of 3,750 cubic feet, the proposed detention basin using 3 - 48" dia. underground pipes on the site, this would allow for the peak flow to be detained before entering the existing 24" storm drain pipe crossing mountain city highway. A 12" pipe sloping 0.5% grade will allow a controlled outlet of storm water as not to increase the new flow into the existing storm drain system.

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

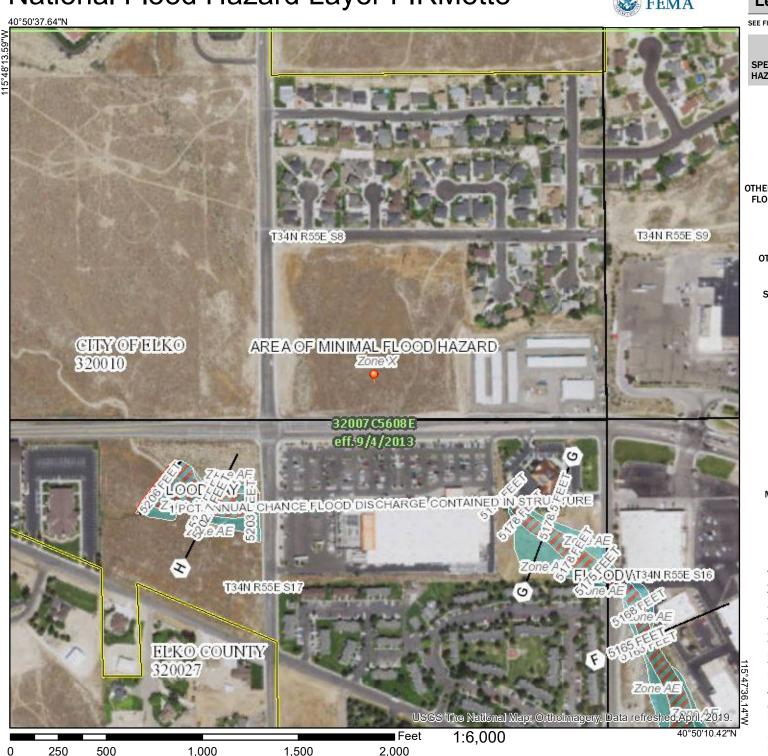


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/12/2019 at 1:07:51 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



NOAA Atlas 14, Volume 1, Version 5 ELKO FCWOS Station ID: 26-2573



Location name: Elko, Nevada, USA*
Latitude: 40.825°, Longitude: -115.7917°
Elevation:



Elevation (station metadata): 5050 ft**

* source: ESRI Maps

** source: USGS

POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sarah Dietz, Sarah Heim, Lillian Hiner, Kazungu Maitaria, Deborah Martin, Sandra Pavlovic, Ishani Roy, Carl Trypaluk, Dale Unruh, Fenglin Yan, Michael Yekta, Tan Zhao, Geoffrey Bonnin, Daniel Brewer, Li-Chuan Chen, Tye Parzybok, John Yarchoan

NOAA, National Weather Service, Silver Spring, Maryland

PF tabular | PF graphical | Maps & aerials

PF tabular

D	based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹ Average recurrence interval (years)											
Duration	1	2	5	10	25	50	100	200	500	1000		
5-min	1.16 (0.924-1.57)	1.49 (1.19-2.02)	2.06 (1.61-2.81)	2.58 (2.00-3.50)	3.42 (2.59-4.69)	4.20 (3.08-5.81)	5.08 (3.62-7.06)	6.14 (4.26-8.56)	7.82 (5.16-10.9)	9.32 (5.92-13.1)		
10-min	0.888 (0.708-1.19)	1.13 (0.906-1.54)	1.57 (1.22-2.14)	1.96 (1.52-2.66)	2.60 (1.97-3.57)	3.20 (2.35-4.42)	3.86 (2.76-5.36)	4.67 (3.24-6.51)	5.95 (3.92-8.29)	7.09 (4.50-9.95)		
15-min	0.732 (0.584-0.988)	0.940 (0.748-1.27)	1.30 (1.01-1.76)	1.62 (1.26-2.20)	2.15 (1.63-2.95)	2.64 (1.94-3.66)	3.19 (2.28-4.44)	3.86 (2.68-5.38)	4.92 (3.24-6.85)	5.86 (3.72-8.22)		
30-min	0.492 (0.392-0.664)	0.632 (0.504-0.854)	0.872 (0.680-1.19)	1.09 (0.848-1.48)	1.45 (1.10-1.99)	1.78 (1.31-2.46)	2.15 (1.54-2.99)	2.60 (1.80-3.62)	3.31 (2.18-4.61)	3.95 (2.50-5.54)		
60-min	0.305 (0.243-0.411)	0.391 (0.312-0.528)	0.540 (0.421-0.735)	0.674 (0.525-0.918)	0.897 (0.680-1.23)	1.10 (0.809-1.52)	1.33 (0.950-1.85)	1.61 (1.12-2.24)	2.05 (1.35-2.86)	2.44 (1.55-3.43)		
2-hr	0.200 (0.168-0.252)	0.255 (0.210-0.322)	0.338 (0.277-0.427)	0.412 (0.334-0.526)	0.528 (0.418-0.680)	0.630 (0.488-0.824)	0.747 (0.566-0.976)	0.884 (0.655-1.17)	1.09 (0.778-1.47)	1.28 (0.883-1.75)		
3-hr	0.151 (0.127-0.188)	0.191 (0.159-0.238)	0.248 (0.206-0.313)	0.298 (0.244-0.382)	0.375 (0.300-0.483)	0.440 (0.347-0.574)	0.513 (0.396-0.677)	0.605 (0.455-0.803)	0.745 (0.542-1.00)	0.872 (0.615-1.19)		
6-hr	0.099 (0.086-0.118)	0.123 (0.105-0.147)	0.155 (0.133-0.188)	0.184 (0.157-0.223)	0.225 (0.187-0.276)	0.260 (0.214-0.320)	0.297 (0.241-0.368)	0.338 (0.269-0.422)	0.397 (0.307-0.502)	0.460 (0.347-0.602		
12-hr	0.062 (0.054-0.071)	0.078 (0.068-0.091)	0.099 (0.086-0.116)	0.116 (0.100-0.136)	0.140 (0.120-0.165)	0.160 (0.135-0.190)	0.180 (0.150-0.215)	0.202 (0.166-0.243)	0.233 (0.188-0.286)	0.258 (0.204-0.321		
24-hr	0.038 (0.035-0.042)	0.048 (0.043-0.054)	0.061 (0.055-0.068)	0.072 (0.065-0.080)	0.086 (0.078-0.096)	0.098 (0.087-0.109)	0.110 (0.098-0.123)	0.123 (0.108-0.137)	0.140 (0.122-0.156)	0.154 (0.133-0.172		
2-day	0.022 (0.020-0.024)	0.027 (0.025-0.030)	0.034 (0.031-0.038)	0.040 (0.036-0.044)	0.048 (0.044-0.053)	0.055 (0.049-0.060)	0.061 (0.055-0.067)	0.068 (0.060-0.075)	0.077 (0.068-0.085)	0.085 (0.074-0.093		
3-day	0.016 (0.014-0.017)	0.020 (0.018-0.022)	0.025 (0.023-0.027)	0.029 (0.026-0.032)	0.035 (0.031-0.038)	0.039 (0.035-0.043)	0.044 (0.039-0.048)	0.049 (0.043-0.054)	0.055 (0.049-0.061)	0.061 (0.053-0.067		
4-day	0.013 (0.012-0.014)	0.016 (0.015-0.017)	0.020 (0.018-0.022)	0.023 (0.021-0.026)	0.028 (0.025-0.031)	0.032 (0.029-0.035)	0.035 (0.032-0.039)	0.039 (0.035-0.043)	0.044 (0.039-0.049)	0.049 (0.042-0.054		
7-day	0.008 (0.008-0.009)	0.011 (0.010-0.012)	0.013 (0.012-0.015)	0.016 (0.014-0.017)	0.018 (0.017-0.020)	0.021 (0.019-0.023)	0.023 (0.021-0.025)	0.026 (0.023-0.028)	0.029 (0.026-0.032)	0.031 (0.028-0.035		
10-day	0.006 (0.006-0.007)	0.008 (0.007-0.009)	0.010 (0.009-0.011)	0.012 (0.011-0.013)	0.014 (0.013-0.015)	0.016 (0.014-0.017)	0.018 (0.016-0.019)	0.019 (0.018-0.021)	0.022 (0.020-0.024)	0.024 (0.021-0.026		
20-day	0.004 (0.004-0.004)	0.005 (0.005-0.006)	0.006 (0.006-0.007)	0.007 (0.007-0.008)	0.009 (0.008-0.010)	0.010 (0.009-0.011)	0.011 (0.010-0.012)	0.012 (0.011-0.013)	0.013 (0.012-0.015)	0.014 (0.013-0.016		
30-day	0.003 (0.003-0.004)	0.004 (0.004-0.004)	0.005 (0.005-0.006)	0.006 (0.005-0.006)	0.007 (0.006-0.008)	0.008 (0.007-0.008)	0.008 (0.008-0.009)	0.009 (0.008-0.010)	0.010 (0.009-0.011)	0.011 (0.010-0.012		
45-day	0.003 (0.002-0.003)	0.003 (0.003-0.003)	0.004 (0.004-0.004)	0.005 (0.004-0.005)	0.005 (0.005-0.006)	0.006 (0.005-0.006)	0.006 (0.006-0.007)	0.007 (0.006-0.007)	0.008 (0.007-0.008)	0.008 (0.007-0.009		
60-day	0.002	0.003	0.003 (0.003-0.004)	0.004	0.005	0.005	0.006	0.006	0.007	0.007		

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

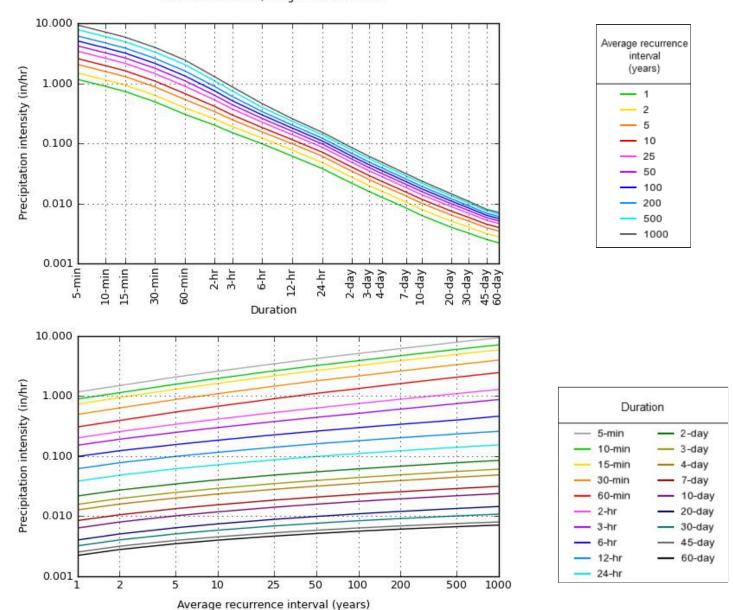
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based intensity-duration-frequency (IDF) curves Latitude: 40.8250°, Longitude: -115.7917°



NOAA Atlas 14, Volume 1, Version 5

Created (GMT): Sat Mar 23 23:07:50 2019

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Maps & aerials

Small scale terrain

HANDBOOK OF HYDRAULICS

Values of n to Be Used with the Manning Equation

Surface	Best	Good	Fair	Bad
Uncoated cast-iron pipe	0.012	0.013	0.014	0.015
Coated cast-iron pipe	0.011	0.012*	0.013*	
Commercial wrought-iron pipe, black.	0.012	0.013	0.014	0.015
Commercial w-wrought-iron pipe, Galvanized	0.013	0.014	0.015	0.017
Smooth brass and glass pipe	0.009	0.010	0.011	0.013
Smooth lockbar and welded "OD" pipe	0.010	0.011*	0.013*	
Riveted and spiral steel pipe	0.013	0.015*	0.017*	
Vitrified sewer pipe	0.010	0.013*	0.015	0.017
	0.011			
Common clay drainage tile.	0.011	0.012*	0.014*	0.017
Glazed brickwork	0.011	0.012	0.013	0.015
Brick in cement mortar; brick sewers.	0.012	0.013	0.015*	0.017
Neat cement surfaces	0.010	0.011	0.012	0.013
Cement mortar surfaces	0.011	0.012	0.013*	0.015
Concrete pipe	0.012	0.013	0.015*	0.016
Wood stave pipe	0.010	0.011	0.012	0.013
Plank Flumes:				
Planed	0.010	0.012*	0.013	0.014
Unplaned	0.011	0.013*	0.014	0.015
With battens	0.012	0.015*	0.016	
Concrete-lined channels	0.012	0.014*	0.016	0.018
Cement-rubble surface	0.017	0.020	0.025	0.030
Dry-rubble surface	0.025	0.030	0.033	0.035
Dressed-ashlar surface	0.013	0.014	0.015	0.017
Semicircular metal flumes, smooth	0.011	0.012	0.013	0.015
Semicircular metal flumes, corrugated	0.0225	0.025	0.0275	0.030
Canals and Ditches:				
Earth, straight and uniform	0.017	0.020	0.0225*	0.025
Rock cuts, smooth and uniform	0.025	0.030	0.033*	0.035
Rock cuts, jagged and irregular	0.035	0.040	0.045	
Winding sluggish canals	0.0225	0.025*	0.0275	0.030
Dredged earth channels	0.025	0.0275*	0.030	0.033
Canals with rough stony beds, weeds				
on earth banks	0.025	0.030	0.035*	0.040
Earth bottom, rubble sides	0.028	0.030*	0.033*	0.035
Natural Stream Channels:				
(1) Clean, straight bank, full stage, no				
Rifts or deep pools	0.025	0.0275	0.030	0.033
(2) Same as (1), but some weeds and stones	0.030	0.033	0.035	0.040
(3) Winding, some pools and shoals, clean	0.033	0.035	0.040	0.045
(4) Same as (3), lower stages, more				
Ineffective slope and sections.	0.040	0.045	0.050	0.055
(5) Same as (3), some weeds and stones	0.040	0.043	0.030	0.050
(3) Same as (3), some weeds and stones	0.033	0.040	0.043	0.030
(6) Same as, (4), stony sections	0.045	0.050	0.055	0.060
(7) Sluggish river reaches, rather	0.043	0.050	0.055	0.000
weeds, or with very deep pools	0.050	0.060	0.070	0.080
(8) Very weedy reaches	0.030	0.100	0.070	0.080
(o) very weekly reactics	0.073	0.100	0.143	0.130

^{*} Values commonly used in designing.

Runoff Coefficients for the Rational Formula by Hydrologic Soil Group and Slope Range												
		Α			В			С			D	
Land Use	0-2%	2-6%	6%+	0-2%	2-6%	6%+	0-2%	2-6%	6%	0-2%	2-6%	6%+
Cultivated Land	0.08 ^a	0.13	0.16	0.11	0.15	0.21	0.14	0.19	0.26	0.18	0.23	0.31
	0.14 ^b	0.18	0.22	0.16	0.21	0.28	0.20	0.25	0.34	0.24	0.29	0.41
Pasture	0.12	0.20	0.30	0.18	0.28	0.37	0.24	0.34	0.44	0.30	0.40	0.50
	0.15	0.25	0.37	0.23	0.34	0.45	0.30	0.42	0.52	0.37	0.50	0.62
Meadow	0.10	0.16	0.25	0.14	0.22	0.30	0.20	0.28	0.36	0.24	0.30	0.40
	0.14	0.22	0.30	0.20	0.28	0.37	0.26	0.35	0.44	0.30	0.40	0.50
Forest	0.05	0.08	0.11	0.08	0.11	0.14	0.10	0.13	0.16	0.12	0.16	0.20
	0.08	0.11	0.14	0.10	0.14	0.18	0.12	0.16	0.20	0.15	0.20	0.25
Residential Lot	0.25	0.28	0.31	0.27	0.30	0.35	0.30	0.33	0.38	0.33	0.36	0.42
Size 1/8 acre	0.33	0.37	0.40	0.35	0.39	0.44	0.38	0.42	0.49	0.41	0.45	0.54
Lot Size 1/4 acre	0.22	0.26	0.29	0.24	0.29	0.33	0.27	0.31	0.36	0.30	0.34	0.40
	0.30	0.34	0.37	0.33	0.37	0.42	0.36	0.40	0.47	0.38	0.42	0.52
Lot Size 1/3 acre	0.19	0.23	0.26	0.22	0.26	0.30	0.25	0.29	0.34	0.28	0.32	0.39
	0.28	0.32	0.35	0.30	0.35	0.39	0.33	0.38	0.45	0.36	0.40	0.50
Lot Size 1/2 acre	0.16	0.20	0.24	0.19	0.23	0.28	0.22	0.27	0.32	0.26	0.30	0.37
	0.25	0.29	0.32	0.28	0.32	0.36	0.31	0.35	0.42	0.34	0.38	0.46
Lot Size 1 acre	0.14	0.19	0.22	0.17	0.21	0.26	0.20	0.25	0.31	0.24	0.29	0.35
	0.22	0.26	0.29	0.24	0.23	0.34	0.28	0.32	0.40	0.31	0.35	0.46
Industrial	0.67	0.68	0.68	0.68	0.68	0.69	0.68	0.69	0.69	0.69	0.69	0.70
	0.85	0.85	0.86	0.85	0.86	0.86	0.86	0.86	0.87	0.86	0.86	0.88
Commercial	0.71	0.71	0.72	0.71	0.72	0.72	0.72	0.72	0.72	0.72	0.72	0.72
	0.88	0.88	0.89	0.89	0.89	0.89	0.89	0.89	0.90	0.89	0.89	0.90
Streets	0.70	0.71	0.72	0.71	0.72	0.74	0.72	0.73	0.76	0.73	0.75	0.78
	0.76	0.77	0.79	0.80	0.82	0.84	0.84	0.85	0.89	0.89	0.91	0.95
Open Space	0.05	0.10	0.14	0.08	0.13	0.19	0.12	0.17	0.24	0.16	0.21	0.28
	0.11	0.16	0.20	0.14	0.19	0.26	0.18	0.23	0.32	0.22	0.27	0.39
Parking	0.85	0.86	0.87	0.85	0.86	0.87	0.85	0.86	0.87	0.85	0.86	0.87
	0.95	0.96	0.97	0.95	0.96	0.97	0.95	0.96	0.97	0.95	0.96	0.97

Source: Kibler, D.F. et.al. 1982. Recommended Jydrologic Procedures for Computing Urban Runoff in Pennsylvania Commonwealth of Pa.

Harrisburg, Pa. Dept. of Environmental Resources.

Reference: Land Development Handbook - Planing, Engineering, and Surveying Dewberry & Davis

^aRunoff coeficients for storm recurrence intervals less than 25 years

^bRunoff coefficients for storm recurrence intervals of 25 years or more

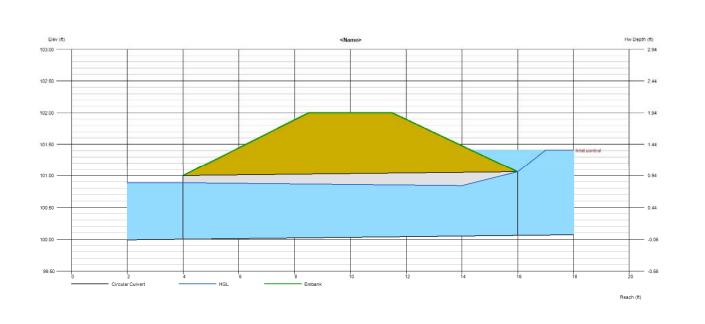
Culvert Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Monday, Jan 13 2020

Circular Culvert

Invert Elev Dn (ft)	= 100.00	Calculations	
Pipe Length (ft)	= 12.00	Qmin (cfs)	= 3.25
Slope (%)	= 0.50	Qmax (cfs)	= 3.25
Invert Elev Up (ft)	= 100.06	Tailwater Elev (ft)	= (dc+D)/2
Rise (in)	= 12.0		
Shape	= Circular	Highlighted	
Span (in)	= 12.0	Qtotal (cfs)	= 3.25
No. Barrels	= 1	Qpipe (cfs)	= 3.25
n-Value	= 0.012	Qovertop (cfs)	= 0.00
Culvert Type	= Circular Concrete	Veloc Dn (ft/s)	= 4.42
Culvert Entrance	Square edge w/headwall (C)	Veloc Up (ft/s)	= 5.00
Coeff. K,M,c,Y,k	= 0.0098, 2, 0.0398, 0.67, 0.5	HGL Dn (ft)	= 100.89
		HGL Up (ft)	= 100.83
Embankment		Hw Elev (ft)	= 101.41
Top Elevation (ft)	= 102.00	Hw/D (ft)	= 1.35
Top Width (ft)	= 3.00	Flow Regime	= Inlet Control
Crest Width (ft)	= 3.00		



RUBY MOUNTAIN	I PEAKS		
FILE NAME = N	J:\DWGS\J82500_BaileyJ	enningsBluffs\BaileyBluffsPL	AT
=========	=======================================	=======================================	=========
ADEA EVIENTOR	:============ ,	=======================================	========
AREA EXTERIOR		=======================================	
START			
INV	N 00°23'32" W	28474701.16 159.64	596449.96
	(TANGENT CURVE RIGHT)	28474860.79	596448.87
• • •	••••••	28474860.89	596463.87
	90°26'48" DELTA		
	15.00 RADIUS		
	23.68 LENGTH		
	21.30 CHORD 15.12 TANGENT		
TANGENT BRG	ID.IZ TANGENT		
TARGERT DIG	N 00°23'32" W		
	S 89°56'44" E		
P.C. TO P.T.	N 44°49'52" E	21.30	
• • •		28474875.89	596463.88
INV	S 89°56'44" E		507202 20
INV	S 00°03'16" W	28474875.19	597203.20
2111		28474209.03	597202.56
INV	S 89°36'28" W		
• • •		28474204.83	596588.56
INV	N 00°23'32" W		
INV	S 89°36'28" W	28474702.08	596585.15
TIVV			596449.96
•••			330443.30
TOTAL DISTANC CLOSING VECTO Closure preci	R N 80°37'37" W 0.004 sion = 1 in 649566		
OUTSIDE ROW			
	=======================================		=========
START			
INV	S 89°56'44" E		
RADIUS POINT	(NON TANGENT CURVE LEF	28474875.74 -T)	596620.94
	-		596620.92

	20.00 RADIUS 31.57 LENGTH 28.39 CHORD 20.16 TANGENT		
	89°56'44" W 00°23'32" E		
P.C. TO P.T. S	44°49'52" W	28.3928474855.61	596600.92
	00°23'32" E	83.68	596601 49
RADIUS POINT (TAN	GENT CURVE LEFT)		
		28474772.07	590021.49
90°0	0'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT		
TANGENT BRG	00°23'32" E		
N	89°36'28" E 45°23'32" E		
	89°36'28" E		
RADIUS POINT (TAN		28474754.80	597019.80
		28474774.80	597019.67
90°0	0'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT		
	89°36'28" E 00°23'32" W		
P.C. TO P.T. N	44°36'28" E		
	00°23'32" W	28474774.93 80.57	59/039.67
RADIUS POINT (TAN		28474855.50	597039.12
•••••		28474855.37	597019.12
89°3: TANGENT BRG	3'12" DELTA 20.00 RADIUS 31.26 LENGTH 28.17 CHORD 19.84 TANGENT		

N	N 00°23'32" W N 89°56'44" W N 45°10'08" W	28.17	
		28474875.37	597019.13
NON-TANGENT LINE			
	89°56'44" E		
	N TANGENT CURVE LEFT	28474875.28	597109.14
•		28474855.28	597109.12
90°2	26'48" DELTA		
	20.00 RADIUS 31.57 LENGTH		
	28.39 CHORD		
	20.16 TANGENT		
TANGENT BRG			
N	l 89°56'44" W		
2	00°23'32" E		
P.C. TO P.T.	3 44°49'52" W	28.39	
• • • • • •		28474855.14	597089.12
INV S	00°23'32" E	460.57	
		28474394.59	597092.27
RADIUS POINT (TAN	•		
• • • • • •	• • • • • • • • • • • • • • • • • • • •	28474394.72	597112.27
1605	57'29" DELTA		
10 3	20.00 RADIUS		
	5.92 LENGTH		
	5.90 CHORD		
	2.98 TANGENT		
TANGENT BRG			
S	5 00°23'32" E		
	5 17°21'00" E		
	08°52'16" E		
		28474388.76	597093.18
•	IGENT CURVE RIGHT)	20474272 26	F07040 60
* * * * * *	• • • • • • • • • • • • • • • • • • • •	28474372.36	597040.68
11 4 °	'02'52" DELTA		
227	55.00 RADIUS		
	109.48 LENGTH		
	92.28 CHORD		
	84.77 TANGENT		
TANGENT BRG			
	17°21'00" E		
	83°18'08" W		
	39°40'26" W		
		28474317.73	597034.27
•	IGENT CURVE LEFT)	20474207 07	F07074 6 4
(.)	• • • • • • • • • • • • • • • • • •	28474297.87	597031.94

07°05'23" DELTA 20.00 RADIUS	
2.47 LENGTH 2.47 CHORD	
1.24 TANGENT	
TANGENT BRG	
N 83°18'08" W	
S 89°36'28" W	
P.C. TO P.T. N 86°50'50" W 2.47	
	.87 597031.80
INV S 89°36'28" W 271.0028474316	01 506760 00
RADIUS POINT (TANGENT CURVE RIGHT)	.01 290/00.80
28474386	.01 596760.32
90°00'00" DELTA	
70.00 RADIUS	
109.96 LENGTH	
98.99 CHORD	
70.00 TANGENT TANGENT BRG	
S 89°36'28" W	
N 00°23'32" W	
P.C. TO P.T. N 45°23'32" W 98.99	
28474385	.53 596690 32
INV N 00°23'32" W 297.00	.55 550050.52
28474682	.53 596688.29
RADIUS POINT (TANGENT CURVE LEFT)	
28474682	.39 596668.29
90°00'00" DELTA	
20.00 RADIUS	
31.42 LENGTH	
28.28 CHORD	
20.00 TANGENT	
TANGENT BRG	
N 00°23'32" W	
S 89°36'28" W	
P.C. TO P.T. N 45°23'32" W 28.28	
28474702	.39 596668.15
INV S 89°36'28" W 46.19	
PARTIE DOTAL (TANCENT CURVE RECUE)	.07 596621.97
RADIUS POINT (TANGENT CURVE RIGHT)28474772	07 506601 40
	.0/ 590021.49
90°00'00" DELTA	
70.00 RADIUS	
100 06 LENCTH	

109.96 LENGTH 98.99 CHORD

70 00 TANGENT

70.00 TANGENT	
TANGENT BRG	
S 89°36'28" W	
N 00°23'32" W	
P.C. TO P.T. N 45°23'32" W 98.99	
**************************************	28474771.59 596551.49
INV N 00°23'32" W 84.38	
RADIUS POINT (TANGENT CURVE LEFT)	284/4855.9/ 596550.91
· · · · · · · · · · · · · · · · · · ·	28474855.83 596530.91
*************************	284/4833.83 390330.91
89°33'12" DELTA	
20.00 RADIUS	
31.26 LENGTH	
28.17 CHORD	
19.84 TANGENT	
TANGENT BRG	
N 00°23'32" W	
N 89°56'44" W	
P.C. TO P.T. N 45°10'08" W 28.17	
•••••••	28474875.83 596530.93
AREA 192797.9 SQUARE FEET 4.426 ACK	RES
TOTAL DISTANCE 2459.27	
CLOSING VECTOR N 44°02'52" W 0.024	
Closure precision = 1 in 101846	
	=======================================
INSIDE ROW	
INSIDE ROW	
INSIDE ROW START	=======================================
INSIDE ROW START	
INSIDE ROW ====================================	28474385.87 596740.32
INSIDE ROW ====================================	=======================================
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT)	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW ====================================	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT)	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT)	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 00°23'32" W N 89°36'28" E	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 00°23'32" W	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 00°23'32" W N 89°36'28" E P.C. TO P.T. N 44°36'28" E 28.28	28474385.87 596740.32 28474682.87 596738.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 00°23'32" W N 89°36'28" E P.C. TO P.T. N 44°36'28" E 28.28 INV N 89°36'28" E 262.00	28474385.87 596740.32 28474682.87 596738.29 28474683.00 596758.29
INSIDE ROW START INV N 00°23'32" W 297.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 00°23'32" W N 89°36'28" E P.C. TO P.T. N 44°36'28" E 28.28 INV N 89°36'28" E 262.00	28474385.87 596740.32 28474682.87 596738.29 28474683.00 596758.29
INSIDE ROW ===================================	28474385.87 596740.32 28474682.87 596738.29 28474683.00 596758.29 28474703.00 596758.15 28474704.80 597020.15
INSIDE ROW ===================================	28474385.87 596740.32 28474682.87 596738.29 28474683.00 596758.29

90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH	
28.28 CHORD 20.00 TANGENT	
TANGENT BRG N 89°36'28" E	
S 00°23'32" E P.C. TO P.T. S 45°23'32" E 28.28	
INV S 00°23'32" E 297.00	597040.28
28474387.94	597042.32
RADIUS POINT (TANGENT CURVE RIGHT)28474387.80	597022.32
90°00'00" DELTA	
20.00 RADIUS 31.42 LENGTH	
28.28 CHORD 20.00 TANGENT	
TANGENT BRG S 00°23'32" E	
S 89°36'28" W P.C. TO P.T. S 44°36'28" W 28.28	
INV S 89°36'28" W 262.00	597022.45
RADIUS POINT (TANGENT CURVE RIGHT)	596760.46
28474386.01	596760.32
90°00'00" DELTA	
20.00 RADIUS	
31.42 LENGTH 28.28 CHORD	
20.00 TANGENT	
TANGENT BRG	
S 89°36'28" W	
N 00°23'32" W	
P.C. TO P.T. N 45°23'32" W 28.28	
28474385.87	596740.32
AREA 101430.6 SQUARE FEET 2.329 ACRES TOTAL DISTANCE 1243.66 CLOSING VECTOR S 59°02'10" W 0.000	
Zero error of closure	
PARCEL A	
START	

INV		596909.55
• • • • • • •	28474317.03	596908.80
• • • • • •	N 89°36'28" E 25.00 28474317.20	596933.80
• • • • • •	5 00°23'32" E 110.00 28474207.20	596934.55
	5 89°36'28" W 25.00	506000 55
• • • • • •		596909.55
TOTAL DISTANCE CLOSING VECTOR S Zero error of clo		
LOT 1		=======================================
		=======
START		596463.88
• • • • • •	WGENT CURVE RIGHT)	596530.93
		596530.91
TANGENT BRG	33'12" DELTA 20.00 RADIUS 31.26 LENGTH 28.17 CHORD 19.84 TANGENT	
	5 89°56'44" E 5 00°23'32" E	
	6 45°10'08" E 28.17	
	28474855.97 5 00°23'32" E 66.98	596550.91
	28474788.99 5 89°36'28" W 102.01	596551.37
INV N	28474788.29 N 00°23'32" W 72.50	596449.36
		596448.87
•	28474860.89	596463.87
TANGENT BRG	26'48" DELTA 15.00 RADIUS 23.68 LENGTH 21.30 CHORD 15.12 TANGENT	

S 89°56'44" E P.C. TO P.T. N 44°49'52" E 21.30 8764.0 SQUARE FEET 0.201 ACRES AREA TOTAL DISTANCE 363.48 CLOSING VECTOR S 12°17'45" E 0.003 Closure precision = 1 in 112572 ______ LOT 2 START 596449.36 N 89°36'28" E INV 102.01 596551.37 INV S 00°23'32" E 17.4028474771.59 596551.49 RADIUS POINT (TANGENT CURVE LEFT)28474772.07 596621.49 62°10'22" DELTA 70.00 RADIUS 75.96 LENGTH 72.29 CHORD 42.20 TANGENT TANGENT BRG S 00°23'32" E S 62°33'53" E S 31°28'42" E 72.29 P.C. TO P.T. NON-TANGENT LINE INV S 27°26'07" W 8.86 596585.15 INV S 89°36'28" W 135.20 596449.96 N 00°23'32" W 87.14 INV 596449.36 9828.9 SQUARE FEET 0.226 ACRES AREA TOTAL DISTANCE 426.57 CLOSING VECTOR N 10°20'36" E 0.004 Closure precision = 1 in 104763 LOT 3 START28474875.70 596668.97 S 00°23'32" E 123.30 INV INV S 89°36'28" W 48.19

	(TANGENT CURVE RIGHT)	28474752.07	596621.63
		28474772.07	596621.49
	90°00'00" DELTA		
	20.00 RADIUS		
	31.42 LENGTH		
	28.28 CHORD		
	20.00 TANGENT		
TANGENT BRG			
	S 89°36'28" W		
	N 00°23'32" W		
P C TO P T	N 45°23'32" W 28.2	28	
			506601 10
	N 00°23'32" W 83.6		330001.43
INV			F06600 00
	(TANGENT CURVE DECUT)	284/4855.61	596600.92
	(TANGENT CURVE RIGHT)		
• •		28474855.74	596620.92
	90°26'48" DELTA		
	20.00 RADIUS		
	31.57 LENGTH		
	28.39 CHORD		
	20.16 TANGENT		
TANCENT DDC	20.10 TANGENT		
TANGENT BRG			
	N 00°23'32" W		
	S 89°56'44" E		
P.C. TO P.T.	N 44°49'52" E 28.3	39	
• •		28474875.74	596620.94
INV	S 89°56'44" E 48.6	93	
• •		28474875.70	596668.97
AREA 825	2.5 SQUARE FEET 0.189 AC	CRES	
	E 366.19		
	DR N 78°33'55" E 0.006		
crosure prec.	ision = 1 in 64398		
LOT 4			
START		20474075 72	F06660 07
••		28474875.70	596668.97
INV	S 89°56'44" E 60.6		
• •		28474875.64	596728.97
INV	S 00°23'32" E 122.8	33	
		28474752.81	596729.81
INV	S 89°36'28" W 60.6		
		28474752.40	596669.81
TAIL			J30003.81
INV	N 00°23'32" W 123.3	-	F0.5.5.0 0=
• •		28474875.70	596668.97

TOTAL DI CLOSING Closure	7384.0 SQUARE FEET 0.170 ACRES STANCE 366.14 VECTOR S 39°19'48" E 0.003 precision = 1 in 126209	
LOT 5		
START		
INV	S 89°56'44" E 60.00	
INV	S 00°23'32" E 122.37	596788.97
INV		596789.81
INV	28474752.81 N 00°23'32" W 122.83	596729.81
	28474875.64	596728.97
CLOSING	7355.9 SQUARE FEET 0.169 ACRES STANCE 365.20 VECTOR N 12°51'25" E 0.008 precision = 1 in 45907	
LOT 6		========
====== START		========
START		596788.97
INV	S 89°56'44" E 60.00 28474875.53	596848.97
INV	S 00°23'32" E 121.90 28474753.63	596849.81
INV	S 89°36'28" W 60.00	
INV	N 00°23'32" W 122.37	596789.81
	28474875.58	596788.97
TOTAL DI CLOSING Closure	7327.9 SQUARE FEET 0.168 ACRES STANCE 364.26 VECTOR S 39°19'48" E 0.003 precision = 1 in 125564	
LOT 7		
START		======
INV	S 89°56'44" E 60.00	
INV	S 00°23'32" E 121.43	
INV		596909.81

INV	N 00°23'32" W 121.9028474875.53	
TOTAL DISTA CLOSING VEC Closure pre	299.8 SQUARE FEET 0.168 ACRES	
LOT 8		
START		
INV	S 89°56'44" E 60.00	
INV	S 00°23'32" E 120.96	596968.98
INV	S 89°36'28" W 60.00	596969.81
INV .	N 00°23'32" W 121.43	596909.81
•		596908.98
TOTAL DISTA	271.7 SQUARE FEET 0.167 ACRES ANCE 362.39 CTOR S 39°19'48" E 0.003	
•	ecision = 1 in 124919	
LOT 9		========
LOT 9		=======================================
LOT 9 START		596968.98
LOT 9 START INV		596968.98
LOT 9 START INV	S 89°56'44" E 50.16	596968.98 597019.13
LOT 9 START INV		596968.98 597019.13
LOT 9 START INV		596968.98 597019.13
LOT 9 START INV RADIUS POIN		596968.98 597019.13
LOT 9 START INV RADIUS POIN TANGENT BRO P.C. TO P.T	28474875.41 S 89°56'44" E 50.16	596968.98 597019.13 597019.12
TANGENT BRO	28474875.41 S 89°56'44" E 50.16	596968.98 597019.13 597019.12

90°6	00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT		
TANGENT BRG			
	5 00°23'32" E 5 89°36'28" W		
	5 44°36'28" W	28.28	
INV S	89°36'28" W		
INV N		28474754.45	596969.81
		28474875.41	596968.98
TOTAL DISTANCE CLOSING VECTOR S Closure precision		L90 ACRES	
LOT 10			=========
START	:===========		========
		28474875.19	597203.20
INV	5 00°03'16" W	79 .11 28474796 .0 8	597203.12
	89°36'28" W	113.60	
	 I 00°23'32" W		59/089.53
		28474855.14	597089.12
•	IGENT CURVE RIGHT)	28474855.28	597109.12
0000	ACLACII DELTA		
	26'48" DELTA 20.00 RADIUS		
	31.57 LENGTH		
	28.39 CHORD		
	20.16 TANGENT		
TANGENT BRG			
	I 00°23'32" W		
	89°56'44" E		
P.C. TO P.T. N	I 44°49'52" E	28.39 28474875.28	597100 11
	89°56'44" E	94.06	
• • • • • •	• • • • • • • • • • • • • • • • • • • •	28474875.19	597203.20
AREA 8974.8 TOTAL DISTANCE	SQUARE FEET 0.2 378.19	206 ACRES	

CLOSING VECTOR S 51°06'14" E 0.009

Closure	precision = 1 in 43559			
LOT 11		=======	=======================================	
START		=======	=======================================	========
INV	S 00°03'16" W		28474796.08	597203.12
INV	S 89°36'28" W	113.13	28474736.07	597203.07
INV	N 00°23'32" W	60.00		597089.94
INV	N 89°36'28" E	113.60		597089.53
CLOSING Closure	6801.8 SQUARE FEET 0.1 STANCE 346.73 VECTOR S 50°40'12" W 0.003 precision = 1 in 119520	L56 ACRES		597203.12
LOT 12	:======================================			
START				
INV	S 00°03'16" W	60.00	28474736.07	
INV	S 89°36'28" W	112.66		597203.01
INV	N 00°23'32" W	60.00		597090.35
INV	N 89°36'28" E	113.13	28474735.30	597089.94
TOTAL DI	6773.8 SQUARE FEET 0.1 STANCE 345.79 VECTOR S 50°40'12" W 0.003 precision = 1 in 119197	L56 ACRES		
LOT 13				
START		========		========
INV	S 00°03'16" W	60.00		597203.01
INV	S 89°36'28" W	112.19	28474616.07	597202.95
INV	N 00°23'32" W	60.00	28474615.30	597090.76
INV	N 89°36'28" E	112.66	28474675.30	597090.35
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • •	28474676.07	597203.01

TOTAL DIS CLOSING \ Closure p	6745.7 SQUARE FEET STANCE 344 /ECTOR S 50°40'12" W 0. Drecision = 1 in 118875	86 003		
LOT 14				
START				
INV	S 00°03'16" W			
INV	S 89°36'28" W			
INV	N 00°23'32" W	60.00	28474555.30	597091.17
INV	N 89°36'28" E	112.19	28474615.30	597090.76
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •	28474616.07	597202.95
TOTAL DIS CLOSING V Closure p	6717.6 SQUARE FEET STANCE 343 ECTOR S 77°08'35" E 0. Precision = 1 in 43232	.92 008		======
LOT 15	:======================================			<u></u>
START				· · · · · · · · · · · · · · · · · · ·
INV	S 00°03'16" W			
INV	S 89°36'28" W			
INV	N 00°23'32" W	60.00	28474495.31	597091.58
INV	N 89°36'28" E	111.73	28474555.30	597091.17
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •	28474556.07	597202.90
TOTAL DIS CLOSING V Closure p	ECTOR S 50°40'12" W 0. recision = 1 in 118230	.99 003		
LOT 16				
START		=======================================		========
INV	S 00°03'16" W			
INV	S 89°36'28" W	110.79	28474436.06	597202.78
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •	28474435.31	597091.99

INV	N 00°23'32" W	60.00	
 INV	N 89°36'28" E	28474495.31	597091.58
		28474496.07	597202.84
TOTAL DISTAN CLOSING VECT Closure prec	1.5 SQUARE FEET CE 342. OR S 50°40'12" W 0.0 ision = 1 in 117907	05	
LOT 17			
	=======================================	=======================================	========
START		28474436.06	F07303 70
	S 00°03'16" W		597202.78
 INV	S 89°36'28" W	28474376.06	597202.72
• •		28474375.33	597095.60
RADIUS POINT	(NON TANGENT CURVE	LEFT)28474372.36	E07040 60
• •	• • • • • • • • • • • • • • • • • • • •	284/43/2.30	597040.68
	14°15'04" DELTA 55.00 RADIUS 13.68 LENGTH 13.64 CHORD		
TANGENT BRG	6.88 TANGENT		
TANGENT BIG	N 03°05'56" W		
	N 17°21'00" W		
P.C. TO P.T.	N 10°13'28" W	13.6428474388.76	F07003 40
RADIUS POINT	(TANGENT CURVE RIGH		597093.18
• •	•	28474394.72	597112.27
	16°57'29" DELTA 20.00 RADIUS 5.92 LENGTH 5.90 CHORD 2.98 TANGENT		
TANGENT BRG	2170 174102117		
	N 17°21'00" W		
P.C. TO P.T.	N 00°23'32" W N 08°52'16" W	5.90	
• •	• • • • • • • • • • • • • • • • • • • •	28474394.59	597092.27
INV	N 00°23'32" W	40.7228474435.31	597001 00
INV	N 89°36'28" E	110.79	J9/031.33
		28474436.06	597202.78
AREA 660	0.5 SQUARE FEET	0.152 ACRES	

TOTAL DISTANCE 338.24 CLOSING VECTOR N 46°24'30" W 0.004 Closure precision = 1 in 78133	
LOT 18	========
=======================================	
START	F07202 72
INV S 00°03'16" W 127.22	59/202./2
28474248.85	597202.60
INV N 52°22'34" W 148.66	
	597084.86
RADIUS POINT (NON TANGENT CURVE LEFT)28474372.36	5970/0 69
***************************************	337040.08
39°39'26" DELTA	
55.00 RADIUS	
38.07 LENGTH 37.31 CHORD	
19.83 TANGENT	
TANGENT BRG	
N 36°33'30" E	
N 03°05'56" W	
P.C. TO P.T. N 16°43'47" E 37.31	
28474375.33	597095.60
NON-TANGENT LINE INV N 89°36'28" E 107.12	
28474376.06	597202.72
100000000000000000000000000000000000000	337202172
AREA 9323.2 SQUARE FEET 0.214 ACRES	
TOTAL DISTANCE 421.07	
CLOSING VECTOR N 70°45'23" E 0.008 Closure precision = 1 in 53787	
======================================	
LOT 19	
START	
TNV 5 00003 16 " H 20 01	597202.60
INV S 00°03'16" W 39.8128474209.03	597202.56
INV S 89°36'28" W 148.02	397202.30
28474208.02	597054.55
INV N 00°23'32" W 110.92	
PARTIE DOTNE (NON TANCENE CHRYF LEFT)	597053.79
RADIUS POINT (NON TANGENT CURVE LEFT)28474372.36	507040 60
	J37070.00
20020106# 251.74	

39°39'26" DELTA 55.00 RADIUS 38.07 LENGTH

37.31 CHORD **19.83 TANGENT** TANGENT BRG N 76°12'56" E N 36°33'30" E P.C. TO P.T. N 56°23'13" E 37.3128474339.60 597084.86 NON-TANGENT LINE INV S 52°22'34" E 148.66 597202.60 13717.4 SQUARE FEET 0.315 ACRES AREA TOTAL DISTANCE 485.48 CLOSING VECTOR N 20°27'25" W 0.005 Closure precision = 1 in 90700 LOT 20 START 597054.55 INV S 89°36'28" W 60.00 596994.55 N 00°23'32" W INV 110.00 596993.80 INV N 89°36'28" E 38.00 597031.80 RADIUS POINT (TANGENT CURVE RIGHT) 597031.94 07°05'23" DELTA 20.00 RADIUS 2.47 LENGTH 2.47 CHORD 1.24 TANGENT TANGENT BRG N 89°36'28" E S 83°18'08" E P.C. TO P.T. S 86°50'50" E 2.47 597034.27 RADIUS POINT (TANGENT CURVE LEFT)28474372.36 597040.68 20°28'55" DELTA 55.00 RADIUS 19.66 LENGTH 19.56 CHORD 9.94 TANGENT

TANGENT BRG

S 83°18'08" E N 76°12'56" E

P.C. TO	P.T. N 86°27'24" E 1		
NON-TAN	GENT LINE	28474318.94	597053.79
INV	S 00°23'32" E 11		
	• • • • • • • • • • • • • • • • • • • •	28474208.02	597054.55
	6595.9 SQUARE FEET 0.151	ACRES	
	ISTANCE 341.06 VECTOR S 60°26'21" E 0.005		
Closure	precision = 1 in 68717		
LOT 21			=========
		=======================================	
START		28474207.61	596994.55
INV	S 89°36'28" W 60	0.00	
INV	N 00°23'32" W 110	28474207.20	596934.55
		28474317.20	596933.80
INV	N 89°36'28" E 66		596993.80
INV	S 00°23'32" E 110	0.00	
	•••••	28474207.61	596994.55
TOTAL D CLOSING Zero er	6600.0 SQUARE FEET 0.152 ISTANCE 340.00 VECTOR S 76°04'06" W 0.000 Por of closure		
LOT 22			
====== START		=======================================	
			596909.55
INV	S 89°36'28" W 60		5060/O EF
INV	N 00°23'32" W 110		330043.33
INV	N 89°36'28" E 60		596848.80
TIAA	• • • • • • • • • • • • • • • • • • • •	28474317.03	596908.80
INV	S 00°23'32" E 110	0.00 28474207.03	E06000 FF
			250505.55
TOTAL D	6600.0 SQUARE FEET 0.152 STANCE 340.00 VECTOR S 76°04'06" W 0.000 Por of closure	ACRES	
LOT 23			========
			========
START			

INV	S 89°36'28" W	28474206.62	596849.55
	• • • • • • • • • • • • • • • • • • • •	28474206.21	596789.55
INV	N 00°23'32" W	110.0028474316.21	596788 - 80
INV	N 89°36'28" E	60.00	
INV	S 00°23'32" E	28474316.62	596848.80
	• • • • • • • • • • • • • • • • • • • •	28474206.62	596849.55
TOTAL DIS CLOSING V Zero erro	6600.0 SQUARE FEET 0 TANCE 340.00 ECTOR S 90°00'00" W 0.000 or of closure		
LOT 24			
START	=======================================		=========
INV	S 89°36'28" W	28474206.21 95.79	596789.55
TNIV		28474205.55	596693.77
INV		122.3428474320.34	596736.10
RADIUS PO	INT (NON TANGENT CURVE LE	FT)28474386.01	506760 33
TANGENT B	20°38'12" DELTA 70.00 RADIUS 25.21 LENGTH 25.08 CHORD 12.74 TANGENT RG S 69°45'20" E N 89°36'28" E T. S 80°04'26" E	25.08	
		28474316.01	596760.80
INV	N 89°36'28" E S 00°23'32" E	28474316.21	596788.80
		28474206.21	596789.55
TOTAL DIS CLOSING V Closure p ======= LOT 25 =======			
START		28474205.55	596693.77

INV	S 89°36'28" W	105.21	
• • • •	• • • • • • • • • • • • • • • • • • • •	28474204.83	596588.56
INV	N 00°23'32" W	75.37 28474280.20	F06F00 04
INV	N 58°26'30" E	· · · · · · · · · · · · · · · · · · ·	596588.04
		28474349.38	596700.67
,	ON TANGENT CURVE L	28474386.01	596760.32
38	°11'50" DELTA 70.00 RADIUS		
	46.67 LENGTH		
	45.81 CHORD		
TANCENT DDC	24.24 TANGENT		
TANGENT BRG	S 31°33'30" E		
	S 69°45'20" E		
P.C. TO P.T.	S 50°39'25" E	45.81	
		28474320.34	596736.10
NON-TANGENT LINE		400.04	
	S 20°14'40" W	122.34	506603 77
			330033.77
	9 SQUARE FEET		
	481.7		
	5 52°53'54" W 0.00 on = 1 in 124048	4	
Closure precision	on = 1 in 124048	4 ====================================	========
Closure precision LOT 26	on = 1 in 124048 	=======================================	
Closure precision LOT 26	on = 1 in 124048 		
Closure precision LOT 26 START	on = 1 in 124048	======================================	=========
Closure precision LOT 26 START INV	on = 1 in 124048 	======================================	 596588.04
Closure precision LOT 26 START INV	on = 1 in 124048 	======================================	 596588.04
Closure precision ===================================	on = 1 in 124048 ===================================	======================================	596588.04 596587.24
Closure precision LOT 26 START INV INV	on = 1 in 124048	======================================	596588.04 596587.24 596690.24
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	On = 1 in 124048	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	on = 1 in 124048 ==================================	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	On = 1 in 124048	======================================	596588.04 596587.24 596690.24 596690.32
Closure precision ===================================	On = 1 in 124048	======================================	596588.04 596587.24 596690.24 596690.32

NON-TANGENT LINE INV S 58°26'30" W 132.18	596700.67
28474280.20	596588.04
AREA 8954.1 SQUARE FEET 0.206 ACRES TOTAL DISTANCE 401.89 CLOSING VECTOR N 13°56'11" W 0.004 Closure precision = 1 in 112967	
LOT 27	·
START	========
INV N 00°23'32" W 60.00	596587.24
INV N 89°36'28" E 103.00	596586.83
INV S 00°23'32" E 60.00	596689.83
INV S 89°36'28" W 103.00	596690.24
28474396.83	596587.24
AREA 6180.0 SQUARE FEET 0.142 ACRES TOTAL DISTANCE 326.00 CLOSING VECTOR S 39°38'28" W 0.000 Zero error of closure	
LOT 28	=======
START	
INV N 00°23'32" W 60.00	
INV N 89°36'28" E 103.00	596586.42
INV S 00°23'32" E 60.00	596689.42
INV S 89°36'28" W 103.00	596689.83
28474456.83	596586.83
AREA 6180.0 SQUARE FEET 0.142 ACRES TOTAL DISTANCE 326.00 CLOSING VECTOR S 39°38'28" W 0.000 Zero error of closure	
LOT 29	
START28474516.82	

INV	N 00°23'32" W		
INV	N 89°36'28" E	28474576.82 103.00	596586.01
INV	S 00°23'32" E	28474577.53 60.00	596689.01
INV		28474517.53	596689.42
••••		28474516.82	596586.42
TOTAL DISTANCE CLOSING VECTOR Zero error of		.142 ACRES	
LOT 30			
START			
INV	N 00°23'32" W	28474576.82 60.00	596586.01
INV	N 89°36'28" E	28474636.82 103.00	596585.60
INV	S 00°23'32" E	28474637.53 60.00	596688.60
INV	S 89°36'28" W		
	• • • • • • • • • • • • • • • • • • • •	28474576.82	596586.01
TOTAL DISTANCE CLOSING VECTOR Zero error of o		.142 ACRES	
LOT 31			
START			
INV	N 00°23'32" W	65.26	596585.60
INV	N 27°26'07" E		
	NON TANGENT CURVE LEF	28474709.94 FT)	596589.24
• • • •	• • • • • • • • • • • • • • • • • • • •	28474772.07	596621.49
TANGENT BRG	7°49'38" DELTA 70.00 RADIUS 34.00 LENGTH 33.66 CHORD 17.34 TANGENT S 62°33'53" E		

P.C. TO P.T.	N 89°36'28" E S 76°28'42" E	33.66	
		28474702.07	596621.97
• • • • •		28474702.39	596668.15
•		28474682.39	596668.29
90 TANGENT BRG	°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT		
	N 89°36'28" E S 00°23'32" E S 45°23'32" E	28.28	
• • • • •		28474682.53	596688.29
• • • •		28474637.53	596688.60
• • • • •	• • • • • • • • • • • • • • • • • • • •	28474636.82	596585.60
	SQUARE FEET 0.	.154 ACRES	
CLOSING VECTOR Closure precisi	S 47°12'40" E 0.006 on = 1 in 51582		
CLOSING VECTOR Closure precisi ======== LOT 32	S 47°12'40" E 0.006 on = 1 in 51582 ==========		
CLOSING VECTOR Closure precisi ======== LOT 32	S 47°12'40" E 0.006 on = 1 in 51582 ==========	=======================================	
CLOSING VECTOR Closure precisi LOT 32 START	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90
CLOSING VECTOR Closure precisi ======== LOT 32 ========= START INV	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90 596738.29
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90 596738.29
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90 596738.29
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90 596738.29
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================		596738.90 596738.29 596758.29
CLOSING VECTOR Closure precisi ===================================	S 47°12'40" E 0.006 on = 1 in 51582 ====================================	28.28	596738.90 596738.29 596758.29

INV		
TOTAL DIS CLOSING V Closure p	/ECTOR N 44°36'28" E 0.004 precision = 1 in 77358	
LOT 33		
START		
INV	N 00°23'32" W 108.50	
INV	N 89°36'28" E 60.00	596799.15
INV	S 00°23'32" E 108.50	596859.15
INV	28474595.20 S 89°36'28" W 60.00	596859.89
	28474594.79	596799.89
TOTAL DIS	6510.0 SQUARE FEET 0.149 ACRES TANCE 337.00 ECTOR S 69°41'23" W 0.000	
Zero erro	or of closure	
LOT 34	=======================================	
LOT 34	=======================================	
LOT 34		596859.89
LOT 34 START		596859.89 596859.15
LOT 34 ======== START INV	N 00°23'32" W 108.5028474703.70	596859.89 596859.15
LOT 34 ======== START INV INV		596859.89 596859.15 596919.15
LOT 34 START INV INV		596859.89 596859.15 596919.15 596919.89
LOT 34 START INV INV INV INV CLOSING Note to be a control of the control of		596859.89 596859.15 596919.15 596919.89 596859.89
LOT 34 START INV INV INV INV CLOSING NA Zero erro LOT 35		596859.89 596859.15 596919.15 596919.89 596859.89
LOT 34 START INV INV INV INV CLOSING NA Zero erro LOT 35		596859.89 596859.15 596919.15 596919.89 596859.89

INV S 00°23'32" E 88.50 INV S 89°36'28" W 61.00 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358	INV				
INV S 00°23'32" E 108.50	TINV S 00°23' 32" E 108.50 28474596.02 596979.89 108.50 28474596.02 596979.89 108.50 28474595.61 596919.89 108.50 28474595.61 596919.89 108.50 28474595.61 596919.89 108.50 28474596.02 28474596.02 28474596.02 28474596.02 28474596.02 28474596.02 28474596.02 28474704.52 28474704.52 28474704.52 28474704.80 597020.15 108.50 28474684.80 597020.15 108.50 28474684.80				596919.15
INV S 89°36′28″ W 60.00 AREA 6510.0 SQUARE FEET 0.149 ACRES TOTAL DISTANCE 337.00 CLOSING VECTOR S 69°41′23″ W 0.000 Zero error of closure	INV S 89°36'28" W 60.00 28474595.61 596919.89 AREA 6510.0 SQUARE FEET 0.149 ACRES TOTAL DISTANCE 337.00 CLOSING VECTOR S 69°41'23" W 0.000 Zero error of closure LOT 36	• • • • •		28474704.52	596979.15
AREA 6510.0 SQUARE FEET 0.149 ACRES TOTAL DISTANCE 337.00 CLOSING VECTOR S 69°41'23" W 0.000 Zero error of closure	AREA 6510.0 SQUARE FEET 0.149 ACRES TOTAL DISTANCE 337.00 CLOSING VECTOR S 69°41'23" W 0.000 Zero error of closure	• • • • •	• • • • • • • • • • • • • • • • • • • •	28474596.02	596979.89
TOTAL DISTANCE 337.00 CLOSING VECTOR S 69°41'23" W 0.000 Zero error of closure	TOTAL DISTANCE				596919.89
LOT 36 START	START	TOTAL DISTANCE CLOSING VECTOR S Zero error of cl	337.00 6 69°41'23" W 0.000 cosure		
START	START INV N 00°23'32" W 108.50				=======================================
INV N 00°23'32" W 108.50	INV N 00°23'32" W 108.50		:======================================		=========
INV N 89°36'28" E 41.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E P.C. TO P.T. S 90°23'32" E 88.50 INV S 00°23'32" E 88.50 INV S 89°36'28" W 61.00 28474596.44 597040.89 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358	INV N 89°36'28" E 41.00 RADIUS POINT (TANGENT CURVE RIGHT) 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E 500°23'32" E 28.28 P.C. TO P.T. S 45°23'32" E 28.28 INV S 00°23'32" E 88.50 INV S 89°36'28" W 61.00 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 START LOT 37 START 151.00 128474595.40 596889.89 INV N 89°36'28" E 151.00	• • • • •			596979.89
RADIUS POINT (TANGENT CURVE RIGHT)	RADIUS POINT (TANGENT CURVE RIGHT) 28474684.80 597020.28 90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E P.C. TO P.T. S 45°23'32" E 88.50 INV S 89°36'28" W 61.00 28474596.44 597040.89 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358	• • • • •	• • • • • • • • • • • • • • • • • • • •	28474704.52	596979.15
90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E 28.28 S 00°23'32" E P.C. TO P.T. S 45°23'32" E P.C. TO P.T. S 45°23'32" E AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ===================================	90°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E 28.28 INV S 00°23'32" E 88.50 28474684.93 597040.28 INV S 89°36'28" W 61.00 28474596.44 597040.89 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358	• • • • •	•••••		597020.15
20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E 28.28	20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT TANGENT BRG N 89°36'28" E S 00°23'32" E P.C. TO P.T. S 45°23'32" E 28.28 INV S 00°23'32" E 88.50 28474684.93 597040.28 INV S 89°36'28" W 61.00 28474596.44 597040.89 INV S 89°36'28" W 61.00 28474596.02 596979.89 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ===================================	•	•	28474684.80	597020.28
INV S 89°36'28" W 61.00	INV S 89°36'28" W 61.00 28474596.44 597040.89 AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358	TANGENT BRG	20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT N 89°36'28" E S 00°23'32" E S 45°23'32" E		597040.28
INV S 89°36'28" W 61.00	INV S 89°36'28" W 61.00		S 00°23'32" E	88.50	
AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ====================================	AREA 6532.7 SQUARE FEET 0.150 ACRES TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ====================================		S 89°36'28" W	61.00	
TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ====================================	TOTAL DISTANCE 330.42 CLOSING VECTOR S 45°23'32" E 0.004 Closure precision = 1 in 77358 ====================================	• • • • •	• • • • • • • • • • • • • • • • • • • •	28474596.02	596979.89
LOT 37 ====================================	LOT 37 ====================================	TOTAL DISTANCE CLOSING VECTOR S Closure precision	330.42 45°23'32" E 0.004 n = 1 in 77358		
START28474595.40 596889.89	START28474595.40 596889.89 INV N 89°36'28" E 151.00				
28474595.40 596889.89	INV N 89°36'28" E 151.00 596889.89		=======================================	=======================================	=========
INV N 89°36°28" E 151.00		• • • • •			596889.89
		TMA			597040.89

INV	S 00°23'32" E	60.00 28474536.44	597041.30
INV	S 89°36'28" W		397041.30
INV	N 00°23'32" W	28474535.40	596890.30
* * * * * * * * * * * * * * * * * * *		28474595.40	596889.89
TOTAL DISTANCE	R S 39°21'45" W 0.00	00	
LOT 38			
START			=========
••••		28474535.40	596890.30
INV	N 89°36'28" E	151.00 28474536.44	597041.30
INV	S 00°23'32" E	60.00	
····	S 89°36'28" W	28474476.44	597041.71
TAB.		28474475.41	596890.71
INV	N 00°23'32" W	60.0028474535.40	596890.30
TOTAL DISTANCE	R S 39°21'45" W 0.00	0.208 ACRES	
TOTAL DISTANCE CLOSING VECTOR	422.0 R S 39°21'45" W 0.00	0.208 ACRES	
TOTAL DISTANCE CLOSING VECTOR Zero error of	422.0 R S 39°21'45" W 0.00	0.208 ACRES	
TOTAL DISTANCE CLOSING VECTOR Zero error of ====================================	422.0 R S 39°21'45" W 0.00 closure	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	
TOTAL DISTANCE CLOSING VECTOR Zero error of LOT 39	422.0 8 S 39°21'45" W 0.00 closure N 89°36'28" E	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	
TOTAL DISTANCE CLOSING VECTOR Zero error of LOT 39 START INV	422.0 R S 39°21'45" W 0.00 closure N 89°36'28" E S 00°23'32" E	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	597041.71
TOTAL DISTANCE CLOSING VECTOR Zero error of ====================================	422.0 8 S 39°21'45" W 0.00 closure N 89°36'28" E S 00°23'32" E	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	597041.71 597042.32
TOTAL DISTANCE CLOSING VECTOR Zero error of ====================================	422.0 8 S 39°21'45" W 0.00 closure N 89°36'28" E S 00°23'32" E	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	597041.71 597042.32
TOTAL DISTANCE CLOSING VECTOR Zero error of LOT 39 START INV INV RADIUS POINT (422.0 R S 39°21'45" W 0.00 closure N 89°36'28" E S 00°23'32" E TANGENT CURVE RIGHT 00°00'00" DELTA 20.00 RADIUS 31.42 LENGTH 28.28 CHORD 20.00 TANGENT	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	597041.71 597042.32
TOTAL DISTANCE CLOSING VECTOR Zero error of ====================================	422.0 R S 39°21'45" W 0.00 closure N 89°36'28" E S 00°23'32" E (TANGENT CURVE RIGHT 20.00 RADIUS 31.42 LENGTH 28.28 CHORD	0.208 ACRES 00 00 00 00 00 00 00 00 00 00 00 00 00	597041.71 597042.32

INV	S 89°36'28" W 4	1.00	
INV	N 00°23'32" W 10		596981.45
	•••••••	28474476.02	596980.71
TOTAL DIS CLOSING V Closure p	6532.7 SQUARE FEET 0.150 TANCE 330.42 ECTOR S 44°36'28" W 0.004 recision = 1 in 77358		=======
LOT 40	=======================================		
START			
INV	S 00°23'32" E 10	28474476.02 8.50	596980.71
INV	S 89°36'28" W 6		596981.45
INV	N 00°23'32" W 10		596921.45
INV	N 89°36'28" E 6	28474475.61 0.00	596920.71
	***************************************	28474476.02	596980.71
TOTAL DIS CLOSING V Zero erro	6510.0 SQUARE FEET 0.149 TANCE 337.00 ECTOR S 75°57'50" W 0.000 r of closure		
LOT 41			
START		=======================================	
INV	S 00°23'32" E 10		596920.71
INV	• • • • • • • • • • • • • • • • • • • •		596921.45
INV	N 00°23'32" W 10	28474366.70 8.50	596861.46
INV		28474475.20 0.00	596860.71
	•••••	28474475.61	596920.71
TOTAL DIS CLOSING V Zero erro ===== LOT 42	ECTOR S 90°00'00" W 0.000 r of closure	ACRES	
START		=======================================	========

INV	S 00°23'32" E		.28474475.20	596860.71
INV	5 89°36'28" W		.28474366.70	596861.46
INV		• • • • • • • • • • • • •	.28474366.29	596801.46
INV			.28474474.79	596800.72
7144			.28474475.20	596860.71
TOTAL DIS CLOSING V Zero erro	6510.0 SQUARE FEET 0.3 TANCE 337.00 ECTOR S 63°26'06" W 0.000 r of closure			
LOT 43				
START	=======================================	=========	=========	=======================================
INV	S 00°23'32" E		.28474474.79	596800.72
INV			.28474366.29	596801.46
DADTIIC DO	INT (TANGENT CURVE RIGHT)		.28474366.01	596760.46
KADIUS PU	INI (TANGENT CORVE RIGHT)		.28474386.01	596760.32
TANGENT B				
	S 89°36'28" W N 00°23'32" W			
P.C. TO P		28.28		
INV	N 00°23'32" W		.28474385.87	596740.32
INV	N 89°36'28" E		.28474474.37	596739.72
			.28474474.79	596800.72
TOTAL DIS CLOSING V Closure p	6532.7 SQUARE FEET 0.3 TANCE 330.42 ECTOR N 45°23'32" W 0.004 recision = 1 in 77358		==========	=======================================
LOT 44	=======================================			
START				
				-

INV	S 00°23'32" E		
INV	S 89°36'28" W	28474475.41 151.00	596890.71
	•••••••	28474474.37	596739.72
INV	N 00°23'32" W	60.0028474534.37	596739.31
INV	N 89°36'28" E	151.00	
	•••••••	28474535.40	596890.30
	9060.0 SQUARE FEET		
	ISTANCE 422.0 VECTOR S 46°22'29" W 0.00		
	ror of closure	-	
=======		=======================================	=======================================
LOT 45			
START		=======================================	==========
		28474595.40	596889.89
INV	S 00°23'32" E		506000 20
INV	S 89°36'28" W	28474535.40 151.00	596890.30
INV		28474534.37	596739.31
TIVV	N 00°23'32" W	28474594.37	596738.90
INV	N 89°36'28" E		
	* * * * * * * * * * * * * * * * * * * *	28474595.40	596889.89
AREA TOTAL DI	200010 000111121		
	VECTOR S 46°22'29" W 0.00		
		-	

Zero error of closure

12-18-2019

RYAN G. COOK

OWNER / DEVELOPER

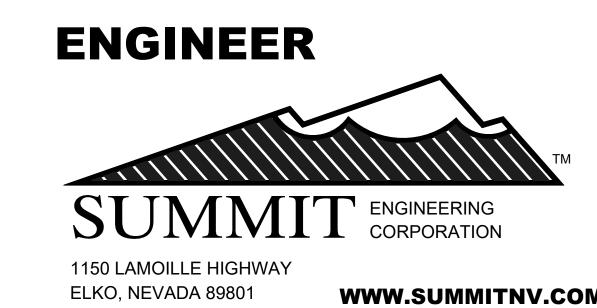
BAILEY AND ASSOCIATES LLC. JON BAILEY 780 WEST SILVER STREET ELKO, NEVADA 89801

ATTN: JON BAILEY 775-385-3659 JBAILEYPE@GMAIL.COM

TENTATIVE MAP FOR RUBY MOUNTAIN PEAKS SUBDIVISION ELKO, NEVADA

ELKO COUNTY

NEVADA



WWW.SUMMITNV.COM (775) 738 - 8058 NITIN@SUMMITNV.COM

REV.	REV. DATE	DESCRIPTION	BY AP	AP
\forall	1/2/20	CITY REVISIIONS	NIB	Z

ANS IMPROVEMENT

DESIGNED BY: NIB CHECKED BY: NIB

 $\mathbf{\Omega}$

SCALE HORIZ: NONE

VERT: NONE JOB NO: 82500

NITIN I. BHAKTA Exp. 12-31-20

PROJECT DATA

TOTAL SUBDIVIDED AREA = 10.00 ACRES TOTAL RIGHT-OF-WAY AREA = 2.10 ACRES (91,562 SF) OFFERED FOR DEDICATION NET AREA ~ (TOTAL AREA - RIGHT-OF-WAY AREA) = 7.90 ACRES

TOTAL UNITS = 45 LOTS ESTIMATED WATER USAGE = 50.40 ACRE FEET PER YEAR ESTIMATED SEWER CONTRIBUTIONS = 15,750 GALLONS PER DAY THIS PROPOSED SUBDIVISION IS LOCATED IN SECTION 8, T 34 N, R 55 E. MDB&M.

ELKO

THE REQUIRED FIRE FLOW FOR THIS DEVELOPMENT WILL BE A MINIMUM OF 1,500 GPM FOR 2 HOURS, FOR RESIDENTIAL TYPE V-B CONSTRUCTION.

BASIS OF BEARINGS

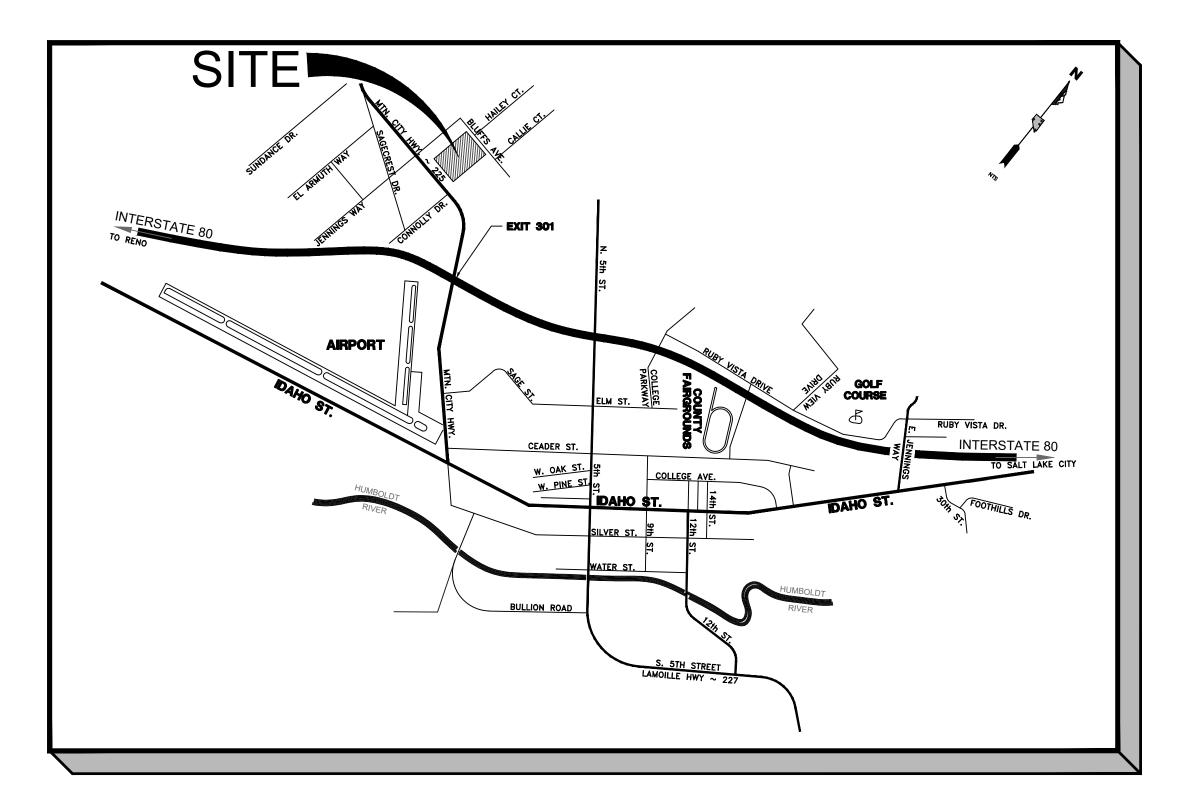
IS THE NORTH PROPERTY LINE OF SAID PARCEL IN SECTION 8 T. 34 N., R. 55 E., M.D.B. & M. TAKEN AS S 89° 56' 44" E

BASIS OF ELEVATION

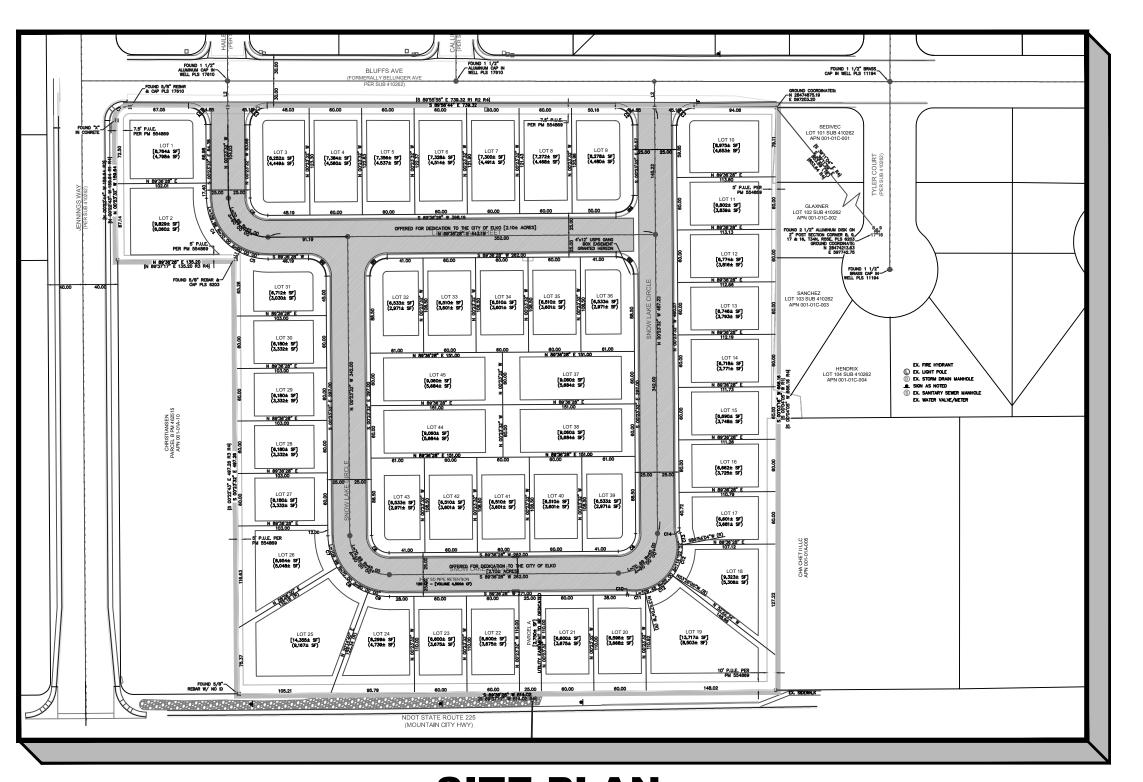
U.S.C. & G.S. BENCHMARK #S141, DATED 1929 **ELVATION REPORTED AS** 5183.54' ABOVE SEA LEVEL

ABBREVIATIONS

A.C.	 ASPHALTIC CONCRETE	M.D.D	 MAXIMUM DRY DENSITY
AGG.	 AGGREGATE	LT.	 LEFT
B.C.	 BEGIN CURVE	L.P.	 LOW POINT
B.F.	 BOTTOM OF FOOTING	M.H.	 MANHOLE
B.V.C.	 BEGIN VERTICAL CURVE	P.	 PAD ELEVATION
B.W.	 BACK OF SIDEWALK	PCC	 POINT OF COMPOUND CURV.
C.B.	 CATCH BASIN	PI.	 POINT OF INTERSECTION
<u>C</u>	 CENTERLINE	P.R.C.	 POINT OF REVERSE CURVATURE
CONC.	 CONCRETE	P.V.C.	 POLYVINYL CHLORIDE PIPE
CONST.	 CONSTRUCT	P.O.	 PUSH ON
CLR	 CLEARANCE	P.U.E.	 PUBLIC UTILITY EASEMENT
C.P.	 CONCRETE PIPE	Ł	 PROPERTY LINE
C.R.	 CURB RETURN	Q10	 10-YEAR STORM FLOW
D.I.	 DROP INLET	Q100	 100-YEAR STORM FLOW
DET.	 DETAIL	(R)	 RADIAL
E.	 ELECTRICAL	R	 RADIUS
ELEV.	 ELEVATION	REF.	 REFERENCE
E.C.	 END OF CURVE	R.C.P.	 REINFORCED CONCRETE PIPE
E.V.C.	 END OF VERTICAL CURVE	R.P.	 RADIUS POINT
EXIST.	 EXISTING	RT.	 RIGHT
(e)	 EXISTING	R/W	 RIGHT OF WAY
È.G.	 EXISTING GRADE	S	 SLOPE
F.F.	 FINISHED FLOOR	S.G.	 SUBGRADE
F.F.C.	 FRONT FACE OF CURB	S.S.	 SANITARY SEWER
F.G.	 FINISHED GRADE	S.W.	 SIDEWALK
F.H.	 FIRE HYDRANT	STD.	 STANDARD
ŧ.	 FLOW LINE	SHT.	 SHEET
FLG.	 FLANGE	STA.	 STATION
G.	 GAS	S.D.	 STORM DRAIN
G.B.	 GRADE BREAK	T	 TANGENT
GTV.	 GATE VALVE	TELE.	 TELEPHONE
H.C.	 HANDICAPPED	T.C.	 TOP OF CURB
HORIZ.	 HORIZONTAL	T.B.	 THRUST BLOCK
H.P.	 HIGH POINT	TOE	 TOE OF SLOPE
INT.	 INTERSECTION	TOP	 TOP OF SLOPE
I.E.	 INVERT ELEVATION	TYP.	 TYPICAL
L	 LENGTH	V.C.	 VERTICAL CURVE
L.F.	 LINEAL FEET	V.P.I.	 VERT. POINT OF INTERSECTION
L.P.	 LOW POINT	W	 WATER
		Δ	 CURVE DELTA
		—	



VICINITY MAP



SITE PLAN

SHEET INDEX

TITLE SHEET **GENERAL NOTES SHEET** TENTATIVE PLAT JURAT 2-2 TENTATIVE PLAT MAP G-1 **GRADING PLAN** UTILITY PLAN

LAND USE CLASSIFICATION

R1 (RESIDENTIAL SINGLE FAMILY)

ALL LOTS TO CONTAIN A 5.50' UTILITY AND DRAINAGE EASEMEN ALONG THE SIDES AND REAR LOT LINES AND A 7.50' DRAINAGE

SITE INFO:

RANGE 55 EAST IN ELKO, NEVADA

ADJACEN SOUTH - EXISTING COMMERCIAL PROPERTY - HOME DEPOT

EAST - NORTH HALF EXISTING R1 RESIDENTIAL SUBDIVISION LOTS

WEST - EXISTING UNDEVELOPED COMMERCIAL PROPERTY

- SOUTH HALF - EXISTING DEVELOPED COMMERCIAL PROPERTY - STORAGE UNITS

UTILITIES

~ NV ENERGY

TELEVISION ~ SATVIEW BROADBAND LLC TELEPHONE ~ FRONTIER COMMUNICATION ~ SOUTHWEST GAS CORPORATION

WATER ~ CITY OF ELKO SANITARY SEWER ~ CITY OF ELKO

GARBAGE UTILITIES ~ ELKO SANITATION (CITY LANDFILL)

SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, WASHOE COUNTY, AND THE RECOMMENDATIONS ESTABLISHED BY THE SOILS INVESTIGATION FOR THIS SITE

ENGINEER'S STATEMENT

THESE PLANS (SHEETS T-1 OF 6 THROUGH D-1 OF 6) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY CODES, THE CITY CODES SHALL PREVAIL.

LEGEND PROPOSED STORM DRAIN / SANITARY SEWER W/SIZE & DIRECTION INDICATOR — SD 12" EXISTING STORM DRAIN/SANITARY SEWER W/SIZE & DIRECTION INDICATOR SEWER LATERAL AC PAVEMENT AREA CONCRETE AREA (4000 PSI) TYPE 2 BASE GRAVEL AREA (95% MDD) EXISTING AC PAVEMENT GRADE BREAK PROPOSED ELEV. @ FRONT FACE TOP OF CURB PROPOSED ELEV. @ GRADE BREAK PROPOSED ELEV. @ HIGH PT. PROPOSED ELEV. @ FLOW LINE PROPOSED ELEV. @ FINISHED GRADE EXISTING CONTOUR LINE _____ 4900 _____ PROPOSED CONTOUR LINE ACCESSIBLE RAMP → DRAINAGE SWALE FLOW LINE Y CUT OR FILL SLOPE ----- SD ----- EXISTING STORM DRAIN ——— GAS ——— EXISTING GAS PROPOSED FENCE —— TELE—— EXISTING TELEPHONE ----- OE ----- EXISTING ELECTRIC OVERHEAD LINE — WTR — EXISTING WATERLINE ----- SS ----- EXISTING SANITARY SEWER BACKFLOW PREVENTOR CHECK VALVE CHECK VALVE-DOUBLE FLUSH VALVE METER-DUAL METER-SINGLE REDUCER SERVICE-DUAL $\overline{}$ SERVICE-SINGLE TEE VALVE EX ELECTRIC VAULT/BOX EXISTING TEELPHONE PEDESTAL EXISTING LIGHT

EXISTING SIGN PROPOSED SIGN PROPOSED SS CLEANOUT EXISTING FIRE HYDRANT CAP W/ THRUST BLOCK 11.25° ELBOW 22.5° ELBOW 45° ELBOW 90° ELBOW ELECTRIC PULL BOX

WATER VALVE (HOLLOW IF EXISTING) EXISTING GAS VALVE EXISTING METER PIT SS & SD MANHOLE (HOLLOW IF EXISTING) CATCH BASIN (HOLLOW IF EXISTING) FIRE SERVICE

RIPRAP EROSION CONTROL

PROPOSED FIRE HYDRANT

PARKING LOT LIGHT

PROPOSED MONUMENT

O TYPE 7 STREET LIGHT

PROPOSED WTR METER VAULT

GENERAL NOTES

- 1. THE CONTRACTOR SHALL VERIFY IN THE FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE), ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 2. THE CONTRACTOR SHALL KEEP A REDLINE SET OF AS-BUILTS PLANS ON-SITE AND WORK WITH THE PROJECT ENGINEER AT COMPLETION TO ENSURE ACCURATE AS-BUILT DRAWINGS CAN BE GENERATED AND SUBMITTED TO THE CITY OF ELKO AND THE OWNER BY THE
- 3. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, THE CITY OF ELKO, AND ALL UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ONTACT THE UTILITY COMPANIES FOR LOCATIONS PRIOR TO CONSTRUCTION. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT AT 1.800.227.2600 AT LEAST 48 HOURS PRIOR TO EXCAVATION.
- 5. ALL UTILITY TRENCHES SHALL CONFORM TO SIERRA PACIFIC POWER, SATVIEW BROADBAND LLC, FRONTIER COMMUNICATIONS, AND SOUTHWEST GAS SPECIFICATIONS. CONTRACTOR TO COORDINATE INSTALLATION OF ALLUTILITY TRENCHES WITH LOCAL UTILITIES.
- 6. CONTRACTOR TO OBTAIN AND PAY FOR PERMITS FROM THE CITY OF ELKO PRIOR TO EXCAVATING WITHIN THE CITY RIGHT-OF-WAY.
- 7. AT ALL POINTS WHERE SEWER (SANITARY OR STORM), WATER MAINS AND LATERALS CROSS, VERTICAL AND HORIZONTAL SEPARATION SHALL BE MAINTAINED PER NAC. ENGINEER AND CONTRACTOR TO REFERENCE SECTION 445A.6715 TO SECTION 445A.6718 OF THE NEVADA ADMINISTRATIVE CODE FOR UTILITY SEPARATION AND CLEARANCES.
- 8. ALL SANITARY SEWER MAINS SHALL BE A MIN. OF 8" SDR 35 PVC (GREEN) PIPE. ALL RESIDENTIAL SANITARY SEWER LATERALS SHALL BE A MIN. 4" SDR 35 PVC PIPE WITH A 2% SLOPE MINIMUM UNLESS OTHERWISE SHOWN.
- 9. ALL WATER MAINS SHALL BE MIN. OF 8" THICK CLASS 50 OR PRESSURE CLASS 350 DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT WRAPPED IN (8 MIL VISQUEEN) OR DR 18 C900 PIPE UNLESS OTHERWISE SHOWN. ALL 4"/6" FIRE SPRINKLER LINES SHALL BE DIP OR DR 18 C900 PIPE.
- 10. ALL CONSTRUCTION SHALL CONFORM TO AWWA C-600. MINIMUM COVER OVER THE WATER MAIN SHALL BE 42" WITH TRACE WIRE AND WARNING TAPE.
- 11. THE CITY OF ELKO UTILITY DEPARTMENT SHALL BE CONTACTED TO PERFORM ALL TAPS ONTO CITY OF ELKO UTILITIES.
- 12. THE CITY OF ELKO UTILITY DEPARTMENT SHALL BE CONTACTED FOR AUTHORIZATION TO PLACE ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS INTO SERVICE FOR TESTING OR FINAL ACCEPTANCE.
- 13. ALL WATER SERVICE LINES SHALL BE 2" IRON PIPE SIZE (IPS) RATED 200 PSI POLYETHYLENE DR11 UNLESS OTHERWISE SHOWN.
- 14. BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651, "DISINFECTING WATER MAINS".
- 15. BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS SHALL BE PRESSURE TESTED INACCORDANCE WITH NAC445A.67145.7 (a) AND (b) AND INSPECTED BY THE CITY OF ELKO.
- 16. GRADING AROUND BUILDINGS TO BE DONE IN A MANNER AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ACCORDANCE WITH CITY OF ELKO REQUIREMENTS.
- 17. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- 18. WATER METERS SHALL BE INSTALLED DURING ANY DEVELOPMENT AND PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THE PARCELS SHOWN OR SUBSEQUENT DIVISION OF THE PARCELS SHOWN. WATER AND SEWER THROUGHOUT THE DEVELOPMENT WILL BE DEDICATED TO THE CITY OF ELKO UP TO THE WATER METER LOCATIONS. A BLANKET UTILITY EASEMENT SHALL BE GRANTED THROUGHOUT THE PARKING CORRIDOR.
- 19. ALL EXISTING UTILITY ADJUSTMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 20. ALL EXISTING ASPHALT REMOVAL AND REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 21. ALL LOTS SHALL BE RESTRICTED TO ACCESS OFF OF LIBERTY PEAK & SNOW LAKE PEAK.

Avoid cutting underground

utility lines. It's costly.

1-800-227-2600

UNDERGROUND SERVICE (USA)

STORMWATER POLLUTION PREVENTION NOTES

- 1) THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF THE CITY OF ELKO AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM WATER SYSTEM.
- 2) ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES (BMP) MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE CITY OF ELKO CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- 3) TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVS040000.
- 4) AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS. AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP's WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT SMALL MS4 NVS040000.
- 5) ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT ANTICIPATED STORM EVENT. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.
- 6) REFER TO CITY OF ELKO CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK (PUBLISHED BY THE CITY OF ELKO, DATED DEC. 2015) FOR DETAILS OF ALL BMP'S SHOWN ON THIS PLAN.
- 7) THE BMP'S SHOWN ON THIS PLAN ARE SCHEMATIC ONLY. FINAL BMP SELECTION AND LOCATION SHALL BE DETERMINED BY THE SITE OPERATOR OR THE OWNER'S REPRESENTATIVE.
- 8) THE CONTRACTOR SHALL SUBMIT TO THE NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION (NDEP) FOR STORM WATER DISCHARGE PERMIT. THE CONTRACTOR SHALL SIGN THE NOTICE OF INTENT FOR THE PROPOSED PROJECT.
- 9) ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE GUIDELINES OUTLINED IN THE CITY OF ELKO CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK 2005 EDITION. A COPY OF THIS MANUAL TO BE ON-SITE AT ALL TIMES.
- 10) ALL CONSTRUCTION SHALL CONFORM TO THE 2016 EDITION OF THE "STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION." CONTRACTOR TO KEEP A COPY OF THE SPECIFICATION ON THE JOB SITE AT ALL TIMES

EROSION CONTROL NOTES

- 1. ALL PUBLIC RIGHT OF WAYS LOCATED ADJACENT TO THE SITE (E.G. STREETS AND SIDEWALKS) MUST BE CLEANED DAILY OF ALL SEDIMENT OR WASTES THAT ORIGINATE FROM THE SITE.
- 2. BMPS IN ADDITION TO THOSE INDICATED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE REQUIRED IF THEY DO NOT MEET THE CITY OF ELKO PERFORMANCE STANDARDS.
- 3. TEMPORARY OR PERMANENT STABILIZATION MUST BE APPLIED NO LATER THAN 14 DAYS TO ALL DISTURBED SOILS, INCLUDING STOCKPILES, WHERE CONSTRUCTION ACTIVITY HAS CEASED.
- 4. ALL BMPS MUST BE INSPECTED WEEKLY, PRIOR TO FORECASTED RAIN EVENTS, AND WITHIN 24 HOURS AFTER ANY EVENT THAT CREATES RUNOFF AT THE SITE.
- 5. ACCUMULATED SEDIMENT MUST BE REMOVED FROM BMPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE. SEDIMENT MUST ALSO BE REMOVED WITHIN SEVEN DAYS AFTER A RUNOFF EVENT OR PRIOR TO THE NEXT FORECASTED EVENT, WHICHEVER IS EARLIER.
- 6. ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN ACCORDANCE WITH THE "CITY OF ELKO CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK", DATED DECEMBER 2005, AND AVAILABLE THROUGH THE CITY OF ELKO.
- 7. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL HAVE IN PLACE ALL NECESSARY BEST MANAGEMENT PRACTICES THAT SHALL BE USED TO MINIMIZE DUST, PREVENT EROSION, AND PREVENT POLLUTION LADEN RUNOFF FROM ENTERING THE ADJACENT STORM DRAIN FACILITIES. THE CONTRACTOR SHALL MAINTAIN, REPAIR, REPLACE, SUBSTITUTE, OR SUPPLEMENT BMP'S AT THE CONSTRUCTION SITE AS CONDITIONS WARRANT DURING CONSTRUCTION. BMP'S MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING BMP'S: (1) SILT FENCING OR STRAW WADDLES AT THE DOWNHILL LIMITS OF GRADING, (2) STABILIZED CONSTRUCTION SITE ENTRY/EXIT, (3) PERMANENT SLOPE REVEGETATION ON ALL DISTURBED AREAS, (4) INLET PROTECTION AT EXISTING CATCH BASINS, (5) STOCKPILE MANAGEMENT BMP'S, (6) DUST CONTROL BMP'S, (7) A CONCRETE WASHOUT AREA, AND (8) MEASURES TO PROTECT EXISTING NATIVE VEGETATION.

SIGNAGE & STRIPING NOTES

- 1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, PROJECT SPECIFICATIONS, THESE PLANS, AND THE MOST CURRENT EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 2. PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE INSTALLED AFTER APPLICATION AND CURING OF SLURRY SEAL. ASPHALT SURFACE SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF ANY PARKING LOT STRIPING, SYMBOLS, AND OTHER PAVEMENT MARKINGS.
- 3. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO INSTALLATION OF SIGNAGE.
- 4. SIGNAGE SHOWN ON THIS PLAN DOES NOT INCLUDE TRAFFIC CONTROL THAT MAY BE REQUIRED PRIOR TO AND DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL THAT MAY BE REQUIRED DURING CONSTRUCTION.
- 5. ANY ADDITIONAL SIGNAGE AND STRIPING NEEDED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

SLOPE STABILIZATION

ESTABLISHED.

1) ALL DISTURBBED SLOPES STEEPER THAN 3:1 SHALL BE RIPRAPPED. RIPRAP SHALL BE RUN OF MINE OR UNSCREENED.

2) ALL SLOPES 3:1 OR LESS SHALL BE PLANTED AS FOLLOWS:

- a. HAND SPREAD ENTIRE SEEDED AREA. b. IRRIGATION IS TO MATCH THE AVAILABLE WATER HOLDING CAPACITY OF THE SOIL (AWC) FOR EACH SLOPE TAKING INTO ACCOUNT THE PLANT CONSUMPTIVE USE PLUS A FACTOR FOR IRRIGATION SYSTEM EFFICIENCY. c. PROVIDE TEMPORARY IRRIGATION UNTIL VEGETATION IS
- 3) PROTECT EXISTING AND PROPOSED DRAINAGE INLETS DURING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING DETAILS:
 - STORMDRAIN INLET PROTECTION (BMP DP-3) b. CATCH BASIN FILTERS (BMP- DP-4)

4) MAINTENANCE

- a. EXCLUDE FOOT TRAFFIC AS MUCH AS POSSIBLE DURING PLANT ESTABLISHMENT.
- b. AREAS THAT FAIL TO RESPOND OR BECOME DAMAGED SHOULD BE TREATED AGAIN USING SAME TREATMENT INITIALLY APPLIED

5) RECLAMATION SEED MIX (TOTAL 60 BULK POUNDS PER ACRE):

BULK POUND PER ACRE BITTERBRUSH INDIAN RICEGRASS
GREAT BASIN WILDRYE
COVER SHEEP FESCUE
SODAR STREAMBANK WHEATGRASS ANNUAL RYEGRASS
PURPLE SAGE (SALVIA DORII)
FOUR WING SALTBRUSH

6) FERTILIZER 400/ACRE 16-16-8

7) TOPSOIL AND VEGETATIVE STRIPPINGS SHALL BE STOCKPILED FOR REAPPLICATION TO ALL DISTURBED AREAS.

- 8) PLANTING MIX (A MIXTURE OF THE FOLLOWING COMPONENTS
 - 60% NATURAL SOIL 30% SOIL CONDITIONER / COMPOST 10% AXIS SOIL CONDITIONER

LEGEND



GRAVEL OR SAND BAG BARRIERS (BMP SC-3)



SOLID AND DEMOLITION WASTE MANAGEMENT (BMP GM-3)



RIPRAP MECHANICAL STABILIZATION (BMP EC-7)

FIBER ROLLS (BMP SC-1), SILT FENCE (BMP SC-5), SYNTHETIC SEDIMENT CONTROL ROLLS (BMP SC-11)

STREET SWEEPING (BMP GM-5)

STORM DRAIN OUTLET PROTECTION (BMP DP-2)

RVG REVEGETATION (BMP EC-8)

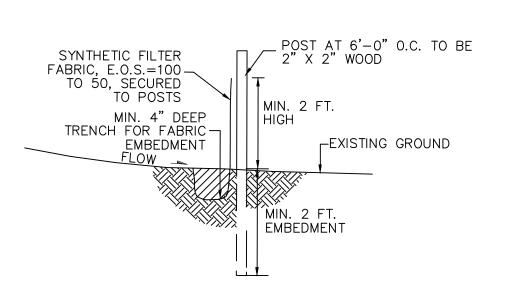
AC PAVEMENT AREA TYPE 2 BASE GRAVE

- 4900 - EXISTING CONTOUR LINE

——— 4900 ——— PROPOSED CONTOUR LINE

95% MDD

BMP'S OUTLINED IN THE CITY OF ELKO CONSTRUCTION SITE BEST MANAGEMENT PRACTICE (BMP) HANDBOOK 2005 EDITION

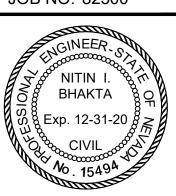


SILT FENCE

ANS $\mathbf{\Omega}$ Z AX VEME Ó IMPR 0 \circ $\mathbf{\Omega}$ R

DESIGNED BY: NIB CHECKED BY: NIB SCALE

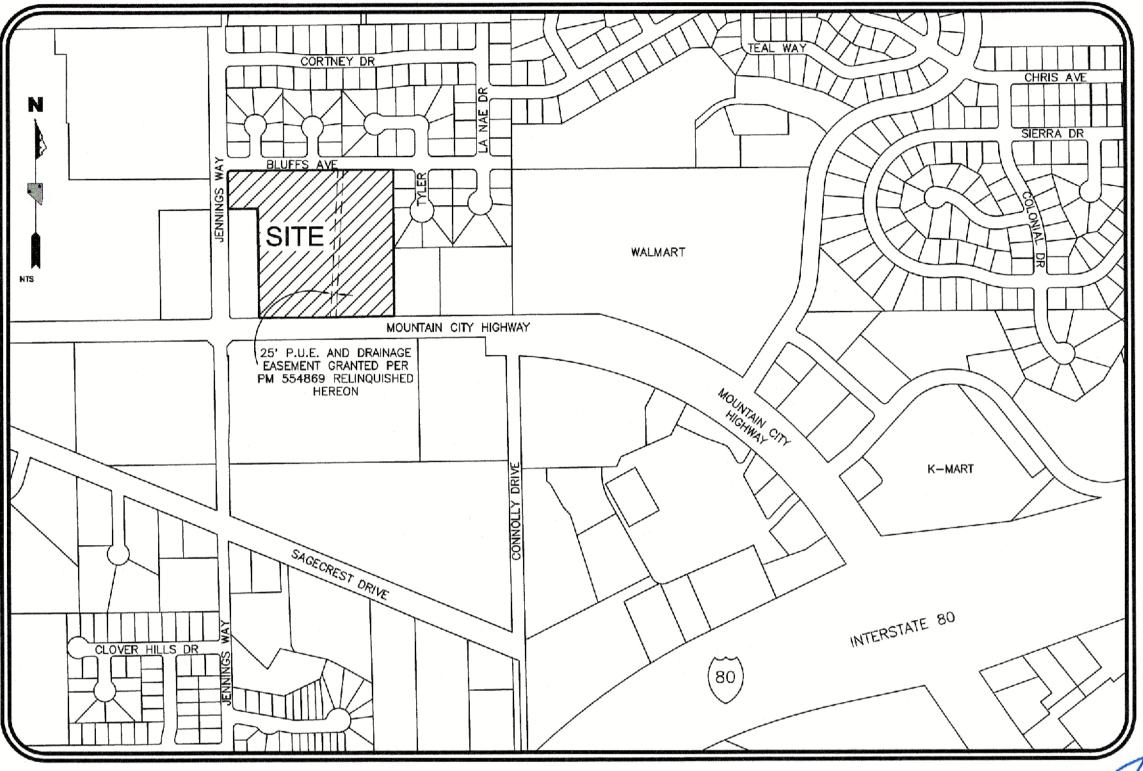
HORIZ: 1"=40' VERT: NONE JOB NO: 82500 JINEER



SHEET

OWNER'S CERTIFICATE: KNOWN OF ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, JON BAILEY, MANAGING MEMBER OF BAILEY & ASSOCIATES, LLC, A NEVADA LIMITED LIABILITY COMPANY, BEING THE OWNER OF THE PARCELS SHOWN ON THIS MAP, DOES HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS MAP AND OFFER FOR DEDICATION ALL OF THE EASEMENTS AND RIGHT-OF-WAYS FOR PUBLIC ACCESS, UTILITY AND DRAINAGE PURPOSES AS DESIGNATED HEREON. NEWCASTLE CIRCLE AND PARCEL A SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF ELKO. IN WITNESS I, JON BAILEY, MANAGING MEMBER OF BAILEY & ASSOCIATES, LLC, A NEVADA LIMITED LIABILITY COMPANY, SET MY HAND THIS _____ DAY OF _____, 2020. DATE MANAGING MEMBER OF BAILEY & ASSOCIATES, LLC. NOTARY PUBLIC CERTIFICATE STATE OF NEVADA COUNTY OF ELKO _____, 2020, PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC, IN SAID COUNTY, JON BAILEY, PERSONALLY KNOWN (OR PROVED) TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE INSTRUMENT WHO ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT AS MANAGING MEMBER OF BAILEY & ASSOCIATES, LLC. NOTARY PUBLIC COUNTY ASSESSOR'S CERTIFICATE: I, KATRINKA RUSSELL, CERTIFY THAT THE ASSESSOR'S PARCEL NUMBERS SHOWN ON THIS PLAT ARE CORRECT AND THAT THE PROPOSED PARCELS ARE A DIVISION OF ASSESSOR'S PARCEL NO. KATRINKA RUSSELL, ELKO COUNTY ASSESSOR COUNTY TREASURER'S CERTIFICATE: I, CHERYL PAUL, CERTIFY THAT ALL PROPERTY TAXES ON PARCEL NO. 001-01A-014 HAVE BEEN PAID CHERYL PAUL, COUNTY TREASURER CITY ENGINEER'S CERTIFICATE: I, ROBERT THIBAULT, ENGINEER FOR THE CITY OF ELKO, DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS MAP AND FIND IT SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP WITH ALL APPROVED ALTERATIONS AND THAT ALL PROVISIONS OF N.R.S. 278.010 THROUGH 278.630, INCLUSIVE, AND ALL LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH, AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT AND THAT THE MONUMENTS AS SHOWN ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED. ENGINEER FOR THE CITY OF ELKO NEVADA DIVISION OF ENVIRONMENTAL PROTECTION: THIS FINAL MAP IS APPROVED BY THE DIVISION OF ENVIRONMENTAL PROTECTION OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES AND IS PREDICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR BUREAU OF WATER POLLUTION CONTROL DIVISION OF WATER RESOURCES CERTIFICATE: THIS PLAT IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY, SUBJECT TO REVIEW OF APPROVAL ON FILE IN THIS OFFICE. DIVISION OF WATER RESOURCES DATE

TENTATIVE PLAT OF RUBY MOUNTAIN PEAKS

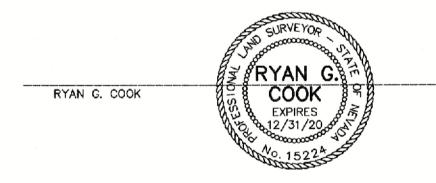


VICINITY MAP

SURVEYOR'S CERTIFICATE:

I, RYAN G. COOK, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA,

- 1. THIS IS A TRUE AND ACCURATE REPRESENTATION OF THE LANDS SURVEYED UNDER MY SUPERVISION AT THE INSTANCE OF BAILEY & ASSOCIATES, LLC, A NEVADA LIMITED LIABILITY
- 2. THE LANDS SURVEYED LIE WITHIN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 34 NORTH, RANGE 55 EAST, M.D.M.
- 3. THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.
- 4. THE MONUMENTS DEPICTED ON THE PLAT WILL BE OF THE CHARACTER SHOWN AND OCCUPY THE INSTALLATION OF THE MONUMENTS.



PLS 15224

BASIS OF BEARINGS:

NATIONAL SPATIAL REFERENCE SYSTEM 2007 (NSRS2007) EPOCH 2007.00 HOLDING THE NGS APRIL, 2008 PUBLISHED LATITUDE, LONGITUDE AND ELLIPSOID HEIGHT OF N40° 51' 36.95230", W115" 45" 34.70450" FOR THE CITY OF ELKO CORS. COORDINATES ARE PROJECTED USING THE NEVADA STATE PLANE COORDINATE SYSTEM, EAST ZONE AND SCALED TO GROUND USING A COMBINED GRID-TO-GROUND FACTOR OF 1.000357. ORTHOMETRIC ELEVATIONS ABOVE MEAN SEA LEVEL ARE DERIVED USING GEOID 12.

- 1. THE TOTAL SUBDIVIDED AREA IS 10.00± ACRES. THE TOTAL AREA OFFERED AS DEDICATED RIGHT-OF-WAY IS 2.10± ACRES. THE TOTAL LOT AREA (45) IS 7.84± ACRES. THE TOTAL PARCEL A ARÉA IS 2,750± SQUARE FEET.
- 2. A PUBLIC UTILITY EASEMENT IS ALSO HEREBY GRANTED WITHIN EACH LOT FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICE FACILITIES TO THAT LOT AND THE RIGHT TO EXIT THAT LOT WITH SAID UTILITY FACILITIES FOR THE PURPOSE OF SERVING OTHER LOTS AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THE TIME OF INSTALLATION AND THE UTILITY COMPANY. IN ADDITION, ALL SIDE PROPERTY LINES SHALL HAVE A PUBLIC UTILITY EASEMENT AND PRIVATE DRAINAGE EASEMENT 10 FEET IN WIDTH CENTERED ABOUT THE PROPERTY LINE. ALSO, ALL REAR PROPERTY LINES SHALL HAVE A PUBLIC UTILITY EASEMENT AND PRIVATE DRAINAGE EASEMENT 5 FEET IN WIDTH LOCATED WITHIN THE LOT, ADJACENT TO THE REAR PROPERTY LINE.
- 3. THE DEVELOPER IS BAILEY & ASSOCIATES, LLC WHOSE ADDRESS IS 780 W. SILVER #104, ELKO, NV 89801 AND WHOSE PHONE NUMBER IS 775-385-3659.
- 4. ALL LOTS SHALL BE RESTRICTED TO ACCESS FROM LIBERTY PEAK & SNOW LAKE PEAK.
- 5. THE NEW USPS GANG BOX EASEMENT WITHIN LOTS 34 & 35 IS GRANTED TO THE UNITED STATES POSTAL SERVICE.

NOTARY PUBLIC CERTIFICATE

STATE OF NEVADA)				May No.	15224
COUNTY OF ELKO)SS)				12-	19-201
THIS INSTRUMENT WAS A	CKNOWLEDGED BE	FORE ME ON THIS	S DAY	OF		, 2020
BY		AS	. 1			OF
FRONTIER, PERSONALLY / THE ABOVE INSTRUMENT.	APPEARED BEFORE	ME, A NOTARY	PUBLIC, WHO A	CKNOWLEDGED	THAT THEY	EXECUTED
NOTARY PUBLIC						

ELKO CITY PLANNING COMMISSION CERTIFICATE:

AT THE REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF ELKO, STATE OF NEVADA, HELD ON THE _____ DAY OF ______, 2020, A TENTATIVE MAP OF THIS SUBDIVISION WAS DULY AND REGULARLY APPROVED PURSUANT TO N.R.S. 278.330 AND THIS FINAL MAP SUBSTANTIALLY COMPLIES WITH SAID TENTATIVE MAP AND ALL CONDITIONS PURSUANT THERETO HAVE BEEN MET.

	 COMMISSION	DATE	

ELKO CITY COUNCIL CERTIFICATE:

AT A REGULAR MEETING OF THE ELKO CITY COUNCIL HELD ON THE _____ DAY OF , 2020, THIS MAP WAS APPROVED FOR SUBDIVISION PURPOSES PURSUANT TO N.R.S. 278.461 THROUGH 278.469, INCLUSIVE, AND ALL APPLICABLE LOCAL ORDINANCES. ALL OFFERS OF DEDICATION SHOWN HEREON WERE ACCEPTED FOR PUBLIC USE.

MAYOR, CITY OF ELKO	DATE
ATTEST: CLERK, CITY OF ELKO	DATE

NV ENERGY CERTIFICATE:

A PUBLIC UTILITY EASEMENT IS HEREBY GRANTED TO NV ENERGY WITHIN EACH PARCEL FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY SERVICE FACILITIES TO THAT PARCEL, WITH THE RIGHT TO EXIT THAT PARCEL WITH SAID UTILITY FACILITIES FOR THE PURPOSE OF SERVING ADJACENT PARCELS, AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THE TIME OF INSTALLATION AND THE UTILITY COMPANY, AND DO HEREBY RELINQUISH THE 25' PUBLIC UTILITY AND DRAINAGE EASEMENT GRANTED PER PARCEL MAP 554869, SHOWN AS "RELINQUISHED

S F L F F F F F F F F F F F F F F F F F		HEREBY GRANTED TO STALLING AND MAINTAIN PARCEL WITH SAID UD DO HEREBY RELINQUIS MAP 554869, SHOWN AS STATEMENT OF THE SHORT THE 25' PUBLIC UT RELINQUISHED HEREON	NG SERVICE FACILITI ITILITY FACILITIES FOO SH THE 25' PUBLIC US "RELINQUISHED HEI DATE RESPECTIVE PUBLIC LITY AND DRAINAGE	ES TO THAT PARCEL, OR THE PURPOSE OF JTILITY AND DRAINAGE REON."	
\$ F 1 1 1 1 1 1 1 1 1	SOUTHWEST GAS CORPORATION PRINTED NAME UTILITY COMPANIES THE PUBLIC UTILITY EASEMENTS, BELOW, AND DO HEREBY RELINQUI PARCEL MAP 554869, SHOWN AS FRONTIER BY: NOTARY PUBLIC CI STATE OF NEVADA	S CERTIFICAT ARE APPROVED BY THE ISH THE 25' PUBLIC UTI "RELINQUISHED HEREON	DATE E: RESPECTIVE PUBLIC LITY AND DRAINAGE DATE	TILITIES EXECUTED	
F	PRINTED NAME	ARE APPROVED BY THE ISH THE 25' PUBLIC UTI "RELINQUISHED HEREON	E: RESPECTIVE PUBLIC LITY AND DRAINAGE ." DATE	UTILITIES EXECUTED EASEMENT GRANTED P	ER
	UTILITY COMPANIES THE PUBLIC UTILITY EASEMENTS, BELOW, AND DO HEREBY RELINQUI PARCEL MAP 554869, SHOWN AS FRONTIER BY: SATVIEW BROADBAND BY: NOTARY PUBLIC CI STATE OF NEVADA	ARE APPROVED BY THE ISH THE 25' PUBLIC UTI "RELINQUISHED HEREON	RESPECTIVE PUBLIC LITY AND DRAINAGE ." DATE	UTILITIES EXECUTED EASEMENT GRANTED P	ER
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; ;	SATVIEW BROADBAND BY: NOTARY PUBLIC CI STATE OF NEVADA	ERTIFICATE			
1	BY: NOTARY PUBLIC CI STATE OF NEVADA	ERTIFICATE	DATE		
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5					
-	COUNTY OF ELKO THIS INSTRUMENT WAS ACKNOWLEE) SS)	HIS DAY OF		2020
E.	BYSIERRA PACIFIC POWER COMPANY				
OF NEW 2019	NOTARY PUBLIC				
020,	NOTARY PUBLIC C	ERTIFICATE			
	COUNTY OF ELKO)			
	THIS INSTRUMENT WAS ACKNOWLED				
	BY	ERSONALLY APPEARED E INSTRUMENT.	EFORE ME, A NOTARY	PUBLIC, WHO ACKNO	OF WLEDGED
i	NOTARY PUBLIC				
;	NOTARY PUBLIC C STATE OF NEVADA COUNTY OF ELKO	ERTIFICATE))ss)			
	THIS INSTRUMENT WAS ACKNOWLE	DGED BEFORE ME ON T	HIS DAY OF		, 2020
	BY	APPEARED BEFORE ME			
	NOTION DUST 10				
	NOTARY PUBLIC				
			TENTATIV		

ROBA MOONTAIN LEAKS SUBDIVISION

A DIVISION OF PARCEL 2 OF PARCEL MAP 554869 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 34 NORTH, RANGE 55 EAST, MDM

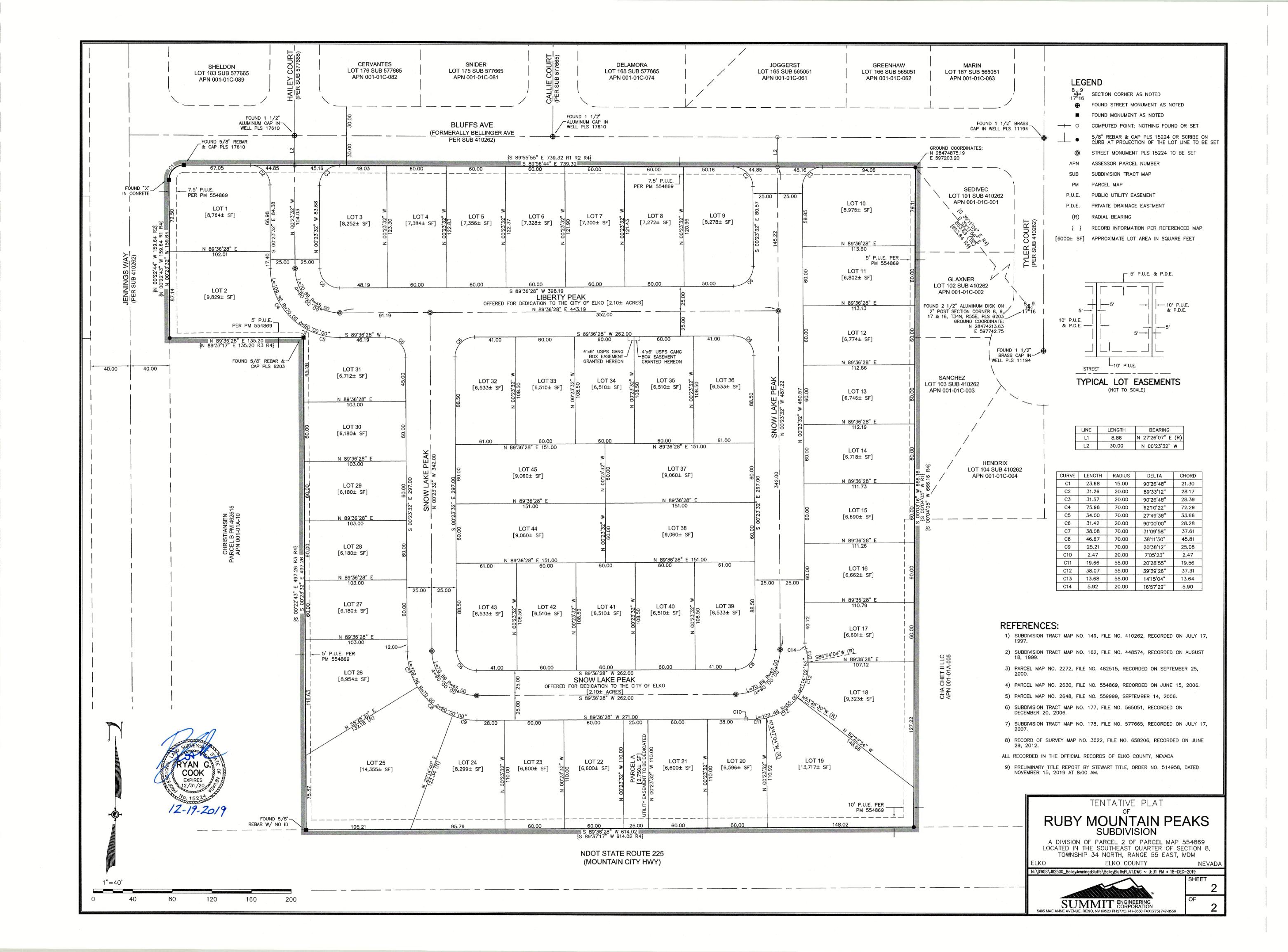
FILED AT THE REQUEST OF

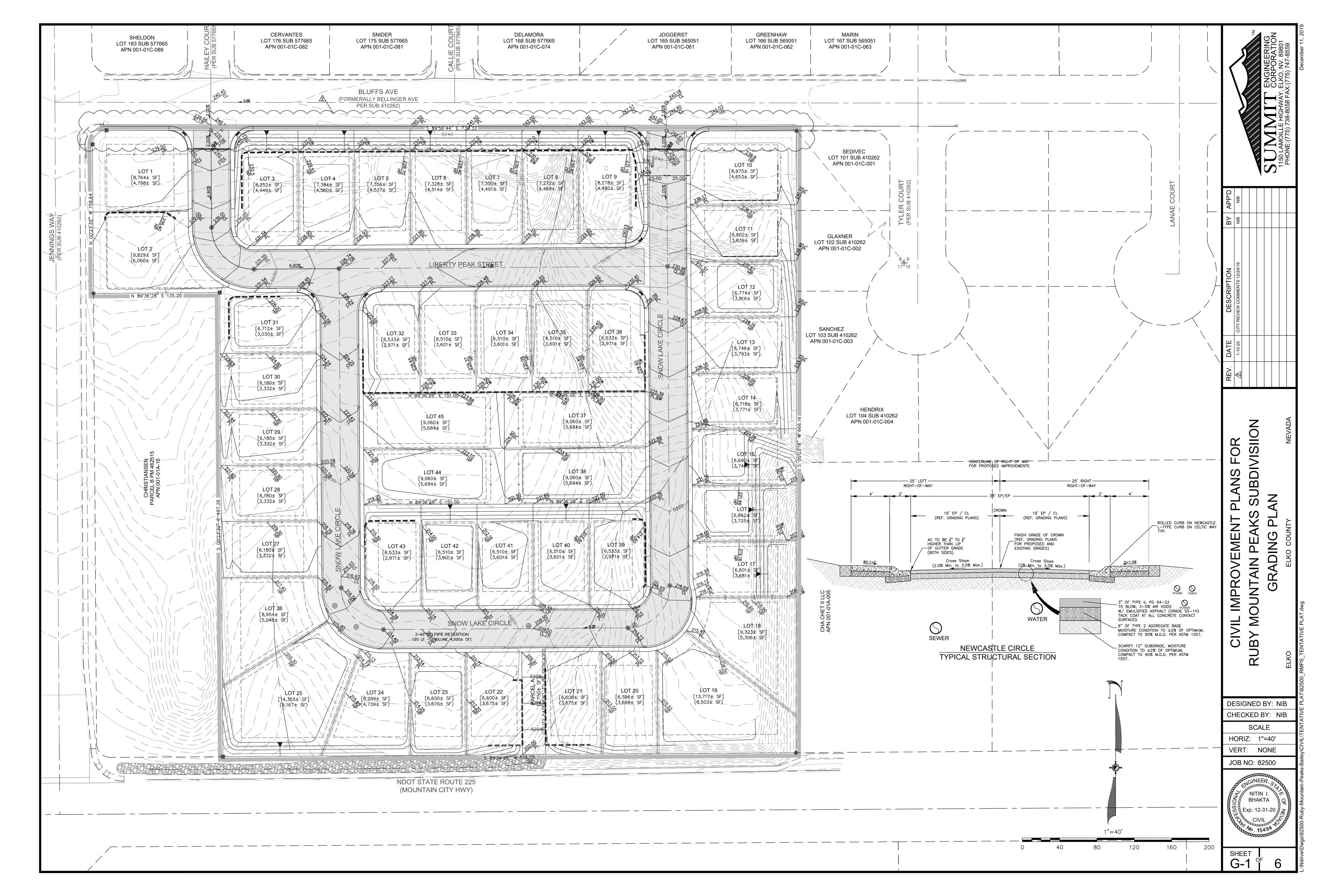
SUMMIT ENGINEERING CORP.

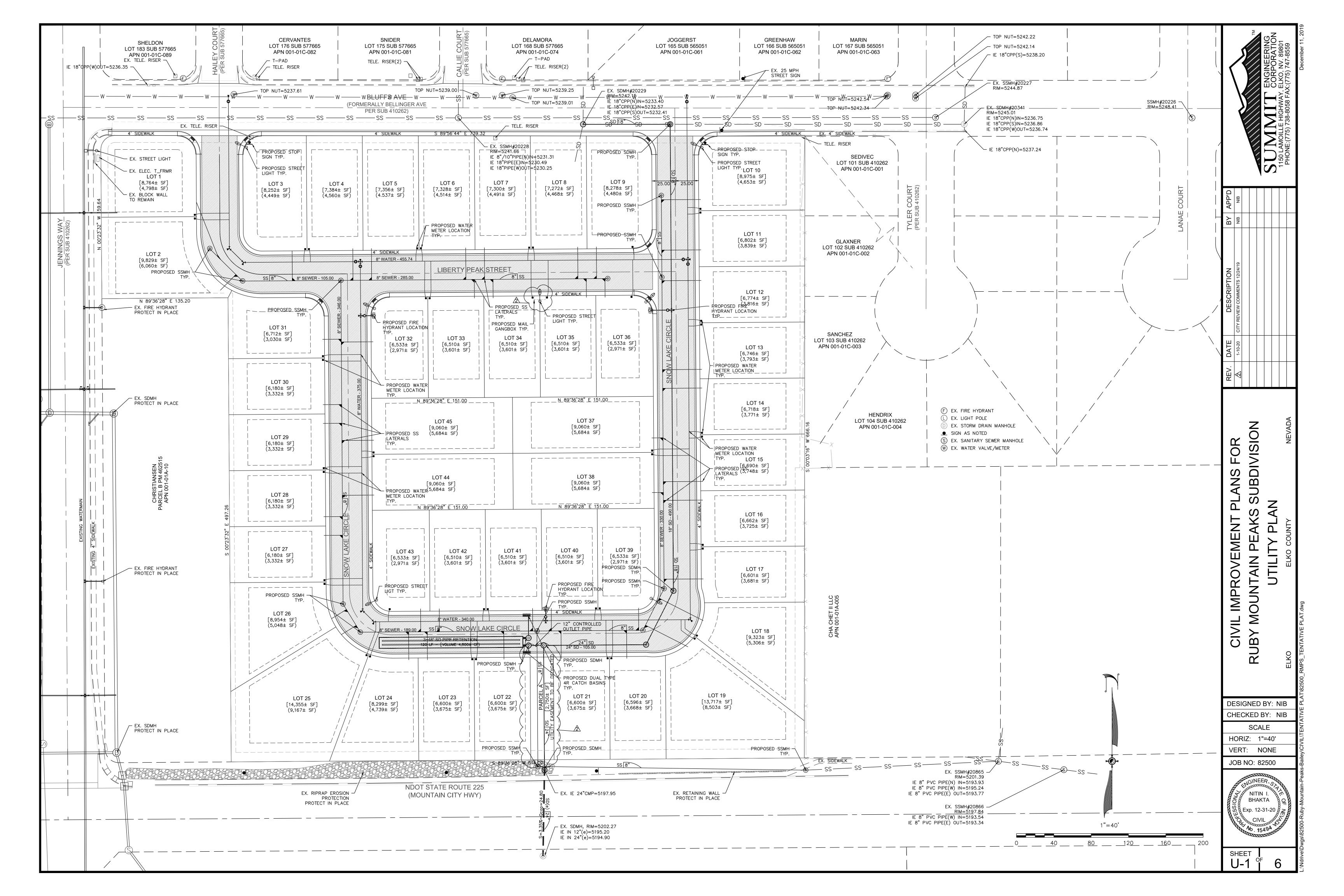
D. MIKE SMALES

ELKO COUNTY RECORDER

ELKO COUNTY N:\DWGS\J82500_BaileyJenningsBluffs\BaileyBluffsPLAT.DWG ~ 3:34 PM * 18-DEC-2019







Elko City Planning Commission Agenda Action Sheet

- 1. Title: Review, consideration, and possible adoption of Resolution 1-20, containing amendments to the Proposed Future Land Use Plan Atlas Map 8, Land Use Component Corresponding Zoning Districts, Transportation Component Best Practice 2.3 and Roadway Classifications, Existing Functional Classification Atlas Map 11 and Atlas Map 12, and matters related thereto. FOR POSSIBLE ACTION
- 2. Meeting Date: **February 4, 2020**
- 3. Agenda Category: PUBLIC HEARINGS
- 4. Time Required: **30 Minutes**
- 5. Background Information: Planning Commission reviewed and initiated the amendment to the City of Elko Master Plan at its January 7, 2020 meeting.
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information: Transportation document and Atlas map #12.
- 8. Recommended Motion: Move to adopt Resolution 1-20, containing amendments to the City of Elko Master Plan; directing that an attested copy of the foregoing parts, amendments, extensions of and/or additions to the Elko City Master Plan be certified to the City Council; further directing that an attested copy of this Commission's report on the proposed changes and additions shall have be filed with the City Council; and recommending to City Council to adopt said amendments by resolution. CL
- 9. Prepared By: Cathy Laughlin, City Planner
- 10. Agenda Distribution:

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2 **Do not use pencil or red pen, they do not reproduce**

Title: PC Resolution No. 1-20, Master Plan Amendment N	0. 1-20
Applicant(s): City of EIKO	
Site Location: N/A	
Current Zoning: N/A Date Received: N/A Date Public Notice: 1/24	120
COMMENT: This is to Amend the Proposed Future Land Use	Plan
Atlas map 8, Land Use Component, Transportation Component	
Atlas map 11 and 12 of the City of Evko Master Plan	
If additional space is needed please provide a separate memorandum	
Assistant City Manager: Date: 1/27/20 No Comment	
	SAW
	Initial
City Manager: Date: 1/29/20	
No comments/concerns.	
	10-
I	nitial



CITY OF ELKO

Planning Department

Website: www.elkocity.com Email: planning@ci.elko.nv.us

1751 College Avenue · Elko, Nevada 89801 · (775) 777-7160 · Fax (775) 777-7119

Memorandum

To: Planning Commission

From: Cathy Laughlin -City Planner

Date: January 21, 2020

Meeting Date: Tuesday, February 4, 2020

Agenda Item:

1. Review, consideration, and possible adoption of Resolution 1-20, containing amendments to the Proposed Future Land Use Plan Atlas Map 8, Land Use Component Corresponding Zoning Districts, Transportation Component Best Practice 2.3 and Roadway Classifications, Existing Functional Classification Atlas Map 11 and Atlas Map 12, and matters related thereto. FOR POSSIBLE ACTION

Additional Information:

Proposed Change #1: Proposed Future Land Use Plan Atlas Map 8

The City of Elko Master Plan Future Land Use Plan Atlas Map #8 designates APN 006-09M-003 as Low Density Residential similar to many Elko County parcels contiguous to the City of Elko Boundary. This Master Plan amendment would change the land use designation for that parcel to medium density residential similar to the designation on the north, west and east sides of the parcel and provides a more uniform land use boundary at this location.



A small parcel of land which was part of another larger parcel until Jennings Way was developed to bisect the parcel. It is currently shown as High Density Residential land use and abutting Commercial Highway, staff feels that the irregular shaped parcel would be difficult to develop as High Density Residential and proposes to change the designation to Commercial Highway to allow for the parcels to be combined and developed as Commercial.



This parcel is currently zoned Residential but the Future Land Use designation is shown as Highway Commercial. Staff is proposing to change the future land use designation to medium density residential to be consistent with the existing zoning of residential.



The City of Elko has recently sold a small portion of the Mountain View Park to the adjacent property owner to be included in his townhome subdivision development. Staff is proposing to amend the future land use designation of this portion we sold from Parks Open Space to Mixed Use Neighborhood.



Proposed Change #2 Land Use Component Corresponding Zoning Districts

Staff is proposing to add RB – Residential Business District under the corresponding zoning districts of Neighborhood Mixed Use to bring that zoning district into conformance with the Master Plan Land Use Component.

Proposed Change #3 Transportation Component Best Practice 2.3

Transportation Component Best Practice 2.3 Table 8 currently conflicts with Elko City Code 3-2-17 for distance requirements between driveways and to intersections.

Proposed Change #4 Transportation Component Roadway Classifications

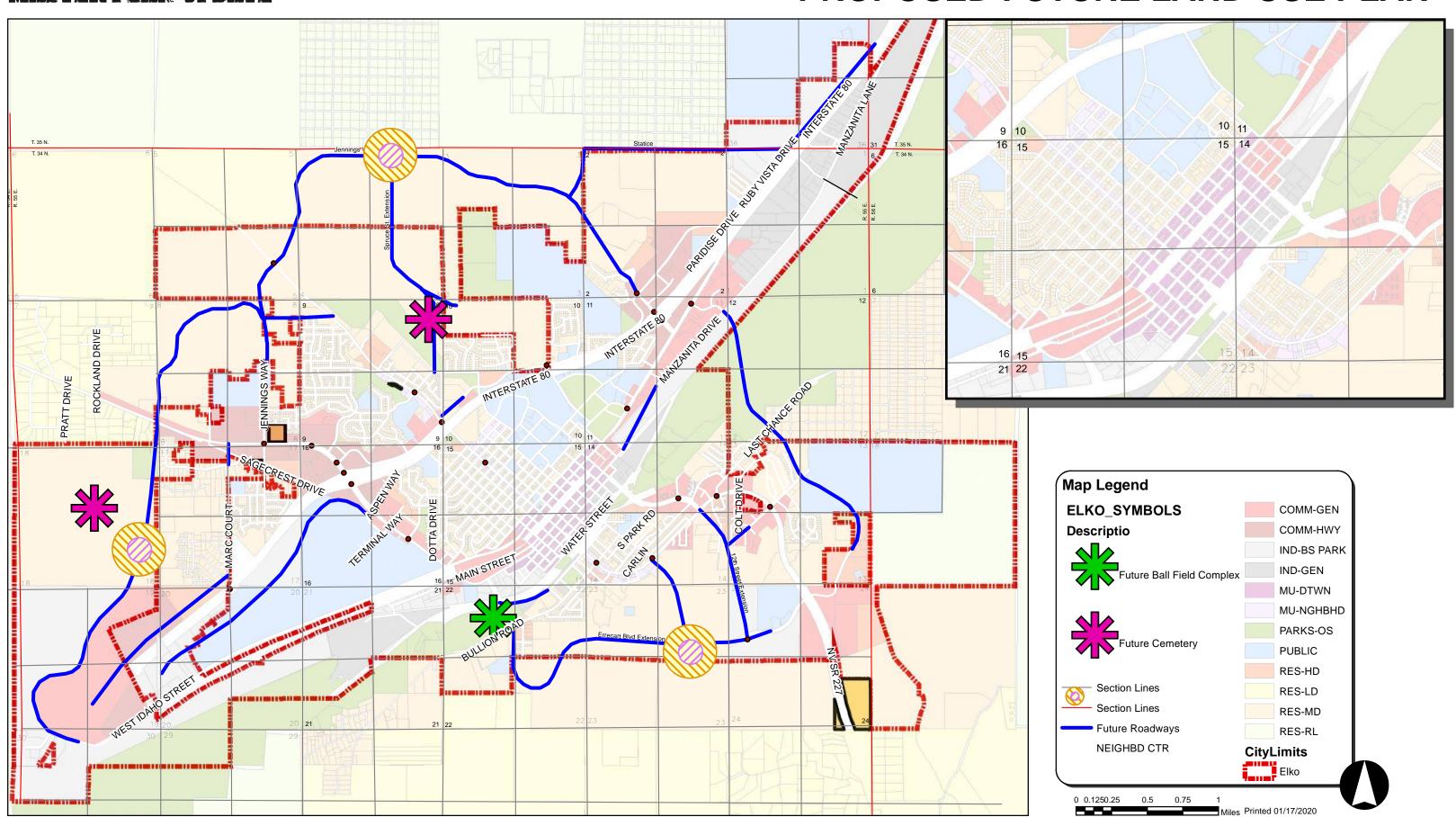
College Avenue is currently in the Transportation Component Roadway Classification schedule as a Minor Arterial from 9th Street to Idaho Street. We are proposing to change the classification from 9th the 12th to a Residential Collector as the traffic count history from 2002 to 2018 doesn't justify the level of service for a Minor Arterial.

Proposed Change #5 Existing Functional Classification Atlas Map 11 and Atlas Map 12

With the proposed change in Roadway Classification for proposed change #4, Atlas Map 11 and Atlas Map 12 would be required to be changed as well.



Atlas Map 8. PROPOSED FUTURE LAND USE PLAN



apartments, townhomes, condominiums, etc. Uses of land must comply with the Elko City Code, and must be compatible with, and not frustrate, this Master Plan's goals and policies.

Corresponding zoning districts:

• C General Commercial (with revisions)

Neighborhood Mixed Use

Neighborhood Mixed-Use are areas designated on the Elko Future Land Use Map intended for higher density residential development combined with neighborhood scale commercial activity. This designation features commercial uses such as grocery stores, corner stores, coffee shops, bookstores, video rentals, barber shops, hair salons, bakeries and bicycle repair. The Master Plan Land Use Map identifies several general locations for Neighborhood Mixed-Use development.

Housing within this designation will range from higher density multi-family housing around the commercial core of the neighborhoods to medium density residential development away from the core. Uses of land must comply with the Elko City Code, and must be compatible with, and not frustrate, this Master Plan's goals and policies.

Corresponding zoning districts:

- CC Convenience Commercial
- CT Commercial Transitional
- RB Residential Business

General Industrial

This land use designation includes light to heavy industrial type land uses as well as some of the more intense commercial uses. Land use activity in this category may include research and development, clean technology assembly and production as well as more intense industrial uses. It should be noted that these uses have some impact on surrounding areas in terms of noise, odor, dust or other nuisances that would likely extend beyond the property lines. Uses of land must comply with the Elko City Code, and must be compatible with, and not frustrate, this Master Plan's goals and policies.

Corresponding zoning districts:

- LI Light Industrial
- IC Industrial Commercial
- Gl General Industrial

Business Park Industrial

This land use designation identifies future employment centers, and specifically those targeting high-technology, research, education, and training institutions. Light industrial uses are appropriate within this designation, provided there are no nuisances (odor, noise, dust) which



Table 8 ACCESS MANAGEMENT STANDARDS

Roadway Functional Classification	Signal Spacing	Driveway Spacing	Left-Turns from Roadways and Driveways	Median Treatment	Other
Mixed Use/Main Street Major Arterial	1/2 Mile desired 1/3 Mile minimum	350 ft. (right in/out only with deceleration lane)	Only at Signal or Major Unsignalized Intersection/ Driveway	Raised Median or TWLTL	 No more than one driveway per property; joint driveways are recommended Left turn in at major driveways/unsignalized roadways okay
Industrial Major Arterial	1/2 Mile desired 1/3 Mile minimum	350 ft. (right in/out only with deceleration lane)	Only at Signal or Major Unsignalized Intersection/ Driveway	TWLTL	 No more than one driveway per property; joint driveways are recommended Left turn in at major driveways/unsignalized roadways okay
Commercial Major Arterial	1/2 Mile desired 1/3 Mile minimum	350 feet (right in/out only with deceleration lane)	Only at Signal or Major Unsignalized Intersection/ Driveway	Raised Median or TWLTL	 No more than one driveway per property; joint driveways are recommended Left turn in at major driveways/unsignalized roadways okay
Mixed Use/Main Street Minor Arterial	1/2 Mile desired 1/3 Mile minimum	250 feet	As Determined by Staff	Raised Median or TWLTL	- Do not offset driveways - A maximum of one full access driveway per property
Industrial Minor Arterial	1/2 Mile desired 1/3 Mile minimum	250 feet	As Determined by Staff	TWLTL	- Do not offset driveways - A maximum of one full access driveway per property
Commercial Minor Arterial	1/2 Mile desired 1/3 Mile minimum	250 feet	As Determined by Staff	Raised Median or TWLTL	- Do not offset driveways - A maximum of one full access driveway per property

Residential Minor Arterial	1/2 Mile desired 1/3 Mile minimum	250 feet	As Determined by Staff	Raised Median or TWLTL	- Do not offset driveways - A maximum of one full access driveway per property
Mixed Use/Main Street Collector	1/4 Mile desired 1/5 Mile minimum	150 feet	Yes	Raised Median or TWLTL	- Do not offset driveways - A maximum of one full access driveway per property
Industrial Collector	1/4 Mile desired 1/5 Mile minimum	150 feet	Yes	None Required	- Do not offset driveways - A maximum of one full access driveway per property
Commercial Collector	1/4 Mile desired 1/5 Mile minimum	150 feet	Yes	Raised Median or TWLTL	 Do not offset driveways A maximum of one full access driveway per property
Residential Collector	1/4 Mile desired 1/5 Mile minimum	75 feet	Yes	None Required	None

Notes: TWLTL = Two way left turn lane Sources: Fehr & Peers, 2010

Rural Roadways

Rural Roadways provide direct access to residential properties located within the Residential Suburban (RS) zoning district. Rural Roadways typically serve lower traffic volumes under 600 vehicles per day, roadways with a traffic volume over 600 vehicles per day should be classified as a Collector Rural Road. Rural Roadways may be utilized in the RS district which are self-contained and having lots no less than ½ acre in size.

Right-of-Way Width: 60 feet Local Rural Residential Road

Typical Travel Lanes: 2 lanes

Right-of-Way Width: 70 feet Collector Rural Residential Road

Typical Travel Lanes: 2 lanes

Elko Roadway Classification

The following provides the functional classifications for roadways within the City of Elko based on existing street character and function:

Interstates and Interstate Interchanges

- Interstate 80 (I-80)
- Exit 298 (Idaho Street Interchange)
- Exit 301 (Mountain City Highway Interchange)
- Exit 303 (Jennings Way Interchange)

Principal Arterials/Other NDOT Roadways

- Lamoille Highway (State Route-SR 227)
- Mountain City Highway (SR 225)

Major Arterials

- 5th Street, between Idaho Street and Lamoille Highway (SR 227)
- 12th Street, between Idaho Street and Lamoille Highway (SR 227)
- Idaho Street
- Silver Street, Idaho Street to 5th Street

Minor Arterials

- 5th Street, north of Idaho Street
- 12th Street Extension (future)
- Cattle Drive, south of Mountain City Highway (SR 225) (future)
- College Avenue <u>– 12th Street to Idaho Street</u>
- Errecart Boulevard, between Silver Street and Bullion Road (classification is Major Arterial once roadway is connected)
- Errecart Boulevard, west of Lamoille Highway (SR 227)
 (classification is Major Arterial once roadway is connected)
- Jennings Way, northeast of Mountain City Highway (SR 225)
 (classification is Major Arterial once roadway is connected)
- Jennings Way, northwest of Idaho Street (classification is Major Arterial once roadway is connected)



- Powder House Road
- Powder House Road Extension (future)
- Ruby Vista Drive
- Silver Street, between 5th Street and 12th Street
- Spruce Road
- Spruce Road Extension (future)

Commercial/Industrial Collectors

- 8th Street, between Elm Street and Silver Street
- 9th Street
- 12th Street, between College Avenue and Idaho Street
- 13th Street
- 14th Street
- 30th Street
- Airport Road Extension (future)
- Aspen Way, between Mountain City Highway (SR 225) and Westwood Drive
- Chris Avenue
- Colt Drive
- College Avenue 9th Street to 12th Street
- College Parkway
- Commercial Street
- D Street
- Elm Street
- Fairground Road
- Front Street
- Golf Course Drive
- Last Chance Road
- Manzanita Lane
- Kittridge Canyon Road, between Paradise Drive and Idaho Street
- Pinion Road
- Railroad Street
- Silver Street, east of 12th Street
- Statice Street (Ruby Vista Drive to Delaware Street)Stitzel Road, between Colt Way and Last Chance
- Water Street
- West Sage Street
- Wildwood Way, between Lamoille Highway (SR 227) and Stitzel Road

Residential Collectors

- 1st Street, south of Silver Street
- 2nd Street
- 3rd Street
- Argent Avenue
- Bluffs Avenue
- Bullion Road Wilson Avenue
- Cattle Drive, north of Mountain City Highway (SR 255) (future)
- Cedar Street, between Fir Street and 6th Street
- Cedar Street, Mountain City Highway to Fir Street and 6th Street to Idaho Street
- Clarkson Drive
- Connolly Drive
- Copper Street





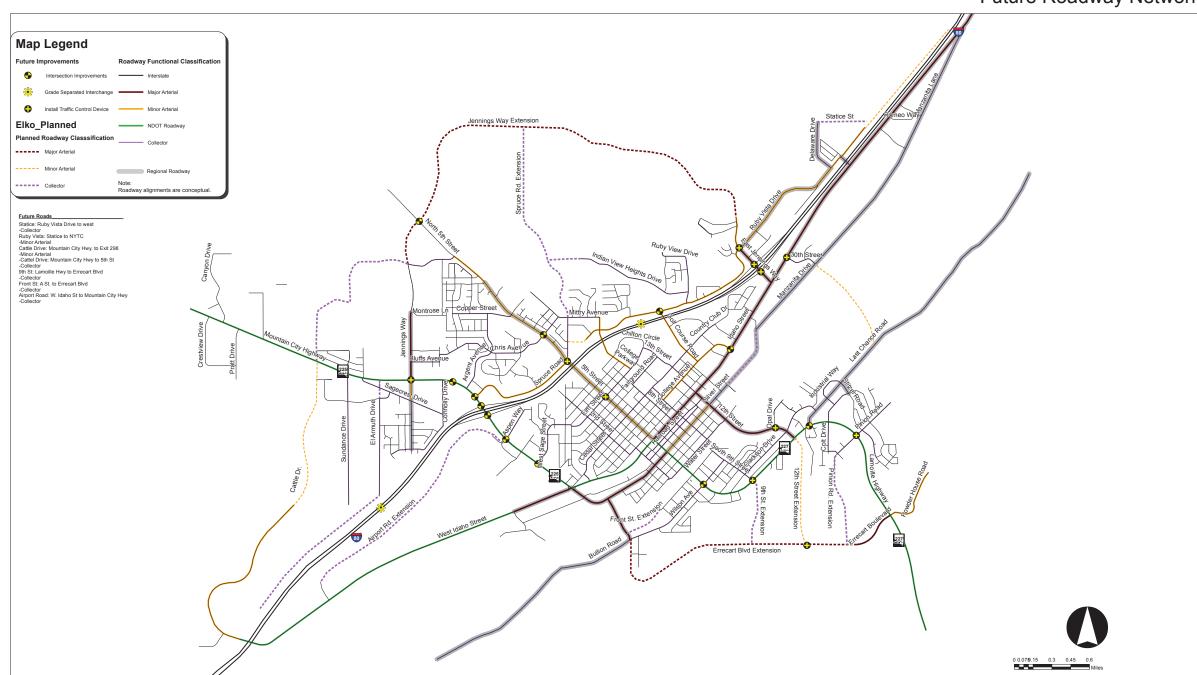
ATLAS Map 11. EXISTING FUNCTIONAL CLASSIFICATION





ATLAS MAP 12 TRANSPORTATION PLANNING

Future Roadway Network



Elko City Planning Commission Agenda Action Sheet

1. Review, consideration and possible approval of Final Map No. 15-19, filed by Jordanelle Third Mortgage, LLC, for the development of a subdivision entitled Tower Hill Phase 3 involving the proposed division of approximately 10.72 acres of property into 27 lots for residential development within the R1 (Single Family Residential) Zoning District, and matters related thereto. FOR POSSIBLE ACTION

2. Meeting Date: February 4, 2020

3. Agenda Category: NEW BUSINESS

4. Time Required: 15 Minutes

- 5. Background Information: Subject property is located southwest of Pheasant Drive between Chukar Drive and Deerfield Way. (APN 001-929-124)
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information: Application and Staff Report
- 8. Recommended Motion: Recommend that the City Council accept, on behalf of the public, the parcels of land offered for dedication for public use in conformity with the terms of the offer of dedication; that the final map substantially complies with the tentative map; that the City Council approve the agreement to install improvements in accordance with the approved construction plans that satisfies the requirements of Title 2 Chapter 3, and conditionally approve Final Map 15-19 with findings and conditions listed in the Staff Report dated January 21, 2020.
- 9. Findings: See Staff Report dated January 21, 2020
- 10. Prepared By: Michele Rambo, AICP, Development Manager
- 11. Agenda Distribution: Jordanelle Third Mortgage, LLC

Attn: Scott MacRitchie 4518 N. 32nd Street Phoenix, AZ 85018 scott@macritchie.com

High Desert Engineering

Attn: Tom Ballew

tcballew@frontiernet.net

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2 **Do not use pencil or red pen, they do not reproduce**

Title: Final Map No. 15-19 - Tower Hill - Unit 3
Applicant(s): Jordanelle Third Mortgage, LLC
Site Location: Extension of Deerfield Way onto Chukar Dr.
Current Zoning: R1 Date Received: 12/20 Date Public Notice: 1/24/20
COMMENT: This is to divide 10.720 acres into 27 lots.
10:12 ACTCS 11:18 21 10(5).
If additional space is needed please provide a separate memorandum
Recommend approval as presented by staff
SAU
Initial
ity Manager: Date:
No comments/concerns.
· ·
Initial



City of Elko 1751 College Avenue Elko, NV 89801 (775) 777-7160 FAX (775) 777-7119

CITY OF ELKO STAFF REPORT

REPORT DATE: January 21, 2020 PLANNING COMMISSION DATE: February 4, 2020

AGENDA ITEM NUMBER: I.B.1.

APPLICATION NUMBER: Final Map 15-19

APPLICANT: Jordanelle Third Mortgage, LLC

PROJECT DESCRIPTION: Tower Hill Phase 3

A Final Map for the division of approximately 10.72 acres into 27 lots for single family residential development within an R1 (Single Family Residential) zoning district.



STAFF RECOMMENDATION:

RECOMMEND CONDITIONAL APPROVAL, subject to findings of fact, and conditions as stated in this report.

PROJECT INFORMATION

PARCEL NUMBER: 001-929-124

PARCEL SIZE: 10.72 Acres

EXISTING ZONING: (R1) Single-Family Residential.

MASTER PLAN DESIGNATION: (RES-MD) Residential Medium Density

EXISTING LAND USE: Vacant

BACKGROUND:

- 1. The Final Map for Tower Hill Phase 3 has been presented before expiration of the subdivision proceedings in accordance with NRS 278.360(1)(a)(2) and City code.
- 2. The Planning Commission reviewed and recommended a conditional approval to the City Council on the Tower Hill Tentative Map.
- 3. The City Council conditionally approved the Tower Hill Tentative Map.
- 4. Three phases were shown on the Tentative Map.
- 5. The subdivision is located on APN 001-929-124.
- 6. The proposed subdivision consists of 27 residential lots.
- 7. The total subdivided area is approximately 10.72 acres.
- 8. The proposed density is 2.52 units per acre.
- 9. Approximately 1,580 acres are offered for dedication for street development.
- 10. Drainage and utility easements are provided along all lot lines.
- 11. The property is located southwest of Pheasant Drive (Phase 2) between Chukar Drive and Deerfield Way.

NEIGHBORHOOD CHARACTERISTICS:

The property is surrounded by:

North: Single-Family and Multiple-Family Residential (R1) / Developed
South: Single-Family and Multiple-Family Residential (R1) / Vacant
East (County): Open Space (OS) / Vacant
West: Commercial (C) / Developed (Lamoille Highway)

Planned Commercial (PC) / Vacant

PROPERTY CHARACTERISTICS:

The property is an undeveloped residential parcel.

The area abuts previous residential development to the northeast, a church to the northwest, and vacant property on all other sides.

The parcel has some significant slope down to Lamoille Highway, which is incorporated into the design of the lots where possible.

The property will be accessed off of Stitzel Road via either Deerfield Way or Chukar Drive.

APPLICABLE MASTER PLAN AND CITY CODE SECTIONS:

City of Elko Master Plan – Land Use Component
City of Elko Master Plan – Transportation Component
City of Elko Redevelopment Plan
City of Elko Wellhead Protection Plan
City of Elko Zoning – Section 3-3-7 Final Map State (Stage III)
City of Elko Zoning – Section 3-3-8 Content and Format of Final Map Submittal
City of Elko Zoning – Section 3-3-9 to 3-3-16 (Inclusive) Subdivision Design Standards
City of Elko Zoning – Section 3-3-17 to 3-3-22 (Inclusive) Public Improvements/
Guarantees
City of Elko Zoning – Section 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), and 3-2-17 Zoning Code Standards
City of Elko Zoning – Section 3-8 Flood Plain Management

MASTER PLAN - Land use:

Conformance with the Land Use component of the Master Plan was evaluated with review and approval of the Tentative Map. The Final Map is in conformance with the Tentative Map.

Therefore, the proposed subdivision is in conformance with the Land Use Component of the Master Plan.

MASTER PLAN - Transportation:

Conformance with the Transportation component of the Master Plan was evaluated with review and approval of the Tentative Map. The Final Map is in conformance with the Tentative Map.

Therefore, the proposed subdivision is in conformance with the Transportation Component of the Master Plan.

ELKO REDEVELOPMENT PLAN:

The property is not located within the redevelopment area.

ELKO WELLHEAD PROTECTION PLAN:

The property is located outside of any capture zone for City of Elko wells. Development of the site is required to be connected to a programmed sewer system and all street drainage will be directed to a storm sewer system.

As the project is designed, it does not present a hazard to City wells.

SECTION 3-3-7 FINAL MAP STAGE (STAGE III):

Pre-submission Requirements (C)(1) – The Final Map is in conformance with the zone requirements.

Pre-submission Requirements (C)(2) – The proposed Final Map conforms to the Tentative Map.

SECTION 3-3-8 CONTENT AND FORMAT OF FINAL MAP SUBMITTAL:

A. Form and Content – The Final Map conforms to the required size specifications and provides the appropriate affidavits and certifications.

B. Identification Data

- 1. The Final Map identifies the subdivision and provides its location by section, township, range, and county.
- 2. The Final Map was prepared by a properly licensed surveyor.
- 3. The Final Map provides a scale, north arrow, and date of preparation.

C. Survey Data

- 1. The boundaries of the subdivision are fully balanced and closed.
- 2. Any exceptions are noted on the Final Map.
- 3. The Final Map is tied to a section corner.
- 4. The location and description of any physical encroachments upon the boundary of the subdivision are noted on the Final Map.

D. Descriptive Data

- 1. The name, right-of-way lines, courses, lengths, and widths of all streets and easements are noted on the Final Map.
- 2. All drainage ways are noted on the Final Map.
- 3. All utility and public service easements are noted on the Final Map.
- 4. The location and dimensions of all lots, parcels, and exceptions are shown on the Final Map.
- 5. All residential lots are numbered consecutively on the Final Map.
- 6. There are no sites dedicated to the public shown on the Final Map.
- 7. The locations of adjoining subdivisions are noted on the Final Map with required information.
- 8. There are no deed restrictions proposed.

E. Dedication and Acknowledgment

- 1. The owner's certificate has the required dedication information for all easements and right-of-ways.
- 2. The execution of dedication is acknowledged with space to be certified by a notary public.

F. Additional Information

- 1. All centerline monuments for streets are noted as being set on the Final Map.
- 2. The centerline and width of each right-of-way is noted on the Final Map.
- 3. The Final Map indicates the location of monuments that will be set to determine the boundaries of the subdivision.
- 4. The length and bearing of each lot line is identified on the Final Map.
- 5. The Final Map is located adjacent to a city boundary, which is shown on the Final Map.
- 6. The Final Map identifies the location of the section lines nearest the property.

G. City to Check

1. Closure calculations have been provided. Civil improvement plans have been approved. Drainage plans have been approved. An engineer's estimate has been provided.

2. The lot closures are within the required tolerances.

H. Required Certifications

- 1. The Owner's Certificate is shown on the Final Map.
- 2. The Owner's Certificate offers for dedication all right-of-ways shown on the Final Map.
- 3. A Clerk Certificate is shown on the Final Map, certifying the signature of the City Council.
- 4. The Owner's Certificate offers for dedication all easements shown on the Final Map.
- 5. A Surveyor's Certificate is shown on the Final Map and provides the required language.
- 6. The City Engineer's Certificate is shown on the Final Map.
- 7. A certificate from the Nevada Division of Environmental Protection is provided with the required language.
- 8. The engineer of record has submitted the Tentative Map and construction plans to the state, but no written approval has been received.
- 9. A certificate from the Division of Water Resources is provided on the Final Map with the required language.
- 10. The construction plans identify the required water meters for the subdivision.

SECTION 3-3-9 THROUGH 3-3-16 (INCLUSIVE)

The proposed subdivision was evaluated for conformance to the referenced sections of code during the Tentative Map process.

The proposed development conforms with these sections of City code.

SECTION 3-3-17 RESPONSIBILITY FOR PUBLIC IMPROVEMENTS

The subdivider shall be responsible for all required improvements in conformance with this section of City code. The developer is also responsible for construction of a portion of the shared-use pathway along the west side of Lamoille Highway.

SECTION 3-3-18 CONSTRUCTION PLANS

The subdivider has submitted plans to the city and state agencies for review to receive all required permits in accordance with this section of City code. The plans have been approved by City staff.

SECTION 3-3-19 CONSTRUCTION AND INSPECTION

The subdivider has submitted plans to the city and state agencies for review to receive all permits in accordance with this section of City code.

SECTION 3-3-20 REQUIRED IMPROVEMENTS

The subdivider has submitted civil improvement plans which are in conformance with this section of City code.

Civil improvements include curb, gutter, and sidewalk as well as paving and utilities within the Chukar Drive and Deerfield Way right-of-ways.

SECTION 3-3-21 AGREEMENT TO INSTALL IMPROVEMENTS

The subdivider will be required to enter into a Performance Agreement to conform to this section of City code.

SECTION 3-3-22 PERFORMANCE AND MAINTENANCE GUARANTEES

The subdivider will be required to provide a Performance and Maintenance Guarantee as stipulated in the Performance Agreement in conformance with this section of City code.

<u>SECTIONS 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), AND 3-2-17</u>

The proposed subdivision was evaluated for conformance to the referenced sections of code during the Tentative Map process.

The proposed development conforms with these sections of City code.

SECTION 3-8 FLOODPLAIN MANAGEMENT:

This parcel is not designated in a Special Flood Hazard Area (SFHA).

FINDINGS

- 1. The Final Map for Tower Hill Phase 3 has been presented before expiration of the subdivision proceedings in accordance with NRS 278.360(1)(a)(2) and City code.
- 2. The Final Map is in conformance with the Tentative Map.
- 3. The proposed subdivision is in conformance with the Land Use and Transportation Components of the Master Plan.
- 4. The proposed development conforms with Sections 3-3-9 through 3-3-16 (inclusive).
- 5. The Subdivider shall be responsible for all required improvements in conformance with Section 3-3-17 of City code.
- 6. The Subdivider has submitted construction plans in conformance with Section 3-3-18 of City code.

- 7. The Subdivider has submitted plans to the city and state agencies for review to receive all required permits in accordance with the requirements of Section 3-3-19 of City code.
- 8. The Subdivider has submitted construction plans which, having been found to be in conformance with Section 3-3-20 of City code, have been approved by City staff.
- 9. The Subdivider will be required to enter into a Performance Agreement to conform to Section 3-3-21 of City code.
- 10. The Subdivider will be required to provide a Performance and Maintenance Guarantee as stipulated in the Performance Agreement in conformance with Section 3-3-22 of City code.
- 11. The proposed development conforms to Sections 3-2-3, 3-2-4, 3-2-5(E), 3-2-5(G), and 3-2-17 of City code.
- 12. The proposed development is in conformance with Section 3-8 of City code.

STAFF RECOMMENDATION:

Staff recommends this item be **conditionally approved** with the following conditions:

- 1. The Developer shall execute a Performance and Maintenance Agreement in accordance with Section 3-3-21 of City code. The Performance Agreement shall be secured in accordance with Section 3-3-22 of City code. In conformance with Section 3-3-21 of City code, the public improvements shall be completed within a time of no later than two (2) years of the date of Final Map approval by the City Council unless extended as stipulated in City code.
- 2. The Performance and Maintenance Agreement shall be approved by the City Council.
- 3. The Developer shall enter into the Performance and Maintenance Agreement within 30 days of approval of the Final Map by the City Council.
- 4. The Final Map for Tower Hill Phase 3 is approved for 27 single family residential lots.
- 5. The Utility Department will issue a Will Serve Letter for the subdivision.
- 6. Site disturbance shall not commence prior to approval of the project's construction plans by the Nevada Department of Environmental Protection.
- 7. Construction shall not commence prior to Final Map approval by the City Council and issuance of a will-serve letter by the City of Elko.
- 8. Conformance with the conditions of approval of the Tentative Map is required.
- 9. The Owner/Developer is to provide the appropriate contact information for the qualified engineer and engineering firm contracted to oversee the project along with the required

inspection and testing necessary to produce an As-Built for submittal to the City of Elko. The Engineer of Record is to ensure all materials meet the latest edition of the Standard Specifications for Public Works. All right-of-way and utility improvements are to be certified by the Engineer of Record for the project.



December 31, 2019

City of Elko – Development Department 1755 College Avenue Elko, NV 89801

Telephone: 775.777.7210 Facsimile: 775.777.7219

High Desert Engineering, LLC Attn: Tom Ballew 640 Idaho Street Elko, NV 89801

Re: Tower Hill Phase 3 Final Map - Complete Submittal

Dear Mr. Ballew:

The City of Elko has reviewed your Final Map application materials for Tower Hill Phase 3 (submitted December 20, 2019) and has found them to be complete. We will now begin processing your application by transmitting the materials to other City departments for their review. You may receive further comments or corrections as these reviews progress.

Prior to the Planning Commission meeting of February 4, please revise the Final Map to include the following items:

- 1. Address, phone number, and email of subdivider, and
- 2. Date of map preparation.

Please note that the City of Elko requires that the Final Map and Construction Plans be approved by the Nevada Department of Environmental Protection prior to taking the Final Map for City Council approval.

I will keep you updated on the status of your application, but please feel free to contact me at (775) 777-7217 if you have any questions.

Sincerely,

Michele Rambo, AICP
Development Manager

mrambo@elkocitynv.gov

CC: Jordanelle Third Mortgage, LLC

Attn: Scott MacRitchie 312 Four Mile Trail Elko, NV 89801

City of Elko - File

FM 15-19

Thomas C. Ballew, P.E., P.L.S. Robert E. Morley, P.L.S. Duane V. Merrill, P.L.S.



Consulting Civil Engineering Land Surveying Water Rights

RECEIVED

DEC 2 0 2019

Cathy Laughlin, City Planner City of Elko 1751 College Avenue Elko, NV 89801

Re: Tower Hill Subdivision – Unit 3 Final Map

Dear Cathy,

Enclosed please find the following items regarding the above referenced project:

- Application for Final Plat approval.
- Three (3) full size copies (consisting of 2 sheets each) of the Final Map.
- Two (2) full sizes copies (consisting of 8 sheets each) of the Site Construction Drawings.
- One (1) copy of the Subdivision Lot Calculations.
- One (1) copy of the Public Improvement Estimate.
- One (1) copy of the Application for Approval of a Water Project.
- Copies of correspondence with the local utility companies regarding the proposed utility easements.
- Check in the amount of \$ 1,425 for the City of Elko review fee (\$ 750 plus 27 lots at \$25 per lot).

Pdf copies of the documents listed above will be transmitted to you.

Please feel free to contact me if you have any questions regarding this matter.

Sincerely,

HIGH DESERT Engineering, LLC

Thomas C. Ballew, P.E., P.L.S.

enclosures

cc Scott MacRitchie, Jordanelle Third Mortgage



CITY OF ELKO PLANNING DEPARTMENT

1751 College Avenue * Elko * Nevada * 89801 (775) 777-7160 * (775) 777-7119 fax

APPLICATION FOR FINAL PLAT APPROVAL

APPLICANT(s):	Jordanelle Third Mort	gage, LLC	
MAILING ADDRESS:	312 Four Mile Trail, El	ko, NV 89801	
PHONE NO (Home)	(775) 340-6005	(Business)	
NAME OF PROPERTY O	OWNER (If different):	same	
(Property owner co	onsent in writing must be	provided)	
MAILING ADDRESS:			
LEGAL DESCRIPTION	AND LOCATION OF PRO	PERTY INVOLVED (Attach	if necessary):
ASSESSOR'S PARCEL	NO.: 001-929-124	AddressN/A	
ASSESSOR'S PARCEL Lot(s), Block(s), &Subd		AddressN/A	
Lot(s), Block(s), &Subd			
Lot(s), Block(s), &Subd Or Parcel(s) & File No.	ivision Portion of Parc		
Lot(s), Block(s), &Subd Or Parcel(s) & File No.	ivision Portion of Parc	el A, File 741117	
Lot(s), Block(s), &Subd Or Parcel(s) & File No. PROJECT DESCRIPTIO	ivision Portion of Parc	el A, File 741117 Lot Single Family Residenti	al Subdivision

FILING REQUIREMENTS:

<u>Complete Application Form</u>: In order to begin processing the application, an application form must be complete and signed. *Complete* applications are due at least 21 days prior to the next scheduled meeting of the Elko City Planning Commission (meetings are the 1st Tuesday of every month), and must include the following:

- 1. One .pdf of the entire application, and ten (10) 24" x 36" copies of the final plat folded to a size not to exceed 9"x12" provided by a properly licensed surveyor, as well as one (1) set of reproducible plans 8 ½" x 11" in size and any required supporting data, prepared in accordance with Section 3-3-8 of Elko City Code (see attached checklist).
- 2. Pre-Submission Requirements:
 - a. The final plat shall meet all requirements of the zoning district in which located, and any necessary zoning amendment shall have been adopted by the Elko City Council prior to filing of the final plat.
 - The final plat shall conform closely to the approved preliminary plat and be prepared in accordance with the provisions of the City Subdivision Ordinance.
 - c. The final plat submittal shall include a letter signifying approval of utility easements by all public utilities involved, and shall be so indicated by an affidavit on the map.
 - d. A complete set of construction plans for all public improvements associated with the final plat shall have been approved or substantially approved by the City Engineer.

<u>Fee</u>: \$750.00 + \$25.00 per lot including remainder parcels; non-refundable.

Other Information: The applicant is encouraged to submit other information and documentation to support the request.

Revised 1/24/18 DEC 2 0 2019 Page 1

Final Plat Checklist 3-3-8

	Final Flat Checklist 5-5-6
Identification [Data
	Subdivision Name 🗸
V	Location and Section, Township and Range 🗸
/	Name, address and phone number of subdivider
	Name, address and phone number of engineer/surveyor
2	Scale, North Point and Date of Preparation
	Location maps 🗸
Survey Data (Re	equired)
î	Boundaries of the Tract fully balanced and closed 🗸
	Any exception within the plat boundaries
V	The subdivision is to be tied to a section corner 🗸
L	Location and description of all physical encroachments Nove,
Descriptive Dat	
	Street Layout, location, widths, easements 🗸
	All drainageways, designated as such ✓
	All utility and public service easements ✓
	Location and dimensions of all lots, parcels ✓
~	Residential Lots shall be numbered consecutively 🗸
~	All sites to be dedicated to the public and proposed use None
~	Location of all adjoining subdivisions with name date, book and page
	Any private deed restrictions to be imposed upon the plat Nove
Dedication and	Acknowledgment
	Statement of dedication for items to be dedicated
	Execution of dedication ackowledged by a notary public
Additional Info	rmation
i	Street CL, and Monuments identified 🗸
i	Street CL and width shown on map 🗸
4	Location of mounuments used to determine boudaries
4	Each city boundary line crossing or adjoing the subdivision \checkmark
L-	Section lines crossing the subdivision boundaries 🗸
City Engineer to	Check
V	Closure report for each of the lots
	Civil Improvement plans ✓
<i>i</i> —	Estimate of quantities required to complete the improvements 🗸
Required Certif	
L	All parties having record title in the land to be subdivided $\sqrt{}$
V	Offering for dedication 🗸
i	Clerk of each approving governing body ✓
	Clerk of each approving governing body V
L	Easements V
7.00	
L	Easements V
<i>ن</i>	Easements V Surveyor's Certificate V
ب د د	Easements Surveyor's Certificate City Engineer
ر د د	Easements Surveyor's Certificate City Engineer State Health division

Revised 1/24/18

Course In: N 00-04-57 E Course Out: S 41-54-22 W

RP North: 12833.167 East: 60730.092 End North: 12684.319 East: 60596.509

Line Course: N 48-05-38 W Length: 494.33

East: 60228.0 Radius: 125.00 Tangent: 102.06 North: 13014.488 East: 60228.609 Curve Length: 171.18

Delta: 78-27-47 Chord: 158.11 Course: N 08-51-44 W Course In: N 41-54-22 E Course Out: N 59-37-51 W

RP North: 13107.518 End North: 13170.714 East: 60312.098 East: 60204.250

Line Course: N 59-37-51 W Length: 50.00

North: 13195.993 East: 60161.110

Perimeter: 2837.17 Area: 68,823 SF 1.580 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.002 Course: N 53-23-09 E Error North: 0.0011 East: 0.0014

East: 0.0014

Precision 1: 1,418,580.00

Parcel name: LOT 301

North: 13170.713 East: 60204.248

Line Course: S 48-05-38 E Length: 153.07

North: 13068.476 East: 60318.169

Line Course: S 41-54-22 W Length: 100.00

North: 12994.052 East: 60251.378

Line Course: N 48-05-38 W Length: 30.59

North: 13014.483 East: 60220.

Radius: 125.00 East : 60228.612 Curve Length: 171.18

Delta: 78-27-47 Chord: 158.11 Tangent: 102.06 Course: N 08-51-44 W Course In: N 41-54-22 E Course Out: N 59-37-51 W

RP North: 13107.513 East: 60312.101 End North: 13170.709 East: 60204.252

Perimeter: 454.84 Area: 12,227 SF 0.281 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.006 Course: S 48-25-06 E

Error North: -0.0037 East: 0.0041

Precision 1: 75,806.67

Parcel name: LOT 302

North: 12994.052 East: 60251.377 Line Course: N 41-54-22 E Length: 100.00

North: 13068.476 East: 60318.168

Line Course: S 48-05-38 E Length: 75.02

North: 13018.370 East: 60374.001

Line Course: S 41-54-22 W Length: 100.00

North: 12943.946 East: 60307.210

Line Course: N 48-05-38 W Length: 75.02

North: 12994.052 East: 60251.377

Perimeter: 350.04 Area: 7,502 SF 0.172 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 350,040,000.00

Parcel name: LOT 303

North: 12943.945 East: 60307.210

Line Course: N 41-54-22 E Length: 100.00

North: 13018.369 East: 60374.001

Line Course: S 48-05-38 E Length: 75.02

North: 12968.262 East: 60429.834

Line Course: S 41-54-22 W Length: 100.00

North: 12893.838 East: 60363.043

Line Course: N 48-05-38 W Length: 75.02

North: 12943.945 East: 60307.210

Perimeter: 350.04 Area: 7,502 SF 0.172 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 350,040,000.00

Parcel name: LOT 304

North: 12893.838 East: 60363.043

Line Course: N 41-54-22 E Length: 100.00

North: 12968.262 East: 60429.835

Line Course: S 48-05-38 E Length: 75.02

North: 12918.155 East: 60485.668

Line Course: S 41-54-22 W Length: 100.00

North: 12843.731 East: 60418.876

Line Course: N 48-05-38 W Length: 75.02

North: 12893.838 East: 60363.043

Perimeter: 350.04 Area: 7,502 SF 0.172 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 90-00-00 E Error Closure: 0.000

Error North: 0.0000 East: 0.0000

Precision 1: 350,040,000.00

Parcel name: LOT 305

North: 12843.730 East: 60418.877

Line Course: N 41-54-22 E Length: 100.00

North: 12918.154 East: 60485.668

Line Course: S 48-05-38 E Length: 75.02

North: 12868.048 East: 60541.501

Line Course: S 41-54-22 W Length: 100.00

North: 12793.624 East: 60474.710

Line Course: N 48-05-38 W Length: 75.02

North: 12843.730 East: 60418.877

Perimeter: 350.04 Area: 7,502 SF 0.172 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 350,040,000.00

Parcel name: LOT 306

North: 12793.623 East: 60474.710

Line Course: N 41-54-22 E Length: 100.00

North: 12868.047 East: 60541.501

Line Course: S 48-05-38 E Length: 75.02

North: 12817.940 East: 60597.334

Line Course: S 41-54-22 W Length: 100.00

North: 12743.516 East: 60530.543

Line Course: N 48-05-38 W Length: 75.02

North: 12793.623 East: 60474.710

Perimeter: 350.04 Area: 7,502 SF 0.172 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East : 0.0000

Precision 1: 350,040,000.00

Parcel name: LOT 307

North: 12743.516 East: 60530.543 Line Course: N 41-54-22 E Length: 100.00

North: 12817.940 East: 60597.334

Line Course: S 48-05-38 E Length: 88.63

North: 12758.743 East: 60663.296

Line Course: S 41-54-22 W Length: 100.00

North: 12684.319 East: 60596.505

Line Course: N 48-05-38 W Length: 88.63

North: 12743.516 East: 60530.543

Perimeter: 377.27 Area: 8,863 SF 0.203 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 377,260,000.00

Parcel name: LOT 308

North: 12684.317 East: 60596.507

Line Course: N 41-54-22 E Length: 100.00

North: 12758.741 East: 60663.298

Line Course: S 64-18-51 E Length: 21.09

North: 12749.600 East: 60682.304

Line Course: S 64-18-51 E Length: 37.87

North: 12733.186 East: 60716.432

Line Course: S 00-04-57 W Length: 99.54

North: 12633.646 East: 60716.289
Curve Length: 132.47 Radius: 200.00

Delta: 37-57-00 Tangent: 68.77

Chord: 130.06 Course: N 67-04-08 W Course In: N 03-57-22 E Course Out: S 41-54-22 W

RP North: 12833.169 East: 60730.087 End North: 12684.321 East: 60596.505

Perimeter: 390.98 Area: 9,744 SF 0.224 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.005 Course: N 28-34-22 W

Error North: 0.0041 East: -0.0022

Precision 1: 78,194.00

Parcel name: LOT 309

North: 12633.641 East: 60716.291

Line Course: N 00-04-57 E Length: 99.54

North: 12733.181 East: 60716.434

Line Course: S 89-55-03 E Length: 80.00

North: 12733.066 East: 60796.434

Line Course: S 00-04-57 W Length: 100.00

North: 12633.066 East: 60796.290

Line Course: N 89-55-03 W Length: 66.49

North: 12633.162 East: 60729.800 Curve Length: 13.52 Radius: 200.00

Delta: 3-52-25 Tangent: 6.76

Chord: 13.52 Course: N 87-58-50 W
Course In: N 00-04-57 E Course Out: S 03-57-22 W
RP North: 12833.162 East: 60730.088
End North: 12633.638 East: 60716.290

Perimeter: 359.55 Area: 7,998 SF 0.184 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.003 Course: S 20-31-29 W

Error North: -0.0031 East : -0.0012

Precision 1: 119,850.00

Parcel name: LOT 310

North: 12633.069 East: 60796.290

Line Course: N 00-04-57 E Length: 100.00

North: 12733.069 East: 60796.434

Line Course: S 89-55-03 E Length: 90.00

North: 12732.940 East: 60886.434

Line Course: S 00-04-57 W Length: 85.00

North: 12647.940 East: 60886.312
Curve Length: 23.56 Radius: 15.00

Delta: 90-00-00 Tangent: 15.00 Chord: 21.21 Course: S 45-0

Chord: 21.21 Course: S 45-04-57 W
Course In: N 89-55-03 W Course Out: S 00-04-57 W
RP North: 12647.961 East: 60871.312

Line Course: N 89-55-03 W Length: 75.00

North: 12633.069 East: 60796.290

Perimeter: 373.56 Area: 8,952 SF 0.206 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 00-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 373,560,000.00

Parcel name: LOT 311

North: 12713.856 East: 60936.407 Line Course: S 89-55-03 E Length: 105.00

North: 12713.705 East: 61041.407

Line Course: S 00-04-57 W Length: 85.00

North: 12628.705 East: 61041.284

Line Course: N 89-55-03 W Length: 105.00

North: 12628.856 East: 60936.284

Line Course: N 00-04-57 E Length: 85.00

North: 12713.856 East: 60936.407

Perimeter: 380.00 Area: 8,925 SF 0.205 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error North: 0.0000 East : 0.0000

Precision 1: 380,000,000.00

Parcel name: LOT 312

North: 12628.856 East: 60936.284

Line Course: S 89-55-03 E Length: 105.00

North: 12628.705 East: 61041.284

Line Course: S 00-04-57 W Length: 85.00

North: 12543.705 East: 61041.162

Line Course: N 89-55-03 W Length: 105.00

North: 12543.856 East: 60936.162

Line Course: N 00-04-57 E Length: 85.00

North: 12628.856 East: 60936.284

Perimeter: 380.00 Area: 8,925 SF 0.205 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: S 90-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 380,000,000.00

Parcel name: LOT 313

North: 12452.940 East: 60886.031

Line Course: N 89-55-03 W Length: 85.00

North: 12453.062 East: 60801.031

Line Course: N 00-04-57 E Length: 130.00

North: 12583.062 East: 60801.218

Line Course: S 89-55-03 E Length: 70.00

North: 12582.961 East: 60871.218

Curve Length: 23.56 Radius: 15.00 Delta: 90-00-00 Tangent: 15.00

> Chord: 21.21 Course: S 44-55-03 E

Course In: S 00-04-57 W Course Out: S 89-55-03 E RP North: 12567.961 East: 60871.197

End North: 12567.940 East: 60886.197 Line Course: S 00-04-57 W Length: 115.00

North: 12452.940 East: 60886.031

Perimeter: 423.56 Area: 11,002 SF 0.253 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 00-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 423,560,000.00

Parcel name: LOT 314

North: 12583.062 East: 60801.218

Line Course: S 00-04-57 W Length: 130.00

North: 12453.062 East: 60801.031

Line Course: N 89-55-03 W Length: 75.00

North: 12453.170 East: 60726.031

Line Course: N 00-04-57 E Length: 130.02

North: 12583.190 East: 60726.218 Curve Length: 3.51 Radius: 250.00 Delta: 0-48-17 Tangent: 1.76

Chord: 3.51 Course: S 89-30-54 E Course In: N 00-53-14 E Course Out: S 00-04-57 W

RP North: 12833.160 East: 60730.089 End North: 12583.160 East: 60729.729

Line Course: S 89-55-03 E Length: 71.49

North: 12583.057 East: 60801.219

Perimeter: 410.02 Area: 9,750 SF 0.224 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.005 Course: S 13-45-35 E

Error North: -0.0047 East: 0.0011

Precision 1: 82,004.00

Parcel name: LOT 315

North: 12583.195 East : 60726.218

Line Course: S 00-04-57 W Length: 130.02

North: 12453.175 East: 60726.031

Line Course: N 82-16-23 W Length: 93.73

North: 12465.777 East: 60633.152

Line Course: N 13-42-16 E Length: 130.00

East: 60663.951 North: 12592.076 Curve Length: 63.06 Radius: 250.00 Tangent: 31.70

Delta: 14-27-09 Chord: 62.89 Course: S 81-53-12 E Course In: N 15-20-23 E Course Out: S 00-53-14 W

RP North: 12833.170 East: 60730.086 End North: 12583.200 East: 60726.215

Perimeter: 416.81 Area: 10,024 SF 0.230 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.006 Course: N 32-06-28 W

Error North: 0.0049 East : -0.0031

Precision 1: 69,468.33

Parcel name: LOT 316

North: 12592.071 East: 60663.955

Line Course: S 13-42-16 W Length: 130.00

North: 12465.772 East : 60633.156

Line Course: N 70-45-36 W Length: 70.62

North: 12489.043 East: 60566.480

Line Course: N 49-52-21 W Length: 28.83

North: 12507.624 East: 60544.437

Line Course: N 29-41-48 E Length: 124.76

North: 12615.998 East: 60606.244 Curve Length: 62.64 Radius: 250.00 Delta: 14-21-25 Tangent: 31.49

Chord: 62.48

Course: S 67-28-55 E Course In: N 29-41-48 E Course Out: S 15-20-23 W RP North: 12833.163 East: 60730.096 End North: 12592.069 East: 60663.960

Perimeter: 416.86 Area: 10,396 SF 0.239 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.006 Course: S 73-43-18 E

Error North: -0.0016 East: 0.0056

Precision 1: 69,475.00

Parcel name: LOT 317

North: 12615.999 East: 60606.238

Line Course: S 29-41-48 W Length: 124.76

North: 12507.625 East: 60544.431

Line Course: N 49-52-21 W Length: 88.63

North: 12564.747 East: 60476.663

Line Course: N 41-54-22 E Length: 119.03

North: 12653.334 East: 60556.165

Line Course: S 48-05-38 E Length: 9.33

North: 12647.102 East: 60563.109 Curve Length: 53.27 Radius: 250.00

Delta: 12-12-34 Tangent: 26.74 Chord: 53.17 Course: S 54-11-55 E RP North: 12833.162 East: 60730.087 End North: 12615.997 East: 60606.235

Perimeter: 395.03 Area: 9,063 SF 0.208 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Course: S 53-15-43 W Error Closure: 0.004

Error North: -0.0026 East: -0.0034

Precision 1: 98,755.00

Parcel name: LOT 318

North: 12653.336 East: 60556.168

Line Course: S 41-54-22 W Length: 119.03

North: 12564.749 East: 60476.667

Line Course: N 49-52-21 W Length: 31.13

North: 12584.812 East: 60452.864 Curve Length: 52.56 Radius: 55.00

Delta: 54-45-04 Tangent: 28.48 Chord: 50.58

Course: N 12-30-18 W Course In: N 75-07-46 W Course Out: N 50-07-10 E RP North: 12598.927

East : 60399.706 End North: 12634.193 East: 60441.912 Radius: 15.00 Curve Length: 21.41

Delta: 81-47-12 Tangent: 12.99

Chord: 19.64 Course: N 01-00-46 E Course In: N 50-07-10 E Course Out: N 48-05-38 W

RP North: 12643.810 East: 60453.423 End North: 12653.829 East: 60442.260

Line Course: N 41-54-22 E Length: 60.72

North: 12699.019 East: 60482.815 Curve Length: 23.56 Radius: 15.00

Delta: 90-00-00 Tangent: 15.00 Chord: 21.21 Course: N 86-54-22 E

Course In: S 48-05-38 E Course Out: N 41-54-22 E RP North: 12689.001 East : 60493.979

End North: 12700.164 East: 60503.997

Line Course: S 48-05-38 E Length: 70.11

North: 12653.337 East: 60556.176

Perimeter: 378.52 Area: 8,909 SF 0.205 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.008 Course: N 83-40-18 E

Error North: 0.0009 East: 0.0079

Precision 1: 47,315.00

Parcel name: LOT 319

North: 12676.595 East: 60395.503

Line Course: N 48-05-38 W Length: 100.00

North: 12743.386 East: 60321.079

Line Course: N 41-54-22 E Length: 90.00

North: 12810.368 East: 60381.191

Line Course: S 48-05-38 E Length: 85.00

North: 12753.596 East: 60444.452 Curve Length: 23.56 Radius: 15.00

Delta: 90-00-00 Tangent: 15.00

Chord: 21.21 Course: S 03-05-38 E
Course In: S 41-54-22 W Course Out: S 48-05-38 E

Line Course: S 41-54-22 W Length: 75.00

North: 12676.595 East: 60395.503

Perimeter: 373.56 Area: 8,952 SF 0.206 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.000 Course: N 00-00-00 E

Error North: 0.0000 East: 0.0000

Precision 1: 373,560,000.00

Parcel name: LOT 320

North: 12810.368 East: 60381.192

Line Course: S 41-54-22 W Length: 451.39

North: 12474.425 East: 60079.703

Line Course: N 33-38-48 W Length: 77.45

North: 12538.900 East: 60036.790

Line Course: N 41-54-22 E Length: 432.07

North: 12860.464 East: 60325.375

Line Course: S 48-05-38 E Length: 75.00

North: 12810.371 East: 60381.193

Perimeter: 1035.92 Area: 33,130 SF 0.761 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.003 Course: N 25-01-29 E

Precision 1: 345,303.33

Parcel name: LOT 321

North: 12860.462 East: 60325.374

Line Course: S 41-54-22 W Length: 432.07

North: 12538.898 East: 60036.789

Line Course: N 33-38-48 W Length: 77.45

North: 12603.372 East: 59993.876

Line Course: N 41-54-22 E Length: 412.75

North: 12910.558 East: 60269.557

Line Course: S 48-05-38 E Length: 75.00

North: 12860.464 East: 60325.375

Perimeter: 997.27 Area: 31,681 SF 0.727 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.003 Course: N 25-01-29 E

Precision 1: 332,423.33

Parcel name: LOT 322

North: 12910.555 East: 60269.556

Line Course: S 41-54-22 W Length: 412.75

North: 12603.370 East: 59993.875

Line Course: N 33-38-48 W Length: 77.45

North: 12667.845 East: 59950.962

Line Course: N 41-54-22 E Length: 393.43

North: 12960.651 East: 60213.739

Line Course: S 48-05-38 E Length: 75.00

North: 12910.558 East: 60269.557

Perimeter: 958.63 Area: 30,232 SF 0.694 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.003 Course: N 25-01-29 E

Precision 1: 319,543.33

Parcel name: LOT 323

North: 12960.649 East: 60213.738

Line Course: S 41-54-22 W Length: 393.43

North: 12667.842 East: 59950.961

Line Course: N 33-38-48 W Length: 34.15

North: 12696.271 East: 59932.040 Curve Length: 123.34 Radius: 1850.00 Delta: 3-49-12 Tangent: 61.69

End North: 12801.151 East: 59867.172

Line Course: N 56-35-25 E Length: 365.42

North: 13002.360 East: 60172.208
Curve Length: 34.09 Radius: 175.00
Delta: 11-09-37 Tangent: 17.10

Chord: 34.03 Course: S 42-30-50 E
Course In: N 53-03-59 E Course Out: S 41-54-22 W
RP North: 13107.515 East: 60312.091
End North: 12977.273 East: 60195.206

Line Course: S 48-05-38 E Length: 24.89

North: 12960.649 East: 60213.730

Perimeter: 975.32 Area: 40,415 SF 0.928 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.007 Course: N 88-12-10 W

Error North: 0.0002 East: -0.0075

Precision 1: 139,331.43

Parcel name: LOT 324

North: 13002.361 East: 60172.213

Line Course: S 56-35-25 W Length: 365.42

North: 12801.152 East: 59867.178
Curve Length: 67.41 Radius: 1850.00
Delta: 2-05-16 Tangent: 33.71

Chord: 67.41 Course: N 28-46-58 W
Course In: N 60-10-24 E Course Out: S 62-15-40 W
RP North: 13721.301 East: 61472.116
End North: 12860.232 East: 59834.721

Line Course: S 62-15-39 W Length: 50.00

North: 12836.959 East: 59790.468
Curve Length: 45.81 Radius: 1900.00
Delta: 1-22-53 Tangent: 22.91

Chord: 45.81 Course: N 27-02-54 W
Course In: N 62-15-40 E Course Out: S 63-38-33 W
RP North: 13721.301 East: 61472.116
End North: 12877.757 East: 59769.637

Line Course: N 64-20-56 E Length: 415.67

North: 13057.696 East: 60144.341
Curve Length: 62.29 Radius: 175.00
Delta: 20-23-40 Tangent: 31.48

Chord: 61.96 Course: S 26-44-11 E Course In: N 73-27-39 E Course Out: S 53-03-59 W

Perimeter: 1006.61 Area: 33,785 SF 0.776 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.005

Course: S 56-38-03 E

Error North: -0.0028 East: 0.0043

Precision 1: 201,320.00

Parcel name: LOT 325

North: 13057.699 East: 60144.337

Line Course: S 64-20-56 W Length: 415.67

North: 12877.760 East: 59769.633 Curve Length: 72.92 Radius: 1900.00 Delta: 2-11-56 Tangent: 36.46

Chord: 72.91 Course: N 25-15-29 W Course In: N 63-38-33 E Course Out: S 65-50-29 W

RP North: 13721.304 East: 61472.111 End North: 12943.703 East: 59738.521

Line Course: N 65-50-29 E Length: 224.78

North: 13035.697 East: 59943.614

Line Course: N 30-13-04 E Length: 35.01

North: 13065.950 East: 59961.234

Line Course: N 72-00-34 E Length: 185.65

North: 13123.290 East: 60137.807
Curve Length: 66.31 Radius: 175.00
Delta: 21-42-37 Tangent: 33.56

Chord: 65.91 Course: S 05-41-02 E
Course In: S 84-49-44 E Course Out: S 73-27-39 W
RP North: 13107.517 East: 60312.095

End North: 13057.699 East: 60144.335

Perimeter: 1000.34 Area: 30,829 SF 0.708 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.002 Course: N 89-31-16 W

Error North: 0.0000 East: -0.0018

Precision 1: 500,170.00

Parcel name: LOT 326

North: 13123.290 East: 60137.809

Line Course: S 72-00-34 W Length: 185.65

North: 13065.950 East: 59961.236

Line Course: N 30-13-04 E Length: 64.99

North: 13122.109 East: 59993.944 Curve Length: 87.57 Radius: 50.00 Delta: 100-20-42 Tangent: 59.95

Chord: 76.80 Course: N 09-36-35 W Course In: N 30-13-04 E Course Out: N 49-26-14 W

Line Course: N 40-33-46 E Length: 10.75

North: 13205.996 East: 59988.115

Line Course: S 74-35-15 E Length: 163.72

North: 13162.484 East: 60145.947
Curve Length: 40.12 Radius: 175.00
Delta: 13-08-07 Tangent: 20.15

Chord: 40.03 Course: S 11-44-20 W
Course In: S 71-41-37 E Course Out: N 84-49-44 W
RP North: 13107.517 East: 60312.090
End North: 13123.290 East: 60137.802

Perimeter: 552.80 Area: 14,574 SF 0.335 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.006 Course: N 88-14-27 W

Error North: 0.0002 East: -0.0064

Precision 1: 92,133.33

Parcel name: LOT 327

North: 13162.484 East: 60145.953

Line Course: N 74-35-15 W Length: 163.72

North: 13205.995 East: 59988.121

Line Course: N 40-33-46 E Length: 120.00

North: 13297.159 East: 60066.155

Line Course: S 49-26-14 E Length: 135.88

North: 13208.799 East: 60169.382 Curve Length: 15.25 Radius: 175.00

Delta: 4-59-34 Tangent: 7.63

Chord: 15.24 Course: S 32-51-56 W
Course In: S 54-38-17 E Course Out: N 59-37-51 W

Chord: 36.78 Course: S 24-20-16 W
Course In: S 59-37-51 E Course Out: N 71-41-37 W
RP North: 13107.519 East: 60312.097

End North: 13162.486 East: 60145.953

Perimeter: 471.70 Area: 12,251 SF 0.281 ACRES

Mapcheck Closure - (Uses listed courses, radii, and deltas)

Error Closure: 0.002 Course: N 00-51-35 E

Precision 1: 235,845.00

TOWER HILL SUBDIVISION — UNIT NUMBER 3 ELKO, ELKO COUNTY, NEVADA

LAND SURVEYOR'S CERTIFICATE:

I, THOMAS C. BALLEW, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA,

- 1. THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY SUPERVISION AND DIRECTION AT THE INSTANCE JORDANELLE THIRD MORTGAGE, LLC.
- 2. THE LANDS SURVEYED LIE WITHIN SECTION 10, TOWNSHIP 34 NORTH, RANGE 55 EAST, M.D.B.& M., AND THE SURVEY WAS COMPLETED ON THE ____ DAY OF _____,
- 3. THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL
- 4. THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED HEREON AND ARE SUFFICIENT TO ENABLE THIS SURVEY TO BE

THOMAS C BALLEW THOMAS C. BALLEW, P.L.S. No. 5072 Exp. 12/31/20 %

CITY ENGINEER'S REPRESENTATIVE CERTIFICATE:

CITY OF ELKO, NEVADA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS MAP AND FIND IT SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, WITH ALL APPROVED ALTERATIONS; THAT ALL PROVISIONS OF N.R.S. 278.010 THROUGH 278.630, INCLUSIVE, AND ALL LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH: THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT AND THAT THE MONUMENTS AS SHOWN ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THE MONUMENTS HAVE NOT BEEN SET AND THAT A PROPER PERFORMANCE BOND HAS BEEN DEPOSITED GUARANTEEING THEIR SETTING ON OR BEFORE

CITY OF ELKO CITY ENGINEER'S REPRESENTATIVE

DATE

APPROVAL - CITY OF ELKO PLANNING COMMISSION

AT A REGULAR MEETING OF THE CITY OF ELKO, NEVADA, PLANNING COMMISSION HELD ON THE 24TH DAY OF OCTOBER, 2017, A TENTATIVE MAP OF THIS SUBDIVISION WAS DULY AND REGULARLY APPROVED PURSUANT TO N.R.S. 278.330. THIS FINAL MAP SUBSTANTIALLY COMPLIES WITH SAID TENTATIVE MAP AND ALL CONDITIONS PURSUANT THERETO HAVE BEEN

CHAIRMAN, CITY OF ELKO PLANNING COMMISSION

DATE

APPROVAL - CITY OF ELKO CITY COUNCIL

AT A REGULAR MEETING OF THE CITY OF ELKO, NEVADA, CITY COUNCIL HELD ON THE ______ DAY OF ______, 20___, THIS MAP WAS APPROVED FOR SUBDIVISION PURPOSES PURSUANT TO N.R.S. 278.461 THROUGH 278.469, INCLUSIVE, AND ALL APPLICABLE LOCAL ORDINANCES. ALL OFFERS OF DEDICATION, AS SHOWN HEREON, WERE ACCEPTED FOR PUBLIC USE.

MAYOR, CITY OF ELKO, NEVADA

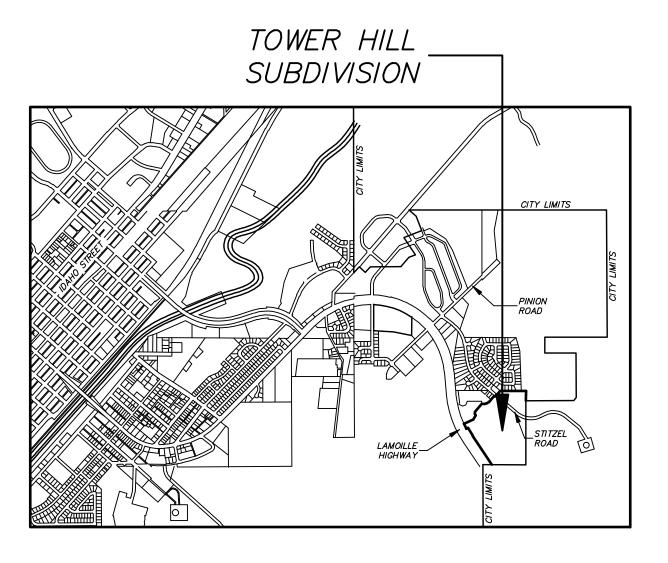
DATE

ATTEST: CITY CLERK, CITY OF ELKO, NEVADA

DATE

LEGAL DESCRIPTION:

PARCEL C AS SHOWN ON THE FINAL MAP OF TOWER HILL SUBDIVISION, UNIT NUMBER 2, FILED IN THE OFFICE OF THE ELKO COUNTY RECORDER, ELKO, NEVADA, AT FILE NUMBER _____.FILE NUMBER 666870.



VICINITY MAP

APPROVAL - NEVADA DIVISION OF WATER RESOURCES

THIS FINAL MAP IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY SUBJECT TO REVIEW OF APPROVAL ON FILE AT THIS OFFICE.

NEVADA DIVISION OF WATER RESOURCES

DATE

APPROVAL - NEVADA DIVISION OF ENVIRONMENTAL PROTECTION

THIS FINAL MAP IS APPROVED BY THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY AND WATER SUPPLY FACILITIES AND IS PREDICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR DISPOSAL OF SEWAGE.

NEVADA DIVISION OF ENVIRONMENTAL PROTECTION BUREAU OF WATER POLLUTION CONTROL

DATE

ASSESSOR'S CERTIFICATE:

I, KATRINKA RUSSELL, CERTIFY THAT THE ASSESSOR'S PARCEL NUMBER SHOWN ON THIS PLAT IS CORRECT AND THAT THE PROPOSED PARCELS ARE A DIVISION OF SAID ASSESSOR'S PARCEL NUMBER 001-____.

ELKO COUNTY ASSESSOR

DATE

TREASURER'S CERTIFICATE:

I, CHERYL PAUL, CERTIFY THAT ALL PROPERTY TAXES ON ASSESSOR'S PARCEL NUMBER 001-___-HAVE BEEN PAID FOR THIS FISCAL YEAR.

ELKO COUNTY TREASURER

DATE

OWNER'S CERTIFICATE:

KNOWN OF ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED, SCOTT A. MACRITCHIE, MANAGING DIRECTOR OF JORDANELLE THIRD MORTGAGE, LLC, BEING THE OWNER OF THOSE PARCELS AS SHOWN ON THIS MAP, DOES HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS MAP AND OFFERS FOR DEDICATION ALL OF THE RIGHTS-OF-WAY AND EASEMENTS FOR PUBLIC ACCESS, PUBLIC UTILITY AND PUBLIC DRAINAGE PURPOSES AS DESIGNATED HEREON. IN WITNESS I, SCOTT MACRITCHIE, SET MY HAND ON THE DATE SHOWN.

JORDANELLE THIRD MORTGAGE, LLC

BY: SCOTT MACRITCHIE, MANAGING DIRECTOR

STATE OF NEVADA) COUNTY OF ELKO

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 20___, BY SCOTT MACRITCHIE, MANAGING DIRECTOR OF JORDANELLE THIRD MORTGAGE, LLC.

NOTARY PUBLIC IN AND FOR ELKO COUNTY, NEVADA

MY COMMISSION EXPIRES: .

APPROVAL - PUBLIC UTILITY EASEMENTS

THE PUBLIC UTILITY EASEMENTS, AS DESIGNATED HEREON, ARE APPROVED BY THE RESPECTIVE PUBLIC UTILITIES EXECUTING BELOW.

FRONTIER COMMUNICATIONS DATE

SIERRA PACIFIC POWER COMPANY d/b/a NV ENERGY

SATVIEW BROADBAND DATE

SOUTHWEST GAS CORPORATION

SHEET 1 OF 2

ELKO COUNTY RECORDER: FILE NUMBER: _____ FILED AT THE REQUEST OF: _____

D. MIKE SMALES, ELKO COUNTY RECORDER

FINAL MAP TOWER HILL SUBDIVISION UNIT NUMBER 3

DATE

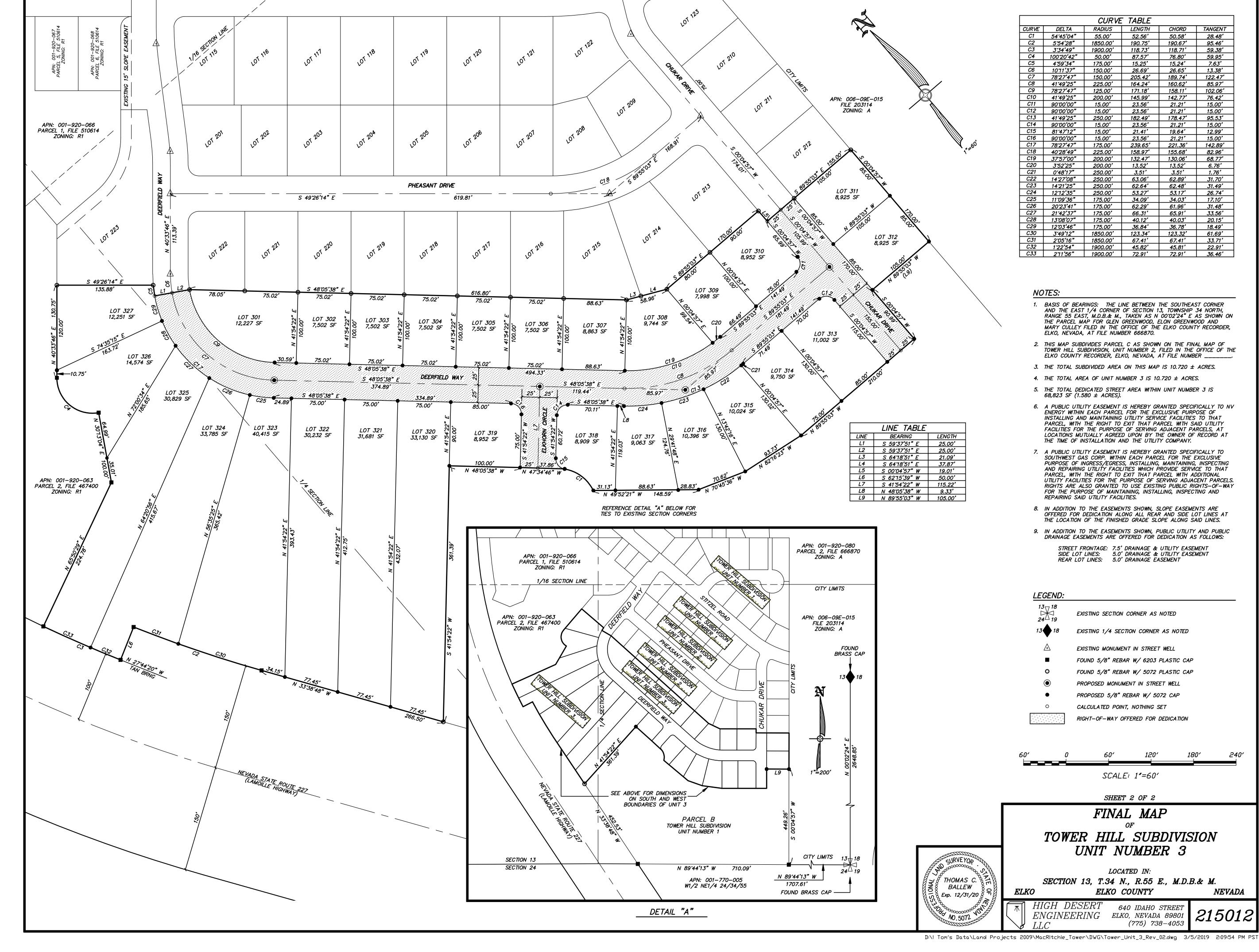
DATE

LOCATED IN: SECTION 13, T.34 N., R.55 E., M.D.B.& M. ELKO COUNTY **NEVADA**

HIGH DESERT ENGINEERING ELKO, NEVADA 89801

640 IDAHO STREE (775) 738-4053

D:\! Tom's Data\Land Projects 2009\MacRitchie Tower\DWG\Tower Unit 3 Rev 02,dwg 3/5/2019 2:09:54 PM PST



CALL USA TOLL FREE -800-227-260

JORDANELLE THIRD MORTGAGE, LLC TOWER HILL SUBDIVISION - UNIT NUMBER 3 SITE CONSTRUCTION DRAWINGS

TWO DAYS BEFORE YOU DIG CALL USA TOLL FREE 1-800-227-2600

OWNER:

JORDANELLE THIRD MORTGAGE, LLC 4518 N. 32ND STREET PHOENIX, ARIZONA, 85018 SCOTT MACRITCHIE (775) 340-6005

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS SPONSORED AND DISTRIBUTED BY THE REGIONAL TRANSPORTATION COMMISSION OF WASHOE COUNTY, WASHOE COUNTY, CITY OF SPARKS, CITY OF RENO, CARSON CITY AND DOUGLAS COUNTY, NEVADA.
- ALL CONSTRUCTION WITHIN NEVADA DEPARTMENT OF TRANSPORTATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE LATEST EDITION OF THE "STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION" AS DISTRIBUTED BY THE NEVADA DEPARTMENT OF TRANSPORTATION.
- ALL WORK PERTAINING TO HANDICAP ACCESSIBLE ROUTES, HANDICAP PARKING SPACES AND THE HANDICAP RAMPS SHALL BE IN
- ASSOCIATED WITH ANY PUBLIC IMPROVEMENT IS TO BE PERFORMED BY A PROPERLY LICENSED CONTRACTOR
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, THE CITY OF ELKO, AND ALL UTILITY COMP
- ELKO PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THIS PERMIT
- 10. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ELKO. THIS PERMIT SHALL BE REVIEWED AND APPROVED BY THE CITY OF ELKO PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IF THE DISTURBED AREA WITHIN THE PROJECT IS GREATER THAN ONE (1) ACRE, THE CONTRACTOR SHALL OBTAIN A STORMWATER DISCHARGE PERMIT AND COMPLY WITH THE STATE OF NEVADA DIVISION OF ENVIRONMENTAL PROTECTION REQUIREMENTS FOR STORMWATER POLLUTION PREVENTION. A COPY OF THIS PERMIT MUST BE KEPT ON SITE AT ALL TIMES WHILE THE CONTRACTOR IS WORKING ON THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THE STORM WATER POLLUTION PREVENTION MEASURES
- 12. IF THE DISTURBED AREA WITHIN THE PROJECT IS GREATER THAN FIVE (5) ACRES, THE CONTRACTOR SHALL OBTAIN AN AIR QUALITY PERMIT AND COMPLY WITH THE STATE OF NEVADA DIVISION OF ENVIRONMENTAL PROTECTION REQUIREMENTS FOR AIR POLLUTION PREVENTION. A COPY OF THIS PERMIT MUST BE KEPT ON SITE AT ALL TIMES WHILE THE CONTRACTOR IS WORKING ON THE PROJECT. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THIS PERMIT.
- 13. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE APPROPRIATE UTILITIES AND GOVERNMENT AGENCIES AS FOLLOWS:

FRONTIER COMMUNICATIONS TFI FPHONE SATVIEW BROADBAND TELEVISION: NATURAL GAS: SOUTHWEST GAS CORP. WATER, SEWER: CITY OF ELKO, NEVADA PUBLIC STREETS: CITY OF ELKO, NEVADA

- 14. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-227-2600) AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OR GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 15. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING UTILITIES OR IMPROVEMENTS CAUSED BY THE OPERATION OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- 16. THE CONTRACTOR SHALL VERIFY IN THE FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE), ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 17. THE CONTRACTOR SHALL HAVE STAMPED, AGENCY APPROVED PLANS, AT THE WORK SITE DURING CONSTRUCTION. CONSTRUCTION SHALL NOT PROCEED UNTIL THIS SET OF PLANS IS ISSUED WITH INCLUDED REVISIONS AND COMMENTS MADE BY THE AGENCIES.
- 18. THE CONTRACTOR SHALL WORK WITH THE PROJECT ENGINEER TO ENSURE AN ACCURATE AS—BUILT CAN BE GENERATED AND SUBMITTED TO THE CITY OF ELKO BY THE PROJECT ENGINEER.
- 19. THE PROJECT ENGINEER WILL PROVIDE AN AS-BUILT TO THE CITY OF ELKO. THE AS-BUILT WILL INCLUDE ALL RELEVANT QUALITY ASSURANCE AND QUALITY CONTROL INFORMATION AND BE STAMPED BY A PROPERLY LICENSED PROFESSIONAL ENGINEER.
- 20. ALL DIMENSIONS TO TOP BACK OF CURB, UNLESS OTHERWISE NOTED.
- 21. REFERENCE DETAIL SHEETS FOR CONSTRUCTION DETAILS.

PROJECT DATA:

LEGAL DESCRIPTION: LOCATION: **VESTING DOCUMENT: ZONING:** SPECIAL FLOOD HAZARD: NONE PERMITTED USE:

ACCESSORY USES:

001-920-079 PARCEL 1, FILE 666870 SECTION 13, T. 34 N., R. 55 E. DOCUMENT NUMBER 667534 NOT ADDRESSED

R1 - SINGLE FAMILY RESIDENTIAL ONE (1) SINGLE FAMILY DWELLING

ACCESSORY BUILDINGS. STRUCTURES

AND USES CUSTOMARILY INCIDENTAL

AREA: DEPTH:

MINIMUM SETBACKS:

REAR:

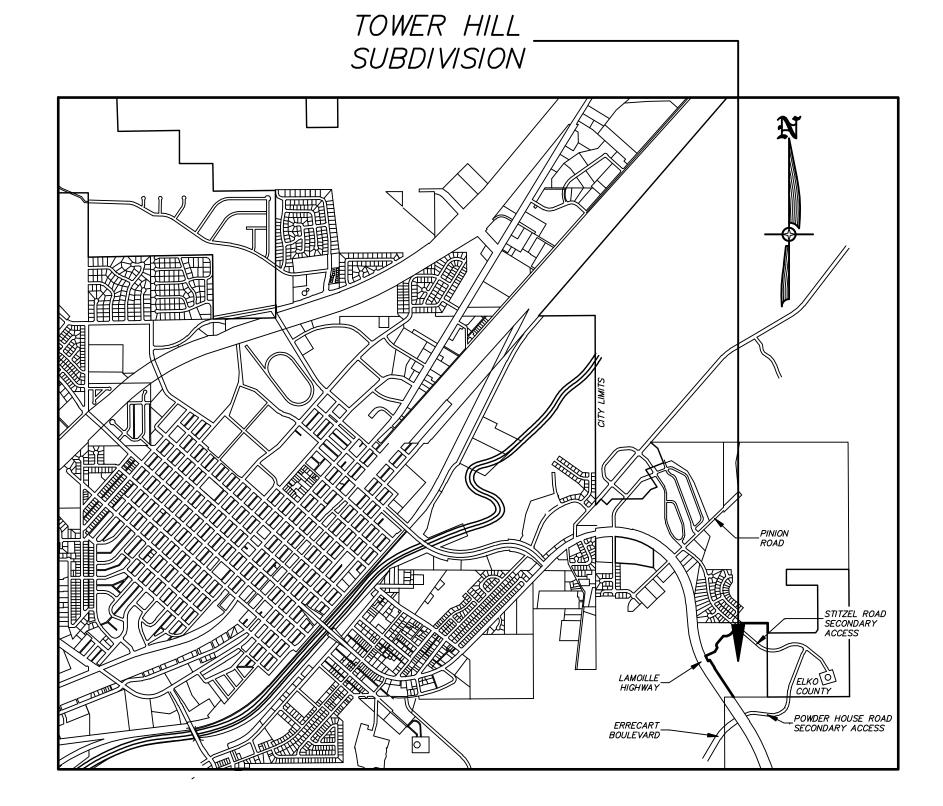
MINIMUM LOT SIZE:

EXTERIOR SIDE:

INTERIOR SIDE:

20' (DETACHED ACCESSORY BUILDING = 10'6,000 S.F. (6,500 S.F. FOR CORNER LOT)

MAXIMUM BUILDING HEIGHT: 35' (DETACHED ACCESSORY BUILDING = 25') FIRE FLOW REQUIREMENT: 1,500 GPM FOR 2 HOURS



VICINITY MAP

LEGEND:

<u> </u>		EXISTING SANITARY SEWER SERVICE LATERAL	— — О/Н Т— —	EXISTING OVERHEAD TELEPHONE LINE
— — s.s. <u>8</u>		EXISTING SANITARY SEWER MAIN W/ SIZE & DIRECTION	— — U/G T— —	EXISTING UNDERGROUND TELEPHONE LINE
— — <u>S</u>		EXISTING SANITARY SEWER MANHOLE	7	EXISTING TELEPHONE PEDESTAL
		PROPOSED SANITARY SEWER SERVICE LATERAL	——— U/G T———	PROPOSED UNDERGROUND TELEPHONE LI
—— S. S. <u>8</u>		PROPOSED SANITARY SEWER MAIN W/ SIZE & DIRECTION	— — O/H TV— —	EXISTING OVERHEAD TELEVISION LINE
)	PROPOSED SANITARY SEWER CLEANOUT	— —U/G TV— —	EXISTING UNDERGROUND TELEVISION LINE
——S	—	PROPOSED SANITARY SEWER MANHOLE	TV	EXISTING TELEVISION PEDESTAL
— — S.D. <u>2</u>	<u>4"> — — </u>	EXISTING STORM SEWER MAIN W/ SIZE & DIRECTION	———U/G TV——— GV	PROPOSED UNDERGROUND TELEVISION LI
— —		EXISTING STORM SEWER MANHOLE	\bowtie	EXISTING GAS VALVE
		PROPOSED STORM SEWER SERVICE LATERAL	— —	EXISTING GAS MAIN OR SERVICE LINE
S.D. <u>2</u> 4	4">	PROPOSED STORM SEWER MAIN W/ SIZE & DIRECTION	———— G ————	NEW GAS MAIN OR SERVICE LINE
		PROPOSED STORM SEWER MANHOLE	 	EXISTING DELINEATOR
	Ī	PROPOSED DROP INLET		PROPOSED PAVEMENT
•)	PROPOSED CATCH BASIN	. 4	PROPOSED CONCRETE
\Rightarrow	5	EXISTING FIRE HYDRANT	0	CALCULATED POINT
—— —×		EXISTING WATER VALVE	•	SET PROPERTY CORNER
— — <i>8"</i> I	w	EXISTING WATER MAIN W/ SIZE		FOUND PROPERTY CORNER
₩	5	PROPOSED FIRE HYDRANT	•	FOUND STREET MONUMENT
×		PROPOSED WATER VALVE	TP ⊕ #1	TEST PIT #1
8 "I	w	PROPOSED WATER MAIN W/ SIZE	× <u>100.00</u> TBC	SPOT ELEVATION
<u> </u>	- 2"W	PROPOSED WATER SERVICE METER & LATERAL	5120 $$	EXISTING GROUND CONTOUR
— — O/H	P— —	EXISTING OVERHEAD POWER LINE	5120	PROPOSED FINISH GRADE CONTOUR
— — U/G	P— —	EXISTING UNDERGROUND POWER LINE	***************************************	PROPOSED GRADE BREAK
E]	EXISTING ELECTRICAL BOX		SPECIAL CONSTRUCTION @ WATER/SEWER CROSSING
——— U/G	P	PROPOSED UNDERGROUND POWER LINE		MATERY SETTEN UNUSSING

ENGINEER:

HIGH DESERT ENGINEERING, LLC 640 IDAHO STREET ELKO, NEVADA 89801

ENGINEERING

SHEET INDEX:

CONSTRUCTION DRAWINGS

PLAN & PROFILE - DEERFIELD WAY & TYPICAL UTILITY LAYOUTS DETAIL GRADING PLAN EROSION CONTROL PLAN SITE DETAILS WATER SYSTEM DETAILS SANITARY & STORM SEWER DETAILS

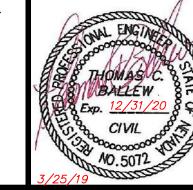
SUPPLEMENTAL DRAWINGS

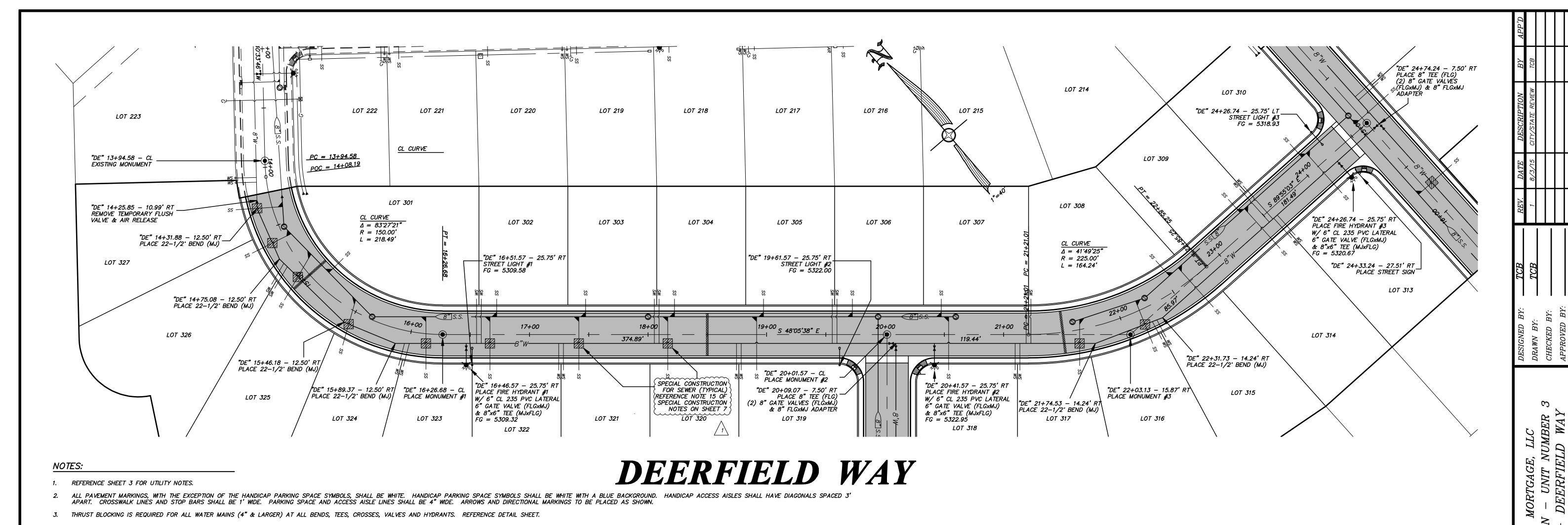
..... FINAL MAP - SHEET 1 OF 2 FINAL MAP - SHEET 2 OF 2

& UTILITY NOTES

ABBREVIATIONS:

······ ANGLE POINT ······ MANHOLE ASBESTOS CEMENT PIPE ······ MONUMENT PAD ELEVATION BACK OF SIDEWALK ······ POINT OF COMPOUND CURVE BEGINNING OF VERTICAL CURVE POINT OF INTERSECTION ······· PANEL POINT CENTERLINE ······ POINT ON CURVE CORRUGATED METAL PIPE ······ POINT ON TANGENT ······ POWER POLE CLEANOUT ······ POINT OF REVERSE CURVE CONCRETE CONTROL POINT ······ POINT OF TANGENCY POLYVINYL CHLORIDE PIPE ······· RADIUS REINFORCED CONCRETE PIPE DUCTILE IRON PIPE REFERENCE EDGE OF CULTURE RIGHT-OF-WAY STORM SEWER ELEVATION EDGE OF ROAD ••••• EDGE OF PAVEMENT END OF VERTICAL CURVE SANITARY SEWER ••••• STATION FENCE CORNER SIDEWALK FINISHED FLOOR ••••• FRONT FACE OF CURB ······ TANGENT ······ TOP BACK OF CURB FINISHED GRADE TOP OF CONCRETE TELEPHONE TOP OF GRATE TOP OF PAVEMENT GROUND SHO TELEPHONE PEDESTAL TRANS TRANSFORMER PAD HORIZONTA ••••• TELEVISION HOT WATER ••••• VERTICAL CURVE INVERT ELEVATION ········· VERTICAL VERTICAL POINT OF INTERSECTION INTERSECTION LINEAL FEET WATFR WATER VALVE

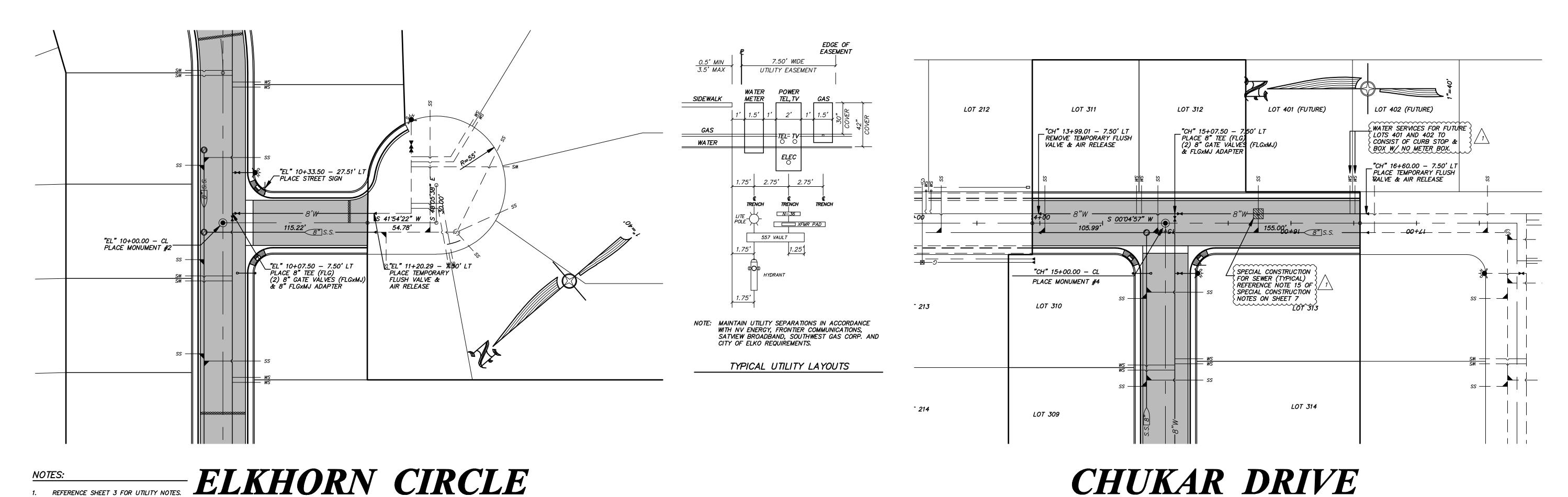




- REFERENCE SHEET 3 FOR UTILITY NOTES.
- 2. ALL PAVEMENT MARKINGS, WITH THE EXCEPTION OF THE HANDICAP PARKING SPACE SYMBOLS, SHALL BE WHITE. HANDICAP PARKING SPACE SYMBOLS SHALL BE WHITE WITH A BLUE BACKGROUND. HANDICAP ACCESS AISLES SHALL HAVE DIAGONALS SPACED 3' APART. CROSSWALK LINES AND STOP BARS SHALL BE 1' WIDE. PARKING SPACE AND ACCESS AISLE LINES SHALL BE 4" WIDE. ARROWS AND DIRECTIONAL MARKINGS TO BE PLACED AS SHOWN.
- THRUST BLOCKING IS REQUIRED FOR ALL WATER MAINS (4" & LARGER) AT ALL BENDS, TEES, CROSSES, VALVES AND HYDRANTS. REFERENCE DETAIL SHEET.
- 4. AIR RELEASE VALVES ARE REQUIRED AT THE HIGH POINTS OF THE WATER MAIN. FINAL LOCATIONS OF THESE VALVES MAY DIFFER FROM THOSE SHOWN, DEPENDING ON VERTICAL LOCATION OF EXISTING WATER MAIN.
- PROVIDE THRUST BLOCKING AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH DETAIL SHEET.
- 6. RESTRAINED JOINTS SHALL CONSIST OF MJ FITTINGS WITH ROMAC GRIP RINGS, OR EQUAL.

3. 4.	THRUST BLOCKING IS REQUIRED FOR ALL WATER MAINS (4" & LARGER) AT ALL BENDS, TEES, CROSSES, VALVES AND HYDRANTS. REFERENCE DETAIL SHEET. AIR RELEASE VALVES ARE REQUIRED AT THE HIGH POINTS OF THE WATER MAIN. FINAL LOCATIONS OF THESE VALVES MAY DIFFER FROM THOSE SHOWN, DEPL	IDING ON VERTICAL LOCATION OF EXISTING WATER MAIN.	RD M
5. 6.	PROVIDE THRUST BLOCKING AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH DETAIL SHEET. RESTRAINED JOINTS SHALL CONSIST OF MJ FITTINGS WITH ROMAC GRIP RINGS, OR EQUAL.		40' 0 40' 80' 120' 160' HI C
7.	ALL HYDRANTS SHOWN ARE PUBLIC HYDRANTS. 14+00 15+00 16+00 17+00	18+00 19+00 20+00 21+00 22+00	SCALE: 1"=40' 23+00 25-
5308	5306.83 5309.46 5309.40 Finish Graph	5314.54 5314.54 5314.54 5314.54 5316.92 5322.48 5322.73 5322.76 5322.76 5322.76	5320.72 5319.64 5319.84 5319.18 5319.64 5319.18
3308	200.00' VC PVI STA = 14+00 PVI ELEV = 5296.54 A.D. = 4.14	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	JC JC JWER
5304	K = 48.27	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	"DE" 24+66.74 - FG = 5319.51
5300	5.14%		74LE: 1"=40'
5296	3 PVC SEWER © 5.21%	PLACE 1072 LF 8" CL 235 PVC WATER	7.00% -2.00% 5296 5
5292	PLACE 228.74 LF 8" SUN	PLACE 61.50 LF 8" SDR-35 PVC 8" SDR-35 PVC	5292 NIX SOLVE STATE OF THE STA
5288	PLACE 102.30 LF 8 5.30% PLACE 102.50 WER 0 5.30%	SPECIAL CONSTRUCTION FOR SEWER (TYPICAL) REFERENCE NOTE 15 OF SPECIAL CONSTRUCTION NOTES ON SHEET 7	CE 226.61 LF 8" SDR-35 PVC SEWER @ 1.55% 5288 5288 5288
5284	1.250° L7 1.250° L7 2.50° L	77PE 1) 15.00° L7 74 15.00° L7 15.00° L7 15.00	PLACE SSMH #8 (TYPE 1) "DE" 24+59.24 - 15.00' LT RIM = 5318.58 IE IN (8" W) = 5311.02 IE IN (8" S) = 5311.02 IE OUT (8" N) = 5310.82
5280	END EXISTING 8" SEWER " 14+26.59 - 10.57, LT IE = 5292.07 KEW SE SE SE SE SE SE SE S	E SSMH #3 (TM 17+80.66 - 15.0 17+80.66 - 15.0 18-94.07 - 15.0 19+94.07 - 15.0 19+94.0	5280 LE SOT (S. W) = 3516.52 HE H
5276	PLACE 24.39 LF 8" C	IE OUT IE OUT IE OUT IE IN IE	SHEET BALLEW STATE OF THE SHEET
-	EXISTING GROUND 529. 2. 0. 1.1.1 5307.1 5. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2.	5323.7 532.7 532.7 532.7 532.7 532.7 532.7 532.7 532.7	05.75.20 CIVIL OF MO.5012 OF

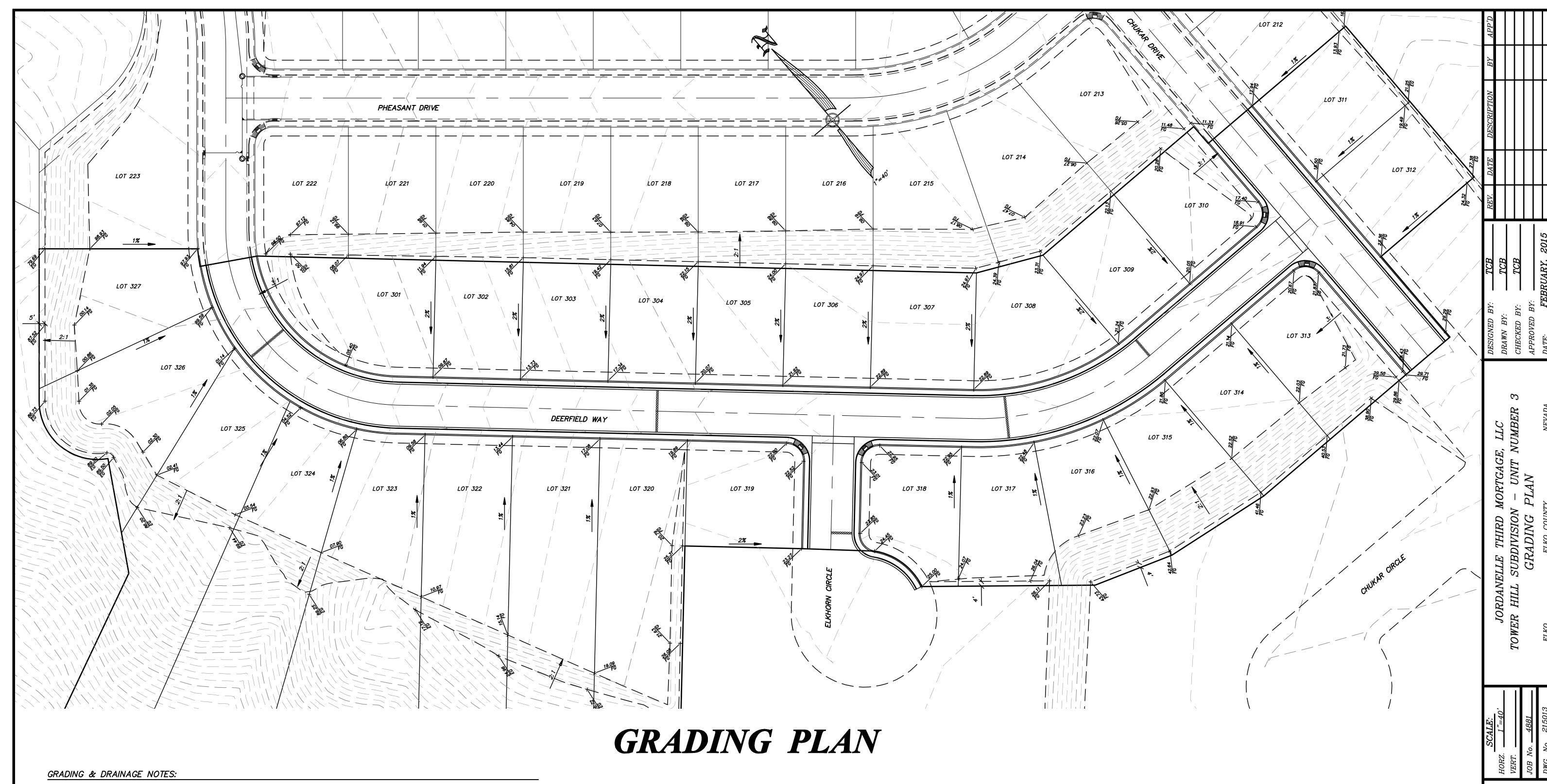
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ELKHORN CIRCLE

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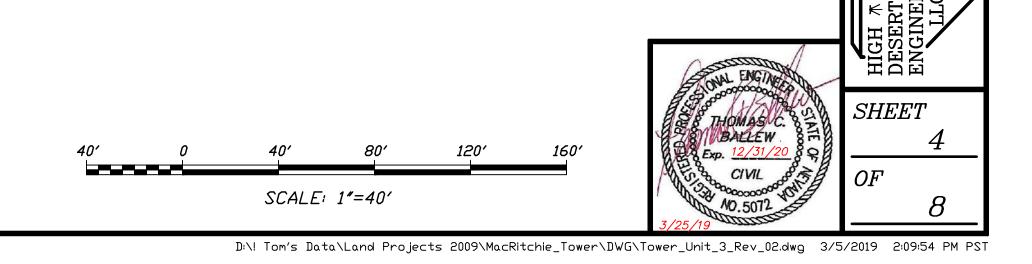
7.	ALL HYDRANTS SHOWN ARE PUBL	IC HYDRANTS. 10+00	11+00		12+00	13	·+00	14+00		13+00	14-i	+00	15+00	16+00	SCA	ALE: 1"=40' 17+00	18+00	 E 1 'BDI
5344	FINISH GRADE © CENTERLINE	5322.50	5322.44	5323.52	5324,32			5344	<i>5336</i>	5306.62	5309.76	5313.26 5315.01 5316.68	5319.51	5324.01	5329.26	5332.76	5335.99	ORDANELL HILL SU
5340		+00.00 - Pl +01.57 - P0T = 5322.50			0.00 – RAD PT = 5324.32			5340	5332	200.00' VC PVI STA = 12+50		ງ 75.00' VC ຫຼື 6 PVI STA = 14+62	75.00' VC	7.50 5				27 NOINEE
5336		"EL" 10-			"EL" 12+0 FG =			5336	5328	PVI ELEV = 5302.76 4.D. = 5.78 6. $K = 34.58$	EVCE: 5309.)	$\frac{80000}{600}$ $\frac{10000}{600}$ $\frac{100000}{600}$ $\frac{10000}{600}$ 1	64 + 9 of PVI ELEV = 532	EVCS: 15+7, EVCE: 5324.	1.00%			5328
5332			1.16%	← 1 <u>.00%</u> — —	_ <u>_2.</u> 00 <u>%</u> — A			5332	5324				5+00.00 - POT 24+66.74 - PI					SCALE: ORZ. 1 "= <pre>5TT. 1 "=</pre>
5328		2.00% -2.00% PLACE 113	1.10% 2.79 LF 8" CL 235 PVC WAT	TER	H H			5328	5320				"CH" 1	0.99 JF 8 Ct. 235 PVC	3 50R-35 PVC 1.00%			5320 IN H
5324			3.16 LF 8" SDR-35 SEWER @ 0.52%	x ===	1'1			5324	5316				PLACE 2		RUCTION }			ULTING ENGII
5320		7, RT 26 16 16 16		<i>R</i> 7				5320	5312		1.00%	OR-35 PVC		SPECIAL CONSTR FOR SEWER (TYP REFERENCE NOTE SPECIAL CONSTR NOTES ON SHEE	PICAL) E 15 OF RUCTION T 7			5 <i>312</i>
5316		SSMH #4 (TYPE +85.00 - 7.50' IM = 5322.11 '8" NW) = 5315. 8" SE) = 5315.4 3" SW) = 5315.4	9" SEV	11+20.29 - 7.50' IE = 5316.15 AP & MARK END				5316	5308		ar Cl. 235 PVC	PLACE 83.99 LF 8 5.88%	PLACE SSMH #8 (TYPE "CH" 14+85.00 - 7.50" RIM = 5318.58 IE OUT (8" N) = 5310.0 IE IN (8" S) = 5311.0 IE IN (8" W) = 5311.0	1) RT 32	END 8" SEWER 16+60.00 - 7.50 IE = 5323.13 AP & MARK END		Committee (HIGH * DESERT
5312		PLACE 3-4 "DE" 9-4 (8 IE IN (8 IE IN (8		"EL" 11.				5312	5304		8.0	"CH" 13+99.01 - 7.50' RT IE = 5305.88 REMOVE CAP	IE IN (8" S) = 5311.0. IE IN (8" W) = 5311.0.	? ?	"CH" 16		THOMAS C. Exp. 12/31/20	SHEET
	EXISTING GROUND © CENTERLINE	5323.7	5327.2	5334.4	5336.1	5337.9	5339.2	5340.0		35 PVC 18 5.89% 35 35 35 35 35 35 35 35 35 35 35 35 35	5308.P _O	5314.4	5319.0	5328.9	5332.8	5337.4	NO.5072 3/25/19	OF

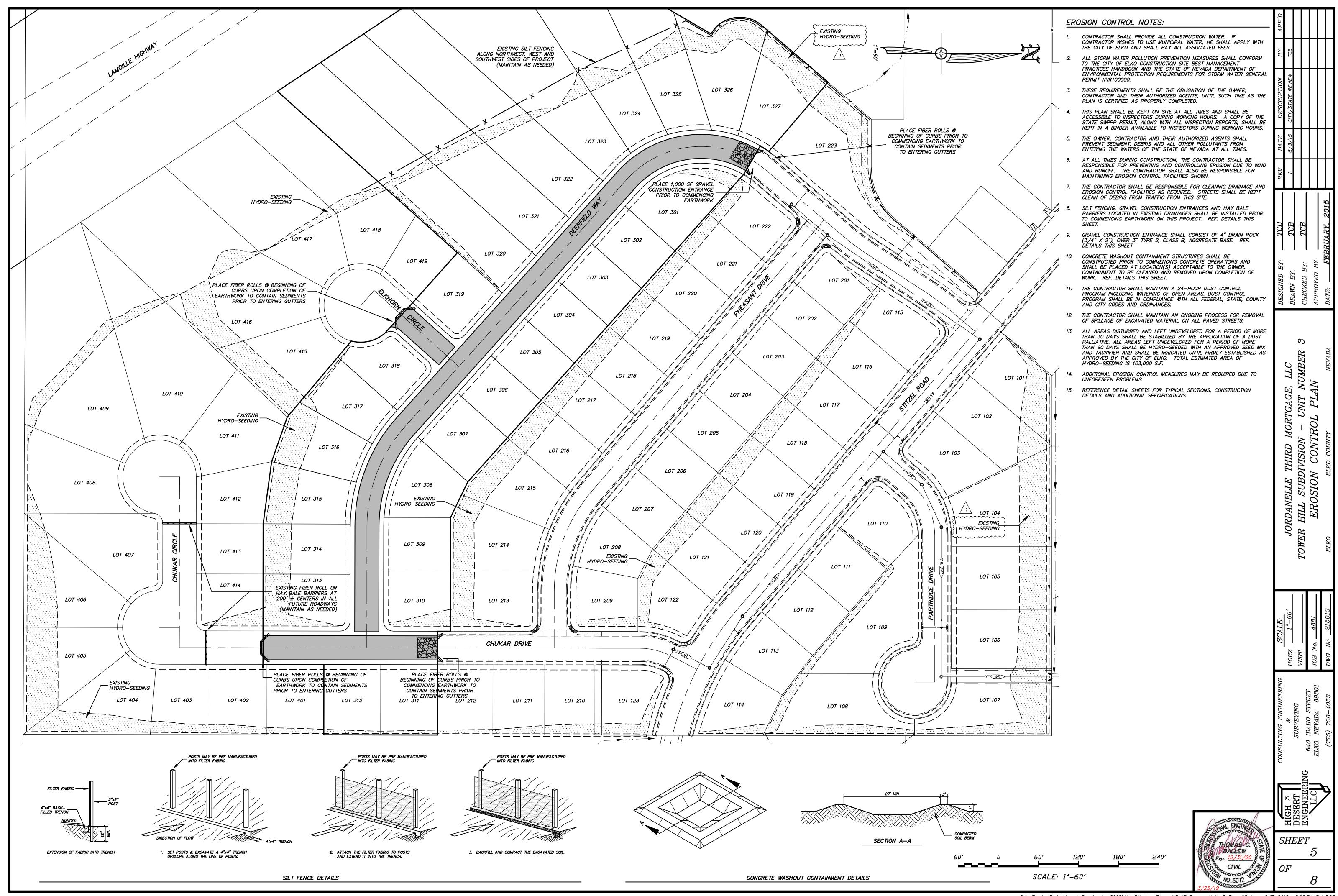


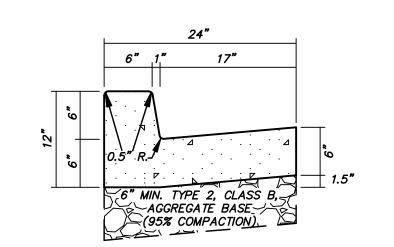
- 1. MASS GRADING FOR THIS PROJECT HAS BEEN COMPLETED. CONTRACTOR SHALL ASCERTAIN THAT PREVIOUSLY PERFORMED MASS EARTHWORK HAS BEEN COMPLETED IN ACCORDANCE WITH THIS PLAN.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING UPON COMPLETION OF ALL UTILITIES.
- 3. CURB & GUTTER GRADES AT MATCH POINTS ARE TO BE CONSIDERED APPROXIMATE ONLY. FINAL GRADES WILL BE DETERMINED PRIOR TO PLACING CURB & GUTTER.
- 4. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER. IF CONTRACTOR WISHES TO USE MUNICIPAL WATER, HE SHALL APPLY WITH THE CITY OF ELKO AND SHALL PAY ALL ASSOCIATED FEES.
- 5. THE CONTRACTOR SHALL MAINTAIN A 24—HOUR DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS. DUST CONTROL PROGRAM SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, COUNTY AND CITY CODES AND ORDINANCES.
- 6. THE CONTRACTOR SHALL MAINTAIN AN ONGOING PROCESS FOR REMOVAL OF SPILLAGE OF EXCAVATED MATERIAL ON ALL PAVED STREETS.
- 7. ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE STABILIZED BY THE APPLICATION OF A DUST PALLIATIVE.
 ALL AREAS LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN 90 DAYS SHALL BE HYDRO—SEEDED WITH AN APPROVED SEED MIX AND TACKIFIER AND SHALL
 BE IRRIGATED UNTIL FIRMLY ESTABLISHED AS APPROVED BY THE CITY OF ELKO.
- 8. ESTIMATED EARTHWORK QUANTITIES:

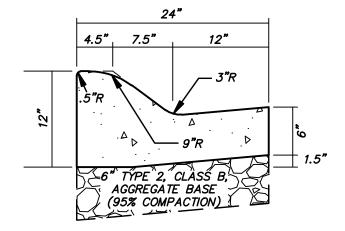
EXCAVATION: O C.Y.
EMBANKMENT: O C.Y.

9. CONTRACTOR SHALL VERIFY EARTHWORK QUANTITIES PRIOR TO PROCEEDING WITH EARTHWORK.



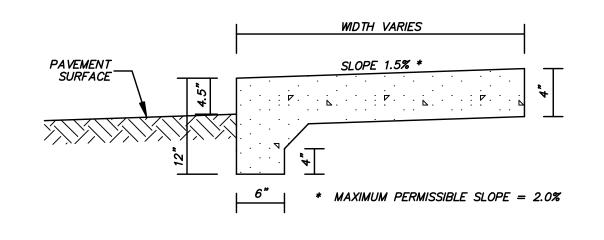


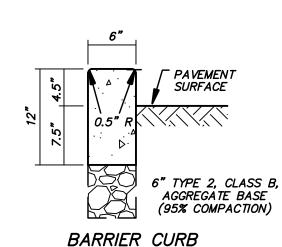




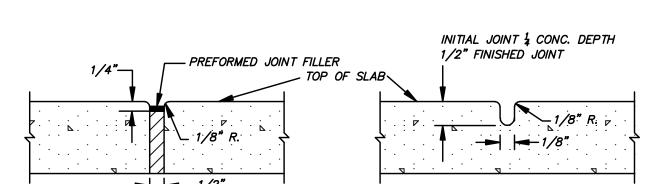
TYPE 1 CURB & GUTTER

TYPE 2 CURB & GUTTER



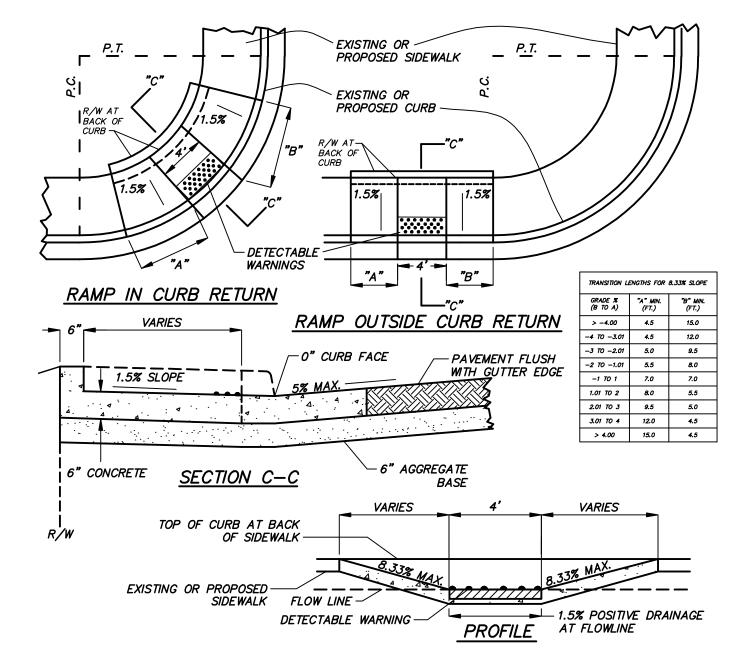


THICKENED EDGE SIDEWALK



WEAKENED PLANE JOINT SIDEWALK, CURB & GUTTER EXPANSION JOINT

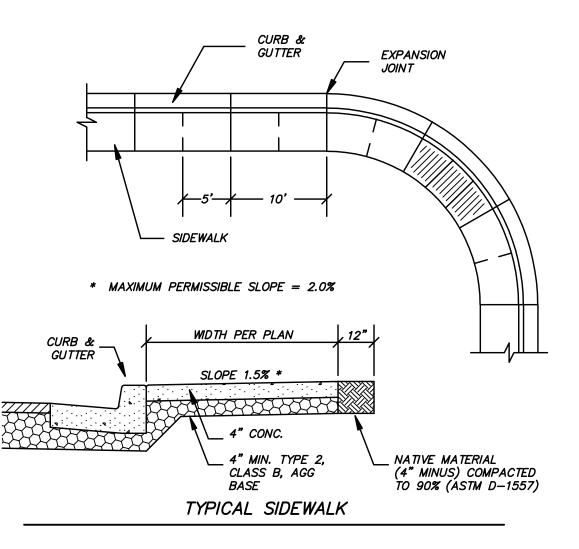
PCC JOINTING DETAILS



NOTES:

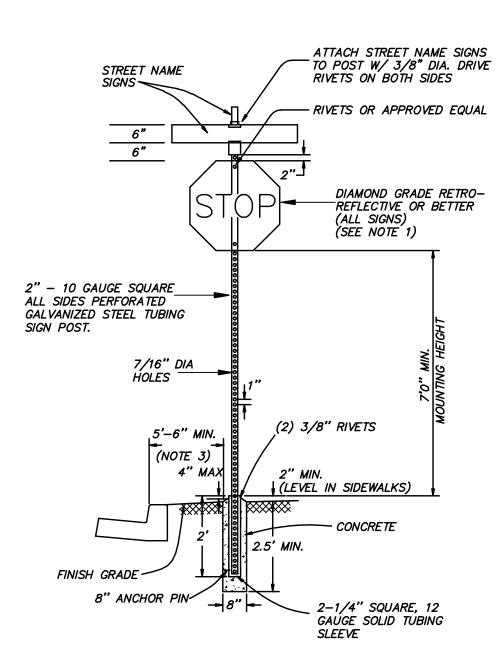
- CONCRETE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
- AGGREGATE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS
- 3. CURB RAMP WITHIN CURB RETURN SHALL BE LOCATED AT THE MIDPOINT OF CURB RETURN.
- RAMPS SHALL BE CONSTRUCTED WITH A ROUGH BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
- WHEN CONSTRUCTING A RAMP WHERE CURB & GUTTER EXIST, COMPLETELY REMOVE INTERFERING PORTIONS OF EXISTING CURB & GUTTER. LOCATION OF CURB RAMP SHALL BE APPROVED BY THE CITY OF ELKO PRIOR TO INSTALLATION.
- DETECTABLE WARNINGS SHALL BE YELLOW AND CONSIST OF RAISED TRUNCATED DOMES AND PLACED AT THE BOTTOM PORTION OF THE RAMP.
- 7. CROSS SLOPE OF SIDEWALK AND RAMP SURFACES SHALL NOT EXCEED 2%
- 8. CURB RAMPS & DETECTABLE WARNINGS SHALL MEET THE REQUIREMENTS OF 28 CFR PART 36, ADA STANDARDS FOR ACCESSIBLE DESIGN.

TYPE 1 CURB RAMP



CURB, GUTTER & SIDEWALK NOTES:

- CONCRETE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- AGGREGATE BASE MATERIAL SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 4. PLANTMIX BITUMINOUS SURFACE SHALL BE 1/4" TO 1/2" ABOVE VALLEY GUTTERS. ALL OTHER SURFACES TO BE FLUSH WITH VALLEY GUTTÉRS.
- 5. IF 2% CROSS SLOPE CAN NOT BE ATTAINED ON THE VALLEY GUTTER ASSOCIATED WITH A HANDICAP RAMP, PROPOSED CROSS SLOPE SHALL BE APPROVED BY THE CITY OF ELKO.
- 6. CURB RAMPS & DETECTABLE WARNINGS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE ADAAG.
- 7. DRIVEWAY GEOMETRICS SHALL GO TO THE P.C. AND THE P.T.
- 8. MAINTAIN POSITIVE DRAINAGE IN CROSSWALK AREAS AND PEDESTRIAN ROUTES TO PREVENT PONDING.
- 9. CROSS SLOPE OF SIDEWALK AND CURB RAMP SURFACES SHALL NOT EXCEED 2%.
- 10. WHEN CONSTRUCTING WHERE CURB & GUTTER ALREADY EXIST, COMPLETELY REMOVE INTERFERING PORTIONS OF EXISTING CURB & GUTTER. LOCATION OF CURB RAMP SHALL BE APPROVED BY THE CITY OF ELKO PRIOR TO INSTALLATION.
- 11. DETECTABLE WARNINGS SHALL BE YELLOW AND CONSIST OF RAISED TRUNCATED DOMES AND PLACED AT THE BOTTOM PORTION OF THE RAMP.
- 12. CURB RAMPS SHALL BE CONSTRUCTED WITH A ROUGH BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
- 13. PLANTMIX BITUMINOUS SURFACE SHALL BE FLUSH WITH THE EDGE OF THE GUTTER PAN IN THE AREA OF THE CURB RAMP.
- 14. ALL CONCRETE CURB, GUTTER AND SIDEWALK SHALL HAVE 1/2" EXPANSION JOINTS AT 90' INTERVALS AND AT ALL CURB RETURNS. CURB & GUTTER SHALL HAVE WEAKENED PLANE JOINTS EVERY 10'. SIDEWALK SHALL HAVE WEAKENED PLANE JOINTS EVERY 5' AND SHALL COINCIDE WITH CURB WEAKENED PLANE JOINTS. FOR BARRIER CURB ONLY, PLACE WEAKENED PLANE JOINTS EVERY 5'.

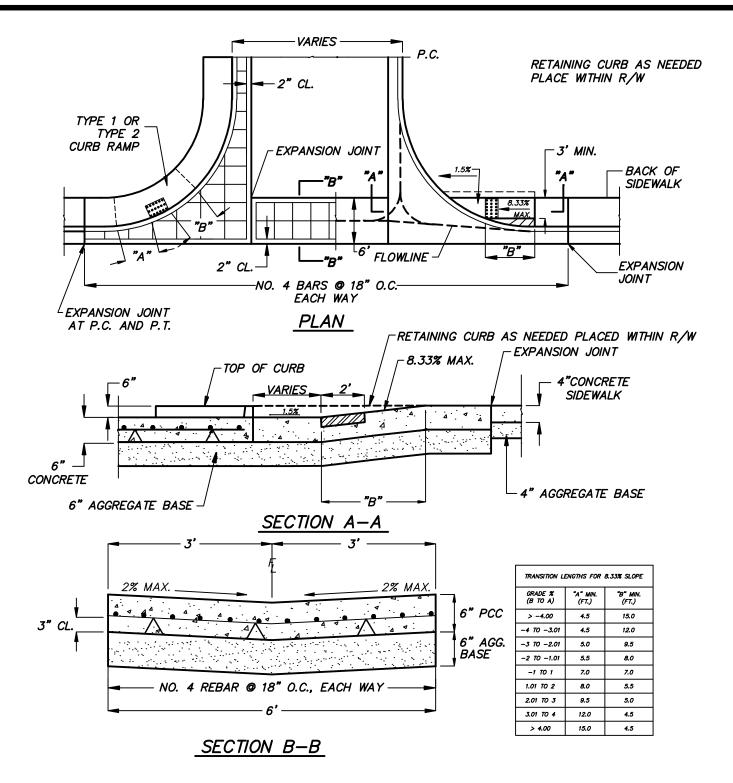


NOTES:

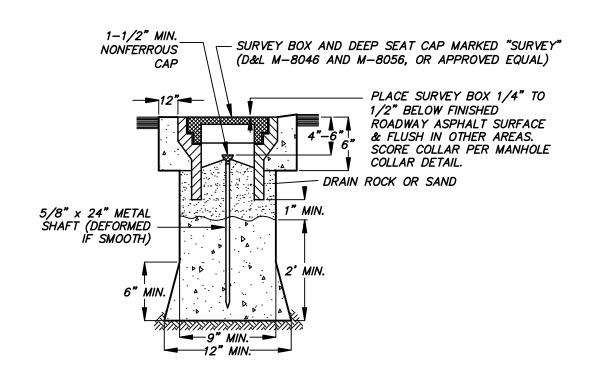
- 1. SIGN MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. MATERIALS USED FOR SIGNING SHALL BE DIAMOND GRADE RETRO-REFLECTIVE SHEETING, OR BETTER.
- 2. STREET NAME SIGN SHALL BE AS SPECIFIED BE THE GOVERNING AGENCY AND MOUNTED WITH VANDAL - PROOF HARDWARE.
- 3. ON STREETS WHERE CURBING DOES NOT EXIST, SET SIGN 6' MINIMUM FROM PAVEMENT EDGE.

4. EACH STREET SIGN SHALL CONSIST OF TWO PLATES RIVETED TOGETHER.

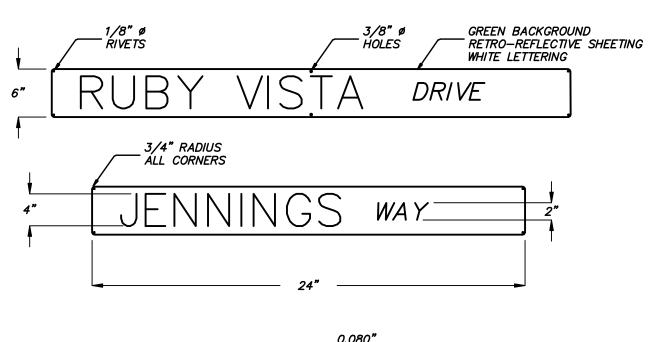
TYPE 2 STREET SIGN



P.C.C. VALLEY GUTTER WITH APRON TYPE 3 CURB RAMP

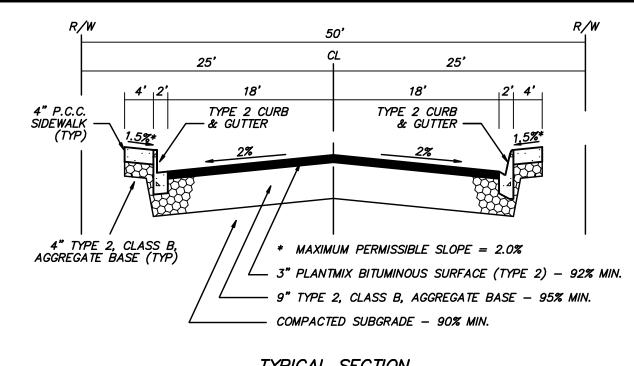


CLASS A MONUMENT



- SIGNS SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE LATEST EDITION OF THE M.U.T.C.D.
- 2. SIGN PANELS SHALL BE MOUNTED ON SIGN BLANK EXTRUDED ALUMINUM NO. 6061-T6, WITH A MINIMUM THICKNESS OF 0.080".
- 3. MATERIALS TO BE USED FOR SIGNING SHALL BE DIAMOND GRADE RETRO-REFLECTIVE SHEETING OR

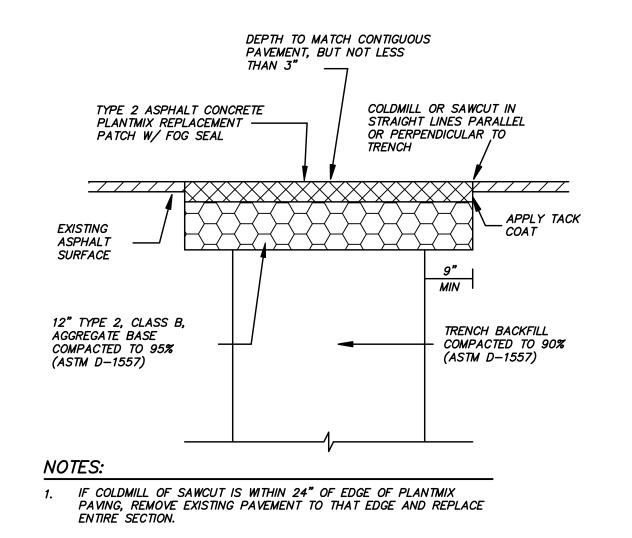
STREET NAME SIGN



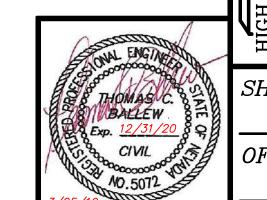
TYPICAL SECTION PHEASANT DRIVE, DEERFIELD WAY, CHUKAR DRIVE

PAVEMENT NOTES

- 1. USE PG 64-22 PERFORMANCE GRADE ASPHALT CEMENT IN ALL PLANTMIX BITUMINOUS COURSES.
- 2. USE TYPE 2 OR TYPE 3 AGGREGATE (AS SPECIFIED) IN ALL PLANTMIX BITUMINOUS SURFACES.
- 3. ALL PAVEMENT SURFACES TO BE SEALED. USE SS-1 EMULSIFIED ASPHALT (MIXED WITH AN EQUAL AMOUNT OF WATER) FOR SEAL COATS. APPLY AT A RATE OF 0.10 GPSY AND APPLY SAND BLOTTER AS NECESSARY.
- 4. TOP OF PLANTMIX BITUMINOUS SURFACE TO BE 1/8" (MIN.) TO 1/4" (MAX.) ABOVE CONCRETE GUTTER LIP.
- 5. CONTRACTOR SHALL TAKE MEASURES TO ASSURE PAVEMENT EDGES PLACED WITHOUT BORDERS ARE STRAIGHT AND COMPACT.



TYPICAL PATCH FOR FLEXIBLE PAVEMENT

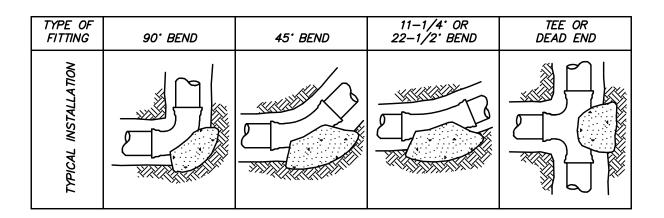


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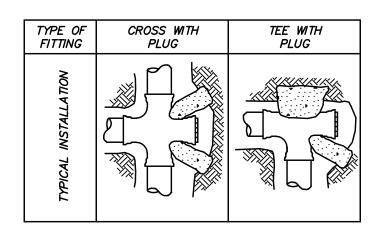
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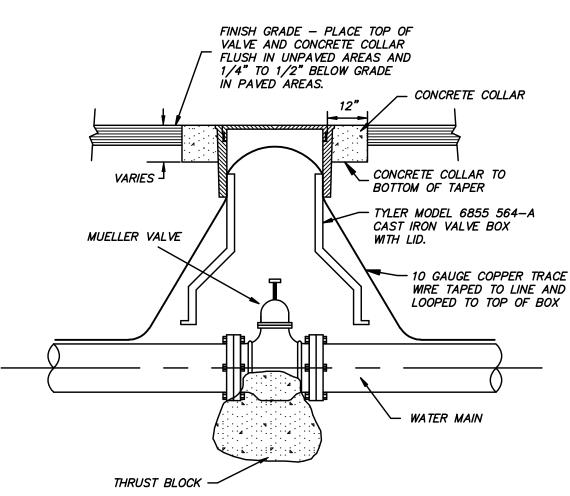
THRUST BLOCK BEARING AREA (SQ. FT.)

TYPE FITT		90° BEND	45° BEND	11-1/4° OR 22-1/2° BEND	TEE OR DEAD END	TEE WITH PLUG	CROSS WITH PLUG
	4"	2	1	1	2	2	2
	6"	4	4	2	4	4	4
SIZE OF PIPE	8"	7	4	2	5	7	7
	10"	12	6	3	8	12	12
	12"	16	10	5	12	16	16
	14"	20	12	6	14	20	20
	16"	27	15	8	18	27	27
	18"	45	25	13	<i>32</i>	45	45
	24"	65	.35	18	46	65	65



- CONCRETE FOR THRUST BLOCKS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI OR GREATER.
- 2. AREAS GIVEN ARE FOR CLASS 150 PIPE AT A TEST PRESSURE OF 150 PSI, WITH 2000 PSF BEARING CAPACITY. INSTALLATIONS USING DIFFERENT PIPE, TEST PRESSURES, AND/OR SOIL TYPES SHOULD ADJUST AREAS ACCORDINGLY, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- 3. THRUST BLOCKS ARE TO BE POURED AGAINST UNDISTURBED SOIL.
- 4. JOINTS AND FACES OF PLUGS TO BE KEPT CLEAR OF CONCRETE.
- 5. BOLTS ON SADDLE TEES ARE EXEMPT FROM THRUST BLOCK REQUIREMENTS IF STATED IN MANUFACTURER'S TABULATED DATA.

THRUST BLOCK BEARING AREAS

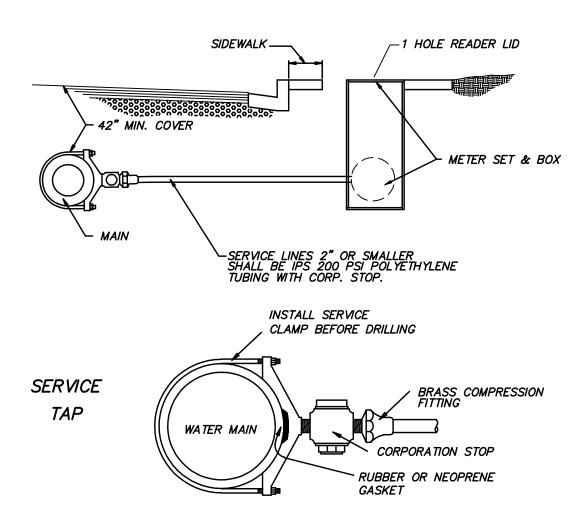


- CONCRETE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- 2. CONCRETE COLLAR REQUIRED WHEN VALVE IS NOT LOCATED IN CONCRETE OR BITUMINOUS SURFACE.

VALVE DETAIL

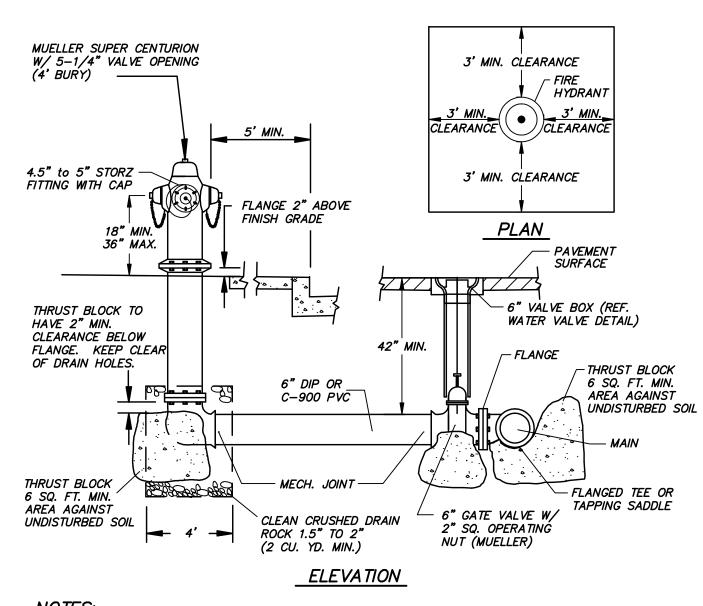
- 1. WATER DENSIFIED BACKFILL AND TUNNELING SHALL NOT BE ALLOWED.
- BACKFILL SHALL MEET THE REQUIREMENTS FOR CLASS "E" BACKFILL WITH NO ROCKS OVER 4", COMPACTED IN 6" (MAX) LIFTS TO 90% (MIN) OF MAXIMUM COMPACTION (ASTM D-1557).
- 3. BEDDING MATERIAL FOR DUCTILE IRON PIPE SHALL BE CLASS "C", AND SHALL BE CLASS "A" FOR
- 4. BEDDING MATERIAL SHALL BE COMPACTED TO 90% (MIN) OF MAXIMUM COMPACTION (ASTM D-1557).
- 5. FOR TRENCHES IN ROADWAY SECTION, SEE TRENCH PATCH DETAILS.
- 6. ALL TRENCHES EXCAVATIONS SHALL CONFORM TO THE LATEST O.S.H.A. AND M.U.T.C.D. REQUIREMENTS.
- 7. UNDERGROUND WARNING TAPE SHALL BE METALLIC AND APPROPRIATELY LABELED AND COLORED.
- 8. THE CONTRACTOR SHALL NOT HAVE AN OPEN OR UNATTENDED TRENCH AT ANY TIME.

TRENCH EXCAVATION AND BACKFILL



- 1. CORPORATION STOP, CURB STOP, (GATE VALVE 4" OR LARGER) AND SERVICE LINE TO BE SAME SIZE.
- 2. SERVICE CLAMPS SHALL BE DOUBLE STRAP FOR ALL SERVICE TAP SIZES, EXCEPT WHERE SIZE OF TAP EXCEEDS MANUFACTURER'S RECOMMENDED LIMIT FOR SIZE OF MAIN.
- 3. TAPS SHALL BE STAGGERED AND PLACED A MINIMUM OF 12" APART FOR DUCTILE IRON PIPE. TAPS SHALL BE STAGGERED AND PLACED A MINIMUM OF 18" APART FOR C900. NO TAPS SHALL BE CLOSER THAN 2 FEET FROM THE ENDS OF PIPE.
- 4. ALL JOINT FITTINGS SHALL BE OF BRASS COMPRESSION TYPE

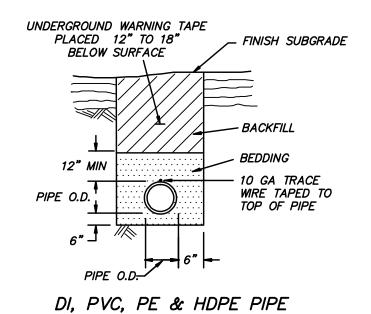
WATER SERVICE CONNECTION

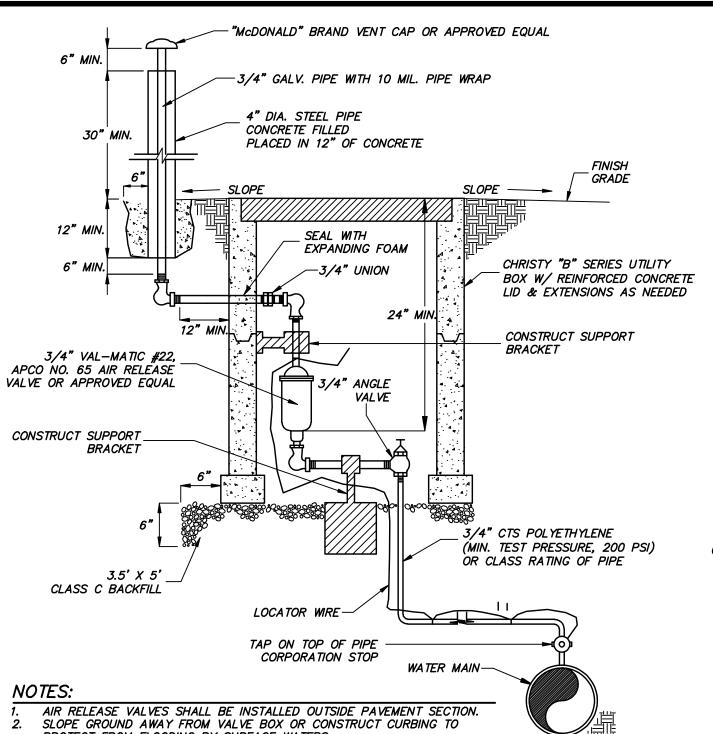


NOTES: . HYDRANTS SHALL BE ENAMELED RED.

- 2. ALL HYDRANTS SHALL HAVE (2) 2.5" PUMPER OUTLETS (MALE THREAD WITH CAP & CHAIN) AND (1) 4.5" STEAMER PUMPER OUTLET WITH 4.5" 5" STORZ FEMALE CONNECT WITH CAP & CHAIN. ALL THREADS SHALL BE SPECIFIED FOR AMERICAN NATIONAL HOSE COUPLING.
- 3. OPERATING NUT SHALL BE 1.5" PENTAGON.
- 4. INSPECTION BY A CITY OF ELKO FIRE OR PUBLIC WORKS REPRESENTATIVE IS REQUIRED PRIOR TO
- 5. FOR FINAL ACCEPTANCE, A FLOW, FLUSH, & HYDROSTATIC TEST SHALL BE WITNESSED BY CITY OF ELKO FIRE DEPT./UTILITY DIRECTOR OR PUBLIC WORKS REPRESENTATIVE, PER FORM 13-97, "MATERIALS & TÉST CERTIFICATE FOR UNDERGROUND PIPING".
- 6. ALL HYDRANTS SHALL INCLUDE APPROVED TRAFFIC PROTECTION, 3' MINIMUM CLEARANCES, AND POSITIVE DRAINAGE AWAY FROM THE HYDRANT.

FIRE HYDRANT

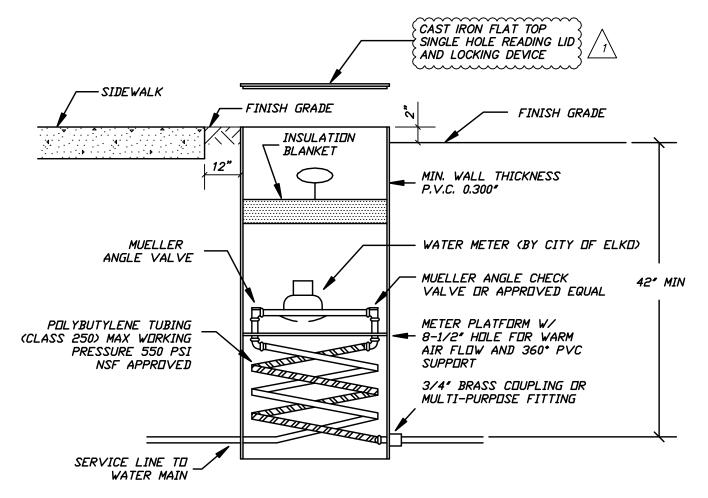




PROTECT FROM FLOODING BY SURFACE WATERS.

ALL PIPES SHALL HAVE POSITIVE SLOPE FROM MAIN LINE TO AIR RELEASE PROVIDE 4" INSULATION BLANKET IN TOP OF BOX.

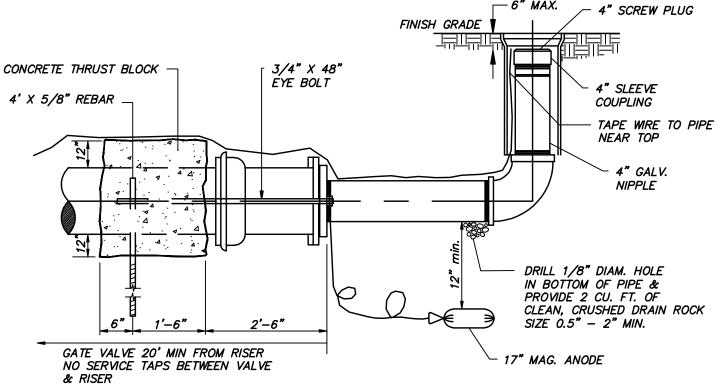
AIR RELEASE VALVE



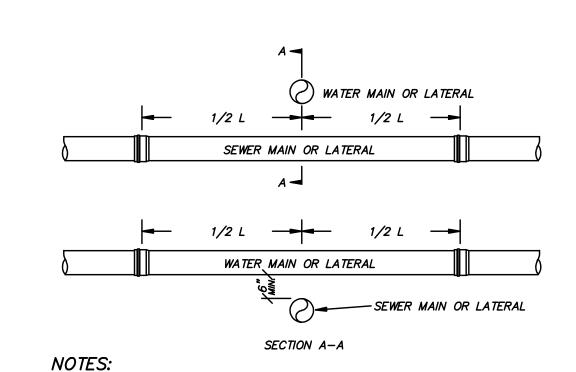
- 1. 4' WATER METER BOX SHALL BE MUELLER / McCULLOUGH THERMA—COIL METER BOX.
- 2. NO MORE THAN ONE EXTENSION ALLOWED.
- 3. CL OF METER BOX TO BE LOCATED 1.75 FEET BEHIND BACK OF SIDEWALK.

3/4" & 1" WATER METER

−*3/4"x48" EYE BOLT* ⊤BNG SET ⊢4" GALV. WASHERS PRESSURE PLATE 4" GALV. NIPPLE LOCATOR WIRE -GALV. ELBOW 4'x5/8" REBAR PO X FLG ADPT NOTE: ON LARGER SIZE PIPE & [∟] 17" MAG. ANODE D.I.P. USE MJ X FLG ADPT



TEMPORARY FLUSH VALVE ASSEMBLY



THIS DETAIL APPLIES IF WATER MAIN OR WATER LATERAL IS BELOW SEWER MAIN OR SEWER LATERAL; OR IF WATER MAIN OR WATER LATERAL IS ABOVE SEWER MAIN OR SEWER LATERAL, BUT NOT OF SUFFICIENT

2. SEE SPECIAL CONSTRUCTION NOTES BELOW FOR DETAILED REQUIREMENTS FOR WATER / SEWER CROSSINGS.

SPECIAL CONSTRUCTION DETAIL

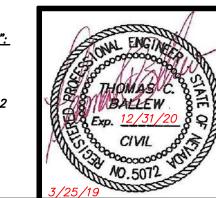
SPECIAL CONSTRUCTION NOTES:

- 1. "WATER" INCLUDES WATER MAINS AND LATERALS.
- 2. "SEWER" INCLUDES SANITARY SEWER MAINS AND LATERALS, STORM DRAINS, AND RECLAIMED
- WASTEWATER MAINS AND LATERALS. 3. USE OF A "SLEEVE" IS AN ACCEPTABLE ALTERNATIVE TO CENTERING THE WATER AND SEWER AT THE POINT OF CROSSING. "SLEEVE" MEANS ENCASING THE WATER OR SEWER WITH A 20' LENGTH OF AWWA C900 CLASS 100 OR GREATER WATER QUALITY PIPE. CENTERED AT THE POINT OF
- SLEEVE MUST HAVE A DIAMETER EQUAL TO OR GREATER THAN 2/3 THE DIAMETER OF THE SLEEVE. 4. RESTRAIN MEANS USING MECHANICAL COUPLINGS TO RESTRICT JOINT MOVEMENT OR SEPARATION OF PIPE JOINTS WITHIN 10' EACH SIDE OF THE POINT OF CROSSING.

WATER/SEWER CROSSING. TO AVOID BEING GROUTED IN PLACE, THE WATER MAIN INSIDE THE

- 5. VERTICAL SEPARATION IN ALL CASES SHALL NOT BE LESS THAN 6".
- 6. "CONCRETE ENCASEMENT" OF THE WATER AS MITIGATION OR PROTECTION IS DISCOURAGED.
- 7. EVERY EFFORT IS TO BE MADE TO KEEP WATER MAIN OR WATER LATERAL 18" ABOVE SEWER MAIN AND WATER MAIN 12" ABOVE SEWER LATERAL. OTHERWISE, THE FOLLOWING SPECIAL CONSTRUCTION METHODS APPLY:
- 8. <u>SEWER MAIN ABOVE WATER MAIN, OR SEWER MAIN BELOW WATER MAIN BY LESS THAN 18":</u> SLEEVE OR CENTER SEWER MAIN AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN.
- . <u>SEWER MAIN ABOVE EXISTING WATER MAIN, OR SEWER MAIN BELOW EXISTING WATER MAIN BY LESS THAN 18":</u> USE AWWA C900 WATER QUALITY PIPE, GREEN STRIPED, FOR SEWER MAIN MANHOLE TO MANHOLE AND CENTER SEWER MAIN AT CROSSING AND RESTRAIN ANY EXPOSED WATER MAIN
- 10. <u>EXISTING SEWER MAIN ABOVE WATER MAIN. OR EXISTING SEWER MAIN BELOW WATER MAIN BY LESS THAN 18":</u> POLYETHYLENE WRAP AND CONCRETE ENCASE SEWER MAIN JOINTS WITHIN 10' EACH SIDE OF THE POINT OF CROSSING AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN.
- 11. EXISTING SEWER FORCE MAIN ABOVE WATER MAIN, OR EXISTING SEWER FORCE MAIN BELOW WATER MAIN BY LESS THAN 18": POLYETHYLENE WRAP AND CONCRETE ENCASE SEWER FORCE MAIN JOINTS WITHIN 10' EACH SIDE OF THE POINT OF CROSSING (UNLESS WELDED HDPE THEN NOT NECESSARY) AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN. CENTER AND RESTRAIN WATER MAIN.

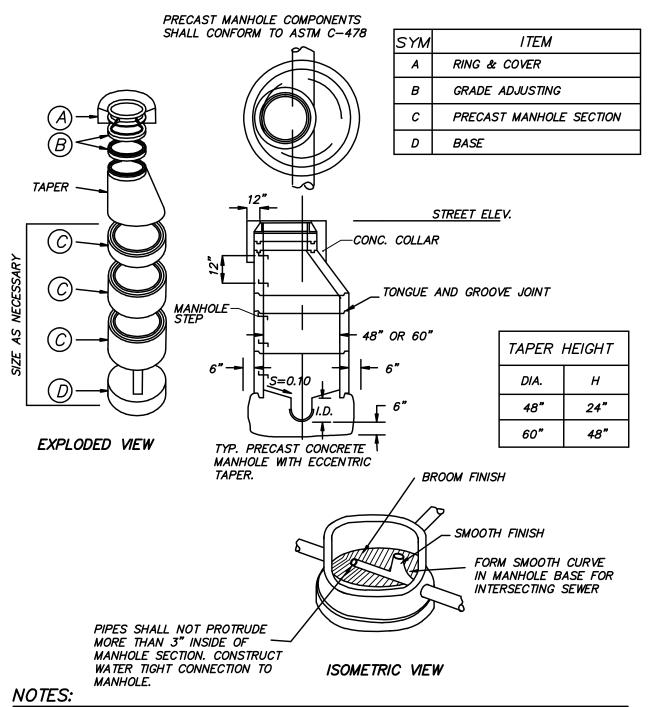
- 12. LESS THAN 24" DIAMETER RCP STORM DRAIN ABOVE WATER MAIN. OR LESS THAN 24" DIAMETER RCP STORM DRAIN BELOW WATER MAIN BY LESS THAN 18": POLYETHYLENE WRAP AND CONCRETE ENCASE RCP STORM DRAIN JOINTS WITHIN 10' EACH SIDE OF THE POINT OF CROSSING AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN. USE EXTERNAL JOINT SEALANTS FOR RCP STORM DRAIN DIAMETERS FROM 16'-21" AND SLEEVE WATER WATER MAIN OR CENTER & RESTRAIN
- 13. GREATER THAN OR EQUAL TO 24" DIAMETER RCP/RCB STORM DRAIN ABOVE WATER MAIN. OR GREATER THAN OF EQUAL TO 24" DIAMETER RCP/RCB STORM DRAIN BELOW WATER MAIN BY LESS THAN 18": POLYETHYLENE WRAP AND CONCRETE ENCASE RCP/RCB STORM DRAIN JOINTS WITHIN EACH SIDE OF THE POINT OF CROSSING AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN. USE INTERNAL JOINT SEALANTS OR JOINT GASKETS ON RCP/RCB STORM DRAIN AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN. USE EXTERNÁL JOINT SEALANTS FOR RCP/RCB STORM DRAIN DIAMETERS FROM 24"-168" AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN.
- 14. PVC STORM DRAIN ABOVE WATER MAIN, OR PVC STORM DRAIN BELOW WATER MAIN BY LESS THAN 18": SLEEVE OR CENTER PVC STORM DRAIN AND SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN.
- 15. <u>SEWER LATERAL ABOVE WATER MAIN. OR SEWER LATERAL BELOW WATER MAIN BY LESS THAN 12":</u>
 SLEEVE WATER MAIN OR CENTER & RESTRAIN WATER MAIN AND SLEEVE OR CENTER SEWER
- SEWER LATERAL ABOVE EXISTING WATER MAIN. OR SEWER LATERAL BELOW EXISTING WATER MAIN BY LESS THAN 12": SLEEVE OR CENTER SEWER LATERAL AT CROSSING AND RESTRAIN ANY
- 17. <u>SEWER MAIN ABOVE WATER LATERAL, OR SEWER MAIN BELOW WATER LATERAL BY LESS THAN 18":</u>
 USE PE TUBING CONFORMING TO AWWA STANDARD C901-02 AND ASTM D2737 FOR WATER LATERAL AND SLEEVE OR CENTER SEWER MAIN.
- RECLAIMED WASTEWATER MAIN ABOVE WATER LATERAL. OR RECLAIMED WASTEWATER MAIN BELOW WATER LATERAL BY LESS THAN 12": USE PE TUBING CONFORMING TO AWWA STANDARD C901—02 AND ASTM D2737 FOR WATER LATERAL AND SLEEVE OR CENTER RECLAIMED WASTEWATER MAIN.
- 19. <u>RECLAIMED WASTEWATER LATERAL ABOVE WATER MAIN, OR RECLAIMED WASTEWATER LATERAL BELOW WATER MAIN BY LESS THAN 12":</u> USE PE TUBING CONFORMING TO AWWA STANDARD C901—02 AND ASTEWATER MAIN OR DESTRUCTION OF THE PROPERTY OF CENTER AND RESTRAIN WATER MAIN.

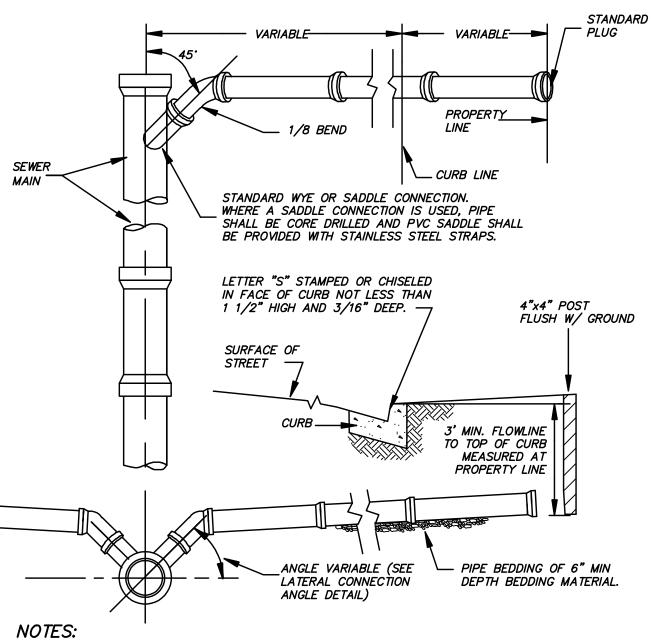


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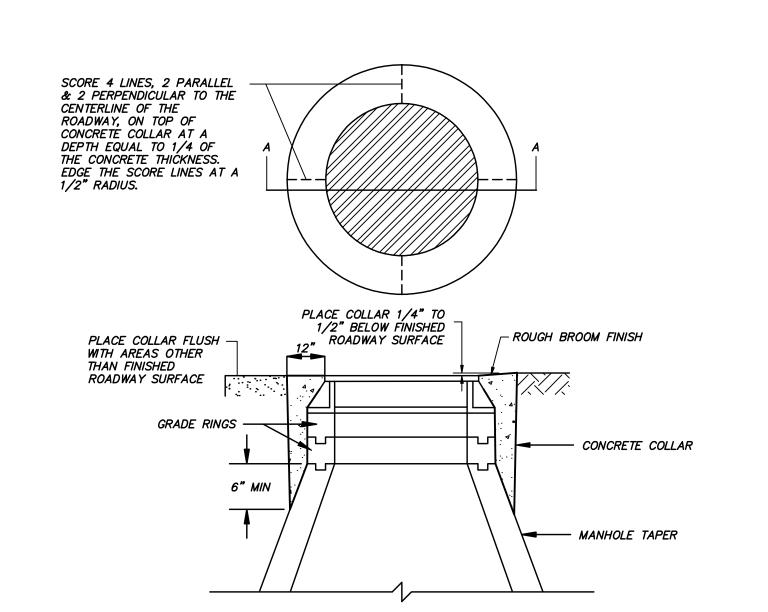
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- 3. SEWER PIPE WITHIN RIGHT-OF-WAY SHALL BE SDR-35 OR AWWA C-900 PVC.
- 4. ALL JOINTS ON SEWER LATERAL PIPE WITHIN THE RIGHT-OF-WAY SHALL BE COMPRESSION TYPE.



CONCRETE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS

SECTION A-A

- 2. MANHOLE COLLAR SHALL BE SET 1/4" TO 1/2" BELOW FINISHED CONCRETE OR BITUMINOUS SURFACE. MANHOLE COLLARS IN ALL OTHER AREAS SHALL BE SET FLUSH WITH FINISHED GRADE, UNLESS
- 3. CONCRETE COLLAR IS REQUIRED WHEN MANHOLE IS NOT LOCATED IN CONCRETE OR BITUMINOUS
- 4. REFER TO MANHOLES GENERAL NOTES FOR ADDITIONAL INFORMATION.

FOR PUBLIC WORKS CONSTRUCTION.

MANHOLES - GENERAL NOTES:

MANUFACTURER'S RECOMMENDATIONS.

DISPLAYED ON THE COVER.

O.S.H.A. REQUIREMENTS.

TYPE 1 & 2:

CONSTRUCTION.

PROPERTY LINE

MANHOLE COLLAR DETAIL

ALL MANHOLES SHALL MEET THE REQUIREMENTS OF SECTION 204 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

2. MANHOLE COVERS SHALL BE IDENTIFIED AS STORM DRAIN, WATER OR SEWER CLEARLY

3. ALL TRENCHES AND EXCAVATIONS SHALL CONFORM WITH THE LATEST EDITION OF THE

4. PRECAST MANHOLE SECTIONS, OTHER THAN GRADE RINGS, SHALL BE JOINED WITH FLEXIBLE PLASTIC GASKET MATERIAL SUCH AS "RAM-NEK" OR EQUAL AS PER

5. TYPE & SIZE OF MANHOLE TO BE CONSTRUCTED IN A PARTICULAR LOCATION SHALL

A. 27" THROUGH 36" PIPE ON TANGENT LINE AND GRADE.

B. 21" THROUGH 27" PIPE AT ANGLE POINTS AND CHANGES IN GRADE

EXCAVATABLE SLURRY BACKFILL MAY BE USED AS STRUCTURAL BACKFILL FOR

THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS

THE TOTAL HEIGHT OF MANHOLE GRADE RINGS SHALL NOT EXCEED 12 INCHES.

MANHOLES AND MUST MEET THE REQUIREMENTS OF SECTIONS 305.16 & 337.08 OF

SEE DETAIL OF STREET AND

MINIMUM TO

TO 15' DEEP-60'

0°–45°

ALLEY PAVEMENT PATCH -

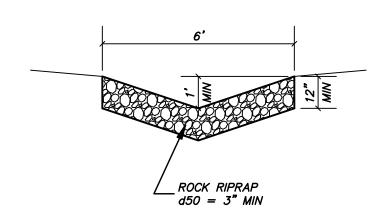
LATERAL CONNECTION ANGLES

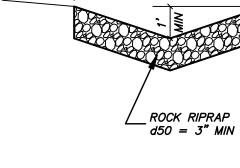
O 10' DEEP-45'

BE DETERMINED BY THE PIPE SIZE, ALIGNMENT AND GRADE AS FOLLOWS:

A. ALL CASES FOR PIPE 18" AND SMALLER.

B. 24" AND SMALLER PIPE ON TANGENT LINE & GRADE.





SECTION A-A

OUTLET PIPE

NOTE 5 -

TYPE 2 DRAINAGE DITCH

TYPE 1 DRAINAGE DITCH

TRANSITION GUTTER (TYP.

DEPRESS FRAME & GRATÉ

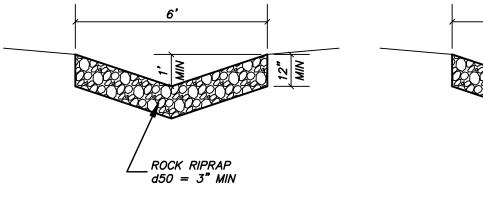
APPROX. 3" @ FLOW LINE.

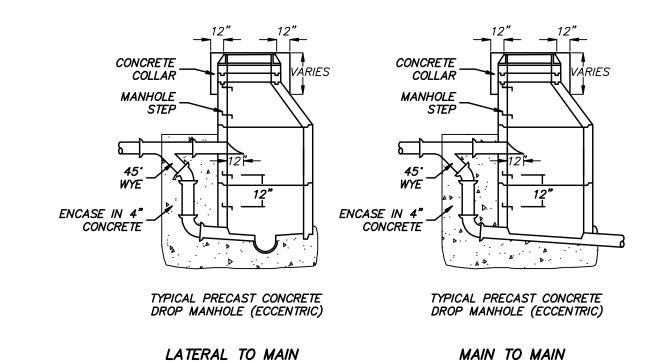
LIP OF GUTTER TO MATCH

DEPRESS

GUTTER

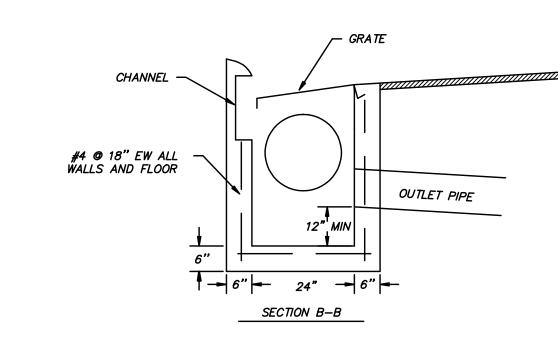
STREET GRADE.





- 1. MAINS SHALL BE SLOPED TO FALL AT LEAST 0.1 FEET ACROSS MANHOLE SECTION.
- 2. PIPE SECTION WITHIN MANHOLE MAY BE PVC.
- 3. MANHOLE STEPS SHALL BE POLYETHYLENE COATED.
- 4. REFER TO TYPE 1 MANHOLE DETAIL AND MANHOLE GENERAL NOTES FOR DETAILS AND NOTES NOT SHOWN.

MANHOLE TYPE 3



SIDEWALK

CURB

FRAME, GRATE & CURB BOX. (POSITION GRATE TO

FLOWLINE DIRECTION)

DEPRESS -

GUTTER

- 1. USE STRUCTURAL BACKFILL FOR BASE BENEATH DROP INLET FLOOR AND BACKFILLING OF DROP INLET. COMPACT TO 95% (MIN) OF MAXIMUM COMPACTION (ASTM D-1557).
- 2. REINFORCING STEEL SHALL HAVE A MINIMUM OF 2 INCH CLEARANCES.
- 3. FRAME SHALL BE NEENAH R-3294, R-3295 OR R-3067 SINGLE CURB UNIT WITH A TYPE L "VANE GRATE" FOR SINGLE FLOW AND CURB BOX, SOUTH BAY FOUNDRY VANE GRATE SBF 1947 OR APPROVED EQUAL, INSTALLED WITH PROPER FLOW DIRECTION OR A TYPE "DL" GRATE FOR DUAL
- 4. TILT FRAME & GRATE AS REQUIRED TO ATTAIN 6" MIN. FLOW OPENING & INSTALL DURABLE SHIMS BETWEEN THE CURB BOX & FRAME AS REQUIRED TO MATCH CURB BOX TO TOP OF CURB AND
- 5. IF NO SIDEWALK IS PRESENT, POUR 6" CONCRETE CURB STRUCTURE BEHIND GRATE AND TIE BEAM
- 6. DROP INLET SHALL BE A CAST-IN-PLACE CONCRETE UNIT.
- 7. DROP INLET SHALL BE TRAFFIC-RATED & LOCATED AT THE LOW POINTS OR PER APPROVED PLANS.
- 8. "NO DUMPING! DRAINS TO RIVER" SHALL BE CAST IN THE FRAME AT THE TOP OF THE CURB.
- 9. INFLOW PIPE INVERT ELEVATION SHALL BE 0.10 FEET (MIN) ABOVE OUTLET PIPE INVERT ELEVATION.
- 10. FRAMES AND GRATES SHALL BE MATCHED TO ACHIEVE A CLOSE TOLERANCE FIT, WITH MINIMAL GAPS, AS APPROVED BY THE CITY OF ELKO.
- 11. STORM DRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR REINFORCED CONCRETE PIPE (RCP). PIPE MINIMUM AND MAXIMUM COVER SHALL BE AS PER MANUFACTURER'S

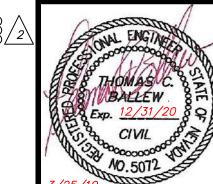
PRE-CAST CATCH BASIN TYPE 4-R

UTILITY NOTES:

- THE CITY OF ELKO UTILITY DEPARTMENT SHALL BE CONTACTED FOR AUTHORIZATION TO PLACE ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS INTO SERVICE FOR TESTING OR FINAL ACCEPTANCE.
- BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-651, "DISINFECTING WATER MAINS". TWO SETS OF CONSECUTIVE SAMPLES ARE REQUIRED AT LEAST 24 HOURS APART FROM EVERY 1200 FEET OF
- BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW WATER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS AND VALVED SECTIONS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH NAC 445A.67145.
- BEFORE BEING CERTIFIED BY AN ENGINEER OR ACCEPTED BY THE CITY OF ELKO, ANY NEW SEWER SYSTEMS, EXTENSIONS, REPLACEMENTS IN EXISTING SYSTEMS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST
- AT ALL POINTS WHERE SEWER (SANITARY OR STORM), WATER MAINS AND LATERALS CROSS, VERTICAL AND HORIZONTAL SEPARATION SHALL BE MAINTAINED PER NAC. ENGINEER AND CONTRACTOR TO REFERENCE SECTION 445A.6715 TO SECTION 445A.6718 OF THE NEVADA ADMINISTRATIVE CODE FOR UTILITY SEPARATION AND CLEARANCES.
- ALL CONNECTIONS TO THE EXISTING WATER MAINS WILL BE DONE BY THE CITY OF ELKO. THE
- THE CITY OF ELKO UTILITY DEPARTMENT SHALL BE CONTACTED TO PERFORM ALL TAPS ONTO CITY OF ELKO UTILITIES.
- 8. ABOVE GROUND UTILITIES ARE NOT PERMITTED WITHIN THE PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL COORDINATE THIS WORK WITH THE CITY OF ELKO.

- ALL WATER MAINS, HYDRANTS, WATER AND SEWER SERVICE CONNECTIONS REQUIRE CITY OF ELKO INSPECTIONS PRIOR TO BACKFILLING.
- 10. ALL CONSTRUCTION TO BE AWWA C-600 OR AWWA C-605 COMPLIANT AS APPROPRIATE.
- WATER TAPS ONTO THE WATER MAIN ARE TO BE IN ACCORDANCE WITH CITY OF ELKO STANDARD DETAIL U-12.1.
- 12. WATER TAPS ONTO THE WATER MAIN ARE TO BE A MINIMUM OF SIX FEET FROM HYDRANT TAPS
- 13. IN GENERAL HYDRANTS SHOULD BE LOCATED A MINIMUM DISTANCE OF SIX FEET FROM ABOVE GROUND UTILITIES.
- 14. MINIMUM COVER OVER THE WATER MAIN SHALL BE 42".
- 15. ALL WATER MAINS SHALL BE INSTALLED WITH LOCATOR WIRE AND MARKING TAPE.
- ALL WATER MAINS SHALL BE PRESSURE CLASS 235 PVC (AWWA C-900). FIRE MAINS TO BE PRESSURE CLASS 350 DUCTILE IRON (AWWA C-151). ALL WATER MAINS TO BE PLACED WITH 42"
- 17. DUCTILE IRON PIPE AND ALL DUCTILE IRON FITTINGS TO BE DOUBLE WRAPPED WITH 8 MIL POLYETHYLENE.
- 18. ALL WATER SERVICE LINES SHALL BE 1" IRON PIPE SIZE (IPS) RATED 200 PSI POLYETHYLENE (AWWA C-901), UNLESS OTHERWISE SHOWN.
- 19. CENTERS OF FIRE HYDRANTS TO BE PLACED 1.75' BEHIND BACK OF SIDEWALK.
- 20. ALL SANITARY SEWER MAINS SHALL BE 8" SDR 35 PVC (GREEN) PIPE. ALL RESIDENTIAL SANITARY SEWER LATERALS SHALL BE 4" SDR 35 PVC PIPE WITH À 2% SLOPE MINIMUM UNLESS OTHERWISE SHOWN. ALL COMMERCIAL SANITARY SEWER LATERALS SHALL BE 6" SDR 35 PVC PIPE WITH A 2% SLOPE MINIMUM UNLESS OTHERWISE SHOWN.
- 21. {ALL OPENINGS IN UNFINISHED PIPING OR APPURTENANCES MUST BE SEALED AT THE END OF EACH }
 WORKING DAY IN SUCH A MANNER AS TO PREVENT THE ENTRY OF BIRDS AND OTHER ANIMALS, DIRT, TRENCH WATER AND OTHER SOURCES OF POLLUTION OF CONTAMINATION.
- 22. THE MATERIALS SPECIFIED FOR THE WATER SYSTEM SHALL MEET THE REQUIREMENTS OF NAC $\stackrel{\longleftarrow}{}$ 445A.66085 "LEAD FREE" AND NAC 445A.67125 "DISTRIBUTION SYSTEM: MATERIALS".
- 23. NV ENERGY (POWER), FRONTIER COMMUNICATIONS (TELEPHONE), SATVIEW BROADBAND (TELEVISION) AND SOUTHWEST GAS CORPORATION WILL ALL BE INSTALLING BOTH ON-SITE AND OFF-SITE UTILITIES FOR THIS PROJECT. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THESE UTILITIES AND CONFORM TO ALL UTILITY COMPANY REQUIREMENTS. REFERENCE IS MADE TO
- ALL DRAWINGS PREPARED BY THE RESPECTIVE UTILITY COMPANIES FOR THIS PROJECT AND TO THE TYPICAL UTILITY LAYOUTS DETAIL ON THIS SHEET. 24. \all water system components shall comply with NSF/ANSI STANDARD 61: "DRINKING WATER SYSTEM COMPONENTS".



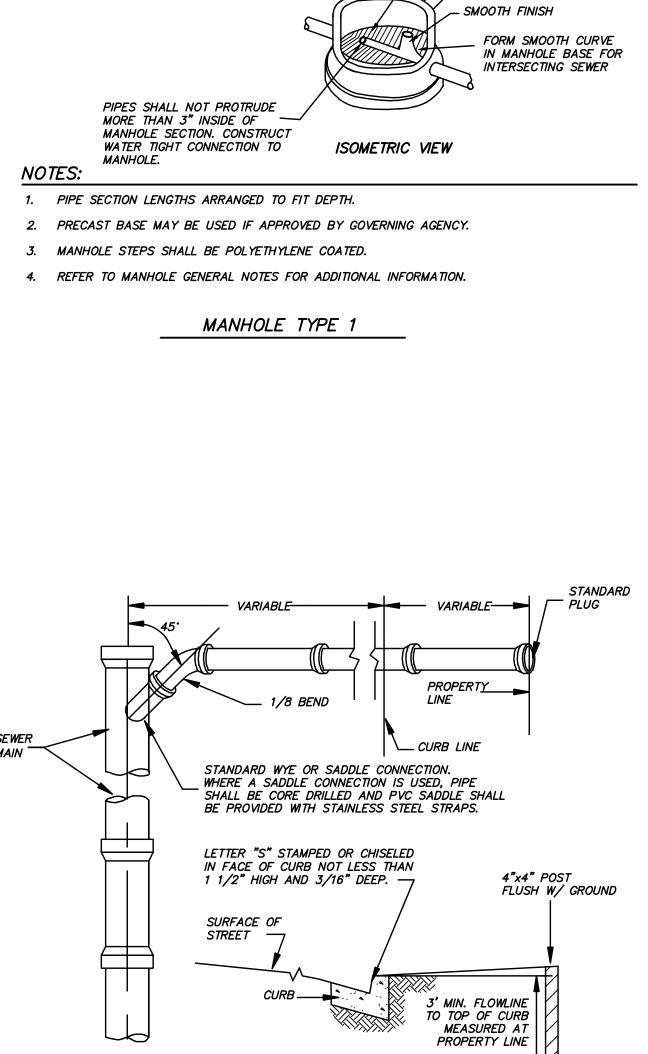
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UMBEH ETAIL

MORTGA

JORDANELLE FR HILL SUBL

D:\! Tom's Data\Land Projects 2009\MacRitchie_Tower\DWG\Tower_Unit_3_Rev_02.dwg 3/5/2019 2:09:54 PM PST



1. IN NO CASE SHALL A LATERAL CONNECT TO THE SEWER MAIN DIRECTLY ON TOP OF THE PIPE OR MATCH THE FLOWLINE OF THE PIPE.

- 2. SEWER LATERALS SHALL HAVE A MIN. SLOPE OF 2%.

- 5. LATERAL SHALL EXTEND TO PROPERTY LINE UNLESS OTHERWISE SHOWN ON PLANS.
- 6. ANY ABANDONED SEWER LATERAL IS THE RESPONSIBILITY OF THE CUSTOMER AND SHALL BE CUT AND CAPPED OR PLUGGED WITHIN 6 INCHES OF THE SEWER MAIN AND SUBJECT TO CITY
- 7. SEWER MAIN/LATERAL CONNECTIONS SHALL MEET THE REQUIREMENTS OF NAC 445A.

SEWER LATERAL CONNECTION

Elko City Planning Commission Agenda Action Sheet

- 1. Title: Review, consideration, and possible action on the 2019 Annual Report of Planning Commission activities. FOR POSSIBLE ACTION
- 2. Meeting Date: February 4, 2020
- 3. Agenda Category: MISCELLANEOUS ITEMS, PETITIONS, AND COMMUNICATIONS
- 4. Time Required: **10 Minutes**
- 5. Background Information: Pursuant to City Code Section 3-4-23, the Planning Commission is required to prepare and present an annual report of its activities to the City Council.
- 6. Business Impact Statement: Not Required
- 7. Supplemental Agenda Information:
- 8. Recommended Motion: Move to approve the 2019 Annual Report of Planning Commission Activities as presented, and forward a recommendation to City Council to approve the report.
- 9. Prepared By: Cathy Laughlin, City Planner
- 10. Agenda Distribution:

STAFF COMMENT FLOW SHEET PLANNING COMMISSION AGENDA DATE: 2 **Do not use pencil or red pen, they do not reproduce**

Title: 2019 Planning Commission Annual Report Applicant(s): Planning Department	
Site Location:	N/A
COMMENT:	
**If additional space is needed please provide a separate memorandum*	**
Assistant City Manager: Date: 1/24/20 No comment	
	5AW
City Manager: Date: //29/20	Initial
City Manager: Date: 1/29/20 No comments/concerns.	
	y
	Initial

City of Elko Planning Commission 2019 Annual Report

Chairman Jeff Dalling
Vice-Chairman Evi Buell
Secretary Tera Hooiman
Commissioner John Anderson
Commissioner Gratton Miller
Commissioner Stefan Beck
Commissioner Ian Montgomery

APPLICATIONS PROCESSED

A summary of the tasks and accomplishments of the City of Elko Planning Commission for the 2019 calendar year:

·		U		
Application		2019	2018	<u>2017</u>
Annexations		1*	1	3
Boundary Line Adjustn	nents (admin.)	6	0	1
Conditional Use Permit	ES .	13*	7 *	6
Appeals (City Co	uncil)	1	0	1
Curb, Gutter, Sidewalk	Waivers	2 (C.C.)	2 (C.C.)	1* (C.C)
Detachments		1*	0	0
Home Occupation Pern	nits (admin.)	42	53*	37*
Land Sales/Leases/Acqu	uisitions (C.C.)	1	0	2
Parcel Maps (mostly ad	lministrative)	9	10	8*
Parking Waivers		0	2	0
Reversions to Acreage ((City Council)	0	1	2
Revocable Permits (mo	stly City Council)	1	5	4
Rezones		5	8	12
Site Plan Reviews		0	2	0
Subdivisions				
Pre-Applications	, Stage 1	7	4	0
Tentative Maps		5	3	2
Final Maps		4	7	2
Temporary Sign Cleara	nces (admin.)	4	2	4
Temporary Use Permits	S	1	2*	4
Vacations		12*	4	1
Variances		4	13*	5
Appeals (City Co	uncil)	0	1	<u>0</u>
* see next page	TOTAL	119	127	95

APPLICATIONS PROCESSED Cont.

Application

Annexations 1 – 2019 Annexation application withdrawn by applicant

Conditional Use Permits 1 – 2018 Conditional Use Permit Transfer from 2003

1 – 2018 Conditional Use Permit Transfer from 1986

1 – 2019 Conditional Use Permit Transfer from 1995

Curb, Gutter, & Sidewalk Waivers 2 – 2016 applications on hold

1 - 2017 application on hold

Detachments 1 – 2019 Detachment application withdrawn by applicant

Home Occupation Permits (admin.) 1 - 2018 application withdrawn

1 – 2017 application paid but never finished

1 – 2017 application withdrawn

2 – 2016 applications paid but never finished

Parcel Maps 3 – 2017 applications refunded

Temporary Use Permits 1-2018 application withdrawn

Vacations 8 – 2019 applications for the City of Elko

NO CHARGE

Variances 1 – 2018 application refunded

INTERACTION WITH and SUPPORT OF the REDEVELOPMENT AGENCY and the REDEVELOPMENT ADVISORY COUNCIL

- > Analyzed applications within the Redevelopment Area for general conformance with the Redevelopment Plan.
- > Commissioner Dalling is a member of the Redevelopment Advisory Council and therefore keeps the Planning Commission informed of redevelopment happenings.

CITY OF ELKO MASTER PLAN and other PROJECT PLANS

- > Zoning revisions or clarification on properties throughout the City of Elko. (Ongoing)
- > Review zoning for the RMH districts, revise map. (In progress)
- > Updated the Transportation Component and Transportation Atlas #12 with El Armuth Connection.

CITY OF ELKO ZONING and SUBDIVISION ORDINANCE and CITY CODE AMENDMENTS

- > Revisions to the Section 3-9 Sign Ordinance. (In progress)
- > Revisions to the Planning Department applications. (In Progress)
- ➤ Amendment to 3-2-3 to account for changes in Curb, Gutter, and Sidewalk requirements.
- ➤ Amendment to 3-4-1 Planning Commission to update with NRS.

PLANNING DEPARTMENT FILING FEES COLLECTED

	<u>2019</u>	<u>2018</u>
Annexations	\$ 0	\$ 1,000
Boundary Line Adjustments	\$ 1,200	\$ 0
Conditional Use Permits	\$ 9,375	\$ 3,750
Curb, Gutter and Sidewalk Waivers	\$ 500	\$ 500
Home Occupation Permits	\$ 2,100	\$ 2,575
Parking Waivers	\$ 0	\$ 100
Parcel Maps	\$ 2,225	\$ 2,325
Reversions to Acreage	\$ 0	\$ 300
Revocable Permits	\$ 400	\$ 2,000
Rezones	\$ 2,500	\$ 3,300
Subdivisions	\$ 13,200	\$ 16,100
Temporary Use Permits	\$300	\$ 300
Vacations	\$ 2,400	\$ 2,400
Variances	\$ 1,750	\$ 4,350

TOTAL FEES COLLECTED FOR 2019 \$35,950

2018 - \$39,000 (difference of -\$3,050)



Zoning Bulletin

in this issue:

Public Utility/Zoning
Exemptions—Planning Department issues permit for natural gas pipeline support structures, determining natural gas company is exempt as a public utility from municipal zoning requirements

Zoning Amendment/Procedure— Town council fails to pass zoning amendment adopting a parking overlay district, but two months later votes to accept a different zoning amendment adopting a parking overlay district

3

6

7

Authority—County board of commissioners grants rezoning application along with waivers of mandatory setbacks

Zoning Enforcement—A city construction project proposed reconfiguration of a public way and relocation of a park within an open space zoning district

Zoning Initiative/General Plan— City adopts initiative that amends the city's general plan

Zoning Code Interpretation/Fences—Town says property owner's breakwall, septic system retaining wall, and retaining wall constituted "fences" under the town zoning code

Zoning News from Around the Nation

Public Utility/Zoning Exemptions— Planning Department issues permit for natural gas pipeline support structures, determining natural gas company is exempt as a public utility from municipal zoning requirements

Opponents appeal, arguing local zoning ordinance does not provide such explicit exemption, but township says exemption is implicit

Citation: Lorenzen v. West Cornwall Township Zoning Hearing Board, 2019 WL 5405314 (Pa. Commw. Ct. 2019)

PENNSYLVANIA (10/23/19)—This case addressed the issue of whether a municipal zoning ordinance exempted public utilities from municipal zoning requirements.

The Background/Facts: In 2012, Sunoco Pipeline, LP ("Sunoco") announced its intent to develop the Mariner East Project ("ME Project"). The ME Project is "an integrated pipeline system for transporting petroleum products and natural gas liquids ("NGLs") [interstate]." The ME Project is a two-phase project, with the Mariner East 1 pipeline ("ME1") utilizing Sunoco's existing pipeline infrastructure along with an extension, and the Mariner East 2 pipeline ("ME2") requiring construction of a new 351-mile pipeline.

In May 2015, the Lebanon County Planning Department (the "Planning Department")—as the zoning officer of West Cornwall Township (the "Township")—issued to Sunoco a zoning permit (the "Permit") for "accessory support and maintenance structures" ("Structures") for a pump station and power distribution center located in the Township and used by Sunoco as part of ME1. The Permit essentially authorized Sunoco to construct the Structures around the already-existing pump station and distribution center "to protect its equipment and decrease noise." The Planning Department "purportedly issued the Permit pursuant to Section 27-1722 of the [Township's] Zoning Ordinance."

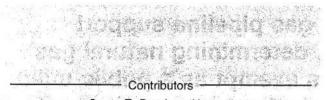
Section 27-1722 of the Zoning Ordinance provides in relevant part that "public utilities exemptions to district requirements shall extend only to accessory support and maintenance structures and buildings not requiring human occupancy . . . [while the] [p]rincipal utility structure . . . shall comply in all respects with the requirements for a principal use . . . [and] [i]n either case, said utility corporation shall secure a building and zoning permit from the Zoning officer [which]



include[s] any and all approvals required by other agencies, etc., for the use specified."

The Planning Department issued the Permit to Sunoco for the Structures without requiring Sunoco to submit an application for a conditional use approval and without a hearing or any other municipal review.

In June 2015, Concerned Citizens of Lebanon County (the "Association") and several individuals (collectively, the "Opponents") appealed to the Township's Zoning Hearing Board (the "Board") the Planning Department's issuance of the Permit to Sunoco. The Board concluded that for purposes of ME1, Sunoco was a public utility under Section 27-1722 of the Township's Zoning Ordinance, "thereby exempting it from Township zoning requirements for [the Structures]." The Board also concluded that the Planning Department properly issued the Permit.



Corey E. Burnham-Howard

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The Opponents appealed to the Court of Common Pleas, which affirmed the Board's conclusions.

The Opponents then appealed to the Commonwealth Court of Pennsylvania. On appeal, the Opponents argued that, among other things, the Board "erred in concluding that Sunoco's business activity involving the repurposing of ME1 to convey NGLs qualified Sunoco for exemption [from local municipal zoning requirements] under Section 27-1722 of the Zoning Ordinance." More specifically, they argued that the Board erred in concluding that Sunoco was entitled under Section 27-1722 to an exemption from zoning requirements. The Board had interpreted Section 27-1722 as creating an exemption for public utilities to which a public utility was entitled to a zoning permit without need of a hearing or other approval process. The Board had further concluded that Sunoco was therefore exempt as a public utility because it had generally been recognized as a public utility by the Pennsylvania Public Utility Commission ("PUC"). The Opponents disagreed with these conclusions as to exemption, instead interpreting Section 27-1722 as "merely limit[ing] the extent of any public utility exemptions that may otherwise apply."

The Court's Decision: Judgment of Court of Common Pleas reversed.

Agreeing with the Opponents, the Commonwealth Court of Pennsylvania concluded that the Zoning Ordinance did "not provide a mechanism or procedure for obtaining an exemption from the Township's zoning provisions based on public utility status." Sunoco and the Township had argued on appeal that although the Zoning Ordinance did not explicitly create such an exemption, it did so implicitly. But the court disagreed with the contention that "Section 27-1722 create[d] by implication a local exemption for public utilities independent of already existing exemptions, such as those created by Section 619 of the [Pennsylvania Municipalities Planning Code (MPC), Act of July 31, 1968, P.L. 805, as amended, 53 P.S. § 10619.]" Rather, the court found that "a close reading of Section 27-1722 of the Zoning Ordinance reveal[ed] that it merely attempt[ed] to limit or clarify the application of existing 'public utilities exemptions to district requirements' by providing that the exemptions 'shall extend only to accessory support and maintenance structures and buildings not requiring human occupancy' and placing limits on the location of the structures or uses on a property." In other words, the court found that Section 27-1722 attempted to "define or shape the type of zoning relief afforded to those public utilities determined to be entitled to public utility exemptions—presumably as determined by the PUC pursuant to the procedures set forth in Section 619 of the MPC."

Accordingly, the court concluded that Sunoco was not exempt from the Township's zoning requirements as a public utility.

See also: Crown Communications v. Zoning Hearing Bd. of Borough of Glenfield, 550 Pa. 266, 705 A.2d 427 (1997).

Case Note:

In its decision, the Commonwealth Court of Pennsylvania rejected "the notion that an exemption from local zoning can be implied to exist." However, the court noted that "a municipality could, through its zoning ordinance, explicitly create an exemption from zoning requirements for public utilities." Here, however, the court found that the Township had not enacted such a provision.

Case Note:

In the case, the court also addressed whether the Opponents had standing (i.e., the legal right to bring the action) to appeal the issuance of the Permit for construction of the Structures. The court concluded that individual Opponents that lived within approximately one-half mile of the site of the Structures had standing because, in the event of an explosion at the site, the Structures could be ejected and launched for a half mile, thereby potentially impacting those members that lived within that proximity to the Structures. Given that two of the Association's members therefore had such standing, the court concluded that the Association likewise had standing to appeal the issuance of the Permit.

Zoning Amendment/ Procedure—Town council fails to pass zoning amendment adopting a parking overlay district, but two months later votes to accept a different zoning amendment adopting a parking overlay district

Property owners challenge zoning amendment as "invalid" under state law, which prohibits consideration of the same zoning ordinance within two years of its unfavorable action

Citation: Penn vs. Town of Barnstable, 96 Mass. App. Ct. 205, 2019 WL 4924989 (2019)

MASSACHUSETTS (10/07/19)—This case addressed the issue of whether a zoning amendment was fundamentally and essentially the same as a zoning amendment previously considered and rejected by the town council, such that the most recent zoning amendment was precluded by the two-year statutory bar on adoption of zoning ordinances that have been unfavorably acted upon within the past two years.

The Background/Facts: In 2013, the Town of Barnstable (the "Town") supervised a study of commercial parking lots in the Town, and determined that there were discrepancies in how they were regulated by the licensing authority and the zoning authority. To resolve the discrepancies and to create uniformity, a zoning amendment ("Zoning Amendment 2016-54") was proposed. Zoning Amendment 2016-54 proposed a Hyannis Parking Overlay District ("HPOD"). The purpose of the HPOD was "to authorize 'as of right'

operation of commercial parking lots on land within the HPOD that 'ha[d] some legal pre-existing nonconforming status or [were] licensed as of May 1, 2014 as an open air parking lot involving the temporary storage of vehicles.' "Zoning Amendment 2016-54 further provided site-development standards that would govern operation of parking lots in the HPOD.

The Town Council referred Zoning Amendment 2016-54 to the Town's Planning Board for consideration. The Planning Board voted not to recommend adoption of Zoning Amendment 2016-54. In March 2016, the Town Council then took its own vote on the proposed Zoning Amendment 2016-54, but failed to pass it by two-thirds as required by Massachusetts statutory law. (See Mass. Gen. L. c. 40A, § 5, fifth par.)

In July 2016, the Town Council then proposed another zoning amendment that would create a HPOD—Zoning Amendment 2016-166. Zoning Amendment 2016-166 differed from Zoning Amendment 2016-54 in three ways: It clarified the definition of "commercial surface parking lots"; added a provision as to the number of commercial surface parking spaces allowed; and added a requirement that parking lot owners prepare and file a parking plan.

The Planning Board voted to recommend approval of Zoning Amendment 2016-166. The Town Council then voted by a two-thirds majority to adopt Zoning Amendment 2016-166.

Months later, owners of homes adjacent to some of the parking lots in the HPOD (the "Property Owners") challenged in Land Court the Town Council's adoption of Zoning Amendment 2016-166. The Property Owners contended that the Town Council's vote to adopt Zoning Amendment 2016-166 was "invalid" under Mass. Gen. L. c. 40A, § 5, sixth par. Because the vote came within two years of the council's rejection of Zoning Amendment 2016-54.

Massachusetts statutory law—Mass. Gen. L. c. 40A, § 5, sixth par.—provides that "[n]o proposed zoning ordinance or by-law which has been unfavorably acted upon by a city council or town meeting shall be considered by the city council or town meeting within two years after the date of such unfavorable action unless the adoption of such proposed ordinance or by-law is recommended in the final report of the planning board."

Finding there were no material issues of fact in dispute, and deciding the matter on the law alone, the Land Court judge agreed with the Property Owners' argument and issued summary judgment to the Property Owners, annulling the Town's adoption of Zoning Amendment 2016-166.

The Town appealed.

The Court's Decision: Judgment of superior court affirmed.

The Appeals Court of Massachusetts held that the twoyear statutory bar provided for in Mass. Gen. L. c. 40A, § 5, sixth par. precluded the Town Council from considering Zoning Amendment 2016-166.

In so holding, the court explained that the purpose of the

two-year bar was "to give some measure of finality to unfavorable action taken by a municipal legislative body so that 'members of the public shall be able to ascertain the legislative status of a proposed change at all times, and to rely on unfavorable action . . . as a complete defeat of the proposal." Further, the court noted that the Supreme Judicial Court of Massachusetts had construed the two-year bar as applying to "any new action of the same character" as a previously defeated proposal. To determine what constituted the "same character," the court looked at other cases that had addressed when new notices and hearings were required because of changes to a municipal body's original proposal. The court concluded that "proposed ordinances or bylaws are the same [or of the same character] for purposes of G. L. c. 40A, § 5, sixth par., if they share the same fundamental or essential character, with little substantive difference."

Applying that standard to the facts in the case at hand, the court concluded that Zoning Amendment 2016-166 "was the same as" Zoning Amendment 2016-54. The court acknowledged the three differences between the two zoning amendments, and found those three differences "did not change the fundamental and essential character of the item—[which was] to allow for as-of-right operation of commercial parking lots through creation of the HPOD."

Having concluded that Zoning Amendment 2016-166 and Zoning Amendment 2016-54 "were fundamentally and essentially the same," the court further concluded that the Town Council's rejection of Zoning Amendment 2016-54 precluded it from considering Zoning Amendment 2016-166 for two years. Thus, the court determined that the Town Council's vote approving Zoning Amendment 2016-166 "therefore came too soon," and was properly annulled by the Land Court judge.

See also: Kitty v. City of Springfield, 343 Mass. 321, 178 N.E.2d 580 (1961).

See also: Town of Burlington v. Dunn, 318 Mass. 216, 61 N.E.2d 243, 168 A.L.R. 1181 (1945).

See also: *Bogertman v. Attorney General*, 474 Mass. 607, 53 N.E.3d 627 (2016).

Case Note:

The Property Owners had also cross-appealed the Land Court judge's decision, asking the appellate court to address various other claims that the Property Owners' had pressed. But the appellate court here refused to address those other claims, noting that it was "uncertain whether those issues will arise in the future [I even were the [T]own to reintroduce [Zoning Amendment 2016-166.]"

Authority—County board of commissioners grants rezoning application along with waivers of mandatory setbacks

Landowners challenge the commissioner's authority to waive setback requirements

Citation: Mt. Plymouth Land Owners' League, Inc. v. Lake County, 2019 WL 4891411 (Fla. 5th DCA 2019)

FLORIDA (10/04/19)—This case addressed the issue of whether a county board of commissioners had the authority to grant a waiver of zoning setback requirements.

The Background/Facts: Lake County (the "County") sought to construct on County-owned land a 350-foot public safety communications tower. In furtherance of that construction, in April 2018, the County filed an application with the Lake County Planning and Zoning Board (the "PZB") for rezoning and for waivers of setback requirements mandated under the County's Land Development Regulations ("LDR"). The PZB recommended that the application be denied. Nevertheless, in September 2018, the County Board of Commissioners (the "Commissioners") promulgated an ordinance granting the rezoning application along with a waiver of the mandatory setbacks.

The Mt. Plymouth Land Owners' League and Vanessa Lynne Thornton (collectively, the "Landowners") challenged the Commissioner's decision to waive the setback requirements. Among other things, they argued that the Commissioners did not have the authority to grant variances as that power was expressly given solely to the County Board of Adjustment under the LDR.

LDR 13.01.01 reserved power to amend the LDRs and the zoning map to the Commissioners. LDRs 13.03.01 and 14.15.01 gave the Board of Adjustment the power to grant variances and waivers from the requirements imposed by the LDRs. LDR 14.15.06(B) provided that appellate jurisdiction over the Board of Adjustment was given to the circuit court.

The circuit court denied the Landowners' petition. The court concluded that "relief from mandatory setbacks could be granted through a variance," and that LDR 14.15.01 did not deprive the Commissioner of the power to grant variances, but merely authorized the Board of Adjustment to grant them as well.

The Landowners filed another petition, appealing the circuit court's decision, and reasserting their argument that the LDRs vested the Board of Adjustment with sole authority to grant variances from the LDRs mandatory setbacks, such that the Commissioner's waiver of mandatory setbacks for the public safety communications tower was invalid.

The Court's Decision: Petition granted.

Agreeing with the Landowners, the District Court of Appeals of Florida, Fifth District, held that the Commissioners

lacked authority under the LDRs to grant waivers of the LDRs setback requirements.

In so holding, the court acknowledged that the LDRs gave the Commissioners the power to grant rezoning with or without conditions, but noted that the power to rezone was "distinct from the power to grant zoning variances and waivers." The court found no provision of the LDRs vested the Commissioners with authority to grant variances and waivers. Rather, the court found the LDRs only explicitly granted such authority to the Board of Adjustment. Accordingly, the court concluded that the "plain language of the LDRs...clearly omit[ted] any role for the Board of Commissioners in granting variances and waivers from the requirements of the LDRs." In fact, the court found that, under the LDRs, the Board of Commissioners was "cut out of the procedure [for granting variances and waivers] altogether."

Having concluded that the Commissioners lacked the authority to waive the LDRs' setback requirements, the court quashed the order granting such waivers for the public safety communications tower.

Case Note:

In January 2019, the Board of Commissioners amended LDR 14.15.01 "with the intent of giving the Board of Commissioners the power to grant variances or waivers." The court found "this after-the-fact amendment" was not applicable to the Landowners' petition here.

Zoning Enforcement—A city construction project proposed reconfiguration of a public way and relocation of a park within an open space zoning district

Residents contended project was subject to local zoning requirements, but the city insisted the relocation of a public way was not subject to local zoning

Citation: Pitkin v. City of Cambridge, 2019 WL 5495858 (Mass. Land Ct. 2019), judgment entered, 2019 WL 5538549 (Mass. Land Ct. 2019)

MASSACHUSETTS (10/24/19)—This case addressed the issue of whether relocation of a public way is subject to local zoning.

The Background/Facts: The City of Cambridge (the "City") sought to undertake a construction project (the "Project"), which would reconfigure an intersection and

relocate a City-owned park within an Open Space District. A number of residents and businesses (the "Opponents") in the neighborhood of the proposed Project sought to prevent the commencement of the Project until the City's Planning Board had reviewed and approved it under the City's Zoning Ordinance. Specifically, the Opponents filed a request for zoning enforcement with the City's Commissioner of Inspectional Services (the "Commissioner"), seeking to prevent the construction Project unless the City first received approval under the City's Zoning Ordinance. The Opponents sought zoning enforcement on the basis that the Project was in an area zoned as Open Space District, which allowed only parks and other permitted recreational uses under the Zoning Ordinance. As such, the Opponents asserted that the Project was not permitted in an Open Space District and/or required a special permit and Planning Board review under the City's Zoning Ordinance.

The City maintained that no Planning Board review or permit was required because relocation of a public way was not subject to local zoning.

The Commissioner declined to take any zoning enforcement action, opining that "the layout, relocation, or alternation of a public way [was] not subject to the Zoning Ordinance."

The Opponents appealed the Commissioner's denial to the City's Board of Zoning Appeals (the "ZBA"). The ZBA denied the appeal.

The Opponents then appealed to the Land Court. The City responded by filing a motion to dismiss, asking the court to dismiss the Opponents' action. The City argued that the Land Court did not have jurisdiction over the dispute because Massachusetts statutory law governing zoning—Mass. Gen. L. c. 40A—did not apply to the layout or relocation of public ways, and the Land Court was limited to hearing only matters that fall within certain specific statutes—including Mass. Gen. L. c. 40A, related to land interests and zoning challenge.

The Court's Decision: Motion to Dismiss allowed.

The Massachusetts Land Court judge agreed with the City, concluding that it did not have jurisdiction to hear the Opponents' appeal because Massachusetts statutory law governing zoning—Mass. Gen. L. c. 40A—"does not regulate public ways" and the City Zoning Ordinance also "does not regulate the laying out of public ways."

The judge explained that Mass. Gen. L. c. 82, §§ 21-25 governed the laying out, alteration, and relocation of public ways. The court concluded that Mass. Gen. L. c. 40A (governing zoning) did not "supplant the authority vested in cities and towns by G.L. c. 82 because the purposes of G.L. c. 40A are distinct from the laying out of public ways and do not extend to regulating public ways."

The judge found that the Opponents failed to "identify any legal authority to support their contention that zoning extends to the regulation of where and how public ways may be laid out." "To the contrary," the judge found that "by its terms, G.L. c. 40A does not regulate the layout out of roads, streets or ways."

In rejecting the Opponents' argument that a public way was not exempt from local zoning restrictions, the judge

found that G.L. c. 40A did not require zoning approval each time a municipality laid out, altered or relocated a public way. The judge held that "a rule that a public way, laid out by a municipality pursuant to G.L. c. 82, may be used only for purposes which are permitted in that zoning district would be unreasonable, disruptive, and inconsistent with long-standing practice." Applying that reasoning here, the judge concluded that the City was "not precluded" from relocating the public way into the area that currently occupied the City-owned park "simply because that area was zoned for open space use."

The judge further held that even if G.L. c. 82 (which governs the layout, relocation and alteration of public ways) permitted the City to regulate public ways through local zoning, the Zoning Ordinance here did not do so. The judge found that no provision of the Zoning Ordinance regulated the construction of public ways. The court pointed to the fact that the Zoning Ordinance's "Table of Use Regulations"—which specified uses that were permitted, prohibited, or permitted by special permit—did not mention public ways.

Accordingly, the judge concluded that the Land Court did not have jurisdiction over the Opponents' challenge because neither the state statute governing zoning (G.L. c. 40A) nor the City's Zoning Ordinance regulated public ways.

See also: Kiernan v. City of Salem, 58 Mass. App. Ct. 181, 788 N.E.2d 992 (2003).

See also: Harrison v. Textron, Inc., 367 Mass. 540, 328 N.E.2d 838 (1975).

Zoning Initiative/General Plan—City adopts initiative that amends the city's general plan

Property owners challenge the validity of the initiative, arguing it caused the general plan to become impermissibly inconsistent.

Citation: Denham, LLC v. City of Richmond, 2019 WL 5493479 (Cal. App. 1st Dist. 2019)

CALIFORNIA (10/25/19)—This case addressed the issue of whether a zoning initiative adopted by a city council created an impermissible inconsistency in the general plan, and, if so, what the appropriate remedy was for such an inconsistency.

The Background/Facts: As required by state law, the City of Richmond (the "City") adopted a general plan—the Richmond General Plan 2030 (the "General Plan"), providing for a "comprehensive, long-term general plan" for the City's "physical development," and including eight mandatory elements: "land use, housing, conservation, open-space, circulation, noise, safety, and environmental justice." (See Gov. Code § 65302.) The land use element of the General Plan included various land use classifications and a map of their location. One residential land use classification pro-

vided for in the General Plan was the "Hillside Residential" classification. The Hillside Residential land use classification applied to a stretch of hillside land known as the Richmond Hills, and allowed uses of specified types of residential development.

In January 2017, the City adopted the Richmond Hills Initiative (the "Initiative"). The Initiative stated that it amended the General Plan "by limiting development and land uses in the Richmond Hills" The Initiative applied to 38 parcels designated as the "Initiative Area," which mostly included property designated "Hillside Residential" in the General Plan. Among other things, the Initiative added provisions to the open-space element of the General Plan, prohibiting all residential development in the Initiative Area. The Initiative did not change the definition of the the "Hillside Residential" classification or the maps applying that classification to most of the initiative area. The Initiative did include a number of specific, minor amendments to the General Plan, which were "made to avoid any inconsistency in the General Plan"

After the adoption of the Initiative, property owners affected by the Initiative (the "Property Owners") brought a legal action challenging the Initiative. Among other things, the Property Owners argued that the Initiative caused the General Plan to become impermissibly inconsistent.

State law requires that "[v]irtually any local decision affecting land use and development must be consistent with the general plan and its elements." It further provides that "amendments to the general plan must be internally consistent and cannot cause the general plan to become internally inconsistent."

The trial court agreed with the Property Owners, finding the Initiative caused the General Plan to become impermissibly inconsistent. The trial court determined that, as such, the Initiative could not be given effect. The court directed the City to "set aside and vacate its adoption of the [I]nitiative."

Sierra Club, an environmental group, had intervened in the case to defend the Initiative. Sierra Club appealed the trial court's conclusion.

The Court's Decision: Judgment of superior court reversed, and matter remanded.

The Court of Appeal, First District, Division 4, California, agreed with the trial court that the Initiative caused the General Plan to become impermissibly inconsistent, but it disagreed as to the appropriate remedy—instead concluding that the appropriate remedy for the inconsistent General Plan here was to order the City to bring the General Plan into compliance.

The Sierra Club had presented various arguments as to why the Initiative was consistent with the General Plan, but the court rejected them all finding that "[t]he fact remain[ed] that the land use element of the [G]eneral [P]lan authorize[d] considerable residential development in the [I]nitiative [A]rea, and the [I]nitiative forbid[] [residential development]." In other words, the court found that the "[I]nitiative on its face create[d] an inconsistency in the [G]eneral [P]lan." Specifically, the court found that "different elements of the [G]eneral [P]lan describe[d] incompatible uses for the same property": The land use element of

the General Plan and the maps classified the Initiative Area as including various residential uses, while the Initiative prohibited residents in the Initiative Area. Notably, the court found that the Initiative had amended the terms of the open space element of the General Plan, but failed to amend either the text or the maps in the General Plan's land use element to show a different designation for the property in the Initiative Area or to describe the Hillside Residential designation in a manner consistent with the Initiative.

The Sierra Club had also pointed to a provision of the Initiative, which specified that to the extent any provision of the General Plan was in conflict with the Initiative, that provision of the General Plan was barred. Sierra Club had contended that this ensured there were no inconsistencies in the General Plan and the Initiative. The court rejected that argument. The court noted that the law was clear that "[n]o element of the [G]eneral [P]lan may take precedence over the provisions of other elements." Here, the court found it clear that the Initiative created "an impermissible conflict within the City's [G]eneral [P]lan by amending the openspace element to prohibit residential development that the land use element continue[d] to allow."

The trial court had ruled that because of the inconsistency, the Initiative could not be given effect, and the trial court had ordered the City to vacate its adoption of the Initiative. The appellate court found this was not the appropriate remedy, but rather pointed to the remedy provided for by state law. Under California Government Code § 65754, if a general plan does not substantially comply with state law governing general plans, a city must "bring its general plan or relevant mandatory element or elements thereof into compliance with the [statutory] requirements" (See Gov. Code, § 65754.) Here, the court found that although the City could not amend the ordinance without a vote of the people, the City could "correct the inconsistency with other actions that [were] within its discretion." The court explained that "[t]he City might, for example, amend the land use element of the [G]eneral [P]lan in a manner consistent with the [I]nitiative, or might submit to the voters a measure rescinding or amending the [I]nitiative so as to cure the inconsistency."

See also: Visalia Retail, LP v. City of Visalia, 20 Cal. App. 5th 1, 236 Cal. Rptr. 3d 136 (5th Dist. 2018).

See also: Sierra Club v. Board of Supervisors, 126 Cal. App. 3d 698, 179 Cal. Rptr. 261 (5th Dist. 1981).

See also: City of Morgan Hill v. Bushey, 5 Cal. 5th 1068, 236 Cal. Rptr. 3d 835, 423 P.3d 960 (Cal. 2018).

See also: DeVita v. County of Napa, 9 Cal. 4th 763, 38 Cal. Rptr. 2d 699, 889 P.2d 1019 (1995).

Zoning Code Interpretation/ Fences—Town says property owner's breakwall, septic system retaining wall, and retaining wall constituted "fences" under the town zoning code

Property owner argues such an interpretation is irrational

Citation: Fox v. Town of Geneva Zoning Board of Appeals, 2019 WL 4892830 (N.Y. App. Div. 4th Dep't 2019)

NEW YORK (10/04/19)—This case addressed the issue of whether a breakwall, septic system retaining wall, and/or retaining wall constituted "fences" under a town zoning code such that the property with those "fences" was in violation of permitting and other requirements of the zoning code.

The Background/Facts: Stephen Fox ("Fox") owned lakefront property in the Town of Geneva (the "Town"). At some point, the Town's Code Enforcement Officer ("CEO") determined that Fox's property was in violation of certain provisions of the Town Code. Specifically, the CEO determined that a breakwall, septic system retaining wall, and retaining wall on the property each constituted a "fence" under the Code, resulting in the Property being in violation of the Town Code. The CEO ordered Fox to remedy the violations.

Fox appealed the CEO's determination to the Town's Zoning Board of Appeals (the "ZBA"). The ZBA affirmed in part the order to remedy issued by the CEO. The ZBA also determined that the breakwall, septic system retaining wall, and retaining wall (collectively, the "walls") constituted fences as defined in the Town Code, and that Fox's property was therefore in violation of the permitting and other requirements of the Code related to the status of the walls as fences.

Fox appealed again, seeking, among other things, to annul the ZBA's determination. Fox argued that the ZBA's determination that the walls were fences "lack[ed] a rational basis and [was] not supported by substantial evidence."

The Court's Decision: Judgment of district court reversed, and matter remanded.

The Supreme Court, Appellate Division, Fourth Department, New York, agreed with Fox "that the determination of the ZBA lack[e] a rational basis and [was] not supported by substantial evidence."

The court explained that while local zoning boards typically have broad discretion with their interpretations of their governing code and are given great deference by the courts, where, as here, "[t]he issue posed is susceptible to resolution as a matter of law by interpretation of the [Code] terms,"

that deference to the ZBA is not required. Here, the Code defined a "fence" as "[a]ny structure, regardless of composition, . . . that is erected or maintained for the purpose of enclosing a piece of land or dividing a piece of land into distinct portions." Looking at the Town Code's definition of "fence," the court determined that the "purpose" of erecting or maintaining the structure was "central" to whether the structure met the definition of "fence." The court then concluded that Fox's walls "[did] not fall within the plain meaning of fences as defined by [the] Code . . . inasmuch as they were not erected for the purpose of enclosing or dividing a piece of land." Rather, the court determined that: "the breakwall was constructed to maintain the shoreline of the lake in light of the future construction of a house on [Fox's] property"; "the septic system retaining wall was constructed to secure the integrity of the proposed leach field"; "and the north side retaining wall was constructed to provide better drainage and avoid soil erosion." The court thus concluded that "the ZBA's determination affirming the order to remedy with respect to the violations of the Code that depend on the walls being considered fences lack[ed] a rational basis and [was] not supported by substantial evidence."

Zoning News from Around the Nation

CALIFORNIA

The City of Pasadena is expected to soon have a new law that encourages developers "to build smaller housing projects with more affordable units." The new law would reportedly eliminate current laws that allow developers to "trade down" and build fewer affordable units when those units are slated for the area's lowest income residents. Under the new local law, 20% of all units in a housing project would have to be affordable with 5% of rental units for low-income households, 5% for very low-income or low-income, and 10% for very low, low, or moderate-income households. The new law also requires any new apartment complex of 10 or more units to include a minimum of two affordable housing units. The law would also allow developers to choose to pay a fee in lieu of including affordable housing in their project. Proponents of the new law are hopeful it will close the gap in affordable housing for the middle class.

Source: Pasadena Star-News; www.pasadenastarnew s.com

DISTRICT OF COLUMBIA

A new law in the District now restricts short-term rentals. Among other things, the new law "prevents D.C. property owners from renting out second homes on a short-term basis, and it bars the renting out of spare rooms or the basement in a host's primary residence for more than 90 days per year when the host is away." It also requires short-term rental hosts have "a valid basic business license with a 'Short-Term Rental' endorsement, in addition to any other license

required by law." It requires hosts who wish to rent while they are away from their residences have a "Vacation Rental" endorsement. The law also limits rentals to a maximum of 90 days in a calendar year when the host is away. Violation of the law will result in fines that range from \$500 for a first violation to \$6,000 for a third. There is reportedly confusion about "when or how" property owners should comply. The Department of Consumer and Regulatory Affairs (DCRA) has not yet adopted rulemaking procedures or staff to implement the law. Reportedly, an initial implementation measure was expected to be adopted imminently, followed by a 90-day grace period before enforcement of the law.

Source: The Washington Post; <u>www.washingtonpost.com</u> MASSACHUSETTS

Activists recently rallied "in support of legislation that would re-enable rent control" in the Commonwealth. Since a 1994 ballot question passed, rent control has been banned statewide. Two bills currently under consideration in the Legislature—H. 1316 and H. 3924—"would revive the ability for municipalities to implement rent control." Meanwhile, Gov. Charlie Baker, advocates a focus on housing production instead of rent control. He has proposed a "housing production bill"—H. 3507, which would, among other things "lower the voting threshold needed for zoning changes from a two-thirds majority to a simple majority."

Source: Worcester Telegram; www.telegram.com
MINNESOTA

The Minneapolis City Council has approved the "2040 plan," which eliminates single-family zoning throughout the city. Proponents of the plan had contended that single-family zoning was discriminatory and "overwhelmingly white," and had contended that denser housing would increase the housing supply and lower prices. Opponents of the plan maintained that it only "indirectly" addressed the needs of low-income residents and relied on developers—who have little incentive to invest—to "carry it out."

Source: City Pages; <u>www.citypages.com</u> VIRGINIA

Effective November 1, 2019, new regulations apply to short-term rentals in the City of Virginia Beach. Under the new regulations, short-term rentals must obtain a conditional-use permit from the City, except for those that have paid a transient occupancy tax and registered with the Commissioner of Revenue by July 1, 2018. Also exempted are properties in Sandbridge. Grandfathered rentals are still required to complete a registration form, and show proof of registration and tax payments. The City has reportedly identified a total of 257 properties that will need such a permit. The new regulations also provide for the following: a maximum of two rentals permitted per week; a maximum of three occupants permitted per bedroom; one parking spot required per bedroom; prohibited street parking.

Source: The Virginian-Pilot; www.pilotonline.com



Zoning Bulletin

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Spot Zoning—At request of business, city approves zone change for locus

Opponents challenge zone change as impermissible spot zoning

Citation: Nimchick v. City Council of Chicopee, 2019 WL 6278407 (Mass. Ct. App. 2019)

MASSACHUSETTS (11/25/19)—This case addressed whether a city-approved zone change constituted impermissible spot zoning.

The Background/Facts: Westover Building Supply, Inc. ("Westover") was a construction supply company that conducted its business on a lot in the City of Chicopee (the "City"). Westover sought to expand its business onto an adjacent, approximate one-acre parcel comprised of three contiguous lots (the "locus"). In furtherance of that proposed expansion, Adelard E. Jodoin ("Jodoin") filed a zone change application requesting that the zoning designation of the locus be changed from "residential A" to "business A." The City Planning Board and the City Zoning Committee recommended approval of the Jodoin's zone change request, and the City Council voted to approve the zone change.

Thereafter, Susan J. Nimchick and others (the "Opponents") appealed the City Council's decision. Among other things, they argued that the zone change constituted impermissible spot zoning.

Spot zoning occurs where there is a "singling out of one lot for different treatment from that accorded to similar surrounding land indistinguishable from it in character, all for the economic benefit of the owner of that lot." Spot zoning violates Massachusetts' Zoning Act, G. L. c. 40A, § 4, "which requires zoning ordinances and bylaws to promote uniformity within the districts they create."

The City asked the court to find there were no material issues of fact, and to issue summary judgment in the City's favor based on the law alone.

The judge granted summary judgment to the City.

The Opponents appealed.

The Court's Decision: Judgment of superior court affirmed.

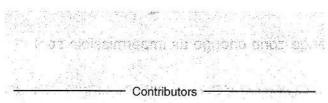
The Appeals Court of Massachusetts concluded that the City's zoning bylaw amendment adopting the zone change did not constitute impermissible spot zoning. In so concluding, the court held that the Opponents failed to meet their burden of proof. The court explained that one claiming a zoning amendment amounts to spot zoning "faces a heavy burden." "[T]he challenger must prove by a preponderance of the evidence that the zoning regulation is arbitrary and unreasonable, or substantially unrelated to the public health, safety, morals, or general welfare," said the court.

Here, the court rejected the Opponents' argument that the locus was situated in



"a ninety percent residential neighborhood" and thus improperly singled out to become a business district. Rather, the court found that the locus clearly sat "at the border of a decidedly mixed-use district." The court also found that the zone change bore a "rational relation" to City goals. The court found that the City had determined that the zone change would "conform to the adjacent properties and be in the best interest of [the City]," and "would permit the previously vacant lot to be used for a productive purpose, and result in a greater tax revenue generation." The court also determined that the zone change would allow Westover, "a valued local employer" to remain in the City. The court found all of those reasons reflected a "reasonable or permissible basis for the legislative enactment."

See also: Johnson v. Town of Edgartown, 425 Mass. 117, 680 N.E.2d 37 (1997).



Corey E. Burnham-Howard

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Signs/First Amendment— City denies sign permit for business name "Broke Ass Phone," finding the words "obscene"

Business asserts denial violates its First Amendment rights

Citation: Broke Ass Phone v. Boardman Township Zoning Board of Appeals, 2019-Ohio-4918, 2019 WL 6464131 (Ohio Ct. App. 7th Dist. Mahoning County 2019)

OHIO (11/15/19)—This case addressed the issue of whether a zoning board's decision to deny an application for a commercial street sign reading "Broke Ass Phone" was unconstitutional in violation of the First Amendment.

The Background/Facts: Broke Ass Phone ("BAP") was a business that repaired smartphones and smart devices. BAP sought to reface the commercial street sign in front of its store in Boardman Township (the "Township"). In November 2015, BAP applied for a zoning permit to replace that commercial street sign, with the replacement to include BAP's business name: "Broke Ass Phone." The Township's Zoning Inspector denied the application, citing a section of the Township's zoning resolution that prohibits signs with "obscene words or words of immoral character."

BAP appealed the denial to the Township's Board of Zoning Appeals (the "Board"). It argued that the denial of its application for signage violated its First Amendment rights to free speech.

The Board denied BAP's appeal.

BAP appealed to the County Common Pleas Court. The court affirmed the denial of BAP's signage application, saying it "involved the [T]ownship exercising a bona fide power conferred on it by the Revised Code and [that] the record contained no evidence to the contrary." The court found that the Board's decision was "not unconstitutional, illegal, arbitrary, capricious, unreasonable, or unsupported by the evidence."

BAP again appealed.

The Court's Decision: Judgment of County Common Pleas Court reversed.

The Court of Appeals of Ohio, Seventh District, Mahoning County, held that the Board's decision to deny BAP's signage application was "unconstitutional" in violation of its First Amendment right to free speech.

The court explained that BAP's proposed sign was considered commercial speech, and that the First Amendment, as applied to the States through the Fourteenth Amendment, protects commercial speech from "unwarranted governmental regulation." The court further explained that restrictions on commercial speech are constitutional—and not in violation of the First Amendment—only if: (1) the restricted commercial speech concerns a lawful activity and is not misleading; (2) the restriction seeks to

implement a substantial governmental interest; (3) the restriction directly advances that interest; and (4) the restriction is no more extensive than is necessary to achieve that interest.

Here, the court found that the BAP's proposed sign concerned a lawful activity and was not misleading. The court also found that there was a "legitimate governmental interest in preventing the [T]ownship's residents from being exposed to obscene, pornographic, or immoral signs and billboards." The court, however, also found that the restriction (i.e., the denial of the sign permit) did not seek to implement that governmental interest. The court said this was because, in the context used in the sign, the word "ass" was not pornographic, obscene, or immoral, as it did not describe a body part and was not a reference to any type of crude or offensive behavior. Rather, the court found the word "ass" was an "adjective in present-day speech" meaning "really" or "badly" broken. Thus, here, the court concluded that in the "Broke Ass Phone" context, the sign was simply advertising that BAP would "fix your 'really badly broken phone." "As such, and coupled with the fact that not a single Township resident objected to the proposed sign, the court found the sign "pose[d] no danger to the [T]ownship's interest of preventing its residents from being exposed to obscene, pornographic, or immoral signs and billboards." In other words, the court found that the language proposed for the sign did not "fit into the category of language the restriction was meant to prohibit." Accordingly, the court found it was unconstitutional to restrict the use of the sign.

See also: Central Hudson Gas & Elec. Corp. v. Public Service Commission of New York, 447 U.S. 557, 100 S. Ct. 2343, 65 L. Ed. 2d 341, 6 Media L. Rep. (BNA) 1497, 34 Pub. Util. Rep. 4th (PUR) 178 (1980).

Authority/Marijuana— Cannabis growing business challenges city ordinances zoning and restricting marijuana operations

Business argues city had no authority to zone or regulate retail marijuana establishments

Citation: Cloudi Mornings, LLC. v. City of Broken Arrow, 2019 OK 75, 2019 WL 6123533 (Okla. 2019)

OKLAHOMA (11/19/19)—This case addressed the issue of whether a city in Oklahoma has the authority to zone/regulate marijuana businesses within city limits.

The Background/Facts: In June 2018, voters in Oklahoma legalized medical marijuana, as codified at 63 O.S. Supp. 2018 § 420A et seq (the "Act"). Subsequently, the City of Broken Arrow (the "City") enacted local ordinances (the "Ordinances") to zone and restrict marijuana operations

within the City. Those Ordinances addressed parking, building codes, required City permits, and application fees.

Cloudi Mornings, LLC and Austin Miller (collectively "Cloudi Mornings") were actively engaged in the cannabis growing business within the City. In September 2018, they filed in court a petition seeking declaratory judgment from the court that the City had "no authority whatsoever to zone or otherwise regulate medical marijuana businesses within [C]ity limits." Cloudi Mornings alleged that its commercial purposes were frustrated by the City's Ordinances, and that the Ordinances would cause "substantial and irreparable harm to the company and other individual residents of [the City]." Essentially, Cloudi Mornings asserted that if the City's Ordinances were applied, Cloudi Mornings' cannabis growing businesses would be in violation of the Ordinances because it was located in an area not zoned for such use.

The trial court held that "Oklahoma cities, as a matter of law, were precluded from adopting regulations, zoning overlays, fees or other restrictions to medical marijuana business activities authorized by the Act."

The City appealed.

While the appeal was pending, the state Legislature amended portions of the Act, including 63 O.S. Supp. 2019 § 425. While the statute originally stated that "[n]o city or local municipality may unduly change or restrict zoning laws to prevent the opening of a retail marijuana establishment," the amendments made some clarifications. The amendments explained that "undue change or restriction of municipal zoning laws means an act which entirely prevents retail marijuana establishments from operating within municipal boundaries as a matter of law." The amendments also explicitly stated that "[m]unicipalities may follow their standard planning and zoning procedures to determine if certain zones or districts would be appropriate for locating marijuana-licensed premises, medical marijuana businesses or any other premises where marijuana or its by-products are cultivated, grown, processed, stored or manufactured."

Given the legislative amendments, the appellate court remanded the matter to the trial court to enter findings of fact and conclusions of law addressing: "1) whether the ordinances had unduly changed or restricted zoning law so as to prevent the opening of a retail marijuana establishment and 2) the impact of 63 O.S. Supp. 2018 § 425(f) on the ordinances."

The trial court's conclusions of law included its determination that there was no specific statutory protection against undue changes or restrictions in municipal zoning as provided to a business engaged in the growing or processing of cannabis—such as the business of Cloudi Mornings. Moreover, the court concluded that the Ordinances did "not unduly change or restrict zoning so as to prevent the opening of retail marijuana establishments"

The Court's Decision: Appeal dismissed.

The Supreme Court of Oklahoma concluded that there was "no longer a case or controversy from which [the court] could declare any relief as to [Cloudi Mornings]." Specifically, the court found that there was "nothing for [the court] to decide" as there was no "indication" that the City's Ordinances exceeded what the Legislature authorized regarding regulation of retail marijuana establishments, and there was

no indication that the City had enforced zoning ordinances against Cloudi Mornings.

Significantly, the court's decision did find that the relevant statutory language, including that of 63 O.S. Supp. 2018 § 425, authorized municipalities to enact zoning and regulatory ordinances related to retail marijuana as long as such ordinances did not prohibit all marijuana establishments in the City. The court also noted that the statutory language, "[c]learly . . . authorize[d] the City to follow standard planning and zoning procedures as to marijuana growers such as Cloudi Mornings." It did "not even apply the 'unduly change or restrict' standard to growers such as Cloudi Mornings." The court concluded that the City was apparently "acting within its authority" when it enacted the Ordinances to zone and restrict marijuana operations within the City.

First Amendment/Validity of Regulations/Accessory Uses—Town says zoning laws prohibit music festival on property in a rural zoning district

Property owner contends such prohibition violates the First Amendment

Citation: Town of Delaware v. Leifer, 2019 WL 6183535 (N.Y. 2019)

NEW YORK (11/21/19)—This case addressed the issue of the constitutionality of municipal zoning laws that precluded a property owner from holding a three-day music and camping festival on his rural property. More specifically, it addressed whether the prohibition of a "theater"—or outdoor facility for the presentation of play, films, dramatic performance, or music—violated the property owner's First Amendment rights.

The Background/Facts: Ian Leifer ("Leifer") owned a 68-acre property within a Rural Zoning District in the Town of Delaware (the "Town"). The property contained a single-family home and undeveloped land. Twice, Leifer had hosted a three-day event on his property. The event was named "The Camping Trip," and was a "celebration of the Shabbat, the Jewish Sabbath." During the event attendees would camp on the property and view live outdoor music performances before and after Shabbat. Attendees camped in tents, were provided meals from food truck vendors, engaged in religious ceremonies, and were entertained by live outdoor music performances. The scale of the event required off-site parking, security, 16 portable toilets, a 30-cubic-yard dumpster, EMTs, and an ambulance.

In 2016, when Leifer planned to again sponsor The Camping Trip event on his property, the Town sought from the supreme court a temporary restraining order, preliminary injunction, and permanent injunction against the event.

The Town alleged that the event was prohibited by the Town's Zoning Law because The Camping Trip constituted a "theater" use, which was not permitted in the Rural District. The Zoning Law defined a "theater" as a "building or room or outdoor facility for the presentation of plays, films, other dramatic performances, or music." The Town asserted that if Leifer wanted to use his property for the event, he had to apply for a zoning variance or amendment, but had not done so.

Leifer contended that restricting theaters in the Rural District was unconstitutional in violation of the First Amendment. He alleged that the prohibition violated his First Amendment rights that were expressive aspects to his event. Alternatively, Leifer argued that even if The Camping Trip could be lawfully prohibited in the Rural District, the theater restriction was unconstitutionally overbroad on its face because it effectively banned personal displays of music, drama and film such as singing in one's home.

The Town's request for a preliminary injunction was resolved when the Town and Leifer agreed to allow The Camping Trip event to proceed with certain conditions. The Town, however, reserved the right to pursue its claim that the Zoning Law lawfully prohibited the event in the Rural District.

When, in 2017, Leifer again intended to hold The Camping Trip event, the Town asked the Supreme Court to find there were no material issues of fact, and issue summary judgment in the Town's favor on the law alone on the Town's claim for a permanent injunction.

Rejecting Leifer's constitutional arguments, the Supreme Court granted summary judgment to the Town, and permanently enjoined Leifer from advertising, selling tickets to, or holding The Camping Trip on his property.

Leifer appealed, and the Appellate Division affirmed.

Leifer again appealed.

The Court's Decision: Judgment of Supreme Court, Appellate Division, affirmed.

The Court of Appeals of New York held that the Town's restriction on theaters in the Rural District did "not unconstitutionally restrict [Leifer's] First Amendment rights."

In so holding, the court addressed and rejected Leifer's constitutional arguments. The court explained that "[t]he First Amendment's protections encompass entertainment, including film and live musical and dramatic performances, and [were] implicated here to the extent that the [Town] Zoning Law restrict[ed] non-accessory use of land for a 'theater,' thereby precluding [Leifer] from hosting a music festival on his property." "That the Zoning Law restricts certain modes of expression, however, does not necessarily render it unconstitutional," noted the court. The court further explained that since the Zoning Law provisions restricting expression (i.e., restricting theaters in the Rural District) did not ban protected forms of expression entirely—such as by banning all theaters from the Town-but rather restricted the location within the Town of where the type of expression could occur—the provisions were time, place, and manner regulations that were content-neutral, and thus would be constitutional if they were "narrowly tailored to serve a government interest[] and [left] open ample alternative channels of communication."

Here, the court found that the relevant zoning provisions prohibiting theaters in the Rural District served the Town's interest of preserving "a balance of agricultural and lowimpact non-agricultural land uses." The court also found that the zoning provisions were narrowly-tailored to promote that government interest (i.e., promote "a substantial government interest that would be achieved less effectively absent the regulation" and was not "substantially broader than necessary to achieve that interest"). The court found this was the case because the Town Zoning Law provisions: "automatically allow[ed] a limited and balanced suite of principal and accessory land uses that [were] closely related to the government's purpose of preserving agricultural character . . . but prohibit[ed] a range of more obtrusive uses absent a special use permit or variance (including 'theater[s]' with attendant noise and traffic)"; and "directly promote[d] that government purpose, which would be less effectively achieved in their absence."

The court further found that the challenged zoning provisions were "not substantially broader than necessary to further the government goal." The court found this was the case because the zoning provisions did "not affect personal displays of music, drama or film consistent with residential use, including singing at home or watching a film in one's living room." Those such uses were permitted as accessory uses to the primary residential use, found the court.

Finally, the court also found that there were "ample alternative modes and channels for communication" since the Zoning Law expressly permitted theaters in two of the seven non-overlay districts. In addition, the court noted that the Zoning Law allowed for a person to seek an amendment or variance to the restrictions for their district, which Leifer failed to do. Further, the court concluded that, inasmuch as the relevant zoning provisions "simply [sought] to limit certain cultural presentations to the non-rural areas where they would have a less damaging impact," they also survived Leifer's overbreadth challenge.

See also: Ward v. Rock Against Racism, 491 U.S. 781, 109 S. Ct. 2746, 105 L. Ed. 2d 661 (1989).

See also: People v. Barton, 8 N.Y.3d 70, 76, 828 N.Y.S.2d 260, 861 N.E.2d 75 (2006).

Case Note:

Leifer had also contended that the Zoning Law was void for vagueness, but the court disagreed, finding that the Zoning Law afforded landowners sufficient notice that music festivals were a prohibited land use in the Rural District. The court also rejected Leifer's contention that the permanent injunction was overly expansive.

Validity of Regulations/ Use—Association challenges as unconstitutional a township zoning ordinance establishing a mineral extraction overlay

Ordinance allows unconventional natural gas development, which association argues is incompatible with low-density residential uses

Citation: Protect PT v. Penn Township Zoning Hearing Board, 2019 WL 5991755 (Pa. Commw. Ct. 2019)

PENNSYLVANIA (11/14/19)—This case addressed the issue of whether a zoning ordinance that permitted an unconventional natural gas development in a township's low-density residential district was unconstitutional.

The Background/Facts: In September 2016, the Penn Township Board of Commissioners (the "Board") enacted an ordinance (the "Ordinance") that established five unique zoning districts and four overlay districts. One of the overlay districts that was established was the Mineral Extraction Overlay ("MEO") District. The MEO District overlaid the Industrial Commercial District and the majority of the Rural Resource District (the "RRD"). The RRD permitted low-density residential properties. The MEO District permitted unconventional natural gas development ("UNGD").

In April 2017, an association, Protect PT ("PT"), challenged the constitutionality of the Ordinance—specifically of the MEO District. PT contended that the Township's RRD was "essentially a growing suburban community" and that UNGD was "a heavy industrial activity incompatible with residential use and preservation of the environment." PT asserted that UNGD would impact neighboring residents with air pollution, water pollution, traffic congestion, noise, light and threats to public safety. PT argued that the Ordinance (and, specifically, the MEO District) violated the constitutional substantive due process rights of the Township's residents because it was "arbitrary and unreasonable, and lack[ed] any substantial relationship to promoting the public health, safety and welfare." PT further argued that the Ordinance (and, specifically, the MEO District) violated the residents' rights under the Pennsylvania Environmental Rights Amendment ("ERA") because the Board "failed to account for the impact of UNGD on Township citizens' rights to "clean air, pure water and the natural, scenic, historic, and esthetic values of the environment."

The Township's Zoning Hearing Board (the "ZHB") refused to hear PT's substantive validity challenge. That refusal resulted in a deemed denial, which PT then appealed to the trial court.

The trial court concluded that the Ordinance did not

violate either the substantive due process rights of the Township's residents or their rights under the ERA.

PT appealed.

The Court's Decision: Judgment of Court of Common Pleas affirmed.

The Commonwealth Court of Pennsylvania also concluded that the Ordinance (and, specifically, the MEO District) did not violate either the substantive due process rights of the Township's residents or their rights under the ERA.

The court explained that, in Pennsylvania, the constitutionality of a zoning ordinance is reviewed under a substantive due process analysis. Under such analysis, the court explained, the party challenging the validity of the provisions of a zoning ordinance—here, PT—"must establish that the challenged provisions are arbitrary or unreasonable and have no substantial relationship to promoting the public health, safety and welfare."

Here, the court first found that evidence was sufficient to establish that UNGD was compatible with the purposes of the RRD, which provided land for agricultural and lowdensity residential use. The court also found that evidence was sufficient to establish that the MEO District was consistent with the Township's comprehensive plan for the area and with residential land use expectations. The court cited the fact that the Township's comprehensive plan expressly allowed adoption of overlay zones, and that the MEO District overlay was in a zoning district that provided land for agricultural and low-density residential use, and that the overlay district "balanced development with the health of nearby residents by excluding densely populated areas and imposing mandatory setbacks from property lines." Moreover, the court found that PT failed to present any evidence that UNGD would be harmful to health or safety. The court also found that evidence was sufficient to establish that the Ordinance (and, specifically, the MEO District) "protected residents' right to use, enjoy and protect their property, as well as their right to a healthy environment under the state constitution." Specifically, the court found that the Ordinance mandated that an UNGD application include reports from qualified environmental individuals attesting that proposed development would not negatively impact residents' environmental rights. The court found that the Ordinance addressed "issues such as minimum lot size, required yards, setbacks, wastewater, health and safety, access routes, erosion and sediment control, security, site reclamation, road use, and compliance with the ERA.

Thus, the court concluded that PT failed to establish that the Ordinance (and, specifically, the MEO District) posed a substantial actual risk to the environment or the health of the Township's residents, as required to establish that the Ordinance constituted a violation of substantive due process and the ERA. Rather, the court concluded that the Ordinance "properly balance[d] the rights of citizens to benefit economically from UNGD, which helps them sustain their agricultural-based livelihoods, with the interests of the general public by adopting an extensive regulatory scheme far beyond that imposed on any other use."

See also: Frederick v. Allegheny Township Zoning Hearing Board, 196 A.3d 677 (Pa. Commw. Ct. 2018), appeal

denied, 208 A.3d 462 (Pa. 2019) (holding objectors failed to establish that UNGD was incompatible with other uses or that the ordinance violated substantive due process or the ERA).

See also: Delaware Riverkeeper Network v. Middlesex Township Zoning Hearing Board, 2017 WL 2458278 (Pa. Commw. Ct. 2017).

Case Note:

In its decision, the court noted that in balancing "the public interest to be served by the ordinance" against the "confiscatory or exclusionary impact on individual rights," courts were "entitled to afford greater weight to evidence of modest long[-]term impacts over any short-term impacts." Thus, here the court found it could afford less weight to the impacts from "temporary impacts" such as pre-production stages of UNGD.

Nonconforming Use/ Special Permit—Town says florists' outdoor displays and concrete barriers require special permits

Florists disagree, claiming outdoor displays are protected as prior nonconforming uses, and concrete barriers did not alter the lot so as to require special permit

Citation: Leonard v. Zoning Board of Appeals of Hanover, 96 Mass. App. Ct. 490, 2019 WL 5959566 (2019)

MASSACHUSETTS (11/13/19)—This case addressed the issue of whether florists' outdoor displays were a prior nonconforming use entitling the florists to protection from enforcement and the requirement of a special permit for the outdoor displays. The case also addressed whether concrete barriers placed by the florists on their property to separate their property from an abutting property amounted to an alteration or intensification of the nonconformance of the property such that there was an alteration of a prior nonconforming use, requiring a special permit or site approval.

The Background/Facts: Since March 1993, Joseph and Nancy A. Leonard (the "Florists") have operated a florist shop in a commercial zoning district in the Town of Hanover (the "Town"). Since 1993, the Florists had displayed and sold products from inside and outside of the building. In December 2013, the Town notified the Florists that their outdoor display of goods required a special permit.

The Town and the Florists agreed that the Town's zoning bylaws were amended in May 2011 to provide that a business could display or store "goods for sale" outdoors only upon obtaining a special permit from the Town's planning board. However, they disagreed as to whether the outdoor displays at the florist shop were a lawful prior nonconforming use, requiring no special permit.

The Florists argued that their outdoor displays were a lawful prior nonconforming use because they existed prior to the May 2011 amendment requiring special permits for outdoor displays. As a non-conforming use, the Florists contended that the outdoor displays were "grandfathered" and protected from enforcement of the special permit requirement. The Town disagreed. The Town pointed to a section of the Town's 1993 zoning bylaw, which provided that outdoor displays were prohibited unless "specifically permitted" elsewhere in the bylaw.

Then, in November 2015, the Florists received another zoning violation notification from the Town. The Florists had placed small concrete barriers along the boundary line between their property and the adjacent property. The Town asserted that the concrete barriers were an alteration to a preexisting nonconforming lot, and thus required a special permit.

Eventually both of these zoning enforcement orders were brought to court, via two actions brought by the Florists challenging the orders, and via one action brought by the Town seeking an injunction ordering the removal of the concrete barriers and the outdoor displays.

The legal actions were consolidated, and each party moved for summary judgment—asking the court to find there were no material issues of fact in dispute, and to decide the matter in their favor on the law alone.

The superior court judge declared that the Florists' outdoor displays were not a lawful prior nonconforming use and therefore required a special permit. The judge also found that the placement of concrete barriers was not an "alteration" of the property, and therefore did not require a special permit.

The parties appealed.

The Court's Decision: Judgment of Superior Court vacated in part and affirmed in part.

Agreeing with the superior court and the Town, the Appeals Court of Massachusetts, Plymouth, first held that the Florists' outdoor displays were not prior nonconforming uses, and therefore were not entitled to protection from enforcement of the 2011 zoning amendments, thus requiring a special permit. While the Florists had displayed goods outdoors for over 20 years without complaint, and general provisions of the Town's 1993 zoning bylaw suggested that as long as the principal retail use was conducted inside the building, outdoor displays were permitted in commercial districts as a secondary use, the court focused on the 1993 zoning bylaw provision that prohibited outdoor displays. The court determined that was a specific prohibition that trumped any generalized textual references in the 1993 bylaw (which the court acknowledged was "not a model of clarity"). Since that bylaw provision existed before the Florists began their outdoor displays, the court concluded that the Florists' outdoor displays were not prior nonconforming uses entitled to protections from the special permit requirement.

The court next concluded that the concrete barriers did not alter or intensify the nonconformance of the Florists' property, and thus were exempt from requirements of a special permit. In so concluding, the court noted that with the concrete barriers, the lot size had not changed. The court also found that the concrete barriers constituted a boundary wall or fence, which were specifically exempted from the requirements of a special permit under the zoning bylaws.

Accordingly, the court upheld the orders for the Florists to remove their outdoor displays.

Case Note:

The Florists had also argued that the metal racks on which they displayed goods outdoors were "structures," to which a 10-year statute of limitations applied to prohibit the enforcement of zoning regulations on the structures after they have existed for more than 10 years. (See Mass. Gen. L. c. 40A, § 7.) But the Appeals Court disagreed, concluding that the metal racks were not "structures" as defined in the Town zoning bylaw. Moreover, the court concluded that even if the racks were structures, their use for the display of goods was not protected by that statute of limitations.

Case Note:

The Court of Appeals also found that the Town was precluded from seeking declaratory relief for issues involving its zoning bylaws. The court said this was because a municipality seeking declaratory relief as to the meaning of its own bylaw "eliminates the important step of having the entity charged with enforcing the bylaw interpret it in the first instance, particularly where 'deference is owed to a local zoning board's home grown knowledge about the history and purpose of its town's zoning by-law.'"

Zoning News from Around the Nation

NATIONWIDE

U.S. Senator Kamala Harris and U.S. Representative Maxine Waters recently introduced a bill—the Housing is Infrastructure Act—aimed at targeting "issues such as limited affordable rental units and aging public housing. Among other things, the bill would "inject \$10 billion into the Community Development Block Grant, specifically intended to be spent in part on eliminating zoning requirements and 'other requirements that limit affordable housing development."

Source: CNBC; www.cnbc.com

CALIFORNIA

West Hollywood's Planning Commission recently approved changes to the city's zoning ordinances "to comply with new state regulations [AB881] regarding accessory dwelling units" (ADUs). ADUs had been allowed only on single-family residential lots in residential zones, but under the new law "can now be a part of multi-family buildings and can be in any zone that allows residential units, including commercial zones where mixed-use (commercial and residential) is allowed." The City Council was expected to consider these changes, among others, in December.

Source: WEHOville; www.wehoville.com

MISSOURI

The Jefferson City Council recently amended the City's zoning code to allow short-term rentals to be permitted in residential and industrial zones. Prior to the amendment, short-term rentals were permitted only in commercial and mixed-use zoning districts, and allowed by special use permit in residential and industrial zones.

Source: News Tribune; www.newstribune.com

PENNSYLVANIA

The City of Philadelphia now has three new laws "designed to incentivize the protection of Philadelphia's historic buildings . . . by reducing the extra planning and money that real estate developers say they must spend on preservation." One new law "eliminates parking minimums for historic buildings when they are redeveloped," and "reduces parking requirements by 50% when a developer puts an expansion on a historic structure." A new zoning law

"makes it easier for historic 'special-use' properties . . . to be redeveloped for other uses[,] . . . [allowing] more flexible zoning without needing a variance." A third new law "authorizes accessory dwelling units on historic single-family properties, allowing, for example, the option to turn an attic into a rental unit." The new laws are effective January 1, 2020.

Source: *The Philadelphia Inquirer*; <u>www.inquirer.com</u> WASHINGTON

State Representative Keith Goehner is reportedly "working on legislation that would require the state Liquor and Cannabis Board to let local governments decide where cannabis license locations will be." Under current law, the Board seeks comments but final decisions are made without regard to local zoning.

Source: KNDO, KNDU; https://www.nbcrightnow.com