

RESOLUTION NO. 2023-01

APPROVING A CONDITIONAL USE PERMIT FOR A FUEL
STATION AT 11220 REED HARTMAN HIGHWAY

WHEREAS, Anne McBride of McBride Dale Clarion, on behalf of the Kroger Co., has requested approval of a Conditional Use Permit to develop a fuel station on the site of a former bank in the Blue Ash North Zoning District; and

WHEREAS, the proposed fuel station includes seven fuel pumps for a total of fourteen fuel dispensers, a kiosk, signage, and landscaping; and

WHEREAS, the developer has submitted a project narrative, site plans, and sample elevation drawings of the proposed units, bearing the notation "Resolution No. 2023-01, January 12, 2023"; and

WHEREAS, the Planning Commission of the City of Blue Ash, as reflected in its minutes thereof dated December 1, 2022, has recommended approval of the Conditional Use Permit with the following conditions:

1. The applicant provide a traffic study determining the impact on left turn movements from eastbound Cornell Road onto the private road and from the private road onto eastbound Cornell Road.
2. The applicant comply with all local, county, state, and federal stormwater management standards and regulations for a fueling station on a redevelopment lot of greater than one acre.
3. The comments of the City Architect be incorporated into the design.

Be it resolved by the Council of the City of Blue Ash, Ohio,

SECTION I.

Applicant is hereby granted approval of a Conditional Use Permit for a fuel station at 11220 Reed Hartman Highway (current Hamilton County Auditor's Parcel 612-0170-0181-00) as described on a project narrative, site plans, and sample elevation drawings of the station submitted by the applicant and bearing the notation "Resolution No. 2023-01, January 12, 2023", and subject to and specifically including all conditions, provisions, and restrictions as set forth in the application and in the meeting minutes of the Planning Commission dated December 1, 2022;

SECTION II.

It is hereby determined that the proposed Conditional Use Permit amendment will not be detrimental to the public peace, health, safety or general welfare, and that is it in the best interest of the City of Blue Ash, Ohio.

SECTION III.

This Resolution shall take effect and be in force from and after the earliest period provided by law.

PASSED this 12th day of January 2023.

Marc Sirkin, Mayor

Jamie K. Eifert, Clerk of Council

APPROVED AS TO FORM:

Bryan E. Pacheco, Solicitor



October 24, 2022

Mr. Paul Kleier
Planning and Zoning Administrator
City of Blue Ash
4343 Cooper Road
Blue Ash, OH 45242

Via Hand Delivered

RE: Kroger Fuel Center
11220 Reed Hartman Highway

Dear Paul:

As we have discussed, Kroger has obtained an option to purchase the 1.143 acres of property located at 11220 Reed Hartman Highway. The property, which is the former site of a bank, is zoned "BAN" Blue Ash North District. Kroger would like to redevelop the site as a fuel center, which, pursuant to Section 1135.03, is a Conditional Use in the "BAN" District.

To initiate an application for a Conditional Use, I am enclosing eight copies of the following information:

- 1) Application for Conditional Use;
- 2) Project Description and Justification Statement;
- 3) Site Plan;
- 4) Dimension Plan;
- 5) Grading Plan;
- 6) Utility Plan;
- 7) Landscape Plan;
- 8) Lighting Plan;
- 9) Building Elevations;
- 10) Sign Details;
- 11) Site Photos; and
- 12) Application fee of \$500.00

It is my understanding that this application will be included on the December 1, 2022 meeting of Planning Commission and could be forwarded for consideration by City Council on January 12, 2023. Should you have any questions or need additional information, please call me (513-673-4225) or between October 25 – November 16, please call Jonathan Wocho at (513-561-6232 Ext. #4).

Sincerely,

A handwritten signature in blue ink, appearing to read "Anne F. McBride".

Anne F. McBride, FAICP

AFM/ss

Enclosures

Cc: Kroger

MDC #4782

Planning • Zoning • Development Services



PLANNING COMMISSION
CONDITIONAL USE PERMIT APPLICATION

APPLICANT

Name	Anne F. McBride, FAICP
Company (if applicable)	McBride Dale Clarion
Address (if applicable)	5721 Dragon Way, Suite 300
City, State ZIP	Cincinnati, OH 45227
Phone Numbers	Phone: 513-561-6232 Fax: 513-561-1615
E-mail Address	amcbride@mcbridedale.com

PROPERTY OWNER (if different)

Name	11220 Reed Hartman Partners, LLC.
Company (if applicable)	
Address (if applicable)	7770 Cooper Rd, Ste 9
City, State ZIP	Cincinnati, OH 45242
Phone Numbers	(513) 518-7319
E-mail Address	ryan@basiscompanies.com

*If more than one owner, submit additional sheet containing all pertinent information and signatures.

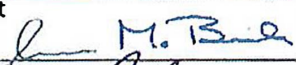
SUBJECT PROPERTY

Address (if applicable)	11220 Reed Hartman Highway, Cincinnati, OH 45241
Tax Parcel Numbers	612-0170-0180-00
Total land area	1.143 Acres
Current zoning district	"BAN" Blue Ash North District

I acknowledge the following: I have read and understand all of the laws and administrative requirements that apply to this application; incomplete or false application information may result in a postponed hearing or the application being tabled or denied; any consultation or advice with City Staff or other City representatives either before or after filing this application shall not compel the Planning Commission in any way relative to action on the application.

SIGNATURE

DATE

Applicant	 Anne F. McBride, FAICP	10/18/22
Property Owner	 Ryan Lucas, Manager	10/19/22

Submit to the Community Development Office at 4343 Cooper Road, Blue Ash, Ohio 45242

CITY USE ONLY

Kroger Fuel Center
11220 Reed Hartman Highway
Project Description and Justification

Kroger has obtained an option to purchase the 1.143 acres located at 11220 Reed Hartman Highway (Auditors Parcel 612-0170-0181-00) which is located at the northeast corner of Reed Hartman Highway and Cornell Road. The property is zoned “BAN” Blue Ash North District and is currently the location of a vacant 2,928 square foot financial institution constructed in 1978. Kroger would like to redevelop the site as a fuel center to complement their Kroger grocery store located at 4100 Hunt Road in Blue Ash. Per Section 1135.03, automotive fueling stations are a Conditional Use within “BAN” District.

The proposed development would utilize existing access points located on the private access drive to the north. A 5,418 square foot canopy (43’ x 126’) would cover the proposed seven fuel pumps. A kiosk of 238 square feet (29.5’ x 8.2’) is proposed on the west side of the canopy, 64’ 4” from the right-of-way of Reed Hartman Highway. Due to the double frontage of the site, existing utility easements, and proposed fuel tank locations, three parking spaces are provided on the western part of the site for the two Kroger employees that will be on site. The proposed fuel tanks will be located on the eastern portion of the site to allow adequate circulation for the tanker when filling.

Landscaping for the site exceeds that required by Section 1145, with the exception of foundation plantings. Emphasis on additional plant material has been provided at the intersection of Cornell Road and Reed Hartman Highway. Signage for the site will comply with the provisions of Section 1143. An eight foot tall, 77 square foot ground mounted sign is proposed for Cornell Road west of the access point to the site. The sign will be located on a 12” masonry base, ten feet of the right-of-way in a landscape bed. A “Kroger” sign of 11.25 square feet will be located on the west and east elevations of the fuel canopy with a 45.5 square foot fuel price sign on only the west canopy elevation. Lighting for the site will be from four LED lights mounted at 27.5 feet, and canopy lighting. Although site lighting complies with the maximum light level of 10 footcandles, and the minimum light level of 1 footcandle of Section 1135.06 (f) to allow for safe illumination levels under the canopy for fueling, a modification is requested. It is anticipated that the fuel center would operate only between the hours of 6:00 AM to 10:00 PM.

To allow the redevelopment to move forward, modifications to the requirements of the zoning code are requested as follows:

- 1) Kroger is requesting a modification to the requirements of Section 1135.04 (d) (2) which allows new automotive fueling stations to have a maximum of four fueling pumps per station. To be able to adequately serve the volume of Kroger customers that are anticipated to frequent this location, Kroger is proposing seven fueling pumps. The inclusion of the additional fuel pumps will reduce customer wait time and the potential for the stacking of waiting customers.

- 2) Due to the double frontage of this site, the location of existing utility easements on the eastern portion of the site, and the establishment of existing access points, it is not possible to locate the waste enclosure in a side or rear yard, as required by Section 1147.06 (h). The waste enclosure is proposed to be located in the northwest corner of the site, 25 feet from the right-of-way of Reed Hartman Highway. The enclosure will be of brick to match the kiosk and canopy columns. In addition to the streetscape plantings, which consists of two existing mature Maple trees and new Dogwood trees and Dense Yew shrubs, nine Arborvitaes will be located on the front/west side of the enclosure, and two Viburnum will be planted on both the north and south sides of the brick enclosure. It should be noted that the proposed waste enclosure location is approximately where the existing chain link with plastic slats waste enclosure is located.
- 3) The proposed brick kiosk is located adjacent to the fuel canopy and within the paved vehicle area. A modification is requested for relief from Section 1145.08 since it is not possible to provide the required foundation plantings (13 spread evergreen shrubs required) adjacent to the kiosk. As mentioned, additional plant material is provided on site in the form of 44 additional shrubs on the Cornell Road and Reed Hartman Highway frontages, as well as 13 shrubs around the waste enclosure.
- 4) To allow for safe light levels during the fueling of vehicles, Kroger is requesting a modification from Section 1135.06 (f) to allow the light levels under the canopy to exceed the permitted 10 footcandles. The maximum light level under the canopy is 37.1 while the maximum on-site footcandles varies from 9.6 to 3.9 footcandles. The increased levels are necessary for customers to safely obtain fuel when it is dark and make accurate transactions at the pump.

Per the provisions of Section 1127.06 (e), we would offer the following:

- 1) The proposed fuel center is compatible with the surrounding uses and area in the vicinity of the site. To the north of the site is Chick-fil-A which features a drive thru component. To the west, across the seven lanes of traffic on Reed Hartman Highway, is a Key Bank with drive thru lanes and a multi-tenant strip center with a variety of retail and service uses, including restaurants. The southwest corner of Cornell Road and Reed Hartman Highway is occupied by the three-story "Fountain Pointe" office building. To the south, across Cornell Road, are several office buildings, and further east, a Speedway fuel center. To the east of the site is a strip center with retail and service uses. The proposed fuel center is not anticipated to impact the value of any of these properties.

- 2) The proposed 5,656 square foot canopy and kiosk are complementary to similar adjacent free standing uses such as Chick-fil-A (5,304 square feet) or the Key Bank (3,546 square feet) to the west.
- 3) The proposed fuel center, although under a canopy, is an outdoor activity similar to the adjacent drive thru uses that previously existed on the site and are active on adjacent properties. There will be no special events on site that will impact the area.
- 4) It is not anticipated that given the proposed use, there will be a significant increase in traffic over the prior site's use (Bank) or adjacent uses with drive through traffic. A significant percentage of those utilizing a fuel center are "pass by trips" which are customers already in the area, reducing the volume of traffic generated by the proposed fuel center.
- 5) There are currently seven lanes of traffic on Reed Hartman Highway, and four lanes on Cornell Road. It would appear that given the former and proposed use of the site, and existing roadway configurations, impact to the traffic flow is unlikely. Existing access to the site will be maintained.
- 6) Minimal noise levels are expected with the proposed fuel center since customers pump their own fuel and typically approach the kiosk if there is an issue (i.e.: obtaining a receipt, etc.). There is an intercom system in place for customers with physical conditions that prevent them from filling their own vehicles, or for use in emergency situations.
- 7) Kroger operates 1,585 fuel centers across the country. Based on this experience, they do not expect any demand on public services in excess of those required by adjacent sites with fast food restaurants, banks, offices, or strip centers.
- 8) Kroger believes that the appearance of the neighborhood will not be negatively impacted by the inclusion of the fuel center at this location. Currently the site has only minimal landscaping, and Kroger is proposing to create an extensive streetscape buffer of Maple, Elm, and Dogwood trees supplemented by a variety (Burning Bush, Juniper, Yew, Knockout Roses and Spirea) of shrubs, along with annuals and perennials on both Cornell and Reed Hartman while maintaining the existing three mature Maple trees. The existing waste enclosure, which is very visible on Reed Hartman, is chain link with slats which would be replaced by a brick enclosure surrounded by landscaping. The existing pylon sign will be replaced by a ground mounted sign in a landscape bed.

- 9) The photometric lighting plan submitted indicates that the site will be illuminated by four LED fixtures mounted at 27.5 feet in height. Additionally, light fixtures will be mounted under the fuel canopy to provide a safe level of lighting for customers while fueling. Adjacent properties will not be impacted by lighting given the 0.1 to 0.7 footcandles at the Kroger property lines.
- 10) The proposed landscaping will be a significant upgrade to the site. The existing mature trees at the northwest corner of the site, and just west of the access drive on Cornell, will be maintained. These will be supplemented by a mixture of plant material with six trees and 77 shrubs on Reed Hartman, and five trees and 81 shrubs on Cornell. Additionally, nine Arborvitae and four Viburnum will be added to surround the waste enclosure, and the 48 Liriope that will be added to the landscape bed surrounding the ground mounted sign.
- 11) The existing bank development has approximately 0.74% hard surfaced area (ISR). The proposed Kroger fuel center will have 0.78% hard surfaced area (ISR), with the amount of ISR change being approximately 0.04%.
- 12) The proposed fuel center is a long awaited complement to the Blue Ash Kroger store located on Hunt Road. Given that Kroger is a longstanding member of the Blue Ash community, and operates 85 fuel centers in this division, the proposed fuel center is expected to remain at this location for an extended period of time.
- 13) The proposed fuel center will allow Kroger customers to utilize their accumulated fuel points in Blue Ash on their way to and from work, and other destinations, without having to go to Sharonville or other Kroger locations to redeem them. Given today's fuel prices, that would be a benefit to Blue Ash residents.

Photos of 11220 Reed Hartman Highway



E



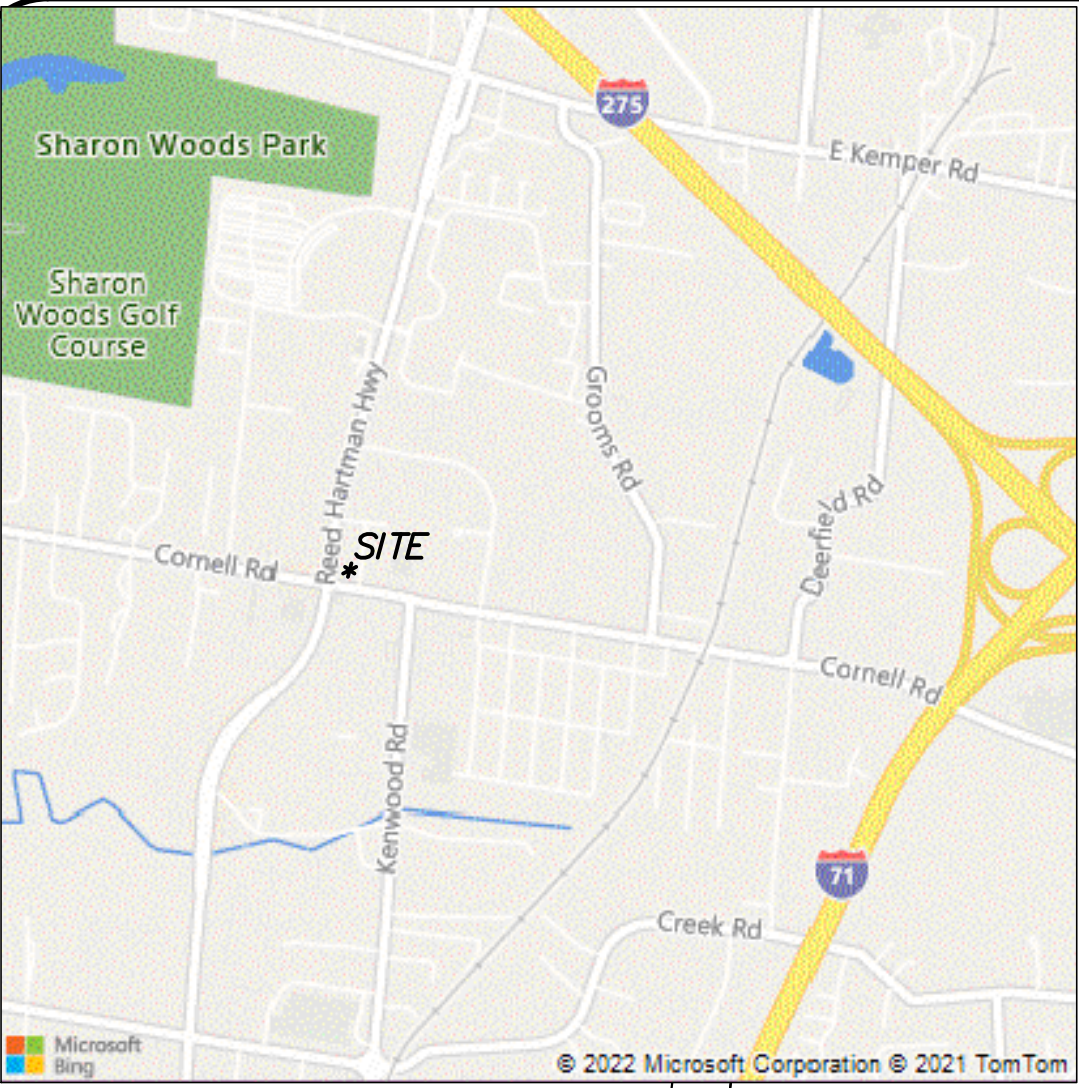
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W



S

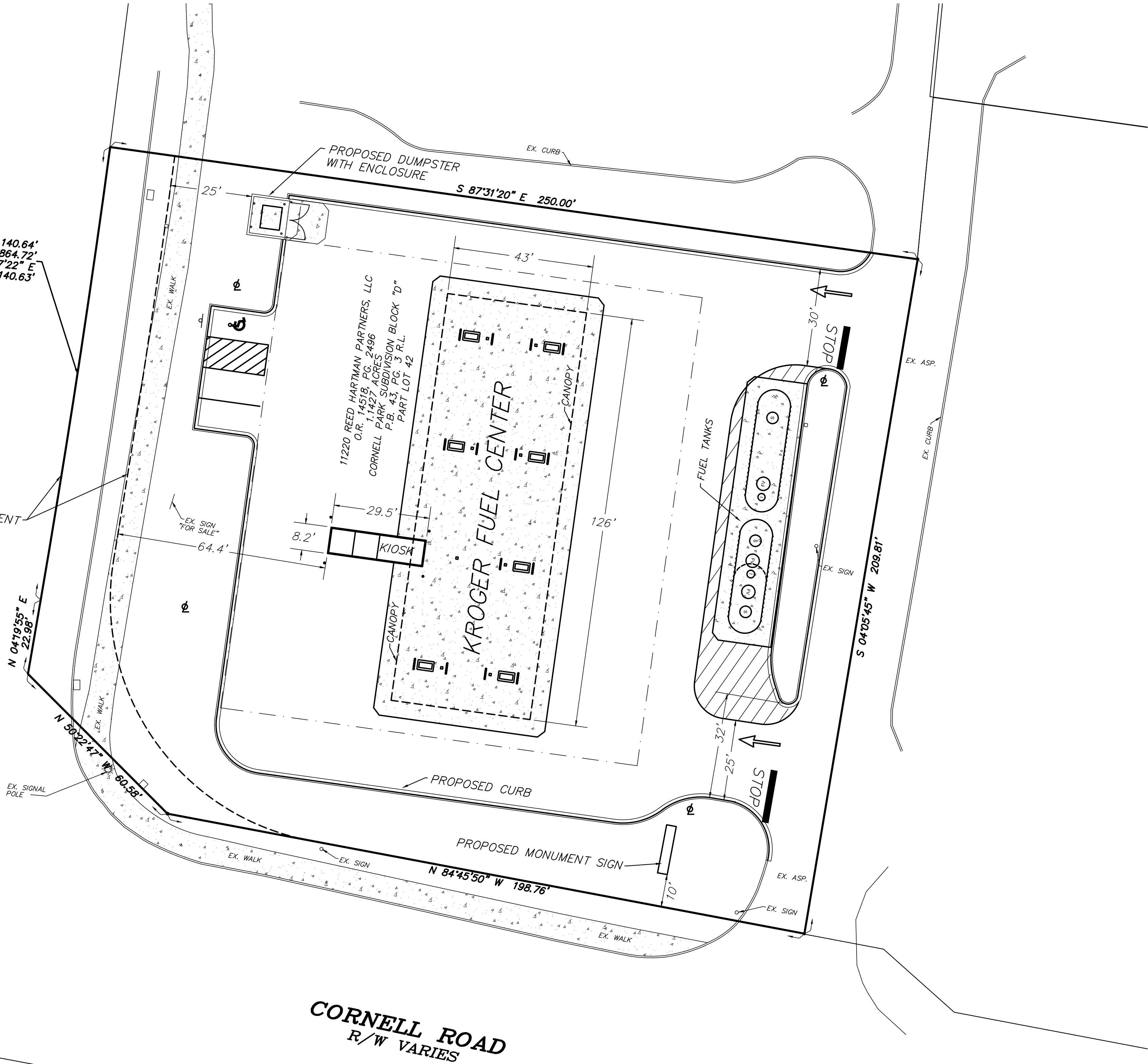


VICINITY MAP
N.T.S.

REED HARTMAN HIGHWAY
R/W VARIES

EX. HIGHWAY EASEMENT
O.R. 9769, PG. 1179

A 140.64'
R 3864.72'
B N 037°22' E
C 140.63'



CORNELL ROAD
R/W VARIES

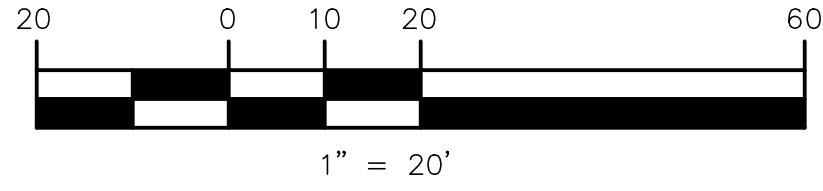
BASIS OF BEARINGS

BEARINGS BASED ON DEED OF RECORD RECORDED IN
O.R. 14518, PG. 2496

FLOOD INFORMATION

PROPERTY SURVEYED IS LOCATED WITHIN ZONE X
ZONE X - AREA WITH REDUCED FLOOD RISK DUE TO LEVEE
PER FEMA MAP NUMBERS 39061C0094E & 390611C0113E
MAPS REVISED FEBRUARY 17, 2010

GRAPHIC SCALE



LEGEND

- R/W
INDICATES RIGHT OF WAY
- INDICATES CONCRETE PAVEMENT
- INDICATES PAVEMENT STRIPING
- INDICATES PROPOSED LIGHT POLE
- INDICATES PROPOSED CURB AND GUTTER
(SEE CSD-1 ON THIS SHEET FOR DETAILS)



tga
THOMAS
GRAHAM
ASSOCIATES, INC.

- Engineers
- Surveyors

803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: OCT. 20, 2022

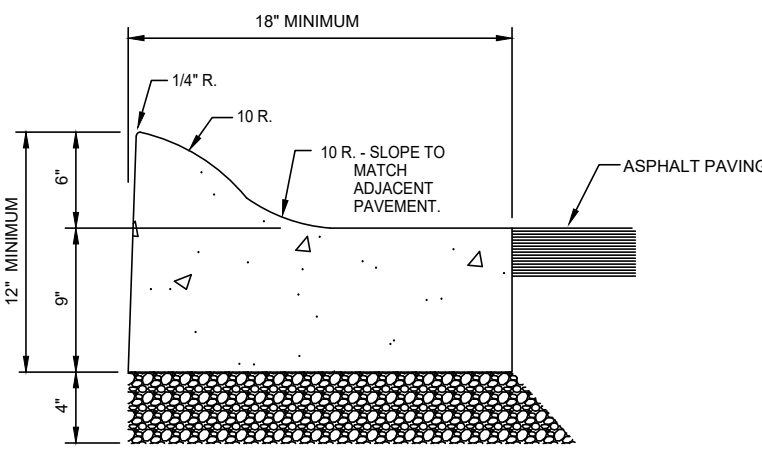
Scale: 1" = 20'

Job No: 8411

Revisions	
No.	Date

SITE PLAN - KROGER FUEL CENTER

SECTION 18, TOWN 4, E. RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO



CONCRETE CURB AND GUTTER DETAIL

NOT TO SCALE

NOTES:

- SLOPE ON GUTTER SHOULD BE MINIMUM OF 0.8%. SLOPE SHALL PROMOTE POSITIVE DRAINAGE TO DRAINAGE STRUCTURES. SLOPE TOWARDS OR AWAY FROM CURB AS REQUIRED. (REVERSE SLOPE WHEN APPLICABLE.)
- EXPANSION JOINT: PLACE AT ENDS OF ALL RADI, 5'-0" ON EACH SIDE OF DRAINAGE STRUCTURES, AND AT 80'-0" MAXIMUM INTERVALS IN STRAIGHT CURB AND GUTTER. PROVIDE #6 x 18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THROUGH EXPANSION JOINTS, (3/4" THICK BITUMINOUS FILLER MATERIAL).
- CONTRACTION JOINT: PROVIDE 2" DEEP x 1/8" WIDE CONTRACTION JOINT AT 15'-0" INTERVALS.
- PROVIDE (2) #6 x 2'-0" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.
- REMOVE FORMS AS EARLY AS POSSIBLE. BRUSH TOP AND FACE OF CURBS TO REMOVE ALL IMPERFECTIONS. TYPICAL OF ALL FORM WORK.
- ALL RADII SHALL BE TRUE ARCS.
- MEDIUM TO LIGHT BROOM FINISH ON ALL EXTERIOR CONCRETE.

CSD-1

Drawn By: S. TRENKAMP

Job No: 8411-22

ACAD FILENAME: 8411_CORNELL_RHDWG

NO.	DATE	DESCRIPTION
0	10.22.2022	SITE PLAN REVIEW

[illegible]

KROGER 082
RETAIL FUEL CENTER

**11220 REED HARTMAN HWY
CINCINNATI, OH 45241**

(HAMILTON COUNTY)

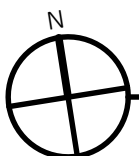
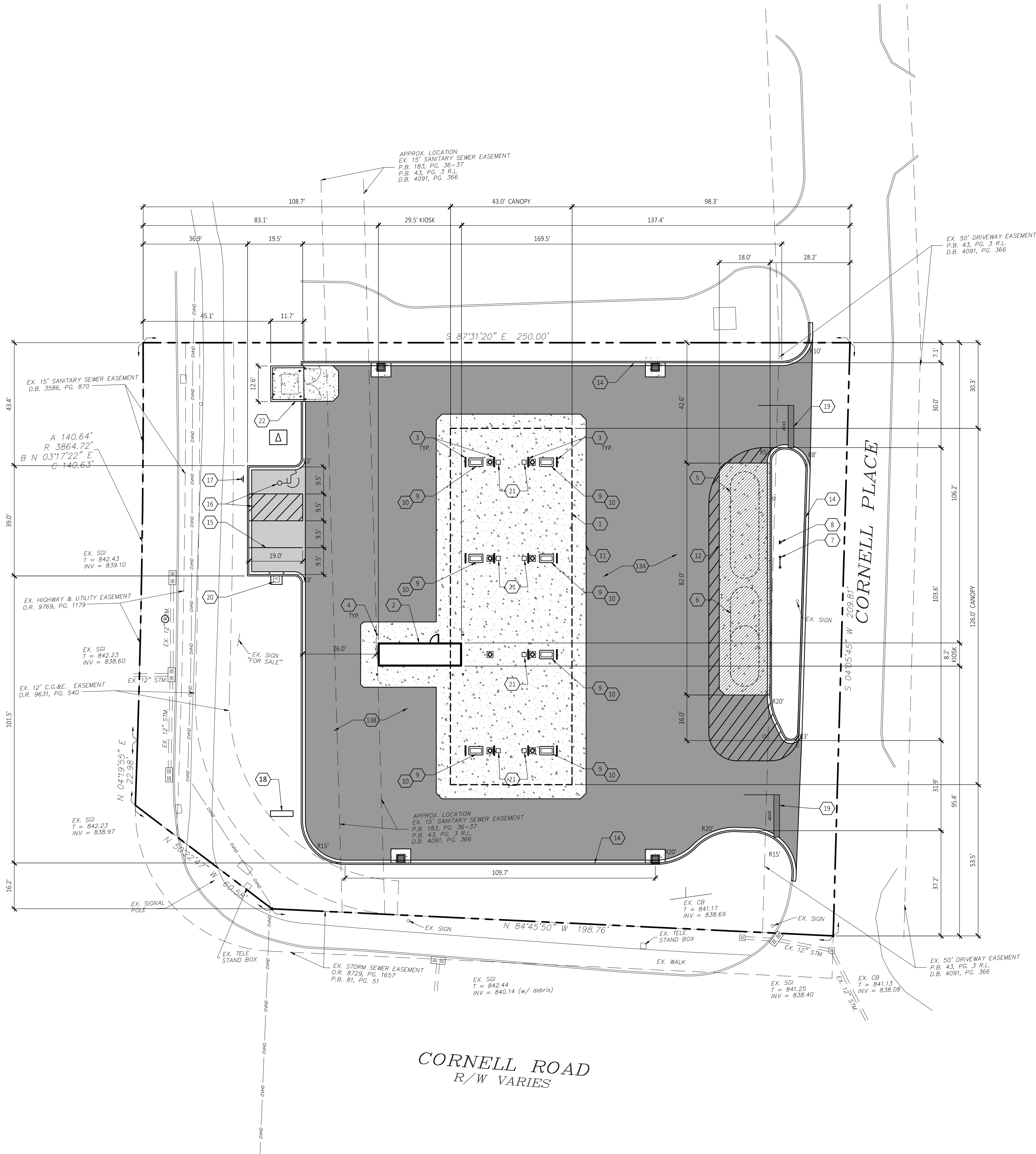
DIMENSION CONTROL SITE PLAN

PROJECT NO.:	082
DATE:	-
CAD FILE:	C1.20
PROJECT MANAGER:	T. KRATZ

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C1.20

- 1 DISPENSER CANOPY, COLUMNS, AND FOOTINGS.
- 2 TRANSACTION KIOSK.
- 3 U-SHAPED BOLLARD AT CANOPY COLUMNS.
- 4 KIOSK BOLLARD.
- 5 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
- 6 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
- 7 TANK VENT RISER.
- 8 TANK OVERFLOW ALARM.
- 9 3.00' X 5.00' DISPENSER ISLAND.
- 10 AUTOMOBILE MULTI-PRODUCT DISPENSER WITH CARD READER.
- 11 CONCRETE DISPENSER MAT.
- 12 CONCRETE TANK MAT.
- 13A HEAVY DUTY BITUMINOUS PAVEMENT.
- 13B LIGHT DUTY BITUMINOUS PAVEMENT.
- 14 CONCRETE CURB AND GUTTER.
- 15 4" PAINTED PARKING STRIPE. COLOR WHITE.
- 16 BARRIER-FREE PARKING SPACE AND INTERNATIONAL PARKING SPACE SYMBOL. COLOR BLUE. SEE DETAIL 3/C5.00.
- 17 BARRIER-FREE ACCESSIBLE PARKING SIGN. SEE DETAIL 5/C5.00.
- 18 MONUMENT SIGN, SIGNS UNDER SEPARATE PERMIT.
- 19 PAINTED STOP BAR.
- 20 AIR TOWER.
- 21 WASTE RECEPTACLE / WINDSHIELD SERVICE CENTER.
- 22 TRASH ENCLOSURE AND CONCRETE PAD.



SCALE: 1" = 20'-0"



NO.	DATE	DESCRIPTION
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KROGER 082
RETAIL FUEL CENTER

11220 REED HARTMAN HWY
CINCINNATI, OH 45241

(HAMILTON COUNTY)

GRADING PLAN

PROJECT NO.:	082
DATE:	-
CAD FILE:	C1.30
PROJECT MANAGER:	T. KRATZ

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C1.30

1. REFER TO SHEET C1.11 FOR EROSION CONTROL NOTES AND DETAILS.

2. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDING WITH THE ARCHITECTURAL PLANS.

3. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE DRAWINGS AND PROJECT MANUAL, AND WITH LOCAL JURISDICTIONAL AUTHORITY STANDARDS AND SPECIFICATIONS.

5. THE PROJECT SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES, ENSURING NO AREAS OF STANDING WATER.

5. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).

7. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE GENERAL CONTRACTOR AND AUTHORIZED BY THE OWNER'S REPRESENTATIVE, AFTER SUBGRADE IS ROUGH GRADED.

8. UNLESS OTHERWISE EXPRESSLY INDICATED HEREON, FINISHED GRADES ARE TO MATCH ADJACENT EXISTING GRADES.

9. THE GENERAL CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. SEE SESC PLAN ON SHEET C1.11 FOR LIMIT OF DISTURBANCE. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.

0. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE THE CONSTRUCTION PER THE DRAWINGS AND PROJECT MANUAL. ADDITIONALLY, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, AS WELL AS THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE PROJECT.

FUEL GRADING DESIGN STANDARDS:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM FUEL CENTER CONCRETE PAD(S). PER GRADING/SECTION DRAWINGS, 1%-3% SLOPE IS TYPICAL WITH A MAXIMUM SLOPE OF 5%. UNLESS EXPRESSLY AUTHORIZED BY THE OWNER'S REPRESENTATIVE, SURFACE WATER SHALL NOT DRAIN THROUGH THE FUEL/CANOPY AREAS.

2. PROVIDE MAXIMUM OF 2% SLOPES/GRADES ACROSS FUEL CENTER CONCRETE PADS (UNDER CANOPY AREA), WHILE MAINTAINING POSITIVE DRAINAGE AWAY FROM THE FUEL CENTER KIOSK AND DISPENSER ISLANDS. GRADES AT TANK PAD SHALL NOT EXCEED 3% SLOPE.

3. SPECIAL ATTENTION IS REQUIRED AT THE DOORWAY OF THE KIOSK. IN GENERAL, THE KIOSK FINISH FLOOR IS TO BE 1" HIGHER THAN THE SURROUNDING EXTERIOR GRADE. SLOPE DRIVEWAY PAVING TO MEET THE FINISH FLOOR GRADE AT ANY DOORWAY, AND COORDINATE WITH FUEL CENTER CONTRACTOR. ADA GUIDELINES MUST BE VERIFIED FOR DOOR ENTRANCES AND FOR THE CUSTOMER SERVICE DRAWER AT THE KIOSK WINDOW.

SITE SPECIFIC GRADING GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY EXISTING SITE IMPROVEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION. THIS SHALL INCLUDE, AND IS NOT NECESSARILY LIMITED TO:

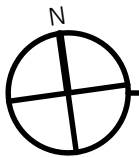
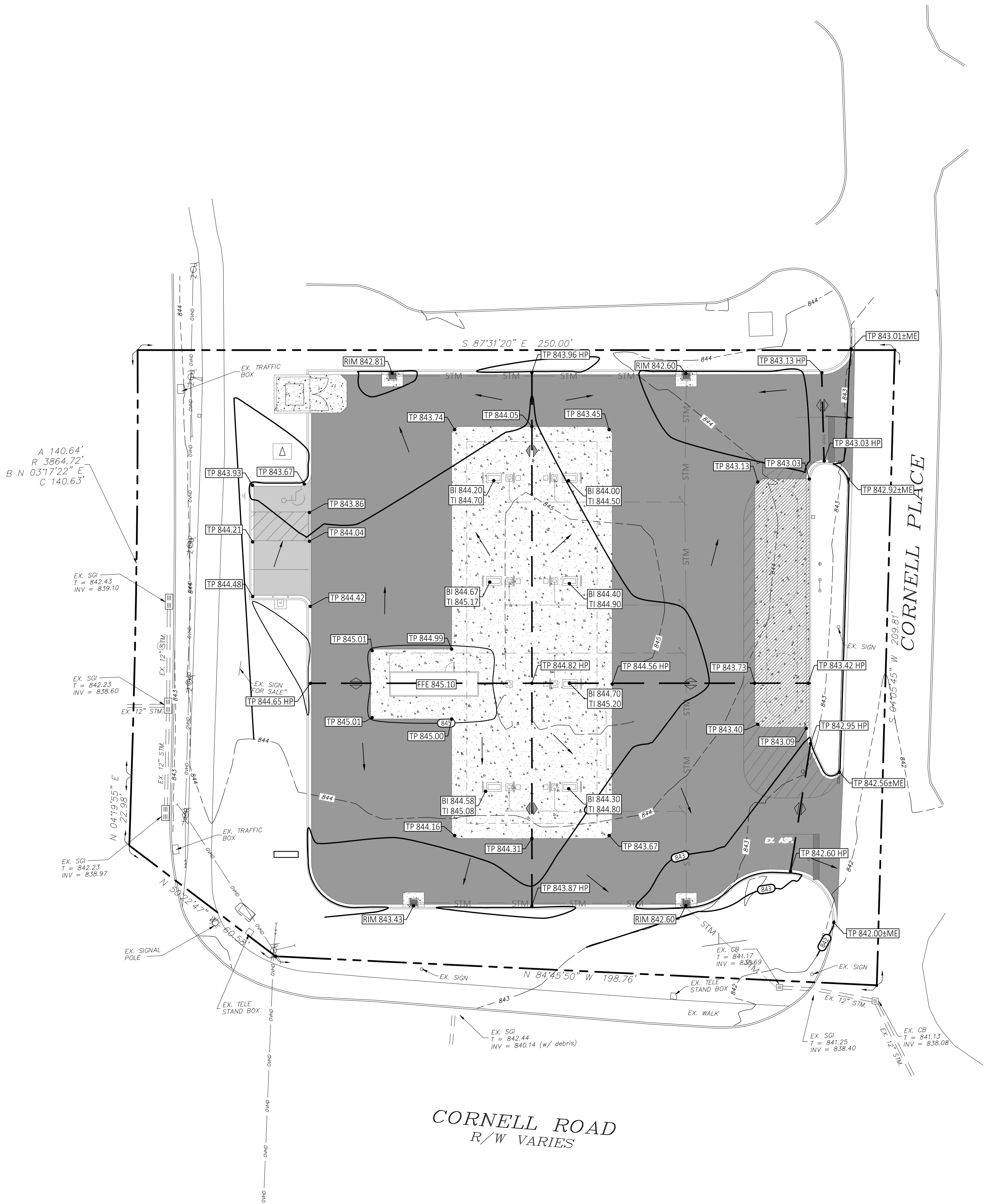
(A) EXISTING CURB THAT MAY BE DISTURBED DURING INSTALLATION OF VENT STANDS, AIR STANDS, ETC.,
(B) EXISTING ASPHALT THAT MAY BE DISTURBED DURING TANK INSTALLATION,
(C) EXISTING LANDSCAPING,
(D) EXISTING LIGHT STANDARD(S) AND WIRING.

GRADING LEGEND:

TG	GUTTER GRADE
TC	TOP OF CURB
BW	FINISHED GRADE AT WALL
FG	FINISHED GRADE
FL	DITCH FLOW LINE
BI	PUMP ISLAND BOTTOM
TI	PUMP ISLAND TOP
TP	TOP OF PAVEMENT
RW	UNDERGROUND STRUCTURE RIM
TM	TOP OF WALK
FFE	FINISHED FLOOR ELEVATION
ME	MATCH EXISTING
2.0%	PROPOSED SLOPE

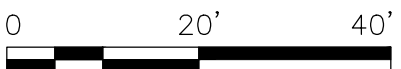
NOTES:

GENERAL CONTRACTOR SHALL REVIEW GRADES AT DISPENSER ISLANDS PRIOR TO CONSTRUCTION TO ENSURE TOP OF ISLAND TO BOTTOM OF ISLAND RELATIONSHIP WILL MATCH GALLOWAY DETAILS ON PLANS AND ELEVATION DRAWINGS.



GRADING PLAN

SCALE: 1" = 20'-0"



NO.	DATE	DESCRIPTION
0	10.22.2022	SITE PLAN REVIEW

KROGER 082
RETAIL FUEL CENTER

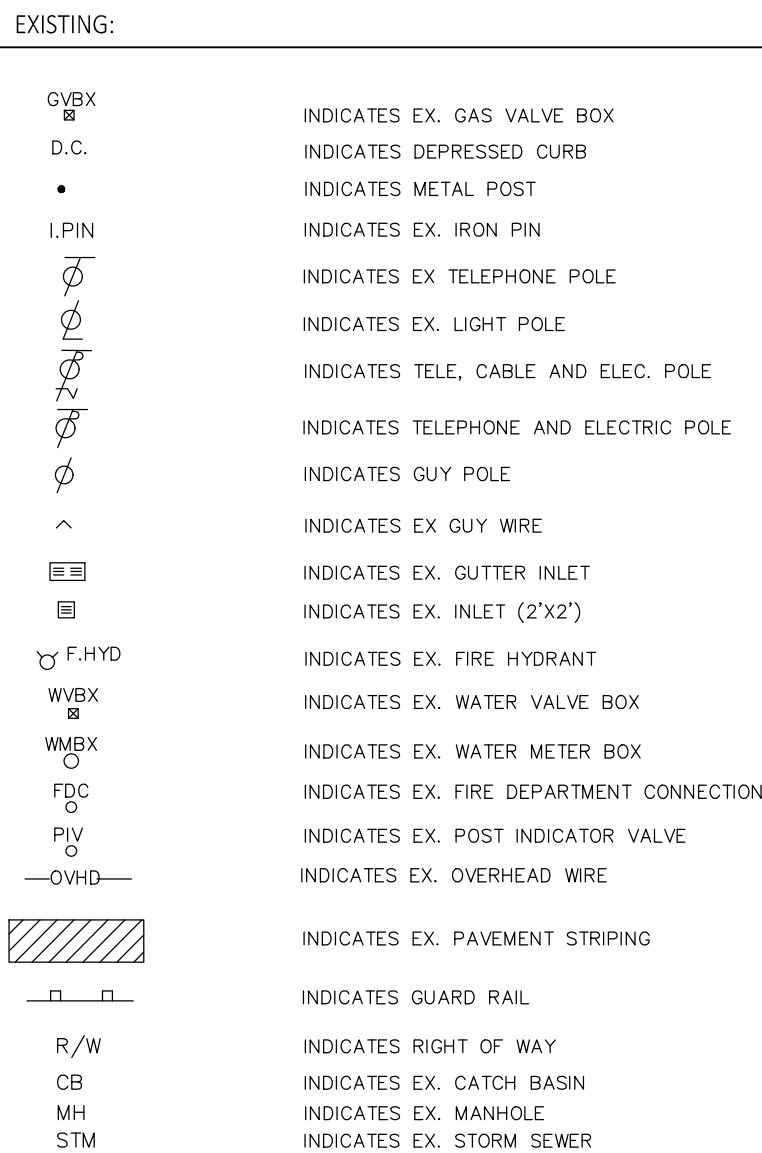
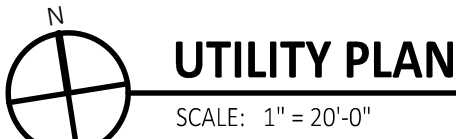
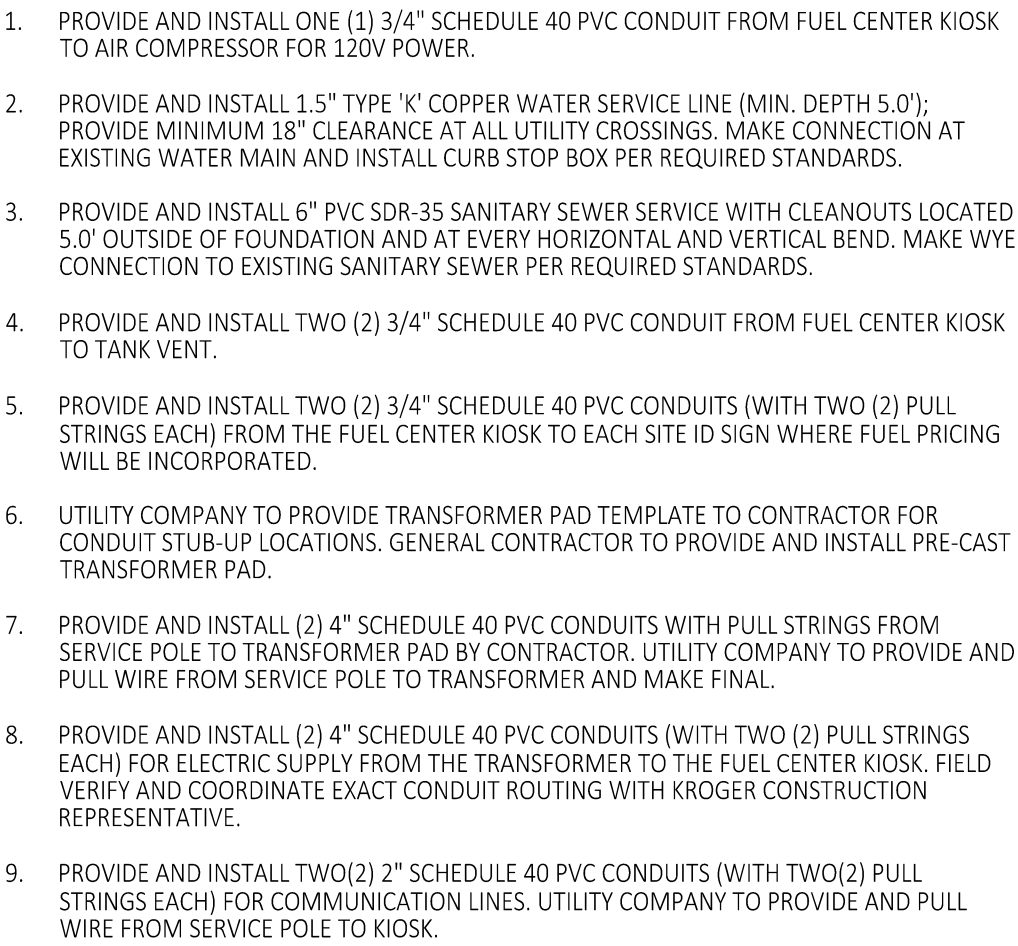
**11220 REED HARTMAN HWY
CINCINNATI, OH 45241**

(HAMILTON COUNTY)

UTILITY PLAN

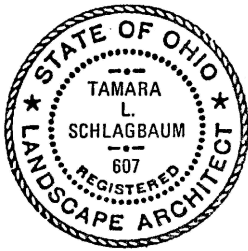
PROJECT NO.:	082
DATE:	-
CAD FILE:	C1.40
PROJECT MANAGER:	T. KRATZ
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C1.40



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
AR3	4	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" Cal.	B&B	35'-40'	10'-12'		Red-Orange	
AR2	1	Acer rubrum 'Karpick'	Karpick Red Maple	2.5" Cal.	B&B	30'-40'	15'-20'		Red	
CX	6	Cornus x rutgersensis 'Stellar Pink'	Pink Flowering Stellar Dogwood	2.5" Cal.	B&B	20'-25'	15'-20'	April-May / Pink	Red	
X-TREE	3	Existing Maple	Acer sp	6" to 12" cal						
UA	3	Ulmus americana 'Princeton'	American Elm	2.5" Cal.	B&B	50'-60'	30'-40'		Yellow	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
EA	35	Euonymus alatus 'Odom' TM	Little Moses Dwarf Burning Bush	5 gal.	Pot	2'-3'	2'-3'		Red	Min 24" height installed
JD	9	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	3 gal.	Pot	12'-18"	5'		Evergreen	Golden-yellow tips
JA	38	Juniperus x pfitzeriana 'Aurea Improved'	Gold Coast Juniper	5 gal.	Pot	3'	3'-4'		Evergreen	Min 24" ht installed
RX	18	Rosa x 'Flower Carpet Pink'	Carpet Pink Knockout Rose	3 gal.	Pot	2'	3'	May-Oct / Pink		
SN	48	Spiraea japonica 'SMNSJMFR'	Double Play® Red Spirea	5 gal.	Pot	3'	3'	April-June / Red	Golden	Min 24" ht installed
TD	19	Taxus x media 'Densiflora'	Dense Yew	5 gal.	Pot	3'-4'	4'-6'		Evergreen	Install at 18" ht min.
TH	9	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	5" Ht.	Pot	5'-7'	2'-3'		Evergreen	
VP	4	Viburnum plicatum tomentosum 'Popcorn'	Popcorn Viburnum	5 gal.	Pot	6'-8'	6'-8'	May / White	Red Purple	Semi-evergreen
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
LG	106	Liriope muscari 'Gold Band'	Gold Band Lilyturf	1 gal.	Pot	12'-18"		June-Sept / Blue		
NR	20	Nepeta racemosa 'Walker's Low'	Catmint	1 gal.	Pot	2'	2'-3'	April-Sept / Lavender Blue		



DATE: OCTOBER 21, 2022
DECEMBER 31, 2022

Jacobs

2 CROWNE POINT COURT
CINCINNATI, OHIO 45241
PH 513-595-7915
FAX 513-595-7939
WWW.JACOBS.COM

Date: OCTOBER 21, 2022

Scale: AS SHOWN

Job No: F7X99000-WBS 13

Revisions

No.	Date
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KROGER FUEL CENER LANDSCAPE PLAN

11220 REED HARTMAN HIGHWAY
CITY OF BLUE ASH
HAMILTON COUNTY, OHIO

KROGER

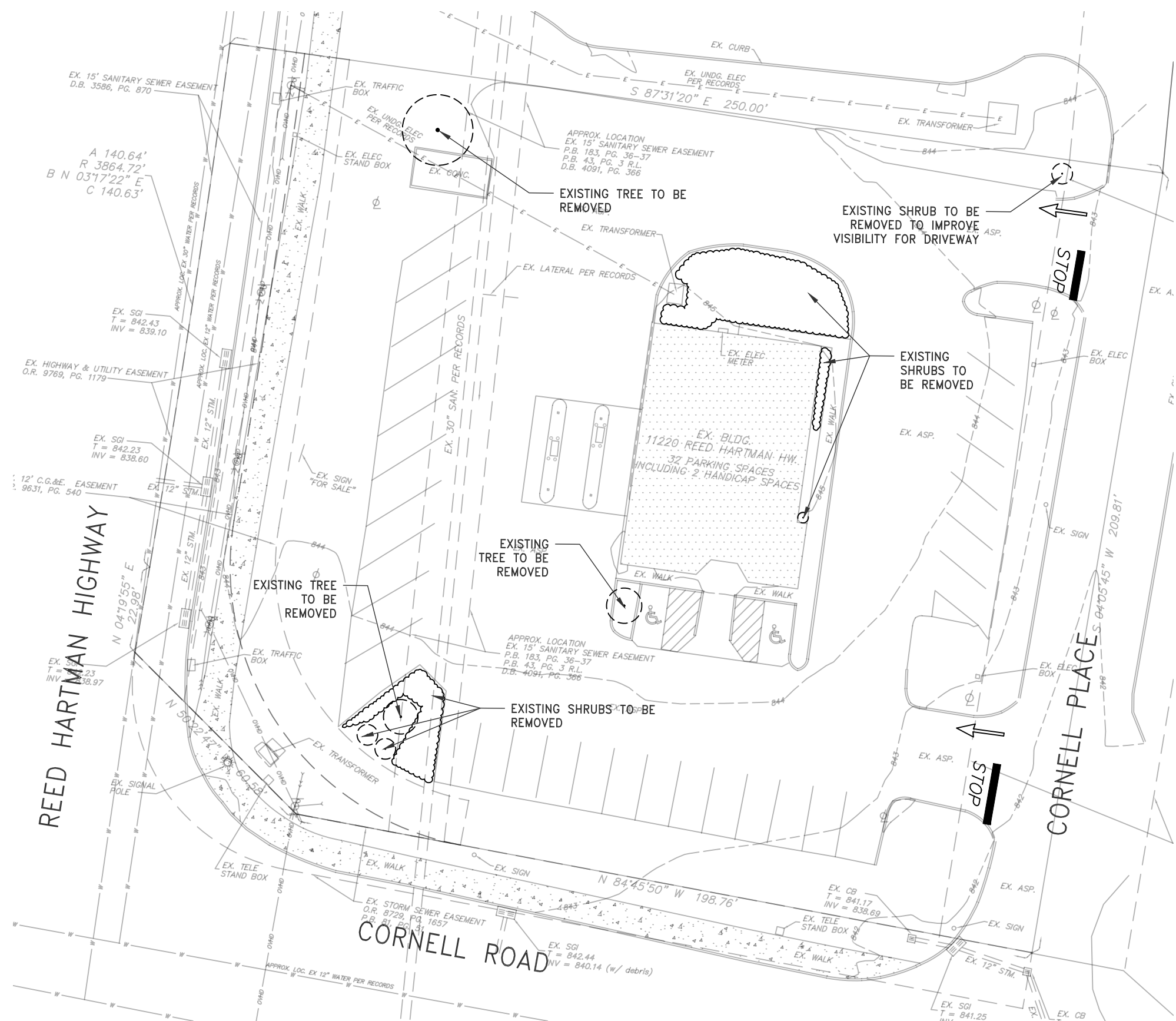
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Drawn By: T. SCHLAG

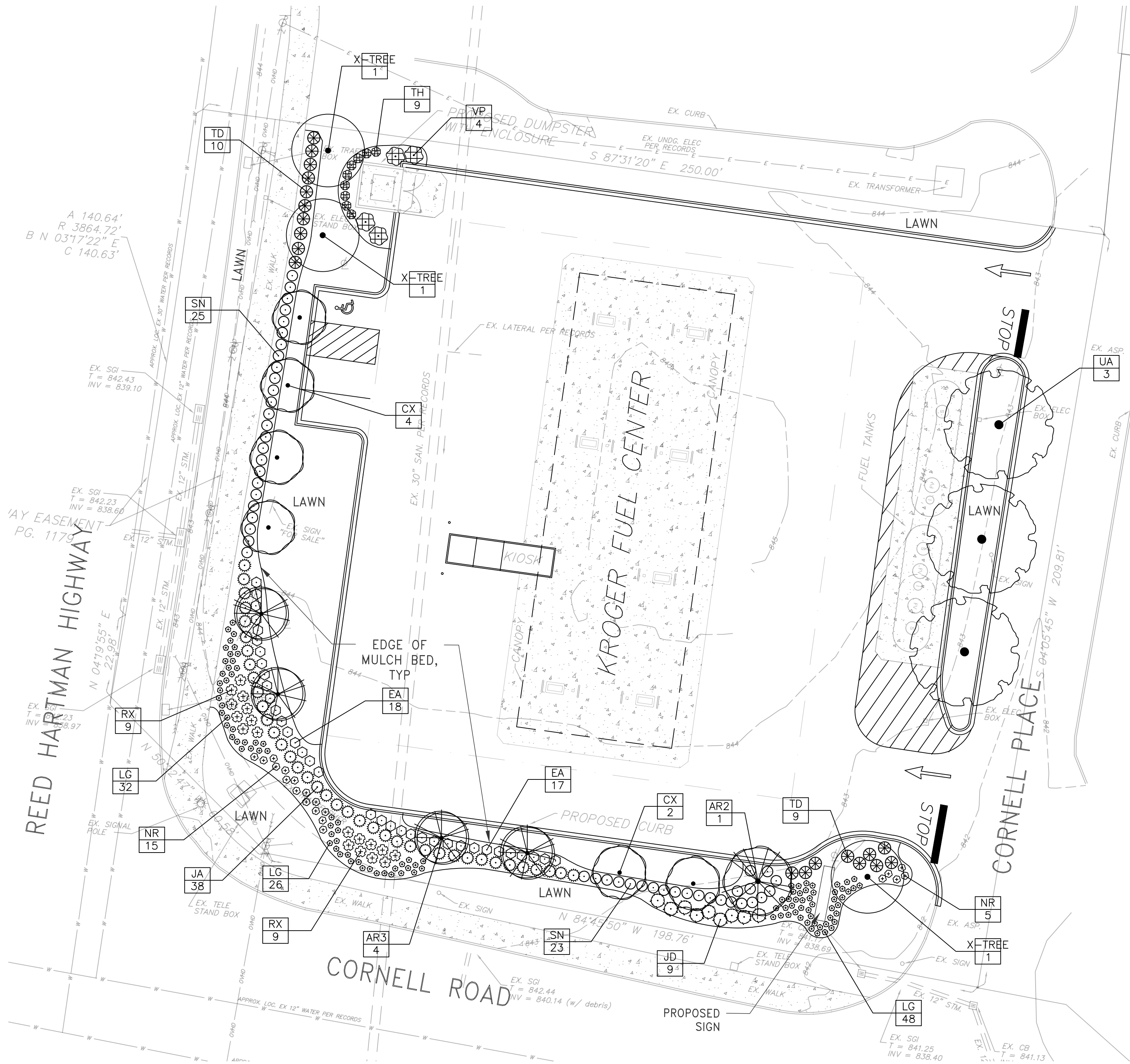
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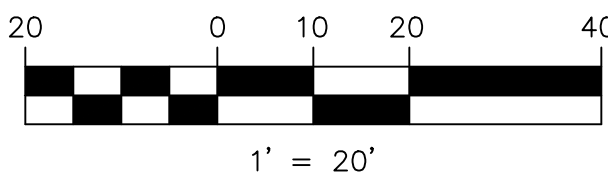
Job No: F7X99000-WBS 13



EXISTING LANDSCAPE REMOVAL
SCALE: 1" = 30'

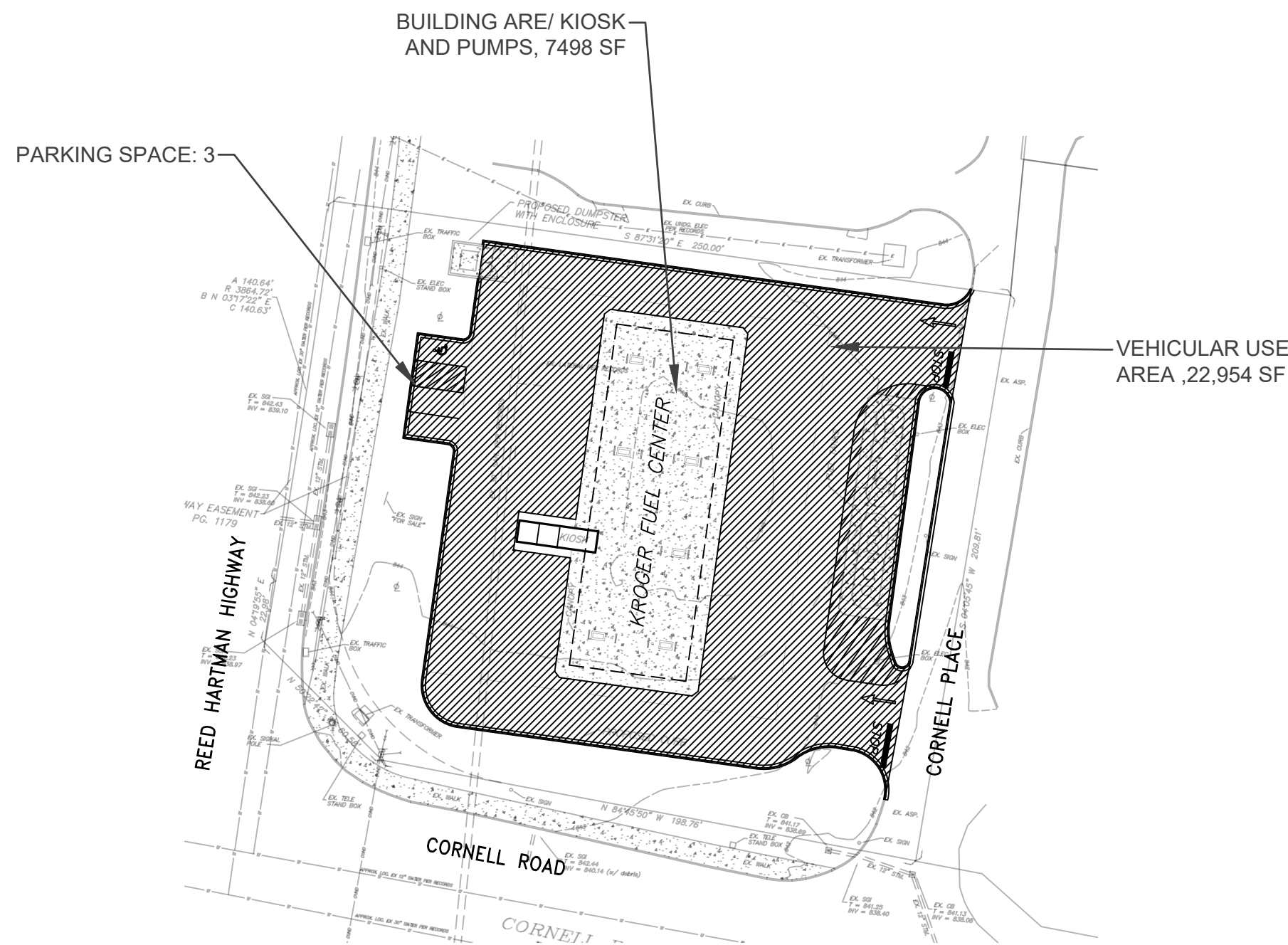


GRAPHIC SCALE



LANDSCAPE NOTES:

- ALL AREAS IDENTIFIED AS LAWN SHALL BE SEEDED. FULLY DISTURBED AREAS SHALL BE SEEDED PER THE SPECIFICATIONS. EXISTING LAWN AREAS THAT ARE DISTURBED SHALL BE RESTORED WITH FINE GRADING AS NEEDED AND OVERSEEDING.
- ALL LANDSCAPE AREA, THAT WERE PREVIOUSLY PAVEMENT AREAS, SHALL BE EXCAVATED AND PROPERLY BACKFILLED PER THE SPECIFICATIONS.
- IRRIGATION (AUTOMATIC SYSTEM) IS NOT BEING INSTALLED FOR THIS DEVELOPMENT.



C / L2 VEHICULAR USE AREA
SCALE: 1" = 50'

BUFFERYARD LANDSCAPE (Section 1145.07)

West Property Line [Reed Hartman Highway-Public Right-of-Way] 200 feet

Plant Material	Required	Provided	Comment
Width	20'	Varies 17.5' to 40'	Width measured from Highway Easement
Tree	8	8	Group B Trees and columnar trees due to overhead powerlines
-1 tree (A) per 20-30' frontage		(2 existing and 6 proposed)	
Or			
-1 tree (B) per 15-25' frontage			
Shrub	67	90	
-1 shrub every 3'			

South Property Line [Cornell Road-Public Right-of-Way] 180 feet

Plant Material	Required	Provided	Comment
Width	20'	Varies 13.4' to 35.6'	
Tree	6	6	
-1 tree (A) per 20-30' frontage		(1 existing and 5 proposed)	
Or			
-1 tree (B) per 15-25' frontage			
Shrub	60	81	
-1 shrub every 3'			

FOUNDATION (Section 1145.08)

Kiosk Building: 8.2' x 29.5'

Plant Material	Required	Provided	Comment
Plantings along foundation	Front and side exterior walls	None	Landscape areas are not defined around the building because of the vehicular circulation required for a fuel station
Shrub	14	None	
-1 shrub per 5 lineal feet of exterior wall	(67.2 lf)		

PARKING AND VEHICLE USE AREA LANDSCAPE (Section 1145.09)

Parking Spaces: 3 Spaces

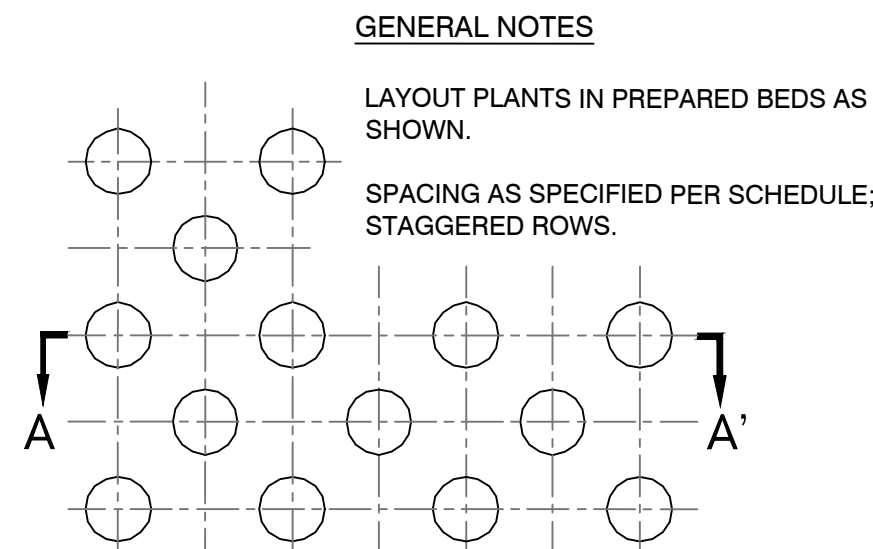
Plant Material	Required	Provided	Comment
Tree	None	None	Not Required for lots under 15 spaces
-1 tree per 10 parking spaces			
Shrub	None	None	Not Required for lots under 15 spaces
-6 shrubs per 10 parking spaces			

SIGN (Section 1143.06)

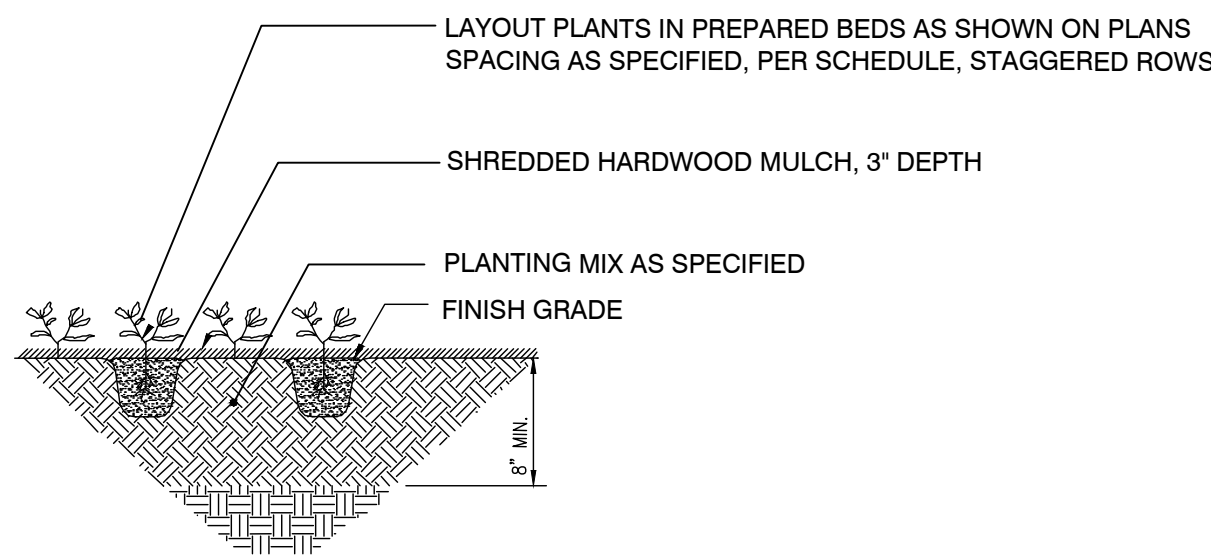
Ground Mounted

Plant Material	Required	Provided	Comment
Area	Min 3' beyond sign base	Min 3' beyond sign base	
-			
Plantings	Effectively landscaped	Effectively landscaped	

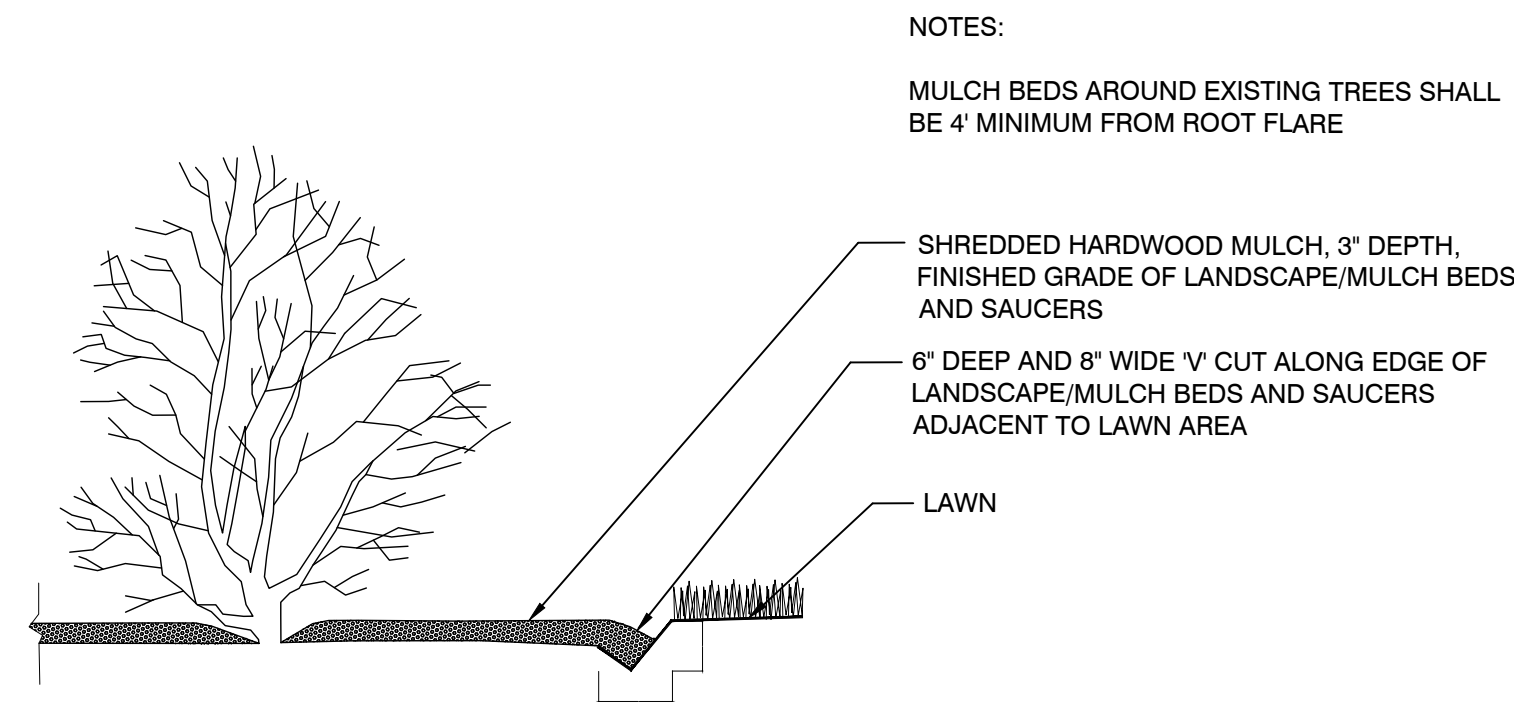
A / L2 LANDSCAPE REQUIREMENT SUMMARY
SCALE: NO SCALE



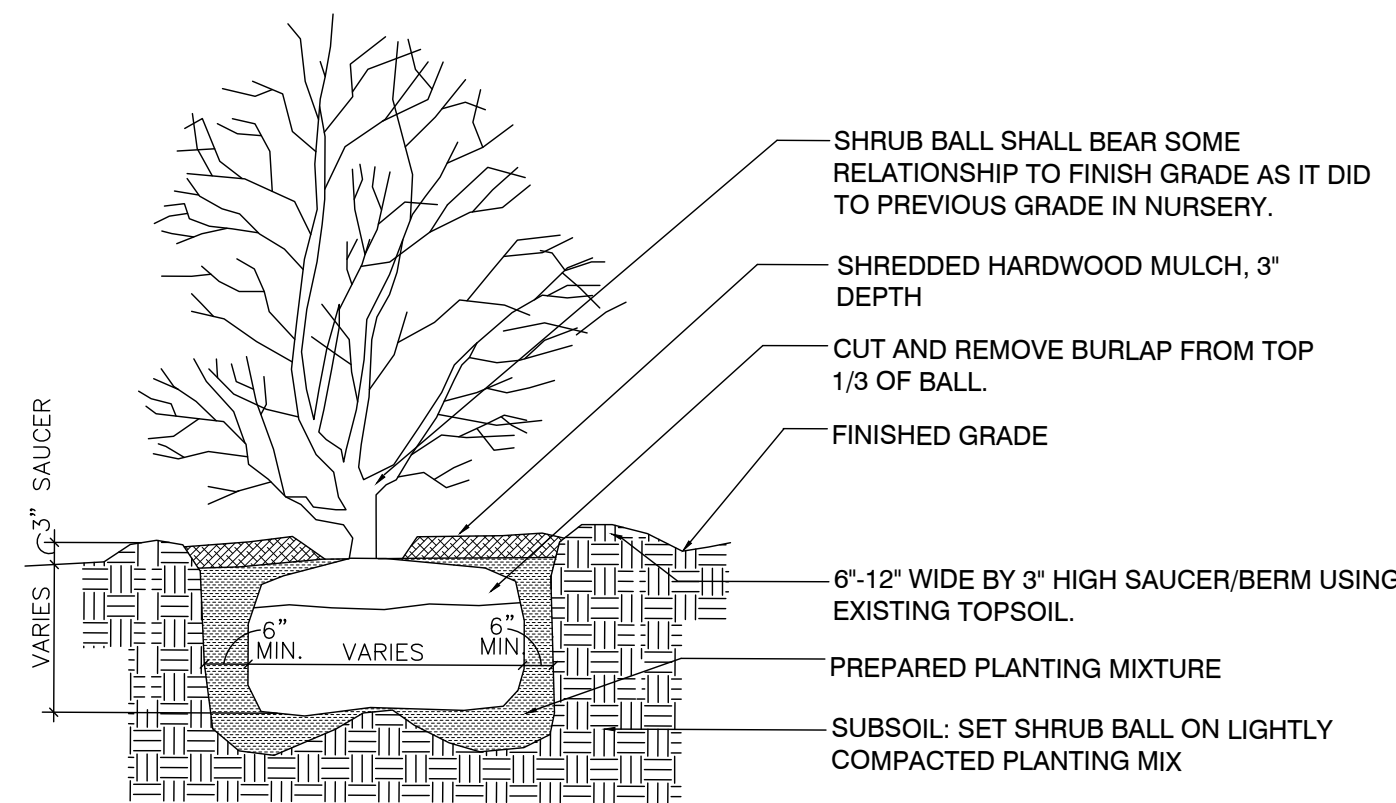
PLAN VIEW



PERENNIAL & GROUND COVER PLANTING DETAIL



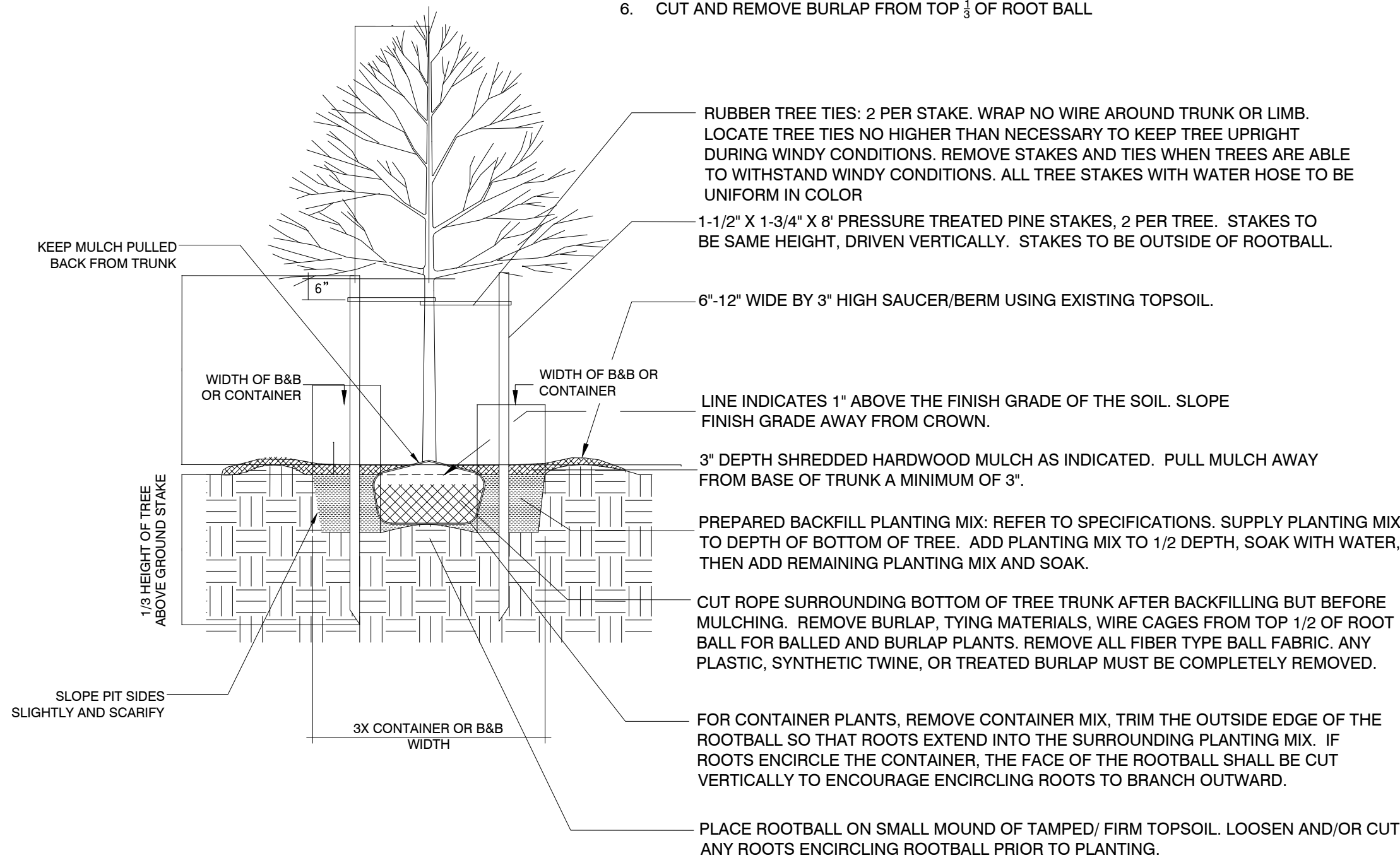
MULCH BED EDGE DETAIL



SHRUB PLANTING DETAIL

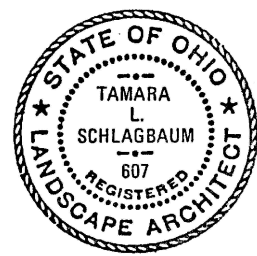
NOTES:

1. TREE SHALL BE PLUMB AND STRAIGHT; TREES 8' AND TALLER SHALL BE STAKED AS SHOWN.
2. PLANTING PIT: SLOPE SIDES SLIGHTLY, AND SCARIFY TO PROVIDE EASIER ROOT PENETRATION. PITS SHALL HAVE POSITIVE DRAINAGE. PITS WHEN FULLY FLOODED SHALL DRAIN WITHIN 2 HOURS OF FILLING. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTING PITS HAVE POSITIVE DRAINAGE.
3. REMOVE ANY SHOOTS UP TO 6" ABOVE SOIL.
4. REMOVE EXISTING NURSERY STAKES BEFORE PLANTING.
5. DO NOT PRUNE, EXCEPT TO REMOVE BROKEN OR CROSSING BRANCHES
6. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL



TREE PLANTING DETAIL

B / L2 PLANTING DETAILS
SCALE: NO SCALE



DATE: OCTOBER 21, 2022
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KROGER FUEL CENER LANDSCAPE PLAN

11220 REED HARTMAN HIGHWAY
CITY OF BLUE ASH
HAMILTON COUNTY, OHIO

KROGER

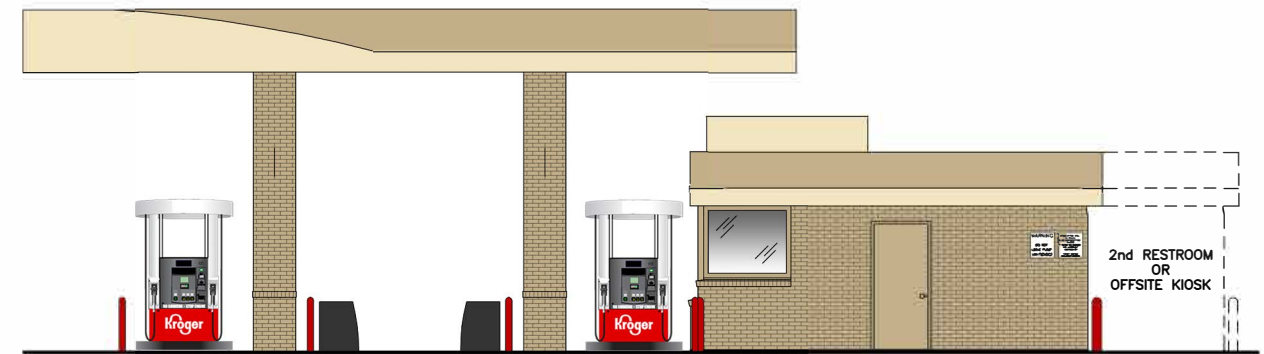
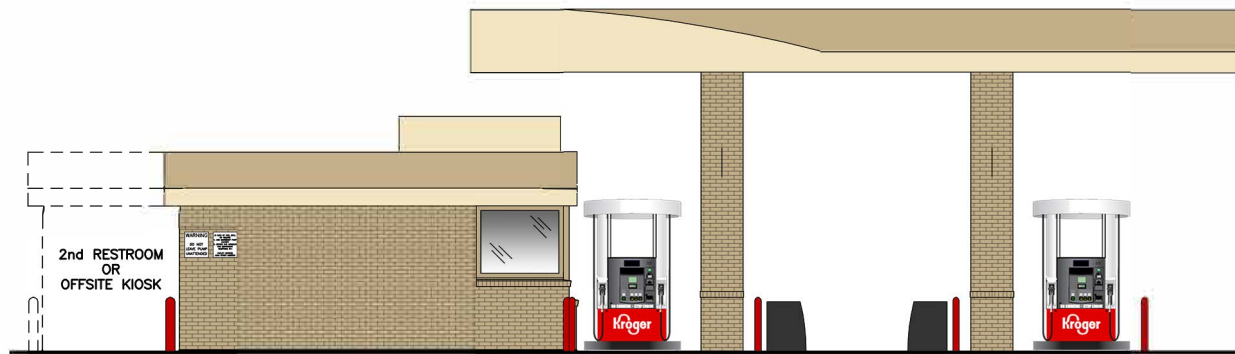
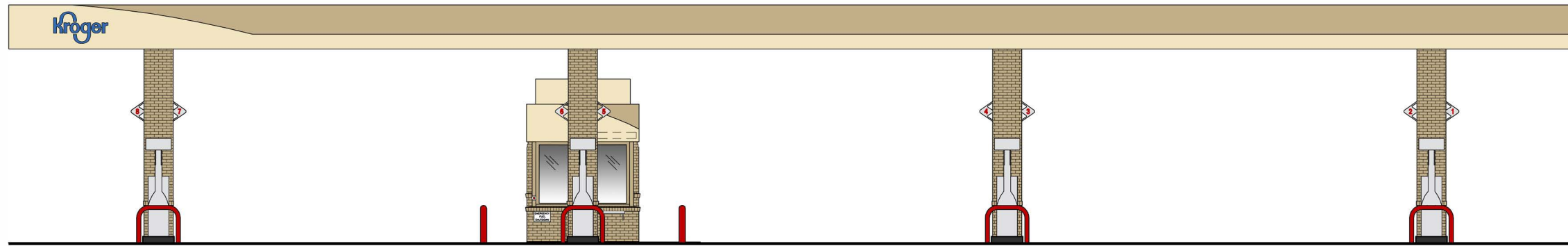
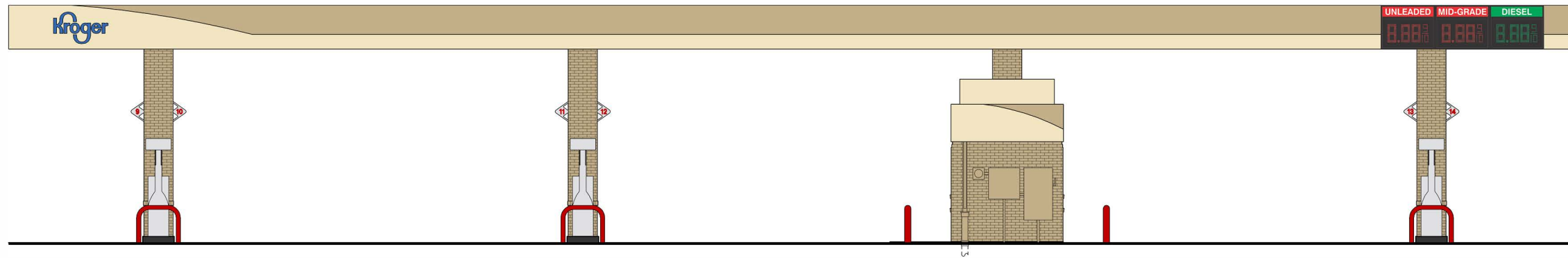
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Drawn By: T. SCHLAG

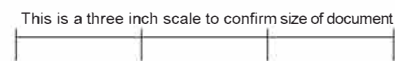
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Job No: F7X99000-WBS 13



Scale: 3/32"=1'-0"



7 DISPENSERS, 1 & 2 RESTROOM KIOSK
JULY 2018



CUMMINGS

KROGER #082
11220 REED HARTMAN
BLUE ASH, OH
980002454.01 10.22.2022



REED HARTMAN HIGHWAY
R/W VARIES

CORNELL ROAD
R/W VARIES

GRAPHIC SCALE

20 0 10 20

1" = 20'

LEGEND

100	INDEXED BY NAME AND DOB
101	INDEXED ALPHABETIC ORDER
102	INDEXED MONTH, YEAR
103	INDEXED BY BORN PPS
104	INDEXED BY TELEPHONE FILE
105	INDEXED BY COURT FILE
106	INDEXED TITLE, CABLE AND RAIL FILE
107	INDEXED TELEPHONE AND ELECTRIC FILE
108	INDEXED INV FILE
109	INDEXED BY GUY NAME
110	INDEXED BY OFFICE FILE
111	INDEXED BY NAME (TEXT)
112	INDEXED BY PPS NUMBER
113	INDEXED BY NAME AND DOB
114	INDEXED BY NAME AND DOB
115	INDEXED BY PPS DEPARTMENT CONNECTION
116	INDEXED BY POST INSPECTION VALUE
117	INDEXED BY OVERSEAS NAME
118	INDEXED BY FREEDOM CRIMINAL
119	INDEXED MONTH, YEAR
120	INDEXED NAME OF GUY
121	INDEXED BY BIRTH BIRTH
122	INDEXED BY PASSPORT
123	INDEXED BY OTHER DATA



QTY.	DESCRIPTION	SQ. FT.
2	KROGER FUEL CANOPY LETTER SETS	11.25
1	KROGER FUEL CANOPY PRICE SIGNS	45.5
1	KROGER FUEL MONUMENT	77.0

**KROGER #082
11220 REED HARTMAN
BLUE ASH, OH**

DRAWING NO:
980002454.01

DATE: 10.22.2022

S. Hawke



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CUSTOMER APPROVAL:

DATE: _____

DATE	BY
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Rev. #1

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Rev. #3 _____

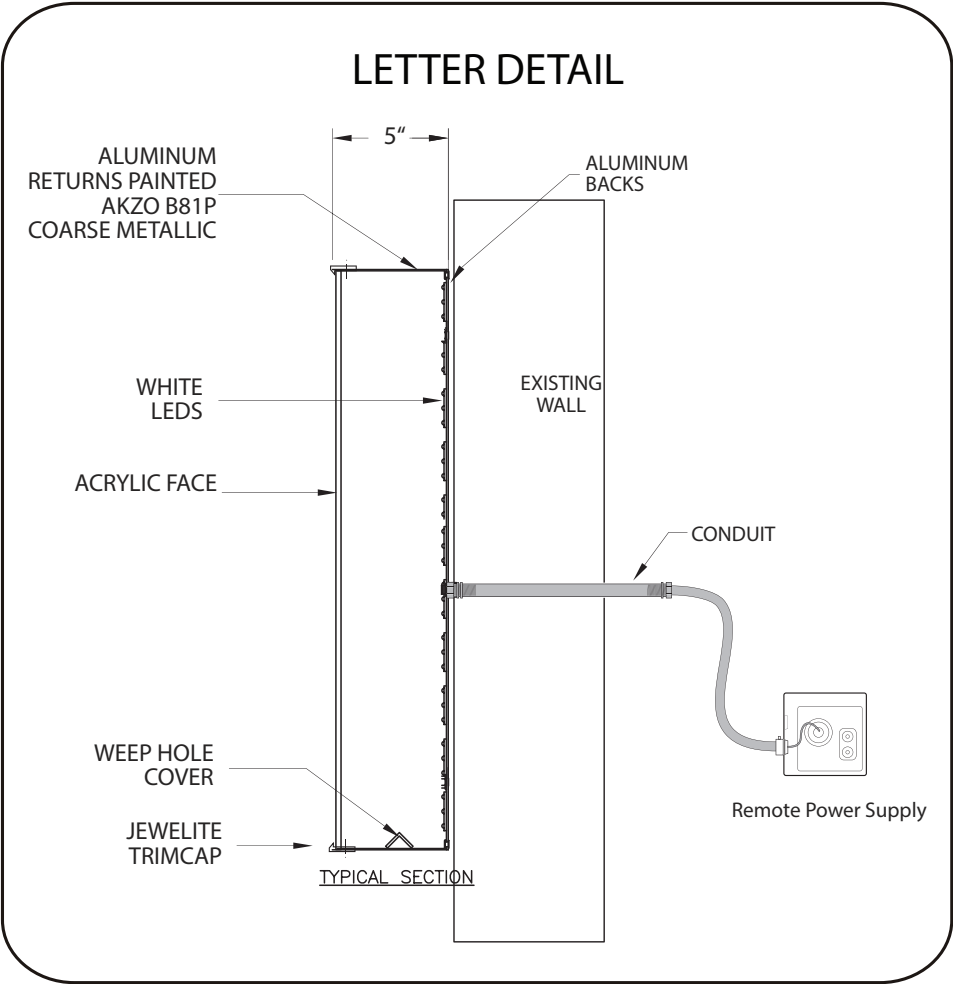
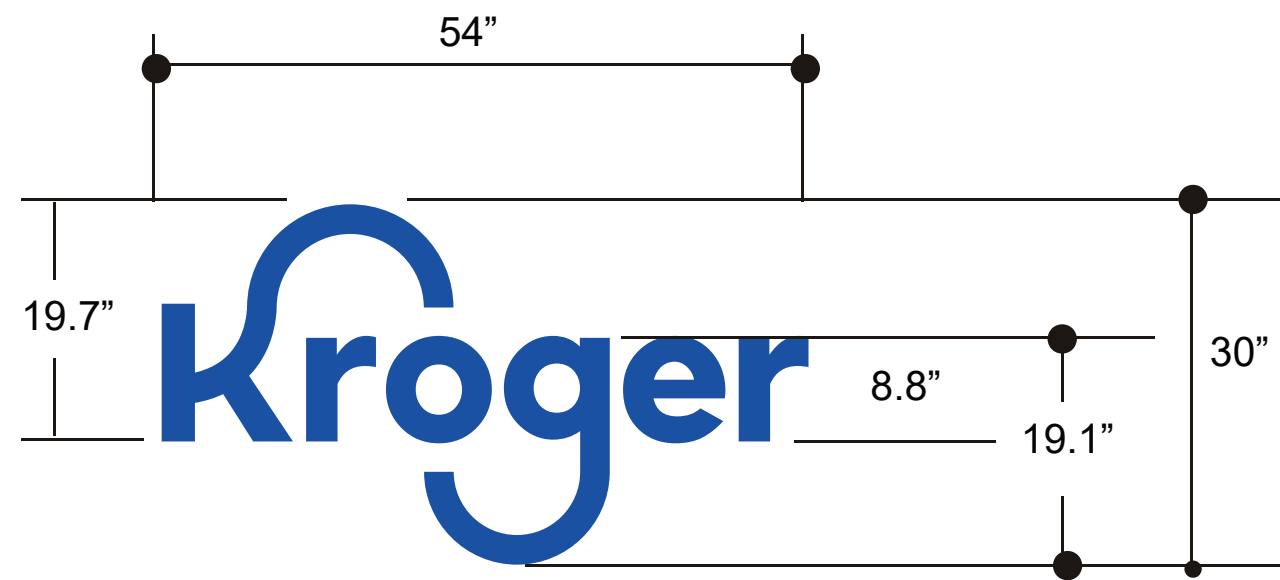
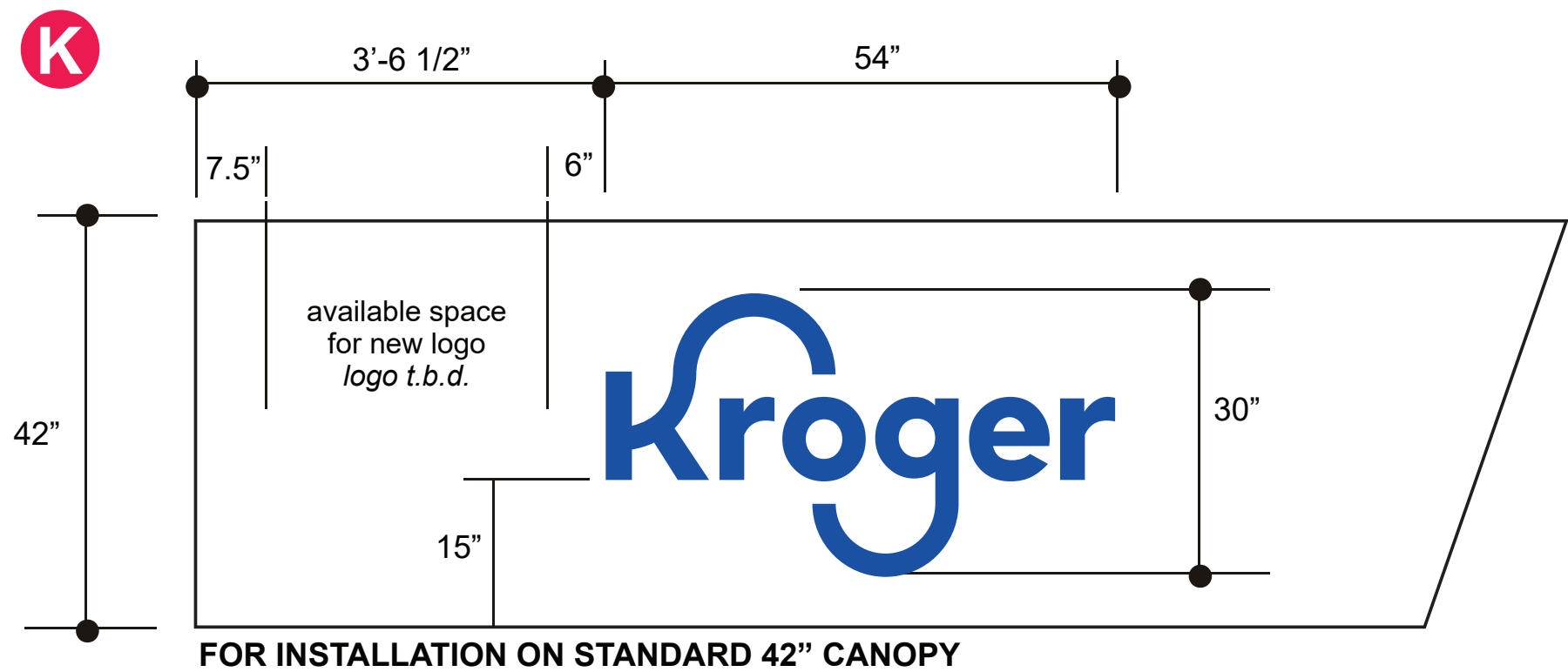
DATE _____ BY _____

Rev. #4

Rev. #5 _____

Rev. #6 _____





****Install instructions per SPG requirement - Kroger specifications require secondary wiring on gas canopies to be contained within conduit as provided by Cummings.**

 3730-8537 KROGER BLUE

11.25 SQ. FT.



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DATE:

DATE

BY

Rev. #1

Rev. #2

Rev. #3

DATE

BY

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Rev. #5

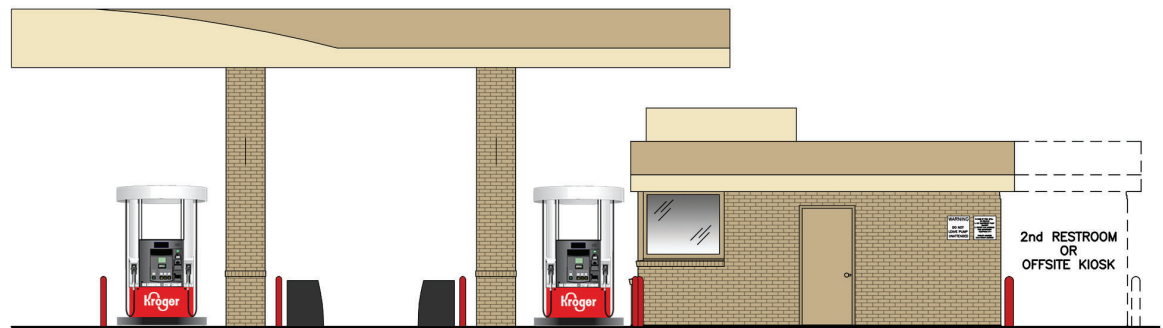
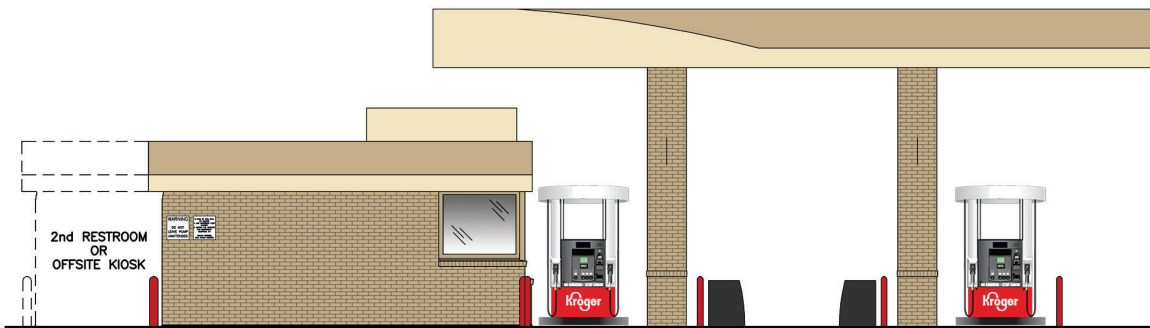
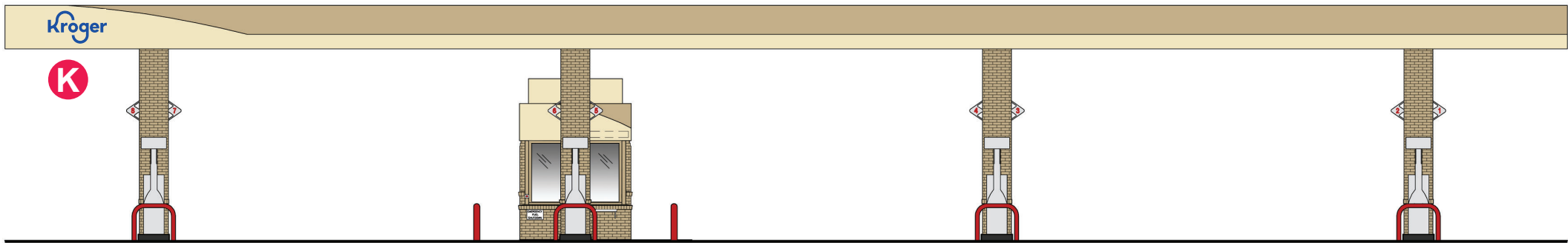
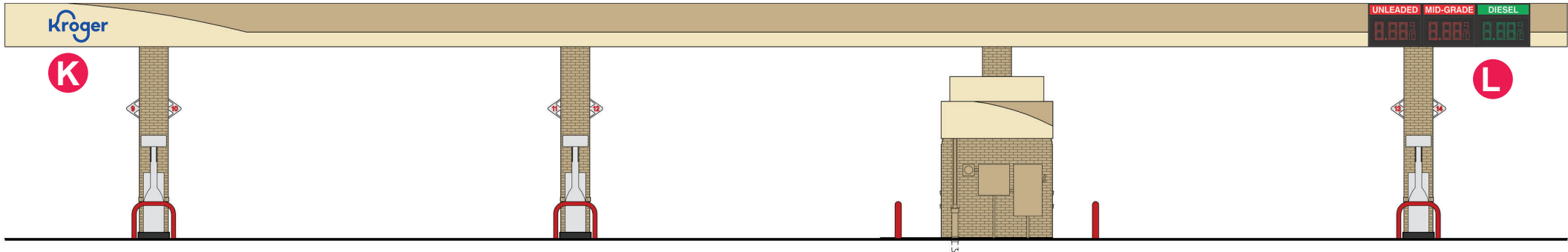
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DRAWING NO:
761479327.00B

DATE: 9-27-2021

S. Hawke



Scale: 3/32"=1'-0" This is a three inch scale to confirm size of document

7 DISPENSERS, 1 & 2 RESTROOM KIOSK
JULY 2018

KROGER #082
11220 REED HARTMAN
BLUE ASH, OH



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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
980002454.01

DATE: 10.22.2022

G. Hawke

18in Triple Product, Single Face

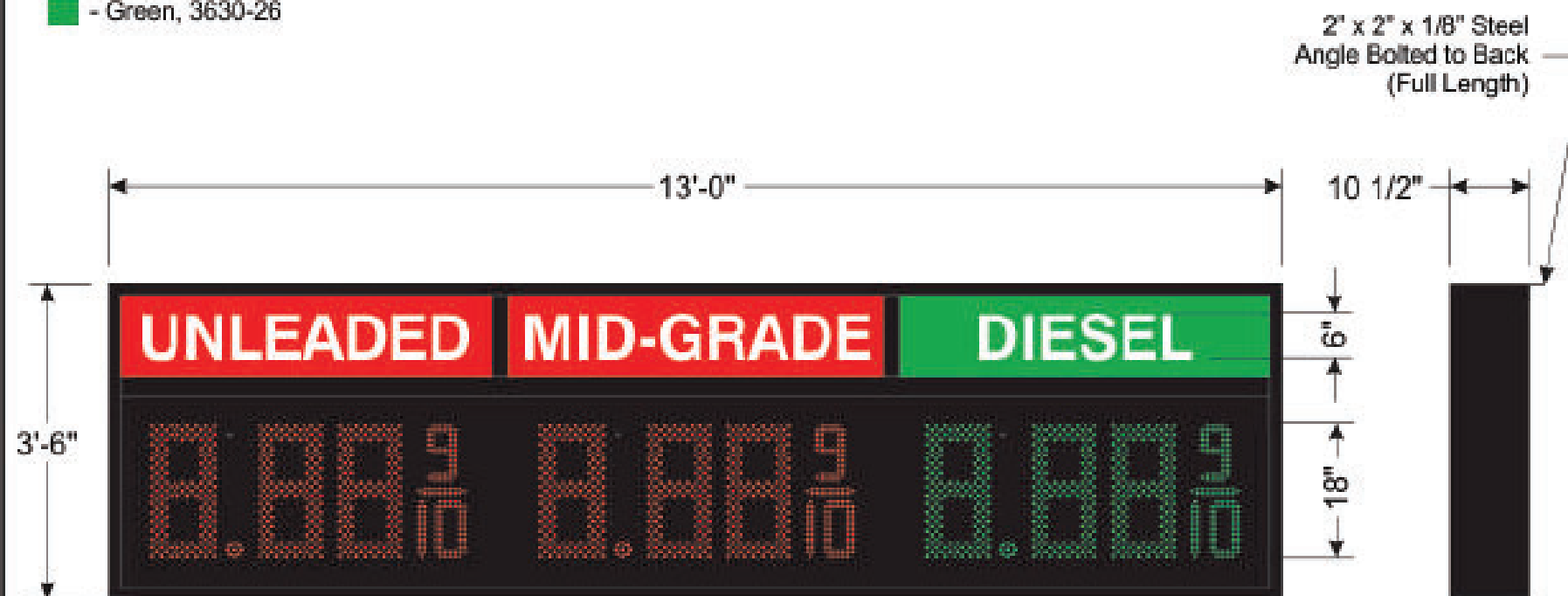
Ariba#: K-0048340

CONSTRUCTION:

- Fabricate a triple product S/F LED price sign; using 18" LED units, (2x) red & (1x) green.
- Illumination: 12VDC LED backlighting.
- Cabinet: .080" aluminum painted black.
- Commodity panels:
 - .177" white acrylic decorated with 3M 3630 scotchcal film 1st surface
 - - Red, 3630-33
 - - Green, 3630-26

ELECTRICAL:

120 VAC, Total circuits 2, 10A recommended
Circuit 1 (LIGHTS) 1A
Circuit 2 (LED price) 2.5A



ELEVATION

SCALE: 1/2" = 1'-0"

*Contact Landmark to discuss your specific needs.

SIGN AREA: 45.5 sqft

LANDMARK

Sign Alliance, Inc.
Working Together For You

Phone: 719.505.5455

Client:

The Kroger Co

Date:

08/17/2014

Drawn by:

MLB

Revisions:

9/7/14; depth was 9"
10/7/14; depth was 12"
1/28/15; updated notes

Drawing Number:

140817.3

Sheet:

1 of 1

Approved:

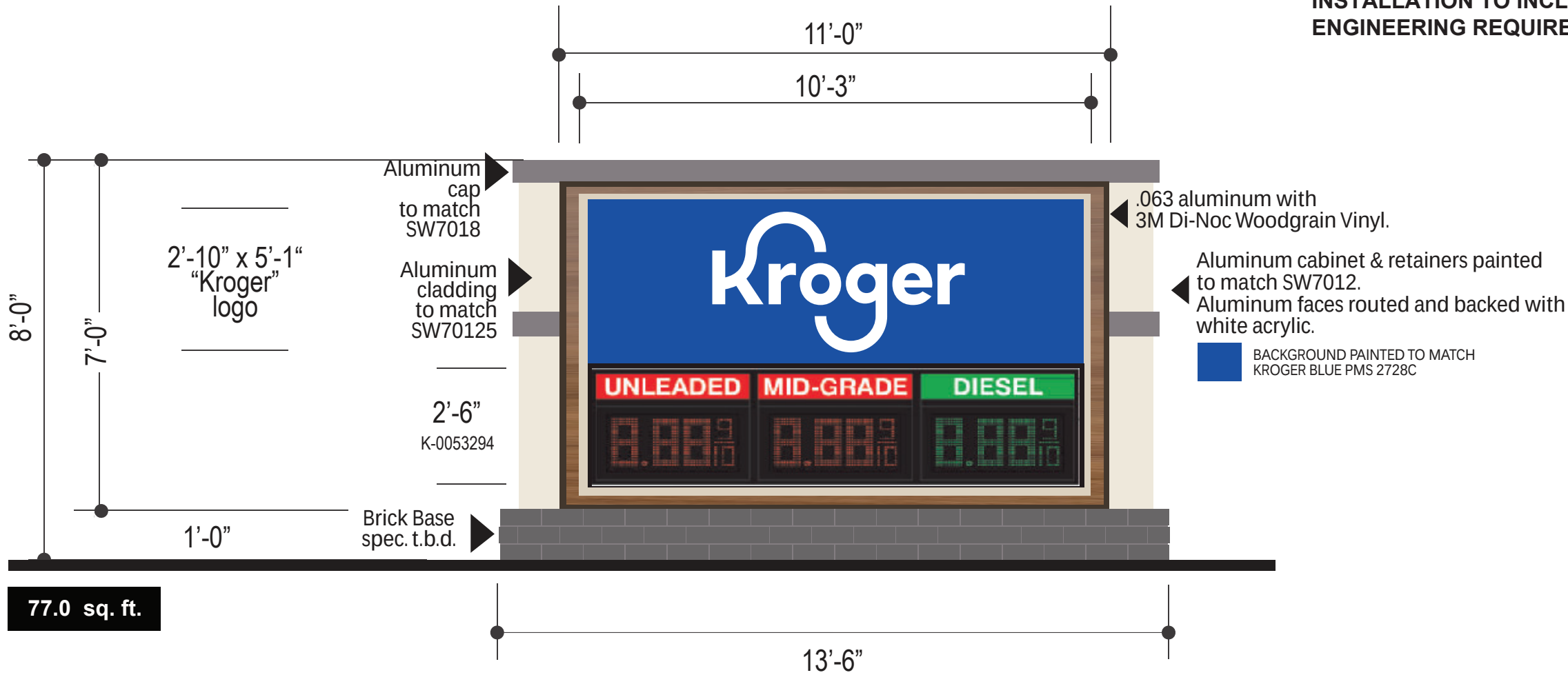
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- 3730-8537 KROGER BLUE
- WHITE
- SW7012
- SW7018
- 3M DI-NOC WOODGRAIN VINYL

INSTALLATION TO INCLUDE FOUNDATION WORK .
ENGINEERING REQUIRED.



SCALE: 3/8" = 1'-0"



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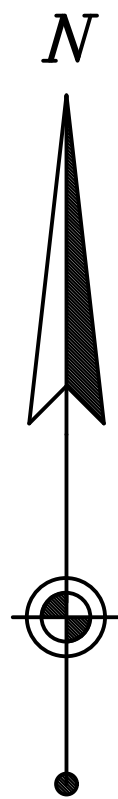
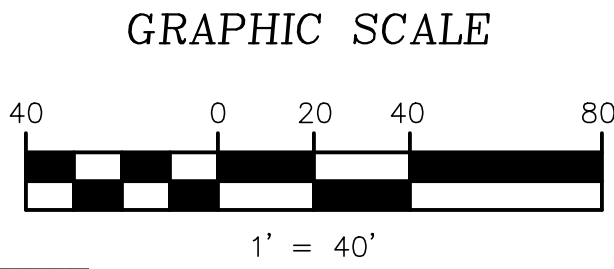
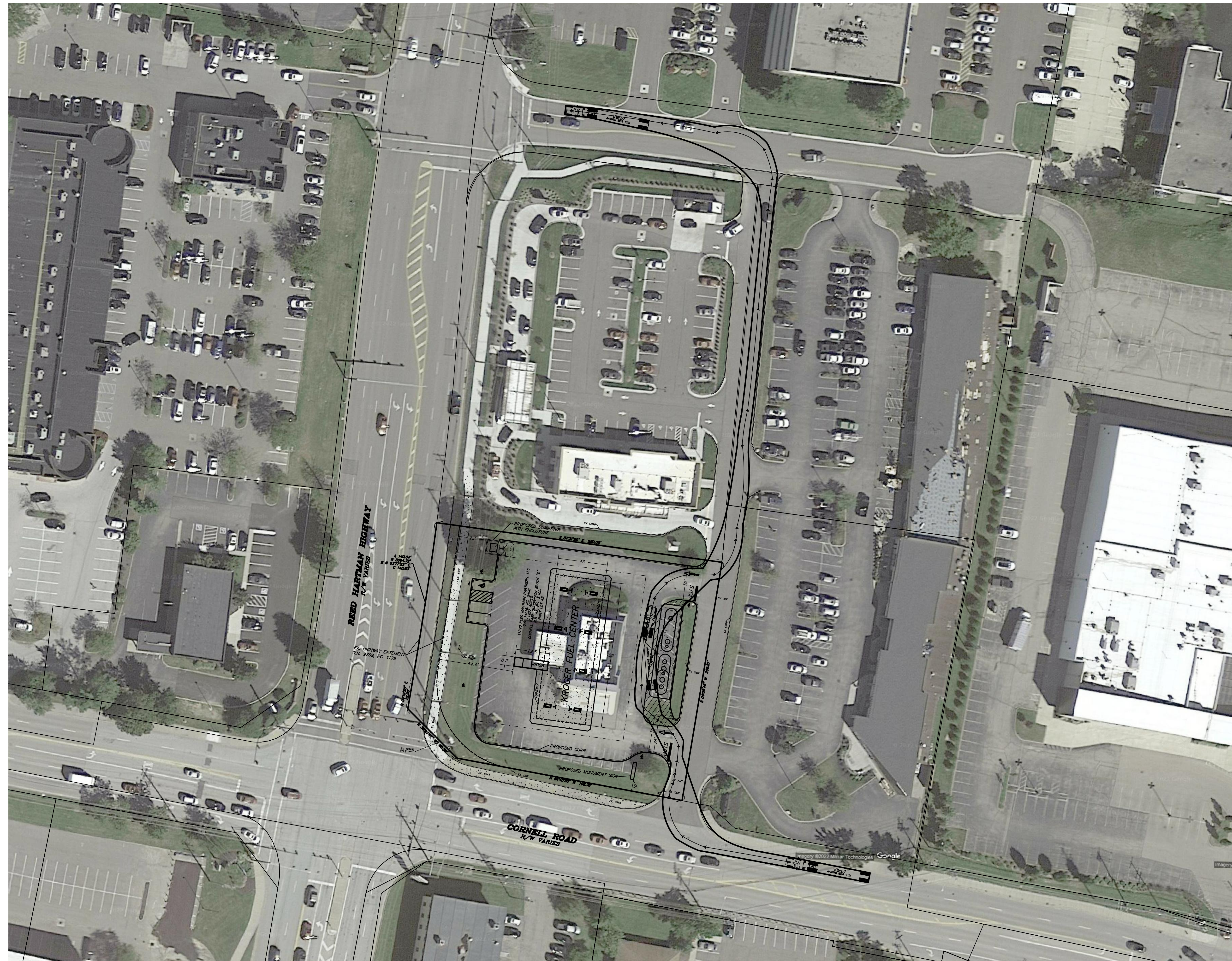
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DATE:

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Rev. #1			Rev. #4		
Rev. #2			Rev. #5		
Rev. #3			Rev. #6		



DRAWING NO:
980002454.01P
DATE: 10-22-2021
S. Hawke



tga
THOMAS
GRAHAM
ASSOCIATES, INC.
• Engineers
• Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date:	DEC. 1, 2022
Scale:	1" = 40'
Job No:	8411
Revisions	
No.	Date

TRUCK TURNING PLAN

SECTION 18, TOWN 4, E. RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO

Drawn By: S. TRENKAMP

Job No: 8411-22

ACAD FILENAME: 8411_CORNELL_RHDWG