

RESOLUTION NO. 2023-01 – AMENDED

APPROVING A CONDITIONAL USE PERMIT FOR A FUEL  
STATION AT 11220 REED HARTMAN HIGHWAY

WHEREAS, Anne McBride of McBride Dale Clarion, on behalf of the Kroger Co., has requested approval of a Conditional Use Permit to develop a fuel station on the site of a former bank in the Blue Ash North Zoning District; and

WHEREAS, the proposed fuel station includes seven fuel pumps for a total of fourteen fuel dispensers, a kiosk, signage, and landscaping; and

WHEREAS, the developer has submitted a project narrative, site plans, and sample elevation drawings of the proposed units, bearing the notation “Resolution No. 2023-01, January 12, 2023”; and

WHEREAS, the Planning Commission of the City of Blue Ash, as reflected in its minutes thereof dated December 1, 2022, has recommended approval of the Conditional Use Permit with the following conditions as amended by Council:

1. The applicant shall install overhead blank out signing which will turn on during peak hours to restrict the eastbound left turn movement from Cornell Road onto Cornell Place and southbound left turn movement from Cornell Place onto Cornell Road.
2. The applicant comply with all local, county, state, and federal stormwater management standards and regulations for a fueling station on a redevelopment lot of greater than one acre.
3. The comments of the City Architect be incorporated into the design.

Be it resolved by the Council of the City of Blue Ash, Ohio,

**SECTION I.**

Applicant is hereby granted approval of a Conditional Use Permit for a fuel station at 11220 Reed Hartman Highway (current Hamilton County Auditor’s Parcel 612-0170-0181-00) as described on a project narrative, site plans, and sample elevation drawings of the station submitted by the applicant and bearing the notation “Resolution No. 2023-01, January 12, 2023”, and subject to and specifically including all conditions, provisions, and restrictions as set forth in the application and as stated above;

**SECTION II.**

It is hereby determined that the proposed Conditional Use Permit amendment will not be detrimental to the public peace, health, safety or general welfare, and that is it in the best interest of the City of Blue Ash, Ohio.

**SECTION III.**

This Resolution shall take effect and be in force from and after the earliest period provided by law.

PASSED this 23<sup>rd</sup> day of March 2023.

---

Marc Sirkin, Mayor

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Jamie K. Eifert, Clerk of Council

APPROVED AS TO FORM:

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Bryan E. Pacheco, Solicitor

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WHEREAS, the developer has submitted a project narrative, site plans, and sample elevation drawings of the proposed units, bearing the notation "Resolution No. 2023-01, January 12, 2023"; and

WHEREAS, the Planning Commission of the City of Blue Ash, as reflected in its minutes thereof dated December 1, 2022, has recommended approval of the Conditional Use Permit with the following conditions:

1. The applicant provide a traffic study determining the impact on left turn movements from eastbound Cornell Road onto the private road and from the private road onto eastbound Cornell Road.
2. The applicant comply with all local, county, state, and federal stormwater management standards and regulations for a fueling station on a redevelopment lot of greater than one acre.
3. The comments of the City Architect be incorporated into the design.

Be it resolved by the Council of the City of Blue Ash, Ohio,

**SECTION I.**

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**SECTION II.**

It is hereby determined that the proposed Conditional Use Permit amendment will not be detrimental to the public peace, health, safety or general welfare, and that is it in the best interest of the City of Blue Ash, Ohio.

**SECTION III.**

This Resolution shall take effect and be in force from and after the earliest period provided by law.

PASSED this 12<sup>th</sup> day of January 2023.

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Marc Sirkin, Mayor

---

Jamie K. Eifert, Clerk of Council

APPROVED AS TO FORM:

---

Bryan E. Pacheco, Solicitor



October 24, 2022

Mr. Paul Kleier  
Planning and Zoning Administrator  
City of Blue Ash  
4343 Cooper Road  
Blue Ash, OH 45242

Via Hand Delivered

RE: Kroger Fuel Center  
11220 Reed Hartman Highway

Dear Paul:

As we have discussed, Kroger has obtained an option to purchase the 1.143 acres of property located at 11220 Reed Hartman Highway. The property, which is the former site of a bank, is zoned "BAN" Blue Ash North District. Kroger would like to redevelop the site as a fuel center, which, pursuant to Section 1135.03, is a Conditional Use in the "BAN" District.

To initiate an application for a Conditional Use, I am enclosing eight copies of the following information:

- 1) Application for Conditional Use;
- 2) Project Description and Justification Statement;
- 3) Site Plan;
- 4) Dimension Plan;
- 5) Grading Plan;
- 6) Utility Plan;
- 7) Landscape Plan;
- 8) Lighting Plan;
- 9) Building Elevations;
- 10) Sign Details;
- 11) Site Photos; and
- 12) Application fee of \$500.00

It is my understanding that this application will be included on the December 1, 2022 meeting of Planning Commission and could be forwarded for consideration by City Council on January 12, 2023. Should you have any questions or need additional information, please call me (513-673-4225) or between October 25 – November 16, please call Jonathan Wocher at (513-561-6232 Ext. #4).

Sincerely,

A handwritten signature in blue ink.

Anne F. McBride, FAICP

AFM/ss

Enclosures

Cc: Kroger

MDC #4782

*Planning • Zoning • Development Services*



PLANNING COMMISSION  
CONDITIONAL USE PERMIT APPLICATION

APPLICANT

Name	Anne F. McBride, FAICP
Company (if applicable)	McBride Dale Clarion
Address (if applicable)	5721 Dragon Way, Suite 300
City, State ZIP	Cincinnati, OH 45227
Phone Numbers	Phone: 513-561-6232 Fax: 513-561-1615
E-mail Address	amcbride@mcbredale.com

PROPERTY OWNER (if different)

Name	11220 Reed Hartman Partners, LLC.
Company (if applicable)	
Address (if applicable)	7770 Cooper Rd, Ste 9
City, State ZIP	Cincinnati, OH 45242
Phone Numbers	(513) 518-7319
E-mail Address	ryan@basiscompanies.com

\*If more than one owner, submit additional sheet containing all pertinent information and signatures.

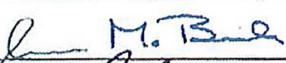
SUBJECT PROPERTY

Address (if applicable)	11220 Reed Hartman Highway, Cincinnati, OH 45241
Tax Parcel Numbers	612-0170-0180-00
Total land area	1.143 Acres
Current zoning district	"BAN" Blue Ash North District

I acknowledge the following: I have read and understand all of the laws and administrative requirements that apply to this application; incomplete or false application information may result in a postponed hearing or the application being tabled or denied; any consultation or advice with City Staff or other City representatives either before or after filing this application shall not compel the Planning Commission in any way relative to action on the application.

SIGNATURE

DATE

Applicant		Anne F. McBride, FAICP	10/18/22
Property Owner		Ryan Lucas, Manager	10/19/22

Submit to the Community Development Office at 4343 Cooper Road, Blue Ash, Ohio 45242

CITY USE ONLY

**Kroger Fuel Center**  
**11220 Reed Hartman Highway**  
**Project Description and Justification**

Kroger has obtained an option to purchase the 1.143 acres located at 11220 Reed Hartman Highway (Auditors Parcel 612-0170-0181-00) which is located at the northeast corner of Reed Hartman Highway and Cornell Road. The property is zoned “BAN” Blue Ash North District and is currently the location of a vacant 2,928 square foot financial institution constructed in 1978. Kroger would like to redevelop the site as a fuel center to complement their Kroger grocery store located at 4100 Hunt Road in Blue Ash. Per Section 1135.03, automotive fueling stations are a Conditional Use within “BAN” District.

The proposed development would utilize existing access points located on the private access drive to the north. A 5,418 square foot canopy (43' x 126') would cover the proposed seven fuel pumps. A kiosk of 238 square feet (29.5' x 8.2') is proposed on the west side of the canopy, 64' 4" from the right-of-way of Reed Hartman Highway. Due to the double frontage of the site, existing utility easements, and proposed fuel tank locations, three parking spaces are provided on the western part of the site for the two Kroger employees that will be on site. The proposed fuel tanks will be located on the eastern portion of the site to allow adequate circulation for the tanker when filling.

Landscaping for the site exceeds that required by Section 1145, with the exception of foundation plantings. Emphasis on additional plant material has been provided at the intersection of Cornell Road and Reed Hartman Highway. Signage for the site will comply with the provisions of Section 1143. An eight foot tall, 77 square foot ground mounted sign is proposed for Cornell Road west of the access point to the site. The sign will be located on a 12" masonry base, ten feet of the right-of-way in a landscape bed. A “Kroger” sign of 11.25 square feet will be located on the west and east elevations of the fuel canopy with a 45.5 square foot fuel price sign on only the west canopy elevation. Lighting for the site will be from four LED lights mounted at 27.5 feet, and canopy lighting. Although site lighting complies with the maximum light level of 10 footcandles, and the minimum light level of 1 footcandle of Section 1135.06 (f) to allow for safe illumination levels under the canopy for fueling, a modification is requested. It is anticipated that the fuel center would operate only between the hours of 6:00 AM to 10:00 PM.

To allow the redevelopment to move forward, modifications to the requirements of the zoning code are requested as follows:

- 1) Kroger is requesting a modification to the requirements of Section 1135.04 (d) (2) which allows new automotive fueling stations to have a maximum of four fueling pumps per station. To be able to adequately serve the volume of Kroger customers that are anticipated to frequent this location, Kroger is proposing seven fueling pumps. The inclusion of the additional fuel pumps will reduce customer wait time and the potential for the stacking of waiting customers.

- 2) Due to the double frontage of this site, the location of existing utility easements on the eastern portion of the site, and the establishment of existing access points, it is not possible to locate the waste enclosure in a side or rear yard, as required by Section 1147.06 (h). The waste enclosure is proposed to be located in the northwest corner of the site, 25 feet from the right-of-way of Reed Hartman Highway. The enclosure will be of brick to match the kiosk and canopy columns. In addition to the streetscape plantings, which consists of two existing mature Maple trees and new Dogwood trees and Dense Yew shrubs, nine Arborvitae will be located on the front/west side of the enclosure, and two Viburnum will be planted on both the north and south sides of the brick enclosure. It should be noted that the proposed waste enclosure location is approximately where the existing chain link with plastic slats waste enclosure is located.
- 3) The proposed brick kiosk is located adjacent to the fuel canopy and within the paved vehicle area. A modification is requested for relief from Section 1145.08 since it is not possible to provide the required foundation plantings (13 spread evergreen shrubs required) adjacent to the kiosk. As mentioned, additional plant material is provided on site in the form of 44 additional shrubs on the Cornell Road and Reed Hartman Highway frontages, as well as 13 shrubs around the waste enclosure.
- 4) To allow for safe light levels during the fueling of vehicles, Kroger is requesting a modification from Section 1135.06 (f) to allow the light levels under the canopy to exceed the permitted 10 footcandles. The maximum light level under the canopy is 37.1 while the maximum on-site footcandles varies from 9.6 to 3.9 footcandles. The increased levels are necessary for customers to safely obtain fuel when it is dark and make accurate transactions at the pump.

Per the provisions of Section 1127.06 (e), we would offer the following:

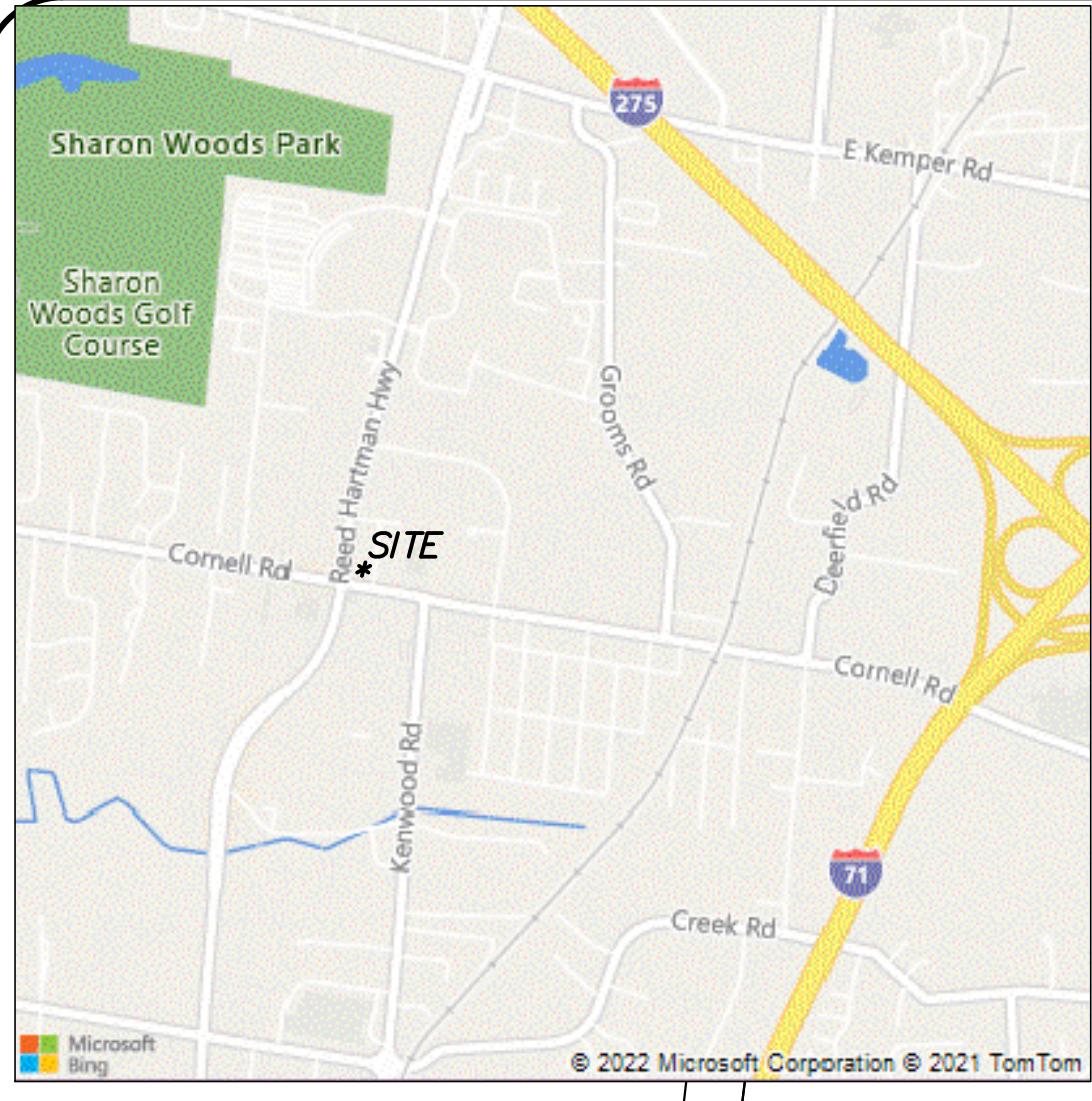
- 1) The proposed fuel center is compatible with the surrounding uses and area in the vicinity of the site. To the north of the site is Chick-fil-A which features a drive thru component. To the west, across the seven lanes of traffic on Reed Hartman Highway, is a Key Bank with drive thru lanes and a multi-tenant strip center with a variety of retail and service uses, including restaurants. The southwest corner of Cornell Road and Reed Hartman Highway is occupied by the three-story “Fountain Pointe” office building. To the south, across Cornell Road, are several office buildings, and further east, a Speedway fuel center. To the east of the site is a strip center with retail and service uses. The proposed fuel center is not anticipated to impact the value of any of these properties.

- 2) The proposed 5,656 square foot canopy and kiosk are complementary to similar adjacent free standing uses such as Chick-fil-A (5,304 square feet) or the Key Bank (3,546 square feet) to the west.
- 3) The proposed fuel center, although under a canopy, is an outdoor activity similar to the adjacent drive thru uses that previously existed on the site and are active on adjacent properties. There will be no special events on site that will impact the area.
- 4) It is not anticipated that given the proposed use, there will be a significant increase in traffic over the prior site's use (Bank) or adjacent uses with drive through traffic. A significant percentage of those utilizing a fuel center are "pass by trips" which are customers already in the area, reducing the volume of traffic generated by the proposed fuel center.
- 5) There are currently seven lanes of traffic on Reed Hartman Highway, and four lanes on Cornell Road. It would appear that given the former and proposed use of the site, and existing roadway configurations, impact to the traffic flow is unlikely. Existing access to the site will be maintained.
- 6) Minimal noise levels are expected with the proposed fuel center since customers pump their own fuel and typically approach the kiosk if there is an issue (i.e.: obtaining a receipt, etc.). There is an intercom system in place for customers with physical conditions that prevent them from filling their own vehicles, or for use in emergency situations.
- 7) Kroger operates 1,585 fuel centers across the country. Based on this experience, they do not expect any demand on public services in excess of those required by adjacent sites with fast food restaurants, banks, offices, or strip centers.
- 8) Kroger believes that the appearance of the neighborhood will not be negatively impacted by the inclusion of the fuel center at this location. Currently the site has only minimal landscaping, and Kroger is proposing to create an extensive streetscape buffer of Maple, Elm, and Dogwood trees supplemented by a variety (Burning Bush, Juniper, Yew, Knockout Roses and Spirea) of shrubs, along with annuals and perennials on both Cornell and Reed Hartman while maintaining the existing three mature Maple trees. The existing waste enclosure, which is very visible on Reed Hartman, is chain link with slats which would be replaced by a brick enclosure surrounded by landscaping. The existing pylon sign will be replaced by a ground mounted sign in a landscape bed.

- 9) The photometric lighting plan submitted indicates that the site will be illuminated by four LED fixtures mounted at 27.5 feet in height. Additionally, light fixtures will be mounted under the fuel canopy to provide a safe level of lighting for customers while fueling. Adjacent properties will not be impacted by lighting given the 0.1 to 0.7 footcandles at the Kroger property lines.
- 10) The proposed landscaping will be a significant upgrade to the site. The existing mature trees at the northwest corner of the site, and just west of the access drive on Cornell, will be maintained. These will be supplemented by a mixture of plant material with six trees and 77 shrubs on Reed Hartman, and five trees and 81 shrubs on Cornell. Additionally, nine Arborvitae and four Viburnum will be added to surround the waste enclosure, and the 48 Liriope that will be added to the landscape bed surrounding the ground mounted sign.
- 11) The existing bank development has approximately 0.74% hard surfaced area (ISR). The proposed Kroger fuel center will have 0.78% hard surfaced area (ISR), with the amount of ISR change being approximately 0.04%.
- 12) The proposed fuel center is a long awaited complement to the Blue Ash Kroger store located on Hunt Road. Given that Kroger is a longstanding member of the Blue Ash community, and operates 85 fuel centers in this division, the proposed fuel center is expected to remain at this location for an extended period of time.
- 13) The proposed fuel center will allow Kroger customers to utilize their accumulated fuel points in Blue Ash on their way to and from work, and other destinations, without having to go to Sharonville or other Kroger locations to redeem them. Given today's fuel prices, that would be a benefit to Blue Ash residents.

# Photos of 11220 Reed Hartman Highway

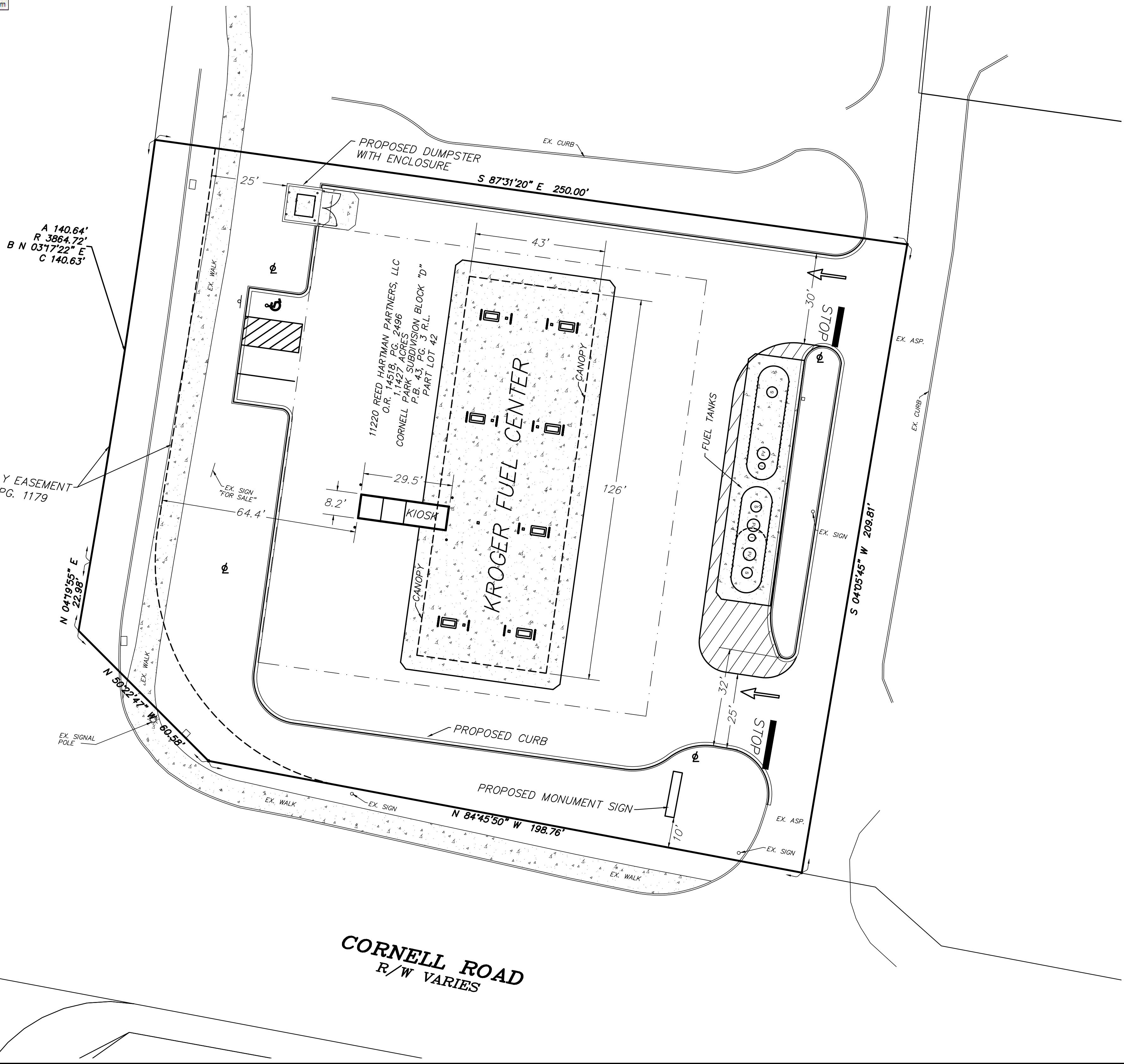




VICINITY MAP  
N.T.S.

### REED HARTMAN HIGHWAY R/W VARIES

EX. HIGHWAY EASEMENT  
O.R. 9769, PG. 1179



### CORNELL ROAD R/W VARIES

N 84° 45' 50" W 198.76'

60.35'

8.2'

25'

29.5'

126'

43'

32'

25'

30'

10'

10 R'

18" MINIMUM

6"

4"

2"

1"

1/4" R

10 R

ASPHALT PAVING

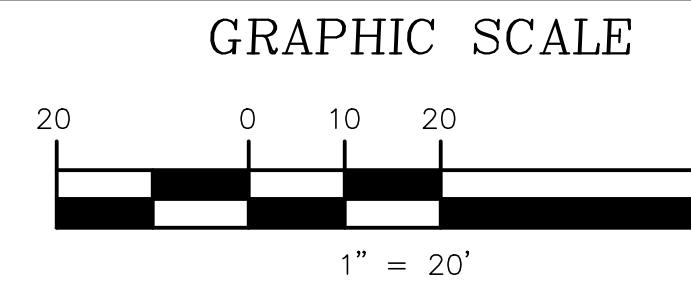
### CONCRETE CURB AND GUTTER DETAIL

NOT TO SCALE

#### NOTES:

1. SLOPE ON GUTTER SHOULD BE MINIMUM OF 1% SLOPE SHALL PROMOTE DRAINAGE TOWARD THE DRAINAGE STRUCTURE. DO NOT SLOP AWAY FROM CURB AS REQUIRED. (REVERSE SLOPE WHEN APPLICABLE.)
2. EXPANSION JOINT: PLACE AT ENDS OF ALL RADII 5/8" ON EACH SIDE OF DRAINAGE STRUCTURES, AND AT 90° MAXIMUM INTERVALS IN STRAIGHT SPANS. EXPANSION JOINTS ARE TO BE 18" LONG SMOOTH STEEL DOWEL BARS WITH 1" DIA. GREASE CAP THROUGH EXPANSION JOINTS (USE THICK BITUMINOUS FILLER MATERIAL).
3. CONSTRUCTION JOINT: PROVIDE 2" DEEP X 1/8" WIDE CONTRACTION JOINT AT 15'-0" INTERVALS.
4. PROVIDED (2) #6 X 2'-6" LONG TIE BARS TO CONNECT EXISTING AND NEW CURB AND GUTTER.
5. REMOVE FORMS AS EARLY AS POSSIBLE. BRUSH TOP AND FACE OF CURBS TO REMOVE ALL IMPERFECTIONS. TYPICAL OF ALL FORM WORK.
6. ALL RADII SHALL BE TRUE ARCS.
7. MEDIUM TO LIGHT BROOM FINISH ON ALL EXTERIOR CONCRETE.

CSD-1



N

### LEGEND

R/W	INDICATES RIGHT OF WAY
Hatched	INDICATES CONCRETE PAVEMENT
Horizontal lines	INDICATES PAVEMENT STRIPING
Circle with dot	INDICATES PROPOSED LIGHT POLE

INDICATES PROPOSED CURB AND GUTTER  
(SEE CSD-1 ON THIS SHEET FOR DETAILS)

PROPOSED SITE IMPROVEMENTS

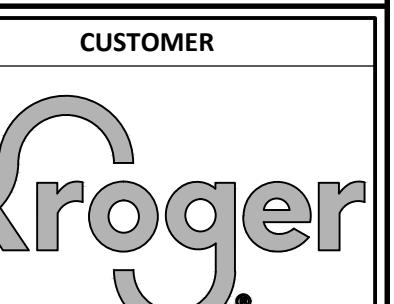
- 1 DISPENSER CANOPY, COLUMNS, AND FOOTINGS.
- 2 TRANSACTION KIOSK.
- 3 U-SHAPED BOLLARD AT CANOPY COLUMNS.
- 4 KIOSK BOLLARD.
- 5 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
- 6 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
- 7 TANK VENT RISER.
- 8 TANK OVERFLOW ALARM.
- 9 3'0" X 5'0" DISPENSER ISLAND.
- 10 AUTOMOBILE MULTI-PRODUCT DISPENSER WITH CARD READER.
- 11 CONCRETE DISPENSER MAT.
- 12 CONCRETE TANK MAT.
- 13A HEAVY DUTY BITUMINOUS PAVEMENT.
- 13B LIGHT DUTY BITUMINOUS PAVEMENT.
- 14 CONCRETE CURB AND GUTTER.
- 15 4" PAINTED PARKING STRIPE, COLOR WHITE.
- 16 BARRIER-FREE PARKING SPACE AND INTERNATIONAL PARKING SPACE SYMBOL, COLOR BLUE, SEE DETAIL 5/C5.00.
- 17 BARRIER-FREE ACCESSIBLE PARKING SIGN, SEE DETAIL 5/C5.00.
- 18 MONUMENT SIGN, SIGNS UNDER SEPARATE PERMIT.
- 19 PAINTED STOP BAR.
- 20 AIR TOWER.
- 21 WASTE RECEPTACLE / WINDSHIELD SERVICE CENTER.
- 22 TRASH ENCLOSURE AND CONCRETE PAD.

REVISIONS

NO.	DATE	DESCRIPTION
0	10.22.2022	SITE PLAN REVIEW

CONSULTANT

SEAL



PROJECT DESCRIPTION

**KROGER 082**  
**RETAIL FUEL CENTER**

PROJECT LOCATION

**11220 REED HARTMAN HWY.**  
**CINCINNATI, OH 45241**

(HAMILTON COUNTY)

SHEET TITLE

**DIMENSION CONTROL  
SITE PLAN**

SHEET MANAGEMENT

PROJECT NO.: 082  
DATE:  
CAD FILE: C1.20  
PROJECT MANAGER: T. KRATZ

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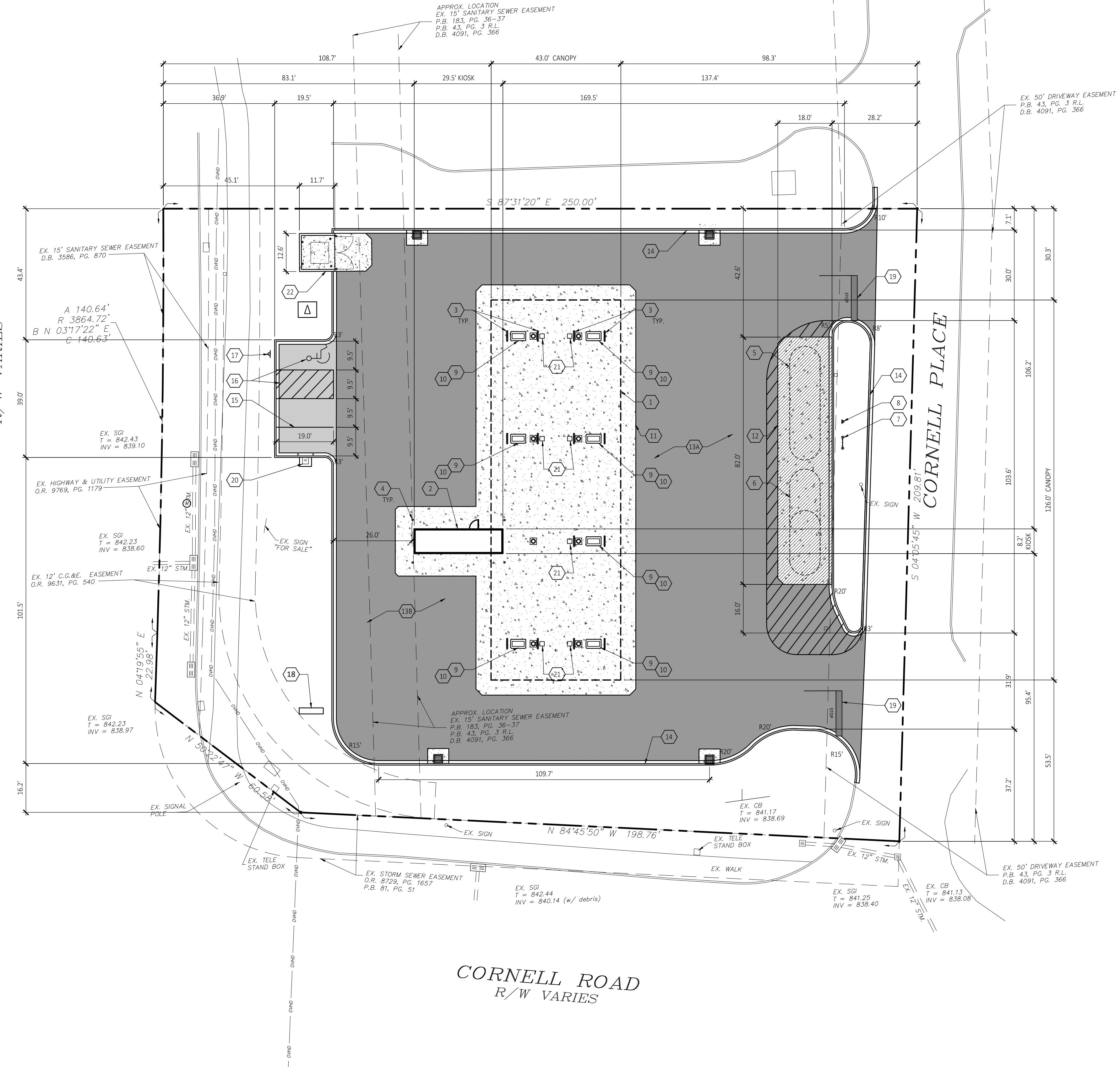
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SHEET NUMBER

**C1.20**

**REED HARTMAN HIGHWAY**  
**R/W VARIES**

**CORNELL ROAD**  
**R/W VARIES**

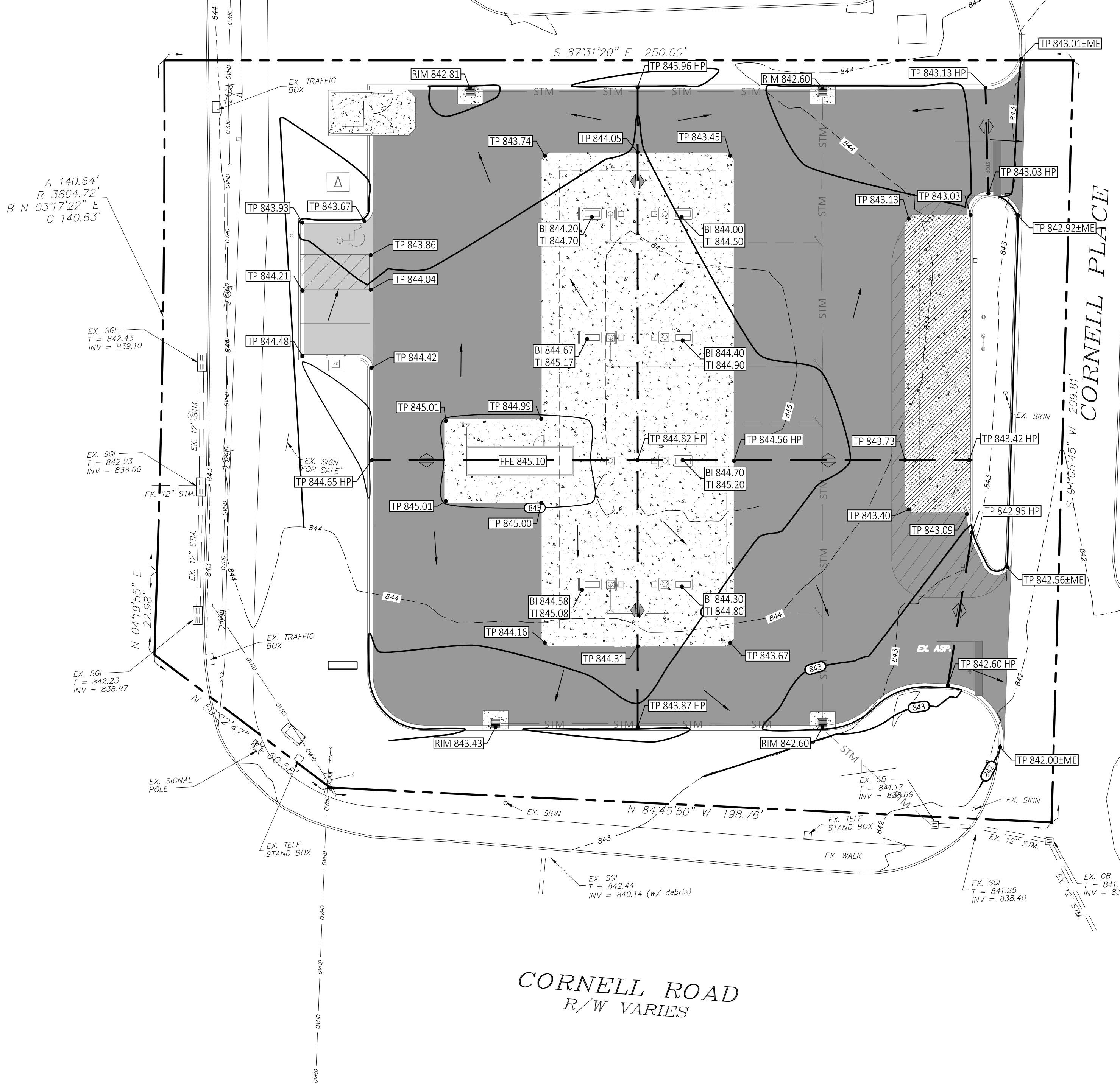


**DIMENSION CONTROL SITE PLAN**

SCALE: 1" = 20'-0"

0 20' 40'

REED HARTMAN HIGHWAY  
R/W VARIES



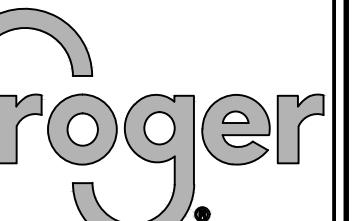
FUEL GRADING DESIGN STANDARDS:

CONSULTANT

[Redacted]

SEAL

CUSTOMER



PROJECT DESCRIPTION

KROGER 082  
RETAIL FUEL CENTER

PROJECT LOCATION

11220 REED HARTMAN HWY.  
CINCINNATI, OH 45241  
(HAMILTON COUNTY)

SHEET TITLE

GRADING PLAN

SHEET MANAGEMENT

PROJECT NO.: 082  
DATE:  
CAD FILE: C1.30  
PROJECT MANAGER: T. KRATZ  
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SHEET NUMBER

C1.30

UTILITY PLAN KEYNOTES:

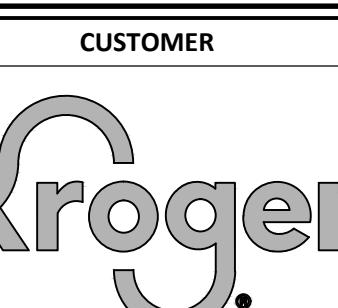
1. PROVIDE AND INSTALL ONE (1) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO AIR COMPRESSOR FOR 120V POWER.
2. PROVIDE AND INSTALL 1.5" TYPE 'K' COPPER WATER SERVICE LINE (MIN. DEPTH 5.0'); PROVIDE MINIMUM 18" CLEARANCE AT ALL UTILITY CROSSINGS. MAKE CONNECTION AT EXISTING WATER MAIN AND INSTALL CURB STOP BOX PER REQUIRED STANDARDS.
3. PROVIDE AND INSTALL 6" PVC SDR-35 SANITARY SEWER SERVICE WITH CLEANOUTS LOCATED 5.0' OUTSIDE OF FOUNDATION AND AT EVEN HORIZONTAL AND VERTICAL MAKE WYE CONNECTION TO EXISTING SANITARY SEWER PER REQUIRED STANDARDS.
4. PROVIDE AND INSTALL TWO (2) 3/4" SCHEDULE 40 PVC CONDUIT FROM FUEL CENTER KIOSK TO TANK VENT.
5. PROVIDE AND INSTALL TWO (2) 3/4" SCHEDULE 40 PVC CONDUITS (WITH TWO (2) PULL STRINGS EACH) FROM THE FUEL CENTER KIOSK TO EACH SITE ID SIGN WHERE FUEL PRICING WILL BE INCORPORATED.
6. UTILITY COMPANY TO PROVIDE TRANSFORMER PAD TEMPLATE TO CONTRACTOR FOR CONDUIT STUB-UP LOCATIONS. GENERAL CONTRACTOR TO PROVIDE AND INSTALL PRE-CAST TRANSFORMER PAD.
7. PROVIDE AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL STRINGS FROM SERVICE POLE TO TRANSFORMER PAD BY CONTRACTOR. UTILITY COMPANY TO PROVIDE AND FULL WIRE FROM SERVICE POLE TO TRANSFORMER AND MAKE FINAL.
8. PROVIDE AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS (WITH TWO (2) PULL STRINGS EACH) FOR ELECTRIC SUPPLY FROM THE TRANSFORMER TO THE FUEL CENTER KIOSK. FIELD VERIFY AND COORDINATE EXACT CONDUIT ROUTING WITH KROGER CONSTRUCTION REPRESENTATIVE.
9. PROVIDE AND INSTALL TWO(2) 2" SCHEDULE 40 PVC CONDUITS (WITH TWO(2) PULL STRINGS EACH) FOR COMMUNICATION LINES. UTILITY COMPANY TO PROVIDE AND FULL WIRE FROM SERVICE POLE TO KIOSK.

REVISIONS

NO.	DATE	DESCRIPTION
0	10.22.2022	SITE PLAN REVIEW

CONSULTANT

SEAL



PROJECT DESCRIPTION

**KROGER 082**  
**RETAIL FUEL CENTER**

PROJECT LOCATION

**11220 REED HARTMAN HWY.**  
**CINCINNATI, OH 45241**

(HAMONTON COUNTY)

SHEET TITLE

**UTILITY PLAN**

SHEET MANAGEMENT

PROJECT NO.: 082

DATE:

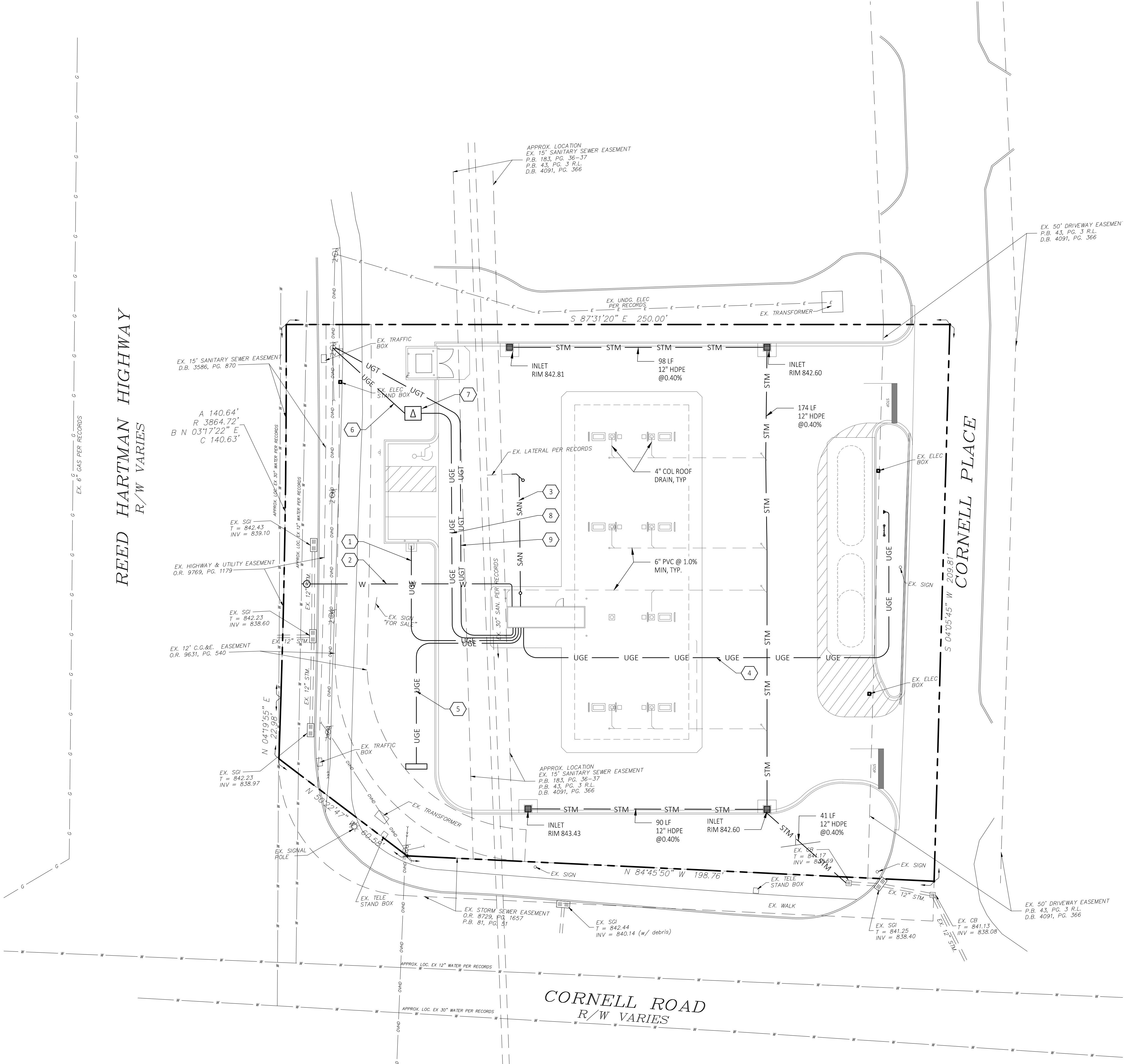
CAD FILE: C1.40

PROJECT MANAGER: T. KRATZ

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SHEET NUMBER

**C1.40**



PROPOSED:

STORM SEWER  
ROOF DRAIN  
SANITARY SEWER  
WATER MAIN/SERVICE  
GAS MAIN/SERVICE  
ELECTRIC SERVICE  
TELEPHONE SERVICE  
OVERHEAD UTILITIES

PROPOSED UTILITIES BY OTHERS

STORM MANHOLE  
CATCH BASIN  
YARD BASIN  
FLARED END SECTION  
SANITARY MANHOLE  
SANITARY CLEANOUT

TRANSFORMER

LIGHT POLE  
WATER VALVE  
FIRE HYDRANT  
FUEL VENT

AIR TOWER

CO

EXISTING:

GVBX  
D.C.  
I.PIN  
EX TELE POLE  
EX LIGHT POLE  
TELE CABLE AND ELEC POLE  
INDICATES EX TELE AND ELECTRIC POLE

INDICATES EX GUY WIRE  
INDICATES EX GUTTER INLET  
INDICATES EX INLET (2x2')

F.HYD  
WVBX  
MMBX  
FDC  
PIV  
OVHD

INDICATES EX FIRE HYDRANT  
INDICATES EX WATER VALVE BOX  
INDICATES EX WATER METER BOX  
INDICATES EX FIRE DEPARTMENT CONNECTION  
INDICATES EX POST INDICATOR VALVE  
INDICATES EX OVERHEAD WIRE

INDICATES GUARD RAIL  
INDICATES RIGHT OF WAY  
INDICATES EX CATCH BASIN  
INDICATES EX MANHOLE  
INDICATES EX STORM SEWER

LEGEND

0 20' 40'



DATE: OCTOBER 21, 2022  
DECEMBER 31, 2022

**Jacobs**

2 CROWNE POINT COURT  
CINCINNATI, OHIO 45241  
FAX 513-595-7935  
WWW.JACOBS.COM

### PLANT SCHEDULE

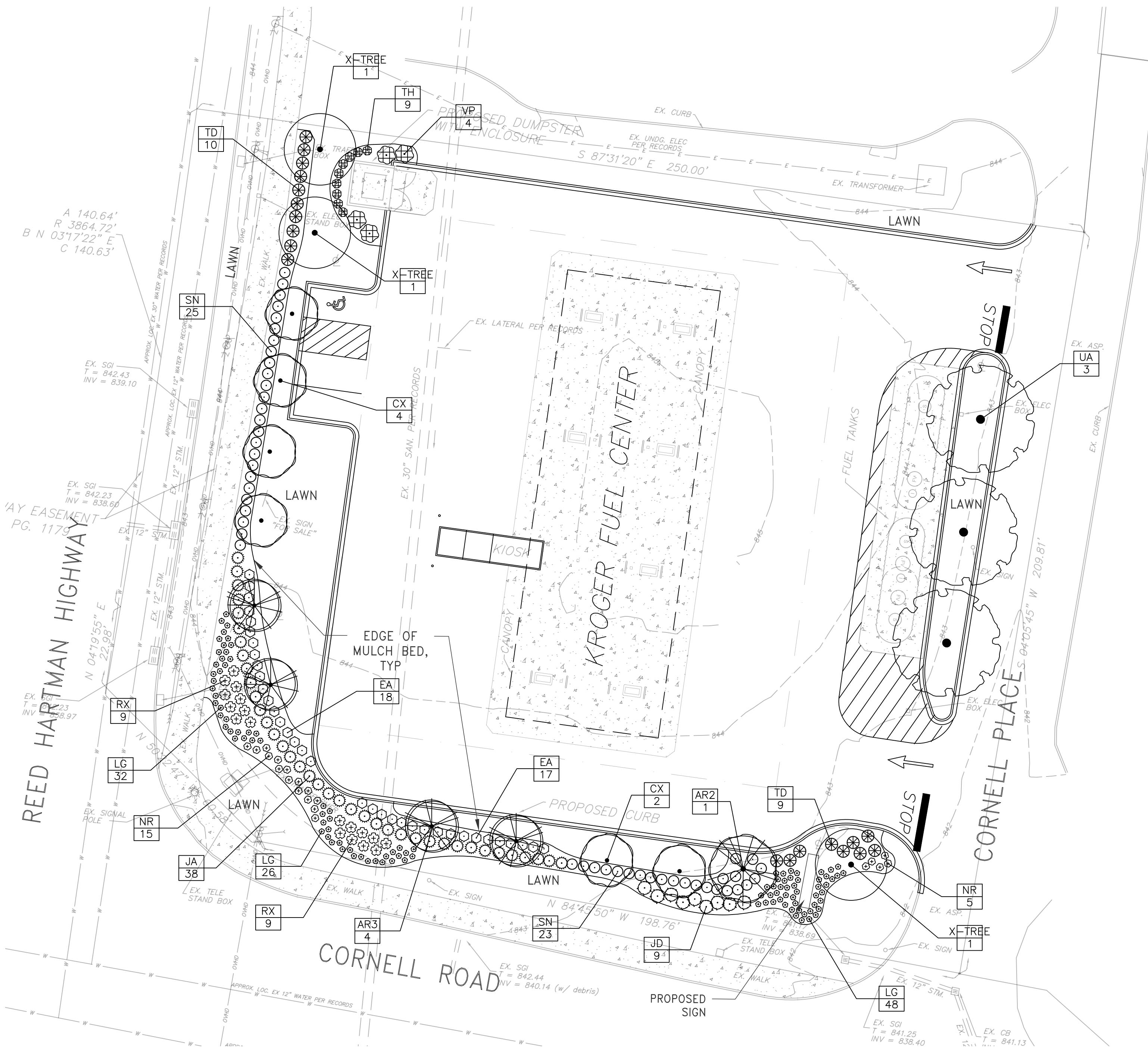
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
AR3	4	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5' Cal.	B&B	35'-40'	10'-12'		Red-Orange	
AR2	1	Acer rubrum 'Karpick'	Karpick Red Maple	2.5' Cal.	B&B	30'-40'	15'-20'		Red	
CX	6	Cornus x rugosa 'Stellar Pink'	Pink Flowering Stellar Dogwood	2.5' Cal.	B&B	20'-25'	15'-20'	April-May / Pink	Red	
X-TREE	3	Existing Maple	Acer sp	6' to 12' cal						
UA	3	Ulmus americana 'Princeton'	American Elm	2.5' Cal.	B&B	50'-60'	30'-40'		Yellow	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
EA	35	Euonymus alatus 'Odom' TM	Little Moses Dwarf Burning Bush	5 gal.	Pot	2'-3'	2'-3'		Red	Min 24" height installed
JD	9	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	3 gal.	Pot	12'-18"	5'		Evergreen	Golden-yellow tips
JA	38	Juniperus x pfitzeriana 'Aurea Improved'	Gold Coast Juniper	5 gal.	Pot	3'	3'-4'		Evergreen	Min 24" ht installed
RX	18	Rosa x 'Flower Carpet Pink'	Carpet Pink Knockout Rose	3 gal.	Pot	2'	3'	May-Oct / Pink		
SN	48	Spiraea japonica 'SMNSJMFR'	Double Play® Red Spirea	5 gal.	Pot	3'	3'	April-June / Red	Golden	Min 24" ht installed
TD	19	Taxus x media 'Densiformis'	Dense Yew	5 gal.	Pot	3'-4"	4'-6"		Evergreen	Install at 18" ht min.
TH	9	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	5' Ht.	Pot	5'-7"	2'-3"		Evergreen	
VP	4	Viburnum plicatum tomentosum 'Popcorn'	Popcorn Viburnum	5 gal.	Pot	6'-8"	6'-8"	May / White	Red Purple	Semi-evergreen

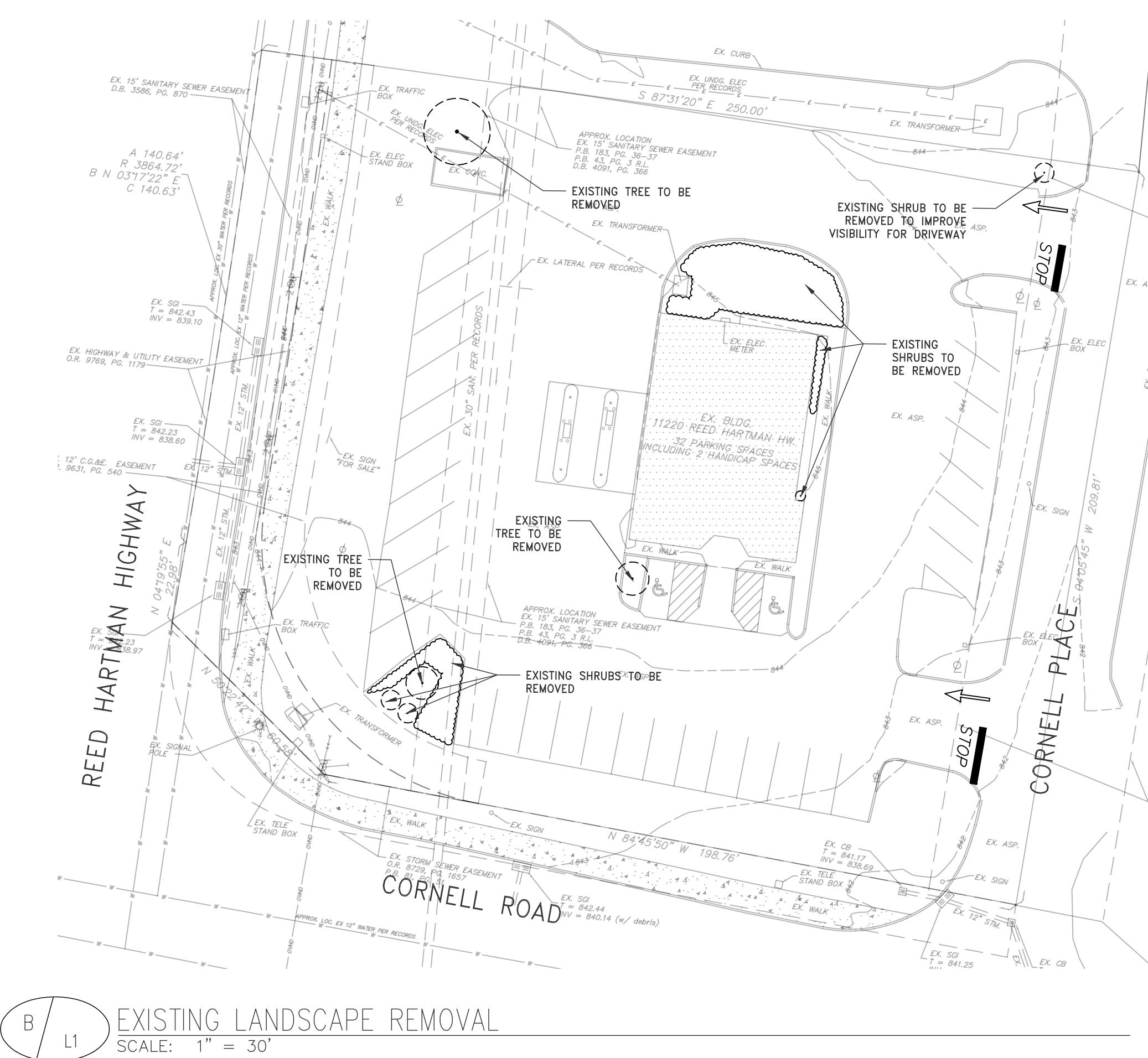
  

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR	REMARKS
LG	106	Liriope muscari 'Gold Band'	Gold Band Lirylurf	1 gal.	Pot	12"-18"	12"-15"	June-Sept / Blue		
NR	20	Nepeta racemosa 'Walker's Low'	Catmint	1 gal.	Pot	2'	2'-3"	April-Sept / Lavendar Blue		



A / L1 LANDSCAPE PLAN  
SCALE: 1" = 20'

GRAPHIC SCALE  
20 0 10 20 40  
1' = 20'



B / L1 EXISTING LANDSCAPE REMOVAL  
SCALE: 1" = 30'

### LANDSCAPE NOTES:

- ALL AREAS IDENTIFIED AS LAWN SHALL BE SEEDED. FULLY DISTURBED AREAS SHALL BE SEADED PER THE SPECIFICATIONS. EXISTING LAWN AREAS THAT ARE DISTURBED SHALL BE RESTORED WITH FINE GRADING AS NEEDED AND OVERSEEDING.
- ALL LANDSCAPE AREA, THAT WERE PREVIOUSLY PAVEMENT AREAS, SHALL BE EXCAVATED AND PROPERLY BACKFILLED PER THE SPECIFICATIONS.
- IRRIGATION (AUTOMATIC SYSTEM) IS NOT BEING INSTALLED FOR THIS DEVELOPMENT.

### KROGER FUEL CENTER LANDSCAPE PLAN

11220 REED HARTMAN HIGHWAY  
CITY OF BLUE ASH  
HAMONTON COUNTY, OHIO

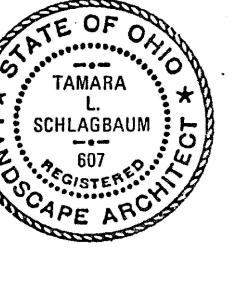
KROGER STORE #

Drawn By:

T. SCHLAG

Sheet

L1



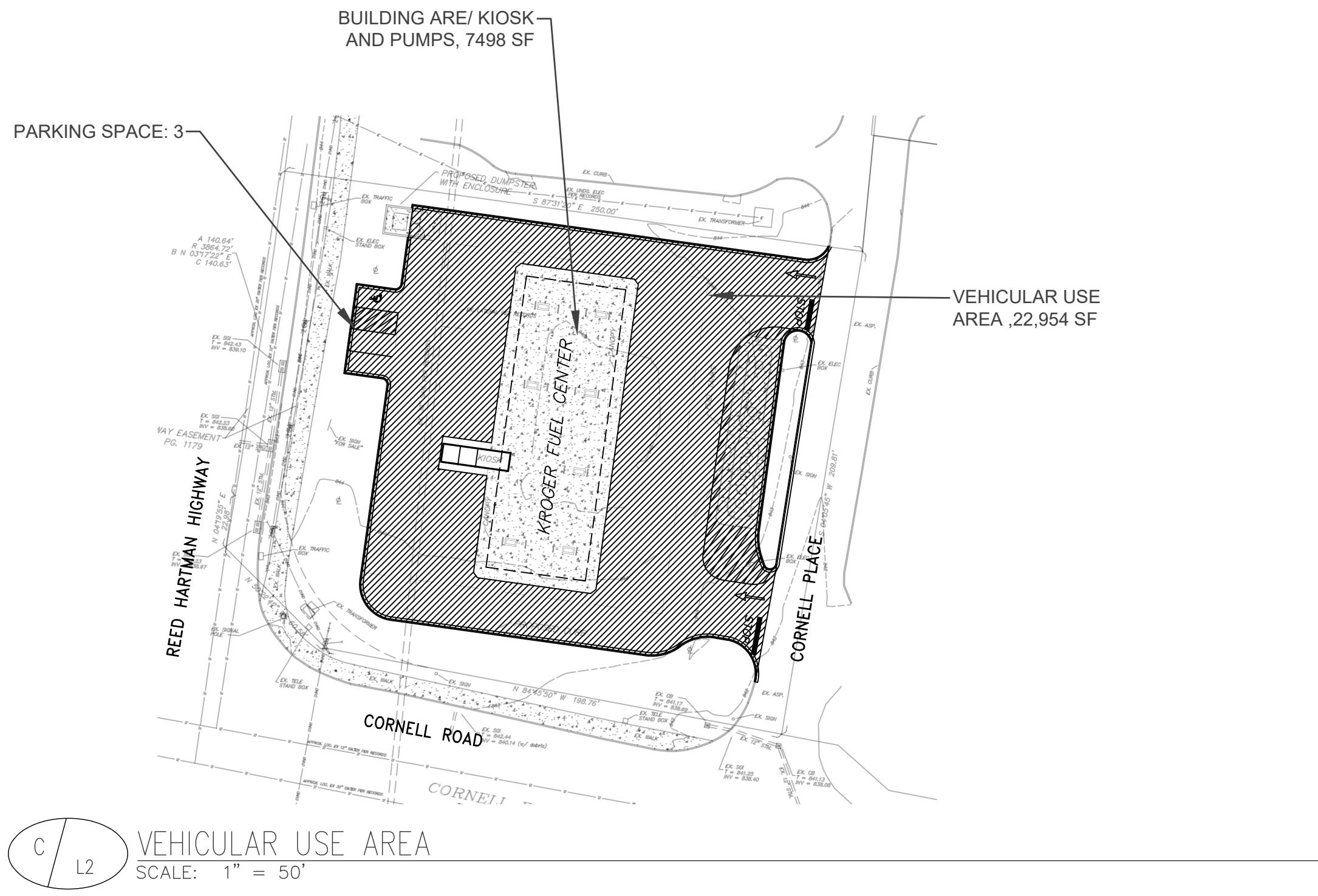
**Jacobs**

2 CROWNE POINT COURT  
CINCINNATI, OHIO 45241  
FAX 513-595-7939  
WWW.JACOBS.COM

DATE: OCTOBER 21, 2022  
DECEMBER 31, 2022

Date: OCTOBER 21, 2022  
Scale: AS SHOWN  
Job No: F7X99000-WBS 13  
Revisions  
No. Date

11220 REED HARTMAN HIGHWAY  
CITY OF BLUE ASH  
HAMONT COUNTY, OHIO



#### BUFFERYARD LANDSCAPE (Section 1145.07)

West Property Line [Reed Hartman Highway-Public Right-of-Way] 200 feet

Plant Material	Required	Provided	Comment
Width	20'	Varies 17.5' to 40"	Width measured from Highway Easement
Tree	8	8	Group B Trees and columnar trees due to overhead powerlines
-1 tree (A) per 20-30' frontage Or -1 tree (B) per 15-25' frontage	(2 existing and 6 proposed)		
Shrub	67	90	
-1 shrub every 3'			

South Property Line [Cornell Road-Public Right-of-Way] 180 feet

Plant Material	Required	Provided	Comment
Width	20'	Varies 13.4' to 35.6'	
Tree	6	6	
-1 tree (A) per 20-30' frontage Or -1 tree (B) per 15-25' frontage	(1 existing and 5 proposed)		
Shrub	60	81	
-1 shrub every 3'			

#### FOUNDATION (Section 1145.08)

Kiosk Building: 8.2' x 29.5'

Plant Material	Required	Provided	Comment
Plantings along foundation	Front and side exterior walls	None	Landscape areas are not defined around the building because of the vehicular circulation required for a fuel station
Shrub	14 (67.2 lf)	None	

#### PARKING AND VEHICLE USE AREA LANDSCAPE (Section 1145.09)

Parking Spaces: 3 Spaces

Plant Material	Required	Provided	Comment
Tree	None	None	Not Required for lots under 15 spaces
-1 tree per 10 parking spaces			
Shrub	None	None	Not Required for lots under 15 spaces
-6 shrubs per 10 parking spaces			

#### SIGN (Section 1143.06)

Ground Mounted

Plant Material	Required	Provided	Comment
Area	Min 3' beyond sign base	Min 3' beyond sign base	
Plantings	Effectively landscaped	Effectively landscaped	

A L2 LANDSCAPE REQUIREMENT SUMMARY  
SCALE: NO SCALE

B L2 PLANTING DETAILS  
SCALE: NO SCALE

NOTES:  
MULCH BEDS AROUND EXISTING TREES SHALL BE 4' MINIMUM FROM ROOT FLARE

SHREDDED HARDWOOD MULCH, 3' DEPTH, FINISHED GRADE OF LANDSCAPE/MULCH BEDS AND SAUCERS

6' DEEP AND 8' WIDE V CUT ALONG EDGE OF LANDSCAPE/MULCH BEDS AND SAUCERS ADJACENT TO LAWN AREA

LAWN

MULCH BED EDGE DETAIL

GENERAL NOTES  
LAYOUT PLANTS IN PREPARED BEDS AS SHOWN.  
SPACING AS SPECIFIED PER SCHEDULE; STAGGERED ROWS.

PLAN VIEW

LAYOUT PLANTS IN PREPARED BEDS AS SHOWN ON PLANS SPACING AS SPECIFIED, PER SCHEDULE, STAGGERED ROWS

SHREDDED HARDWOOD MULCH, 3' DEPTH

PLANTING MIX AS SPECIFIED FINISH GRADE

VARYES 6"-12" SAUCER

SHRUB BALL SHALL BEAR SOME RELATIONSHIP TO FINISH GRADE AS IT DID TO PREVIOUS GRADE IN NURSERY.

SHREDDED HARDWOOD MULCH, 3' DEPTH

CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

FINISHED GRADE

6"-12" WIDE BY 3" HIGH SAUCER/BERM USING EXISTING TOPSOIL.

PREPARED PLANTING MIXTURE

SUBSOIL: SET SHRUB BALL ON LIGHTLY COMPACTED PLANTING MIX

SHRUB PLANTING DETAIL

NOTES:

1. TREE SHALL BE PLUMB AND STRAIGHT; TREES 8' AND TALLER SHALL BE STAKED AS SHOWN.

2. PLANTING PIT: SLOPE SIDES SLIGHTLY, AND SCARIFY TO PROVIDE EASIER ROOT PENETRATION. PITS SHALL HAVE POSITIVE DRAINAGE. PITS WHEN FULLY FLOODED SHALL DRAIN WITHIN 2 HOURS OF FILLING. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTING PITS HAVE POSITIVE DRAINAGE.

3. REMOVE ANY SHOOTS UP TO 6" ABOVE SOIL.

4. REMOVE EXISTING NURSERY STAKES BEFORE PLANTING.

5. DO NOT PRUNE, EXCEPT TO REMOVE BROKEN OR CROSSING BRANCHES

6. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL

RUBBER TREE TIES: 2 PER STAKE. WRAP NO WIRE AROUND TRUNK OR LIMB. LOCATE TREE TIES NO HIGHER THAN NECESSARY TO KEEP TREE UPRIGHT DURING WINDY CONDITIONS. REMOVE STAKES AND TIES WHEN TREES ARE ABLE TO WITHSTAND WINDY CONDITIONS. ALL TREE STAKES WITH WATER HOSE TO BE UNIFORM IN COLOR.

1-1/2" X .34" X 8" PRESSURE TREATED PINE STAKES, 2 PER TREE. STAKES TO BE SAME HEIGHT, DRIVEN VERTICALLY. STAKES TO BE OUTSIDE OF ROOTBALL.

6"-12" WIDE BY 3" HIGH SAUCER/BERM USING EXISTING TOPSOIL.

LINE INDICATES 1" ABOVE THE FINISH GRADE OF THE SOIL. SLOPE FINISH GRADE AWAY FROM CROWN.

3" DEPTH SHREDDED HARDWOOD MULCH AS INDICATED. PULL MULCH AWAY FROM BASE OF TRUNK A MINIMUM OF 3".

PREPARED BACKFILL PLANTING MIX: REFER TO SPECIFICATIONS. SUPPLY PLANTING MIX TO DEPTH OF BOTTOM OF TREE. ADD PLANTING MIX TO 1/2 DEPTH, SOAK WITH WATER, THEN ADD REMAINING PLANTING MIX AND SOAK.

CUT ROPE SURROUNDING BOTTOM OF TREE TRUNK AFTER BACKFILLING BUT BEFORE MULCHING. REMOVE BURLAP, TYING MATERIALS, WIRE CAGES FROM TOP 1/2 OF ROOT BALL FOR BALLED AND BURLAP PLANTS. REMOVE ALL FIBER TYPE BALL FABRIC. ANY PLASTIC, SYNTHETIC TWINE, OR TREATED BURLAP MUST BE COMPLETELY REMOVED.

FOR CONTAINER PLANTS, REMOVE CONTAINER MIX, TRIM THE OUTSIDE EDGE OF THE ROOTBALL SO THAT ROOTS EXTEND INTO THE SURROUNDING PLANTING MIX. IF ROOTS ENCIRCLE THE CONTAINER, THE FACE OF THE ROOTBALL SHALL BE CUT VERTICALLY TO ENCOURAGE ENCIRCLING ROOTS TO BRANCH OUTWARD.

PLACE ROOTBALL ON SMALL MOUND OF TAMPED/ FIRM TOPSOIL. LOSEN AND/OR CUT ANY ROOTS ENCIRLING ROOTBALL PRIOR TO PLANTING.

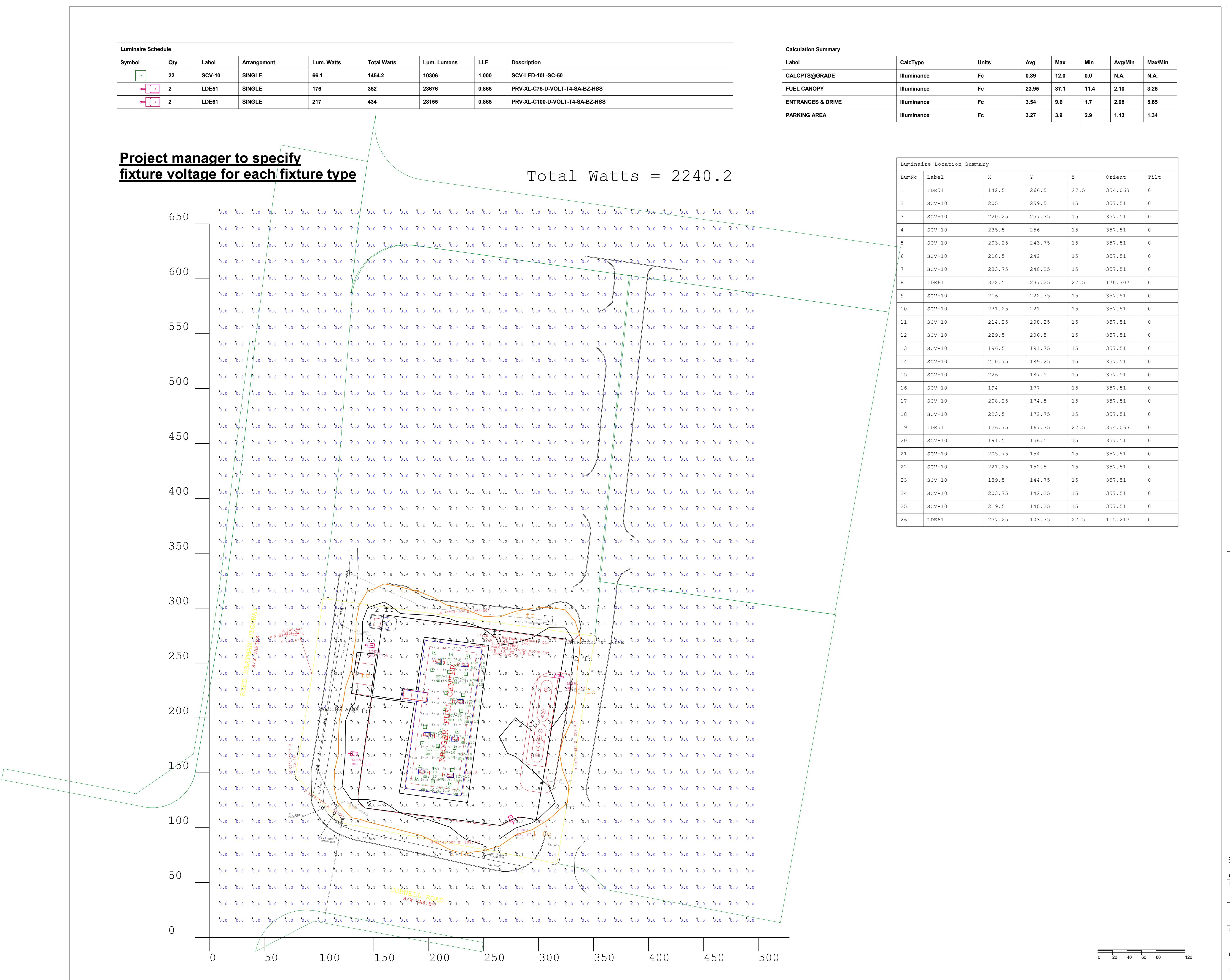
TREE PLANTING DETAIL

KROGER STORE # \_\_\_\_\_

Drawn By: T. SCHLAG

Sheet L2

Job No: F7X99000-WBS 13



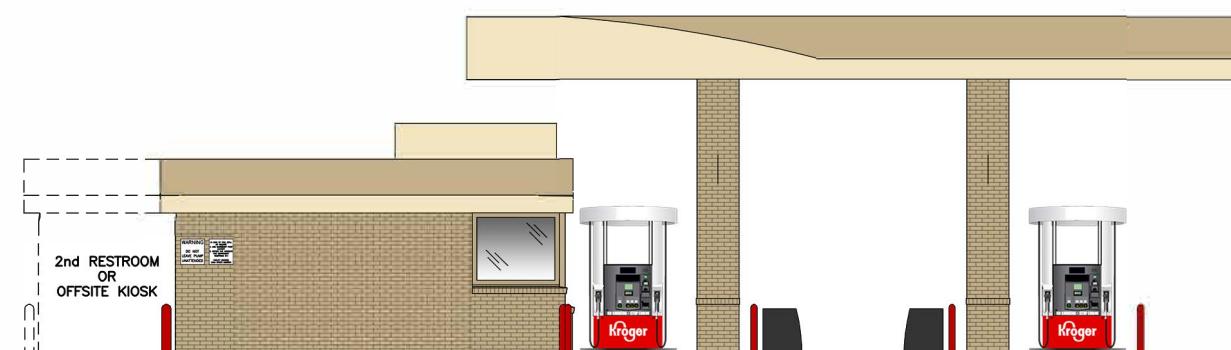
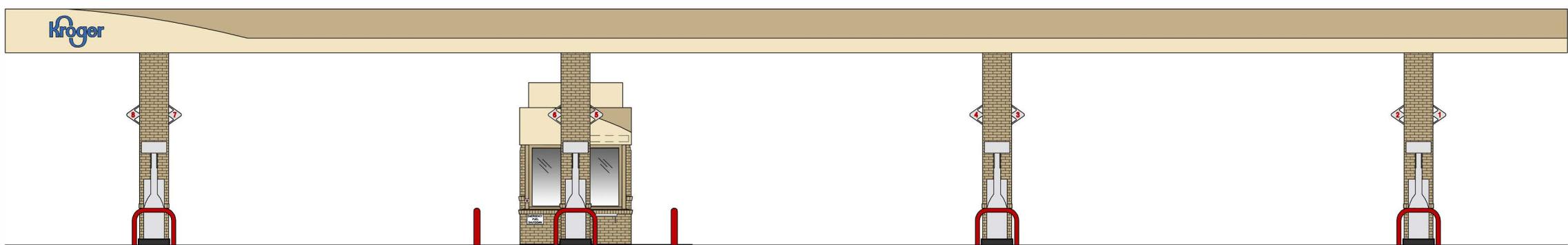
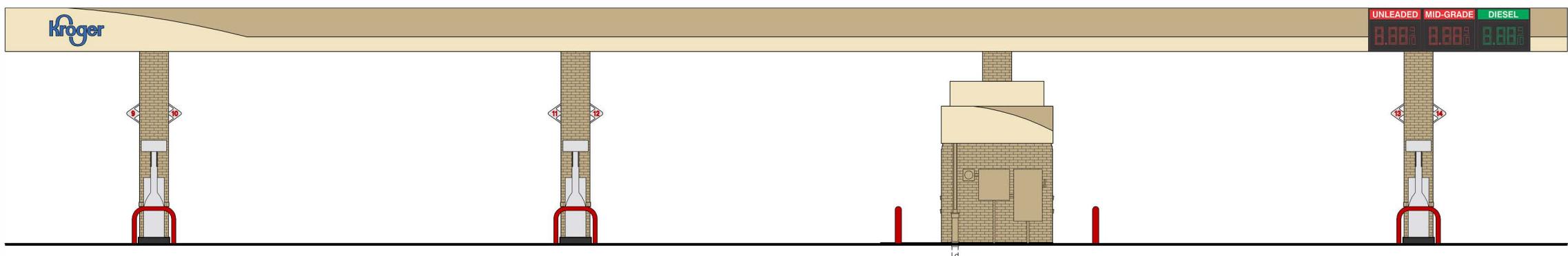
**KROGER A-082, FUEL CENTER**  
Cincinnati, OH

Project Name: **The Kroger Co.**  
Client: **Joel Jones**

Drawn By: **EL**  
Date: **10/12/2022**  
Scale: **1" = 40'**  
Project No: **2201458A.AGI**

**COOPER Lighting Solutions**  
Applications Engineering  
1121 Highway 74 South  
Peachtree City, GA 30269  
tel no: 770-371-5571  
fax no: 770-448-5599  
e-mail: [mk-lightingapplications@cooperlighting.com](mailto:mk-lightingapplications@cooperlighting.com)

We make no representation as to its completeness, currency or accuracy because of reasons inherent to CAD and the additional digital data used to produce a lighting application. This apparent accuracy is an artifact of the techniques used to generate the data and is no way intended to imply actual accuracy. The user of this data takes full responsibility for the accuracy and correctness of all measurements or other data extracted from this, either directly or through the use of third party software. Cooper Lighting Solutions makes no representations or warranties regarding the data contained in this file. All digital CAD data appears to be extremely accurate. However, the user of this data takes full responsibility for the accuracy and correctness of all measurements or other data extracted from this, either directly or through the use of third party software. Cooper Lighting Solutions makes no representations or warranties regarding the data contained in this file. Actual light levels obtained from this analysis is a mathematical model and can be only as accurate as the input values. Such a model is not a substitute for a professional lighting designer's judgment and experience. Cooper Lighting Solutions does not warrant the results of this analysis. Actual light levels may vary from actual measurements due to certain situations such as but not limited to lamp output, input voltage, ballast variances, manufacturing tolerances and application variances. The presence of objects will decrease light levels and may cause some shadowing. Lighting application drawings being provided to the recipient of this disclaimer.



Scale: 3/32"=1'-0"

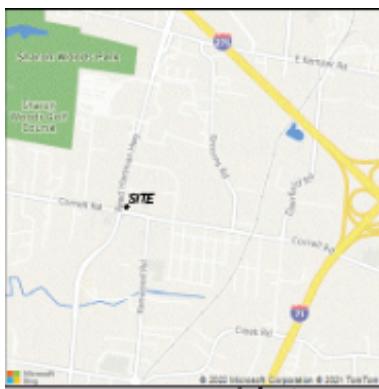
This is a three inch scale to confirm size of document

7 DISPENSERS, 1 & 2 RESTROOM KIOSK  
JULY 2018

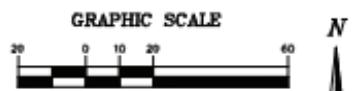


CUMMINGS

KROGER #082  
11220 REED HARTMAN  
BLUE ASH, OH  
980002454.01 10.22.2022

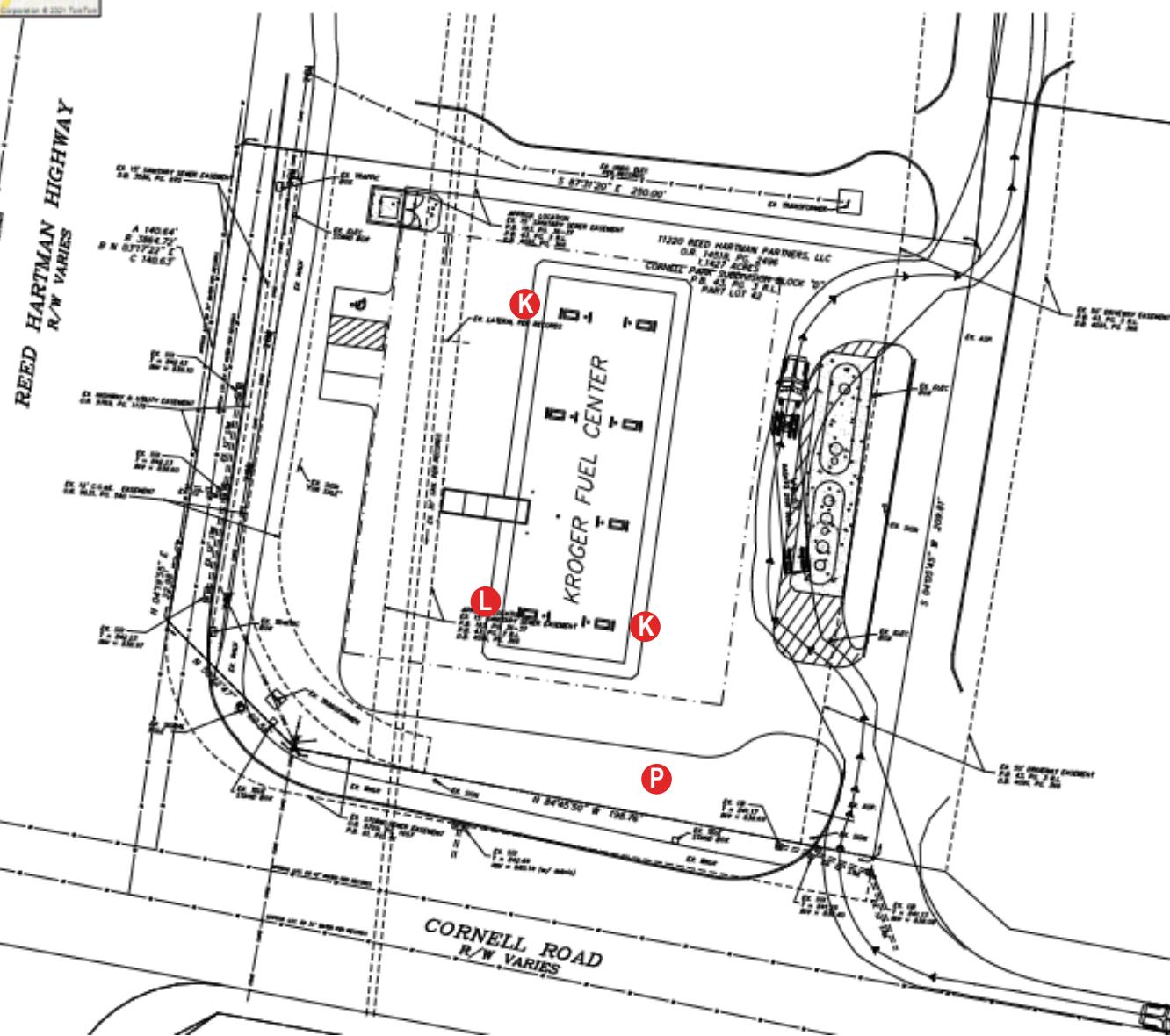


**BASIS OF BEARINGS**  
BEARINGS BASED ON DEED OF RECORD RECORDED IN  
O.R. 14518, PG. 2496  
**FLOOD INFORMATION**  
PROPERTY SURVEYED IS LOCATED WITHIN ZONE X  
ZONE X - AREA WITH REDUCED FLOOD RISK DUE TO LEVEE  
PER FEMA MAP NUMBERS 39061CD0094E & 39061NC0113E  
MAPS REVISED FEBRUARY 17, 2010



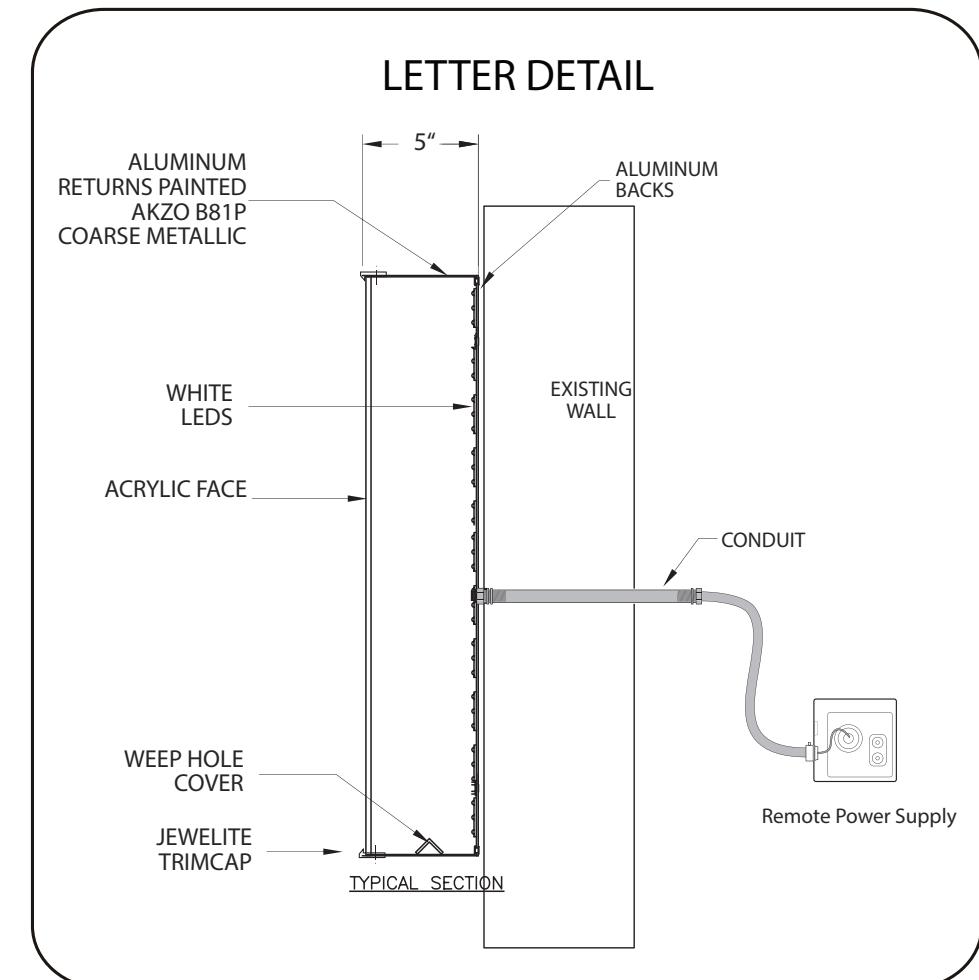
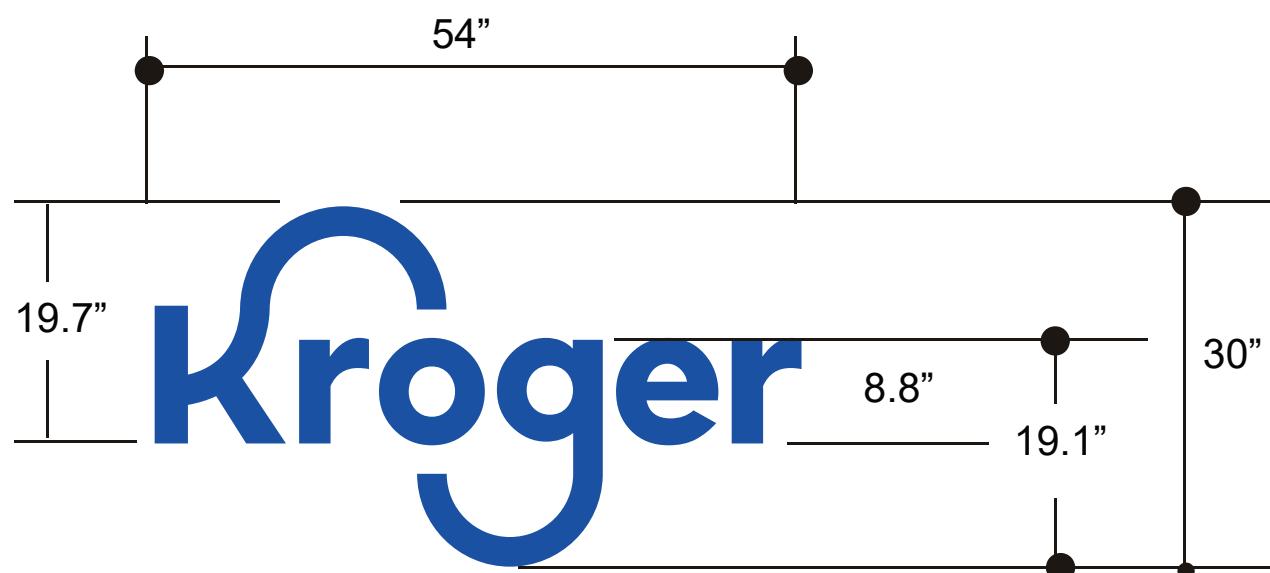
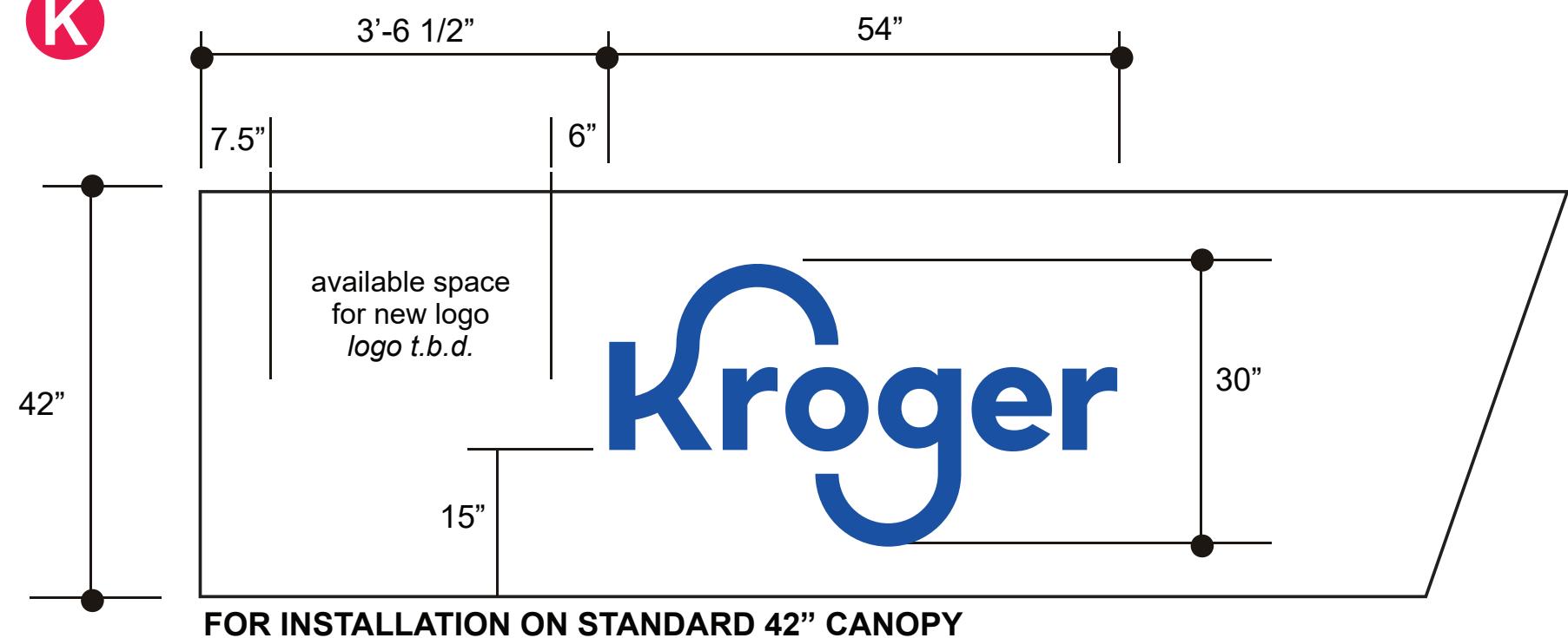
	LEGEND
1/8"	INDICATES EX. GAS VALVE BOX
1/8"	INDICATES EXPANDED COPPER
1/8"	INDICATES METAL PIPE
1/8"	INDICATES EX. IRON PIPE
1/8"	INDICATES EX. TELEPHONE POLE
1/8"	INDICATES EX. LIGHT POLE
1/8"	INDICATES TIE CABLE AND BACK POLE
1/8"	INDICATES TELEPHONE AND ELECTRIC POLE
1/8"	INDICATES PVC PIPE
1/8"	INDICATES EX. GUTTER PIPE
1/8"	INDICATES EX. WATER INLET
1/8"	INDICATES EX. VAULT (STORM)
1/8"	INDICATES EX. PIPE PIGMENT
1/8"	INDICATES EX. WATER VALVE BOX
1/8"	INDICATES EX. UNDER GROUND BOX
1/8"	INDICATES EX. PIPE REINFORCER VALVE
1/8"	INDICATES EX. POST INSULATOR VALVE
1/8"	INDICATES EX. GROUNDED WIRE
1/8"	INDICATES EX. PIPING SYSTEM
1/8"	INDICATES SHADDED AREA
1/8"	INDICATES POINT OF TAP
1/8"	INDICATES CENTER LINE
1/8"	INDICATES EX. STEEL GRADE

QTY.	DESCRIPTION	SQ. FT.
2	KROGER FUEL CANOPY LETTER SETS	11.25
1	KROGER FUEL CANOPY PRICE SIGNS	45.5
1	KROGER FUEL MONUMENT	77.0



KROGER #082  
11220 REED HARTMAN  
BLUE ASH, OH

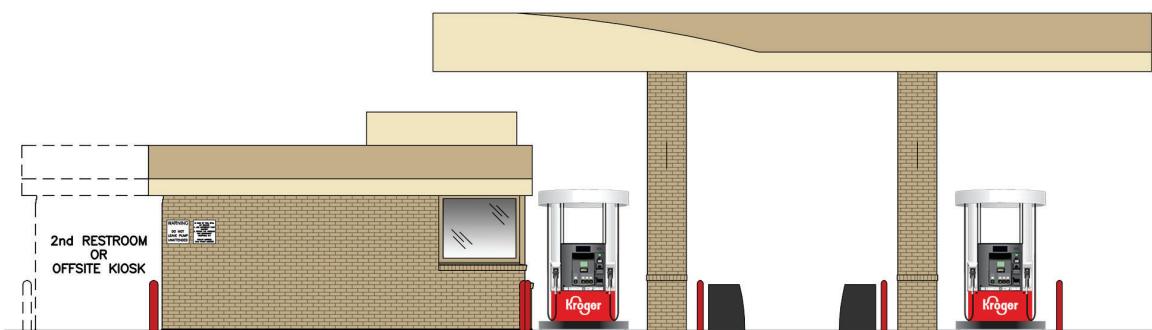
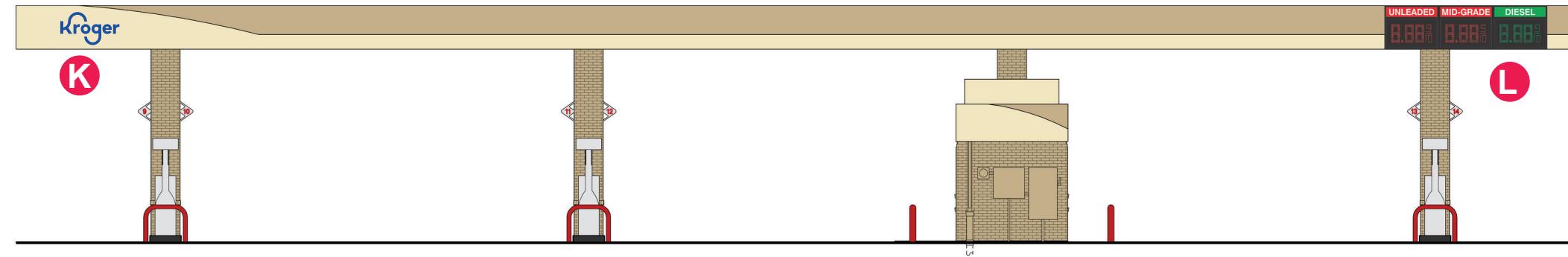
K



**\*\*Install instructions per SPG requirement -  
Kroger specifications require secondary wiring  
on gas canopies to be contained within conduit  
as provided by Cummings.**

3730-8537 KROGER BLUE

11.25 SQ. FT.



Scale: 3/32"=1'-0"

This is a three inch scale to confirm size of document

7 DISPENSERS, 1 & 2 RESTROOM KIOSK  
JULY 2018

KROGER #082  
11220 REED HARTMAN  
BLUE ASH, OH

L

# 18in Triple Product, Single Face

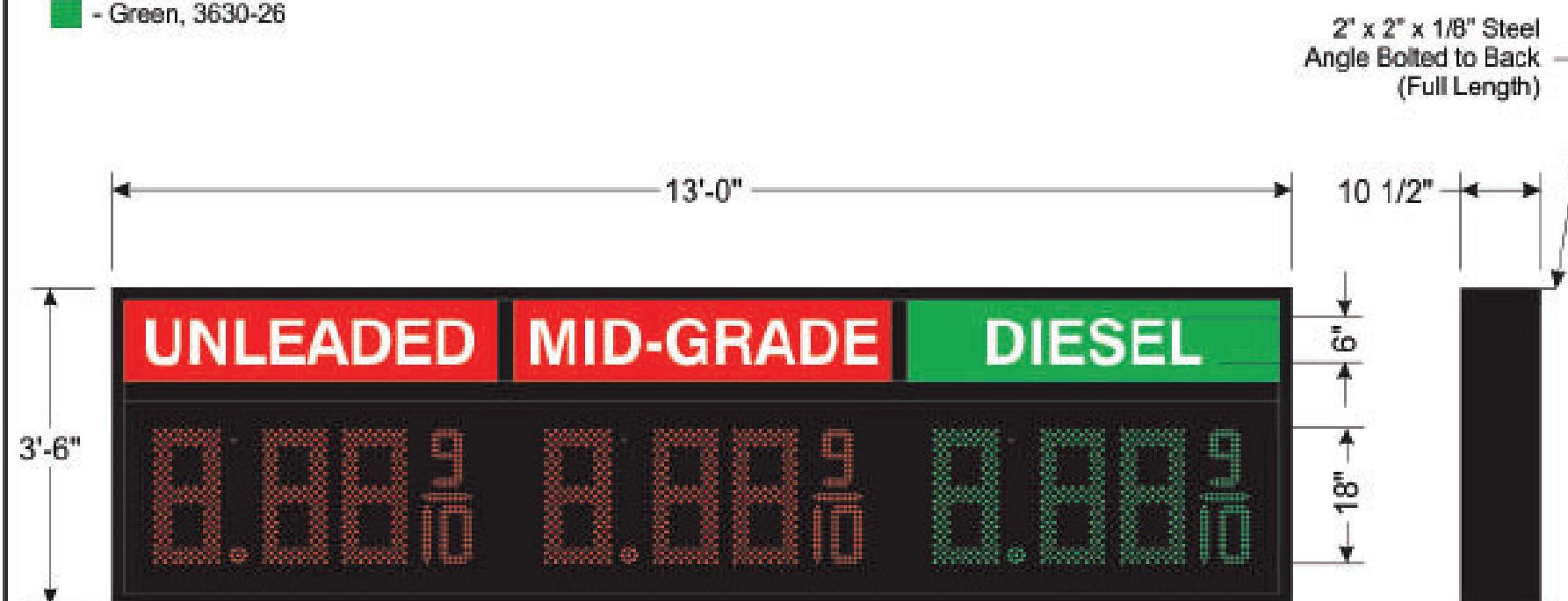
**Ariba#: K-0048340**

## CONSTRUCTION:

- Fabricate a triple product S/F LED price sign; using 18" LED units, (2x) red & (1x) green.
- Illumination: 12VDC LED backlighting.
- Cabinet: .080" aluminum painted black.
- Commodity panels:
  - .177" white acrylic decorated with 3M 3630 scotchcal film 1st surface
  - Red, 3630-33
  - Green, 3630-26

## ELECTRICAL:

- 120 VAC, Total circuits 2, 10A recommended  
 Circuit 1 (LIGHTS) 1A  
 Circuit 2 (LED price) 2.5A



## ELEVATION

SCALE: 1/2" = 1'-0"

\*Contact Landmark to discuss your specific needs.

SIGN AREA: 45.5 sqft

**LANDMARK**

Sign Alliance, Inc.  
 Working Together For You

Phone: 719.505.5455

Client:  
 The Kroger Co

Date:  
 08/17/2014

Drawn by:  
 MLB

## Revisions:

9/7/14; depth was 9"
10/7/14; depth was 12"
1/26/15; updated notes

Drawing Number:  
 140817.3

Sheet:  
 1 of 1

## Approved:

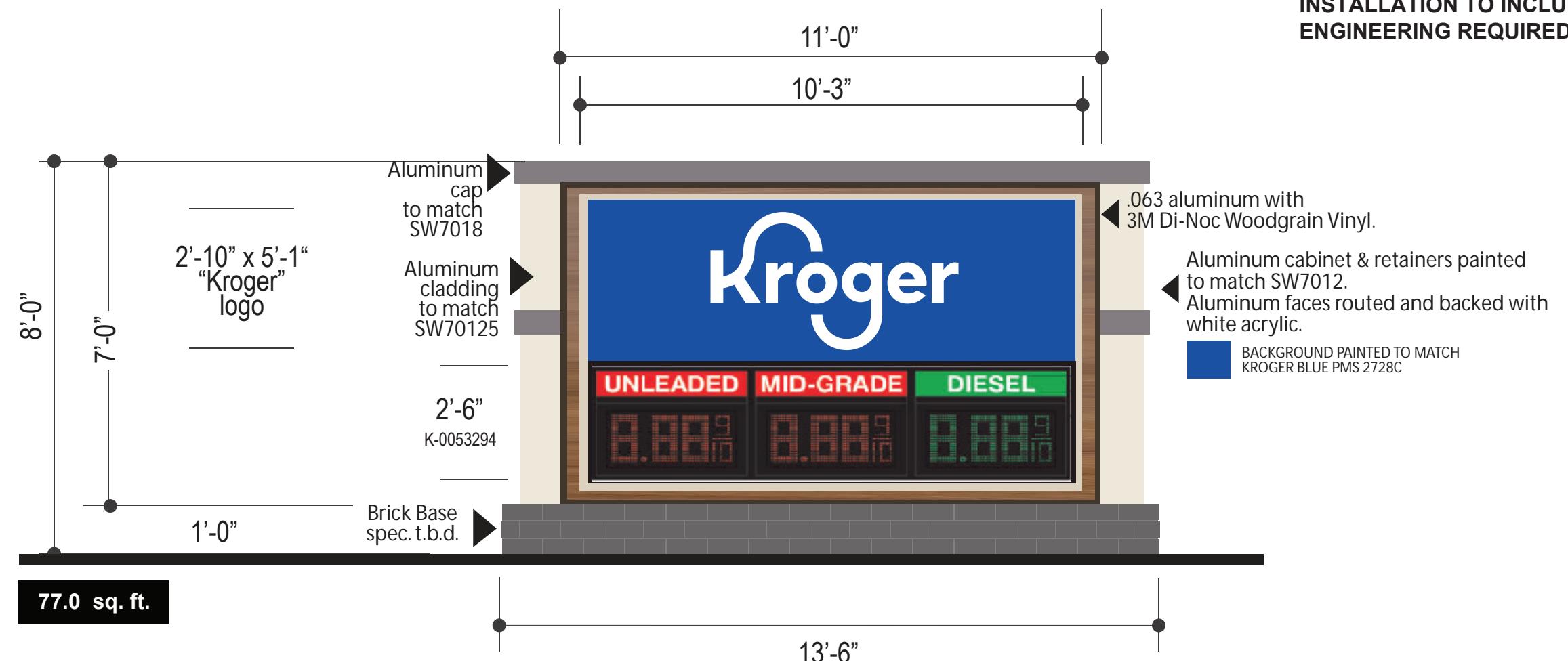
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P



**INSTALLATION TO INCLUDE FOUNDATION WORK .  
ENGINEERING REQUIRED.**



SCALE: 3/8" = 1'-0"

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ANY FASHION UNLESS AUTHORIZED IN WRITING  
BY AN OFFICER OF CUMMINGS SIGNS.

CUSTOMER APPROVAL:

---

DATE:

Rev. #1

DATE

BY

Rev. #4

DATE

BY

Rev. #2

---

Rev. #5

---

Rev. #3

---

Rev. #6

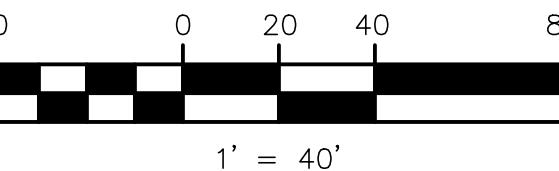
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DRAWING NO:  
980002454.01P

DATE: 10-22-2021

S. Hawke

GRAPHIC SCALE



THOMAS  
GRAHAM  
ASSOCIATES, INC.  
• Engineers  
• Surveyors

803 Compton Road  
Cincinnati, Ohio 45231  
513-521-4760  
Fax # 521-2439

Date: DEC. 1, 2022

Scale: 1" = 40'

Job No: 8411

Revisions

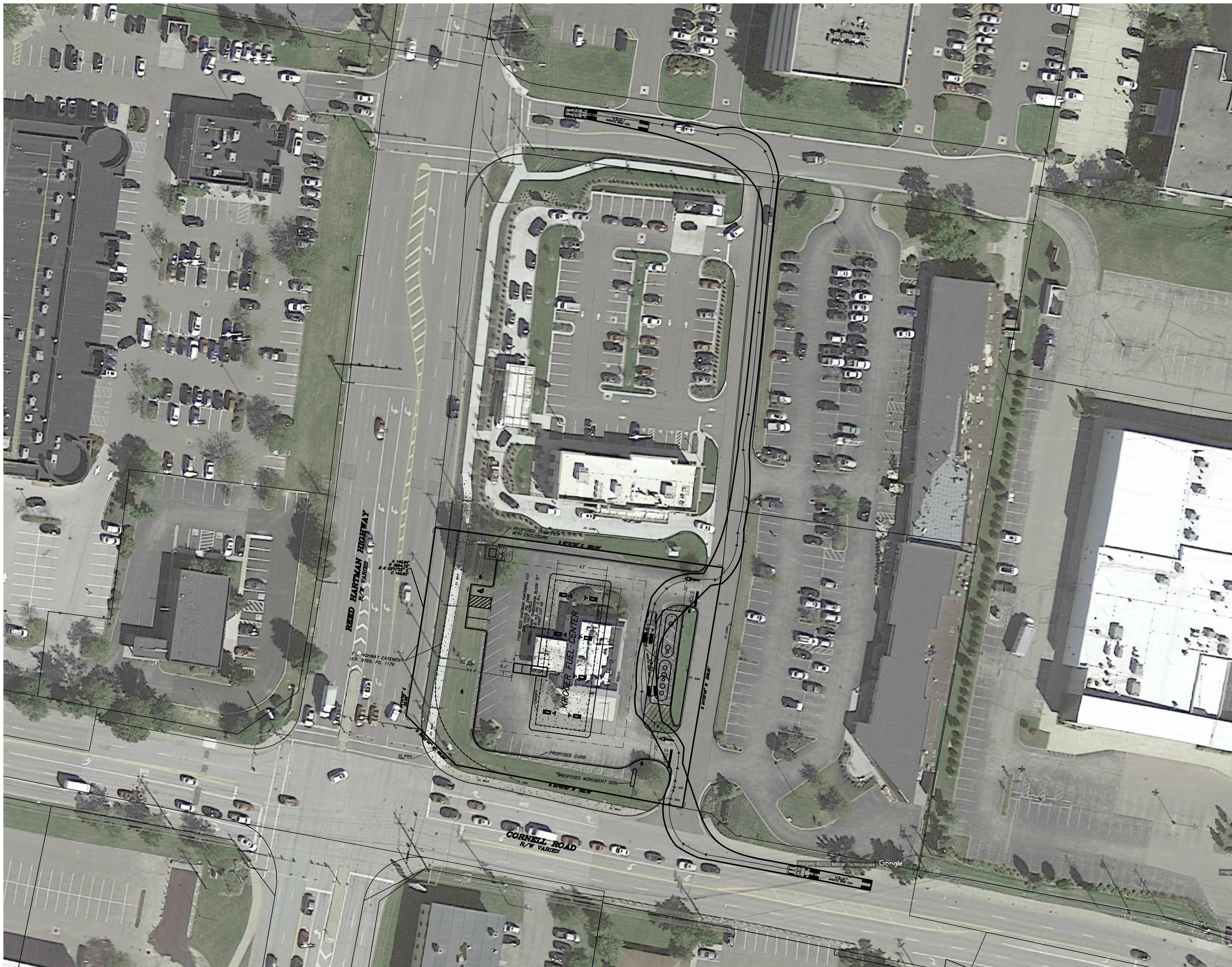
No. Date



## TRUCK TURNING PLAN

SECTION 18, TOWN 4, E. RANGE 1  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO

ACAD FILENAME: 8411\_CORNELL\_RHDWG



Drawn By: S. TRENKAMP

Job No: 8411-22